

**AGENDA
TOWN OF PITTSFORD
PLANNING BOARD
MARCH 23, 2026**

This agenda is subject to change.

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, March 23, 2026, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

NEW HEARING

Greater Living Architecture P.C., Root 31 Relocation
Special Use Permit

OTHER BUSINESS

Approval of Minutes

The next scheduled meeting is for Monday, April 13, 2026.



**Pittsford Town Hall
Building & Code enforcement
11 South Main street
Pittsford, 14532**

RE : ROOT 31 PITTSFORD PLAZA

Pittsford, NY February 10th, 2026

Dear Ms April Zurowski,

I am writing on behalf of Root 31, a restaurant that has proudly served the Pittsford community for the past thirteen years. We are reaching out to inform you about an important transition we are undergoing.

Recently, we were informed that our current location, 3349 Pittsford Plaza, has been rented to a national franchise chain.

Consequently, we have been proposed to relocate to the Citizens Bank building in the Pittsford Plaza parking lot at 3349 Monroe Ave, Pittsford. This unexpected move has brought considerable stress and challenges, and we are now in the process of planning the relocation.

This new location, which is 2,618 square feet—an increase from our current 2,300 square feet—requires a complete buildout to ensure that our operations can continue to meet the needs of our customers. As part of our commitment to health and sustainability, our menus don't include any fried food but we will be installing a grease trap.

Root 31 is dedicated to providing fresh, healthy meals made from local ingredients and local vendors, operating under a zero waste policy.

Our team is trained to handle waste responsibly; if it doesn't decompose, it gets recycled.

We take pride in offering a variety of healthy meals, and we are excited to expand our breakfast and dinner options at our new location while maintaining our existing concept.

We will operate from 7:00 am to 9:00 pm every day and 7:00 am to 3:00 on Sunday.

We will not use the drive-thru, but we will instead use this area for an outdoor seating with a door leading into the dining room.

We forecast to set up 11 tables and 44 chairs, the space will have a fence made with planters and bushes to create a protection as well as some privacy.

We currently have ten employees, many of whom have become like family over the years. While we hope to retain a similar number of staff upon opening.

In light of this abrupt transition, we are eager to move the process forward as quickly as possible to reopen our doors to our loyal customer base and expect to open no later than June 1st 2026.

We will be completing all necessary applications to facilitate our move to the new location.

If you would like to read customer reviews or view photos of our restaurant, please visit our website at root31.com.

We appreciate your understanding and support during this challenging time and ask for your assistance in making our relocation as swift as possible.

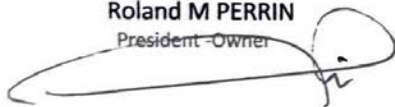
We are working with Joe O'Donnell of Greater Living Architect who is well versed in the process we need to follow and to coordinate the project.

Thank you for your attention to this matter.

Sincerely,

Roland M PERRIN

President-Owner

A handwritten signature in black ink, appearing to read 'RP', is written over the printed name and title. The signature is stylized and somewhat abstract, with a large loop at the end.



TOWN OF PITTSFORD SPECIAL PERMIT APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: ROOT 31 CAFE

LOCATION: PITTSFORD PLAZA (CITIZEN BANK BLDG)

TAX ACCOUNT NO: _____

OWNER: WILMORITE APPLICANT: ROOT 31

ADDRESS: 1265 SCOTTSVILLE RD ADDRESS: 7749 MONROE AVE

CITY, ST ZIP: ROCH. N.Y. 14624 CITY, ST ZIP: ROCH. N.Y. 14618

PHONE: _____ PHONE: _____

FAX: _____ FAX: _____

E-MAIL: _____ E-MAIL: _____

AGENT: GREATER LIVING ARCHITECTURE P.C

ADDRESS: 3033 BHTL RD

CITY, ST ZIP: ROCH. N.Y. 14623

PHONE: _____ FAX: _____

E-MAIL: _____

BRIEF DESCRIPTION OF PROJECT: RELOCATE EXISTING CAFE TO
VACANT SPACE IN CITIZEN BANK BUILDING

- REQUEST FOR: (Please check all applicable)
- Concept Subdivision
 - Preliminary Subdivision
 - Final Subdivision
 - Special Permit
 - Wetlands Permit
 - Preliminary Site Plan
 - Final Site Plan

HEARING DATE REQUESTED: _____

Square Footage of Building: 2605.67 GSF
1083.75 OUTDOOR
Total Acreage of Disturbance: _____

ZONING CLASSIFICATION: _____ SIZE OF PARCEL: _____

Is this parcel in a flood plain/agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? NO YES (Please specify)

If this parcel is within 500' of a municipal boundary, please specify: PITTSFORD
(Municipality)

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board *Zoning Board of Appeals* *Planning Board* *Architectural Review Board*

...of the Town of Pittsford, for a...

change of zoning *special permit* *building permit* *permit* *amendment*
 variance *approval of a plat* *exemption from a plat or official map*

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

<u>Name(s)</u>	<u>Address(es)</u>

Joseph O'Neill for Roland Perrini
Signature of Applicant

2/10/26
Dated

3033 BHTL RD
Street Address

ROCHESTER, N.Y. 14623
City/Town, State, Zip Code

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: ROOT 31 CAFE			
Project Location (describe, and attach a location map): PITTSFORD PLAZA (CITIZEN'S BANK BLDG)			
Brief Description of Proposed Action: RELOCATE EXISTING CAFE TO CITIZEN BANK BUILDING WHICH IS AN OUT BUILDING IN THE PLAZA.			
Name of Applicant or Sponsor: GREATER LIVING ARCHITECTURE		Telephone: [REDACTED]	
Address: 3033 BHTL RD.		E-Mail: [REDACTED]	
City/PO: ROCHESTER		State: N.Y.	Zip Code: 14623
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: PLANNING BOARD SPECIAL USE PERMIT, BUILDING PERMIT.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u>2.1</u> acres	
b. Total acreage to be physically disturbed?		<u>0</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>JOSEPH O'DONNELL AIA</u> Date: <u>2/10/26</u>		
Signature: <u><i>Joseph O'Donnell</i></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PROJECT CONTACT LIST

OWNER:
- WILMORITE MANAGEMENT GROUP
- 1265 SCOTTSVILLE ROAD
ROCHESTER, NY 14624
- CONTACT: ERIC WRIGHT
- PHONE: 585 771 0599

ARCHITECT:
- COLLIERS ENGINEERING & DESIGN
- 280 EAST BROAD ST, SUITE 200
ROCHESTER, NY 14604
- CONTACT: PHILIP DINICOLA
- PHONE: 585 498 7867

ELECTRICAL ENGINEER:
- COLLIERS ENGINEERING & DESIGN
- 280 EAST BROAD ST, SUITE 200
ROCHESTER, NY 14604
- CONTACT: BRETT ELIASZ
- PHONE: 585 498 7813

MECHANICAL ENGINEER:
- COLLIERS ENGINEERING & DESIGN
- 280 EAST BROAD ST, SUITE 200
ROCHESTER, NY 14604
- CONTACT: MICHELLE SOMMERMAN
- PHONE: 585 498 7896

STRUCTURAL ENGINEER:
- COLLIERS ENGINEERING & DESIGN
- 280 EAST BROAD ST, SUITE 200
ROCHESTER, NY 14604
- CONTACT: JERRY ROGERS
- PHONE: 585 498 7936

