

**AGENDA
TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
JUNE 16, 2025**

This agenda is subject to change.

Please take notice that the Town of Pittsford Zoning Board of Appeals will hold the following meeting on Monday, June 16, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

PENDING DECISION

2 Round Trail Drive – Tax ID 164.19-1-59

Applicant is requesting relief from Town Code Sections 185-113 C. (3) for the construction of permanent play equipment in the side yard area. This property is zoned Residential Neighborhood (RN).

NEW HEARINGS

9 Connemara Drive – Tax ID 163.02-5-58

Applicant is requesting relief from Town Code Section 185-121 A. for the installation of a fence six feet in total height in front of the front setback. This property is zoned Planned Unit Development (PUD).

2534 Clover Street – Tax ID 150.08-1-76

Applicant is requesting relief from Town Code Sections 185-113 C. (1), (2), & (3) and 185-17 E. for the construction of an oversized and over-height detached garage not meeting the minimum side setback, for an existing pavilion in the side yard area, and for the total square footage of roofed or enclosed accessory structures exceeding 320 square feet in area. This property is zoned Residential Neighborhood (RN).

2969 Clover Street – Tax ID 163.04-1-26.3

Applicant is requesting relief from Town Code Sections 185-113 C. (1), (2), & (3) and 185-17 B. (1) for an oversized and over-height detached garage in the front yard area and forward of the building line, and for the total square footage of roofed or enclosed accessory structures exceeding 320 square feet in area. This property is zoned Residential Neighborhood (RN).

OTHER BUSINESS

Approval of Minutes

The next scheduled meeting is for Monday, July 21, 2025.

Zoning Board of Appeals Referral Form Information

ZB25-000011

Property Address:

9 Connemara Drive PITTSFORD, NY 14534

Property Owner:

Liebschutz, John F
9 Connemara Drive (Pvt)
Pittsford, NY 14534

Present Zoning of Property: PUD Planned Unit Development
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Fence Height:	3	Fence Height:	6	Fence Height:	3.0
Size:	0	Size:	0	Size:	0.0

Code Section: Applicant is requesting relief from Town Code Section 185-121 A. for the installation of a fence six feet in total height in front of the front setback. This property is zoned Planned Unit Development (PUD).

Staff Notes: The applicant is requesting a 32-foot-long stretch of 6-foot-tall fence behind the home and at the bottom of a berm. Because the property has two road frontages, Connemara Drive and Clover Street, the fence is considered in front of a front setback and by code must be 3 feet tall or less.

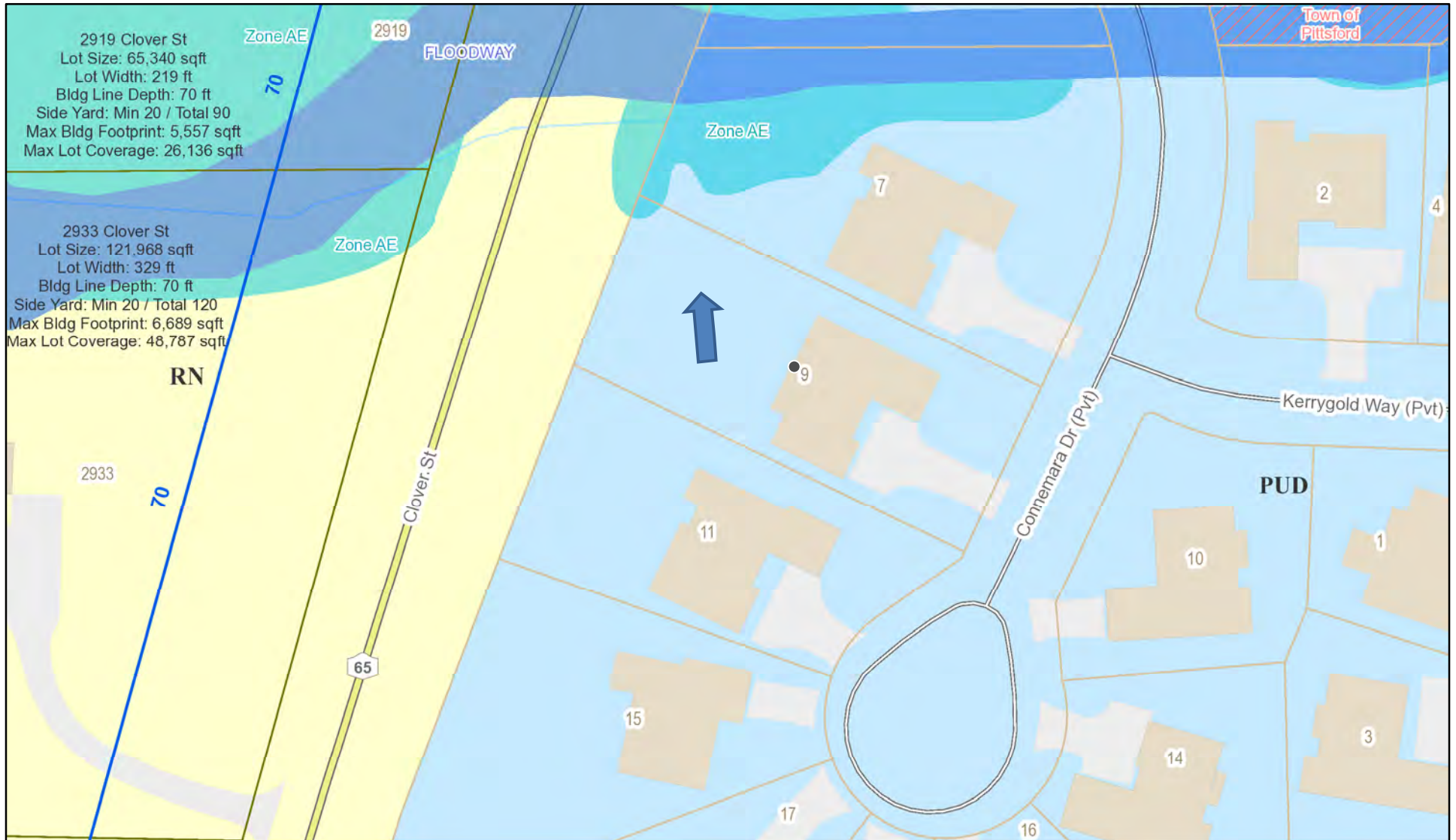
May 12, 2025

ARZ

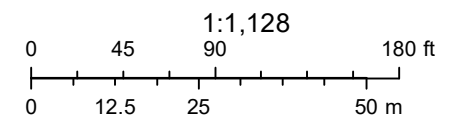
Date

April Zurowski -

9 Connemara Drive

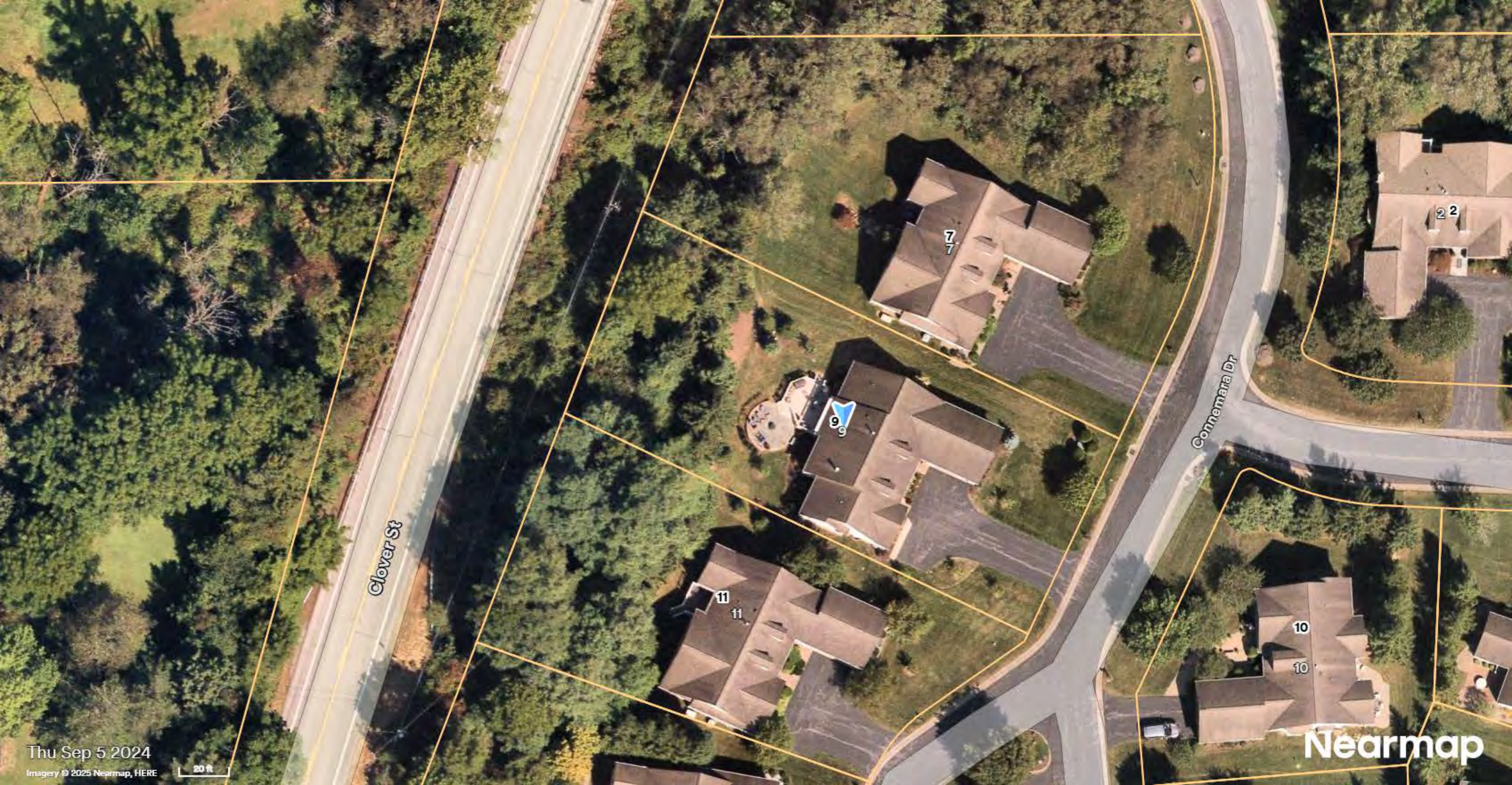


Printed May 19, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Clover St

Connemara Dr

10

10

22

7

9

11

11



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: April 25, 2025 **Hearing Date:** June 16, 2025

Applicant: John and Paula Liebschutz

Address: 9 Connemara Dr. 14534

Phone: 585-943-2190 **E-Mail:** park22@rochester.rr.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ **E-Mail:** _____

Property Owner: _____
(if different than Applicant)

Address: _____

Phone: _____ **E-Mail:** _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 9 Connemara Dr. (Clover Estates) **Current Zoning:** PUD

Tax Map Number: 163.02-5-58

Application For: ☒ **Residential** ☐ **Commercial** ☐ **Other**

Please describe, in detail, the proposed project:

We would like to place about 25' of solid fence in order to (1) shield some of the Clover Street vehicle headlights, and (2) hopefully to bounce some of the traffic noise. The berm behind our home drops off in height just about halfway across the width our yard. Clover Street and the traffic are significantly above the level of our home and yard, as you may see in one of the submitted photos. We are in Clover Estates (a PUD) and have an HOA. They do not require review for things in the back yard or not visible from Connemara Dr. This fence will not be visible at all from our street and will be barely visible from Clover Street (it will be in a wooded area and 20'+ from Clover Street). It will not be visible to our neighbors, since it will be in a wooded area and screened by very large evergreen trees.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

John Liebschutz

Paula Liebschutz

(Owner or Applicant Signature)

April 25, 2025

(Date)

April's Review Copy
2B25-000011

185-121 A.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

9 Connemara Drive - Area Variance (Rear yard fence)

(Project Name)

The undersigned, being the applicant(s) to the...

☐ Town Board ☒ Zoning Board of Appeals ☐ Planning Board ☐ Architectural Review Board

...of the Town of Pittsford, for a...

☐ change of zoning ☐ special permit ☐ building permit ☐ permit ☐ amendment

☒ variance ☐ approval of a plat ☐ exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

Paula G Liebschutz (Planning Board member) 9 Connemara Dr. Pittsford NY

JFL

PGL

(Signature of Applicant)

April 28, 2025

(Dated)

9 Connemara Dr

(Street Address)

Pittsford NY 14534

(City/Town, State, Zip Code)



NEW YORK STATE

STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

This fence will not be visible at all from Connemara Dr. and will be barely visible from Clover Street (it will be in a wooded area and 20'+ from Clover Street). It will not be visible to our neighbors since it will be in a wooded area and will be screened by very large evergreen trees.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

The benefits that the fence will provide are (1) to shield headlights from traffic on Clover St, and (2) to reduce traffic noise from Clover St. traffic. There really is no other method to achieve these benefits due to the slope of the berm and because the elevation of Clover Street sits above our lot. Additionally, we have no control on the present or future volume of traffic on Clover Street.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

Minimal. It will not be visible to any neighbors, it sets back from Clover St and will be in a wooded area so visibility from Clover would be minimal.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

There is no impact on the neighborhood. We checked with our neighborhood HOA board and no HOA variance is required due to its backyard location.

HOA Variance form submitted 5.2.25.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

No.



May 6, 2025

John & Paula Liebschutz
9 Connemara Dr
Pittsford, NY 14534

Re: Clover Estates HOA – Variance Request Approval

Dear John & Paula,

The Board of Directors of Clover Estates Homeowners Association have approved your variance request to install a non-visible sound barrier, as stated in your request dated May 2, 2025.

Repair of any damage to the building or grounds occurring as a result, including damage caused by the contractor and/or the equipment, is the responsibility of the homeowner.

All future maintenance will be the responsibility of the current owner and any subsequent owners regarding approved modifications in this request.

It is suggested that you keep your approved variance request and this letter in your permanent household records for any possible future use.

Sincerely,

CROFTON PERDUE ASSOCIATES, INC.

Zack Rubin
Property Manager

ZB/nc

Clover Estates Variance Form

I hereby request approval for the following exterior modifications to my home. I have attached a sketch of the proposed changes, listed materials to be used and indicated who will do the work. (Please be explicit. Extra sheets may be attached. Homeowner shall be responsible for any Town variance or building permit.)

Name

Paula/John

First

Liebschutz

Last

Address

9 Connemara Dr

Address Line 1

Address Line 2

Pittsford

City

New York

State

14534

Zip Code

Phone

(585) 943-2190

Email

park22@rochester.rr.com

I/We hereby request approval for the following exterior or common area modification/variance. (Please be explicit.)

Description of Change

We would like to place about 25' of solid fence in order to (1) shield some of the Clover Street vehicle headlights, and (2) hopefully to bounce some of the traffic noise. It will not be visible at all to our neighbors or from Connemara Dr. The berm behind our home drops off in height just about halfway across the width our yard. Clover Street and the traffic are significantly above the level of our home and yard, as you may see in one of the submitted photos. We will be submitting an application with the town Zoning Bd.

SKETCH, DRAWING or PICTURE MUST BE PROVIDED WITH THIS VARIANCE + Neighbor Consent
IMG_0816.jpeg

Fence solid board.jpg

Anticipated Starting and Completion Dates

Summer- not yet scheduled

Name of Contractor or Person Performing Work

Not yet contracted

I have attached written consent from any neighbor to whom this modification is visible:

☒ Yes ☐ No

Homeowner Signature (Electronic)

Paula G Liebscutz

Date Submitted

5/2/2025

BOARD OF DIRECTORS:

☒ Approved
☐ Approved with Conditions
☐ Not Approved

Comments: _____

Date: 5/4/25

Signature: [Signature]

NOTE:

Permission for this variance shall be valid for one year from the approval date.

