

**AGENDA  
TOWN OF PITTSFORD  
PLANNING BOARD  
JULY 14, 2025**

*This agenda is subject to change.*

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, July 14, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

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**CONTINUED APPLICATION**

**Passero Associates, Pittsford Oaks Apartments**  
Final Site Plan

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**CONTINUED HEARING**

**Adelita's Mexican Cocina & Tequila – Outdoor Seating, 3349 Monroe Avenue (Pittsford Plaza)**  
Special Use Permit

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**OTHER BUSINESS**

**Approval of Minutes**

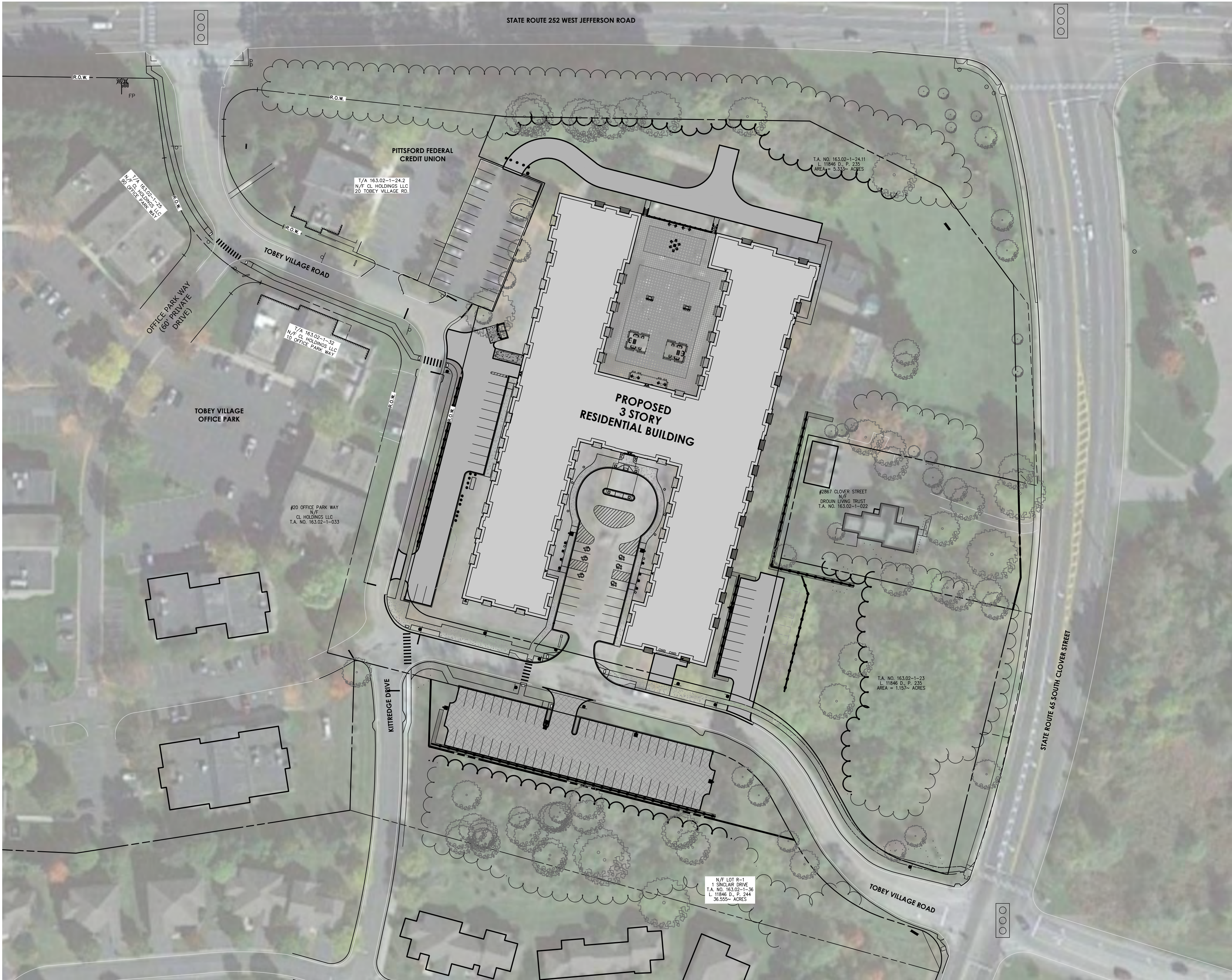
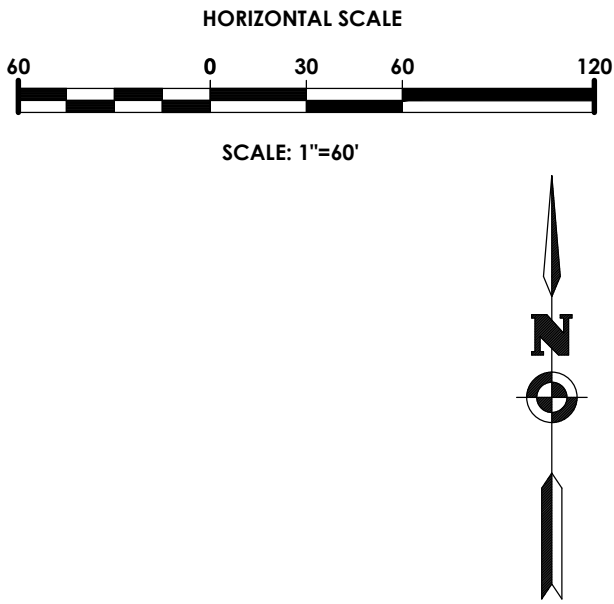
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*The next scheduled meeting is for Monday, July 28, 2025.*



SITE PLANS FOR  
PITTSFORD OAKS  
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK  
P.N. 20233554.0001



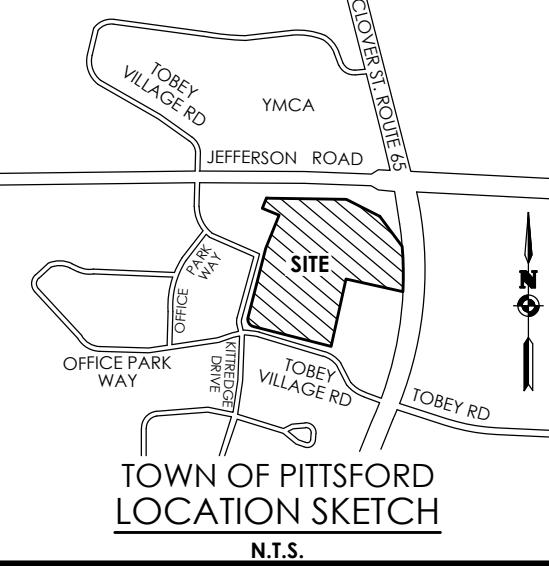
**DOT NOTE:**  
PASSERO ASSOCIATES IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. ANDREW BURNS IS THE DESIGNER AND IS FAMILIAR WITH NYS DOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT 585-760-8579 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS, SHALL BE APPROVED BY THE NYSDOT.

DRAWING INDEX

C 101	COVER
C 102	SITE PLAN
C 103	EXISTING CONDITIONS/DEMOLITION PLAN
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C 109	LANDSCAPE PLAN
C 110	LIGHTING PLAN
C 111	DOT PLAN
C 201-210	NOTES & DETAILS



ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©



Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Andrew Burns, P.E.  
Project Manager: Andrew Burns, P.E.  
Designed by: Shari Kleis



Revisions			
No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

COVER

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No:  
20233554.0001

Drawing No.  
C 101

Scale:  
1" = 60'

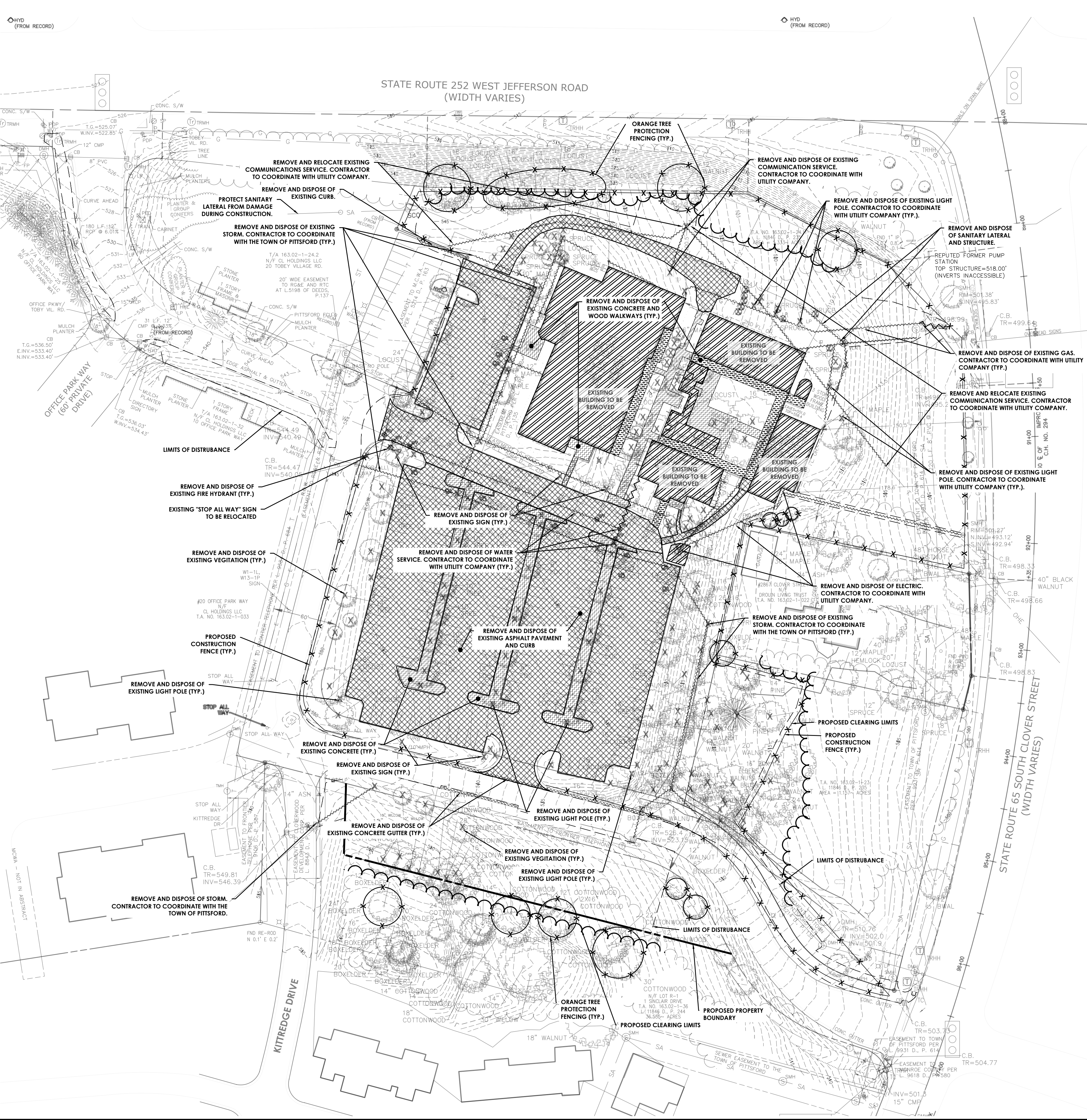
Date  
JUNE, 2025

NOT FOR CONSTRUCTION









DEMOLITION SEQUENCE :

1. CONTRACTOR IS RESPONSIBLE TO CALL CENTRAL STAKE-OUT @ 1-800-762-7962 PRIOR TO BEGINNING DEMOLITION.
2. CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF PITTSFORD PRIOR TO BEGINNING DEMOLITION.
3. CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING DEMOLITION.
4. CONTRACTOR TO COORDINATE ALL UTILITY SHUTDOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
5. ONE WEEK PRIOR TO THE START OF CLEARING AND GRUBBING THE TOWN WILL BE NOTIFIED, LIMITS OF CLEARING WILL BE FLAGGED AND CHECKED BY THE TOWN PRIOR TO THE START OF WORK.
6. INSTALL TREE PROTECTION AND PERIMETER EROSION AND SEDIMENT CONTROL MEASURES.
7. DUST CONTROL MEASURES SHALL BE APPLIED AS NEEDED. CONTRACTOR TO KEEP ROAD CLEAR & CLEAN DURING DEMOLITION AND SHALL COORDINATE WITH THE TOWN OF PITTSFORD AND THE OWNER.
8. DEMOLITION AND CONSTRUCTION WORK INVOLVING OVERLY DISRUPTIVE EQUIPMENT SHALL BE LIMITED TO WEEKDAYS FROM 7AM TO 5PM TO REDUCE NOISE IMPACTS TO ADJACENT NEIGHBORHOODS. VARIATION FROM THESE DAYS OR TIMES WILL REQUIRE DPW APPROVAL.
9. CONTRACTOR IS RESPONSIBLE TO REMOVE NON-CONCRETE/MASONRY MATERIALS FROM THE PROJECT SITE.
10. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL UTILITIES AND CONDUITS ON SITE DURING CONSTRUCTION.
11. CONTRACTOR TO INSTALL NEW SANITARY AND STORM SEWER PRIOR TO DEMOLITION OF EXISTING SANITARY AND STORM SEWER WITHIN IN THE DEVELOPMENT.
12. ANY EXISTING UTILITIES OR CONDUITS THAT ARE TO BE ABANDONED AND ARE NOT LOCATED IN THE AREA OF PROPOSED IMPROVEMENTS MAY BE CUT, CAPPED AND/OR FILLED.
13. ANY ABANDONMENT OF EXISTING ELECTRICAL, NATURAL GAS FACILITIES OR OTHER UTILITY SHALL BE COORDINATED WITH A REPRESENTATIVE FROM THE UTILITY COMPANY.
14. ALL FILL AREAS SHALL BE COMPACTED TO 95 % ORIGINAL DENSITY PER STANDARD PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.
15. EXISTING UTILITIES MUST BE PROTECTED EXCEPT FOR THE DISCONNECTION OF SERVICE LINES TO THE BUILDINGS. EARTH MOVING, GRADING, AND ASPHALT OR CURB REMOVAL IS NOT PERMITTED.

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER

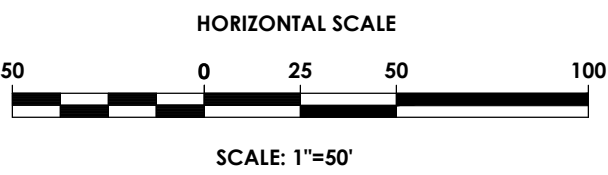
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
COMMISSIONER OF PUBLIC WORKS

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
MONROE COUNTY HEALTH DEPARTMENT

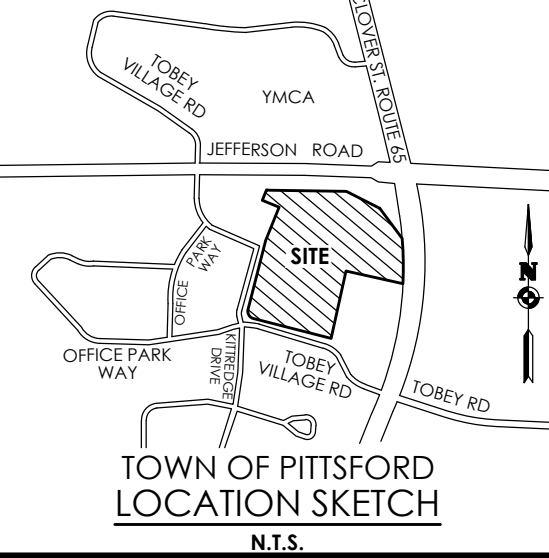
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
MONROE COUNTY WATER AUTHORITY

LEGEND - DEMO:

	PROPERTY BOUNDARY
	R.O.W.
	EXISTING CENTER LINE ROAD
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING EASEMENT LINE
	SETBACK
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING STORM SEWER & MH
	EXISTING WATER SERVICE & VALVE
	EXISTING SIGN
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS MAIN
	EXIST. WATER MAIN
	EXIST. ELECTRIC LINE
	EXISTING FEATURE TO BE REMOVED
	EXISTING UTILITY TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING BUILDING TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING WOOD PATH TO BE REMOVED



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PASSERO ASSOCIATES

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(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Andrew Burns, P.E.  
Project Manager: Andrew Burns, P.E.  
Designed by: Shari Kleis



Revisions			
No.	Date	By	Description
1	07/16/24	SMK	DRC COMMENTS

EXISTING CONDITIONS  
& DEMOLITION PLAN

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

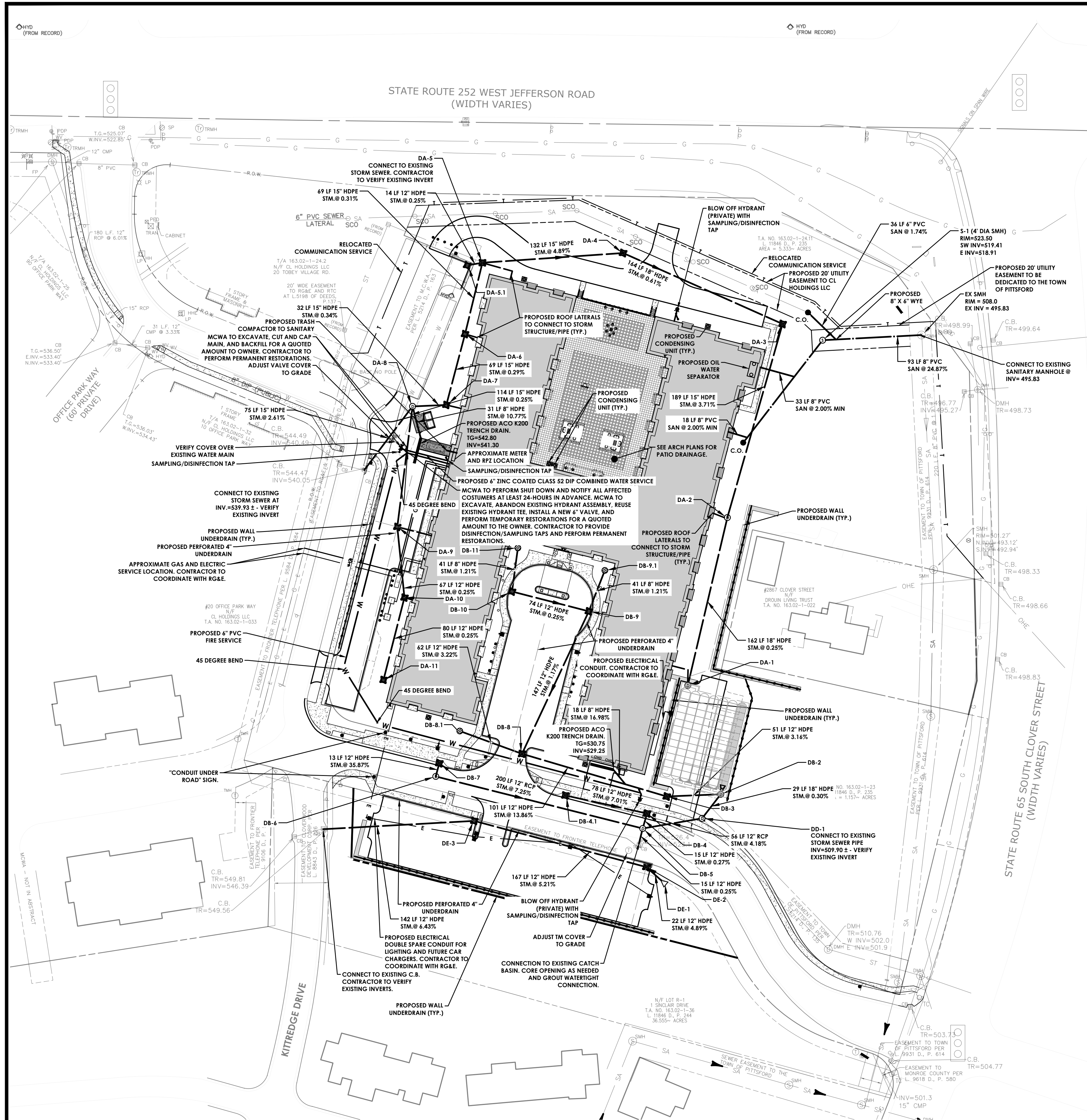
Drawing No.  
**C 103**

Scale:  
**1" = 50'**

Date  
**JUNE, 2025**

NOT FOR CONSTRUCTION





## LEGEND - UTILITIES:

	R.O.W.
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED SIGN
	PROPOSED LIGHT
	PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
	PROPOSED WATER SERVICE W/ HYDRANT & VALVE
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER FORCE MAIN
	PROPOSED ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS VALVE
	EXIST. GAS MAIN
	EXIST. WATER MAIN
	EXIST. ELECTRIC LINE
	PROPOSED UNDERGROUND ELECTRIC

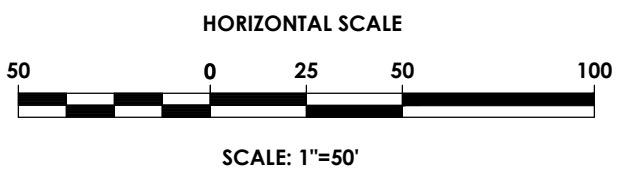
APPROVED BY	TOWN ENGINEER	DATE	
APPROVED BY	COMMISSIONER OF PUBLIC WORKS	DATE	
APPROVED BY	TOWN OF PITTSFORD APPROVAL FOR SEWERS	DATE	
APPROVED BY	MONROE COUNTY WATER AUTHORITY	DATE	

STRUCTURE	RIM & INV
DE-3 (2'X2' CB)	TG = 540.20 W INV IN = 537.20 E INV OUT = 537.20
DE-2 (4' DIA INLET MH)	RIM = 532.50 W INV IN = 528.50 SE INV OUT = 528.50
DE-1 (12' END SECTION)	RIM = 528.90 NW INV IN = 527.40
DD-1 (4' DIA MH)	RIM = 524.10 EX INV IN = 509.90 W INV IN = 522.10 NE INV IN = 521.41
DB-11 (12' YARD INLET)	TG = 542.00 S INV OUT = 539.00
DB-10 (2'X2' CB)	TG = 541.50 N INV IN = 538.50 E INV OUT = 538.50
DB-9-1 (12' YARD INLET)	TG = 542.00 S INV OUT = 539.00
DB-9 (2'X2' CB)	TG = 541.50 W INV IN = 538.31 SW INV OUT = 538.22
DB-8-1 (PROPOSED YARD DRAIN)	TG = 541.50 E INV OUT = 538.50
DB-8 (4' DIA INLET MH)	TG = 539.50 NE INV IN = 536.50 W INV IN = 536.50 E INV OUT = 536.50
DB-7 (4' DIA INLET MH)	TG = 543.10 S INV IN = 534.48
DB-6 (4' DIA MH)	RIM = 543.00 E INV OUT = 539.00
DB-5 (4' DIA MH)	RIM = 528.00 W INV IN = 524.50 S INV IN = 524.54 N INV OUT = 524.50 E INV OUT = 524.46
DB-4-1 (4' DIA INLET MH)	TG = 534.00 E INV OUT = 531.00
DB-4 (4' DIA INLET MH)	TG = 527.50 W INV IN = 525.50 S INV IN = 524.46
DB-3 (4' DIA MH)	TG = 525.50 W INV IN = 522.50 E INV OUT = 522.10
DB-2 (4' DIA MH)	RIM = 526.00 W INV IN = 520.50 SW INV OUT = 521.50
DA-11 (2'X2' CB)	TG = 541.20 N INV OUT = 538.75

STRUCTURE	RIM & INV
DA-10 (2'X2' CB)	TG = 541.20 S INV IN = 538.55 N INV OUT = 538.55
DA-9 (2'X2' CB)	TG = 541.80 S INV IN = 538.38 N INV OUT = 538.38
DA-8 (4' DIA MH)	RIM = 544.00 S INV IN = 538.10 SW INV IN = 538.10 E INV OUT = 537.99 S INV OUT = 541.30
DA-7 (2'X2' CB)	TG = 542.00 W INV IN = 537.88 N INV OUT = 537.88
DA-6 (2'X2' CB)	TG = 542.00 S INV IN = 537.68 N TG / OUT = 537.68
DA-5-1 (2'X2' CB)	TG = 541.00 E INV OUT = 537.51
DA-5 (4' DIA INLET MH)	TG = 540.80 S INV IN = 537.47 W INV IN = 537.47 E INV OUT = 537.47
DA-4 (4' DIA INLET MH)	TG = 534.50 SE INV OUT = 531.00
DA-3 (4' DIA INLET MH)	TG = 533.00 NW INV IN = 530.00 S INV OUT = 530.00
DA-2 (4' DIA MH)	RIM = 526.00 S INV OUT = 523.00
DA-1 (4' DIA MH)	RIM = 526.90 N INV IN = 522.59

## GENERAL NOTE:

- SANITARY AND STORM SEWERS LOCATED OUTSIDE OF THE TOWN OF PITTSFORD EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED. SANITARY AND STORM SEWERS TO BE BUILT TO THE TOWN OF PITTSFORD MOST RECENT SPECIFICATIONS AND INSPECTED BY THE SEWER DEPARTMENT.
- THE CONDITION OF EXISTING STORM SEWER PIPING THAT WILL REMAIN SHALL BE INSPECTED AND FLUSHED, IF NECESSARY.
- TOWN OF PITTSFORD CAN REQUIRE THE REPLACEMENT OF THE POROUS PAVEMENT AND ITS BASE IF IT DOES NOT FUNCTION AS DESIGNED OR LOSES STORMWATER INFILTRATION CAPABILITY.



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New York State,  
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## Watermain Approval

Monroe County Department of Public Health

These plans for Public Water System Extension / Improvement are hereby approved pursuant to 10NYCRRS of the State Sanitary Code subject to conditions of Approval.

**Director of Public Health**

By \_\_\_\_\_ Public Health Engineer Date \_\_\_\_\_

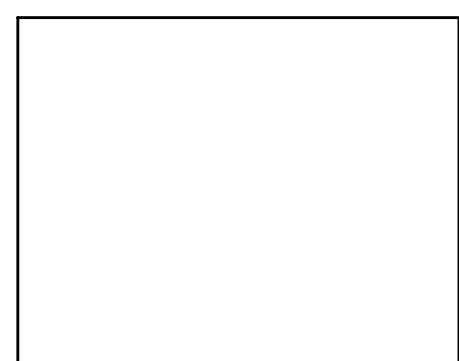
Irondequoit Bay South Central Pure Waters District

Review Number \_\_\_\_\_

Conforms to Monroe County  
Pure Waters Master Plan

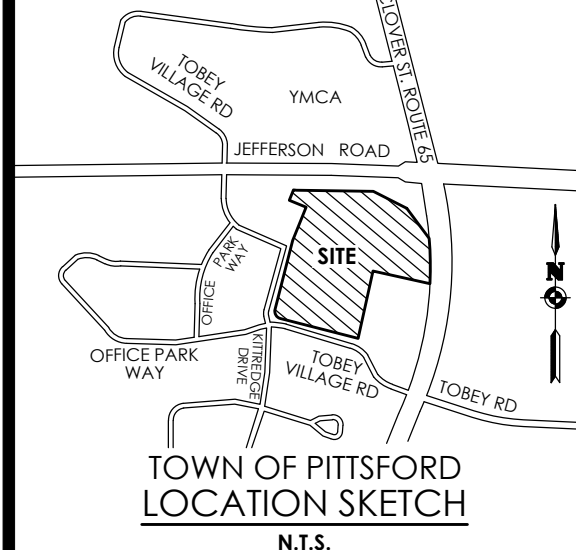
Signature \_\_\_\_\_ Date \_\_\_\_\_

## TOWN PLANNING BOARD



**PA**  
PASSERO ASSOCIATES  
engineering architecture

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Fax: (585) 325-1691

Principal-in-Charge  
Project Manager  
Designed by

Andrew Burns, P.E.  
Andrew Burns, P.E.  
Shari Kleis



## Revisions

No.	Date	By	Description
1	07/16/24	SMK	DRC COMMENTS

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## UTILITY PLAN

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.

**C 104**

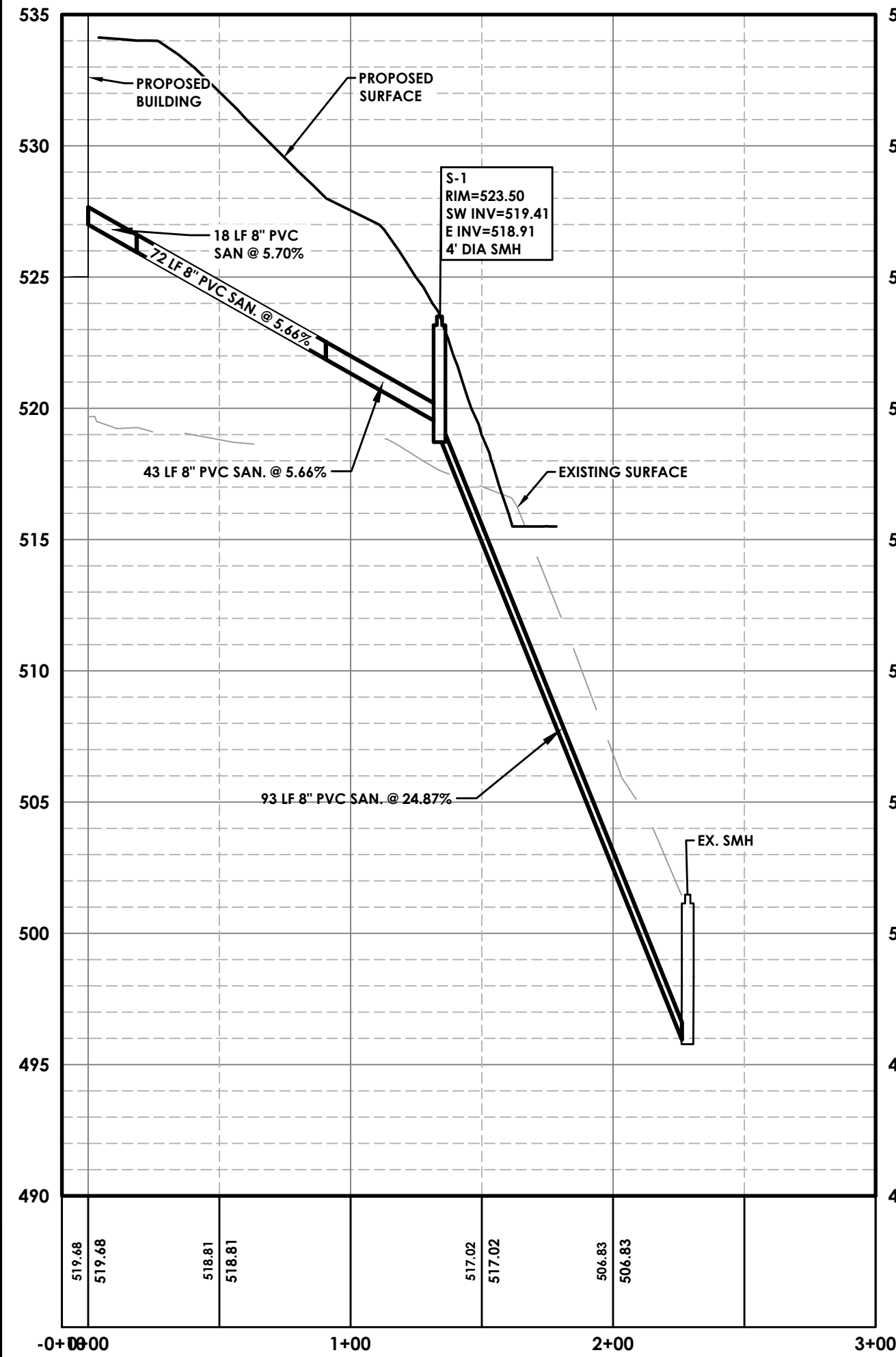
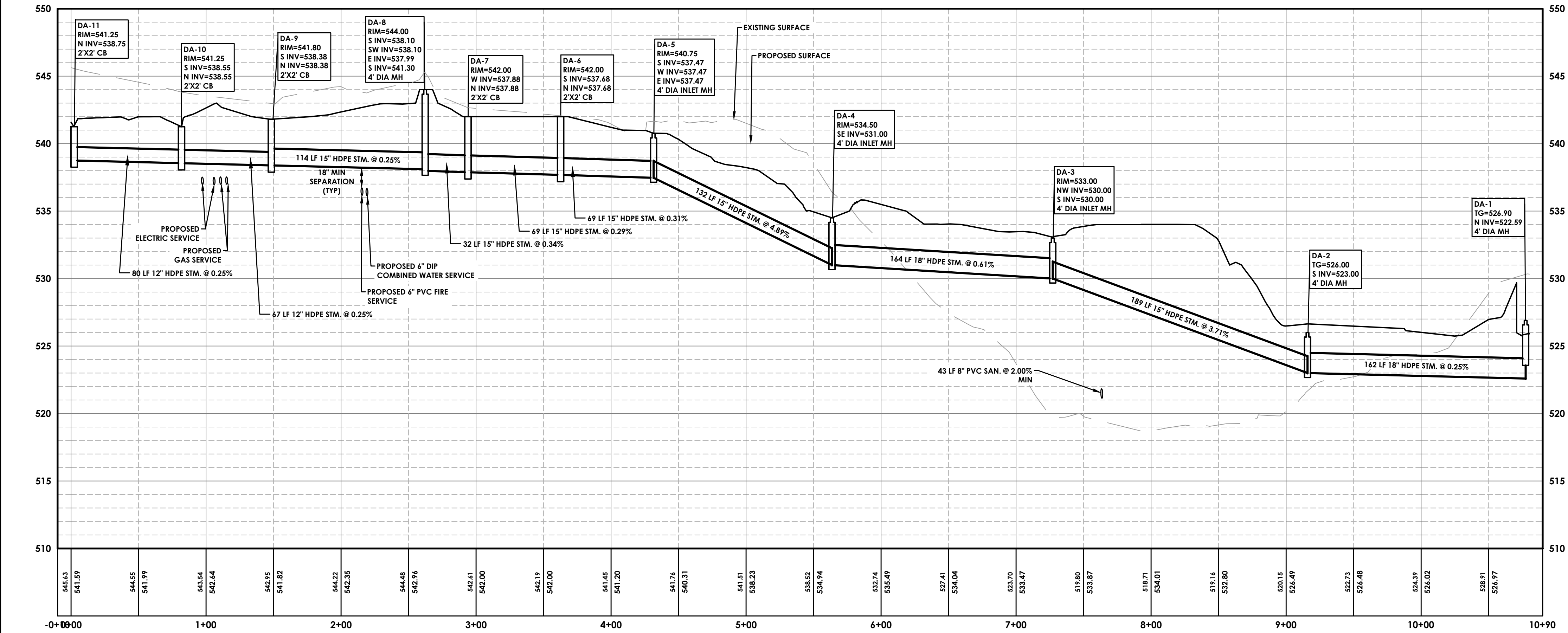
Scale:  
**1" = 50'**

Date  
**JUNE, 2025**

NOT FOR CONSTRUCTION



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**SANITARY PROFILE**  
SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1: = 5'

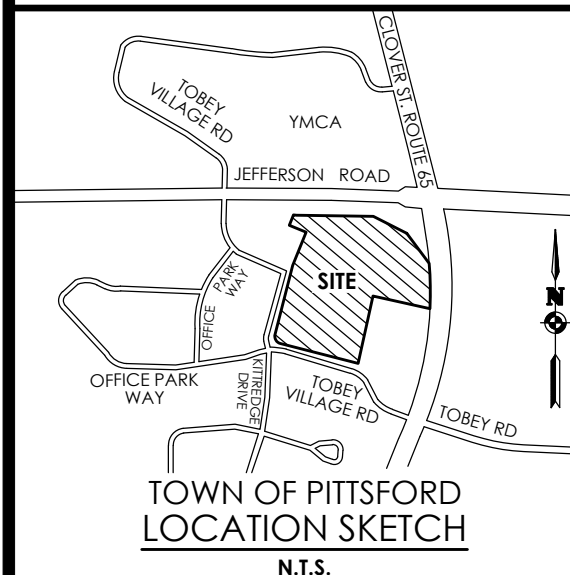
**DA-1 - DA-11 PROFILE**  
SCALE: HORIZONTAL - 1" = 50'  
VERTICAL - 1: = 5'

**PA**

PASSERO ASSOCIATES  
engineering architecture

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UTILITY PROFILES

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.

