

**AGENDA
TOWN OF PITTSFORD
PLANNING BOARD
SEPTEMBER 8, 2025**

This agenda is subject to change.

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, September 8, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

CONTINUED APPLICATION

Passero Associates, Pittsford Oaks Apartments
Final Site Plan

NEW HEARINGS

Marathon Engineering, 155 Golf Avenue (Monroe Golf Club)
Preliminary/Final Site Plan and Special Use Permit

Sundown Designs NY LLC, 834 Linden Avenue (Universal Imports of Rochester)
Preliminary/Final Site Plan

OTHER BUSINESS

Approval of Minutes

The next scheduled meeting is for Monday, September 8, 2025.

**TOWN OF PITTSFORD
PLANNING BOARD
RESOLUTION
300 Tobey Village Road (Pittsford Oaks)
Final Site Plan
Tax Parcels #163.02-1-24.111, 163.02-1-23.1, 163.02-1-36
Tobey PUD Parcels #8, 12, 7**

WHEREAS, Passero Associates, as agent for 2851 Clover, LLC (“applicant”), has made application for Final Site Plan approval for the construction of a 171-unit market rate apartment building at 2851 Clover Street (300 Tobey Village Road), with last revised application materials received August 18, 2025; and

WHEREAS this is a Type I Action pursuant to SEQRA 6 NYCRR § 617.6 (b) and the Town Board, as lead agency, conducted a coordinated review and issued a negative declaration on May 7, 2024; and

NOW, THEREFORE, upon consideration by the Planning Board, of all written and oral submissions and testimony by the applicant and appropriate agencies, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board of the Town of Pittsford grants Final Site Plan approval based upon the following Findings of Fact and subject to compliance with the following Conditions of Approval:

FINDINGS OF FACT

1. This application is subject to the Tobey Planned Unit Development (PUD) rezoning approval granted by the Town Board on May 7, 2024 (Local Law No. 4 of 2024). This local law limits the market rate apartment building up to 175 units and a maximum gross square footage of 287,000 square feet. The Planning Board submission received August 18, 2025, indicates a proposed total of 171 units and 285,379+/- square feet. The local law requires unit counts to be reasonably similar to 16 studios, 102 one-bedroom, 45 two-bedroom, and 12 three-bedroom units. The Planning Board submission received August 18, 2025, indicates a total of 121 one-bedroom, 40 two-bedroom, and 10 three-bedroom units. The Planning Board finds that the most recent submission meets the requirements of the local law.
2. The local law includes the requirement of 1.75 parking spaces per unit. It is presumed that this parking ratio will facilitate 100% off street parking for the apartments. Plans currently indicate a total of 300 parking spaces which meets the requirements of the local law.
3. The project area includes a 5.333+/- acre portion of Parcel 8, a 1.157+/- acre portion of Parcel 12, and a 0.518 +/- acre portion of Parcel 7, totaling 7.008 +/- acres. The project area will also include a small portion of the adjacent property belonging to Cloverwood Senior Living for the installation of a retaining wall and buffer plantings.
4. The project area is immediately adjacent to 2867 Clover Street, a locally designated historic landmark and eligible landmark for listing on the New York State Register of Historic Places. The New York State Division for Historic Preservation of the Office of Parks, Recreation, and Historic Preservation (OPRHP) has submitted letters dated February 7, 2024, and August 20, 2024, stating that the project will have No Adverse Impact on historic resources provided that a portion of the existing mature tree canopy will be retained as a vegetative buffer between the project and 2867 Clover Street. The new apartment building is proposed 41 feet from the property line, making it approximately 91 feet to the historic home at 2867 Clover Street.
5. This application includes the demolition of the Barn Bazaar buildings and former Five-Star Bank building.

6. Site walks with Planning Board, Environmental Board, and Design Review & Historic Preservation Board (DRHPB) members were conducted on August 23, 2024, and September 4, 2024, in which the Developer, Contractor, Town Staff, and Town Review Engineer were present. Corners of the proposed building, parking areas, and clearing limits were staked for review. Balloons were flown on September 4, 2024, to indicate approximate building height to help understand the visual impacts of the proposed structure. The Developer, Contractor, Town Staff, and DRHPB members attended the walk and took pictures from different viewpoints.
7. A Traffic Impact Report (TIR) dated October 31, 2023, and updated in July 2024, was submitted to the New York State Department of Transportation for review. A response received August 20, 2024, requested an updated study to support the applicant's recommendations of lowering the speed limit on Jefferson Road and Clover Street to 40 MPH, reviewing signal timing at Jefferson Road/Clover Street and Jefferson Road/Tobey Village Road/YMCA intersections, and installing a flashing yellow arrow for left-hand turns at Jefferson Road/Clover Street intersection. A revised TIR was submitted on August 26, 2024.
8. The applicant provided additional traffic study information from NYSDOT and a letter from Passero Associates on August 29, 2024. In 2023, NYSDOT did an evaluation of Clover Street to determine if lowering the speed limit was warranted, in which it determined lowering the speed limit was not warranted. It is noted that the Planning Board and the Town Staff do not agree with the NYSDOT findings.
9. The Planning Board does not support the granting of NYS variances from Building and Fire Codes.
10. The apartment building property address of 2851 Clover Street was changed to 300 Tobey Village Road.
11. The Town Engineer provided a sewer study review memo dated August 12, 2025, accepting the provided Pittsford Oaks Down Stream Sewer Capacity Report dated June 13, 2025, received by the Town on June 30, 2025. This report verified that the downstream sewer capacity was sufficient to support both the potential future residential development in the sewer shed and the Pittsford Oaks project. It was also determined that the reserve capacity of the sewer was minimal, and any unanticipated future sewer use must be evaluated.
12. The landscaping plan includes greater than 50% native plantings in both number of species and number of plants.
13. This application was submitted to Monroe County Department of Planning & Development (PT24005) and review comments were received June 10, 2024. Comments were incorporated into the DRC report, dated July 3, 2024.
14. The applicant has attended a number of DRHPB meetings adjusting the building elevations. The applicant's submission for the August 28, 2025 meeting has addressed many of the concerns related to mass and rooflines and buildings footprint. It is expected that additional refinements to the building's appearance will be required by the DRHPB.
15. All public notices given by the Town for any public meetings or hearings on the project described the housing type as market rate apartments. The PUD was amended specifically to allow for market rate apartments. Any changes to this specific use will require a PUD rezoning application to the Town Board.
16. Town Code § 185-111 is not applicable to this project. Pittsford Oaks received its Preliminary Site Plan approval on January 13, 2025, and the new code section was not adopted until March 27, 2025, therefore we have not applied the new code to this project.
17. As a result of the comments received at the December 9, 2024 Town Hall public meeting, COMIDA at its December 17, 2024 board meeting adopted a resolution which waived the requirement for designated below-market-rate units in its housing policy, refrained from granting any partial real property tax abatement for the applicant's project, and granted the applicant sales and use tax exemption benefits up to

\$1,447,440 and a mortgage tax exemption up to \$285,000 (for total financial assistance of up to \$1,727,440).

CONDITIONS OF APPROVAL

1. Final Site Plan approval is subject to compliance with the Preliminary Site Plan & Preliminary/Final Subdivision approval resolution dated January 13, 2025, unless otherwise addressed herein.
2. Subject to compliance with or resolution of the DRC comments dated July 3, 2024, and the applicant's written responses dated July 18, 2024, and August 26, 2024, unless otherwise addressed herein.
3. Per the local law, the apartment building's appearance, including rooflines, materials, and colors, is subject to approval by the DRHPB.
4. A Letter of Credit (LOC) based upon an approved engineers estimate, using the Town's standard format, will be necessary for portions of the project, including but not limited to maintenance, inspections, and testing of the Stormwater Pollution Prevention Plan (SWPPP); sanitary and storm sewers; public sidewalks; landscaping adjacent to Clover Street, West Jefferson Road, Tobey Village Road, and Cloverwood Senior Living; and landscaping installed to buffer the historic home. The LOC must be posted prior to Planning Board signature.
5. Site inspection fees will be due prior to Planning Board signature and are based on portions of the Engineer's Estimate for site development.
6. Minor site plan modifications to meet Building or Fire Code do not have to be approved by the Planning Board.
7. Clearing limits must be flagged and approved by the Department of Public Works (DPW) prior to any site clearing.
8. A demolition permit is required prior to continued demolition of the Barn Bazaar buildings and former Five-Star Bank buildings and associated clearing of vegetation. A demolition permit will include only the demolition of the existing buildings, clearing of vegetation inside the Barn Bazaar courtyard, and within 25 feet of the existing structures. Clearing adjacent to the garage at 2867 Clover Street is limited to the minimum necessary to demolish the Barn Bazaar building. Existing utilities must be protected except for the disconnection of service lines to the buildings. Earth moving, grading, and asphalt or curb removal is not permitted prior to Town approval following a pre-construction meeting.
9. A Pre-Fire Plan, as required by Chapter 33 of the NYS Fire Code, must be submitted prior to the issuance of a demolition permit, and building permit.
10. Town Code 185-194 (C) states, "All projects shall have landscaping equal to a minimum expenditure of 1% of the total project cost." The landscaping cost estimate and associated landscaping plan must be revised and re-submitted to eliminate the line of "General Contractor Profit & Overhead." A revised cost estimate must be reviewed and approved prior to Planning Board signature. At the time of landscaping installation, minor changes to planting locations and or species are subject to approval of the DPW. All plantings must have a 2-year guarantee.

The Environmental Board has suggested the following changes be made to the landscaping plan:

- Please change the species of proposed street trees along Tobey Village Road to match the existing Sycamore species.
- Please replace the 39 Korean Dogwoods (CK2) with Pagoda Dogwood (cornus alternifolia), Flowering Dogwood (cornus florida), or Eastern Redbud (cercis canadensis), all native dogwood options.

11. The Developer shall not disturb greater than five acres of soil at any one time without prior written authorization from NYSDEC or the jurisdictional MS4. A 5-acre waiver is required from the Town of Pittsford (MS4) and is to be included within the SWPPP prior to submission of the NOI to NYSDEC.
12. The project shall include 12 exterior EV charging ports. Locations of exterior EV chargers is subject to DPW review and approval.
13. The dumpster and compactor area adjustments are subject to DPW approval, specifically adjustments in orientation, screening, and requirements to connect dumpster surface drainage to the sanitary sewer.
14. Final Site Plan signage details must be removed from the plans and replaced with the following PUD language prior to Planning Board signature. Final signage renderings are subject to DRHPB review and approval.

Signage: There will be no advertising signage which is visible from West Jefferson Road, Tobey Village Road or Clover Street for the Market Rate Apartment House except as follows:

- a) *Signage is subject to issuance of a Building Permit and Design Review and Historic Preservation Board approval. Interior lighting of signage is prohibited.*
 - b) *One one-sided identification sign at or near the intersection of Clover Street and West Jefferson Road, not to exceed 40 square feet.*
 - c) *One identification sign at Tobey Village Road and Clover Street, which may be two-sided and not to exceed 24 square feet per side.*
 - d) *One identification sign at the main driveway entrance on Tobey Village Road which may be two-sided and not to exceed 20 square feet per side. Exterior illumination is permitted for this identification sign.*
 - e) *Directional, informational and/or wayfinding signage shall be permitted on Tobey Village Road and the development parcels, subject to Department of Public Works review and possibly Design Review and Historic Preservation Board approval.*
 - f) *Temporary signage during construction: a total of two (2) two-sided signs, not to exceed 32 square feet per side, will be allowed and located at the intersection of Tobey Village Road with West Jefferson Road and Tobey Village Road with Clover Street.*
15. Exterior building features including the generator, pavilions, pergolas, fire pits and similar, are subject to review from the Building Department. Final Site Plans should note the approximate size and locations of these features, but specific details will not be required until building permits are applied for.
 16. Easements must be in place to allow for installation and maintenance of the new landscaping and retaining wall south of the 54-car parking lot on the Cloverwood Senior Living property, for emergency access through the PFCU property, for the Cloverwood Senior Living property drainage across the Pittsford Oaks property, as well as for any other necessary cross access easements that may be discovered. Proof of the execution and filing of these easements will be required prior to Planning Board signature.
 17. Subject to the granting of applicable easements to the Town of Pittsford, including but not limited to access and maintenance of stormwater, storm sewers, and sanitary sewers. The execution and filing of these easements will be required prior to Planning Board signature.
 18. Final Site Plan approval is subject to review and approval of the sidewalk design and ROW grading by the Commissioner of Public Works and the Town Engineer. Approval of the sidewalk design will be required prior to Planning Board signature.
 19. Subject to engineering review and approval of the project SWPPP and storm sewer design, including drainage from the PFCU property.

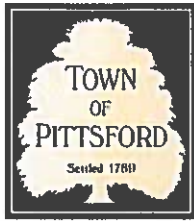
20. Overall construction sequencing will be reviewed as part of pre-construction meetings.
21. Pittsford Sewer Department entrance fees will be due prior to the Sewer Department signatures on final approved plans.
22. Final Site Plan submission shall include a letter outlining how these Conditions of Approval have been addressed and shall include details of where each resolution can be found (i.e. notation of the plan sheet). This letter must be submitted and reviewed prior to Planning Board signature.
23. A building permit from the Building Department will be required prior to commencement of any and all construction of the apartment building.
24. The Town's standard Recreation Fund Fee is applicable for each new unit. This fee is currently \$1,000.00 per unit and is collected upon the issuance of a building permit for the building.
25. Outstanding Engineering Review Fees (ERF) must be resolved prior to Planning Board signature.
26. This Final Site Plan approval is contingent upon the applicant's adherence to the Town's PUD regulations as interpreted by the Town of Pittsford.
27. Subject to applicable regulatory approvals, including but not limited to: Commissioner of Public Works, Sewer Department, Monroe County Water Authority, NYSDOT, MCHD, and the Town Review Engineer.
28. This Final Site Plan approval is contingent upon the applicant, its affiliates, and/or its successors-in-interest, refraining from (a) applying to any third party, including COMIDA or any governmental entity, agency of government or any non-governmental entity or agency for any incentive, grant, tax abatement or other preference or benefit of any manner or description whatsoever that would or could require any set aside or reservation of any portion of housing units comprising the project for pricing below market rate (collectively "Incentive"); or (b) receiving any such Incentive. For purposes of this section, "market rate" shall mean the fair market value for every unit without adjustment based on household income level or statistical area median household income or any other adjustment intended to reduce pricing below fair market value or having that effect. Failure to comply with this condition may result in the revocation of this Final Site Plan approval, the denial or revocation of any approval for this project, the denial or revocation of any permit authorizing any demolition or building for this project, the issuance of a stop work order for any work proceeding on the project, and other enforcement measures authorized by law.