CIVIL ENGINEER:
- COLLIERS ENGINEERING & DESIGN
- 280 EAST BROAD ST, SUITE 200
ROCHESTER, NY 14604
- CONTACT: KURT CHARLAND
- PHONE: 585 498 7793

UTILITY AND JURISDICTIONAL CONTACTS:
PLANNING AND ZONING:
- TOWN OF PITTSFORD
- 11 SOUTH MAIN STREET
PITTSFORD, NY 14534
- CONTACT: DOUG DERUE
- PHONE: 585 248 6260

DRAWING INDEX

	06/06/2023 - OWNER REVIEW SET	11/22/2023 - FINAL REVIEW SET	12/15/2023 - ISSUED FOR B D / PERMIT	XXXXXXXX - ISSUED FOR CONSTRUCTION
00 - GENERAL				
G0.0	COVER SHEET	X	X	X
G1.0	LIFE SAFETY PLAN AND DETAILS	X	X	X
01 - CIVIL				
X100	EXISTING CONDITIONS PLAN		X	X
C010	DEMOLITIONS PLAN		X	X
C100	SITE PLAN		X	X
C120	GRADING PLAN		X	X
C500	MISCELLANEOUS DETAILS		X	X
C501	MISCELLANEOUS DETAILS		X	X
03 - STRUCTURAL				
S001	STRUCTURAL NOTES	X	X	X
S002	SPECIAL INSPECTIONS	X	X	X
S100	FLOOR PLAN	X	X	X
S501	SECTIONS & DETAILS	X	X	X
S502	SECTION & DETAILS	X	X	X
04 - ARCHITECTURAL				
A0.1	GENERAL NOTES	X	X	X
A0.2	PARTITION TYPES AND DETAILS	X	X	X
A0.3	SPECIFICATIONS			
A0.4	SPECIFICATIONS			
D1.0	FIRST FLOOR DEMOLITION PLAN	X	X	X
A1.1	CONSTRUCTION PLAN	X	X	X
A1.3	REFLECTED CEILING PLANS - REMOVALS AND NEW WORK	X	X	X
A2.1	EXTERIOR ELEVATIONS	X	X	X
A4.1	WALL SECTION AND SECTION DETAILS	X	X	X
A6.1	DOOR AND WINDOW SCHEDULES	X	X	X
05 - MECHANICAL				
M0.1	MECHANICAL LEGEND SHEET	X	X	X
MD1.0	MECHANICAL DEMOLITION PLAN	X	X	X
M1.1	FIRST FLOOR HVAC PLAN	X	X	X
M6.1	HVAC SCHEDULES & DETAILS	X	X	X
06 - PLUMBING				
P0.1	PLUMBING LEGEND SHEET	X	X	X
PD1.0	PLUMBING DEMOLITION PLAN	X	X	X
P1.1	FIRST FLOOR PLUMBING PLAN	X	X	X
08 - ELECTRICAL				
E001	LEGEND	X	X	X
E002	SPECIFICATIONS	X	X	X
E003	SPECIFICATIONS	X	X	X
ED101	ELECTRICAL DEMOLITION PLANS	X	X	X
ES001	SITE PLAN	X	X	X
E101	POWER PLAN	X	X	X
E201	LIGHTING PLAN	X	X	X
E701	DETAILS	X	X	X
E801	SCHEDULES	X	X	X

CERTIFICATION



PROJECT LOCATION MAP



APPLICABLE CODE: THE NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE (THE "UNIFORM CODE"); CONSTRUCTION SHALL CONFORM TO CURRENT EDITIONS OF THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE, THE 2020 BUILDING CODE OF NEW YORK STATE (WHERE APPLICABLE), THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (WHERE APPLICABLE), AS WELL AS ALL OTHER CURRENT LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT. CONTRACTOR SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE APPLICABLE CODES RELEVANT TO THIS PROJECT.

BUILDING CODE SUMMARY

PROJECT INFORMATION:

PROJECT NAME: RETAIL TENANT SPACE
 PROJECT NUMBER: 23010116A
 PREPARED BY: S SEVENSMA CHECKED BY: T BURKE
 DATE: 8/29/23 DATE:

OCCUPANCY CLASSIFICATION AND MIXED OCCUPANCIES: (CHAPTERS 3 & 5)

SINGLE ACCESSORY - GROUP : % OF FLOOR AREA
 MIXED OCCUPANCY SEPARATED NON-SEPARATED COMBINATION

F SEPARATED, F RE RESISTANCE RATING OF FIRE BARRIER: (TABLE 508.4) 2 HR.
 OCCUPANCY CLASSIFICATION(S): B - BUSINESS, M - MERCANTILE
 USES: BANK, RETAIL (BANK NOT IN SCOPE)

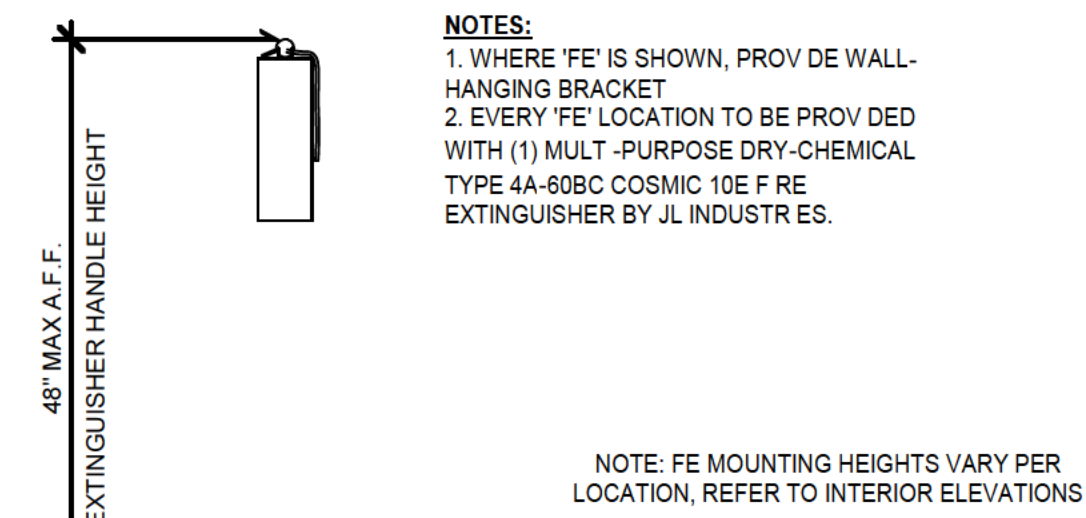
HEIGHT & AREA - ACTUAL: (CHAPTER 5)

BUILDING HEIGHT	HEIGHT IN FEET	HEIGHT IN STORIES
EXISTING	25	1

BUILDING AREA SUMMARY	NEW	EXISTING	ADDITION	TOTAL
FIRST	N/A	5200	N/A	5200
TOTAL	N/A	5200	N/A	5200

HEIGHT & AREA - ALLOWABLE: (CHAPTER 5)
 PER TABLES 504.3, 504.4 AND 506.3

OCCUPANCY CLASSIFICATION	TABULAR AREA A _t PER FLOOR	TABULAR HEIGHT	FEET	STORIES
B - BUSINESS	9000	40	40	2
M - MERCANTILE	9000	40	40	1