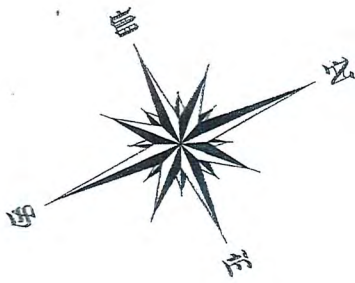




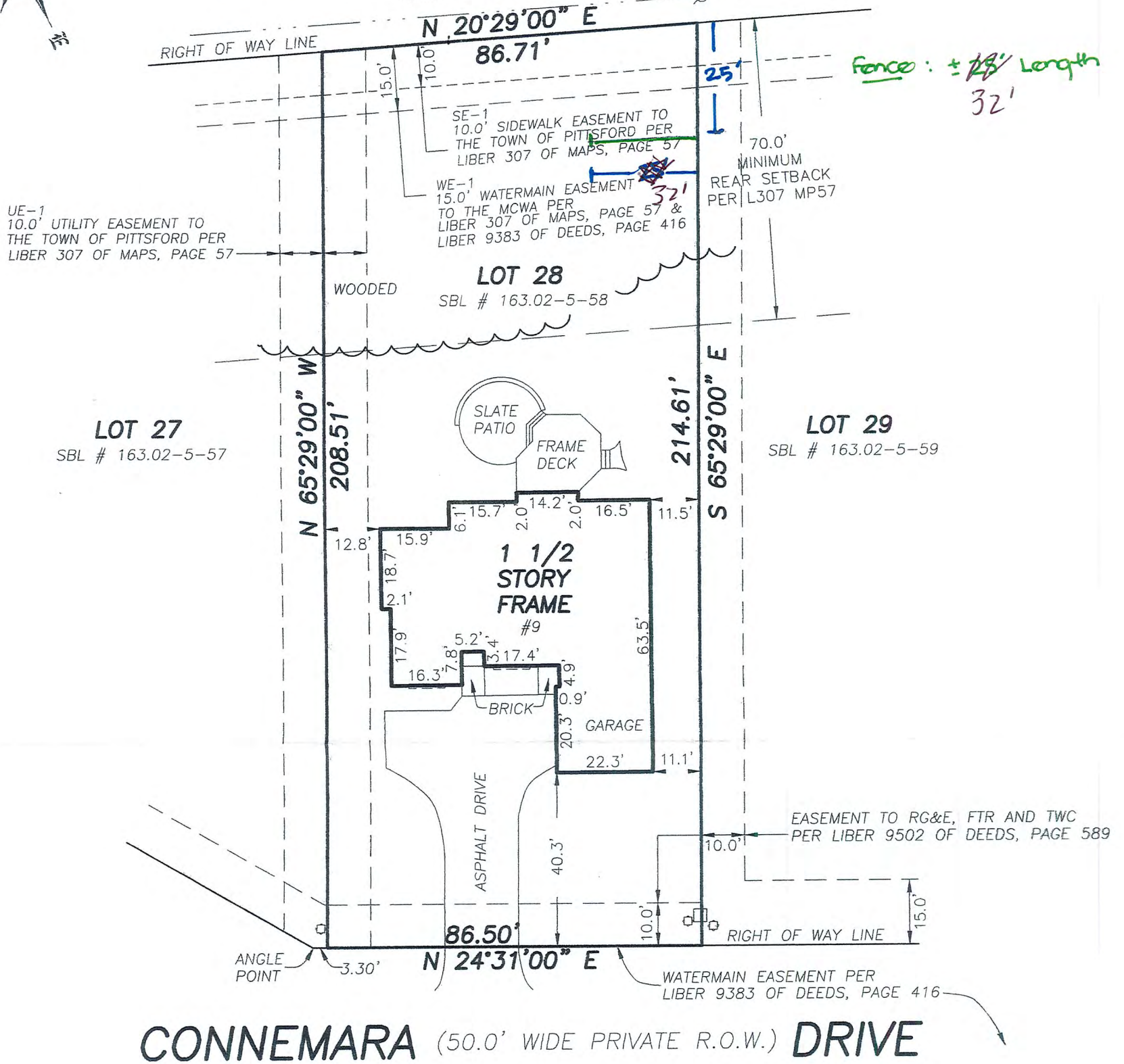
LEGEND

- DENOTES: TRANSFORMER
○ DENOTES: UTILITY PEDESTAL
○ DENOTES: UTILITY POLE WITH WIRES
— DENOTES: OVERHEAD UTILITY WIRES

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP
BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF
SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."



CLOVER (WIDTH VARIES) STREET
STATE ROUTE 65



CERTIFICATIONS:

I HEREBY CERTIFY TO:

- 1) JOHN LIEBSCHUTZ
- 2) PAUL LIEBSCHUTZ
- 3) M&T BANK, N.A. ISAOA
- 4) STEWART TITLE INSURANCE COMPANY

THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN
INSTRUMENT SURVEY COMPLETED AUGUST 31, 2023
AND REFERENCES SHOWN HEREON.

James C. Colton
JAMES C. COLTON, L.S. #050150

REFERENCES:

- 1) ROCHESTER ABSTRACT CORPORATION, ABSTRACT # RAC56247, DATED AUGUST 10, 2023
- 2) LIBER 12718 OF DEEDS, PAGE 45
- 3) LIBER 307 OF MAPS, PAGE 57

NOTES:

- 1) REFERENCE IS MADE TO AN EASEMENT GRANTED TO ROCHESTER GAS AND ELECTRIC CORP.
FOR A POLE LINE ALONG EAST SIDE OF HIGHWAY AS SET FORTH IN
LIBER 1539 OF DEEDS, PAGE 364
- 2) PARCEL SUBJECT TO DECLARATION OF COVENANTS, EASEMENTS, CONDITIONS & RESTRICTIONS
AS SET FORTH IN LIBER 9407 OF DEEDS, PAGE 106



MAP OF A SURVEY

LOT 28
CLOVER ESTATES SUBDIVISION
TOWN OF PITTSFORD
COUNTY OF MONROE, STATE OF NEW YORK

COLTON LAND SURVEYING

108 NUNDA BLVD.
ROCHESTER, NY, 14610
PHONE (585)244-2395
jcolton@rochester.rr.com

SEPTEMBER 5, 2023

SCALE 1" = 30'

PROJECT NO. 23-070

Zoning Board of Appeals Referral Form Information

ZB25-000012

Property Address:

2534 Clover Street ROCHESTER, NY 14618

Property Owner:

Silver, Howard
2534 Clover St
Rochester, NY 14618

Applicant or Agent:

Tom, Webster Home Improvement

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	10	Right Lot Line:	6.4	Right Lot Line:	3.6
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	12	Height:	22	Height:	10.0
Max Size/Max Total:	225 / 320	Max Size/Max Total:	960 / 1250	Max Size/Max Total:	735 / 930

Code Sections: Applicant is requesting relief from Town Code Sections 185-113 C. (1), (2), & (3) and 185-17 E. for the construction of an oversized and over-height detached garage not meeting the minimum side setback, for an existing pavilion in the side yard area, and for the total square footage of roofed or enclosed accessory structures exceeding 320 square feet in area. This property is zoned Residential Neighborhood (RN).

Staff Notes: There is an existing detached garage on the property. The applicant is planning to replace it with a larger and taller structure. Upon reviewing the preliminary application, I noticed the existing pavilion requires a variance, and there are other accessory structures on the lot, including chickens that do not yet have a permit.

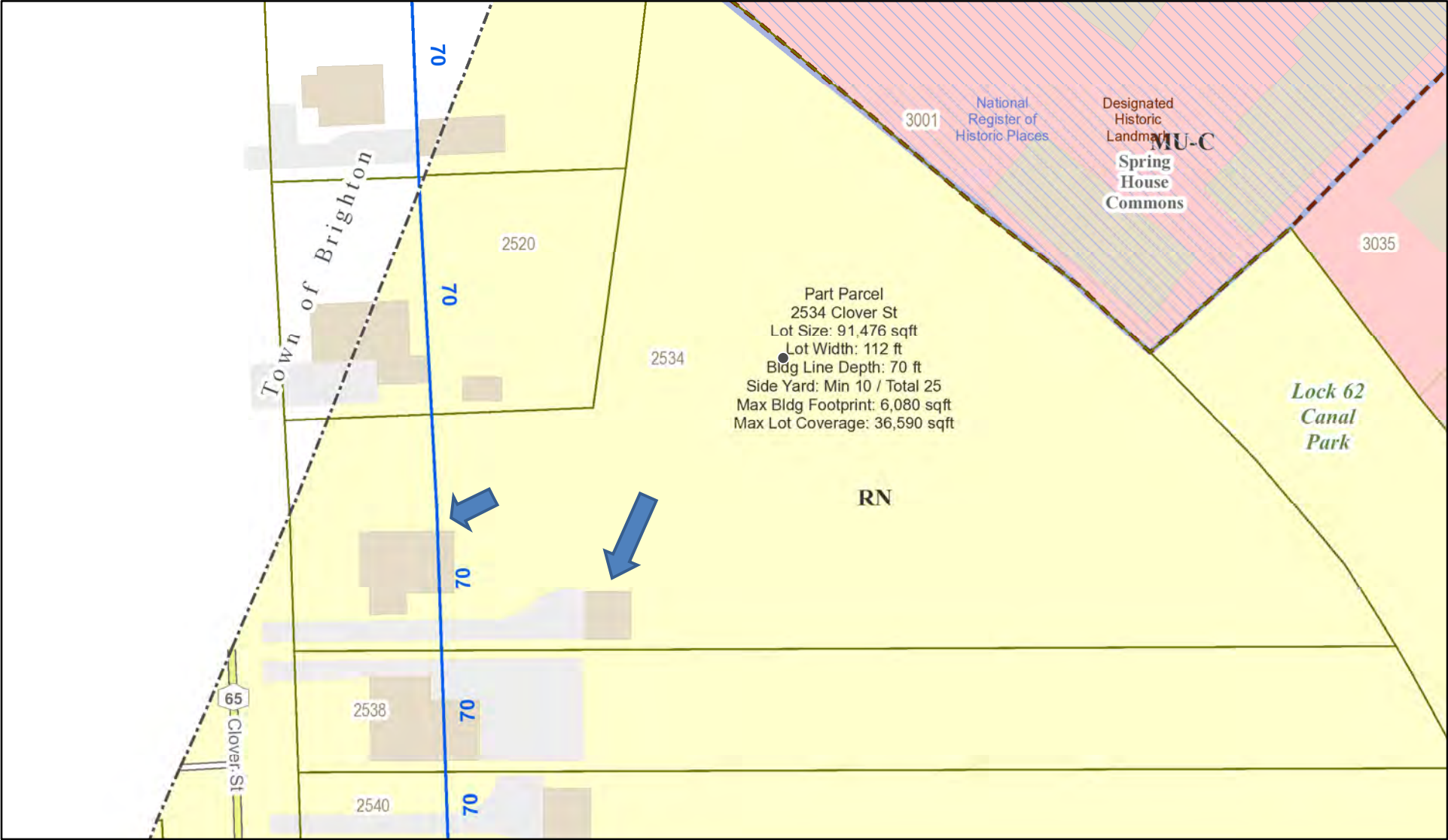
May 19, 2025

ARZ

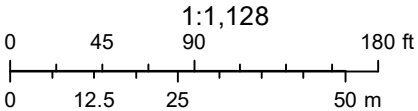
Date

April Zurowski -

2534 Clover Street



Printed May 19, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



484

2504

None

3005

3025

3019

3035

3011

2534

2520
2520

2520

485

2533

2534

2538

Clover St

Thu Sep 5 2024

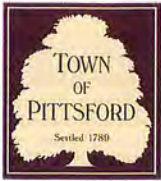
Imagery © 2025 Nearmap, HERE

50 ft

Nearmap

ZB 25-000012

April's Renew
copy



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: May 16, 2025 Hearing Date: June 16, 2025

Applicant: Webster Home Improvement Inc

Address: 1197 Ridge Rd Webster NY 14580

Phone: (585) 303-7211 E-Mail: tom@websterhomeimprovement.com

Agent: _____
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: Howard Silver
(if different than Applicant)

Address: 2534 Clover St Rochester NY 14618

Phone: (585) 721-7835 E-Mail: hsilver9@yahoo.com

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 2534 Clover St Current Zoning: Residential Neighborhood

Tax Map Number: 150.08-1-76

Application For: ☒ Residential ☐ Commercial ☐ Other

Please describe, in detail, the proposed project:

Construct new two car garage with attached car port. Structure is detached from house. Garage will be used for cars and lawn tractor. There will be no water or drains associated with this project. A variance for an existing pavilion that is out of compliance is also requested.

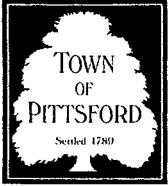
SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

Tom D. Ellis (Owner or Applicant Signature) 5/12/25 (Date)

variances needed:

- ① pavilion location - 185-113 C. (3)
- ② garage height - 185-113 C. (2)
- ③ garage size - 185-113 C. (1)

- ④ total acc. sizes - 185-113 C. (1)
- ⑤ garage setback - 185-17 E.



TOWN OF PITTSFORD

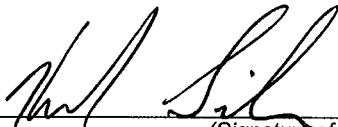
AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Howard Silver, the owner of the property located at:
2534 Clover St. Rochester 14618
(Street) (Town) (Zip)

Tax Parcel # 150-08-1-76 do hereby authorize
Tom OBrien of Webster Home Improvement to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of Constucting detached garage


(Signature of Owner)
5/14/25
(Date)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The garage is set back reasonably far from the road. The lot is very large and borders residential and commercial properties. The finished product will look very similar to existing house which is currently white with shake style vinyl siding. The new structure will have shake style vinyl siding on front facing the road. The new garage will replace an old detached garage at same setback.

The existing pavilion did not receive a permit and upon review of the garage variance, was deemed out of compliance by the Town Zoning Officer. The pavilion is located in the side yard area.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Homeowner would like to store things indoors. Current garage is beyond repair due to previous owners neglect. Main house has a low basement ceiling which makes storage difficult. There is a fair amount of property to maintain which requires equipment and tools to be stored indoors. Driveway and rear patio do not allow for a lot of movement for new garage structure. With three adult children, storage is very important. New rear turnaround will allow for safer egress to busy Clover St.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

Homeowner believes variance is minimal. Existing garage is already close to property line. The added square footage is towards the back of the property. The height of new structure does not effect the neighbors view. The neighbor whose property borders next to new structure, has signed a statement of support for new structure. The total square footage of enclosed structure is 960 square feet. The total height of new structure is 22 feet.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

Variance will have a small impact on the neighbors due to lot layout. New garage is almost 160 feet from the road. Most of the side and rear of property is commercial space. Garage will not drastically increase impervious surface.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes. The homeowner bought the house knowing the garage would have to be replaced. Structure, floor, and electric are beyond repair.

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Silver Garage

(Project Name)

The undersigned, being the applicant(s) to the...

☐ Town Board ☒ Zoning Board of Appeals ☐ Planning Board ☐ Architectural Review Board

...of the Town of Pittsford, for a...

☐ change of zoning ☐ special permit ☐ building permit ☐ permit ☐ amendment

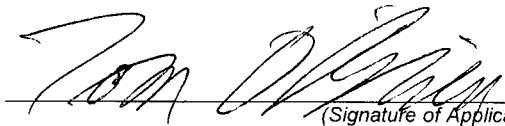
☒ variance ☐ approval of a plat ☐ exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)


(Signature of Applicant)

May 16, 2025

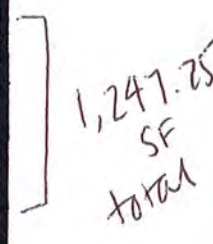
(Dated)

2534 Clover St

(Street Address)

Rochester NY 14618

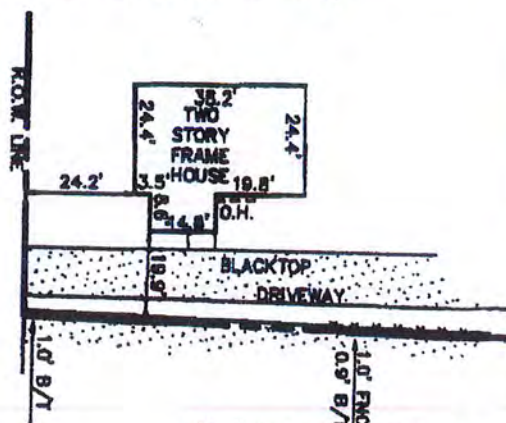
(City/Town, State, Zip Code)



