

**AGENDA
TOWN OF PITTSFORD
PLANNING BOARD
FEBRUARY 9, 2026**

This agenda is subject to change.

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, February 9, 2026, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

CONTINUED HEARING

DDS Engineering and Surveying, LLP, Kirik Subdivision
Preliminary/Final Subdivision

OTHER BUSINESS

Approval of Minutes

The next scheduled meeting is for Monday, February 23, 2026.

February 3, 2026

Town of Pittsford
11 South Main Street
Pittsford, New York 14534

Attn: Town of Pittsford Development Review Committee (DRC)

Re: 2118 W Jefferson Rd – Subdivision and Single Family Home

Dear Board Members,

The following letter has been written in response to comments received from the Town of Pittsford Development Review Committee dated 1/8/26. All comments have been addressed below.

General

1. This application proposes to subdivide the 1.5-acre parcel addressed as 2118 W. Jefferson Road into a 0.942-acre parcel with the existing single-family home and a 0.558-acre buildable lot proposed for a single-family home. The property is zoned Residential Neighborhood (RN). Per Town Code Section 185-18, subdivision potential of a lot without the creation of a new public or private road shall be determined based on its context to its adjacent lots. Using this calculation, the minimum lot size requires 0.37 acres. Both proposed lots will be larger than the minimum required. (DPW)

No response needed.

2. This is an unlisted action pursuant to SEQRA. The Planning Board will proceed with a single-agency review. A Part II EAF short form should be completed by the Planning Board prior to a decision on this application. (DPW)

No response needed.

- As proposed, disturbances will not be in excess of one acre. Therefore, a SWPPP is not required, but erosion and sediment control measures should be noted on the grading plan. (DPW)

Acknowledged. Erosion and sediment control measures have been included in the site plan.

- The address of the new home will be 2124 W. Jefferson Road. The Town will correspond with applicable agencies regarding this address change following subdivision approval. Please add both this house number and the existing house number to the respective lots on the plan set. (DPW, TRE)

Acknowledged. Existing and new home numbers have been added to site plan.

- Per Town Code Section 185-17 B. (2), the new home must be constructed within 10 feet of the building line

New home is proposed on existing (2118 W Jefferson Rd) building line (78').

- It is noted that a Monroe County Water Authority easement is shown across the frontage of both properties with no watermain proposed. (DPW)

Monroe County Water Authority requires a 15' frontage easement across both proposed properties as a part of their approval process.

- The Planning Board and Town's Comprehensive Plan supports planning for and creating walkable communities. Sidewalks and trails are considered with all developments in town and the Board works towards making connections where possible. Please include a 15-foot-wide sidewalk easement along the W. Jefferson Road frontage and a 5-foot sidewalk within the easement. Town of Pittsford sidewalk details should be provided within the plan set. (DPW, TRE)

5-foot sidewalk has been shown on plans. Sidewalk details have been added to site plan.

- Plans should note the distance east and west to the nearest hydrant measured to the center of the proposed new lot. (DPW)

Distance to nearest hydrants have been noted on the site plan, measured from the proposed water service tap.

- It is NYSDOT's position is that the total number of driveways for Lot 1 and Lot 2 should be two. It appears that the existing house on Lot 1 has two driveways where only one would be needed. We request one of the following:
 - Remove one of the existing driveways on Lot 1 and install a new driveway on Lot 2.
 - Provide cross access from Lot 2 to the easternmost existing driveway on Lot 1. (MCDPD)

Acknowledged.

10. Please provide the current status of the review by NYSDOT. Have plans been submitted to the state regarding the proposed driveway entrance? Any NYSDOT review comments/requirements concerning the driveways shall be incorporated into the development plans. (TRE)

Latest revised plans have been sent to NYSDOT for review on 2/2/26. Current plans have addressed NYSDOT comments received on 12/4/25 and 1/21/26.

Sanitary

11. Sewer Entrance Fees and Connection Fees will be required at the time of Sewer Department final subdivision signature. Fees are estimated to be \$596.46 in total and an invoice with payment instructions will be delivered following final approval. (PSD)

Acknowledged.

12. Please provide the invert of the existing sanitary manhole/cleanout located between the horseshoe driveway located on Lot 1. (TRE)

Per email correspondence with Doug DeRue on 1/28/26, above comment has been addressed in Sanitary Sewer Lateral Notes on sheet C1.

13. Please provide the percent gradient of the existing sanitary sewer main. Also, please confirm the existing sewer main material with the Sewer Department. the plans state that the existing sewer main material is 8" HDPE, DR-17. (TRE)

Per email correspondence with Doug DeRue on 1/28/26, above comment has been addressed in Sanitary Sewer Lateral Notes on sheet C1.

14. If the sanitary sewer main is confirmed to be 8" HDPE, DR-17 pipe, a detail will be required that depicts the method (plumbing materials required) to connect PVC lateral piping to a HDPE sewer main. (TRE)

Per email correspondence with Doug DeRue on 1/28/26, above comment has been addressed in Sanitary Sewer Lateral Notes on sheet C1.

15. Please provide the standard Town of Pittsford sanitary lateral detail and trench detail. (TRE)

Sanitary lateral detail and trench detail have been added to plans.

16. At the proposed sanitary sewer lateral, please add a note that states, "Prior to starting the proposed lateral connection to the Town sewer main, a Connection Permit must be obtained from the Town of Pittsford Sewer Department." (DPW)

Note has been added to site plan.

Stormwater

17. Please provide details associated with the sump pump discharge. It is recommended that this drainage is directed to a drywell. (DPW)

Sump pump discharge has been revised to a stone filled dry well, as suggested/ requested in correspondence with Doug DeRue on 1/28/26. Detail has been provided on sheet C2.

Miscellaneous

18. Please revise the signature lines. The signature lines should be "Town Review Engineer", "Commissioner of Public Works", "Pittsford Sewer Department", and "Planning Board Chairperson". (TRE)

Signature lines have been revised.

19. The Town's standard recreation fund fee will be levied for each new home. This fee is currently \$1,000.00 and is collected when a building permit is issued. (DPW)

Acknowledged.

20. Design Review & Historic Preservation Board review and approval is required for the new home. The application will be scheduled for review once a building permit application has been submitted. (DPW)

Acknowledged.

21. All work within the NY-252 (W. Jefferson Road) right-of-way, including driveway and utility work, will require a NYSDOT Highway Work Permit. (MCDPD)

Acknowledged.

22. It should be noted that the Town has adopted a code for residential exterior lighting. Prior to installation of any exterior lighting, please consult Town Code Article XV. (DPW)

Note has been added to site plan.

23. Per Town Law 239-*nn*, this application has been referred to the Town of Henrietta. No comments have been received at this time. (DPW)

No response needed.

24. This application was sent to Monroe County Department of Planning & Development for their review. Comments were forwarded to the applicant under separate cover and pertinent comments are incorporated herein. (DPW)

Acknowledged.

25. Subject to regulatory approvals including but not limited to: Planning Board Chairman, Sewer Department, Town Review Engineer, NYS Department of Transportation, Monroe County Water Authority, Monroe County Real Property, Monroe County Health Department, Monroe County Pure Waters. (DPW)

Acknowledged.

