

Town of Pittsford Design Review & Historic Preservation Board
AGENDA
September 11, 2025

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on September 11, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

12 New England Drive

Applicant is requesting design review of a 630 square foot renovation to the rear of the home.

7 Brook Road

Applicant is requesting design review for two window changes.

20 Winding Road

Applicant is requesting design review of a 500 square foot second story addition.

165 West Brook Road

Applicant is requesting design review of a 778 square foot rear addition.

8 Forest Knoll

Applicant is requesting design review of a 250 square foot renovation changing the existing roof line.

41 Parker Drive

Applicant is requesting design review of a 642 square foot addition.

CERTIFICATES OF APPROPRIATENESS

3419 Clover Street

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, to construct a deck around an existing above-ground pool at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

DEMOLITION APPLICATIONS:

526 Mendon Road

Applicant is requesting Board approval to demolish the existing 2,805 square foot, one-story, single-family home, with the intent to build a 12,231 square foot, two-story, single-family home on the property. This property is zoned Residential Neighborhood (RN).

The next meeting is scheduled for Thursday, September 25, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
AUGUST 28, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, August 28, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Kathleen Cristman, John Mitchell, Jim Vekasy, Bonnie Salem

ABSENT: Paul Whitbeck, Dave Wigg

ALSO PRESENT: Bill Zink, Building Inspector; Anna Piazza, Building Department Assistant; Robert Koegel, Town Attorney; Doug DeRue, Director of Planning, Zoning, and Development; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 11 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem and Chairman Schneider discussed wanting to meet face-to-face with Oak Hill to discuss both its potential for designation and the benefits to it.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

22 Charter Oaks Drive

Applicant is requesting design review for a 704 square-foot addition to the existing garage.

Jeff Thomas, of RX Remodeling and Construction Inc., introduced the application. Mr. Thomas is requesting design review for a 704 square-foot addition to the existing two-car garage. He stated that the siding, roofing, and overhangs will match the existing garage and the proposed garage door will be similar to the existing garage door. The proposed garage is flush across the front and extends in the back. Board Member Salem noted that the applicant is proposing a front gable on the new garage but there is not a front gable anywhere else on the home. Chairman Schneider stated that if the applicant adds on to the existing two-car garage then he will end up having a four-car garage next to a residential home. He noted that there are no other four-car garages in the neighborhood. The Board has an issue with the proposed garage being longer than the home and explained to the applicant that a four-car garage does not fit into the character of the neighborhood. The Board tabled the discussion and asked the contractor to talk with the homeowner about the design changes.

1 Oak Manor Drive

Applicant is requesting design review for a 96 square-foot addition off the rear of the existing home.

Jake Smith, of Quality Homes of Rochester, introduced the application. Mr. Smith is requesting design review for a 96 square-foot three-season room addition off the rear of the existing home. He stated that the proposed slide door will be the same height as the existing window.

Board Member Mitchell motioned to approve the application for a 96 square-foot addition off the rear of the existing home, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

20 Winding Road

Applicant is requesting design review for a 500 square-foot second story addition.

Applicant will be moved to a later meeting agenda.

27 Trowbridge Trail

Applicant is requesting design review for a 60 square-foot front porch.

Keith Cadwell, of KC Home Remodeling, introduced the application. Mr. Cadwell is requesting design review for a 60 square-foot front porch. He discussed the home's history of grading issues and stated that the existing porch was poorly constructed. Mr. Cadwell is putting the addition right up to the wall but will not connect it to the house in order to avoid issues with dirt from occurring again. The materials proposed will consist of a black aluminum railing, white risers and white fascia board, Dark Roast TimberTech for the deck, black aluminium posts, and horizontal railings on both sides of the stairs. Board Member Vekasy inquired about the missing column on the house and Mr. Cadwell stated that the column was rotted away and not structural. Chairman Schneider discussed the proposed riser lights and confirmed with Town Staff that they are acceptable.

Chairman Schneider motioned to approve the application for a 60 square-foot front porch on the front of the home, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

27 North Country Club Drive

Applicant is requesting design review for an approximately 924 square-foot addition off the rear of the home.

Todd Marotta, of Carini Engineering Designs, P.C., introduced the application. Mr. Marotta is requesting design review for an approximately 924 square-foot addition off the rear of the home. He mentioned that the home is one of the smallest in its neighborhood and that the added square-footage will help bring it up to average. The siding and color of the addition will match the existing home. The trim will be white and the shutters will be black to match the existing home. He stated that the proposed roof will match the existing roof and stated that he will cover the exposed area of the home with siding to match as well.

Board Member Salem motioned to approve the application for an approximately 924 square-foot addition off the rear of the home, as submitted. This motion was seconded by Board Member Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

136 South Main Street

Applicant is requesting design review for a 494 square-foot addition off the rear of the existing home.

Phil Lane, of 136 South Main Street, introduced the application. Mr. Lane is requesting design review for a 494 square-foot addition off the rear of the existing home. He is also requesting review for siding and window changes. He stated that the existing siding on the home will be torn off and new siding will be added.

Mr. Lane discussed the proposed changes to the front porch on the front elevation and noted that the color of the windows will be changed to black, and the existing cedar shake siding will be replaced with horizontal siding with board and batten siding on the bottom portion. He stated that the proposed white columns will be

wrapped in a tektrim-style material and the garage will be metal. Board Member Vekasy confirmed with the applicant that the board and batten siding will only be on the front of the home and will not wrap around the side of the home but rather meet the horizontal siding on the side of the home. On the east elevation, Mr. Lane will replace the existing windows with a sliding door. He confirmed that the proposed garage doors will match the style of the existing garage doors and the roof will be the same asphalt roof on the existing home.

Board Member Vekasy motioned to approve the application for a 494 square-foot addition off the rear of the existing home, as submitted. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATES OF APPROPRIATENESS

3419 Clover Street

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, to construct a deck around an existing above-ground pool at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Chairman Schneider opened the public hearing.

Frank Dutko, of 3419 Clover Street, introduced the application. Mr. Dutko is requesting a Certificate of Appropriateness to construct a deck around an existing above-ground pool at a Designated Historic Landmark. He stated that the entire deck is free-standing and clarified that it is behind the garage and not the home which is farther away. He clarified that the deck will not be attached to the garage and noted that the original above-ground pool was buried into the ground about two feet. Mr. Dutko is proposing to put a vinyl railing on two sides of the deck and stated that the pool deck railing will match the railing system on the existing home. Board Member Salem asked the applicant to confirm that the existing white railing on the pool will be removed and the applicant confirmed. Bill Zink, Building Inspector, asked the applicant to confirm that there will be a fence around the entire pool that meets the pool code and the applicant confirmed.

Chairman Schneider asked for public comment. Hearing none, Chairman Schneider motioned to close the public hearing. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the motion was approved, none opposed.

Chairman Schneider stated that the Board will draft a resolution that will be voted on at the next meeting.

DEMOLITION APPLICATIONS:

526 Mendon Road

Applicant is requesting Board approval to demolish the existing 2,805 square-foot, one-story, single-family home, with the intent to build a 12,231 square-foot, two-story, single-family home on the property. This property is zoned Residential Neighborhood (RN).

Chairman Schneider opened the public hearing.

James Fahy, of James Fahy Design Associates Architecture & Engineering P.C., re-introduced the application. Mr. Fahy is requesting Board approval to demolish the existing 2,805 square-foot, one-story, single-family home, with the intent to build a 12,231 square-foot, two-story, single-family home on the property. He noted that the application appeared at the last meeting where the Board determined it would require a public hearing. Mr. Fahy noted that the existing home, barn, and shed do not hold any architectural value. If approved for demolition, he is proposing to build a 12,231 square-foot European manor-style home with a finished lower-level. Mr. Fahy discussed two variances the proposed home will need to get from the Zoning Board if the project moves forward: (1) for the oversized building footprint, and (2) for the fence height. The homeowner stated that he reached out to five of his closest neighbors in regard to the application and three have

responded to him stating that they do not have a problem with it. Mr. Fahy gave the neighbor letters submitted to Chairman Schneider.

Mark Bayer, of Bayer Landscape Architecture, stated that Thornell Farm Park is to the north of the proposed home and there is a conservation area to the east. Pittsford Baptist Church is nearby as well. Chairman Schneider asked the applicant about the topography from the church to the proposed home and Mr. Bayer stated that the home will be above the church. Mr. Bayer confirmed that the neighborhood to the east of the proposed home will be visibly protected and noted that they will still have over 80% green space after the project is completed. He stated that the home is set far back from the road so the presence from the road will be minimal. Chairman Schneider asked about colors for the proposed home and Mr. Fahy replied that the home will be sided with stone and stucco and is not intended to be a colorful home.

Andrew Hemmingway, resident of 540 Mendon Road, expressed that he is in favor of the project. Cathy Koshykar, Town Board Member, mentioned that Thornell Farm Park is widely used by the public for various reasons. With that, she asked to see a view from the park to the proposed new home.

Mr. Fahy discussed the homeowner's desire to have a buffer between the park and the proposed home.

Chairman Schneider requested the applicant produce a cross-section to confirm the applicant's statement that the proposed home would not be visible from Thornell Farm Park. He asked that the cross-section go from north to south and that it shows the existing vegetation and highest points of the house. Chairman Schneider asked if the applicant could submit this for the next meeting on September 11th and the applicant confirmed.

Chairman Schneider stated that the public hearing will remain open.

COMMERCIAL APPLICATIONS

100 Hahnemann Trail – Pittsford Highlands

Applicant is requesting design review for a 1,660 square-foot interior renovation to the existing first-floor space in the Laurelwood assisted living wing requiring the change of a door to a window.

Board Member Vekasy recused himself from voting on the application.

Gabby Marino, of SWBR, introduced the application. Ms. Marino is requesting design review for a 1,660 square-foot interior renovation to the existing first-floor space in the Laurelwood assisted living wing requiring the change of a door to a window. Ms. Marino discussed the site plan as well as the door proposed to be turned into a window. She stated that the window will match the existing windows.

Board Member Cristman motioned to approve the application for a 1,660 square-foot renovation to the existing first-floor space in the Laurelwood assisted living wing, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

2851 Clover Street (300 Tobey Road) – Pittsford Oaks

Applicant is requesting the review of design changes to date and the current design material..

Anthony Daniele, of 2815 Clover LLC (300 Tobey Road), re-introduced the application. Mr. Daniele is requesting review of design changes to date and the current design material. He stated that the application last appeared before the Board at the July 2nd meeting. Mr. Daniele summarized the July 2nd meeting for members that were unable to attend. Chairman Schneider asked the applicant about what changes were made since the July 2nd meeting and Dustin Welch, Architect for the project, stated that all changes were minor. Mr. Welch discussed areas of the building where he rounded-off corners as well as the balconies and railings pairings. Mr. Daniele discussed the balconies highlighted in concept 04C.

Mr. Daniele discussed the time dedicated to producing the elevations presented and hopes that the Planning Board will be in a place to give final site plan approval after this meeting. He stated that he would like the Board's stance on the rooflines and the footprint of the building as opposed to the colors and materials so that he can relay that to the Planning Board.

Chairman Schneider, discussing concept 06A, asked for clarification on some balconies that appear to project out past the footprint of the building. Mr. Daniele and Mr. Welch confirmed that they do not. Chairman Schneider stated that he feels the project has come a very long way from where it started.

Board Member Salem noted the north elevation on concept 04D is where the YMCA would be visible.

Doug DeRue, Director of Planning, Zoning, and Development, discussed the gables seen on concept 06A and noted that the first gable by the exit door appears to be recessed deeper than the one next to it. The applicant replied that the first gable is extended around four feet and the one next to it is extended around two feet. Mr. DeRue explained that the depth of the balcony recesses is critical information for the Board to have.

Chairman Schneider asked the applicant to confirm that the stone will return to the door just as it is seen on rendering 06A and Mr. Daniele confirmed. Chairman Schneider stated that he is very pleased with the appearance. Chairman Schneider pointed out the louvre on the mansard roof (06A) and discussed all the louvres being the same. He confirmed with the applicant that the louvres will match the color of the siding.

Mr. Welch showed the Board potential colors for the building and Board Member Salem pointed out that with all of the textures on the building there is no need for a lot of color. The applicant stated that all trim will be Aztec trim. The Board discussed the two different stone samples brought by the applicant and noted that the larger stones are efus. Chairman Schneider asked how the rainwater will be brought down and Mr. Welch stated that there will be gutters.

Board Member Salem stated that she believes the renderings have come a very long way since the beginning. She believes the building looks cohesive and is pleased with its appearance.

Regarding the east elevation, Chairman Schneider discussed the roof looking top-heavy and asked the applicant to take a look at the triangle height and top-heavy elements. Mr. Daniele discussed another possible option: to bring the block up to make the triangle roof appear less top-heavy instead of changing the actual triangle roof.

Mr. DeRue discussed the applicant's timeline to get the plans done before the end of the year and explained why they want to move quickly. Mr. Daniele explained that what he needs from the Board is to know if they are comfortable with the rooflines and if they believe the project is in a good position to move forward.

The Board agreed that they are satisfied with the overall footprint and massing of the building, aside from the one triangle gable discussed at tonight's meeting. The Board also agreed that they are satisfied with the rooflines. Board Member Mitchell believes the overall envelope of the building is coming together nicely. Board Member Salem believes the project has come a long way. Board Member Cristman believes that the project looks substantially better and appreciates the applicant's efforts to improve it, but still believes the project is too big for the size of the area.

Mr. DeRue recommended the applicant consider the set of drawings presented today as a constant to compare any future changes to these elevations. Chairman Schneider agreed and stated that he would like the elevations presented today to be used on all future submissions. He also requested that they do not change the dates on the current renderings going forward as to avoid confusion.

MEETING MINUTES REVIEW

The minutes of August 14, 2025 were approved, with one correction, following a motion by Board Member Salem. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

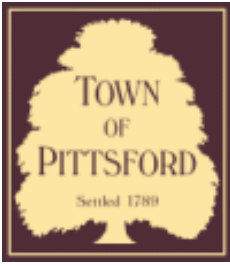
Chairman Schneider closed the meeting at 9:05PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT

MAKE CHANGE IN MINUTES



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000109

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 12 New England Drive ROCHESTER, NY 14618

Tax ID Number: 151.15-1-24.1

Zoning District: RN Residential Neighborhood

Owner: Grasta, Carl

Applicant: Gardenway Developers, Inc.

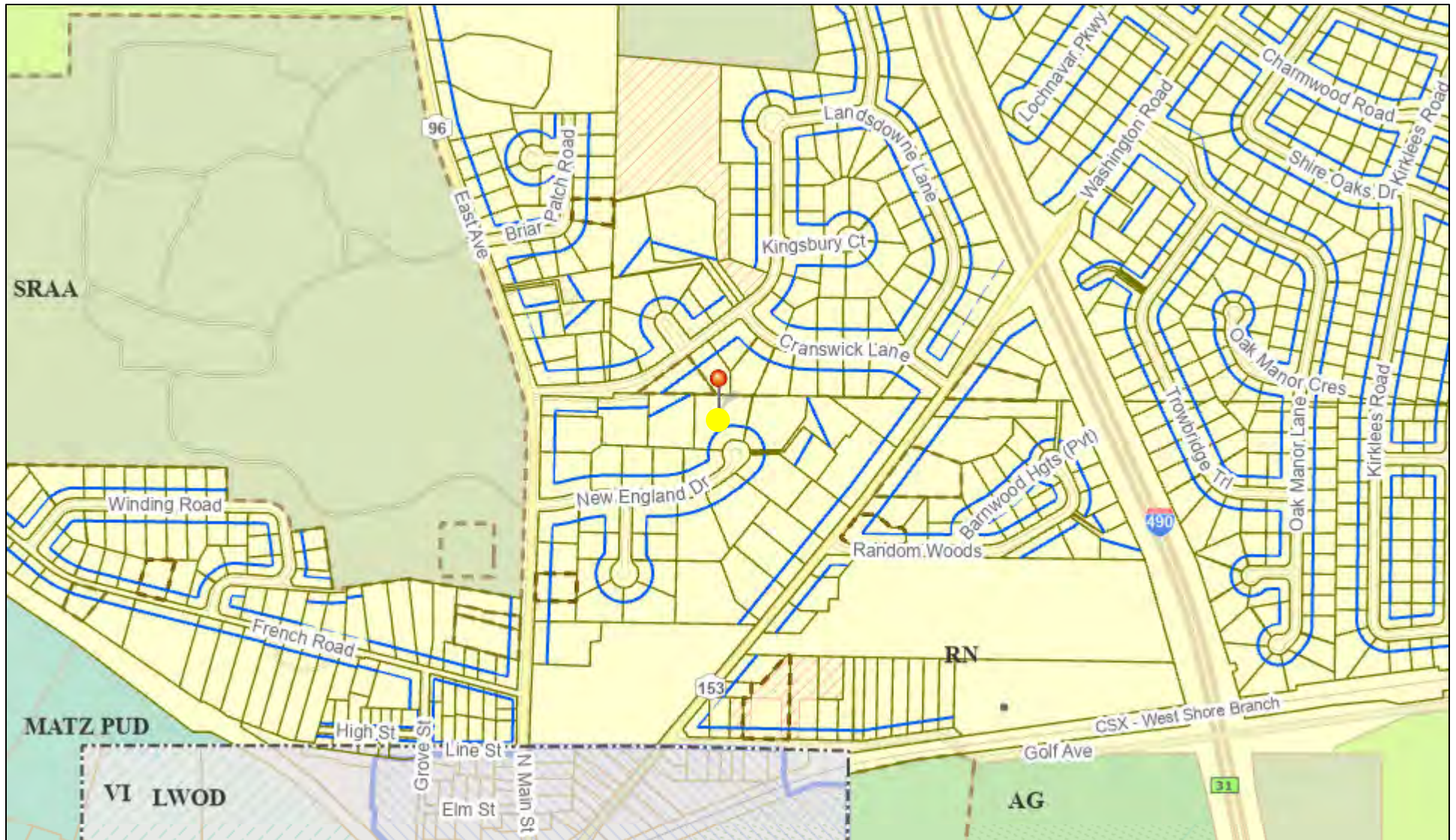
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

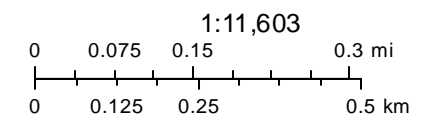
Project Description: Applicant is requesting design review of a 630 square foot renovation to the rear of the home.

Meeting Date: September 11, 2025

Residential Neighborhood Zoning

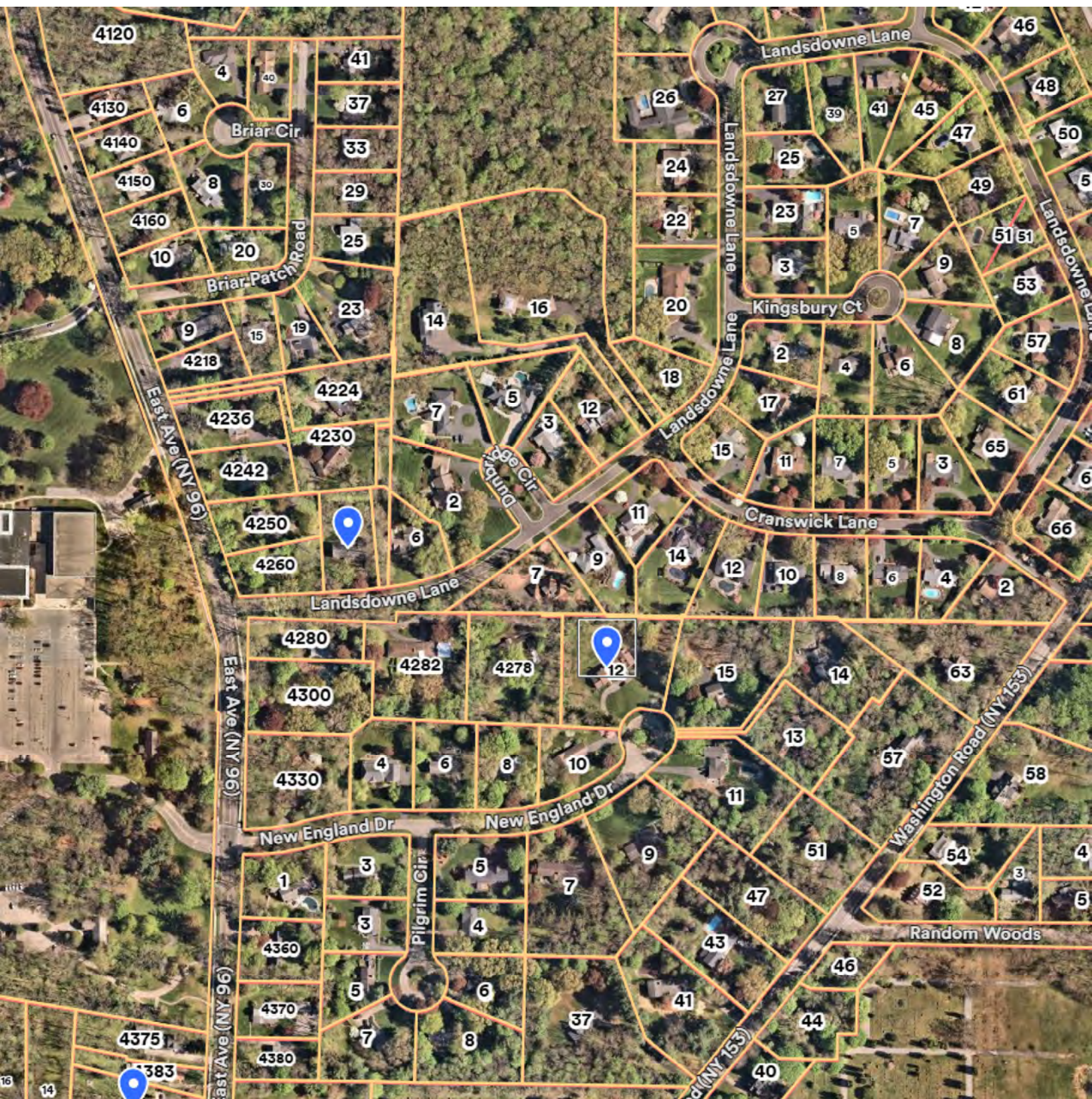


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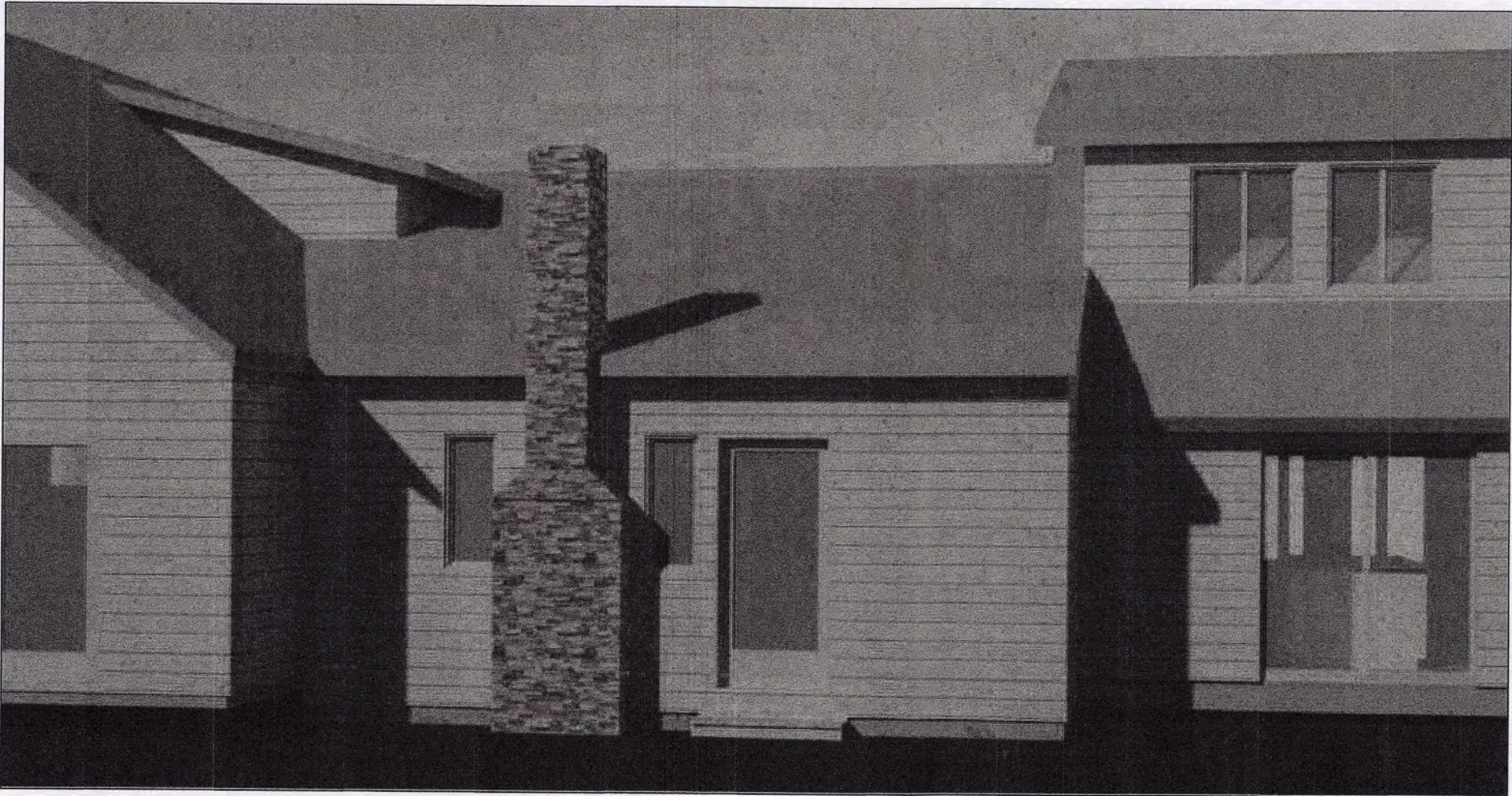
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



GRASTA RESIDENTIAL ADDITION

12 NEW ENGLAND DRIVE, ROCHESTER NY



DRAWINGS INDEX:

COV.	List of Drawings, General Notes, Front Elevation & Design Data
A-1	EXISTING FLOOR PLAN
A-2	PROPOSED FLOOR PLANS

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL NATIONAL AND LOCAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
- EXTERIOR DIMENSIONS ARE TO WALL FACE OF FRAMING.
- INTERIOR DIMENSIONS ARE TO WALL FACE OF FRAMING.
- INSTALL TRIPLE STUDS (MINIMUM) UNDER GIRDERS OR DOUBLE JOISTS UNLESS OTHERWISE NOTED.
- SMOKE ALARMS TO BE WIRED AND INTERCONNECTED WITH NO SWITCHES AND WITH BATTERY BACK-UP. SMOKE ALARMS ARE TO BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - IN EACH SLEEPING ROOM.
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL, PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

- D. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FT. HORIZONTALLY FROM THE OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR A SHOWER, UNLESS THIS WOULD PREVENT PLACEMENT OR SMOKE ALARM REQUIRED BY SECTION R314.3 OF THE INTERNATIONAL BUILDING CODE.
- E. SEE SECTION R314.3 OF THE BUILDING CODE FOR ADDITIONAL INFORMATION. THE MOST STRINGENT RULE SHALL APPLY.
- F. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE BEDROOM. (CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED.)
- G. HEAT DETECTOR TO BE INSTALLED IN LAUNDRY ROOMS.
- H. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY ALL SUB-CONTRACTORS, SUPPLIERS, AND MANUFACTURERS OF ANY AND ALL CHANGES IN THE CONTRACT DOCUMENTS AFTER ACCEPTANCE OF CONTRACT DOCUMENTS OR PARTIAL SET OF CONTRACT DOCUMENTS USED IN THE BIDDING AND/OR CONSTRUCTION PROCESS.

FOUNDATION NOTES:

- DESIGN IS BASED ON A SOIL BEARING CAPACITY OF 2,500 PSI. WHERE QUESTIONABLE SOILS ARE ENCOUNTERED, BUILDING OWNER SHALL OBTAIN SOIL TESTING BY A GEOTECHNICAL ENGINEER. A SOIL BEARING CAPACITY OF LESS THAN 2,500 PSI SHALL BE REPORTED TO THE ARCHITECT FOR ADDITIONAL DESIGN CONSIDERATIONS. OWNER MAY BE REQUIRED TO ENGAGE THE SERVICES OF A GEOTECHNICAL AND/OR STRUCTURAL ENGINEER.
- PLACE ALL FOOTINGS ON LEVEL UNDISTURBED FROST FREE SOIL.
- INSTALL #4 REBAR AT BOTTOM OF FOOTINGS UP 3" FROM SOIL. LAP REBAR 18" AT SPLICES.
- ALL REBAR TO BE A-615 GRADE 60. STEEL BEAMS TO BE 50 K.S.I.
- 4'-0" MINIMUM FROM FINISHED GRADE TO BOTTOM OF FOOTINGS. ALL SLABS AND CONCRETE STEPS TO BE MINIMUM 3,500 PSI CONCRETE. ALL FOOTINGS, PIERS, AND WALLS TO BE MINIMUM 3,500 PSI CONCRETE. CONCRETE IN LOCATIONS EXPOSED TO WEATHER OR SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT. FOR GARAGE FLOORS WITH A STEEL-TROWELED FINISH, REDUCTION OF THE TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) TO NOT LESS THAN 3 PERCENT IS PERMITTED IF THE SPECIFIED COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED, NOT LESS THAN 4,000 PSI. SEE SECTION R402.2 OF THE N.Y. STATE BUILDING CODE FOR MAXIMUM CEMENTITIOUS MATERIALS CONTENT.
- COMPACTION OF BACKFILL AND GRAVEL AT 95%. LIFTS NOT TO EXCEED 8".
- INSTALL 1/2" PREMOULDED BITUMINUM EXPANSION JOINTFILL AT ALL NEWSLABS OR CONCRETE PADS THAT ABUTT WALLS.
- CONCRETE PROTECTION FOR REBAR TO BE A MINIMUM OF 3" FOR FOOTINGS, 1-1/2" FOR WALLS AND 2" FOR PIERS.
- G.C. TO CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- DO NOT BACKFILL UNTIL FIRST FLOOR IS FRAMED AND CONCRETE FLOOR HAS BEEN SET FOR 28 DAYS.
- CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES.

BUILDING ENVELOPE REQUIREMENTS:

CONTRACTOR SHALL REFER TO SECTION N1102 OF THE NY STATE RESIDENTIAL BUILDING CODE FOR THE FOLLOWING REQUIREMENTS:
CEILING REDUCTION 1102.2.1
UNVENTED ATTICS 1102.2.1.1
VAPOR RETARDERS 1102.5

ALL WINDOWS AND DOORS TO BE INSTALLED WITH METAL HEAD FLASHING THAT EXTENDS OUT PAST THE WINDOW FRAME. ALL OTHER INSTALLATION AND FLASHING DETAILS TO BE PER MANUFACTURE RECOMMENDATIONS.

EXTERIOR AIR SUPPLY:

REFER TO SECTION R1006 OF THE NY STATE RESIDENTIAL BUILDING CODE.

R1006.1 EXTERIOR AIR

FACTORY-BUILT OR MASONRY FIREPLACES COVERED IN THIS CHAPTER SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ENSURE PROPER FUEL COMBUSTION UNLESS THE ROOM IS MECHANICALLY VENTILATED AND CONTROLLED SO THAT THE INDOOR PRESSURE IS NEUTRAL OR POSITIVE.

R1006.1.1 FACTORY-BUILT FIREPLACES

EXTERIOR COMBUSTION AIR DUCTS FOR FACTORY-BUILT FIREPLACES SHALL BE A LISTED COMPONENT OF THE FIREPLACE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE FIREPLACE MANUFACTURER'S INSTRUCTIONS.

R1006.1.2 MASONRY FIREPLACES

LISTED COMBUSTION AIR DUCTS FOR MASONRY FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND THE MANUFACTURER'S INSTRUCTIONS.

R1006.2 EXTERIOR AIR INTAKE

THE EXTERIOR AIR INTAKE SHALL BE CAPABLE OF SUPPLYING ALL COMBUSTION AIR FROM THE EXTERIOR OF THE DWELLING OR FROM SPACES WITHIN THE DWELLING VENTILATED WITH OUTDOOR AIR SUCH AS NONMECHANICALLY VENTILATED CRAWL OR ATTIC SPACES. THE EXTERIOR AIR INTAKE SHALL NOT BE LOCATED WITHIN THE GARAGE OR BASEMENT OF THE DWELLING. THE EXTERIOR AIR INTAKE, FOR OTHER THAN LISTED FACTORY-BUILT FIREPLACES, SHALL NOT BE LOCATED AT AN ELEVATION HIGHER THAN THE FIREBOX. THE EXTERIOR AIR INTAKE SHALL BE COVERED WITH A CORROSION-RESISTANT SCREEN OF 1/4-INCH (6.4 MM) MESH.

R1006.3 CLEARANCE

UNLISTED COMBUSTION AIR DUCTS SHALL BE INSTALLED WITH A MINIMUM 1-INCH (25 MM) CLEARANCE TO COMBUSTIBLES FOR ALL PARTS OF THE DUCT WITHIN 5 FEET (1524 MM) OF THE DUCT OUTLET.

R1006.4 PASSAGEWAY

THE COMBUSTION AIR PASSAGEWAY SHALL BE NOT LESS THAN 6 SQUARE INCHES (3870 MM²) AND NOT MORE THAN 55 SQUARE INCHES (3,535 MM²), EXCEPT THAT COMBUSTION AIR SYSTEMS FOR LISTED FIREPLACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FIREPLACE MANUFACTURER'S INSTRUCTIONS.

R1006.5 OUTLET THE EXTERIOR AIR OUTLET SHALL BE LOCATED IN THE BACK OR SIDE OF THE FIREBOX CHAMBER OR SHALL BE LOCATED OUTSIDE OF THE FIREBOX, AT THE LEVEL OF THE HEARTH AND NOT GREATER THAN 24 INCHES (610 MM) FROM THE FIREBOX OPENING. THE OUTLET SHALL BE CLOSABLE AND DESIGNED TO PREVENT BURNING MATERIAL FROM DROPPING INTO CONCEALED COMBUSTIBLE SPACES.

MULTIPLE-APPLIANCE VENTING SYSTEMS:

ONE OR MORE LISTED AND LABELED APPLIANCES CONNECTED TO A COMMON NATURAL DRAFT VENTING SYSTEM SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

- APPLIANCES THAT ARE CONNECTED TO COMMON VENTING SYSTEMS SHALL BE LOCATED ON THE SAME FLOOR OF THE DWELLING. EXCEPTION: ENGINEERED SYSTEMS AS PROVIDED FOR IN SECTION G2427.
- INLETS TO COMMON VENTING SYSTEMS SHALL BE OFFSET SUCH THAT NO PORTION OF AN INLET IS OPPOSITE ANOTHER INLET.
- CONNECTORS SERVING APPLIANCES OPERATING UNDER A NATURAL DRAFT SHALL NOT BE CONNECTED TO ANY PORTION OF A MECHANICAL DRAFT SYSTEM OPERATING UNDER POSITIVE PRESSURE.

FIRE BLOCKING:

REFER TO SECTION R302.11 OF THE NY STATE RESIDENTIAL BUILDING CODE.

R302.11 FIREBLOCKING

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
- FIREBLOCKING OR CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

FIRE BLOCKING MATERIALS:

REFER TO SECTION R302.11.1 OF THE NY STATE RESIDENTIAL BUILDING CODE.

EXCEPT AS PROVIDED IN SECTION R302.11, ITEM 4, FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS.

- TWO-INCH NOMINAL LUMBER.
- TWO THICKNESS OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
- ONE THICKNESS OF 23/32-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32" WOOD STRUCTURAL PANELS.
- ONE THICKNESS OF 3/4" PARTICLE BOARD WITH JOINTS BACKED BY SAME.
- (1) HALF-INCH GYPSUM BOARD.
- ONE-QUARTER INCH CEMENT BASED MILLBOARD.
- BATTS OR BLANKETS OR MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
- CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 FOR THE SPECIFIC APPLICATION.

