

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA**

November 14, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, November 14, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

OVERSIZED ACCESSORY STRUCTURES

10 Poinciana Drive

Applicant is requesting design review for the oversized detached garage located to the east of the main home. This application did receive Zoning Board approval for the location, height, and size of the structure.

246 Long Meadow

Applicant is requesting design review to change the garage door to glass French doors.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

53 Country Club Drive

Applicant is requesting design review for an approximately 280 square foot addition off the rear of the home.

417 Mendon Center Road

Applicant is requesting design review for the addition of a rear mudroom and some window changes.

7 Kalleston Drive

Applicant is requesting design review for an approximate 125 square-foot addition off the rear of the home to allow for more space in the master suite.

RESIDENTIAL APPLICATIONS: DEMOLITION

5691 Palmyra Road

Applicant is requesting approval to demolish a detached garage.

RESIDENTIAL APPLICATIONS: NEW HOMES

22 Bridleridge Farms

Applicant is requesting design review for a 2,810 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

CERTIFICATES OF APPROPRIATENESS

321 Mendon Center Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

700 Allens Creek Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

PLANNING BOARD COMMENTARY

Pittsford Oaks

The Planning Board is requesting DRHPB commentary on the Pittsford Oaks project.

The next meeting is scheduled for Thursday, December 5, 2024, at 6PM.

DRAFT MINUTES 101024
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
OCTOBER 10, 2024

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, October 10, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Paul Whitbeck, John Mitchell, Jim Vekasy, Bonnie Salem

ABSENT: Dave Wigg, Kathleen Cristman

ALSO PRESENT: Bill Zink, Building Inspector; Anna Piazza, Building Department Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 12 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6 PM.

HISTORIC PRESERVATION DISCUSSION

There were no updates at this time.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

3785 East Avenue

Applicant is requesting design review for the addition of a third bay garage as well as an addition on the other side of the home for more living space.

Scott Odorisi, of 3785 East Avenue, introduced the application. Mr. Odorisi stated he is requesting design review for the addition of a third bay garage as well as an addition on the other side of the home. He noted his submission of the additional elevations as requested by the Board at his first appearance.

Chairman Schneider motioned to approve the additions, with the additional elevations of the east side of the wall, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

18 Amber Hill

Applicant is requesting design review to remove rear windows from a previously approved submission.

Dan Ludwig, of Pardi Partnership Architects, introduced the application. He is requesting design review to remove the rear windows from a previously approved submission of a three-story addition with additional windows on the back. The homeowner is looking to remove the windows from both the upper floors. He presented the Board with two alternate plans, the first with the removal of both windows, and the second with the removal of one window. Chairman Schneider stated that the second plan looked off-balanced with only one window, and Board Member Salem agreed.

Board Member Vekasy motioned to approve the renovation for alternate plan one with the removal of both windows, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

4 Cricket Hill

Applicant is requesting design review to add a covered entryway and change some windows from a previously approved project.

Vince Miller, of Build it Forward, introduced the application. He is requesting design review to add a portico and change the windows from a previously approved project. Mr. Miller specified that the applicant is looking to add shutters and change the current windows to trapezoid windows in the great room. He added that the covered entryway will have the same asphalt shingles, standard square posts, and a change in trim. Chairman Schneider stated the proposed changes will fit better with the existing architecture of the home.

Board Member Salem motioned to approve the renovations and additions, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

94 N Wilmarth Road

Applicant is requesting design review for an approximate 720 square-foot addition off the existing barn.

Curtis Ecklund, of 94 N Wilmarth Road, introduced the application. The applicant is requesting design review for an addition to an existing barn. He stated the proposed addition will have metal siding and a metal roof to match the existing structure. Mr. Ecklund added that the north part of the addition will be covered with siding, specifically white with dark blue trim. Chairman Schneider asked for clarification on what will happen to the driveway. Mr. Ecklund stated they are keeping the existing blacktop driveway and adding graded gravel. Board Member Salem noted that there are no neighbors located where the existing barn is.

Chairman Schneider motioned to approve the addition on the existing barn, as submitted. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the application was approved, none opposed.

24 Framingham Lane

Applicant is requesting design review for the addition of a two-car garage extension and portico over the front door.

Mark Covert, of 24 Framingham Lane and Jim Beswick, of James Beswick Contractor, introduced the application. The applicant is proposing to extend the existing two-car garage for more space. He added that the garage addition will extend 8 feet forward in front of the front facade, and will be offset by the stoop. Chairman Schneider asked for clarification that they will not be adding more brick, to which the applicant confirmed.

Board Member Mitchell motioned to approve the addition, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

70 Coventry Ridge

Applicant is requesting design review for the construction of a two-story single-family home approximately 3,334 square-feet that is located in the Coventry Ridge Subdivision.

Matt Winseman, of Spall Homes Corp/Spall Realtors Corp, introduced the application. The applicant is proposing the construction of an approximate 3,334 square-foot two-story single-family home. Mr. Winseman stated the home will have four different materials: cedar shake, stone, horizontal siding, and a metal roof. He added that the roof will wrap around the front of the home. Board Member Salem noted the fireplace seen on

the rear elevation, and asked how far out it will extend. The applicant stated it will extend 6 inches off the back of the home.

Board Member Salem motioned to approve the application for the construction of a two-story single-family home, as submitted. This motion was seconded by Chairman Schneider. Following a unanimous voice vote, the application was approved, none opposed.

19 Bridleridge Farms

Applicant is requesting design review for a 2,926 square-foot, two-story, single-family home in the Bridleridge Farms Subdivision.

Matt Winseman, of Spall Homes Corp/Spall Realtors Corp, introduced the application. The applicant is proposing the construction of an approximate 2,926 square-foot two-story single-family home. Mr. Winseman stated the home will have horizontal siding throughout with real-brick accent panels.

Board Member Whitbeck motioned to approve the application for the construction of a new home, as submitted. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATES OF APPROPRIATENESS

321 Mendon Center Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Chairman Schneider stated this is a continued public hearing.

William Pieper, of 321 Mendon Center Road introduced the application. The applicant is proposing the addition of solar panels on a rear roof of a Designated Historic Landmark. Mr. Pieper stated the height of the solar panels on the roof will be no more than 6 inches. Chairman Schneider stated the main house is not diminished by the addition of solar panels, adding that if the house were to be sold in the future, the panels could be easily removed. Board Member Whitbeck noted that adding shutters will help further diminish the addition of solar panels to the home, to which Board Member Salem agreed. Board Member Salem emphasized the panels will not be visible when standing in front of the home, they will only be visible when driving north.

Chairman Schneider asked for public comment. Hearing none, Chairman Schneider closed the public hearing and stated the Board will prepare a resolution to be voted on for the next meeting on November 14, 2024.

COMMERCIAL APPLICATIONS

4045 East Avenue

Applicant is requesting design review for the addition of an approximately 5,950 square-foot recreation building.

John August, Board Member of the Project Chair for Irondequoit Country Club, introduced the application. The applicant is proposing to demolish the existing tennis pro shop and add an approximate 5,250 square-foot recreation building. Mr. August made note that the proposed addition will be 5,250 square-feet and not the 5,950 square-feet that was advertised. He stated the windows will match the existing main building windows of the clubhouse building, and will have the same EIFS finish and trim as well. Chairman Schneider inquired about the material of the windows seen on the rendering. Mr. August stated they are false windows, likely a plexiglass material. Chairman Schneider noted the lack of reflectivity of the plexiglass material, stating that

standard glass or a material that represents standard glass might be better long-term. Board Member Vekasy agreed.

Chairman Schneider motioned to approve the construction of an approximately 5,250 square-foot recreation building, as submitted with a recommendation that the two areas of faux windows could have materials selected that would represent glass in its reflectivity. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

PLANNING BOARD COMMENTARY: Pittsford Oaks 10/10/2024

Pittsford Oaks

The Planning Board is requesting DRHPB commentary on the Pittsford Oaks project.

Dustin Welch, of Passero Associates, introduced the application. Mr. Welch stated that a new proposed footprint has been submitted that incorporated significant changes, particularly at the northeast corner. He explained that the intention with the new proposed elevations was to reduce the massing of the building at the corner of Clover Street and W Jefferson Road, without starting over entirely. Mr. Welch specified they introduced new sloped roofs, allowing them to reduce the roof height at the northeast corner.

Chairman Schneider noted they added a site section and made requested changes to the northeast corner, but questioned how they had reduced the massing of the building. He added that the Board had previously asked to see a one-story reduction and inquired why that was not incorporated. Mr. Welch stated they would lose too many units if they eliminated an entire story.

Danny Daniele, of Daniele Family Companies, stated that his team had removed 50% more massing than what the Board had requested.

Chairman Schneider explained that although they would lose units, the Board still wanted to see a rendering that incorporated that change. He also clarified that volume is not massing, and there continues to be concern about the overall massing of the building. Mr. Daniele asked for clarification whether the Board was more concerned with removing units or removing mass. Chairman Schneider stated they are more concerned with the mass, adding the Board had previously stated the maximum height of the building needs to be 573 feet above sea level, for a minimum of 60 feet in from the north elevation. He emphasized that proposing the building to be partially at a lower height for 150 feet is not the same as 60 feet in at a height of 573 feet, as the Board stated.

Board Member Salem acknowledged the changes made, but noted her concern that with those changes, the building no longer looks cohesive. Board Member Vekasy agreed, stating that while the new rendering is an improvement, without breaking up the rest of the monotonous roofline, it looks like two separate buildings. He explained while the project does have some vertical elements to break up the overall mass, there is an underlying 'pancaking' or 'banding' that at the scale of this building is a little overwhelming. Everything lines up horizontally: the stone/concrete base of one story, the next single story of a darker gray material and then the upper two stories of lighter gray. The trim lines, eave lines, and roof lines all follow and are monotonous. He added that they could help the appearance that there are smaller masses of building. Additionally, he stated by looking at the building there is an A-A-B kind of pattern throughout, emphasizing that if they made a portion A-B-A or B-A-A it would break things up better.

Chairman Schneider stated if they applied the effort and changes to the rest of the building that they did with the northeast corner, it would make it more united and significantly break up the rigid roofline.

Chairman Schneider stated additional comments would be produced.

OTHER

28 Whitestone Lane

Applicant is requesting to remove a cupola from a previously approved submission.

Anne-Marie Rizzo, of 28 Whitestone Lane, introduced the application. Ms. Rizzo is proposing to remove a cupola from a previously approved submission.

Board Member Salem motioned to approve the removal of a cupola, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

MEETING MINUTES REVIEW

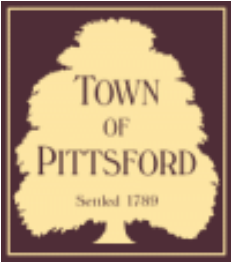
The minutes of September 26, 2024 were approved following a motion by Board Member Salem. This motion was seconded by Chairman Schneider. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Dirk Schneider closed the meeting at 8:21PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA20-000182

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 10 Poinciana Drive PITTSFORD, NY 14534

Tax ID Number: 177.01-2-6.31

Zoning District: RN Residential Neighborhood

Owner: Goorman, Koen M

Applicant: Goorman, Koen M

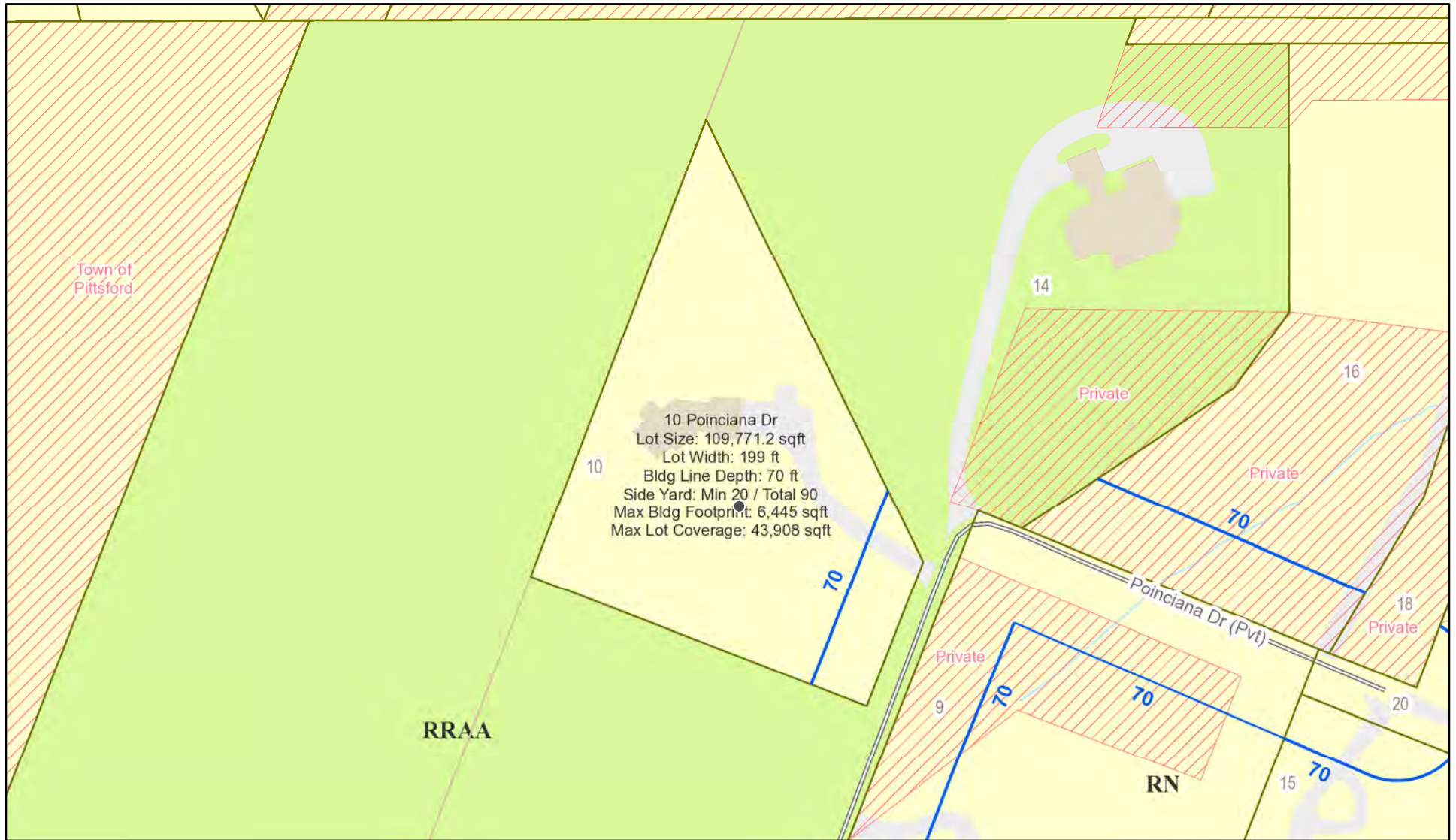
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

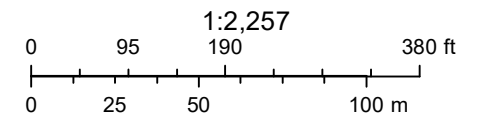
Project Description: Applicant is requesting design review for the oversized detached garage located to the east of the main home. This application did receive Zoning Board approval for the location, height and size of the structure.

Meeting Date: November 14, 2024

RN Residential Neighborhood Zoning



Printed September 10, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



04/21/2018 - 04/23/2018



INSTRUMENT LOCATION MAP

SHOWING
LOT 1
OF THE

IMBURGIA SUBDIVISION

(TO BE FILED)

~SITUATE IN:~

PART OF TOWN LOTS 48 & 50, TOWNSHIP 12, RANGE 5,
TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK
SCALE: 1"=100' DATED: SEPTEMBER 30, 2004

1397.57' (Meas.)
1397.54' (Map)

NEW GARAGE

FENCE

NTS

Rebar (found)

829.61'

N 30°26'23" E

465.36'

N 59°33'37" W
347.88'

LOT 1

Asphalt Driveway

458.69'

S 18°53'07" E

166.40'

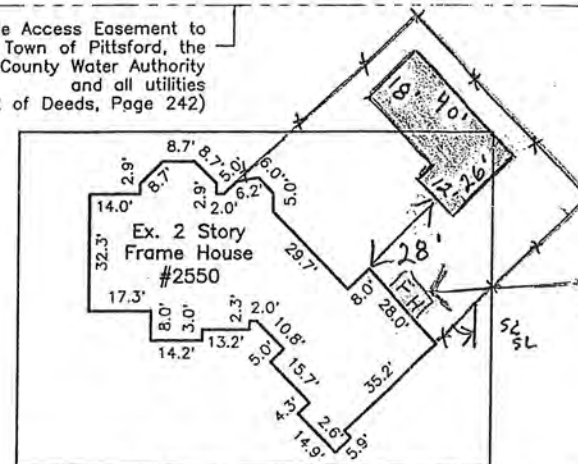
S 30°26'23" W

855.68' N 30°26'23" E

Asphalt Driveway

POINCIANA DRIVE (PRIVATE)

50' Wide Access Easement to
the Town of Pittsford, the
Monroe County Water Authority
and all utilities
(Liber 7662 of Deeds, Page 242)



HOUSE DETAIL EXISTING

CERTIFIED TO:

KOEN M. GOORMAN;
LORI GOORMAN;
MARIO J. PIRRELLO, ESQ.;
BARRETT & GREISBERGER, ATTY.;
THE TITLE INSURANCE COMPANY INSURING
THE MORTGAGE;
ABN AMRO MORTGAGE GROUP, INC.

REFERENCES:

PART OF TAX MAP NO. 177.010-02-006.3
SHEET 321 OF MAPS, PAGE 46 & 47
ABSTRACT PROVIDED

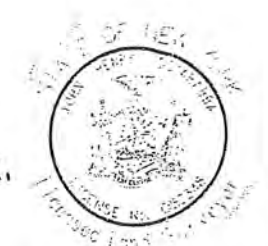
AUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A
SEAL OF A LAND SURVEYOR IS A VIOLATION OF SECTION 7209,
DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

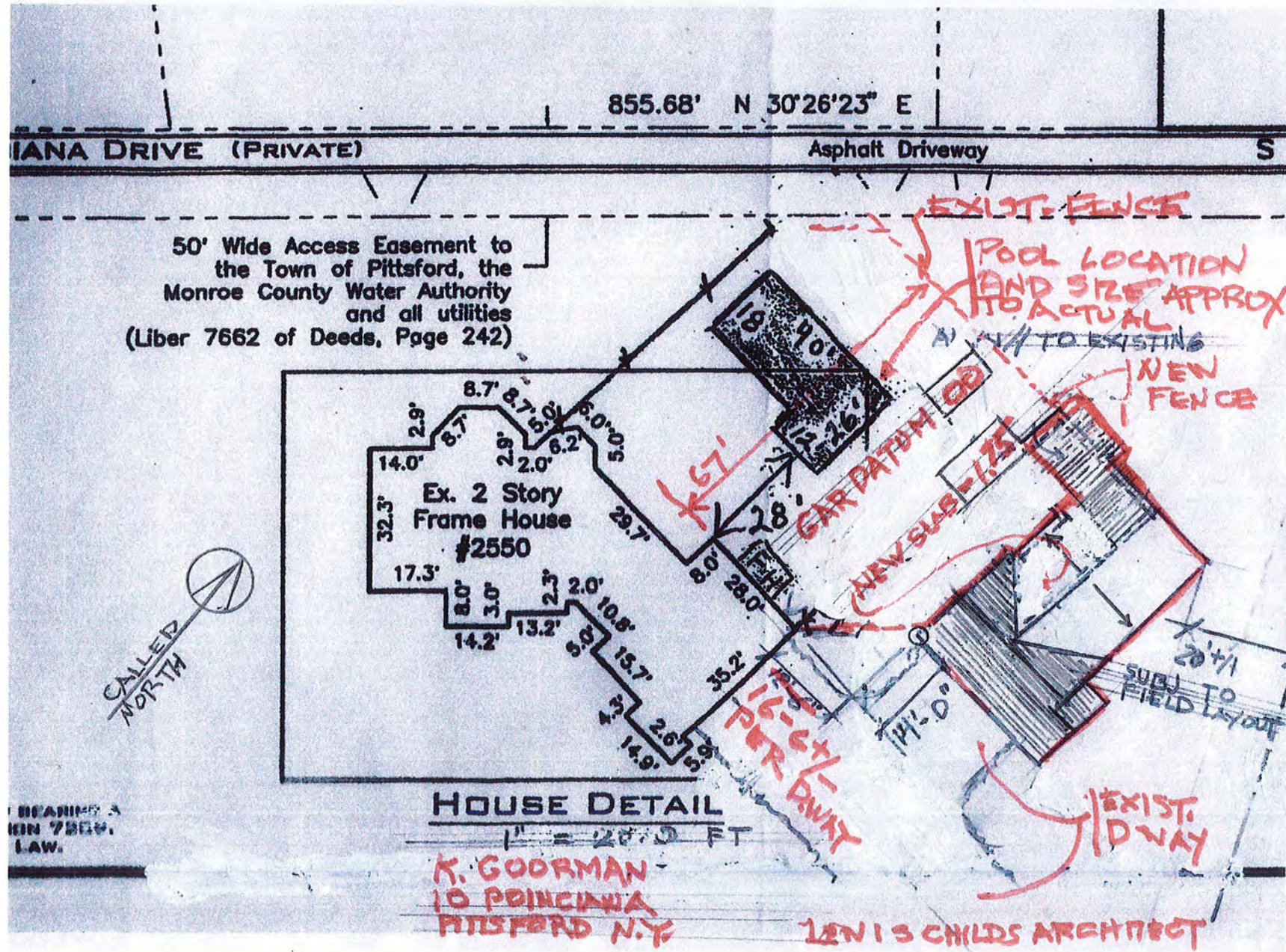
GOORMAN, KOEN
10 POINCIANA DR.
PITTSFORD

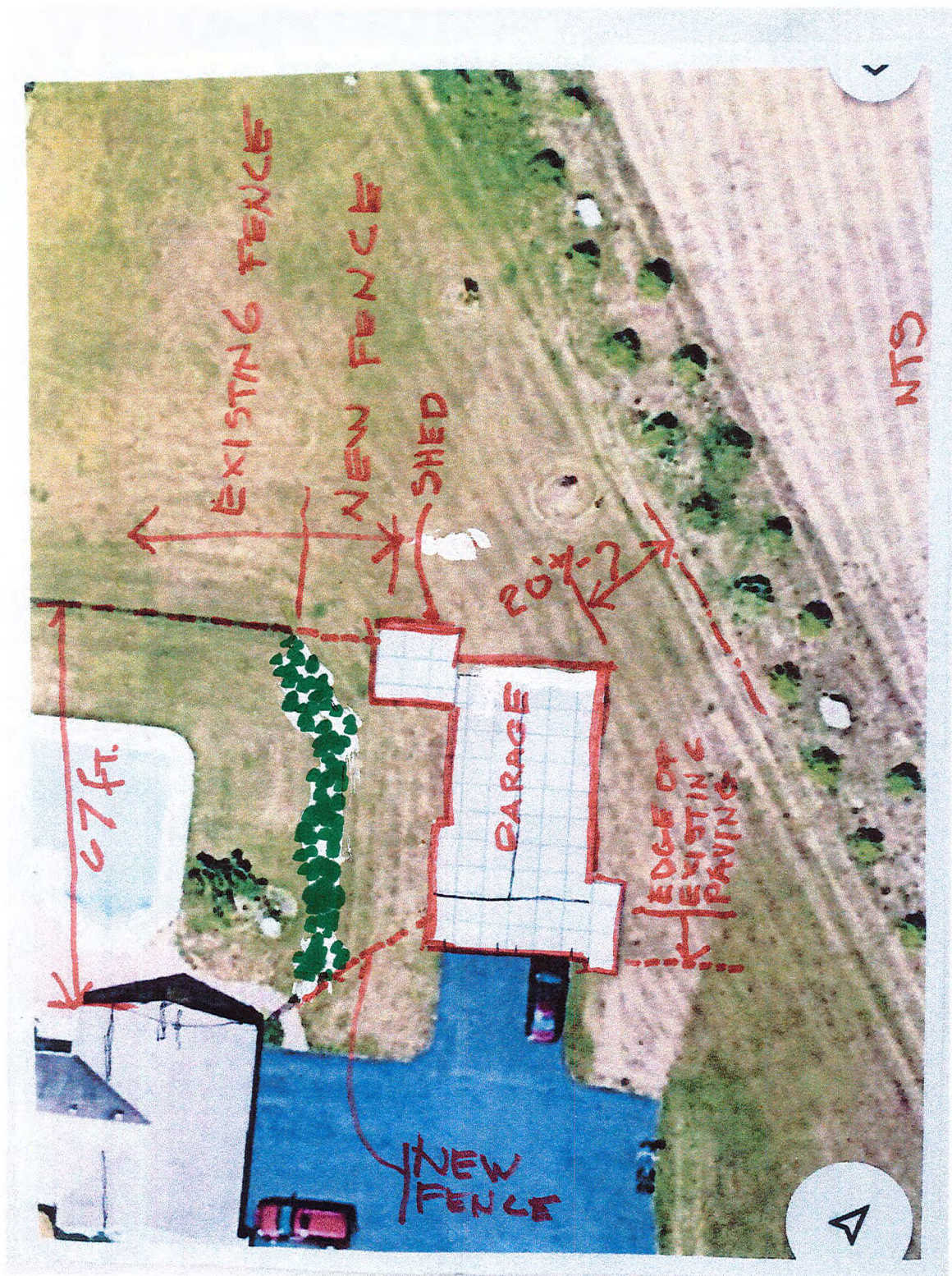
383-8991

\$43,000.00

LANDTECH
SURVEYING & PLANNING P.L.L.C.
130 E. MAIN STREET, SUITE 500 - ROCHESTER, NY - 14604
PHONE (585) 442-9902 - FAX (585) 271-3012
FILE: 2550LEHIGH_STA_INST







NOTES

STRUCTURAL LUMBER STRENGTH SHALL BE 1,200 PSI AND MIN. E-1,000,000 EXCEPT AS OTHERWISE NOTED (OR #2 HEM-FIR AS NOTED)

STRUCTURE SHALL BE DESIGNED TO RESIST DEFLECTION OF CEILINGS.

CONTRACTOR SHALL VERIFY THAT THE EXISTING STRUCTURE IS CAPABLE OF CARRYING ALL NEW LOADING DURING AND AFTER CONSTRUCTION. ALL WOOD IN CONTACT WITH GRADE SLABS OR EARTH SHALL BE PRESSURE TREATED DOUBLE AND/OR TRIPLE HEADERS AROUND ALL OPENINGS AND UNDER WALLS ABOVE. PROVIDE FULL LOAD CARRYING CONTINUITY TO THE FOOTING AND PROVIDE PROPERLY SIZED LINTELS AND HEADERS WHERE REQUIRED.

OWNER/ARCHITECT RESERVES THE RIGHT TO REVIEW ALL SHOP, FABRICATION DRAWINGS, AND MATERIAL OR SYSTEM SUBMISSIONS AND TO SELECT ALL COLORS AND FINISHES FROM THE MANUFACTURER'S STANDARD RANGES.

SMOKE DETECTORS SHALL DETECT PARTICULATES OF COMBUSTION AND SOUND AN ALARM WITH A VISUAL QUE IN ACCORDANCE WITH CODE. UNITS SHALL BE HARD WIRED. SMOKE DETECTORS SHALL BE LOCATED AS REQUIRED BY CODE.

CONSTRUCTION SHALL COMPLY W/ ENERGY CONSERVATION CONST. CODE OF NYS.

MAKE NO CHANGES IN DESIGN INTENT, MATERIALS, STRUCTURE, FORM, OR ANY OTHER DESIGN FEATURES WITHOUT APPROVAL OF THE ARCHITECT. ARCHITECT RESERVES THE RIGHT TO REPORT ANY SUCH OBSERVATIONS TO THE PROPER APPROVING AUTHORITY. ANY DEVIATION FROM THESE DOCUMENTS RENDERS THE REGISTRATION SEAL OF THE ARCHITECT AFFIXED HERETO. INVALID AND WITHDRAWN.

MATE ALL NEW SIZES AND DETAILS TO THE EXISTING STRUCTURE SO THAT NO CHANGE IN SURFACE PLANE OF WALLS OR CEILINGS WILL OCCUR. CONSULT THE ARCHITECT IF FIELD CONDITIONS REQUIRE PROFESSIONAL SOLUTION TO ACCOMPLISH THIS COORDINATION. WHERE DETAILS ARE NOT INDICATED, THEY SHALL MATCH THE EXISTING.

VERIFY THE POSITION OF ALL EXISTING AND STRUCTURAL MEMBERS PRIOR TO LAYING OUT OF EQUIP. OR SYSTEMS. DO NOT CUT STRUCTURAL MEMBERS.

TO ACCOMMODATE PIPES, DUCTS, CONDUITS OR THE LIKE EXCEPT AS ALLOWED BY CODE. ALL PIPES, DUCTS, CONDUITS, WIRING AND THE LIKE SHALL BE CONCEALED TO THE MAXIMUM AMOUNT POSSIBLE. CONTRACTOR SHALL ASSURE THE ADEQUACY AND LOCATION OF ALL UTILITIES AND ELECTRICAL/MECHANICAL SYSTEMS AND SERVICES PRIOR TO CONSTRUCTION, OR DEMOLITION, AND SHALL PROVIDE FULL REPLACEMENT OF NEW SERVICES AS REQUIRED. OBTAIN LOCAL UTILITY LOCATION SIGN-OFF PRIOR TO DIGGING. MEP DESIGN BY OTHERS

CONTRACTOR SHALL PROVIDE REQUIRED , VENTS, EXHAUSTS, LIGHT/ELECTRICAL SYSTEMS, HEAT APPLIANCES, PLUMBING AND THE LIKE, OR SHALL COORDINATE WITH THE CONTRACTORS RESPONSIBLE FOR SUCH SYSTEMS PER CONTRACT REQUIREMENTS SO AS NOT TO CAUSE ANY ADDITIONAL COST TO THE OWNER. COORDINATE THE PENETRATION OF WALLS, FOUNDATIONS, FLOORS AND ROOF WITH SLEEVES OR WITH OTHER WEATHER TIGHT MEANS FOR MECHANICAL OR ELECTRICAL SYSTEMS. DESIGNED BY OTHERS.

CONTRACTOR SHALL MAKE NO CHANGES WITHOUT THE APPROVAL OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE BUILDING AND OTHER REQUIRED PERMITS AND FOR PAYING FOR SUCH PERMITS AND PAYING ANY OTHER ASSOCIATED FEES OR CHARGES, INCLUDING UTILITY CONNECTION OR EXTENSION COSTS. NO WORK SHALL TAKE PLACE UNTIL PROPER PERMITS ARE POSTED.

CONTRACTOR SHALL CLEAN UP THE SITE EA. DAY AND AT THE CONCLUSION OF THE PROJECT. SHALL RETURN THE SITE TO THE OWNER IN ITS ORIGINAL CONDITION OR BETTER.

FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING, DEMOLISHING, OR BUILDING.

BEFORE SUBMITTING ANY BID OR PROPOSAL, CONTRACTORS SHALL VISIT THE SITE AND REVIEW ALL DRAWINGS, NOTES AND SPECIFICATIONS. CONTRACTORS SHALL RESOLVE ALL CONDITIONS OBSERVED IN ADVANCE AND THEIR PROPOSAL (BID) SHALL REFLECT THAT THEY HAVE SEEN AND UNDERSTAND THE FULL IMPACT OF THE WORK TO BE ACCOMPLISHED AND THAT THE FULL SCOPE IS INCLUDED IN THEIR PRICE.

CONTRACTOR SHALL PLAN THE SEQUENCE OF WORK SO THAT THE PROJECT CAN BE BUILT AS SHOWN AND AS REQUIRED TO ACHIEVE INTEGRITY AND CONTINUITY. CONTRACTOR SHOULD ANTICIPATE THIS NEED IN THE FIELD TO ACHIEVE THE INTENDED RESULT.

THESE NOTES AND DRAWINGS ESTABLISH THE MINIMUM REQUIREMENTS ONLY AND THE CONTRACTOR MAY PROVIDE HIGHER QUALITY OR MAY BE SO REQUIRED BY THE AGREEMENT WITH THE OWNER. THESE DOCUMENTS ARE PART OF THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.

DOCUMENTS ARE NORMAL BUILDER LEVEL, NOT FULLY DETAILED. THE CONTRACTOR IS TO CONSTRUCT IN ACCORDANCE WITH BUILDING CODE OF NY & FIRE CODE OF NYS AND NY ENERGY CONSERVATION CODE AND ANY OTHER APPLICABLE CODES OR REGULATIONS, AND ANY LOCAL REQUIREMENTS USING THE CONTRACTORS CUSTOMARY TECHNIQUES AND PER THE CONTRACT WITH THE OWNER AND CONTRACT DOCUMENTS. THESE DRAWINGS IN THEIR ENTIRETY ARE PART OF THE CONSTRUCTION CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, AND SAFETY ON THE SITE. THE OWNER & CONT. IS THE SAME ENTITY.

THE CONTRACTOR SHALL CARRY ALL REQUIRED INSURANCES INCLUDING; WORKERS COMPENSATION, UNEMPLOYMENT, DISABILITY, LIABILITY, AUTOMOBILE, BUILDERS RISK OR OTHER COVERAGES IN AMOUNTS AGREEABLE TO THE OWNER. THE CONTRACTOR SHALL PROVIDE THE OWNER CERTIFICATES OF SUCH INSURANCE PRIOR TO WORK WHICH SHALL INCLUDE THE OWNER AND THE ARCHITECT AS NAMED INSURED. AFTER THE COMPLETION OF THE WORK AND PRIOR TO THE FINAL PAYMENT THE CONTRACTOR SHALL SUPPLY TO THE OWNER A RELEASE OF LIENS FOR THE CONTRACTOR AND ALL THE SUB-CONTRACTORS AND SUPPLIERS. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM COMPLETION EXCEPT WHERE MANUFACTURERS OR SUPPLIERS PROVIDE A LONGER WARRANTY OR WHERE CALLED FOR OTHERWISE IN THESE DOCUMENTS.

OWNER TO DESIGN/SPECIFY FINISH SYSTEM. DESIGNER ASSUMES NO RESPONSIBILITY FOR THIS OR ANY OTHER SYSTEM, SELECTED OR DESIGNED BY OTHERS. FINISHES MUST COMPLY WITH FLAMMABILITY, FLAME SPREAD, AND FIRE RATING PER CODE.

LEWIS CHILDS ARCHITECT

1925 HIGHLAND AVE.
ROCHESTER, NY 14618

(585) 437-1950



K.A.D.S.

(607) 316-2784

KEUKA AREA DESIGN SERVICE

This Project is prepared for:

GOORMAN GARAGE

10 PONSIANA DR.

PITTSFORD, N.Y. 14534

RESIDENTIAL GARAGE

A-0 COVER SHEET

A-1 FOUNDATION, FLOOR PLAN,
ROOF FRAMING PLAN
& DETAILS

A-2 SECTIONS/DETAILS

A-3 ELEVATIONS/NOTES

ETC.

SEPARATE ALL INCOMPATIBLE MATERIALS BY GASKET, COATING, OR OTHER RECOMMENDED MEANS.

ALL MATERIALS AND SYSTEMS SHALL BE NEW AND SHALL BE PROVIDED COMPLETE WITH ALL SUPPORTS, CAULKING, HARDWARE, FLASHING, SEALS, FINISHES, STOPS, FIRE PROTECTION, LABELS, WARRANTIES, INSTRUCTIONS,

PROVIDE MEANS FURNISH AND INSTALL.

USE OF THESE DOCUMENTS SHALL CONSTITUTE UNDERSTANDING OF, AND ACCEPTANCE OF THESE NOTES BY THE OWNER AND THE CONTRACTOR.

IT IS VIOLATION OF SECTION 7203 (2) OF THE NY EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM IN THESE DOCUMENTS IN ANY WAY. ANY LICENSEE WHO ALTERS THESE DOCUMENTS IS REQUIRED BY LAW TO AFFIX HIS/HER SEAL, SIGNATURE AND DATE WITH THE NOTIFICATION, "ALTERED BY" FOLLOWED BY A SPECIFIC DESCRIPTION OF THE CHANGES MADE. THE ARCHITECT RESERVES THE RIGHT TO ALERT THE PERMITTING AUTHORITY OF ANY OBSERVED CHANGES.

THE SEAL AFFIXED TO THESE DOCUMENTS IS FOR WORK PERFORMED BY THE ARCHITECT ON THE ORIGINAL DOCUMENTS AND DOES NOT RELATE TO DATA ADDED BY OTHERS.

IN THE EVENT OF A CONFLICT, THE MOST EXTENSIVE, MOST COSTLY, MOST THOROUGH, BIGGEST, OR MOST APPROPRIATE SELECTION MAY BE MADE BY THE ARCHITECT, OR OWNER.

IT IS THE INTENT OF THIS PROJECT TO PROVIDE A COMPLETE FINISHED JOB. CONTRACTOR SHALL FURNISH AND INSTALL ALL FEATURES OF CONSTRUCTION TO MEET THAT INTENT EXCEPT AS MAY BE AGREED IN WRITING TO BE OMITTED OR WHICH ARE PURPOSEFULLY OMITTED FROM THE DOCUMENTS, AS REFLECTED IN THE OWNER/CONTRACTOR AGREEMENT. OMITTED ITEMS MAY BE AMENDED INTO THIS INTENT. PLUMBING, HEATING, ELECTRICAL POWER, LIGHTING, TELEPHONE, SECURITY, INFORMATION SYSTEMS, LANDSCAPING, SITE AND UTILITY DESIGN, AND CERTAIN FINISHES, AND SPECIALTIES ARE NOT PART OF THESE DOCUMENTS. THE DESIGN DOES NOT CALL FOR THE DESIGN OF ALL ASPECTS OF CONSTRUCTION. SEE OWNER FOR DESIGN OF ELEMENTS BY OTHERS. CONSTRUCTION SHALL BE COMPLETE IN ALL RESPECTS AND ANY MATERIALS OR SYSTEMS NOT INDICATED, WHICH ARE NEEDED TO MAKE CONSTRUCTION POSSIBLE OR COMPLETE, OR ARE IMPLIED, ARE HEREBY INCLUDED IN THE WORK AS SPECIFIED OR DRAWN.

THESE DWGS ARE PREPARED IN ACCORDANCE W/ THE 2010 NYS CODE. THE BUILDING SHALL NOT BE USED FOR ANY OTHER PURPOSE. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES MADE DURING OR AFTER CONST. OR FOR ANY USE OTHER THAN THOSE ALLOWED UNDER THE NYS CODE. THE ARCHITECT IS NOT AWARE OF ANY IMPACTS REGARDING COMPLIANCE WITH ANY LOCAL OR OTHER REGULATIONS

DESIGNS ARE BASED IN PART ON ANTICIPATED EXISTING CONDITIONS AND INFORMATION FURNISHED BY THE OWNER. FIELD CONDITIONS MAY VARY. THE ARCHITECT IS NOT UNDER CONTRACT TO THE OWNER TO PROVIDE CONSTRUCTION PHASE CONSULTATION, ADMINISTRATION OR OBSERVATION. FIELD CONDITIONS SHALL BE AS DIRECTED BY THE OWNER BUT SHALL NOT DIFFER FROM CODES OR REGULATIONS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES OR CONTRACTOR METHODS, FOR MATERIAL SELECTIONS, PRODUCT PERFORMANCE, WARRANTIES, COMPLIANCE OF CONSTRUCTION WITH CODES OR WITH THE CONSTRUCTION DOCUMENTS. SAFETY DURING CONSTRUCTION OR FOR THE CONDUCT OF THE WORK IN THE FACE OF THE NEED FOR REMEDIAL DIRECTION OR INTERPRETATION FOR WHICH THE ENGINEER IS NOT CONSULTED AND THE OWNER AND CONTRACTOR HOLD THE ENGINEER HARMLESS FOR ALL LIABILITY. ENGINEERS LIABILITY IS LIMITED TO THE FEE PAID. ALL DISCOVERED PROBLEMS MUST BE CALLED TO THE ATTENTION OF THE OWNER IMMEDIATELY AND THE OWNER SHALL CONSULT WITH THE ENGINEER ON ANY CONDITIONS WHICH COME TO HIS/HER ATTENTION RELATED TO CODE COMPLIANCE, SAFETY, OMISSIONS, ERRORS OR OTHER CONDITIONS REQUIRING INTERPRETATION OR SOLUTION BY THE ENGINEER. FAILURE TO SO NOTIFY WILL MAKE THE CORRECTIVE ACTION, THE RESPONSIBILITY OF THE CONTRACTOR.

General Construction Guideline Notes:

Design Criteria -

Roof Total Load -	55 psf total
Ground Snow 45 psf & DL 10 psf	
Minimum Ground Snow load of 40 psf to elevations up to 1000 ft. increase 2 psf for every 100 ft. above	
Floor Total Load -	40# L.L. 30# FOR SLEEPING AREAS
Wind Load -	115 MPH ZONE
Seismic Design Category -	C psf

If pre-engineered roof trusses are used, provide design drawings and calculations stamped by a NYS Professional Engineer to the Engineer of Record and the Code Enforcement Official prior to installation. Trusses are to be manufactured by a firm regularly engaged in truss manufacturing. Provide lateral and "X" bracing per approved shop drawings. If trusses are used for storage, bottom chord to show minimum live load.

Window Glazing Notes:

- In general, safety glass is required in all the following locations:
 - Windows less than 60" above a tub or shower drain.
 - An individual fixed or operable window panel within 24" of a door swing with the bottom edge less than 60" above the floor. (Hinge side)
 - All doors or window panels where walk-through hazards could exist.
 - Safety glass is required for fixed or operable window panels that meet all the following requirements:
 - The area of the individual window pane is greater than 9 s.f.
 - The bottom edge of the pane is less than 18" above the floor.
 - The top edge of the pane is greater than 36" above the floor.
 - One or more walking surfaces is within 36" horizontally of the glazing.
 - Safety glass is required in all skylights and sloped glazings.
 - All shower and tub doors must be safety glass.

Egress Door Notes:

- Provide a 36" wide hinged door with direct access to the exterior (not through the garage).
- All doors are required to have keyless operation from the interior.



FINALS
9-15-20

New Proposed



Rear Elevation
Scaled



Front or Driveway Elevation
Scaled



Poolside Elevation
Scaled

Neighbor Side Elevation
Scaled

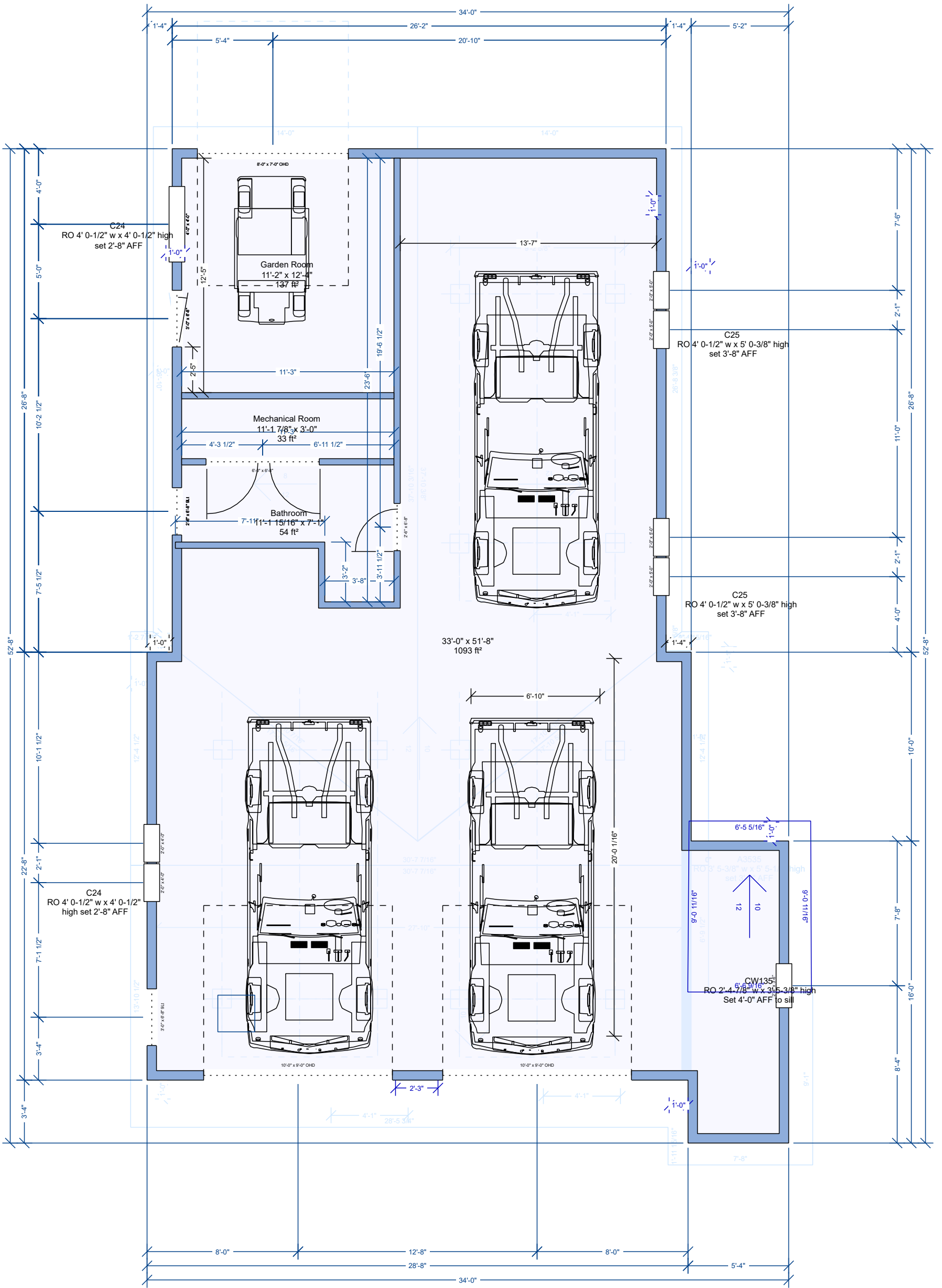


Contractor:
James L. Garrett Company Inc.
37 Allens Creek Road
Rochester, New York 14618
Office (585) 442-6640
Mobile (585)747-6019
LBoehlert@JLGarrett.com

Owner and Jobsite Address:
Goorman Residence
Separate New Garage
10 Poinciana Drive
Pittsford N.Y. 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Florendin Lane
Henrietta, N. Y. 14467
(585) 334-5549

Date:
9/24/2024
Revised 10/10/2024
Drawn By:
L.E.W. Boehlert
Page Number
Elevations
#2



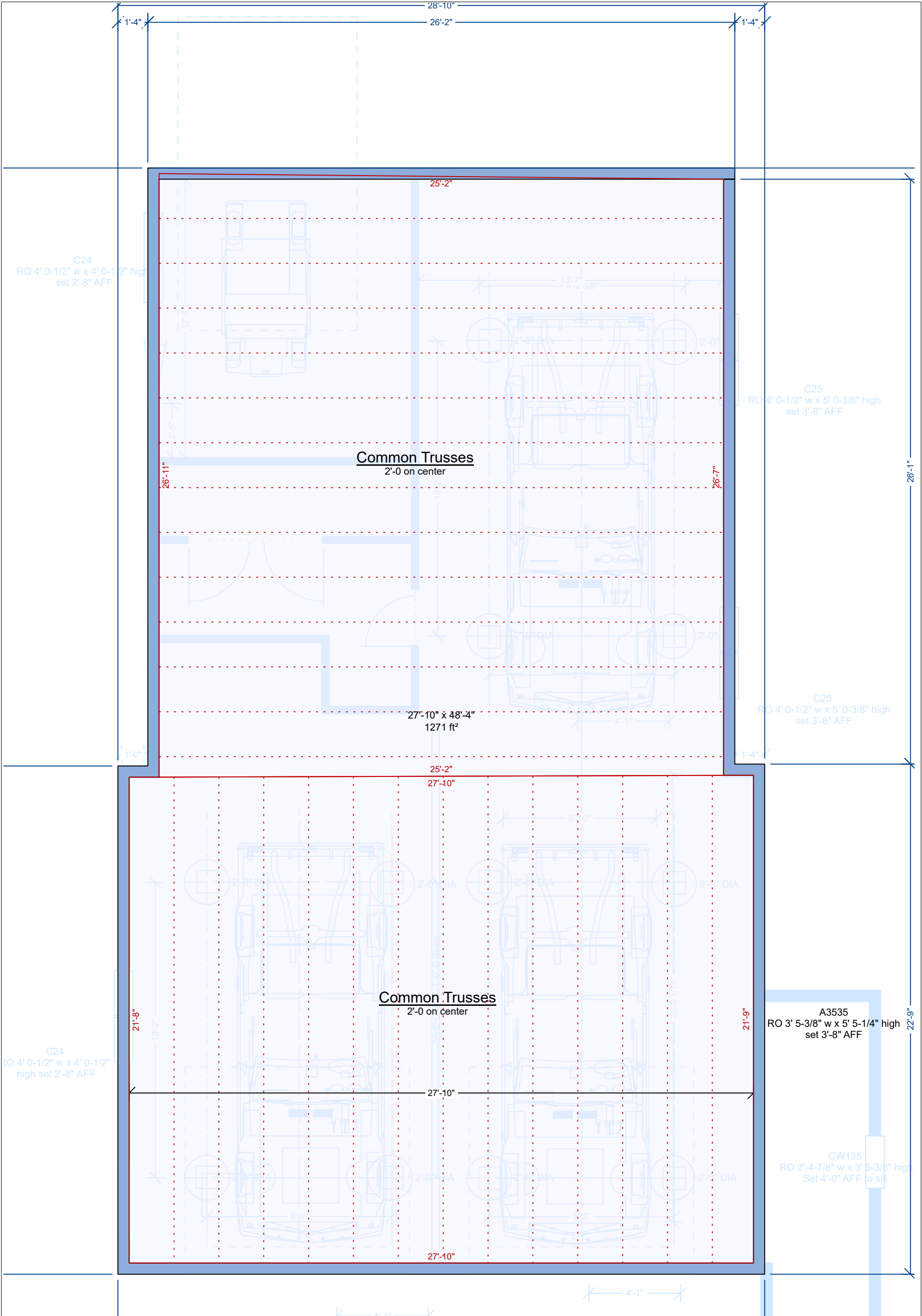
1st Floor Plan
Scale: 3/16" = 1'-0"

Contractor:
James L. Garrett Company Inc.
37 Allens Creek Road
Rochester, New York 14618
Office (585) 442-6640
Mobile (585)747-6019
LBoehlert@JLGarrett.com

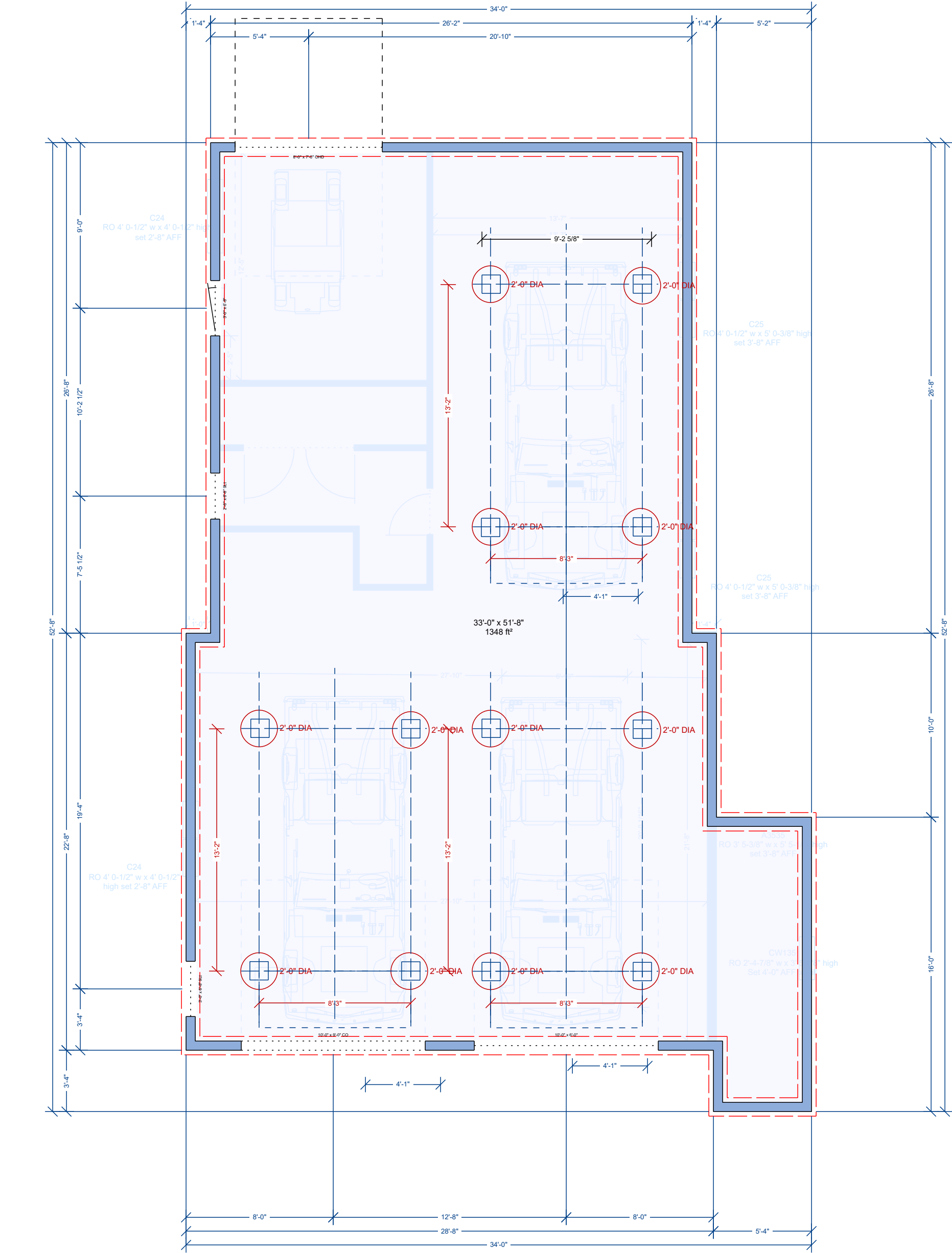
Owner and Jobsite Address:
Goorman Residence
Separate New Garage
10 Poinciana Drive
Pittsford N.Y. 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Florendin Lane
Henrietta, N. Y. 14467
(585) 334-5549

Date:
9/24/2024
Revised 10/10/2024
Drawn By:
L.E.W. Boehlert
Page Number
1st Floor Plan
#4



<div>Contractor:</div> <div>James L. Garrett Company Inc.</div> <div>37 Allens Creek Road</div> <div>Rochester, New York 14618</div> <div>Office (585) 442-6640</div> <div>Mobile (585)747-6019</div> <div>LBoehlert@JLGarrett.com</div>	<div>Owner and Jobsite Address:</div> <div>Goorman Residence</div> <div>Separate New Garage</div> <div>10 Poinciana Drive</div> <div>Pittsford N.Y. 14534</div>	<div>Structural Engineer:</div> <div>Ronald Anthony Samsel P.E.</div> <div>43 Florendin Lane</div> <div>Henrietta, N. Y. 14467</div> <div>(585) 334-5549</div>	<div>Date:</div> <div>9/24/2024</div> <div>Revised 10/10/2024</div> <div>Drawn By:</div> <div>L.E.W. Boehlert</div> <div>Page Number</div> <div>2nd Floor Plan</div> <div>#5</div>
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Contractor:
James L. Garrett Company Inc.
37 Allens Creek Road
Rochester, New York 14618
Office (585) 442-6640
Mobile (585)747-6019
LBoehlert@JLGarrett.com

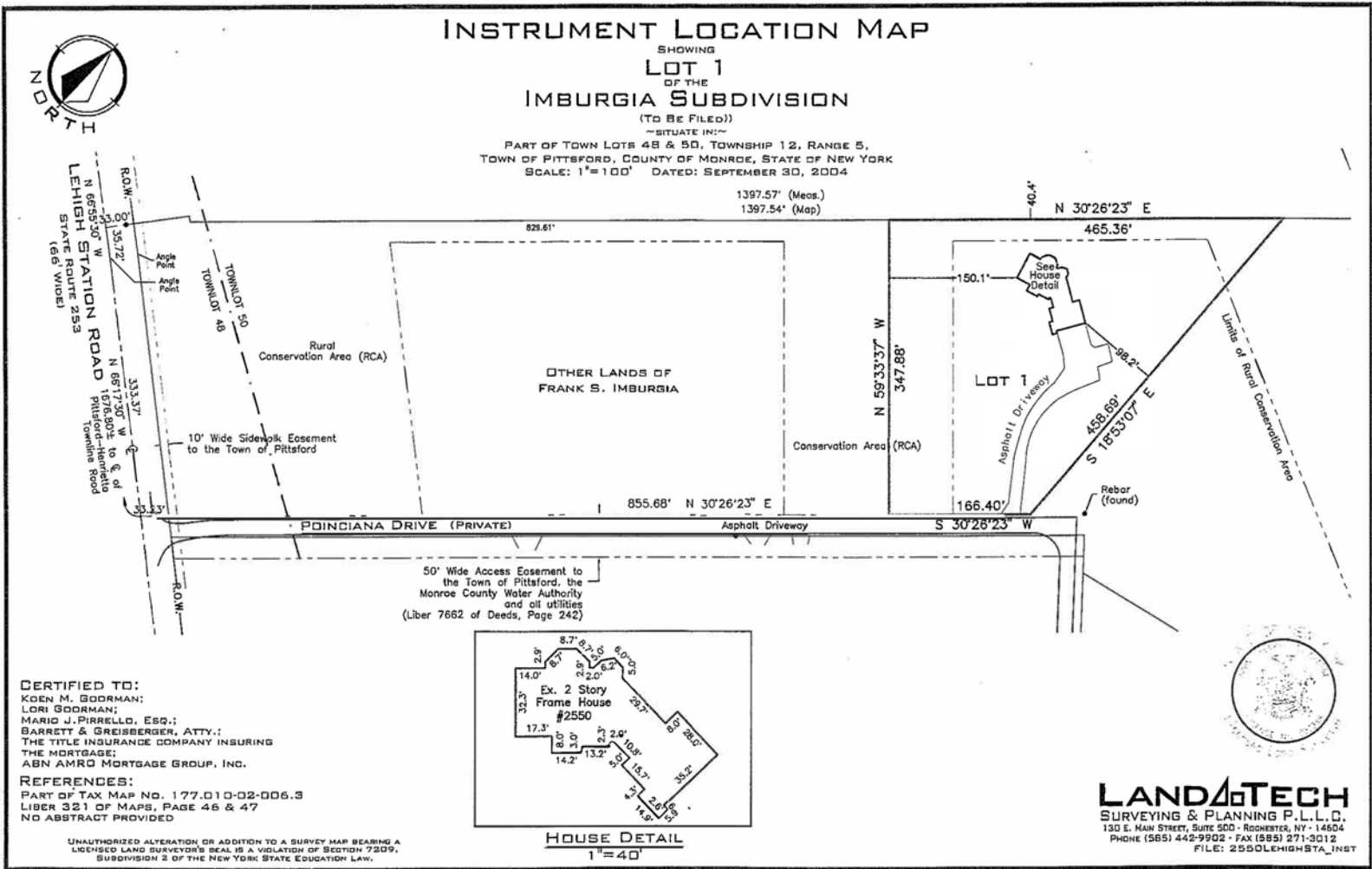
Owner and Jobsite Address:
Goorman Residence
Separate New Garage
10 Poinciana Drive
Pittsford N.Y. 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Florendin Lane
Henrietta, N. Y. 14467
(585) 334-5549

Date:
9/24/2024
Revised 10/10/2024
Drawn By:
L.E.W. Boehlert
Page Number
Foundation
Plan
#3



View from End of Driveway



Tape Location Map



View from Public Road
Leigh Station Road



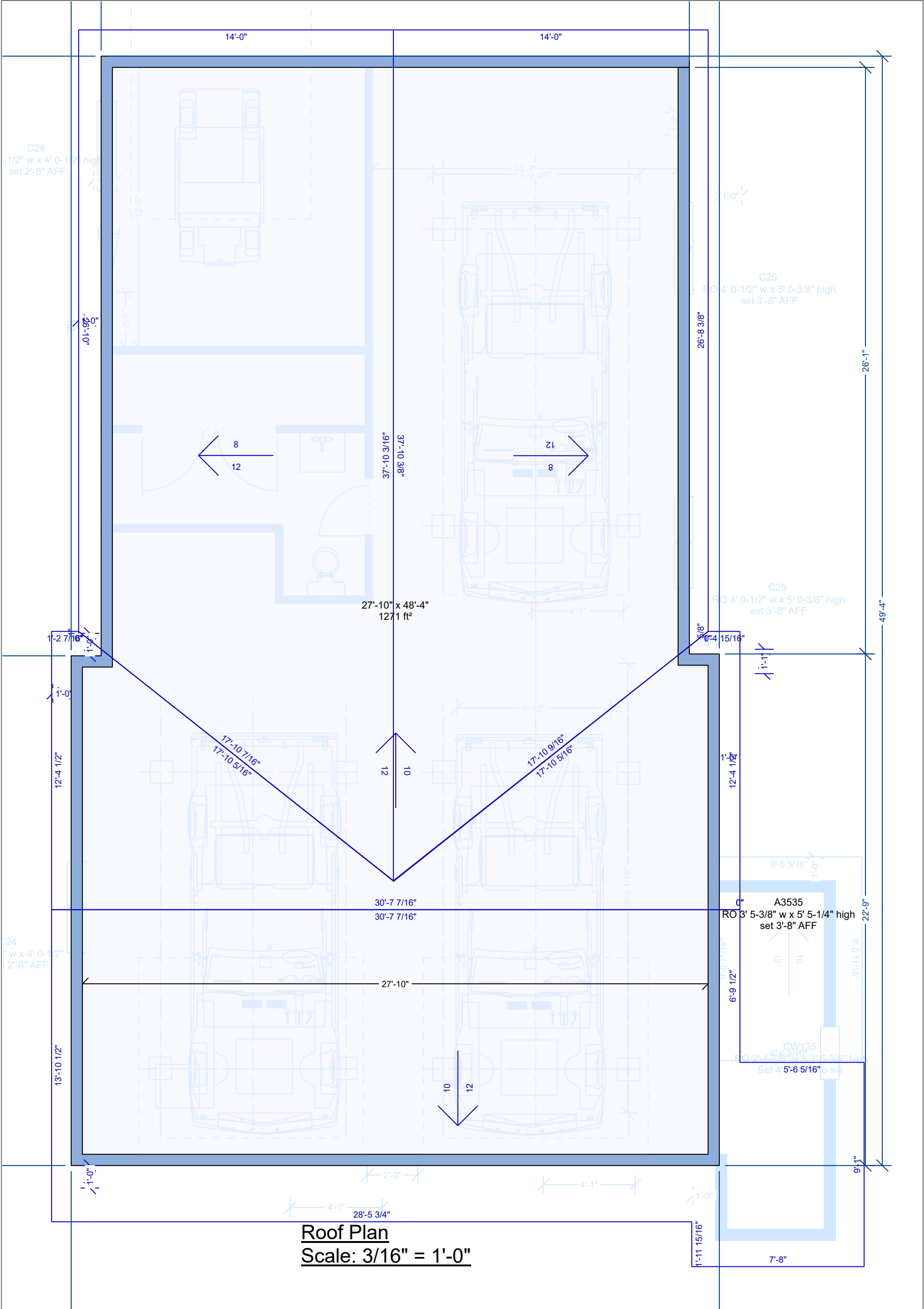
Front of House form
Private Drive

Contractor:
James L. Garrett Company Inc.
37 Allens Creek Road
Rochester, New York 14618
Office (585) 442-6640
Mobile (585)747-6019
LBoehlert@JLGarrett.com

Owner and Jobsite Address:
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Separate New Garage
10 Poinciana Drive
Pittsford N.Y. 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Florendin Lane
Henrietta, N. Y. 14467
(585) 334-5549

Date:
9/24/2024
Revised 10/10/2024
Drawn By:
L.E.W. Boehlert
Page Number
Tape Location
Map
#1



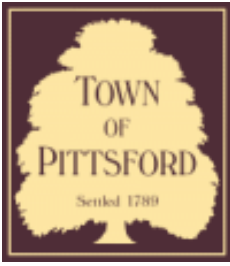
Roof Plan
Scale: 3/16" = 1'-0"

<p>Contractor:</p> <p>James L. Garrett Company Inc.</p> <p>37 Allens Creek Road Rochester, New York 14618 Office (585) 442-6640 Mobile (585)747-6019 LBoehlert@JLGarrett.com</p>	<p>Owner and Jobsite Address:</p> <p>Goorman Residence Separate New Garage</p> <p>10 Poinciana Drive Pittsford N.Y. 14534</p>	<p>Structural Engineer:</p> <p>Ronald Anthony Samsel P.E.</p> <p>43 Florendin Lane Henrietta, N. Y. 14467 (585) 334-5549</p>	<p>Date:</p> <p>9/24/2024</p> <p>Revised 10/10/2024</p> <p>Drawn By:</p> <p>L.E.W. Boehlert</p> <p>Page Number</p> <p>Roof Plan #6</p>
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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000078

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 246 Long Meadow Circle PITTSFORD, NY 14534

Tax ID Number: 151.13-1-38

Zoning District: RN Residential Neighborhood

Owner: Sherman, Neal E

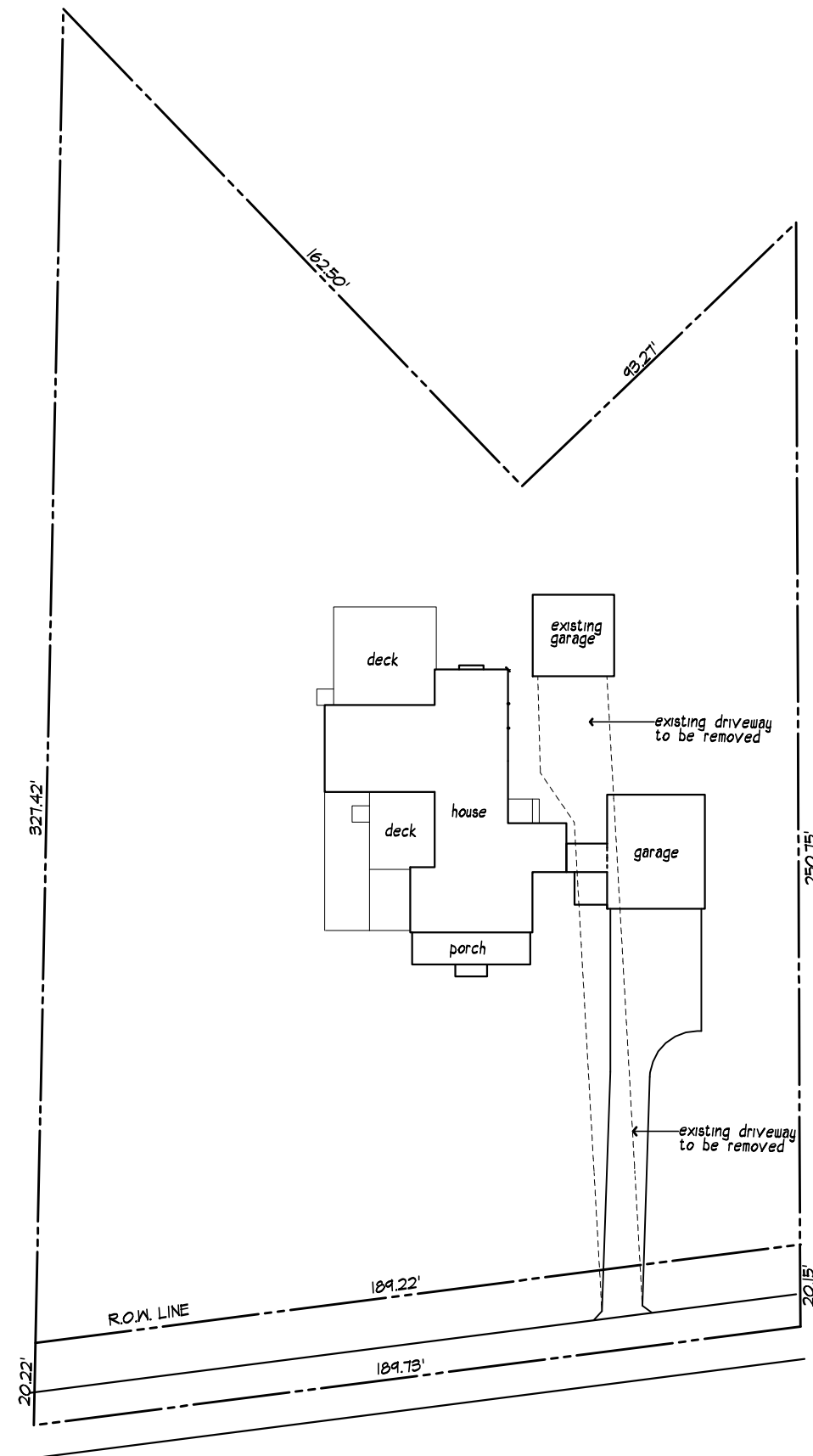
Applicant: Gaetano Abbate Contacting & Consulting

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review to change the garage door to glass French doors.

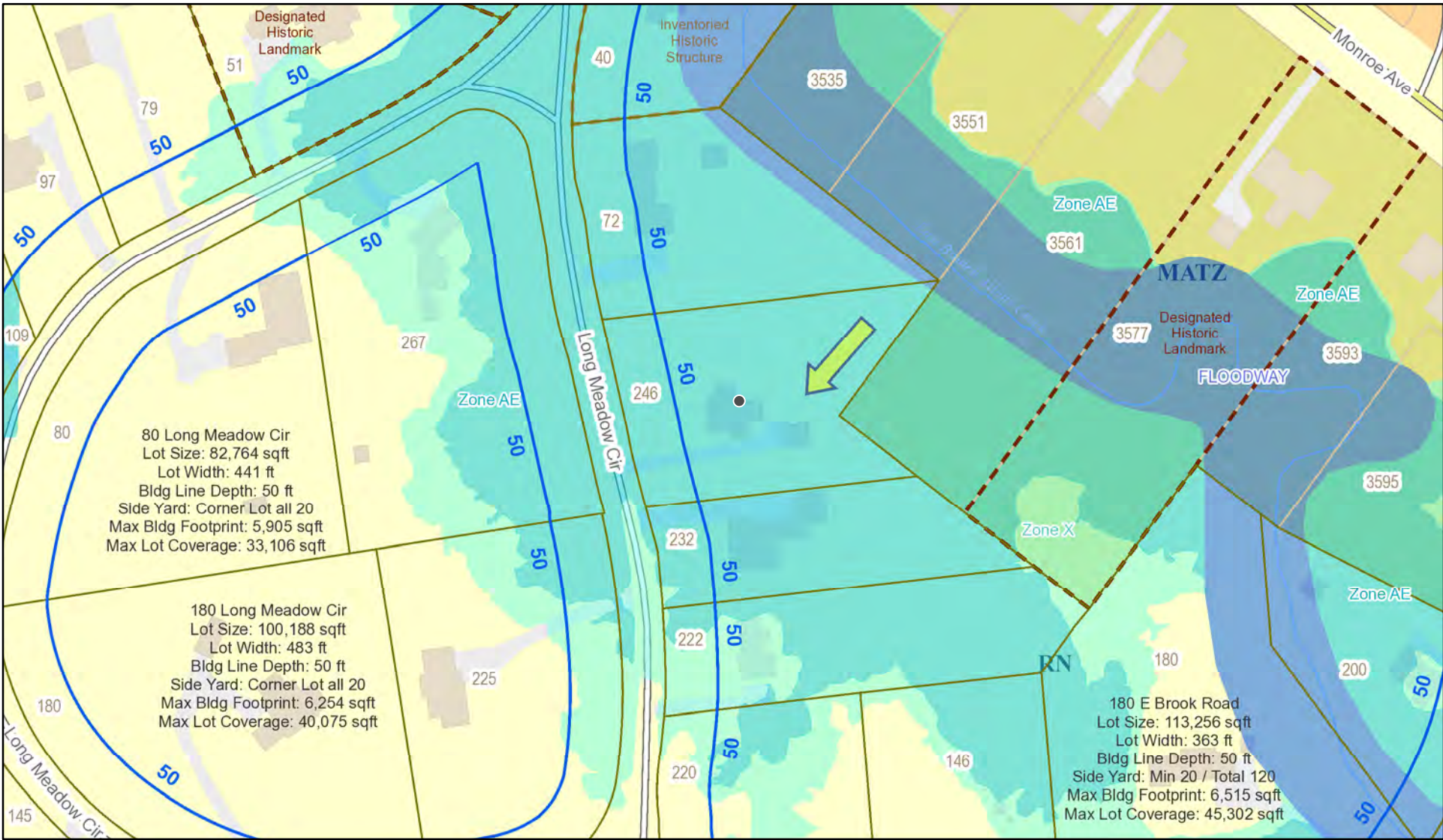
Meeting Date: November 14, 2024



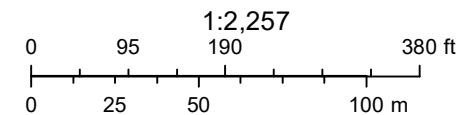
PLOT PLAN
SCALE: 1" = 20'-0"

PROJECT:
SHERMAN RESIDENCE
DETACHED GARAGE RENOVATION
246 LONG MEADOW CIRCLE

RN Residential Neighborhood Zoning



Printed November 7, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Thu Sep 5 2024

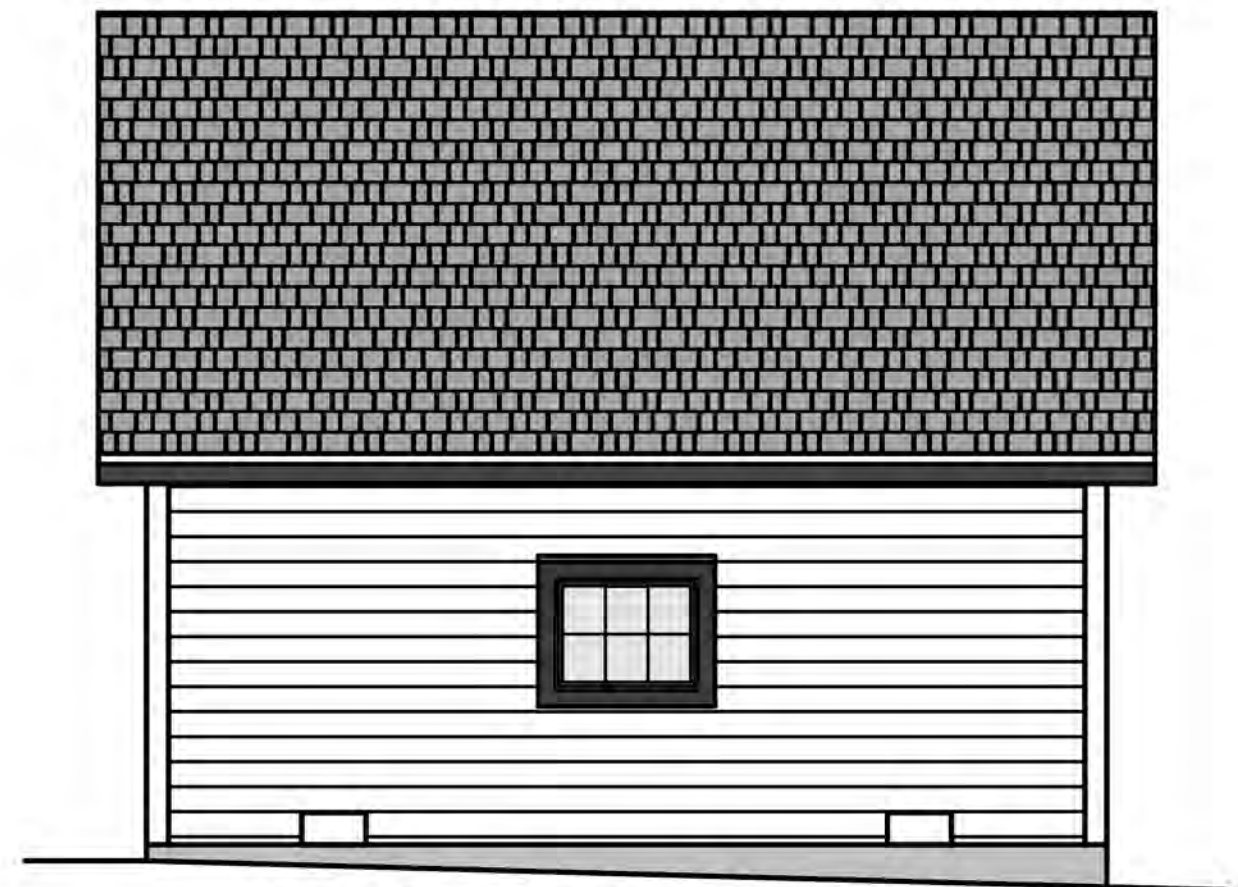
Imagery © 2024 Nearmap, HERE

50 ft

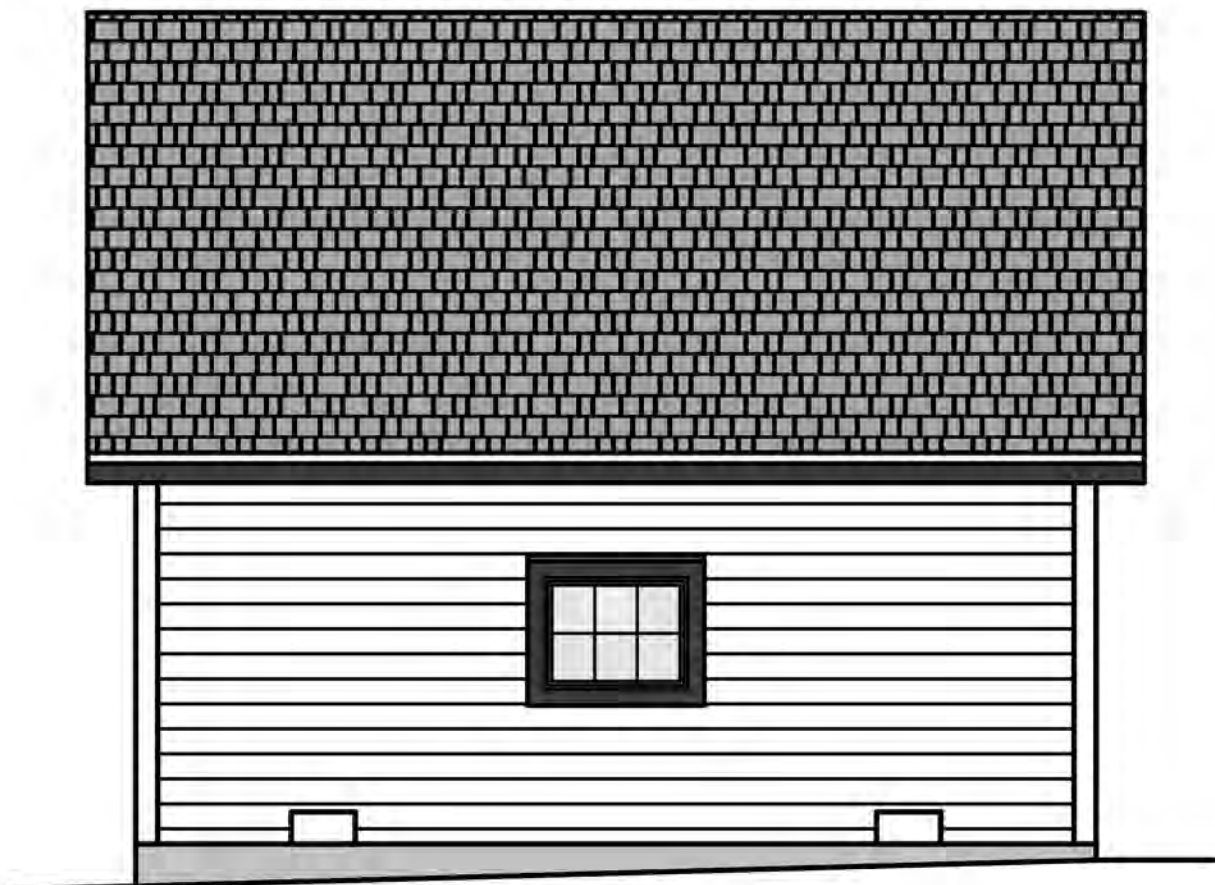
Nearmap



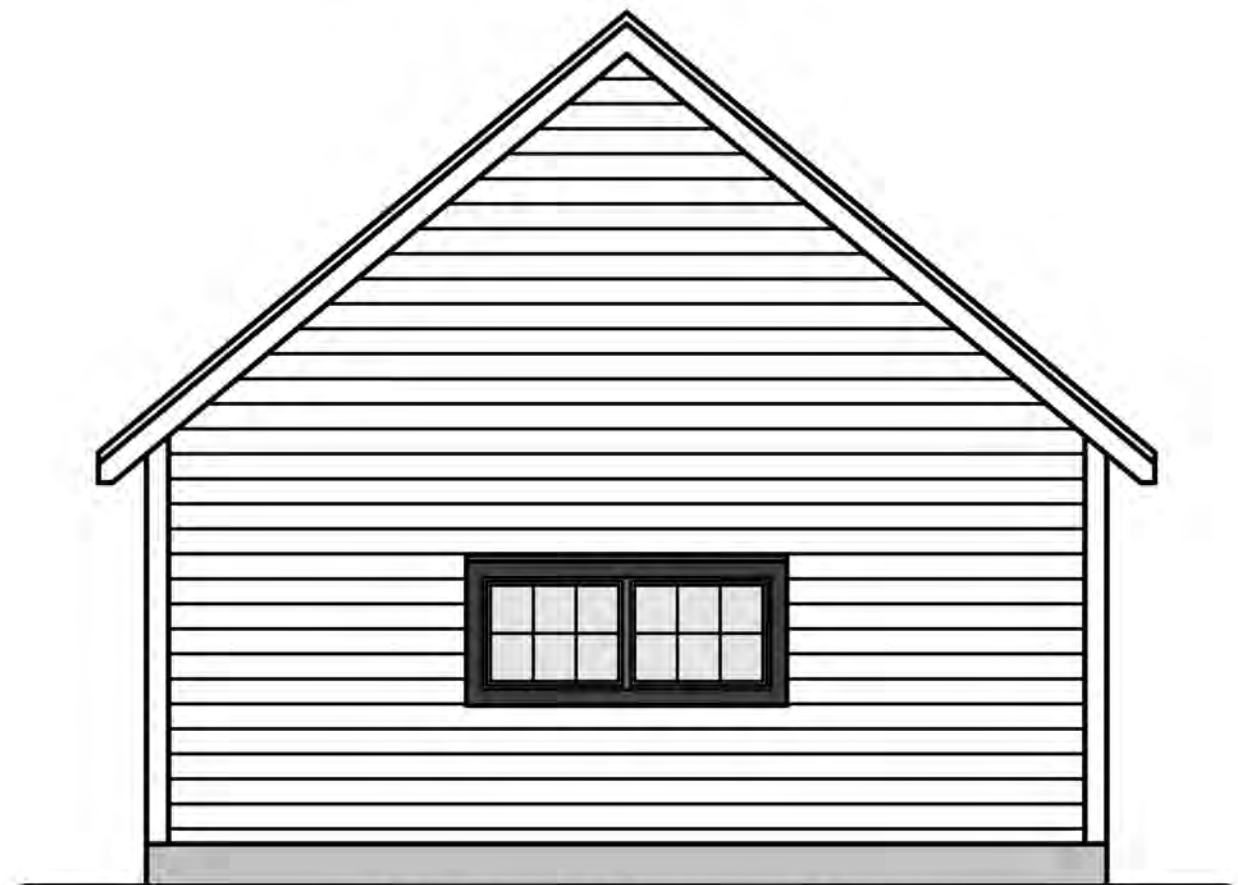
Front Elevation



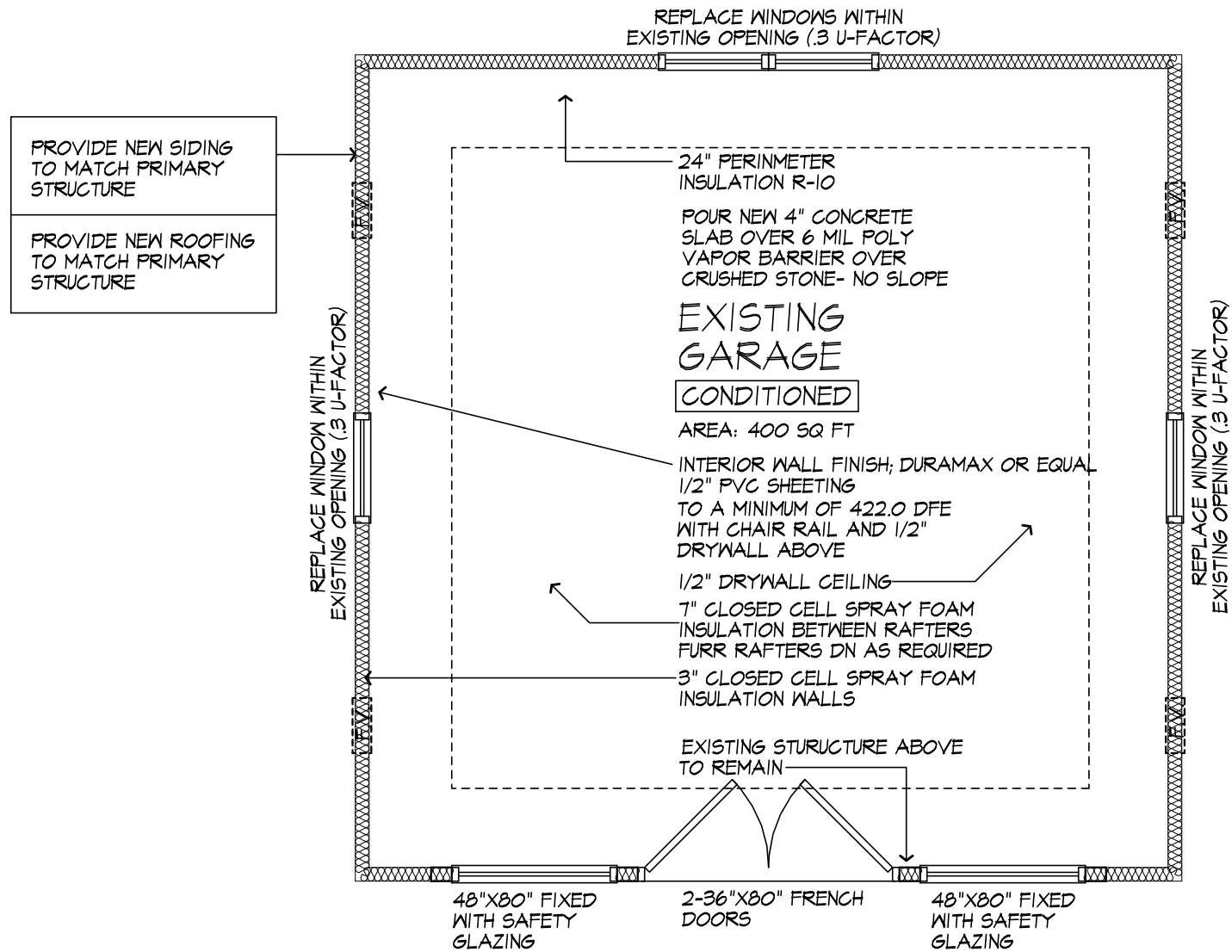
Right Side Elevation



Left Side Elevation



Rear Elevation



WINDOWS & DOORS MANUFACTURER - ANDERSEN

FLOOD VENTS TO COMPLY WITH R322.2.2 NOTE 2. NET AREA TO BE 1 SQ. INCH PER 1 SQ. FT. OF ENCLOSED AREA MEASURED TO THE EXTERIOR OF THE ENCLOSURE.

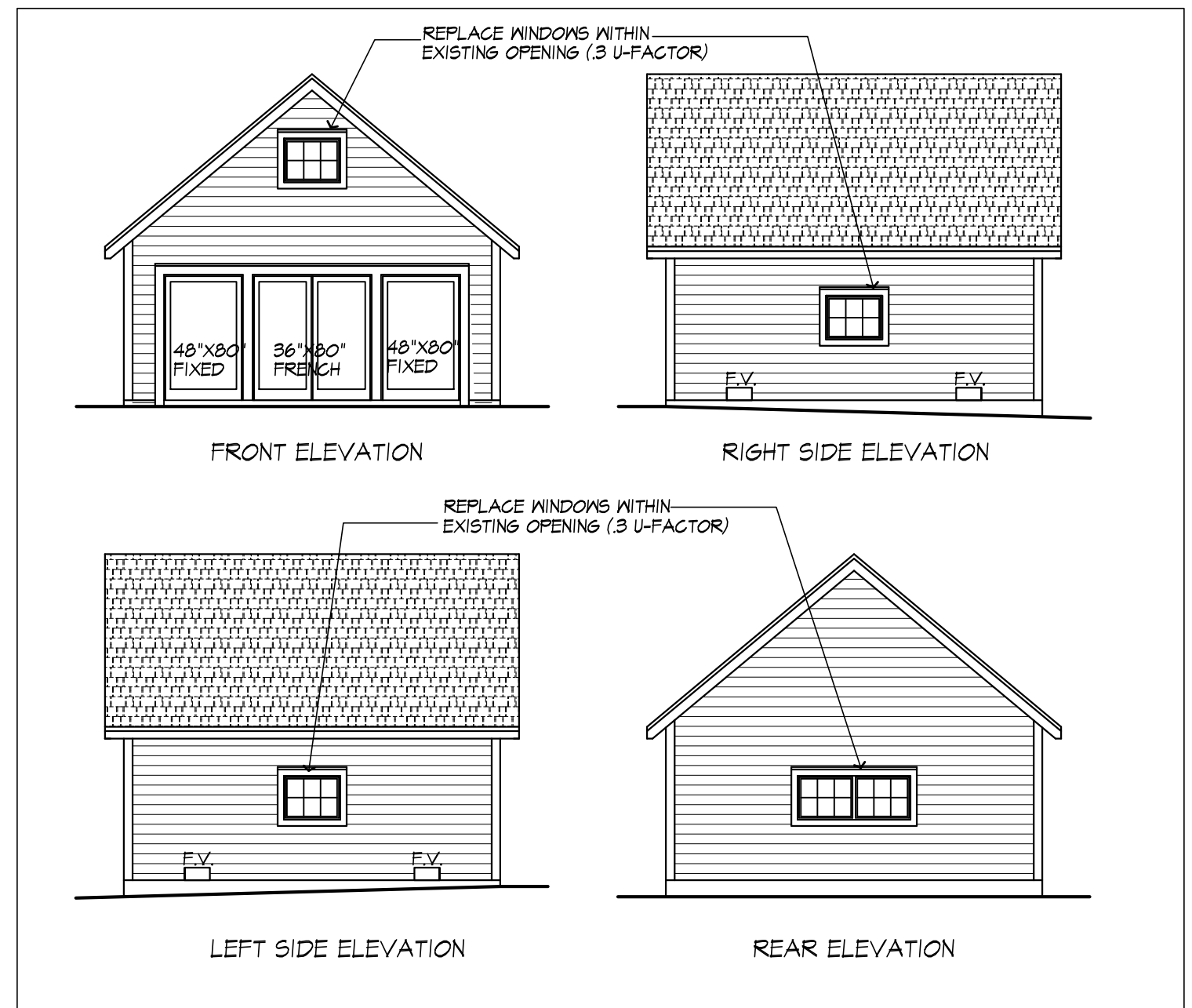
EXTERIOR ENCLOSURE AREA: 400 SQ. FT.
VENT AREA REQUIRED: 400 SQ. IN.

4- 8"X 16" VENTS REQUIRED FOR COMPLIANCE.

BOTTOM FLOOD VENT HT.= 12" MAX ABOVE FLOOR

UPGRADE ELECTRIC TO COMPLY WITH NFPA 70 OR CHAPTER 39 OF 2020 RCNYS
ALL DEVICES INSTALLED ABOVE THE D.F.E.

HVAC T.B.D. AND INSTALLED ABOVE THE D.F.E.

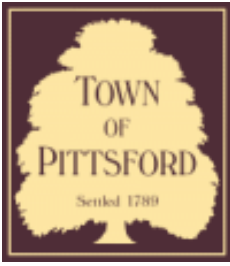


PROJECT:

SHERMAN RESIDENCE
DETACHED GARAGE RENOVATION
246 LONG MEADOW CIRCLE







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000123

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 53 Country Club Drive ROCHESTER, NY 14618

Tax ID Number: 151.05-1-52

Zoning District: RN Residential Neighborhood

Owner: Durand, Carolyn

Applicant: JB Sterling Construction

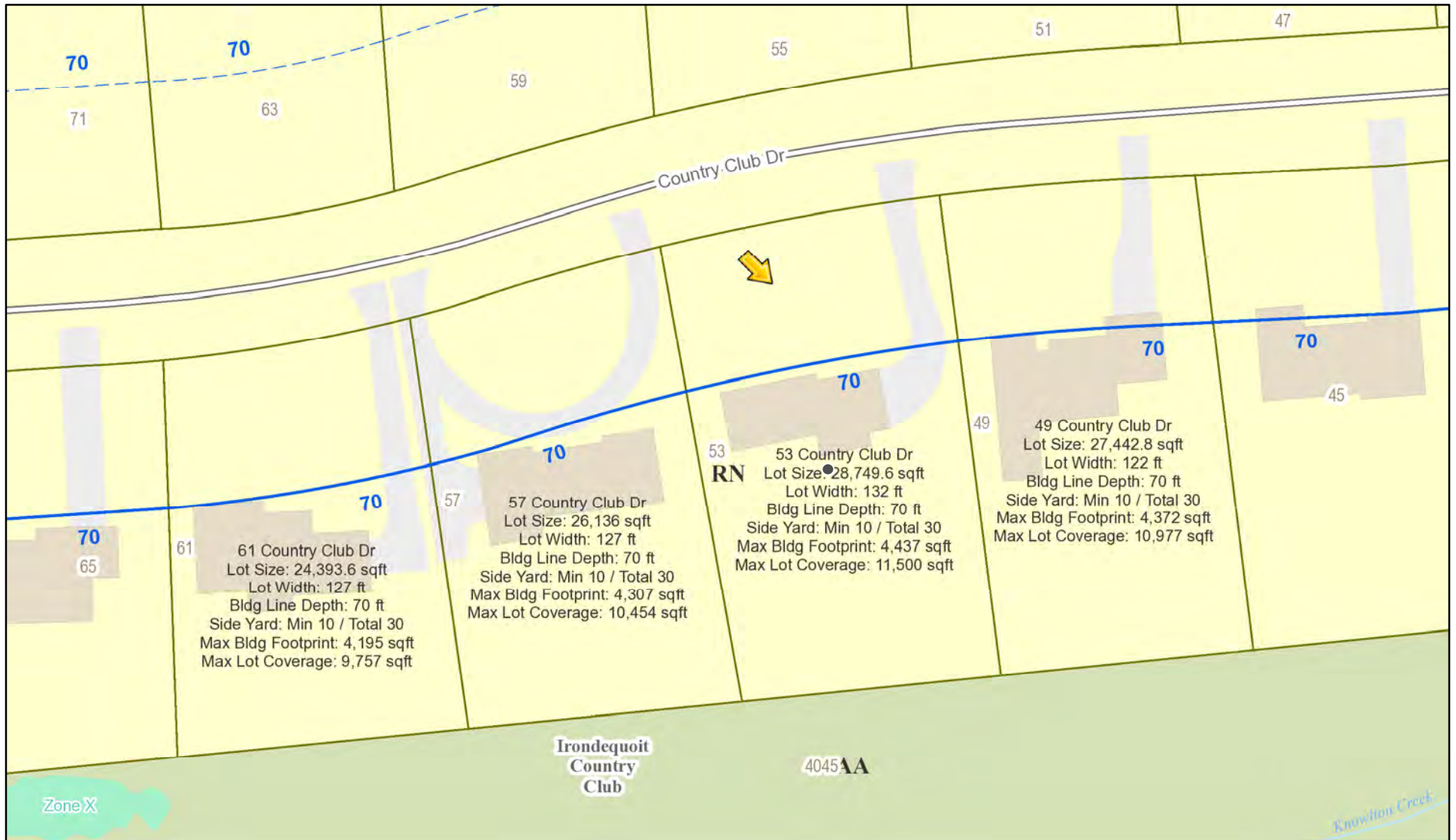
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

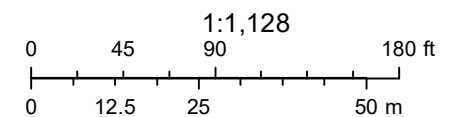
Project Description: Applicant is requesting design review for an approximately 280 square foot addition off the rear of the home.

Meeting Date: November 14, 2024

RN Residential Neighborhood Zoning

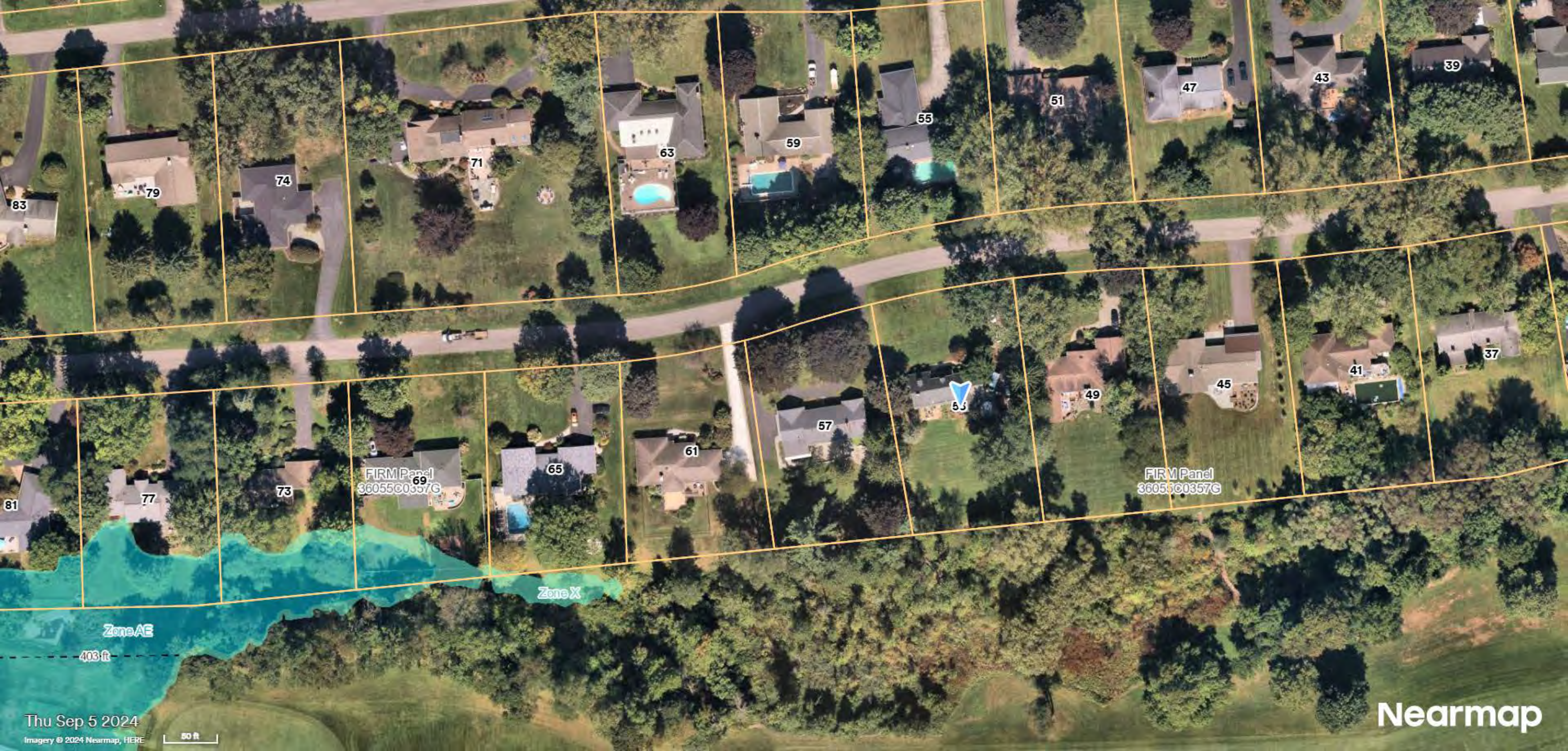


Printed November 7, 2024



Town of Pittsford GIS

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Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

50 ft

Nearmap

COUNTRY CLUB DRIVE

(60.00' WIDE)

STREET LINE

20.00' WIDE
SEWER EASEMENT
L. 2847 D.P. 347

$L=132.00'$
 $R=1315.33'$
 $\Delta=05^{\circ}45'00''$

32.87' TO
POINT OF CURVE



REFERENCES:

MONROE TITLE INSURANCE CORPORATION #129139, DATED MAY 5, 2000.
LIBER 9160 OF DEEDS, PAGE 62.
LIBER 121 OF MAPS, PAGE 60.

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO ABN AMRO MORTGAGE GROUP, INC., ITS SUCCESSORS AND/OR ASSIGNS; CAROLYN DURAND; MICHAEL DURAND; RONALD J. AXELROD, ESQ.; JOSEPH G. INTERLICHIA, ESQ. AND THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED JUNE 28, 2000.

Michael D. O'Neill
MICHAEL D. O'NEILL, P.L.S. #049562

15.00' WIDE
SEWER EASEMENT
2847 D.P. 347

SANITARY
MANHOLE

8' WIDE
DRAINAGE DITCH

$N 89^{\circ}26'24'' E 125.00'$

20.00' WIDE
STORM SEWER
EASEMENT
L. 2847 D.P. 347



O'NEILL-RODAK
LAND SURVEYING ASSOCIATES, P.C.

LAND SURVEYORS - PLANNERS
BOUNDARY CONSULTANTS
FLOOD ZONE DETERMINATIONS
ALTA/ACSM SURVEYS

5 SOUTH FITZHUGH STREET
ROCHESTER, NY
14614

PHONE (716) 325-7520 FAX (716) 325-1708
e-mail onsurv@aol.com

MAP OF A SURVEY

LOT 13
COUNTRY CLUB ESTATES, SECTION 1

TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK

CLIENT

ADAIR LAW FIRM

SCALE
 $1" = 30'$

DATE
6/29/2000






PROJECT NO.
2000-0333

STEPHENSON ADDITION ADDITION IN PITTSFORD, NY



DRAWINGS INDEX:

COV.	List of Drawings, General Notes, Front Elevation & Design Data
A-1	FLOOR PLANS AND SCHEDULES
A-2	ELEVATIONS AND SECTIONS

LEGEND:	
SYMBOL	DESCRIPTION:
	CARBON MONOXIDE DETECTORS
	SMOKE DETECTORS
	50 CFM EXHAUST FAN DUCTED TO EXTERIOR
	SMOKE DETECTOR (PROVIDE IN ATTIC SPACE AND BASEMENT)
	CARBON MONOXIDE DETECTOR (PROVIDE IN ATTIC SPACE AND BASEMENT)

HEADER SCHEDULE:

OPENING	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X12
7'-0"	(3) 2X12	(2) 1½" x 7½" LVL'S
8'-0"	(3) 1½" x 9½" LVL'S	(2) 1½" x 9½" LVL'S

NOTE:

-PROVIDE (2) ¾" PLYWOOD GUSSETS - 2X6 WALL

-PROVIDE (1) ¾" PLYWOOD GUSSETS - 2X4 WALL

HOUSE CONSTRUCTION NOTES:

PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AT ALL LOCATIONS REQUIRED PER THE N.Y.S. RESIDENTIAL BUILDING CODE.

ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE ¾" DURAPLY FINISH AT UNDERSIDE, FULL DEPTH RIM JOIST AND SOLID BLOCKING AT SUPPORT WALL.

INSTALL HANDRAILS AND GUARDRAILS AT STAIRS PER SECTIONS R-311 AND R-312 OF THE N.Y.S. RESIDENTIAL BUILDING CODE.

WINDOW TYPES SHALL BE DOUBLE HUNG W/LOW-E VINYL-CLAD WITH ¾" OPENING HEIGHT SCREENS.

PROVIDE 50 CFM EXHAUST FAN (DUCTED TO EXTERIOR) AT ALL BATHROOMS.

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL NATIONAL AND LOCAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
- EXTERIOR DIMENSIONS ARE TO WALL FACE OF FRAMING.
- INTERIOR DIMENSIONS ARE TO WALL FACE OF FRAMING.
- INSTALL TRIPLE STUDS (MINIMUM) UNDER GIRDERS OR DOUBLE JOISTS UNLESS OTHERWISE NOTED.
- SMOKE ALARMS TO BE WIRED AND INTERCONNECTED WITH NO SWITCHES AND WITH BATTERY BACK-UP. SMOKE ALARMS ARE TO BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - IN EACH SLEEPING ROOM.
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, AND NOT INCLUDING CRAWLSPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL, PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
 - SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FT. HORIZONTALLY FROM THE OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR A SHOWER, UNLESS THIS WOULD PREVENT PLACEMENT OR SMOKE ALARM REQUIRED BY SECTION R314.3 OF THE INTERNATIONAL BUILDING CODE.
 - E. SEE SECTION R314.3 OF THE BUILDING CODE FOR ADDITIONAL INFORMATION. THE MOST STRINGENT RULE SHALL APPLY.
 - F. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE BEDROOM. (CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED.)
 - G. HEAT DETECTOR TO BE INSTALLED IN LAUNDRY ROOMS.
 - H. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY ALL SUB-CONTRACTORS, SUPPLIERS, AND MANUFACTURERS OF ANY AND ALL CHANGES IN THE CONTRACT DOCUMENTS AFTER ACCEPTANCE OF CONTRACT DOCUMENTS OR PARTIAL SET OF CONTRACT DOCUMENTS USED IN THE BIDDING AND/OR CONSTRUCTION PROCESS.

FOUNDATION NOTES:

- DESIGN IS BASED ON A SOIL BEARING CAPACITY OF 2,500 PSI. WHERE QUESTIONABLE SOILS ARE ENCOUNTERED, BUILDING OWNER SHALL OBTAIN SOIL TESTING BY A GEOTECHNICAL ENGINEER. A SOIL BEARING CAPACITY OF LESS THAN 2,500 PSI SHALL BE REPORTED TO THE ARCHITECT FOR ADDITIONAL DESIGN CONSIDERATIONS. OWNER MAY BE REQUIRED TO ENGAGE THE SERVICES OF A GEOTECHNICAL AND/OR STRUCTURAL ENGINEER.
- PLACE ALL FOOTINGS ON LEVEL UNDISTURBED FROST FREE SOIL.
- INSTALL #5 REBAR AT BOTTOM OF FOOTINGS UP 3" FROM SOIL. LAP REBAR 18" AT SPLICES.
- ALL REBAR TO BE A-615 GRADE 60. STEEL BEAMS TO BE 50 K.S.I.
- 4'-0" MINIMUM FROM FINISHED GRADE TO BOTTOM OF FOOTINGS. ALL SLABS AND CONCRETE STEPS TO BE MINIMUM 3,500 PSI CONCRETE. ALL FOOTINGS, PIERS, AND WALLS TO BE MINIMUM 3,500 PSI CONCRETE. CONCRETE IN LOCATIONS EXPOSED TO WEATHER OR SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT. FOR GARAGE FLOORS WITH A STEEL-TROWELED FINISH, REDUCTION OF THE TOTAL AIR CONTENT (PERCENT VOLUME OF CONCRETE) TO NOT LESS THAN 3 PERCENT IS PERMITTED IF THE SPECIFIED COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED NOT LESS THAN 4,000 PSI. SEE SECTION R402.2 OF THE N.Y. STATE BUILDING CODE FOR MAXIMUM CEMENTITIOUS MATERIALS CONTENT.
- COMPACTION OF BACKFILL AND GRAVEL AT 95% LIFTS NOT TO EXCEED 8".
- INSTALL 1/2" PREMOULDED BITUMINOUS EXPANSION JOINT FILLER AT ALL NEWSLABS OR CONCRETE PADS THAT ABUTT WALLS.
- CONCRETE PROTECTION FOR REBAR TO BE A MINIMUM OF 3" FOR FOOTINGS, 1-1/2" FOR WALLS AND 2" FOR PIERS.
- G.C. TO CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- DO NOT BACKFILL UNTIL FIRST FLOOR IS FRAMED AND CONCRETE FLOOR HAS BEEN SET FOR 28 DAYS.
- CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES.

AIR LEAKAGE:

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4 THROUGH R402.5 OF THE RESIDENTIAL BUILDING CODE.

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED ABATING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR (CLIMATE ZONE 5). TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. REFER TO SECTION N1102.4.1.2 OF THE NY STATE RESIDENTIAL CODE.

TESTING:

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT TO EXCEED 3 AIR CHANGES PER HOUSE (CLIMATE ZONE 5). TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDE A COPY TO THE CODE OFFICIAL.

LINTEL/HEADER SCHEDULE:

THE FOLLOWING SCHEDULE PERTAINS TO OPENINGS IN STUD WALLS AND PARTITIONS IN LOAD BEARING WALLS UNLESS OTHERWISE NOTED. USE DOUBLE STUDS AT EACH JAMB.

FOR OPENINGS UP TO 3'-0" WIDE = (2) 2X6
FOR OPENINGS 3'-1" TO 4'-11" WIDE = (2) 2X8
FOR OPENINGS 5'-0" TO 6'-11" WIDE = (2) 2X10
FOR OPENINGS 7'-0" TO 9'-0" WIDE = (3) 2X10

SYSTEMS:

CONTRACTOR SHALL REFER TO SECTION N1103 OF THE NY STATE RESIDENTIAL BUILDING CODE FOR THE FOLLOWING REQUIREMENTS:
PROGRAMMABLE THERMOSTAT 1103.1.1
DUCT INSULATION 1103.2.1
DUCT SEALING 1103.2.2
EQUIPMENT SIZING 1103.6
SWIMMING POOLS 1103.8

BUILDING ENVELOPE REQUIREMENTS:

CONTRACTOR SHALL REFER TO SECTION N1102 OF THE NY STATE RESIDENTIAL BUILDING CODE FOR THE FOLLOWING REQUIREMENTS:
CEILING REDUCTION 1102.2.1
UNVENTED ATTICS 1102.2.1.1
VAPOR RETARDERS 1102.5

ALL WINDOWS AND DOORS TO BE INSTALLED WITH METAL HEAD FLASHING THAT EXTENDS OUT PAST THE WINDOW FRAME. ALL OTHER INSTALLATION AND FLASHING DETAILS TO BE PER MANUFACTURE RECOMMENDATIONS.

FACTORY BUILT FIRE PLACES:

REFER TO SECTION R1004 OF THE NY STATE RESIDENTIAL BUILDING CODE.

R1004.1 GENERAL

FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING.
FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127.

R1004.2 HEARTH EXTENSIONS

HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA. LISTED AND LABELED HEARTH EXTENSIONS SHALL COMPLY WITH UL 1618.

R1004.3 DECORATIVE SHROUDS

DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF CHIMNEYS FOR FACTORY-BUILT FIREPLACES EXCEPT WHERE THE SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT FIREPLACE SYSTEM AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R1004.4 UNVENTED GAS LOG HEATERS

AN UNVENTED GAS LOG HEATER SHALL NOT BE INSTALLED IN A FACTORY-BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE IN ACCORDANCE WITH UL 127.

R1004.5 GASKETED FIREPLACE DOORS

A GASKETED FIREPLACE DOOR SHALL NOT BE INSTALLED ON A FACTORY-BUILT FIREPLACE EXCEPT WHERE THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE IN ACCORDANCE WITH UL 127.

FACTORY BUILT CHIMNEYS:

REFER TO SECTION R1005 OF THE NY STATE RESIDENTIAL BUILDING CODE

R1005.1 LISTING

FACTORY-BUILT CHIMNEYS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED AND TERMINATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R1005.2 DECORATIVE SHROUDS

DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEYS EXCEPT WHERE THE SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R1005.3 SOLID-FUEL APPLIANCES

FACTORY-BUILT CHIMNEYS INSTALLED IN DWELLING UNITS WITH SOLID-FUEL-BURNING APPLIANCES SHALL COMPLY WITH THE TYPE HT REQUIREMENTS OF UL 103 AND SHALL BE MARKED "TYPE HT AND RESIDENTIAL TYPE AND BUILDING HEATING APPLIANCE CHIMNEY." EXCEPTION: CHIMNEYS FOR USE WITH OPEN COMBUSTION CHAMBER FIREPLACES SHALL COMPLY WITH THE REQUIREMENTS OF UL 103 AND SHALL BE MARKED "RESIDENTIAL TYPE AND BUILDING HEATING APPLIANCE CHIMNEY." CHIMNEYS FOR USE WITH OPEN COMBUSTION CHAMBER APPLIANCES INSTALLED IN BUILDINGS OTHER THAN DWELING UNITS SHALL COMPLY WITH THE REQUIREMENTS OF UL 103 AND SHALL BE MARKED "BUILDING HEATING APPLIANCE CHIMNEY" OR "RESIDENTIAL TYPE AND BUILDING HEATING APPLIANCE CHIMNEY."

R1005.4 FACTORY-BUILT FIREPLACES

CHIMNEYS FOR USE WITH FACTORY-BUILT FIREPLACES SHALL COMPLY WITH THE REQUIREMENTS OF UL 127.

R1005.5 SUPPORT

WHERE FACTORY-BUILT CHIMNEYS ARE SUPPORTED BY STRUCTURAL MEMBERS, SUCH AS JOISTS AND RAFTERS, THOSE MEMBERS SHALL BE DESIGNED TO SUPPORT THE ADDITIONAL LOAD.

R1005.6 MEDIUM-HEAT APPLIANCES

FACTORY-BUILT CHIMNEYS FOR MEDIUM-HEAT APPLIANCES PRODUCING FLUE GASES HAVING A TEMPERATURE ABOVE 1,000°F (538°C), MEASURED AT THE ENTRANCE TO THE CHIMNEY, SHALL COMPLY WITH UL 959.

R1005.7 FACTORY-BUILT CHIMNEY OFFSETS

WHERE A FACTORY-BUILT CHIMNEY ASSEMBLY INCORPORATES OFFSETS, NO PART OF THE CHIMNEY SHALL BE AT AN ANGLE OF MORE THAN 30 DEGREES (0.52 RAD) FROM VERTICAL AT ANY POINT IN THE ASSEMBLY AND THE CHIMNEY ASSEMBLY SHALL NOT INCLUDE MORE THAN FOUR ELBOWS.

EXTERIOR AIR SUPPLY:

REFER TO SECTION R1006 OF THE NY STATE RESIDENTIAL BUILDING CODE.

R1006.1 EXTERIOR AIR

FACTORY-BUILT OR MASONRY FIREPLACES COVERED IN THIS CHAPTER SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ENSURE PROPER FUEL COMBUSTION UNLESS THE ROOM IS MECHANICALLY VENTILATED AND CONTROLLED SO THAT THE INDOOR PRESSURE IS NEUTRAL OR POSITIVE.

R1006.1.1 FACTORY-BUILT FIREPLACES

EXTERIOR COMBUSTION AIR DUCTS FOR FACTORY-BUILT FIREPLACES SHALL BE A LISTED COMPONENT OF THE FIREPLACE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE FIREPLACE MANUFACTURER'S INSTRUCTIONS.

R1006.1.2 MASONRY FIREPLACES

LISTED COMBUSTION AIR DUCTS FOR MASONRY FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND THE MANUFACTURER'S INSTRUCTIONS.

R1006.2 EXTERIOR AIR INTAKE

THE EXTERIOR AIR INTAKE SHALL BE CAPABLE OF SUPPLYING ALL COMBUSTION AIR FROM THE EXTERIOR OF THE DWELLING OR FROM SPACES WITHIN THE DWELLING VENTILATED WITH OUTDOOR AIR SUCH AS NONMECHANICALLY VENTILATED CRAWL OR ATTIC SPACES. THE EXTERIOR AIR INTAKE SHALL NOT BE LOCATED WITHIN THE GARAGE OR BASEMENT OF THE DWELLING. THE EXTERIOR AIR INTAKE, FOR OTHER THAN LISTED FACTORY-BUILT FIREPLACES, SHALL NOT BE LOCATED AT AN ELEVATION HIGHER THAN THE FIREBOX. THE EXTERIOR AIR INTAKE SHALL BE COVERED WITH A CORROSION-RESISTANT SCREEN OF 1/4-INCH (6.4 MM) MESH.

R1006.3 CLEARANCE

UNLISTED COMBUSTION AIR DUCTS SHALL BE INSTALLED WITH A MINIMUM 1-INCH (25 MM) CLEARANCE TO COMBUSTIBLES FOR ALL PARTS OF THE DUCT WITHIN 5 FEET (1524 MM) OF THE DUCT OUTLET.

R1006.4 PASSAGEWAY

THE COMBUSTION AIR PASSAGEWAY SHALL BE NOT LESS THAN 8 SQUARE INCHES (3870 MM2) AND NOT MORE THAN 55 SQUARE INCHES (0.035 M2) EXCEPT THAT COMBUSTION AIR SYSTEMS FOR LISTED FIREPLACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FIREPLACE MANUFACTURER'S INSTRUCTIONS.

R1006.5 OUTLET THE EXTERIOR AIR OUTLET SHALL BE LOCATED IN THE BACK OR SIDE OF THE FIREBOX CHAMBER OR SHALL BE LOCATED OUTSIDE OF THE FIREBOX, AT THE LEVEL OF THE HEARTH AND NOT GREATER THAN 24 INCHES (610 MM) FROM THE FIREBOX OPENING. THE OUTLET SHALL BE CLOSABLE AND DESIGNED TO PREVENT BURNING MATERIAL FROM DROPPING INTO CONCEALED COMBUSTIBLE SPACES.

MULTIPLE-APPLIANCE VENTING SYSTEMS:

ONE OR MORE LISTED AND LABELED APPLIANCES CONNECTED TO A COMMON NATURAL DRAFT VENTING SYSTEM SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

1. APPLIANCES THAT ARE CONNECTED TO COMMON VENTING SYSTEMS SHALL BE LOCATED ON THE SAME FLOOR OF THE DWELLING. EXCEPTION: ENGINEERED SYSTEMS AS PROVIDED FOR IN SECTION G2427.

2. INLETS TO COMMON VENTING SYSTEMS SHALL BE OFFSET SUCH THAT NO PORTION OF AN INLET IS OPPOSITE ANOTHER INLET.

3. CONNECTORS SERVING APPLIANCES OPERATING UNDER A NATURAL DRAFT SHALL NOT BE CONNECTED TO ANY PORTION OF A MECHANICAL DRAFT SYSTEM OPERATING UNDER POSITIVE PRESSURE.

MULTIPLE SOLID FUEL PROHIBITED:

REFER TO SECTION M1801.12 OF THE NY STATE RESIDENTIAL BUILDING CODE

A SOLID FUEL-BURNING APPLIANCE OR FIREPLACE SHALL NOT CONNECT TO A CHIMNEY PASSAGEWAY VENTING ANOTHER APPLIANCE.

FIRE BLOCKING:

REFER TO SECTION R302.11 OF THE NY STATE RESIDENTIAL BUILDING CODE.

R302.11 FIREBLOCKING

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
- FIREBLOCKING OR CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

FIRE BLOCKING MATERIALS:

REFER TO SECTION R302.11.1 OF THE NY STATE RESIDENTIAL BUILDING CODE.

EXCEPT AS PROVIDED IN SECTION R302.11, ITEM 4, FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS.

- TWO-INCH NOMINAL LUMBER.
- TWO THICKNESS OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
- ONE THICKNESS OF 23/32-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32" WOOD STRUCTURAL PANELS.
- ONE THICKNESS OF 3/4" PARTICLE BOARD WITH JOINTS BACKED BY SAME.
- (1) HALF-INCH GYPSUM BOARD.
- ONE-QUARTER INCH CEMENT BASED MILLBOARD.
- BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
- CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 FOR THE SPECIFIC APPLICATION.

R302.11.1.1 BATTS OR BLANKETS OF MINERAL OR GLASS FIBER

BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT (3048 MM) HORIZONTAL FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.

R302.11.1.2 UNFACED FIBERGLASS

UNFACED FIBERGLASS BATT INSULATION USED AS FIREBLOCKING SHALL FILL THE ENTIRE CROSS SECTION OF THE WALL CAVITY TO A HEIGHT OF NOT LESS THAN 16 INCHES (406 MM) MEASURED VERTICALLY. WHERE PIPING, CONDUIT OR SIMILAR OBSTRUCTIONS ARE ENCOUNTERED, THE INSULATION SHALL BE PACKED TIGHTLY AROUND THE OBSTRUCTION.

R302.11.1.3 LOOSE-FILL INSULATION MATERIAL

LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES.

R302.11.2 FIREBLOCKING INTEGRITY THE INTEGRITY OF FIREBLOCKS SHALL BE MAINTAINED.

INDIVIDUAL WATER SUPPLY AND SEWAGE DISPOSAL:

REFER TO SECTION P2602 OF THE NY STATE RESIDENTIAL BUILDING CODE

P2602.1 GENERAL

THE WATER-DISTRIBUTION AND DRAINAGE SYSTEM OF ANY BUILDING OR PREMISES WHERE PLUMBING FIXTURES ARE INSTALLED SHALL BE CONNECTED TO A PUBLIC WATER SUPPLY OR SEWER SYSTEM, RESPECTIVELY, IF AVAILABLE. WHERE EITHER A PUBLIC WATER SUPPLY OR SEWER SYSTEM, OR BOTH, ARE NOT AVAILABLE, OR CONNECTION TO THEM IS NOT FEASIBLE, AN INDIVIDUAL WATER SUPPLY OR INDIVIDUAL (PRIVATE) SEWAGE-DISPOSAL SYSTEM, OR BOTH, SHALL BE PROVIDED.

P2602.1.1 INDIVIDUAL WATER SUPPLIES PRIVATE WELLS) SHALL BE INSTALLED BY A WELL DRILLER REGISTERED WITH THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND BE IN COMPLIANCE WITH THE PROVISIONS OF APPENDIX 5-B OF THE NEW YORK STATE DEPARTMENT OF HEALTH REGULATIONS (10NYCRR APPENDIX 5-B.)

P2602.1.2 INDIVIDUAL SEWAGE TREATMENT SYSTEM INDIVIDUAL SEWAGE TREATMENT SYSTEMS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE PROVISIONS OF APPENDIX 75-A OF THE NEW YORK DEPARTMENT OF HEALTH SANITARY CODE.

Sky High Architecture

86 Castle Street
Geneva, New York 14456

(315) 759-5772

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REVISION SCHEDULE

NAME	DATE
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PROJECT:

53 COUNTRY CLUB DRIVE PITTSFORD NY

CLIENT:

STEPHENSON

DRAWING:

COVER

DRAWN:

MWO

CHECKED:

AHH

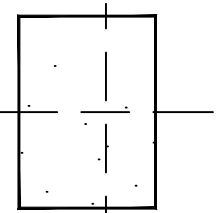
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COVER



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REVISION SCHEDULE

NAME	DATE
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PROJECT:
53 COUNTRY CLUB DRIVE
PITTSFORD, NY

CLIENT:
STEPHENSON

DRAWING:
FLOOR PLAN

DRAWN: MWO	CHECKED: AHH
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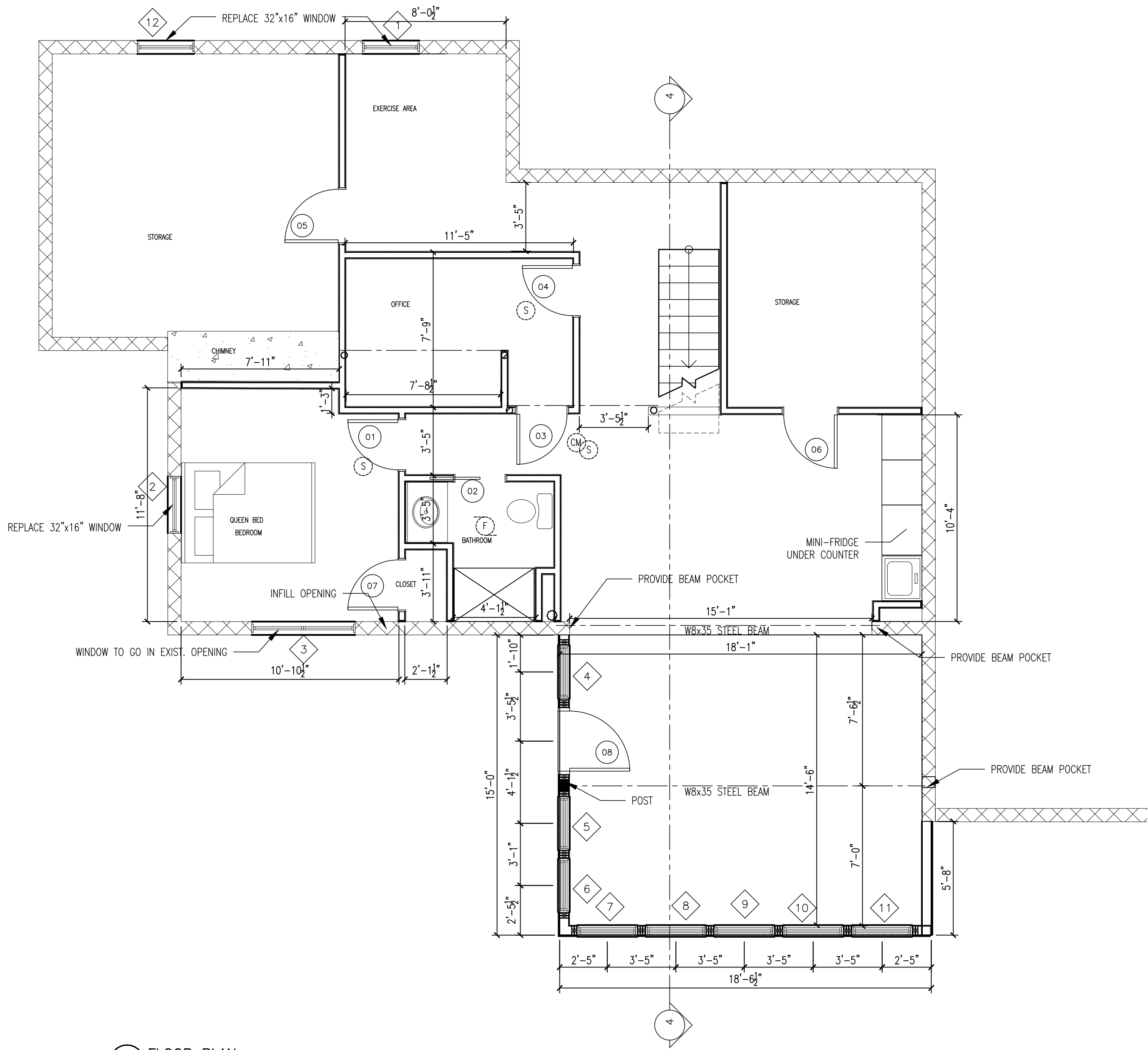
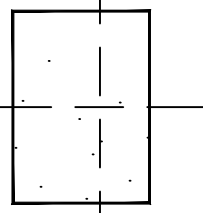
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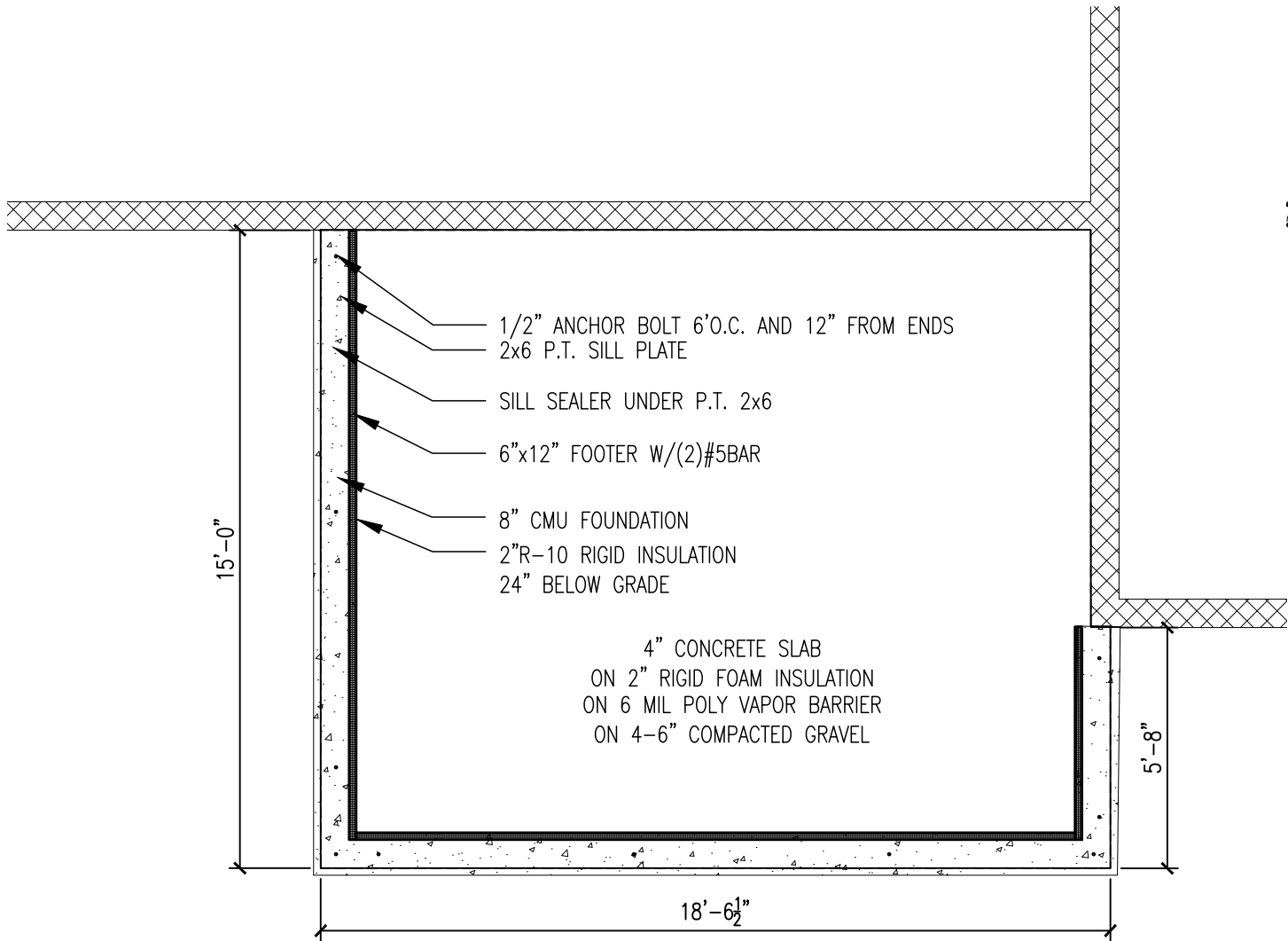
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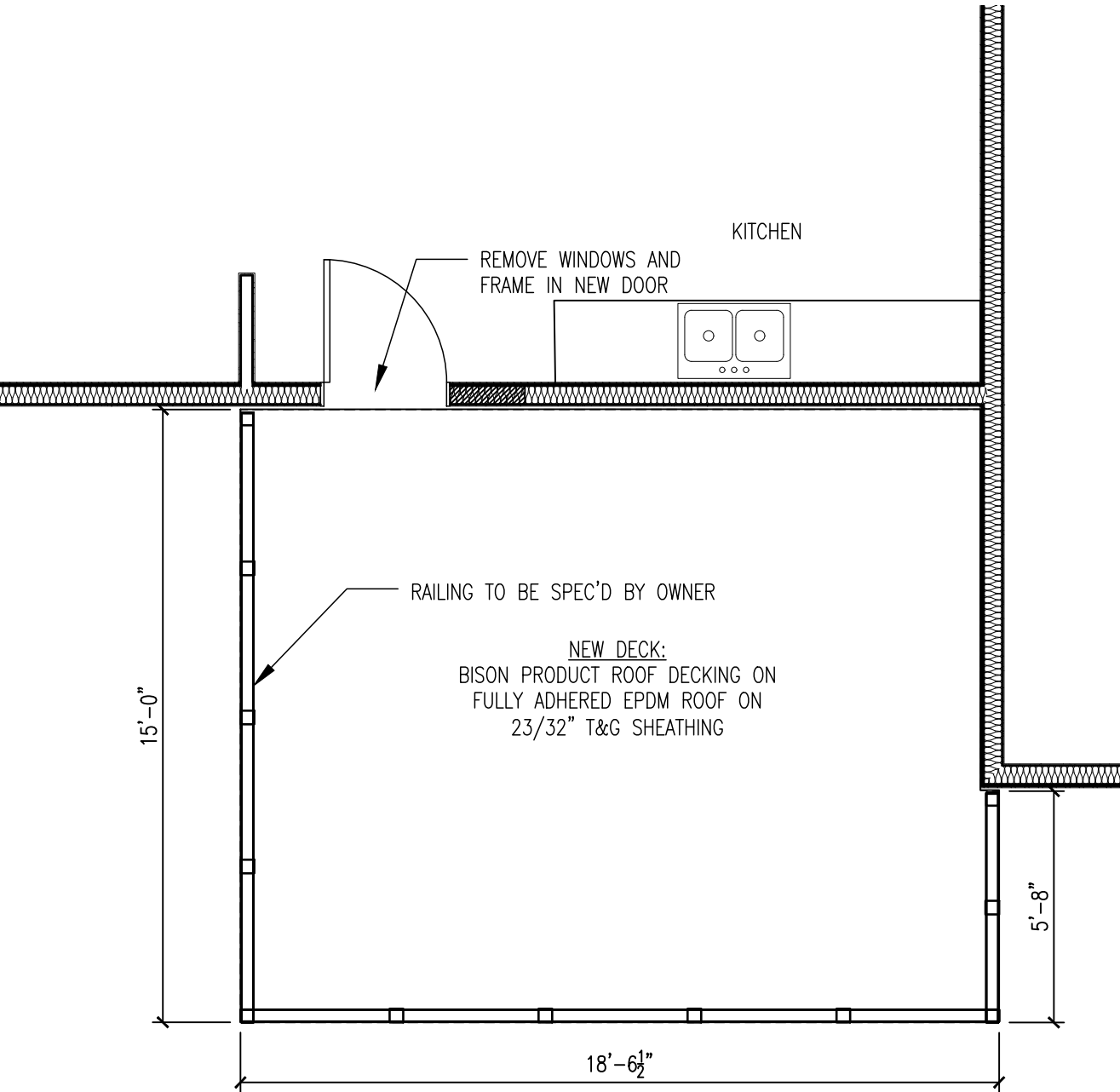
A-1



1 FLOOR PLAN
1/4"=1'-0"



2 FOUNDATION PLAN
1/4"=1'-0"



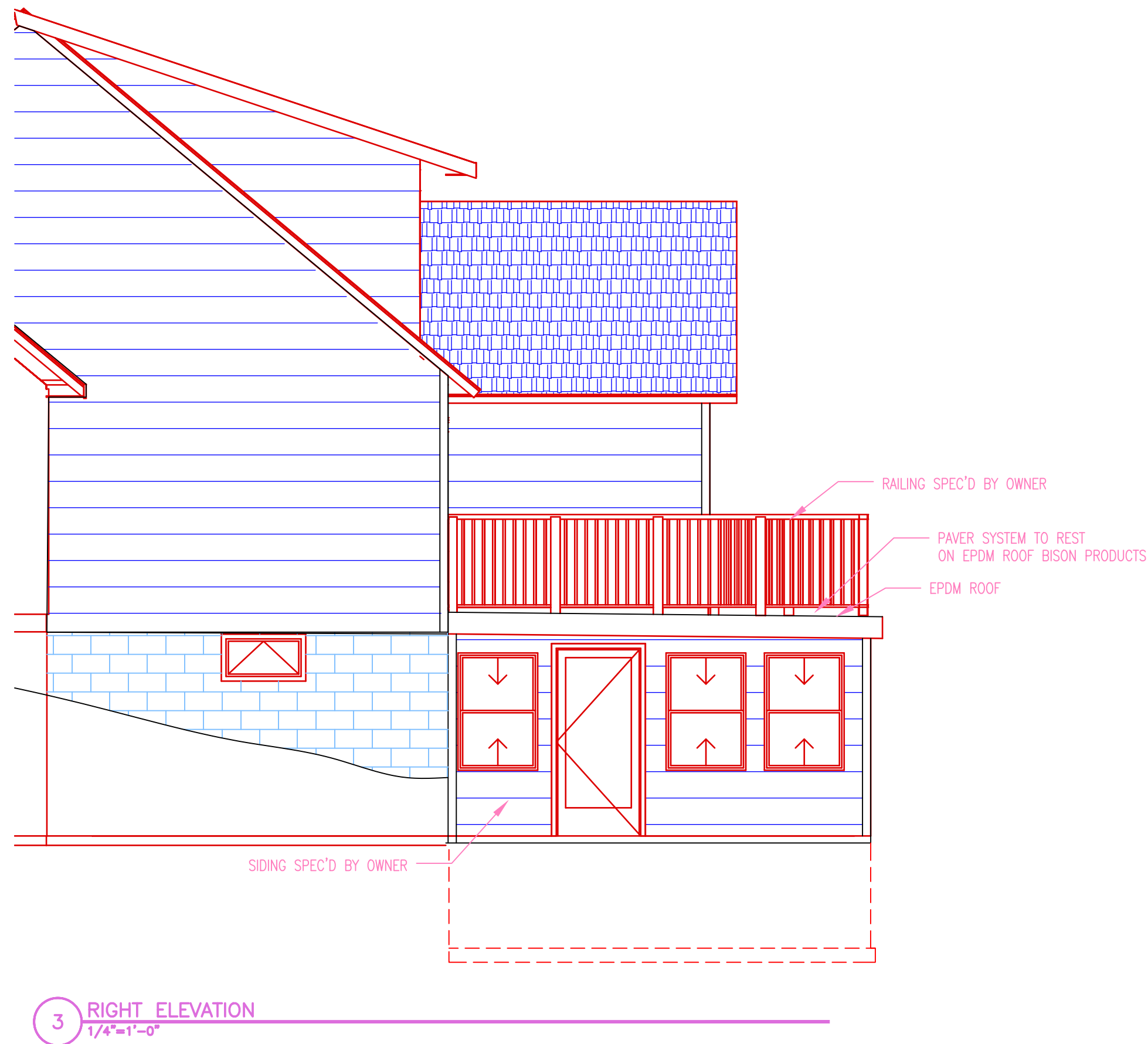
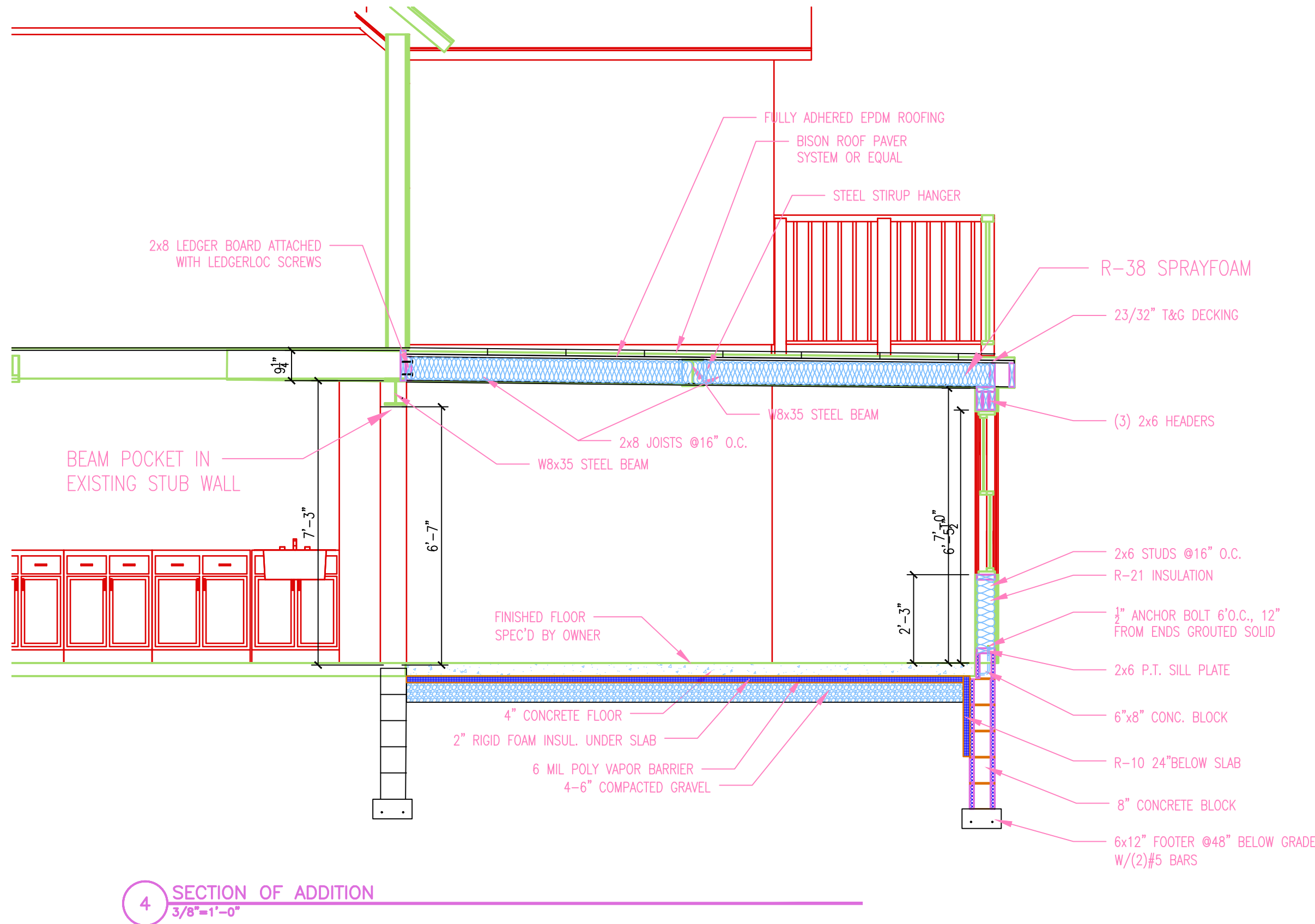
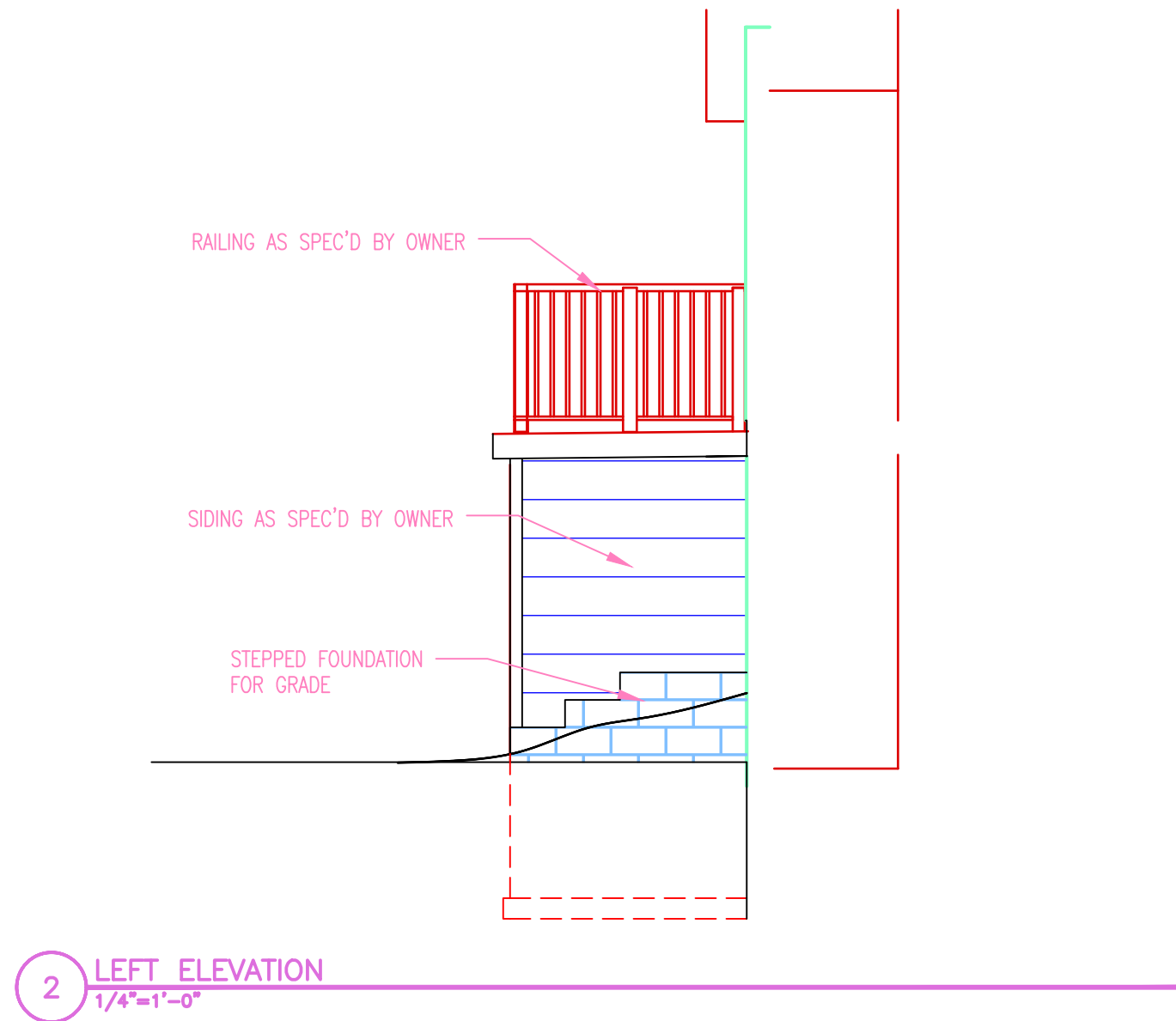
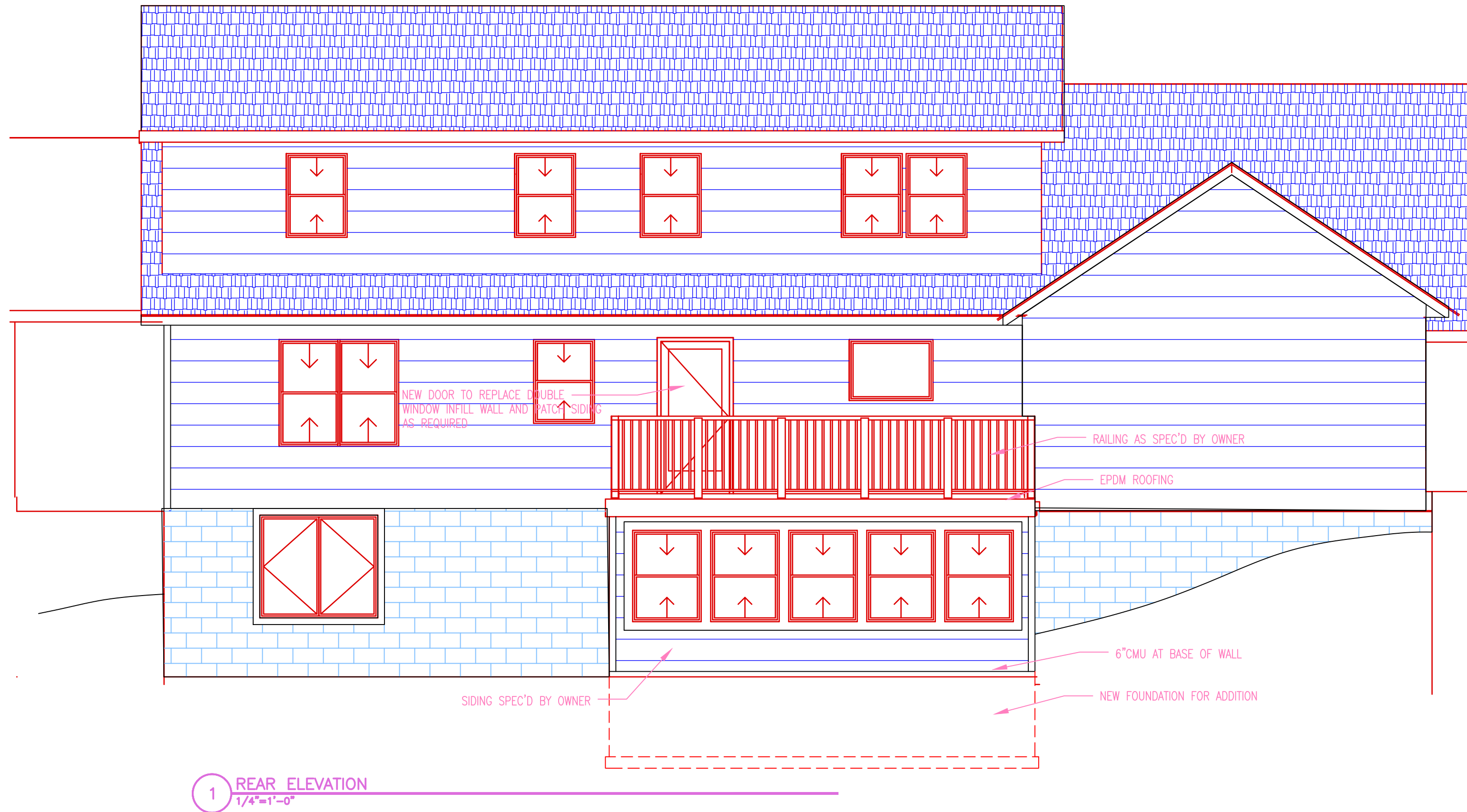
3 MAIN FLOOR DECK PLAN
1/4"=1'-0"

DOOR AND FRAME SCHEDULE

DOOR				FIRE RATING LABEL	HARDWARE		NOTES
MARK	Style	SIZE			SET NO	KEYSIDE RM NO	
		WD	HGT				
1	Hinged - Single	2'-6"	6'-8"	---	---	---	---
2	Pocket - Single	2'-6"	6'-8"	---	---	---	---
3	Hinged - Single	2'-6"	6'-6"	---	---	---	---
4	Hinged - Single	2'-6"	6'-8"	---	---	---	---
5	Hinged - Single	2'-8"	6'-8"	---	---	---	---
6	Hinged - Single	2'-8"	6'-8"	---	---	---	---
7	Hinged - Single	2'-0"	6'-8"	---	---	---	---
8	Hinged - Single - Full Lite	3'-0"	6'-8"	---	---	---	---

WINDOW SCHEDULE

MARK	Style	SIZE		TYPE	MATERIAL	NOTES
		Width	HEIGHT			
1	Awning	2'-8"	1'-4"	---	---	---
2	Awning	2'-8"	1'-4"	---	---	---
3	Casement - Double	5'-0"	4'-4"	---	---	---
4	Double Hung	2'-8"	4'-0"	---	---	---
5	Double Hung	2'-8"	4'-0"	---	---	---
6	Double Hung	2'-8"	4'-0"	---	---	---
7	Double Hung	3'-0"	4'-0"	---	---	---
8	Double Hung	3'-0"	4'-0"	---	---	---
9	Double Hung	3'-0"	4'-0"	---	---	---
10	Double Hung	3'-0"	4'-0"	---	---	---
11	Double Hung	3'-0"	4'-0"	---	---	---
12	Awning	2'-8"	1'-4"	---	---	---



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REVISION SCHEDULE

NAME	DATE
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PROJECT:

53 COUNTRY CLUB DRIVE
PITTSFORD, NY

CLIENT:

STEPHENSON

DRAWING:

SECTION AND ELEVATIONS

DRAWN:

MWO

CHECKED:

AHH

DATE:

5-6-24

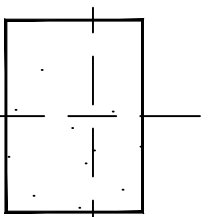
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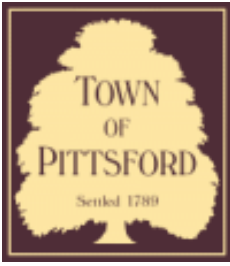












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000122

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 417 Mendon Center Road PITTSFORD, NY 14534

Tax ID Number: 177.04-1-11

Zoning District: RN Residential Neighborhood

Owner: Alexander, Dane M

Applicant: Alexander, Dane M

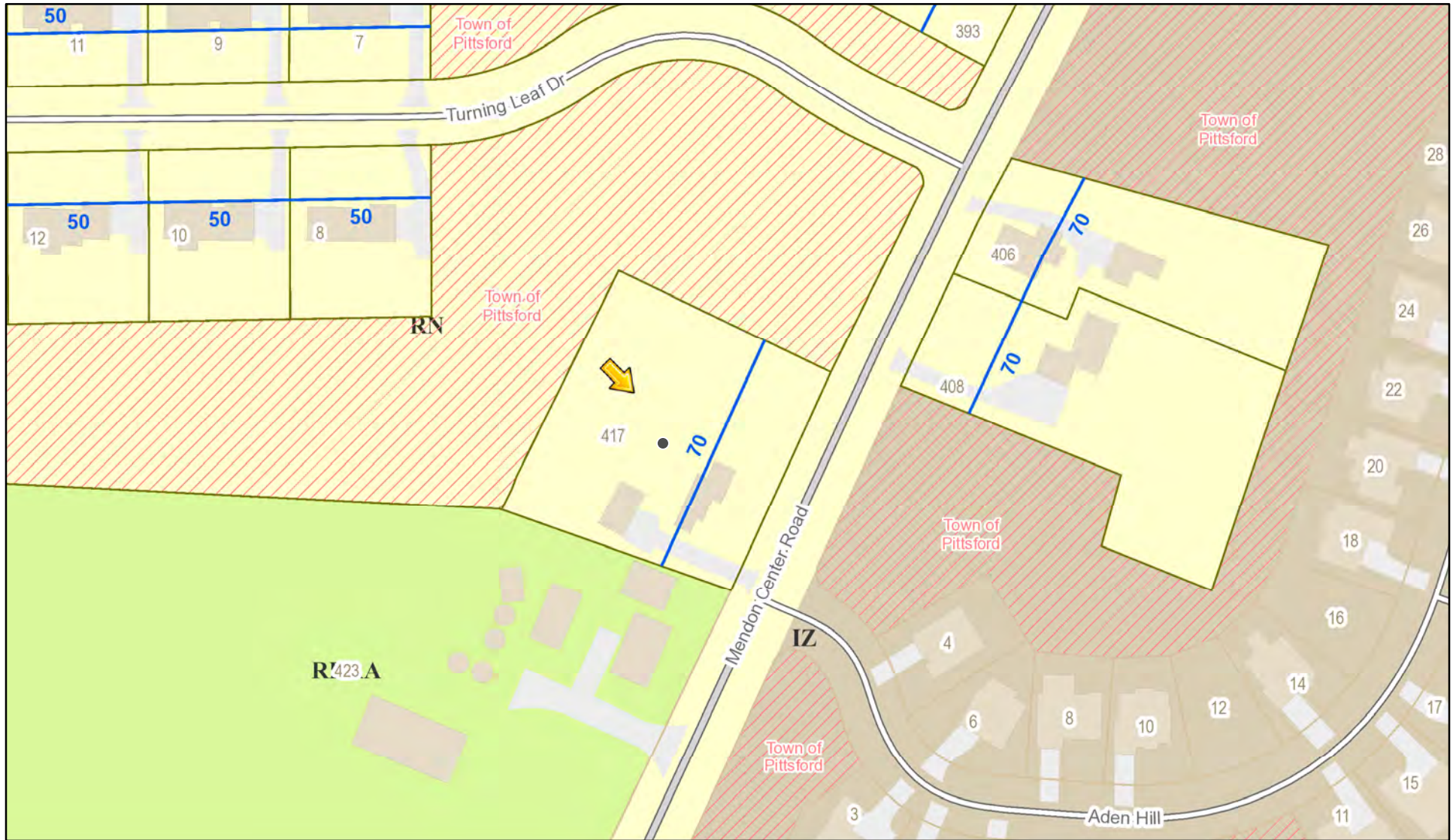
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

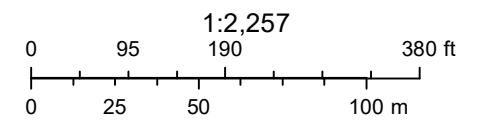
Project Description: Applicant is requesting design review for the addition of a rear mudroom and some window changes.

Meeting Date: November 14, 2024

RN Residential Neighborhood Zoning



Printed November 7, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



20

18

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FIRM Panel
36055C0366G

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Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

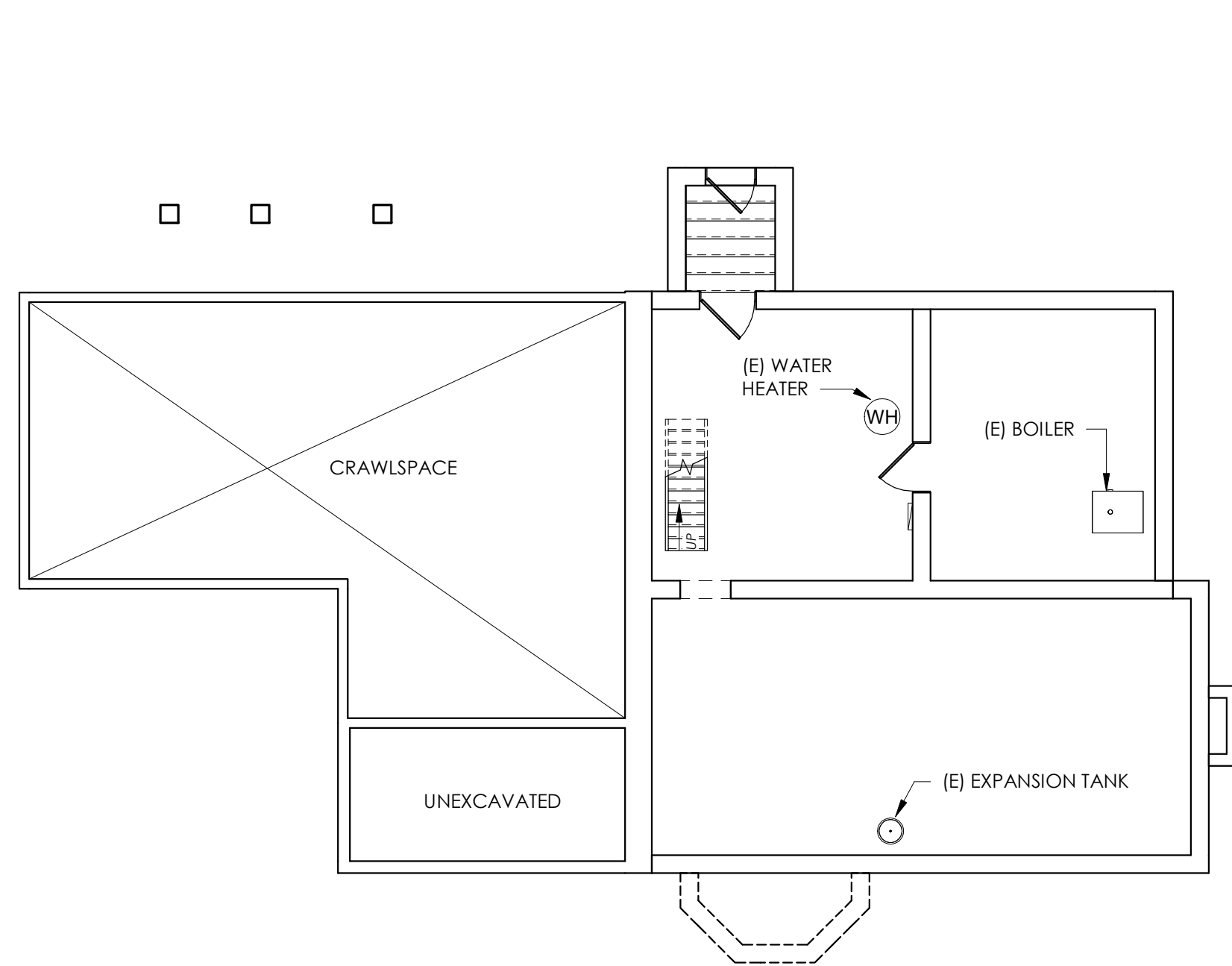
100 ft

Nearmap

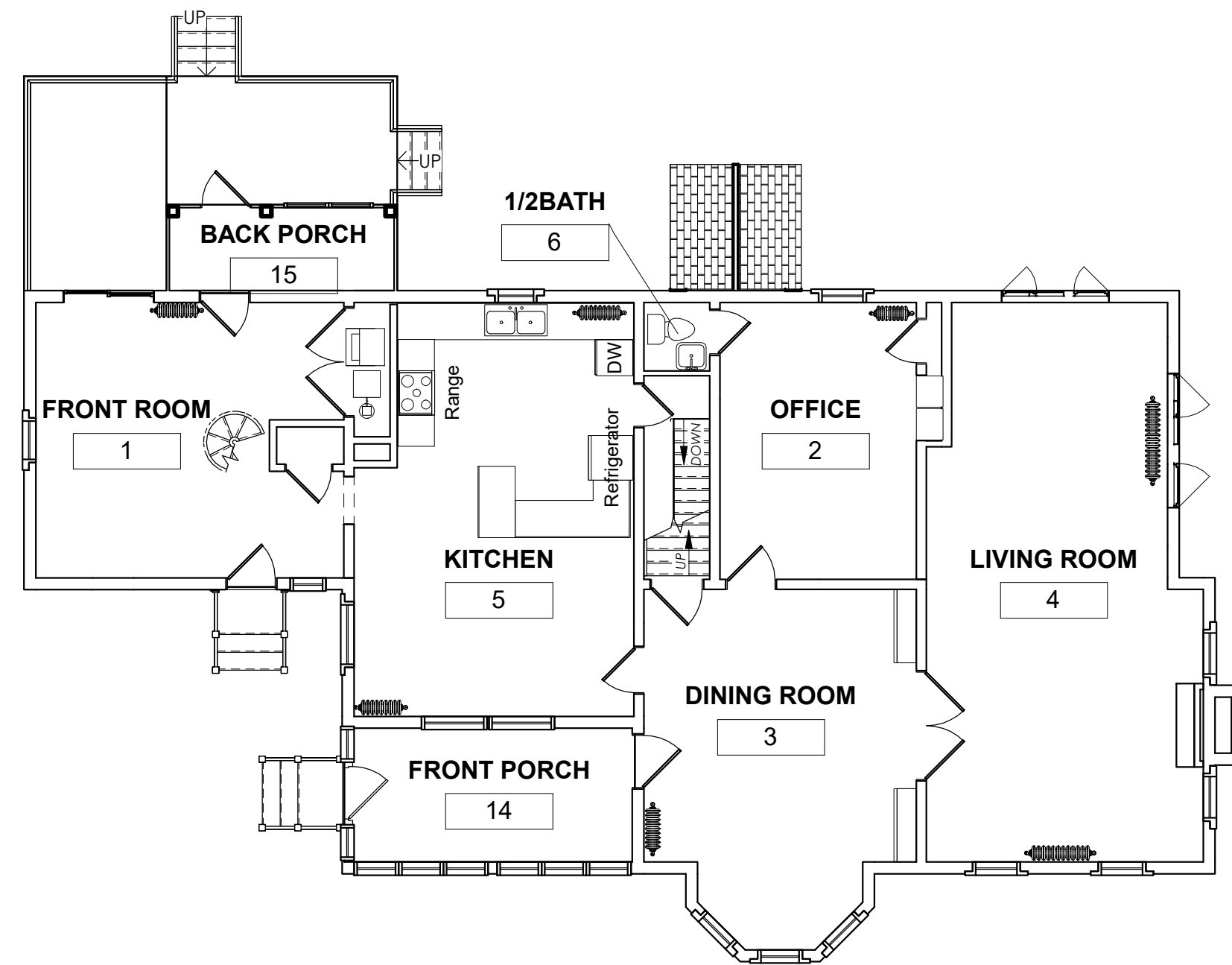
2024 RENOVATION TO 417 MENDON CENTER RD

- G-1 GENERAL NOTES AND CONDITIONS
- A-1 EXISTING & DEMO FLOOR PLANS
- A-2 OVERALL FLOOR PLANS
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS
- A-5 ENLARGED FLOOR PLAN - FRONT ROOM
- A-6 ENLARGED FLOOR PLAN - KITCHEN
- A-7 ENLARGED FLOOR PLANS - LIVING ROOM AND BATH 2
- E-1 ELECTRICAL PLANS

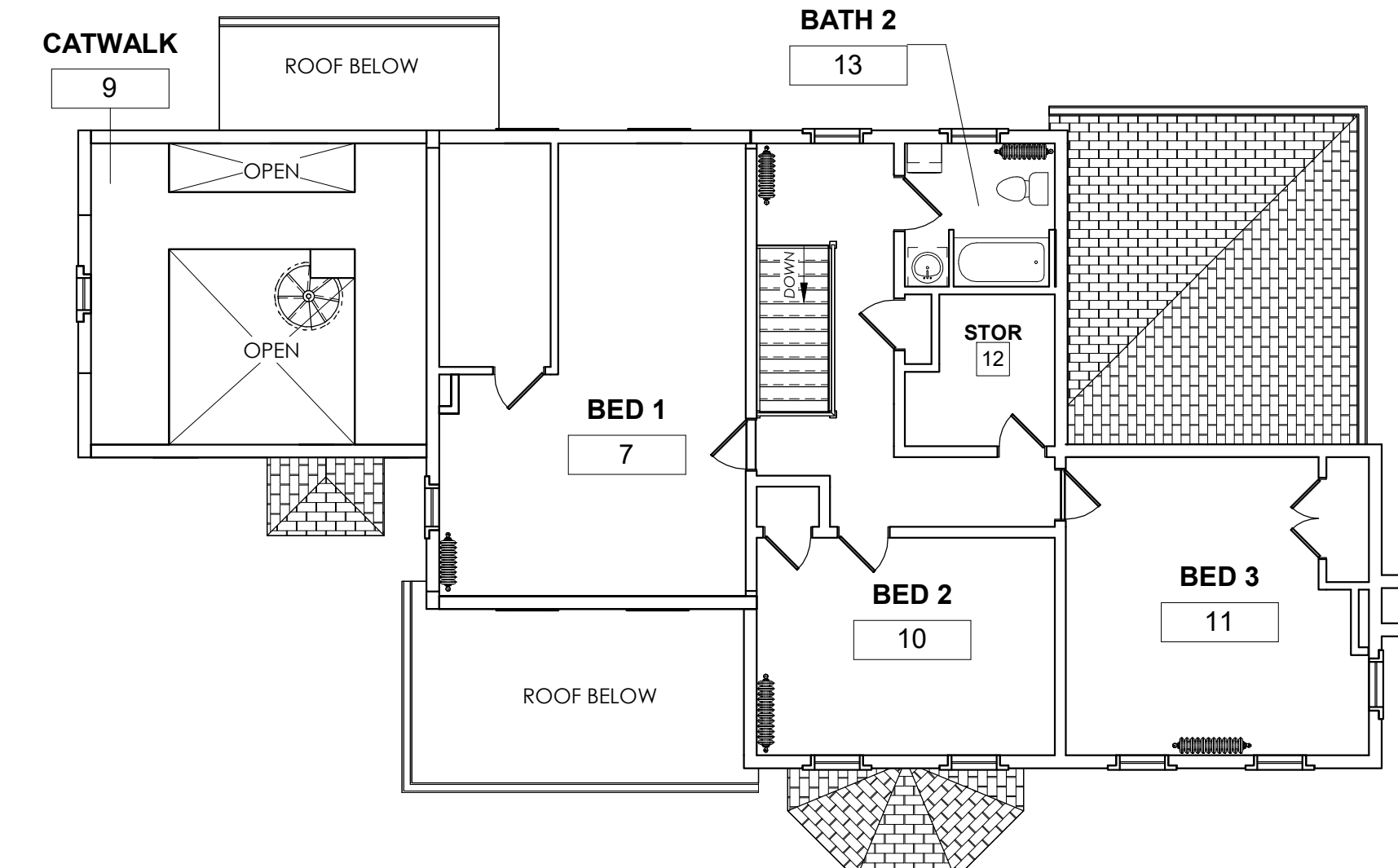
DATE: 09/13/2024



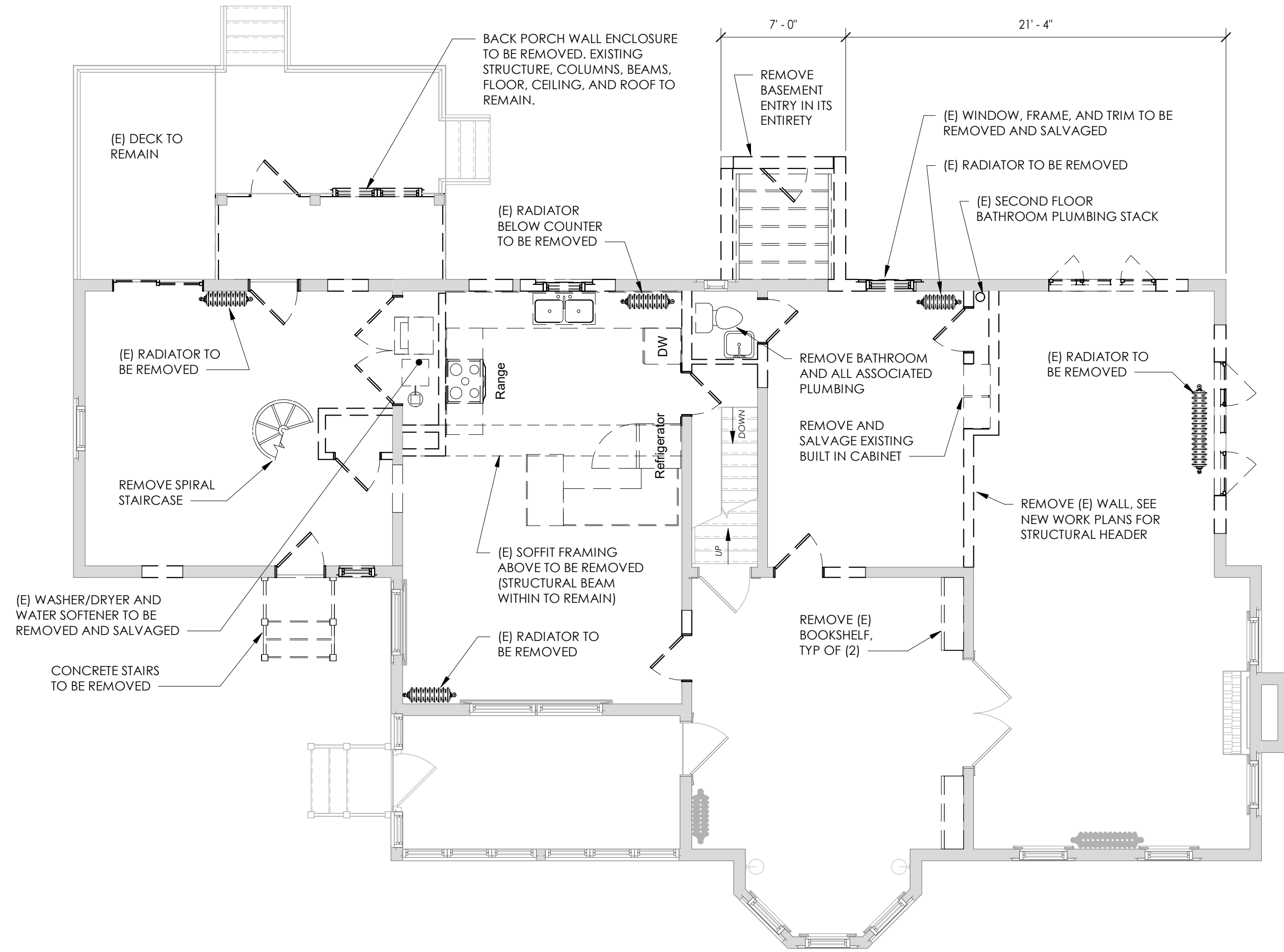
1 EXISTING BASEMENT PLAN
1/8" = 1'-0"



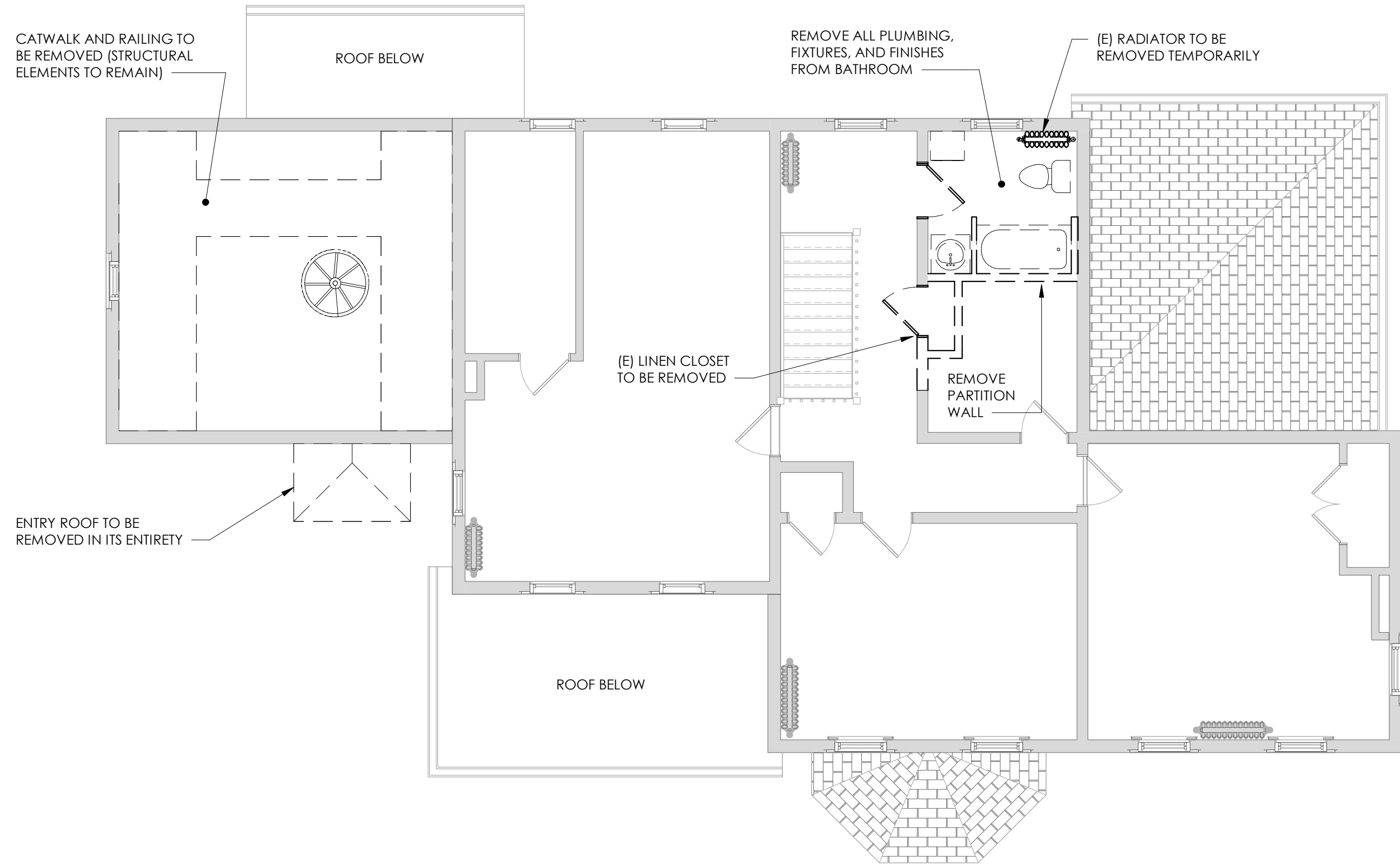
2 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
1/8" = 1'-0"



4 FIRST FLOOR DEMO PLAN
3/16" = 1'-0"



5 SECOND FLOOR DEMO PLAN
3/16" = 1'-0"

STAMP:



CLIENT:
DANE AND LAURA ALEXANDER
417 MENDON CENTER ROAD
PITTSFORD, NY 14534

Passero Associates
242 WEST MAIN ST., SUITE 100
ROCHESTER, NY 14614
PHONE: (585) 325-1000
FAX: (585) 325-1691

NO.	DATE	BY	DESCRIPTION

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EXISTING & DEMO
FLOOR PLANS

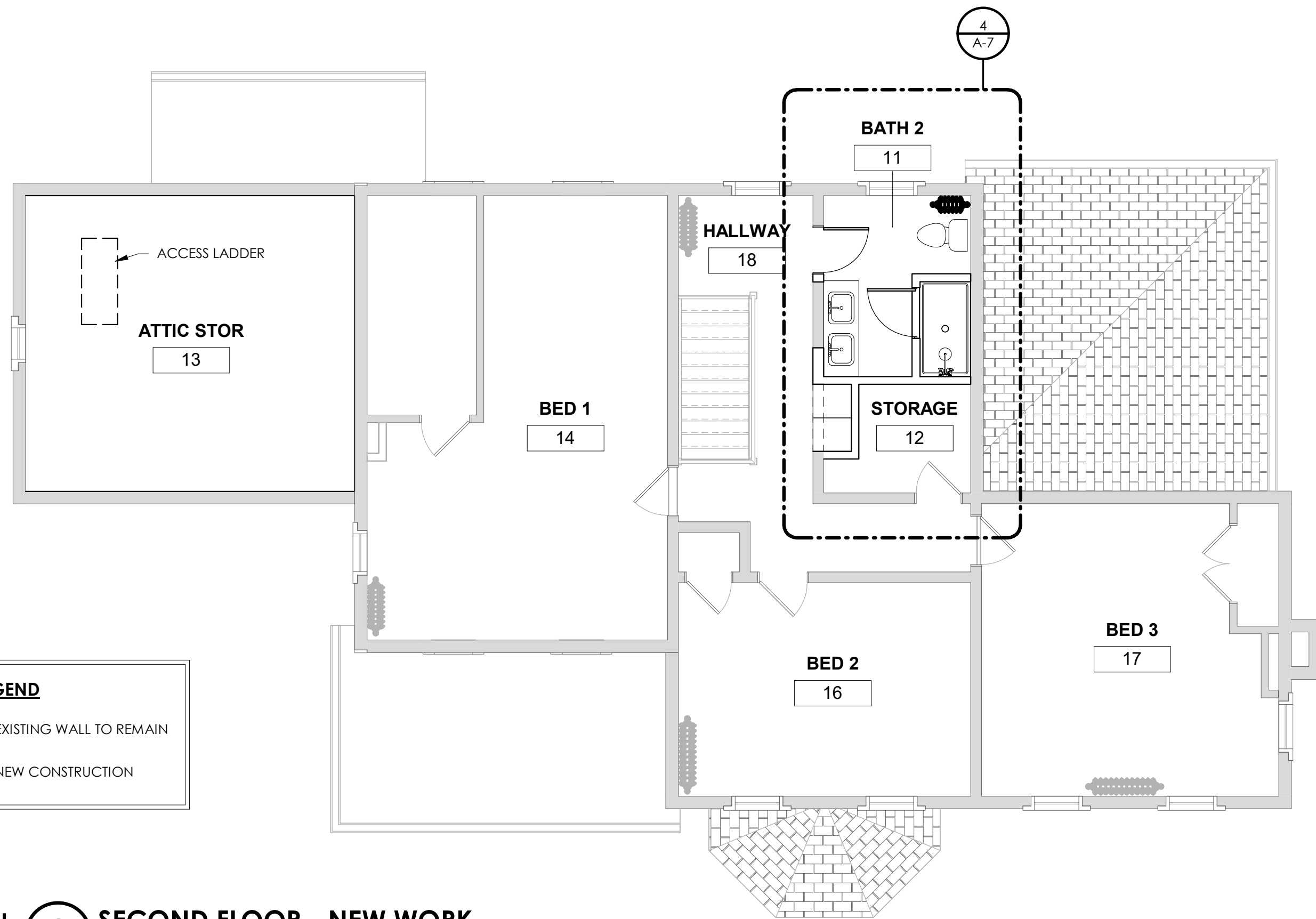
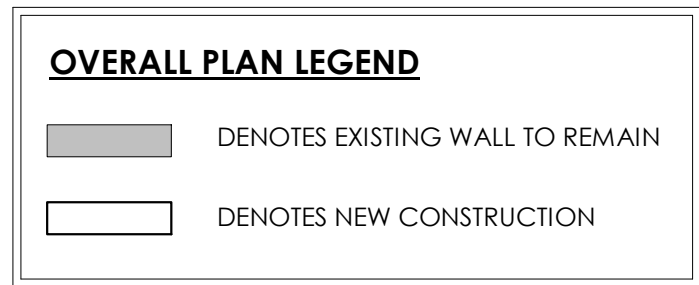
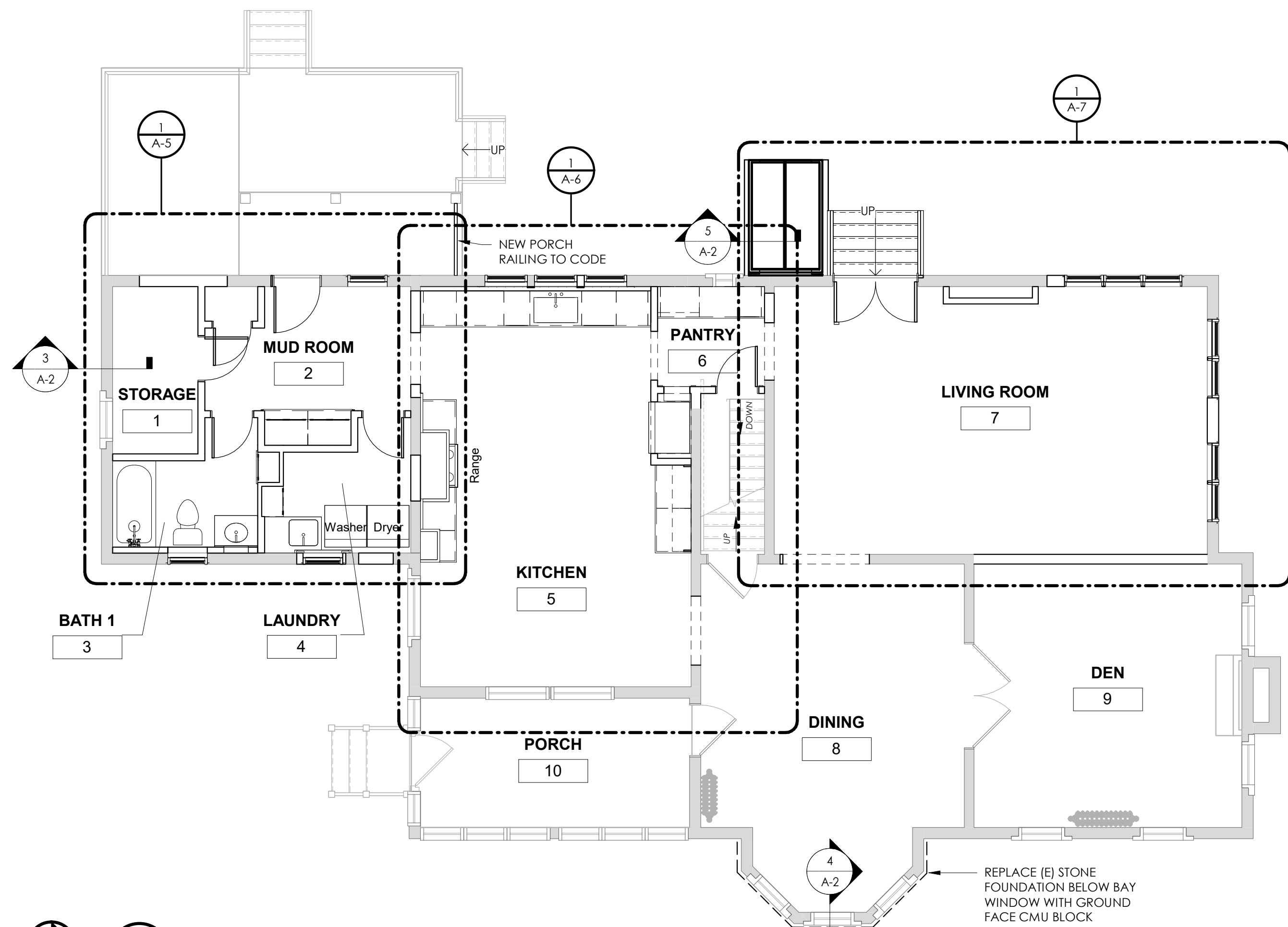
417 MENDON
CENTER RD
ALEXANDER RESIDENCE

TOWN/CITY: PITTSFORD
COUNTY: MONROE STATE: NEW YORK

PROJECT NO.:
20243974.0000

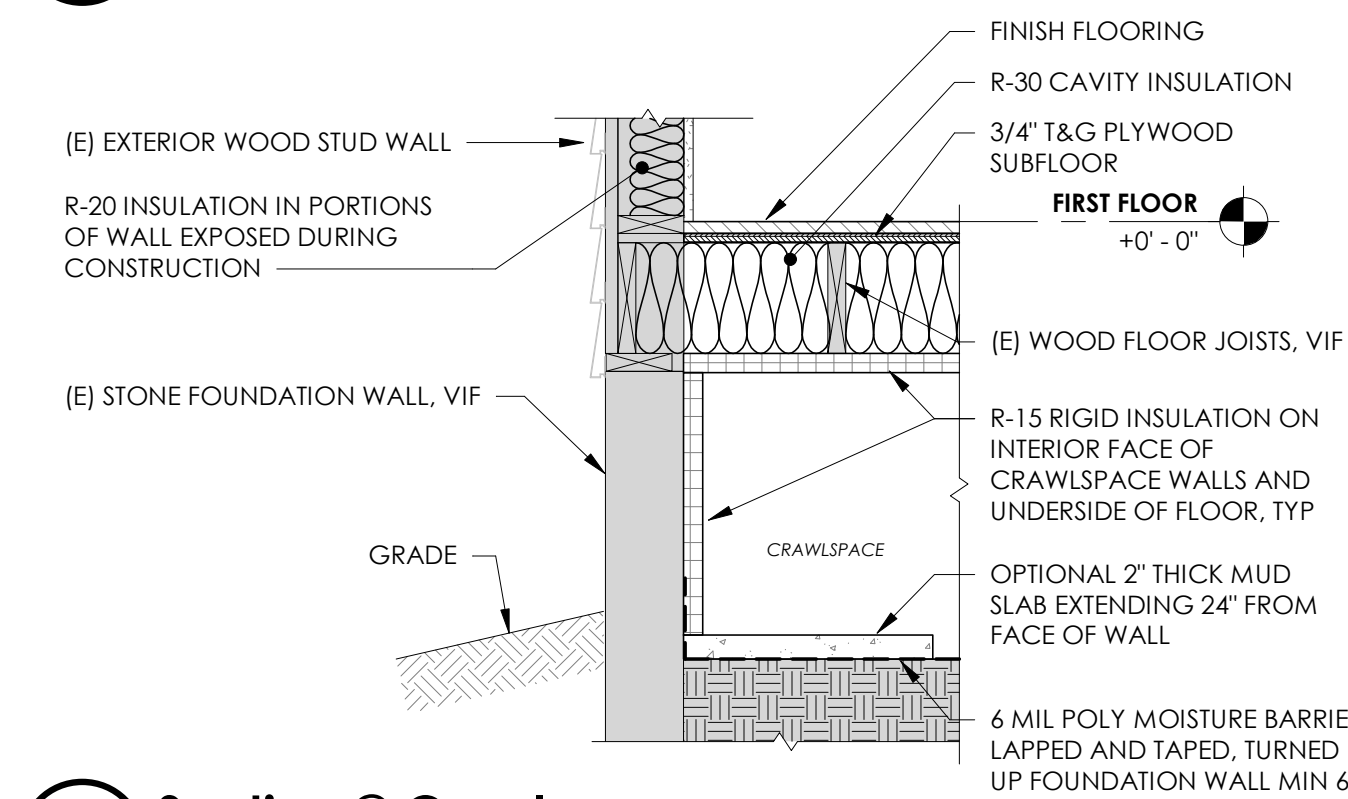
DRAWING NO.:
A-1

DATE:
09/13/2024

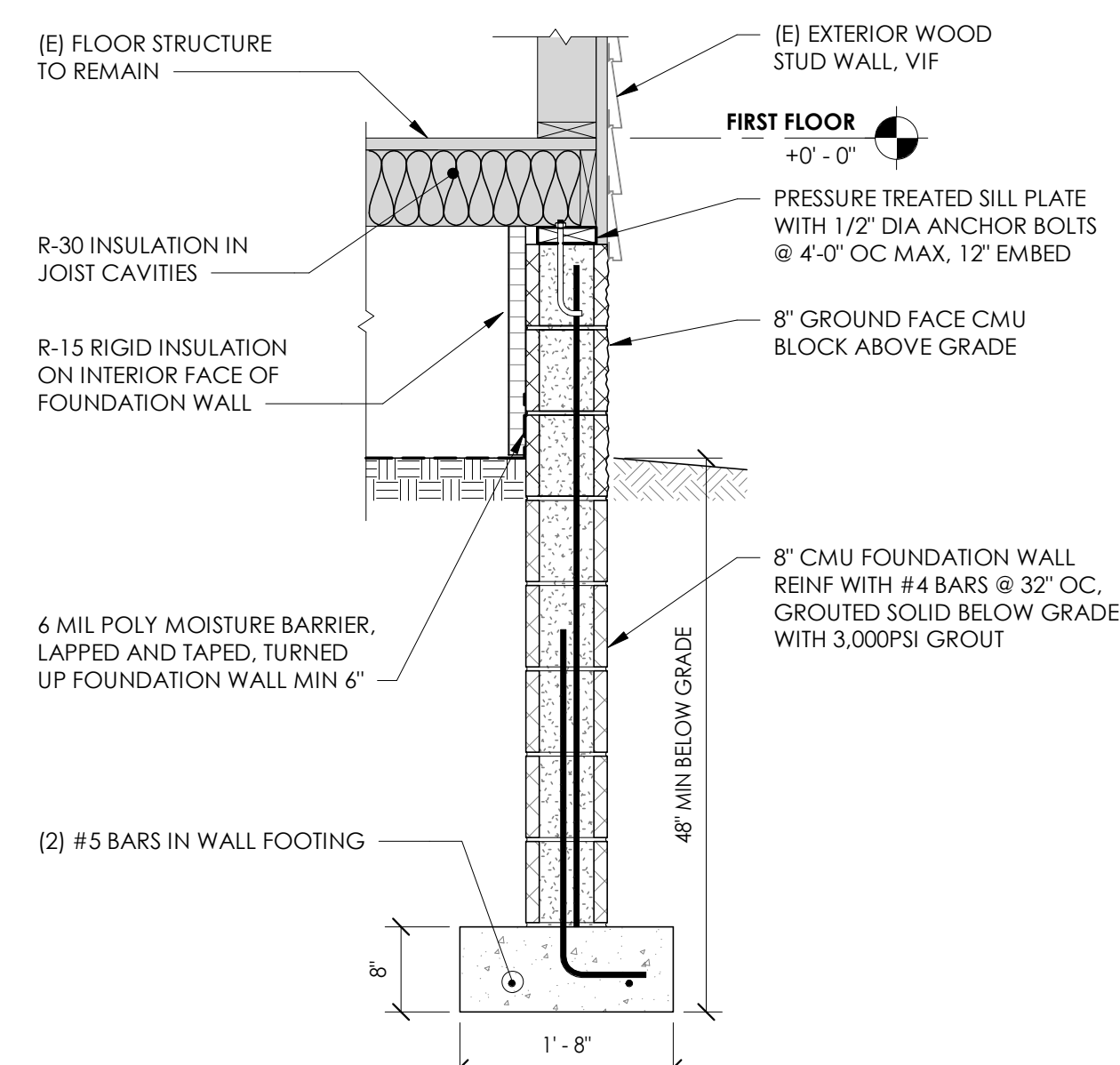


1 FIRST FLOOR - NEW WORK
3/16" = 1'-0"

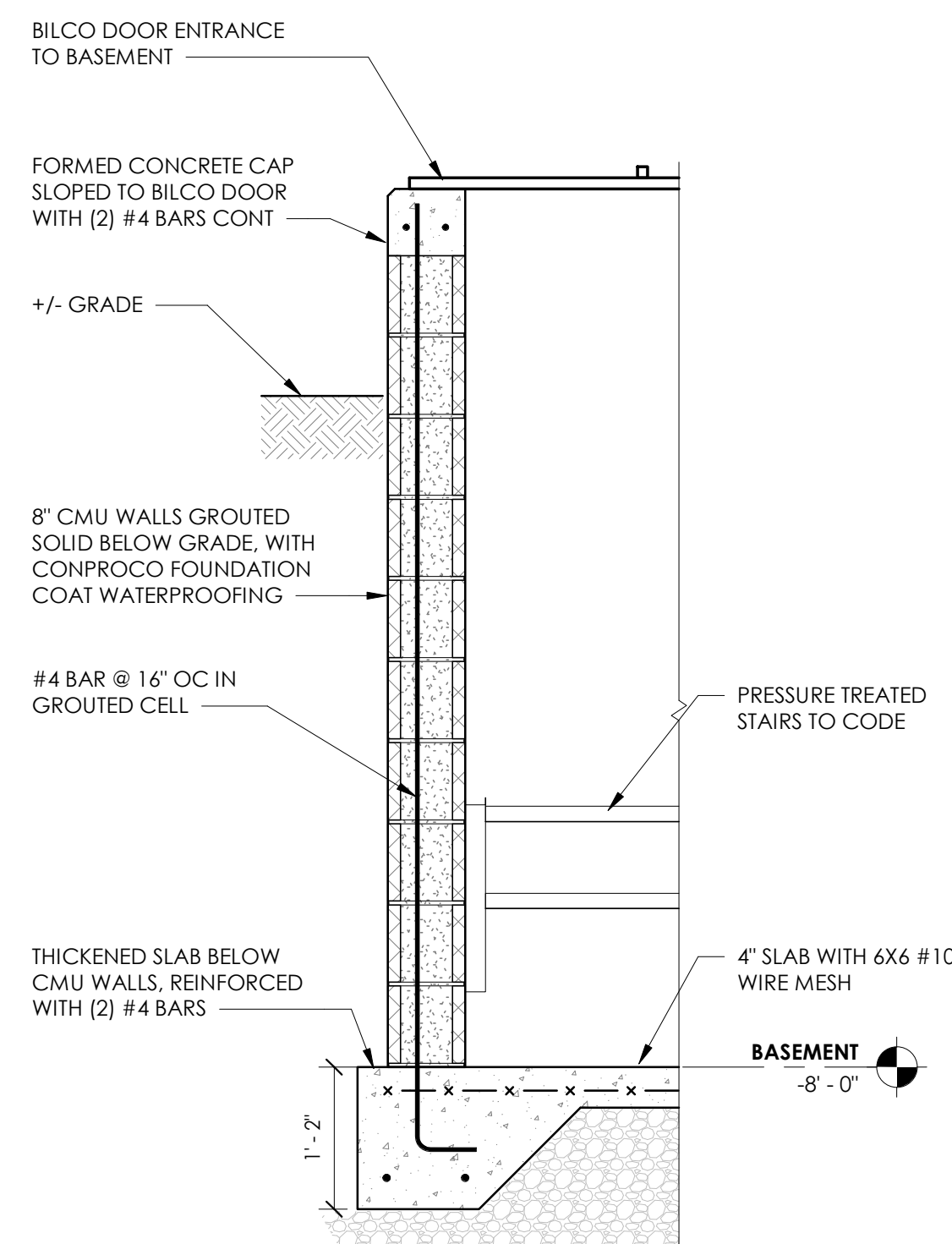
2 SECOND FLOOR - NEW WORK
3/16" = 1'-0"



3 Section @ Crawlspace
3/4" = 1'-0"



4 Section @ Bay Window
3/4" = 1'-0"



5 Section @ New Basement Entry
3/4" = 1'-0"

WINDOW SCHEDULE				
MARK	TYPE	RO WIDTH	RO HEIGHT	COUNT
A	H3 ALUMINUM CLAD DOUBLE HUNG 2.0	2' - 4"	4' - 0"	3
B	H3 ALUMINUM CLAD DOUBLE HUNG 2.0	2' - 6"	4' - 0"	3
C	H3 ALUMINUM CLAD (3) DOUBLE HUNG 2.0	6' - 10"	4' - 6 1/2"	1
D	H3 ALUMINUM CLAD (2) DOUBLE HUNG 2.0	4' - 7"	4' - 6 1/2"	2

EXTERIOR DOOR SCHEDULE				
MARK	TYPE	WIDTH	HEIGHT	COUNT
100	Salvaged Exterior Door with new Jamb	2' - 8"	7' - 0"	1
101	Full Glass Inswing French Door	4' - 10 5/8"	7' - 0 1/2"	1

- NOTES:
- EXTERIOR OF WINDOWS TO BE WHITE, TO MATCH EXISTING
 - EXTERIOR OF DOORS TO BE BLACK, TO MATCH EXISTING

INTERIOR DOOR SCHEDULE						
Mark	TYPE	WIDTH	HEIGHT	SWING	SIZE/DESIGNATION	COUNT
102	Solid Wood Interior Door	2' - 4"	7' - 0"	Left Inswing	28" x 84"	1
103	Solid Wood Interior Door	2' - 4"	7' - 0"	Right Inswing	28" x 84"	1
104	Solid Wood Interior Door	2' - 2"	7' - 0"	Left Outswing	26" x 84"	1
105	Solid Wood Interior Door	2' - 6"	7' - 0"	Right Outswing	30" x 84"	1
106	Solid Wood Interior Door	2' - 4"	7' - 0"	Left Outswing	28" x 84"	1
107	Solid Wood Interior Door	2' - 4"	6' - 8"	Left Inswing	28" x 80"	1

STAMP:



CLIENT:
DANE AND LAURA ALEXANDER
417 MENDON CENTER ROAD
PITTSFORD, NY 14534

Passero Associates
242 WEST MAIN ST., SUITE 100
ROCHESTER, NY 14614
(585) 325-1000
FAX: (585) 325-1691

NO.	DATE	BY	DESCRIPTION

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**OVERALL FLOOR
PLANS**

**417 MENDON
CENTER RD**

ALEXANDER RESIDENCE

TOWN/CITY: PITTSFORD
COUNTY: MONROE STATE: NEW YORK

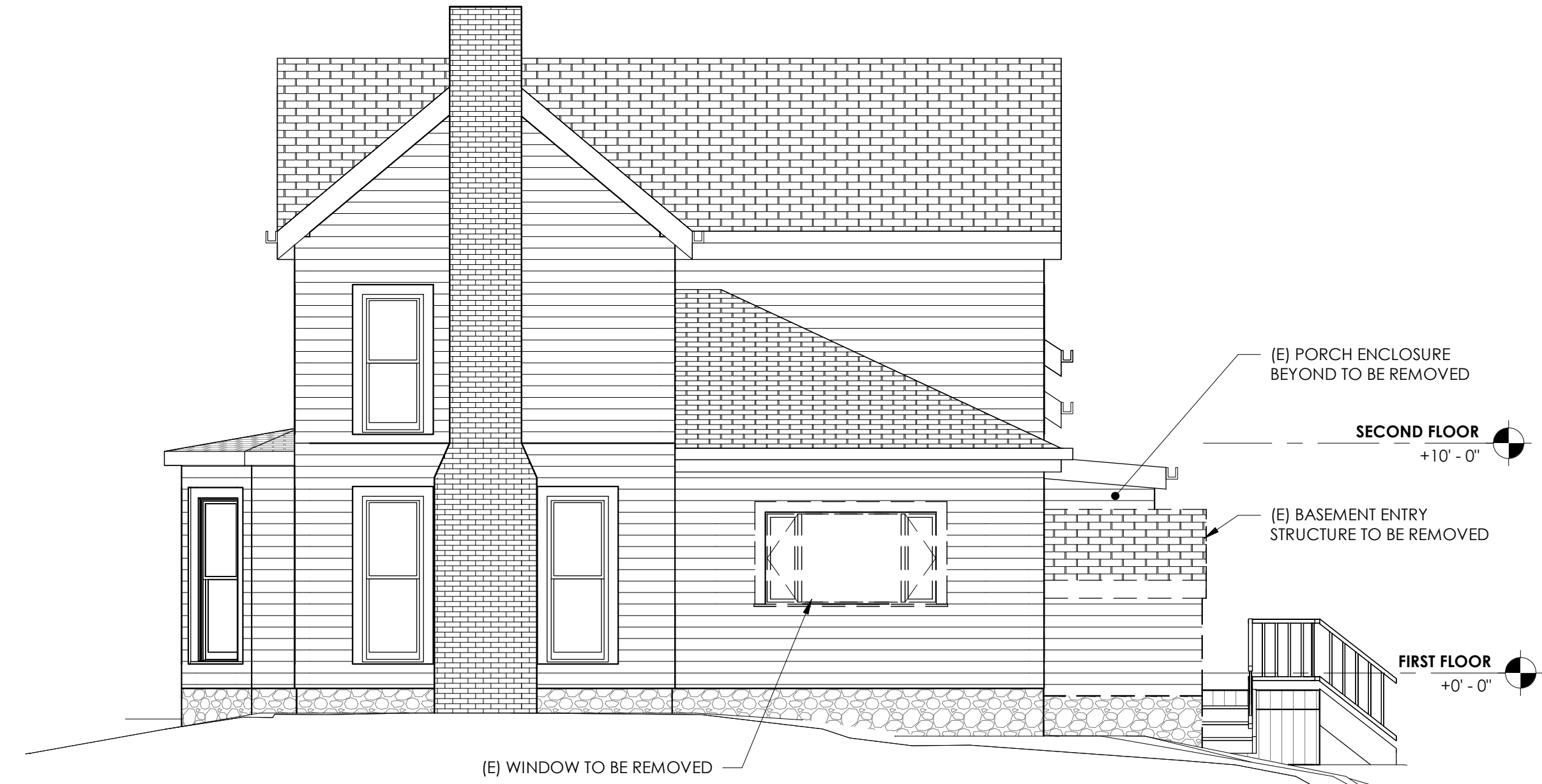
PROJECT NO.:
20243974.0000

DRAWING NO.:
A-2

DATE:
09/13/2024



1 EXISTING - FRONT ELEVATION
3/16" = 1'-0"



3 EXISTING - NORTH SIDE ELEVATION
3/16" = 1'-0"



2 PROPOSED - FRONT ELEVATION
3/16" = 1'-0"



4 PROPOSED - NORTH SIDE ELEVATION
3/16" = 1'-0"

WINDOW SCHEDULE				
MARK	TYPE	RO WIDTH	RO HEIGHT	COUNT
A	H3 ALUMINUM CLAD DOUBLE HUNG 2.0	2' - 4"	4' - 0"	3
B	H3 ALUMINUM CLAD DOUBLE HUNG 2.0	2' - 6"	4' - 0"	3
C	H3 ALUMINUM CLAD (3) DOUBLE HUNG 2.0	6' - 10"	4' - 6 1/2"	1
D	H3 ALUMINUM CLAD (2) DOUBLE HUNG 2.0	4' - 7"	4' - 6 1/2"	2

- NOTES:
1. EXTERIOR OF WINDOWS TO BE WHITE, TO MATCH EXISTING
2. EXTERIOR OF DOORS TO BE BLACK, TO MATCH EXISTING

EXTERIOR DOOR SCHEDULE				
MARK	TYPE	WIDTH	HEIGHT	COUNT
100	Salvaged Exterior Door with new Jamb	2' - 8"	7' - 0"	1
101	Full Glass Inswing French Door	4' - 10 5/8"	7' - 0 1/2"	1

STAMP:



CLIENT:
DANE AND LAURA ALEXANDER
417 MENDON CENTER ROAD
PITTSFORD, NY 14534

Passero Associates
242 WEST MAIN ST., SUITE 100
ROCHESTER, NY 14614
(585) 325-1000
FAX: (585) 325-1691

NO.	DATE	BY	DESCRIPTION

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EXTERIOR
ELEVATIONS

417 MENDON
CENTER RD

ALEXANDER RESIDENCE

TOWN/CITY: PITTSFORD
COUNTY: MONROE STATE: NEW YORK

PROJECT NO.:
20243974.0000

DRAWING NO.:
A-3

DATE:
09/13/2024



1 EXISTING - REAR ELEVATION
3/16" = 1'-0"



3 EXISTING - SOUTH SIDE ELEVATION
3/16" = 1'-0"



2 PROPOSED - REAR ELEVATION
3/16" = 1'-0"

WINDOW SCHEDULE				
MARK	TYPE	RO WIDTH	RO HEIGHT	COUNT
A	H3 ALUMINUM CLAD DOUBLE HUNG 2.0	2' - 4"	4' - 0"	3
B	H3 ALUMINUM CLAD DOUBLE HUNG 2.0	2' - 6"	4' - 0"	3
C	H3 ALUMINUM CLAD (3) DOUBLE HUNG 2.0	6' - 10"	4' - 6 1/2"	1
D	H3 ALUMINUM CLAD (2) DOUBLE HUNG 2.0	4' - 7"	4' - 6 1/2"	2

NOTES:
1. EXTERIOR OF WINDOWS TO BE WHITE, TO MATCH EXISTING
2. EXTERIOR OF DOORS TO BE BLACK, TO MATCH EXISTING

EXTERIOR DOOR SCHEDULE				
MARK	TYPE	WIDTH	HEIGHT	COUNT
100	Salvaged Exterior Door with new Jamb	2' - 8"	7' - 0"	1
101	Full Glass Inswing French Door	4' - 10 5/8"	7' - 0 1/2"	1



4 PROPOSED - SOUTH SIDE ELEVATION
3/16" = 1'-0"

STAMP:



CLIENT:
DANE AND LAURA ALEXANDER
417 MENDON CENTER ROAD
PITTSFORD, NY 14534

Passero Associates
242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

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EXTERIOR
ELEVATIONS

417 MENDON
CENTER RD

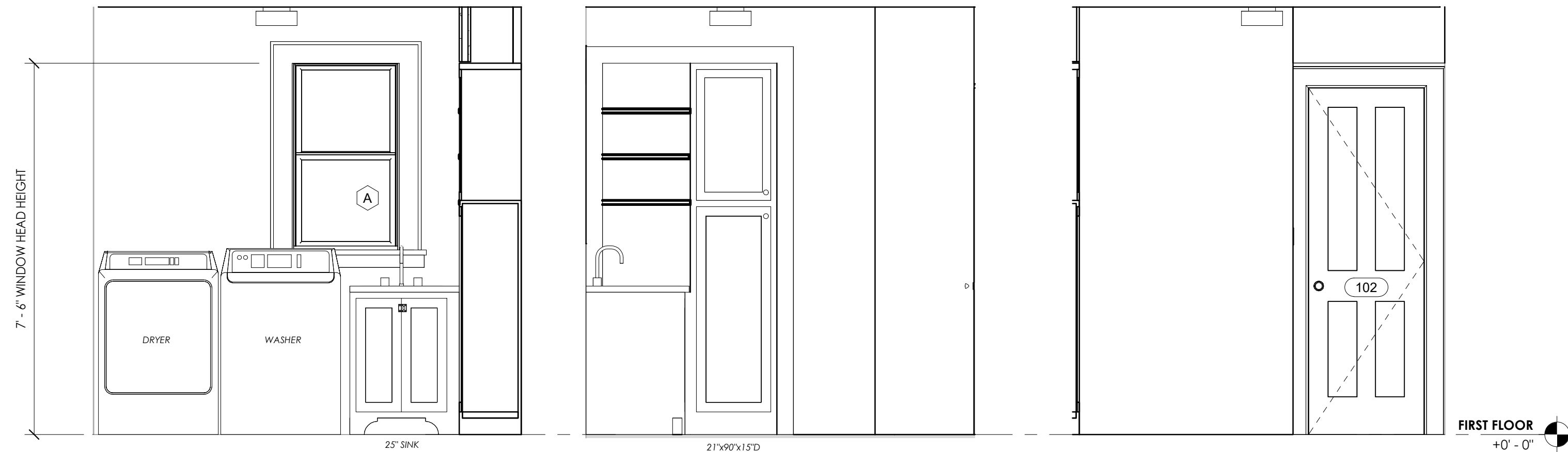
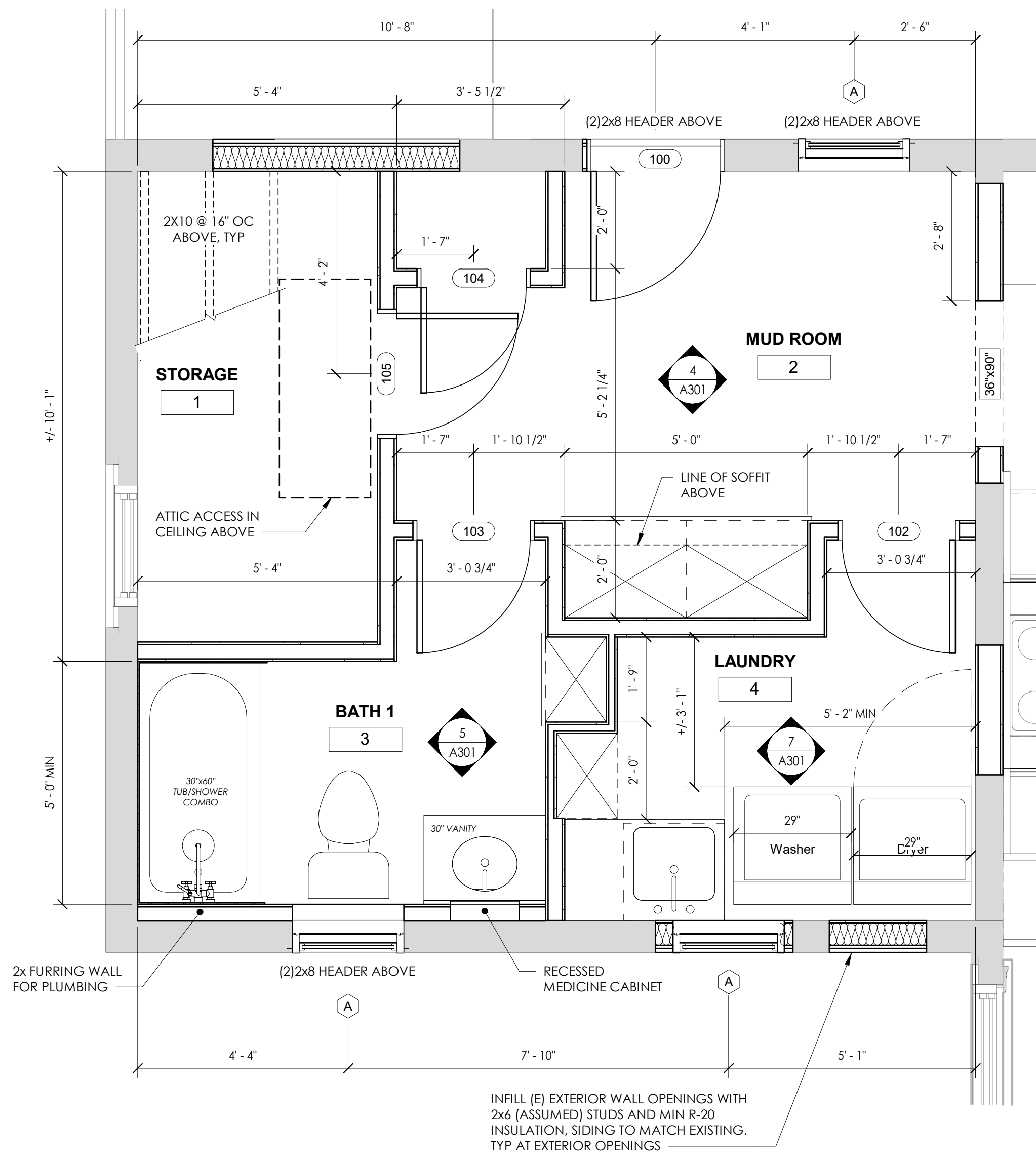
ALEXANDER RESIDENCE

TOWN/CITY: PITTSFORD
COUNTY: MONROE STATE: NEW YORK

PROJECT NO.:
20243974.0000

DRAWING NO.:
A-4

DATE:
09/13/2024



2 LAUNDRY - ELEVATION A
1/2" = 1'-0"

3 LAUNDRY - ELEVATION B
1/2" = 1'-0"

4 LAUNDRY - ELEVATION C
1/2" = 1'-0"



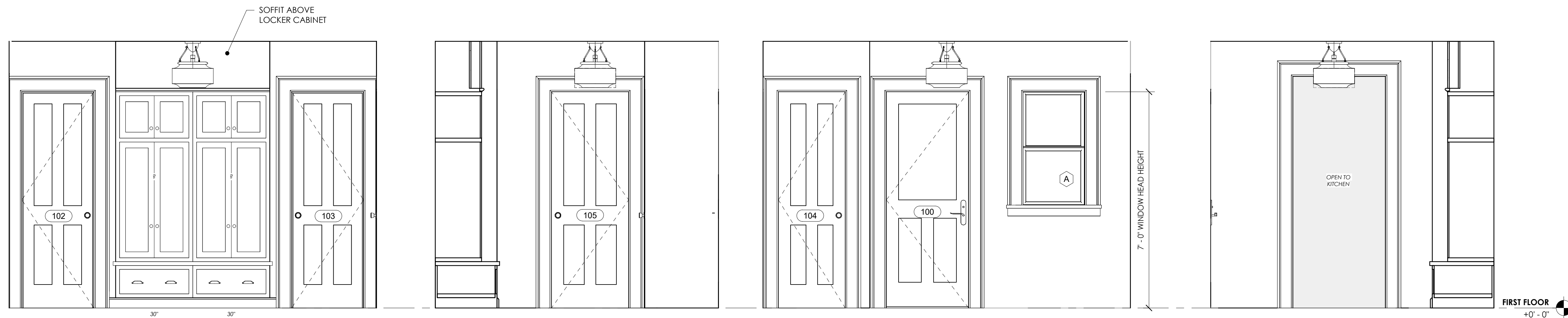
5 BATH 1 - ELEVATION A
1/2" = 1'-0"

6 BATH 1 - ELEVATION B
1/2" = 1'-0"

7 BATH 1 - ELEVATION C
1/2" = 1'-0"

8 BATH 1 - ELEVATION D
1/2" = 1'-0"

1 FRONT ROOM - NEW WORK
1/2" = 1'-0"



9 MUDROOM - ELEVATION A
1/2" = 1'-0"

10 MUDROOM - ELEVATION B
1/2" = 1'-0"

11 MUDROOM - ELEVATION C
1/2" = 1'-0"

12 MUDROOM - ELEVATION D
1/2" = 1'-0"

STAMP:



CLIENT:
DANE AND LAURA ALEXANDER
417 MENDON CENTER ROAD
PITTSFORD, NY 14534

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

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ENLARGED FLOOR
PLAN - FRONT ROOM

417 MENDON
CENTER RD
ALEXANDER RESIDENCE

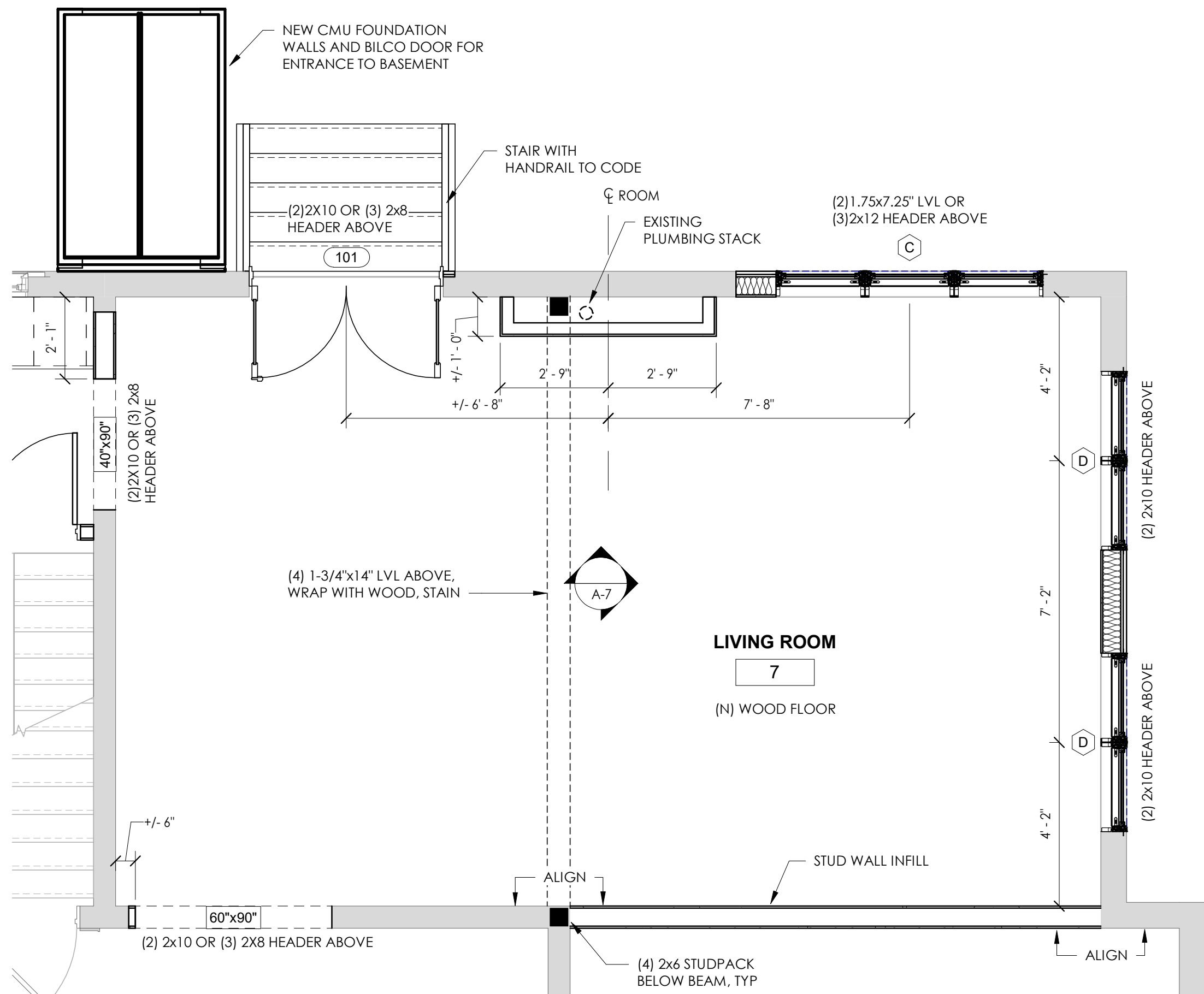
TOWN/CITY: PITTSFORD
COUNTY: MONROE STATE: NEW YORK

PROJECT NO.:
20243974.0000

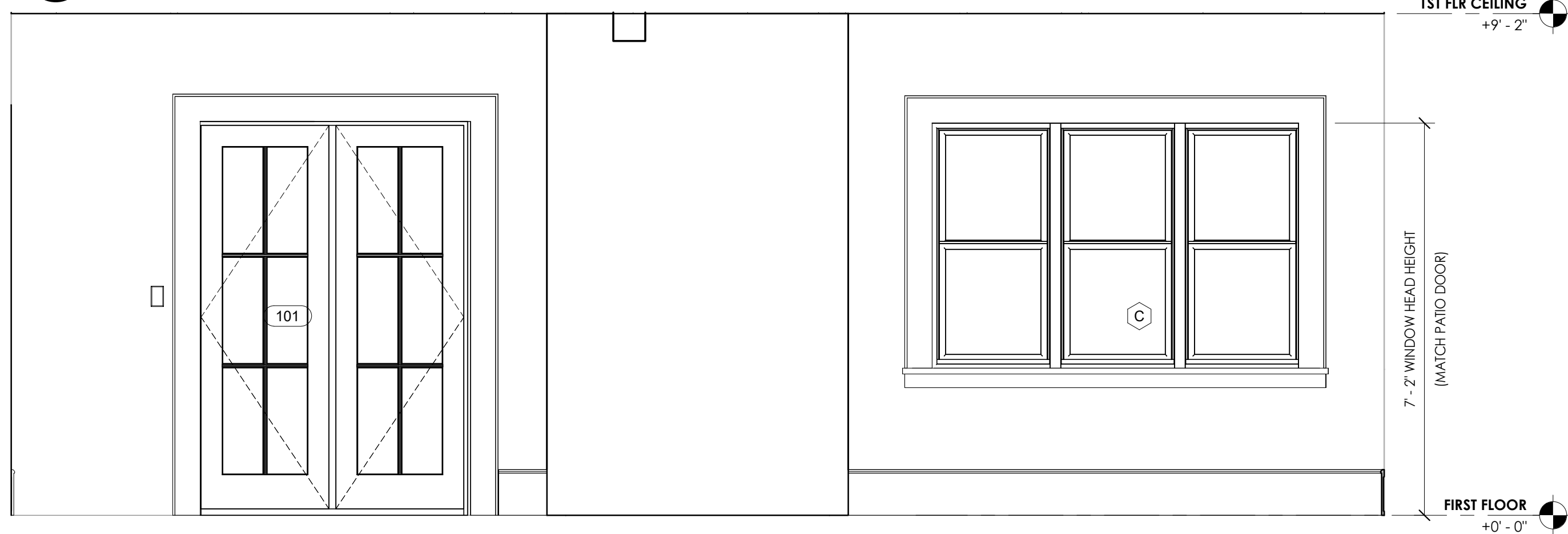
DRAWING NO.:
A-5

DATE:
09/13/2024

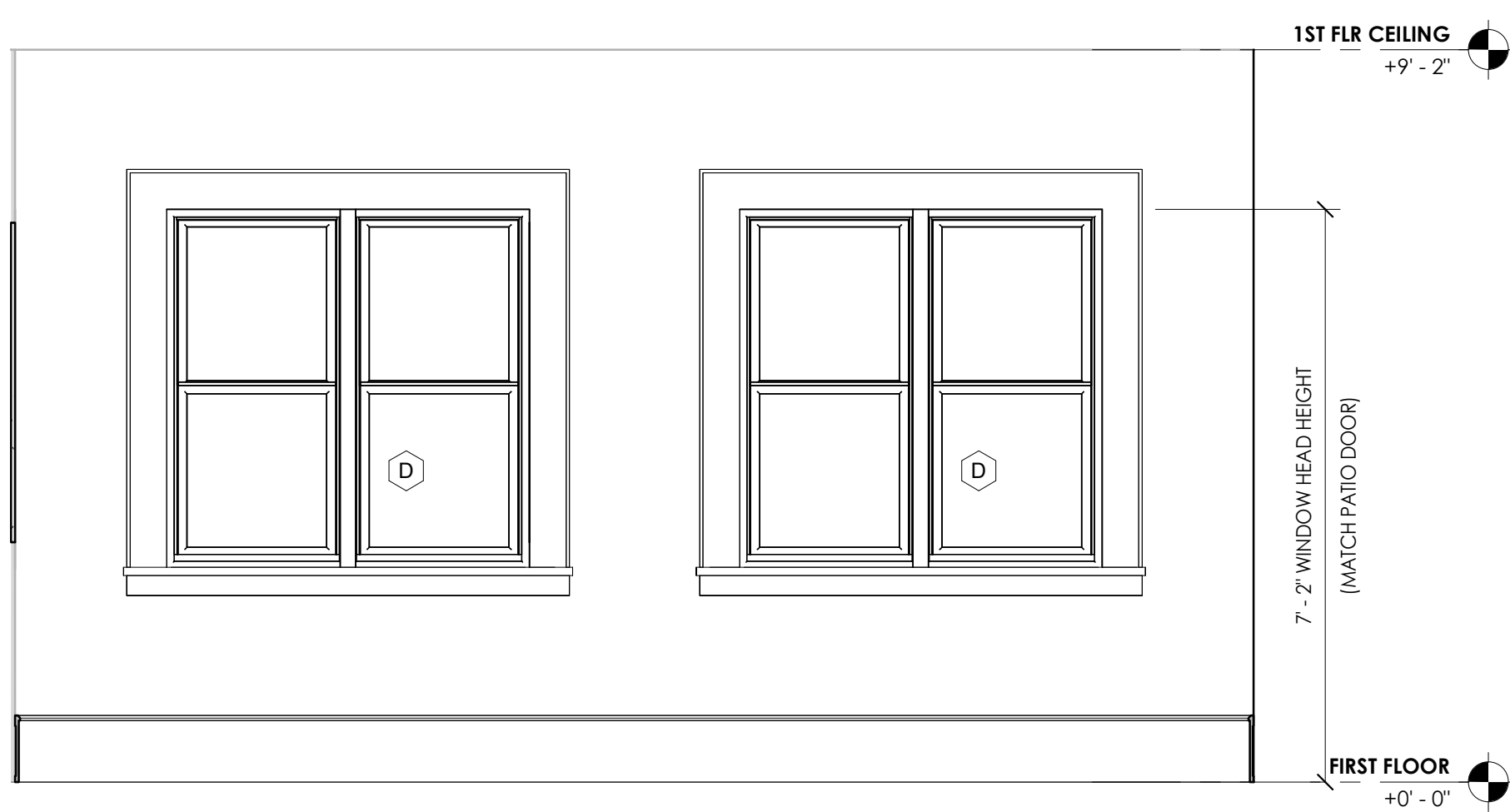




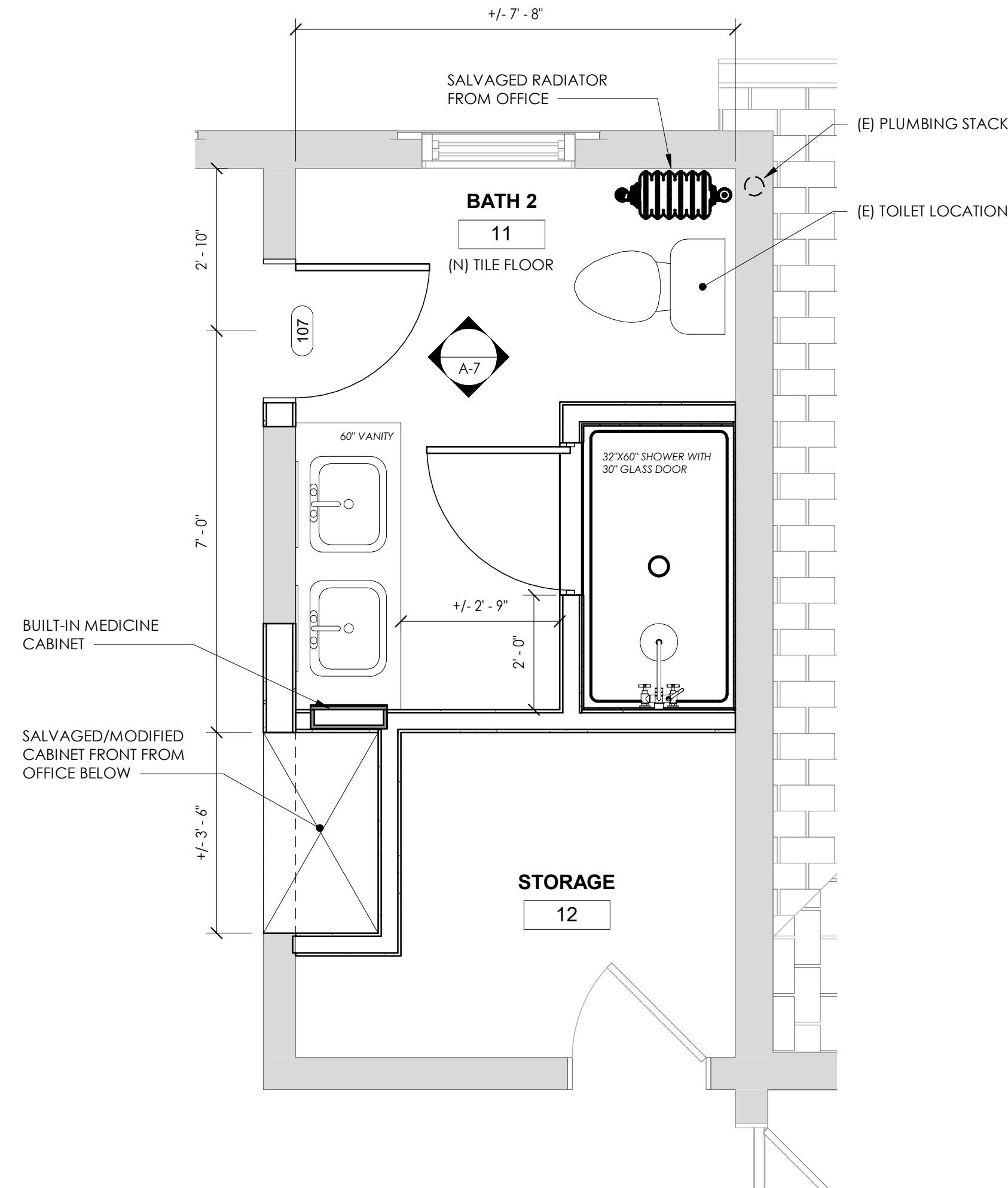
1 LIVING ROOM - NEW WORK
3/8" = 1'-0"



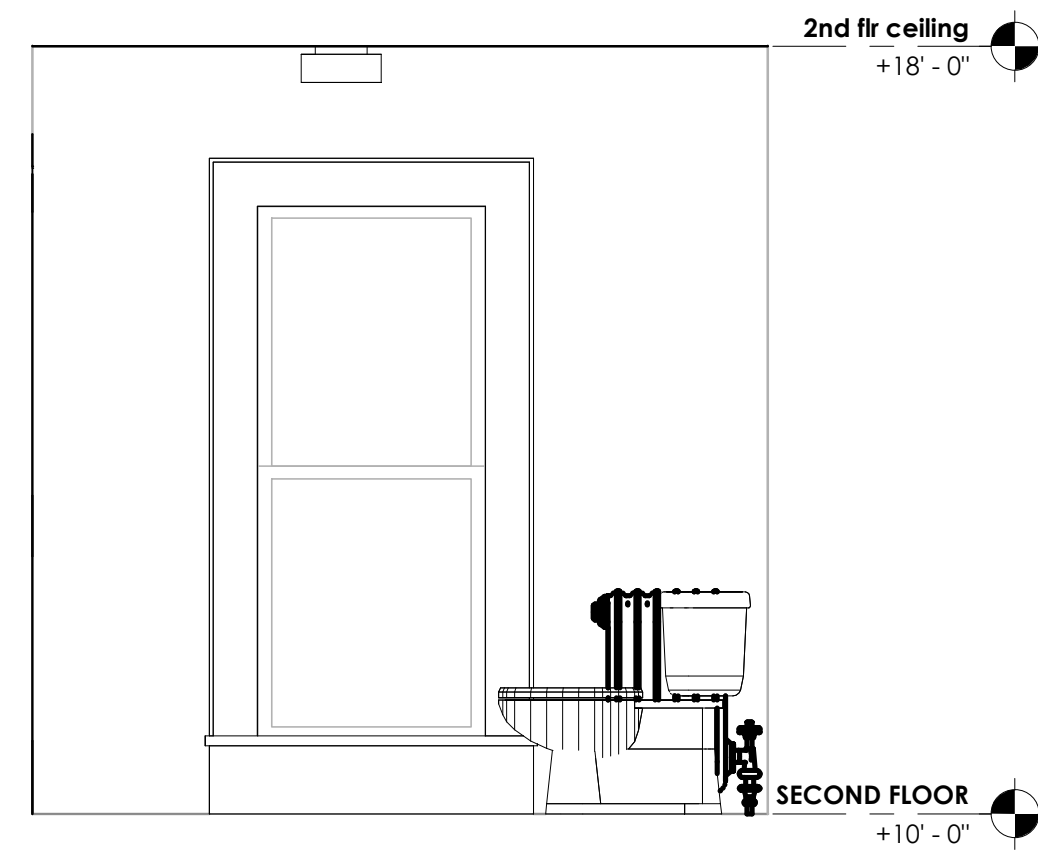
2 LIVING ROOM - ELEVATION A
1/2" = 1'-0"



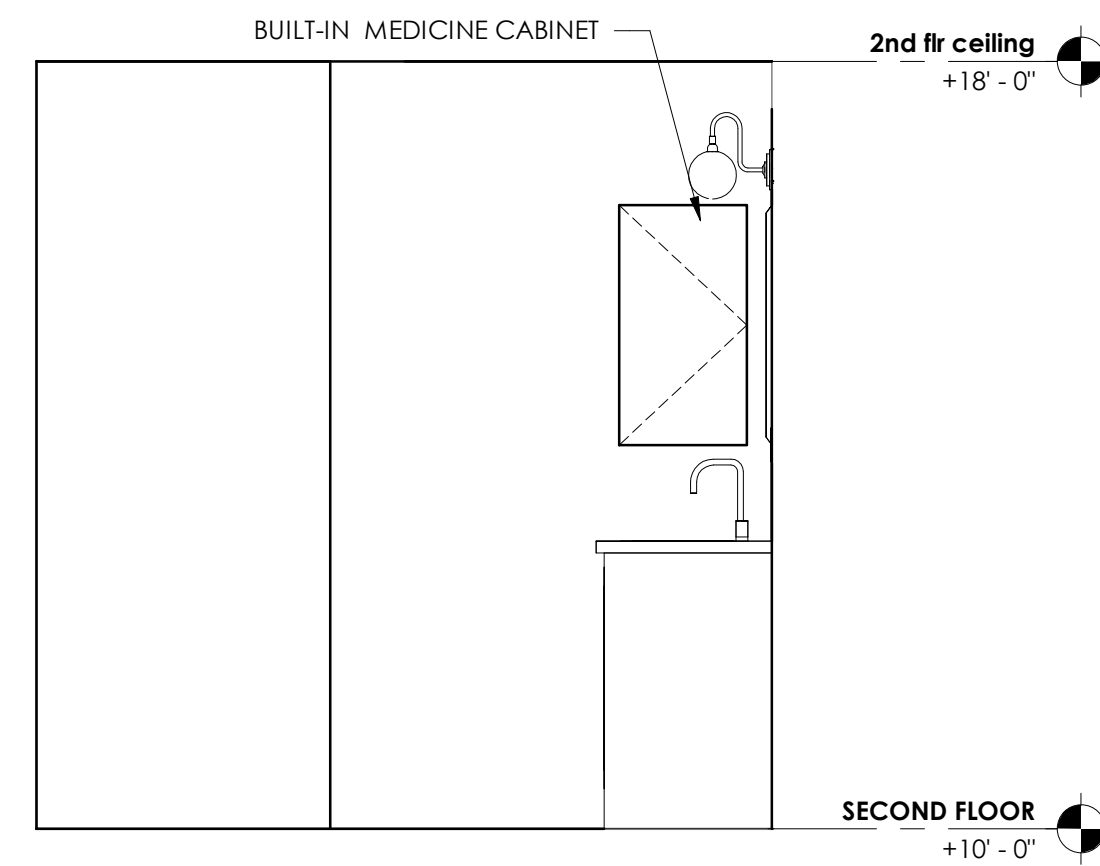
3 LIVING ROOM - ELEVATION B
1/2" = 1'-0"



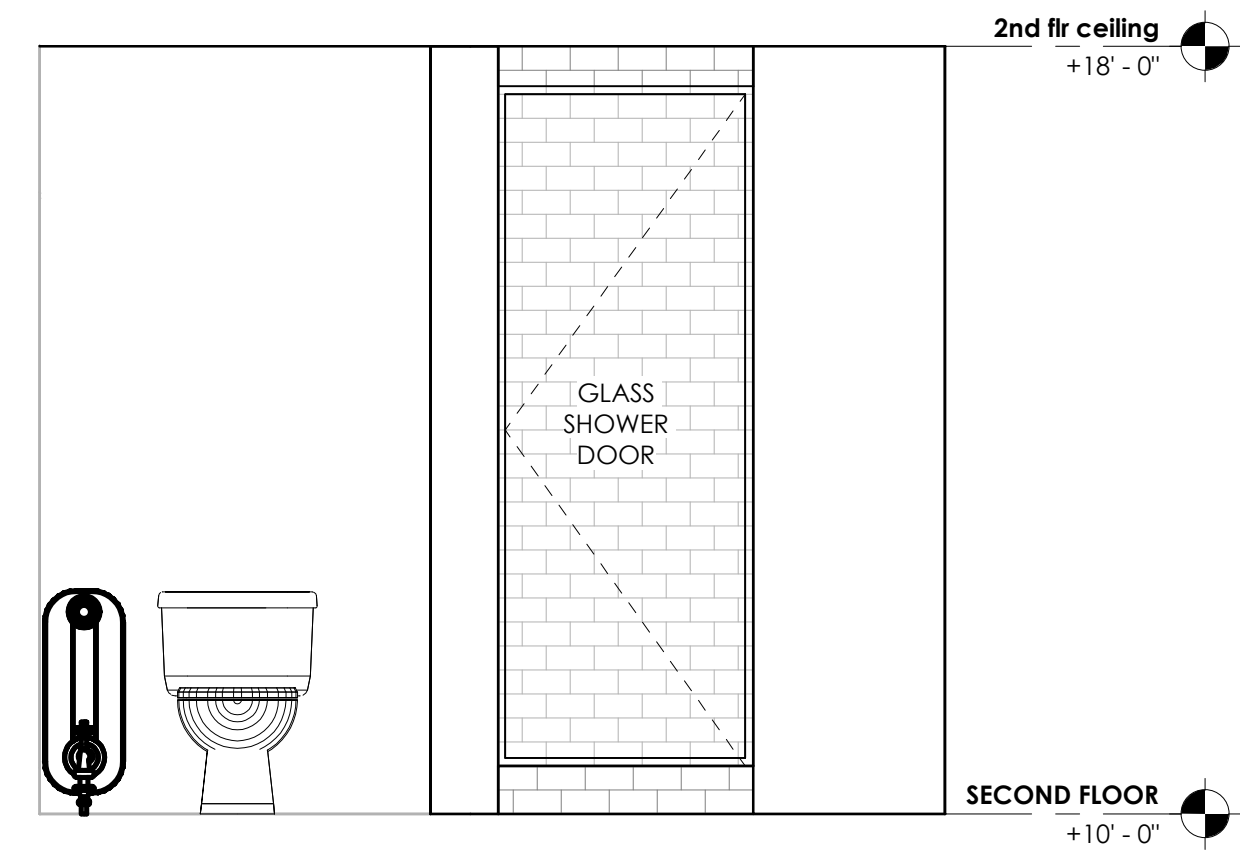
4 BATH 2 - NEW WORK
1/2" = 1'-0"



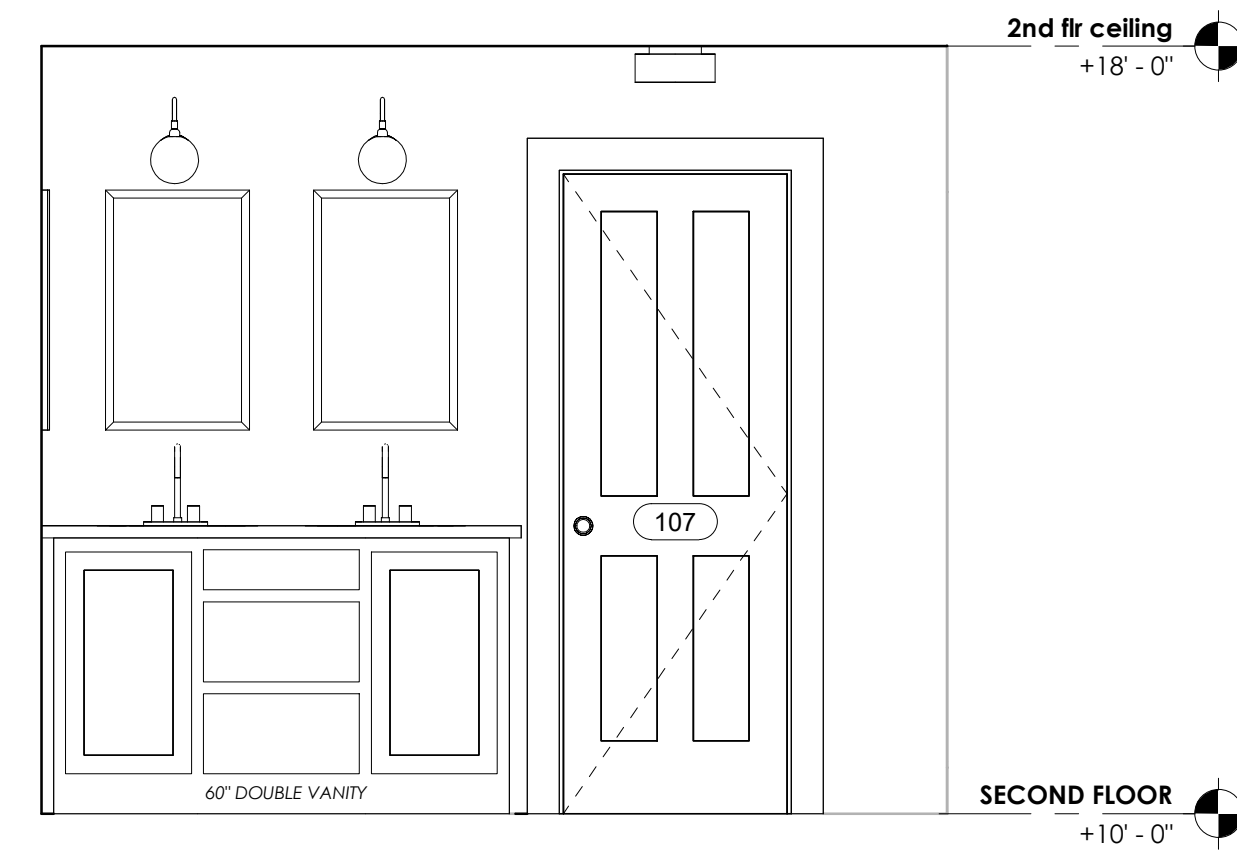
5 BATH 2 - ELEVATION A
1/2" = 1'-0"



7 BATH 2 - ELEVATION C
1/2" = 1'-0"



6 BATH 2 - ELEVATION B
1/2" = 1'-0"



8 BATH 2 - ELEVATION D
1/2" = 1'-0"

STAMP:



CLIENT:
DANE AND LAURA ALEXANDER
417 MENDON CENTER ROAD
PITTSFORD, NY 14534

Passero Associates

242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

NO.	DATE	BY	DESCRIPTION

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ENLARGED FLOOR
PLANS - LIVING
ROOM AND BATH 2

417 MENDON
CENTER RD

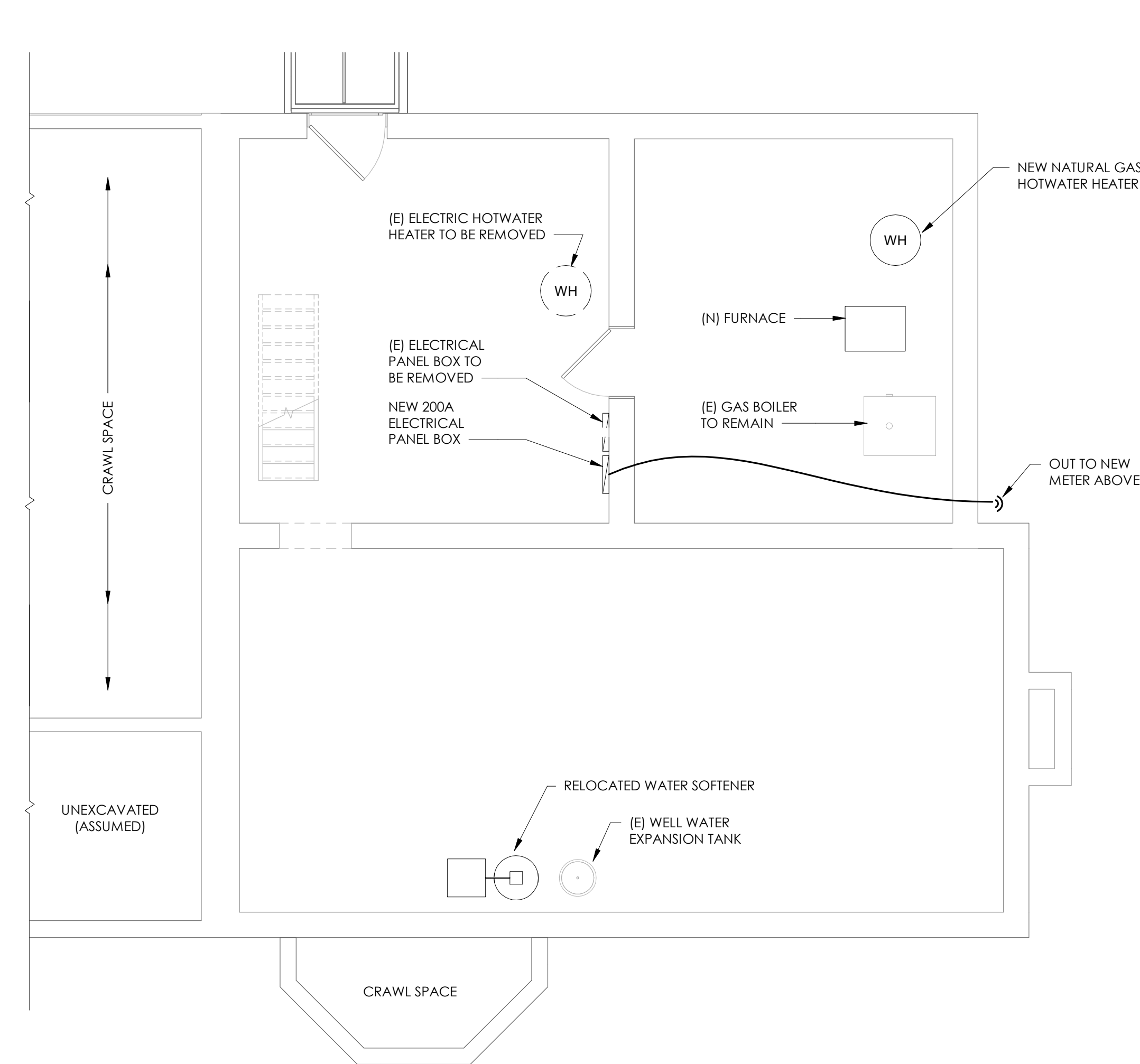
ALEXANDER RESIDENCE

TOWN/CITY: PITTSFORD
COUNTY: MONROE STATE: NEW YORK

PROJECT NO.:
20243974.0000

DRAWING NO.:
A-7

DATE:
09/13/2024



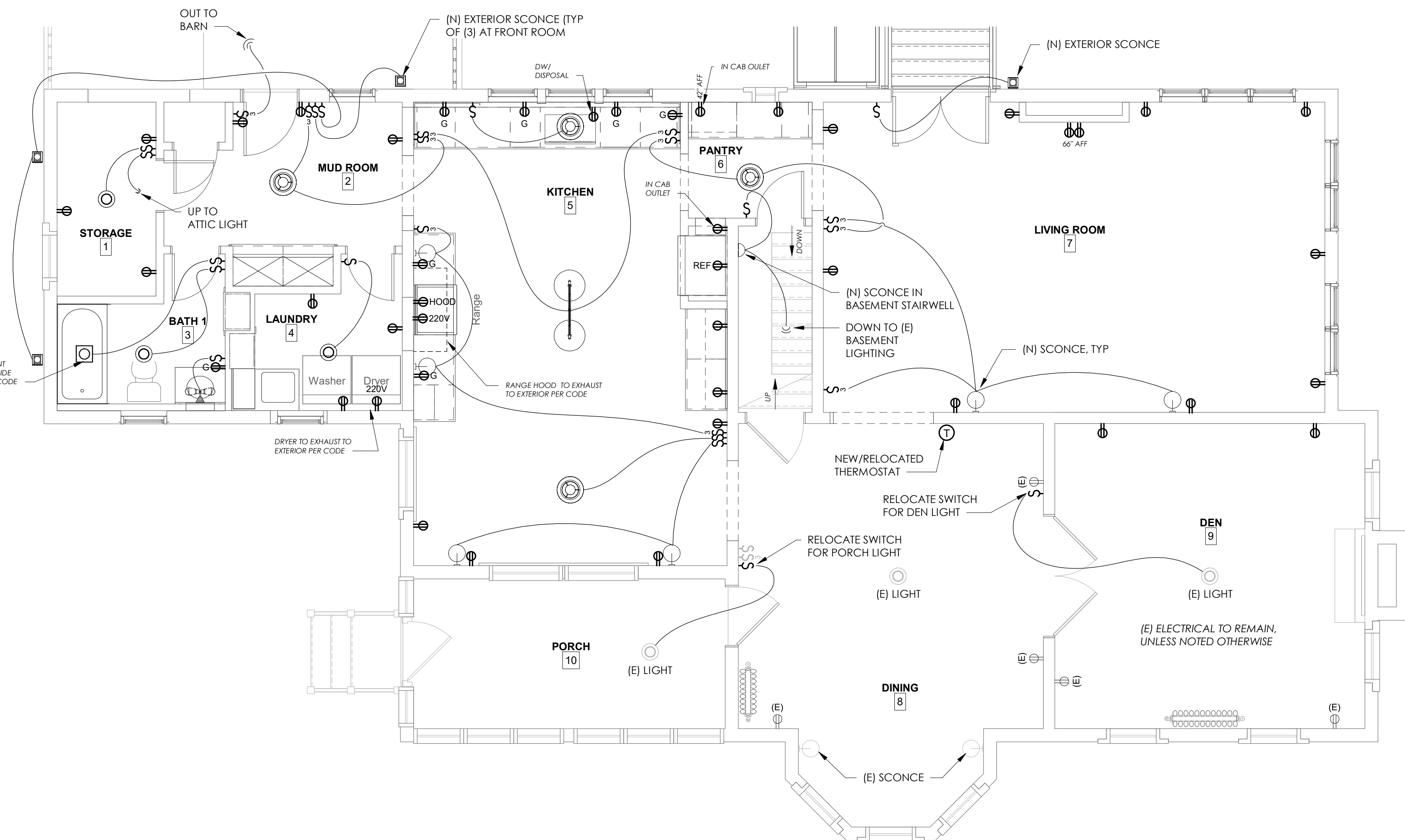
1 BASEMENT - ELECTRICAL & MECHANICAL
1/4" = 1'-0"

ELECTRICAL NOTES:

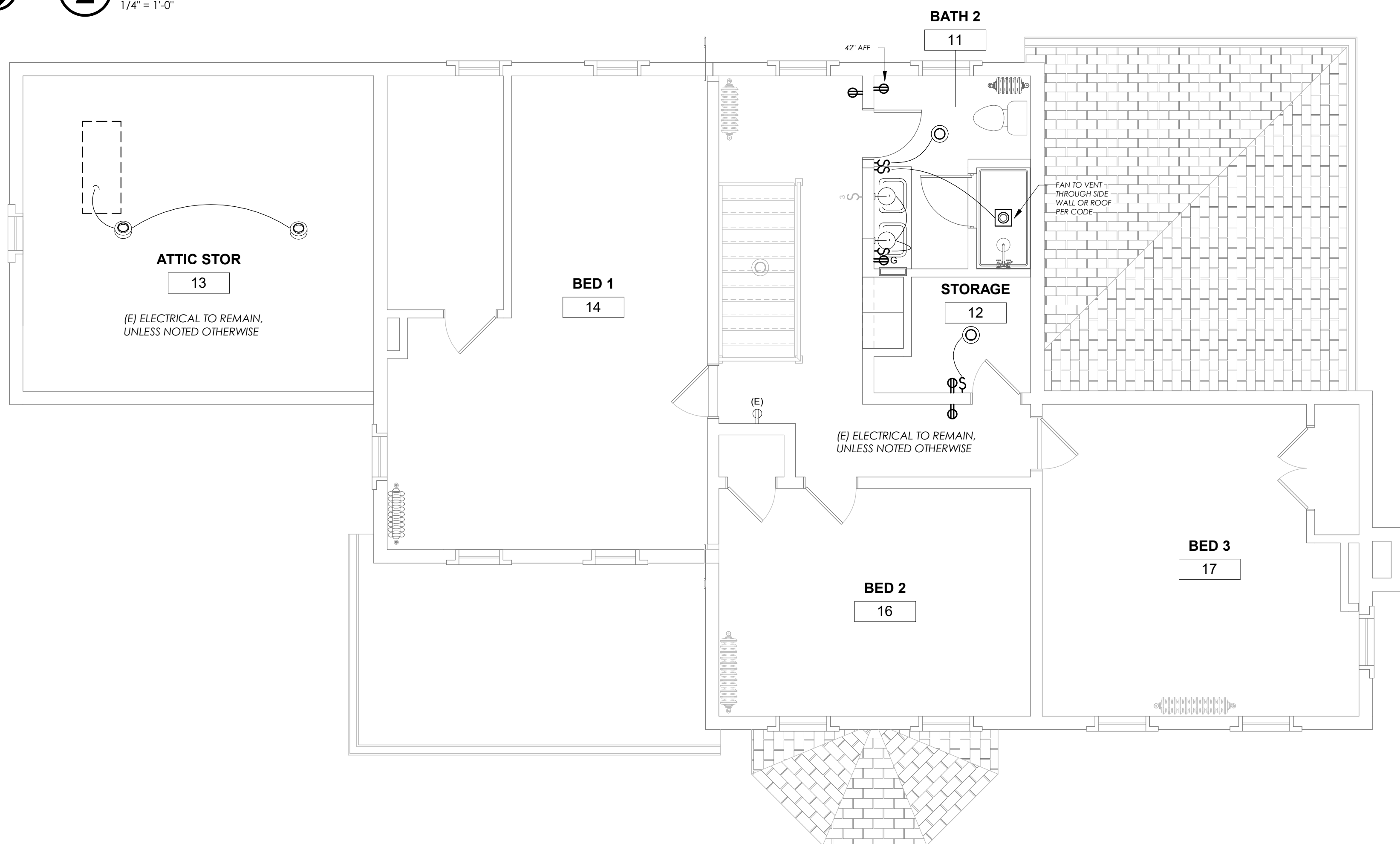
1. ALL WORK SHALL COMPLY WITH CURRENT NEW YORK STATE ENERGY CONSERVATION CODE
2. ALL NEW GENERAL OUTLETS TO BE AT 14" ABOVE FINISH FLOOR (AFF) TO TOP OF BOX, UNLESS NOTED OTHERWISE. ALL NEW COUNTER OUTLETS TO BE INSTALLED 42" AFF TO TOP OF BOX. ALL NEW SWITCHES TO BE 48" AFF TO TOP OF BOX.
3. ONLY ONE GFCI OUTLET PER CIRCUIT.
4. VERIFY ALL FIXTURE TYPES AND LOCATIONS WITH OWNER. CONTRACTOR TO DISCUSS ELECTRICAL WITH OWNER TO DETERMINE ADDITIONAL NEEDS RELATED TO EXISTING CONDITIONS.
5. ALL OUTLETS AND ELECTRICAL HOOKUPS FOR APPLIANCES TO BE LOCATED AND INSTALLED ACCORDING TO MANUFACTURER INSTALLATION INSTRUCTIONS.
6. ALL APPLIANCES TO BE PROVIDED BY OWNER.
7. ALL ELECTRICAL OUTLETS TO BE BLACK, ROUND STYLE, TAMPER RESISTANT 15 AMP DUPLEX OUTLETS, UNLESS NOTED OTHERWISE. COVER PLATES TO BE WHITE. SEE PLAN FOR GFCI REQUIRED LOCATIONS (NOTED BY "G").
8. ALL SWITCHES TO BE WHITE TOGGLE STYLE. COVER PLATES TO BE WHITE.

MECHANICAL NOTES:

1. ALL EQUIPMENT TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS WITH ACCESS AND CLEARANCES TO MEET CODE.
2. ALL OF FIRST FLOOR TO BE HEATED AND COOLED BY NEW FURNACE SYSTEM INSTALLED IN BASEMENT WITH DUCTWORK TO NEW SUPPLY VENTS IN BASEMENT AND CRAWLSPACE. HVAC CONTRACTOR TO ENSURE NEW SYSTEM IS SIZED TO ACCOMMODATE ALL OF FIRST FLOOR. SECOND FLOOR TO REMAIN HEATED BY EXISTING HOT WATER BOILER AND RADIATORS.



2 FIRST FLOOR - ELECTRICAL
1/4" = 1'-0"



3 SECOND FLOOR - ELECTRICAL
1/4" = 1'-0"

STAMP:



CLIENT:
DANE AND LAURA ALEXANDER
417 MENDON CENTER ROAD
PITTSFORD, NY 14534

Passero Associates
242 WEST MAIN ST., SUITE 100 (585) 325-1000
ROCHESTER, NY 14614 FAX: (585) 325-1691

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ELECTRICAL PLANS

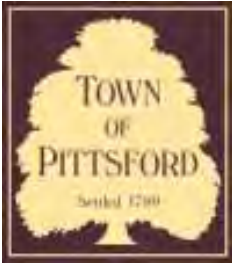
417 MENDON
CENTER RD
ALEXANDER RESIDENCE

TOWN/CITY: PITTSFORD
COUNTY: MONROE STATE: NEW YORK

PROJECT NO.:
20243974.0000

DRAWING NO.:
E-1

DATE:
09/13/2024



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000146

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 7 Kalleston Drive PITTSFORD, NY 14534

Tax ID Number: 178.09-1-47

Zoning District: RN Residential Neighborhood

Owner: Upton, Roger D

Applicant: Upton, Roger D

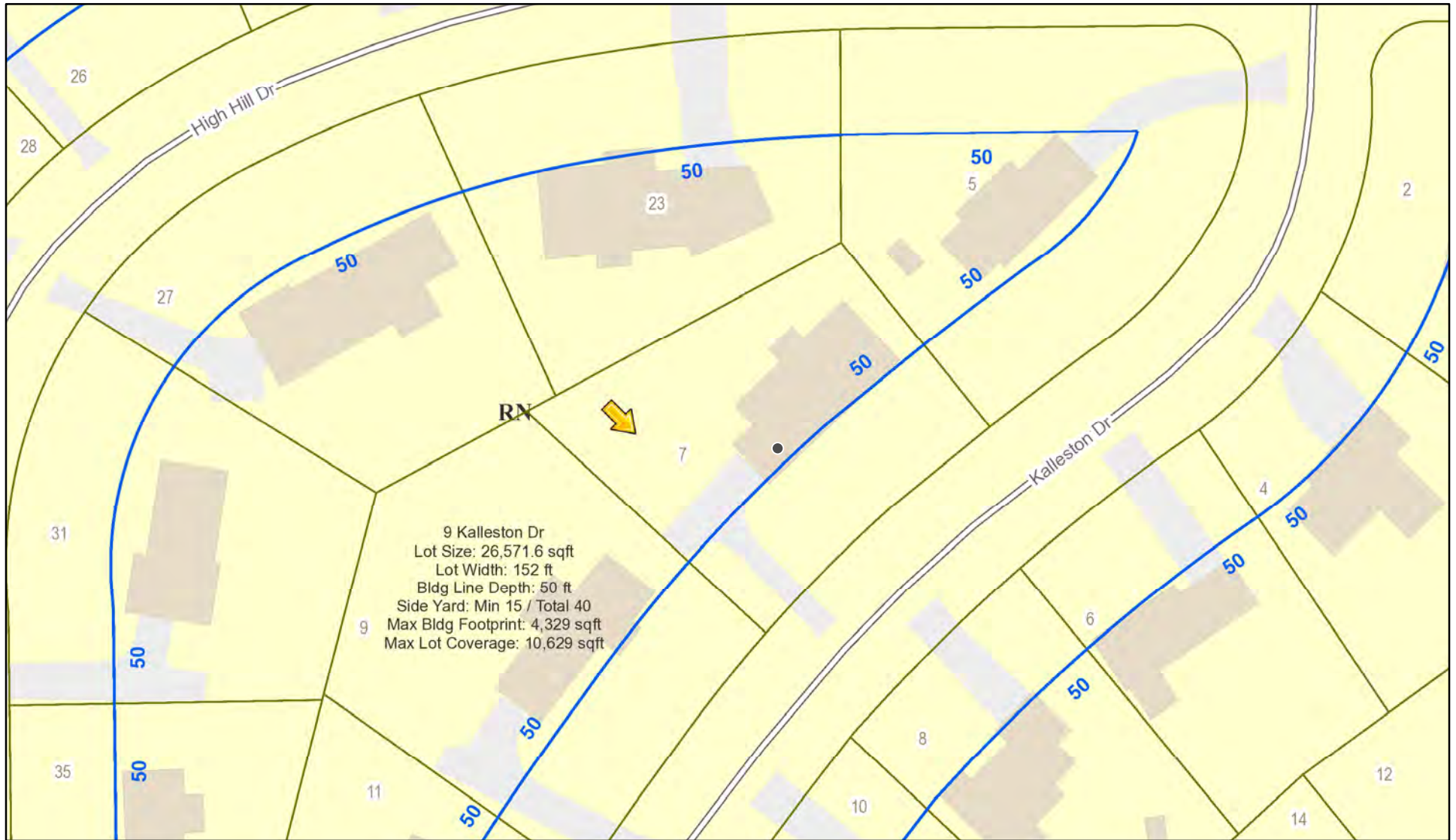
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

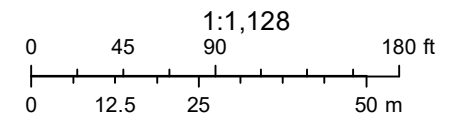
Project Description: Applicant is requesting design review for an approximate 125 square-foot addition off the rear of the home to allow for more space in the master suite.

Meeting Date: November 14, 2024

RN Residential Neighborhood Zoning



Printed November 7, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



FIRM Panel
36055C0359G

FIRM Panel
36055C0359G

Stream
Buffer

FIRM Panel
36055C0367G

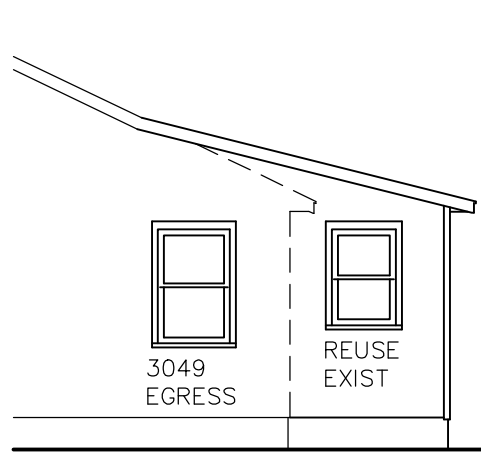
FIRM Panel
36055C0367G

Nearmap

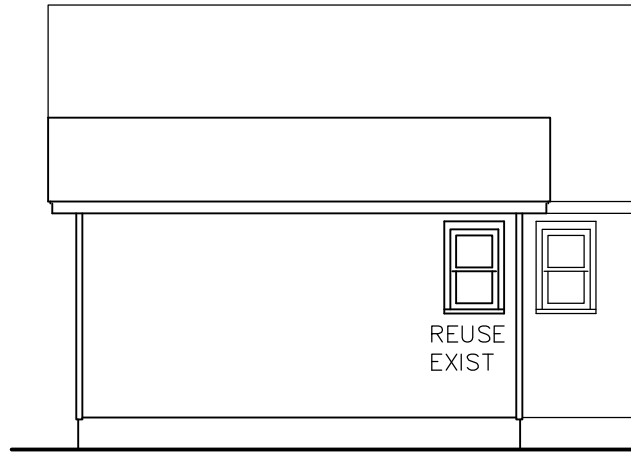
Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

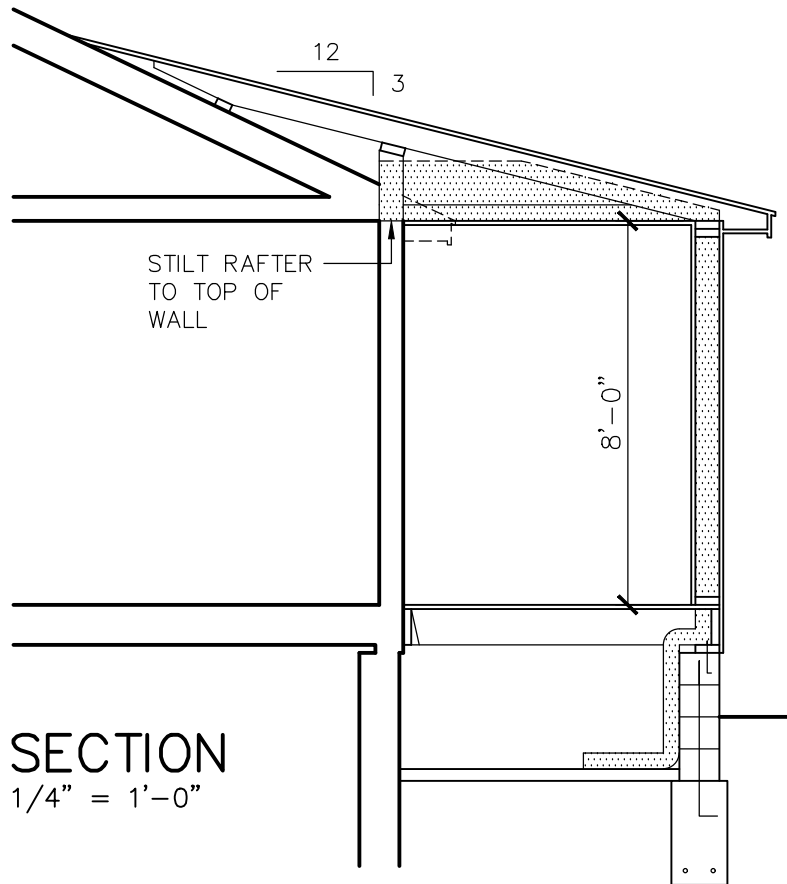
100 ft



WEST SIMILAR
EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



SECTION
1/4" = 1'-0"

ASPHALT SHINGLES ON
ICE SHIELD ENTIRE DECK
CONTINUOUS RIDGE VENT

7/16" OSB SHEATHING ON
2x6 RAFTERS 16"OC
2x4 CEILING 16"OC
R-49 KRAFT BATT INS W/
BAFFLES @ EAVE

MATCH FASCIA ON BLOCKING
MATCH SOFFIT CONT VENT
ALUM GUTTER AND SPOUTS

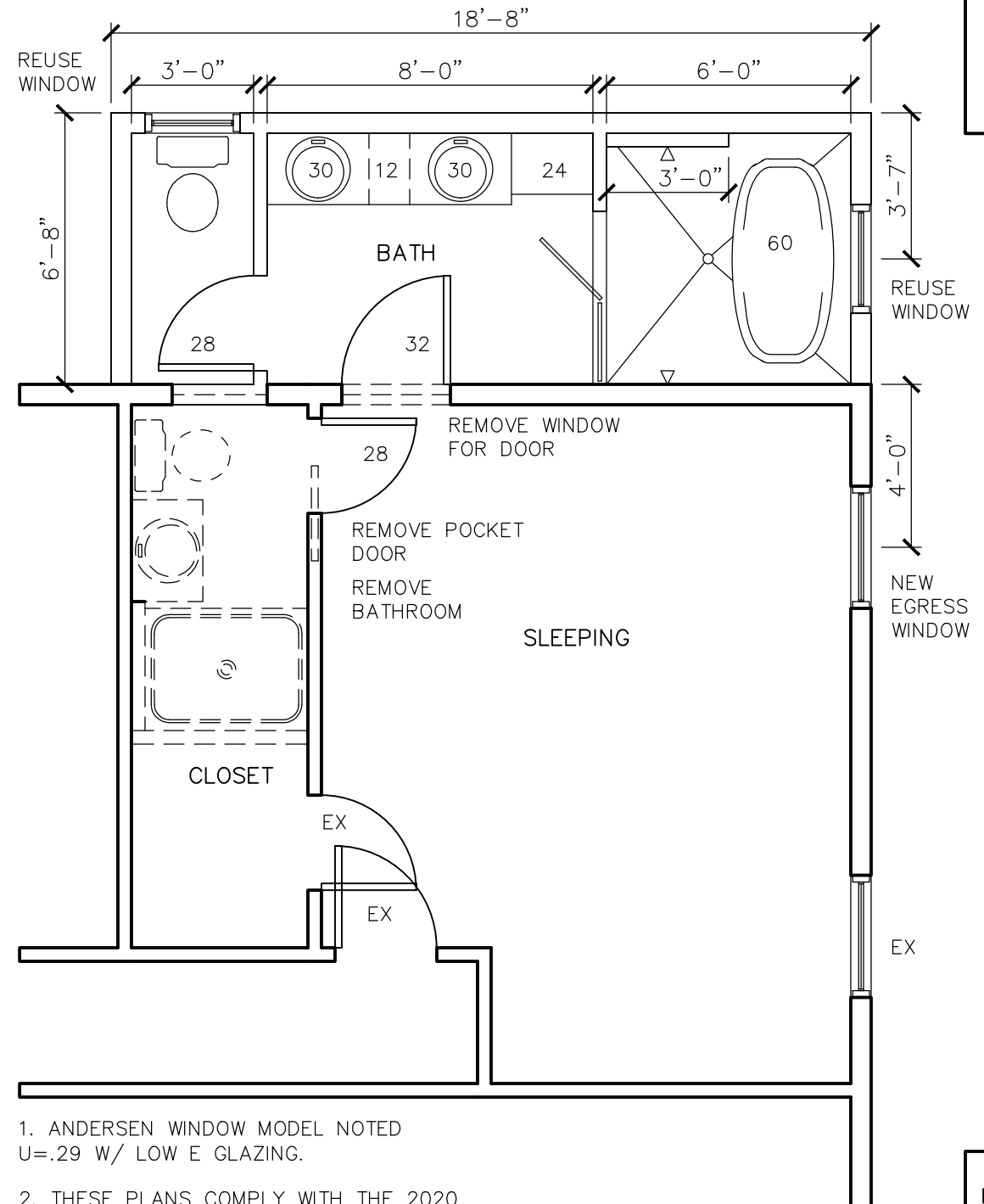
1/2" DRYWALL
WALLS & CEILING
2x4 INTERIOR WALLS 16"OC
MATCH SIDING AND TRIM
OVER AIR BARRIER

2x6 WOOD STUD 16"OC
7/16" OSB SHEATHING ON
R-21 KRAFT BATT INS
3-2x8 HEADERS UNLESS NOTED

2x10 FLOOR JOIST 16"OC
3/4" T&G PLYWD SUBFLOOR

2x6 PT SILL PLATE & SEAL
ANCHOR TO BLOCK 6'-0"OC
4C-8" BLOCK
CONC TRENCH FOOTING W/
#4 DOWEL 6'-0"OC &
2-#4 BARS CONTINUOUS

R-15 VINYL BATT ON WALL
CRAWL SPACE PERIMETER
3" CONC MUD SLAB ON
10 MIL POLY VAPOR FILM



1. ANDERSEN WINDOW MODEL NOTED
U=.29 W/ LOW E GLAZING.

2. THESE PLANS COMPLY WITH THE 2020
IRC OF NYS FOR RESIDENTIAL ENERGY
EFFICIENCY CHAPTER 11 TABLE N1102.1.2
WITH THE FOLLOWING MINIMUM INSULATION
VALUES FOR NEW CONSTRUCTION:

WINDOWS U-.30
CEILINGS R-49
WALLS R-20
CRAWL R-15

FLOOR PLAN
1/4" = 1'-0"

HOUSE PLANS
FOR
7 KALLESTON DRIVE
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC
284 THORNTON ROAD
ROCHESTER NY 14617
585-406-4757

DATE
4/3/24

DW'G NO.
A-1



Reimagine Renovation

DESIGNING YOUR DREAM AT HOME



(585) 204-0227



hello@reimagnerenovation.com



www.reimagnerenovation.com

Outside View of addition location



Outside View of addition location





Reimagine Renovation

DESIGNING YOUR DREAM AT HOME



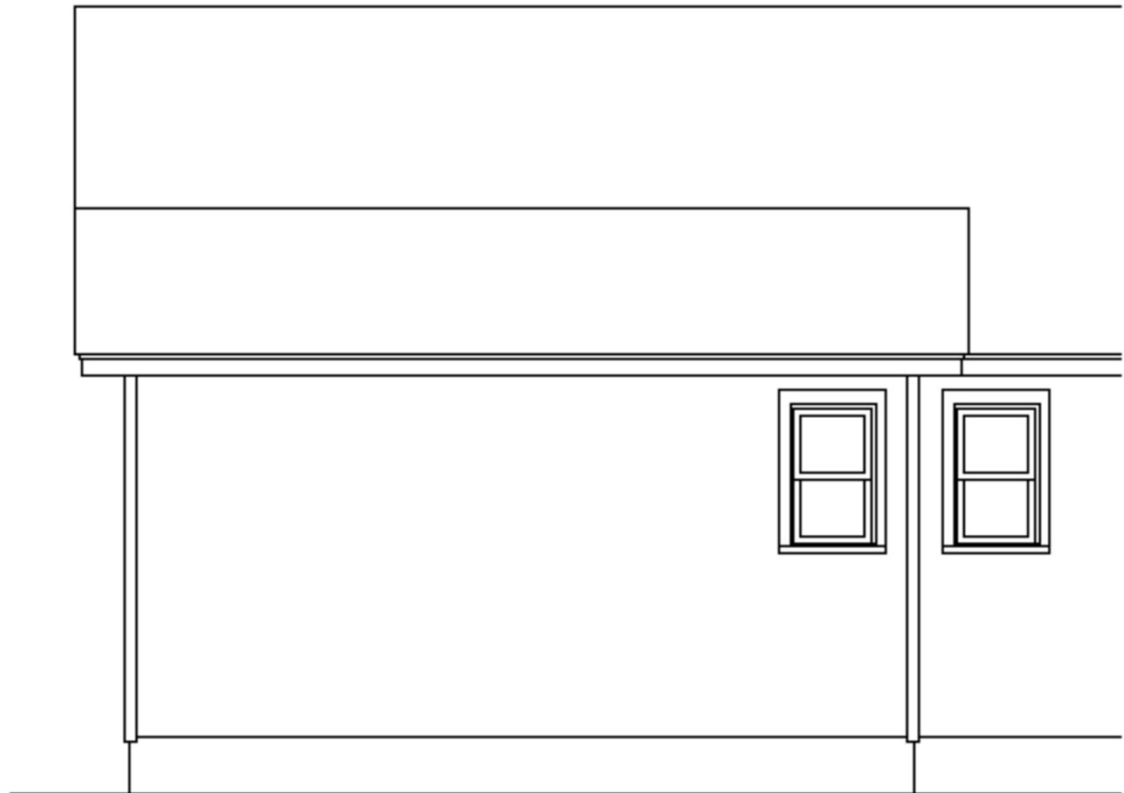
(585) 204-0227



hello@reimagnerenovation.com

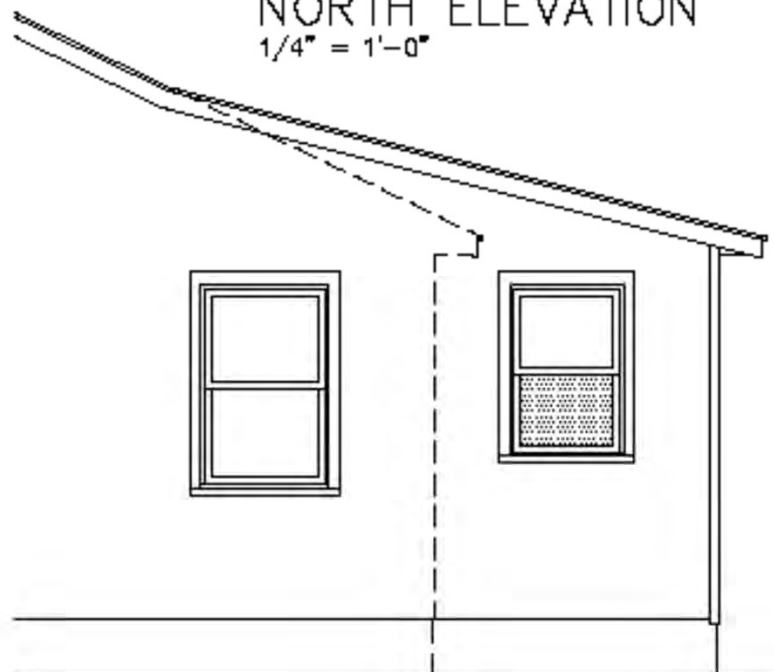


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NORTH ELEVATION

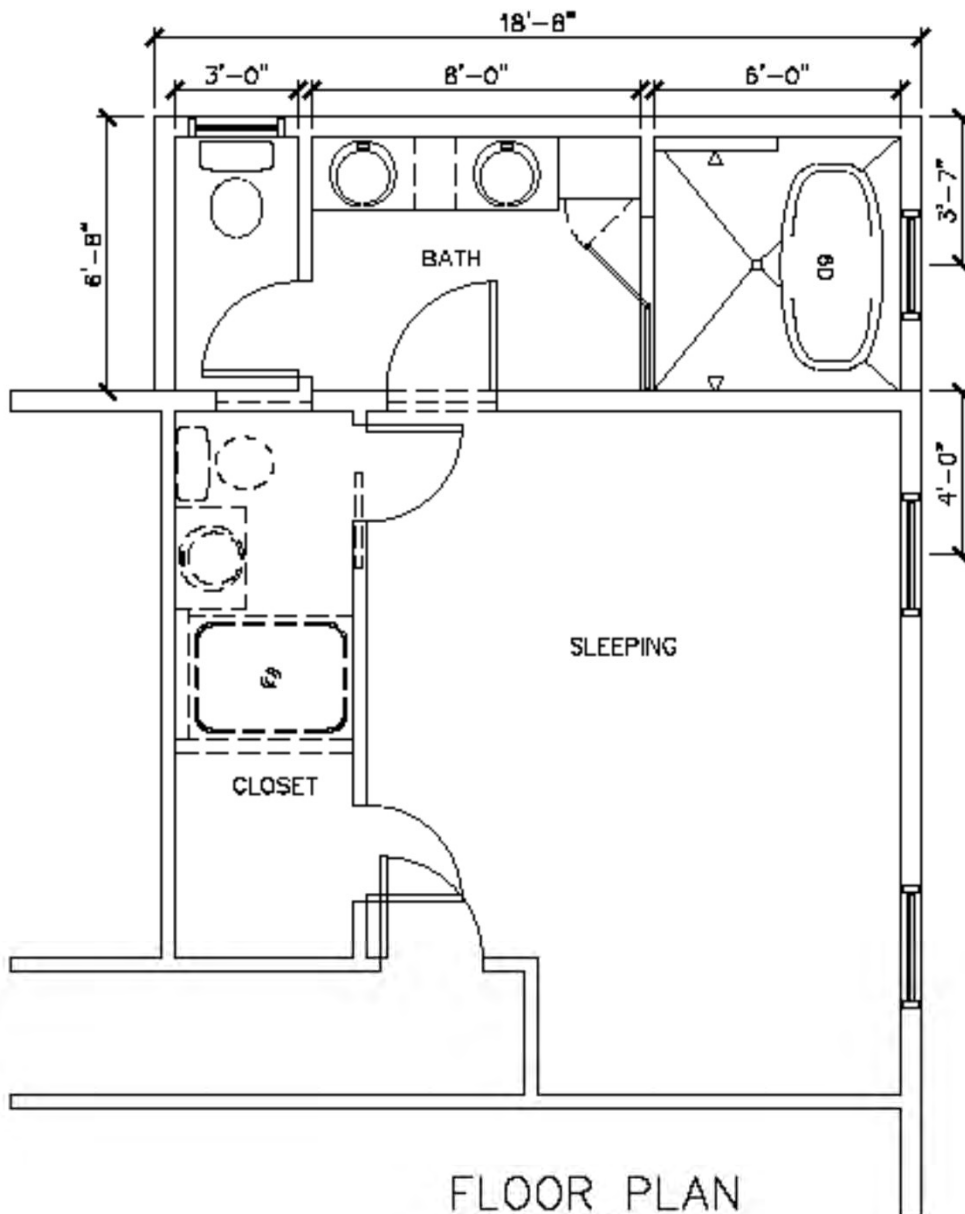
$1/4" = 1'-0"$





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FLOOR PLAN
1/4" = 1'-0"

HOUSE PLANS
FOR
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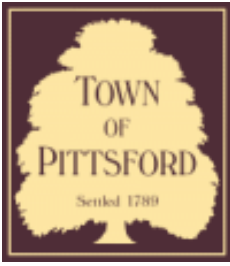
DATE

DWG NO.









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
D24-000014

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5691 Palmyra Road PITTSFORD, NY 14534

Tax ID Number: 165.13-1-5

Zoning District: RN Residential Neighborhood

Owner: Vanhoute, Cynthia

Applicant: Mallo Home Improvements Inc.

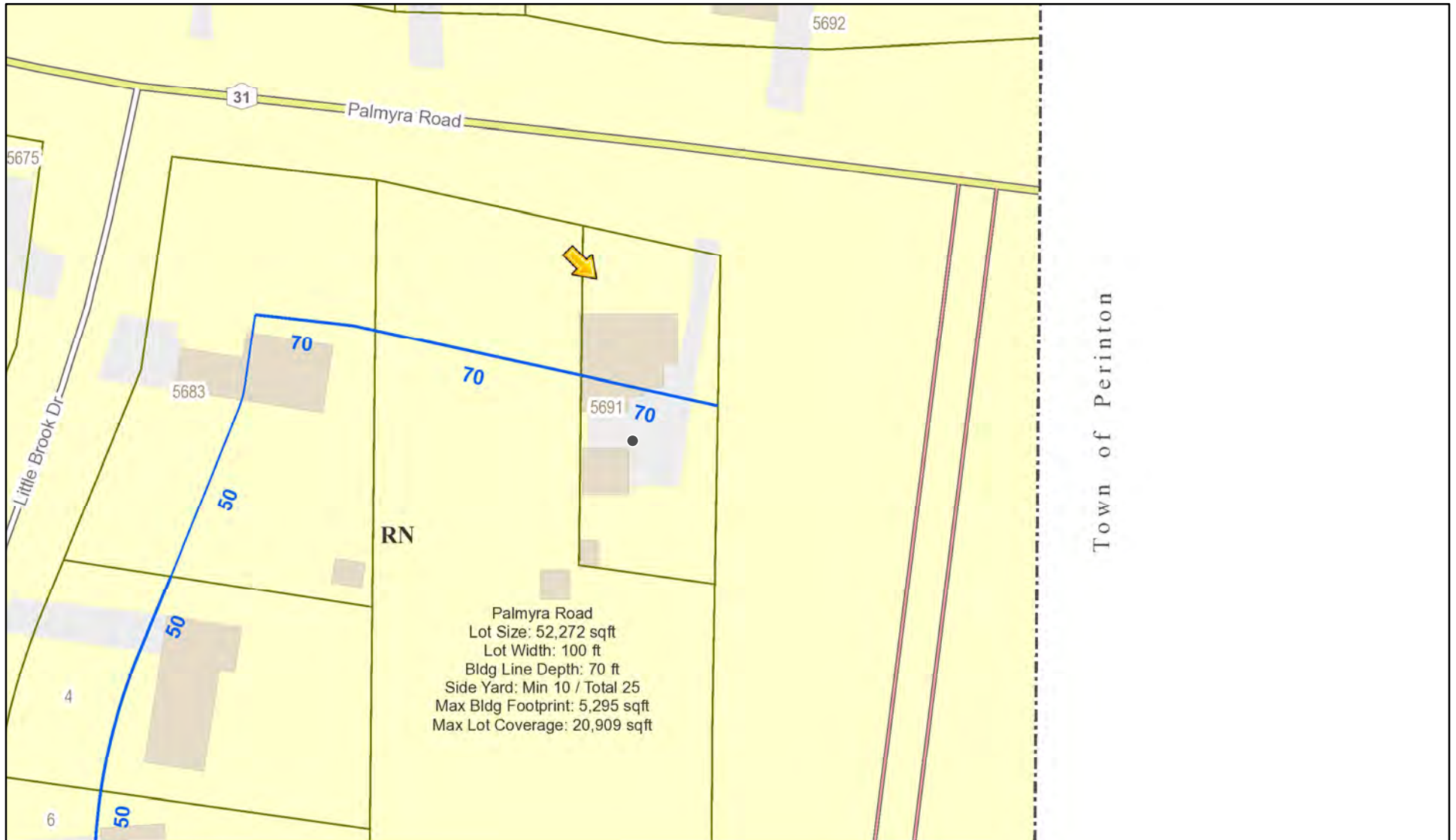
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input checked="" type="checkbox"/> Informal Review | |

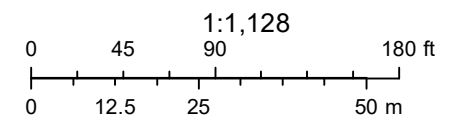
Project Description: Applicant is requesting approval to demolish a detached garage.

Meeting Date: November 14, 2024

RN Residential Neighborhood Zoning



Printed November 7, 2024



Town of Pittsford GIS

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5667

5671

5675

5683

5691

3

4

5

6

7

8

FIRM Panel
36055C0378G

FIRM Panel
36055C0378G

Nearmap

Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

50 ft

5691 Palmyra Rd
165.09-142 ✓

APPLICATION FOR PERMIT NO. 14

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD,
VILLAGE OF PITTSFORD, N. Y.

Fee Paid \$ 8.00

GENTLEMEN:

The undersigned respectfully petition for a per-

mit to (erect) a ~~frame~~ *frame* building on lot number _____ house number _____
on the *South* side of *Palmyra* Street, in the _____ tract of
Town of Pittsford, N. Y. This lot is *65* feet wide in the front and *65* feet wide in
the rear and *225* feet deep, and is classified as follows:

ZONE _____ CLASS _____

Below is sketch showing lot lines in relation to existing highways and direction of north.

The main building of *1* stories is to be erected, of the following dimensions: *30* feet wide
and *36* feet deep and has a wing on the _____ side which is _____ feet wide and _____
feet deep, the whole occupying a total area of *1080* square feet. The building is to be set back *52*
feet from the front lot line; *3* feet from the *W* side lot line and *32* feet from the *E* side
lot line. It is to be used as a *dwelling* and erected at an estimated cost of *4000* dollars.

73
33
40
500

A separate garage is to be erected of the following dimensions: _____ feet wide and _____
feet deep, located _____ feet from the _____ side lot line; _____ feet from the rear lot line and _____
feet from the main building, with a capacity of _____ cars at a cost of _____ dollars.

As part of this application there is attached hereto the plans of said buildings. All work is to be done
in accordance with this application and plans, and no material change therein or in any part of said buildings
shall be made without the written consent of the Town Board through its authorized agent.

The undersigned represents that said buildings will be constructed and used in accordance with all
ordinances of the Town of Pittsford and statutes of the State of New York, and that the plans annexed hereto are
the plans relating to the buildings described herein and no other, and, that this property is owned by the under-
signed.

Yours respectfully,

Juanita B. Burns
Owner.

Address,

STATE OF NEW YORK, } ss:
County of Monroe,

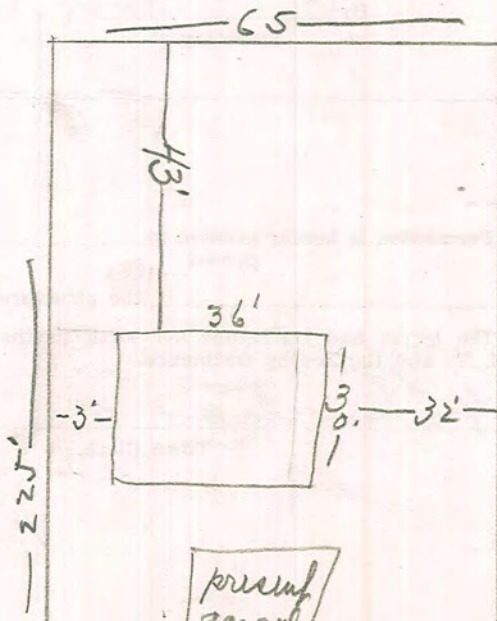
Juanita B. Burns, being duly sworn, deposes and
says that he is the owner of the above described premises; that no other person except *None*
have any ownership interest in said property; that he has read the foregoing application for a permit and knows
the contents thereof; that the same is true to his own knowledge. That if said application is approved he will
comply with all the terms and conditions respecting the issuance of said permit and that said buildings will be
erected in accordance with the plans attached to this application; that it will cost not less than the amount set
forth herein and that he will comply with all ordinances of the Town of Pittsford and all the statutes of the State
of New York, in connection with the construction, erection, alterations or use of said buildings.

Juanita B. Burns

SWORN to before me, this

22 day of *June* 19*29*
J. B. Burns

Notary Public, Commissioner of Deeds.



SKETCH



REPORT OF PLANNING BOARD

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD:

The Planning Board of the Town of Pittsford, Monroe County, N. Y., to which was referred the application of to (erect) buildings together with the proper fees and (alter) plans therefor, does hereby (approve) said application and recommends that a permit be granted therefor upon (disapprove) the following terms and conditions:—

1. That the Town Board, its agents and employees, may at any time enter upon said premises and inspect said buildings to determine whether the same are being erected or have been erected in accordance with the plans submitted with said application for a permit.
2. That the Town Board may at any time upon notice, revoke said permit for failure to execute the plans.
3. That the said buildings shall be set back and built upon the building line established by the Town Board for the district where such property is located and where such building is to be erected or altered.
4. That the buildings mentioned in said application and plans shall be erected in accordance therewith and shall be used for no other purposes than those specified in said application and plans.
5. That any garage erected upon the premises shall be used solely for private garage purposes and shall not at any time be used for a residence or any other purpose upon said lot.
6. Reasons for disapproval are as follows:

PITTSFORD PLANNING BOARD,

By L. G. Curtis
Secretary.

PERMIT NO. 14

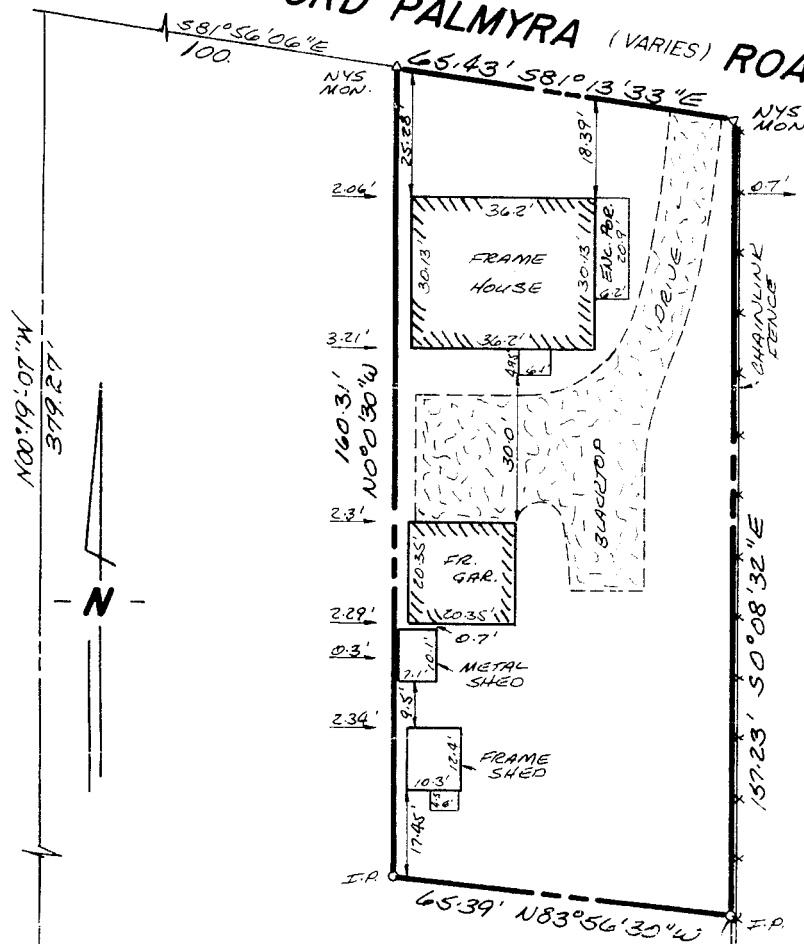
Permission is hereby granted to
denied

....., owner to the structures described in the application herein referred to and no other upon the terms and conditions set forth in the recommendation of the Planning Board of the Town of Pittsford, N. Y., and the Zoning Ordinance.

Jan 25 1930

L. G. Curtis
Town Clerk.

PITTSFORD PALMYRA (VARIES) ROAD (NYS RTE.31)



INTERSTATE (VARIES) 490

- REFERENCES:**
- 1.) ABSTRACT OF TITLE NO. 42,025
 - 2.) PART OF TOWN LOT 19 & 17
 - 3.) NO EASEMENTS RECORDED IN ABSTRACT OF TITLE
 - 4.) TAX ACCOUNT NO. 165.130-01-006

CERTIFICATION:

I hereby certify to: CYNTHIA VAN HOUTE, BUYER
JOHN NESBITT, ATTY.

that this map was made NOV. 12, 1986
from notes of an Instrument Survey
completed NOV. 11, 1986 and reference
listed above:

Ronald W. Staub

RONALD W. STAUB, NYS.L.S. #44621



TITLE:

INSTRUMENT SURVEY MAP

#5691 PITTSFORD PALMYRA ROAD

PART OF TOWN LOT #19 & 17

TOWN OF PITTSFORD, MONROE CO., NEW YORK

CLIENT:

JUANITA HARMON ESTATE
c/o SUTTON, DELEEUW, ATTY.'S
31 EAST MAIN STREET
ROCHESTER, NEW YORK

RONALD W. STAUB

LAND SURVEYORS
635 Elmgrove Road
Rochester, N.Y. 14606

SCALE:

1"=30'

FILE NO:

JOB NO:

REDATE:

DATE:

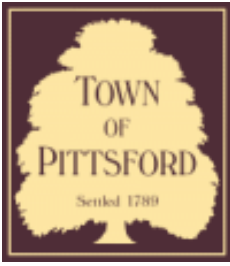
NOV. 12, 1986











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000153

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 22 Bridleridge Farms PITTSFORD, NY 14534

Tax ID Number: 191.01-1-67

Zoning District:

Owner: Bridlebridge Farms LLC

Applicant: Spall Homes Corp/Spall Realtors Corp

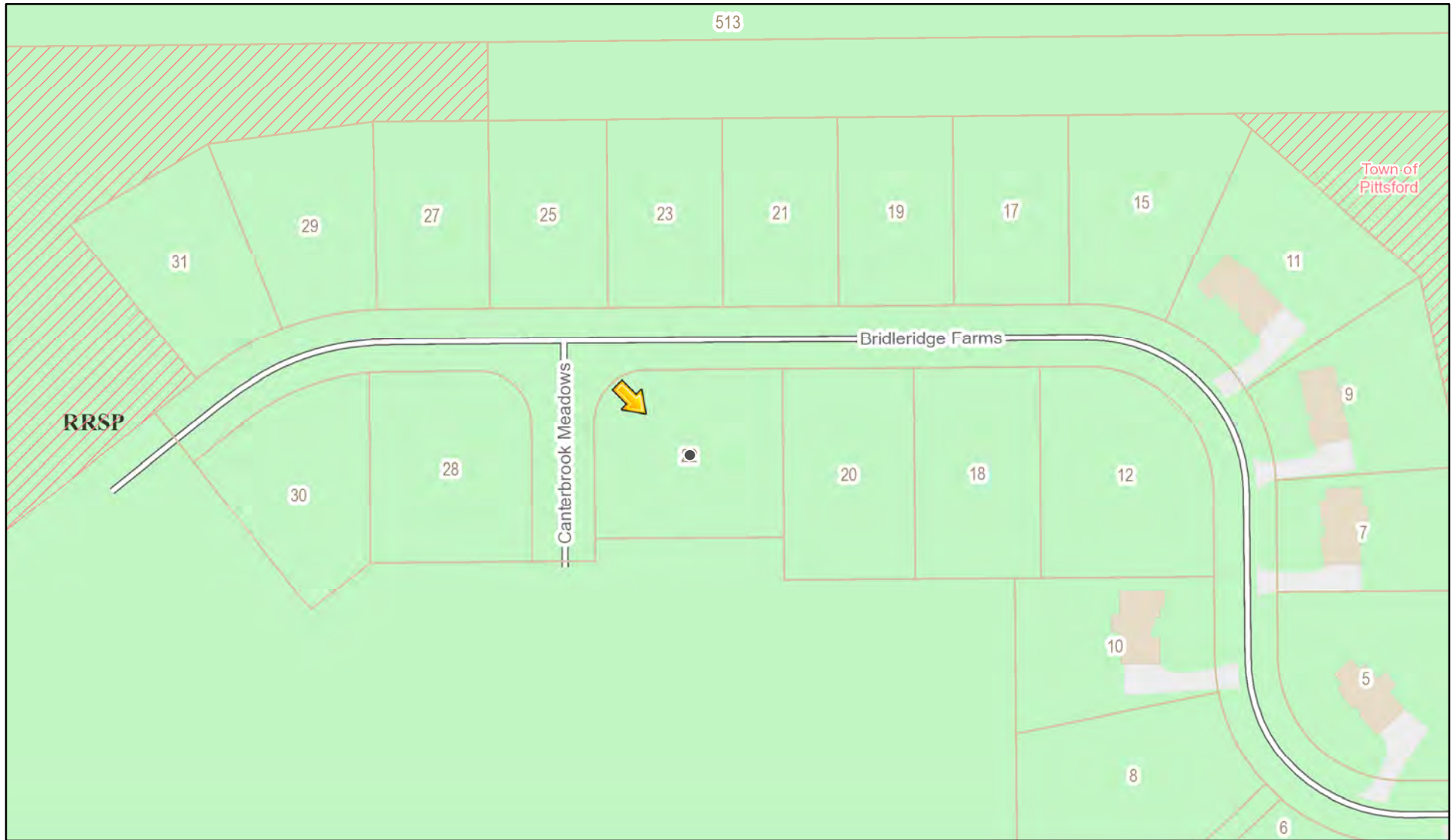
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
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§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
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§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

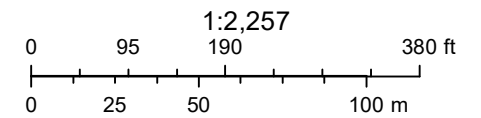
Project Description: Applicant is requesting design review for a 2,810 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

Meeting Date: November 14, 2024

RN Residential Neighborhood Zoning



Printed November 7, 2024



Town of Pittsford GIS

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513

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503

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FIRM Panel
36055C0362G

FIRM Panel
36055C0362G

Nearmap

Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

100 ft



GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYs).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

SECTION R316 - FOAM PLASTIC: THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS, DESIGN, APPLICATION, CONSTRUCTION AND INSTALLATION OF FOAM PLASTIC MATERIALS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH $w.g.$ (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).

THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS.

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH $w.g.$ (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH $w.g.$ (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" & LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEAN. EXHAUST AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

THE NEWPORT / SPEC HOME

LOT 60 BRIDLERIDGE

PITTSFORD, NY

COVENTRY RIDGE BUILDING CORP.

PLAN 2810 / PROJECT 15420 M

SHEET INDEX

- C-1 COVER SHEET
- 1/6 FRONT & LEFT ELEVATIONS
- 2/6 REAR & RIGHT ELEVATIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.

CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFIL. PER SECT. R404.1.7 RCNYS

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEU WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE, WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE & AS PER SECT R802.10 (RCNYS)

R502.6 BEARING: THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3" OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS.

PROVIDE BRACED WALL PANELS AS PER SECT. R602.10.2 - R602.10.10.3 OF 2020 RCNYS.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 PG. OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING. MIN. 1 1/2" SPACE BETWEEN WALL & RAILING.

GRIP SIDE TO BE PER SECTION R311.7.8.5 OF 2020 RCNYS.

STAIR ILLUMINATION PER SECTION R311.7.9 OF 2020 RCNYS.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

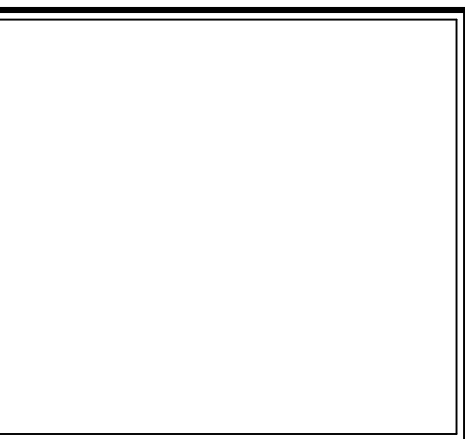
IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

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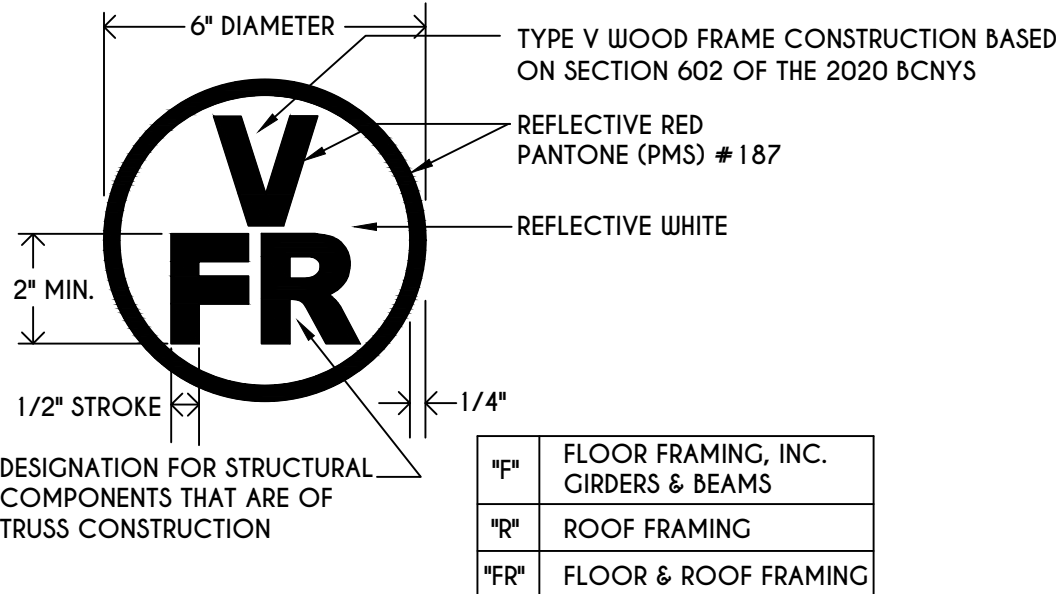
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GLA PLAN 2810

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TRUSS IDENTIFICATION:

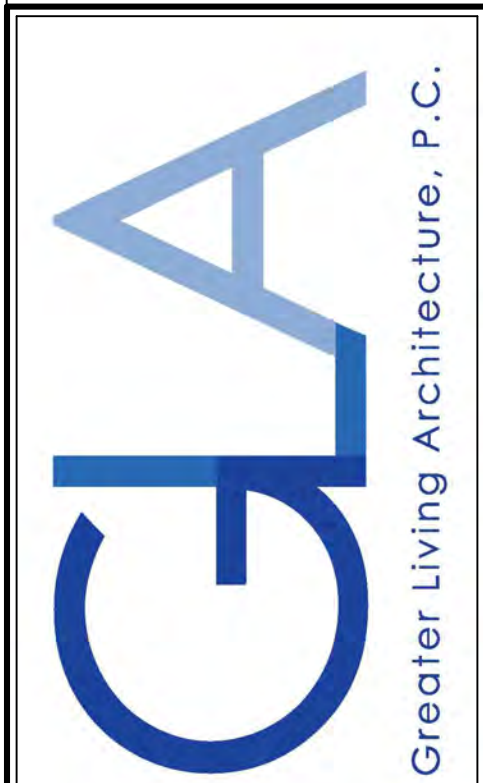
IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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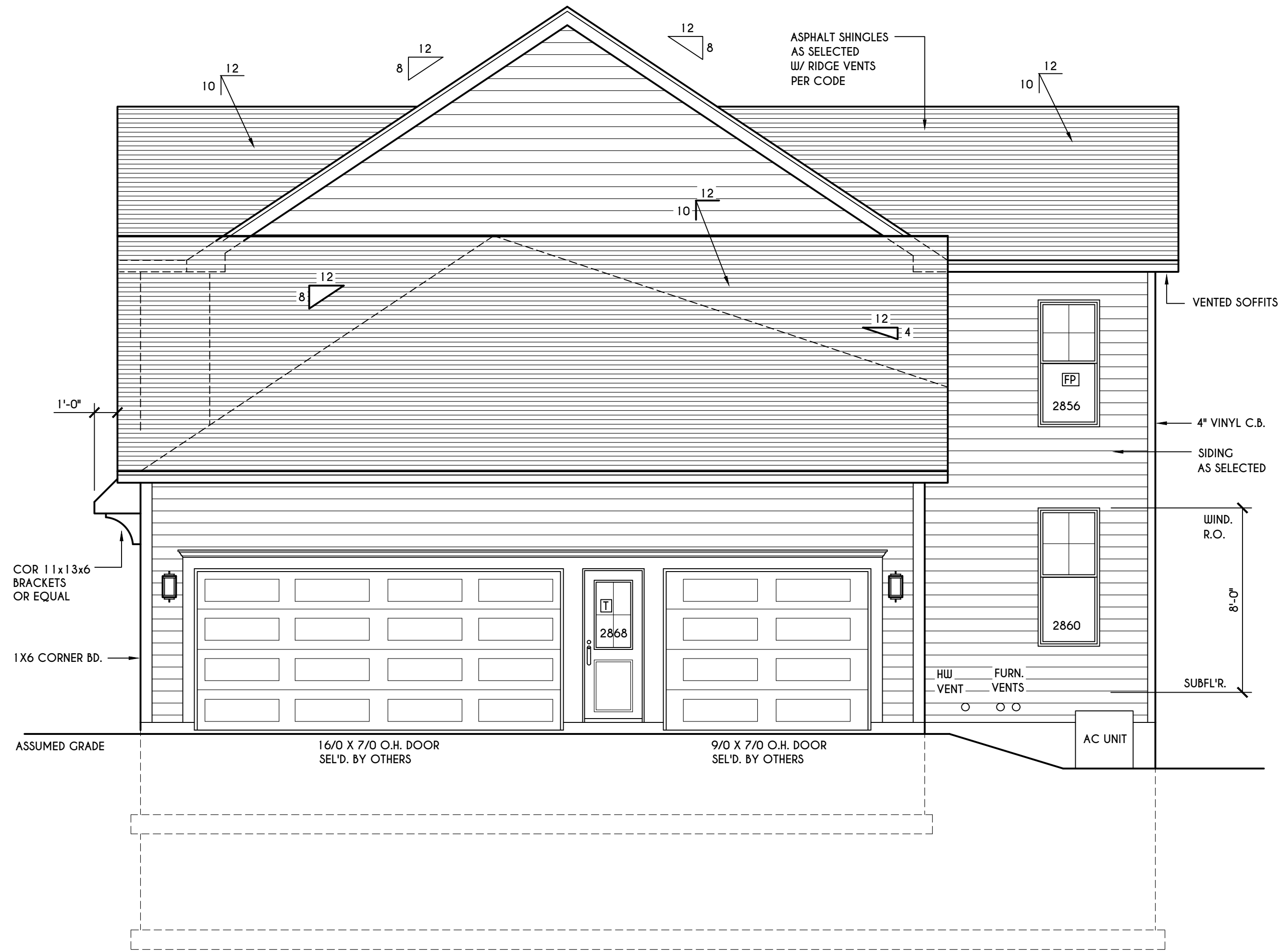
ELEVATIONS

GLA PLAN 2810

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PROJECT:	sheet: 2
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REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

TABLE M 1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION
SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
AIRFLOW IN CFM					
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M 1505.4.3 (2)

INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

WINDOWS: HARVEY OR EQUAL
U-FACTOR 0.28
SHGC 0.21

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING
PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

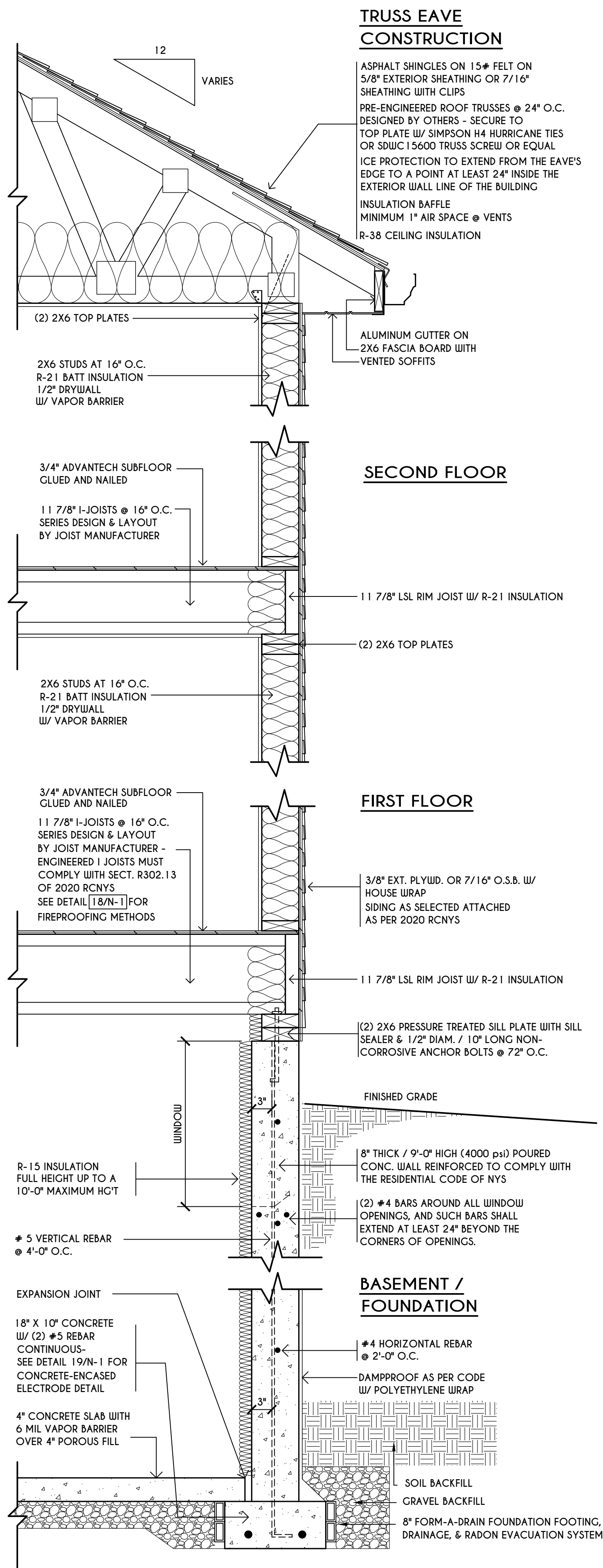
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

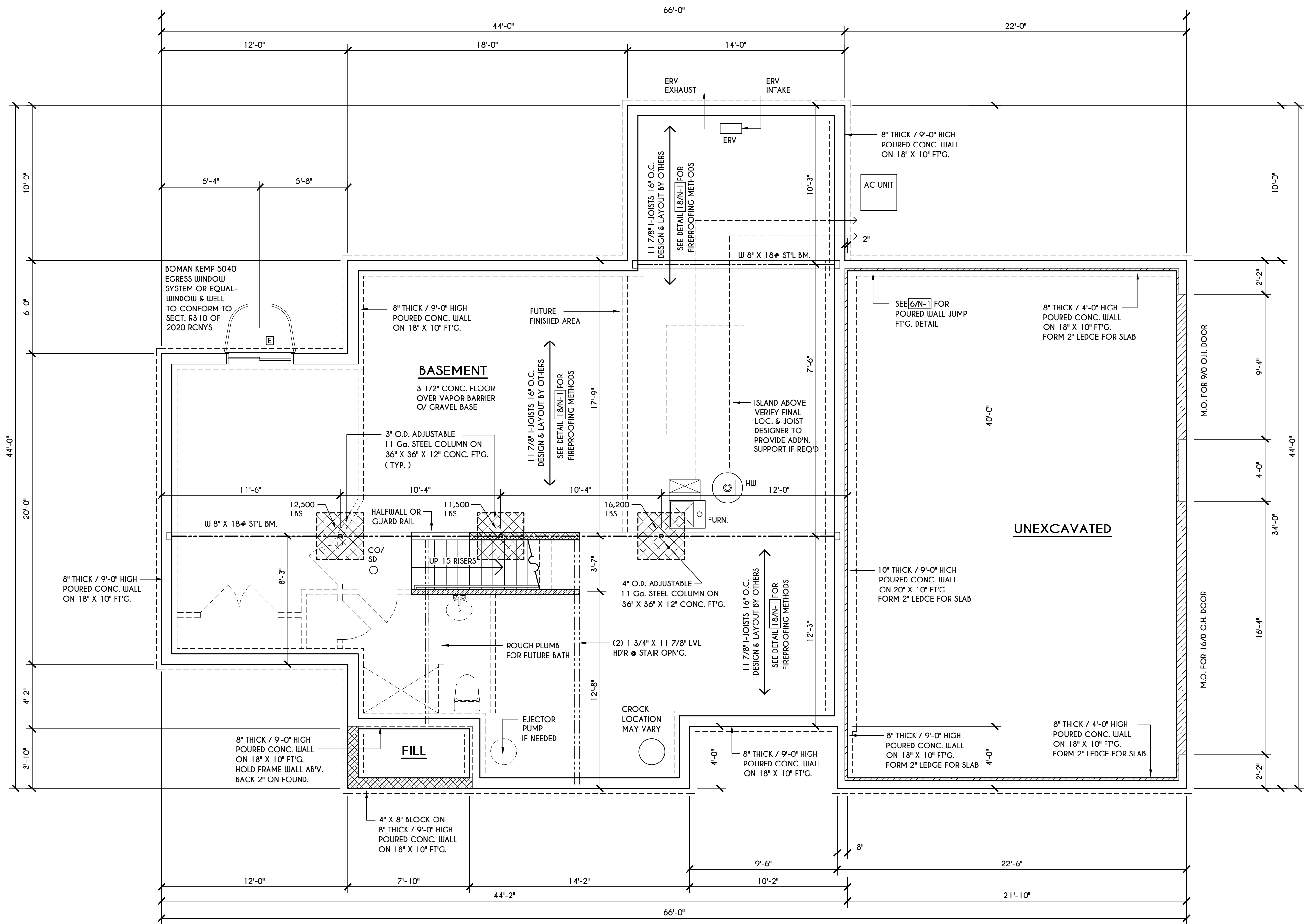
MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 cfm. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS
SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 (PAGE 1)



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



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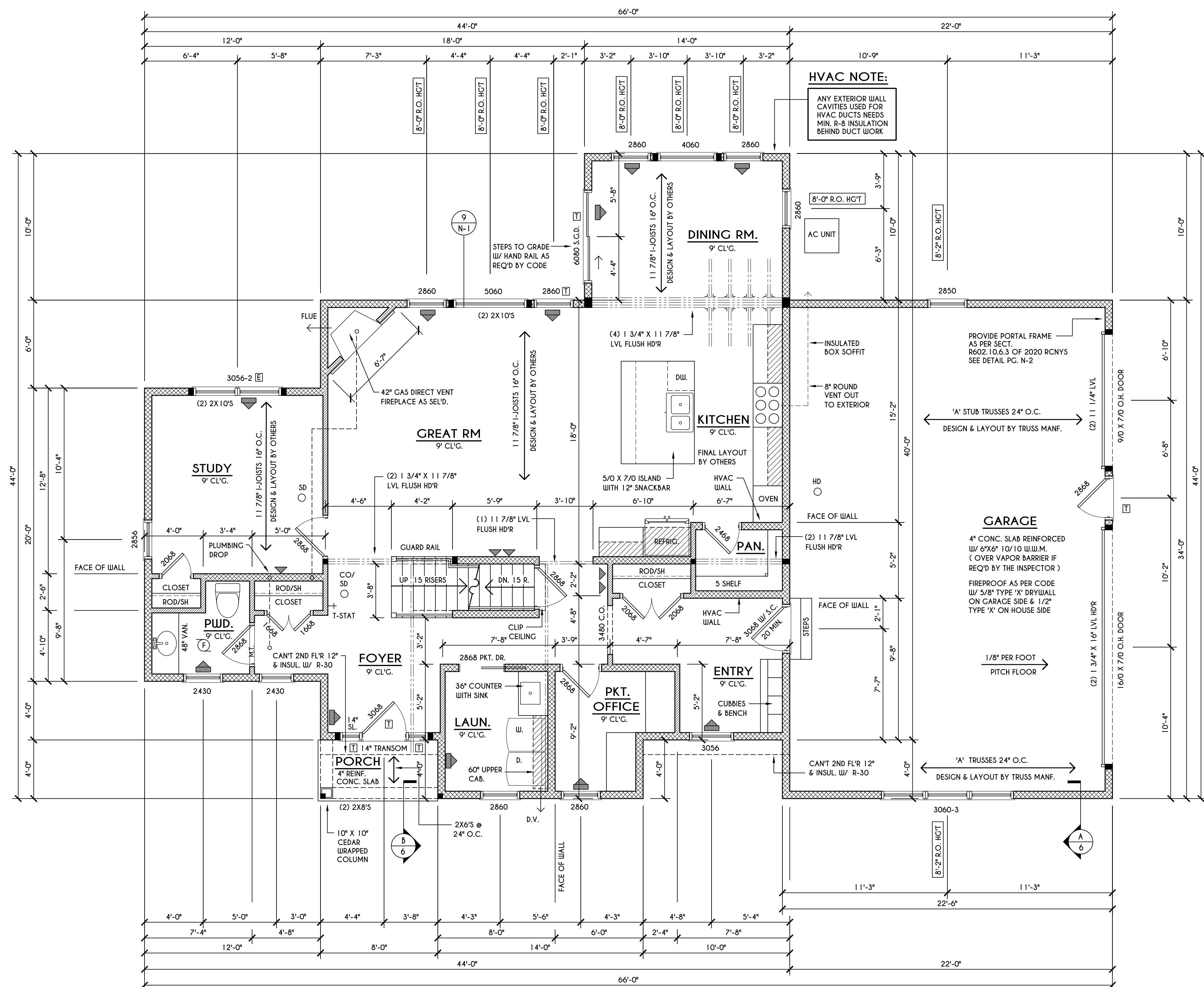
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FIRST FLOOR PLAN

GLA PLAN 2810

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<u>PROJECT:</u> 15420M	sheet: <div style="font-size: 2em; text-align: center;">4 6</div>








FIRST FLOOR PLAN

1396 SQ. FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

-  - PROVIDE SOLID POSTING- GLUED & NAILED.
EQUAL TO THE # OF HEADERS TO BE
SUPPORTED- UNLESS NOTED OTHERWISE
-  - DROPPED HEADER
-  - FLUSH HEADER
-  - 2X4 STUDS @ 16" O.C.
-  - 2X6 STUDS @ 16" O.C.

ENGINEERED FL'R JOIST NOTE:

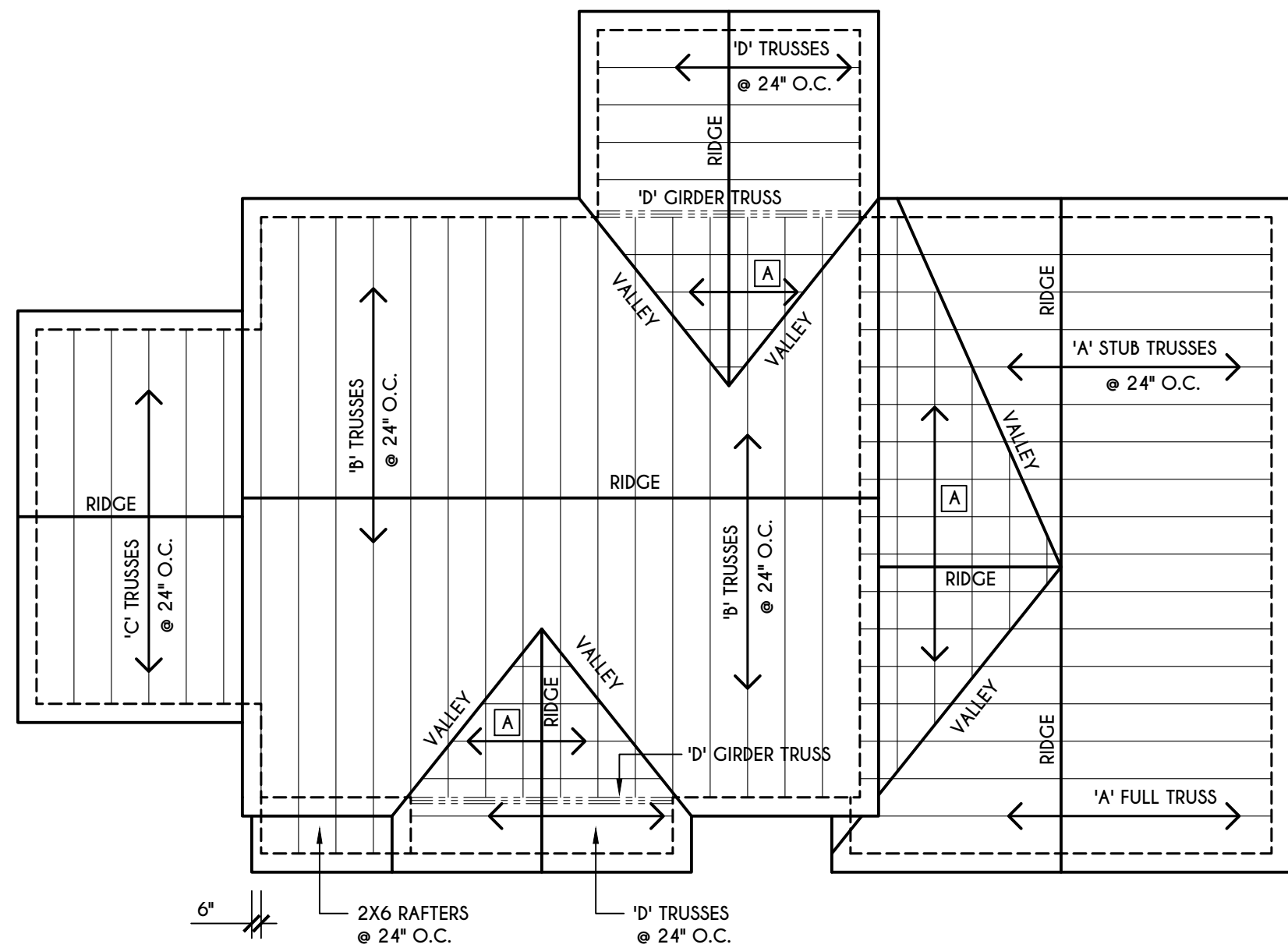
ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R/O HG'TS TO BE 6'-10 1/2" UNO.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL.
PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS = 1/4 - 4" UNO.
ALL ANVLS TO BE 45 DEG. UNO.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R5 INSUL. & TO BE MIN. C22X8'S OR (32X6'S (U.N.O.).
ALL APPLIANCES SHOWN TO BE BY QUINER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SCT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SCT. 915.3 FCNYS & 6 INCH UNDER 1' OF ALL SLEEPING AREAS.
IF AN AUTOMATIC EXHAUST DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM
THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- | | |
|-----------|---|
| E | <ul style="list-style-type: none"> - MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS |
| T | <ul style="list-style-type: none"> - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS |
| FP | <ul style="list-style-type: none"> - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS |



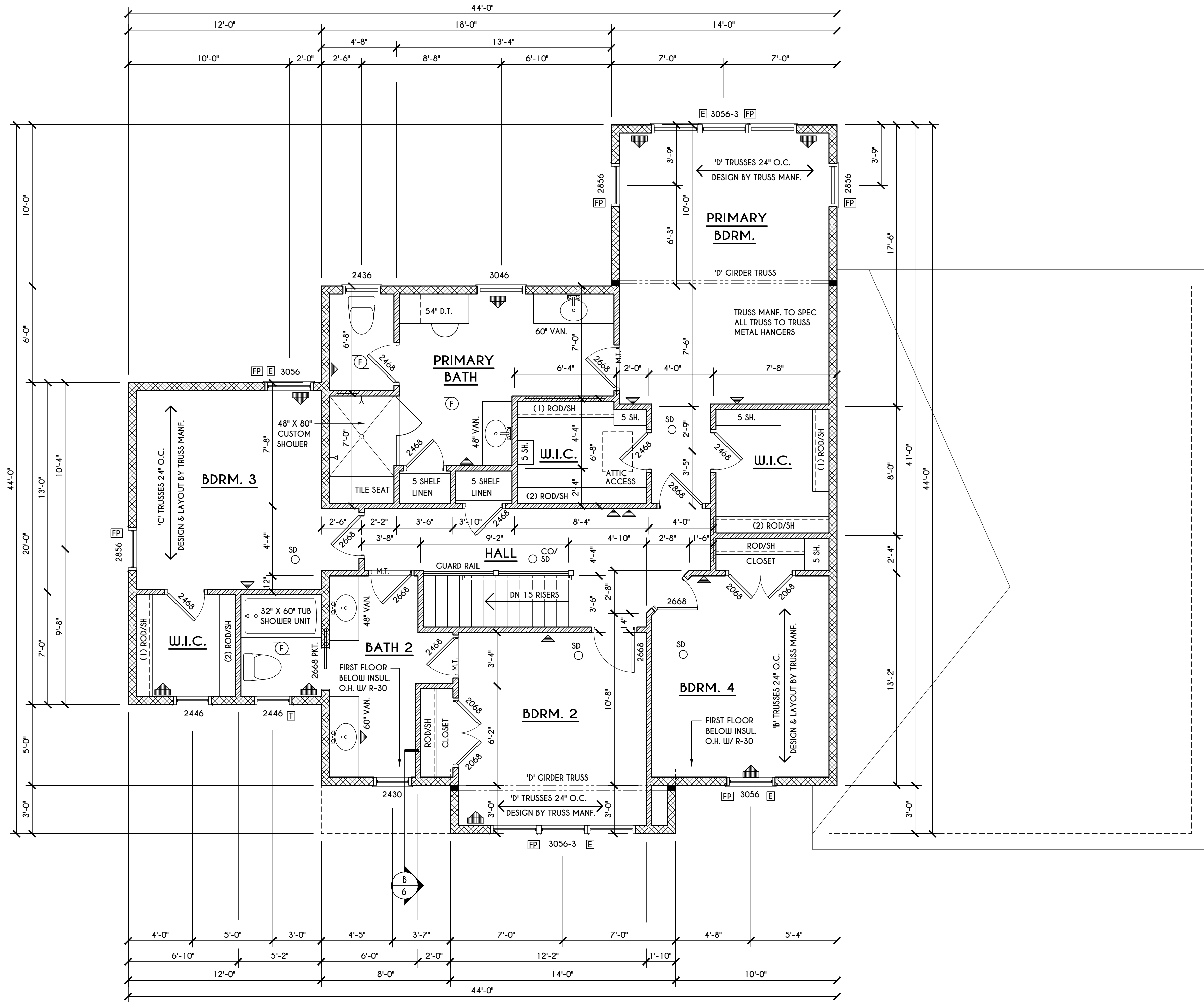
GENERAL ROOF NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

ROOF PLAN

SCALE: 1/8" = 1'-0"

[A] - 2X8 LAYOVER
RAFTERS 24" O.C.



SECOND FLOOR PLAN

1414 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

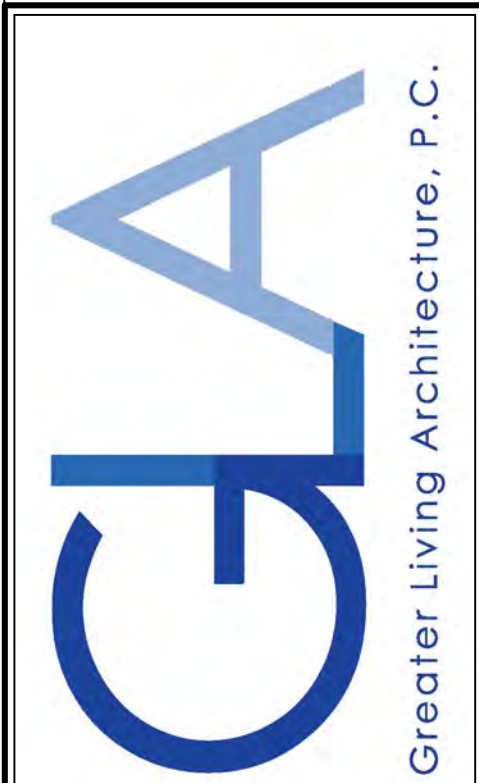
GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2.2 OF 2020 RCNYS

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:

THE NEWPORT - SPEC
LOT 60 BRIDLERIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 9 / 24
PROJECT: 15420M	sheet: 5 6

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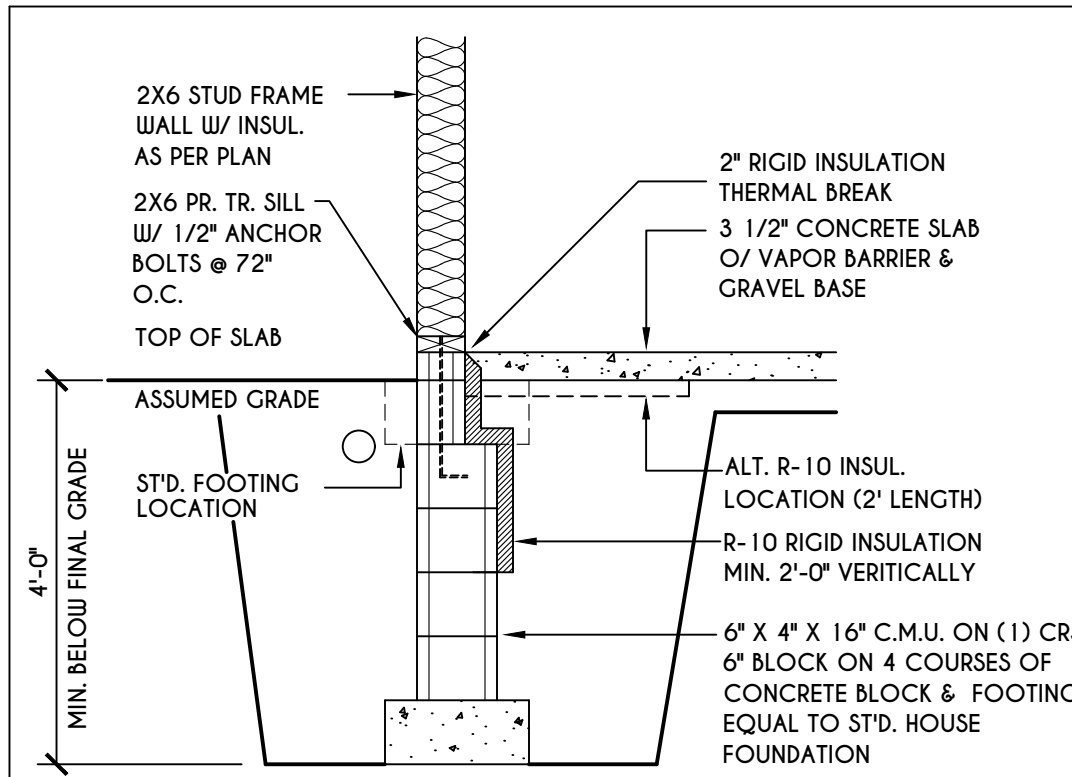


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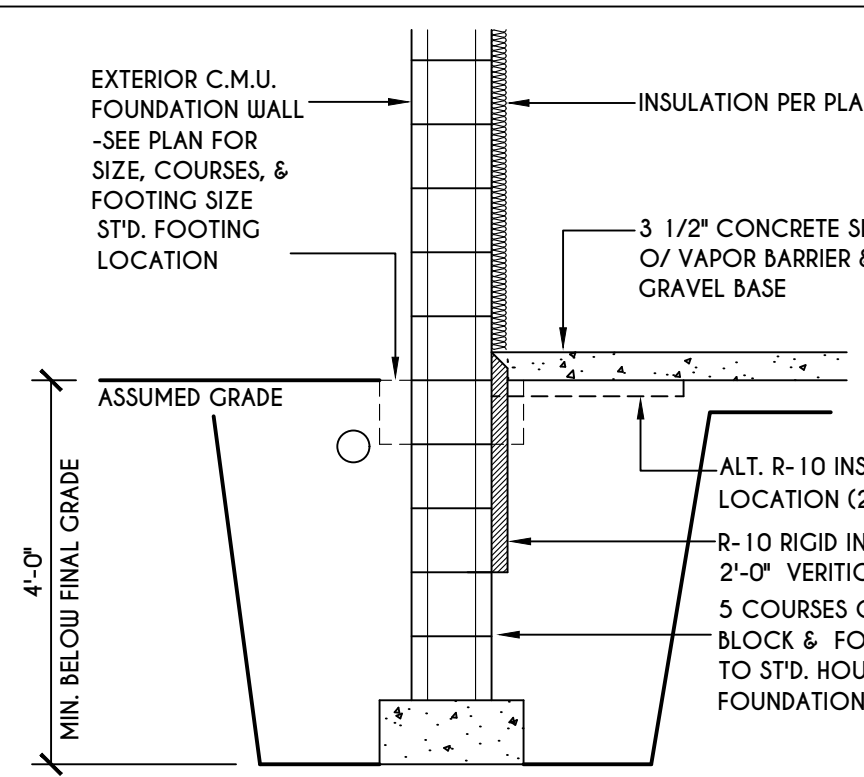
THE NEWPORT - SPEC
LOT 60 BRIDLERIDGE
PITTSFORD, NY

SECTIONS

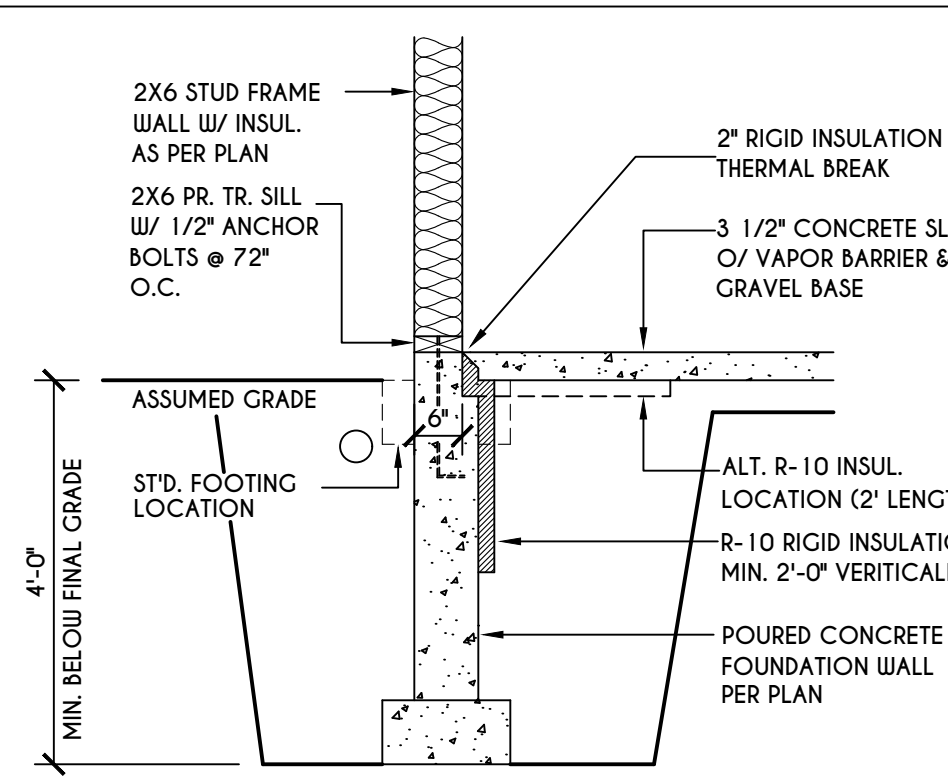
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scale: AS NOTED	date: 9 / 24
<u>PROJECT:</u> 15420M	sheet: 6 6



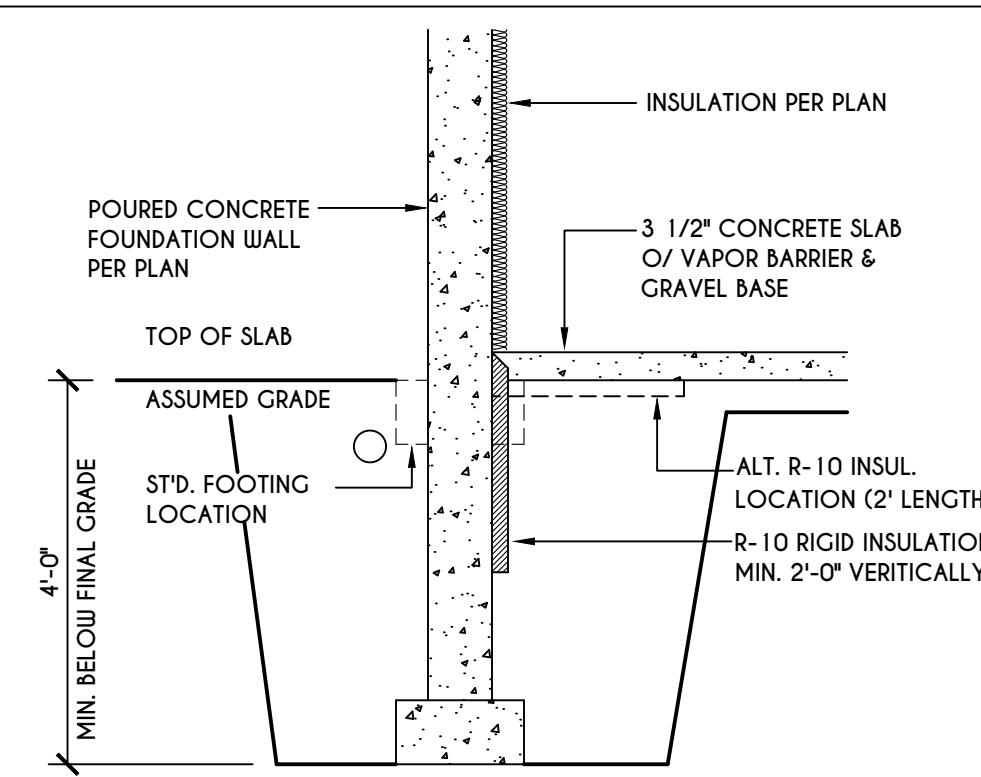
1
N-1
2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



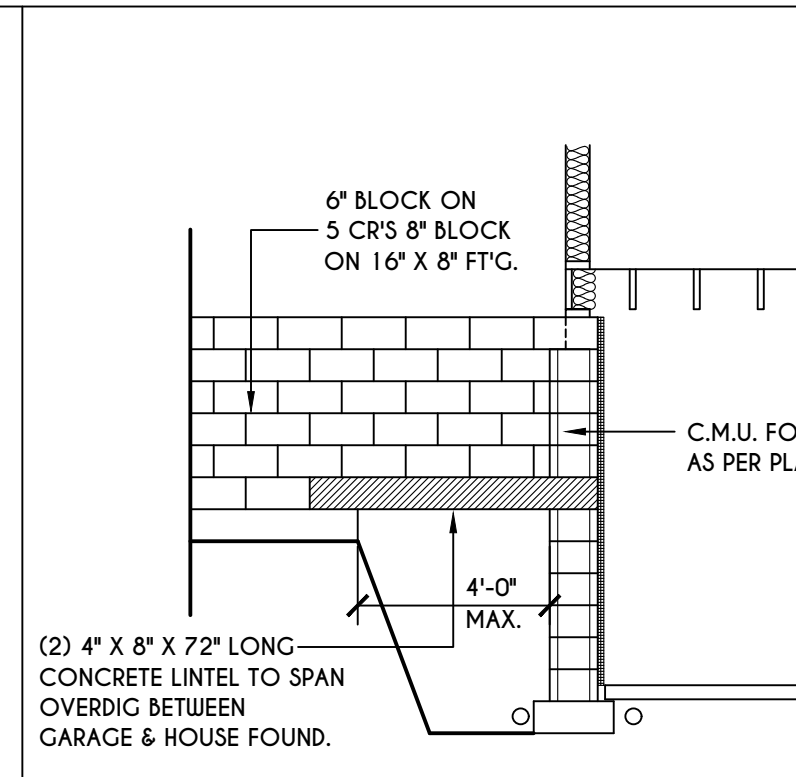
2
N-1
C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



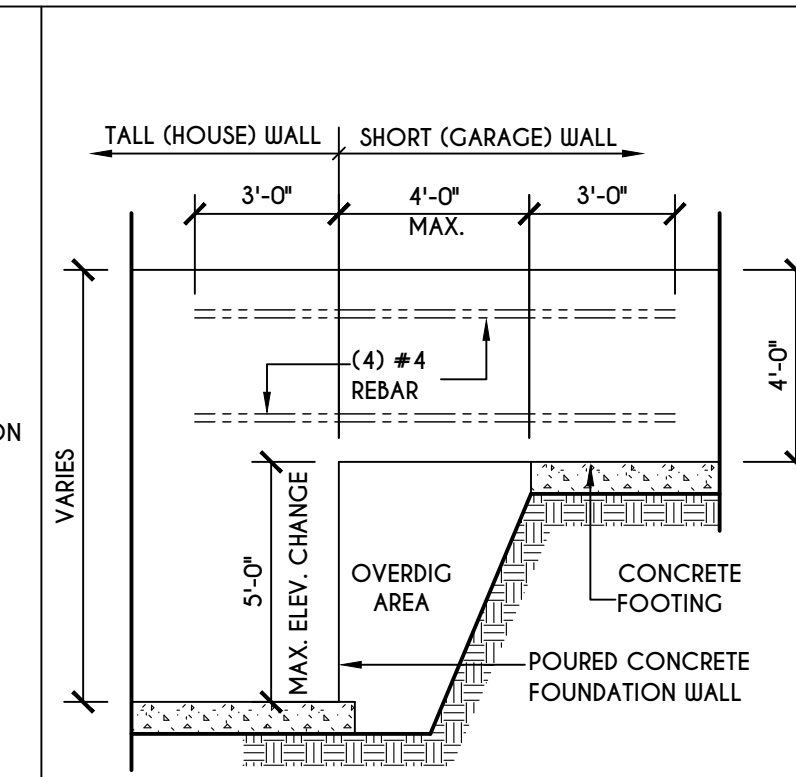
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N-1
2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



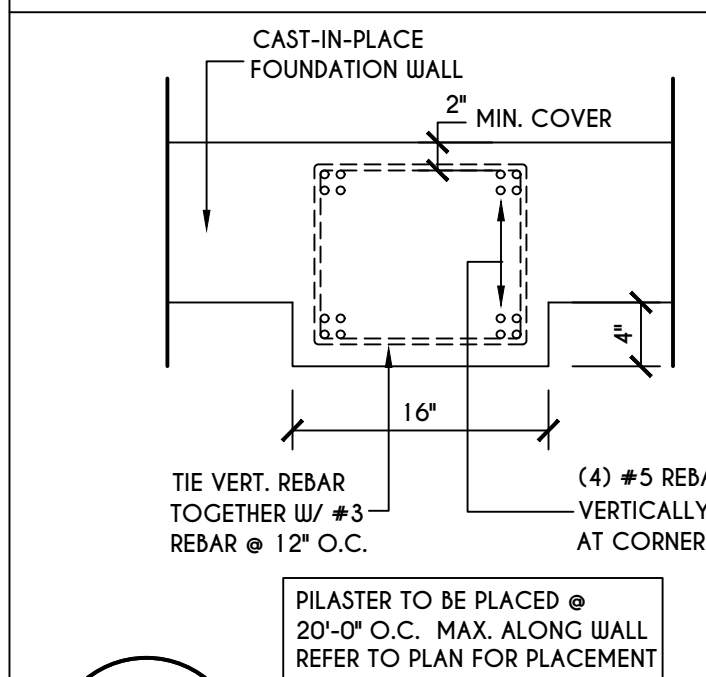
4
N-1
POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



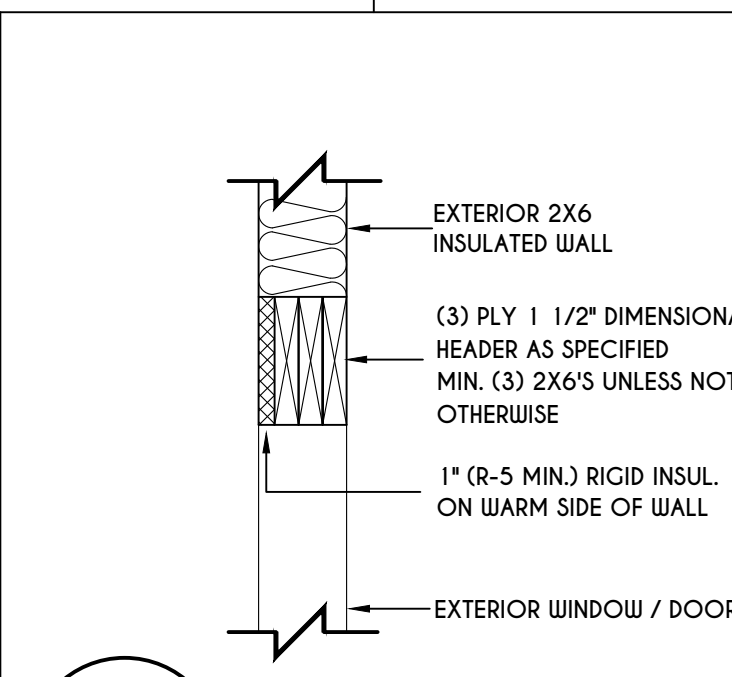
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N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



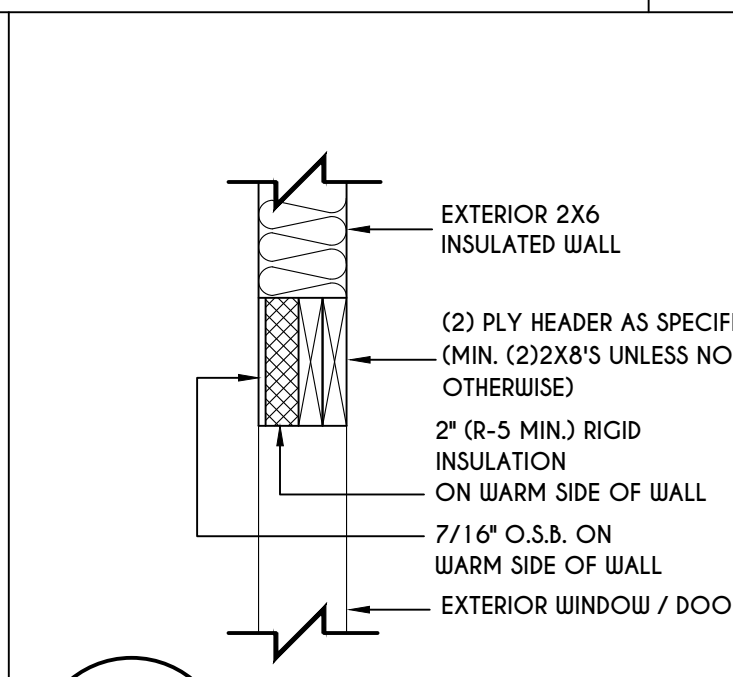
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



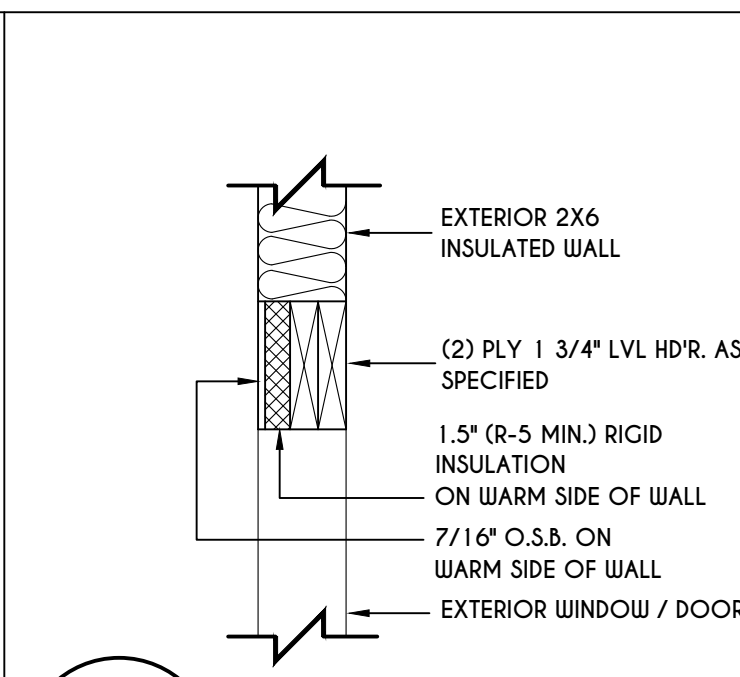
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



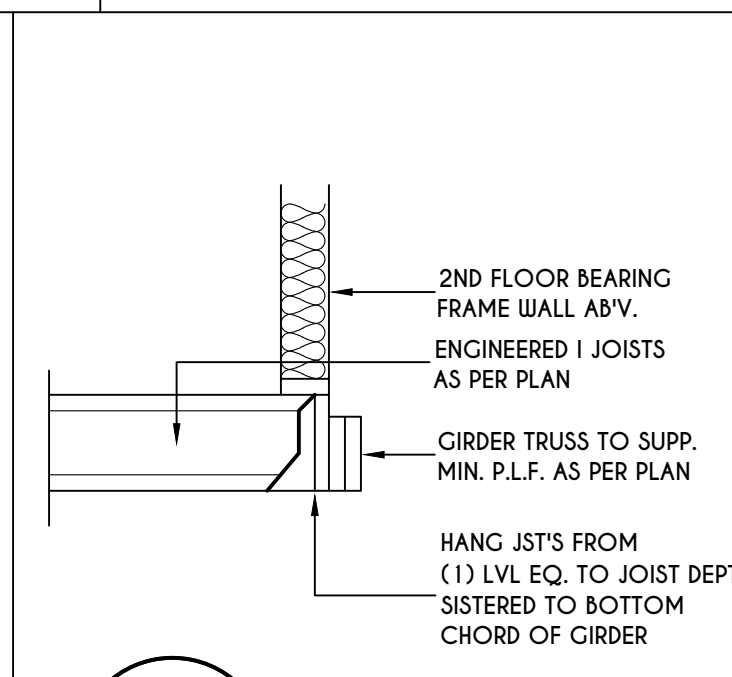
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



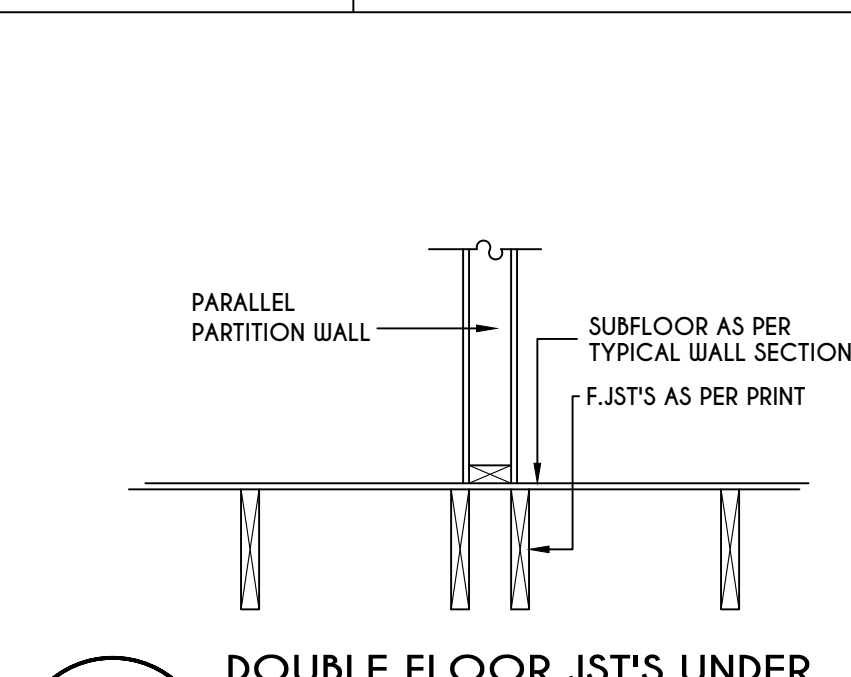
9
N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



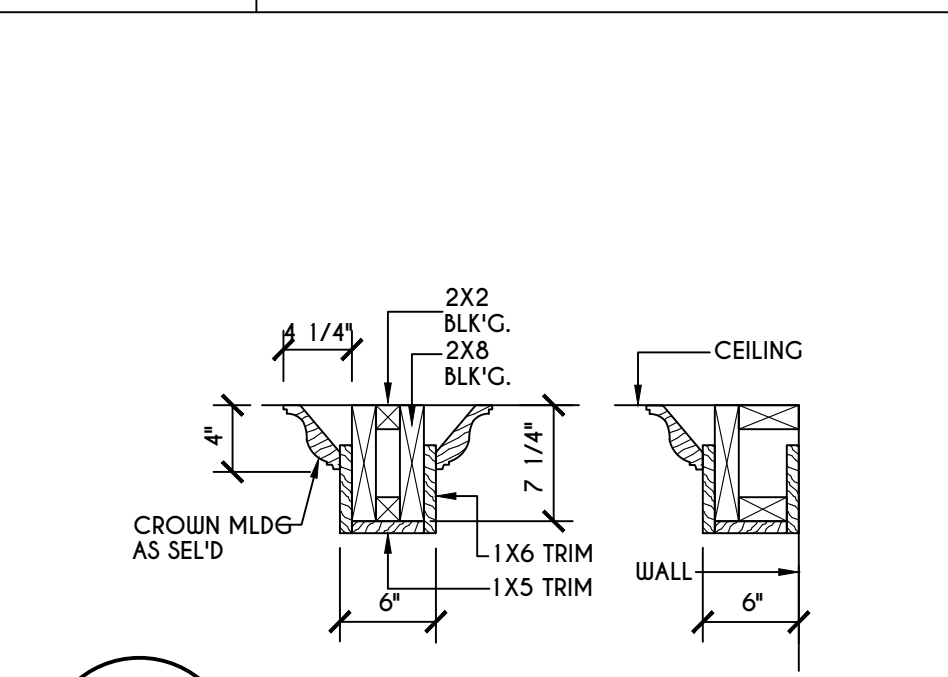
10
N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



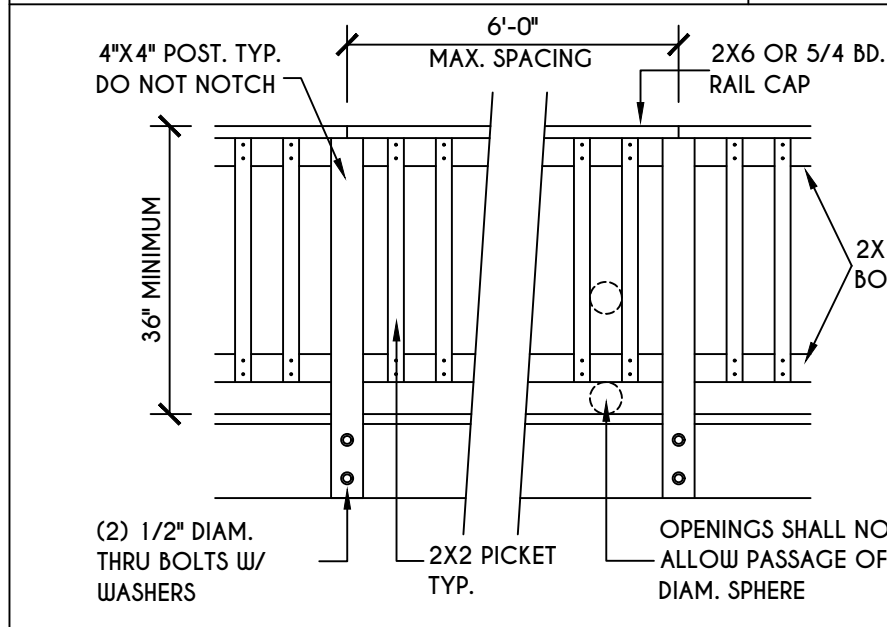
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



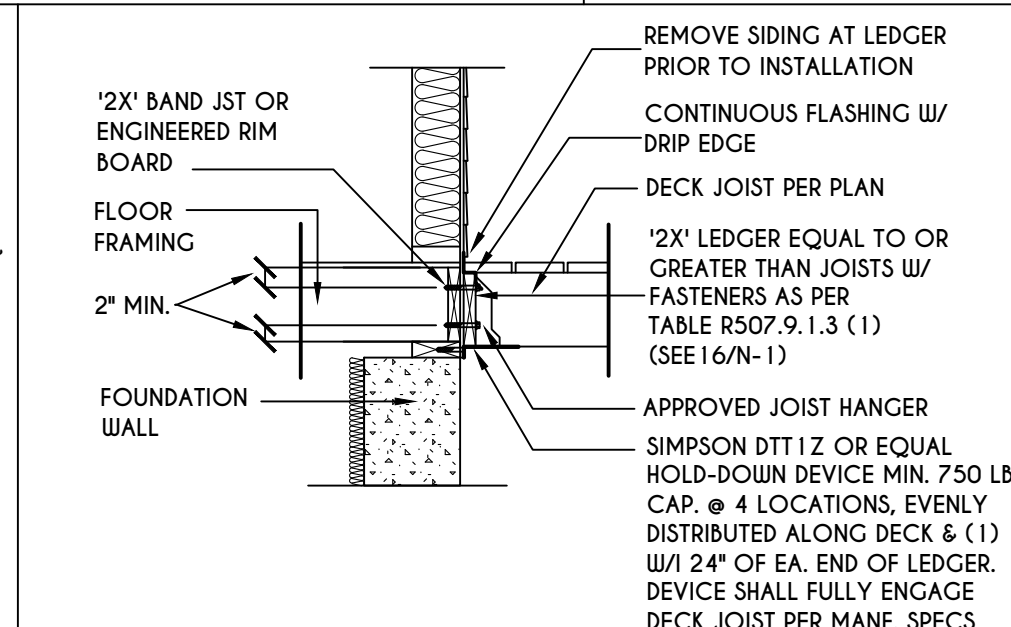
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



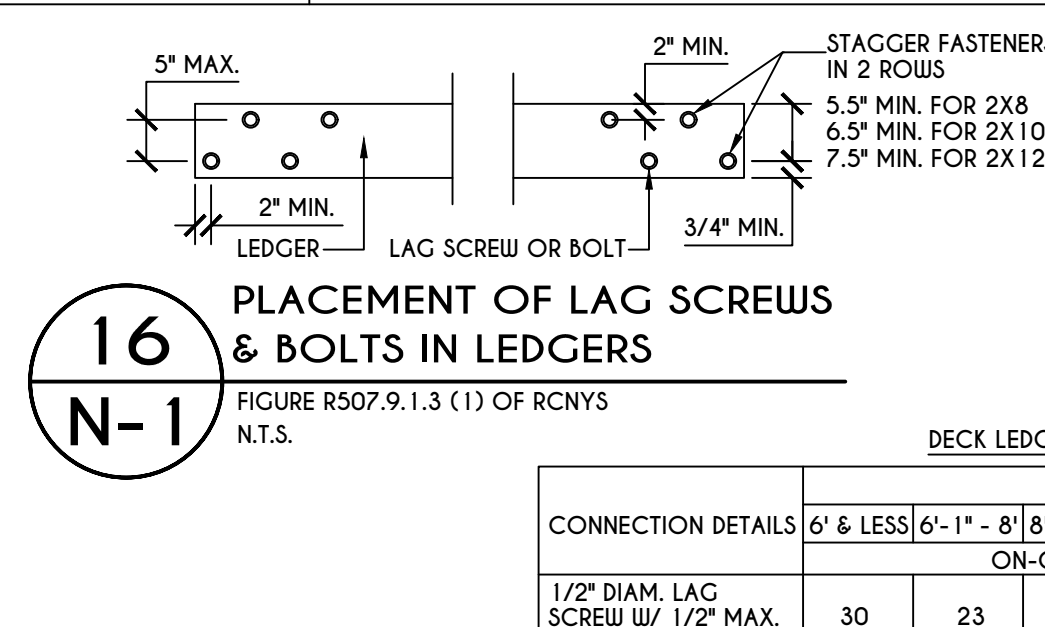
13
N-1
COFFERED BEAM DETAIL
N.T.S.



14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENT AS PER R3 12 OF 2020 RCNYS

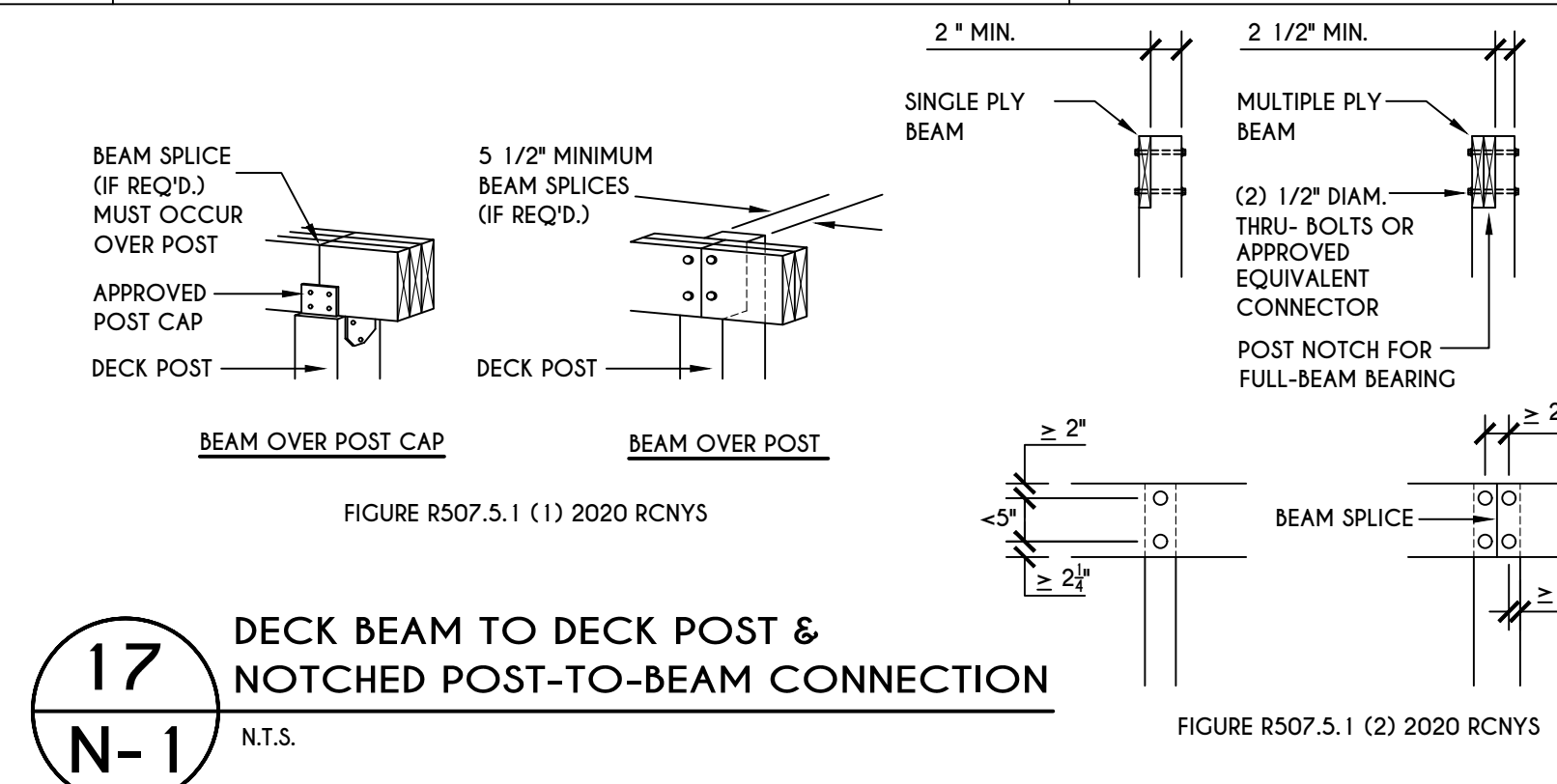


15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

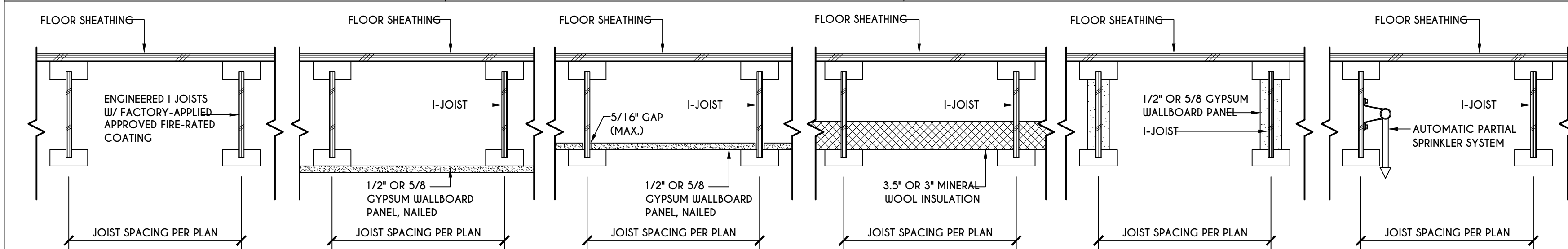
CONNECTION DETAILS	JOIST SPAN					
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18



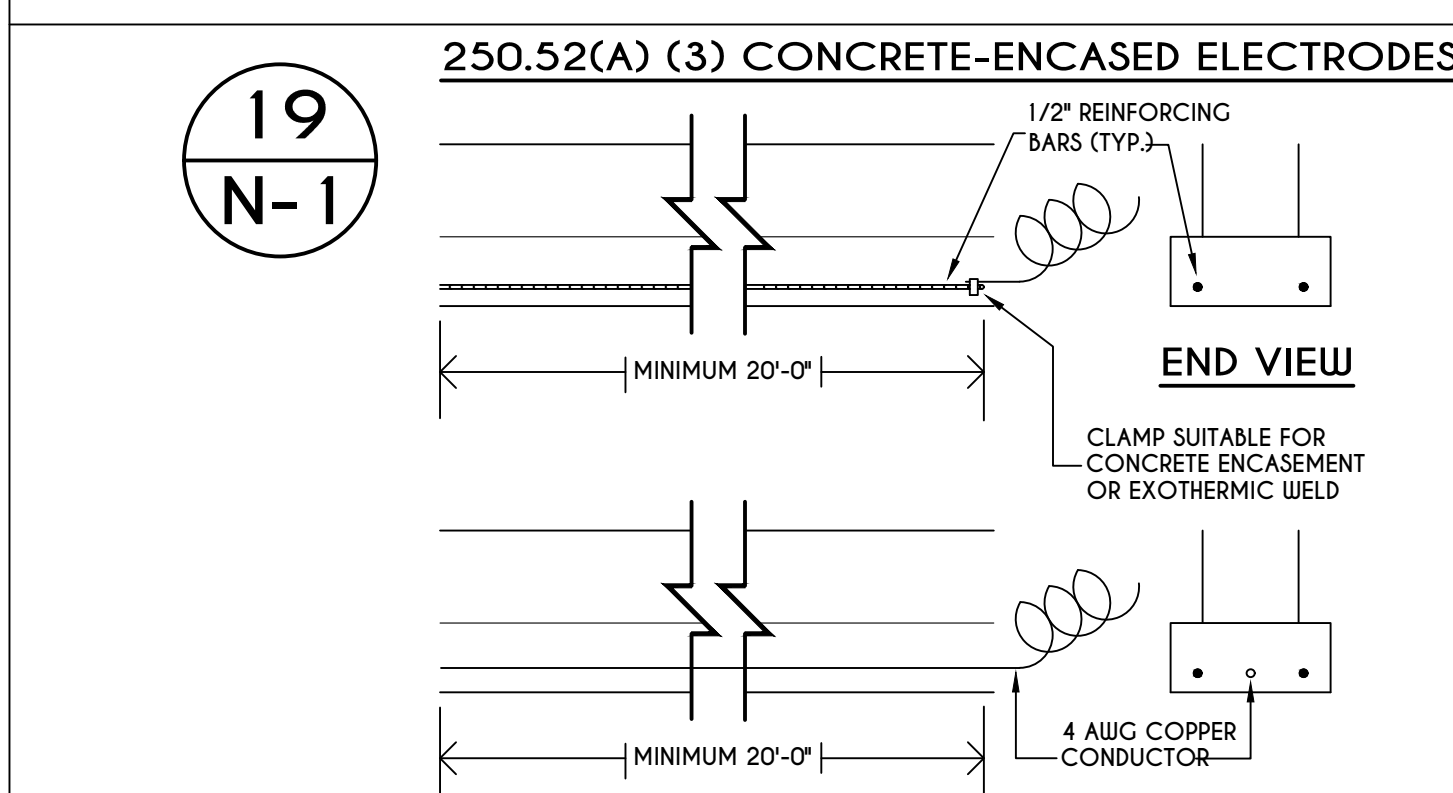
17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

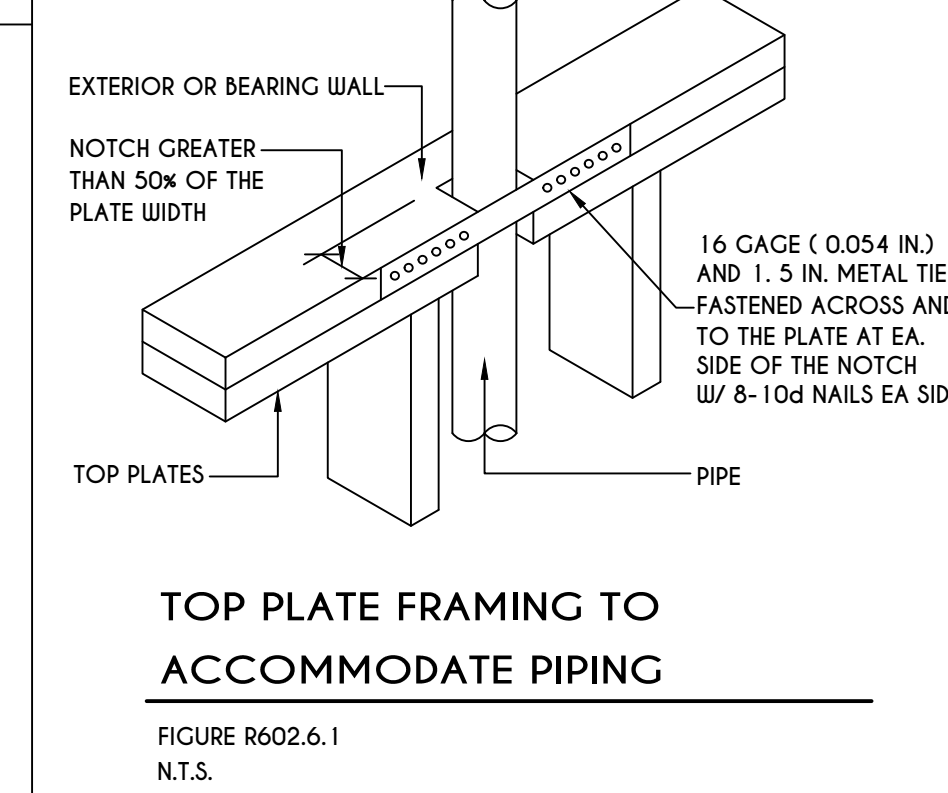
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



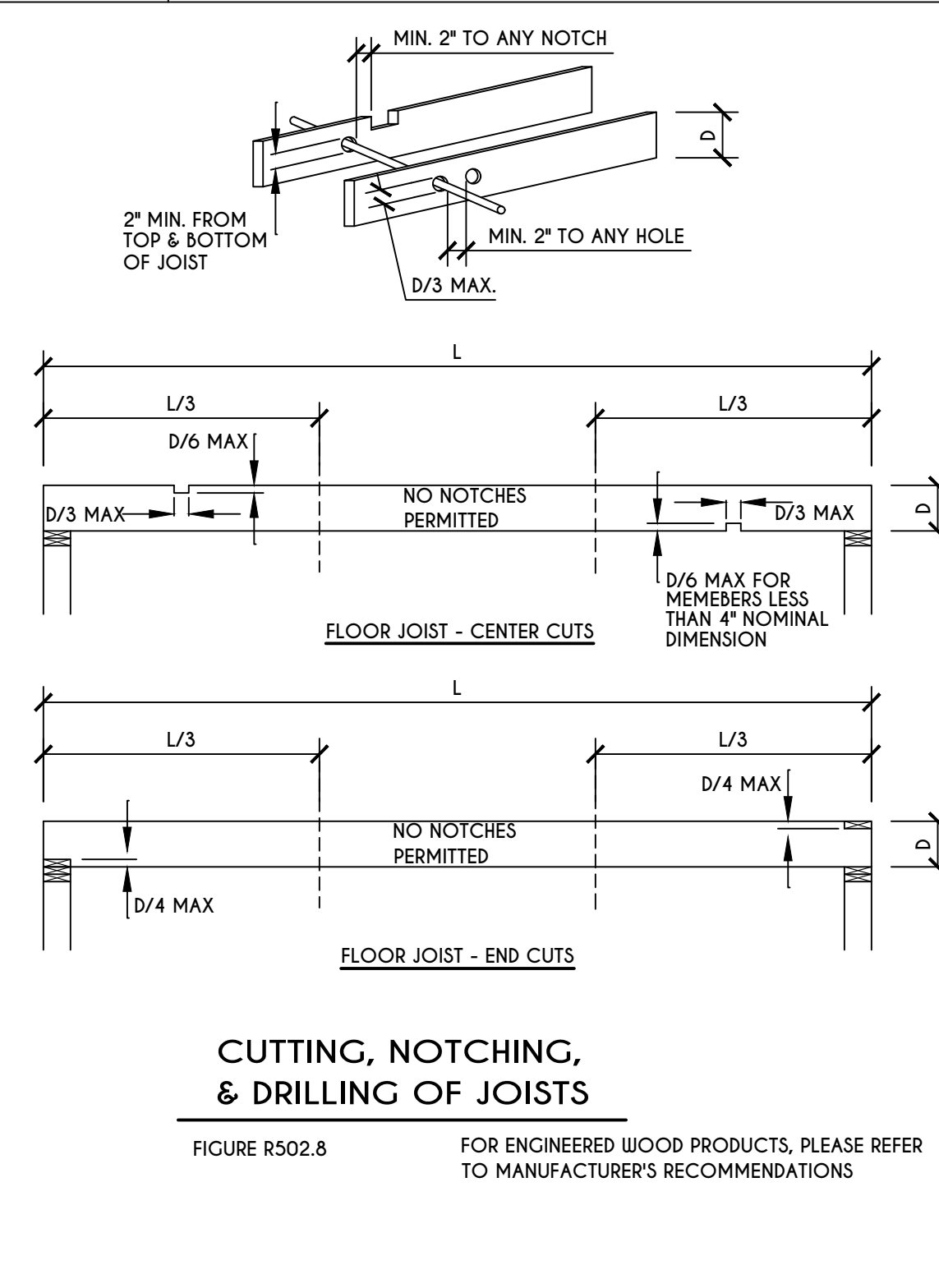
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER AIA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



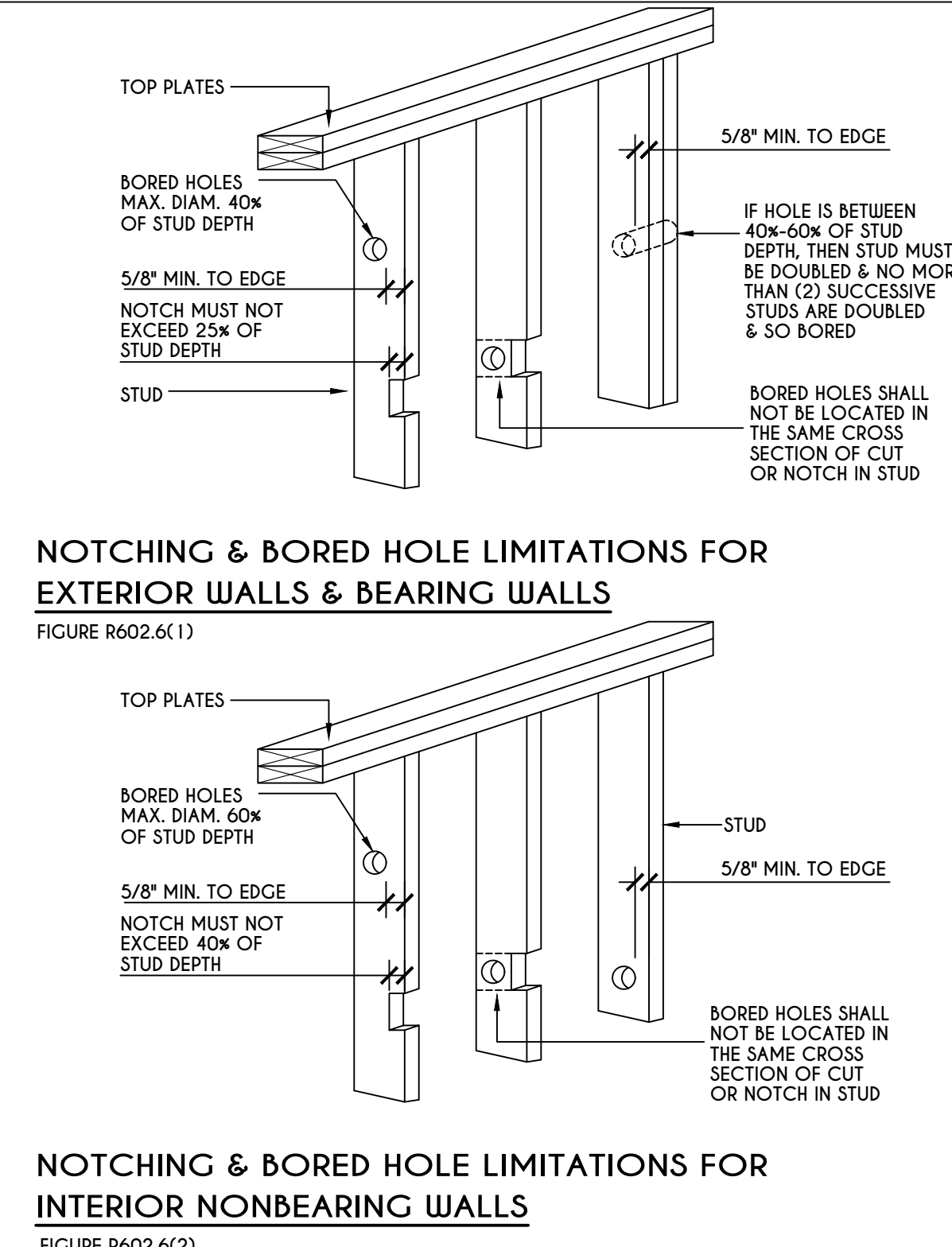
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES



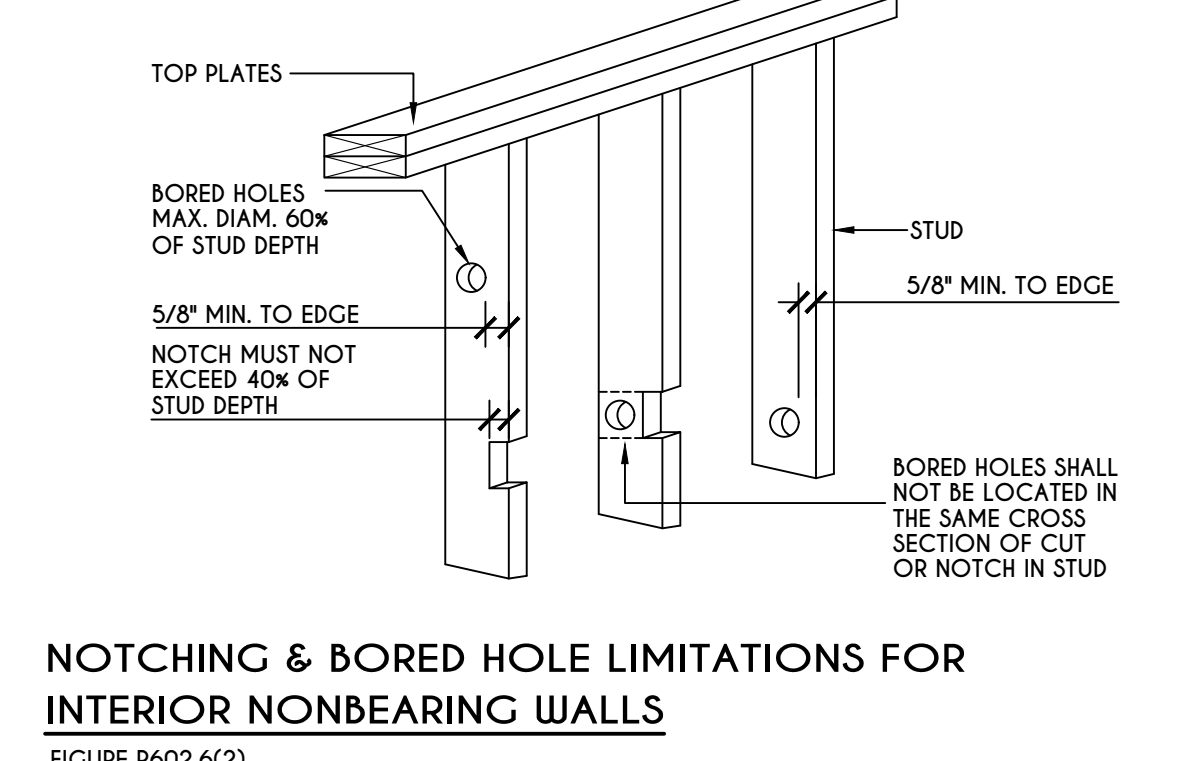
TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

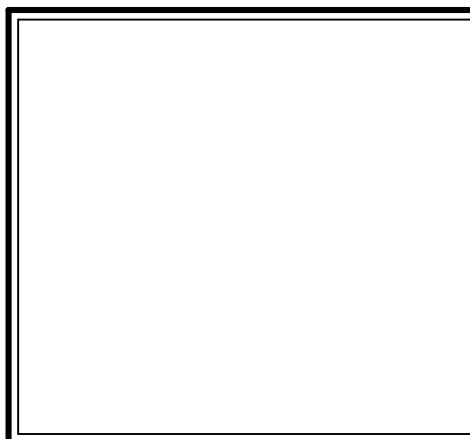


NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d \geq 5$ INCHES ^{a, c, f}				
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}		
		SOIL CLASSES AND LATERAL SOIL LOAD ^h (psf PER FOOT BELOW GRADE)		
		CU, CP, SJ, AND SP SOILS 30	CM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-8"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	10'-0"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d \geq 6.75$ INCHES ^{a, c, f}				
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}		
		SOIL CLASSES AND LATERAL SOIL LOAD ^h (psf PER FOOT BELOW GRADE)		
		CU, CP, SJ, AND SP SOILS 30	CM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-8"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	10'-0"	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d \geq 6.75$ INCHES ^{a, c, f}				
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}		
		SOIL CLASSES AND LATERAL SOIL LOAD ^h (psf PER FOOT BELOW GRADE)		
		CU, CP, SJ, AND SP SOILS 30	CM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	10'-0"	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, i, k, n, o}														
MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT θ (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)												
		SOIL CLASSES ^g AND DESIGN LATERAL SOIL γ (psf PER FOOT OF DEPTH)												
		CU, CP, SJ, AND SP 30				CM, GS, SM-SC AND ML 45				SC, MK, ML-CL AND INORGANIC CL 60				
		MINIMUM WALL THICKNESS (INCHES)												
		6	8	10	12	6	8	10	12	6	8	10	12	
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.

c. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9).

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS 1/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE Laterally SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 1m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.

m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.

n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

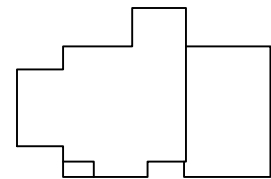
o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1

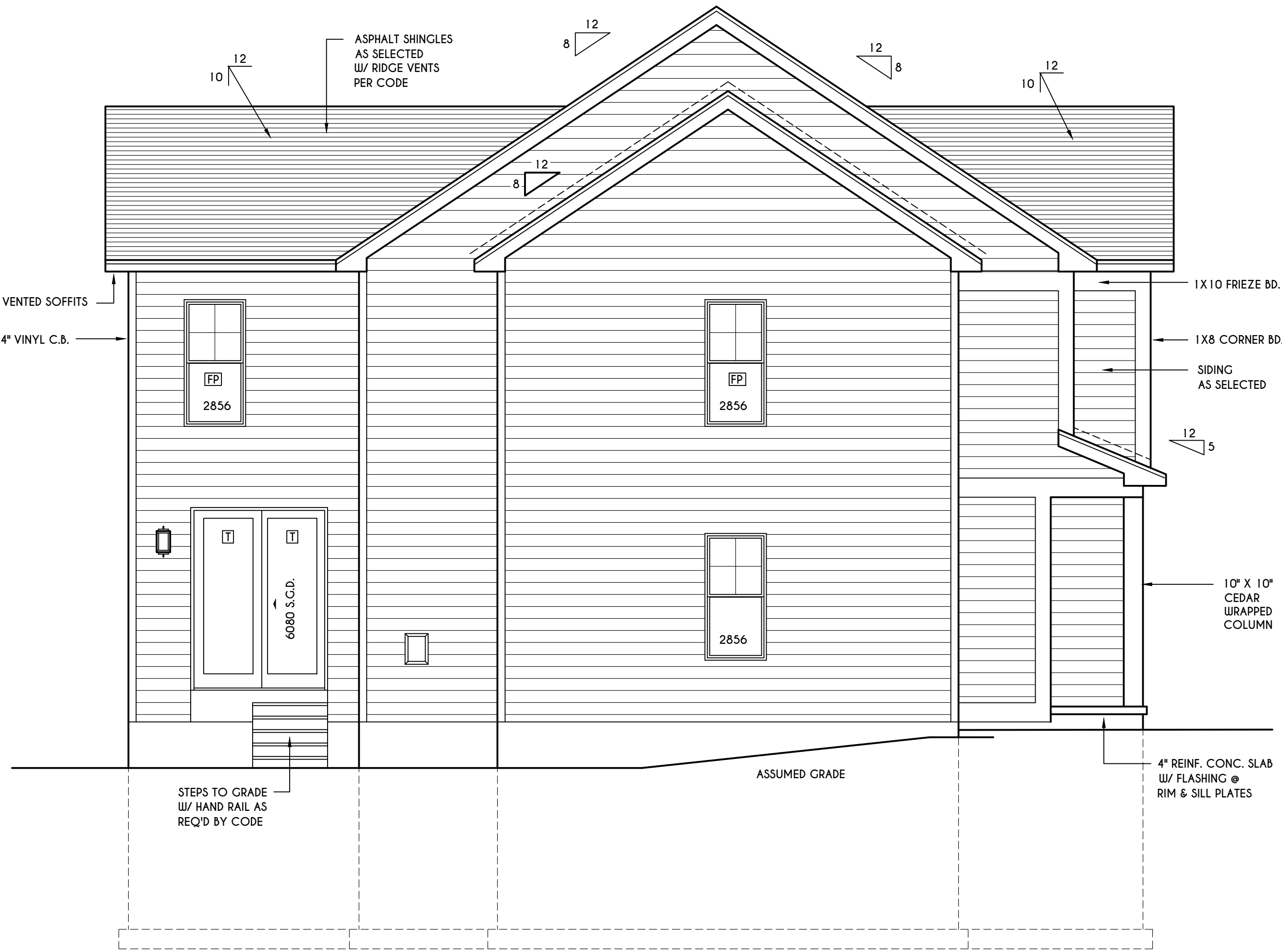
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW C

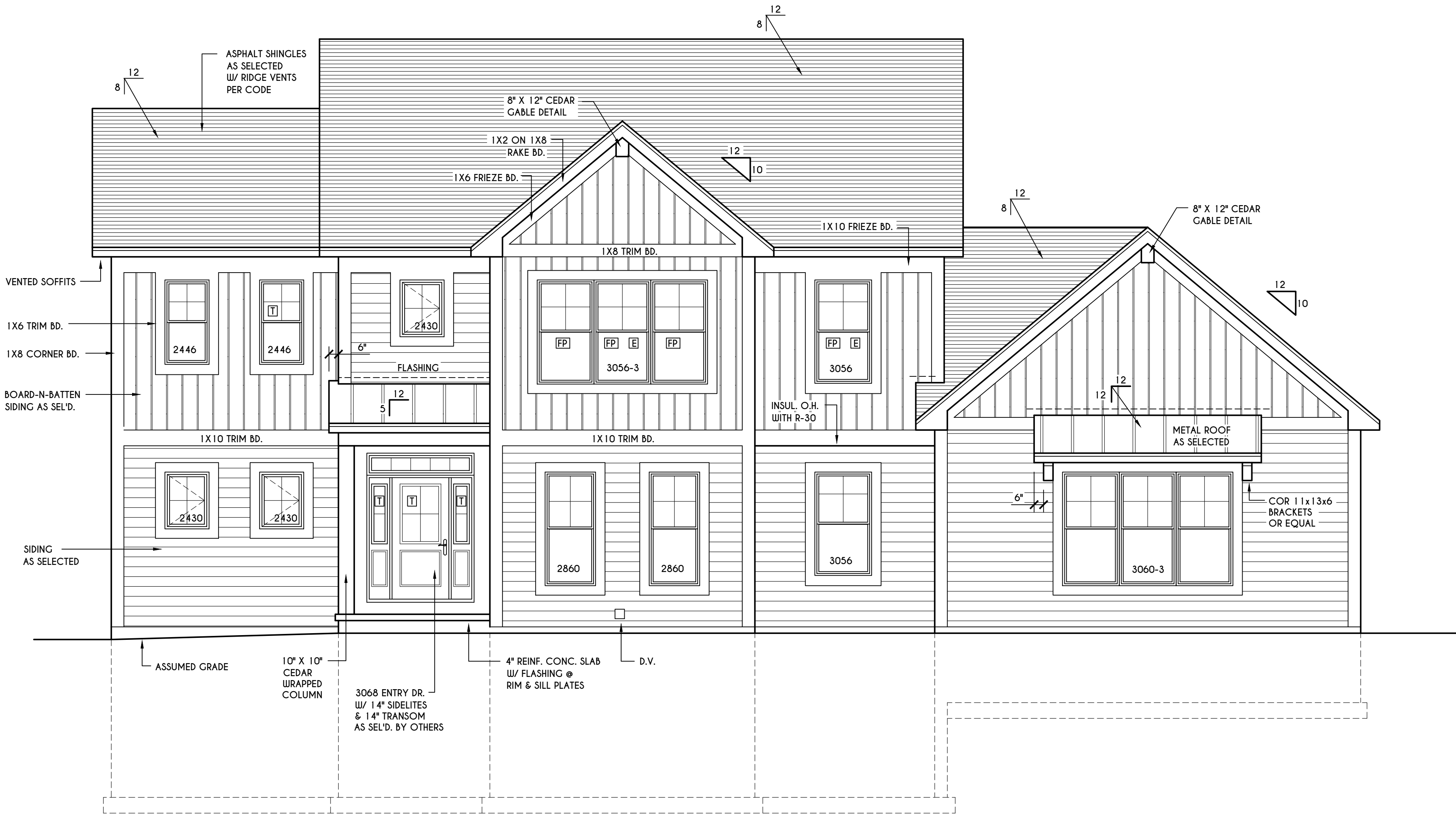
5 Bridleridge



HOUSE FOOTPRINT
SCALE: 1" = 50'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1396 SQ.FT.
SECOND FLOOR LIVING AREA = 1414 SQ.FT.
TOTAL LIVING AREA = 2810 SQ.FT.
TOTAL CONDITIONED VOLUME = 38,224 CU.FT.

TABLE M1505.4.3 (1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS						
DUELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS					AIRFLOW IN CFM
	0-1	2-3	4-5	6-7	> 7	
< 1,500	30	45	60	75	90	
1,501-3,000	45	60	75	90	105	
3,001-4,500	60	75	90	105	120	
4,501-6,000	75	90	105	120	135	
6,001-7,500	90	105	120	135	150	
> 7,500	105	120	135	150	165	

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M1505.4.3 (2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}						
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

^a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
^b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS	
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

WINDOWS: VUD 210C DH SOLAR GAIN W/ ARGON
U-FACTOR 0.30
SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING
PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS
SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:

THE NEWPORT - SPEC
LOT 1 BRIDLERIDGE
PITTSFORD, NY

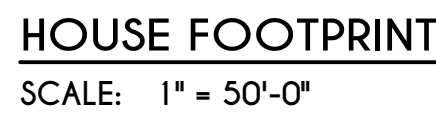
BUILDER:

COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS

GLA PLAN 2810

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scale: AS NOTED	date: 10 / 23
PROJECT:	sheet: 1
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FIRST FLOOR LIVING AREA = 1524 SQ.FT.
SECOND FLOOR LIVING AREA = 1560 SQ.FT.
TOTAL LIVING AREA = 3084 SQ.FT.
TOTAL CONDITIONED VOLUME = 41,988 CU.FT.



SCALE: 1/4" = 1'-0"

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

- For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
- Extrapolation beyond the table is prohibited.

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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CLIENT/LOCATION:

LOT 2
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PITTSFORD, NY

BUILDER:

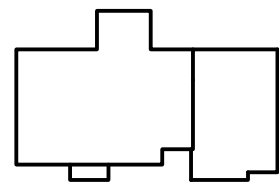
COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS

GLA PLAN 3084

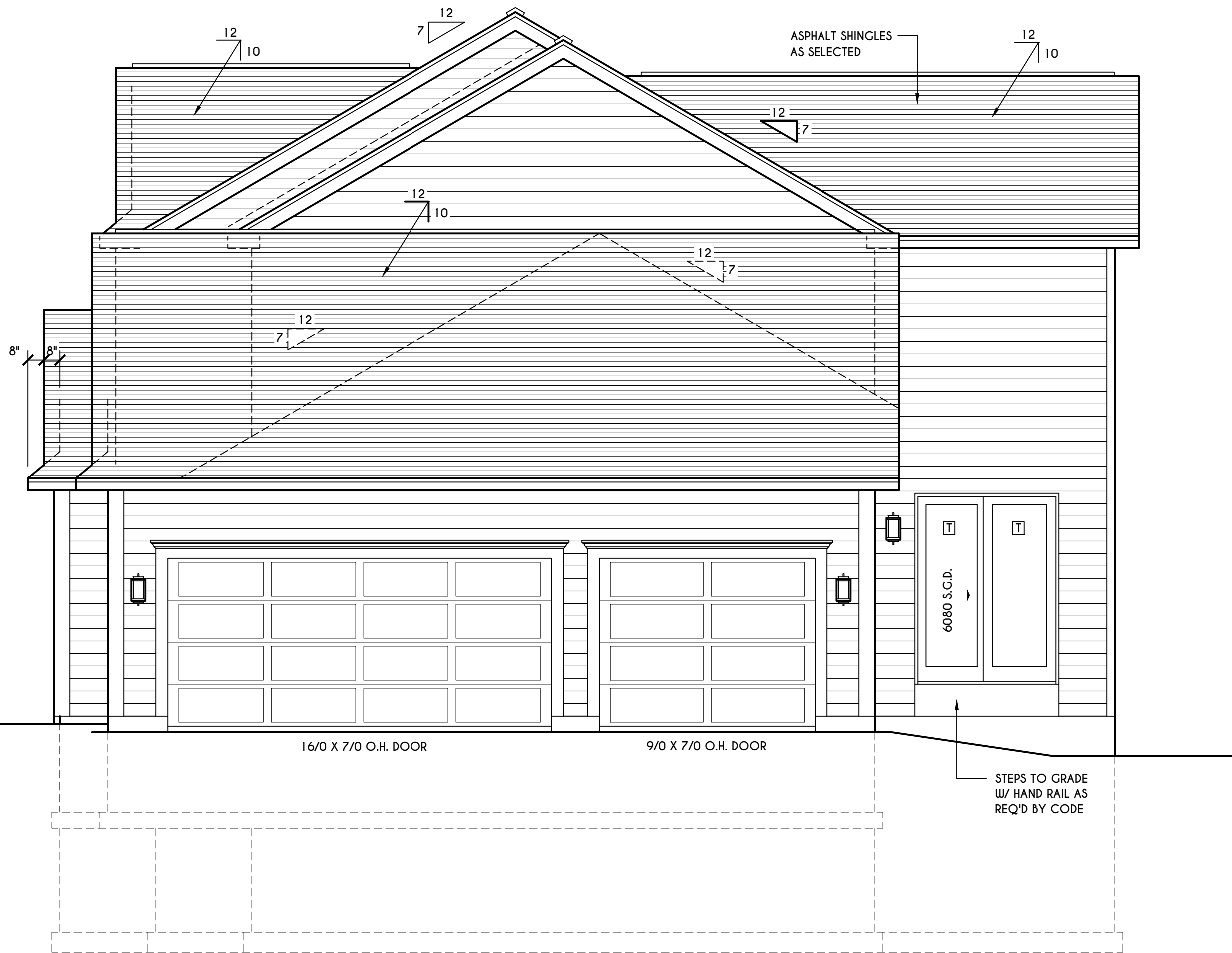
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<u>PROJECT:</u> 1538 I C	sheet: 1 6

9 Bridleridge



HOUSE FOOTPRINT

SCALE: 1" = 50'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1488 SQ.FT.
SECOND FLOOR LIVING AREA = 1517 SQ.FT.
TOTAL LIVING AREA = 3005 SQ.FT.
TOTAL CONDITIONED VOLUME = 40,807 CU.FT.

WINDOWS: VUID SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30
SHGC 0.54

DOORS: SELECTION BY OWNER
AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)	
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS	
DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS
	0-12-34-56-7>7
AIRFLOW IN CFM	
< 1,500	3045607590
1,501-3,000	45607590105
3,001-4,500	607590105120
4,501-6,000	7590105120135
6,001-7,500	90105120135150
> 7,500	105120135150165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)	
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b	
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%33%50%66%75%100%
FACTOR a	4321.51.31.0
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation. b. Extrapolation beyond the table is prohibited.	
TABLE M1505.4.4	
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS	
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

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ALT. "LATTIMORE"
LOT 3 BRIDLERIDGE FARMS
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS

GLA PLAN 3005

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scale: AS NOTED	date: 10 / 23
PROJECT:	sheet: 1
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TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION
SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7
< 1,500	30	45	60	75
1,501-3,000	45	60	75	90
3,001-4,500	60	75	90	105
4,501-6,000	75	90	105	120
6,001-7,500	90	105	120	135
> 7,500	105	120	135	150

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.00047 19 m3/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR a	4	3	2	1.5	1.3	1.0

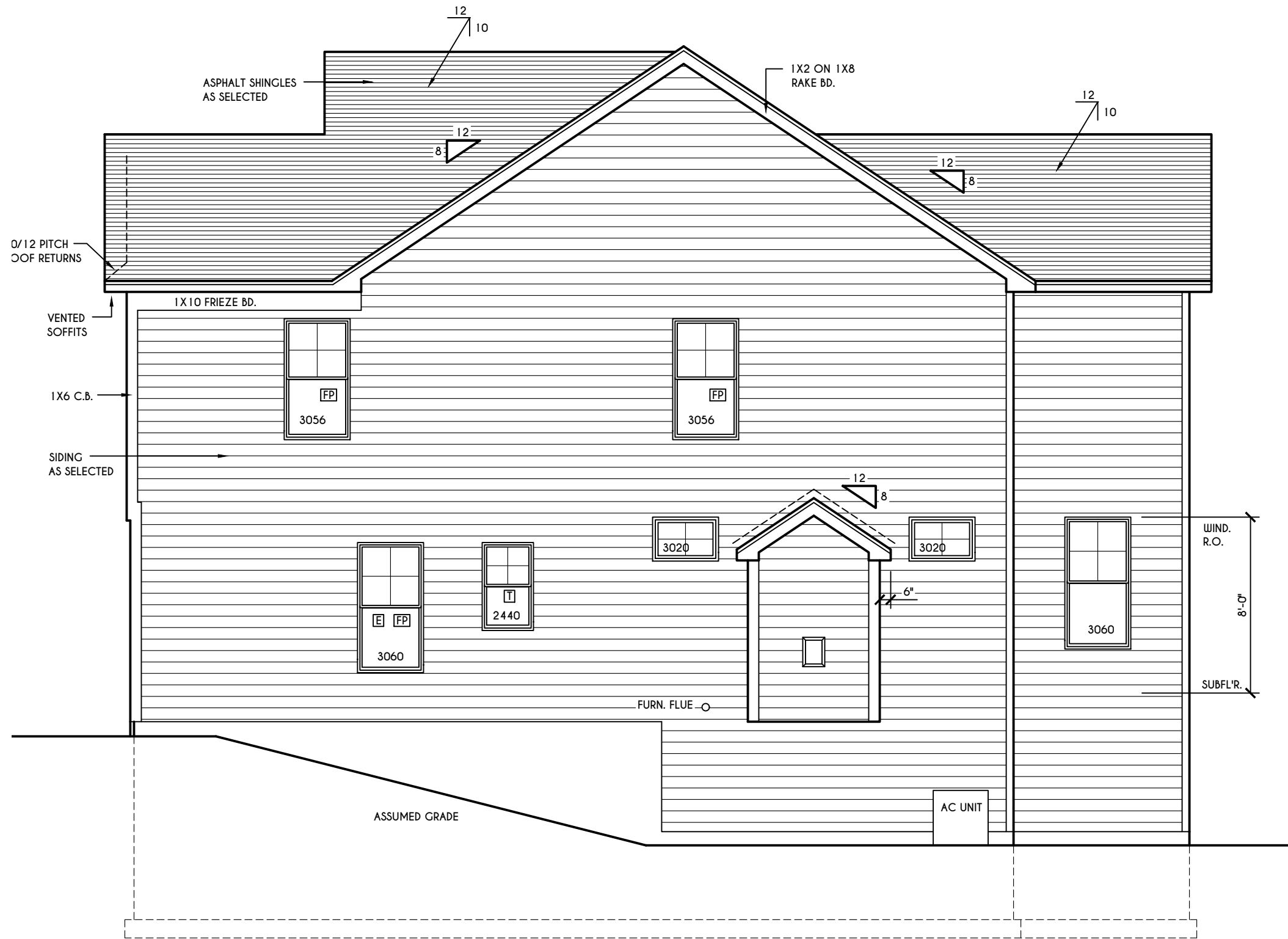
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

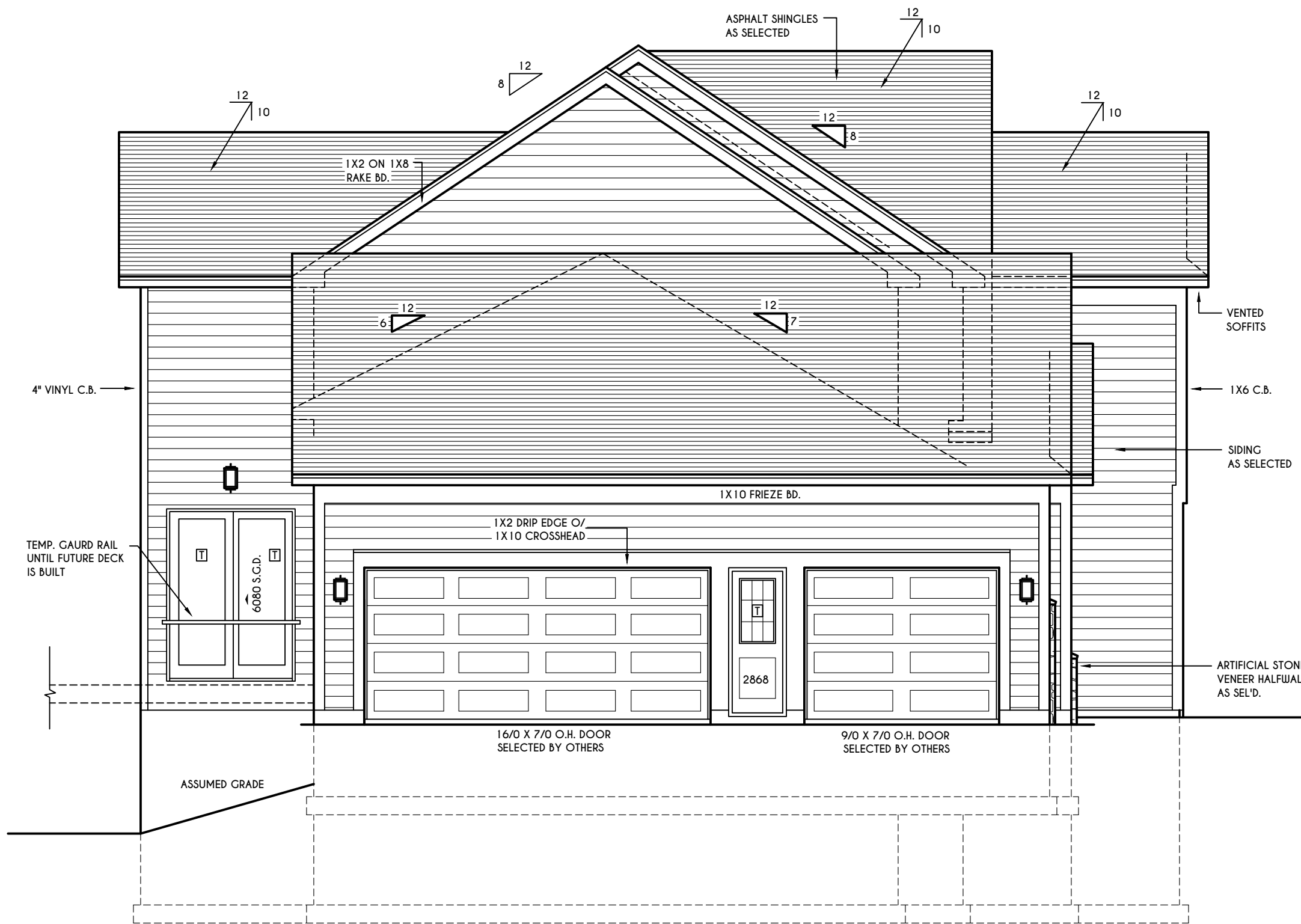
FOR SI: 1 CUBIC FT. PER MINUTE = 0.00047 19 m3/s

10 Bridleridge



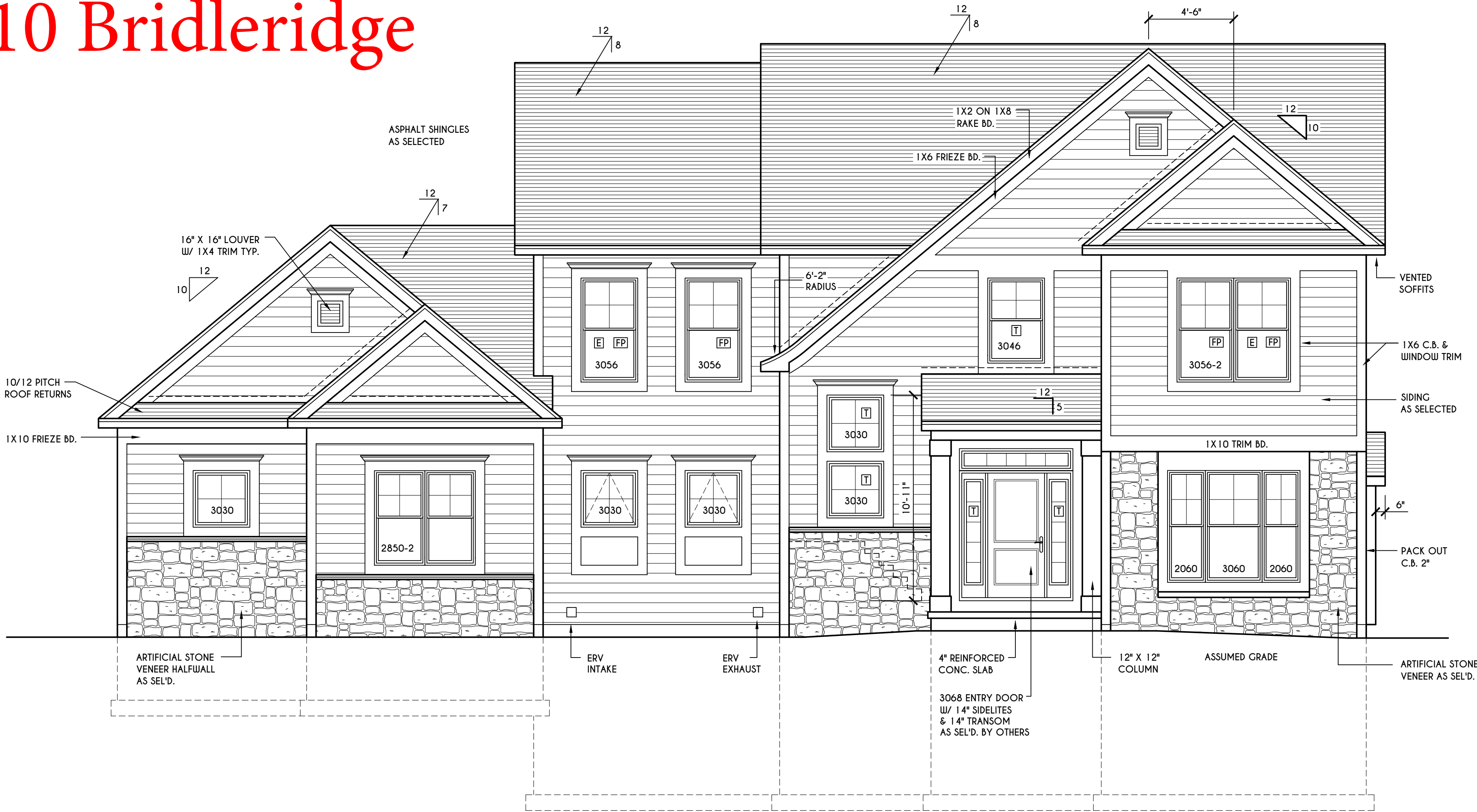
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1533 SQ.FT.
SECOND FLOOR LIVING AREA = 1534 SQ.FT.
TOTAL LIVING AREA = 3067 SQ.FT.

TOTAL CONDITIONED VOLUME = 41,925 CU.FT.



REAR ELEVATION

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE-THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

WINDOWS:

W/UD SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30
SHGC 0.54

DOORS:

SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOUSE (NEWCASTLE)
LOT 64 BRIDLERIDGE FARMS
PITTSFORD, NY

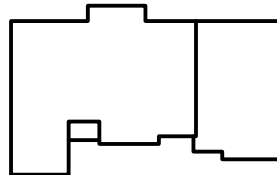
BUILDER:

COVENTRY RIDGE
BUILDING CORP.

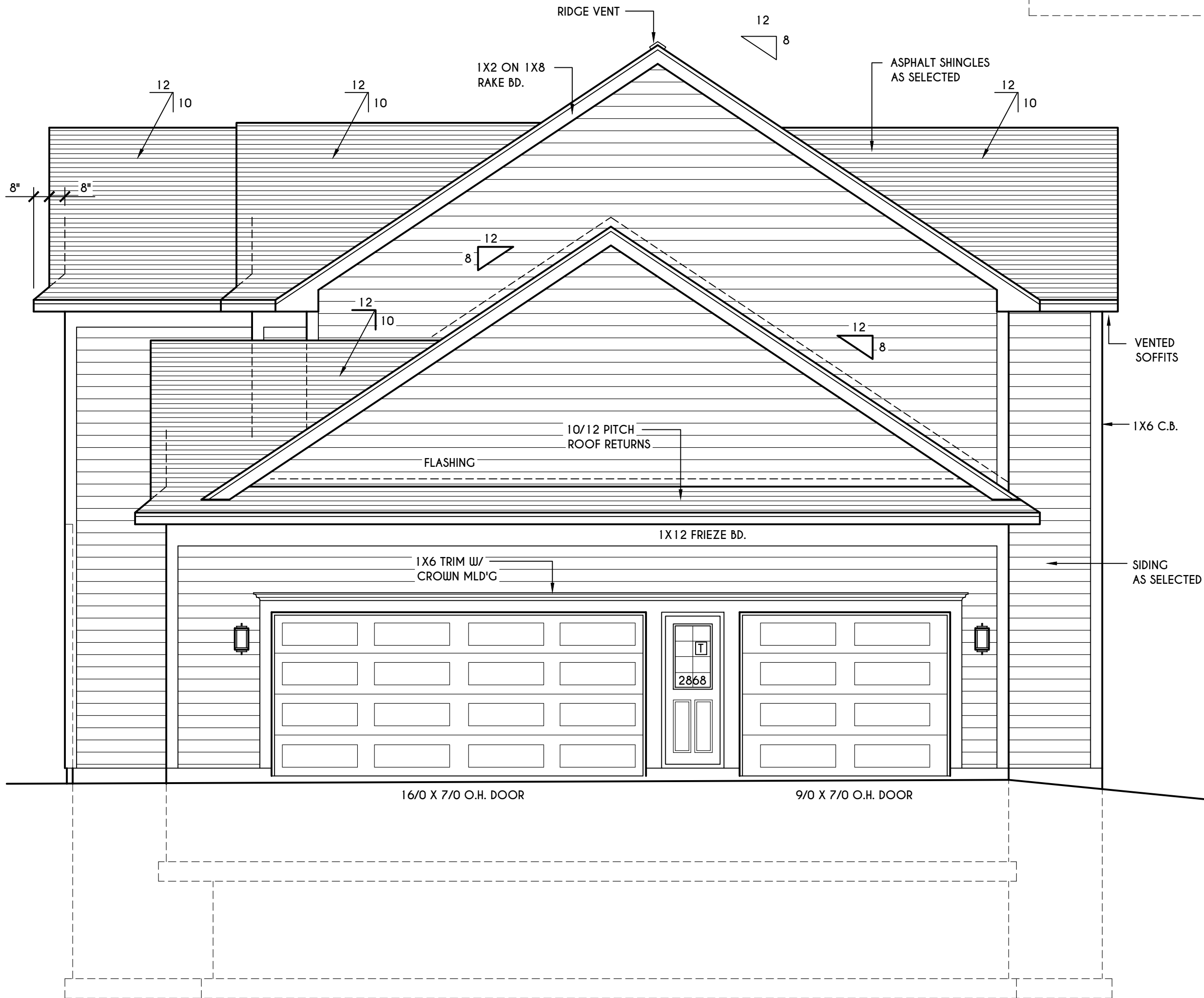
ELEVATIONS
GLA PLAN 3067

drawn: CDK	checked: CSB
scale: AS NOTED	date: 11 / 23
PROJECT: 15428C	sheet: 1 / 5

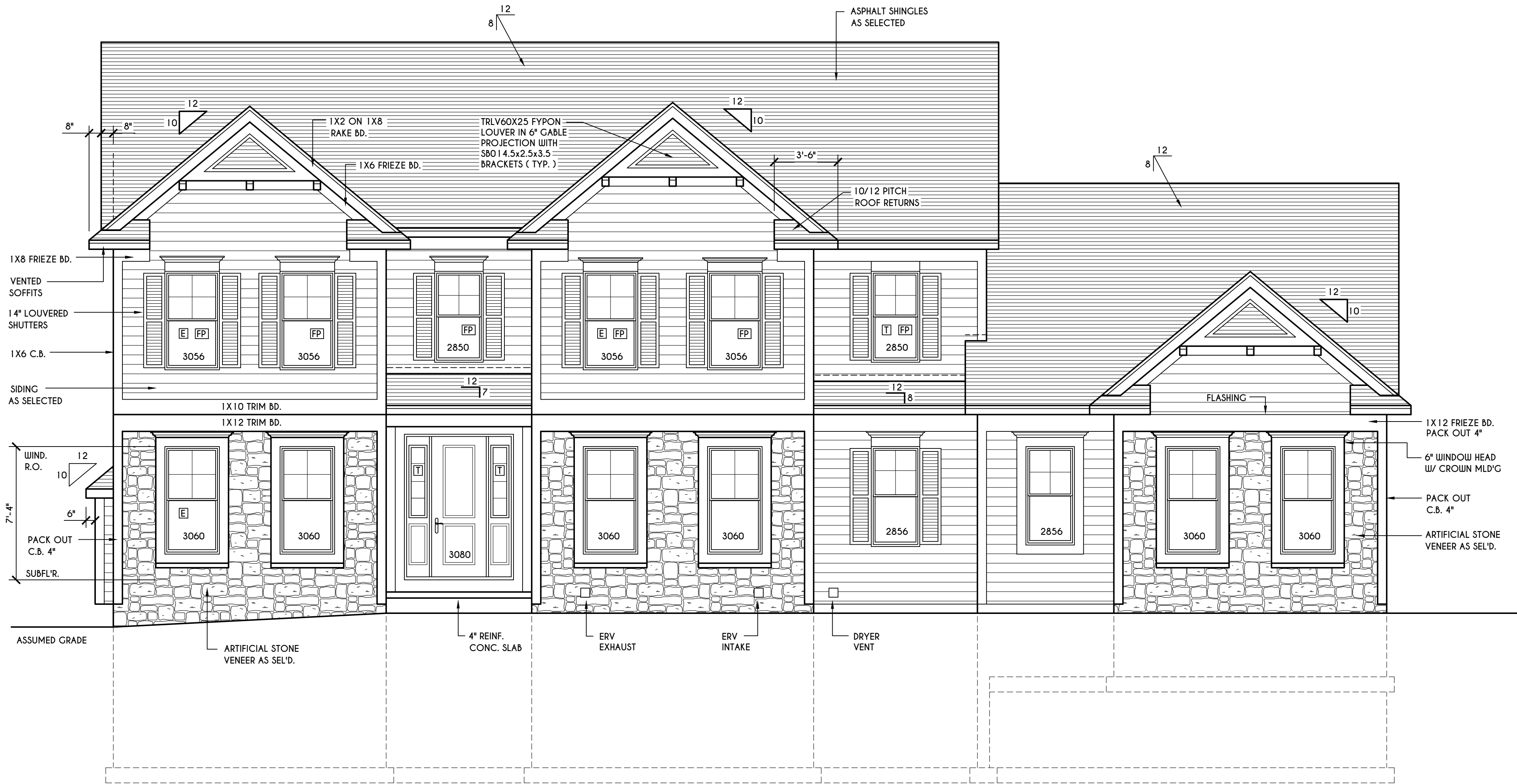
11 Bridleridge



HOUSE FOOTPRINT
SCALE: 1" = 50'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1649 SQ.FT.
SECOND FLOOR LIVING AREA = 1683 SQ.FT.
TOTAL LIVING AREA = 3332 SQ.FT.

TOTAL CONDITIONED VOLUME = 45,803 CU.FT.

WINDOWS: VVUD SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30
SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNY

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES ARE 8" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

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www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
LOT 4 BRIDLERIDGE FARMS
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS

GLA PLAN 3332

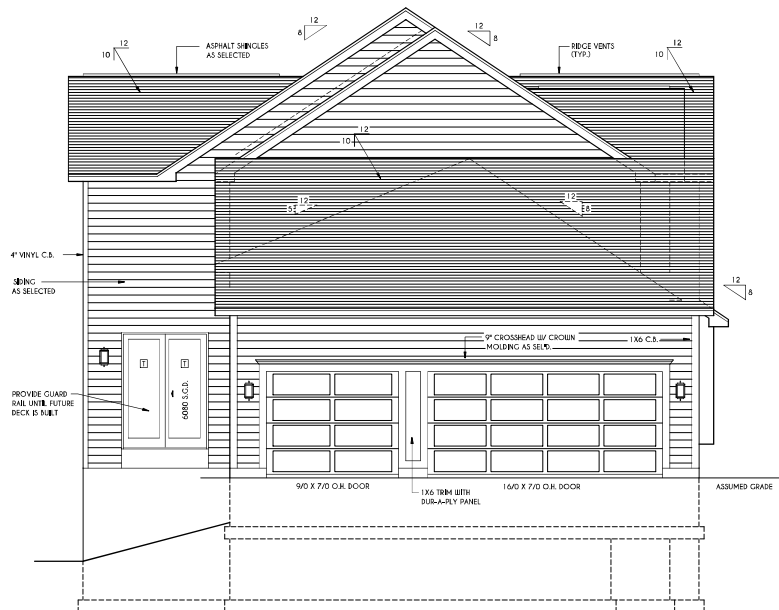
drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT:	sheet: 1
15475B	6

12 Bridleridge



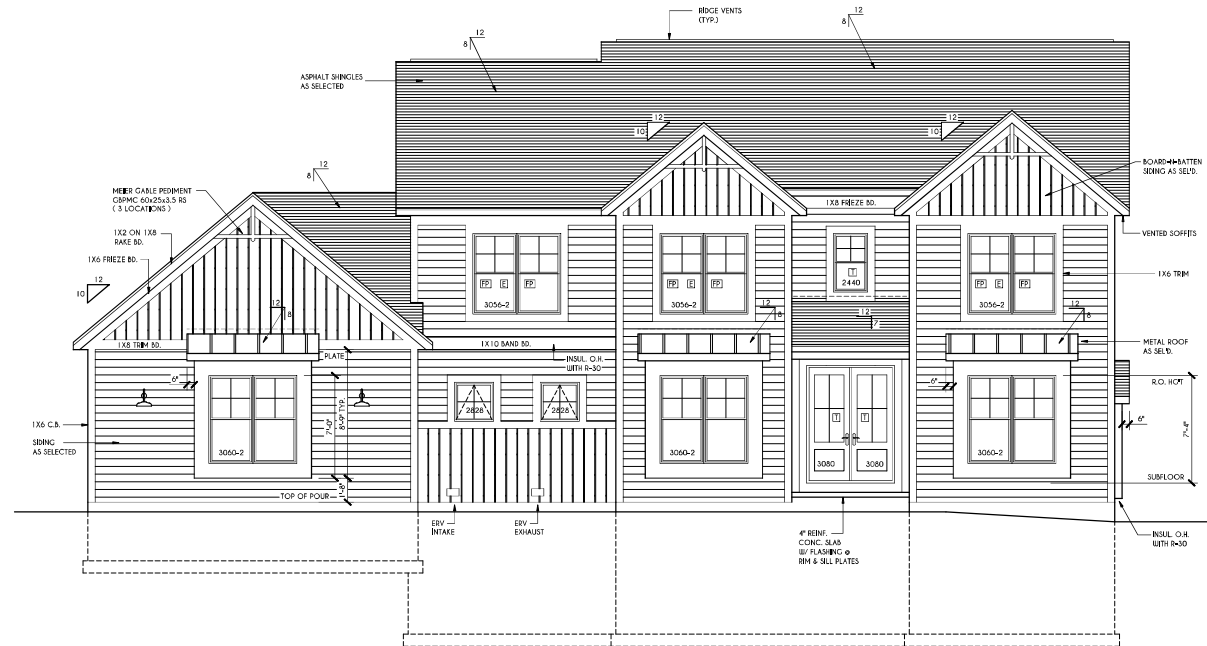
PLOT PLAN

SCALE: 1" = 50'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

FIRST FLOOR LIVING AREA = 1600 SQ.FT.
SECOND FLOOR LIVING AREA = 1628 SQ.FT.
TOTAL LIVING AREA = 3228 SQ.FT.
TOTAL CONDITIONED VOLUME = 44,516 CU.FT.

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION
SYSTEM AIRFLOW RATE REQUIREMENTS

BUILDING UNIT FLOOR AREA (square feet)	NUMBER OF SECTIONS			
	0-1	2-3	4-5	6-7
< 1,500	30	45	60	75
1,501-2,000	45	60	75	90
2,001-2,500	60	75	90	105
2,501-3,000	75	90	105	120
3,001-3,500	90	105	120	135
3,501-4,000	105	120	135	150
> 4,000	120	135	150	165

FOR SI: 1 square foot=0.0929 m²; 1 cubic foot per minute=0.0004719 m³/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}

FACTORS ^a	RUN-TIME PERCENTAGE IN EX. EXHAUST SEGMENT			
	25%	33%	50%	66%
1	4	3	2	1.5

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.

b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
BATHROOMS, TOILET ROOMS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
Mechanical Exhaust Capacity of 50 cfm	INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s

WINDOWS: HARVEY OR EQUAL
LUXATION: 0.27
SHOC: 0.29

DOORS: SELECTION BY OWNER
AIR INFILTRATION RATE FOR WINDOWS, SLIDING & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft² AS PER SECT. 1402.4.3 OF 2020 EBCCM

WINDOW / DOOR LEGEND:
[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
= CLEAR OPENING AREA OF 5.7 SQ.FT.
= CLEAR OPENING HEIGHT OF 20"
= CLEAR OPENING HEIGHT OF 24"
PER SECT. 1402.4.3 OF 2020 EBCCM
[I] = SPECIFICS THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. 1408.4 OF 2020 EBCCM
[F] = SPECIFICS THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. 1402.4.3 OF 2020 EBCCM

GENERAL NOTES:
ALL BAKES TO BE 12" AND ALL OVERLAYS TO BE 1/4" FROM FRAME WALLS UNLESS NOTED OTHERWISE
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. 1406.2) 4/12 INCH BODIES OR WALLCOVERING TO HAVE 2 LAYERS 15# FELT
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
THIS PLAN AS DESIGNED REQUIRES (1) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF 90 CFM (1.1 m³/s) A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.3 OF 2020 EBCCM SEE TABLE M1505.4.3 (1) & M1505.4.3 (2) & M1505.4.4 (PAGE 1)

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FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
LOT 63 BRIDLERIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS

GLA PLAN 3228

dram: CDK checked: CSB
scale: AS NOTED date: 7/24

PROJECT: sheet: 1

15381F 6

TABLE M1505.4.3 (1)
CONTINUOUS WHOLEHOUSE MECHANICAL VENTILATION
SYSTEM AIRFLOW RATE REQUIREMENTS

DUELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS						
	0-1	2-3	4-5	6-7	>7		
< 1,500	30	45	60	75	90		
1,501-3,000	45	60	75	90	105		
3,001-4,500	60	75	90	105	120		
4,501-6,000	75	90	105	120	135		
6,001-7,500	90	105	120	135	150		
> 7,500	105	120	135	150	165		

FOR 1/2: 1 square foot=0.00222 m²; 1 cubic foot per minute=0.0004719 m³/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLEHOUSE MECHANICAL VENTILATION RATE FACTORS

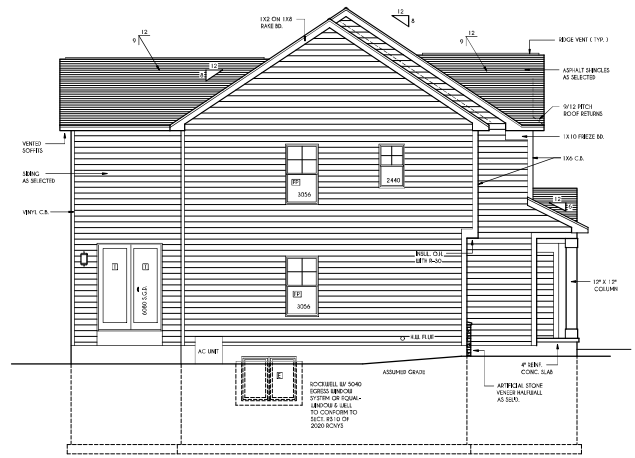
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	FACTOR					
	25%	33%	50%	66%	75%	100%
FACTOR	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given in the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

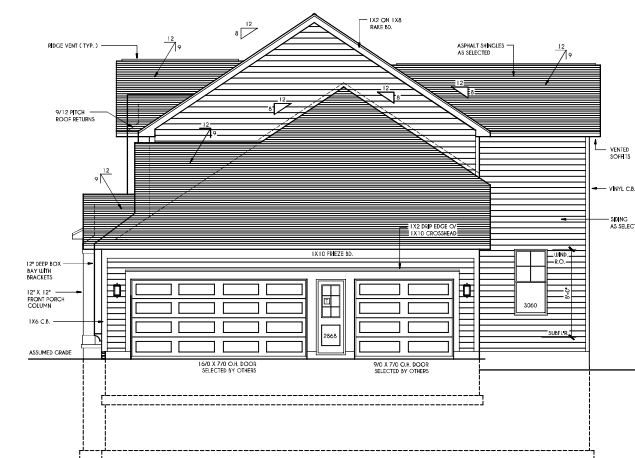
TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS
TOILET ROOMS	

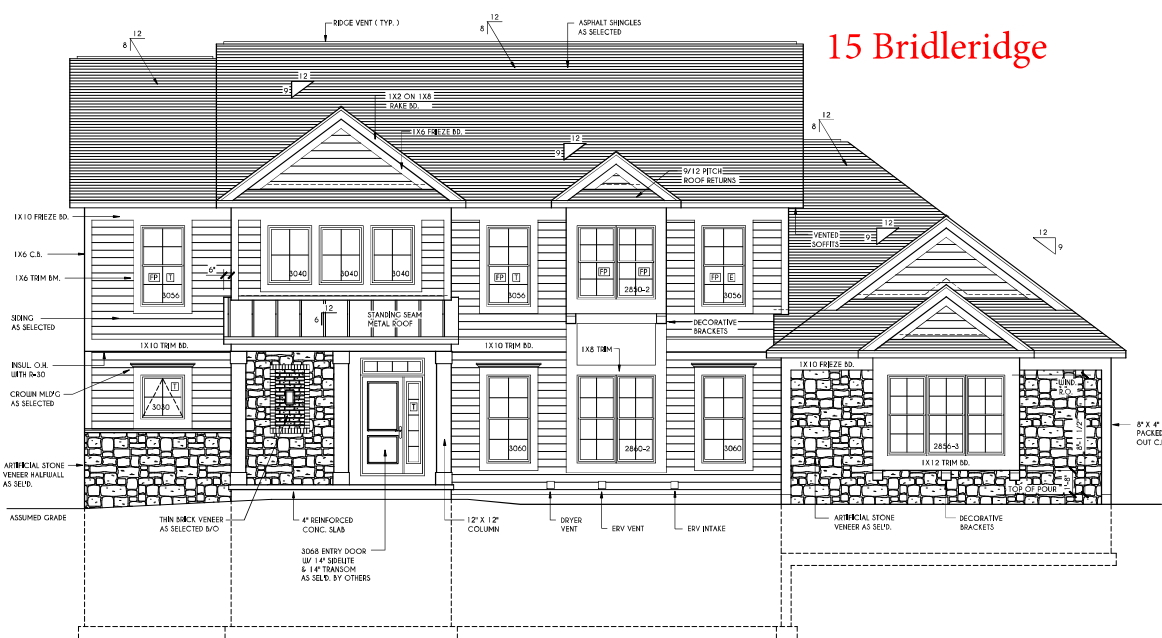
FOR 1/2: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

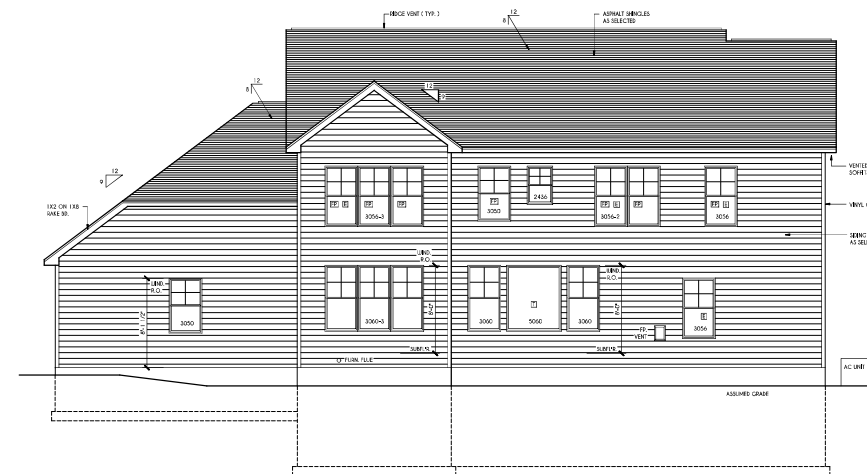


RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1570 SQ.FT.
SECOND FLOOR LIVING AREA = 1565 SQ.FT.
TOTAL LIVING AREA = 3135 SQ.FT.
TOTAL CONDITIONED VOLUME = 43,654 CU.FT.
(CONTRACTOR TO VERIFY)



REAR ELEVATION
SCALE: 3/16" = 1'-0"

15 Bridleridge

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REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
LOT 5
BRIDLERIDGE
PITTSFORD, NY

BUILDER:
COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS
GLA PLAN 3135

drawing: CDK	checked: CSB
scale: AS NOTED	date: 5 / 24
PROJECT: 15439C	sheet: 1 5

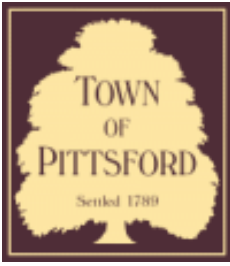
WINDOWS: HAWKEY
LFACTOR 0.30
SHGC 0.27

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS:
SPRINKLERS & SMOKE DOORS TO BE NO MORE THAN 0.3 CFM/F & SMOKE DOORS NO MORE THAN 0.5 CFM/F AS PER SECT. 8002.4.3 OF 2020 ECCO/CES

WINDOW / DOOR LEGEND:
[1] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
• CLEAR OPENING AREA OF 5.7 SQ.FT.
• CLEAR OPENING HEIGHT OF 2'0"
• CLEAR OPENING WIDTH OF 2'4"
PER SECT. 803.1.1 OF 2020 ECCO/CES
[2] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING
PER SECT. 8004.4 OF 2020 ECCO/CES
[3] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FAIL PROTECTION PER SECT. 803.2.2 OF 2020 ECCO/CES

GENERAL NOTES:
ALL SIZES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE.
BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. 8006.2) 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 1/4" FELT.
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DETERMINED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.
MECHANICAL VENTILATION RATE:
THIS PLAN AS DESIGNED REQUIRES (PHOTO) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF 90 CFM WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 ECCO/CES SEE TABLE M1505.4.3 (1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA24-000004

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 321 Mendon Center Road PITTSFORD, NY 14534

Tax ID Number: 177.04-1-5.2

Zoning District: AG Agricultural

Owner: Pieper, William R

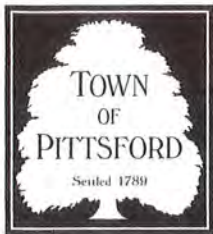
Applicant: Pieper, William R

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: November 14, 2024



TOWN OF PITTSFORD
Design Review & Historic Preservation Board
Application for Certificate of Appropriateness

Case # _____

RECEIVED

JUL 24 2024

TOWN OF PITTSFORD

1. Property Address: 321 Mendon Center Rd
2. Tax Account Number: _____
3. Applicant's Name: William and Sharon Pieper
Address: 321 Mendon Center Rd Phone: 585-230-5370
Pittsford NY 14534 E-mail: Wmpieper@aol.com
City State Zip Code
4. Applicant's Interest in Property:
Owner: ☒ Lessee: ☐ Holding Purchase Offer: ☐
Other (explain): _____
5. Owner (if other than above): _____
Address: _____ Phone: _____
Street

City State Zip Code E-mail: _____
- Has the Owner been contacted by the Applicant? Yes ☐ No ☐
6. Application prepared by: William and Sharon Pieper
Address: 321 Mendon Center Rd Phone: 585-230-5370
Pittsford NY 14534 E-mail: wmpieper@aol.com
City State Zip Code
7. Project Design Professional (if Available): _____
Address: _____ Phone: _____
Street

City State Zip Code E-mail: _____

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

None

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

NO

16. Additional materials submitted with this application (if available):

- | | |
|---|---|
| <input checked="" type="checkbox"/> Parcel map | <input type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans |
| <input checked="" type="checkbox"/> Other materials | <u>Solar panels</u> |

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

William Pieper / Sharon Pieper
Signature of applicant

7/22/24
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes ☐ No ☐

If Yes, owner's signature: _____

SYSTEM OPTIONS

20 Panels

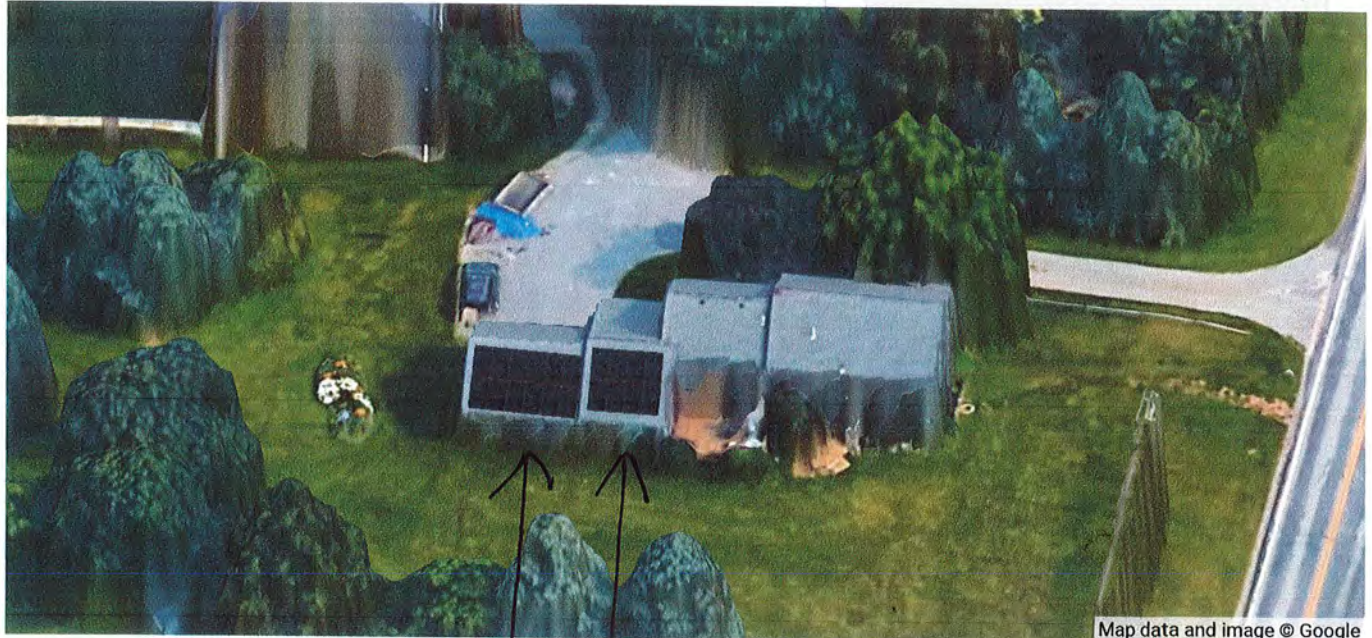
20 Panel System with Battery

103 %
Consumpti
on Offset

\$57,768
Lifetime
Electricity Bill
Savings

\$13,312
Net Cost of this
solar system

\$44,456
Estimated net
savings over
system lifetime



Map data and image © Google

These 2 roofs only
Your Solution



Dan Lewis
Owner - Lead Estimator
3157591880 Email

Solar Panels

Silfab Solar Inc.

8.400 kW Total Solar Power

20 x 420 Watt Panels (SIL-420 BG)

10,118 kWh per year

Inverter

Sol-Ark

9 kW Total Inverter Rating

1 x 12K-P [240V]

Warranties: 12 Year Panel Product Warranty, 30 Year Panel Performance
Warranty, 10 Year Inverter Product Warranty

System Performance

321 Mendon Center Rd, Pittsford, NY 14534-9714, Monroe County



4	2,470	25,265	N/A
Beds	Bldg Sq Ft	Lot Sq Ft	Sale Price
2	1870	SFR	N/A
Baths	Yr Built	Type	Sale Date

Owner Information

Owner Name:	Pieper William R	Tax Billing Address:	321 Mendon Center Rd
Owner Name 2:	Pieper Sharon	Tax Billing City & State:	Pittsford, NY
Do Not Mail:		Tax Billing Zip:	14534
Owner Occupied:	Yes	Tax Billing Zip+4:	9714

Location Information

School District:	264601	Zoning:	
School District Name:	Pittsford	Assessment District :	
Subdivision:		Location Influence :	
Township :	Pittsford	Flood Zone Code:	X
Census Tract:	123.06	Flood Zone Date:	08/28/2008
Carrier Route:	R004	Flood Zone Panel:	36055C0366G

Tax Information

Tax ID:	264689-177-040-0001-005-200	% Improved:	87%
Alt. Tax ID:	264689A1770400001005200	SWIS Code :	264689
Lot #:	5	Tax Appraisal Area:	4689
Block #:	1		
Legal Description:	L47 T12 R5 UNRECORDED MAP 6200-113		

Assessment & Tax

Assessment Year	2017	2016	2015
Assessed Value - Total	\$205,600	\$205,600	\$205,600
Assessed Value - Land	\$26,700	\$26,700	\$26,700
Assessed Value - Improved	\$178,900	\$178,900	\$178,900
YOY Assessed Change (\$)	\$0	\$0	
YOY Assessed Change (%)	0%	0%	
Market Value - Total	\$205,600	\$205,600	\$205,600
Market Value - Land	\$26,700	\$26,700	\$26,700
Market Value - Improved	\$178,900	\$178,900	\$178,900
Exempt Building Value			
Exempt Land Value			
Exempt Total Value			

Characteristics

Land Use - State :	Single Family Resid	Half Baths:	1
Land Use - CoreLogic :	SFR	Total Rooms:	
Lot Acres:	0.58	Basement Type:	Full
Lot Sq Ft :	25,265	Basement Sq Ft:	
Lot Frontage:	148	Finished Basement Sq Ft :	
Lot Depth:	170	Fireplaces:	
# of Buildings:	1	Heat Type:	Hot Air
Building Type:		Heat Fuel Type:	Oil

Courtesy of William Pieper, New York State Alliance MLS Rochester

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county of municipality.

Property Detail

Generated on 03/28/2018

Page 1 of 4

SKETCH ADDENDUM

File No. PIEPER

Borrower PIEPER

Property Address 321 MENDON CENTER ROAD

City PITTSFORD

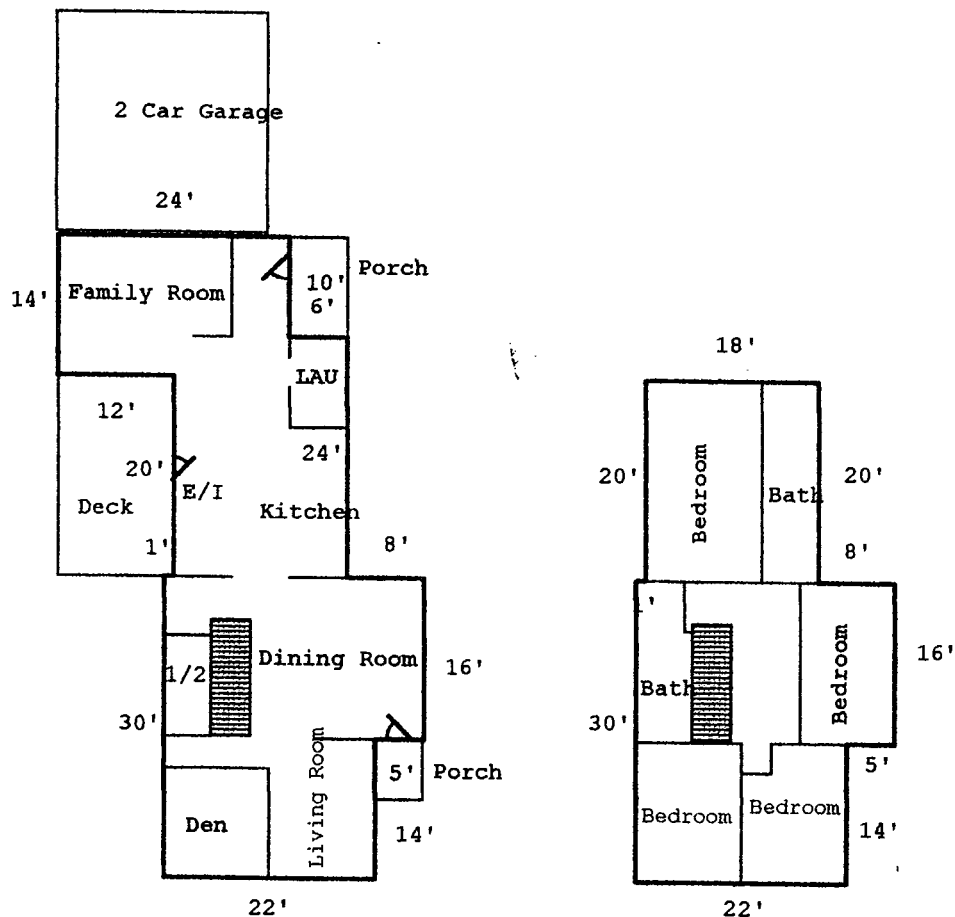
County MONROE

State NY

Zip Code 14534

Lender/Client COMMONWEALTH UNITED

Address 190 LINDEN OAKS, ROCHESTER, NY 14625



Property Map



*Lot Dimensions are Estimated



Pittsford, New York
Google Street View
May 2024 [See more dates](#)



Image capture: May 2024 © 2024 Google













**National Park Service**

ARTICLE

Solar Panels on Historic Properties: On a Rear Porch Roof

Gothic Revival House, Vermont

This is another example of a minimally intrusive installation of a solar hot water system. The solar collectors are located on a new roof sheltering an access ramp added to the rear of the residence. In some instances, new additions may provide opportunities to incorporate solar panels on a historic property in a sensitive way.



This view of the historic house from the front (above) shows that it retains its historic character, because the solar collectors were installed on the sloped roof over a new access ramp at the rear of the property and are not visible from the street (right).



[Next article: Avoiding the impact of solar panels on a cultural landscape \(https://www.nps.gov/articles/000/solar-panels-on-historic-properties-avoiding-impact-cultural-landscape.htm\)](https://www.nps.gov/articles/000/solar-panels-on-historic-properties-avoiding-impact-cultural-landscape.htm)



solar panels

historic buildings

technical preservation services

Last updated: April 18, 2022

Was this page helpful?

**National Park Service**

ARTICLE

Solar Panels on Historic Properties: On a Low-Slope Gable

Vermont Residence

The gable end of this historic apartment building faces the street. Low profile solar collectors for a water heating system were flush mounted on the sloped roof on the south side of the gable. Though visible, these few panels have relatively little impact on the historic character of the property. However, if the roof had been a more prominent feature of the property, this installation may not have been appropriate.



Low-profile solar collectors located on the south side of the gable roof are minimally visible.

From this angle, the panels are more noticeable, yet the historic character of the building is not significantly diminished.



Next article: [Solar panels on a cross gable](https://www.nps.gov/articles/000/solar-panels-on-historic-properties-cross-gable.htm) (<https://www.nps.gov/articles/000/solar-panels-on-historic-properties-cross-gable.htm>)



solar panels

historic buildings

technical preservation services

Last updated: April 18, 2022



Map data and image © Google

Your Solution



Doti Levita
Owner - Levit Estimation
214.787.9800

Solar Panels

Silfab Solar Inc.

8.400 kW Total Solar Power

20 x 420 Watt Panels (SIL-420 BG)

10,118 kWh per year

Inverter

Sol-Ark

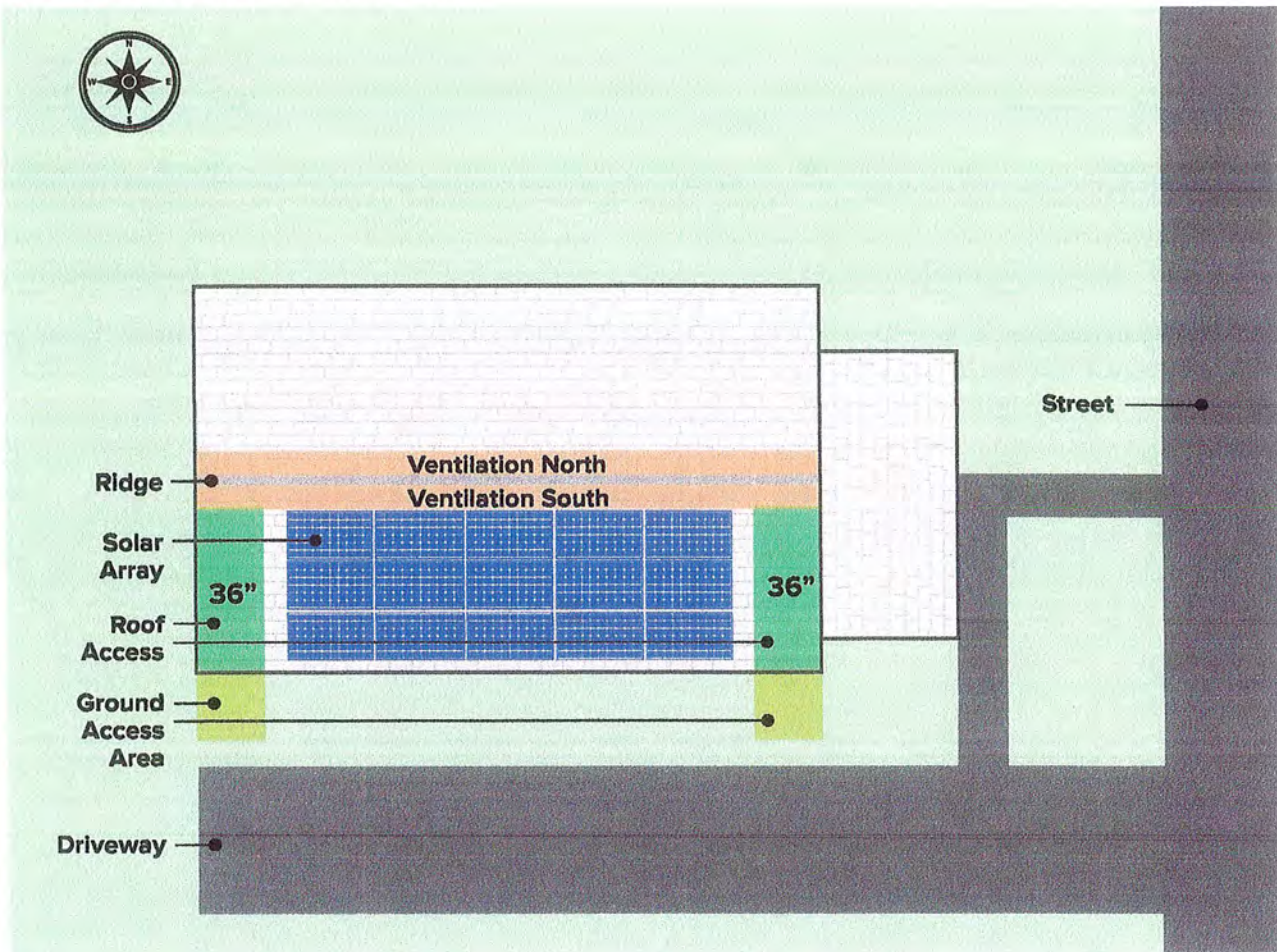
9 kW Total Inverter Rating

1 x 12K-P [240V]





Typical single ridge residential (Figure 2)



This is a typical single ridge residential structure that complies with the required setbacks, pathways and ventilation with no exceptions. The Emergency Escape and Rescue Opening (EERO) is on gable end.

Basic Requirements being met:

- 1. Not fewer than two pathways*
- 2. Not fewer than one pathway shall be provided on the street or driveway side of the roof*
- 3. For each roof plane with a photovoltaic array, a pathway not less than 36 inches wide (914 mm) shall be provided from the lowest roof edge to ridge*

Actual Roof Dimensions



Solar Panel Dimensions

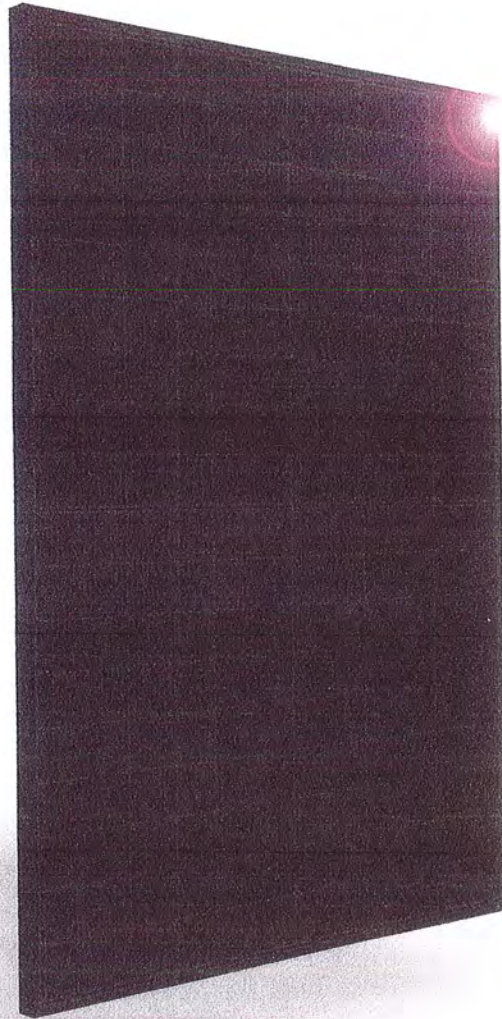


12 panels

8 panels

SILFAB PRIME NTC

SIL-420/430 QD



• SOLAR TECHNOLOGY REIMAGINED FOR TODAY'S WORLD

Silfab's breakthrough in advanced N-type solar cell technology delivers premium all-black solar panels of unmatched performance and reliability.

[SILFABSOLAR.COM](https://silfabsolar.com)



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Voltage

Number of cells 108



Solar panels

Wholesale solar

Commercial

Clearance

Inverters, batteries & addons

Service

Rated Efficiency

21.5%

Clearance

Connector Type

MC4 from Staubli

Backsheet Color

black

Frame Color

black

Dimensions
LxWxH

67.8 x 44.6 x 1.37 in

Weight

46.3lbs

Pallet Qty

26

Manufacturer

Silfab

Manufacturer Part
#

SIL-420-QD

Operating
Temperatures

-40°F to +185°F

Scope of
Application

- Solar Panels for Boats
- Solar Panels for Home
- Solar Panels for RV
- Commercial

Silfab 420W Solar Panel 108 Cell All-Black SIL-420-QD Clearance

\$199.08 ~~\$332.72~~ Save \$133.64

As low as \$107.23/mo. [Learn more](#)

★★★★★ (6) Q&A



10



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on **Fri, Oct**
04 or later

2647 mi •
San Diego,
CA
[Change location](#)

ELECTRICAL SPECIFICATIONS		420		430	
Test Conditions		STC	NOCT	STC	NOCT
Module Power (P _{max})	Wp	420	313	430	321
Maximum power voltage (V _{pmax})	V	32.87	30.55	33.07	30.74
Maximum power current (I _{pmax})	A	12.78	10.25	13.01	10.43
Open circuit voltage (V _{oc})	V	37.68	35.34	37.76	35.42
Short circuit current (I _{sc})	A	13.51	10.89	13.81	11.14
Module efficiency	%	21.5%	20.1%	22.1%	20.6%
Maximum system voltage (VDC)	V	1000			
Series fuse rating	A	25			
Power Tolerance	Wp	0 to +10			

Measurement conditions: STC 1000 W/m² • AM 1.5 • Temperature 25 °C • NOCT 800 W/m² • AM 1.5 • Measurement uncertainty ≤ 3%
Sun simulator calibration reference modules from Fraunhofer Institute. Electrical characteristics may vary by ±5% and power by 0 to +10 W.

MECHANICAL PROPERTIES / COMPONENTS	METRIC	IMPERIAL
Module weight	21 kg ± 0.2 kg	46.3 lbs ± 0.4 lbs
Dimensions (H x L x D)	1721 mm x 1133 mm x 35 mm	67.8 in x 44.6 in x 1.37 in
Maximum surface load (wind/snow)*	TBD	TBD
Hail impact resistance	ø 25 mm at 83 km/h	ø 1 in at 51.6 mph
Cells	108 Half cells - TOPCon (N-Type) Silicon solar cell 182 mm x 91 mm	108 Half cells - TOPCon (N-Type) Silicon solar cell 7.16 in x 3.58 in
Glass	3.2 mm high transmittance, tempered, antireflective coating	0.126 in high transmittance, tempered, antireflective coating
Cables and connectors (refer to installation manual)	1350 mm, ø 5.7 mm, MC4 from Staubli	53.1 in, ø 0.22 in (12 AWG), MC4 from Staubli
Backsheet	High durability, superior hydrolysis and UV resistance, multi-layer dielectric film, fluorine-free PV backsheet	
Frame	Anodized aluminum (Black)	
Bypass diodes	3 diodes-30SQ045T (45 V max DC blocking voltage, 30 A max forward rectified current)	
Junction Box	UL 3730 Certified, IEC 62790 Certified, IP68 rated	

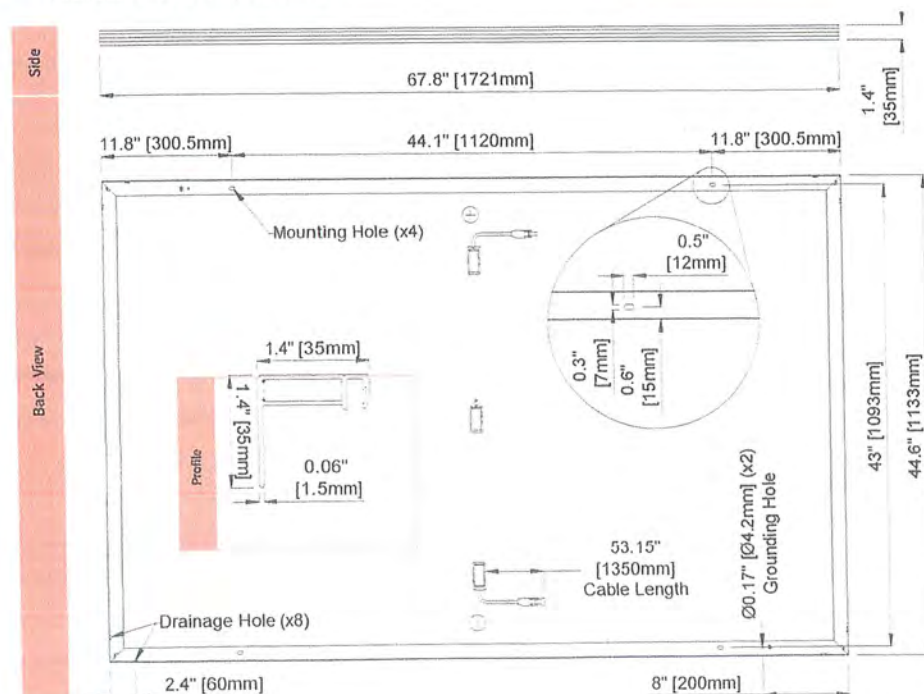
TEMPERATURE RATINGS		WARRANTIES	
Temperature Coefficient I _{sc}	+0.064 %/°C	Module product workmanship warranty	25 years**
Temperature Coefficient V _{oc}	-0.28 %/°C	Linear power performance guarantee	30 years
Temperature Coefficient P _{max}	-0.36 %/°C		≥ 98% end 1st yr
NOCT (± 2 °C)	45 °C		≥ 94.7% end 12th yr
Operating temperature	-40/+85 °C		≥ 90.8% end 25th yr
			≥ 89.3% end 30th yr

CERTIFICATIONS		SHIPPING SPECS	
Product	UL 61215***, UL 61730***, CSA C22.2#61730***, IEC 61215***, IEC 61730***, IEC 61701 (Salt Mist Corrosion), IEC 62716 (Ammonia Corrosion), CEC Listing***, UL Fire Rating: Type 2	Modules Per Pallet:	26 or 26 (California)
Factory	ISO9001:2015	Pallets Per Truck	32 or 30 (California)
		Modules Per Truck	832 or 780 (California)

* ⚠ Warning. Read the Safety and Installation Manual for mounting specifications and before handling, installing and operating modules.

** 12 year extendable to 25 years subject to registration and conditions outlined under "Warranty" at silfab.com.
PAN files generated from 3rd party performance data are available for download at: silfab.com/downloads.

*** Certification and CEC listing in progress.



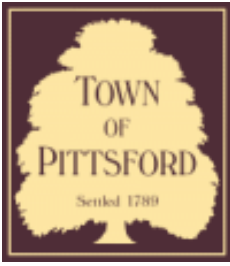
SILFAB SOLAR INC.

800 Cornwall Ave
Bellingham WA 98225 USA
T +1 360.569.4733
info@silfab.com
SILFABSOLAR.COM

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240 Courtneypark Drive East
Mississauga ON L5T 2Y3 Canada
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F +1 905.696.0267

Silfab - SIL-420/430-QD-20230817
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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA24-000005

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 700 Allens Creek Road ROCHESTER, NY 14618

Tax ID Number: 138.69-1-1

Zoning District: RN Residential Neighborhood

Owner: Swinford, David N

Applicant: Swinford, David N

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the demolition and reconstruction of a detached three-car garage at a Designated Historic Landmark to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: November 14, 2024



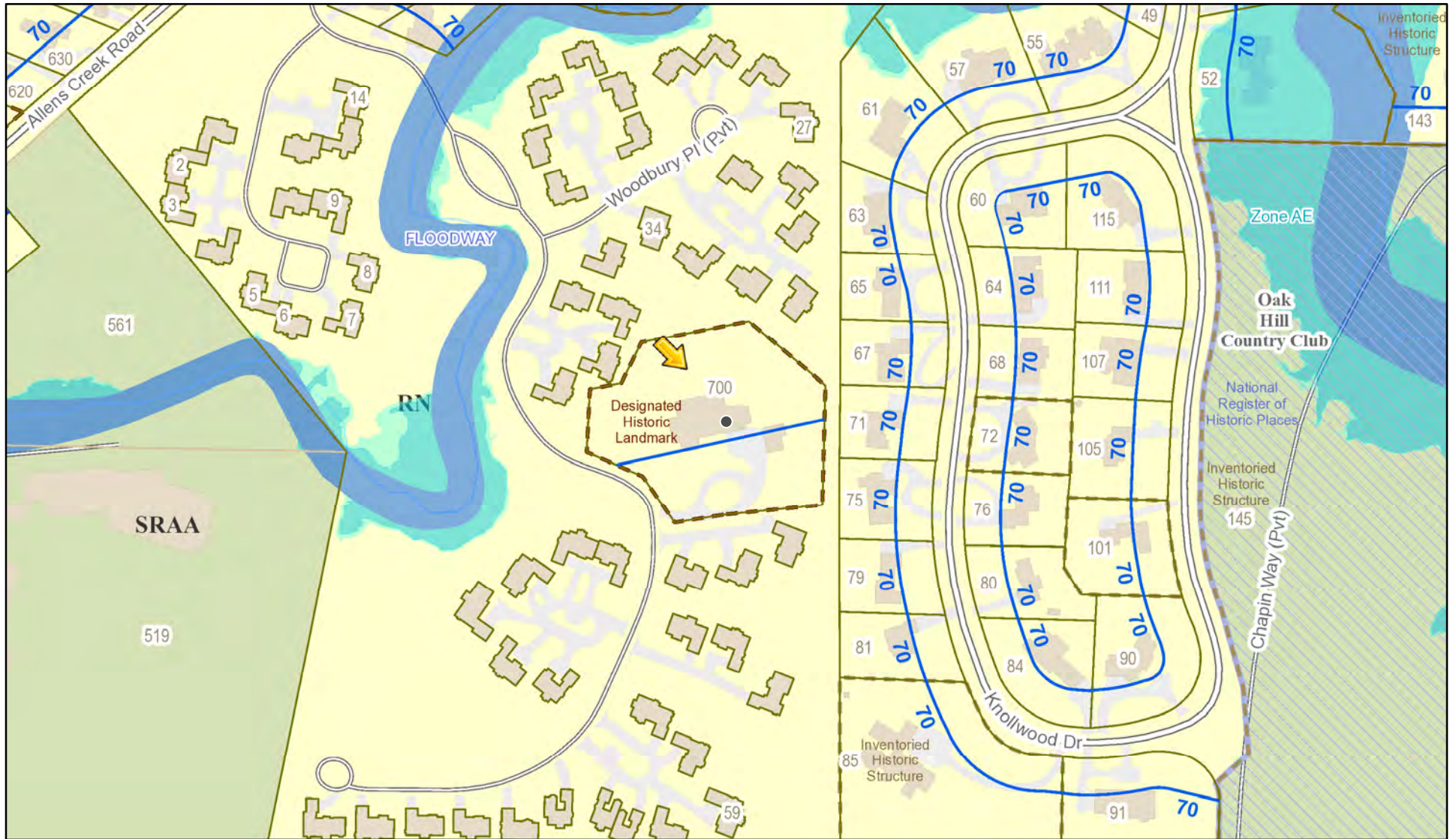
Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

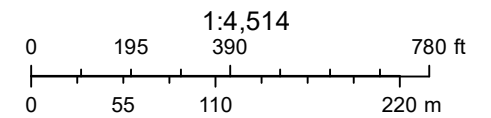
50 ft

Nearmap

RN Residential Neighborhood Zoning

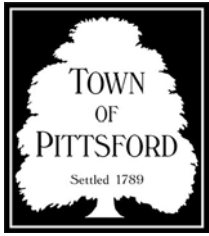


Printed September 17, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 700 Allens Creek Road, Rochester, NY 14618
2. Tax Account Number: 138.69-1-1
3. Applicant's Name: David & Bonnie Swinford
Address: 700 Allens Creek Road Phone: _____

Street

Rochester
City

NY
State

14618
Zip Code

E-mail: dswinford@yahoo.com
4. Applicant's Interest in Property:
Owner: ☐ Lessee: ☐ Holding Purchase Offer: ☐
Other (explain): Architect
5. Owner (if other than above): _____
Address: _____ Phone: _____

Street

City

State

Zip Code

E-mail: _____

Has the Owner been contacted by the Applicant? Yes ☒ No ☐
6. Application prepared by: Design Works Architecture
Address: 6 N. Main Street Phone: (585) 377-9001

Street

Fairport
City

NY
State

14450
Zip Code

E-mail: chuck@newdesignworks.com
7. Project Design Professional (if Available): Design Works Architecture
Address: 6 N. Main Street Phone: (585) 377-9001

Street

Fairport
City

NY
State

14450
Zip Code

E-mail: chuck@newdesignworks.com

8. Project Contractor (if Available): _____
Address: _____ Phone: _____
Street

City State Zip Code E-mail: _____

9. Present use of Property: Private Residence

10. Zoning District of Property: RN

11. Is the property located in a Town Designated Historic District?

Yes ☐ No ☒

12. Is the property listed on the National Registry of Historic Places?

Yes ☐ No ☒

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes ☐ No ☒

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Re-build detached 3 car garage on existing garage footprint. New garage will be simplified on a slightly smaller footprint with a hip roof. Colors and materials to match existing house and garage.

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

All existing retaining and site walls will remain. The existing garage footprint will be unchanged from the driveway side.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

☒ Parcel map

☐ Architectural elevations

☒ Photographs

☐ Architectural plans

☐ Other materials

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

08/21/2024

Signature of applicant

Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes ☒

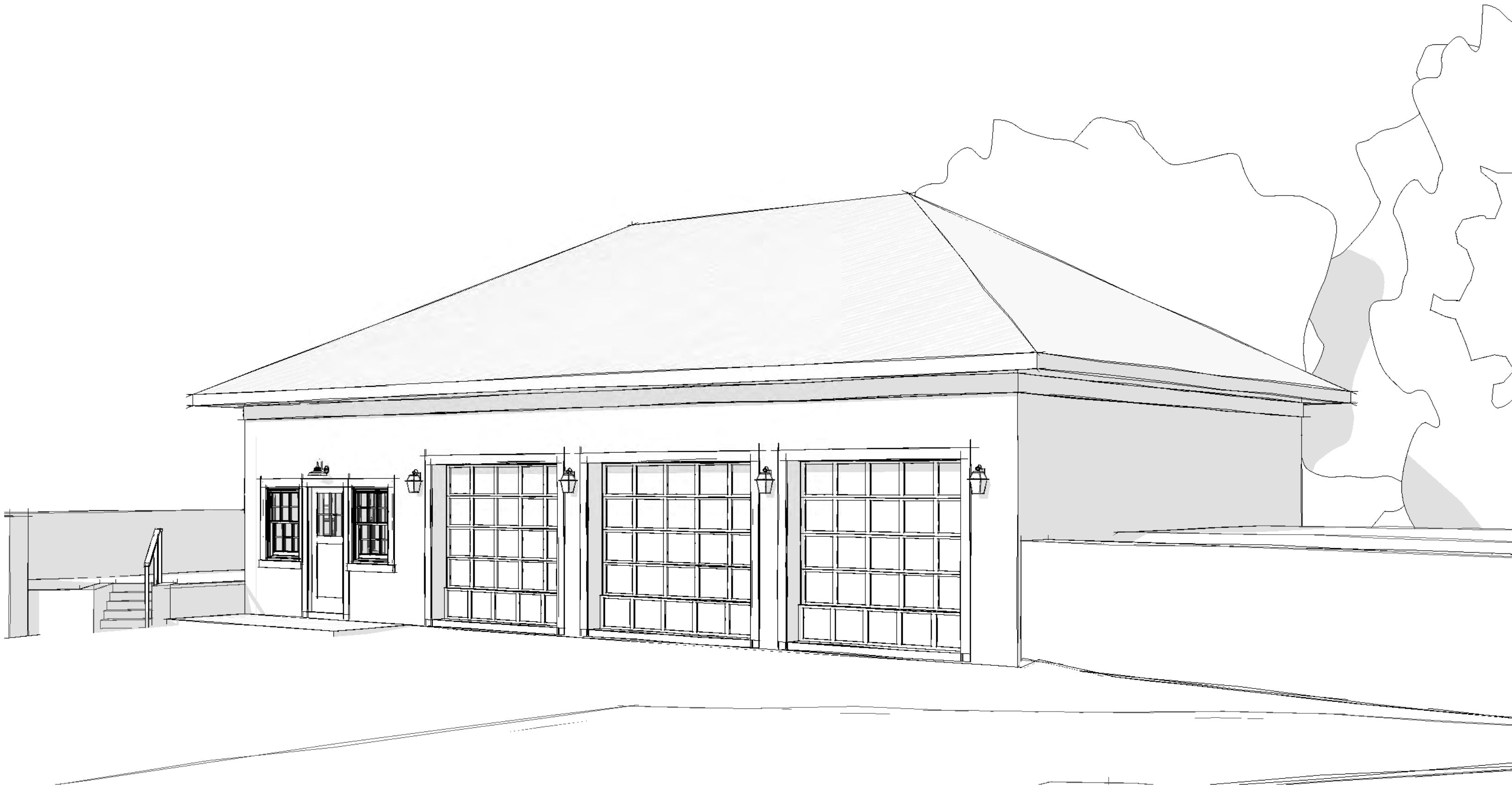
No ☐

If Yes, owner's signature: _____

Sand N. Swainford

Strong Mansion Garage

700 Allens Creek Road, Rochester, NY 14618



Bid Set

LIST OF DRAWINGS

A-0.0	COVER SHEET
A-0.1	STANDARDS & CONCEPTUAL SITE PLAN
A-1.0	FOUNDATION PLAN
A-1.1	FLOOR PLANS
A-3.0	BUILDING SECTIONS
A-4.0	EXTERIOR ELEVATIONS

STATISTICS

Garage	1149 SF
Attic	450 SF
Mudroom	291 SF
Storage	131 SF

- 1/14/24 - DESIGN REVIEW MEETING TO REVIEW EXTERIOR DESIGN
- 10/21/24 - ZBA APPROVAL GRANTED FOR PROPOSED BUILDING HEIGHT OF 23'-0" TO RIDGE
- 9/26/24 - DESIGN REVIEW APPROVAL GRANTED TO DEMOLISH EXISTING GARAGE

NOT FOR CONSTRUCTION

REVISIONS	
No.	Date

DESIGN WORKS
ARCHITECTURE

6 North Main Street, Suite 104 :: Fairport, New York 14450
Phone: 585-377-9001 :: www.newdesignworks.com

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David & Bonnie Swinford
Strong Mansion Garage

700 Allens Creek Road, Rochester, NY
14618

Project No.	2303
Date:	11/06/24
Scale:	
Drawn By:	ST
Checked By:	CBS

Title:
Bid Set
COVER SHEET

A-0.0

CODE AND GENERAL NOTES

GENERAL NOTES:

1. THIS SET OF PLANS HAS BEEN DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE RESIDENTIAL CODE OF NYS AND MEETS OR EXCEEDS THE NYS ENERGY CONSERVATION CONSTRUCTION CODE. IN ADDITION, CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

2. GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCE AND SAFETY ISSUES IN REFERENCE TO THE CONSTRUCTION CONTRACT.

3. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

4. GENERAL CONTRACTOR TO PROVIDE ADEQUATE SUPPORT OF EXISTING FOUNDATION WALLS, LOAD BEARING WALLS AND PARTITIONS DURING DEMOLITION (IF APPLICABLE TO PROJECT) AND CONSTRUCTION.

5. ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING/BRACING TO BE CERTIFIED BY THE MANUFACTURER.

6. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH OTHER TRADES WHEREVER THEY OVERLAP.

7. WHEN MATERIALS AND/OR FINISHES ARE FOUND TO BE ABSENT, OR WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING AND PAINTING WITH MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH ADJACENT EXISTING SURFACES UNLESS OTHERWISE NOTED.

8. PROVIDE ALL BLOCKING, FURRING AND SHIMMING AS NECESSARY FOR INSTALLATION AND COMPLETION OF THE WORK.
9. ALL NEW WORK SHALL BE PLUMB, LEVEL AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING (IF APPLICABLE TO PROJECT).

10. ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY OWNER AND ARCHITECT IF SO.

11. COORDINATE INTERIOR DOORS/HARDWARE, WOOD TRIM AND FINISHES, AND EXTERIOR FINISH MATERIALS (SIDING, ROOFING, ETC.) TO MATCH EXISTING (IF APPLICABLE TO PROJECT). FINAL SELECTIONS BY OWNER AND GENERAL CONTRACTOR, UNLESS OTHERWISE SPECIFIED.

12. COORDINATE THE INSTALLATION OF CONTINUOUS ALUMINUM GUTTERS AND DOWNSPOUTS TO MATCH EXISTING (IF APPLICABLE TO PROJECT). DOWNSPOUTS NOT LOCATED ON DRAWINGS ARE TO BE LOCATED IN FIELD AND APPROVED BY OWNER. ALL DOWNSPOUTS ARE TO RUN TO PRECAST CONCRETE SPASHBLOCKS, OR TO UNDERGROUND CONDUCTORS PER LOCAL CODE.

13. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SITEWORK, INCLUDING FINISH GRADING AND HYDROSEEDING.

14. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ELECTRIC, PLUMBING AND HVAC SYSTEM INSTALLATION. VERIFY CAPACITY AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION (IF APPLICABLE TO PROJECT).

15. THESE DOCUMENTS DO NOT PURPORT TO SHOW ALL MEANS AND METHODS REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE FOR THE PROJECT. IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION.

CODE REQUIREMENTS:

- STAIRS: PER IRC R311.7
1. STAIR TO HAVE HEIGHTS FIELD VERIFIED AND SHOP DRAWINGS APPROVED PRIOR TO FABRICATION. STAIR CONSTRUCTION SHALL CONSIST OF STRINGERS, 5/4" THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

2. STAIRWELLS TO BE A MIN. OF 36" IN WIDTH AND HAVE A CONSISTENT HEAD HEIGHT TO FINISHED CEILING OF 6'-8" FROM THE TREAD NOSING.

3. CLOSED RISERS WITH 1" NOSING UNLESS NOTED OTHERWISE. MAX. RISER HEIGHT OF 7 3/4" AND MIN. TREAD DEPTH OF 10" (9" MIN. RUN DEPTH).

A LANDING IS NOT REQUIRED AT TOP OF INTERIOR STAIRS PROVIDED A DOOR DOES NOT SWING OVER STAIR.
- HANDRAILS: PER IRC
1. HANDRAILS ARE REQUIRED ON AT LEAST ONE (1) SIDE OF STAIRWAYS FOR (4) OR MORE RISERS.

2. HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.

3. THE HANDRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION.

4. HANDRAILS PROJECTING FROM A WALL SHALL HAVE AT LEAST 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. ENDS OF THE HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATION OR BENDS.

GUARDRAILS: PER IRC

1. PORCHES, BALCONIES, AND RAISED FLOORS GREATER THAN 30" ABV. FLR. OR GRADE SHALL HAVE A HALF WALL OR RAIL GUARD 36" MIN. HT.

2. ON OPEN STAIRWAYS SHALL HAVE A GUARDRAIL HEIGHT OF 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.

3. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".

GLAZING:

1. GLAZING TO BE TEMPERED WHEN CONSIDERED A HAZARDOUS LOCATION AS DEFINED IN THE RESIDENTIAL CODE OF NYS SUCH AS:

 - GLAZING IN DOORS
 - GLAZING ADJACENT TO DOORS - WITHIN 24" OF A DOOR, WHEN BOTTOM EDGE IS LESS THAN 60" AFF.
 - GLAZING IN WINDOWS - WHEN INDIVIDUAL PANE IS GREATER THAN 9 SF, BOTTOM EDGE IS LESS THAN 18" AFF, TOP EDGE IS GREATER THAN 36" AFF, AND WALKING SURFACE IS WITHIN 36".
 - GLAZING & WET SURFACES - ANY GLAZING IN WALLS SURROUNDING TUBS, SHOWERS, SAUNAS WHERE BOTTOM EDGE IS LESS THAN 60" AFF
 - GLAZING ADJACENT TO STAIRWAYS AND RAMPS - BOTTOM EDGE OF GLAZING IS LESS THAN 60" AFF.
 - THE MAXIMUM ALLOWABLE U-FACTOR FOR ALL NEW EXTERIOR DOORS AND WINDOWS SHALL BE 0.30. THE MAXIMUM ALLOWABLE U-FACTOR FOR SKYLIGHTS SHALL BE .55

ELECTRICAL/ MECHANICAL/ PLUMBING:

1. ELECTRIC AND PLUMBING LAYOUT SHALL MEET OR EXCEED LOCAL & NATIONAL CODES AND SHALL BE INSPECTED DURING CONSTRUCTION.

2. EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN HAZARDOUS LOCATIONS AND PRIVATE GARAGES. APPLIANCES LOCATED IN PRIVATE GARAGES SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 6 FEET ABOVE THE FLOOR OR PROVIDE PROTECTION FROM MOTOR VEHICLE IMPACT. PER THE RESIDENTIAL CODE OF N.Y.S.

3. WHERE WALL AND/OR CEILING FINISHES ARE REMOVED TO EXPOSE THE STRUCTURE, ALARMS SHALL BE HARD-WIRED. OTHER ALARMS MAY BE BATTERY OPERATED

4. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH ATTACHED GARAGE, AND IN EACH DETACHED GARAGE THAT IS PROVIDED WITH ELECTRICAL POWER

5. IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED IT SHALL BE LISTED IN ACCORDANCE WITH UL 325

SMOKE/CARBON MONOXIDE ALARMS:

1. FOR NEW CONSTRUCTION SMOKE DETECTING ALARM DEVICES SHALL BE DIRECT WIRED AND CONFORM TO THE RESIDENTIAL CODE OF N.Y.S.

 - IN EACH SLEEPING ROOM
 - IN HALLWAYS ADJACENT TO SLEEPING ROOMS
 - AT LEAST ONE ON EACH STORY INCLUDING BASEMENT
 - SHALL NOT BE INSTALLED LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OF OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.

2. FOR NEW CONSTRUCTION CARBON MONOXIDE DETECTORS SHALL CONFORM TO THE RESIDENTIAL CODE OF N.Y.S. AND CONFORM TO THE FIRE CODE OF N.Y.S. SHALL BE DIRECT WIRED AND SHALL BE INSTALLED ON ANY STORY HAVING A SLEEPING AREA WITHIN 10 FEET OF THE SLEEPING AREA - IN ANY ROOM WHERE FUEL-FEED APPLIANCES OR EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, OR FIREPLACES ARE LOCATED. CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

DYER DUCT/EXHAUST:

1. DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157 INCHES (NO. 28 GAGE), AND SHALL BE 4 INCHES NOMINAL IN DIAMETER.

2. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

3. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 35 FEET FROM THE DRYER LOCATION TO THE OUTLET TERMINAL. WHERE FITTINGS ARE USED, THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED AS PER THE RESIDENTIAL CODE OF NEW YORK STATE

22. ALL AREAS OF HABITABLE SPACE WILL BE PROVIDED WITH OPENINGS FOR EMERGENCY EGRESS OF 5 SF AT FIRST FLOOR AND 5.7 SF AT SECOND FLOOR. ALL SILLS TO BE WITHIN 44" OF FINISH FLOOR FOR EGRESS OPENINGS.

23. FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED WALL AND STAIR SPACES AT THE FLOOR AND CEILING (ALSO 1/2" GYWB ON UNDERSIDE OF STAIRS IN ENCLOSED ACCESSIBLE SPACES), FURRED SPACES AT INTERVALS NOT EXCEEDING 10 FT., CONCEALED JOIST SPACES AT BEAMS AND BEARING WALLS.

24. ALL GAS APPLIANCES TO BE DIRECTLY VENTED TO ROOF OR EXTERIOR TERMINATION ADDRESSING ALL REQUIREMENTS PER MANUFACTURER'S SPECIFICATIONS.

25. FOR INSULATION VALUES, REFER TO RESCHECK.

ENERGY CONSERVATION STATEMENT

1. THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS AND COMPLY WITH THE RESIDENTIAL ENERGY CONSERVATION CODE. INSULATION WILL BE UTILIZED TO SEAL THE BUILDING ENVELOPE, INCLUDING BUT NOT LIMITED TO WALLS, ROOF, RIM JOIST, ABOVE GARAGE FLOORS, CANTILEVERED SPACES AND ALL PERFORATIONS INTO UNCONDITIONED SPACE. BREAKS AND JOINTS IN THE AIR BARRIER WILL BE SEALED WITH FOAM OR CAULK. A VENTILATION CONTROL SYSTEM WILL BE UTILIZED TO PROVIDE THE REQUIRED AIR EXCHANGE.

2. AIR LEAKAGE (BLOWER DOOR) TESTING AS REQUIRED BY SECTION R402.4.1.2 TO BE PROVIDED
- FLOOD AREAS:
1. FINISH FLOOR TO BE @ 2" ABOVE PUBLISHED FLOOD PLAN.

2. ALL MATERIALS OF CONSTRUCTION USED BELOW FLOOD PLAN SHALL BE CONSTRUCTED OF FLOOD DAMAGE-RESISTANT MATERIALS IN ACCORDANCE WITH FEMA TECHNICAL BULLETIN 2 AND ASCE 24.

3. DESIGN OF FLOOD OPENINGS WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR AUTOMATIC ENTRY AND EXIT OF FLOOD WATERS AS SPECIFIED BY THE ASCE.

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS TO BE SPECIFIED BY OWNER.

2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.

3. WINDOW NUMBERS ON ELEVATIONS.

4. WINDOW TAGS ON PLANS AND ELEVATIONS THAT HAVE AN 'E' OR 'T' BESIDE ITS DESIGNATION ARE TO DENOTE 'EGRESS' OR 'TEMPERED' AS BEING REQUIRED.

5. ALL FINISH COLORS FOR WINDOWS AND FRAMES TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.

6. CONTRACTOR TO VERIFY ALL WINDOW SIZES AND QUANTITIES PRIOR TO ORDERING.

7. INSTALL MEMBRANE UP MIN. 12" ON WALLS AT INTERSECTING ROOFS.

8. MAINTAIN MANUFACTURER'S RECOMMENDED OFFSET OF SIDING TO GRADE OR ROOF SURFACE.

GROUND SNOW LOAD (psf)	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE SHIELD UNDERLAYMENT REQD	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	
40	115	B	SEVERE	48"	SLIGHT TO MODERATE	NONE TO SLIGHT	YES NO

• Climatic & Geographical Design Criteria - Monroe County, NY
- TABLE R301.2(1) -

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5	0.30	0.55	NR	49	20 OR 13 + 5"	13 / 17	30	15 / 19	10/2 FT HEATED SLAB 15	15 / 19

• Insulation & Fenestration Requirements By Component
- TABLE N102.1.2

STRUCTURAL LOADING DESIGN CRITERIA:

- ALL LOADS IN POUNDS PER SQUARE FOOT

LOCATION	LIVE	DEAD	LIMIT
1ST FLOOR	40	15	L/360
2ND FLOOR (SLEEPING)	30	10	L/360
2ND FLOOR (NON-SLEEPING)	40	10	L/360
ATTIC (NO STORAGE)	10	5	L/240
ATTIC (LIGHT STORAGE)	20	10	L/240
ROOF (W/ FINISHED CLNG.)		20	L/240
ROOF (W/ NO FINISHED CLNG.)		15	L/180
DECKS	50	10	L/360

NOTE: ASSUMED SAFE SOIL BEARING CAPACITY IS 2,000 PSF AT MIN. FROST DEPTH. VALUES MAY BE INCREASED IF SITE SPECIFIC SOIL CLASSIFICATION OR LOAD BEARING TEST DATA IS AVAILABLE.



BASED ON A SURVEY BY McMAHON L&RUE ASSOCIATES ON 10/31/23

1 Conceptual Site Plan
A-O.1
1" = 20'-0"

REVISIONS		Description
No.	Date	

DESIGN WORKS
ARCHITECTURE

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David & Bonnie Swinford
Strong Mansion Garage

700 Allens Creek Road, Rochester, NY 14618

Title:	Bld Set	Project No.	2303
		Date:	11/06/24
STANDARDS & CONCEPTUAL SITE PLAN	As Indicated	Scale:	
		Drawn By:	ST
A-O.1		Checked By:	CBS

NOT FOR CONSTRUCTION

3. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER.
2. ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
3. ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
4. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
5. ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
6. DOUBLE TRIMMERS AT ALL 4'-0" OPENINGS AND LARGER.
7. ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
8. ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
9. ■ INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
10. REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
11. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
12. CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
13. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
14. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
15. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
16. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
17. RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

WOOD CONSTRUCTION SHALL CONFORM TO THE AMERICAN WOOD COUNCIL (AWC) NATIONAL DESIGN SPECIFICATIONS (NDS) AND CHAPTER 23 OF THE NYS BUILDING CODE.

- a. MINIMUM DESIGN VALUES (UNLESS NOTED OTHERWISE ON PLANS):
 - i. DIMENSION LUMBER: SOUTHERN PINE #1 (EXTERIOR)
 - ii. DIMENSION LUMBER: HEM FIR #2 (INTERIOR)
 - c. LVL/PSL: 2400F-1.8E
2. PROVIDE CONNECTION DETAILS FOR REVIEW PRIOR TO CONSTRUCTION. SUBMIT ENGINEERING DATA FOR CONNECTORS NOT SHOWN ON THE DRAWINGS.
3. PROVIDE GALVANIZED FRAMING ANCHORS AND MISCELLANEOUS METAL DEVICES FOR ALL FRAMING, 5/16" MINIMUM THICKNESS (9/16" FOR INTERIOR APPLICATION, 1/2" OR STAINLESS STEEL FOR EXTERIOR). INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE FASTENERS RECOMMENDED BY THE MANUFACTURER. EXTERIOR EXPOSED ANCHORS AND ANCHORS IN CONTACT WITH PRESSURE TREATED WOOD TO BE STAINLESS STEEL OR GALVANIZED (G185).
4. PROVIDE RATED SHEATHING AS FOLLOWS:
 - a. WALL: APA RATED 24' O.C., EXPOSURE I (7/16" MIN. THICKNESS)
 - b. FLOOR: APA RATED 24'6" EXPOSURE I (3/4" MIN. THICKNESS)
 - c. ROOF: APA RATED 48'24" EXPOSURE I (5/8" MIN. THICKNESS)
5. MINIMUM FASTENING FOR SHEATHING SHALL BE AS FOLLOWS:
 - a. WALL: 8d NAILS @ 6" (EDGES) & 12" (FIELD)
 - b. FLOOR: GLUED AND 10d NAILS @ 6" O.C. (PANEL EDGES) AND 12" O.C. (FIELD)
 - c. ROOF: 10d NAILS @ 6" O.C. (PANEL EDGES) AND 12" O.C. (FIELD)
 - d. GWB: #6-1 1/4" SCREWS @ 6" (EDGES) AND 12" (FIELD)

1. TRUSS DESIGN SHALL COMPLY WITH THE FOLLOWING:
 - a. ANSI/TPI 1 NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES.
 - b. TPI HB COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES.
 - c. TPI DB8 RECOMMENDED DESIGN SPECIFICATION FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.
2. ROOF TRUSS CONNECTIONS TO THE MAIN STRUCTURE SHALL BE THE MOST STRINGENT OF THE FOLLOWING:
 - a. SIMPSON H1 OR H2.5A AT BEARING ENDS
 - b. CONNECTOR THAT DEVELOPS THE REACTIONS FROM THE TRUSS DESIGN CALCULATIONS PROVIDED BY THE MANUFACTURER.
 - c. TRUSS-TO-TRUSS CONNECTORS SHALL BE SPECIFIED BY THE TRUSS DESIGNER.
3. UNLESS INDICATED OTHERWISE, GRAVITY LOADS ARE AS FOLLOWS:
(LOADS INDICATED ARE IN ADDITION TO THE SELF-WEIGHT OF THE TRUSS)

ROOF TRUSSES:
 TOP CHORD SNOW LOAD.....40psf
 SNOW DRIFT AND UNBALANCED SNOW.....PER ASCE 7
 TOP CHORD DEAD LOAD.....10psf
 BOTTOM CHORD DEAD LOAD.....10psf
 WIND LOADS.....PER ASCE 7

FLOOR TRUSSES:
 TOP CHORD LIVE LOAD.....40psf
 TOP CHORD DEAD LOAD.....10psf
 BOTTOM CHORD DEAD LOAD.....10psf

4. TRUSS CALCULATIONS, TRUSS DESIGN DRAWINGS, AND TRUSS TO TRUSS CONNECTIONS TO BE CERTIFIED BY A NEW YORK LICENSED ENGINEER PRIOR TO SUBMISSION TO THE ARCHITECT FOR REVIEW.

1. APPROVED BUTYRHANE WATER SHIELD PRODUCT (ie. GRAUCE ICE AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS.

ROOF PITCH	3:12 OR LESS	3:12 - 6:12	6:12 OR GREATER
WATER SHIELD *	ENTIRE ROOF	5'-0"	3'-0"

* DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE

2. USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.

3. HIGH TEMPERATURE ICE & WATER SHIELD UNDER METAL ROOF (IF APPLICABLE).

4. ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF 1/500 OF THE AREA OF VENTED SPACE. WITH THE EXCEPTION OF 1/3000 BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS 1 OR VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE PER THE RESIDENTIAL CODE OF N.Y.S..

5. ROOF CAVITIES THAT EXCEED 30 SF. REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER THE RESIDENTIAL CODE OF N.Y.S..

6. PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.

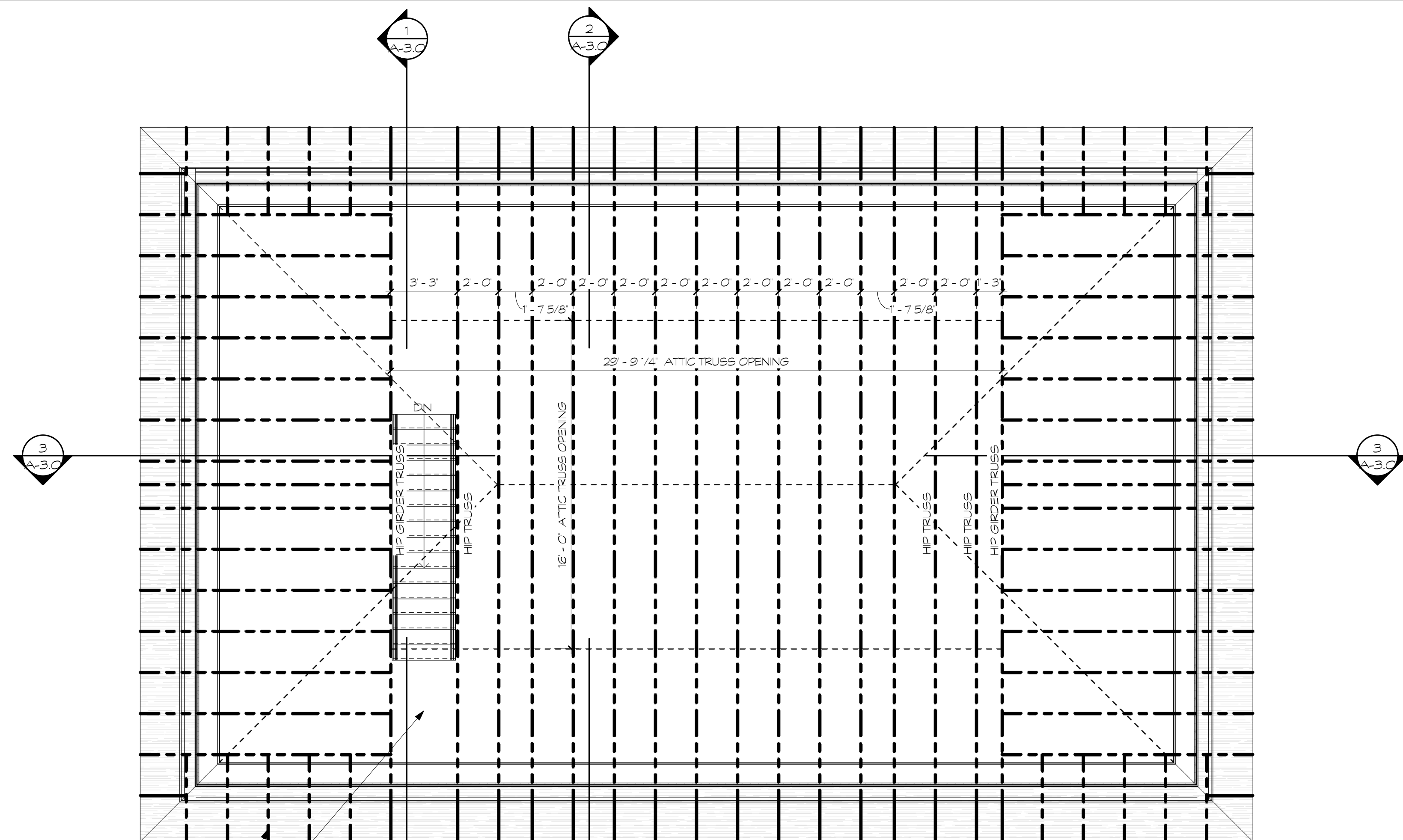
7. FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER

8. BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL
RAFTER BAYS.

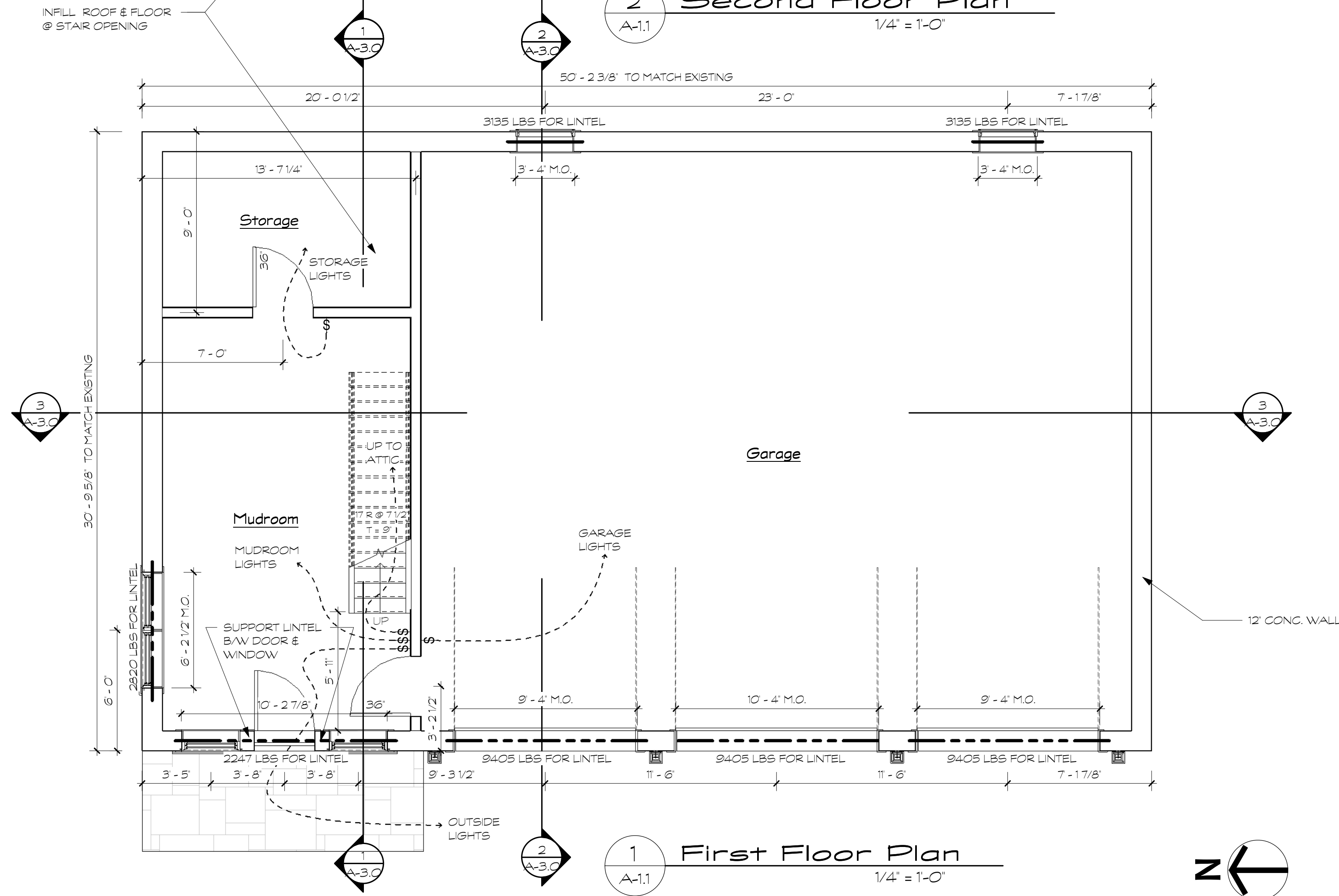
9. FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.

10. ALL RAFTERS TO HAVE SIMPSON H2.5A AT BEARING ENDS

1. TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY.
2. TRUSSES TO BE ENGINEERED AND SUPPLIED BY CERTIFIED TRUSS MANUFACTURER
3. FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION.
4. PROVIDE HURRICANE TIE FOR EACH TRUSS, USE SIMPSON H2.5 UNLESS NOTED OTHERWISE. (SEE A-1.2 WOOD NOTES AND TRUSS NOTES)



2 Second Floor Plan
A-1.1 $\frac{1}{4}" = 1'-0"$



1 First Floor Plan
A-11 1/4" = 1'-0"

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[illegible]

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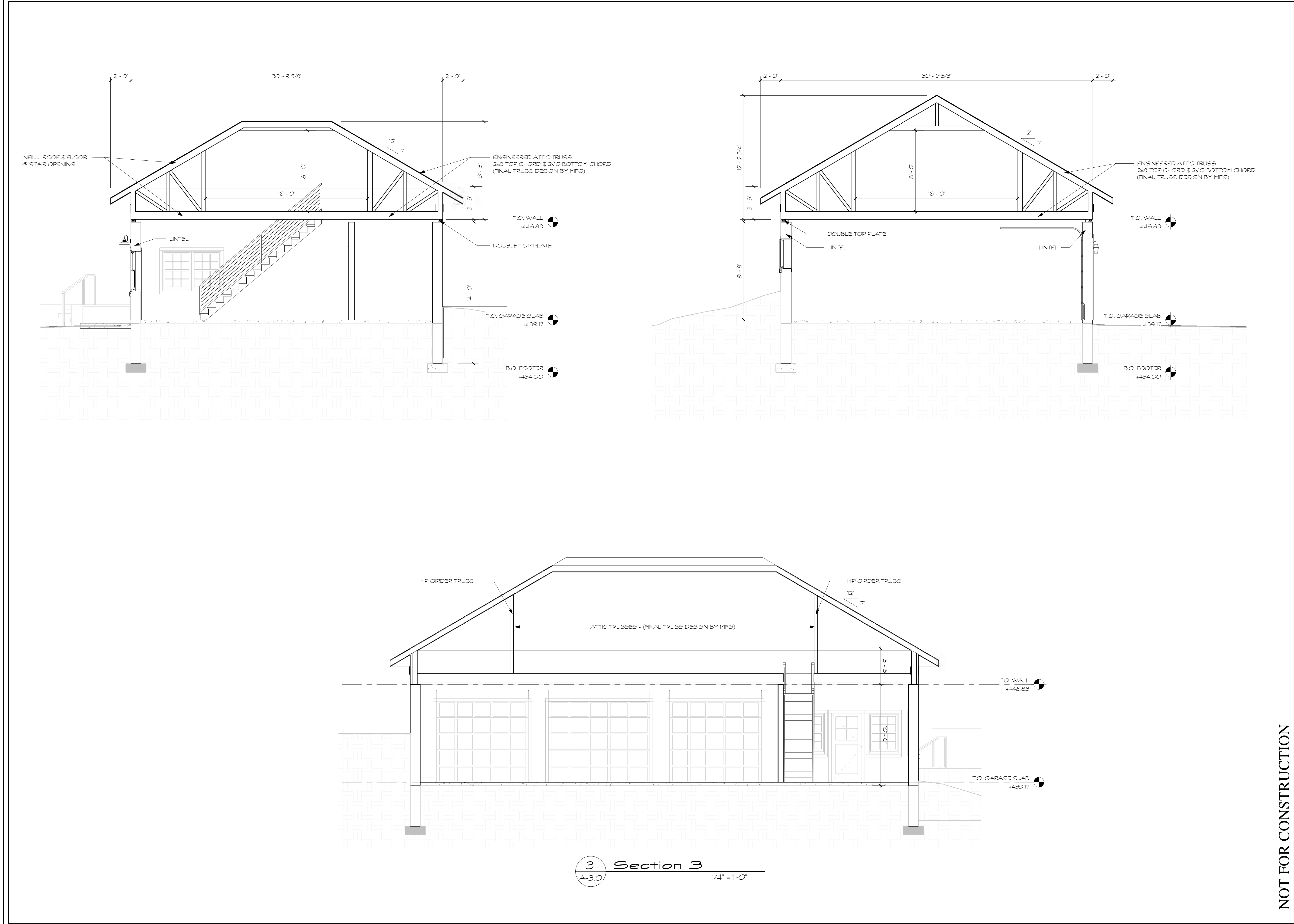
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David & Bonnie Swinford
Strong Mansion Garage

700 Allens Creek Road, Rochester, NY 14618

<p>Title:</p> <p>Bid Set</p> <p>FLOOR PLANS</p>	<p>Project No.</p> <p>2303</p>
	<p>Date:</p> <p>11/06/24</p>
<p>A-1.1</p>	<p>Scale:</p> <p>As indicated</p>
	<p>Drawn By:</p> <p>ST</p>
	<p>Checked By:</p> <p>CBS</p>

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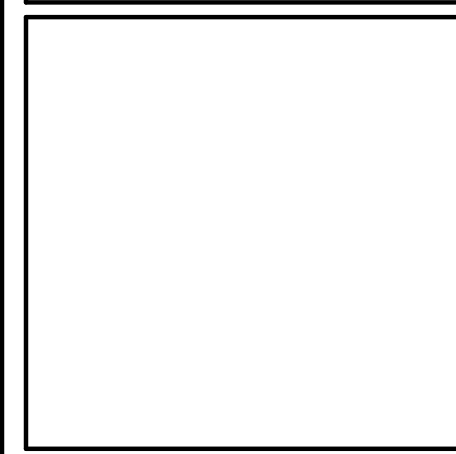


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No.	Description

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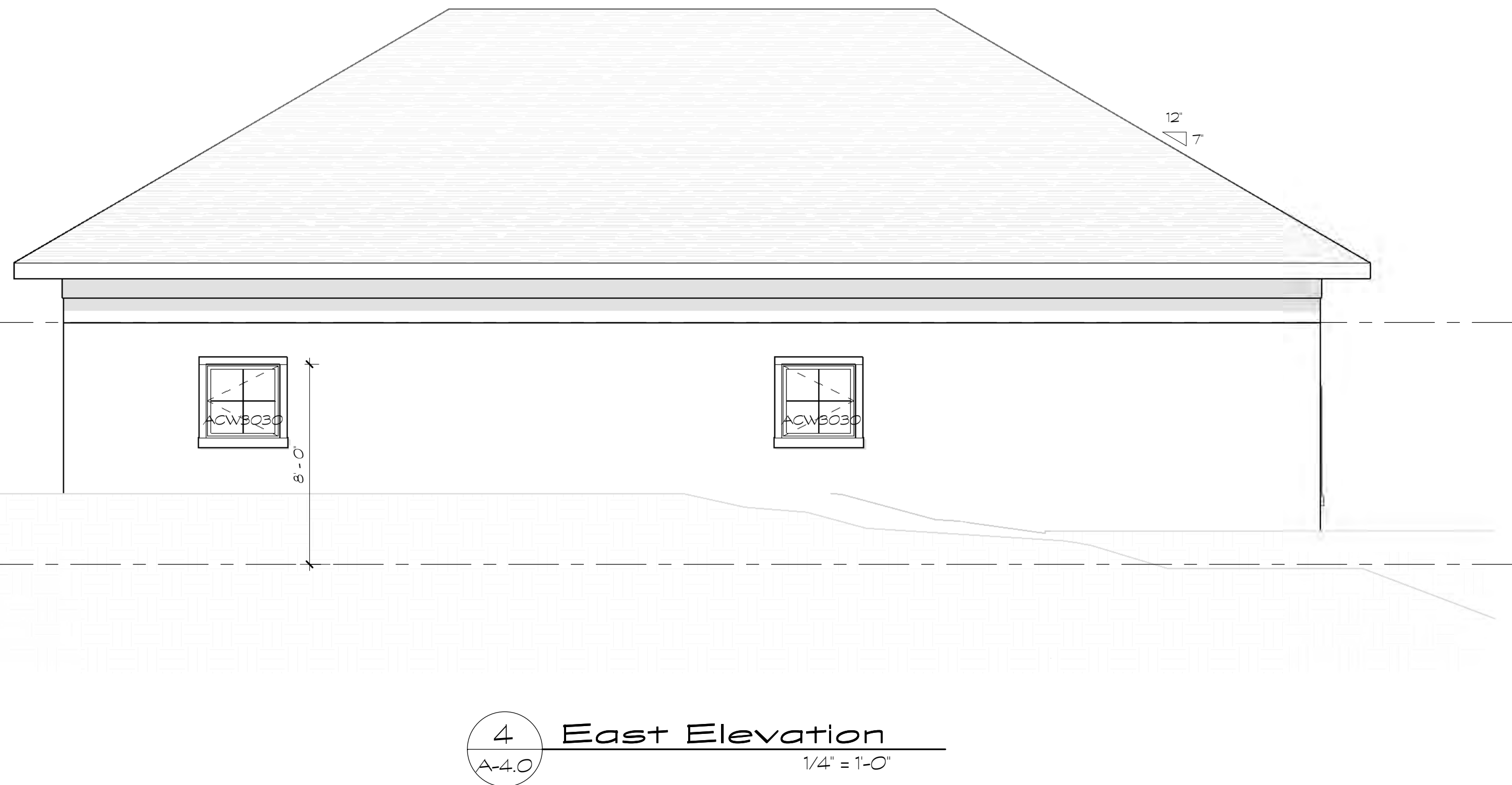
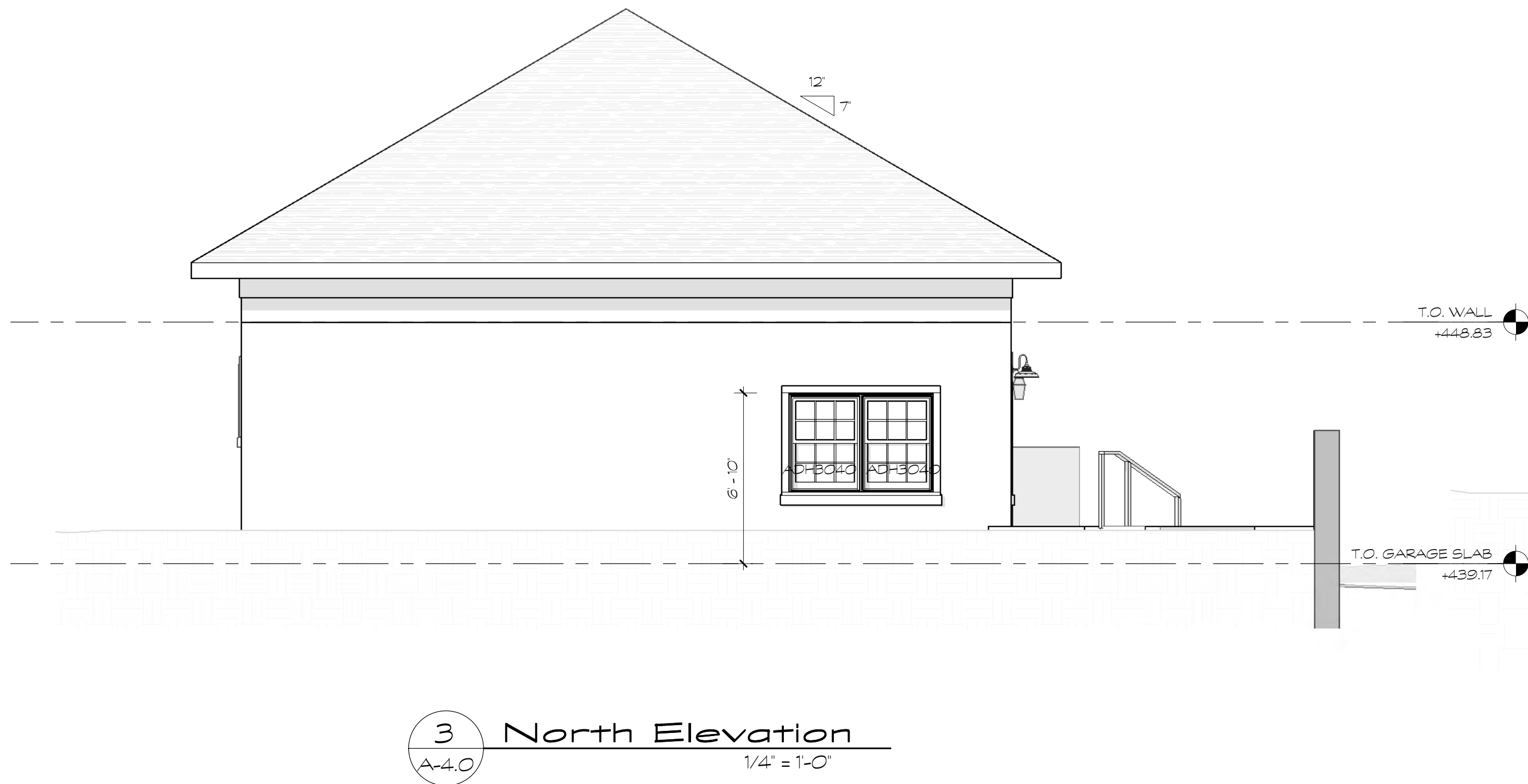
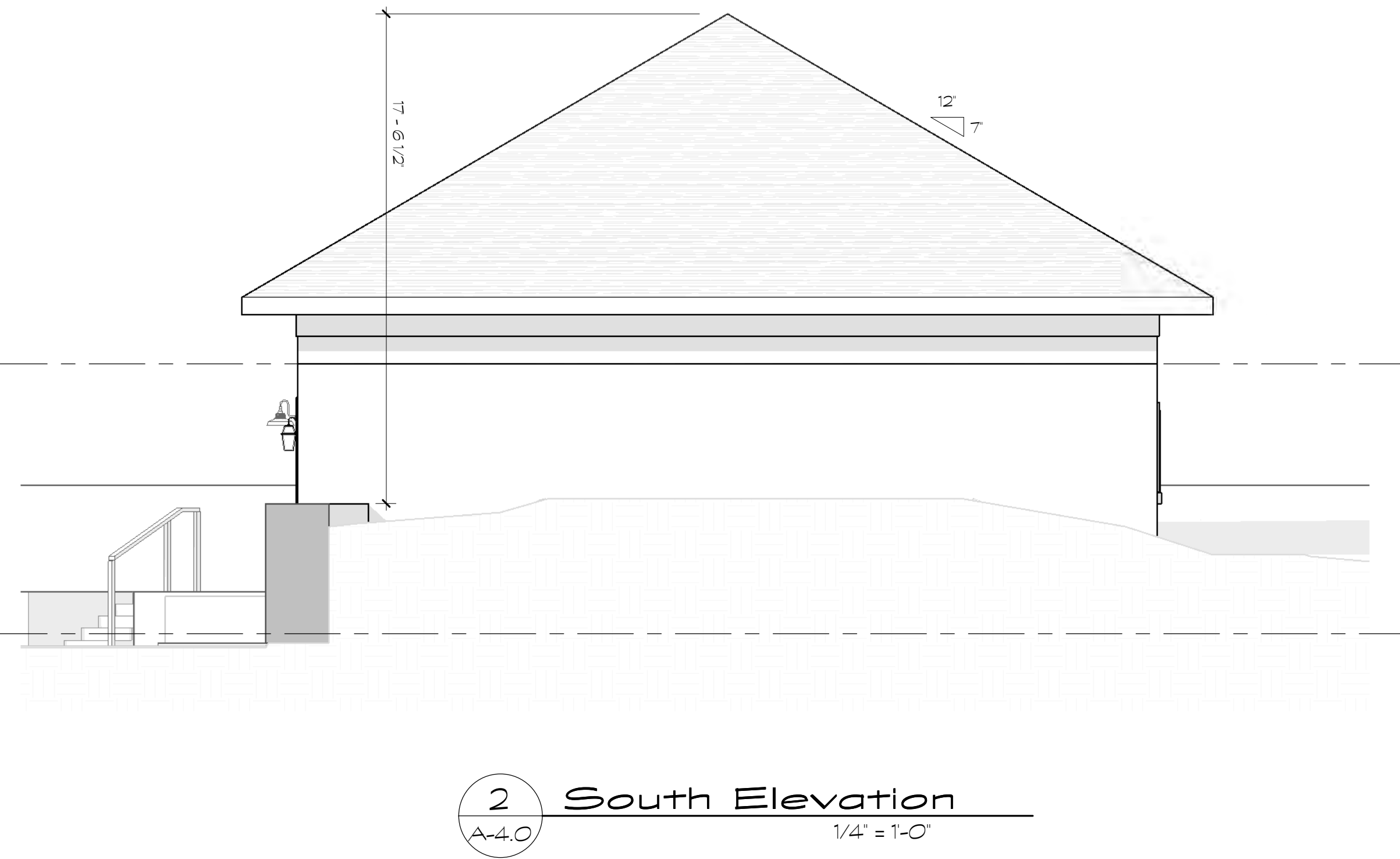
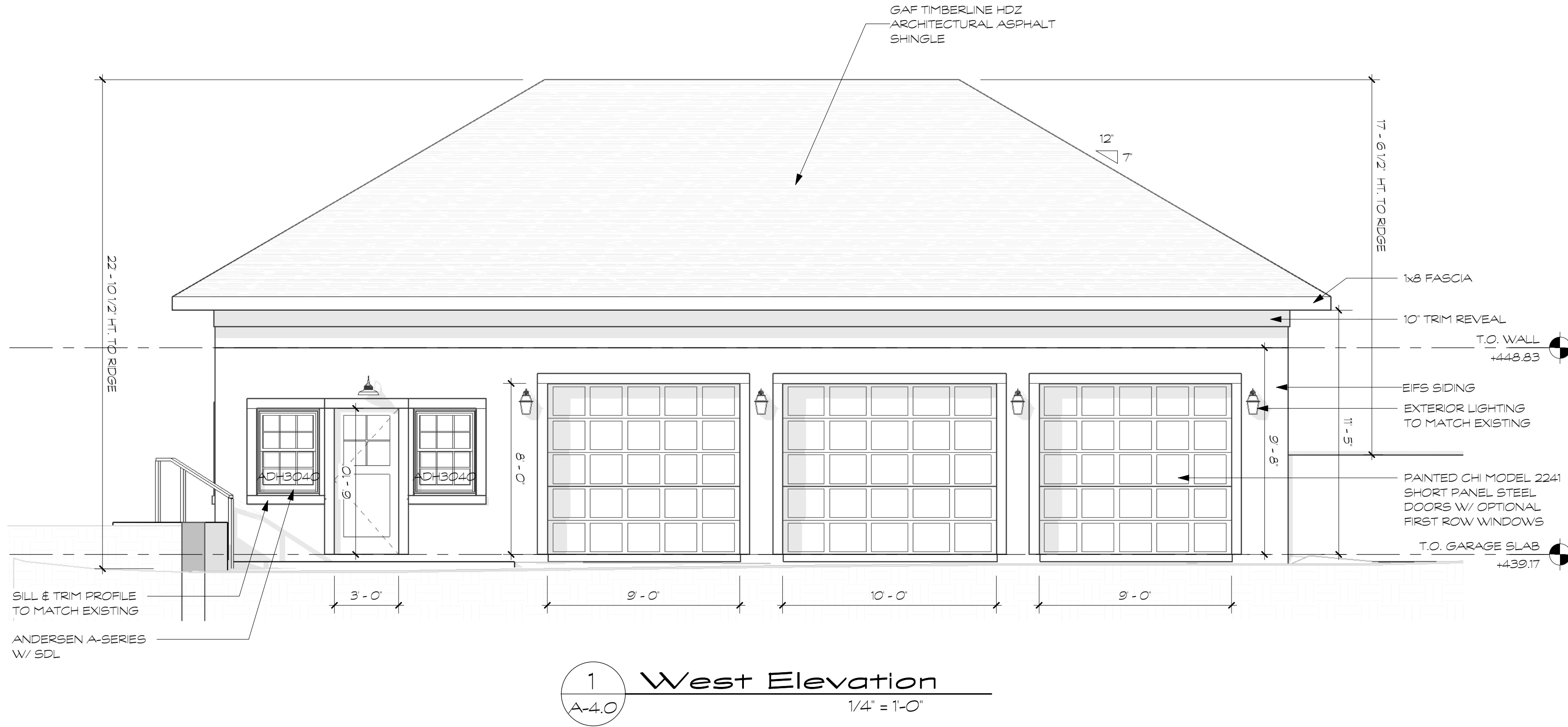
David & Bonnie Swinford
Strong Mansion Garage

700 Allens Creek Road, Rochester, NY 14618

NOT FOR CONSTRUCTION

Project No. 2303
Date: 11/06/24
Scale: 1/4" = 1'-0"
Drawn By: ST
Checked By: CBS

Bld Set
BUILDING SECTIONS
A-3.0



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No.	Date

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David & Bonnie Swinford
Strong Mansion Garage

700 Allens Creek Road, Rochester, NY 14618

Project No. 2303
Date: 11/06/24
Scale: 1/4" = 1'-0"
Drawn By: ST
Checked By: CBS

Bld Set
EXTERIOR ELEVATIONS

A-4.0











From: [Dirk Schneider](#)
To: [Bill Zink](#); [Doug DeRue](#); [Robert Koegel](#); [Anna Piazza](#)
Cc: [Paul Whitbeck](#); ["John Mitchell"](#); ["Bonnie Salem"](#); ["Kathleen Cristman"](#); ["David Wigg"](#); ["Jim Vekasy"](#)
Subject: Town of Pittsford - DRHPB Pittsford Oaks Comments to the Planning Board 10/22/24
Date: Tuesday, October 22, 2024 12:47:50 PM

[EXTERNAL]

Dear Planning Department,

After another informal Pittsford Oaks review meeting on 10/10/24, the DRHPB has the following comments to be provided to the Planning Board outlining concerns that have been voiced from the birth of this development under the new developer.

1. After further discussion and reflection at the board meeting, we hope the Planning Board will hold off on preliminary approval until the developer submits at least one more round of elevations.
2. The developer's recent presentation demonstrated that they can react to our specific suggestions (i.e. focus on just the one end that was most problematic) but their redesign is still 3 stories high, and they made no changes to the rest of the building to integrate the changes. We are still awaiting a cohesive solution that might impact the unit count and therefore possibly the parking requirements. We said they were on the right track - but they have taken only a small step towards a possible approach that will reduce the massing as requested.
3. As mentioned above we think they need to re-examine the whole project in terms of massing, height, repetition, materials and develop a cohesive approach. We mentioned that the H design worked for Cloverwood (previous senior housing option) but now with increased height this is creating a substantial mass. While the project does have some vertical elements to break up the overall mass there is an underlying 'pancaking' or 'banding' that at the scale of this building is a overwhelming. Everything lines up horizontally meaning the stone/concrete base of one story, the next single story of a darker gray material and then the upper two stories of lighter gray. In addition all the trim lines, eave lines, roof lines all follow and are monotonous. They could break up the overall large massing of the building by playing with the 'banding' it could help the appearance that there are smaller masses of building.
4. We also mentioned to maybe explore more drastic interventions along the +/- 400' long building such as removing a few units over 1, 2 or three stories to the double loaded hallway (this would bring daylight in the enormous long internal hallway) and maybe 1 or 2 units wide (varying in the approach) would create a relief possible necessary to help make the mass make less imposing.

Regards,

Dipl.-Ing. DIRK SCHNEIDER, AIA
Town of Pittsford DRHPB, Chair

CAUTION: THIS EMAIL CAME FROM AN EXTERNAL SENDER. Don't click links or open attachments unless you recognize the sender and know the content is safe.

April Zurowski

From: Dustin Welch <dwelch@passero.com>
Sent: Friday, November 8, 2024 10:36 AM
To: April Zurowski; Doug DeRue
Cc: David Cox; Andrew Burns; Anthony Daniele; Robert Koegel; Danny Daniele
Subject: RE: Pittsford Oaks - DRHPB Documents

[EXTERNAL]

April

Please see design change narrative below:

In response to the DRHPB comments issued on 10-22-2024 following the meeting on 10-10-2024 we have made a significant number of changes to the design of the proposed project at Pittsford Oaks. These changes include significant changes to the roof-line throughout the building to reduce the overall 'mass' of the building and help to reinforce the Architectural language and present a more cohesive overall design aesthetic. The materiality, and façade components have been revised throughout the building to better reflect the design aesthetic of the North-East corner of the building that was presented at the DRHPB meeting on 10-10-2024. Various façade components such as bump-outs, trim, materials, and windows and balconies, including some unit layouts, have been revised to help alleviate the 'banding' or 'pancaking' mentioned in comment #3 of the DRHPB comments distributed on 10-22-2024, additionally, the base color has been lightened to help differentiate it further from the lower siding material color giving the façade a much more varied and pleasing overall aesthetic. Specific changes include introduction of the 'faux mansard' roof at the North portion of the West façade, as well as at the South portion of the East façade. Dropping the base level of the stone veneer 'bump out' at the North-East corner of the East façade, as well as the base level of the 'bump outs' along the East and West facades. We have included stone veneer to the West façade, and incorporated a revised undulating materiality to both the East and West facades to create design cohesion across the project and break up and 'pancaking' as was mentioned in comment #3 from the DRHPB comments issued on 10-22-2024. Throughout the project there has been additional roof articulation added, this is particularly prominent at the North-West and South-West corners of the West façade as well as at the North-East and South-East corner of the East façade, but has been done throughout the building design. Additional windows have been added in several locations including the South-West corner of the West façade. We have revised unit layouts to accommodate additional 'bump-outs' at the North-East corner of the building and included a materiality change that continues to articulate the façade and reinforce the overall design aesthetic.

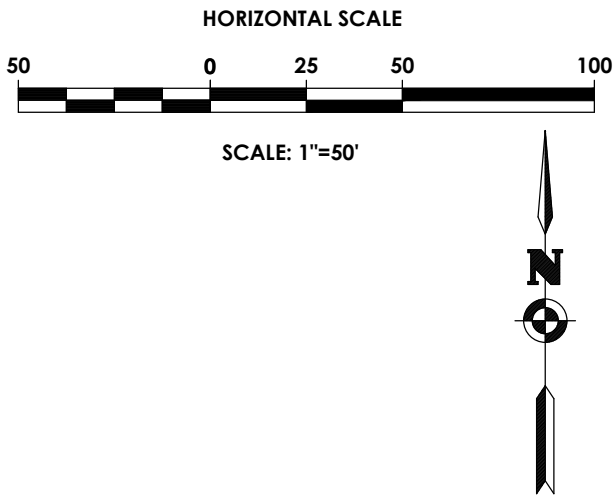
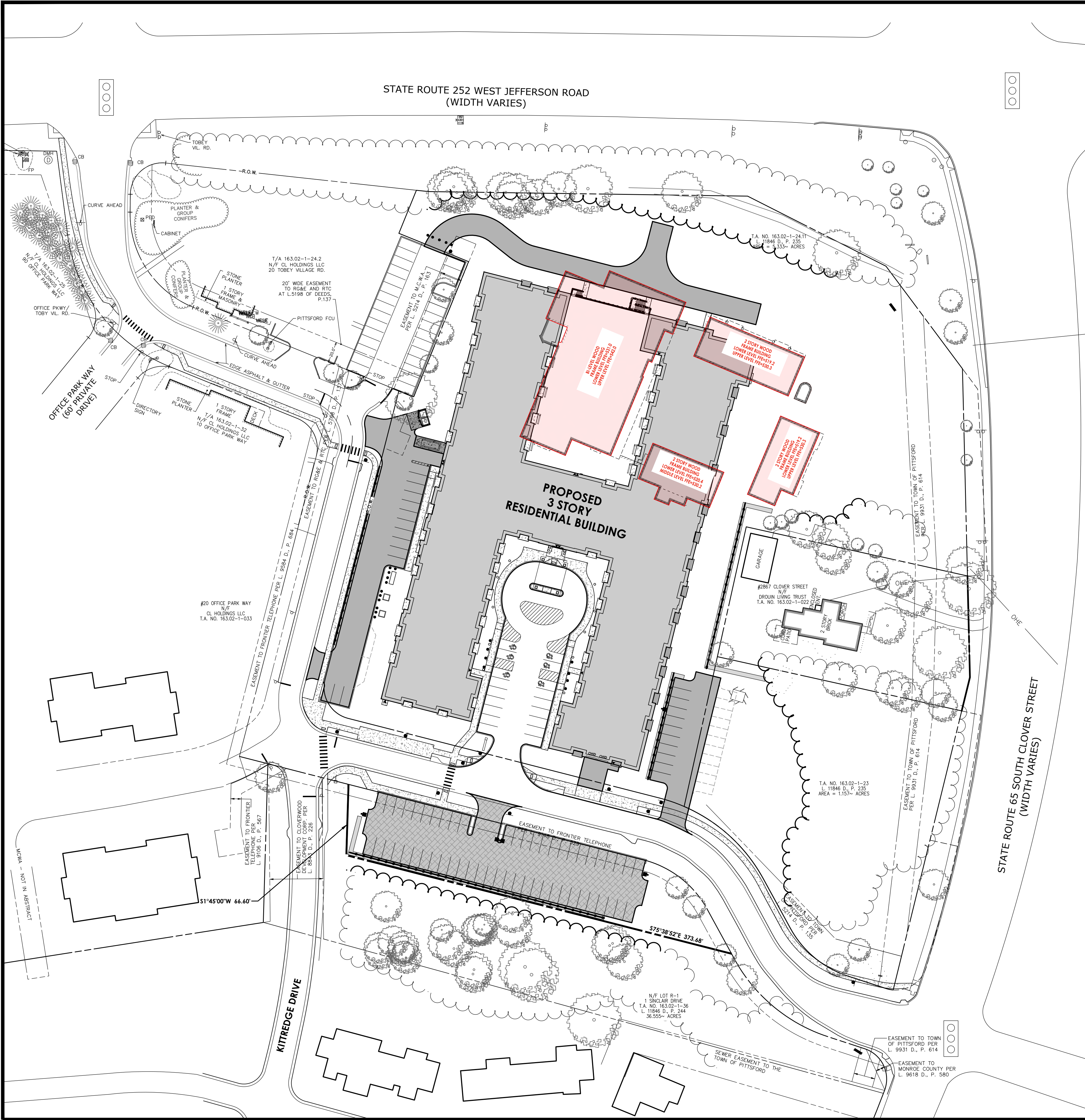
Additionally, we have updated the presentation to include the West façade to highlight the changes that have been made to incorporate the design aesthetic presented at the DRHPB meeting on 10-10-2024 at the North-East corner of the building, revisions to the roof line, and revisions to the façade treatment in response to the DRHPB comments issued on 10-24-2024. We have also updated the site sections to include the revised building silhouette as the roof lines have generally been reduced in these areas.

Sincerely,

Dustin Welch | CSI-CDT | AIA

Senior Architect
585-703-5166

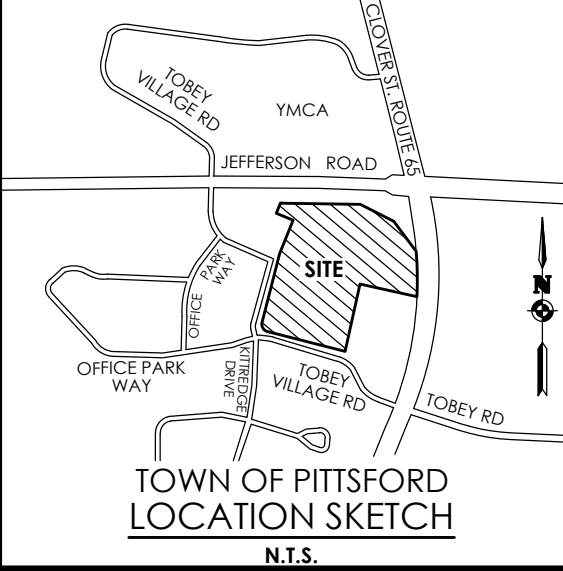
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LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVEMENT
- PROPOSED POROUS ASPHALT PAVEMENT
- PROPOSED MILL AND RESURFACE LIMITS
- PROPOSED PARKING COUNT
- PROPOSED CONCRETE
- PROPOSED ACCESS RAMP
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT

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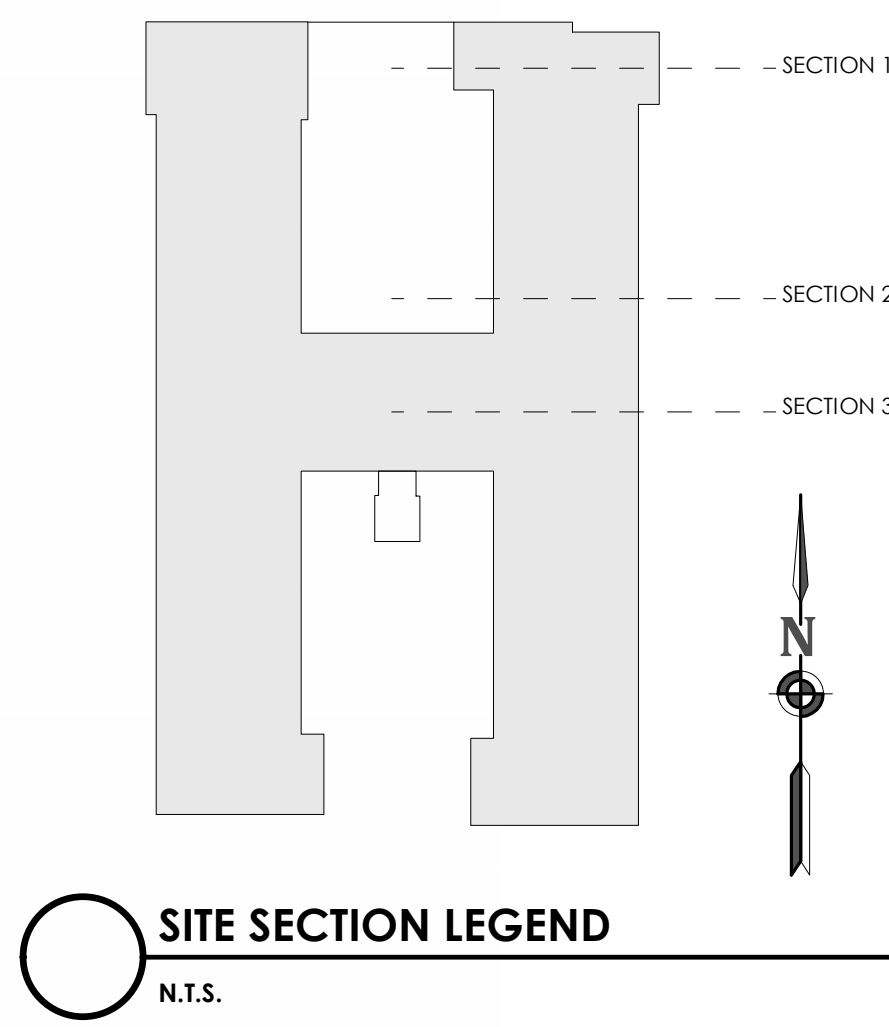
Client:
2851 Clover, LLC
2851 Monroe Avenue
Rochester, NY 14618
Phone: (585)-271-1111

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Principal-in-Charge: David Cox, P.E.
Project Manager: Andrew Burns, P.E.
Designed by: Shari Kleis

Revisions			
No.	Date	By	Description
1	07/16/24	SMK	DRC COMMENTS

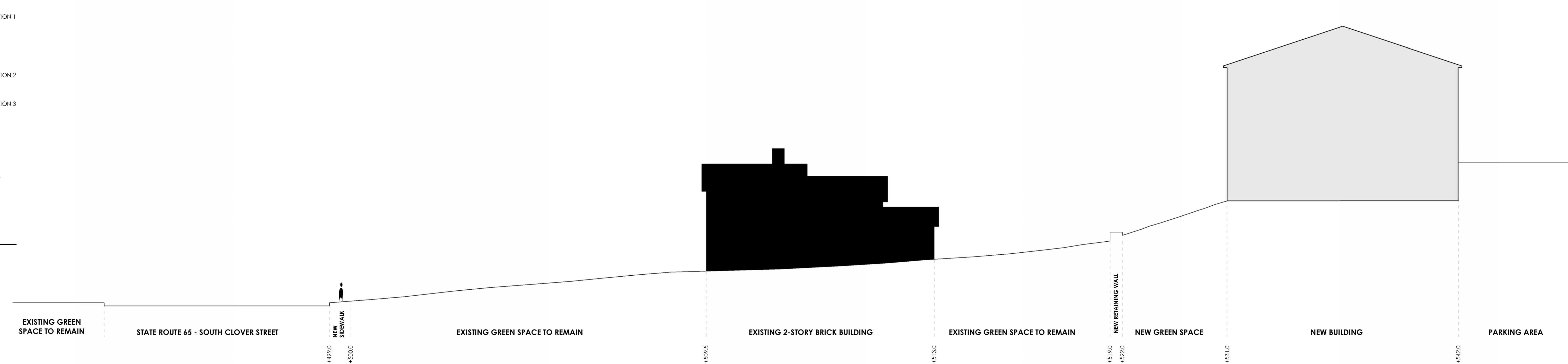
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SITE PLAN OVERLAY	
PITTSFORD OAKS	
Town/City: PITTSFORD	State: NEW YORK
County: MONROE	
Project No.	20233554.0001
Drawing No.	C 001
Scale:	1" = 50'
Date	AUGUST 26, 2024



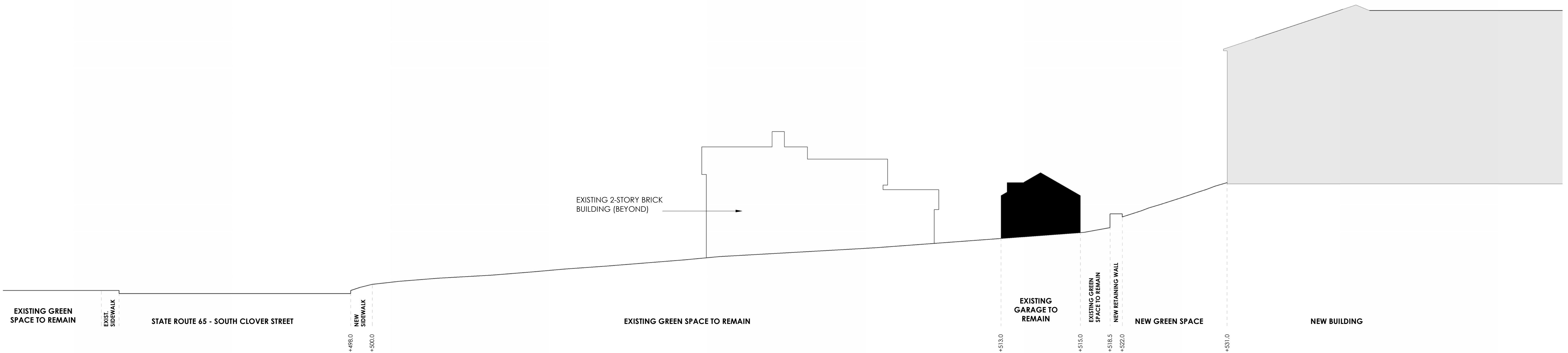
3 SITE SECTION - THROUGH EAST WING AT EXISTING ADJACENT BRICK BUILDING

0' 4' 8' 16' 32'
1/16" = 1'-0"



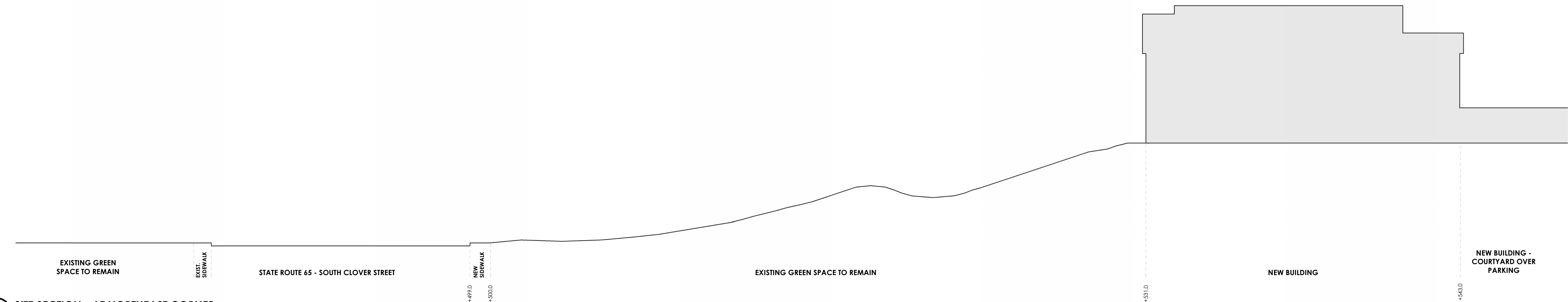
2 SITE SECTION - THROUGH EAST WING AT EXISTING GARAGE

0' 4' 8' 16' 32'
1/16" = 1'-0"



1 SITE SECTION - AT NORTHEAST CORNER

0' 4' 8' 16' 32'
1/16" = 1'-0"







2 NORTH ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



6 WEST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



1 EAST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



2 NORTH ELEVATION
0' 1' 2' 4' 8'
1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION
0' 1' 2' 4' 8'
1/16" = 1'-0"

4TH FLOOR WALL HGT.
+31' - 0 7/8"
FOURTH FLOOR LEVEL
+22' - 0 1/2"
THIRD FLOOR LEVEL
+11' - 0 5/8"
SECOND FLOOR LEVEL
+0' - 0"



6 WEST ELEVATION
0' 1' 2' 4' 8'
1/16" = 1'-0"

4TH FLOOR WALL HGT.
+31' - 0 7/8"
FOURTH FLOOR LEVEL
+22' - 0 1/2"
THIRD FLOOR LEVEL
+11' - 0 5/8"
SECOND FLOOR LEVEL
+0' - 0"



1 EAST ELEVATION
0' 1' 2' 4' 8'
1/16" = 1'-0"

4TH FLOOR WALL HGT.
+31' - 0 7/8"
FOURTH FLOOR LEVEL
+22' - 0 1/2"
THIRD FLOOR LEVEL
+11' - 0 5/8"
SECOND FLOOR LEVEL
+0' - 0"
GARAGE LEVEL
-12' - 0"

60'-0"
MIN. REQUIRED HEIGHT REDUCTION
ORIGINAL BUILDING HEIGHT
38'-0"
17'-4"
+581'
+573'
9'-5 6/7 1/28"



1 PERSPECTIVE
N.T.S.