2 FIRE EXTINGUISHER DETAIL
 SCALE: 3/4" = 1'-0"

EXISTING BUILDING CODE - CHANGE OF OCCUPANCY (CHAPTER 10)

PARTIAL CHANGE OF OCCUPANCY
 WITHOUT SEPARATION
 CHANGE OF USE: SECTIONS 1002 - 1010
 CHANGE OF OCCUPANCY CLASSIFICATION(S): SECTIONS 1002 - 1011
 FIRE SPRINKLER SYSTEM (DIFFERENT THRESHOLD REQ'D. N.B.C.N.Y. CHPT. 9)
 MEANS OF EGRESS HAZARD CATEGORIES (T1011.4): HIGHER RELATIVE HAZARD LOWER/EQ RELATIVE HAZARD
 HEIGHTS & AREAS HAZARD CATEGORIES (T1011.5): HIGHER RELATIVE HAZARD LOWER/EQ RELATIVE HAZARD
 EXT. WALL EXPOSURE HAZARD CATEGORIES (T1011.6): HIGHER RELATIVE HAZARD LOWER/EQ RELATIVE HAZARD
 ENCLOSURE OF VERTICAL SHAFTS (SECTION 1011.7)

INTERIOR FINISH: (CHAPTER 8)

WALL AND CEILING
 OCCUPANCY: B - BUSINESS
 FINISH CLASS LOCATION
 A EXITS CORR DORS/EXIT ACCESS ROOMS/ SPACES
 B EXITS CORR DORS/EXIT ACCESS ROOMS/ SPACES
 C EXITS CORR DORS/EXIT ACCESS ROOMS/ SPACES

OCCUPANCY: M - MERCANTILE
 FINISH CLASS LOCATION
 A EXITS CORR DORS/EXIT ACCESS ROOMS/ SPACES
 B EXITS CORR DORS/EXIT ACCESS ROOMS/ SPACES
 C EXITS CORR DORS/EXIT ACCESS ROOMS/ SPACES

FLOORING
 FINISH CLASS OCCUPANCIES
 I ALL GROUPS:
 II ALL GROUPS:
 DOC FF-1 ALL GROUPS:

AUTOMATIC SPRINKLER SYSTEM PROVIDED THROUGHOUT BUILDING:
 YES NO

PARTIAL/LIMITED-AREA SPRINKLER SYSTEM:
 YES NO

NFPA STANDARD: 13 15R ALT. FIRE PROTECTION SYSTEM:
 AUTOMATIC SPRINKLER SYSTEM:
 AUTOMATIC SPRINKLER SYSTEMS ARE NOT REQUIRED FOR MERCANTILE OCCUPANCIES WITH FIRE AREAS LESS THAN 12,000 SF. GROUP M FIRE AREAS THAT ARE NOT LOCATED ABOVE GRADE PLANE OR DISPLAY SPACE FOR SALE OF UPHOLSTERED FURNITURE OR MATTRESS LESS THAN 5,000 SF.

REHABILITATION OF EXISTING STRUCTURES:
 PER THE EXISTING BUILDING CODE OF NYS
 REPAIRS (CHAPTER 4)
 ALTERATIONS - LEVEL 1 (CHAPTER 7)
 ALTERATIONS - LEVEL 2 (CHAPTER 8)
 ALTERATIONS - LEVEL 3 (CHAPTER 9)
 CHANGE OF OCCUPANCY (CHAPTER 10)
 FORMER OCCUPANCY CLASSIFICATION(S): B - BUSINESS
 NEW OCCUPANCY CLASSIFICATION(S): B - BUSINESS, M - MERCANTILE
 PARTIAL CHANGE OF OCCUPANCY: YES NO
 IF YES: SEPARATED NOT SEPARATED
 ADDITIONS (CHAPTER 11)
 SEPARATED ADDITION: YES NO
 F YES, FIRE RESISTANCE RATING:
 FIRE WALL _____ HR.
 FIRE BARRIER _____ HR.
 HISTORIC BUILDING (CHAPTER 12)
 RELOCATED BUILDING (CHAPTER 14)
 ACCESSIBILITY UPGRADES - SECTION 305; APPLICABLE SECTION/PROVISIONS ACCESSIBLE ENTRANCE: SECTION 1105

FIRE PROTECTION SYSTEMS: (CHAPTER 9)
 SIZE AND LOCATION OF FIRE AREAS INDICATED ON CODE COMPLIANCE DRAWINGS

FIRE PROTECTION SYSTEM	REQU RED	PROVIDED	SECTION
AUTOMATIC SPRINKLER	N/A	N/A	(903)
ALT. AUTOMATIC FIRE-EXTINGUISHING SYST	N/A	N/A	(904)
STANDPIPE	N/A	N/A	(905)
PORTABLE FIRE EXTINGUISHER	Y	Y	(906)
FIRE ALARM & DETECTION	N/A	N/A	(907)
EMERGENCY ALARM	N/A	N/A	(908)
SMOKE CONTROL SYSTEM	N/A	N/A	(909)
SMOKE & HEAT REMOVAL	N/A	N/A	(910)
FIRE COMMAND CENTER	N/A	N/A	(911)
FIRE DEPARTMENT CONNECTIONS	N/A	N/A	(912)
FIRE PUMP	N/A	N/A	(913)
EMERGENCY RESPONDER SAFETY	N/A	N/A	(914)
CARBON MONOXIDE DETECTION	N/A	N/A	(915)
GAS DETECTION	N/A	N/A	(916)
MASS NOTIFICATION SYSTEMS	N/A	N/A	(917)
EMERGENCY RESPONDER RADIO	N/A	N/A	(918)

CONSTRUCTION TYPE: VB SECTION 601 (CHAPTER 6)

FIRE RESISTANCE OF BUILDING ELEMENTS:

BUILDING ELEMENTS	REQU RED	PROVIDED	SECTION
STRUCTURAL FRAME	0	EXISTING	(TABLE 601)
BEARING WALLS (EXTERIOR)	0	EXISTING	(TABLE 601)
BEARING WALLS (INTERIOR)	0	EXISTING	(TABLE 601)
NON-BEARING WALLS (EXTERIOR)	0	EXISTING	(TABLE 602)
NON-BEARING WALLS (INTERIOR)	0	EXISTING	(TABLE 601)
FLOOR CONSTRUCTION	0	EXISTING	(TABLE 601)
ROOF CONSTRUCTION	0	EXISTING	(TABLE 601)

MEANS OF EGRESS: (CHAPTER 10)
 DESIGN OCCUPANT LOAD SUMMARY

OCCUPANCY	BASEMENT	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	FOURTH FLOOR
B	-	15	-	-	-
M	-	42	-	-	-
TOTAL	-	57	-	-	-

MEANS OF EGRESS ELEMENT

MEANS OF EGRESS ELEMENT	REQUIRED	PROVIDED	SECTION
NUMBER OF EXITS	B=1, M=2	B=1, M=2	(1006.3.2)
EXIT ACCESS TRAVEL DISTANCE	B=200, M=200	B=66, M=66	(TABLE 1017.2)
DEAD-END LIMIT	B=50, M=50	N/A	(1020.4)
COMMON PATH OF TRAVEL LIMIT	B=100, M=75	N/A	(1006.2.1)
CORRIDOR FIRE-RESIST. RATING	B=1HR, M=1HR	N/A	(TABLE 1020.1)

