

**AGENDA
TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
FEBRUARY 16, 2026**

This agenda is subject to change.

Please take notice that the Town of Pittsford Zoning Board of Appeals will hold the following meeting on Monday, February 16, 2026, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

NEW HEARINGS

192 Knickerbocker Road – Tax ID 164.15-2-39.2

Applicant is requesting relief from Town Code Section 185-17 M. (c) for the re-construction and expansion of an inground pool not meeting the minimum side setback requirements. This property is zoned Residential Neighborhood (RN).

1 Reitz Parkway – Tax ID 164.10-2-45

Applicant is requesting relief from Town Code Sections 185-17 B. (1) for the construction of a covered porch forward of the building line and allowable façade area, 185-113 C. (3) for the retaining wall in the front yard area, and 185-113 C. (3) for the patio in the side yard area. This property is zoned Residential Neighborhood (RN).

OTHER BUSINESS

Approval of Minutes

TABLED HEARING

71 Knollwood Drive – Tax ID 138.13-1-21

Applicant is requesting relief from Town Code Sections 185-17 H. and I. for the construction of new home exceeding the maximum building footprint and maximum lot coverage. This property is zoned Residential Neighborhood (RN).

The next scheduled meeting is for Monday, March 16, 2026.

Zoning Board of Appeals Referral Form Information

ZB26-000001

Property Address:

192 Knickerbocker Road PITTSFORD, NY 14534

Property Owner:

Larrabee, Meaghan
192 Knickerbocker Rd
Pittsford, NY 14534

Applicant or Agent:

Luke Nagle, New Energy Works

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	20	Right Lot Line:	16.5	Right Lot Line:	3.5
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Section: Applicant is requesting relief from Town Code Section 185-17 M. (c) for the re-construction and expansion of an inground pool not meeting the minimum side setback requirements. This property is zoned Residential Neighborhood (RN).

Staff Notes: This property appeared in front of the Board for multiple area variances back in January 2025. The setbacks for flag lots were changed in March 2025 from 60 feet to 20 feet, and the pool is now proposed to be expanded into that new setback. So, the applicant is returning to request encroachment into the side setback, but has already received approval for the pool's location in the side yard.

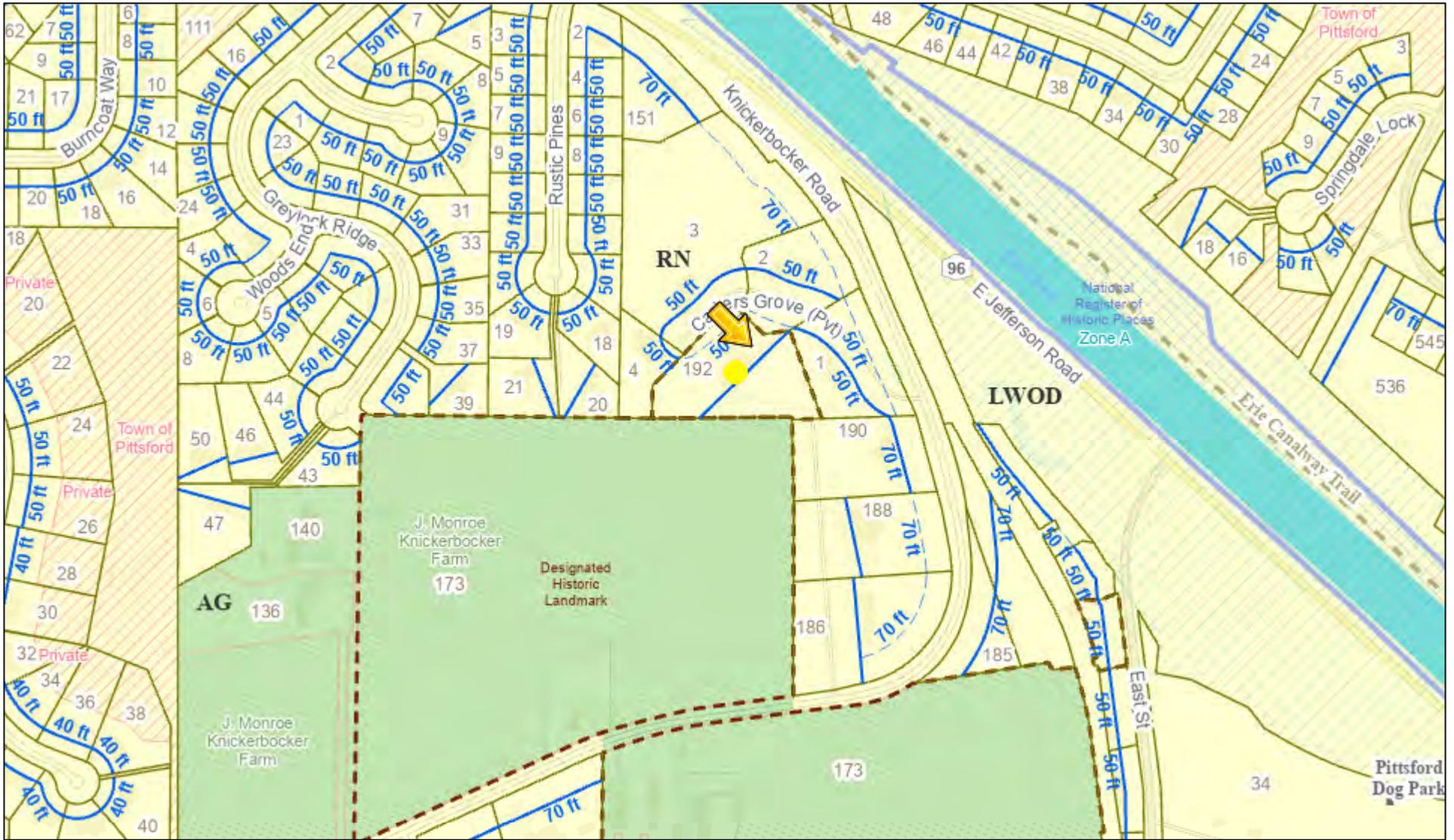
January 13, 2026

ARZ

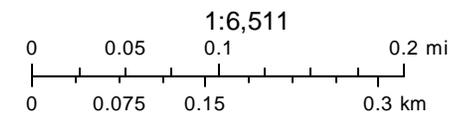
Date

April Zurowski -

192 Knickerbocker Road



1/13/2026, 10:00:35 AM



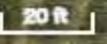
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

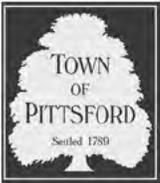


Mon Apr 28 2025

Imagery © 2026 Nearmap, HERE



Nearmap



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: January 8, 2026 Hearing Date: February 16, 2026

Applicant: New Energy Works - Luke Nagle

Address: 1180 Commercial Drive, Farmington, NY 14425

Phone: [REDACTED] E-Mail: [REDACTED]

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: Meaghan Larrabee
(if different than Applicant)

Address: 22 Lake Lacoma Drive, Pittsford NY, 14534

Phone: [REDACTED] E-Mail: [REDACTED]

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 192 Knickerbocker Road Current Zoning: Residential Neighborhood

Tax Map Number: 164.15-2-39.2

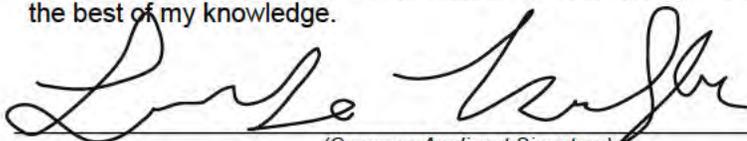
Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

Demolition and expansion of existing pool as related to previously approved home renovation.