Please review the enclosed material and feel free to contact me with any questions. This submission includes the following:

- This Comment-Response Letter
- Revised Plan Set
- Plat Map

Sincerely,
DDS Engineering and Surveying, LLP



Adam Colton, Project Engineer
acolton@ddscOMPANIES.com | 585-340-0555

THESE DOCUMENTS INCLUDING ALL IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR PRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF DDS COMPANIES FOR ANY PURPOSE THEREOF SHALL BE USED, REPRODUCED, OR COPIED BY ANY PERSON, FIRM, OR CORPORATION, OR FOR ANY OTHER PURPOSE, WITHOUT THE WRITTEN PERMISSION OF DDS COMPANIES. ALL RIGHTS RESERVED.			
REV	DESCRIPTION	DATE	
01	TOWN OF PITTSFORD DRC COMMENTS	1/1/2026	
02	NYSDOT MCWA & MCFW COMMENTS	1/20/2026	
03	TOWN OF PITTSFORD MCWA & MCFW COMMENTS	2/22/2026	

SITE DATA:

OWNER: MICHELLE KOTORI
PROJECT LOCATION: 2118 WEST JEFFERSON ROAD
TAX A/COUNT #: 163.02-001-002
TOTAL AREA: 1.5 ACRES
ZONING: RN RESIDENTIAL NEIGHBORHOOD

ZONING REQUIREMENTS

PROPOSED SINGLE FAMILY HOME: LOT 2 (2124 W JEFFERSON RD)

ZONING: RN RESIDENTIAL NEIGHBORHOOD	CODE	PROPOSED
FRONT SETBACK	70'	78'
SIDE SETBACK	10' MIN. ONE SIDE 19'	
	25' MIN. BOTH SIDES TOTAL	38'
REAR BUFFER	10'	123'
LOT AREA *	16,000 SF	24,300 SF
LOT WIDTH *	100'	100'
LOT DEPTH *	160'	243'
MAX. BUILDING FOOTPRINT **	4,187 SF	2,123 SF
MAX. BUILDING HEIGHT	30'	"
MAX LOT COVERAGE	40%	14.5%

* SEE ADJACENT PROPERTY SIZES TABLE

** 3,800 + 9% OF AREA OVER 20,000 SF

CONSTRUCTION SEQUENCE:

1. OBTAIN ALL REQUIRED APPROVALS AND PERMITS.
2. HOLD PRE-CONSTRUCTION MEETING IF REQUIRED BY TOWN.
3. PROPERTY LINES SHOULD BE DELINEATED.
4. CONSTRUCT DRIVEWAY BASE.

5. INSTALL SEDIMENT CONTROLS (SILT FENCING) AS SHOWN ON SHEET C1. IMMEDIATELY STABILIZE ANY AREAS DISTURBED BY THIS ACTIVITY.

6. STABILIZE ALL DISTURBED AREAS WHICH WILL REMAIN INACTIVE FOR 14 DAYS OR MORE.

7. COMPLETE ROUGH GRADING OF THE SITE AS SHOWN ON SHEET C1.

8. CONSTRUCT HOME, INSTALL PRIVATE WATER SERVICE, AND INSTALL PRIVATE SANITARY LATERAL.

9. MAINTAIN SEDIMENT AND EROSION CONTROL THROUGHOUT CONSTRUCTION.

10. STABILIZE LAWN AREAS WITH 6" (MINIMUM) TOP SOIL AND SUITABLE SEED MIXTURE, MULCH AND WATER PER SEED SUPPLIER SPECIFICATIONS.

11. UPON PERMANENT STABILIZATION OF INDIVIDUAL PORTIONS OF THE SITE, REMOVE SILT FENCE.

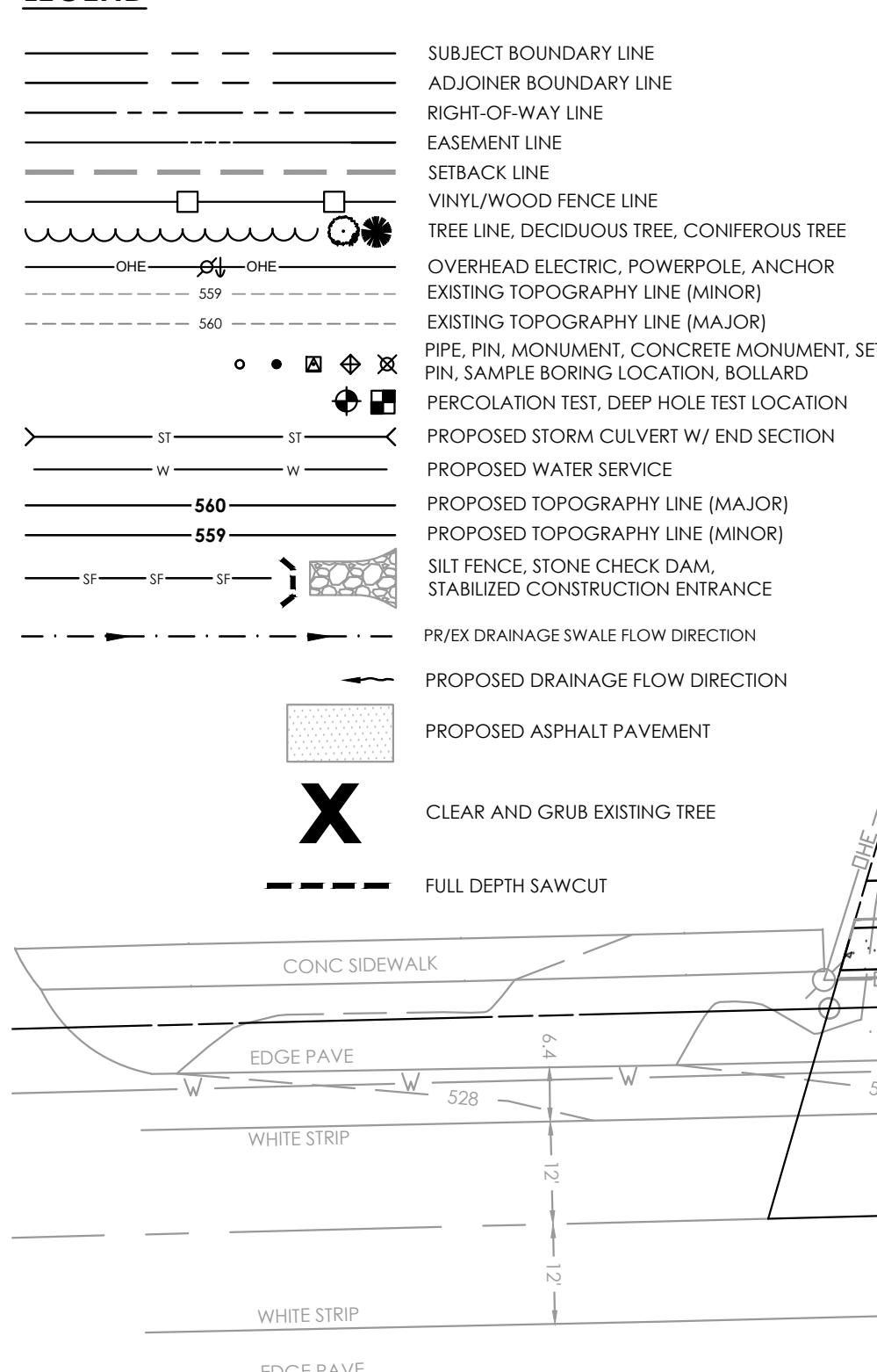
EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PROJECT WILL DISTURB APPROXIMATELY 0.42 ACRES AND THEREFORE WILL NOT REQUIRE COVERAGE UNDER THE NYSDOT SPDES GENERAL PERMIT FOR STORMWATER DISCHARGE, GP-20-001.

ABBREVIATIONS

N/F	NOW OR FORMERLY	PVC	POLYVINYL CHLORIDE
EX.	EXISTING	DB	DISTRIBUTION BOX
TYP.	TYPICAL	F.F.E.	FINISHED FLOOR ELEVATION
T.B.R.	TO BE REMOVED	DI	DUCTILE IRON
Ø	DIAMETER	LAT.	LATERAL
W/	WITH	SWR.	SEWER
T.A. #	TAX ACCOUNT NUMBER	CO	CLEANOUT
P.R.M.	PER RECORD MAPPING	CB	CATCH BASIN
PR.	PROPOSED	MH	MANHOLE
INV.	INVERT	O.A.E.	OR APPROVED EQUAL
L.	LIBER	T.G.	TOP OF GRADE
P.	PAGE	ST	SEPTIC TANK
LF	LINEAR FEET	MIN.	MINIMUM
EPOD	ENVIRONMENTAL PROTECTION OVERLAY DISTRICT		

LEGEND



DESIGNER CONTACT STATEMENT

DDS COMPANIES IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. SEAN CONDON IS THE DESIGNER AND IS FAMILIAR WITH NYSDOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT (585) 340-0640 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS, SHALL BE APPROVED BY NYSDOT.