**C 105**

Scale:  
**1" = 50'**

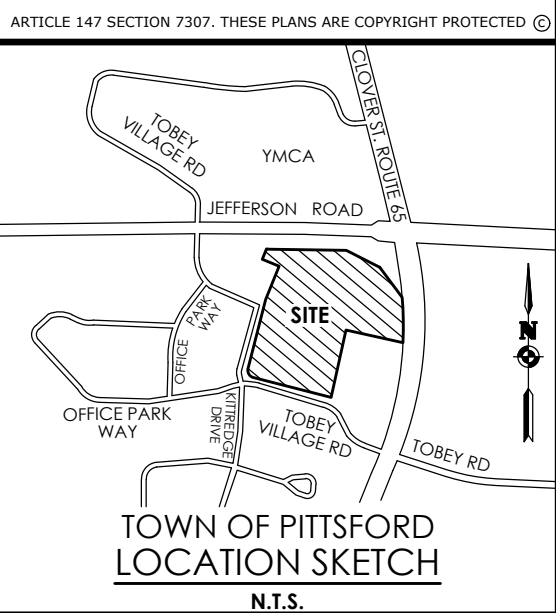
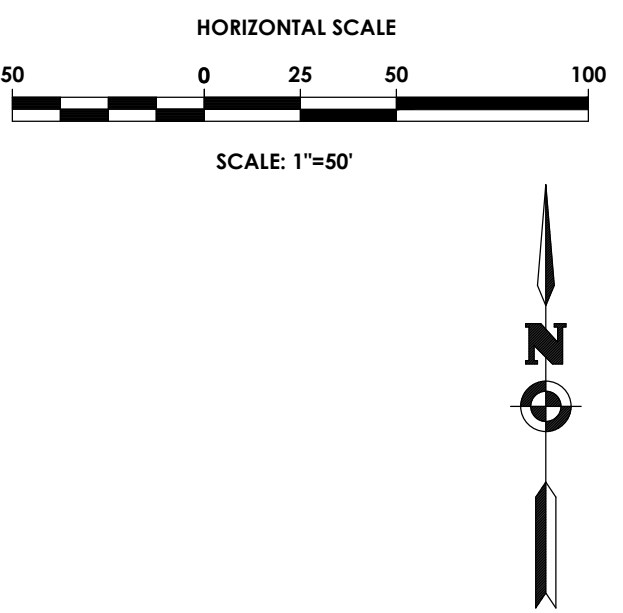
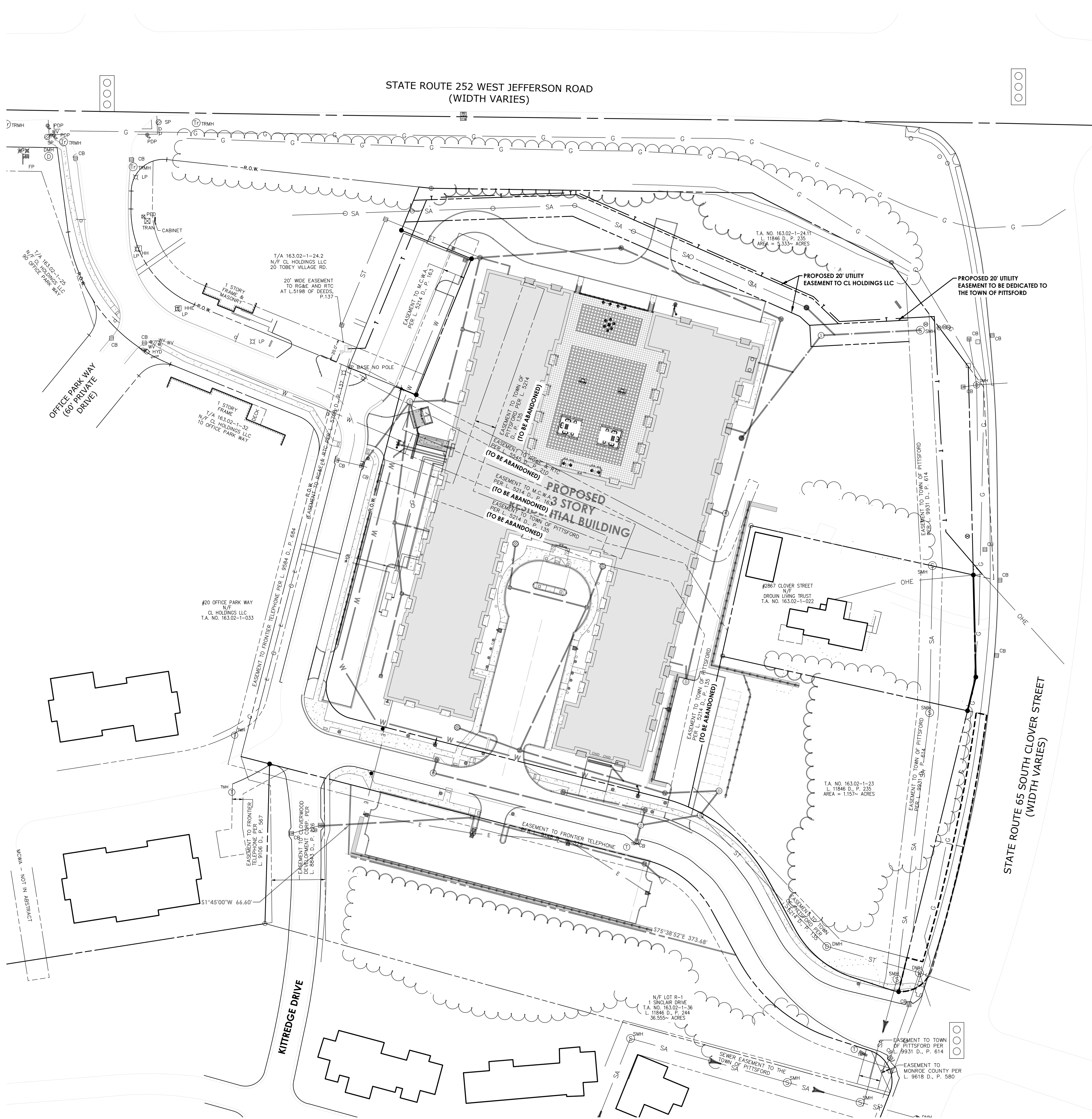
Date  
**JUNE, 2025**

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
COMMISSIONER OF PUBLIC WORKS

NOT FOR CONSTRUCTION





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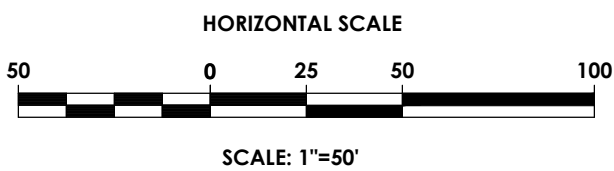
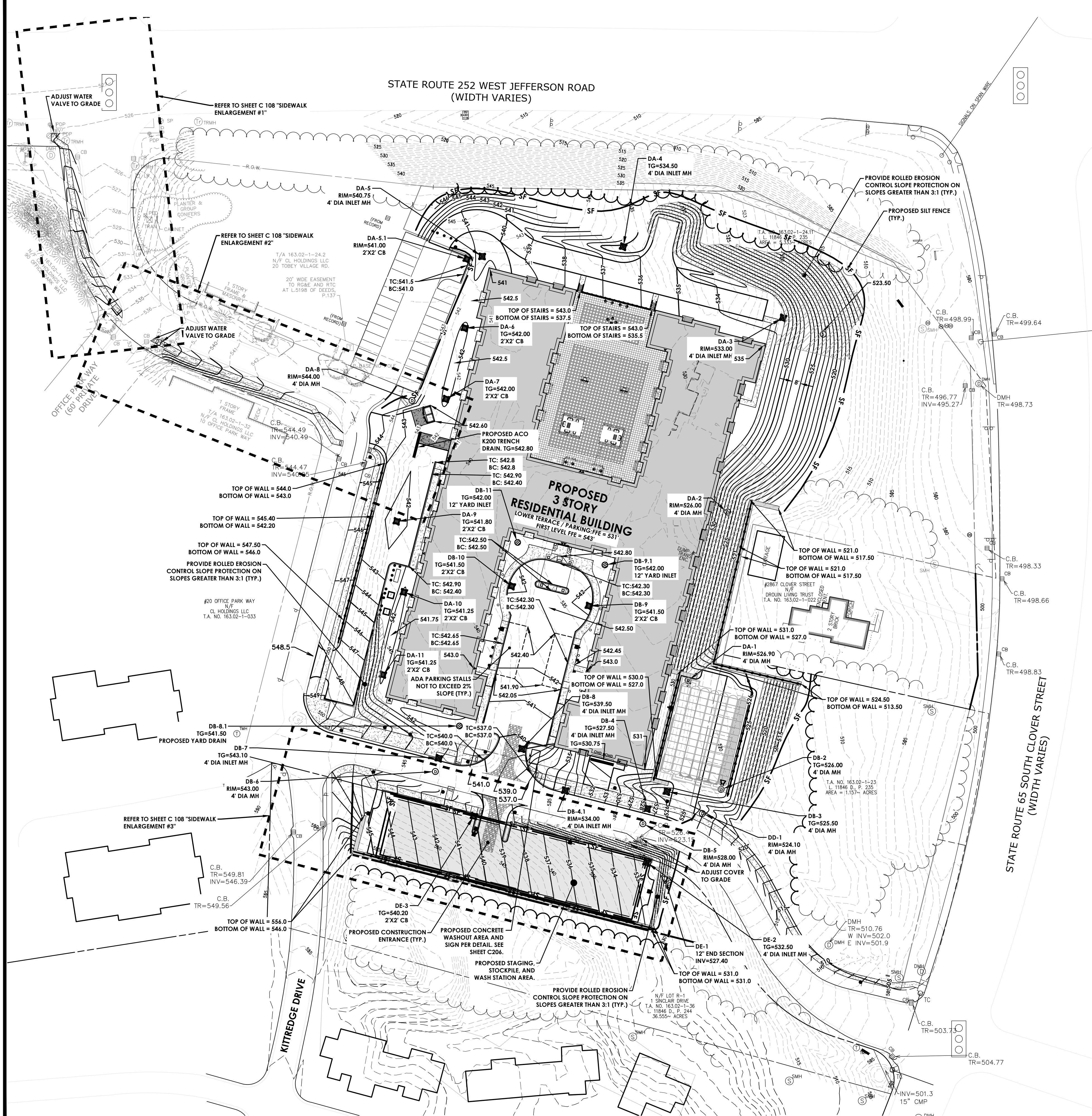
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EASEMENT PLAN	
PITTSFORD OAKS	
Town/City: PITTSFORD	State: NEW YORK
County: MONROE	
Project No:	20233554.0001
Drawing No.	C 106
Scale:	1" = 50'
Date:	JUNE, 2025

APPROVED BY: TOWN ENGINEER DATE: \_\_\_\_\_  
APPROVED BY: COMMISSIONER OF PUBLIC WORKS DATE: \_\_\_\_\_



Y:\PROJECTS-NEW\2023\20233554\CIVIL\20233554.01\_CAD-BIM-MODELS\CIVIL\20233554.01 GRADING.DWG 4/27/2025 2:05 PM Shari Kleis



#### LEGEND - GRADING:

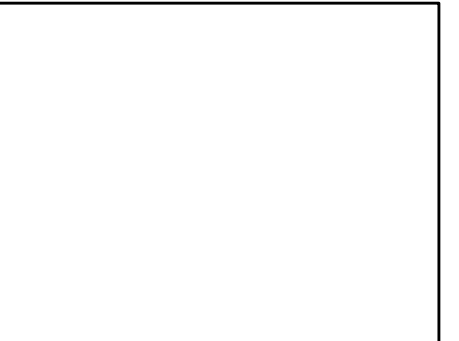
- |     |  |
|-----|--|
| --- | PROPERTY BOUNDARY                                  |
| --- | R.O.W.   |
| --- | EXISTING CENTER LINE ROAD                          |
| --- | EXISTING BUILDING                                  |
| --- | EXISTING FENCE                                     |
| --- | EXISTING EASEMENT LINE                             |
| --- | PROPOSED EASEMENT LINE                             |
| --- | PROPOSED BUILDING                                  |
| --- | PROPOSED CONCRETE                                  |
| --- | PROPOSED SIGN                                      |
| --- | PROPOSED LIGHT                                     |
| --- | EXISTING MAJOR CONTOUR                             |
| --- | EXISTING MINOR CONTOUR                             |
| --- | PROPOSED MAJOR CONTOUR                             |
| --- | PROPOSED MINOR CONTOUR                             |
| --- | SILT FENCE   |
| --- | PROPOSED STORM SEWER, INLET                        |
| --- | MH, CB & END SECTION                               |
| --- | EXISTING STORM SEWER & MH                          |
| --- | PROPOSED WATER SERVICE                             |
| --- | W/ HYDRANT & VALVE                                 |
| --- | EXISTING WATER SERVICE & VALVE                     |
| --- | PROPOSED SANITARY SEWER AND MANHOLE                |
| --- | EXISTING SANITARY SEWER AND MANHOLE                |
| --- | EXISTING ELECTRIC LINE & POLE                      |
| --- | EXIST. LIGHT POLE                                  |
| --- | EXIST. ELECTRIC MANHOLE                            |
| --- | EXIST. ELECTRIC HANDHOLE                           |
| --- | EXIST. GAS VALVE                                   |
| --- | PROPOSED STONE CHECK DAM                           |
| --- | PROPOSED INLET PROTECTION                          |
| --- | PROPOSED TREE/BRUSH LINE                           |
| --- | EXISTING TREE/BRUSH LINE                           |
| --- | SILT FENCE   |
| --- | TOP OF CURB (C), WALL (W), STAIRS (S), RAMP (R)    |
| --- | BOTTOM OF CURB (C), WALL (W), STAIRS (S), RAMP (R) |
| --- | *BOTTOM ELEVATIONS ARE TO EXPOSED GRADE.           |
| --- | CONTRACTOR IS RESPONSIBLE FOR FOUNDATION           |
| --- | CONCRETE DESIGN UNDERGROUND AND SUBMIT TO          |
| --- | CIVIL ENGINEER.                                    |
| --- | PROPOSED SPOT ELEVATION                            |
| --- | EXISTING SPOT ELEVATION                            |

#### CHAMBER SYSTEM STORM WATER ELEVATIONS:

1-YR ELEV = 518.47  
2-YR ELEV = 519.03  
5-YR ELEV = 520.04  
10-YR ELEV = 521.06  
25-YR ELEV = 522.16  
50-YR ELEV = 523.27  
100-YR ELEV = 524.58

**GRADING NOTE:**  
THE EARTHWORK FOR THIS PROJECT IS INTENDED TO BE BALANCE. IF IT IS DISCOVERED THAT THERE IS AN EARTH SURPLUS OR SHORTAGE, THE TOWN MUST BE NOTIFIED BY THE DESIGN ENGINEER AND FOLLOW UP INFORMATION WILL BE REQUIRED PRIOR TO MOVING MATERIALS OFFSITE.

#### TOWN PLANNING BOARD



APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

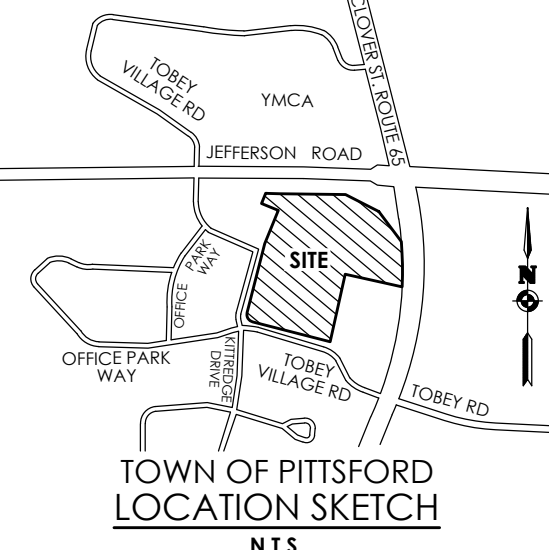
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

#### PASSERO ASSOCIATES

242 West Main Street Suite 100 (585) 325-1000  
Rochester, New York 14614 Fax: (585) 325-1691  
Principal-in-Charge Andrew Burns, P.E.  
Project Manager Andrew Burns, P.E.  
Designed by Shari Kleis



#### Revisions

No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

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#### GRADING & EROSION CONTROL PLAN

#### PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.  
**C 107**

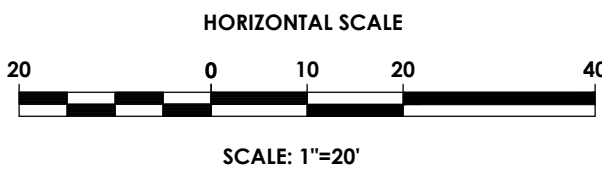
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**1" = 50'**

Date  
**JUNE, 2025**

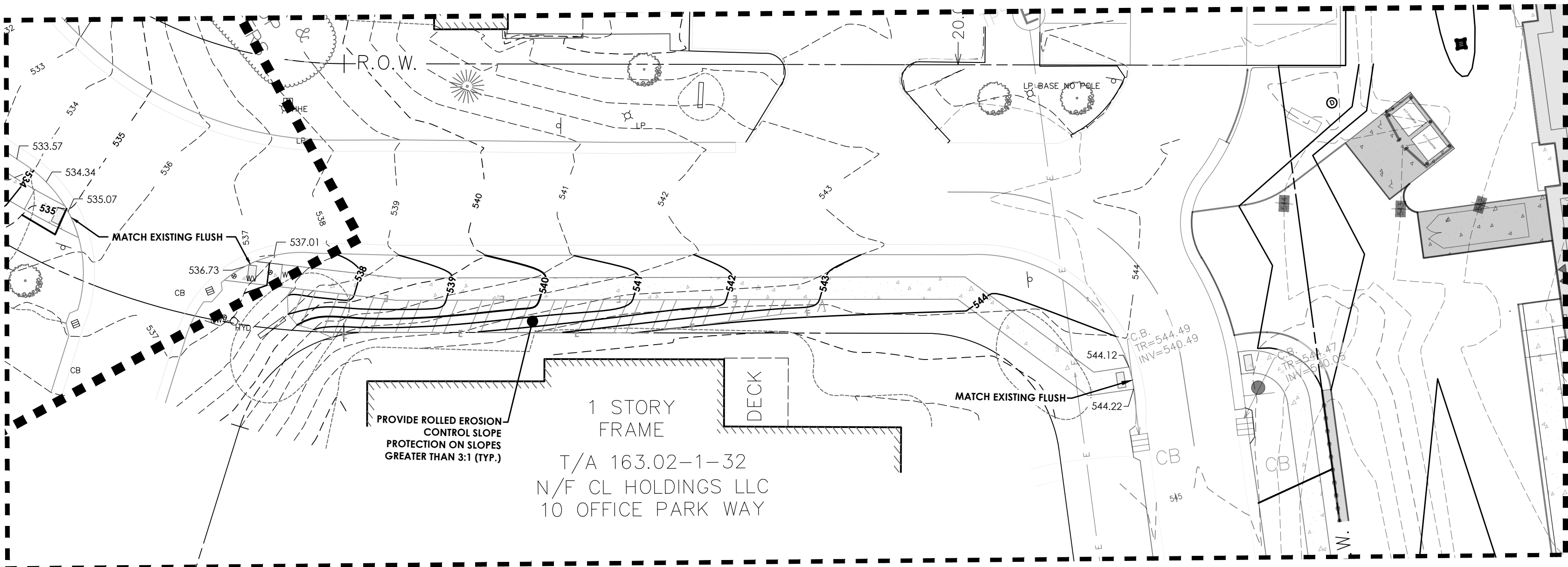
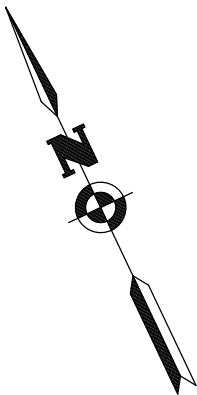
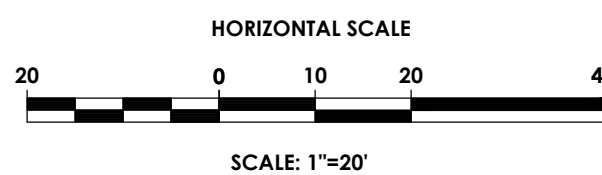
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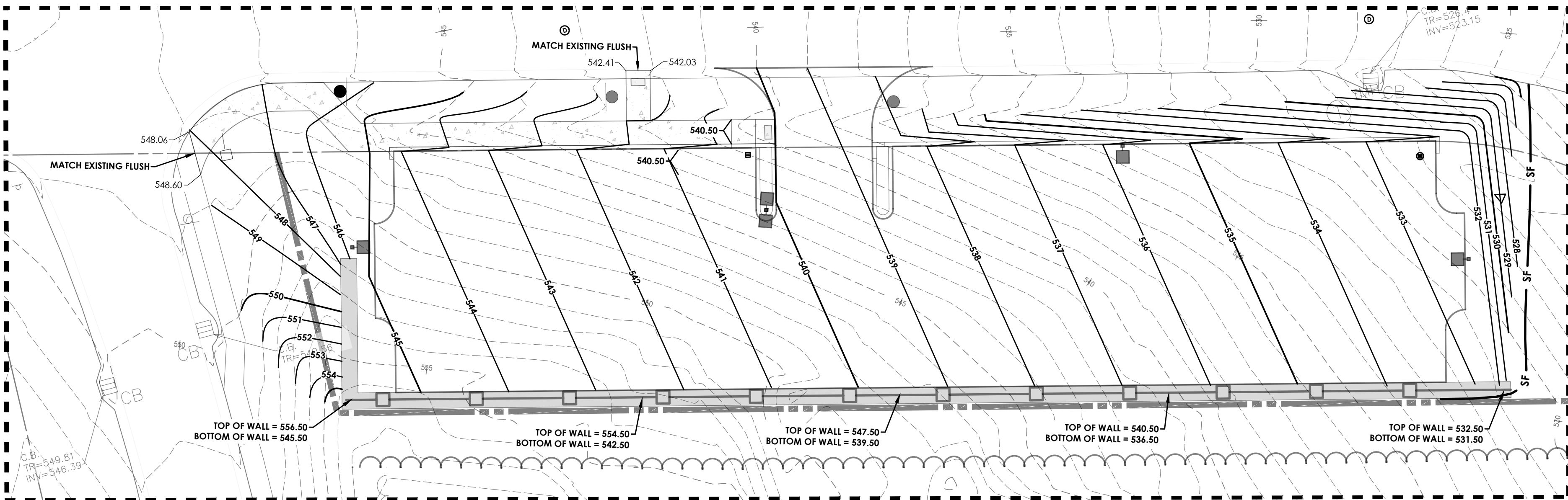
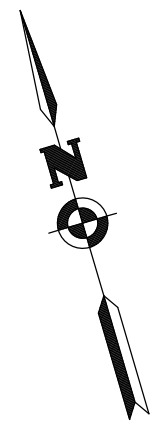
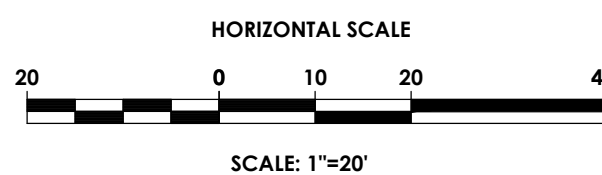
SIDEWALK ENLARGEMENT #1



SIDEWALK ENLARGEMENT #2



SIDEWALK ENLARGEMENT #3



TOWN PLANNING BOARD



**GRADING NOTE:**  
THE EARTHWORK FOR THIS PROJECT IS INTENDED TO BALANCE. IF IT IS DISCOVERED THAT THERE IS AN EARTH SURPLUS OR SHORTAGE, THE TOWN MUST BE NOTIFIED BY THE DESIGN ENGINEER AND FOLLOW UP INFORMATION WILL BE REQUIRED PRIOR TO MOVING MATERIALS OFFSITE.

LEGEND - GRADING:

	PROPERTY BOUNDARY
	R.O.W.
	EXISTING CENTER LINE ROAD
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED SIGN
	PROPOSED LIGHT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SILT FENCE
	PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
	EXISTING STORM SEWER & MH
	PROPOSED WATER SERVICE W/ HYDRANT & VALVE
	EXISTING WATER SERVICE & VALVE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS VALVE
	PROPOSED STONE CHECK DAM
	PROPOSED INLET PROTECTION
	PROPOSED TREE/BRUSH LINE
	EXISTING TREE/BRUSH LINE
	SILT FENCE
	TOP OF: CURB (C), WALL (W), STAIRS (S), RAMP (R)
	BOTTOM OF: CURB (C), WALL (W), STAIRS (S), RAMP (R)
	*BOTTOM ELEVATIONS ARE TO EXPOSED GRADE. CONTRACTOR IS RESPONSIBLE FOR FOUNDATION COURSE DESIGN UNDERGROUND AND SUBMIT TO CIVIL ENGINEER.
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
TOWN ENGINEER

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING BOARD CHAIRMAN

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
TOWN OF PITTSFORD COMMISSIONER OF PUBLIC WORKS

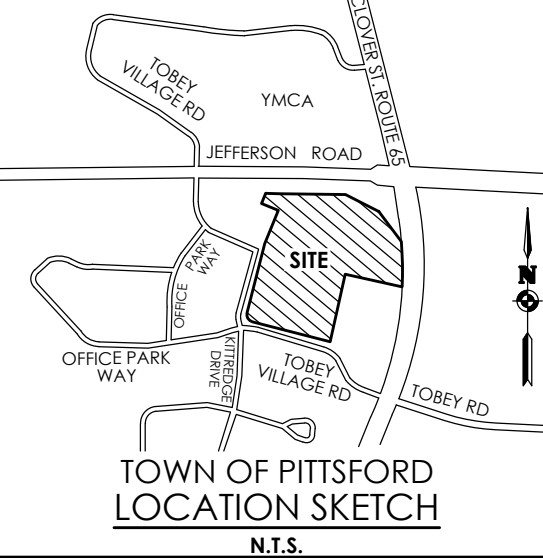
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GRADING & EROSION  
CONTROL PLAN

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

Drawing No.

C 108

Scale:  
SEE PLAN

Date  
JUNE, 2025

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






















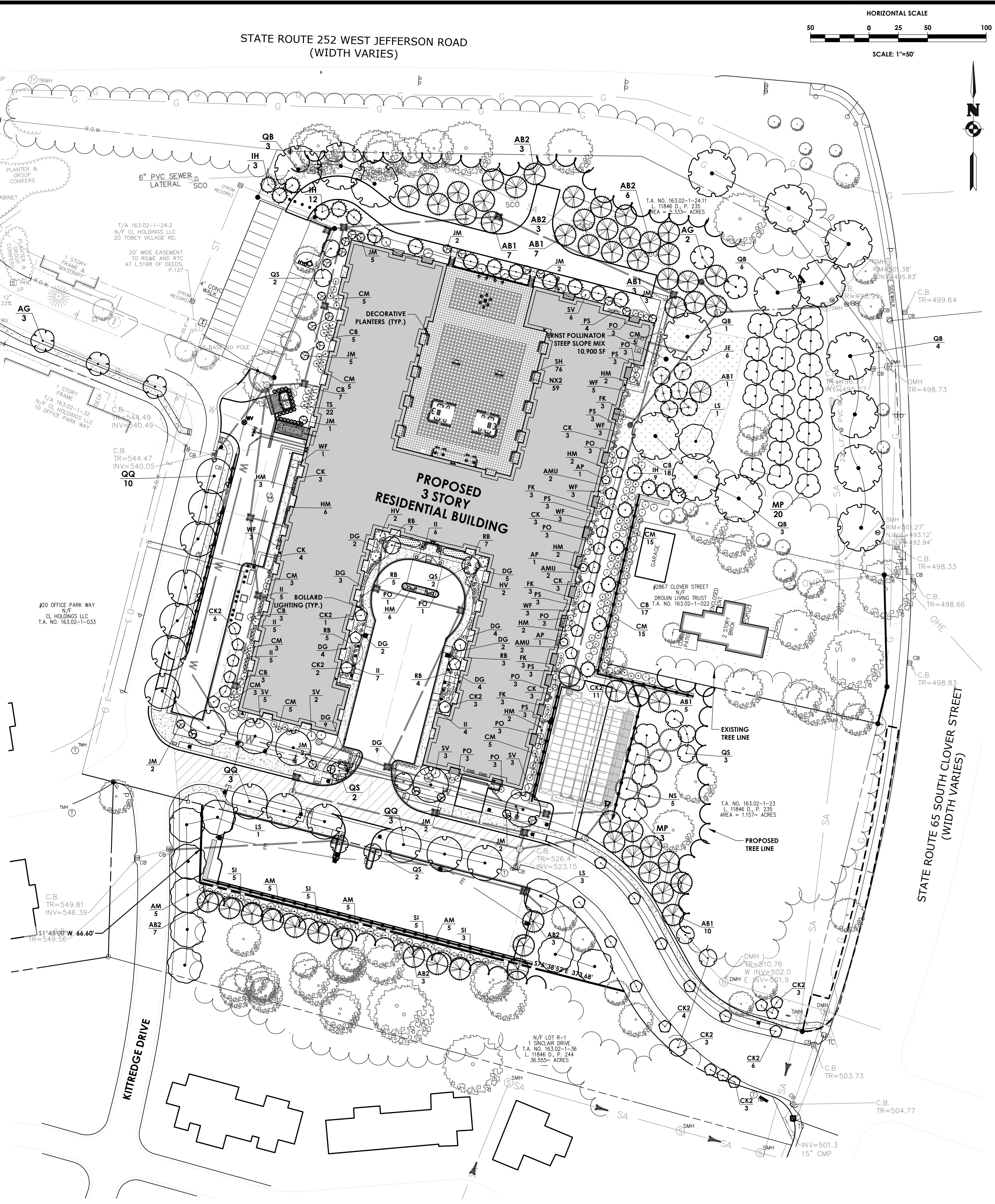
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APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
COMMISSIONER OF PUBLIC WORKS

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE/HEIGHT	ROOT	MATURE HEIGHT	REMARKS
<b>TREES</b>								
	AP	3	ACER PALMATUM DISSECTUM 'MONFRICK'	VELVET VIKING™ JAPANESE MAPLE	2' H	#5 CONT.	2-3'	FALL PLANTING HAZARD
	AG	9	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	5-6' H	B&B	15-25'	MULTI-STEMMED
	CK2	39	CORNUS KOUSA	KOREAN DOGWOOD	2.5-3" CAL.	B&B	15-25'	FALL PLANTING HAZARD
	IH	23	ILEX OPACA 'AIKEN RED'	AIKEN RED AMERICAN HOLLY	7-8' H	B&B	35'	FALL PLANTING HAZARD
	LS	10	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	2.5-3" CAL.	B&B	60'	FALL PLANTING HAZARD
	JM	26	MAGNOLIA X 'JANE'	JANE MAGNOLIA	4-5' H	B&B	6-8'	FALL PLANTING HAZARD
	MP	24	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	1.5-1.75" CAL.	B&B	15-20'	FALL PLANTING HAZARD
	NS	5	NYSSA SYLVATICA FALL PLANTING HAZARD	TUPELO	2.5-3" CAL.	B&B	35'	FALL PLANTING HAZARD
	QB	17	QUERCUS BICOLOR FALL PLANTING HAZARD	SWAMP WHITE OAK	2.5-3" CAL.	B&B	50-60'	FALL PLANTING HAZARD
	QS	16	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	2.5-3" CAL.	B&B	50-60'	FALL PLANTING HAZARD
	QQ	18	QUERCUS X 'QRSW18'	STREETWISE® RED OAK	2.5-3" CAL.	B&B	30-60'	FALL PLANTING HAZARD
<b>EVERGREEN TREES</b>								
	AB1	32	ABIES BALSAMEA	BALSAM FIR	7-8' H	B&B	50-75'	}
	AB2	25	ABIES BALSAMEA	BALSAM FIR	15' H	B&B	50-75'	
	JE	6	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	7-8' H	B&B	30-35'	
	TS	22	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-5' H	B&B	12-14'	
	SH	76	SHRUBS					
	AM	20	ARONIA MELANOCARPA	BLACK CHOKEBERRY	12-15"	#2 CONT.	3-6'	
	AMU	6	ARONIA MELANOCARPA 'U'CONNAM165'	LOW SCAPE MOUND® BLACK CHOKEBERRY	10-12"	#1 CONT.	18-36"	
	CB	53	CEPHALANTHUS OCCIDENTALIS 'BAILOPTICS'	FIBER OPTICS® BUTTONBUSH	24"-30"	#3 CONT.	5-6'	
	CM	62	CHAMAECYPARIS OBTUSA 'MONYUR'	JADE WAVES™ HINOKI FALSE CYPRESS	2' H	#3 CONT.	6-8'	
	FK	15	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	15-18"	#3 CONT.	3-6'	
	HV	4	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL	30"-36"	B&B	10-20'	
	HM	25	HYDRANGEA MACROPHYLLA 'PIA'	PIA DWARF HYDRANGEA	12-15"	#3 CONT.	18-24"	
	II	32	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	30"-36"	#2 CONT.	3-4'	
	PO	29	PHYSOCARPUS OPULIFOLIUS 'ZLEYEL2'	RASPBERRY LEMONADE™ NINEBARK	2-3"	#3 CONT.	3-6'	
	SI	18	STEPHANANDRA INCISA	CUTLEAF STEPHANANDRA	18-21"	#3 CONT.	3-6'	
	SV	20	SYRINGA VULGARIS 'AGINCOURT BEAUTY'	AGINCOURT BEAUTY COMMON LILAC	3-4"	#5 CONT.	10-12'	
	WF	21	WEIGELA FLORIDA 'VARIEGATA NANA'	VARIEGATED DWARF WEIGELA	15-18"	#2 CONT.	3'	
<b>ORNAMENTAL GRASSES</b>								
	OK	19	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	15-18" H	#2 CONT.	4-6'	
	DG	44	DESCHAMPSIA CESPITOSA 'GOLDTAU'	GOLD DEW TUFTED HAIR GRASS	12-15" H	#1 CONT.	2'	
	PS	22	PENNISETUM SETACEUM 'RUBRUM'	PURPLE FOUNTAIN GRASS	6-12"	#1 CONT.	18-36"	
	SH	76	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	12-15" H	#1 CONT.	2-3'	
	PER SF	10,900	ERNST SEED POLLINATOR MIX & COVER OATS	SHOWY NORTHEAST NATIVE WILDFLOWER MIX WITH COVER CROP				
<b>PERENNIALS</b>								
	NX2	59	NEPETA X 'CAT'S PAJAMAS'	CAT'S PAJAMAS CATMINT	8-12" H	#1 CONT.	12-14"	
	RB	31	RUDBECKIA FULGIDA 'EVOLUTION COLORIFIC'	EVOLUTION COLORIFIC CONEFLOWER	15-18" H	#1 CONT.	3-4'	



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N.T.S.

Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691

Principal-in-Charge  
Project Manager  
Designed by  
Andrew Burns, P.E.  
Andrew Burns, P.E.  
Shari Kleis

STATE OF NEW YORK  
ANDREW CAMPBELL BURNS  
108899  
PROFESSIONAL ENGINEER

Revisions  
No. Date By Description  
1 07/16/24 SMK DRC COMMENTS

LANDSCAPE PLAN  
PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

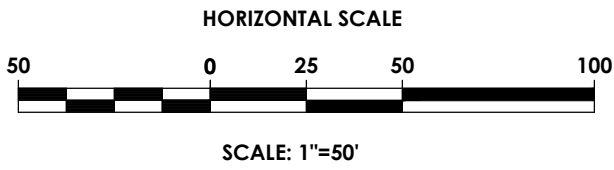
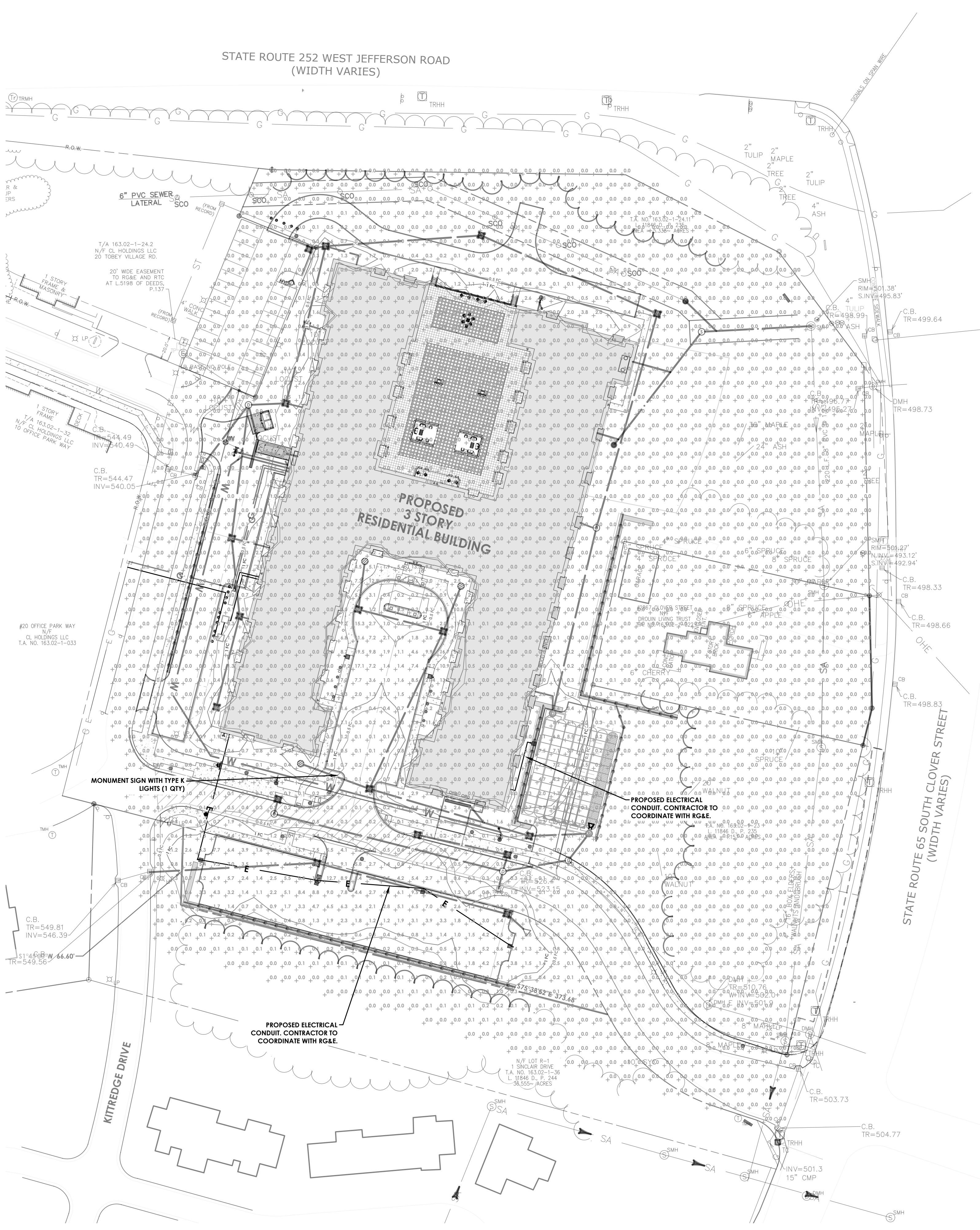
Drawing No.  
C 109

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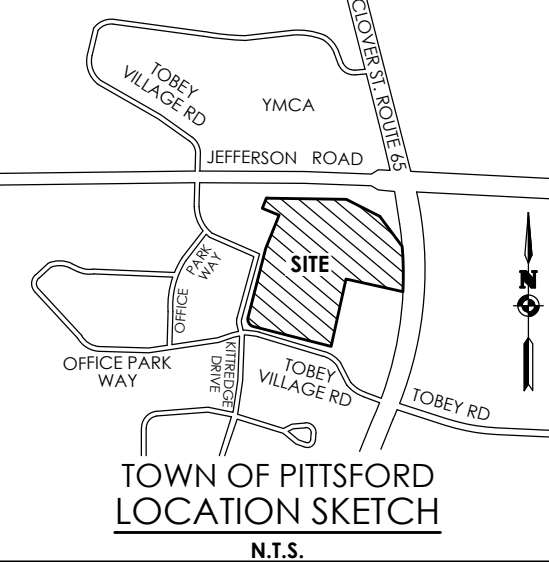
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Revisions			
No.	Date	By	Description
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## LIGHTING PLAN

### PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.





**C 110**

Scale:  
**1" = 50'**

Date  
**JUNE, 2025**

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## LUMINAIRE SCHEDULE

Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Photo
32	Lithonia Lighting	PMW LED FS 562 30K PMWLT	PMW LED WITH FS PERFORMANCE PACKAGE, 3000K, 400, 562 OPTIC TYPE	1	2111	1	35.56	 Part: 1902nd
1	Industrial Lighting Products Inc.	SAS-58C-U-30-F3	Synline Street, 18,000 Lumens, 3000K, Type 3 100K	1	18187	1	131.7	 Part: 1446cd
1	Industrial Lighting Products Inc.	SAS-58C-U-30-F3	Synline Street, 18,000 Lumens, 3000K, Type 3 100K	1	18187	1	263.4	 Part: 1446cd
5	Industrial Lighting Products Inc.	SAS-58C-U-30-F4	Synline Street, 18,000 Lumens, 3000K, Type 4 100K	1	17984	1	131.7	 Part: 10437d

### GENERAL NOTE:

- SIGNAGE SHALL NOT BE INTERNALLY LIT. EXTERNAL SIGNAGE LIGHTING SHALL BE DOWN-LIGHTING, DARK SKY COMPLIANT AND SHIELDED.
- TOWN OF PITTSFORD CODE ENFORCEMENT OFFICERS CAN REQUIRE THE SHIELDING OF ANY EXTERIOR LIGHTING WHERE THE LIGHT SOURCE 'GLARE' IS VISIBLE FROM ADJACENT PROPERTIES OR A PUBLIC RIGHT-OF-WAY.

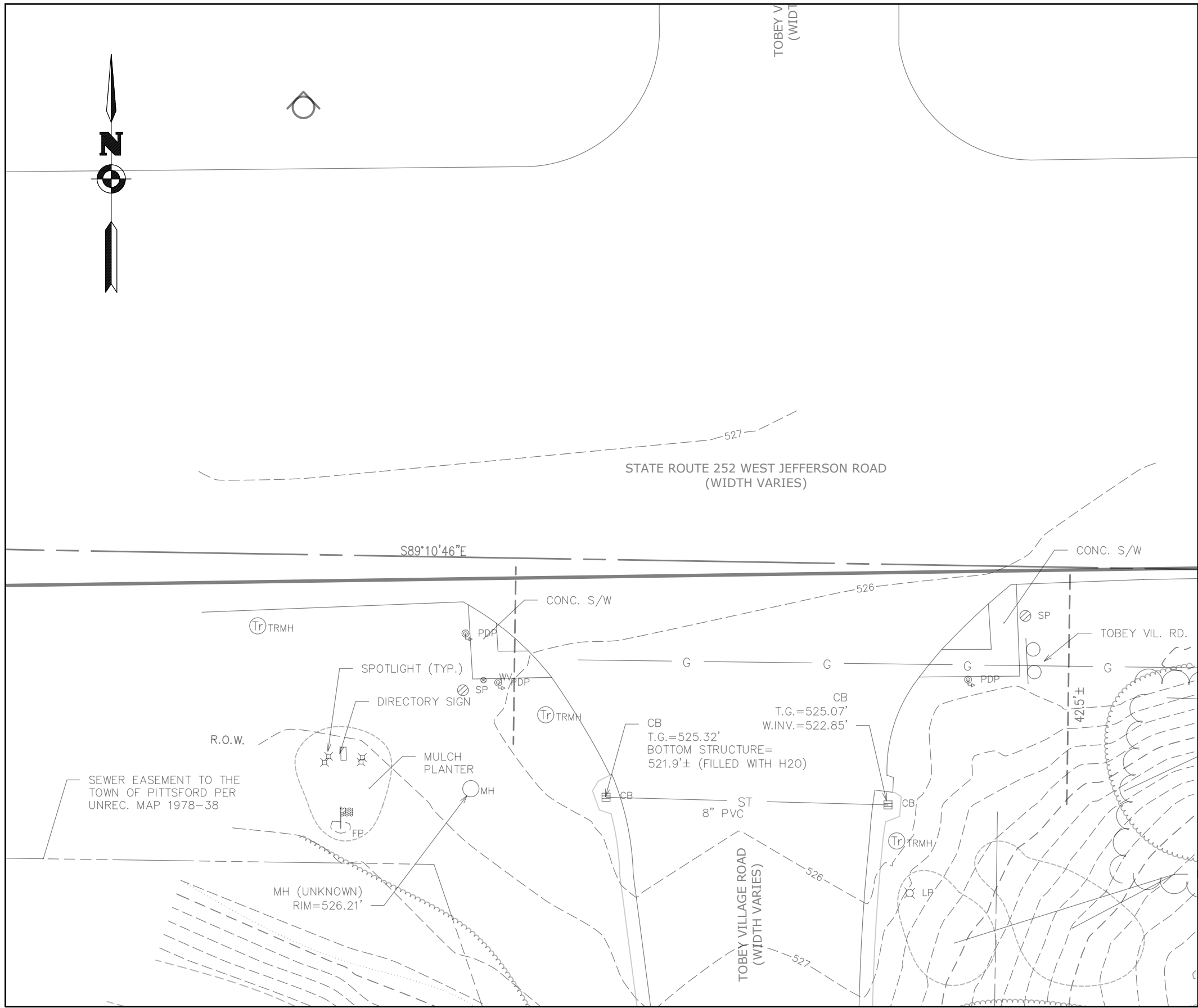
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TOWN ENGINEER

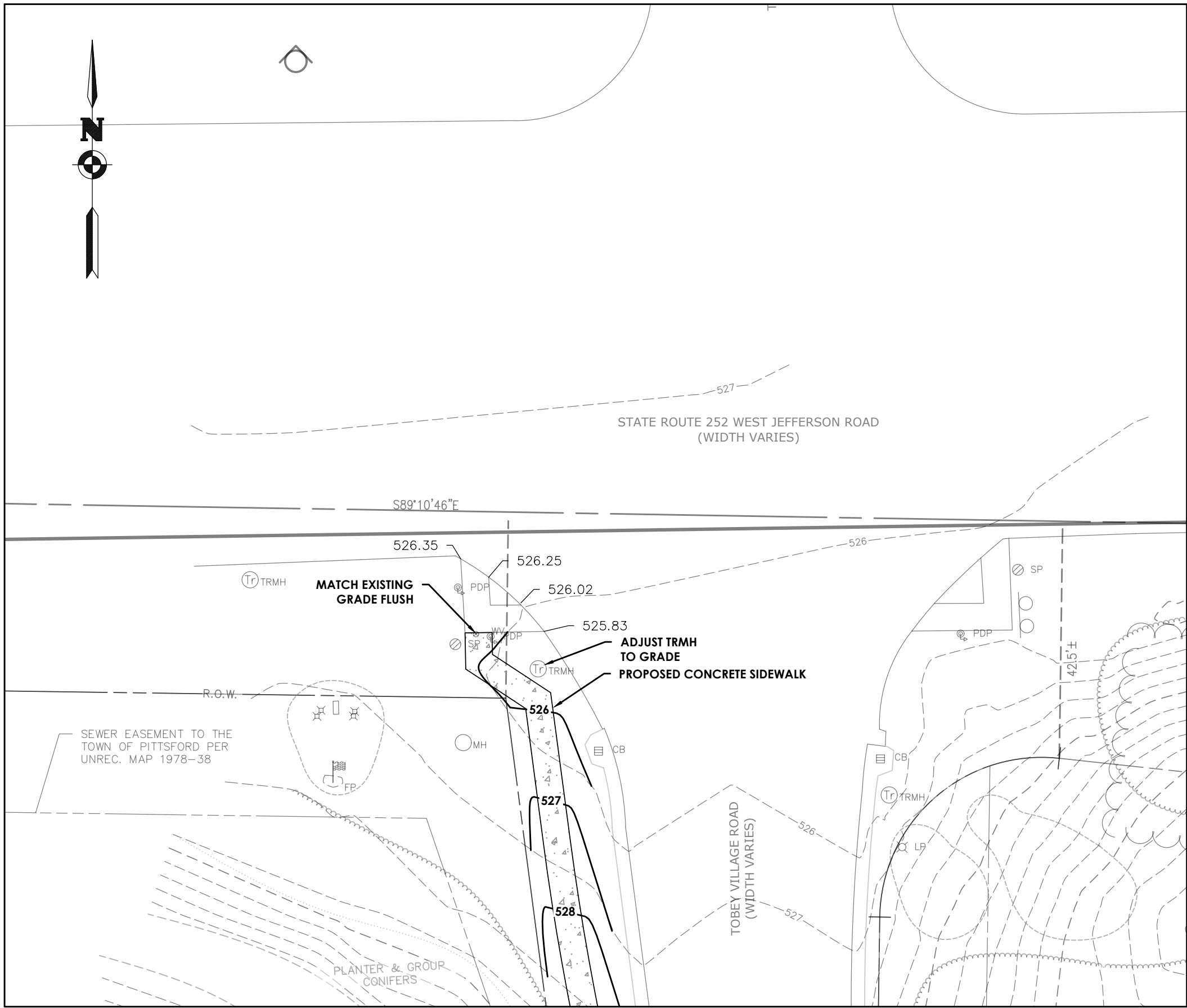
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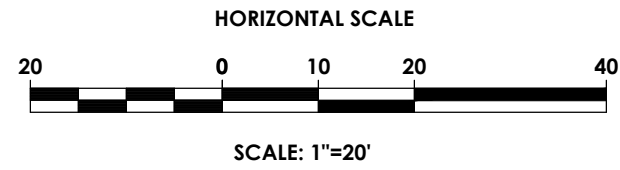
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EXISTING CONDITIONS & DEMOLITION PLAN



SITE, UTILITY, AND GRADING PLAN

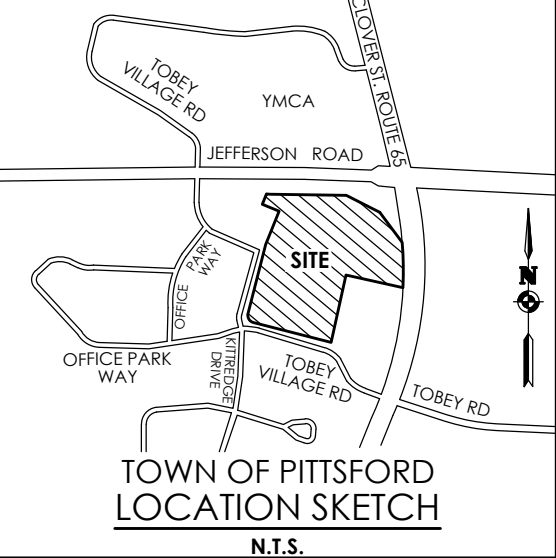


LEGEND:

- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- EXISTING TOPO MINOR
- EXISTING TOPO MINOR
- EXISTING STORM SEWER & MH
- EXISTING WATER SERVICE & VALVE
- EXISTING SANITARY SEWER AND MANHOLE
- IMPROVEMENTS BASELINE
- EXISTING PAVEMENT MARKINGS
- PROPOSED PAVEMENT MARKINGS
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- EXIST. GAS MAIN
- EXIST. WATER MAIN
- EXIST. ELECTRIC LINE
- CLEARING AND GRUBBING LIMITS
- PROPOSED SIGN
- PROPOSED CONCRETE
- PROPOSED EASEMENT LINE
- TOPSOIL AND SEED

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**DOT PLAN**  
**PITTSFORD OAKS**  
Town/City: PITTSFORD  
County: MONROE State: NEW YORK  
Project No.  
**20233554.0001**  
Drawing No.  
**C 111**  
Scale:  
**1" = 20'**  
Date  
**JUNE, 2025**

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DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
2. WITHIN LIMIT LINES. ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS' CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
3. PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
4. CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
5. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
6. ALL EXISTING FEATURES TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
7. CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN. DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
8. ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THE ASPHALT AND CONCRETE SECTION DETAILS INCLUDED IN THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 4 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
9. ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
10. ALL UTILITIES NOT SLATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL UPON COMPLETION OF DEMOLITION. THIS INCLUDES BYPASS PUMPING, IF NECESSARY.
11. EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
12. AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
13. CONTRACTOR RESPONSIBLE FOR OBTAINING ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.
14. IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT AND NYSDEC BEFORE CONTINUING THE DEMOLITION PROCESS.
15. ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.
16. THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.
17. ALL SOIL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTORS EXPENSE.
18. ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE, (MEETING NYSDOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.

CONSTRUCTION SEQUENCE FOR STEEP SLOPE STABILIZATION / JUTE MESH INSTALLATION FOR SLOPES OF 1:3 OR GREATER:

1. STRIP TOPSOIL ON SLOPE.
2. GRADE SLOPE PER PLAN. CONTRACTOR SHALL TAKE CARE TO NOT OVER EXCAVATE EMBANKMENT.
3. REPLACE TOPSOIL.
4. TRACK TOPSOIL WITH A BULLDOZER IN A DIRECTION PERPENDICULAR TO THE PROPOSED CONTOUR LINES.
5. IMMEDIATELY SEED AND FERTILIZE TOPSOIL PER PLAN.
6. IMMEDIATELY APPLY JUTE MESH BY UNROLLING THE PRODUCT DOWN THE SLOPE. DO NOT STRETCH THE MESH, ALLOWING IT TO FULLY CONTACT THE SOIL.
7. SECURE THE JUTE MESH WITH STAPLES (11 GAUGE - 8"x1"x8") 24" APART THOUGH OUT THE MATTING (APPROXIMATELY 200 STAPLES PER 100 SQ. YD) STAPLES SHOULD BE DRIVEN FLUSH WITH THE GROUND.
8. SECURE BEGINNING AND END OF ROLL BY ANCHORING THE MATTING INTO 6" DEEP SLOTS CUT INTO THE SOIL. THEN STAPLE MATTING AT CHECK SLOTS.

STABILIZATION STANDARDS AND SPECIFICATIONS :

A TEMPORARY OR PERMANENT PROTECTIVE COVERING PLACED ON A PREPARED, SEEDED PLANTING AREA IS ANCHORED IN PLACE BY STAPLES OR OTHER MEANS TO AID IN CONTROLLING EROSION BY ABSORBING RAIN SPLASH ENERGY AND WITHSTAND OVERLAND FLOW AS WELL AS PROVIDE A MICROCLIMATE TO PROTECT AND PROMOTE SEED ESTABLISHMENT.

CONDITIONS WHERE PRACTICE APPLIES

ANCHORED STABILIZATION MATS ARE REQUIRED FOR SEEDED EARTHEN SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. IN VEGETATED CHANNELS WHERE THE VELOCITY OF THE DIAPAL FLOW EXCEEDS THE ALLOWABLE VELOCITY FOR VEGETATION ALONE (USUALLY GREATER THAN 5 FEET PER SECOND); ON STREAMBANKS AND SHORELINES WHERE MOVING WATER IS LIKELY TO ERODE NEWLY SEEDED OR PLANTED AREAS; AND IN AREAS WHERE WIND MOVENTS STANDARD MULCHING WITH STRAW. THIS STANDARD DOES NOT APPLY TO SLOPES STABILIZED WITH SOD, ROCK RIPRAP OR HARD ARMOR MATERIAL.

DESIGN CRITERIA

SLOPE APPLICATIONS - ANCHORED STABILIZATION MATS FOR USE ON SLOPES ARE PRIMARILY USED AS MULCH BLANKETS WHERE A NON-DEGRADABLE, THREE DIMENSIONAL PLASTIC STRUCTURE WHICH CAN BE FILLED WITH SOIL PRIOR TO PLANTING. THIS STRUCTURE PROVIDES A MEDIUM FOR ROOT GROWTH WHEN THE MATTING AND ROOTS BECOME INTERTWINED FORMING A CONTINUOUS ANCHOR FOR THE VEGETATED LINING.

1. REQUIRED ON ALL SLOPES STEEPER THAN 3:1
2. MATING WILL BE DESIGNED FOR PROPER LONGEVITY NED AND STRENGTH BASED ON INTENDED USE.
3. ALL INSTALLATION DETAILS AND DIRECTIONS WILL BE INCLUDED ON THE SITE EROSION AND SEDIMENT CONTROL PLAN AND WILL FOLLOW MANUFACTURES SPECIFICATIONS.

CHANNEL APPLICATIONS - ANCHORED STABILIZATION MATS, FOR USE IN SUPPORTING VEGETATION IN FLOW CHANNELS, ARE GENERALLY A NON-DEGRADABLE, THREE DIMENSIONAL PLASTIC STRUCTURE WHICH CAN BE FILLED WITH SOIL PRIOR TO PLANTING. THIS STRUCTURE PROVIDES A MEDIUM FOR ROOT GROWTH WHEN THE MATTING AND ROOTS BECOME INTERTWINED FORMING A CONTINUOUS ANCHOR FOR THE VEGETATED LINING.

1. CHANNEL STABILIZATION SHALL BE BASED ON THE TRACTIVE FORCE METHOD.
2. FOR MAXIMUM DESIGN SHEAR STRESSES LESS THAN 2 POUNDS PER SQUARE FOOT, A TEMPORARY OR BIO-DEGRADABLE MAT MAY BE USED.
3. THE DESIGN OF THE FINAL MATTING SHALL BE BASED ON THE MATS ABILITY TO RESIST THE TRACTIVE SHEAR STRESS AT BANK FULL FLOW.
4. THE INSTALLATION DETAILS AND PROCEDURES SHALL BE INCLUDED ON THE SITE EROSION AND SEDIMENT CONTROL PLAN AND WILL FOLLOW MANUFACTURES SPECIFICATIONS. STANDARD AND SPECIFICATIONS FOR ANCHORED STABILIZATION MATTING

CONSTRUCTION SPECIFICATIONS

1. PREPARE SOIL BEFORE INSTALLING MATTING BY SMOOTHING THE SURFACE, REMOVING DEBRIS AND LARGE STONE, AND APPLYING LIME, FERTILIZER AND SEED. REFER TO MANUFACTURERS INSTALLATION DETAILS.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MAT IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. IN CHANNELS OR SWALES, BEGIN AT THE DOWNSLOPE END, ANCHORING THE MAT AT THE BOTTOM AND TOP ENDS OF THE BLANKET. WHEN ANOTHER ROLL IS NEEDED, THE UPSLOPE ROLL SHOULD OVERLAY THE LOWER LAYER, SINGLE STYLE, SO THAT CHANNEL FLOWS DO NOT FEE BACK THE MATERIAL.
4. ROLL THE MATS DOWN A SLOPE WITH A MINIMUM 4" OVERLAP. ROLL CENTER MAT IN A CHANNEL IN DIRECTION OF WATER FLOW ON BOTTOM OF THE CHANNEL. DO NOT STRETCH BLANKETS. BLANKETS SHALL HAVE GOOD CONTINUOUS CONTACT WITH THE UNDERLYING SOIL THROUGHOUT ITS ENTIRE LENGTH.
5. PLACE MATS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE MATS.
6. FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN A DEEP X 6" WIDE TRENCH; BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
7. MATS ON SIDE SLOPES OF A CHANNEL MUST BE OVERLAPPED 4" OVER THE CENTER MAT AND STAPLED.
8. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
9. THE TERMINAL END OF THE MATS MUST BE ANCHORED IN A 6"x6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
10. STAPLING AND ANCHORING OF BLANKET SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS.

MAINTENANCE

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 80% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 2 CALENDAR DAYS

AT THE VERY MINIMUM, EROSION CONTROL SHALL BE AS SHOWN ON THIS PLAN. EROSION CONTROL MAY CONSIST OF SEDIMENT TRAPS AND/OR ENVIRONMENTAL FENCES. THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INTEGRITY, MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES UNTIL NO LONGER DEMAED NECESSARY BY THE TOWN OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN THE STORM SEWER SYSTEM UNTIL THE PROJECT IS DEVELOPED AND APPROVED BY THE TOWN AND OWNER.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE PERMITTEE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STONE FILL. CORRECTIVE ACTIONS, AS IDENTIFIED BY THE DEVELOPER'S QUALIFIED SWPPP MONITOR OR A TOWN REPRESENTATIVE, SHALL BE INITIATED WITHIN 24 HOURS OF BEING REPORTED. THE TOWN MAY REVIEW THE PROJECT SITE AT ANY TIME. REVIEW OF EROSION CONTROL MEASURES BY THE TOWN DOES NOT RELIEVE THE DEVELOPER OF HIS OBLIGATIONS UNDER THE NYSDEC SPDES GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITY. (GP-0-20-001).

SOIL RESTORATION NOTES:

1. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
2. ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE REMOVED FROM OFF SITE.
3. APPLY TOPSOIL TO A DEPTH OF 6 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
4. VEGETATE AS REQUIRED BY APPROVED PLAN.

TEMPORARY CONSTRUCTION AREA SEEDING NOTES:

1. THE AREA MUST BE ROUGH GRADED AND SLOPES PHYSICALLY STABLE.
2. SEEDING MUST TAKE PLACE WITHIN 24 HOURS OF DISTURBANCE OR SCARIFICATION OF THE SOIL WILL BE NEEDED PRIOR TO SEEDING.
3. TYPICALLY FERTILIZER OR LIME IS NOT USED FOR TEMPORARY SEEDINGS.
4. ANY SEEDING METHOD MAY BE USED THAT PROVIDES UNIFORM APPLICATION OF SEED TO THE AREA.
5. SEEDING

PLANTING SEASON	SPECIES	RATE IN LBS./ACRE
SPRING, SUMMER, OR EARLY FALL	RYEGRASS (ANNUAL OR PERENNIAL)	30
LATE FALL OR EARLY WINTER	WINTER RYE (CEREAL RYE)	100

\*MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE. WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL MAY BE USED IF APPLIED ACCORDING TO SPECIFICATIONS.

COMPACTION NOTES

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

EROSION AND SEDIMENT CONTROL NOTES: (OCTOBER 2021)

1. IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS, AND IF NECESSARY, MODIFY THE PLAN WITH THE CONTRACTOR'S INTENDED SEQUENCE AND TYPES OF OPERATIONS. THE CONTRACTOR'S MODIFIED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, ALONG WITH A PROGRESS SCHEDULE THAT ADDRESSES THIS WORK.
2. IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL DESIGNATE AN "EROSION AND SEDIMENT CONTROL SUPERVISOR" FOR THE PROJECT. THE SUPERVISOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AND FOR INSPECTING AND MAINTAINING THE CONTROL MEASURES. THE NAME AND QUALIFICATIONS (TRAINING AND EXPERIENCE) OF THIS INDIVIDUAL SHALL BE SUBMITTED TO THE ENGINEER FOR STARTING EARTHWORK.
3. THE DESIGNATED "EROSION AND SEDIMENT CONTROL SUPERVISOR" SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY FIELD CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED IN THE CONTRACT DOCUMENTS. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO SUBMIT A MODIFIED EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO IMPLEMENTING ANY FIELD CHANGES.
4. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL DEVICES BEFORE ENTERING A WATER BODY OR WETLAND.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE FOR WHICH THEY ARE INTENDED AND SHALL REMAIN IN PLACE UNTIL SOILS ARE PERMANENTLY STABILIZED.
6. UNDER NO CONDITION SHALL DISCONTINUED CONSTRUCTION ACTIVITIES IN AREAS WITH SOIL DISTURBANCES BE LEFT FOR A PERIOD OF GREATER THAN 7 DAYS WITHOUT TEMPORARILY STABILIZING THOSE AREAS WITH TEMPORARY SEED AND MULCH. MAINTENANCE OF THOSE AREAS SHALL INCLUDE RESEEDING AND REMULCHING AS NEEDED TO ESTABLISH A SATISFACTORY STAND OF GRASS. THERE SHALL BE NO ADDITIONAL PAYMENT FOR RESEEDING AND REMULCHING.

NO WET OR FRESH CONCRETE, LEACHATE, MATERIAL, OR DEBRIS SHALL BE ALLOWED TO ESCAPE INTO A WATER BODY OR WETLAND. NOR SHALL CONCRETE TRUCKS, MIXERS, OR OTHER DEVICES BE ALLOWED TO ENTER A WATER BODY OR WETLAND. ANY MATERIAL OR DEBRIS ACCIDENTALLY DROPPED INTO THE CHANNEL SHALL BE IMMEDIATELY AND COMPLETELY REMOVED AND DEPOSITED IN AN UPLAND AREA.

THE CONTRACTOR SHALL COVER TEMPORARY STOCKPILES OF ERODIBLE MATERIAL (SUCH AS TOPSOIL OR EARTH FILL) WITH POLY SHEETING, OR RING THE STOCKPILES WITH SILT FENCE TO CONTROL EROSION. POLY SHEETING SHALL COMPLETELY COVER THE STOCKPILE AND BE SECURELY ANCHORED AT ALL TIMES. IF POLY SHEETING OR SILT FENCE THAT IS DAMAGED SHALL BE PROMPTLY REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER. RINGED STOCKPILES EXPOSED OR EXPECTED TO BE EXPOSED FOR LONGER THAN 7 CALENDAR DAYS SHALL IMMEDIATELY BE STABILIZED WITH APPROPRIATE MEASURES. THE COST OF COVERING AND RINGING/STABILIZING STOCKPILES SHALL BE INCLUDED IN THE PRICE BID FOR THE CORRESPONDING STOCKPILED MATERIAL.

DUST CONTROL MEASURES SHALL BE APPLIED AS NEEDED. SWEEP ROADWAYS WHEN THEY BECOME SEDIMENT LOADED. MINIMIZE DISTURBED AREAS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING WATER. WATER SHALL BE SPRAYED AS NEEDED BUT AVOID EXTRA SPRAYING WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

UTILITY CONTRACTOR COORDINATION NOTES:

1. PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL UTILITIES CONNECTING WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR INCLUDING BUT NOT LIMITED TO VERTICAL AND HORIZONTAL LOCATION, PENETRATIONS, AND SIZES. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION OF COORDINATION WITH CONTRACTORS, AND PLANS.
2. THE DEVELOPER AND HIS/HER CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRICAL, CABLE, TELEPHONE AND ANY OTHER UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET WITH APPROPRIATE AGENCY. PASSERO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PERFORMANCE OF UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET.
3. PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY AND COORDINATE WITH EXISTING UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION EXISTING UTILITY VERIFICATION.
4. THE CONTRACTOR IS REQUIRED TO COORDINATE WITH SITE CONTRACTOR/PLUMBER & SEWER CONTRACTOR TO PREDETERMINE THE NECESSARY WYE & CLEANOUT LOCATION ON THE STORM SEWER SYSTEM. THE STORM SEWER SYSTEM IS RECOMMENDED AND MAY BE MODIFIED TO PROVIDE ADEQUATE ROOF DRAINAGE CONNECTIONS.
5. THRUST BLOCKS ON THE WATERMAIN ARE REQUIRED AT BENDS, TEES OR PLUGS. SEE DETAIL SHEETS FOR THRUST BLOCK DETAILS.

STORM NOTES

1. STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY
2. PROPOSED STORM SEWER LATERAL MATERIAL: PVC SDR-35 6" MIN. SIZE & SHALL BE LAID AT A MINIMUM GRADE OF 1/4" PER FT. STORM SEWER MATERIAL: ADS HDPE 12" MIN.
3. FOUNDATION DRAINS SHALL BE CONNECTED TO STORM WATER SYSTEM VIA SUMP PUMPS. DOWNSPOUTS SHALL BE CONNECTED TO STORM SEWER WHERE APPLICABLE, WHERE NOTED ON THE PLANS DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS.
4. UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER LINE AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED OR MANDEUL TESTED TO THE SATISFACTION OF THE MUNICIPALITY.

SANITARY NOTES

1. SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE STATE, COUNTY AND LOCAL MUNICIPALITY
2. MATERIALS
  - MAINS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:
    - ASTM D-3034 (4" THRU 15")
    - ASTM F-679 (18" THRU 48")
  - LATERALS - 4" MIN. INSTALLED AT 2 1/2 PER FOOT MIN. PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.
  - JOINTING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.
  - MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.
3. INFILTRATION AND EXFILTRATION FOR SANITARY SEWERS SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS.
4. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM C-828-80. ENTITLED STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPELINES; SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
5. VACUUM TESTING OF MANHOLES IS ALLOWED. THE CONTRACTOR IS CAUTIONED TO SPEAK TO THE SUPERINTENDENT OF SEWERS PRIOR TO COMMENCING WITH PLANS TO VACUUM TEST.
6. DEFLECTION TEST - TEN STATE STANDARDS.
  - 6.A. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
  - 6.B. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDELR, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
  - 6.C. NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
7. ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE PENFIELD SEWER DISTRICT.
8. ALL HOUSE LATERALS SHALL HAVE A CLEANOUT AT THE PROPERTY LINE OR EASEMENT LINE.
9. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER/COMBINATION SEWER. (FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS). ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
10. SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. MANHOLES OR VAULTS.
- 11.
12. SEWER USE LAW: FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE L.SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

SEWER USE LAW:

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

GENERAL NOTES

1. THE SANITARY WASTE DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF THE NEW YORK STATE AND MONROE COUNTY HEALTH DEPARTMENTS.
2. WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MONROE COUNTY WATER AUTHORITY.
3. THE MINIMUM GRADE AT THE HOUSE SHALL BE 1" ABOVE THE EDGE OF THE PAVEMENT.
4. THE BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE.
5. ANY COST RELATED TO THE RELOCATION OF ANY UTILITIES NECESSITATED BY THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THOSE REQUESTING THE RELOCATION OF THE UTILITY.
6. ANY AND ALL CULVERT LOCATIONS, SIZES OR TYPES, TO BE APPROVED BY THE TOWN SUPERINTENDENT OF HIGHWAYS.
7. ALL PROPERTY CORNERS TO BE MARKED WITH IRON PINS.
8. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODEIC SURVEY OFFICE. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCE OF DESTRUCTION OF GEODEIC SURVEY MONUMENTS.
9. THIS SUBDIVISION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE COUNTY MONUMENTATION LAW.
10. THE SUBDIVISION IS LESS THAN 1500 FEET FROM THE NEAREST CONTROL MONUMENT AND IS THEREFORE TIED INTO THE MONUMENTATION NETWORK.
11. THIS SUBDIVISION SHALL COMPLY WITH ANY COUNTY OR STATE AGENCIES HAVING JURISDICTION.
12. ALL SITE WORK TO BE IN COMPLIANCE WITH THE STANDARDS OF CHAPTER 29 - ARTICLE V OF THE TOWN OF PITTSFORD.
13. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT FOR THE TOWN OF PITTSFORD DATED THE MOST CURRENT REVISION.
14. THIS PROJECT WILL BE IN ACCORDANCE WITH THE TOWN OF PITTSFORD HIGHWAY FRONTAGE POLICY.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING PAVEMENT, CURBS, SIDEWALKS, LAWN AREAS, TREES AND OTHER EXISTING FEATURES CAUSED BY HIS/HER OPERATION. ALL SUCH DAMAGE SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AT HIS/HER EXPENSE.
16. THE TOWN OF PITTSFORD DOES NOT FLOW SIDEWALKS IN THIS AREA. SIDEWALK FLOWING SHALL BE DONE BY THE OWNER.
17. ONE WEEK PRIOR TO THE START OF CLEARING AND GRUBBING THE TOWN WILL BE NOTIFIED, LIMITS OF CLEARING WILL BE FLAGGED AND CHECKED BY THE TOWN PRIOR TO THE START OF WORK.
18. THE TOWN OF PITTSFORD IS NOT RESPONSIBLE FOR STREET TREES.

STANDARD SANITARY SEWER EXTENSION NOTES:

1. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED STANDARD PRACTICE FOR LOW-PRESSURE AIR TEST FOR VITRIFIED CLAY PIPE. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
2. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
3. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDELR, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
4. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. MANHOLES OR VAULTS.

STANDARD WATER MAIN EXTENSION NOTES:

1. THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR) WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY. THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES. MANHOLES OR VAULTS.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
4. THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

4" AND LARGER WATER SERVICE LINE NOTES

1. Water service lines shall be constructed in accordance with the regulations and specifications of the Water Authority.
2. Water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and six feet of cover from finished grade in paved areas.
3. Water service lines shall be separated at least ten feet, measured from the outside of the pipe, from sewer mains or septic systems.
4. Water service lines shall be identified as:

DESCRIPTION	SIZE	MATERIAL <sup>(N)</sup>	TYPE <sup>(N)</sup>
MCWA Portion: from the water main to and including the control valve on the ROW/property/easement line	6"	D.I.P.*	CMB
Private Portion: from the control valve to the meter	6"	D.I.P.*	CMB

<sup>(N)</sup>Acceptable material is \*Class 52 cement mortar lined Ductile Iron Pipe.

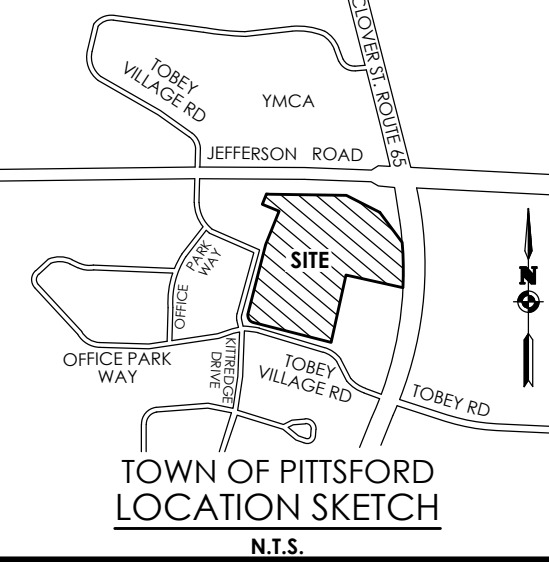
<sup>(N)</sup>Service Types include: Domestic = DS, Fire = FS, or Combined = CMB

5. The Water Authority's portion of the water service line shall be installed prior to the private portion of the service line.
6. Water meter(s) to be located on the interior of exterior walls(s) immediately upon service entrance into the building(s). A by-pass assembly is not required under the installation of 5/8-inch through 1-inch meters. 1 1/2-inch + 2-inch Meter installations may require a by-pass assembly around the meter. Meter installation 3-inch or greater require a bypass assembly around the meter.
7. Water service lines sized 4-inches or greater shall be:
  - Pressure tested in accordance with the latest specifications of the Monroe County Water Authority. A Water Authority representative must witness this test.
  - Disinfected by using the continuous feed method according to AWWA Standard Specifications. After flushing and disinfecting the service line, water samples shall be collected in accordance with the Department of Health that has jurisdiction of the areas requirements. Approval and notification by the Health Department of passing health sample test(s) must be received before the service will be activated by the Water Authority.

	MONROE COUNTY WATER AUTHORITY ROCHESTER, NEW YORK	DEC 2020 DATE DME 26
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Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

PASSERO ASSOCIATES

242 West Main Street Suite 100  
Rochester, New York 14614

(585) 325-1000  
Fax: (585) 325-1691

Principal-in-Charge Andrew Burns, P.E.  
Project Manager Andrew Burns, P.E.  
Designed by Shari Kleis



Revisions			
No.	Date	By	Description
1	07/19/24	SKM	DRC COMMENTS

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NOTES

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

Drawing No.

C 201

Scale:

N.T.S.

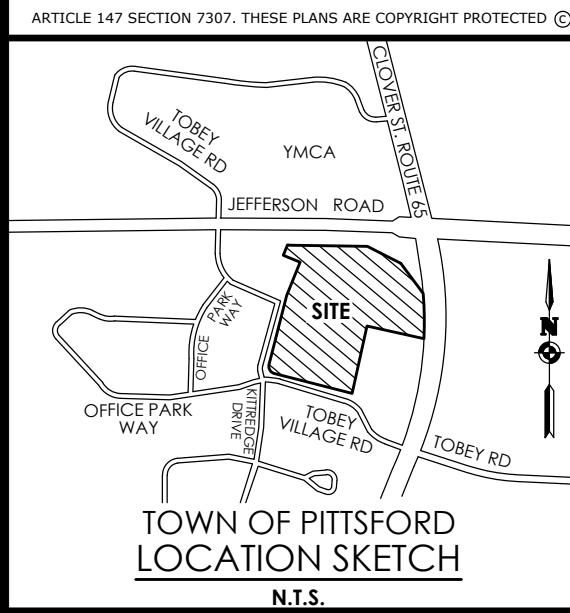
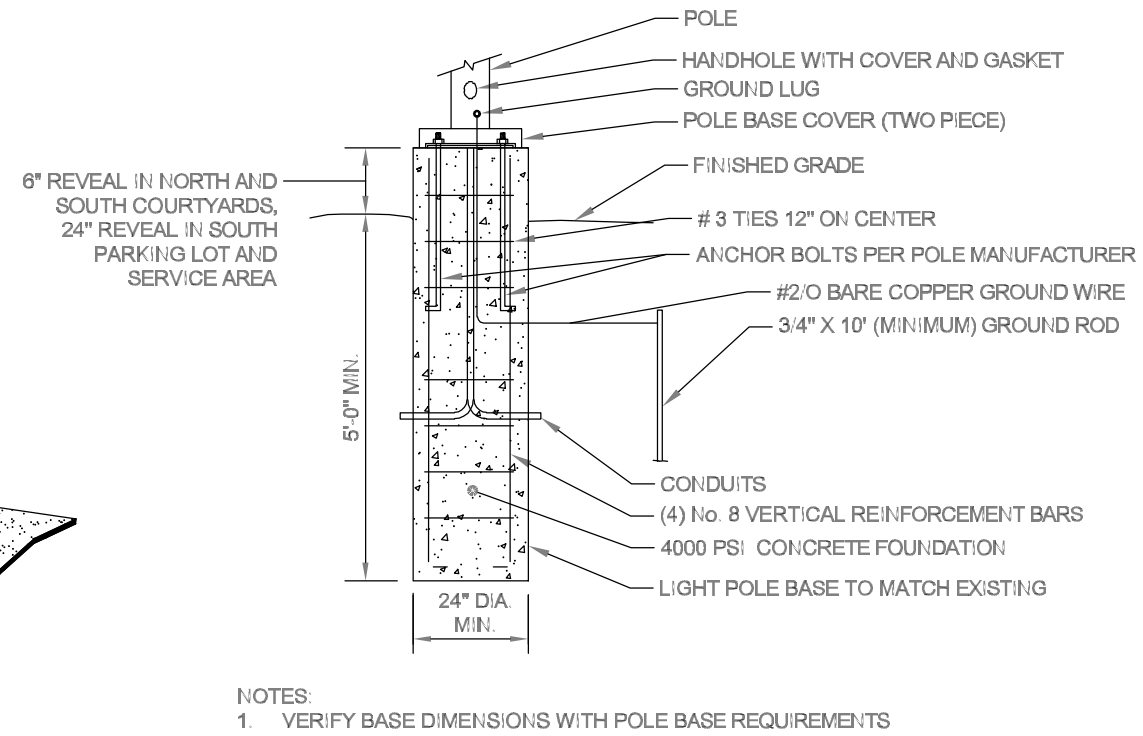
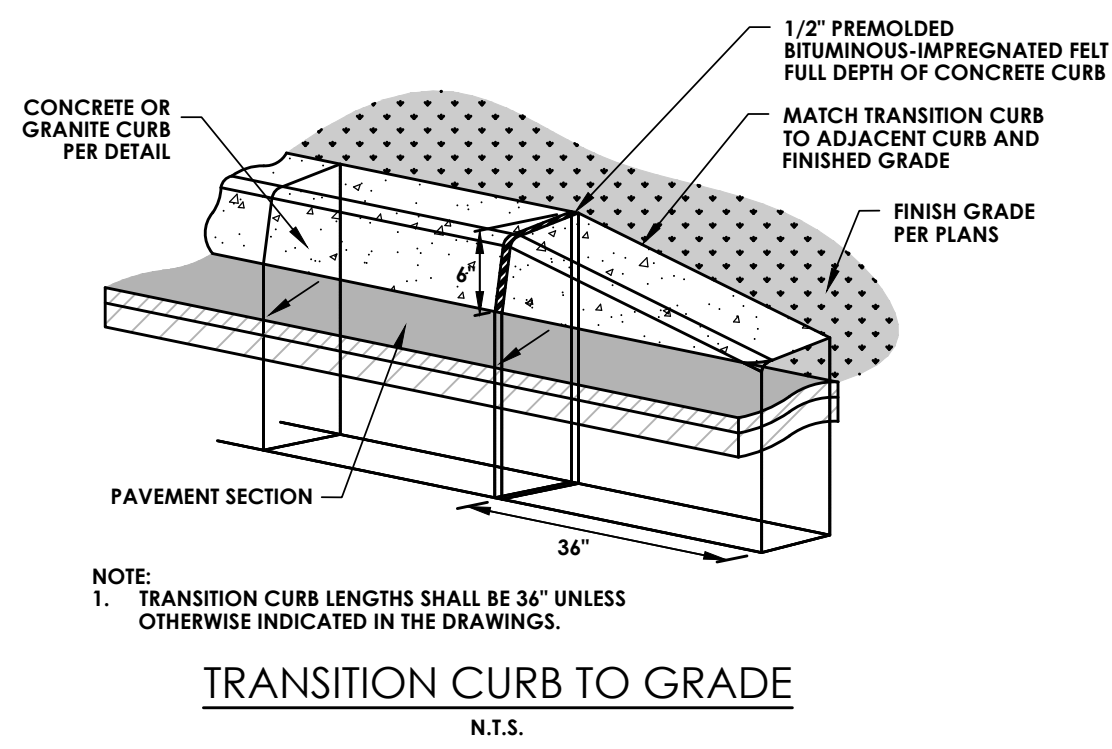
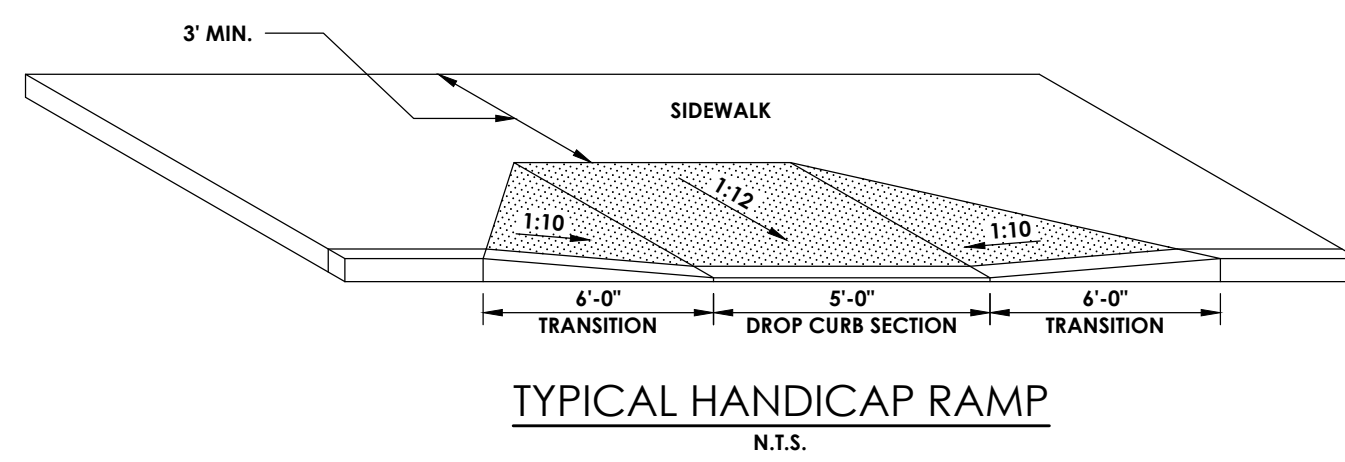
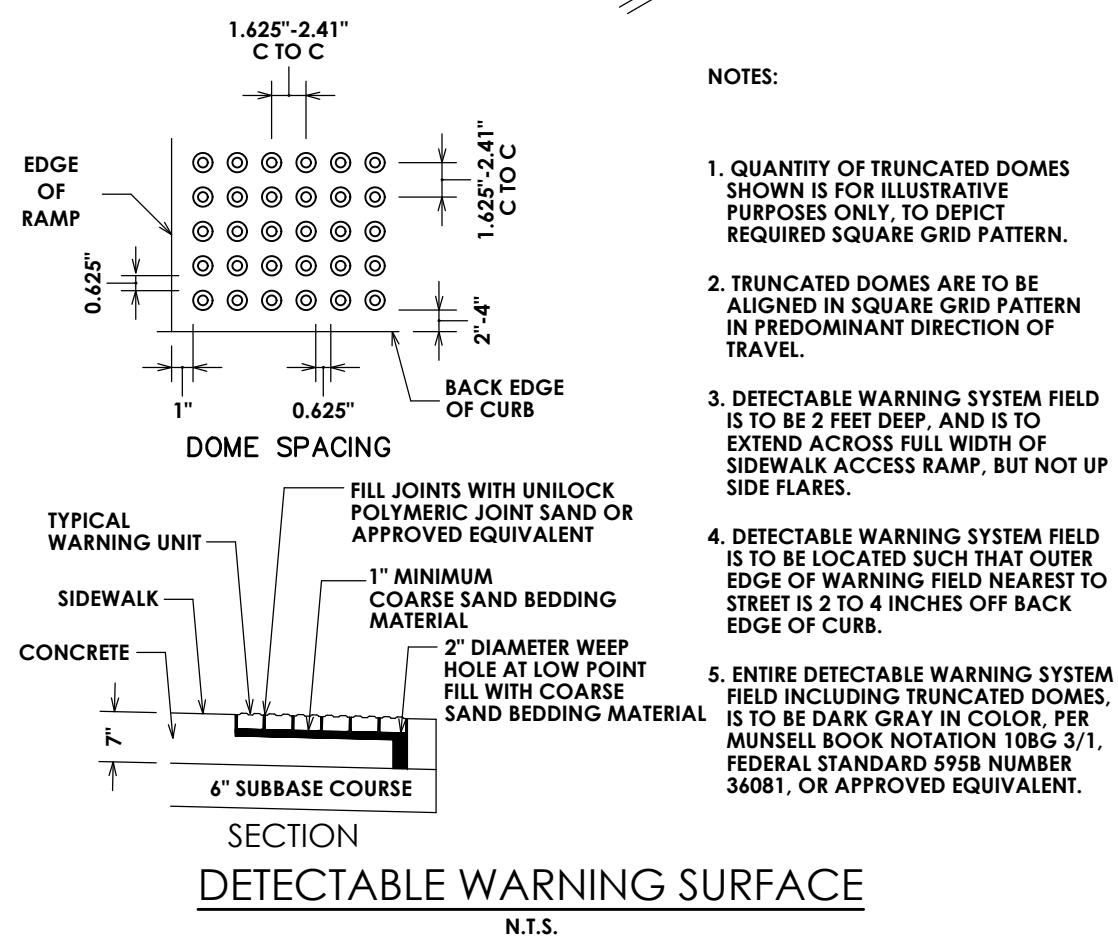
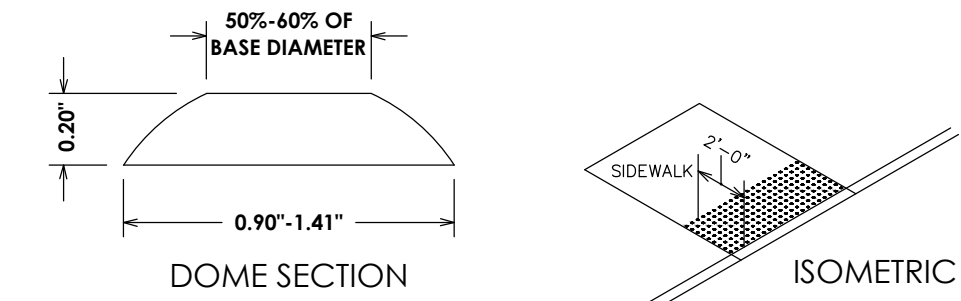
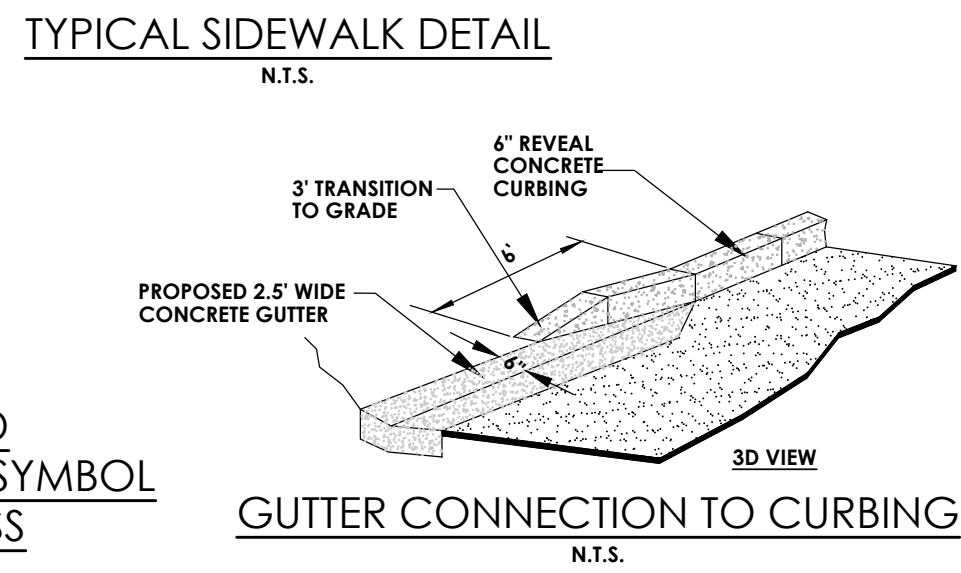
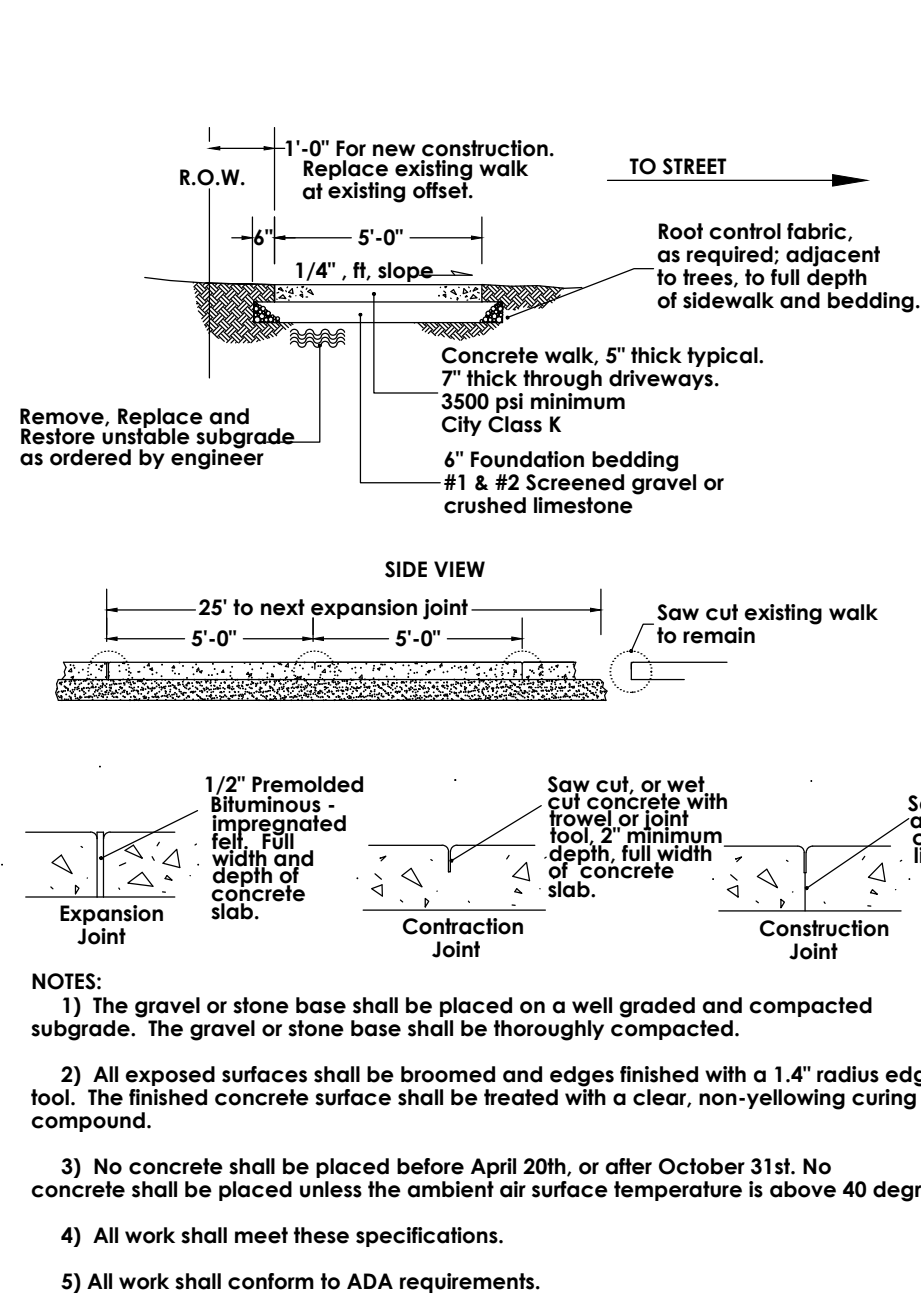
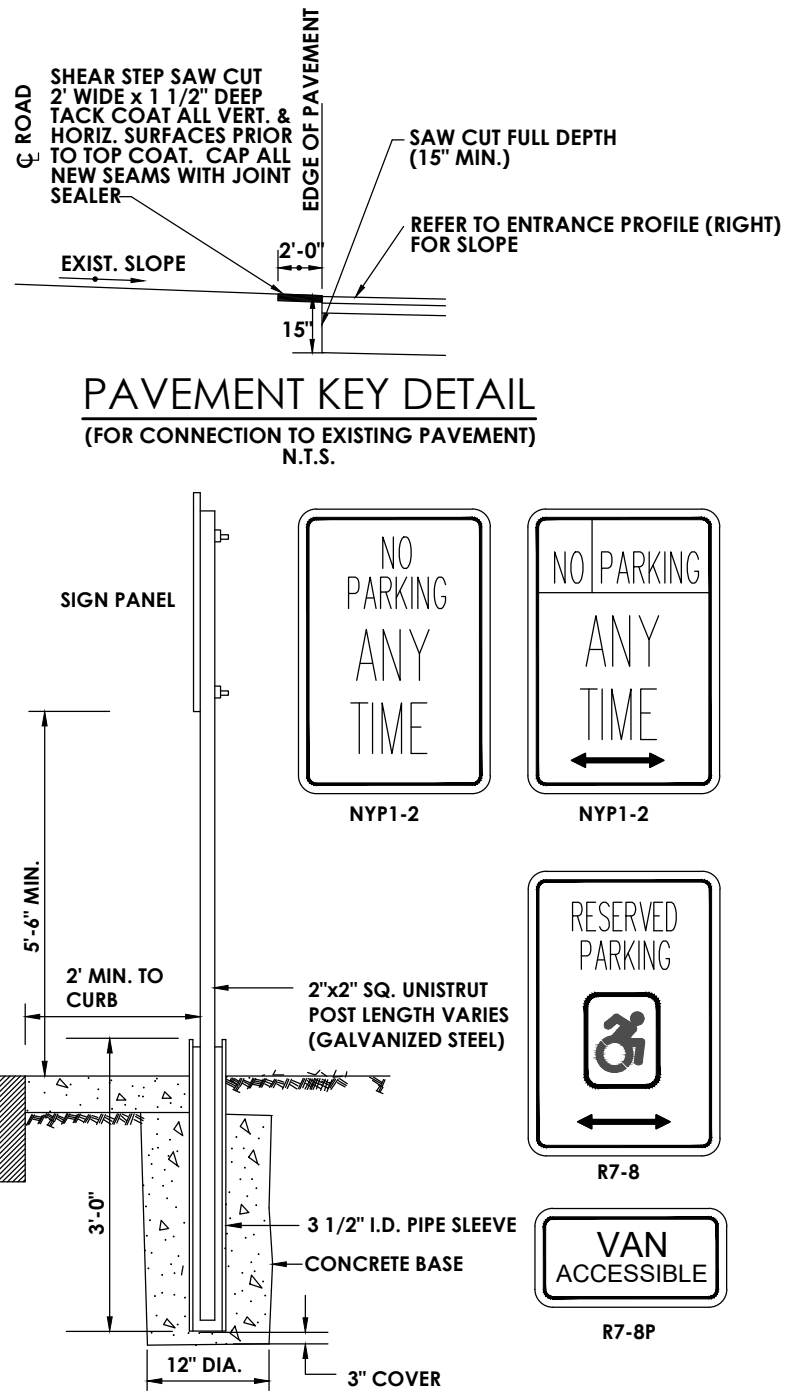
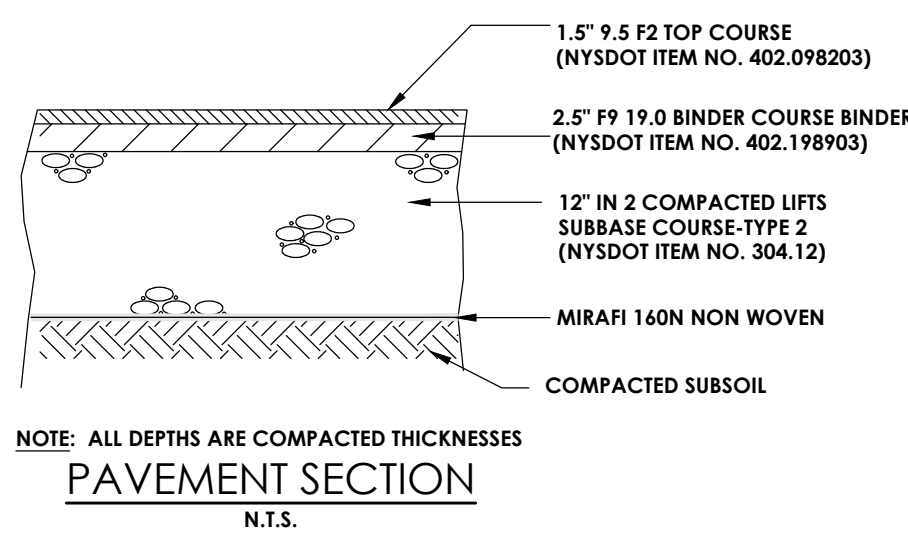
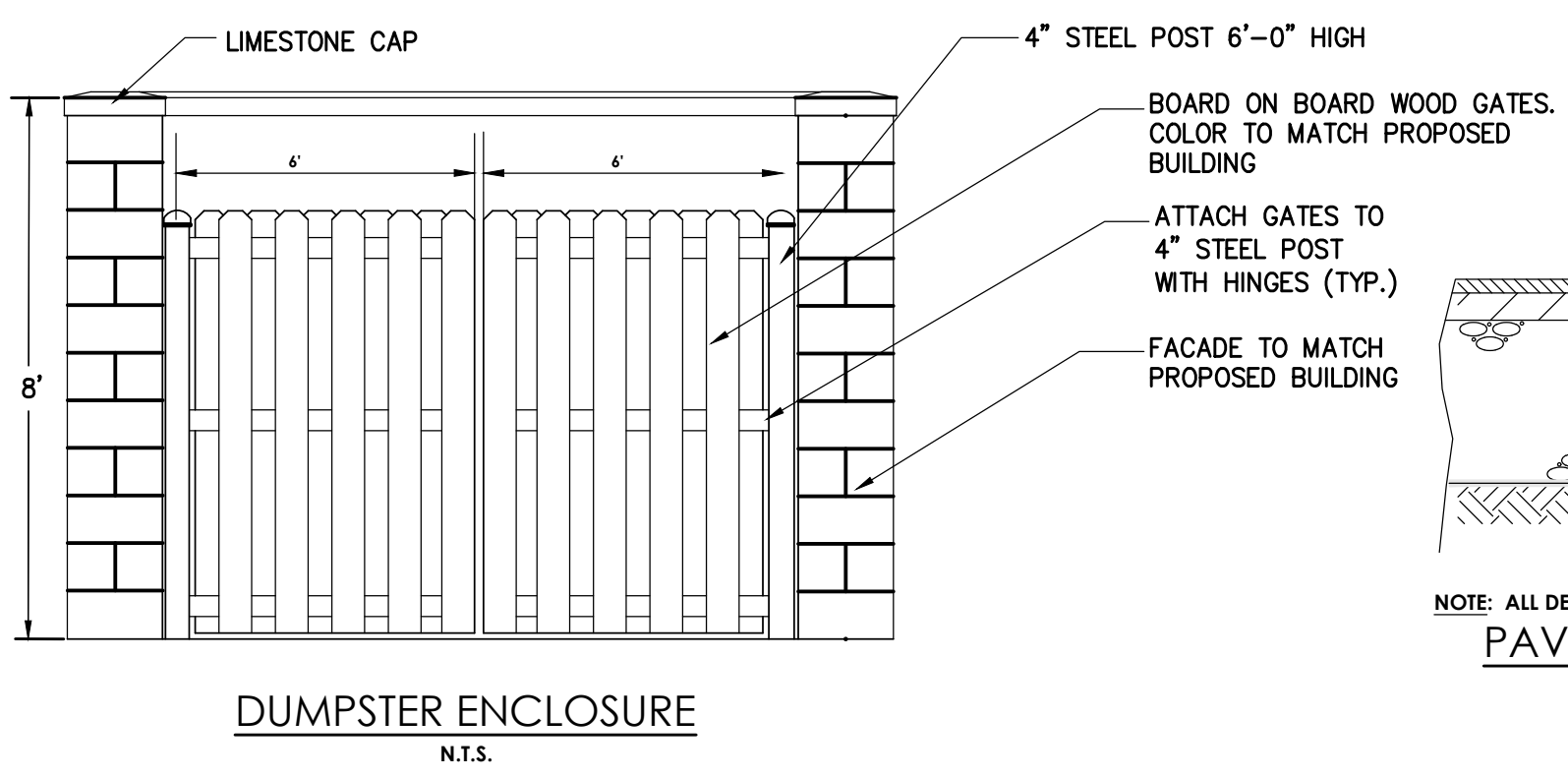
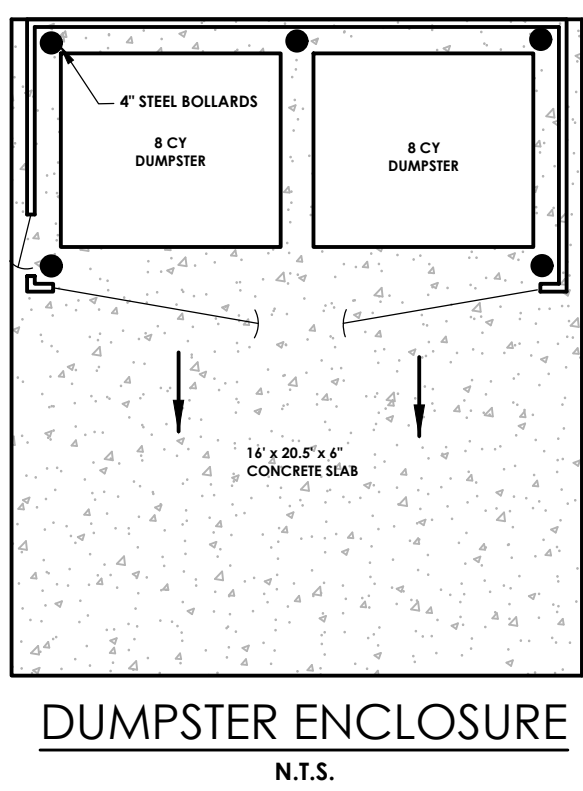
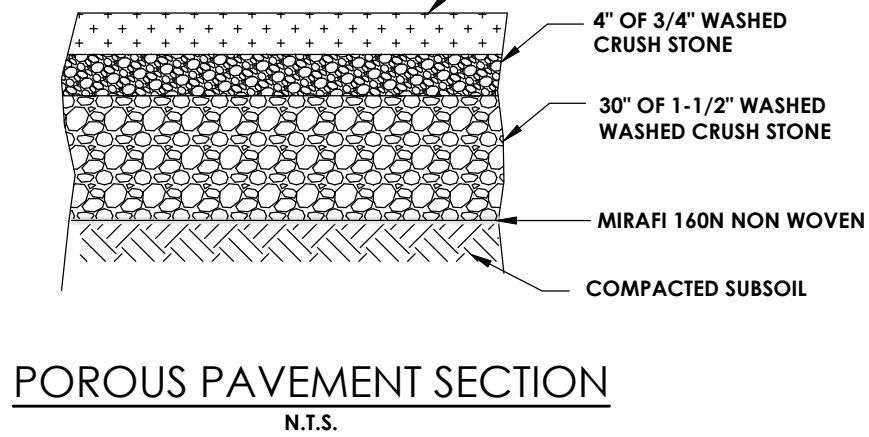
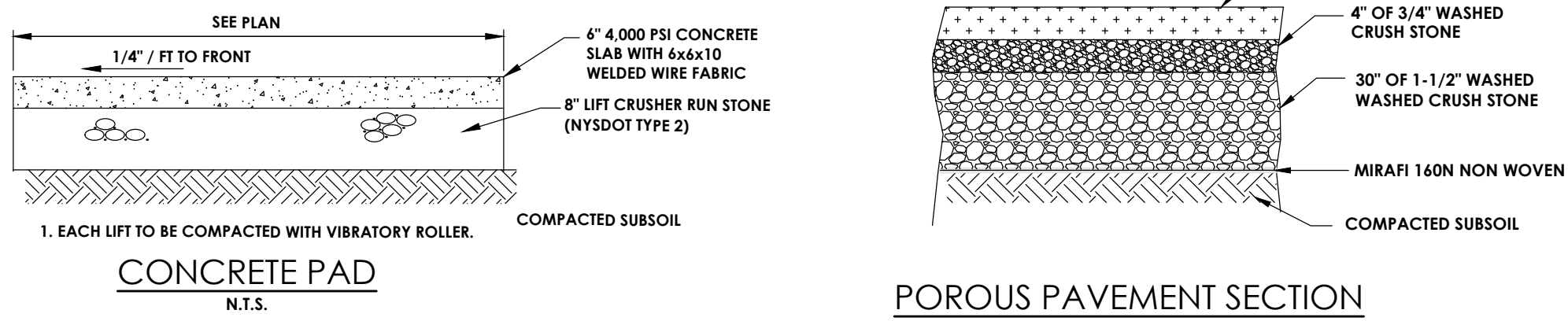
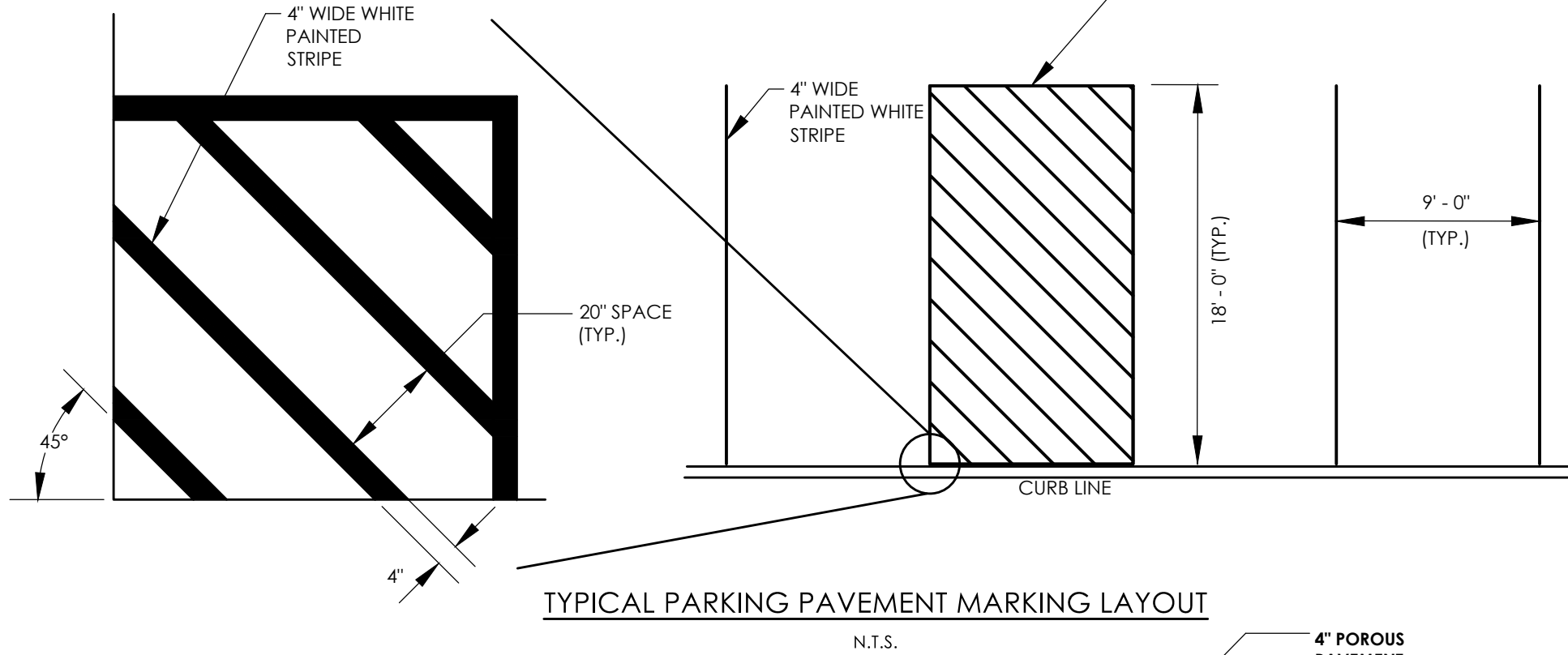
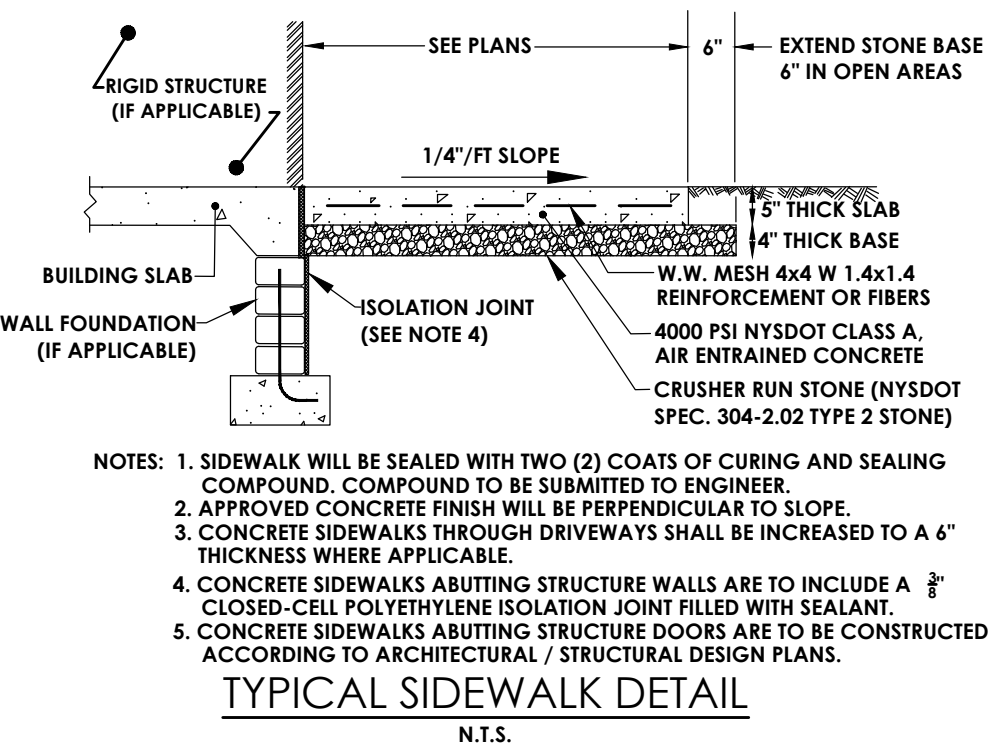
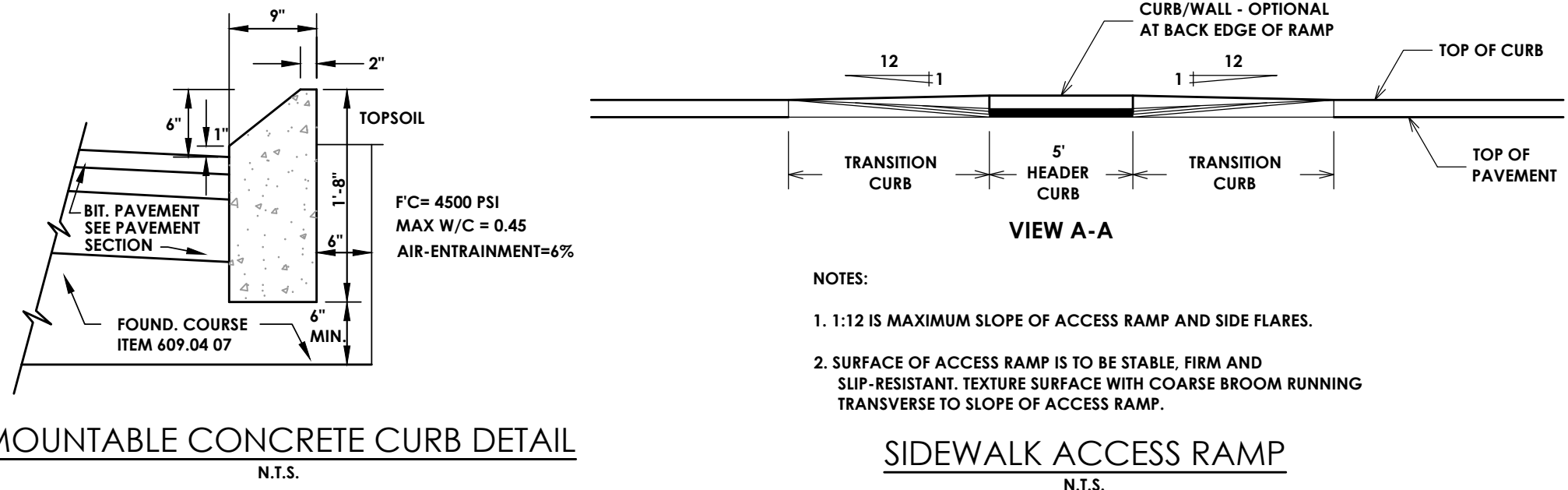
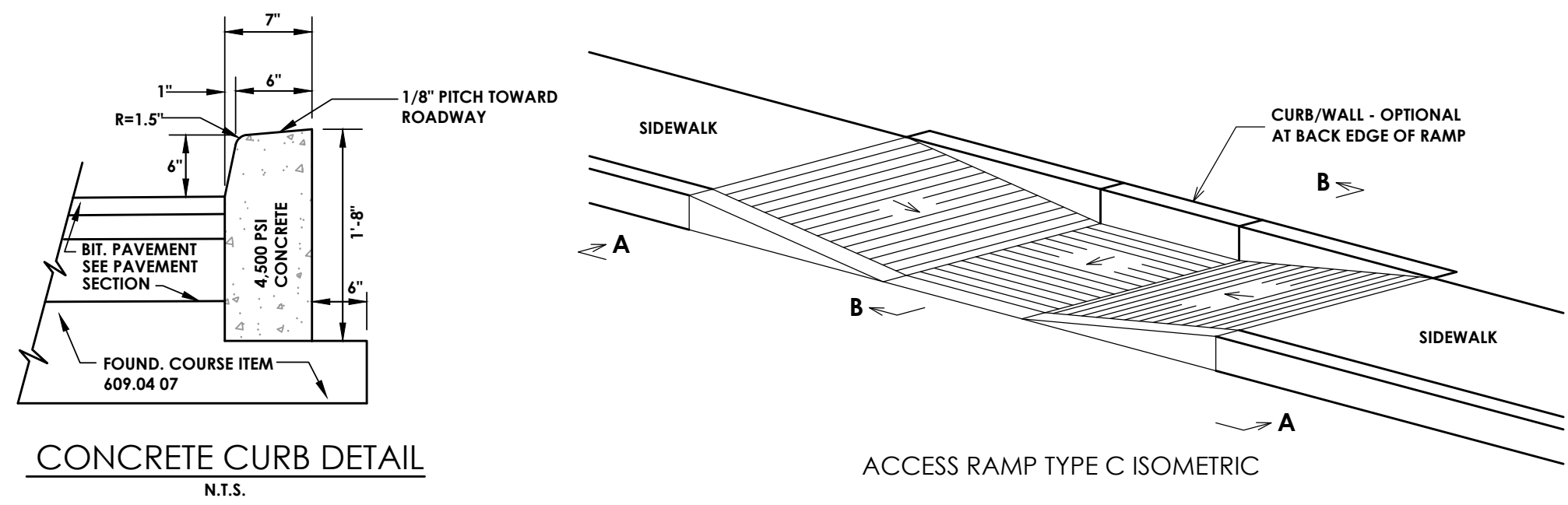
Date

JUNE, 2025

NOT FOR CONSTRUCTION



# SITE



Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

# PASSERO ASSOCIATES

242 West Main Street Suite 100  
Rochester, New York 14614

(585) 325-1000  
Fax: (585) 325-1691

Principal-in-Charge  
Project Manager  
Designed by

Andrew Burns, P.E.  
Andrew Burns, P.E.  
Shari Kleis



No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

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## DETAILS

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No. 20233554.0001

Drawing No.

---

C 202

Scale:

N.T.S.

Date JUNE, 2025

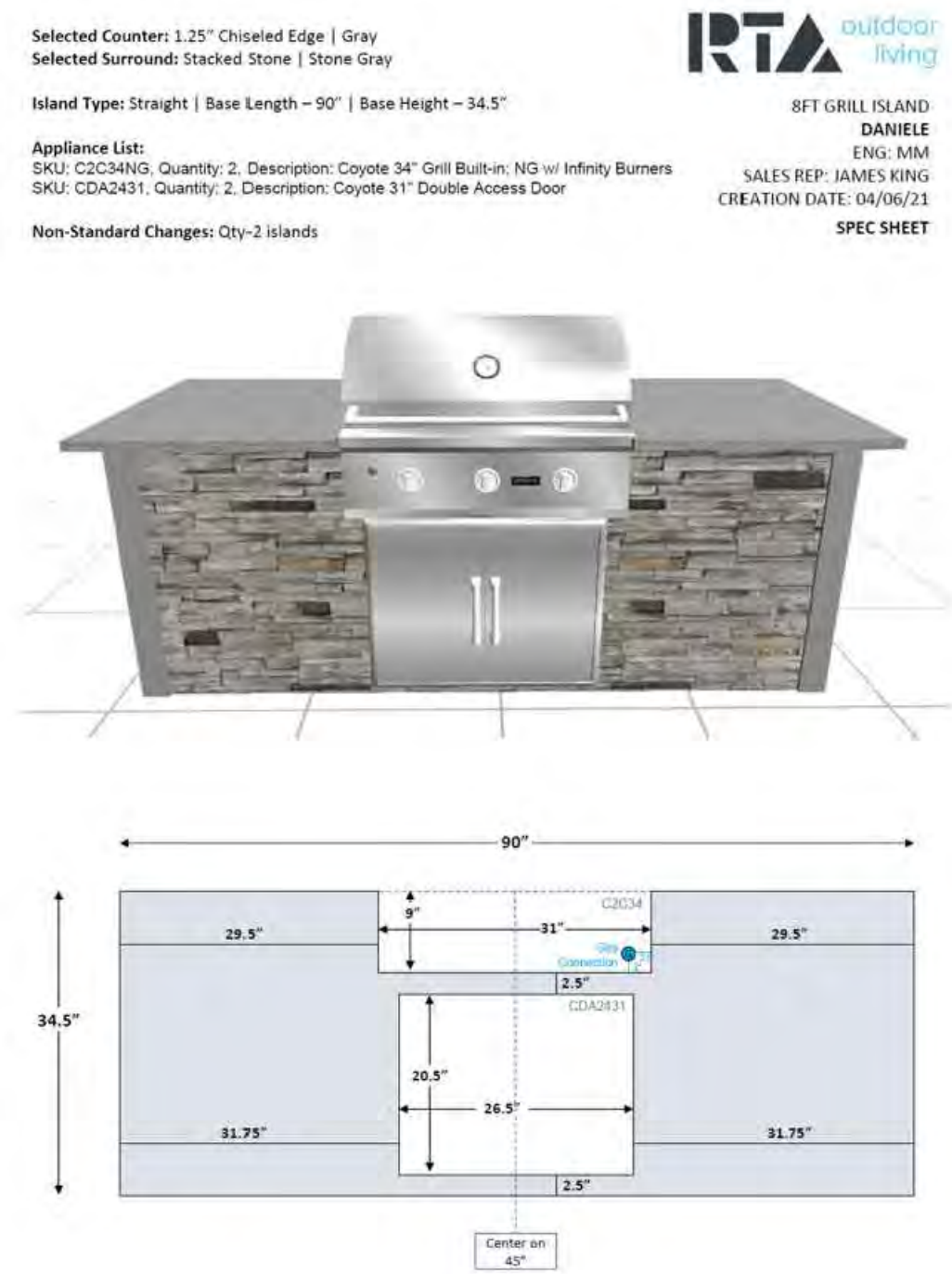
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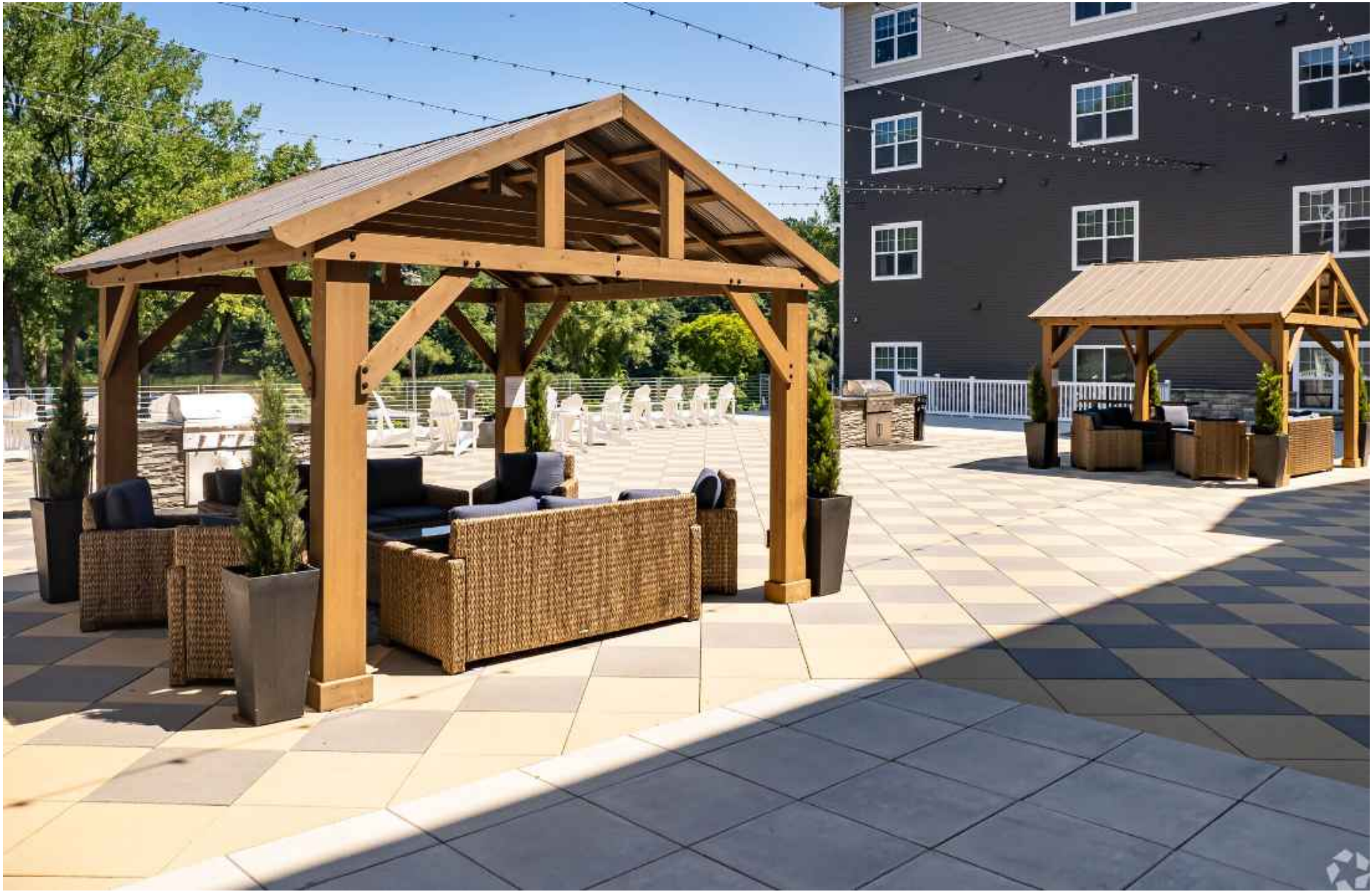
SITE



The Outdoor Plus 60" Unity Round Fire Pit

by The Outdoor Plus

Natural gas with emergency stop/gas cut off switch.



CLOVER/JEFFERSON SIGN RENDER  
N.T.S.