A variance was previously approved for the pool, but the setback is now proposed to change.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.


(Owner or Applicant Signature)

1/8/2026
(Date)



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Meaghan Larrabee, the owner of the property located at:
192 Knickerbocker Road, Pittsford, NY 14534
(Street) (Town) (Zip)

Tax Parcel # 164.15-2-39.2 do hereby authorize
New Energy Works to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of seeking a
variance for pool setback

Signed by:

1/7/2026
3B4CD6C259894F6...

(Signature of Owner)
1/7/2026

(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

A reduction in the setback to the edge of the proposed pool would not effect or change the character since the neighboring homes do not reside on the side of the private drive with which those lots are adjacent to the subject property. Allowance of this reduced setback would not interfere with the use of those properties or create a significant reduction of the privacy of those other homes.

The pool setback is only 6 feet closer to the property line than previously approved.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Based on the existing site layout, and the location of the existing home, creating a more suitable sized pool can only be accomplished by expanding in this direction. In order to keep usable patio surfaces sizes around the pool, maintain the sewer/septic system to the south and create drainage plans that minimize run off expanding the pool in this direction makes the most sense

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

This request is substantial as we are requesting a 3.5 foot variance (17.5%). The previous variance was granted when the setback was 60 feet. It has since been reduced to 20 feet as part of the updated zoning code.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

This variance does not affect the physical and environmental aspects of the neighborhood since we will not be removing trees/shrubs (we will in fact be adding some) and we will be providing better storm water management with this new work.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes. This is a pre-existing, historic home that is being updated for modern living, but the expansion of the pool is a desire by the applicant to suit the renovated house.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

192 Knickerbocker Pool Expansion

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment

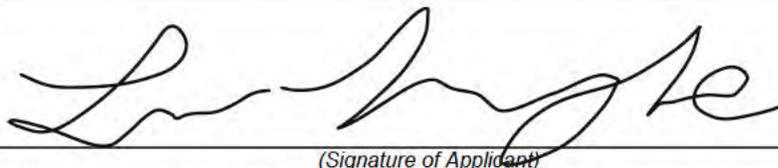
variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

January 8, 2026

(Dated)

1180 Commercial Drive

(Street Address)

Farmington, NY, 14425

(City/Town, State, Zip Code)

SITE PLAN KEY:

PAVING & HARDSCAPE

-  LARGE PAVERS
-  SMALL PAVERS
-  STONE COBBLE
-  ASPHALT PAVING
-  STEPS
-  LOW STONE WALL
-  EXISTING STONE WALL TO REMAIN
-  FLUSH CURB
-  NEW FENCE

BOUNDARIES & SITE FEATURES

-  EXISTING BUILDING
-  PROPOSED BUILDING ADDITION
-  PROPOSED FUTURE BUILDING
-  PROPERTY LINE
-  EXISTING STRUCTURE FOOTPRINT (TO BE REMOVED)
-  TREE / SHRUB LINE
-  EXISTING CONIFER (REDUCED SCALE SHOWN)
-  EXISTING DECIDUOUS TREE (REDUCED SCALE SHOWN)
-  PLANTING AREA
-  PROPOSED TREE

BUILDING MODIFICATIONS & ADDITIONS:

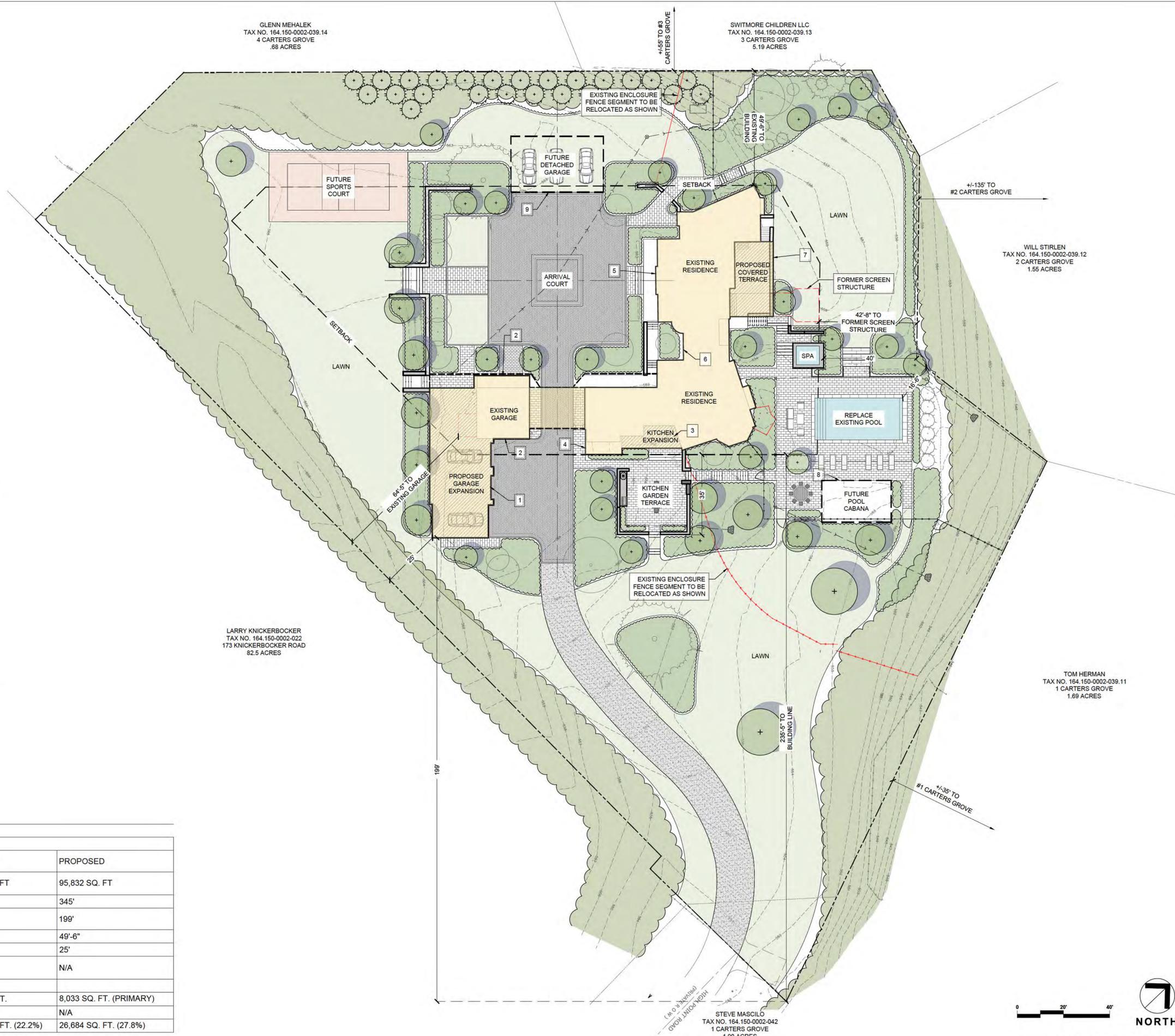
- 1 PROPOSED GARAGE EXPANSION
- 2 EXISTING GARAGE MODIFICATION & EXPANSION
- 3 PROPOSED KITCHEN EXPANSION
- 4 ENCLOSURE OF EXISTING COVERED ENTRY AREA
- 5 PROPOSED MODIFICATION TO MAIN ENTRY OF HOME
- 6 MODIFICATION TO EXISTING INTERNAL STAIR
- 7 PROPOSED COVERED TERRACE
- 8 FUTURE POOL CABANA
- 9 FUTURE DETACHED GARAGE