The within Resolution was motioned by Planning Board Member _____, seconded by Planning Board Member _____, and voted upon by members of the Planning Board as follows:

David Jefferson
Paul Alguire
John Halldow
Kevin Morabito
Paula Liebschutz
Hali Buckley
John Limbeck

Adopted by the Planning Board on September 8, 2025.

April Zurowski
Planning Assistant



TOWN OF PITTSFORD

SITE PLAN APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: Monroe Golf Club

LOCATION: 155 Golf Ave

TAX ACCOUNT NO: 151.20-1-1

OWNER: Scott Ellender (GM/COO)

APPLICANT: SAME

ADDRESS: 155 Golf Ave

ADDRESS: _____

CITY, ST ZIP: Pittsford NY 14534

CITY, ST ZIP: _____

PHONE: (585) 586-3440

PHONE: _____

FAX: _____

FAX: _____

E-MAIL: sellender@monroegolfclub.com

E-MAIL: sellender@monroegolfclub.com

AGENT: Matt Tomlinson, Marathon Engineering

ADDRESS: 39 Cascade Dr

CITY, ST ZIP: Rochester NY 14614

PHONE: (585) 458-7770

FAX: _____

E-MAIL: mtomlinson@marathoneng.com

BRIEF DESCRIPTION OF PROJECT: Parking lot reconfiguration and improvements

REQUEST FOR: ☐ Concept Subdivision
(Please ☐ Preliminary Subdivision
check all ☐ Final Subdivision
applicable)

HEARING DATE REQUESTED: _____

☐ Special Permit
☒ Preliminary Site Plan
☒ Final Site Plan

Square Footage of Building: 0

Total Acreage of Disturbance: 0.5

ZONING CLASSIFICATION: SRAA: Suburban Residential

SIZE OF PARCEL: 186.72 ac

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? ☒ NO ☐ YES (Please specify)

If this parcel is within 500' of a municipal boundary, please specify: n/a

(Municipality)

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Monroe Golf Club

(Project Name)

The undersigned, being the applicant(s) to the...

☐ Town Board ☐ Zoning Board of Appeals ☒ Planning Board ☐ Design Review Board

...of the Town of Pittsford, for a...

☐ change of zoning ☐ special permit ☐ building permit ☐ permit ☐ amendment
☐ variance ☐ approval of a plat ☐ exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

N/A


Signature of Applicant

155 Golf Ave

Street Address

Pittsford NY 14534

City/Town, State, Zip Code

7/8/25
Dated

Overview

Monroe Golf Club is proposing to rehabilitate and reconfigure their existing parking facilities, adding a total of 34 spaces as well as landscape islands and sidewalk improvements. This project, with its associated landscaping improvements, will further enhance the facilities for the club members as well as address the challenges Monroe faces while hosting large events. The islands are not curbed in order to match the existing landscape aesthetic throughout the complex.

These improvements are to existing facilities and increase the level of conformity with the Parking Regulations recently adopted by the Town. No changes to site ingress/egress are proposed, nor any changes to primary utilities; no variances have been identified.

Special Permit Standards

The board shall determine whether the proposed use would endanger or tend to endanger the public health, safety, morals or the general welfare of the community. In making such determination, it shall consider the following:

1. *Whether the proposed use will be in harmony with the general purpose and intent of this chapter, taking into account the location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it and the size of the site with respect to streets giving access to it.*

This project upgrades existing facilities and is located in the interior portion of the golf course property. There are no changes to the proposed use of a country club with various recreational amenities for members, nor will this project change the nature and intensity of the existing operation.

2. *Whether the proposed use will tend to depreciate the value of adjacent property, taking into account the possibility of screening or other protective measures.*

This project will not have any deleterious impact on the value of neighboring properties – it enhances the existing facilities.

3. *Whether the proposed use will be detrimental to the flow of traffic in the vicinity or otherwise create a traffic hazard.*

This project will not have any impact on traffic in the area and will result in additional parking for large events that otherwise would spill over to other areas.

4. *Whether the proposed use will create fire or other safety hazard.*

This project does not create a fire or other safety hazard.

5. *Whether the size and use of the proposed facility, alone or in combination with similar facilities in the area, will be so substantially out of proportion with the character of nearby residential neighborhoods as to jeopardize the continued use of the neighborhoods for residential purposes.*

This project enhances existing facilities and therefore is not out of proportion with the character of nearby residential neighborhoods and will have no impact on their continued residential use. Views from the street will be the same or enhanced from what exists today.

6. *Whether the proposed use or operation will produce or present substantial danger of excessive noise, noxious odors, noxious or harmful discharge, fire or explosion, radiation, chemical or toxic release or other conditions injurious to the health or general welfare of occupants of the surrounding area.*

This project, which enhances existing recreational facilities, will not have any negative impacts to the health or general welfare of occupants of the surrounding area.

7. *Whether the location and size of the use, the size of the site in relation to the use, the operations in connection with the use and the parking and traffic related to the operations will be such as to create a significant hazard to the safety and general welfare of the surrounding area.*

This project, which enhances existing parking facilities, will not create a significant hazard to the safety and general welfare of the surrounding area.

8. *Whether the proposed use will be detrimental to neighboring property or alter the essential character of the neighborhood.*

This project, which enhances existing parking facilities, will not be detrimental to neighboring property nor will it alter the essential character of the neighborhood.

9. *Whether the proposed use complies with the State Environmental Quality Review Act (SEQRA).*

The proposed use and construction of improvements complies with the State Environmental Quality Review Act (SEQRA). A Short Environmental Assessment Form (SEAF) was prepared and submitted to the Town.

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

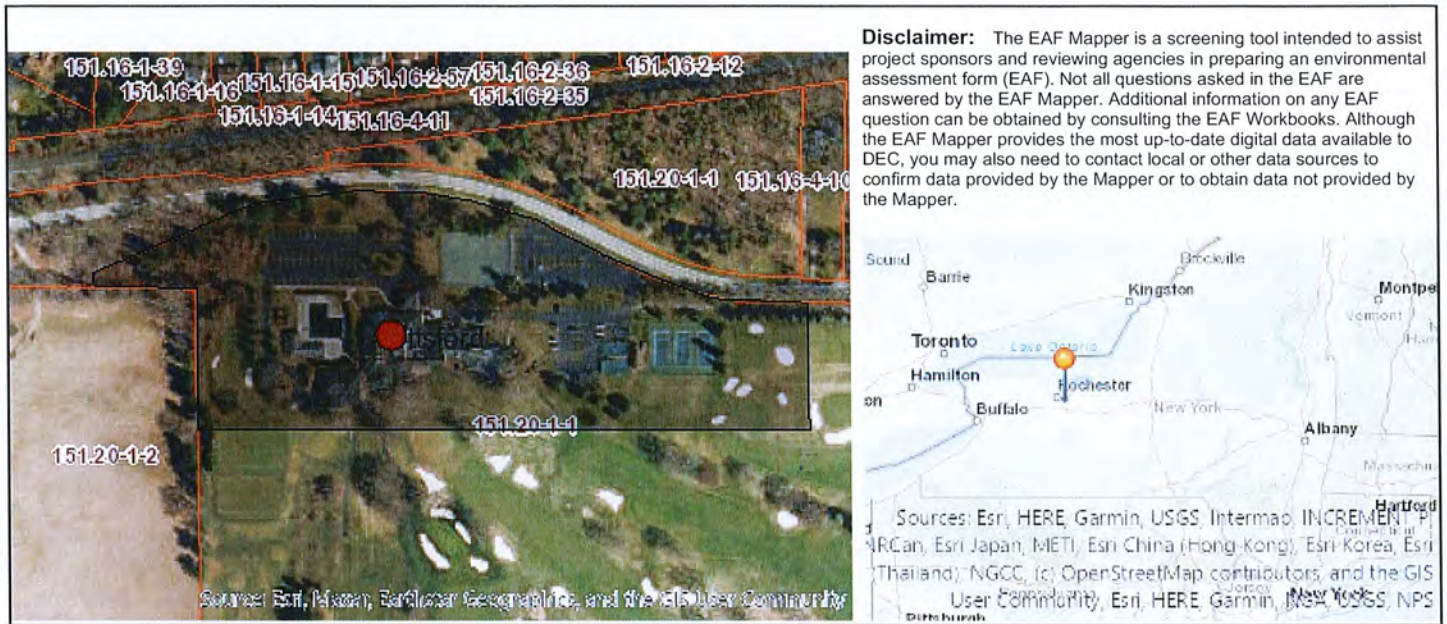
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Monroe Golf Club parking lot improvements			
Project Location (describe, and attach a location map): 155 Golf Ave Pittsford NY 14534			
Brief Description of Proposed Action: Monroe Golf Club is proposing to rehabilitate and reconfigure their existing parking facilities, adding a total of 34 spaces as well as landscape islands and sidewalk improvements. This project, with its associated landscaping improvements, will further enhance the facilities for the club members as well as address the challenges Monroe faces while hosting large events. The islands are not curbed in order to match the existing landscape aesthetic throughout the complex. These improvements are to existing facilities and increase the level of conformity with the Parking Regulations recently adopted by the Town. No changes to site ingress/egress are proposed, nor any changes to primary utilities; no variances have been identified.			
Name of Applicant or Sponsor: Scott Ellender, Monroe Golf Club		Telephone: 585-586-3440 E-Mail: sellender@monroegolfclub.com	
Address: 155 Golf Ave			
City/PO: Pittsford		State: NY	Zip Code: 14534
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: MCDOT - driveway repair		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		186.72 acres	
b. Total acreage to be physically disturbed?		0.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		186.72 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Existing service in place, no changes proposed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ Existing service in place, no changes proposed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		
There will be a slight reduction in overall impervious, therefore no new stormwater generated.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: Matt Tomlinson, Marathon Engineering, as Agent Date: _____ Signature:  Title: Project Manager		



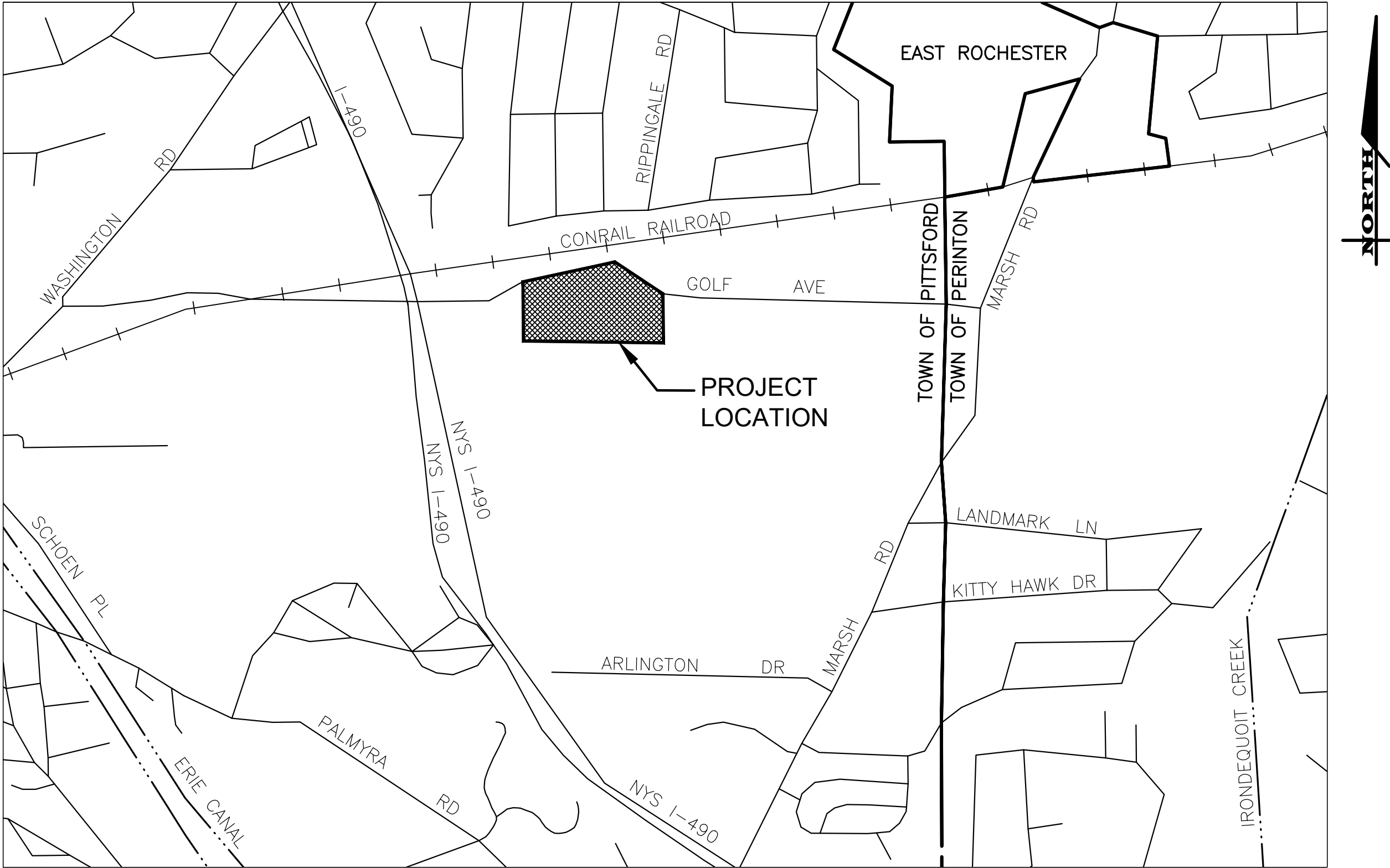
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

PRELIMINARY/FINAL SITE PLANS
for
MONROE GOLF CLUB
PARKING IMPROVEMENTS

155 GOLF AVE (COUNTY ROAD 35)

SITUATE IN:

TOWN OF PITTSFORD - MONROE COUNTY - STATE OF NEW YORK



LOCATION MAP

NOT TO SCALE



ROCHESTER LOCATION
39 CASCADE DRIVE
ROCHESTER, NY 14614
585-458-7770
ITHACA LOCATION
840 HANSHAW RD, STE 12
ITHACA, NY 14850
607-241-2917
www.marathoneng.com

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MARATHON ENGINEERING
OF ROCHESTER, P.C.

LIST OF DRAWINGS		
No.	DWG. No.	DESCRIPTION
--	--	COVER
1	V1.0	EXISTING FEATURES AND DEMOLITION PLAN
2	C1.0	LAYOUT & LANDSCAPING PLAN
3	C2.0	GRADING / EROSION CONTROL PLAN
4	C3.0	CONSTRUCTION DETAILS

PITTSFORD PLANNING BOARD

MONROE COUNTY
DEPT. OF TRANSPORTATION

APPROVED: _____
DATE: _____
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS

APPROVED BY: _____
TOWN ENGINEER
DATE: _____

APPROVED BY: _____
COMMISSIONER OF PUBLIC WORKS
DATE: _____



PRELIMINARY/ FINAL SITE PLANS
for
MONROE GOLF CLUB
PARKING IMPROVEMENTS

JOB NO:	0932-25	
SCALE:	1"=30'	
DRAWN:	MT	
DESIGNED:	MT	
DATE:	07/11/25	
REVISIONS		
DATE	BY	REVISION

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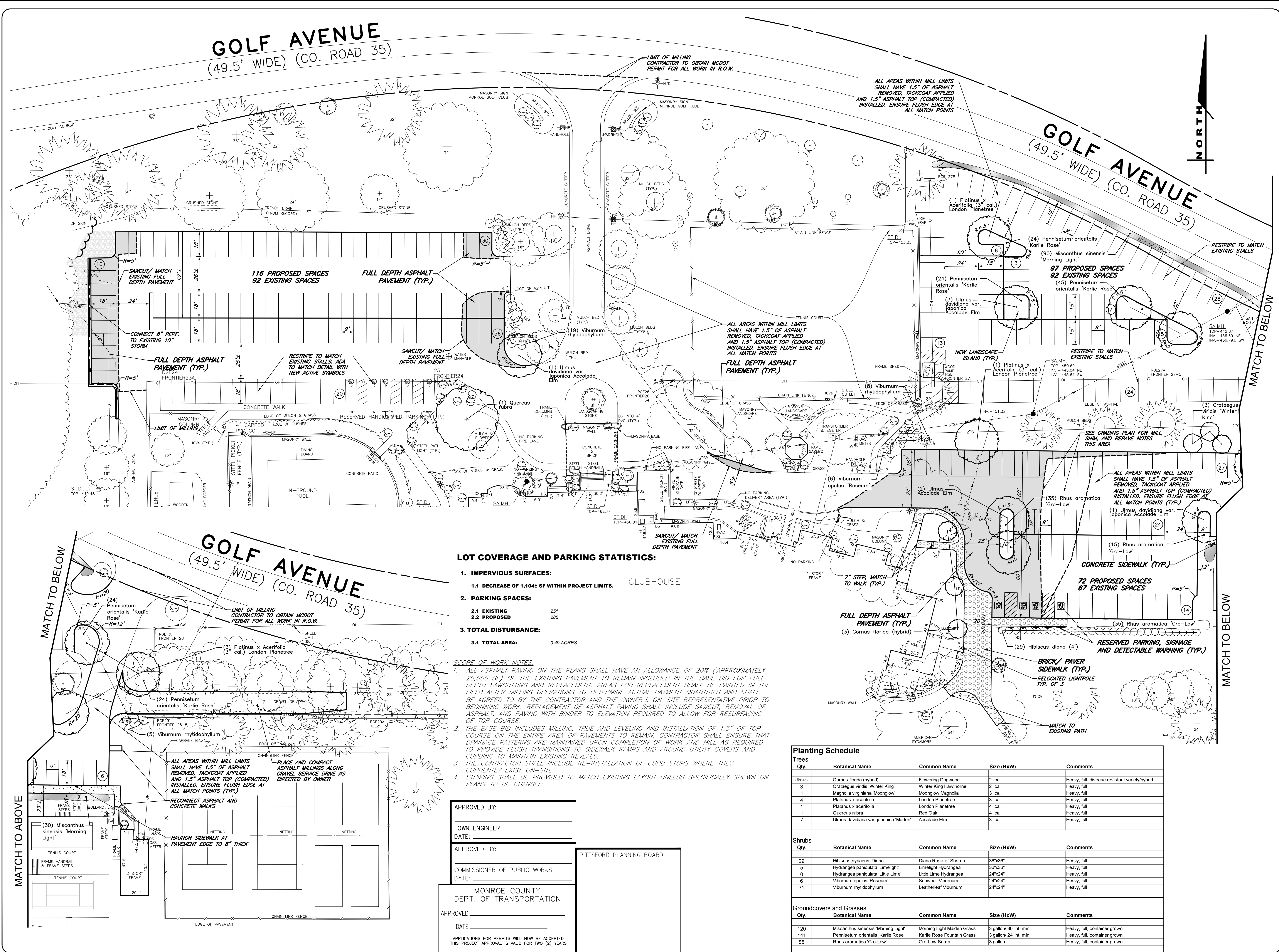
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DRAWING TITLE: EXISTING CONDITIONS AND DEMOLITION PLAN	
1 of 4 SHEET No:	V1.0
0932-25 JOB No:	
DRAWING No:	

File: Z:\Engineering\Job Files\0932-18 Drawings\2025 Parking Improvements\0932-25 Design.dwg, Last saved: 7/10/2025, Plot Date: 7/10/2025, By: MTOMLINSON, Plot Style: ---



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PRELIMINARY/ FINAL SITE PLANS
for
**MONROE GOLF CLUB
PARKING IMPROVEMENTS**

STATE OF NEW YORK
TOWN OF PITTSFORD
MONROE COUNTY
155 GOLF AVENUE

JOB NO: 0932-25
SCALE: 1"=30'
DRAWN: MT
DESIGNED: MT
DATE: 07/11/25

REVISIONS

DATE	BY	REVISION

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COLE M. PAPASERGI

DRAWING TITLE:
**LAYOUT AND
LANDSCAPING
PLAN**

2 of 4	C1.0
SHEET No:	
0932-25	JOB No:
	DRAWING No:

JOB NO: 0932-25
SCALE: 1"=30'
DRAWN: MT
DESIGNED: MT
DATE: 07/11/25

REVISIONS		
DATE	BY	REVISION

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DRAWING TITLE: GRADING AND EROSION CONTROL PLAN	
3 of 4 SHEET No:	C2.0
0932-25 JOB No:	
DRAWING No:	

File: Z:\Engineering\Job Files\18\Drawings\2025 Parking Improvements\0932-25 Details.dwg, Plot Date: 7/10/2025, Plot Style: ---, Last saved: 7/8/2025, Plot Style: ---

PROJECT STATISTICS

1. GENERAL:

- 1.1 PROPERTY OWNER -** MONROE GOLF CLUB
1.2 PROPERTY ADDRESS - 155 GOLF AVENUE
ROCHESTER, NY 14614
- 1.3 TAX ACCOUNT -** 151.20-1-1
- 2. ZONING REGULATIONS:**
- 2.1 ZONING DISTRICT -** RRAA - RURAL RESIDENTIAL
GOLF COURSE IS A SPECIALLY PERMITTED USE

GENERAL NOTES:

- APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
- INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION NOTES

- STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "LAYOUT PLAN". THE BUILDING FOOTPRINT(S), DATED 07/23/24, WERE PROVIDED BY HANLON ARCHITECTS. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
- BOUNDARY** - BOUNDARY INFORMATION WAS PREPARED BY MARATHON ENGINEERING AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
- COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREA/METHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
- DOCUMENTATION REQUIREMENTS** - THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING THE OWNER OR ENGINEER WITH THE PRECISE LOCATIONS OF BLIND CONNECTIONS (I.E. WYE LOCATIONS), AS WELL AS THE CONFIGURATIONS OF LATERALS AND SERVICES TO FACILITATE THE CREATION OF AS-BUILT MAPS. THIS INFORMATION PROVIDED SHOULD BE ABLE TO BE RECREATED ON THE GROUND SURFACE, SUCH AS MEASUREMENTS FROM BUILT INFRASTRUCTURE OR COORDINATES ON THE PROJECT DATUM, OR AS AGREED UPON DURING THE PRECONSTRUCTION MEETING. ANY EXPENSES RELATED TO CONFIRMING UTILITY LOCATIONS THAT WERE NOT RECORDED DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS
 - CLEANING PAVEMENT AND WALKWAY SURFACES
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS
 - PROVIDING REDLINES FOR RECORD DRAWING
 - COMPLETION OF FINAL PUNCH LIST ITEMS

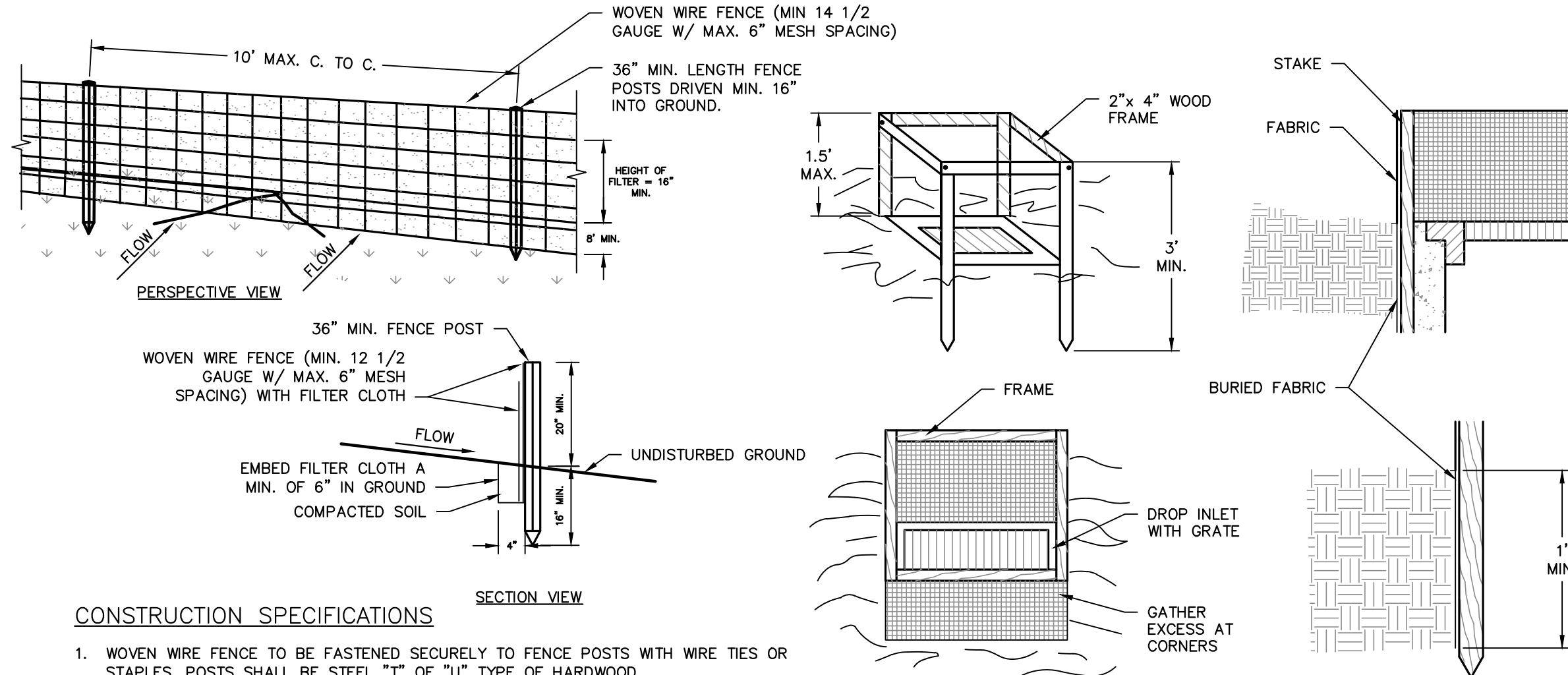
UTILITY NOTES

1. STORM

- 1.1 REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY AND ALL THERMOPLASTIC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321.
- 1.2 MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:
 - REINFORCED CONCRETE PIPE (RCP), CLASS III
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-294, TYPE S, ASTM D-3350.
- 1.3 TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE OWNER'S ON-SITE REPRESENTATIVE.

TOWN OF PITTSFORD NOTES:

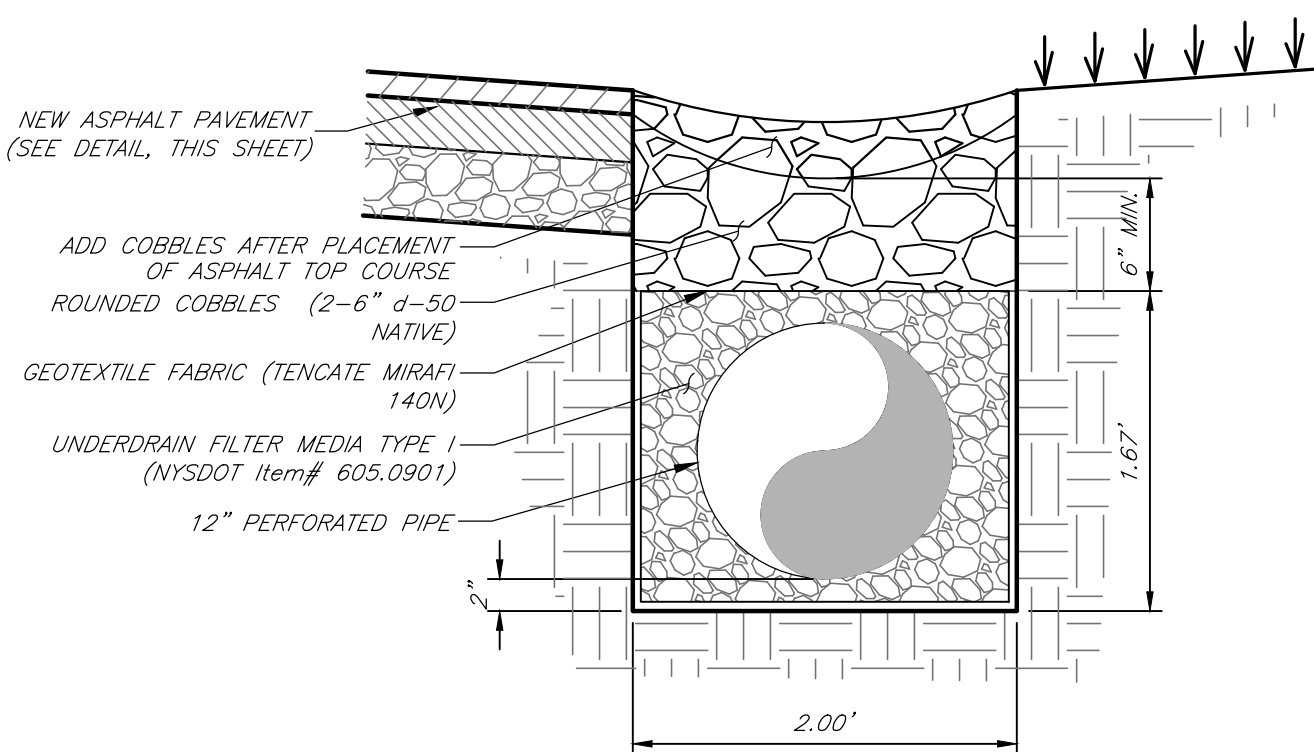
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED, INSTALLED AND MAINTAINED PER THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ALL LIGHTING WILL BE DOWN-SHIELDED AND DARK-SKY COMPLIANT.
- ALL FIRE LANES WILL REMAIN OPEN AND UNOBSTRUCTED AT ALL TIMES DURING CONSTRUCTION. SITE ENTRANCES AND ROADWAYS MAY NOT BE BLOCKED TO IMPEDE EMERGENCY ACCESS AT ANY TIME DURING CONSTRUCTION.
- PROVIDE PERIMETER CONSTRUCTION FENCING TO SECURE CONSTRUCTION AREA AS NEEDED.
- TOWN OF PITTSFORD CODE ENFORCEMENT OFFICERS CAN REQUIRE SHIELDING OF LIGHT SOURCES THAT ARE VISIBLE FROM PUBLIC R.O.W.'S OR RESIDENTIAL HOMES.