FLAGGING NOTES:

1. FLAGGING ON NYS ROUTE 252 PROHIBITED M-F FROM 6AM TO 7PM.
2. NO RESTRICTIONS SAT/SUN.

ZONING: RN RESIDENTIAL NEIGHBORHOOD	CODE	PROPOSED
FRONT SETBACK	70'	78'
SIDE SETBACK	10' MIN. ONE SIDE 19'	
	25' MIN. BOTH SIDES TOTAL	38'
REAR BUFFER	10'	123'
LOT AREA *	16,000 SF	24,300 SF
LOT WIDTH *	100'	100'
LOT DEPTH *	160'	243'
MAX. BUILDING FOOTPRINT **	4,187 SF	2,123 SF
MAX. BUILDING HEIGHT	30'	"
MAX LOT COVERAGE	40%	14.5%

* SEE ADJACENT PROPERTY SIZES TABLE

** 3,800 + 9% OF AREA OVER 20,000 SF

EXISTING SINGLE FAMILY HOME: LOT 1 (2118 W JEFFERSON RD)

ZONING: RN RESIDENTIAL NEIGHBORHOOD	CODE	PROPOSED
FRONT SETBACK	70'	78'
SIDE SETBACK	20' MIN. ONE SIDE 32'	
	90' MIN. BOTH SIDES TOTAL	102'
REAR BUFFER	10'	125'
LOT AREA *	16,000 SF	41,041 SF
LOT WIDTH *	100'	208'
LOT DEPTH *	160'	243'
MAX. BUILDING FOOTPRINT **	4,187 SF	1,927 SF
MAX. BUILDING HEIGHT	30'	"
MAX LOT COVERAGE	40%	10.3%

* SEE ADJACENT PROPERTY SIZES TABLE

** 3,800 + 9% OF AREA OVER 20,000 SF

ADJACENT PROPERTY SIZES

ADDRESS	T.A. #	LOT AREA	WIDTH	DEPTH
2128 W JEFFERSON RD	163.02-1-3	0.37 AC	100 FT	160 FT
2132 W JEFFERSON RD	163.02-1-4	0.37 AC	100 FT	160 FT
2136 W JEFFERSON RD	163.02-1-5	0.37 AC	100 FT	160 FT
2140 W JEFFERSON RD	163.02-1-6	0.37 AC	100 FT	160 FT
	AVERAGE	0.37 AC	100 FT	160 FT

EXTERIOR LIGHTING NOTE:

- PRIOR TO INSTALLATION OF ANY EXTERIOR LIGHTING, CONSULT TOWN OF PITTSFORD CODE ARTICLE XV.

SANITARY SEWER LATERAL NOTES:

- PRIOR TO STARTING THE PROPOSED LATERAL CONNECTION TO THE TOWN SEWER MAIN, A CONNECTION PERMIT MUST BE OBTAINED FROM THE TOWN OF PITTSFORD SEWER DEPARTMENT.
- PRIOR TO THE START OF WORK, THE EXISTING SANITARY SEWER LINE, CLEANOUT AND THE LATERAL CLEANOUT FOR 2118 W JEFFERSON RD MUST BE LOCATED AND DOCUMENTED.
- LATERAL CONNECTION METHOD MUST BE APPROVED AND INSPECTED BY THE TOWN OF PITTSFORD.
- THE DEPTH OF THE SEWER MUST BE MEASURED AND RECORDED WITH REFERENCE TO A BENCHMARK AT THE NEW LATERAL'S LOCATION.

EROSION & SEDIMENT CONTROLS

- PROCEDURES OUTLINED IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MUST BE FOLLOWED THROUGHOUT THE DURATION OF CONSTRUCTION OF THIS PROJECT. THROUGHOUT CONSTRUCTION, EMPHASIS WILL BE PLACED ON PREVENTING EROSION OF THE DISTURBED SOIL WITHIN THE SITE.
- VEGETATIVE MEASURES SUCH AS JUTE MESH, SEEDING AND MULCHING WILL BE USED TO HELP PREVENT ERODING OF THE SOIL. JUTE MESH SHALL BE USED ON ALL SLOPES OF 1V:3H AND STEEPER.
- BARE SOIL WILL BE SEEDED WITHIN 14 DAYS OF EXPOSURE UNLESS CONSTRUCTION WILL BEGIN WITHIN 21 DAYS. IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS WILL BE SEEDED OR MULCHED IMMEDIATELY.
- TEMPORARY SEEDING WILL CONSIST OF RYERGAE PLACED AT A RATE OF 0.7 LBS. PER 1,000SF. THE AREA IS TO THEN BE MULCHED WITH HAY OR STRAW AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.
- TOPSOIL SHALL BE PLACED AT A DEPTH OF 6" MINIMUM.
- PERMANENT SEEDING SHALL FOLLOW THE CHART LISTED BELOW. MULCH SHALL BE SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 LBS. PER 1,000SF.

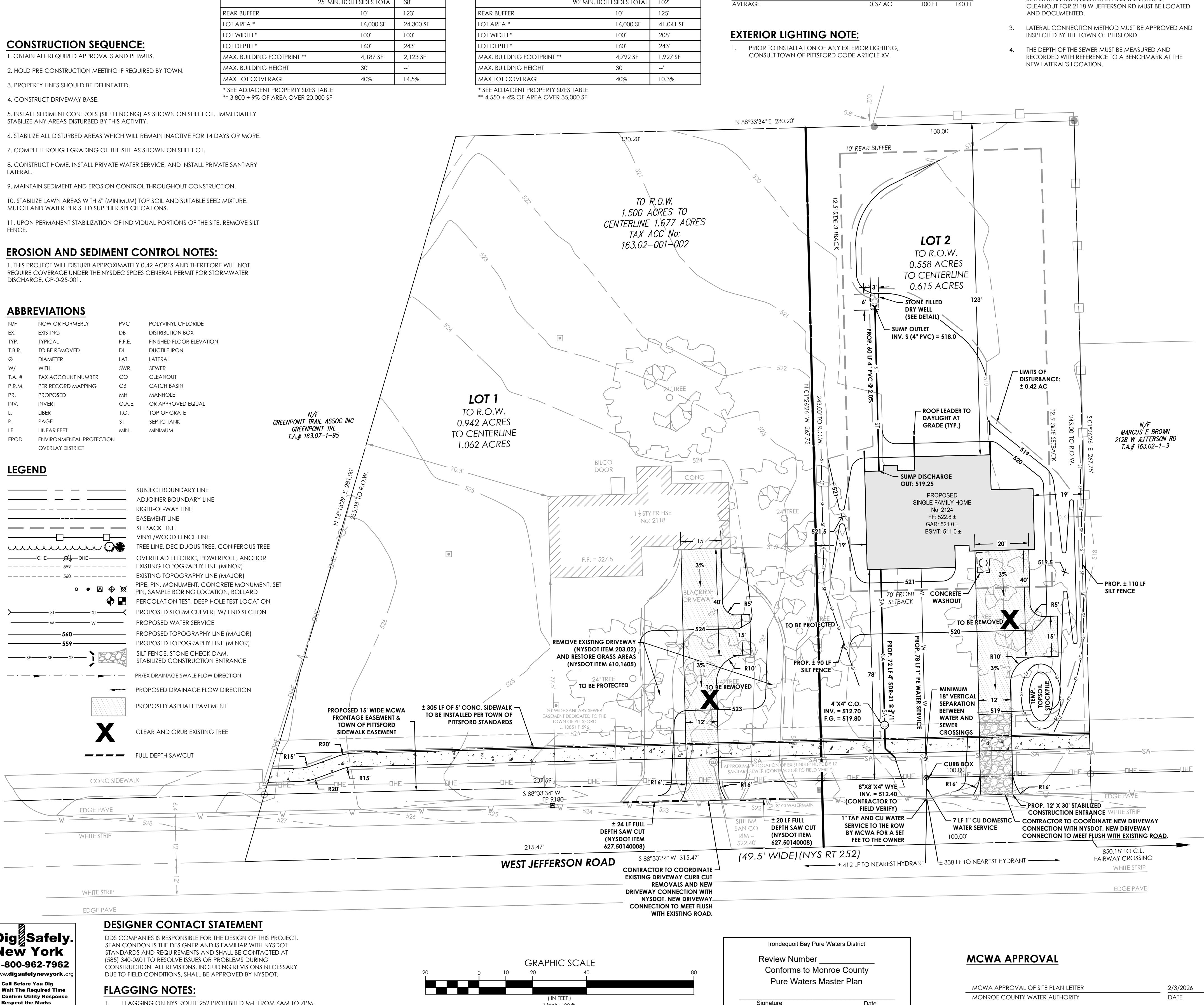
GENERAL SEED MIX:

VARIETY	LBS/ACRE	LBS/1,000SF
BIRDSFOOT TREFOIL* OR COMMON WHITE CLOVER*	8 LBS	0.20 LBS
TALL FESCUE	20 LBS	0.45 LBS
REDTOP OR RYEGRASS (PERENNIAL)	2 LBS	0.05 LBS
PENNFINE/LINN	5 LBS	0.10 LBS

*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING

7. SEDIMENT CONTROL CONCERNES ARE ADDRESSED BY USE OF PERIMETER CONTROLS SUCH AS SILT FENCE AND STONE CHECK DAMS.

8. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE SHALL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WHICH IS PRONE TO BLOWING FROM THE WIND SHALL BE COVERED WITH A TARPULIN.



MCWA APPROVAL

MCWA APPROVAL OF SITE PLAN LETTER
MONROE COUNTY WATER AUTHORITY
DATE 2/3/2026

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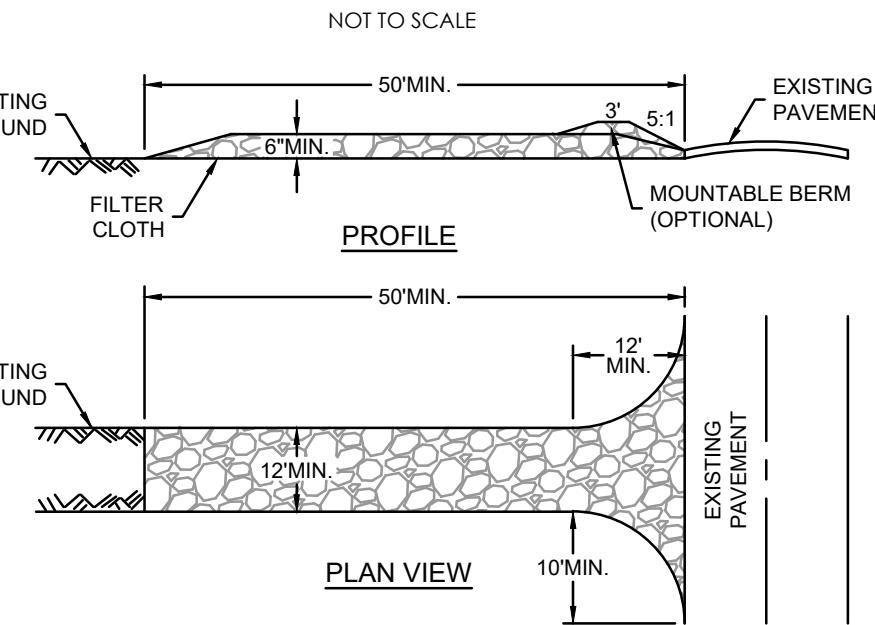
Sewer Use Law Note:

Floor drains, if constructed, shall be connected to the sanitary/combination sewer. Floor drains do not include foundation/footer drains.

Note: All discharges to the sanitary/combination sewer must comply with the effluent limits of the local and or Monroe County Sewer Use Law.