SITE COVERAGE CALCULATIONS:

EXISTING LOT SIZE:	95,832 SF (2.2 ACRES)
MAXIMUM ALLOWABLE LOT COVERAGE (40%):	38,333 SF (40.0%)
EXISTING COVERAGE (%):	21,292 SF (22.2%)
PROPOSED LOT COVERAGE (%):	26,684 SF (27.8%)

ZONING CHART - TOWN OF PITTSFORD:

ZONING DISTRICT: RESIDENTIAL NEIGHBORHOOD (RN)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	N/A	95,832 SQ. FT	95,832 SQ. FT
MIN. LOT WIDTH	N/A	345'	345'
MIN. FRONT YARD SETBACK	PER CODE	235'-5"	199'
MIN. REAR YARD SETBACK	60'	49'-6"	49'-6"
MIN. SIDE YARD SETBACK	60'	42'-8"	25'
MIN. REAR YARD SETBACK (ACCESSORY)	60'	N/A	N/A
MAX. BUILDING HEIGHT	30'	N/A	N/A
MAX. BUILDING FOOTPRINT	6,167 SQ. FT.	5,962 SQ. FT.	8,033 SQ. FT. (PRIMARY)
MAX. ACCESSORY BUILDING HEIGHT	12'	N/A	N/A
MAX. LOT COVERAGE	38,333 SQ. FT. (40.0%)	21,293 SQ. FT. (22.2%)	26,684 SQ. FT. (27.8%)



Bayer Landscape Architecture, PLLC
 19 North Main Street
 Honeycove Falls, New York 14472
 P: 585-582-2000
 F: 585-582-2005
 bayerla.com

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

Scale: 1"=20'-0"
 Checked By: MHB
 Drawn By: DMB
 Design By: BLA
 Date: 2025-12-10
 Project No: 2024-111

Revisions: _____ Date: _____

LARRABEE RESIDENCE
 192 KNICKERBOCKER ROAD
 PITTSFORD, NEW YORK 14834

SITE MASTER PLAN

L1.0

Zoning Board of Appeals Referral Form Information

ZB26-000002

Property Address:

1 Reitz Pkwy PITTSFORD, NY 14534

Property Owner:

Edwards, Ryan W
1 Reitz Pkwy
Pittsford, NY 14534

Applicant or Agent:

Amanda E. Costanzo, AIA, LEED AP
9x30 Design, Architecture, PLLP

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	20	Front Setback:	10.8	Front Setback:	9.2
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

Code Sections: Applicant is requesting relief from Town Code Sections 185-17 B. (1) for the construction of a covered porch forward of the building line and allowable façade area, 185-113 C. (3) for the retaining wall in the front yard area, and 185-113 C. (3) for the patio in the side yard area. This property is zoned Residential Neighborhood (RN).

Staff Notes: Due to the odd shape of the lot and the house fronting Reitz Pkwy, the patio is considered in the side yard area and the retaining wall is considered in the front yard area.

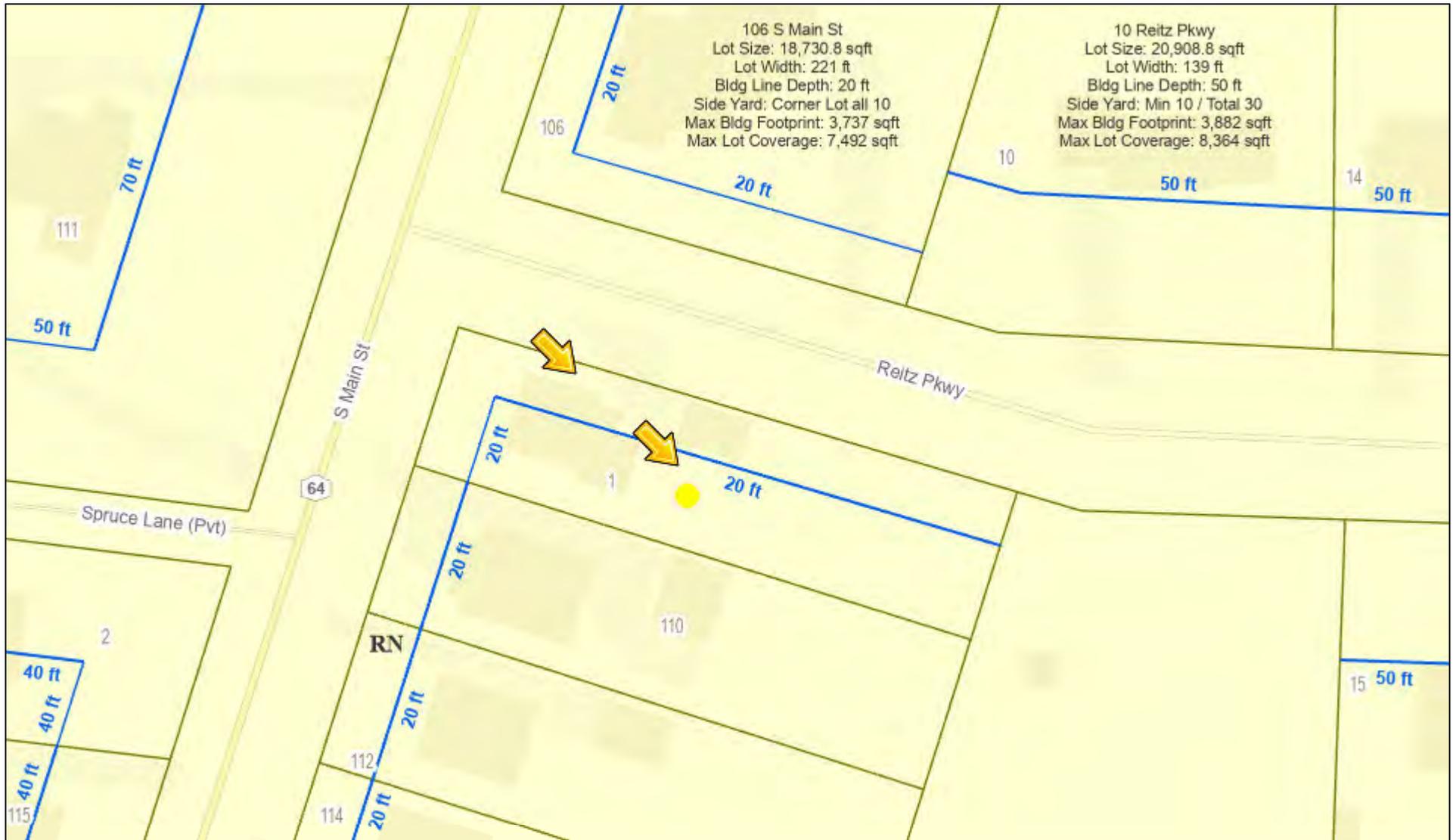
January 14, 2026

ARZ

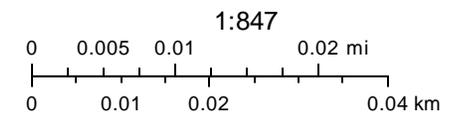
Date

April Zurowski -

1 Reitz Parkway



1/14/2026, 8:53:04 AM



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

S Main St

Reitz Pkwy

108

5



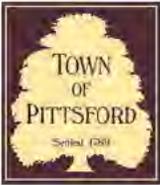
110
110

Mon Apr 28 2025

Imagery © 2026 Nearmap, HERE

10 ft

Nearmap



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: January 13, 2026 Hearing Date: February 16, 2026

Applicant: Amanda E. Costanza, AIA, LEED AP, 9x30 Design, Architecture

Address: 314 Hollywood Ave, Rochester, NY 14618

Phone: [REDACTED] E-Mail: [REDACTED]

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: Alexandra and Ryan Edwards
(if different than Applicant)

Address: 1 Reitz Parkway, Pittsford, NY 14534

Phone: [REDACTED] E-Mail: [REDACTED]

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 1 Reitz Pkwy Current Zoning: RN

Tax Map Number: 164.10-2-45

Application For: Residential Commercial Other

Please describe, in detail, the proposed project:

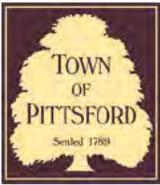
The proposed project consists of a partial first floor remodel and front porch addition, and a second floor addition to an existing 2-story single family home.
We are requesting the following variances for this project:

1. Variance from 185-17 B. (1) for the construction of a covered porch forward of the building line and allowable façade area
2. Variance from 185-113 C. (3) for the retaining wall in the front yard area
3. Variance from 185-113 C. (3) for the patio in the side yard area

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.


(Owner or Applicant Signature)

(Date)



TOWN OF PITTSFORD AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Alexandra Edwards, the owner of the property located at:
1 Reitz Parkway Pittsford 14534
(Street) (Town) (Zip)

Tax Parcel # 164.10-2-45 do hereby authorize
Amanda E. Costanza to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of requesting
variances for a front porch, retaining wall, and patio.

(Signature of Owner)

(Date)



NEW YORK STATE

STANDARDS FOR THE GRANTING OF AREA VARIANCES

TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

1. This existing 1925 colonial is similar in style and age to the adjacent homes along Main Street, many of which have front entry porches. The proposed porch will match the style and materials of the existing home, complementing its design. Once built, the porch will blend in with the neighborhood as if always there. Raising the front door to be at the same level as the main floor is more typical for this style of home. The home across Reitz Parkway from this one is a very similar style Colonial with the front door at the main level.
2. The minor changes to the existing landscape stair and timber walls between the driveway and porch will not be noticeable to neighbors, as all changes will be below the level of the existing front lawn.
3. The proposed patio will be hidden from street view by the existing garage. This will be a more desirable location for this use, as the current deck on the east side of the house is higher in elevation and visible from Reitz Parkway.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

1. The property is existing non-conforming, with the existing house already over the front building line required by code. The existing front entrance door opens onto a very small interior landing located between floors, creating an unsafe, and impractical main entrance to the home. After exploring many options, we found the best solution to be to move the entry door up to the main level, necessitating an exterior stair to access it. We are proposing a 4' deep covered porch here to allow for safe entrance into the home in inclement weather. The porch configuration is intended to be the minimum ask to achieve this goal while also providing a desirable front elevation design that complements the 100-year old home.
2. The small timber landscape wall and stair change is necessary to access the raised lawn and porch which is set 27" higher than the existing driveway and because of the existing non-conforming house location, this work will be within the front yard. The wall alteration will start at a minimum 5.9' from the front property line.
3. Due to the unique layout of the existing house on this corner lot, the area that the owners use as their backyard is considered by zoning code to be a "side yard." There is not the space between the houses on Main Street to use their code-defined "rear yard" as anything but green space between houses.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested variances are minimal:

Code Required Front Setback: 20.0'

Request: 10.8'

Relief of: 9.2'

1. The proposed front porch is only 4' deep—just enough space to safely navigate safely between front door and stair. The allowable façade area is 12.0' from the front property line, therefore we are requesting a relief of 1.2' from the facade area and 9.2' from the front building line. The 16.4' width of the front porch is based on maintaining the symmetry of the house's façade (replacing the existing front door with a window) and tying the new porch into this façade and the existing stair location at the driveway.
2. The changes to the timber walls are the minimum necessary to alter the existing to accommodate the new circulation path to the house.
3. The proposed patio is just a small paved area at grade level with no covering. A more substantial request would be deck above grade or covered porch, which we are not proposing.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

1. The existing garage is already only 1.4' from the front property line, therefore, the proposed front porch will not affect views for vehicular traffic purposes or neighbor's views of greenspace from their homes.
2. There is already a timber landscape retaining wall separating the front lawn area from the driveway which is 27" lower in elevation. The proposed change will only slightly alter these walls at the stair between driveway and front porch and will not be a noticeable change to neighbors.
3. The proposed patio on grade will be hidden from view and will have a less adverse effect on the neighborhood than the existing raised deck that is being removed.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

The desire for these renovations is self-created, but due to the lot configuration, the difficulties cannot be overcome by other feasible means. The house was built over the front building line, making it impossible to create a safer, weather-protected entry without requiring a variance; and the only outdoor space large enough to be the usable backyard, is considered a "side yard" by zoning code.