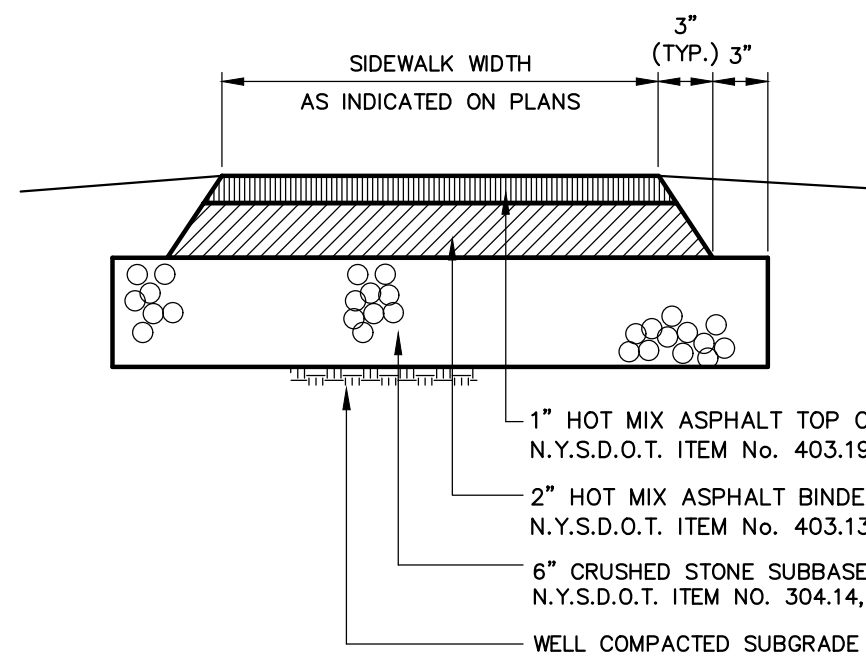
CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "I" OF "U" TYPE OF HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKKA 1140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- ENVIRO-FENCE WITH INTEGRAL MESH IS ACCEPTABLE SUBSTITUTE.

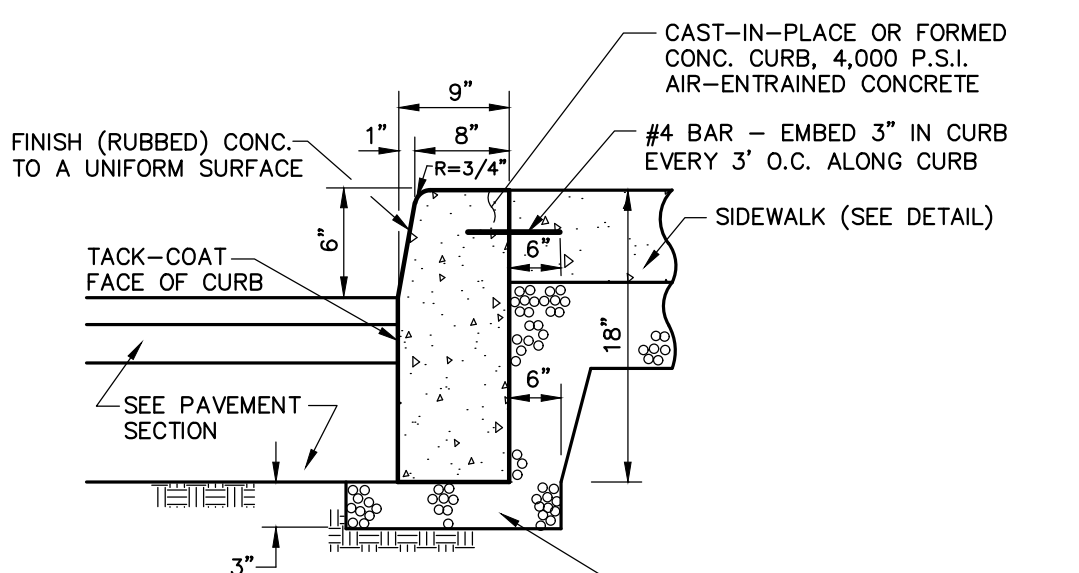
SILT FENCE



STONE EDGE TREATMENT



CART PATH/ ASPHALT WALK



NOTES:

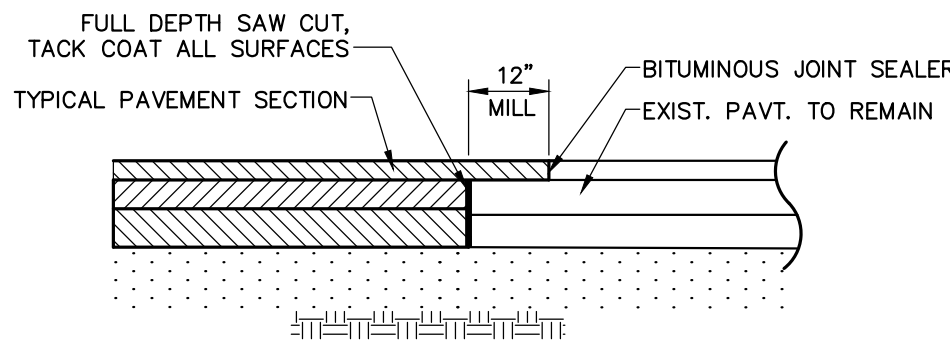
- PROVIDE 7" REVEAL AT DROP INLETS
- PROVIDE CONSTRUCTION JOINTS AT 20' INTERVALS AND EXPANSION JOINTS AT 80' MAXIMUM SPACING. EXPANSION JOINTS SHALL BE FORMED WITH PRE-MOLDED BITUMINOUS JOINT FILLER AND REBAR TO PREVENT SEPARATION.

CONCRETE CURB WITH SIDEWALK BEHIND

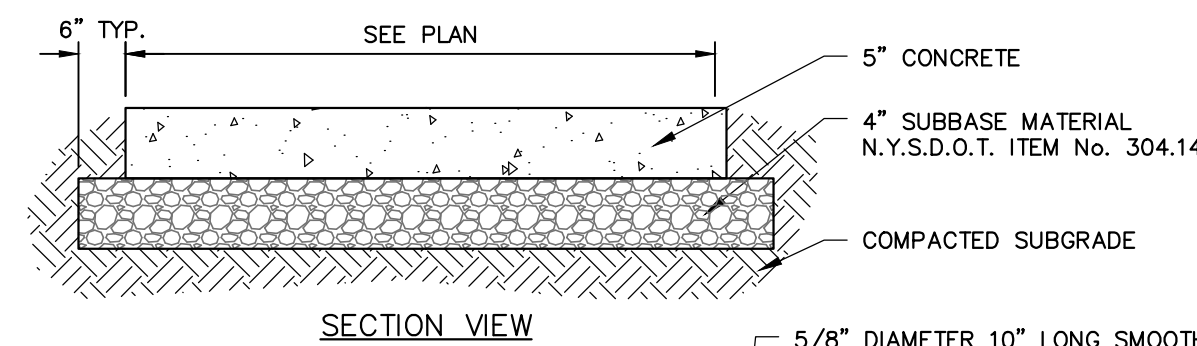
CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- IF AN INLET IS LOCATED IN A PAVED AREA, ONCE THE SURROUNDING HARD SURFACE IS INSTALLED, THE CONTRACTOR SHALL TRANSITION TO AN APPROVED INLET PROTECTION METHOD FOR PAVED SURFACES, SUCH AS A SEDIMENT BASKET OR SILT SOCK.

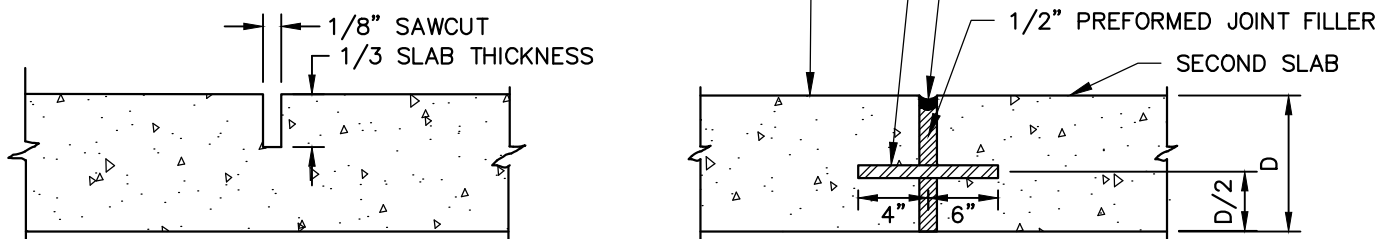
DROP INLET PROTECTION



PAVEMENT MATCH



SECTION VIEW

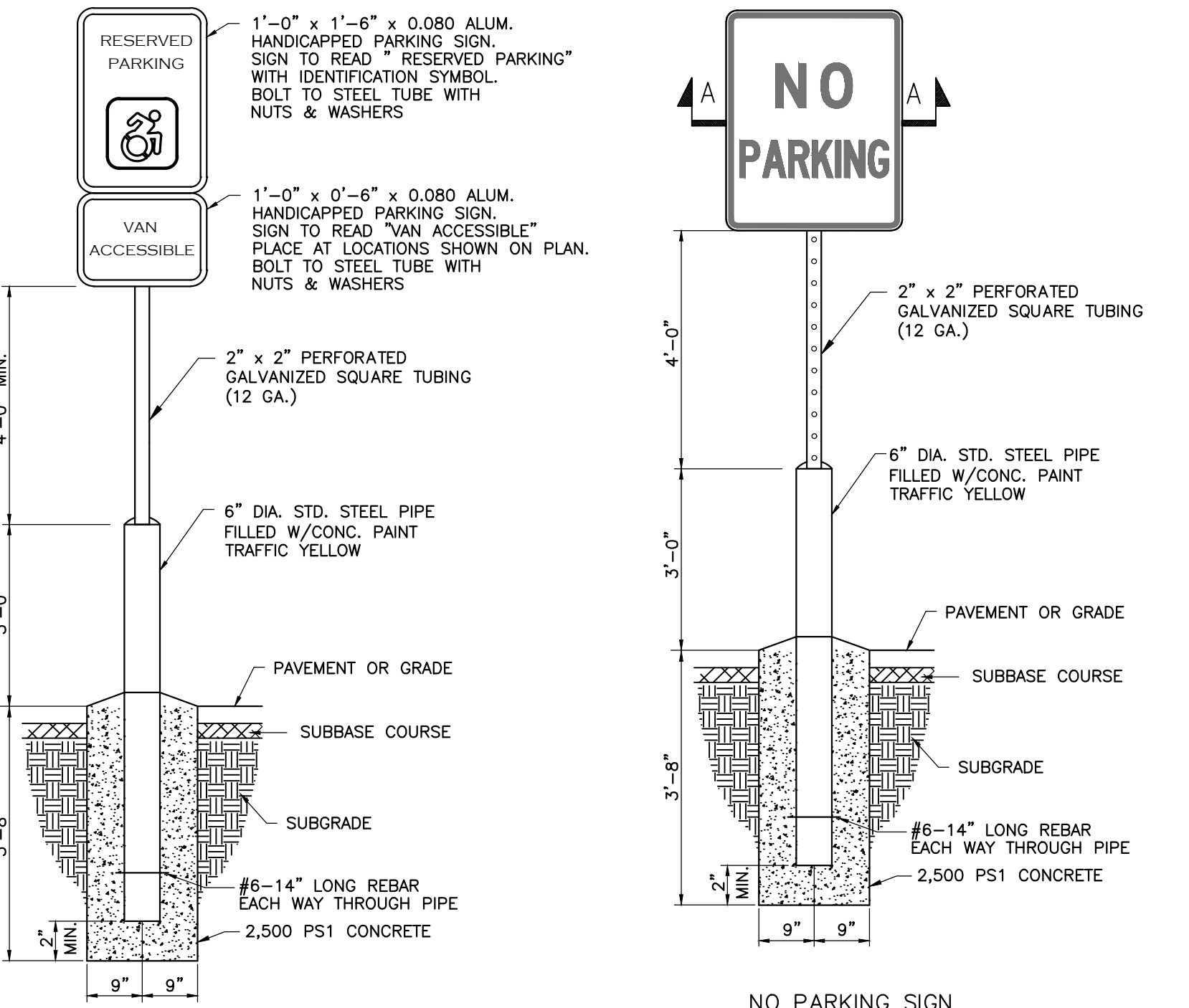


CONTROL/SCORE JOINT

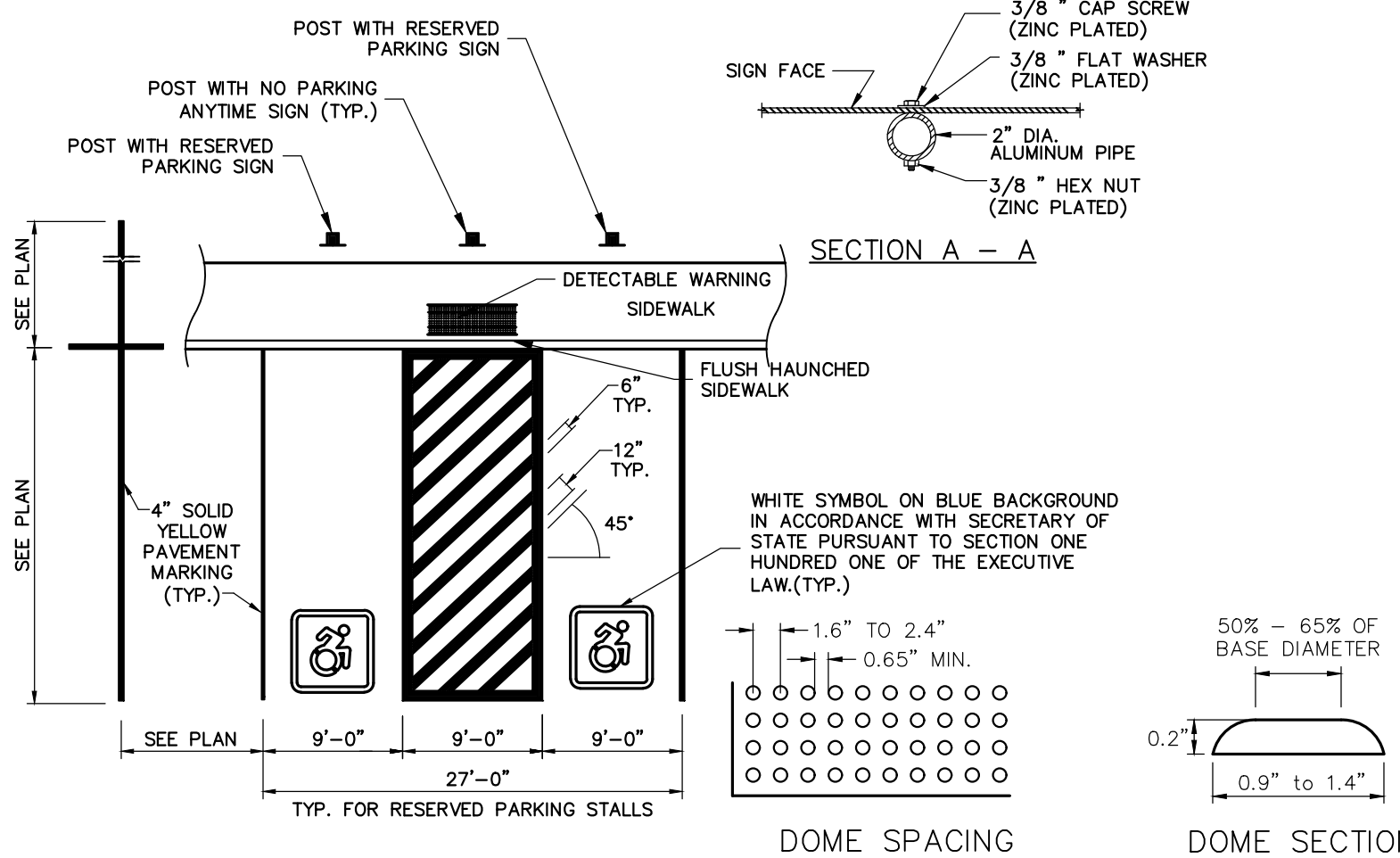
NOTES:

- CONCRETE SHALL BE 4000 PSI AIR-ENTRAINED MIX.
- CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH (IF NOT SPECIFIED AS EXPOSED AGGREGATE CONCRETE) AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY PRODUCT MANUFACTURER.
- EXPANSION JOINTS SHALL BE PROVIDED AT FIXED STRUCTURES AND AT LEAST EVERY 25' ALONG THE SIDEWALK.
- CONSTRUCTION JOINTS WITH DOWELS SHALL BE PROVIDED AT SUBSEQUENT POURS.
- CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON PLAN AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT.
- SCORE PATTERN - SIDEWALK TO BE SCORED TO CREATE EQUAL SQUARES BASED ON THE WIDTH (MAY VARY IN CERTAIN AREAS). SCORING SHALL BE COORDINATED WITH OWNERS ON-SITE REP PRIOR TO SCORING.
- SIDEWALKS SHALL HAVE A MINIMUM 0.5% AND MAXIMUM 2.0% CROSS SLOPE TO PROVIDE POSITIVE DRAINAGE.
- CROSS SLOPE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENTRANCES.
- "SNAP-CAP" OR EQUAL SHALL BE USED FOR PROTECTING TOP EDGE OF EXPANSION JOINTS.
- SEE CURBING DETAIL FOR DOWELING WHEN ADJACENT TO CONCRETE CURBING.

CONCRETE SIDEWALK

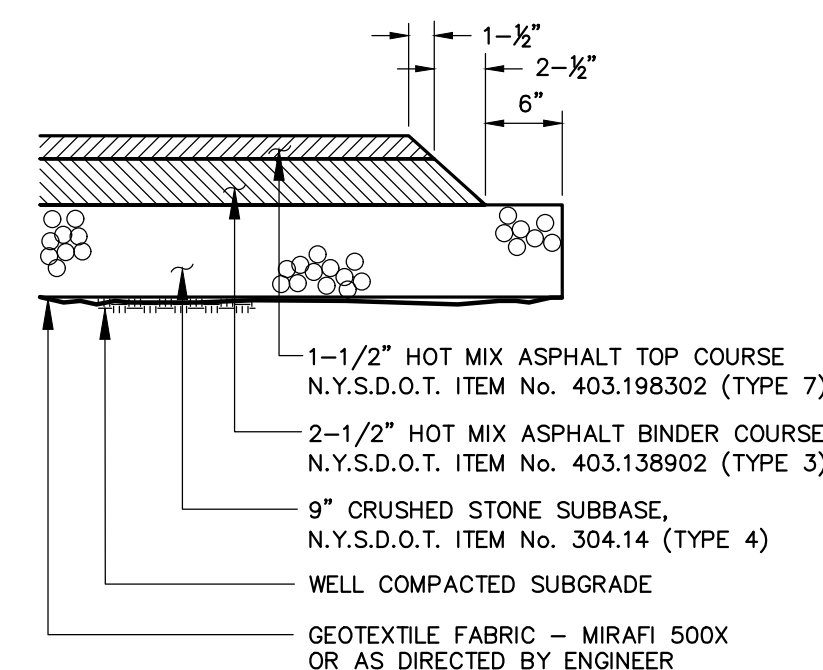


RESERVED PARKING SIGN



NOTE:
ALL ACCESSIBLE PARKING AND ROUTES SHALL BE CONSTRUCTED CONSISTENT WITH THE MOST CURRENT ADA GUIDELINES. IN GENERAL ALL PARKING AND LOADING ZONES SHALL HAVE NO MORE THAN 2.0% SLOPE IN ANY DIRECTION. PRIOR TO PAVING CONTRACTOR SHALL VERIFY SLOPES AND REPORT ANY SLOPES GREATER THAN 2% TO THE ENGINEER.

RESERVED PARKING AND SIGNAGE



PAVEMENT SECTION

NOTES:

- CONTRACTOR TO CLEAN AND TACK COAT BEFORE PLACING TOP COAT IF BINDER IS CONTAMINATED OR GREATER THAN 30 DAYS PASSES BETWEEN PLACEMENT OF BINDER AND TOP
- PAVEMENT SPECIFICATION NUMBERS REFERENCE THE 2008 NYSDOT STANDARD SPECIFICATION BOOK

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PRELIMINARY/ FINAL SITE PLANS
for
**MONROE GOLF CLUB
PARKING IMPROVEMENTS**
155 GOLF AVENUE
MONROE COUNTY
STATE OF NEW YORK
TOWN OF PITTSFORD

JOB NO: 0932-25
SCALE: N.T.S.
DRAWN: MT
DESIGNED: MT
DATE: 07/11/25

REVISIONS

DATE	BY	REVISION
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THIS IS A VARIATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 16, SECTION 27(1)(b) WHICH PROVIDES THAT ANY PERSON, UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT, SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY PROJECT. THE DESIGN OF A PROJECT SHALL BE THE RESPONSIBILITY OF THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY PROJECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY PROJECT.

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STATE OF NEW YORK
OFFICE OF PROFESSIONAL ENGINEERS
110080
COLE M. PAPASERGI
LICENSED PROFESSIONAL ENGINEER

DRAWING TITLE: NOTES AND CONSTRUCTION DETAILS

4 of 4	
SHEET No:	C3.0
0932-25	
JOB No:	DRAWING No:

**TOWN OF PITTSFORD
PLANNING BOARD
SEQRA RESOLUTION
155 Golf Avenue (Monroe Golf Club)
Preliminary/Final Site Plan & Special Use Permit
Tax Parcel #151.20-1-1**

WHEREAS, Marathon Engineering, as agent for Monroe Golf Club, has made an application for Preliminary/Final Site Plan and Special Use Permit approval for the reconfiguration of the parking lot and associated site work at 155 Golf Avenue, with application materials received July 11, 2025; and

WHEREAS this is an Unlisted Action pursuant to SEQRA and as the only involved agency the Planning Board is conducting a single agency review; and

WHEREAS a Part I Short EAF was submitted by the applicant and the Planning Board has completed a Part II Short EAF, attached hereto; and

NOW, THEREFORE, upon consideration by the Planning Board of all written and oral submissions and testimony by the applicant, appropriate agencies, and the public, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act based upon the following Findings of Fact:

FINDINGS OF FACT

1. This application proposes a reconfiguration of the existing parking lot adjacent to and in front of the main building at 155 Golf Avenue (Monroe Golf Club). Multiple areas of the parking lot will be adjusted to provide for a total of 285 parking spaces and will include additional landscaping and new parking islands.
2. The Planning Board has considered possible environmental impacts associated with the application and completed a Short Part II EAF which did not identify significant impacts, attached hereto.
3. The Planning Board has considered the possible impacts identified in Town Code §185-174 and has concluded that this action will not have any significant adverse impacts on the community.
4. The proposed site work is more than 100 feet from the nearest property line, which is shared with Powers Farm. The site work is proposed more than 275 feet, at the closest location, from the nearest residential property line, which is across the street from Monroe Golf Club.
5. The total site disturbance is 0.5 +/- acres for the proposed site work. A SWPPP was not required.

CONCLUSION

The Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act.

The within Resolution was motioned by Planning Board Member _____, seconded by Planning Board Member _____, and voted upon by members of the Planning Board as follows:

David Jefferson
Paul Alguire

Kevin Morabito
Paula Liebschutz
Hali Buckley
John Limbeck
John Halldow

Adopted by the Planning Board on August 25, 2025.

April Zurowski
Planning Assistant

DRAFT

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Monroe Golf Club parking lot improvements			
Project Location (describe, and attach a location map): 155 Golf Ave Pittsford NY 14534			
Brief Description of Proposed Action: Monroe Golf Club is proposing to rehabilitate and reconfigure their existing parking facilities, adding a total of 34 spaces as well as landscape islands and sidewalk improvements. This project, with its associated landscaping improvements, will further enhance the facilities for the club members as well as address the challenges Monroe faces while hosting large events. The islands are not curbed in order to match the existing landscape aesthetic throughout the complex. These improvements are to existing facilities and increase the level of conformity with the Parking Regulations recently adopted by the Town. No changes to site ingress/egress are proposed, nor any changes to primary utilities; no variances have been identified.			
Name of Applicant or Sponsor: Scott Ellender, Monroe Golf Club		Telephone: 585-586-3440 E-Mail: sellender@monroegolfclub.com	
Address: 155 Golf Ave			
City/PO: Pittsford		State: NY	Zip Code: 14534
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: MCDOT - driveway repair		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		186.72 acres	
b. Total acreage to be physically disturbed?		0.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		186.72 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Existing service in place, no changes proposed. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ Existing service in place, no changes proposed. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		
There will be a slight reduction in overall impervious, therefore no new stormwater generated.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: Matt Tomlinson, Marathon Engineering, as Agent Date: _____ Signature:  Title: Project Manager		

Short Environmental Assessment Form

Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. <u>Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. <u>Will the proposed action result in a change in the use or intensity of use of land?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. <u>Will the proposed action impair the character or quality of the existing community?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. <u>Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. <u>Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. <u>Will the proposed action impact existing:</u> a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. <u>Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. <u>Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. <u>Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. <u>Will the proposed action create a hazard to environmental resources or human health?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Short Environmental Assessment Form ***Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**TOWN OF PITTSFORD
PLANNING BOARD
RESOLUTION
155 Golf Avenue (Monroe Golf Club)
Preliminary/Final Site Plan & Special Use Permit
Tax Parcel #151.20-1-1**

WHEREAS, Marathon Engineering, as agent for Monroe Golf Club, has made an application for Preliminary/Final Site Plan and Special Use Permit approval for the reconfiguration of the parking lot and associated site work at 155 Golf Avenue, with application materials received July 11, 2025; and

WHEREAS this is an Unlisted Action pursuant to SEQRA and as the only involved agency the Planning Board is conducting a single agency review; and

WHEREAS, a public hearing was duly advertised and held on August 25, 2025, and public comment was incorporated into the public record; and

NOW, THEREFORE, upon consideration by the Planning Board of all written and oral submissions and testimony by the applicant, appropriate agencies, and the public, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board of the Town of Pittsford grants Preliminary/Final Site Plan and Special Use Permit approval based upon the following Findings of Fact and subject to compliance with the following Conditions of Approval:

FINDINGS OF FACT

1. This application proposes a reconfiguration of the existing parking lot adjacent to and in front of the main building at 155 Golf Avenue (Monroe Golf Club). Multiple areas of the parking lot will be adjusted to provide for a total of 285 parking spaces and will include additional landscaping and new parking islands.
2. There are no proposed changes to the exterior lighting at the site. Any future changes to exterior lighting will require Planning Board approval and will be subject to Town Code Article XV.
3. The Planning Board has considered the possible impacts identified in Town Code §185-174 and has concluded that this action will not have any significant adverse impacts on the community.
4. The total site disturbance is 0.5 +/- acres for the proposed site work. A SWPPP was not required.
5. The proposed site work is the proposed project occurs on property with boundaries within 500 feet of a farm operation located within an agricultural district and an Agricultural Data Statement was prepared.
6. The Planning Board finds that the site improvements maintain compliance with Town Code Article XVA to the greatest extent practicable; offers and innovative development/design solution for the site in question; will not result in a detrimental effect on the public health, safety, or general welfare; and is compatible with the stated vision and goals of the Town's Comprehensive Plan and other relevant plans and studies.

CONDITIONS OF APPROVAL

1. Subject to compliance with or resolution to review comments from the Town's review engineer dated August 19, 2025. A written response to these comments should be submitted with final plans for Planning Board signature.
2. Please add the following note to final plans: "Site entrances and roadways may not be blocked to impede emergency access at any time during construction."

3. Minor adjustments to the approved landscaping plan are subject to Department of Public Works approval. A cost estimate should be provided to show that the site improvements meet Town Code §185-194 C. which requires all projects shall have landscaping equal to a minimum expenditure of 1% of the total project cost. The estimate should not include costs for excavating, earthmoving, fill, grading, or paving associated with normal requirements of building.
4. Six full-size copies of complete plan sets should be submitted to the Town for Planning Board signature and shall include a letter outlining how these Conditions of Approval have been addressed.
5. Subject to applicable regulatory approvals, including but not limited to: Town Engineer, Commissioner of Public Works, and Fire Marshal.

The within Resolution was motioned by Planning Board Member _____, seconded by Planning Board Member _____, and voted upon by members of the Planning Board as follows:

David Jefferson
Paul Alguire
Kevin Morabito
Paula Liebschutz
Hali Buckley
John Limbeck
John Halldow

Adopted by the Planning Board on August 25, 2025.

April Zurowski
Planning Assistant

HEINRICH W. FISCHER
Registered Landscape Architect
722 Ayrault Road
Fairport, NY 14450-3006
July 7, 2025

Universal Imports of Rochester, NY, Inc.
834 Linden Avenue Rochester, NY

Letter of Intent for the Application for approval to add Asphalt Surface to accommodate 14 additional parking spaces and screening type plantings.

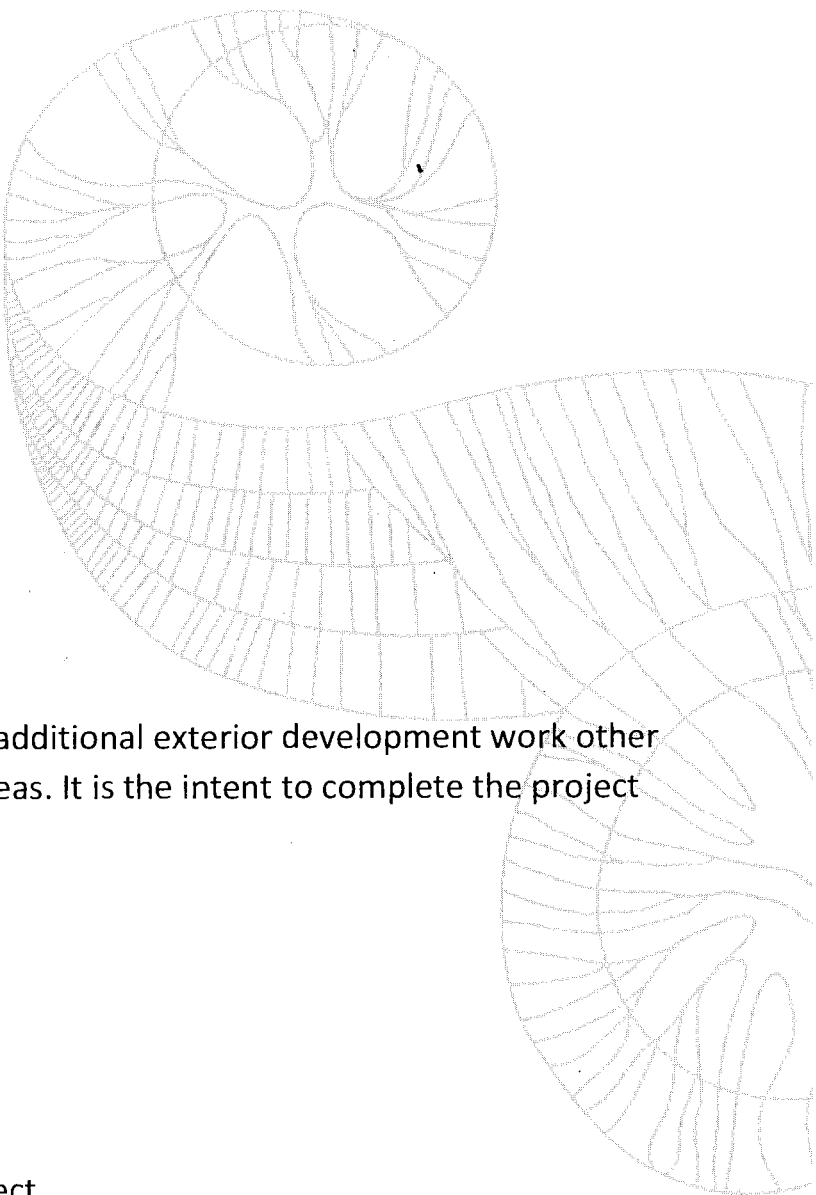
Since the initial site plan approval in 2017 the business has grown and prospered the need for the additional spaces and funds to develop them as occurred. As the Town code on percentage of lot coverage has changed, this plan was developed to comply with the square footage allowed with the 75 % code. From the original plan based on the lot size obtained from the Town Engineer, 80,108 Sq. Ft. and a lot coverage percentage of 68.4 %, this plan adds 4940 Sq. Ft. which translates into being in the 75 % coverage range as per Code.

The drainage from this proposed addition goes direct via surface drainage into the over designed for capacity detention pond area. The site soils are extremely sandy loam in nature and allow for storm waters to percolate into the ground within the confines of the detention facility. In the time from 2017 until 2025 even with the 2 - 100 year storms (2025), the detention facility has not come close to filling up and overflowing onto adjacent properties. Storm water has consistently totally dissipated within 2-3 day time frame.

The proposed plantings are meant to aid additional screening of the vehicles from road traffic in conjunction with the Mohican Viburnum originally installed. The cost of the plantings is between \$4,808 - 5,458.00 based on the Town formula for estimating projected landscape costs. This should equal or exceed the % of overall project cost.

The cost of the site work for the grading, soil removal, pavement base and asphalt paving is not yet been finalize at the time of the Application submission as contractors are waiting for material cost updates for later this year. At the time of or before the meeting date that information should become available.

CELL (585) 738-8687
hwfischer50@gmail.com

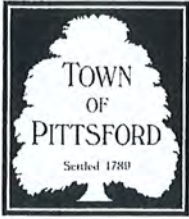


The proposed project should end any additional exterior development work other than normal maintenance of paved areas. It is the intent to complete the project in 2025.

Respectfully submitted,



Heinrich W. Fischer, Landscape Architect



TOWN OF PITTSFORD

SITE PLAN

APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: Universal Imports

LOCATION: 834 Linden Ave. Rochester 14625

TAX ACCOUNT NO: 161245690

OWNER: Astrid Fieberbach APPLICANT: Mark Fieberbach

ADDRESS: 834 Linden Ave ADDRESS: _____

CITY, ST ZIP: Rochester NY 14625 CITY, ST ZIP: _____

PHONE: 585-381-8677 PHONE: _____

FAX: _____ FAX: _____

E-MAIL: mark@universalimports.com E-MAIL: _____

AGENT: HEIDI W. FISCHER

ADDRESS: 722 HYDEPARK ROAD

CITY, ST ZIP: FAIRPORT, N.Y. 14450

PHONE: 585-238-2687 FAX: _____

E-MAIL: hwfisher50@gmail.com

BRIEF DESCRIPTION OF PROJECT: ADDITION OF ASPHALT PAVEMENT ALONG SIDE OF BUILDING - WEST SIDE ADJACENT TO DETENTION FACILITY

- REQUEST FOR: (Please check all applicable)
- ☐ Concept Subdivision
 - ☐ Preliminary Subdivision
 - ☐ Final Subdivision
 - ☐ Special Permit
 - ☐ Preliminary Site Plan
 - ☐ Final Site Plan

HEARING DATE REQUESTED: _____

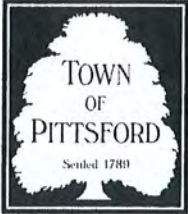
Square Footage of Building: _____

Total Acreage of Disturbance: _____

ZONING CLASSIFICATION: _____ SIZE OF PARCEL: _____

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? ☒ NO ☒ YES (Please specify)

If this parcel is within 500' of a municipal boundary, please specify: EAST ROCHESTER
(Municipality)



TOWN OF PITTSFORD

SITE PLAN

AUTHORIZATION TO MAKE APPLICATION

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, Astrid Fieberbacher, the owner of the property located
at: 834 Linden Ave Rochester 14625
(Street) (Town) (Zip)

Tax Parcel # 264689 138.15-1-7 do hereby authorize

Mark Fieberbacher to make application to the

Town of Pittsford Planning Board, 11 South Main Street, Pittsford NY 14534 for the

purpose(s) of ADDING 5115 SQ. FT. OF ASPHALT PAVING AT 834 LINDEN
AVENUE ROCHESTER, N.Y. 14625

Astrid Fieberbacher Sec.

Signature of Owner

7/2/15

Date

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

PAVEMENT ADDITION AT 834 LINDEN AVENUE
(Project Name)

The undersigned, being the applicant(s) to the...

☐ Town Board ☐ Zoning Board of Appeals ☒ Planning Board ☐ Design Review Board

...of the Town of Pittsford, for a...

☐ change of zoning ☐ special permit ☐ building permit ☒ permit ☐ amendment
☐ variance ☐ approval of a plat ☐ exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)



Signature of Applicant

7.3.24

Dated

834 Linden Ave

Street Address

Rochester NY 14625

City/Town, State, Zip Code



NEW YORK STATE

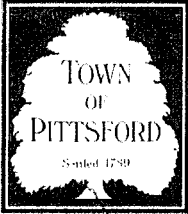
GENERAL MUNICIPAL LAW

SECTION § 809

1. Every application, petition or request submitted for a variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit, pursuant to the provisions of any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and the nature and extent of the interest of any state officer or any officer or employee of such municipality or of a municipality of which such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.
2. For the purpose of this section an officer or employee shall be deemed to have an interest in the applicant when he, his spouse or their brothers, sisters, parents, children, grandchildren or the spouse of any of them...
 - (a) is the applicant, or
 - (b) is an officer, director, partner or employee of the applicant, or
 - (c) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
 - (d) is a party to an agreement with such an applicant, express or implied, whereby he may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application, petition or request.
3. Ownership of less than five percent of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
4. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

Section eight hundred six of the General Municipal Law added by this act, shall apply only to application, petitions or requests as described therein which are submitted on or after the effective date of this act.

This act shall take effect September 1, 1969.



TOWN OF PITTSFORD

LISTING OF ABUTTERS

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

The undersigned, being an Applicant for approval of...

☐ **site plan**

☐ **special permit**

☐ **subdivision**

...for property at: _____

Tax Parcel # _____ submits the following list
of names and addresses of all owners of properties which either directly abut or are located
across the street from the property lines of the subject property.

*If there are other properties in close proximity which might be effected by this
proposal, please include the names and addresses of those properties as well.*

Signature of Applicant

Date

LIST OF PROPERTIES ABUTTING OR ACROSS THE STREET FROM SUBJECT PROPERTY

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: MARK FUERBACHER, PRESIDENT OF UNIVERSAL IMPORTS, OF ROCHESTER, NY			
Project Location (describe, and attach a location map): INSTALLATION OF 4940 SQ FT ASPHTE PAVEMENT FOR ADDITIONAL PARKING			
Brief Description of Proposed Action: 834 LINDEN AVENUE ROCHESTER, NY STRIP EXISTING GRASS, REMOVE SOIL, INSTALL 4940 S.F. OF COLOMITE STONE 8-10" BASE, 2 1/2" DENSE BINDER AND PLANT MATERIAL			
Name of Applicant or Sponsor: Mark Fuerbacher		Telephone: 585-381-8677 E-Mail: mark@universalimports.com	
Address: 834 Linden Ave			
City/PO: Rochester		State: NY	Zip Code: 14625
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.84 acres	
b. Total acreage to be physically disturbed?		.113 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.84 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: <u>RETENTION POND</u>	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>BUILT AND FUNCTIONING DETENTION AREA</u> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	NO <input type="checkbox"/>	YES <input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>HEINRICH W. FISCHER</u>		Date: <u>7.3.25</u>
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency		_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency		_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency		_____ Signature of Preparer (if different from Responsible Officer)

Universal Imports of Rochester, Inc.

July 17, 2025

834 Linden Avenue

Rochester, N.Y. 14625

Project Estimate for additional paved parking/storage area:

Carini Excavating, Inc.

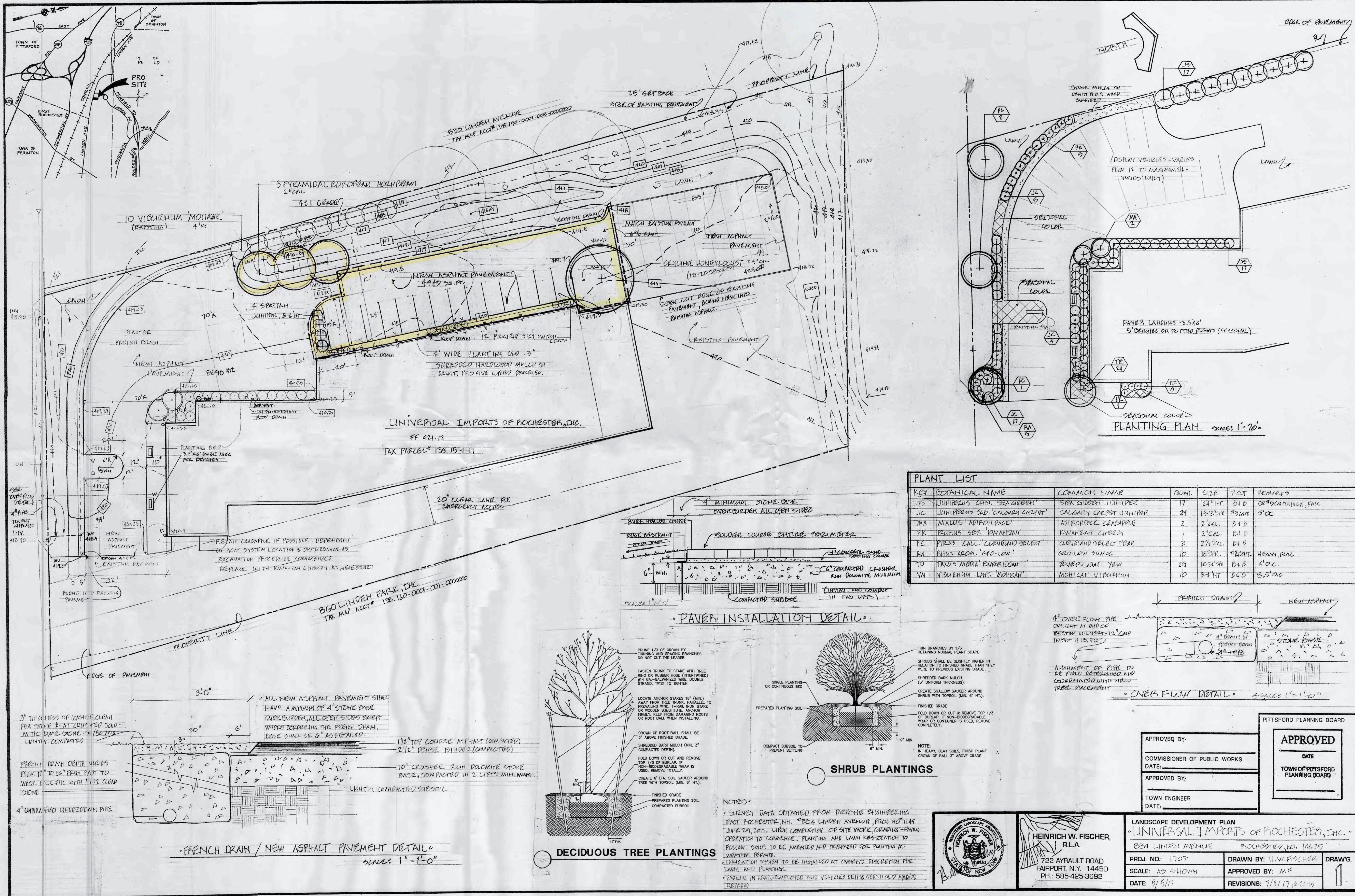
- Box out area for paving, remove soil from site, 10" #2 crusher run
stone base, compact to within 3-4" of final pavement height, clean
up after paving. \$14,756.00

Pittsford Paving –Gus K gave me a range of as he prefers
to measure paving is complete do to potential changes
\$19,000-20,000.00

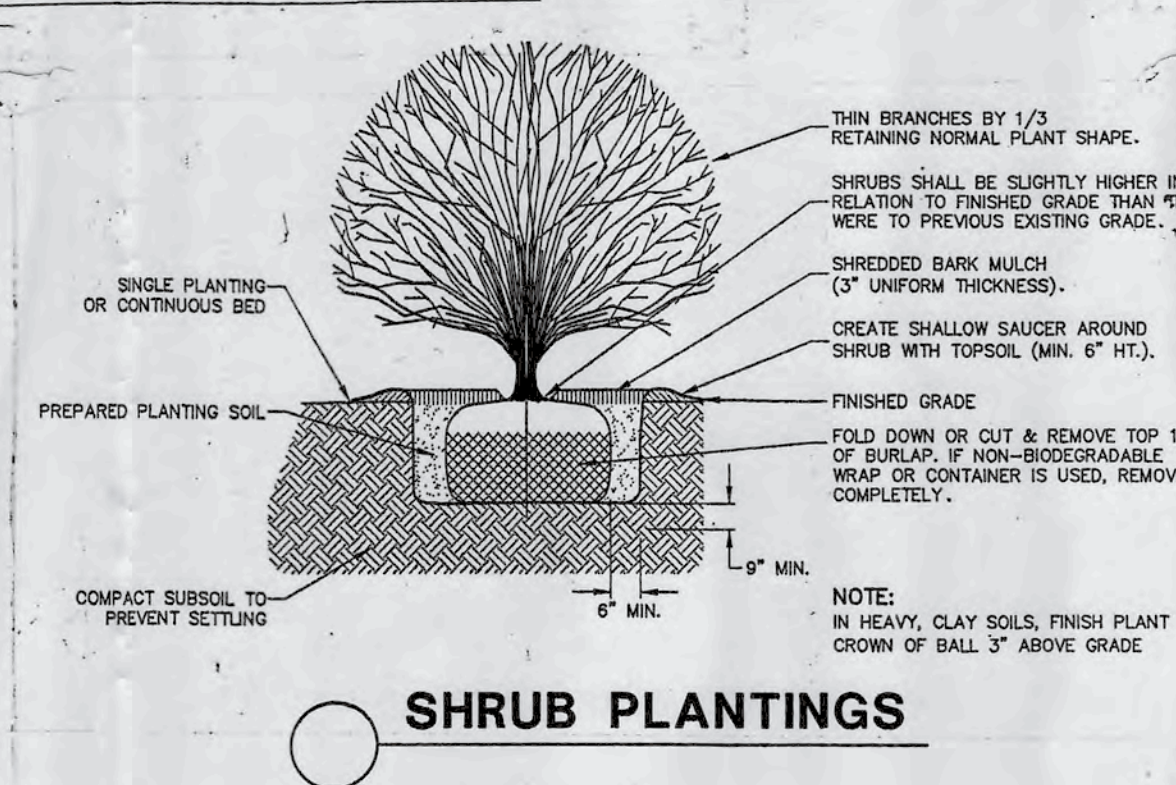
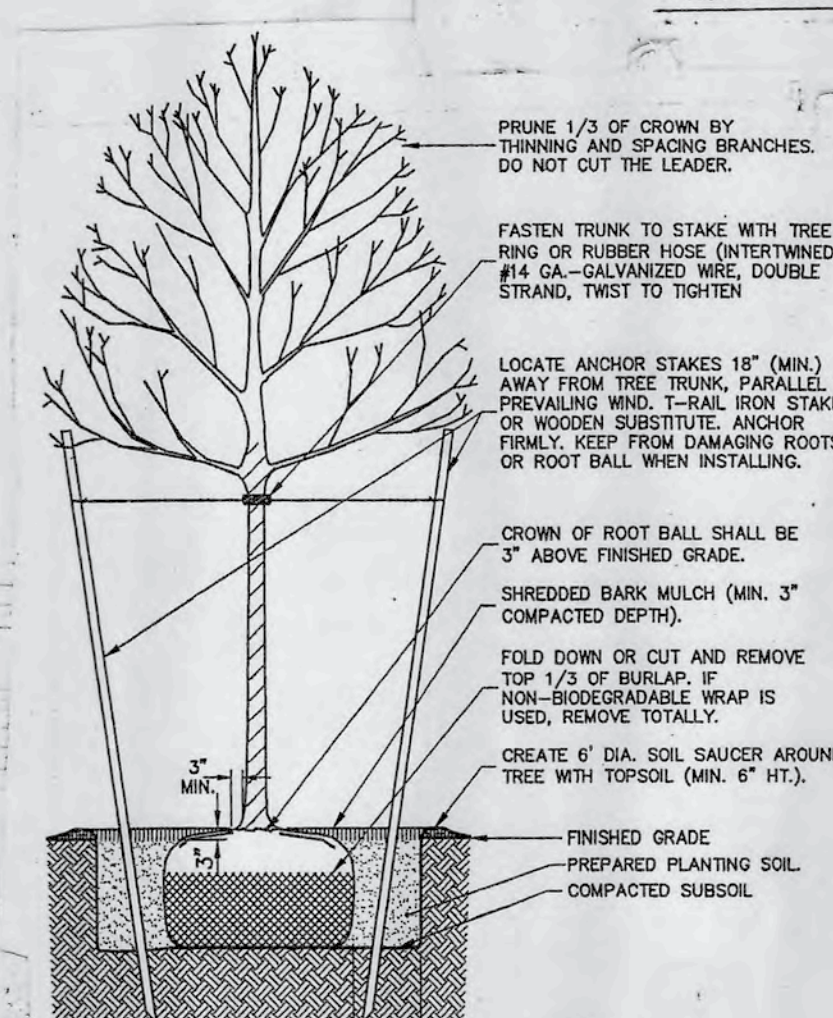
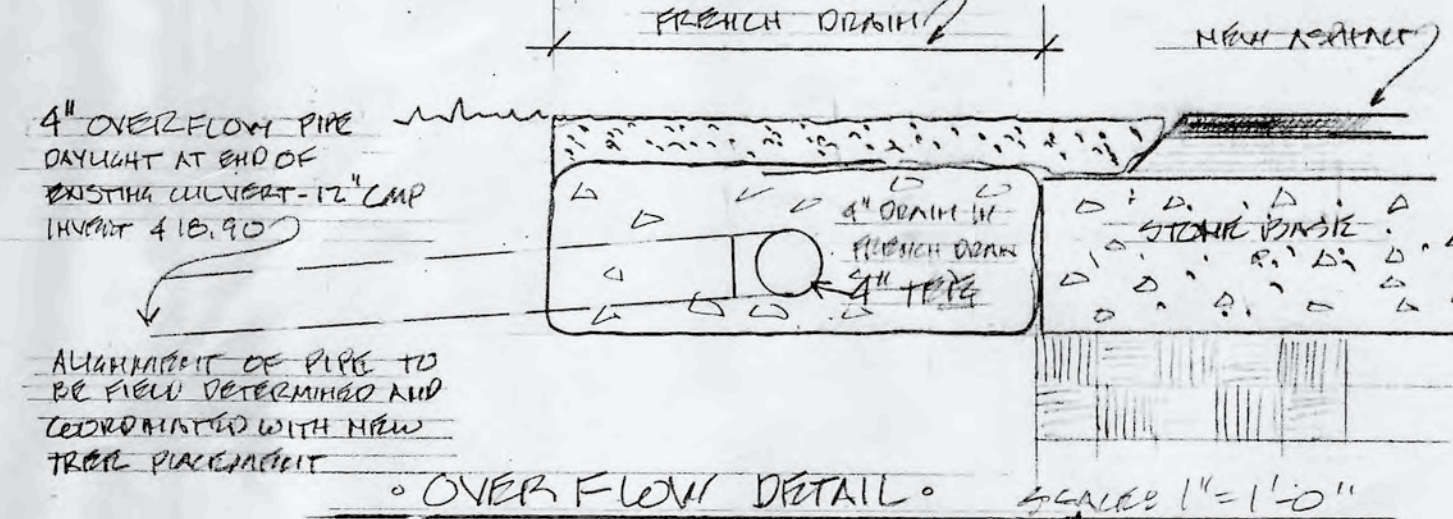
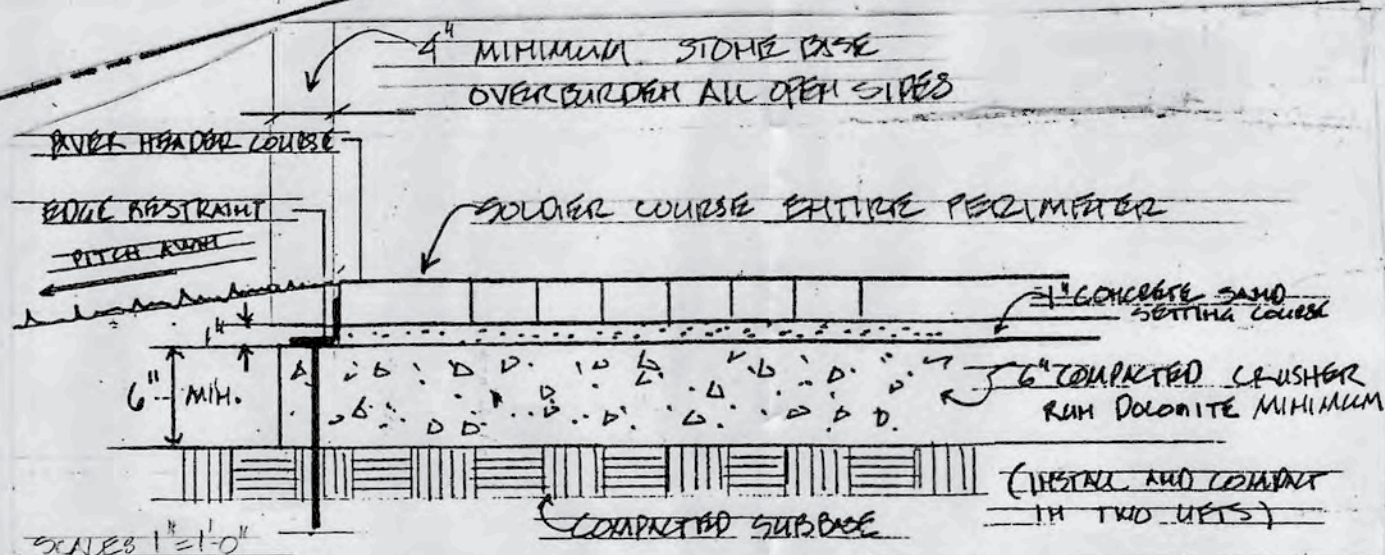
Landscape wise –The Town takes a re-wholesale price and
multiplied by 2.5 to get their cost. They require a minimum
of project cost at 1 % using their system, projected cost is \$6061.00

* This includes the plants, planting materials, seeding
of lawn areas.

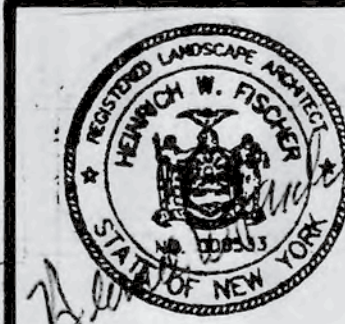
Projected project cost \$39,817.00- 40,817.00



PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	POT	REMARKS
JS	JUNIPERUS CHAM. 'SEA GREEN'	SEA GREEN JUNIPER	17	24" HT	B4 B	OR #9 CONTAINER, FULL
JC	JUNIPERUS SAG. 'CALCARY CARPET'	CALCARY CARPET JUNIPER	29	15" B'S PR	#3 CONT	5" OC
MA	MAIUS 'ADIPHOVACE'	ADIPHOVACE CLEMATIS	2	2" CAL.	B4 B	
PK	PERNIX SER. 'KWANZAH'	KWANZAH CHERRI	1	2" CAL.	B4 B	
PL	PERNIX CALL. 'CLEVELAND SELECT'	CLEVELAND SELECT PEAR	3	2 1/2" CAL.	B4 B	
RA	RHUS ARBO. 'GRO-LOW'	GRO-LOW SUMAC	10	18" B'S PR	#2 CONT.	HEAVY, FULL
TD	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW	29	18" B'S PR	B4 B	4" O.C.
VM	VIBURNUM LANT. 'MOHAWK'	MOHAWK VIBURNUM	10	3-4" HT	B4 B	8.5" O.C.

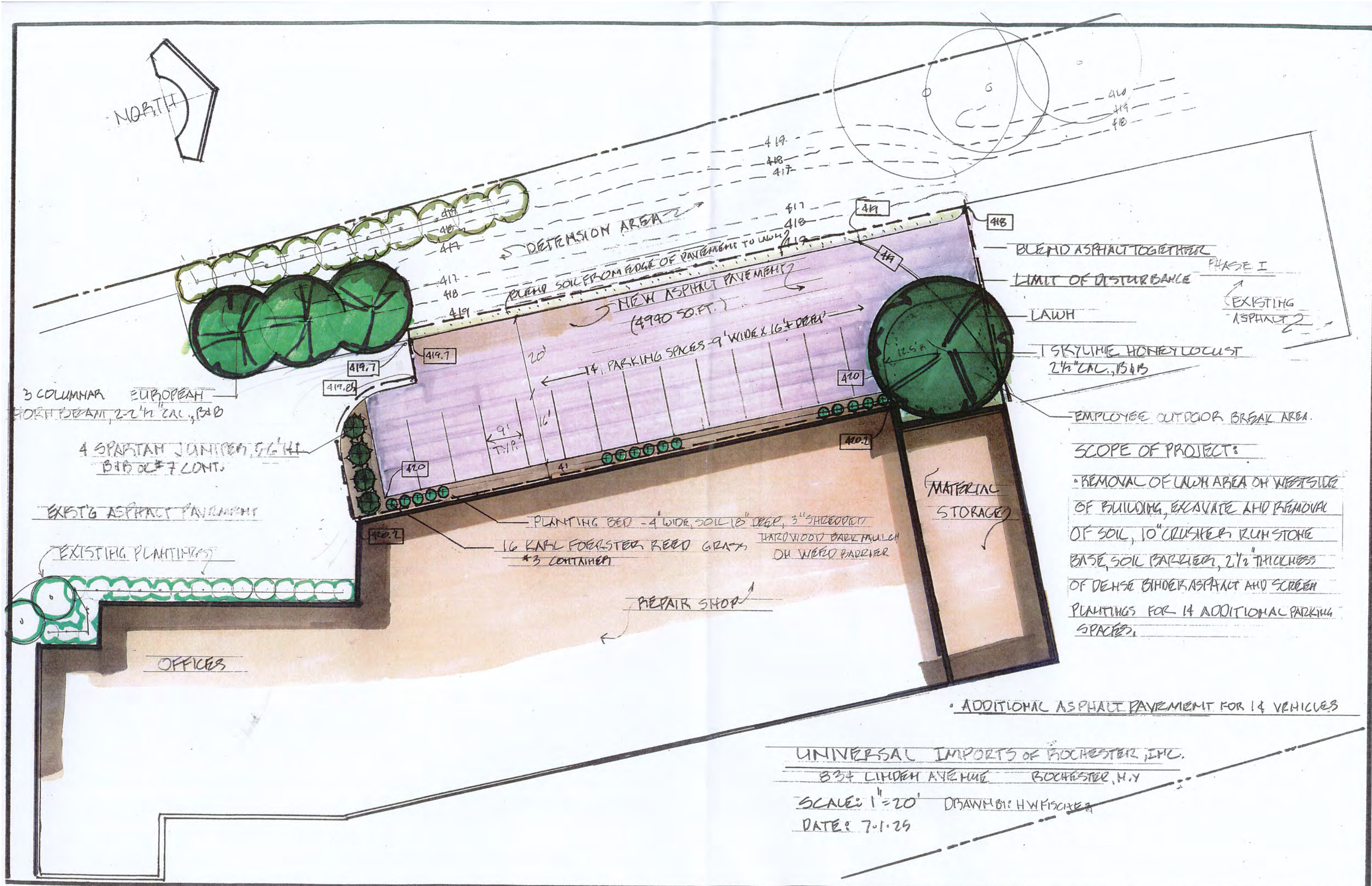


NOTES:
• SURVEY DATA OBTAINED FROM PERSONAL ENGINEERING
• NOT FOR CONSTRUCTION OF SITE WORK, GRADING, EROSION
• CREATION TO CONVEY, PLANTING AND LAWN RESTORATION TO
• FOLLOW. SOILS TO BE AMENDED AND PREPARED FOR PLANTING AS
• WEATHER PERMITS.
• IRRIGATION SYSTEM TO BE INSTALLED AT OWNER'S DISCRETION FOR
• LAWN AND PLANTINGS.
• PARKING IN REAR: EMPLOYEE AND VEHICLES BEING SERVICED AND/OR
• REPAIRED.



HEINRICH W. FISCHER,
R.L.A.
722 AYRAULT ROAD
FAIRPORT, N.Y. 14450
PH.: 585-425-3692

PITTSFORD PLANNING BOARD		
APPROVED		
DATE		
TOWN OF PITTSFORD PLANNING BOARD		
APPROVED BY:		
COMMISSIONER OF PUBLIC WORKS		
DATE:		
APPROVED BY:		
TOWN ENGINEER		
DATE:		
LANDSCAPE DEVELOPMENT PLAN		
• UNIVERSAL IMPORTS OF ROCHESTER, INC. •		
834 LINDEN AVENUE ROCHESTER, N.Y. 14625		
PROJ. NO: 1707	DRAWN BY: H.W. FISCHER	DRAWG.
SCALE: AS SHOWN	APPROVED BY: MF	
DATE: 9/6/17	REVISIONS: 7/9/17, 6-1-18	



SCOPE OF PROJECT:

• REMOVAL OF LAWN AREA ON WEST SIDE OF BUILDING, EXCAVATE AND REMOVAL OF SOIL, 10" CRUSHER RUN STONE BASE, SOIL BARRIER, 2 1/2" THICKNESS OF DENSE BINDER ASPHALT AND SCREEN PLANTINGS FOR 14 ADDITIONAL PARKING SPACES.

• ADDITIONAL ASPHALT PAVEMENT FOR 14 VEHICLES

UNIVERSAL IMPORTS OF ROCHESTER, INC.

834 LINDEN AVENUE ROCHESTER, N.Y.

SCALE: 1" = 20'

DRAWN BY: H.W. FISCHER

DATE: 7-1-29

PROPERTY LINE

EXISTING VIBURNUM

WILL NOT DISTURB ANY OF
RETENTION POND - HAS NOT COME CLOSE OVER FLOWING

NEW ASPHALT - 504.4 SQ. FT.

3" DENSE BINDER ASPHALT ON
9" CRUSHER STONE BASE
WITH 6" OVER BURDEN STONE BASE

14 SPACES

LAWN

BEHIND NEW & EXISTING CONCRETE

NEW ASPHALT
PITCH TO MATCH
EXISTING ASPHALT

3 COLUMNAR HORSEMAN
ON 3 TREE LILAC

EXISTING ASPHALT

3 SEA GREEN JUMPER, 24' 50"

PARK WALK

STONE APRON - 651 SQ. FT. @ 50% =
325.5 SQ. FT.

FINT. FLOOR - 121.12

EXISTING SEA GREEN JUMPER

TOWN OF PITTSFORD
DEVELOPMENT REVIEW COMMITTEE – Planning Comments
For Planning Board Meeting 8/25/25

SUBJECT: 834 Linden Avenue
Universal Imports of Rochester
Preliminary/Final Site Plan
Tax Parcel #138.15-1-17

The Town of Pittsford Development Review Committee (DRC) has reviewed the subject application. The following points have been identified for Planning Board consideration:

A written response to these comments must be provided for Planning Board and DRC Committee Review prior to a decision on this application. A digital copy of this document will be provided so that it may be incorporated into the response.

*****Questions about specific DRC comments should be directed to the Planning, Zoning, and Development Department (Doug DeRue or April Zurowski).**

PLANNING AND ZONING ISSUES:

GENERAL

1. This application proposes the construction of a 14-space parking lot expansion on the west side of the building and associate site work at 834 Linden Avenue (Universal Imports). (DPW)
2. This is an Unlisted Action pursuant to SEQRA. A Part I EAF is included in the application materials and a Part II short EAF should be completed by the Planning Board prior to a SEQRA determination on the project. (DPW)
3. The Universal Imports operation must comply with Town Code §185-104 which regulates vehicle sales, service, and repair shops. (DPW)
4. The storage of junk or vehicle parts is a violation of Town Code. Presently there are several vehicles that appear to be at risk of being considered a junk vehicle and a code violation. (TE)

LIGHTING & LANDSCAPING

5. There are no proposed changes to the exterior lighting at the site. Any future changes to exterior lighting will require Planning Board approval and will be subject to Town Code Article XV. (DPW)
6. The proposed landscape improvements closest to the road may benefit from being raised about one foot, with drainage gaps so water can reach the stone channel. The Planning Board should review what is proposed and determine if the Carpet Juniper will be “enough” to have a pleasant appearance while not blocking view of the cars. (DPW)
7. Landscaping must be maintained long term, and if not, it will be a violation of Site Plan approval. (DPW)

FIRE SAFETY

8. Is the building fully sprinklered? (FM)
9. Because the fire access road exceeds 150 feet in length, a “T” back up area for fire apparatus access should be identified. The proposed parking plan should also include a 20-foot-wide fire lane with associated required signage to the rear of the building. Parking will be restricted in this area. (FM)

10. Site entrances and roadways may not be blocked to impede emergency access at any time during construction. (FM)

STORMWATER DRAINAGE

11. Now that the site will be maximized in its allowable impervious coverage, the informal detention area should be documented as a formal stormwater management facility for this property. We would request that the approximated 100-year water surface elevation be planimetrically shown on the grading plan. We would also request that the 1-, 5-, 10-, 25-, 50- and 100-year stormwater elevations be added in a table on the grading plan. This can be achieved by updating the previous analysis completed in 2017 by Parrone Associates. (TE)
12. Plans do not indicate if the roof down spouts on the west side of the building will be extended to the detention area or allowed to discharge to splash blocks. How roof runoff will be accommodated should be identified on the plans. (TE)
13. The Town will require a maintenance and access easement to the stormwater management facility or across the entire property for the same purpose. (TE)
14. Erosion control fence should be provided to protect the existing detention area. (TE)
15. Pervious pavement should be considered in this area, as it would greatly increase the area of infiltration. (TE)

MISCELLANEOUS

16. We note the proposed parking stall dimensions of 9' wide by 16' deep are rather small generally parking stalls are at a minimum 18 feet in length. (DPW)
17. The parcel's total existing and proposed parking layout should be provided to demonstrate the applicant's overall intent, including the current and proposed total parking counts. Parking spaces for retail sales, customer service, and employee parking should be identified across the entire site. (TE)
18. All parking areas shall be hard-surfaced, such as asphalt or concrete, and have a dust-free surface, capable of being kept free of snow and debris, maintained in a smooth and well-graded condition. Vehicles should not be parked on the grass. (DPW)
19. ADA parking spaces should be identified. (DPW)
20. The application was provided to Monroe County Planning Department not comments were provided that need to be addressed. (DPW)

NOTE: The letters in parenthesis following each comment identifies the DRC Member listed below making the comment.

DPW – Department of Public Works

EB – Environmental Board

TRE – Town Review Engineer

FM – Fire Marshal

FD – Fire Department (PFD – Pittsford, BFD – Brighton)

**TOWN OF PITTSFORD
PLANNING BOARD
AUGUST 11, 2025**

Minutes of the Town of Pittsford Planning Board meeting held on August 11, 2025, at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Paul Alguire, John Limbeck, Dave Jefferson, Hali Buckley, Paula Liebschutz

ABSENT: John Halldow, Kevin Morabito

ALSO PRESENT: Doug DeRue, Director of Planning, Zoning, and Development; April Zurowski, Planning Assistant; Evan Harkin, Student Member

ATTENDANCE: There were 3 members of the public present.

Board Member Limbeck made a motion to call the meeting to order, seconded by Board Member Buckley. Following a unanimous voice vote, the meeting opened at 6:30PM, none opposed.

CONTINUED APPLICATION:

Passero Associates, Pittsford Oaks Apartments
Final Site Plan

Anthony Daniele, of 2851 Clover LLC, introduced the application. Mario Daniele, of 2851 Clover LLC; and Andrew Burns, of Passero Associates were also in attendance.

Mr. A. Daniele stated that since the last Planning Board meeting, the applicant prepared revised elevations for the Design Review & Historic Preservation Board (DRHPB) and will present to them at their next meeting. Plan changes are ongoing per comments from Town staff. More comments from staff are expected.

Board Member Limbeck asked the applicant to address technical comments and concerns with Town staff. He appreciated the new elevations and stated that he would like to hear the DRHPB's thoughts. He also favored the updates to the landscaping plan and the incorporation of native species.

NEW HEARING:

Tim Klembczyk – Trustee, 507 Thornell Road (Northfield Church)
Preliminary/Final Site Plan & Special Use Permit

Tim Klembczyk, of Northfield Church, introduced the application. He stated that the church replaced their parking lot lighting and was later notified that a Planning Board application was required. Since the time of application, additional shields have been installed.

Board Member Alguire asked if the lights are on a timer. Mr. Klembczyk confirmed and stated that the lights are turned off at 10PM. Board Member Alguire asked about the color temperature of the lights. Mr. Klembczyk stated that the lights are 3000-4000K, but dimmers have been installed to reduce the severity of the brightness.

DRAFT MINUTES 081125

Board Member Limbeck motioned to open the public hearing, seconded by Board Member Buckley; all ayes, none opposed. Board Member Limbeck asked for public comment.

Michael Hagen, of 12 Summit Oaks, stated that the original lighting was not obtrusive, but the LED lighting is much brighter. The brightness and color of the lights is not an issue now because of the summer foliage but will quickly become obtrusive when the leaves have fallen. He stated that some shielding was installed, but it is not on all four sides and is not on all of the fixtures.

Mr. DeRue stated that shielding is most effective when installed on all four sides of the fixture. Dimmers will help the brightness and may slightly affect the color appearance, but only a new fixture would change the color temperature. Mr. Klembczyk stated that the church will work on installing shielding on all four sides.

Board Member Limbeck motioned to close the public hearing, seconded by Board Member Liebschutz; all ayes, none opposed.

Board Member Limbeck read the SEQRA and Preliminary/Final Site Plan & Special Use Permit resolutions, which were unanimously approved.

OTHER DISCUSSION:

The minutes of July 14, 2025, were approved following a motion by Board Member Limbeck, seconded by Board Member Alguire. Following a unanimous voice vote, the minutes were approved, none opposed.

Board Member Limbeck thanked Student Member Evan Harkin for his dedication and contribution to the Planning Board for the past few years. He and the Board wished Evan good luck at college in the fall.

The Board discussed appointing a new Vice Chairman at their next meeting. The Board agreed Board Member Alguire would be a good candidate.

Board Member Limbeck motioned to close the meeting at 6:57PM, seconded by Board Member Buckley, and approved by a unanimous voice vote, none opposed.

Respectfully submitted,

April Zurowski
Planning Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT