

Town of Pittsford Design Review & Historic Preservation Board
AGENDA
September 12th, 2024
This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, September 12, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

OVERSIZED/COMMERCIAL ACCESSORY STRUCTURES

165 French Road

Applicant is requesting design review for a 240 square-foot pergola.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

20 Kerrygold Way

Applicant is requesting design review to change a window into a door on the right side elevation.

2185 West Jefferson Road

Applicant is requesting design review for the addition of an approximately 224 square-foot addition off the rear of the home.

17 East Park Road

Applicant is requesting design review to add a covered entryway to the front of the home.

44 Crestline Road

Applicant is requesting design review to enclose the existing deck into a sunroom, add a entry/mudroom, covered deck & add a garage bay.

RESIDENTIAL APPLICATIONS: NEW HOMES

12 Bridleridge Farms

Applicant is requesting design review for a 3,580 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for signage for Dick's Going Going Gone.

CERTIFICATES OF APPROPRIATENESS

55 Mitchell Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

321 Mendon Center Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

PLANNING BOARD COMMENTARY

Pittsford Oaks

The Planning Board is requesting DRHPB commentary on the Pittsford Oaks project.

The next meeting is scheduled for Thursday, September 26, 2024, at 6PM.

Town of Pittsford Design Review & Historic Preservation Board
MINUTES
July 25, 2024

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, June 11, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dave Wigg, Vice Chairman; Bonnie Salem; John Mitchell; Jim Vekasy

ABSENT: Dirk Schneider, Chairman; Kathleen Cristman; Paul Whitbeck;

ALSO PRESENT: Bill Zink, Building Inspector; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 8 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Vice Chairman Dave Wigg called the meeting to order at 6 PM.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

28 Copper Woods

Applicant is requesting design review for the addition of a covered front entry.

Tamara O'Shaughnessy, the homeowner, introduced the application. Mrs. O'Shaughnessy gave a brief overview of the project. Member Bonnie Salem asked if there were columns on the home already. Mrs. O'Shaughnessy said they were more of a decorative trim piece. Vice Chairman Dave Wigg asked if the roof would be metal and the homeowner confirmed. DRHPB Member Bonnie Salem asked if the flued columns might be too much along with the metal roof. The Board acknowledged that the elevation provided shows the house much simpler than it is.

DRHPB Vice Chairman Dave Wigg motioned to approve addition of a covered entry, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

71 Framingham Lane

Applicant is requesting design review for approximately 224 square feet off the rear of the home.

Richard McCarson, the homeowner, introduced the application. DRHPB Member Jim Vekasy asked if the slab was already there, the homeowner confirmed. DRHPB Member John Mitchell asked if the roof lines on the left and right elevation would match and the homeowner confirmed. John Mitchell asked the age of the home, the homeowner said he thought around 1978. John Mitchell stated the color may be tough to match with weathering.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of a 224 square foot addition off the rear of the home, as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

OVERSIZED ACCESSORY STRUCTURES

33 Merryhill Lane

Applicant is requesting design review for the addition of 220 square foot shed with attached covered porch.

Nick Shotwell, the homeowner, introduced the application. DRHPB Member Jim Vekasy asked where this would be located and the homeowner indicated the approved location from the Zoning Board. DRHPB Vice Chairman Dave Wigg asked if this was a kit or to be built from scratch and the homeowner stated a contractor would be coming up with the plans.

DRHPB Member John Mitchell motioned to approve the addition of a 220 square foot shed with attached covered porch, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

3 Fitzmot Glen

Applicant is requesting design review for a 1080 square foot detached garage.

Tom and Natalie Nicosia, on behalf of Dennis Wilmot, introduced the application. DRHPB Member Bonnie Salem asked which elevation would face the house, Nicole stated that the North Elevation would face the house and the east elevation would face the street. DRHPB Vice Chairman Dave Wigg asked if the board and batten would be vinyl and Tom stated that it would be a rough cut hearty board.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of an approximately 1080 square feet detached garage, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for the 39.5 square-foot of signage for Citizens Bank.

Devin Ehly, of AGI introduced the application. DRHPB Vice Chairman Dave Wigg asked how the signs would be lit and Devin stated that they would be front lit.

DRHPB Member Bonnie Salem motioned to approve the construction of approximately 39.5 square feet of signage for Citizens Bank, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

07/11/2024 MEETING MINUTES REVIEW

The minutes of July 11th, 2024, were approved following a motion by DRHPB Member Bonnie Salem. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the minutes were approved, none opposed.

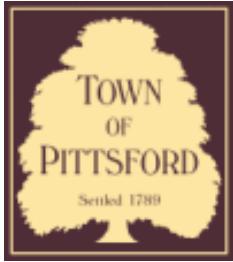
OTHER DISCUSSION

Design Review and Historic Preservation Board Vice Chairman Dave Wigg closed the meeting at 6:40 PM.

Respectfully submitted,

Bill Zink
Building Inspector

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA24-000128

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 165 French Road ROCHESTER, NY 14618

Tax ID Number: 151.13-1-8

Zoning District: RN Residential Neighborhood

Owner: Crough, Meghan

Applicant: Crough, Meghan

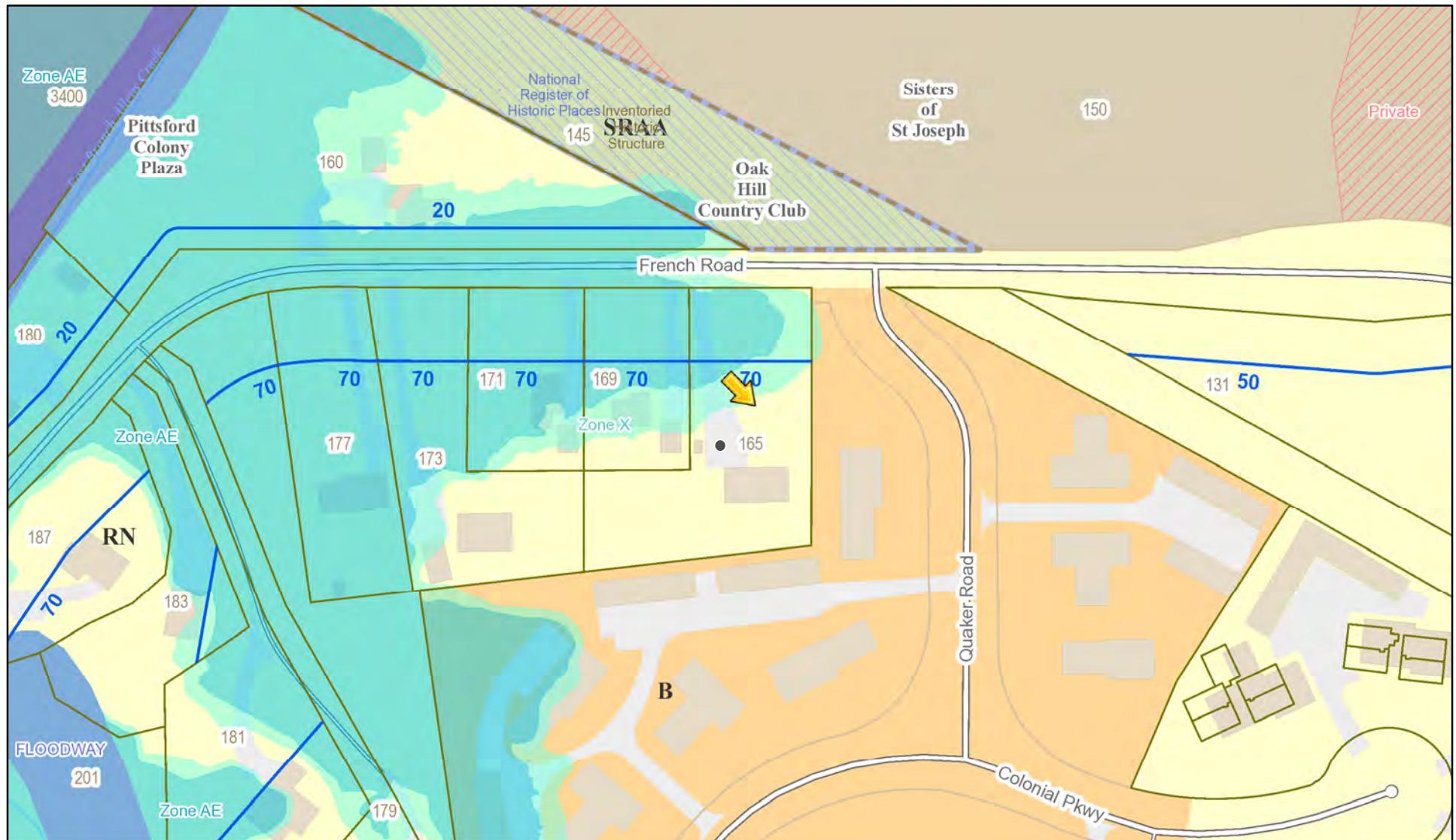
Application Type:

- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting design review for a 240 square foot pergola.

Meeting Date: August 22, 2024

RN Residential Neighborhood Zoning



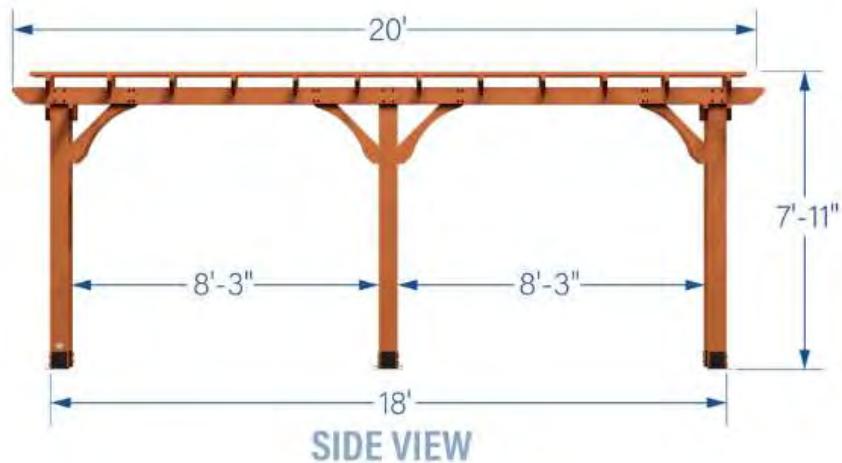
Printed August 7, 2024

1:2,257
0 25 50 100 m
0 95 190 380 ft

Town of Pittsford GIS

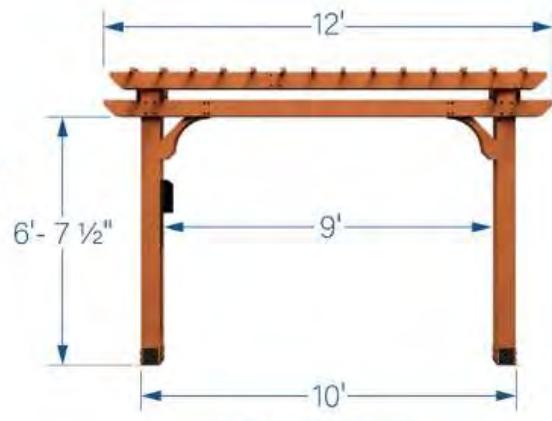
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



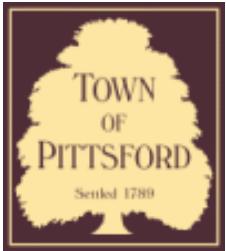


SIDE VIEW

20X12 BEAUMONT PERGOLA



FRONT VIEW



Town of Pittsford

Department of Public Works

11 South Main Street
Pittsford, New York 14534

Permit #
B23-000127

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Kerrgold Way PITTSFORD, NY 14534

Tax ID Number: 163.02-5-40

Zoning District: PUD Planned Unit Development

Owner: Rubens, Jack

Applicant: Rubens, Jack

Application Type:

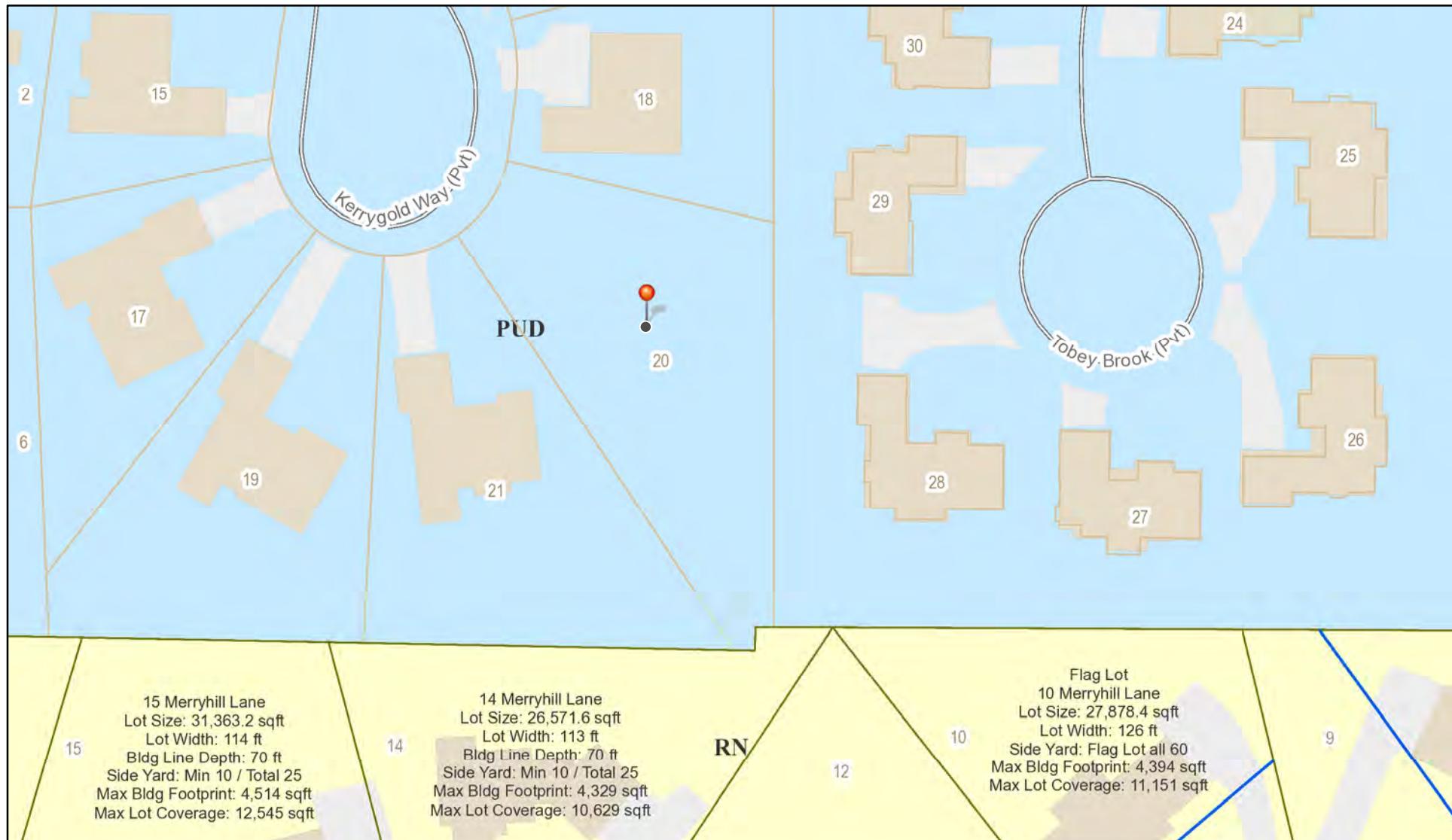
- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review

- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting design review to change a window into a door on the right side elevation.

Meeting Date: August 22, 2024

RN Residential Neighborhood Zoning



Printed October 5, 2023

Town of Pittsford GIS



04/03/2021

© All EagleView Technology Corporation



121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLICENSED OR OTHERWISE, TO ALTER ANY DRAWING OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND SIGNATION THEREON BY THE DATE OF THE ALTERATION, BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" PURSUANT TO 17 U.S.C. § 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED. THE DRAWINGS ARE ALSO SUBJECT TO THE "ARTISTIC WORKS" PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN IS PROHIBITED IN THAT NO PART OF THE DESIGN OR BUILDING BEING DESIGNED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2003
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

04/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
FRONT / LEFT SIDE ELEVATIONS

DRAWN: **CHECKED:**
MGM PJM

DATE: SEPTEMBER 2023

SCALE: 1/4"=1'-0"

JOB NO.: 294495

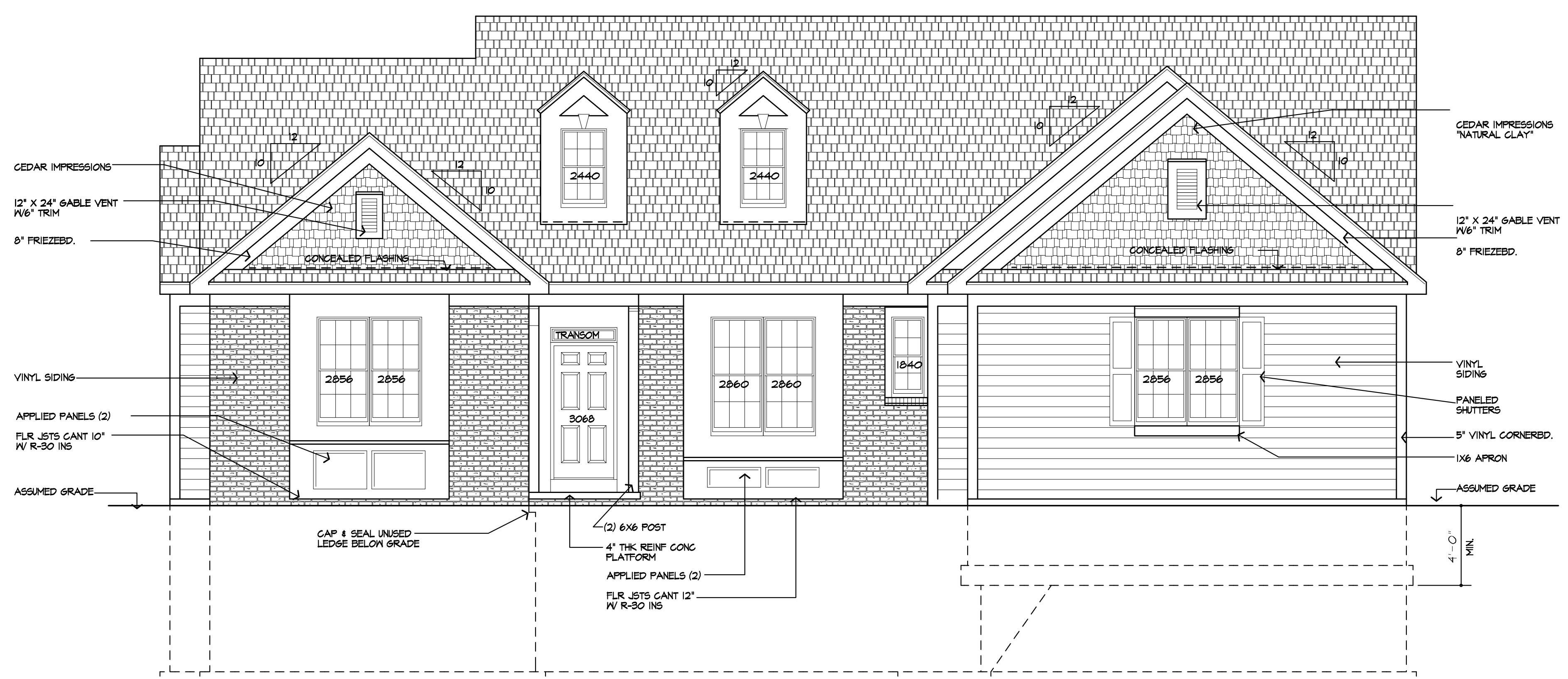
SHEET:

2

OF 9 SHEETS

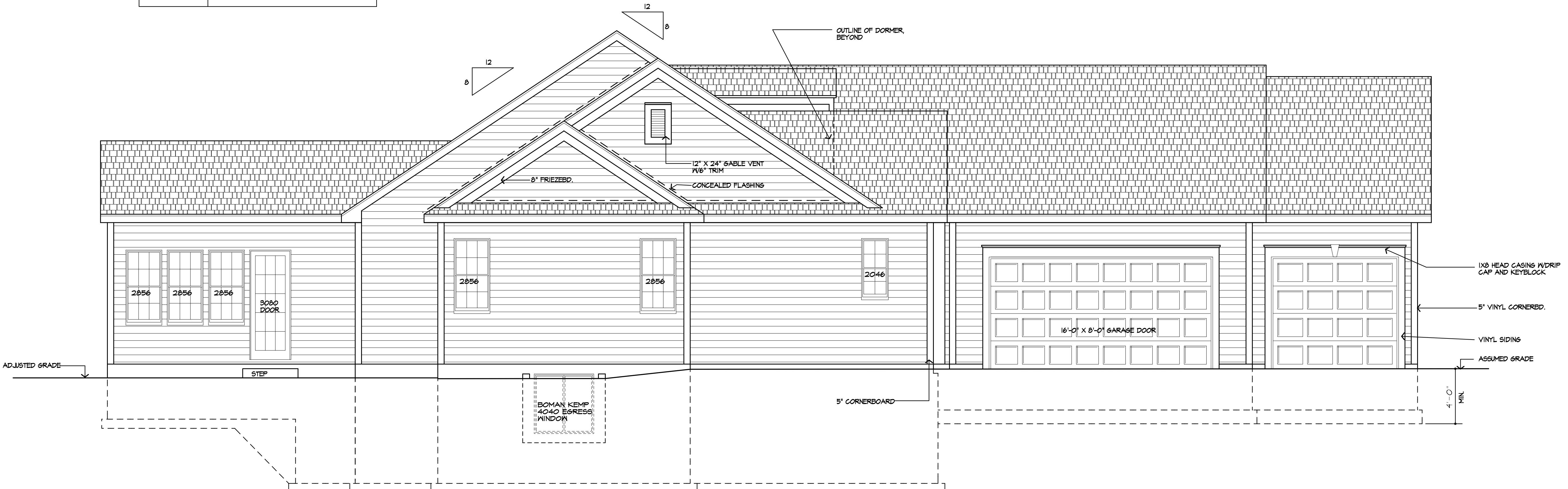


| UNLESS OTHERWISE NOTED | |
|------------------------|--|
| ROOFING: | 30 YEAR ROOF SHINGLES |
| ROOF VENTING: | "SHINGLEVENT" RIDGE VENT |
| FASCIA: | 8" ALUM |
| FRIEZEBOARDS: | 8" VINYL |
| CORNERBOARDS: | 5" VINYL |
| CASINGS: | 6" VINYL |
| SIDING: | HORIZONTAL AS SELECTED |
| OVERHANGS: | 12" |
| RAKE OVERHANGS: | 12" |
| MIN FTG. DEPTH: | 4'-0" |
| CLG HT: | |
| 1ST FLOOR: | 9'-1 1/8" |
| WINDOW UNIT HT | |
| 1ST FLOOR: | 8'-0" |
| WINDOW MFR: | ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R308.4) |



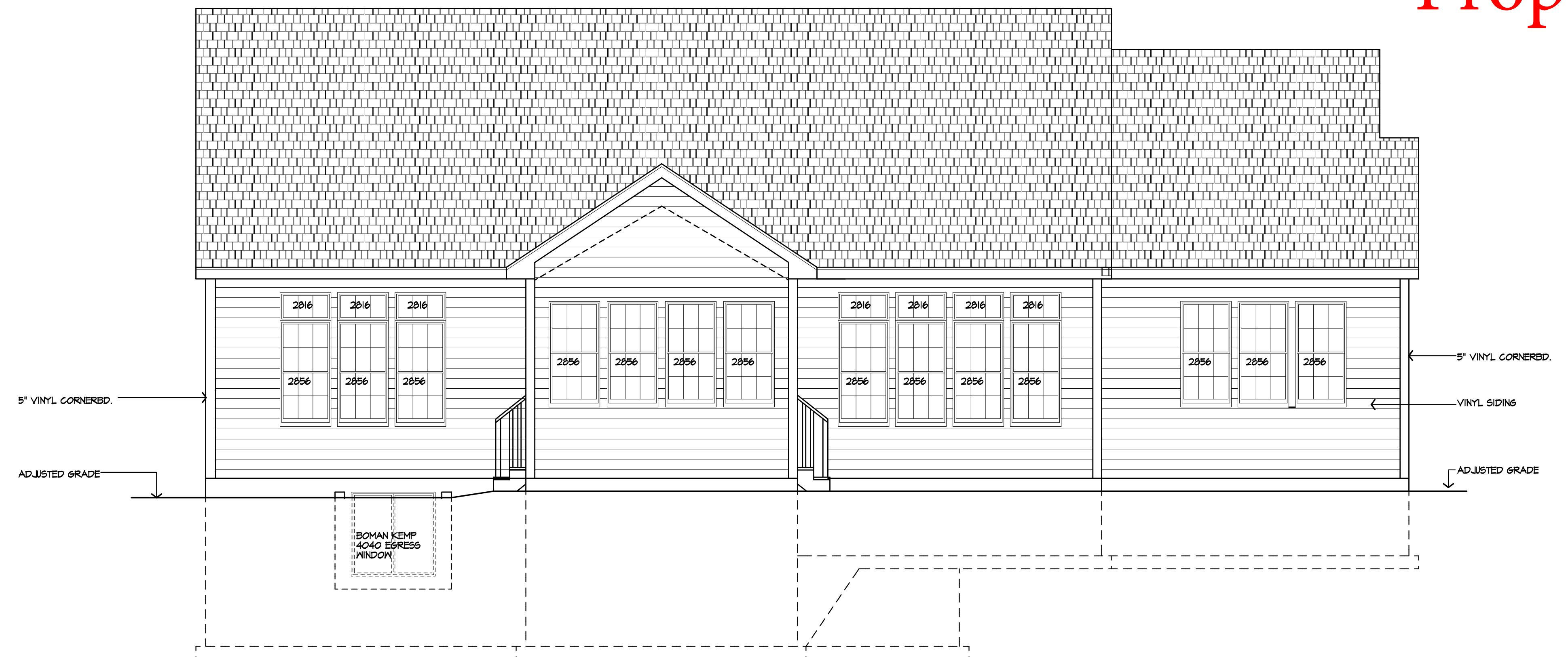
FRONT ELEVATION

AREA: 2622 S.F.



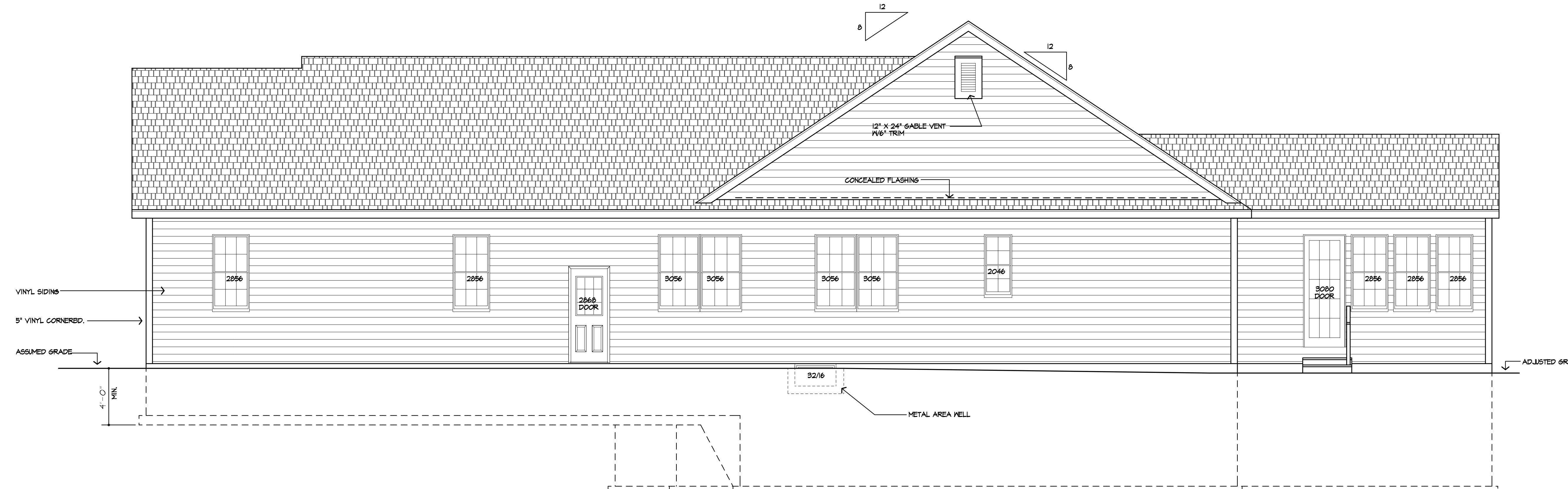
LEFT SIDE ELEVATION

Proposed



| UNLESS OTHERWISE NOTED | |
|------------------------|--|
| ROOFING: | 30 YEAR ROOF SHINGLES |
| ROOF VENTING: | "SHINGLEVENT" RIDGE VENT |
| FASCIAS: | 8" ALUMINUM |
| FRIEZEBOARDS: | 8" VINYL |
| CORNERBOARDS: | 5" VINYL |
| CASINGS: | 6" VINYL |
| SIDING: | HORIZONTAL AS SELECTED |
| OVERHANGS: | 12" |
| RAKE OVERHANGS: | 12" |
| MIN FTG. DEPTH: | 4'-0" |
| CLG HT: | 1ST FLOOR: 9'-1 1/8" |
| WINDOW UNIT HT: | 1ST FLOOR: 8'-0" |
| WINDOW MFR: | ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R308.4) |

| EXTERIOR COLOR SCHEDULE | |
|-------------------------|--|
| ROOFING | ELK "WEATHERWOOD" |
| SIDING | VYTEC EMINENCE COLOR: TBD |
| SHINGLES | 'CEDAR IMPRESSIONS' PERFECTION SHINGLES, COLOR: TBD |
| TRIM | WHITE |
| SHUTTERS | AS SELECTED |
| BRICK | CHEROKEE SANFORD BRICK #111 SILAS LUCAS, OR STONE (SEE BELOW) |
| STONE | CULTURED STONE ASPEN PRERESSED FIELDSTONE CSV-2040 |
| FRONT DOOR | HERMA-TRU FIBERGLASS + S.L. |
| HARDWARE | SCHLAGE # PLYMOUTH HANDSET |



RIGHT SIDE ELEVATION

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT, TO MAKE ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THE SIGNATURE OF THE LICENSEE AND THE DESCRIPTIVE DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE U.S. PATENT AND TRADEMARK ACT OF 1990, DECEMBER 1990 AND KNOWN AS "ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990". THE DRAWINGS ARE THE PROPERTY BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF CONSTRUCTION ELEMENTS OR FEATURES.

UNAUTHORIZED USE OF THESE DRAWINGS, OR WORKS REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSION OF OWNERSHIP OF THE DRAWINGS BEING SEIZED AND FORGOTTEN BY THE STATE OF NEW YORK.

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.
NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN CONSENT OF THE OWNER OF

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2003
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

REVISED 7/31/24 PJM/MA
RE-REVISED 10/26/24
10/26/2023
10/24/2023 - REV. PLOT PLAN
04/21/2023



PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
REAR / RIGHT SIDE ELEVATIONS

DRAWN: CHECKED:
MGM PJM

DATE: SEPTEMBER 2023

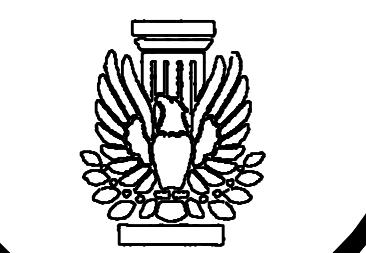
SCALE: 1/4"=1'-0"

JOB NO.: 23M4345

SHEET:

3

OF 9 SHEETS



Approved

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLICENSED OR OTHERWISE, TO PRACTICE ARCHITECTURE OR ENGINEERING OR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX IT OR HER SEAL AND SIGN IT, AND TO STATE BY WHOM IT WAS MADE, BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" PURSUANT TO 17 U.S.C. © 1990, AS AMENDED. THE DRAWINGS ARE OWNED AS AN ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN IS PROHIBITED IN THAT NO PART OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2003

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

04/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM/JIM LEBEAU

DRAWING:
REAR / RIGHT SIDE ELEVATIONS

DRAWN: **CHECKED:**
MGM PJM

DATE: SEPTEMBER 2023

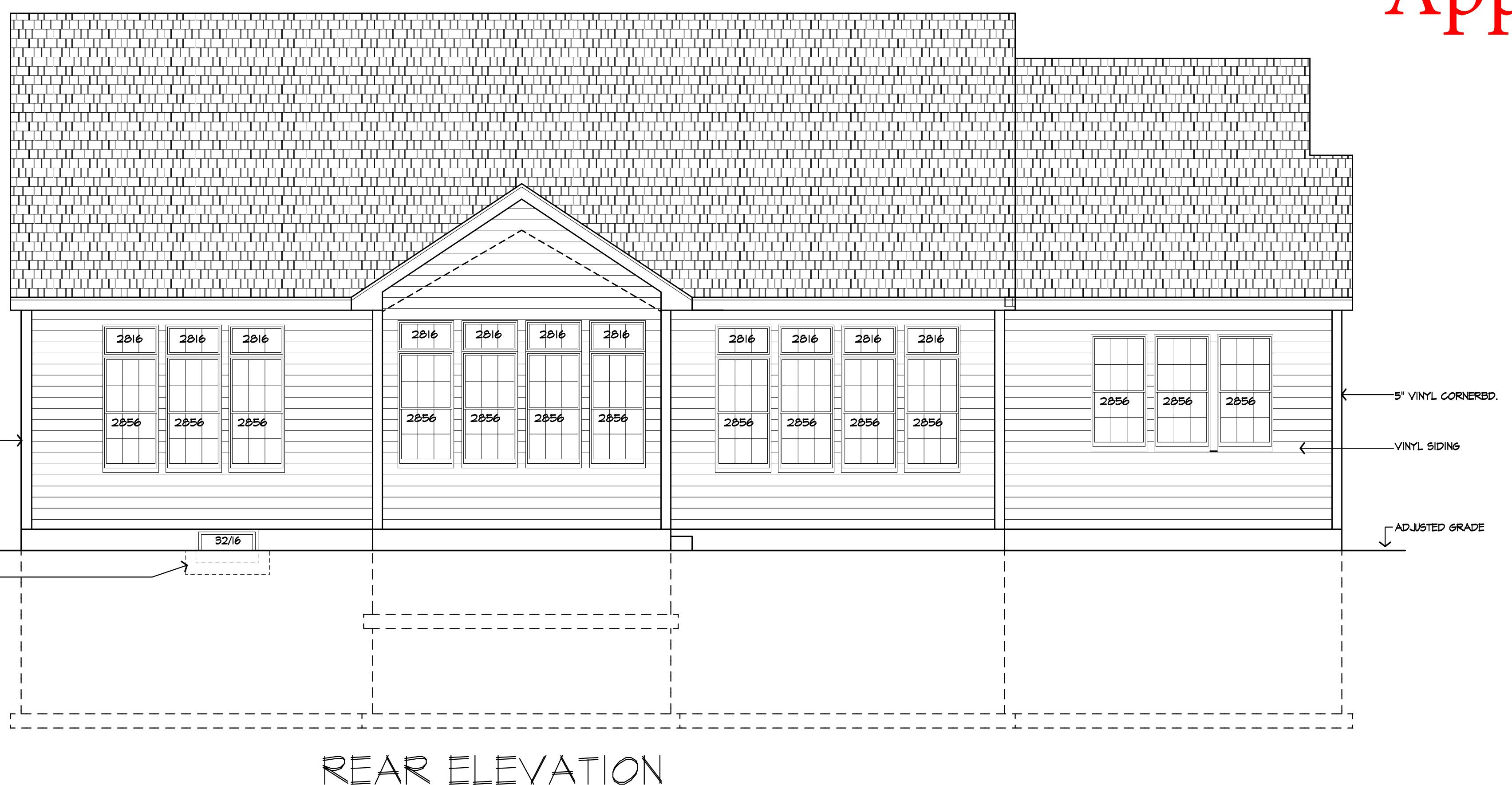
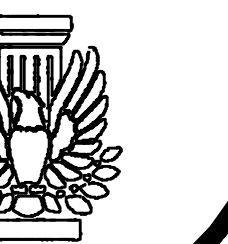
SCALE: 1/4"=1'-0"

JOB NO.: 29M4945

SHEET:

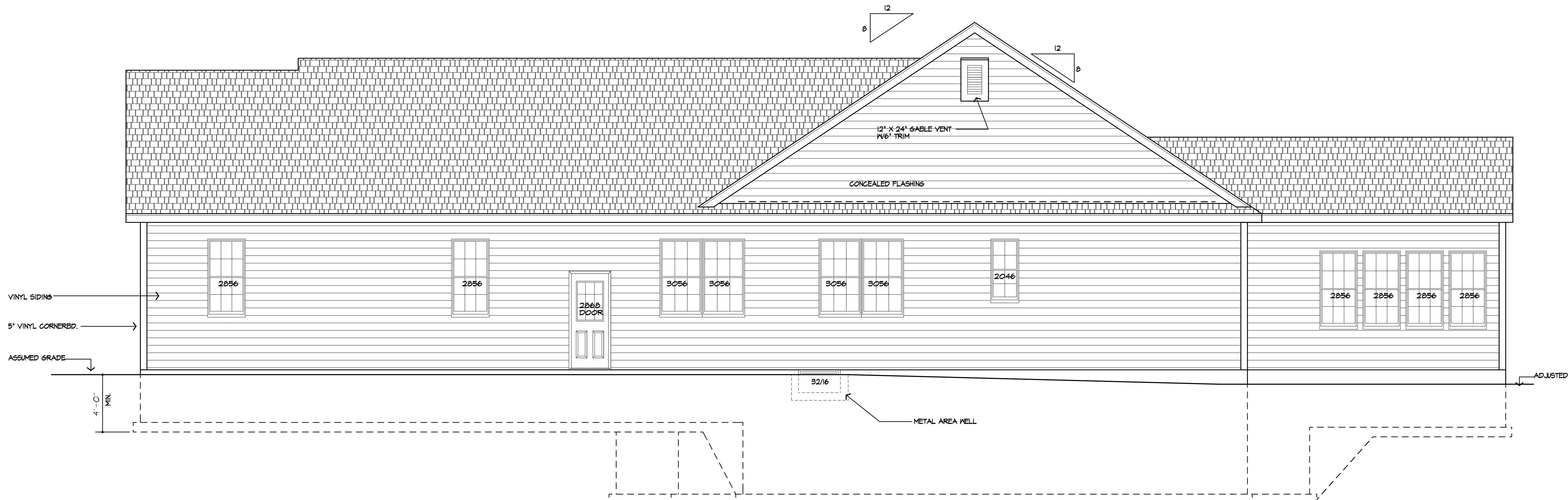
3

OF 9 SHEETS



| UNLESS OTHERWISE NOTED | |
|------------------------|--|
| ROOFING: | 30 YEAR ROOF SHINGLES |
| ROOF VENTING: | "SHINGLEVENT" RIDGE VENT |
| FASCIAS: | 8" ALUMINUM |
| FRIEZEBOARDS: | 8" VINYL |
| CORNERBOARDS: | 5" VINYL |
| CASINGS: | 6" VINYL |
| SIDING: | HORIZONTAL AS SELECTED |
| OVERHANGS: | 12" |
| RAKE OVERHANGS: | 12" |
| MIN FTG. DEPTH: | 4'-0" |
| CLG HT: | |
| 1ST FLOOR: | 9'-1 1/8" |
| WINDOW UNIT HT: | |
| 1ST FLOOR: | 8'-0" |
| WINDOW MFR: | ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R308.4) |

| EXTERIOR COLOR SCHEDULE | |
|-------------------------|--|
| ROOFING | ELK "NEATHERWOOD" |
| SIDING | VYTEC EMINENCE COLOR: TBD |
| SHINGLES | "CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD |
| TRIM | WHITE |
| SHUTTERS | AS SELECTED |
| BRICK | CHEROKEE SANFORD BRICK #111 SILAS LUCAS, OR STONE (SEE BELOW) |
| STONE | CULTURED STONE ASPEN PRERESSED FIELDSTONE CSV-2040 |
| FRONT DOOR | THERMA-TRU FIBERGLASS + S.L. |
| HARDWARE | SCHLAGE # FLYMOUTH HANDSET |



RIGHT SIDE ELEVATION

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLICENSED OR OTHERWISE, TO MAKE ANY CHANGES OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX OR HER SEAL AND INDICATE THE CHANGES MADE BY HIM OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL DRAWING" PURSUANT TO 17 U.S.C. § 102. THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED, PROTECTS THE DRAWINGS AS "WORKS MADE FOR HIRE" AS DEFINED IN THE ACT. THE DRAWINGS ARE PROTECTED BY THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN IS PROHIBITED IN THE FORM OF REPRODUCTION OR BUILDING THEREON, SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.

COPYRIGHT 2003
PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.

04/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
BASEMENT / FOUNDATION PLAN

DRAWN: CHECKED:
MGM PJM

DATE: SEPTEMBER 2023

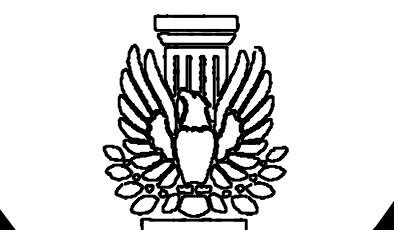
SCALE: 1/4"=1'-0"

JOB NO.: 23M4345

SHEET: 4 OF 9 SHEETS

4

9



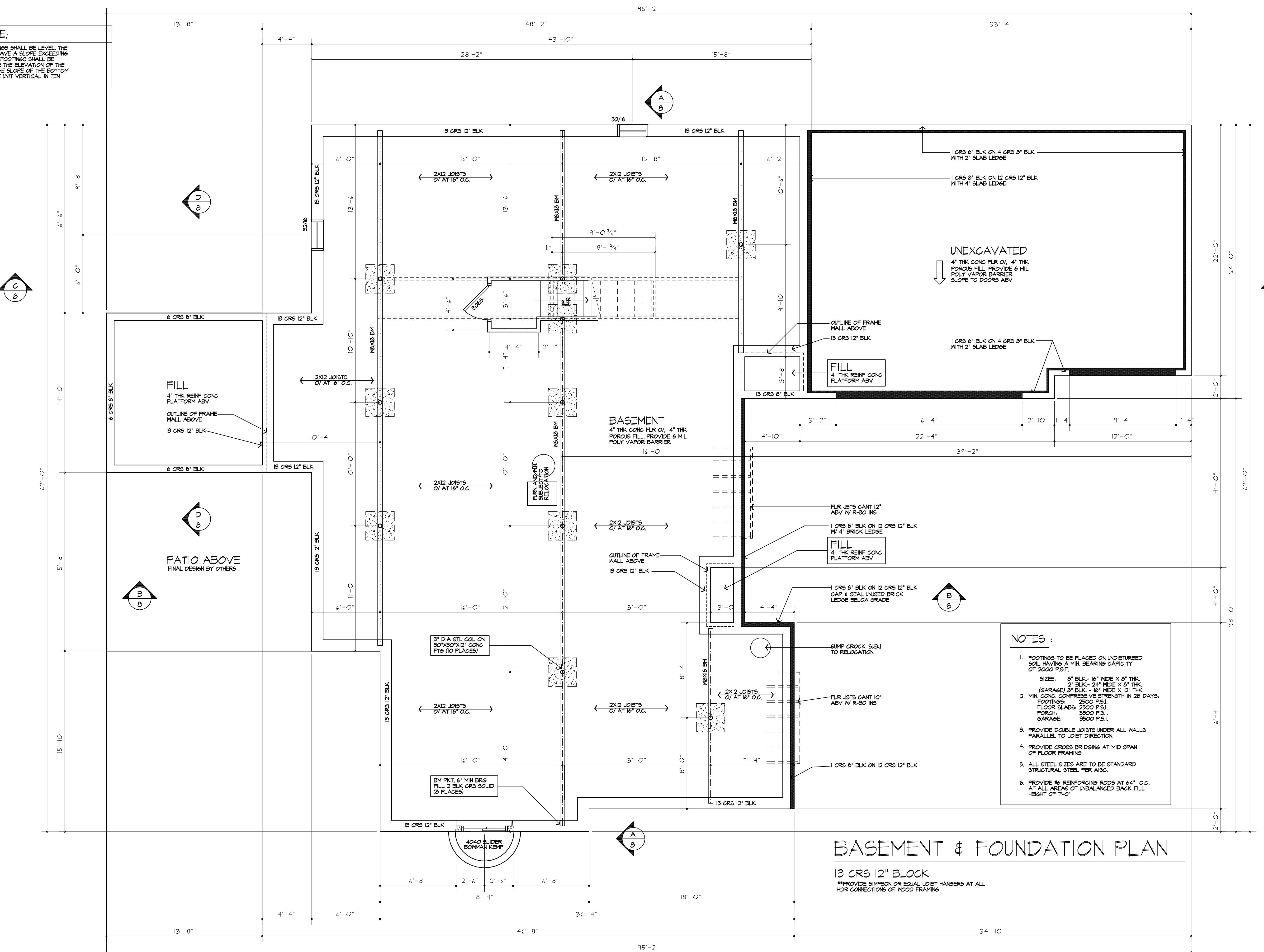
BASEMENT & FOUNDATION PLAN

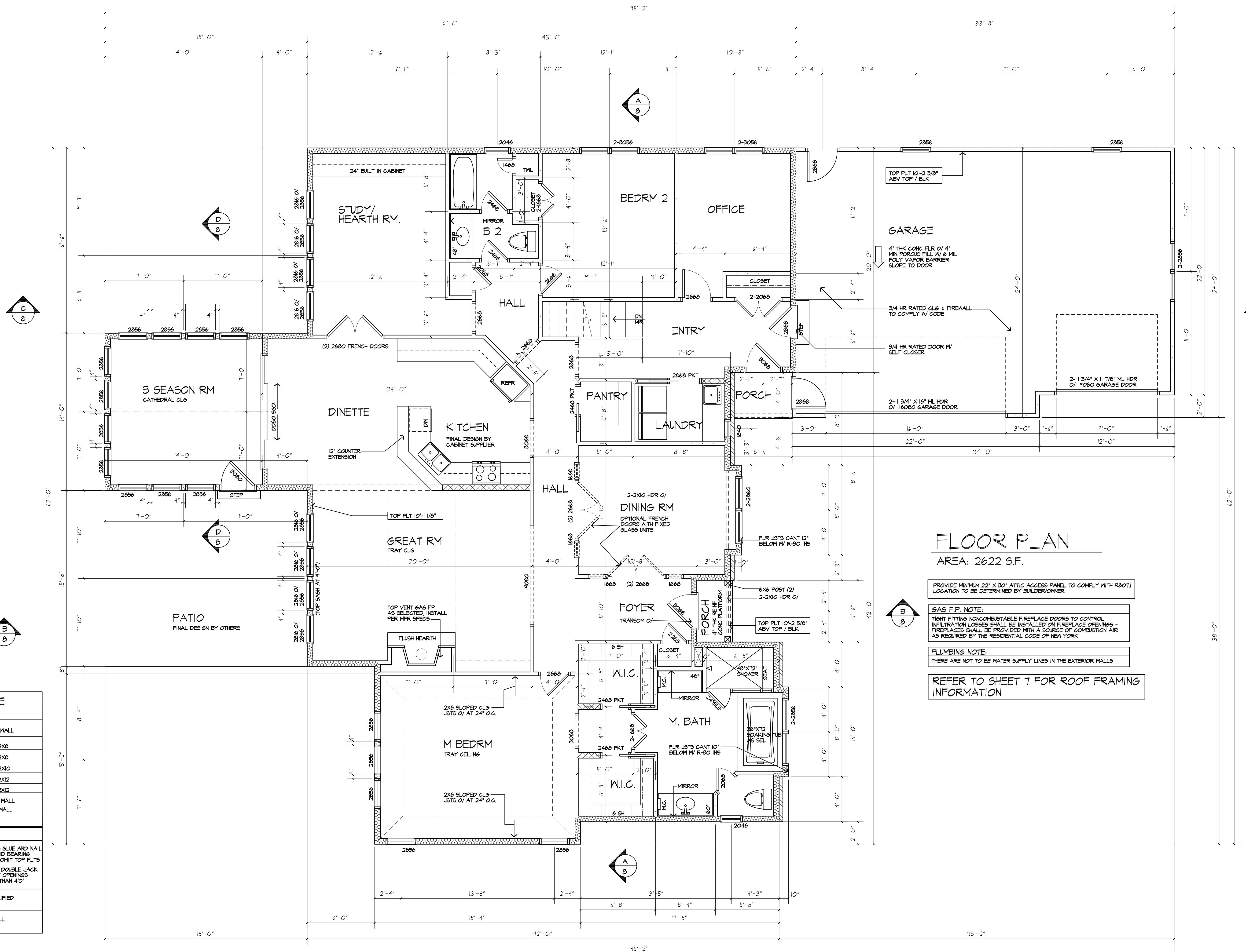
18 CRS 12" BLOCK

**PROVIDE SIMPSON OR EQUAL JOIST HANGERS AT ALL HDR CONNECTIONS OF WOOD FRAMING

STEPPED FOOTING NOTE:

R402.15 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED AS NECESSARY TO ACHIEVE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)





121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLICENSED OR OTHERWISE, TO MAKE ANY CHANGES OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

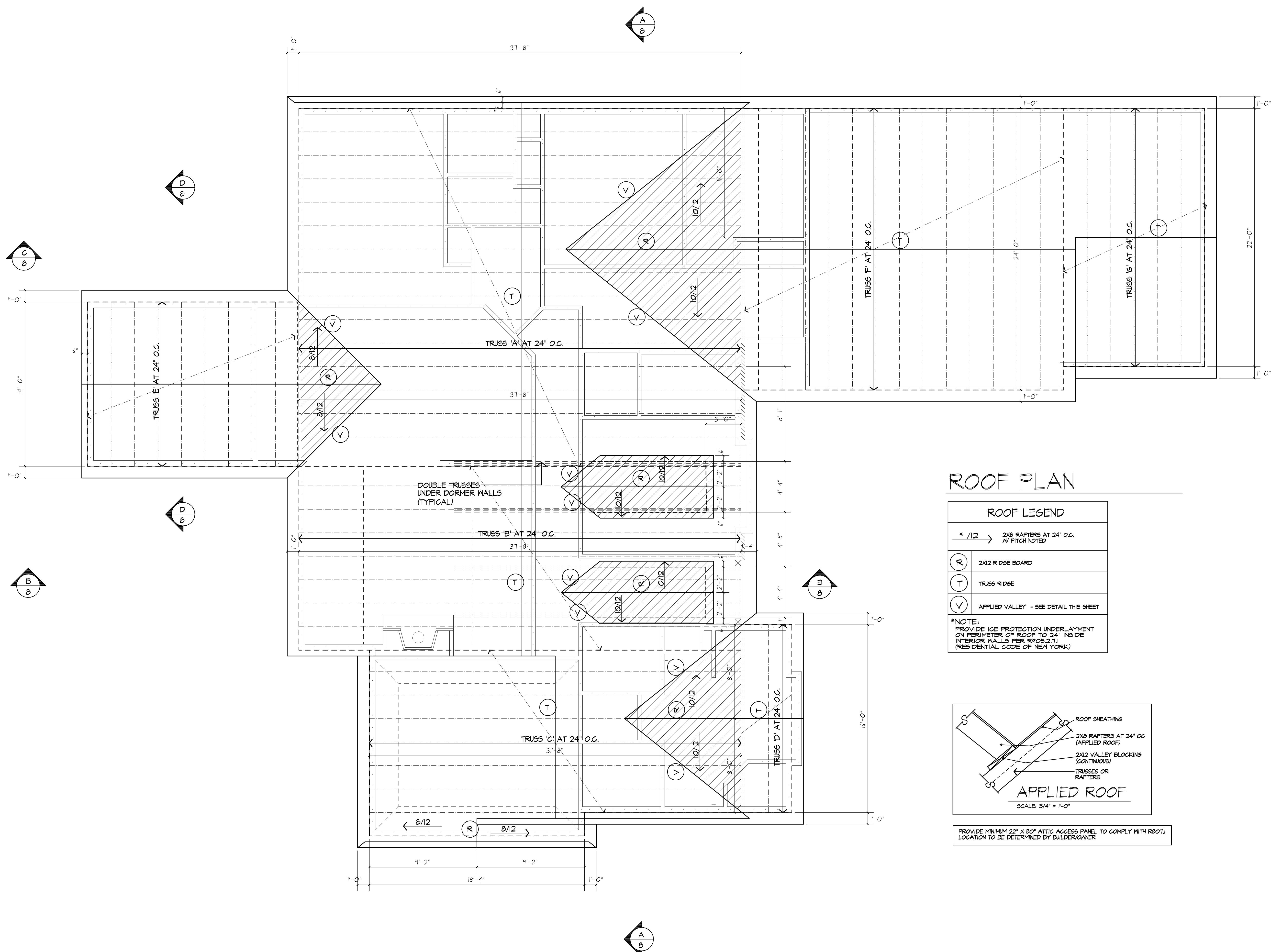
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX IT OR HER SEAL AND TO INDICATE THE CHANGES BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" PURSUANT TO 17 U.S.C. § 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED. THE DRAWINGS ARE ALSO KNOWN AS "ARCHITECTURAL WORKS" PURSUANT TO THE COPYRIGHT ACT OF 1990. THE PROTECTION INCLUDES BOTH THE LAW OF THE WORKS AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN IS PROHIBITED IN THAT NO PART OF THE CONSTRUCTION OR BUILDING BEING DESIGNED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.

COPYRIGHT 2003
PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.

04/21/2023



PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
ROOF PLAN

DRAWN: **CHECKED:**
MGM PJM

DATE: SEPTEMBER 2023

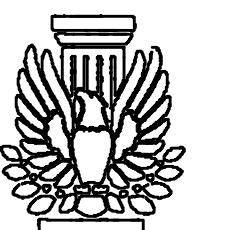
SCALE: 1/4" = 1'-0"

JOB NO.: 29M495

SHEET:

6

OF 9 SHEETS



NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLICENSED OR OTHERWISE, TO MAKE ANY DRAWING OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND TO SIGN THE DOCUMENT BY HIS OR HER NAME AND BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" PURSUANT TO 17 U.S.C. AS AMENDED. THE DRAWINGS ARE KNOWN AS AN "ARCHITECTURAL WORKS" COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN IS PROHIBITED IN THE FORM OF CONSTRUCTION OR BUILDING, REPRODUCED, AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.

COPYRIGHT 2003
PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.

04/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
TRUSS DIAGRAMS

DRAWN: **CHECKED:**
MGM PJM

DATE: SEPTEMBER 2023

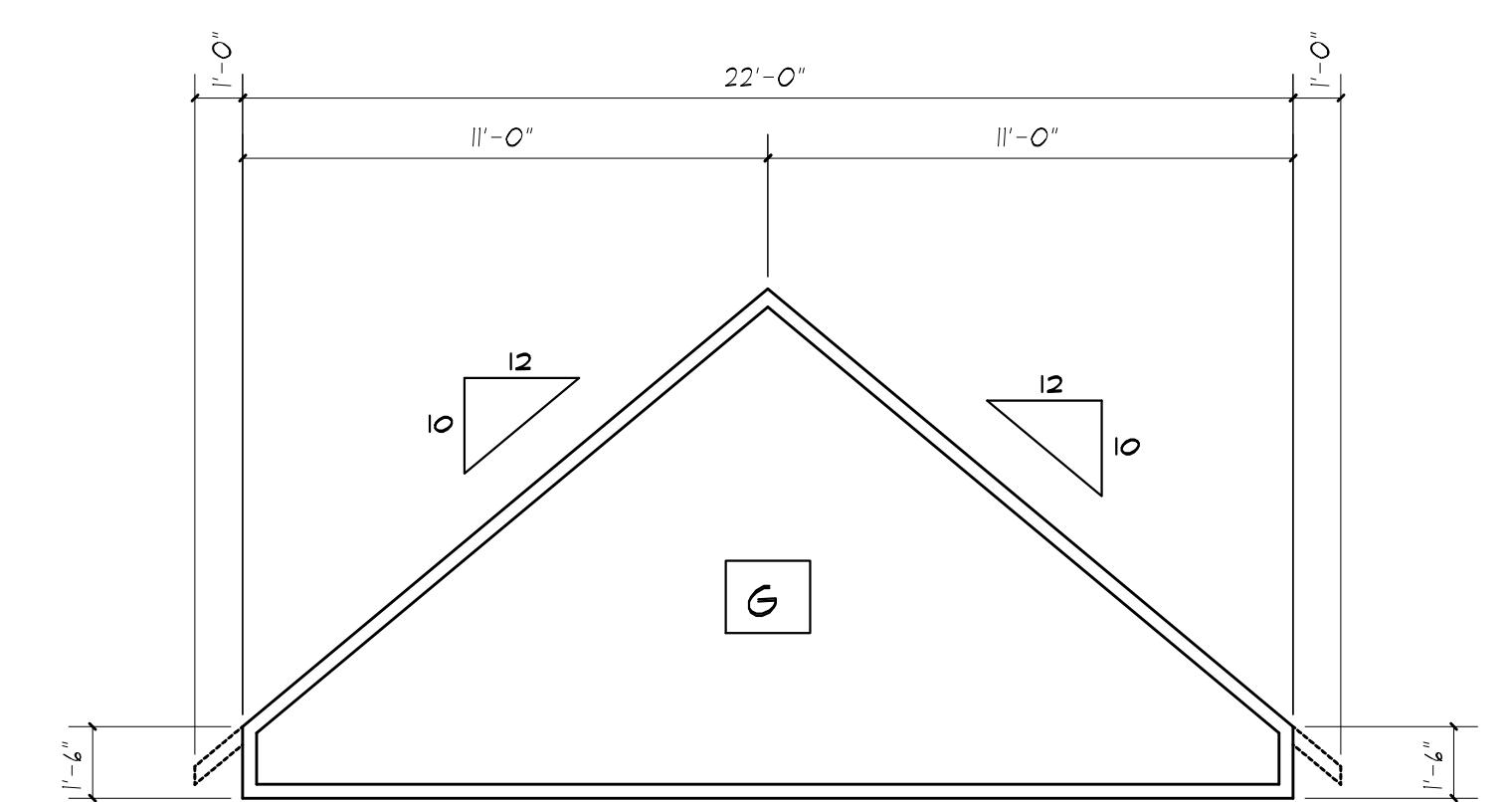
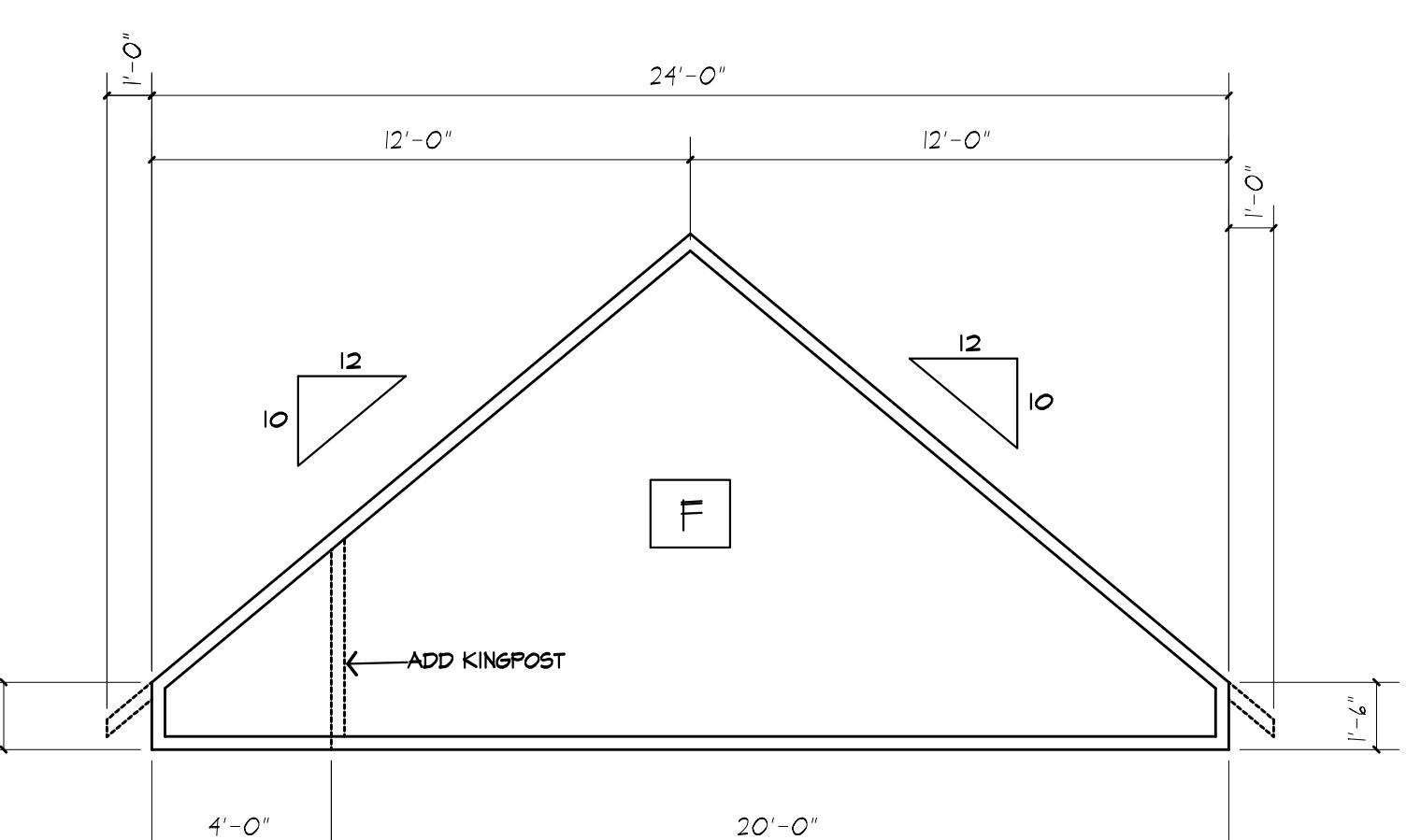
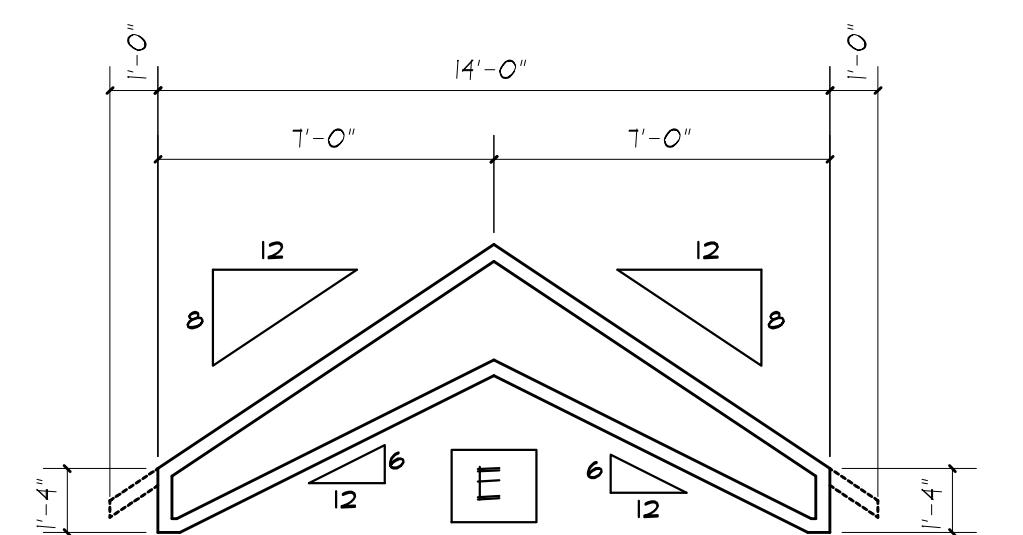
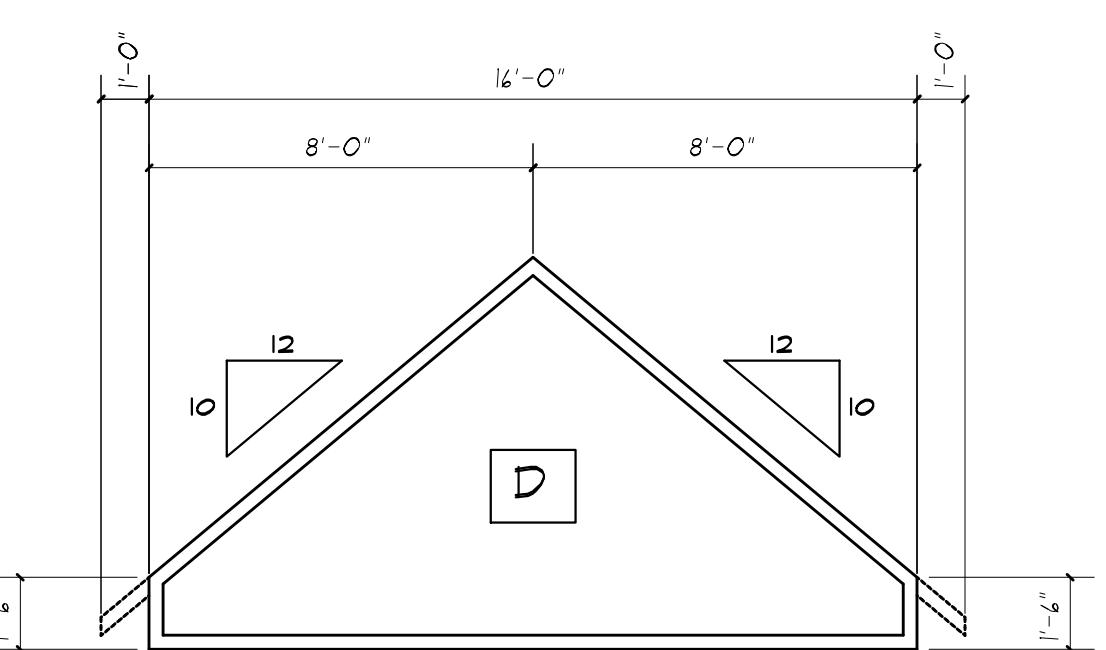
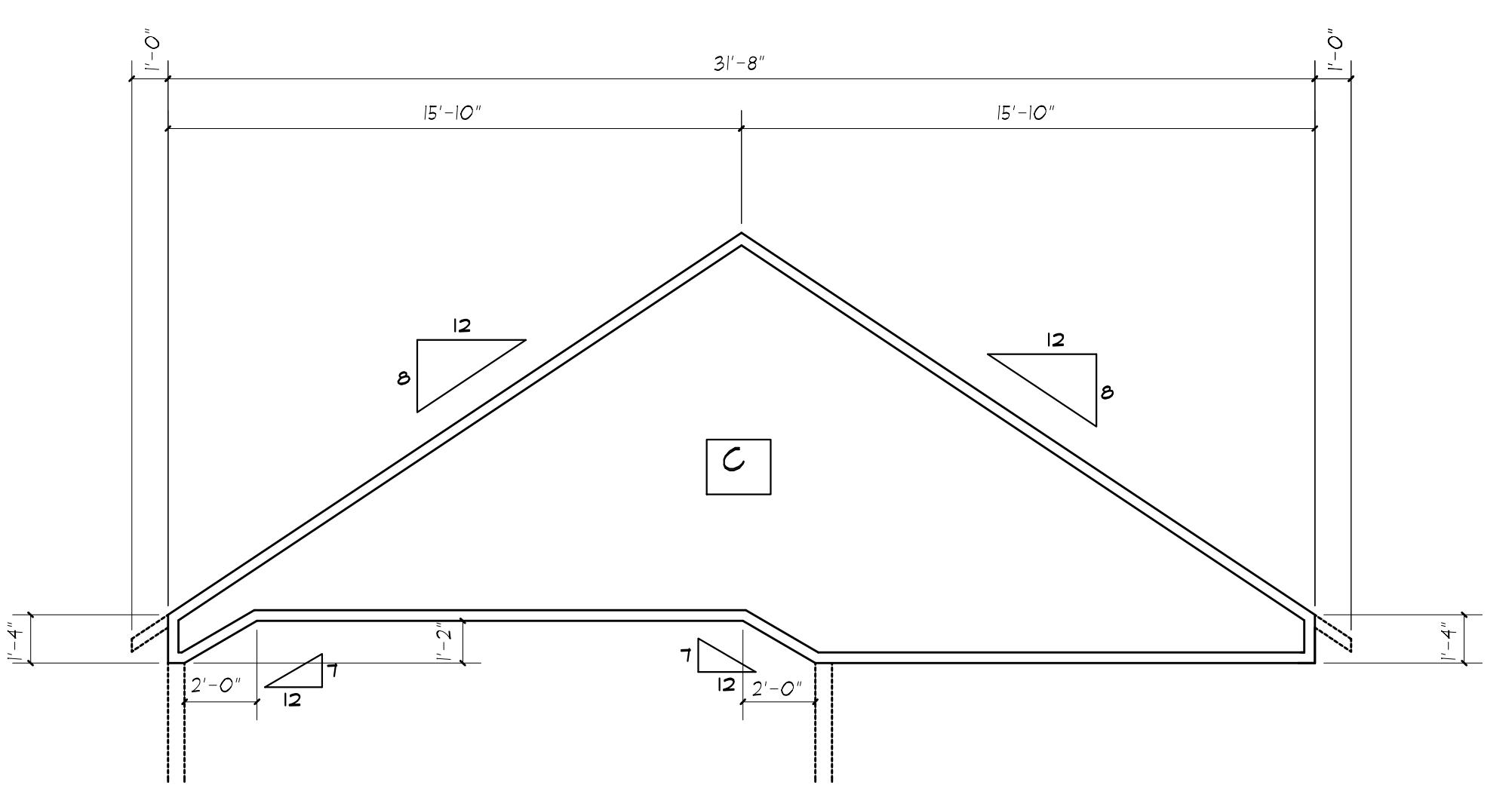
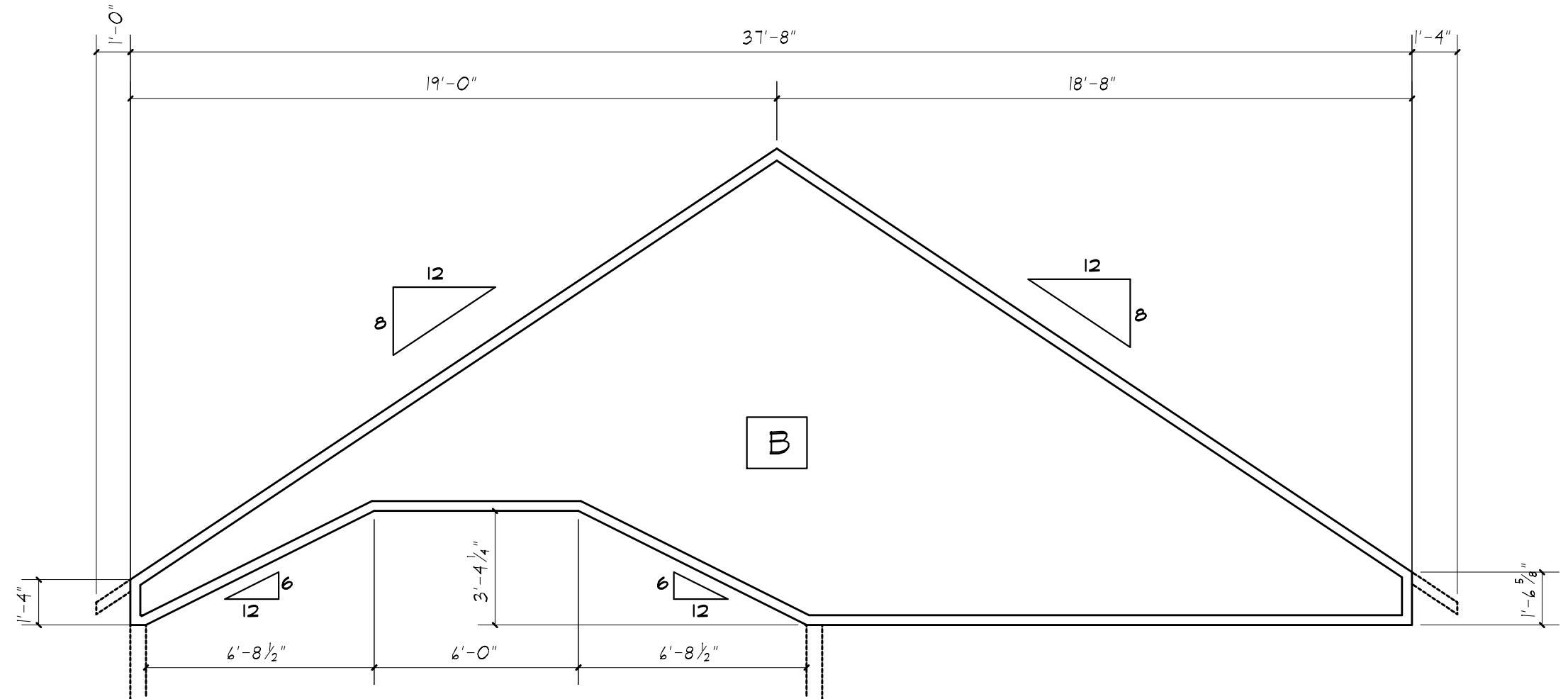
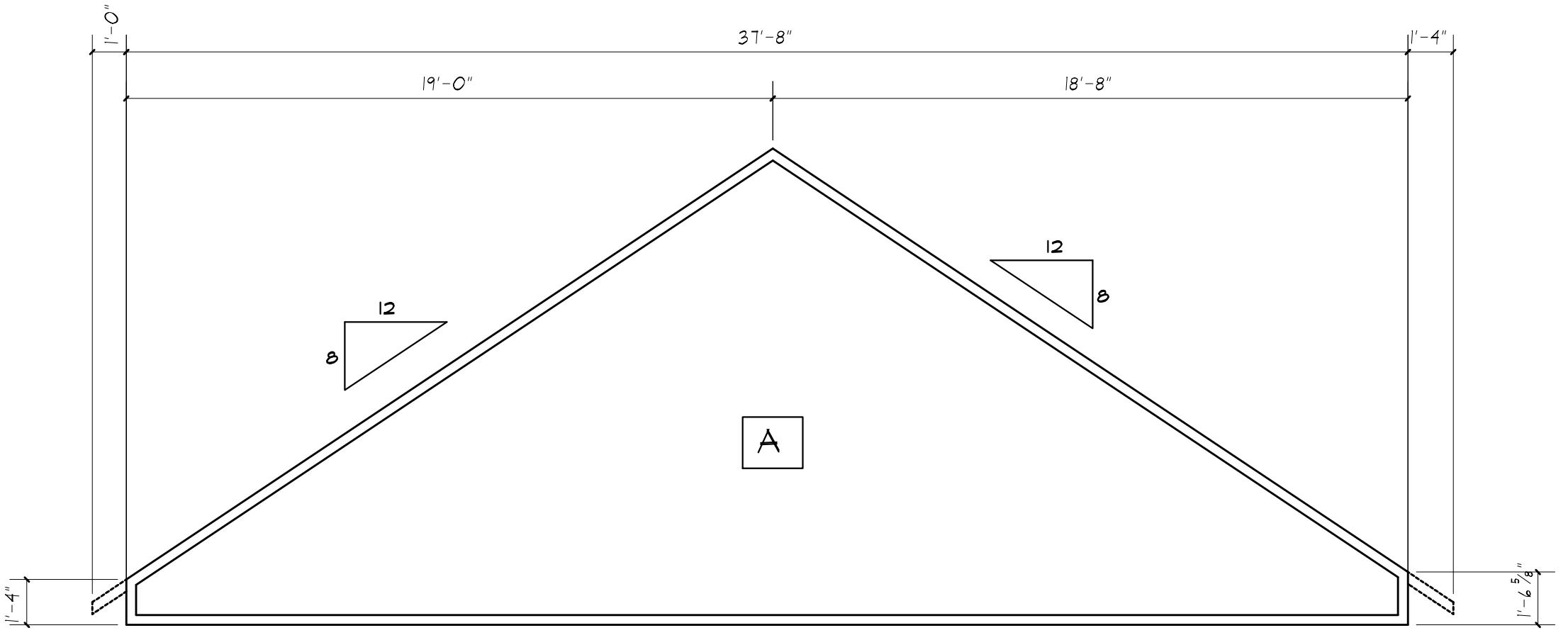
SCALE: 1/4"=1'-0"

JOB NO.: 29M4945

SHEET:

7

OF 9 SHEETS



TRUSS DIAGRAMS

FINAL DESIGN BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO START OF CONSTRUCTION

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLICENSED OR OTHERWISE, TO COPY OR ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND SIGNATION THEREON BY A CERTIFIED COPY OF HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" PURSUANT TO 17 U.S.C. § 102 F. THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED, WHICH IS OWNED BY THE ARCHITECT AS THE AUTHOR OF THE WORK. THE PROTECTION INCLUDES BOTH THE DRAWING AND THE DESIGN AS WELL AS THE ARRANGEMENT OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN IS PROHIBITED IN THAT NO PART OF THE CONSTRUCTION OR BUILDING BEING DESIGNED AND/OR MONETARY COMPENSATION TO THE ARCHITECT IS TO BE AWARDED.

NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2003

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

09/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
BUILDING SECTIONS

DRAWN:
MGM

CHECKED:
PJM

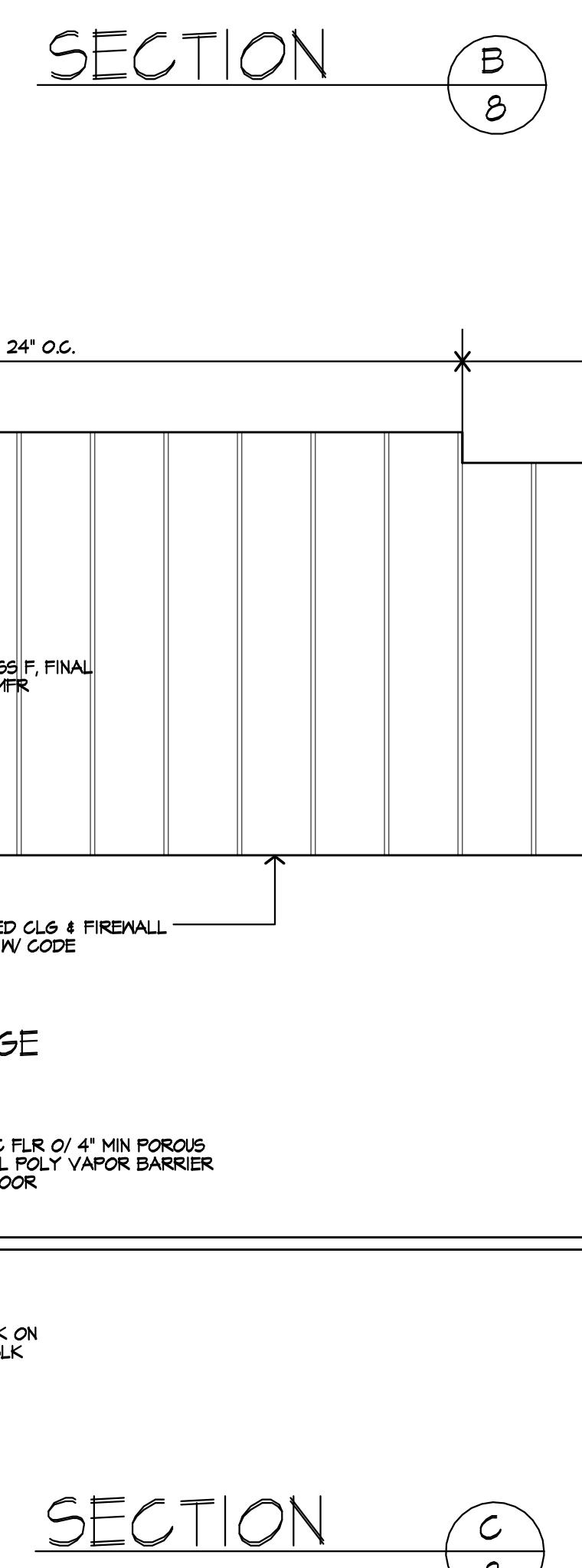
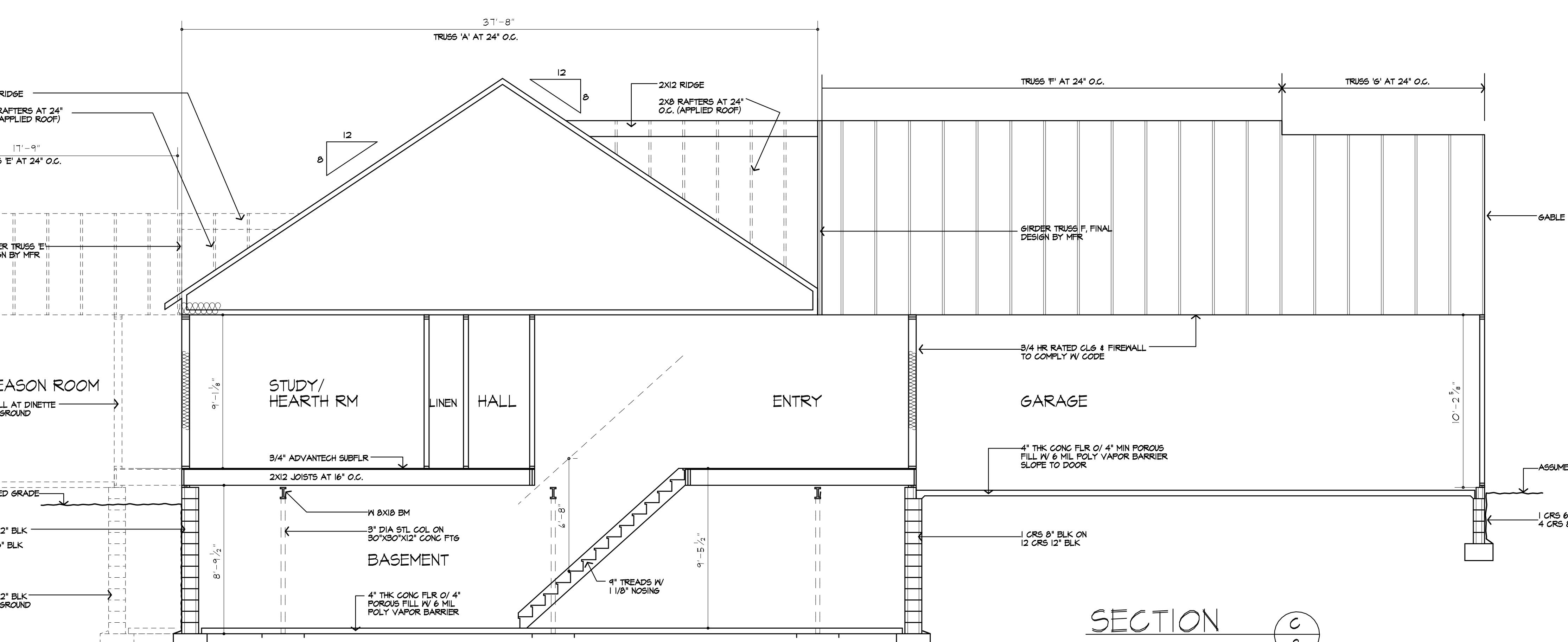
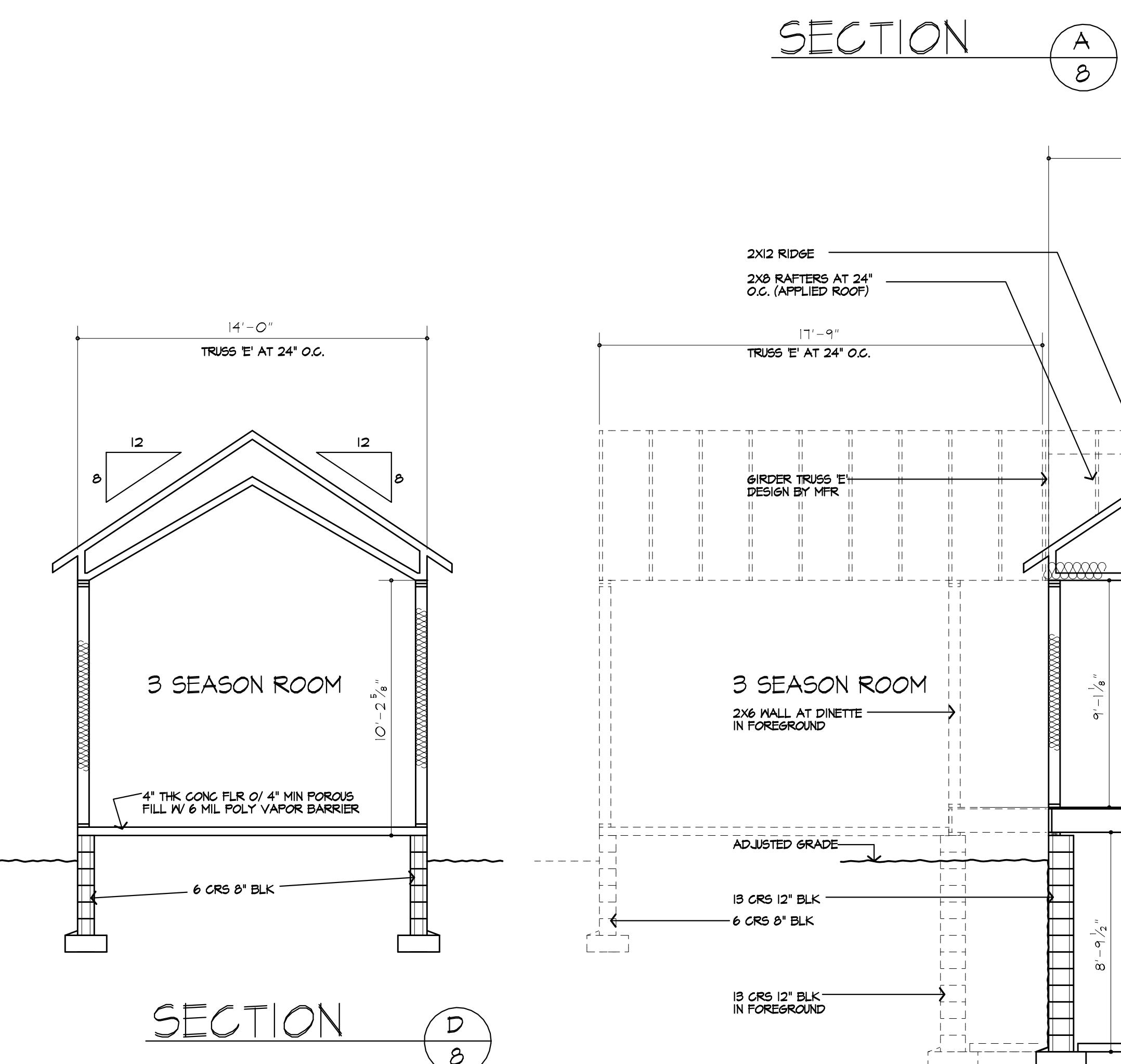
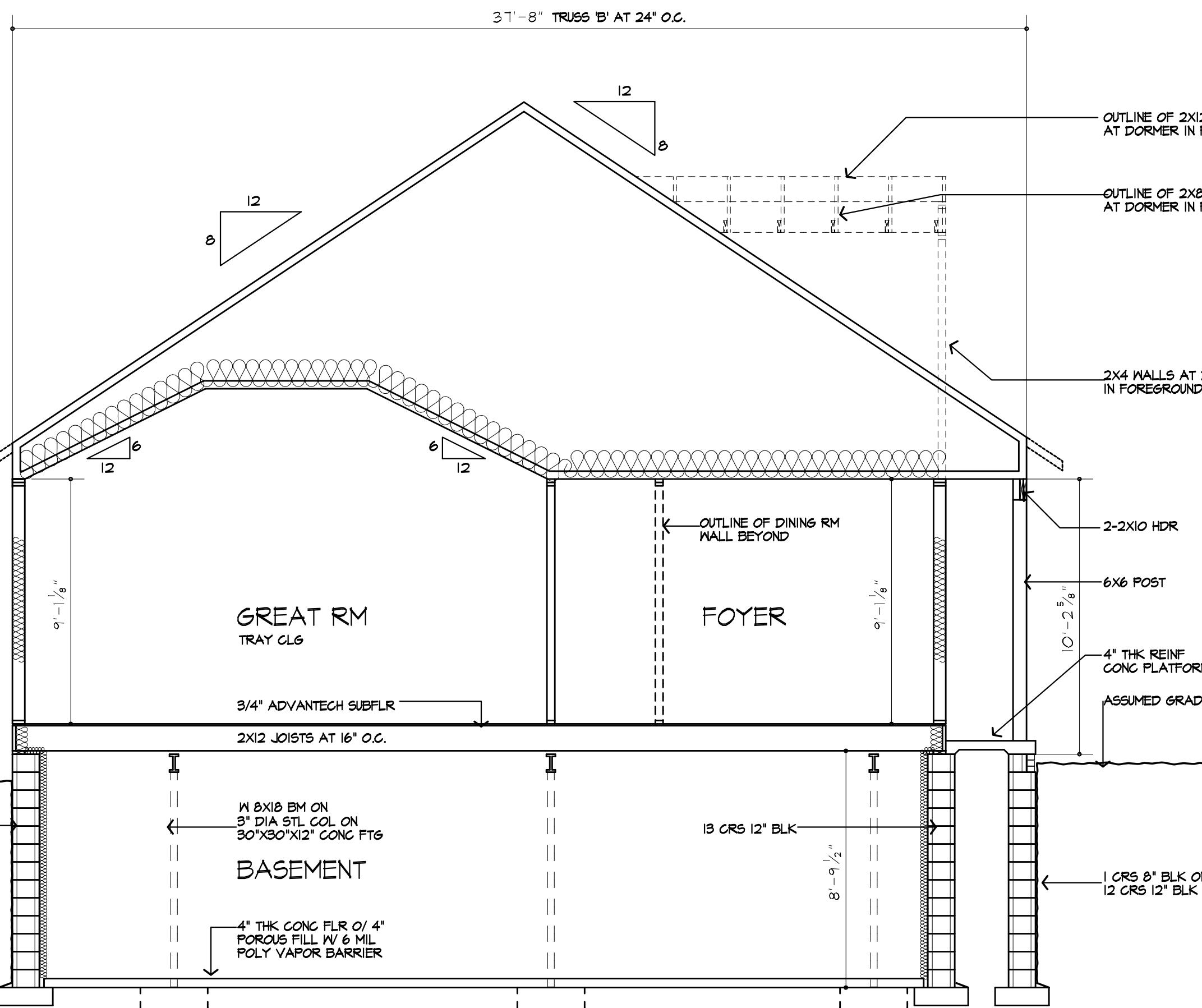
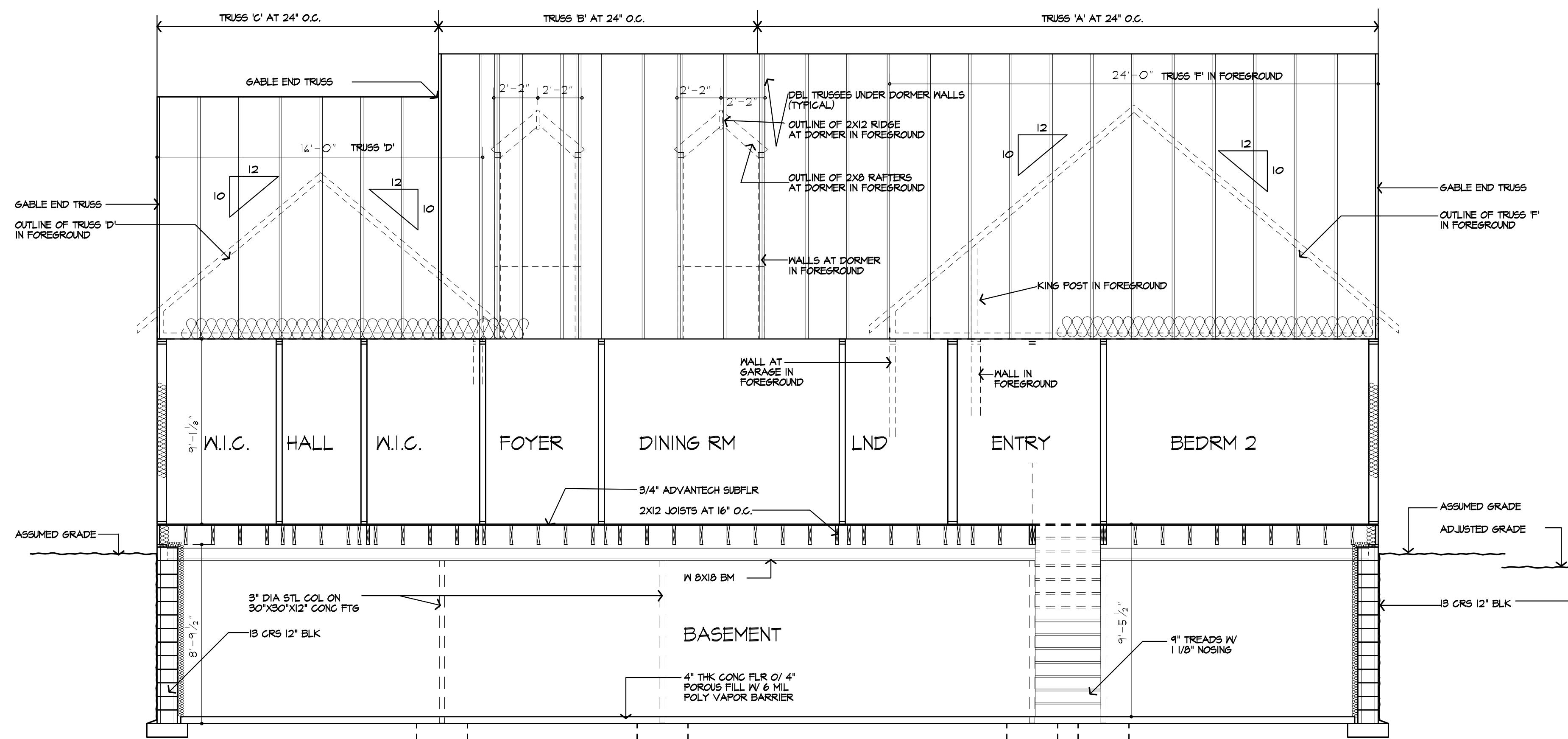
DATE: SEPTEMBER 2023

SCALE: 1/4"=1'-0"

JOB NO.: 29M4945

SHEET:

8
OF 9 SHEETS



121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLICENSED OR OTHERWISE, TO PRACTICE AS A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX IT OR HER SEAL AND SIGNATION THEREON BY HERSELF OR BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

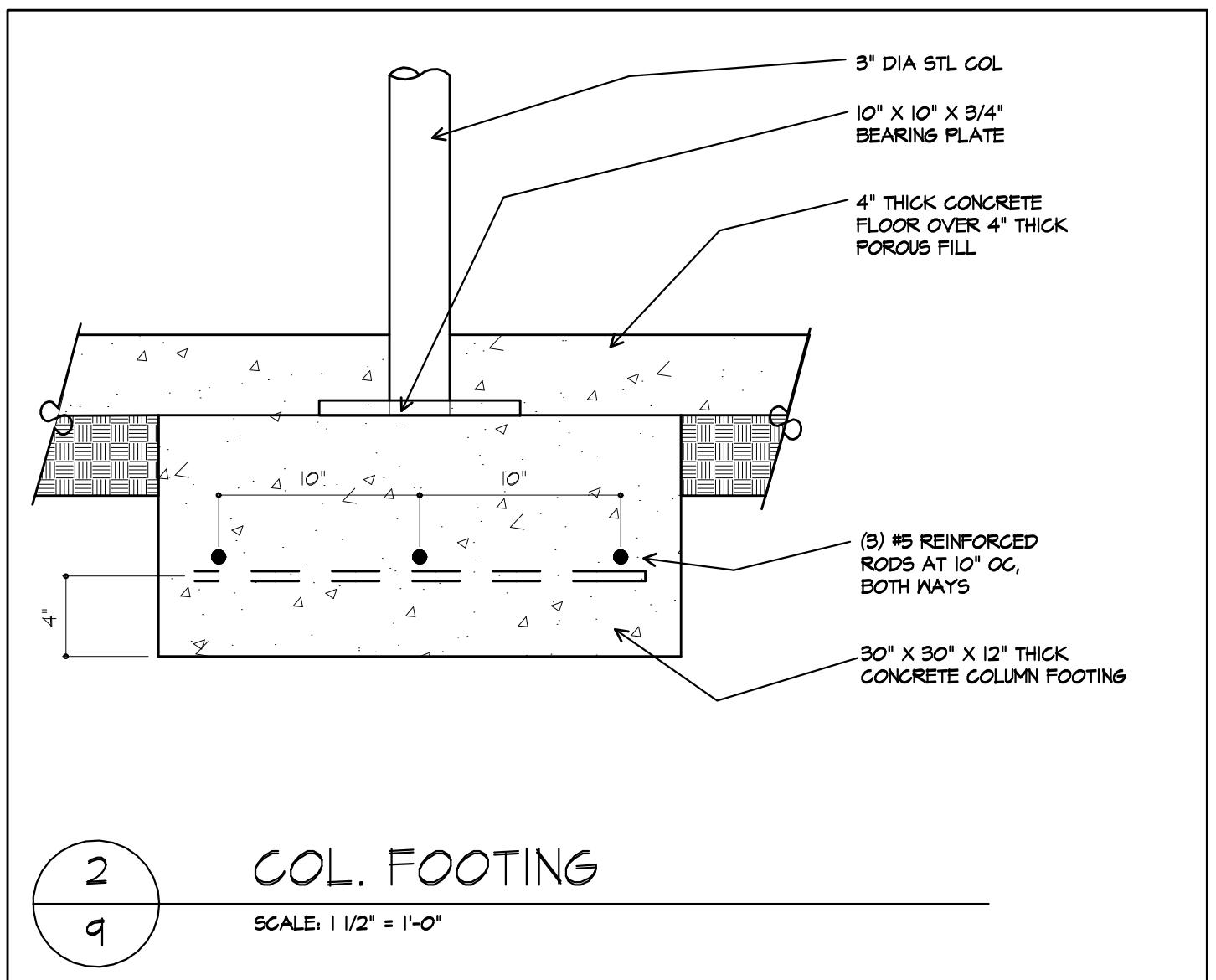
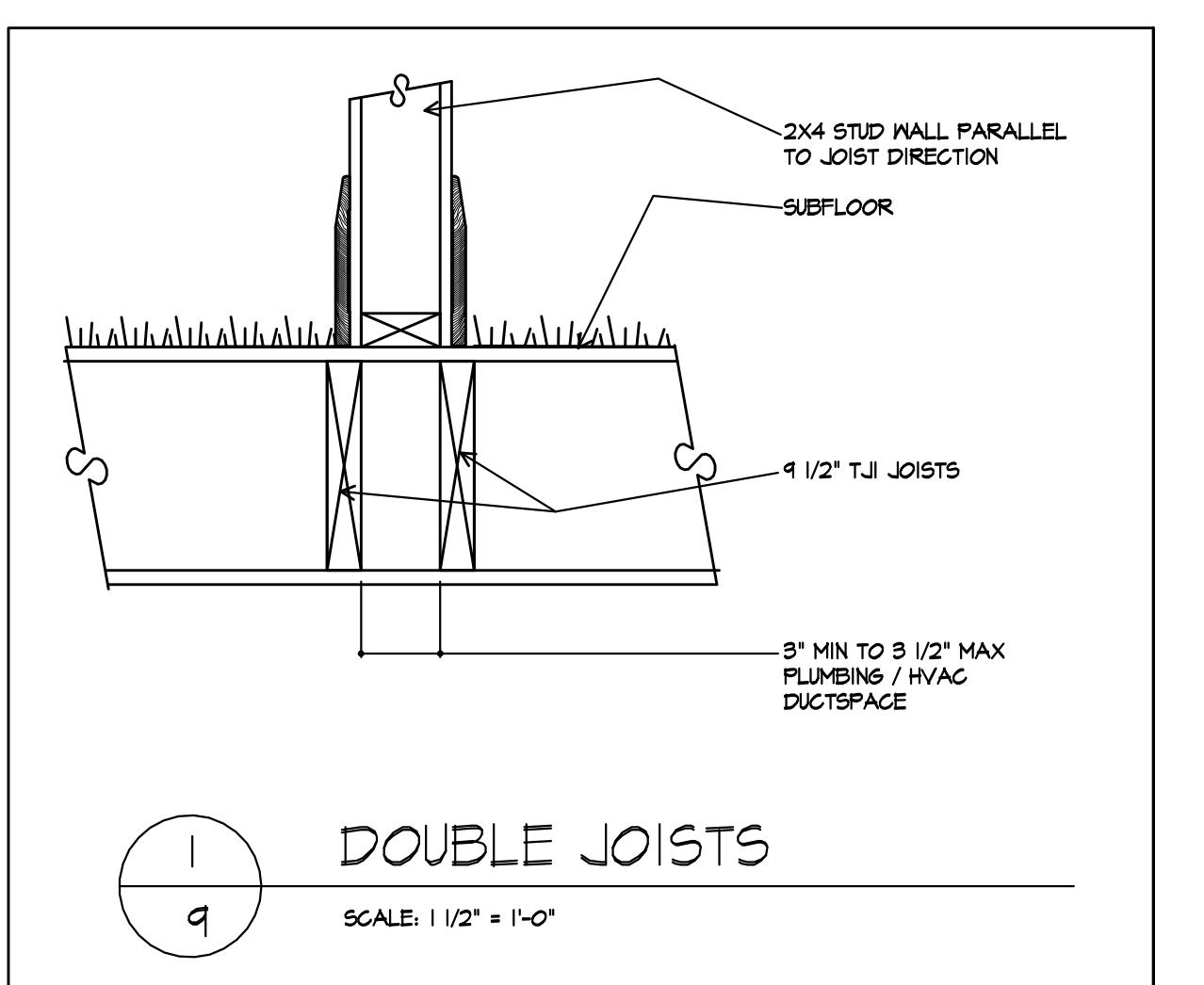
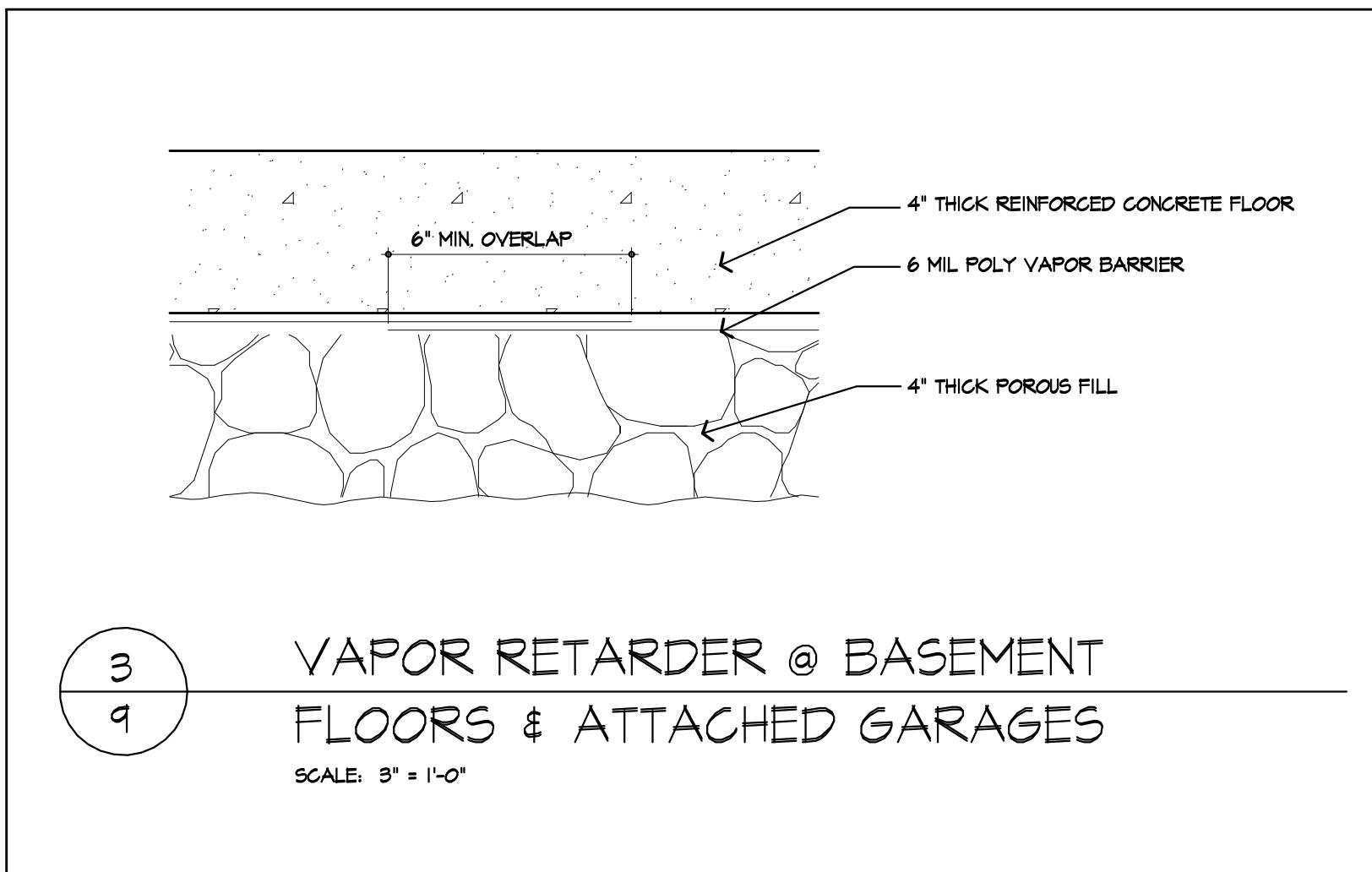
THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER AN ACT OF THE UNITED STATES AND THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED. NO PART OF THESE DRAWINGS MAY BE COPIED, REPRODUCED, OR USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERLAY FORM AS WELL AS THE ARCHITECTURAL DRAWING AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED THEREIN IS PROHIBITED. THE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT FOR RESALE OR CONSTRUCTION OR BUILDING REINS-SIZED AND/OR MONETARY COMPENSATION TO ANYONE OTHER THAN THE ARCHITECT, A.I.A. P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2003

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

04/21/2023



| TYPICAL NOTES | |
|---|--|
| 1) DOOR MANUFACTURER: PELLA ENCOMPASS SLIDING 0.10 CFM IN-SWING HINGED 0.15 CFM PELLA ENTRY DOORS: 0.30 CFM OR LESS | |
| 2) WINDOW AIR INfiltration PELLA 250 SERIES/PELLA ENCOMPASS DOUBLE HUNG: 0.30 CFM CASEMENT: 0.10 CFM | |
| 3) GAS FIREPLACE(S), HEAT-N-GLO SLIMLINE TSG NG (SL-TSGTR) | |
| • TIGHT FITTING NON COMBUSTIBLE FIREPLACE DOORS TO CONTROL INfiltrATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE | |
| 4) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING. | |
| 5) CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS: RIGID POLYISOCYANURATE FOAM-FOIL BOARD CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS: KRAFT BATT | |
| 6) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 10SF OR BELOW 5SF SHALL BE INSULATED TO A MINIMUM OF R-3. | |
| 7) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS. | |
| 8) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS. | |
| 9) THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2018 ENERGY CONSERVATION CODE. | |
| 10) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6. | |
| 11) THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS | |

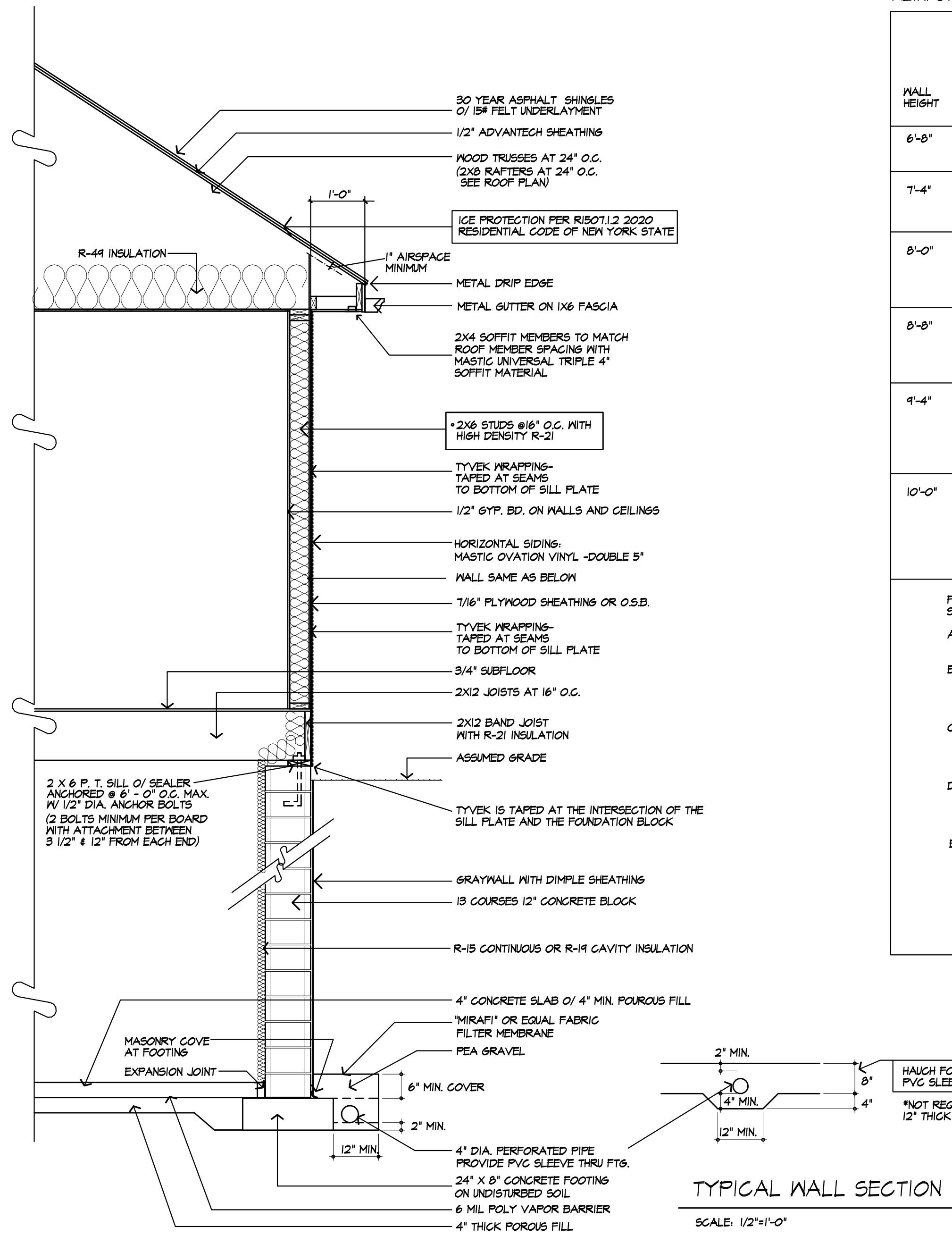


TABLE R404.1.(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D > 7.5 INCHES (A)

| WALL HEIGHT | MINIMUM VERTICAL REINFORCEMENT (B, C) | | | |
|-------------|---|----------------------------|--------------------------------|--------------------------------------|
| | SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF FOOT BELOW GRADE) | GM, GP, SM AND SP SOILS 30 | GM, GC, SM, SC AND ML SOILS 45 | GC, ML, GL AND INORGANIC CL SOILS 60 |
| 6'-0" | 4'-0" OR LESS | #4 AT 72" O.C. | #4 AT 72" O.C. | #4 AT 72" O.C. |
| | 5'-0" | #4 AT 72" O.C. | #4 AT 72" O.C. | #4 AT 72" O.C. |
| | 6'-0" | #4 AT 72" O.C. | #4 AT 72" O.C. | #5 AT 72" O.C. |
| | 7'-4" | #4 AT 72" O.C. | #4 AT 72" O.C. | #4 AT 72" O.C. |
| | 8'-0" | #4 AT 72" O.C. | #4 AT 72" O.C. | #4 AT 72" O.C. |
| | 8'-8" | #4 AT 72" O.C. | #4 AT 72" O.C. | #4 AT 72" O.C. |
| | 9'-4" | #4 AT 72" O.C. | #4 AT 72" O.C. | #4 AT 72" O.C. |
| | 10'-0" | #4 AT 72" O.C. | #4 AT 72" O.C. | #4 AT 72" O.C. |

FOR 1": INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.

A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

B. ALTERNATIVE REINFORCING BAR SPANS AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAR FOOT OF WALL SHALL BE PROVIDED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72 INCHES.

C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 0.75 INCHES.

D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.

E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE FOUNDATION WALL, THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

F. 4" CONCRETE SLAB @ 4" MIN. POROUS FILL, "MIRAFI" OR EQUAL FABRIC FILTER MEMBRANE, PEA GRAVEL.

MASONRY COVE AT FOOTING, EXPANSION JOINT, 6" MIN. COVER, 4" DIA. PERFORATED PIPE PROVIDE PVC SLEEVE THRU FTGS, 24" X 8" CONCRETE FOOTING ON UNDISTURBED SOIL, 6 MIL POLY VAPOR BARRIER, 4" THICK POROUS FILL.

FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM HALF-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL, MEMBRANE OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER, PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

EXCEPTIONS:

1. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2404, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
2. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
3. PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
 - 3.1. THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 60 SQUARE FEET (7.4 M²) PER STORY.
 - 3.2. FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
 4. WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

LIGHTING FIXTURE SCHEDULE

| OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE | |
|---|--|
| BASEMENT: MINIMUM (5) 60 WATT FIXTURES | |
| STAIRWAYS: MINIMUM (1) 60 WATT FIXTURE | |
| HALLWAYS: MINIMUM (1) 60 WATT FIXTURE | |
| GARAGES: ATTACHED: (1) 60 WATT FIXTURE | |
| DETACHED: (1) 60 WATT FIXTURE | |
| LAUNDRY: MINIMUM (1) 60 WATT FIXTURE | |
| WALK-IN CLOSETS: MINIMUM (1) 60 WATT FIXTURE | |
| WALK-IN CLOSETS: MINIMUM (1) 120 WATT FIXTURE | |
| POWDER ROOM: MINIMUM (1) 120 WATT FIXTURE | |
| BATHROOM: MINIMUM (1) 120 WATT FIXTURE | |
| DINING ROOM: MINIMUM (1) 120 WATT FIXTURE | |
| KITCHEN: MINIMUM (1) 120 WATT FIXTURE | |
| DINING ROOM: MINIMUM (1) 120 WATT FIXTURE | |
| ALL OTHER SECOND FLOOR ROOMS (EACH): MINIMUM (1) 120 WATT FIXTURE | |
| ATTIC SPACE: MINIMUM (1) 60 WATT FIXTURE | |
| GARAGE: MINIMUM (2) 60 WATT FIXTURES | |

LIGHTING FIXTURE CONTROL NARRATIVE

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRCASES, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR. HALLS, GRADE LEVEL ACCESSES, OUTDOOR UTILITY ROOMS, ATTACHED GARAGES, DETACHED GARAGES WITH ELECTRICAL POWER, WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE AN ADDITIONAL WALL SWITCH AT EACH FLOOR LEVEL AND THE STAIRWAY. THIS INCLUDES AN ADDITIONAL WALL SWITCH AT EACH FLOOR LEVEL WHERE THERE ARE SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED AS A BEDROOM, BATH, OR KITCHEN. WHERE ONE OR MORE LIGHTING OUTLETS ARE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH, AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

EXHAUST DUCTS AND EXHAUST OPENINGS

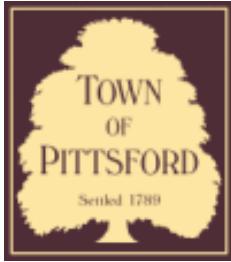
M1504.2 DUCT LENGTH

THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1504.2.

DUCT LENGTHS SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA, OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE.

TABLE M1504.2 - DUCT LENGTH

| DUCT TYPE | FLEX DUCT | | SMOOTH WALL DUCT | |
|---------------------------------|-----------|----|------------------|-----|
| CFM @ 0.25 INCH HG ^A | 30 | 60 | 100 | 150 |
| 50 | X | X | X | X |
| 100 | X | X | X | X |
| 150 | X | X | X | X |
| | | | | |



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000098

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2185 Jefferson Road PITTSFORD, NY 14534

Tax ID Number: 163.02-1-52

Zoning District: RN Residential Neighborhood

Owner: Greenbaum, Robert F

Applicant: Ameribuilt Construction

Application Type:

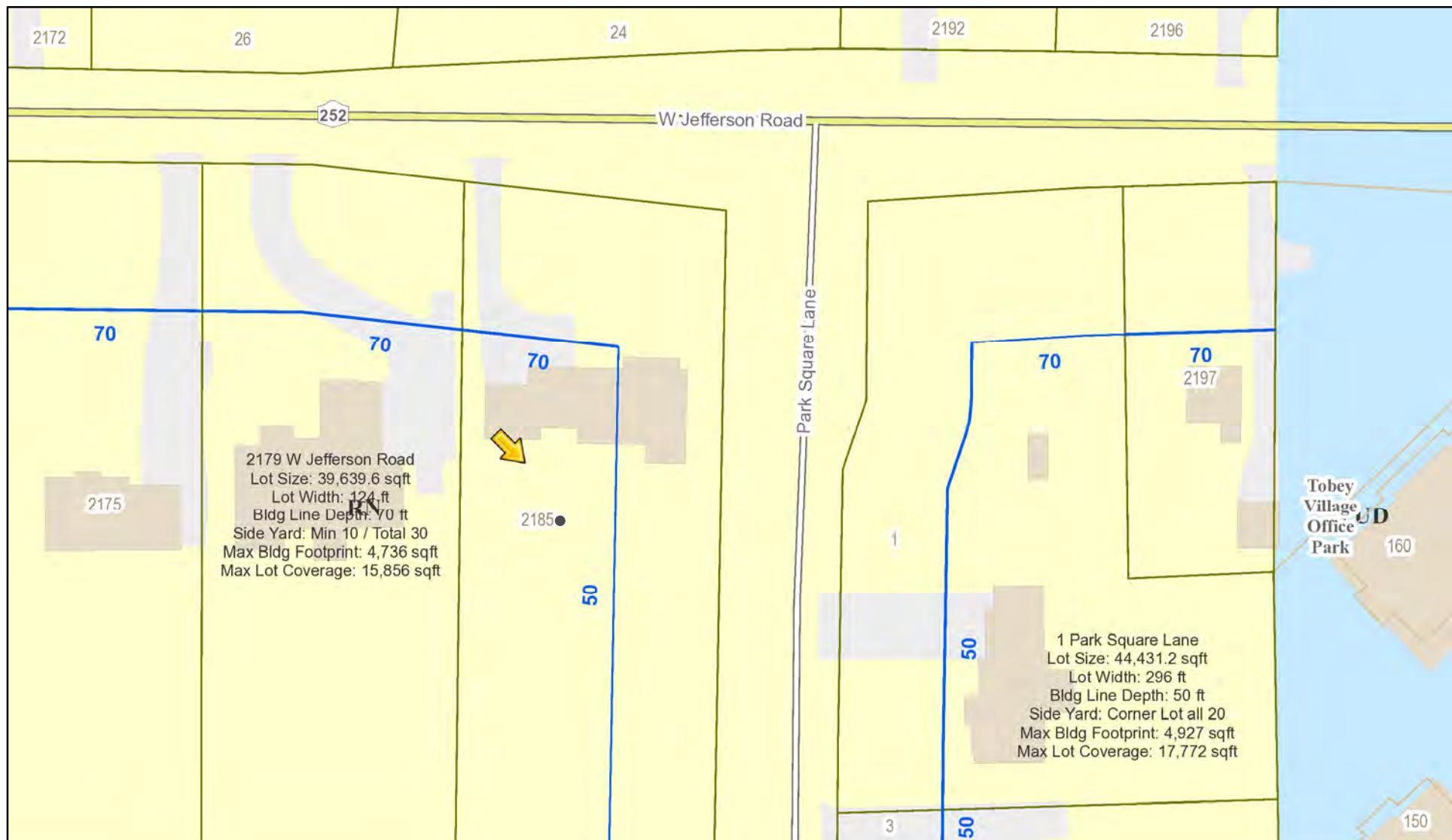
- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of an approximately 224 square-foot addition off the rear of the home.

Meeting Date: August 22, 2024



RN Residential Neighborhood Zoning

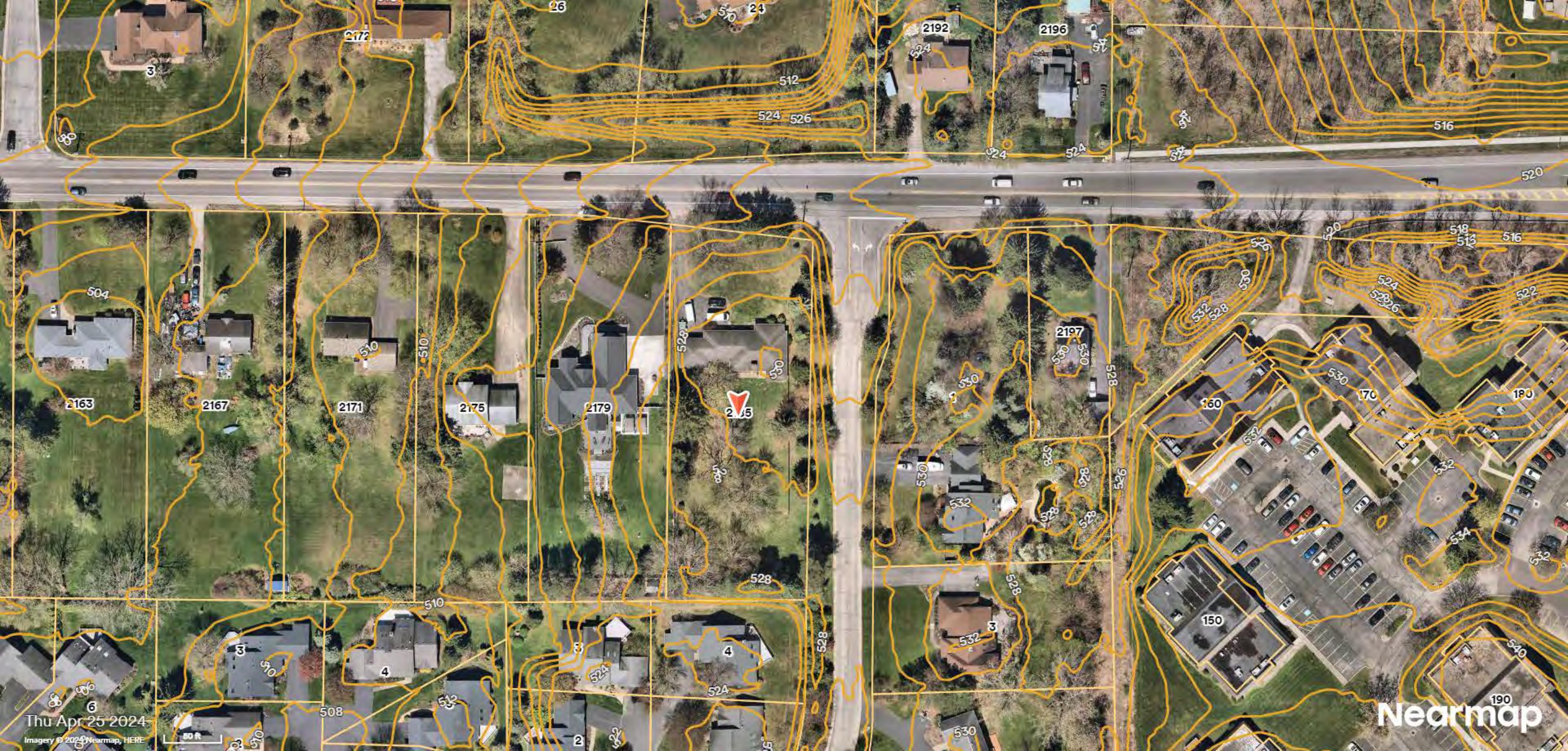


Printed August 6, 2024

1:1,128
0 45 90 180 ft
0 12.5 25 50 m

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

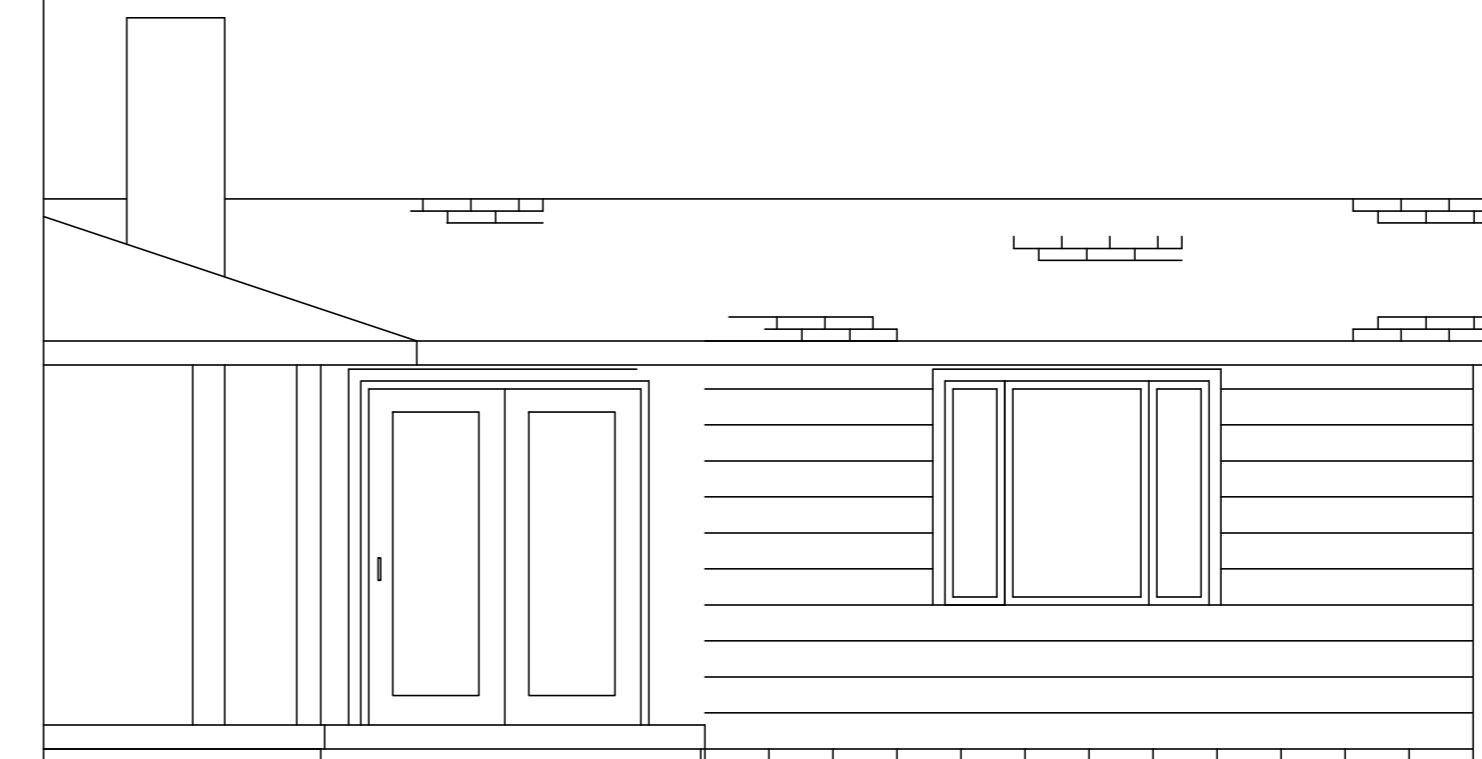
50 ft

Nearmap¹⁹⁰

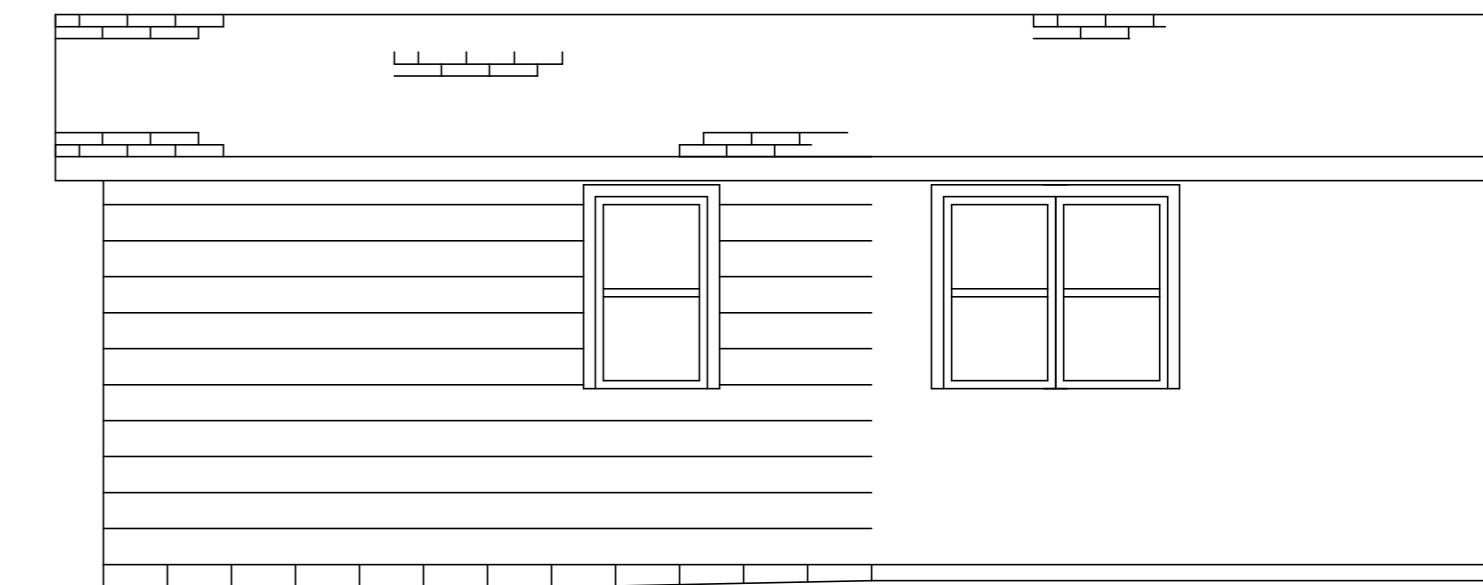
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



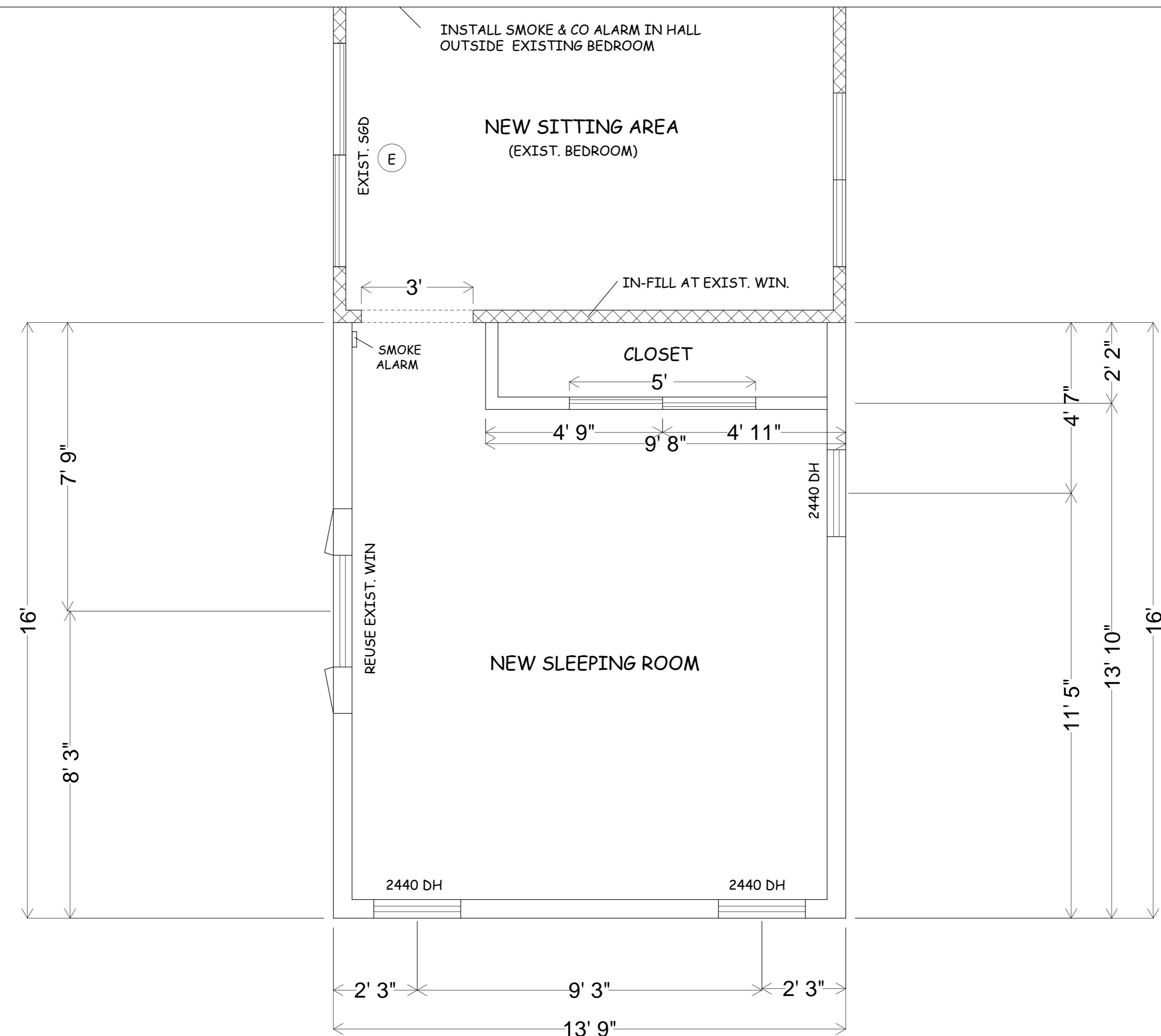
THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032

ELEVATION VIEWS

| | | |
|---------------------|--------------------------|--------------------------|
| SCALE: 1/4" = 1' | APPROVED: T. M. LANEY | DRAWN BY: T. M. LANEY |
| DATE: 8/5/24 | REVISED: | |

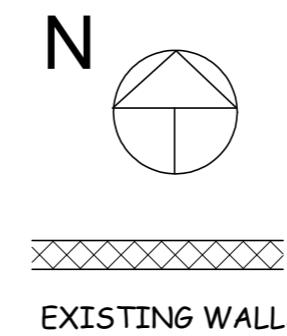
ADDITION FOR ROBERT GREENEBAUM

2185 JEFFERSON RD, PITTSFORD, NY

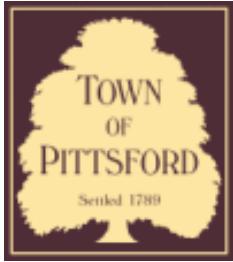


THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED
AND REFERENCED FROM EXISTING BUILDING



| FLOOR PLAN | | |
|----------------------------------|--------------------------|--------------------------|
| SCALE: 1/2" = 1' | APPROVED: T. M. LANEY | DRAWN BY: T. M. LANEY |
| DATE: 8/5/24 | | REVISED: |
| ADDITION FOR ROBERT GREENEBAUM | | |
| 2185 JEFFERSON RD, PITTSFORD, NY | | |



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000097

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 17 Park Road PITTSFORD, NY 14534

Tax ID Number: 151.17-2-50

Zoning District: RN Residential Neighborhood

Owner: Rowland, Elizabeth K

Applicant: Rowland, Elizabeth K

Application Type:

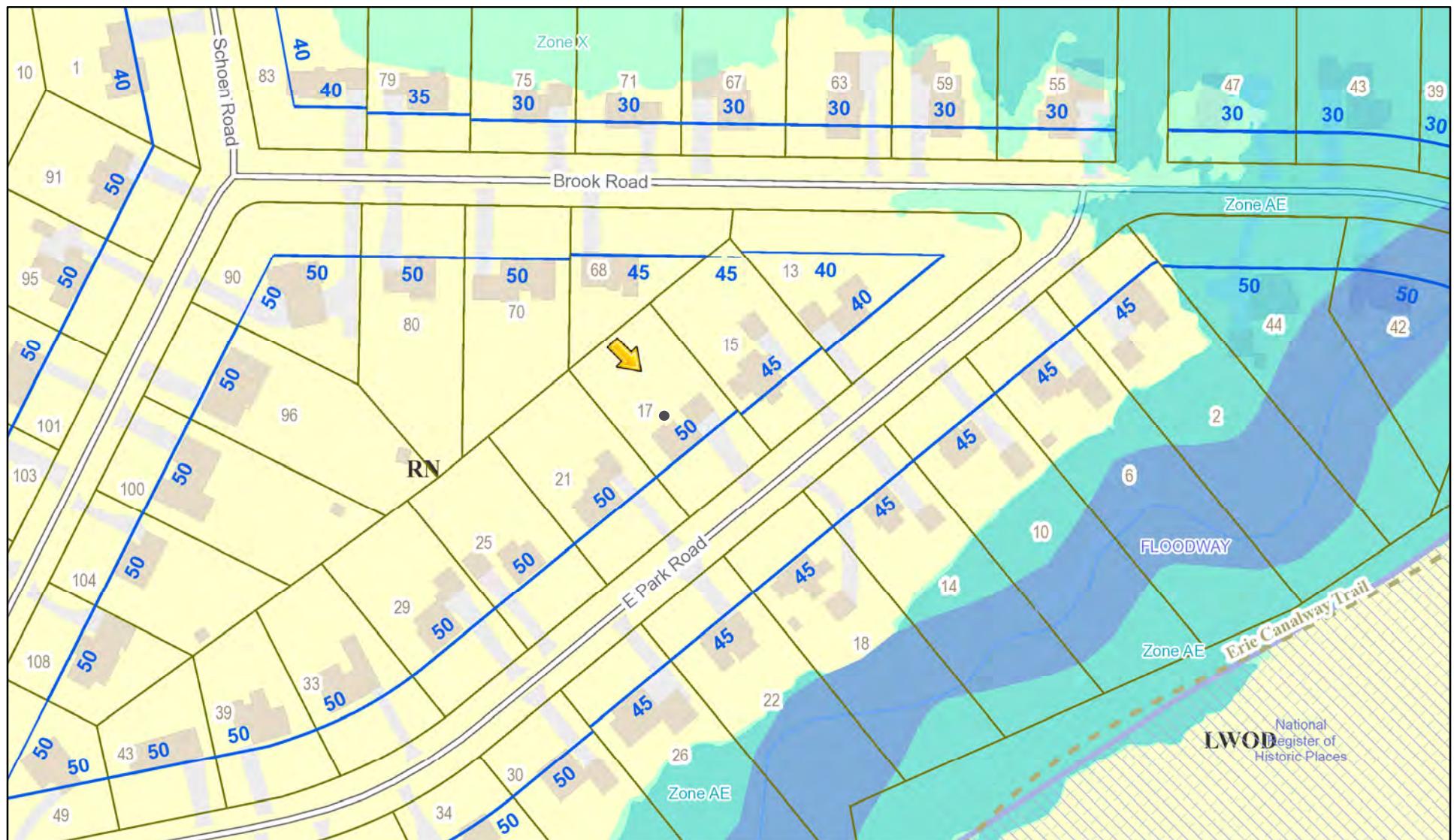
- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting design review to add a covered entryway to the front of the home.

Meeting Date: August 22, 2024



RN Residential Neighborhood Zoning



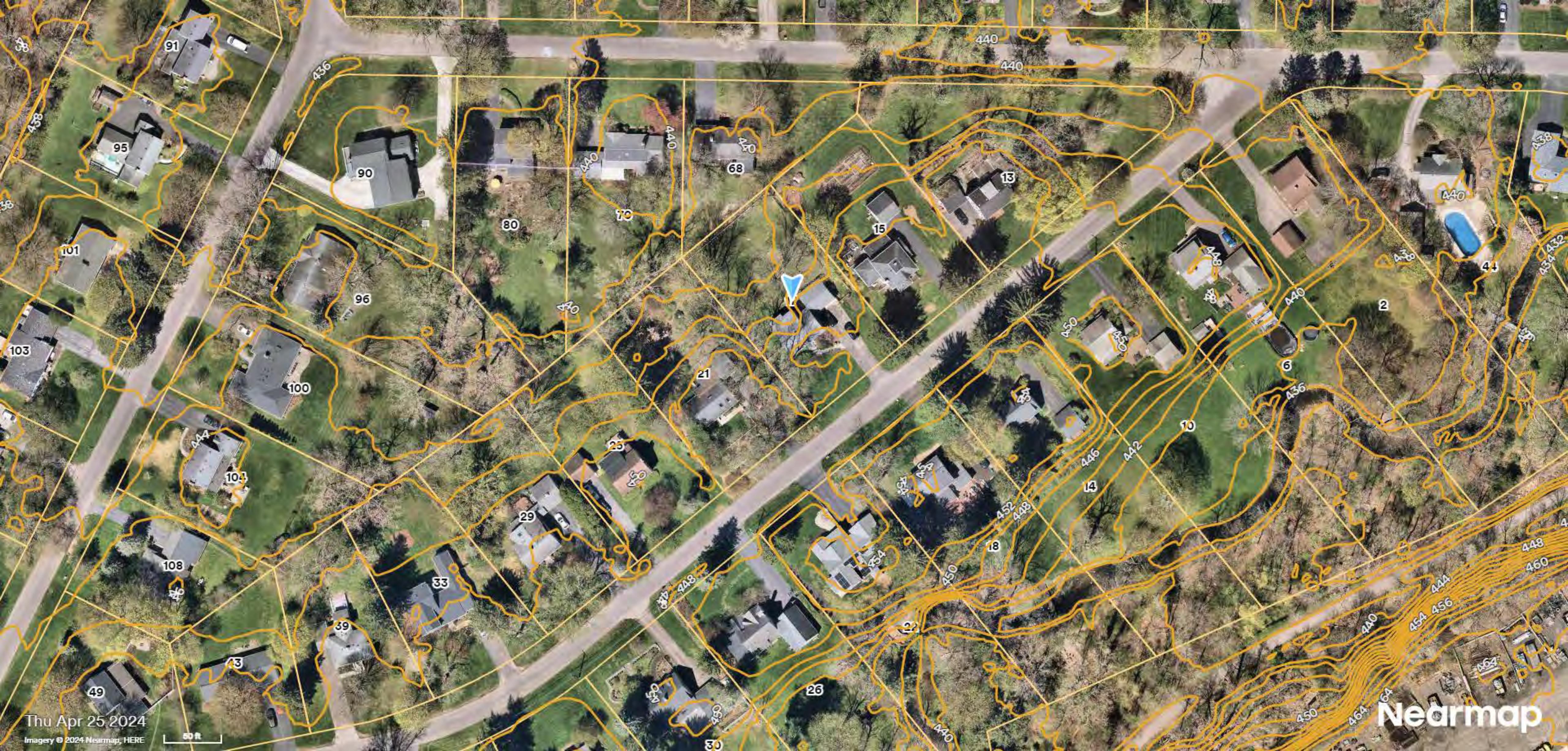
Printed August 7, 2024

1:2.257

A number line representing distance in feet. The line starts at 0 and ends at 380 ft. It has tick marks every 25 m. The labels are 0, 25, 50, 100, 190, 95, and 380 ft. The labels 190, 95, and 380 ft are above the line, while 0, 25, 50, and 100 m are below it.

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

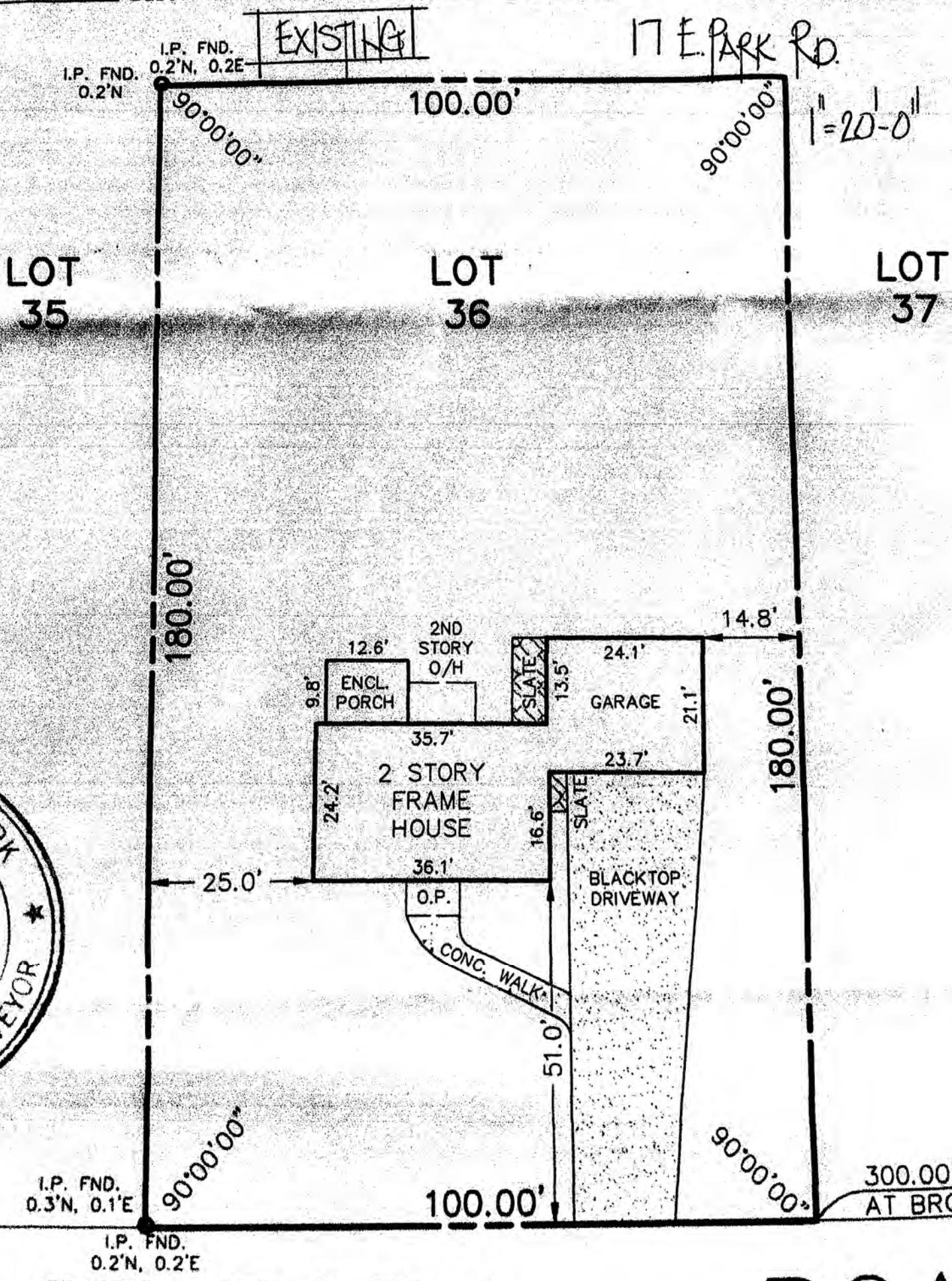


Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

50 頁

Nearmap



36

Subdivision

17 E. PARK RD.

1" = 20'-0"

I.P. FND.
0.2'N

PROPOSED

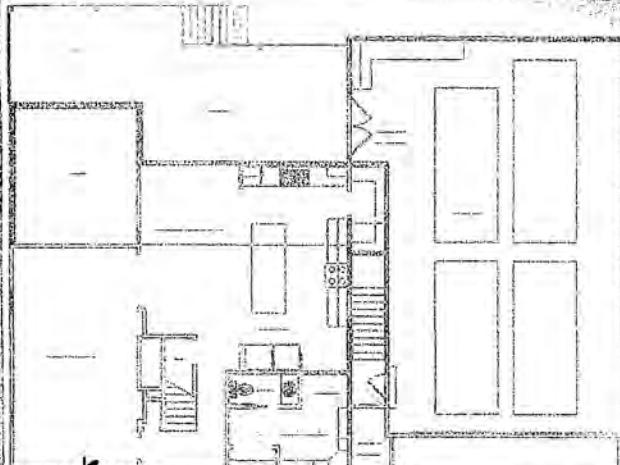
I.P. FND.
0.2'N, 0.2'E

100.00'

LOT
35LOT
36LOT
37

180.00'

25.0'



48'

180.00'

DRIVEWAY

CONC. WALK

45.0'

51.0'

I.P. FND.
0.3'N, 0.1'E

90.00' 00"

100.00'

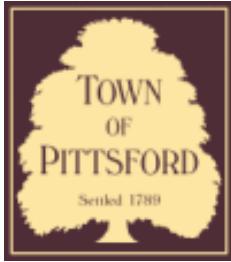
90.00' 00"

300.00' TO
AT BROOKI.P. FND.
0.2'N, 0.2'E

LINE

ACT DATED

DOAR



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000106

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 44 Crestline Road ROCHESTER, NY 14618

Tax ID Number: 138.18-2-76

Zoning District: RN Residential Neighborhood

Owner: Glenz, Susan E

Applicant: CKH Architecture P.C.

Application Type:

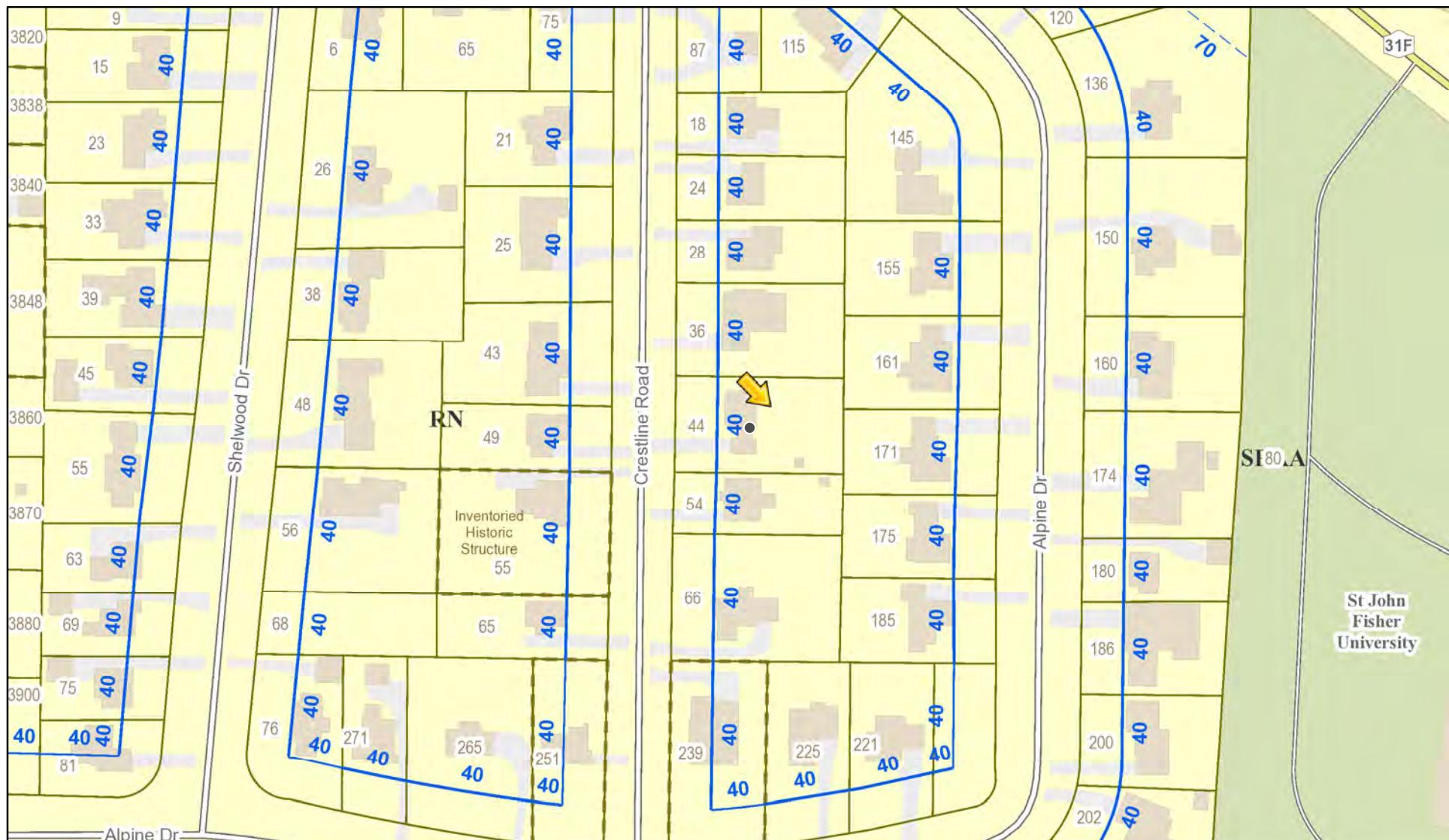
- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting design review to enclose the existing deck into a sunroom, add a entry/mudroom, covered deck & add a garage bay.

Meeting Date: August 22, 2024



RN Residential Neighborhood Zoning



Printed August 7, 2024

1:2,257
0 25 50 75 95 190 380 ft
0 50 100 m

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

00 Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

Nearmap



Left Side Elevation



Front Elevation



Right Side Elevation



Rear Elevation

PROJECT-
Additions and Renovations to:
44 Crestline Road, Rochester, N.Y.

CLIENT-
Susan Glenz

JOHN NO.-
A23-O10

DRAWING TITLE-
Existing Floor Plan & Elevations

REVISIONS-
NO. DATE DESCRIPTION

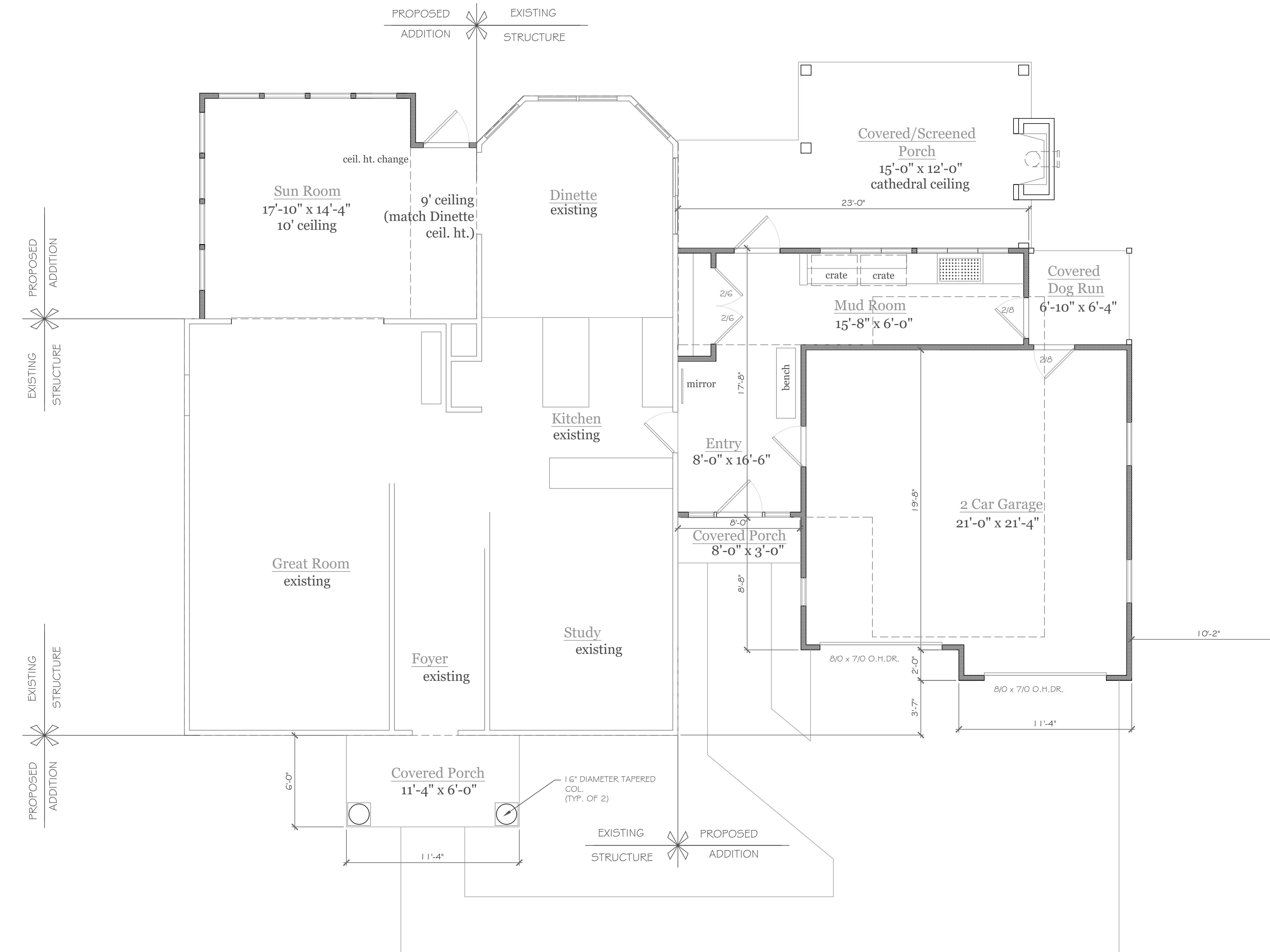
DRAWING NO.-
A-1

COPYRIGHT NOTICE-
These plans are instruments of
service and may not be altered,
reduced, or copied without
Unauthorized alterations to
these plans is a violation of the
New York State Education Law,
Section 209, Article 145.

CKH Architects, P.A.
Copyright ©
All rights reserved.

DATE-
June 2024

PHASE-
Construction Documents



First Floor Plan

501 sf Addition
448 sf Garage Addition

CKH

architecture

1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585) 249-1334
e-mail- CKHennessey@frontiernet.net

PROJECT - DRAWING NO. 1
First Fl
44 Crestline Road, Rochester, N.Y.
Additions and Renovations to:
Suzan Glenn

| | |
|----------------------|--|
| Job No. - A23-010 | |
| DATE - June 2024 | |
| PHASE - Construction | |

These plans are instruments of
service and may not be altered,
reproduced, or copied without
prior written consent.
Unauthorized alterations to
these plans is a violation of
New York State Education
Section 7209. Article 145

CKH Architecture, P.A.
Copyright ©
All rights reserved.

| REVISIONS- | NO. | DATE | DESCRIPTION |
|------------|-----|------|-------------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

DRAWING TITLE-
First Floor Plan

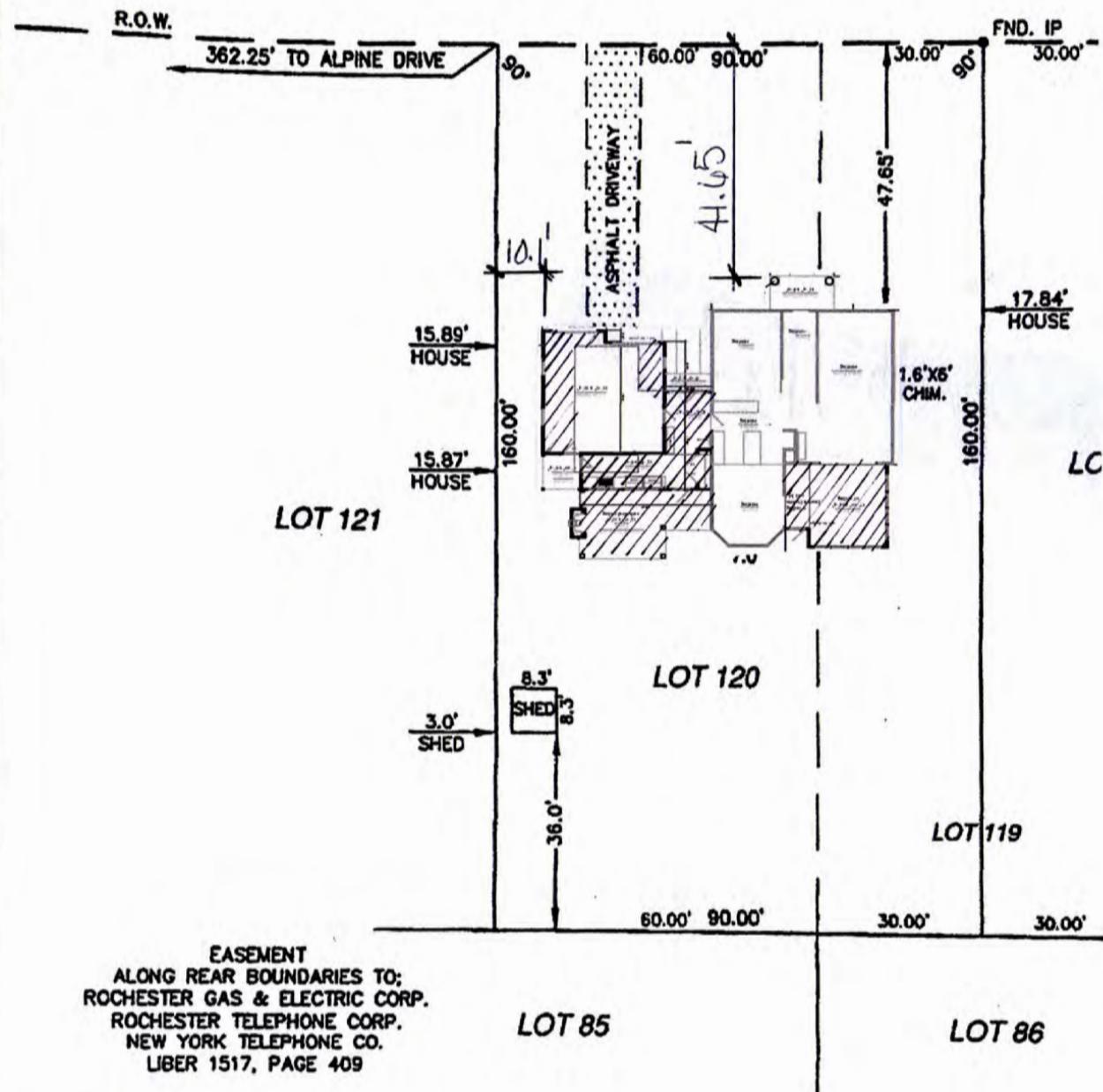
PHASE-
Construction Documents

PROJECT - Additions and Renovations to:
44 Crestline Road, Rochester, N.Y.
CLIENT - Susan Glenz
JOB NO.- A23-010
DATE- June 2024

DRAWING NO.-

CRESTLINE ROAD

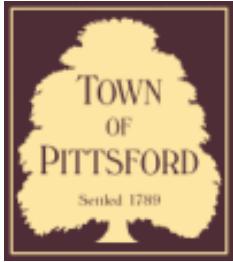
(60' ROW)



REFERENCES:

1. ABSTRACT PROVIDED BY STEWART TITLE INSURANCE COMPANY
ABSTRACT NO. 199607, DATED DECEMBER 13, 2021
2. DEED: LIBER 10259, PAGE 408
3. EAST AVENUE TRACT, LIBER 49 OF MAPS, PAGE 27

CERTIFICATION:



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000102

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 12 Bridleridge Farms PITTSFORD, NY 14534

Tax ID Number: 191.01-1-64

Zoning District: RRSP Rural Residential South Pittsford

Owner: Bridlebridge Farms LLC

Applicant: Bridlebridge Farms LLC

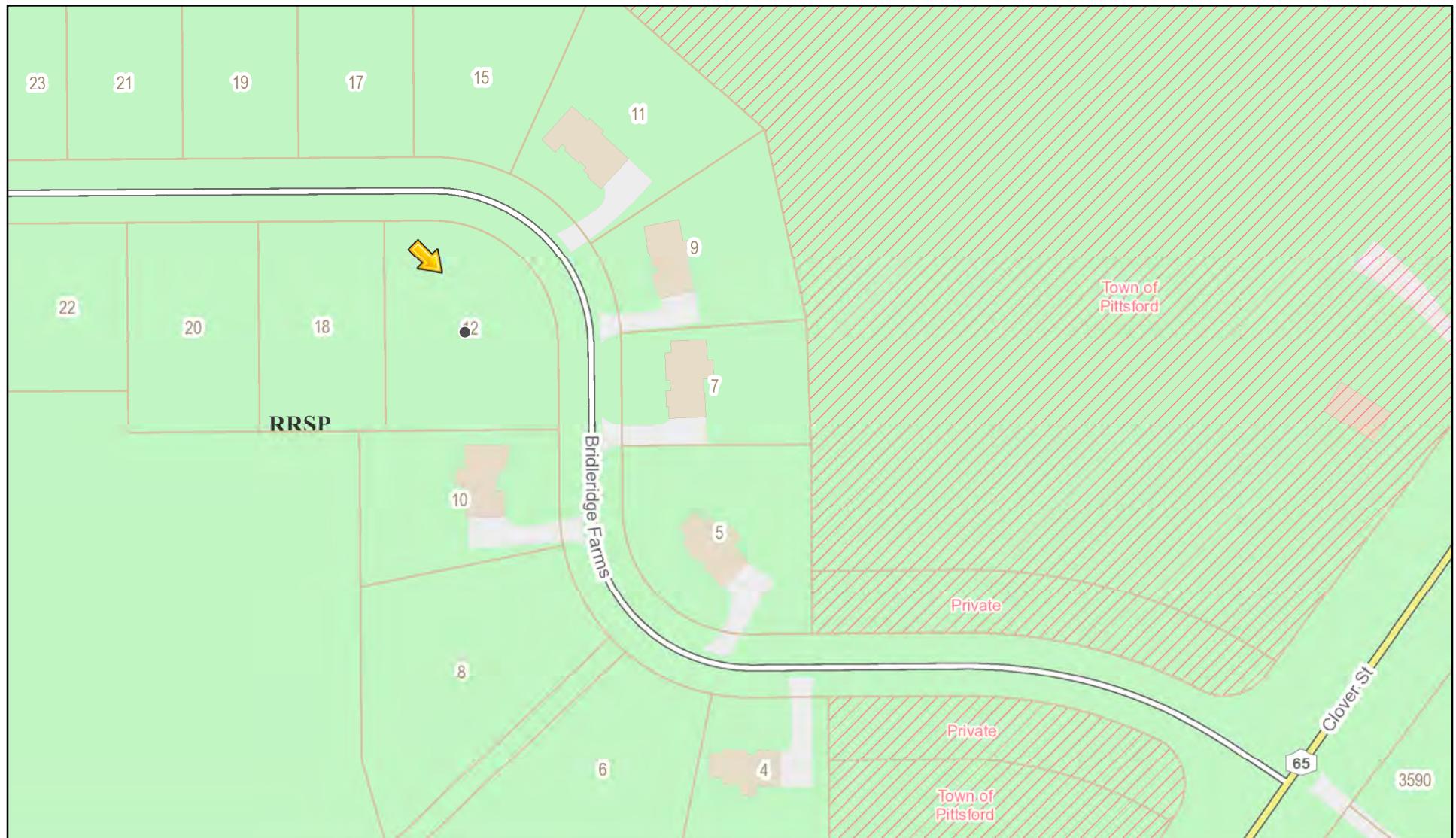
Application Type:

- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting design review for a 3,580 square-foot, two-story, single family home in the Bridleridge Farms Subdivision.

Meeting Date: August 22, 2024

RN Residential Neighborhood Zoning



Printed August 6, 2024

1:2,257

0 25 50 75 100 m
0 95 190 380 ft

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

100 ft

Nearmap



GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R805.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

CAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.015" (NO. 28 GAUGE) & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.4.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS).

TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.

2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.

3. EXTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.

4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.

5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.

6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 l/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND .40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & .075 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE .050.

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFREST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.1.3 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8, WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCNYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.

2. PIPING SERVING MORE THAN ONE DUELING UNIT.

3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.

4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.

5. PIPING LOCATED UNDER A FLOOR SLAB.

6. BURIED IN PIPING.

7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR INC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACE HEATING & COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY REQUIRE ADDITIONAL DESIGN, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

THE ALT. LINWOOD SPEC HOME

LOT 63 BRIDLERIDGE FARMS
PITTSFORD, NY
COVENTRY RIDGE BUILDING CORP.

PLAN 3228 / PROJECT 15381 F

SHEET INDEX

- C-1 COVER SHEET
- 1/6 FRONT & LEFT ELEVATIONS
- 2/6 REAR & RIGHT ELEVATIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

STRUCTURAL MATERIAL SPECIFICATIONS:

| | |
|------------------|--|
| STRUCTURAL STEEL | ASTM A-36, Fy = 36 ksi |
| REINFORCED STEEL | ASTM A-615, Fy = 40 ksi |
| WIRE MESH | ASTM A-185, 6 x 6 - 10 W.W.M. |
| LUMBER | ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC, TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE |
| PLYWOOD | CDX, PANEL INDEX |
| LVL, PSL, LSL | Fb = 2600 Fv = 285 Ex = 10.1.9 Fc = 750 |
| MASONRY | ASTM C90, GRADE N-1, Fm = 1350 PSI |
| MORTAR | ASTM C270, TYPE S |
| GROUT | Fc = 2000 PSI ASTM C476 |
| CONCRETE | Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & Poured FOUNDATION WALLS) |
| BOLTS | ASTM A307, Fy = 33 ksi |

DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD 40 P.S.F.

2ND FLOOR LIVING AREA LIVE LOAD 30 P.S.F.

1ST & 2ND FLOOR DEAD LOAD 15 P.S.F.

GROUND SNOW LOAD 40 P.S.F.

ROOF DEAD LOAD 10 P.S.F.

ALLOWABLE SOIL BEARING 2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE

WIND SPEED 115 MPH, EXPOSURE B

SEISMIC DESIGN CATEGORY B

WEATHERING SEVERE

FROST LINE DEPTH 42 INCHES

TERMITE DAMAGE SLIGHT TO MODERATE

DECAY DAMAGE NONE TO SLIGHT

WINTER DESIGN TEMPERATURE 1 DEGREE

ICE SHE

COPYRIGHT NOTICE:
THESE PLANS ARE PROTECTED UNDER FEDERAL
COPYRIGHT LAWS BY GREATER LIVING
ARCHITECTURE, AND ARE AUTHORIZED
REPRODUCTION FOR NON-FINANCIAL USE
ONLY. ANY OTHER USE OR REPRODUCTION
OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS.
CLIENT RIGHTS ARE LIMITED TO ONE-TIME
USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS
TO THIS PLAN IS A VIOLATION OF THE
NEW YORK STATE EDUCATION LAW,
ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED
GREATER LIVING ARCHITECTURE, P.C.

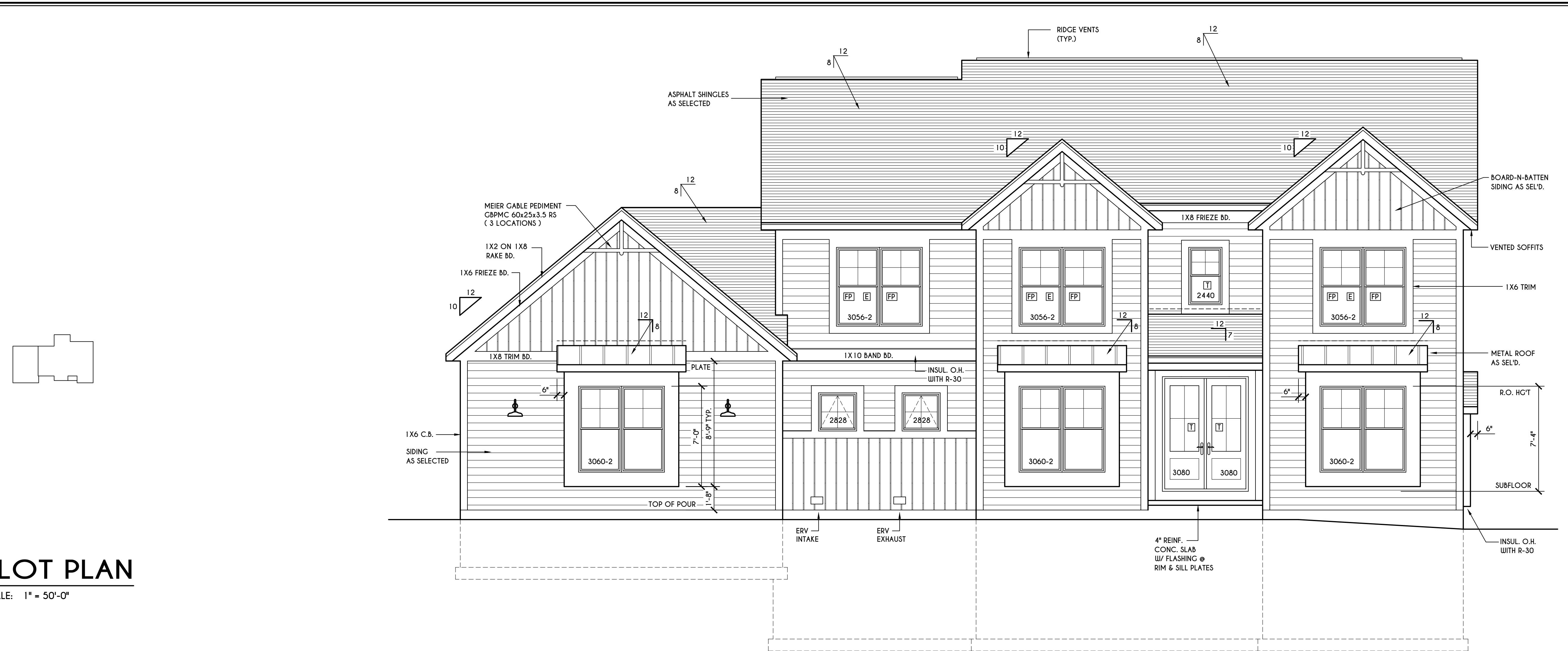
GLA
Greater Living Architecture, P.C.



3033 BRIGHTON-HENRIETTA
TOWNELINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

PLOT PLAN

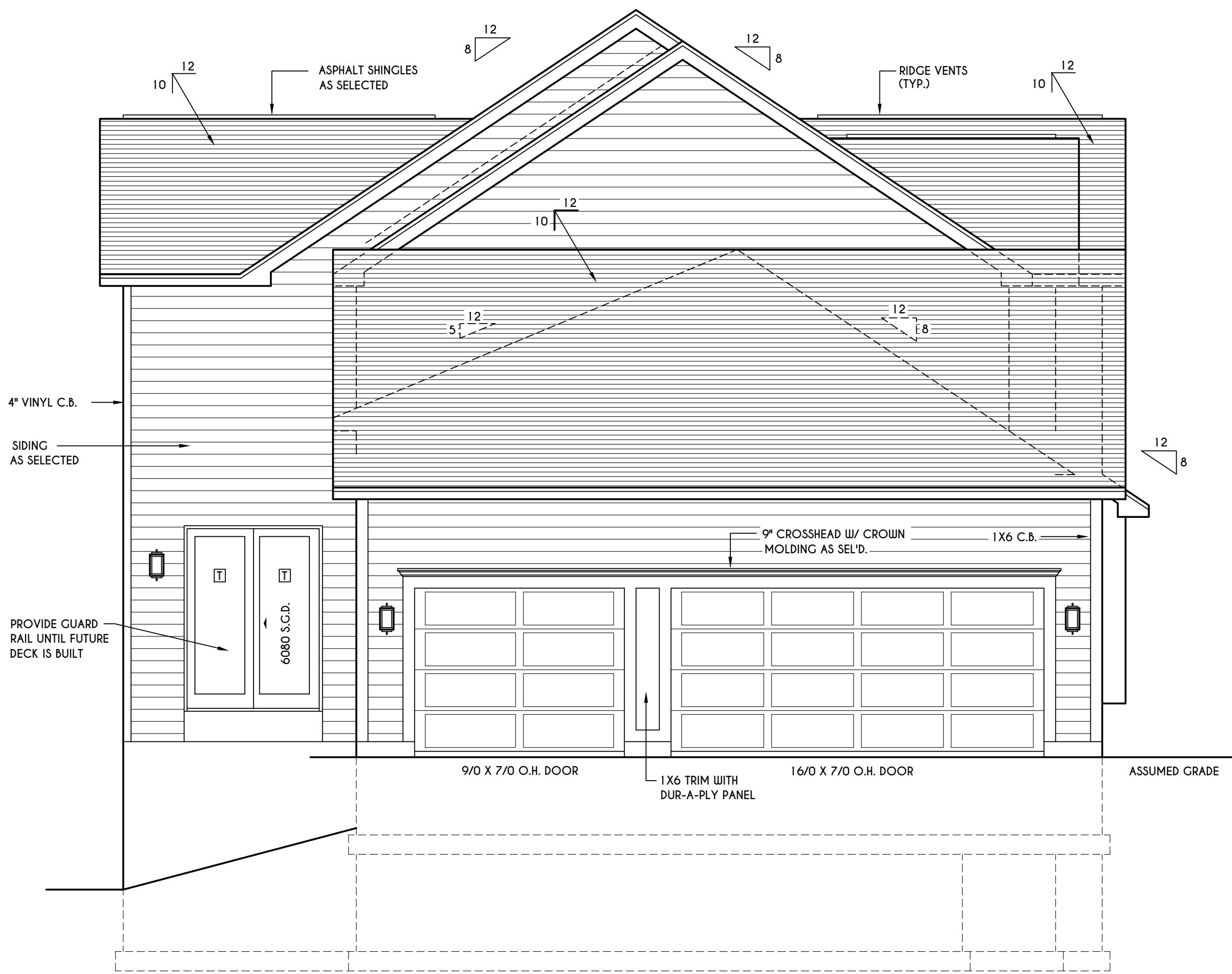
SCALE: 1" = 50'-0"



FRONT ELEVATION

FIRST FLOOR LIVING AREA = 1600 SQ.FT.
SECOND FLOOR LIVING AREA = 1628 SQ.FT.
TOTAL LIVING AREA = 3228 SQ.FT.

TOTAL CONDITIONED VOLUME = 44,516 CU.FT.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION
SYSTEM AIRFLOW RATE REQUIREMENTS

| Dwelling Unit (square feet) | Number of Bedrooms | Airflow in CFM | | | | |
|--------------------------------|--------------------|----------------|-----|-----|-----|-----|
| | | 0-1 | 2-3 | 4-5 | 6-7 | > 7 |
| < 1,500 | 30 | 45 | 60 | 75 | 90 | |
| 1,501-3,000 | 45 | 60 | 75 | 90 | 105 | |
| 3,001-4,500 | 60 | 75 | 90 | 105 | 120 | |
| 4,501-6,000 | 75 | 90 | 105 | 120 | 135 | |
| 6,001-7,500 | 90 | 105 | 120 | 135 | 150 | |
| > 7,500 | 105 | 120 | 135 | 150 | 165 | |

FOR Sl: 1 square foot = 0.0929 m², 1 cubic foot per min = 0.0004719 m³/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

| Run-time Percentage in EA. 4-hour Segment | Exhaust Rates | | | | |
|--|---------------|-----|-----|-----|-----|
| | 25% | 33% | 50% | 66% | 75% |
| Factor ^a | 4 | 3 | 2 | 1.5 | 1.3 |

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

| Area to be exhausted | Exhaust Rates |
|----------------------------|--|
| Kitchens | 100 cfm INTERMITTENT OR 25 cfm CONTINUOUS |
| Bathrooms- Toilet Rooms | MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS |

FOR Sl: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

WINDOWS: HARVEY OR EQUAL
U-FACTOR 0.27
SHGC 0.29

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & DOORS DO NOT TO BE NO MORE THAN 5.0 cfm/sq.ft. & SWING DOORS NO MORE THAN 0.5 cfm/sq.ft. AS PER SECT. R402.4.3 OF 2020 ECCC/NYS

WINDOW / DOOR LEGEND:

[] = MEETS OR EXCEEDS EGRESS REQUIREMENTS

- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"

- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[] = SPECIFIES THAT THIS FIXED OR OPERABLE
UNIT REQUIRES SAFETY GLAZING
PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THE OPERABLE WINDOW
UNIT REQUIRES FACTORY APPLIED FALL
PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES TO BE 12° AND ALL
OVERHANGS TO BE 16' FROM FRAME
WALLS UNLESS NOTED OTHERWISE.

BUILDER TO PROVIDE ROOF OR RIDGE VENTS
AS PER CODE. THE MINIMUM NET FREE
VENTILATION AREA SHALL BE 1/150 OF THE
AREA OF THE VENTED SPACE (SECT. R806.2)

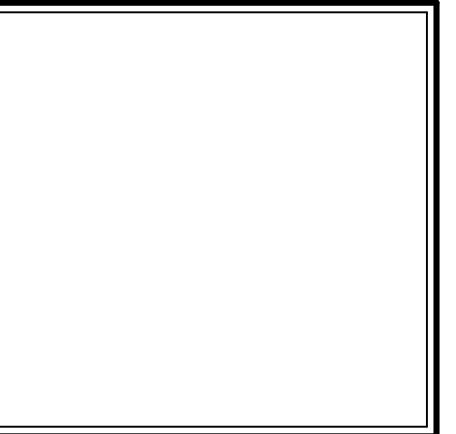
4/12 PITCH ROOFS OR SHALLOWER
TO HAVE 2 LAYERS 15A FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR
TO CONSTRUCTION IF THE ASSUMED GRADE
DEPICTED IS INCORRECT AND / OR WILL ALTER
THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN 1)
CONTINUOUSLY RUN EXHAUST FAN
CAPABLE OF (MIN) 20 cfm/sq.ft. WITH A
MANUAL OVERRIDE SWITCH AS PER
SECT. M1505.4.2 OF 2020 RCNYS
SEE TABLES M1505.4.3(1) & M1505.4.3(2)
& M1505.4.4 (PAGE 1)

drawn: CDK checked: CSB
scale: AS NOTED date: 7/24
PROJECT: sheet: 1
15381F 6



3033 BRIGHTON-HENRIETTA
 TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
www.greaterliving.com

| REVISIONS: | | |
|------------|----|-------------|
| DATE | BY | DESCRIPTION |
| | | |
| | | |
| | | |
| | | |
| | | |

CLIENT/LOCATION:
 SPEC HOME
 LOT 63 BRIDLEROIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 3228

| | |
|----------|----------|
| drawn: | checked: |
| CDK | CSB |
| scale: | date: |
| AS NOTED | 7/24 |
| PROJECT: | sheet: |
| 2 | |

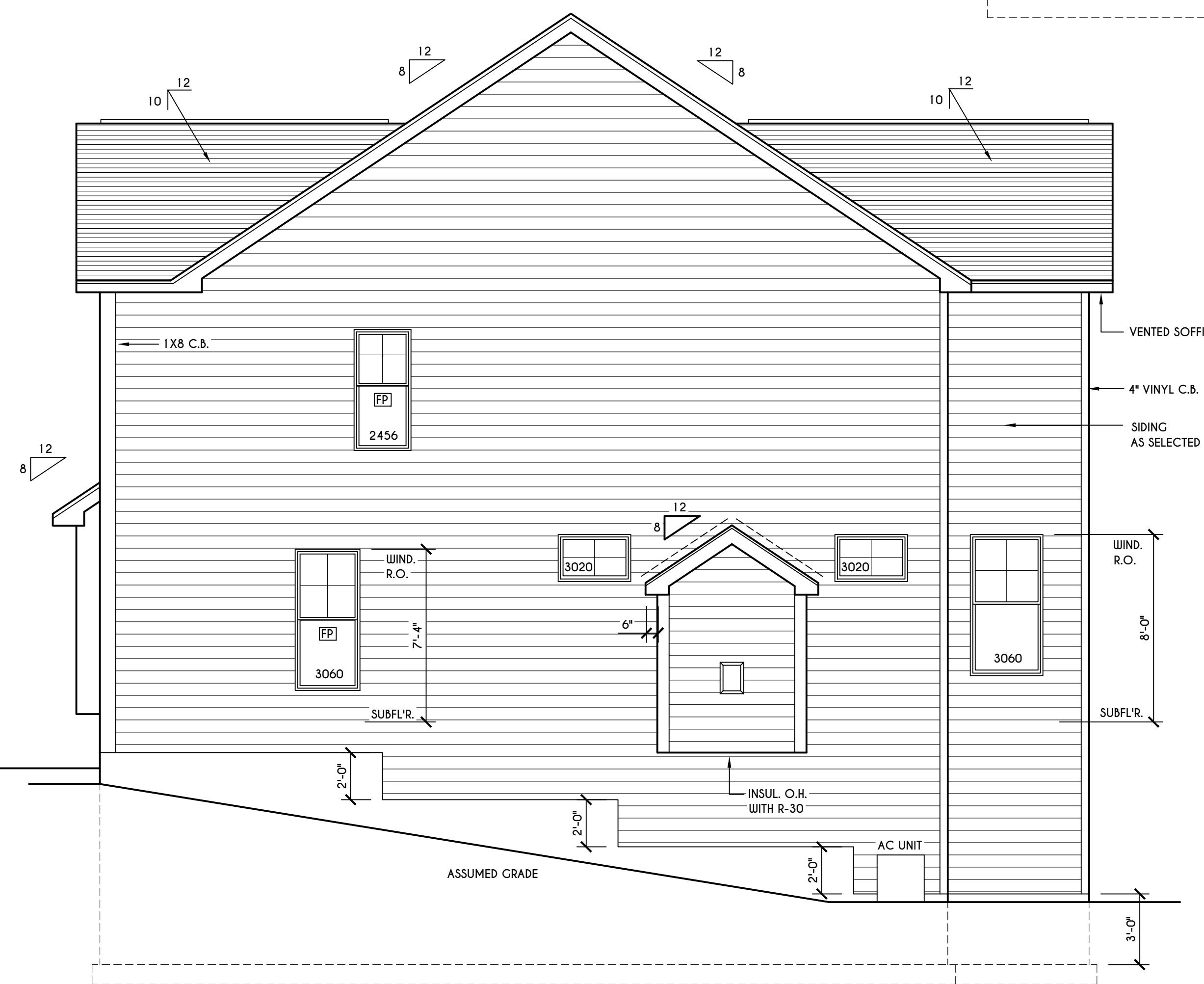
15381F

6



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: HARVEY OR EQUAL
 U-FACTOR 0.27
 SHCC 0.29

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS,
 SKYLIGHTS, & SLIDING DOORS TO BE NO
 MORE THAN 0.3 cfm/sq.ft. & SWING DOORS
 NO MORE THAN 0.4 cfm/sq.ft. PER SECT.
 R402.4.3 OF 2020 ECCC/NYS

WINDOW / DOOR LEGEND:

- = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.1 OF 2020 RCNYS
- = SPECIFIES THAT THIS FIXED OR OPERABLE
 UNIT REQUIRES SAFETY GLAZING
 PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW
 UNIT REQUIRES FACTORY APPLIED FALL
 PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES TO BE 12" AND ALL
 OVERHANGS TO BE 16" FROM FRAME
 WALLS UNLESS NOTED OTHERWISE

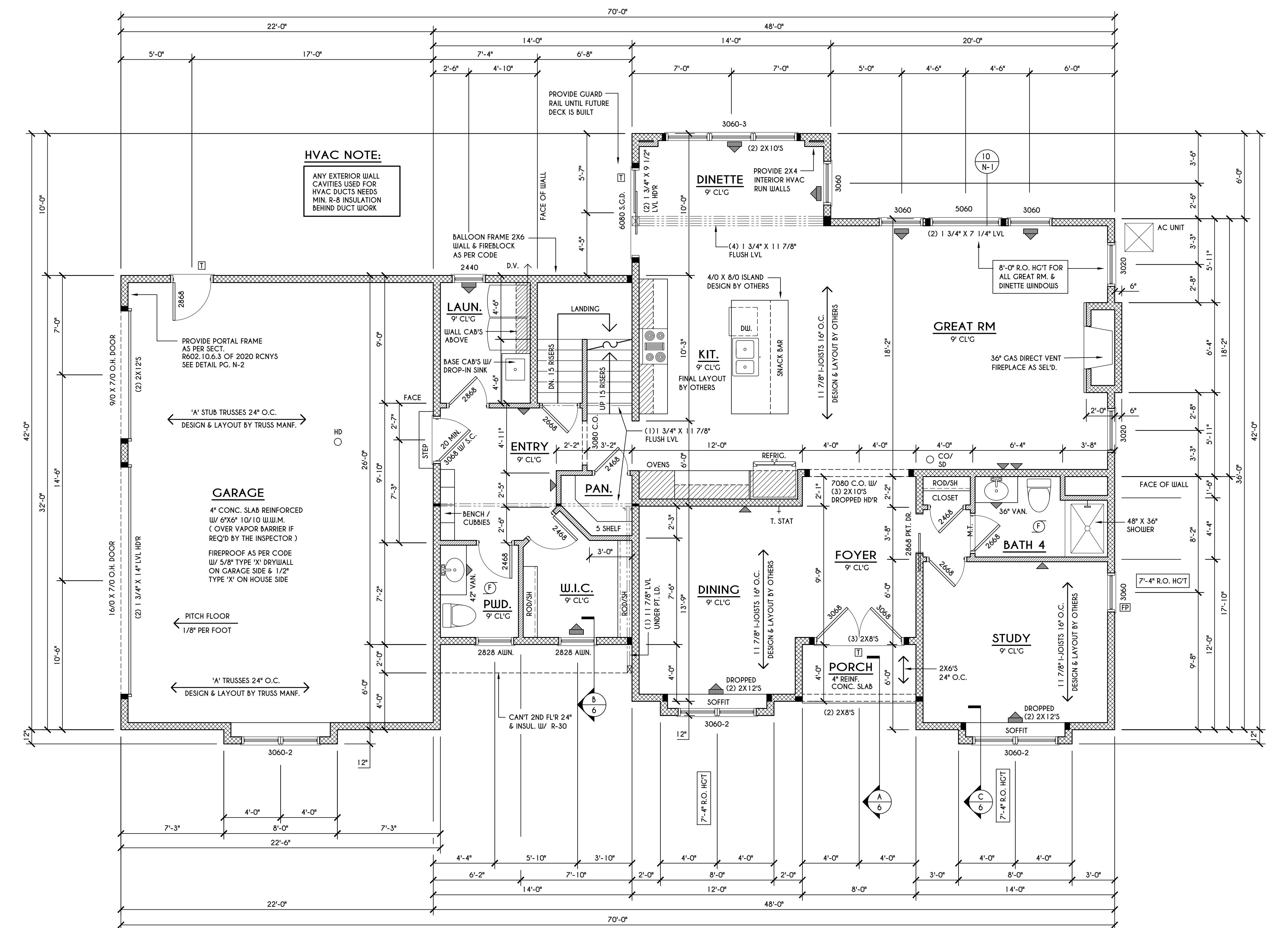
BUILDER TO PROVIDE ROOF OR RIDGE VENTS
 AS PER CODE. THE MINIMUM NET FREE
 VENTILATION AREA SHALL BE 1/150 OF THE
 AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOOER
 TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR
 TO CONSTRUCTION IF THE ASSUMED GRADE
 DEPICTED IS INACCURATE AND / OR WILL ALTER
 THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1
 CONTINUOUSLY RUN EXHAUST FAN
 CAPABLE OF (MIN) 90 c.f.m. WITH A
 MANUAL OVERRIDE SWITCH AS PER
 SECTION M1505.4.3(1) & M1505.4.3(2)
 & M1505.4.4 (PAGE 1)



FIRST FLOOR PLAN

1600 SQ. FT.

FRAMING LEGEN

-  - PROVIDE SOLID POSTING- GLUED & EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
-  - DROPPED HEADER
-  - FLUSH HEADER
-  - 2X4 STUDS @ 16" O.C.
-  - 2X6 STUDS @ 16" O.C.

ENGINEERED FL'R JOIST NOT

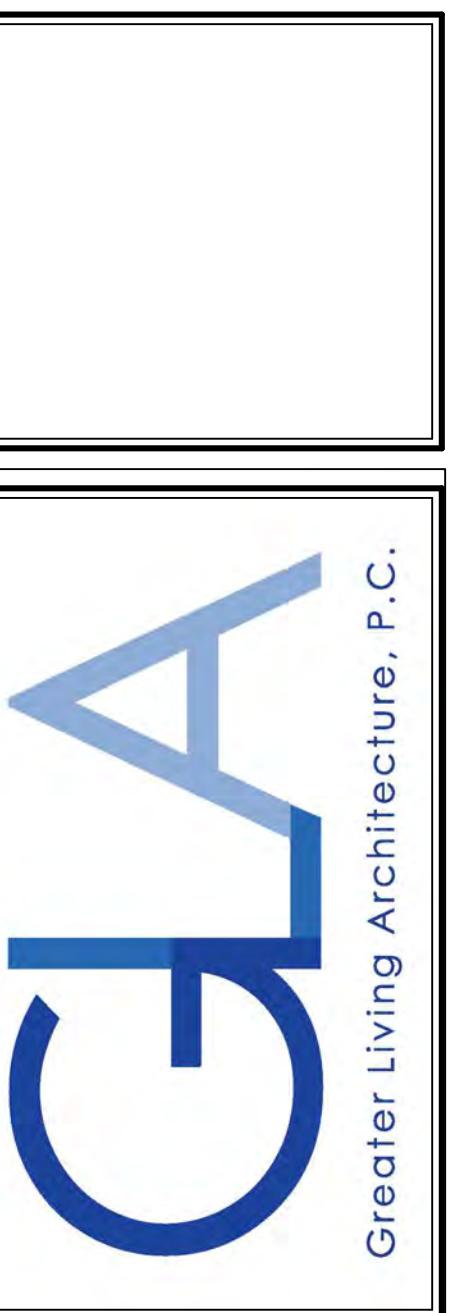
ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

GENERAL FIRST FLOOR PLAN NOTES:

**FIRST FLOOR PLATE HC'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM
THE SHOWER OR TUBS.**

WINDOW / DOOR LEGEND:

- [E]** = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"PER SECT. R310.2.1 OF 2020 RCNYS
- [T]** = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP]** = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



3033 BRIGHTON-HENRIETTA
 TOWNELINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
www.greaterliving.com

| REVISIONS: | | |
|------------|----|-------------|
| DATE | BY | DESCRIPTION |

CLIENT/LOCATION:
 SPEC HOME
 LOT 63 BRIDLERIDGE
 PITTSFORD, NY

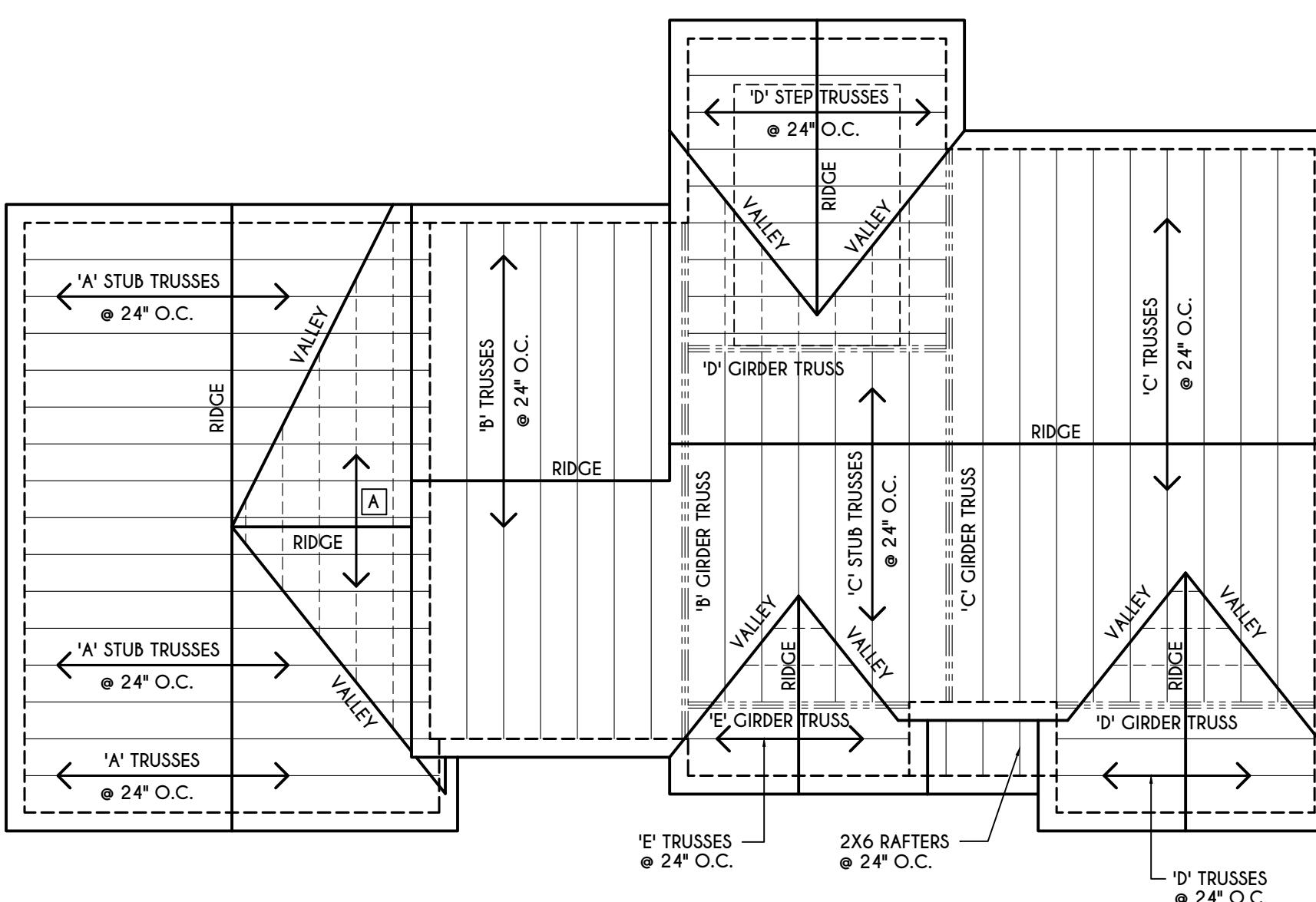
BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3228

drawn: CDK checked: CSB
 scale: date:
 AS NOTED 7/24

PROJECT: sheet:
 15381F 5
 6



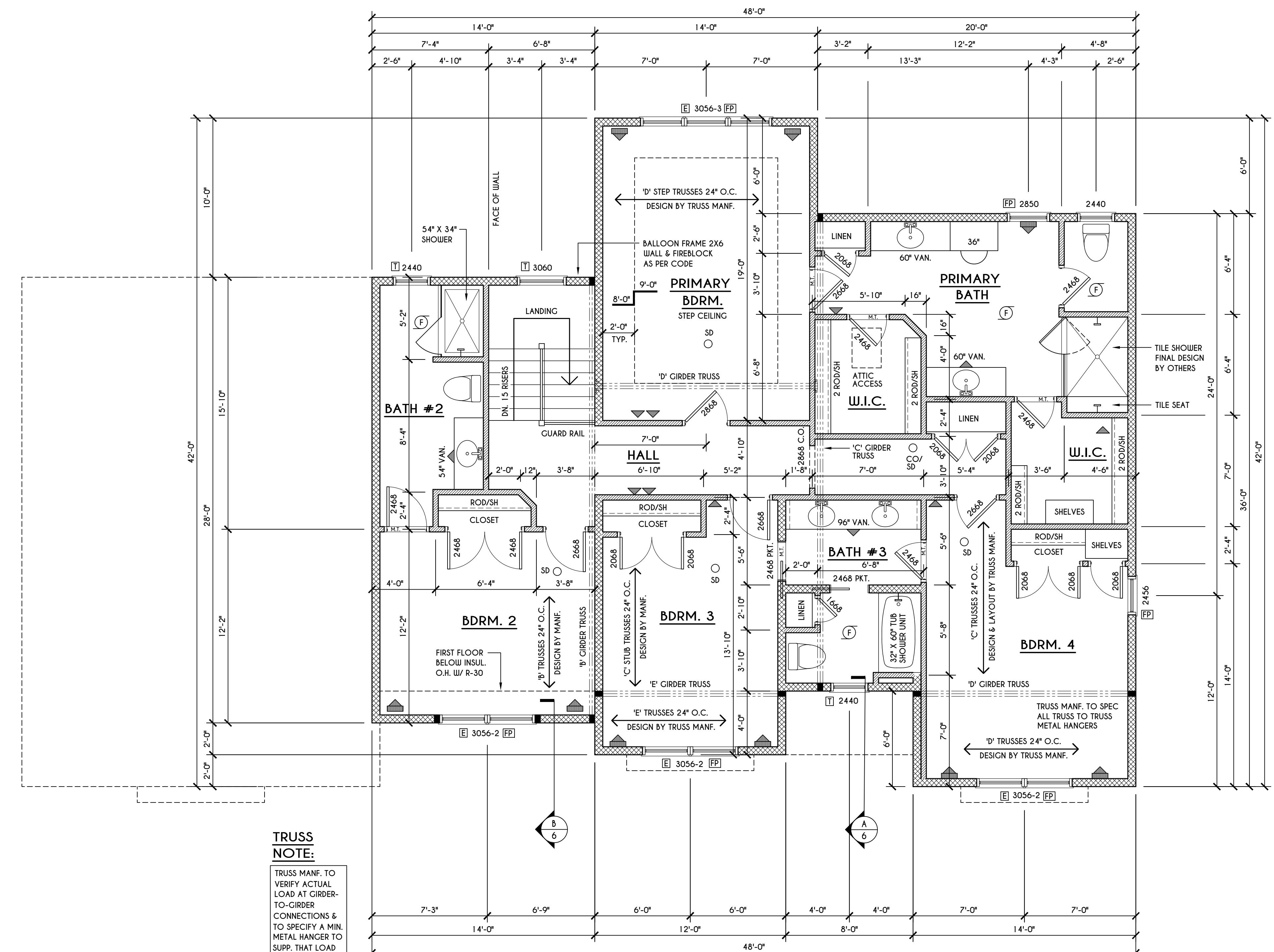
GENERAL ROOF NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

ROOF PLAN

SCALE: 1/8" = 1'-0"

[A] - 2X8 LAYOVER
 RAFTERS 24" O.C.



SECOND FLOOR PLAN

1628 SQ.FT.

SCALE: 1/4" = 1'-0"

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R3.10.2.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE
 UNIT REQUIRES SAFETY GLAZING
 PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW
 UNIT REQUIRES FACTORY APPLIED FALL PROTECTION
 PER SECT. R3.12.2 OF 2020 RCNYS

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" UNLESS NOTED OTHERWISE
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" L.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD) SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 9.1.5.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

FRAMING LEGEND:

- PROVIDE SOLID POSTING - GLUED & NAILED,
 EQUAL TO THE # OF Headers TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

COPYRIGHT NOTICE :
THESE PLANS ARE PROTECTED UNDER FEDERAL
COPYRIGHT LAWS BY GREATER LIVING
ARCHITECTURE, AND ARE NOT
REPRODUCED OR MODIFIED IN WHOLE OR IN PART
WITHOUT THE WRITTEN CONSENT OF THESE
PLANS IS A VIOLATION OF COPYRIGHT LAWS.
CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE
FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS
TO THIS PLAN IS A VIOLATION OF THE
NEW YORK STATE EDUCATION LAW,
ARTICLE 145, SECTION 7209.

COPYRIGHT © ALL RIGHTS RESERVED
GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA
TOWNLINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

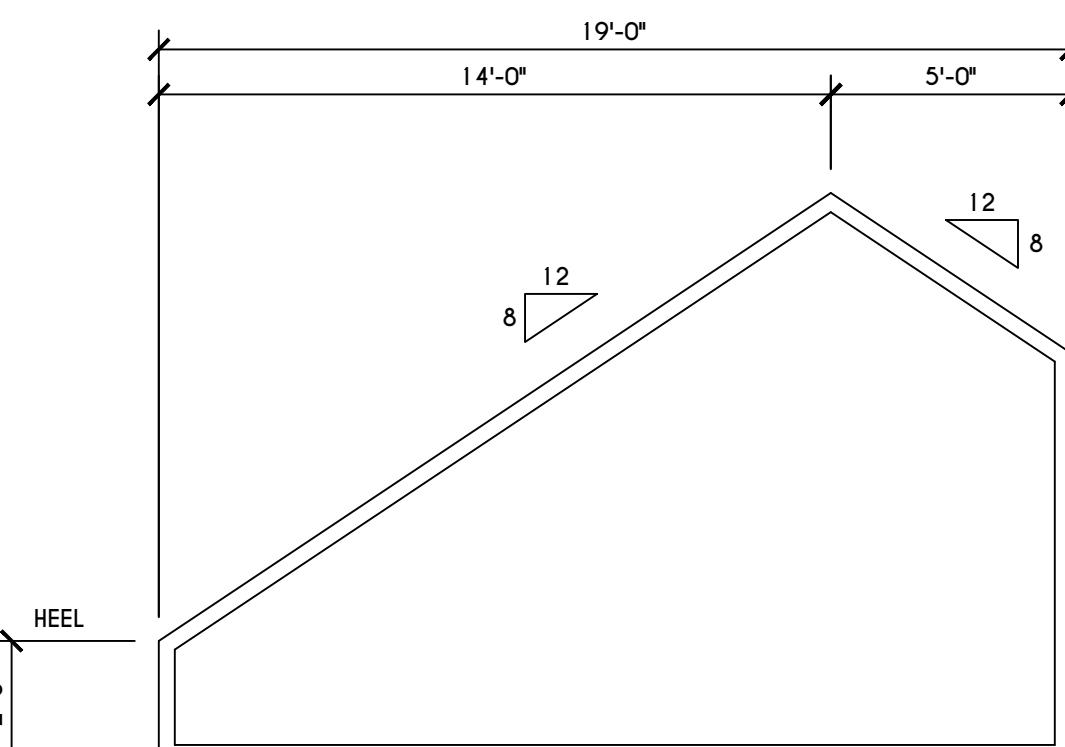
| REVISIONS: | | |
|------------|----|-------------|
| DATE | BY | DESCRIPTION |
| | | |
| | | |
| | | |
| | | |
| | | |

CLIENT/LOCATION:
SPEC HOME
LOT 63 BRIDLEROIDGE
PITTSFORD, NY

BUILDER:
COVENTRY RIDGE
BUILDING CORP.

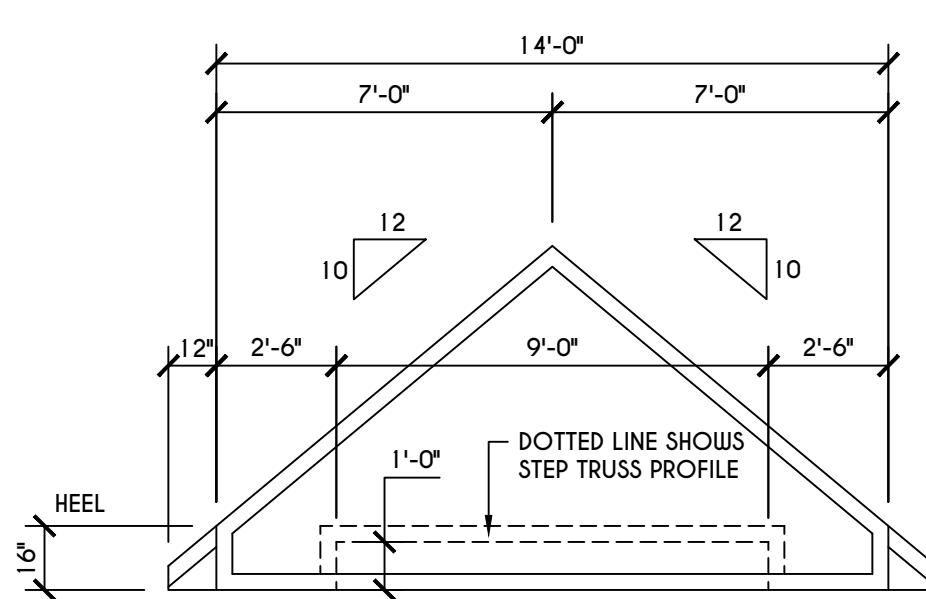
SECTIONS
GLA PLAN 3228

| | |
|-----------------|--------------|
| drawn: CDK | checked: CSB |
| scale: AS NOTED | date: 7/24 |
| PROJECT: 15381F | sheet: 6 |



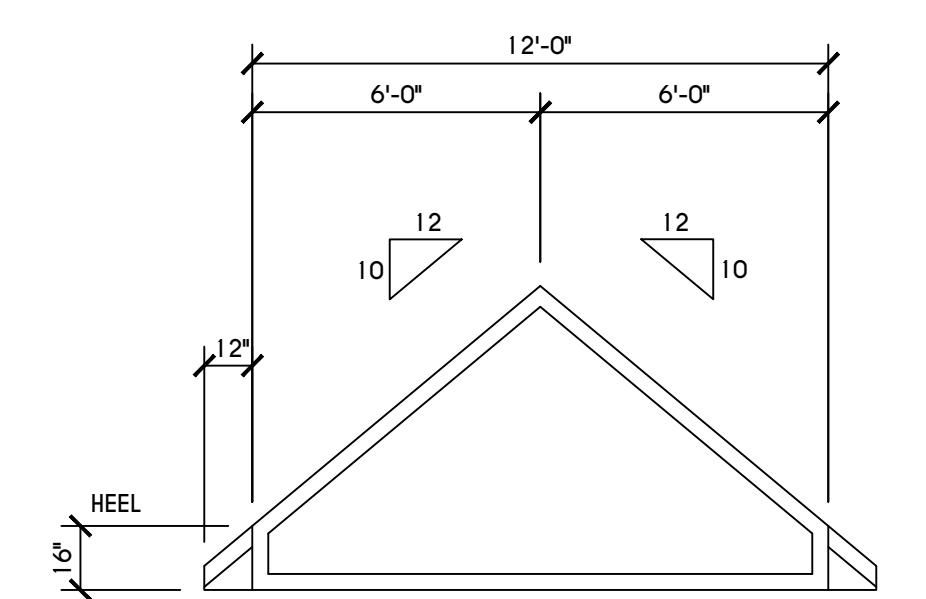
'C' STUB TRUSS PROFILE

SCALE: 1/4" = 1'-0"



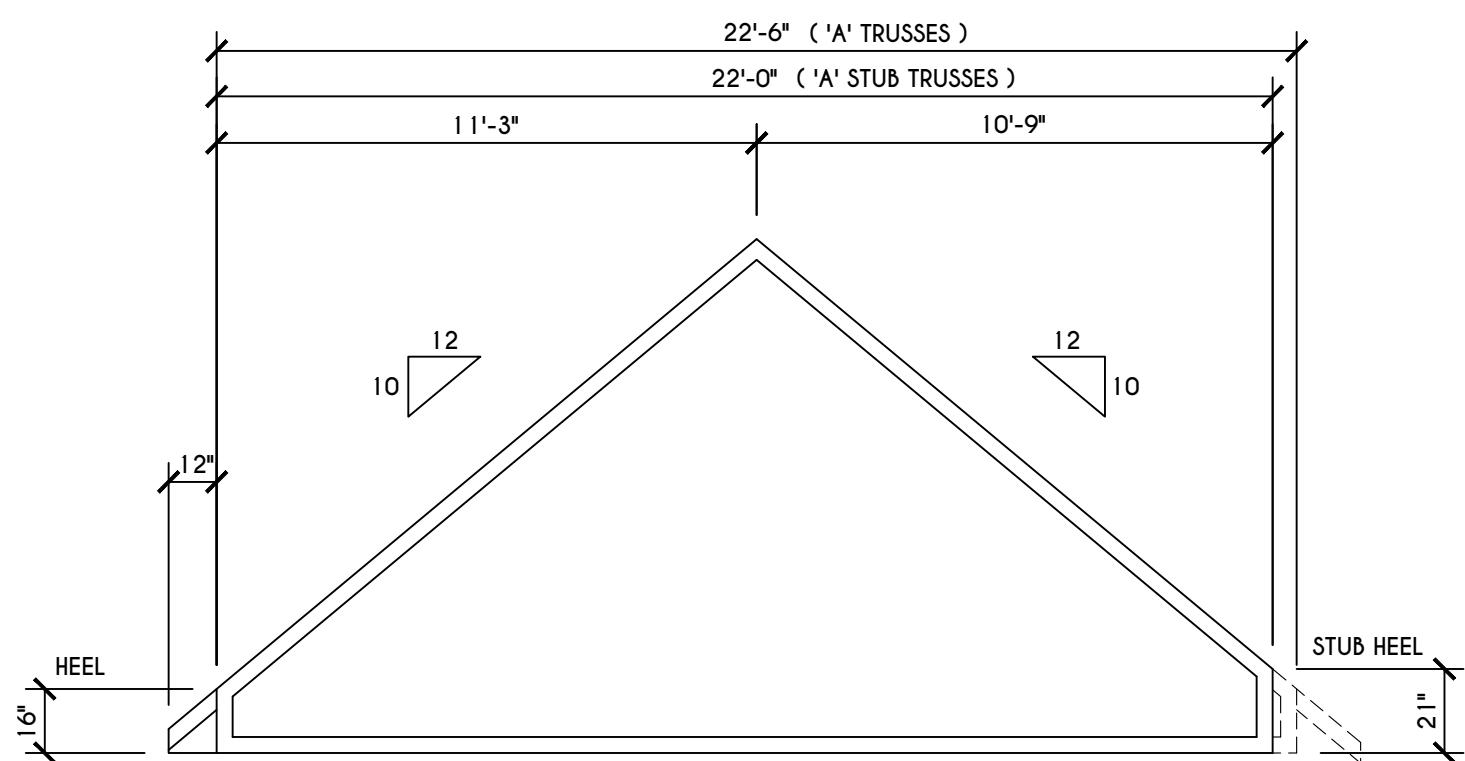
'D' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



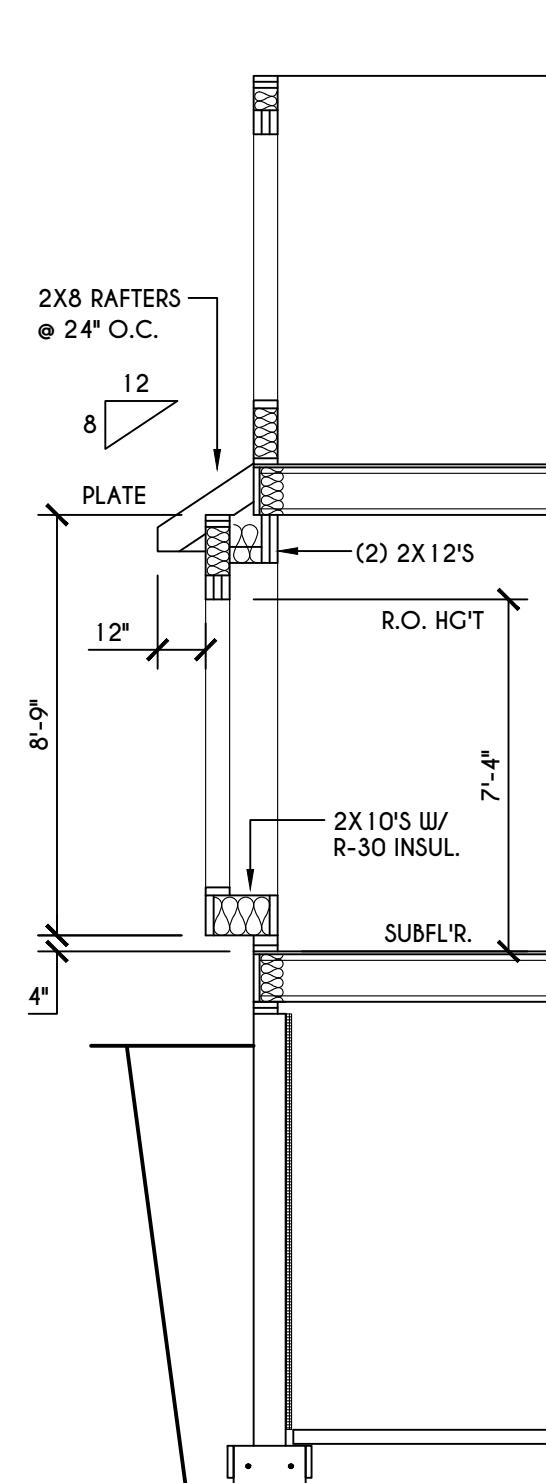
'E' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



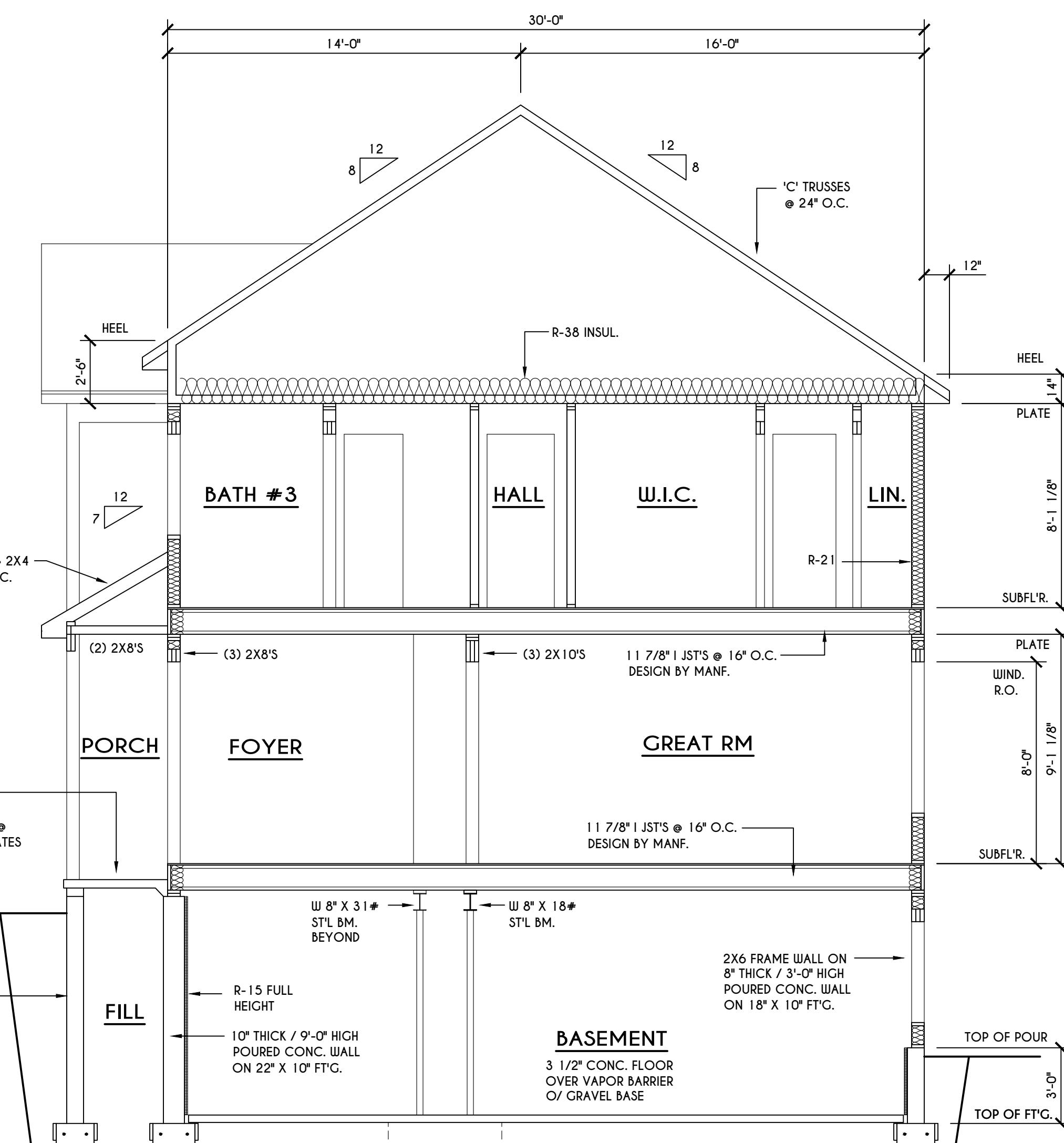
'A' TRUSS PROFILES

SCALE: 1/4" = 1'-0"



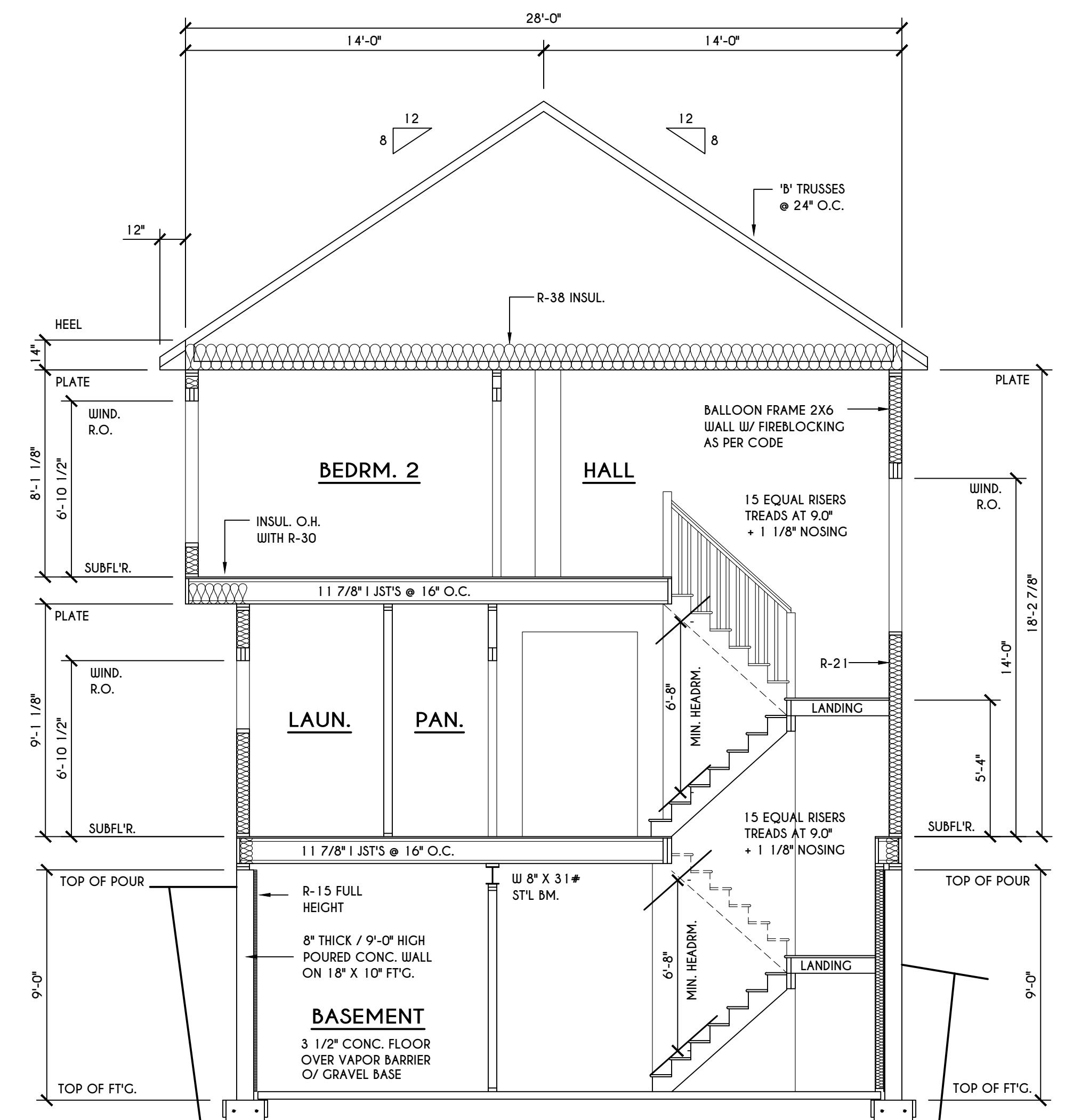
C BUILDING DETAIL
6

SCALE: 1/4" = 1'-0"



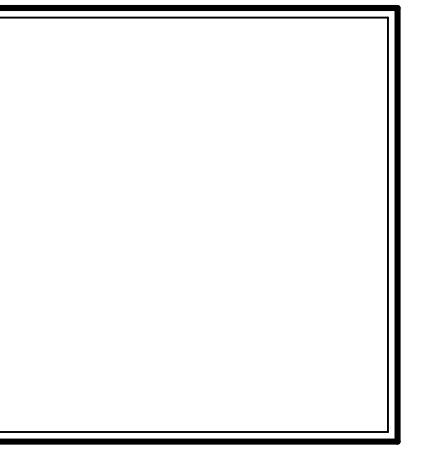
A BUILDING SECTION
6

SCALE: 1/4" = 1'-0"



B BUILDING SECTION
6

SCALE: 1/4" = 1'-0"



3033 BRIGHTON-HENRIETTA
TOWNSLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

| REVISIONS: | | |
|------------|----|-------------|
| DATE | BY | DESCRIPTION |
| | | |
| | | |
| | | |

CLIENT/LOCATION:

SPEC HOME
LOT 63 BRIDLERIDGE
PITTSFORD, NY

BUILDER:

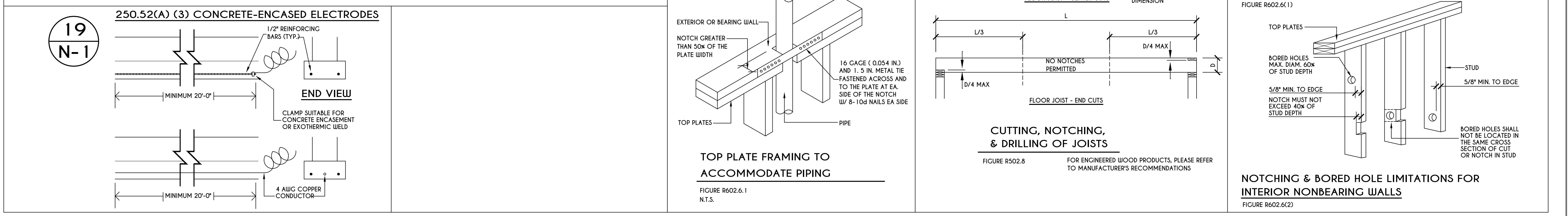
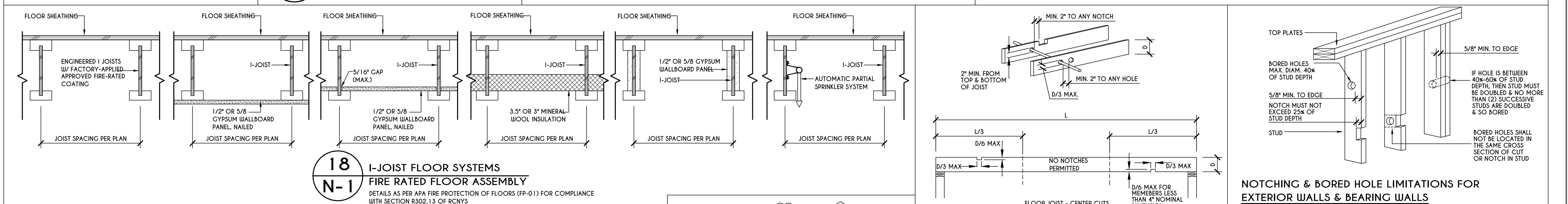
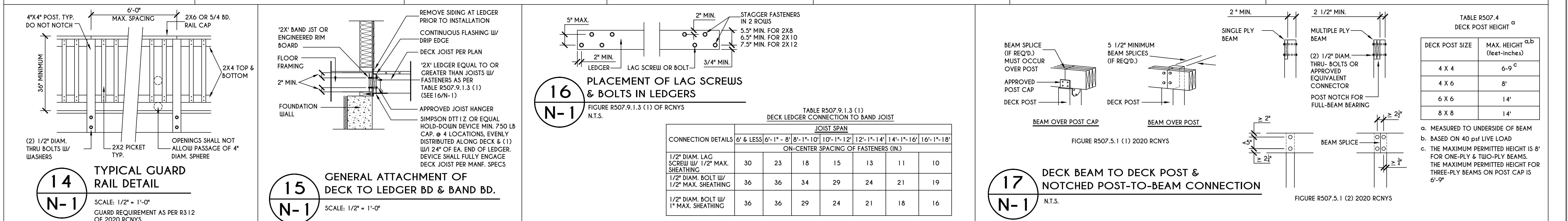
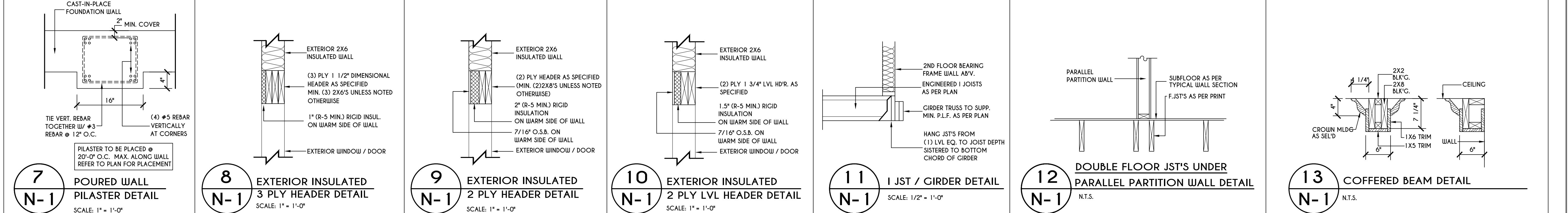
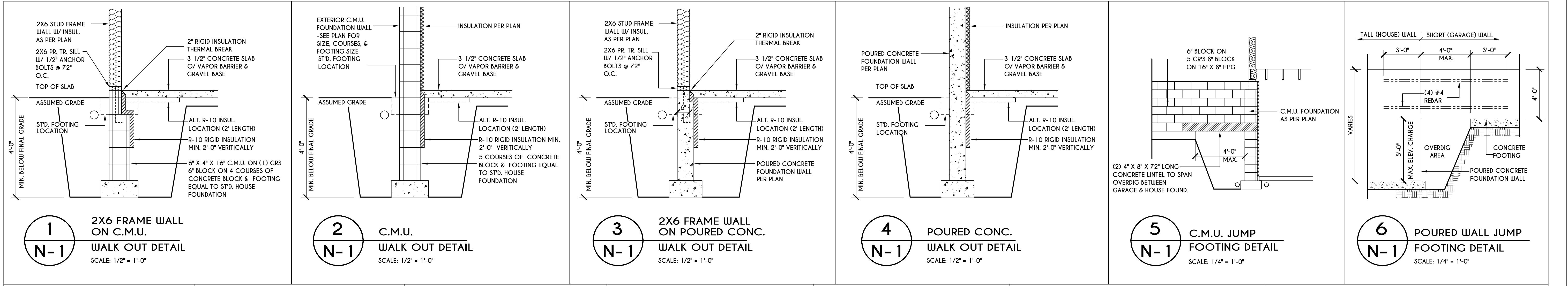
COVENTRY RIDGE
BUILDING CORP.

DETAILS

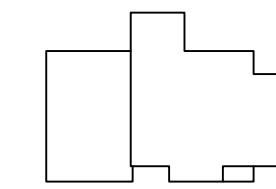
GLA PLAN 3228

| | |
|----------|----------|
| drawn: | checked: |
| CDK | CSB |
| scale: | date: |
| AS NOTED | 7 / 24 |

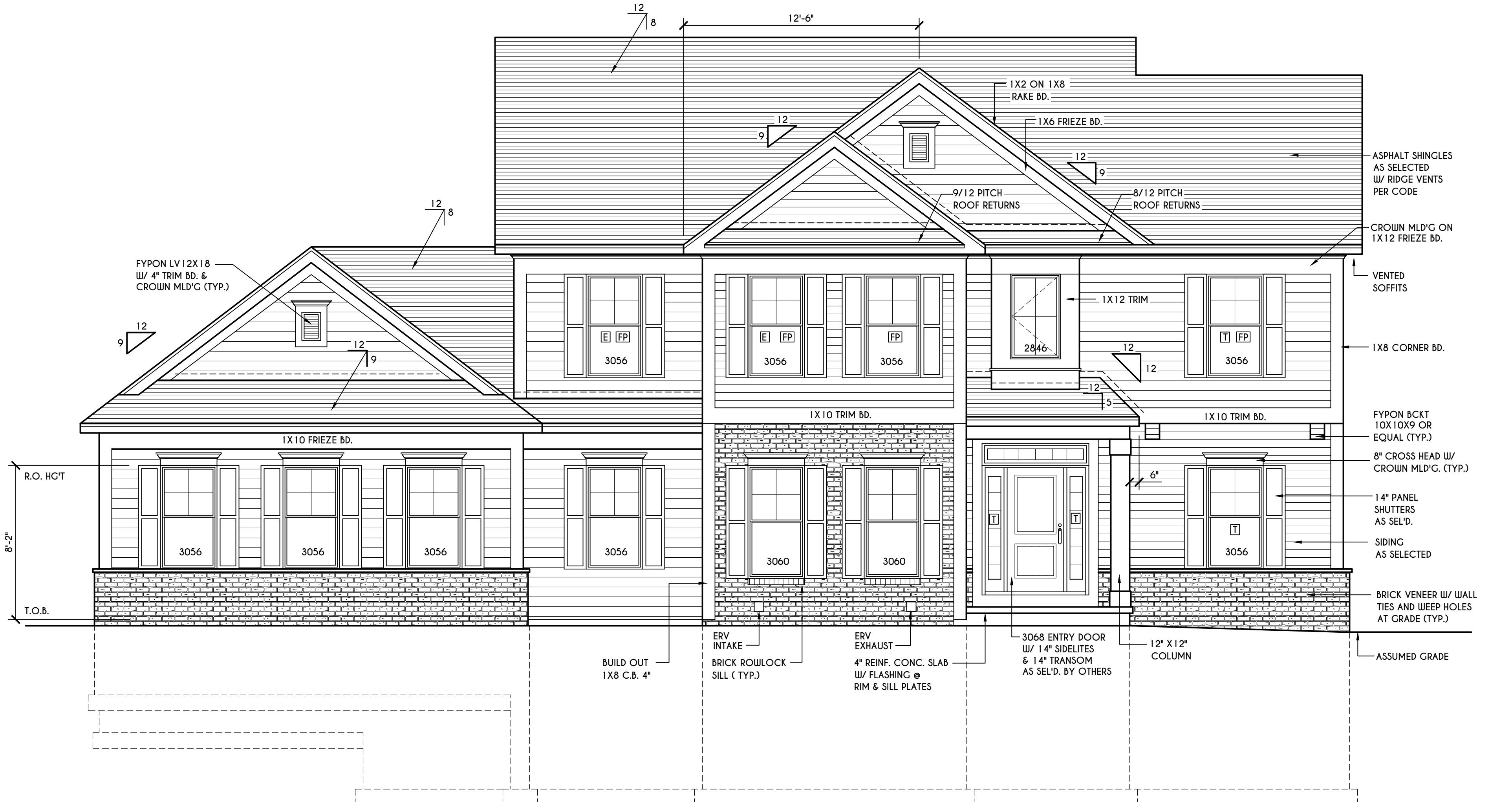
PROJECT: sheet: N 1



4 Bridleridge



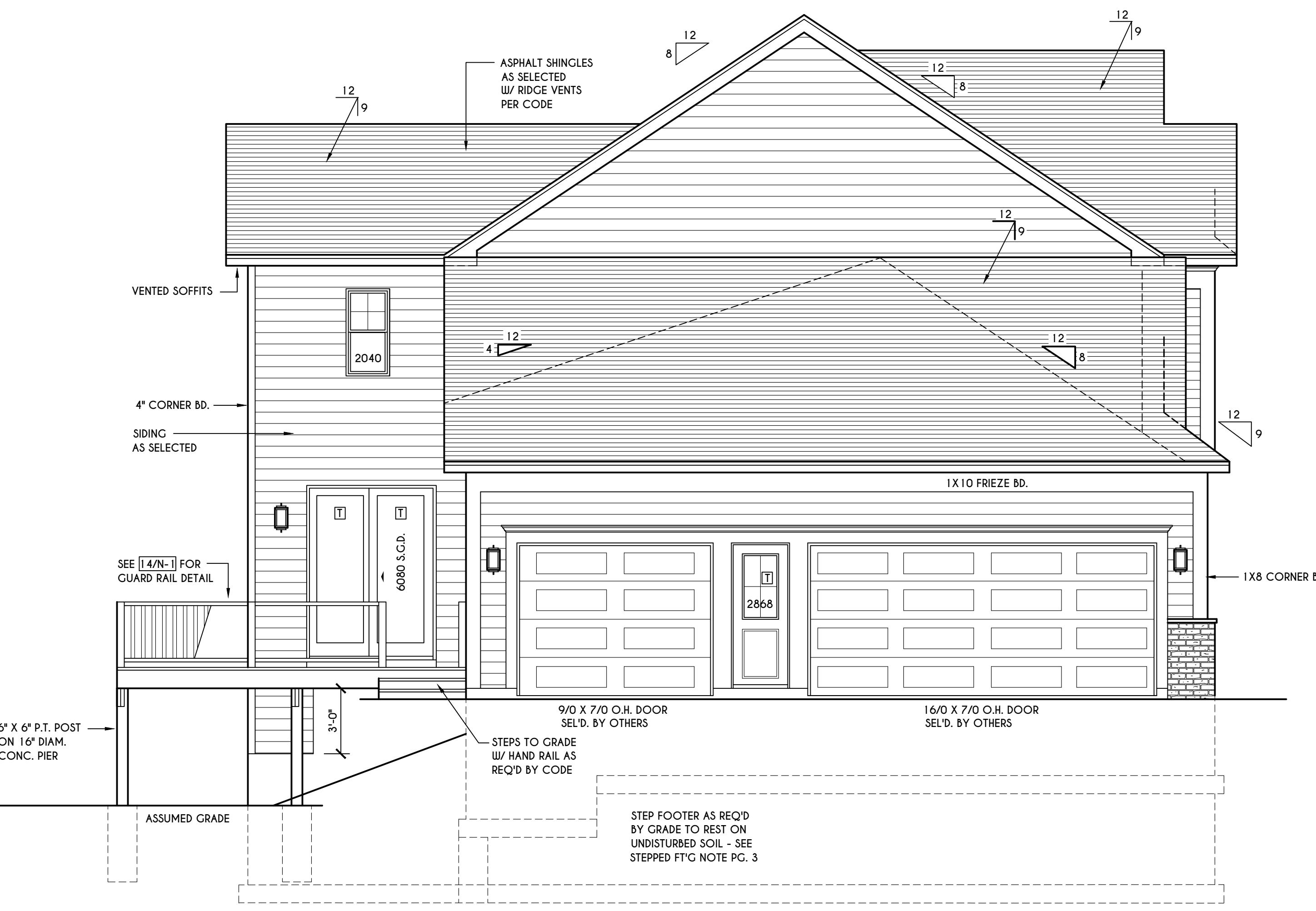
HOUSE FOOTPRINT
SCALE: 1" = 50'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1444 SQ.FT.
SECOND FLOOR LIVING AREA = 1482 SQ.FT.
TOTAL LIVING AREA = 2926 SQ.FT.
TOTAL CONDITIONED VOLUME = 40,902 CU.FT.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

| DWELLING UNIT (square feet) | NUMBER OF BEDROOMS | | | | |
|--------------------------------|--------------------|-----|-----|-----|-----|
| | 0-1 | 2-3 | 4-5 | 6-7 | > 7 |
| < 1,500 | 30 | 45 | 60 | 75 | 90 |
| 1,501-3,000 | 45 | 60 | 75 | 90 | 105 |
| 3,001-4,500 | 60 | 75 | 90 | 105 | 120 |
| 4,501-6,000 | 75 | 90 | 105 | 120 | 135 |
| 6,001-7,500 | 90 | 105 | 120 | 135 | 150 |
| > 7,500 | 105 | 120 | 135 | 150 | 165 |

FOR SI: 1 square foot = 0.0929 m², 1 cubic foot per min = 0.0004719 m³/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}

| RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT | AIRFLOW IN CFM | | | | | |
|--|----------------|-----|-----|-----|-----|------|
| | 25% | 33% | 50% | 66% | 75% | 100% |
| FACTOR ^a | 4 | 3 | 2 | 1.5 | 1.3 | 1.0 |

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

| AREA TO BE EXHAUSTED | EXHAUST RATES | | | | | |
|----------------------------|--|---|--|--|--|--|
| | KITCHENS | 100 cfm INTERMITTENT OR 25 cfm CONTINUOUS | | | | |
| BATHROOMS- TOILET ROOMS | MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS | | | | | |

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s

WINDOWS: VUD 210C DH SOLAR GAIN W/ ARGON
U-FACTOR 0.30
SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INTRUSION RATES FOR DOORS TO BE NO MORE THAN 0.3 cfm/s & SWING DOORS NO MORE THAN 0.5 cfm/s. AS PER SECT. R402.4.3 OF 2020 ECCCNY'S

WINDOW / DOOR LEGEND:

= MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

= SPECIFIES THAT THE FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

= SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE VENTERS AS PER CODE. CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WOULD ALTER THE DESIGN AND / OR STRUCTURE NOTED.

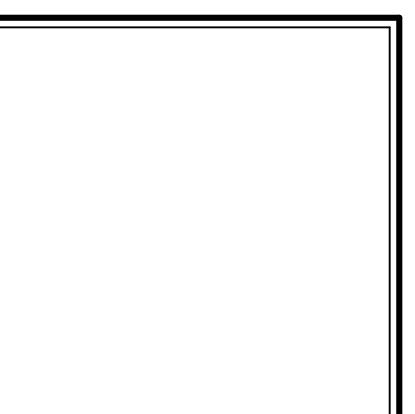
MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

COPYRIGHT NOTICE:
THESE PLANS ARE PROTECTED UNDER FEDERAL
COPYRIGHT LAWS BY GREATER LIVING
ARCHITECTURE, AND ARE AUTHORIZED
REPRODUCTION FOR NON-FINANCIAL USE
ONLY. ANY OTHER USE IS A VIOLATION OF COPYRIGHT LAWS.
CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE
FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS
TO THIS PLAN IS A VIOLATION OF THE
NEW YORK STATE EDUCATION LAW,
ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED
GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA
TOWNELINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:
DATE BY DESCRIPTION

CLIENT/LOCATION:
SPEC HOUSE
LOT 67 BRIDLERIDGE FARMS
PITTSFORD, NY

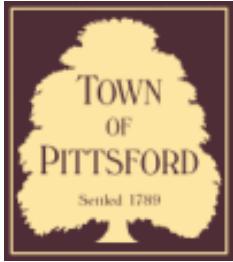
BUILDER:
COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS

GLA PLAN 2926

drawn: CDK checked: CSB
scale: AS NOTED date: 11 / 23

PROJECT: sheet:
15420H 1 6



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S24-000008

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Sign & Lighting Services LLC

Application Type:

- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting design review for signage for Dick's Going Going Gone.

Meeting Date: August 22, 2024



EXISTING CONDITIONS



PROPOSED: SQ. FT. 67.86



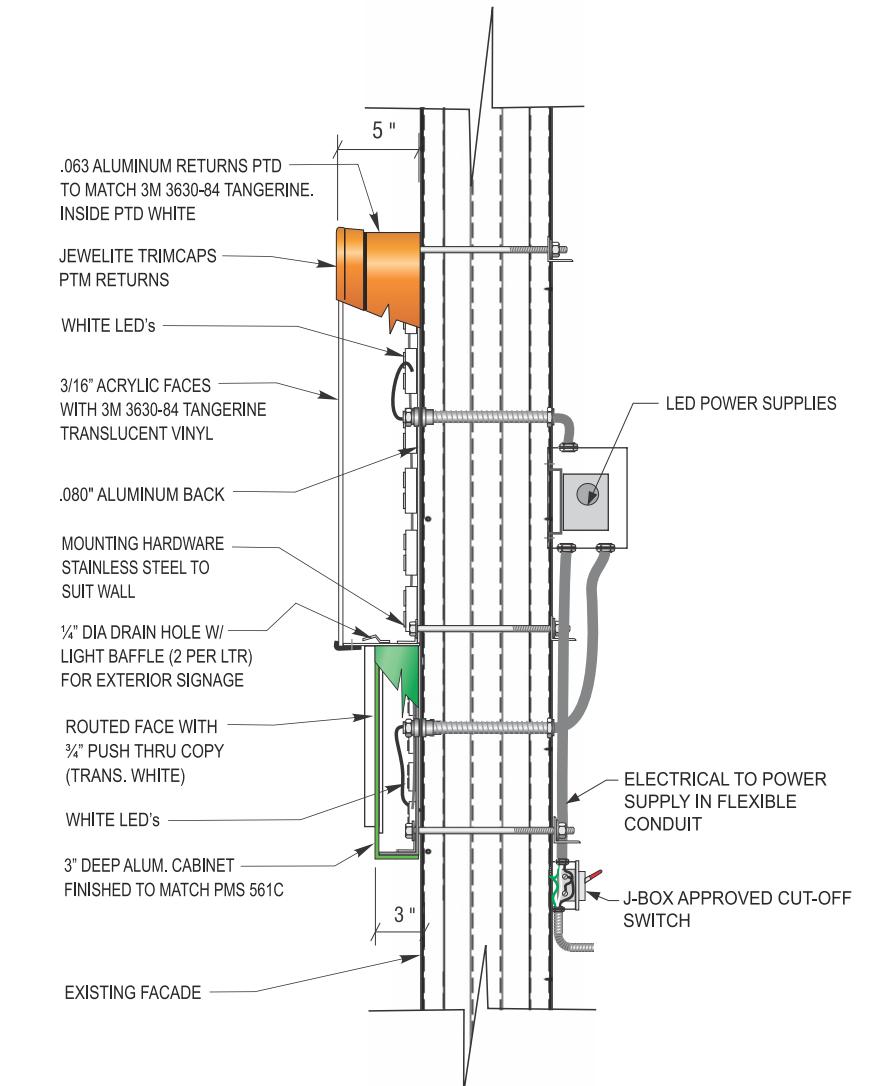
1 SET REQUIRED

1 NEW ILLUMINATED LOGO & CHANNEL LETTERS 67.95 Sq. Ft.

SCALE: 3/8" = 1'-0"

COLOR SPECIFICATIONS

| | |
|---|------------------------------------|
| | PAINTED TO MATCH PMS 561C |
| | PAINTED TO MATCH PMS 151C |
| | #7725-066 3M FOREST GREEN (OPAQUE) |
| | #3630-84 3M TANGERINE (TRANS.) |
| | #7725-22 3M BLACK (OPAQUE) |
| | #3630-33 3M RED (TRANS.) |
| | #3630-51 3M SILVER (TRANS.) |
| | WHITE SIGN FACE |



SECTION @ L.E.D. LTR

NOT TO SCALE



EXISTING CONDITION



PROPOSED: SQ. FT. 165



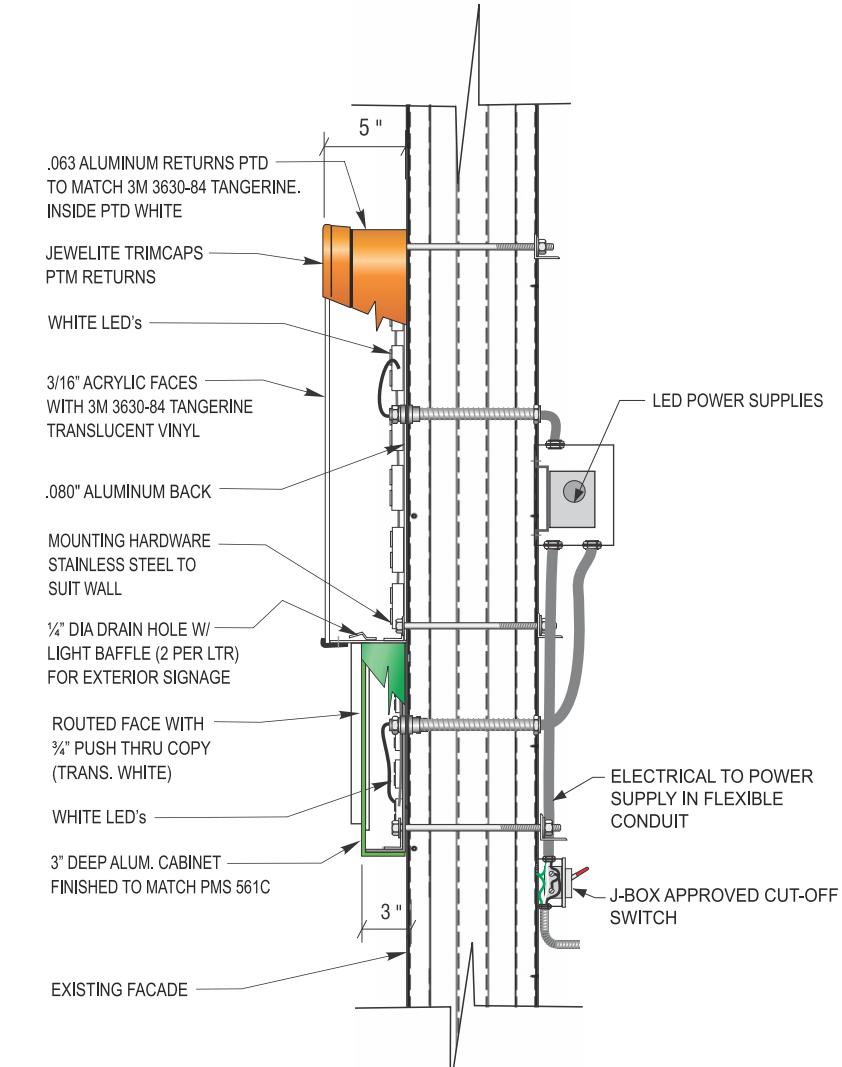
1 SET REQUIRED

2 NEW ILLUMINATED LOGO & CHANNEL LETTERS 156.18 Sq. Ft.

SCALE: 3/8" = 1'-0"

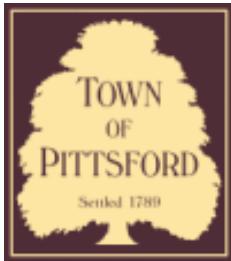
COLOR SPECIFICATIONS

| | |
|--|------------------------------------|
|  | PAINTED TO MATCH PMS 561C |
|  | PAINTED TO MATCH PMS 151C |
|  | #7725-066 3M FOREST GREEN (OPAQUE) |
|  | #3630-84 3M TANGERINE (TRANS.) |
|  | #7725-22 3M BLACK (OPAQUE) |
|  | #3630-33 3M RED (TRANS.) |
|  | #3630-51 3M SILVER (TRANS.) |
|  | WHITE SIGN FACE |



SECTION @ L.E.D. LTR
NOT TO SCALE

| # | REV.#/DATE/DESCRIPTION: | BY | DATE/DESCRIPTION: | SHEET # |
|---|--|-----|-------------------|---------|
| △ | 12.14.23 CHANGED PILL BOX TO VINYL | DSE | | DSE |
| △ | 01.18.24 ADDED 3RD SIGN ON SIDE ELEVATION PER MARKUP | DSE | | DSE |
| △ | 07.25.24 REMOVED 1 SET CHANNEL LETTERS | DSE | | DSE |
| | | | | 2 |



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA24-000002

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 55 Mitchell Road PITTSFORD, NY 14534

Tax ID Number: 164.11-2-12.11

Zoning District: RN Residential Neighborhood

Owner: Sands, Mackenzie

Applicant: Sands, Mackenzie

Application Type:

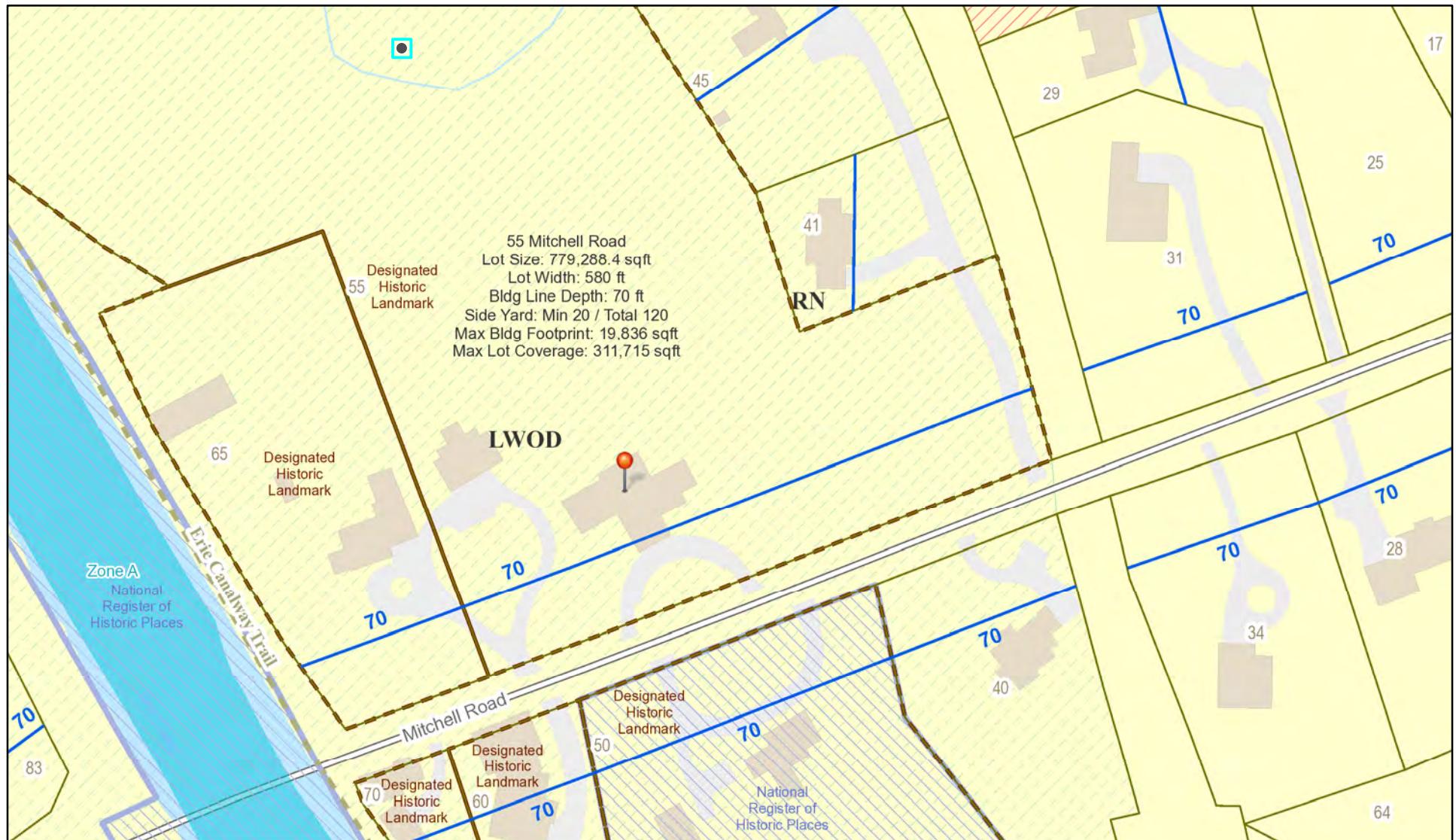
- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: August 22, 2024



RN Residential Neighborhood Zoning



Printed June 20, 2024

1:2.257

A number line representing distance in feet. The line starts at 0 and ends at 380 ft. It has tick marks every 25 m (25 meters). The labels are 0, 25, 50, 100, m, 190, 95, and 380 ft. The 'm' label is positioned between 100 and 190, indicating meters. The 'ft' label is at the far right end of the line.

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

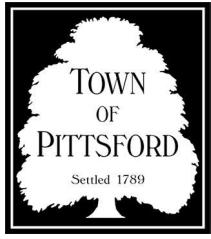


Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

20 ft

nearmap



TOWN OF PITTSFORD

Design Review & Historic Preservation Board

Application for Certificate of Appropriateness

Case # _____

1. Property Address: 55 Mitchell Road

2. Tax Account Number: 164.11-2-12.11

3. Applicant's Name: Steele Landscape Architecture (Sue Steele)

Address: 770 Ayrault Rd #1108

| | | | |
|----------|----------|----------------|-----------------------|
| Street | Phone: | (585) 747-9996 | |
| Fairport | New York | 14450 | E-mail: sue@steele.la |
| City | State | Zip Code | |

4. Applicant's Interest in Property:

Owner: Lessee: Holding Purchase Offer:

Other (explain): Owner's Representative, Landscape Architect

5. Owner (if other than above): Jennifer Sands

Address: 55 Mitchell Rd

| | | | |
|-----------|--------|----------|---------|
| Street | Phone: | | |
| Pittsford | NY | 14534 | E-mail: |
| City | State | Zip Code | |

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: Steele Landscape Architecture

Address: 770 Ayrault Rd #1108

| | | | |
|----------|--------|----------------|-----------------------|
| Street | Phone: | (585) 747-9996 | |
| Fairport | NY | 14450 | E-mail: sue@steele.la |
| City | State | Zip Code | |

7. Project Design Professional (if Available): (same as applicant)

Address: _____

| | | | |
|--------|--------|----------|---------|
| Street | Phone: | | |
| | | | |
| City | State | Zip Code | E-mail: |

8. Project Contractor (*if Available*): TBD

Address: _____ Street _____ Phone: _____
_____ City _____ State _____ Zip Code _____
E-mail: _____

9. Present use of Property: Residence

10. Zoning District of Property: RN & LWRP

11. Is the property located in a Town Designated Historic District?
Yes No Locally designated landmark

12. Is the property listed on the National Registry of Historic Places?
Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?
Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

No exterior architectural modifications to structures are proposed. Proposed project is site and landscape work only.

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

Project includes: (1) Rehabilitation of the existing driveway, including minor radius changes to improve maneuverability, line-of-sight safety at Mitchell Rd, and addition of a landscaped 2-car parking area with accent paving. (2) Rehabilitation of dilapidated fence along Mitchell Rd and addition of matching historic-style fence along driveway frontage. (3) Proposed landscaping, including removal of privet hedge (currently in right-of-way) and replacement with traditional beech hedge (out of right-of-way), along with additional landscaping and trees. See included design packet, existing and proposed drawing sheets. Optional masonry pier add-on (to proposed fence at driveway entrances) also submitted for review.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

N/A

16. Additional materials submitted with this application (*if available*):

| | |
|---|--|
| <input checked="" type="checkbox"/> Parcel map | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input checked="" type="checkbox"/> Architectural plans |
| <input checked="" type="checkbox"/> Other materials | Fence design, 3D renderings |

Applicant Certification:

****SEE SIGNED SIGNATURE PAGE - SEPARATE FILE****

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Signature of applicant

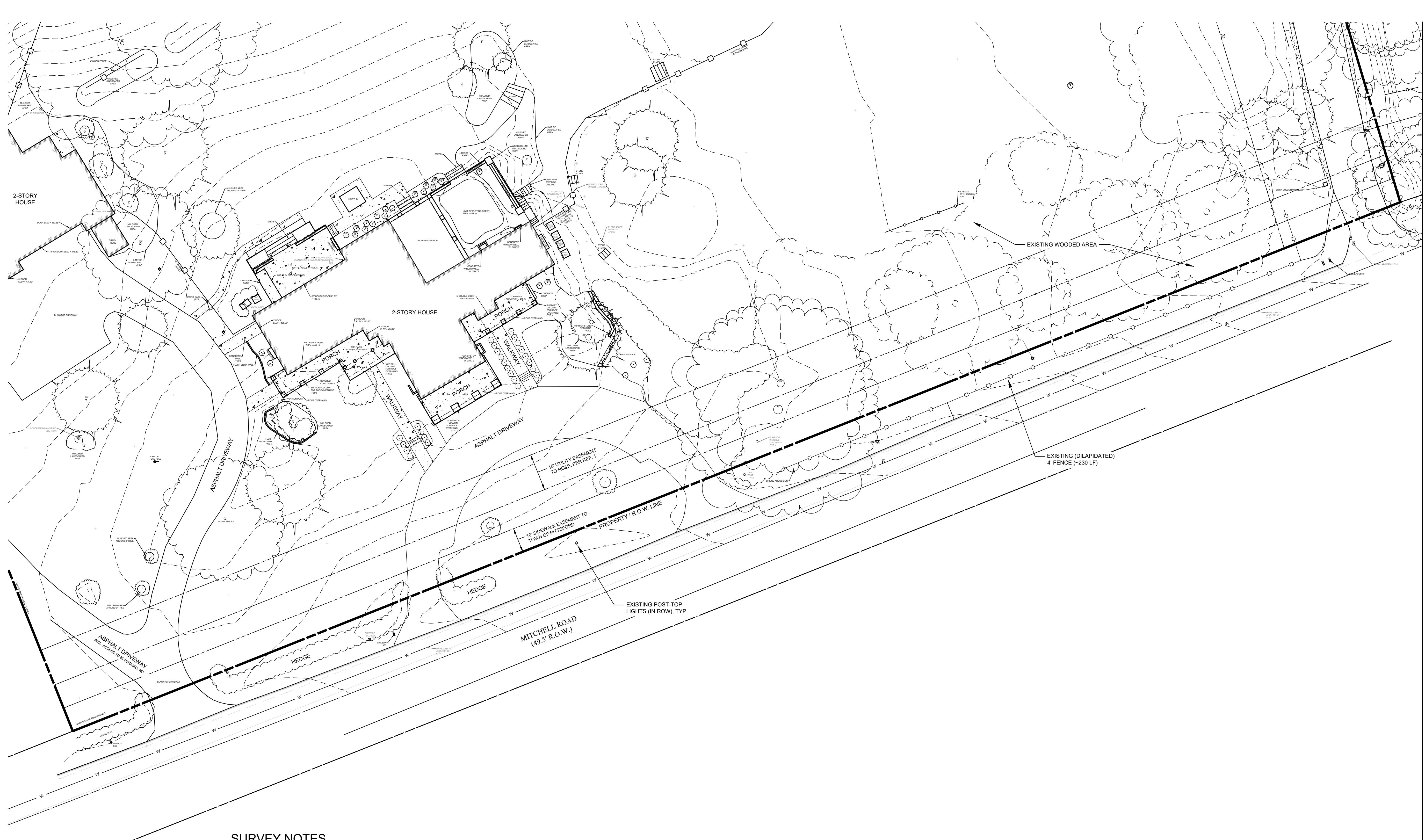
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____



SURVEY NOTES

1. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED.
2. TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 2/13/2024 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT

PITTSFORD CORS STATION
 -LATITUDE: 43-05-35.48461 (N) NAD 83 (CORS)
 -LONGITUDE: 077-31-31.1244 (W)
 -ELLIP HEIGHT: 113.481 METERS NAVD 88 (CORS)

REFERENCES

1. MAP ENTITLED "PLAN OF LAND OWNED BY LYNDON H. WELLS JR." CREATED BY THE MRB GROUP DATED 08/11/1999

UTILITY INFORMATION

UTILITY INFORMATION PER UFPO DESIGN TICKET # 02094-000-112-00
 DATED FEBRUARY 9, 2024

| | |
|-------------------------------|---------------------------------------|
| WINDSTREAM SERVICES | 800-289-1901 (NO CONFLICT) |
| ELANTIC TELECOM INC. | 800-289-1901 (NO RESPONSE) |
| MCI | 716-845-9256 (NO RESPONSE) |
| MONROE COUNTY WATER AUTHORITY | 585-442-200 X 285 (UTILITIES PLOTTED) |
| ROCHESTER GAS AND ELECTRIC | 585-771-4745 NO CONFLICT |
| CHARTER COM NORTHEAST W. NY | 317-575-7800 X2 (NO RESPONSE) |
| VILLAGE OF PITTSFORD | 585-586-9320 (NO RESPONSE) |
| PITTSFORD SEWER DISTRICT #1 | 585-248-6490 (NO RESPONSE) |

SITE DATA

1. EXISTING ZONING: RN & LWRP (LOCAL WATERFRONT REVITALIZATION PROGRAM)
2. BULK REQUIREMENTS: REQUIRED

| | |
|------------------------------|--------|
| MIN. LOT AREA (SF) | 30,000 |
| MIN. LOT WIDTH (FT) | 150 |
| MAX. BUILDING HEIGHT (FT) | 40 |
| MIN. FRONT YARD SETBACK (FT) | 70 |
| MIN. SIDE YARD SETBACK (FT) | 25 |
| MIN. REAR YARD SETBACK (FT) | 50 |

55 MITCHELL ROAD
 TAX PARCEL NO.164.11-2-12.11

TOWN OF PITTSFORD
 COUNTY OF MONROE, STATE OF NEW YORK



0 20 40
 SCALE: 1" = 20'

**DRHPB SUBMITTAL
 NOT FOR CONSTRUCTION**

Steele
 LANDSCAPE ARCHITECTURE
 770 Ayrault Road #1108
 Fairport, New York 14450
 (585) 747-9996
 steele.la

WARNING
 IT IS VIOLATION OF THE LAW NEW YORK STATE EDUCATION LAW TITLE 8, ARTICLE 148 AND SUBPART 79-15 OF THE REGULATIONS OF THE STATE EDUCATION DEPARTMENT FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON A PLAN, SPECIFICATION OR REPORT PREPARED BY THE SAME. THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE ALTERATION MUST BE INDICATED BY A LINE DRAWING OVER THE SEAL AND THE NOTATION ALTERED BY FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address

Front Entry Landscape Rehabilitation

Location

Private Residence
 55 Mitchell Road
 Pittsford, New York 14534

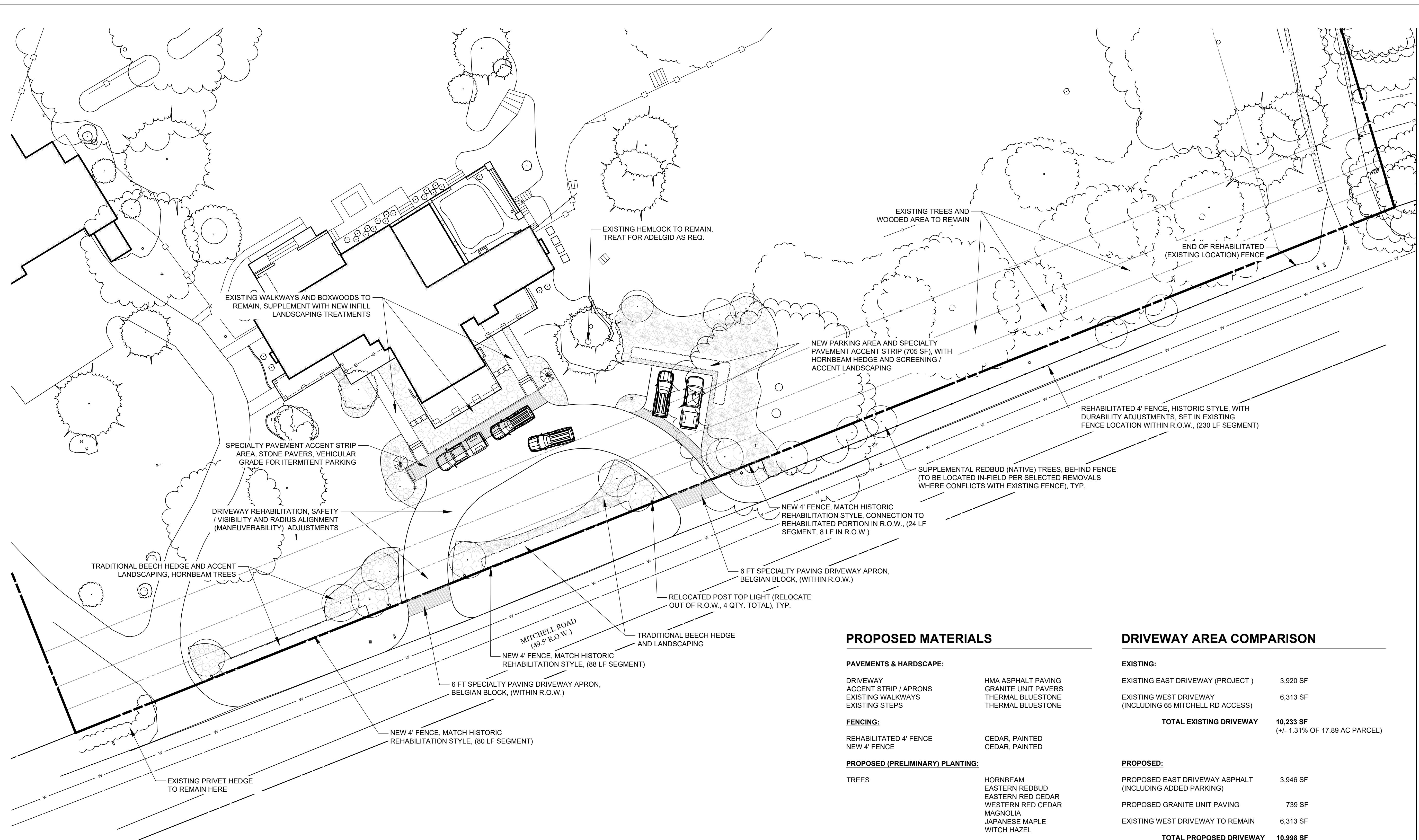
Issue Date: JUNE 3, 2024

No. Date Revision

Drawing Title

Existing Conditions Plan

EX-01



PROPOSED MATERIALS

PAVEMENTS & HARDCAPE:

DRIVEWAY
ACCENT STRIP / APRONS
EXISTING WALKWAYS
EXISTING STEPS

HMA ASPHALT PAVING
GRANITE UNIT PAVERS
THERMAL BLUESTONE
THERMAL BLUESTONE

FENCING:

REHABILITATED 4' FENCE
NEW 4' FENCE

CEDAR, PAINTED
CEDAR, PAINTED

PROPOSED (PRELIMINARY) PLANTING:

TREES

HEDGES (PRIVET REPLACEMENT)

SHRUBS, OTHER PLANTINGS

DRIVEWAY AREA COMPARISON

EXISTING:

EXISTING EAST DRIVEWAY (PROJECT) 3,920 SF
EXISTING WEST DRIVEWAY (INCLUDING 65 MITCHELL RD ACCESS) 6,313 SF

TOTAL EXISTING DRIVEWAY 10,233 SF
(+/- 1.31% OF 17.89 AC PARCEL)

PROPOSED:

PROPOSED EAST DRIVEWAY ASPHALT (INCLUDING ADDED PARKING) 3,946 SF
PROPOSED GRANITE UNIT PAVING 739 SF
EXISTING WEST DRIVEWAY TO REMAIN 6,313 SF

TOTAL PROPOSED DRIVEWAY 10,998 SF
(+/- 1.41% OF 17.89 AC PARCEL)

Steele
LANDSCAPE ARCHITECTURE

770 Ayrault Road #1108
Fairport, New York 14450
(585) 747-9996
steele.la

WARNING
IT IS VIOLATION OF THE LAW NEW YORK STATE EDUCATION LAW TITLE 8, ARTICLE 148 AND SUBPART 79-1 OF THE REGULATIONS OF THE STATE EDUCATION DEPARTMENT THAT NO PLAN, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT, TO ALTER ANY ITEM ON A PLAN, SPECIFICATION, OR REPORT, BE MADE, SINCE THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE ALTERATION MUST BE MADE BY A LICENSED LANDSCAPE ARCHITECT, WHO WILL SIGN THE PLAN, RESEAL IT WITH THE SEAL AND THE NOTATION ALTERED BY FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address

Front Entry Landscape Rehabilitation

Location
Private Residence
55 Mitchell Road
Pittsford, New York 14534

Issue Date: JUNE 3, 2024

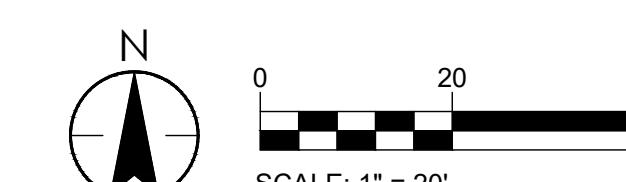
No. Date Revision

Drawing Title

Rehabilitation Site Plan

**DRHPB SUBMITTAL
NOT FOR CONSTRUCTION**

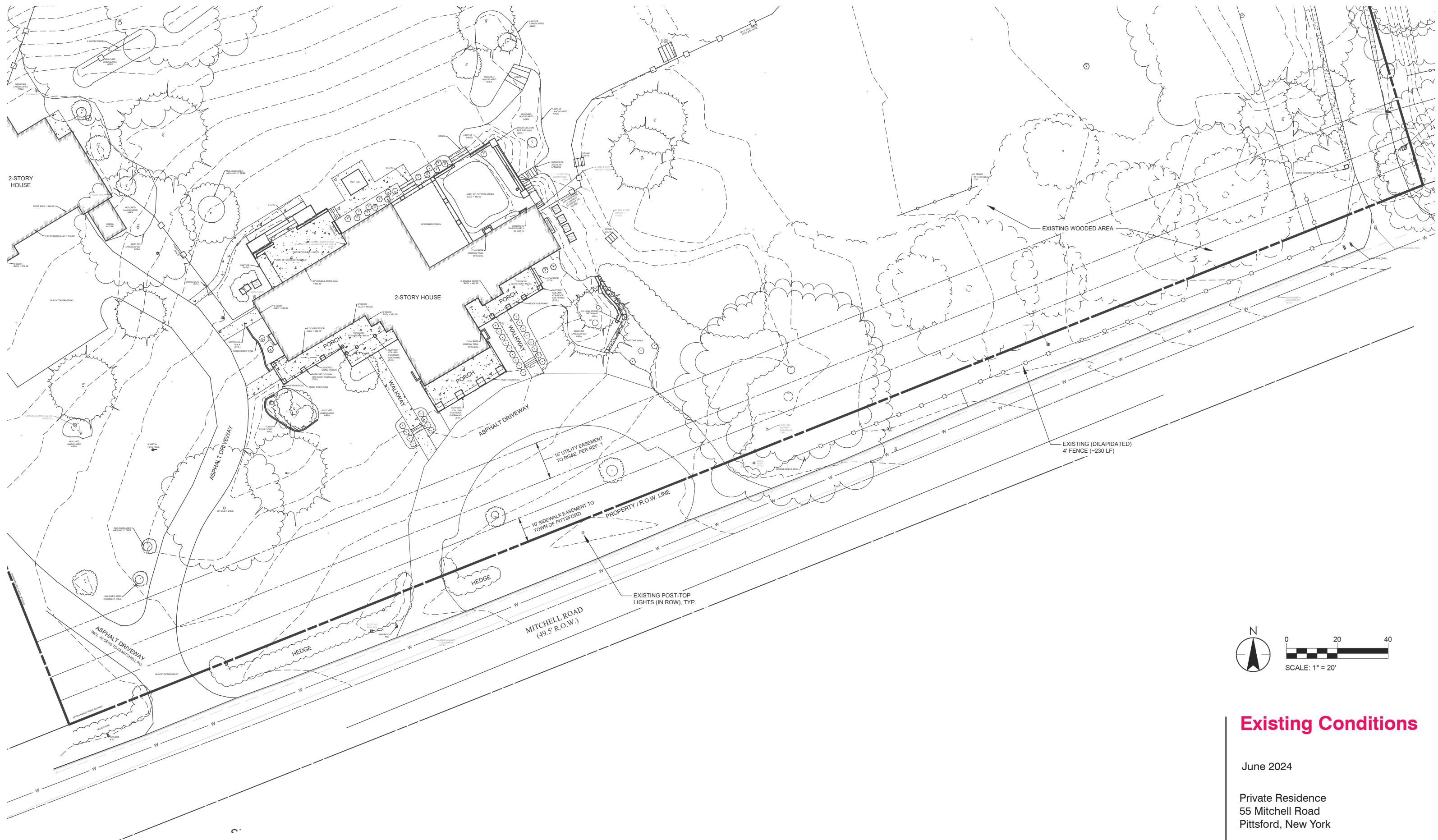
L-01



55 Mitchell Road
Front Entry
Landscape Rehabilitation

June 2024
DRHPB Review Submittal

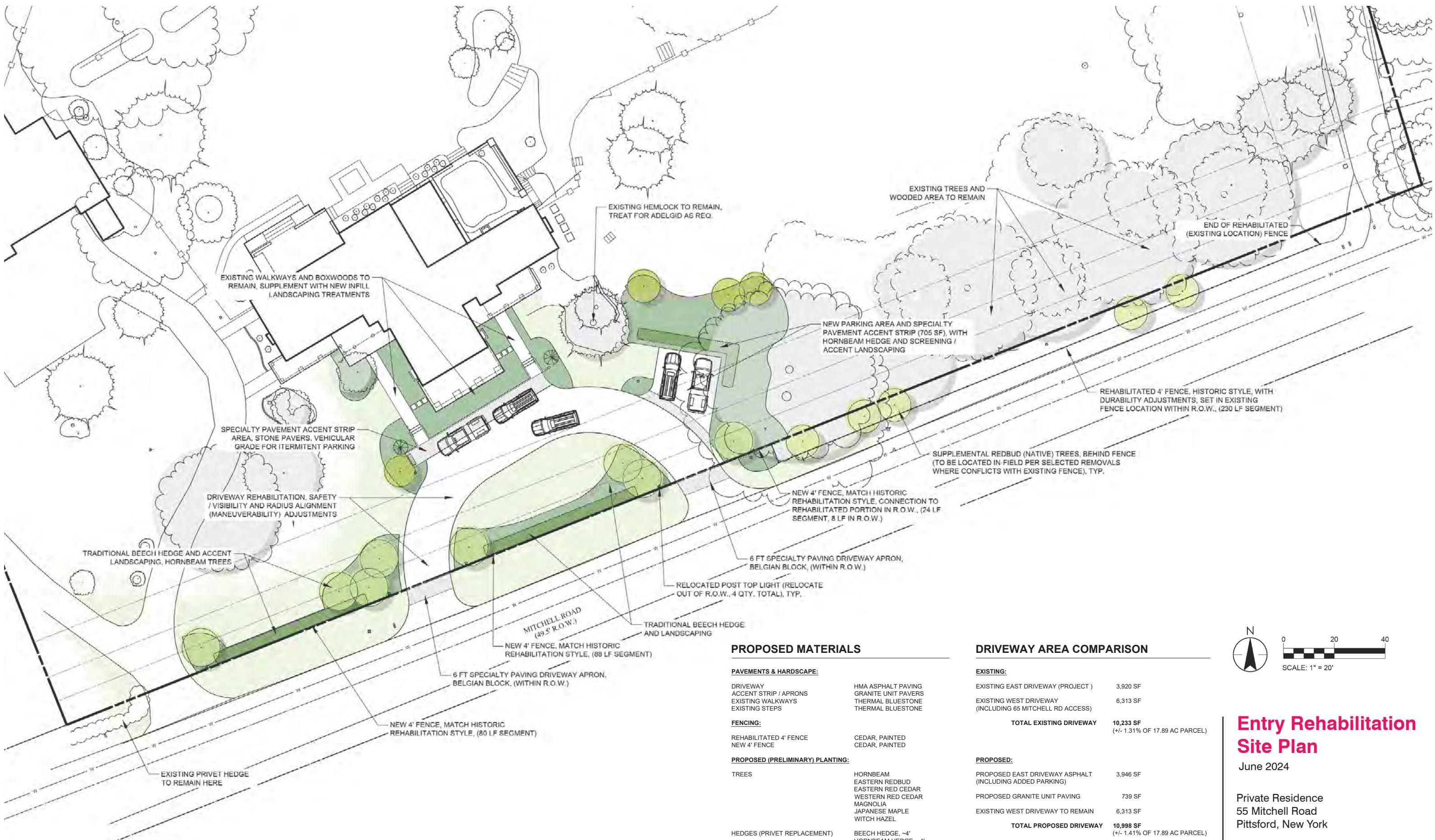




Existing Conditions

June 2024

Private Residence
55 Mitchell Road
Pittsford, New York



Entry Rehabilitation Site Plan

June 2024

Private Residence
55 Mitchell Road
Pittsford, New York



Entry Rehabilitation Drive Entry Section

June 2024

Private Residence
55 Mitchell Road
Pittsford, New York



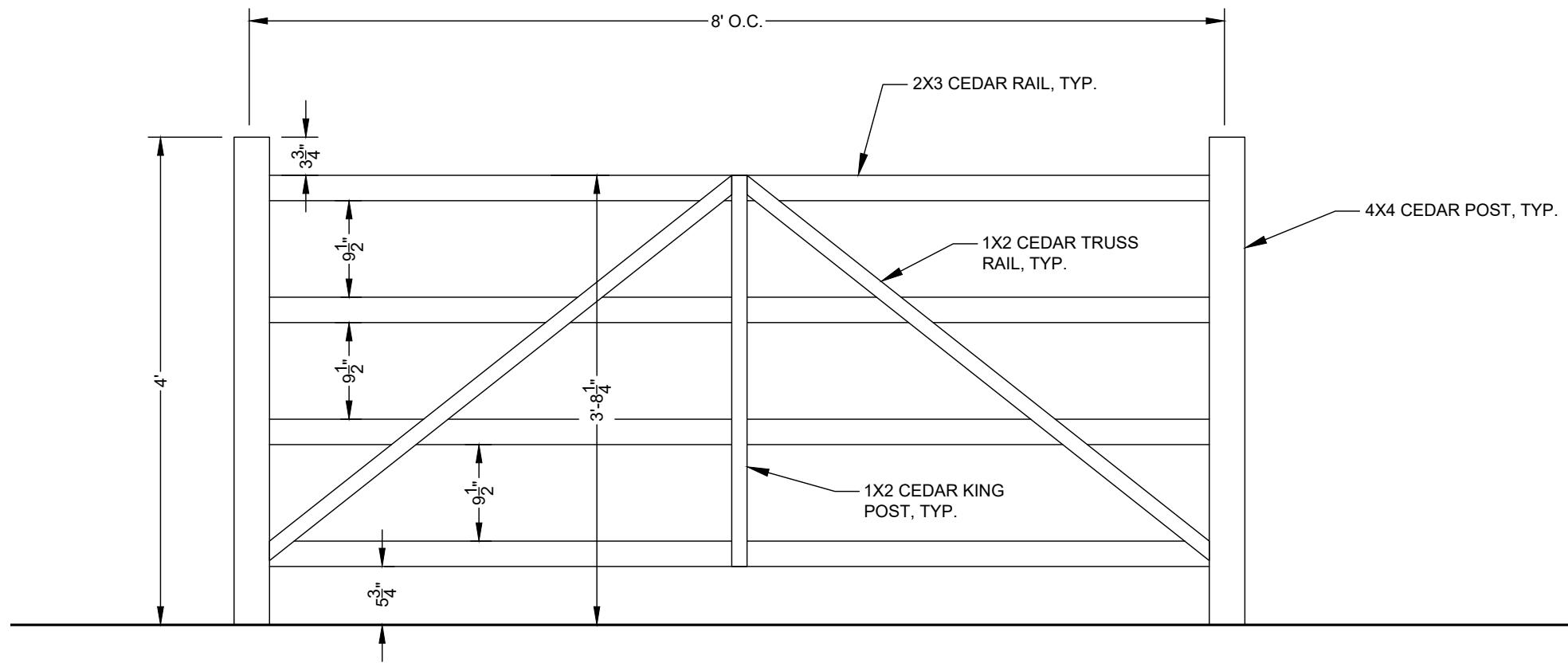
OPTIONAL Stone pier
(fence end post) w/ historic
style lights; Ashlar pattern
granite with stone cap
(granite or bluestone TBD)

Optional Alternative Masonry Pier Add-On

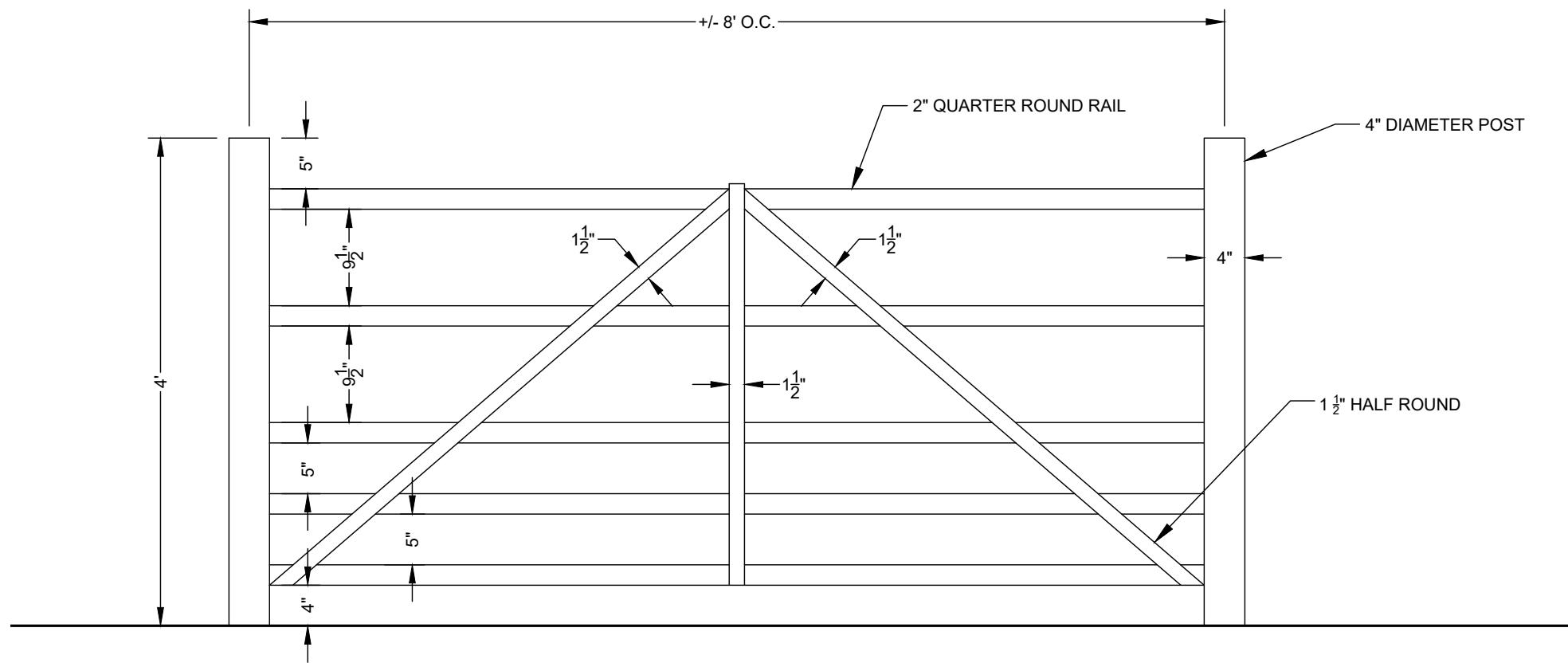
June 2024

Private Residence
55 Mitchell Road
Pittsford, New York

Proposed Fence
Rehabilitation



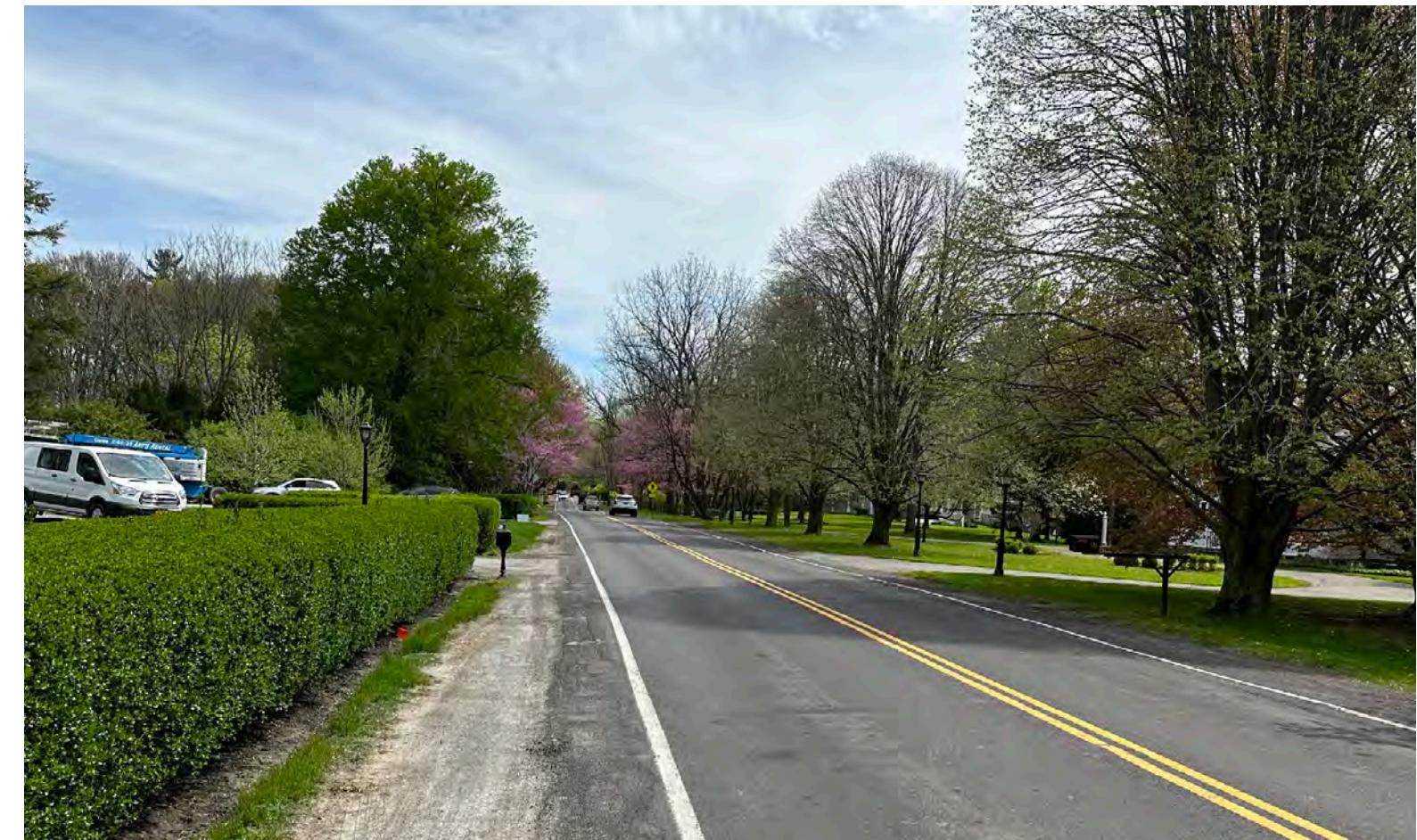
Existing Fence



Fence Rehabilitation Comparison

June 2024

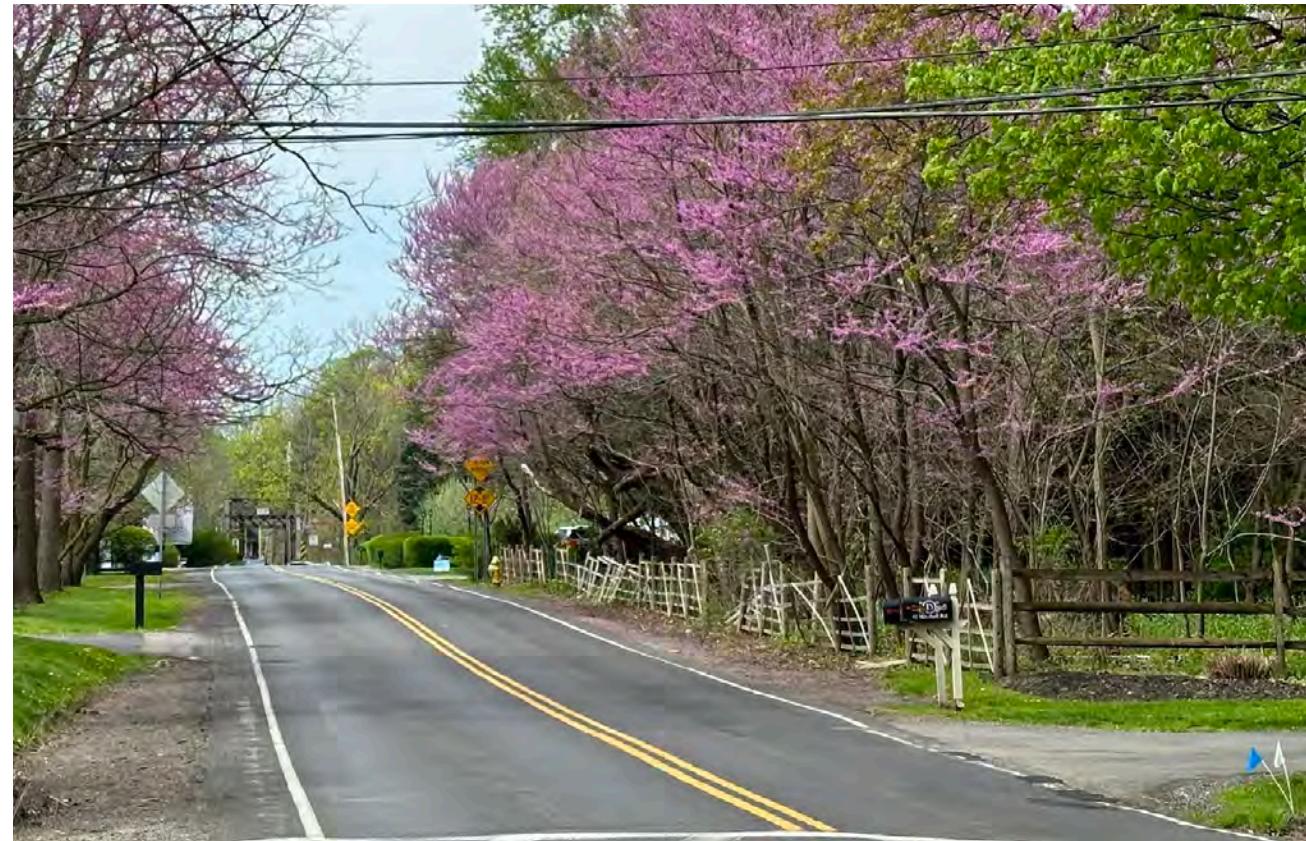
Private Residence
55 Mitchell Road
Pittsford, New York



Existing Conditions Photos

June 2024

Private Residence
55 Mitchell Road
Pittsford, New York



Existing Conditions Photos

June 2024

Private Residence
55 Mitchell Road
Pittsford, New York



Existing Conditions Photos

June 2024

Private Residence
55 Mitchell Road
Pittsford, New York



Entry Rehabilitation Renderings

June 2024

Private Residence
55 Mitchell Road
Pittsford, New York



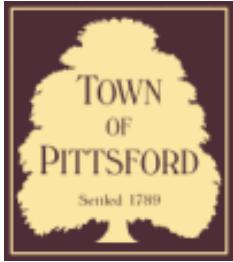
Steele
LANDSCAPE ARCHITECTURE



Steele
LANDSCAPE ARCHITECTURE



Steele
LANDSCAPE ARCHITECTURE



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA24-000004

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 321 Mendon Center Road PITTSFORD, NY 14534

Tax ID Number: 177.04-1-5.2

Zoning District: AG Agricultural

Owner: Pieper, William R

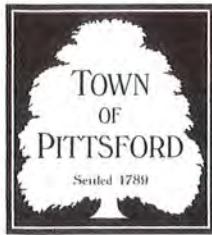
Applicant: Pieper, William R

Application Type:

- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of solar panels on a rear roof of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: August 22, 2024



TOWN OF PITTSFORD

Design Review & Historic Preservation Board

Application for Certificate of Appropriateness

Case # _____

RECEIVED

1. Property Address: 321 Mendon Center Rd JUL 24 2024

2. Tax Account Number: TOWN OF PITTSFORD

3. Applicant's Name: William and Sharon Pieper
 Address: 321 Mendon Center Rd Phone: 585-230-5370
Street
Pittsford NY 14534 E-mail: Wmpieper@aol.com
City State Zip Code

4. Applicant's Interest in Property:
 Owner: Lessee: Holding Purchase Offer:
 Other (explain): _____

5. Owner (if other than above): _____
 Address: _____ Phone: _____
Street
City State Zip Code E-mail: _____

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: William and Sharon Pieper
 Address: 321 Mendon Center Rd Phone: 585-230-5370
Street
Pittsford NY 14534 E-mail: Wmpieper@aol.com
City State Zip Code

7. Project Design Professional (if Available): _____
 Address: _____ Phone: _____
Street
City State Zip Code E-mail: _____

8. Project Contractor (if Available): _____

Address: _____ Phone: _____

Street

_____ City _____ State _____ Zip Code

E-mail: _____

9. Present use of Property: Residential

10. Zoning District of Property: Residential

11. Is the property located in a Town Designated Historic District?

Yes No

12. Is the property listed on the National Registry of Historic Places?

Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes No

If Yes, please explain:

NYS Tax credit \$5000
Federal Investment tax credit \$8568

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

NO adverse effect to the architectural integrity of the house. Solar panels on south side of rear addition of home. Panels are not a permanent addition to the home. (meaning they can be removed)

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

None

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

No

16. Additional materials submitted with this application (if available):

| | |
|---|---|
| <input checked="" type="checkbox"/> Parcel map | <input type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans |
| <input checked="" type="checkbox"/> Other materials | <u>solar panels</u> |

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

William Pieper / Sharon Pieper
Signature of applicant

7/22/24
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____

| | | | |
|-----------------------------|---|---|--|
| 103 % Consumption Offset | \$57,768 Lifetime Electricity Bill Savings | \$13,312 Net Cost of this solar system | \$44,456 Estimated net savings over system lifetime |
|-----------------------------|---|---|--|

SYSTEM OPTIONS

20 Panels

20 Panel System with Battery



Map data and image © Google

These 2 roofs only
Your Solution



Dan Lewis
Owner - Lead Estimator
[3157591880](tel:3157591880) Email

Solar Panels

Silfab Solar Inc.

8.400 kW Total Solar Power

20 x 420 Watt Panels (SIL-420 BG)

10,118 kWh per year

Inverter

Sol-Ark

9 kW Total Inverter Rating

1 x 12K-P [240V]

Warranties: 12 Year Panel Product Warranty, 30 Year Panel Performance Warranty, 10 Year Inverter Product Warranty

System Performance

321 Mendon Center Rd, Pittsford, NY 14534-9714, Monroe County



| | | | |
|-------------|-------------------|------------------|-------------------|
| 4 | 2,470 | 25,265 | N/A |
| Beds | Bldg Sq Ft | Lot Sq Ft | Sale Price |
| 2 | 1870 | SFR | N/A |

| | | | |
|-------|----------|------|-----------|
| Baths | Yr Built | Type | Sale Date |
|-------|----------|------|-----------|

Owner Information

| | | | |
|-----------------|------------------|---------------------------|----------------------|
| Owner Name: | Pieper William R | Tax Billing Address: | 321 Mendon Center Rd |
| Owner Name 2: | Pieper Sharon | Tax Billing City & State: | Pittsford, NY |
| Do Not Mail: | | Tax Billing Zip: | 14534 |
| Owner Occupied: | Yes | Tax Billing Zip+4: | 9714 |

Location Information

| | | | |
|-----------------------|------------------|-----------------------|--------------------|
| School District: | 264601 | Zoning: | |
| School District Name: | Pittsford | Assessment District : | |
| Subdivision: | | Location Influence : | |
| Township : | Pittsford | Flood Zone Code: | X |
| Census Tract: | 123.06 | Flood Zone Date: | 08/28/2008 |
| Carrier Route: | R004 | Flood Zone Panel: | 36055C0366G |

Tax Information

| | | | |
|--------------------|---|---------------------|---------------|
| Tax ID: | 264689-177-040-0001-005-2 | % Improved: | 87% |
| 00 | | | |
| Alt. Tax ID: | 264689A1770400001005200 | SWIS Code : | 264689 |
| Lot #: | 5 | Tax Appraisal Area: | 4689 |
| Block #: | 1 | | |
| Legal Description: | L47 T12 R5 UNRECORDED MAP 6200-113 | | |

Assessment & Tax

| Assessment Year | 2017 | 2016 | 2015 |
|----------------------------------|------------------|------------------|------------------|
| Assessed Value - Total | \$205,600 | \$205,600 | \$205,600 |
| Assessed Value - Land | \$26,700 | \$26,700 | \$26,700 |
| Assessed Value - Improved | \$178,900 | \$178,900 | \$178,900 |
| YOY Assessed Change (\$) | \$0 | \$0 | |
| YOY Assessed Change (%) | 0% | 0% | |
| Market Value - Total | \$205,600 | \$205,600 | \$205,600 |
| Market Value - Land | \$26,700 | \$26,700 | \$26,700 |
| Market Value - Improved | \$178,900 | \$178,900 | \$178,900 |
| Exempt Building Value | | | |
| Exempt Land Value | | | |
| Exempt Total Value | | | |

Characteristics

| | | | |
|------------------------|----------------------------|---------------------------|----------------|
| Land Use - State : | Single Family Resid | Half Baths: | 1 |
| Land Use - CoreLogic : | SFR | Total Rooms: | |
| Lot Acres: | 0.58 | Basement Type: | Full |
| Lot Sq Ft : | 25,265 | Basement Sq Ft: | |
| Lot Frontage: | 148 | Finished Basement Sq Ft : | |
| Lot Depth: | 170 | Fireplaces: | |
| # of Buildings: | 1 | Heat Type: | Hot Air |
| Building Type: | | Heat Fuel Type: | Oil |

Courtesy of William Pieper, New York State Alliance MLS Rochester

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

Property Detail

Generated on 03/28/2018

Page 1 of 4

SKETCH ADDENDUM

File No. PIEPER

Borrower PIEPER

Property Address 321 MENDON CENTER ROAD

City PITTSFORD

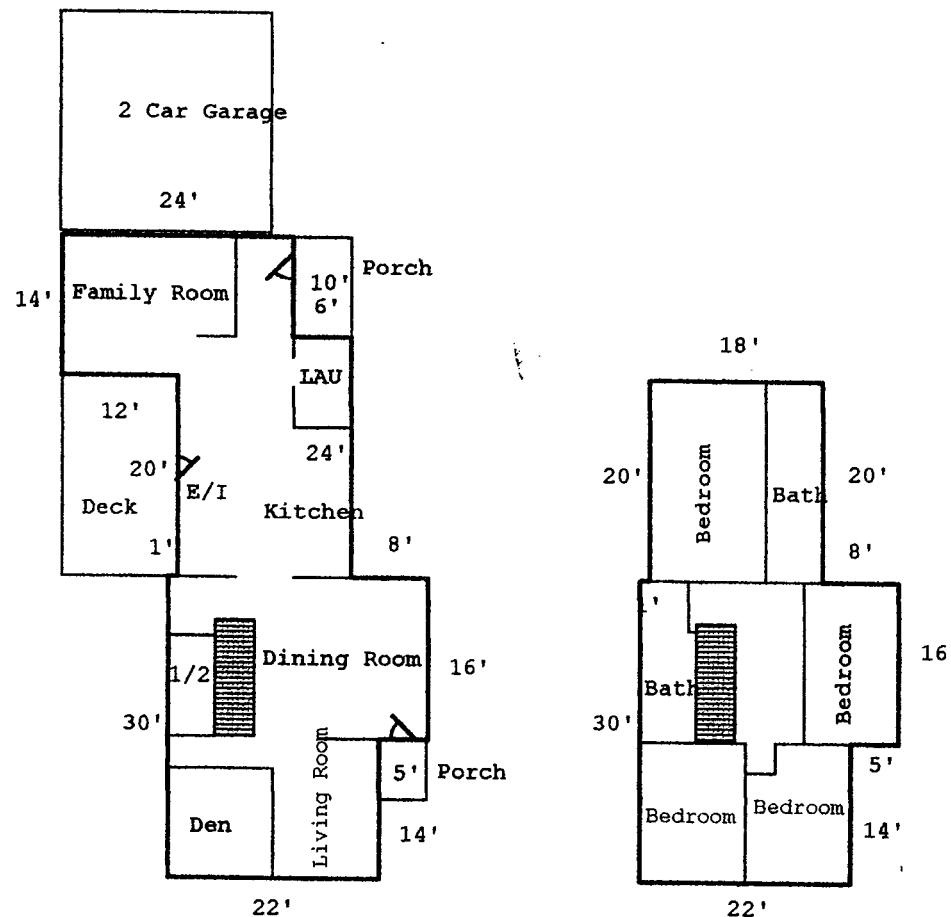
County MONROE

State NY

Zip Code 14534

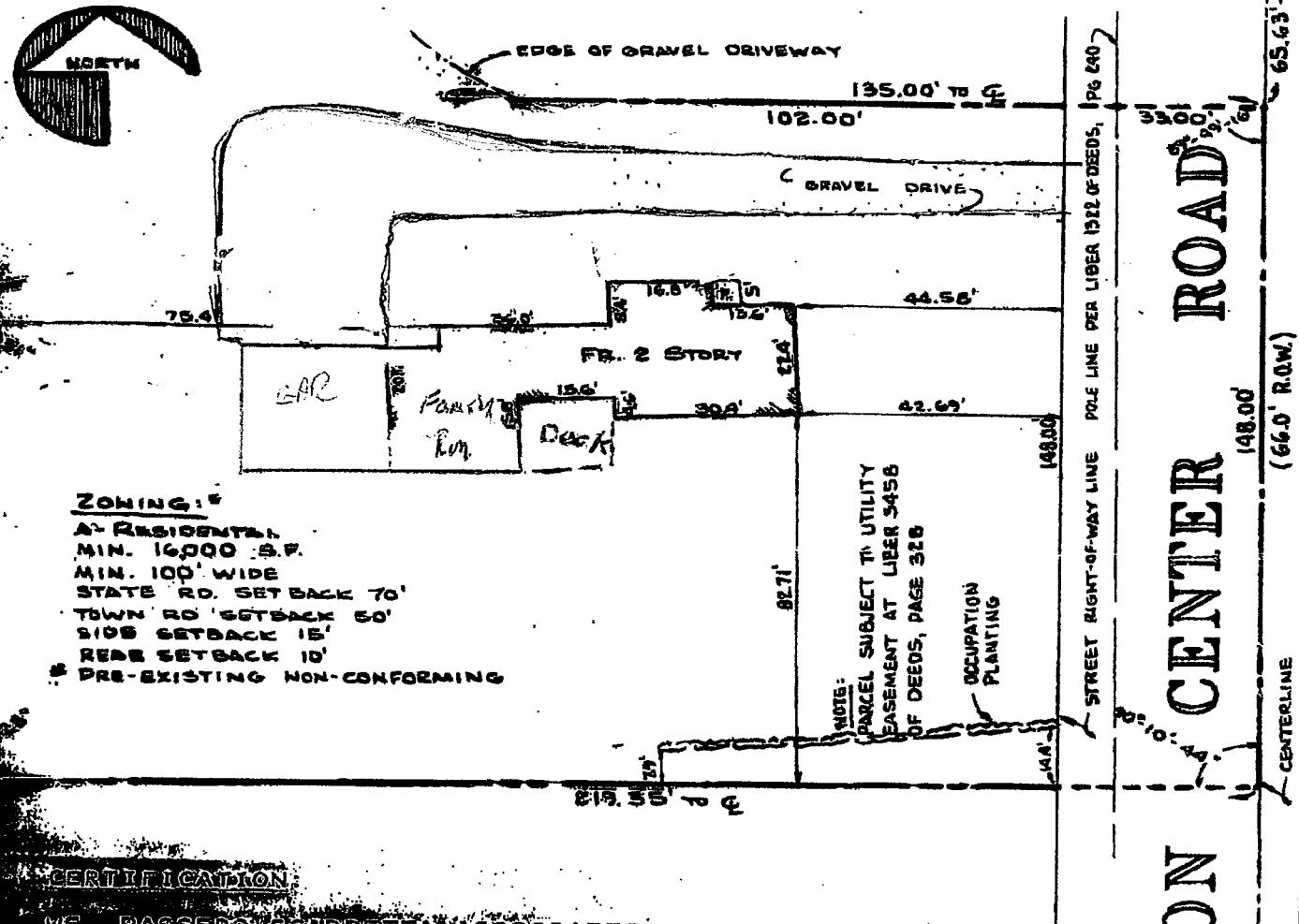
Lender/Client COMMONWEALTH UNITED

Address 190 LINDEN OAKS, ROCHESTER, NY 14625



INSTRUMENT SURVEY

Lands now or formerly of HOPKINS ESTATE
Street 327 MENDON CENTER ROAD CITY PITTSDORF, N.Y.
PT. TWN Lot No. 47 Subdivision TOWNSHIP 12, RANGE 5
Reference Data _____ of Maps, Page _____ ; _____ of Deeds, Page _____
Abstract By MONROE ABSTRACT & TITLE CORP., NO. 70442 1, LAST DATED MAY 11, 198



CERTIFICATION

WE, PASSEPORT CARDIFF & ASSOCIATES, CERTIFY TO SIBLEY CORPORATION AND MONROE ABSTRACT AND TITLE CORPORATION THAT THIS MAP WAS PREPARED JULY 29, 1982, USING THE INFORMATION MATERIAL LISTED HEREON AND FROM NOTES OF ANY FIELD TRUNKING SURVEY COMPLETED JULY 1, 1982 WHICH WAS PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

ALFRED I. LARUE, P.L.S.
N.Y.S. NO. 46558

PASSERO-SCARDETTA, ASSOCIATES

SCALE 1" = 30'

ARCHITECTS - ENGINEERS - SURVEYORS
145 LAKE AVENUE, ROCHESTER, N.Y. 14608/716-658-2180

Dated July 22, 1982

Information is for CHAMBERLAIN, D'ANANDA, BANMAN, CHATTMAN & OPPENHEIMER
ATTN: JEFFREY K. NEWMAN, Esq.

Draw No. 8118 F-2

Property Map



Courtesy of William Pieper, New York State Alliance MLS Rochester

The data within this report is compiled by CoreLogic from public and private sources. The data is deemed reliable, but is not guaranteed. The accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

Property Detail

Generated on 03/28/2018

Page 4 of 4

Google Maps 321 Pittsford Mendon Center Rd



Image capture: May 2024 © 2024 Google















ARTICLE

Solar Panels on Historic Properties: On a Rear Porch Roof

Gothic Revival House, Vermont

This is another example of a minimally intrusive installation of a solar hot water system. The solar collectors are located on a new roof sheltering an access ramp added to the rear of the residence. In some instances, new additions may provide opportunities to incorporate solar panels on a historic property in a sensitive way.



This view of the historic house from the front (above) shows that it retains its historic character, because the solar collectors were installed on the sloped roof over a new access ramp at the rear of the property and are not visible from the street (right).



[Next article: Avoiding the impact of solar panels on a cultural landscape \(https://www.nps.gov/articles/000/solar-panels-on-historic-properties-avoiding-impact-cultural-landscape.htm\)](https://www.nps.gov/articles/000/solar-panels-on-historic-properties-avoiding-impact-cultural-landscape.htm)

TAGS

[solar panels](#)

[historic buildings](#)

[technical preservation services](#)

Last updated: April 18, 2022

Was this page helpful?



ARTICLE

Solar Panels on Historic Properties: On a Low-Slope Gable

Vermont Residence

The gable end of this historic apartment building faces the street. Low profile solar collectors for a water heating system were flush mounted on the sloped roof on the south side of the gable. Though visible, these few panels have relatively little impact on the historic character of the property. However, if the roof had been a more prominent feature of the property, this installation may not have been appropriate.



Low-profile solar collectors located on the south side of the gable roof are minimally visible.

From this angle, the panels are more noticeable, yet the historic character of the building is not significantly diminished.



Next article: Solar panels on a cross gable (<https://www.nps.gov/articles/000/solar-panels-on-historic-properties-cross-gable.htm>)

TAGS

[solar panels](#)

[historic buildings](#)

[technical preservation services](#)

Last updated: April 18, 2022

Pittsford Oaks responses to DRB comments

July 25, 2024

TOWN OF PITTSFORD
DEVELOPMENT REVIEW COMMITTEE – Planning Comments
For Planning Board Meeting 7/8/24

SUBJECT: Pittsford Oaks Apartments
Preliminary Site Plan & Preliminary/Final Subdivision (Tobey PUD)
Tax Parcel #s 163.02-1-24.111, 163.02-1-23.1, 163.02-1-36

The Town of Pittsford Development Review Committee (DRC) has reviewed the subject application. The following points have been identified for Planning Board consideration:

A written response to these comments must be provided for Planning Board and DRC Committee Review prior to a decision on this application. A digital copy of this document will be provided so that it may be incorporated into the response.

*****Questions about specific DRC comments should be directed to the Planning, Zoning, and Development Department (Doug DeRue or April Zurowski).**

NOTE: The address for Pittsford Federal Credit Union (PFCU) is 20 Tobey Village Road.

PLANNING AND ZONING ISSUES:

GENERAL

4. The Preliminary Site Plan application made to the Planning Board may not be consistent with the Tobey Planned Unit Development (PUD) general regulations adopted by the Town Board. Please address how the plans meet these requirements of the Tobey PUD. The Planning Board and Design Review & Historic Preservation Board should review the responses and determine if adjustments to the building and site are necessary. The general regulations for the Tobey PUD are provided, below. (DPW)

General Design Requirements:

In designing site development plans and architectural details for structures within the Tobey PUD, the following guidelines will apply. These guidelines will be followed by all reviewing agencies of the Town of Pittsford.

Design Requirements

1. *Facades of new buildings should be broken down into smaller masses of varied sizes and orientations to create smaller, human-scale, pedestrian-friendly environments in keeping with the residential character of the community.*
2. *Unless specific provisions to the contrary are provided herein, no structure shall exceed 30 feet in height. Chimneys attached to such structures may extend 10 feet above the highest point of the building structure. One flagpole, used exclusively for the display of flags, not exceeding 30 feet in height, is permitted.*
3. *A variety of roof types, heights and gable orientations will be provided in order to retain the town's diverse, yet traditional character. Very steep, flat or very low- pitched roofs should be avoided.*

4. *Building design should creatively reflect traditional elements of the Town. Diversity that is in tune with the massing, proportion and street relationships of traditional buildings will be required. Village-like clusters of buildings should be encouraged over individual structures isolated by parking areas or lawns. Dormers and other architectural elements should be kept in proportion with overall building design. Architectural detailing will be used to create variety and interest of new buildings.*
5. *The use of traditional materials such as painted or stained wood clapboards, end trim and natural brick and stone, should be encouraged. Materials, textures and colors that are compatible with existing adjacent residential development will be required.*
6. *A variety of traditional windows will be required. Excessive regularity or irregularity, large picture windows and glass curtain walls shall be avoided.*
7. *Signage should be used to provide direction to drivers and pedestrians in commercial and office complexes and should be at scale appropriate to such uses. Consistent, well-designed signage systems for each development parcel will be required as an element of site plan approval. Specific signage requirements are detailed in the specific provisions for each development parcel. In no case will illumination of signage be permitted, unless specifically authorized by the Town Board.*

Landscape Architecture/Site Planning

1. *New buildings are subject to Design Review and Historic Preservation Board approval.*
2. *New non-residential buildings should be located with parking areas behind the buildings in order to create non-residential centers that reflect traditional development patterns, such as those found in the Village of Pittsford. Resulting developments should preserve a gateway appearance through this intersection.*
3. *Attractive pedestrian-oriented open spaces should be created by clustering buildings together to preserve open space along other sections of the street or behind the buildings.*
4. *Street trees will be required to shade and enclose the street and to define the edge of the public areas and private space.*
5. *Pedestrian-oriented environments, particularly within residential areas, commercial and office complexes and as entry features between parking facilities and buildings in stand-alone developments, will be required.*
6. *The design of new buildings will reflect the historic architecture of the town in terms of scale, massing, roof shape, gable orientation, window size, shape, and spacing, and exterior materials. Special attention to compatibility of color, materials, form and textures with adjacent structures and the context of the project site with its surroundings will be required.*
7. *Large buildings will be required to be compatible with the townscape by designing breaks in the building mass and roof lines, and by including appropriate architectural detail. New buildings should be scaled down into groupings of smaller structures to avoid large bulky masses.*

Parking and Traffic

1. *Where practicable, parking should be located behind commercial and office structures to visually screen them from the road. As an alternative, depressed parking lots that minimize parking lot visibility may be acceptable. Terrain will govern the acceptable parking approach.*

2. *Landscaping of parking areas designed to provide shade and buffer adjoining uses will be required. Large areas of asphalt should be divided into smaller units through the use of landscaping or other innovative techniques.*
3. *Adjacent non-residential areas will be required, where practicable, to share parking areas and provide inter-connections.*
4. *Outdoor lighting should be screened by shields or hoods to prevent glare onto adjacent premises. Intensity levels of individual fixtures should be reduced by utilizing a large number of smaller light poles. In smaller pedestrian areas, lights will be utilized to improve the quality of lighting. All outdoor lighting should be limited to 3,000 K or less.*

Response: The Preliminary site plan application was designed around the previously approved development and the Planned Unit Development general regulations. Facades were broken down into smaller masses of varied sizes and orientations using different materials and designs. Varying roof heights and gable orientations were engineered, and very steep roofs were eliminated along with flat or very low-pitched roofs visible from the previous development. Natural stone was used to accent the varying facades and textures of the development face similar to others found within the community. Breaks in the building mass and roof lines were incorporated to help reduce the size and scale of the structure. The structure was designed into an "H" design to resemble less of a single large building mass, and more so of clustered building layout utilizing large open "courtyard" type areas in both the front and rear of the development. The rear courtyard in particular is designed to create pedestrian-oriented areas within the residential areas to allow social gatherings and nature views. Glass curtain walls were avoided while designing a cohesive variety of varying traditional windows and sizes. No illuminated signage other than that authorized by the Town Board will be utilized. Directional signage within the development will be provided to assist drivers and pedestrians within the area. The majority of the parking has been designed underground in the garage to create more of an open appearance around the development protecting the woods and greenspace, rather than surrounding it by adjacent parking lots and open fields of pavement. The parking garage also acts to visually shield the parked cars from the road. The few parking fields within this development were divided into smaller units through the use of landscaping and the use of trees to create more shading. Street trees have also been designed into the landscape plans to enhance shading, provide a defined edge of the public areas and preserve open space along sections of the street. Outdoor lighting will be screened by shields or hoods to prevent glare onto adjacent premises. Outdoor lighting will be limited to 3,000K.

- 7 The project area is immediately adjacent to 2867 Clover Street, a locally designated historic landmark and eligible landmark for listing on the New York State Register of Historic Places. (DPW, DRHPB)

Response: Acknowledged.

8. The apartment building directly behind the historic home has the potential to negatively impact it and the public view from the intersection of Clover Street and West Jefferson Road. It should be limited in overall height and varied in across the length (2, 3 and 4 stories) to break up the linear viewshed. The DRHPB and Planning Board should be united in efforts to eliminate any negative impact. (DRHPB)

Response: Acknowledged. The design was scaled back and is now in full conformance with the P.U.D. height guidelines approved for this parcel by the Town Board.

9. All opportunities to reduce negative impacts and to buffer the historic home from the new development should be implemented. Significant landscaping/buffering, reduced lighting, and limiting parking along the east side of the building could reduce impacts. (DRHPB)
Response: Acknowledged. Lighting will be shielded or screened and limited to more than 3,000K. Additional landscape was designed into the rear of the historic home including a new retaining wall to protect and delineate the boundaries with vegetation and hardscaped wall.

10. The potential impact to neighbors on Tobey Road, including altered views and increased traffic, should be minimized and opportunities to reduce impacts and buffer should be implemented. (DRHPB)
Response: Agreed and acknowledged. The landscape plan is designed to help mitigate impacts on Tobey Road by creating a buffer of trees and vegetation creating a natural buffer. The developer has ensured the project will have access to two signalized traffic intersections to mitigate and reduce traffic safety concerns.

11. Please provide winter renderings of the apartment building from the locations where summer renderings were provided. (DRHPB)
Response: Additional renderings to be provided under separate cover.

CLEARING/GRADING/DEMOLITION

13 The new building will require the demolition of the existing Barn Bazaar structures on site, for which a demolition permit from the Building Department is required. The published legal notice includes the demolition of these structures. A demolition permit will not be issued prior to Preliminary Site Plan approval. (DPW, BD, DRHPB)
Response: Acknowledged.

27 Please eliminate the encroachment into Parcel 12 for additional parking, if possible. If not, limited use and buffering with landscaping should be provided. There should be no further encroachment into Parcel 12 and no removal of mature trees, shrubs, or other landscaping and buffering material. (DRHPB)
Response: The development will not encroach any further into Parcel 12 beyond what is approved in the Town of Pittsford P.U.D. Parking will be limited to overflow guest parking only when required. General parking will be available under the building in the private covered parking garage and along the parking lot south of the building. No mature trees will be removed outside of the parking area and retention pond. The existing mature trees surrounding the East side of the retention pond will remain, and additional trees will be planted to the South of the retention pond.

36 Does the under-building parking area require ventilation fans? If so, where will they be located and will they impact the historic home? (DRHPB, DPW)
Response: Ventilation provided in underground parking area. No exhaust fans are proposed on the east face of the building.

LIGHTING/LANDSCAPING/SIGNAGE

77 The Town Board PUD approval includes the following:

Street trees will be required to shade and enclose the street and to define the edge of the public areas and private space.

Landscaping:

- a. *The land between the Market Rate Apartment House and Pittsford Federal Credit Union, West Jefferson Road, and Clover Street will be maintained as open space, except for required emergency access.*
- b. *Landscaping is required to be consistent with the Tobey PUD general provisions.*
- c. *As part of the site plan review process, the final landscaping plan will be subject to review and approval by the Planning Board, with a focus on buffering public views, adjacent residential uses, and the historic home on Clover Street. The Planning Board will apply the landscaping cost requirements set forth in Town Code §185-194(C). (DPW)*

Response: Acknowledged.

78 The plans do not adequately provide buffering between Cloverwood Senior Living and the proposed 54-space parking lot. Although existing trees exist on the Cloverwood property, buffering must be maintained throughout the life of the apartment building by the property owners. Please adjust plans to show buffering in this area. (DPW, DRHPB)

Response: In addition to the provided landscaping, to the south of the proposed parking lot is an existing mature wooded to provide buffering. Additional landscaping provided.

79 The New York State Parks, Recreation, and Historic Preservation Office (NYSPRHPO) provided a letter dated February 7, 2024 stating that “the project as described will have no adverse impact on the historic resources provided the following condition is met: A portion of the existing mature tree canopy will be retained as a vegetative buffer between the project and the Historic resource.” Should you be unable to meet this condition, consultation with NYSPRHPO will be required. As proposed, the plans do not appear to preserve any mature tree canopy between the project and the historic resource. Existing trees greater than 12 inches in diameter in this region must be identified to evaluate the extent of the mature tree canopy. Trees that will be protected should be identified on the plans including those on 2867 Clover Street. It is presumed that if the mature tree canopy currently buffering the historic home is not saved the New York State Parks, Recreation and Historic Preservation Office will advise that plan changes are necessary or additional buffer planting will be required to buffer the historic home. (DPW, DRHPB)

Response: Landscape buffering provided.

80 It is recommended that plantings are included between the proposed retaining wall and the historic home at 2867 Clover Street. Does the retaining wall have a decorative finish? The wall shall be shielded as much as possible from the existing resident. The Town recommends a discussion with the property owner regarding appropriate screening from the apartment building. (DPW, EB, DRHPB)

Response: Additional landscaping provided as requested.

NOTE: The letters in parenthesis following each comment identifies the DRC Member listed below making the comment.

DPW – Department of Public Works

EB – Environmental Board

PSD – Sewer Department

HWY – Highway Department

PARK – Parks Department

PRAB – Parks and Rec Advisory Board

TE – Town Engineer

TRE – Town Review Engineer (MRB Group)

FD – Fire Department (PFD – Pittsford, BFD – Brighton)

FM – Fire Marshal

BD – Building Department

MCDPD – Monroe County Department of Planning & Development



Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO
Governor

ERIK KULLESEID
Acting Commissioner

April 1, 2019

Mr. Charles Vandrei
Agency Historic Preservation Officer, Division of Lands and Forests
New York State Department of Environmental Conservation
625 Broadway
Albany, NY 12233-4255

Re: DEC
Friendly Commons at Cloverwood Redevelopment & Construction Project
2851 Clover Street, Pittsford, NY
19PR01925

Dear Mr. Vandrei:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6NYCRR Part 617).

We note that the four buildings located at 2851 Clover Street, also known as the Barn Bazar, are not eligible for listing in the State and National Registers of Historic Places. We further note that the nearby property at 2867 Clover Street is eligible for listing in the SR/NR as a good example of Greek Revival vernacular architecture.

We have reviewed the submission received on 3/20/2019. Based upon our review, it is the OPRHP's opinion that the proposed project will have No Adverse Impact upon historic resources.

If there are substantive changes to the project, consultation with our office should resume. If you have any questions, I can be reached at (518) 268-2217.

Sincerely,

A handwritten signature in black ink that reads "Christina Vagvolgyi".

Christina Vagvolgyi
Historic Preservation Technical Specialist
e-mail: christina.vagvolgyi@parks.ny.gov

via e-mail only

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • www.nysparks.com



**New York State
Parks, Recreation and
Historic Preservation**

KATHY HOCHUL
Governor

ERIK KULLESEID
Commissioner

February 7, 2024

Andrew Burns
Passero Associates
242 West Main Street
Suite 100
Rochester, NY 14614

Re: DEC
Pittsford Oaks Redevelopment
2851 Clover St, Pittsford, Monroe County
24PR00320

Dear Andrew Burns:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York State Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project.

We note that the proposed undertaking is immediately adjacent to 2867 Clover Street, which is eligible for listing in the State and National Registers of Historic Places under criterion C, as a good example of Greek Revival vernacular architecture. We have reviewed the submission received on January 11, 2024, including the site plan dated November 2023. Based on that review, it is the OPRHP's opinion that the project, as described, will have No Adverse Impact on historic resources provided the following condition is met:

- A portion of the existing mature tree canopy will be retained as a vegetative buffer between the project and the historic resource.

Should you be unable to meet this condition, consultation with this office will resume. If you have any questions, you can call or e-mail me at the contact information below.

Sincerely,

Robyn Sedgwick
Historic Site Restoration Coordinator
e-mail: robyn.sedgwick@parks.ny.gov

cc: B. Bawden – Passero

From: [Andrew Burns](#)
To: [Sedgwick, Robyn M \(PARKS\)](#)
Cc: [David Cox](#); [Danny Daniele \(djd@danielefamiliy.com\)](#); [Anthony Daniele](#)
Subject: Pittsford Oaks No Adverse Impact
Attachments: [SHPO No Impact.pdf](#)
[OPRHP No Adverse Impact Letter.pdf](#)
[Pittsford Oaks Landscaping.pdf](#)

Good afternoon Robyn, hope all is well.

We are following-up on your attached response letter dated February 7, 2024. Specially, regarding retaining the existing tree canopy between the project and the historic resource.

Based on site and grading limitations, removal of existing trees between our project parcel and the historic property will be required. Please note that no trees will be removed from the historic property and that sufficient landscaping will be planted to replace what buffering is potentially being removed. Attached is a proposed Landscaping Plan for your review.

In addition, a previously approved senior living facility project with similar scope was reviewed by OPRHP back in 2019. The review noted that the project would have No Adverse Impact on impact on the historic resource. OPRHP Response letter dated 4/1/2019 attached for you use.

Please follow-up if any additional information is required at this time. Thanks!

Sincerely,
Andrew Burns, PE
Project Manager
Cell: 585-451-5843
Office: 585-760-8565

PASSERO ASSOCIATES
Service. Solutions. Results.
passero.com



2023



1 EAST ELEVATION



2 EAST ELEVATION

2024

2023



2024

2023



3 NORTH ELEVATION

0' 1' 2' 4' 8'
1/16" = 1'-0"



1 NORTH ELEVATION

0' 1' 2' 4' 8'
1/16" = 1'-0"

2024

2023

West elevation for comparison was not provided



2024

Rendering would be more helpful if it included parking areas, dumpsters, generator, and compactor

Cloverwood



1 East Elevation



2 West Elevation



3 North Elevation



3 South Elevation



EXISTING



EXISTING



RENDERING



RENDERING