EGRESS WIDTH

DOORS/OTHER (B)	REQUIRED	PROVIDED	SECTION
BASEMENT	- X - OCCUPANTS = -	-	-
FIRST FLOOR	15 X 2 OCCUPANTS = 3"	111"	(1006.3.1)
SECOND FLOOR	- X - OCCUPANTS = -	-	-
THIRD FLOOR	- X - OCCUPANTS = -	-	(1009.3)
FOURTH FLOOR	- X - OCCUPANTS = -	-	-

DOORS/OTHER (M)	REQUIRED	PROVIDED	SECTION
BASEMENT	- X - OCCUPANTS = -	-	-
FIRST FLOOR	42 X 2 OCCUPANTS = 8.4"	99"	(1006.3.2)
SECOND FLOOR	- X - OCCUPANTS = -	-	-
THIRD FLOOR	- X - OCCUPANTS = -	-	(1007.1.1)
FOURTH FLOOR	- X - OCCUPANTS = -	-	-

ENERGY CONSERVATION CODE:

COMPLIANCE PATH: PRESCRIPTIVE COMCHECK ASHREA 90.1
 APPROVED SOFTWARE

CLIMATE ZONE: (C301) 1 2 3 4 5 6
 LOW ENERGY BUILDINGS: (C402.1.1)
 COMPLIANCE WITH BUILDING THERM. ENVELOPE NOT REQ'D.

MINIMUM VALUES:
 SLAB-ON-GRADE FLOORS (UNHEATED)
 OPAQUE DOORS (SWINGING)
 VERTICAL FENESTRATION
 FIXED ENTRANCE DOORS
 SHGC
 PF < 0.2
 0.2 ≤ PF < 0.5
 PF ≥ 0.5

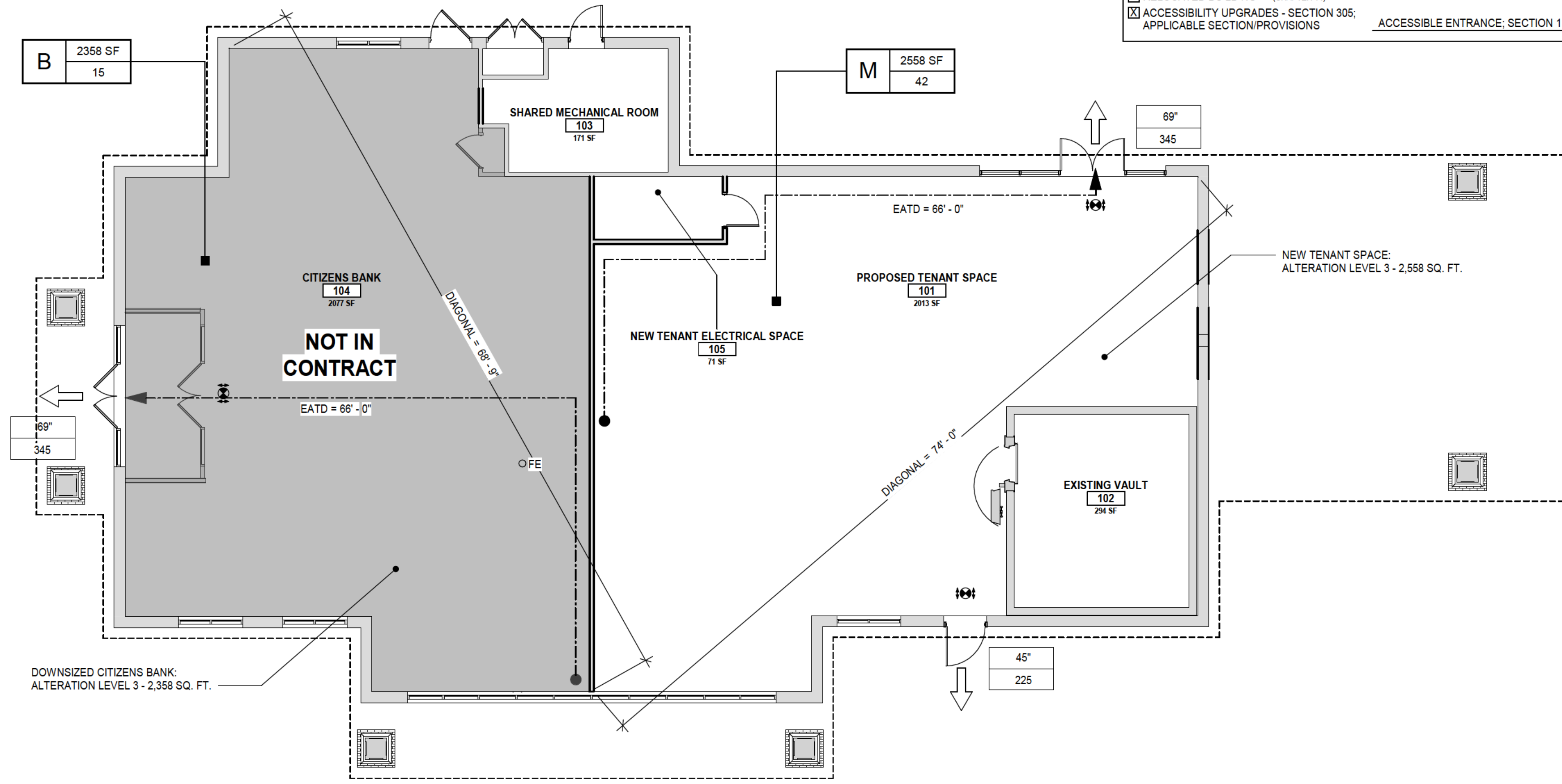
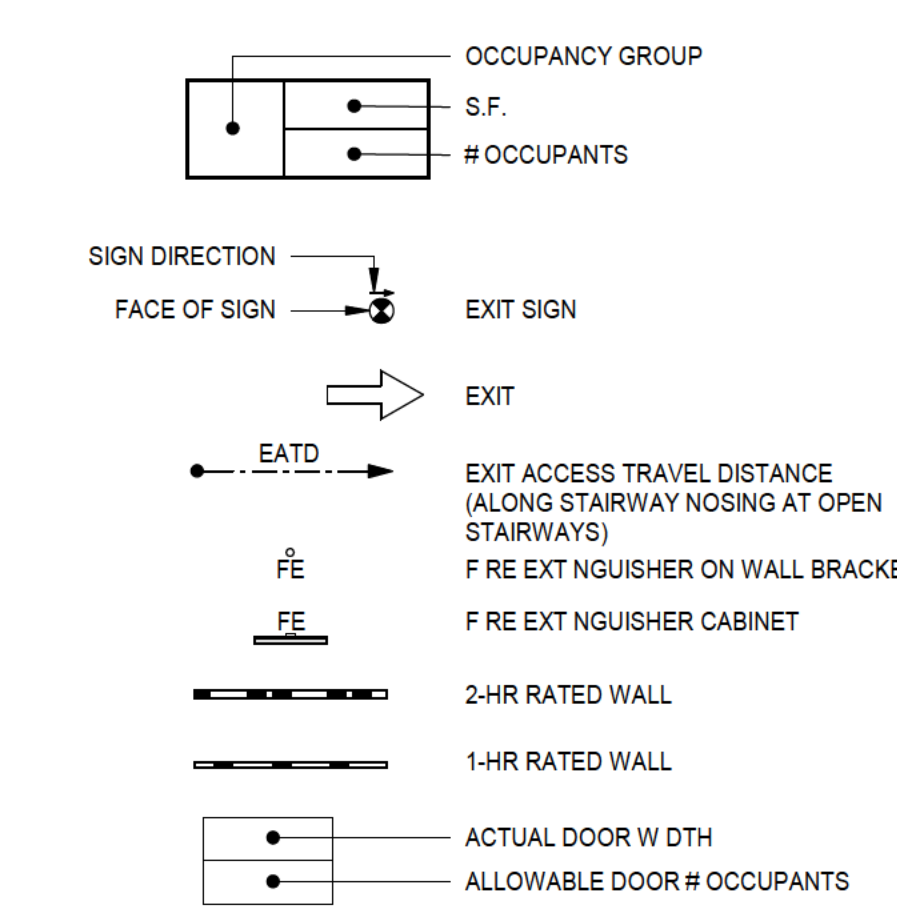
EXISTING BUILDINGS (CHAPTER C5)
 ADDITIONS (C502)
 ALTERATIONS (C503)
 REPAIRS (C504)
 CHANGE OF OCCUPANCY OR USE (C505)