Updated: 12/26/00

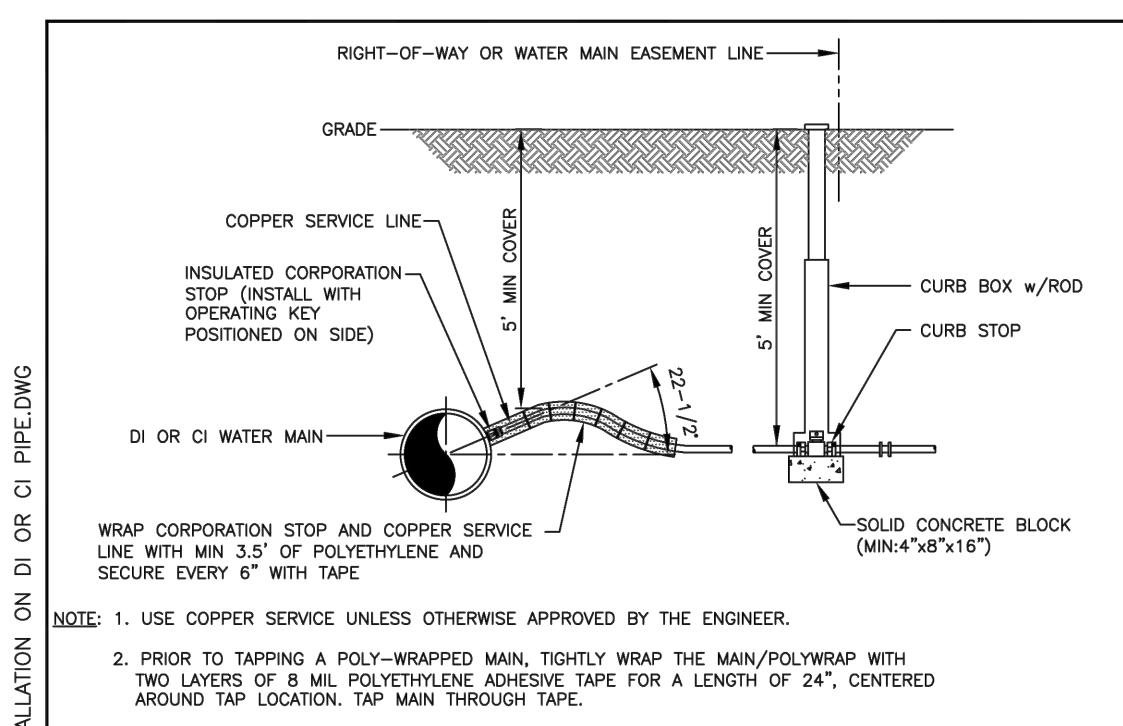
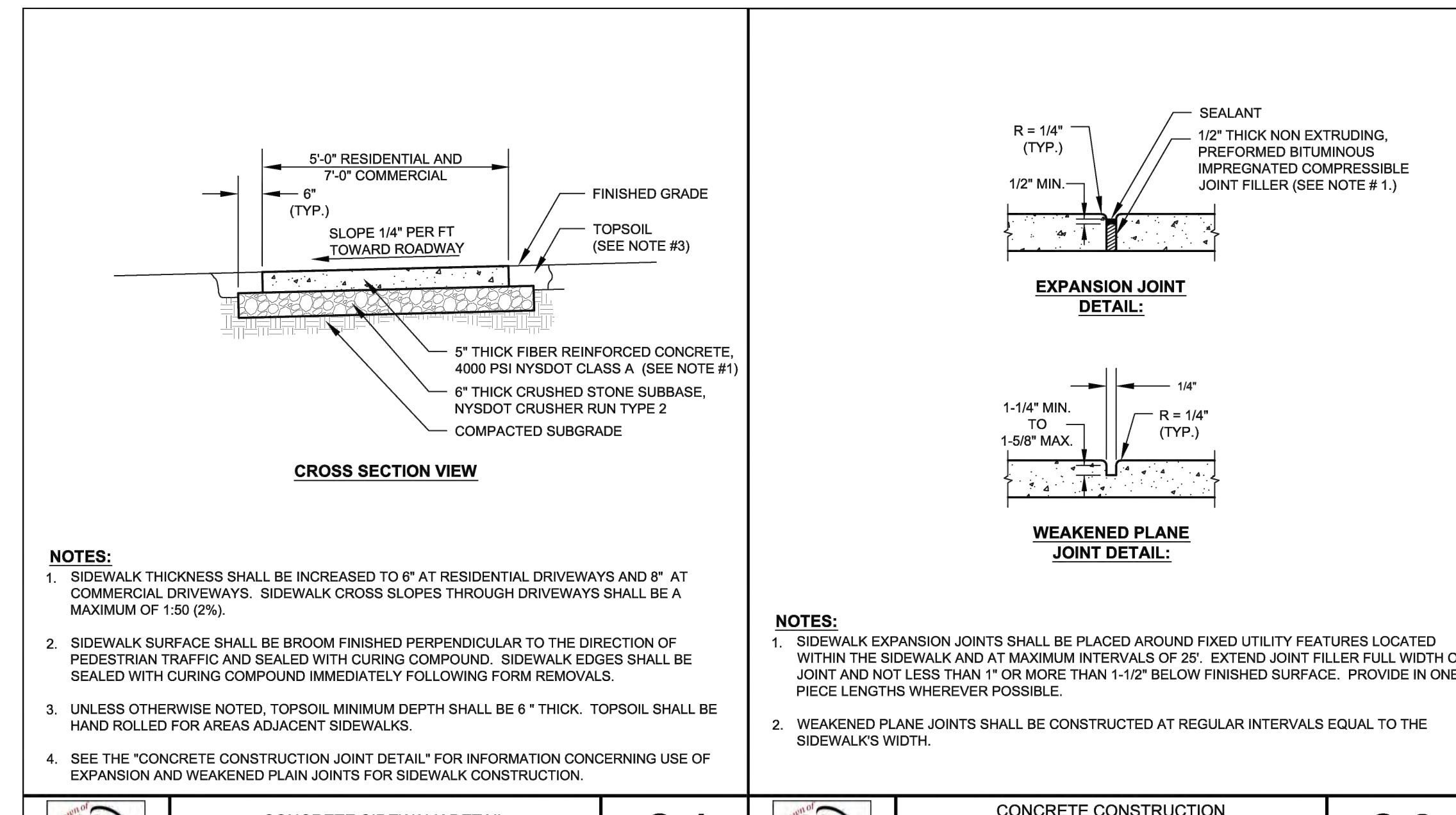
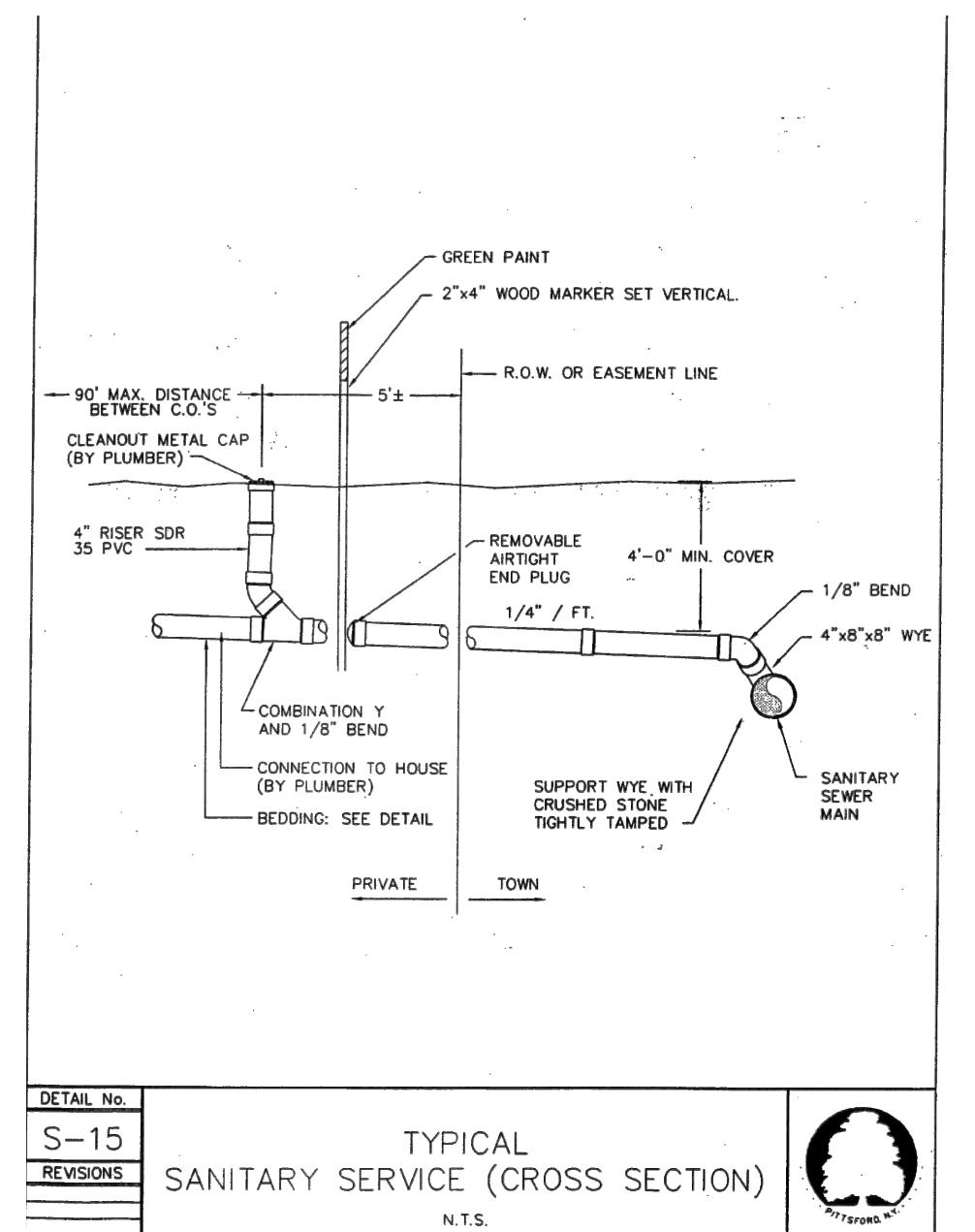
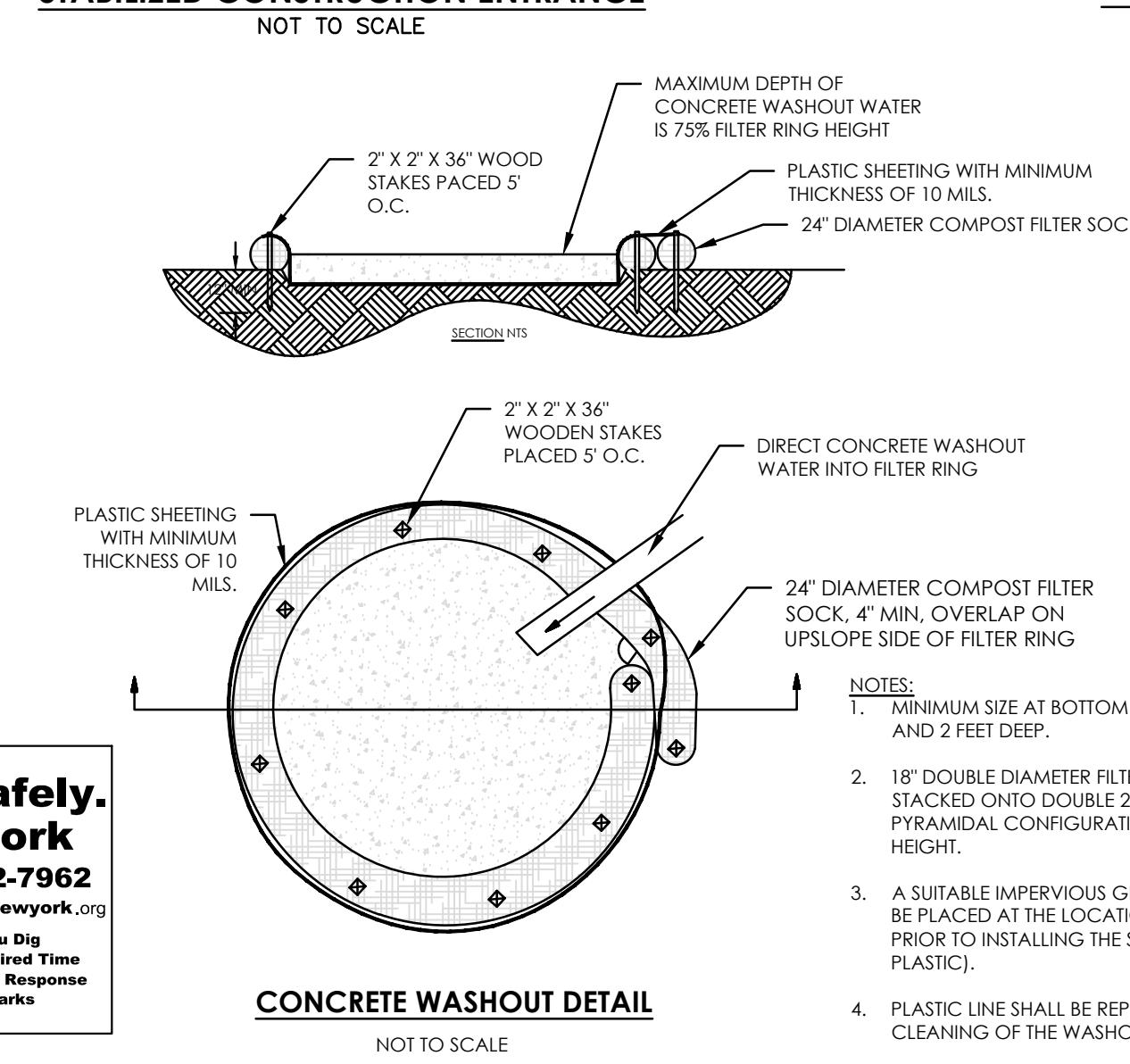
350 EAST HENRIETTA ROAD - ROCHESTER, NEW YORK 14620-4643 - TEL (716) 274-7700 - FAX (716) 274-7734



CONSTRUCTION SPECIFICATIONS

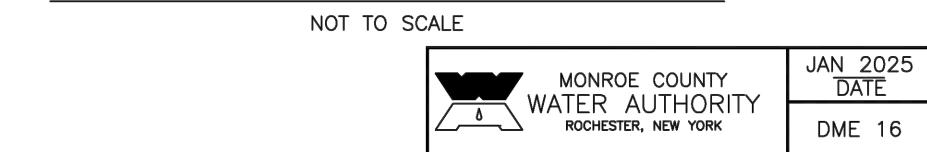
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FEET MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE



PIPE SIZE	D.I. PIPE OD (IN)	S (IN)
4"	4.8	2.83
6"	6.9	4.06
8"	9.05	5.33
10"	11.1	6.54
12"	13.2	7.78

COPPER SERVICE INSTALLATION ON DI OR CI PIPE



45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541

PAUL KIRIK
HONEST RENOVATIONS LLC
211 WHITE SPRUCE BLVD
ROCHESTER, NY 14623
(585) 469-4965

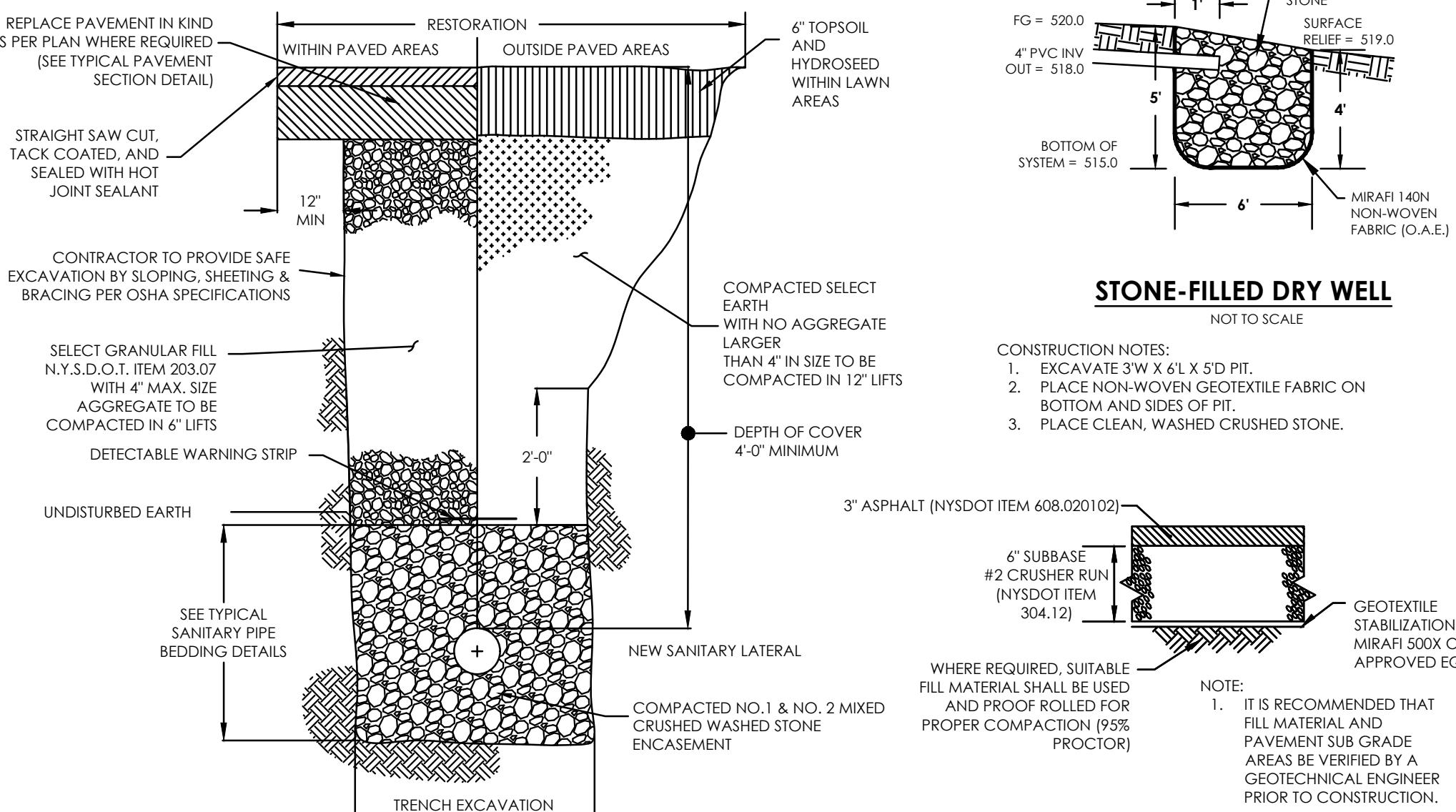
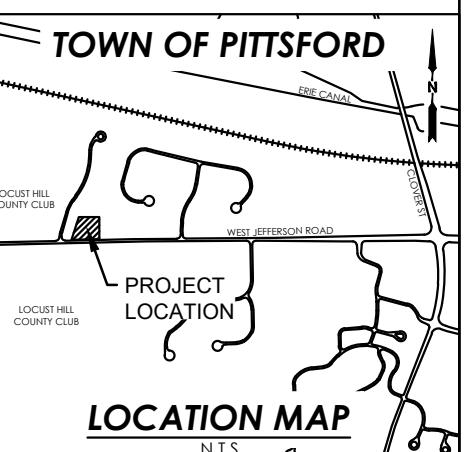