Print Form

Reset Form

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

1 Reitz Parkway Remodel & Addition

(Project Name)

The undersigned, being the applicant(s) to the...

- Town Board
- Zoning Board of Appeals
- Planning Board
- Architectural Review Board

...of the Town of Pittsford, for a...

- change of zoning
- special permit
- building permit
- permit
- amendment
- variance
- approval of a plat
- exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



(Signature of Applicant)

January 13, 2026

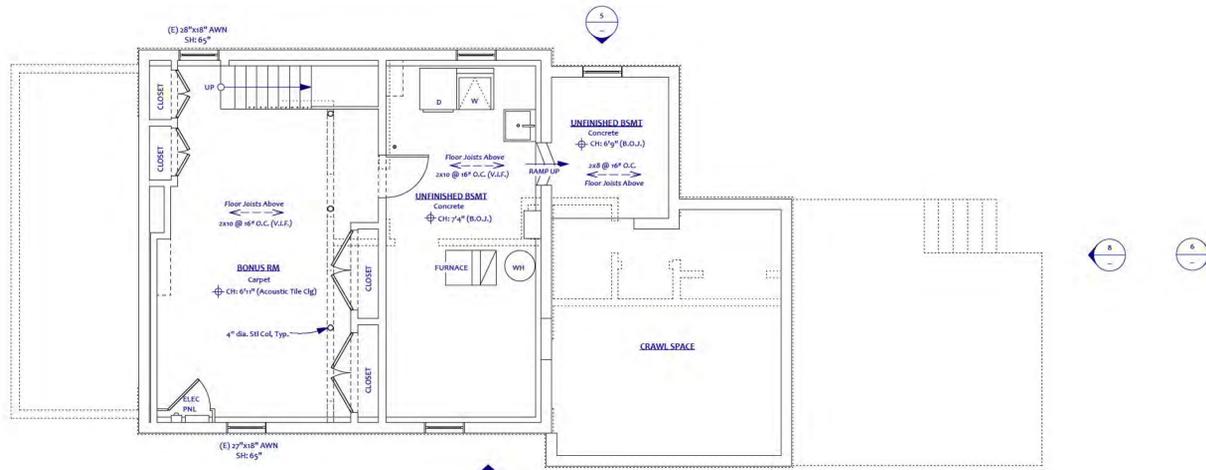
(Dated)

314 Hollywood Ave

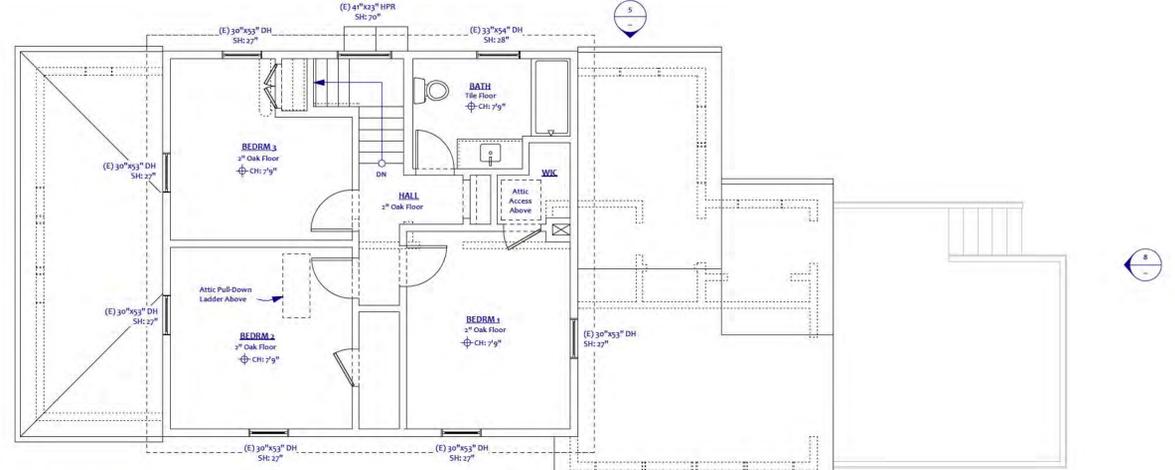
(Street Address)

Rochester, NY 14618

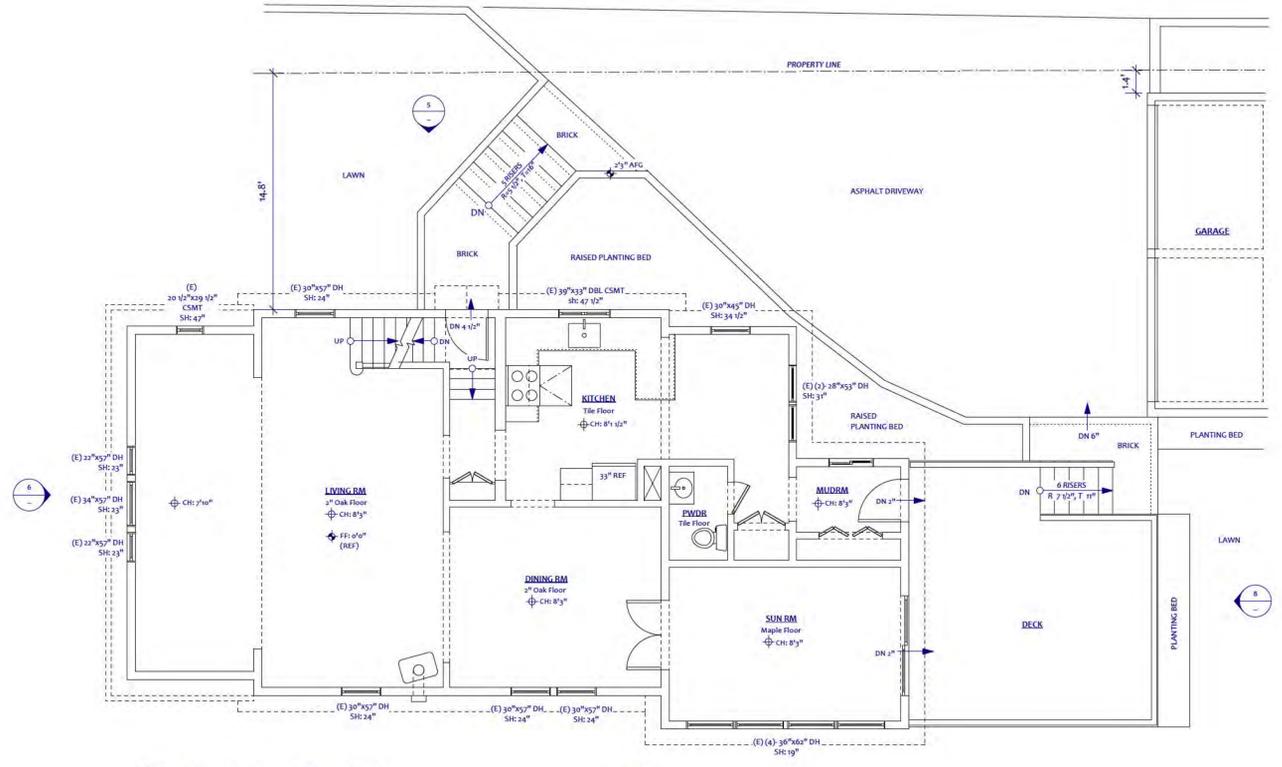
(City/Town, State, Zip Code)



