

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA
September 25, 2025**

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on September 25, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

406 Kilbourn Road

Applicant is requesting design review for material changes to a previously approved project.

93 Kilbourn Road

Applicant is requesting design changes for a previously approved 1170 square feet addition off the rear of the home.

22 Charter Oaks Drive

Applicant is returning to request design review of a 704 square foot addition to the existing garage.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for a 10.55 Sq Ft. sign for Columbia Store.

The next meeting is scheduled for Thursday, October 9, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
SEPTEMBER 11, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, September 11, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Kathleen Cristman, John Mitchell, Bonnie Salem, Paul Whitbeck, Jim Vekasy

ABSENT: Dave Wigg

ALSO PRESENT: Erik Smegelsky, Building Inspector and Code Enforcement Officer; Anna Piazza, Building Department Assistant; Doug DeRue, Director of Planning, Zoning, and Development; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 15 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem discussed the fence in need of repair at the East Street Burying Ground and mentioned that one year the boy scouts had painted it as a project.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

12 New England Drive

Applicant is requesting design review of a 630 square-foot renovation to the rear of the home.

Carl Grasta, of Gardenway Developers, introduced the application. Mr. Grasta is requesting design review of a 630 square-foot renovation to the rear of the home. He stated that the siding will match the existing home.

Board Member Salem motioned to approve the application for a 630 square-foot renovation creating a new room to the rear of the home, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

7 Brook Road

Applicant is requesting design review for two window changes.

Michael Bovay, of Bovay Acquisition and Management LLC, introduced the application. Mr. Bovay is requesting design review for two window changes. He discussed the first window to be changed outside the existing dining room and stated that he will remove it and replace it with siding. He discussed the second window to be changed outside of the kitchen and stated that he will keep the top half of the window and replace the bottom half of the window with siding. All window dimensions and casements will be the same but will be different sizes.

Chairman Schneider motioned to approve the application for two window changes, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

20 Winding Road

Applicant is requesting design review of a 500 square-foot second story addition.

Steve Taddonio, of Allpro Renovations Construction, introduced the application. Mr. Taddonio is requesting design review of a 500 square-foot second-story addition. He confirmed that the only exit door will be from the first floor of the main house. Board Member Salem discussed her concern with the applicant adding an additional 5 feet to the existing garage which already extends 7 feet and Board Member Mitchell agreed that 12 feet would be daunting. Chairman Schneider discussed how the existing home is proportionally balanced as it is and noted that the proposed second floor above the garage in combination with the garage extension would significantly change the entire home. Chairman Schneider suggested that Mr. Taddonio talk with the homeowner about putting an addition in the rear of the home instead.

Chairman Schneider motioned to deny the application for a 500 square-foot second story addition, as submitted. This motion was seconded by Board Member Vekasy. Following a unanimous voice vote, the application was denied, none opposed.

165 West Brook Road

Applicant is requesting design review of a 778 square-foot rear addition.

Kip Finley, of Victory Hill Land Company, introduced the application. Mr. Finley is requesting design review of a 778 square-foot rear addition. Mr. Finley clarified that he mistakenly drew double-hung windows on the west elevation presented but that they are in fact casement windows. He discussed the bedroom window which will be changed to an egress casement on the west elevation and made note of the proposed portico roof off the porch on the south elevation. The siding will either be cedar to match the existing home or a composite material painted to match. Chairman Schneider stated his wish for the roof to be lower and Mr. Finley explained that he had to make the portico higher because of the gutters.

Board Member Mitchell motioned to approve the application for a 778 square-foot rear addition, as submitted. This motion was seconded by Board Member Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

8 Forest Knoll

Applicant is requesting design review of a 250 square-foot renovation changing the existing roofline.

Xavien Burgunder, Contractor for the project, introduced the application. Mr. Burgunder is requesting design review of a 250 square-foot renovation which will change the existing roofline. Mr. Burgunder stated that the original living room was divided for the purpose of a sunken living room and he is proposing to raise the roof over it. Mr. Burgunder discussed the windows outside of the sunken pit being lower than the rest of the windows on the rear of the home. He is proposing to drop back the roof and bring it up so that the eaveline of the windows will match the eaveline of the windows adjacent to it on the rear of the home. Mr. Burgunder stated that he will use the same windows but will have new casing and new glass. The windows above the sunken living room will be removed and then reinstalled. The Board discussed the proposed roofline changes and their concern about the plate height. Chairman Schneider asked for the applicant to come back with 2D elevations showing the existing and proposed elevations as well as window height information.

41 Parker Drive

Applicant is requesting design review of a 642 square-foot addition.

Chris Costanza, of 9x30 Design, introduced the application. Mr. Costanza is requesting design review of a 642 square-foot addition. He is proposing to replace the existing vinyl windows with upgraded fiberglass windows and will replace the two existing windows on the rear of the home with black fiberglass windows. The existing materials on the home consist of brick and board and batten siding on two sections and the addition will have hardie board batten siding. Mr. Costanza confirmed that the painted brick will stay and discussed the proposed Bilco door for the front of the home. He discussed putting roofs over the alcoves and is proposing to add a copper roof on the left side of the rear of the home to match the existing copper bay alcove window on the right side.

Board Member Whitbeck motioned to approve the application for a 642 square foot addition, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATES OF APPROPRIATENESS

3419 Clover Street

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, to construct a deck around an existing above-ground pool at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

This public hearing was closed at the August 28th meeting.

Board Member Salem read the resolution aloud.

Board Member Salem motioned to approve the application, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

The Board voted as follows:

Bonnie Salem voted	Aye
David Wigg voted	Absent
Paul Whitbeck voted	Aye
Kathleen Cristman voted	Aye
John Mitchell voted	Aye
Jim Vekasy voted	Aye
Dirk Schneider voted	Aye

The full adopted resolution is attached to the end of these minutes.

DEMOLITION APPLICATIONS:

526 Mendon Road

Applicant is requesting Board approval to demolish the existing 2,805 square-foot, one-story, single-family home, with the intent to build a 12,231 square-foot, two-story, single-family home on the property. This property is zoned Residential Neighborhood (RN).

An employee of Malvern Views LLC re-introduced the application. The applicant is requesting Board approval to demolish the existing 2,805 square-foot, one-story, single-family home, with the intent to build a 12,231 square-foot, two-story, single-family home on the property. He discussed the existing and proposed elevations as well as the proposed fence height. At the August 28th meeting, the Board was concerned about seeing the top of the home from the nearby playing fields. Referring to the Thornell Farm Park cross-section, Chairman Schneider discussed the height of the light poles versus the height of the proposed home and stated that he

previously thought the home would sit higher on the hill than it really would. The applicant stated that the height to the highest ridge of the home is 39.8 feet and Doug DeRue, Director of Planning, Zoning, and Development, explained that the number was calculated using the average grade from the front of the home. The Board discussed how if one were to stand at the back of the house the height would be higher than 39.8 feet because the grade slopes down. Chairman Schneider stated that the Thornell Farm Park cross-section eliminates some concern about the visibility of the home but noted that there is still a possibility of trees falling down.

Mr. DeRue discussed the proposed building footprint of 11,108 square-feet and explained that this number encompasses all covered areas including the covered garages, covered porches, and covered walkways. He clarified that this is different from the proposed living area of 12,231 square-feet, which was calculated by adding the first and second floor square footages together. Board Member Salem asked what the maximum footprint permitted was for the size of the lot and Mr. DeRue stated that it was 8,548 square-feet. Mr. DeRue stated that the applicant has applied for a variance from the Zoning Board from that footprint. The applicant also applied for a variance from the allowed fence height.

Chairman Schneider stated that he feels more comfortable with the Board's concern about the visibility of the home from surrounding areas after viewing the Thornell Farm Park cross-section and noted that the applicant is proposing to add trees as well. Chairman Schneider stated that he feels much better about the project and the building height and Board Member Vekasy agreed.

The Board discussed the prospect of this home setting a precedent for future homes and Board Member Salem stated her concern with having a large home in this area with nothing as large nearby. Mr. DeRue discussed the uniqueness of this property and the nearby conservation easements and noted that it provides many things which other lots cannot. He stated that this home raises the bar for future houses wanting to build a home this size but that cannot come nearly as close to meeting setbacks as this property allows.

Chairman Schneider discussed the rendering of the gate and commented that the proposed bushes on each side of the gate appear inviting and help to conceal the gate. Board member Salem stated that she believes the gate appears as a barrier to stop people from entering.

Chairman Schneider and Board Member Vekasy agreed that the lot size is very large. Chairman Schneider stated that people will most likely not know that it is there from the road. Regarding the demolition, the Board agreed that the existing home does not hold any significance.

Chairman Schneider asked for public comment. Hearing none, Chairman Schneider motioned to close the public hearing. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the motion was approved, none opposed.

Chairman Schneider read the resolution aloud.

Chairman Schneider motioned to approve the application, as submitted. This motion was seconded by Board Member Cristman.

The Board voted as follows:

Bonnie Salem voted	Aye
David Wigg voted	Absent
Paul Whitbeck voted	Nay
Kathleen Cristman voted	Aye
John Mitchell voted	Aye
Jim Vekasy voted	Aye
Dirk Schneider voted	Aye

The full adopted resolution is attached to the end of these minutes.

MEETING MINUTES REVIEW

The minutes of August 28, 2025 were approved following a motion by Board Member Salem. This motion was seconded by Chairman Schneider. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Schneider closed the meeting at 9:52PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT

RESOLUTION
Town of Pittsford
Design Review & Historic Preservation Board
Certificate of Appropriateness

Re: 3419 Clover Street
Tax Parcel # 177.03-2-26.1
Zoned: Residential - RN
C of A # 25-000002

WHEREAS, the above property was previously designated as an Historic Landmark on July 19, 2001; and

WHEREAS, the applicant herein, Frank Dutko, as owner of the above property, submitted an application for a Certificate of Appropriateness, relative to the proposed work set forth in the application, dated August 5, 2025 and in accordance with the provisions of Town Code Section 185-198(A); and

WHEREAS, a hearing was held on August 28, 2025, for the purpose of allowing the presentation of testimony and/or evidence by the owner or any other interested party, in accordance with Town Code Section 185-198(C); and

WHEREAS, this matter is a Type II Action, in accordance with the provisions of Section 6 NYCRR Section 617.5(c) (2) and (11) of the SEQRA Regulations, requiring no further review by this Commission;

NOW, THEREFORE, upon consideration by the Design Review and Historic Preservation Board of the aforesaid application, and upon the completion of the aforesaid hearing, and the Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Design Review and Historic Preservation Board makes the following findings and decision:

FINDINGS OF FACT

1. The within application has been reviewed, by the Board, taking into consideration the factors required by Town Code Section 185-197(C)
2. As to the appropriateness of the general design, scale and character of the proposed work to the property, as well as with surrounding properties, the Board finds that the proposed pool deck design is a simple, flat structure surrounding the existing pool. It is appropriate in scale and character to the pool and since it is a distance from the historic home, and set well back from the public road, it has no impact on the historic elements of the property or surrounding properties.
3. As to the texture, materials and colors proposed to be used and the compatibility of such features to the property, as well as with surrounding properties, the Board finds that the proposed deck will be constructed of natural colored wood. An existing white fence around the pool will be removed. A proposed pool deck railing will match the railing system on the existing home in style, material and color,

4. As to the visual compatibility of the proposed work with the property, as well as with surrounding properties, the Board finds that the proposed pool deck will be built around an existing partially inground pool located behind a non-historic garage. The deck will be free-standing and not attached to the garage or other structure. The proposed pool deck is compatible with the area of the property in which it will be constructed and will not be readily visible from the road or the historic home.
5. As to the potential impact of the work on important historic, architectural or other features of the property, the Board finds that the proposed pool deck will be free-standing and not connected to any historic structures on the property. No historic or other significant features of the property will be removed or impacted by the proposed pool deck.

DECISION

1. Based upon the above Findings of Fact, the Board hereby concludes that the work proposed by the applicant is compatible with the historic character of the home and, as such is appropriate. Accordingly, the Design Review and Historic Preservation Board hereby grants to the applicant a Certificate of Appropriateness.
2. The granting of the Certificate of Appropriateness is made subject to the following specific conditions
 - a. The existing white railing on the pool will be removed
 - b. A fence will be erected around the entire pool that meets pool code
 - c. All work will be completed by October 2026

The within Resolution was moved by Board Member Salem, seconded by Board member Cristman, and was voted upon by members of the Board as follows:

Jim Vekasy voted	Aye
Bonnie Salem voted	Aye
Paul Whitbeck voted	Aye
Kathleen Cristman voted	Aye
David Wigg voted	Absent
John Mitchell voted	Aye
Dirk Schneider voted	Aye

Adopted by the Design Review & Historic Preservation Board on September 11, 2025.

Anna C. Piazza
Secretary to the Design Review & Historic Preservation Board

**RESOLUTION
Town of Pittsford
Design Review & Historic Preservation Board
Demolition**

**Re: 526 Mendon Road
Tax Parcel #178.03-1-80.1
Zoned: Residential - RN
File: D25-000006**

WHEREAS, James Fahy Design Associates Architecture & Engineering P.C., as agent for Malvern Views LLC, has requested approval from the Design Review and Historic Preservation Board to demolish the existing 2,800 +/- square foot single-family home and build a new 12,250 +/- square foot single-family home on the 4.9 +/- acre property; and

WHEREAS, during its regularly scheduled public meeting held on August 14, 2025, the Design Review and Historic Preservation Board decided to require a public hearing for this demolition application in accordance with the provisions of Chapter 64, Article VIII, of the Town Code; and

WHEREAS, during its regularly scheduled public meeting held on August 28, 2025, the Board opened a public hearing for the purpose of soliciting and reviewing comments from the public and the applicant, the Board continued the public hearing to the September 11, 2025, meeting at which time it was closed; and

WHEREAS, this matter is a Type II action under the New York State Environmental Quality Review Act (SEQRA), and in accordance with the provisions of 6 NYCRR § 617.5(c)(2)&(11) of the SEQRA regulations, the application requires no SEQRA review by this Board;

NOW, THEREFORE, upon consideration by the Design Review and Historic Preservation Board of the aforesaid application, and upon the completion of the aforesaid hearing, and the Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Design Review and Historic Preservation Board makes the following findings and decision:

FINDINGS OF FACT

1. The 2,800 +/- square foot home proposed for demolition is located at 526 Mendon Road, a 4.9 +/- acre parcel. It is on the east side of Mendon Road about 400 feet off of the road and immediately south of Thornell Farm Park.
2. The Board has reviewed the records available for the existing home and out-buildings and they have not identified any significant historical, cultural, or architectural qualities of the structures or site.
3. The Board has also considered the homes in the general area around 526 Mendon Road and notes that the nearest home is about 295 feet away and the next nearest home is about 595 feet away. The lot is 4.9 +/- acres and has conservation easements on both the south and east sides further isolating the existing and/or a future home from adjacent properties.
4. The Board finds that the demolition of the existing home and out-buildings will not have a significant impact to the character of the neighborhood or Pittsford as a whole.

5. Approval of the demolition also acknowledges the size of the new home's living area. Detailed plans for the new home are subject to further review and approval by the Board.
6. The Board has considered possible impacts to Thornell Farm Park and concludes that the loss of the existing home and the construction of a large new home in its proposed location on the 4.9 acre parcel with extensive landscaping will not have negative impact on the park.
7. The proposed new home is 12,250 +/- square feet of living area on the first and second floors and has garage spaces for 5 cars. The proposed footprint is 11,108 square feet, which includes the dwelling, covered porches, port cochere, and garages. Town Code allows for a maximum of 8,548 square feet of footprint, and the proposed home's footprint is currently 29.9% larger than what is allowed. Review and approval of this overage is required from the Zoning Board of Appeals.
8. The Board finds, the large size of the lot, the large amount of green space around the lot, and the proposed distance of the new home from Mendon Road and the existing homes there, all serve to minimize the impacts to the area/neighborhood.

DECISION

The within application has been reviewed by the Board, taking into consideration the following four factors as required by Town Code § 64-43(c)(1),(2),(3),(4).

(1) The need or reasons for the proposed demolition;

The need or reason for the proposed demolition is to satisfy the applicant's wishes to build a new larger home on the site. In that sense, there is little or no "need" for the demolition of the existing home, and the application of this factor weighs toward denying the demolition. However, on the advice of Town counsel, the Board understands that all four factors must be applied, and no one factor, including "need," can be dispositive of the Board's inquiry. The "need" factor is to be treated as a "difficulty" which is "self-created" in the context of a zoning board granting an area variance under Town Law § 267-b(3)(b), where the difficulty is relevant to the board decision, but does not necessarily preclude the granting of the variance.

(2) The description of the replacement structure or restoration plan for the site;

The replacement structure is proposed to be a 12,250+/- square foot home. It will be located 400 +/- feet off of Mendon Road, and the property is surrounded by conservation easement and Thornell Farm Park. The site has no nearby neighbors or potential new future neighbors.

(3) The historic and architectural significance of the structure, and the effect of demolishing the structure and rebuilding any replacement structure is expected to have on the character of the neighborhood and community, including a historic district if the building stands within such a district and including any potential historic district as identified in the Town's most recent Historic Resource Survey Update; and

The home proposed for demolition is isolated far from the road and does not have notable historic, cultural or architectural significance. The area's character is quite varied in development. There are single-family homes, a park, churches, a school, and forested conservation easements in the surrounding area. There is no typical building style. Hence, there is no distinct neighborhood or community "character" that will be altered by this large home on a large lot away from varying

structures and uses. None of the surrounding area includes a historic district or has been identified as a potential historic district in the Town's most recent Historic Resource Survey Update.

(4) Information derived from the public hearing.

The public hearing did not reveal any unknown significant information about the home or property. The Board did not receive any objections to the demolition of the existing home or the construction of the new home. Public input at the hearing supported the approval of the demolition permit application.

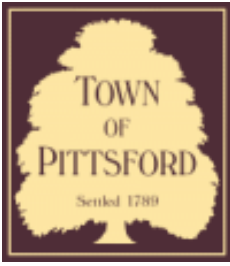
Based on the above Findings of Fact and application of the four statutory factors above, the Board hereby approves the demolition of the existing house at 526 Mendon Road and the construction of a home with up to 12,250 +/- square feet of living area on the first and second floors, on the same property, all in accordance with the applicant's submitted and revised plans and pursuant to possible area variances and the issuance of associated building permits.

The within Resolution was moved by Chairman Schneider, seconded by Board Member Cristman, and was voted upon by members of the Board as follows:

Paul Whitbeck	voted	Nay
Jim Vekasy	voted	Aye
John Mitchell	voted	Aye
Bonnie Salem	voted	Aye
Kathleen Cristman	voted	Aye
David Wigg	voted	Absent
Dirk Schneider	voted	Aye

The Design Review and Historic Preservation Board adopted the above resolution on September 11, 2025.

Anna Piazza
Building Department Assistant



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000056

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 406 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.18-1-51

Zoning District: RN Residential Neighborhood

Owner: Loughran, Daniel G

Applicant: Loughran, Daniel G

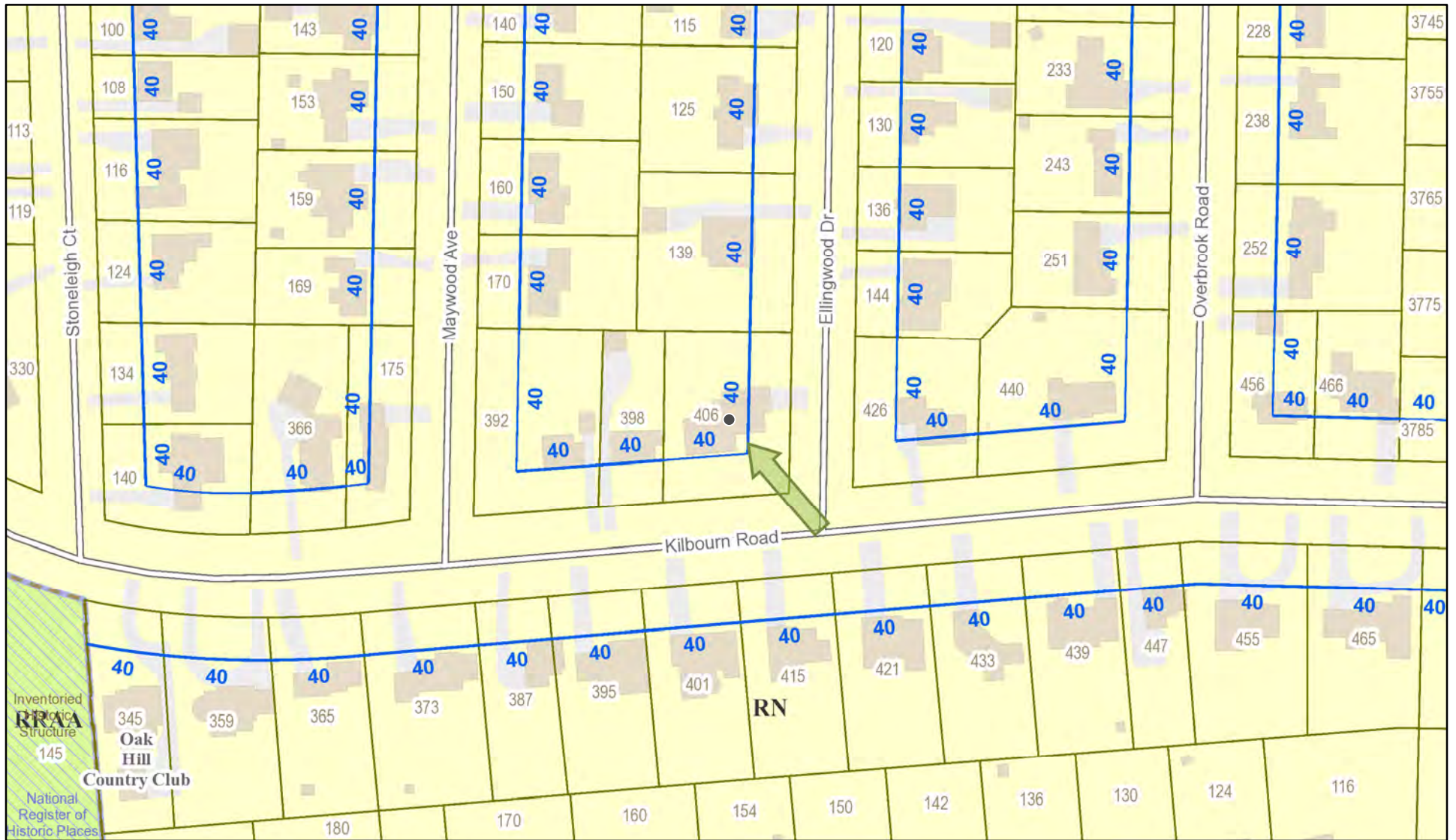
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

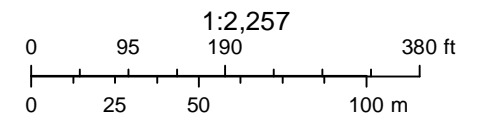
Project Description: Applicant is requesting design review for material changes to a previously approved project.

Meeting Date: September 25, 2025

RN Residential Neighborhood Zoning

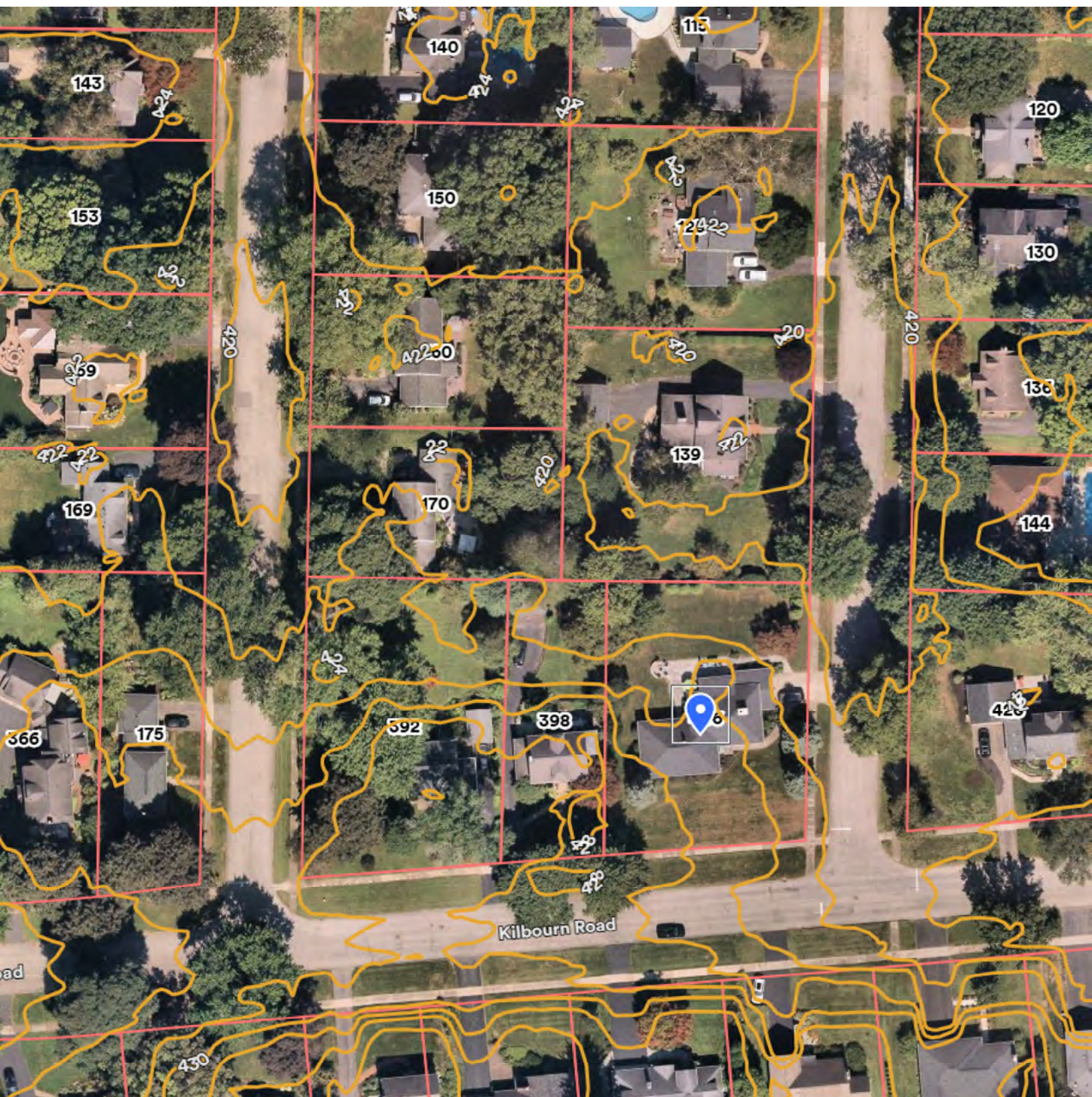


Printed April 16, 2025

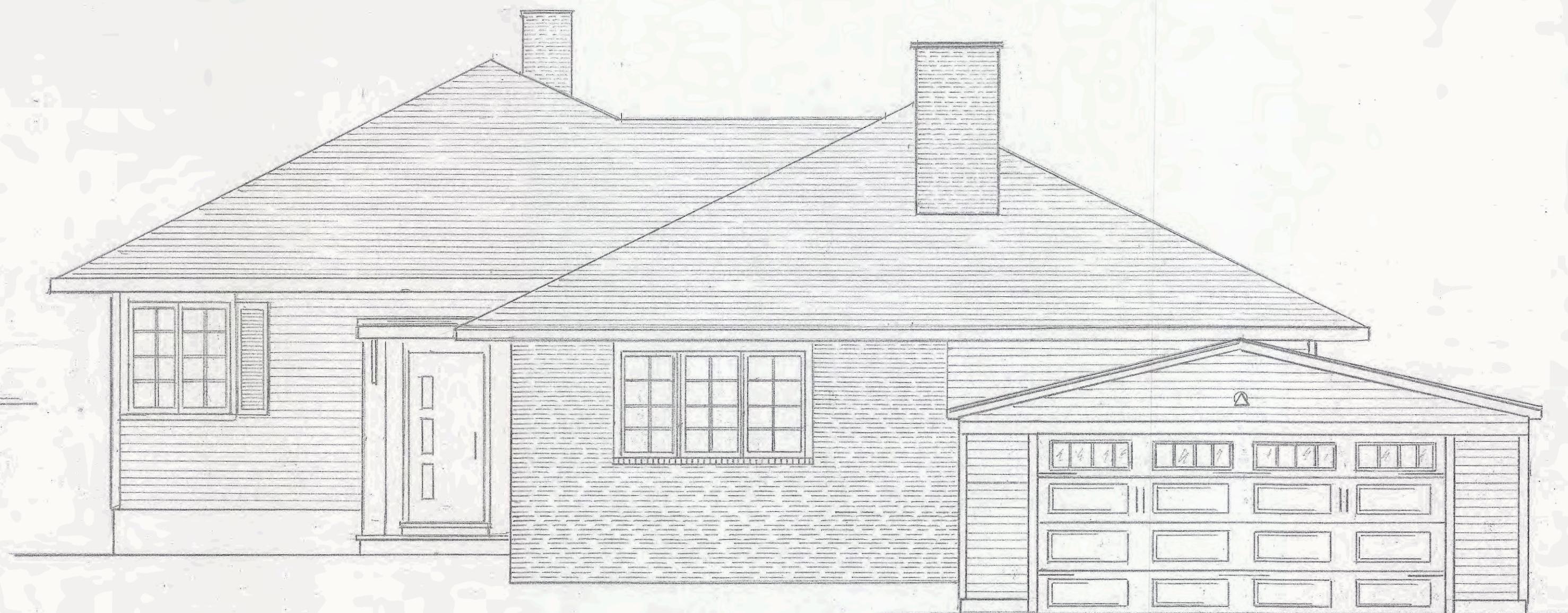


Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



LEFT SIDE
ELEVATION



FRONT
ELEVATION



RIGHT SIDE
ELEVATION



EXISTING ELEVATIONS		SHEET: 1 OF 1
406 KIDOURY RD ROCHESTER NY 14618		
DATE: 5/6/25	DRAWN BY: THOMAS A. SAGIELL	

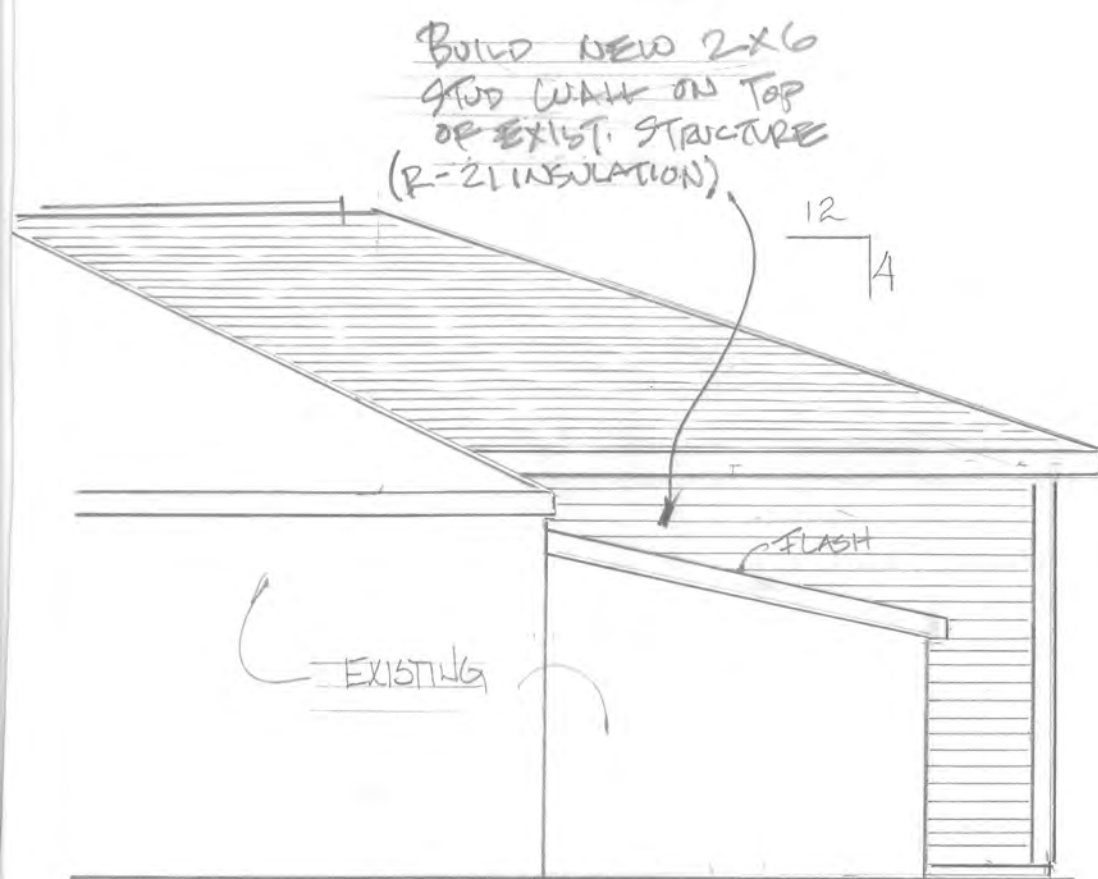
RECEIVED

MAY 13 2025

THOMAS A. SAGIELL

Design Loads: Live roof and floor loads – 40 PSF, dead roof and floor loads – 15 PSF.

This construction document meets requirements of the 2020 Residential Code of New York State to the best of the architect's belief, knowledge and professional judgement. No REScheck submitted/meets Table N1102.1.2 for insulation and fenestration (window and door maximum 0.30 U-Factor). Contractor shall meet mandatory requirements of Section N1102.4 to limit air leakage in building thermal envelope.



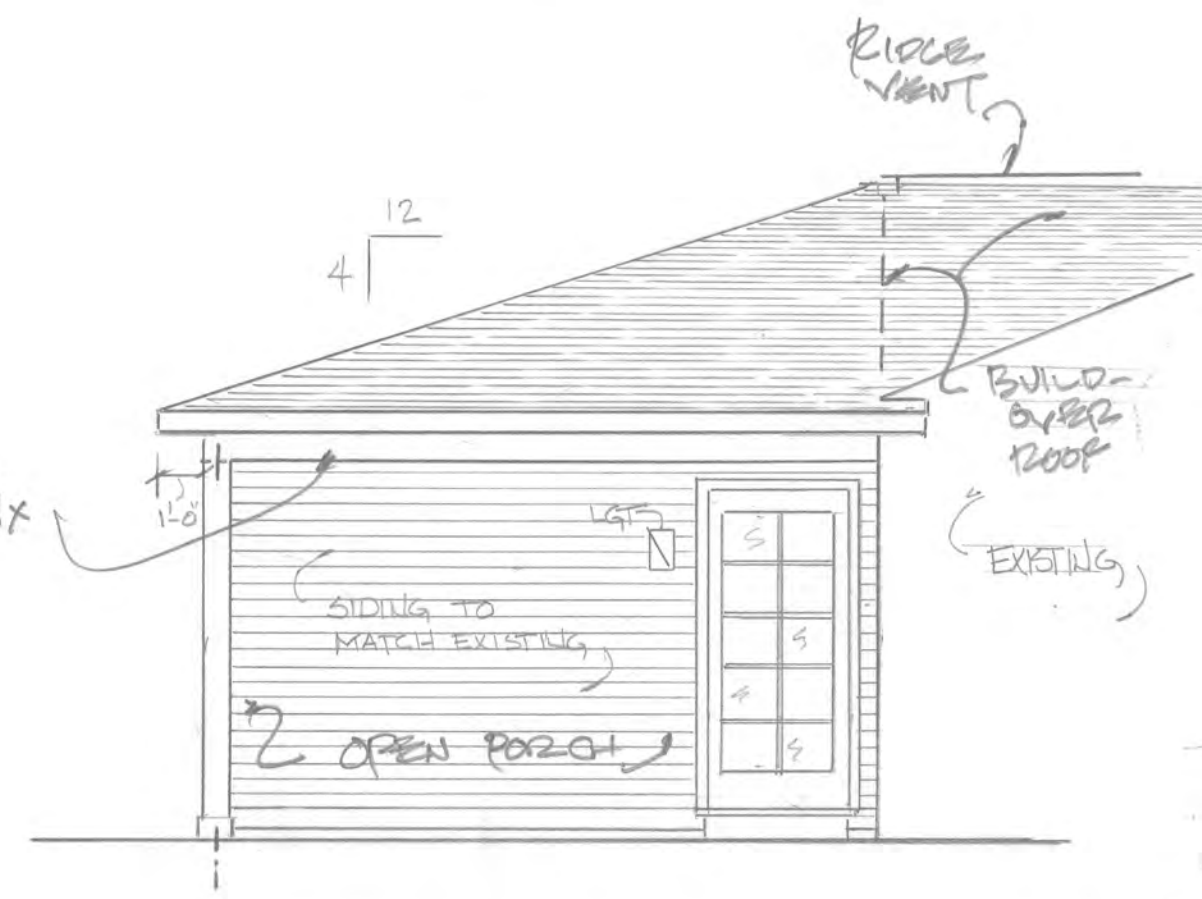
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



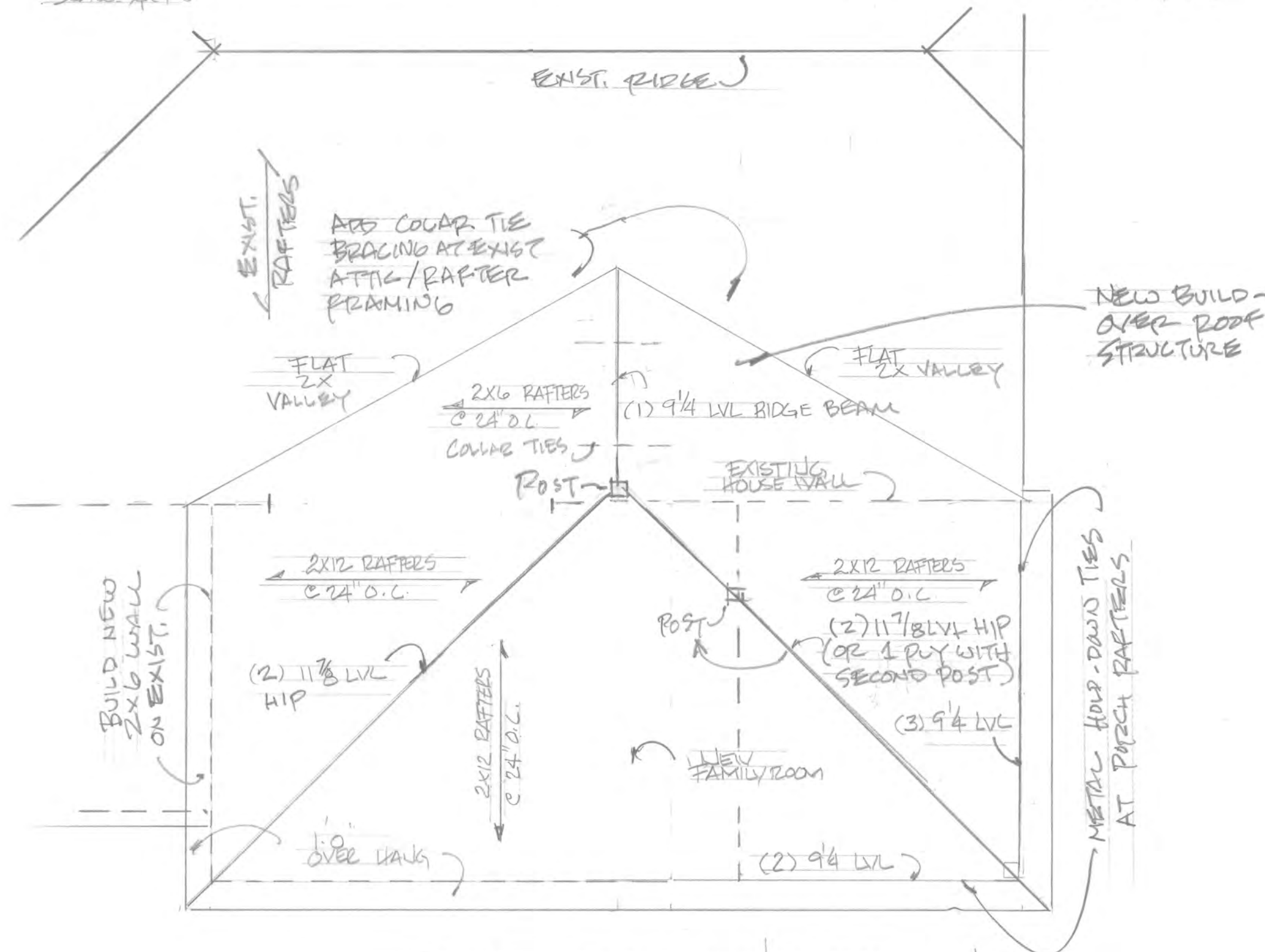
REAR ELEVATION

SCALE: 1/4" = 1'-0"

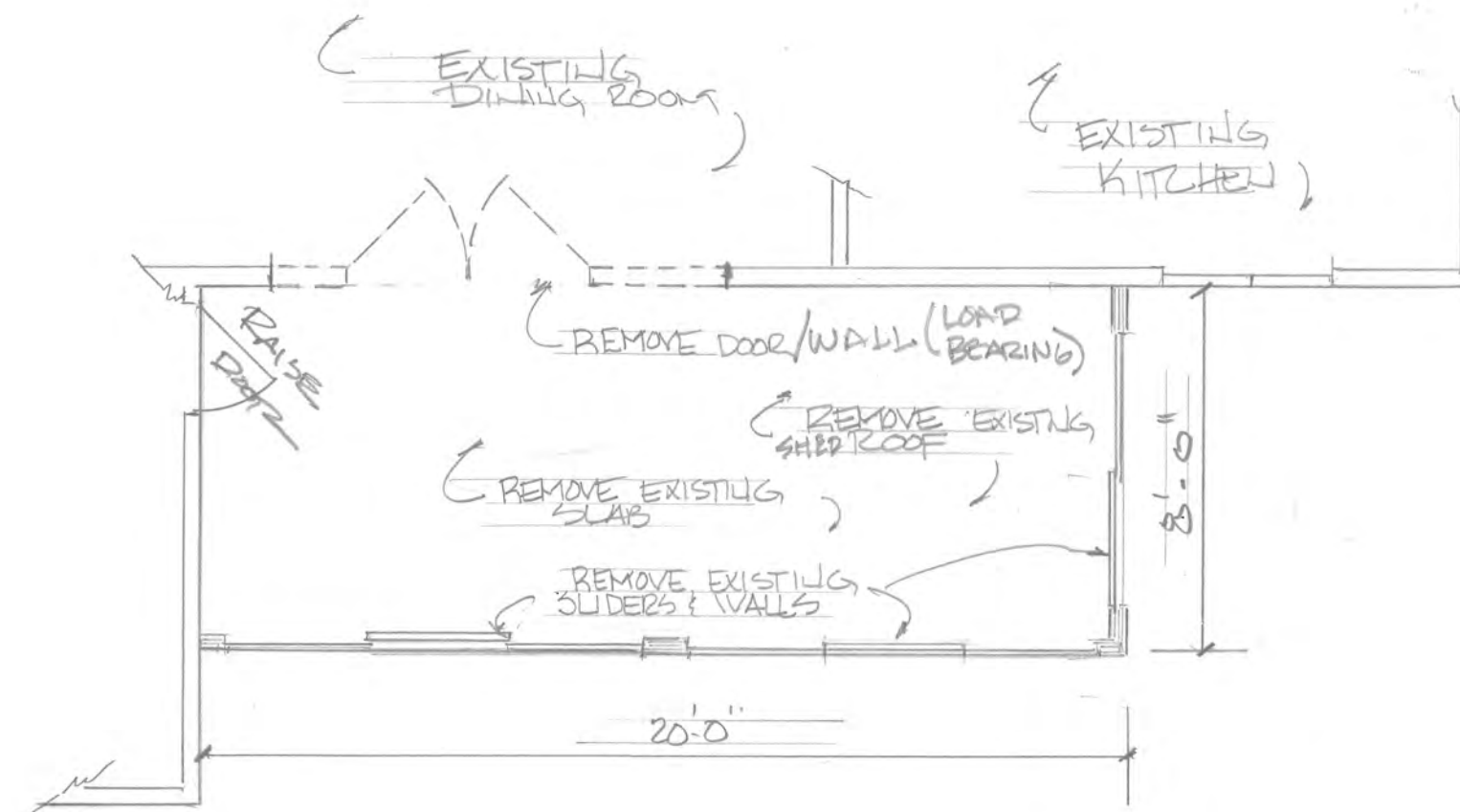


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

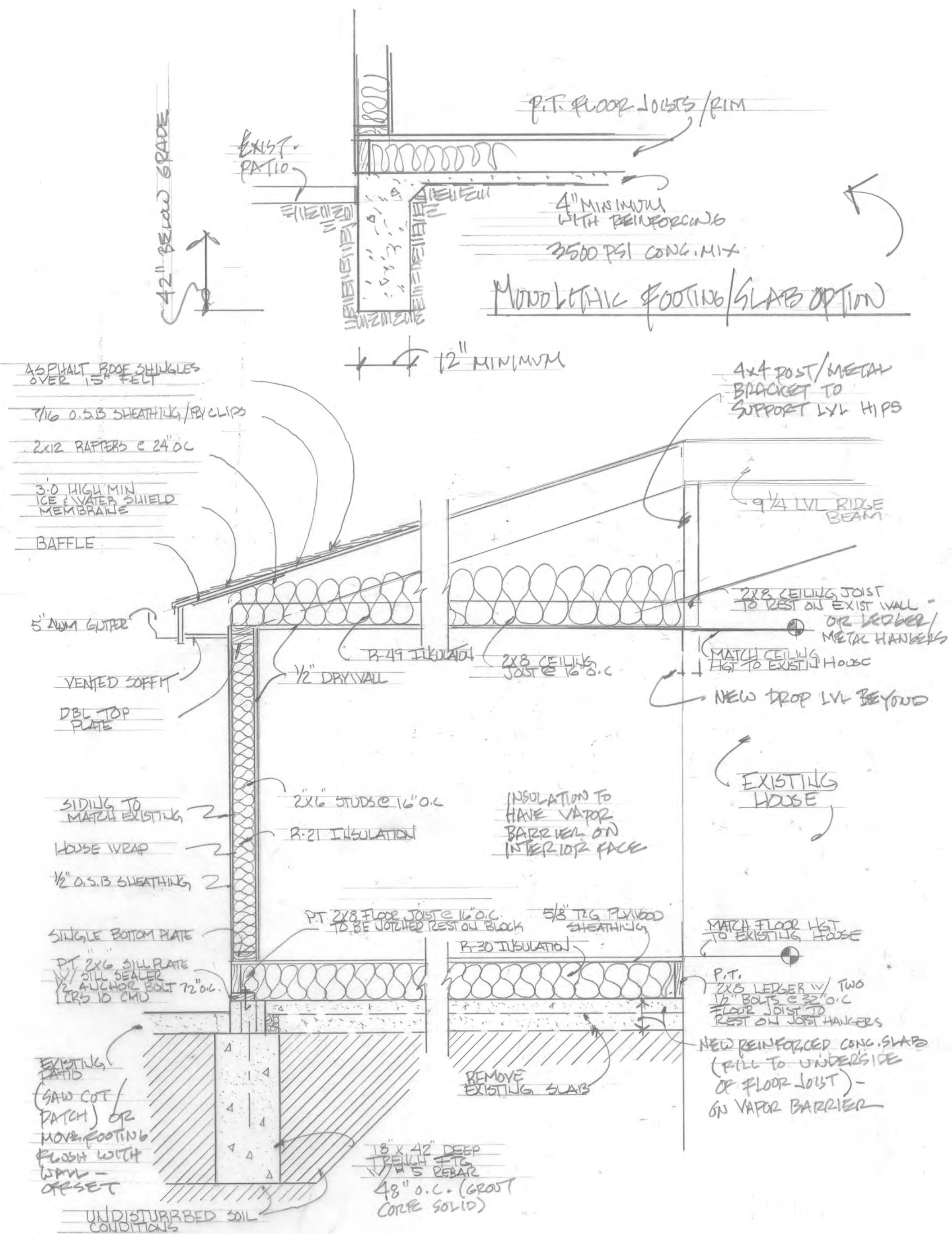
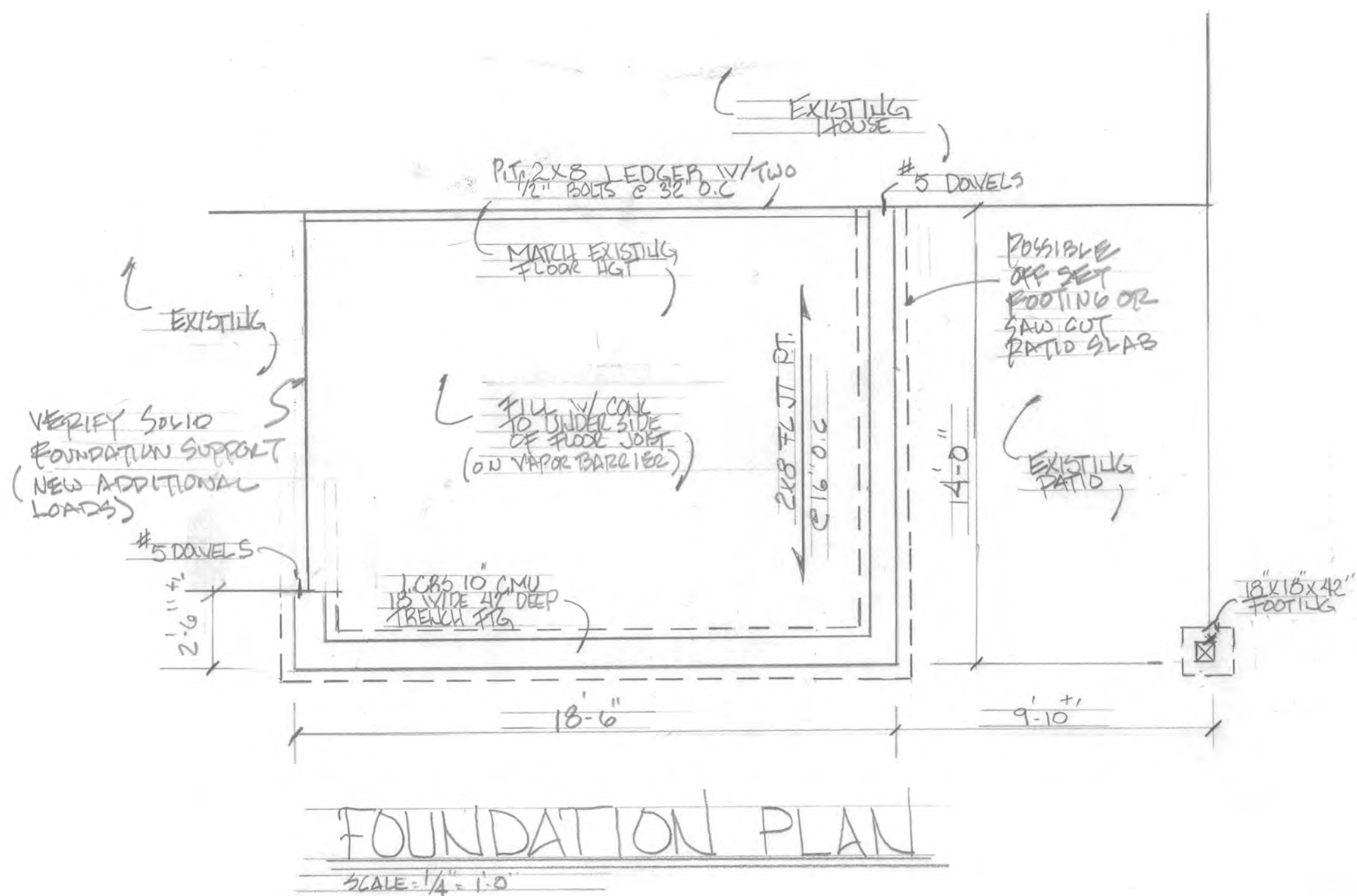
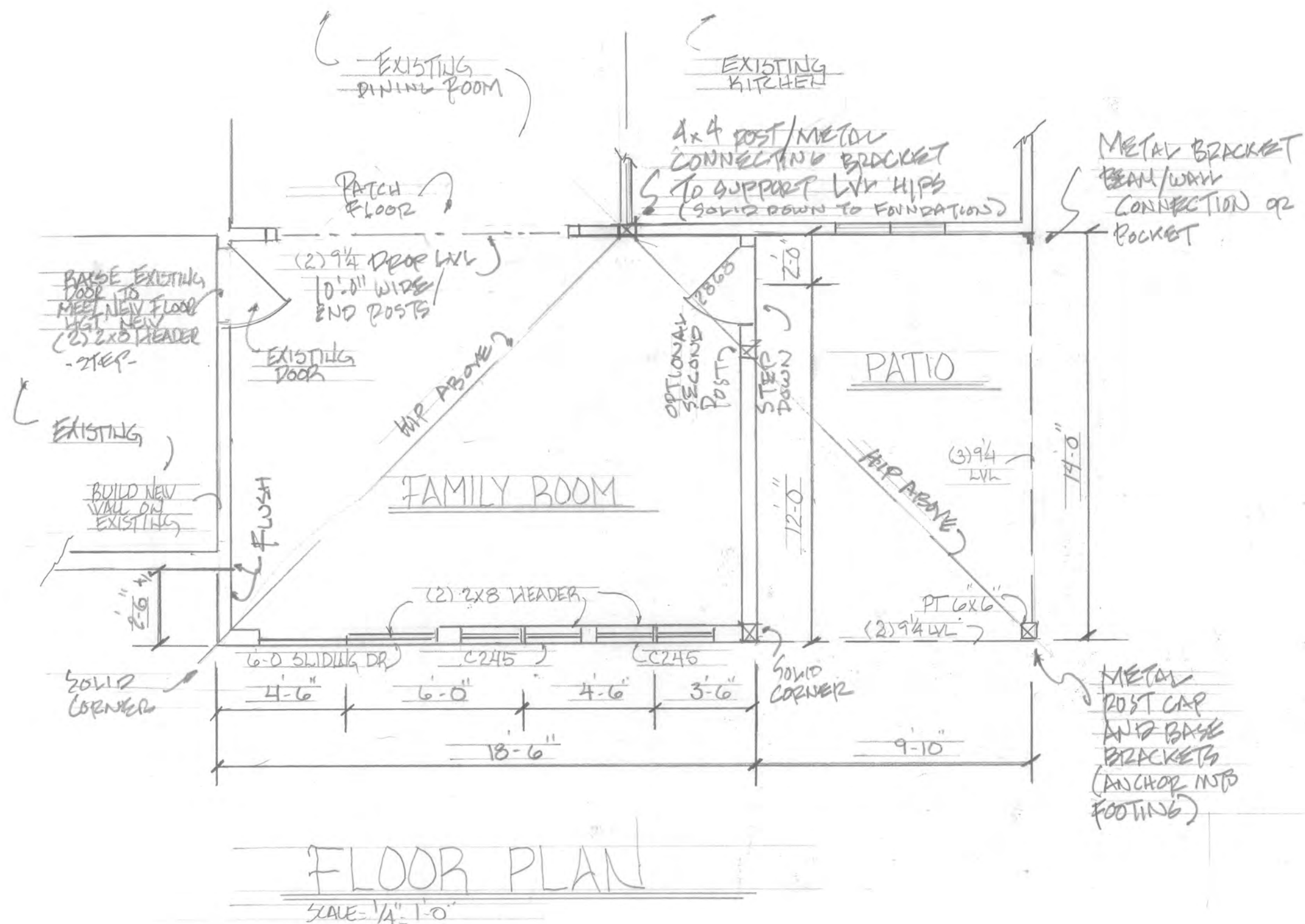


ROOF FRAMING PLAN



DEMOLITION PLAN
(EXISTING CONDITIONS)

FAMILY ROOM & PATIO ADDITION		
DAN & NANCY LOUGHRAN		
406 KILBOURN RD. PITTSFORD NY 14534		
DATE	APPROVED BY	DRAWN BY
3/21/25	JOE ADDANTE	THOMAS A. SACHEL
		SHEET: 1 of 2



FAMILY ROOM & PATIO ADDITION			
DAN & NANCY LOUGHRAN			
406 KILBOURN PITTSFORD N.Y. 14534			
DATE:	APPROVED BY	DRAWN BY	SHEET: 2 of 2
3/21/25	JOE ADDANTE	THOMAS A. SACHLI	







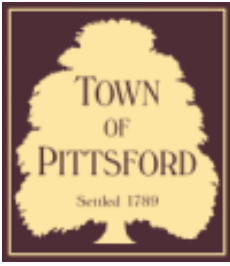






TimberTech
Watershed™
MicroLam® LVL
3048 1/2" x 12" x 12' 0" SFI
0579 05163

TimberTech
Watershed™
MicroLam® LVL
3048 1/2" x 12" x 12' 0" SFI
0579 05163



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000099

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 93 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.13-3-8

Zoning District: RN Residential Neighborhood

Owner: Blue Castle, LLC

Applicant: Honest Properties LLC

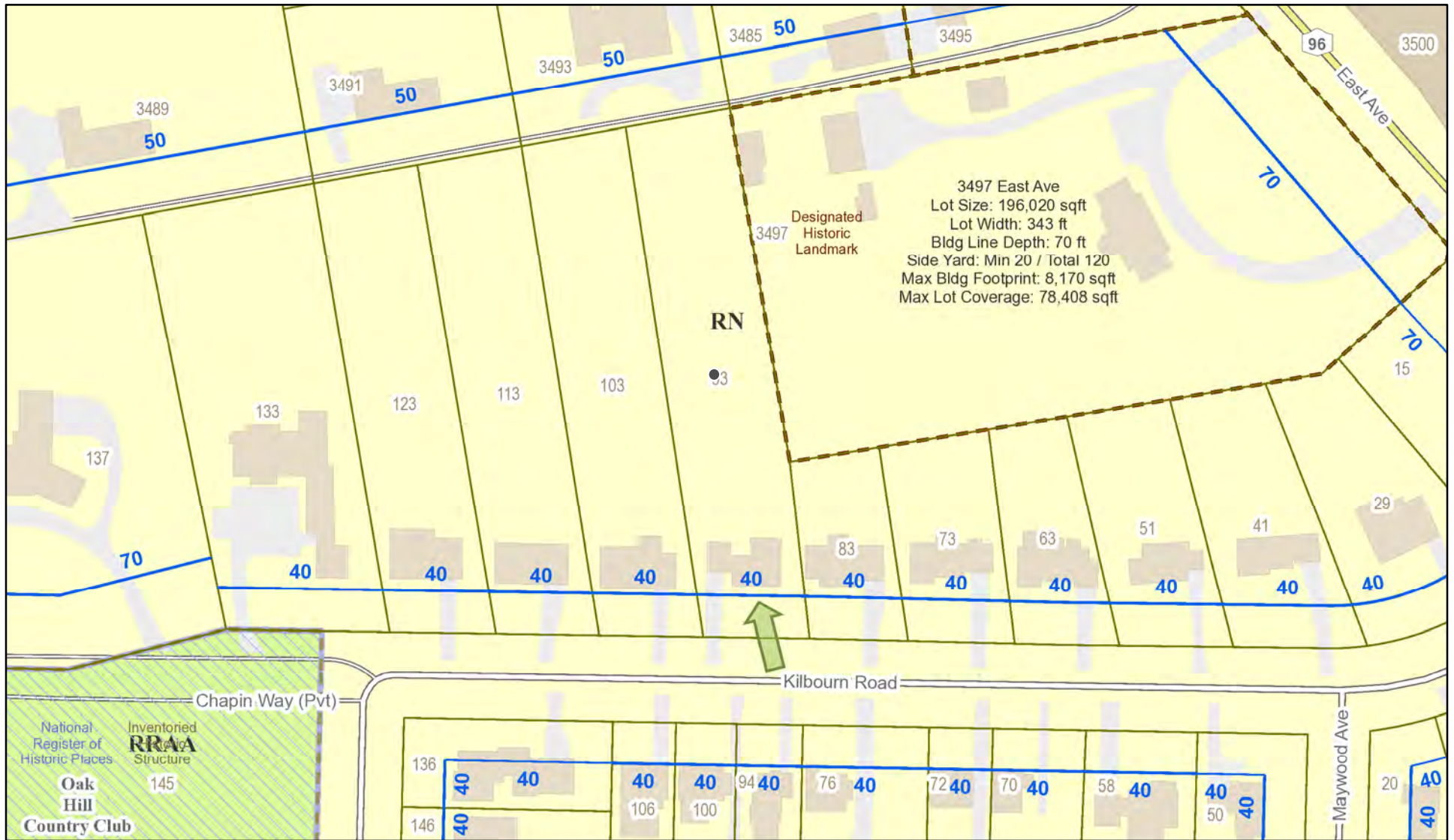
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

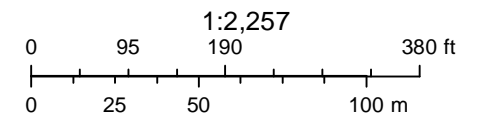
Project Description: Applicant is requesting design changes for a previously approved 1170 square feet addition off the rear of the home.

Meeting Date: September 25, 2025

RN Residential Neighborhood Zoning



Printed August 7, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



PRIVATE DRIVE

N/F
ST. JOHN FISHER COLLEGE
No. 3497 EAST AVENUE
AREA: 4.50 ACRES
196,020 SQ. FT.
TM#0138.14-1-17

N/F
THOMAS M. MULLARD COTRUST
No. 83 KILBOURN ROAD
LOT R-8
AREA: 0.37 ACRES
16,117 SQ. FT.
TM#0138.14-1-24

N/F
BLUE CASTLE LLC
No. 93 KILBOURN ROAD
LOT R-9
AREA: 1.10 ACRES
47,916 SQ. FT.
TM#0138.13-3-8

N/F
RAYMOND SIEFERT
DOREEN A. SABETTA
No. 103 KILBOURN ROAD
LOT R-10
AREA: 1.09 ACRES
47,480 SQ. FT.
TM#0138.13-3-7

KILBOURN ROAD
(R.O.W. 80')

REFERENCES:
1. MAP OF THE EAST AVENUE ESTATES AMENDED
RESUBDIVISION FILED IN THE MONROE COUNTY CLERKS
OFFICE IN LIBER 113 OF MAPS, PAGE 83.



WE, MARATHON ENGINEERING, HEREBY CERTIFY THAT THIS
MAP WAS PREPARED FROM NOTES OF A FIELD SURVEY
COMPLETED ON JUNE 13, 2025 AND FROM THE
REFERENCES LISTED HEREON. SUBJECT TO ANY FACTS AN
UPDATED ABSTRACT OF TITLE MAY REVEAL.

YACUZZO

MICHAEL D. YACUZZO, L.S. LIC. #051168

SURVEY MAP

OF

93 KILBOURN ROAD

**BEING LOT R-9 of the EAST AVENUE ESTATES AMENDED
RESUBDIVISION**

TOWN OF PITTSFORD MONROE COUNTY STATE OF NEW YORK



39 GARDEN DRIVE
ROCHESTER, NY 14624
716.421.0000
MARATHONENGINEERING.COM

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW
ARTICLE 148, SECTION 7209 FOR ANY PERSON, UNLESS
ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER IN
ANY MANNER OR BEING THE SEAL OF A PROFESSIONAL
ENGINEER OR LAND SURVEYOR, IF BY SUCH BEING THE
SEAL OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR IS
ALTERED, THE ALLEGED ENGINEER OR LAND SURVEYOR
SHALL AFFIX TO THE COPY THEIR SEAL AND THE WORDS
"ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE
DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION
OF THE ALTERATION.

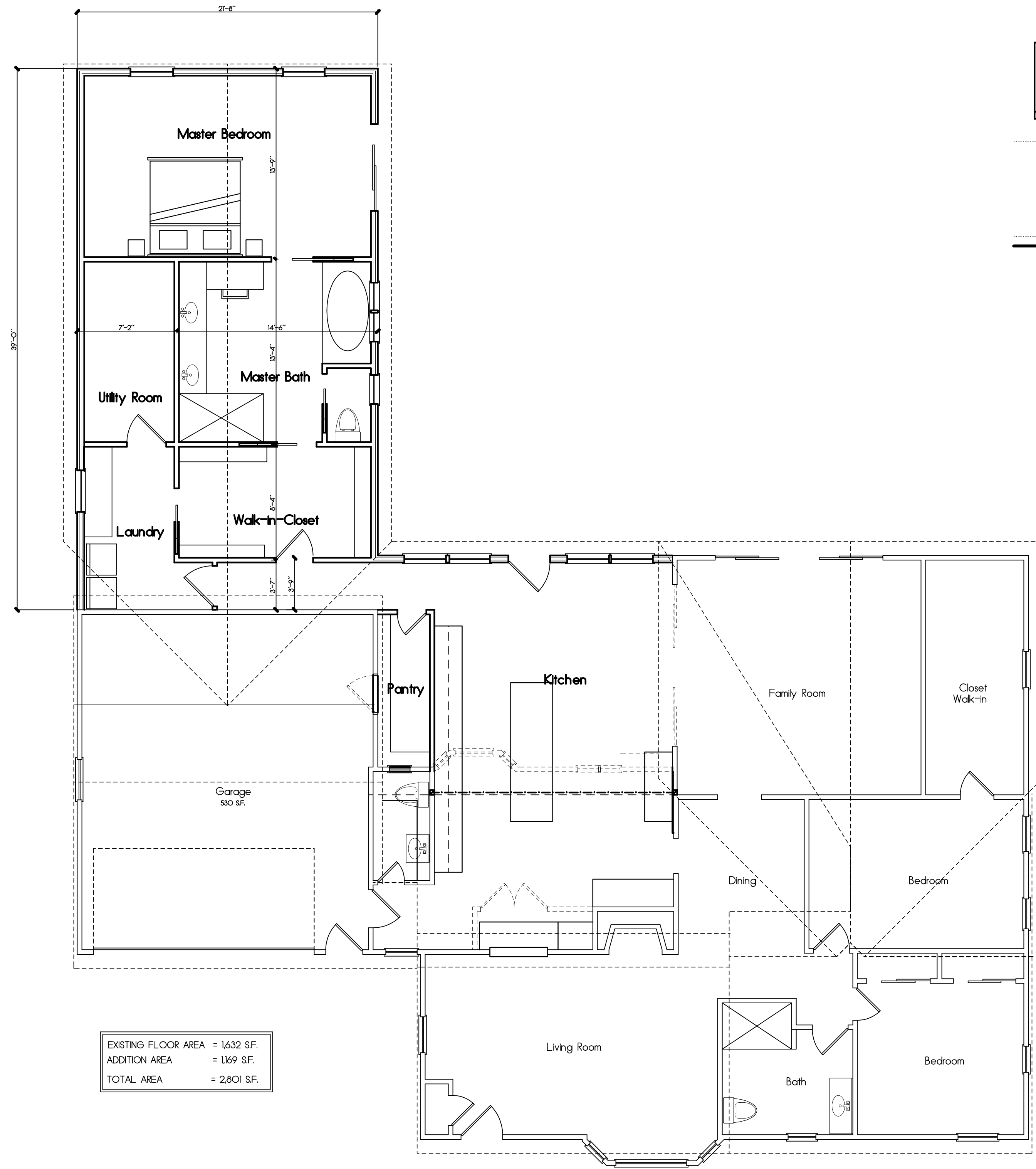
JOB NO. LS25-38

SCALE: 1"=50'

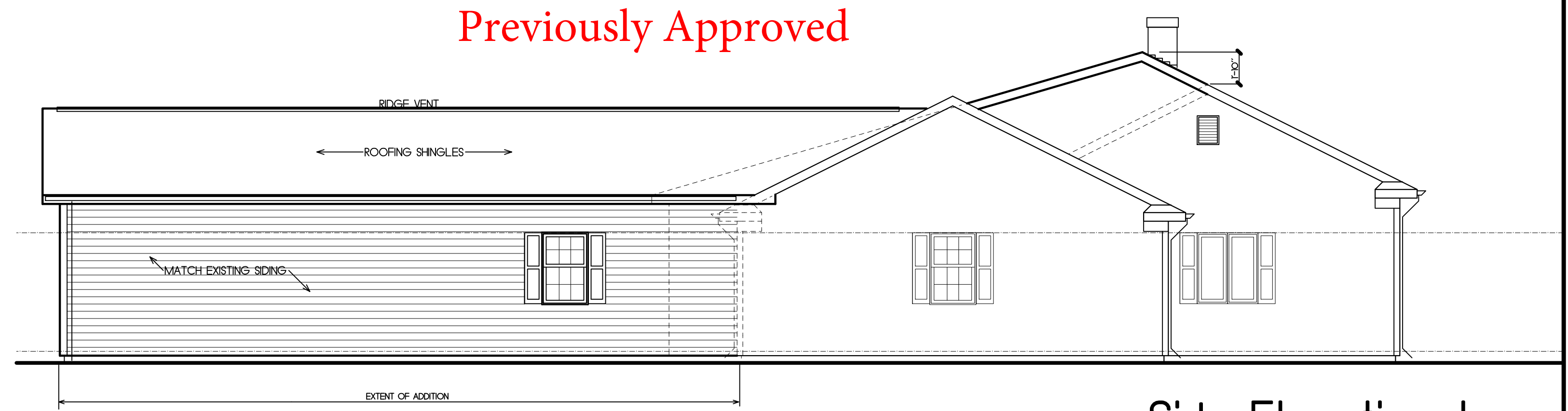
DRAWN: JSO

DESIGNED: JSO

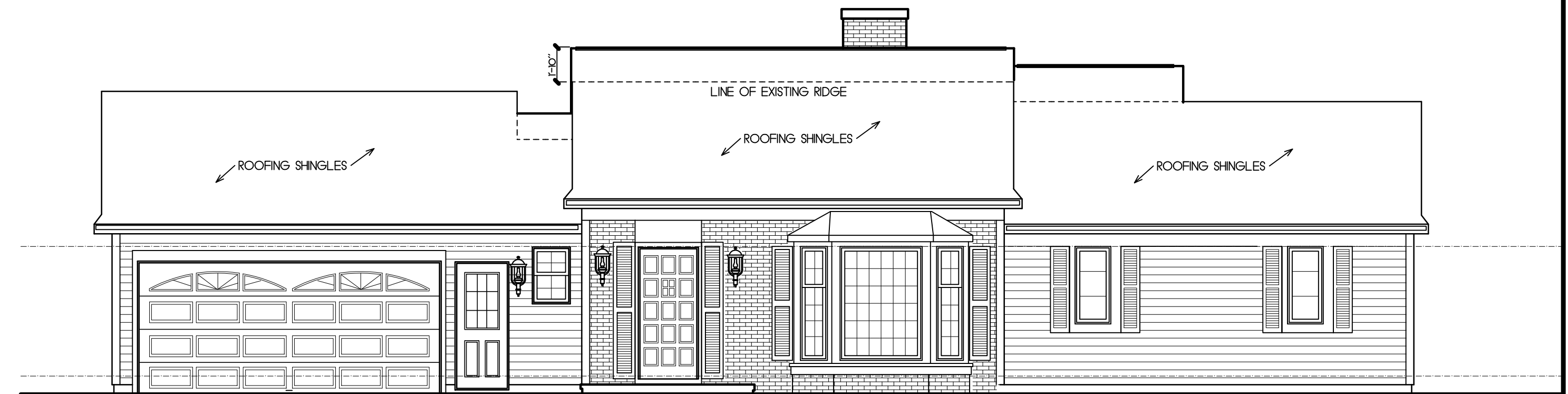
DATE: 06/16/2025



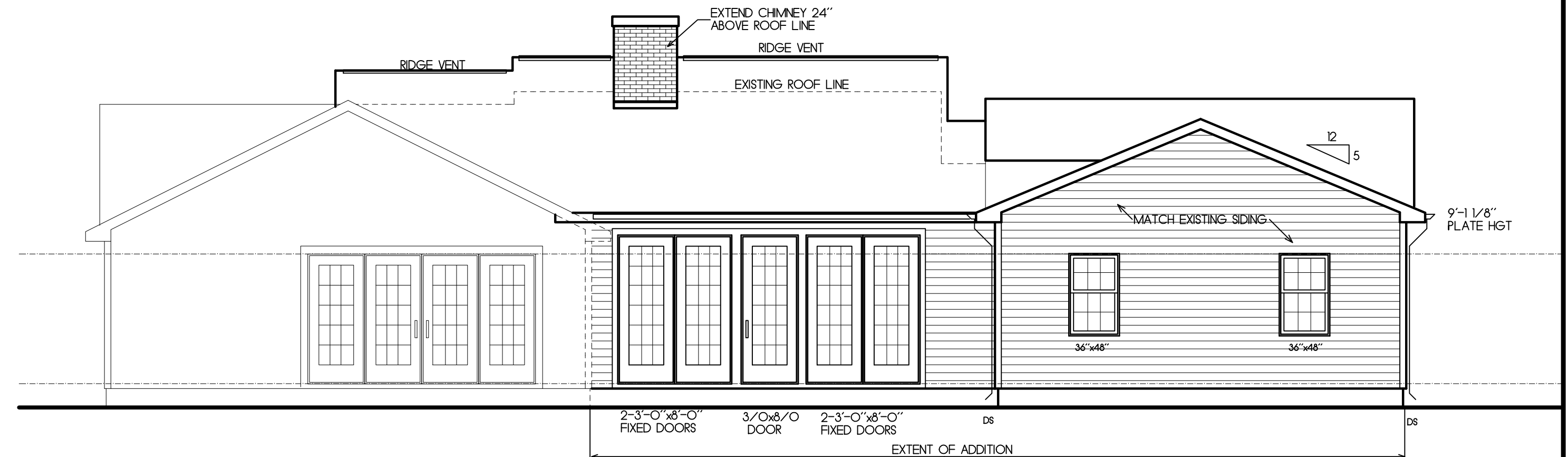
Proposed Floor Plan
3/16"=1'-0"



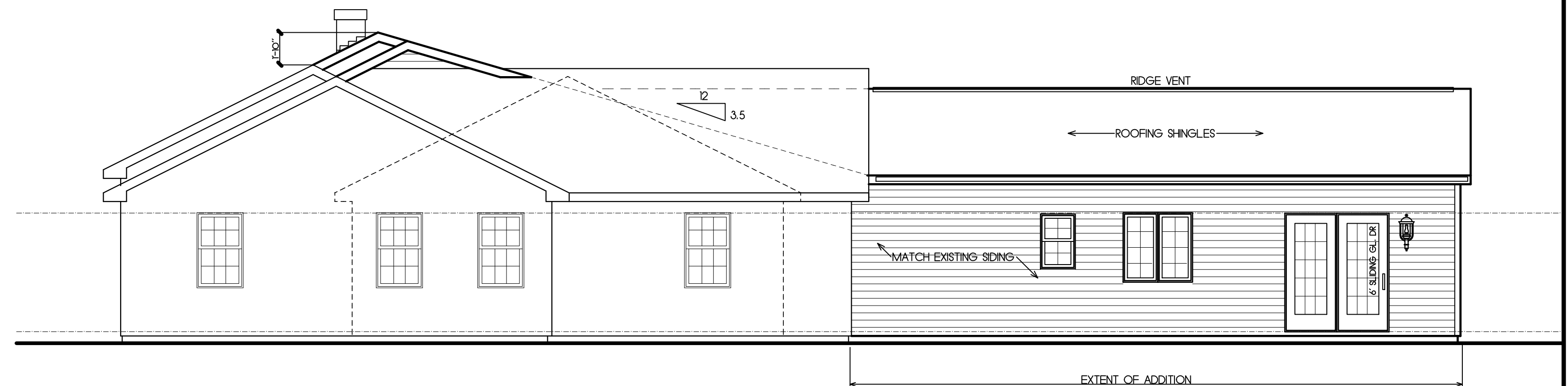
Side Elevation-L
3/16"=1'-0"



Front Elevation
3/16"=1'-0"



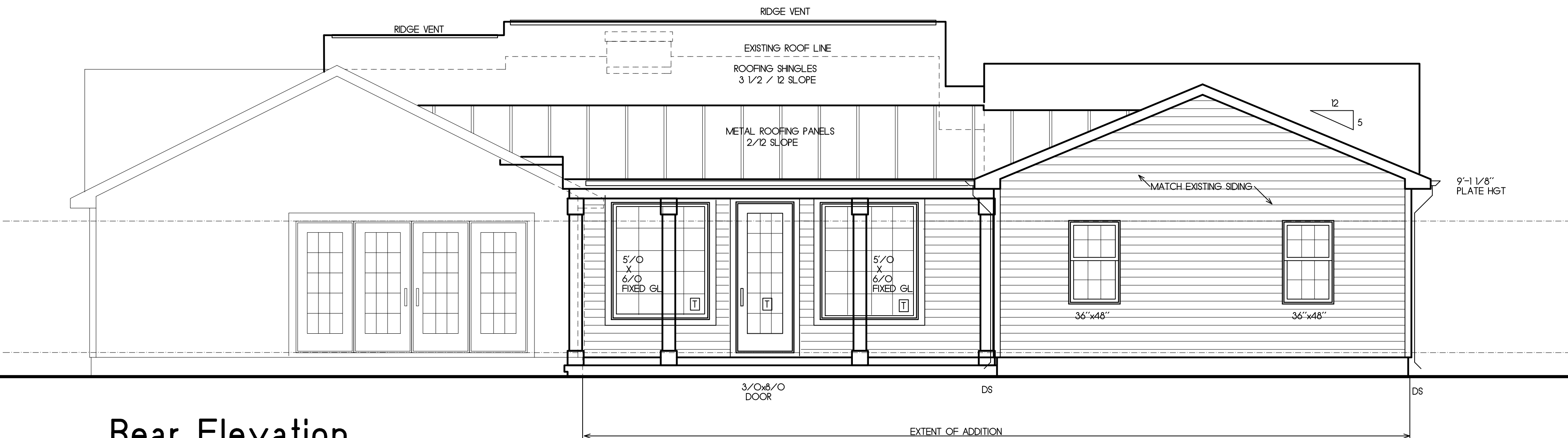
Rear Elevation
3/16"=1'-0"



Side Elevation-R
3/16"=1'-0"

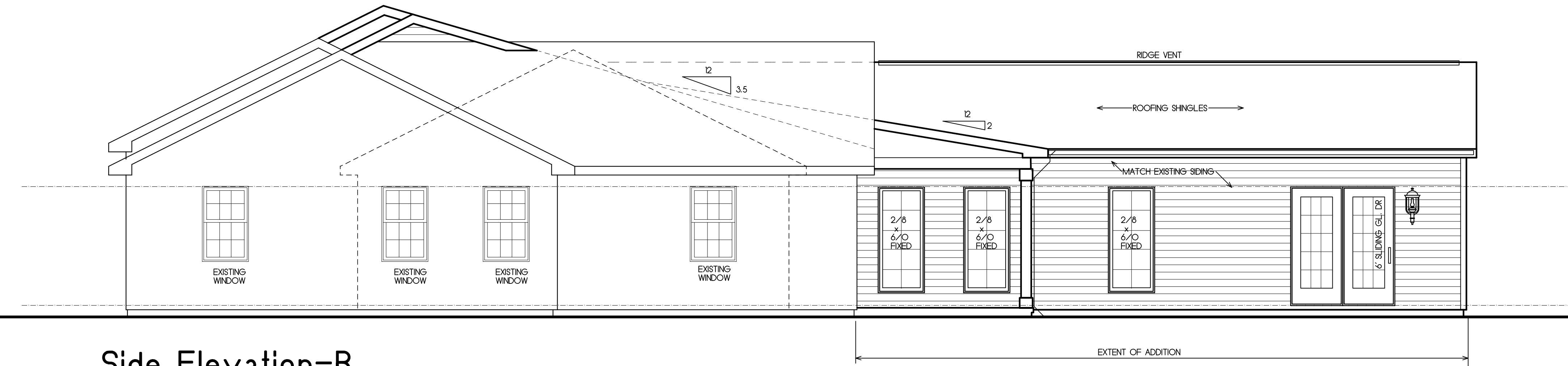


Front Elevation
1/4"=1'-0" SOUTH ELEVATION



Rear Elevation
1/4"=1'-0" NORTH ELEVATION

- Ⓔ DENOTES EGRESSIBLE WINDOW UNIT W/
5.7 SF MIN. OPENING, 20" MIN. OPENING
WIDTH AND 24" MIN. OPENING HEIGHT
- Ⓙ DENOTES TEMPERED GLASS PER R308
OF THE NEW YORK STATE CODE



Side Elevation-R
1/4"=1'-0" EAST ELEVATION



PROPOSED ADDITION
FOR
93 KILBOURN ROAD
TOWN OF PITTSFORD, NEW YORK

REVISIONS	
NO.	DATE DESCRIPTION

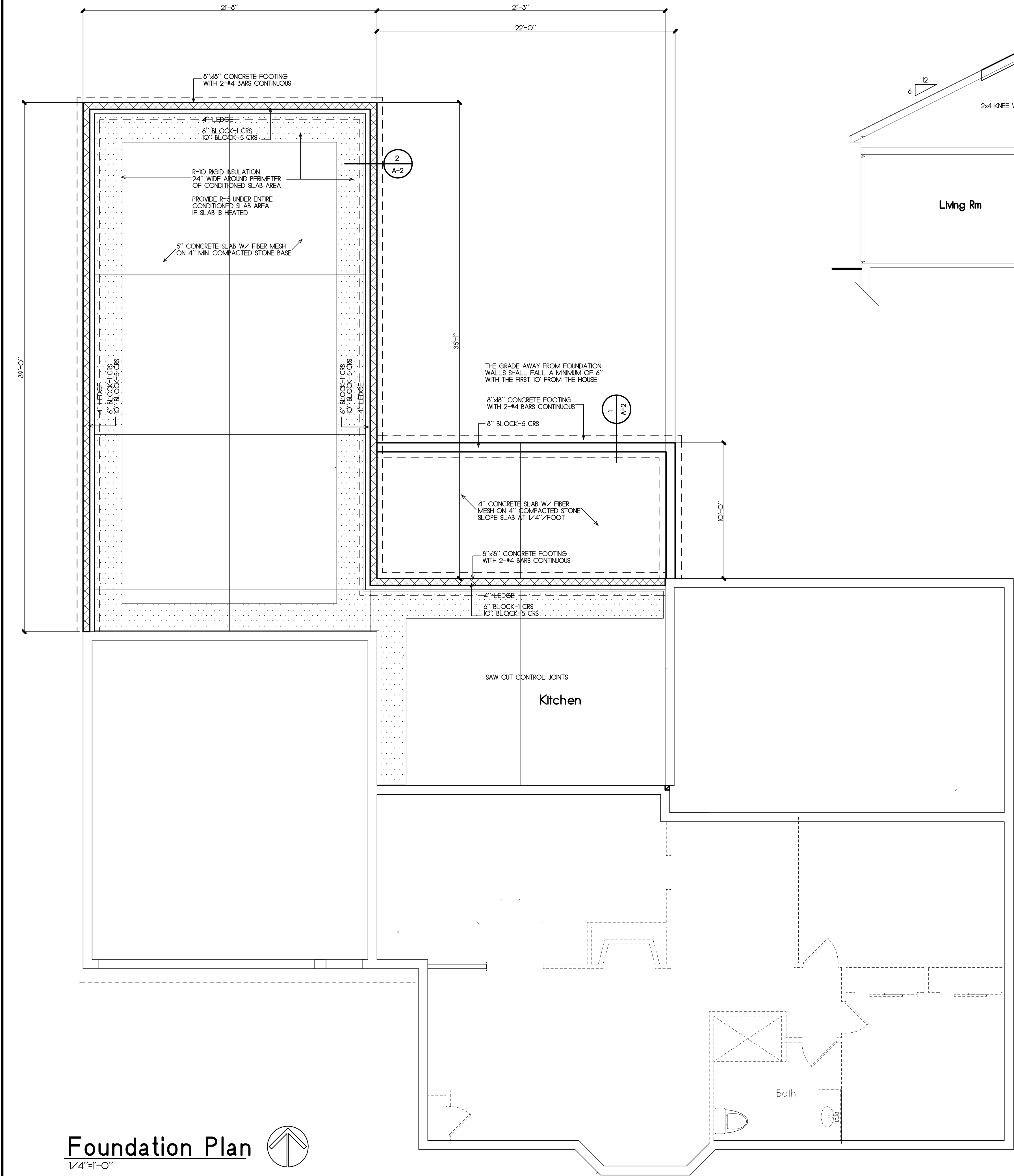
93 KILBOURN

A-4

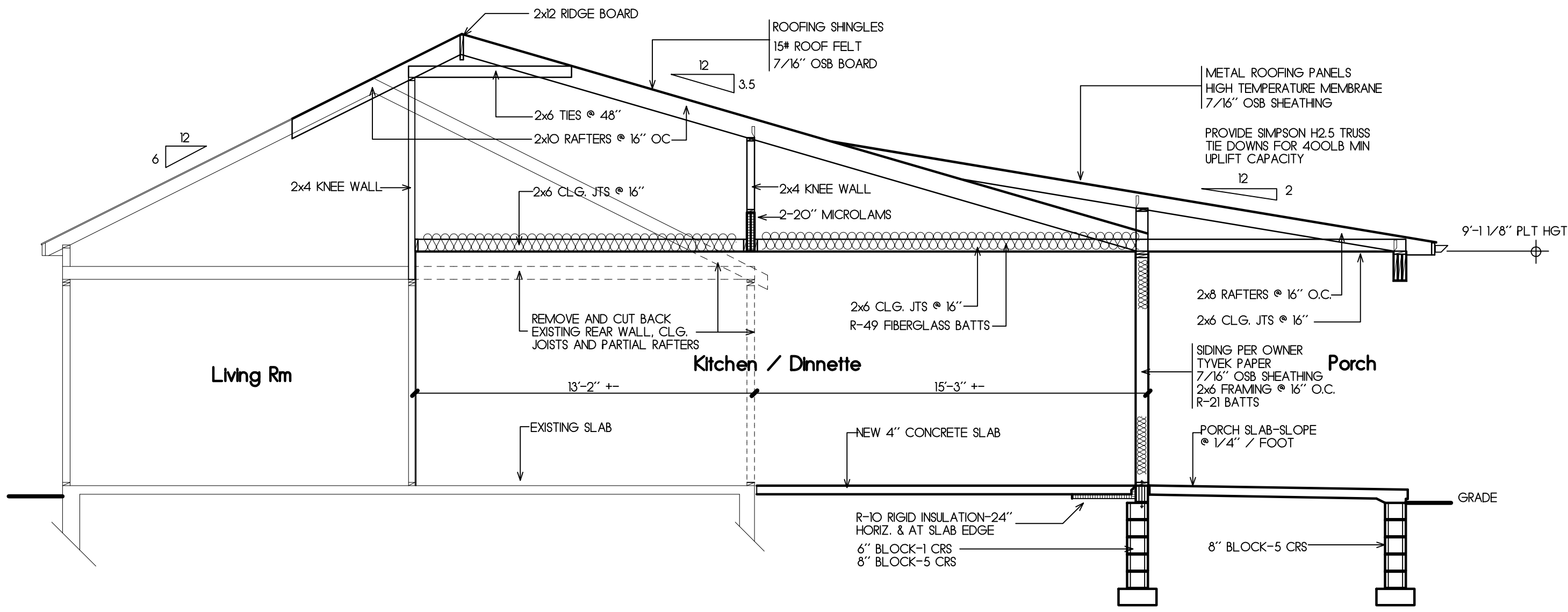
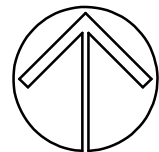
JUNE 4, 2025



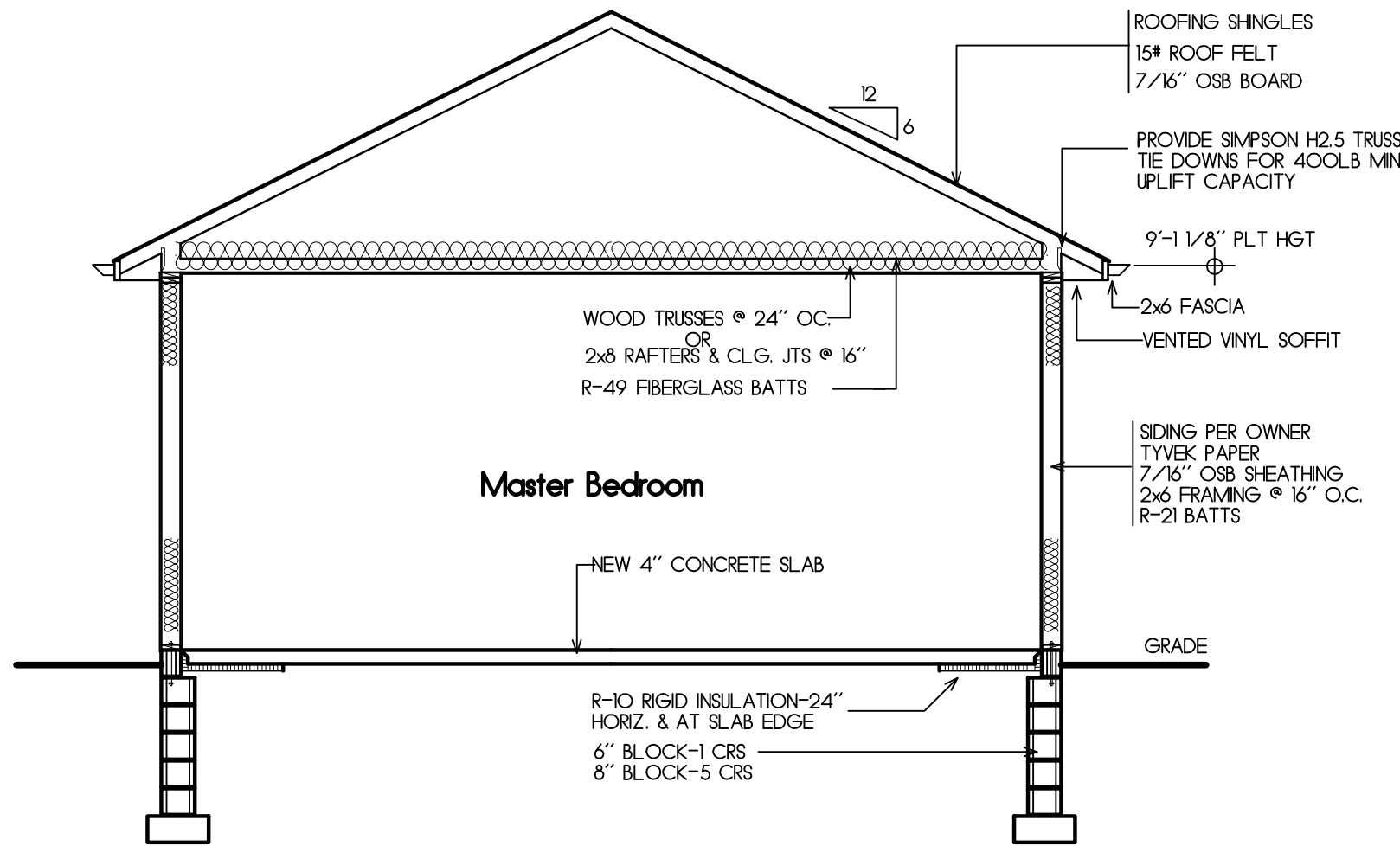
JUNE 4, 2025



Foundation Plan
1/4"=1'-0"



Section 1
1/2"=1'-0"



Section 2
1/2"=1'-0"

FOUNDATIONS

CONTRACTOR SHALL NOTIFY SITE ENGINEER AND ARCHITECT IF SITE CONDITIONS SUCH AS ADVERSE GROUND WATER OR SOIL CONDITIONS WARRANT MODIFICATIONS TO THE FOUNDATION DESIGN.

FOOTINGS MAY BE POURED NEAT AGAINST SIDES OF EXCAVATIONS ONLY IF SLOUGHING OR RAVELING DOES NOT OCCUR.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.

BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTILL - CONCRETE AND GROUT HAS REACHED SUFFICIENT STRENGTH TO RESIST DAMAGE OR STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD DECK IS IN PLACE OR SUFFICIENT WALL BRACING IS IN PLACE.

REINFORCING-

ANCHOR BOLTS SHALL CONFORM TO ASTM A-307 AND SHALL BE 1/2" DIA MIN AND 12" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM END PLATE, 6'-0" O.C. AND MIN OF 2-ANCHOR BOLTS IN ANY ONE SECTION LOCATE IN MIDDLE THIRD OF PLATE. AT LEAST 1 1/8" FROM THE EDGE OF A 2x4 AND 1 3/4" FROM THE EDGE OF A 2x6.

FOOTINGS

FOOTING SHALL BE PLACED AT A MIN OF 48" BELOW GRADE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

FINAL 3" OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACES.

BOTTOM SURFACE OF FOOTING SHALL NOT SLOPE MORE THAN 1/3 UNLESS OTHERWISE INDICATED ON THE DRAGNS.

NO EXCAVATION SHALL BE MADE LOWER AND CLOSER THAN 1/3 UNLESS INDICATED ON THE DRAWINGS.

FOOTINGS AND SLABS SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND.

ALL FOOTINGS SHALL BEAR ON FIRM AND CLEAN SOIL. THE SOIL BEARINGS SHOULD BE VERIFIED AT THE FOOTINGS BY AN ACCEPTED TESTING METHOD.

CONCRETE MASONRY
CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90 TYPE 1, GRADE N.

MORTAR - ASTM C270, TYPE S (1hr=1500 PSI)

BLOCK FILL - COURSE GROUT 3,000 PSI

CONCRETE

FOUNDATION DESIGN IS BASED ON A MIN. SOIL BEARING CAPACITY OF 2,000 PSF. BUILDER SHALL NOTIFY ARCHITECT IF CAPACITY IS LESS.

PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIER UNDER CONCRETE INTERIOR SLABS.

PROVIDE ALL NECESSARY TIE BARS, SPACER BARS, CHAIRS, ETC TO SECURE REINFORCING IN PLACE BEFORE PLACING CONCRETE.

MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE	
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO WEATHER	2,500 PSI
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500 PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO EXTERIOR	3,000 PSI
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER, AND GARAGE FLOOR SLABS	3,500 PSI

PROPOSED ADDITION

FOR

93 KILBOURN ROAD

TOWN OF PITTSFORD, NEW YORK

REVISIONS
No. DATE DESCRIPTION

93 KILBOURN

A-2

JUNE 4, 2025

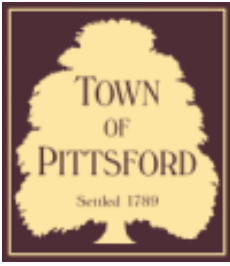












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000089

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 22 Charter Oaks Drive PITTSFORD, NY 14534

Tax ID Number: 178.06-3-51

Zoning District: RN Residential Neighborhood

Owner: Kalb, Adam Christopher

Applicant: RX Remodeling and Construction Inc.

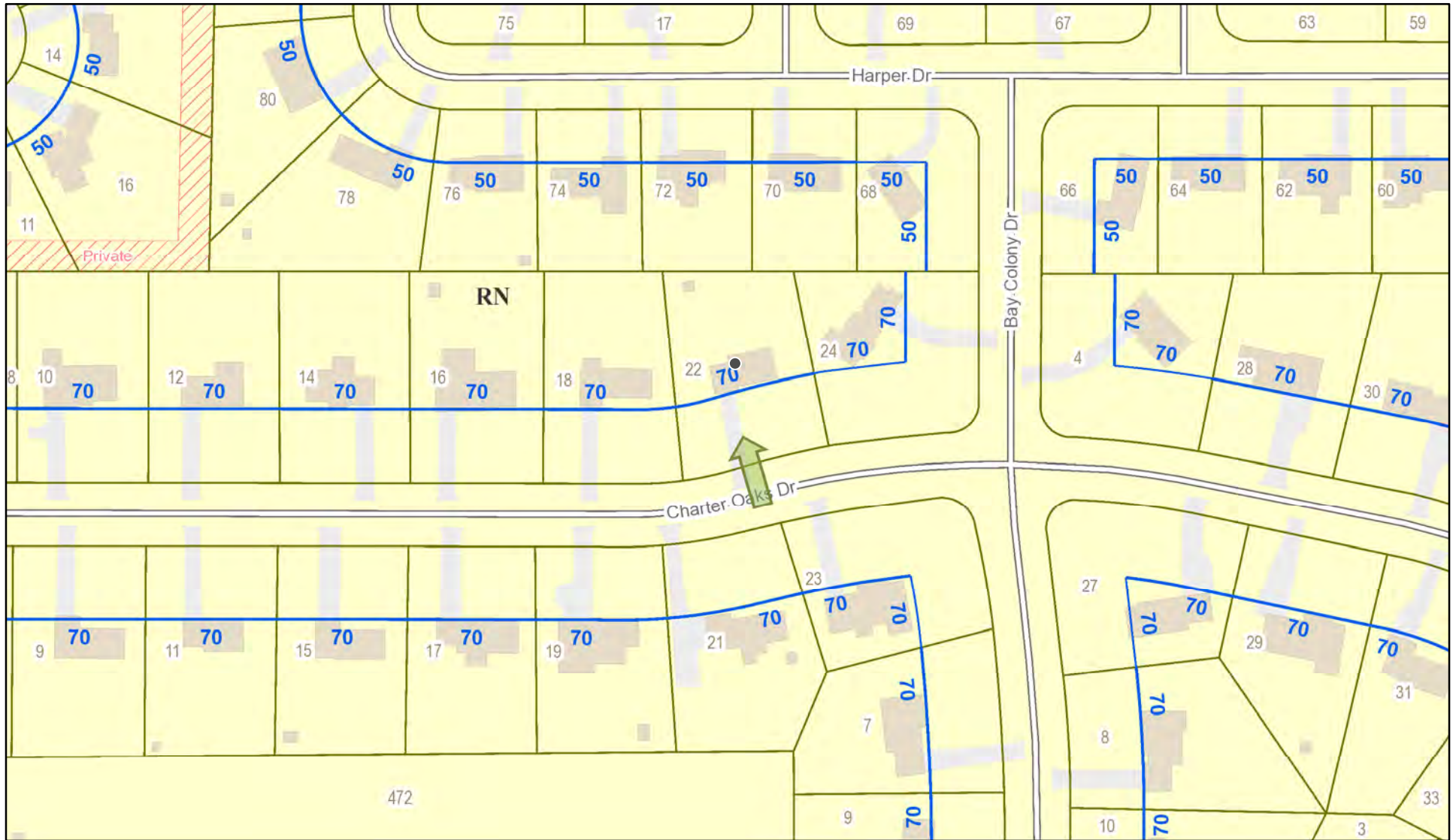
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

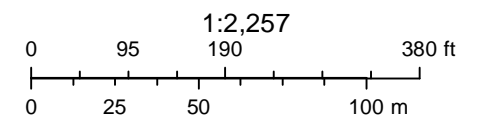
Project Description: Applicant is returning to request design review of a 704 Sq Ft. addition to existing garage.

Meeting Date: September 25, 2025

RN Residential Neighborhood Zoning

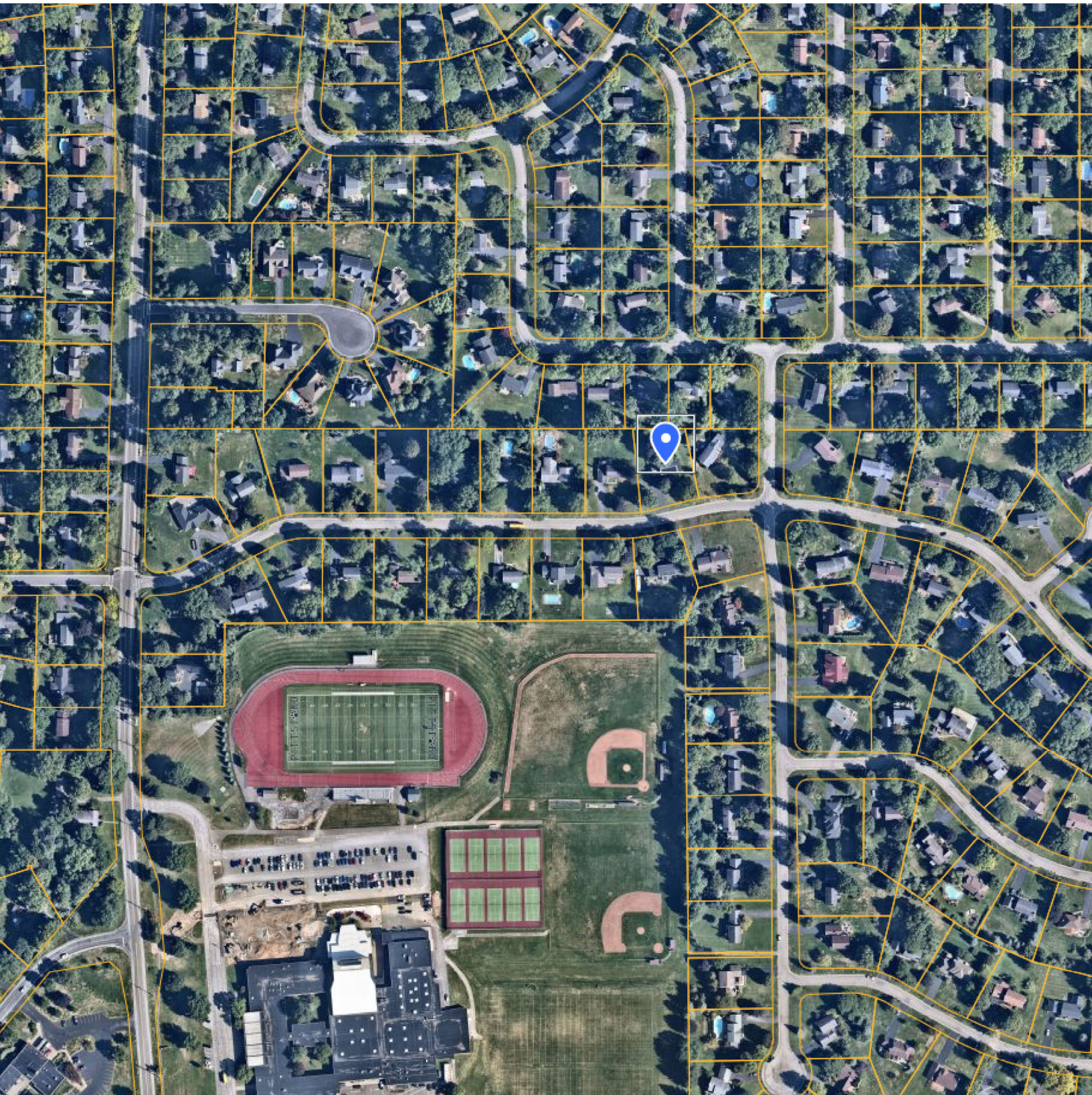


Printed August 18, 2025



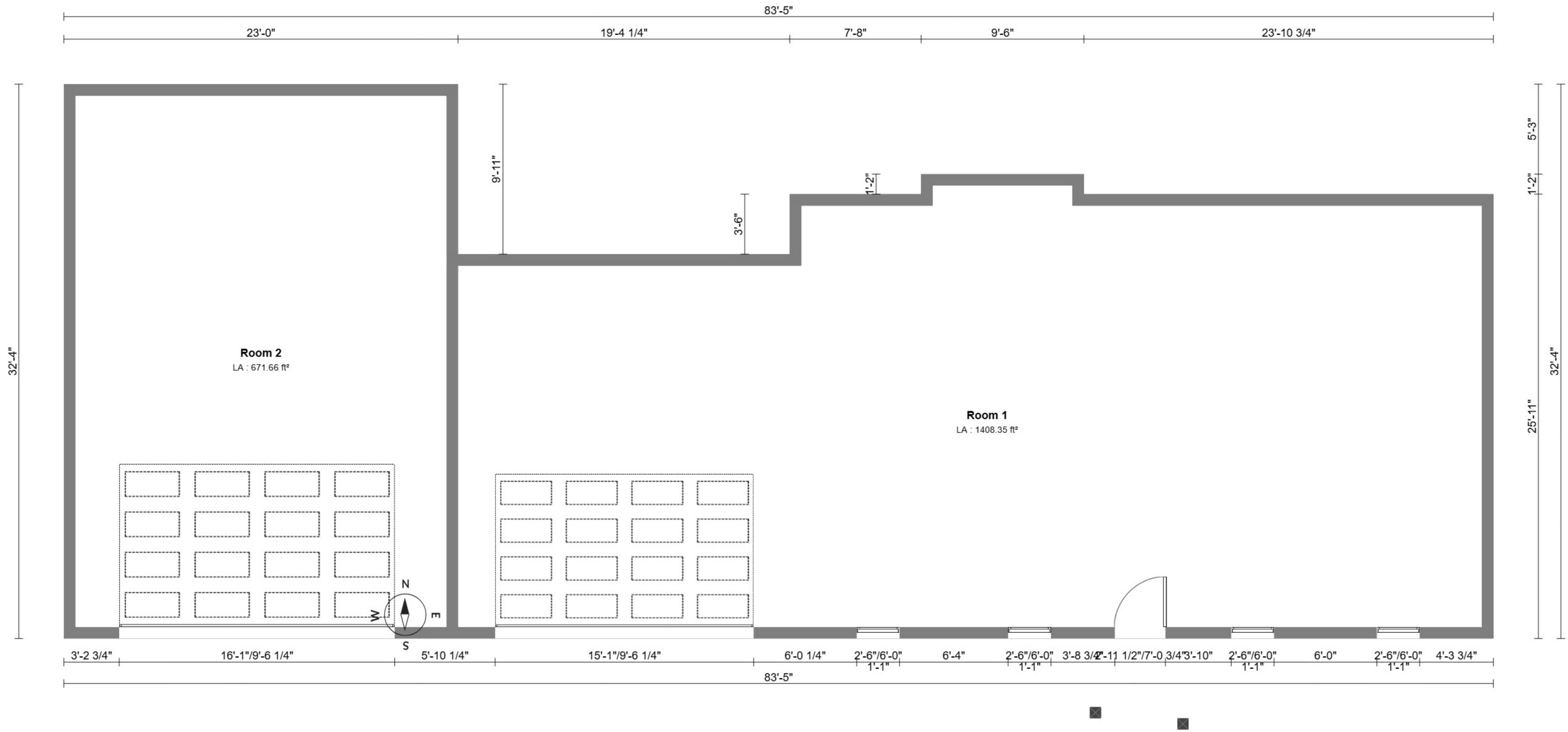
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Powered by CEDREC
Exclusively reserved for a non-commercial use

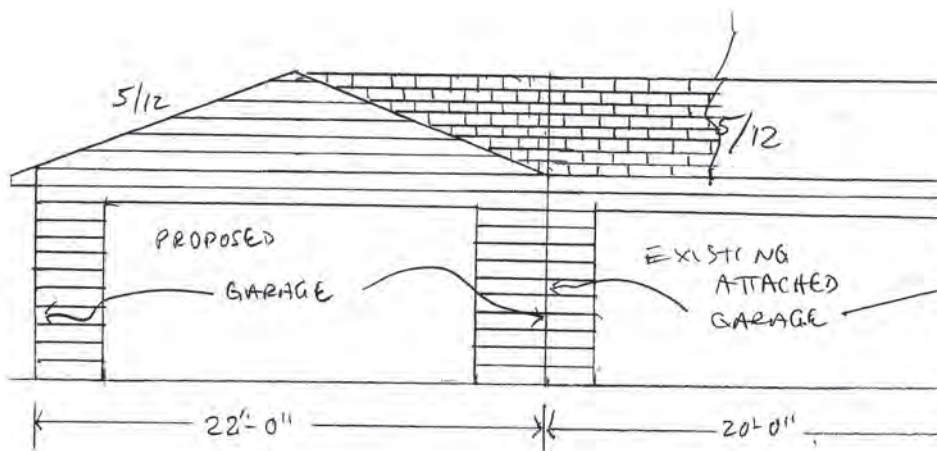


22 CHARTER OAKS DRIVE

1/4" = 1'-0"

JT

FRONT VIEW / NORTH SIDE



22 CHARTER OAKS
DRIVE

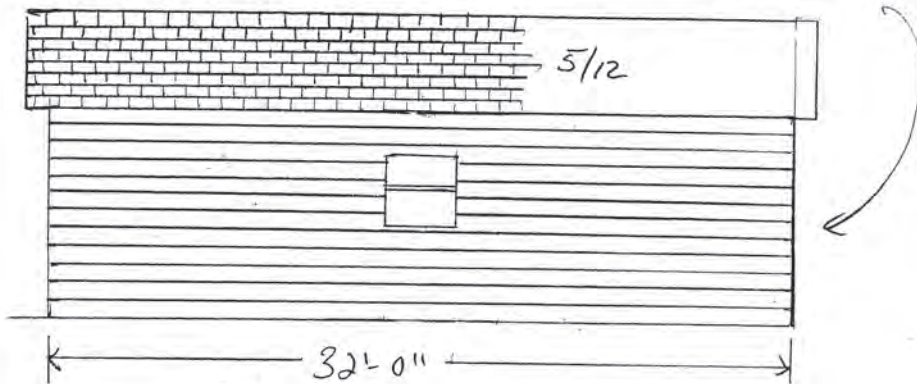
1/4" = 1'-0"

JT

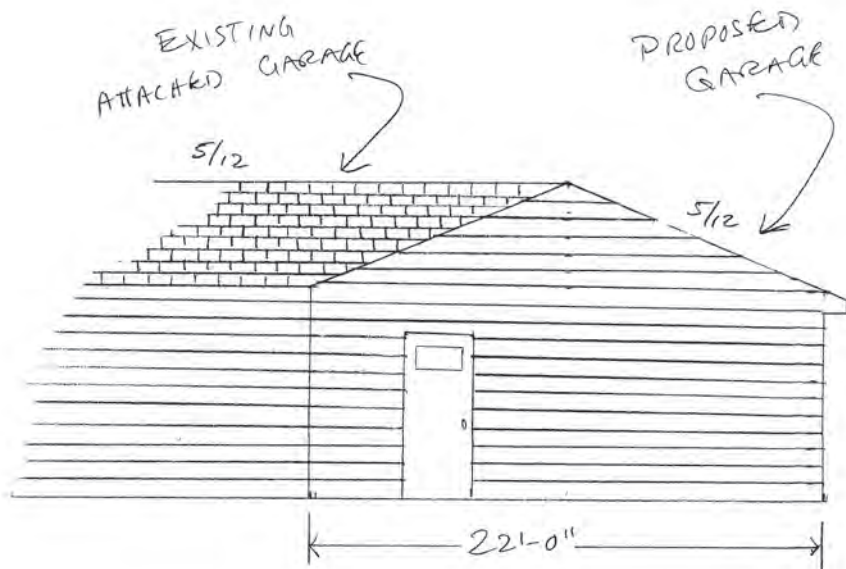
A
C

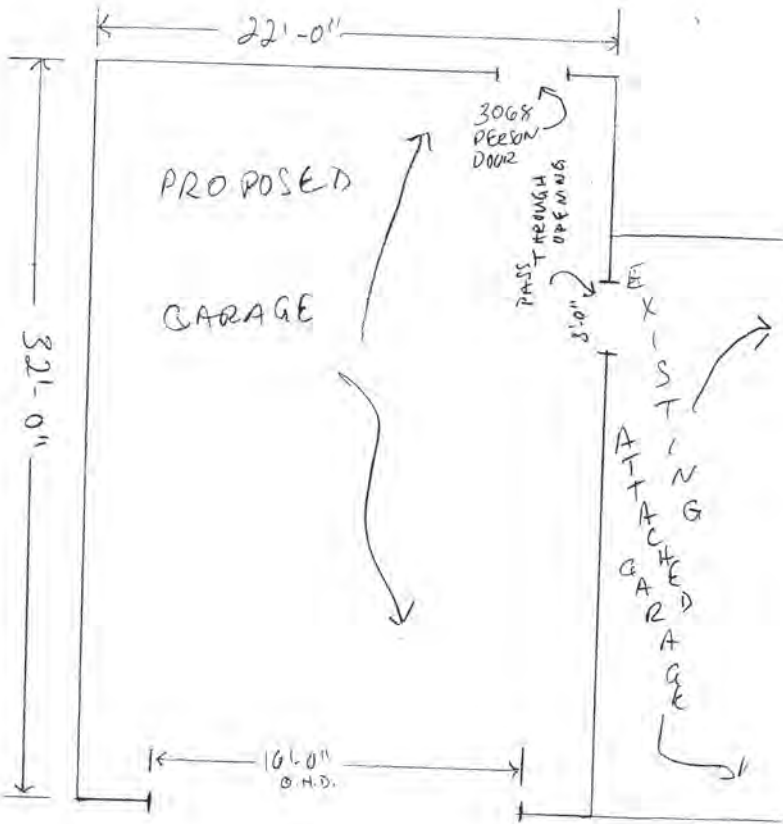
SIDE VIEW / WEST SIDE

NEW GARAGE WA
HEIGHT TO MATCH
EXISTING GARAGE
WALL HEIGHT



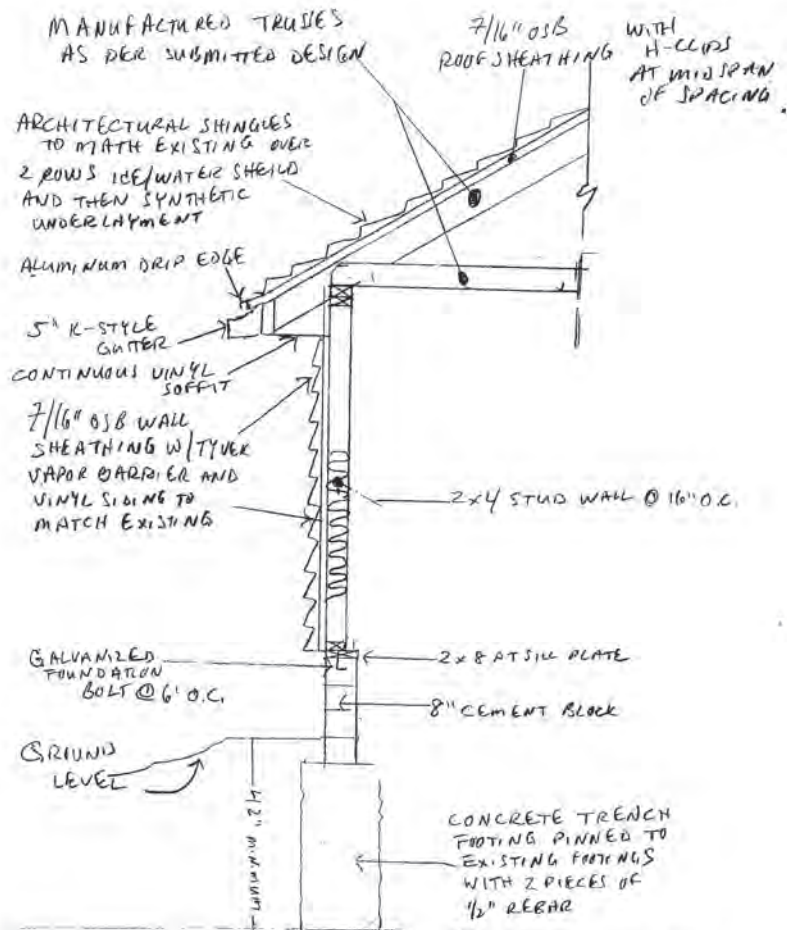
22 CHARTER OAKS DRIVE $\cdot 1/4" = 1'-0"$ (JT)
REAR VIEW / SOUTH SIDE





1/4" = 1'-0"

(JT)



22 CHARTER OAKS DRIVE

(57)





Powered by  CEDREC
Exclusively reserved for a non-commercial use

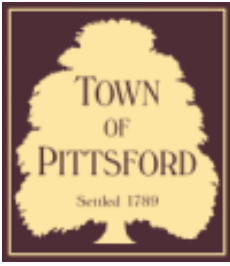












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S25-000010

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Elevated Sign Solutions

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a 10.55 Sq Ft. sign for Columbia Store.

Meeting Date: September 25, 2025



NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company		
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT #	SWE25-053
CLIENT APPROVAL:			
APPROVAL DATE:			
PAGE TITLE:	Cover		
DRAWING DATE:	29 July 2025	SHEET:	1/5

UL
REQUIRED

URGENT ATTENTION ELECTRICIANS
Sign Transformer requires that all
transformers be grounded to a
neutral ground, terminating at panel.
Questions call 803.538.3255
to sign only

CIRCUITS REQUIRED
One (1) 20 AMP
transformer
dedicated
to sign only

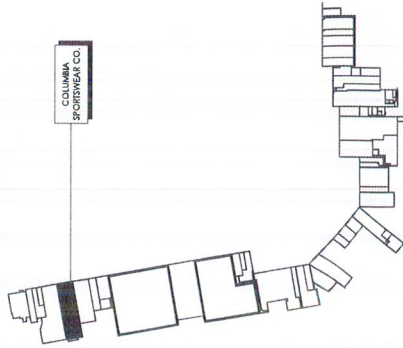
SIGNWAY ELITE
DESIGN • INSTALL • MAINTENANCE • REMEDIATION
2208 Riding Ridge Rd.
Columbia, SC 29223
803-530-3255
www.signwav.com



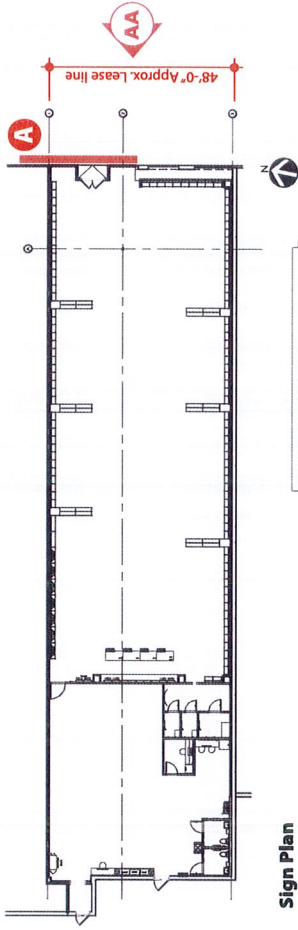
Aerial View



Existing Conditions (Primary Storefront)



Mall Map




Sign Plan

COLUMBIA SPORTSWEAR COMPANY
PITTSFORD PLAZA
3349 MONROE AVE. SPACE #68 & 7A
PITTSFORD, NY 14618

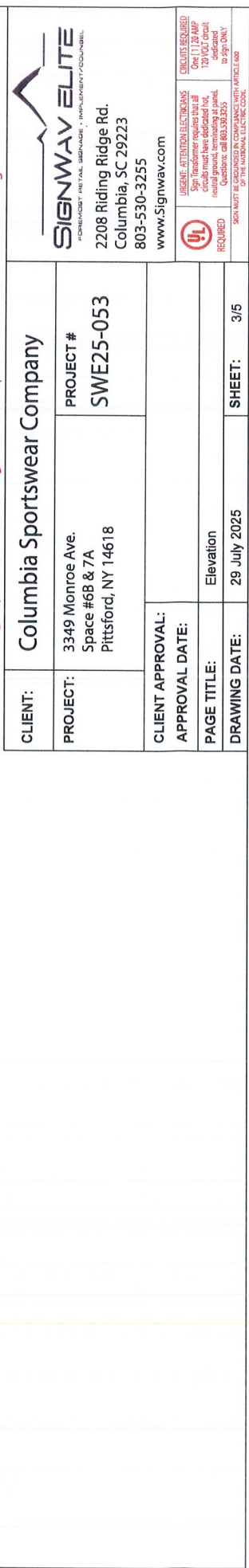


Store Location

NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company	
PROJECT:	3349 Monroe Ave. Space #68 & 7A Pittsford, NY 14618	PROJECT # SWE25-053
CLIENT APPROVAL: APPROVAL DATE:	 SIGNWAY ELITE <small>#CEREMONY RETAIL SIGNAGE • IMPLEMENT/COUNSEL</small> 2208 Riding Ridge Rd. Columbia, SC 29223 803-530-3255 www.signwav.com	
PAGE TITLE:	Project Location Details	
DRAWING DATE:	29 July 2025	SHEET: 2/5

UL
 URGENT ATTENTION ELECTRICIANS
 Sign Transformer requires that all
 circuits must have dedicated hot
 and neutral conductors. No shared
 conductors. Call 803.530.3255
 to sign only
 REQUIRED
 SIGN MUST BE ORGANIZED IN COMPLIANCE WITH ARTICLE 600
 OF THE NATIONAL ELECTRIC CODE






NOTE: Preliminary rendering! Survey required to confirm facade area.


NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company		
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT #	SWE25-053
CLIENT APPROVAL:			
APPROVAL DATE:			
PAGE TITLE:	Rendering		
DRAWING DATE:	29 July 2025	SHEET:	4/5

**UL**
REQUIRED

URGENT: ATTENTION ELECTRICIANS
Sign Transformer requires that all
transformers be replaced with
newer model, bearing at least
Question: call 803.530.3255
to sign only

CIRCUITS REQUIRED
One (1) 20 AMP
Three (3) 15 AMP
Two (2) 10 AMP
to sign only

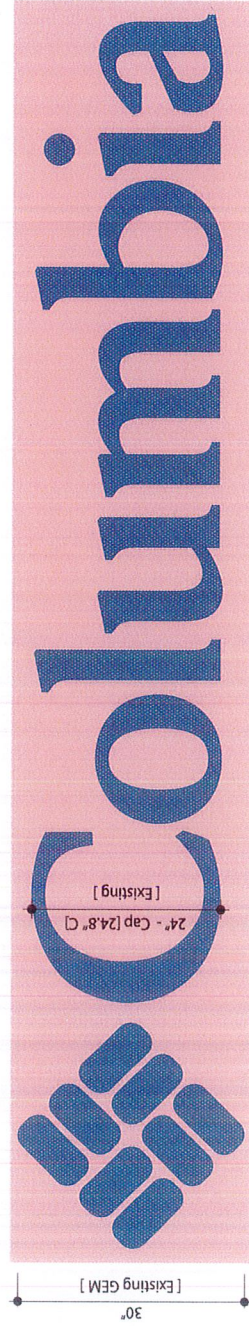
**SIGNWAV ELITE**
FOREMOST RETAIL SIGNAGE • IMPLEMENT / COUNSEL
2208 Riding Ridge Rd.
Columbia, SC 29223
803-530-3255
www.signwav.com

18'-10-11/16" [Overall]

13'-9-3/8" [Existing]

5'-2-1/2"

6"



A Sign Elevation - 3/4" = 1'-0"
Sign Area = 45 Sq. Ft.

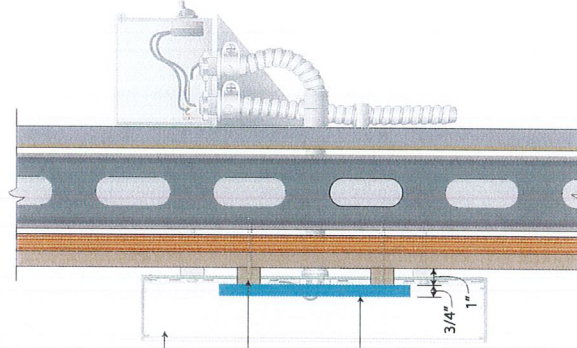
**FACTORY
OUTLET**

4'-3"

8-1/2" 5-1/2" 8-1/2"

SPECIFICATIONS:

- Sign to be comprised of 3/4" thick FCO acrylic logo components painted Satin to match PMS Process Blue C on all exposed surfaces.
- Sign to be installed on existing facade with fully concealed 1-1/2" long 10-32 threaded mounting pins with 3/8" dia x 1" long stand-off spacers painted to match facade (exact color TBD) in pre-drilled mounting holes & clear silicone.
- Quantity: [1] One





Sign Section - NTS

EXISTING CHANNEL LETTERS BEYOND

Logo components to be mounted with fully concealed 1-1/2" long 10-32 threaded mounting pins with 3/8" dia x 1" long stand-off spacers painted to match facade (exact color TBD) in pre-drilled mounting holes & clear silicone

3/4" thick FCO acrylic logo components painted Satin to match PMS Process Blue C on all exposed surfaces

NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company	
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT # SWE25-053
CLIENT APPROVAL:		
APPROVAL DATE:		
PAGE TITLE:	Sign Details	
DRAWING DATE:	29 July 2025	SHEET: 5/5
<div><div>REQUIRED</div><div>URGENT: ATTENTION ELECTRICIANS Sign Transformer requires that all circuits must have indicated hot, neutral, and ground wires. Indoor use. Call 803-530-3255 10-599 ONLY</div></div> <div>SIGNWAV ELITE FORWARD - FULL SERVICE - IMPLEMENT / COUNSEL 2208 Riding Ridge Rd. Columbia, SC 29223 803-530-3255 www.signwav.com</div> <div>CIRCUITS REQUIRED One (1) 20 AMP 120VAC circuit Indoor use only 10-599 ONLY SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 480 OF THE NATIONAL ELECTRIC CODE</div>		



philip light <phil@signwav.com>

Columbia / Pittsford Plaza / Sign Modification Approval / SWE25-053

Postler, Karl <kpostler@wilmorite.com>

Tue, Aug 19, 2025 at 4:25 PM

To: philip light <phil@signwav.com>

Cc: Kevin Wendell <kevin@signwav.com>, Rich Ferrara <rich@signwav.com>, Rich Keeley <rich.keeley@signwav.com>, Patricia Glowatz <patricia@signwav.com>

Hi Phillip,

Yes, I have seen this already and Wilmorite approves the signage changes.

Thank you,

Karl W. Postler

Project Manager / Tenant Coordinator

Wilmorite Construction, LLC.

1265 Scottsville Road

Rochester NY 14624

Main: (585) 464-9400

Direct: (585) 783-3205

Cell: (585) 746-9514

kpostler@wilmorite.com

www.wilmorite.com

[Quoted text hidden]

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.