

**Design Review & Historic Preservation Board  
Agenda  
September 26, 2019**

**HISTORIC PRESERVATION DISCUSSION**

**RESIDENTIAL APPLICATION FOR REVIEW**

- **345 Kilbourn Road**  
The Applicant is requesting design review for the design change to an existing approved attached garage. The applicant appeared before the Zoning Board on August 19, 2019 for the removal of the attached portion of the previously approved garage. By removing the attached portion, the garage becomes an oversized accessory structure. The Zoning Board granted a variance for size and height.
- **11 Hawkstone Way**  
The Applicant is requesting design review for a dining room addition. The addition will be approximately 168 sq. ft. and will be located to the rear of the home. All materials will match the existing home.
- **761 Allens Creek Road**  
The Applicant is requesting design review for the addition of two porches and a mudroom/laundry area. The two porches will be approximately 402 sq. ft. combined and will be located on the front of the home. The mudroom/laundry area will connect the detached garage and the home and will be approximately 323 sq. ft.
- **4 Wood Hill Road**  
The Applicant is requesting design review for the addition of a porch. The porch will be approximately 236 sq. ft. and will be located to the rear of the property.
- **6 Windscape Park**  
The Applicant is requesting design review for new additions to the current home. The addition will be located on the southwest side of the home and will be two stories with a 558 sq. ft. first floor, 590 sq. ft. second floor, 744 sq. ft. garage and a 702 sq. ft. porch.

**RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

- **Lot 8 Clover Street**  
The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 6800 sq. ft. and will be located on an empty lot on Clover Street. The applicant was approved for a height variance by the Zoning Board on September 16, 2019.
- **17 Lexton Way**  
The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2052 sq. ft. and will be located in the Wilshire Hills Subdivision.

**COMMERCIAL APPLICATION FOR REVIEW**

- **3349 Monroe Avenue – Releaf**  
The Applicant is requesting design review for the addition of a business identification sign. The sign will identify the business "CBD Releaf Center" and will be located in Pittsford Plaza. The channel letters will be individually mounted internally illuminated plastic with the sign being approximately 22.44 sq. ft.
- **790 Linden Avenue – Linden Oaks Dental**  
The Applicant is requesting design review for the addition of a business identification sign. The sign will identify the "Linden Oaks Dental" practice and will be 12.9 sq. ft. The sign was approved by the Zoning Board for an increase in size of the original sign plan.

**OTHER – REVIEW OF 9/12/2019 MINUTES**

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**September 12, 2019**

**PRESENT**

Dirk Schneider, Chairman, David Wigg, Paul Whitbeck, John Mitchell

**ALSO PRESENT**

Mark Lenzi, Building Inspector; Allen Reitz, Assistant Building Inspector, Susan Donnelly, Secretary to the Board

**ABSENT**

Kathleen Cristman, Bonnie Salem, Leticia Fornataro, Robert Koegel, Town Attorney

**HISTORIC PRESERVATION DISCUSSION**

Banners for the historic district were discussed. It was determined that the vinyl material used for other Town banners were appropriate. A request for funds was discussed.

**RESIDENTIAL APPLICATION FOR REVIEW – RETURNING**

- **2179 West Jefferson Road**

The Applicant is requesting design review for the construction of a 2431 sq. ft. one-story single family new home.

The property owner, Sandip Sur, was present to discuss the application. Lou Siriani was also present.

Paul Whitbeck noted that he is acquainted with Mr. Siriani but indicated it would not change his vote.

The new design presented the previous design flipped from its original position. The Board determined that the side load garage is a positive element to the design. Some Board members did still express reservations regarding the 27 ft. forward garage despite the 100 ft. setback from the roadway.

Dirk Schneider noted that in this situation given the 100 ft. setback he is comfortable supporting the application. He stated that this large forward garage would be acceptable in a neighborhood with a shorter setback.

Mark Lenzi reminded the Board of the many different styles of homes on West Jefferson Road.

The Board discussed breaking up the massing with a stone return at the water table. The owner noted this might prove a considerable expense.

They also noted that on most homes with stone facing, a two-foot return on both sides is recommended.

Dirk Schneider moved to approve the application as resubmitted with the condition that a two foot full height stone return be installed on the right and left elevation.

David Wigg seconded.

All Ayes.

## RESIDENTIAL APPLICATION FOR REVIEW

- **36 Butternut Drive**

The Applicant is requesting design review for the addition of a 288 sq. ft. three-season room. The addition will be located in the rear of the home.

The homeowner, Charles Pierce was present to discuss the application.

A new porch will be added. The footprint will be changed by 15 sq. ft. The window heads will align. The siding will match the existing.

Contrary to the drawing the ridge on the addition will be centered.

Paul Whitbeck moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **34 Carriage Court**

The Applicant is requesting design review for the addition to a 20' x 10' family room with a bedroom and full bath that will be located in the rear of the property.

The contractor, George Jacob, was present and reviewed the application with the Board. It was determined that the fireplace is going to stay. The contractor feels that he can locate materials to match the existing.

John Mitchell moved to accept the application as submitted with the condition that the materials match the existing on the home.

Dirk Schneider seconded.

All Ayes.

- **242 Shoreham Drive**

The Applicant is requesting design review for a two-story addition and a rear porch.

Kevin Feor was present to represent the homeowner.

The siding on the addition will be painted to match the current siding. The Board made note that this new addition will be a windowless expanse but the neighbor's garage is closest to the addition.

A new porch will be added. The deck will be Azek composite deck with a colonial handrail system.

David Wigg moved to accept the application as submitted with the condition that the materials for the deck and railing will be an Azek type material and the deck is built to Town Code.

Paul Whitbeck seconded.

All Ayes.

## COMMERCIAL APPLICATION FOR REVIEW

- **3349 Monroe Avenue – UBreakIFix**

The Applicant is requesting design review for the addition of an business identification sign located in Pittsford Plaza. The sign will identify the business "UBREAKIFIX" and will be approximately 17.17 sq. ft.

Christopher Wendt of UBREAKIFIX was present to discuss the application with the Board.

There will be no copyright symbol on the sign a depicted in the drawing.

Dirk Schneider moved to approve as submitted.

John Mitchell seconded.

All Ayes.

## ADVISORY COMMENTS TO THE PLANNING BOARD – COMMERCIAL

- **900 Linden Avenue – Cube Smart**

The Applicant is requesting an informal design review for the renovation of a 50,000 sq. ft. vacant building. The new owner is proposing to convert the building to self-storage with some general warehouse space.

No representative was present for this application.

The design consists of a cube structure with faux doors on the second level within and 9 additional faux doors. Coloration is a bright blue and red.

The impression of this presentation is that it represents a "large sign" for CubeSmart as only one overhead door is functional.

Images of other CubeSmart facilities were reviewed online.

The Board felt that the fake garage door and storefront are a concern. The cube resembles a sign which exceeds the signage code for the Town.

They also felt strongly that the design should be toned down with a simpler design. Earth tones and neutral colors fit better into our community.

## INFORMAL REVIEW - COMMERCIAL

- **3300 Monroe Avenue**

The Applicant is requesting an informal design review for a façade change. Changes will include painting the existing brick, removal of awnings and addition of Alucobond cladding.

There was no representative present.

Dirk Schneider indicated that he is involved in this project and will recuse himself from any vote.

The plan is to improve the building appearance by painting the exterior and removing the awnings. A Alucobond band will break up the massing.

The Board asked what the plans for the existing field stone are. Also they would like to see plans for the rear and east elevations.

**OTHER – REVIEW OF 8/22/2019 MINUTES**

Dirk Schneider moved to approve the minutes of the 8/22/19 meeting with corrections.

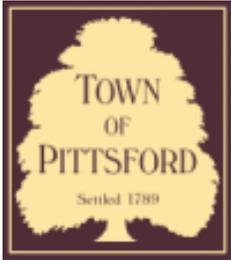
All Ayes.

The meeting adjourned at 8:40 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

DRAFT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B18-000048**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 345 Kilbourn Road ROCHESTER, NY 14618

**Tax ID Number:** 138.18-3-1

**Zoning District:** RN Residential Neighborhood

**Owner:** Stahl Property Associates

**Applicant:** Stahl Property Associates

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the design change to an existing approved attached garage. The applicant appeared before the Zoning Board on August 19, 2019 for the removal of the attached portion of the previously approved garage. By removing the attached portion the garage becomes an over sized accessory structure. The Zoning Board granted a variance for size and height.

**Meeting Date:** September 26, 2019

Kilbourn Road

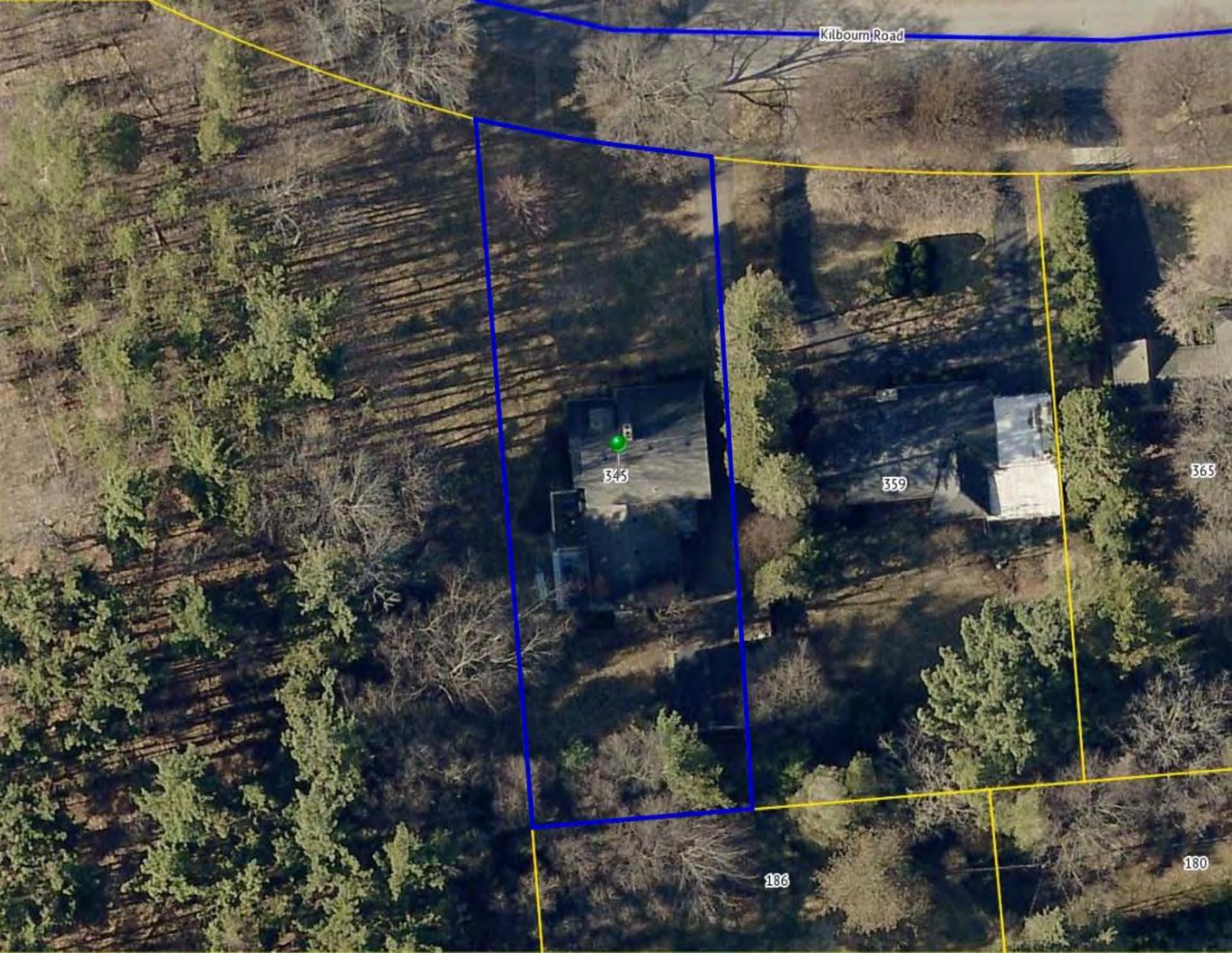
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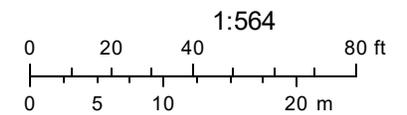
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# RN Residential Neighborhood Zoning



Printed April 5, 2018



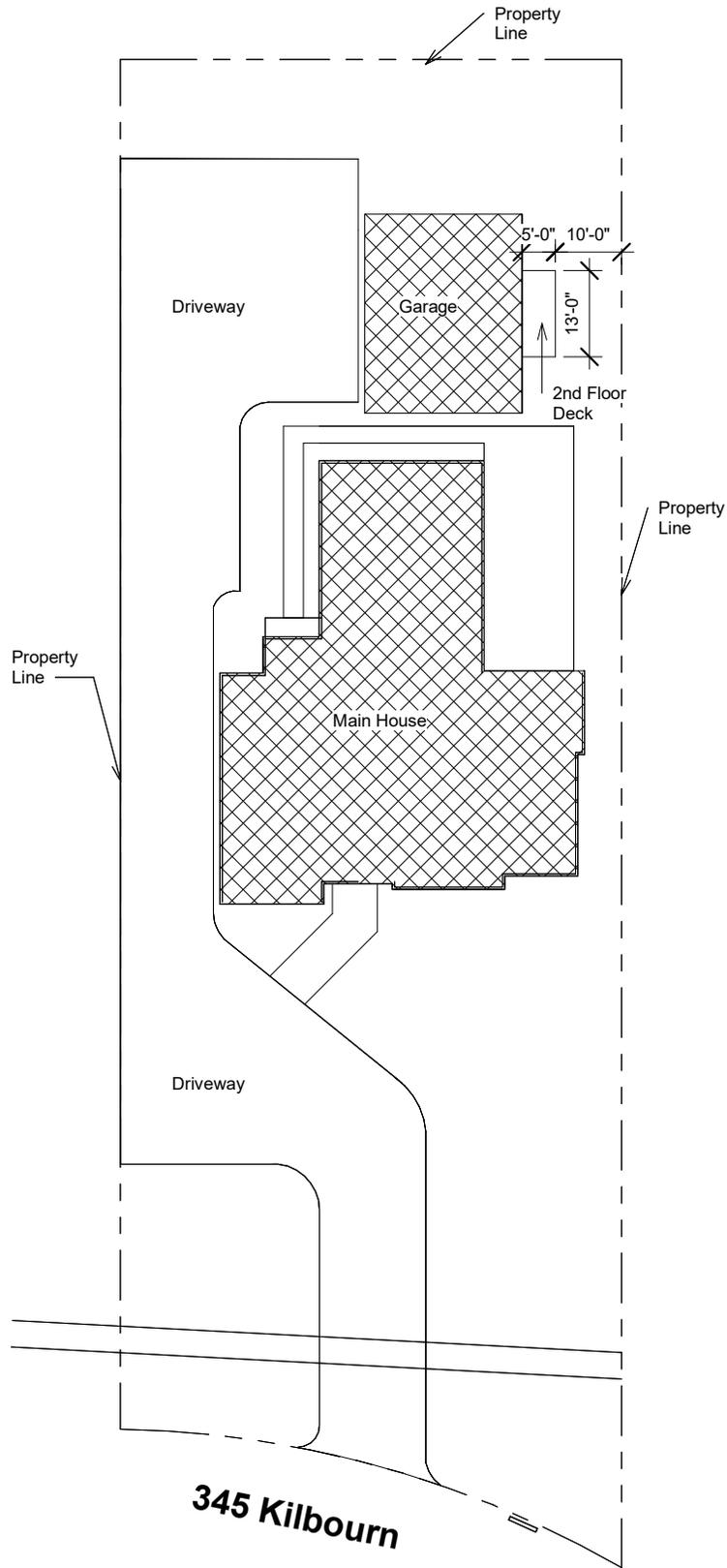
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





**Project: 345 Kilbourn Road**  
**Subject: Site Change (Garage Deck)**  
**Date: September 12, 2019**



PROPOSED CHANGE TO UPPER GARAGE AREA

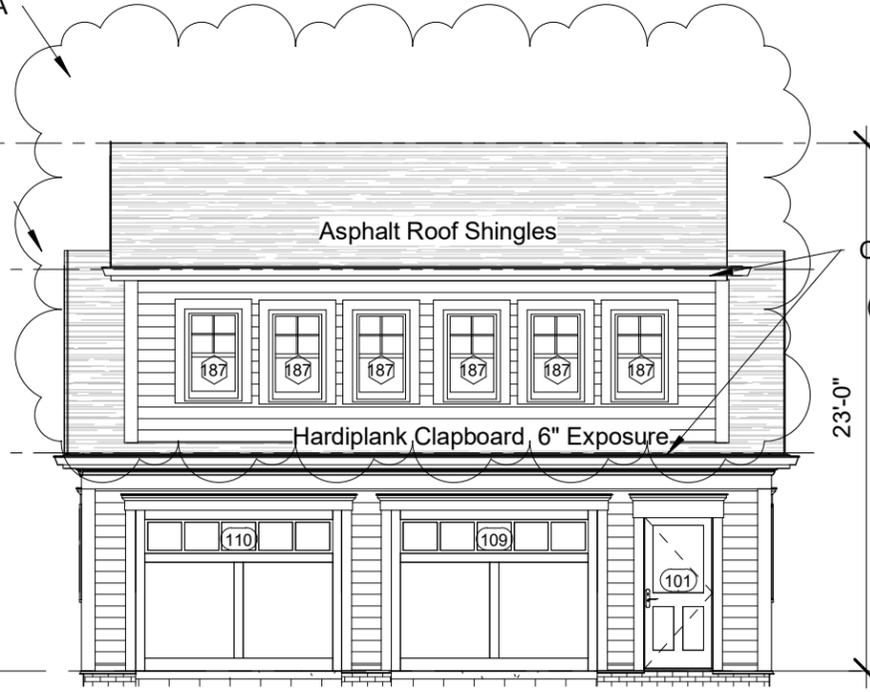
TO GARAGE RIDGE 22'-9"

EXISTING GARAGE ROOF

TO WALL 8' 17'-3"

TO 2ND SUB FL GARAGE 9'-3"

TO GARAGE SLAB -3"



1 EAST ELEVATION  
1/8" = 1'-0"

PROPOSED CHANGE TO UPPER GARAGE AREA

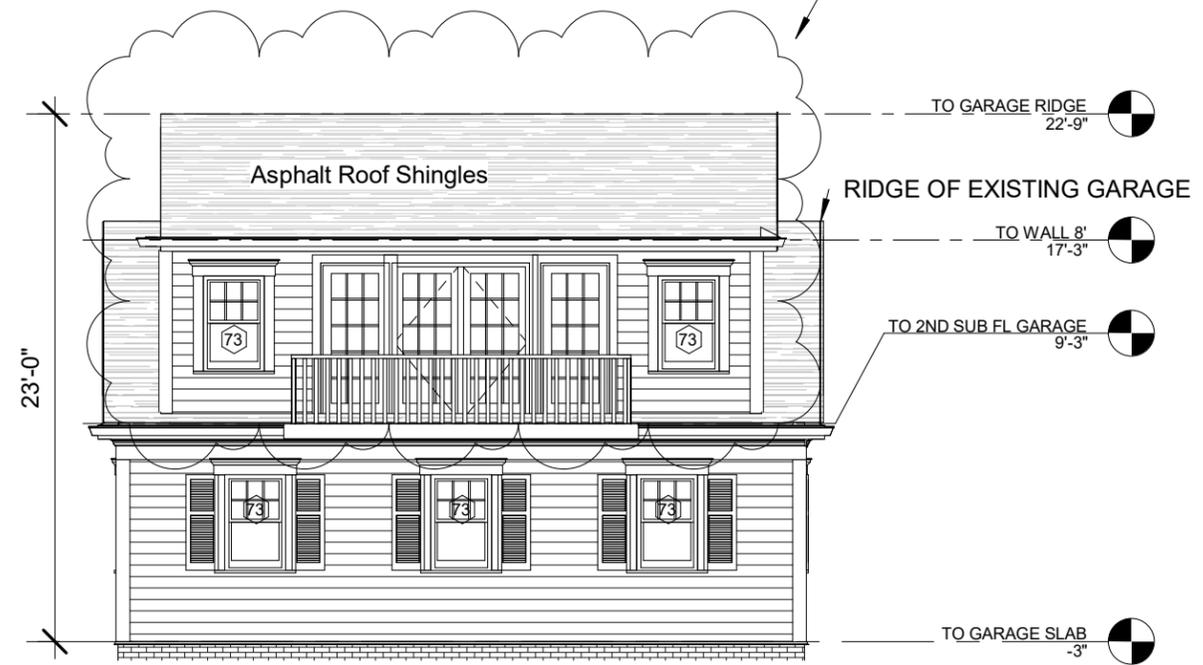
TO GARAGE RIDGE 22'-9"

RIDGE OF EXISTING GARAGE

TO WALL 8' 17'-3"

TO 2ND SUB FL GARAGE 9'-3"

TO GARAGE SLAB -3"

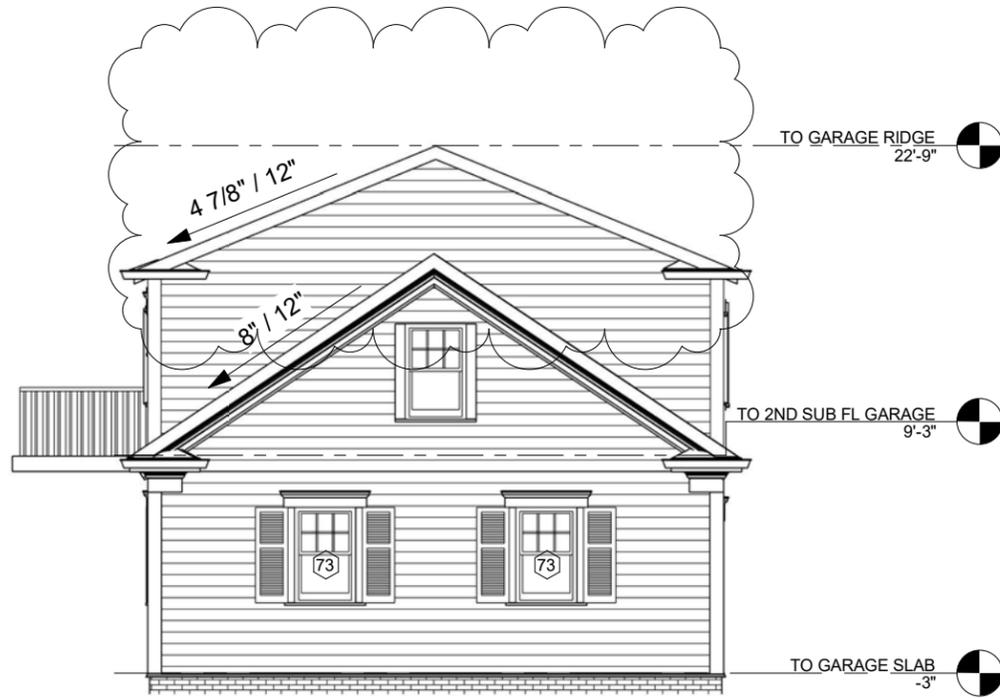


3 WEST ELEVATION  
1/8" = 1'-0"

TO GARAGE RIDGE 22'-9"

TO 2ND SUB FL GARAGE 9'-3"

TO GARAGE SLAB -3"



2 SOUTH ELEVATION  
1/8" = 1'-0"



4 3D View 29 Copy 1



**S T A H L**  
**PROPERTY**  
**ASSOCIATES**

Rochester, NY 14618  
Telephone (585) 415-9882

345 KILBOURN ROAD

No	Desc	Date
1	Garage Changes	9/12

Project number	1118
Date	09/09/2119
Drawn by	GAS
Checked by	KB

Garage Revised  
Upper Level

**A15**

Scale 1/8" = 1'-0"

**\*PREVIOUSLY APPROVED GARAGE\***



① East Elevation  
1/8" = 1'-0"



**STAHL**  
PROPERTY  
ASSOCIATES

Rochester, NY 14618  
Telephone (585) 415-9882

RENOVATION  
of  
345 Kilbourn Road  
Rochester NY

No	Desc	Date

Project number 1118  
Date  
Drawn by *CAS*  
Checked by *Squawk*

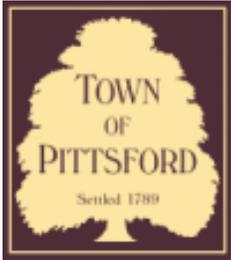
East Elevation

**A6**  
Scale 1/8" = 1'-0"









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000135**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 11 Hawkstone Way PITTSFORD, NY 14534

**Tax ID Number:** 178.03-4-23

**Zoning District:** RN Residential Neighborhood

**Owner:** Ciccone, James

**Applicant:** Ketmar Development Corp

#### Application Type:

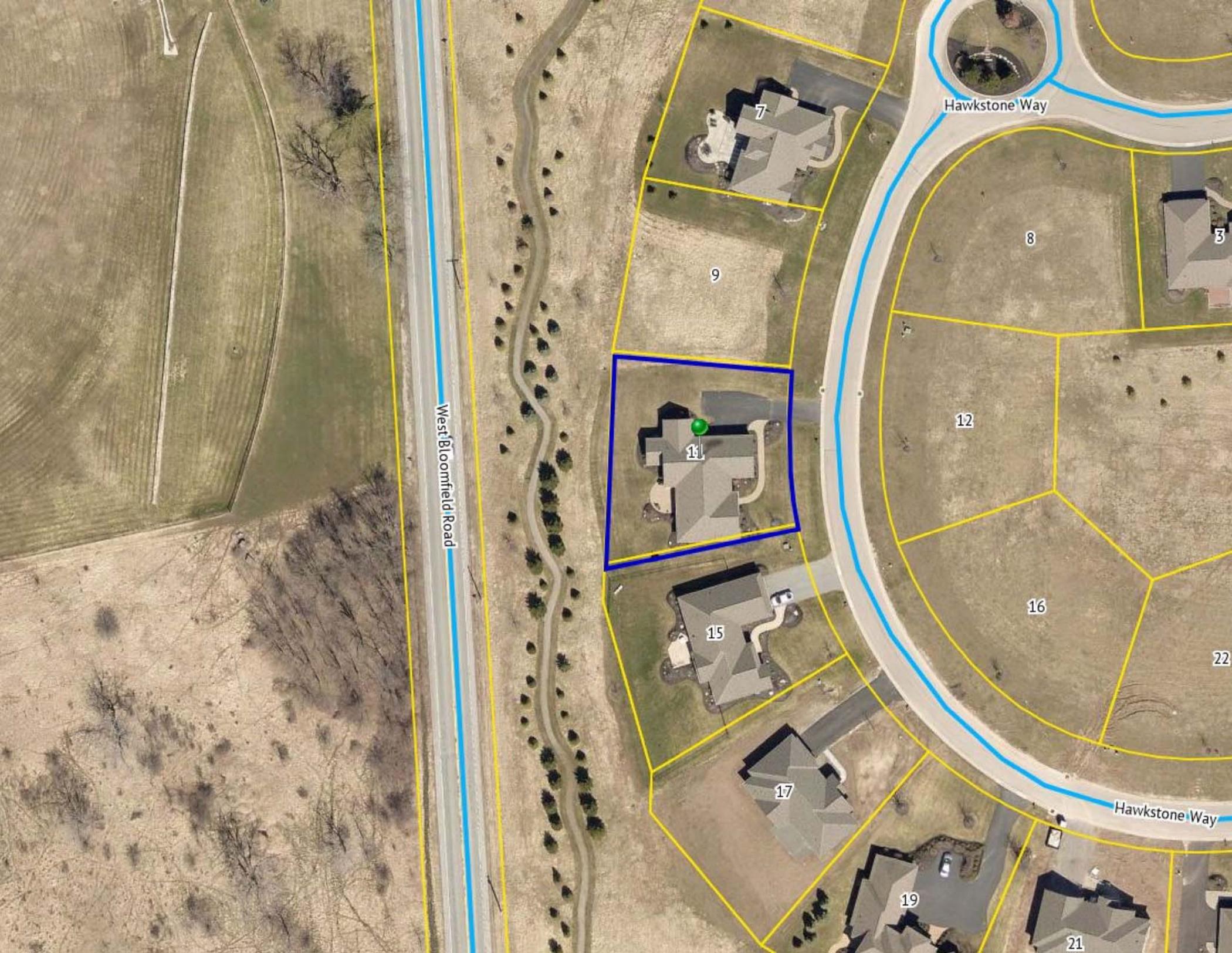
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for a dining room addition. The addition will be approximately 168 Sq. Ft. and will be located to the rear of the home. All materials will match the existing home.

**Meeting Date:** September 26, 2019







West Bloomfield Road

Hawkstone Way

Hawkstone Way

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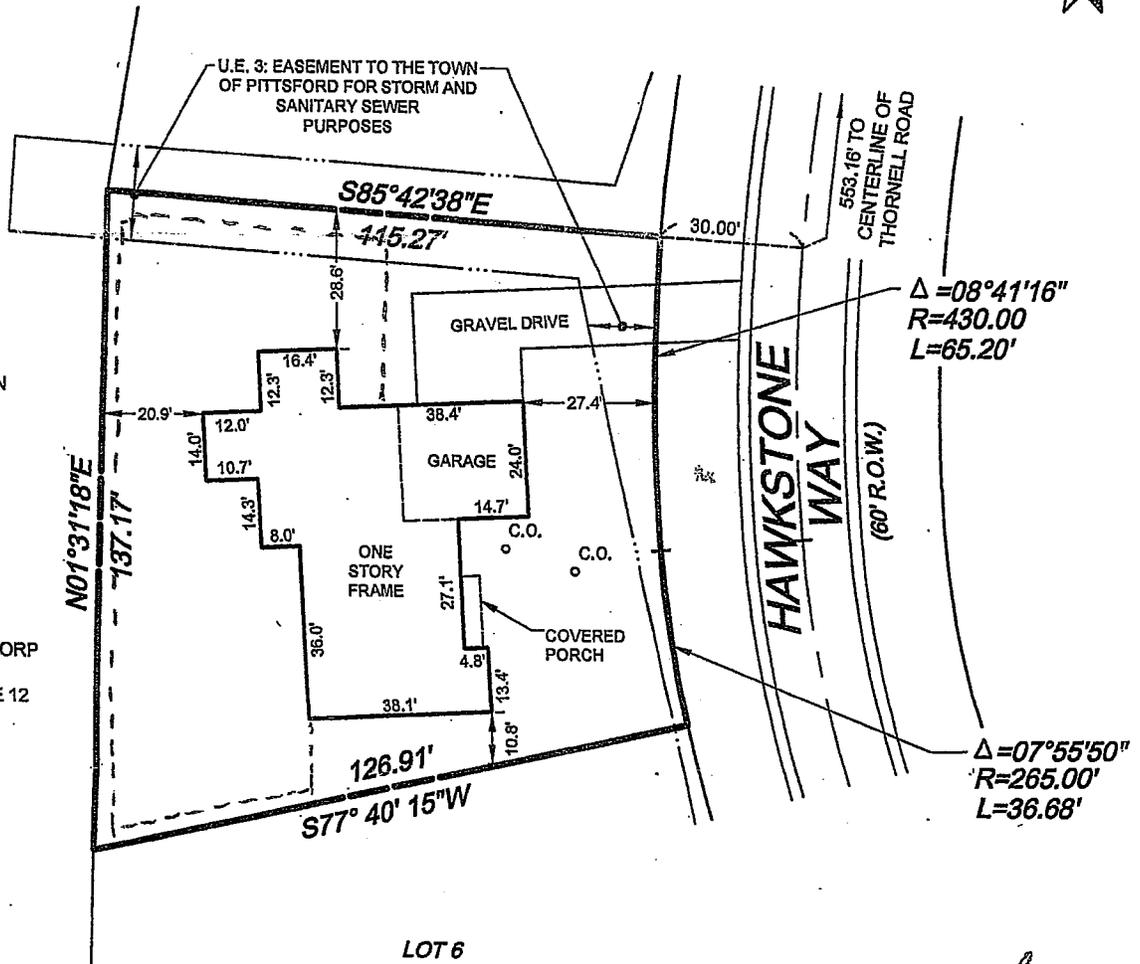
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22



LOT 4



RURAL  
CONSERVATION  
EASEMENT

N/F  
KETMAR DEVELOPMENT CORP  
T.A. # 178.030-02-28.2  
LIBER 304 OF MAPS PAGE 12

LOT 6

*Proposed Parcel 4 Block cont'd  
Alum...*

REVISIONS

REFERENCE(S)

- 1) LIBER 335 OF MAPS, PAGE 26

CERTIFICATION(S)

WE, COSTICH ENGINEERING, P.C., HEREBY CERTIFY TO

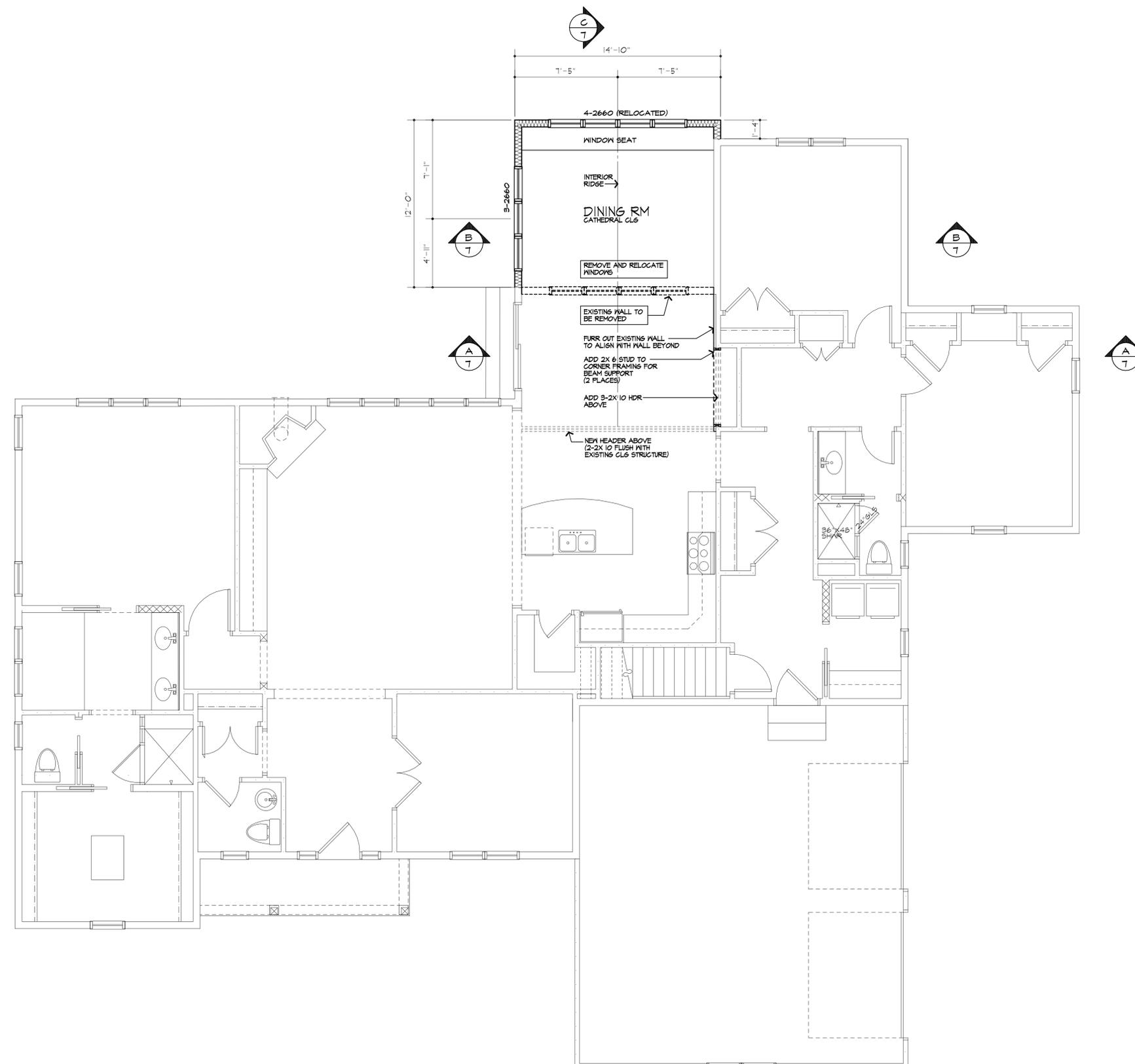
- RONALD J. BOILLAT
- LORI A. BOILLAT
- CHICAGO TITLE INSURANCE COMPANY
- DAVIDSON FINK, ATTORNEYS

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"Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be a valid true copy."



**FIRST FLOOR PLAN/ PROPOSED ADDITION**

AREA: 2510 SQUARE FEET (EXISTING HOUSE)  
173 SQUARE FEET (ADDITION)



PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.  
LICENSED IN CO, MA, NE, NY, PA, SC

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.MorabitoArchitects.com

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This plan is not valid for building permit without original signature and stamp ("wet seal") in red in space above.

**PROJECT:**  
LOT 5  
THE COTTAGES AT MALVERN  
GIGNONE RESIDENCE

**CLIENT:**  
KETHMAR DEVELOPMENT CORP  
BUILDER

**DRAWING:**  
FIRST FLOOR PLAN

<b>DRAWN:</b> MGM/PJMAIA	<b>CHECKED:</b> PJM
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**DATE:** SEPTEMBER 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 19MB063

**SHEET:**

**5**

OF 7 SHEETS



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**PROJECT:**  
 LOT 5  
 THE COTTAGES AT HALVERN GIGNONE RESIDENCE

**CLIENT:**  
 KETHMAR DEVELOPMENT CORP  
 BUILDER

**DRAWING:**  
 BUILDING SECTIONS

<b>DRAWN:</b>	<b>CHECKED:</b>
MGM/PJMAIA	PJM

**DATE:** SEPTEMBER 2019

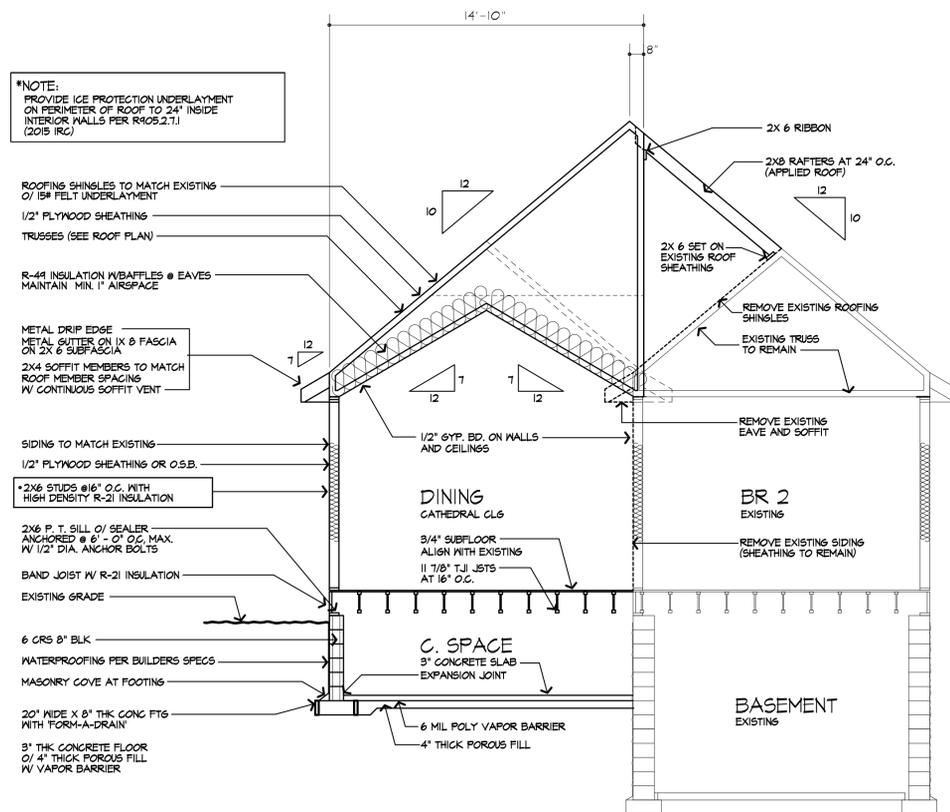
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**JOB NO.:** 19MB063

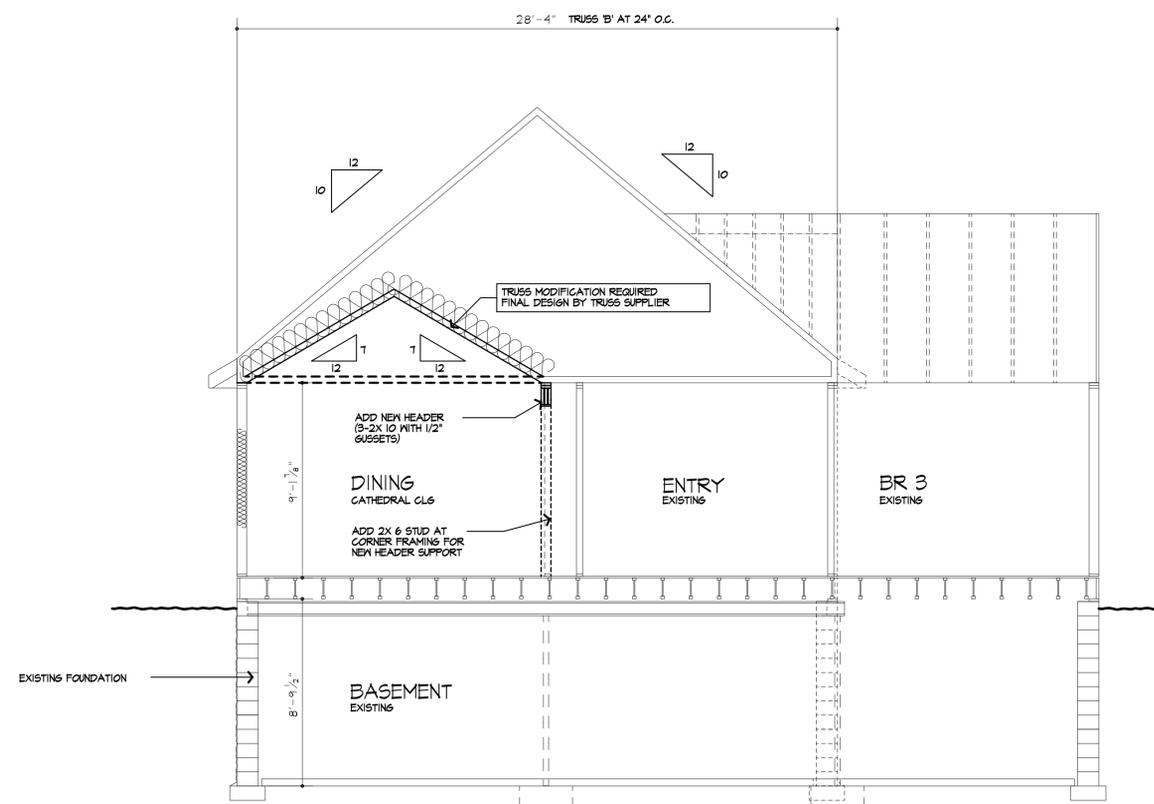
**SHEET:**

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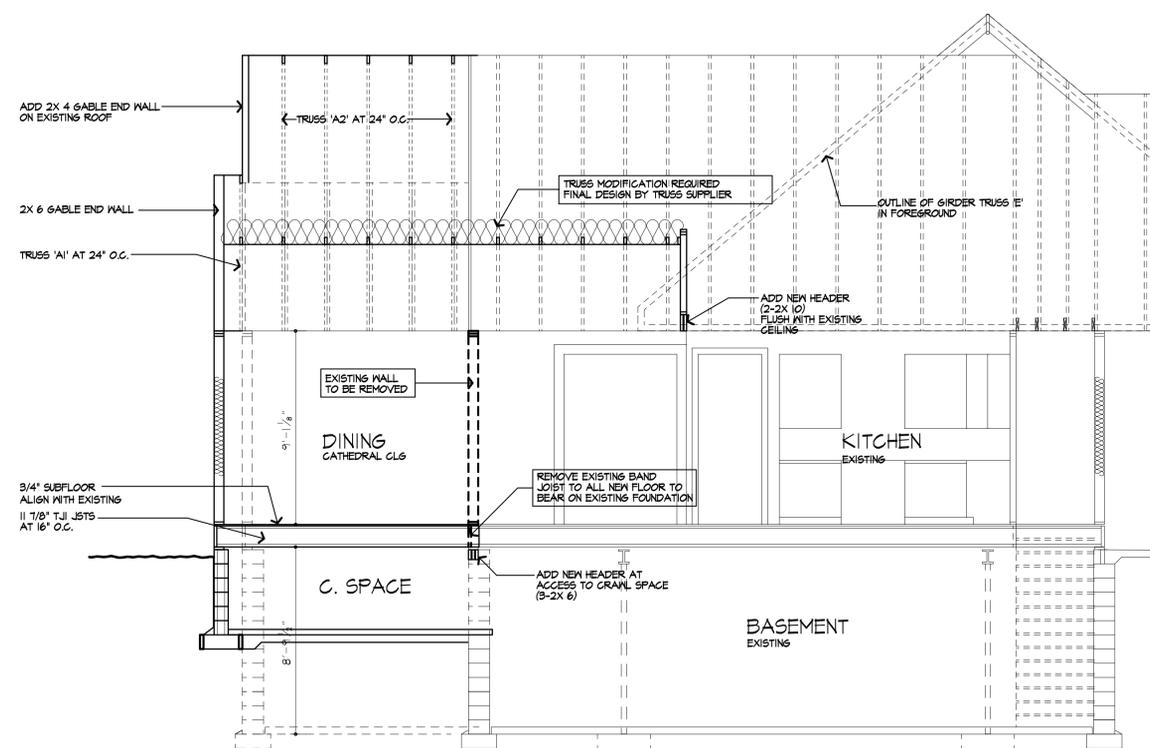
OF 7 SHEETS



SECTION B



SECTION A



SECTION C

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**PROJECT:**  
 LOT 5  
 THE COTTAGES AT MALVERN  
 GIGNONE RESIDENCE

**CLIENT:**  
 KETHMAR DEVELOPMENT CORP  
 BUILDER

**DRAWING:**  
 BASEMENT / FOUNDATION PLAN

<b>DRAWN:</b> MGM/PJMAIA	<b>CHECKED:</b> PJM
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**DATE:** SEPTEMBER 2019

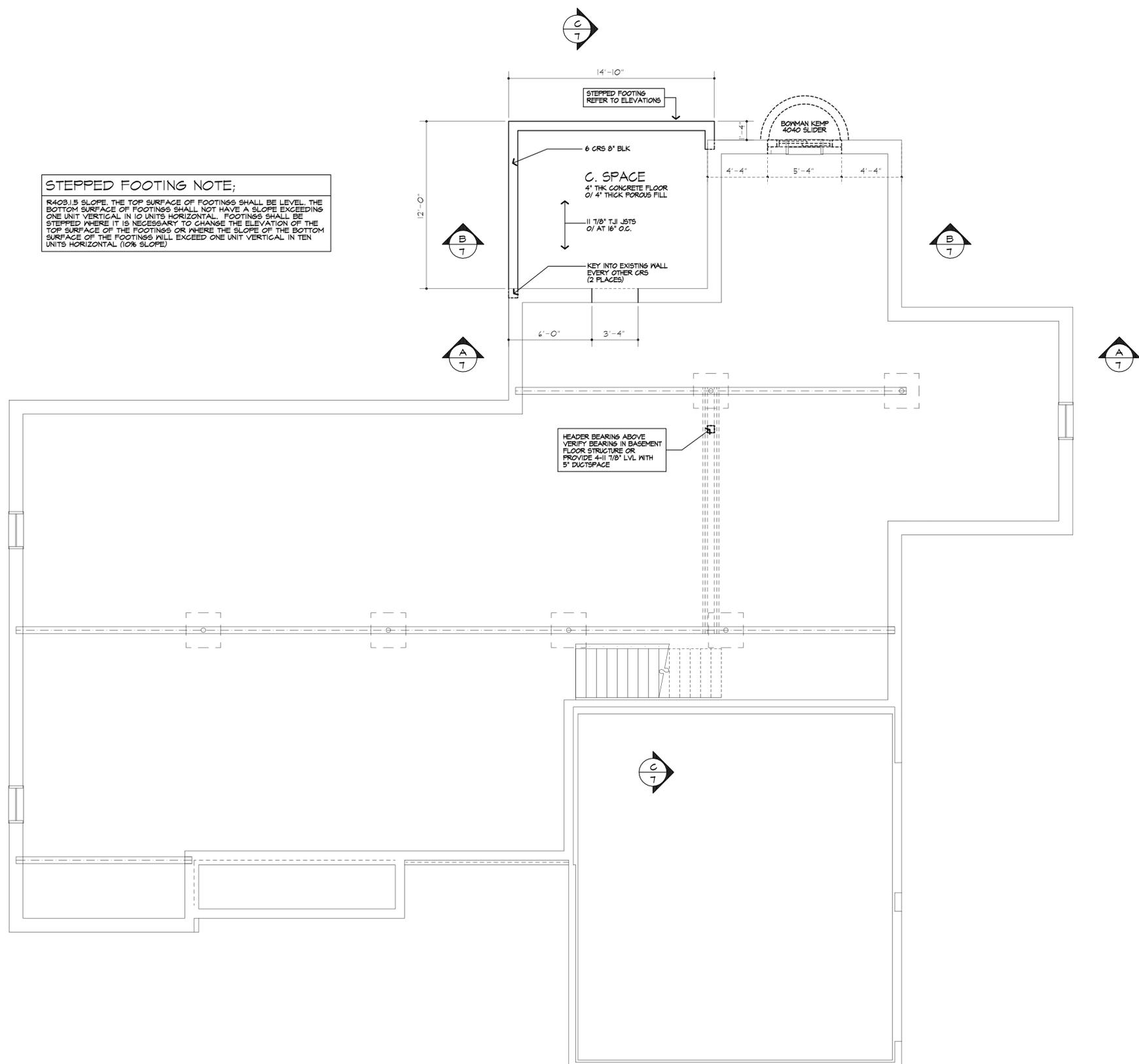
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**JOB NO.:** 19MS063

**SHEET:**

**4**

OF 7 SHEETS



**STEPPED FOOTING NOTE:**  
 R408.15 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)

HEADER BEARING ABOVE  
 VERIFY BEARING IN BASEMENT  
 FLOOR STRUCTURE OR  
 PROVIDE 4-11 7/8" LVL WITH  
 5" DIGSPACE

**BASEMENT & FOUNDATION PLAN/ PROPOSED ADDITION**

\* FLR JST SERIES & LAYOUT TO BE PROVIDED BY MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION

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**PROJECT:**  
 LOT 5  
 THE COTTAGES AT MALVERN  
 GIGNONE RESIDENCE

**CLIENT:**  
 KETHMAR DEVELOPMENT CORP  
 BUILDER

**DRAWING:**  
 FRONT / LEFT SIDE ELEVATIONS

<b>DRAWN:</b>	<b>CHECKED:</b>
MGM/PJMAIA	PJM

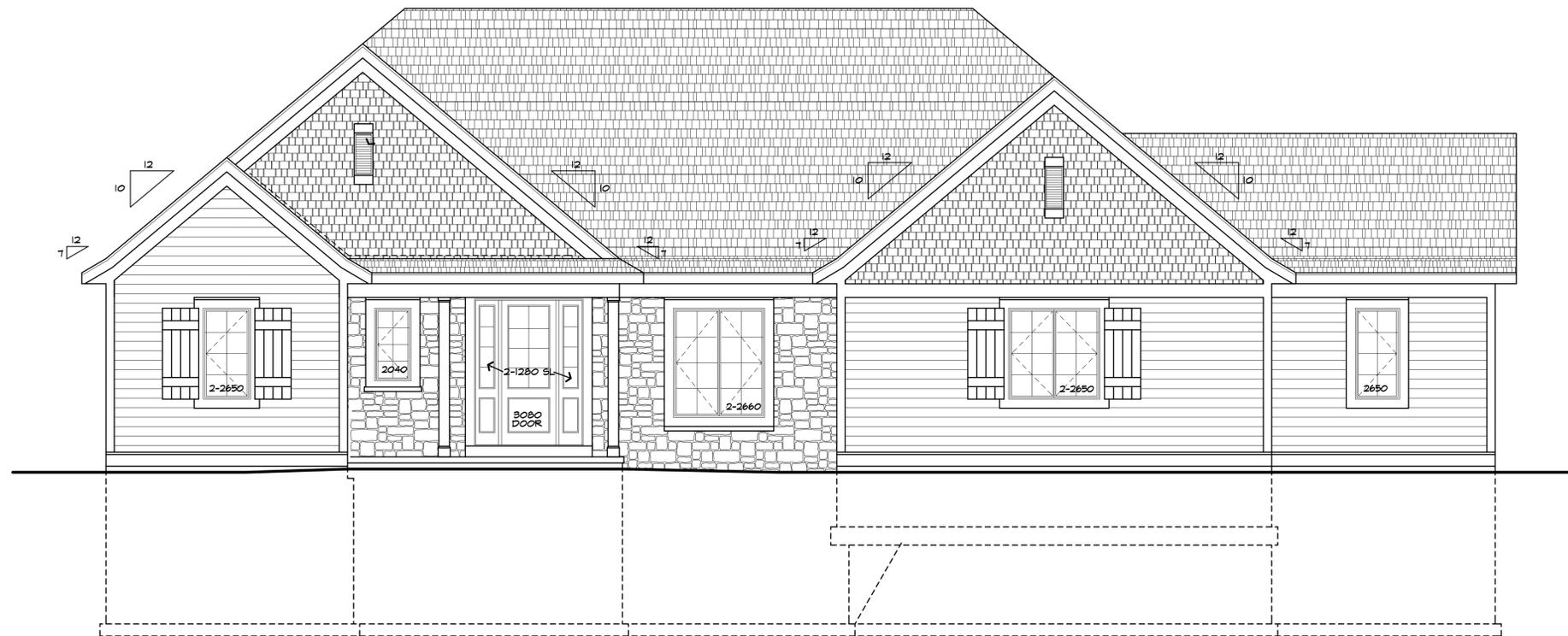
**DATE:** SEPTEMBER 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 19MS063

**SHEET:**

**2**  
 OF 7 SHEETS



**FRONT ELEVATION**  
 AREA: 2510 SQUARE FEET (EXISTING)

**UNLESS OTHERWISE NOTED**

ROOFING: SHINGLES TO MATCH EXISTING  
 ROOF VENTING: CONTINUOUS RIDGE VENT  
 FASCIAS: MATCH EXISTING  
 FRIEZEBDS: MATCH EXISTING  
 CORNERBDS: MATCH EXISTING  
 CASINGS: MATCH EXISTING  
 SIDING: MATCH EXISTING  
 OVERHANGS: 1'-4"  
 RAKE OVERHANGS: 12"  
 MIN FTG. DEPTH: 4'-0"

CLS HT:  
 1ST FLOOR: 9'-1 1/2"

WINDOW R.O. HT.  
 1ST FLOOR: 7'-6 1/2"

WINDOW MFR: ANDERSEN 100  
 (PROVIDE SAFETY GLAZING PER R308.4)



**LEFT SIDE ELEVATION**  
 PROPOSED ADDITION

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**PROJECT:**  
 LOT 5  
 THE GOTTAGES AT MALVERN  
 GIGNONE RESIDENCE

**CLIENT:**  
 KETHMAR DEVELOPMENT CORP  
 BUILDER

**DRAWING:**  
 ROOF PLAN

<b>DRAWN:</b> MGM/PJMAIA	<b>CHECKED:</b> PJM
-----------------------------	------------------------

**DATE:** SEPTEMBER 2014

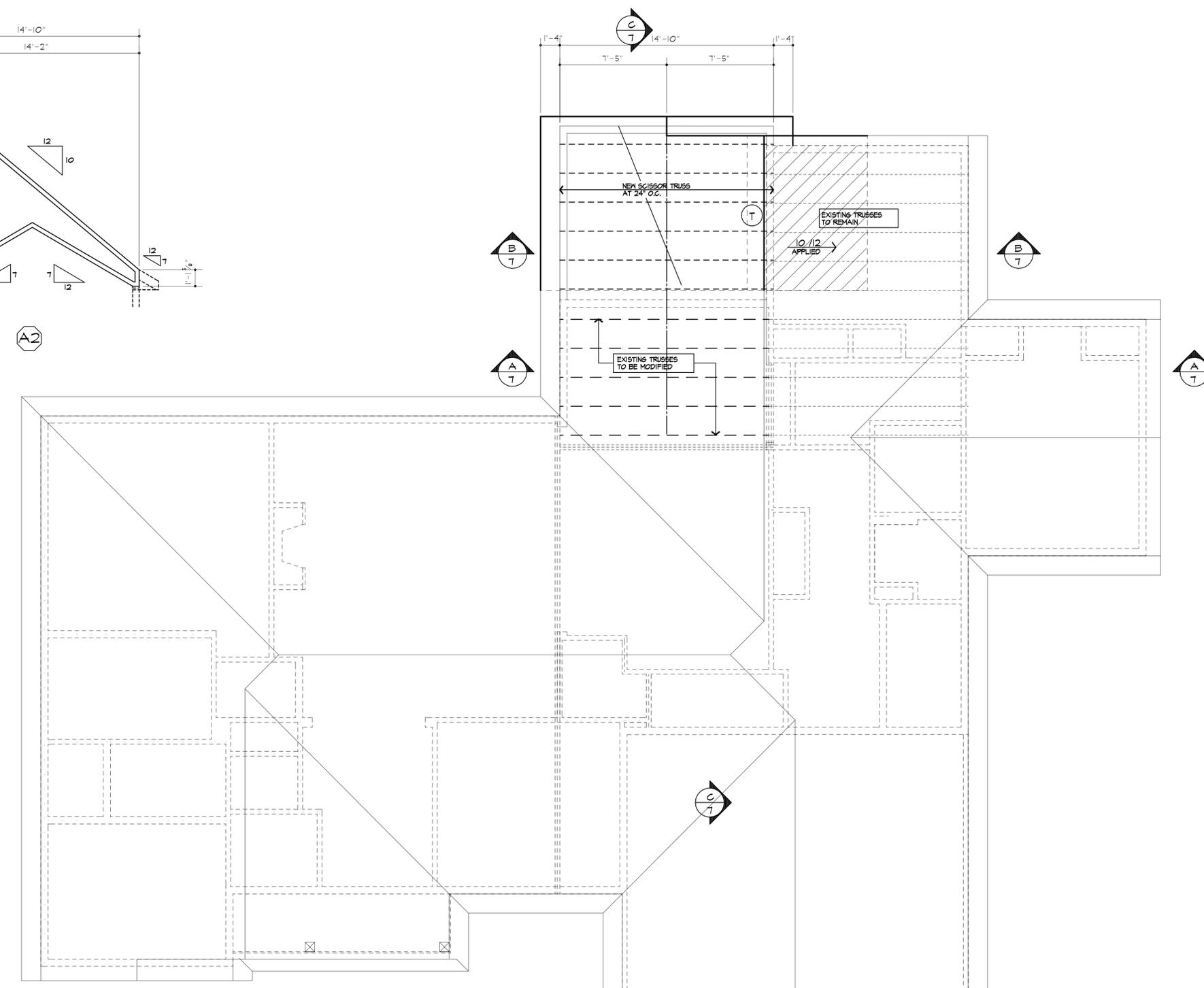
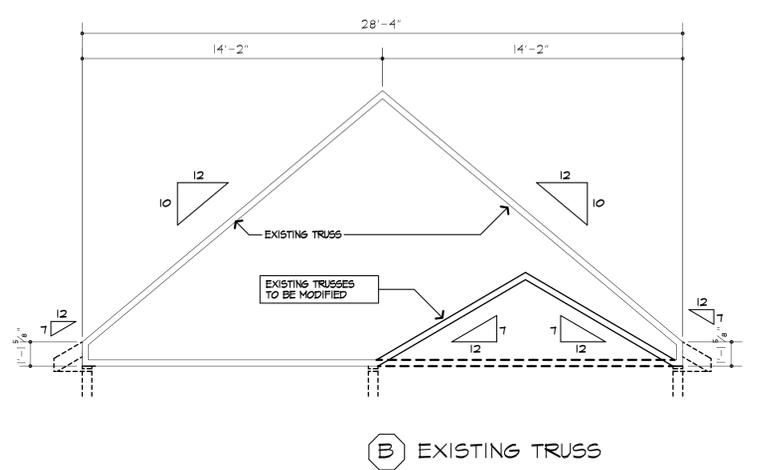
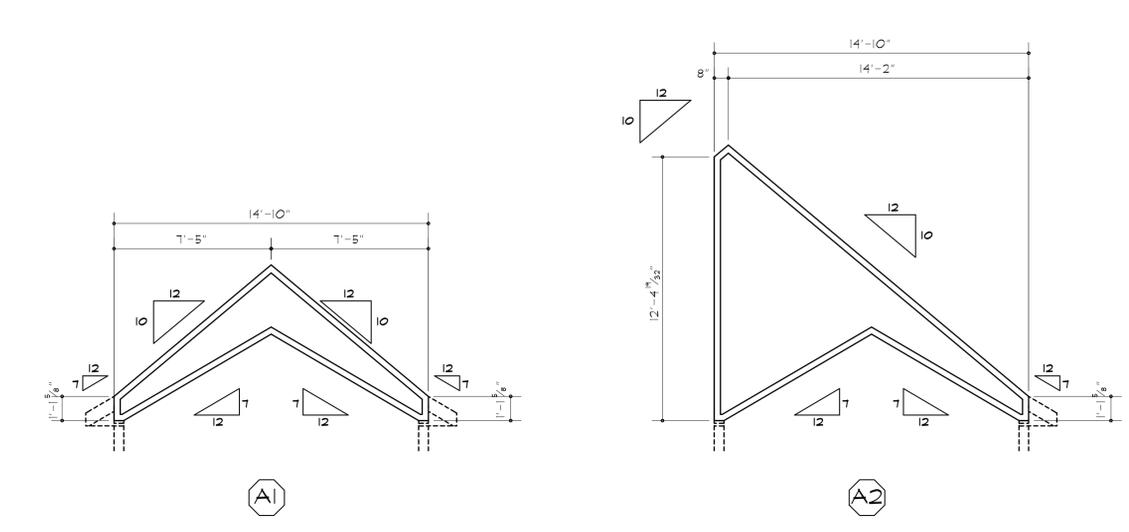
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 14MB063

**SHEET:**

**6**

OF 7 SHEETS



ROOF LEGEND	
* /12	2X8 RAFTERS AT 24" O.C. W/ PITCH NOTED
(R)	2X12 RIDGE BOARD
(T)	TRUSS RIDGE
(VR)	2X12 VALLEY RAFTER
(V)	APPLIED VALLEY - SEE DETAIL 1/8
*NOTE: PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R405.2.1 (2015 IRC)	

ROOF PLAN/ PROPOSED ADDITION

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**PROJECT:**  
 LOT 5  
 THE COTTAGES AT HALVERN  
 GIGNONE RESIDENCE

**CLIENT:**  
 KETHMAR DEVELOPMENT CORP  
 BUILDER

**DRAWING:**  
 REAR / RIGHT SIDE ELEVATIONS  
 PROPOSED ADDITION

<b>DRAWN:</b> MSM/PJMAIA	<b>CHECKED:</b> PJM
-----------------------------	------------------------

**DATE:** SEPTEMBER 2019

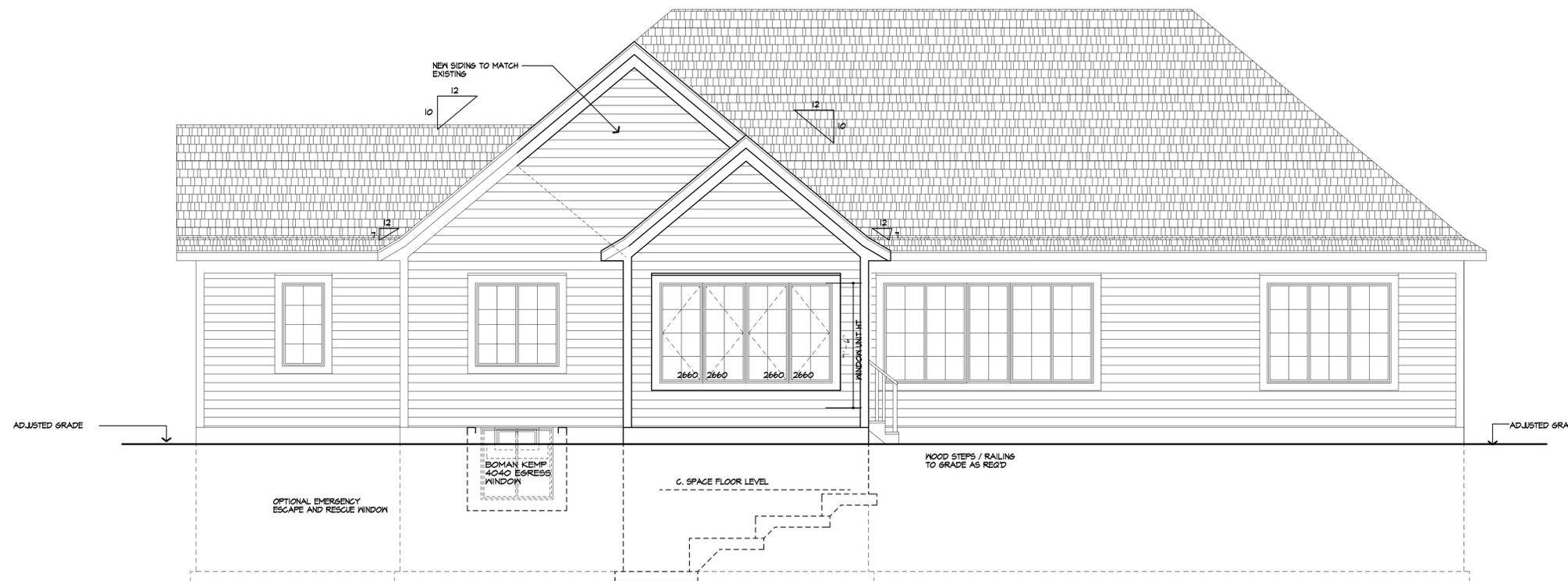
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 19MS063

**SHEET:**

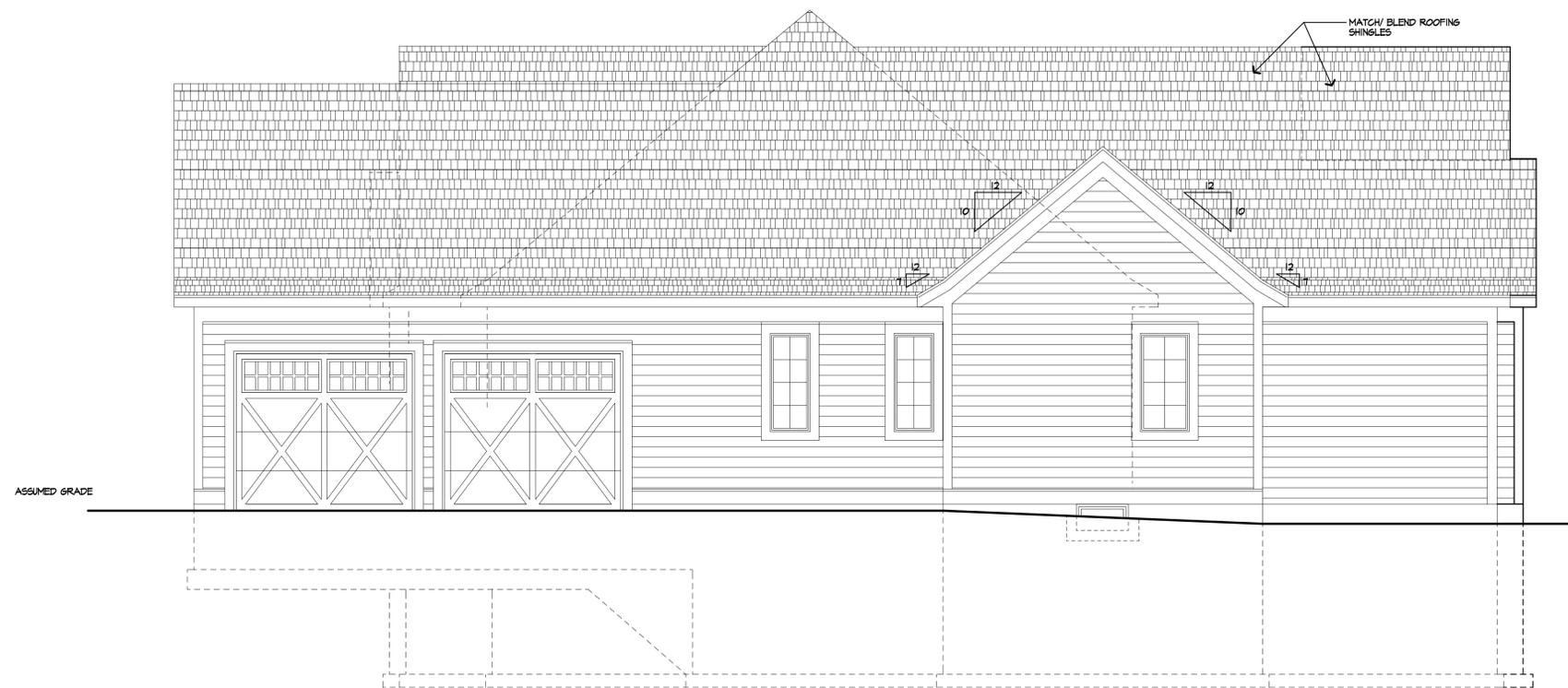
**3**

OF 7 SHEETS



**REAR ELEVATION**  
 PROPOSED ADDITION

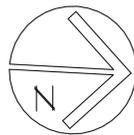
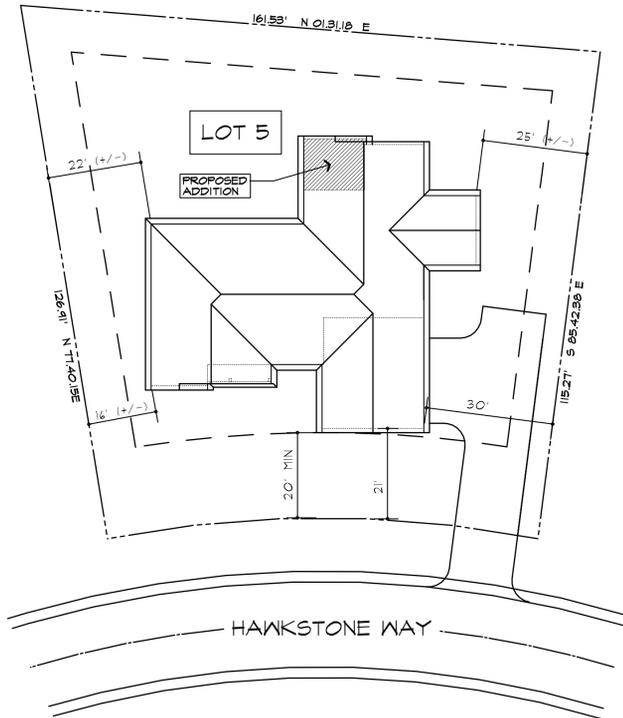
<b>UNLESS OTHERWISE NOTED</b>	
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ROOF VENTING:	CONTINUOUS RIDGE VENT
FASCIAS:	MATCH EXISTING
FRIEZEBDS:	MATCH EXISTING
CORNERBDS:	MATCH EXISTING
CASINGS:	MATCH EXISTING
SIDING:	MATCH EXISTING
OVERHANGS:	1'-4"
RAKE OVERHANGS:	12"
MIN FTG. DEPTH:	4'-0"
CLS HT:	
1ST FLOOR:	9'-1 1/2"
WINDOW R.O. HT.	
1ST FLOOR:	7'-6 1/2"
WINDOW MFR:	ANDERSEN 100 (PROVIDE SAFETY GLAZING PER R308.4)



**RIGHT SIDE ELEVATION**  
 PROPOSED ADDITION

# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE (2007) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
3500 PSI FLOOR SLABS  
3000 PSI PORCH  
3000 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C40 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-36. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDINGS (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR MOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED.
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2007).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R301.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2007)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R301.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2007) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



## PLOT PLAN

SCALE = 1'-0" = 20'  
\*NOTE: ALL SITE ENGINEERING TO BE PROVIDED BY OTHERS

# ADDITION TO CICCONE RESIDENCE

## LOT 5 MALVERN HILLS

### KETMAR BUILDERS

# DRAWING INDEX

<b>1</b>	<b>TITLE PAGE</b>
<b>2</b>	<b>FRONT/LEFT SIDE ELEVATIONS</b>
<b>3</b>	<b>REAR/RIGHT SIDE ELEVATIONS</b>
<b>4</b>	<b>BASEMENT/FOUNDATION PLAN</b>
<b>5</b>	<b>1ST FLOOR PLAN</b>
<b>6</b>	<b>ROOF PLAN</b>
<b>7</b>	<b>BUILDING SECTIONS</b>

## ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER 2010 RESIDENTIAL CODE OF NY CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.35	.30
2. CEILING R-FACTOR	3.0	3.0
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JST5
4. BASEMENT CONCRETE WALL R-VALUE	10 CONTINUOUS OR 13 CAVITY FULL HEIGHT	R-11 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30

## 2010 NY RESIDENTIAL CODE COMPLIANCE PATH

- A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1103.4
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.3
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.2
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR REDILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE VERIFIED BY VISUAL INSPECTION PER SECTION 1102.4.3.2
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 50 PSF R301.2 (5)
- WIND SPEED - 90 MPH EXPOSURE B R301.2 (4)
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1'
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.11.1



PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.  
LICENSED IN CO, MA, NE, NY, PA, SC

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.MorabitoArchitects.com

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### PROJECT:

LOT 5  
THE COTTAGES AT MALVERN  
CICCONE RESIDENCE

### CLIENT:

KETMAR DEVELOPMENT CORP  
BUILDER

### DRAWING:

TITLE PAGE

### DRAWN:

MJM/RJMAIA

### CHECKED:

PJM

### DATE:

SEPTEMBER 2019

### SCALE:

1/4"=1'-0"

### JOB NO.:

1913063

### SHEET:

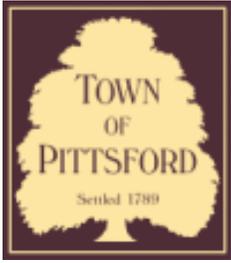
**1**  
OF **7** SHEETS











## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000134**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 761 Allens Creek Road ROCHESTER, NY 14618

**Tax ID Number:** 137.68-1-15.1

**Zoning District:** RN Residential Neighborhood

**Owner:** Ludwig, Dan

**Applicant:** Ludwig, Dan

#### Application Type:

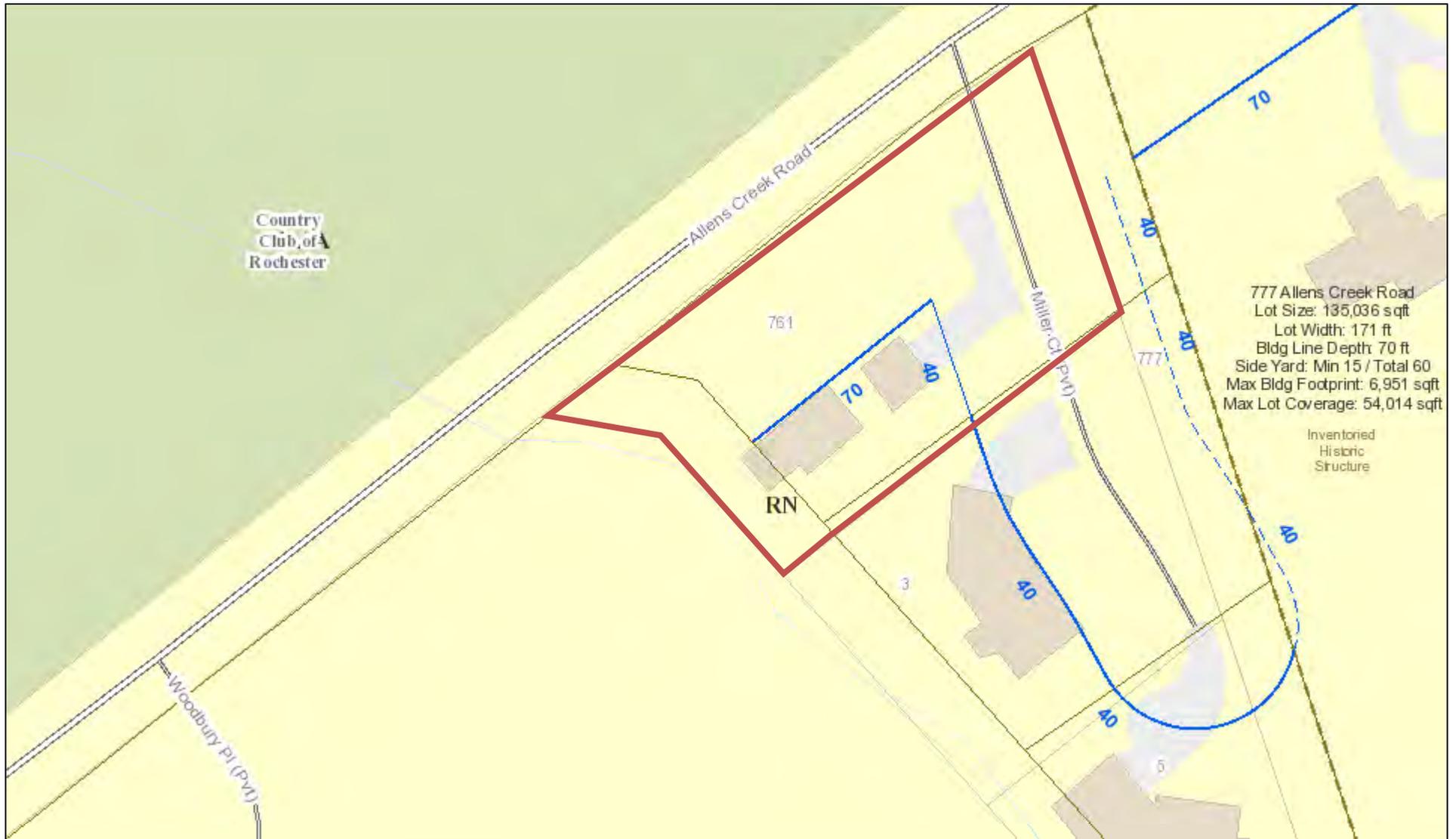
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of two porches and a mudroom/laundry area. The two porches will be approximately 402 Sq. Ft. combined and will be located on the front of the home. The mudroom/laundry area will connect the detached garage and the home and will be approximately 323 Sq. Ft.

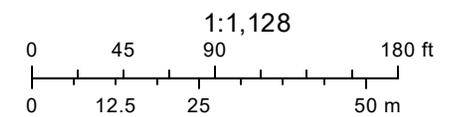
**Meeting Date:** September 26, 2019



# RN Residential Neighborhood Zoning



Printed September 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



780

809

795

777

761

3

5

Allens Creek Road

Miller Court

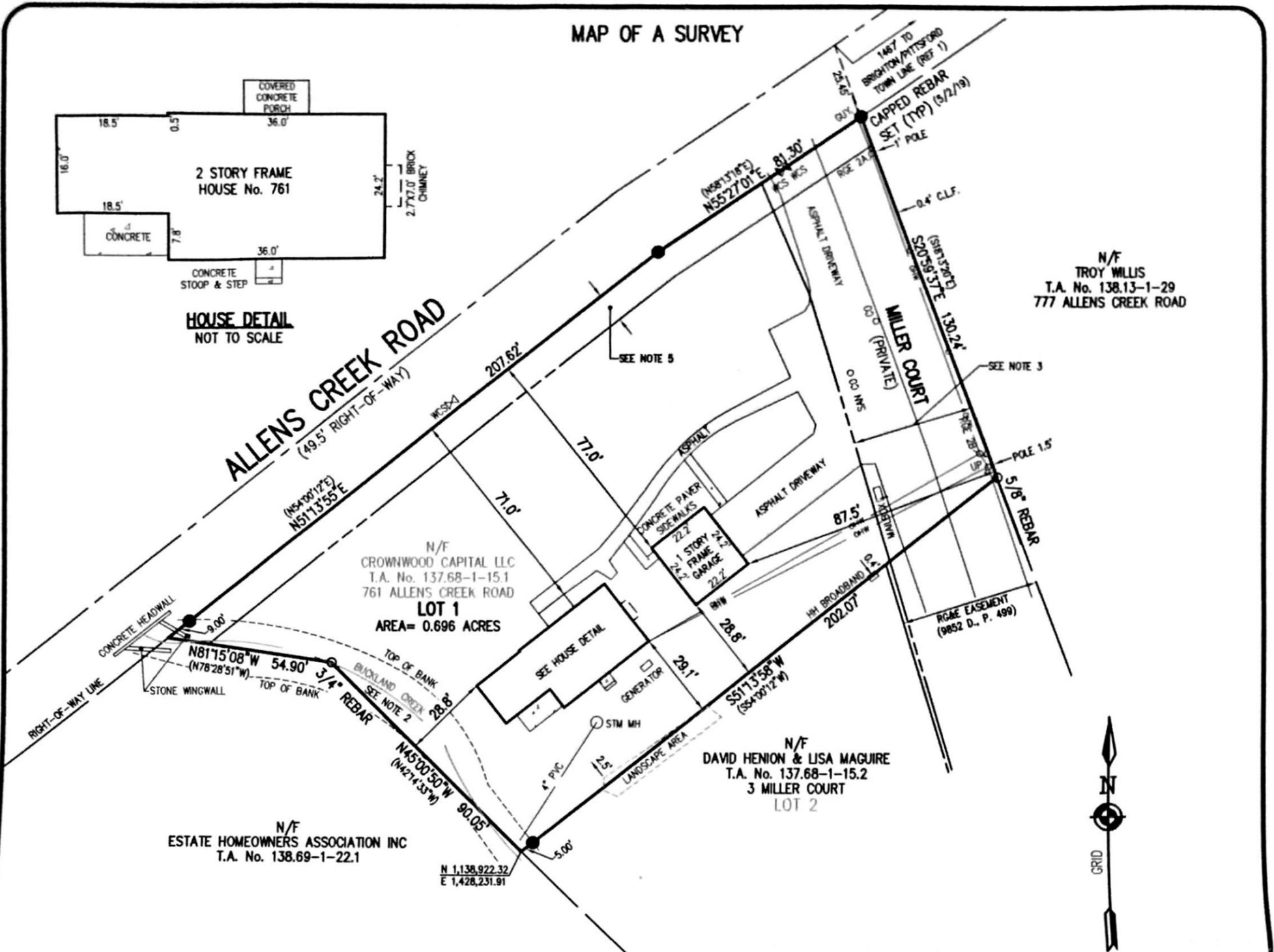
Mile Court

Allens Creek Road

Allens Creek Road

Place

MAP OF A SURVEY



HOUSE DETAIL  
NOT TO SCALE

N/F  
TROY WILLIS  
T.A. No. 138.13-1-29  
777 ALLENS CREEK ROAD

N/F  
CROWNWOOD CAPITAL LLC  
T.A. No. 137.68-1-15.1  
761 ALLENS CREEK ROAD  
**LOT 1**  
AREA= 0.696 ACRES

N/F  
DAVID HENION & LISA MAGUIRE  
T.A. No. 137.68-1-15.2  
3 MILLER COURT  
**LOT 2**

N/F  
ESTATE HOMEOWNERS ASSOCIATION INC  
T.A. No. 138.69-1-22.1

REFERENCES:

1. A PLAN ENTITLED "TED MILLER/STRONG ESTATE, LOTS 1 THROUGH 4," AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 246 OF MAPS, PAGE 41.
2. AN ABSTRACT OF TITLE PREPARED BY STEWART TITLE INSURANCE COMPANY, HAVING ORDER No. 8151240, DATED APRIL 29, 2019.

NOTES:

1. PARCEL SUBJECT TO AN EASEMENT TO NEW YORK TELEPHONE COMPANY, EASTERN MONROE ELECTRIC LIGHT AND GAS COMPANY, AND ROCHESTER TELEPHONE COMPANY PER LIBER 910 OF DEEDS, PAGE 459. EASEMENT WIDTH IS NOT DEFINED AND RUNS ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF ALLENS CREEK ROAD.
2. PARCEL SUBJECT TO AN EASEMENT TO THE COUNTRY CLUB OF ROCHESTER PER LIBER 5776 OF DEEDS, PAGE 76. EASEMENT COVERS A 6" WATER PIPELINE ALONG THE STREAM BED OF BUCKLAND CREEK. NO EVIDENCE OF A WATER PIPELINE WAS RECOVERED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
3. PARCEL SUBJECT TO AN EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES PER LIBER 7438 OF DEEDS, PAGE 216. EASEMENT LIES ALONG THE EASTERLY BOUNDARY LINE AS SHOWN HEREON.
4. PARCEL SUBJECT TO AND BENEFITED BY A PRIVATE DRIVEWAY AGREEMENT PER LIBER 9628 OF DEEDS, PAGE 297.
5. PARCEL MAY BE SUBJECT TO A 10' SIDEWALK EASEMENT PER REFERENCE 1.
6. THE BEARING BASE SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM (NAD '83), WESTERN ZONE. RECORD BEARINGS ARE SHOWN IN PARENTHESIS.

WE: BME ASSOCIATES, CERTIFY TO RACHEL V. LUDWIG; DANIEL J. LUDWIG; JARED HIRT, ESQ.; CALIBER HOME LOANS, INC.; EVANS FOX, LLP AND STEWART TITLE INSURANCE COMPANY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON MAY 2, 2019 AND FROM THE REFERENCES NOTED HEREON, THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY:   
DAVID N. ZACHARIAS, NYSPLS NO. 49940

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 69, T.A. No. 137.68-1-15.1

"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."  
THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHANGE." BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY, OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHANGE," OR SIMILAR INSTRUMENT.  
COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7208, OF THE NEW YORK STATE EDUCATION LAW."

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
PHONE 585-377-7360  
FAX 585-377-7309

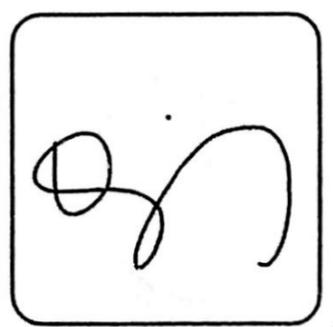
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LOT 1 TED MILLER/STRONG ESTATE SUBDIVISION  
TOWN OF PITTSFORD MONROE COUNTY NEW YORK

DRAWN BY: KAM  
DATE: 5-7-19

SCALE: 1"=40'  
DWG NO: 8901-327



Dan & Rachel Ludwig  
761 Allen's Creek Road  
Rochester, NY

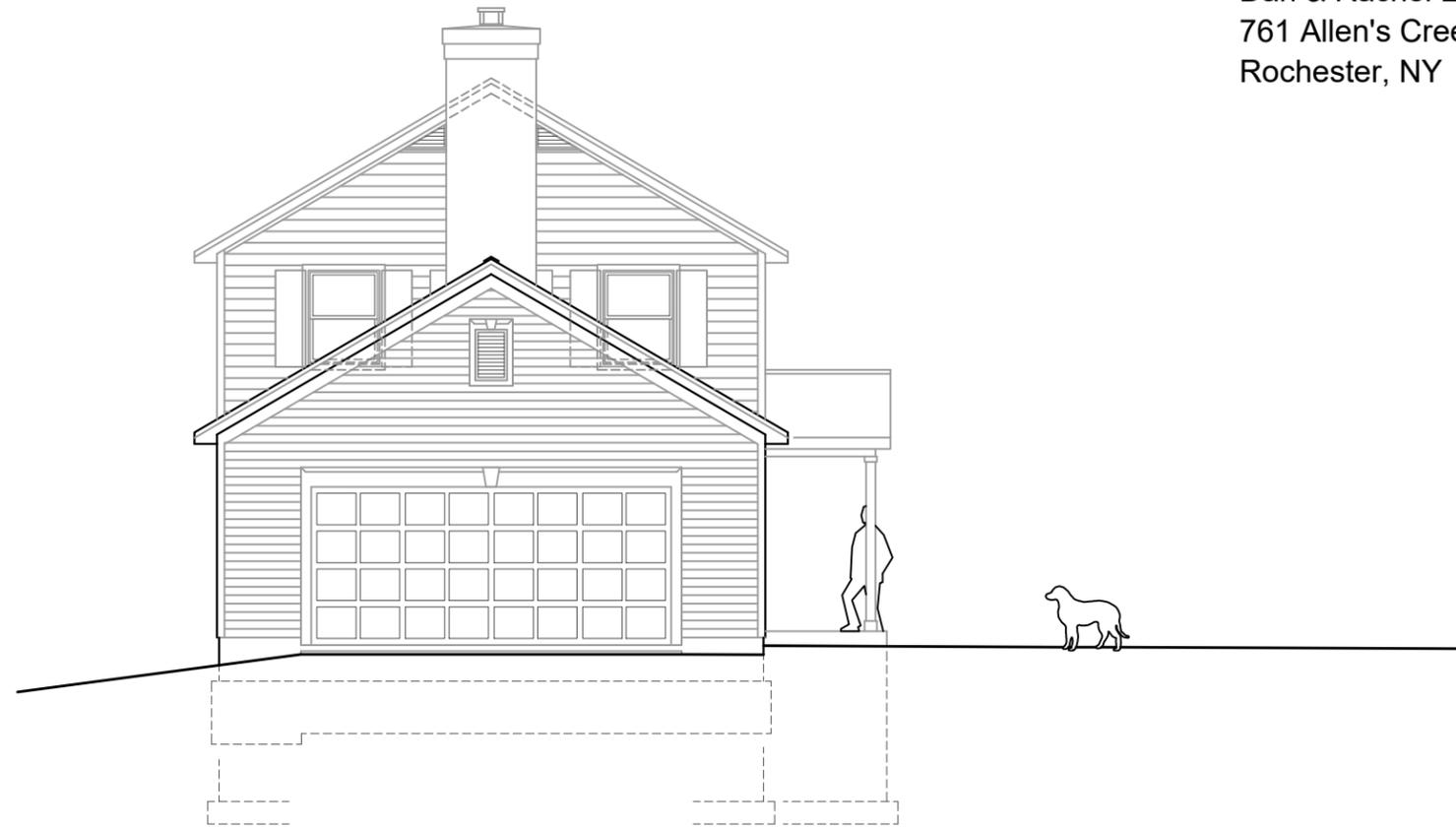


ALVIN  
HAZLEWOOD  
ARCHITECT

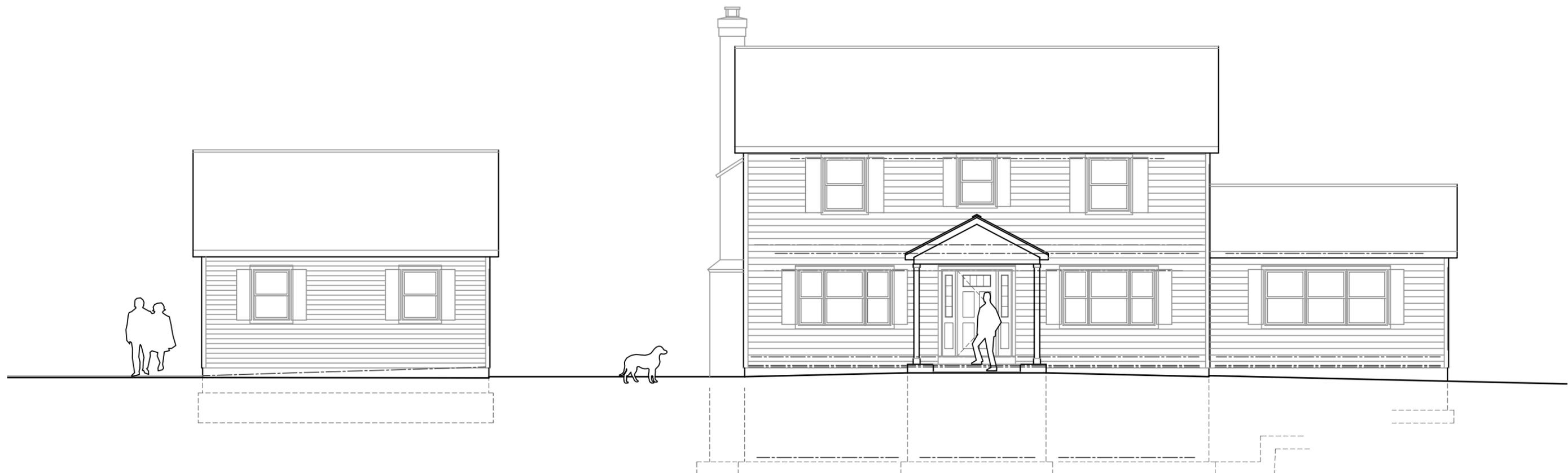
585.764.6020  
aghazlewoodarch@gmail.com

September 4, 2019

Ex1 of 4



Existing Northeast Elevation - 1/8"=1'-0"



Existing Street Elevation - 1/8"=1'-0"

Dan & Rachel Ludwig  
761 Allen's Creek Road  
Rochester, NY

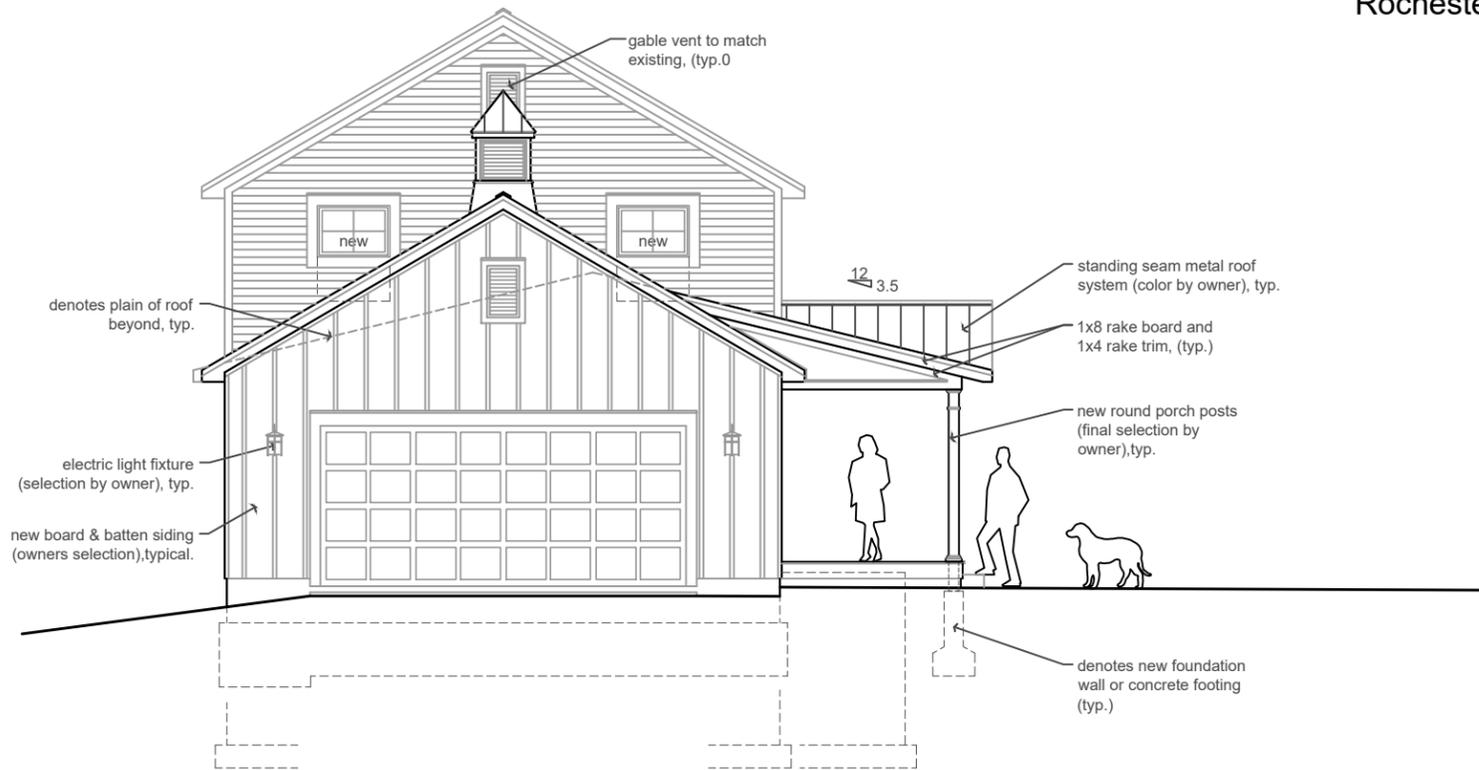


ALVIN  
HAZLEWOOD  
ARCHITECT

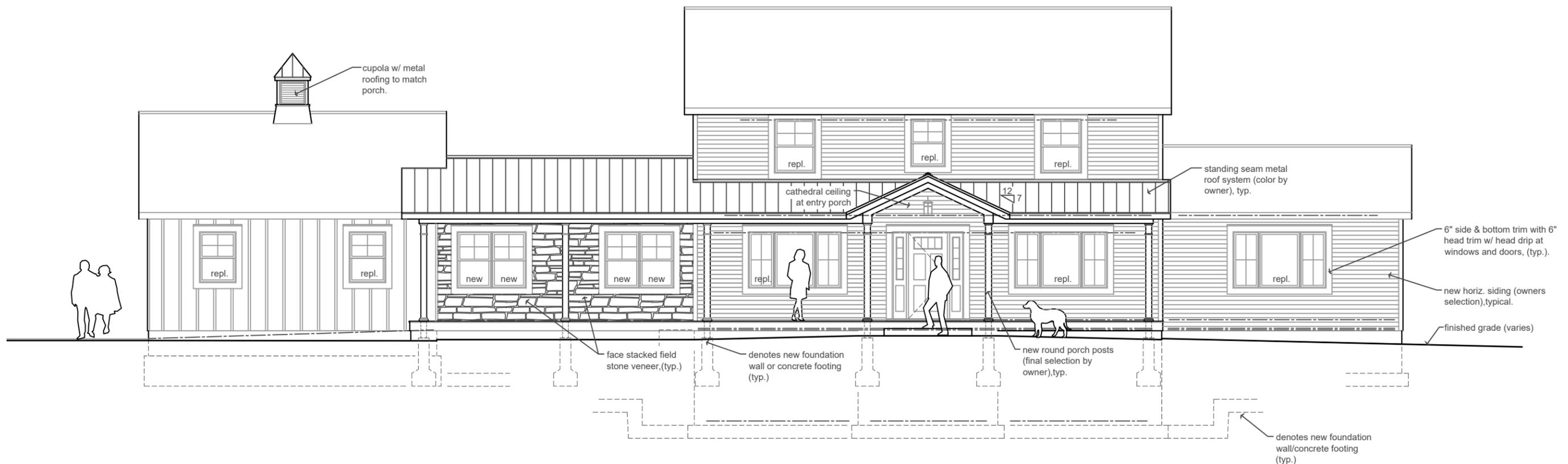
585.764.6020  
aghazlewoodarch@gmail.com

September 12, 2019

3 of 3



Northeast Elevation - 1/8"=1'-0"



Schematic Street Elevation - 1/8"=1'-0"



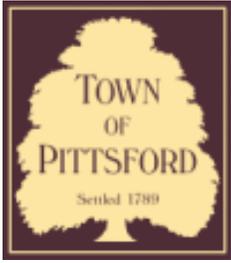


Laurel & Paul  
Est. 1914

**SALE**  
make the  
person if  
you're  
762-984-2110







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000132**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 4 Wood Hill Road PITTSFORD, NY 14534

**Tax ID Number:** 164.09-2-25

**Zoning District:** RN Residential Neighborhood

**Owner:** Di Pasquale, John T

**Applicant:** Morabito, Paul (Morabito Architects)

### Application Type:

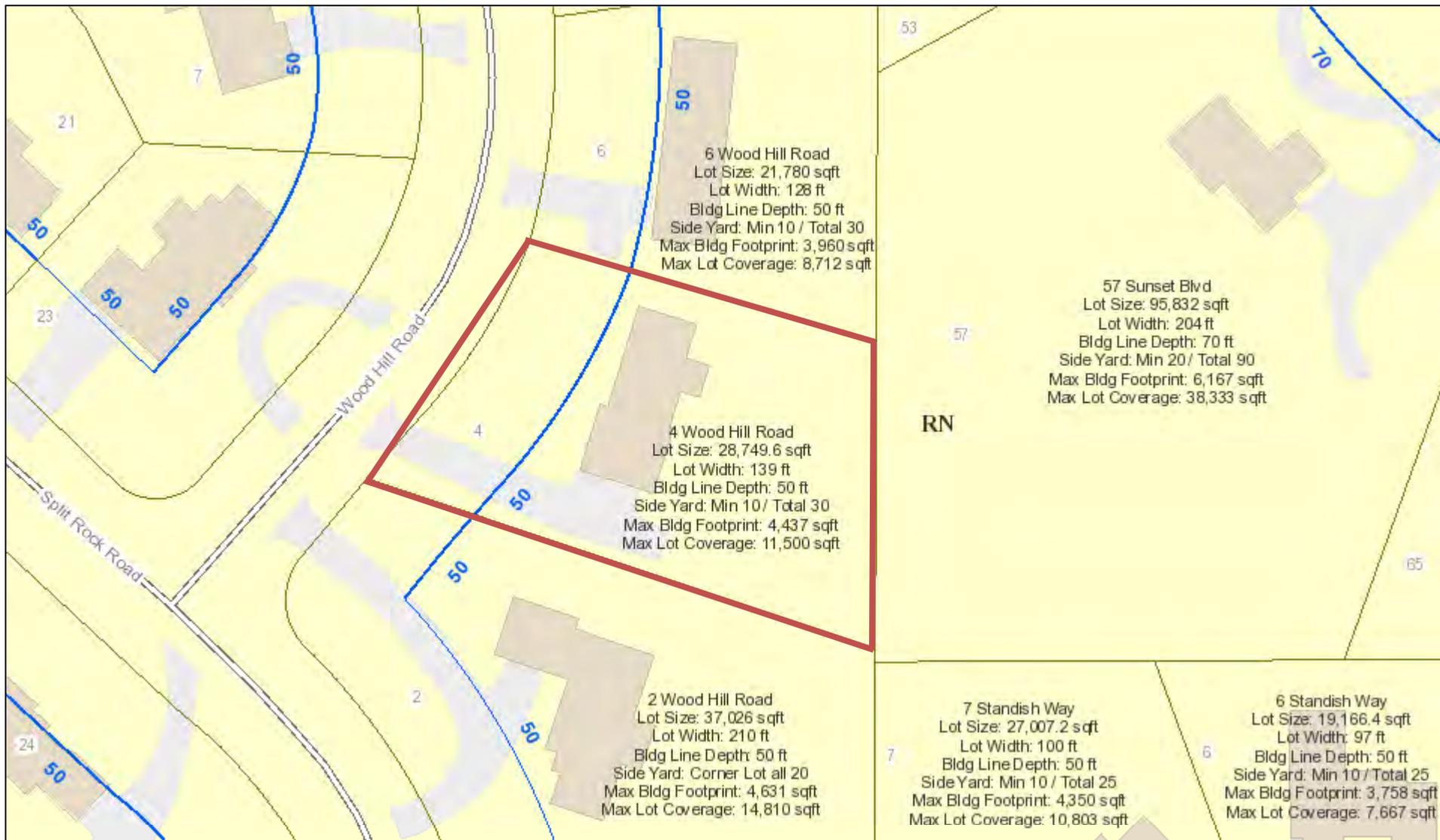
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of a porch. The porch will be approximately 236 Sq. Ft. and will be located to the rear of the property.

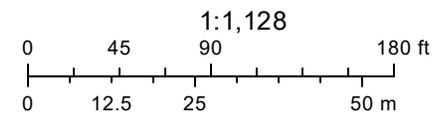
**Meeting Date:** September 26, 2019



# RN Residential Neighborhood Zoning

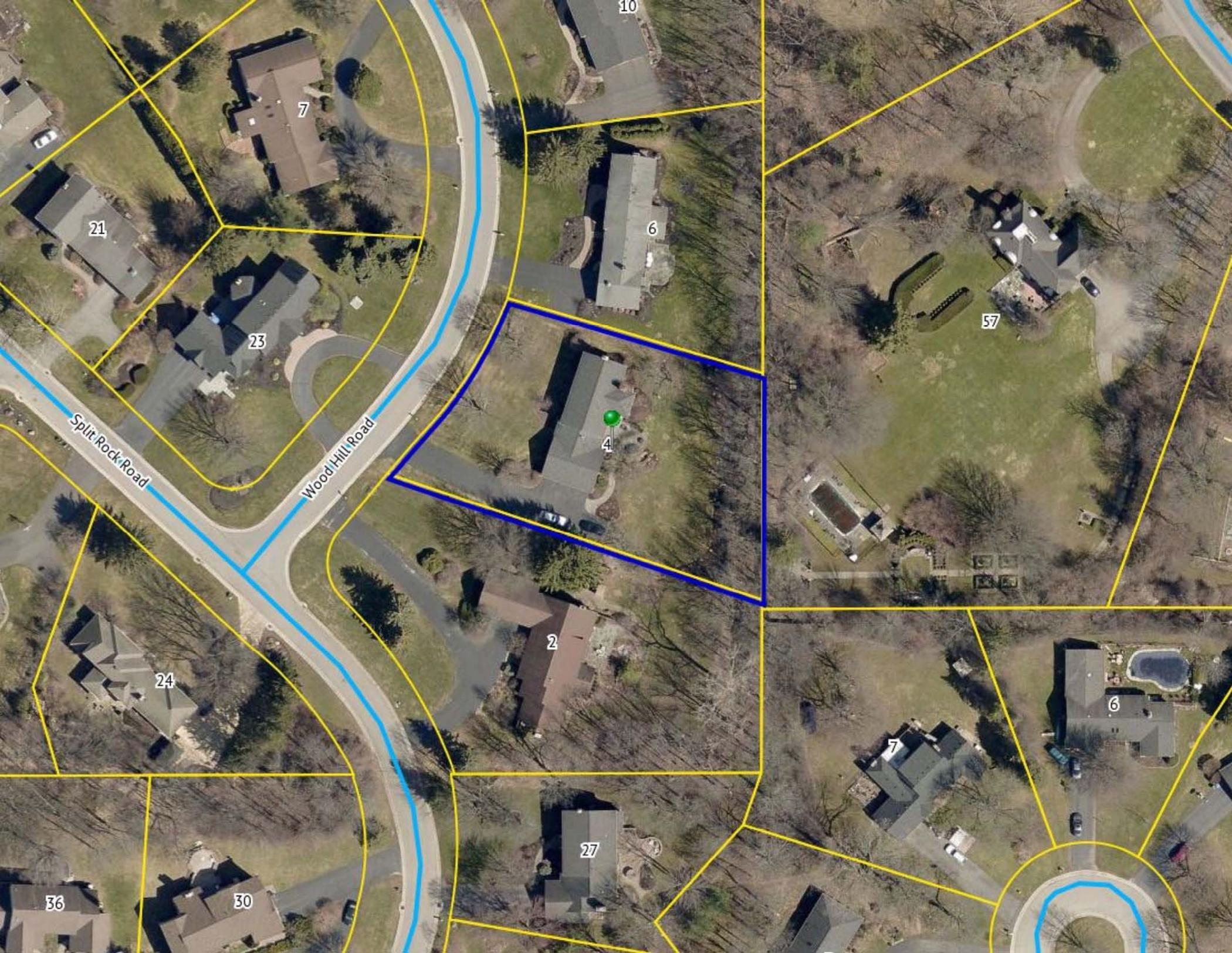


Printed September 17, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



7

10

21

6

57

23

4

Split Rock Road

Wood Hill Road

2

24

6

36

30

27

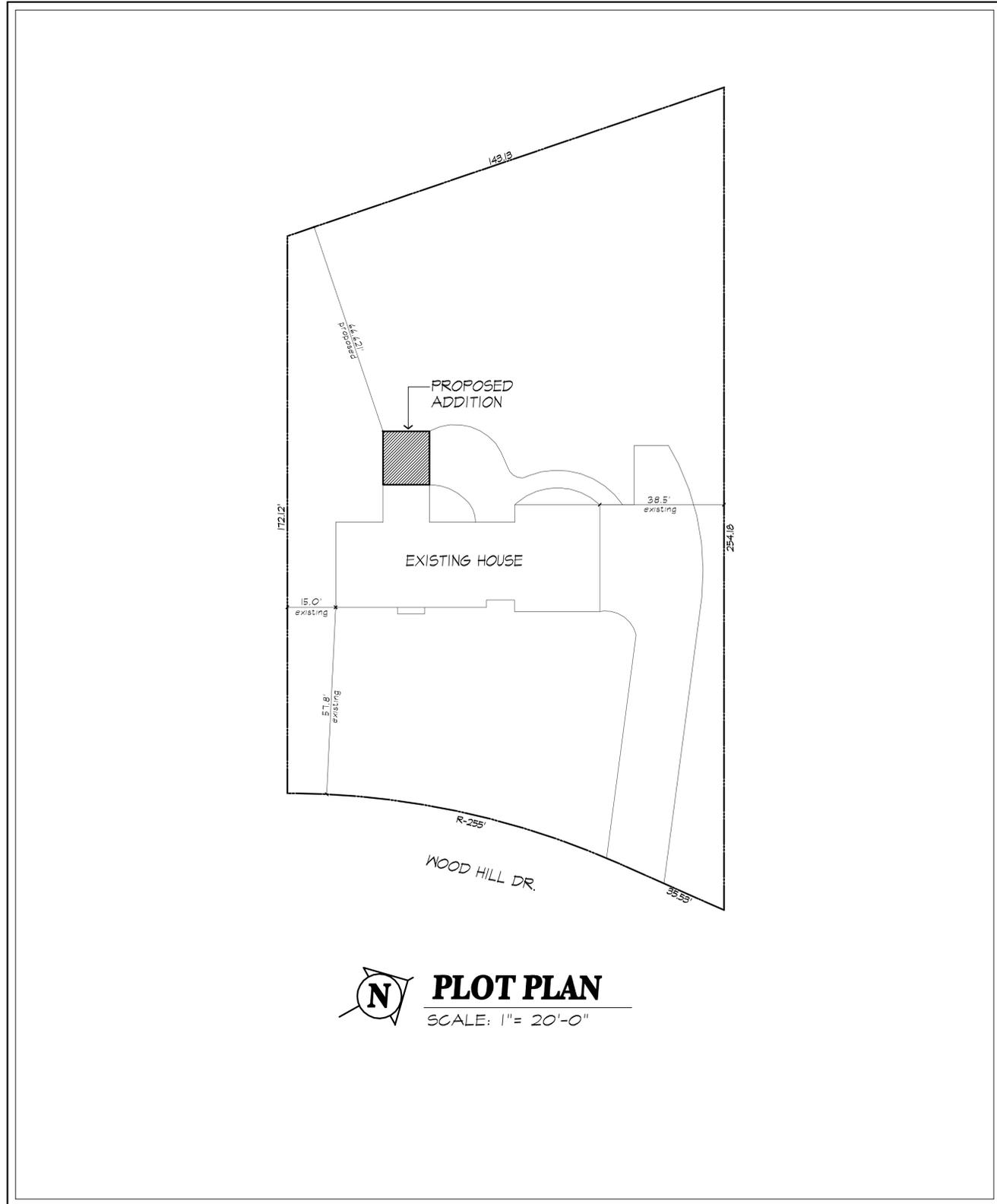
7





# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2015 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SANDY GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-38. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGINS/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR NOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 703.0 OF THE RESIDENTIAL CODE OF NEW YORK (2015)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2015).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R310.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)  
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R310.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2015) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



**PLOT PLAN**  
SCALE: 1" = 20'-0"

## ADDITION TO DIPASQUALE RESIDENCE 4 WOOD HILL RD. PITTSFORD, NY

# DRAWING INDEX

<b>1</b>	<b>TITLE PAGE</b>
<b>2</b>	<b>ELEVATIONS- PROPOSED</b>
<b>3</b>	<b>FOUNDATION/FLOOR PLAN BUILDING SECTIONS- PROPOSED</b>

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R802.1.1

### 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

1. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1



121 Sully's Trail  
Pittsford, NY 14534  
  
(585) 264-1330  
(585) 264-1333 Fax

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PROJECT:  
ADDITION TO DIPASQUALE RESIDENCE  
4 WOOD HILL RD  
PITTSFORD, NY

CLIENT:  
MM DIPASQUALE

DRAWING:  
TITLE PAGE

DRAWN: PAUL MORABITO	CHECKED: V
-------------------------	---------------

DATE: SEPTEMBER 2019

SCALE: 1/4"=1'-0"

JOB NO.: 1840219

SHEET:

**1**

OF **3** SHEETS





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Pittsford, NY 14534  
  
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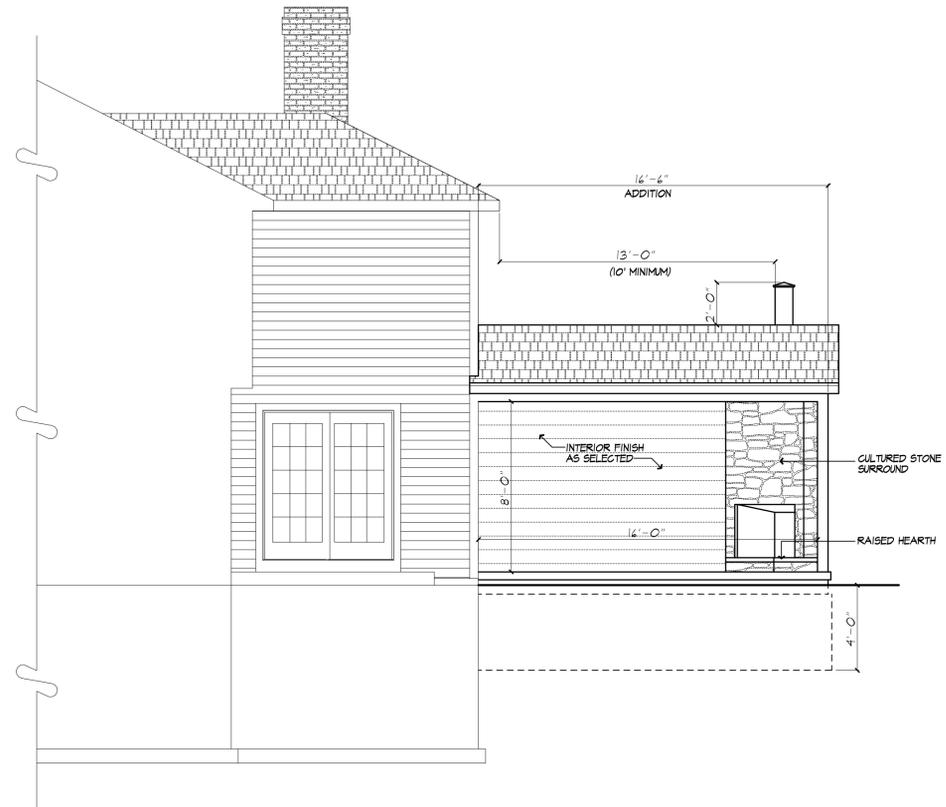
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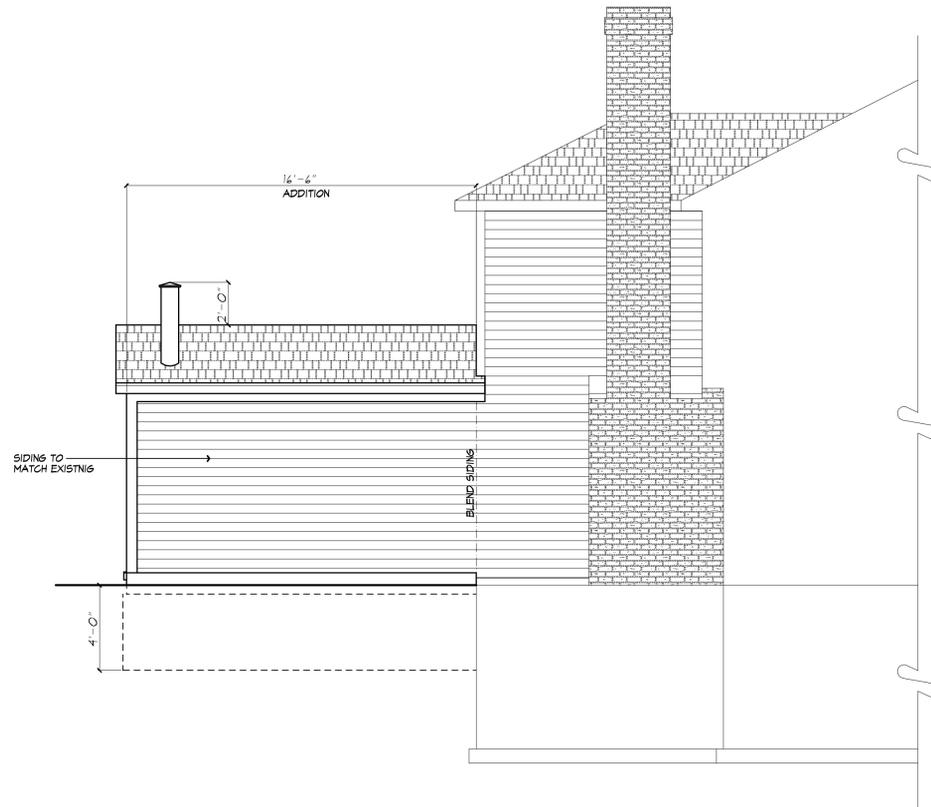


**REAR ELEVATION**  
PROPOSED

**EXTERIOR NOTES**  
  
FASCIAS: TO MATCH EXISTING  
  
CORNERBDS: TO MATCH EXISTING  
  
SIDING: HORIZONTAL TO MATCH EXISTING



**RIGHT SIDE ELEVATION**  
PROPOSED



**LEFT SIDE ELEVATION**  
PROPOSED

**PROJECT:**  
ADDITION TO DIPASQUALE RESIDENCE  
4 WOOD HILL RD  
PITTSFORD, NY

**CLIENT:**  
MM DIPASQUALE

**DRAWING:**  
ELEVATIONS- PROPOSED

**DRAWN:** PAUL MORABITO  
**CHECKED:** Y

**DATE:** SEPTEMBER 2019

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 18M0818

**SHEET:**

**2**  
OF **3** SHEETS



**NOTICE:**

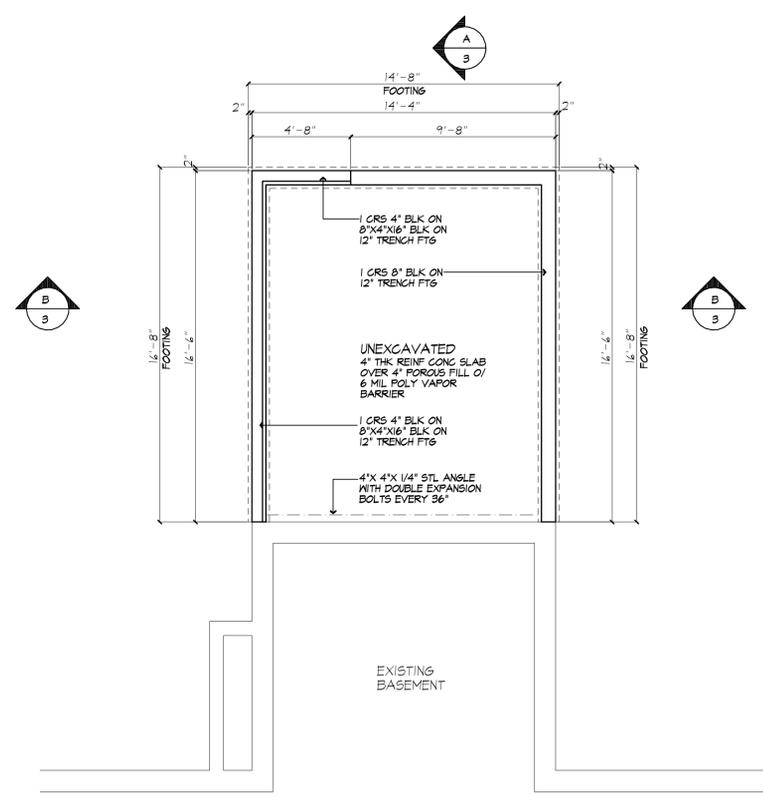
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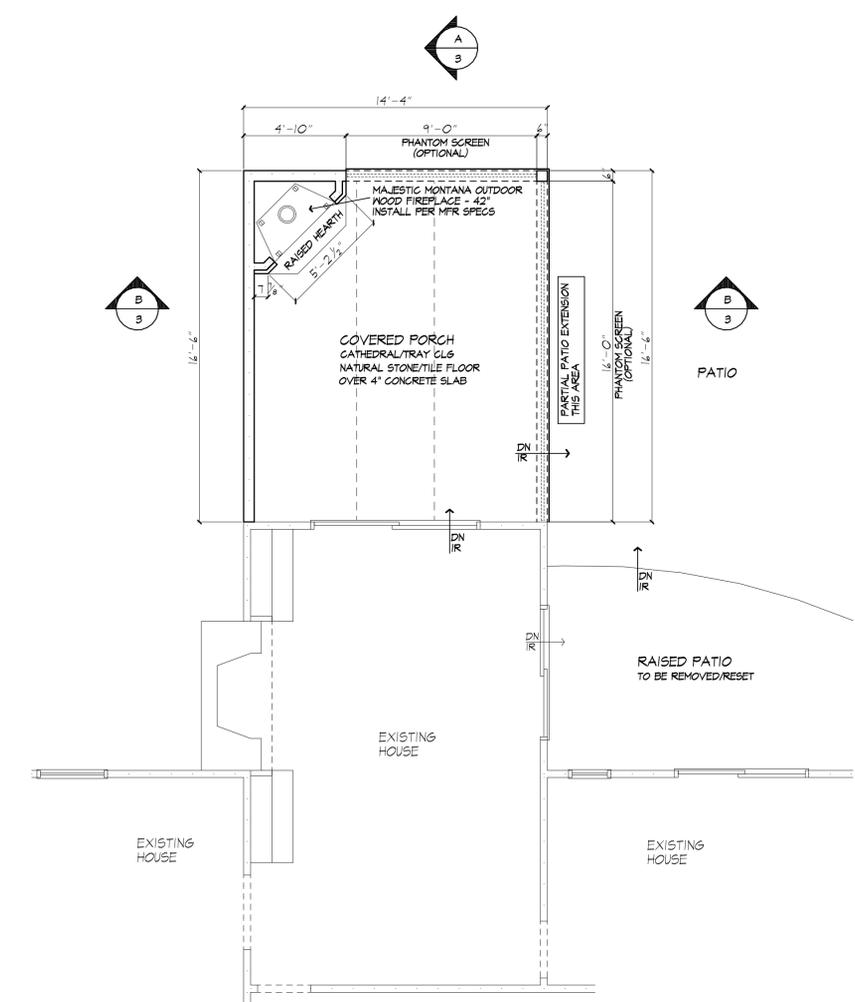
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**FOUNDATION PLAN- PROPOSED**

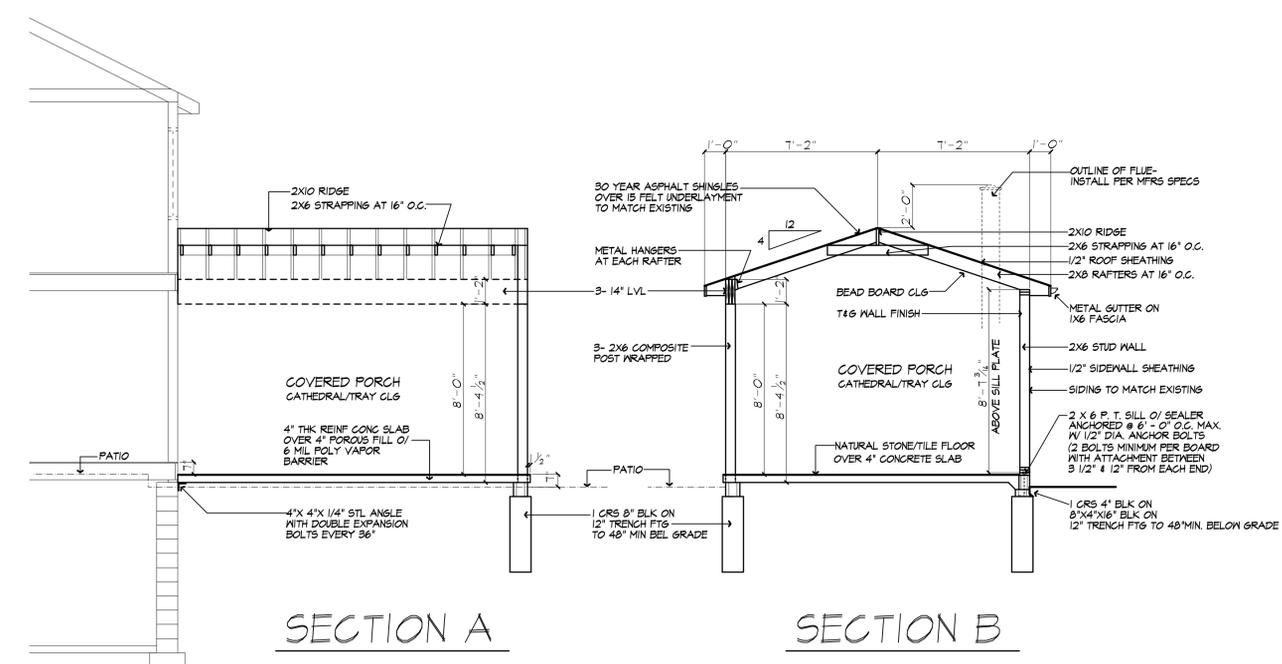
NOTES :	
1. FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F. SIZE: 12" WIDE TRENCH FTGS TO 48" MIN BELOW GRADE	A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
2. MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS: FLOOR SLABS/FOOTINGS: 2500 PSI	B. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.
	C. FOR SI: 1 INCH = 25.4 MM   FOOT = 304.8 MM   POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.



**FLOOR PLAN- PROPOSED**

AREA : 236 SQUARE FEET

ALL EXTERIOR FINISH MATERIALS TO BE SELECTED AND VERIFIED BY OWNER PRIOR TO CONTRACT/ START OF CONSTRUCTION



PROJECT: ADDITION TO DIPASQUALE RESIDENCE  
4 WOOD HILL RD  
PITTSFORD, NY

CLIENT: MM DIPASQUALE

DRAWING: FOUNDATION PLAN, FLOOR PLAN  
BUILDING SECTIONS- PROPOSED

DRAWN: PAUL MORABITO  
CHECKED: V

DATE: SEPTEMBER 2019

SCALE: 1/4"=1'-0"

JOB NO.: 18M0818

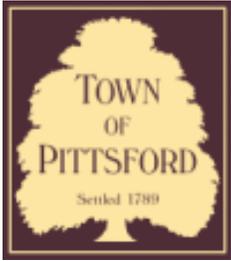
SHEET:











## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000136**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 6 Windscape PITTSFORD, NY 14534

**Tax ID Number:** 178.12-1-41

**Zoning District:** RN Residential Neighborhood

**Owner:** Irwin, Will

**Applicant:** Hamilton Stern

#### Application Type:

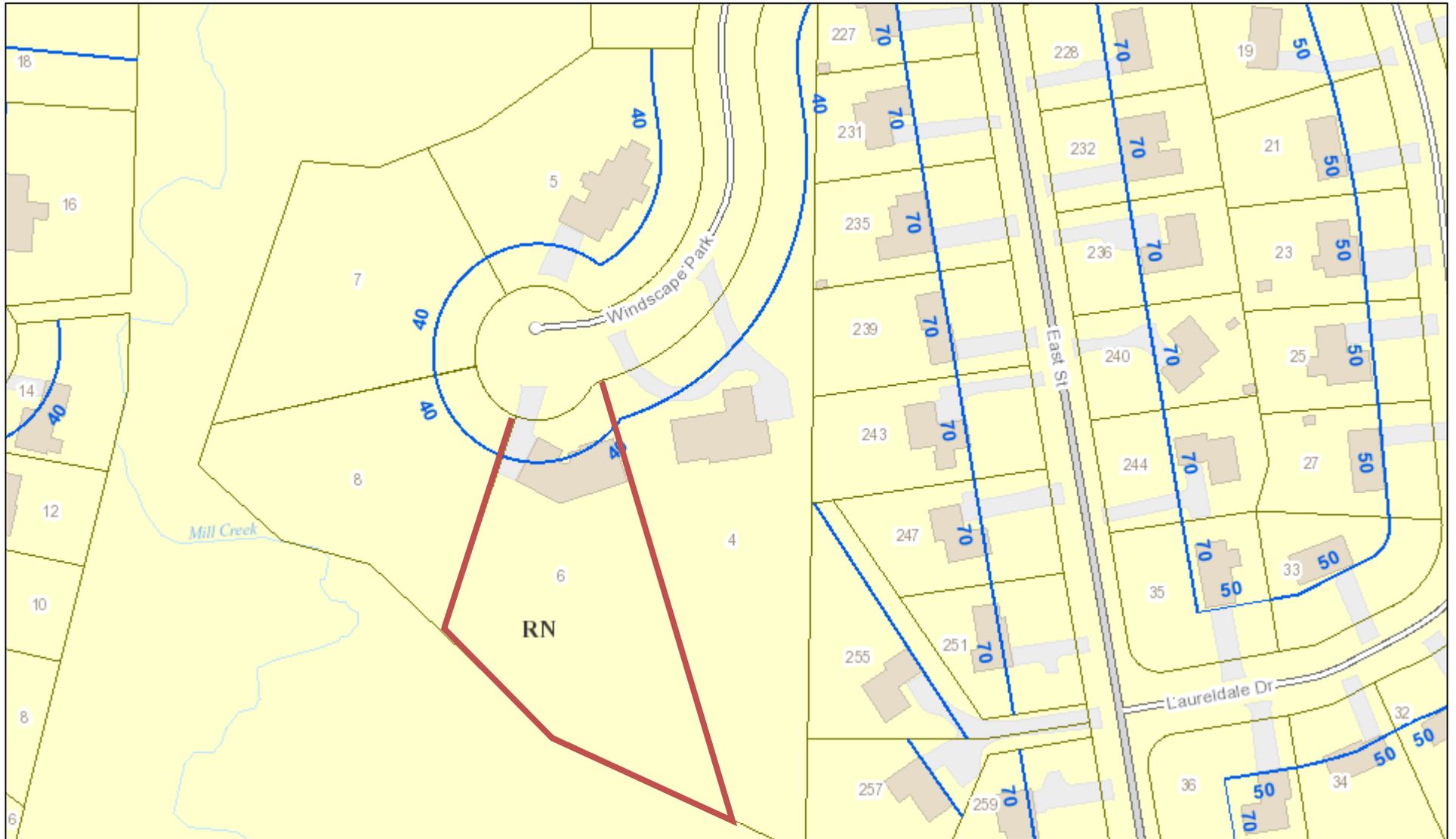
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for new additions to the current home. The addition will be located on the southwest side of the home and will be two stories with a 558 sq. ft. first floor, 590 sq. ft. second floor, 744 sq. ft. garage and a 702 sq. ft. Porch.

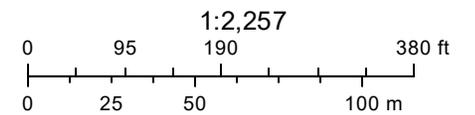
**Meeting Date:** September 26, 2019



# RN Residential Neighborhood Zoning

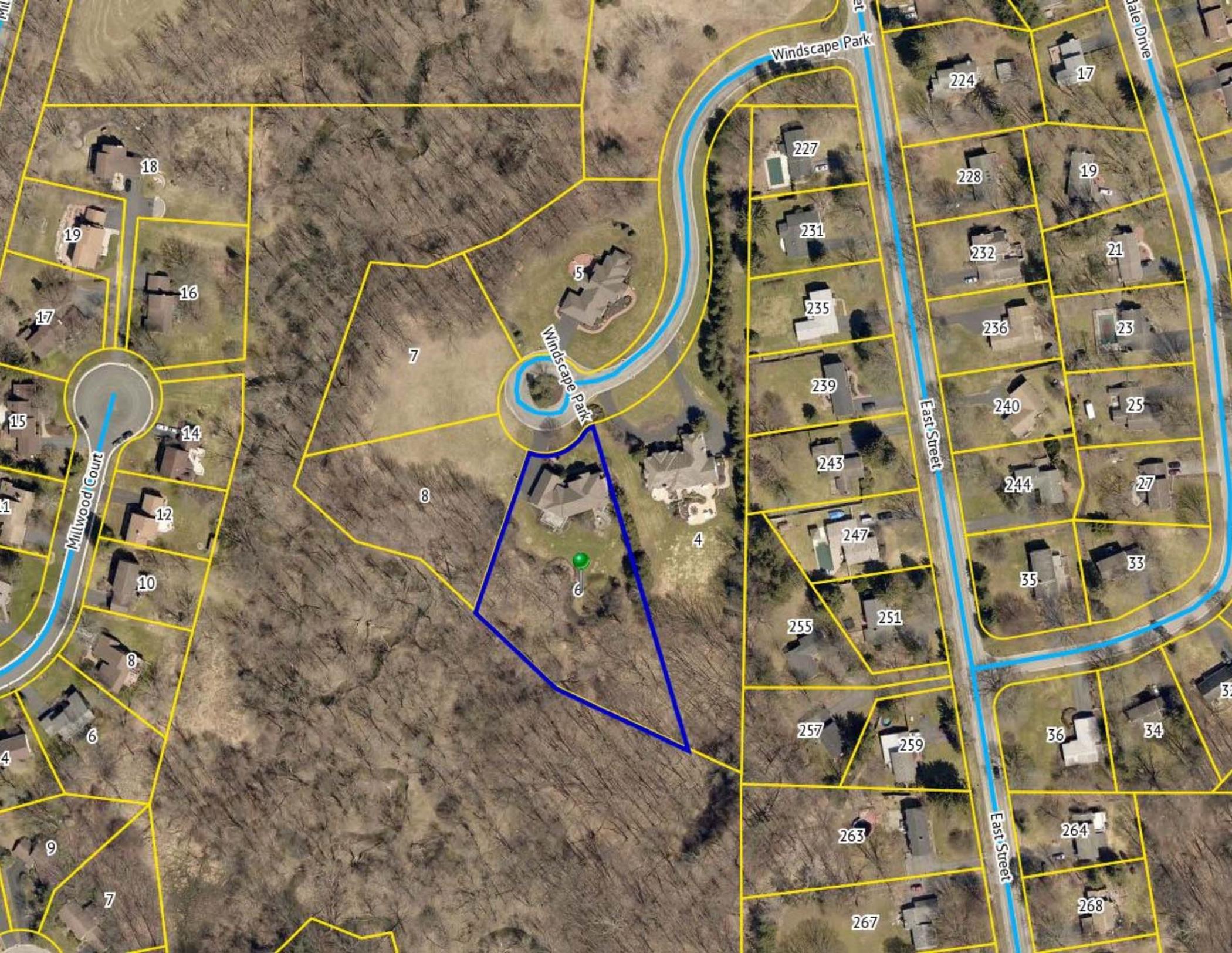


Printed September 19, 2019



Town of Pittsford GIS

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Windscape Park

ale Drive

224

17

227

228

19

231

232

21

235

236

23

239

240

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243

244

27

247

244

27

255

251

35

33

257

259

36

34

263

264

264

267

268

268

Millwood Court

Windscape Park

East Street

East Street

6

5

7

8

4

18

19

16

17

14

12

10

8

6

9

7











6

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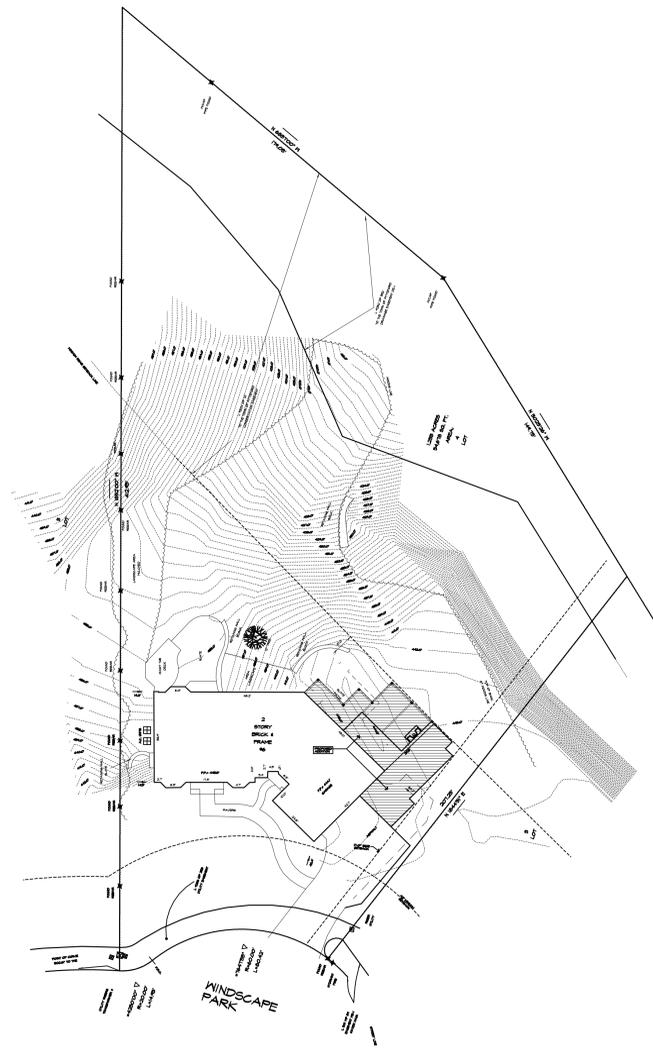
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# DRAWING INDEX

1	TITLE PAGE
2	EXISTING ELEVATIONS
3	EXISTING ELEVATIONS
4	EXISTING FOUNDATION PLAN
5	EXISTING 1ST FLOOR PLAN
6	EXISTING 2ND FLOOR PLAN
7	EXISTING ROOF PLAN
8	PROPOSED ELEVATIONS
9	PROPOSED ELEVATIONS
10	PROPOSED FOOTING PLAN
11	PROPOSED FOUNDATION PLAN
12	PROPOSED 1ST FLOOR PLAN
13	PROPOSED 2ND FLOOR PLAN
14	PROPOSED ROOF PLAN
15	PROPOSED BUILDING SECTIONS
16	PROPOSED BUILDING SECTIONS
17	WALL SECTIONS

## GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (2018 IRC) AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
 2500 PSI FOOTINGS  
 2500 PSI FLOOR SLABS  
 3500 PSI PORCH  
 3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A99. SHOP-PRIME PAINT TT-P-20, TT-P-31C, TT-P-88, FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FBS) FOR ALL FRAMING LUMBER TO BE 150 PSI #2 HEX-PILE OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXM-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR MOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER R 103.8 OF THE RESIDENTIAL CODE OF NEW YORK (2018).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2018).  
 FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
 SLEEPING AREAS (2ND FLOOR) 30 PSF  
 EXTERIOR DECKS 40 PSF
- ALL WORK MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R310.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2018).
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R310.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2018).
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2018). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



**PLOT PLAN**  
 SCALE: 1" = 30'  
 \* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

# RENOVATION TO IRWIN RESIDENCE

## 6 WINDSCAPE PARK

### PITTSFORD, NEW YORK

**ENERGY COMPLIANCE DETAILS & PATH**  
 MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2018 IRC) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. PENETRATION U-FACTOR	32	30
2. CEILING R-FACTOR	49	49
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 19+5	HIGH DENSITY 21 2 1/2" BAND JOISTS
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 15 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
5. FLOOR R-VALUE	30	30

**2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH**

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 102.4.1
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 102.5.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 102.5.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 3)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 102.5.1
- MECHANICAL VENTILATION PER SECTION 102.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS PER SECTION 102.6.3.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 102.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 102.7 REQUIREMENTS.

## BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R501.2 (5)
- WIND SPEED - 40 MPH EXPOSURE B R501.2 (4)
- SEISMIC DESIGN CATEGORY - A R501.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 100
- ROOF TIE DOWN REQUIREMENTS R602.1.1

**PROJECT:**  
 RENOVATION  
 6 WINDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 ILL AND KRISTIN IRWIN

**DRAWING:**  
 TITLE PAGE

<b>DRAWN:</b> PJM/MA	<b>CHECKED:</b> X
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**DATE:** 12/20/18

**SCALE:** AS NOTED

**JOB NO.:** 18M5804

**SHEET:**  
**1**  
 OF 17 SHEETS



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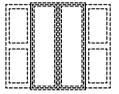
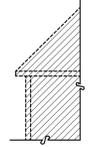
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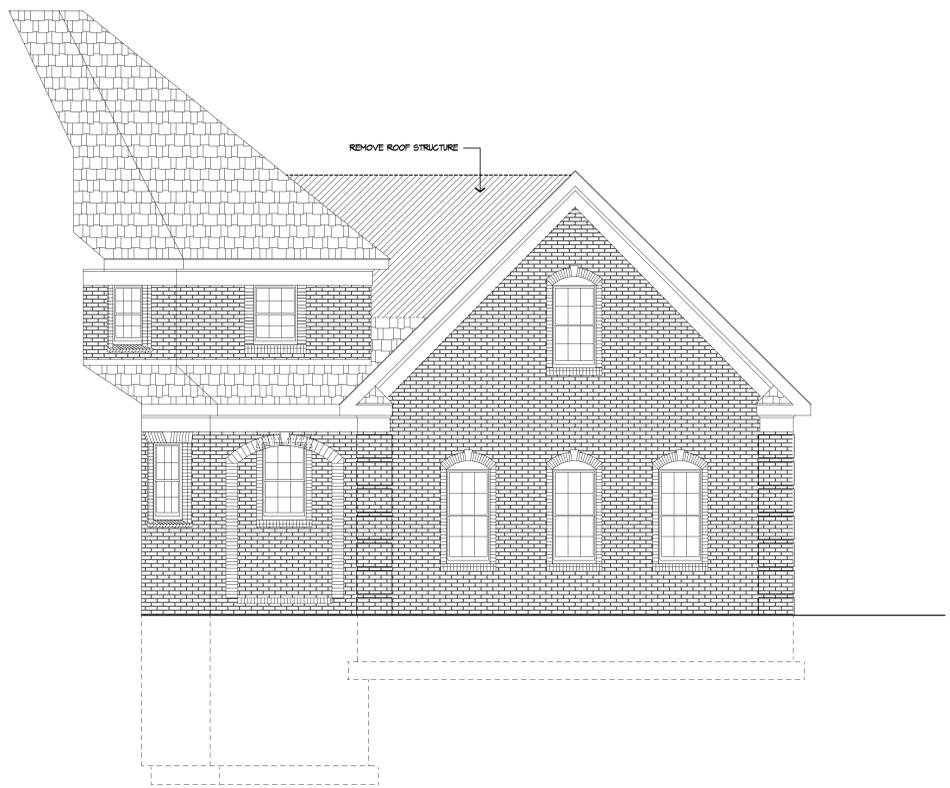
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**FRONT ELEVATION/ EXISTING**  
 WITH REMOVALS SHOWN

REMOVAL LEGEND	
	R.O. FOR NEW WINDOWS/ DOORS
	EXISTING WINDOW TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED



**GARAGE ELEVATION/ EXISTING**  
 WITH REMOVALS SHOWN



**LEFT SIDE ELEVATION/ EXISTING**  
 NO CHANGES TO THIS ELEVATION

**PROJECT:**  
 RENOVATION & LANDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 WILL AND KRISTIN IRWIN

**DRAWING:**  
 ELEVATIONS - EXISTING  
 WITH REMOVALS SHOWN

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> X
<b>DATE:</b> 12/2018	
<b>SCALE:</b> AS NOTED	
<b>JOB NO.:</b> 18M8804	
<b>SHEET:</b>	

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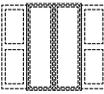
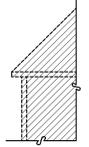
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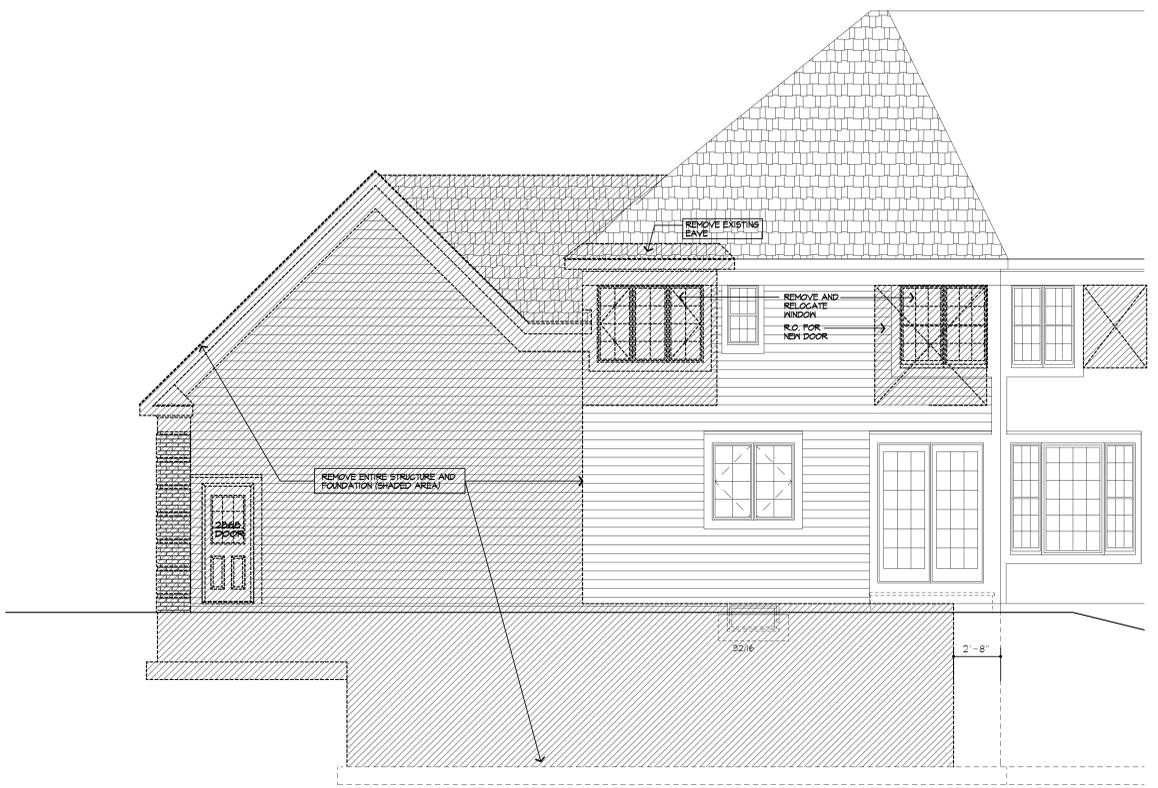
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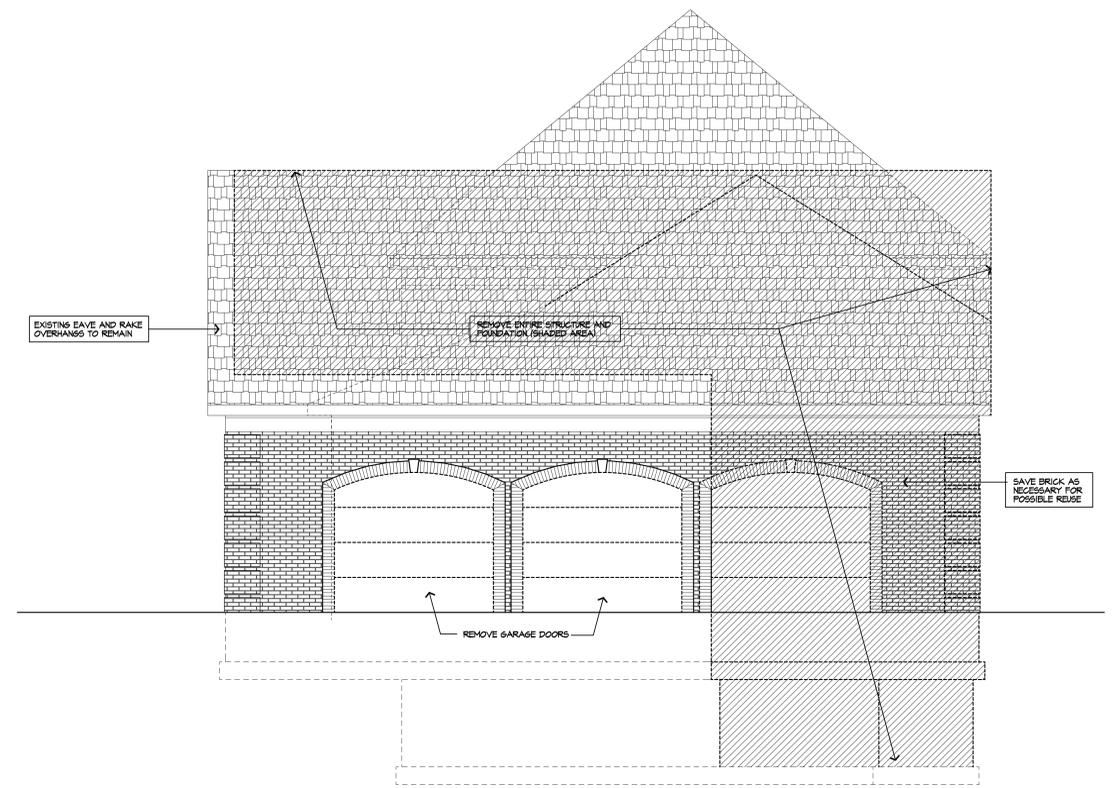
REMOVAL LEGEND	
	R.O. FOR NEW WINDOWS/ DOORS
	EXISTING WINDOW TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED



**REAR ELEVATION/ EXISTING**  
 WITH REMOVALS SHOWN



**PARTIAL REAR ELEVATION/ EXISTING**  
 WITH REMOVALS SHOWN



**RIGHT SIDE ELEVATION/ EXISTING**  
 WITH REMOVALS SHOWN

**PROJECT:**  
 RENOVATION  
 6 WINDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 WILL AND KRISTIN IRWIN

**DRAWING:**  
 ELEVATIONS- EXISTING  
 WITH REMOVALS SHOWN

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> X
<b>DATE:</b> 12/20/18	
<b>SCALE:</b> AS NOTED	
<b>JOB NO.:</b> 18M8804	
<b>SHEET:</b>	



**NOTICE:**

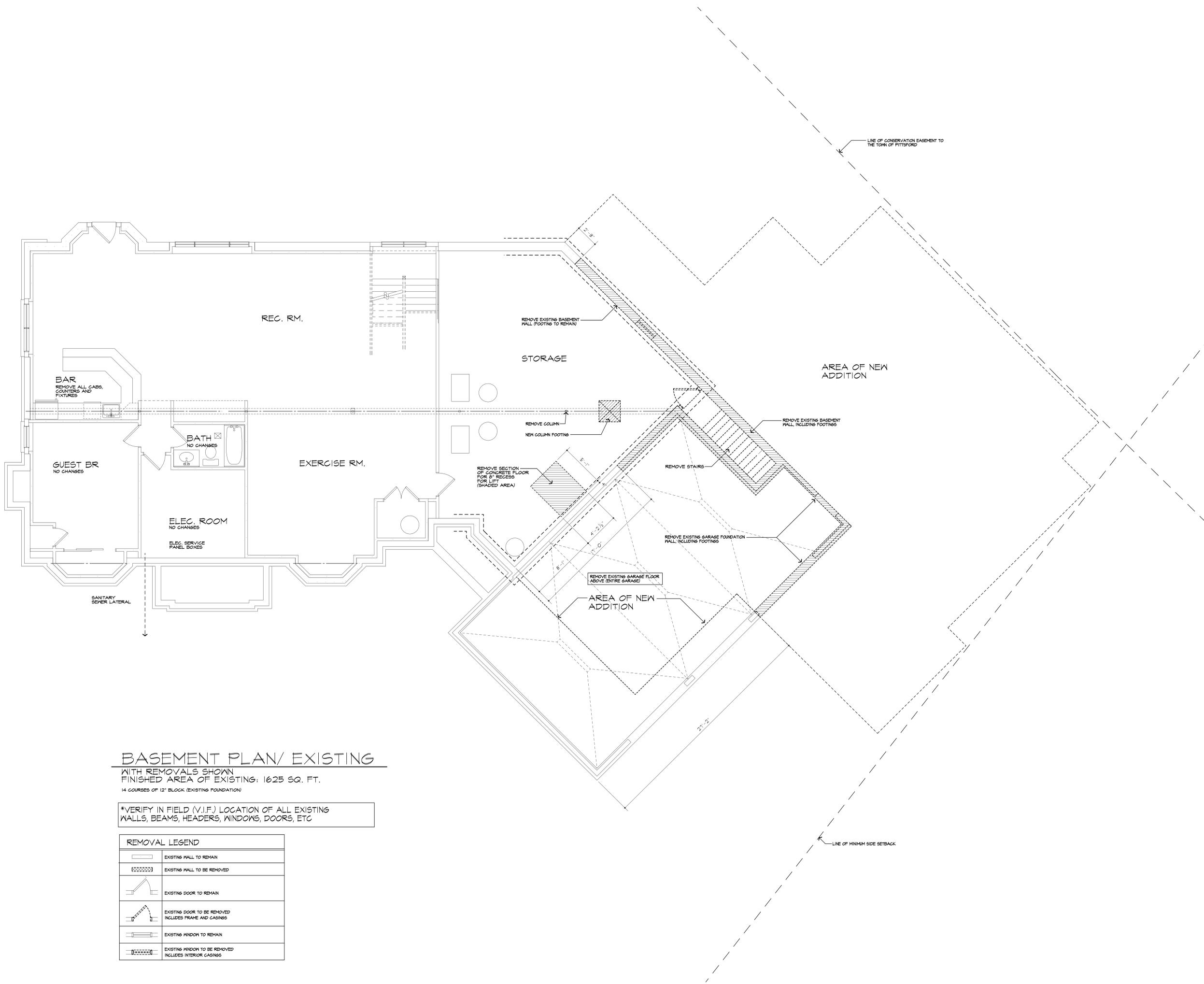
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**BASEMENT PLAN/ EXISTING**  
WITH REMOVALS SHOWN  
FINISHED AREA OF EXISTING: 1625 SQ. FT.  
14 COURSES OF 12" BLOCK (EXISTING FOUNDATION)

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED INCLUDES FRAME AND CASINGS
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED INCLUDES INTERIOR CASINGS

**PROJECT:**  
RENOVATION  
OF WINDSCAPE PARK  
PITTSFORD, NY

**CLIENT:**  
MILL AND KRISTIN IRWIN

**DRAWING:**  
BASEMENT PLAN/ EXISTING  
WITH REMOVALS SHOWN

<b>DRAWN:</b> PJM/MA	<b>CHECKED:</b> X
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**DATE:** 12/20/18

**SCALE:** AS NOTED

**JOB NO.:** 18M3804

**SHEET:**

**4**  
OF 17 SHEETS



**NOTICE:**

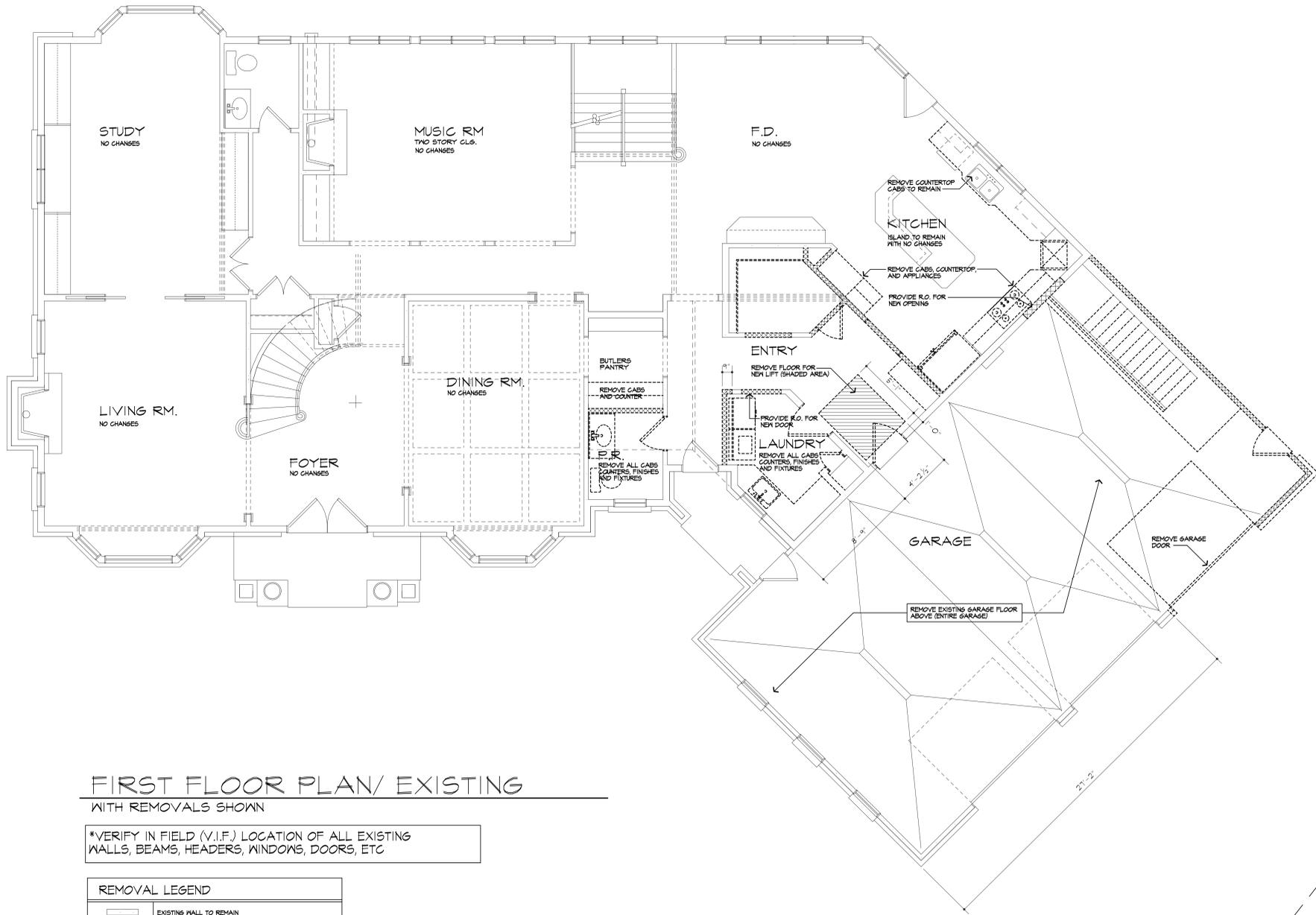
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**FIRST FLOOR PLAN/ EXISTING**  
 WITH REMOVALS SHOWN

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED INCLUDES FRAME AND CASINGS
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED INCLUDES INTERIOR CASINGS

**PROJECT:**  
 RENOVATION  
 6 WINDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 WILL AND KRISTIN IRWIN

**DRAWING:**  
 FIRST FLOOR PLAN/ EXISTING  
 WITH REMOVALS SHOWN

<b>DRAWN:</b> PJM/MAIA	<b>CHECKED:</b> X
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**DATE:** 12/2018

**SCALE:** AS NOTED

**JOB NO.:** 18M3804

**SHEET:**

**5**  
 OF 17 SHEETS



**NOTICE:**

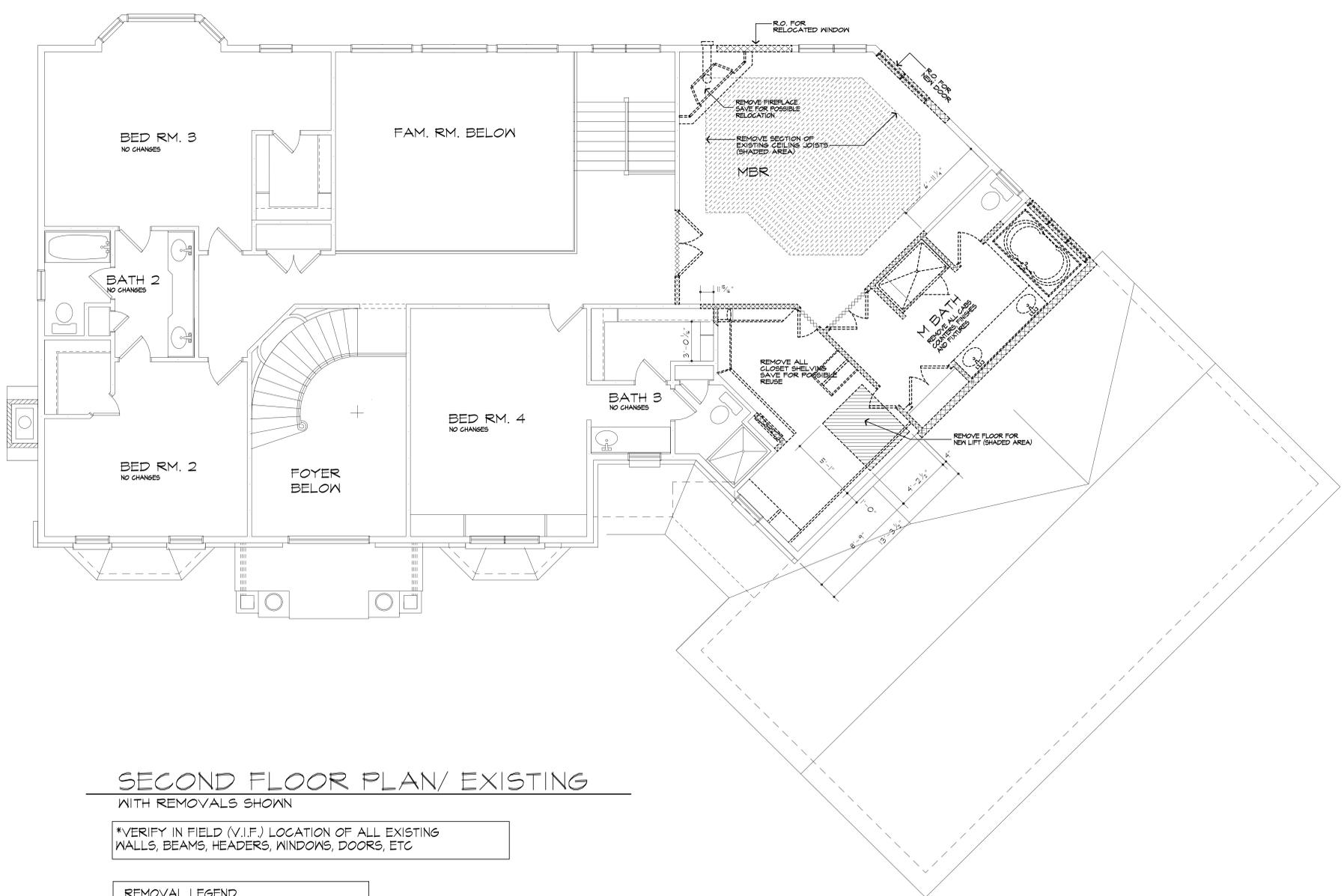
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**SECOND FLOOR PLAN/ EXISTING**  
 WITH REMOVALS SHOWN

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

REMOVAL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED INCLUDES FRAME AND CASINGS
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED INCLUDES INTERIOR CASINGS

**PROJECT:**  
 RENOVATION  
 & LANDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 KILL AND KRISTIN IRWIN

**DRAWING:**  
 SECOND FLOOR PLAN/ EXISTING  
 WITH REMOVALS SHOWN

<b>DRAWN:</b> PJM/MA	<b>CHECKED:</b> X
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**DATE:** 12/20/18

**SCALE:** AS NOTED

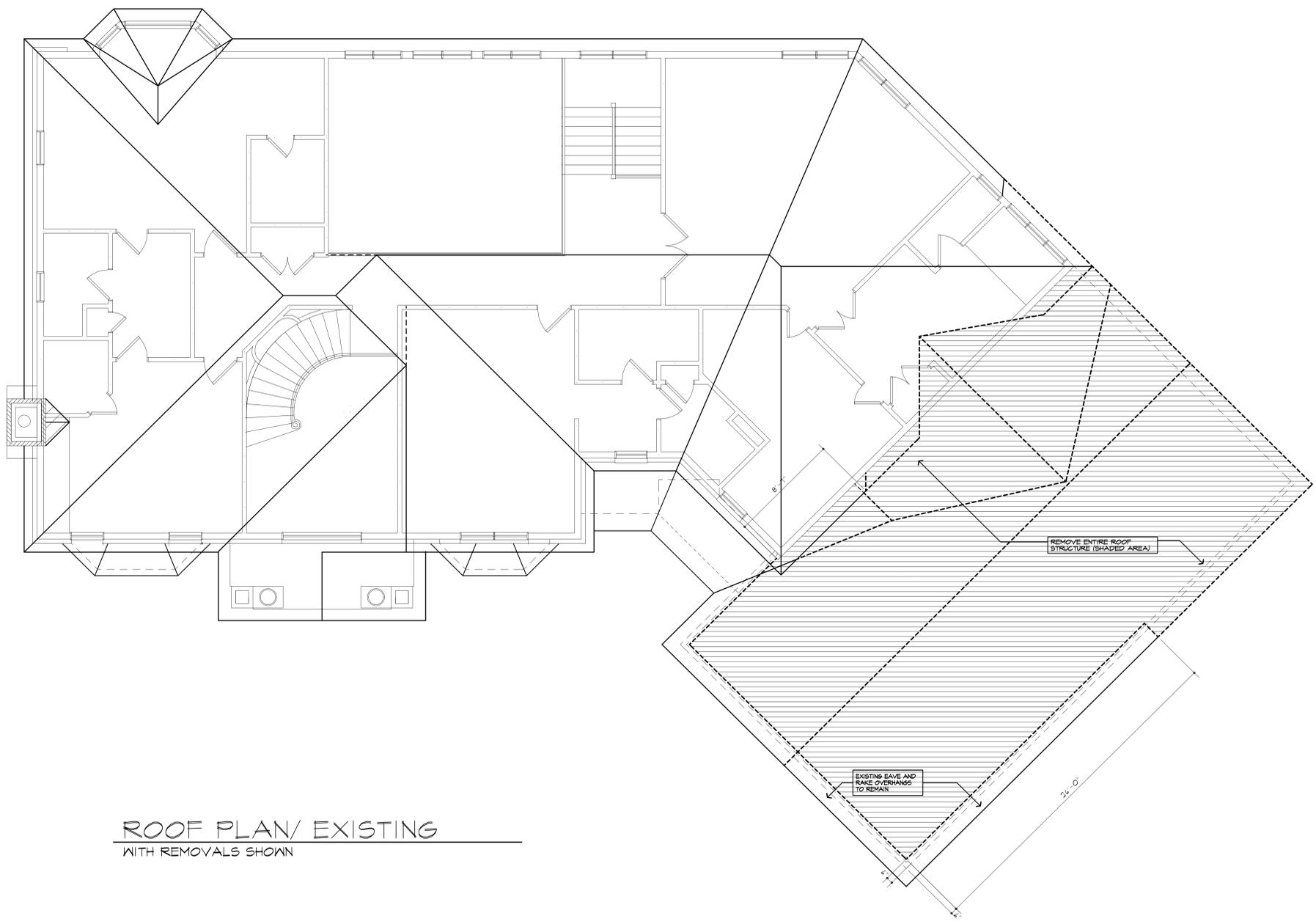
**JOB NO.:** 18M3804

**SHEET:**

**6**  
 OF 17 SHEETS



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ROOF PLAN/ EXISTING  
 WITH REMOVALS SHOWN

**PROJECT:**  
 RENOVATION  
 6 WINDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 WILL AND KRISTIN IRWIN

**DRAWING:**  
 ROOF PLAN - EXISTING  
 WITH REMOVALS SHOWN

<b>DRAWN:</b> PJM/MA	<b>CHECKED:</b> X
-------------------------	----------------------

**DATE:** 12/20/18

**SCALE:** AS NOTED

**JOB NO.:** 18M8804

**SHEET:**

**7**  
 OF 17 SHEETS



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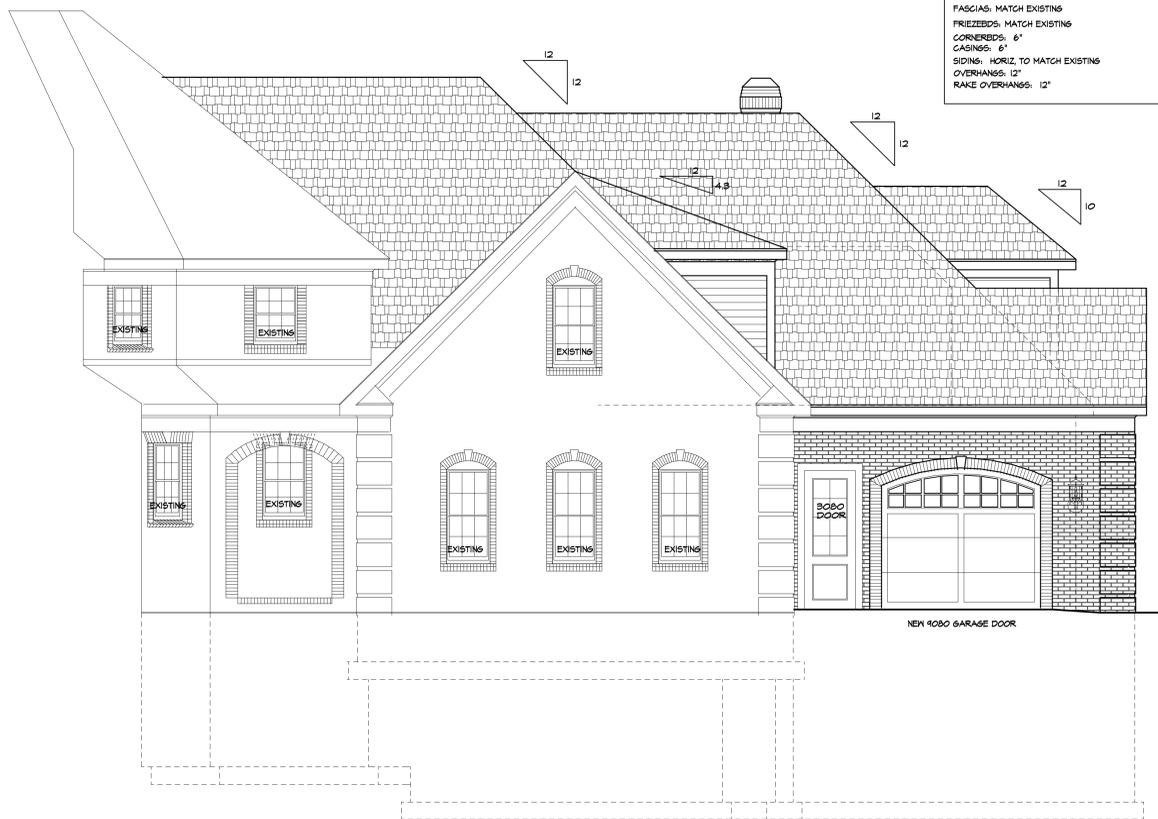
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**FRONT ELEVATION/ PROPOSED**

UNLESS OTHERWISE NOTED

ROOFING: 30 YR. GUARANTEE ASPHALT SHINGLES	MIN. FTS. DEPTH: 4'-0"
ROOF VENTING: CONTINUOUS RIDGE VENT	CLG. HT.: 4'-1 1/8"
FASCIA: MATCH EXISTING	1ST FLOOR: 8'-1 1/8"
FRIEZEBDS: MATCH EXISTING	2ND FLOOR: 8'-1 1/8"
CORNERBDS: 6"	WINDOW R.O. HT.:
CASINGS: 6"	1ST FLOOR: 8'-2 1/2"
SIDING: HORIZ. TO MATCH EXISTING	2ND FLOOR: 6'-10 1/2"
OVERHANGS: 12"	WINDOW MFR: MATCH EXISTING
RAKE OVERHANGS: 12"	(PROVIDE SAFETY GLAZING PER R.308.4)



**PARTIAL FRONT ELEVATION/ PROPOSED**



**RIGHT SIDE ELEVATION/ PROPOSED**

**PROJECT:**  
 RENOVATION  
 6 WINDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 KILL AND KRISTIN IRWIN

**DRAWING:**  
 ELEVATIONS - PROPOSED

**DRAWN:** P.J.MAIA  
**CHECKED:** X

**DATE:** 12/2018

**SCALE:** AS NOTED

**JOB NO.:** 18M8804

**SHEET:**

**8**  
 OF 17 SHEETS



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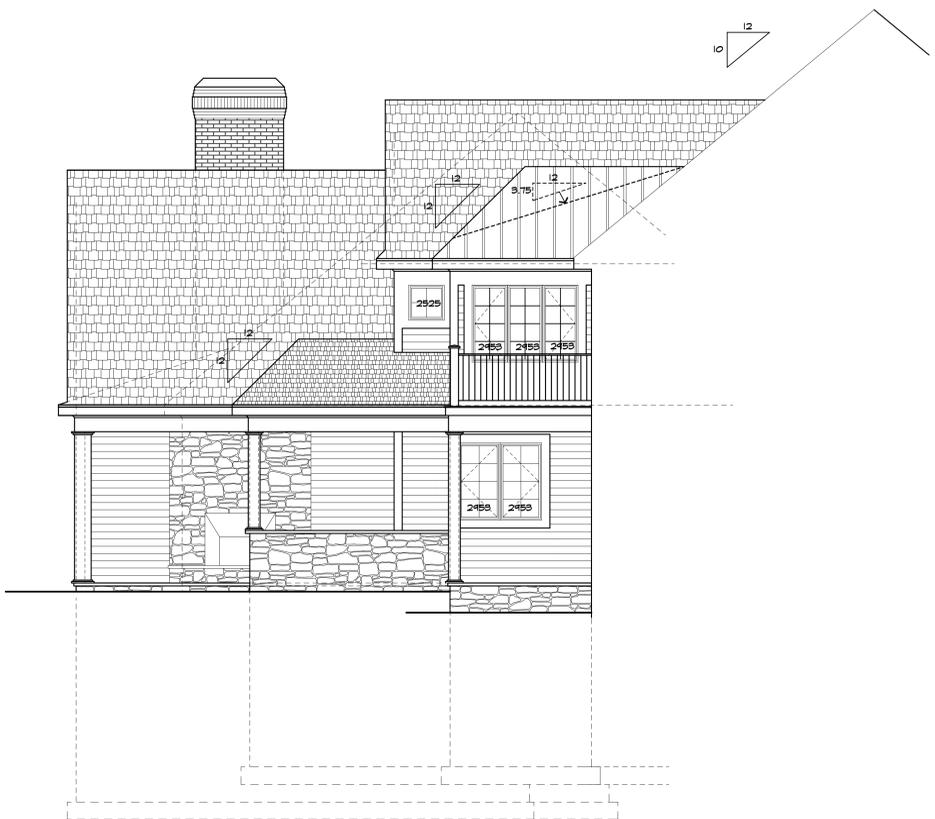


REAR ELEVATION/ PROPOSED

UNLESS OTHERWISE NOTED	
ROOFING: 30 YR GUARANTEE ASPHALT SHINGLES	MIN FTG. DEPTH: 4'-0"
ROOF VENTING: CONTINUOUS RIDGE VENT	CLG HT.:
FASCIAS: MATCH EXISTING	1ST FLOOR: 4'-1 1/2"
FRIEZEBELTS: MATCH EXISTING	2ND FLOOR: 8'-1 1/8"
CORNERBELTS: 6"	WINDOW R.O. HT.:
CASINGS: 6"	1ST FLOOR: 8'-2 1/2"
SIDINGS: HORIZ. TO MATCH EXISTING	2ND FLOOR: 6'-10 1/2"
OVERHANGS: 12"	WINDOW MFR. MATCH EXISTING
RAKE OVERHANGS: 12"	(PROVIDE SAFETY GLAZING PER R308.4)



PARTIAL REAR ELEVATION/ PROPOSED



PARTIAL LEFT SIDE ELEVATION/ PROPOSED

**PROJECT:**  
 RENOVATION  
 6 WINDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 KILL AND KRISTIN IRWIN

**DRAWING:**  
 ELEVATIONS - PROPOSED

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> X
<b>DATE:</b> 12/20/18	
<b>SCALE:</b> AS NOTED	
<b>JOB NO.:</b> 18M3804	
<b>SHEET:</b>	



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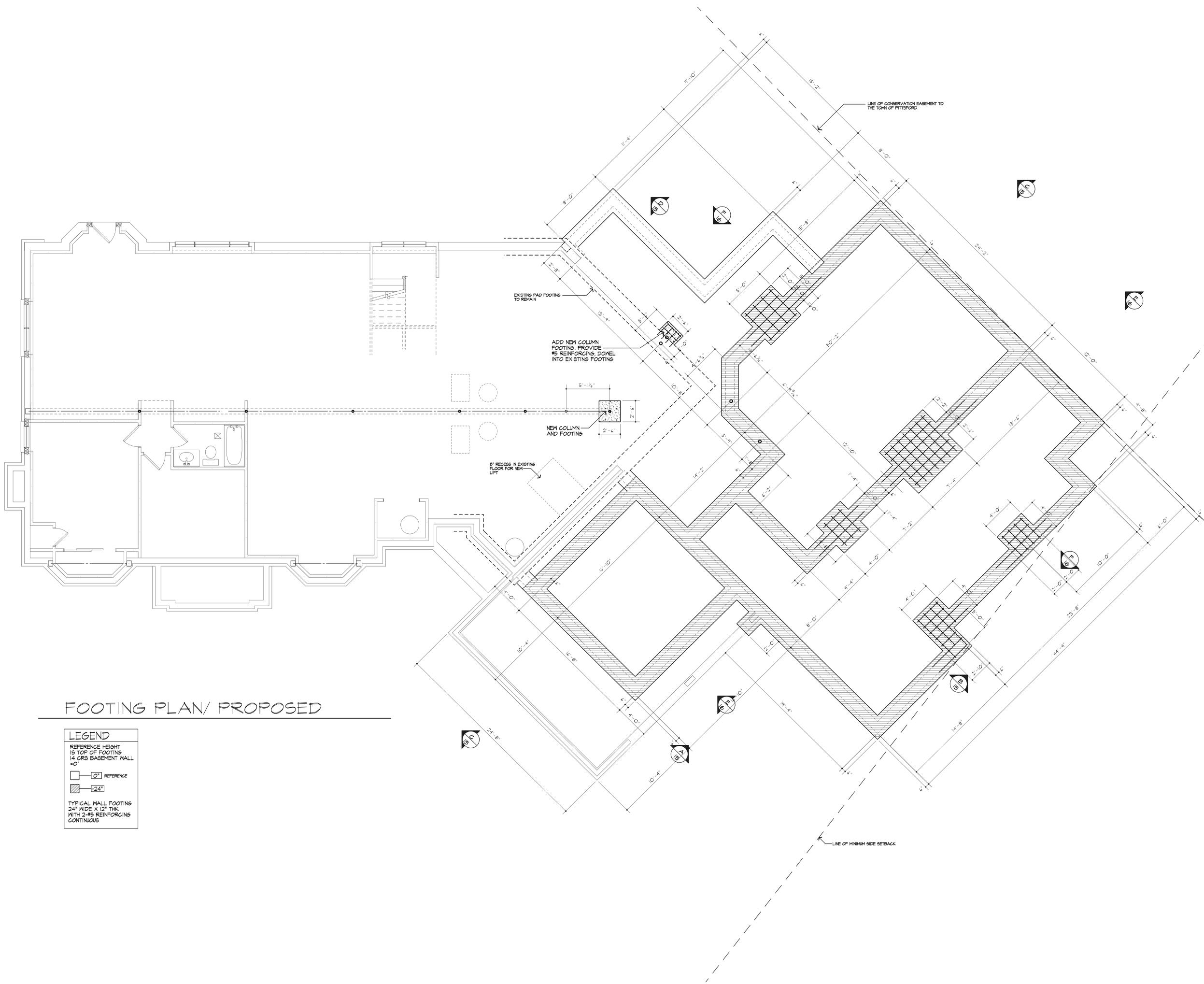
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**FOOTING PLAN/ PROPOSED**

**LEGEND**

REFERENCE HEIGHT IS TOP OF FOOTING  
14 CRS BASEMENT WALL = 0"

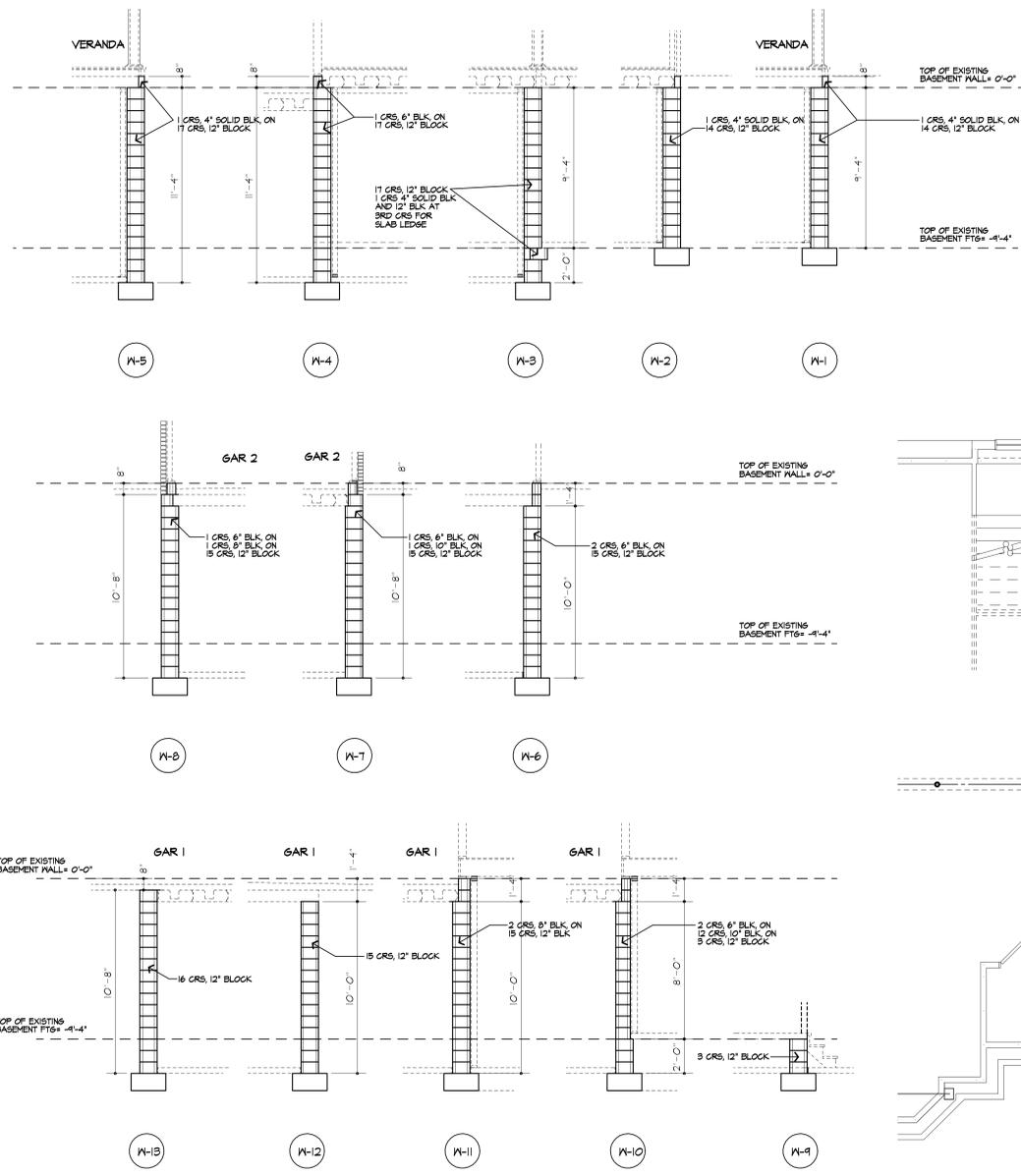
□ — 0" REFERENCE  
▨ — 24"

TYPICAL WALL FOOTING  
24" WIDE X 12" THK  
WITH 2-#5 REINFORCING  
CONTINUOUS

<b>PROJECT:</b> RENOVATION 6 WINDSCAPE PARK PITTSFORD, NY	
<b>CLIENT:</b> MILL AND KRISTIN IRWIN	
<b>DRAWING:</b> PROPOSED FOOTING PLAN	
<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> X
<b>DATE:</b> 12/20/18	
<b>SCALE:</b> AS NOTED	
<b>JOB NO.:</b> 18M3804	
<b>SHEET:</b>	



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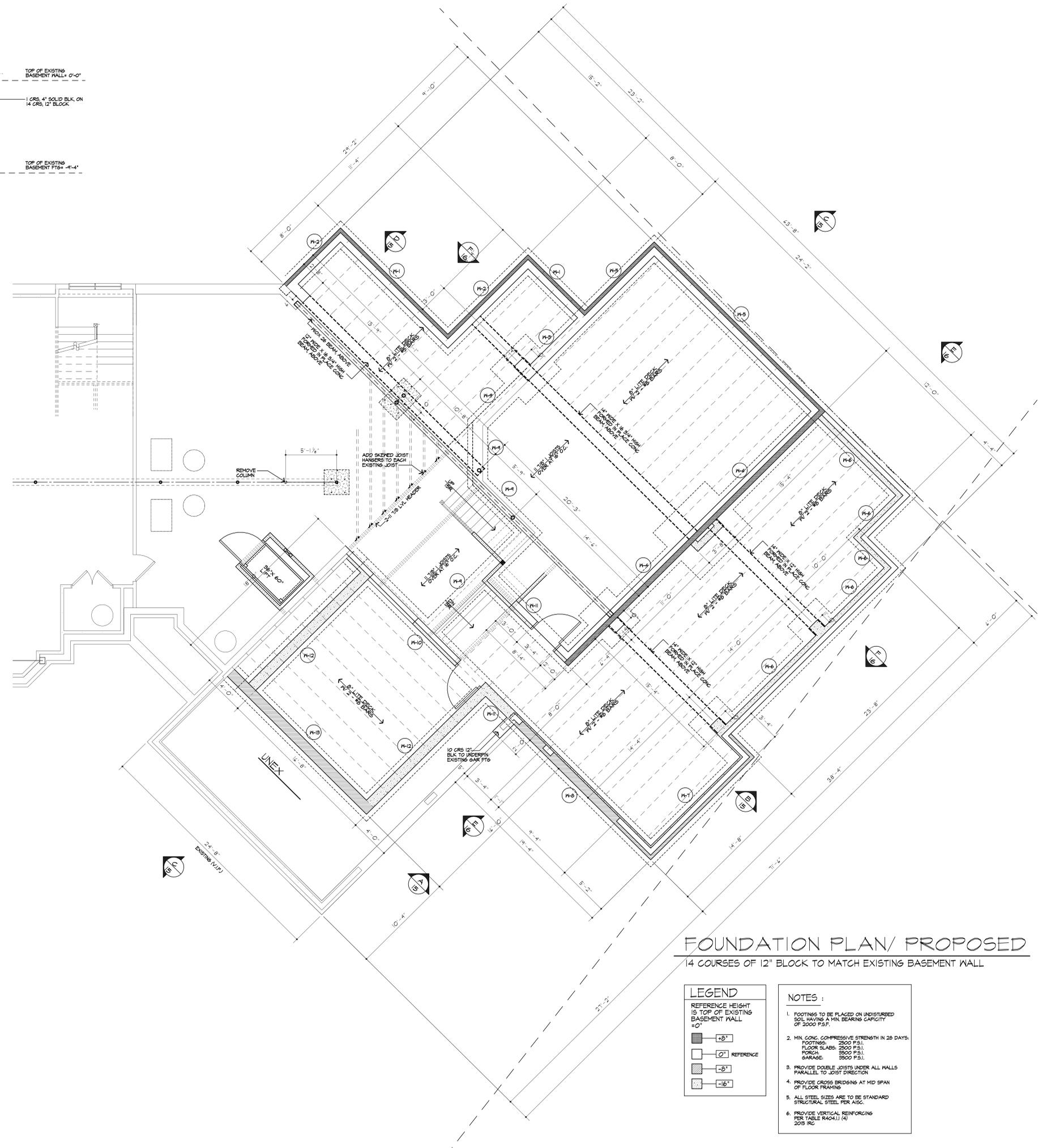


**FOUNDATION WALL TYPES**

TABLE R404.1.(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D = 0.75 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)			
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)	SM, 60, 5M AND SP, 50LS	SM, 60, 5M SC AND ML, 50LS	SC, ML-CL AND INORGANIC CL, 50LS
4'-4"	4'-0" OR LESS	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	5'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	6'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	7'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	8'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
11'-4"	4'-0" OR LESS	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	5'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	6'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	7'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.
	8'-0"	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.	84 AT 12" O.C.

FOR 5/8" INCH = 25.4 MM | FOOT = 304.8 MM | POUND PER SQUARE FOOT PER FOOT = 0.87 KPA/MM.  
 A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.  
 B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.  
 C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 0.75 INCHES.  
 D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.  
 E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.



**FOUNDATION PLAN/ PROPOSED**  
 4 COURSES OF 12" BLOCK TO MATCH EXISTING BASEMENT WALL

**LEGEND**

REFERENCE HEIGHT IS TOP OF EXISTING BASEMENT WALL = 0'

+	+8'
0	0' REFERENCE
-	-8'
-	-16'

- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
  - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:  
 FOOTINGS: 2500 P.S.I.  
 FLOOR SLABS: 2500 P.S.I.  
 PORCH: 3500 P.S.I.  
 GARAGE: 3500 P.S.I.
  - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
  - PROVIDE GROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
  - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
  - PROVIDE VERTICAL REINFORCING PER TABLE R404.1 (4) 2018 IRC.

**PROJECT:**  
 RENOVATION & LANDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 ILL AND KRISTIN IRWIN

**DRAWING:**  
 PROPOSED FOUNDATION PLAN

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> X
<b>DATE:</b> 12/2018	<b>SCALE:</b> AS NOTED
<b>JOB NO.:</b> 18M5804	<b>SHEET:</b> 11 OF 17 SHEETS

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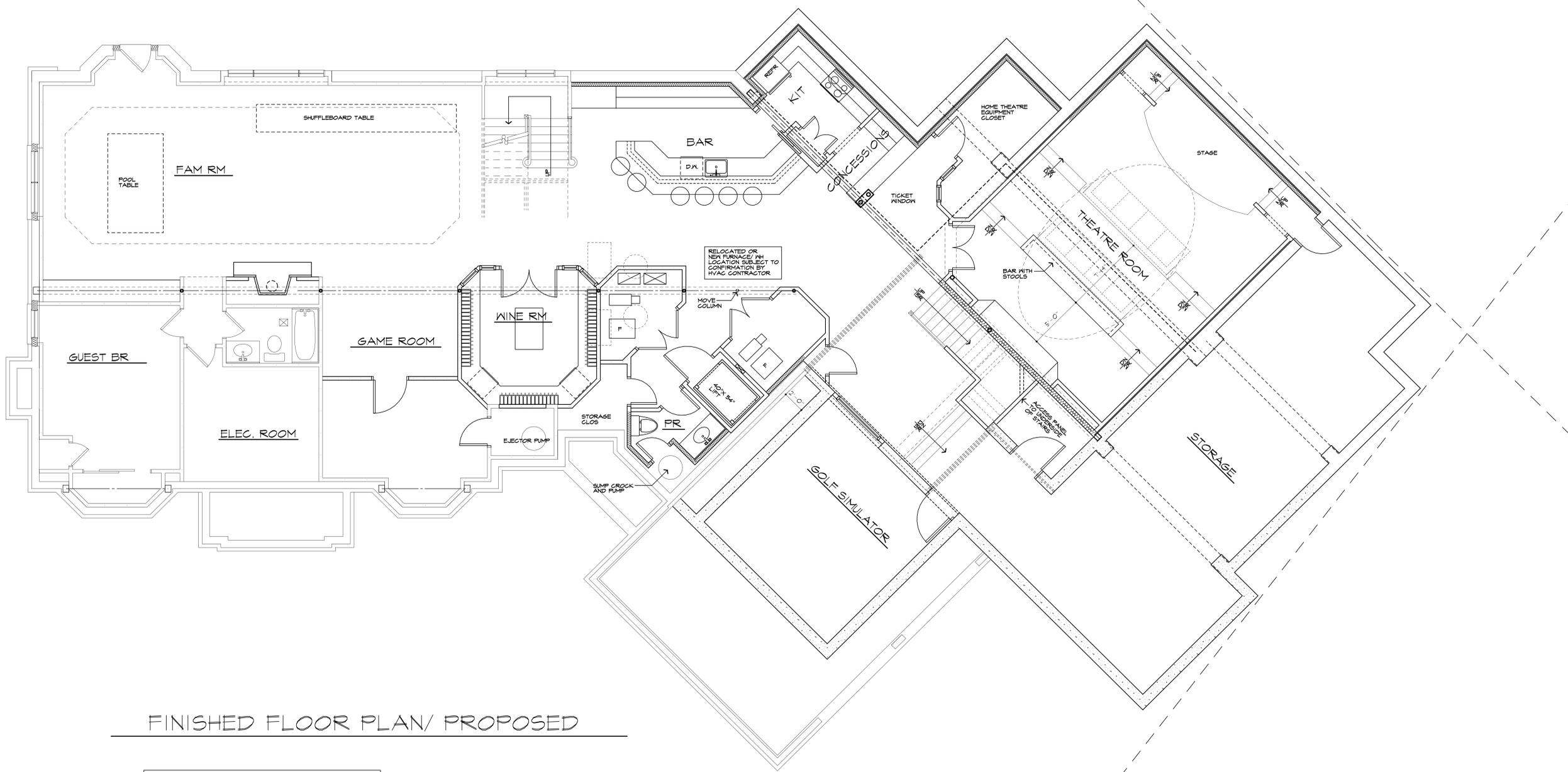
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**FINISHED FLOOR PLAN/ PROPOSED**

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

RB18-1.1 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM; 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS; 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

RB18-4.2 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM; 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**PROJECT:**  
 RENOVATION  
 6 WINDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 WILL AND KRISTIN IRWIN

**DRAWING:**  
 BASEMENT / FOUNDATION PLAN  
 PROPOSED

<b>DRAWN:</b>	<b>CHECKED:</b>
PJMAIA	X

**DATE:** 12/20/18

**SCALE:** AS NOTED

**JOB NO.:** 18M3804

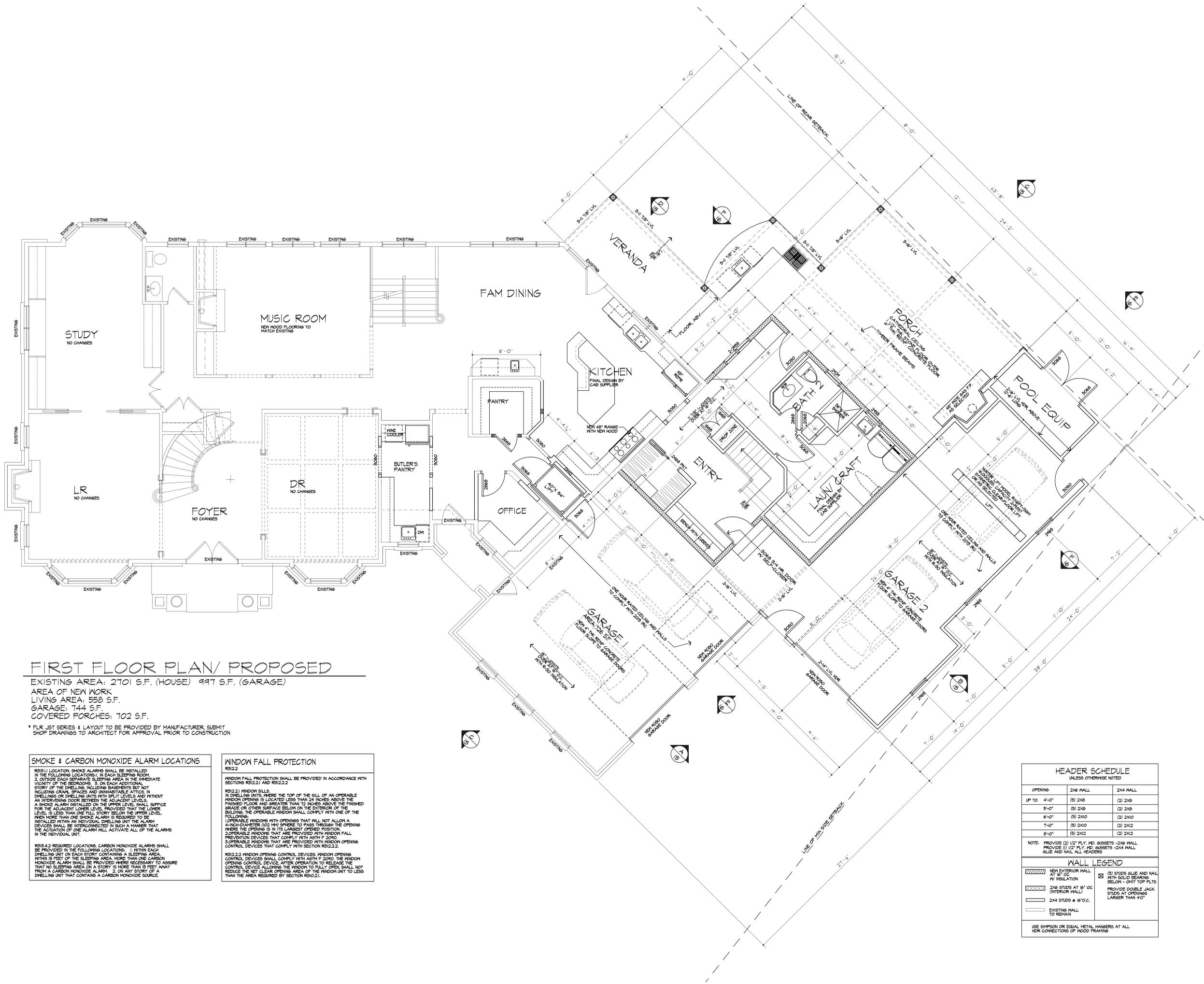
**SHEET:**

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**FIRST FLOOR PLAN/ PROPOSED**

EXISTING AREA: 2701 S.F. (HOUSE) 997 S.F. (GARAGE)  
 AREA OF NEW WORK:  
 LIVING AREA: 558 S.F.  
 GARAGE: 744 S.F.  
 COVERED PORCHES: 702 S.F.

\* FLR 1ST SERIES & LAYOUT TO BE PROVIDED BY MANUFACTURER, SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

RS18.1.1 LOCATION: SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

RS18.4.2 REQUIRED LOCATIONS: CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA, MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**WINDOW FALL PROTECTION**

RS12.2 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS RS12.2.1 AND RS12.2.2

RS12.2.1 WINDOW SILLS IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION. 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090. 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION RS12.2.2.

RS12.2.2 WINDOW OPENING CONTROL DEVICES: WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE AFTER OPERATION TO RELEASE THE WINDOW SHALL BE INTERCONNECTED TO THE WINDOW OPENING CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION RS12.2.1.

**HEADER SCHEDULE**  
 UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" FLY, W.D. GUSSETS - 2X6 WALL  
 PROVIDE (1) 1/2" FLY, W.D. GUSSETS - 2X4 WALL  
 GLUE AND NAIL ALL HEADERS

**WALL LEGEND**

	NEW EXTERIOR WALL AT 16" OC WITH SOLID BEARINGS BELOW + 0"11" TOP FLTS
	2X6 STUDS AT 16" OC (INTERIOR WALL)
	2X4 STUDS @ 16" O.C.
	EXISTING WALL TO REMAIN
	(3) STUDS GLUE AND NAIL WITH SOLID BEARINGS BELOW + 0"11" TOP FLTS
	PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'0"

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HER CONNECTIONS OF WOOD FRAMING

**PROJECT:**  
 RENOVATION  
 & LANDSCAPE PARK  
 PITTSFORD, NY

**CLIENT:**  
 MILL AND KRISTIN IRWIN

**DRAWING:**  
 1ST FLOOR PLAN  
 PROPOSED

**DRAWN:** P.J.MAIA  
**CHECKED:** X

**DATE:** 12/20/18

**SCALE:** AS NOTED

**JOB NO.:** 18M5804

**SHEET:**

**12**  
 OF 17 SHEETS



**NOTICE:**

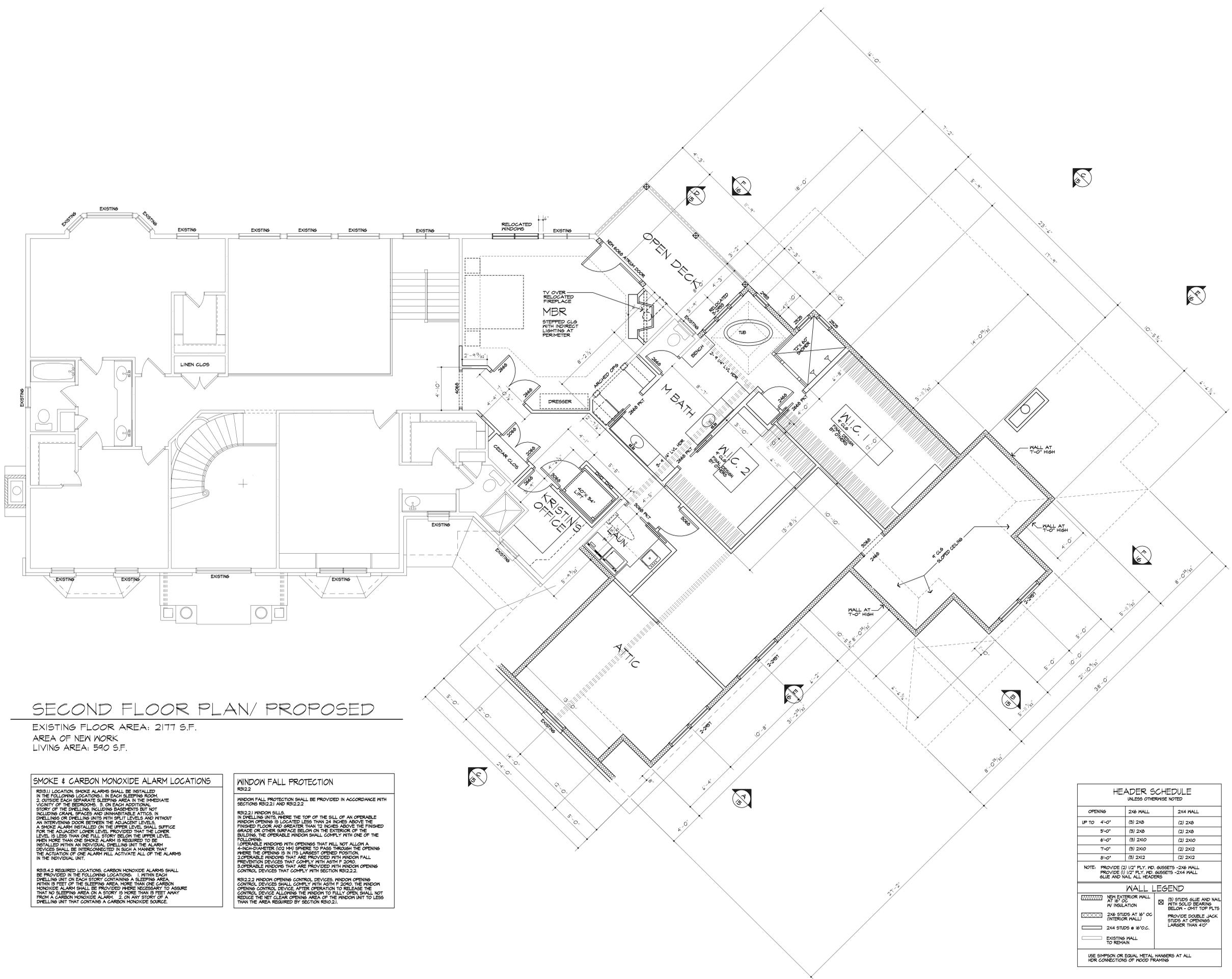
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**SECOND FLOOR PLAN/ PROPOSED**

EXISTING FLOOR AREA: 2177 S.F.  
AREA OF NEW WORK  
LIVING AREA: 590 S.F.

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

**RS13.1.1** LOCATION: SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

**RS13.1.2** REQUIRED LOCATIONS: CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**WINDOW FALL PROTECTION**

**RS12.2** WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS RS12.2.1 AND RS12.2.2

**RS12.2.1** WINDOW SILLS: IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION RS12.2.2.

**RS12.2.2** WINDOW OPENING CONTROL DEVICES: WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION RS10.2.1.

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" FLY. WD. GUSSETS - 2X6 WALL  
PROVIDE (1) 1/2" FLY. WD. GUSSETS - 2X4 WALL  
GLUE AND NAIL ALL HEADERS

**WALL LEGEND**

	NEW EXTERIOR WALL AT 16" OC WITH R-15 INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARINGS BELOW + 0" TO TOP FLTS
	2X6 STUDS AT 16" OC (INTERIOR WALL)		PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'-0"
	2X4 STUDS @ 16" O.C.		
	EXISTING WALL TO REMAIN		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HER CONNECTIONS OF WOOD FRAMING

**PROJECT:**  
RENOVATION  
6 WINDSCAPE PARK  
PITTSFORD, NY

**CLIENT:**  
MILL AND KRISTIN IRWIN

**DRAWING:**  
2ND FLOOR PLAN  
PROPOSED

**DRAWN:**  
P.J.MAIA

**CHECKED:**  
X

**DATE:** 12/20/18

**SCALE:** AS NOTED

**JOB NO.:** 18M5804

**SHEET:**

**13**  
OF 17 SHEETS



**NOTICE:**

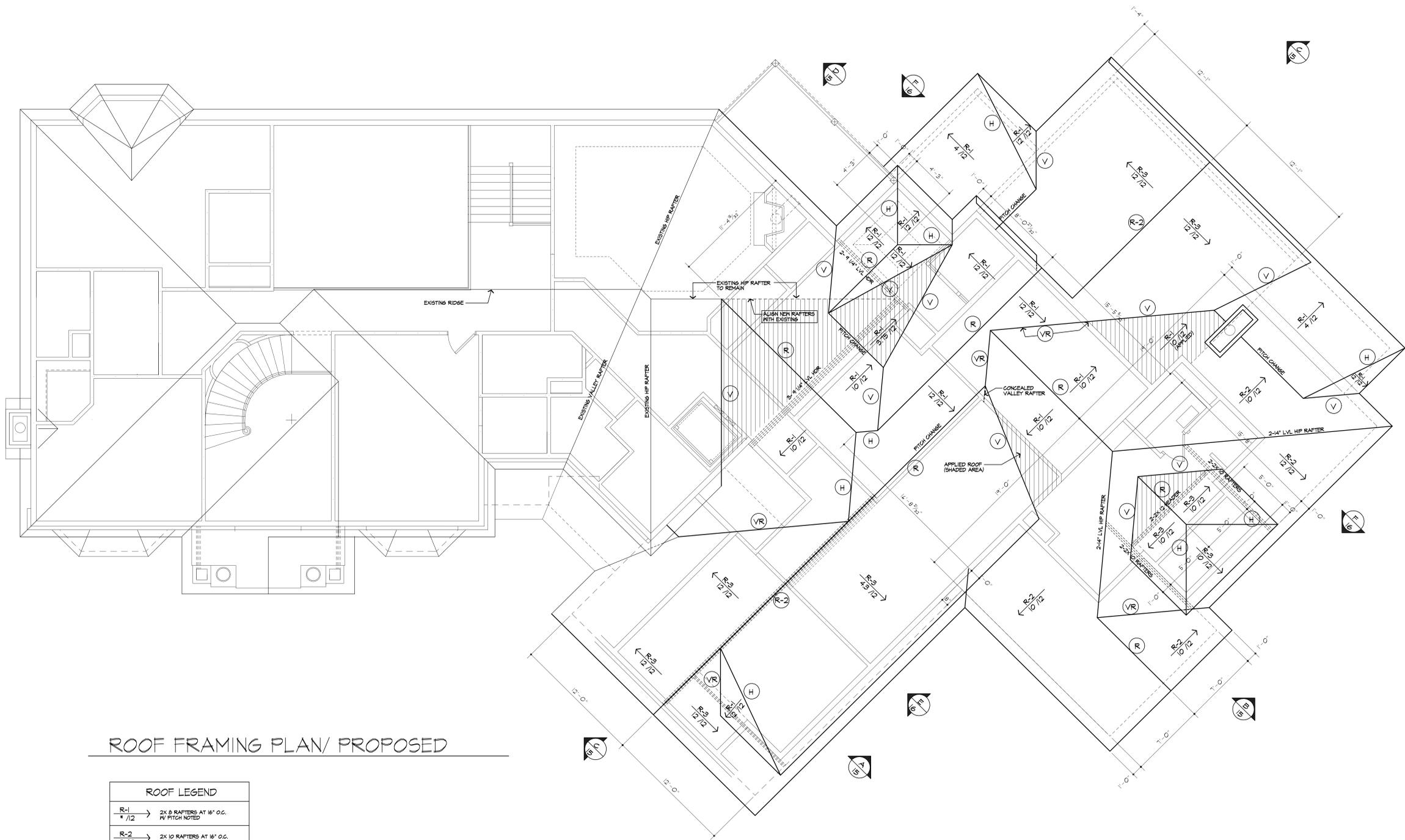
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**ROOF FRAMING PLAN/ PROPOSED**

ROOF LEGEND	
R-1 ↔	2x 8 RAFTERS AT 16" O.C. 4/12 PITCH NOTED
R-2 ↔	2x 10 RAFTERS AT 16" O.C. 4/12 PITCH NOTED
R-3 ↔	2x 12 RAFTERS AT 16" O.C. 4/12 PITCH NOTED
(R)	2x12 RIDGE BOARD
(H)	2x12 HIP RAFTER
(VR)	2x12 VALLEY RAFTER
(R-2)	3-16" LVL RIDGE BEAM
(V)	APPLIED VALLEY - SEE DETAIL XX

\*NOTE:  
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R105.2.11 (2015 IRC)

**PROJECT:**  
RENOVATION & LANDSCAPE PARK  
PITTSFORD, NY

**CLIENT:**  
MILL AND KRISTIN IRWIN

**DRAWING:**  
ROOF PLAN - PROPOSED

<b>DRAWN:</b> P.J.MAIA	<b>CHECKED:</b> X
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**DATE:** 12/20/18

**SCALE:** AS NOTED

**JOB NO.:** 18M8804

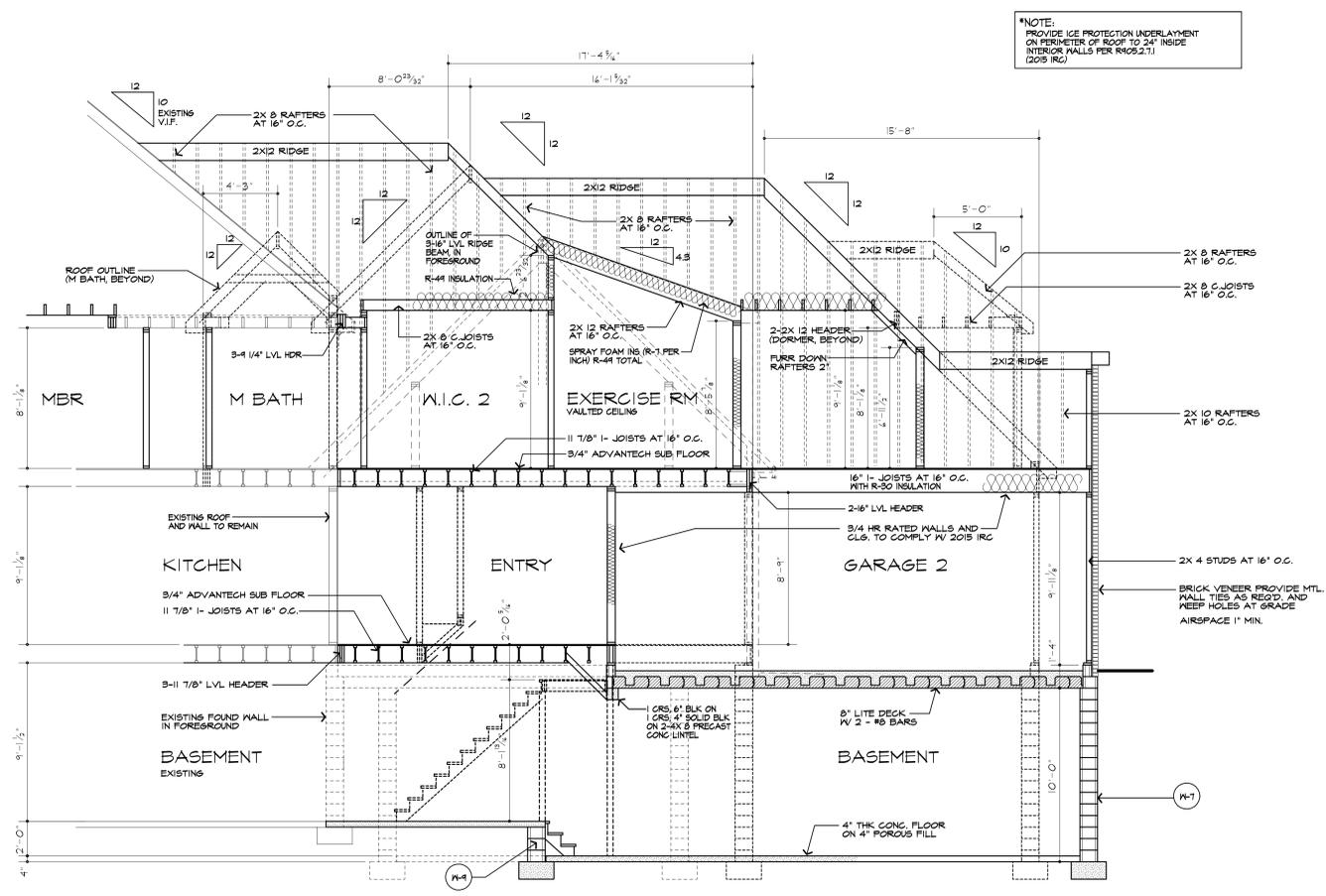
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OF 17 SHEETS

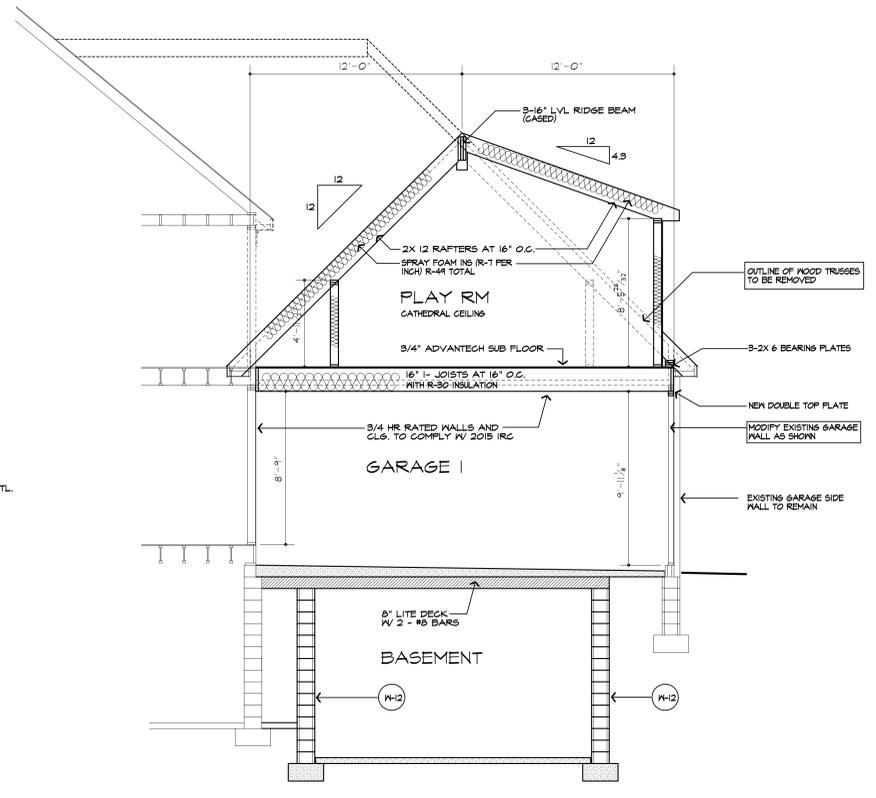


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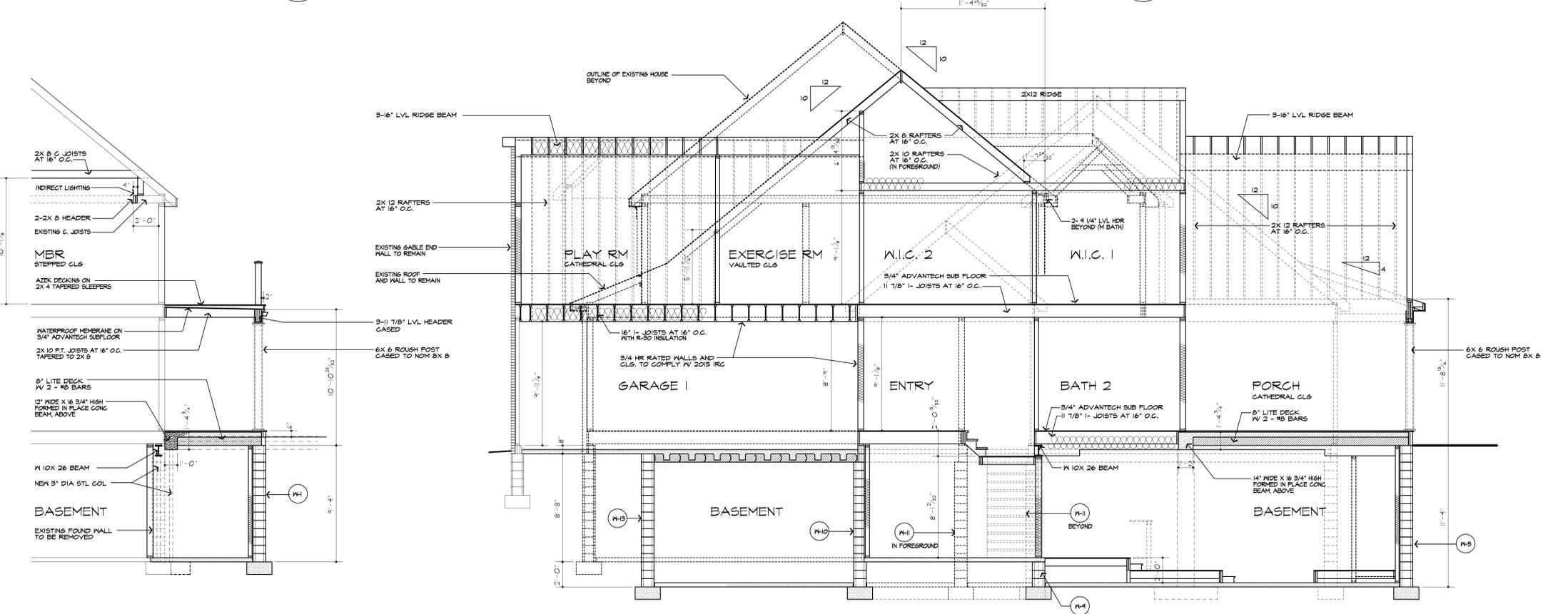
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**B**  
15 BUILDING SECTION



**A**  
15 BUILDING SECTION



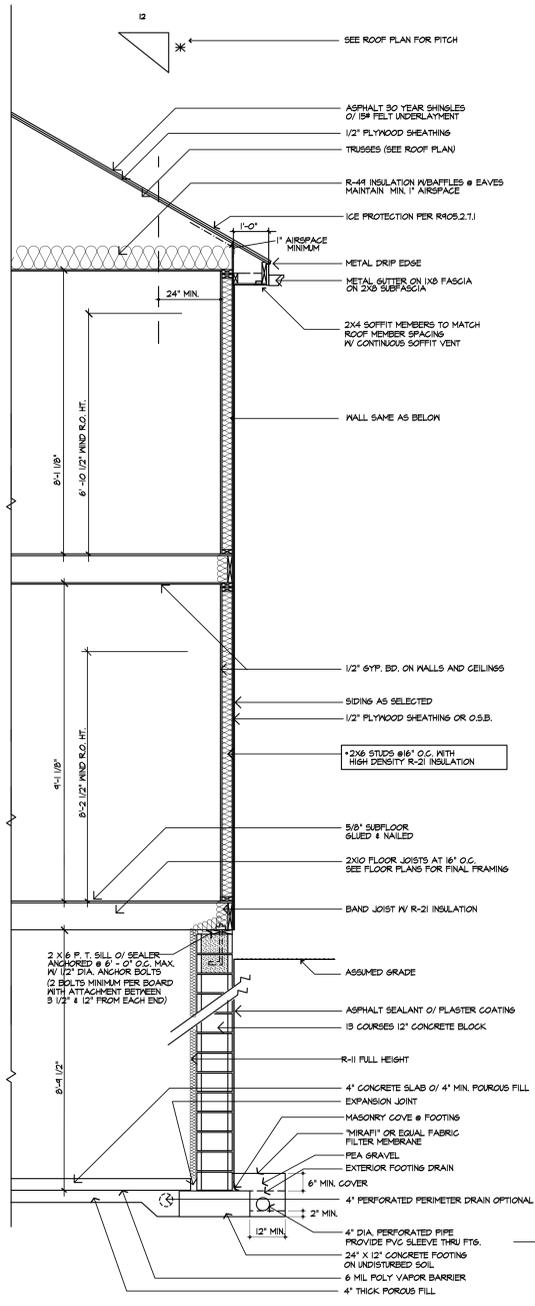
**C**  
15 BUILDING SECTION

**D**  
15 BUILDING SECTION

<b>PROJECT:</b> RENOVATION & LANDSCAPE PARK PITTSFORD, NY	
<b>CLIENT:</b> MILL AND KRISTIN IRWIN	
<b>DRAWING:</b> BUILDING SECTIONS	
<b>DRAWN:</b> PJM/MA	<b>CHECKED:</b> X
<b>DATE:</b> 12/2018	
<b>SCALE:</b> AS NOTED	
<b>JOB NO.:</b> 18M3804	
<b>SHEET:</b>	







**TYPICAL WALL SECTION**

SCALE: 1/2" = 1'-0"

**TYPICAL NOTES**

- 1) DOOR MANUFACTURER: PELLA OR EQUAL
- 2) WINDOW AND DOOR AIR INFILTRATION PELLA WINDOWS OR EQUAL DOUBLE HING 0.20 CFM CASEMENT; ANNING FIXED 0.09 CFM SLIDING 0.10 CFM IN-SWING HINGED 0.15 CFM
- 3) GAS FIREPLACES: HEAT-N-SHIELD 6000G DIRECT VENT \*TIGHT FITTING NON COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
- 4) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
- 5) CLASS II VAPOR RETARDER ON INTERIOR OF CEILING AND 2x6 FRAMED WALLS. KRAFT BATT
- 6) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 50F SHALL BE INSULATED TO A MINIMUM OF R-3
- 7) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- 8) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
- 9) THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT THICKNESS SHALL BE VERIFIED PER SECTION 409.2.2 OF THE 2010 ENERGY CONSERVATION CODE.
- 10) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- 11) THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

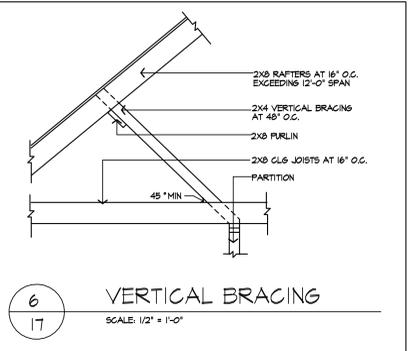
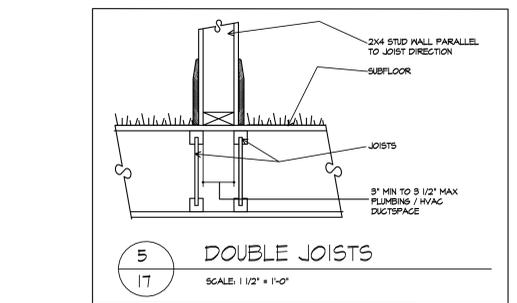
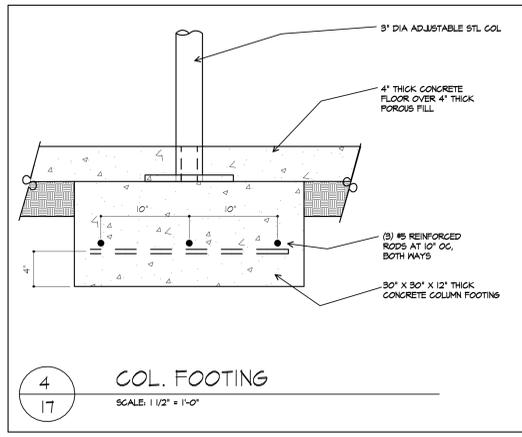
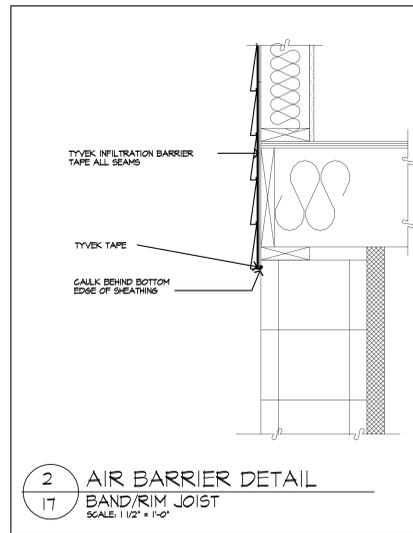
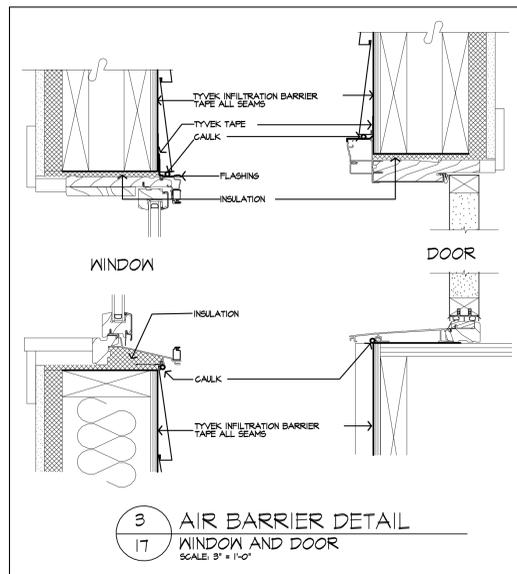
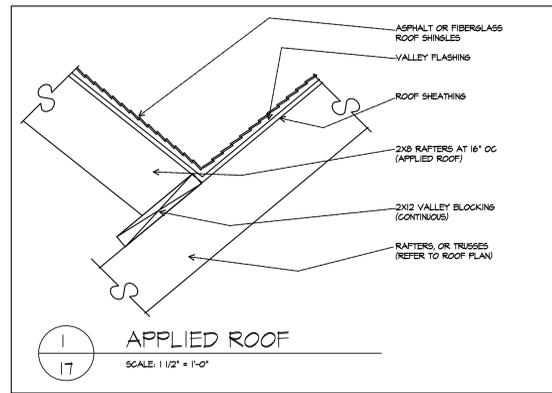


TABLE N102.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	CRITERIA
GENERAL	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED ON THE BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER ARE SEALED. AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY SEAMS ARE SEALED.
WALLS	CORNERS AND HEADERS ARE INSULATED (R-3 PER INCH MIN) JOINTION OF FOUNDATION AND SILL PLATE IS SEALED.
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMBES AND FRAMING IS SEALED.
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER.
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
CRAWL-SPACE WALLS	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAP.
SHAFTS PENETRATIONS	DUCT SHAFTS UTILITY PENETRATIONS KNEE WALLS AND ELBE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE ARE SEALED.
NARROW CAVITIES	BATTES IN NARROW CAVITIES ARE CUT TO FIT OR BATTES IN CAVITIES ARE FILLED BY SPRAID/BLOWN INSULATION.
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IS RATED, AND SEALED TO ORIGINAL. EXCEPTION FIXTURES IN CONDITIONED SPACE.
PLUMBING AND PIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES BATT INSULATION IS CUT TO FIT AROUND PIRING AND BEHIND PIRING AND PIRING.
SHOWER OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL.
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-THE BOXES ARE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DIRTWALL.
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER.

**LIGHTING FIXTURE CONTROL NARRATIVE**

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTERNAL SWITCH. AT LEAST ONE POINT OF ENTRY SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

**LIGHTING FIXTURE SCHEDULE**

OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE  
 BASEMENT MINIMUM (5) 60 WATT FIXTURES  
 STAIRWAYS MINIMUM (1) 60 WATT FIXTURE  
 HALLWAYS MINIMUM (1) 120 WATT FIXTURE  
 GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE  
 LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE  
 WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE  
 BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE  
 POWDER ROOM MINIMUM (1) 120 WATT FIXTURE  
 DINETTE MINIMUM (1) 120 WATT FIXTURE  
 KITCHEN MINIMUM (1) 120 WATT FIXTURE  
 DINING ROOM MINIMUM (1) 120 WATT FIXTURE  
 ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE  
 ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE  
 ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE  
 GARAGE MINIMUM (2) 60 WATT FIXTURES

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**

RB19.1.1 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.  
 RB19.4.2 REQUIRED LOCATIONS, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA. WITHIN 5 FEET OF THE SLEEPING AREA, MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 5 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.



**121 Sully's Trail**  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.pjmarchitect.com

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PROJECT: RENOVATION & LANDSCAPE PARK PITTSFORD, NY

CLIENT: ILL AND KRISTIN IRWIN

DRAWING: WALL SECTIONS

DRAWN: P.J.MAIA CHECKED: X

DATE: 12/20/18

SCALE: AS NOTED

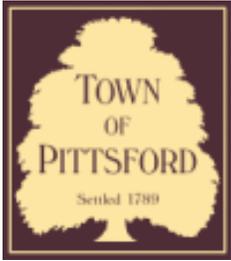
JOB NO.: 18M5804

SHEET:









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000106**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** Clover Street ROCHESTER, NY 14618

**Tax ID Number:** 150.11-2-22

**Zoning District:** RN Residential Neighborhood

**Owner:** ROC Enterprises, LLC

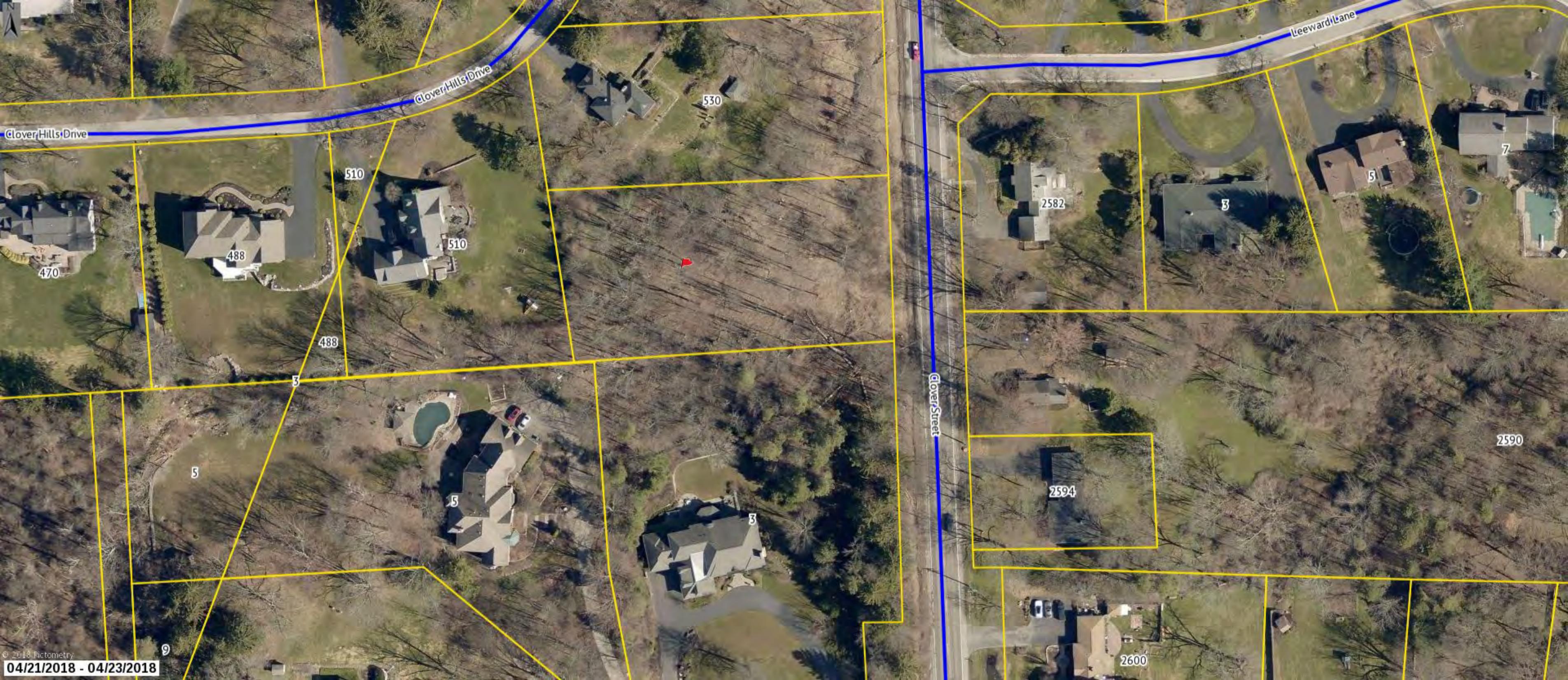
**Applicant:** James Fahy Design Associates Architecture & Engineering P.C.

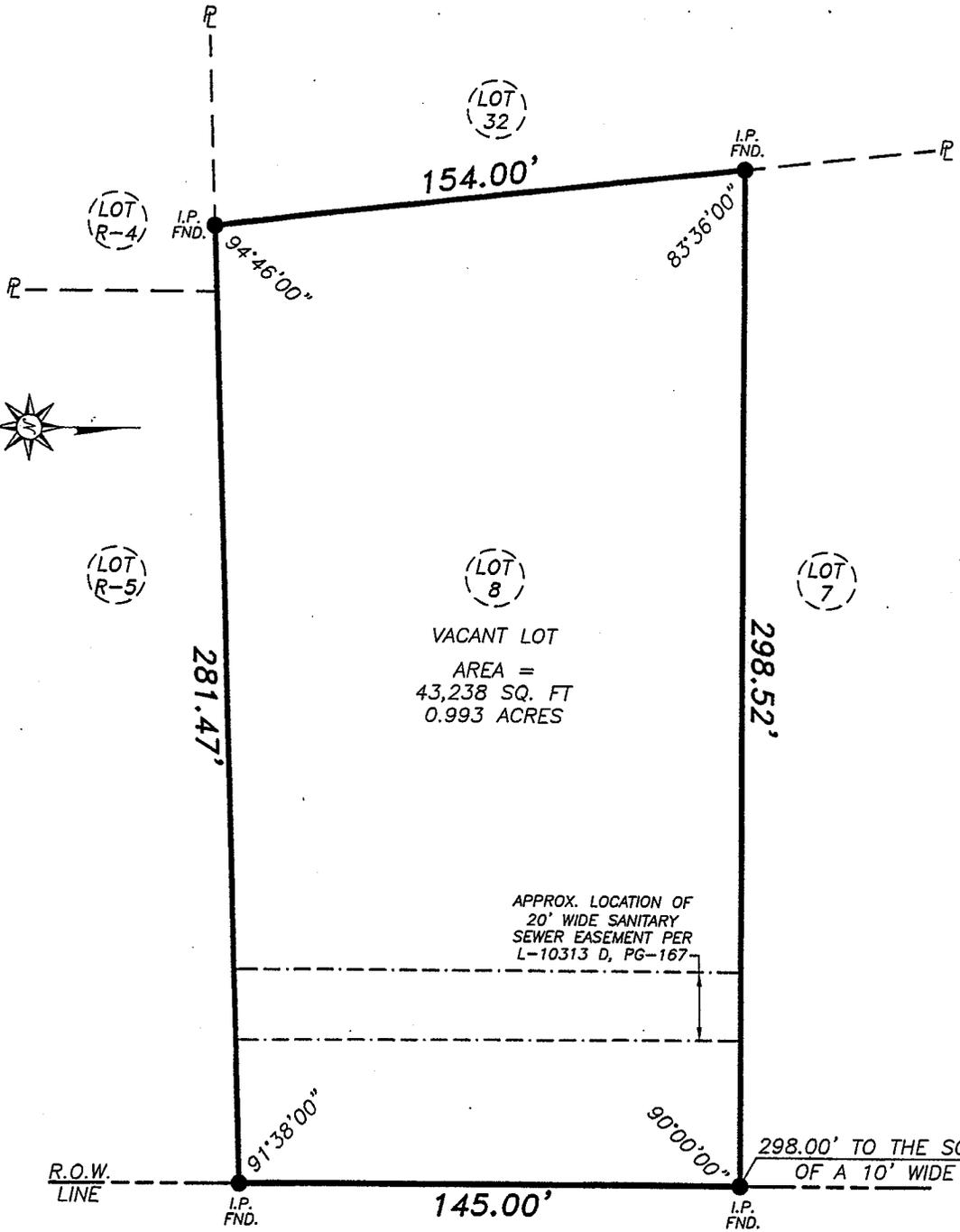
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 6800 Sq. Ft. and will be located on an empty lot on Clover Street. The applicant was approved for a height variance by the Zoning Board on September 16, 2019.

**Meeting Date:** September 26, 2019





(LOT 32)

(LOT R-4)

(LOT R-5)

(LOT 8)

(LOT 7)

VACANT LOT  
AREA =  
43,238 SQ. FT  
0.993 ACRES

APPROX. LOCATION OF  
20' WIDE SANITARY  
SEWER EASEMENT PER  
L-10313 D, PG-167

R.O.W.  
LINE

I.P.  
FND.

I.P.  
FND.

(66' WIDE R.O.W.)  
(A.K.A. NYS ROUTE 65)  
**CLOVER STREET**

**CERTIFICATION:**

I, DAVID A. STAUB, HEREBY CERTIFY TO:

- MUHAMMAD KHAN
- MIGUEL A. REYES, ESQ.
- THE TITLE INSURANCE COMPANY INSURING THE TITLE

**REFERENCES:**

- 1.) LIBER 33 OF MAPS, PAGE 31.
- 2.) LIBER 11327 OF DEEDS, PAGE 309.
- 3.) ABSTRACT OF TITLE No. 409762 (FIRST AMERICAN).
- 4.) EASEMENT TO DESPATCH HEAT, LIGHT & POWER CORP., N.Y. TELE. CO. & R.T.C. PER LIBER 958 OF DEEDS, PAGE 69.

NOTES: 1.) PREMISES SUBJECT TO ALL EASEMENTS, RESTRICTIONS & COVENANTS OF RECORD NOT REFERENCED IN ABSTRACT OF TITLE.

2.) THE USE OF THIS MAP IN CONJUNCTION WITH AN AFFIDAVIT OF NO CHANGES RELEASES THE SURVEYOR OF ALL RESPONSIBILITY

THAT THIS MAP WAS MADE MAY 25, 2017  
FROM NOTES OF AN INSTRUMENT SURVEY  
COMPLETED MAY 24, 2017  
AND REFERENCES LISTED HEREON.



N.Y. E.P.L.S. No. 50791 DATE

**INSTRUMENT SURVEY MAP**

**CLOVER STREET**

BEING LOT No 8 OF THE CLOVER HILLS TRACT



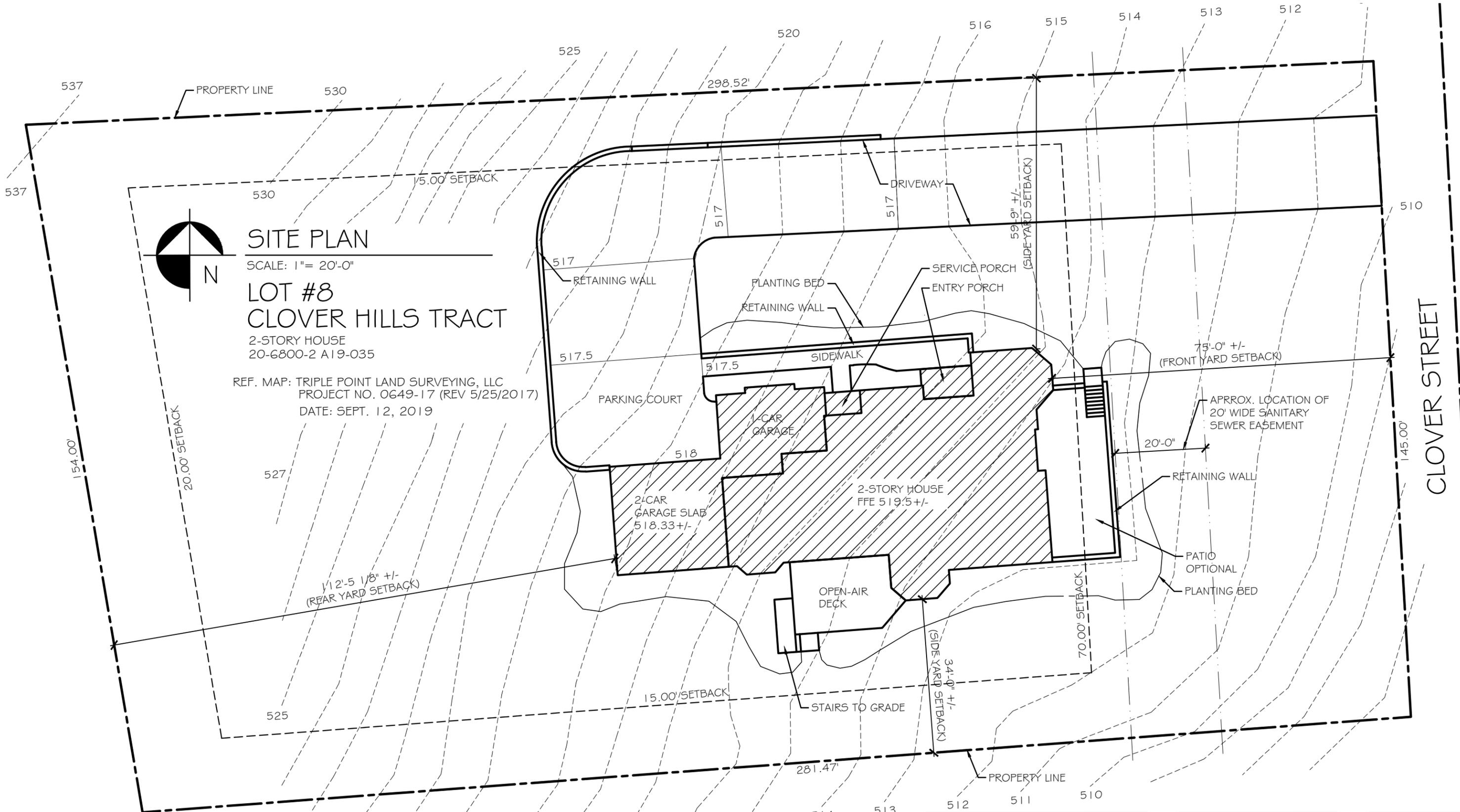
# SITE PLAN

SCALE: 1" = 20'-0"

## LOT #8 CLOVER HILLS TRACT

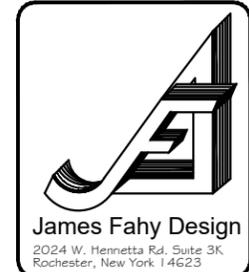
2-STORY HOUSE  
20-G800-2 A19-035

REF. MAP: TRIPLE POINT LAND SURVEYING, LLC  
PROJECT NO. OG49-17 (REV 5/25/2017)  
DATE: SEPT. 12, 2019



PROJECT: KHAN RESIDENCE LOT #8, CLOVER HILLS TRACT PITTSFORD, NEW YORK
CLIENT: AKHTIAZ KHAN
DRAWING TITLE: PLOT PLAN

JOB NO. A19-035	PROJECT NO. 20-G800-2
DRAWN BY: CME	C1.0
CHECKED BY: JRF	
DATE: 9-12-2019	





**Khan Residence**  
Lot 8, Clover Hills Tract  
Pittsford, NY

## Landscaping Screening Plan



**James Fahy Design Associates**  
Architecture & Engineering P.C.  
Rochester, NY



Max. Ridge Height

35'-2"

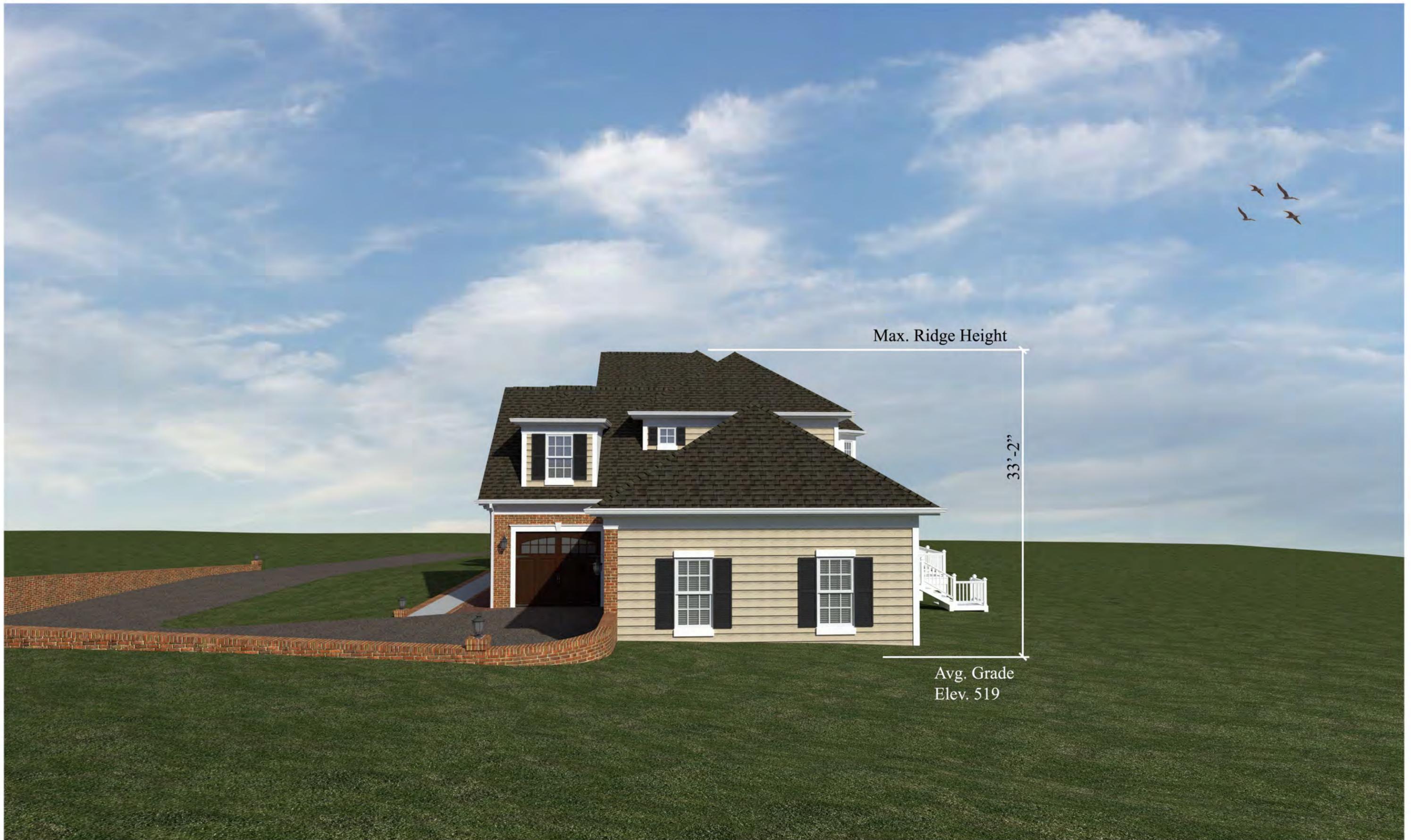
Avg. Grade  
Elev. 517

**Khan Residence**  
Lot 8, Clover Hills Tract  
Pittsford, NY

**North Elevation**



**James Fahy Design Associates**  
Architecture & Engineering P.C.  
Rochester, NY



**Khan Residence**  
Lot 8, Clover Hills Tract  
Pittsford, NY

**West Elevation**



**James Fahy Design Associates**  
Architecture & Engineering P.C.  
Rochester, NY



Max. Ridge Height

36'-2"

Avg. Grade  
Elev. 516

**Khan Residence**  
Lot 8, Clover Hills Tract  
Pittsford, NY

**South Elevation**



**James Fahy Design Associates**  
Architecture & Engineering P.C.  
Rochester, NY



Max. Ridge Height

39'-2"

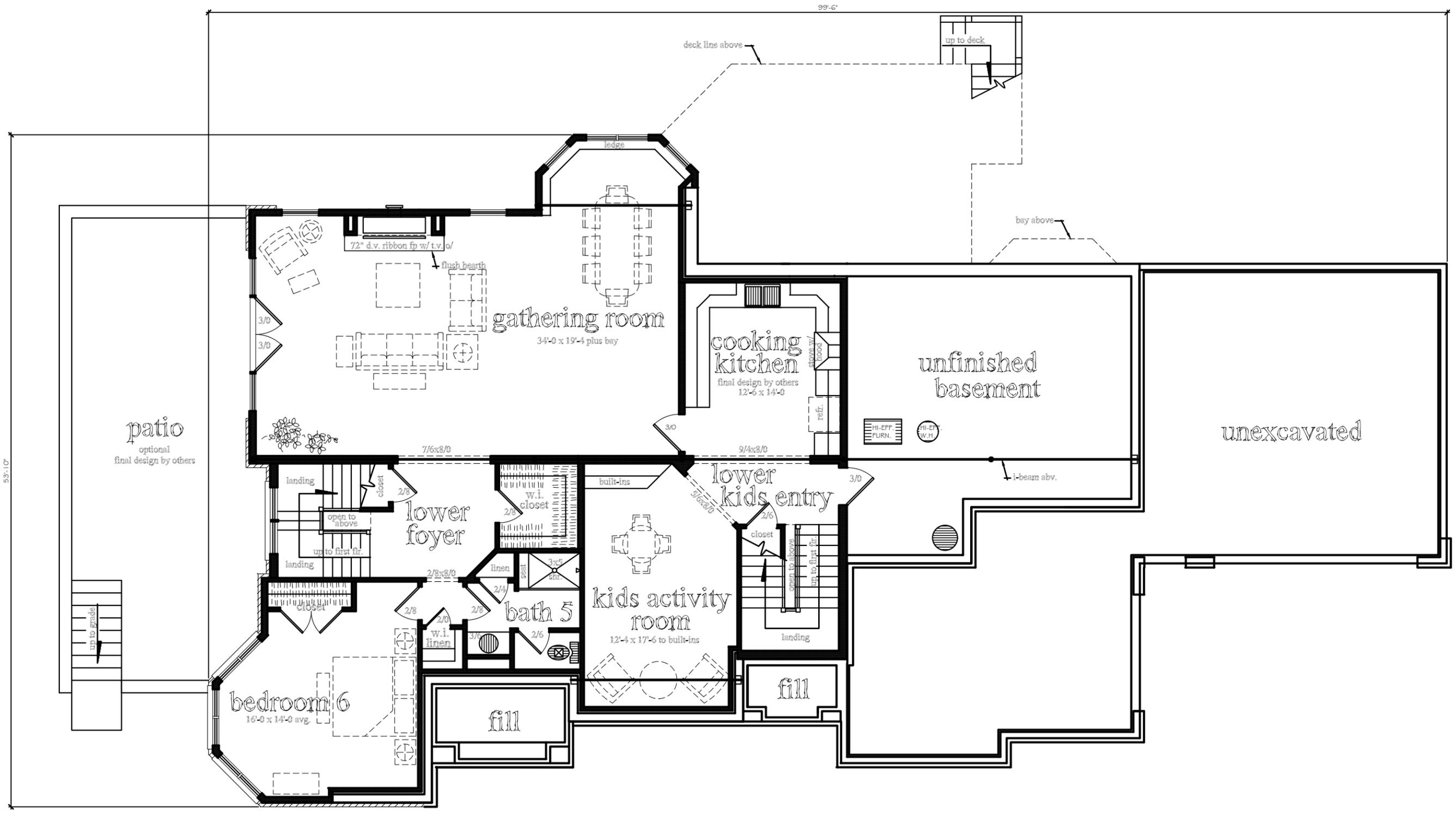
Avg. Grade  
Elev. 513

**Khan Residence**  
Lot 8, Clover Hills Tract  
Pittsford, NY

**East Elevation**



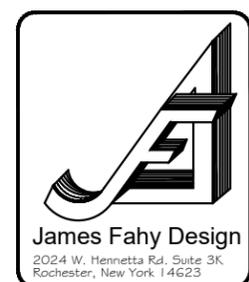
**James Fahy Design Associates**  
Architecture & Engineering P.C.  
Rochester, NY

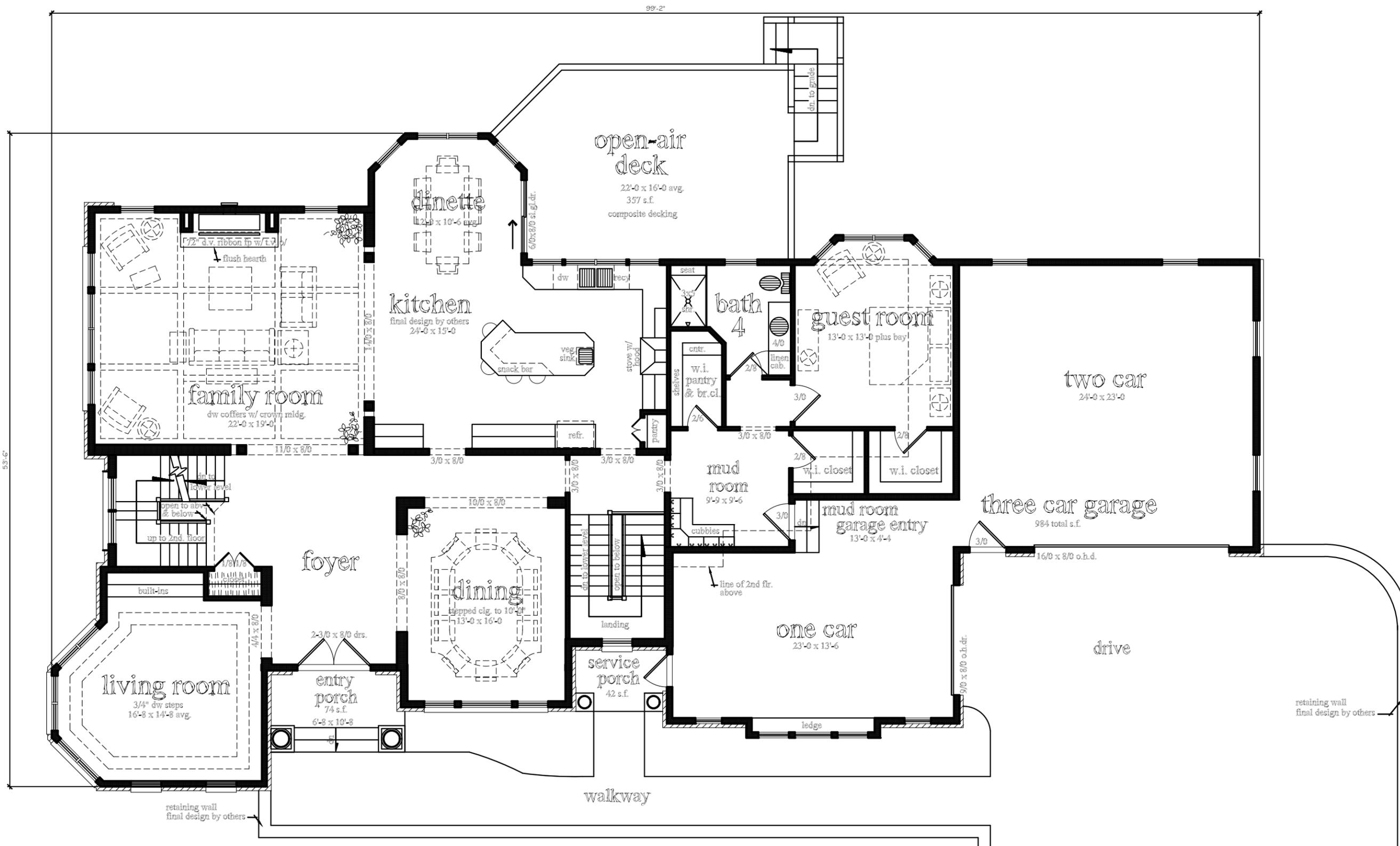


lower level floor plan 1862 s.f. finished area  
 scale: 1/8"=1'-0"

PROJECT: KHAN RESIDENCE LOT #8, CLOVER HILLS TRACT PITTSFORD, NEW YORK
CLIENT: AKHTIAZ KHAN
DRAWING TITLE: LOWER LEVEL PLAN

JOB NO. A19-035	PROJECT NO. 20-G800-2
DRAWN BY: CME	A2.0
CHECKED BY: JRF	
DATE: 9-13-2019	





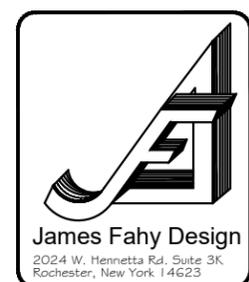
first floor plan

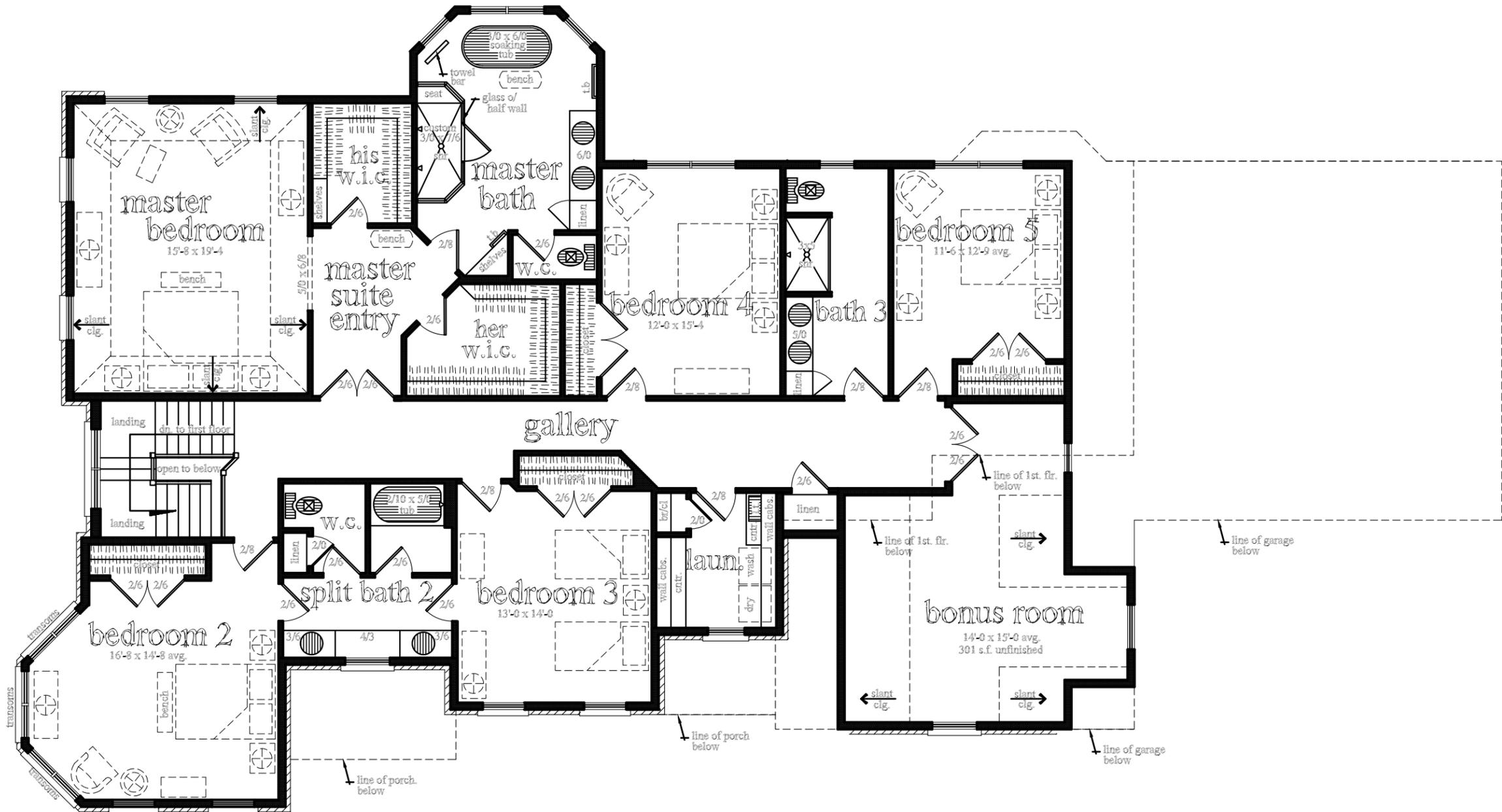
scale: 1/8"=1'-0"

2533 s.f.

PROJECT: KHAN RESIDENCE LOT #8, CLOVER HILLS TRACT PITTSFORD, NEW YORK
CLIENT: AKHTIAZ KHAN
DRAWING TITLE: FIRST FLOOR PLAN

JOB NO. A19-035	PROJECT NO. 20-G800-2
DRAWN BY: CME	A3.0
CHECKED BY: JRF	
DATE: 9-13-2019	





second floor plan

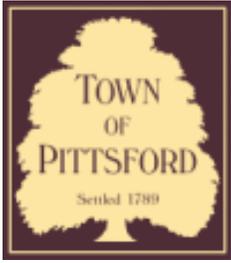
scale: 1/8"=1'-0"

2405 s.f.

PROJECT: KHAN RESIDENCE LOT #8, CLOVER HILLS TRACT PITTSFORD, NEW YORK
CLIENT: AKHTIAZ KHAN
DRAWING TITLE: SECOND FLOOR PLAN

JOB NO. A19-035	PROJECT NO. 20-G800-2
DRAWN BY: CME	A4.0
CHECKED BY: JRF	
DATE: 9-13-2019	





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000137**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 17 Lexton Way PITTSFORD, NY 14534

**Tax ID Number:** 178.03-5-15

**Zoning District:** IZ Incentive Zoning

**Owner:** Morrell Builders Inc.

**Applicant:** Morrell Builders Inc.

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

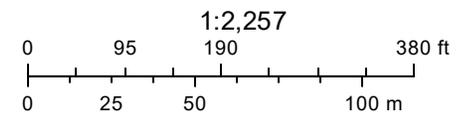
**Project Description:** Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2052 sq. ft. and will be located in the Wilshire Hills Subdivision.

**Meeting Date:** September 26, 2019

# RN Residential Neighborhood Zoning

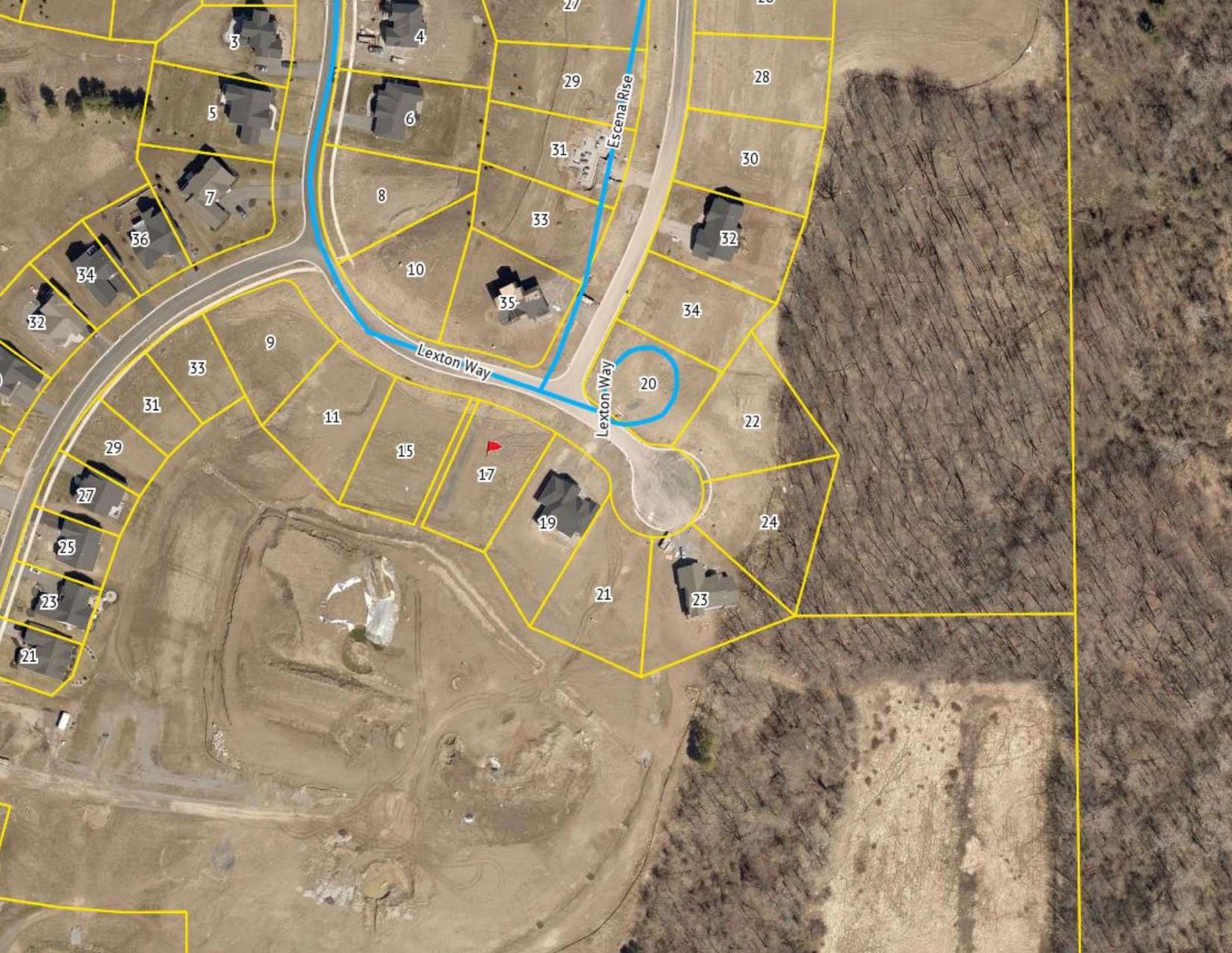


Printed September 19, 2019



Town of Pittsford GIS

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3

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Lexton Way

Lexton Way

20

33

11

22

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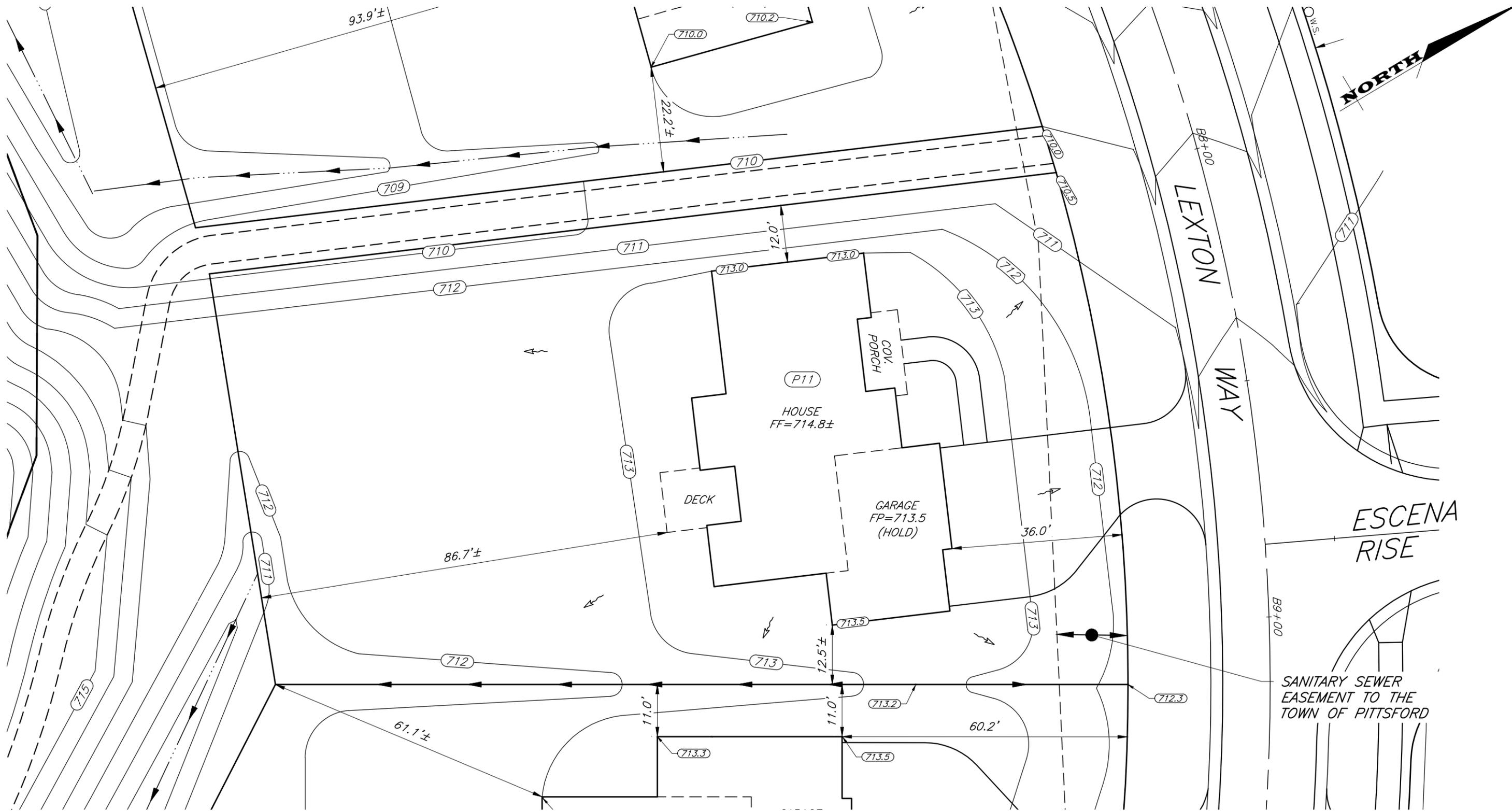
21

23

21



File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot P11\LOT P-11.dwg, Plot Date: 9/13/2019, By: LUCAS BUSHEV



JOB NO: 0423-13  
SCALE: 1" = 20'  
DRAWN: LJB  
DESIGNED: LJB  
DATE: 9/13/2019

SETBACK	REQUIRED	PROVIDED
FRONT	35'	36.0'
SIDE	10'	12.0'
REAR	20'	86.7' ±

TITLE:

**PLOT PLAN - LOT P11**

**WILSHIRE HILL - SECTION 3**

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REVISIONS-	NO.	DATE	DESCRIPTION

**DRAWING TITLE-**  
 First Floor Plan

**PROJECT-**  
 Lot 1 P Wilshire Hill  
 Pittsford, New York

**CLIENT-**  
 Morrell Builders

**DATE-**  
 September 2019

**PHASE-**  
 Construction Documents

**CKH**  
 architecture

1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564

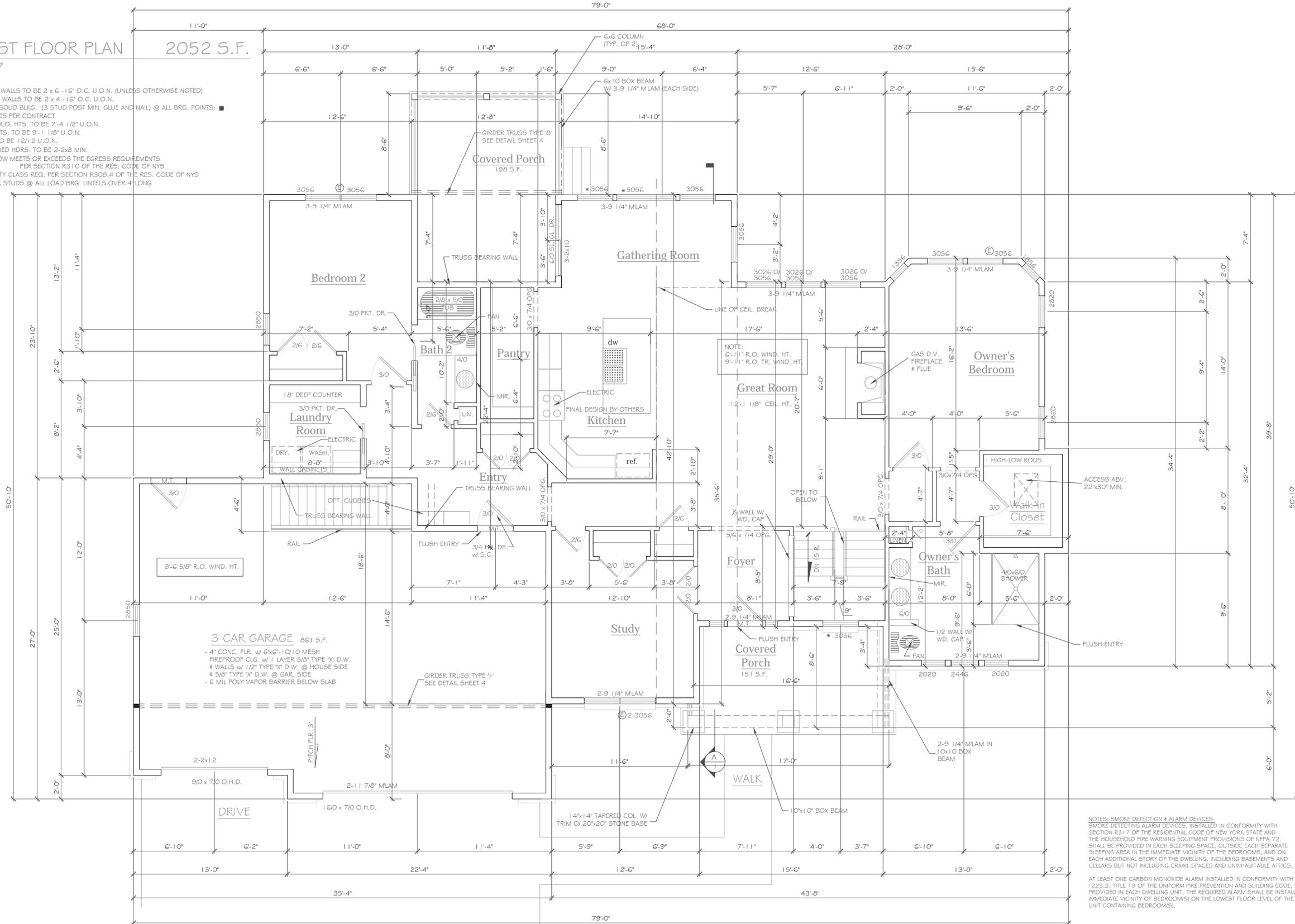
phone: (585) 249-1334  
 fax: (585) 249-1333  
 email: CKH@ckharch.com

**JOB NO. -**  
 A19-037

**DRAWING NO. -**  
 A-3

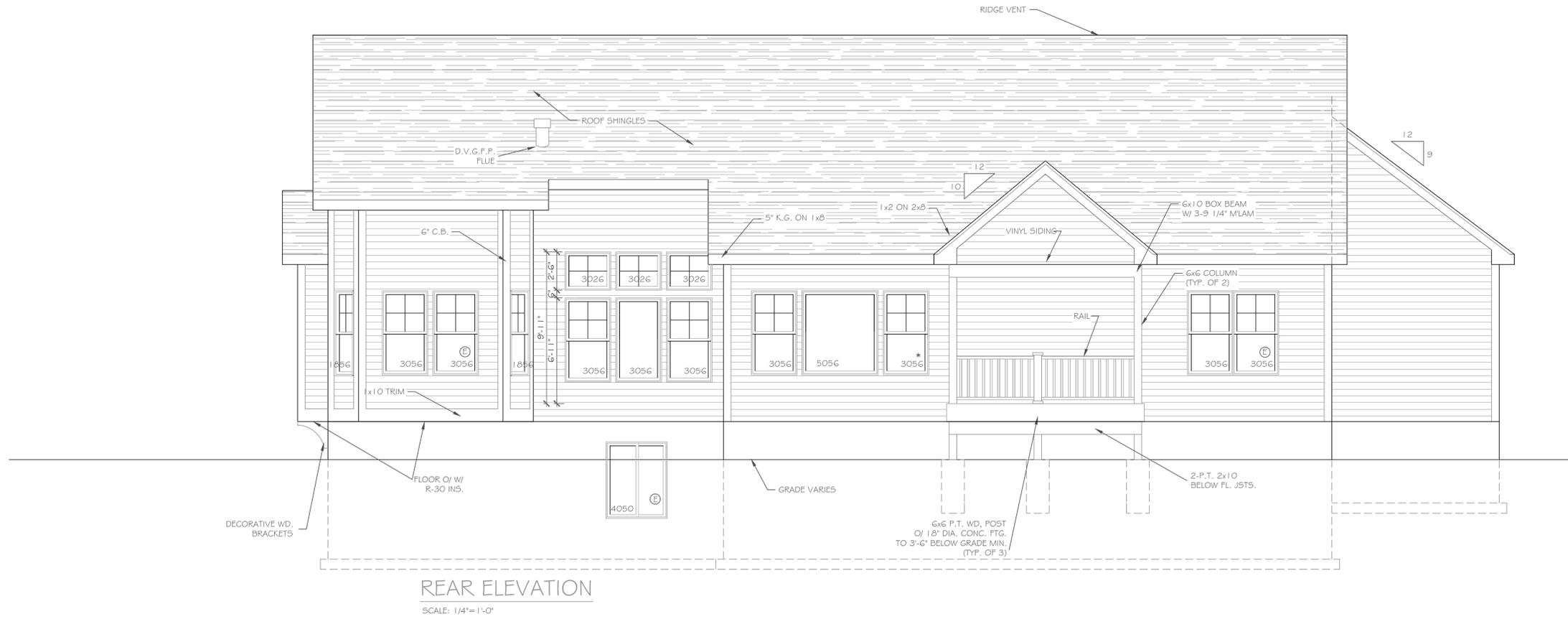
**FIRST FLOOR PLAN** 2052 S.F.

1/4" = 1'-0"  
**NOTES:**  
 EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)  
 INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.  
 PROVIDE SOLID BLDG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: ■  
 APPLIANCES PER CONTRACT  
 WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.  
 CEILING HTS. TO BE 9'-1" 1/8" U.O.N.  
 ANGLES TO BE 12/12 U.O.N.  
 UNSPECIFIED HDRS. TO BE 2-2x8 MIN.  
 ○ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
 \* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS  
 DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

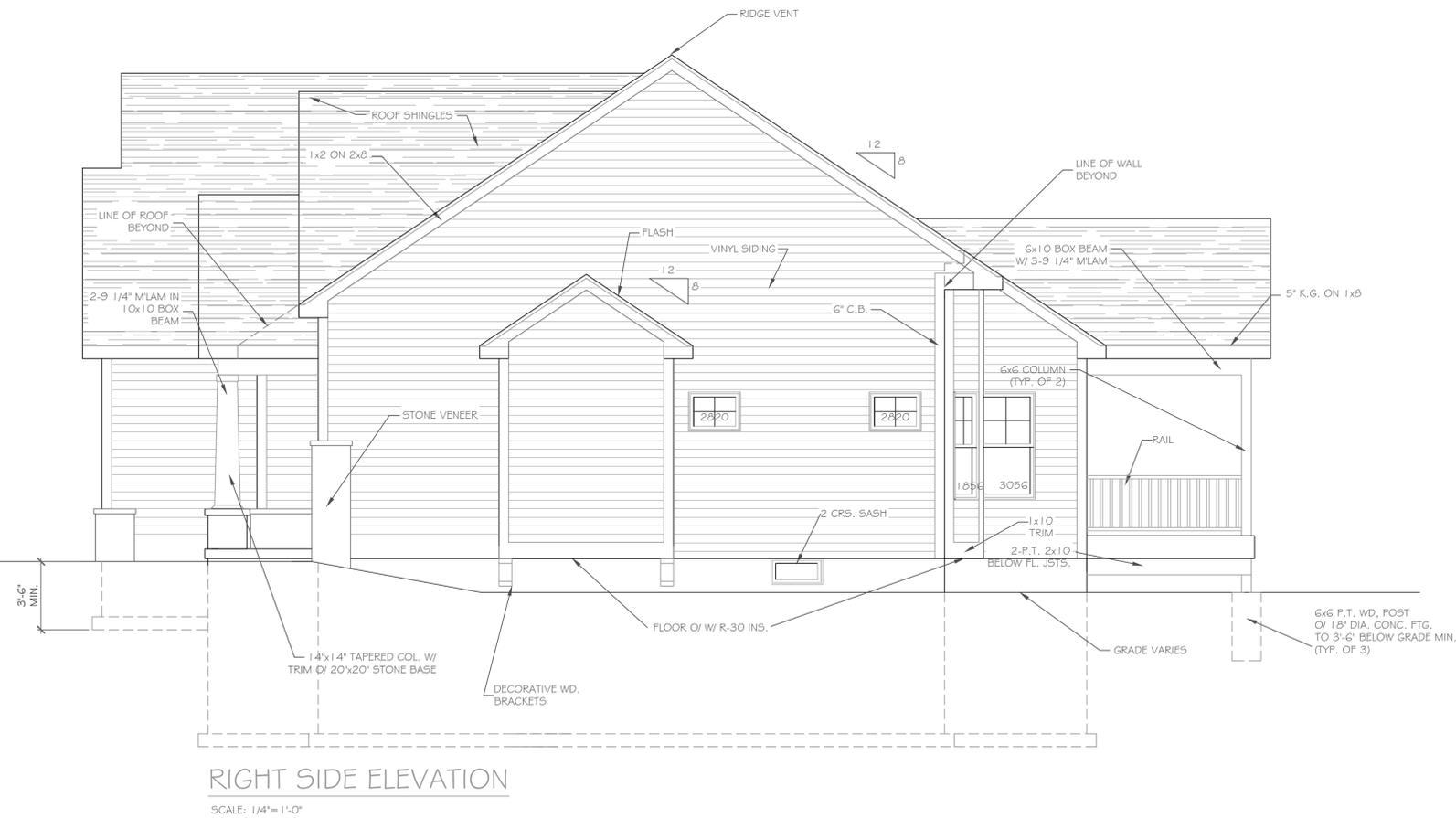


**NOTES: SMOKE DETECTION & ALARM DEVICES:**  
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.  
 AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).





REAR ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	Elevations
PROJECT-	Lot 1 P Wilshire Hill Pittsford, New York
CLIENT-	Morrell Builders
JOB NO.-	A 19-037
DATE-	September 2019
PHASE-	Construction Documents

PROJECT-	Lot 1 P Wilshire Hill Pittsford, New York
CLIENT-	Morrell Builders
JOB NO.-	A 19-037
DATE-	September 2019
PHASE-	Construction Documents

**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York, 14564  
phone: (585) 249-1334  
fax: (585) 249-1333  
email: CKHennessey@frontier.net

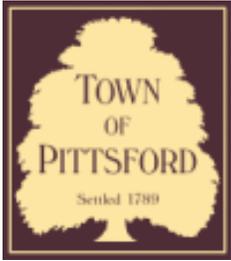
DRAWING NO.-  
**A-5**





19 LEXTON WAY





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S19-000017**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3349 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-18

**Zoning District:** C Commercial / MATZ Monroe Avenue Transitional Zone

**Owner:** Pittsford Plaza SPE, LLC

**Applicant:** Vital Signs

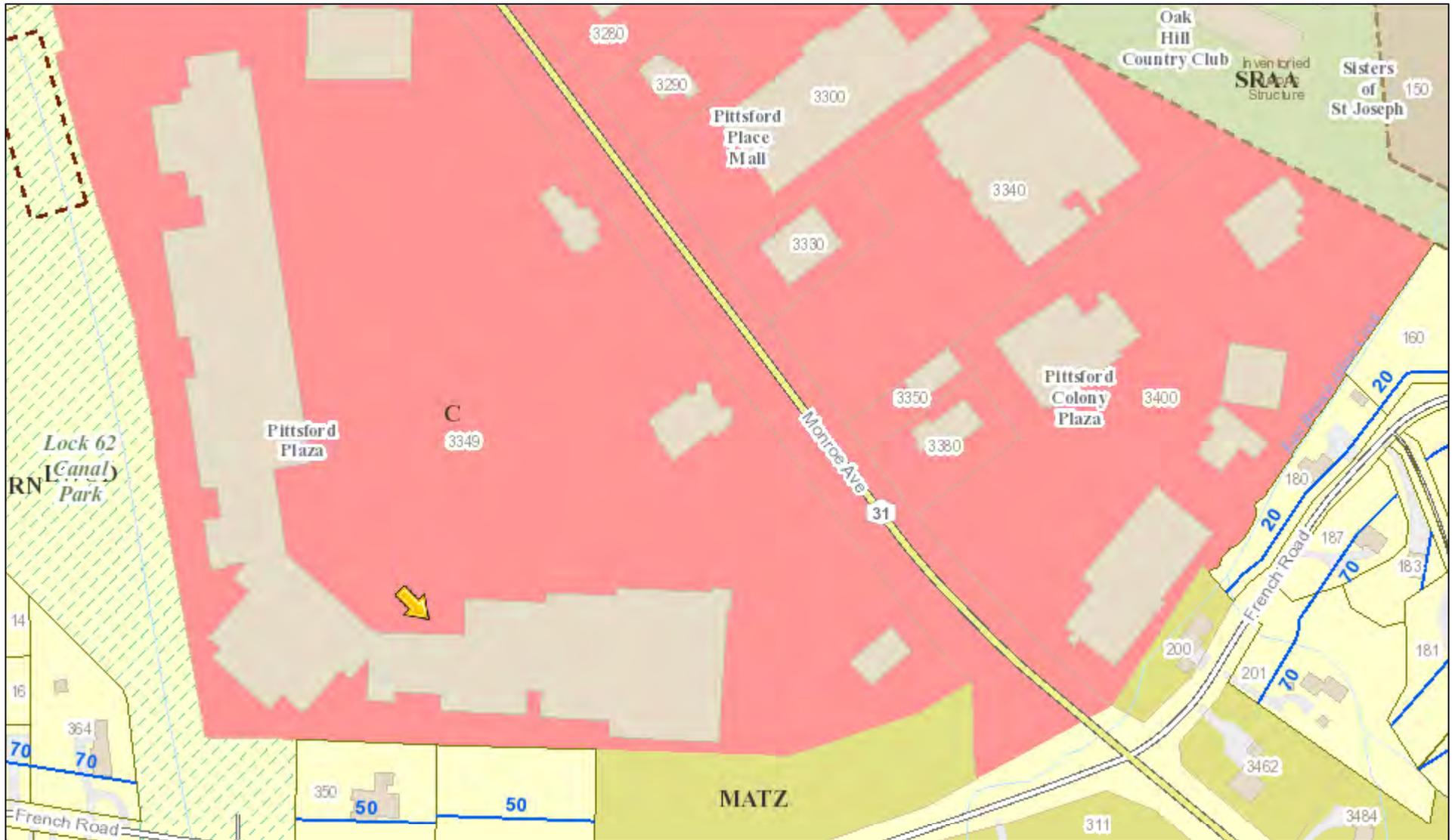
### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

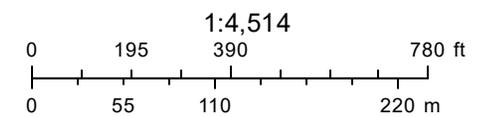
**Project Description:** Applicant is requesting design review for the addition of a business identification sign. The sign will identify the business "CBD Releaf Center" and will be located in Pittsford Plaza. The channel letters will be individually mounted internally illuminated plastic with the sign being approximately 22.44 sq. ft.

**Meeting Date:** September 26, 2019

# RN Residential Neighborhood Zoning



Printed September 19, 2019



Town of Pittsford GIS

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Front-Lit Channel Letters w/ LED Illumination • Individually Mounted



**A** Front-Lit, Plex-Face Channel Letters w/ LED, Individually Mounted  
 SCALE: 0/0" = 1' 0" • For Production / For Presentation

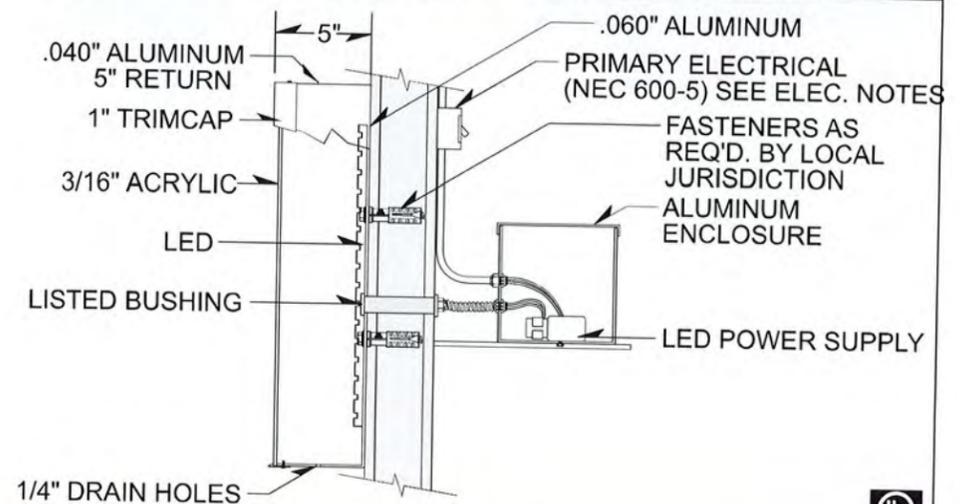
**INTERNALLY ILLUMINATED PLASTIC FACE CHANNEL LETTERS**

**QUANTITY:** 1  
**Overall Height:** 42.25"  
**Overall Length:** 76.5"  
**Total Sq.Ft.:** 22.44sq. ft.  
**Returns:** 5" Balck  
**Backs:** NA  
**Trimcap:** Black  
**Face:** Acrylic  
**First-surface translucent vinyl:** 3M translucent PMS match to standard  
 Vinyl Manufacturer,  
**Illumination:** LED

**NOTES:**

- Individually Mounted
- WHITE interiors for increased illumination
- All paint two-stage automotive acrylic

**CHANNEL LETTER - TYPICAL SECTION - FRONT-LIT PLASTIC FACE**



**ELECTRICAL NOTES**

Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician.  
 Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



780 Ridge Rd • Webster, NY 14580  
 P: 585.787.4256 F: 585.347.4290  
 E: Info@vitalsignsroc.com  
 W: www.vitalsignsroc.com

**Client Name:**  
 CBD ReLeaf Center

**Location:**  
 3349 Monroe Ave,  
 Rochester, NY 14618

**Start Date:** 9-6-19  
**Last Revision:** 9-09-19  
**Job#:**  
**Drawing#:** 1  
**Page:** 1

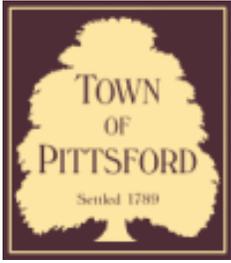
For proofing only. Colors are only representations of actual final color. Graphic locations may need to be adjusted to fit actual area. Please proof thoroughly for spelling, colors, content and placement. If revisions are needed please note and fax back. If approved please sign below

Client Approval

**Sales Rep:**

**Designer:**





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S19-000016**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 790 Linden Avenue ROCHESTER, NY 14625

**Tax ID Number:** 138.15-1-16

**Zoning District:** LI Light Industrial

**Owner:** Andrew Dvonch (Linden Oaks Dental)

**Applicant:** Art Part Signs Inc.

### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

**Project Description:** Applicant is requesting design review for the addition of a business identification sign. The sign will identify the "Linden Oaks Dental" practice and will be 12.9 sq. ft. The sign was approved by the Zoning Board for an increase in size of the original sign plan.

**Meeting Date:** September 26, 2019



770

790

800

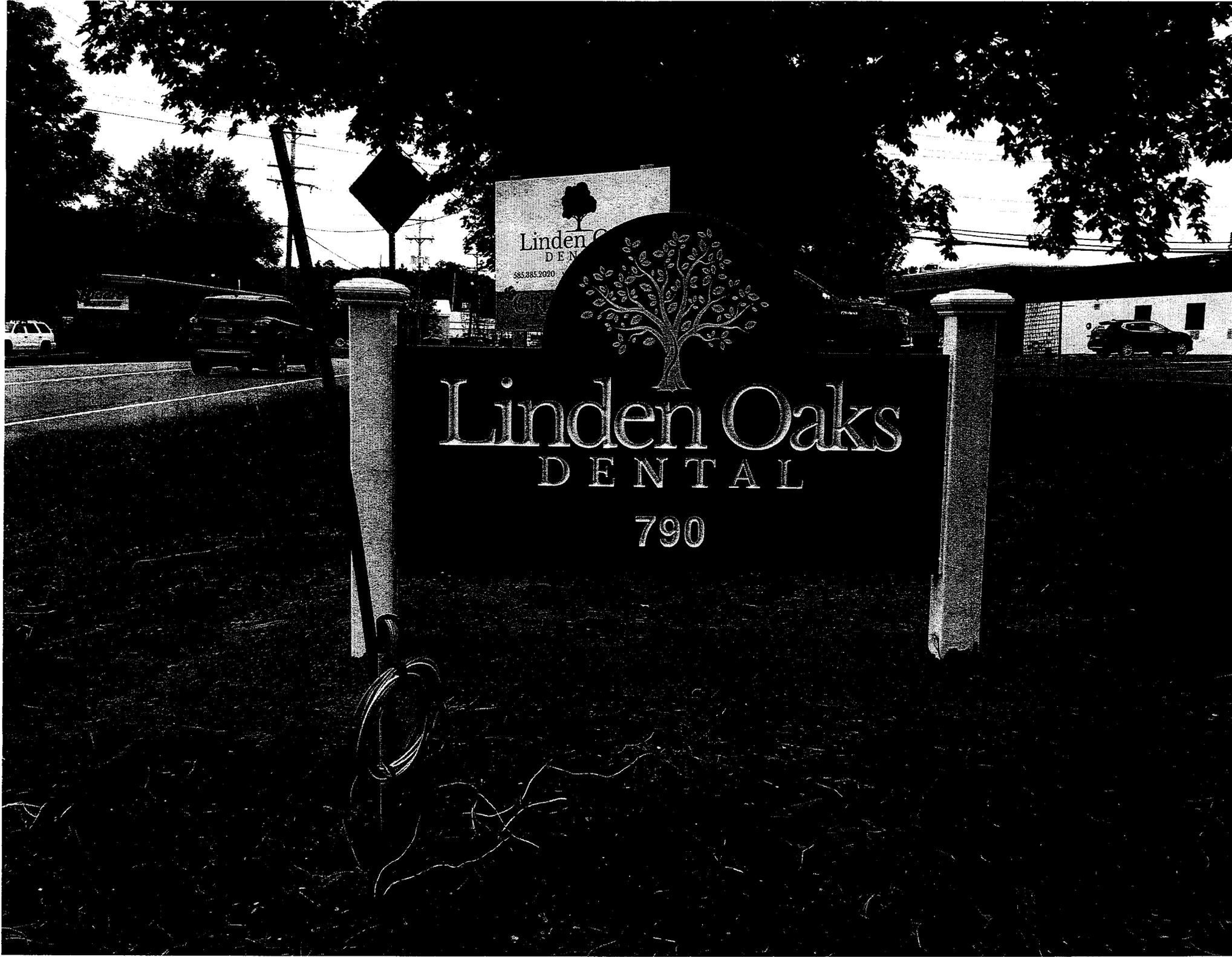
789

803

Linden Avenue

Linden Park

Linden Avenue



Linden Oaks  
DENTAL

585.385.2020

Linden Oaks  
DENTAL

790



Sign size: 2" thick HDU, 54" wide x 34.5" tall  
 copy 2 sides  
 Background of sign to be SW7624 Slate Tile  
 and black band for address

"Linden Oaks Dental" and 790 to be v-carved and painted white  
 Tree graphic to be applied vinyl copy (not carved)

Posts to be pressured treated with white pvc sleeves and caps  
 The bottom of the sign will be 6" above grade.  
 The posts will be direct burial, 3 feet below grade.

Price for sign and installation: \$3495.00, plus tax  
 A deposit of 50% is required to begin production an the  
 balance is due upon completion of installation.  
 Above price does not include any permitting if necessary.



**ART PARTS SIGNS**  
 100 Lincoln Parkway  
 East Rochester, NY 14445  
**585-381-2134**

CLIENT **Mike Sukhenko**  
 DATE **05/30/19**