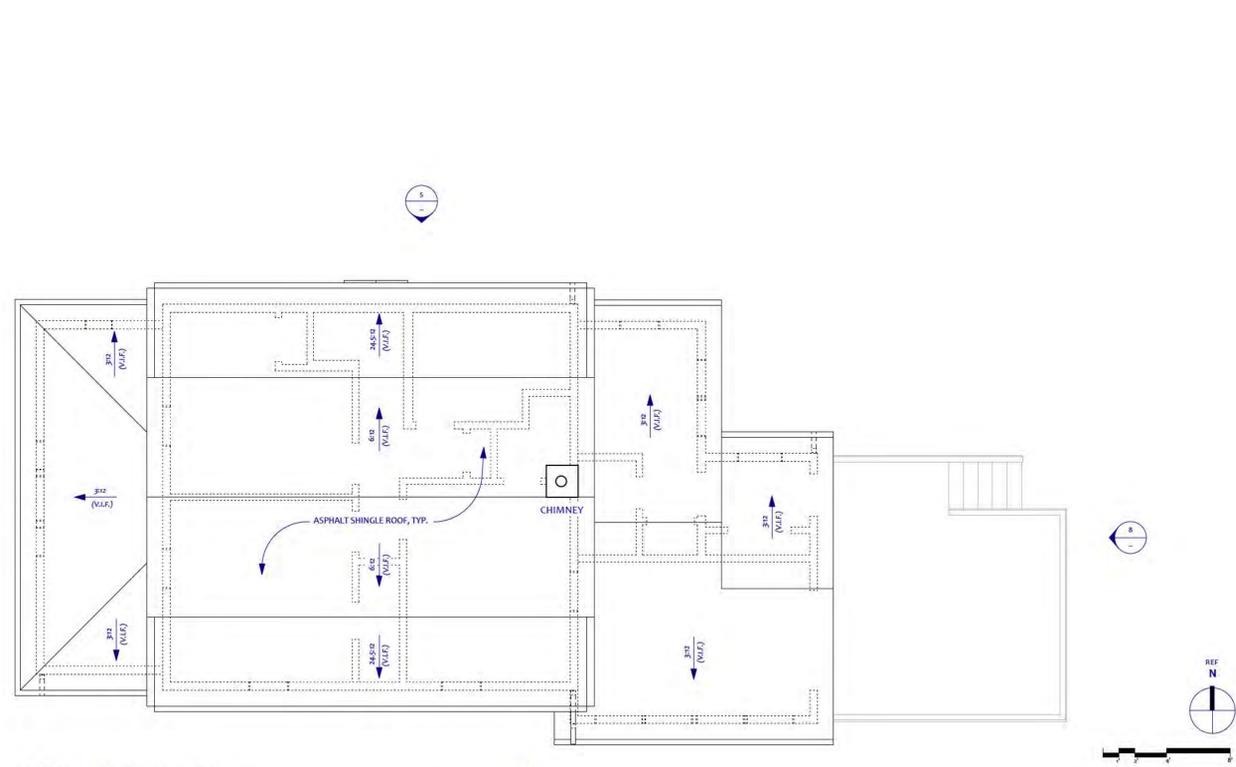
1 EXISTING BASEMENT FLOOR PLAN
Scale: 3/16" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"



4 EXISTING ROOF PLAN
Scale: 3/16" = 1'-0"



5 EXISTING NORTH (FRONT/REITZ PKWY) ELEVATION
Scale: 1/8" = 1'-0"



6 EXISTING WEST (SIDE/MAIN ST) ELEVATION
Scale: 1/8" = 1'-0"



7 EXISTING SOUTH (REAR) ELEVATION
Scale: 1/8" = 1'-0"



8 EXISTING EAST (SIDE/REAR YARD) ELEVATION
Scale: 1/8" = 1'-0"

NO.	DESCRIPTION



9x30 Design
ARCHITECTURE
314 Hollywood Avenue
Rochester, NY 14618
(P.H.) 585.242.0501
info@9x30.com
www.9x30.com

EDWARDS RESIDENCE
1 REITZ PARKWAY
PITTSFORD, NY 14534

EXISTING PLANS
& ELEVATIONS

DATE: 1.13.26
SCALE: AS INDICATED
DRAWN BY: AEC
FOR ZONING BD

EDWARDS

A1.0

REVISIONS	



It is a violation of New York State Education Law Article 160, Section 2009 for any person, unless acting under the direction of a licensed architect, professional engineer or landscape architect to alter any item on this document in any way. Any licensee who alters this document is prohibited by law to file their seal and this notation "ALL RIGHTS BY" followed by their signature and the date of such alteration, and a specific description of the alteration.

