

Design Review & Historic Preservation Board
Agenda
November 11, 2021

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **101 Coventry Ridge**
The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5418 square feet and located in the Coventry Ridge Subdivision.
- **49 & 51 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 27 (51 Skylight Trail) will be approximately 2000 sq. ft. and Lot 28 (49 Skylight Trail) will be 1987 sq. ft. The town homes will be located in the new Alpine Ridge development.
- **49 Van Voorhis Road**
The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 2874 square feet.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

- **3419 Clover Street**
The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for the rear addition on a designated historic home. This property is zoned RN -Residential Neighborhood.
- **3001 Monroe Avenue**
The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the expansion of an outdoor patio. This property is zoned MATZ – Monroe Avenue Transitional Zone and is designated historic.

Design Review and Historic Preservation Board
Minutes
October 28, 2021

PRESENT

Kathleen Cristman, Bonnie Salem, Leticia Fornataro, Dave Wigg, Paul Whitbeck

ALSO PRESENT

Kevin Beckford, Town Board Liaison; Robert Koegel, Town Attorney; Allen Reitz, Building Inspector, Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Dirk Schneider, Chairman; John Mitchell

David Wigg, Vice Chairman, opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

Bonnie Salem reported that the historic marker for the East Street Burying Ground has been delayed in delivery about three weeks. Depending on the weather, the installation could possibly be delayed until Spring.

RESIDENTIAL APPLICATION FOR REVIEW

• **4044A East Avenue**

The Applicant is requesting design review for the construction of approximately an 830 SF addition off two sides of the existing carriage house.

Justin Hamilton was present to discuss the application with the Board.

Leticia Fornataro disclosed that she knows Mr. Hamilton professionally but it would not influence her vote and he had no objection.

The renovation includes two additions on the carriage house. The rooflines will mimic the existing. Board and batten will be used to match the style existing on the home. Original windows taken from the home will be reused on the addition.

David Wigg moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

• **26 Merryhill Lane**

The Applicant is requesting design review for the construction of approximately a 672 SF garage addition off the existing garage.

The homeowner, Danny Danielle, was present to discuss the application with the Board.

A two car addition will be set back from the existing garage 16". The doors will match the existing as well as the shingles and siding.

Kathleen Cristman moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

- **80 N. Country Club Drive**

The Applicant is requesting design review for the construction of a garage addition off the existing garage.

The homeowner, Dan Clifford, was present.

The home will be resided and reroofed. Color tone will be soft grey. Lap siding, shakes and stone veneer at lower window sill height is proposed. A variance for this addition was approved by the Zoning Board of Appeals on October 18, 2021.

The Board collectively commented that the new addition should be stepped back from the front façade. They felt they need more information on the drawings regarding materials including the garage door.

Lindsay Fox of Tiverbuilt indicated that an additional projection of the front door is also proposed to enhance the character of the front elevation; however, this is not depicted on the drawings. The Board indicated they will additionally require more information on the materials and design of this projection.

This hearing was held open pending additional information.

- **18 Butternut Drive**

The Applicant is requesting design review for the construction of a covered entryway off the front of the house.

The homeowner, George Fleischer, was present.

Mr. Fleischer reviewed his plans for a cover off his front stoop. The roof shingles will match the existing. The roofline will be lower than depicted in the rendering. The trim will be white to match the house. The existing stoop will be 8' x 12' and the covered overhang will be 10' x 12'. The Board had questions regarding the gutters, roofline and finishing of the posts and interior roofing.

David Wigg moved to accept the application with the following conditions:

1. The interior roof structure will be open.
2. Footings with footings will be installed in front of the existing stoop.
3. The interior gable will be painted white.
4. Roof shingles will match the existing.
5. All construction materials will be white.
6. The columns will be a minimum of 6" x 6" and painted white.
7. The overhead line of the addition will line up below the existing roof ridge height.

Bonnie Salem seconded.

All Ayes.

- **103 Knickerbocker Road**

The Applicant is requesting design review for the construction of approximately a 660 SF garage. As this is an oversized/over height accessory structure, the Zoning Board of Appeals approved the size and location at the 10/18/21 meeting.

No representative was present to discuss this application with the Board.

The Board did not feel they had enough information about the design and materials to make a decision on this application.

This application was held open.

- **8 Chatham Woods**

The Applicant is requesting design review for the construction of approximately a 938 SF addition off the back of the house to include a sunroom and mudroom.

Megan Bryan, representative for the homeowner, was present.

She reviewed the updated drawings with the Board.

The siding will match the existing and sunroom windows trimmed to match.

Metal roofing was recommended for the low pitch roof.

Leticia Fornataro moved to accept the application as submitted with the recommendation of metal roofing on the sunroom.

Kathleen Cristman seconded.

All Ayes.

- **115 Ellingwood Drive**

The Applicant is requesting design review for the construction of a new detached garage with the roof being extended for a covered seating area. This application received Zoning Board of Appeals approval on October 18, 2021.

The homeowner, Eric Howe, was present.

The project is to demolish an existing garage that has fallen into disrepair. A new building will be constructed within the same footprint with an 8 ft. bump out and overhang to create a porch. A double door will be installed in the rear. The porch will feature an open gable, window and man door. The siding will match the existing house. The windows and doors will match the existing home as close as possible.

David Wigg moved to approve the application as submitted.

Paul Whitbeck seconded.

All Ayes.

REVIEW OF MINUTES OF OCTOBER 14, 2021 MEETING

David Wigg moved to accept the minutes of October 14, 2021 as written.

Kathleen Cristman seconded.

All Ayes.

ADJOURNMENT

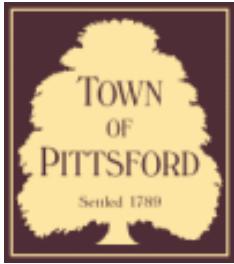
Vice Chair David Wigg moved to close the meeting at 8:00 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000223

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 101 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.04-3-54

Zoning District: IZ Incentive Zoning

Owner: Clover St. Development Corp.

Applicant: Spall Homes

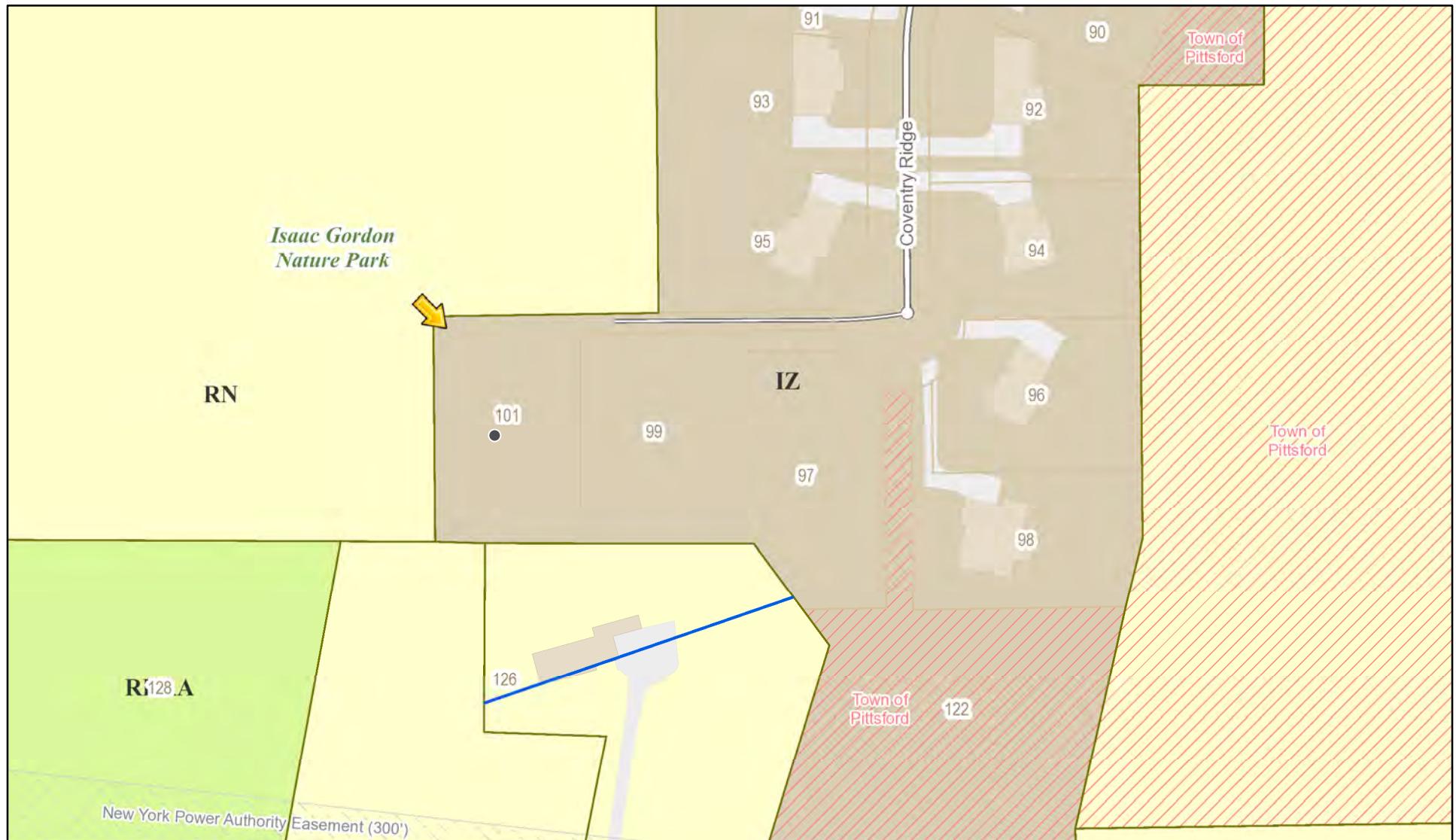
Application Type:

<input checked="" type="checkbox"/> Residential Design Review §185-205 (B)	<input type="checkbox"/> Build to Line Adjustment §185-17 (B) (2)
<input type="checkbox"/> Commercial Design Review §185-205 (B)	<input type="checkbox"/> Building Height Above 30 Feet §185-17 (M)
<input type="checkbox"/> Signage §185-205 (C)	<input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3)
<input type="checkbox"/> Certificate of Appropriateness §185-197	<input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c)
<input type="checkbox"/> Landmark Designation §185-195 (2)	<input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2)
<input type="checkbox"/> Informal Review	

Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 5418 square feet and located in the Coventry Ridge Subdivision.

Meeting Date: November 11, 2021

RN Residential Neighborhood Zoning



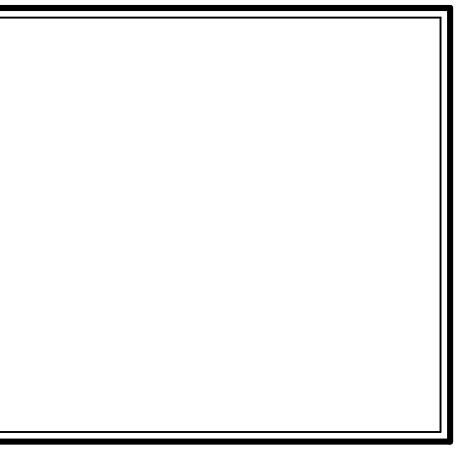
Printed November 3, 2021

1:2,257
0 25 50 75 100 m
0 95 190 380 ft

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





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 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:	
DR. & MRS. GANTZ RESIDENCE LOT 71 COVENTRY RIDGE PITTSFORD, NY	

BUILDER:	
COVENTRY RIDGE BUILDING CORP.	

COVER PAGE	
GLA PLAN 5418	
drawn: CDK	checked: AMM
scale: AS NOTED	date: 11 / 21
PROJECT: 15452	sheet: C 1



GANTZ RESIDENCE

LOT 71 COVENTRY RIDGE

PITTSFORD, NY

COVENTRY RIDGE BUILDING CORP

PLAN 5418 / PROJECT 15452

SHEET INDEX

- C-1 COVER SHEET
- 1/8 ELEVATIONS
- 2/8 ELEVATIONS
- 3/8 FOUNDATION PLAN
- 4/8 FIRST FLOOR PLAN
- 5/8 SECOND FLOOR PLAN
- 6/8 SECTIONS
- 7/8 SECTIONS
- 8/8 ROOF PLAN
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R805.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

CAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.015" (NO. 28 GAUGE) & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.4.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE R402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 l/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND .40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & .075 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50.

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MAN. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFREST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.1.3 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8, WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCNYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPE OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPE OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.2 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
 2. PIPING SERVING MORE THAN ONE DUELING UNIT.
 3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
 5. PIPING LOCATED UNDER A FLOOR SLAB.
 6. BURIED IN PIPING.

7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR INC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R31.1.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDE WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT



WINDOWS:	VIDI SOLARBAR GLASS W/ ARGON U-FACTOR 0.28 SHGC 0.31	GENERAL NOTES: ALL RAKES ARE 8" & OVERHANGS ARE TO BE 16" UNLESS NOTED OTHERWISE 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
DOORS:	SELECTION BY OWNER	BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
	AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4 OF 2020 ECC/NY	CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.
	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS	MECHANICAL VENTILATION RATE: THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 105 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS					
DWELLING UNIT (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M1505.4.3 (2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}					
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%
FACTOR ^a	4	3	2	1.5	1.0

^a For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
^b Extrapolation beyond the table is prohibited.

TABLE M1505.4.4 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS					
AREA TO BE EXHAUSTED	EXHAUST RATES				
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS				
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS				

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s



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CALL: (585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
DR. & MRS. GANTZ RESIDENCE
LOT 71 COVENTRY RIDGE
PITTSFORD, NY

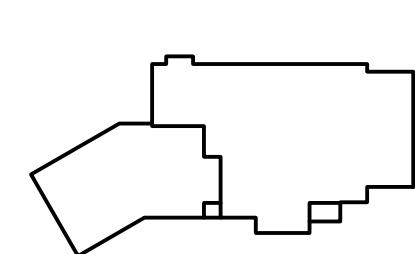
BUILDER:
COVENTRY RIDGE
BUILDING CORP.

ELEVATIONS	
GLA PLAN 5418	
drawn: CDK	checked: AMM
scale: AS NOTED	date: 11 / 21
PROJECT: 15452	sheet: 2 / 8

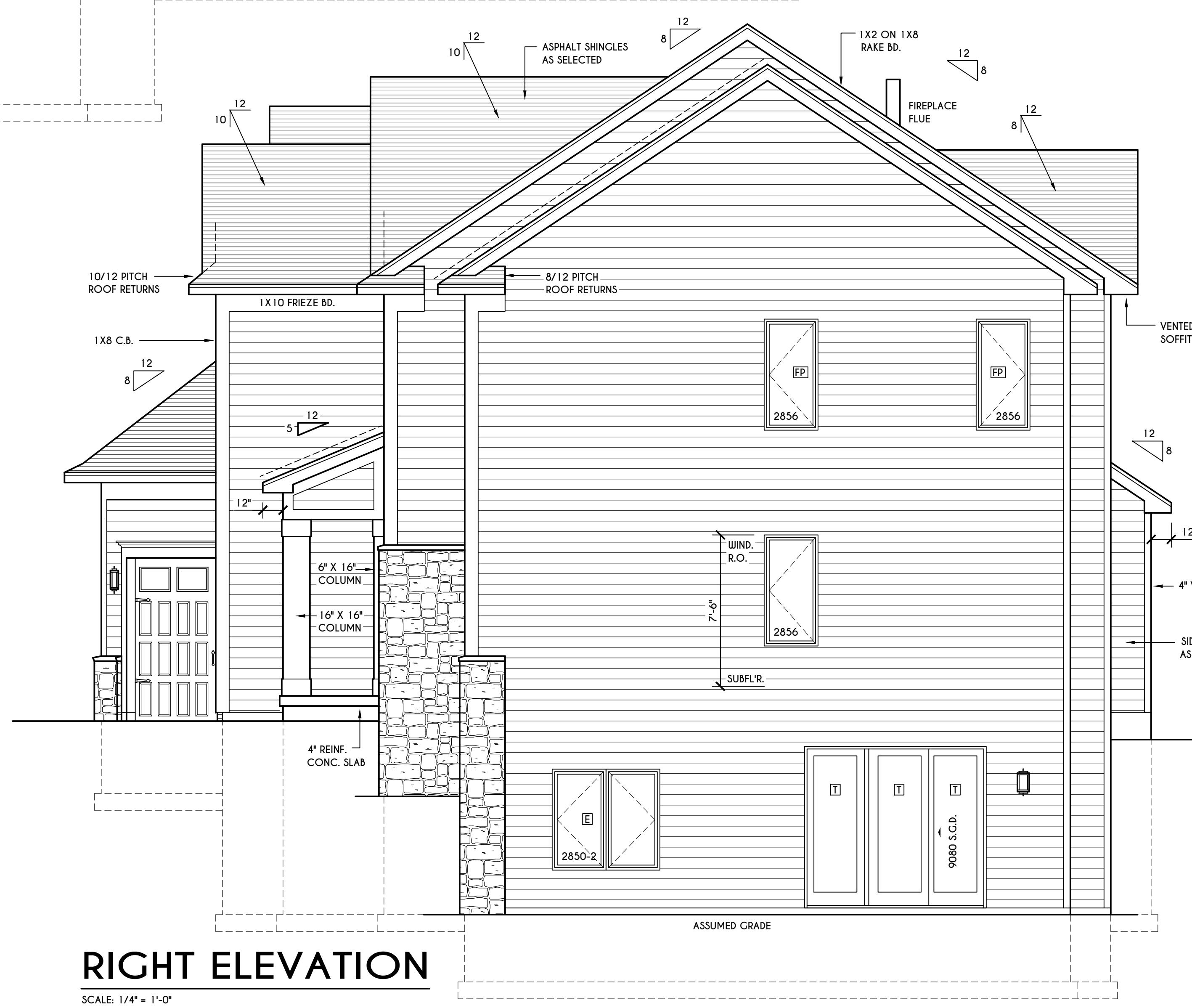


REAR ELEVATION

SCALE: 1/4" = 1'-0"

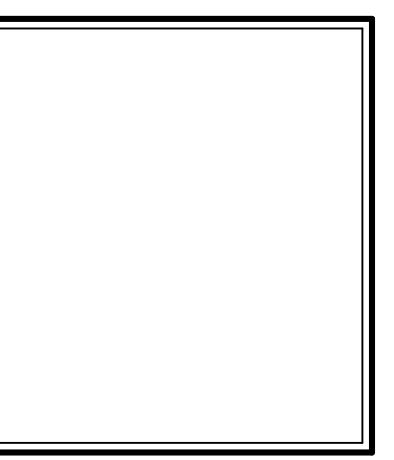


HOUSE FOOTPRINT
SCALE: 1" = 50'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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DATE	BY	DESCRIPTION

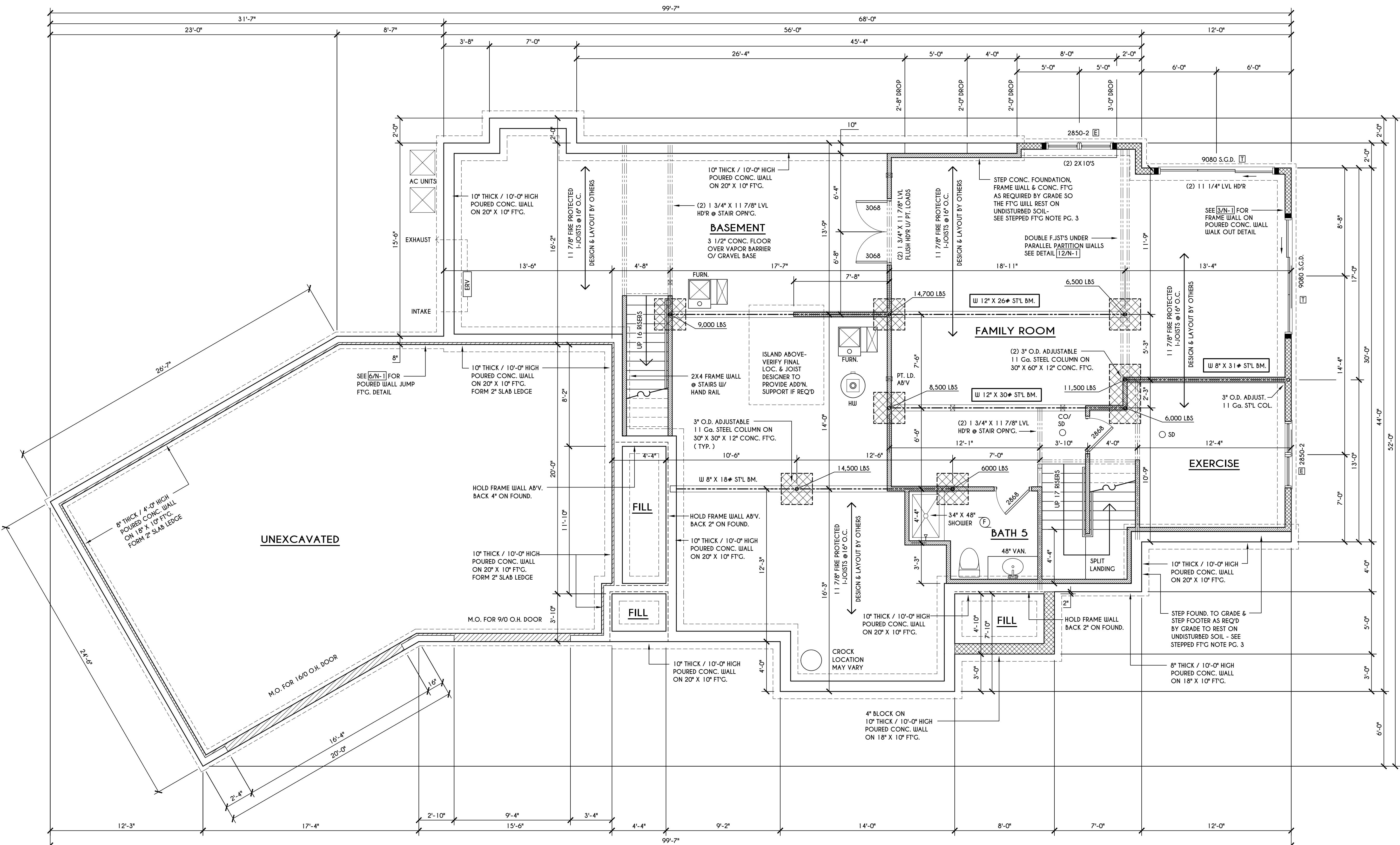
CLIENT/LOCATION:
 DR. & MRS. GANTZ RESIDENCE
 LOT 71 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FOUNDATION PLAN

GLA PLAN 5418

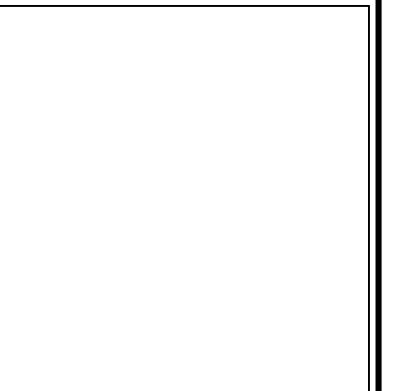
drawn:	CDK	checked:	AMM
scale:		date:	11 / 21
AS NOTED			
PROJECT:	sheet:	3	8



TERRACE LEVEL & FOUNDATION PLAN

1046 SQ.FT. FINISHED AREA

SCALE: 1/4" = 1'-0"



GLA

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DATE	BY	DESCRIPTION

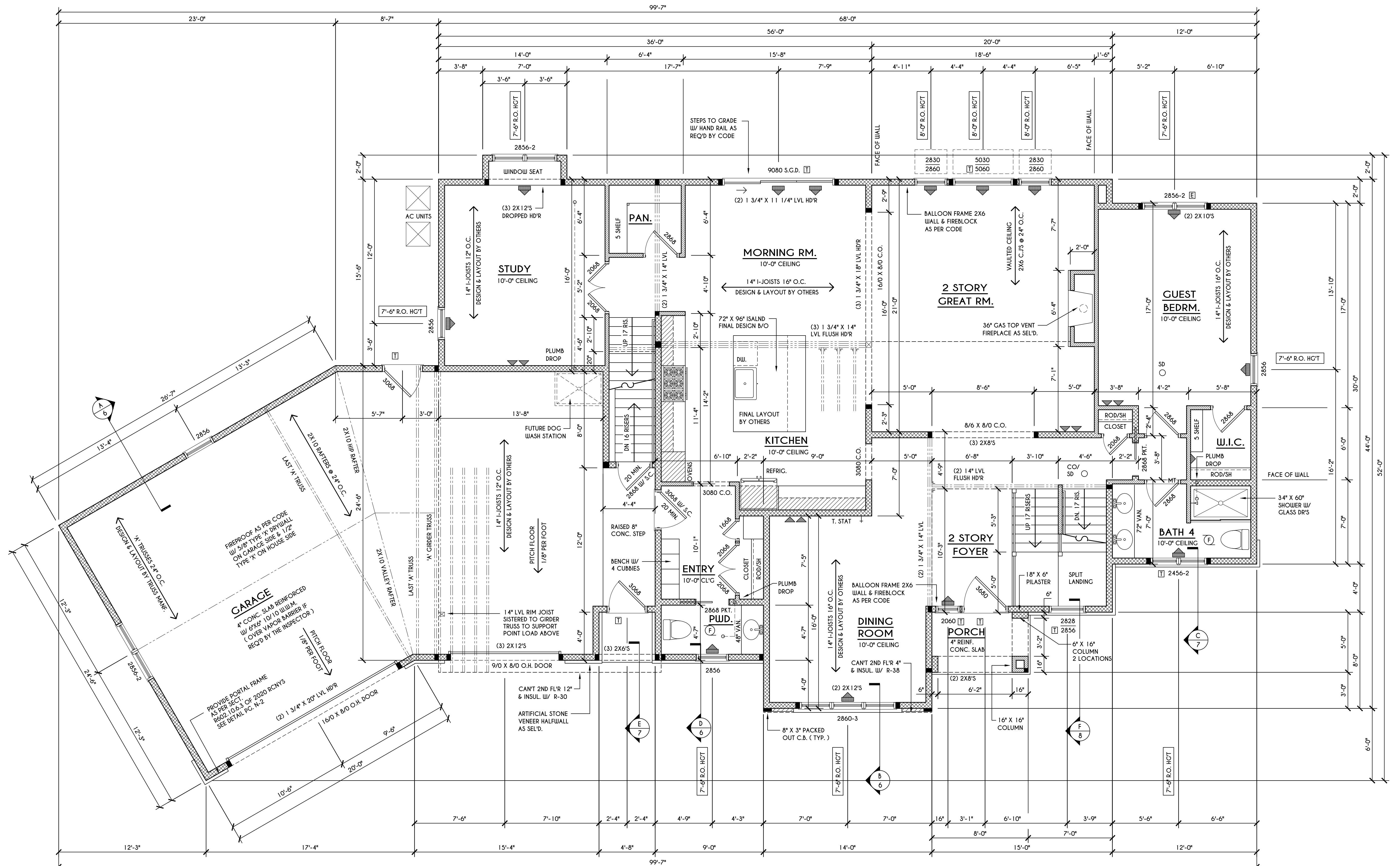
CLIENT/LOCATION:
 DR. & MRS. GANTZ RESIDENCE
 LOT 71 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 5418

drawn:	CDK	checked:	AMM
scale:		date:	
PROJECT:	AS NOTED	11 / 21	
sheet:	4		15452



WINDOW / DOOR LEGEND:

	= MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	= SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	= SPECIFIES THAT THIS OPERABLE WINDOOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
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 LOT 71 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 5418

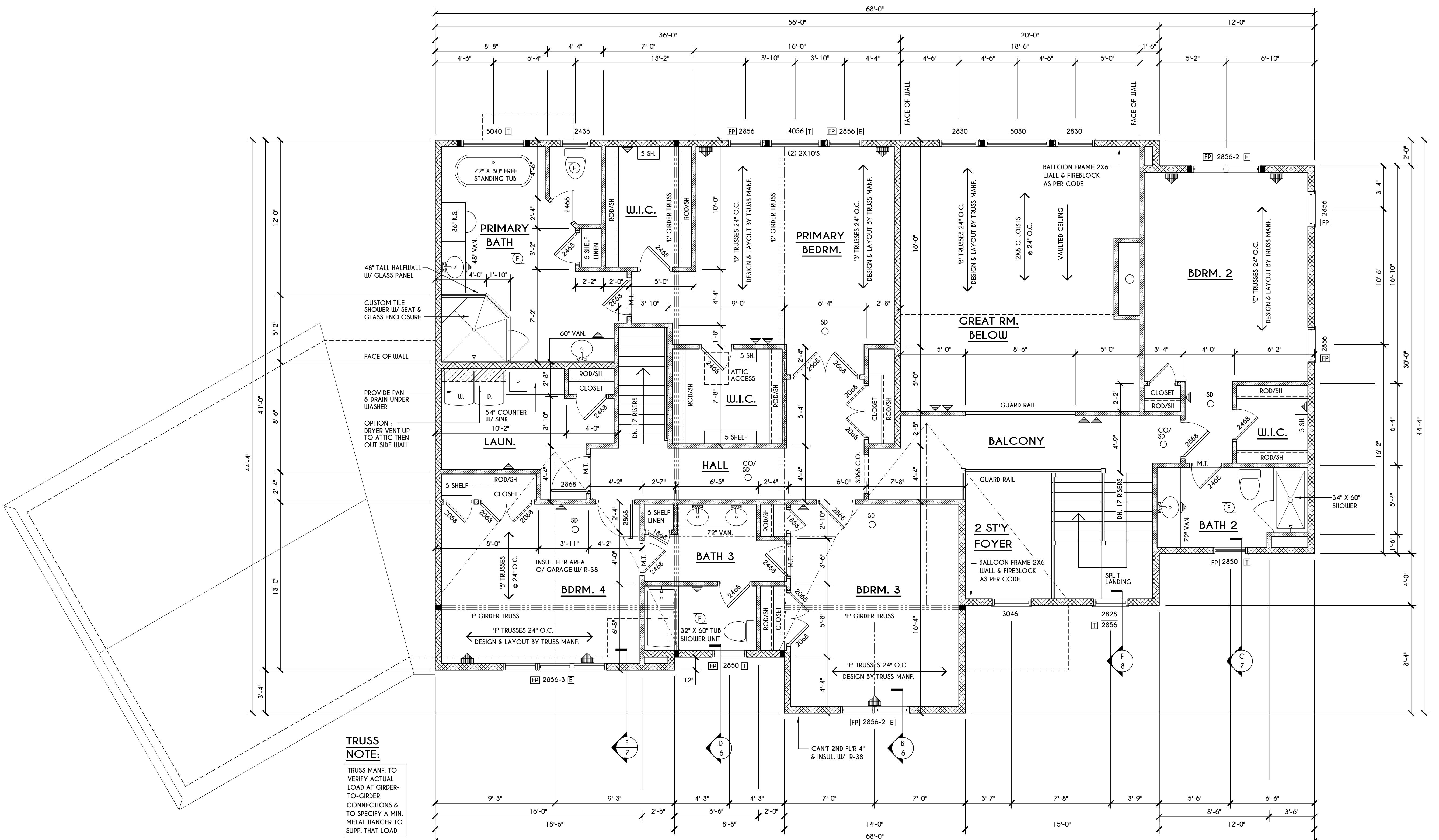
drawn:	checked:
CDK	AMM
scale:	date:
AS NOTED	11 / 21

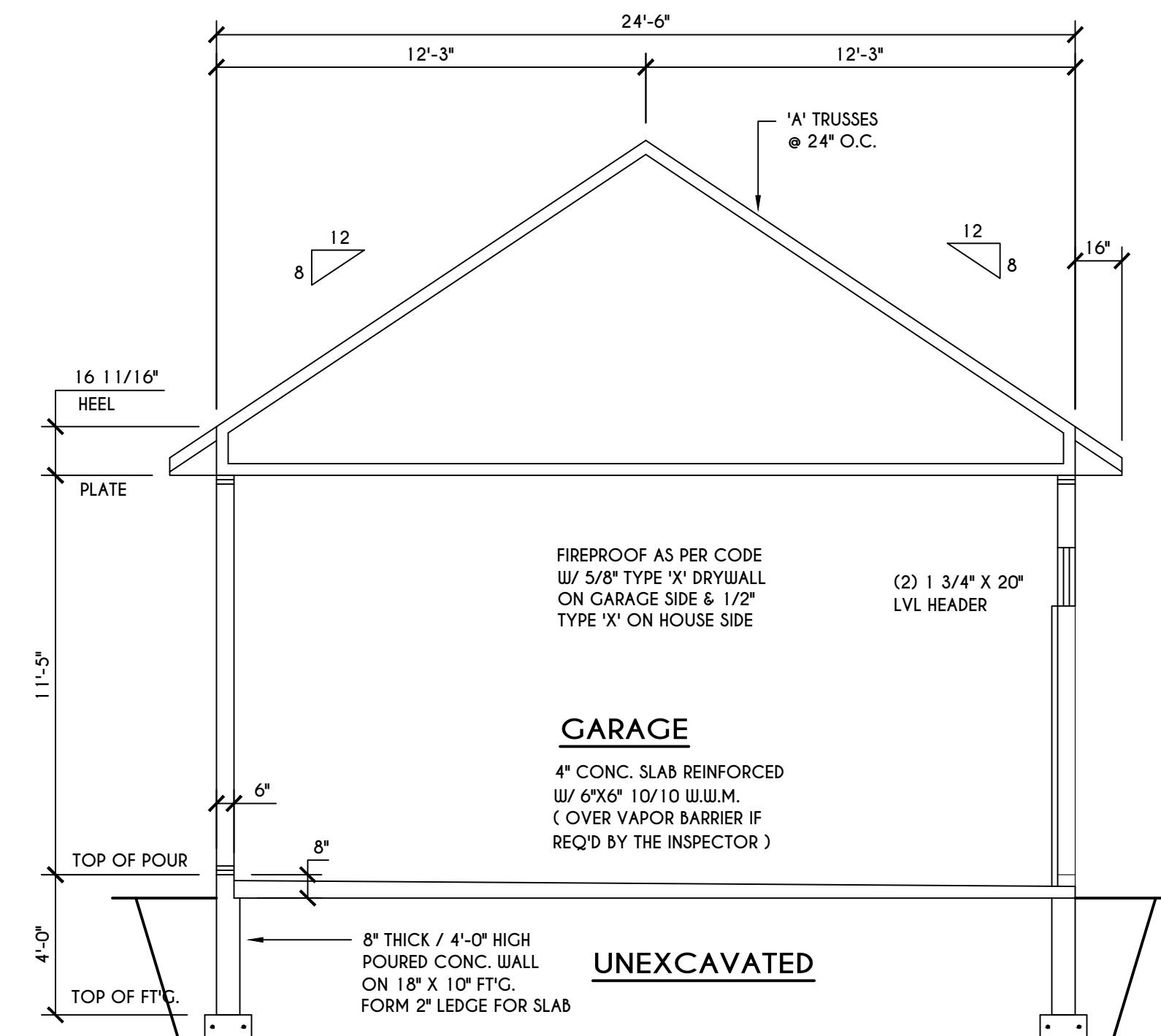
PROJECT: sheet:

5

15452

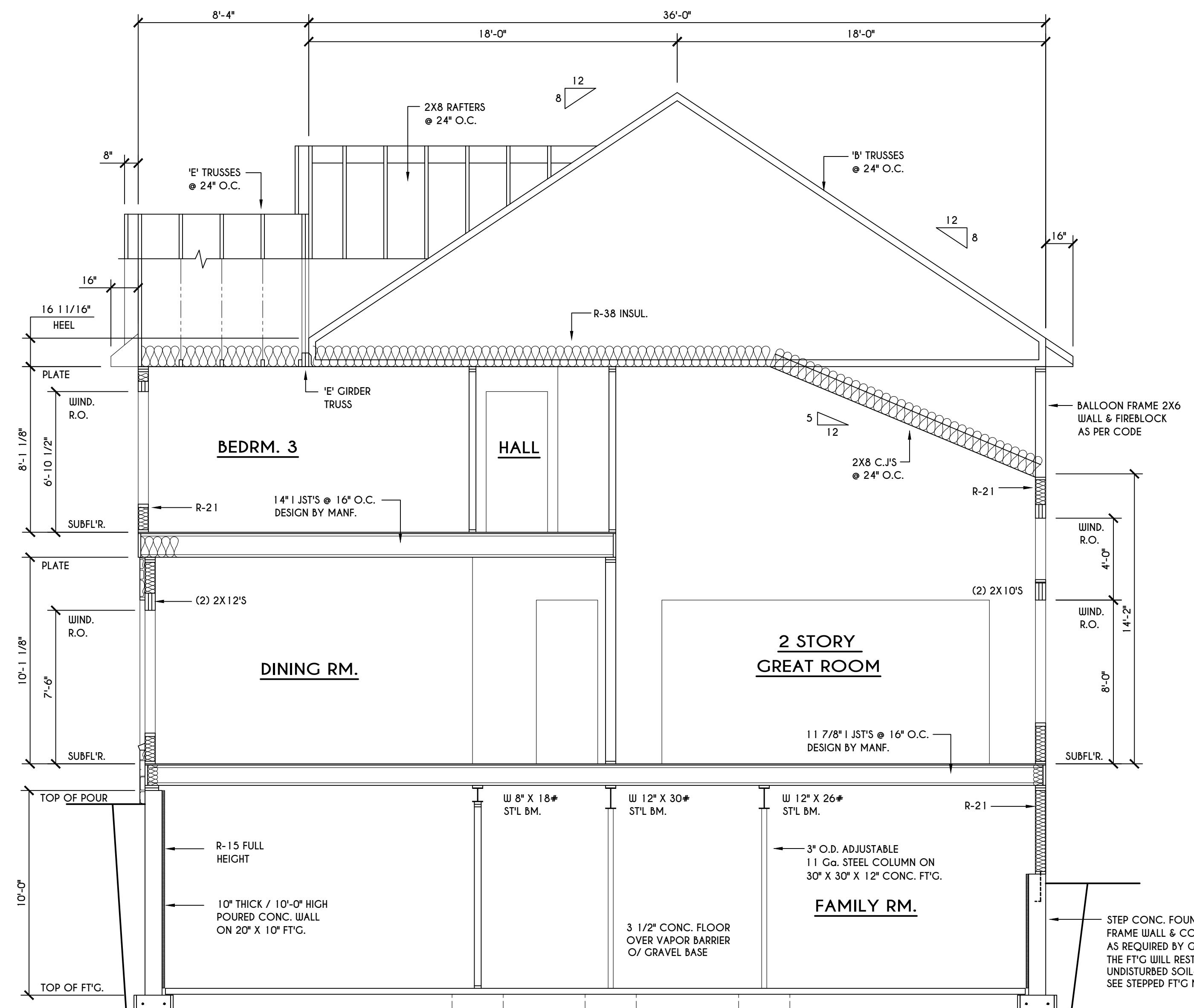
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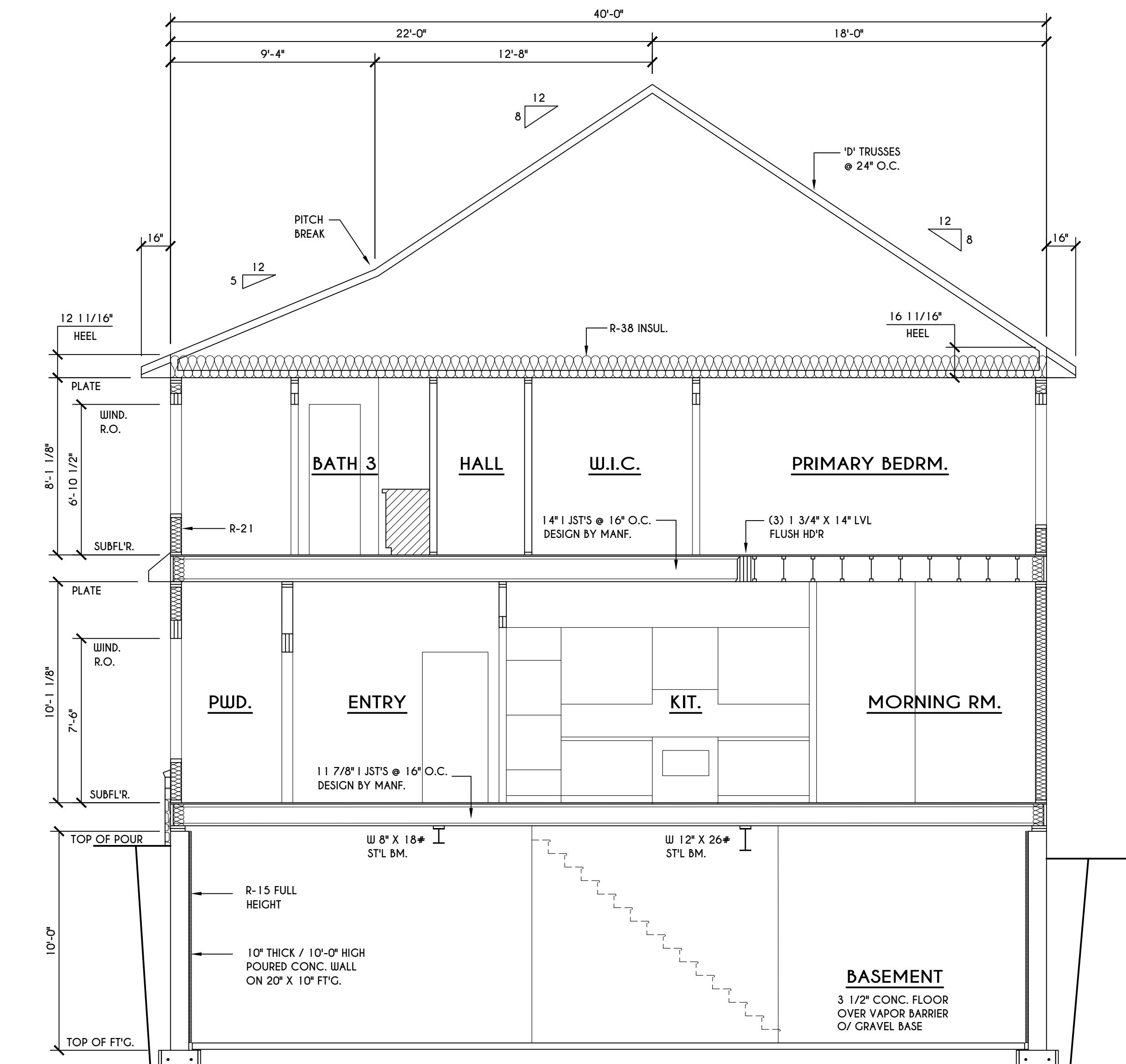
A **BUILDING SECTION**

6 SCALE: 1/4" = 1'-0"



B **BUILDING SECTION**

6 SCALE: 1/4" = 1'-0"





BUILDING SECTION

SCALE: 1/4" = 1'-0"

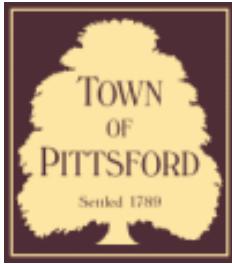


07/25/2016



07/25/2016





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000225

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 49 Skylight Trail ,

Tax ID Number:

Zoning District:

Owner:

Applicant: S & J Morrell

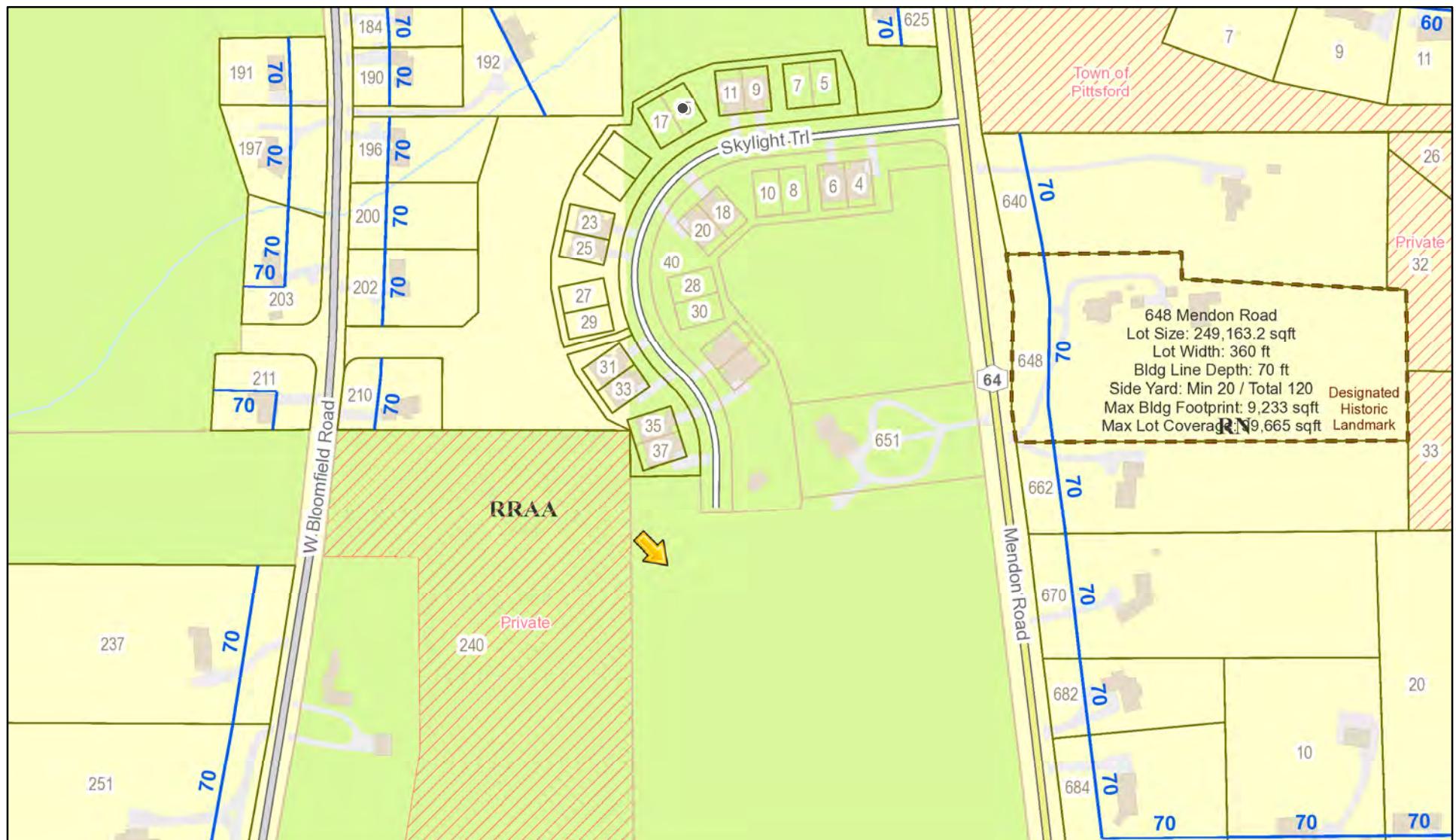
Application Type:

<input checked="" type="checkbox"/> Residential Design Review §185-205 (B)	<input type="checkbox"/> Build to Line Adjustment §185-17 (B) (2)
<input type="checkbox"/> Commercial Design Review §185-205 (B)	<input type="checkbox"/> Building Height Above 30 Feet §185-17 (M)
<input type="checkbox"/> Signage §185-205 (C)	<input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3)
<input type="checkbox"/> Certificate of Appropriateness §185-197	<input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c)
<input type="checkbox"/> Landmark Designation §185-195 (2)	<input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2)
<input type="checkbox"/> Informal Review	

Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 27 (51 Skylight Trail) will be approximately 2000 sq. ft. and Lot 28 (49 Skylight Trail) will be 1987 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: November 11, 2021

RN Residential Neighborhood Zoning



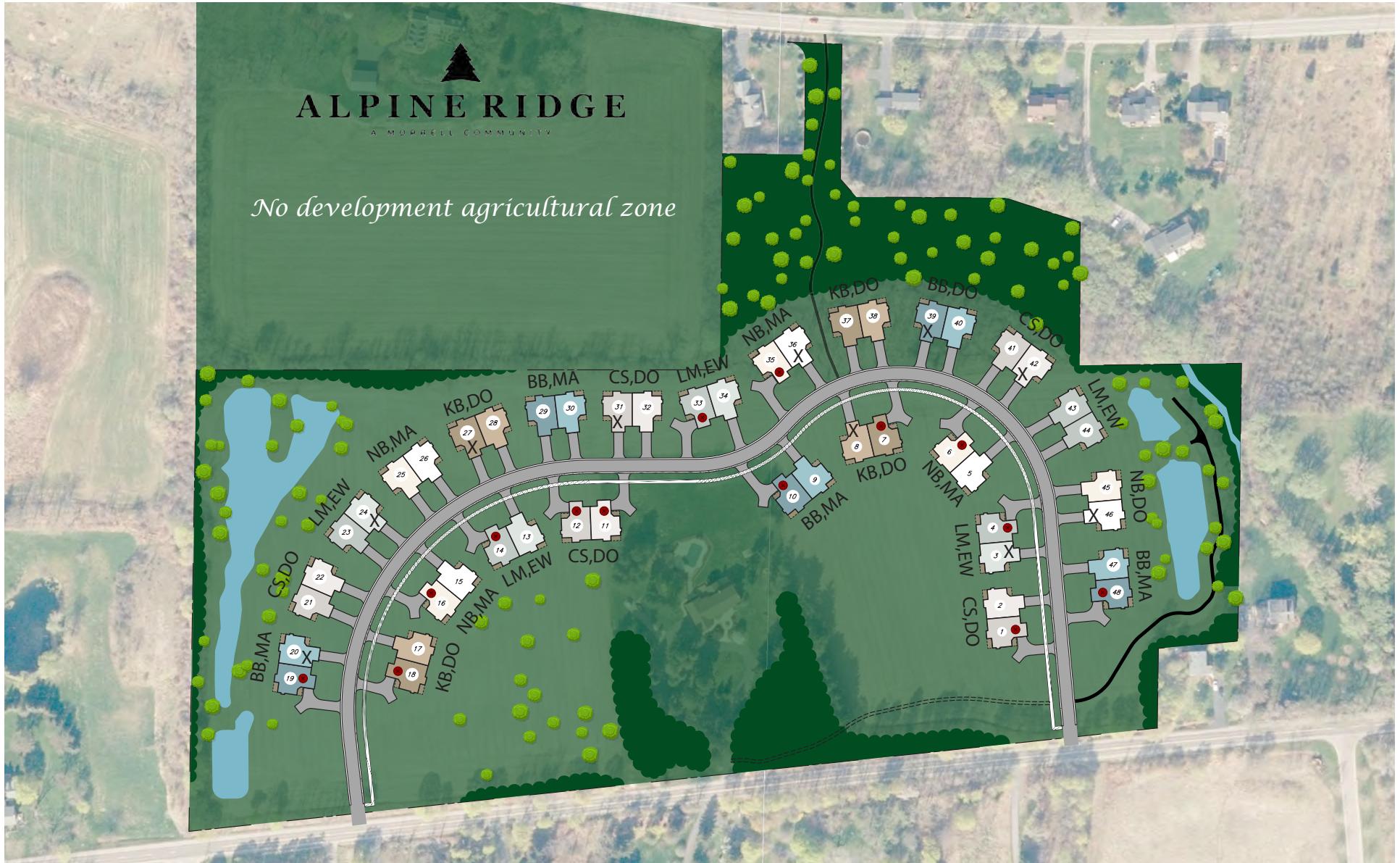
Printed November 3, 2021

1:4,514
0 55 110 195 390 780 ft
0 55 110 195 390 780 m

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





⊗ = Side Load Garage

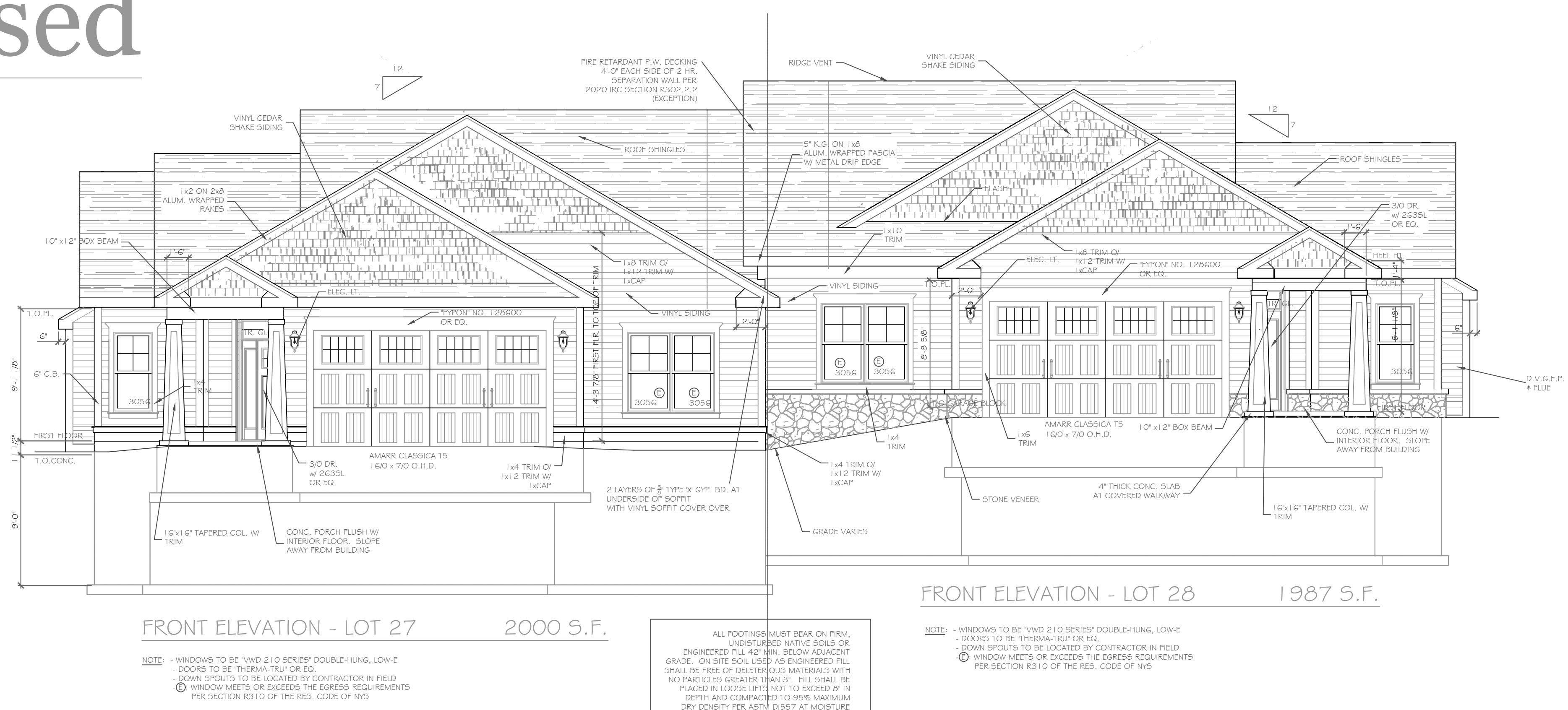
✗ = Stone Siding

Denotes Buildign Step

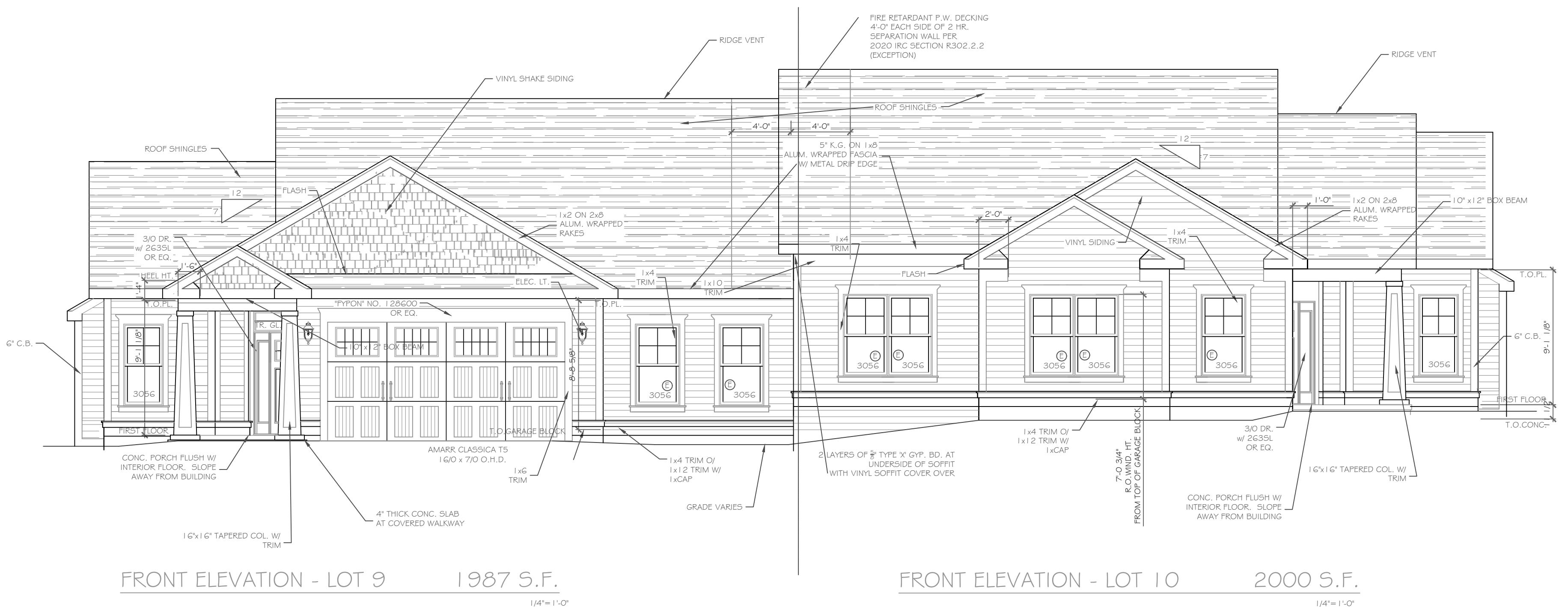
Color	Cobblestone (CS)	Light Mist (LM)	Navajo Beige (NB)	Khaki Brown (KB)	Boothbay Blue (BB)
Denotes Buildign Step					

Garage Door Dark Oak (DO) Walnut (EW) Mahogany (MA) Dark Oak (DO) Mahogany (MA)

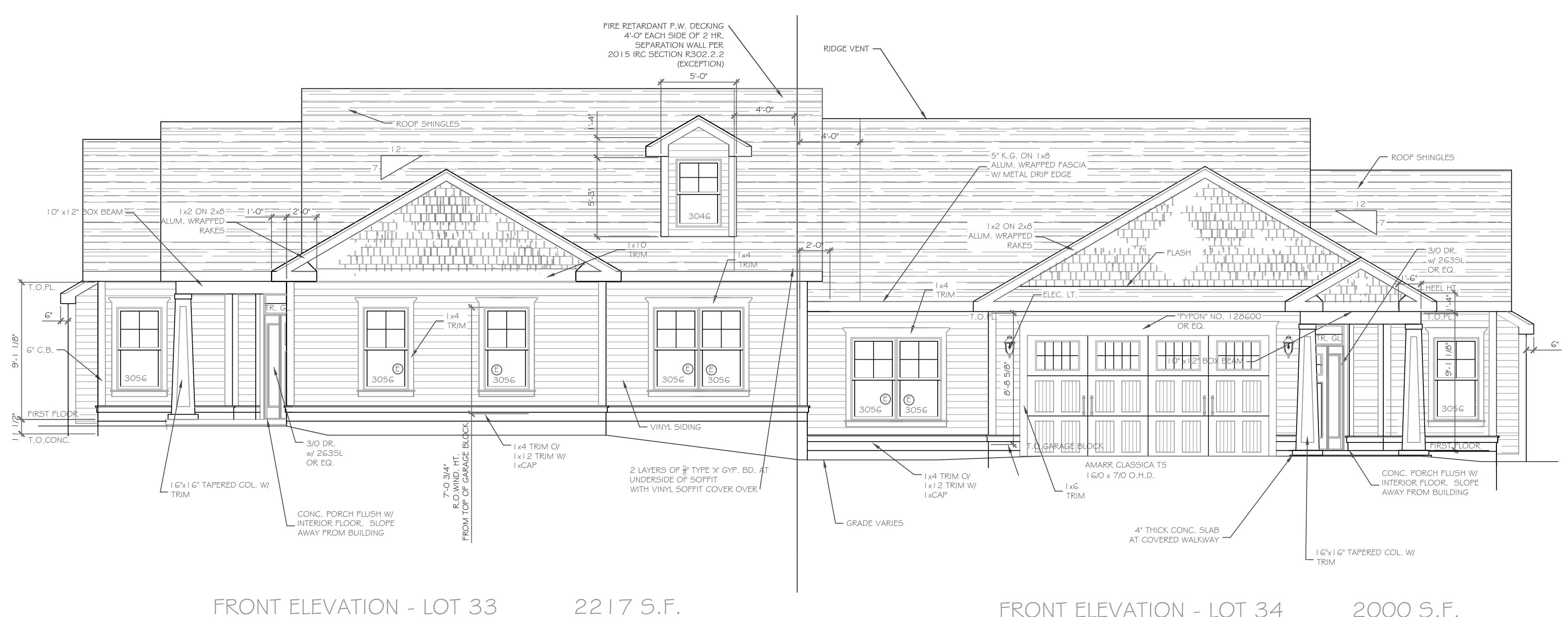
Proposed

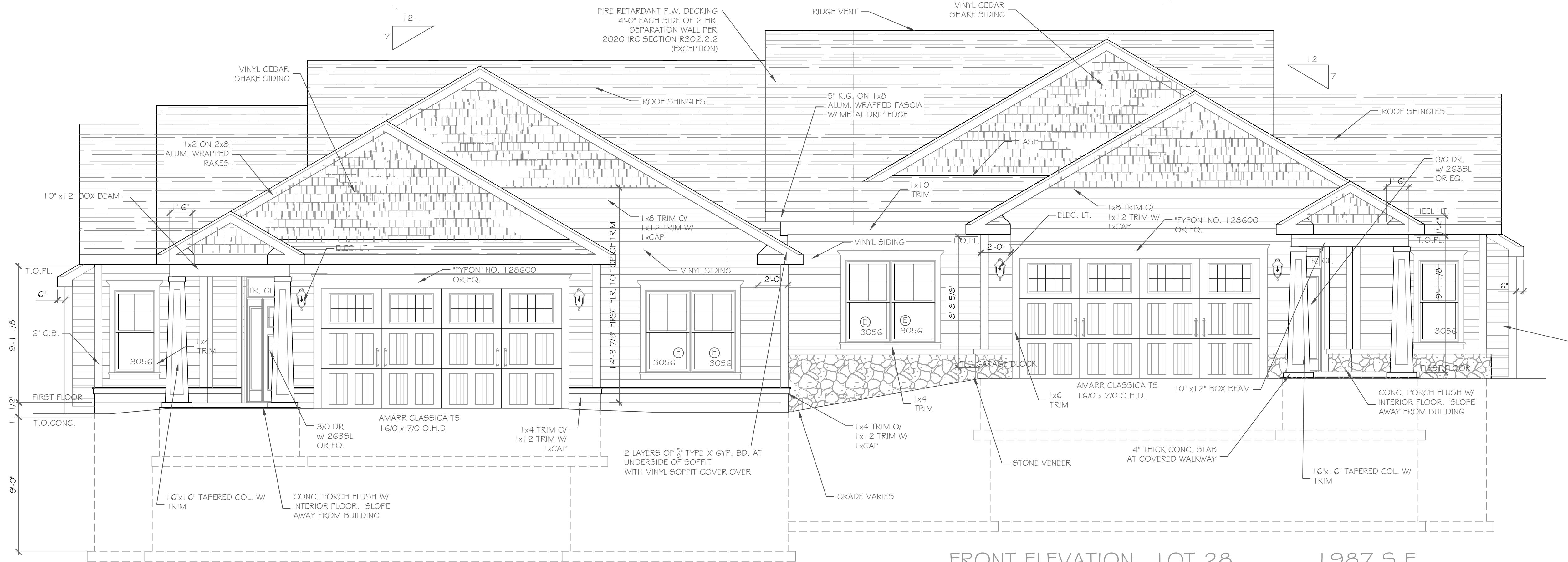


Approved



Approved





FRONT ELEVATION - LOT 28 1987 S.F.

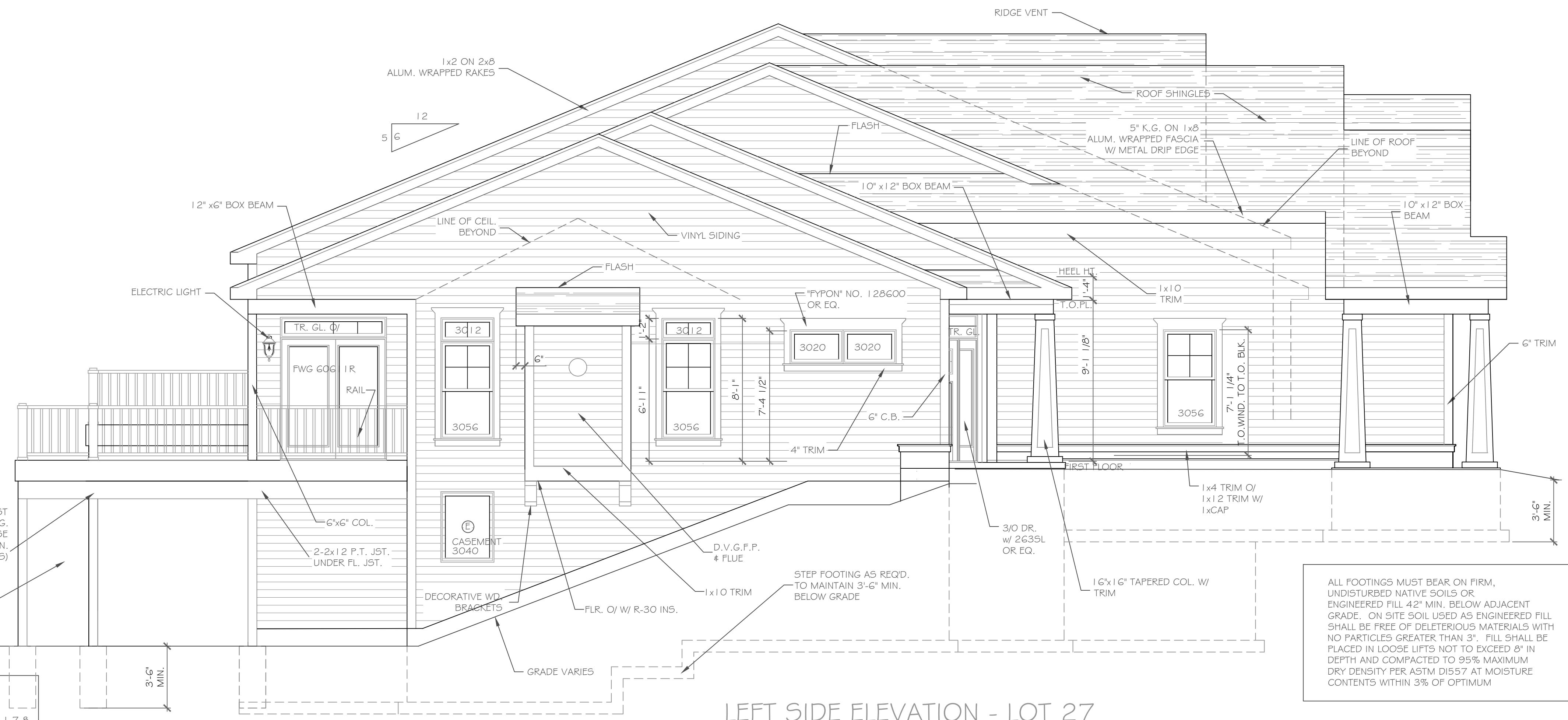
FRONT ELEVATION - LOT 27

2000 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 (E): WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
 PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM,
 UNDISTURBED NATIVE SOILS OR
 ENGINEERED FILL 42" MIN. BELOW ADJACENT
 GRADE. ON SITE SOIL USED AS ENGINEERED FILL
 SHALL BE FREE OF DELETERIOUS MATERIALS WITH
 NO PARTICLES GREATER THAN 3". FILL SHALL BE
 PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN
 DEPTH AND COMPACTED TO 95% MAXIMUM
 DRY DENSITY PER ASTM D1557 AT MOISTURE
 CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 (E): WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
 PER SECTION R310 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION - LOT 27

1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE -

Elevations

PHASE -

Construction Documents

PROJECT -

Alpine Ridge - Units 27 & 28
 Pittsford, New York

CLIENT -

Morrell Builders

DATE -

October 29, 2021

JOB NO. -

A21-070

CKH

architecture

150 Pittsford Victor Rd.
 Victor, New York 14564
 phone: (585) 249-3344
 email: CKHArchitects@frontier.net

DRAWING NO. -

A-1

REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Elevations	PHASE- Construction Documents
------------------------------	----------------------------------

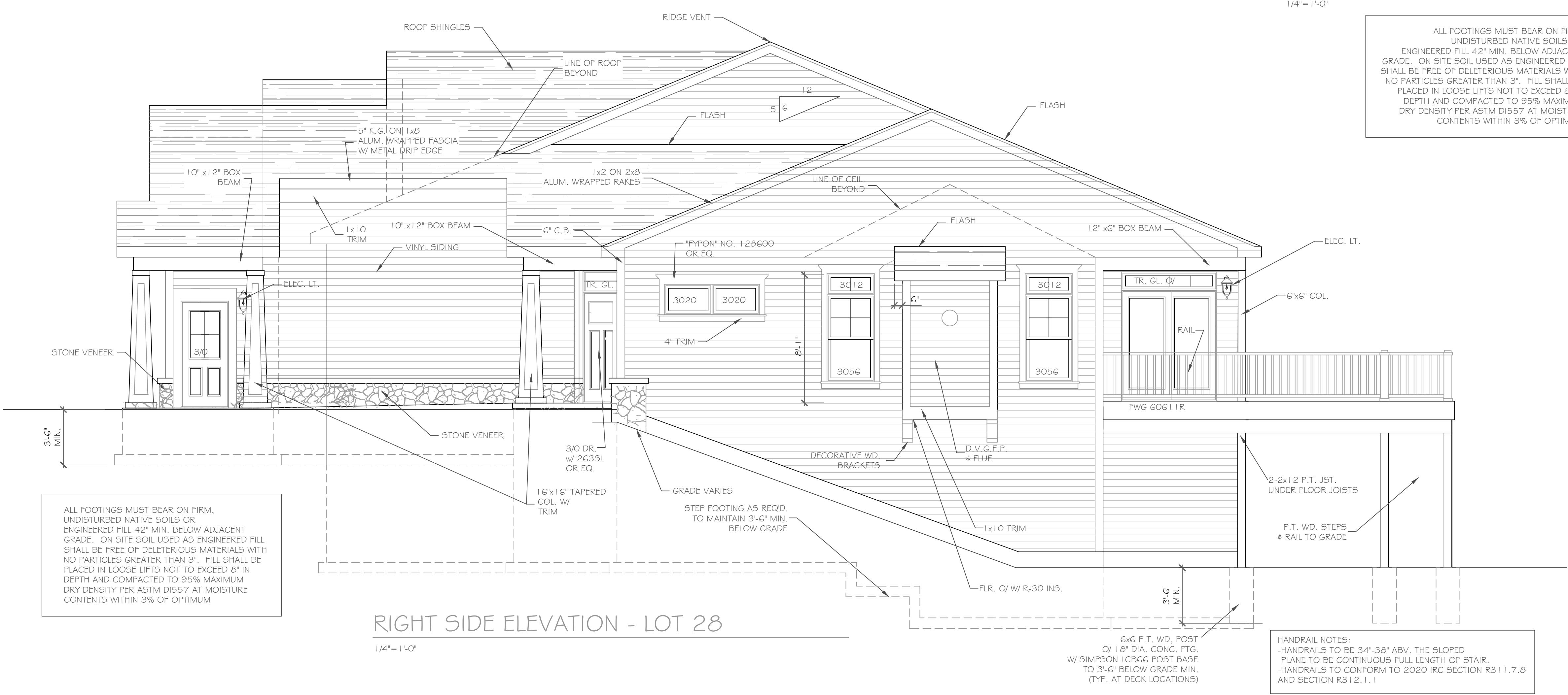
DATE-
October 29, 2021

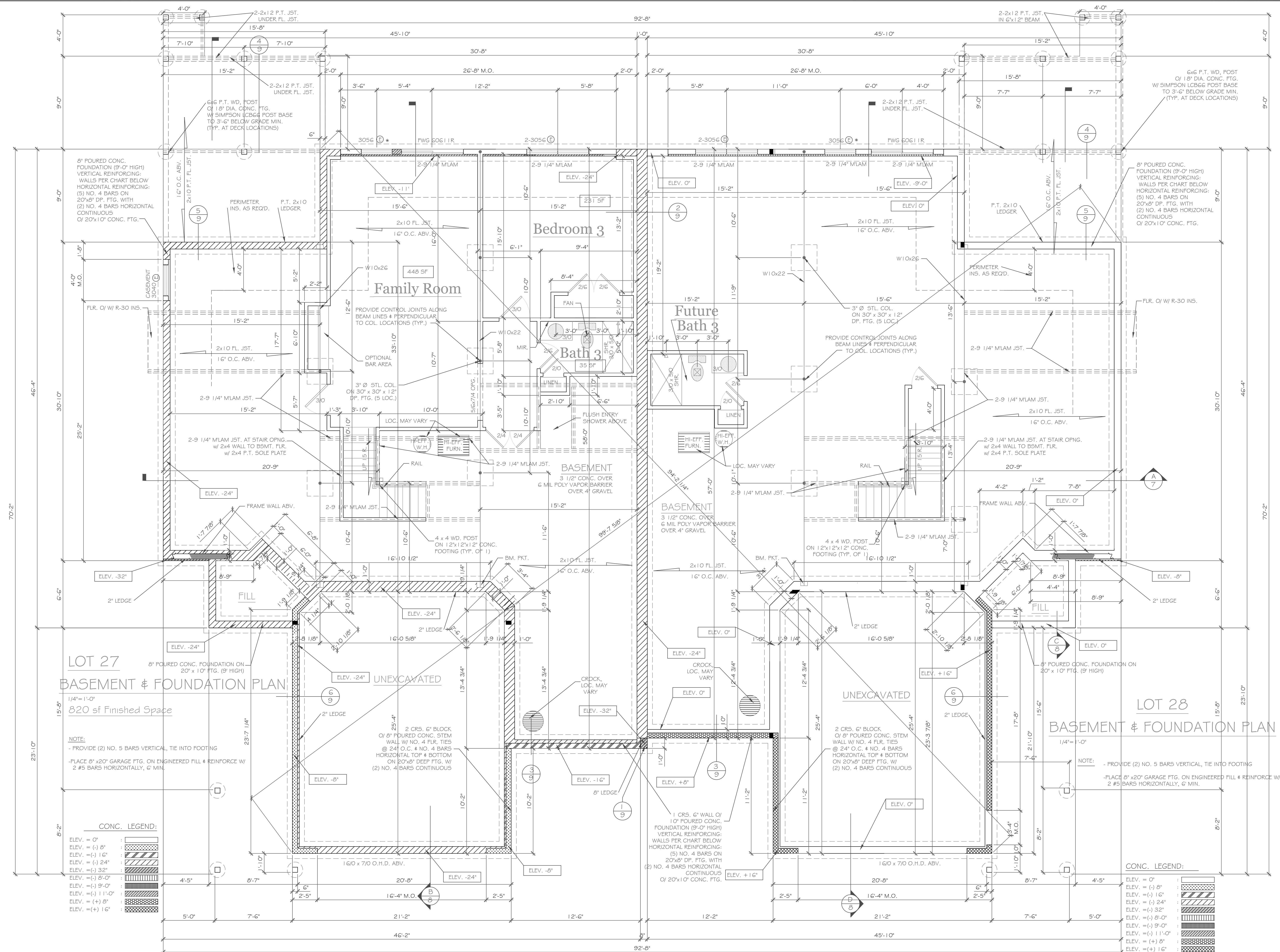
PROJECT-
Alpine Ridge - Units 27 & 28
CLIENT-
Morrell Builders

JOHN NO.-
A21-070

1501 Pittsford Victor Rd.
Victor, New York 14564
Phone: (585) 249-3334
Email: CKHenneberry@frontiernet.net

DRAWING NO.-
A-2





Basement & Foundation Plan

DRAWING TITLE -

PHASE -

DATE -

Construction Documents

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Victor, NY 14564
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Email: CKHArchitects@frontiernet.net

DRAWING NO. -
A-3

Lots 25 and 26 LEFT OF SUBJECT

Siding: Navajo Beige

Front Door: New Earth

Garage Door: Mahogany



Navajo Beige ★



New Earth



Mahogany

Lots 27 and 28 SUBJECT

Siding: Khaki Brown

Front Door: Driftwood

Garage Door: Dark Oak



Khaki Brown ★



Driftwood



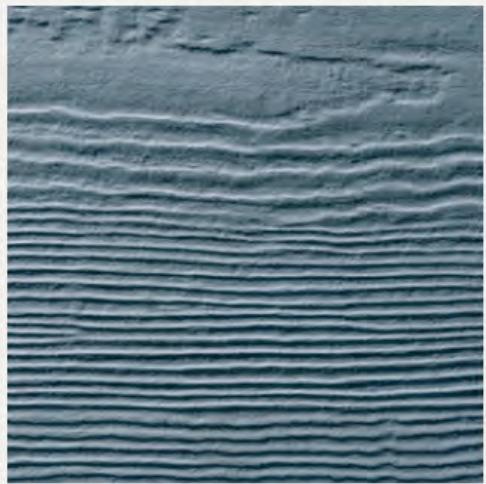
Dark Oak

Lots 29 and 30 RIGHT OF SUBJECT

Siding: Booth Bay Blue

Front Door: New Earth

Garage Door: Mahogany



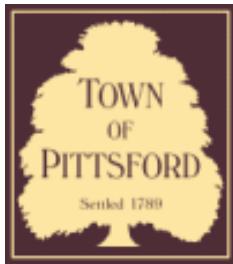
Boothbay Blue



New Earth



Mahogany



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B21-000222

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 49 Van Voorhis Road PITTSFORD, NY 14534

Tax ID Number: 192.02-1-18

Zoning District: RN Residential Neighborhood

Owner: Liu, Sumei

Applicant: Gerber Homes & Additions LLC

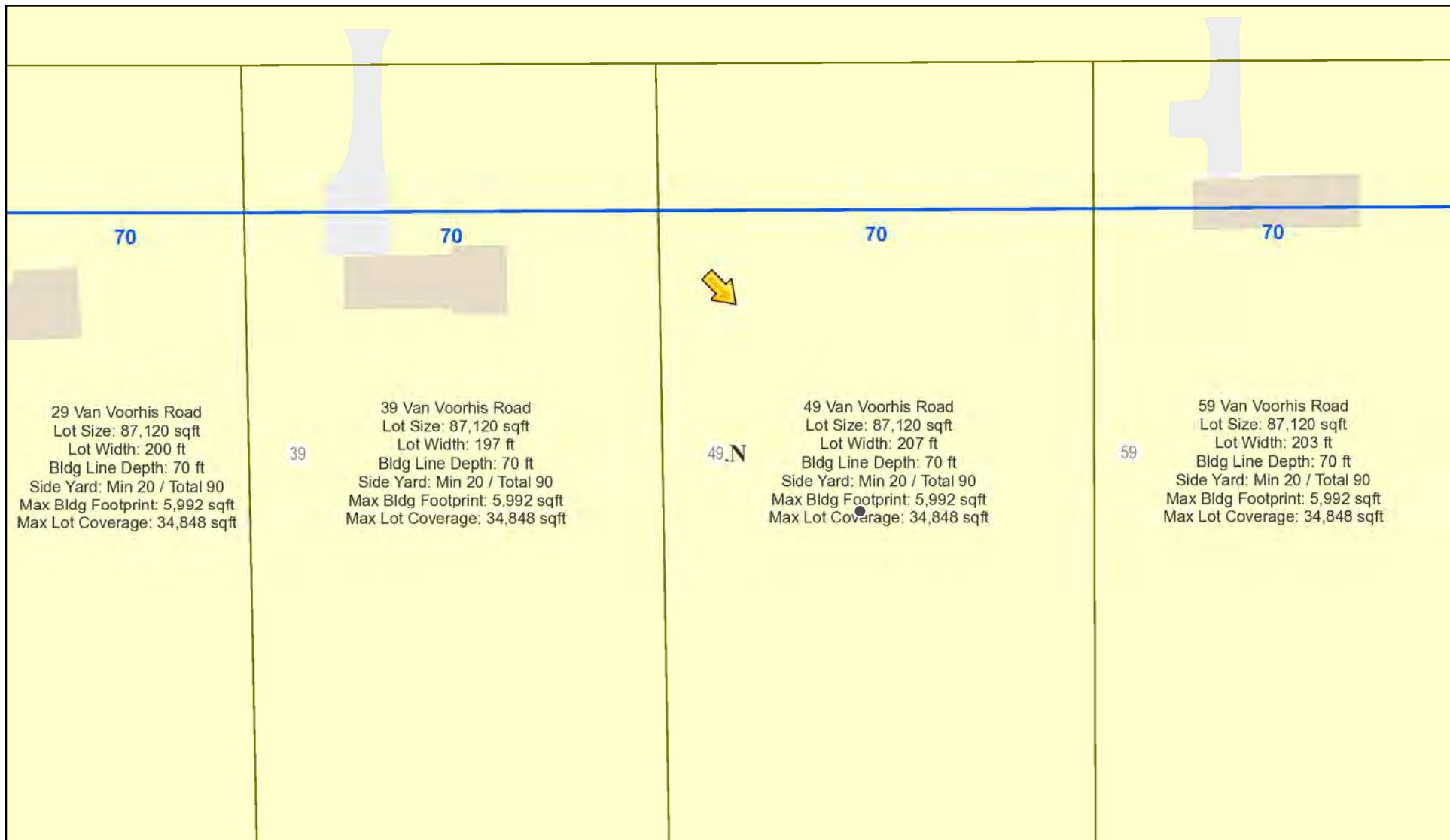
Application Type:

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<input type="checkbox"/> Commercial Design Review §185-205 (B)	<input type="checkbox"/> Building Height Above 30 Feet §185-17 (M)
<input type="checkbox"/> Signage §185-205 (C)	<input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3)
<input type="checkbox"/> Certificate of Appropriateness §185-197	<input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c)
<input type="checkbox"/> Landmark Designation §185-195 (2)	<input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2)
<input type="checkbox"/> Informal Review	

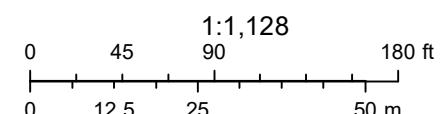
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 2874 square feet.

Meeting Date: November 11, 2021

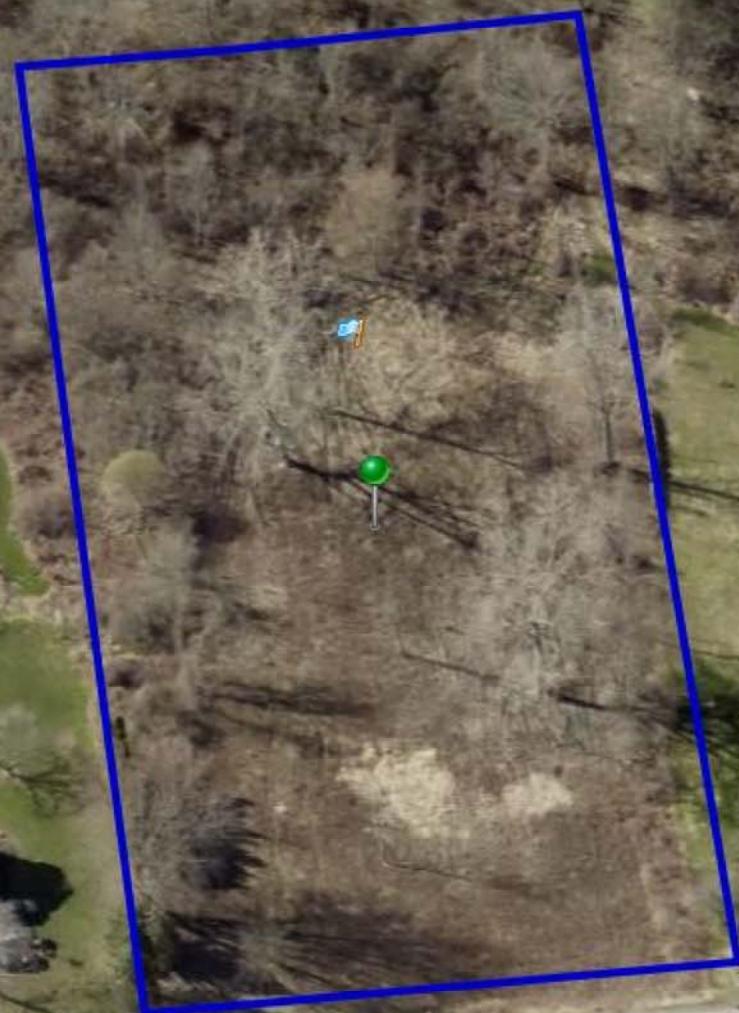
RN Residential Neighborhood Zoning

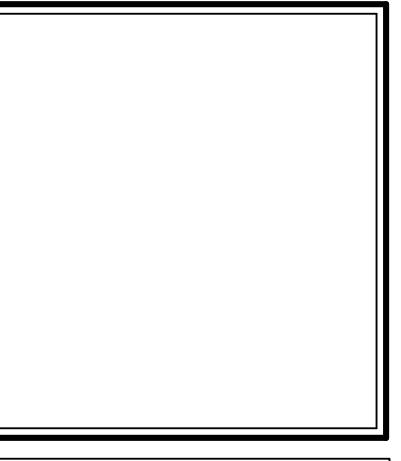


Printed November 3, 2021



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REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 SAHLI - SCHICK RESIDENCE
 49 VAN VOORHIS RD
 PITTSFORD, NY

BUILDER:
 GERBER HOMES

ELEVATIONS
GLA PLAN 2874

drawn: AMM checked: XXX
 scale: AS NOTED date: 11/1/21

PROJECT: sheet: 1
 15458B 5

WINDOWS: VUD
 U-FACTOR 0.30
 SHGC 0.33

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS,
 SKYLIGHTS, & SLIDING DOORS TO BE NO
 MORE THAN 0.3 cfm/sf. & SWING DOORS
 NO MORE THAN 0.5 cfm/sf. AS PER SECT.
 R402.4.5 OF 2020 EECNYC

WINDOW / DOOR LEGEND:

E - MEETS OR EXCEEDS EGRESS REQUIREMENTS

- CLEAR OPENING AREA OF 5.7 SQ.FT.

- CLEAR OPENING WIDTH OF 20"

- CLEAR OPENING HEIGHT OF 24"

PER SECT. R310.1 OF 2020 RCNYC

T - SPECIFIES THAT THIS FIXED OR OPERABLE
 UNIT REQUIRES SAFETY GLAZING

PER SECT. R308.4 OF 2020 RCNYC

FP - SPECIFIES THAT THIS OPERABLE WINDOW
 UNIT REQUIRES FACTORY APPLIED FALL
 PROTECTION PER SECT. R312.2 OF 2020 RCNYC

GENERAL NOTES:

ALL RAFFS & OVERHANGS ARE TO BE 1'-0"

UNLESS NOTED OTHERWISE

4/12 PITCH ROOFS OR SHALLOWER
 TO HAVE 2 LAYERS 15# FELT

BUILDER TO PROVIDE ROOF OR RIDGE VENTS

AS PER CODE- THE MINIMUM NET FREE

VENTILATION AREA SHALL BE 1/150 OF THE

AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR
 TO CONSTRUCTION IF THE ASSUMED GRADE

DEPICTED IS INACCURATE AND / OR WILL ALTER

THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN IS DESIGNED TO REQUIRE (MIN) 1

CONTINUOUSLY RUN EXHAUST FAN

CAPABLE OF (MIN) 60 c.f.m. WITH A

MANUAL OVERRIDE SWITCH AS PER

SECTION M1505.4.2 OF 2020 RCNYC

SEE TABLES M1505.4.3(1) & M1505.4.3(2)

& M1505.4.4 (PAGE 1)

Dwelling Unit	Number of BedRooms					
	0-1	2-3	4-5	6-7	> 7	Airflow in CFM
Floor Area (square feet)						
< 1,500	30	45	60	75	90	90
1,501-3,000	45	60	75	90	105	105
3,001-4,500	60	75	90	105	120	120
4,501-6,000	75	90	105	120	135	135
6,001-7,500	90	105	120	135	150	150
> 7,500	105	120	135	150	165	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

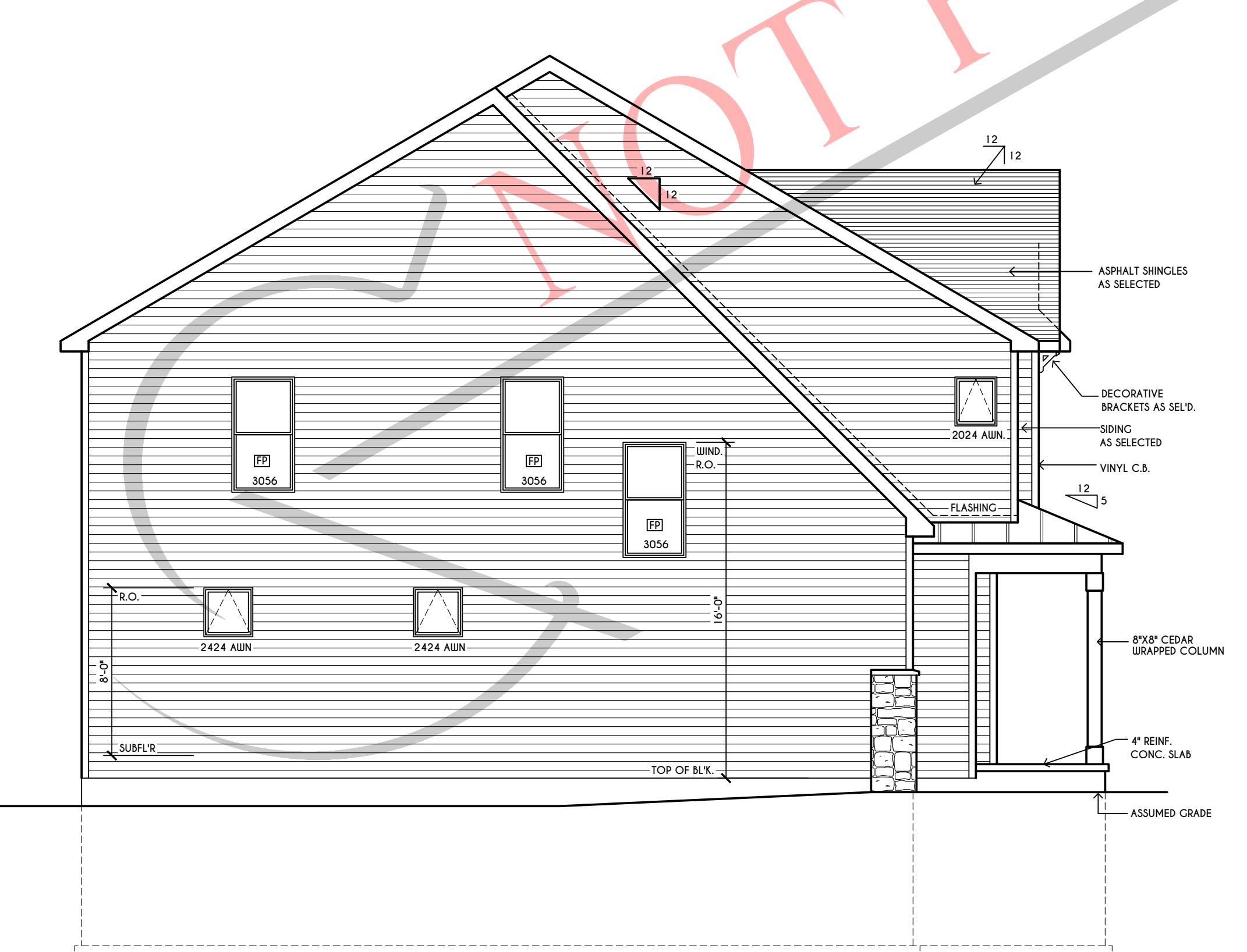
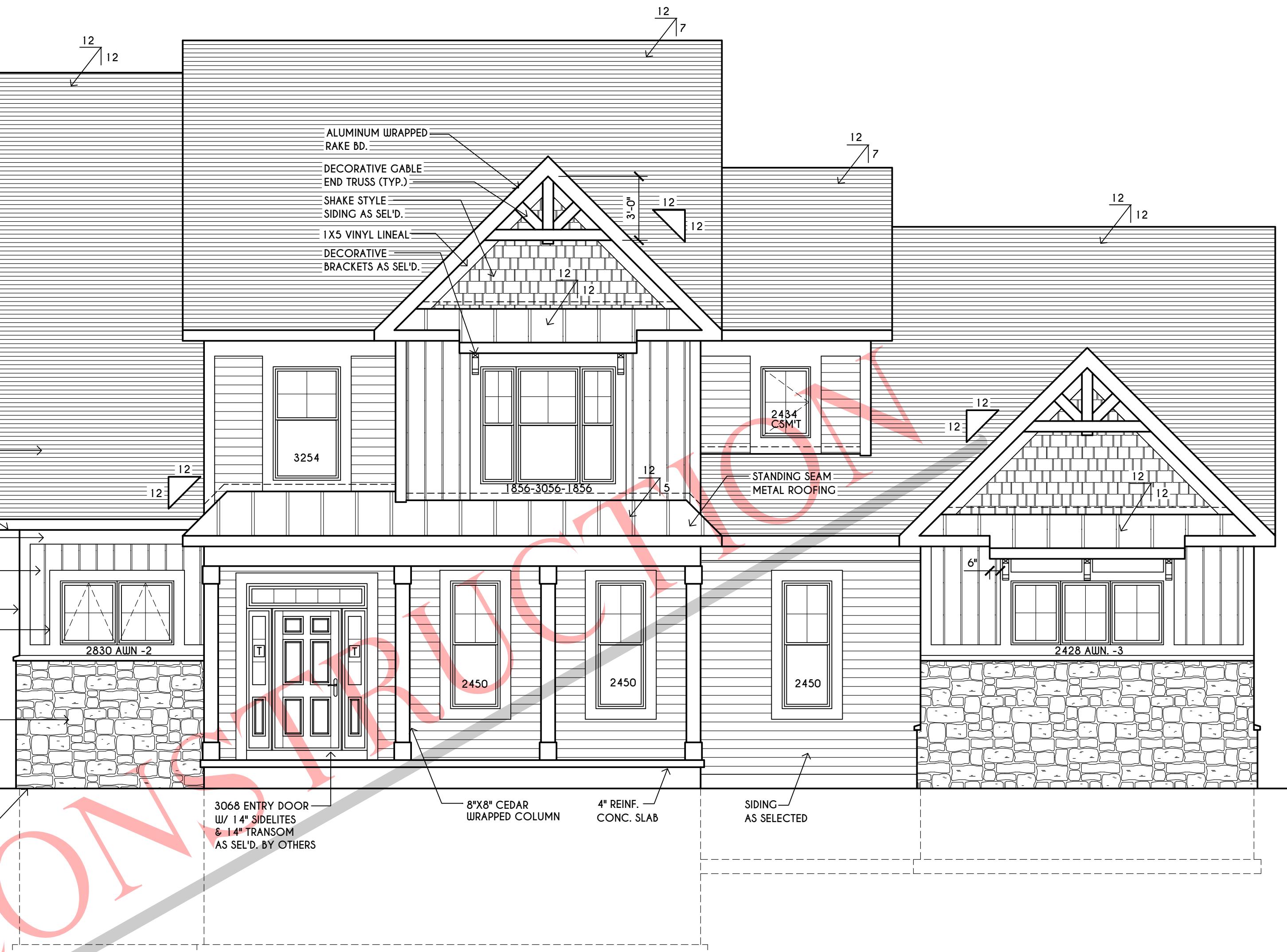
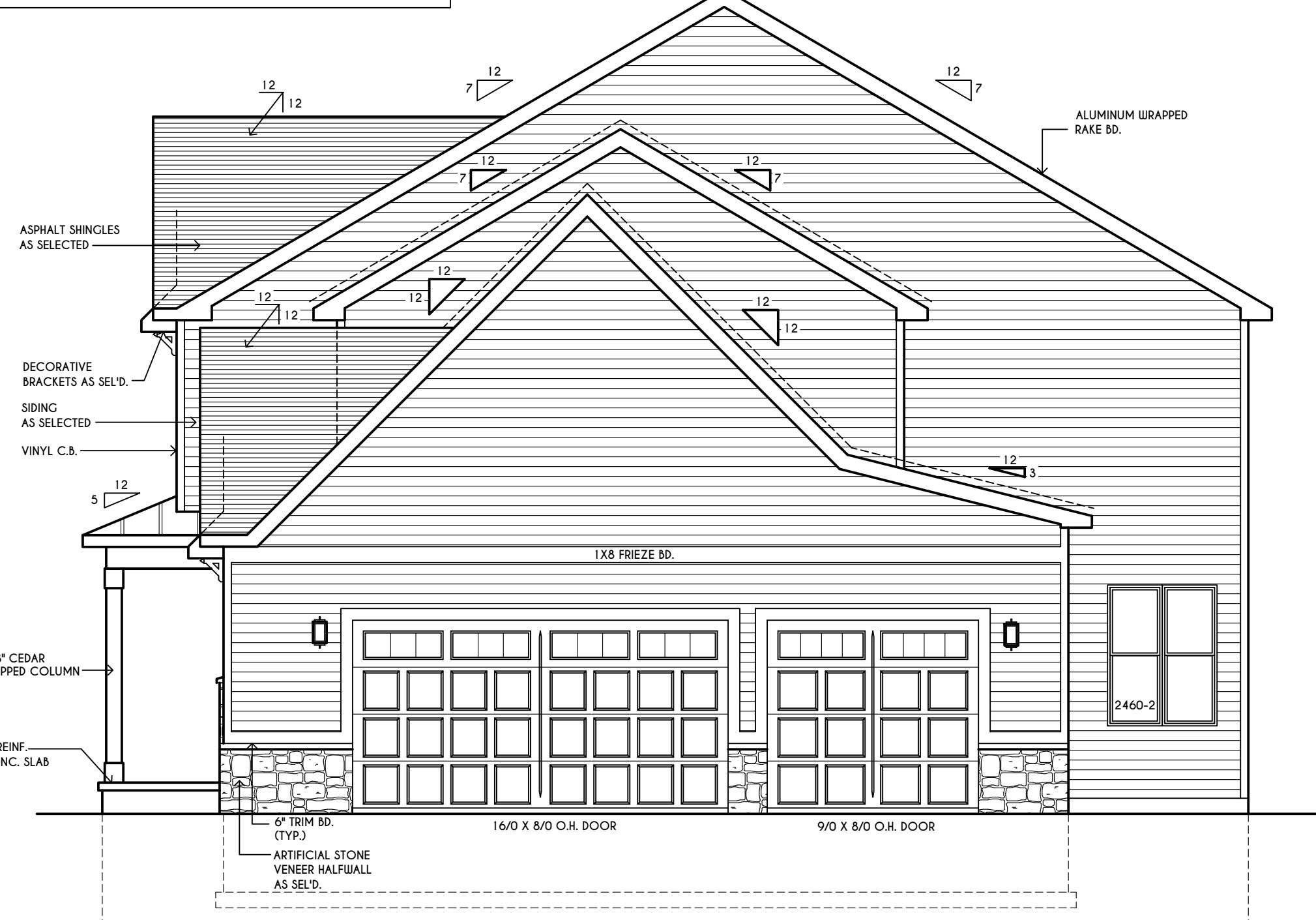
Run-Time Percentage in EA. 4-HOUR SEGMENT	Intermittent Whole-House Mechanical Ventilation Rate Factors ^{a,b}					
	25%	33%	50%	66%	75%	
Factor ^a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4

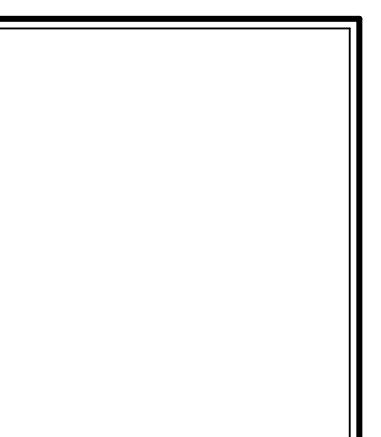
Area to be exhausted	Exhaust Rates
Kitchens	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
Bathrooms- Toilet Rooms	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.



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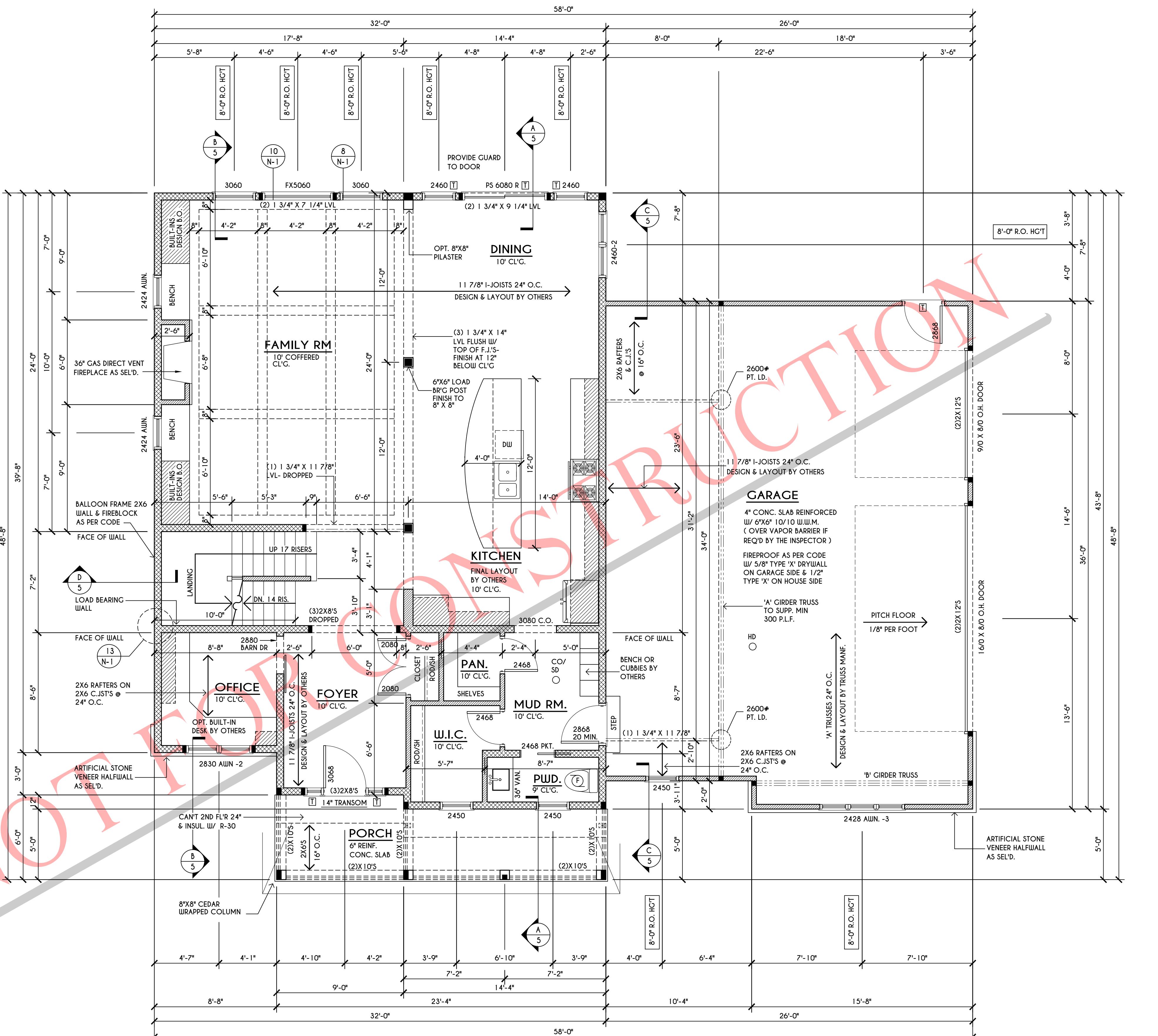
REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 SAHLI - SCHICK RESIDENCE
 49 VAN VOORHIS RD
 PITTSFORD, NY

BUILDER:
 GERBER HOMES

FIRST FLOOR PLAN
 GLA PLAN 2874

drawn:	checked:
AMM	XXX
scale:	date:
AS NOTED	11/1/21
PROJECT:	sheet:
15458B	3
	5



FIRST FLOOR PLAN

1354 SQ. FT.
 SCALE: 1/4" = 1'-0"

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW.
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FRAMING LEGEND:

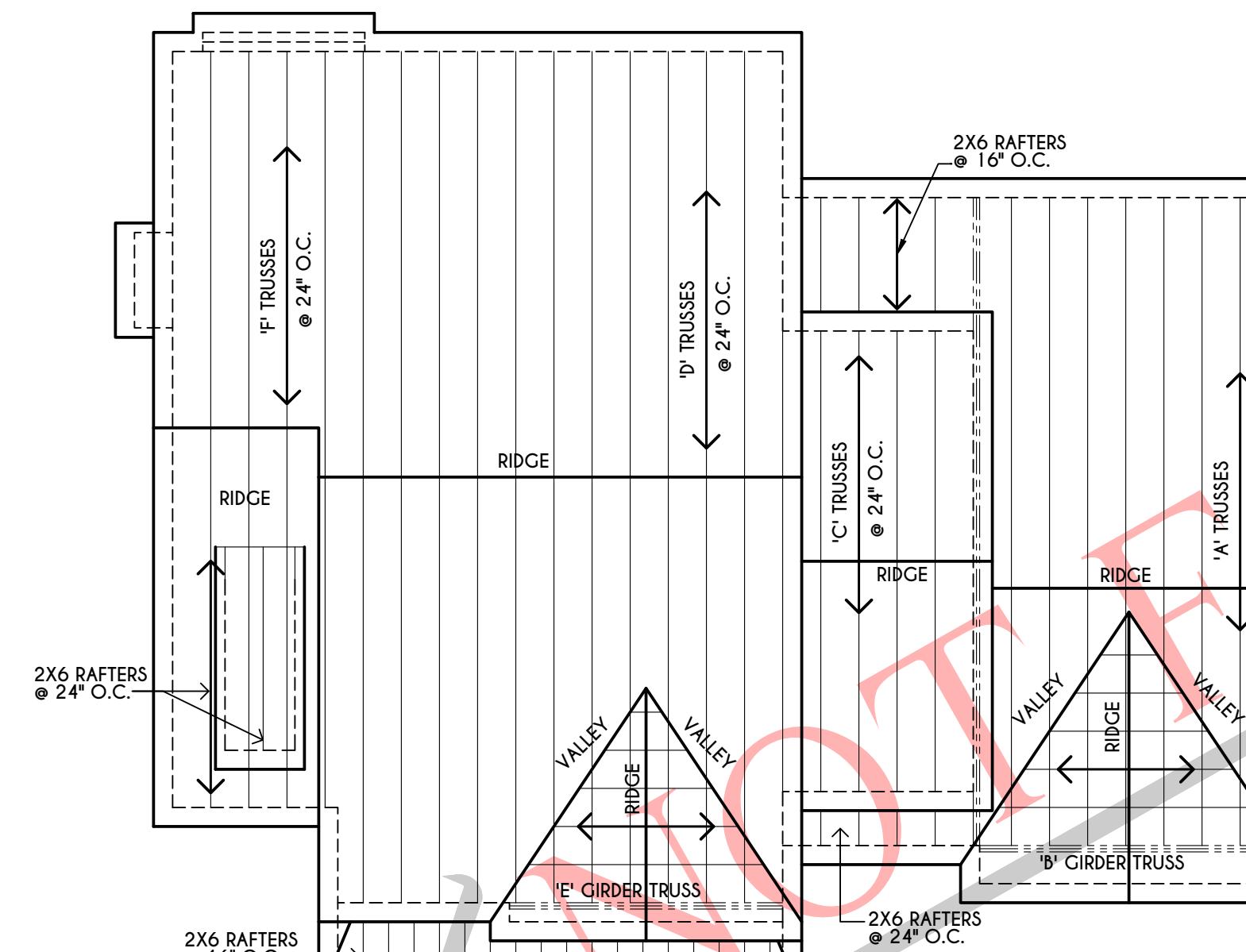
- ████████ - PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- ██████ - DROPPED HEADER
- ██████ - FLUSH HEADER
- ██████ - 2X4 STUDS @ 16" O.C.
- ██████ - 2X4 GARAGE STUDS @ 24" O.C.
- ██████ - 2X6 STUDS @ 24" O.C.

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HGT TO BE 10'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 8'-0" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR FRAMES TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNY'S
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNY'S & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM
 THE SHOWER OR TUBS.

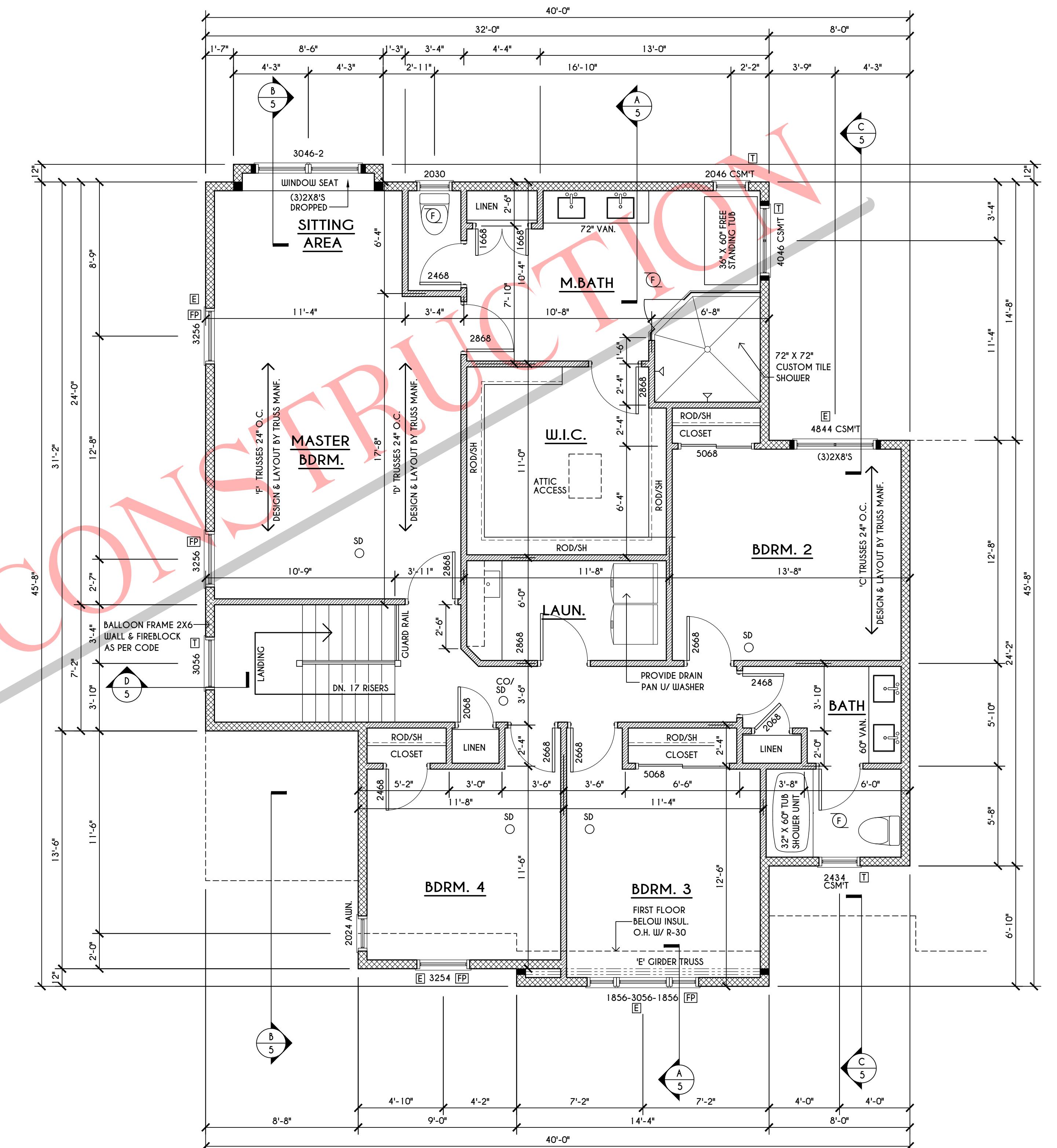
WINDOW / DOOR LEGEND:

- = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 - PER SECT. R310.2.1 OF 2020 RCNY'S
- = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING
 PER SECT. R308.4 OF 2020 RCNY'S
- = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION
 PER SECT. R312.2 OF 2020 RCNY'S

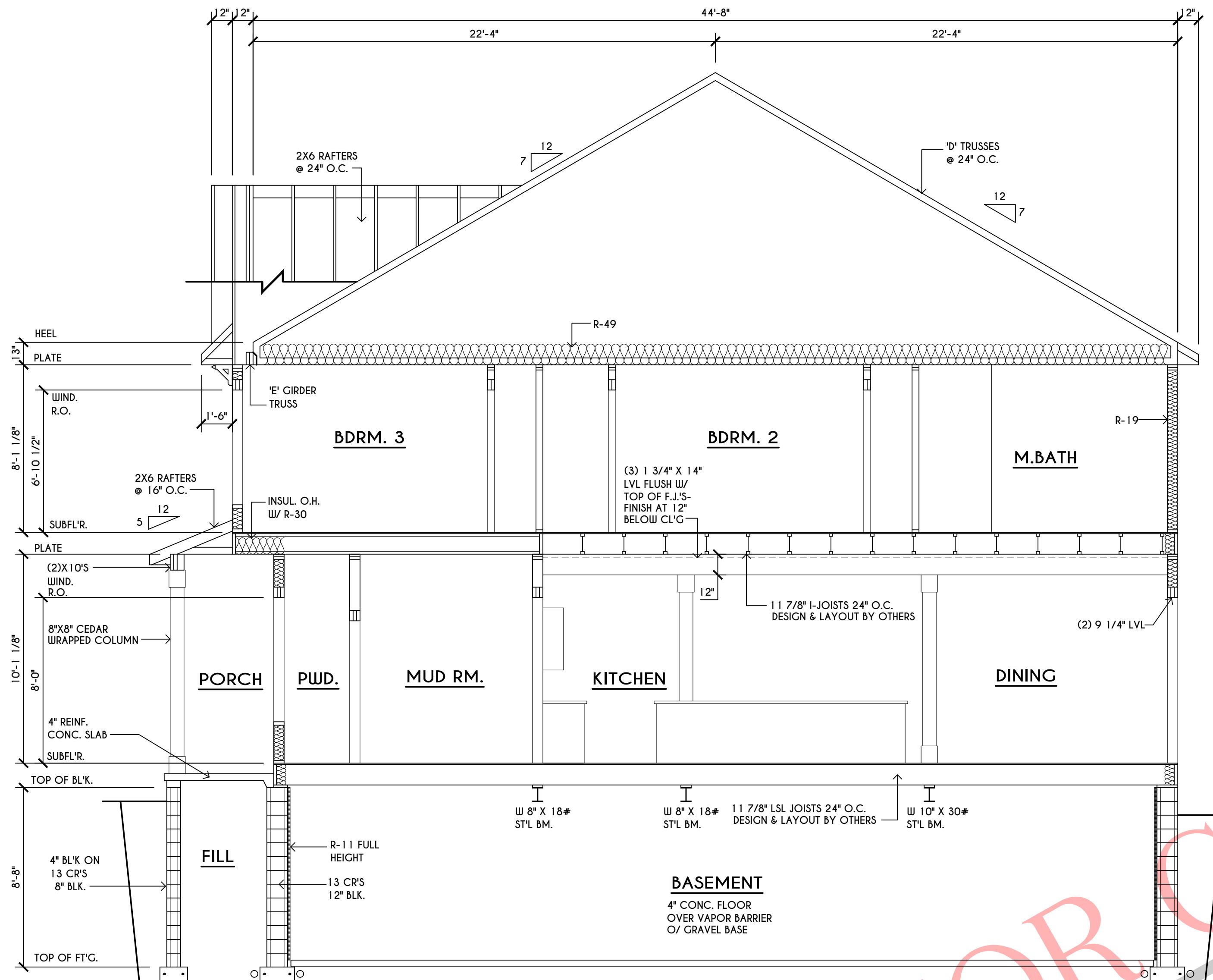


GENERAL ROOF NOTES:

ALL RAFTERS & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT



1520 SQ.FT.

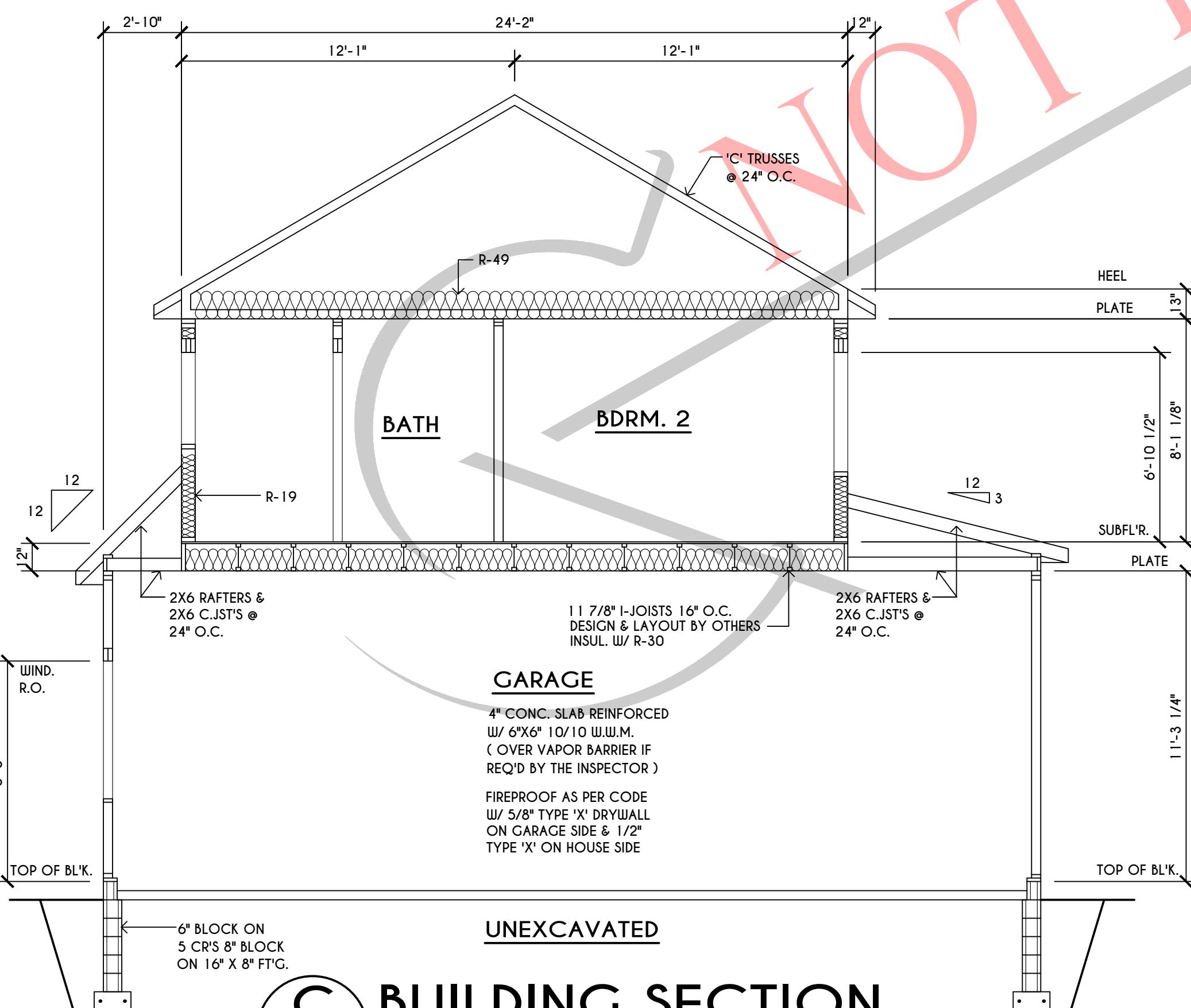


A
5
BUILDING SECTION

SCALE: 1/4" = 1'-0"

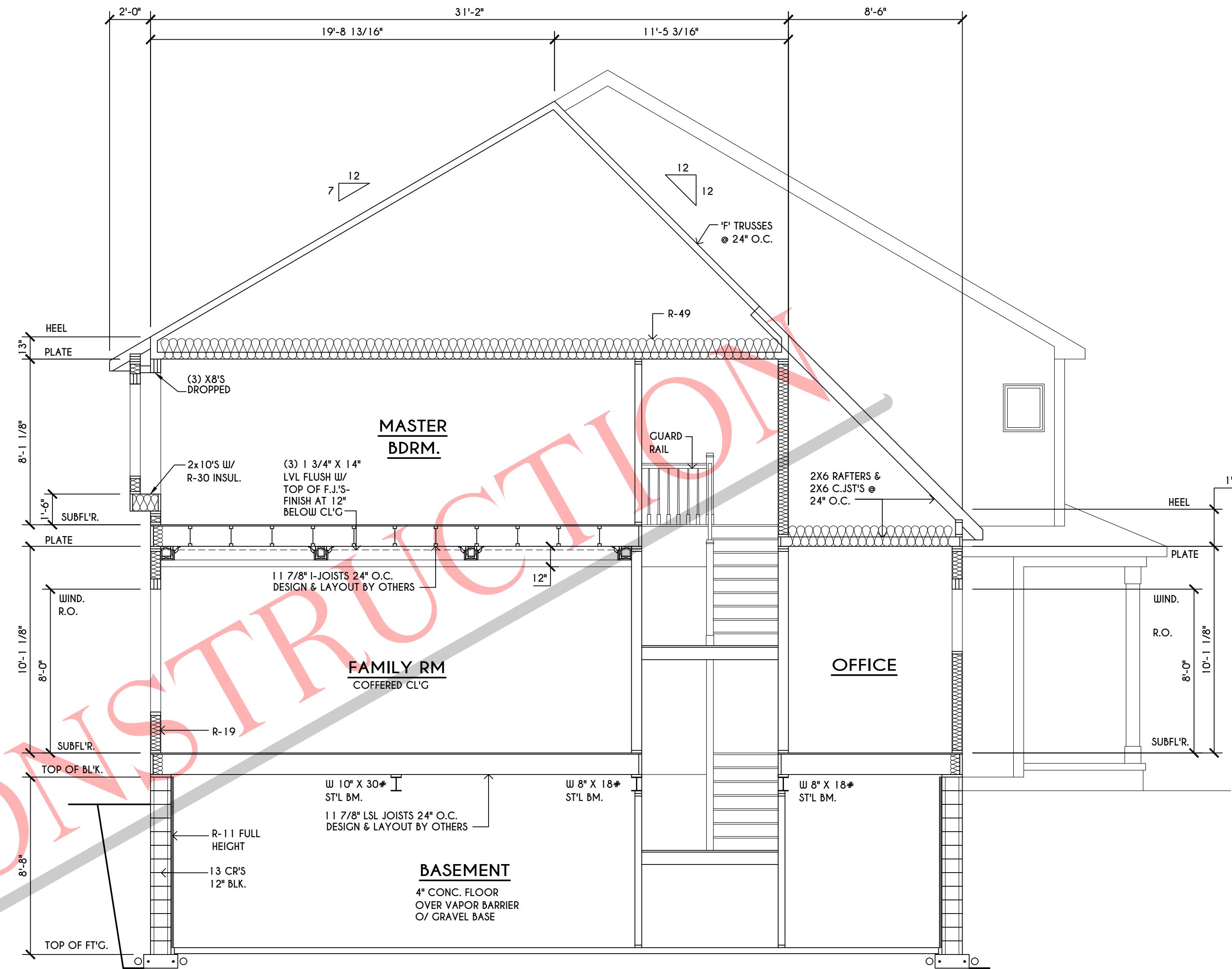
TRUSS NOTES:

TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDERS TO GIRDERS
CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



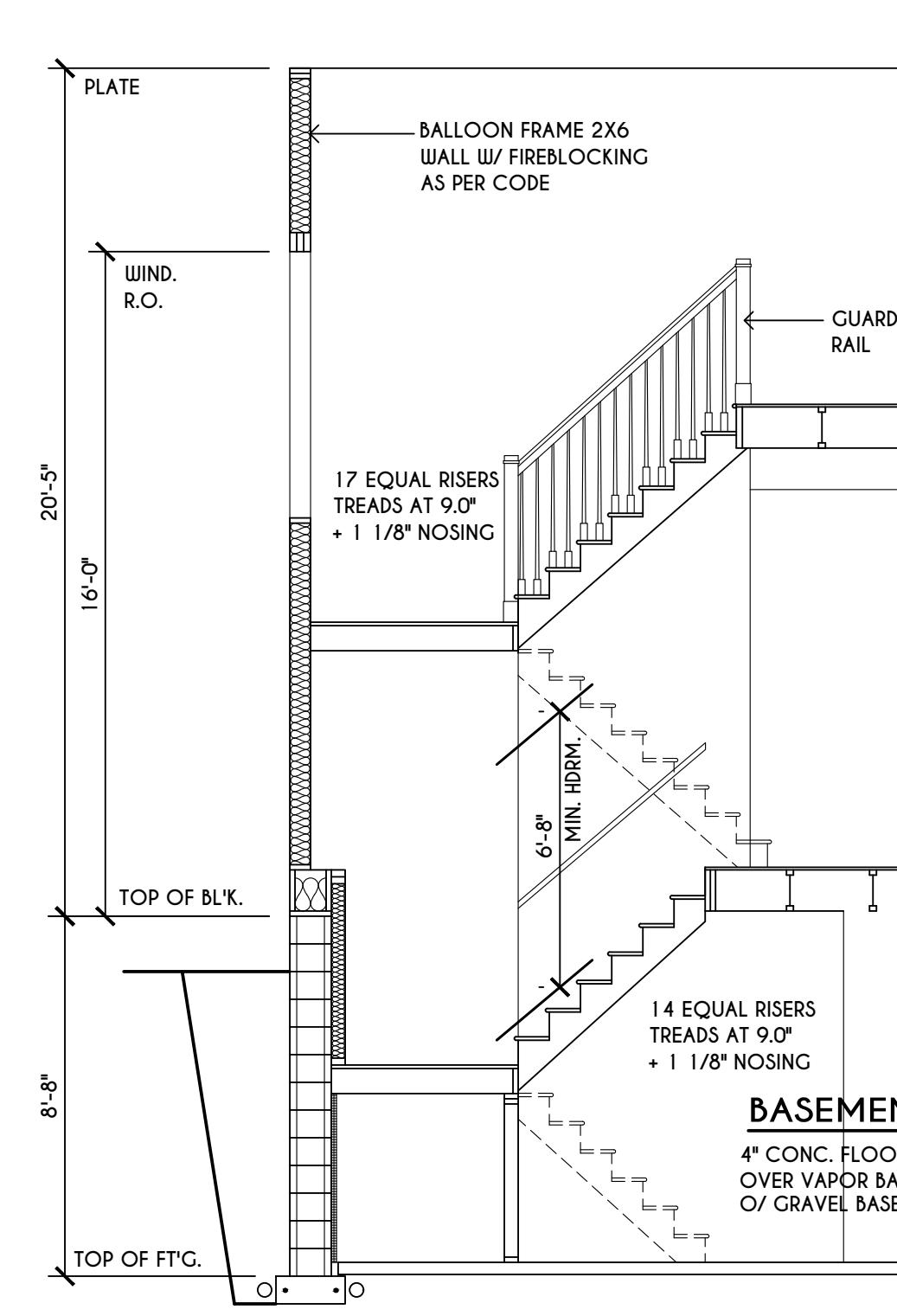
C
5
BUILDING SECTION

SCALE: 1/4" = 1'-0"



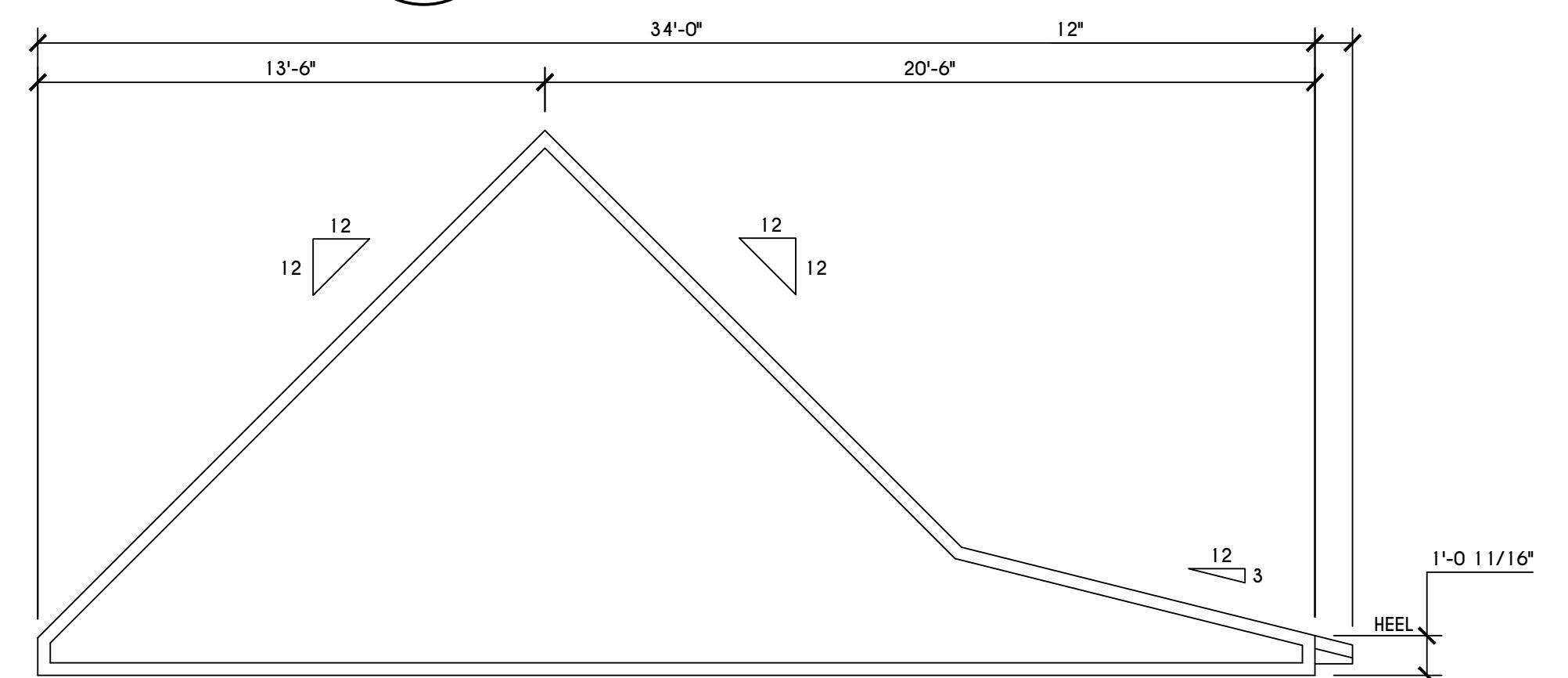
B
5
BUILDING SECTION

SCALE: 1/4" = 1'-0"



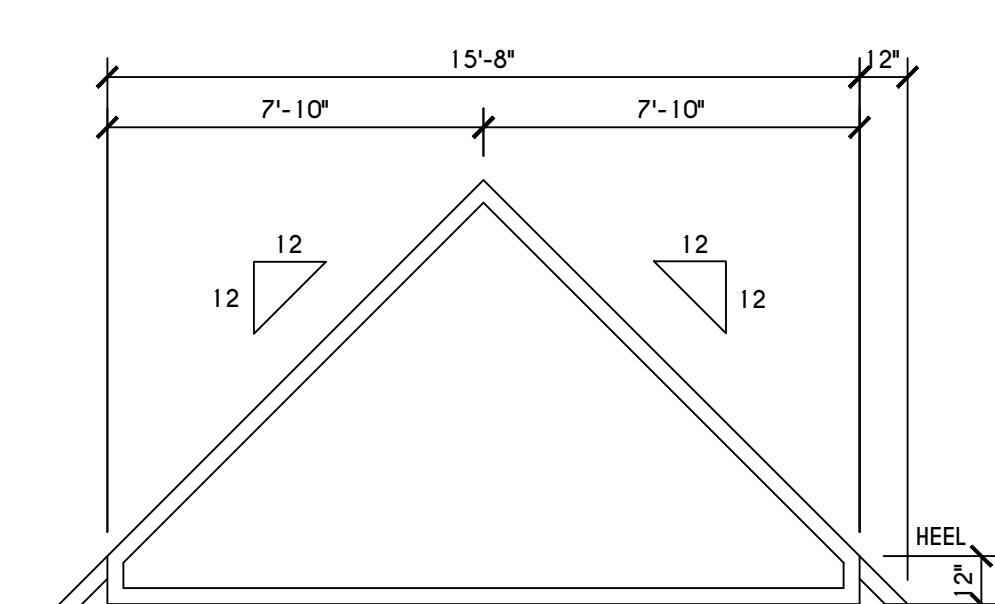
D
5
BUILDING SECTION

SCALE: 1/4" = 1'-0"



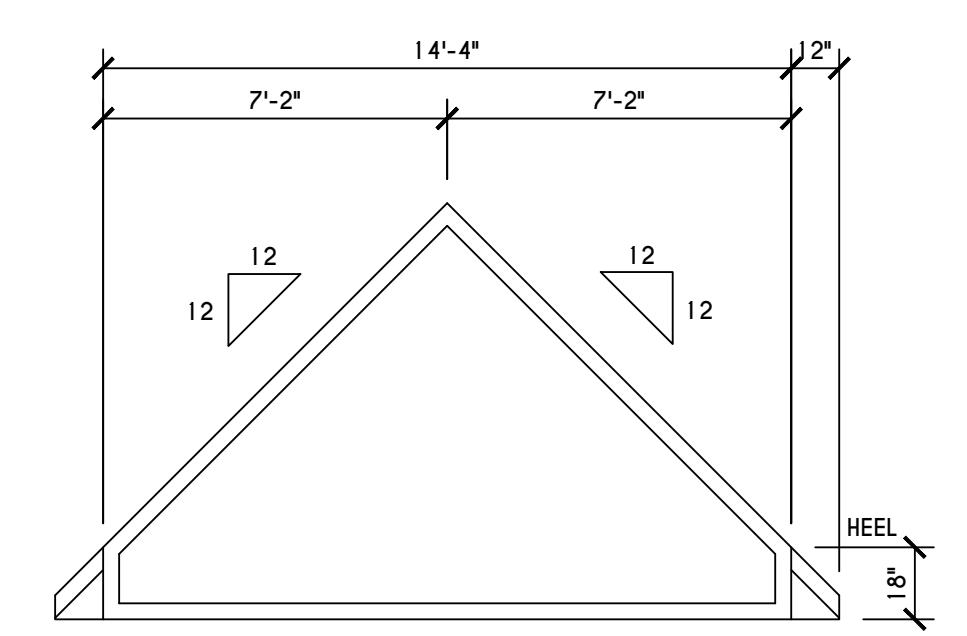
'A' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



'B' TRUSS PROFILE

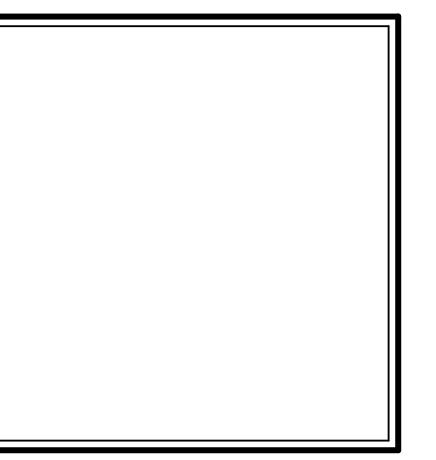
SCALE: 1/4" = 1'-0"



'E' TRUSS PROFILE

SCALE: 1/4" = 1'-0"

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GREATER LIVING ARCHITECTURE, P.C.



GLA
Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA
TOWNSLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
SAHLI - SCHICK RESIDENCE
49 VAN VOORHIS RD
PITTSFORD, NY

BUILDER:
GERBER HOMES

SECTIONS

GLA PLAN 2874

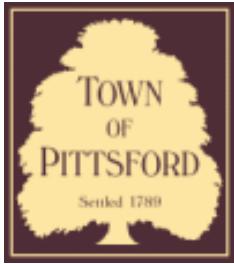
drawn: AMM checked: XXX
scale: AS NOTED date: 6/15/21

PROJECT:
sheet: 5
15458B sheet: 5









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000002

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3419 Clover Street PITTSFORD, NY 14534

Tax ID Number: 177.03-2-26.1

Zoning District: RN Residential Neighborhood

Owner: Dutko, Frank E

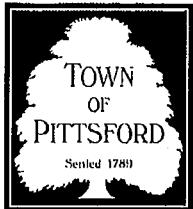
Applicant: Dutko, Frank E

Application Type:

- Residential Design Review
§185-205 (B)
- Commercial Design Review
§185-205 (B)
- Signage
§185-205 (C)
- Certificate of Appropriateness
§185-197
- Landmark Designation
§185-195 (2)
- Informal Review
- Build to Line Adjustment
§185-17 (B) (2)
- Building Height Above 30 Feet
§185-17 (M)
- Corner Lot Orientation
§185-17 (K) (3)
- Flag Lot Building Line Location
§185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
§185-17 (L) (2)

Project Description: Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for the rear addition on a designated historic home. This property is zoned RN -Residential Neighborhood.

Meeting Date: November 11, 2021



TOWN OF PITTSFORD

Design Review & Historic Preservation Board

Application for Certificate of Appropriateness

Case # _____

1. Property Address: 3419 clover st
2. Tax Account Number: _____
3. Applicant's Name: Frank Dutko and Sandy Plumb
Address: 3419 clover st Street Phone: 585-820-3144
Pittsford City NY State 14534 Zip Code E-mail: _____
4. Applicant's Interest in Property:
Owner: Lessee: Holding Purchase Offer:
Other (explain): _____
5. Owner (if other than above): _____
Address: _____ Phone: _____
Street _____
City _____ State _____ Zip Code _____
E-mail: _____
- Has the Owner been contacted by the Applicant? Yes No
6. Application prepared by: Frank Dutko
Address: Same Street _____ Phone: _____
City _____ State _____ Zip Code _____
E-mail: _____
7. Project Design Professional (if Available): _____
Address: _____ Phone: _____
Street _____
City _____ State _____ Zip Code _____
E-mail: _____

8. Project Contractor (if Available): _____

Address: _____ Street _____

City _____ State _____ Zip Code _____

Phone: _____

E-mail: _____

9. Present use of Property: Single Family home

10. Zoning District of Property: _____

11. Is the property located in a Town Designated Historic District?

Yes No

12. Is the property listed on the National Registry of Historic Places?

Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

I will like to make the following changes to my home addition plans that was approved back in May 2021

- 1: Remove 1 60x60 window on the First Floor south side
- 2: Replace window on south side with a person door and a dog door
- 3: Remove French door on Second Floor west side and Replace with a 36x80 inch door
- 4: Install 2 36x48 windows to the west side second floor
- 5: Install 2 36x48 windows to the south side second floor

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

the 36 x 48 windows being added to the second floor will be the same size as windows already on the that side of house

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

Parcel map Architectural elevations
 Photographs Architectural plans
 Other materials

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant

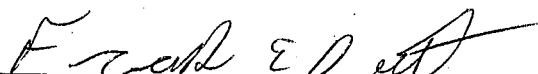
11-2-21

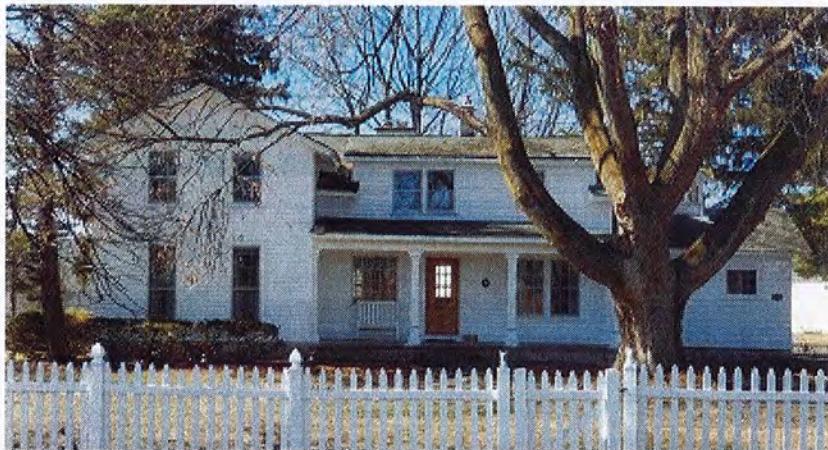
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: 



Picture 1

Front view of 3419 Clover St.

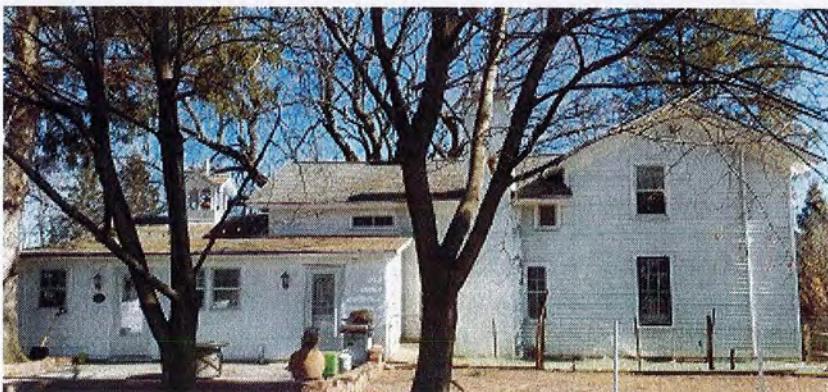
Taken from Clover St looking west



Picture 2

Side view of 3419 Clover St.

Taken from side yard looking north



Picture 3

Back view of 3419 Clover St.

Taken from back yard looking east

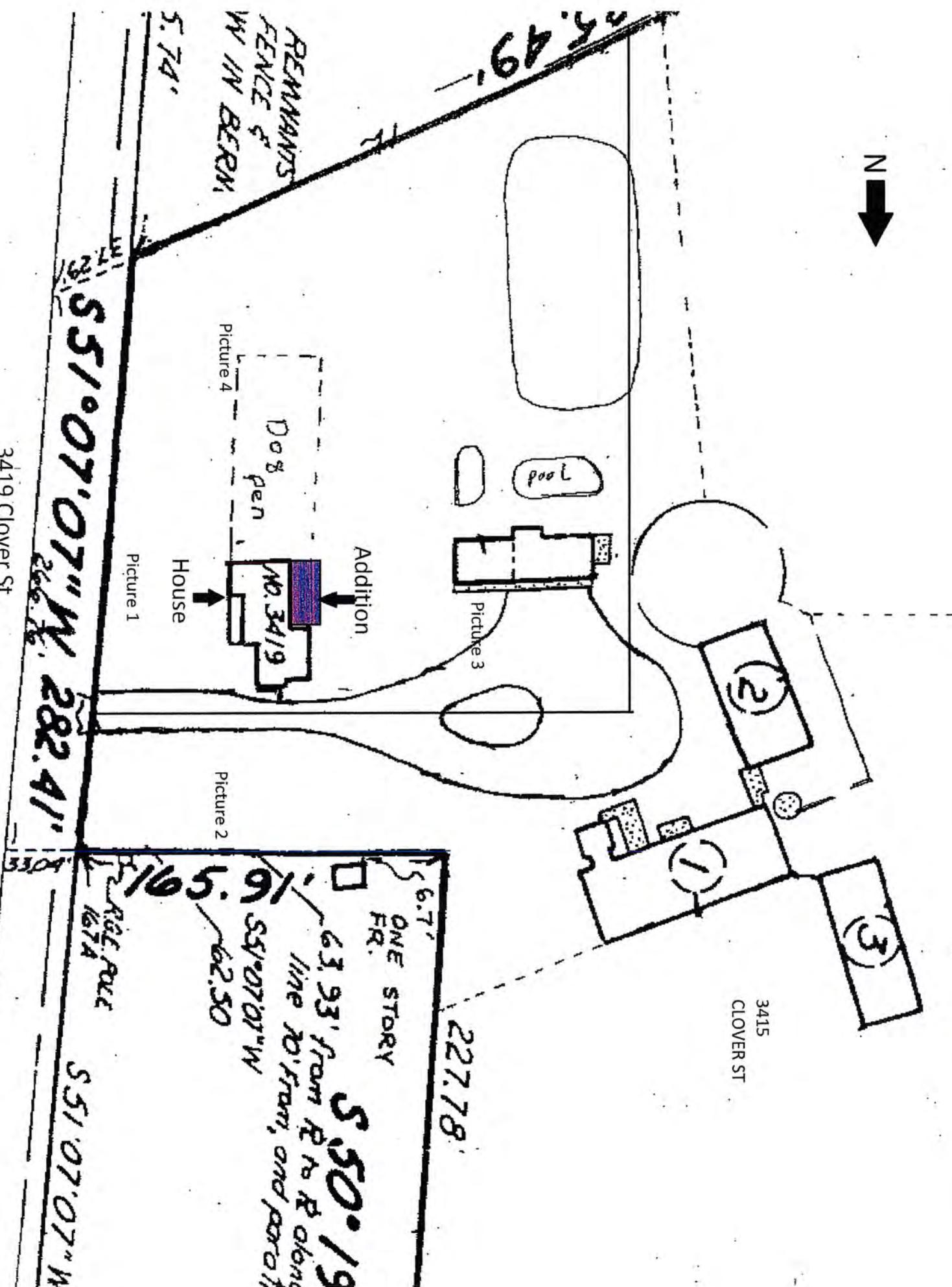


Picture 4

Front view of 3419 Clover St.

Taken from side yard looking south

N
→











New Proposed

West side

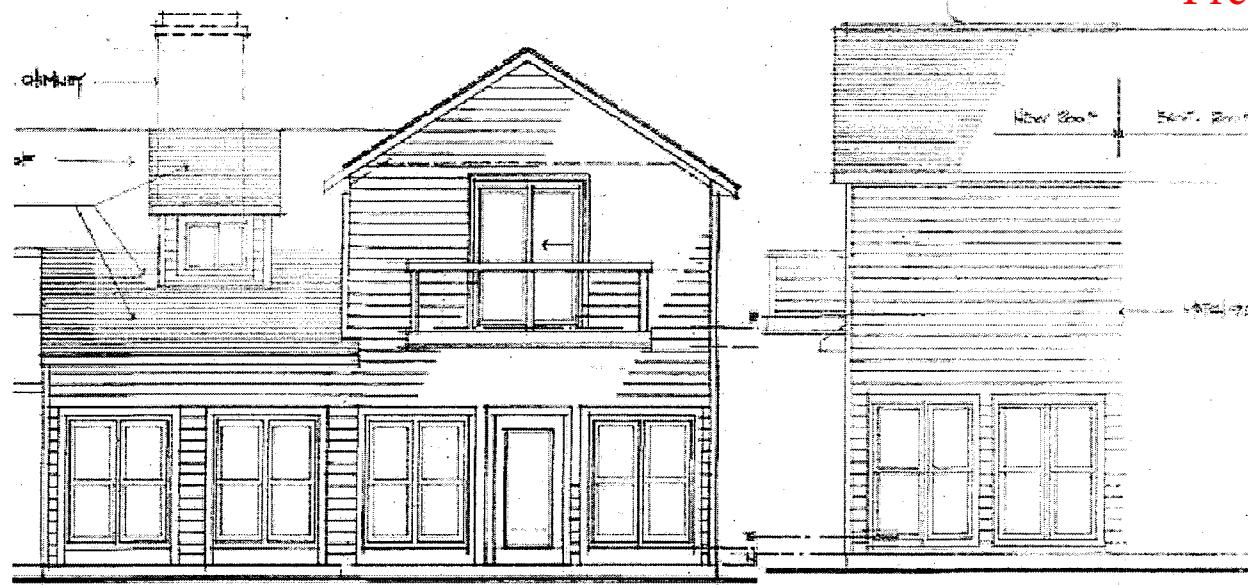


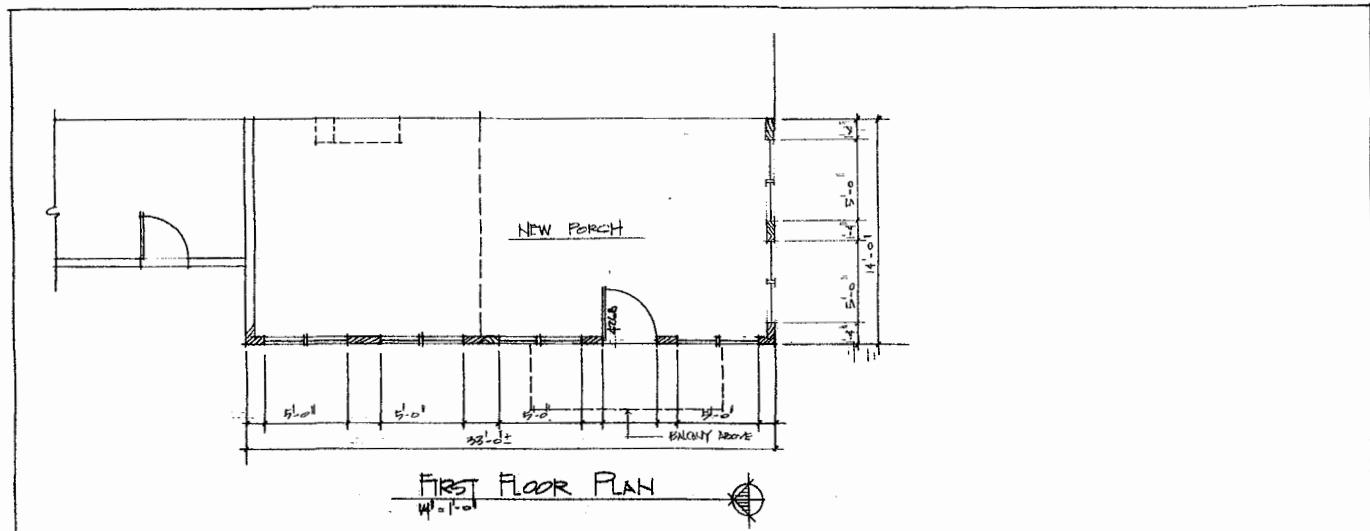
South side



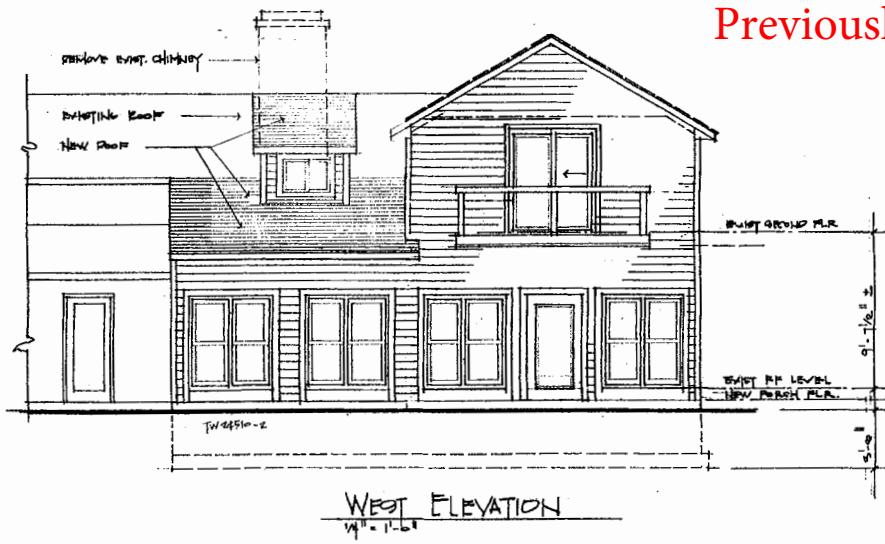
will like to make changes from below picture to above

Previously Approved





Previously Approved



A-1

10-10-21

New Proposed



WEST ELEVATION

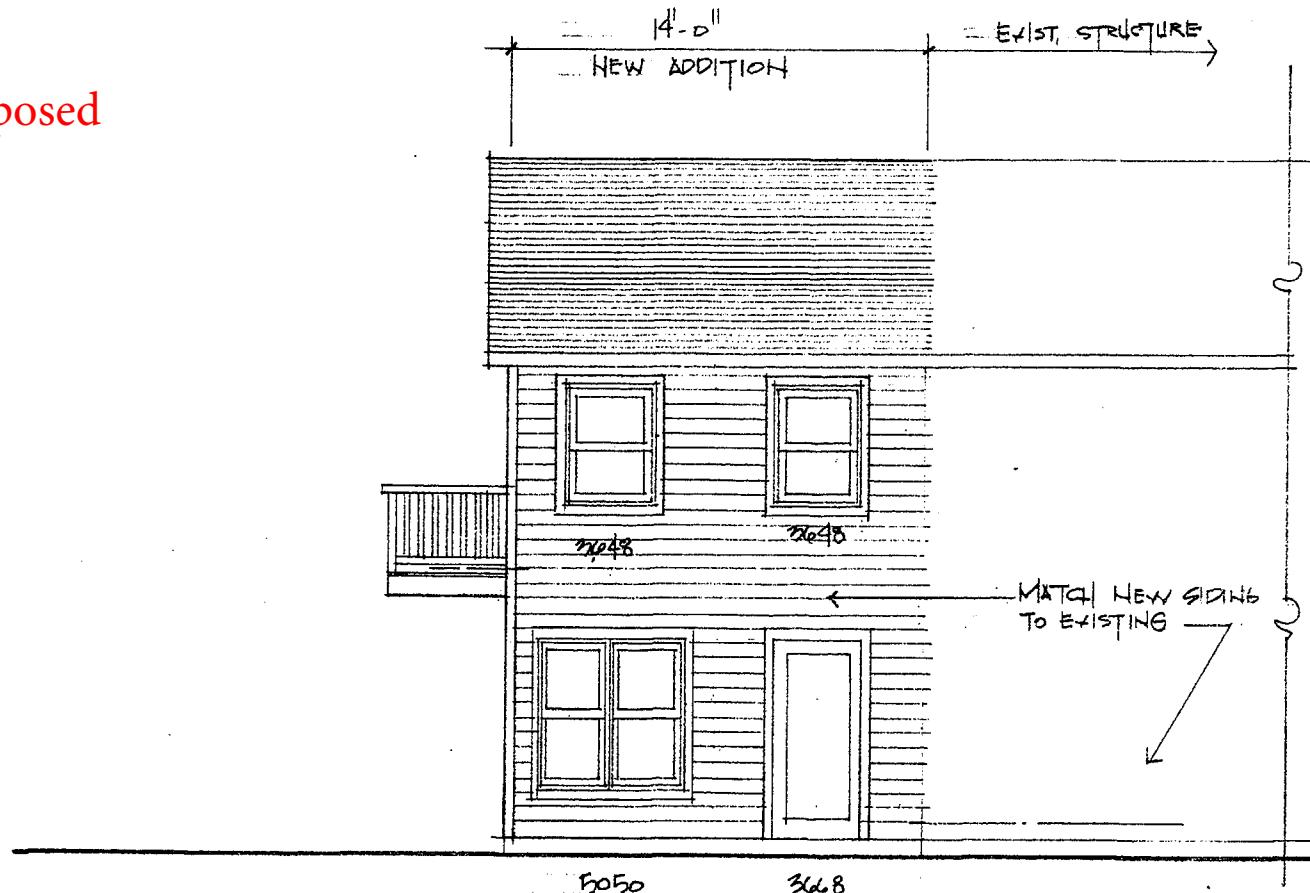
AD

PROJECT DUTKO ADDITION
3419 CLOVER ST.
PITTSFORD NY 14534

REGISTERED ARCHITECT
DAVID A. WALDAREK RA
349 GRAVEL RD
WEBSTER, NY 14580



New Proposed



SOUTH ELEVATION

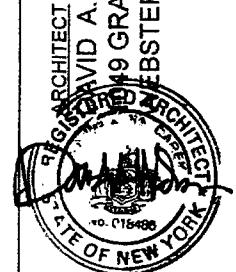
1/4" = 1'-0"

APPENDUM #1 - CHANGE WINDOWS & DOORS ON SHTS. AD-1
& AD-2 FROM ORIGINAL CONST. DOCUMENTS

AD-2

ARCHITECT
DAVID A. WALDAREK RA

3419 CLOVER ST.
WEBSTER, NY 14580



PROJECT
DUTKO ADDITION
3419 CLOVER ST.
PITTSFORD NY 14534

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graph TD
    CO[Central Office] --- CE116[CE 116/9]
    CO --- CE117[CE 117/9]
    CE116 --- CE116a[CE 116/9a]
    CE116 --- CE116b[CE 116/9b]
    CE116a --- CE116a1[CE 116/9a1]
    CE116a --- CE116a2[CE 116/9a2]
    CE116b --- CE116b1[CE 116/9b1]
    CE116b --- CE116b2[CE 116/9b2]
    CE117 --- CE117a[CE 117/9a]
    CE117 --- CE117b[CE 117/9b]
    CE117a --- CE117a1[CE 117/9a1]
    CE117a --- CE117a2[CE 117/9a2]
    CE117b --- CE117b1[CE 117/9b1]
    CE117b --- CE117b2[CE 117/9b2]
  
```

Ortsliste

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850

-20%

232

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Outside

222 in

Balcony

41'10" x 12'11"

Front Porch

8' x 4'

Addition

Ceil. 8' 4 1/2 in

Bedroom

Bathroom

Den

Bedroom

Bedroom

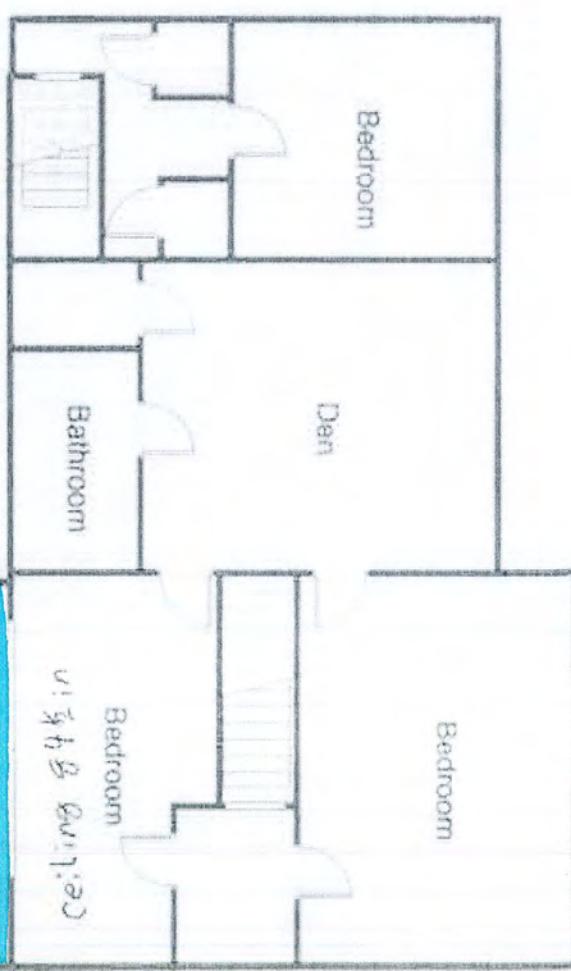
6' 6" x 8'

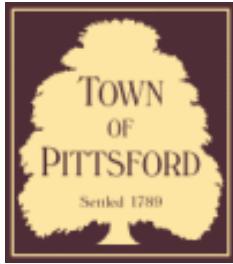
122 ft

Ceil. 8'

8' 4 1/2 in

Floor





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA21-000008

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3001 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-71.1

Zoning District: C Commercial

Owner: Monroe Clover Plaza LLC

Applicant: Monroe Clover Plaza LLC

Application Type:

<input type="checkbox"/> Residential Design Review §185-205 (B)	<input type="checkbox"/> Build to Line Adjustment §185-17 (B) (2)
<input type="checkbox"/> Commercial Design Review §185-205 (B)	<input type="checkbox"/> Building Height Above 30 Feet §185-17 (M)
<input type="checkbox"/> Signage §185-205 (C)	<input type="checkbox"/> Corner Lot Orientation §185-17 (K) (3)
<input checked="" type="checkbox"/> Certificate of Appropriateness §185-197	<input type="checkbox"/> Flag Lot Building Line Location §185-17 (L) (1) (c)
<input type="checkbox"/> Landmark Designation §185-195 (2)	<input type="checkbox"/> Undeveloped Flag Lot Requirements §185-17 (L) (2)
<input type="checkbox"/> Informal Review	

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the expansion of an outdoor patio. This property is zoned MATZ - Monroe Avenue Transitional Zone and is designated historic.

Meeting Date: November 11, 2021



NO
PARKING
FOR
FIRE
TRUCK

RESTAURANT PARKING IN SIDE

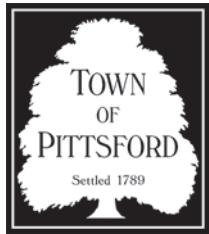
M MONROE'S **OPEN** MONDAY-FRIDAY
BAR & RESTAURANT
SPRINGHOUSE COMMONS

BAKERY & CATERING









TOWN OF PITTSFORD

Design Review & Historic Preservation Board

Application for Certificate of Appropriateness

Case # _____

1. Property Address: 3001 Monroe Avenue Rochester, NY 14618

2. Tax Account Number: 16-1591452

3. Applicant's Name: Monroe Clover Plaza LLC
 Address: 259 Alexander Street _____ Phone: (585) 295-9500
Street
 Rochester, NY 14607 _____ E-mail: _____
City State Zip Code

4. Applicant's Interest in Property:
 Owner: Lessee: Holding Purchase Offer:
 Other (explain): _____

5. Owner (if other than above): _____
 Address: _____ Phone: _____
Street
 _____ E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: Buckingham Properties
 Address: 259 Alexander Street _____ Phone: (585) 797-3048
Street
 Rochester, NY 14607 _____ E-mail: AMalbone@buckprop.com
City State Zip Code

7. Project Design Professional (if Available): HBT Architects
 Address: 2 Elton Street _____ Phone: (585) 510-2487
Street
 Rochester, NY 14607 _____ E-mail: mprattico@hbtarchitects.com
City State Zip Code

8. Project Contractor (*if Available*): Buckingham Properties
Address: 259 Alexander Street Street Phone: (585) 295-9500
Rochester, NY 14607 E-mail: _____
City State Zip Code

9. Present use of Property: Restuarant/Patio/Green space

10. Zoning District of Property: Commercial

11. Is the property located in a Town Designated Historic District?

Yes No

12. Is the property listed on the National Registry of Historic Places?

Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

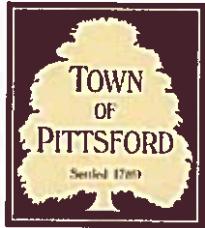
Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

No exterior architectural improvements are being proposed.



TOWN OF PITTSFORD

SITE PLAN

AUTHORIZATION TO

MAKE APPLICATION

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Monroe Clover Plaza LLC, the owner of the property located

at: 3001 Monroe Avenue, Rochester, NY 14618

(Street)

(Town)

(Zip)

Tax Parcel # 150.08-1-71.1 do hereby authorize

Kathy Mott to make application to the

Town of Pittsford Planning Board, 11 South Main Street, Pittsford NY 14534 for the

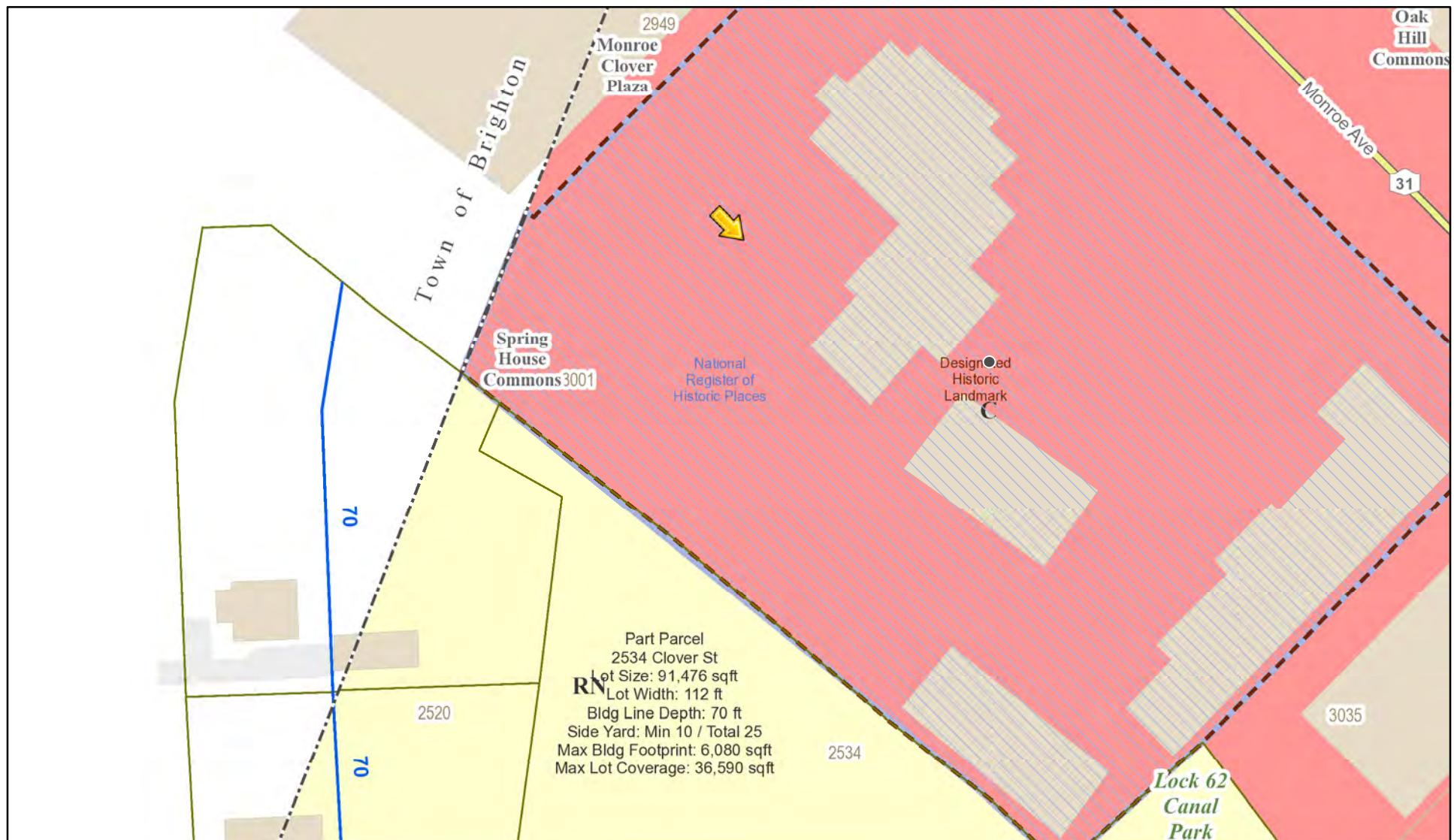
purpose(s) of expansion of exisiting outdoor patio space

Signature of Owner

September 15, 2021

Date

RN Residential Neighborhood Zoning



Printed October 6, 2021

Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

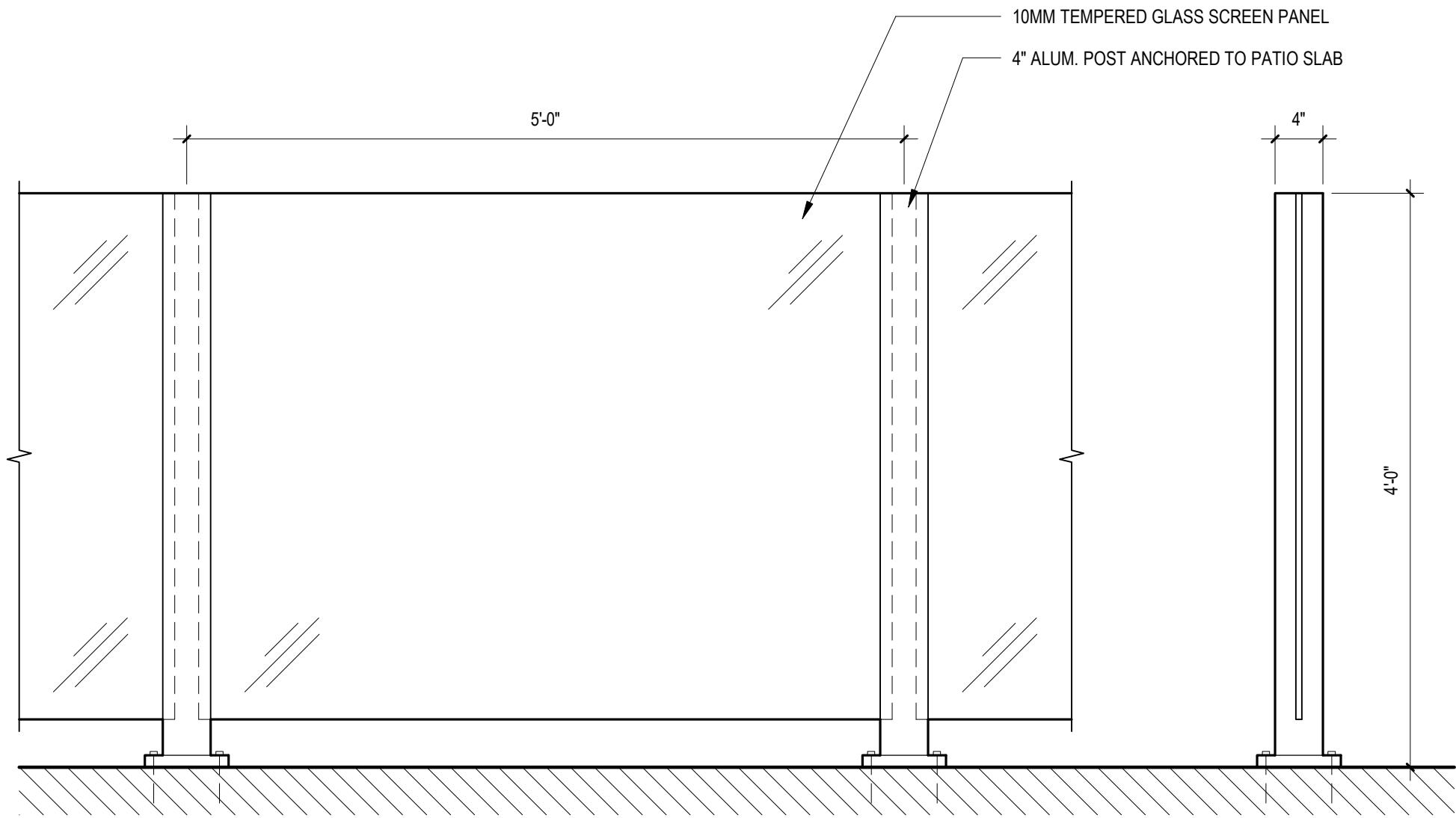




Spring House

Monroe &

Monroe





Buckingham Properties LLC
259 Alexander Street | Rochester, NY 14607



P: (585) 295-9500 | F: (585) 295-9505
www.buckprop.com

BUCKINGHAM PROPERTIES

Town of Pittsford

Town Planning Board

11 South Main Street

Pittsford, NY 14534

Re: Monroe's at the Spring House Outdoor Patio

To whom it may concern;

This letter is in regard to the request for additional patio space and outdoor seating for Monroe's at the Spring House located at 3001 Monroe Avenue.

Currently, per the August 10, 2009 planning board resolution 56 seats for the outdoor patio space are allowed. We are requesting an additional 24 seats to be allowed as well as the expansion of the existing patio space. Please see the attached seating and landscaping plan as reference for this request. We are planning to use the same materials and finishes as to match the existing outdoor patio space.

Thank you for your time and attention on this matter. Any questions or for further information regarding this matter please do not hesitate to contact me directly at 585- 797-3048 or amalbone@buckprop.com

Respectfully,

AARON MALBONE

Aaron Malbone

VP of Construction and Development

Buckingham Properties LLC