COMPLIANCE STATEMENT: SEE COMPLIANCE STATEMENTS IN DISCIPLINE SPECIFIC DRAWING PACKAGES

GENERAL NOTES

- APPLICABLE CODES:
 A. WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
 B. CONSTRUCTION SHALL CONFORM TO CURRENT EDITIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE (THE "UNIFORM CODE" AND THE NEW YORK STATE ENERGY CODE (THE "UNIFORM CODE AND THE NEW YORK STATE ENERGY CODE"); 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (28 CFR PART 36, SUBPART D), 2009 ACCESSIBILITY AND USABLE BUILDINGS AND FACILITIES (ICC A117.1-2009), AS WELL AS WITH OTHER LOCAL, STATE AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.
 C. THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK EDUCATION LAW ARTICLE 145 SECTION 7209 AND APPLIES TO THESE DRAWINGS: "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED ARCHITECT TO ALTER AN ITEM IN ANY WAY." IF ANY ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX HIS SEAL AND NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND SPECIFIC DESCRIPTION OF THE ALTERATION."
- COMPLIANCE:
 A. PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE FIRE CODE SECTION 906 AND COORDINATE WITH FIRE MARSHAL PRIOR TO INSTALLATION. DO NOT INSTALL FIRE EXTINGUISHERS UNTIL LOCATIONS HAVE BEEN REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
 B. OBTAIN ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK.
- CERTIFICATIONS:
 A. THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE. IT DOES NOT CONSTITUTE APPROVAL OF PRE-EXISTING CONDITIONS OR REVIEW OF THOSE CONDITIONS FOR CODE COMPLIANCE.
 B. THE ARCHITECT'S CERTIFICATION IS FOR COMPLIANCE WITH THE BUILDING CODE OF NEW YORK STATE AND ITS VARIOUS REFERENCE STANDARDS. FOR PURPOSES OF OBTAINING A BUILDING PERMIT THROUGH THE AUTHORITY HAVING JURISDICTION AND TO CONVEY CONSTRUCTION REQUIREMENTS FOR THE PROJECT, CERTIFICATION DOES NOT GUARANTEE COMPLIANCE WITH LOCAL CODES THAT MAY APPLY.

LEGEND



1 CODE COMPLIANCE DIAGRAM - FIRST FLOOR
 SCALE: 1/8" = 1'-0"

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 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
 Know what's Below Call before you dig.
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the state, commonwealth or district of New York. License No. 027488. Expiration Date: 12/31/24.

RETAIL TENANT SPACE FOR WILMORITE MANAGEMENT GROUP

334.9 MONROE AVE ROCHESTER, NY 14618

ROCHESTER 280 East Broad Street Suite 200 Rochester, NY 14604 Phone: 585.232.5135 COLLIERS ENGINEERING & DESIGN ARCHITECTURE, LANDSCAPE ARCHITECTURE, SUBDIVISION, E.T.C.

SCALE: AS SHOWN DATE: 09/06/2023 DRAWN BY: S SEVENSMA CHECKED BY: T BURKE
 PROJECT NUMBER: 23010116A DRAWING NAME: REVIEWED BY: P DINICOLA

SHEET TITLE: LIFE SAFETY PLAN AND DETAILS
 SHEET NUMBER: G1.0

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

Re: Root 31 Relocation



Roland Perrin [REDACTED]
To: April Zurowski
Cc: Xingyan Wang; Doug DeRue; Joe O'Donnell



Wed 2/11/2026 5:37 PM

[EXTERNAL]

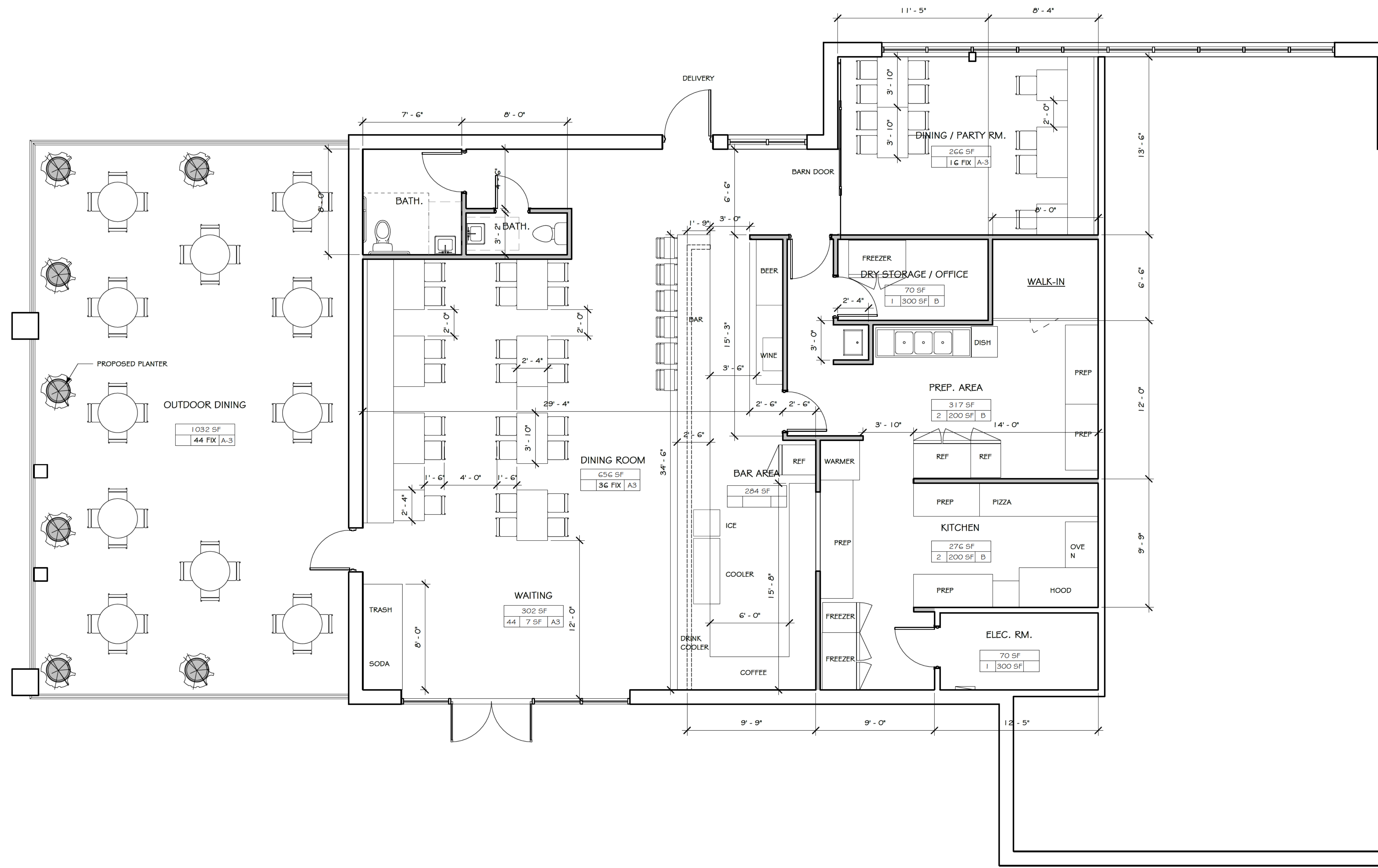
Hello,
These are the specifications of the grease trap we have now.
It works well and suits to our activities.