R302.11.1.1 BATTS OR BLANKETS OF MINERAL OR GLASS FIBER

BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE 10-FOOT (3048 MM) HORIZONTAL FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.

R302.11.1.2 UNFACED FIBERGLASS

UNFACED FIBERGLASS BATT INSULATION USED AS FIREBLOCKING SHALL FILL THE ENTIRE CROSS SECTION OF THE WALL CAVITY TO A HEIGHT OF NOT LESS THAN 16 INCHES (406 MM) MEASURED VERTICALLY. WHERE PIPING, CONDUIT OR SIMILAR OBSTRUCTIONS ARE ENCOUNTERED, THE INSULATION SHALL BE PACKED TIGHTLY AROUND THE OBSTRUCTION.

R302.11.1.3 LOOSE-FILL INSULATION MATERIAL

LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES.

R302.11.2 FIREBLOCKING INTEGRITY THE INTEGRITY OF FIREBLOCKS SHALL BE MAINTAINED.

INDIVIDUAL WATER SUPPLY AND SEWAGE DISPOSAL:

REFER TO SECTION P2602 OF THE NY STATE RESIDENTIAL BUILDING CODE

P2602.1 GENERAL

THE WATER-DISTRIBUTION AND DRAINAGE SYSTEM OF ANY BUILDING OR PREMISES WHERE PLUMBING FIXTURES ARE INSTALLED SHALL BE CONNECTED TO A PUBLIC WATER SUPPLY OR SEWER SYSTEM, RESPECTIVELY, IF AVAILABLE. WHERE EITHER A PUBLIC WATER-SUPPLY OR SEWER SYSTEM, OR BOTH, ARE NOT AVAILABLE, OR CONNECTION TO THEM IS NOT FEASIBLE, AN INDIVIDUAL WATER SUPPLY OR INDIVIDUAL (PRIVATE) SEWAGE-DISPOSAL SYSTEM, OR BOTH, SHALL BE PROVIDED.

P2602.1.1 INDIVIDUAL WATER SUPPLIES PRIVATE WELLS SHALL BE INSTALLED BY A WELL DRILLER REGISTERED WITH THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND BE IN COMPLIANCE WITH THE PROVISIONS OF APPENDIX 5-B OF THE NEW YORK STATE DEPARTMENT OF HEALTH REGULATIONS (10NYCRR APPENDIX 5-B.)

P2602.1.2 INDIVIDUAL SEWAGE TREATMENT SYSTEM INDIVIDUAL SEWAGE TREATMENT SYSTEMS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE PROVISIONS OF APPENDIX 75-A OF THE NEW YORK DEPARTMENT OF HEALTH SANITARY CODE.

Sky High Architecture

86 Castle Street
Geneva, New York 14456

(315) 759-5772

NOTICE:

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ANDREW H. HINTENACH III, AIA

REVISION SCHEDULE

NAME	DATE
------	------



PROJECT:

12 NEW ENGLAND DRIVE PITTSFORD NY

CLIENT:

MIKE GRASTA

DRAWING:

COVER SHEET

DRAWN:

MND

CHECKED:

AHH

DATE:

8-18-25

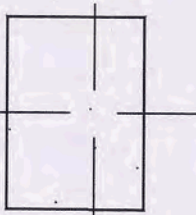
SCALE:

NOTED

JOB NO.:

SHEET:

COVER



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REVISION SCHEDULE

NAME	DATE
------	------

PROJECT:
12 NEW ENGLAND DRIVE
PITTSFORD, NY 14610

CLIENT:
MIKE GRATA

DRAWING:
FLOOR PLAN, SECTION AND ELEVATIONS

DRAWN: MWO	CHECKED: AHH
---------------	-----------------

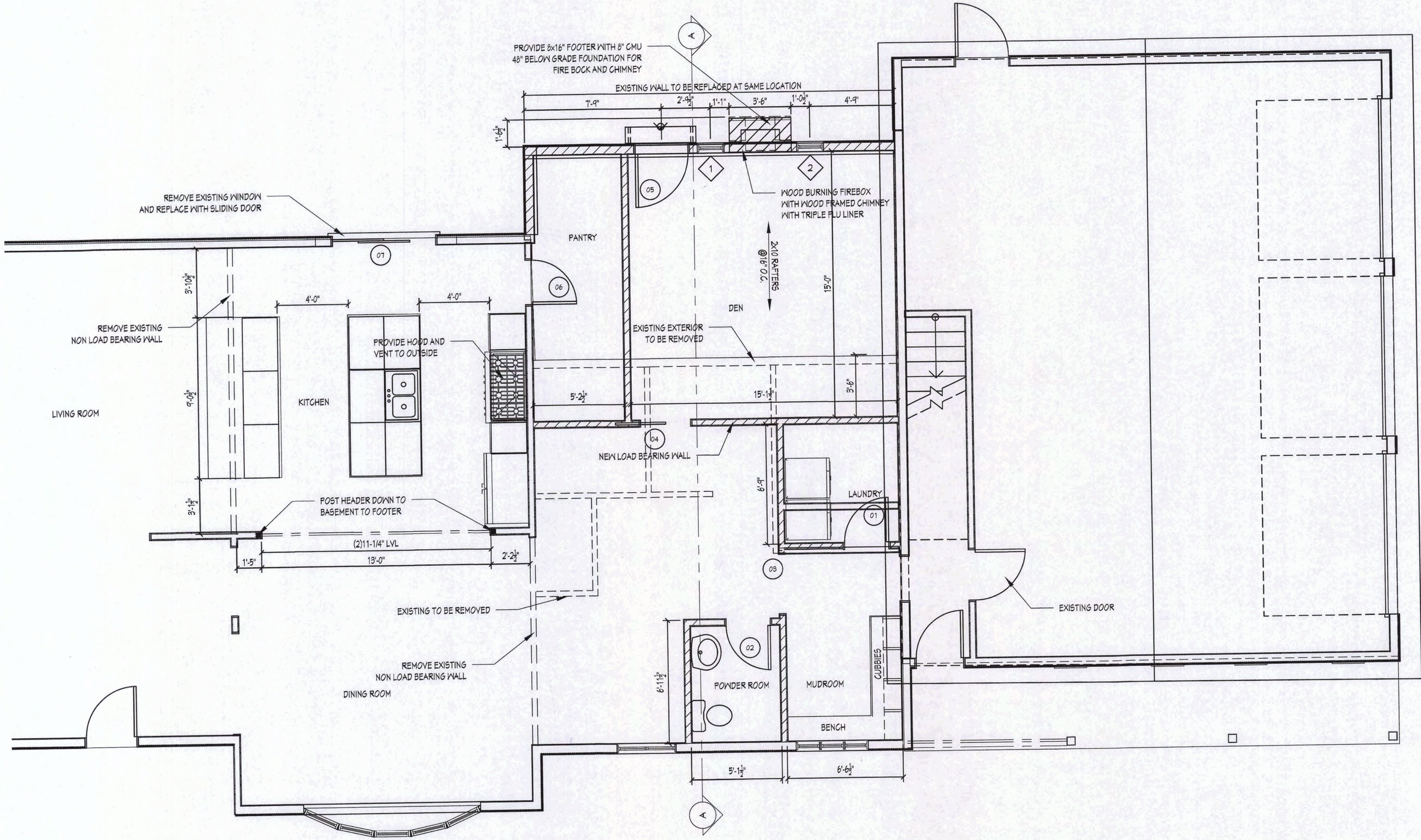
DATE: 8-18-25

SCALE: NOTED

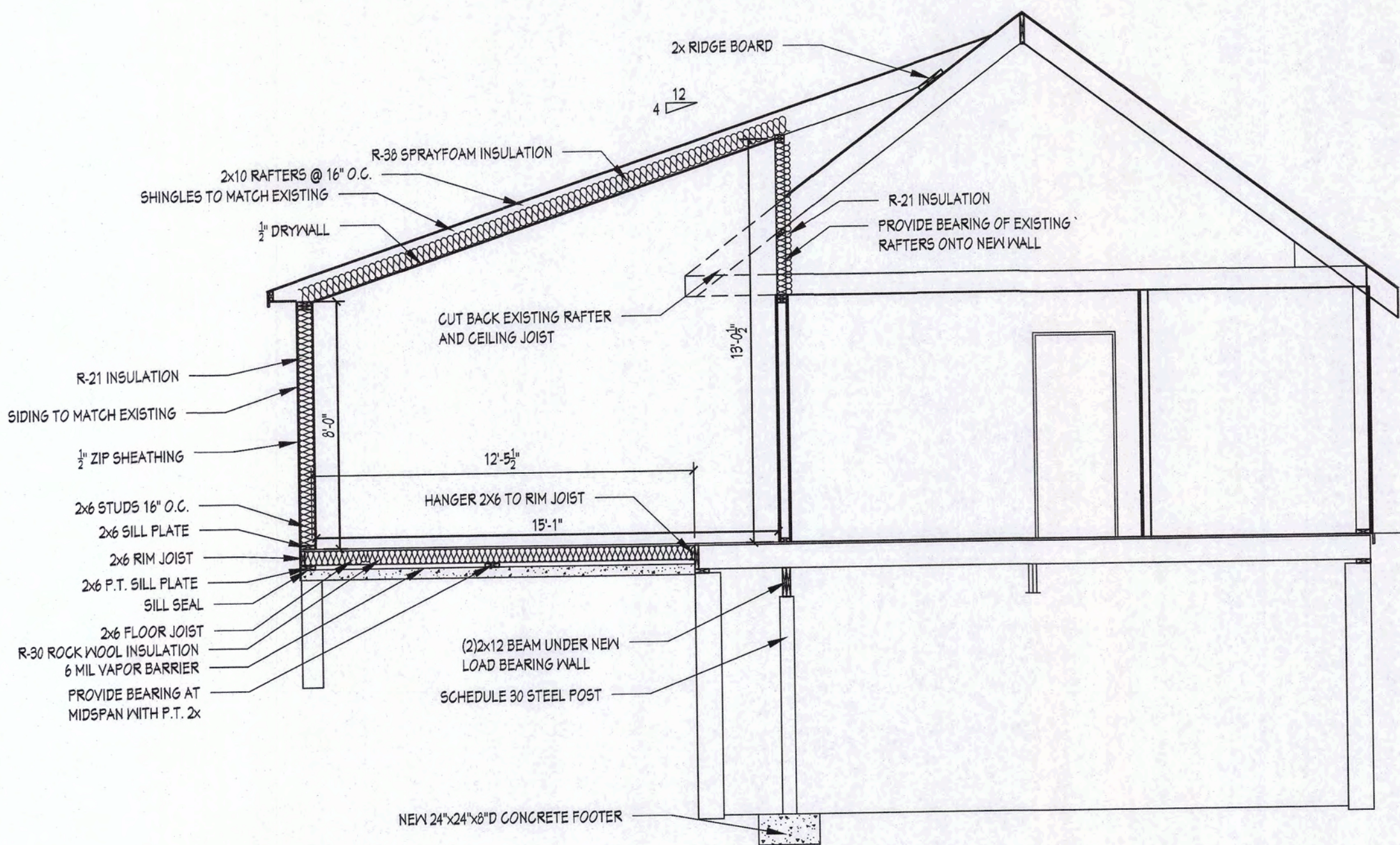
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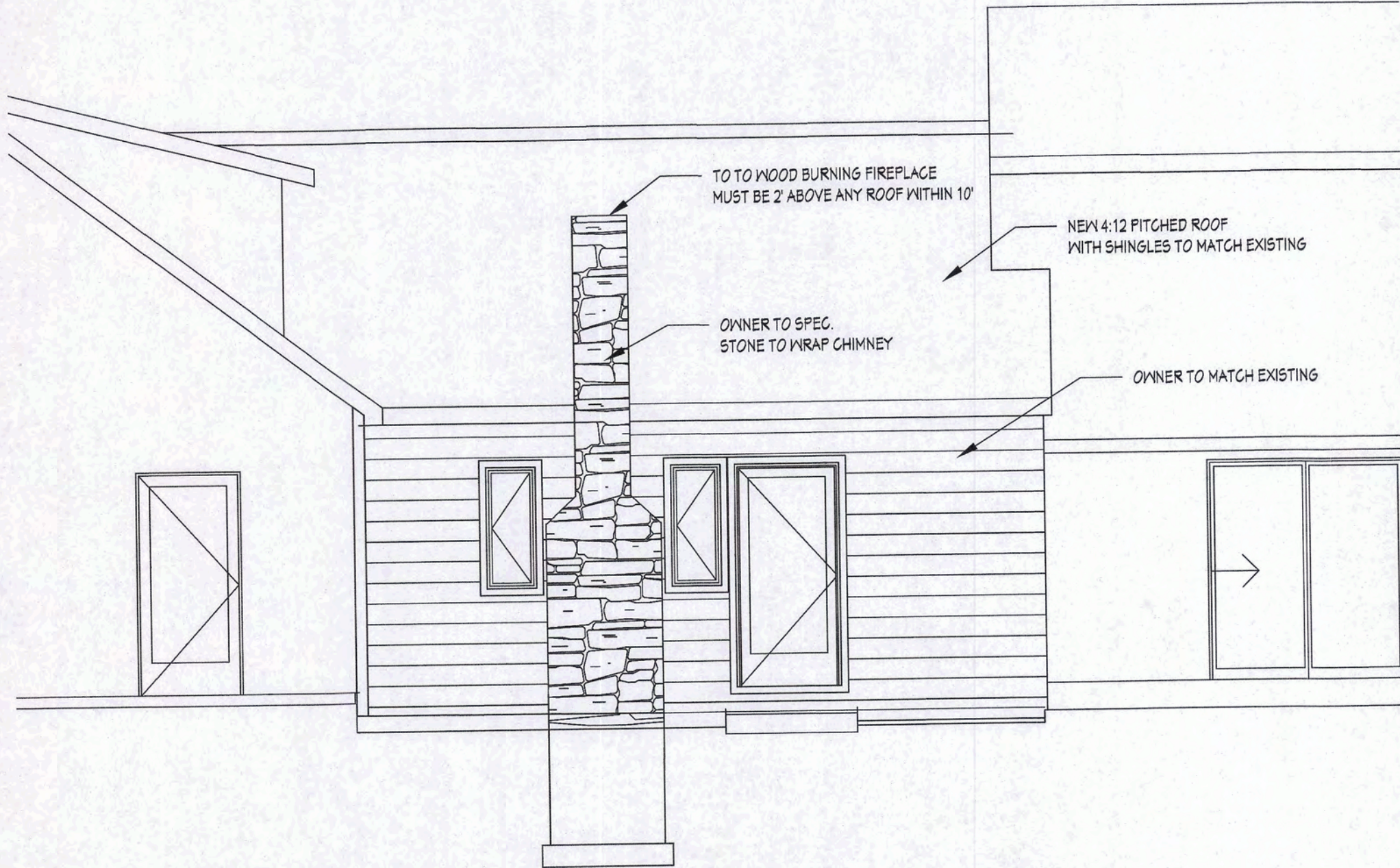
A-1



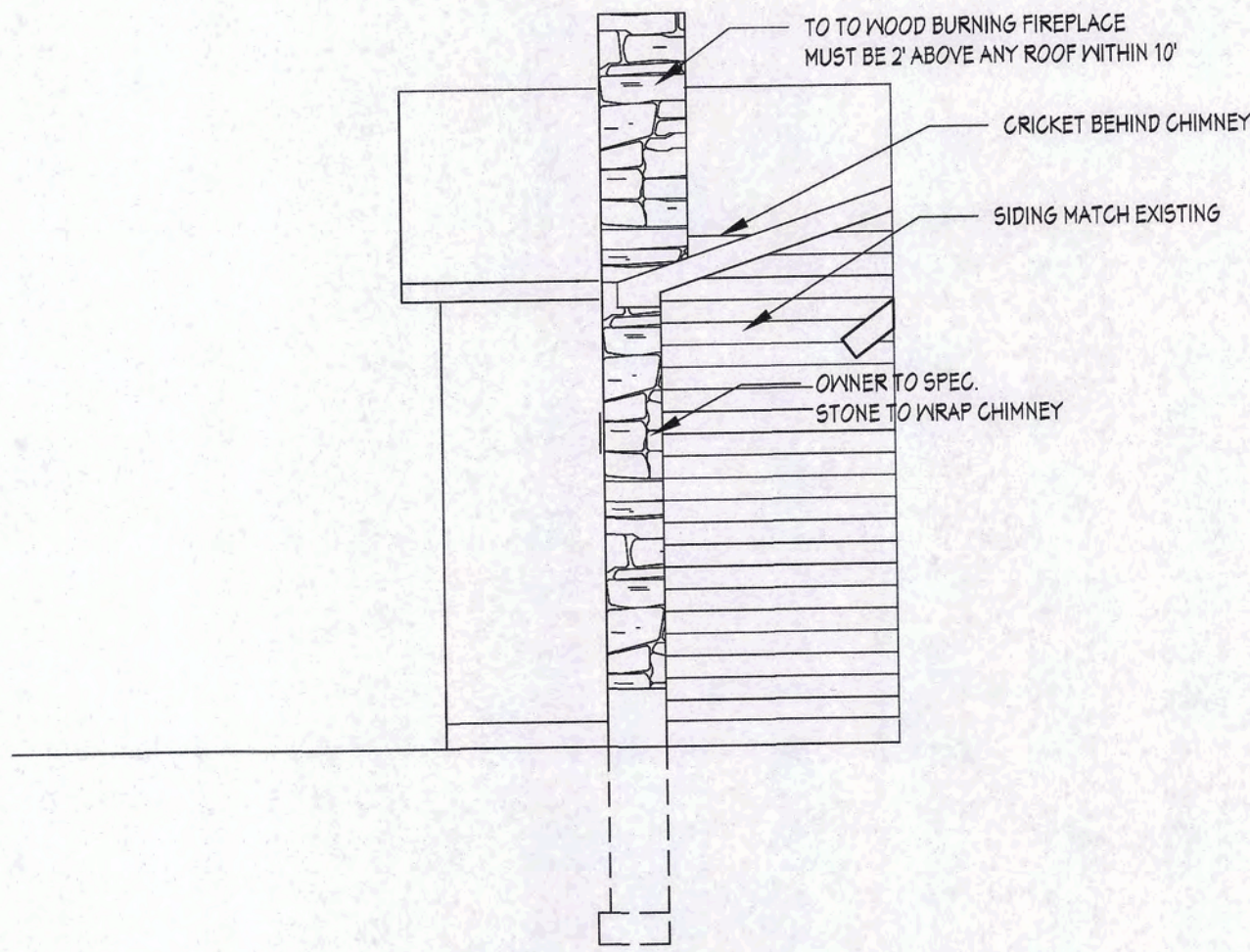
1 FLOOR PLAN
1/8"=1'-0"



2 SECTION
1/4"=1'-0"



3 REAR ELEVATION
1/4"=1'-0"



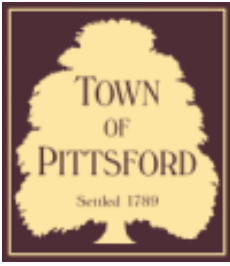
4 SIDE ELEVATION OF RENOVATED AREA
1/4"=1'-0"

DOOR AND FRAME SCHEDULE

MARK	DOOR Style	SIZE			FIRE RATING LABEL	HARDWARE		NOTES
		WD	HGT	THK		SET NO	KEYSIDE RM NO	
1	Hinged - Single	2'-8"	6'-8"	1 3/4"	--	--	--	--
2	Hinged - Single	2'-8"	6'-8"	1 3/4"	--	--	--	--
3	Casement Opening	3'-6"	6'-8"	NA	--	--	--	--
4	Pocket - Single	3'-0"	6'-8"	1 3/8"	--	--	--	--
5	Hinged - Single - Full Lite	3'-0"	6'-8"	1 3/4"	--	--	--	--
7	Sliding - Double - Full Lite	6'-0"	6'-8"	1 1/4"	--	--	--	--

WINDOW SCHEDULE

MARK	Style	SIZE		TYPE	MATERIAL	NOTES
		Width	HEIGHT			
1	Casement	1'-4"	3'-6"	--	--	TEMPERED
2	Casement	1'-4"	3'-6"	--	--	--



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000108

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 7 Brook Road PITTSFORD, NY 14534

Tax ID Number: 151.17-2-28

Zoning District: RN Residential Neighborhood

Owner: Deprez, David G

Applicant: JSD Home Solutions

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

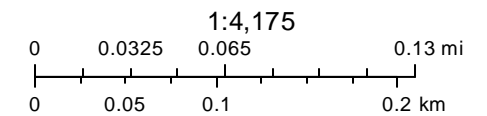
Project Description: Applicant is requesting design review for two window changes.

Meeting Date: September 11, 2025

Residential Neighborhood Zoning



9/3/2025, 8:46:55 AM



Town of Pittsford GIS

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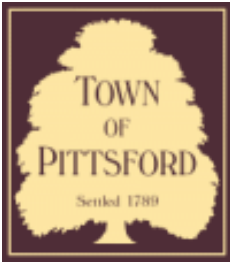




Remove Window Above (Replace
w/Vinyl Siding to match)



Enclose top half of windows and
replace with vinyl siding



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000101

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Winding Road ROCHESTER, NY 14618

Tax ID Number: 151.14-1-11

Zoning District: RN Residential Neighborhood

Owner: The Big Tree NY LLC

Applicant: All Pro Renovation

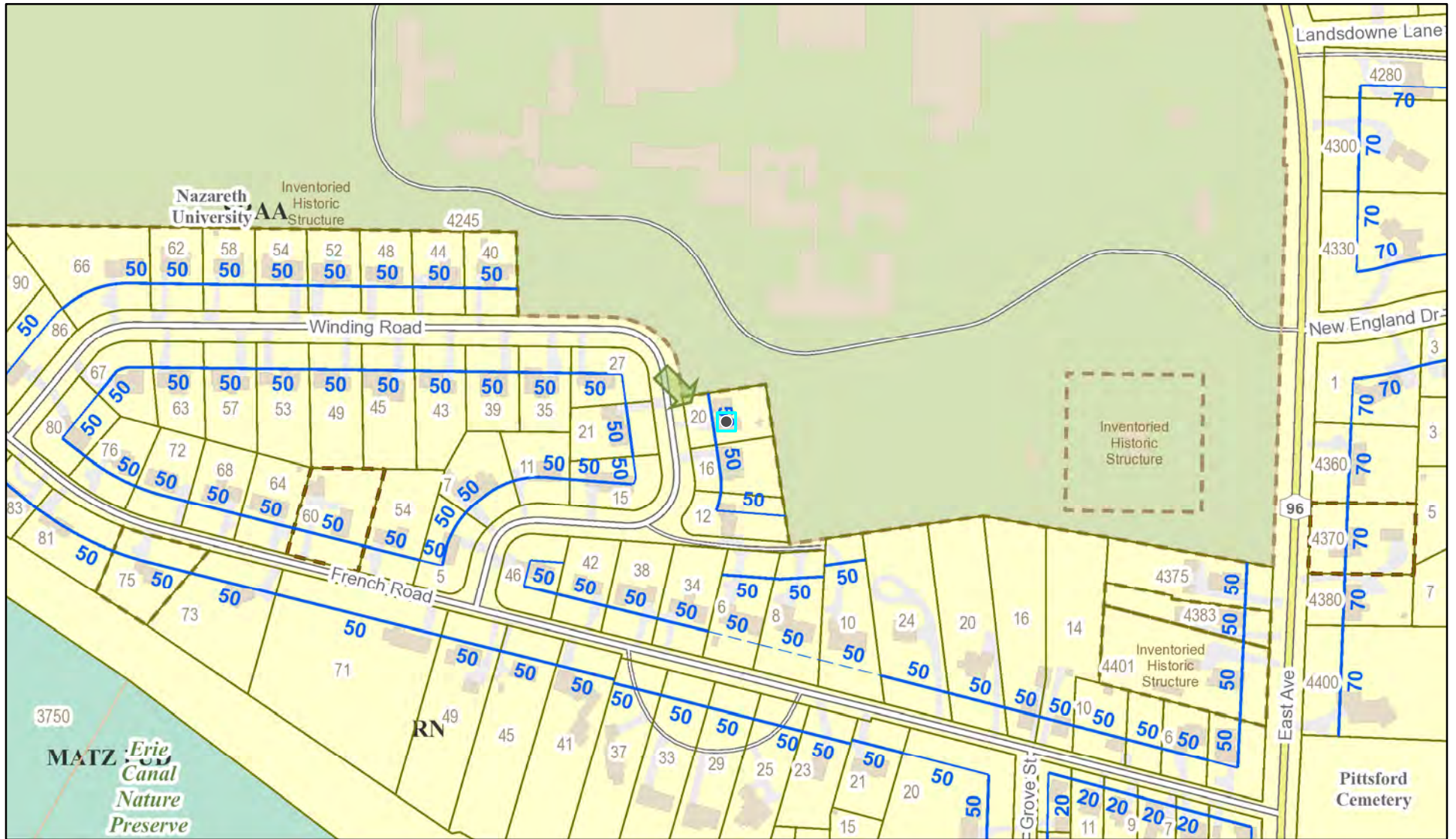
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

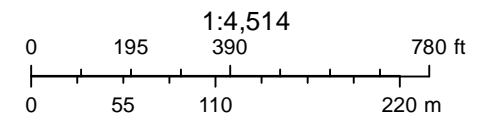
Project Description: Applicant is requesting design review of a 500 Sq Ft. second story addition.

Meeting Date: September 11, 2025

RN Residential Neighborhood Zoning



Printed August 18, 2025



Town of Pittsford GIS

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ABBREVIATIONS:

AAT	ACCESSIBLE/ACOUSTIC/ARTICLE	IDIA	INSIDE DIAMETER	VERT	VERTICAL
AB	ANCHOR/BOLT	INCL	INCLUDE	VEST	VESTIBULE
ABV	ABOVE	INSUL	INSULATION	VIF	VERIFY IN FIELD
ACST	ACROUSTICAL	INT	INTERIOR	VRT	VINYL REINFORCED TILE
ADJ	ADJACENT	INV	INVERT		
A.E.F.	ABOVE FINISHED FLOOR	JT	JOINT	VS	VENT STACK
ALUM	ALUMINUM			VP	VENT PIPE
ANOD	ANODIZED	KIT	KITCHEN		
APPROX	APPROXIMATE			W	WIDE
APPRVD	APPROVED	LAM	LAMINATE	w/	WITH
ARCH	ARCHITECT	LAV	LAVATORY	WAINSCOT	FABRIC
ASPH	ASPHALT	LB	POUND	WC	WALL COVERING
ATT	ATTACHED	LG	LONG	WD	WOOD
		LH	LEFTHAND	WF	WIDE FLANGE
R. BD	BULLETIN BOARD	LL	LONG LEG	WH	WATER HEATER
BD	BOARD	LLB	LONG LEG HORIZONTAL	W/O	WITHOUT
BITUM	BITUMINOUS	LV	LONG LEG VERTICAL	WP	WATERPROOF
BLDG	BUILDING	LOC	LOCATION	WR	WATER RESISTANT
BLK	BLOCK	LOUV	LOUVER	WT	WEIGHT
BM	BEAM	LT	LIGHT	WWF	WOVEN WIRE
R.O.F.	BOTTOM OF FOOTING	LVL	LEVEL		
R.O.H.	BOTTOM OF HEADER	LW	LIGHT WEIGHT	YD	YARD
BRG	BEARING				
BRK	BRICK	MANUF	MANUFACTURER		
BSMT	BASEMENT	MATL	MATERIAL		
BTM	BOTTOM	MAX	MAXIMUM		
BTWN	BETWEEN	MECH	MECHANICAL		
		MEMB	MEMBRANE		
CRPT	CARPET	MFR	MANUFACTURER		
CAB	CABINET	MH	MANHOLE		
CANTLVRD	CANTILEVERED	MIN	MINIMUM		
CB	CATCH BASIN	MISC	MISCELLANEOUS		
C/C	CENTER TO CENTER	MSO	MASONRY OPENING		
CMENT	CEMENT	MON	MONUMENT		
CH	CONCRETE HARDENER	MT	MOUNTED		
CI	CAST IRON	MTL	METAL		
CJ	CONTROL JOINT	MULL	MULLION		
CLST	CLOSET				
CL	CENTER LINE	N	NORTH		
CLG	CEILING	NA	NOT APPLICABLE		
CLKG	CALKING	NEC	NECESSARY		
CMU	CONCRETE MASONRY UNIT	N.E.L.	NOT HEALING		
CO	CLEANOUT	N.L.C.	NOT IN CONTRACT		
COL	COLUMN	NO	NUMBER		
COMBIO	COMBINATION	NOM	NOMINAL		
CONC	CONCRETE	NTS	NOT TO SCALE		
COND	CONDUCTOR				
CONN	CONNECTION	OA	OVERALL		
CONST	CONSTRUCTION	OC	ONCENTER		
CONT	CONTIGUOUS	ODIA	OUTSIDE DIAMETER		
CRS	COURSES	OPC	OPENING		
CS	COUNTER SINK	OPP	OPPOSITE		
CT	CERAMIC TILE	OV	OVER		
CTR	CENTER	OO	OUTSIDE TO OUTSIDE		
D	DEEP	P	PAINT		
DBL	DOUBLE	PC	PLUMBING		
DEPT	DEPARTMENT	PL	PLATE CONTRACTOR		
DF	DRAINING POUNTAIN	PLAM	PLASTIC LAMINATE		
DIA	DIAMETER	PLAS	PLASTER		
DIM	DIMENSION	PLS	PLACES		
DN	DOWN	PLWD	PLYWOOD		
DITD	DITTO	P & P	PAINT PRIME		
DR	DOOR	PAIR	PAIR		
DS	DOWNSPOUT	PT	PRESSURE TREATED		
DTL	DETAIL	PS	PIPE SLEEVE		
DW	DRYWALL	PSI	POUNDS PER SQUARE INCH		
DWG	DRAWING	PTN	POINT		
DWR	DRAWER	P.V.C.	POLYVINYL CHLORIDE		
		PVMT	PAVEMENT		
EA	EACH				
EJ	EXPANSION JOINT	QT	QUARRTILE		
ELEV	ELEVATION	QTY	QUANTITY		
ELC	ELECTRIC				
EMER	EMERGENCY	R	RADIUS		
ENCL	ENCLOSURE	RB	RUBBERBASE		
ENT	ENTRANCE	REC	RECESSED		
EP	ELECTRIC PANEL	RD	ROOM DRAIN		
FQ	EQUAL	REC	RECESSED		
EQUIP	EQUIPMENT	REF	REFRIGERATOR		
ETC	ETCETERA	REINF	REINFORCING		
EW	EACHWAY	REQ'D	REQUIRED		
EXT	EXTERIOR	RESL	RESILIENT		
EXC	EXCAVATE	RFG	ROOFING		
EXIST	EXISTING	RM	ROOM		
EXP	EXPANSION	RH	RIGHT		
EXP'D	EXPANDED	R.O.	ROUGH OPENING		
EL.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	R.O.B.	RUN OF BANK		
		R.O.W.	RIGHT OF WAY		
		R & R	REMOVE & REPLACE		
		RS	RISERS		
FACT	FACTORY				
FD	FLOOR DRAIN	S	SINK		
FE	FIRE EXTINGUISHER	SC	SOLID CORE		
FF	FINISH FLOOR	SCHED	SCHEDULE		
FIN	FINISH	SD	SMOKE DETECTOR		
FIXT	FIXTURE	SECT	SECTION		
FL	FLOOR	SGU	STRUCTURAL GLAZED UNIT		
FLASH	FLASHING	SHT	SHEET		
FLG	FLANGE	SHTG	SHOOTING		
FLUOR	FLUORESCENT	SIDLGT	SIDELIGHT		
FP	FIRE	SL	SLATE		
FRPW	FIRE RETARDANT PROOF PLYWOOD	SP	SPACE		
FT	FOOT	SPC	SPECIFICATIONS		
FTG	FOOTING	SQ	SQUARE		
FURR	FURRING	SS	STAINLESSSTEEL		
		STD	STANDARD		
GA	GAGE	STL	STEEL		
GALV	GALVANIZED	STOR	STORAGE		
GC	GENERAL CONTRACTOR	STR	STRUCTURAL		
GEN	GENERAL	SUSP	SUSPENDED		
GL	GLASS	T	TILE		
GR	GRADE	TD	TRENCH DRAIN		
GYP	GYPNUM	TEL	TELEPHONE		
GYP	GYPNUM WALL BOARD	TEMP	TEMPERED		
GWB	GYPNUM BOARD	TERZ	TERRAZZO		
RD	GLUE & NAIL	T & G	TONGUE & GROOVE		
G & N	GLUE & NAIL	THR	THICK		
G & S	GLUE & SCREW	THR	THRESHOLD		
		TOP	TOP OF PLATE		
H	HIGH	TOS	TOP OF SLAB		
HIB	HOSE BIB	TR	TREAD		
HC	HANDICAPPED	TYP	TYPICAL		
HD	HEAVY DUTY	UH	UNTREATED		
HDR	HEADER	UNF	UNFINISHED		
HDWD	HARDWOOD	UN. N.	UNLESS OTHERWISE NOTED		
HDWR	HARDWARE	V	VENT		
HGT	HEIGHT	VAR	VARIABLE		
HM	HOLLOW METAL	VB	VINYL BASE		
HORIZ	HORIZONTAL	VCT	VINYL COMPOSITION TILE		
HR	HOUR				
H&VC	HEATING & VENTILATING CONTRACTOR				
HVAC	HEATING, VENTILATING & AIR CONDITIONING				

EAGLE RESIDENCE



DRAWINGS:

- C1 COVER SHEET
- A1 ELEVATION VIEWS
- A2 FOUNDATION PLAN
- A3 1 ST FLOOR PLAN
- A4 2ND FLOOR PLAN
- A5 SECTION VIEW

SYMBOLS KEY:

NORTH ARROW

DETAIL MARKER

WALL TAG

REVISION TAG

WINDOW TAG

DOOR TAG

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM	A-36, Fy=36KSI
REINFORCED STEEL	ASTM	A-615, Fy=40KSI
WIRBMESH	ASTM	A-185, 6-6-10/10 W.W.M.
LUMBER		ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ECT. TO BE #2 GRADE LUMBER/DOUGLAS FIR, LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 800 PSI UNLESS NOTED OTHERWISE
PLYWOOD	CDX	PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 Ex = 106 I-9 Ft = 750	
MASONRY	ASTM	C90, GRADE N-1 Fm=1350 PSI
MORTAR	ASTM	C270, TYPE S
GROUT	Fc=2000 PSI	ASTM C476
CONCRETE	Fc=2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc=3500 PSI MIN. (GARAGE SLAB, PORCH SLAB & POURED FOUNDATION WALLS)	
BOLTS	ASTM	A307, Fy=33 KSI
		ALL CONCRETE EXPOSED TO FROST OR WEATHER SHALL BE AIR ENTRAINED BETWEEN 4.5% & 6.5%

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA AND ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40P.S.F.
SLEEPING & ATTIC AREA LIVE LOAD	30P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING 42" BELOW FINISHED GRADE	2500 P.S.F. AT MINIMUM
WIND SPEED	115MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE THE EXTERIOR WALL LINE AND ON ROOFS WITH SLOPES OF 8/12 AND STEEPER 36" MIN. ALONG THE ROOF SLOPE & EAVS EDGE
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

FOUNDATION:

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL. ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS

BASEMENT CELLAR WALL AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL. DEPTH SHOULD SATURATED CONDITIONS BE ENCOUNTERED. OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS

CONTRACTOR ASSUMES FULL RESPONSIBILITIES FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED

POSITIVE DRAINAGE SHOULD BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALL AND FOOTINGS

CONTINUOUS FABRIC WRAPPED 4" PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALL WHICH DRAINS TO THE SUMP PUMP A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER REINFORCEMENT CHARTS

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN INCLUDING SPACING OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENCED IN THE COVERING STATE

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION

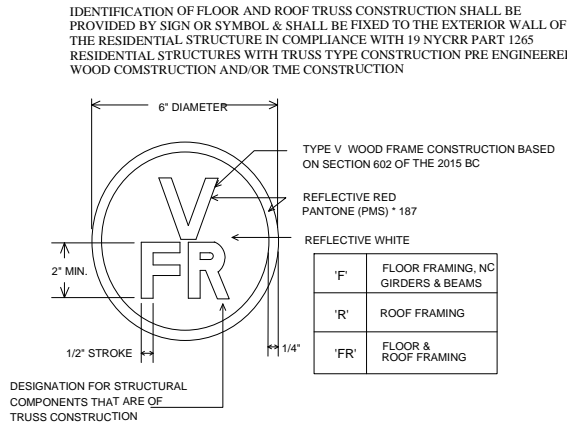
UNDER ALL CONCEALED WOOD BEARING POSTS PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH A MINIMUM OF 3-2x6 OR 2-2x8 HEADER UNLESS NOTED OTHERWISE

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTENANCE AND STRUCTURAL INTEGRITY OF JOIST, BEAMS , OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHERING HANDLING, STORAGE, RESALING OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION

TRUSS IDENTIFICATION:(IF USED)



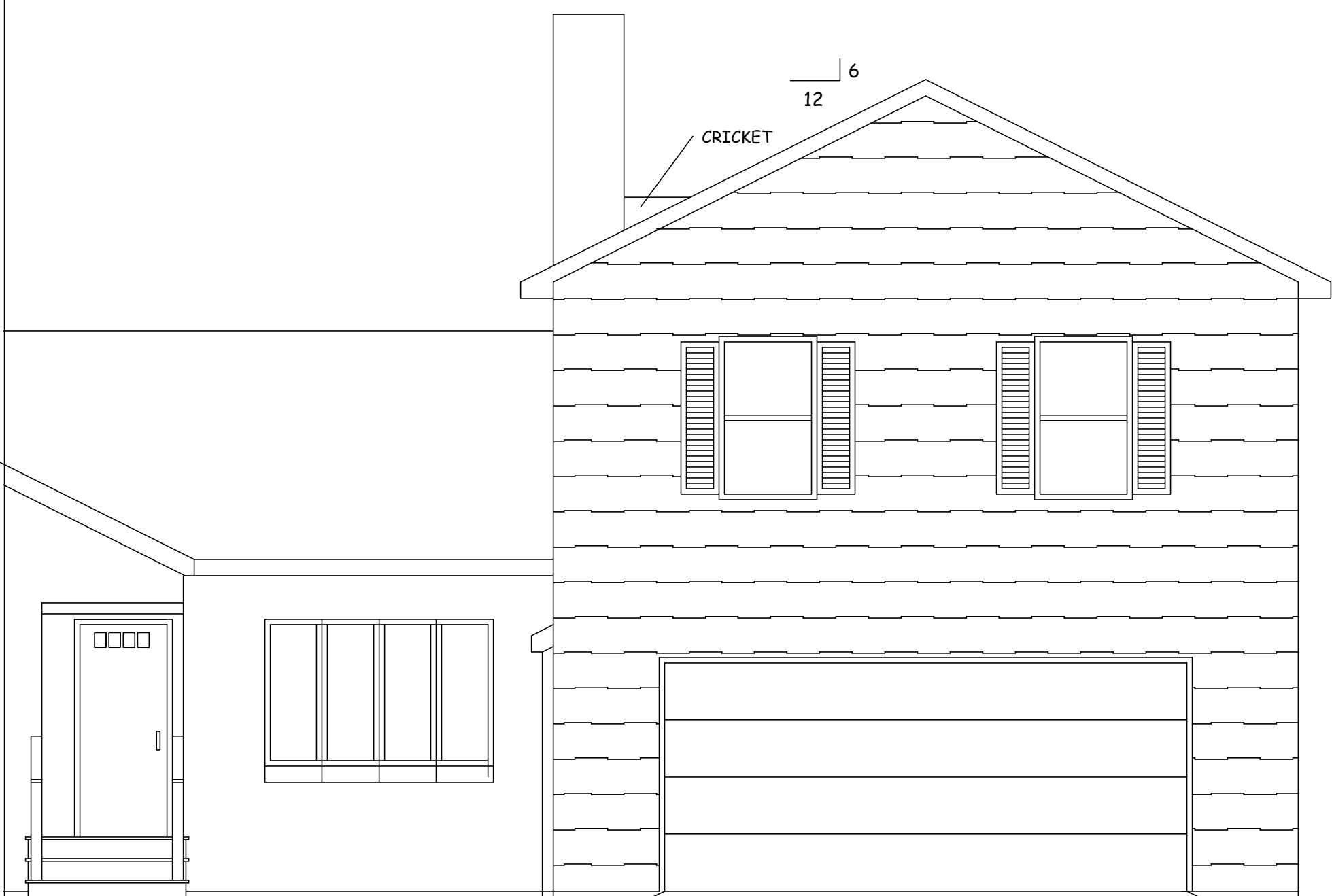
THOMAS M. LANEY, PE
304 WASHINGTON ST
SPENCERPORT, NY 14559
(585)-319-9032

TITLE SHEET

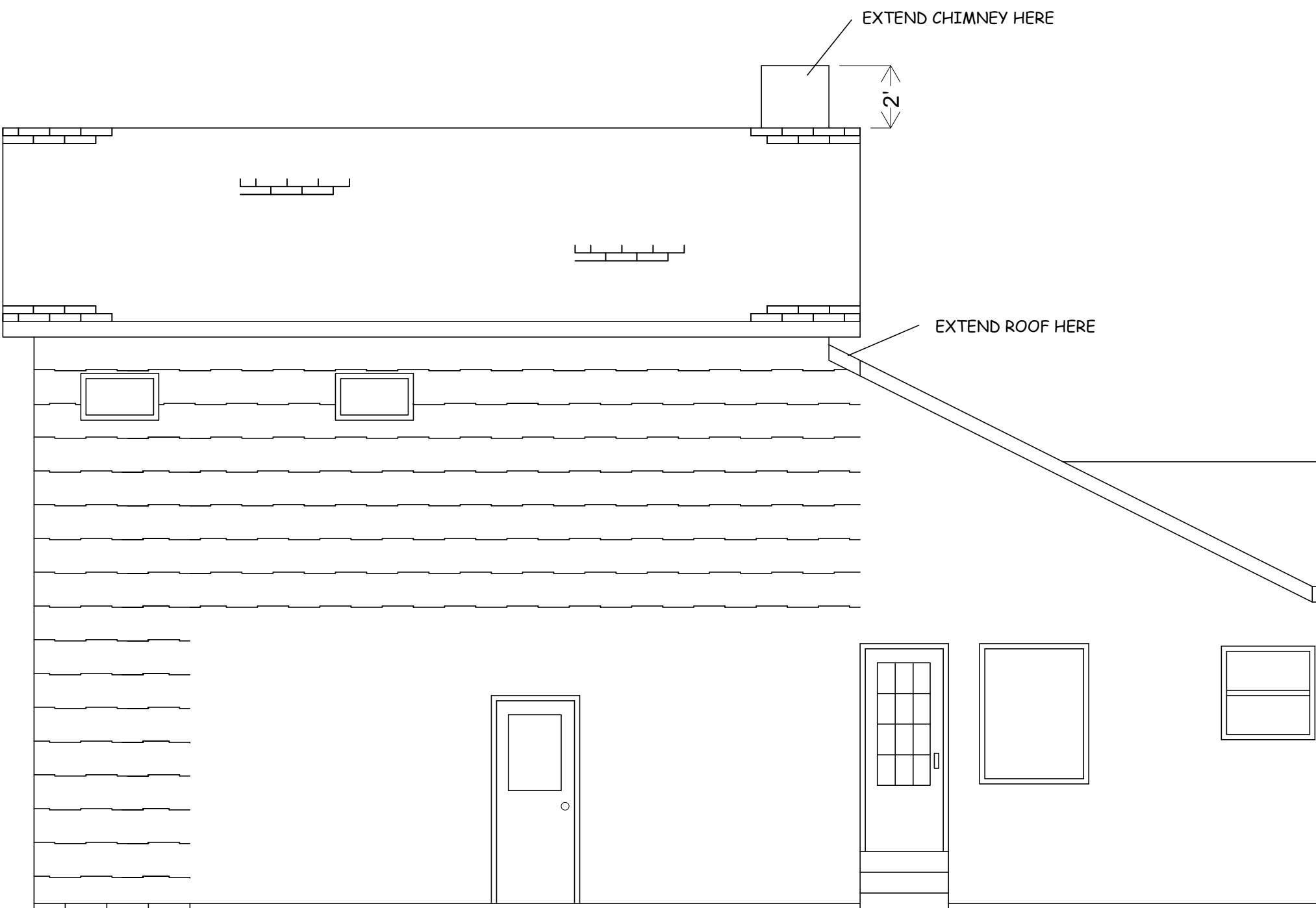
SCALE	APPROVED: T. M. LANEY	DRAWN BY T. M. LANEY
DATE 7/26/25		REVISED
ADDITION FOR CHARLIE EAGLE		
20 WINDING RD, PITTSFORD, NY		



WEST (FRONT) ELEVATION



SOUTH ELEVATION



THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032



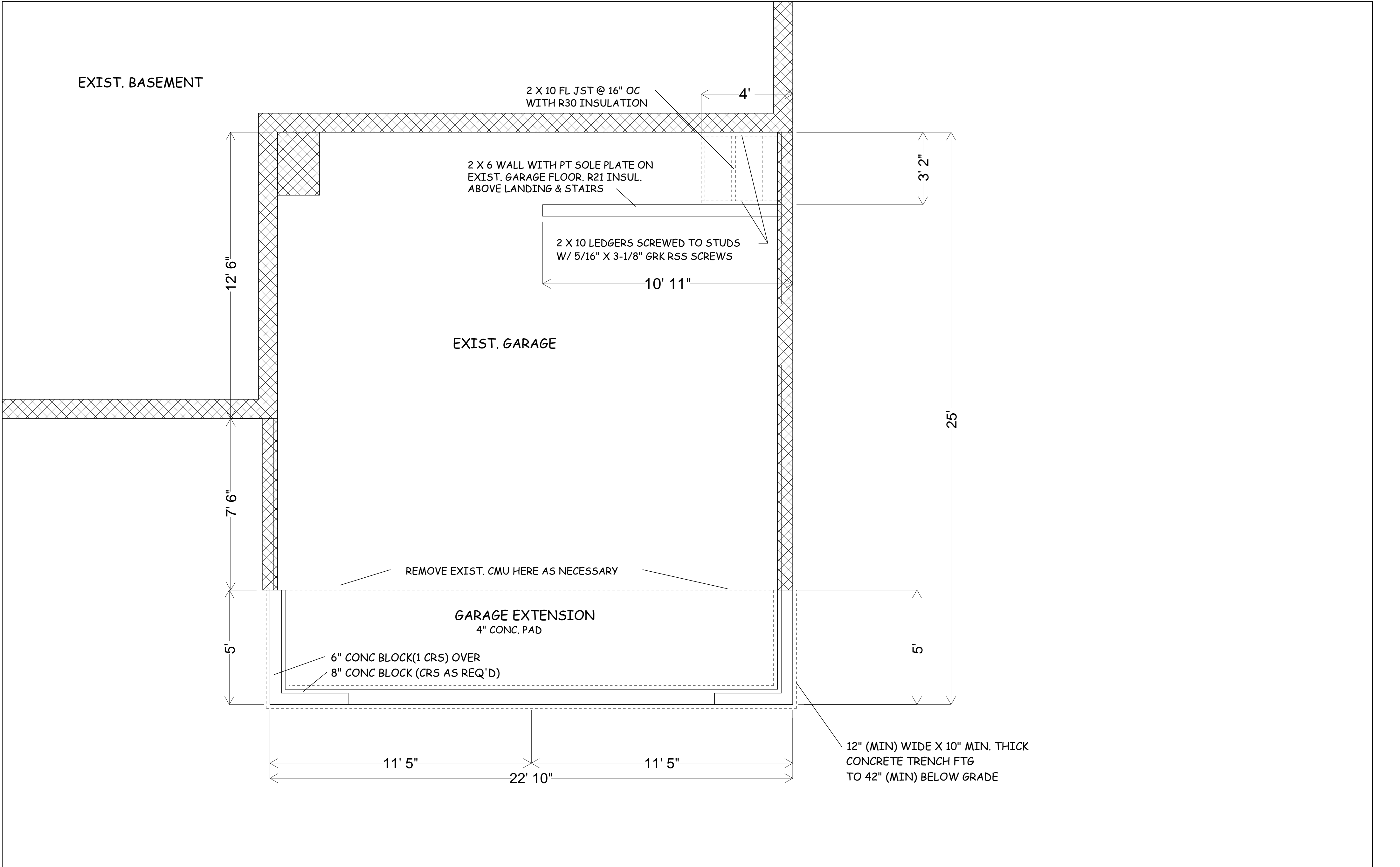
8/1/2025

ELEVATION VIEWS

SCALE:	1/4" = 1'	APPROVED:	T. M. LANEY	DRAWN BY:	T. M. LANEY
DATE:	7/22/25			REVISED:	

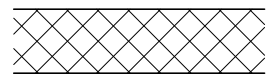
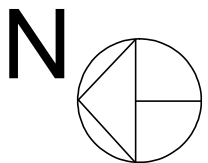
2ND FLOOR ADDITION FOR CHARLIE EAGLE

20 WINDING RD, PITTSFORD, NY



THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED
AND REFERENCED FROM EXISTING BUILDING



EXISTING FOUND.



8/1/2025

FOUNDATION PLAN

SCALE: 3/8" = 1'
DATE: 7/25/25

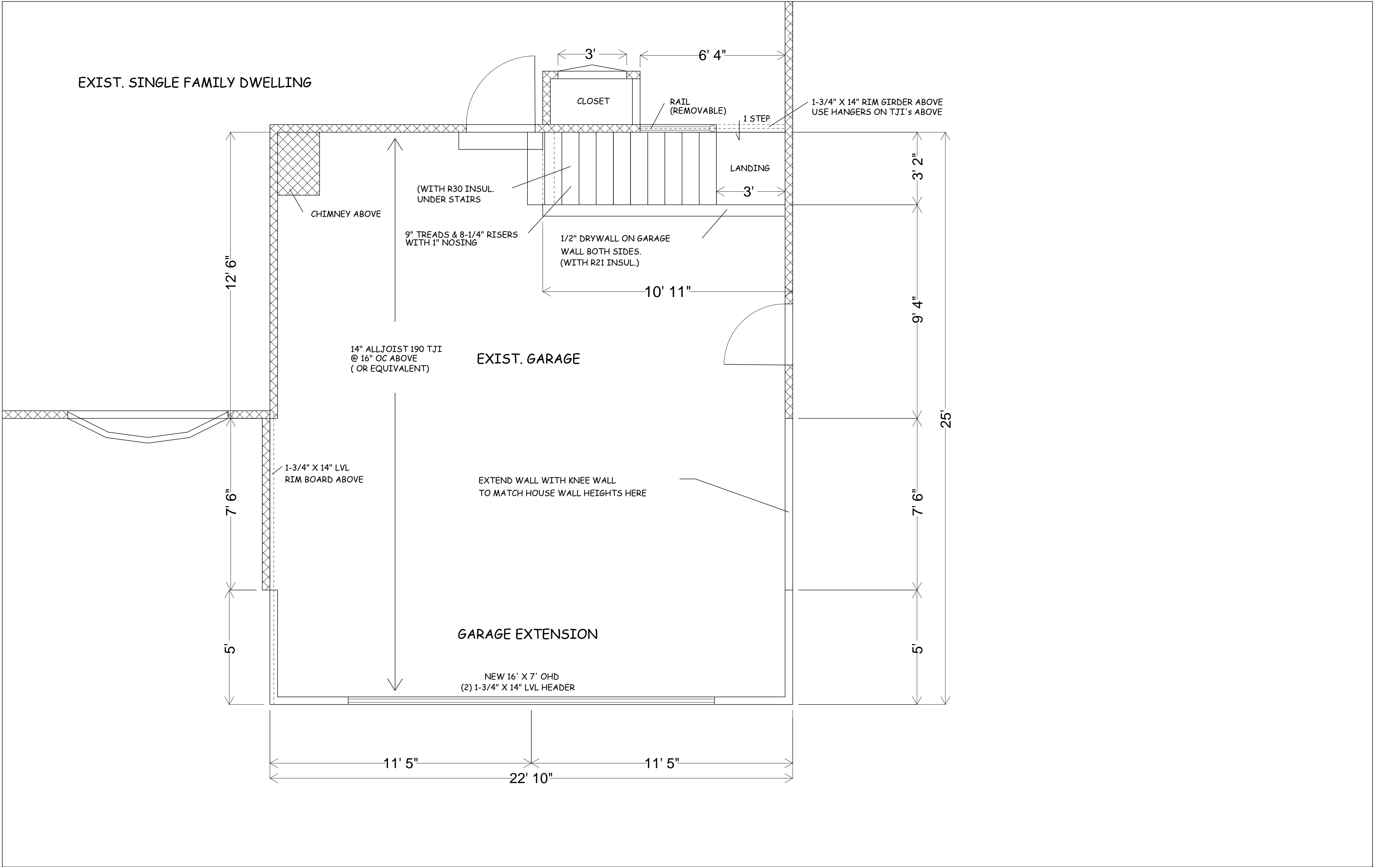
APPROVED:
T. M. LANEY

DRAWN BY:
T. M. LANEY
REVISED:

ADDITION FOR CHARLIE EAGLE

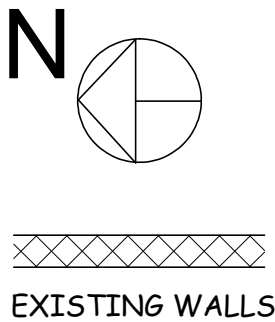
20 WINDING RD, PITTSFORD, NY


A2
5

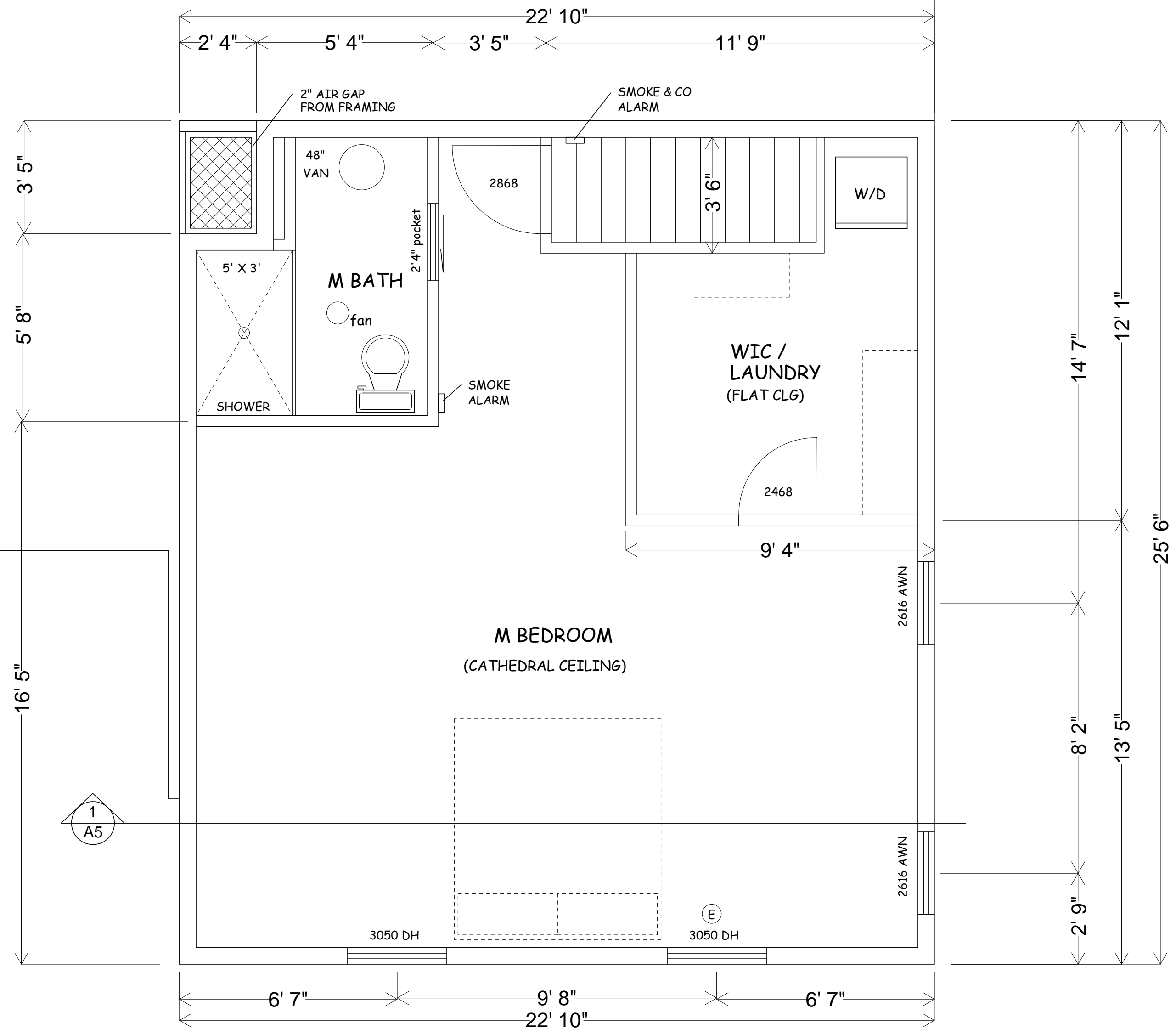


THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED
AND REFERENCED FROM EXISTING BUILDING



		8/1/2025	
1ST FLOOR PLAN			
SCALE: 3/8" = 1'		APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 7/22/25		REVISED:	
ADDITION FOR CHARLIE EAGLE			
20 WINDING RD, PITTSFORD, NY			A3 5



THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED
AND REFERENCED FROM EXISTING BUILDING

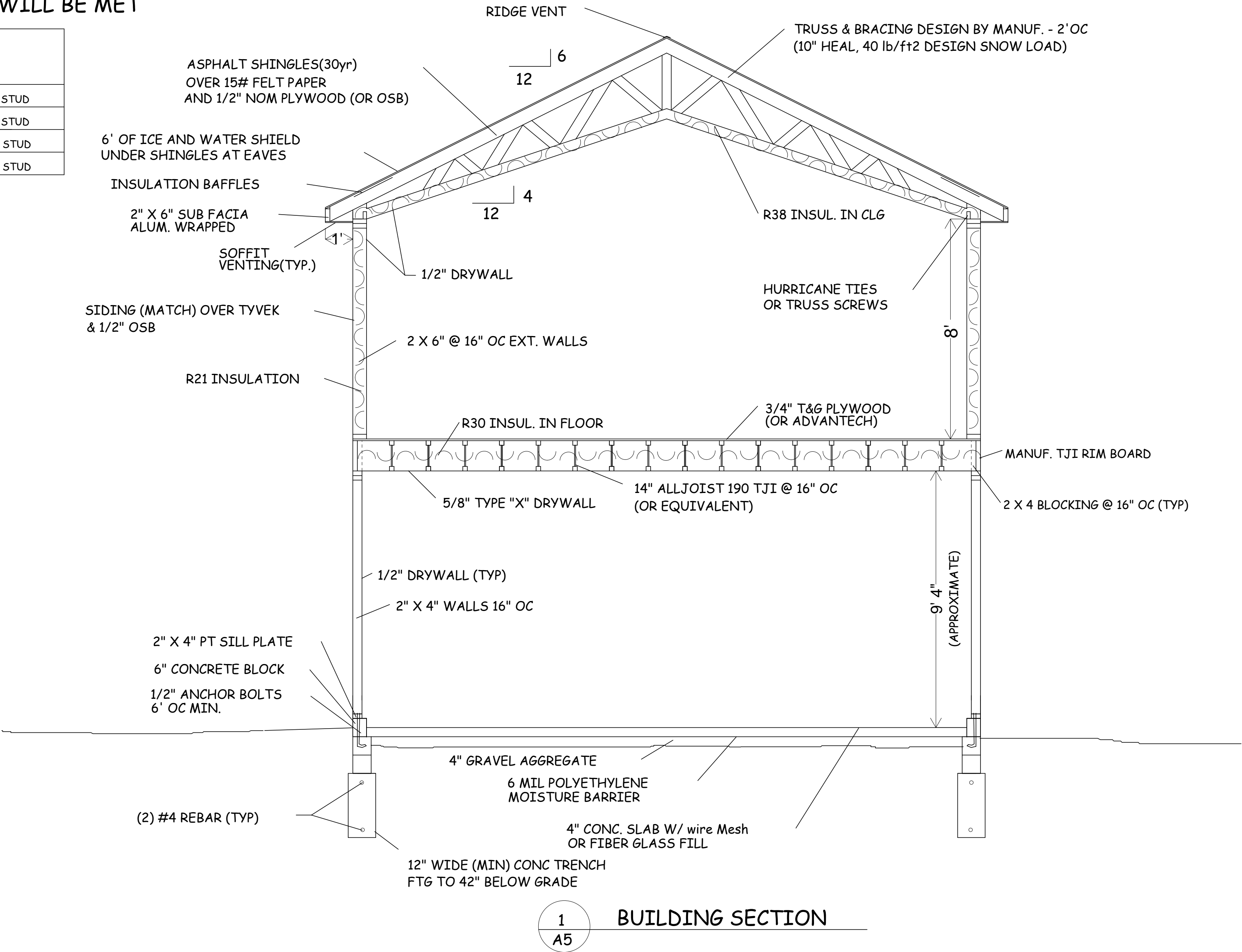


8/1/2025

2ND FLOOR PLAN			
SCALE: 3/8" = 1'		APPROVED: T. M. LANEY	
DATE: 7/22/25		DRAWN BY: T. M. LANEY	
		REVISED:	
ADDITION FOR CHARLIE EAGLE			
20 WINDING RD, PITTSFORD, NY			A4 5

NOTE: ALL LUMBER TO BE 1150 PSI Fb (MIN) NO. 2
HEM FIR OR BETTER.
ALL STATE CONSTRUCTION CODES WILL BE MET

BEARING WALL HEADER SCHEDULE (UNLESS OTHERWISE SPECIFIED)		
< 4'0"	(3) 2 X 6 OR (2) 2 X 8	G & N w/ (1) JACK STUD
< 5'2"	(3) 2 X 8 OR (2) 2 X 10	G & N w/ (1) JACK STUD
< 6'2"	(3) 2 X 8 OR (2) 2 X 10	G & N w/ (2) JACK STUD
< 9'	(3) 2 X 10 OR (2) 2 X 12	G & N w/ (2) JACK STUD

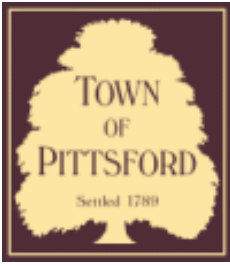


THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032



8/1/2025

SECTION VIEW			
SCALE:	3/8" = 1'	APPROVED:	T. M. LANEY
DATE:	7/26/25	DRAWN BY:	T. M. LANEY
ADDITION FOR CHARLIE EAGLE			REVISD:
20 WINDING RD, PITTSFORD, NY			A5 5



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000113

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 165 West Brook Road PITTSFORD, NY 14534

Tax ID Number: 150.20-2-3

Zoning District: RN Residential Neighborhood

Owner: Koegel, Jeffrey M

Applicant: OPH Renovations

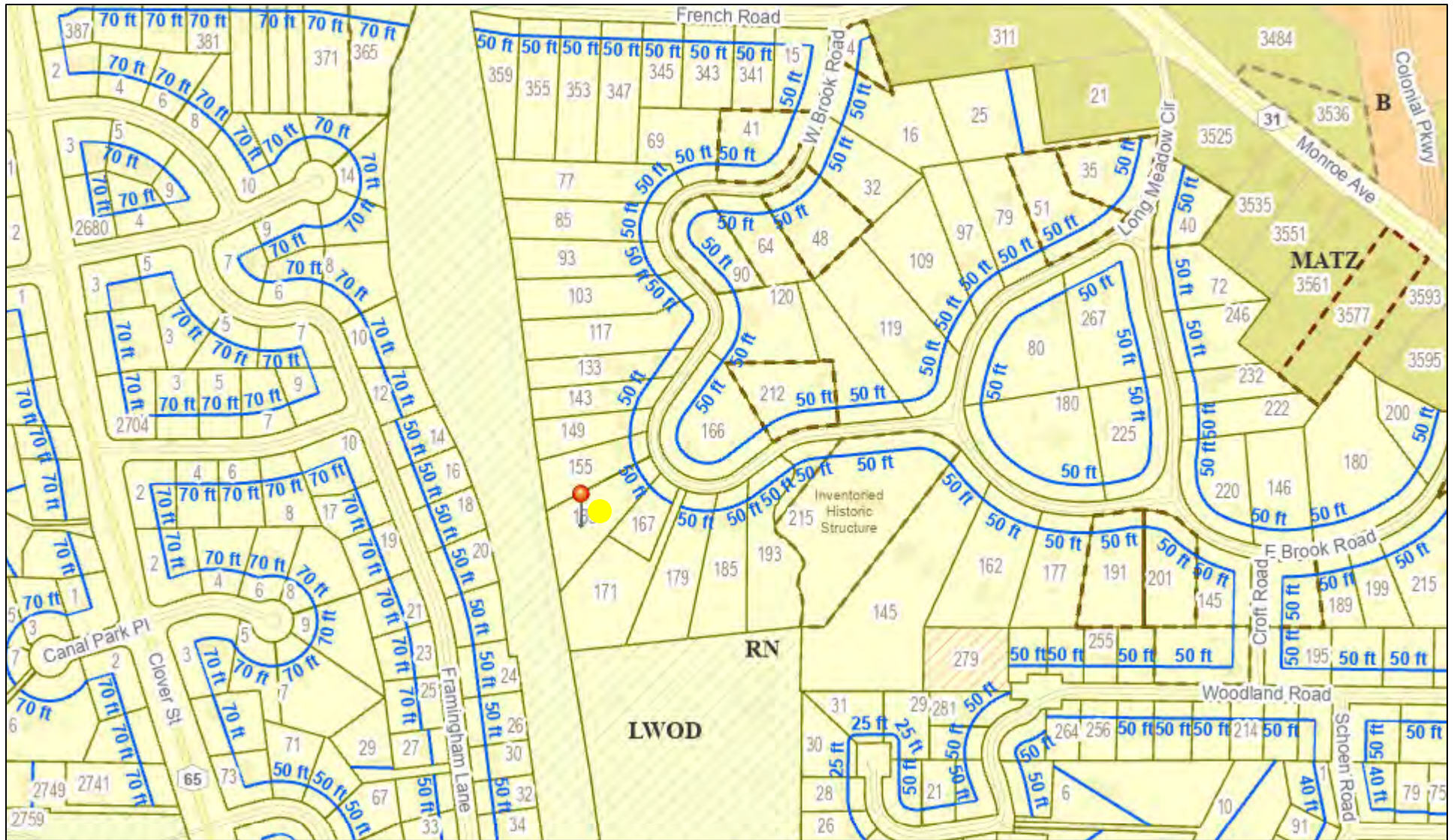
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

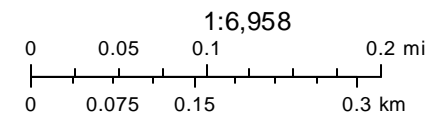
Project Description: Applicant is requesting design review of a 778 square foot rear addition.

Meeting Date: September 11, 2025

Residential Neighborhood Zoning

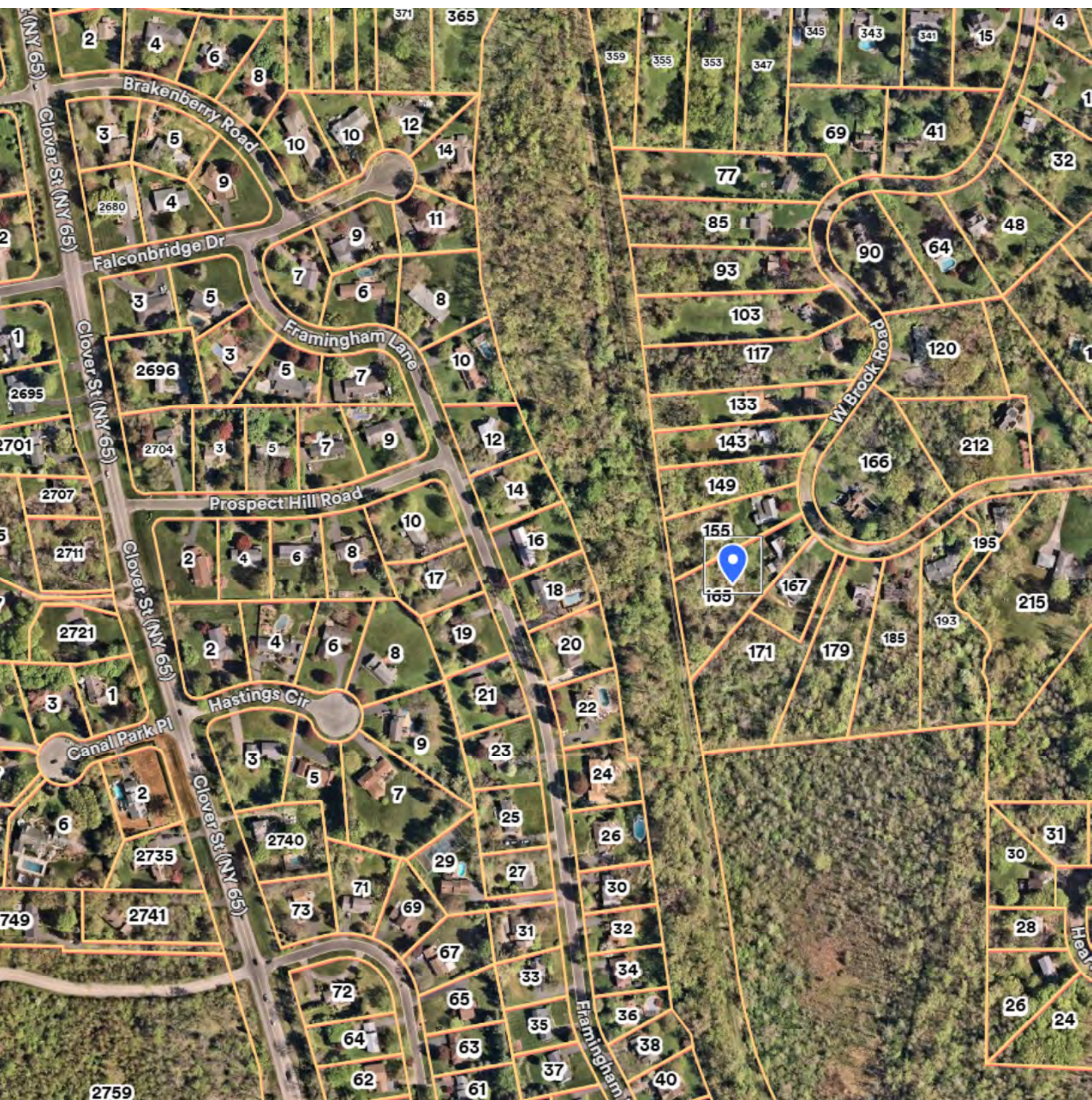


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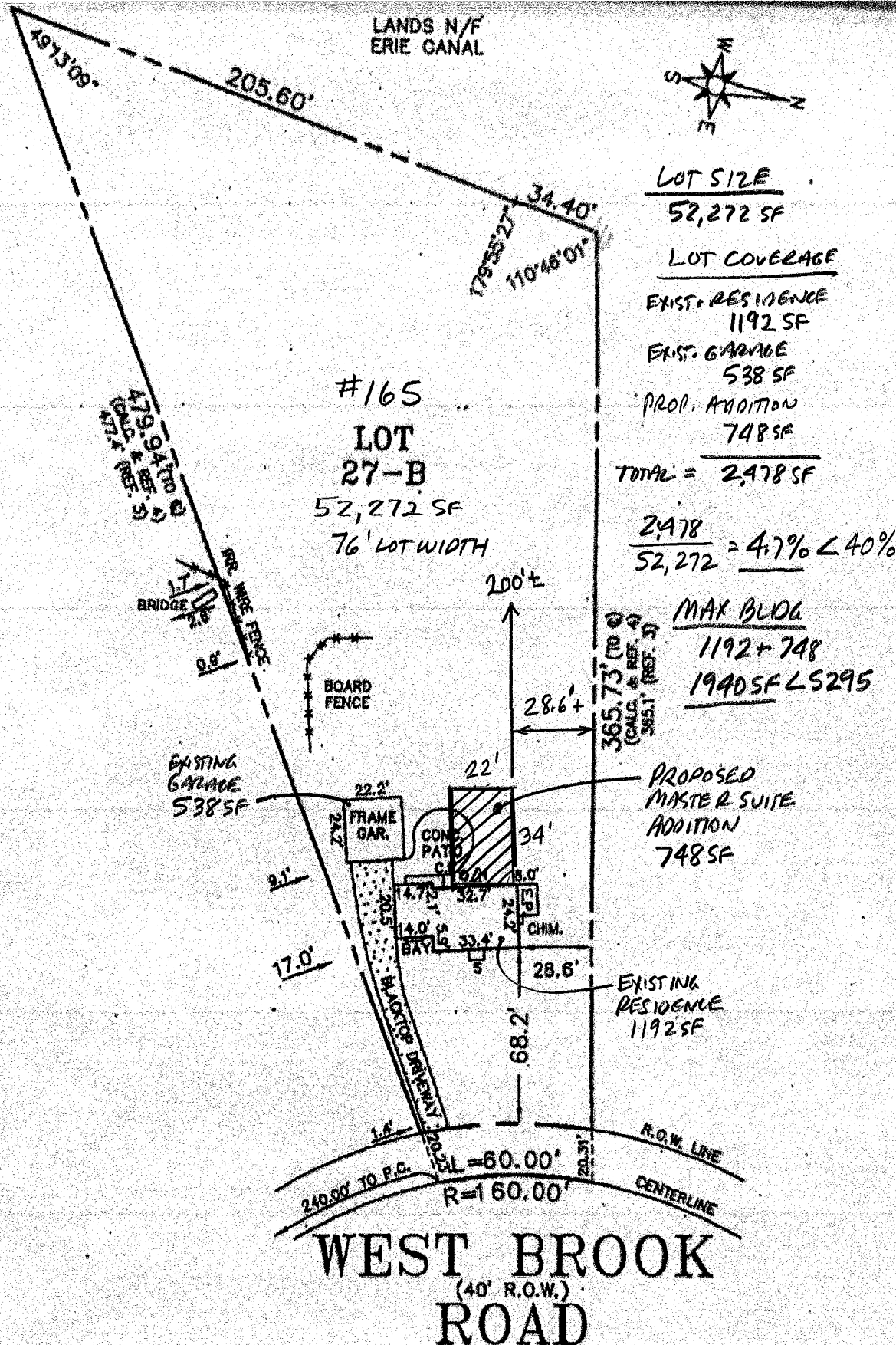
Town of Pittsford GIS

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REFERENCES:

1. ABSTRACT OF TITLE NO. 22306/LOT27B&28B (STEWART NOV. 20, 2018).
2. LIBER 11404 OF DEEDS, PAGE 692.
3. LIBER 25 OF MAPS, PAGE 16.
4. INSTRUMENT SURVEY MAP PREPARED BY PAONESSA DATED JUL 12, 2007.
5. EASEMENT TO RGE & RTC PER L-27100, P-335 (POLES & WIRES).
6. RESTRICTIONS PER L-9190, P-99.
7. EASEMENT TO DESPATCH LIGHT & POWER PER L-8920, P-49 (ALONG S & W E).



LOT SIZE
52,272 SF

LOT COVERAGE

EXIST. RESIDENCE
1192 SF

EXIST. GARAGE
538 SF

PROP. ADDITION
748 SF

TOTAL = 2,478 SF

$$\frac{2,478}{52,272} = 4.7\% < 40\%$$

MAX BLDG
1192 + 748
1940 SF < 5295

PROPOSED MASTER SUITE ADDITION
748 SF

EXISTING RESIDENCE
1192 SF

CERTIFICATION:

I hereby certify to:
CNB MORTGAGE COMPANY, ITS SUCCESSORS AND/OR ASSIGNS;
GALLO & IACOVANGELO, LLP;
STEWART TITLE INSURANCE COMPANY;
JEFFREY M. KOEGEL & RACHEL M. KOEGEL;
WIEDMAN, VAZZANA, CORCORAN & VOLTA, P.C.;
that this map was made DEC. 6, 2018 from notes of an instrument
Survey completed DEC. 5, 2018 and from references listed hereon.

Gregory J. Bileschi
GREGORY J. BILESCHI, N.Y.S.L.S. # 50342

NOTE: Property owners should only be
est by a licensed, registered land surveyor.

Kip Finley, PE
Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428

(585) 451-6538

TITLE: INSTRUMENT SURVEY MAP

165 WEST BROOK ROAD

BEING LOT 27-B OF THE LONG MEADOW

SUBDIVISION, SITUATE IN THE TOWN OF

PITTSFORD, COUNTY OF MONROE,

STATE OF NEW YORK

SCALE: 1" = 60'

BILESCHI LAND SURVEYING
435 REYNOLDS ARCADE
ROCHESTER, NEW YORK 14614
(585) 454-6010 (phone)
(585) 454-6015 (fax)

DATE: DEC. 6, 2018

FILE No. 180440JK

OWNER: RUFF/NORTHROP

Tax Account No.
150.200-02-003

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor seal is a violation of section 2300 Subdivision 2, of the New York State Education Law."

"Only copies from the original of this survey marked with an original land surveyor seal shall be considered to be valid true copies."

"Certifications shall run only for the person for whom the survey is prepared, and on behalf of the title company insuring the title, the governmental agency and lending institution, and the owner, and in the absence of the lending institution, the owner."

"This map is subject to any agreements and/or encumbrances that are shown on this map. The word 'verify' or 'certification' as shown and used herein means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee expressed or implied. Location of subterranean improvements and those which are covered may be approximate or not shown hereon. Landowner's records are not shown hereon."



Town of Pittsford
Design Review Board
11 South Main Street
Pittsford, NY 14534

September 2, 2025

**165 West Brook Road
Addition to the Rear of the Existing Residence**

To Members of the Pittsford Design Review Board,

On behalf of our clients and the Applicants, Jeffrey and Rachel Koegel, we are pleased to submit the attached information for review of the architecture proposed for the addition to the back of their home at 165 West Brook Road. Please schedule us for an appearance at the September 11th meeting.

Per the attached drawings, please note that the style of the addition will match the style of the house. The Map of a Survey shows that we are proposing a 22 feet x 34 feet addition at approximately 28.6 feet off the north property line. The lot coverage will be 4.7% which is less than the 40% maximum allowed by the Zoning Code.

The Applicants are proposing these enhancements to their home to provide a full first floor master suite, a home office and a large mudroom-laundry for their growing family.

Please contact me at (585) 451-6538 or send email to kip.finley@gmail.com with any questions.

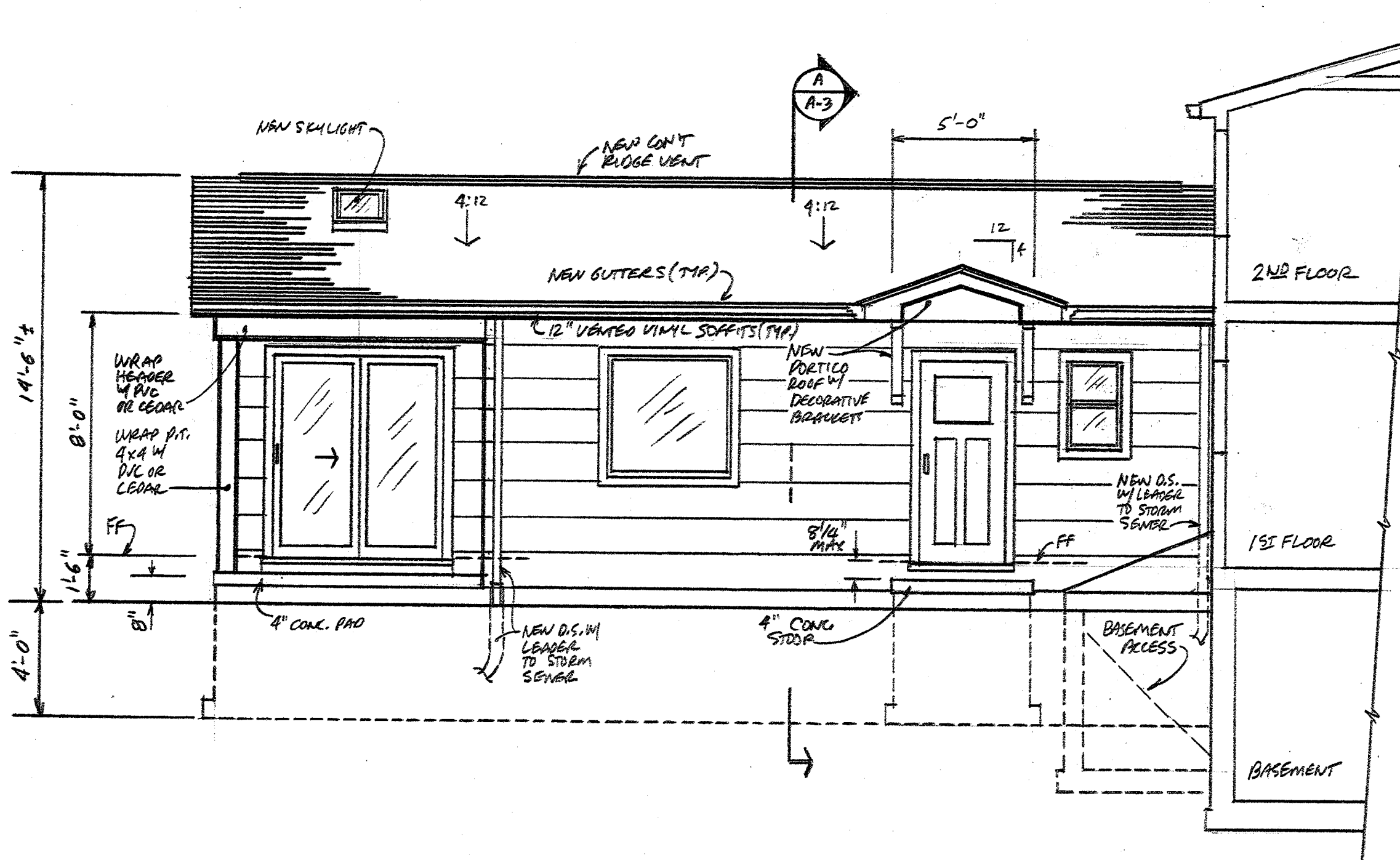
Sincerely,

Kip Finley, PE
NYSPE 070151

Attached Photos



Victory Hill Land Company
Engineering, Architecture, Construction Management, Land Development
868 Winslow Road, Churchville, NY 14428



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

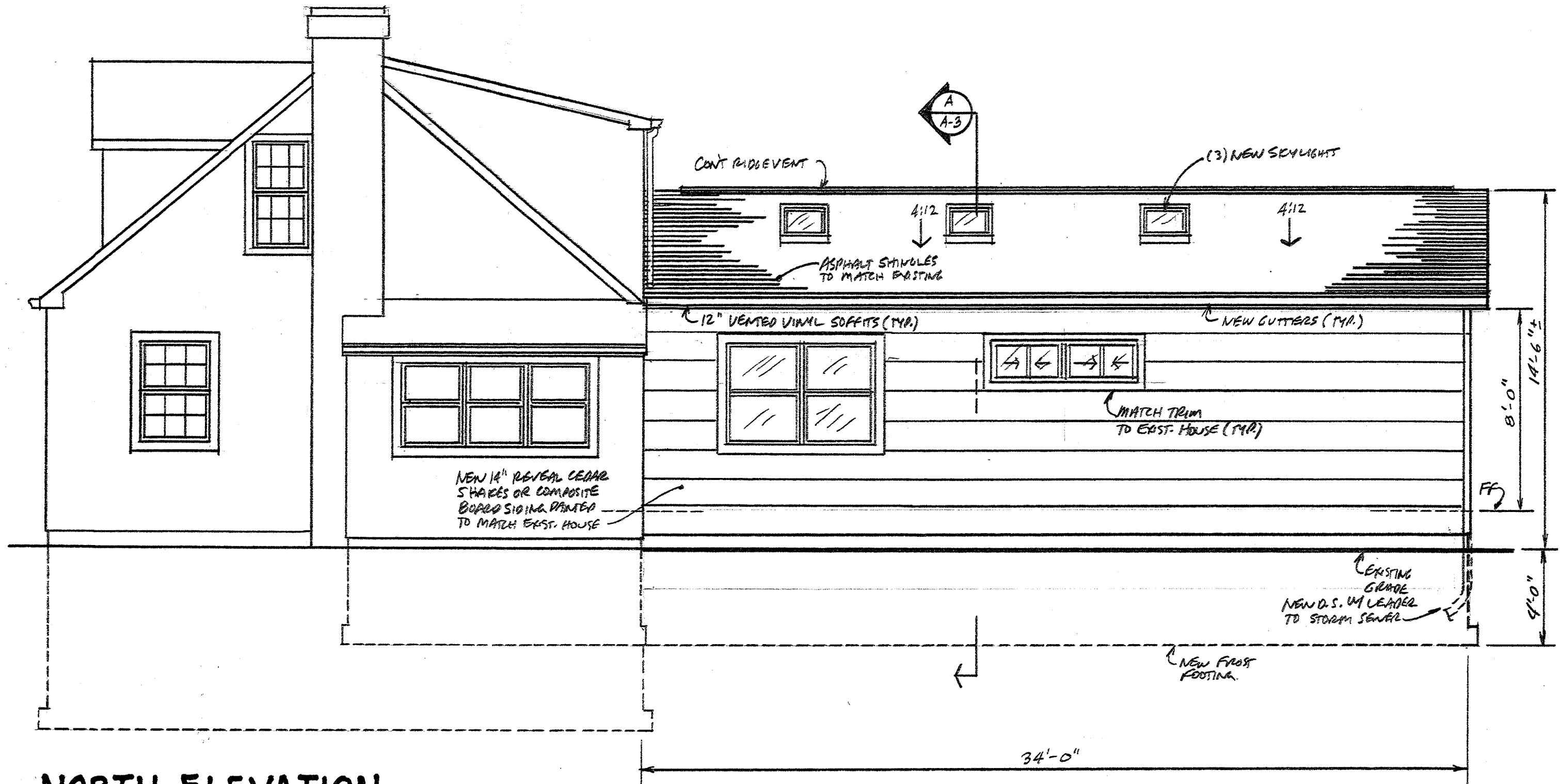
REVISIONS

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2025: Alterations
Permitted by Engineer Only



MASTER SUITE ADDITION TO
THE KOEGEL RESIDENCE
165 West Brook Road
Town of Pittsford, NY
SHEET A-4



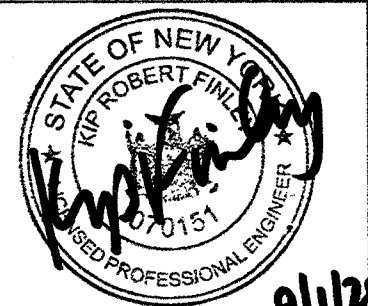
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2025: Alterations
Permitted by Engineer Only



**MASTER SUITE ADDITION TO
THE KOEGEL RESIDENCE**
165 West Brook Road
Town of Pittsford, NY
SHEET A-6

The addition will be at the same floor elevation as the existing residence. The existing master bedroom window on the left (with the AC unit) will need to be converted to an egress casement. There are two other windows in the existing master bedroom.



Victory Hill Land Company
Engineering, Architecture, Construction Management, Land Development
868 Winslow Road, Churchville, NY 14428

The existing sunroom will remain. The newly installed sliding door will be repurposed. The bump-out in the existing dinette will be removed to accommodate the new door into the mudroom-laundry

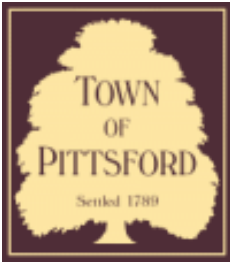


The proposed addition will not be visible from the street.



Victory Hill Land Company

Engineering, Architecture, Construction Management, Land Development
868 Winslow Road, Churchville, NY 14428



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000111

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 8 Forest Knoll PITTSFORD, NY 14534

Tax ID Number: 179.13-1-54

Zoning District: RN Residential Neighborhood

Owner: Vaughan, Maurice J

Applicant: Xavien Burgunder

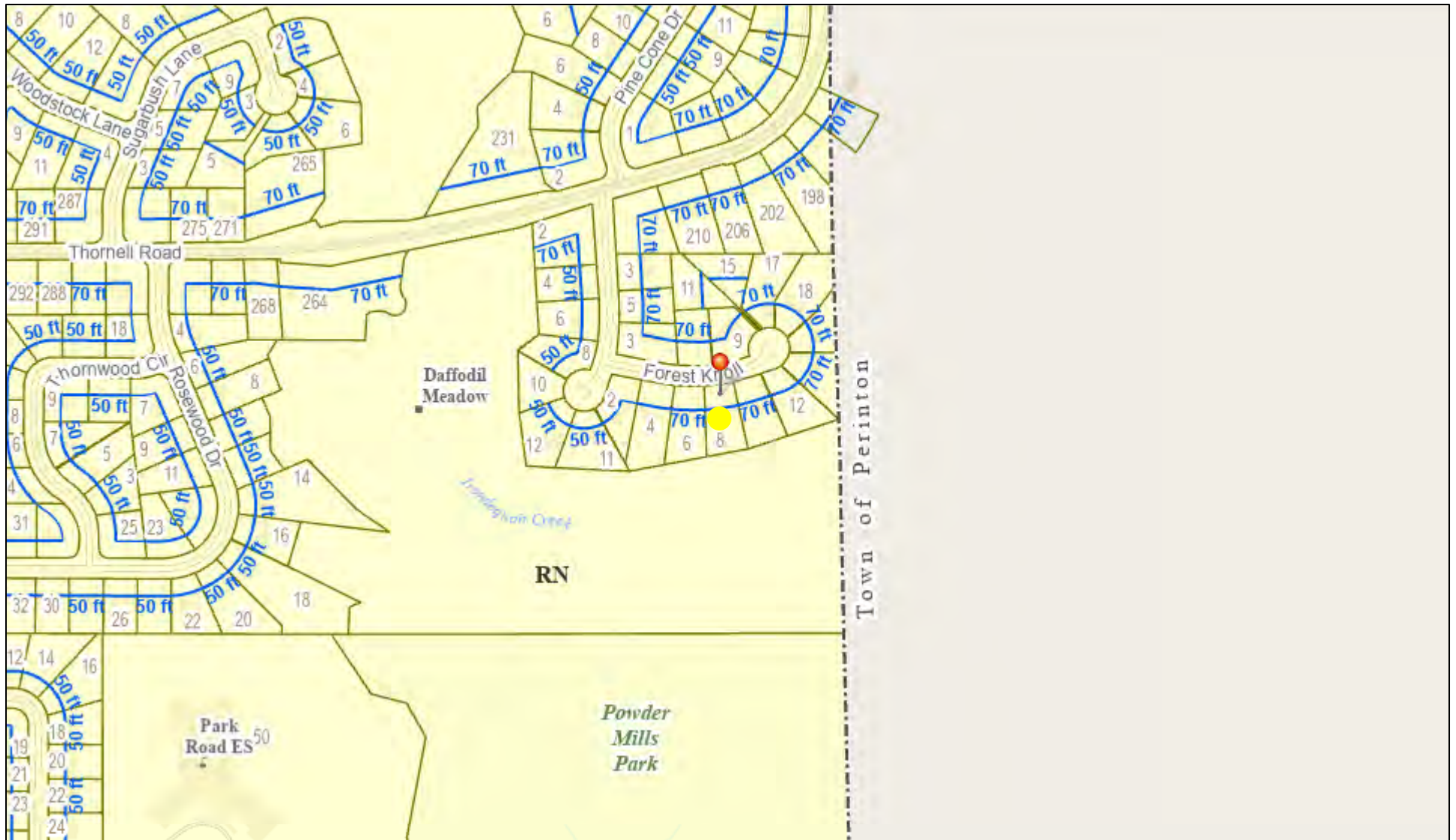
Application Type:

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|---|---|
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§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

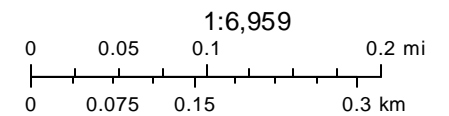
Project Description: Applicant is requesting design review of a 250 square foot renovation changing the existing roof line.

Meeting Date: September 11, 2025

Residential Neighborhood Zoning

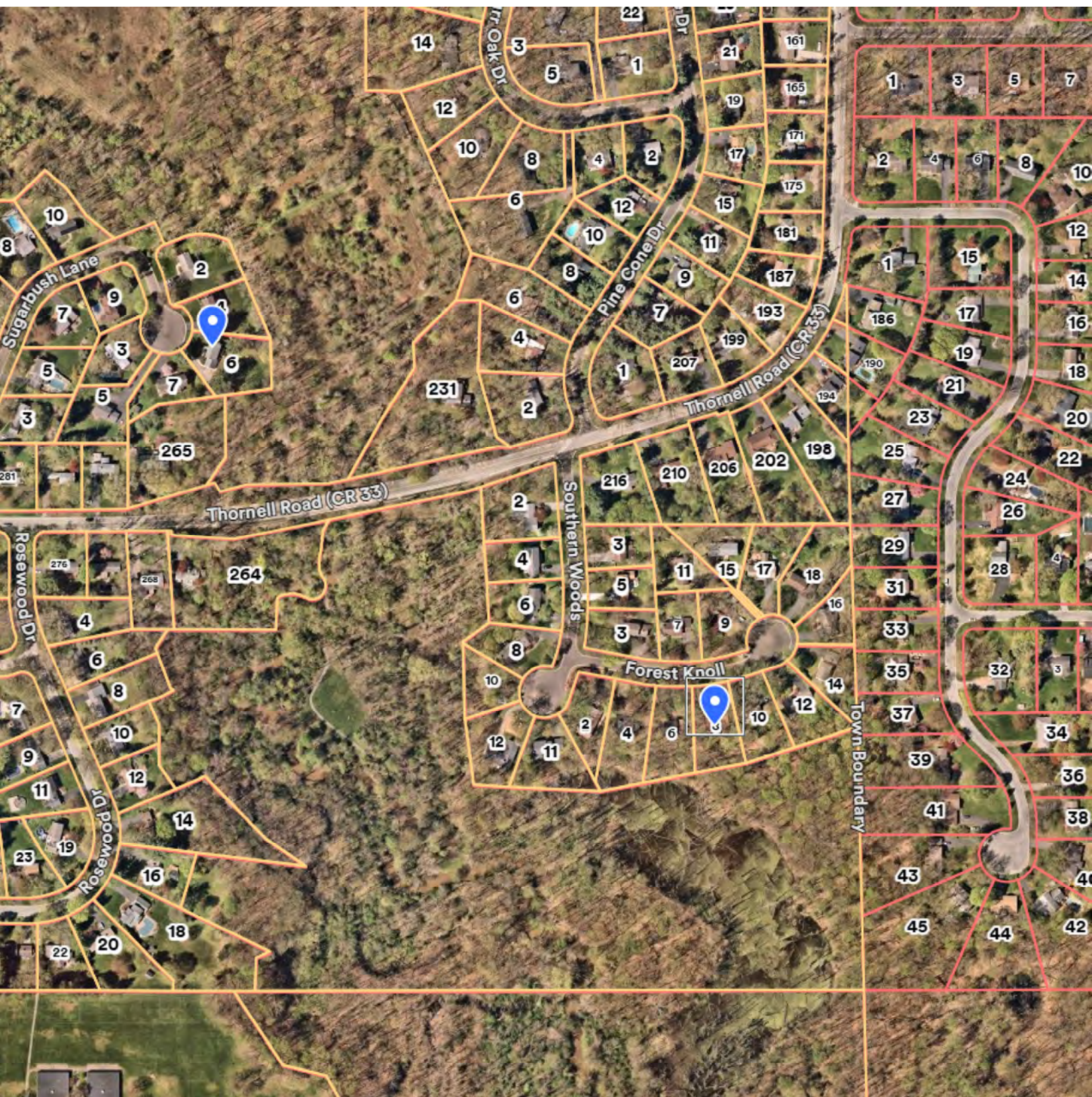


9/3/2025, 9:43:50 AM



Town of Pittsford GIS

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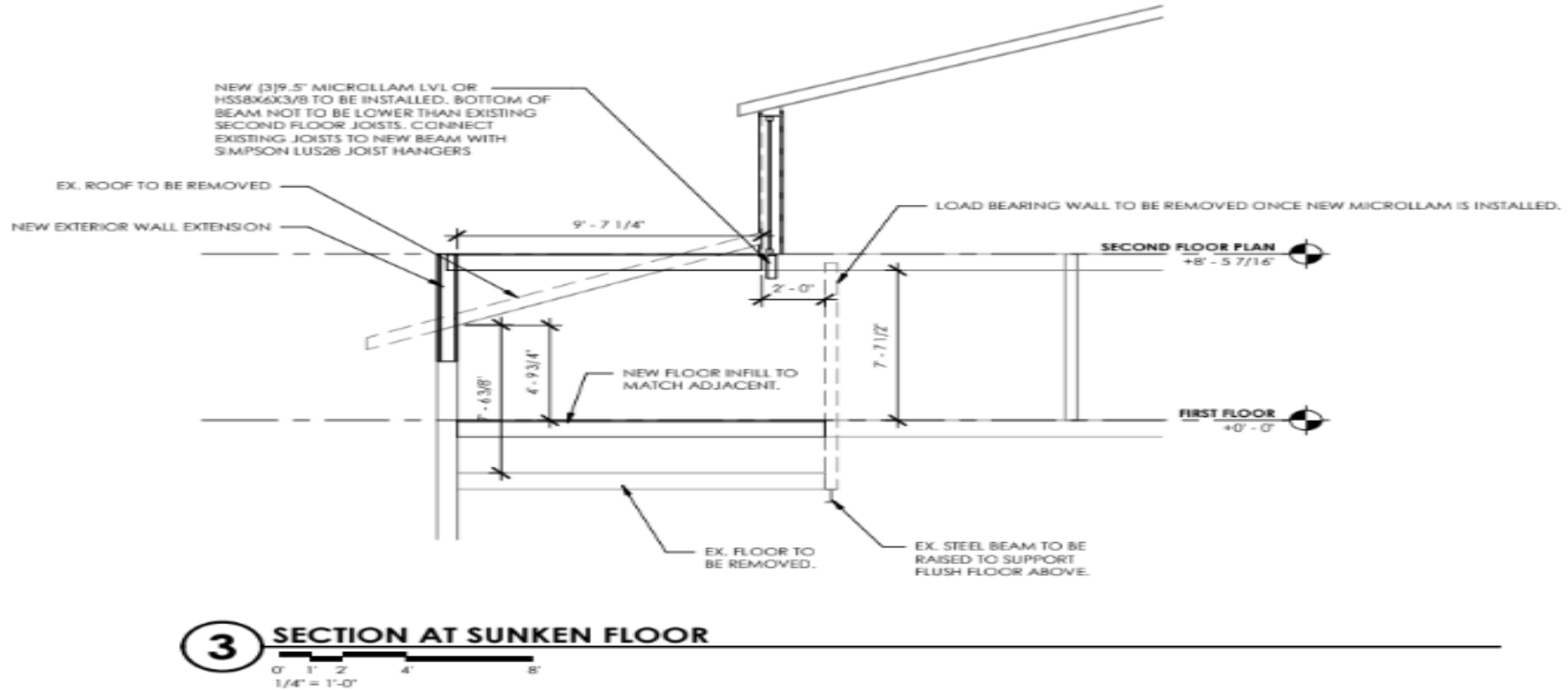


8 Forest Knoll

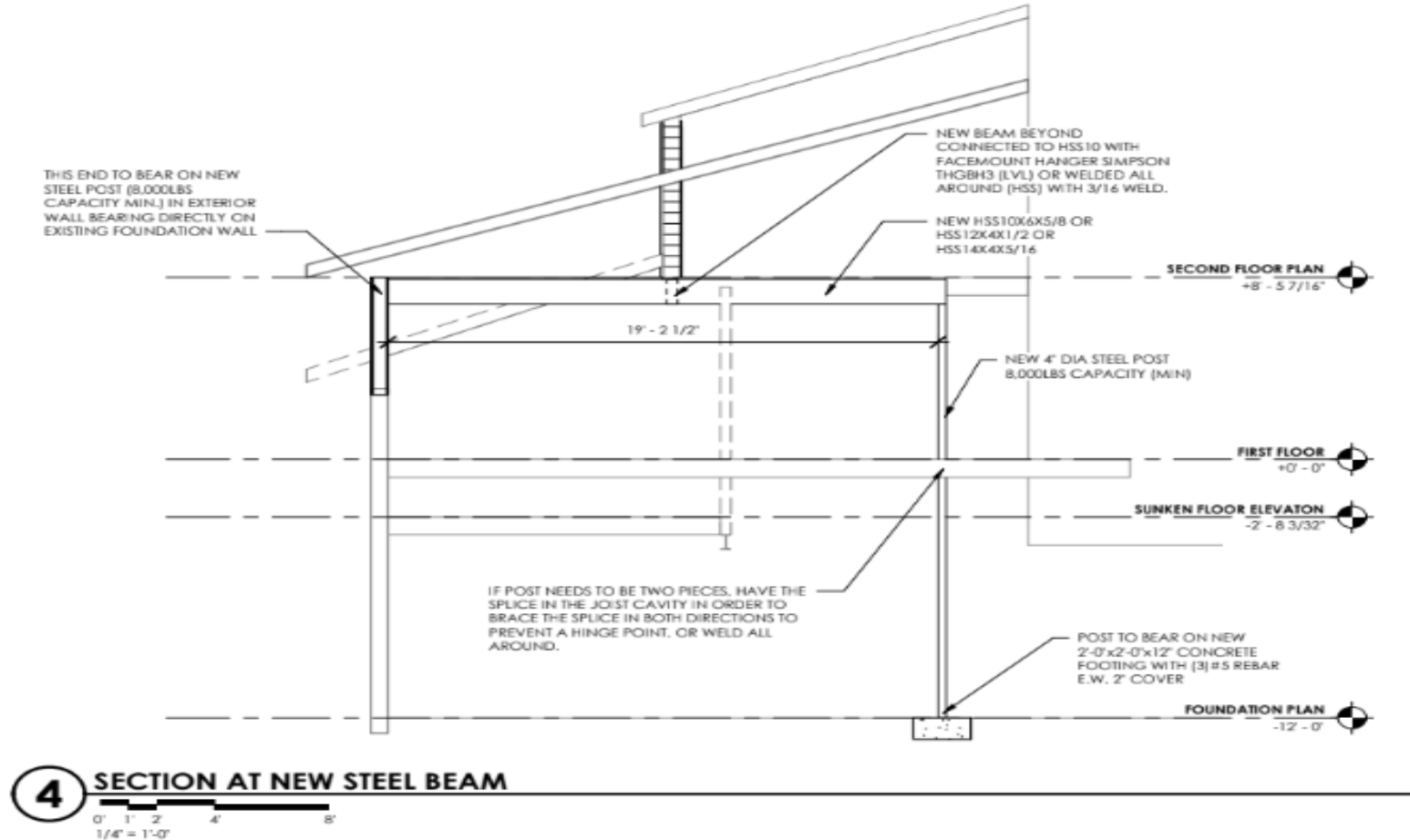
Living Room Header Replacement
Structural Steel Frame

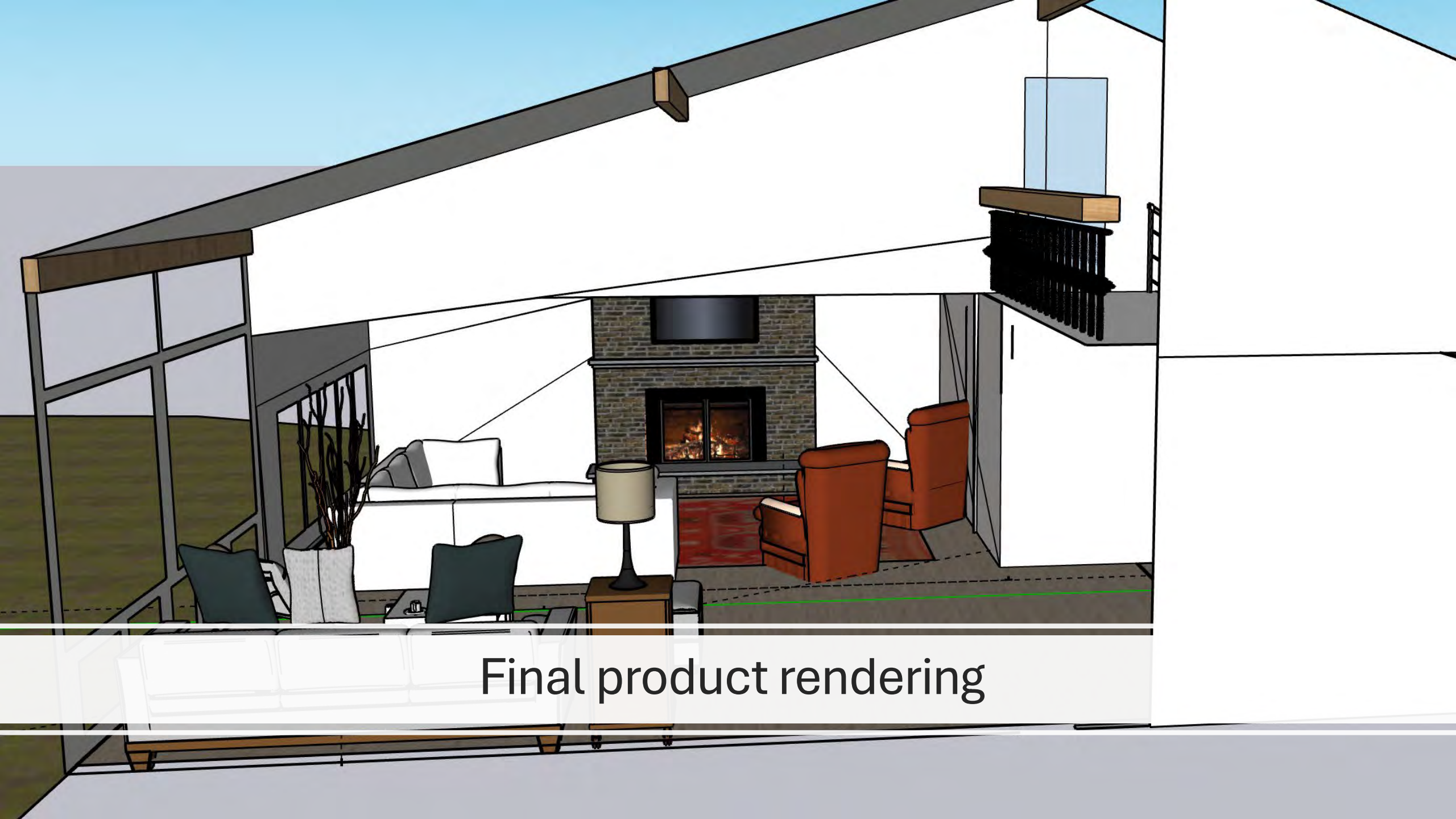


Structural Drawing 1



Structural Drawing 2

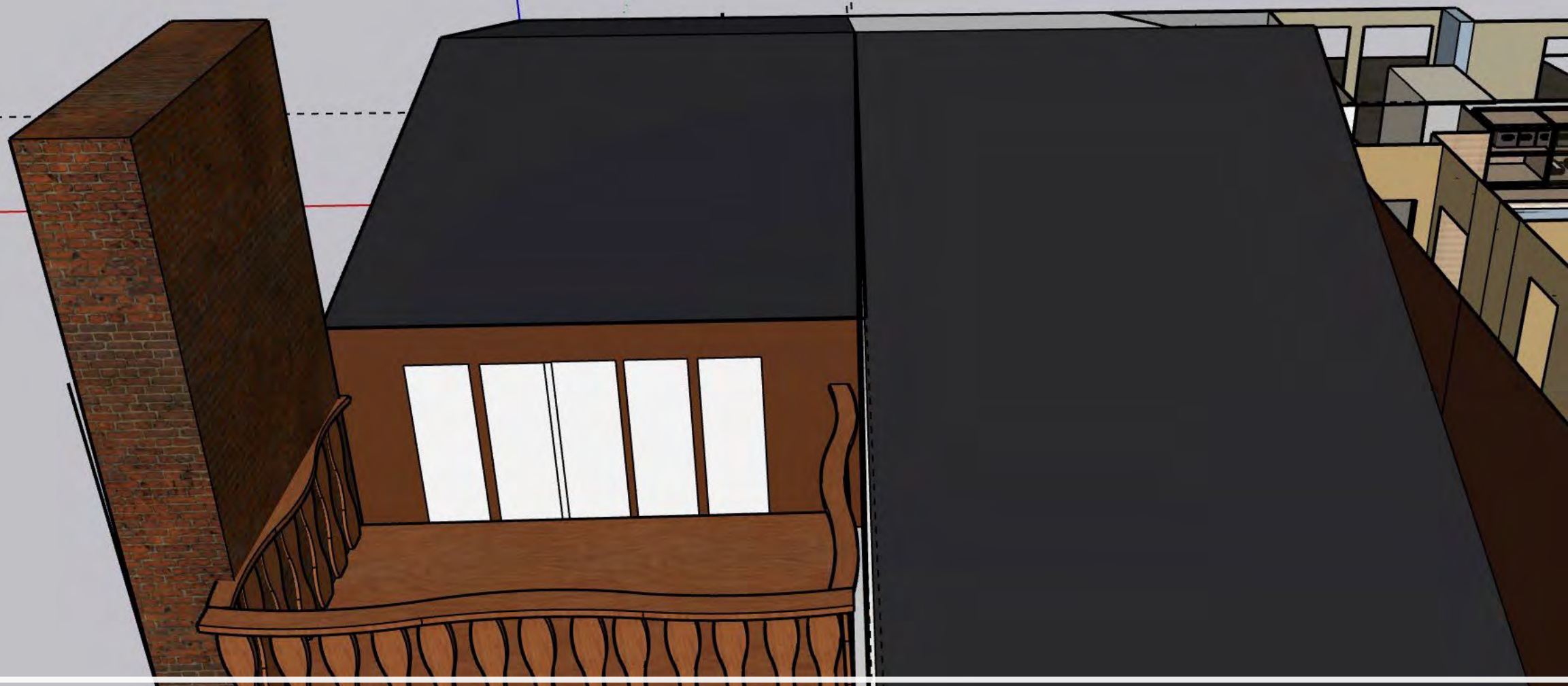




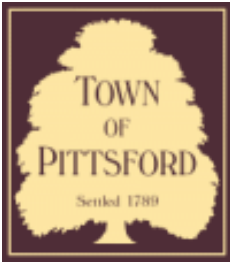
Final product rendering



Exterior of house photograph



Future exterior of house (with deck)



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000114

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 41 Parker Drive PITTSFORD, NY 14534

Tax ID Number: 164.10-2-63

Zoning District: RN Residential Neighborhood

Owner: Roberts, Andrew

Applicant: A. Frank and Co. LLC

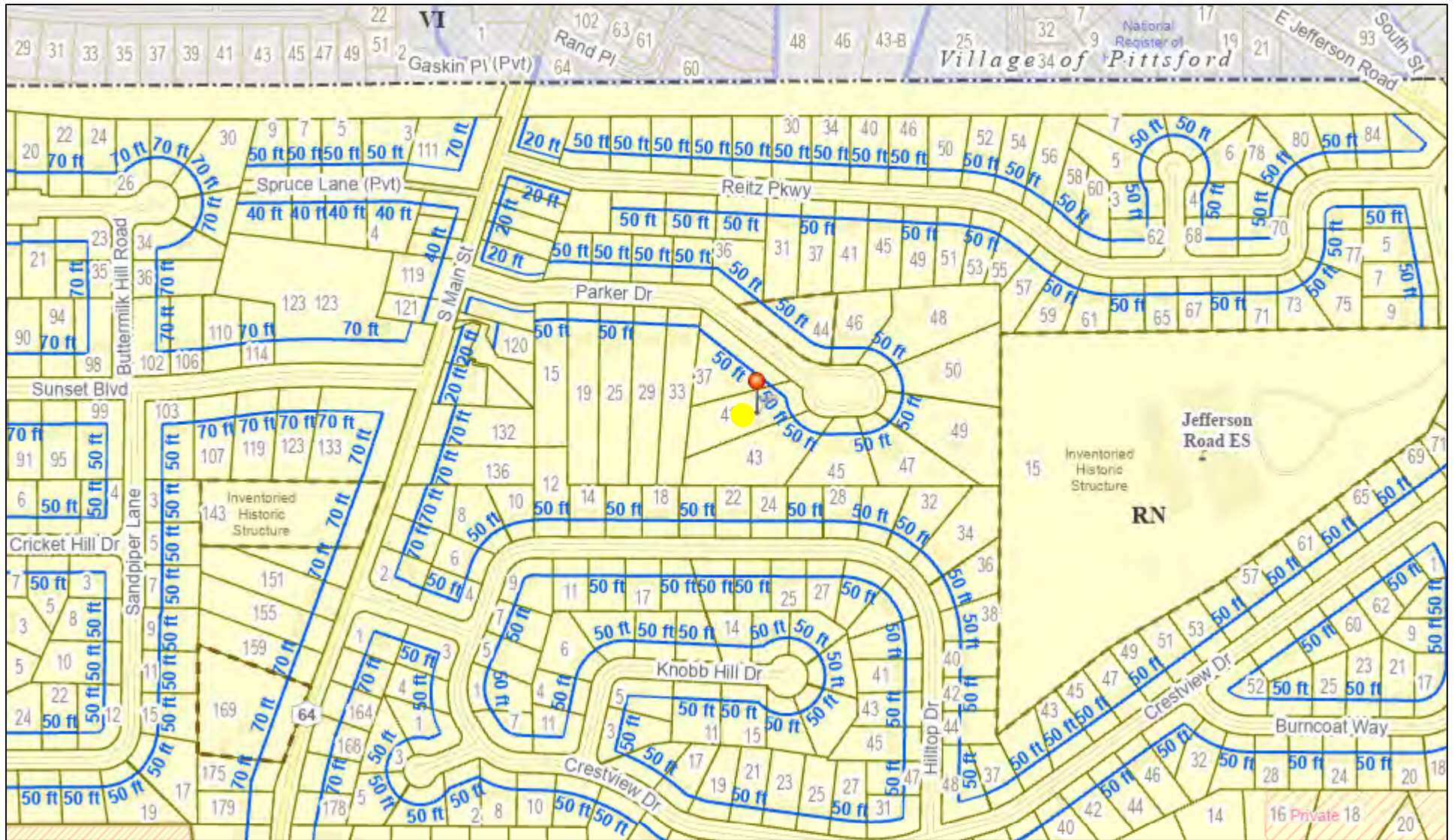
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- | | |
|---|---|
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

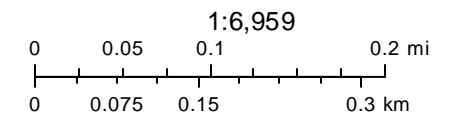
Project Description: Applicant is requesting design review of a 642 square foot addition.

Meeting Date: September 11, 2025

Residential Neighborhood Zoning



9/4/2025, 8:46:51 AM

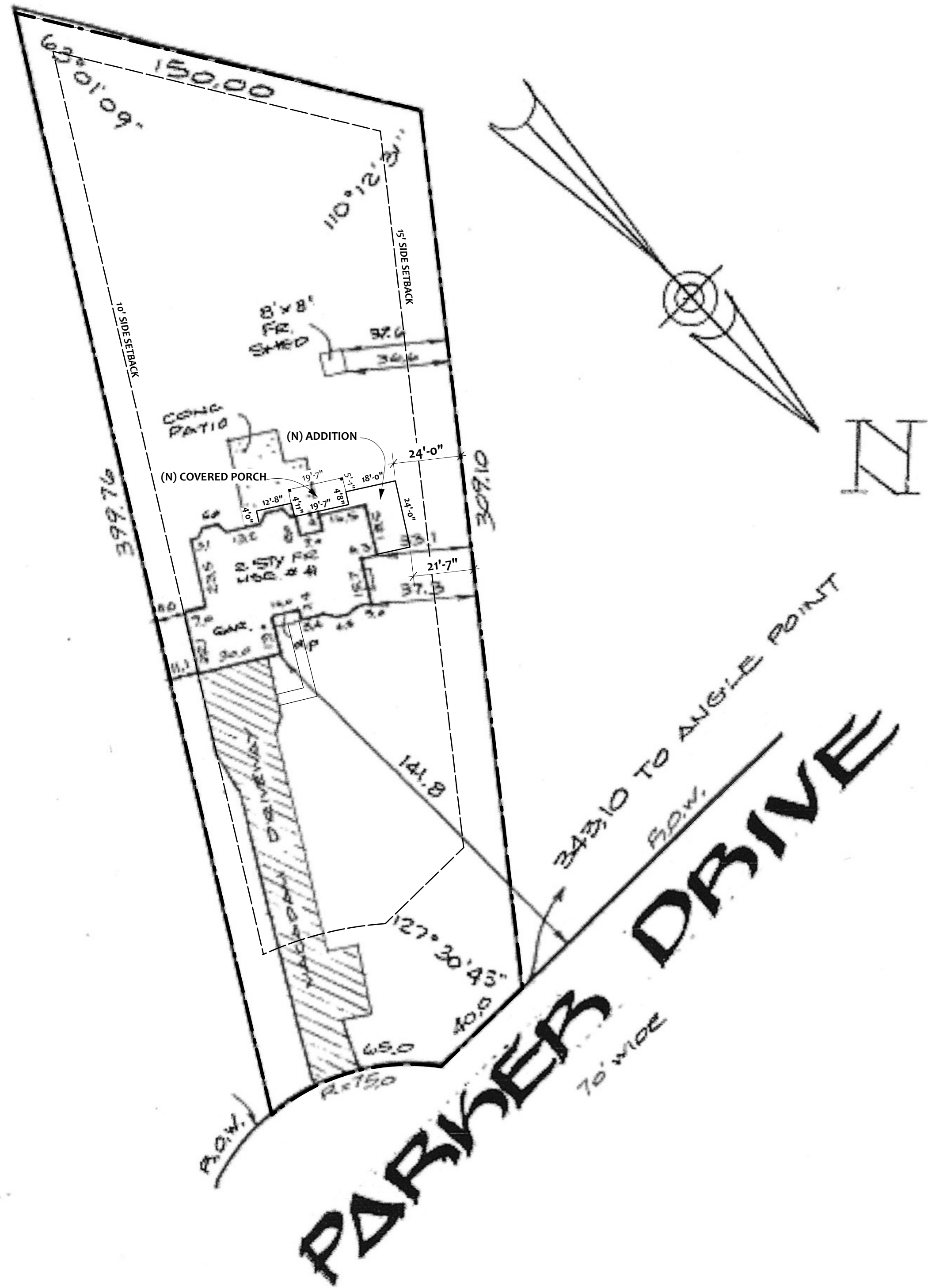


Town of Pittsford GIS

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"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law."



James M. Leoni
JAMES M. LEONI N.Y.S.P.L.S. 49225
SUITE 390 A-1 COUNTRY CLUB ROAD
EAST ROCHESTER, N.Y. 14445

CERTIFIED TO:

1. HSBC MORTGAGE CORPORATION
(USA) ITS SUCCESSORS AND/OR ASSIGNS
2. MONROE TITLE INSURANCE COMPANY
3. ANDREW ROBERTS AND SHERYL ROBERTS
4. CREARY AND CREARY
5. PAUL WHITTAKER BURBANK, ESQ.

32. Contractor to maintain quality and cleanliness of vegetation and grounds throughout construction. Contractor to clean up job site at the end of every working day, isolate construction area from other interior living space, and minimize dust as best as possible.

2,821 S.F. Total Proposed Livable Floor Area

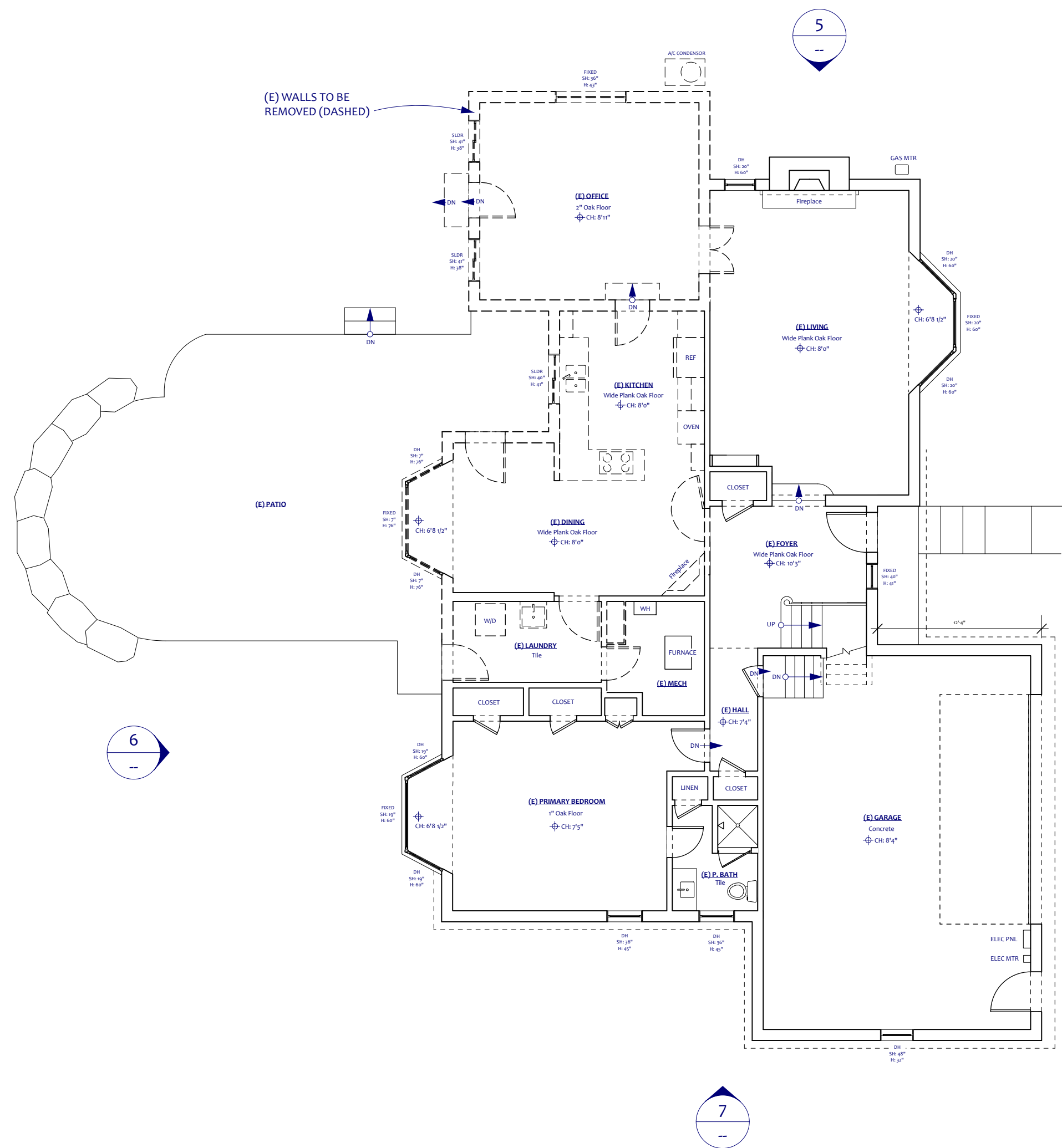
(N) = NEW
(E) = EXISTING
(R) = REPLACE EXISTING
PL = PROPERTY LINE
TYP. = TYPICAL
S.S.D. = SEE STRUCTURAL DRAWINGS
V.I.F. = VERIFY IN FIELD
V.N.V. = VERIFY WITH OWNER
T.B.D. = TO BE DETERMINED
G.W.B. = GYPSUM WALL BOARD
F.O.S. = FACE OF STUD
F.O.F. = FACE OF FINISH
R. = ROUGH SAWN
RWL = RAIN WATER LEADER
PTCR = POINT COUNTER
O.C. = ON CENTER
F.F. = FINISHED FLOOR
A.F.F. = ABOVE FINISHED FLOOR
FG = FINISHED GRADE
HT = HEAVY TRIM
CANT. = CANTILEVERED
STD. = STANDARD
PL = PLATE
THR = THICK
VERT = VERTICAL
CMU = CONCRETE MASONRY UNIT
SH = SILL HEIGHT
HH = HEAD HEIGHT
CH = CEILING HEIGHT
WH = WALL HEIGHT
EXT. = EXTERIOR
TBD = TO BE DETERMINED
H.F. = HEM FIRM
KF = INSULATED CONCRETE FORMS
U.N.C. = UNLESS OTHERWISE NOTED
STL = STEEL
COL. = COLUMN
CONC. = CONCRETE
W/ = WITH
W/O = WITHOUT
W/ = WITHIN
EA. = EACH
T.O.B. = TOP OF BEAM
REQ'D = REQUIRED
MAN.U. = MANUFACTURER
CONN. = CONNECTOR
DIA. = DIAMETER
FTG. = FOOTING
MIN = MINIMUM
MAX = MAXIMUM

314 Hollywood Avenue
Rochester, NY 14618
(ph) 585.242.0501
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www.9x30.com

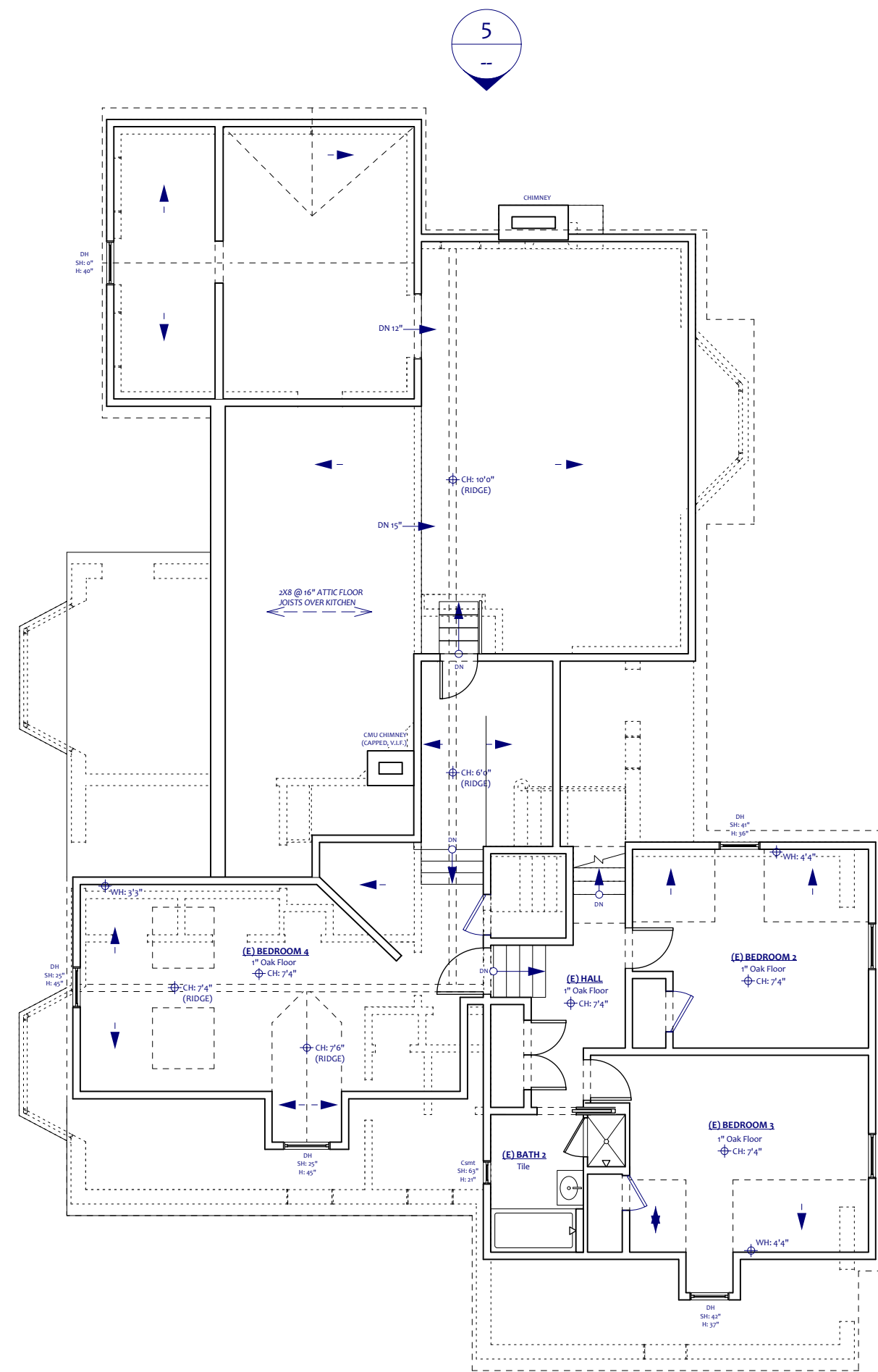
ROBERTS RESIDENCE
41 PARKER DRIVE
PITTSFORD, NY 14534

SITE PLAN & PROJECT INFORMATION

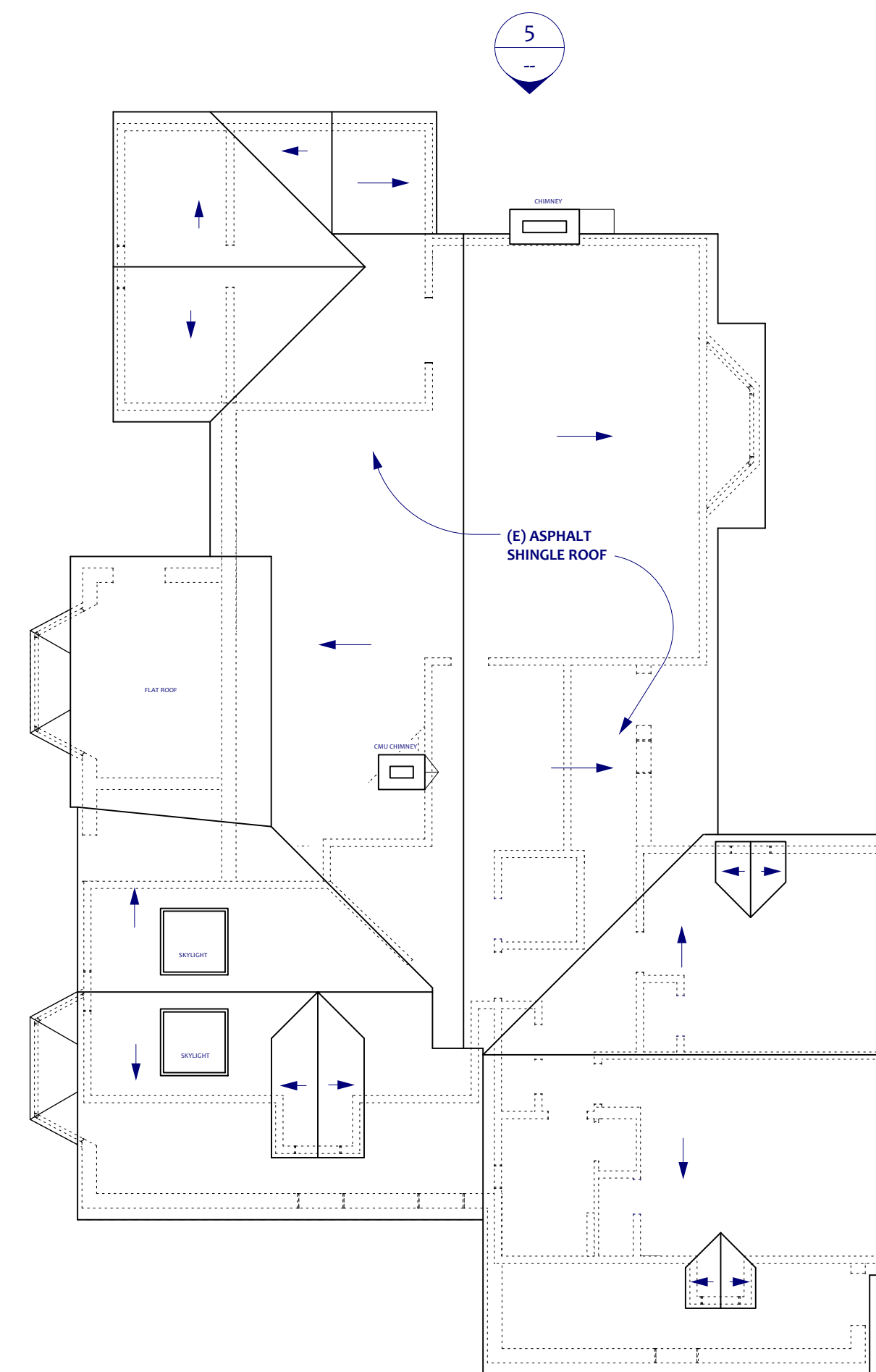
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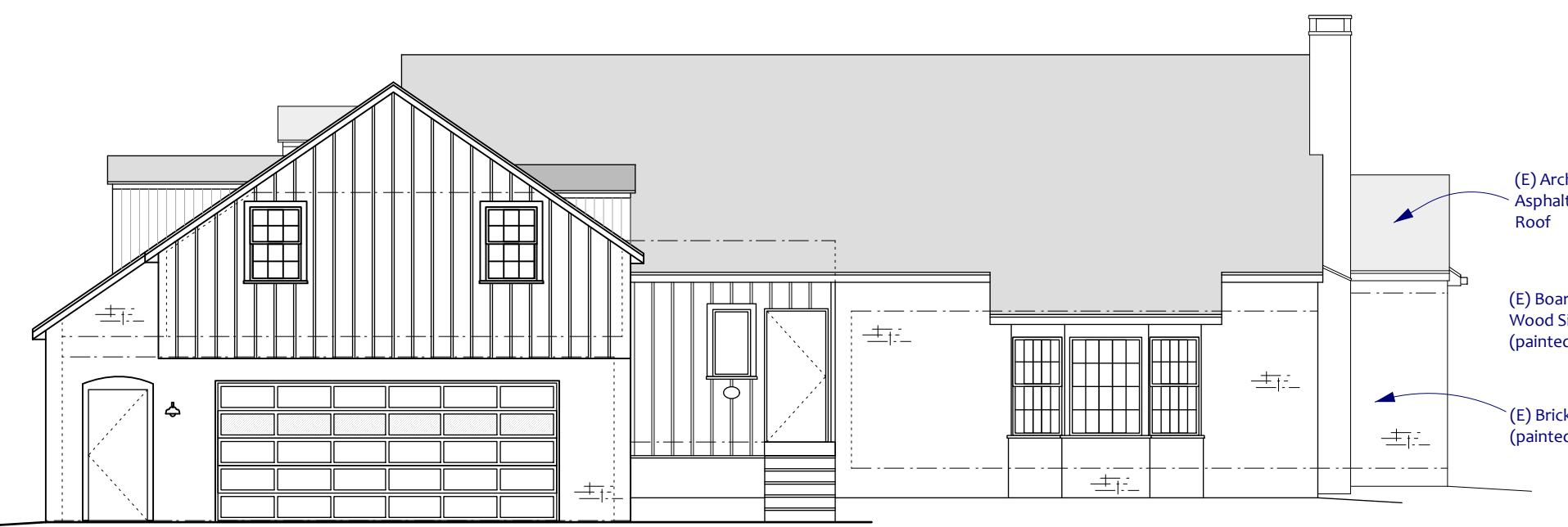
1 EXISTING FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



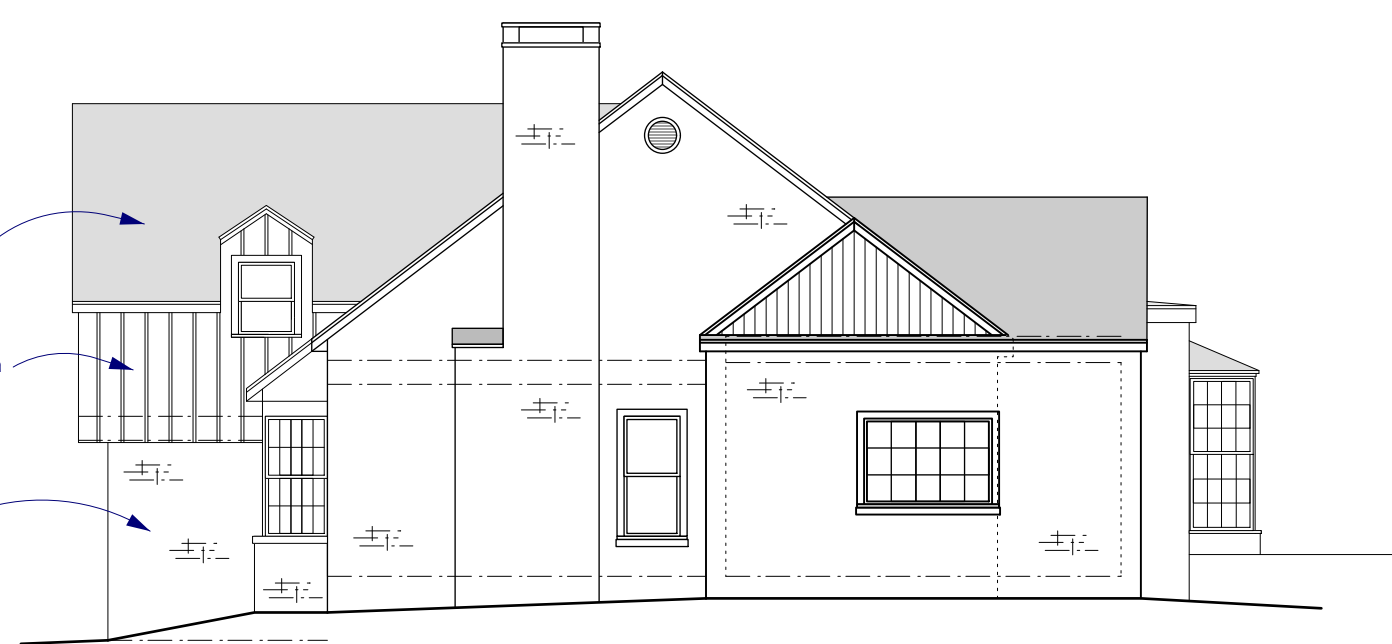
2 EXISTING SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



3 EXISTING ROOF PLAN
Scale: 1/8" = 1'-0"



4 EXISTING NORTH (FRONT) ELEVATION
Scale: 1/8" = 1'-0"



5 EXISTING WEST (SIDE) ELEVATION
Scale: 1/8" = 1'-0"



6 EXISTING SOUTH (REAR) ELEVATION
Scale: 1/8" = 1'-0"



7 EXISTING EAST (SIDE) ELEVATION
Scale: 1/8" = 1'-0"



VIEW OF FRONT (FROM DRIVEWAY)



VIEW OF FRONT (FROM FRONT YARD)



VIEW OF REAR (FROM BACKYARD)



VIEW OF REAR (FROM BACKYARD)



VIEW OF WEST SIDE (FROM SIDE YARD)



VIEW OF REAR & EAST SIDE (FROM BACKYARD)



VIEW OF EAST SIDE (FROM SIDE YARD)

8 SITE PHOTOGRAPHS

REVISIONS



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ROBERTS RESIDENCE
41 PARKER DRIVE
PITTSFORD, NY 14534

EXISTING PLANS &
ELEVATIONS
SITE PHOTOGRAPHS

DATE: 9.2.25

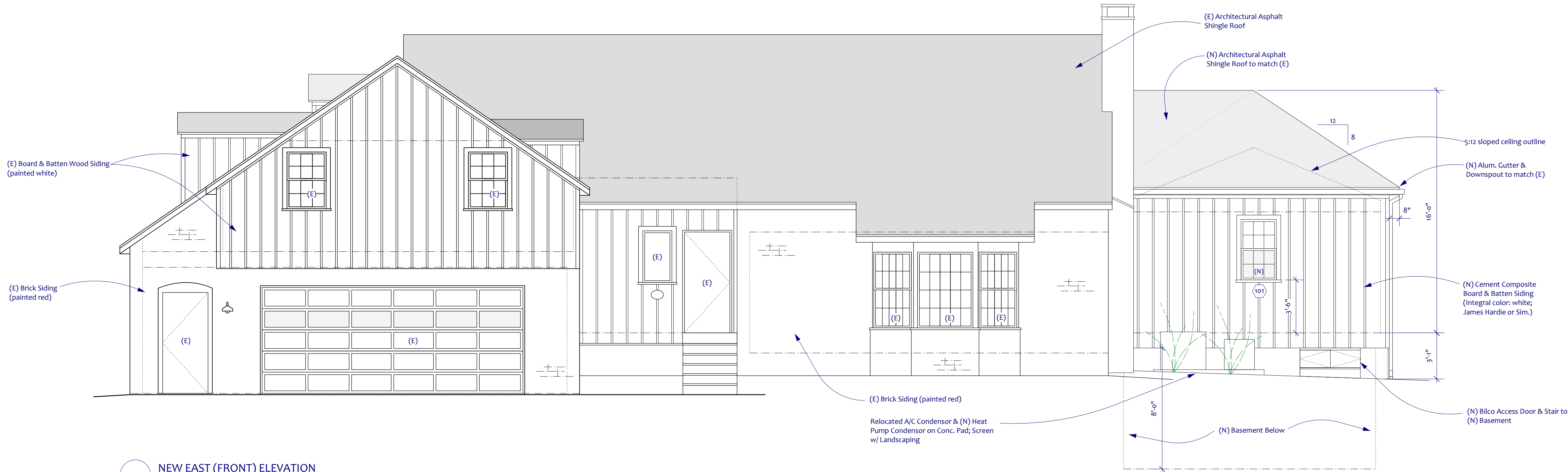
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DRAWN BY: AEC

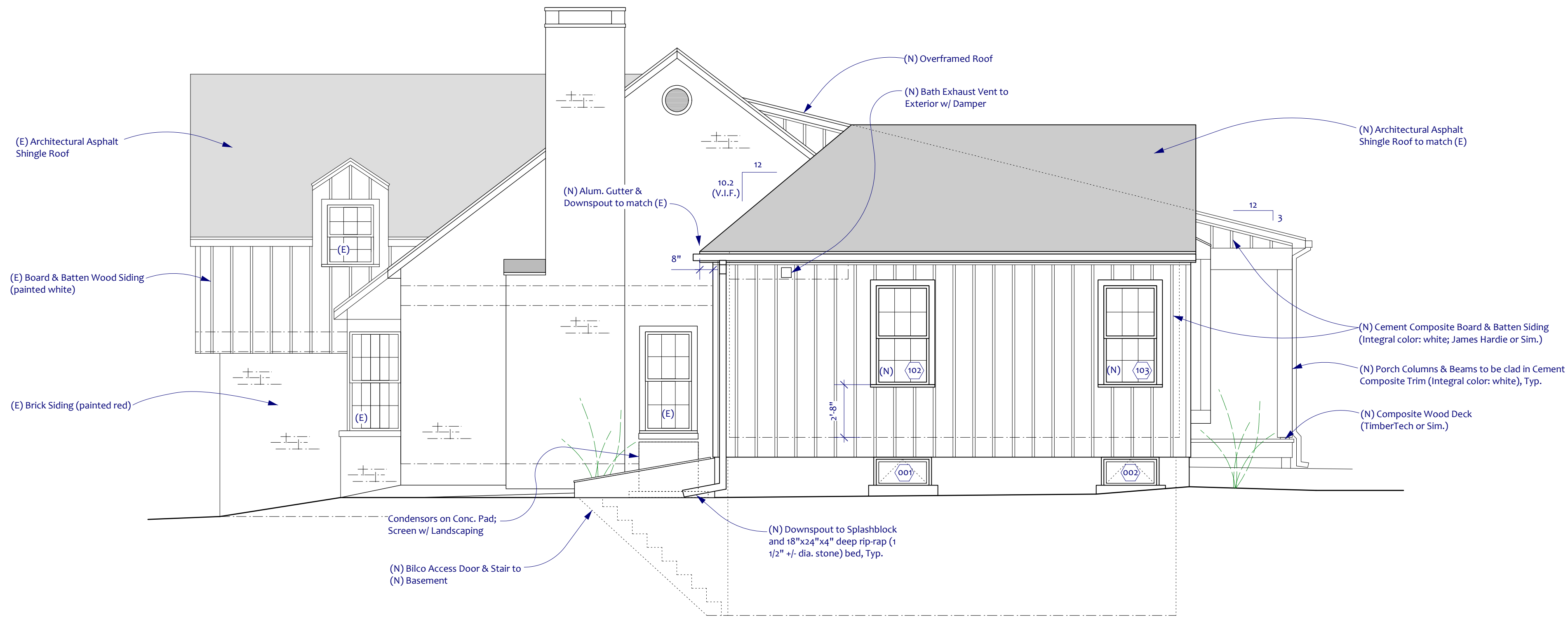
FOR BUILDING PERMIT

ROBERTS

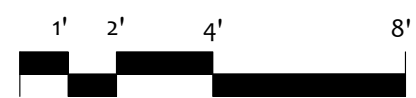
A1.0



1 NEW EAST (FRONT) ELEVATION
Scale: 1/4" = 1'-0"



2 NEW NORTH (SIDE) ELEVATION
Scale: 1/4" = 1'-0"



REVISIONS



SIGNED: 9.2.25
LIC. EXP: 7-31-28

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w w w . 9 x 3 0 . c o m

ROBERTS RESIDENCE
41 PARKER DRIVE
PITTSFORD, NY 14534

NEW EAST & NORTH
ELEVATIONS

DATE: 9.2.25

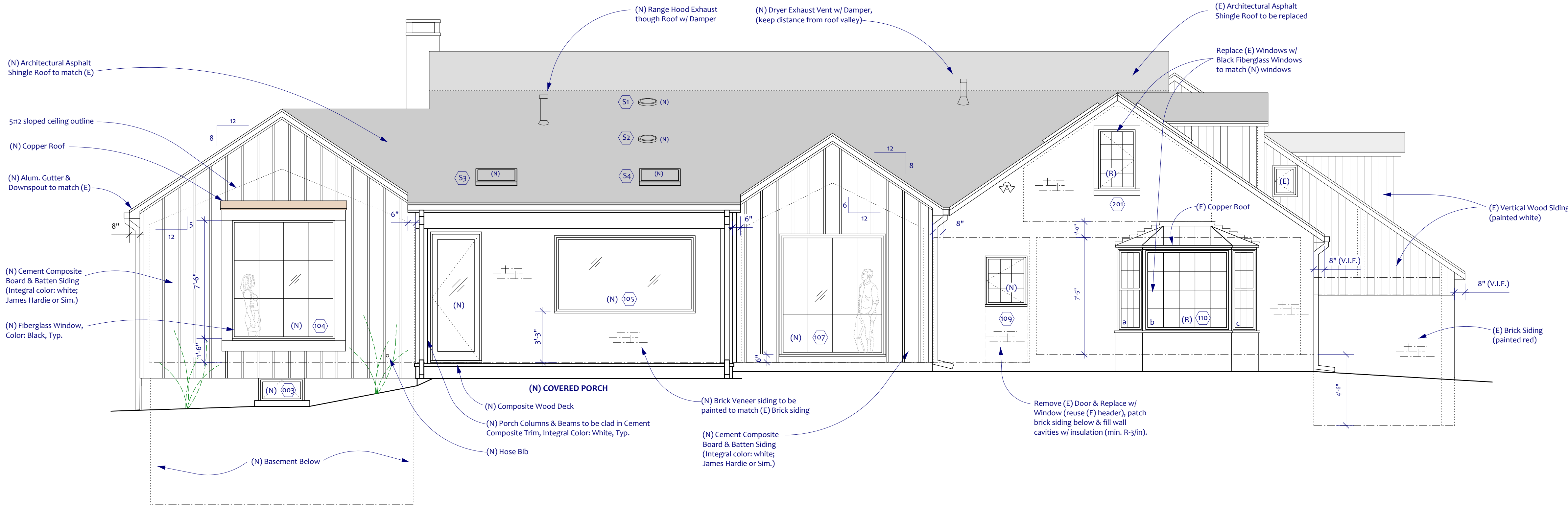
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DRAWN BY: AEC

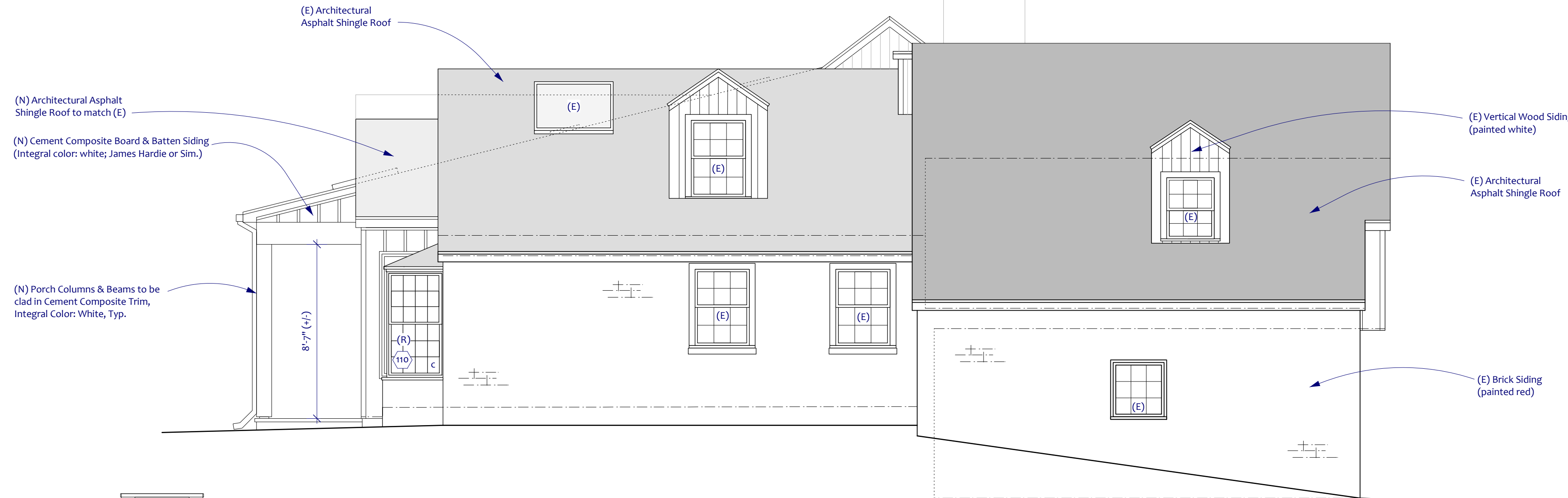
FOR BUILDING PERMIT

ROBERTS

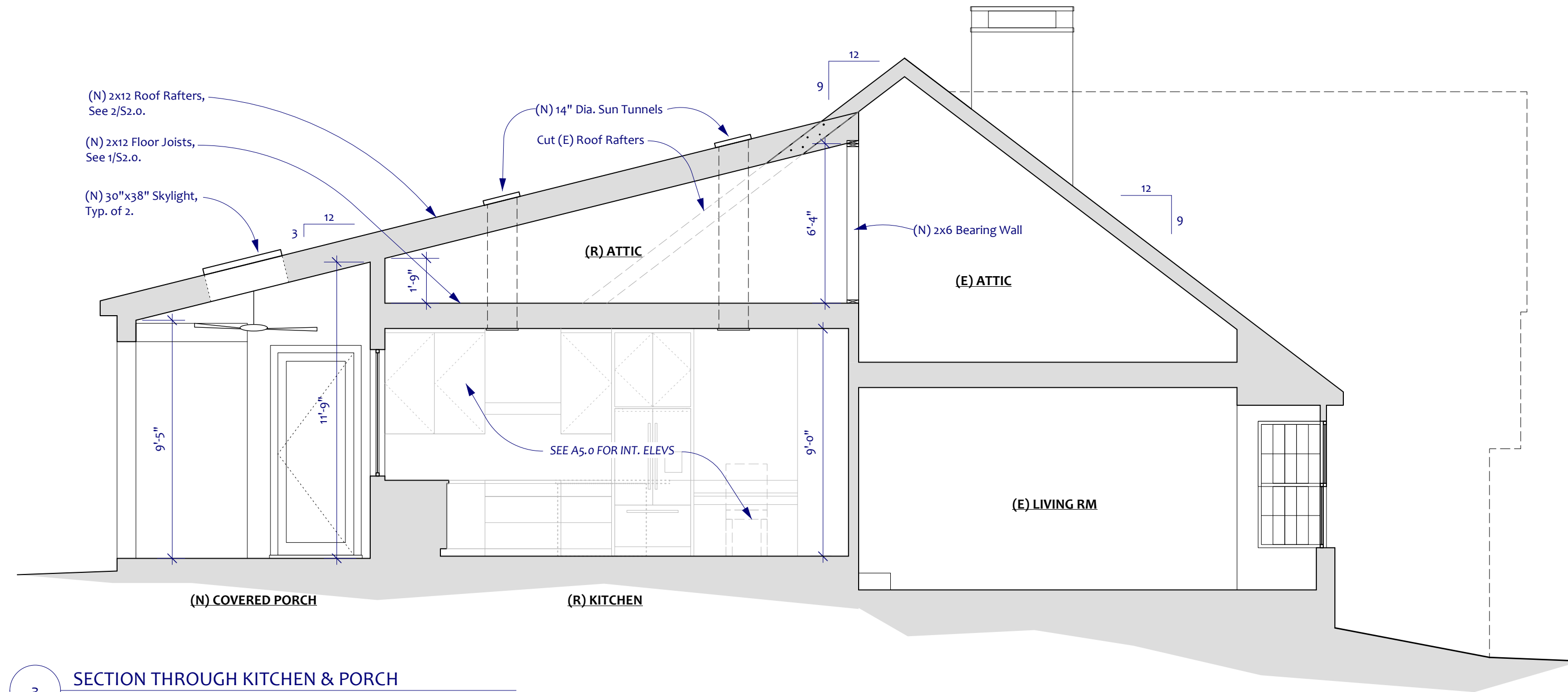
A3.0



1 NEW WEST (REAR) ELEVATION
Scale: 1/4" = 1'-0"



2 NEW SOUTH (SIDE) ELEVATION
Scale: 1/4" = 1'-0"



3 SECTION THROUGH KITCHEN & PORCH
Scale: 1/4" = 1'-0"



REVISIONS



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ARCHITECTURE
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Rochester, NY 14618
(p h) 5 8 5 . 2 4 2 . 0 5 0 1
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w w w . 9 x 3 0 . c o m

ROBERTS RESIDENCE
41 PARKER DRIVE
PITTSFORD, NY 14534

NEW WEST & SOUTH
ELEVATIONS
BUILDING SECTION

DATE: 9.2.25
SCALE: AS INDICATED
DRAWN BY: AEC
FOR BUILDING PERMIT

ROBERTS

A3.1

NOTE: R-49 BATT INSULATION W/ 1" FOAM BAFFLES MAY BE USED AS VALUE ENGINEERED ALTERNATIVE TO CLOSED CELL SPRAY FOAM, IF APPROVED BY OWNER.

ROOF ASSEMBLY (TYP., U.O.N.):
ARCHITECTURAL ASPHALT SHINGLE ROOFING TO MATCH (E), OVER 30# BLDG PAPER (ICE & WATER SHIELD AT ALL EAVES & VALLEYS TO CODES), OVER 1/2" CDX PLY, OVER ROOF FRAMING (SEE S2.0), WITH SIMPSON H2.5 HURRICANE TIES @ END OF EA. TRUSS AND R-49 INSULATION (MIN.) OVER 1/2" G.W.B.

WALL ASSEMBLY:
CEMENT COMPOSITE BOARD & BATTEN SIDING, OVER 15# BLDG PAPER OR HOUSEWRAP (LAPPED AND TAPED), OVER 1/2" CDX PLY OR OSB, OVER 2X6 @ 16" O.C. WITH R-21 BATT INSULATION (R-20 MIN.) OVER 1/2" G.W.B.

CLOSED CELL SPRAY FOAM (R-30 EQUIV. MIN.)
VALUE ENGINEERED ALTERNATIVE: SPRAY FOAM ALONG RIM JOIST & USE R-30 BATT BETWEEN JOISTS, IF APPROVED BY OWNER.

2X6 P.T. SILL PLATE W/ FIBER SILL SEALER
5/8" DIA. A307 ANCHOR BOLTS, 12" LONG, W/ 3" HOOK @ 4'-0" O.C., AND WITHIN 12" MAX. OF EA. END.

3/8" MIN. PORTLAND CEMENT PARGING
W/ BITUMINOUS COATING TO CODE

SLOPED GRADE OR PATIO
(2% FOR 10' MIN.)

13 COURSE NOM. 8" CMU FOUNDATION
WALL, FULLY GROUTED

#6 VERT. BARS @ 24" O.C., FILL CORES SOLID.
W/ 3000 PSI GROUT FOR FULL HEIGHT.

DRAIN BOARD OVER AMES "BLUEMAX" WATERPROOFING,
CONTRACTOR TO FOLLOW MANUFACTURER'S INSTRUCTIONS
FOR BELOW GRADE WATERPROOF COATING

IMPORTED #1 & #2 WASHED STONE,
COMPACT TO 95% OF MODIFIED PROCTOR.
WRAP WITH MIRAFI FILTER FABRIC.

MORTAR CANT

#5 BAR DOWELS W/ 10"x38" LEGS
@ 24" O.C. (LOCATE IN SAME CORES AS VERT BARS)

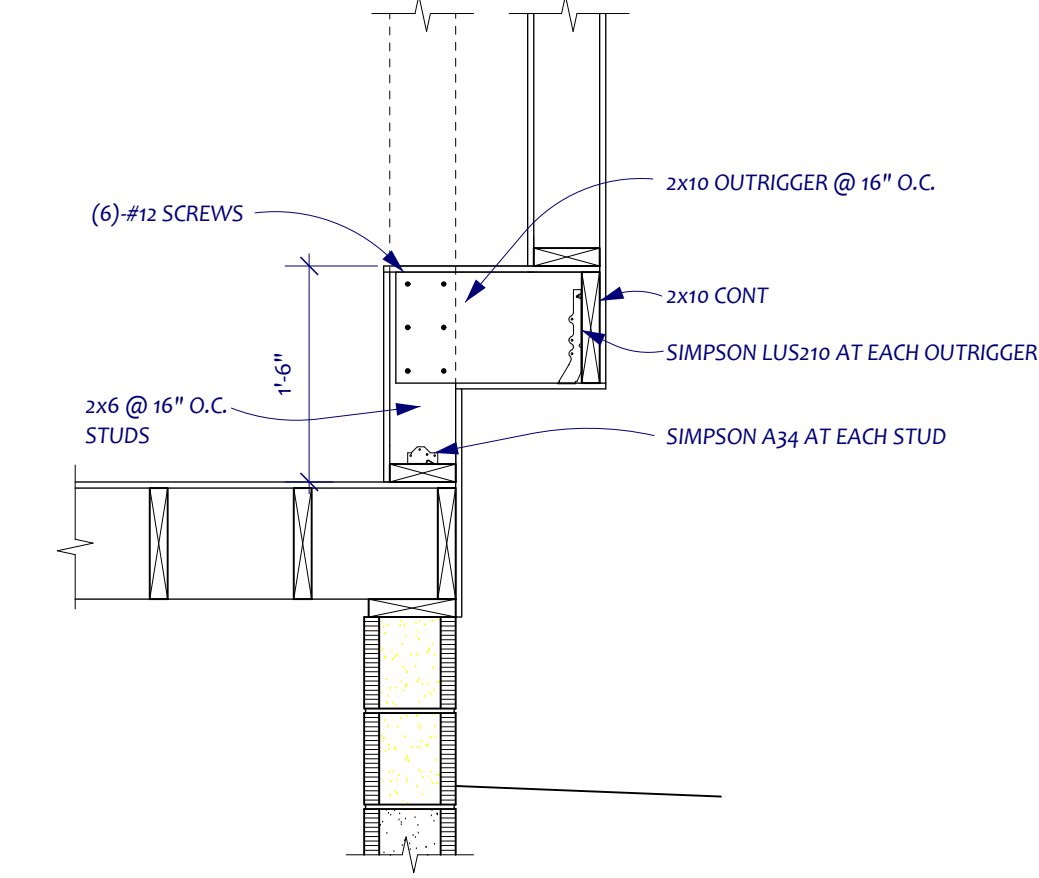
4" DIA. PERFORATED PVC DRAIN PIPE WRAPPED IN MIRAFI FILTER
FABRIC, DRAIN TO DAYLIGHT, TYP., SEE 1/S1.0

CONTINUOUS 24"(w) x12"(d) CONC. FOOTING (MIN. 48" BELOW
GRADE), W/ (2) #5 REBAR W/ MIN. 3" COVERAGE
CORNER BARS TO BE INSTALLED AT FOOTING CORNERS, TYP.
STEP FOOTING AS REQ'D TO MAINTAIN 4" BELOW FINISHED GRADE
(SEE 3/S1.0)

SUITABLE, UNDISTURBED, NATIVE SOILS

SECTION AT NEW BEDROOM & BASEMENT

Scale: 1/2" = 1'-0"



SECTION AT BEDROOM BAY WINDOW

Scale: 3/4" = 1'-0"

DECK-MOUNT SKYLIGHT (VELUX OR SIM.) TO
BE INSTALLED W/ MANUF. FLASHING KIT PER
MANUF. INSTALLATION INSTRUCTIONS, WITH
FRAMED OPENING PER 2/S2.0.

LOW-SLOPE ROOF ASSEMBLY:
ARCHITECTURAL ASPHALT SHINGLE ROOFING TO
MATCH (E), OVER ICE & WATER SHIELD (ENTIRE 3:12
PITCHED AREA), OVER 1/2" CDX PLY, OVER ROOF
FRAMING (SEE S2.0), WITH SIMPSON H2.5 HURRICANE
TIES @ END OF EA. RAFTER

CEMENT COMPOSITE BOARD & BATTEN SIDING

ALUM. DRIP EDGE

ALUM. GUTTER

CEMENT COMPOSITE VENTED SOFFIT
(JAMES HARDIE OR SIM.)

(3)- 1 3/4" x 11 1/4" BEAM CLAD IN CEMENT COMPOSITE
TRIM (JAMES HARDIE OR SIM.)

6X6 P.T. LSL POST CLAD IN 1X COMPOSITE TRIM
(JAMES HARDIE OR SIM.)

COMPOSITE DECKING (TIMBERTECH OR SIM.)

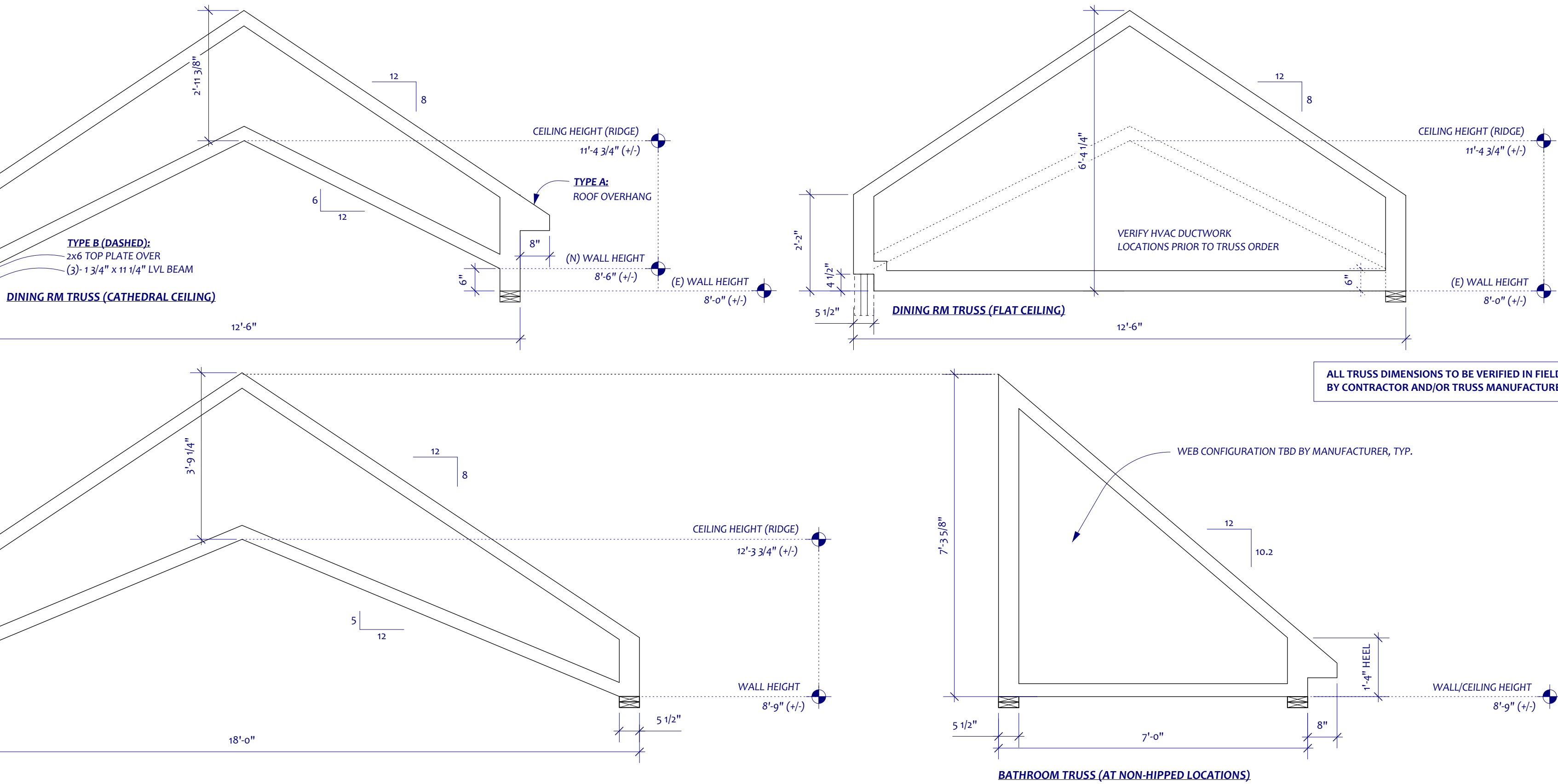
P.T. 2x10 JOISTS @ 16" O.C.

(3) 2x10 P.T. FLUSH BEAM

PIER FOOTING BEYOND, SEE 2/S1.0.

SECTION THROUGH KITCHEN & PORCH

Scale: 1/2" = 1'-0"



TRUSS DIAGRAMS

Scale: 1/2" = 1'-0"

R-49 CLOSED CELL SPRAY FOAM AT (N)
ATTIC ROOF RAFTERS, TYP.

(N) ATTIC FLOOR JOISTS, SEE 1/S2.0, W/
CLOSED CELL SPRAY FOAM (R-30 EQUIV.)
ALONG RIM JOIST.

(3)- 1 3/4"x11 1/4" HEADER

2X6 P.T. SILL PLATE W/ FIBER SILL SEALER
5/8" DIA. A307 ANCHOR BOLTS, 12" LONG, W/ 3" HOOK
@ 4'-0" O.C., AND WITHIN 12" MAX. OF EA. END.

R-10 RIGID INSULATION (THERMAL BREAK BETWEEN FOOTING & SLAB)

(N) HARDWOOD FLOORING, FOLLOW MANUF INSTALLATION
INSTRUCTIONS FOR OVER-SLAB INSTALLATION.

SLAB-ON-GRADE FLOOR, TYP.:
5" REINFORCED CONC. SLAB W/ 6X6 W2.9XW2.9 IN
UPPER 1/3 (1 1/4" DEEP CONTROL JOINTS
(GROUTED) 10-12" O.C. MAX. EA. WAY, SAWCUT
WITHIN 24 HRS.), OVER 6 MIL POLY (LAPPED 6"
MIN.), OVER GEOFOAM EPS 10 FOR 2" MIN., OVER
1-2" SAND, OVER 4" GRAVEL, OVER SUITABLE,
UNDISTURBED NATIVE SOILS.

(3)- #5 CONT. TOP & BOTTOM &
@ 12" O.C. BETWEEN

16" WIDE CONC. FOOTING
(MIN. 4'-0" BELOW FINISHED GRADE)

SUITABLE, UNDISTURBED, NATIVE SOILS

ALL TRUSS DIMENSIONS TO BE VERIFIED IN FIELD
BY CONTRACTOR AND/OR TRUSS MANUFACTURER.

WEB CONFIGURATION TBD BY MANUFACTURER, TYP.

BATHROOM TRUSS (AT NON-HIPPED LOCATIONS)

REVISIONS



SIGNED: 9.2.25
LIC. EXP: 7.31.28

It is a violation of New York State Education Law Article 165,
Section 2205 for any person, unless acting under the direction of
a licensed architect, professional engineer or land surveyor to
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alters this document is required to file to file their deed and the
notation "ALTERED BY" followed by their signature and the date
of such alteration, and a specific description of the alteration.

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PITTSFORD, NY 14534

SECTIONS & DETAILS
TRUSS DIAGRAMS

DATE: 9.2.25

SCALE: AS INDICATED

DRAWN BY: AEC

FOR BUILDING PERMIT

ROBERTS

A4.0





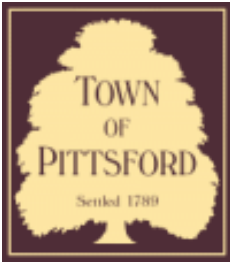












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA25-000002

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3419 Clover Street PITTSFORD, NY 14534

Tax ID Number: 177.03-2-26.1

Zoning District: RN Residential Neighborhood

Owner: Dutko, Frank E

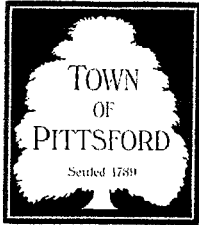
Applicant: Dutko, Frank E

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input checked="" type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, to construct a deck around an existing above-ground pool at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: September 11, 2025



TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 3419 Clover St.
2. Tax Account Number: 177-03-2-26.1
3. Applicant's Name: Frank Dutko and Sandy Plumb
Address: 3419 Clover St Phone: (585) 820-3144

Pittsford
City

NY
State

14534
Zip Code

E-mail: fed.who@gmail.com
4. Applicant's Interest in Property:
Owner: ☒ Lessee: ☐ Holding Purchase Offer: ☐
Other (explain): _____
5. Owner (if other than above): _____
Address: _____ Phone: _____

City

State

Zip Code

E-mail: _____

Has the Owner been contacted by the Applicant? Yes ☒ No ☐
6. Application prepared by: Frank Dutko
Address: 3419 Clover St Phone: (585) 820-3144

Pittsford
City

NY
State

14534
Zip Code

E-mail: fed.who@gmail.com
7. Project Design Professional (if Available): _____
Address: _____ Phone: _____

City

State

Zip Code

E-mail: _____

- If Yes, please explain:

- build a deck around existing above ground pool

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

the deck will be built behind an existing garage and berm. will not be seen from Clover St.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

NA

16. Additional materials submitted with this application *(if available)*:

☒ Parcel map

☐ Architectural elevations

☒ Photographs

☐ Architectural plans

☒ Other materials

Computer design plans

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Signature of applicant

Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes ☐ No ☐

If Yes, owner's signature: _____

Case # 03-01

TOWN OF PITTSFORD
APPLICATION FOR DESIGNATION OF LANDMARKS

-
1. Property Address: 3419 Clover Street
2. Tax Account Number: 177.03-2-26.1
3. Name of Present Owner: Frank Dutko & Sandra Plumb
Address: 3419 Clover Street Zip Code: 14534 Phone: 381-7600
Pittsford, NY
Applicant's
Interest in Property:
Owner: _____ Lessee: _____ Holding Option: _____
Other (explain) Town of Pittsford Historic Preservation Commission Member
4. Owner: (if other than above) _____
Address: _____ Zip Code: _____ Phone: _____
Has owner been contacted by applicant? Yes X No _____
5. Application prepared by: Patricia G. Place
Address: 145 West Jefferson Road, Pittsford Zip Code: 14534 Phone: 586-5718
6. Attorney: Richard T. Williams II
Address: 36 Bishops Court Zip Code: 14534 Phone: 716-381-9805
Pittsford, NY
7. Present use of property: Single Family Residence
Boarding Stable
8. Zoning District: AA Residential
9. STATEMENT OF SIGNIFICANCE: Explain why the property should be designated as a landmark. (Attach additional sheets if necessary).
- a. General statement on physical history (indicate sources of information).
This property is a part of one of the earliest farm developments in Monroe County. A print of the house and outbuildings, with cameos of John & Ann Reeve (Plate xcvi) appeared on page 236 of History of Monroe County, 1877.
(Attached)

- i. Original and subsequent owners (include dates if possible).
Abstract: April 1, 1852 - Orin & Clarissa Todd to William Reeve -
98 acres.
Abstract: April, 1855 - Eli & Sharon Patterson to John Reeve 30 acres.
February, 1857 Estate of William Reeve (died January 1857): leaves farm
to wife, Ann and seven children. Son, John apparently continued the farm,
purchasing 30 more acres in 1903 from William Brook. Will of John
Reeve, deceased December 1906 leaves farm of 167 acres to his wife,
Jane. April 1924 Jane Reeves sold to George & Ida Burns, Jane Reeves
deceased in August 1924. April 1944 Burns sold to Herbert Rodgers - 96
original acres and the 30 acres from Brook. In 1960 Rodgers sold to Isaac
Gordon 273 acres. In August 1965 - Will of Herbert Rodgers leaves to
wife, Marion 3419 Clover Street 1.94 acres and 3405 Clover Street 14
acres.
In August 1971 - Marion Rodgers to Gorman Burnett, 15.9 acres
In June 1984 - Gorman Burnett to Beatrice S. Clark 15.9 acres
In May 1994 - Marion Rodgers to James & Bernice Clark, 2,365 acres
In June 2000 - Bernice Clark to Frank Dutko & Sandra Plumb
- ii. Date of construction: Ca. 1850
Architect: Unknown
Builder: Unknown
- iii. Facts/Information on original plan and construction of building(s):
From the print of the 1870's it would seem that the farmhouse originally
had a similar footprint. Many of the outbuildings appear to also be early.
- iv. Facts/Information on know alterations and additions, with dates and
architects or builders:

1940's

At some time, possibly when the house was modified for an apartment, in
the early 1940's, the roof was raised on the north front to create a second
story. Perhaps at that time the north (woodshed) was enlarged for a
kitchen. At some time a building was added along the drive to the back of
the house to accommodate a 1-story garage/shed, later used as an
apartment.

b. Statement on history (indicate sources of information):

- i. Historical events associated with the property and dates:
None known.
- ii. Well-known persons associated with the property:
Herbert Rodgers (1944) (Son-in-law says he acquired property in late 20's
-grew to 300+ acres) was an urban and statewide entrepreneur.

c. Statement on architecture:

i. Architectural style or period:

Vernacular country style farmhouse.

ii. Architectural interest and merit:

Not listed on the Bero Survey of 1971 but is important as an early farm complex.

ii. Current exterior condition (describe construction, finishes and state of repair):

Fair, new owners intend to repair house and outbuildings.

d. Statement on site and surroundings:

i. Outbuildings (list existing outbuildings and describe significance and state of repair):

There are two large 1860's Dutch Gambrel barns, an old milk house and an attached building (garage/apartment). The state of repair is questionable and work needs to be done. However, the buildings are in use and gradually being worked on. A New York State grant has been applied for.

ii. Landscape (describe features and conditions including size and type of trees.)

There are many large old trees – mainly maples, oaks and pines. There is a well fenced barnyard and pasture, housing several horses. The house is well sited on the lot.

I CERTIFY THAT THE INFORMATION SUPPLIED ON THIS APPLICATION IS COMPLETE AND ACCURATE.

Patricia J. Place
Signature of Applicant

July 19, 2001

Date

CONCURRENCE:

Does current owner concur in this application?



Yes



No

If yes, owner's signature

Frank E. Deet



BUILDING-STRUCTURE INVENTORY FORM

DIVISION FOR HISTORIC PRESERVATION
NEW YORK STATE PARKS AND RECREATION
ALBANY, NEW YORK (518) 474-0479

FOR OFFICE USE ONLY

UNIQUE SITE NO. _____
QUAD _____
SERIES _____
NEG. NO. _____

YOUR NAME: Place - France DATE: June, 1980

YOUR ADDRESS: 145 W. Jefferson Road TELEPHONE: 716-586-5718

ORGANIZATION (if any): Historic Pittsford

IDENTIFICATION

1. BUILDING NAME(S): _____
2. COUNTY: Monroe TOWN/CITY: Pittsford VILLAGE: _____
3. STREET LOCATION: 3419 Clover Street
4. OWNERSHIP: a. public ☐ b. private ☒
5. PRESENT OWNER: Dr. G.D. Burnett ADDRESS: Same, but lives in barn
6. USE: Original: Farmhouse Present: Rental
7. ACCESSIBILITY TO PUBLIC: Exterior visible from public road: Yes ☒ No ☐
Interior accessible: Explain _____

DESCRIPTION

8. BUILDING MATERIAL: a. clapboard ☒ b. stone ☐ c. brick ☐ d. board and batten ☐
e. cobblestone ☐ f. shingles ☐ g. stucco ☐ other: _____
9. STRUCTURAL SYSTEM: a. wood frame with interlocking joints ☐
(if known) b. wood frame with light members ☐
c. masonry load bearing walls ☐
d. metal (explain) _____
e. other _____
10. CONDITION: a. excellent ☒ b. good ☐ c. fair ☐ d. deteriorated ☐
11. INTEGRITY: a. original site ☒ b. moved ☐ if so, when? _____
c. list major alterations and dates (if known):
Roof of wing lifted about 1940; remodeled inside to accommodate two families, 1940s.

12. PHOTO:

13. MAP:



3419 CLOVER ST.

14. THREATS TO BUILDING: a. none known ☒ b. zoning ☐ c. roads ☐
 d. developers ☐ e. deterioration ☐
 f. other: _____
15. RELATED OUTBUILDINGS AND PROPERTY:
 2 a. barn ☒ b. carriage house ☐ c. garage ☐
 d. privy ☐ e. shed ☒ f. greenhouse ☐
 g. shop ☐ h. gardens ☐
 i. landscape features: _____
 j. other: _____
16. SURROUNDINGS OF THE BUILDING (check more than one if necessary):
 a. open land ☐ b. woodland ☐
 c. scattered buildings ☒
 d. densely built-up ☐ e. commercial ☐
 f. industrial ☐ g. residential ☐
 h. other: _____

17. INTERRELATIONSHIP OF BUILDING AND SURROUNDINGS:
 (Indicate if building or structure is in an historic district)

Mid-19th Century rural house on old road.

18. OTHER NOTABLE FEATURES OF BUILDING AND SITE (including interior features if known):
 L-shaped house; 2-story main block; 1½-story wing; porch
 in angle of "L"; 3 bays, square posts, with capitals and plinths;
 small wing at far right with bell cupola.

SIGNIFICANCE

19. DATE OF INITIAL CONSTRUCTION: 1850 ?

ARCHITECT: _____

BUILDER: _____

20. HISTORICAL AND ARCHITECTURAL IMPORTANCE:

Preserves atmosphere of mid-19th C. despite alterations.

Picture of house p. 236 of History of Monroe County, 1877.

This house has been a 2-family for years; Burnetts now live in barn.

1924 - Mrs. John Reeves - 162 acres - 3 barns

1902 - John Reeve "Overlook Farm" - 166 acres (2 houses)

1882 - John Reeves - 270 acres

1872 - J. Reeves

1858 - J. & T. Reeves

21. SOURCES: Owner

22. THEME:

Agricultural: Farmhouse



JANUARY 1989

PITTSFORD BARNs

NAME : Cloverwood (Rogers) Barns

LOCATION: 3419 Clover St.

TYPE; Two Large Dutch Gambrel basement barns in ell

BUILT: Late 1800's

REMARKS: Good condition

FUTURE: Good as long as in hands of present owner

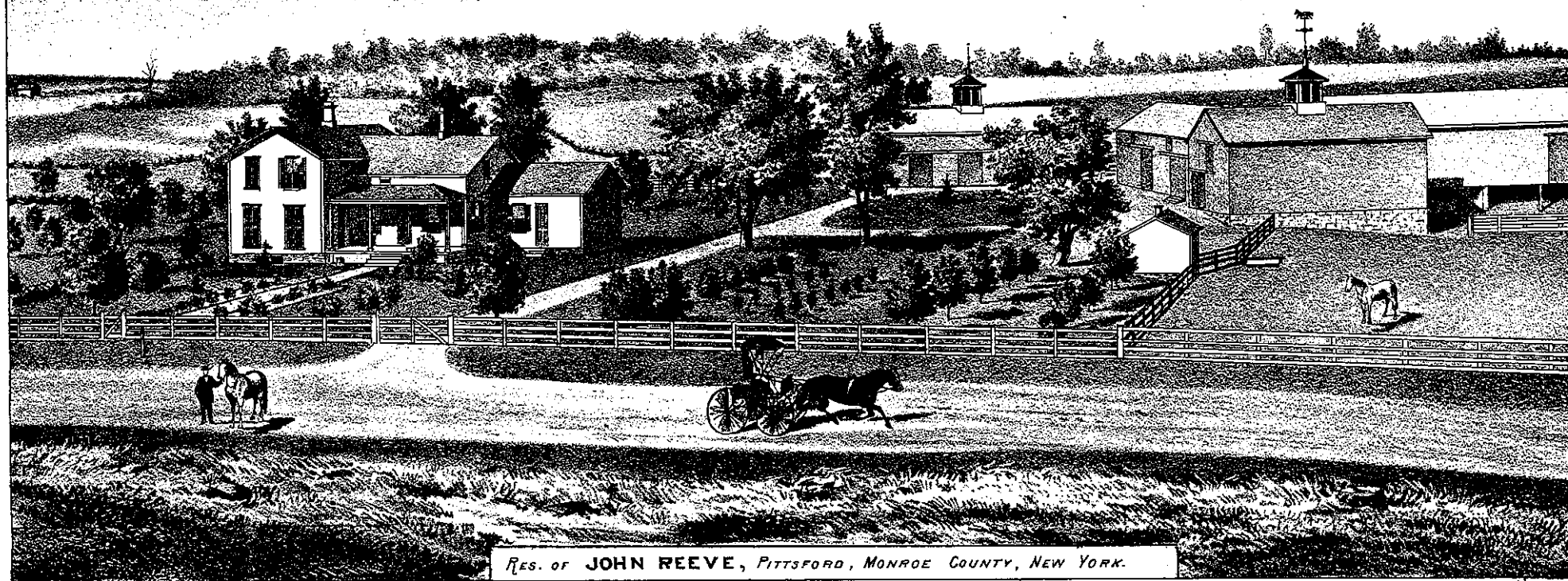
PRESENT OWNER: Mrs. Herbert Rogers



JOHN REEVE



MRS. JOHN REEVE



RES. OF JOHN REEVE, PITTSFORD, MONROE COUNTY, NEW YORK.

JEAN R. FRANCE
ARCHITECTURAL HISTORIAN
PRESERVATION CONSULTANT

25 HARDWOOD HILL ROAD
PITTSFORD, NY 14534

House for J. A. McBride
East Avenue, Pittsford, NY [3465]

Claude Fayette Bragdon, architect, 1908

From Bragdon's diary:

February 7, 1908 "Mr. McBride came in to see about a house"
February 8, 1908 "Mr. and Mrs. McBride to house to look it over"
February 9, 1908 "Started McBride sketch"
February 13, 1908 "started McBride elevation sketch"
February 14, 1908 "made colored elevation of McBride house"
February 17, 1908 "McB floor plan"
March 14, 1908 "...to look at his lot beyond country Club. Fine site
for a house"
March 25, 1908 "McBride wants larger dining room"

Plans and elevations of the house are on file in the Bragdon archive at the University of Rochester. Some specifications are also on file.

Of particular interest are garden plans by Alling de Forest (1911), sketches and plans for a dovecote, elevations for garden gate and veranda lattice, plans and elevations for garage including notation "Packard Six 16'0" over all", alterations to rear porch.

Directory search reveals previous address J. A. McBride as 190 Kenilworth Terrace; business "tailors' trimmings, Cox Building."

Jean R. France
Architectural Historian
University of Rochester

View looking west



View looking east



View looking south



View looking west

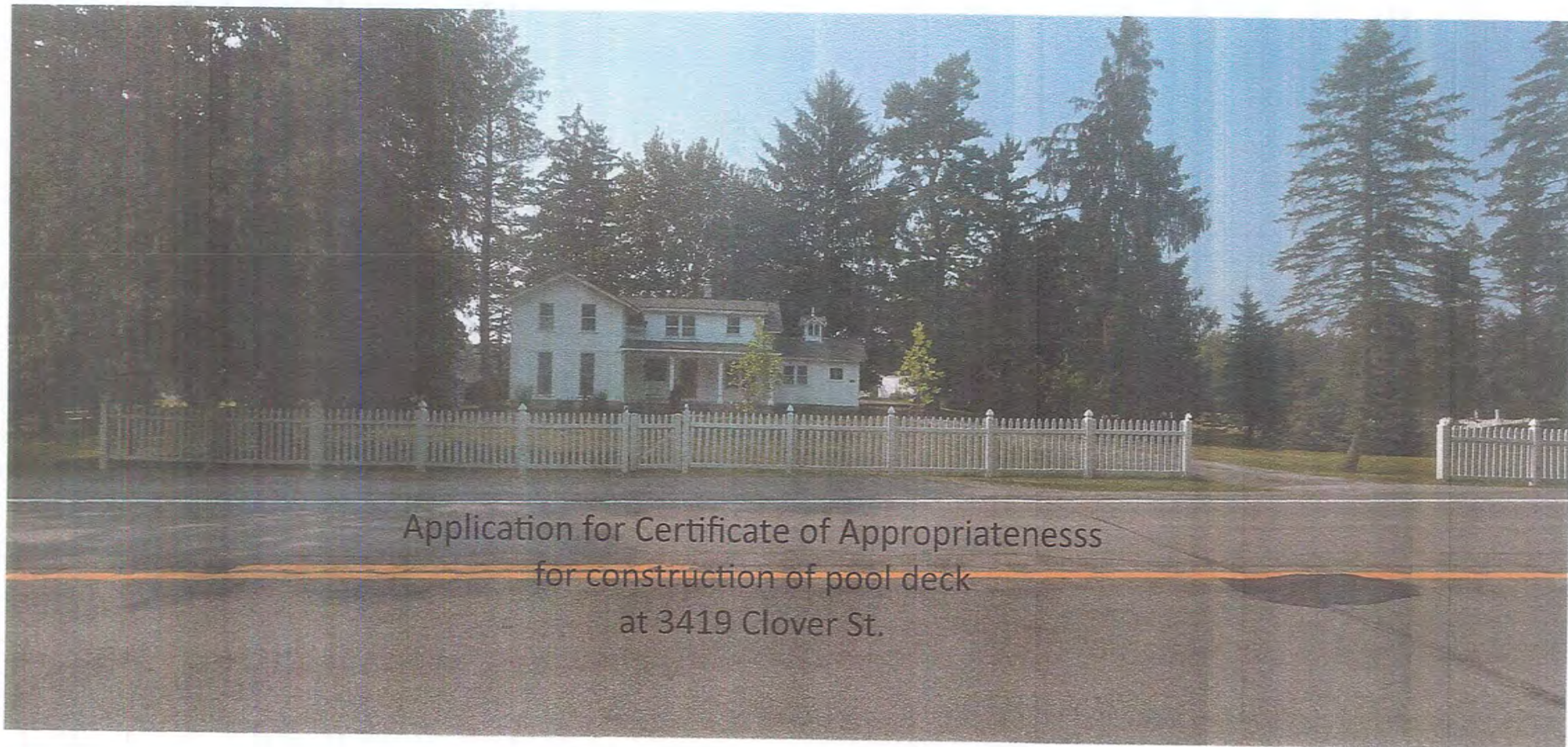


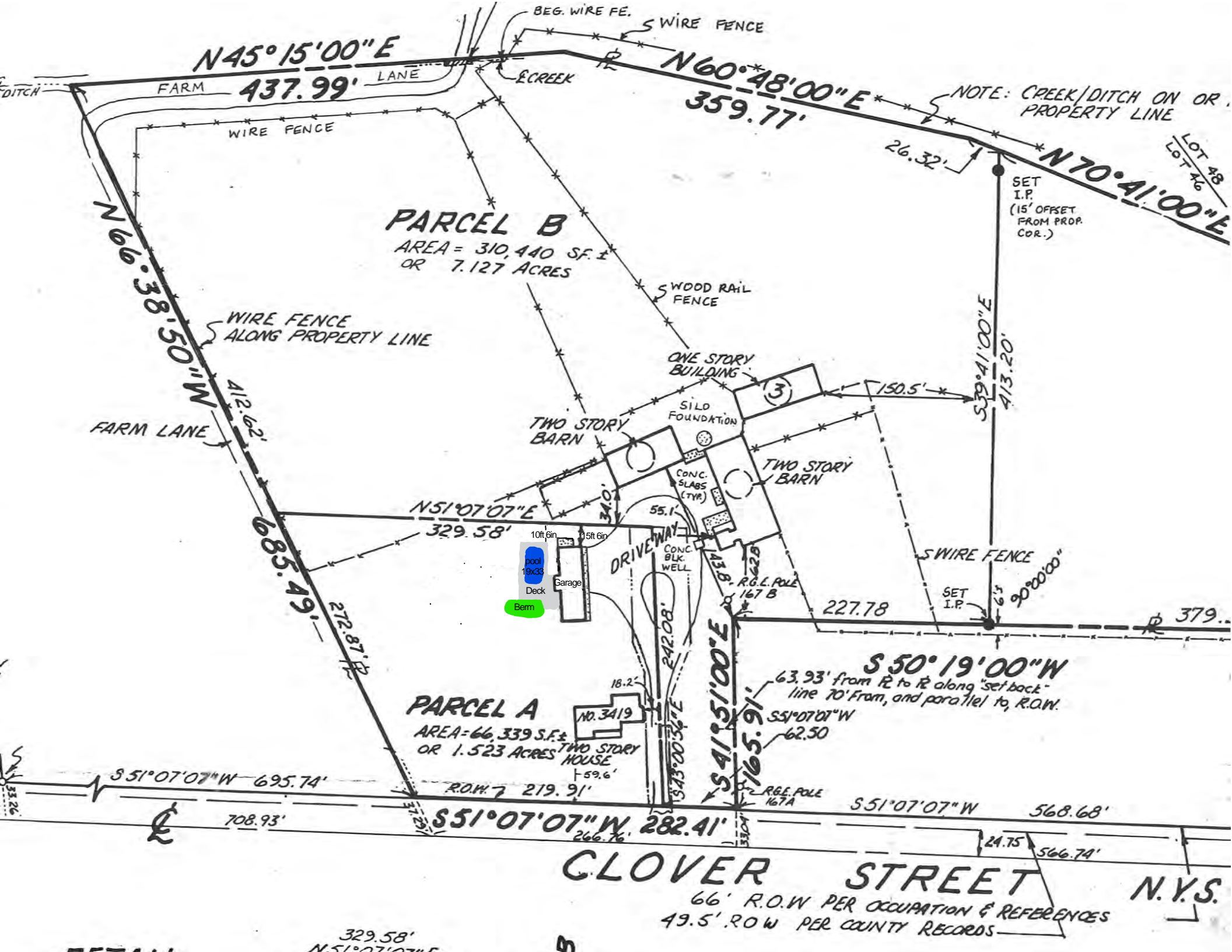
View looking north



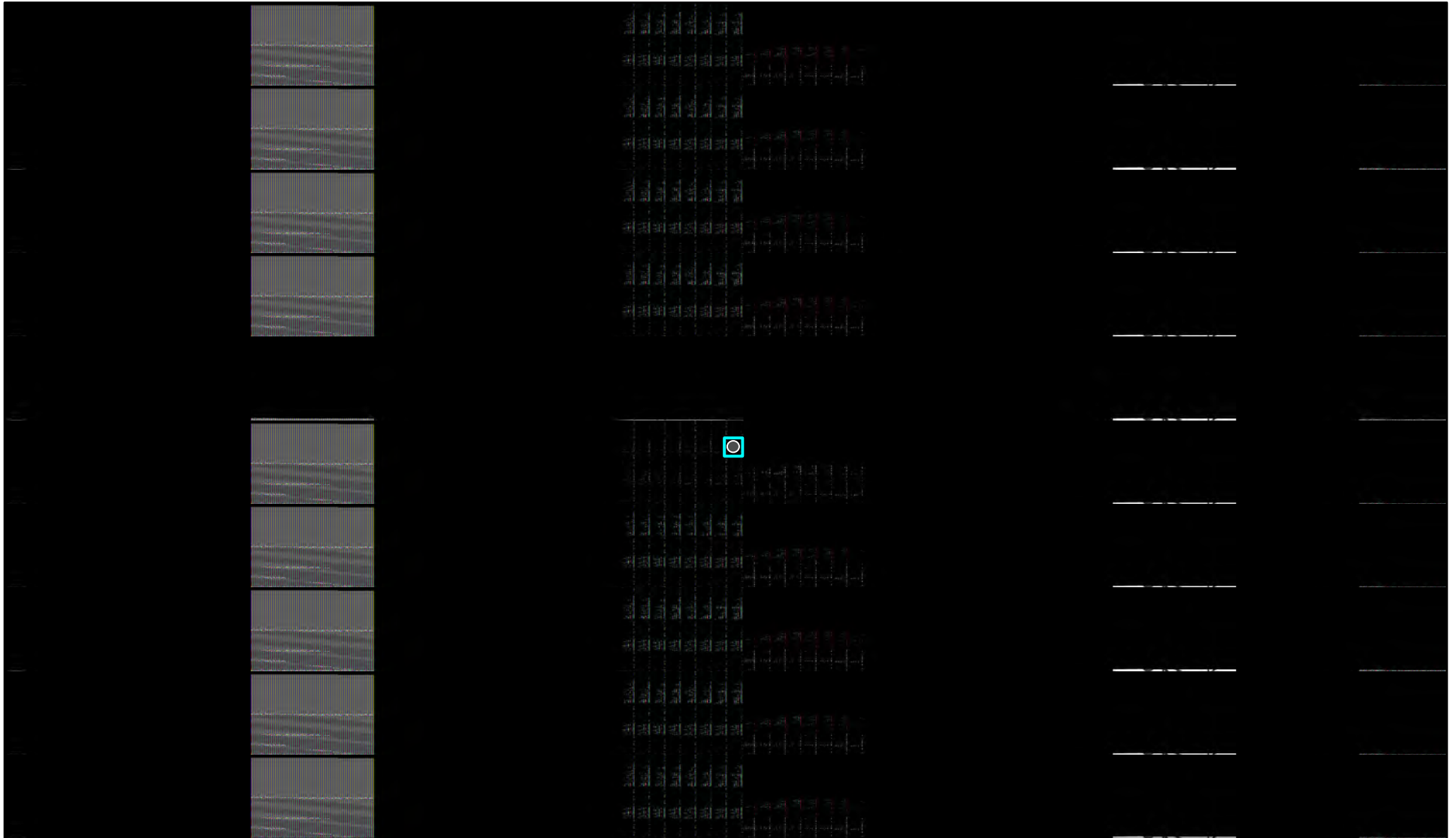
Arial view



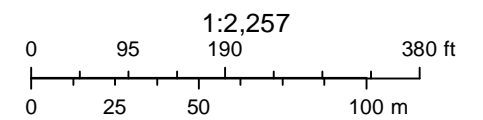




RN Residential Neighborhood Zoning



Printed August 12, 2025



Town of Pittsford GIS

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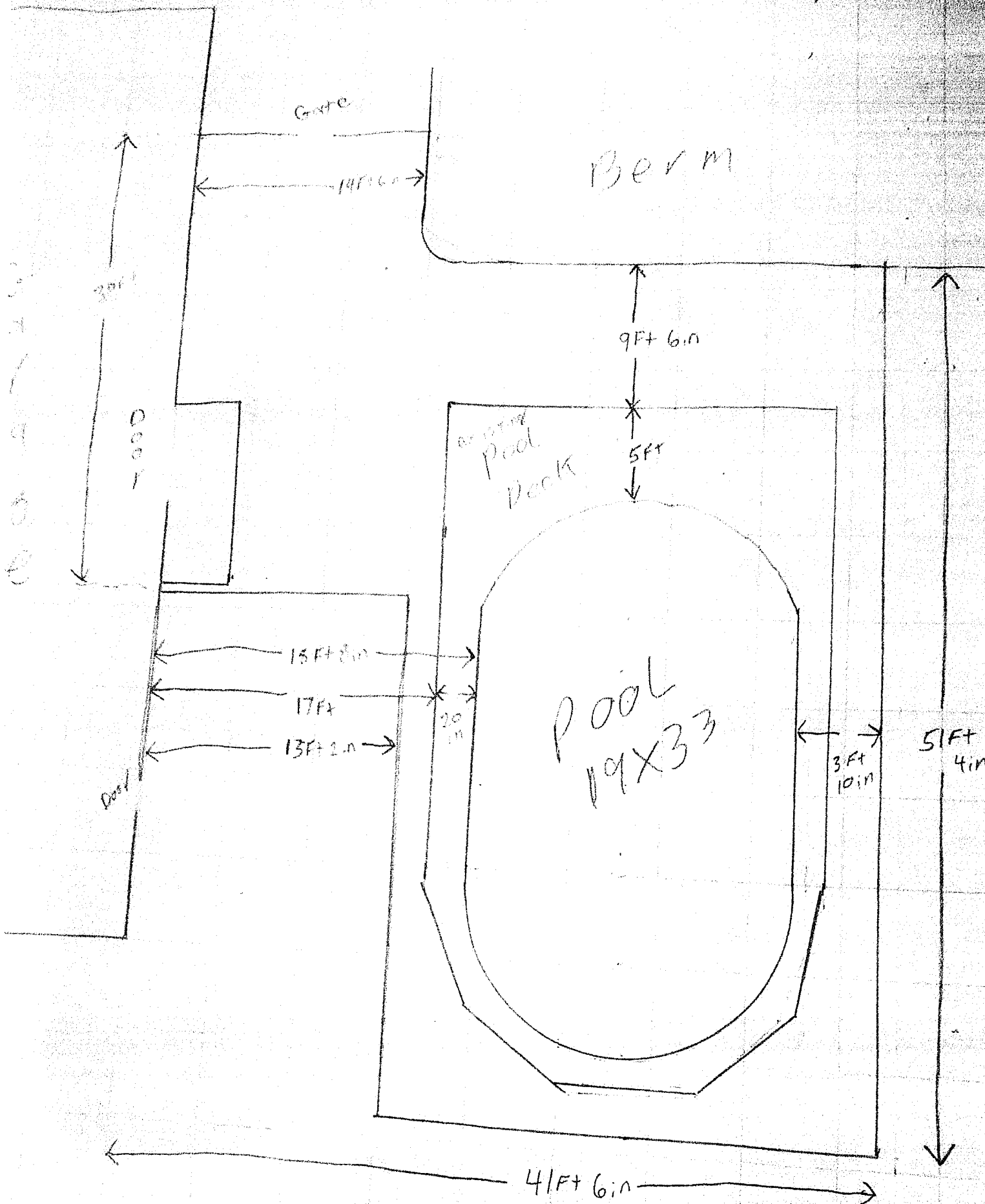


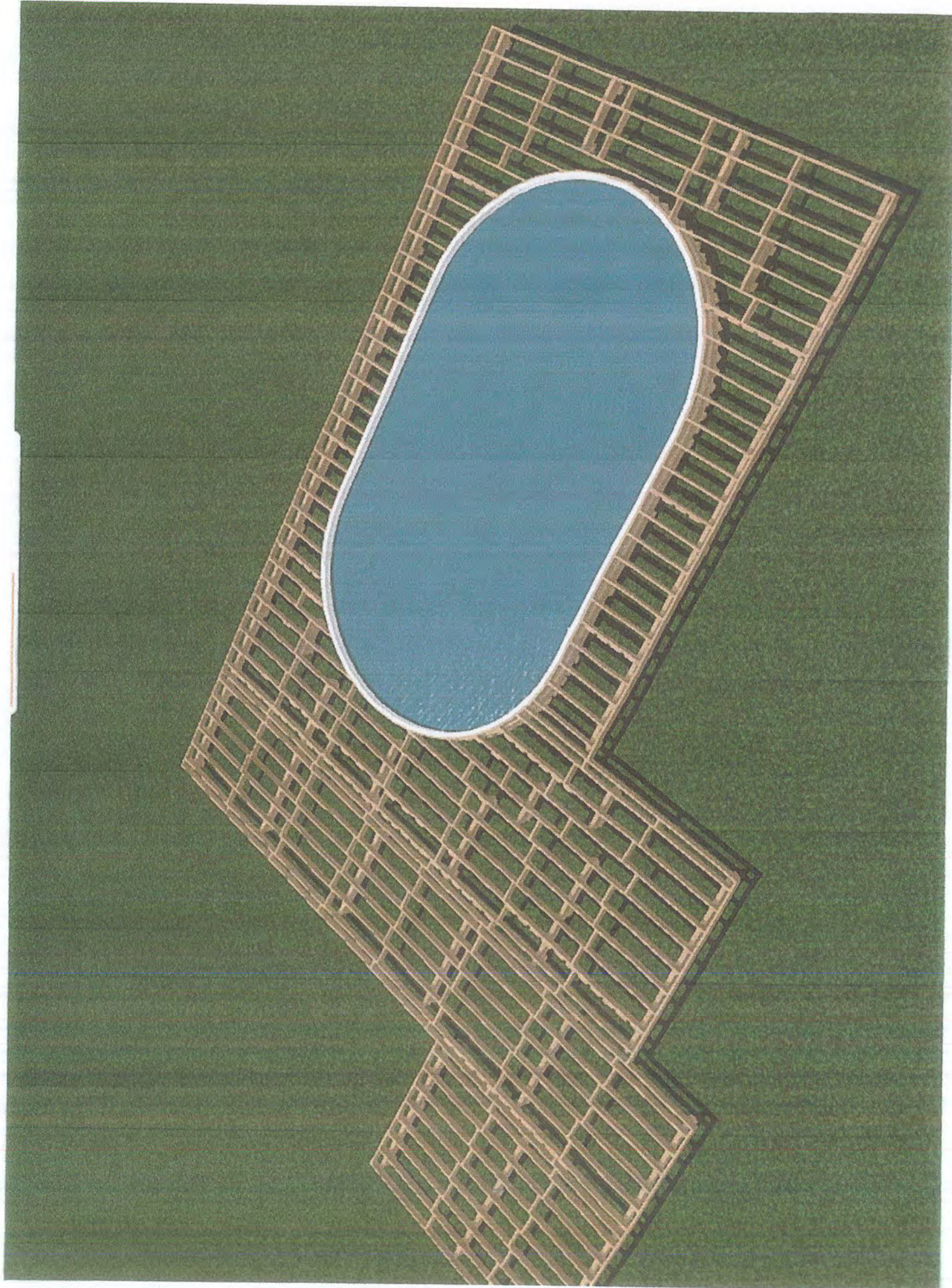
Thu Sep 5 2024

Imagery © 2025 Nearmap, HERE

20 ft

Nearmap





Shared Dealer Locator
Report



Frank Dutko

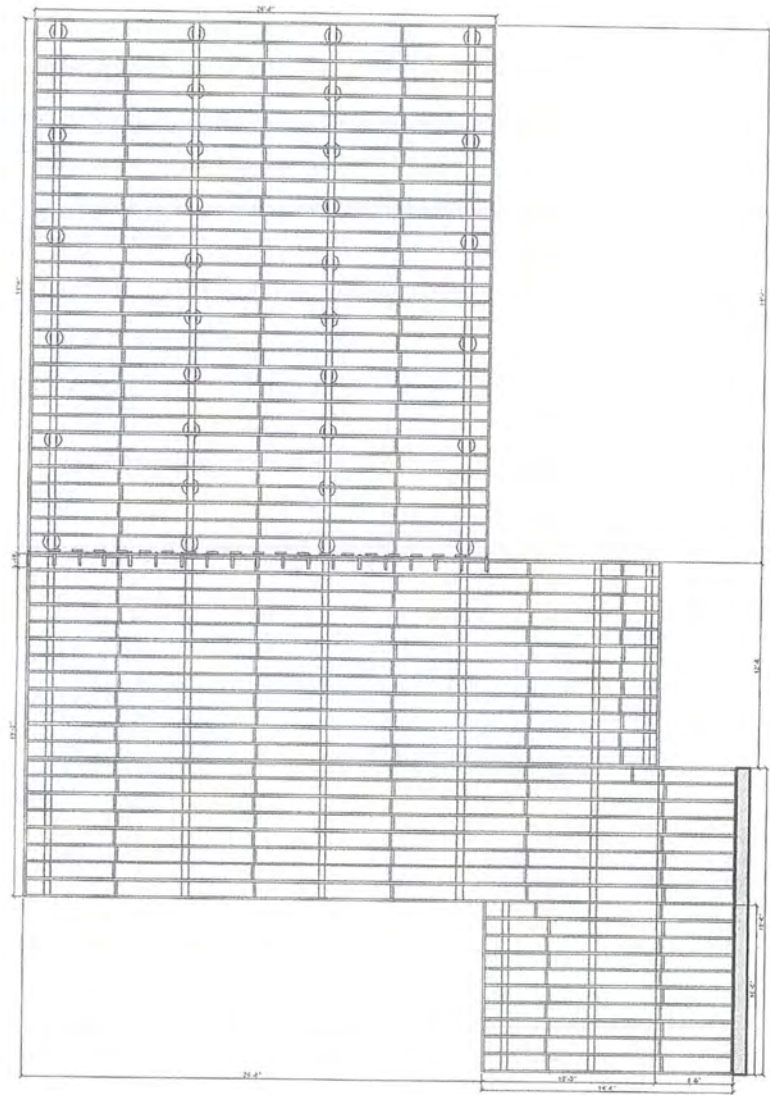
Deck Planner Software™ Report

All lengths, areas, weights, masses and structural forces are expressed in U.S. Customary units unless otherwise specified.

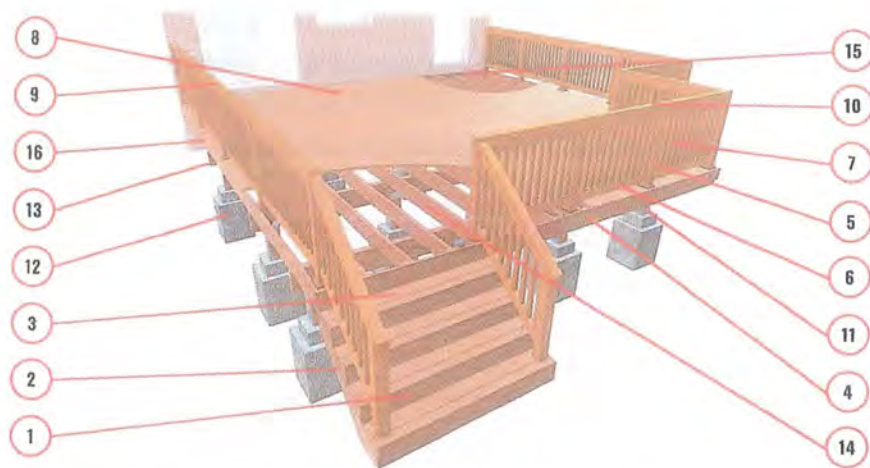
This report was created 7/28/2025 11:46 AM by Deck Planner Software™

Your Planned Deck Design

Plan view construction



Glossary Of Decking Terms



1. Risers: The vertical boards attached to the stair stringers. Many localities require risers to prevent possible trip hazards.

2. Stringers: The structural support for stairs. They have limits on how much weight they can carry, so size and spacing are important considerations. Composite manufacturers provide recommended stringer spacing to support the tread material.

3. Treads: The horizontal stair surfaces on which deck users walk.

4. Rim Joist: Also known as edge bands, the rim joist wraps the deck and keeps the joists standing on edge, while also providing a solid surface for attaching railing posts. Proper attachment is critical to installing a safe railing.

5. Rail Post: Vertical lumber member that supports the handrail and resists the outward force of people leaning on the railings.

6. Bottom Rails: Lumber members that connect to the rail posts and provide a solid surface for securing the infills.

7. Infills: Also known as balusters or pickets, the infills are connected to the top and bottom rails and provide a barrier against falls.

8. Decking: When properly attached to each joist and rim joist, the decking surface (whether wood or composite material) helps unify the entire structure.

9. Rail Cap: Much like the decking, the rail cap unifies the railing system and provides a decorative feature.

10. Top Rails: These members have the same stabilizing function as the bottom rails.

11. Post: Vertical structural member that supports the beams and attaches the deck to the footings using a post base.

12. Footing: Concrete element that serves as the foundation of the deck.

13. Beams: Structural members that support the decking floor joists. Beams are made of doubling 2x material and can be installed as a laminate, sandwiched, or notched into the post.

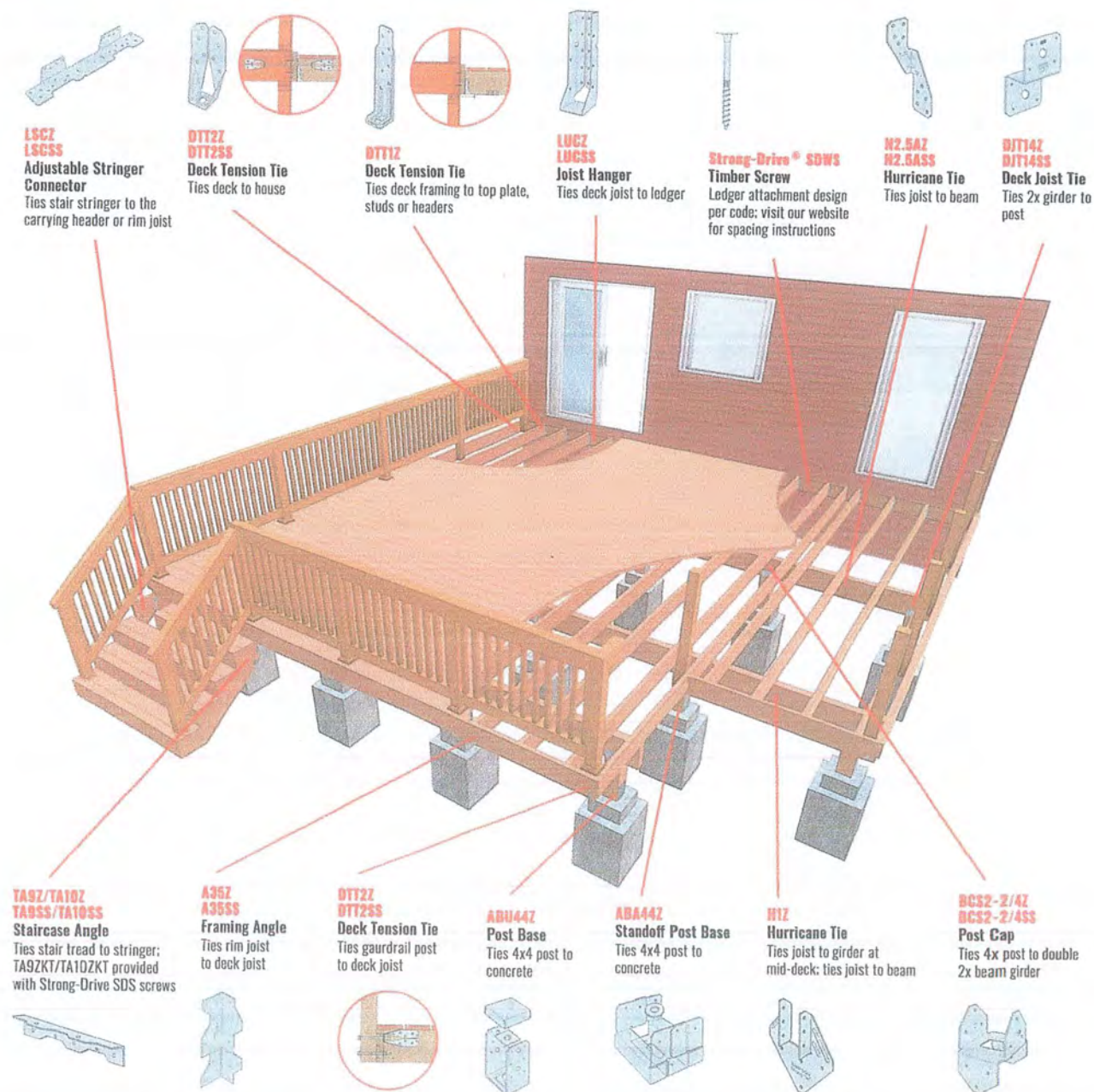
It is important to have a post of sufficient size and strength to support the beam. The beam should not be any wider than the thickness of the post, and should be secured with the correct post cap.

14. Joists: Wood members installed across the beams and spaced to accommodate the decking material. The joist spacing may depend on the angle at which the deck boards are applied.

15. Ledger: The ledger is a crucial connection because it attaches the deck to the house. The material used to construct the house may determine the type of connection. Consult local building officials on the recommended connection.

16. Fascia: Vertical boards that face outwards from the edges of the deck, attached to the rim joists. Fascia boards typically consist of a lumber species that matches the appearance of the decking material.

A Complete Connector System for Building Safer, Code-Compliant Decks



Platform Decks and Flush Beams

Platform Decks

Once a deck goes to two feet or below posts and beam to posts connectors are removed. Deck height incrementing is constrained to those that can be constructed by combining the joist and beam height with the deck board thickness. At 1"1" and below flush beams will be used to enable lower decks as described below.

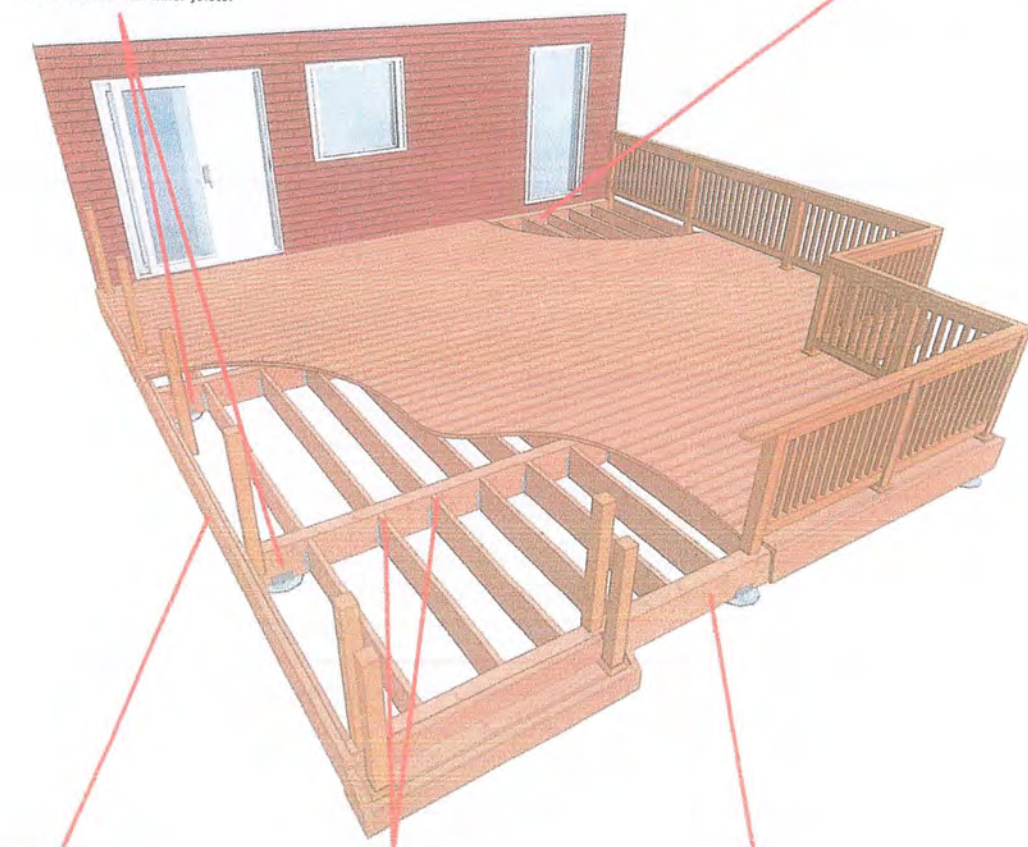
Flush Beam Decks

Post Base To Beam

The beams sit in the post base connector and the connector is updated to fit the beam. Posts are adjusted so that the post base connectors do not collide with inner joists.

Ledgers Removed

Ledgers are not used with flush beam decks, no ledger materials or BVLZ connectors will be added.



Outer Joist

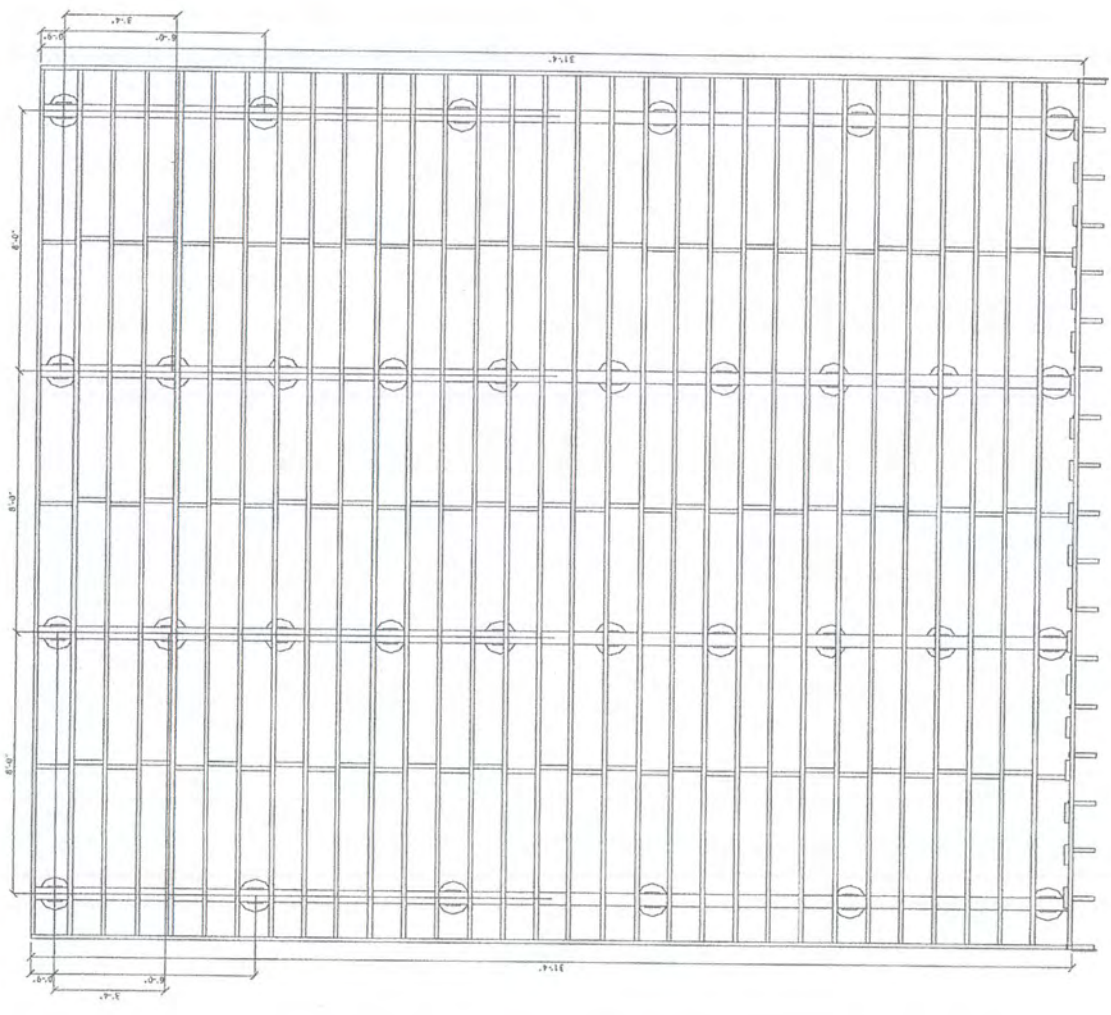
The parallel outer joists are cut either side of the beams and supported by the joist hangers, like an inner joist.

Inner Joist

Inner joist and beam are combined to the same level, removing the joist to beam connectors. Joists are cut either side of the beam. Joist hangers are used to support the joists between the beams.

Outer Beam

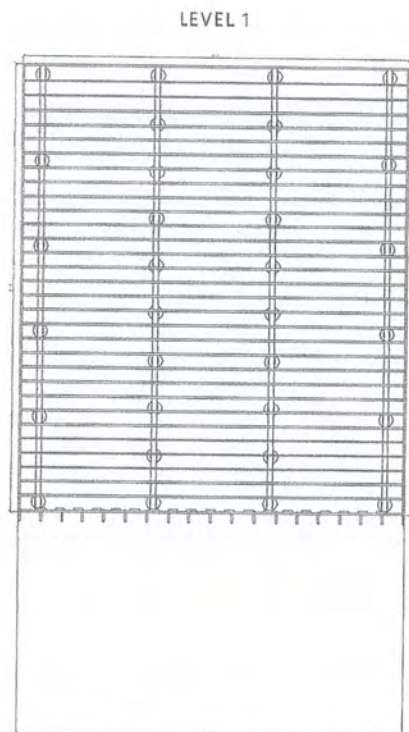
Joist cantilever is removed and beams are moved to the outside of the deck. Outer Joists that aren't parallel with inner joists are replaced with the beam it overlaps



<div><div>SIMPSON</div><div>Strong-Tie</div></div>	NOTES FROM THE CUSTOMER	DESIGN TITLE	FRANK DUTKO		DRAWING		1			FILED
		CUSTOMER NAME	Victor Home Depot Pro Desk		SCALE	NOT TO SCALE		CHECKED BY		
		CUSTOMER EMAIL ADDRESS	prodesk_1264@homedepot.com		DATE	7/28/2025 11:46 AM		CHECK DATE		
		CUSTOMER PHONE NUMBER			CREATED BY					
		THIS DRAWING WAS GENERATED BY DECK PLANNER SOFTWARE™								
PAGE 8										
STORE										

Permit Info

Plan view construction



Structural Information: Level 1

Height of level (top of decking)	26"
Max. joist span	96 3/4"
Max. joist cantilever	15"
Max. beam span	71 3/4"
Max. beam cantilever	6"
Footing depth	36"
Footing area (ea.)	9 1/2 ft ²
Designed live load	40 lb/ft ²
Designed dead load	10 lb/ft ²

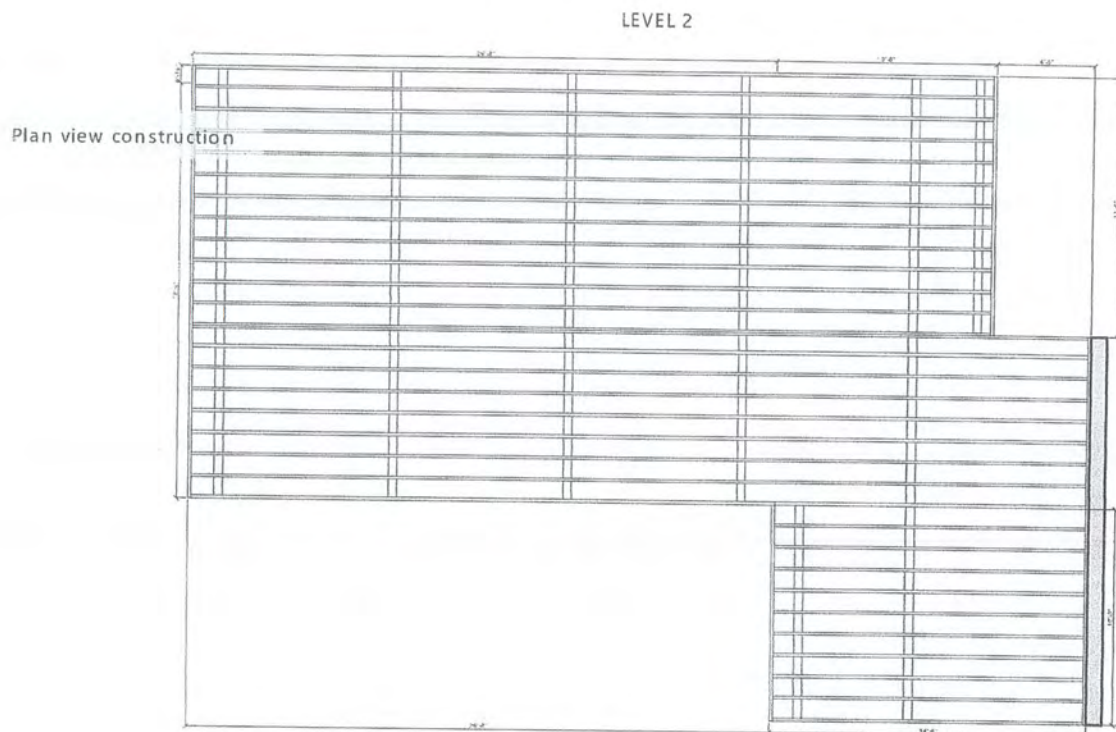
Deck and Post Height

Your design height is 26" from the top of the decking to the ground level. The top of the deck support posts will therefore be 13" above ground level."

Joists

Set joists on top of beams, 12" center-to-center.

Permit Info



Structural Information: Level 2

Height of level (top of decking)	14 1/4"
Max. joist span	96 3/4"
Max. joist cantilever	13 5/8"
Max. beam span	0"
Max. beam cantilever	6"
Footing depth	36"
Footing area (ea.)	9 1/2 ft ²
Designed live load	40 lb/ft ²
Designed dead load	10 lb/ft ²

Deck and Post Height

Your design height is 14 1/4" from the top of the decking to the ground level. The top of the deck support posts will therefore be 1" above ground level."

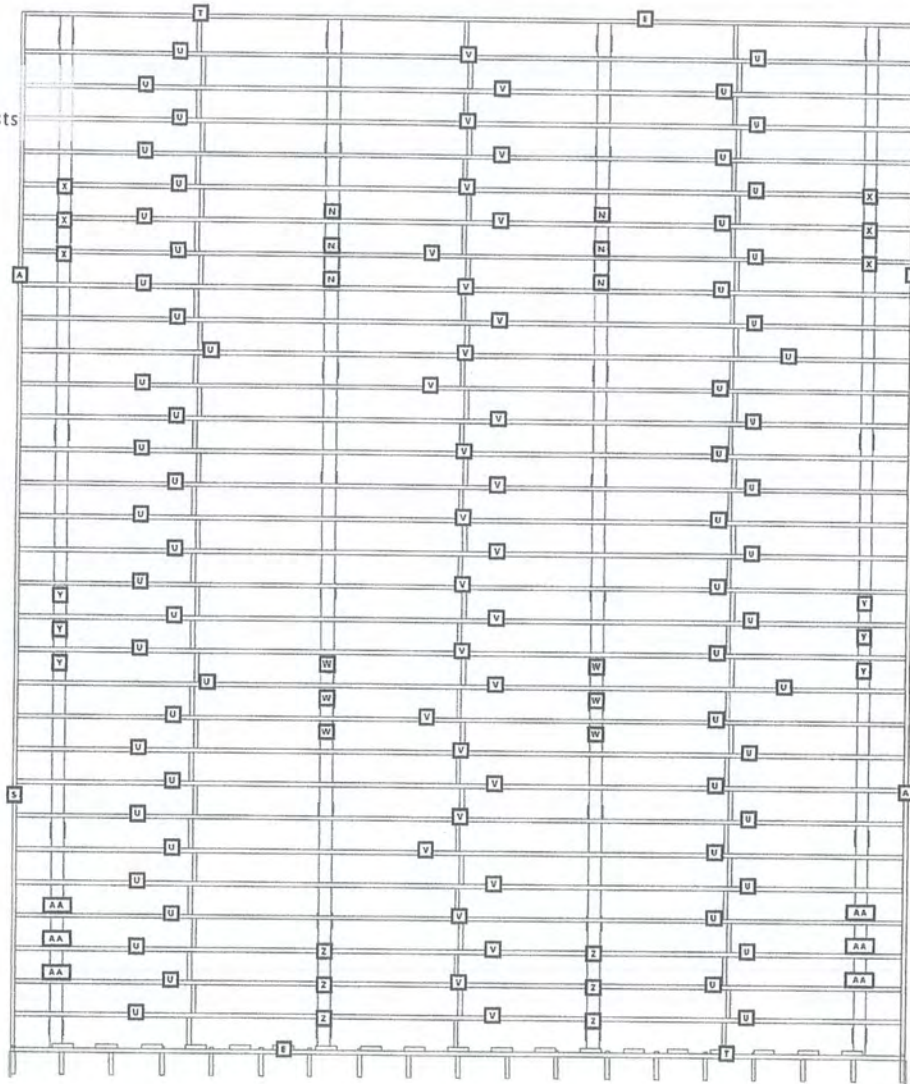
Joists

Set joists on top of beams, 12" center-to-center.

Materials Drawing

MATERIALS DRAWING 1

Plan view,
beams and joists



Materials Cut List

LEVEL 1

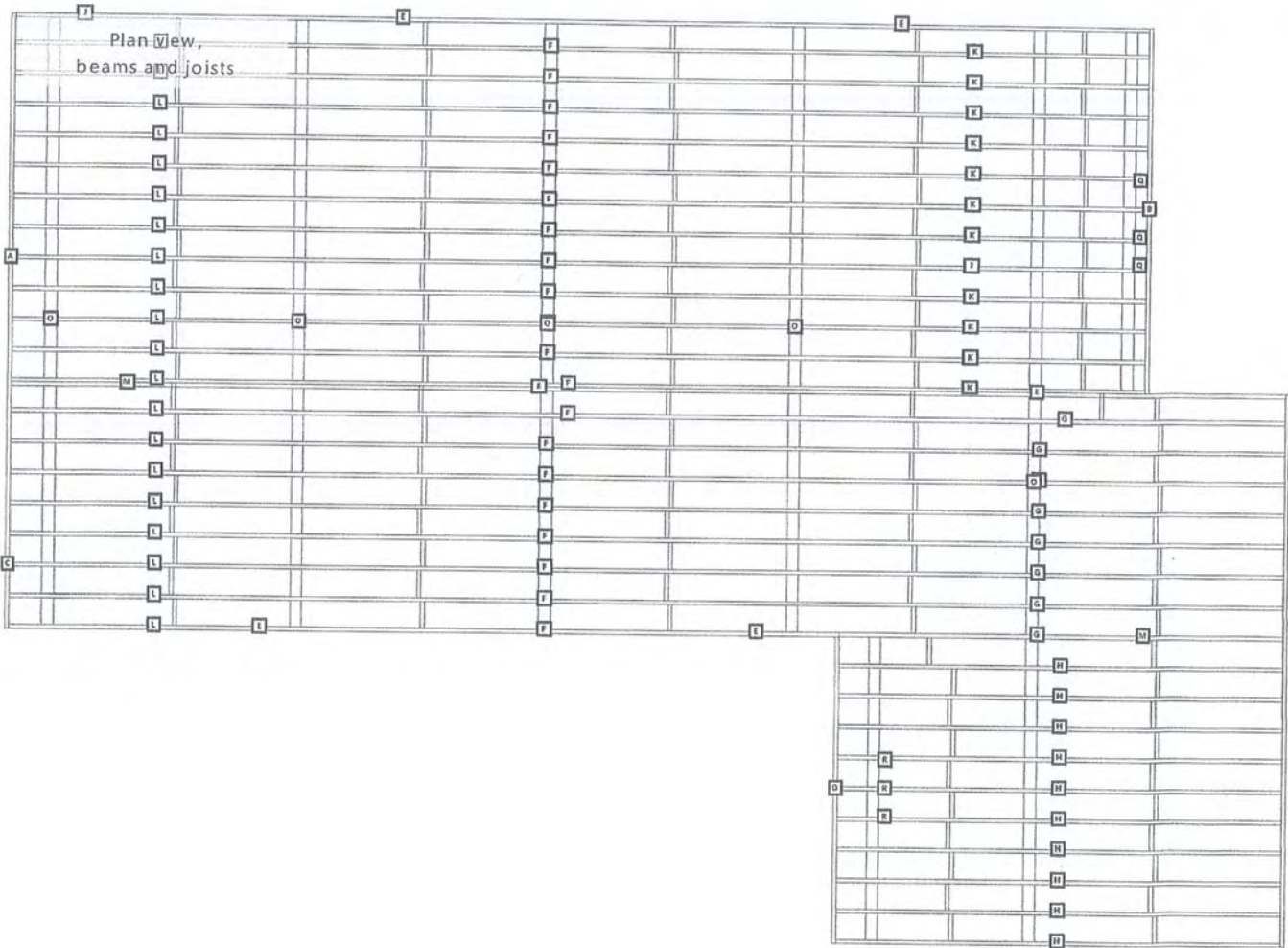
Label	Description	Qty	Length	Usage
A	2" x 6" x 16'- Wood SP (Square)	2	192"	Rim Joists
A	2" x 6" x 16'- Wood SP (Square)	2	192"	Joists
A	2" x 6" x 16'- Wood SP (Square)	2	192"	Blocking
A	2" x 6" x 16'- Wood SP (Square)	2	192"	Support Board For Stairs
S	2" x 6" x 16'- Wood SP (Square)	2	184"	Rim Joists
S	2" x 6" x 16'- Wood SP (Square)	2	184"	Joists
S	2" x 6" x 16'- Wood SP (Square)	2	184"	Blocking
S	2" x 6" x 16'- Wood SP (Square)	2	184"	Support Board For Stairs
E	2" x 6" x 16'- Wood SP (Square)	2	192"	Rim Joists
E	2" x 6" x 16'- Wood SP (Square)	2	192"	Joists
E	2" x 6" x 16'- Wood SP (Square)	2	192"	Blocking
E	2" x 6" x 16'- Wood SP (Square)	2	192"	Support Board For Stairs
T	2" x 6" x 12'- Wood SP (Square)	2	125"	Joists
T	2" x 6" x 12'- Wood SP (Square)	2	125"	Support Board For Stairs
U	2" x 6" x 10'- Wood SP (Square)	60	111"	Rim Joists
U	2" x 6" x 10'- Wood SP (Square)	60	111"	Joists
V	2" x 6" x 16'- Wood SP (Square)	30	96"	Rim Joists
V	2" x 6" x 16'- Wood SP (Square)	30	96"	Joists
V	2" x 6" x 16'- Wood SP (Square)	30	96"	Blocking
V	2" x 6" x 16'- Wood SP (Square)	30	96"	Support Board For Stairs
	2" x 6" x 16'- Wood SP (Square)	6	12"	Rim Joists
	2" x 6" x 16'- Wood SP (Square)	6	12"	Joists
	2" x 6" x 16'- Wood SP (Square)	6	12"	Blocking
	2" x 6" x 16'- Wood SP (Square)	6	12"	Support Board For Stairs

Label	Description	Qty	Length	Usage
	2" x 6" x 16'- Wood SP (Square)	83	10 1/2"	Rim Joists
	2" x 6" x 16'- Wood SP (Square)	83	10 1/2"	Joists
	2" x 6" x 16'- Wood SP (Square)	83	10 1/2"	Blocking
	2" x 6" x 16'- Wood SP (Square)	83	10 1/2"	Support Board For Stairs
	2" x 6" x 8'- Wood SP (Square)	4	10 1/2"	Blocking
N	2" x 8" x 14'- Wood SP (Square)	6	168"	Ledgers
N	2" x 8" x 14'- Wood SP (Square)	6	168"	Beams
W	2" x 8" x 14'- Wood SP (Square)	6	159"	Ledgers
W	2" x 8" x 14'- Wood SP (Square)	6	159"	Beams
X	2" x 8" x 14'- Wood SP (Square)	6	152"	Ledgers
X	2" x 8" x 14'- Wood SP (Square)	6	152"	Beams
Y	2" x 8" x 16'- Wood SP (Square)	6	143"	Beams
Y	2" x 8" x 16'- Wood SP (Square)	6	143"	Support Blocking For Stairs
Z	2" x 8" x 16'- Wood SP (Square)	6	49"	Beams
Z	2" x 8" x 16'- Wood SP (Square)	6	49"	Support Blocking For Stairs
AA	2" x 8" x 14'- Wood SP (Square)	6	80"	Ledgers
AA	2" x 8" x 14'- Wood SP (Square)	6	80"	Beams
	6" x 6" x 16'- Wood SP	30	12"	Posts/Footings
	6" x 6" x 8'- Wood SP	2	12"	Posts/Footings
	1 x 6 x 12 - Square Edge - Foggy Wharf	1	79 1/2"	Decking
	1 x 6 x 12 - Square Edge - Foggy Wharf	1	79 1/2"	Risers
	1 x 6 x 20 - Square Edge - Foggy Wharf	1	240"	Decking
	1 x 6 x 20 - Square Edge - Foggy Wharf	1	240"	Risers
	1 x 6 x 20 - Square Edge - Foggy Wharf	1	240"	Treads
	2" x 12" x 16'- Wood DF/HF/SPF (Square)	11	16 7/8"	Stringers

Label	Description	Qty	Length	Usage
	2" x 12" x 12'- Wood DF/HF/SPF (Square)	8	16 7/8"	Stringers
	1 x 6 x 16 - Square Edge - Foggy Wharf	2	79 1/2"	Decking
	1 x 6 x 16 - Square Edge - Foggy Wharf	2	79 1/2"	Treads
	1 x 6 x 20 - Square Edge - Foggy Wharf	2	240"	Decking
	1 x 6 x 20 - Square Edge - Foggy Wharf	2	240"	Risers
	1 x 6 x 20 - Square Edge - Foggy Wharf	2	240"	Treads
	2" x 6" x 12'- Wood SP (Square)	1	128"	Joists
	2" x 6" x 12'- Wood SP (Square)	1	128"	Support Board For Stairs
	2" x 6" x 16'- Wood SP (Square)	1	192"	Rim Joists
	2" x 6" x 16'- Wood SP (Square)	1	192"	Joists
	2" x 6" x 16'- Wood SP (Square)	1	192"	Blocking
	2" x 6" x 16'- Wood SP (Square)	1	192"	Support Board For Stairs
	2" x 8" x 16'- Wood SP (Square)	17	11"	Beams
	2" x 8" x 16'- Wood SP (Square)	17	11"	Support Blocking For Stairs
	2" x 8" x 8'- Wood SP (Square)	2	11"	Ledgers
	2" x 8" x 8'- Wood SP (Square)	2	11"	Support Blocking For Stairs
	1 x 8 x 12 - Foggy Wharf	2	14 1/8"	Fascia
	1 x 8 x 12 - Foggy Wharf	2	14 1/8"	Stair Fascia

Materials Drawing

MATERIALS DRAWING 2



Materials Cut List

LEVEL 2

Label	Description	Qty	Length	Usage
A	2" x 6" x 16'- Wood SP (Square)	1	192"	Rim Joists
A	2" x 6" x 16'- Wood SP (Square)	1	192"	Joists
A	2" x 6" x 16'- Wood SP (Square)	1	192"	Blocking
A	2" x 6" x 16'- Wood SP (Square)	1	192"	Support Board For Stairs
B	2" x 6" x 16'- Wood SP (Square)	1	144"	Rim Joists
B	2" x 6" x 16'- Wood SP (Square)	1	144"	Joists
B	2" x 6" x 16'- Wood SP (Square)	1	144"	Blocking
B	2" x 6" x 16'- Wood SP (Square)	1	144"	Support Board For Stairs
C	2" x 6" x 16'- Wood SP (Square)	1	48"	Rim Joists
C	2" x 6" x 16'- Wood SP (Square)	1	48"	Joists
C	2" x 6" x 16'- Wood SP (Square)	1	48"	Blocking
C	2" x 6" x 16'- Wood SP (Square)	1	48"	Support Board For Stairs
D	2" x 6" x 10'- Wood SP (Square)	1	120"	Rim Joists
D	2" x 6" x 10'- Wood SP (Square)	1	120"	Joists
	2" x 8" x 14'- Wood SP (Square)	1	168"	Ledgers
	2" x 8" x 14'- Wood SP (Square)	1	168"	Beams
	2" x 8" x 8'- Wood SP (Square)	1	48"	Ledgers
	2" x 8" x 8'- Wood SP (Square)	1	48"	Support Blocking For Stairs
E	2" x 6" x 16'- Wood SP (Square)	6	192"	Rim Joists
E	2" x 6" x 16'- Wood SP (Square)	6	192"	Joists
E	2" x 6" x 16'- Wood SP (Square)	6	192"	Blocking
E	2" x 6" x 16'- Wood SP (Square)	6	192"	Support Board For Stairs
F	2" x 6" x 16'- Wood SP (Square)	20	191"	Rim Joists
F	2" x 6" x 16'- Wood SP (Square)	20	191"	Joists

Label	Description	Qty	Length	Usage
F	2" x 6" x 16'- Wood SP (Square)	20	191"	Blocking
F	2" x 6" x 16'- Wood SP (Square)	20	191"	Support Board For Stairs
G	2" x 6" x 16'- Wood SP (Square)	8	189"	Rim Joists
G	2" x 6" x 16'- Wood SP (Square)	8	189"	Joists
G	2" x 6" x 16'- Wood SP (Square)	8	189"	Blocking
G	2" x 6" x 16'- Wood SP (Square)	8	189"	Support Board For Stairs
H	2" x 6" x 16'- Wood SP (Square)	10	171"	Rim Joists
H	2" x 6" x 16'- Wood SP (Square)	10	171"	Joists
H	2" x 6" x 16'- Wood SP (Square)	10	171"	Blocking
H	2" x 6" x 16'- Wood SP (Square)	10	171"	Support Board For Stairs
I	2" x 6" x 16'- Wood SP (Square)	1	135"	Rim Joists
I	2" x 6" x 16'- Wood SP (Square)	1	135"	Joists
I	2" x 6" x 16'- Wood SP (Square)	1	135"	Blocking
I	2" x 6" x 16'- Wood SP (Square)	1	135"	Support Board For Stairs
J	2" x 6" x 16'- Wood SP (Square)	1	53"	Rim Joists
J	2" x 6" x 16'- Wood SP (Square)	1	53"	Joists
J	2" x 6" x 16'- Wood SP (Square)	1	53"	Blocking
J	2" x 6" x 16'- Wood SP (Square)	1	53"	Support Board For Stairs
K	2" x 6" x 12'- Wood SP (Square)	11	135"	Joists
K	2" x 6" x 12'- Wood SP (Square)	11	135"	Support Board For Stairs
L	2" x 6" x 10'- Wood SP (Square)	20	110"	Rim Joists
L	2" x 6" x 10'- Wood SP (Square)	20	110"	Joists
M	2" x 6" x 10'- Wood SP (Square)	2	107"	Rim Joists
M	2" x 6" x 10'- Wood SP (Square)	2	107"	Joists
	2" x 6" x 16'- Wood SP (Square)	108	10 1/2"	Rim Joists

Label	Description	Qty	Length	Usage
	2" x 6" x 16'- Wood SP (Square)	108	10 1/2"	Joists
	2" x 6" x 16'- Wood SP (Square)	108	10 1/2"	Blocking
	2" x 6" x 16'- Wood SP (Square)	108	10 1/2"	Support Board For Stairs
	2" x 6" x 16'- Wood SP (Square)	5	0"	Rim Joists
	2" x 6" x 16'- Wood SP (Square)	5	0"	Joists
	2" x 6" x 16'- Wood SP (Square)	5	0"	Blocking
	2" x 6" x 16'- Wood SP (Square)	5	0"	Support Board For Stairs
	2" x 6" x 14'- Wood SP (Square)	7	10 1/2"	Blocking
	2" x 6" x 14'- Wood SP (Square)	10	9"	Blocking
N	2" x 8" x 14'- Wood SP (Square)	3	168"	Ledgers
N	2" x 8" x 14'- Wood SP (Square)	3	168"	Beams
O	2" x 8" x 16'- Wood SP (Square)	15	192"	Beams
O	2" x 8" x 16'- Wood SP (Square)	15	192"	Support Blocking For Stairs
P	2" x 8" x 16'- Wood SP (Square)	12	48"	Beams
P	2" x 8" x 16'- Wood SP (Square)	12	48"	Support Blocking For Stairs
Q	2" x 8" x 12'- Wood SP (Square)	3	144"	Beams
R	2" x 8" x 12'- Wood SP (Square)	3	120"	Beams

Estimated Materials List

All Materials

Usage	Qty	SKU	Description	Type
Decking	1		1 x 6 x 16 - Square Edge - Foggy Wharf	Lumber
Decking	194		1 x 6 x 20 - Square Edge - Foggy Wharf	Lumber
Fascia	21		1 x 8 x 12 - Foggy Wharf	Lumber
Rim Joists	1		2" x 6" x 10'- Wood SP (Square)	Lumber
Rim Joists	6		2" x 6" x 16'- Wood SP (Square)	Lumber
Ledgers	1		2" x 8" x 8'- Wood SP (Square)	Lumber
Ledgers	1		2" x 8" x 14'- Wood SP (Square)	Lumber
Joists	82		2" x 6" x 10'- Wood SP (Square)	Lumber
Joists	62		2" x 6" x 16'- Wood SP (Square)	Lumber
Joists	13		2" x 6" x 12'- Wood SP (Square)	Lumber
Blocking	11		2" x 6" x 16'- Wood SP (Square)	Lumber
Blocking	1		2" x 6" x 14'- Wood SP (Square)	Lumber
Beams	24		2" x 8" x 16'- Wood SP (Square)	Lumber
Beams	6		2" x 8" x 12'- Wood SP (Square)	Lumber
Beams	24		2" x 8" x 14'- Wood SP (Square)	Lumber
Joists	276	H2.5AZ	H2.5AZ Hurricane Tie (ZMAX®)	Connector
Joists	117	LUS26Z	LUS26Z Joist Hanger with Double-Shear Nailing (ZMAX®)	Connector

Usage	Qty	SKU	Description	Type
Joists	12	LUC26Z	LUC26Z Concealed Flange Joist Hanger (ZMAX®)	Connector
Joists	1	LS50Z	LS50Z Skewable Angle (ZMAX®)	Connector
Joists	4	DTT2Z	DTT2Z Connector (ZMAX®)(Fasteners and Washers included)	Connector
Posts/Footings	72	ABU66Z	ABU66Z Adjustable Post Base with Standoff (ZMAX®)	Connector
Posts/Footings	1		5/8" Diameter Straight Shank Carbide Drill Bit for Concrete & Masonry	Concrete
Tape	34	BDFB1550	BDFB1550 - Butyl Deck Flash Barrier 1-5/8" x 50'	Tape
Tape	1	BDFB1220	BDFB1220 - Butyl Deck Flash Barrier 12" x 20'	Tape
Decking	1		1 x 6 x 12 - Square Edge - Foggy Wharf	Lumber
Blocking	1		2" x 6" x 8'- Wood SP (Square)	Lumber
Posts/Footings	2		6" x 6" x 16'- Wood SP	Lumber
Posts/Footings	1		6" x 6" x 8'- Wood SP	Lumber
Posts/Footings	32	BCS2-3/6Z	BCS2-3/6Z Post Cap (ZMAX®)	Connector
Posts/Footings	126		80lbs Bag (0.60 CF) Concrete Mix	Concrete
Posts/Footings	11		12" x 10' Construction Tube	ConstructionTube
Risers	1		1 x 6 x 12 - Square Edge - Foggy Wharf	Lumber
Risers	1		1 x 6 x 20 - Square Edge - Foggy Wharf	Lumber
Stringers	1		2" x 12" x 16'- Wood DF/HF/SPF (Square)	Lumber
Stringers	1		2" x 12" x 12'- Wood DF/HF/SPF (Square)	Lumber

Usage	Qty	SKU	Description	Type
Treads	1		1 x 6 x 16 - Square Edge - Foggy Wharf	Lumber
Treads	2		1 x 6 x 20 - Square Edge - Foggy Wharf	Lumber
Support Board For Stairs	1		2" x 6" x 16'- Wood SP (Square)	Lumber
Support Board For Stairs	1		2" x 6" x 12'- Wood SP (Square)	Lumber
Support Blocking For Stairs	1		2" x 8" x 16'- Wood SP (Square)	Lumber
Support Blocking For Stairs	1		2" x 8" x 8'- Wood SP (Square)	Lumber
Stair Fascia	1		1 x 8 x 12 - Foggy Wharf	Lumber
Stringers	19	LSCZ	LSCZ Adjustable Stair-Stringer Connector (ZMAX®)	Connector
Decking	4	DCU234MB305	10 X 2-3/4 DCU T20 SS305, 1750ct	Fastener
Decking	3	DCU234P305	10 X 2-3/4 DCU T20 SS305, 350ct	Fastener
	10	T08175FS75BR01	#8X1.75 316SS FASCIA SCREW T20 BR01 75CT	Fastener
Fastener	1	fsbit	FASCIA SCREW COUNTERSINK BIT	Fastener
Rim Joists	1	SDWS16300QMB	3 IN SDWS Framing Screw 250ct	Fastener
Rim Joists	2	SDWS16300QR75	3 IN SDWS Framing Screw 75ct	Fastener
	1	SDWS22400DBMB	SDWS22400DB Structural Wood Screw (250)	Fastener
	3	SDWS22400DB-R50	SDWS22400DB Structural Wood Screw (50)	Fastener

Usage	Qty	SKU	Description	Type
	1	SDWS22400DB-RC12	SDWS22400DB Structural Wood Screw (12)	Fastener
Joists	3	N8D5HDG	Strong-Drive® SCN 1 1/2" x .131", 10 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
Joists	4	N8DHDG	Strong-Drive® SCN 1 1/2" x .131", 10 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
	1	N10D5HDG	Strong-Drive® SCN 1 1/2" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
	3	N10DHDG	Strong-Drive® SCN 1 1/2" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
Joists	3	10D5HDG	Strong-Drive® SCN 3" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
Joists	4	1/2 MBHDGH	1/2" diameter HDG Machine Bolts: length calculated (1)	Fastener
Joists	4	NUT-1/2 MBHDG	Nut for 1/2" Bolt, Oversized Threads (Hot-Dip Galvanized) (1)	Fastener
Posts/Footings	72	THDB62600H4SSF1	5/8" x 6" Type 304 Stainless Steel Titen HD® Heavy-Duty Screw Anchor	Fastener
Posts/Footings	4	16D5HDG	Strong-Drive® SCN 3 1/2" x .162", 8 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 5 LB	Fastener
	2	S10250WP1	DWP #10 2-1/2IN 305SS FLAT T25 1#	Fastener
Support Blocking For Stairs	1	SDWS22300DB-R50	SDWS22300DB Structural Wood Screw (50)	Fastener
Support Blocking For Stairs	3	SDWS22300DB-RC12	SDWS22300DB Structural Wood Screw (12)	Fastener