9x30 Design
architecture

314 Hollywood Avenue
Rochester, NY 14618
(ph) 585.242.0501
info@9x30.com
www.9x30.com

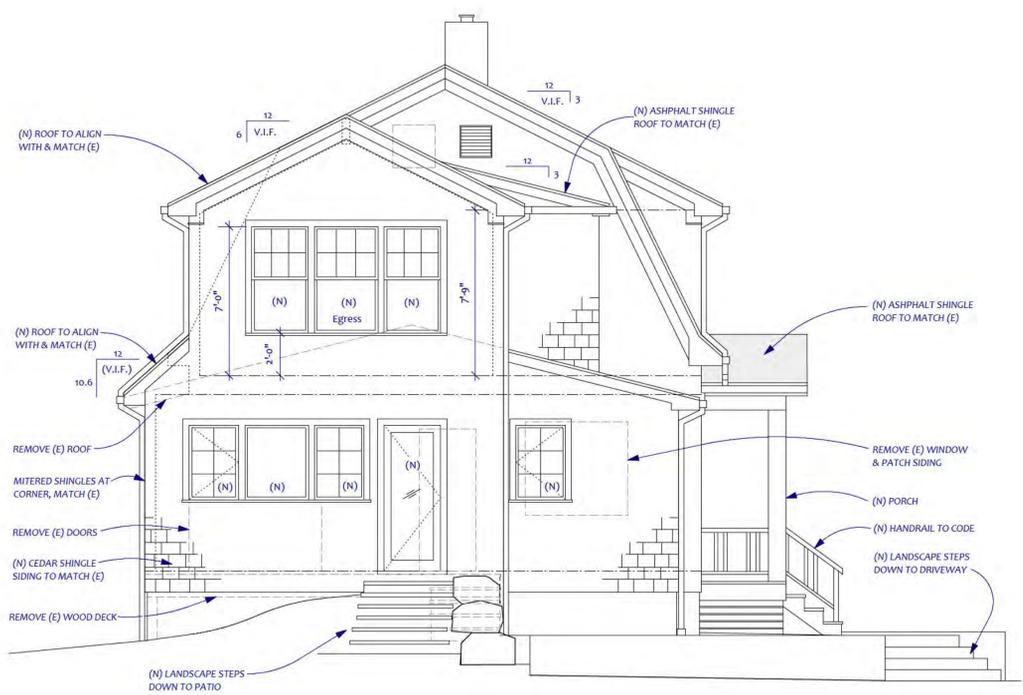
EDWARDS RESIDENCE
1 REITZ PARKWAY
PITTSFORD, NY 14534

NEW ELEVATIONS

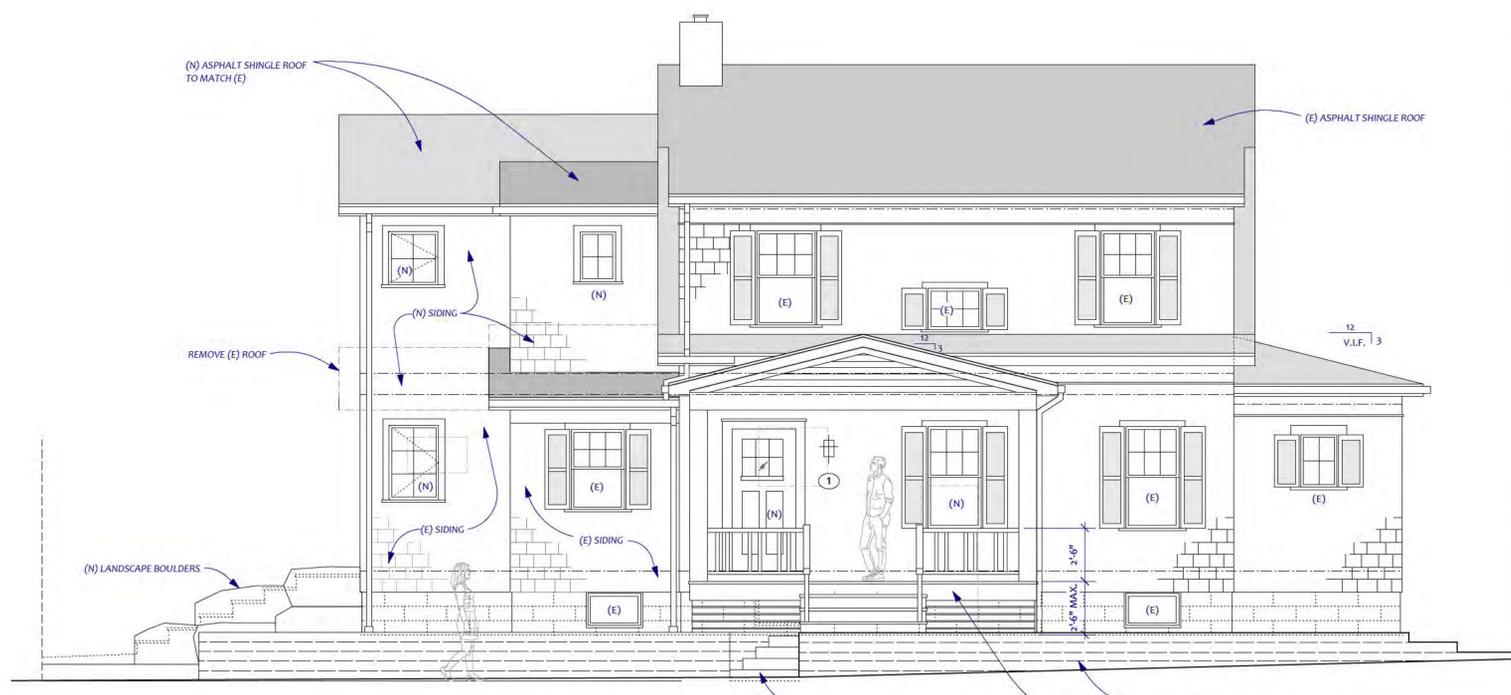
DATE: 1.13.26
SCALE: AS INDICATED
DRAWN BY: AEC
FOR ZONING BD

EDWARDS

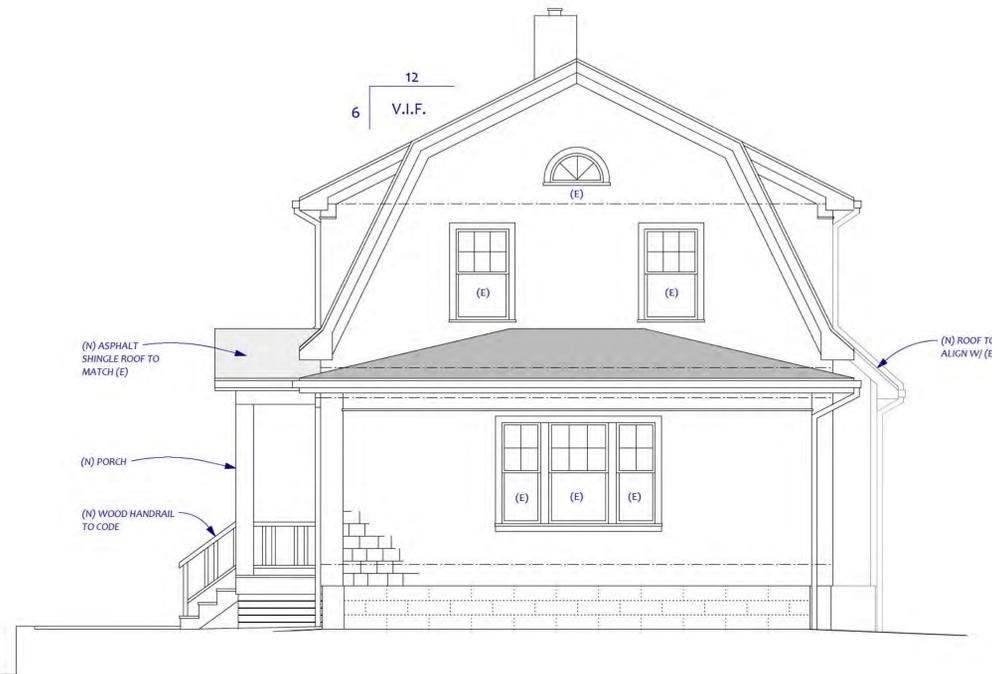
A3.0



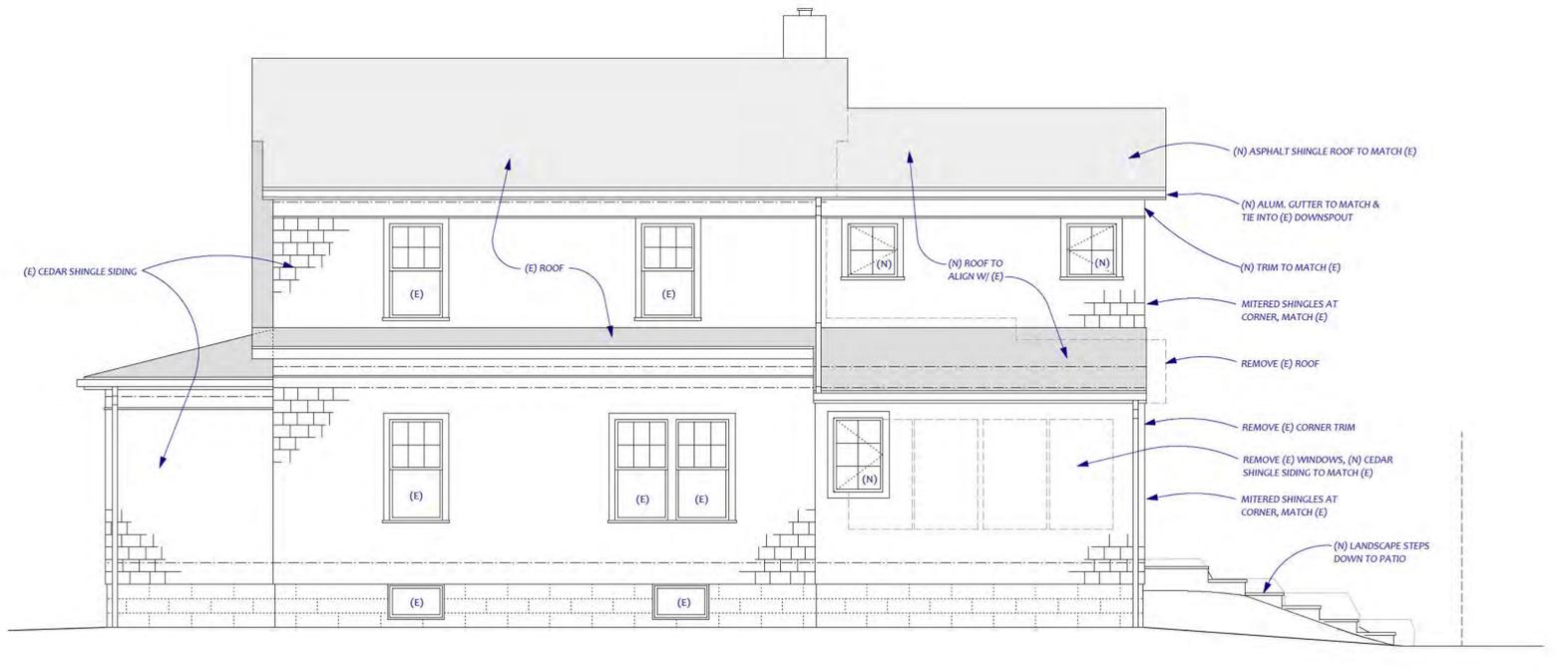
1 NEW EAST (SIDE/REAR YARD) ELEVATION
Scale: 1/4" = 1'-0"



2 NEW NORTH (FRONT/REITZ PKWY) ELEVATION
Scale: 1/4" = 1'-0"



3 NEW WEST (SIDE/MAIN ST) ELEVATION
Scale: 1/4" = 1'-0"



4 NEW SOUTH (REAR) ELEVATION
Scale: 1/4" = 1'-0"



**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
JANUARY 19, 2026**

Minutes of the Town of Pittsford Zoning Board of Appeals meeting held on January 19, 2026, at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Jim Pergolizzi, Mary Ellen Spennacchio-Wagner, Jennifer Iacobucci, Tom Kidera, Phil Castleberry, Barbara Servé

ABSENT: Phil Bleecker

ALSO PRESENT: April Zurowski, Planning Assistant; Michael Arcuri, Town Board Liaison

ATTENDANCE: There were 9 members of the public present.

Chairman Pergolizzi called the meeting to order at 6:32 PM.

NEW PUBLIC HEARINGS:

506 Marsh Road – Tax ID 164.16-1-1

Applicant is requesting relief from Town Code Section 185-17 E. for the construction of a garage addition not meeting the minimum side setback requirements. This property is zoned Residential Neighborhood (RN).

Chairman Pergolizzi opened the public hearing.

Paul Morabito, of Morabito Architects, introduced the application. He stated that there is currently an attached carport on the south side of the house. The applicant is requesting to demolish the carport and replace it with a garage. The garage is a small 2-bay garage that will provide parking for one car and an enclosed storage area. The trees and fencing next to the carport will be removed. Construction is planned to begin in April.

Chairman Pergolizzi asked for public comments. Hearing none, Board Member Iacobucci motioned to close the hearing, seconded by Board Member Castleberry.

A written resolution to grant the area variance for 506 Marsh Road was unanimously approved.

OTHER DISCUSSION:

Chairman Pergolizzi motioned to approve the minutes of December 15, 2025, seconded by Board Member Iacobucci. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Pergolizzi closed the meeting at 6:48 PM.

Respectfully submitted,

April Zurowski
Planning Assistant