Brand :Great Basin
Grease interceptor
GB3
4070-001-04
Retained Grease 272.7lbs
Flow Rate 50 GPM
Liquid capacity 40 gal
4" inlet
Serial number 2022-44984

Let me know if you need for information.
Thanks
Roland Perrin
Root31
Sent from my iPhone

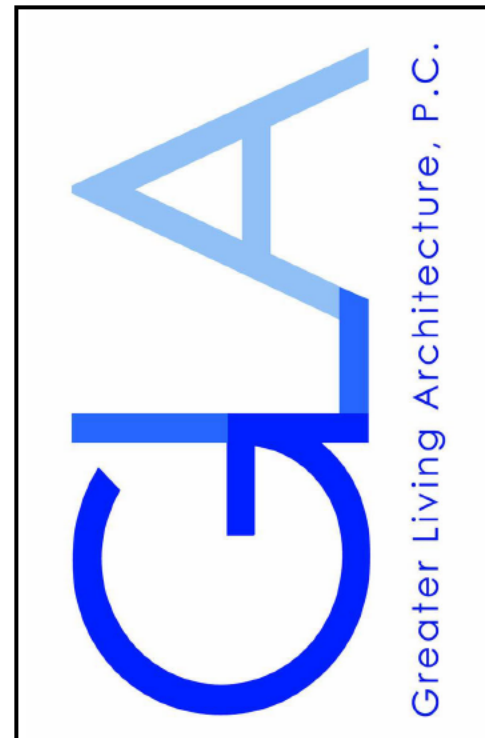
Exhibit C – Landlord completed work

- Functioning mechanicals with 8 tons of cooling capacity and gas heat (Trane high efficiency furnaces). Ductwork stubbed to space but not ran throughout. HVAC is stubbed through wall and terminated for temp conditioning. No duct ran through space. New units. See MEP Drawings M1.1.
- 400 amps 120/208 power available servicing panels with breakers. Meter installed - #350 133 671. Temporary lighting in place.
- Gas to the space. Meter installed - #23R188716
- Landlord to deliver Tenant a separate water meter, stubbed to the rear of the space. Diameter is 1.5", 60 psi is confirmed by Landlord.
- SOG concrete pad in place. 4" sanitary marked below slab within the space. Needs to be excavated and reworked based on new occupant (at Tenant's cost).
- There is a sanitary line under the slab in the space that would need to be tied into by the Tenant. No facilities exist in the space currently. Only electric room and open shell.
- Landlord shall deliver Minimum 1" conduit for Tenant's Internet/phone/cable lines from the existing building IT closet to Tenant's demised premises or from the exterior of the building to the Tenant's demised Premises.
- New entrance/storefront/ADA parking in place.
- Glass storefront is insulated and 1 inch thick.
- Demising walls are 1-hour fire rated.



1 01 - FIRST FLOOR PLAN
1/4" = 1'-0"

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 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 148, SECTION 7209.
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CONSULTANT:

CLIENT/LOCATION:
 ROOT 31
 Fast & Good Cafes, Inc
 3349 Monroe Ave, Rochester, NY 14618

REVISIONS:

#	DATE	BY	DESCRIPTION

FIRST FLOOR PLAN

DRAWN: XW DATE: 2/10/26

PROJECT: 26112 SHEET: A1.10

NOT FOR CONSTRUCTION

TOWN OF PITTSFORD
DEVELOPMENT REVIEW COMMITTEE – Planning Comments
For Planning Board Meeting 3/23/26

SUBJECT: Root 31 Café
 Special Use Permit
 3349 Monroe Avenue (Pittsford Plaza)
 Tax Parcel #150.12-1-18

The Town of Pittsford Development Review Committee (DRC) has reviewed the subject application. The following points have been identified for Planning Board consideration:

A written response to these comments must be provided for Planning Board and DRC review prior to a decision on this application. A digital copy of this document will be provided so that it may be incorporated into the response.

*****Questions about specific DRC comments should be directed to the Planning, Zoning, and Development Department (Doug DeRue or April Zurowski).**

PLANNING AND ZONING ISSUES:

GENERAL

1. This application proposes the relocation of restaurant operations, Root 31 Café, from the existing main building at 3349 Monroe Avenue (Pittsford Plaza) to an out-parcel building at the same address. The current out-parcel building is partially occupied by Citizen’s Bank and the proposed Root 31 area is currently vacant. The vacant portion and one lane of the existing drive-thru will be renovated to include a full kitchen, indoor dining area, and outdoor dining area. This property is zoned Mixed-Use Commercial (MU-C). (DPW)
2. This is an Unlisted Action pursuant to SEQRA and a Part I Short EAF has been submitted by the applicant. The Planning Board will complete a Part II and Part III SEAF as part of reaching a SEQRA Determination. (DPW)
3. The applicant has not submitted responses to Town Code §185-174 Determination of Impact. A decision by the is contingent on the Planning Board’s acceptance of the applicants’ responses that have not been provided yet. (DPW)
4. Revised plans will be reviewed using the Monroe Avenue Design Guidelines which were developed and adopted by the Town of Pittsford in 2002. The Design Guidelines address the look and feel of development and re-development including landscaping, parking, pedestrian movements, and project design. (DPW)
5. The application states that a drive-thru is not part of this application. If a drive-thru is proposed in the future, it will require a Special Use Permit modification from the Planning Board. (DPW)
6. Although the Town did not require a full site plan application, the plans provided are not sufficient to evaluate the use. Please provide a new plan with additional details. The site plan should provide additional details for the work necessary to create the outdoor seating area, including the door from the building, demolition of the existing curb, and the associated fence. The plan should also show landscaping, any changes in parking, drive lanes, and drive-thru area, as well as other possible site modifications to sidewalk, parking, and/or ADA accessible routes. (TE)

PARKING

7. Will special short-term parking spaces be provided for take-out pickup? It should be noted that parking in the drive lane in front of the storefront is not allowed. Use of the Citizen’s Bank drive-thru lane should be avoided. Short-term parking spaces depicted with signage must conform to §185-134.14 of the Town Code. (DPW)

8. Recent observations have shown that parking in the plaza is sufficient, but at peak times parking may only be available in less than convenient locations. The proposed use may generate increased parking generation that coincides with existing peak periods. (DPW)

SANITARY SEWERS

9. In accordance with §121-11 of the Town Code, a design engineer or architect must provide a suitable grease interceptor for the kitchen and food preparation areas of the restaurant; an external grease trap is required for most restaurant operations. (DPW)
10. Please provide a full plumbing schematic and video of the existing plumbing network from the point of proposed connection (new work) to the existing lateral's connection at the sewer main. If the facility is connected to a sewage injector, the Town will require that the existing system be documented and verified to be of sufficient size to accommodate the anticipated effluent loading. (TE)
11. The Town typically requires an exterior gravity grease trap with a minimum size of 1,000 gallons for restaurants. Upon limited review of the existing location, as well as your proposed business model of a full-service restaurant with an interior capacity of approximately 52 seats and an additional conceptual outdoor capacity of 44 seats, the Town cannot justify waving the exterior gravity grease trap requirement. The Town recognizes this is an added expense to your project, however given chronic issues within the Town's existing infrastructure concerning fats, oils, and grease (FOG), we must remain consistent with our policy. (TE)
12. The gravity grease trap shall be sized to accommodate all floor drains, mop basins, and plumbed kitchen fixtures. Please provide a plumbing plan, and fixture unit count for the entire facility and for those draining through the grease trap. If a food grinder is added to the proposed kitchen areas, we request the tank be further upsized to a 1,250-gallon tank. (TE)
13. The grease trap must be exterior to the building and below grade. The tank must include an intermediate baffle with two access points and be vehicle load rated. Surface grades above the unit must slope away from the tank's covers. The tank must have secure covers that meet Monroe County Pure Waters requirements. (TE)
14. Final Approval/issuance of a Building Permit will be contingent on review of the project's floor and plumbing plans as well as associated sizing calculations. When making the final design submission, please include the sizing calculations and fixture unit count for the entire facility as well as those fixtures draining through the grease trap only. (TE)
15. Following grease trap review and approval from the Town Engineer, the applicant shall submit plans to Monroe County Pure Waters (MCPW) for review. A copy of the approval from MCPW should be submitted to the Town for record-keeping. (MCDPD)

LIGHTING, LANDSCAPING, & SIGNAGE

16. All new or replacement exterior lighting is subject to review and approval by the Planning Board. All exterior lighting components should be identified on the plan. Such plan shall indicate the location, fixture design, and details. Illuminance may be plotted by using manufacturer's photometric charts or the Planning Board may require ISO footcandle drawings to examine the interaction of all lighting on the site. Additional documentation may be requested as necessary to show conformance to the standards set forth in Town Code Article XV. (DPW)
17. Plans must note that "Town of Pittsford Code Enforcement Officers can require shielding of any light fixtures where glare of the light source is visible from residential property or public ROWs." (DPW)

18. The plans and submission materials do not show or mention landscaping. It should be noted that the original site plan approval included a landscaping plan that was required by code. The existing landscaping should be supplemented and reviewed to ensure that the original intent of the landscaping is being reasonably met. (DPW)
19. Please provide additional landscaping within the existing island abutting Monroe Avenue and the Pittsford Plaza drive lane entrance to shield the outdoor dining area from motorists. Landscape screening will provide both visual and sound buffering between the roadway and the restaurant. Additional planters may also enhance the outdoor dining experience. (EB)
20. Per Town Code § 185-134.14 A., signs identifying businesses or service establishments must be attached to a building. A minimum of 15 square feet is permitted, plus an additional 5 square feet per 1,000 square feet of lease area for businesses larger than 1,000 square feet. According to the submitted floor plan, the space is approximately 2,558 square feet, so the total permitted signage for the space is 25 square feet. Signage design is subject to review and approval by the Design Review and Historic Preservation Board. (DPW)

FIRE SAFETY

21. The Fire Marshal has provided detailed comments provided at the end of this report. The applicant should provide general responses for Planning Board review. Please note that Fire Marshal comments must be addressed in detail before the issuance of a building permit. (DPW)
22. An engineer's report shall be submitted to the supplier of water to determine the degree of hazard and the need for backflow prevention, at the request of Monroe County Department of Health (MCDOH). (MCDPD)

MISCELLANEOUS

23. The concept floor plan shows a new door on the front of the building and under the former drive-thru as well as the conversion of the former drive-thru to an outdoor dining space. Architectural plans should address any modifications to the exterior of the building as well as interior modifications. Changes to the exterior elevations of the building will need to be approved by DRB. (TE)
24. Town Code §185-42 G. states, "No use shall be permitted to be established or maintained which by reason of its nature or manner of operation is, or may become, hazardous, obnoxious or offensive owing to emission of odor, dust, smoke, cinders, gas fumes, noise vibration, refuse matter or water-carried waste." Application materials do not indicate the type or location of dumpsters. Please clarify the route for trash and refuse removal and indicate the location of new dumpster(s), if applicable. (DPW)
25. Monroe County Department of Planning & Development has reviewed this application and has provided comments. A copy of the report is attached and incorporated herein. (DPW)

NOTE: The letters in parenthesis following each comment identifies the DRC Member listed below making the comment.

DPW – Department of Public Works

PSD – Pittsford Sewer Department

EB – Environmental Board

DRHPB – Design Review & Historic Preservation Board

TE – Town Engineer

FD – Fire Dept. (PFD – Pittsford, BFD – Brighton)

MCDPD – Monroe County Department of Planning & Development

FM – Fire Marshal

Fire Marshal Review Comments

1. Occupancy Classification / Use Change

The submitted life safety documentation previously identified Group B/M (bank/retail). The new layout clearly reflects restaurant use (Group A-3) with commercial kitchen, bar, indoor and outdoor dining

- Confirm final occupancy classification as Group A-3 Assembly (restaurant).
- Provide updated occupant load calculations per 2020 BCNYS Chapter 10.
- Confirm mixed occupancy separation compliance between the new project and the bank.

2. Automatic Sprinkler System

Previous code summary indicated sprinklers were not required under prior occupancy assumptions

Given the change to Assembly use:

- Confirm whether the building is or will be sprinklered.
- If occupant load ≥ 100 (Assembly), sprinkler system may be required per BCNYS §903.2.1.3.
- If not sprinklered, provide documentation demonstrating sprinkler threshold not triggered.
- Confirm FDC location and access if applicable.

3. Means of Egress / Exterior Pedestrian Safety

A. Interior Egress

- Confirm minimum two remote exits from Assembly space per Chapter 10.
- Verify exit separation distance.
- Confirm required egress width based on calculated occupant load.
- Confirm panic hardware on Assembly occupant load >50 .

B. Exterior Egress Discharge Condition

The attached site image (last page) highlights the high-traffic Monroe Ave intersection immediately adjacent to primary pedestrian paths

Concern: A significant number of patrons must cross internal drive aisles and/or navigate a busy intersection to access parking areas. This creates potential conflict between:

- Vehicular turning movements
- Outdoor dining patrons
- Egress discharge during emergency conditions

Request:

- Clarify defined pedestrian path of travel from building exits to public way per BCNYS §1028.
- Confirm marked crosswalks, signage, and pedestrian protection measures.
- Consider additional striping, bollards, or traffic calming measures near exit discharge points.

4. Accessible Parking & Routes

Site plan indicates ADA spaces and ramp

Please confirm:

- Required number of accessible spaces for restaurant occupant load.
- Closest accessible spaces are located nearest primary entrance.
- Van accessible space dimensions compliant with ICC A117.1.
- Accessible route from parking to entrance is fully protected from drive aisle conflicts.

5. Fire Department Access

- Confirm fire apparatus access route width (20' min clear).
- Verify no obstructions from outdoor dining area encroach into fire access.
- Confirm hydrant proximity and unobstructed access.
- If mechanical equipment or screening is added, ensure no interference with FD access.

6. Kitchen / Grease Interceptor

Grease trap information submitted (50 GPM, 40 gallon unit) Root 31 Grease Trap Info.

From Fire Code standpoint: (More code review related)

- Confirm hood suppression system (UL300 compliant) for cooking appliances.
- Confirm Type I hood where grease-producing appliances exist.
- Provide hood suppression cut sheets and monitoring details.
- Ensure clear access to suppression manual pull and fuel shutoffs.

7. Demising Walls

Exhibit notes demising walls are 1-hour fire rated Root 31 Proposed Site Plan.

- Provide UL assembly details.
- Confirm continuity to underside of roof deck.
- Confirm penetrations properly fire-stopped.

8. Exterior Lighting

Given proximity to busy intersection and outdoor dining:

- Provide Lighting plan for exterior and pedestrian path lighting.
- Ensure lighting levels adequate at exit discharge and crosswalk areas.
- Confirm emergency egress illumination at exterior discharge points.

9. Vestibule / Energy Code Consideration

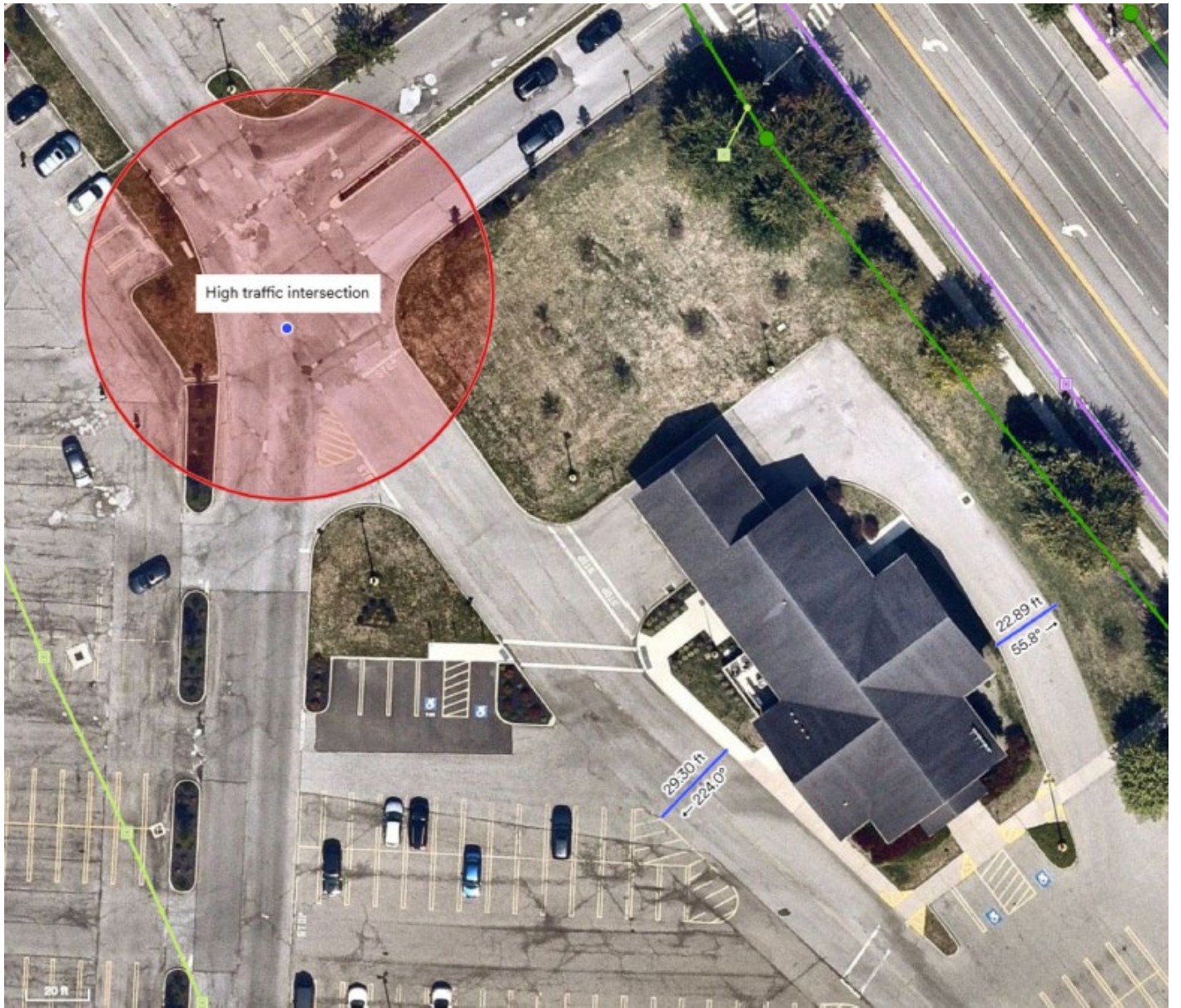
Given primary entrance directly faces parking/traffic area:

- Confirm whether vestibule required per Energy Code.
- Consider air infiltration impacts given high-traffic restaurant use.

10. Outdoor Dining

Outdoor dining area shown Root 31 Proposed Site Plan.

- Confirm occupant load included in total egress calculations.
- Ensure clear exit path from outdoor area to public way.
- Confirm no tables obstruct required exit width.
- Confirm separation from fire department access route.



**TOWN OF PITTSFORD
PLANNING BOARD
FEBRUARY 9, 2026**

Minutes of the Town of Pittsford Planning Board meeting held on February 9, 2026, at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Paul Alguire, Jim Connaughton, Dave Jefferson, Paula Liebschutz

ABSENT: John Halldow, Hali Buckley, Kevin Morabito

ALSO PRESENT: Doug DeRue, Director of Planning, Zoning, and Development; April Zurowski, Planning Assistant; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 1 member of the public present.

Vice Chairman Alguire motioned to open the meeting, seconded by Board Member Liebschutz. Following a unanimous voice vote, the meeting opened at 6:30PM, none opposed.

CONTINUED HEARING:

DDS Engineering and Surveying, LLP, Kirik Subdivision
Preliminary/Final Subdivision

Adam Colton, of DDS Engineering and Surveying, LLP, re-introduced the application. He stated that responses were submitted to the Development Review Committee (DRC) report and plans were updated. He has received the draft resolutions and has no concerns about the conditions of approval.

Vice Chairman Alguire stated that there was an open hearing on the matter. He asked for public comments. Hearing none, Vice Chairman Alguire motioned to close the public hearing on this matter, seconded by Board Member Jefferson; all ayes, none opposed. Vice Chairman Alguire read the SEQRA and Preliminary/Final Subdivision resolutions, both unanimously approved by the Board.

OTHER DISCUSSION:

The minutes of January 12, 2026, were approved following a motion by Board Member Liebschutz, seconded by Board Member Jefferson. Following a unanimous vote, the minutes were approved, none opposed.

Board Member Jefferson motioned to close the meeting at 6:35PM, seconded by Board Member Liebschutz, and approved by a unanimous voice vote, none opposed.

Respectfully submitted,

April Zurowski
Planning Assistant