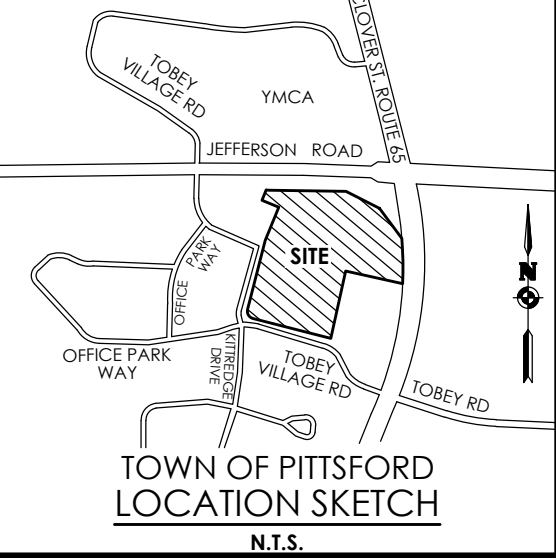
TOBEY VILLAGE/CLOVER AND ENTRANCE SIGN RENDER  
N.T.S.



Dimensions

- Overall Dimensions (L x W x H): 12' 1" x 16' 1" x 10' 4"
- Base Dimensions (outside of post): 10' 10 3/8" x 14' 10 3/8"
- Base Dimensions (inside of post): 9' 8 1/2" x 13' 2 1/4"
- Product Weight: 880 LBS

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Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Andrew Burns, P.E.  
Project Manager: Andrew Burns, P.E.  
Designed by: Shari Kleis



Revisions			
No.	Date	By	Description
1	07/16/24	SMK	DRC COMMENTS

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DETAILS

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

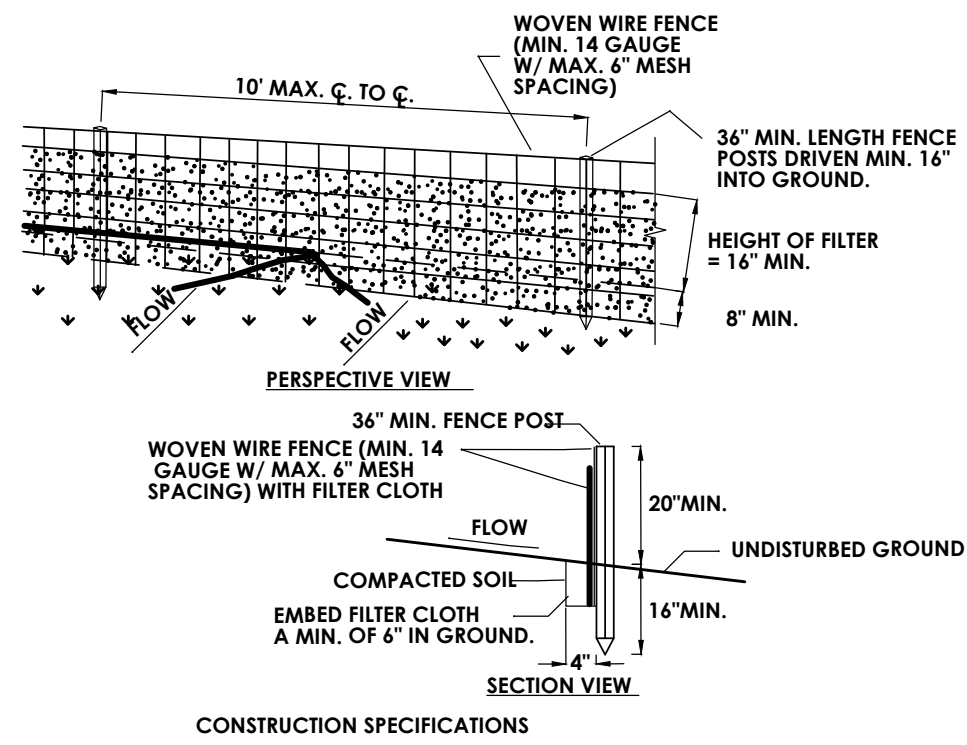
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Date  
JUNE, 2025

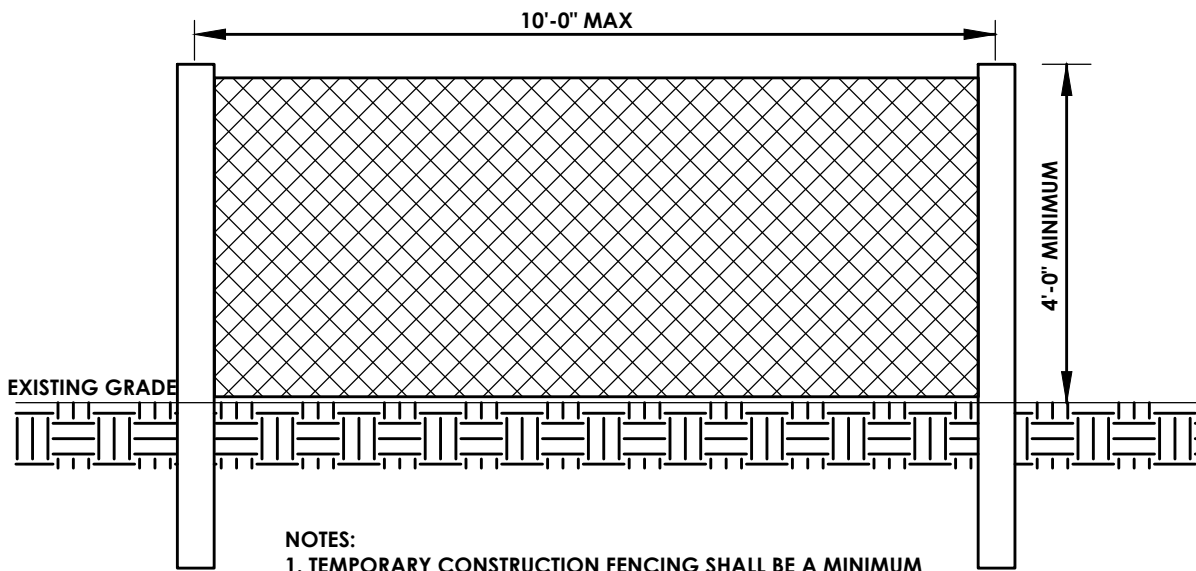


# GRADING AND EROSION CONTROL

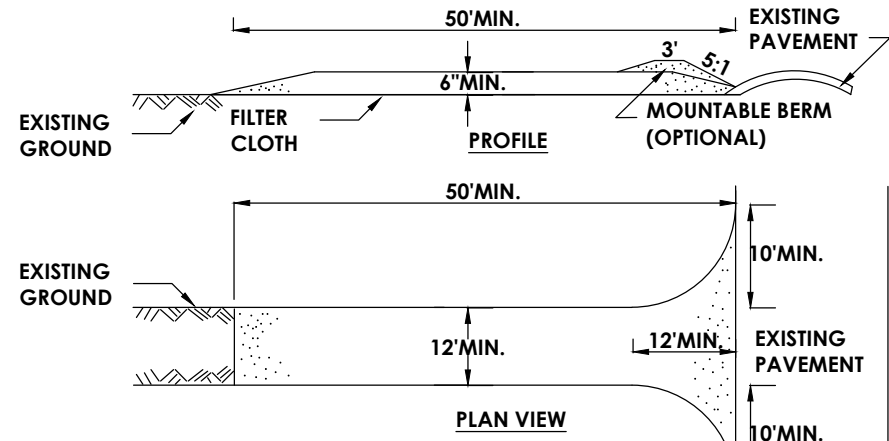


- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 14 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**  
N.T.S.



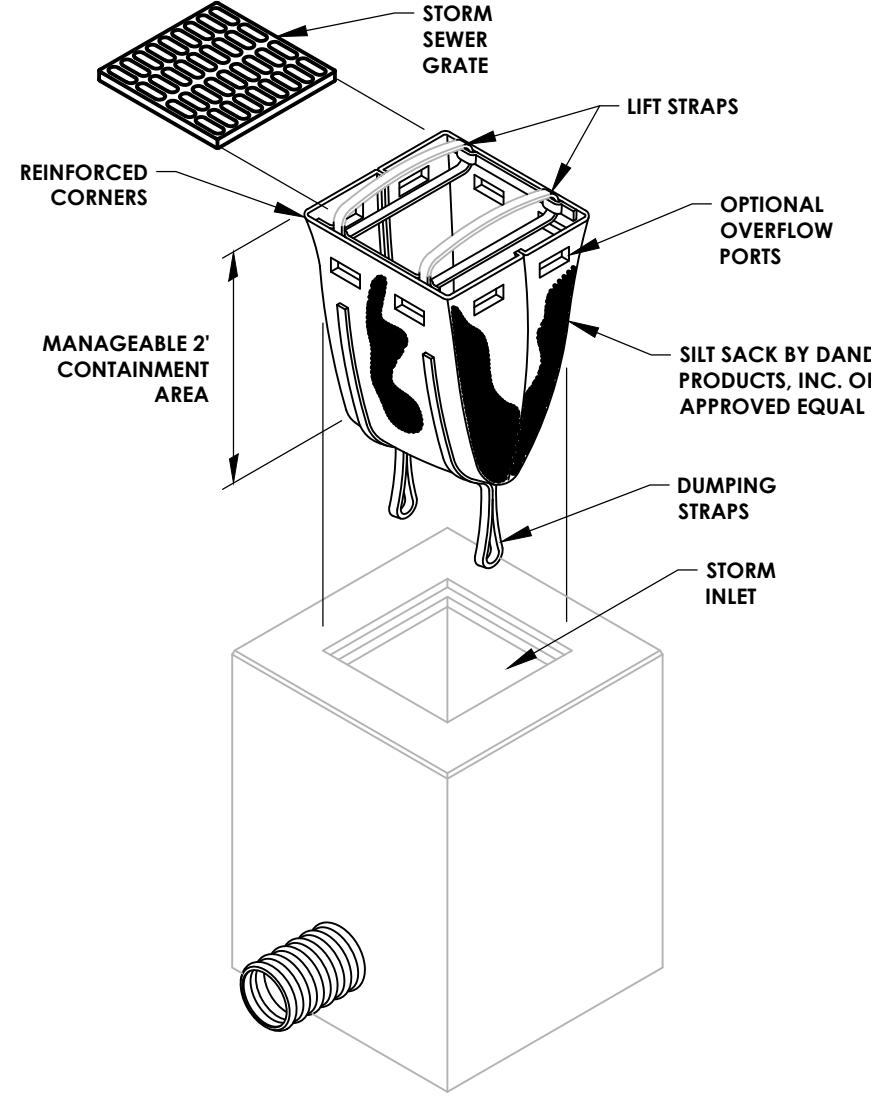
- NOTES:**
- TEMPORARY CONSTRUCTION FENCING SHALL BE A MINIMUM OF 4' HIGH WITH POST SPACING AT A MAXIMUM OF 10' O.C.
  - FENCING SHALL NOT SAG WHEN INSTALLED. MATERIAL SHALL BE HIGHLY VISIBLE.
- TEMPORARY CONSTRUCTION FENCING**  
N.T.S.



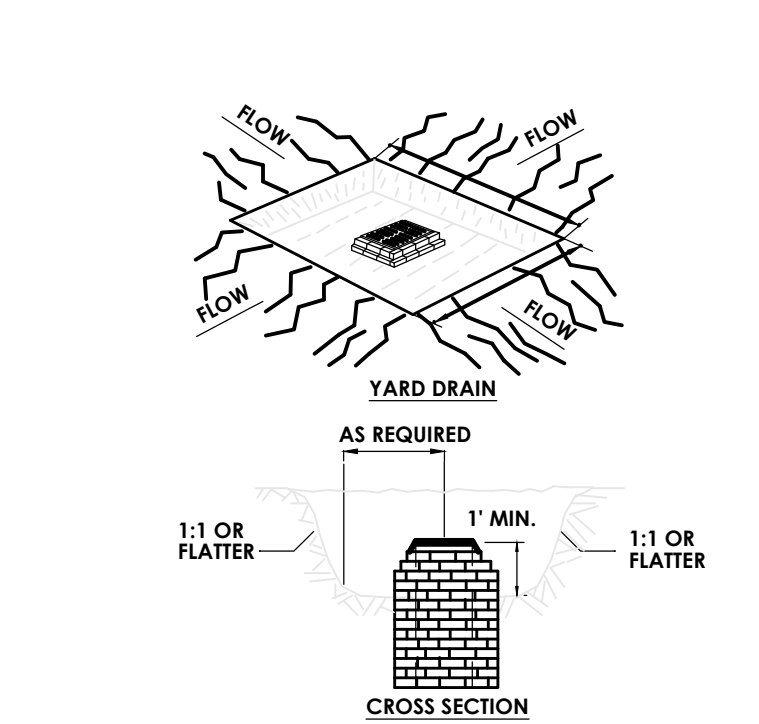
## CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.



**SILT SACK DETAIL**  
N.T.S.

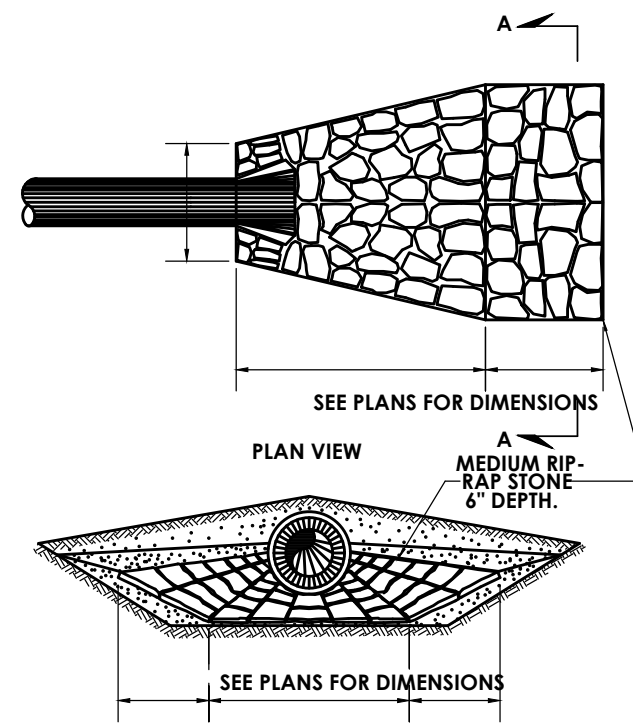


## CONSTRUCTION SPECIFICATIONS

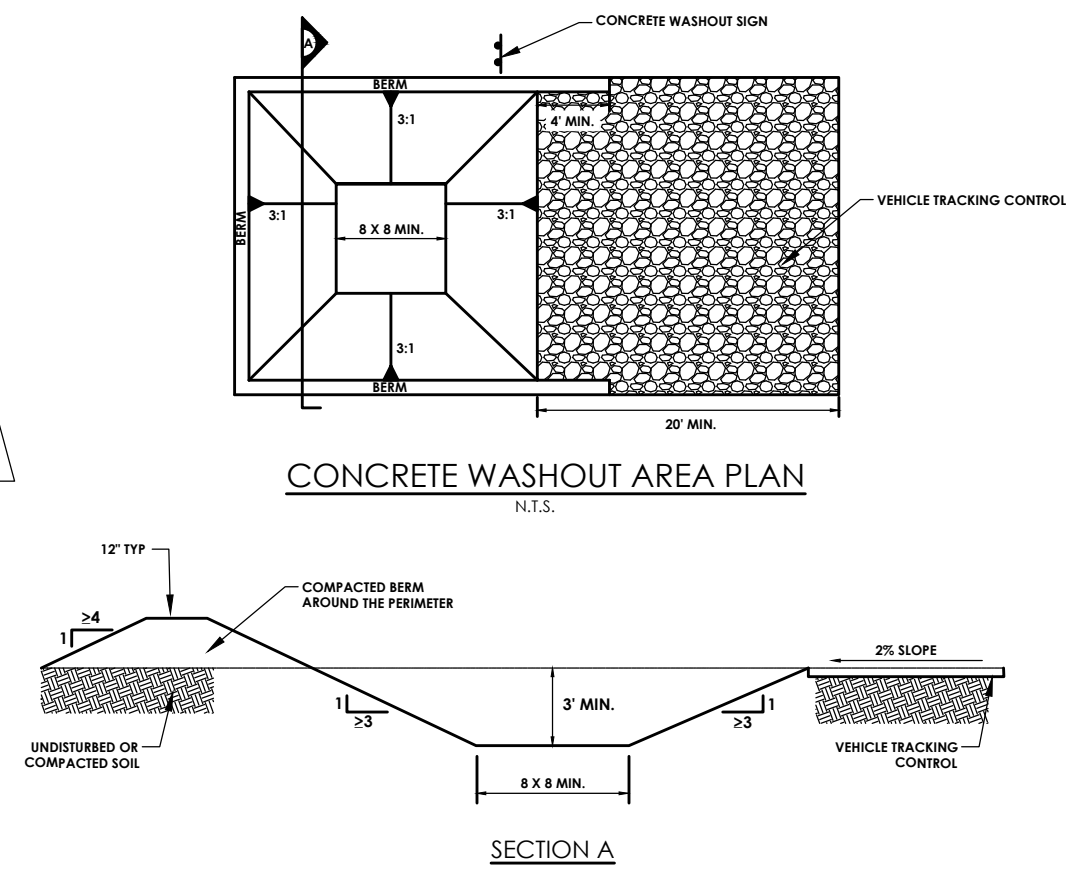
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

MAXIMUM DRAINAGE AREA: 3 ACRES

**CATCH BASIN SEDIMENT TRAP**  
N.T.S.



**STONE RIP-RAP DETAIL**  
N.T.S.

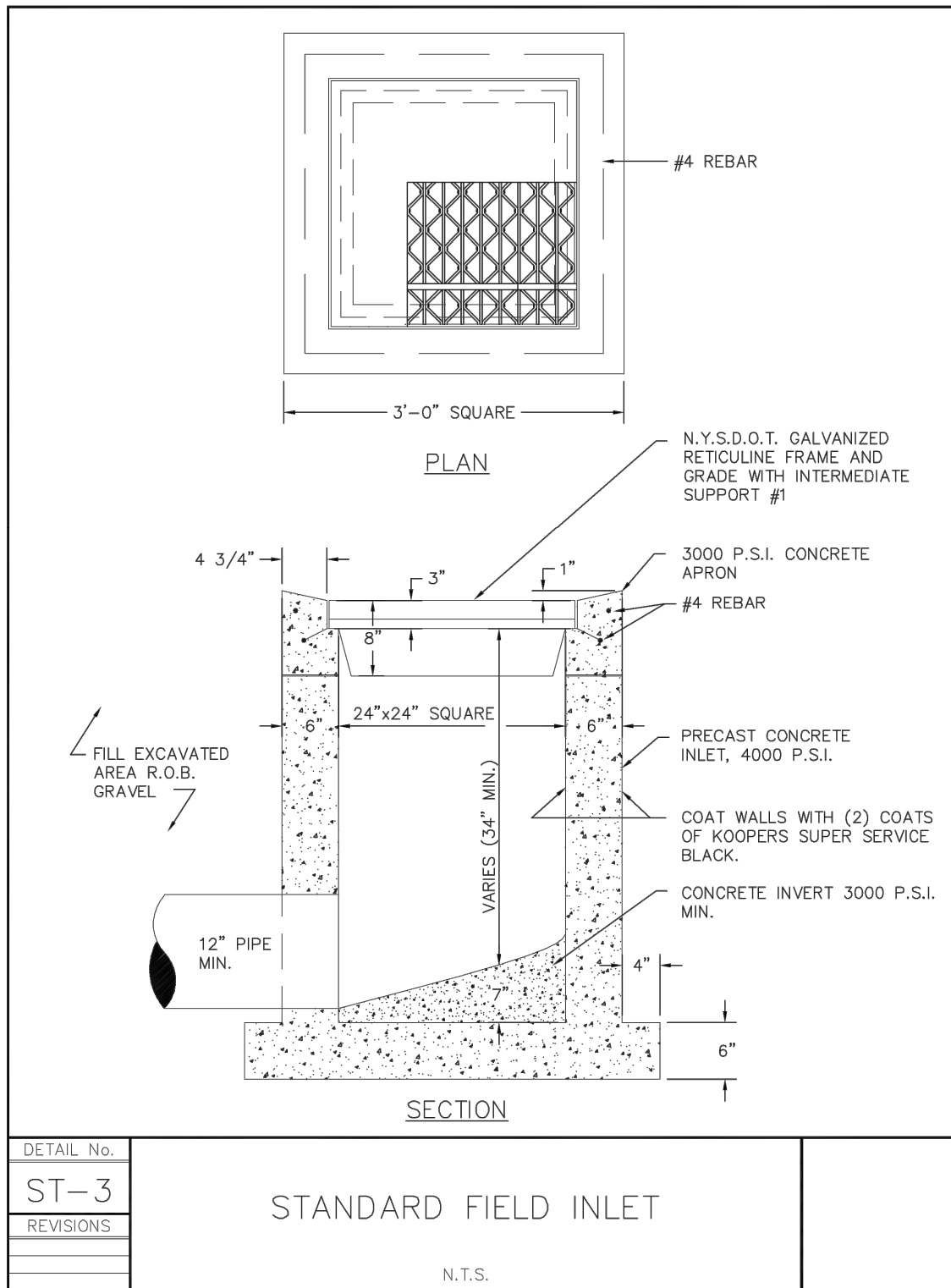


## CONCRETE WASHOUT AREA

### CWA INSTALLATION NOTES

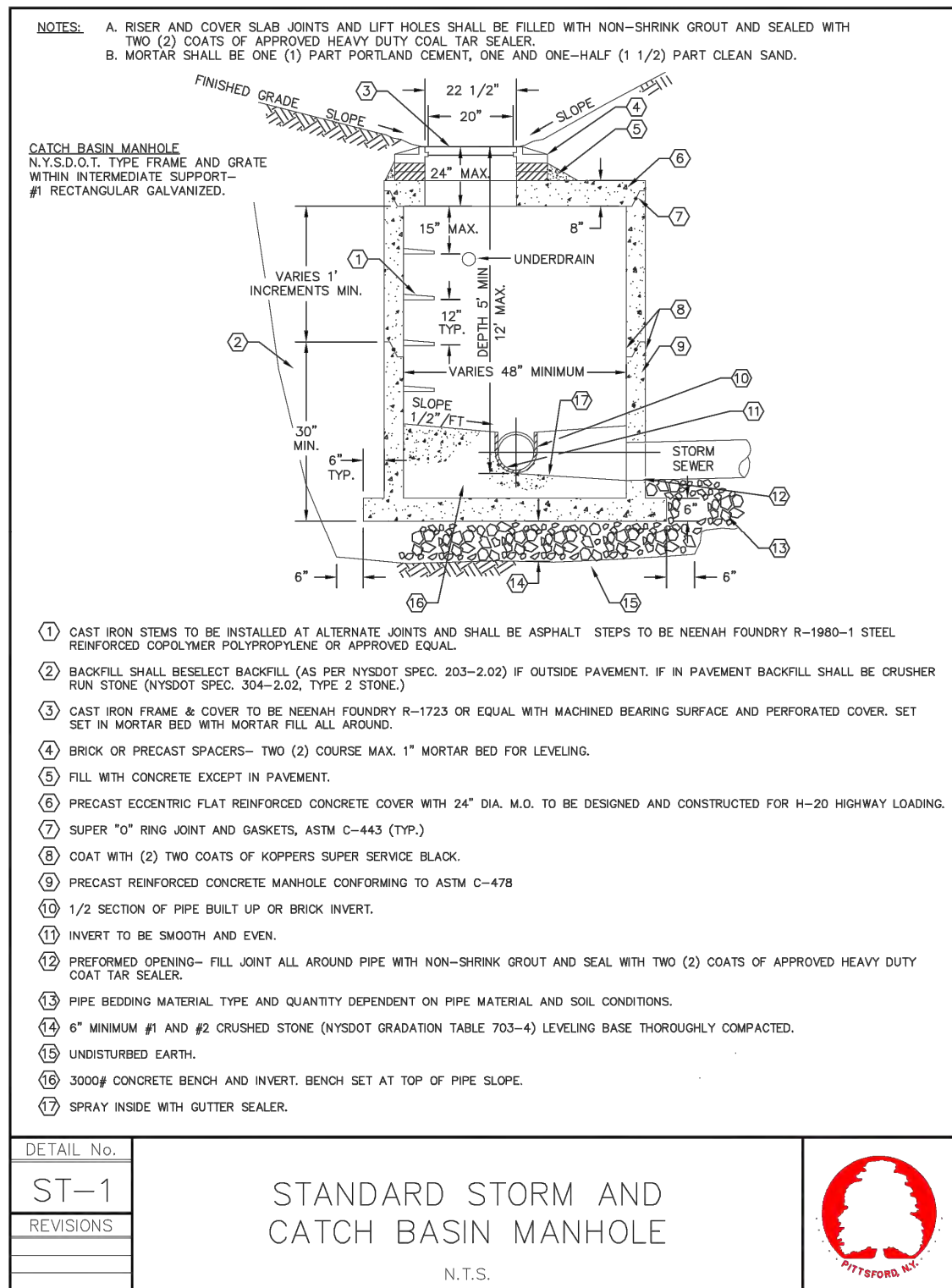
- SEE PLANS FOR CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN INSTALLED CWA WITHIN 40' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 100' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS NECESSARY, OR IF EIGHT PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (14 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHING DEVICES OR A LINED ABOVE-GROUND STORAGE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SURFACE FIT THAT IS AT LEAST 8" BY 8" SLOPE LEADING OUT OF THE SUBSURFACE FIT SHALL BE 1:1 OR FLATTER. THE FIT SHALL BE AT LEAST 10'.
- BERM SURROUNDING SLOPE AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED TOWARD THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR THE PERIMETER BERM CONSTRUCTION.

# UTILITIES



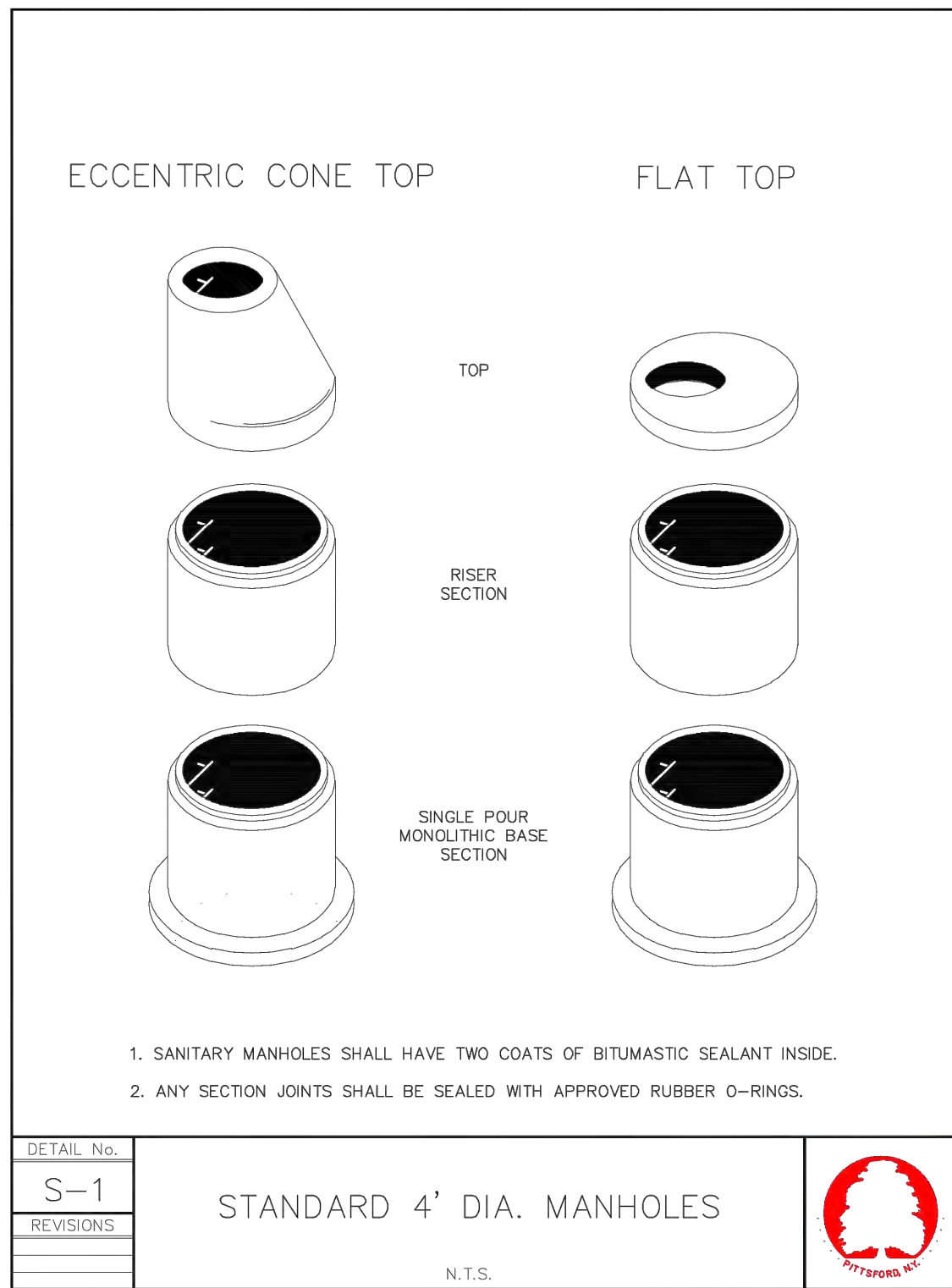
DETAIL No.
ST-3
REVISIONS

**STANDARD FIELD INLET**  
N.T.S.



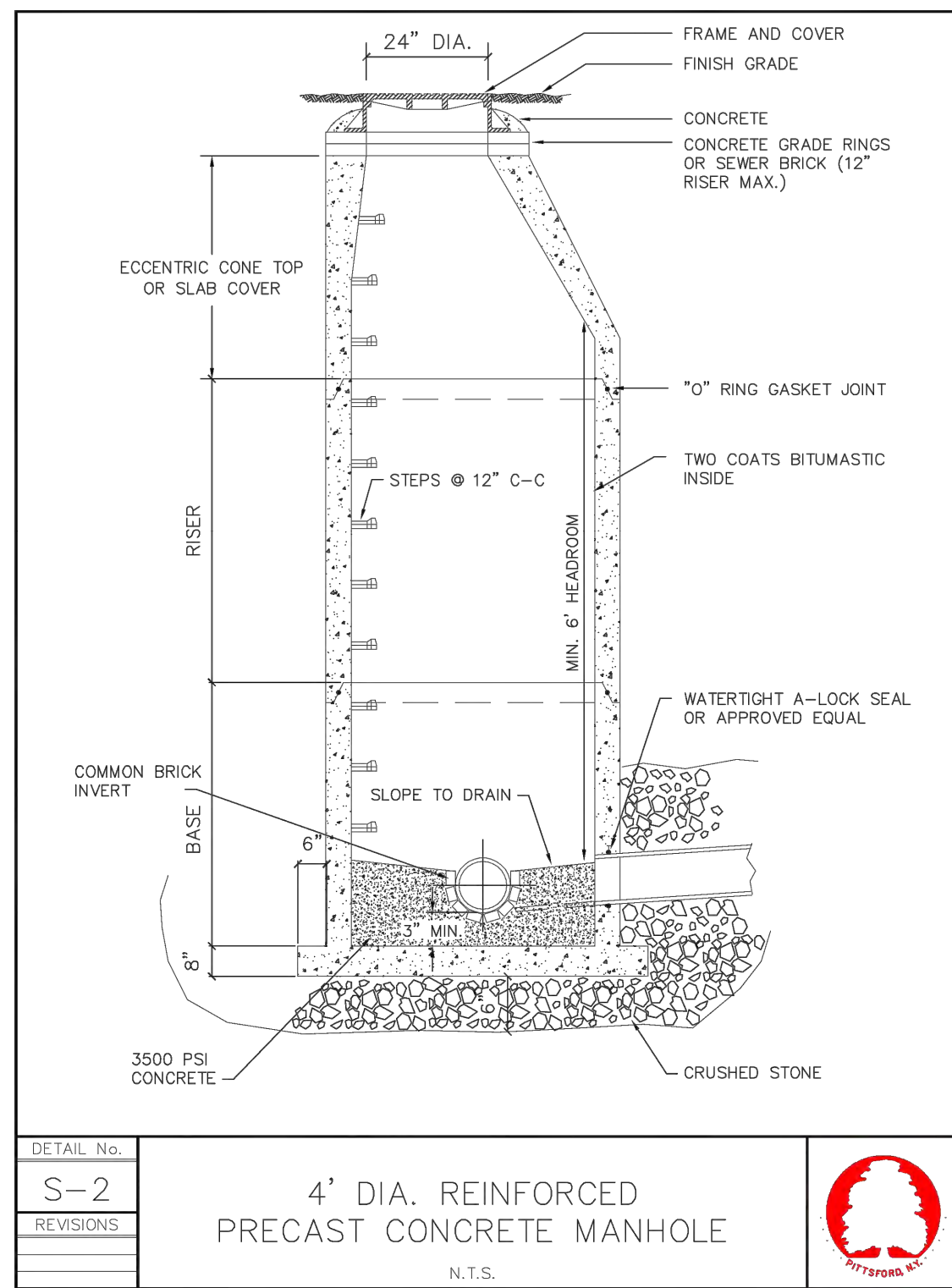
DETAIL No.
ST-1
REVISIONS

**STANDARD STORM AND CATCH BASIN MANHOLE**  
N.T.S.



DETAIL No.
S-1
REVISIONS

**STANDARD 4' DIA. MANHOLES**  
N.T.S.

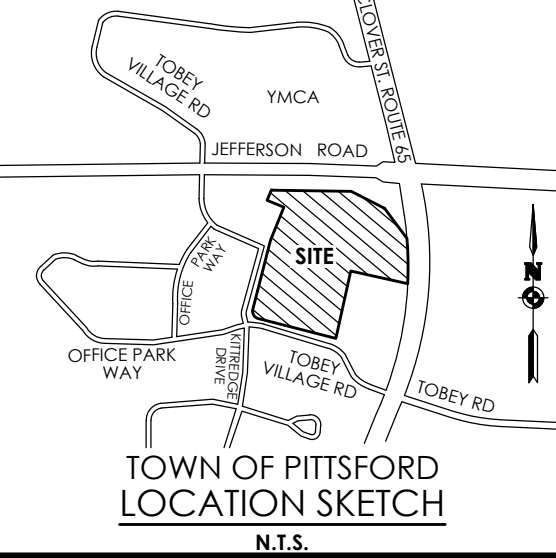


DETAIL No.
S-2
REVISIONS

**4' DIA. REINFORCED PRECAST CONCRETE MANHOLE**  
N.T.S.



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Principal-in-Charge Andrew Burns, P.E.  
Project Manager Andrew Burns, P.E.  
Designed by Shari Kleis



Revisions				
No.	Date	By	DR	Comments
1	07/16/24	SMK	DR	COMMENTS

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## DETAILS

### PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.

**C 205**

Scale:  
**N.T.S.**

Date  
**JUNE, 2025**

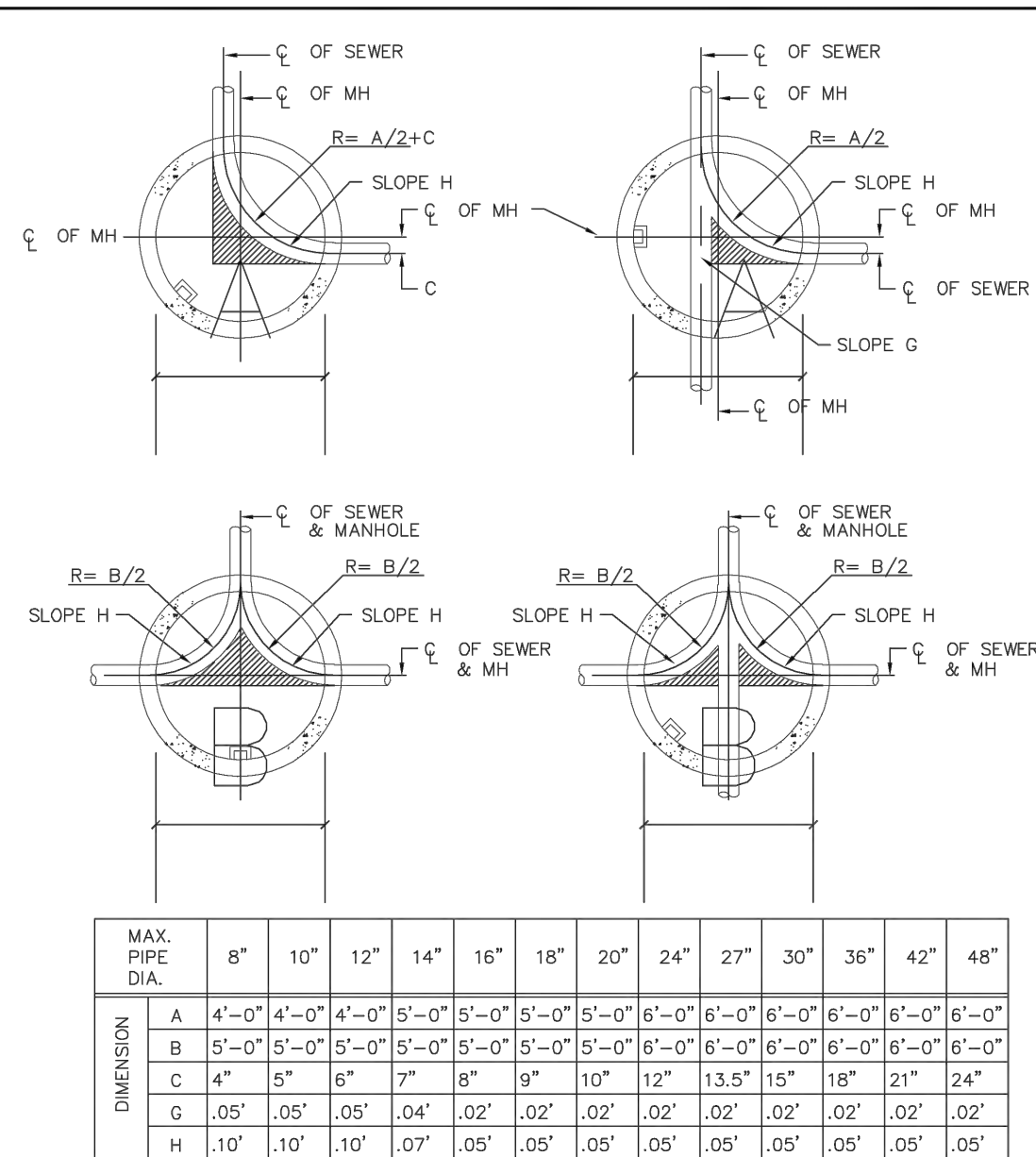
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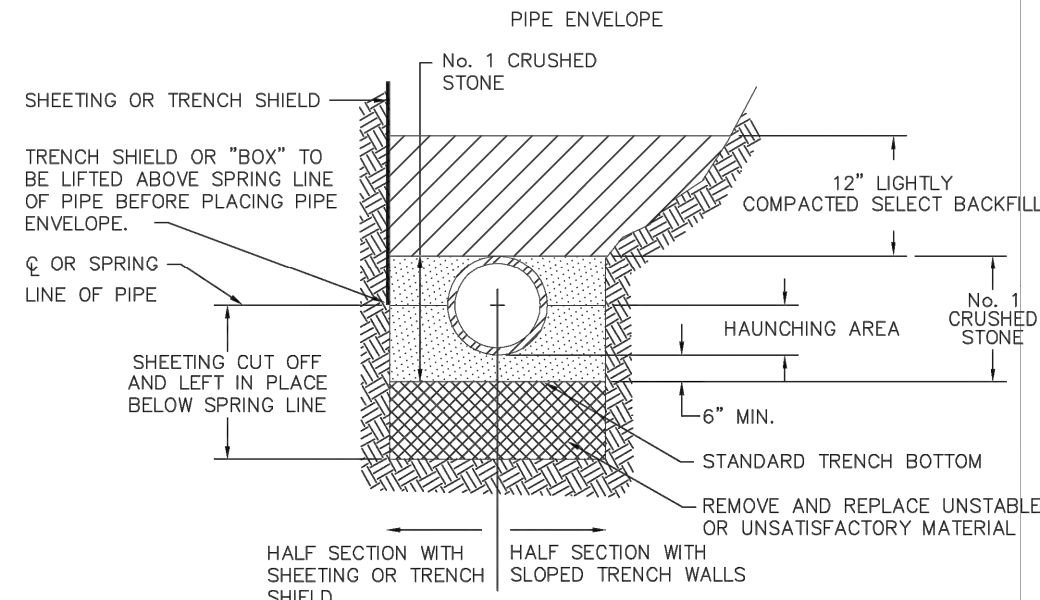


# UTILITIES

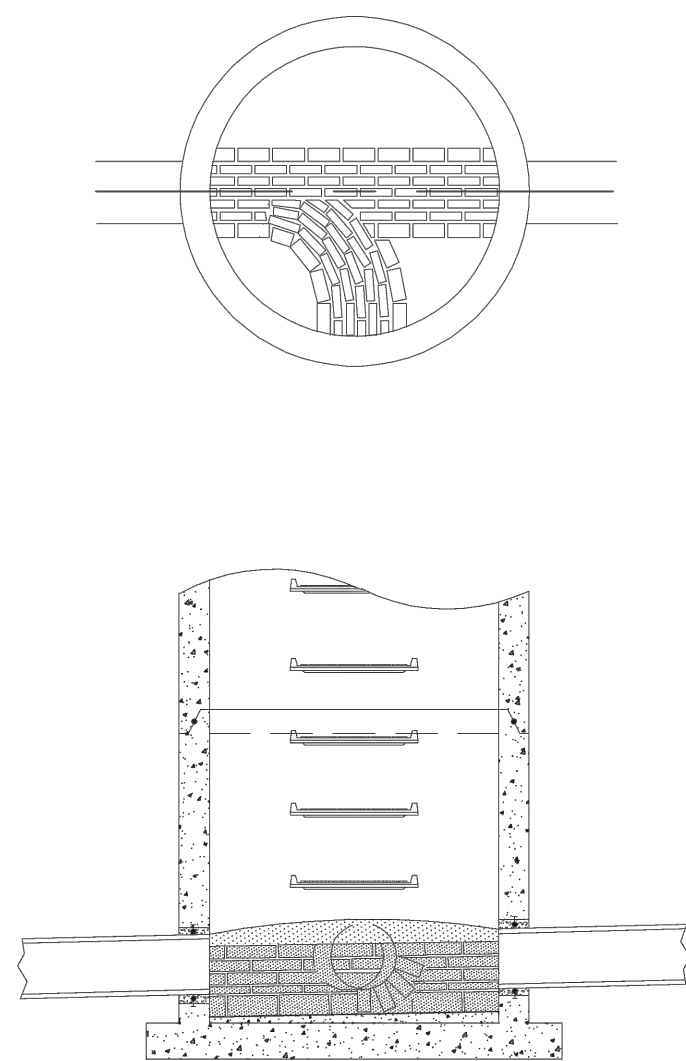


NOTE: WHEN A SMALLER SEWER JOINS A LARGER ONE, PLACE THE 0.8 DEPTH POINT OF BOTH SEWERS AT THE SAME ELEVATION.

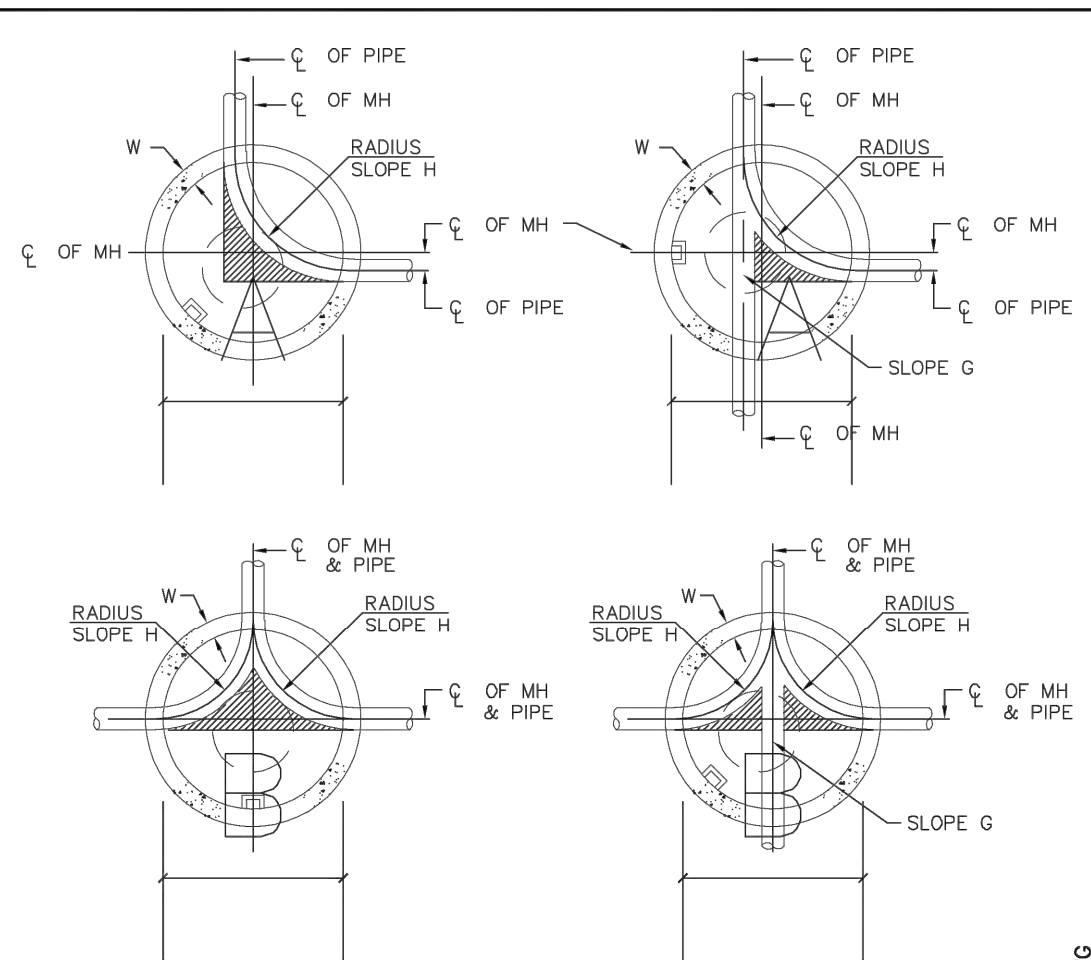
DETAIL No.	ST-5	STANDARD MANHOLE DIMENSIONS	
REVISIONS		N.T.S.	



DETAIL No.	S-12	TYPICAL PIPE TRENCH SECTION	
REVISIONS		N.T.S.	



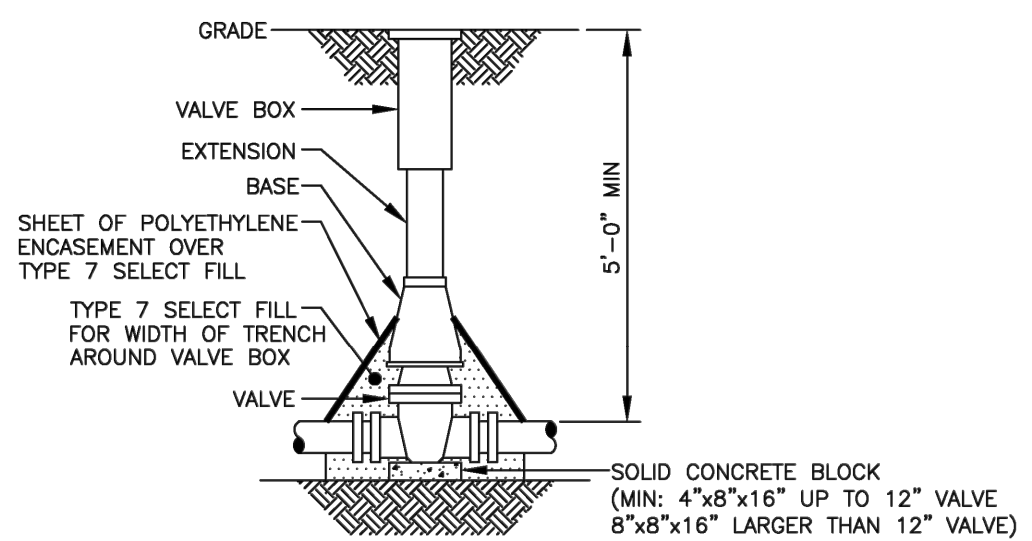
DETAIL No.	S-5	STANDARD MANHOLE BRICK INVERT (TYPICAL)	
REVISIONS		N.T.S.	



MANHOLE DIA.	8"	10"	12"	15"	18"
A	4'-0"	4'-0"	4'-0"	5'-0"	5'-0"
B	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"
G	0.1'	0.1'	0.1'	0.08'	0.05'
H	0.3'	0.3'	0.2'	0.15'	0.2'

NOTE: WHERE INLET AND OUTLET PIPES ARE OF DIFFERENT DIAMETERS THE SLOPE MUST NOT BE LESS THAN THE DIFFERENCE IN DIAMETER OR GREATER THAN 9".

DETAIL No.	S-10	STANDARD MANHOLE DIMENSIONS	
REVISIONS		N.T.S.	



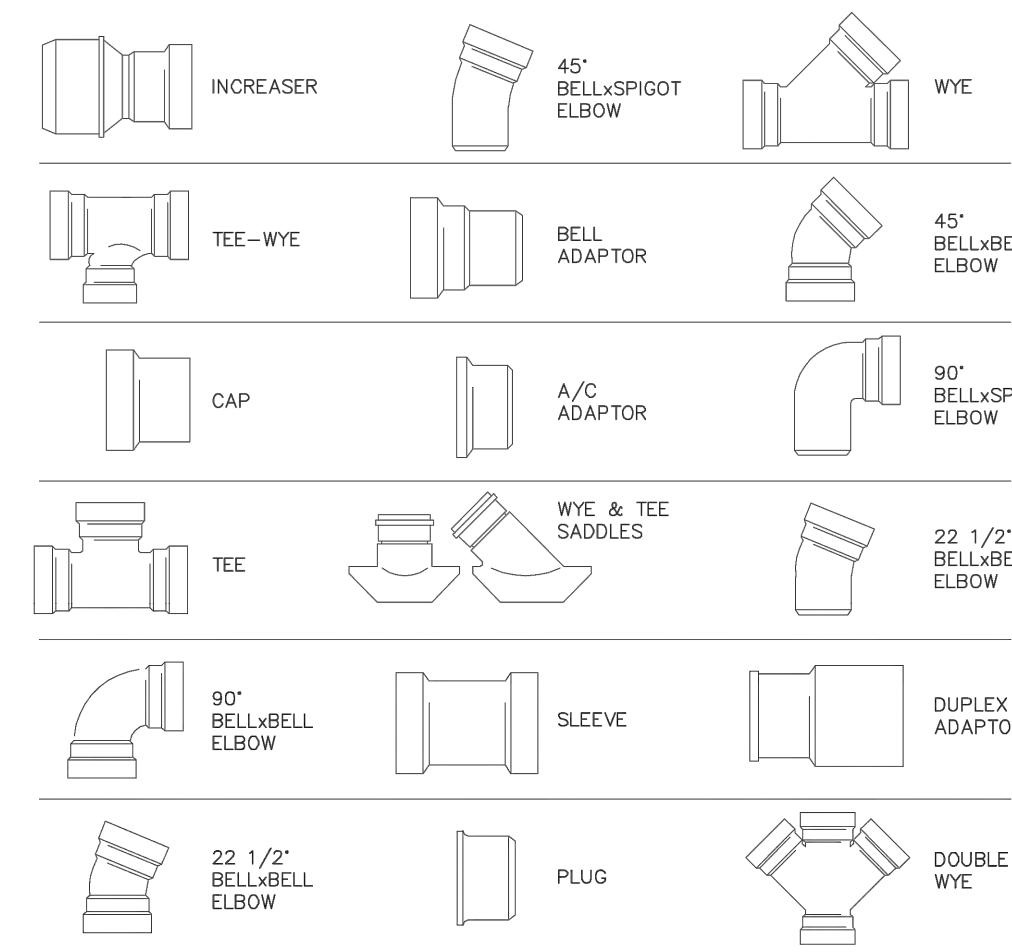
## NOTES:

1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL VALVES SHALL BE OPEN LEFT EXCEPT: TOWN OF WEBSTER - VALVES 12" AND SMALLER SHALL OPEN RIGHT. TOWN OF HENRIETTA - SHALL OPEN RIGHT

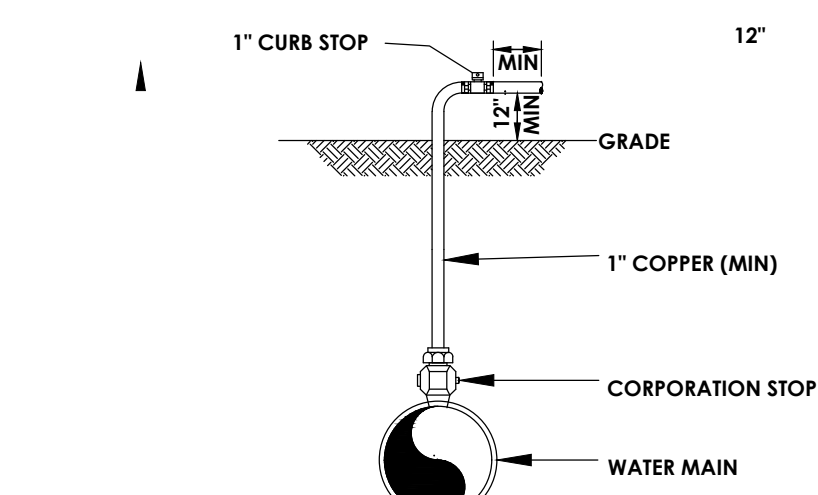
VALVE  
NOT TO SCALE



SEPT 2016  
DATE  
DME 5

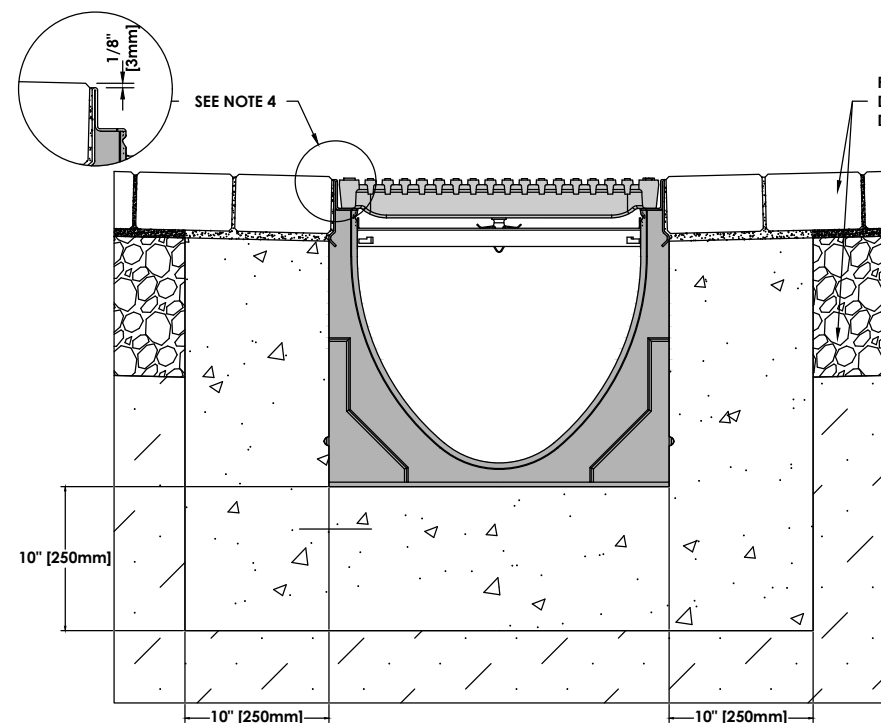


DETAIL No.	S-14	STANDARD PVC PIPE FITTINGS	
REVISIONS		N.T.S.	



NOTE: IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN IN SERVICE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS. PLACEMENT OF THREADED BRASS PLUG MUST BE WITNESSED BY A MCWA REPRESENTATIVE.

DISINFECTION/BLOW-OFF/SAMPLING TAP  
N.T.S.



**SPECIFICATION CLAUSE**  
**ACO-K300 KLASSIKDRAIN - LOAD CLASS B**

**GENERAL**  
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K300 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

**MATERIALS**  
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:  
COMPRESSIVE STRENGTH: 14,000 PSI  
FLEXURAL STRENGTH: 4,000 PSI  
TENSILE STRENGTH: 1,500 PSI  
WATER ABSORPTION: 0.05%  
FROST PROOF: YES  
DILUTE ACID AND ALKALI RESISTANT: YES  
B117 SALT SPRAY TEST COMPLIANT: YES

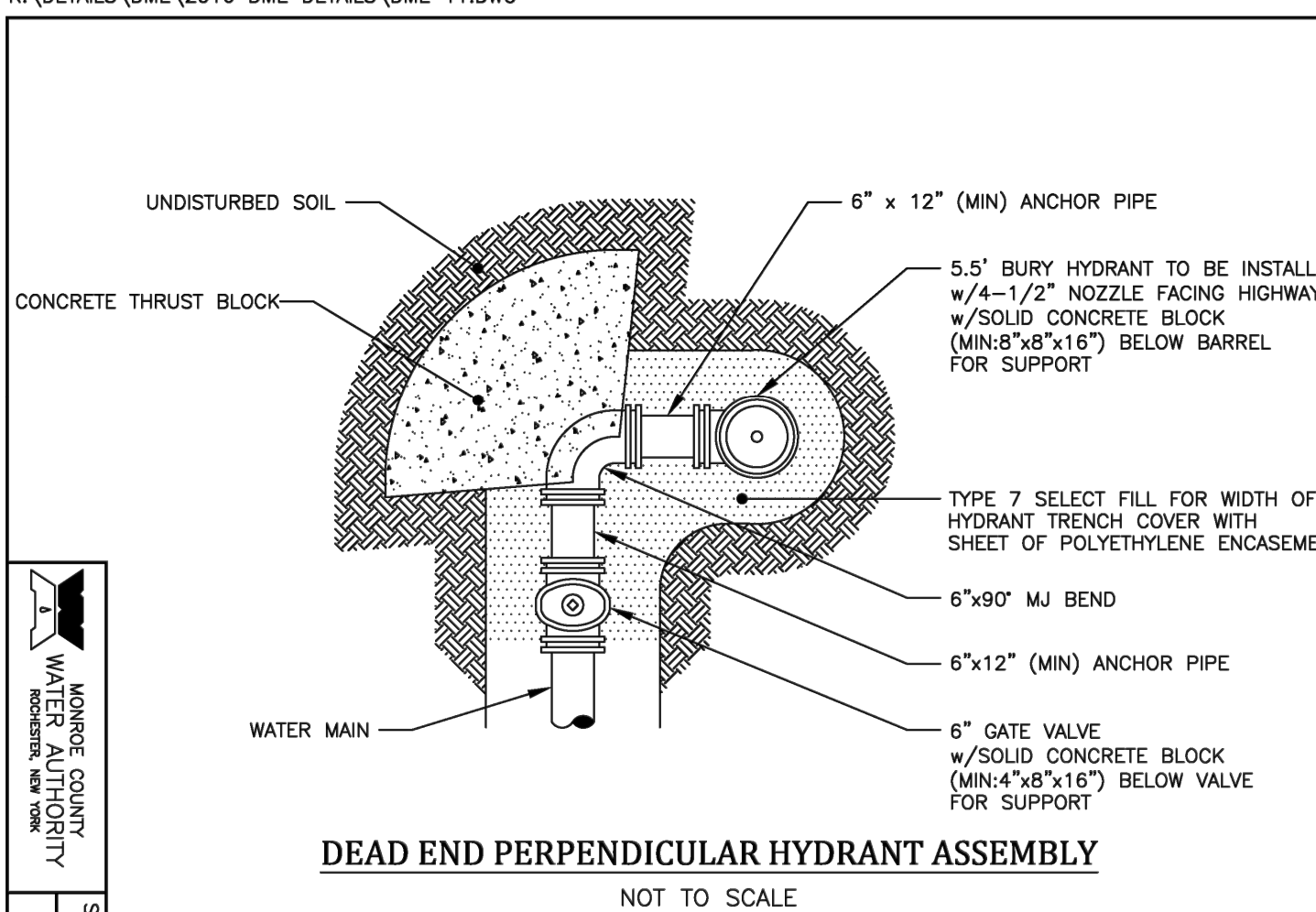
THE SYSTEM SHALL BE 12" (300mm) NOMINAL INTERNAL WIDTH WITH A 14.2" (360mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRADE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING QUICK-LOCK SCREWS. LOCKING SYSTEM, CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED IN HAS LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

K3-B-HPP	ACO Polymer Products, Inc.
DATE:	325 W. Bechtel St. P.O. Box 245 4211 Pleasant Rd. Chardon, OH 44024 Fort Mill, SC 29708 Tel: 440-282-0988 Tel: 803-543-4784 Fax: 520-421-0989 Fax: 803-802-1063

Arizona Tel: 888-490-9552 e-mail: sales@acousa.com Ohio Tel: 800-543-4784 www.acousa.com South Carolina Tel: 800-622-2377



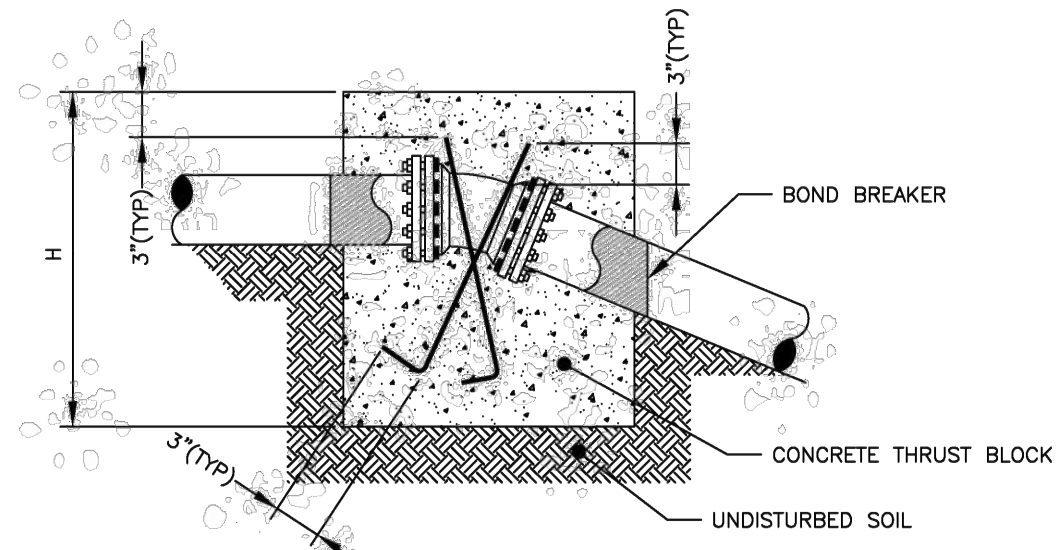
MONROE COUNTY WATER AUTHORITY	SEPT 2016 DATE DME 11
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R:\DETAILS\DME\2016 DME DETAILS\DME 7.DWG

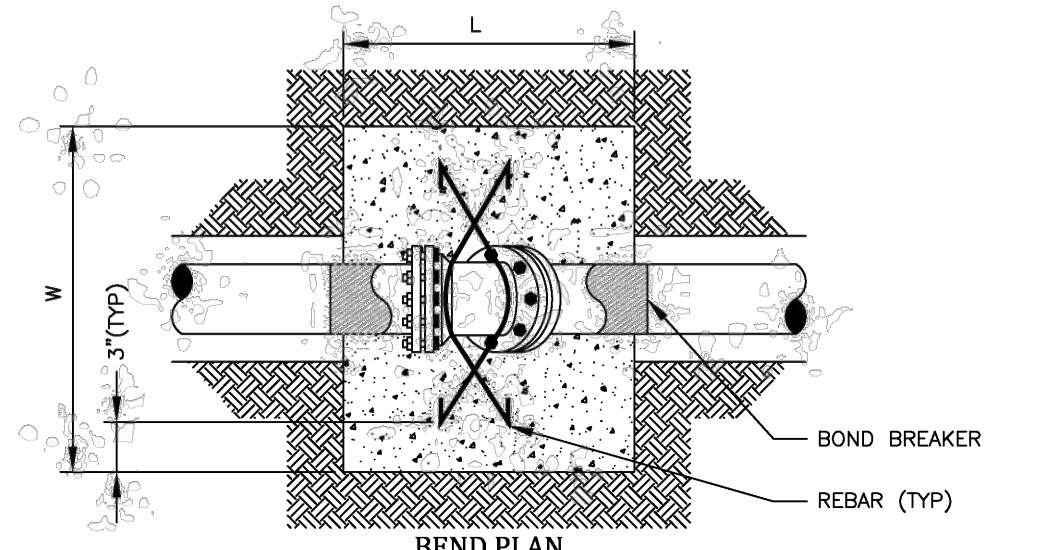
PIPE DIAMETER	BEND															
	11 1/2 DEGREE				22 1/2 DEGREE				45 DEGREE				90 DEGREE			
	L (FT)	W (FT)	H (FT)	VOL (CY)	L (FT)	W (FT)	H (FT)	VOL (CY)	L (FT)	W (FT)	H (FT)	VOL (CY)	L (FT)	W (FT)	H (FT)	VOL (CY)

SOIL BEARING STRENGTH - PSF  
PSI TEST PRESSURE

## VERTICAL DOWN THRUST BLOCKS



## BEND ELEVATION



NOTES:  
1. THRUST BLOCKS SHALL BE CENTERED HORIZONTALLY ON BENDS.  
2. VOLUMES SHOWN IN CHART ARE MINIMUMS.

## VERTICAL DOWN THRUST BLOCKS

NOT TO SCALE



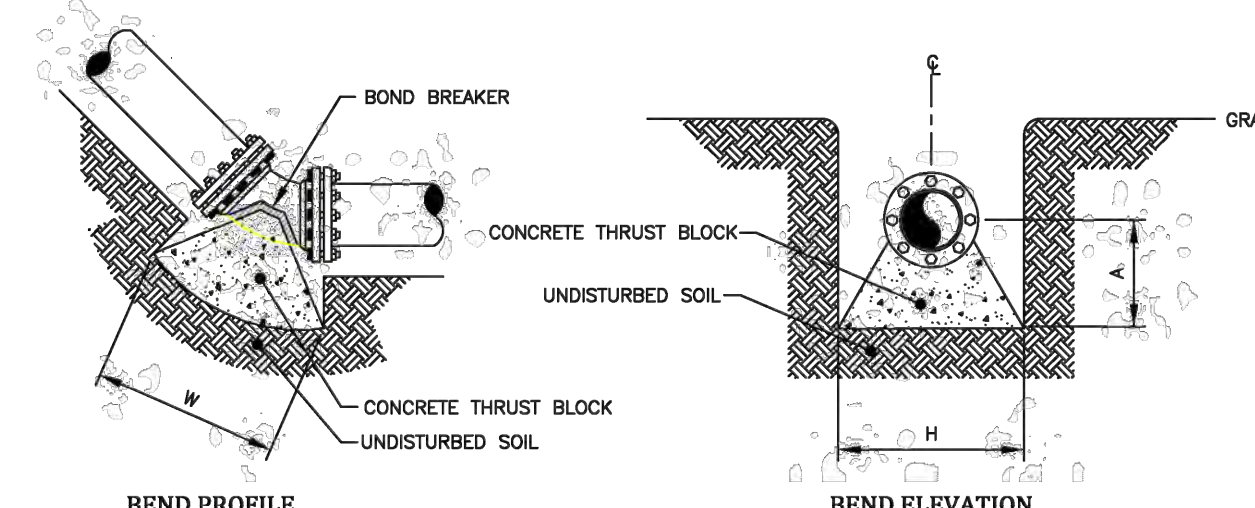
SEPT 2016  
DATE  
DME 7

R:\DETAILS\DME\2016 DME DETAILS\DME 6.DWG

PIPE DIAMETER			BEND OR FITTING														
			11 1/2 DEGREE			22 1/2 DEGREE			45 DEGREE			90 DEGREE			TEE*, CAP OR PLUG		
			H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)	H (FT)	W (FT)	A (FT)
1.5	1.5	1.5	2.0	1.5	2.0	3.0	1.5	2.5	4.0	1.5	3.0	2.0	1.5				

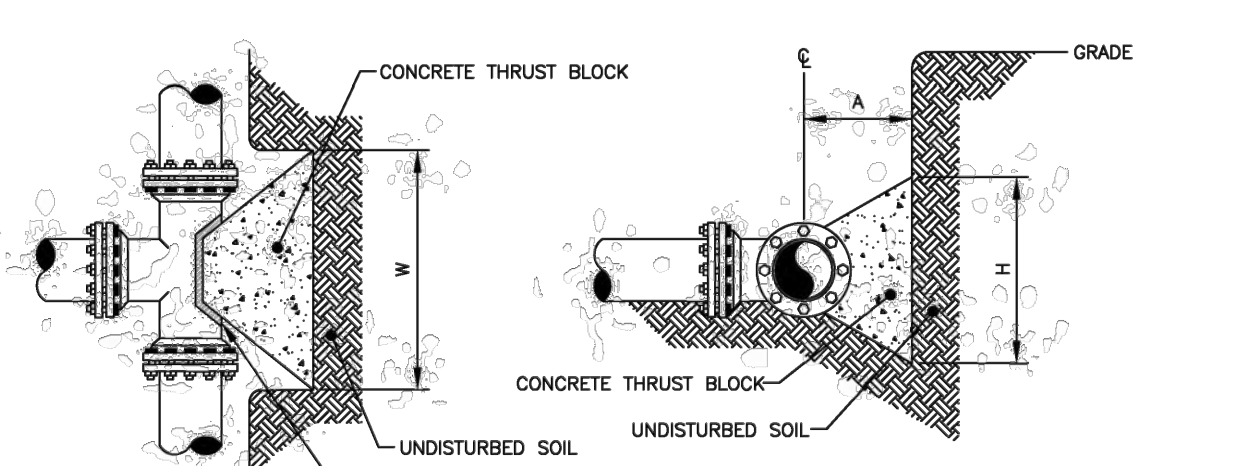
\* SIZE BLOCK BASED ON BRANCH DIAMETER.  
SOIL BEARING STRENGTH - PSF  
PSI TEST PRESSURE

## HORIZONTAL AND VERTICAL UP THRUST BLOCKS

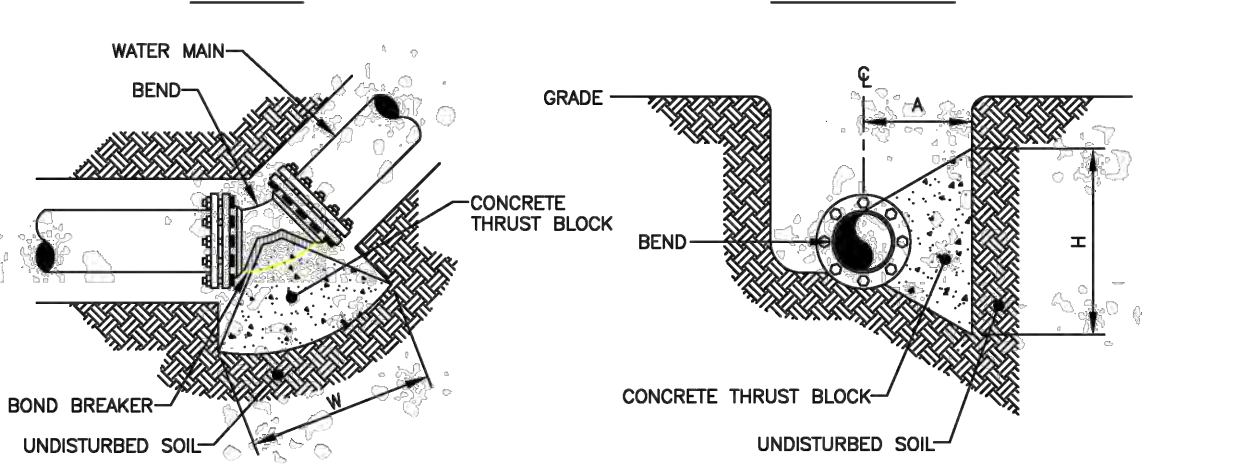


## VERTICAL UP THRUST BLOCKS

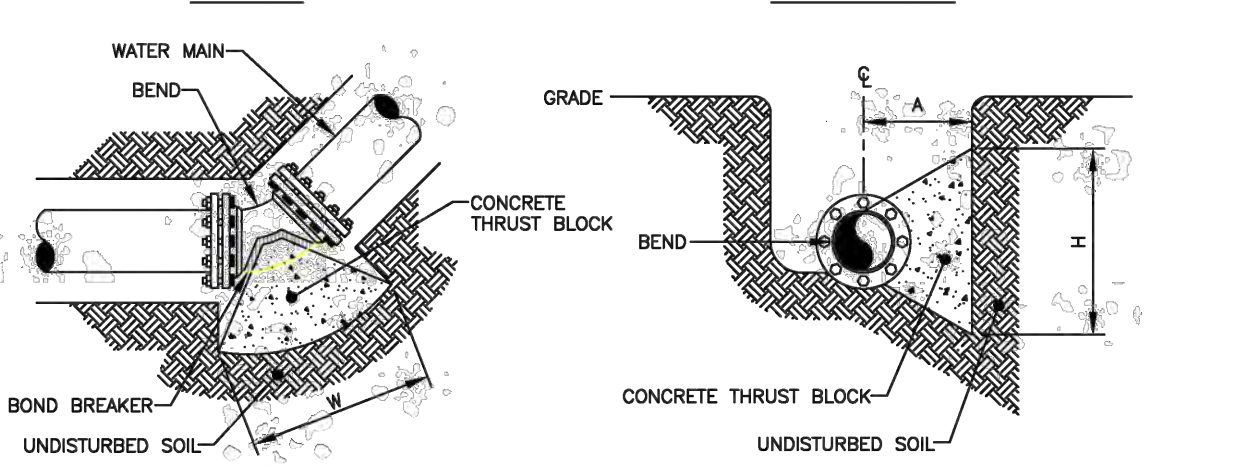
NOT TO SCALE



## TEE PLAN



## TEE ELEVATION



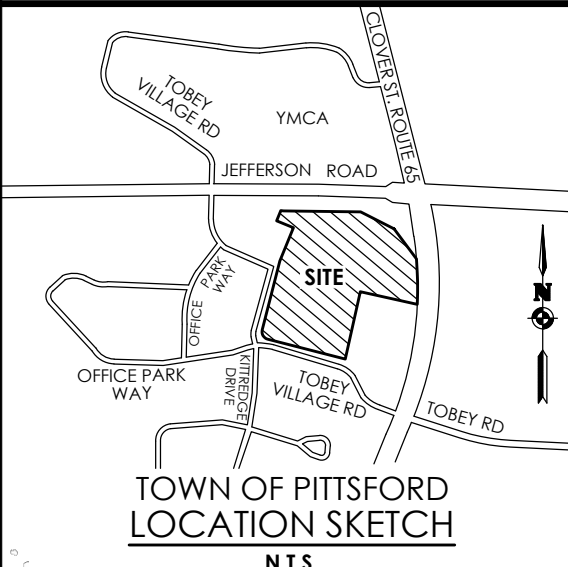
## HORIZONTAL THRUST BLOCKS

NOT TO SCALE



SEPT 2016  
DATE  
DME 6

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Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100 (585) 325-1000  
Rochester, New York 14614 Fax: (585) 325-1691  
Principal-in-Charge Andrew Burns, P.E.  
Project Manager Andrew Burns, P.E.  
Designed by Shari Kleis



Revisions			
No.	Date	By	Description
1	07/16/24	SMK	DRC COMMENTS

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## DETAILS

## PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

Drawing No.

C 207

Scale:  
N.T.S.

Date  
JUNE, 2025

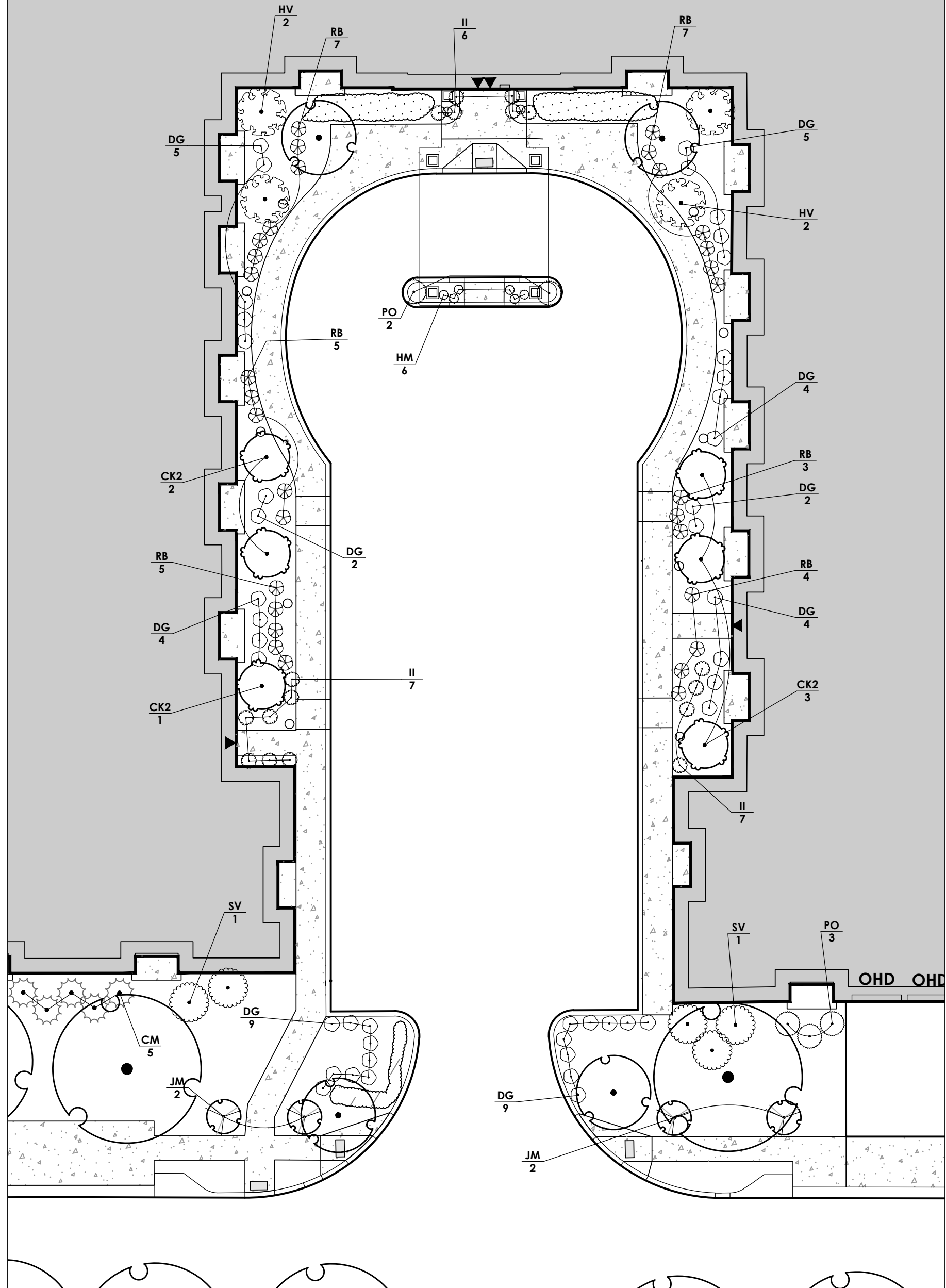
NOT FOR CONSTRUCTION



## COURTYARD AND FOUNDATION PLANTINGS

**REFER TO SHEET C 108,  
LANDSCAPING PLAN FOR  
DETAILED PLANT SCHEDULE**

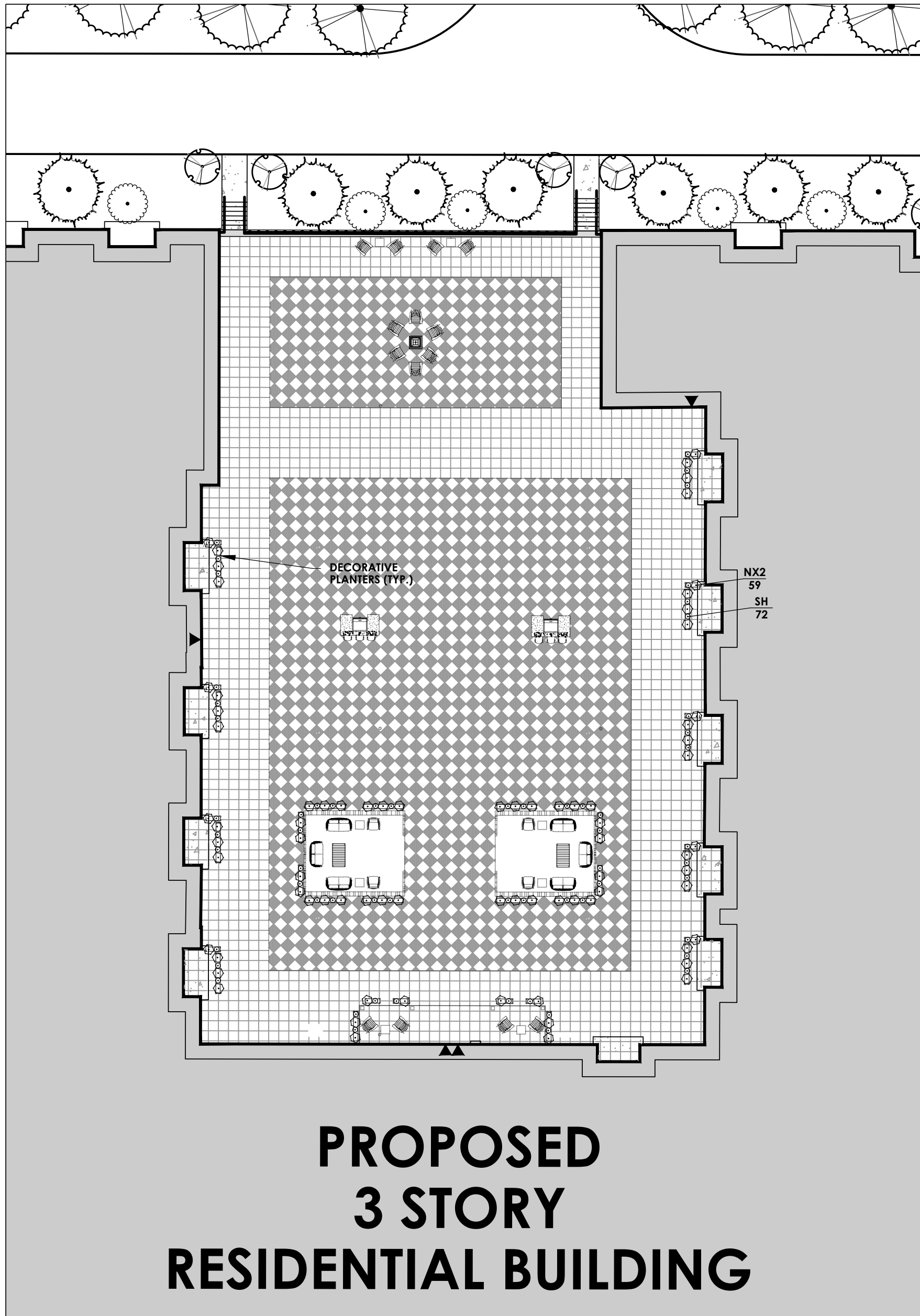
**PROPOSED  
3 STORY  
RESIDENTIAL BUILDING**



SOUTH COURTYARD  
N.T.S.

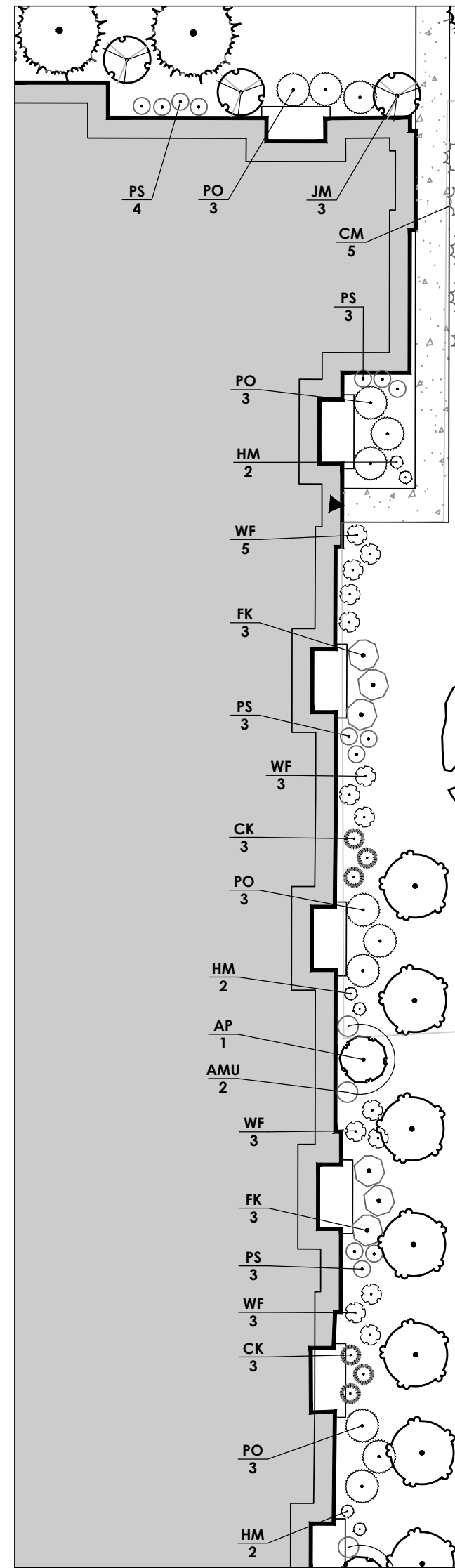
## LANDSCAPING NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN AND STATE DESIGN STANDARDS AND CODES.
2. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
3. STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 (LATEST EDITION) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS DELIVERED AND INSTALLED ON THIS PROJECT.
4. ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
5. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY IN THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
6. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AN MEET SIZE REQUIREMENTS AS INDICATED ON THE PLANT LIST.
7. ALL TREES MUST BE STRAIGHT-TRUNKED, INJURY FREE, HAVE A FULL, SYMMETRICAL CROWN (HEAD) AND MEET ALL REQUIREMENTS SPECIFIED (E.G. SINGLE STEM, MULTI-STEM, HEAVY BRANCHED, ETC.).
8. ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES.
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS. THE BID PRICE SUBMITTED WILL ASSUME THAT ALL PLANT MATERIALS DELINEATED WILL BE SUPPLIED AND INSTALLED. ANY DISCREPANCIES IN THE QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR THE LANDSCAPE ARCHITECT (OWNER'S REPRESENTATIVE) PRIOR TO COMPLETING A BID PRICE.
10. ALL GRADING AND UTILITY WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
11. THE FINAL LOCATION OF TREES AND OTHER LANDSCAPING SHALL BE DETERMINED IN THE FIELD BASED ON UTILITY STAKEOUT AND SHALL NOT CONFLICT WITH TRAFFIC SIGNS AND/OR UTILITIES. STAKE OUT SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
12. ANY CONCERNS RELATED TO SITE CONDITIONS AND/OR PLANT LOCATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. PLANTING BACKFILL MIXTURE: 4 PARTS TOPSOIL, (ON-SITE OR IMPORTED), 1 PART PEAT MOSS, 1/2 PART WET ROTTED MANURE AND 10 LBS. 5-0-5 PLANTING FERTILIZER, MIXED THOROUGHLY PER CUBIC YARD.

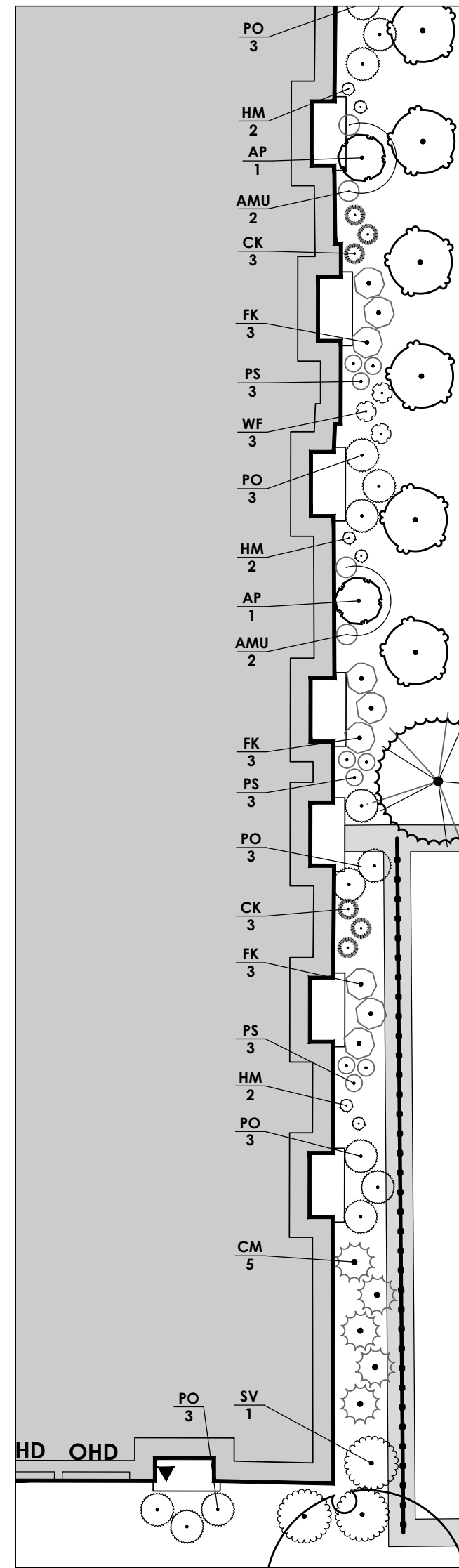


# PROPOSED 3 STORY RESIDENTIAL BUILDING

NORTH COURTYARD  
N.T.S.



EAST SIDE BUILDING, NORTH  
N.T.S.

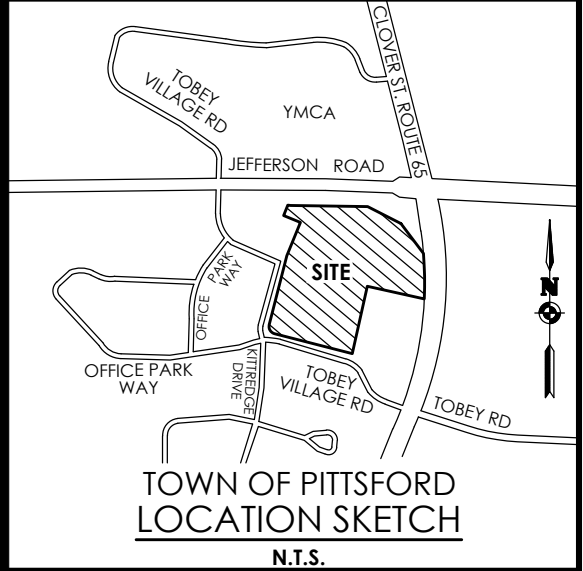


EAST SIDE BUILDING, SOUTH  
N.T.S.



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engineering architecture

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Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

PASSERO ASSOCIATES

242 West Main Street Suite 100  
Rochester, New York 14614

Principal-in-Charge	Andrew Burns, P.E.
Project Manager	Andrew Burns, P.E.
Designed by	Shari Kleis



## Revisions

No.	Date	By	Description
1	07/18/24	SMK	DRC COMMENTS

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## DETAILS

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No. 20233554.0001

Drawing No.

C 208

Scale:

$$1'' = 20'$$

Date JUNE, 2025

NOT FOR CONSTRUCTION

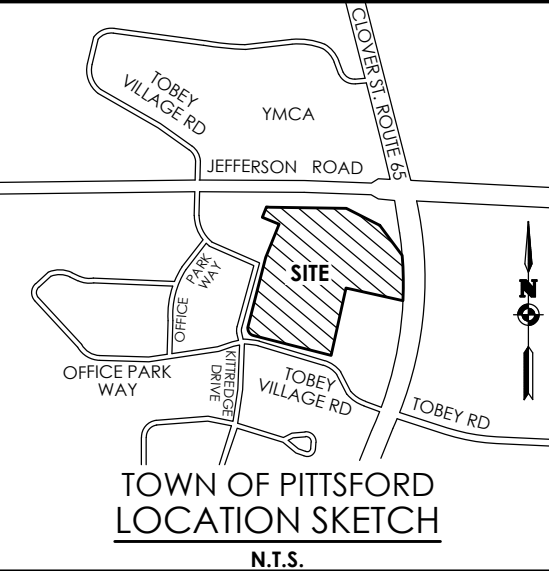


## DOT DETAILS



PASSERO ASSOCIATES  
engineering architecture

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Client:  
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2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

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## DETAILS

## PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No. 20233554.0001

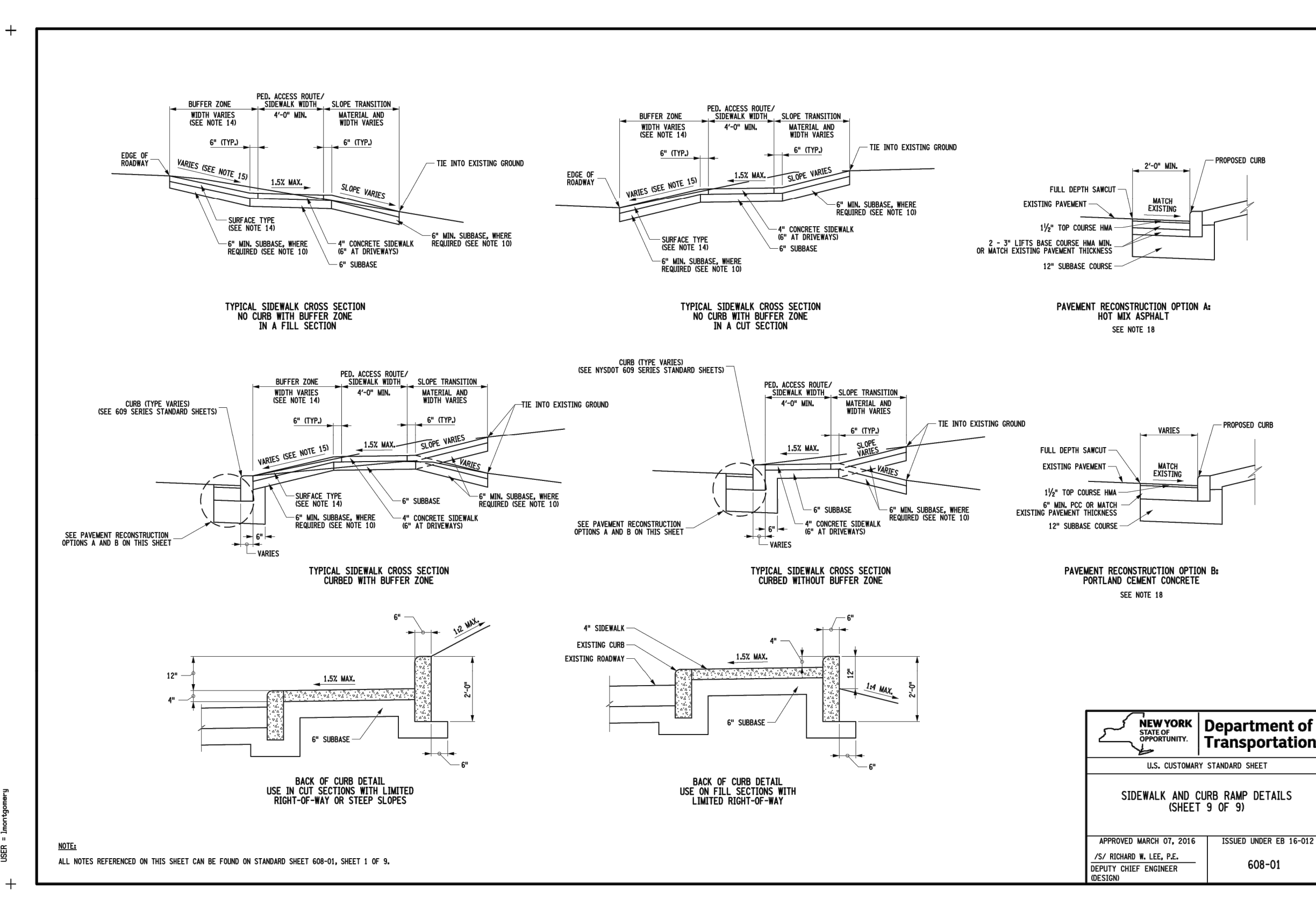
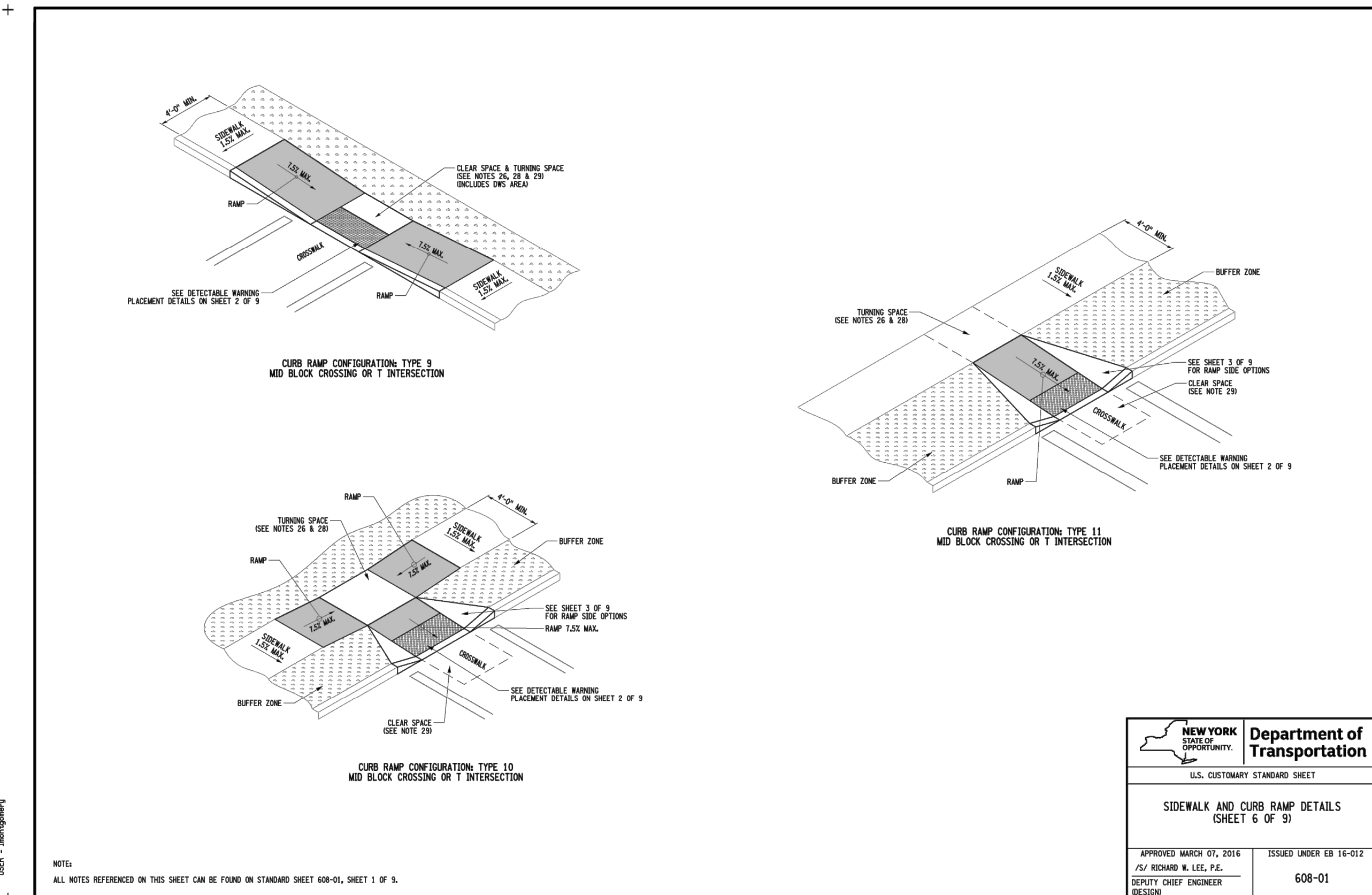
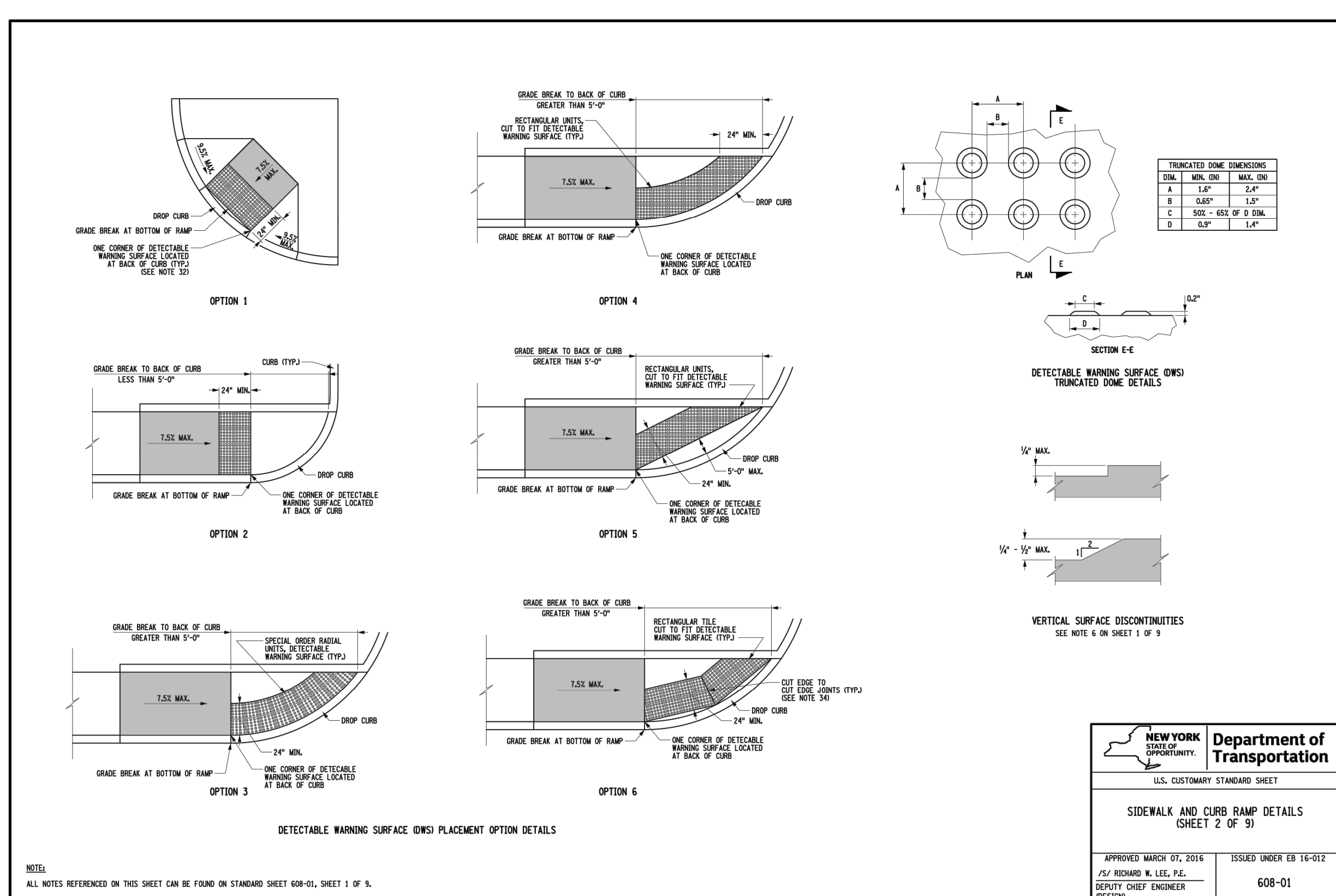
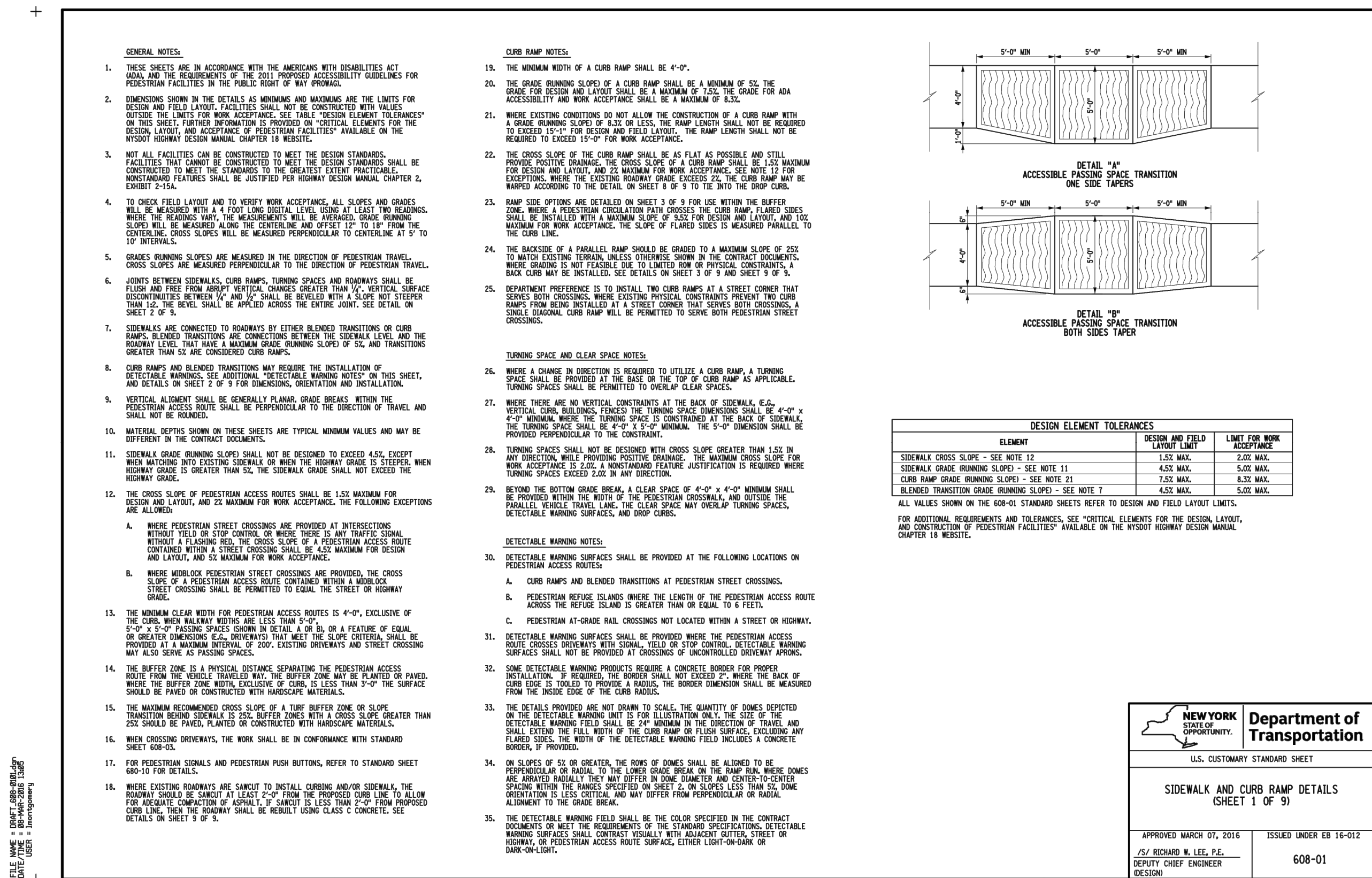
Drawing No

C 209

N.T.S.

Date JUNE, 2025

NOT FOR CONSTRUCTION





DOT NOTES & DETAILS

Region 4 Standard General Plan Notes

1. ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
2. ROADSIDE DRAINAGE TO BE MAINTAINED AT ALL TIMES.
3. MATERIALS, EQUIPMENT AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN THE NEW YORK STATE RIGHT-OF-WAY.
4. MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THE CURRENT NATIONAL MUTCD WITH NYS SUPPLEMENT, SECTION 619 OF THE CURRENT NYSDOT STANDARD SPECIFICATIONS, THESE PLANS AND AS ORDERED BY THE ASSISTANT RESIDENT ENGINEER. ON A NYSDOT CONSTRUCTION PROJECT, MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THESE PLANS AND BE IN ACCORDANCE WITH THE NYSDOT CONTRACT DOCUMENTS AS DEEMED NECESSARY BY THE NYS ENGINEER-IN-CHARGE.
5. NOTIFY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S ASSISTANT RESIDENT ENGINEER AT THE APPROPRIATE NUMBER, AS NOTED BELOW, FIVE (5) WORK DAYS PRIOR TO WORKING WITHIN THE STATE RIGHT-OF-WAY.

GENESEE CO. - (585) 343-4502	LIVINGSTON CO. - (585) 346-3036
MONROE CO. - WEST OF GENESEE RIVER (585) 352-3471	MONROE CO. - EAST OF GENESEE RIVER (585) 586-4514
ONTARIO CO. - (585) 396-4957	ORLEANS CO. - (585) 589-6655
WAYNE CO. - (315) 332-4000	WYOMING CO. - (585) 786-3310

IN ADDITION, THE PERMITTEE SHALL NOTIFY NYSDOT REGIONAL TRAFFIC OPERATIONS CENTER (RTOC) OF ALL LANE AND SHOULDER CLOSURES AT LEAST THREE (3) DAYS IN ADVANCE OF THE PROPOSED WORK UTILIZING RTOC'S CONSTRUCTION NOTIFICATION FORM.

PROPOSED CLOSURES WILL BE REVIEWED FOR CONCURRENT AND OVERLAPPING CLOSURE OR INCIDENT CONFLICTS AND WILL BE ENTERED INTO 511.NY.ORG. CLOSURES INCLUDED IN THE NOTIFICATION SHALL CONFORM TO TIME, DATE, AND LOCATION RESTRICTIONS IN THE PERMIT. RTOC MAY DISALLOW OR REDUCE CLOSURES DUE TO OTHER CLOSURES OR WORK, EVENTS, OR INCIDENTS FOUND IN CONFLICT WITH THE PROPOSED CLOSURE(S). ALL LANE AND SHOULDER CLOSURES SHALL BE REMOVED DURING NON-WORKING HOURS, EXCEPT WHERE AUTHORIZED BY THE NYSDOT REGIONAL TRAFFIC ENGINEER OR DESIGNEE.

6. NOTIFY THE NYSDOT TRAFFIC SIGNAL MAINTENANCE ENGINEER AT (585) 753-7793 5 DAYS PRIOR TO WORKING WITHIN 150' OF A SIGNALIZED INTERSECTION. NOTIFY DIG SAFELY NEW YORK 2 WORK DAYS PRIOR TO DIGGING, DRILLING OR BLASTING AT 811 FOR A UTILITY STAKE-OUT.
7. WORK ZONE TRAFFIC CONTROL STANDARD SHEETS NOT INCLUDED IN THE PERMIT PACKAGE SHALL NOT BE UTILIZED UNLESS APPROVED BY THE REGIONAL TRAFFIC ENGINEER.
8. ALL MATERIALS USED WITHIN THE STATE RIGHT-OF-WAY MUST COMPLY WITH THE CURRENT NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS ALONG WITH ANY APPROPRIATE CURRENT NYS DEPARTMENT OF TRANSPORTATION'S STANDARD SHEETS.
9. QUALITY CONTROL OF ASPHALT CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 401 OF THE STANDARD SPECIFICATIONS. ALL ASPHALT PRODUCED AS PART OF SECTION 401 WILL BE PAID AT A FINAL QUANTITY ADJUSTMENT FACTOR OF 1.0. ASPHALT COURSE DEPTHS SHOWN ON THE PLANS ARE COMPACTED DEPTHS.
10. NO NIGHT WORK SHALL BE ALLOWED UNLESS APPROVED PRIOR TO START OF PROJECT. ADDITIONAL MAINTENANCE AND PROTECTION OF TRAFFIC MAY BE REQUIRED INCLUDING THE ADDITION OF REFLECTIVE MATERIALS AND LIGHTING.
11. HAZARDOUS WASTE NOTIFICATION - THE PERMITTEE ACCEPTS THE RIGHT-OF-WAY OF THE STATE HIGHWAY IN ITS "AS IS" CONDITION. THE DEPARTMENT OF TRANSPORTATION MAKES NO REPRESENTATION AS TO THE ABSENCE OF UNDERGROUND TANKS, STRUCTURES, FEATURES OR SIMILAR IMPEDIMENTS TO THE COMPLETION OF THE WORK PERMITTED HEREUNDER. SHOULD PERMITTEE FIND SOME PREVIOUSLY UNKNOWN UNDERGROUND IMPEDIMENTS TO ITS WORK, THE DEPARTMENT OF TRANSPORTATION SHALL HAVE NO OBLIGATION TO CURE, REMOVE, REMEDY OR OTHERWISE DEAL WITH SUCH PREVIOUSLY UNKNOWN UNDERGROUND IMPEDIMENTS. THE PERMITTEE IS REQUIRED TO REMOVE, MODIFY OR OTHERWISE DEAL WITH SUCH UNDERGROUND TANKS, STRUCTURES, FEATURES OR IMPEDIMENTS IN A MANNER WHICH MEETS ACCEPTABLE ENGINEERING PRACTICE AND IS APPROVED BY THE DEPARTMENT OF TRANSPORTATION.
12. ADA COMPLIANCE - ALL WORK SHALL BE IN ACCORDANCE WITH THE AMERICANS DISABILITY ACT (ADA) AND THE REQUIREMENTS OF THE 2013 PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES (PROWAG). REFER TO STANDARD SHEET 608-01 FOR DETAILS
13. ANY DAMAGE TO ROADWAY FEATURES CAUSED DIRECTLY OR INDIRECTLY BY THE CONTRACTOR'S OPERATIONS WITHIN NYS ROW SHALL BE REPAIRED TO MEET NYSDOT STANDARDS AT THE CONTRACTOR'S EXPENSE.
14. NYSDOT OPERATIONS TAKE PRECEDENCE OVER HIGHWAY WORK PERMIT OPERATIONS. CONTRACTOR SHALL NOT HAVE WORK OPERATIONS IN PAVEMENT DURING INCLEMENT WEATHER CONDITIONS OR DURING SNOW AND ICE REMOVAL OPERATIONS ON STATE HIGHWAYS.

10/2023

SPECIAL NOTE  
TEMPORARY LANE/SHOULDER CLOSURE RESTRICTIONS FOR MAJOR HOLIDAYS

There shall be no temporary lane/shoulder closures on roadway facilities owned and/or maintained by NYSDOT on the major holidays listed below.

Construction activities that will result in temporary lane/shoulder closures shall be suspended to minimize travel delays associated with road work for major holidays as follows:

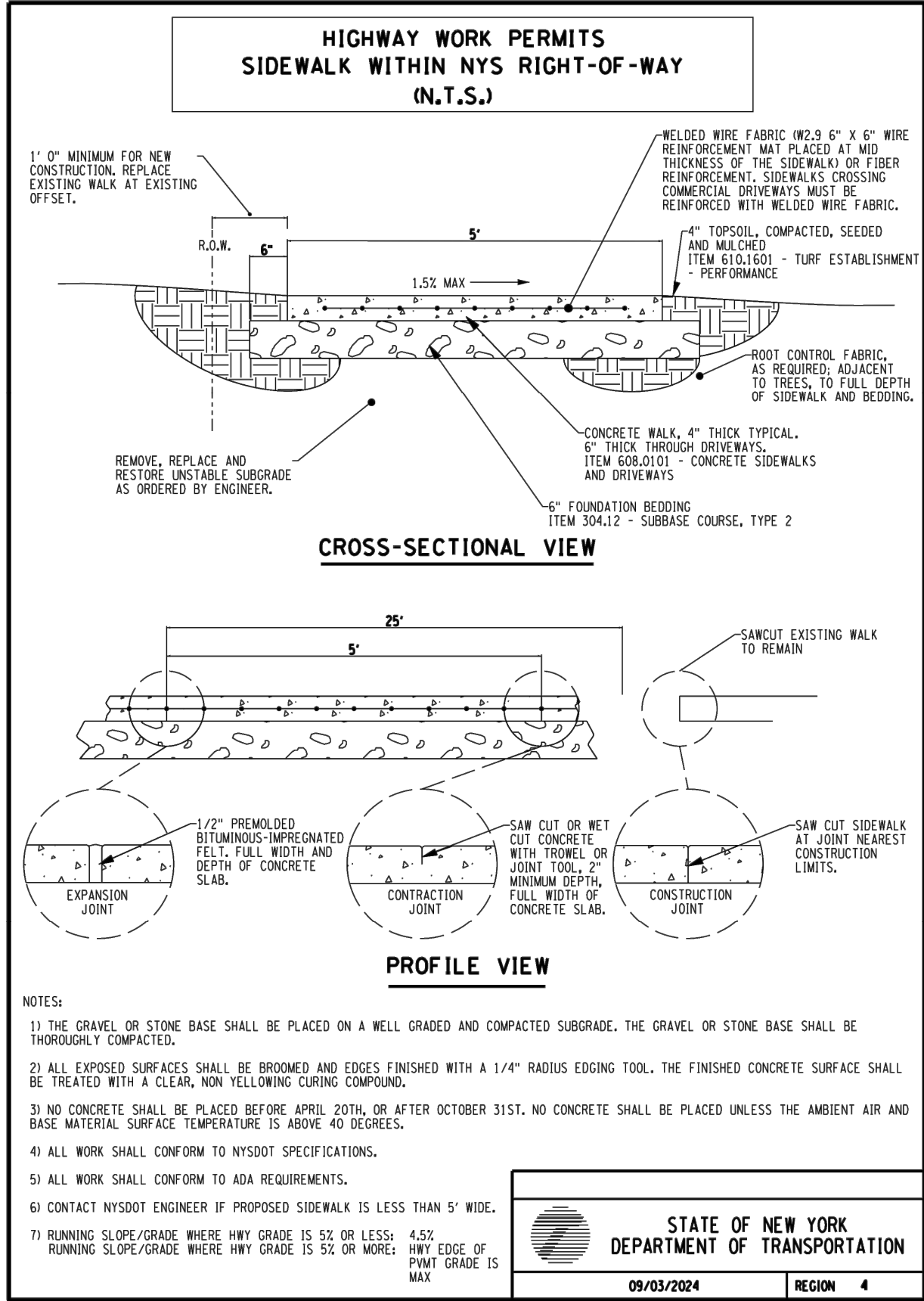
Holiday	Falls on	Temporary lane closures are NOT allowed from
New Year's Day	Sunday or Monday	6:00 AM Friday before to 6:00 AM Tuesday after
Independence Day	Tuesday	6:00 AM Saturday before to 6:00 AM Wednesday after (starting at 6:00 AM Friday before to 6:00 AM Wednesday after for Christmas Day)
Christmas Day	Wednesday	6:00 AM Tuesday before to 6:00 AM Thursday after (starting at 6:00 AM Saturday before to 6:00 AM Thursday after for Christmas Day)
	Thursday	6:00 AM Thursday to 6:00 AM Monday after (starting at 6:00 AM Wednesday before to 6:00 AM Monday after for Christmas Day)
	Friday or Saturday	6:00 AM Thursday before to 6:00 AM Monday after

Holiday	Falls on	Temporary lane closures are NOT allowed from
Memorial Day Labor Day	Monday	6:00 AM Friday before to 6:00 AM Tuesday after
Thanksgiving Day	Thursday	6:00 AM Wednesday before to 6:00 AM Monday after

Exceptions can only be made under the following conditions:

- Emergency work.
- Work within long-term stationary lane/shoulder closures.
- Safety work that does not adversely impact traffic mobility and has been authorized by the Regional Traffic Engineer.

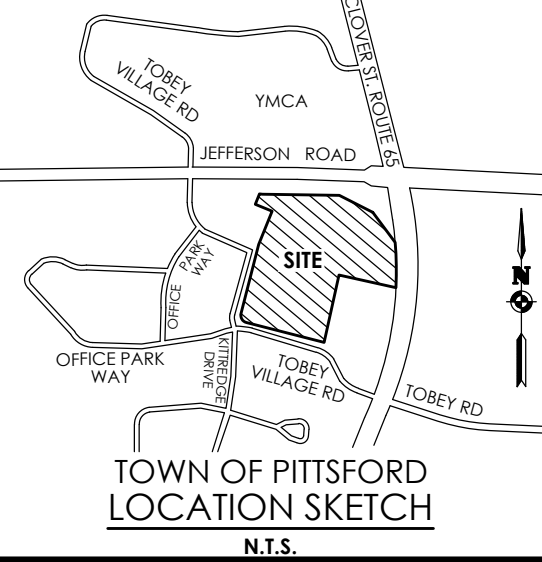
Note: The Department reserves the right to cancel any work operations, including lane closures and/or total road closures, that would create traffic delays by unforeseen events. The Contractor would be notified at least seven (7) calendar days prior to the proposed work.



PA

PASSERO ASSOCIATES  
engineering architecture

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2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

PASSERO ASSOCIATES

242 West Main Street Suite 100 (585) 325-1000  
Rochester, New York 14614 Fax: (585) 325-1691  
Principal-in-Charge Andrew Burns, P.E.  
Project Manager Andrew Burns, P.E.  
Designed by Shari Kleis



Revisions

No.	Date	By	Description
1	07/16/24	SMK	DRC COMMENTS

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DETAILS

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

Drawing No.

C 210

Scale:

N.T.S.

Date

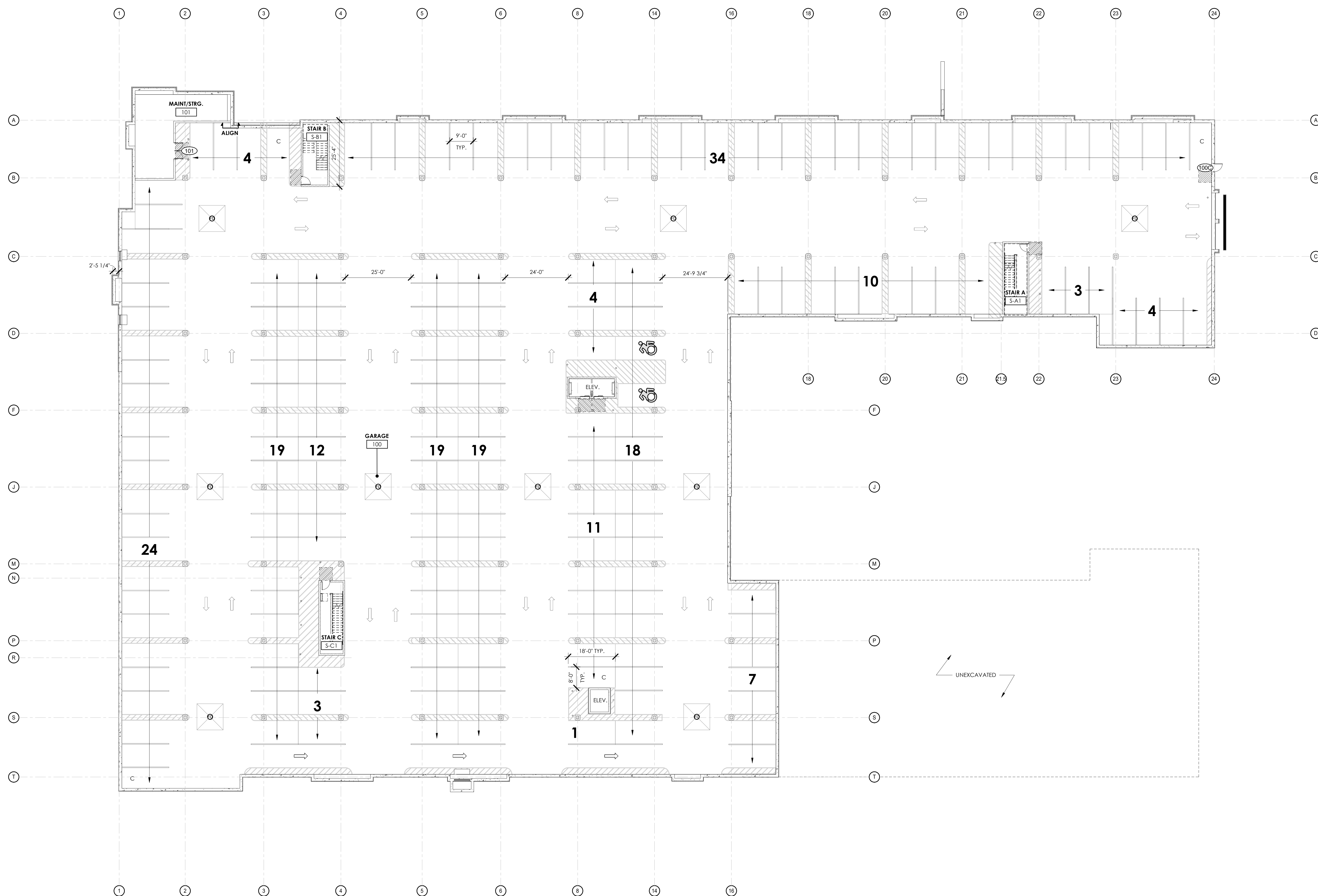
JUNE, 2025

NOT FOR CONSTRUCTION



FLOOR PLAN GENERAL NOTES:

- REFER TO SHEET G-010 FOR WALL TYPES
- DIMENSION STYLES
  - WOOD STUD WALLS ARE DIMENSIONED TO FACE OF STUD.
  - METAL STUD WALLS (EXTERIOR) ARE DIMENSIONED TO FACE OF STUD.
  - MASONRY WALLS ARE DIMENSIONED TO FACE OF MASONRY.
  - CONCRETE WALLS ARE DIMENSIONED TO FACE OF CONCRETE.
  - EXTERIOR WALLS ARE DIMENSIONED TO EXTERIOR FACE OF STUD/MASONRY/CONCRETE.
- REFER TO PLANS AND SCHEDULES FOR WINDOW TYPES.
- REFER TO ENLARGED PLANS AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE RODENT SCREEN AT ALL EXTERIOR PENETRATIONS AT GRADE.
- REFER TO STRUCTURAL DRAWINGS FOR COMPLETE SHEAR WALL LAYOUT.



1 GARAGE FLOOR PLAN  
0' 4' 8' 16' 32'  
1/16" = 1'-0"

192 PARKING SPACES

STAMP:

CLIENT:  
2851 CLOVER, LLC

2851 MONROE AVE.  
ROCHESTER, N.Y. 14618

**Passero Associates**

242 WEST HENRI ST., SUITE 100 (585) 225-0990  
ROCHESTER, NY 14614 FAX: (585) 225-1991  
PROJECT MANAGER: DUSTY WELCH, AIA  
PROJECT ARCHITECT: THOMAS SURETY, AIA  
DESIGNER: JACOB DEVERIS

NO. DATE BY DESCRIPTION  
1 10/13/24 JD ADDENDUM #1

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING  
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SECTION 120B AND ARTICLE 141 SECTION 1301. THESE PLANS  
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GARAGE FLOOR PLAN

300 TOBEY VILLAGE  
ROAD  
PITTSFORD OAKS

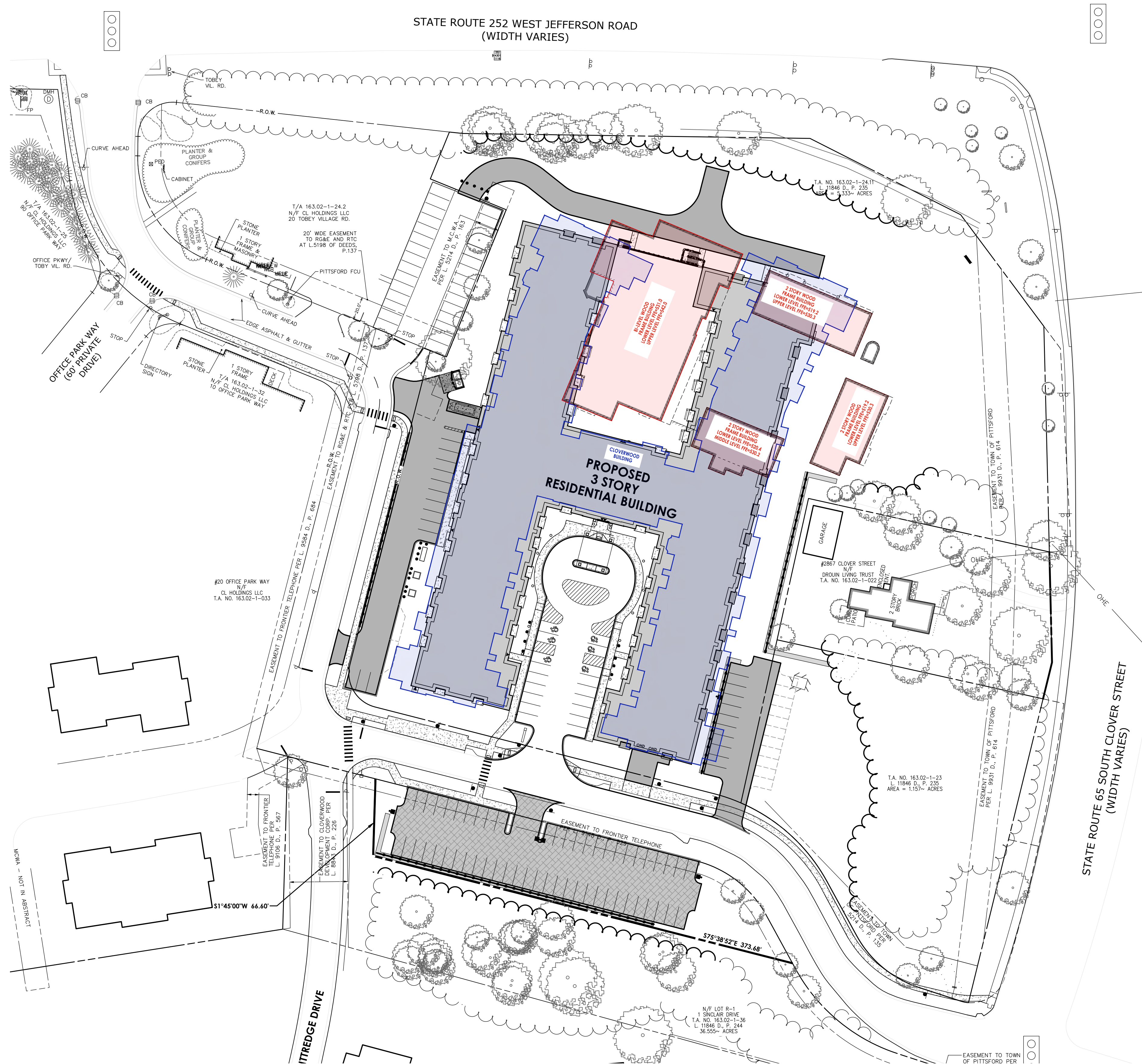
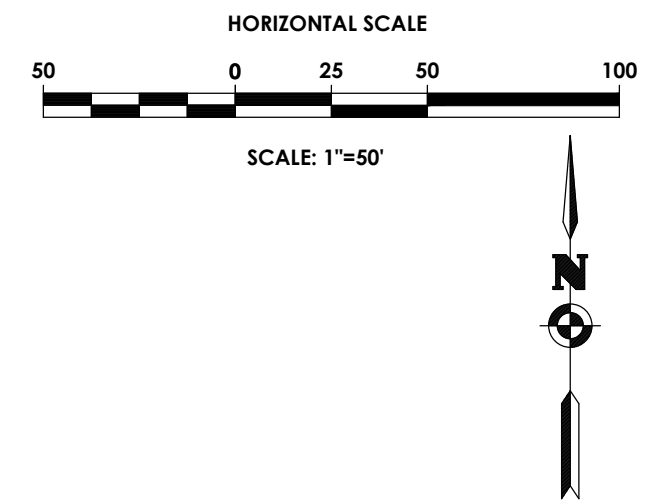
TOWN/CITY: PITTSFORD  
COUNTY: MONROE STATE: NY

PROJECT NO.:  
20233554.0002

DRAWING NO.:  
A-100

DATE:  
JUNE 2025





LEGEND:

- PITTSFORD OAKS BUILDING
- CLOVERWOOD BUILDING
- BARN BAZAAR BUILDING





**3 NORTH ELEVATION**  
1/16" = 1'-0"



**4 NORTH COURTYARD EAST ELEVATION**  
1/16" = 1'-0"

- 4TH FLOOR WALL HGT.  
31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL  
22'-0 1/2" (+565')
- THIRD FLOOR LEVEL  
11'-0 5/8" (+554')
- SECOND FLOOR LEVEL  
0'-0" (+543')



**2 WEST ELEVATION**  
1/16" = 1'-0"

- 4TH FLOOR WALL HGT.  
31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL  
22'-0 1/2" (+565')
- THIRD FLOOR LEVEL  
11'-0 5/8" (+554')
- SECOND FLOOR LEVEL  
0'-0" (+543')



**1 EAST ELEVATION**  
1/16" = 1'-0"

- 4TH FLOOR WALL HGT.  
31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL  
22'-0 1/2" (+565')
- THIRD FLOOR LEVEL  
11'-0 5/8" (+554')
- SECOND FLOOR LEVEL  
0'-0" (+543')
- GARAGE LEVEL  
-12'-0" (+531')





**1 SOUTH ELEVATION**  
1/16" = 1'-0"

**FINISH LEGEND:**

-  NORANDEX CEDAR MILLS  
"CHAMPAGNE"
-  NORANDEX CEDAR MILLS  
"GRANITE"
-  NORANDEX CEDAR MILLS  
"CARBON"
-  PROVIA STONE VENEER  
"BUFF"
-  DECORATIVE PARGING  
"DOWNING STONE"





**1 EAST ELEVATION**  
1/16" = 1'-0"



**2 EAST ELEVATION**  
1/16" = 1'-0"





**1 EAST ELEVATION**  
1/16" = 1'-0"



**2 EAST ELEVATION**  
1/16" = 1'-0"





**1 EAST ELEVATION - PREVIOUS SUBMISSION**  
1/16" = 1'-0"



**2 EAST ELEVATION - PROPOSED CONCEPT 1**  
1/16" = 1'-0"



**3 EAST ELEVATION - PROPOSED CONCEPT 2**  
1/16" = 1'-0"





**1 EAST ELEVATION - PREVIOUS SUBMISSION**  
1/16" = 1'-0"



**2 EAST ELEVATION - PROPOSED CONCEPT 3**  
1/16" = 1'-0"





**1 EAST ELEVATION - PREVIOUS SUBMISSION**  
1/16" = 1'-0"



**2 EAST ELEVATION - PROPOSED CONCEPT 4**  
1/16" = 1'-0"



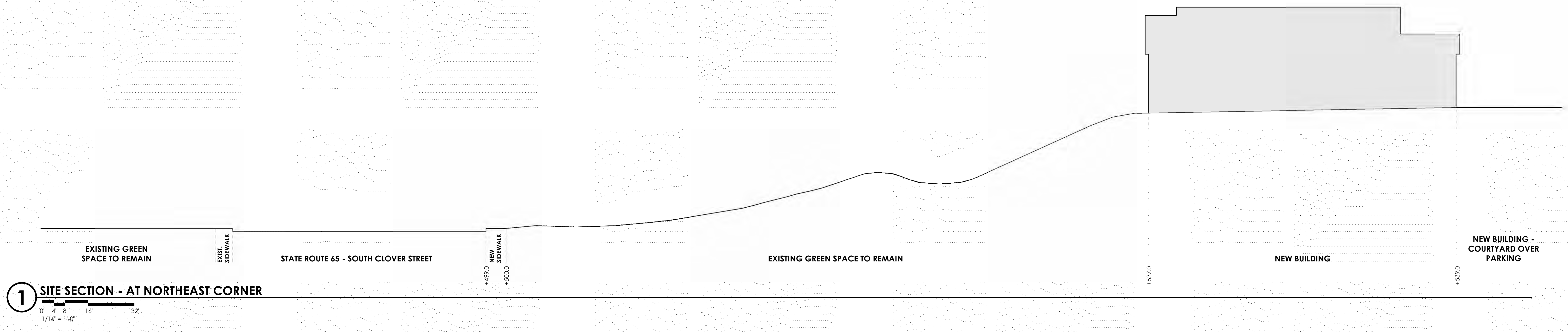
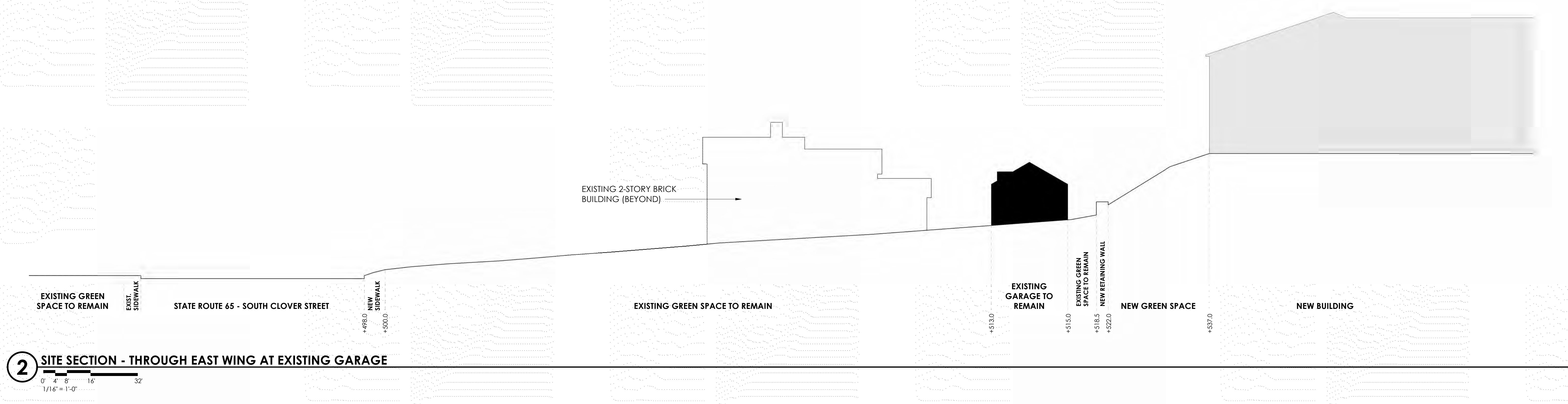
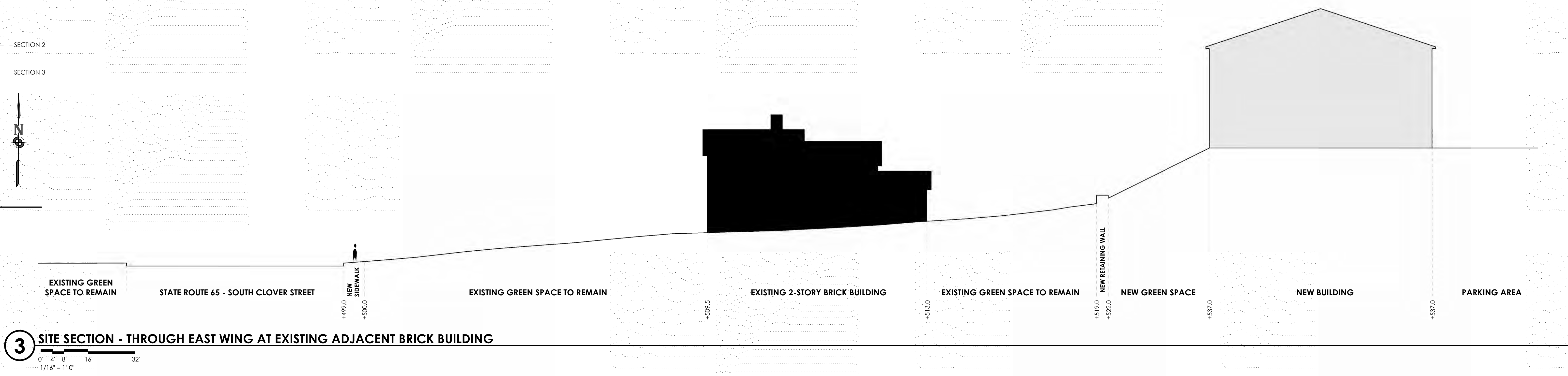
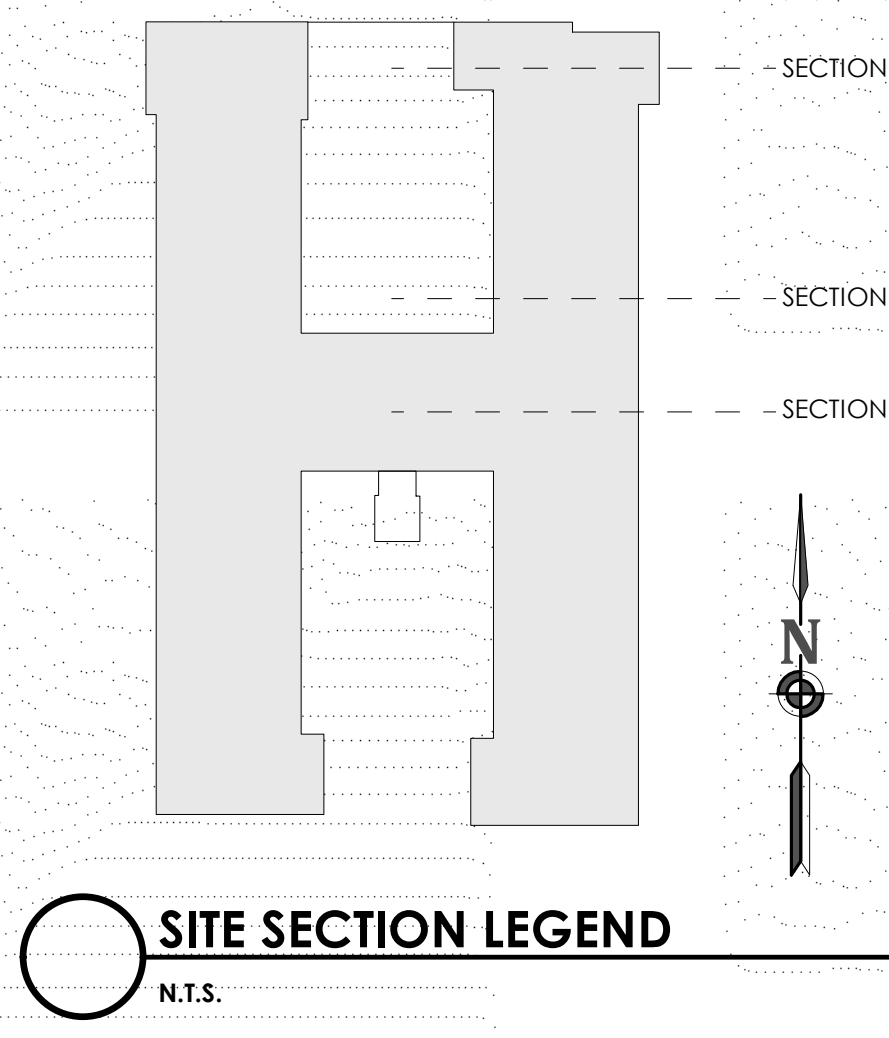


**1 EAST ELEVATION - PREVIOUS SUBMISSION**  
1/16" = 1'-0"



**2 EAST ELEVATION - PROPOSED CONCEPT 5**  
1/16" = 1'-0"



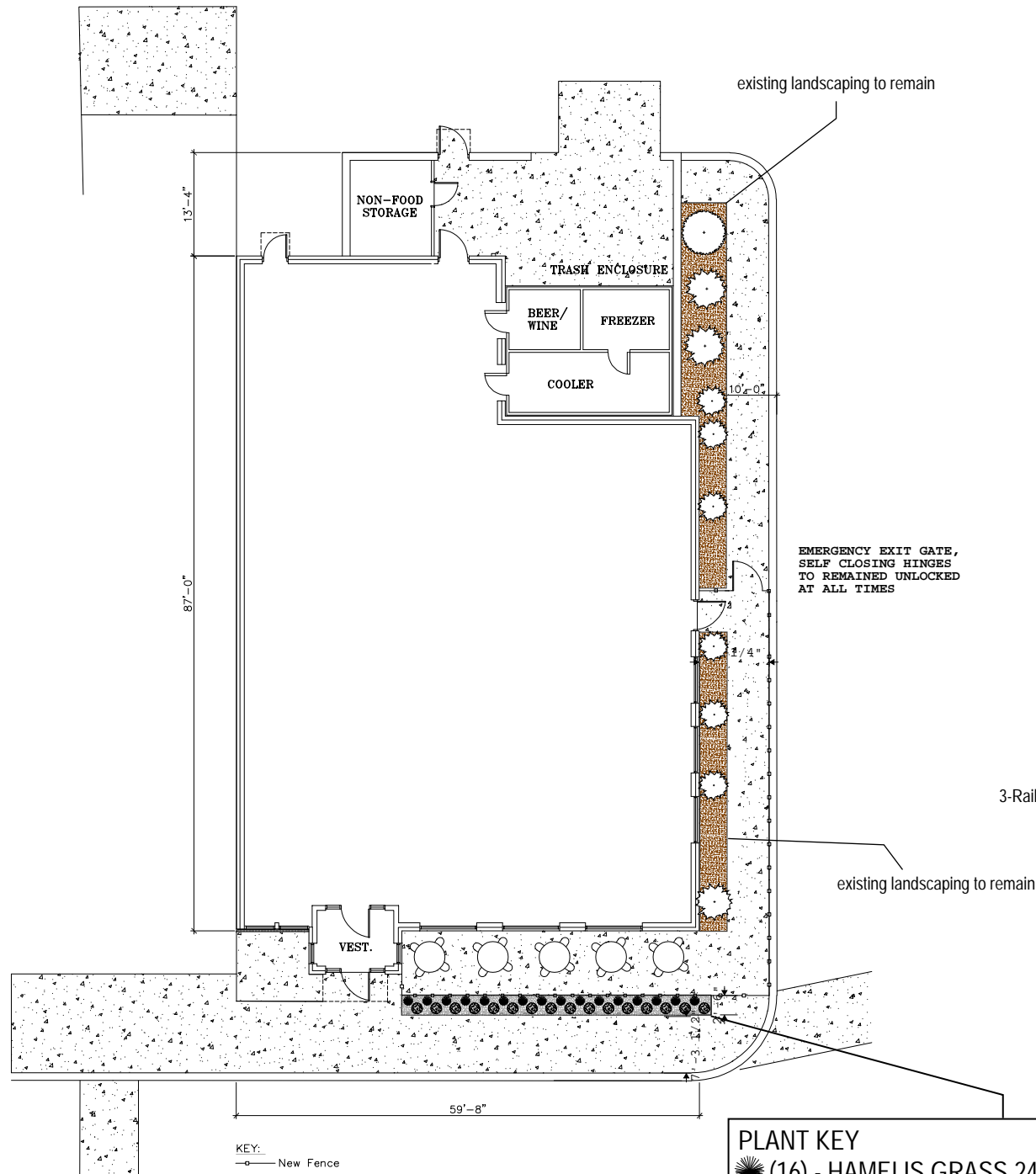






**RENDERING FROM INTERSECTION OF JEFFERSON RD & CLOVER ST**  
INCLUDES PROPOSED FOLIAGE SHOWN AT FULL OPACITY





#### GENERAL NOTES:

- 36 Outdoor Seats Proposed
- 9 Outdoor Tables Proposed
- Fence to be 36" - 39" High



*Proposed Fence*  
UAF 200 FLAT TOP  
3-Rail Aluminum Fence with Flat Top Rail



*Proposed Gate*  
UAF 200 FLAT TOP  
3-Rail Aluminum Fence with Flat Top Rail

#### SPECIFICATIONS

Commercial Series	
1/2" sq. x .055	
1 1/4" x .065	
1 1/4" x .088	
2" sq. x .080	
2" sq. x .125	
2 1/2" sq. x .100	
3" sq. x .125	
3" sq. x .125	
4" sq. x .125	
3 1/2"	
1 1/2" optional	
72 1/2" on center	
8' wide optional	
36" 42" 48"	
54" 60" 72"	

#### PLANT KEY

- (16) - HAMELIS GRASS 24-36" MATURE HEIGHT
- (16) - LITTLE GEM DWARF NEST SPRUCE
- #1 WASHED STONE ON WEED BARRIER TO BE USED AS GROUND COVER

#### REVISIONS:

LANDSCAPE ARCHITECTURE  
WARRANTS THAT THE PLANTS NAMED  
HEREIN ARE AVAILABLE IN THE AREA  
THE SHOPPING CENTER EITHER AS SHOWN  
OR IN A SIMILAR VARIETY. THE  
OWNER SHALL BE RESPONSIBLE FOR  
OBTAINING NECESSARY PERMITS  
NECESSARY FOR THE PROJECT.

WILMORITE  
1005 Scarsdale Road  
Rochester, New York 14624  
Telephone: (585) 464-4400  
Fax: (585) 464-4401  
Development & Management



ADELITA'S - 3349 MONROE AVE.  
ROCHESTER, NY 14618  
NEW PATIO SEATING

TD-1A

DATE: 4-7-25  
SCALE: NTS  
DRAWN BY: CAJ  
SPACE #1



**TOWN OF PITTSFORD  
PLANNING BOARD  
SEQRA RESOLUTION  
Adelita's Mexican Cocina & Tequila – Outdoor Seating  
Special Use Permit  
3349 Monroe Avenue (Pittsford Plaza)  
Tax Parcel #150.12-1-18**

WHEREAS Adelita's Mexican Cocina & Tequila, as agent for Wilmorite Management Group LLC, has made application for Special Use Permit approval for the addition of outdoor seating at 3349 Monroe Avenue (Pittsford Plaza), with application materials received April 30, 2025, and amended July 7, 2025; and

WHEREAS this is an Unlisted Action pursuant to SEQRA and the Planning Board has conducted a single agency review; and

WHEREAS a Part I Short EAF was submitted by the applicant and the Planning Board has completed a Part II Short EAF, attached hereto; and

NOW, THEREFORE, upon careful and deliberate consideration by the Planning Board, of all written and oral submissions and testimony by the applicant, appropriate agencies, the public, and the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act based upon the following Findings of Fact:

**FINDINGS OF FACT**

1. This application proposes the creation of outdoor seating to an existing restaurant, Adelita's Mexican Cocina & Tequila, within the existing main building at 3349 Monroe Avenue (Pittsford Plaza). A portion of the existing landscaped area will be removed to expand the existing sidewalk for patio space.
2. The Planning Board has considered possible environmental impacts associated with the application and completed a Short Part II EAF which did not identify significant impacts, attached hereto.
3. The applicant submitted responses to Town Code §185-174 Determination of Impact and the Planning Board has reviewed the applicant's responses to evaluate potential impacts to the plaza and Monroe Avenue corridor and the Board has concluded that the proposed outdoor seating will not adversely impact the neighborhood or district.

**CONCLUSION**

The Planning Board finds that the proposed action will not have any significant adverse impact on the environment, and accordingly, hereby grants a negative declaration pursuant to the State Environmental Quality Review Act.



The within Resolution was motioned by Planning Board Member \_\_\_\_\_, seconded by Planning Board Member \_\_\_\_\_, and voted upon by members of the Planning Board as follows:

Paul Alguire  
David Jefferson  
Paula Liebschutz  
Hali Buckley  
Kevin Morabito  
John Limbeck  
John Halldow

Adopted by the Planning Board on July 14, 2025.

---

April Zurowski  
Planning Assistant

DRAFT



**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Cesar Moreno							
Name of Action or Project: Adelita's Pittsford Patio							
Project Location (describe, and attach a location map): 3349 Monroe Ave Suite 1, outside of the Adelita's restaurant							
Brief Description of Proposed Action: Remove the bushes in front and to the sides to make a patio for customers to dine outside.							
Name of Applicant or Sponsor: Cesar Moreno		Telephone: (617) 893-0343					
		E-Mail: AdelitasMexican@Outlook.com					
Address: 3349 Monroe Ave Suite 1							
City/PO: Rochester		State: NY	Zip Code: 14618				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? (If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ 0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0 acres							
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.</b> Applicant/sponsor name: <u>Cesar Moreno</u> Date: <u>4-22-25</u> Signature: <u>Cesar Moreno</u>		

## Short Environmental Assessment Form

### Part 2 - Impact Assessment

#### Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. <u>Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. <u>Will the proposed action result in a change in the use or intensity of use of land?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. <u>Will the proposed action impair the character or quality of the existing community?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. <u>Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. <u>Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



7. <u>Will the proposed action impact existing:</u> a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. <u>Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. <u>Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. <u>Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. <u>Will the proposed action create a hazard to environmental resources or human health?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### ***Short Environmental Assessment Form*** ***Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)



**TOWN OF PITTSFORD  
PLANNING BOARD  
RESOLUTION  
Adelita's Mexican Cocina & Tequila – Outdoor Seating  
Special Use Permit  
3349 Monroe Avenue (Pittsford Plaza)  
Tax Parcel #150.12-1-18**

WHEREAS Adelita's Mexican Cocina & Tequila, as agent for Wilmorite Management Group LLC, has made application for Special Use Permit approval for the addition of outdoor seating at 3349 Monroe Avenue (Pittsford Plaza), with application materials received April 30, 2025, and amended July 7, 2025; and

WHEREAS this is an Unlisted Action pursuant to SEQRA and as the only involved agency the Planning Board conducted a single agency review and granted a negative declaration on July 14, 2025; and

WHEREAS, a public hearing was duly advertised and held on June 9, 2025, and continued through July 14, 2025, at which time it was closed, and public comment was incorporated into the public record; and

NOW, THEREFORE, upon consideration by the Planning Board, of all written and oral submissions and testimony by the applicant, appropriate agencies, and the public, the Planning Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Planning Board of the Town of Pittsford grants Special Use Permit approval based upon the following Findings of Fact and subject to compliance with the following Conditions of Approval:

**FINDINGS OF FACT**

1. This application proposes the creation of outdoor seating to an existing restaurant, Adelita's Mexican Cocina & Tequila, within the existing main building at 3349 Monroe Avenue (Pittsford Plaza). A portion of the existing landscaped area will be removed to expand the existing sidewalk for patio space.
2. The applicant submitted responses to Town Code §185-174 Determination of Impact and the Planning Board has reviewed the applicant's responses to evaluate potential impacts to the plaza and Monroe Avenue corridor and the Board has concluded that the proposed outdoor seating will not adversely impact the neighborhood or district.
3. Recent observations have shown that parking in the plaza is sufficient, but at peak times parking may only be available in less than convenient locations. The proposed use may generate increased parking generation that coincide with existing peak periods.

**CONDITIONS OF APPROVAL**

1. Subject to compliance with or resolution to the DRC comments dated June 2, 2025, and the applicant's written responses dated June 6, 2025, unless otherwise specified herein.
2. Outdoor seating is limited to six tables and a total of 30 seats. Further expansion will require additional review.
3. Pedestrian access to the existing sidewalk along the front of the building must be retained following the patio expansion.
4. Proposed fencing must meet the requirements of the New York State Liquor Authority. Correspondence or approval notification should be shared with the Town.



5. The proposed gate must open in the direction of egress and must be self-closing and self-latching. If the gate is proposed to be lockable, it should be equipped with panic hardware. The gate must remain unlocked during patio hours of operation.
6. A building permit will be required from the Building Department. This should be issued prior to demolition or construction of the proposed outdoor patio.
7. The applicant has submitted a revised plan dated July 7, 2025, which includes a total of 32 new plantings. This plan has been deemed reasonably consistent with the previously approved landscaping plan for the site.

The within Resolution was motioned by Planning Board Member \_\_\_\_\_, seconded by Planning Board Member \_\_\_\_\_, and voted upon by members of the Planning Board as follows:

Paul Alguire  
David Jefferson  
Paula Liebschutz  
Hali Buckley  
Kevin Morabito  
John Limbeck  
John Halldow

Adopted by the Planning Board on July 14, 2025.

---

April Zurowski  
Planning Assistant



**TOWN OF PITTSFORD  
PLANNING BOARD  
JUNE 9, 2025**

Minutes of the Town of Pittsford Planning Board meeting held on June 9, 2025, at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

**PRESENT:** Paul Alguire, John Halldow, John Limbeck, Dave Jefferson, Hali Buckley, Paula Liebschutz,

**ABSENT:** Kevin Morabito

**ALSO PRESENT:** Doug DeRue, Director of Planning, Zoning, and Development; April Zurowski, Planning Assistant; Robert Koegel, Town Attorney; Evan Harkin, Student Member

**ATTENDANCE:** There were 17 members of the public present.

Vice Chairman Halldow made a motion to call the meeting to order, seconded by Board Member Liebschutz. Following a unanimous voice vote, the meeting opened at 6:30PM, none opposed.

**NEW APPLICATION:**

**Passero Associates, Pittsford Oaks Apartments**  
Final Site Plan

Vice Chairman Halldow stated that this application has been deemed incomplete and there is no public hearing on the matter. He invited the applicant to address the Board.

Anthony Daniele, of 2851 Clover LLC, stated that the Final Site Plan application will be re-submitted this week to the Town. He shared a grading plan, a landscaping plan, and a lighting plan for the Board to review. He stated that the stormwater ponds were reduced and replaced with an underground chamber. He stated that the lighting plan was updated, and additional lighting was added near the southern parking lot. The landscaping plan was updated as a result of the revised grading plan. Mr. Daniele asked the Board to identify a region where more landscaping may be needed. He stated that the landscape cost estimate will be revised to include more plantings to meet the code requirement laid out in the Preliminary Site Plan approval. Ms. Zurowski identified the northeast corner as an area where landscaping was spaced out after the northern stormwater pond was removed. Mr. Daniele suggested additional trees and plantings along Tobey Village Road.

Board Member Liebschutz asked which types of trees are proposed in the northeast corner. Mr. Daniele stated that the trees in that area are proposed for oak and crabapples. Board Member Liebschutz asked if any pollinator plants were proposed. Ms. Zurowski stated that the Environmental Board will suggest this and will complete a comprehensive review of the updated landscaping plan.

Mr. Daniele showed the latest elevations for the apartment building. He stated that the Design Review and Historic Preservation Board will review these at their meeting on Thursday. A larger section of the third floor at the northeast corner was reduced per the DRHPB's comments in September. Due to this reduction, the unit count has been reduced to 169. This also allowed the dead-end aisles to be removed in the underground parking area. This will all be shown in the anticipated new submission.

**Cinnaholic Gourmet Cinnamon Rolls, 3349 Monroe Avenue (Pittsford Plaza)**  
Special Use Permit



Kiran Kaur, owner of Cinnaholic, introduced the application. She stated that this is the first Cinnaholic franchise in New York State. There are over 100 locations in the United States.

Vice Chairman Halldow motioned to open the public hearing, seconded by Board Member Jefferson; all ayes, none opposed. Vice Chairman Halldow asked for public comment. Hearing none, Vice Chairman Halldow motioned to close the public hearing, seconded by Board Member Liebschutz; all ayes, none opposed.

Vice Chairman Halldow read the Preliminary/Final Site Plan resolution, which was unanimously approved.

**Adelita's Mexican Cocina & Tequila – Outdoor Seating, 3349 Monroe Avenue (Pittsford Plaza)**  
Special Use Permit

Cesar Moreno, of Adelita's Mexican Cocina & Tequila, and Karl Postler, of Wilmorite Management Group LLC, introduced the application. Mr. Postler stated that existing landscaping around the building will be removed and a fenced-in outdoor seating area is proposed.

Board Member Alguire asked if any new lighting is proposed. Mr. Postler stated that there will be no new lighting.

Board Member Liebschutz was not in favor of removing the landscaping around the building. Mr. Postler stated that the landscaping will be relocated to the island across from the frontage of Adelita's.

Board Member Jefferson asked if any bollards are proposed, as the seating area is next to the drive lane. Mr. Postler stated that a fence is proposed, but no bollards.

Vice Chairman Halldow stated that he was not in favor of the plan to remove and relocate the existing landscaping. Board Member Limbeck agreed and suggested that Mr. Postler relocate the drive lane in order to keep the landscaping and create an outdoor seating area. Mr. Postler stated that the applicant will come up with an idea to present to the Board.

Board Member Limbeck motioned to open the public hearing, seconded by Board Member Buckley; all ayes, none opposed. Vice Chairman Halldow asked for public comment.

Brian Scudder, of 22 Evergreen Lane, asked the type of fence that is proposed. Mr. Postler stated that it will be a metal three-rail fence.

Vice Chairman Halldow stated that the public hearing will remain open at this time.

**Allendale Columbia School – Daycare Expansion, 519 Allens Creek Road**  
Special Use Permit

Eric Steiner, of Allendale Columbia School, introduced the application. He stated that the internal daycare will be expanded from 10 toddlers to 32. The Department of Child and Family Services has already approved this request.

Vice Chairman Halldow motioned to open the public hearing, seconded by Board Member Liebschutz; all ayes, none opposed. Vice Chairman Halldow asked for public comment. Hearing none, Vice Chairman Halldow motioned to close the public hearing, seconded by Board Member Limbeck; all ayes, none opposed.

Vice Chairman Halldow read the Preliminary/Final Site Plan resolution, which was unanimously approved.



**OTHER DISCUSSION:**

The minutes of March 24, 2025, were approved following a motion by Board Member Alguire, seconded by Board Member Limbeck. Following a unanimous voice vote, the minutes were approved, none opposed.

Board Member Jefferson motioned to close the meeting at 7:17PM, seconded by Board Member Limbeck, and was approved by a unanimous voice vote, none opposed.

Respectfully submitted,

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April Zurowski  
Planning Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT