Agenda 10-09-2025

Town of Pittsford Design Review & Historic Preservation Board AGENDA October 9, 2025

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on October 9, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

18 Old Lyme Road

Applicant is returning to request design review for a 240 square foot garage addition to the side of the home.

15 Rockdale Meadows

Applicant is requesting design review to convert an existing rear deck into an enclosed porch.

4044A East Ave

Applicant is requesting design review to construct a 322 square foot second floor addition.

RESIDENTIAL APPLICATIONS: NEW HOMES

68 Coventry Ridge

Applicant is requesting design review for the construction of a two story single family home approximately 3613 square feet that is located in the Coventry Ridge Subdivision.

33 Sutton Point

Applicant is requesting design review for the construction of a one story single family home approximately 3700 square feet.

The next meeting is scheduled for Thursday, October 23, 2025, at 6PM.

DRAFT MINUTES 092525

DESIGN REVIEW & HISTORIC PRESERVATION BOARD MINUTES SEPTEMBER 25, 2025

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, September 25, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Paul Whitbeck, Kathleen Cristman, John Mitchell, Jim Vekasy, Bonnie Salem

ABSENT: Dave Wigg

ALSO PRESENT: Bill Zink, Building Inspector; Anna Piazza, Building Department Assistant; Robert Koegel,

Town Attorney; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 5 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem stated that there were no updates.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

406 Kilbourn Road

Applicant is requesting design review for material changes to a previously approved project.

Nancy Loughran, of 406 Kilbourn Road, introduced the application. Ms. Loughran is requesting design review for material changes to a previously approved project. She is proposing to change the originally approved siding by the overhang to stacked stone. Chairman Schneider inquired about the applicant proposing to wrap one of the corners with stone and not the other. The applicant explained that on the other corner the stone will go behind the siding.

Chairman Schneider motioned to approve the application for material changes to a previously approved project to change the siding to a stone veneer, with the condition that the stone veneer on the outside corner will go behind the corner board. This motion was seconded by Board Member Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

93 Kilbourn Road

Applicant is requesting design changes for a previously approved 1170 square-foot addition off the rear of the home.

Christina Giangreco, of 93 Kilbourn Rd, introduced the application. Ms. Giangreco is requesting design review for design changes to a previously approved 1,170 square-foot addition off the rear of the home. She discussed the reason for the proposed changes and stated that the HVAC system and chimney need to be removed due to their poor condition. This required a change to the floor plan which changed the previously approved window placements on the east and west sides of the home. The siding will match the existing home. The proposed windows will be the same type of window as what was previously approved, but the placement and size will change. On the rear elevation, Ms. Giangreco is proposing a 10 square-foot addition with a porch and small metal roof. Chairman Schneider commented that the additional square windows on the side elevation being proposed helps improve that elevation.

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Board Member Salem motioned to approve the application for design changes to a previously approved 1,170 square-foot addition off the rear of the home, consisting of a small porch in the rear and two windows on side elevation, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

22 Charter Oaks Drive

Applicant is returning to request design review of a 704 square-foot addition to the existing garage.

Adam Kalb, of 22 Charter Oaks Drive, introduced the application. Mr. Kalb is returning a second time to request design review of a 704 square-foot addition to the existing garage. The Board voted to deny the approval of the application at the August 28th meeting. Mr. Kalb stated that the existing garage is too small for his needs and would like to discuss how the project can move forward. Chairman Schneider stated that the applicant is still proposing to add a significant amount of length to the house and noted that the rendering shows the length of the proposed garage to be just as long as the home itself. The applicant confirmed that the correct rendering is the one showing a gable end. The Board discussed photos of homes nearby with existing garages similar to what is being proposed and Board Member Vekasy noted that many homes on Stuyvesant Road have three-car garages and are flush. Board Member Vekasy believes the newly proposed gable end is an improvement. The Board requested that the garage addition be set back by 4 feet. The applicant confirmed that the depth of the gable overhang will match the depth of the house and that the garage doors will be the same style as the existing home. Board Member Cristman still believes that the proposed garage is too large and would appear as a four-car garage. Board Member Salem stated that while the setback does improve the project and may help to diminish the proposed 50/50 garage-home ratio, she still believes that a single-car garage addition would be more desirable. Chairman Schneider noted the existing three-car garages in the applicant's neighborhood.

Chairman Schneider motioned to approve the application for a 704 square-foot addition to the existing garage with the following conditions: (1) There will be a gable end over the new garage; (2) The ridges of the existing garage and new garage will align; and (3) The new garage will have a two-foot setback behind the existing garage rear of the home. This motion was seconded by Board Member Mitchell. Following a voice vote, the application was denied.

The Board voted as follows:

Bonnie Salem voted Nay
David Wigg voted Absent
Paul Whitbeck voted Nay
Kathleen Cristman voted Nay
John Mitchell voted Aye
Jim Vekasy voted Aye
Dirk Schneider voted Aye

Mr. Kalb submitted a new rendering and introduced the revised application. Mr. Kalb is requesting design review of the newly submitted design changes for an addition to the existing garage. In comparison to the rendering that was denied, the volume of the proposed garage addition is the same, but the garage doors are smaller. One garage door will be 10-feet wide by 7.6-feet tall and the other will be 16-feet wide by 7.6-feet tall. Mr. Kalb is also proposing a new window on the front facade to match the style, the sill, and the head-height of the existing first floor windows. The new garage addition will sit two feet back from the existing face of the garage.

Chairman Schneider motioned to approve the revised application with the newly submitted rendering at tonight's meeting for a 704 square-foot addition to the existing garage with the following conditions: (1) The existing garage will receive a 10-foot wide by 7.6-foot tall garage door and the addition will receive a 16-foot

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wide by 7.6-foot tall garage door; (2) The existing garage will receive a new window on the front facade to match the style, the sill, and the head height of the existing first floor windows; and (3) The new addition of the garage will sit two feet back from the existing face of the garage. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for a 10.55 square-foot sign for the Columbia Store.

Connor Ewing, of Elevated Sign Solutions, introduced the application. Mr. Ewing is requesting design review for a 10.55 square-foot sign for the Columbia Store.

Board Member Mitchell motioned to approve the application for a 10.55 square-foot sign for the Columbia Store, as submitted. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the application was approved, none opposed.

MEETING MINUTES REVIEW

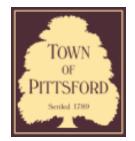
The minutes of September 11, 2025 were approved following a motion by Board Member Salem. This motion was seconded by Chairman Schneider. Following a unanimous voice vote, the minutes were approved, none opposed.

Board Member Mitchell closed the meeting at 6:41PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B24-000137

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 18 Old Lyme Road PITTSFORD, NY 14534

Tax ID Number: 179.09-1-33

Zoning District: RN Residential Neighborhood

Owner: Pippin, James B Applicant: Pippin, James B

Application Type	Α	pp	lic	atic	n 1	Гуре	
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~	Residential Design Review	Build to Line Adjustment
	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

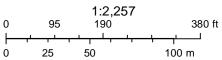
Project Description: Applicant is returning to request design review for a 240 square foot garage addition to the side of the home.

Meeting Date: October 09, 2025

RN Residential Neighborhood Zoning



Printed November 18, 2024



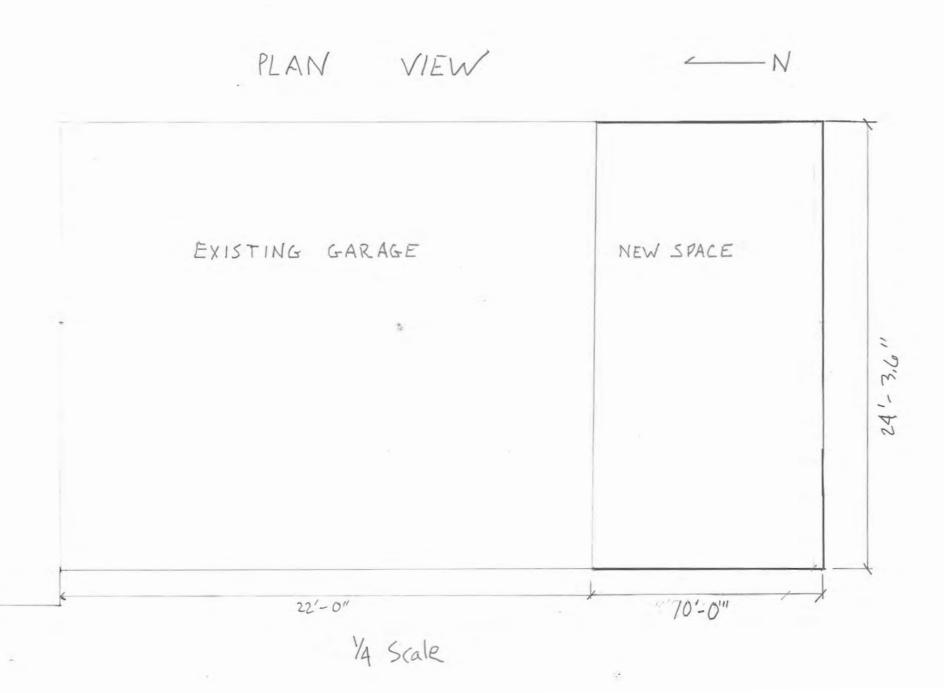
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

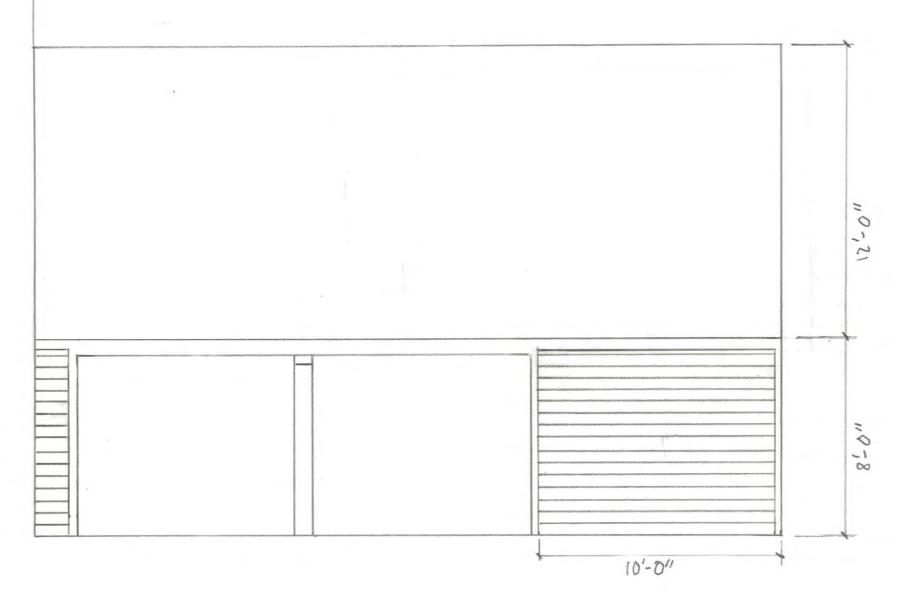




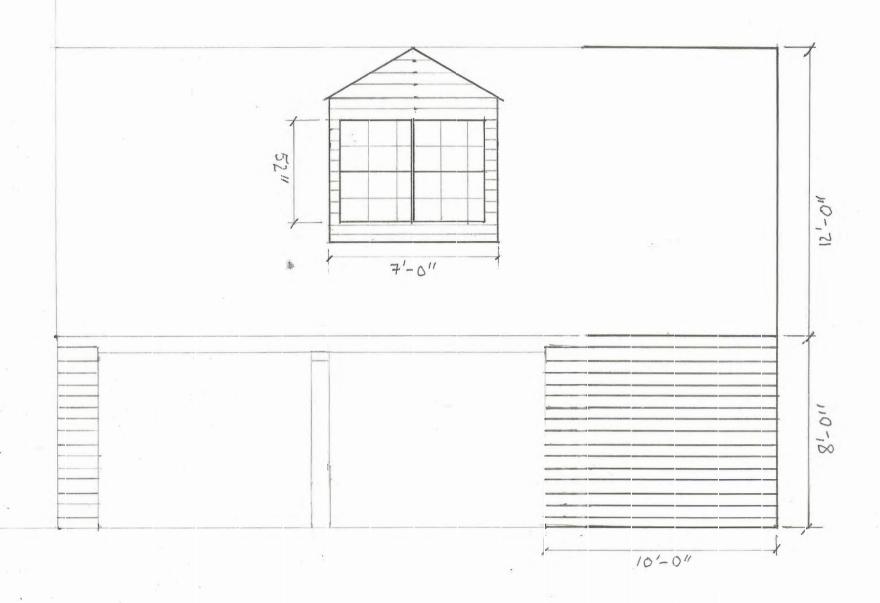
New Submission



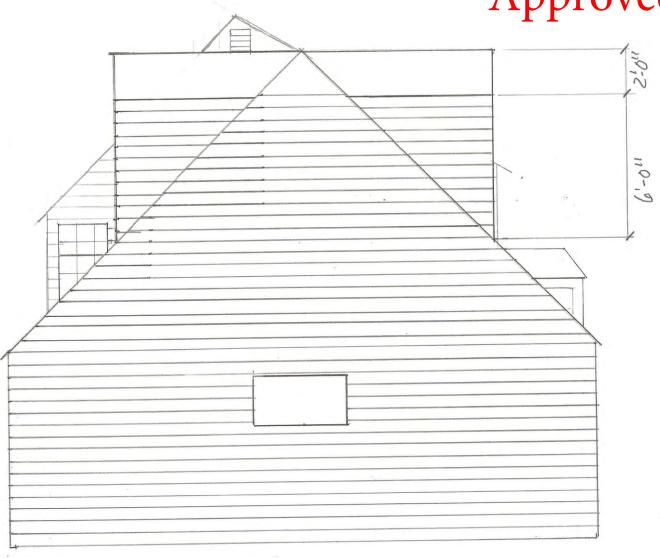
FRONT ELEVATION New Submission



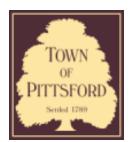
FRONT ELEVATION Approved



Original Approved



SOUTH SIDE ELEVATION



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B25-000121

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 15 Rockdale Meadows PITTSFORD, NY 14534

Tax ID Number: 177.03-5-13

Zoning District: IZ Incentive Zoning

Owner: Reitz, H. Howard Applicant: Reitz, H. Howard

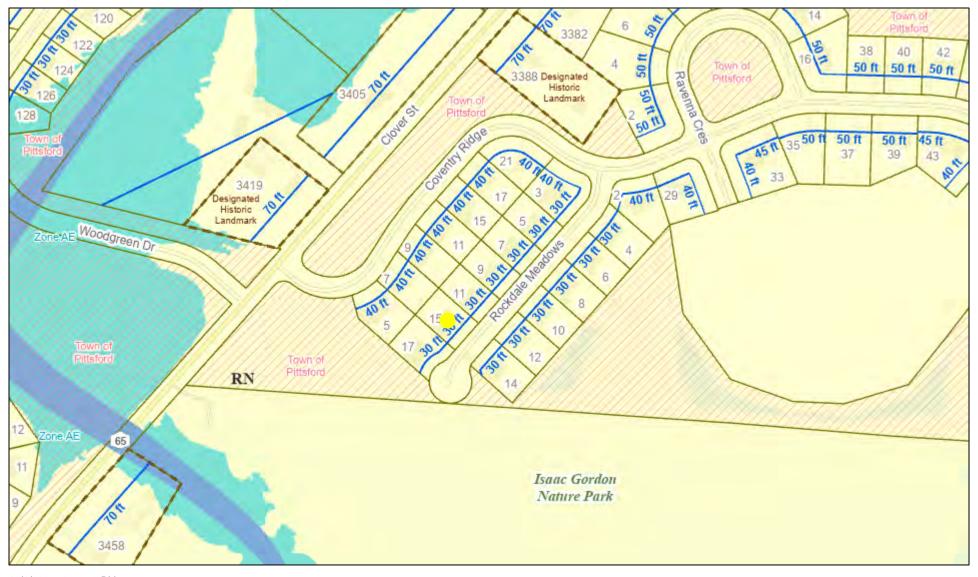
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Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

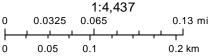
Project Description: Applicant is requesting design review to convert an existing rear deck into an enclosed porch.

Meeting Date: October 09, 2025

Residential Neighborhood Zoning



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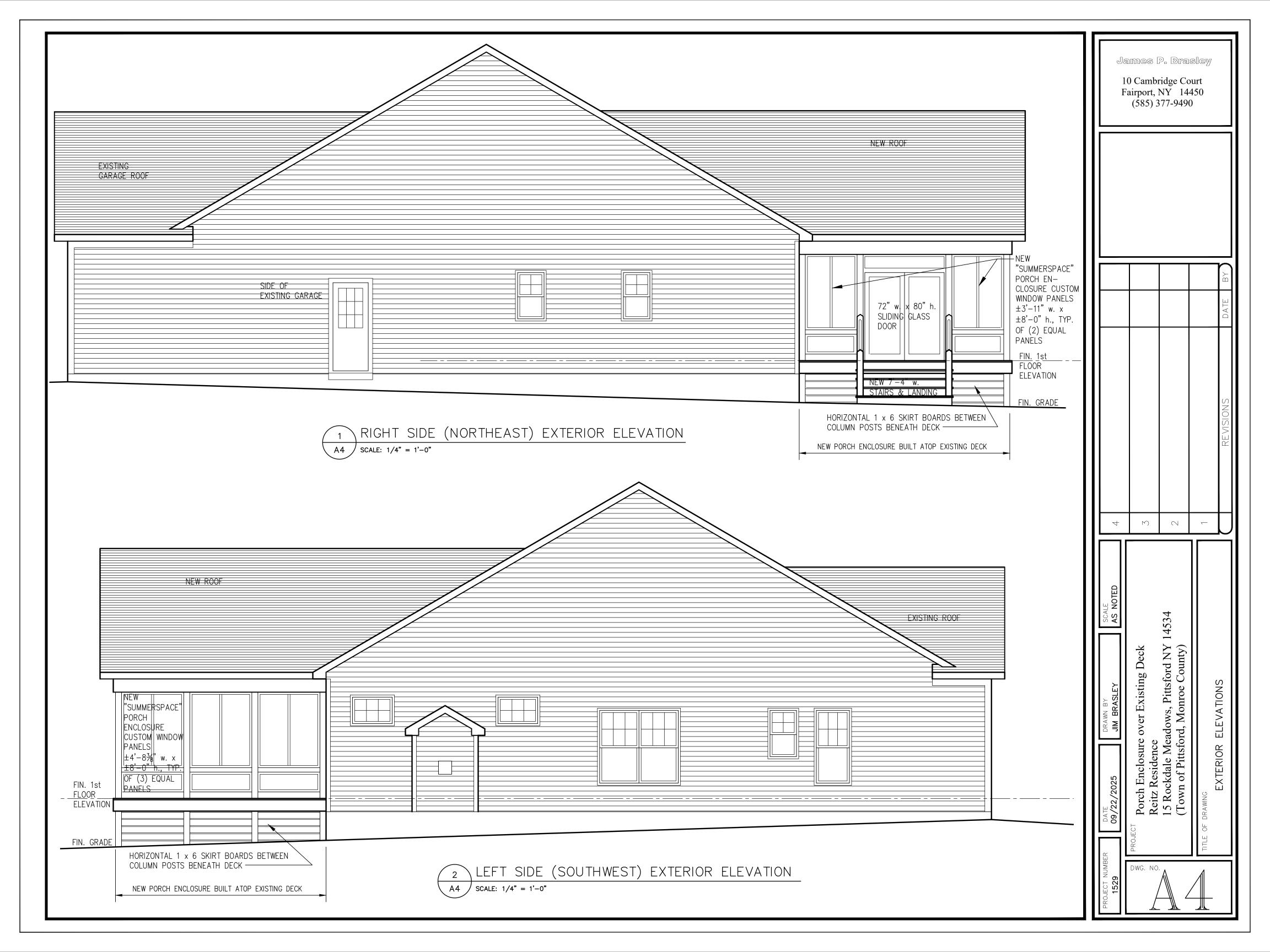


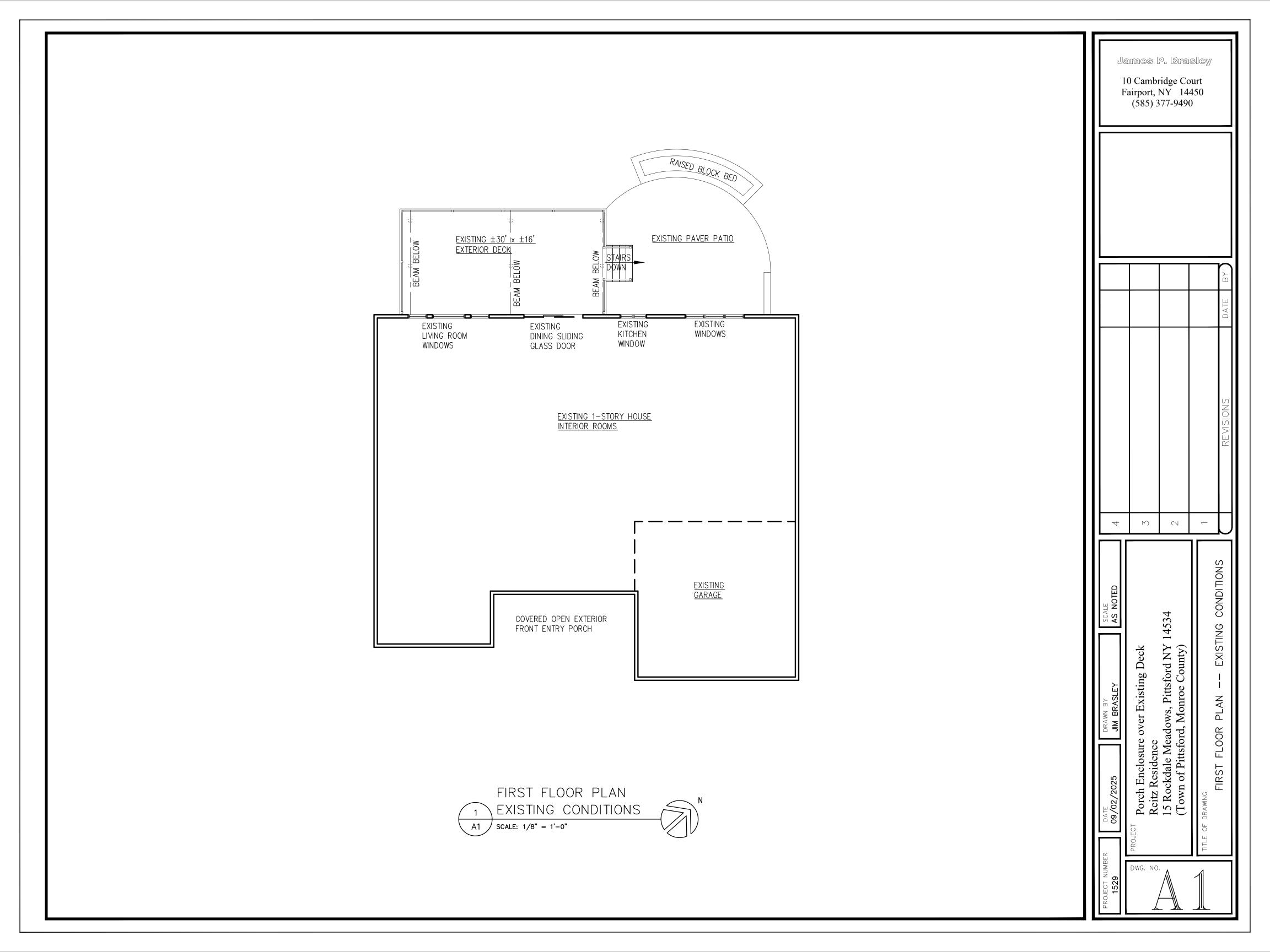
Town of Pittsford GIS

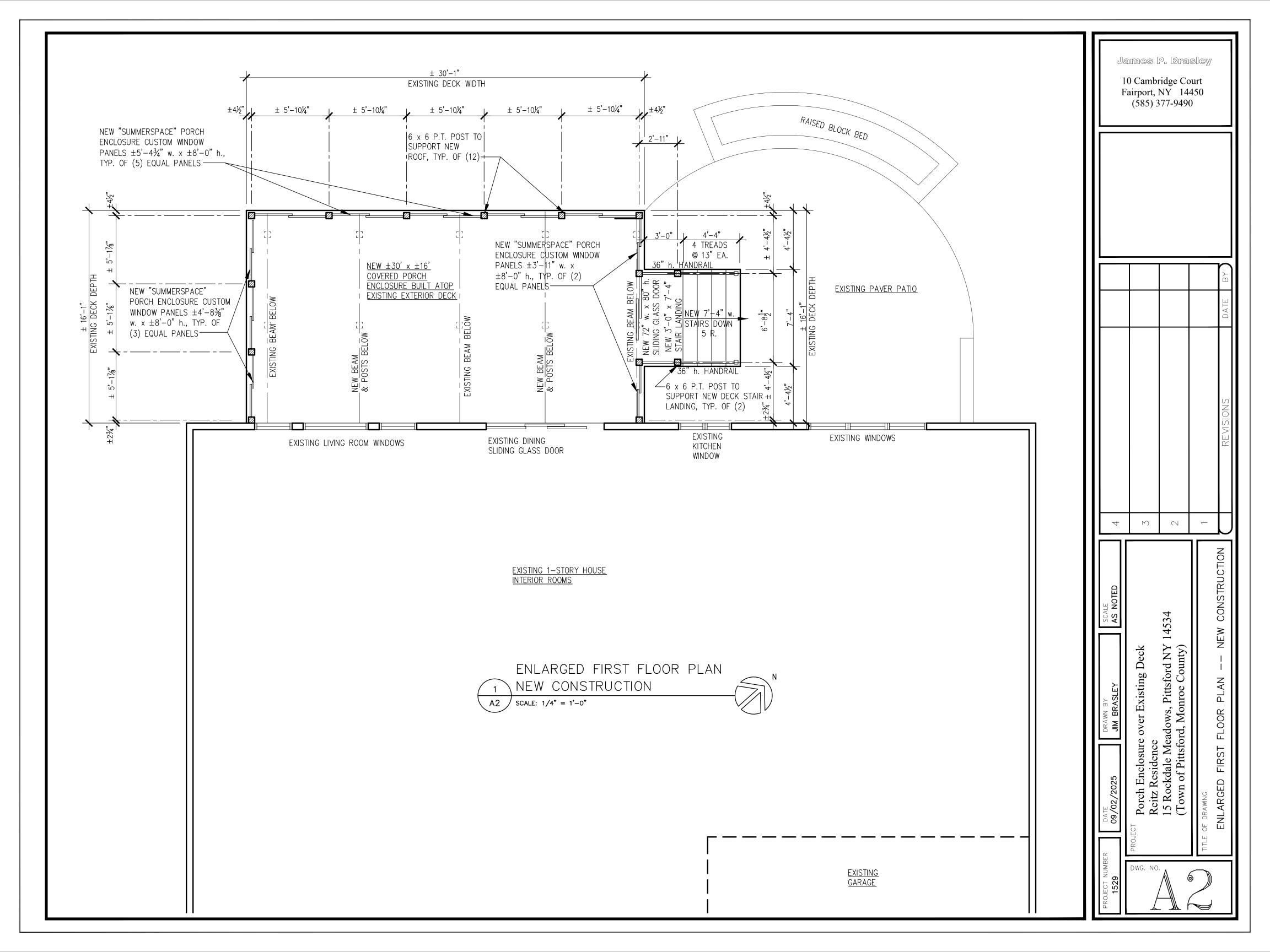
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.







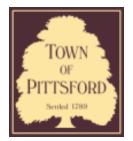












Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B25-000122

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4044 A East Avenue ROCHESTER, NY 14618

Tax ID Number: 151.10-1-6.11

Zoning District: RN Residential Neighborhood

Owner: Hamilton, Justin K
Applicant: Hamilton, Justin K

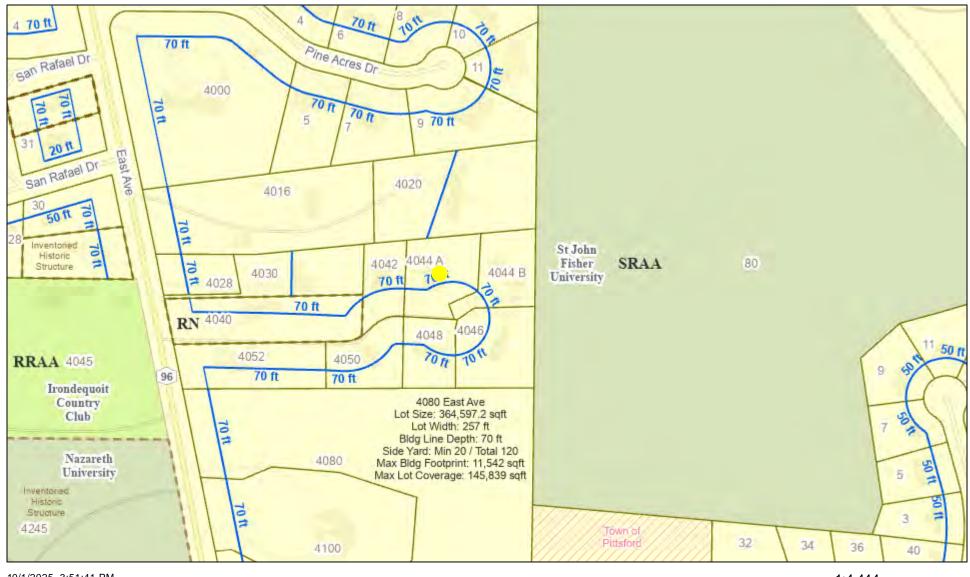
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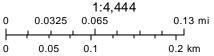
Project Description: Applicant is requesting design review to construct a 322 square foot second floor addition.

Meeting Date: October 09, 2025

Residential Neighborhood Zoning

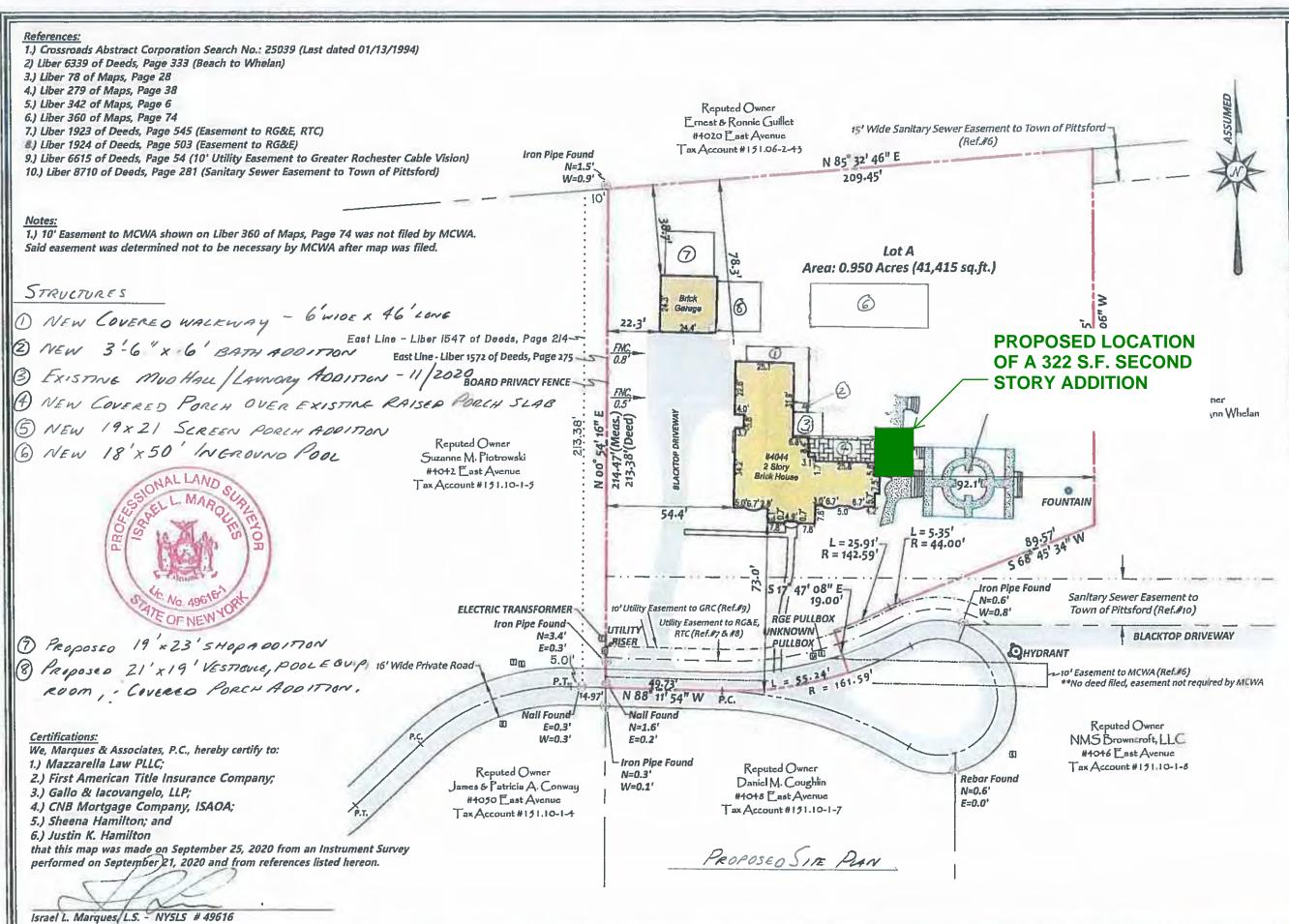


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Town of Pittsford GIS





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REVISIONS:

NO DATE DESCRIPTION BY

SHOWING: Lot A Whelan Subdivision

Being a Resubdivision of Part of Land of the Elmer E. Fairchild Property

Part of Town Lot 30 Township 12, Range 5 Phelps & Gorham Purchase

> Town of Pittsford Monroe County New York

DRAWING TITLE:

Instrument Survey Map

PREPARED FOR c/o Olver Korts LLP Attorneys and Counselors at Law Tobey Village Office Park 100 Office Park Way Pittsford, New York 14534

MARQUES & ASSOCIATES, P.C. LAND SURVEYING ENGINEERING

930 East Avenue, Sulte 1000 Rochester, New York 14607 585 723-1820 (Tel) 585-723-1821 (Fax)

Date: September 25, 2020 Project #: 2019056 Scale: 1"=40' Drawn by: MLM Checked by: ILM

Hamilton Residence Renovations

4044A East Ave Pittsford, NY

GENERAL INFORMATION

GENERAL NOTES:

- 1. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO RESIDENTIAL CODE OF NEW YORK STATE, ANSI, OSHA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.
- 2. ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE LOCAL ZONING CODES, NATIONAL ELECTRIC CODES, N.F.P.A. RECOMMENDATIONS, OSHA, A.D.A. AND ALL OTHER APPLICABLE CODES; RULES AND REGULATIONS ALL IN THEIR LATEST EDITION OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE.
- 3. THE TERMS "CONSTRUCTION CONTRACTOR," "GENERAL CONTRACTOR. G.C., CONSTRUCTION MANAGER MANAGEMENT" AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE
- 4. SEE ALL DRAWINGS INCLUDING AND IF APPLICABLE CIVIL/SITE, LANDSCAPING, STRUCTURAL, ARCHITECTURAL, MEP, FIRE PROTECTION, FIRE ALARM, SECURITY AND ANY AND ALL OTHER DRAWINGS REQUIRED OR INCLUDED IN SCOPE OF WORK.
- 5. DRAWINGS ARE NOT TO BE SCALED; WRITTEN DIMENSIONS GOVERN.
- 6. ALL WORK SHALL BE INSTALLED BY EXPERIENCED AND COMPETENT TRADESMAN IN A FIRST CLASS
- 7. ALL WORK IS TO CONFORM TO ARCHITECT'S DRAWINGS AND SPECIFICATIONS AND SHALL BE NEW AND BEST QUALITY OF THE KINDS SPECIFIED.
- 8. ALL SUBCONTRACTORS' SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO WORK BEING PERFORMED, UNLESS OTHERWISE
- 9. ALL WORK, AS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE NOTED IN WRITING. ALL DRAWINGS AND SPECIFICATIONS ARE DIRECTED TO THE ATTENTION OF THE CONTRACTOR AND THE INCLUSION OF ANY WORK BY MENTION, NOTE, DETAIL, ITEMIZATION OR IMPLICATION, HOWEVER BRIEF, MEANS THAT THE CONTRACTOR SHALL INCLUDE ALL APPURTENANCES AND APPARATUS NORMALLY DEEMED TO BE A PART OF A COMPLETED PACKAGE WITH IN THE DEFINITIONS OF NORMAL INDUSTRY STANDARDS.
- 10. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT THROUGH INSPECTION OF THE SITE, DRAWINGS, AND SPECIFICATIONS, SO AS TO THOROUGHLY UNDERSTAND THE WORK. ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT DISCREPANCIES OR OMISSIONS ARE REPORTED AND CLARIFICATION OBTAINED FROM THE ARCHITECT PRIOR TO WORK BEING DONE. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED WITH THE COST FOR SAME BEING BORNE BY THE CONTRACTOR. THEY SHALL VERIFY ALL DIMENSIONS FOR COORDINATION.
- 11. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH THE DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE AND COORDINATE DISCREPANCIES TO THE SATISFACTION OF ME ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- 12. CONTRACTOR SHALL BE PERMITTED TO STAGE EQUIPMENT AND MATERIALS ONLY WITHIN EACH WORK AREA. NO ADDITIONAL STAGING AREAS WILL BE PERMITTED.
- 13. ALL ITEMS REMOVED BY THE CONTRACTOR SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER.
- 14. COORDINATE WITH THE OWNER THE PROTECTION AND/OR STORAGE OF ALL ITEMS TO BE SAVED/SALVAGED FROM DEMOLITION.
- 15. CONTRACTOR SHALL PROTECT EACH WORK AREA WITH TEMPORARY DUST FREE PARTITIONS. WORK AREAS SHALL BE POSTED AS OFF LIMITS TO AL PERSONS NOT ASSOCIATED WITH THE PROJECT. CONTRACTOR SHALL EMPLOY ALL NECESSARY DUST CONTROL MEASURES.
- 16. IF ANY CONFLICTS OCCUR BETWEEN THE NOTES, SPECIFICATIONS, AND DETAILS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND REQUEST CLARIFICATION.
- 17. DETAILS AND SECTIONS SHOWN ON DRAWINGS ARE TYPICAL AND MAY APPLY TO LOCATIONS OTHER THAN WHERE SPECIFICALLY MARKED ON THE PLANS. IF SECTIONS OR DETAILS DO NOT REPRESENT ALL REQUIRED CONDITIONS, THE ARCHITECT SHALL BE CONTACTED FOR CLARIFICATION BY THE GENERAL CONTRACTOR
- 18. IF EXISTING CONDITIONS MAKE IT NECESSARY TO REVISE STRUCTURAL DETAILS, NOTIFY DESIGN ARCHITECT BEFORE PROCEEDING WITH ANY CHANGES.
- 19. MECHANICAL, ELECTRICAL, AND PLUMBING, DESIGN SHALL BE DETERMINED BY THE GENERAL CONTRACTOR. THEREFORE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ROUTING OF THESE TRADES, AS WELL AS, THE OWNER'S WORK TO ASSURE THAT THESE SYSTEMS DO NOT CONFLICT WITH THE ARCHITECTURAL AND STRUCTURAL ELEMENTS OF THE BUILDING.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. ALL NEW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LATEST WRITTEN INSTRUCTIONS AND SPECIFICATIONS.
- 21. PROVIDE WOOD BLOCKING, OR OTHER SOLID ATTACHMENT MATERIAL, FOR ATTACHMENT OF ALL FIXTURES, FITTINGS, MILLWORK AND AS REQUIRED FOR ANY OTHER ACCESSORIES.
- 22. ALL AREAS OF HABITABLE SPACE WILL BE PROVIDED WITH OPENINGS FOR EMERGENCY EGRESS OF 5 SQ. FT. AT FIRST FLOOR AND 5.7 SQ. FT. AT THE SECOND FLOOR. SILL WITHIN 42" OF FLOR WITH MINIMUM DIMENSION OF 2'-0".
- 23. SMOKE DETECTING ALARM DEVISES SHALL BE DIRECT WIRED AND CONFORM TO SECTION R314 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
- 24. CARBON MONOXIDE DETECTORS (DIRECT WIRED) SHALL BE INSTALLED ON EACH STORY CONTAINING A SLEEPING AREA (SUCH DEVISE BEING LOCATED WITHIN 15 FEET OF THE SLEEPING AREA) AND ON EACH STORY THAT CONTAINS A CARBON MONOXIDE SOURCE AND CONFORM TO SECTION 315 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

DESIGN BUILD MEP NOTES

CONTRACTOR SHALL PROVIDE THE FOLLOWING DESIGN / BUILD MECHANICAL, ELECTRICAL AND PLUMBING SERVICES IN CONNECTION WITH THE PROJECT:

1) ELECTRIC DESIGN BUILD REQUIREMENTS:

- A. CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES AS REQUIRED FOR THE NECESSARY PERMITTING OF THE PROJECT AND TO ALLOW FOR THE PROPER SCOPING, PRICING AND CONSTRUCTION OF THE WORK. ALL WORK SHALL BE DESIGNED, FURNISHED AND INSTALLED IN STRICT CONFORMANCE WITH THE ARCHITECTURAL AND INTERIOR DESIGN CONSTRUCTION DRAWINGS AS WELL AS ALL APPLICABLE AND CURRENT LAWS AND CODES AND ORDINANCES. IN CONNECTION WITH THIS RESPONSIBILITY, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MINIMUM DOCUMENTATION / INFORMATION AS MAY BE NECESSARY:
- 1. CONTRACTOR SHALL PROVIDE A ONE-LINE DIAGRAM MAPPING THE ELECTRICAL CONFIGURATION OF THE ENTRANCE SERVICE TO THE HOME FOR REVIEW & APPROVAL BY ARCHITECT. ELECTRIC SERVICE TO THE HOME SHALL BE RUN UNDERGROUND, SERVICE METER LOCATION SHALL BE COORDINATED WITH LOCAL UTILITY AND OWNER.
- 2. CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY ELECTRICAL MATERIALS AND EQUIPMENT INCLUDING, BUT NOT LIMITED TO PRIMARY BUILDING SERVICE AND MAIN ELECTRICAL PANEL, SUBPANELS AND BREAKERS AS NECESSARY TO ACCOMMODATE NEW WORK. SUBPANELS SHALL BE FURNISHED AND INSTALLED THROUGHOUT THE HOME AS REASONABLY REQUIRED BY OWNER TO BEST ACCOMMODATE BUILDING LOAD AND PROVIDE CONVENIENT AND LOGICAL ELECTRICAL DISTRIBUTION.
- 3. LOCATION OF MAIN SUBPANEL SERVICE / BREAKER SERVICE PANEL SHALL BE IN THE MECHANICAL ROOM AS APPROVED BY OWNER
- 4. CONTRACTOR SHALL UTILIZE LIGHTING DESIGN INFORMATION PROVIDED ON THE CONSTRUCTION DRAWINGS WHICH DETAILS ALL PROPOSED LIGHTING FIXTURES TO BE USED ON THE PROJECT. CONTRACTOR SHALL PRICE THIS SCHEDULE ACCORDINGLY. RECESSED LIGHTING FIXTURES SHALL COMPLY WITH BCNYS SECTION N1102.4.5.
- 5. BASED ON LIGHTING FIXTURE SCHEDULE AND DIRECTION FROM OWNER, CONTRACTOR SHALL PROVIDE AN INTERIOR LIGHTING SWITCHING PLAN FOR REVIEW AND APPROVAL BY OWNER. LIGHTING PLANS SHALL INCLUDE ALL NECESSARY 3-WAY AND DIMMING SWITCHING AS DIRECTED BY OWNER. ALL INTERIOR LIGHTING SHALL BE FURNISHED WITH AN APPROPRIATE ELECTRONIC DIMMER SWITCH. DIMMER SWITCHES SHALL BE ELECTRONIC, FULLY COMPATIBLE WITH LIGHTING TO BE CONTROLLED, AND PROVIDED WITH VARIABLE PRESET CAPABILITY. DIMMERS SHALL BE LEVITON MAESTRO OR EQUAL AS APPROVED BY OWNER.
- 6. BASED ON LIGHTING FIXTURE SCHEDULE AND DIRECTION FROM OWNER, CONTRACTOR SHALL PROVIDE AN EXTERIOR LIGHTING SWITCHING PLAN FOR REVIEW AND APPROVAL BY OWNER. LIGHTING PLAN SHALL INCLUDE ALL NECESSARY 3-WAY AND DIMMING SWITCHING AS DIRECTED BY OWNER. ALL INTERIOR LIGHTING SHALL BE FURNISHED WITH AN APPROPRIATE ELECTRONIC DIMMER SWITCH. DIMMER SWITCHES SHALL BE ELECTRONIC, FULLY COMPATIBLE WITH LIGHTING TO BE CONTROLLED, AND PROVIDED WITH VARIABLE PRESET CAPABILITY. DIMMERS SHALL BE LEVITON MAESTRO OR EQUAL AS APPROVED BY OWNER.
- 7. BASED ON THE CONSTRUCTION DRAWINGS AND DIRECTION FROM OWNER, PROVIDE AN ELECTRICAL OUTLET AND COMMUNICATION SERVICES LOCATION PLAN FOR REVIEW & APPROVAL BY OWNER. ALL OUTLETS SHALL BE ON ARC-FAULT BREAKERS, WITH EXCEPTION THAT EXTERIOR OUTLETS AND OUTLETS IN WET LOCATIONS (SUCH AS KITCHEN AND BATHROOMS) SHALL BE ON GROUND FAULT INTERRUPTION (GFI) BREAKERS. THE USE OF GFI BREAKER OUTLETS WILL NOT BE ACCEPTABLE.
- 8. PROVIDE ALL NECESSARY ELECTRICAL SERVICE TO ALL HOME SYSTEMS, LIGHTING, EQUIPMENT, CONVENIENCE USE, AND APPLIANCES AS SHOWN ON CONSTRUCTION DOCUMENTS AND AS DETERMINED BY OWNER.
- CONTRACTOR SHALL FURNISH AND INSTALL LIGHT FIXTURE LAMPS AS NECESSARY. LAMPS SHALL BE INCANDESCENT, FLORESCENT OR LED AS DETERMINED BY OWNER. A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH-EFFICACY LAMPS. LAMP SPECIFICATION SHALL DETERMINED BY OWNER.

2) HVAC DESIGN BUILD REQUIREMENTS:

- A. CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES AS REQUIRED FOR THE NECESSARY PERMITTING OF THE PROJECT AND TO ALLOW FOR THE PROPER SCOPING, PRICING AND CONSTRUCTION OF THE WORK. ALL WORK SHALL BE DESIGNED, FURNISHED AND INSTALLED IN STRICT CONFORMANCE WITH ALL APPLICABLE AND CURRENT LAWS AND CODES AND ORDINANCES. IN CONNECTION WITH THIS RESPONSIBILITY, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MINIMUM DOCUMENTATION / INFORMATION:
- 1. CONTRACTOR SHALL CALCULATE THE A PROPERLY SIZED HVAC SYSTEM TO HEAT, COOL AND VENTILATE THE HOME. PROVIDE A ONE-LINE DIAGRAM MAPPING THE HVAC SERVICE CONFIGURATION OF THE HOME. DISTRIBUTION AND PIPING, TANKLESS WATER HEATER, HEATPUMPS, HIGH VELOCITY AIR HANDLERS, AIR HANDLERS, FURNACE LOCATION(S) WITHIN AND OUTSIDE OF THE HOME SHALL BE COORDINATED WITH OWNER. SYSTEMS ARE TO BE PRIMARILY LOCATED IN THE MECHANICAL ROOM. PUMPS, PIPING, CONTROLS, POWER, ETC., SHALL BE LOCATED AS APPROVED BY OWNER. ALL EXTERIOR EQUIPMENT SHALL BE LOCATED IN KEEPING WITH TOWN ZONING AND AS COORDINATED WITH THE OWNER. PROVIDE COMPLETE SYSTEM DESIGN, CONFIGURATION AND SPECIFICATIONS TO OWNER FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH WORK.
- 2. PROVIDE COMPLETE DESIGN FOR HVAC EQUIPMENT, PIPING, DUCTWORK SUPPLY AND RETURN AIR DISTRIBUTION, CONTROLS AND POWER PLAN FOR REVIEW & APPROVAL BY ARCHITECT.
- 3. ALL DUCTWORK SHALL BE PROVIDED WITH ADJUSTABLE DAMPERS FOR PROPER BALANCING OF THE COMPLETE SYSTEM. CONTRACTOR SHALL PROVIDE AN INITIAL COMFORT BALANCE THE SYSTEM FOR PROPER OPERATION.
- 4. THERMOSTATS SHALL BE FULLY PROGRAMMABLE AND WI-FI ENABLED. PROVIDE ALL THERMOSTATS AS NECESSARY TO FACILITATE A FULLY FUNCTIONAL SYSTEM. EACH HEATING / COOLING (OR SUB-ZONE AS OCCURS) SHALL HAVE A SEPARATE DEDICATED THERMOSTAT. THERMOSTATS SHALL BE LOCATED AS DIRECTED BY OWNER.
- 5. ALL OUTDOOR EQUIPMENT SHALL BE LOCATED ON PRECAST CONCRETE PADS.
- 6. COORDINATE ALL NECESSARY ELECTRICAL WORK WITH ELECTRICIAN. LOCATION OF ANY EXTERIOR DISCONNECT EQUIPMENT SHALL BE COORDINATED WITH OWNER TO MINIMIZE VISIBILITY.
- 7. EACH TOILET AND BATHROOM SHALL BE FURNISHED WITH AN IN-LINE EXHAUST VENTILATION FANS PROPERLY SIZED AS REQUIRED. PROVIDE ALL NECESSARY DUCTING AND EXTERIOR DAMPERS AS MAY BE NEEDED. LOCATION OF EXTERIOR DAMPERED VENTS SHALL BE COORDINATED WITH OWNER TO MINIMIZE VISIBILITY. ALL EXHAUST FANS SHALL INCLUDE WALL MOUNTED TIMER SWITCH.
- 8. PROVIDE ALL NECESSARY DUCTWORK AND DAMPERS FOR KITCHEN HOOD EXHAUST FANS (AS MAY BE NEEDED). SIZE AND LOCATE EXHAUST DUCTWORK AS NECESSARY TO ACCOMMODATE EXHAUST HOOD AS SELECTED BY OWNER. LOCATION OF EXTERIOR DAMPERED KITCHEN EXHAUST VENT SHALL BE COORDINATED WITH OWNER TO MINIMIZE VISIBILITY.
- 9. PROPOSED AIR SUPPLY AND RETURN GRILLES, AND LOCATIONS OF SAME THROUGHOUT THE HOME SHALL BE REVIEWED AND APPROVED BY OWNER.
- 10. ALL EXTERIOR DAMPERED VENTS SHALL BE LOCATED AS DIRECTED BY OWNER TO MINIMIZE VISIBILITY. DAMPERED VENTS SHALL BE OF A PROPER MATERIAL AND FINISH TO COMPLEMENT EXTERIOR WEATHERSKIN MATERIAL.

3) PLUMBING DESIGN BUILD REQUIREMENTS:

- A. CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES AS REQUIRED FOR THE NECESSARY PERMITTING OF THE PROJECT AND TO ALLOW FOR THE PROPER SCOPING, PRICING AND CONSTRUCTION OF THE WORK. ALL WORK SHALL BE DESIGNED, FURNISHED AND INSTALLED IN STRICT CONFORMANCE WITH ALL APPLICABLE AND CURRENT LAWS AND CODES AND ORDINANCES. IN CONNECTION WITH THIS RESPONSIBILITY, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MINIMUM DOCUMENTATION / INFORMATION:
- PROVIDE A ONE-LINE DIAGRAM MAPPING THE PLUMBING SUPPLY AND WASTE CONFIGURATION TO AND WITHIN THE HOME, AND TO THE EXISTING SANITARY WASTE
 SYSTEM. EXISTING PLUMBING SERVICE TO THE HOME (WASTE AND SUPPLY) SHALL BE MAINTAINED AND RECONFIGURED UNDER THIS CONTRACT TO ACCOMMODATE ALL
 NEW WORK. SERVICE METER LOCATION SHALL BE COORDINATED WITH LOCAL UTILITY AND OWNER.
- LOCATION OF EXISTING SANITARY SYSTEM SHALL BE FULLY IDENTIFIED IN FIELD AND STAKED TO ASSURE SUCH SYSTEMS ARE INTACT AND WELL PROTECTED FROM WORK. MODIFY EXISTING SYSTEM AS MAY BE NECESSARY TO PERFORM WORK AND ACCOMMODATE NEW HOME.
- 3. PLUMBING FIXTURE SCHEDULE AS PROVIDED ON THE ARCHITECTURAL DRAWINGS, DETAILS ALL PROPOSED PLUMBING FIXTURES TO BE USED ON THE PROJECT. CONTRACTOR SHALL PRICE AND FURNISH THESE FIXTURES AS SCHEDULED ACCORDINGLY.
- 4. NEW UNDERGROUND WASTE LINES SHALL UTILIZE SCHEDULE 40 PVC. NEW ABOVE GROUND WASTE LINES SHALL UTILIZE SUITABLE CAST IRON PIPE. ALL EXISTING WASTE LINES SERVICING THE SECOND FLOOR AND LOCATED IN THE CEILING OF THE FIRST FLOOR SHALL BE REMOVED AND REPLACED WITH NEW SUITABLE CAST IRON PIPE.
- 5. NEW SUPPLY LINES SHALL UTILIZE PROPERLY SIZED SCHEDULE DUCTILE TYPE L COPPER WITH LEAD FREE SOLDER. PROVIDE ALL VALVES AND FITTINGS AS REQUIRED FOR COMPLETE INSTALLATION. ALL PLUMBING FIXTURES SHALL HAVE A CONCEALED VALVE SHUT OFF IN NEAR AND CONVENIENT PROXIMITY. THE USE OF PEX PLUMBING LINES ON DOMESTIC WATER SYSTEM WILL NOT BE PERMITTED.
- 6. FURNISH AND INSTALL CORRUGATED PERFORATED POLYETHYLENE UNDERDRAIN PIPE IN DRAINAGE FILL AND FABRIC WRAP (DRAIN TILE) AS NOTED ON CONSTRUCTION DRAWINGS.
- 7. FURNISH AND INSTALL PREFORMED CONCRETE SUMP CROCK WITH SEALED PVC CAP. SIZE AND DEPTH AS NECESSARY TO ACCOMMODATE OCCURRING FIELD CONDITIONS. FURNISH AND INSTALL 1HP PUMP WITH GRAVITY SWITCH FOR SUMP WATER EJECTION. SUMP WATER EJECTION LINES SHALL BE SCHEDULE 40 PVC WITH BACKFLOW PREVENTION VALVE. FURNISH AND INSTALL DEDICATED 20 AMP ELECTRICAL CIRCUIT TO OPERATE PUMP.

LIST OF DRAWINGS

GENERAL

G000 Cover Pag

STRUCTURAL

S100 Structural Framing Plan

ARCHITECTURAL

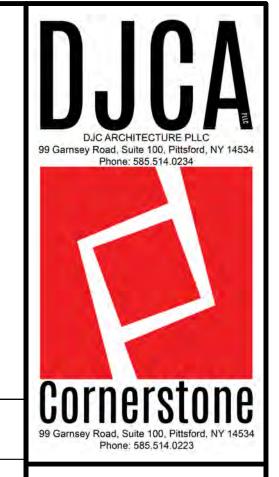
A100 Plans

A200 Elevations
A300 Sections

Total Sheets: 5

PERSPECTIVE VIEW





amilton Residence Renovations

Revision Schedule

Design Review & 10/01/20
Historic Preservation
Board Submission



WARNING
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING
UNDER THE DIRECTION OF THE ARCHITECT, TO ALTER OR
REPRODUCE THESE DRAWINGS IN ANY WAY.

Scale:

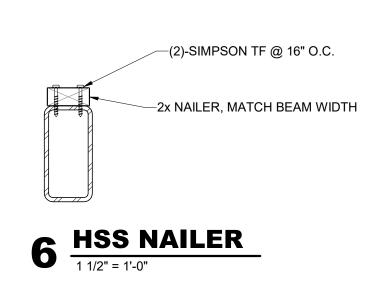
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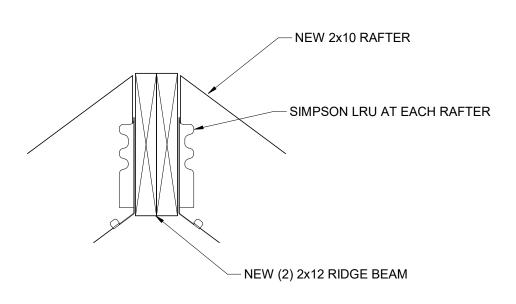
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10/01/2025

Drawing Title:

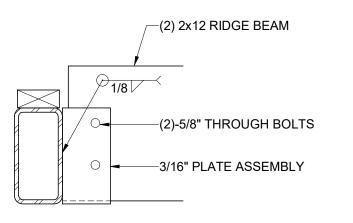
Cover Page

G000

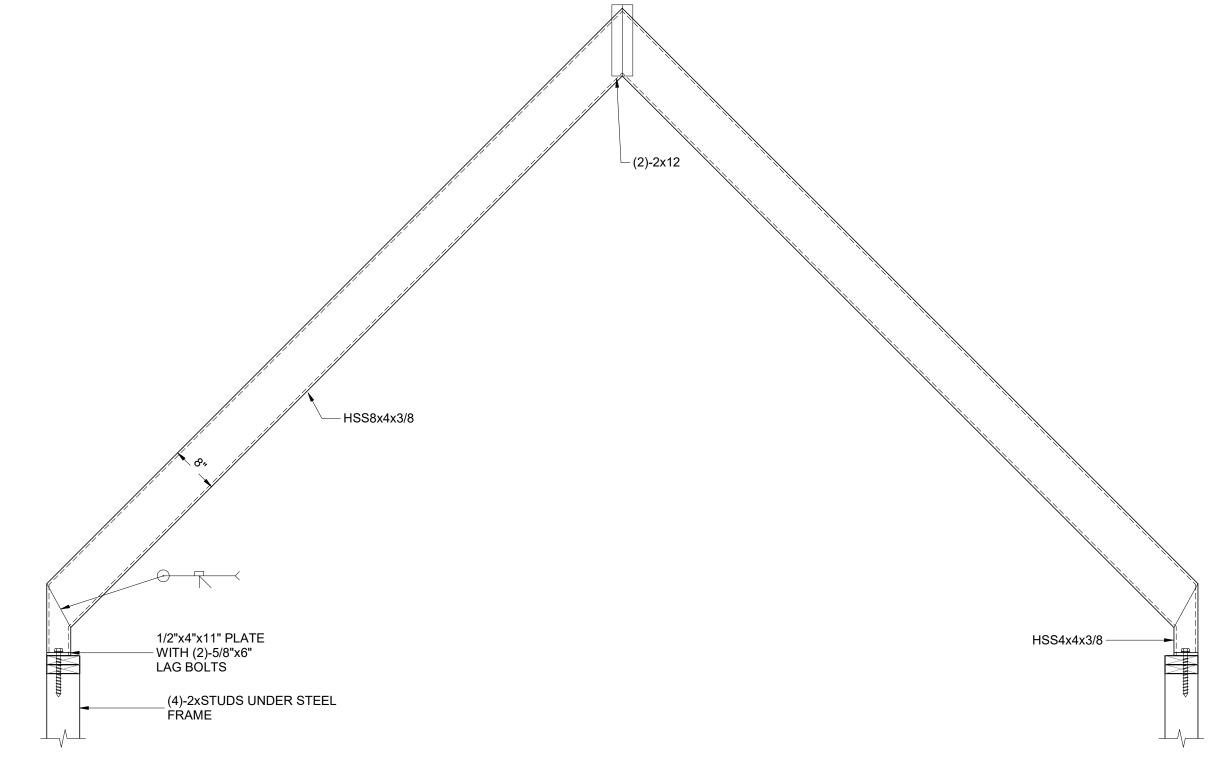




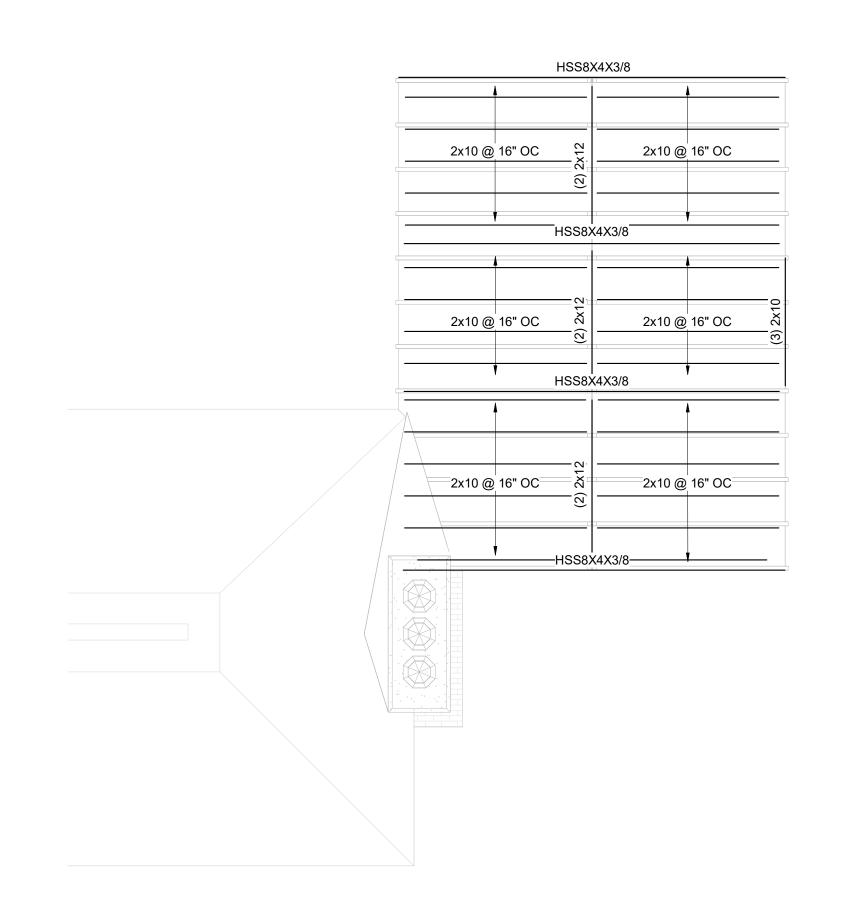
5 RAFTER TO RIDGE 1 1/2" = 1'-0"



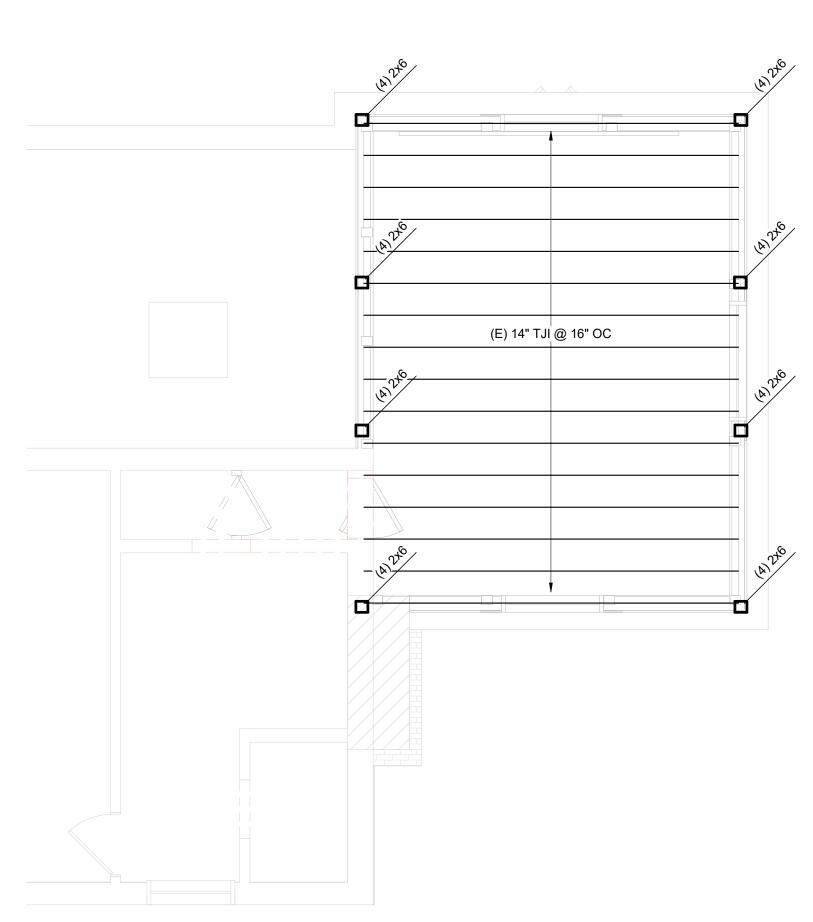
4 RIDGE BEAM HANGER
1 1/2" = 1'-0"



3 HSS ROOF FRAME



2 NEW ROOF PEAK (+/-)
1/4" = 1'-0"



T.O. SCREENED PORCH1/4" = 1'-0"



Hamilton Residence Renovations

Revision Schedule Revision/Submission Design Review & 10/01/2025
Historic Preservation
Board Submission



XX22.X As indicated

09/29/2025

STRUCTURAL

FRAMING PLAN

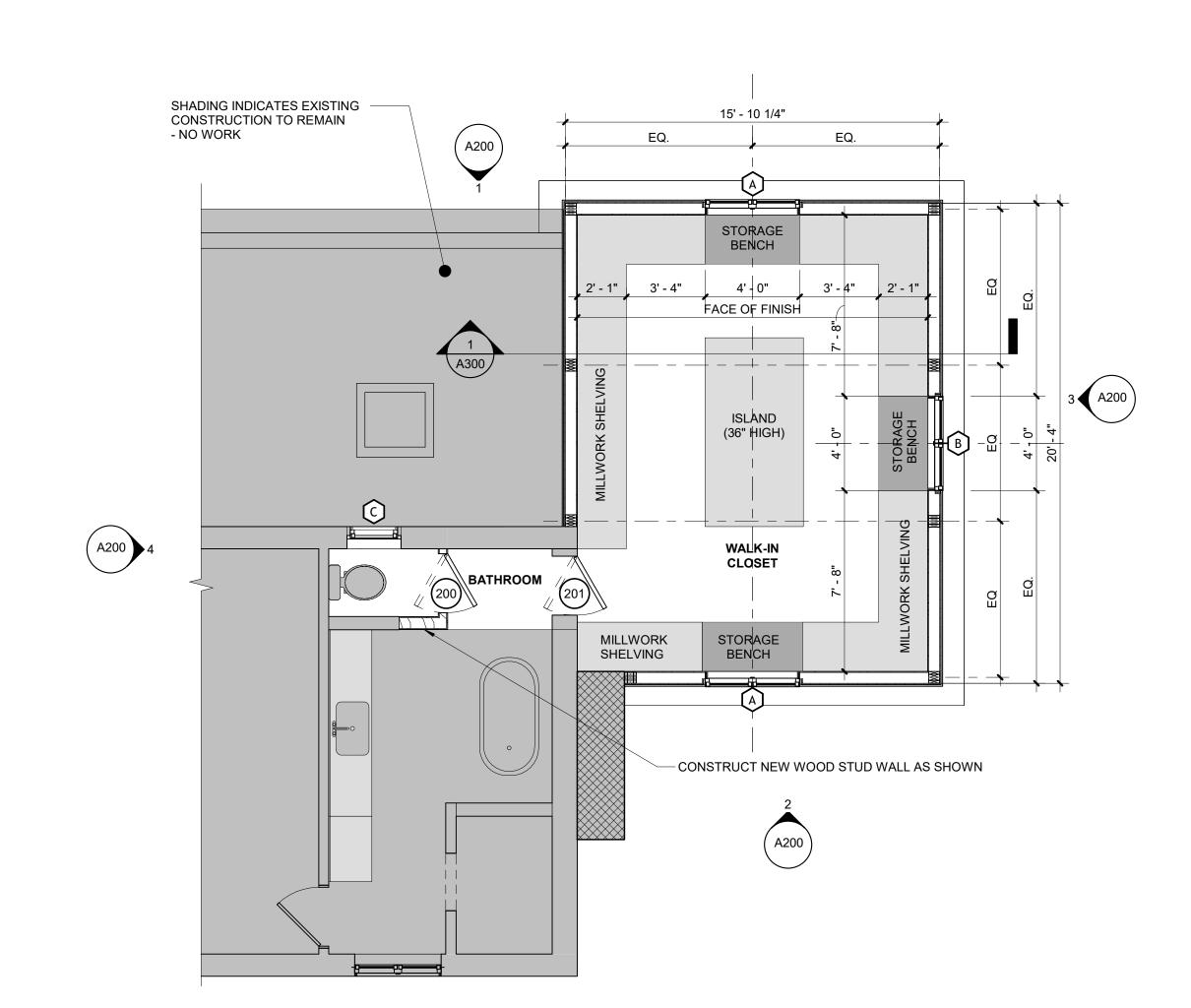
S100

GENERAL CONSTRUCTION NOTES:

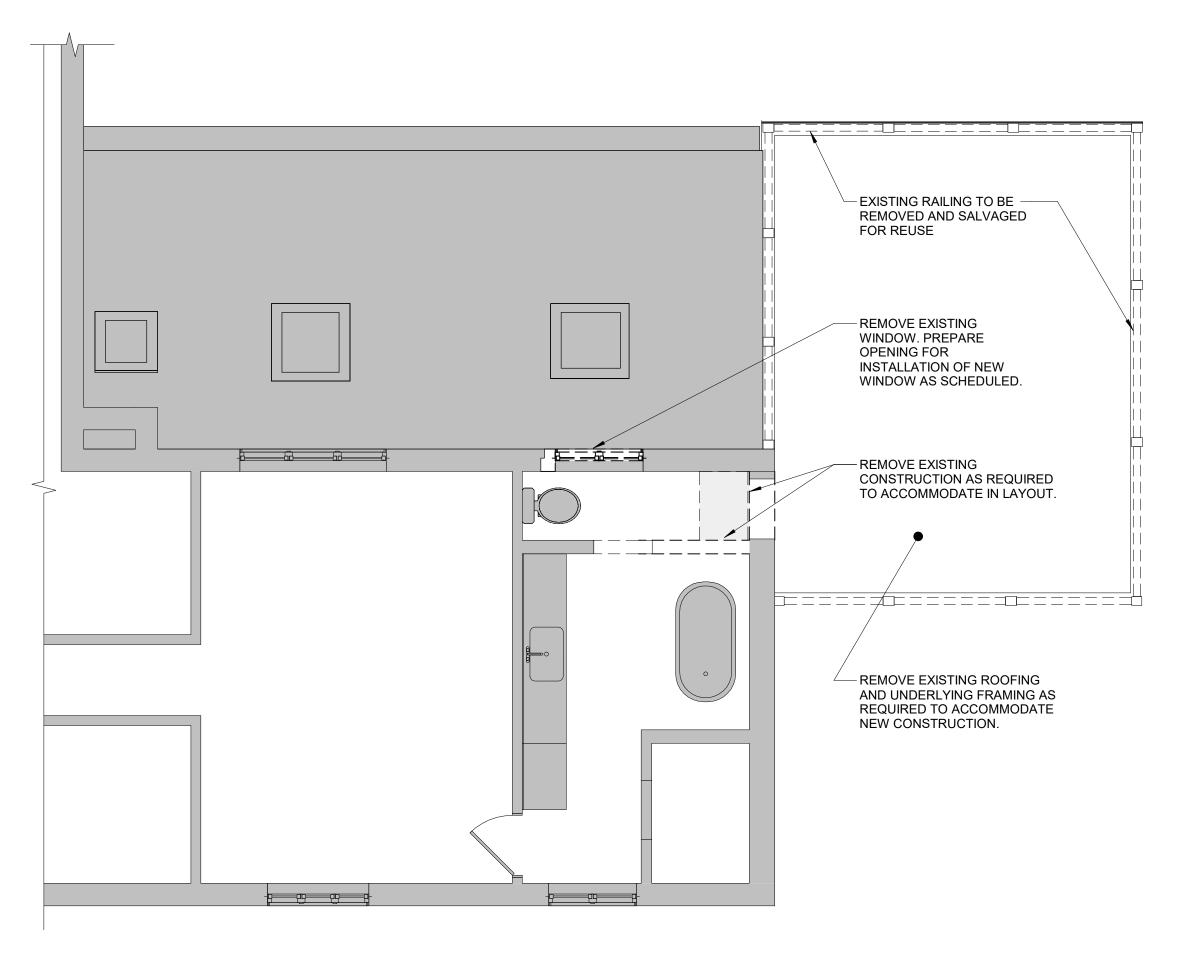
- A. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD WHETHER OR NOT THEY ARE NOTED AS SUCH.
- B. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- C. FURNISH & INSTALL NEW WALLS AS SCHEDULED, SPECIFIED AND NOTED. REFER TO DETAILS WHERE APPLICABLE.
- D. FURNISH & INSTALL NEW DOORS, FRAMES AND HARDWARE AS SCHEDULED, SPECIFIED AND NOTED. REFER TO DETAILS WHERE APPLICABLE.
- E. FURNISH & INSTALL NEW FLOORING, WALL AND CEILING FINISHES AS SCHEDULED, SPECIFIED AND NOTED ON ALL DRAWINGS. REFER TO DETAILS WHERE APPLICABLE.
- F. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION OF ANY NEW MILLWORK OR ACCESSORIES AND AS NEEDED TO PROPERLY COMPLETE THE WORK FOR THIS PROJECT.

DOOR SCHEDULE							
Mark	ROOM NAME	HEIGHT	WIDTH	DOOR TYPE	NOTES		
200	BATHROOM	6' - 8"	2' - 6"	MATCH EXISTING			
204	DATUDOOM	61 0"	01 611	MATCH EVICTING			

WINDOW SCHEDULE						
Type Mark	Height	Width	Manufacturer			
Α	A 4' - 10 1/2" 4' - 0" Final window selection and dimensions to be determined by owner. All dimensions to be verified in field.					
С	3' - 10 1/4"	2' - 0"	Final window selection and dimensions to be determined by owner. All dimensions to be verified in field.			

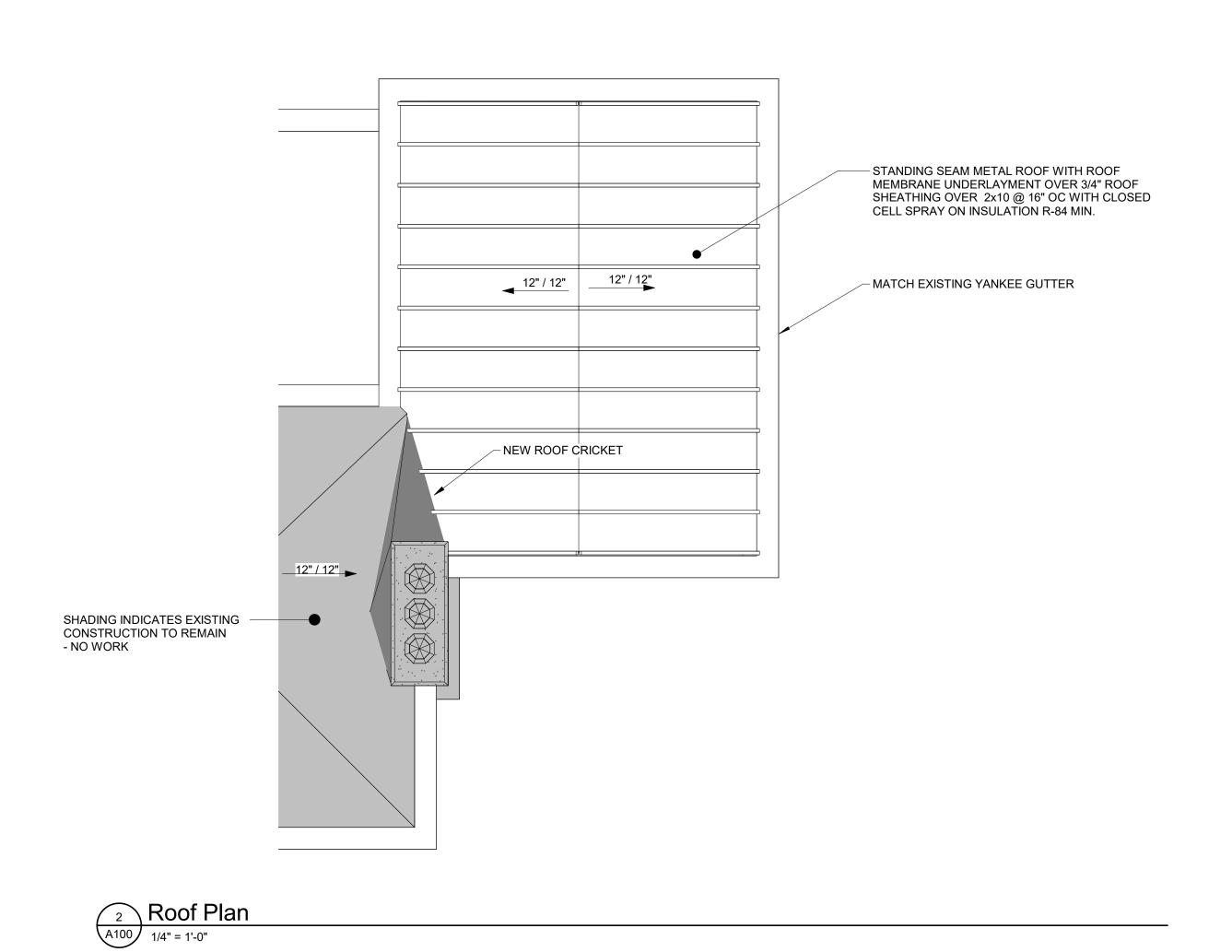


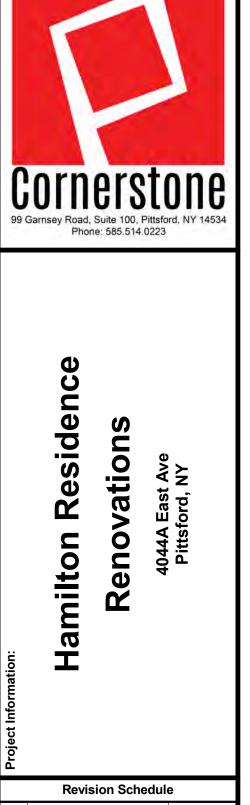




Second Floor Demolition Plan

A100 1/4" = 1'-0"





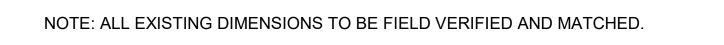
No. Revision/Submission Date Design Review & 10/01/2025 **Historic Preservation Board Submission**

1/4" = 1'-0"

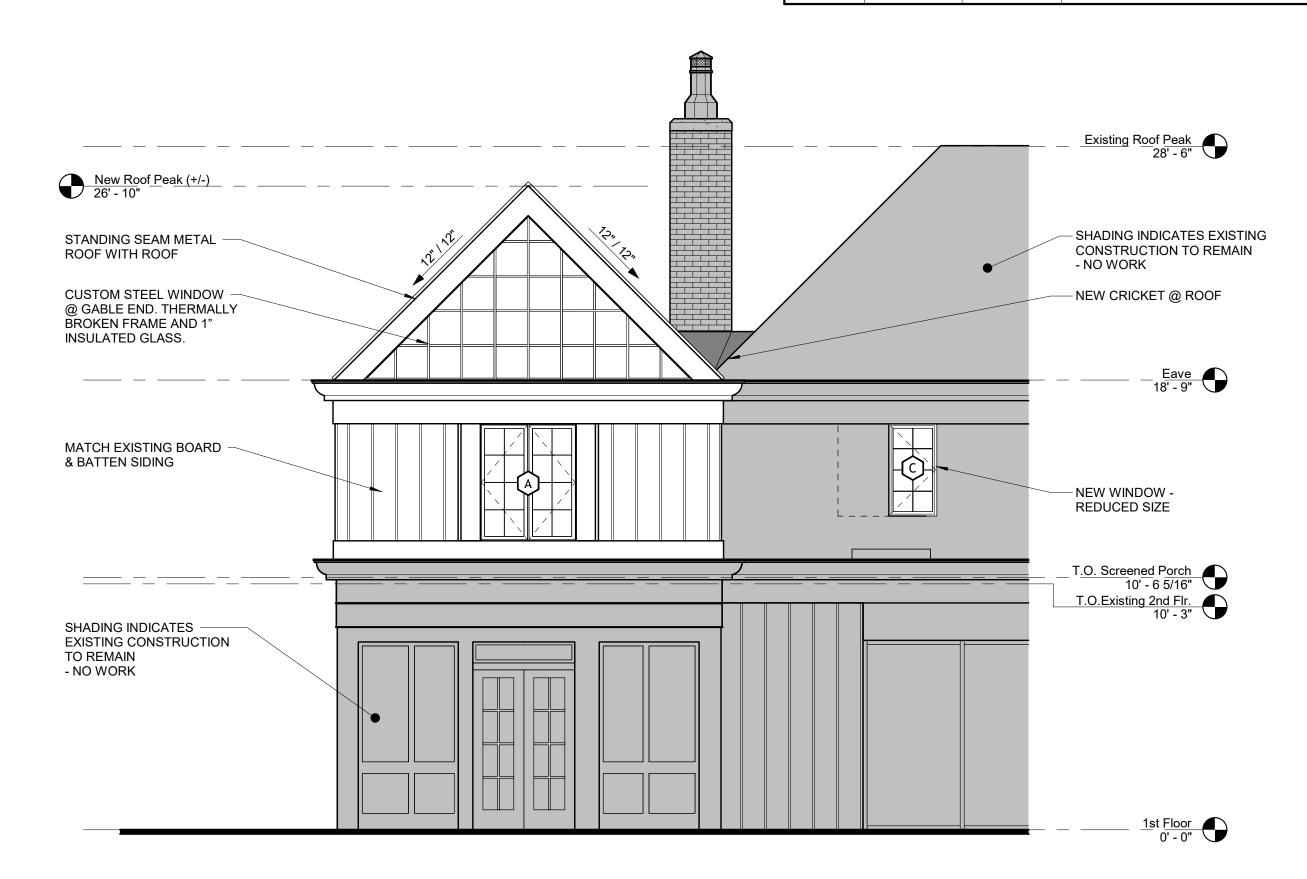
10/01/2025

North

A100



WINDOW SCHEDULE						
Type Mark	Type Mark Height Width Manufacturer		Manufacturer			
Α	4' - 10 1/2"	4' - 0"	Final window selection and dimensions to be determined by owner. All dimensions to be verified in field.			
С	3' - 10 1/4"	2' - 0"	Final window selection and dimensions to be determined by owner. All dimensions to be verified in field.			



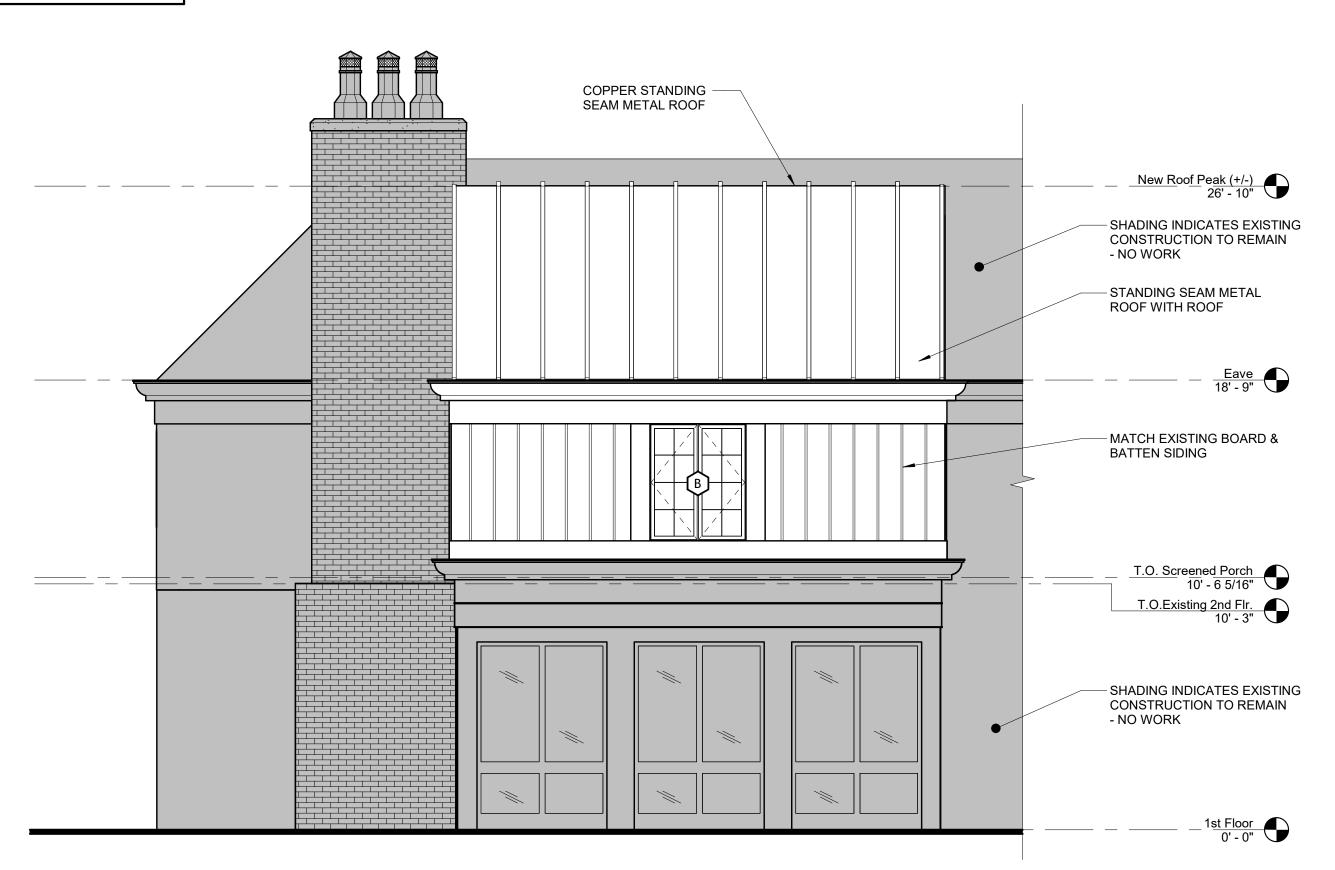
North Elevation

A200 1/4" = 1'-0"

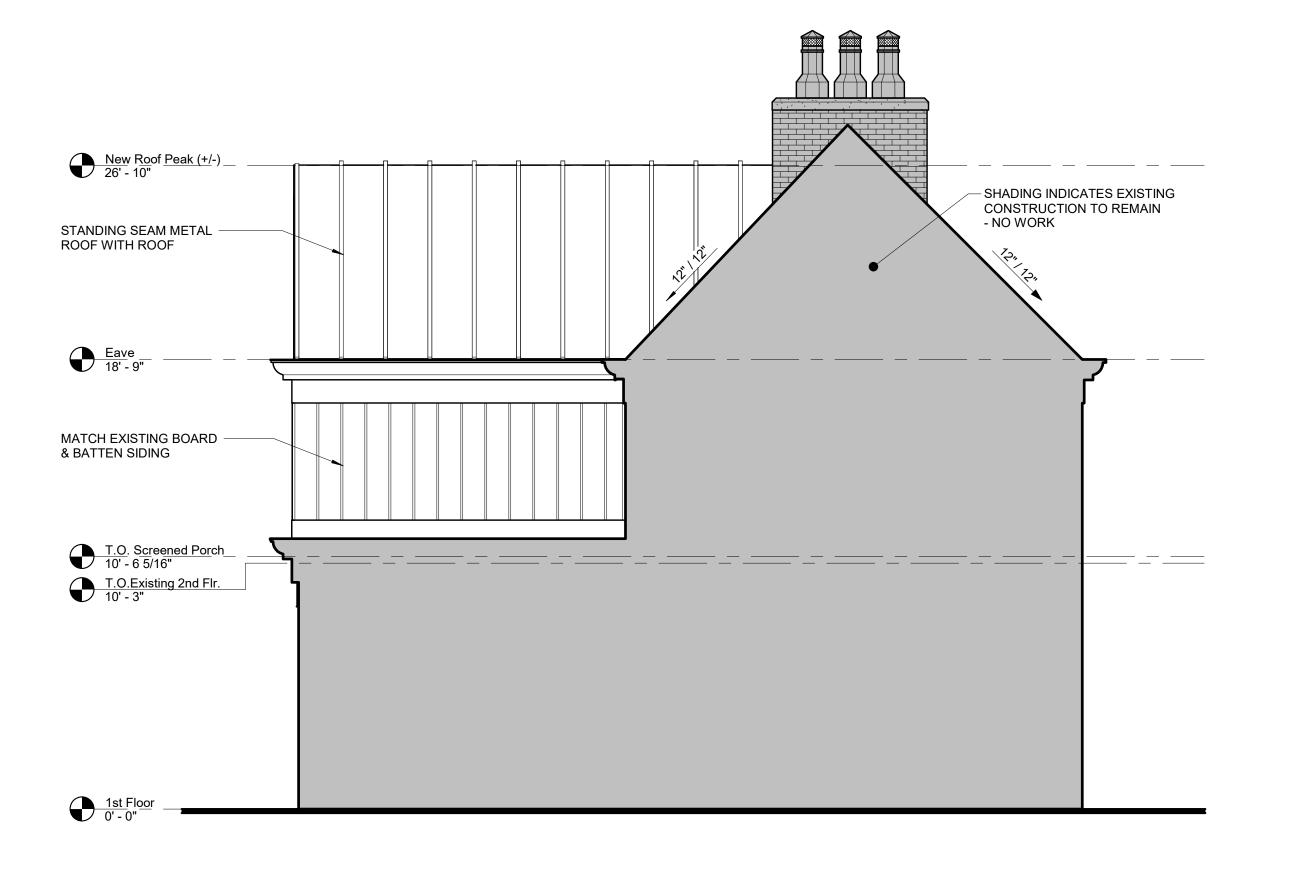


South Elevation

A200 1/4" = 1'-0"

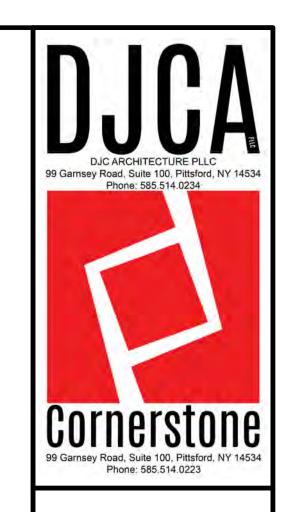


3 East Elevation
A200 1/4" = 1'-0"



West Elevation

A200 1/4" = 1'-0"



Hamilton Residence Renovations

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Design Review & **Historic Preservation Board Submission**

1/4" = 1'-0"

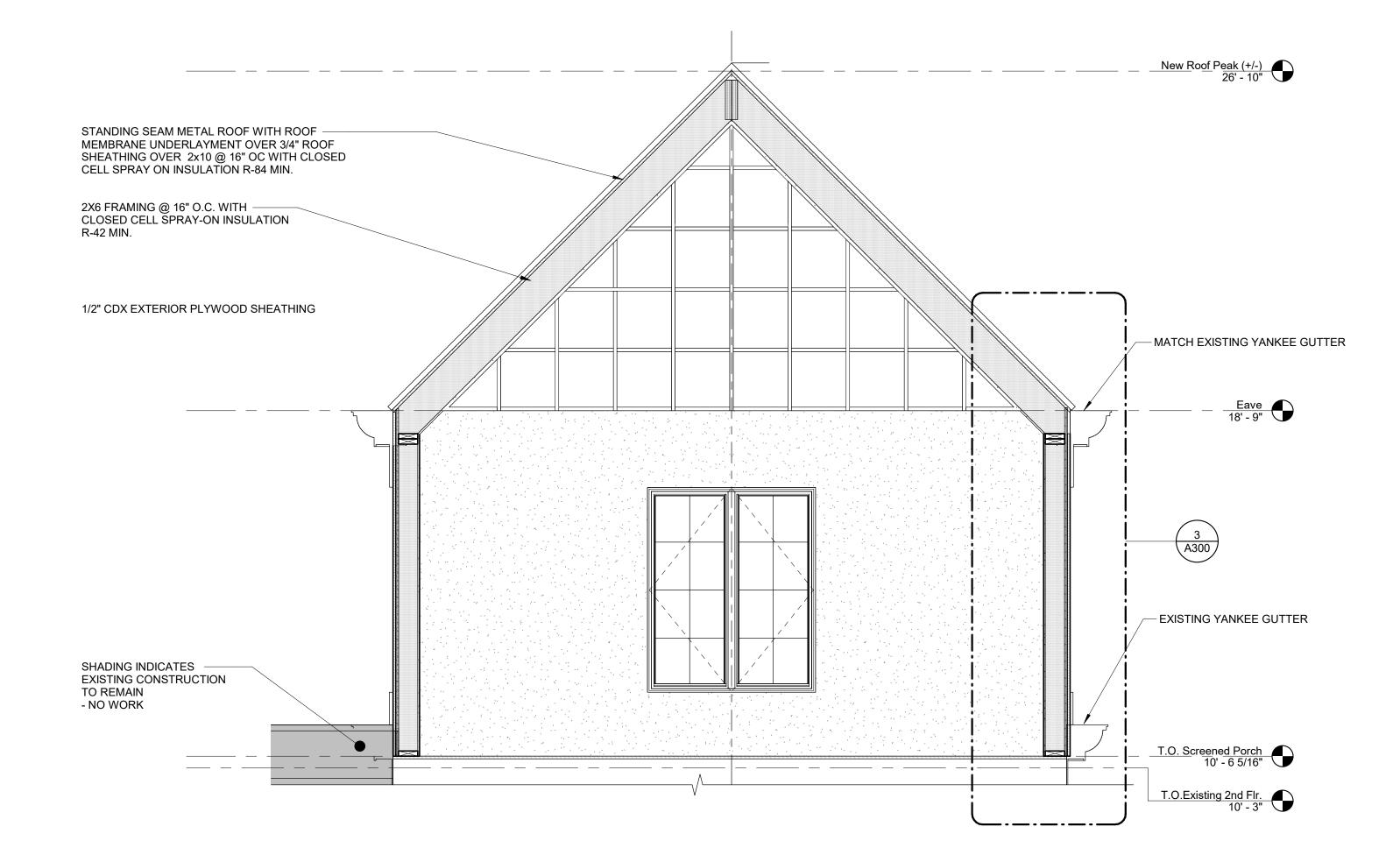
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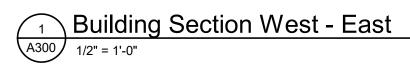
Elevations

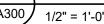
A200

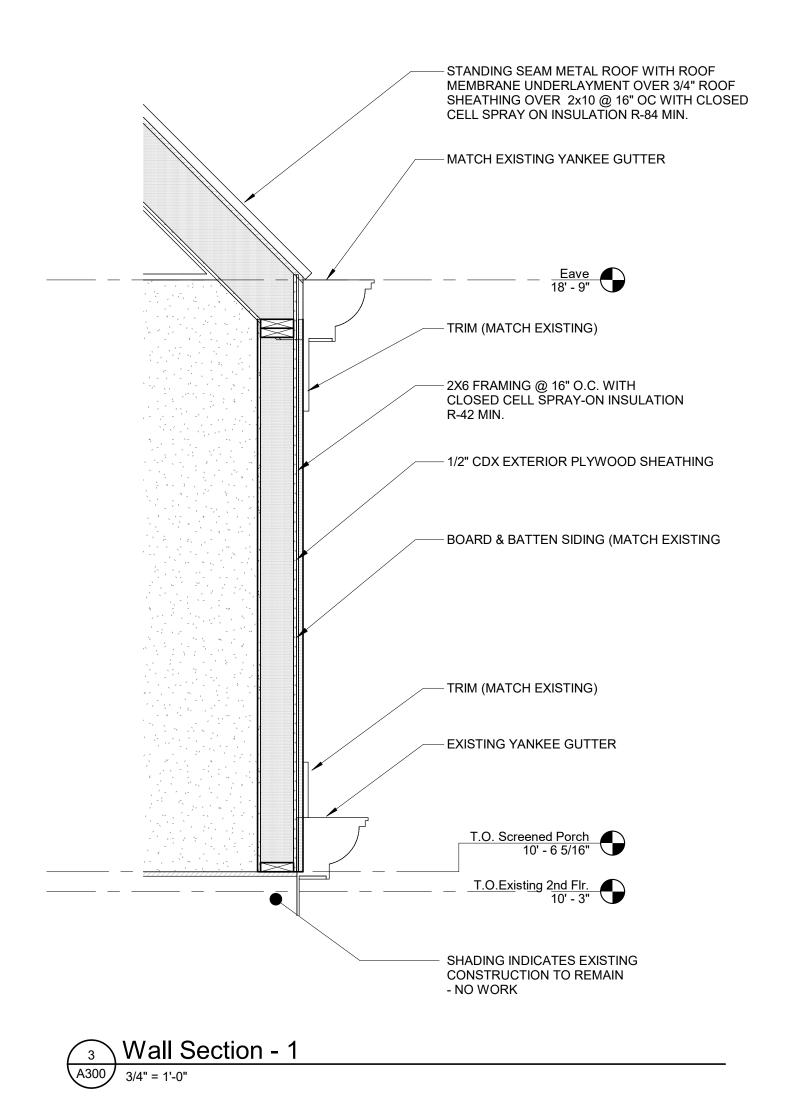
GENERAL CONSTRUCTION NOTES:

- A. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD WHETHER OR NOT THEY ARE NOTED AS SUCH.
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- D. FURNISH & INSTALL NEW DOORS, FRAMES AND HARDWARE AS SCHEDULED, SPECIFIED AND NOTED. REFER TO DETAILS WHERE APPLICABLE.
- E. FURNISH & INSTALL NEW FLOORING, WALL AND CEILING FINISHES AS SCHEDULED, SPECIFIED AND NOTED ON ALL DRAWINGS. REFER TO DETAILS WHERE APPLICABLE.
- F. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION OF ANY NEW MILLWORK OR ACCESSORIES AND AS NEEDED TO PROPERLY COMPLETE THE WORK FOR THIS PROJECT.









Hamilton Residenc Renovations

Revision Schedule No. Revision/Submission Date

Design Review & 10/01/2025 **Historic Preservation**

Board Submission

As indicated

10/01/2025

Sections

A300









10/1/25, 1:15 PM Letter View



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B25-000120

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 68 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.04-1-26

Zoning District: IZ Incentive Zoning **Owner:** BPS Capital Ventures LLC

Applicant: Spall Homes Corp/Spall Realtors Corp

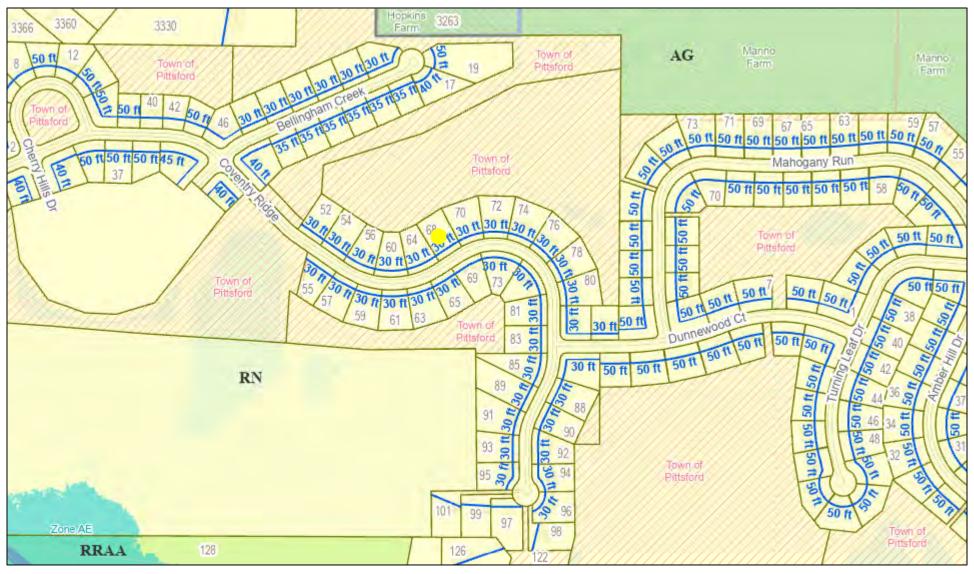
Δn	nlica	tion	Type	•
Ab.	piica	LIOII	Iypc	•

	Residential Design Review	_	Build to Line Adjustment
✓	§185-205 (B)	J	§185-17 (B) (2)
	Commercial Design Review	_	Building Height Above 30 Feet
	§185-205 (B)	J	§185-17 (M)
	Signage	_	Corner Lot Orientation
	§185-205 (C)	J	§185-17 (K) (3)
	Certificate of Appropriateness	_	Flag Lot Building Line Location
	§185-197	J	§185-17 (L) (1) (c)
	Landmark Designation	_	Undeveloped Flag Lot Requirements
	§185-195 (2)	J	§185-17 (L) (2)
	Informal Review		

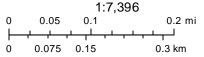
Project Description: Applicant is requesting design review for the construction of a two story single family home approximately 3613 square feet that is located in the Coventry Ridge Subdivision.

Meeting Date: October 09, 2025

Residential Neighborhood Zoning



10/1/2025, 1:18:58 PM



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW,

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF the Area of the Vented Space.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G242O.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

SECTION R316 - FOAM PLASTIC:

THE PROVISIONS OF THIS SECTION SHALL GOVERN THE MATERIALS, DESIGN, APPLICATION, CONSTRUCTION AND INSTALLATION OF FOAM PLASTIC MATERIALS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

- 1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF. 6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pg.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY) THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF

THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. 2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pg) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE, ALL REGISTERS SHALL

BE TAPED OR OTHERWISE SEALED DURING THE TEST. R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3. R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).

HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- 1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- 2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE. 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- 5. PIPING LOCATED UNDER A FLOOR SLAB.
- 7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

SPEC HOUSE - THE LAKE PLACID

LOT 53 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP.

PLAN 3613 / PROJECT 15515

PLYWOOD

LVL, PSL, LSL

CONCRETE

DECAY DAMAGE

ROOF TIE DOWN REQUIREMENTS

SHEET INDEX

C-1 COVER SHEET

1/6 FRONT & LEFT ELEVATIONS

2/6 REAR & RIGHT ELEVATIONS & ROOF PLAN

3/6 FOUNDATION PLAN

4/6 FIRST FLOOR PLAN 5/6 SECOND FLOOR

6/6 SECTIONS

N-1 DETAILS

N-2 REINFORCING NOTES

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFIL. PER SECT. R404.1.7 RCNYS

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2"

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

WOOD TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE & AS PER SECT R802.10 (RCNYS) R502.6 BEARING: THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, HAVE NOT LESS THAN 3" OF BEARING ON MASONRY OR CONCRETE OR BE SUPPORTED BY APPROVED JOIST HANGERS.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN

PROVIDE BRACED WALL PANELS AS PER SECT. R602.10.2 - R602.10.10.3 OF 2020 RCNYS.

PLACE DURING CONSTRUCTION. UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE

UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS. STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING. MIN. 1 1/2" SPACE BETWEEN WALL & RAILING. GRIP SIZE TO BE PER SECTION R3 1 1.7.8.5 OF 2020 RCNYS

STAIR ILLUMINATION PER SECTION R3 1 1.7.9 OF 2020 RCNYS.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL ASTM A-36, Fy = 36 ksiREINFORCED STEEL ASTM A-615, Fy = 40 ksiWIRE MESH ASTM A-185, 6 x 6 - 10/10 W.W.M.

> ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I.

UNLESS NOTED OTHERWISE

CDX, PANEL INDEX Fb = 2600 Fv = 285

MASONRY ASTM C90, GRADE N-1, Fm = 1350 PSI

MORTAR ASTM C270, TYPE S Fc = 2000 PSI ASTM C476 GROUT

> Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS

> > ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

40 P.S.F. LIVING AREA LIVE LOAD 2ND FLOOR 30 P.S.F. LIVING AREA LIVE LOAD 1ST & 2ND FLOOR DEAD LOAD 15 P.S.F. GROUND SNOW LOAD 40 P.S.F.

ROOF DEAD LOAD 10 P.S.F. ALLOWABLE SOIL BEARING 2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE

WIND SPEED 115 MPH, EXPOSURE B SEISMIC DESIGN CATEGORY B SEVERE WEATHERING **42 INCHES** FROST LINE DEPTH SLIGHT TO MODERATE TERMITE DAMAGE

WINTER DESIGN TEMPERATURE 1 DEGREE REQUIRED 24" INSIDE OF EXTERIOR WALL LINE ICE SHEILD UNDERLAYMENT

FLOOD HAZARD FIRM - 2008

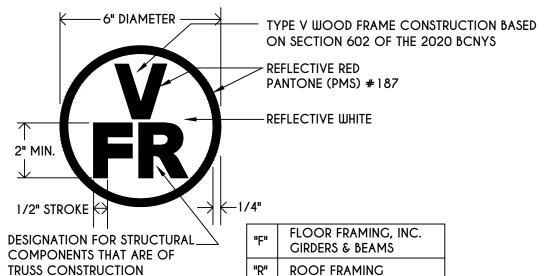
TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

ROOF DESIGN

NONE TO SLIGHT

R802.11, BASED UPON SPECIFIC



"FR" | FLOOR & ROOF FRAMING

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REVISIONS: DATE BY DESCRIPTION

> CLIENT/LOCATION: SPEC HOME - LAKE PLACID LOT 53 COVENTRY RIDGE

PITTSFORD, NY

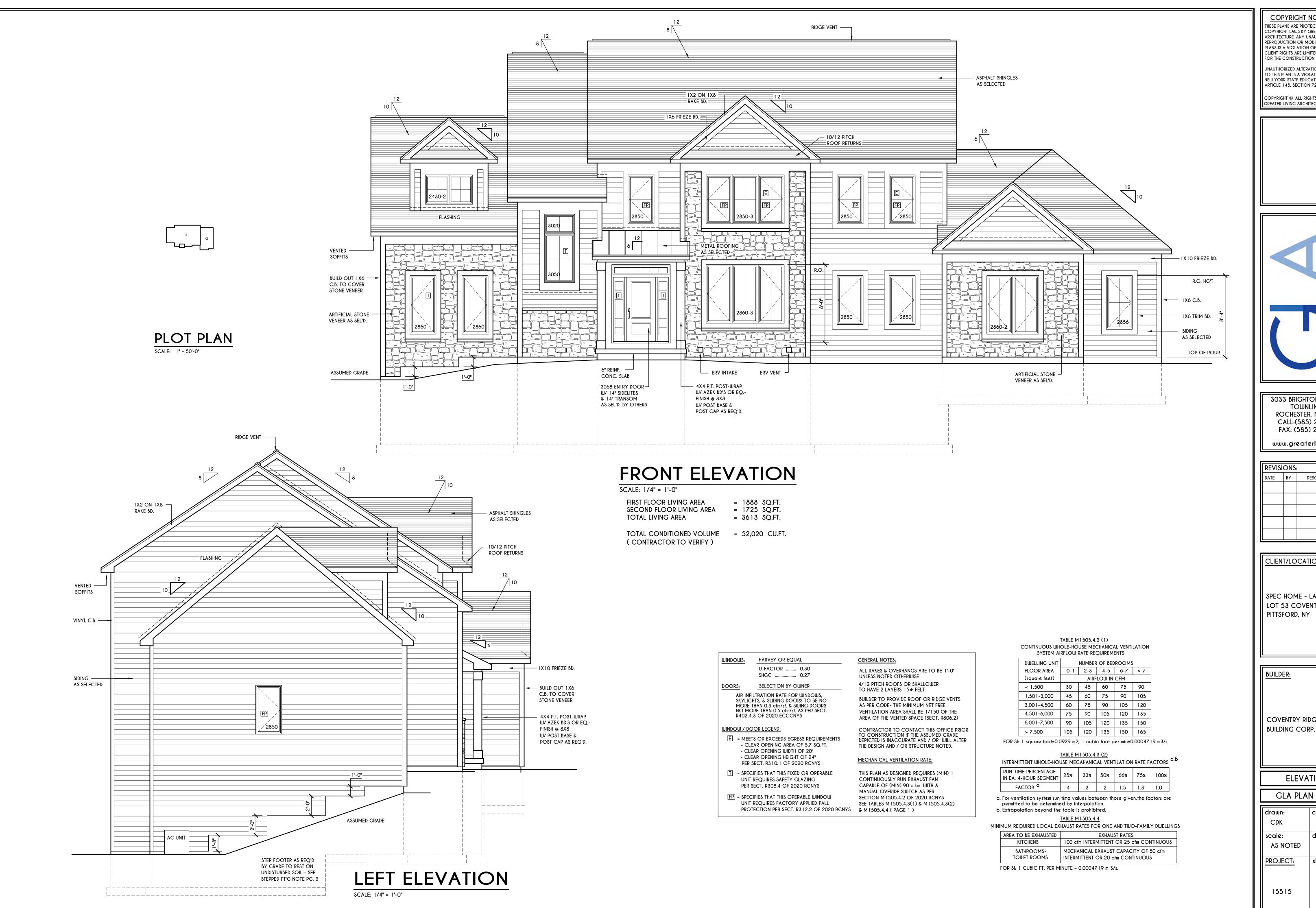
BUILDER:

COVENTRY RIDGE BUILDING CORP.

COVER PAGE

GLA PLAN 3613

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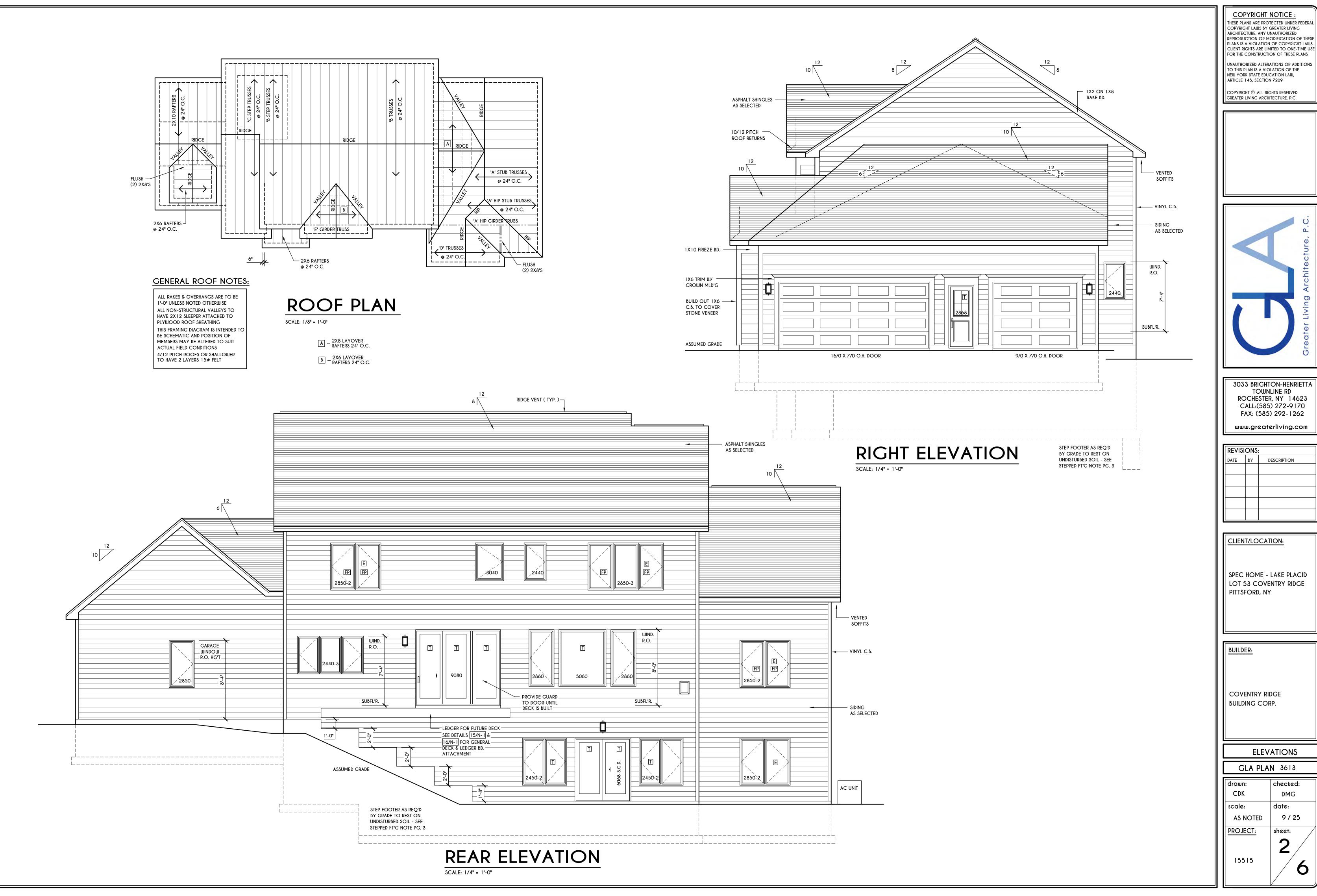
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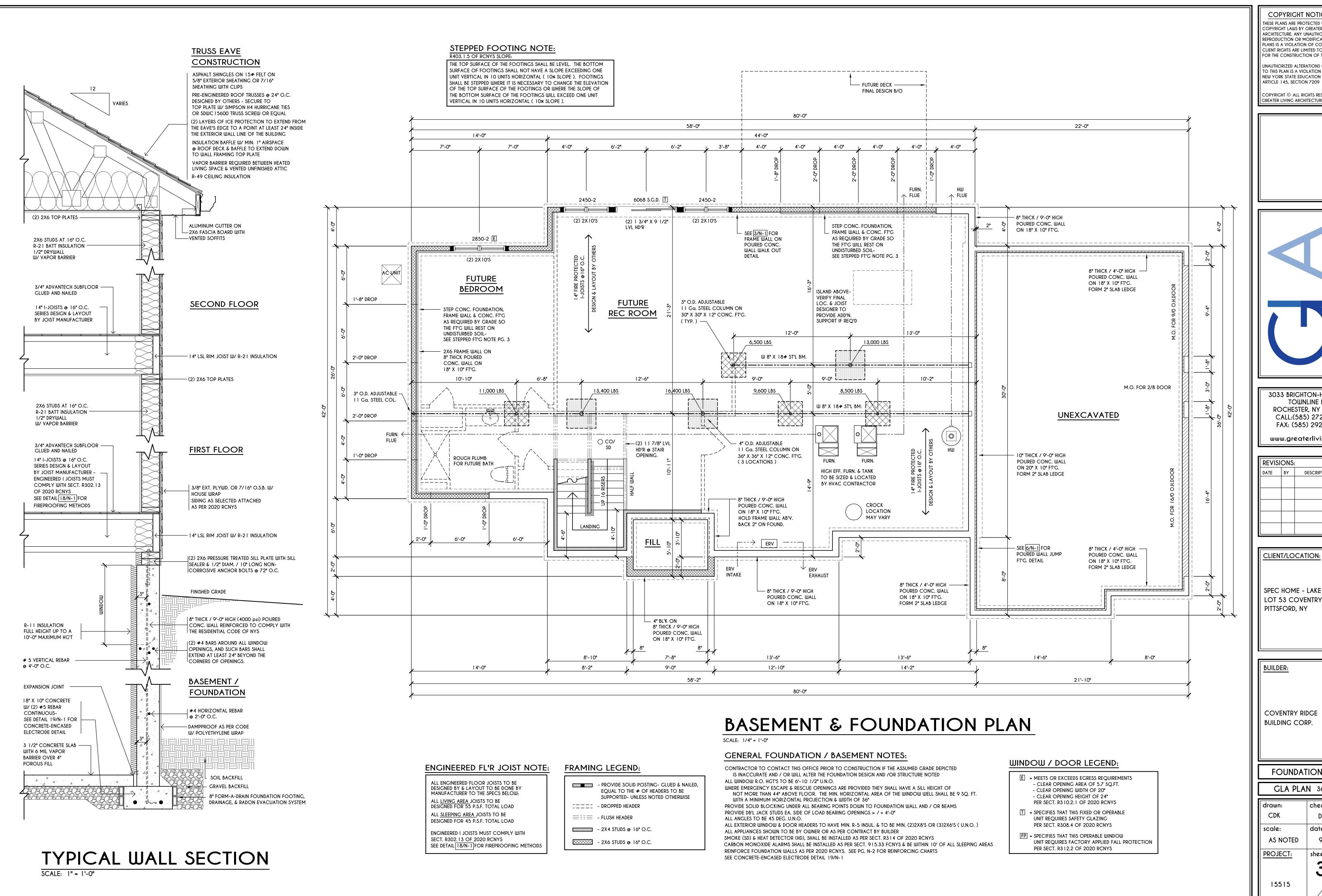
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COVENTRY RIDGE BUILDING CORP.

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CLIENT/LOCATION:

SPEC HOME - LAKE PLACID LOT 53 COVENTRY RIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

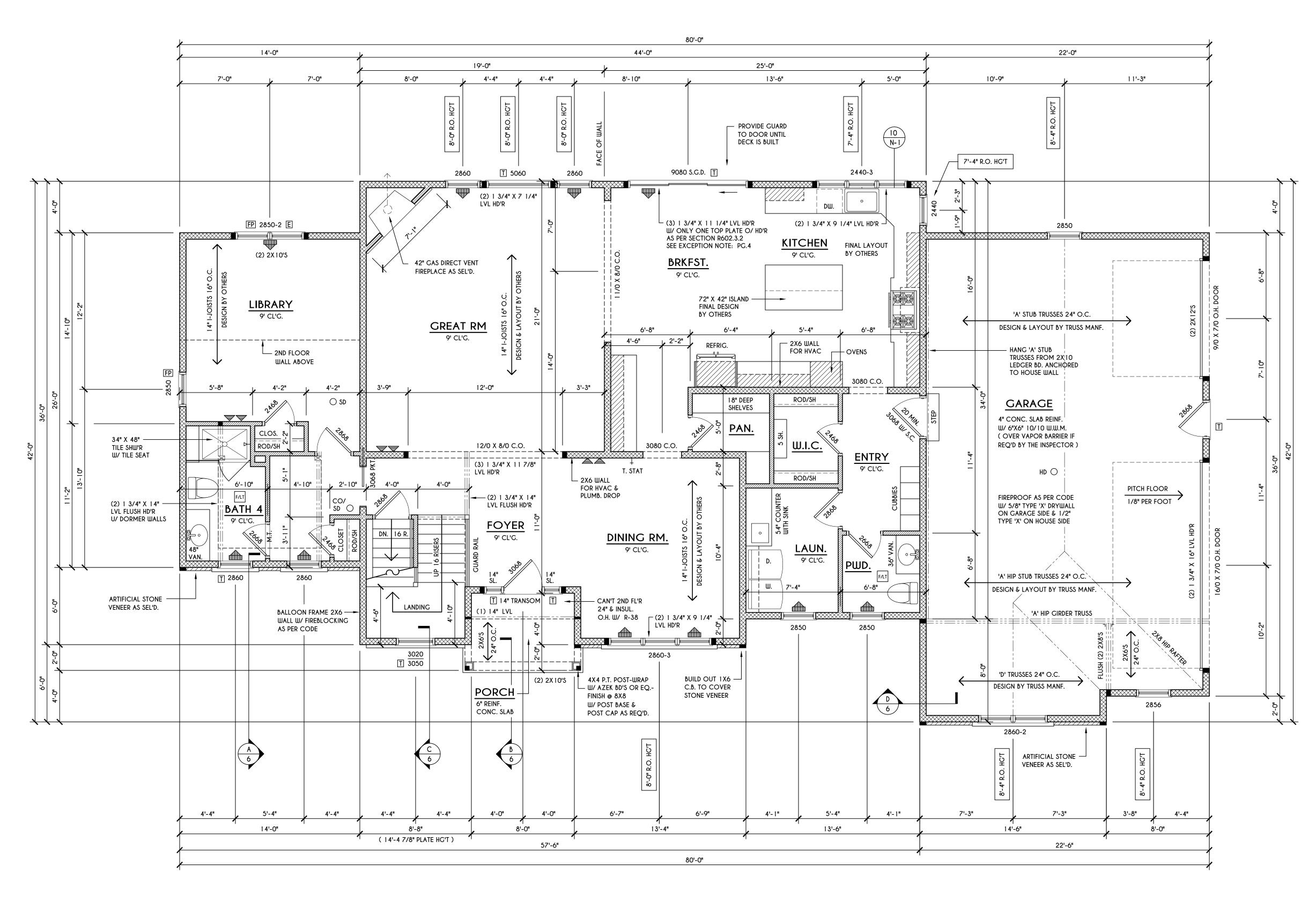
FOUNDATION PLAN

GLA PLAN 3613

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R602.3.2 TOP PLATE.

GREATER THAN 25'

WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS & INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET NOT LESS THAN 24" (610 mm). JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL NOT BE LESS THAN 2" (51mm) NOMINAL THICKNESS & HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

EXCEPTION: A SINGLE TOP PLATE USED AS AN ALTERNATIVE TO A DOUBLE TOP PLATE SHALL COMPLY WITH THE FOLLOWING:

- 1. THE SINGLE TOP PLATE SHALL BE TIED AT CORNERS, INTERSECTING WALLS,
- & AT IN-LINE SPLICES IN STRAIGHT WALL LINES IN ADDORDANCE WITH TABLE R602.3.2 2. THE RAFTERS OR JOISTS SHALL BE CENTERED OVER THE STUDS WITH A TOLERANCE OF
- NOT MORE THAN 1" (25mm). 3. OMISSION OF THE TOP PLATE IS PERMITTED OVER HEADERS WHERE THE HEADERS ARE
- ADEQUATELY TIED TO ADJACENT WALL SECTIONS IN ACCORDANCE WITH TABLE R602.3.2.
- TABLE R602.3.2 SINGLE TOP-PLATE SPLICE CONNECTION DETAILS

STEEL PLATE OR EQ.

	TOP-PLATE SPLICE LOCATION					
CONDITION	CORNERS & INTERSECTING WALLS		BUTT JOINTS IN STRAIGHT WALLS			
	SPLICE PLATE SIZE	MIN. NAILS EACH EACH SIDE OF JOINT	SPLICE PLATE SIZE	MIN. NAILS EACH EACH SIDE OF JOINT		
STRUCTURES IN SDC A-C; AND IN SDC Do Do AND Do WITH BRACED WALL LINE SPACING LESS THAN 25'	3" x 6" x 0.036" GALVANIZED STEEL PLATE OR EQ.	(6) 8d BOX (2 1/2" x 0.113") NAILS	3" x 12" x 0.036" GALVANIZED STEEL PLATE OR EQ.	(12) 8d BOX (2 1/2" x 0.113") NAILS		
STRUCTURES IN SDC Do Do AND D2, WITH BRACED WALL LINE SPACING	3" x 8" x 0.036" GALVANIZED	(9) 8d BOX (2 1/2" x 0 113") NAILS	3" x 16" x 0.036" GALVANIZED	(18) 8d BOX (2-1/2" x 0.113") NAILS		

(2 1/2" x 0.113") NAILS STEEL PLATE OR EQ.

(2 1/2" x 0.113") NAILS

FRAMING LEGEND:

ENGINEERED FL'R JOIST NOTE: EQUAL TO THE # OF HEADERS TO BE ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED ----- - DROPPED HEADER BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW: ≡≣≣ - FLUSH HEADER ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL <u>SLEEPING AREA J</u>OISTS TO BE DESIGNED

FOR 45 P.S.F. TOTAL LOAD

- PROVIDE SOLID POSTING- GLUED & NAILED SUPPORTED- UNLESS NOTED OTHERWISE

- 2X4 STUDS @ 16" O.C. - 2X6 STUDS @ 16" O.C.

FIRST FLOOR PLAN

1888 SQ. FT.

SCALE: 1/4" = 1'-0"

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE) ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"

ALL ANGLES TO BE 45 DEG. U.N.O.

ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)

ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER

SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325

THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R3 10.2.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

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	REVISIONS:		
	DATE	ВҮ	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME - LAKE PLACID LOT 53 COVENTRY RIDGE PITTSFORD, NY

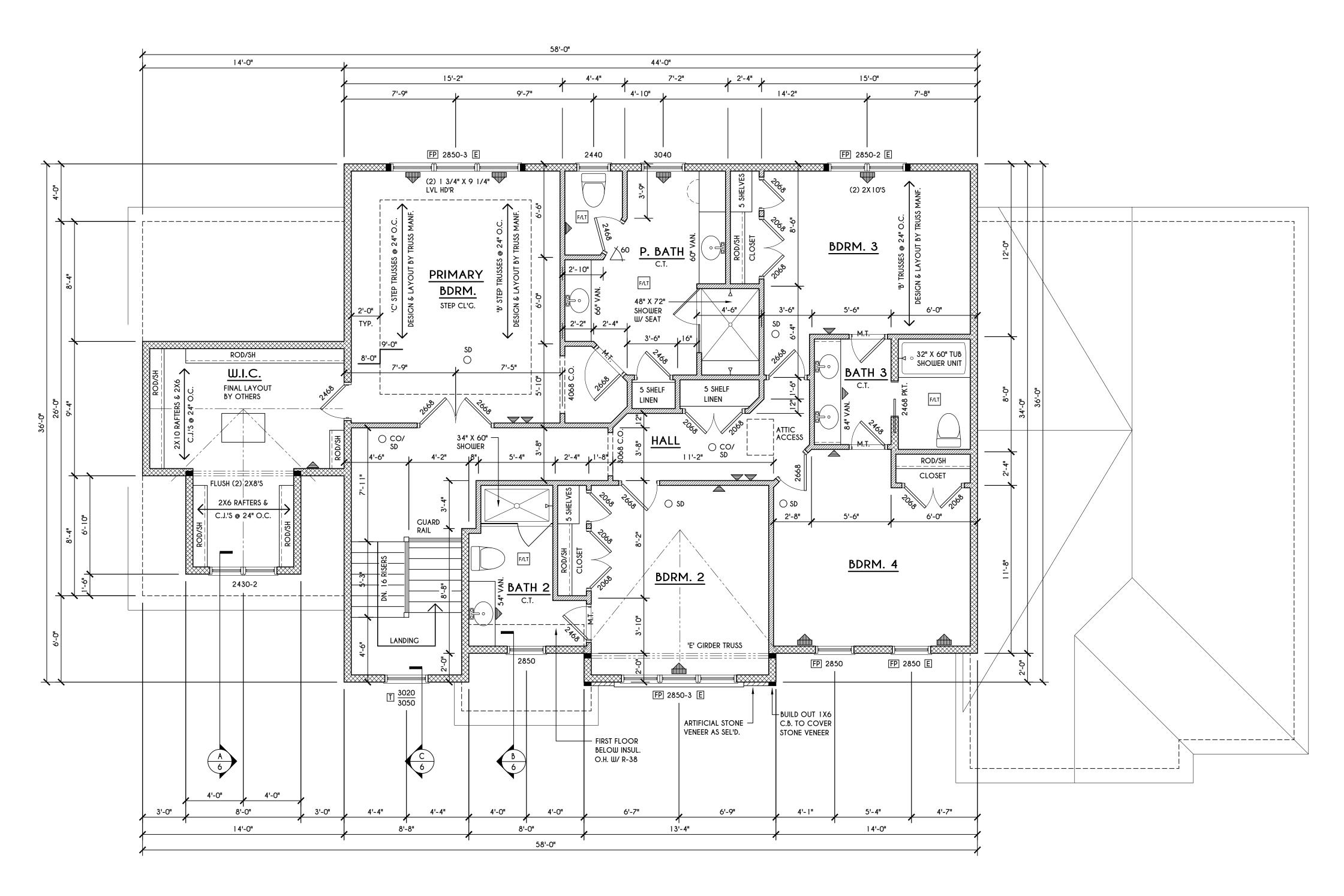
BUILDER:

COVENTRY RIDGE BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3613				
drawn:	checked:			
CDK	DMG			
scale:	date:			
AS NOTED	9 / 25			
PROJECT:	sheet:			
	4			

15515



SECOND FLOOR PLAN 1725 SQ.FT.

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE ---- - DROPPED HEADER ==== - FLUSH HEADER - 2X4 STUDS @ 16" O.C. - 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

SCALE: 1/4" = 1'-0"

SECOND FLOOR PLATE HG'T TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE) ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O. PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL

PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O.

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ARTICLE 145, SECTION 7209

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REVISIONS: DATE BY DESCRIPTION

CLIENT/LOCATION:

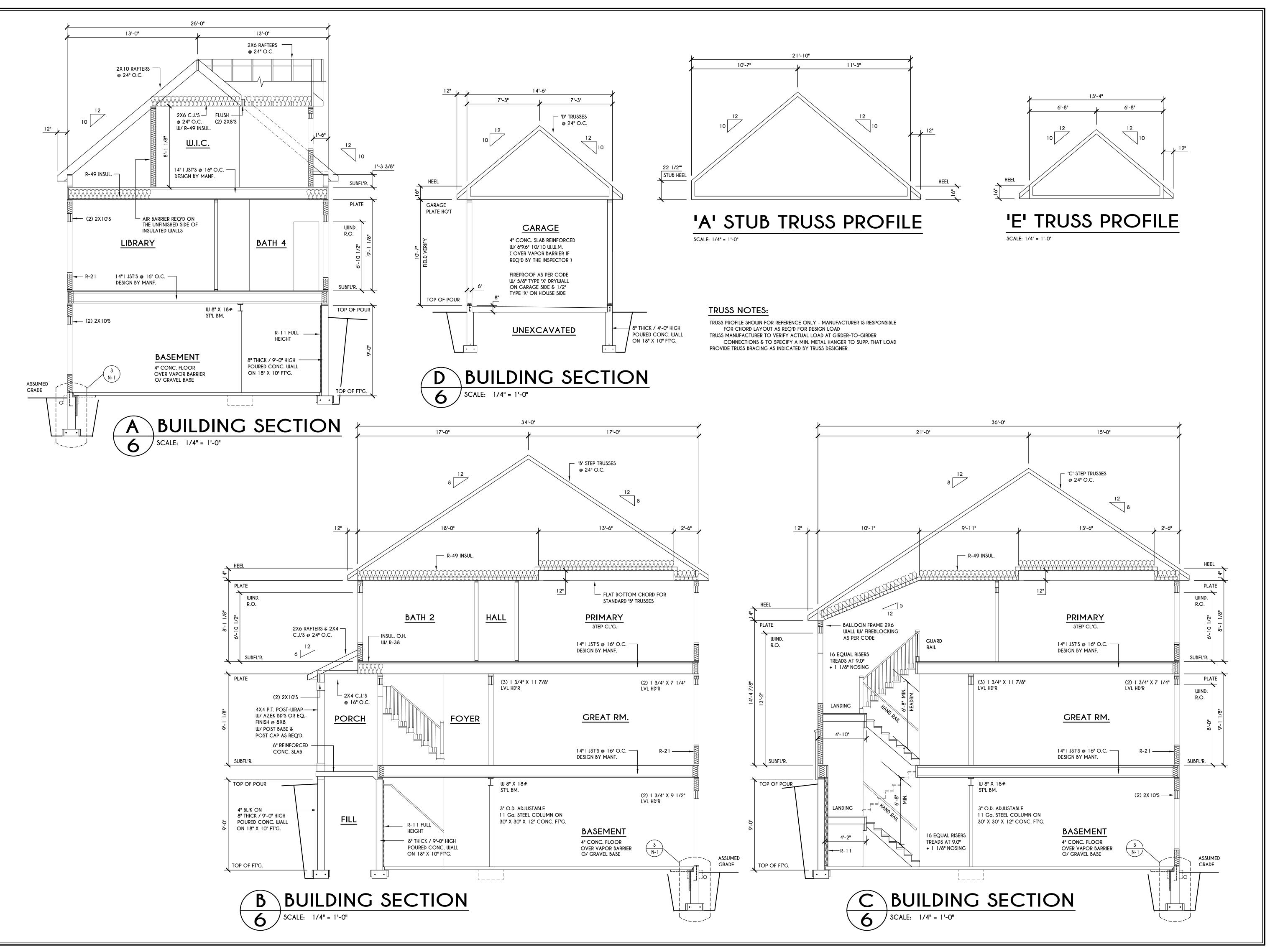
SPEC HOME - LAKE PLACID LOT 53 COVENTRY RIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3613 checked: drawn: DMG scale: AS NOTED 9 / 25 PROJECT: sheet:



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REVISI	ONS:		
DATE	BY	DESCRIPTION	
8/6/24	CDK	FLIP PLAN	

CLIENT/LOCATION:

SPEC HOME - LAKE PLACID LOT 53 COVENTRY RIDGE PITTSFORD, NY

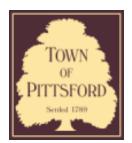
BUILDER:

COVENTRY RIDGE BUILDING CORP.

SECTIONS

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Town of Pittsford

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B25-000119

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Sutton PITTSFORD, NY 14534

Tax ID Number: 163.02-3-15

Zoning District: RN Residential Neighborhood

Owner: Narang, Bal K Applicant: Narang, Bal K

Α	g	pΙ	ica	atio	n	Ty	pe	

/	Residential Design Review		Build to Line Adjustment
	§185-205 (B) Commercial Design Review		§185-17 (B) (2) Building Height Above 30 Feet
	§185-205 (B)		§185-17 (M)
	Signage		Corner Lot Orientation
	§185-205 (C)		§185-17 (K) (3)
	Certificate of Appropriateness		Flag Lot Building Line Location
	§185-197		§185-17 (L) (1) (c)
	Landmark Designation		Undeveloped Flag Lot Requirements
	§185-195 (2)		§185-17 (L) (2)
	Informal Review		

Project Description: Applicant is requesting design review for the construction of a one story single family home approximately 3700 square feet.

Meeting Date: October 09, 2025

Residential Neighborhood Zoning



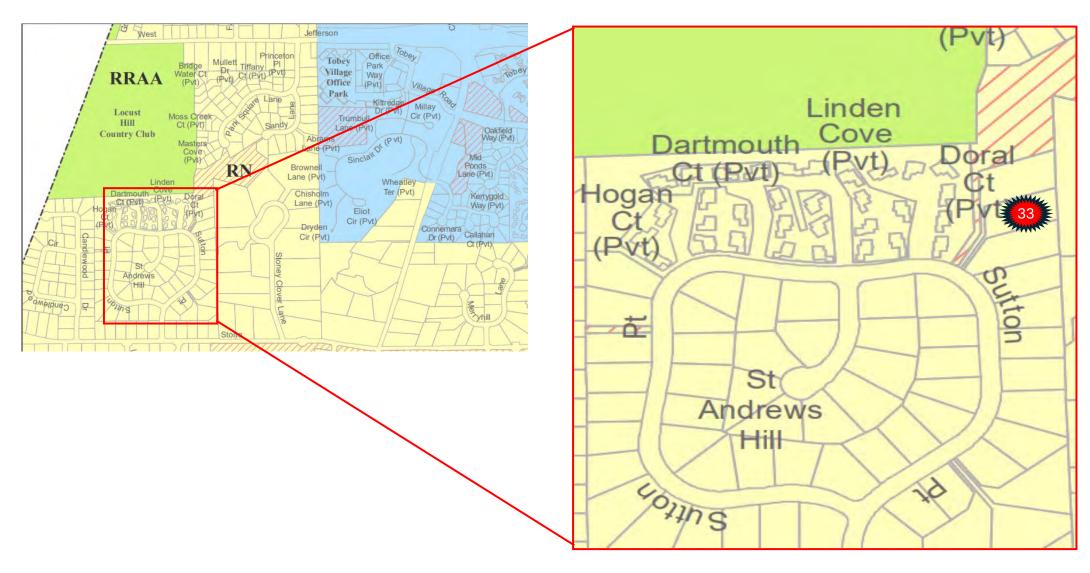
Town of Pittsford GIS

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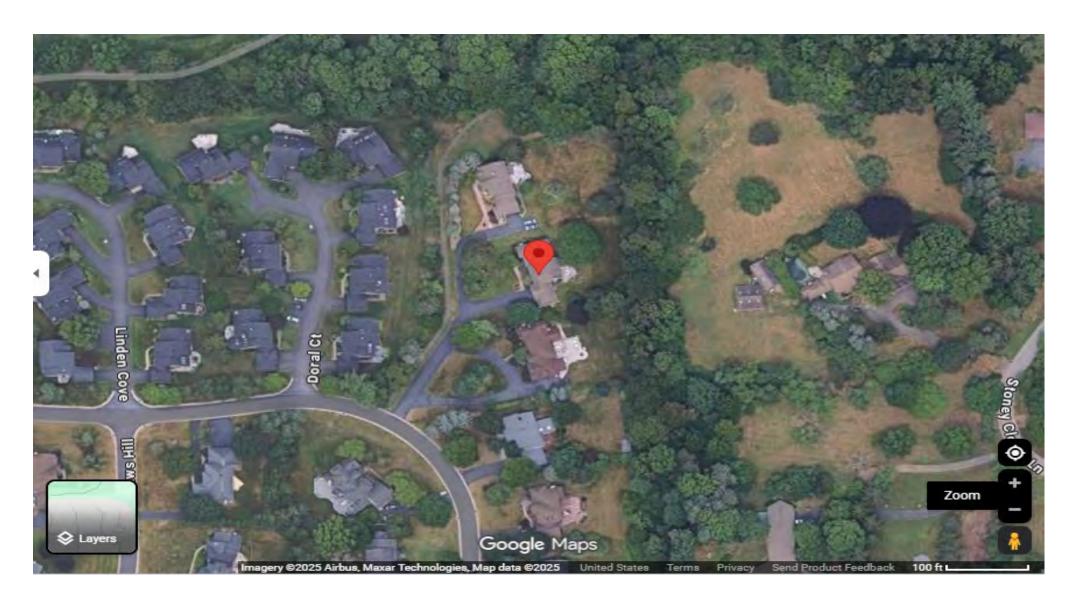
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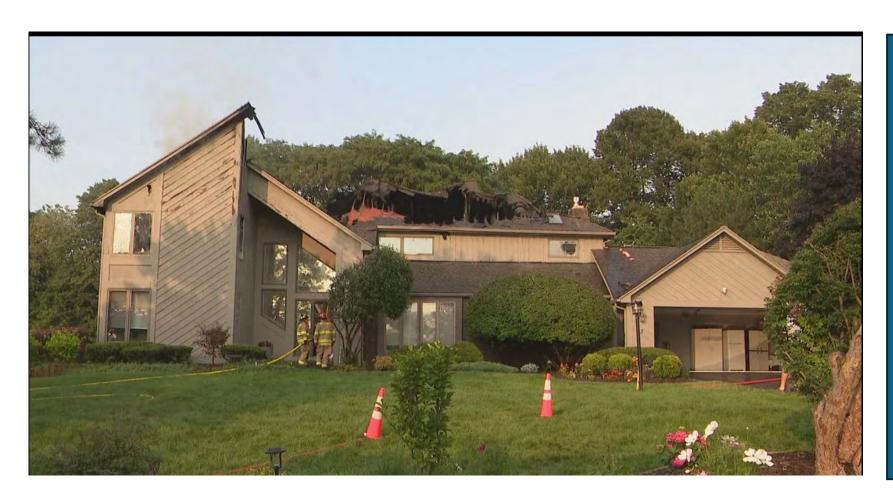
RN Residential Zoning



Google Map of 33 Sutton Point



Original home damaged in fire July 2023



Original residence 4 bedrooms 3.5 bathrooms 3,363 Square feet

Fire damaged in July 2023

Home has been demolished and foundation and garage remain

Existing condition of 33 Sutton Point



Lot has been vacant and overgrown for 2 years. Shawna and Mike Hayes purchased the lot and are proposing an updated ranch home with similar elevations

Remaining Garage will be re-used

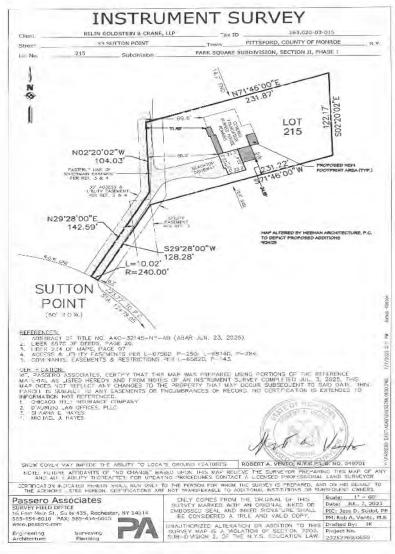


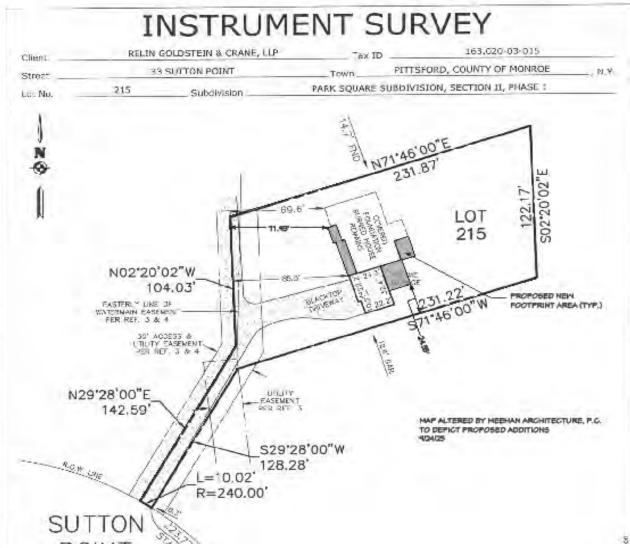
Existing garage was not damaged in house fire and will be re-used.

Batton board siding will be removed and match the new stucco faced home being built

Shingles will also be replaced to match new home. Black 30 year shingle planned for entire house and garage

Survey Map with planned alterations to existing foundation shown





Gray areas
indicate new
mud slab/crawl
space
additions to
existing
foundation

New Front Elevation proposed



New home proposed will be 3700 Square Feet, 3 Bedroom, 2.5 baths, Vaulted ceilings throughout and similar roof height to previous home

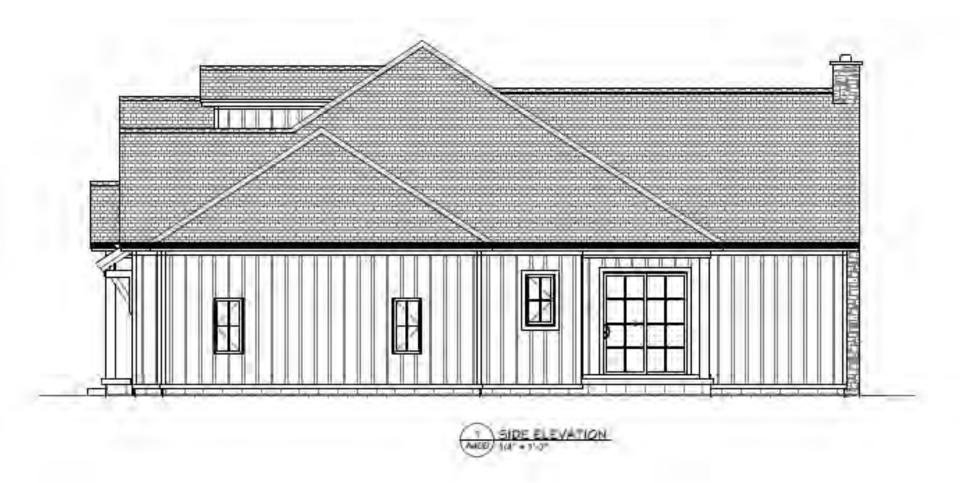
New home overlayed on fire damaged home later in the proposal Home will have black 30 year shingles, Vertical siding is shown here but we are planning to have a white stucco face with black trim. Architect is in progress of updating the drawing.

New Rear Elevation



Wood burning fireplace with brick exterior chimney shown

Right Elevation



Left Elevation

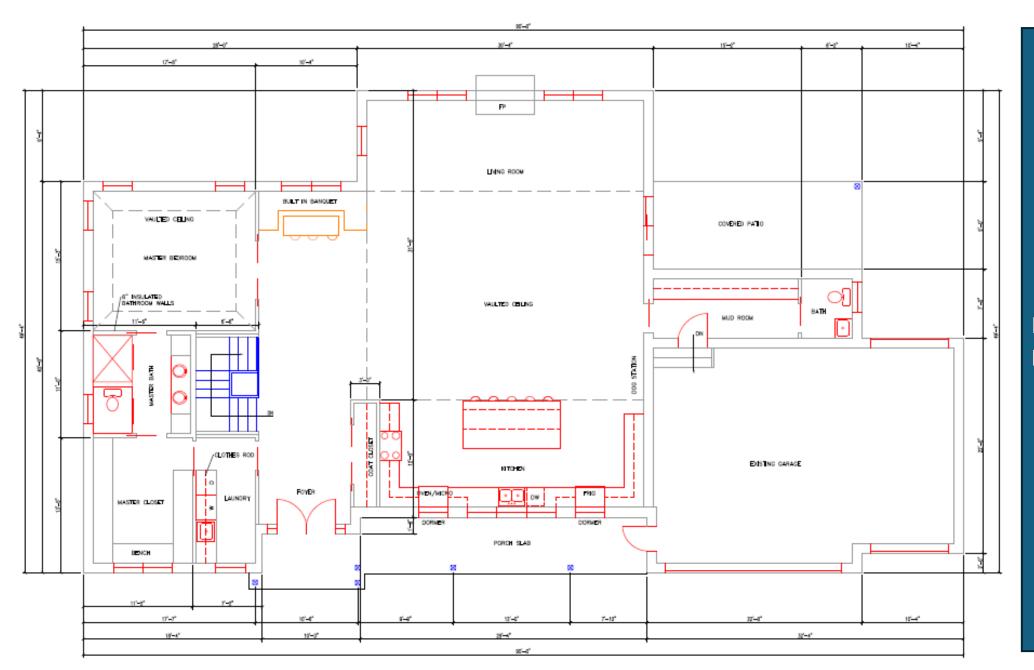


Front of proposed home overlayed on previous fire damaged home



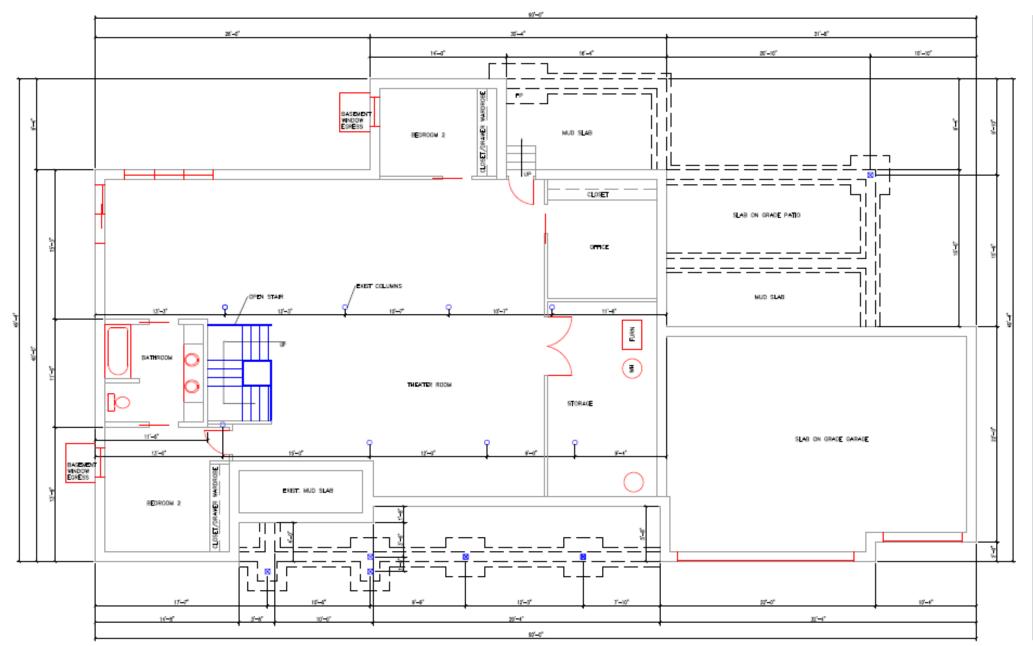
Shawna and Mike Hayes purchased the lot and are proposing an updated ranch home with similar elevations

Shown here at scale is the overlay of the new proposed home on top of the previous home to show relative size comparison



Draft first floor plans

FIRST FLOOR



Draft Lower Level Walk out basement plan

BASEMENT