TABLE 6 RADIUS METHOD - CORNER RADIUS	
DRIVEWAY CLASSIFICATION	*R"
RESIDENTIAL "W" < 13'	16'
RESIDENTIAL "W" > 13'	13'
MINOR COMMERCIAL (ALL WIDTHS)	33'

TABLE 7 RADIUS METHOD - DISTANCE FROM INTERSECTION POINT TO ARC TANGENT POINT		
ANGLE	*R' FT.	
60°	21.7	5.2
65°	23.1	5.4
70°	22.8	4.8
75°	20.8	4.3
80°	19.1	3.9
85°	17.3	3.4
90°	16.0	3.0
95°	14.7	2.6
100°	13.4	2.1
105°	12.3	2.5
110°	11.2	3.1
115°	10.2	3.6
120°	9.2	4.0

TABLE 8 TAPER METHOD VALUES		
DRIVEWAY CLASSIFICATION	TAPER (1 FT)	LAYOUT DISTANCE
RESIDENTIAL DRIVEWAY < 13' WIDE	1/2	28'
RESIDENTIAL DRIVEWAY > 13' WIDE	1/2	41'
MINOR COMMERCIAL	1/1.5	

DATE	1/12/26
DESCRIPTION	TOWN OF PITTSFORD DR. COMMENTS NYSDOT MCWA & MCWP COMMENTS
REV	01 TOWN OF PITTSFORD DR. COMMENTS 02 TOWN OF PITTSFORD, NYSDOT & MCWA COMMENTS

REV	03	NOTES AND DETAILS
DESCRIPTION	01 TOWN OF PITTSFORD DR. COMMENTS 02 TOWN OF PITTSFORD, NYSDOT & MCWA COMMENTS	
DATE	1/20/26	
REV	03	KIRIK SITE PLAN
DESCRIPTION	BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK	
DATE	2/3/26	
REV	03	MCWA APPROVAL
DESCRIPTION	MCWA APPROVAL OF SITE PLAN LETTER MONROE COUNTY WATER AUTHORITY	
DATE	2/3/26	
REV	03	TOWN OF PITTSFORD APPROVALS
DESCRIPTION	TOWN REVIEW ENGINEER COMMISSIONER OF PUBLIC WORKS PITTSFORD SEWER DEPARTMENT PLANNING BOARD CHAIRPERSON	
DATE	2/3/26	
REV	03	NOTES AND DETAILS
DESCRIPTION	Review Number _____ Conforms to Monroe County Pure Waters Master Plan Signature _____ Date _____	
DATE	2/3/26	
REV	03	DRAWING NO: C2
DESCRIPTION	DRAWING TITLE: CHECKED BY: DRAWN BY: SHC DATE: SHC APPROVED BY: SHC PROJ. NO: 7250245 PAGE SIZE: 10/19/2025	

NOTE: ALL GENERAL NOTES AND ABBREVIATIONS REFERENCED ON THIS SHEET CAN BE FOUND ON STANDARD SHEET 608-03, SHEET 1 OF 9.



TOWN OF PITTSFORD APPROVALS

TOWN REVIEW ENGINEER _____ DATE _____

COMMISSIONER OF PUBLIC WORKS _____ DATE _____

PITTSFORD SEWER DEPARTMENT _____ DATE _____

PLANNING BOARD CHAIRPERSON _____ DATE _____

MCWA APPROVAL

MCWA APPROVAL OF SITE PLAN LETTER
MONROE COUNTY WATER AUTHORITY

Irondequoit Bay Pure Waters District
Review Number _____
Conforms to Monroe County
Pure Waters Master Plan
Signature _____ Date _____

DATE	1/20/26
DESCRIPTION	TOWN OF PITTSFORD DR. COMMENTS NYSDOT MCWA & MCWP COMMENTS
REV	03

REV	03	NOTES AND DETAILS
DESCRIPTION	BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK	
DATE	2/3/26	
REV	03	KIRIK SITE PLAN
DESCRIPTION	BEING A PART OF TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK	
DATE	2/3/26	
REV	03	MCWA APPROVAL
DESCRIPTION	MCWA APPROVAL OF SITE PLAN LETTER MONROE COUNTY WATER AUTHORITY	
DATE	2/3/26	
REV	03	TOWN OF PITTSFORD APPROVALS
DESCRIPTION	TOWN REVIEW ENGINEER COMMISSIONER OF PUBLIC WORKS PITTSFORD SEWER DEPARTMENT PLANNING BOARD CHAIRPERSON	
DATE	2/3/26	
REV	03	NOTES AND DETAILS
DESCRIPTION	DRAWING TITLE: CHECKED BY: DRAWN BY: SHC DATE: SHC APPROVED BY: SHC PROJ. NO: 7250245 PAGE SIZE: 10/19/2025	

**TOWN OF PITTSFORD
PLANNING BOARD
SEQRA RESOLUTION
Kirik Subdivision
Preliminary/Final Subdivision
Tax Parcel #163.03-1-2**

WHEREAS, DDS Engineering and Surveying, LLP, as agent for Paul Kirik, is requesting Preliminary/Final Subdivision to subdivide the 1.5-acre parcel addressed as 2118 W. Jefferson Road into a 0.942-acre parcel with the existing single-family home and a 0.558-acre buildable lot proposed for a single-family home, with application materials received December 3, 2025, and amended February 4, 2026; and

WHEREAS this is an Unlisted Action pursuant to SEQRA and as the only agency involved, the Planning Board is conducting a single agency review; and

WHEREAS a Part I Short EAF was submitted by the applicant and the Planning Board has completed a Part II Short EAF, attached hereto; and

NOW, THEREFORE, upon consideration by the Planning Board of all written and oral submissions and testimony by the applicant, appropriate agencies, and the public, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act based upon the following Findings of Fact:

FINDINGS OF FACT

1. This application proposes to subdivide the 1.5-acre parcel addressed as 2118 W. Jefferson Road into a 0.942-acre parcel with the existing single-family home and a 0.558-acre buildable lot proposed for a single-family home. The property is zoned Residential Neighborhood (RN). Per Town Code Section 185-18, subdivision potential of a lot without the creation of a new public or private road shall be determined based on its context to its adjacent lots. Using this calculation, the minimum lot size requires 0.37 acres. Both proposed lots will be larger than the minimum required.
2. The Planning Board has considered possible environmental impacts associated with the application and completed a Short Part II EAF which did not identify significant impacts, attached hereto.
3. The total site disturbance is less than 0.5 acres for the proposed site work. A SWPPP was not required.

CONCLUSION

The Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act.

The within Resolution was motioned by Planning Board Member _____, seconded by Planning Board Member _____, and voted upon by members of the Planning Board as follows:

Paul Alguire
David Jefferson
Paula Liebschutz
Hali Buckley
Kevin Morabito
James Connaughton
John Halldow

Adopted by the Planning Board on February 9, 2026.

April Zurowski
Planning Assistant

DRAFT

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<u>Part 1 - Project and Sponsor Information</u>			
Name of Action or Project: Kirk Subdivision and Site Plan - 2118 W Jefferson Road			
Project Location (describe, and attach a location map): 2118 W Jefferson Road			
Brief Description of Proposed Action: Proposed single-family home and subdivision of parcel located at 2118 W Jefferson Rd. Existing parcel at 2118 W Jefferson Rd is 1.5 acres, to be split into Lot 1 (0.942 acres, existing single-family home) and Lot 2 (0.558 acres, location of proposed single-family home). Proposed single-family home will be serviced by a new curb cut on W Jefferson Road, new water service and new sanitary lateral.			
Name of Applicant or Sponsor: Paul Kirk		Telephone: (585) 469-4965 E-Mail: paulkirk3@gmail.com	
Address: 211 White Spruce Blvd			
City/PO: Rochester		State: NY	Zip Code: 14623
1. <u>Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</u>			
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			
2. <u>Does the proposed action require a permit, approval or funding from any other government Agency?</u>			
If Yes, list agency(s) name and permit or approval:			
3. a. <u>Total acreage of the site of the proposed action?</u> 0.558 acres b. <u>Total acreage to be physically disturbed?</u> 0.23 acres c. <u>Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?</u> 1.5 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action,			
a. <u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. <u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u>	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u>	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u>	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. <u>Will the proposed action connect to an existing public/private water supply?</u>	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. <u>Will the proposed action connect to existing wastewater utilities?</u>	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. <u>Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</u>	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ See attached NYSDEC Wetland Map, project site located approx. 300 feet from State Informational Wetlands.	<input type="checkbox"/>	<input type="checkbox"/>	
See attached NWI Wetland Map, project site located approximately 650 feet from Federal Freshwater Pond and Riverine.	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			
<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			
16. Is the project site located in the 100-year flood plan?			
<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,			
<input type="checkbox"/> a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Storm water will follow existing drainage paths along W Jefferson Rd.			
<input type="checkbox"/> 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____			
<input type="checkbox"/> 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____			
<input type="checkbox"/> 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: Former Henrietta Wastewater Treatment located at 100 Karenlee Drive, ~2,000 ft from project site.			
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor/name: <u>Adam Colton</u> Date: <u>10/10/25</u> Signature: <u>Adam Colton</u> Title: <u>Project Engineer</u>			

Short Environmental Assessment Form ***Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

		No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Short Environmental Assessment Form ***Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**TOWN OF PITTSFORD
PLANNING BOARD
RESOLUTION
Kirik Subdivision
Preliminary/Final Subdivision
Tax Parcel #163.03-1-2**

WHEREAS, DDS Engineering and Surveying, LLP, as agent for Paul Kirik, is requesting Preliminary/Final Subdivision to subdivide the 1.5-acre parcel addressed as 2118 W. Jefferson Road into a 0.942-acre parcel with the existing single-family home and a 0.558-acre buildable lot proposed for a single-family home, with application materials received December 3, 2025, and amended February 4, 2026; and

WHEREAS this is an Unlisted Action pursuant to SEQRA and as the only agency involved, the Planning Board has conducted a single agency review and granted a negative declaration on February 9, 2026; and

WHEREAS, a public hearing was duly advertised and held on January 12, 2026, and continued through February 9, 2026, at which time it was closed, and public comment was incorporated into the public record; and

NOW, THEREFORE, upon consideration by the Planning Board of all written and oral submissions and testimony by the applicant, appropriate agencies, and the public, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board of the Town of Pittsford grants Preliminary/Final Subdivision approval based upon the following Findings of Fact and subject to compliance with the following Conditions of Approval:

FINDINGS OF FACT

1. This application proposes to subdivide the 1.5-acre parcel addressed as 2118 W. Jefferson Road into a 0.942-acre parcel with the existing single-family home and a 0.558-acre buildable lot proposed for a single-family home. The property is zoned Residential Neighborhood (RN). Per Town Code Section 185-18, subdivision potential of a lot without the creation of a new public or private road shall be determined based on its context to its adjacent lots. Using this calculation, the minimum lot size requires 0.37 acres. Both proposed lots will be larger than the minimum required.
2. The total site disturbance is less than 0.5 acres for the proposed site work. A SWPPP was not required.
3. The address of the new home will be 2124 W. Jefferson Road.
4. It should be noted that the Town has adopted a code for residential exterior lighting. Prior to installation of any exterior lighting, please consult Town Code Article XV.

CONDITIONS OF APPROVAL

1. Subject to compliance with or resolution to the DRC comments dated January 8, 2026, and the applicant's written responses received February 4, 2026, unless otherwise specified herein.
2. Sewer Entrance Fees and Connection Fees will be required at the time of Sewer Department final subdivision signature. Fees are estimated to be \$596.46 in total and an invoice with payment instructions will be delivered following final approval.
3. The Town's standard recreation fund fee will be levied for the new home. This fee is currently \$1,000.00 and is collected when a building permit is issued.

4. Please add the proposed sidewalk easement to the plat map.
5. The Developer shall provide the Town with a financial guarantee for the sidewalk construction and an executed sidewalk easement prior to Planning Board signature. The Town will provide the Town's standard sidewalk easement document for signature and the Town will file the easement with the Monroe County Clerk's Office.
6. Please add this note to the details page, "Changes to details are subject to Department of Public Works approval."
7. Site plans must clearly note who will be responsible for the cost, scheduling, and completion of the following items. The list may include several items under the responsibility of the new owner when applying for the new home's building permit.
 - a. Following the site plan and its associated notes including grading, erosion control and maintenance
 - b. Modifications to the existing driveway and NYSDOT driveway permit
 - c. Construction of the new driveway to the new home and NYSDOT driveway permit
 - d. Water service to the new home
 - e. Sanitary sewer connection from the sewer main to the new home
 - f. RGE electric and gas service to the new home
8. Design Review & Historic Preservation Board review and approval is required for the new home. The application will be scheduled for review once a building permit application has been submitted.
9. Subject to regulatory approvals including but not limited to: Planning Board Chairman, Sewer Department, Town Review Engineer, NYS Department of Transportation, Monroe County Water Authority, Monroe County Real Property, Monroe County Health Department, Monroe County Pure Waters.

The within Resolution was motioned by Planning Board Member _____, seconded by Planning Board Member _____, and voted upon by members of the Planning Board as follows:

Paul Alguire
David Jefferson
Paula Liebschutz
Hali Buckley
Kevin Morabito
James Connaughton
John Halldow

Adopted by the Planning Board on February 9, 2026.

April Zurowski
Planning Assistant

**TOWN OF PITTSFORD
PLANNING BOARD
JANUARY 12, 2026**

Minutes of the Town of Pittsford Planning Board meeting held on January 12, 2026, at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Paul Alguire, Hali Buckley, Kevin Morabito, John Halldow, Dave Jefferson, Paula Liebschutz

ABSENT: John Limbeck

ALSO PRESENT: Doug DeRue, Director of Planning, Zoning, and Development; April Zurowski, Planning Assistant; Michael Arcuri, Town Board Liaison

ATTENDANCE: There were 30 members of the public present.

Chairman Halldow called the meeting to order. Following a unanimous voice vote, the meeting opened at 6:30PM, none opposed.

NEW HEARING:

DDS Engineering and Surveying, LLP, Kirik Subdivision

Preliminary/Final Subdivision

Adam Colton, of DDS Engineering and Surveying, LLP, introduced the application. This application proposes to subdivide the 1.5-acre parcel, addressed as 2118 W. Jefferson Road, into a 0.942-acre parcel with the existing single-family home and a 0.558-acre buildable lot proposed for another. He received the Development Review Committee (DRC) report and will submit written responses to the comments. Chairman Halldow asked if the new plan will include the sidewalk extension. Mr. Colton stated that he has added the sidewalk to the partially updated plan.

Chairman Halldow motioned to open the public hearing on this matter, seconded by Board Member Morabito; all ayes, none opposed. Hearing no public comments, he stated that this hearing will remain open.

OTHER DISCUSSION:

The minutes of October 27, 2025, were approved following a motion by Vice Chairman Alguire, seconded by Board Member Liebschutz. Following a unanimous vote, the minutes were approved, none opposed.

The 2026 Planning Board Meetings Schedule was approved following a motion by Vice Chairman Alguire, seconded by Board Member Morabito. Following a unanimous vote, the minutes were approved, none opposed.

Chairman Halldow motioned to close the meeting at 6:38PM, seconded by Board Member Buckley, and approved by a unanimous voice vote, none opposed.

Respectfully submitted,

April Zurowski
Planning Assistant