SCALE: $1 = \infty$

2534 Clover St.
Pittsford, N.Y.

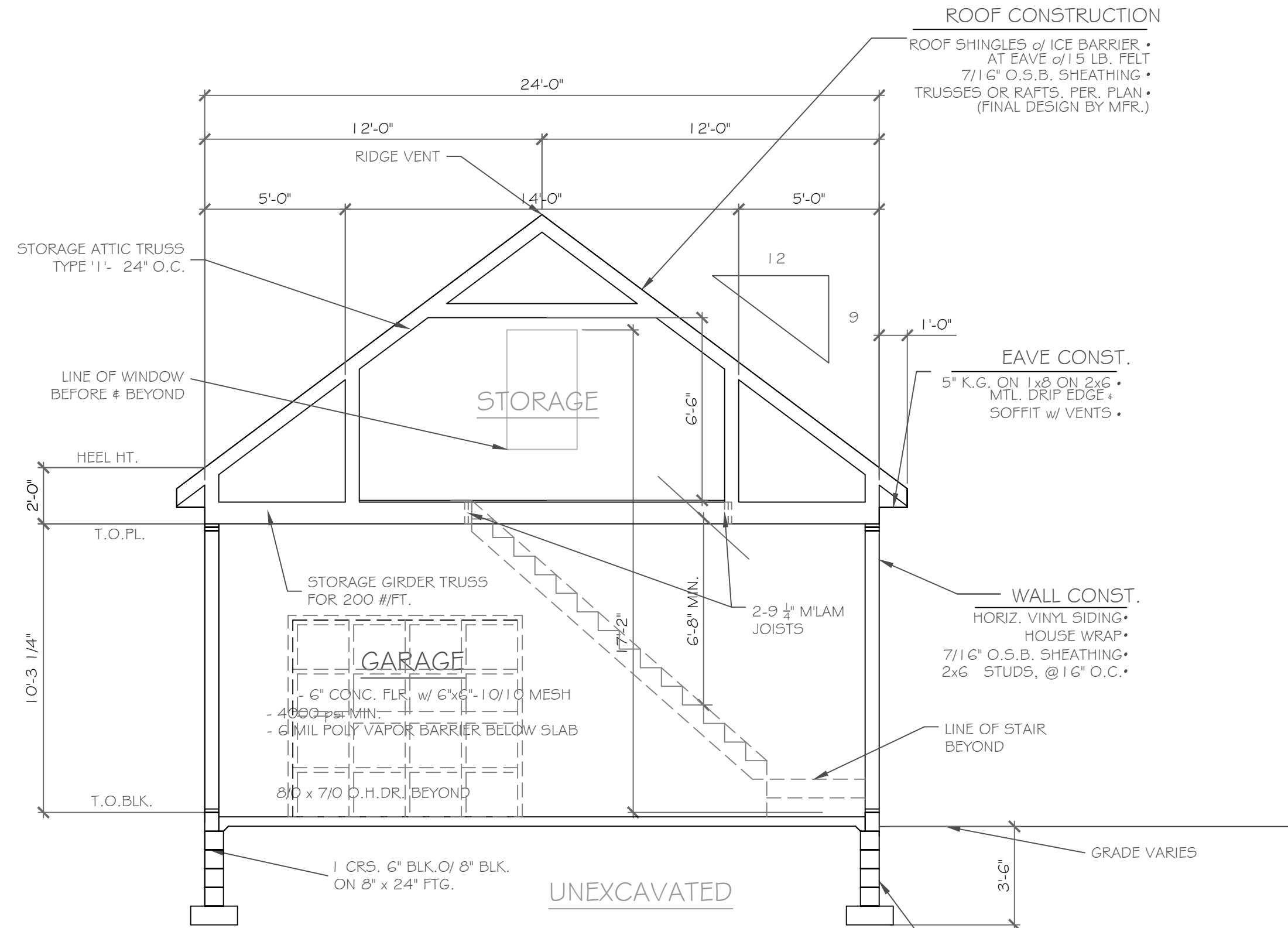
GALLO & IACOVANGELO, ATTORNEY'S;
 SARAH M. AYER-GEDELL, Esq.;
 THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE;
 WELS FARGO HOME MORTGAGE, INC., ITS SUCCESSORS AND/OR ASSIGNS;
 HOWARD SILVER & LISA SILVER
 that this map was made MAY 17, 2000
 from notes of an Instrument Survey
 completed MAY 16, 2000 and references



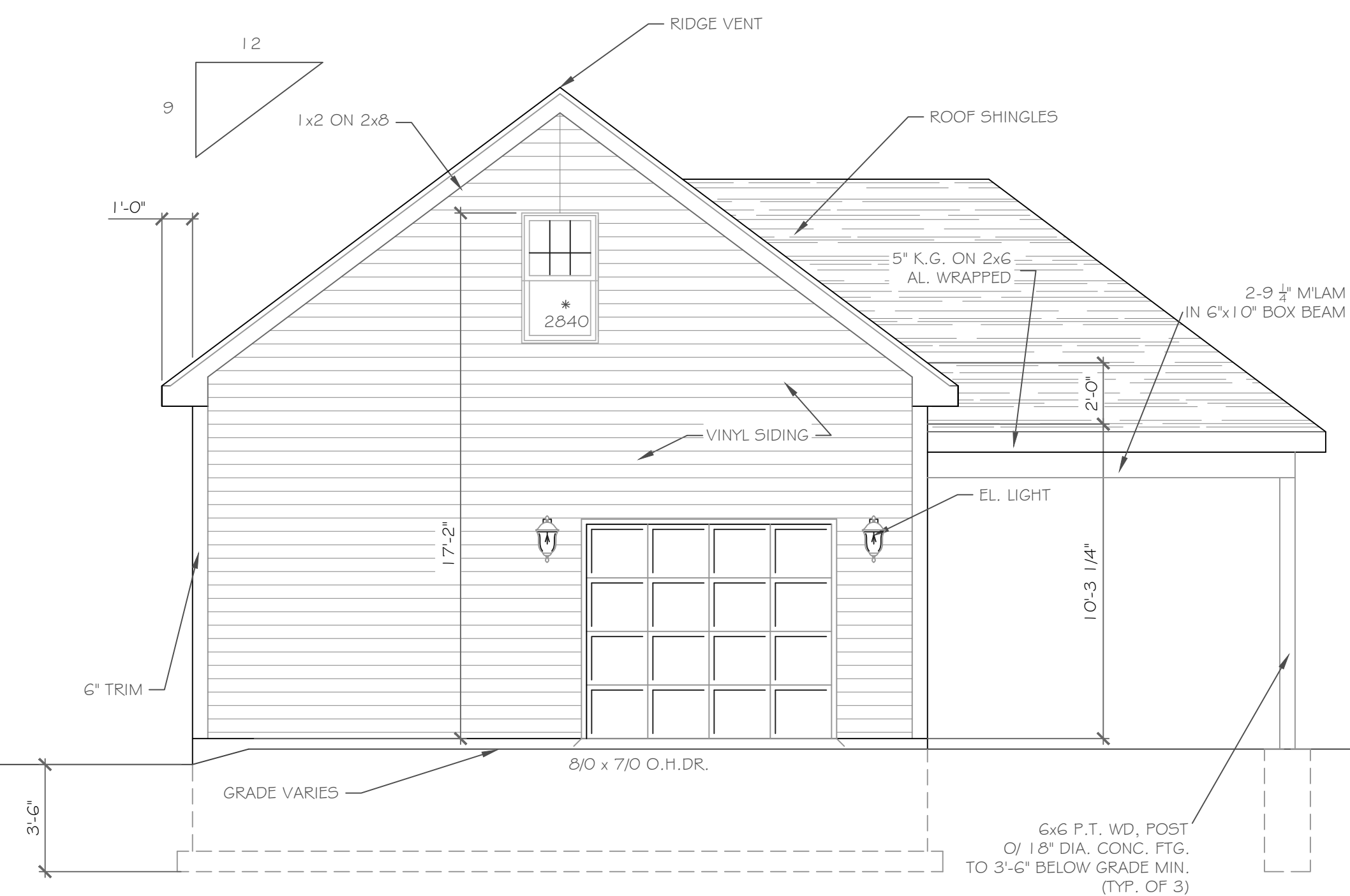
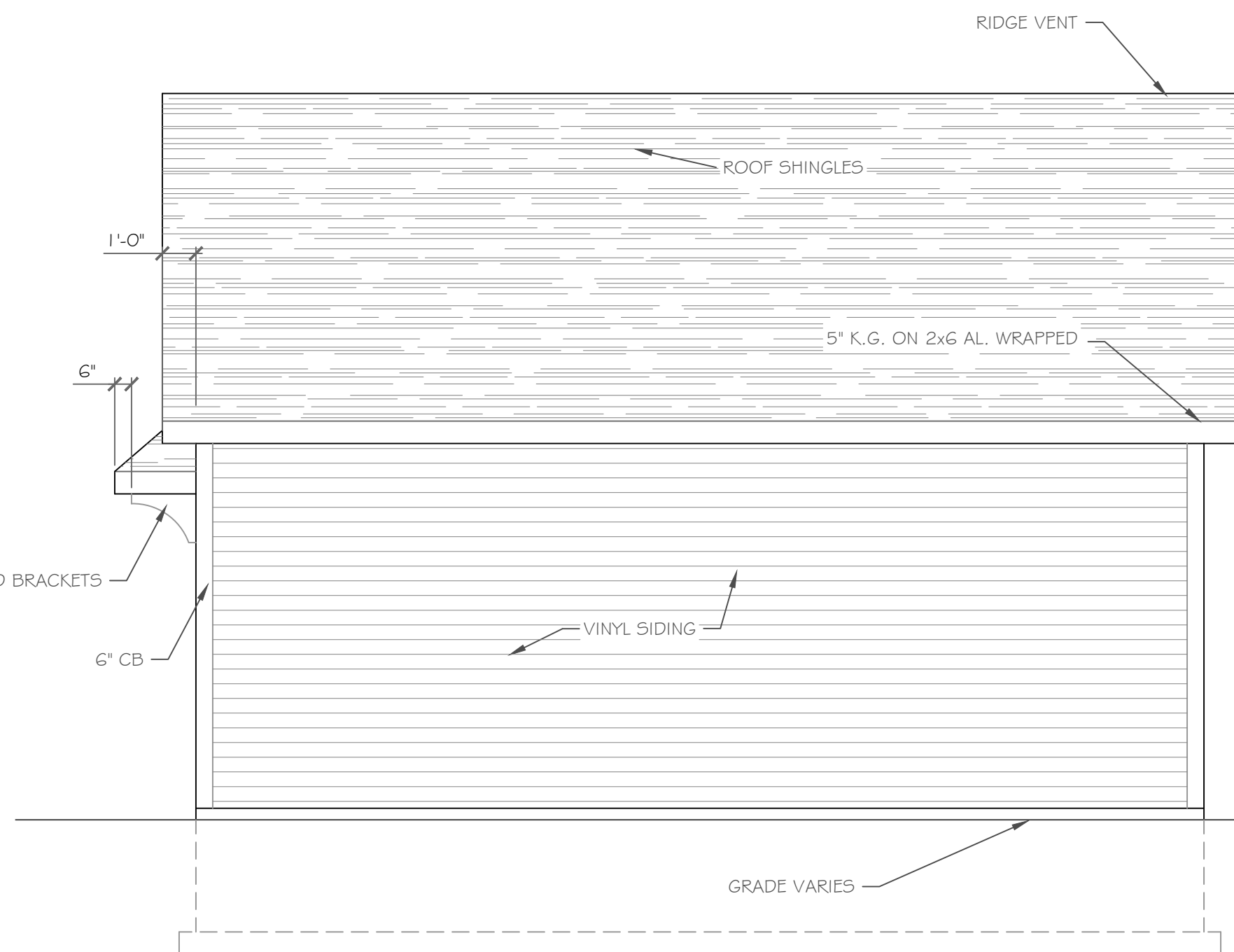
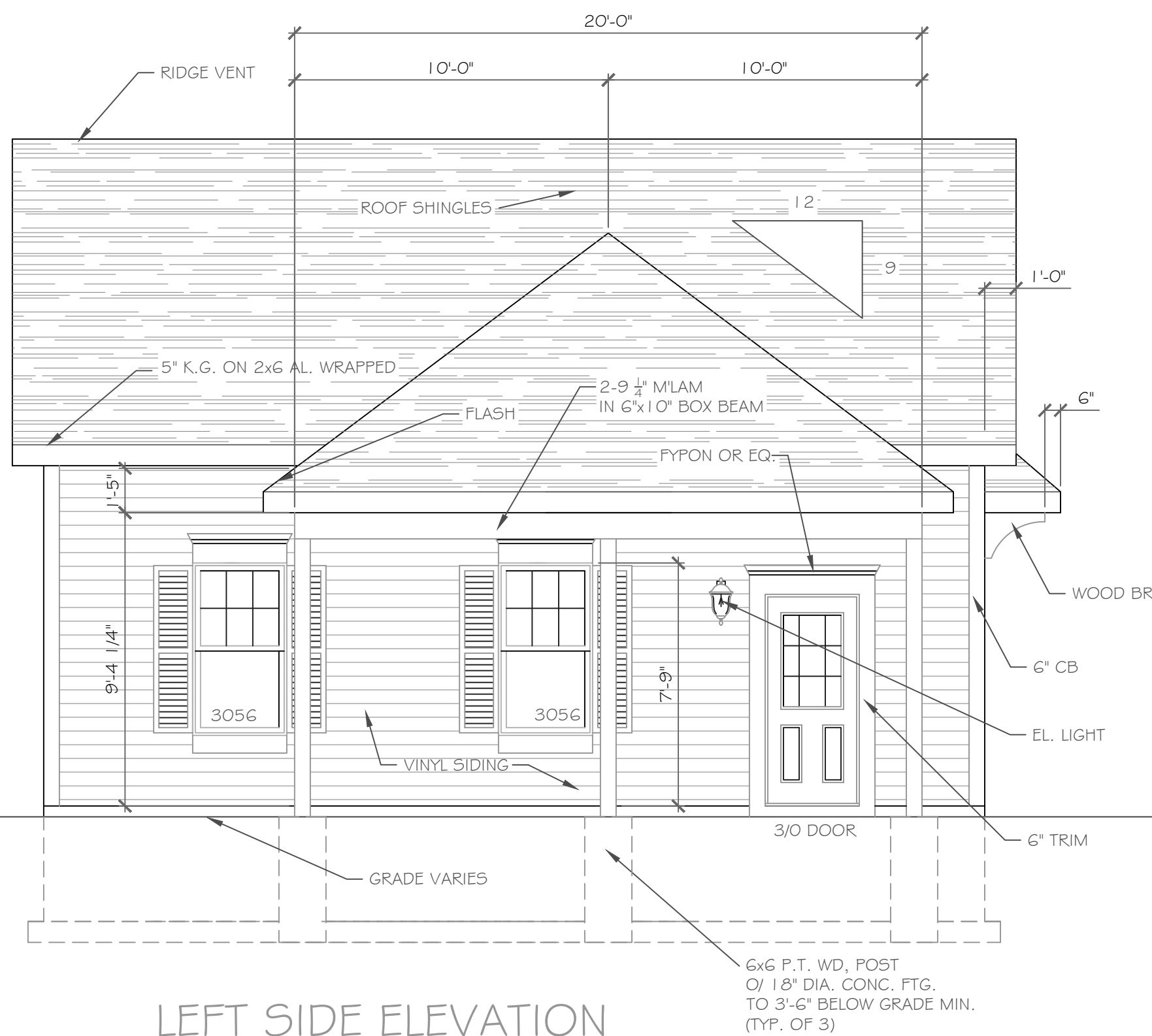
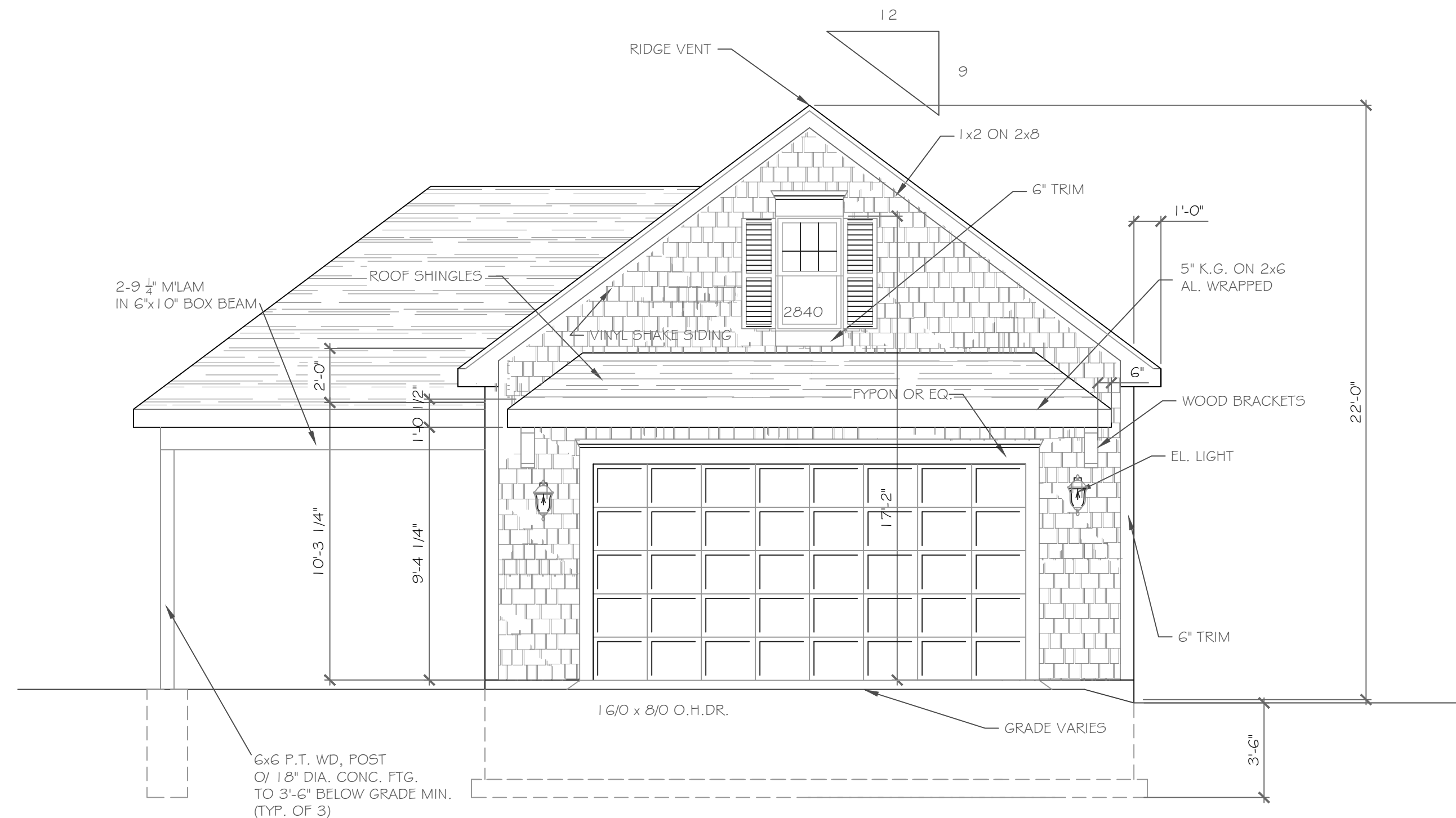
Unauthorised alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7203 Subdivision 2, of the New York State Education Law.

Only copies from the original of this survey marked with an original land surveyor's seal shall be considered to be valid true copies.

Certifications indicated herein signify that this survey was prepared in accordance with the surveying Code of Practice for Land Surveyors.



A CROSS SECTION
1/4" = 1'-0"



DRAWING TITLE-

Elevations & Section

PROJECT- ADDITIONS TO:

2534 Clover Street
Pittsford, New York

CLIENT-

Howard Silver

JOB NO. -

A16-025

DATE-

December 4, 2024

PHASE-

Construction Documents

CKH
architecture

6605 Pittsford Palmyra Road
Suite W3
Fairport, New York 14450
phone (585) 240-1134
e-mail: CKHennessey@frontiernet.net

DRAWING NO.-

A-1

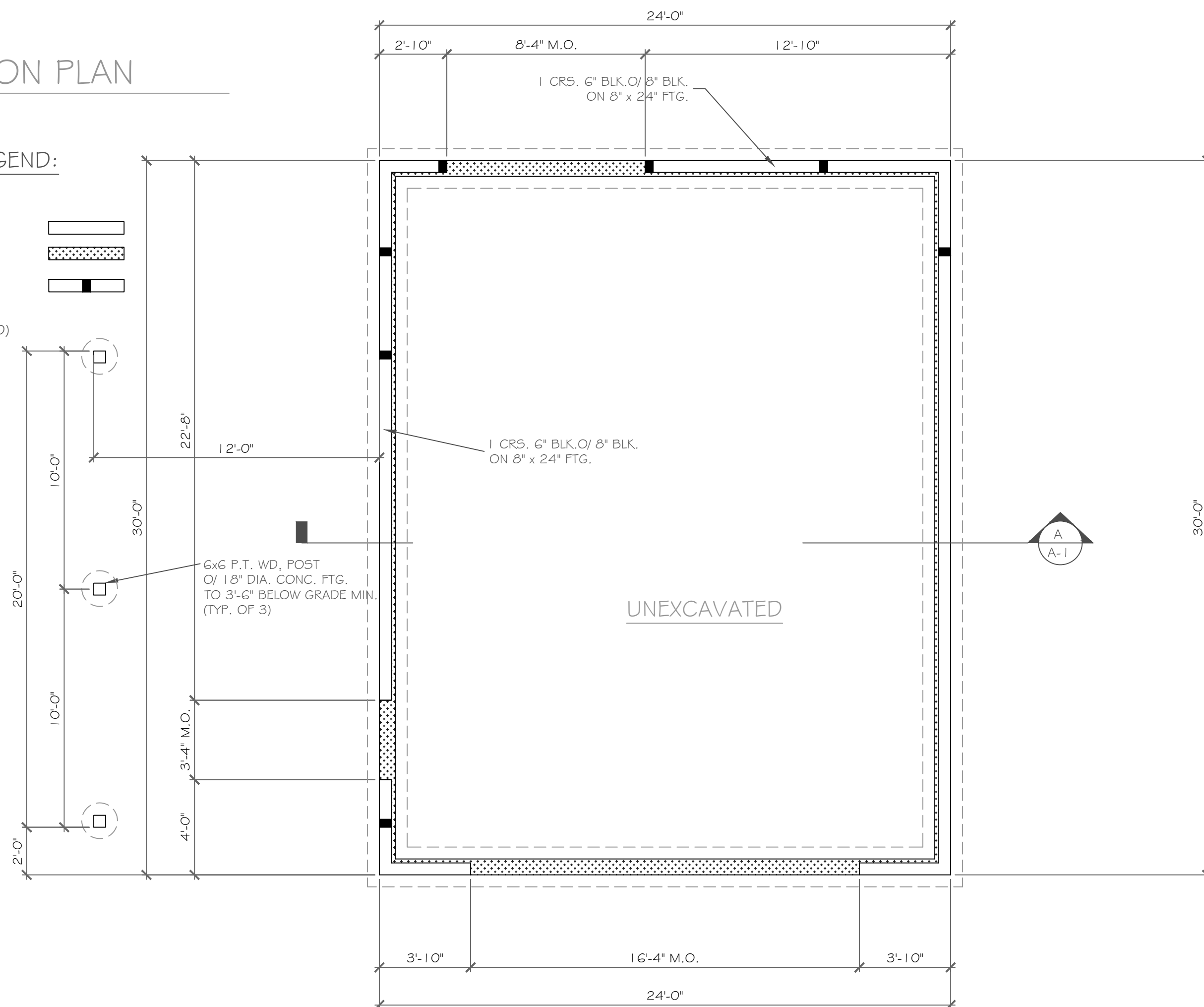
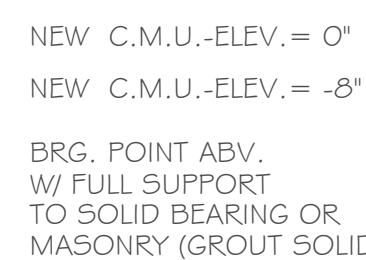
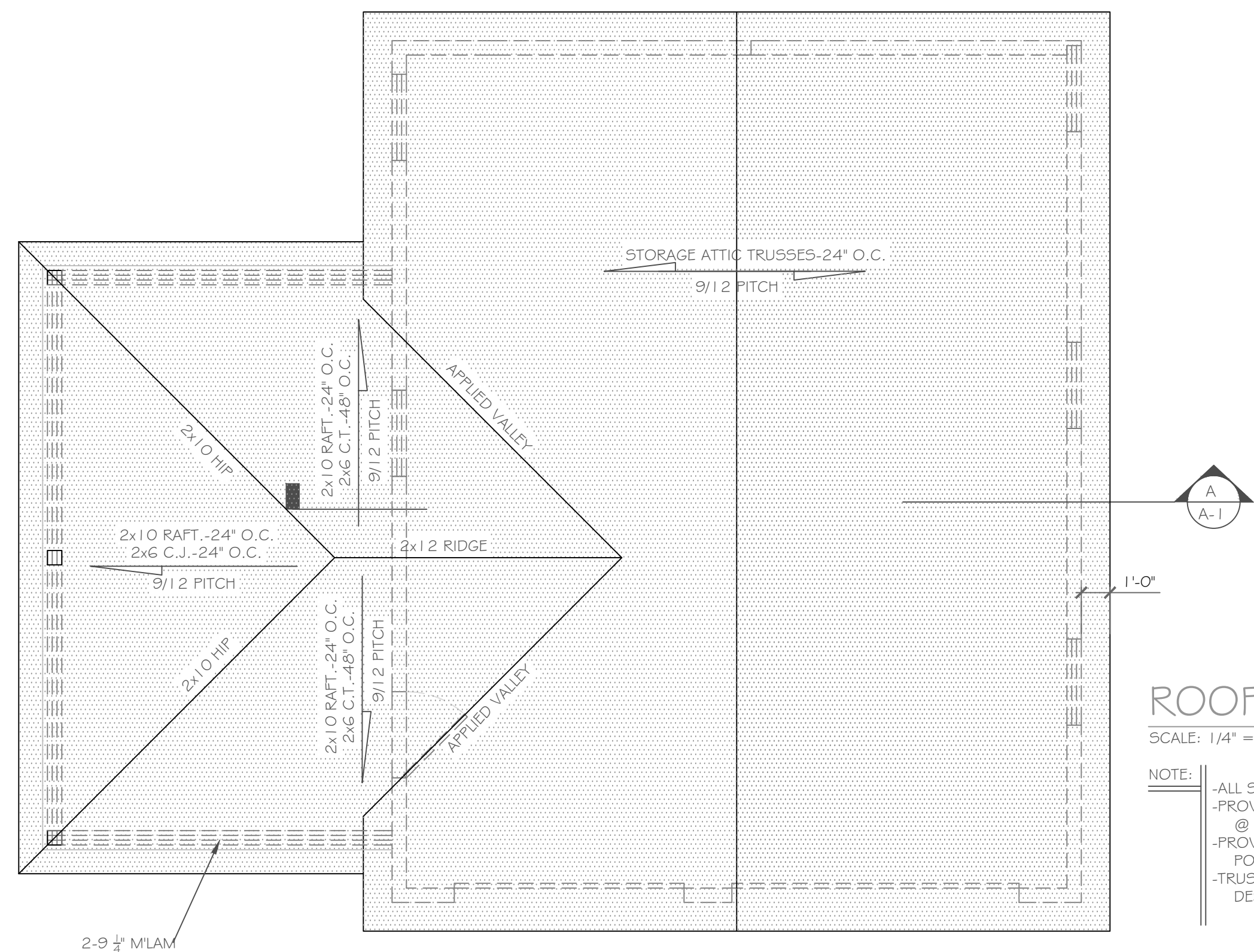
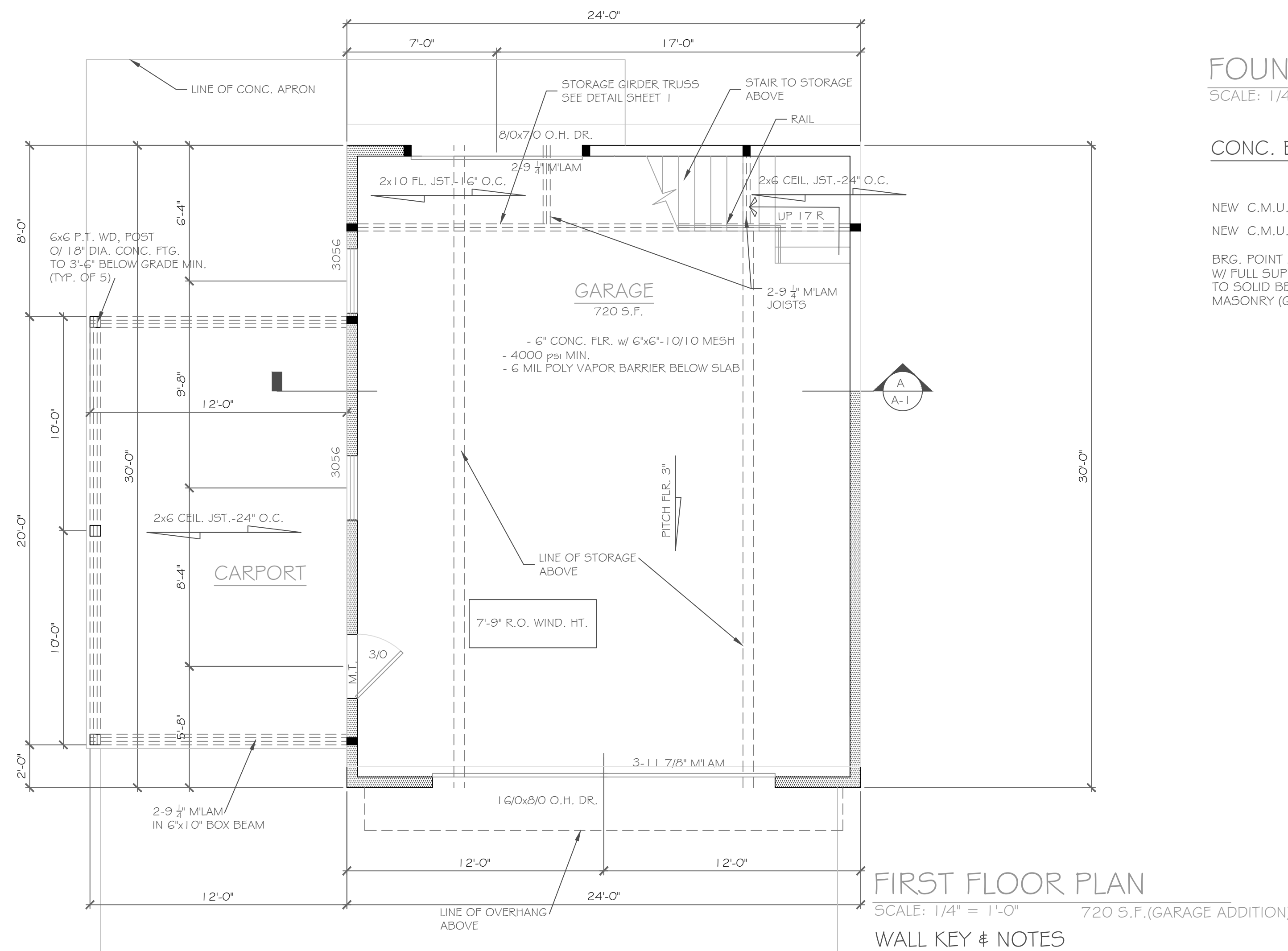
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NO.	DATE	DESCRIPTION



G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD
 PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■
 C/W/NO R.O.T. BE TO AS NOTED
 CLG. HTS. TO BE AS NOTED
 ALL ANGLES TO BE 12/12 U.O.N.
 REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
 (C) - UNDER/MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
 PER SECTION R310.4 OF THE RES. CODE OF NYS
 * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 DBL. JACK STUDS @ ALL LOAD BRG. UNITS OVER 4' LONG
 REFER TO MFR. SPECS FOR DRILLING HOLES IN TJI FLOOR JOISTS

DEMOLITION NOTES:

A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.

B. All plumbing, electrical and HVAC fixtures, doors, trim, and windows which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.

C. Contain and remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.

D. Remove all existing lighting, wiring, and electrical systems as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.

E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping. cap at nearest active main.

F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active air power. Coordinate removal of all associated power and plumbing services with other trades.

G. On items D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall be required to repair existing finish surfaces as required.

H. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/roof framing as required. Prepare existing surfaces to receive new finish materials. Coordinate removal of finishes with the owner for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.

I. The contractor shall be responsible for the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.

J. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.

K. The contractor shall be responsible to accept to be designated exits for the building occupants during construction.

L. Storage for contractor's equipment and debris must be kept inside the contract area.

M. Dumpsters for construction debris are to be provided by the contractor. All materials to be hauled off site upon removal by contractor.

N. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos shall be removed as required to be done so in accordance with established A.H.E.R.A. regulations.

CONSTRUCTION NOTES:

1. Construction shall conform to the residential code of New York State.
2. Comply with all local, state and federal codes and regulations.
3. General Contractor is responsible for all materials, construction methods and craftsmanship.
4. General Contractor to provide all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
5. General Contractor to provide adequate support of existing foundation work, load bearing walls and partitions during demolition and construction.
6. All quality checks are responsible for coordinating work with other trades wherever they overlap.
7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as match adjacent existing surfaces unless otherwise noted.
8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
10. All materials are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
11. All dimensions are face of wall to face of wall (rough).
12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
13. No site visits will be made by this Architect, contractor shall assume all responsibility for changes to these drawings.
14. Coordinate interior door/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
15. Call UPFO before you dig, 1-800-962-7962
16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar.
17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are run in concrete or concrete splashblocks, or to underground conductors per local code.
18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and existing conditions for all mechanical and electrical construction.
20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the location and general nature of the location/dimensions of the construction and major architectural elements of construction.

DRAWING TITLE-
Foundation Plan, First Floor Plan, &

PROJECT- ADDITIONS TO:
2534 Clover Street
Pittsford, New York

CLIENT-Howard Silver

CKH
architecture
6605 Pittsford Palmyra Road
Suite W5
Fairport, New York 14450
phone: (585) 249,1334
e-mail: CKHennessey@Frontier.net

DRAWING NO.-

A-2

REVISIONS-

No.	Date	Description

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GENERAL CONSTRUCTION NOTES:

1. Construction shall conform to the latest edition of the Residential Code and Energy Conservation Construction Code of New York State, with possible modifications by local code administration.
2. The Contractor shall comply with all applicable Building, Electrical, Mechanical, Sanitary and Energy Codes (local, state, and federal).
3. Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the latest edition of the Residential Code of New York State.
4. In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.
5. The Contractor shall be responsible for all construction means, methods, techniques, sequences, and safety precautions in connection with the work.
6. The Contractor shall verify all existing conditions, requirements, notes, and dimensions shown on Drawings or noted in Specifications. Any variances within Drawings and Specifications, or with conditions encountered at job site, shall be reported to Owner/Architect in writing before commencement of any work effected by such variance.
7. The Contractor shall rigidly adhere to all laws, codes, and ordinances which apply to this work. He shall notify and receive clarification from Owner/Architect in writing of any variances between contract documents and governing regulations.
8. The Contractor shall bring errors and omissions which may occur in Contract Documents to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the results of any errors, discrepancies, or omissions in the Contract Documents, of which the Contractor failed to notify the Architect before construction and/or fabrication of the work.
9. The Contractor shall be responsible for adapting these plans, if required, to suit the needs of the building on the site provided that the alterations do not violate the code or alter the structural integrity of the building. The Contractor shall make no structural changes without written approval of the Architect.

10. No site visits will be made by this Architect. Contractor shall assume all responsibility for changes to these drawings and specifications.
11. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals which meet applicable standards and specifications may be used.
12. Construction loads shall not overload structure nor shall they be in excess of design loadings indicated herein.
- A. Provide temporary bracing, shoring, guying, or other means to avoid excessive stresses and to hold structural elements in place during construction.
- B. Construction materials shall be spread out if placed on framed floors or roof. Loads shall not exceed the design live load per square foot.
13. Due to revisions made during the development of these drawings, they may not reflect the dimensions noted. Do not scale the drawings.
14. Call UFPO before you dig. 1-800-962-7962.
15. All dimensions are face of wall to face of wall (rough).
16. Contractors' are responsible for coordinating work with other trades wherever they overlap.
17. All details are subject to change due to existing field conditions. Contractors' must notify Owner/Architect of same.
18. Interior and exterior finish material selection (including, but not limited to, siding, roofing, wall, floor and ceiling finishes) by Owner and Contractor unless otherwise specified.
19. All subcontractors shall leave extra materials for patching and/or repair of all interior and exterior finish materials including, but not limited to, flooring, wall coverings, roofing, siding, etc. Coordinate exact list and quantity of materials required with owner.

20. Design of electric, plumbing, and HVAC systems by other consultants or contractors. Verify municipal requirements and location of existing utilities/services prior to construction. The Contractor shall be responsible for compliance with the Energy Conservation Construction Code for all HVAC equipment, and controls, Water heating equipment, pipe and duct insulation and fluorescent lamps and ballasts.
21. Where reference is made to various test standards for materials, such standards shall be the latest edition or addendum.
22. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope of the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction. No adjustment will be made to the contract sum or time of completion for failure to include any portion of the work where such inclusion may be reasonably inferred from the contract documents.

SITE WORK:

1. Site work shall include all site demolition, cleaning, excavation, filling, grading, drainage, and related items necessary to complete the work indicated on drawings.
2. Contractor shall investigate site during cleaning and earthwork operations for filled excavations or buried structures such as cess pools, cisterns, foundations, etc. If any such items are found, Owner/Architect shall be notified immediately.
3. Before commencing construction or excavation activities at the site, Contractor shall obtain geotechnical assistance of a registered soils testing laboratory. Testing laboratory shall make necessary borings, tests, and analysis of soils at locations and elevations pertinent to the project of preparations of a soils test and recommendations report.
4. It is assumed that the subsurface conditions will be earth or soil. If bedrock is encountered, removal will be considered an addition to the contract.
5. Contractor shall extend asphalt driveway and parking area to new addition. Driveway construction shall be in accordance with generally accepted industry standards.

CONCRETE:

1. GENERAL:
- A. Footings may be poured neat against sides of excavations only if sloughing or raveling does not occur.
- B. Contractor shall be responsible for support of all temporary embankments and excavations.
2. STRUCTURAL BACKFILL:
- A. Structural backfill of well graded sand and gravel or crusher run stone shall be placed in 6-inch maximum lifts and compacted to a minimum density of 95% (under slabs-on-grade and building structure) and 90% (elsewhere) of maximum density at optimum moisture content as determined by ASTM D698.

CONCRETE: (Cont.)

- B. Backfill shall be free of excessive vegetation, debris or other deleterious materials and contain no particles larger than 3-inches in diameter and no more than 10% passing the #200 sieve.
- C. Backfill shall not be placed against basement retaining walls until (1.) Concrete or masonry grout has reached its specified 28 days strength, and (2.) Structural floor framing (including plywood subfloor) required to stabilize walls is complete and fully nailed and anchored.
3. FOOTINGS:
- A. Footings shown on drawings are sized for building design loads and an assumed soil bearing capacity of 1,500 psf. Verify actual soil bearing capacity on site and notify Owner/Architect in writing if less than 1,500 psf.
- B. Footings shall be placed at a minimum depth of 42-inches below adjacent finished grade unless otherwise specified on the Contract Documents.
- C. Final 3-inches of excavation shall be removed by hand tool operations in order to assure undisturbed bearing surfaces.
- D. Footings shall be founded on firm, undisturbed, native soils free of frost and loose material. Footings may bear on properly engineered backfill provided settlement and/or consolidation tests performed indicate anticipated settlement will not exceed that allowed for the proposed structure. Conditions found to be otherwise shall be reported to Owner/Architect.
- E. Bottom surface of footings shall not slope more than 1:0 vertical to 10:0 horizontal, except as shown otherwise of drawings.
- F. No excavation shall be made lower and closer to any footing than 1:0 vertical to 3:0 horizontal, except as shown on drawings.
- G. Footings and slabs-on-grade shall not be placed on muddy or frozen ground. Sub-grade for slabs-on-grade where vapor barrier is not required shall be damp at time of concrete placement.

4. CONCRETE:

- A. All reinforced concrete shall be furnished and installed in accordance with the current ACI-318 "Building Code Requirements For Reinforced Concrete".
- B. Concrete shall meet the requirements of ACI 301-72 with type II cement. Minimum 28 days compressive strength of 2,500 psi (footings) and/or 3,500 psi (slabs), unless otherwise specified. Max. slump 4 1/2" as determined by ASTM C143.
- C. In on-grade concrete slabs the welded wire fabric reinforcement (when required) shall be located midway in the slab thickness.
- D. All exterior concrete to be air-entrained.
- E. Provide concrete reinforcing bars at footing locations where soil is engineered fill. Bars shall be 2-#4, at the bottom with a minimum of 3" concrete cover, unless noted otherwise. Concrete reinforcing bars are not required at footings bearing on undisturbed soil with a bearing capacity of 2500 psf unless noted otherwise on the drawings.
- F. Provisions must be taken to protect all concrete work from frost damage with special attention paid to footings and other on-grade construction prior to backfilling and enclosing the building.
- G. Anchor bolts shall conform to ASTM A-307 and shall be 1/2" diameter minimum and 10" long. Placement of anchor bolts shall be: 12" from plate end, 6"-0" O.C. maximum intermediate spacing, minimum 2 bolts per bearing plate section.
- H. Provide 6 mil polyethylene vapor barrier membrane complying with ASTM D 2103 where indicated on drawings.

5. MILD STEEL REINFORCEMENT FOR CONCRETE AND MASONRY:

- A. Mild steel reinforcement for concrete and masonry construction shall conform to ASTM-A615 Grade 40. Ties, stirrups, and hoops shall conform to ASTM A615-B7, Grade 40.
- B. Welded wire fabric shall conform to ASTM A185 in as long lengths as practical.
- C. PLACING:
1. Reinforcement shall be accurately placed and adequately supported by concrete, metal, or other approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement. Tack welding is not allowed.
2. Except where shown otherwise on structural drawings, reinforcement in concrete shall have concrete cover as follows:
- a. Concrete deposited against earth. 3"
- b. Formed concrete against earth. 2"
- c. Exterior faces of walls. 2"
- d. Interior faces of walls. 3/4"
- e. To top of slabs-on-grade. 3/4"

MASONRY:

1. Concrete block psi conform to ASTM C90, N - 1. All units shall be 2 core, normal weight.
2. Wall reinforcing shall conform to ASTM A82.
3. All mortar shall conform to ASTM C270, Type S with a minimum compressive strength of 1,800 PSI @28 days - 1 part portland cement, 1/4 part lime and 3 parts sand.
4. Grout for filling cmu cores shall conform to ASTM C476, coarse grout, with a minimum compressive strength of 2,500 PSI @ 28 days. Grout shall be placed in lifts not exceeding 4'-0" in height.
5. All masonry walls shall be laid in running bond.
6. All masonry walls shall be reinforced with 9 gauge horizontal truss-type wire reinforcing, placed in every second bed joint, unless otherwise noted.
7. Cold weather masonry practices shall be followed in accordance with ACI 530/ASCE 6.

STEEL:

1. Provide steel beams, columns, plates, lintels, anchors and ties for the building structure and as part of the concrete and masonry work as shown on the drawings and required for complete installation of work.

STEEL: (Cont.)

2. Products:
- A. Steel Plates, Shapes and Bars - ASTM A 36
- B. Steel Pipe - ASTM A 53, Type E or S, Grade B. Steel columns shall be 1 1/2 gauge tubing with a 1/20 wall thickness and a minimum yield strength of 32,000 psi, unless otherwise indicated
- C. Fasteners - High-strength bolts and nuts, ASTM A 325 or A 490.
- D. Shop Paint - 55PC-Paint 2
3. Fabrication and installation per the latest edition of the AISC Manual and Specifications.
4. Use high-strength bolts for field connections. Wood plates bearing upon steel beams shall be bolted to the top flange of beams with ASTM A325 compliant High Strength 1/2" bolts @ 4'-0" O.C. All steel to steel bolted connections shall be made with 3/4" diameter ASTM 325 High Strength Bolts. Steel beams shall be bolted or welded to steel columns with appropriate size plate (3/8" min.).
5. All structural steew 'W' shapes shall conform to ASTM A992 or A572. Tube shapes shall conform to ASTM A500 GR 'B'.
6. All welds shall be made in accordance with the latest requirements of the AWS, using E70 electrodes. Provide field touch-up paint to match shop applied primer where paint has been burned off.

WOOD:

1. MATERIALS:
- A. All woods and wood construction shall comply with specifications and codes with modifications as specified herein:
1. American Institute of Timber Construction: (Standards Manual).
2. National Forest Products Association: National Design Specifications for Wood Construction.
3. Southern Pine Inspection Bureau: Standard grading rules for Southern Pine Lumber.
4. Truss Plate Institute: Design Specifications for Light Metal Plate Connected Wood Trusses (TPI-71).
5. American Plywood Association: Guide to plywood for floors, plywood sheathings for walls and roofs.
6. American Wood-Preservers Association Standards.
- B. All structural lumber shall be Hem-Fir #2 (minimum) stress grade lumber unless noted otherwise. Minimum Fiber Stress in Bending (FB) for all framing lumber to be 1,150 psi.
- C. All structural lumber shall be stamped in accordance with the American Institute of Timber Construction's "Construction Manual".
- D. Grade loss resulting from effects of weathering, handling, storage, resawing or drying lengths will be cause for rejection.
- E. All plywood shall be identified by grade mark of an approved inspection agency and shall be Standard C-D, Flat Interior with ext. glue unless otherwise specified on Drawings.
- F. Wood which is in contact with concrete, masonry, soil or within 1'-0" of grade or exposed to the exterior shall be pressure preservative treated.
- G. All headers shall be as follows unless otherwise noted. Provide (1) 1/2" plywood gusset at 2 x 4 walls and (2) 1/2" plywood gussets @ 2 x 6 walls. All headers to be glued and nailed
- | Opening Size
up to 4'-0" | Header (2 x 4 Wall)
2 - 2 x 8
2 - 2 x 10
2 - 2 x 12 | Header (2 x 6 Wall)
3 - 2 x 8
3 - 2 x 10
3 - 2 x 12 |
|-----------------------------|--|--|
|-----------------------------|--|--|
- H. Locate double floor joist under all interior partitions running parallel to framing under plumbing fixtures and at floor openings. Provide 1 x 3 cross bridging at all floor joist and spans.
- I. Design of wood trusses by others. Manufacturer to have truss design reviewed and certified by an Architect or Professional Engineer licensed in the state of New York prior to fabrication. See Truss Manufacturers specification for details.

- J. Roof sheathing shall be APA rated 32 1/16", with minimum thickness of 1 5/32". Plywood shall be exterior grade. Panel clips shall be provided at all non-supported edges. Nailings shall be 6D nails at 6" O.C. at edges and 12" O.C. at interior supports.
- K. Wall sheathing shall be APA rated 1 5/32" (minimum). Nailings shall be 6D nails @ 6" O.C. at edges and 12" O.C. at interior supports.
- L. Floor sheathing shall be APA rated Sturd-I-Floor, T/G, 16" O.C., 21 / 32 (minimum) capable of supporting a minimum load of 85 PSF with a deflection limit of L / 360 of the span. Plywood shall be glued and nailed, 8D nails @ 12" O.C. at each support (unless the nailing pattern is otherwise noted on the drawings)
- M. Laminated veneer lumber (L.V.L.) shall be an engineered wood product as manufactured by Truss Joist MacMillan or equal. The material shall meet the following properties: Fb=2600 psi; Fv=285psi; E=1,900,000 psi
- N. Multiple piece LVL beams shall be nailed together in accordance with the manufacturers recommended nailing detail. All LVL beams shall have 3" bearing unless otherwise noted.
- O. Joist hangers for LVL members shall be those specifically manufactured for the type and size of member.

2. CONNECTIONS:

- A. Nailing:
1. Contractor shall adhere to standard industry practices regarding the number and type of fasteners required at each connection including, but not limited to, joists, studs, plates, blocking, bridging, laminated beams, headers and plywood sheathing.
- C. All manufactured connection hardware designated on Drawings shall be galvanized steel or at least 1/6 gauge thickness. Install full nailed in strict conformance to manufacturer's instructions.
- D. All steel connections assemblies detailed on Drawings shall be fabricated from ASTM A36 steel in conformance with applicable requirements of AISC "Specification for the Design Fabrication, and Erection of Structural Steel for Buildings". Welding shall conform to AWS D1.1-86.
- E. Install lag screws in drilled lead holes with a diameter equal to 3/4 of the shank diameter (lag screws shall not be hammered in). Wax or soap lag screws. Provide washers under heads bearing on wood. Holes shall be properly aligned.
- F. Bolt holes shall be drilled 1/16" larger than bolt diameter. Provide washers under all bolt heads and nuts bearing on wood. Holes shall be properly aligned.
- G. In no case shall misalignment be allowed which prevents proper bearing or alignment of members. Oversize holes shall not be allowed. Bolts shall be ASTM A307 bolts. Nuts shall be tightened snug.

WOOD: (CONT.)

3. INSTALLATIONS:
- A. All stud walls shown on Drawings shall have 2 x 4 studs (interior and exterior) placed at 16" O.C. except where shown otherwise.
- B. Top plates shall be doubled on all stud walls.
- C. Cnpples under headers shall be continuous to sole plate.
- D. Block all stud walls as required for sheathing.
- E. Beams, girders, and joists supporting bearing walls or other concentrated loads, shall not be notched. Joists, except as above, may be notched no deeper than 1/4 the depth, at top edge only, provided such notch is located within 1/8 to 1/4 of span from face of support. Sawcuts for notches shall not overrun depth of notch. Holes in joists, beams, and girders shall not be larger in diameter than 1/10 the depth of member and shall be located within center half of the span. All holes shall be centered within depth of member. Holes and notches in studs shall be located within 1/3 of height from either top or bottom, but no closer than 8" from plates. Holes and notches in studs shall not exceed 1" in diameter or depth.
- F. Contractor shall pay strict adherence to Microlam manufacturers written directions for cutting, drilling, notching, joining and general installation of their products.
- G. Joists, rafters, and decking shall not be cut and headed or displaced to provide for openings in roofs or floors, except as detailed on Drawings.
- H. Install all horizontal members with crown up.
- I. All members in bearing shall be accurately cut and aligned so that full bearing is provided without use of shims. Bearing posts shall have full blocking or support under.
- J. All rafters shall be notched for full bearing at all supports.
- K. All joists shall have a minimum of 2" bearing at supports.
- L. All plywood wall sheathing shall be applied as follows: center vertical joints over studs. Nail top of panels to double top plate, and nail bottom of panels to anchored sill plate. Apply gypsum board so that end joints of adjacent courses do not occur over the same stud.
- M. Plywood sub-floor and roof sheathing: Install with face grain at right angles to supports, continuous over two (2) or more spans. Allow minimum space 1/16" between end joints and 1/8" at edge joints for expansion and contraction of panels. Plywood decking shall also be continuously glued and nailed to all joists, rafters or trusses.
- N. Underlayment shall not be less than 1/4" in thickness and shall be identified by grade mark of an approved inspection agency. Underlayment shall be installed in accordance with code and as recommended by manufacturer. Lay underlayment on #6 Rosin sized sheathing paper.

THERMAL & MOISTURE PROTECTION

1. The following specification shall govern with modifications as specified herein: American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals.
2. Install flashing and sheet metal in compliance with "Architectural Sheet Metal Manual" by SMACNA.
3. Aluminum flashing shall conform to ASTM B 209, and be minimum 0.016" thick standard building sheet of plain finish. Provide 6" x 8" min. at all step flashing.
4. Backpaint flashings with bituminous paint, where expected to be in contact with cementitious materials or dissimilar metals.
5. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight/weatherproof performance.
6. Vinyl siding shall be installed according to manufacturer's printed instructions and shall include all accessories required for a complete installation. Manufacturer, style and color as selected by Owner.
7. Roof valley and eave flashing shall be provided of not less than 36" wide rolled material and shall extend at least 18" from the center line each way and shall have the flow line formed as part of the flashing. Sections of flashing shall have an end lap of not less than 4".

- A. Warm areas: Ice and Water Shield at all edge and valley conditions to 24" inside "heated wall".
- B. Cold areas: 90 lbs. (min.) unperforated asphalt felt.
- C. All other areas: 15 lb. (min.) unperforated asphalt felt.
- D. Asphalt shingles (25 years) shall be fastened according to manufacturer's printed instructions, but not less than two (2) nails per each shingle. Exposure 5" for 16" shingle, 5 1/2" for 18" shingle, and 7 1/2" for 24" shingles. Provide one layer of 15 lb. (min.) building felt under shingles unless noted otherwise. Manufacturer, style and color as selected by Owner.
9. Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain. The net free ventilating areas shall be not less than 2/3 of one percent (1%) of the horizontally projected roof area, or 1/3 of one percent (1%) if at least fifty percent (50%) of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. Provide continuous shingled ridge vents installed to manufacturers printed instructions. Manufacturer, style and color as selected by Owner.

10. Provide and install 9-1/2" thick kraft faced glass fiber batt insulation with an insulation-only value of R-30 in roof or ceiling and 3 1/2" thick kraft faced glass fiber batt insulation with an insulation-only value of R-15 in 2 x 4 exterior walls of heated space.
11. Provide and install batt insulation at window shim spaces.

12. Fit insulation tight within spaces and tight to and behind mechanical and electrical services within the plane of insulation. Leave no gaps or voids.

13. Provide and install a 6 mil polyethylene vapor barrier complying with AS17 D2103 at exterior walls, windows and doors of all heated spaces. Equal to Tyvek "House Wrap".

14. Caulk in joints around openings to provide a watertight and airtight seal. Clean joints thoroughly. Areas adjacent to joints shall be masked if necessary to obtain a neat sealer line, free of stains on adjacent surfaces. Joints greater than 3/8" in depth shall be filled with back-up material.

15. All locations indicated on Drawings and wherever air, water, or dust may infiltrate between construction members shall be caulked. Set exterior edges of all exterior thresholds in caulking to provide weather tight seal.

16. Provide seamless 5" K gutters and 2" x 3" downspouts to splash blocks (match existing style and color). Include all accessories required for a complete installation. Verify location of downspouts in field with Owner.

DOORS AND WINDOWS

1. Reference standards for doors and windows shall be as follows:
- A. Underwriter's Laboratories, Inc.: Building Material Directory
- B. National Fire Protection Association: Pamphlet No. 80 - Standard for Fire Doors and Windows.
- C. National Woodwork Manufacturers Association: I.S., 1078: Wood Flush Doors
- D. ASTM E 283, ASTM E 331.

2. Glazing in locations which may be subject to human impact such as frameless glass doors, glass entrances and exit doors, fixed glass panels, sliding glass doors, shower doors, tub enclosures, and storm doors shall meet the requirements set forth in the Residential Code of New York State and the Safety Standard for Architectural Glazing Material (16 CFR 1201). All glazed panels located within 12" of a door which may be mistaken for openings for human passage, unless such panels are provided with a horizontal member 1 1/2" minimum in width located between 24" and 36" above the walking surface, shall be tempered glass.
3. Interior doors shall be pre-hung, molded, style and rail door units by Jeld-Wen or equal. Doors shall match adjacent existing door units as closely as possible. Hardware style and finish/color as selected by Owner.

4. All window units shall be of high-performance, wood construction in standard casement, awning, and fixed unit sizes. Provide Insulating Low E II Glass/Argon, removable screens, and extension jambs as required (equal to Andersen vinyl-clad wood windows with a U-Factor of 0.34).

5. Exterior doors shall be insulated fiberglass, pre-primed and pre-hung (Therma-Tru or equivalent). Final manufacturer, style, hardware style and finish/color as selected by Owner.

MECHANICAL

1. Contractor shall provide all labor, materials, and equipment necessary to install plumbing, related fixtures, ventilations, heating and air conditioning. All work shall comply with state and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety devices prior to operations of system.

ELECTRICAL

1. Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heat elements, and control. All work shall comply with National Electrical Code and state and local codes and ordinances. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls.

DESIGN DATA:

- Per Residential Code and Energy Conservation Construction Code of New York State
- Roof (Live Load). 40psf
- Roof (Dead Load). 10psf
- First Floor (Live Load) 40 psf
- First Floor (Dead Load). 10 psf
- Second Floor (Live Load) 30 psf
- Second Floor (Dead Load) 10 psf
- Presumptive Soil Bearing 1,500 psf at min. 42 inches below finished grade

PROJECT - ADDITIONS TO:
2534 Clover Street
Pittsford, New York

CLIENT -
Howard Silver

JOB NO -
A16-025

DATE -
December 4, 2024

DRAWING TITLE -
Specifications

PHASE -
Construction Documents

CKH
architecture

6605 Pittsford Palmyra Road
Suite W5
Fairport, New York 14450
phone-(585) 249-1334
e-mail-CKHmessey@frontiernet.net

CKH Architecture, P.A.
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DRAWING NO. -
A-3

COPYRIGHT NOTICE -
These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of CKH Architecture, P.A. Any unauthorized alterations to these plans is a violation of the contract and may result in litigation. Section 7209, Article 145.

REVISIONS -
NO. DATE DESCRIPTION

Zoning Board of Appeals Referral Form Information

ZB25-000013

Property Address:

2969 Clover Street PITTSFORD, NY 14534

Property Owner:

Cardina, Adam M
2969 Clover St
Pittsford, NY 14534

Applicant or Agent:

Nicole Martin, In Site Architecture

Present Zoning of Property: RN Residential Neighborhood
Area Variance - Residential and Non-Profit

Town Code Requirement is:		Proposed Conditions:		Resulting in the Following Variance:	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	12	Height:	21.5	Height:	9.5
Max Size/ Max Total:	225 / 320	Max Size/ Max Total:	1230 / 1230	Max Size/ Max Total:	1005 / 910

Code Sections: Applicant is requesting relief from Town Code Sections 185-113 C. (1), (2), & (3) and 185-17 B. (1) for an oversized and over-height detached garage in the front yard area and forward of the building line, and for the total square footage of roofed or enclosed accessory structures exceeding 320 square feet in area. This property is zoned Residential Neighborhood (RN).

Staff Notes: The existing detached garage is oversized and over-height. The applicant is requesting to demolish the existing detached garage and construct a new larger structure. The structure is considered in the front yard area, though the house is pushed far off the road. The applicant is also requesting to add pavement and parking spaces around the structure. Living space is not shown and will not be permitted within the structure.

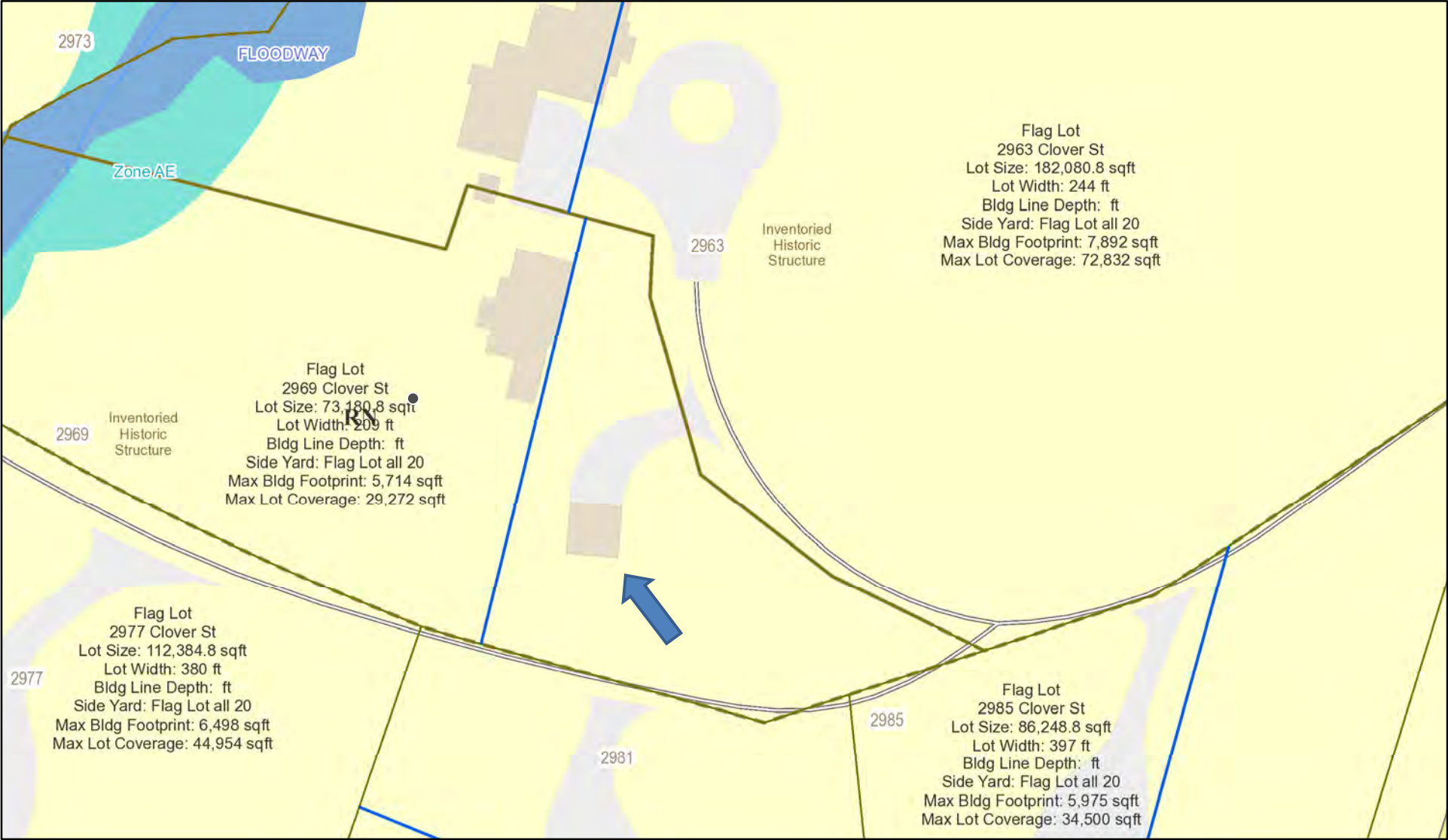
May 19, 2025

ARZ

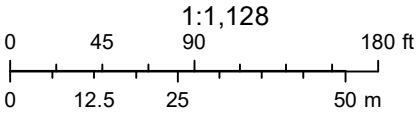
Date

April Zurowski -

2969 Clover Street



Printed May 19, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



2949

2973
2973

2963
2963

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2985

2981

Clover St

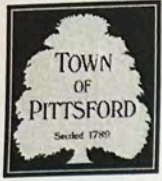
55

Nearmap

Thu Apr 25 2024

Imagery © 2025 Nearmap, HERE

50 ft



TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: May 16, 2025 Hearing Date: June 16, 2025

Applicant: In. Site: Architecture

Address: 2 Borden Ave, Perry NY 14530

Phone: (585) 237-2614 E-Mail: nicole@insitearch.com

Agent: Nicole Martin, AIA, LEED AP, Architect
(if different than Applicant)

Address: _____

Phone: _____ E-Mail: _____

Property Owner: Susan Fulmer and Adam Cardina
(if different than Applicant)

Address: 2969 Clover Street, Pittsford NY

Phone: _____ E-Mail: _____

(If applicant is not the property owner please complete the Authorization to Make Application Form.)

Property Location: 2969 Clover Street Current Zoning: RESIDENTIAL NEIGHBORHOOD

Tax Map Number: 163.04-1-26.3

Application For: ☒ Residential ☐ Commercial ☐ Other

Please describe, in detail, the proposed project:

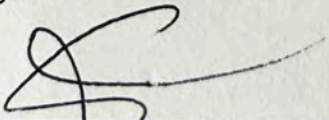
REQUEST: Area Variance, Height Variance, and Setback Variance, as follows.

The existing garage is deteriorating and must be replaced; a new garage will be constructed at its current location, compliant with the 20' flag lot sideyard setbacks, but forward of the building line and in the "front yard." It will exceed the permissible area, with a total of 1,230 sf; and the permissible height with a maximum of 22'-0" above grade.

The garage is a 2-bay with attic dormer, with a "shed" 3rd bay, intended to reduce the presentation of overall height to the neighbors. Design Development for finishes in ongoing, but the materials will be suitable for the neighborhood and commensurate with the residence, in anticipation of the Historic Preservation Design Review Board's oversight.

Note: the attic will include a standing height area for use as an occasional lounge, and a seasonal-use only toilet room, but is not intended to be constructed or utilized as a "habitable space" for lodging or residence, now or in future.

SWORN STATEMENT: As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.


(Owner or Applicant Signature)

5/15/25
(Date)



TOWN OF PITTSFORD

AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Adam Cardina & Susan Fulmer, the owner of the property located at:
2969 Clover St Pittsford Ny 14534
(Street) (Town) (Zip)

Tax Parcel # 163.04-1-26.3 do hereby authorize
NICOLE MARTIN

to make application to the
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of
RECONSTRUCTING AN ATTACHED GARAGE

[Signature]
(Signature of Owner)
5/15/25
(Date)

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

(Project Name)

The undersigned, being the applicant(s) to the...

☐ Town Board ☒ Zoning Board of Appeals ☐ Planning Board ☐ Architectural Review Board

...of the Town of Pittsford, for a...

☐ change of zoning ☐ special permit ☐ building permit ☐ permit ☐ amendment
☒ variance ☐ approval of a plat ☐ exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

(Signature of Applicant)

(Dated)

2968 Clover St
(Street Address)

Pittsford, NY 14534
(City/Town, State, Zip Code)



NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

(Please answer the following questions to the best of your knowledge)

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The proposed work complies with 20' flag-lot setbacks. It is, however, at the location of the existing garage, which is in front of the building line and in the "front yard" area.

With a maximum 22'-0" height variance requested and 1,230sf area variance requested, it replaces an existing, deteriorated garage. The existing garage is 14' tall, and approximately 550 sf. It has a deflecting ridge beam and aging siding.

The design includes a "shed" bay closest to the adjacent properties, and roads, whose maximum height is 14'-3" (in keeping with the existing) and presenting height is 9'-8". The tallest portions of the proposed work present either to a sheltered, treed area, or to the residence. The form, massing, and use are commensurate with the neighborhood and enhance the property itself. Material specifications will be historically appropriate and complimentary to the residence, in anticipation of the Historic Preservation Design Review Board's oversight.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

The current garage has a single overhead door intended for two vehicles, but is undersized for today's standard cars. To provide (2) standard parking spaces and (1) shed / spare parking space in a single construction requires a new, enlarged building.

An attached garage was studied at length, but is a detriment to the character of both the home and neighborhood. It also requires additional hardscape and site disturbance, significantly more-so than the proposed work. The required location for an attached garage would have a negative impact on the view when pulling into the driveway, which is currently through the open lawns and under mature trees to a vale beyond, and replacing it with a direct view to the garage doors. The location required for an attached garage is also significantly more visible to neighbors from the eastern properties when leaving the shared driveway for the main Clover Street thoroughfare.

TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The requested area variance is substantial in that it brings a 545sf building to 1,230sf. The garage is also overheight by 10' and is in the front yard area.

Please note, all of the larger footprint is placed closer to the residence and further from the setbacks. The proposed height is similar to the existing garage from the approach, and the roof surfaces are broken up by both a "shed" and a dormer, in an effort to reduce the visible impact of the size increase.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The impact of replacing the existing garage with a new, larger building is commensurate with the neighboring properties on Clover Street. The property is visible to the (5) properties which share this dead-end offshoot / extension of Clover Street, and is not visible from the commonly traveled Route 65 portion of Clover Street.

The physical appearance of the building will be an improvement, as the existing garage has been deteriorating. The proposed work will suit the residence and neighborhood in form, massing, and materials. For viewshed impacts, please see enclosed photographs and key.

The environmental impact includes a small increase in runoff due to approximately 600 sf of additional

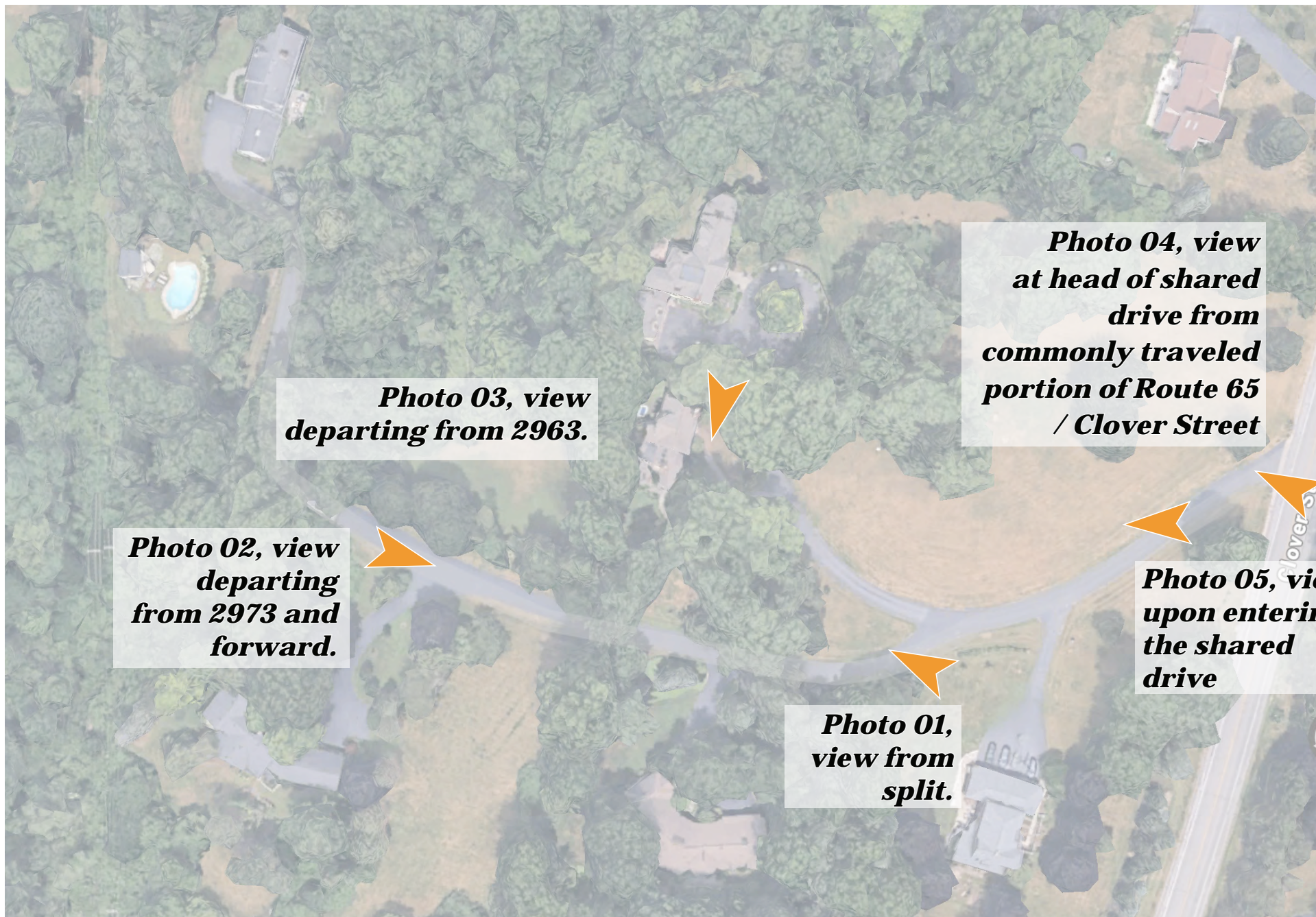
- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Technically, the answer is "Yes," because the garage could be demolished without replacement, or with a one-car garage / shed.

Realistically, however, the answer is "No," as the societal expectations and constraints in the neighborhood have increased both garage size and vehicle size beyond what the current garage's total area can provide. Building both a 2-car garage and a separate 3rd bay / shed would be impractical in both variance requests, construction complications, and site disturbance. Building an attached garage is infeasible for the same reasons, along with a significant negative impact to the viewshed for both owners and neighbors due to the required location for such a design.

Thank you!



***Photo 03, view
departing from 2963.***

***Photo 02, view
departing
from 2973 and
forward.***

***Photo 01,
view from
split.***

***Photo 04, view
at head of shared
drive from
commonly traveled
portion of Route 65
/ Clover Street***

***Photo 05, view
upon entering
the shared
drive***



Photo 01, view from split.



Photo 02, view departing from 2973 and forward.



Photo 03, view departing from 2963.



Photo 04, view at head of shared drive from commonly traveled portion of Route 65 / Clover Street



Photo 05, view upon entering the shared drive

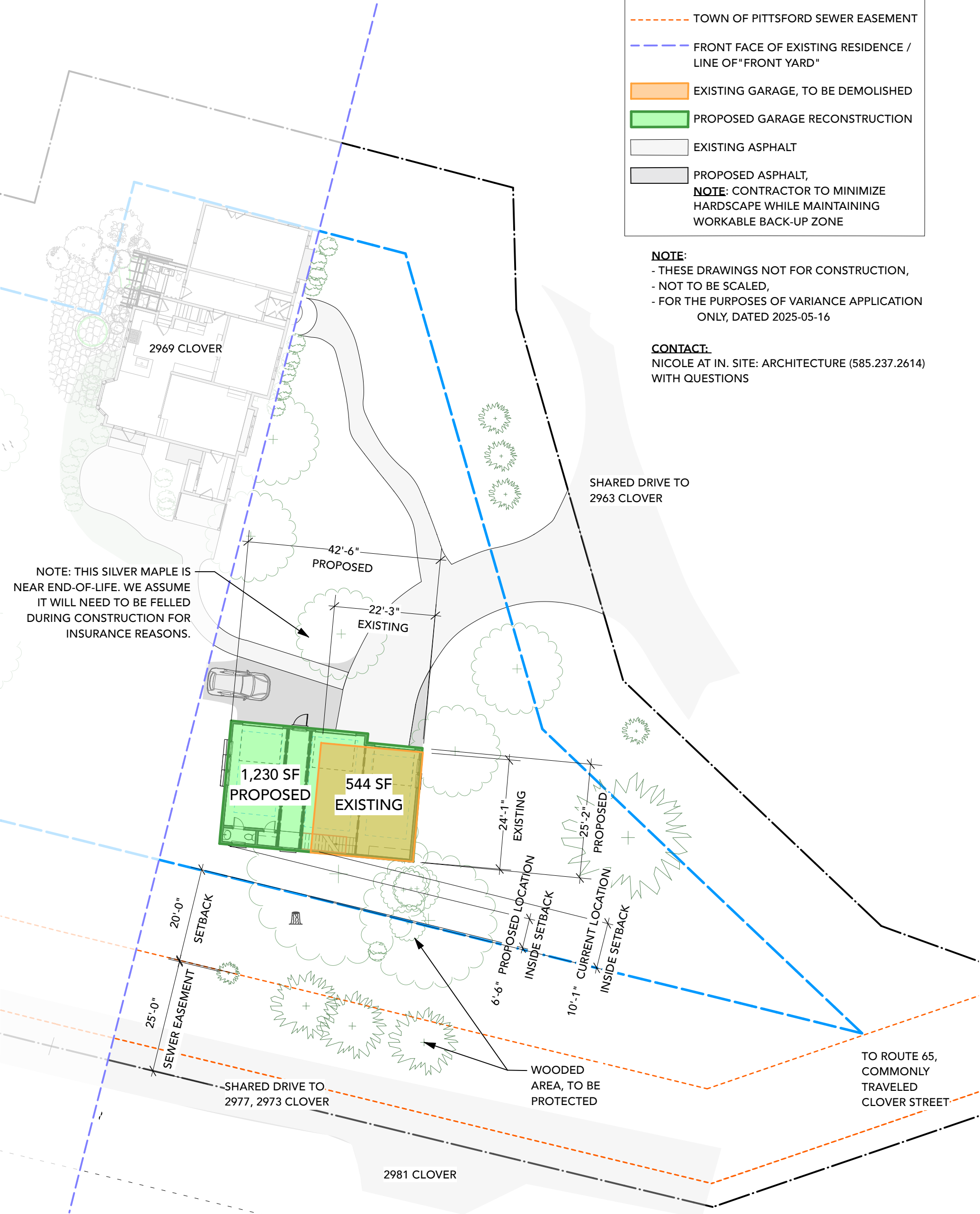
DRAWING KEY:

	PROPERTY LINE, TYP
	20' FLAG LOT SIDEYARD SETBACKS
	TOWN OF PITTSFORD SEWER EASEMENT
	FRONT FACE OF EXISTING RESIDENCE / LINE OF "FRONT YARD"
	EXISTING GARAGE, TO BE DEMOLISHED
	PROPOSED GARAGE RECONSTRUCTION
	EXISTING ASPHALT
	PROPOSED ASPHALT, NOTE: CONTRACTOR TO MINIMIZE HARDSCAPE WHILE MAINTAINING WORKABLE BACK-UP ZONE

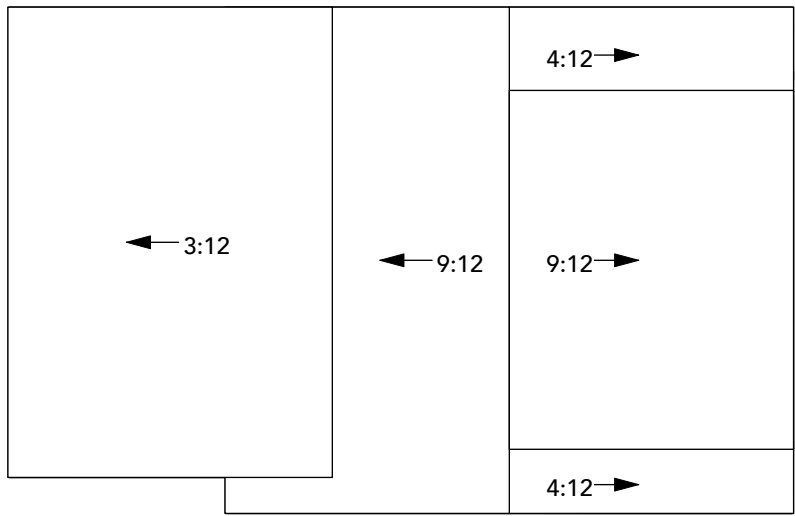
NOTE:
- THESE DRAWINGS NOT FOR CONSTRUCTION,
- NOT TO BE SCALED,
- FOR THE PURPOSES OF VARIANCE APPLICATION
ONLY, DATED 2025-05-16

CONTACT:
NICOLE AT IN. SITE: ARCHITECTURE (585.237.2614)
WITH QUESTIONS

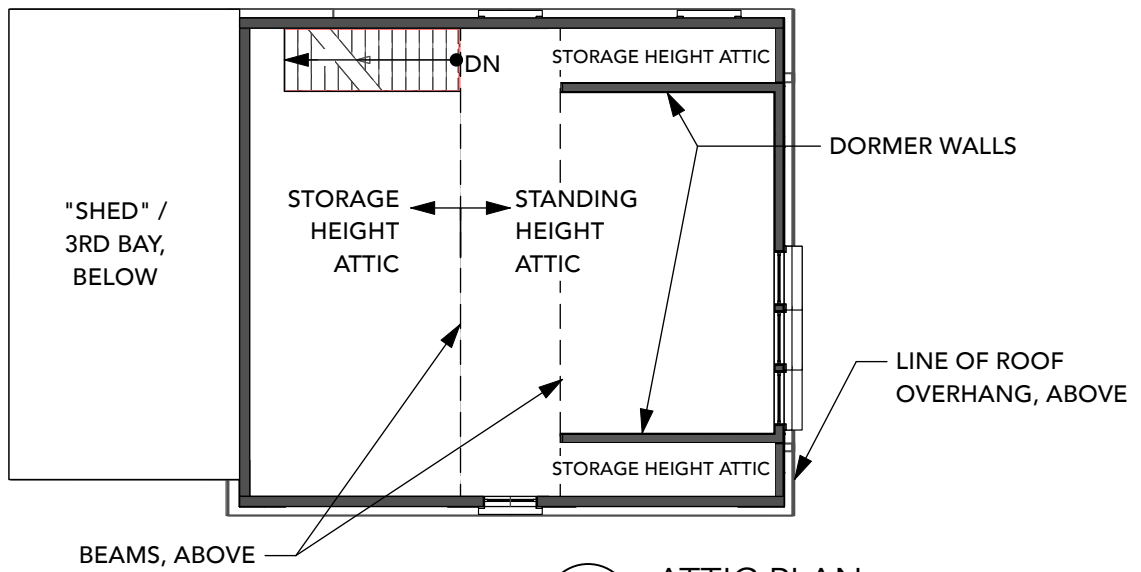
NOTE: THIS SILVER MAPLE IS
NEAR END-OF-LIFE. WE ASSUME
IT WILL NEED TO BE FELLED
DURING CONSTRUCTION FOR
INSURANCE REASONS.



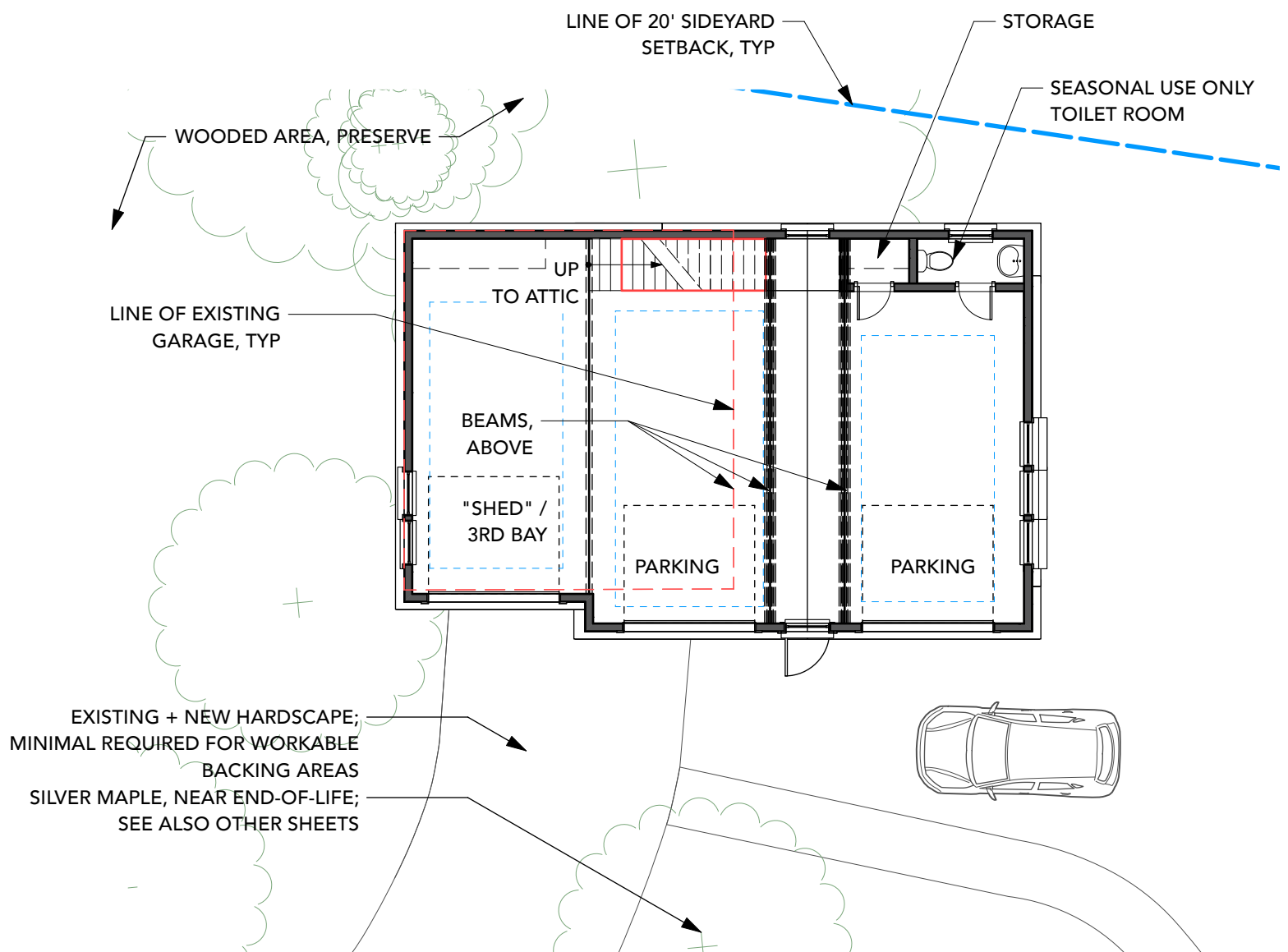
2 SITE PLAN
Scale: 1" = 20'-0"



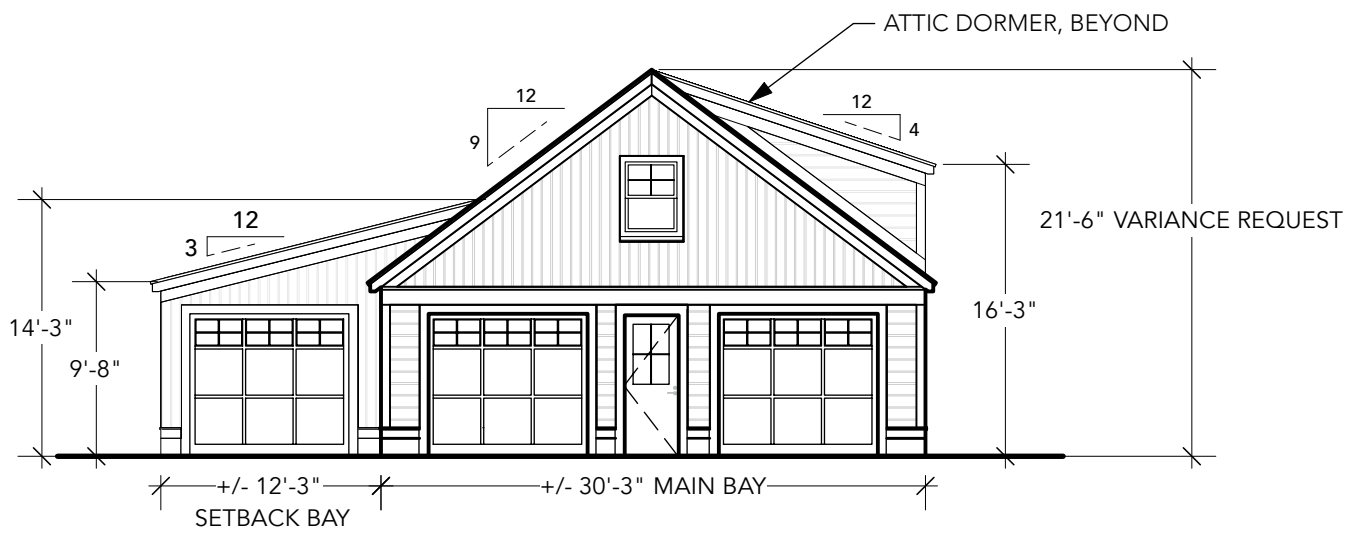
3 ROOF PLAN
Scale: 3/32" = 1'-0"



4 ATTIC PLAN
Scale: 3/32" = 1'-0"



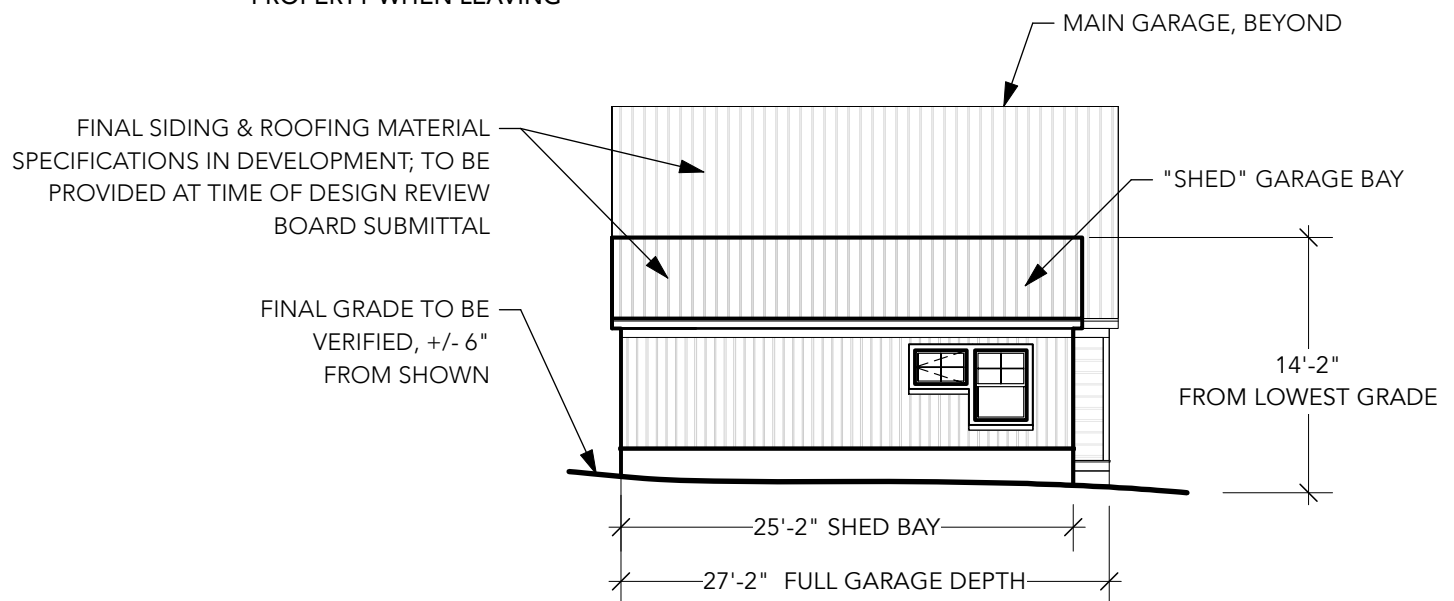
5 FLOOR PLAN
Scale: 3/32" = 1'-0"



6 NORTH ELEVATION

Scale: 3/32" = 1'-0"

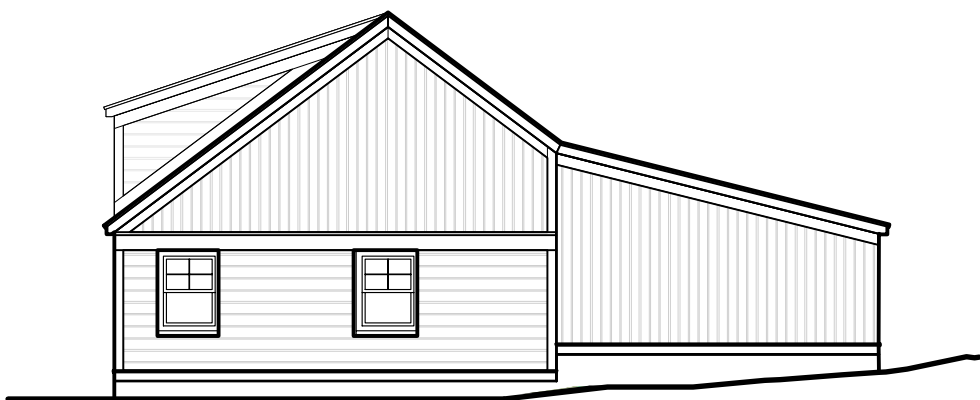
NOTE: THIS MAIN GARAGE FACADE IS MOST VISIBLE FROM THE HOUSE, AND VISIBLE TO NEIGHBORING PROPERTY WHEN LEAVING



7 EAST ELEVATION

Scale: 3/32" = 1'-0"

NOTE: THIS LOWER "SHED" ELEVATION PRESENTS TO CLOVER STREET, AND IS THE CLOSEST FACADE VISIBLE TO IMMEDIATE NEIGHBOR



8 SOUTH ELEVATION

Scale: 3/32" = 1'-0"

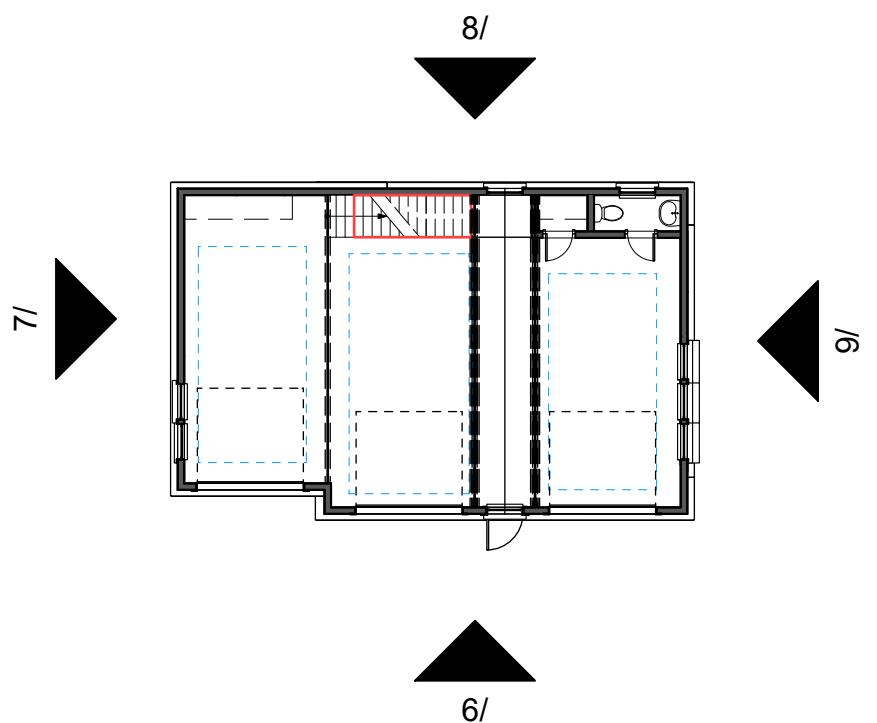
NOTE: THIS SIDE VISIBLE THRU TREES TO BOTH ARRIVING AND DEPARTING PROPERTIES ON CLOVER STREET EAST



9 WEST ELEVATION

Scale: 3/32" = 1'-0"

NOTE: THIS FACADE PRESENTS ITSELF TO THE PROPERTIES ON CLOVER STREET EAST, WHEN LEAVING



10 KEY PLAN

Scale: 1/16" = 1'-0"

**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
MAY 19, 2025**

Minutes of the Town of Pittsford Zoning Board of Appeals meeting held on May 19, 2025, at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Mary Ellen Spennacchio-Wagner, Jim Pergolizzi, Tom Kidera, Jennifer Iacobucci, Barbara Servé, Phil Bleecker

ABSENT: Phil Castleberry

ALSO PRESENT: April Zurowski, Planning Assistant; Robert Koegel, Town Attorney; Bill Zink, Building Inspector

ATTENDANCE: There were 24 members of the public present.

Chairman Pergolizzi called the meeting to order at 6:30PM.

RETURNING PUBLIC HEARING:

2 Round Trail Drive – Tax ID 164.19-1-59

Applicant is requesting relief from Town Code Sections 185-113 C. (3) for the construction of permanent play equipment in the side yard area. This property is zoned Residential Neighborhood (RN).

Chairman Pergolizzi stated that there is an open public hearing on this matter. He stated that after the last Zoning Board of Appeals meeting in April, the applicant and his neighbor at 4 Round Trail Drive discussed possible options for screening the play set. The applicant reported that his neighbor was unreasonable with his requests, seeing that the play structure was already partially built when his neighbor purchased the home in mid-April.

Ray Pruitt, of 2 Round Trail Drive, reintroduced the application. He has not proposed any screening but has submitted photos from the listing of 4 Round Trail Drive.

Chairman Pergolizzi stated that this structure is in violation of the Zoning Code, and it has not yet been approved to remain where it was partially constructed. He was disappointed that the applicant and his neighbor could not come up with a new plan.

Ms. Zurowski recommended a new plan which moves the two new trees, shown on Mr. Pruitt's original submission, closer to the play structure in order to hide it from the neighbor and the roadway. Mr. Pruitt was not in favor of the plan.

Jody Pruitt, Mr. Pruitt's mother, stated that she was concerned with Ms. Zurowski's plan to install trees near the power lines running between 2 and 4 Round Trail Drive.

Sarah Remizowski, a resident in the neighborhood, stated her support for the project.

Nick Esposito, of 4 Round Trail Drive, stated that he submitted a letter of opposition. Chairman Pergolizzi confirmed that the letter was received. He stated his strong opposition for the variance.

Board Member Spennacchio-Wagner stated that the structure is not in keeping with the character of the neighborhood. Board Member Servé agreed.

DRAFT MINUTES 051925

Chairman Pergolizzi asked for other public comments. Hearing none, Board Member Iacobucci motioned to close the hearing, seconded by Board Member Kidera; all ayes, none opposed.

Chairman Pergolizzi stated that although other neighbors are in favor, the most affected neighbor is in opposition, so the play set may cause a detriment to the neighborhood. Other members agreed. Board Member Iacobucci agreed to draft a denial for review at the next meeting.

NEW PUBLIC HEARINGS:

726 Stone Road – Tax ID 164.13-1-34

Applicant is requesting relief from Town Code Section 185-17 E. for the construction of a garage not meeting the minimum side setback. This property is zoned Residential Neighborhood (RN).

Chairman Pergolizzi opened the public hearing.

Rod Prossler, of Lakeside Engineering, introduced the application. He stated that the existing projection will be removed, and a deeper, taller single-bay garage will be constructed at the same setback. There are trees between the proposed new garage and the neighbor.

Chairman Pergolizzi asked if the neighbors were contacted about the project. Mr. Prossler was unsure.

Board Member Spennacchio-Wagner asked if trees will be removed. Mr. Prossler stated that no trees will need to be removed. Board Member Spennacchio-Wagner stated that she spoke with a neighbor, and they were not opposed.

Chairman Pergolizzi asked for public comment.

Karen Mackenzie, daughter of Marjorie Mackenzie, the owner of 730 Stone Road, spoke on her mother's behalf. She was not contacted by the neighbor of this proposal and only knew from a letter that was sent to the house from Ms. Zurowski. She stated no opposition to the project, so long as it remains at the same setback as the existing projection.

Chairman Pergolizzi asked for other public comments. Hearing none, Board Member Spennacchio-Wagner motioned to close the hearing, seconded by Board Member Barb Servé; all ayes, none opposed.

A written resolution to grant the area variance for 726 Stone Road was unanimously approved.

17 Whitley Court – Tax ID 177.03-2-64

Applicant is requesting relief from Town Code Section 185-113 C. (1) for the construction of an oversized pavilion exceeding 225 square feet and the total square footage of roofed or enclosed accessory structures exceeding 320 square feet. This property is zoned Residential Neighborhood (RN).

Chairman Pergolizzi opened the public hearing.

Julie Judd, of JOSH Landscaping, introduced the application. She stated that the oversized pavilion is needed to provide space for a bar, fireplace, and table and chairs. The structures were carefully designed to provide privacy for the pool, match the existing grading, and provide an area for outdoor recreation. She stated that a door will be added into the basement to access the bathroom.

Board Member Servé asked Ms. Zurowski when the new Zoning Code was adopted. Ms. Zurowski stated the code was adopted about a month and a half ago. Board Member Servé asked the applicant if the pavilion could be reduced at all. Ms. Judd stated that she has reduced it as much as possible. Board Member Iacobucci stated that the shed would be removed, and the owners could store pool equipment under the existing deck.

Connie Harris, of 17 Whitley Court, stated that she has spoken with her neighbors and has heard no opposition.

Chairman Pergolizzi asked for other public comments. Hearing none, Board Member Kidera motioned to close the hearing, seconded by Chairman Pergolizzi; all ayes, none opposed.

A written resolution to grant the area variances for 17 Whitley Court was unanimously approved.

157 W Jefferson Road – Tax ID 164.01-1-3

Applicant is requesting relief from Town Code Section 185-113 C. (3) for the construction of an in-ground pool in the side yard area. This property is zoned Residential Neighborhood (RN).

Chairman Pergolizzi opened the public hearing.

Bret Crane, of Ted Collins Tree & Landscape, introduced the application. He stated that the pool's location was chosen to protect the existing conditions of the backyard.

Chairman Pergolizzi asked for public comment. Hearing none, Board Member Servé motioned to close the hearing, seconded by Board Member Spennacchio-Wagner; all ayes, none opposed.

A written resolution to grant the area variance for 157 W Jefferson Road was unanimously approved.

121 Van Voorhis Road – Tax ID 192.07-1-1

Applicant is requesting relief from Town Code Sections 185-113 C. (1) and (2) for the construction of an oversized and over height detached garage exceeding 225 square feet and exceeding 12 feet in height, and the total square footage of roofed or enclosed accessory structures exceeding 320 square feet. This property is zoned Residential Neighborhood (RN).

Chairman Pergolizzi opened the public hearing.

Tom O'Connor, of 121 Van Voorhis Road, introduced the application. He is proposing a detached 3-car garage to provide storage and garage space for his family. He stated that he has spoken with his neighbors and has heard no opposition.

Board Member Servé asked if the garage could be attached. Mr. O'Connor stated that he did investigate the option of attaching a garage, but it was not aesthetically pleasing on the property.

Ms. Zurowski asked the applicant to confirm that no living space is proposed within the detached garage. Mr. O'Connor confirmed.

Chairman Pergolizzi asked for public comment. Hearing none, Board Member Iacobucci motioned to close the hearing, seconded by Board Member Spennacchio-Wagner; all ayes, none opposed.

A written resolution to grant the area variances for 121 Van Voorhis Road was unanimously approved.

15 Stonington Drive – Tax ID 178.09-2-3

Applicant is requesting relief from Town Code Section 185-113 C. (3) for the construction of a shed in the side yard area. This property is zoned Planned Unit Development (PUD).

Chairman Pergolizzi opened the public hearing.

Joe Parrino, of 15 Stonington Drive, introduced the application. He stated that he is looking to place a shed on the side of his house. It will have the same siding and roofing as the existing house. The shed will store his lawnmower and other yard equipment.

DRAFT MINUTES 051925

Board Member Iacobucci asked why the shed could not be installed on the other side of the home. Mr. Parrino stated that it may block windows.

Ms. Zurowski stated that because the property has two road frontages, the shed would need to be placed in the middle of the yard, which may not be favorable. Mr. Parrino confirmed.

Chairman Pergolizzi asked for public comment.

Joan Potter, of 9 Stonington Drive, stated that she does not object to the shed so long as it matches the home.

Chairman Pergolizzi asked for public comment. Hearing none, Chairman Pergolizzi motioned to close the hearing, seconded by Board Member Iacobucci; all ayes, none opposed.

A written resolution to grant the area variance for 15 Stonington Drive was unanimously approved.

OTHER DISCUSSION:

Chairman Pergolizzi motioned to approve the minutes of April 21, 2024. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Pergolizzi closed the meeting at 8:11PM.

Respectfully submitted,

April Zurowski
Planning Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT