

Town of Pittsford Design Review & Historic Preservation Board
AGENDA
June 26, 2025

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on June 26, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

2534 Clover Street

Applicant is requesting design review changes for a 960 Sq Ft. new two car garage with attached car port.

2969 Clover Street

Applicant is requesting design review changes for 1230 Sq Ft. rebuild and expansion of existing detached garage in similar location.

4 Landsdowne Lane

Applicant is requesting design review of facade changes.

2118 W Jefferson Road

Applicant is requesting design review changes for a 160 Sq Ft. Front porch with roof.

27 Northfield Gate

Applicant is requesting design review changes for a 380 Sq Ft. renovation to the rear of the home.

44 Parker Drive

Applicant is requesting design review for facade changes.

CERTIFICATES OF APPROPRIATENESS

192 Knickerbocker Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for exterior window and door changes at a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

RESIDENTIAL APPLICATIONS: NEW HOMES

2 Laguna Lane

Applicant is requesting design review for the construction of a two-story single-family home approximately 2581 square-feet.

COMMERCIAL APPLICATIONS

3400 Monroe Avenue – Dunn Tire

Applicant is requesting design review for a 36.27 Sq Ft. sign above the garage doors.

3330 Monroe Avenue - Community Bank

Applicant is requesting design review for a total of 75 Sq Ft. signage.

The next meeting is scheduled for Thursday, July 10, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
JUNE 12, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, June 12, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Dave Wigg, Paul Whitbeck, Kathleen Cristman, John Mitchell, Jim Vekasy, Bonnie Salem

ABSENT:

ALSO PRESENT: Bill Zink, Building Inspector; Anna Piazza, Building Department Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 14 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:04PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem discussed potentially designating Oak Hill Country Club as a historic landmark. She stated that the renovations at the club should not pose an issue as the criteria to designate a landmark provides more than enough room for them to move forward.

Board Member Salem informed the Board that Lock 62, which was discussed at the last meeting as a potential for landmark destination, was designated as a historic landmark in 1996. She stated that there is currently no historic marker on it but at one point there was. The Board discussed inquiring with the Town about getting a marker.

RETURNING APPLICATIONS: RESIDENTIAL RENOVATIONS & ADDITIONS

2 Charter Oaks Drive

Applicant is requesting design review changes for a 124 square-foot front porch addition and a 284 square-foot garage addition to the east side of the house.

James Gardone, of Bridgewood Design and Consulting, introduced the application. Mr. Gardone is requesting design review for changes made to a previously approved project. Mr. Gardone stated that the previously approved door was changed to a double-door and the previously approved stone for the front façade was changed to vinyl siding. He is proposing to wrap the base of the columns in stone. Mr. Gardone noted that the garage door was not changed. Chairman Schneider and Board Member Salem agreed that both changes are not detrimental to the style of the home.

Vice Chairman Wigg motioned to approve the changes to the previously approved application for a 124 square-foot front porch addition and a 284 square-foot garage addition, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS

2851 Clover Street (300 Tobey Road) – Pittsford Oaks

Applicant is requesting the review of design changes to date, the current design material, and to confirm the overall Northeast corner of the building height.

Anthony Daniele, of 2815 Clover LLC, re-introduced the application. Mr. Daniele stated that he is currently navigating the process with the Planning Board as part of his request for final site plan approval. The Planning Board is requesting the Design Review Historic Preservation Board's (DRHPB) commentary on the project. Mr. Daniele read the official comments that the DRHPB had previously sent to the Planning Board.

Mr. Daniele discussed the rendering of the proposed building seen from the corner of Clover Street and Jefferson Road. He noted the significance of this street corner due to its increased public visibility and impact. Mr. Daniele discussed the parts of the building that would be visible from that view.

Mr. Daniele referred to the Board's previous comment on the continuous ridgeline and discussed the changes made to break it up and appear less repetitive. He also stated that in response to the Board's comments he extended some recesses and removed some balconies to appear less monotonous. Additionally, Mr. Daniele stated that the height of the building was decreased for a length of 69 feet.

Mr. Daniele stated that he discussed the previously presented grading plan with Town staff and was able to come up with a plan to keep a reasonable slope and cover up most of the basement. Regarding the most recent rendering, Chairman Schneider asked the applicant what changed since the Board last saw it at the March 25, 2025 DRHPB meeting. Mr. Daniele replied that the most significant changes were the reductions to the Northeast corner. Additionally, the applicant changed the pitch of the roof, broke up the eaveline, and carried over what was done on the East corner to the West corner.

Chairman Schneider asked Dustin Welch, Architect, for clarification on where the mansard roofs were that the applicant had mentioned. Chairman Schneider stated that the roofs identified were not the requested mansard roofs, but that they were shed roofs. Chairman Schneider asked the applicant about the changes made to the Northeast corner, and Mr. Daniele stated that the dormers were removed and changed to pitched roofs.

Chairman Schneider discussed the lack of variation in the windows on the most current rendering presented today in comparison to the variation of double and triple windows on the Cloverwood project. Board Member Vekasy discussed Cloverwood's West elevation and the ways it made one building look like three different buildings. He explained that the variation from the left side to the right side makes Cloverwood's West elevation appear more broken up.

Chairman Schneider stated that the applicant has still not made the 'big moves' changes requested by the Board and that the desired impact from a reduction in massing has not yet been achieved. He stated that the Board previously requested to see mansard roofs to help with a reduction in the building's height and that this was not what was presented. He would still like a study with mansard roofs from the applicant. In comparison to the Cloverwood project approved in 2019, Chairman Schneider stated that the elevation presented at this meeting has significantly less variation and does not look similar. Additionally, Chairman Schneider prefers the building angled as it helps it appear more broken up. Mr. Koegel clarified to the Board that the Cloverwood project was approved on May 18, 2019.

Board Member Vekasy explained that the applicant's proposed building has one long 'leg', whereas the Cloverwood building had two long legs and one short leg in the middle, which significantly helped in terms of its appearance. He added that the applicant's previous rendering had numerous 'skinny' (single) pieces and while the variation of singles and doubles presented tonight definitely helps to break it up, there is still a lot of mass.

Mr. Koegel explained that the Planning Board would like the DRHPB's reaction to the applicant's submission, if it is sufficient, and if it is not sufficient, why. Mr. Koegel asked all Board Members to give commentary for the Planning Board.

Board Member Whitbeck discussed the historic function and responsibility of this Board to preserve the historic home that is adjacent to the proposed building. Board Member Mitchell agreed and discussed whether the large size of the building would destroy the historic home. Board Member Mitchell agrees with Chairman Schneider that the roofs presented are not mansard roofs, which were suggested to help reduce the roofline. Board Member Vekasy stated that he recognizes and appreciates the evolution of changes of the proposed building. Chairman Schneider stated that the massing and continuous ridgeline remain an issue and explained that there are better moves the applicant could have made rather than adding shed roofs. There are areas where the applicant could reduce the third floor and could even be reduced closer to where the historic home is located. Chairman Schneider believes there are still one or two areas that need a large reduction in mass. Board Member Salem stated that the mass is still there and believes the elevations presented are big and boxy. She explained that the Board has given many options to the applicant and believes there are ideas that could be pulled from the Cloverwood elevations and used to reduce the mass. She agrees with the comments made earlier about the significance of the historic home nearby and the importance of its preservation. Board Member Salem does not feel as though the application is there yet. Board Member Cristman agrees that the mass and continuous ridgeline are still an issue, however she appreciates that the corner of the building was brought down by Clover Street and Jefferson Road. Vice Chairman Wigg discussed the plates on the building and stated that Cloverwood had put more creativity into the roof.

MEETING MINUTES REVIEW

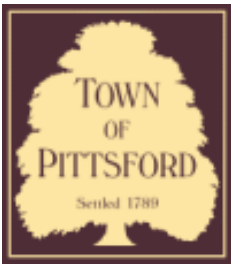
The minutes of May 22, 2025 were approved following a motion by Board Member Salem. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Schneider closed the meeting at 7:36PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA25-000093

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 2534 Clover Street ROCHESTER, NY 14618
Tax ID Number: 150.08-1-76
Zoning District: RN Residential Neighborhood
Owner: Silver, Howard
Applicant: Webster Home Improvement Inc.

Application Type:

- ☒

Residential Design Review
§185-205 (B)
- ☐

Commercial Design Review
§185-205 (B)
- ☐

Signage
§185-205 (C)
- ☐

Certificate of Appropriateness
§185-197
- ☐

Landmark Designation
§185-195 (2)
- ☐

Informal Review
- ☐

Build to Line Adjustment
§185-17 (B) (2)
- ☐

Building Height Above 30 Feet
§185-17 (M)
- ☐

Corner Lot Orientation
§185-17 (K) (3)
- ☐

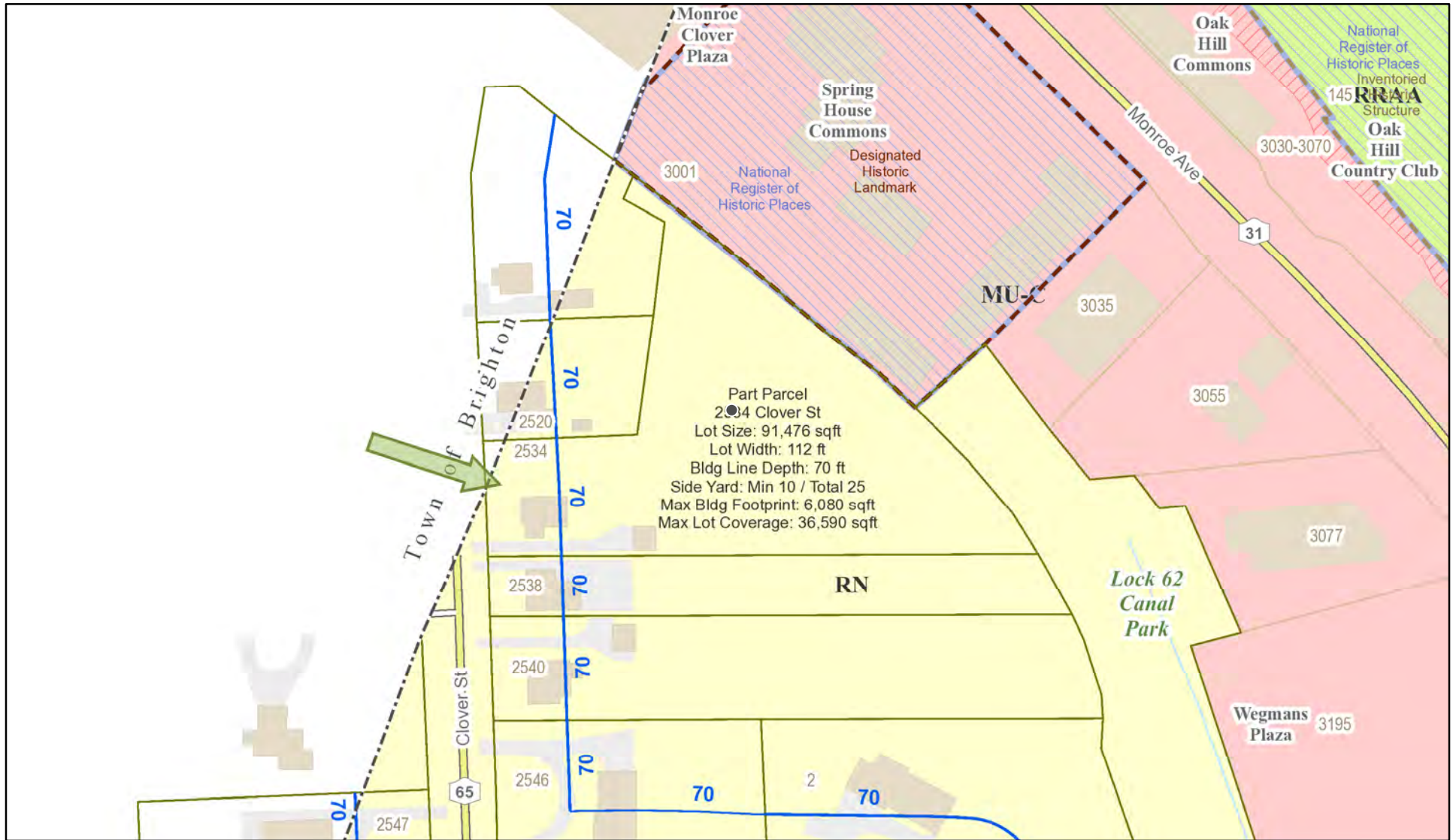
Flag Lot Building Line Location
§185-17 (L) (1) (c)
- ☐

Undeveloped Flag Lot Requirements
§185-17 (L) (2)

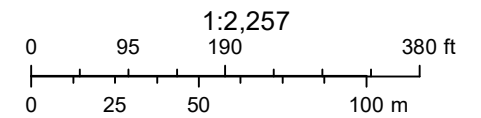
Project Description: Applicant is requesting design review changes for a 960 Sq Ft. new two car garage with attached car port.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning



Printed June 18, 2025



Town of Pittsford GIS

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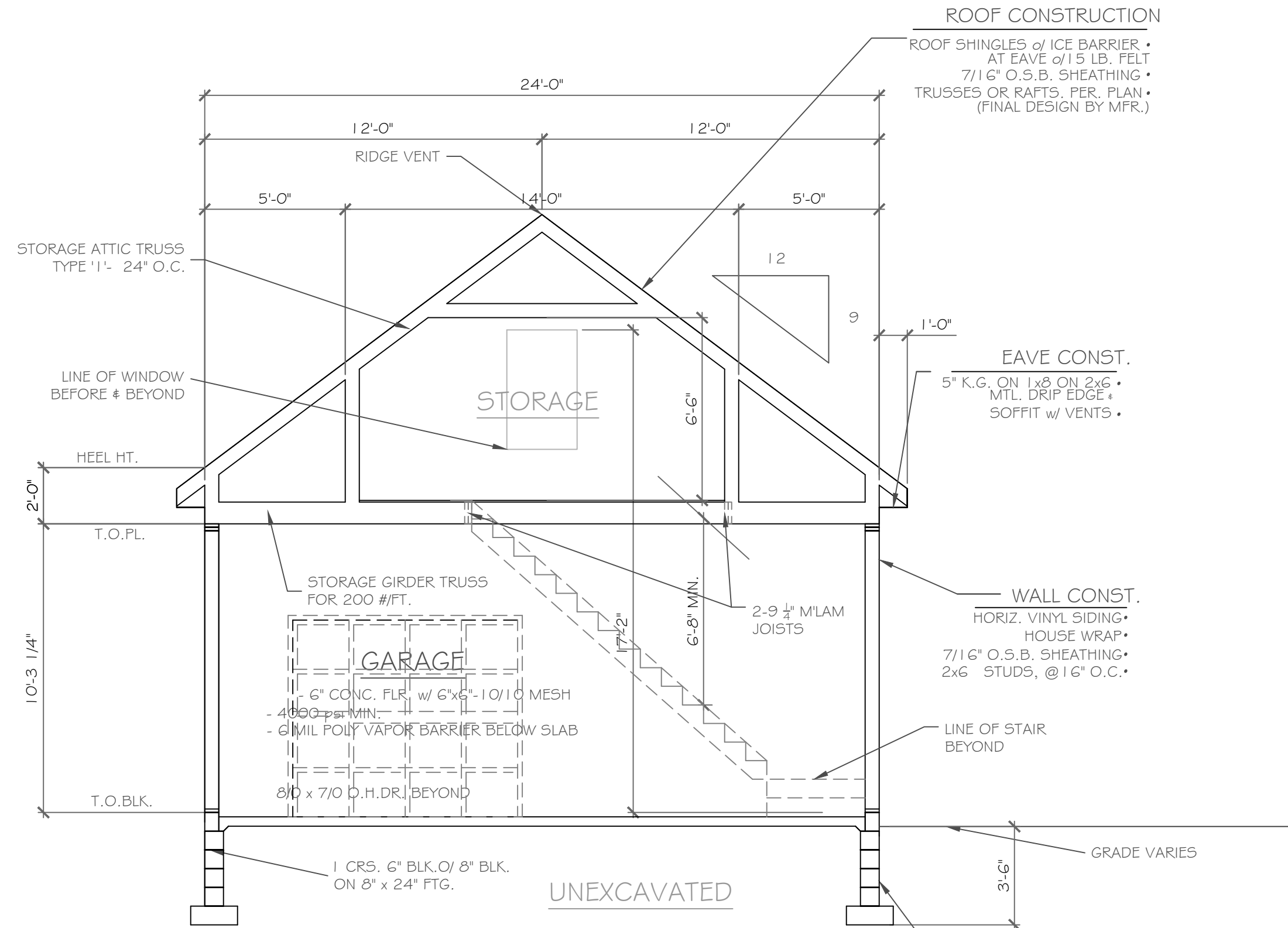
None

2520

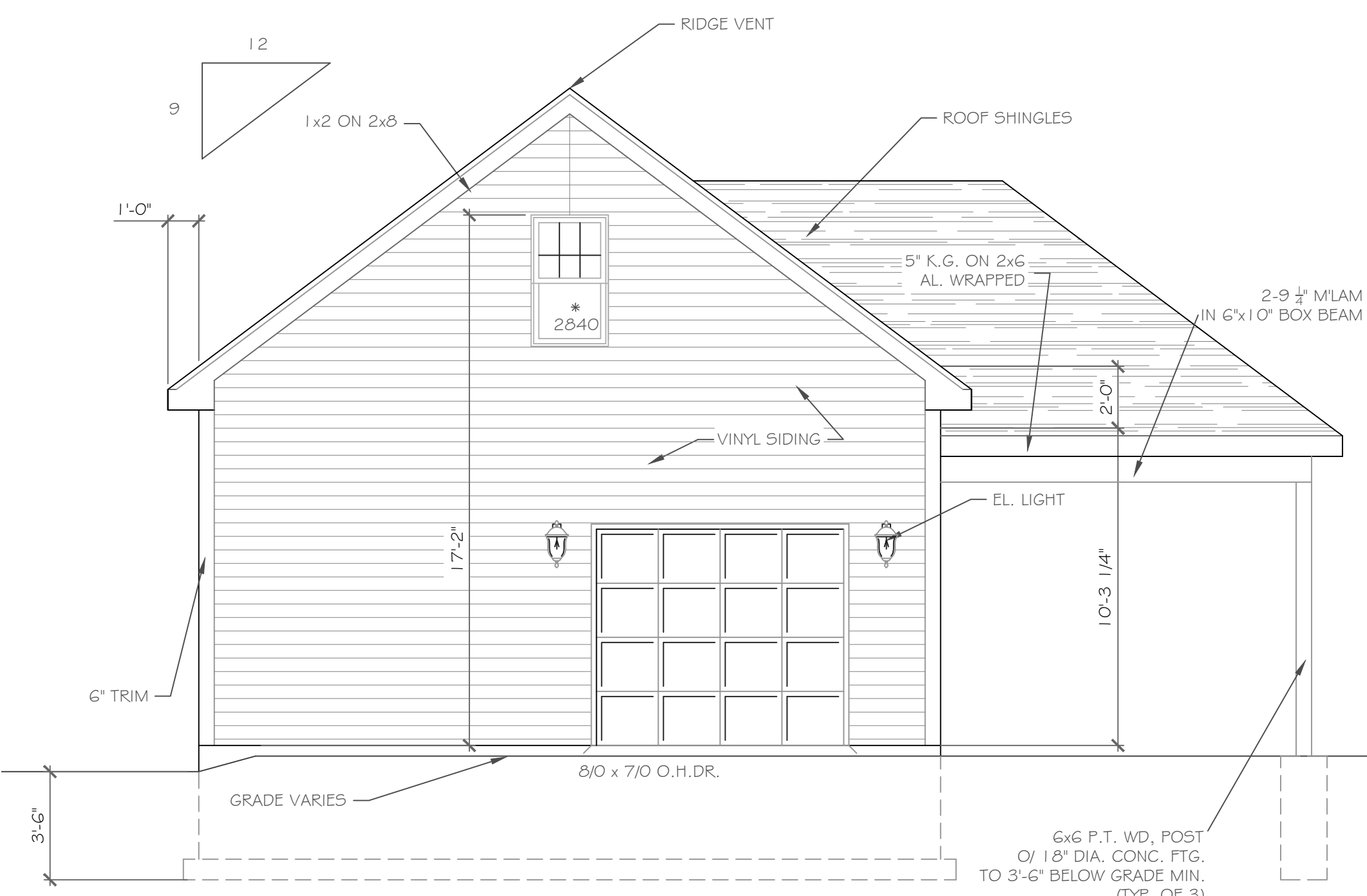
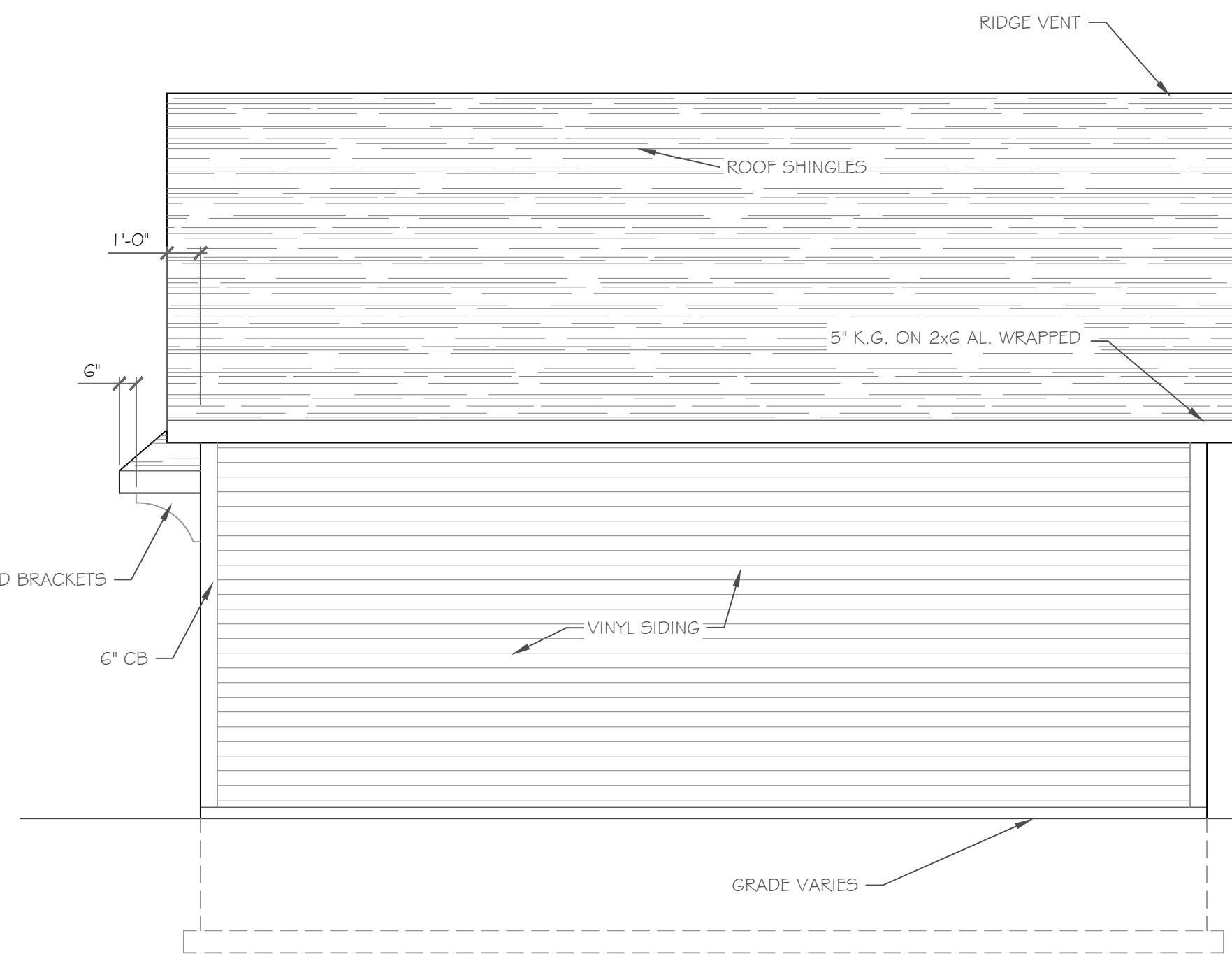
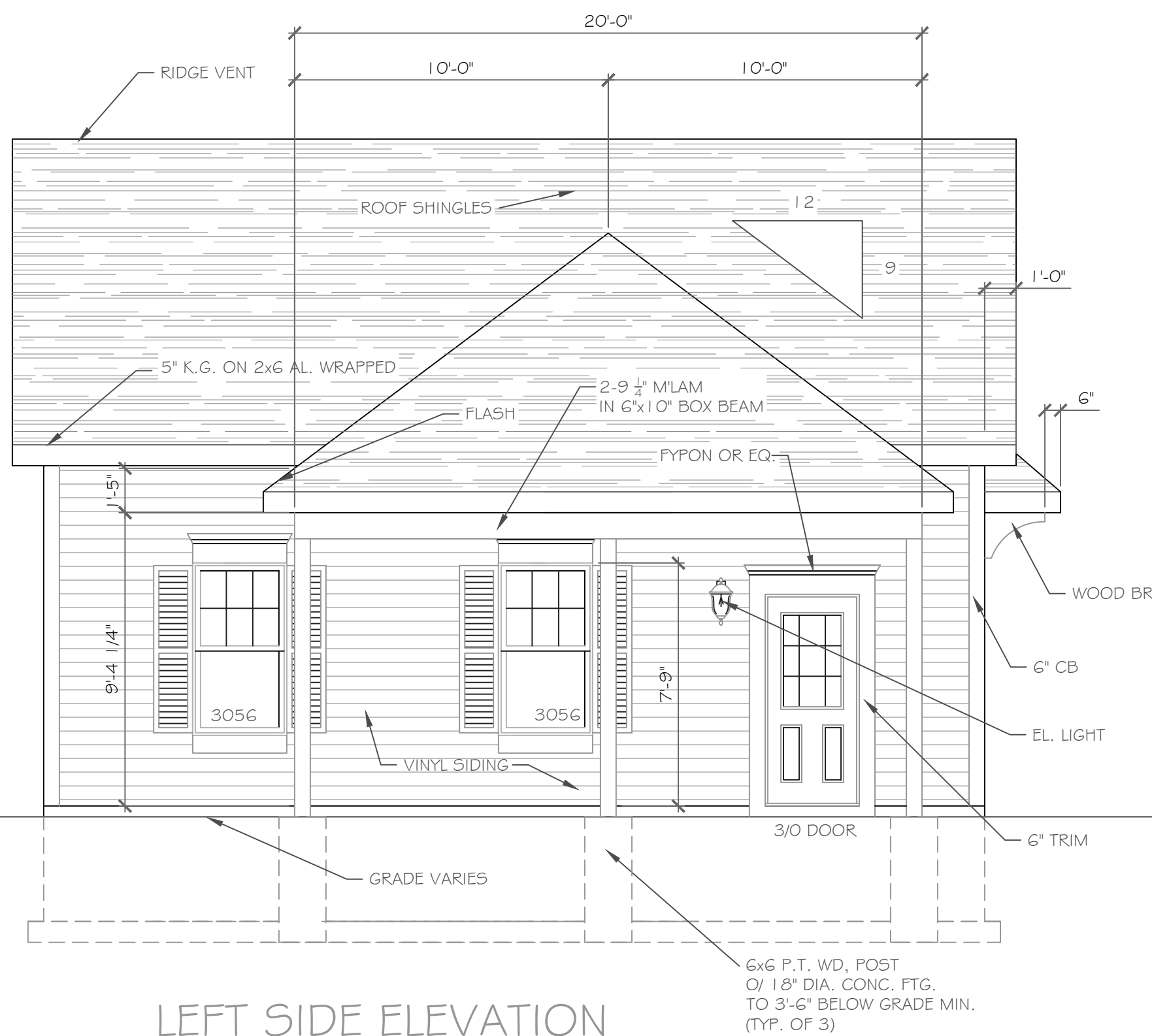
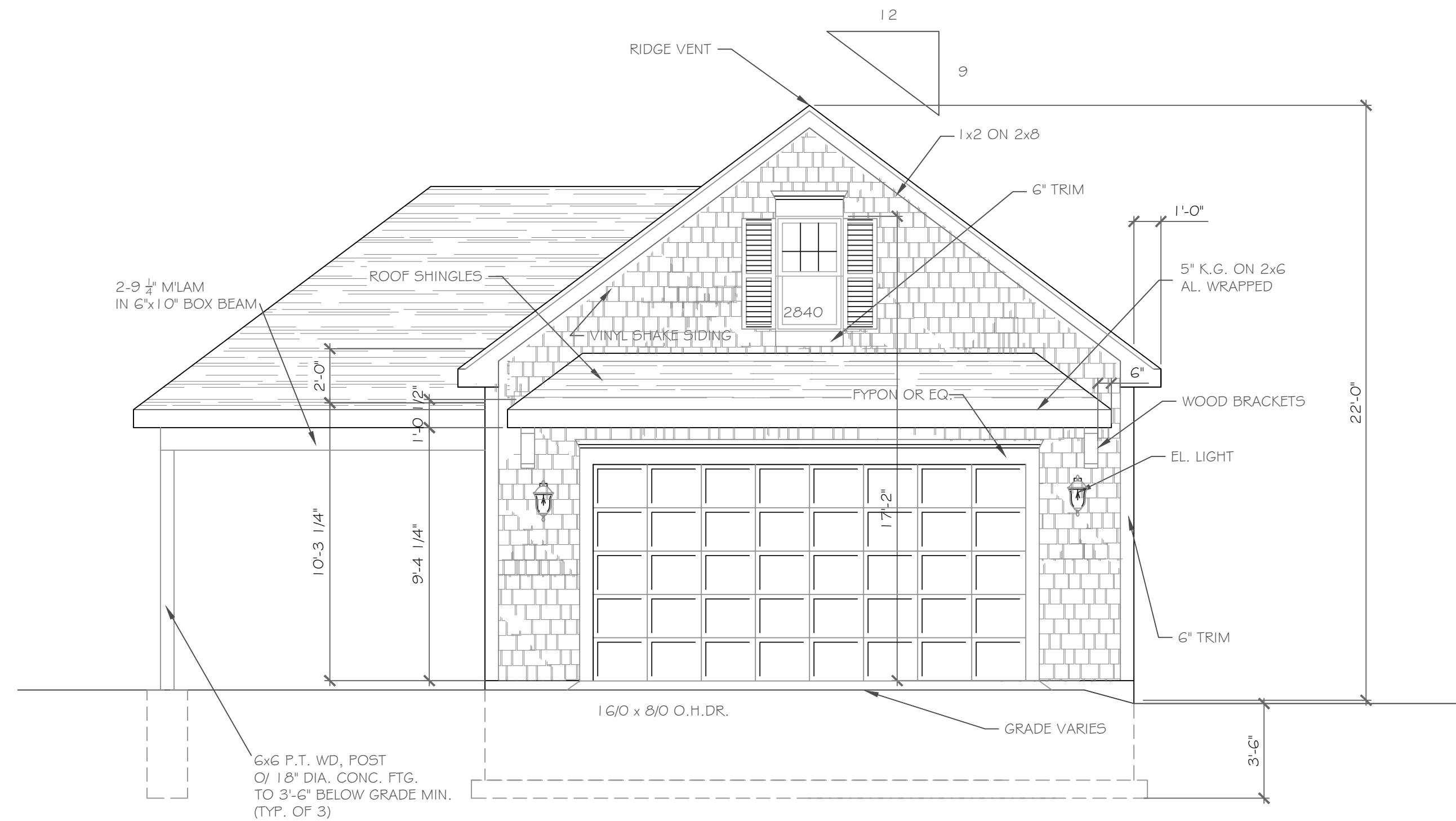
2534

2538

2540



A CROSS SECTION
1/4" = 1'-0"



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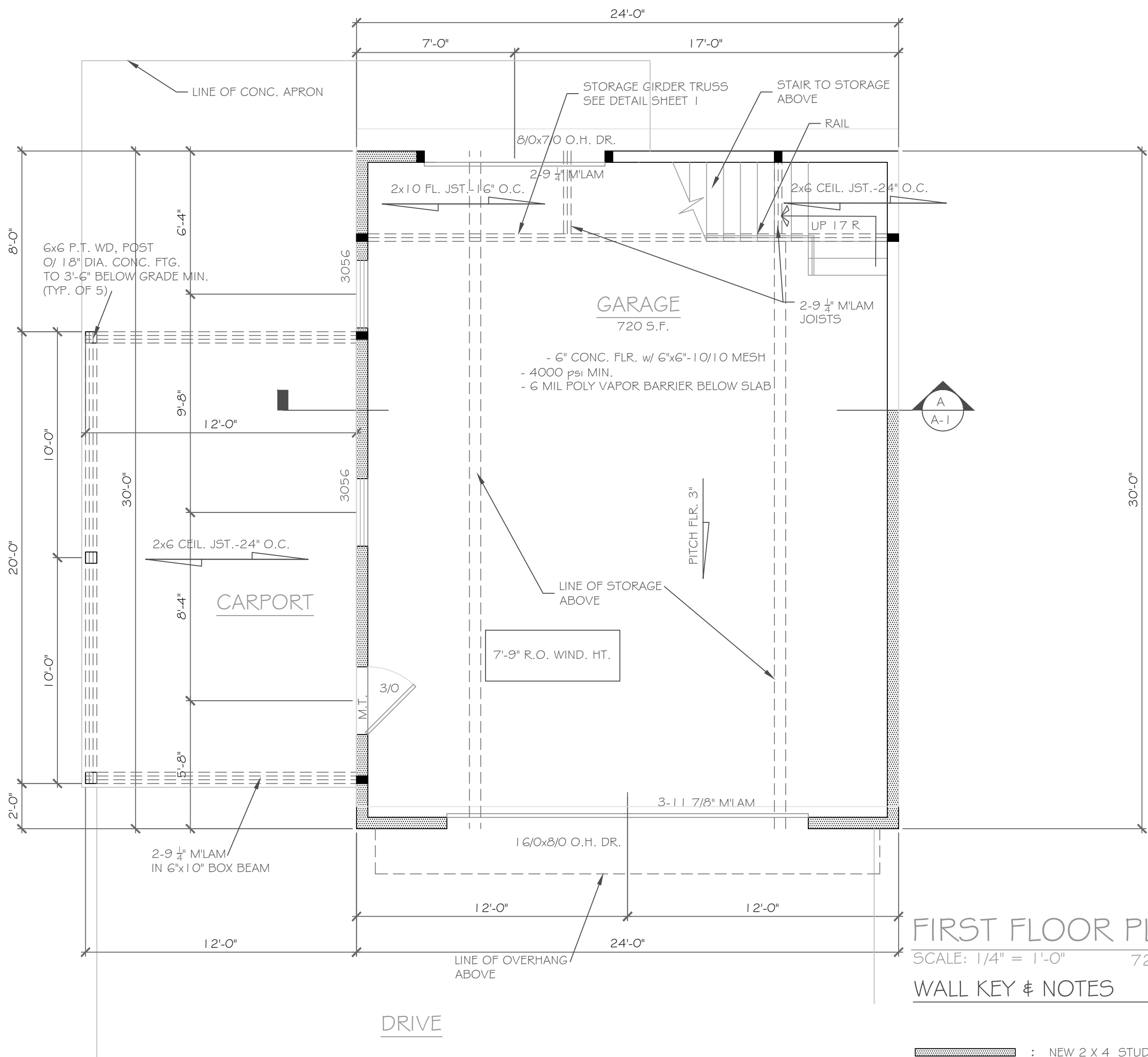
REVISIONS:	
NO.	DESCRIPTION

DRAWING TITLE:	
Elevations & Section	
PHASE: Construction Documents	

PROJECT- ADDITIONS TO: 2534 Clover Street Pittsford, New York	CLIENT- Howard Silver	JOB NO.- A16-025	DATE- December 4, 2024
		PHASE- Construction Documents	

CKH
architecture
6605 Pittsford Palmyra Road
Suite W3
Pittsford, New York 14450
phone (585) 240-1134
e-mail: CKH@ckhny.com

DRAWING NO. -
A-1



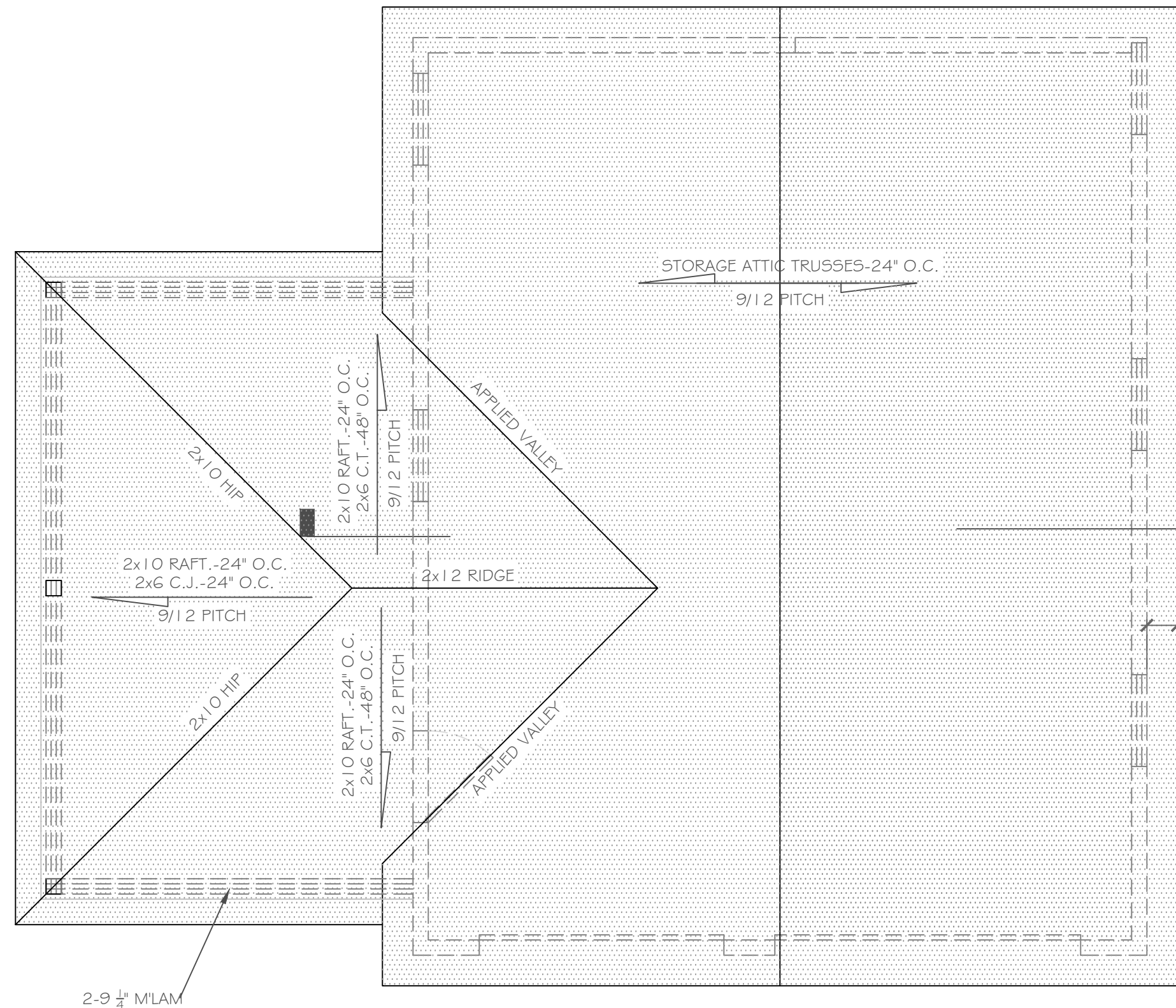
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" 720 S.F.(GARAGE ADDITION)

WALL KEY & NOTES

- NEW 2 x 4 STUDS @ 16" O.C.
ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)

G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■
WINDOW R.O. HTS. TO BE AS NOTED
CLG. HTS. TO BE AS NOTED
ALL ANGLES TO BE 12/12 U.O.N.
REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
⑤ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
PER SECTION R310 OF THE RES. CODE OF NYS
★ : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
REFER TO MFR. SPECS FOR DRILLING HOLES IN TJI FLOOR JOISTS



ROOF PLAN

SCALE: 1/4" = 1'-0"

- NOTE:
ALL SOFFITS TO BE 1'-0" U.O.N. (UNLESS OTHERWISE NOTED)
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.)
@ ALL BRG. POINTS: ■
PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A
POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.
TRUSS TYPE AND LOCATIONS ARE SUGGESTED. FINAL TRUSS LAYOUT AND
DESIGN BY TRUSS MFR.

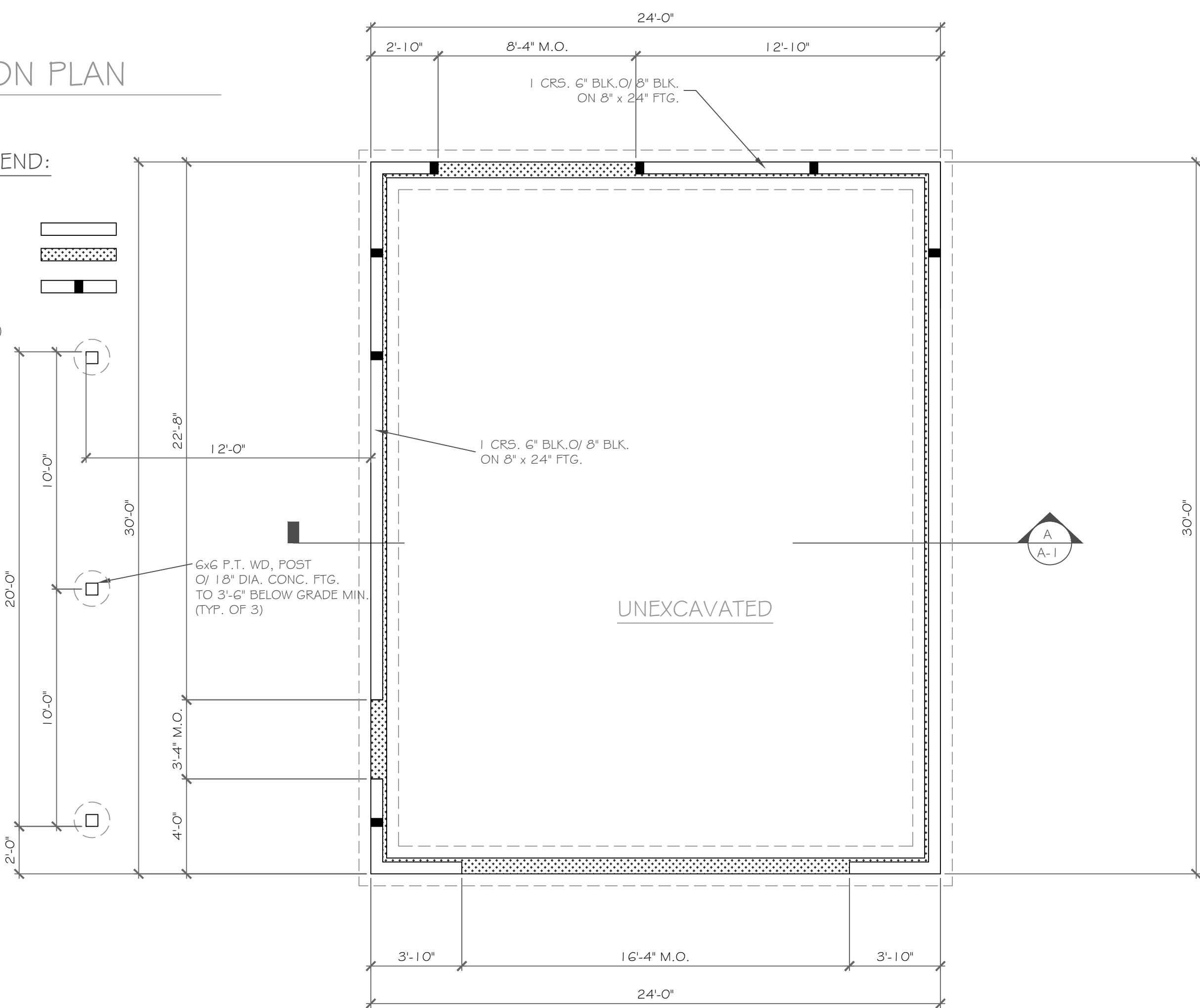
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CONC. BLK. LEGEND:

- NEW C.M.U.-ELEV. = 0"
NEW C.M.U.-ELEV. = -8"

BRG. POINT ABV.
W/ FULL SUPPORT
TO SOLID BEARING OR
MASONRY (GROUT SOLID)



DEMOLITION NOTES:

- It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned piping. Cap at nearest active main or riser.
- Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- Storage for contractor's equipment and debris must be kept inside the contract area.
- Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

CONSTRUCTION NOTES:

- Construction shall conform to the residential code of New York State.
- Comply with all local, state and federal codes and regulations.
- General Contractor is responsible for all materials, construction methods and craftsmanship.
- General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
- Contractor's are responsible for coordinating work with other trades wherever they overlap.
- When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
- All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- All dimensions are face of wall to face of wall (rough).
- Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
- No site visits will be made by the Architect. Contractor shall assume all responsibility for changes to these drawings.
- Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
- Call UFTO before you dig. 1-800-962-7962
- All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
- Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
- Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
- To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
- These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

REVISIONS:-

NO.	DATE	DESCRIPTION

DRAWING TITLE:-	FOUNDATION PLAN, FIRST FLOOR PLAN, & ROOF PLAN
PROJECT:-	ADDITIONS TO: 2534 CLOVER STREET PITTSFORD, NEW YORK
CLIENT:-	HOWARD SILVER
JOB NO.:-	ALG-025
DATE:-	DECEMBER 4, 2024
PHASE:-	CONSTRUCTION DOCUMENTS

CKH
architecture
6605 Pittsford Palmyra Road
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e-mail-CKHennessey@frontiernet.net

DRAWING NO.:-

A-2

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GENERAL CONSTRUCTION NOTES:

1. Construction shall conform to the latest edition of the Residential Code and Energy Conservation Construction Code of New York State, with possible modifications by local code administration.
2. The Contractor shall comply with all applicable Building, Electrical, Mechanical, Sanitary and Energy Codes (local, state, and federal).
3. Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the latest edition of the Residential Code of New York State.
4. In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.
5. The Contractor shall be responsible for all construction means, methods, techniques, sequences, and safety precautions in connection with the work.
6. The Contractor shall verify all existing conditions, requirements, notes, and dimensions shown on Drawings or noted in Specifications. Any variances within Drawings and Specifications, or with conditions encountered at job site, shall be reported to Owner/Architect in writing before commencement of any work effected by such variance.
7. The Contractor shall rigidly adhere to all laws, codes, and ordinances which apply to this work. He shall notify and receive clarification from Owner/Architect in writing of any variances between contract documents and governing regulations.
8. The Contractor shall bring errors and omissions which may occur in Contract Documents to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the results of any errors, discrepancies, or omissions in the Contract Documents, of which the Contractor failed to notify the Architect before construction and/or fabrication of the work.
9. The Contractor shall be responsible for adapting these plans, if required, to suit the needs of the building on the site provided that the alterations do not violate the code or alter the structural integrity of the building. The Contractor shall make no structural changes without written approval of the Architect.

10. No site visits will be made by this Architect. Contractor shall assume all responsibility for changes to these drawings and specifications.
11. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals which meet applicable standards and specifications may be used.
12. Construction loads shall not overload structure nor shall they be in excess of design loadings indicated herein.
- A. Provide temporary bracing, shoring, guying, or other means to avoid excessive stresses and to hold structural elements in place during construction.
- B. Construction materials shall be spread out if placed on framed floors or roof. Loads shall not exceed the design live load per square foot.
13. Due to revisions made during the development of these drawings, they may not reflect the dimensions noted. Do not scale the drawings.
14. Call UFPO before you dig. 1-800-962-7962.
15. All dimensions are face of wall to face of wall (rough).
16. Contractors' are responsible for coordinating work with other trades wherever they overlap.
17. All details are subject to change due to existing field conditions. Contractors' must notify Owner/Architect of same.
18. Interior and exterior finish material selection (including, but not limited to, siding, roofing, wall, floor and ceiling finishes) by Owner and Contractor unless otherwise specified.
19. All subcontractors shall leave extra materials for patching and/or repair of all interior and exterior finish materials including, but not limited to, flooring, wall coverings, roofing, siding, etc. Coordinate exact list and quantity of materials required with owner.

20. Design of electric, plumbing, and HVAC systems by other consultants or contractors. Verify municipal requirements and location of existing utilities/services prior to construction. The Contractor shall be responsible for compliance with the Energy Conservation Construction Code for all HVAC equipment, and controls, Water heating equipment, pipe and duct insulation and fluorescent lamps and ballasts.
21. Where reference is made to various test standards for materials, such standards shall be the latest edition or addendum.
22. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope of the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction. No adjustment will be made to the contract sum or time of completion for failure to include any portion of the work where such inclusion may be reasonably inferred from the contract documents.

SITE WORK:

1. Site work shall include all site demolition, cleaning, excavation, filling, grading, drainage, and related items necessary to complete the work indicated on drawings.
2. Contractor shall investigate site during cleaning and earthwork operations for filled excavations or buried structures such as cess pools, cisterns, foundations, etc. If any such items are found, Owner/Architect shall be notified immediately.
3. Before commencing construction or excavation activities at the site, Contractor shall obtain geotechnical assistance of a registered soils testing laboratory. Testing laboratory shall make necessary borings, tests, and analysis of soils at locations and elevations pertinent to the project of preparations of a soils test and recommendations report.
4. It is assumed that the subsurface conditions will be earth or soil. If bedrock is encountered, removal will be considered an addition to the contract.
5. Contractor shall extend asphalt driveway and parking area to new addition. Driveway construction shall be in accordance with generally accepted industry standards.

CONCRETE:

1. GENERAL:
- A. Footings may be poured neat against sides of excavations only if sloughing or raveling does not occur.
- B. Contractor shall be responsible for support of all temporary embankments and excavations.
2. STRUCTURAL BACKFILL:
- A. Structural backfill of well graded sand and gravel or crusher run stone shall be placed in 6-inch maximum lifts and compacted to a minimum density of 95% (under slabs-on-grade and building structure) and 90% (elsewhere) of maximum density at optimum moisture content as determined by ASTM D698.

CONCRETE: (Cont.)

- B. Backfill shall be free of excessive vegetation, debris or other deleterious materials and contain no particles larger than 3-inches in diameter and no more than 10% passing the #200 sieve.
- C. Backfill shall not be placed against basement retaining walls until (1.) Concrete or masonry grout has reached its specified 28 days strength, and (2.) Structural floor framing (including plywood subfloor) required to stabilize walls is complete and fully nailed and anchored.
3. FOOTINGS:
- A. Footings shown on drawings are sized for building design loads and an assumed soil bearing capacity of 1,500 psf. Verify actual soil bearing capacity on site and notify Owner/Architect in writing if less than 1,500 psf.
- B. Footings shall be placed at a minimum depth of 42-inches below adjacent finished grade unless otherwise specified on the Contract Documents.
- C. Final 3-inches of excavation shall be removed by hand tool operations in order to assure undisturbed bearing surfaces.
- D. Footings shall be founded on firm, undisturbed, native soils free of frost and loose material. Footings may bear on properly engineered backfill provided settlement and/or consolidation tests performed indicate anticipated settlement will not exceed that allowed for the proposed structure. Conditions found to be otherwise shall be reported to Owner/Architect.
- E. Bottom surface of footings shall not slope more than 1:0 vertical to 10:0 horizontal, except as shown otherwise of drawings.
- F. No excavation shall be made lower and closer to any footing than 1:0 vertical to 3:0 horizontal, except as shown on drawings.
- G. Footings and slabs-on-grade shall not be placed on muddy or frozen ground. Sub-grade for slabs-on-grade where vapor barrier is not required shall be damp at time of concrete placement.

4. CONCRETE:

- A. All reinforced concrete shall be furnished and installed in accordance with the current ACI-318 "Building Code Requirements For Reinforced Concrete".
- B. Concrete shall meet the requirements of ACI 301-72 with type II cement. Minimum 28 days compressive strength of 2,500 psi (footings) and/or 3,500 psi (slabs), unless otherwise specified. Max. slump 4 1/2" as determined by ASTM C143.
- C. In on-grade concrete slabs the welded wire fabric reinforcement (when required) shall be located midway in the slab thickness.
- D. All exterior concrete to be air-entrained.
- E. Provide concrete reinforcing bars at footing locations where soil is engineered fill. Bars shall be 2-#4, at the bottom with a minimum of 3" concrete cover, unless noted otherwise. Concrete reinforcing bars are not required at footings bearing on undisturbed soil with a bearing capacity of 2500 psf unless noted otherwise on the drawings.
- F. Provisions must be taken to protect all concrete work from frost damage with special attention paid to footings and other on-grade construction prior to backfilling and enclosing the building.
- G. Anchor bolts shall conform to ASTM A-307 and shall be 1/2" diameter minimum and 10" long. Placement of anchor bolts shall be: 12" from plate end, 6"-0" O.C. maximum intermediate spacing, minimum 2 bolts per bearing plate section.
- H. Provide 6 mil polyethylene vapor barrier membrane complying with ASTM D 2103 where indicated on drawings.

5. MILD STEEL REINFORCEMENT FOR CONCRETE AND MASONRY:

- A. Mild steel reinforcement for concrete and masonry construction shall conform to ASTM-A615 Grade 40. Ties, stirrups, and hoops shall conform to ASTM A615-B7, Grade 40.
- B. Welded wire fabric shall conform to ASTM A185 in as long lengths as practical.
- C. PLACING:
1. Reinforcement shall be accurately placed and adequately supported by concrete, metal, or other approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement. Tack welding is not allowed.
2. Except where shown otherwise on structural drawings, reinforcement in concrete shall have concrete cover as follows:
- a. Concrete deposited against earth. 3"
- b. Formed concrete against earth. 2"
- c. Exterior faces of walls. 2"
- d. Interior faces of walls. 3/4"
- e. To top of slabs-on-grade. 3/4"

MASONRY:

1. Concrete block psi conform to ASTM C90, N - 1. All units shall be 2 core, normal weight.
2. Wall reinforcing shall conform to ASTM A82.
3. All mortar shall conform to ASTM C270, Type S with a minimum compressive strength of 1,800 PSI @28 days - 1 part portland cement, 1/4 part lime and 3 parts sand.
4. Grout for filling cmu cores shall conform to ASTM C476, coarse grout, with a minimum compressive strength of 2,500 PSI @ 28 days. Grout shall be placed in lifts not exceeding 4'-0" in height.
5. All masonry walls shall be laid in running bond.
6. All masonry walls shall be reinforced with 9 gauge horizontal truss-type wire reinforcing, placed in every second bed joint, unless otherwise noted.
7. Cold weather masonry practices shall be followed in accordance with ACI 530/ ASCE 6.

STEEL:

1. Provide steel beams, columns, plates, lintels, anchors and ties for the building structure and as part of the concrete and masonry work as shown on the drawings and required for complete installation of work.

STEEL: (Cont.)

2. Products:
- A. Steel Plates, Shapes and Bars - ASTM A 36
- B. Steel Pipe - ASTM A 53, Type E or S, Grade B. Steel columns shall be 1 1/2 gauge tubing with a 1/20 wall thickness and a minimum yield strength of 32,000 psi, unless otherwise indicated
- C. Fasteners - High-strength bolts and nuts, ASTM A 325 or A 490.
- D. Shop Paint - 55PC-Paint 2
3. Fabrication and installation per the latest edition of the AISC Manual and Specifications.
4. Use high-strength bolts for field connections. Wood plates bearing upon steel beams shall be bolted to the top flange of beams with ASTM A325 compliant High Strength 1/2" bolts @ 4'-0" O.C. All steel to steel bolted connections shall be made with 3/4" diameter ASTM 325 High Strength Bolts. Steel beams shall be bolted or welded to steel columns with appropriate size plate (3/8" min.).
5. All structural steew 'W' shapes shall conform to ASTM A992 or A572. Tube shapes shall conform to ASTM A500 GR 'B'.
6. All welds shall be made in accordance with the latest requirements of the AWS, using E70 electrodes. Provide field touch-up paint to match shop applied primer where paint has been burned off.

WOOD:

1. MATERIALS:
- A. All woods and wood construction shall comply with specifications and codes with modifications as specified herein:
1. American Institute of Timber Construction: (Standards Manual).
2. National Forest Products Association: National Design Specifications for Wood Construction.
3. Southern Pine Inspection Bureau: Standard grading rules for Southern Pine Lumber.
4. Truss Plate Institute: Design Specifications for Light Metal Plate Connected Wood Trusses (TPI-71).
5. American Plywood Association: Guide to plywood for floors, plywood sheathings for walls and roofs.
6. American Wood-Preservers Association Standards.
- B. All structural lumber shall be Hem-Fir #2 (minimum) stress grade lumber unless noted otherwise. Minimum Fiber Stress in Bending (FB) for all framing lumber to be 1,150 psi.
- C. All structural lumber shall be stamped in accordance with the American Institute of Timber Construction's "Construction Manual".
- D. Grade loss resulting from effects of weathering, handling, storage, resawing or drying lengths will be cause for rejection.
- E. All plywood shall be identified by grade mark of an approved inspection agency and shall be Standard C-D, Flat Interior with ext. glue unless otherwise specified on Drawings.
- F. Wood which is in contact with concrete, masonry, soil or within 1'-0" of grade or exposed to the exterior shall be pressure preservative treated.

- G. All headers shall be as follows unless otherwise noted. Provide (1) 1/2" plywood gusset at 2 x 4 walls and (2) 1/2" plywood gussets @ 2 x 6 walls. All headers to be glued and nailed
- | Opening Size
up to 4'-0" | Header (2 x 4 Wall)
2 - 2 x 8
4'-0" to 6'-0"
6'-0" to 9'-0" | Header (2 x 6 Wall)
3 - 2 x 8
3 - 2 x 10
3 - 2 x 12 |
|-----------------------------|--|--|
| | | |
- H. Locate double floor joist under all interior partitions running parallel to framing under plumbing fixtures and at floor openings. Provide 1 x 3 cross bridging at all floor joist and spans.
- I. Design of wood trusses by others. Manufacturer to have truss design reviewed and certified by an Architect or Professional Engineer licensed in the state of New York prior to fabrication. See Truss Manufacturers specification for details.
- J. Roof sheathing shall be APA rated 32 1/16", with minimum thickness of 1 5/32". Plywood shall be exterior grade. Panel clips shall be provided at all non-supported edges. Nailings shall be 6D nails at 6" O.C. at edges and 12" O.C. at interior supports.

- K. Wall sheathing shall be APA rated 1 5/32" (minimum). Nailings shall be 6D nails @ 6" O.C. at edges and 12" O.C. at interior supports.
- L. Floor sheathing shall be APA rated Sturd-I-Floor, T/G, 16" O.C., 21 / 32 (minimum) capable of supporting a minimum load of 85 PSF with a deflection limit of L / 360 of the span. Plywood shall be glued and nailed, 8D nails @ 12" O.C. at each support (unless the nailing pattern is otherwise noted on the drawings)
- M. Laminated veneer lumber (L.V.L.) shall be an engineered wood product as manufactured by Truss Joist MacMillan or equal. The material shall meet the following properties: Fb=2600 psi; Fv=285psi; E=1,900,000 psi
- N. Multiple piece LVL beams shall be nailed together in accordance with the manufacturers recommended nailing detail. All LVL beams shall have 3" bearing unless otherwise noted.
- O. Joist hangers for LVL members shall be those specifically manufactured for the type and size of member.

2. CONNECTIONS:

- A. Nailing:
1. Contractor shall adhere to standard industry practices regarding the number and type of fasteners required at each connection including, but not limited to, joists, studs, plates, blocking, bridging, laminated beams, headers and plywood sheathing.
- C. All manufactured connection hardware designated on Drawings shall be galvanized steel or at least 1/6 gauge thickness. Install full nailed in strict conformance to manufacturer's instructions.
- D. All steel connections assemblies detailed on Drawings shall be fabricated from ASTM A36 steel in conformance with applicable requirements of AISC "Specification for the Design, Fabrication, and Erection of Structural Steel for Buildings". Welding shall conform to AWS D1.1-86.
- E. Install lag screws in drilled lead holes with a diameter equal to 3/4 of the shank diameter (lag screws shall not be hammered in). Wax or soap lag screws. Provide washers under heads bearing on wood. Holes shall be properly aligned.
- F. Bolt holes shall be drilled 1/16" larger than bolt diameter. Provide washers under all bolt heads and nuts bearing on wood. Holes shall be properly aligned.
- G. In no case shall misalignment be allowed which prevents proper bearing or alignment of members. Oversize holes shall not be allowed. Bolts shall be ASTM A307 bolts. Nuts shall be tightened snug.

WOOD: (CONT.)

3. INSTALLATIONS:
- A. All stud walls shown on Drawings shall have 2 x 4 studs (interior and exterior) placed at 16" O.C. except where shown otherwise.
- B. Top plates shall be doubled on all stud walls.
- C. Cnpples under headers shall be continuous to sole plate.
- D. Block all stud walls as required for sheathing.
- E. Beams, girders, and joists supporting bearing walls or other concentrated loads, shall not be notched. Joists, except as above, may be notched no deeper than 1/4 the depth, at top edge only, provided such notch is located within 1/8 to 1/4 of span from face of support. Sawcuts for notches shall not overrun depth of notch. Holes in joists, beams, and girders shall not be larger in diameter than 1/10 the depth of member and shall be located within center half of the span. All holes shall be centered within depth of member. Holes and notches in studs shall be located within 1/3 of height from either top or bottom, but no closer than 8" from plates. Holes and notches in studs shall not exceed 1" in diameter or depth.
- F. Contractor shall pay strict adherence to Microlam manufacturers written directions for cutting, drilling, notching, joining and general installation of their products.
- G. Joists, rafters, and decking shall not be cut and headed or displaced to provide for openings in roofs or floors, except as detailed on Drawings.
- H. Install all horizontal members with crown up.
- I. All members in bearing shall be accurately cut and aligned so that full bearing is provided without use of shims. Bearing posts shall have full blocking or support under.
- J. All rafters shall be notched for full bearing at all supports.
- K. All joists shall have a minimum of 2" bearing at supports.
- L. All plywood wall sheathing shall be applied as follows: center vertical joints over studs. Nail top of panels to double top plate, and nail bottom of panels to anchored sill plate. Apply gypsum board so that end joints of adjacent courses do not occur over the same stud.
- M. Plywood sub-floor and roof sheathing: Install with face grain at right angles to supports, continuous over two (2) or more spans. Allow minimum space 1/16" between end joints and 1/8" at edge joints for expansion and contraction of panels. Plywood decking shall also be continuously glued and nailed to all joists, rafters or trusses.
- N. Underlayment shall not be less than 1/4" in thickness and shall be identified by grade mark of an approved inspection agency. Underlayment shall be installed in accordance with code and as recommended by manufacturer. Lay underlayment on #6 Rosin sized sheathing paper.

THERMAL & MOISTURE PROTECTION

1. The following specification shall govern with modifications as specified herein: American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals.
2. Install flashing and sheet metal in compliance with "Architectural Sheet Metal Manual" by SMACNA.
3. Aluminum flashing shall conform to ASTM B 209, and be minimum 0.016" thick standard building sheet of plain finish. Provide 6" x 8" min. at all step flashing.
4. Backpaint flashings with bituminous paint, where expected to be in contact with cementitious materials or dissimilar metals.
5. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight/weatherproof performance.
6. Vinyl siding shall be installed according to manufacturer's printed instructions and shall include all accessories required for a complete installation. Manufacturer, style and color as selected by Owner.
7. Roof valley and eave flashing shall be provided of not less than 36" wide rolled material and shall extend at least 18" from the center line each way and shall have the flow line formed as part of the flashing. Sections of flashing shall have an end lap of not less than 4".

- A. Warm areas: Ice and Water Shield at all edge and valley conditions to 24" inside "heated wall".
- B. Cold areas: 90 lbs. (min.) unperforated asphalt felt.
- C. All other areas: 15 lb. (min.) unperforated asphalt felt.
8. Asphalt shingles (25 years) shall be fastened according to manufacturer's printed instructions, but not less than two (2) nails per each shingle. Exposure 5" for 16" shingle, 5 1/2" for 18" shingle, and 7 1/2" for 24" shingles. Provide one layer of 15 lb. (min.) building felt under shingles unless noted otherwise. Manufacturer, style and color as selected by Owner.
9. Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain. The net free ventilating areas shall be not less than 2/3 of one percent (1%) of the horizontally projected roof area, or 1/3 of one percent (1%) if at least fifty percent (50%) of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. Provide continuous shingled ridge vents installed to manufacturers printed instructions. Manufacturer, style and color as selected by Owner.

10. Provide and install 9-1/2" thick kraft faced glass fiber batt insulation with an insulation-only value of R-30 in roof or ceiling and 3 1/2" thick kraft faced glass fiber batt insulation with an insulation-only value of R-15 in 2 x 4 exterior walls of heated space.
11. Provide and install batt insulation at window shim spaces.

12. Fit insulation tight within spaces and tight to and behind mechanical and electrical services within the plane of insulation. Leave no gaps or voids.

13. Provide and install a 6 mil polyethylene vapor barrier complying with AS17 D2103 at exterior walls, windows and doors of all heated spaces. Equal to Tyvek "House Wrap".

14. Caulk in joints around openings to provide a watertight and airtight seal. Clean joints thoroughly. Areas adjacent to joints shall be masked if necessary to obtain a neat sealer line, free of stains on adjacent surfaces. Joints greater than 3/8" in depth shall be filled with back-up material.

15. All locations indicated on Drawings and wherever air, water, or dust may infiltrate between construction members shall be caulked. Set exterior edges of all exterior thresholds in caulking to provide weather tight seal.

16. Provide seamless 5" K gutters and 2" x 3" downspouts to splash blocks (match existing style and color). Include all accessories required for a complete installation. Verify location of downspouts in field with Owner.

DOORS AND WINDOWS

1. Reference standards for doors and windows shall be as follows:
- A. Underwriter's Laboratories, Inc.: Building Material Directory
- B. National Fire Protection Association: Pamphlet No. 80 - Standard for Fire Doors and Windows.
- C. National Woodwork Manufacturers Association: I.S., 1078: Wood Flush Doors
- D. ASTM E 283, ASTM E 331.

2. Glazing in locations which may be subject to human impact such as frameless glass doors, glass entrances and exit doors, fixed glass panels, sliding glass doors, shower doors, tub enclosures, and storm doors shall meet the requirements set forth in the Residential Code of New York State and the Safety Standard for Architectural Glazing Material (16 CFR 1201). All glazed panels located within 12" of a door which may be mistaken for openings for human passage, unless such panels are provided with a horizontal member 1 1/2" minimum in width located between 24" and 36" above the walking surface, shall be tempered glass.
3. Interior doors shall be pre-hung, molded, style and rail door units by Jeld-Wen or equal. Doors shall match adjacent existing door units as closely as possible. Hardware style and finish/color as selected by Owner.

4. All window units shall be of high-performance, wood construction in standard casement, awning, and fixed unit sizes. Provide Insulating Low E II Glass/Argon, removable screens, and extension jambs as required (equal to Andersen vinyl-clad wood windows with a U-Factor of 0.34).

5. Exterior doors shall be insulated fiberglass, pre-pripped and pre-hung (Therma-Tru or equivalent). Final manufacturer, style, hardware style and finish/color as selected by Owner.

MECHANICAL

1. Contractor shall provide all labor, materials, and equipment necessary to install plumbing, related fixtures, ventilations, heating and air conditioning. All work shall comply with state and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety devices prior to operations of system.

ELECTRICAL

1. Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heat elements, and control. All work shall comply with National Electrical Code and state and local codes and ordinances. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls.

DESIGN DATA:

- Per Residential Code and Energy Conservation Construction Code of New York State
- Roof (Live Load). 40psf
- Roof (Dead Load). 10psf
- First Floor (Live Load) 40 psf
- First Floor (Dead Load). 10 psf
- Second Floor (Live Load) 30 psf
- Second Floor (Dead Load) 10 psf
- Presumptive Soil Bearing 1,500 psf at min. 42 inches below finished grade

PROJECT - ADDITIONS TO:
2534 Clover Street
Pittsford, New York

CLIENT -
Howard Silver

JOB NO -
A16-025

DATE -
December 4, 2024

DRAWING TITLE -
Specifications

PHASE -
Construction Documents

CKH
architecture

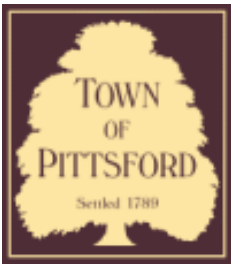
6605 Pittsford Palmyra Road
Suite W5
Fairport, New York 14450
phone-(585) 249-1334
e-mail-CKHmessey@frontiernet.net

CKH Architecture, P.A.
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DRAWING NO. -
A-3

COPYRIGHT NOTICE -
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REVISIONS-
NO. DATE DESCRIPTION



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA25-000094

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 2969 Clover Street PITTSFORD, NY 14534
Tax ID Number: 163.04-1-26.3
Zoning District: RN Residential Neighborhood
Owner: Cardina, Adam M
Applicant: Cardina, Adam M

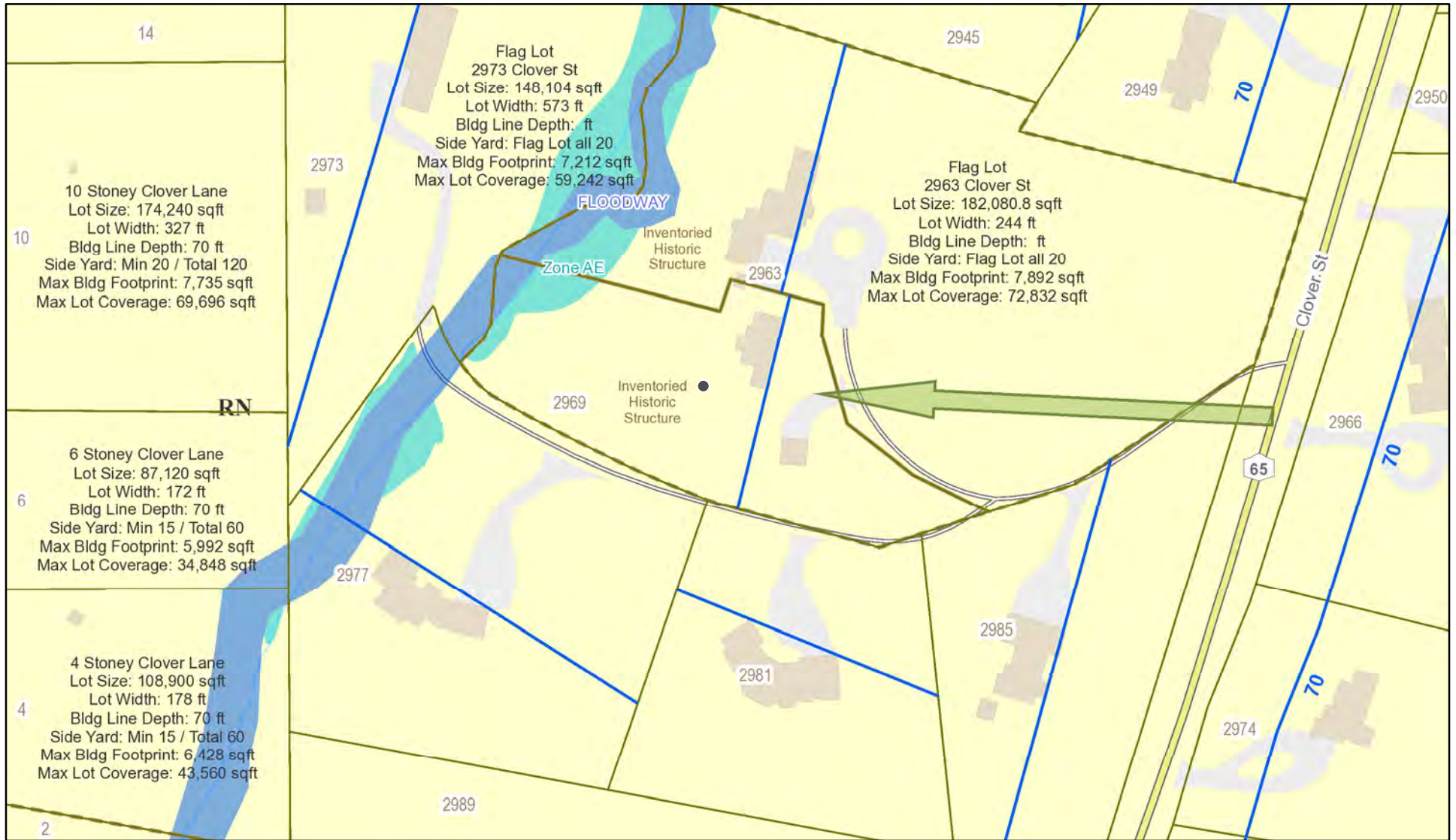
Application Type:

- ☒ Residential Design Review
§185-205 (B)
- ☐ Commercial Design Review
§185-205 (B)
- ☐ Signage
§185-205 (C)
- ☐ Certificate of Appropriateness
§185-197
- ☐ Landmark Designation
§185-195 (2)
- ☐ Informal Review
- ☐ Build to Line Adjustment
§185-17 (B) (2)
- ☐ Building Height Above 30 Feet
§185-17 (M)
- ☐ Corner Lot Orientation
§185-17 (K) (3)
- ☐ Flag Lot Building Line Location
§185-17 (L) (1) (c)
- ☐ Undeveloped Flag Lot Requirements
§185-17 (L) (2)

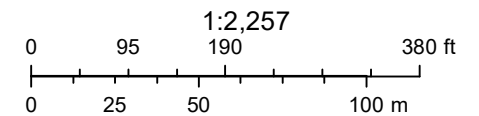
Project Description: Applicant is requesting design review changes for 1230 Sq Ft. rebuild and expansion of existing detached garage in similar location.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning

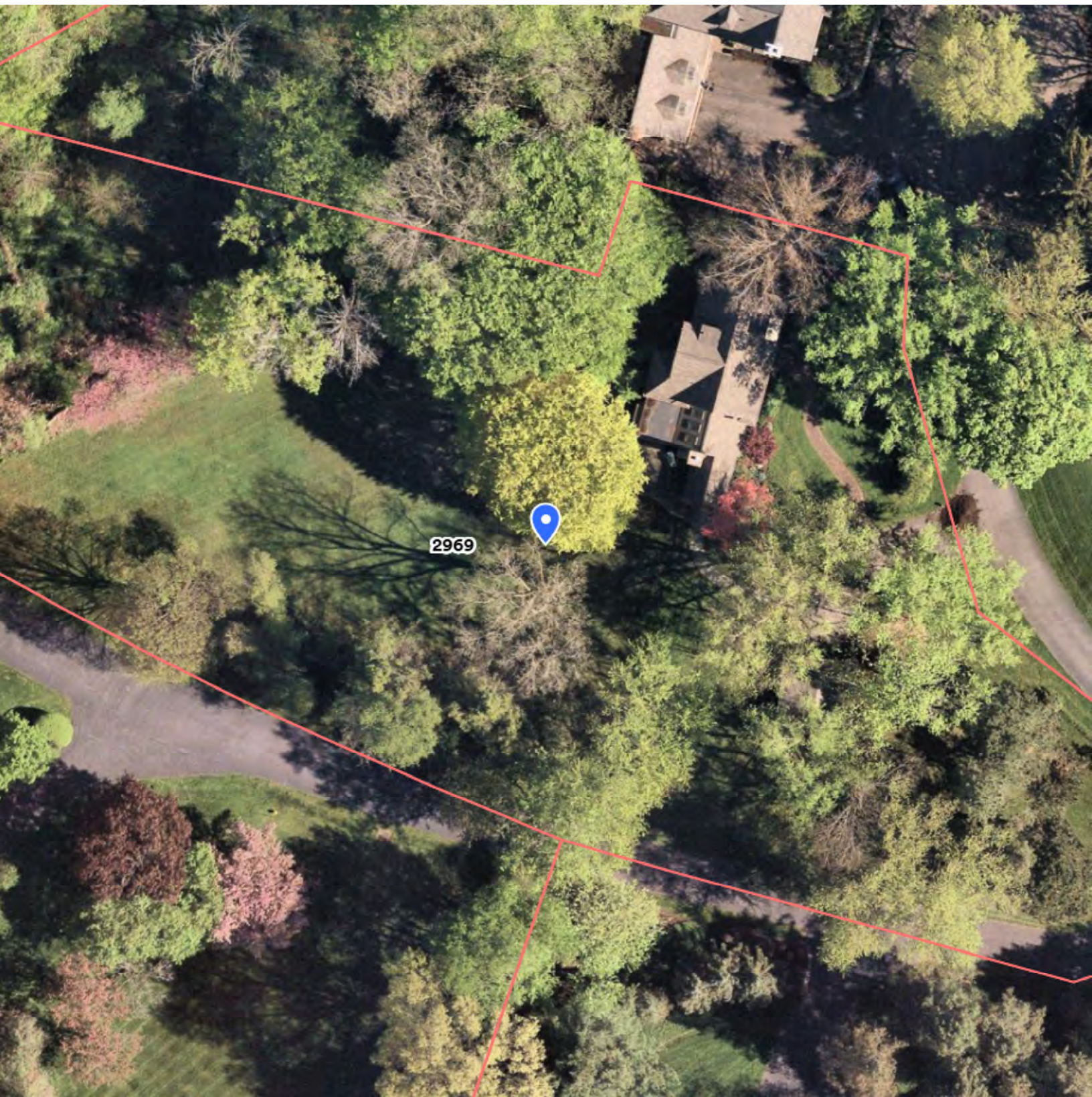


Printed June 18, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



**NOTICE OF DECISION
TOWN OF PITTSFORD ZONING BOARD
DATE OF DECISION: JUNE 16, 2025**

VIA EMAIL: nicole@insitearch.com

Nicole Martin
In Site Architecture
2 Borden Avenue
Perry, NY 14530

SUBJECT: Area Variance Granted
2969 Clover Street
Tax Parcel #163.04-1-26.3

Please be advised that the Town of Pittsford Zoning Board of Appeals has granted relief from Town Code Sections 185-113 C. (1), (2), & (3) and 185-17 B. (1) for an oversized and over-height detached garage in the front yard area and forward of the building line, and for the total square footage of roofed or enclosed accessory structures exceeding 320 square feet in area, for the property located at 2969 Clover Street.

The Board granted area variance approval based on the findings of fact, and conditioned upon compliance with the conditions of approval, as indicated in the resolution as adopted by the Board. A copy of the resolution is attached.

A building permit is required from the Town of Pittsford Building Department. This shall be reviewed and approved prior to the commencement of construction.

Design Review and Historic Preservation Board (DRHPB) review and approval is required for the detached garage. We have received your submission documents and have scheduled you to attend the meeting on **June 26, 2025** at 6PM.



April Zurowski
Planning Assistant

Dated: June 17, 2025

Cc: Bill Zink, Building Inspector
ZB25-000013 File

TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
2025 JUL 17 AM 10:17

**TOWN OF PITTSFORD
ZONING BOARD OF APPEALS
RESOLUTION**

RE: 2969 Clover Street

Tax Parcel: 136.04-1-26.3

**Applicant: Nicole Martin of In Site Architecture
on behalf of Susan Fulmer and Adam Cardina
Zoned: Residential Neighborhood (RN)**

I move that the Town of Pittsford Zoning Board of Appeals grant the above applicant relief from Town Code Sections 185-17 B. (1) and 185-113 C. (1), (2), and (3) to allow the construction of an oversized and over-height detached garage in the front yard area where not permitted by code at the above location and bearing the above tax parcel number. The within resolution follows a public hearing held on June 16, 2025, and review by the Board of all written and oral submissions, together with due deliberation and consideration.

This application is a Type II Action under 6-NYCRR §617.5(c)(17) and, therefore, is not subject to Environmental Review under SEQRA. This application is exempt from review by the Monroe County Planning Department based on an agreement with Monroe County dated October 7, 2008.

The within resolution is based upon the following specific Findings of Fact and subject to the following specific Conditions of Approval:

FINDINGS OF FACT

As to the issue of whether an undesirable change will be produced in the neighborhood or detriment to nearby properties created by the granting of the application, the Board finds, as follows:

The proposed 1,230 square foot and 22-foot-tall detached garage will not create an undesirable change in the neighborhood or detriment to nearby properties. The proposed detached garage will replace an existing pre-existing non-conforming 550 square foot and 14-foot-tall detached garage in the same area. The increase in size will provide for a third bay, powder room, uninsulated lounge, and attic storage area. The increased height will accommodate the attic storage and lounge.

The garage location is screened from the adjacent neighbors by vegetation and is set far off of Clover Street. The proposed work will suit the residence and neighborhood in form, massing, and materials. Material specifications will be historically appropriate and complimentary to the residence in anticipation of the Historic Preservation Design Review Board's review comments.

As to whether the benefit sought by the applicant can be achieved by other feasible means:

An attached garage was studied at length but is a detriment to the character of both the home and neighborhood. It also requires additional hardscape and site disturbance, significantly more-so than the proposed work. The existing garage is a pre-existing non-conforming structure, so the garage may be rebuilt on the same footprint and height as it sits now, but it will not provide the storage that the applicant desires. The desire to increase the detached garage in height and size is a self-created hardship.

As to whether the application represents a substantial variance from Code, the Board finds, as follows:

The requested area variances are considered substantial. The new garage is proposed to be 1,230 square feet in size, 1,005 square feet larger than the maximum size for a single structure (447%), and 910 square feet larger than the maximum size for all roofed and walled accessory structures (284%). The proposed height is 22 feet, 10 feet taller than allowed by Code (183%).

As to whether the requested variance will have an adverse impact on physical and/or environmental conditions in the neighborhood or District, the Board finds, as follows:

There will be no adverse impact of the physical and/or environmental conditions in the neighborhood or district by granting this variance. There is an existing detached garage in this area.

As to whether the difficulty alleged by the applicant is self-created, the Board finds, as follows:

1. The Board understands that, under New York State Town Law Section 267-b (3)(b), the issue of self-created hardship is relevant to the Board's decision, but shall not, necessarily preclude the granting of a requested variance.
2. The need for these variances are self-created but is mitigated by the fact that there is an existing oversized and over-height detached garage on the parcel, and its distance from Clover Street and other neighbors, so the variance is not precluded.

CONDITIONS OF APPROVAL

The Board, in granting the within application, hereby imposes the following specific conditions:

1. This variance is granted only for the plans submitted and prepared by the applicant dated May 16, 2025, and attached hereto as Exhibit A.
2. All construction of the detached garage must be completed by December 31, 2026.
3. No living space is permitted within the detached garage.

The within Resolution was moved by Zoning Board of Appeals Chairman James Pergolizzi, seconded by Board Member Tom Kidera, and voted upon by the Board, as follows:

Phil Bleecker voted	Aye
Phil Castleberry voted	Aye
Barbara Servé voted	Absent
Thomas Kidera voted	Aye
Mary Ellen Spennacchio-Wagner voted	Absent
Jennifer Iacobucci voted	Aye
James Pergolizzi voted	Aye

The Zoning Board of Appeals adopted the above resolution on June 16, 2025.

April Zurowski
Planning Assistant

EXHIBIT A

DRAWING KEY:

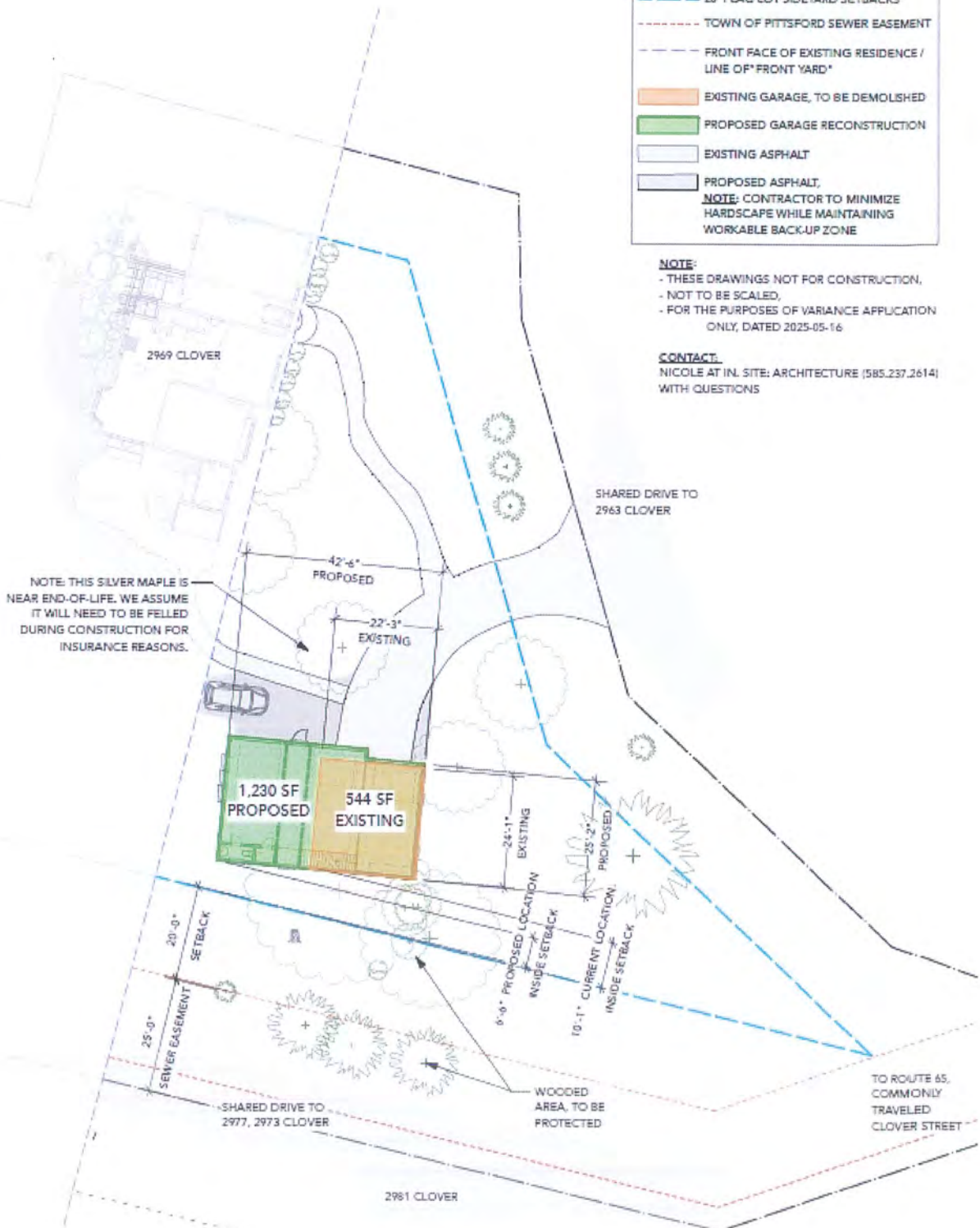
	PROPERTY LINE, TYP
	20' FLAG LOT SIDEYARD SETBACKS
	TOWN OF PITTSFORD SEWER EASEMENT
	FRONT FACE OF EXISTING RESIDENCE / LINE OF "FRONT YARD"
	EXISTING GARAGE, TO BE DEMOLISHED
	PROPOSED GARAGE RECONSTRUCTION
	EXISTING ASPHALT
	PROPOSED ASPHALT, NOTE: CONTRACTOR TO MINIMIZE HARDSCAPE WHILE MAINTAINING WORKABLE BACK-UP ZONE

NOTE:

- THESE DRAWINGS NOT FOR CONSTRUCTION,
- NOT TO BE SCALED,
- FOR THE PURPOSES OF VARIANCE AFFLICATION
ONLY, DATED 2025-05-16

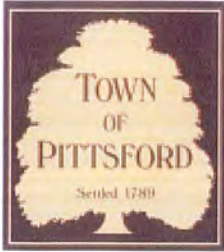
CONTACT:

NICOLE AT IN. SITE: ARCHITECTURE (585.237.2614)
WITH QUESTIONS



SITE PLAN

Scale: 1" = 20'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000078

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4 Landsdowne Lane ROCHESTER, NY 14618

Tax ID Number: 151.10-1-37

Zoning District: RN Residential Neighborhood

Owner: Sacks, Stuart B

Applicant: Roof Rangers

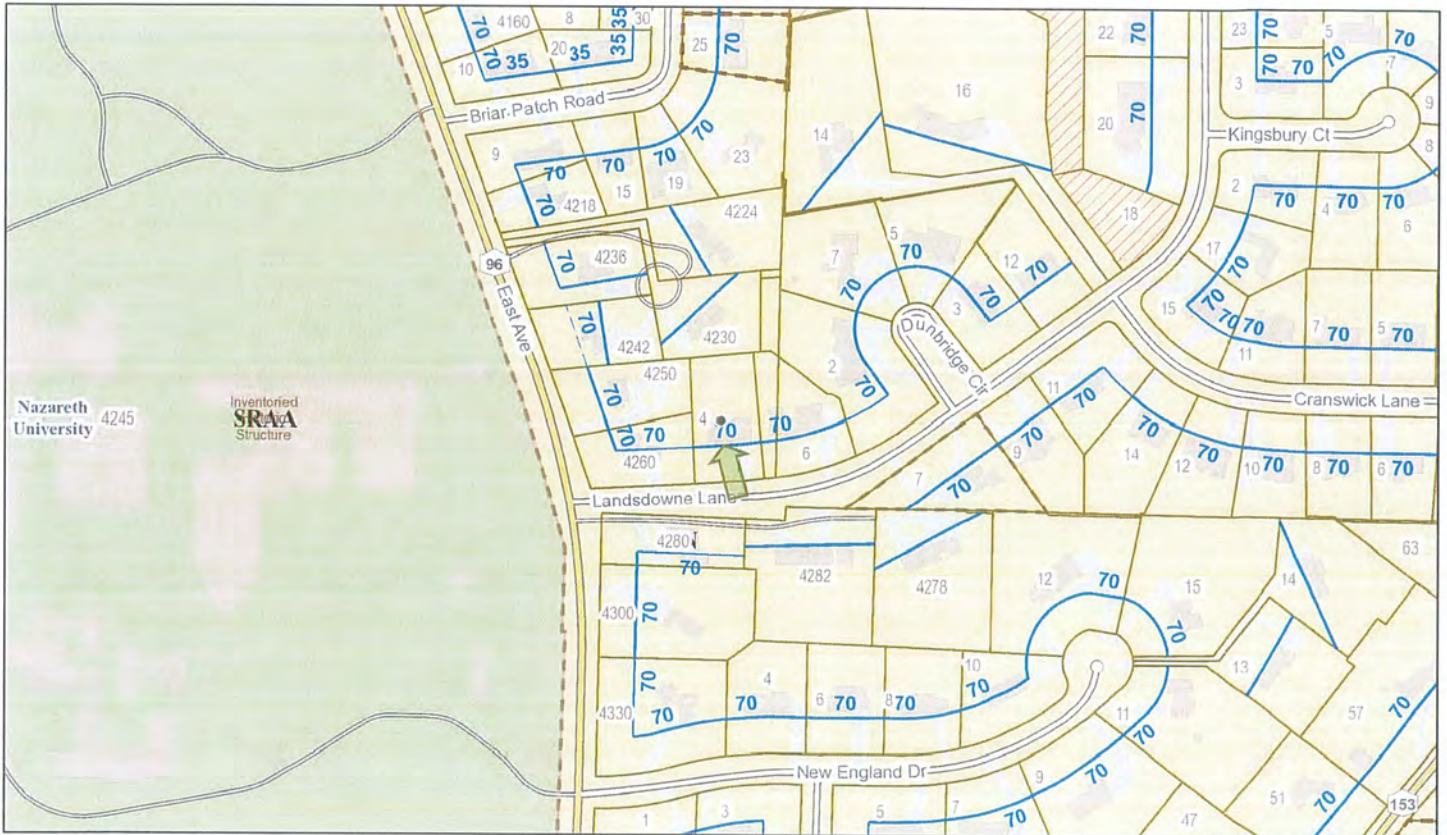
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

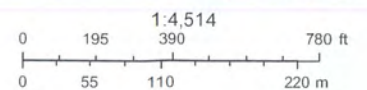
Project Description: Applicant is requesting design review of facade changes.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning



Printed June 18, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



GENERAL & STRUCTURAL NOTES

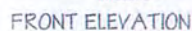
- DESIGN IS BASED ON THE 2000 RESIDENTIAL CODE OF NEW YORK STATE. ALL DIMENSIONS ARE IN FEET AND INCHES. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL CODES, LOCAL, STATE AND FEDERAL ORDINANCES, AND ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. AVOID OF NOT FILING CONSTRUCTION DOCUMENTS FOR APPROPRIATE INSPECTIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS ON THESE DRAWINGS PRIOR TO CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION OF CONSTRUCTION.
- ALL ELECTRICAL AND ELECTRICAL WORK IS NOT INCLUDED IN THE SET OF DOCUMENTS AND IS TO BE DESIGNED BY OTHERS. ELECTRICAL SYSTEM SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, NFPA 70-70.
- STANDARD DETAILS ON THESE DRAWINGS ARE REPRESENTED ON ONLY. EXACT SITE CONDITIONS MAY REQUIRE ADJUSTMENT TO ALL DETAILS. DETAILS OF CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. DETAILS OF SYSTEM SHALL BE PROVIDED.
- NO. OF GEOTECHNICAL EVALUATION, FOOTING DESIGN AND A MINIMUM SOIL BEARING CAPACITY OF 2,000 PSF BASED ON THE FOLLOWING SOIL TYPES OF ONE OF THE FOLLOWING: GRAVEL, SAND, SILT, CLAY, SILT AND CLAY. THE SOIL TYPE DESCRIPTION AND SOIL BEARING CAPACITY SHALL BE PROVIDED TO THE CONTRACTOR. IF OTHER CONDITIONS ARE DISCOVERED, NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL FOOTINGS SHALL BE REINFORCED WITH REBAR. REINFORCING SHALL BE SET IN PLACE.
- FOOTING REBAR SHALL BE SET IN PLACE AND A MINIMUM OF 12 TO 18 INCHES BELOW FINISH GRADE. AND DETERMINED BY THE LOCAL BUILDING DEPARTMENT. FOR THE ENTIRE PERIMETER OF BUILDING.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH SPECIFIED IN THE SPECIFICATIONS IN TABLE 2.
- SECTION 1000 ARE AS FOLLOWS:
 10.1. FLOOR SLAB - NON-REINFORCED AREAS: 40 PSF LIVE LOAD
 10.2. FLOOR SLAB - SLEEPING AREAS: 30 PSF LIVE LOAD
 10.3. ROOF: 10 PSF DEAD LOAD
 10.4. ROOF AND SNOW LOAD: 50 PSF
 10.5. ROOF AND SNOW LOAD: 75 PSF
 10.6. ROOF: 10 PSF DEAD LOAD
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5.3191
5.29.15

5035-7344-1427

Jodi A. Stuart & Sherry
J. Landry-King Law, Rochester, NY 14618

Date	05/12/25
Scale	A5 Str Cntg
Project No.	10229
Tag No.	A-1



SCALE: 3/16" = 1'-0"



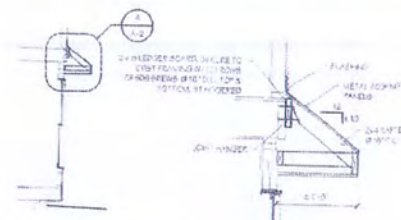
SCALE: 3/16 = 1.0



SCALE 1/4"=1'-0"

- (A) ROOF AT LARGE WINDOW
(B) PORTICO
(C) NEW FALSE DOOR

A-1



DETAIL

SCALE: 3/4" = 1'-0"

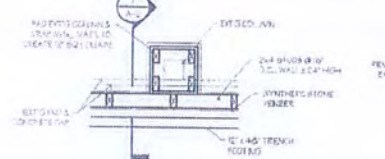
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SECTION 3

DETAIL 4

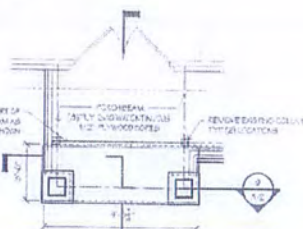
SECTION THRU GARAGE

SCALE: 1/4" = 1'-0"



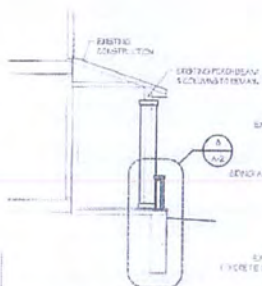
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SCALE: 3/4" = 1'-0"

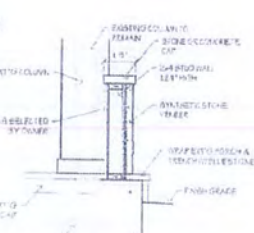


PORCH PLAN

SCALE: 145 = F-05

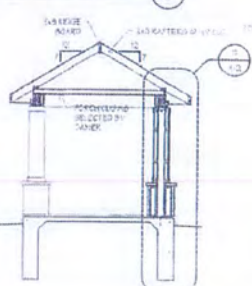


DETAIL

 $354.8 \text{ V} \cdot \text{A} / \text{s} \approx 1.0$ 

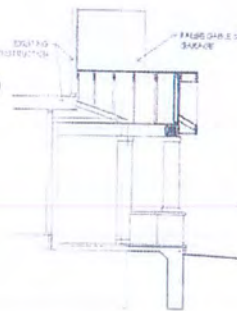
DETAIL

2007年12月1日



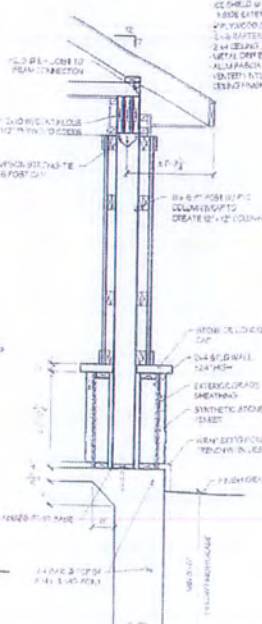
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DETAIL



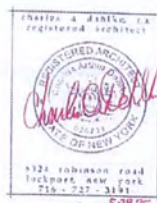
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DETAIL



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DETAIL



Christine A Buongiorno
President - Design Polymers
 111 Chamberlain Street
 Allston, MA 02131-1406
 508-754-1427
 a.buongiorno@designpolymers.com

Clark & Associates
 401 S. Stuart Street
 41 Landonburg Lane, Rochester, NY 14623
 (716) 232-1000

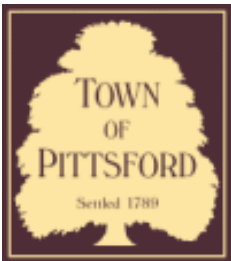
Case	09/10/2011
State	AG 20/00/11
Project name	GG249
Duration	

A-2

Images 3 of 3







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000081

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 2118 West Jefferson Road PITTSFORD, NY 14534
Tax ID Number: 163.02-1-2
Zoning District: RN Residential Neighborhood
Owner: Kotori, Michelle
Applicant: Russ & Co. Construction LLC

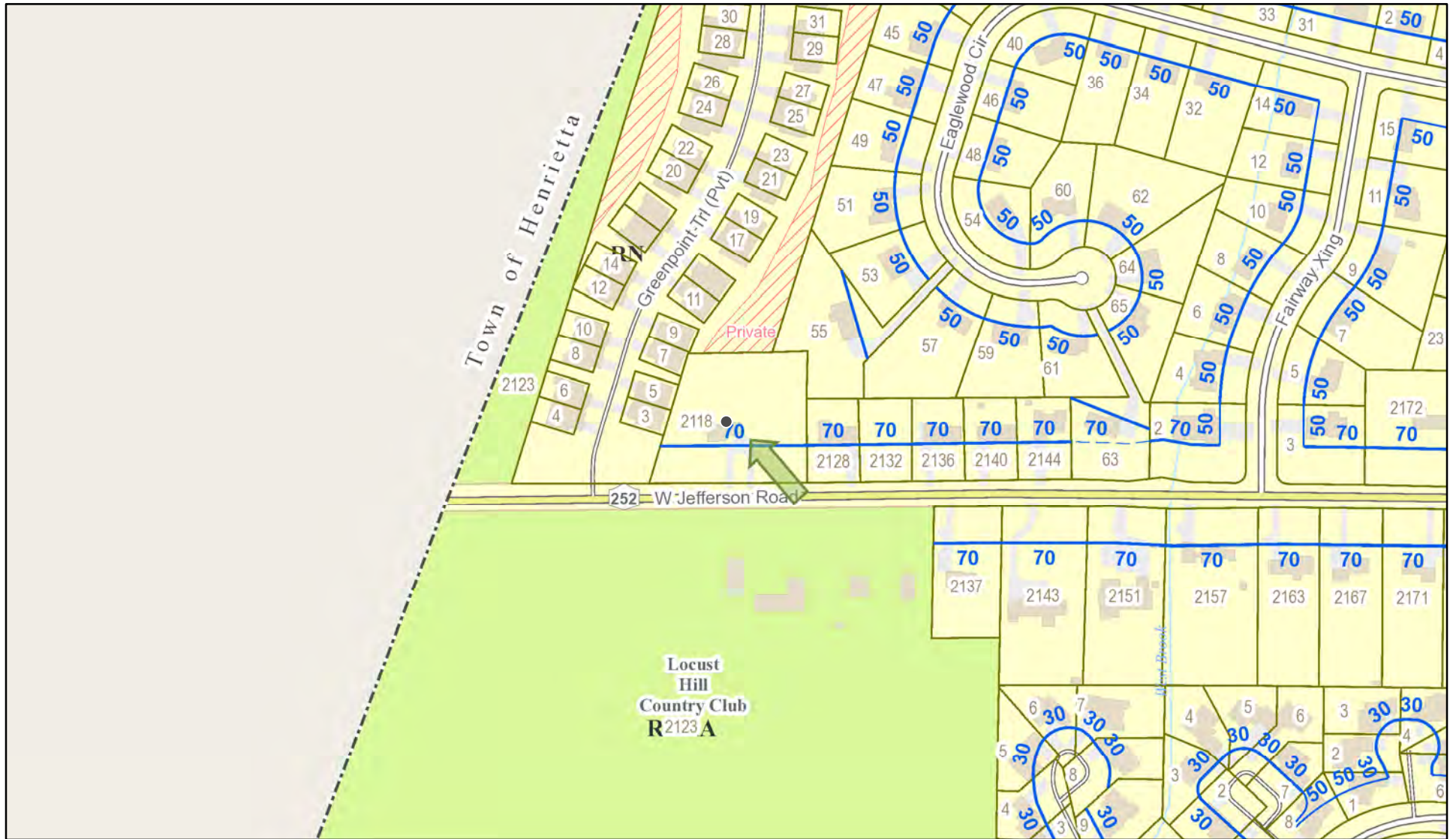
Application Type:

- ☒ Residential Design Review
§185-205 (B)
- ☐ Commercial Design Review
§185-205 (B)
- ☐ Signage
§185-205 (C)
- ☐ Certificate of Appropriateness
§185-197
- ☐ Landmark Designation
§185-195 (2)
- ☐ Informal Review
- ☐ Build to Line Adjustment
§185-17 (B) (2)
- ☐ Building Height Above 30 Feet
§185-17 (M)
- ☐ Corner Lot Orientation
§185-17 (K) (3)
- ☐ Flag Lot Building Line Location
§185-17 (L) (1) (c)
- ☐ Undeveloped Flag Lot Requirements
§185-17 (L) (2)

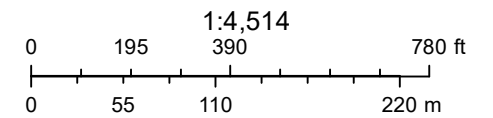
Project Description: Applicant is requesting design review changes for a 160 Sq Ft. Front porch with roof.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning



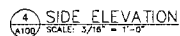
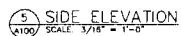
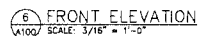
Printed June 18, 2025



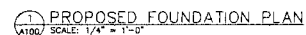
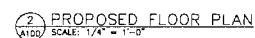
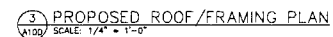
Town of Pittsford GIS

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SCALE : 1 1/2" = 1'-0"



SCOPE OF WORK:

- PROVIDE NEW PRE-ENGINEERED ROOF TRUSSES AS INDICATED
- UNCONDITIONED SPACE - INSULATION NOT REQUIRED. PROVIDE VENTED SORTIE AT EAVES AND RIDGE VENT - TYP.
- PROVIDE NEW 1/2" OSB ROOF SHEATHING W/ 9' CLIPS BETWEEN PANELS
- PROVIDE 3/4" OF ICE & WATER SHED @ ALL EAVES AND VALLEYS. PROVIDE 30K FEET ALL OTHER LOCATIONS
- PROVIDE WALL FLASHING AS REQ'D
- PROVIDE ALUM Drip EDGE AND FASCIA - COLOR AS SELECTED BY OWNER
- PROVIDE NEW INSUL ROOFING - OWNER SELECTION
- PROVIDE HURRICANE TIES AT ALL TRUSS TO WALL CONNECTIONS
- PROVIDE CROSS BRACING ACROSS ALL TRUSSES

SUPERSTRUCT

BUILDING ON EXISTING FOUNDATIONS

Drawn By SK Checked By SK

Print Date 6/10/25 Project # 25010

WWW.SUPERSTRUCT-NY.COM --- 585-944-8269



PORCH ADDITION

2118 WEST JEFFERSON ROAD
ROCHESTER, NY

[illegible]

Drawing issued for

PERMIT DOCUMENT

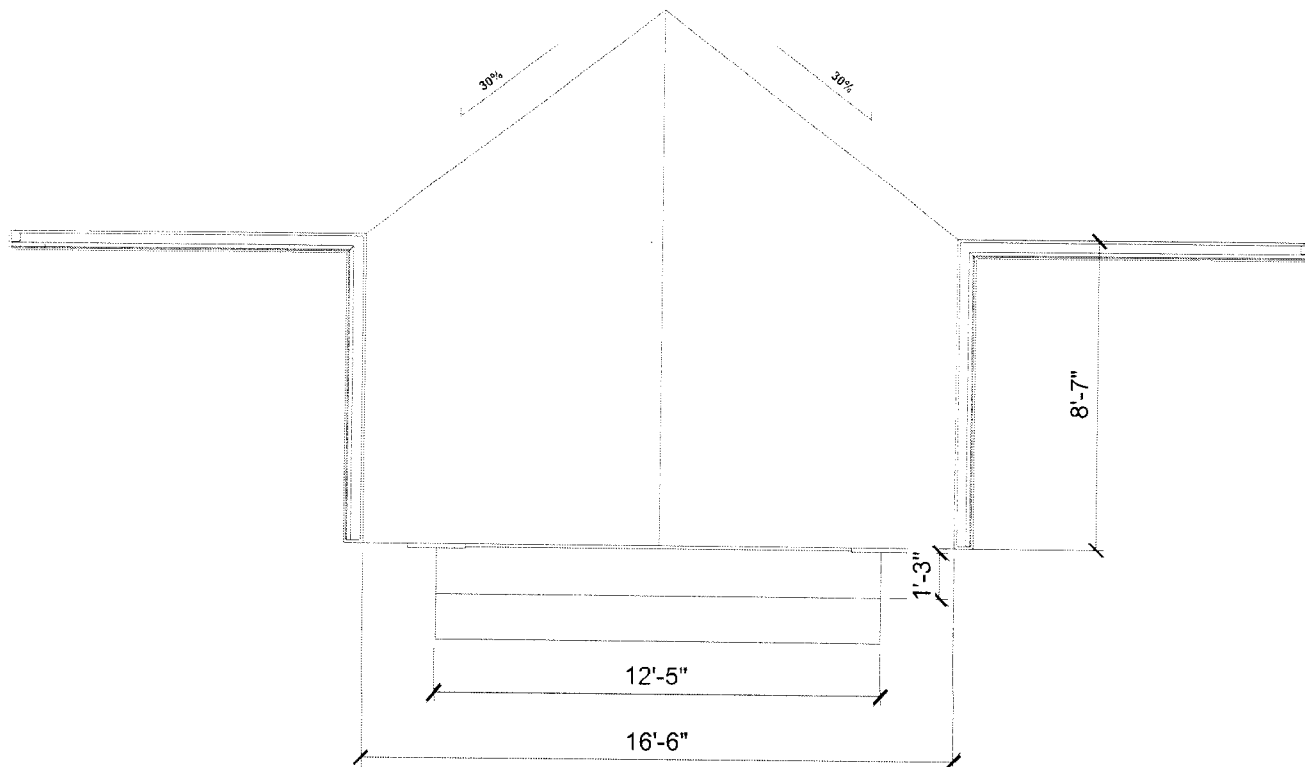
Drawing Issue Date

JUNE 10, 2025

Sheet Title

PROPOSED PLANS

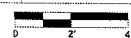
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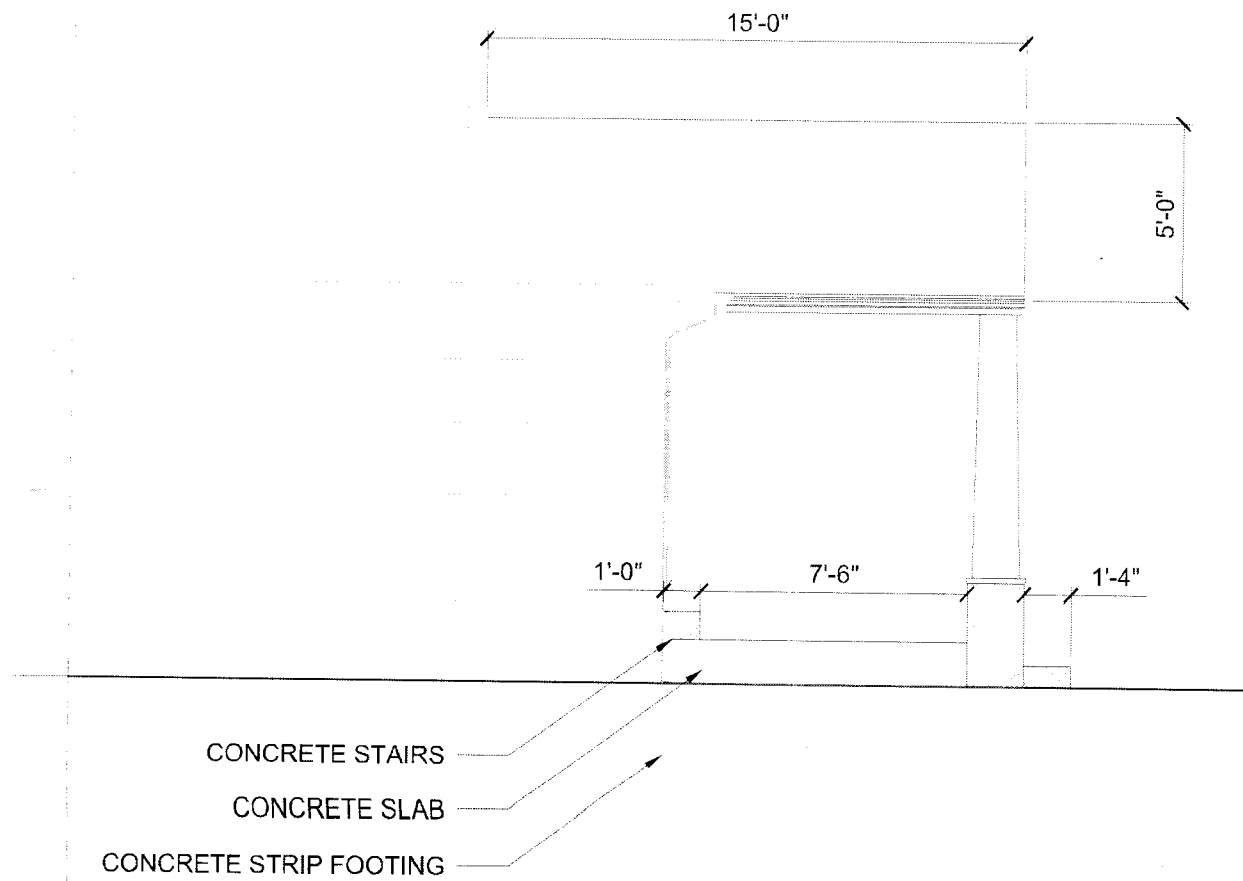
PORCH TOP VIEW

DATE 5/9/2025

SCALE 1/2" = 1'-0"
@ 24" x 36" sheet



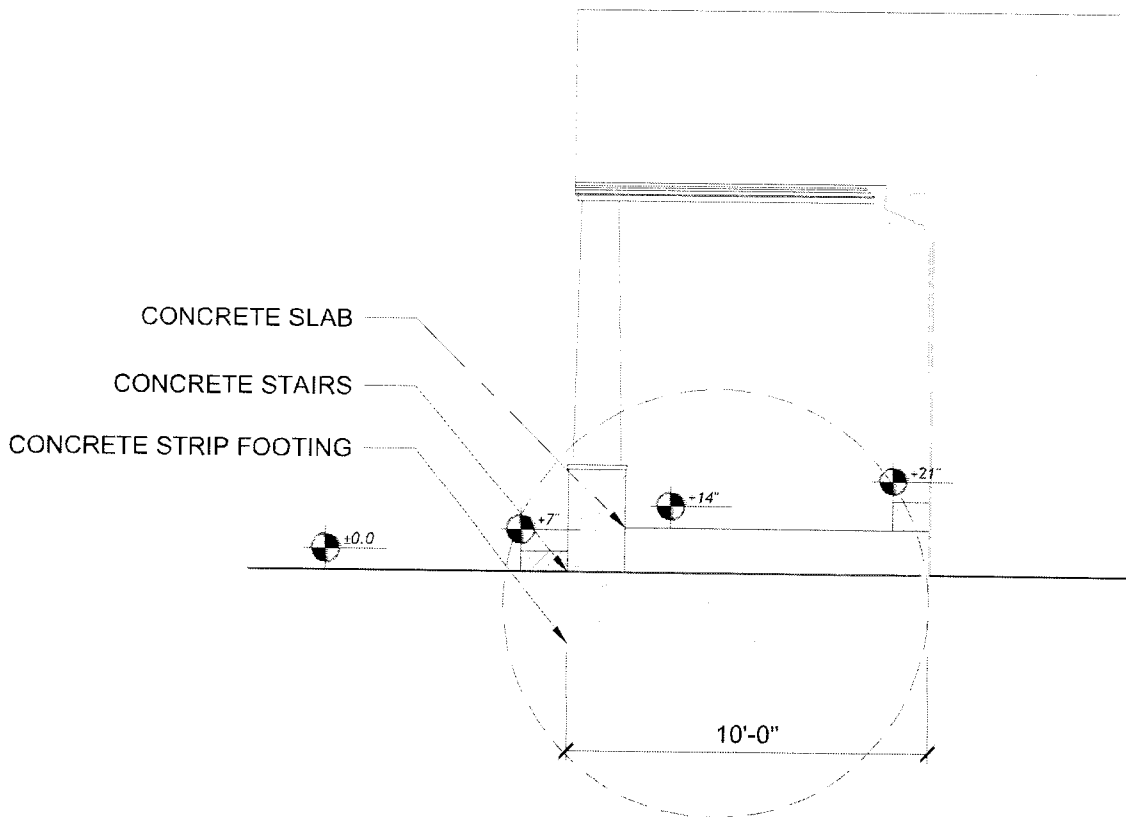
Porch Permit Application
2118 W Jefferson Road, Pittsford, NY 14534



Porch Permit Application
 2118 W Jefferson Road, Pittsford, NY 14534

LEFT ELEVATION

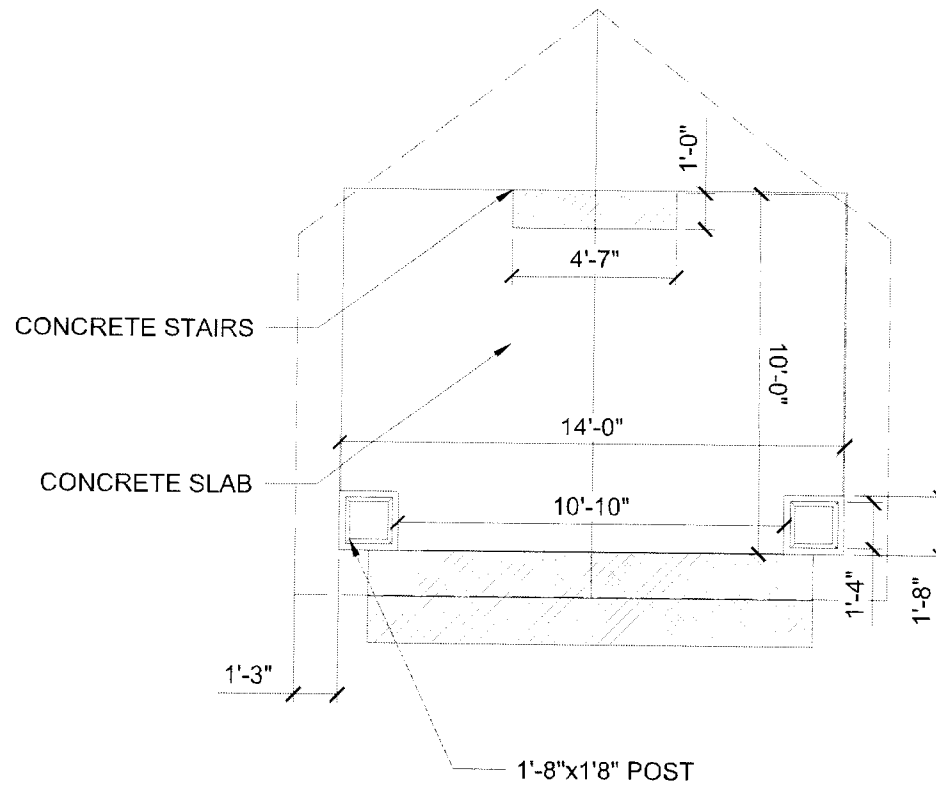
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SCALE	1/2" = 1'-0" (@ 24" x 36" sheet)
NORTH	



RIGHT ELEVATION

DATE	5/9/2025
SCALE	1/2" = 1'-0" @ 24" x 36" sheet
NORTH	

PATIO TOP VIEW

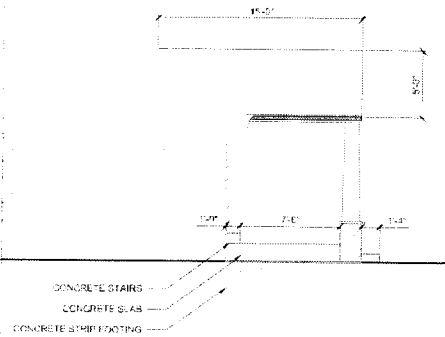


Porch Permit Application
2118 W Jefferson Road, Pittsford, NY 14534

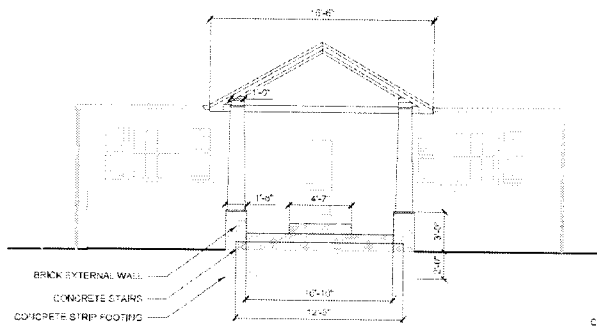
PATIO TOP VIEW

DATE	5/9/2025
SCALE	1/2" = 1'-0" (@ 24" x 36" sheet)
NORTH	

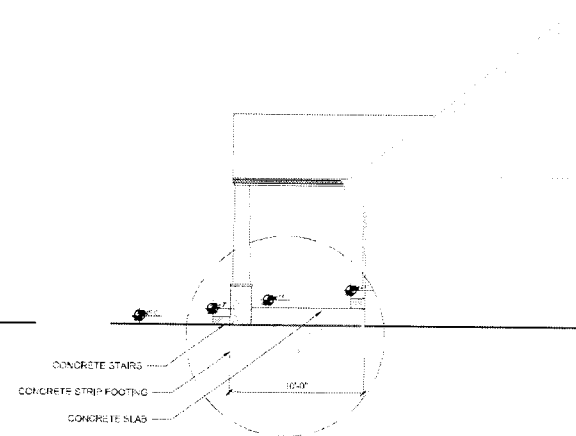
PORCH LEFT SIDE



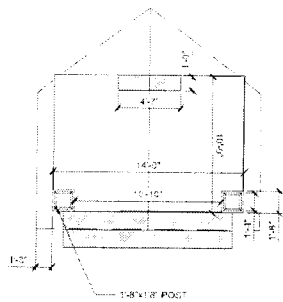
PORCH FRONT VIEW



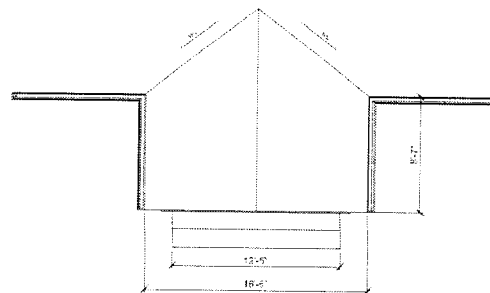
PORCH RIGHT SIDE



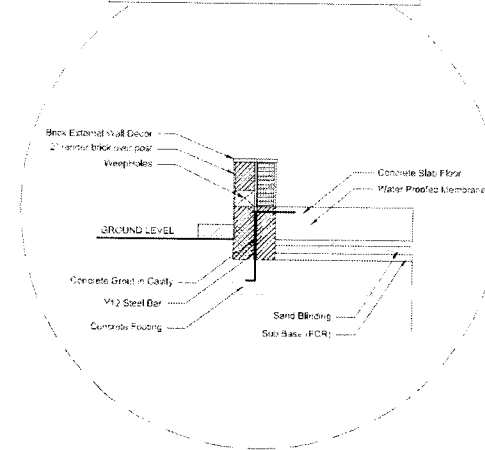
PATIO TOP VIEW



PORCH TOP VIEW



FOOTER DETAIL 1/2"

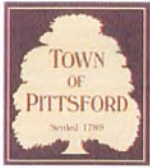


Porch Permit Application
2118 W Jefferson Road, Pittsford, NY 14534

FENCE ELEVATION

DATE 5/9/2025
SCALE 1/4" = 1'-0"
(@ 24" x 36" sheet)





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000082

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 27 Northfield Gate PITTSFORD, NY 14534

Tax ID Number: 178.05-1-39

Zoning District: RN Residential Neighborhood

Owner: Fluman, Robin

Applicant: Fluman, Robin

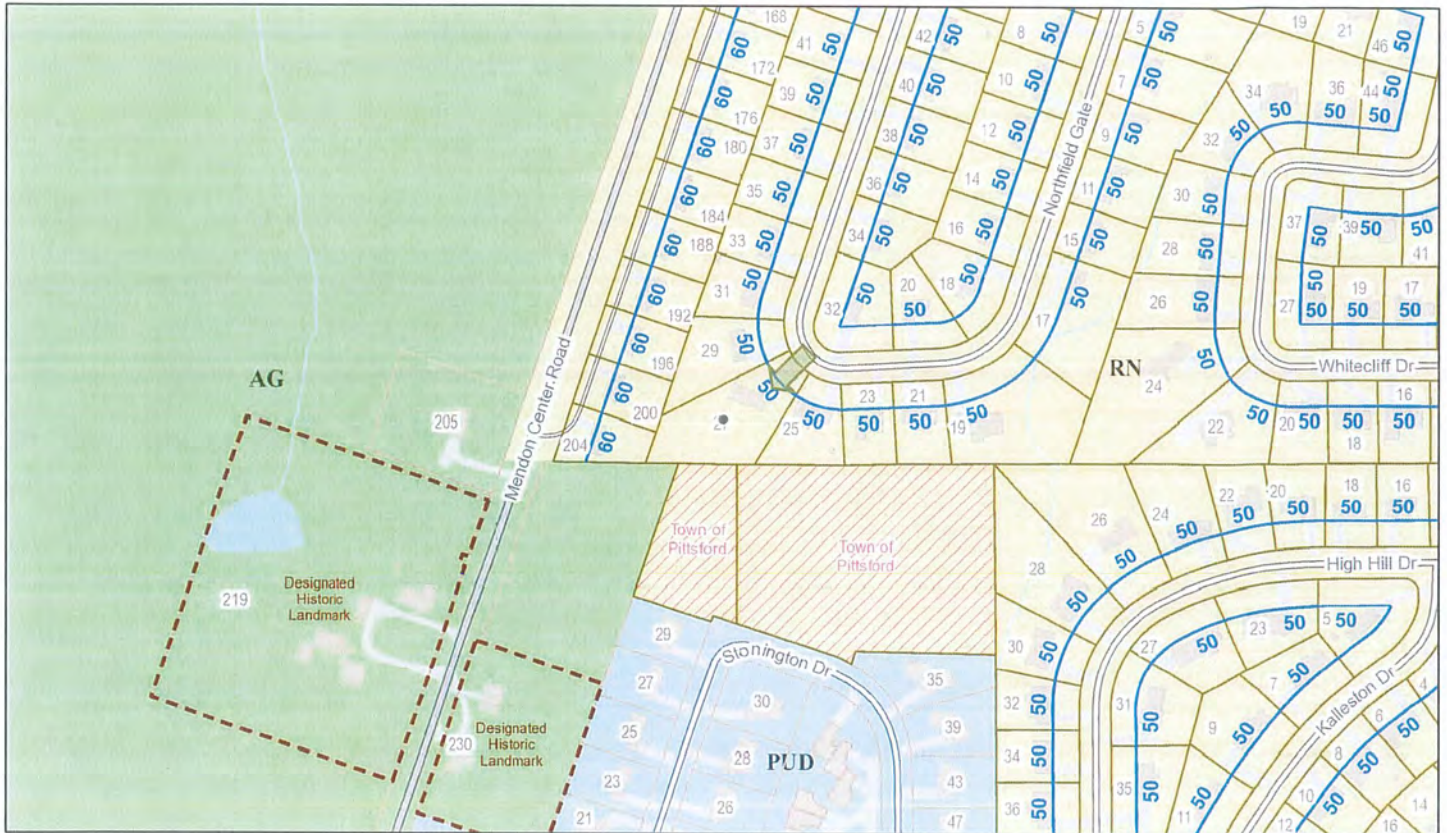
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

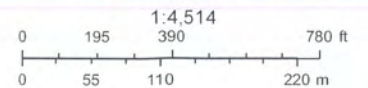
Project Description: Applicant is requesting design review changes for a 380 Sq Ft. renovation to the rear of the home.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning



Printed June 18, 2025

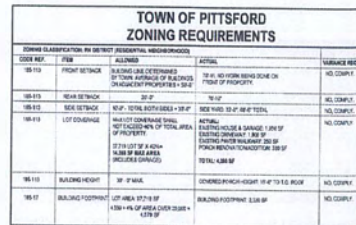


Town of Pittsford GIS

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27 NORTHFIELD
GATE DECK
REPLACEMENT &
COVERED PORCH

ARCHITECT: CHRISTINA FLUMAN

RECEIVED

JUN 16 2075

TOWN OF PITTSFORD

[illegible]LISA & ROBIN
FLUMAN

SITE PLAN

Project number	250718
Date	05/03/2025
Drawn by	C. FLUMAN
Checked by	L. A. R. FLUMAN

A001

Scale	As indicated
-------	--------------

27 NORTHFIELD
GATE DECK
REPLACEMENT &
COVERED PORCH

ARCHITECT: CHRISTINA FLUMAN

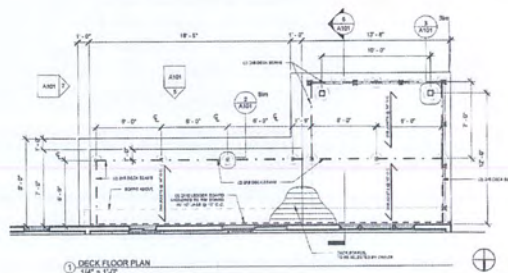
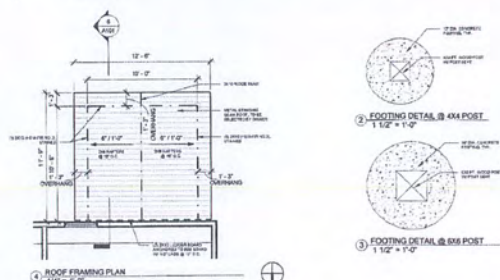
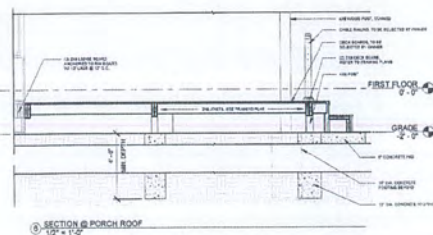
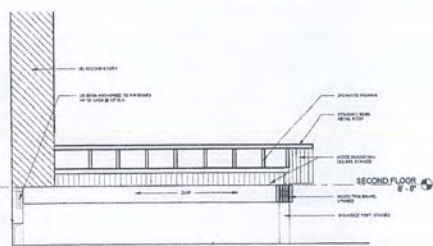
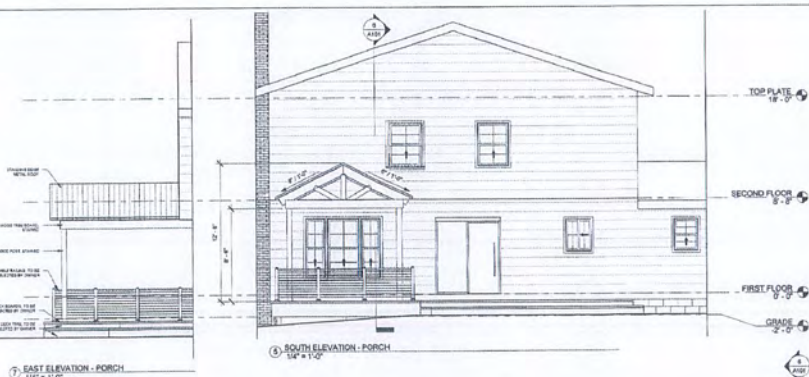
RECEIVED

JUN 16 2024

TOWN OF PITTSBURGH

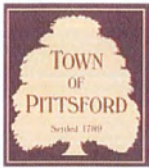


EXTERIOR RENDERING



LISA & ROBIN
FLUMAN
PLANS, ELEVATIONS
& SECTIONS

Project Number: 220718
Date: 06/03/2023
Drawn by: C. FLUMAN
Checked by: L. & R. FLUMAN
A101
Scale: AS SHOWN



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250

FAX: 585-248-6262

Permit #
B20-000015

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 44 Parker Drive PITTSFORD, NY 14534

Tax ID Number: 164.10-2-55

Zoning District: RN Residential Neighborhood

Owner: Newman, Jesse

Applicant: Newman, Jesse

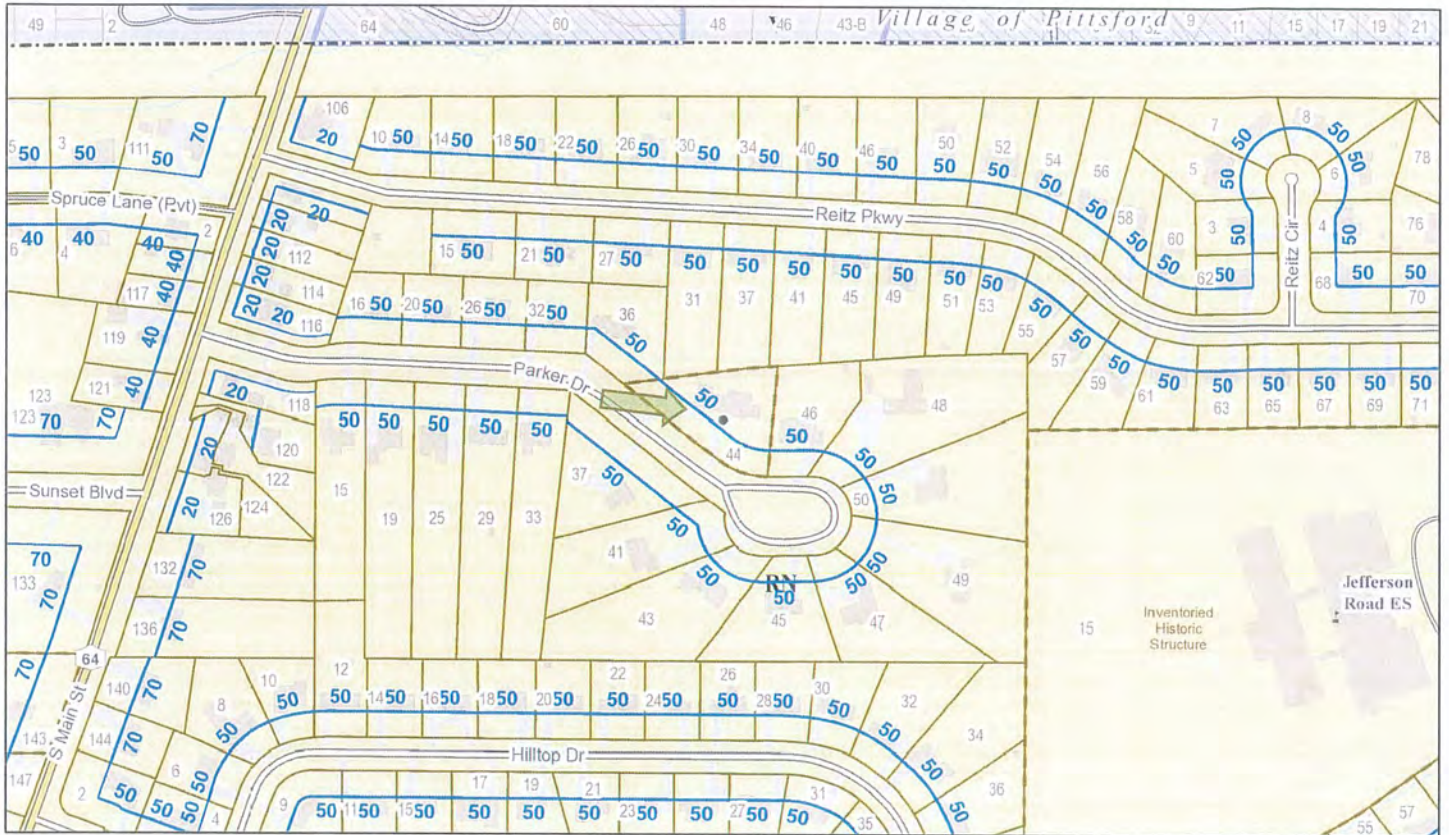
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

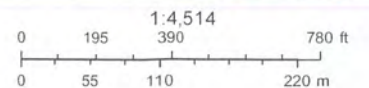
Project Description: Applicant is requesting design review for facade changes.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning



Printed June 18, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



44 PARKER DR

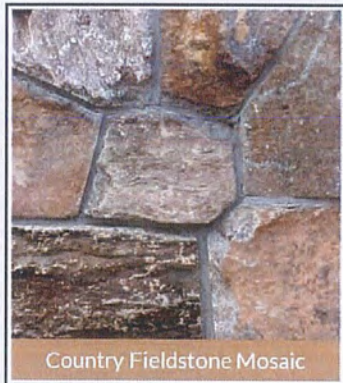
Exterior Stone Submission

PRODUCT INFORMATION

R | S T O N E

<https://getrstone.com/>

**Natural Thin Stone Veneer Harvested from
Quarries, Mountains, Fields, and Woodlands**



Country Fieldstone Mosaic

Our real [stone veneer](#) products are perfect for homeowners, builders, and designers. Our stone is hand-selected for color, the beauty of its natural variations, and superior quality. Whether you're a homeowner, architect, builder, or contractor, our natural stone products will help you realize your vision to create something remarkable. We provide our Thinstone products to New York, New Jersey, Long Island, and Connecticut.

PRODUCT REFERENCE



DON HERSHEY REFERENCE



78 Mountain Road, Rochester

CURRENT STATE - 1



Dining Room Exterior – Front View

MOCK UP RENDERING - 1



Dining Room Exterior – Front View

CURRENT STATE - 2

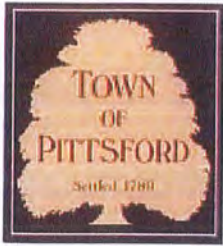


Dining Room Exterior – ¾ View

MOCK UP RENDERING - 2



Dining Room Exterior – $\frac{3}{4}$ View



Town of Pittsford

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Application Type:

✓ Residential Design Review

§185-205 (B)

Commercial Design Review

§185-205 (B)

Signage

§185-205 (C)

Certificate of Appropriateness

§185-197

Landmark Designation

§185-195 (2)

Informal Review

Build to Line Adjustment

§185-17 (B) (2)

Building Height Above 30 Feet

§185-17 (M)

Corner Lot Orientation

§185-17 (K) (3)

Flag Lot Building Line Location

§185-17 (L) (1) (c)

Undeveloped Flag Lot Requirements

§185-17 (L) (2)

Project Description: Applicant is requesting design review for the renovation of an existing home. The renovation will include closing the breezeway between garage and main house, replacing patio screens with windows and adding a new front door.

Meeting Date: February 13, 2020

APPROVED

2/13/20
[Signature]

- FRONT DOOR - FLAT PANEL STEEL DOOR
RED

- WINDOWS - FIBERGLASS NARROW
STYLE

- SIDING - MATCH EXIST. CEDAR
SIDING

draft
**Design Review and Historic Preservation Board
Minutes
February 13, 2020**

PRESENT

Dirk Schneider, Chairman; Bonnie Salem, John Mitchell, David Wigg, Leticia Fornataro

ALSO PRESENT

Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board; Robert Koegel, Town Attorney

ABSENT

Kathleen Cristman, Paul Whitbeck

Dirk Schneider opened the meeting at 6:45 pm.

HISTORIC PRESERVATION DISCUSSION

The Board reviewed details of the upcoming reception in May for inventoried homeowners. Bonnie Salem reviewed the list of invitees. Dirk Schneider has a speaker interested in attending.

RESIDENTIAL APPLICATION FOR REVIEW

- **44 Parker Drive**

The Applicant is requesting design review for the renovation of an existing home. The renovation will include closing the breezeway between the garage and main house, replacing patio screens with windows and adding a new front door.

The homeowners Jesse and Nicole Newman were present. They have recently purchased a Don Hershey designed home and are looking to renovate. They appreciate and want to preserve the original design and style of the home while renovating to enlarge the kitchen area into the present breezeway to create more living space. No work on the rear elevation will take place. The owners want to close in the breezeway and formalize the entry with a contemporary flush panel front door. The former breezeway will be glassed in with long windows. All windows will be replaced in the style of the former windows in the home.

Bonnie Salem made note of the fact that this is an inventoried home. She suggested that proposed changes should be judged against the criteria for a Certificate of Appropriateness. Specifically, will the renovation remove the original design? Leticia Fornataro and Dirk Schneider commented that the proposed changes are respectful and appropriate to the original design.

Mr. Newman that the red cedar siding from the breezeway will be salvaged to match the exterior of siding on the home. Thin trim will be placed around the window to maintain the feel of the original design.

Dirk Schneider moved to approve the renovation to include closing in the breezeway and screened porch with windows and new walls as submitted. Leticia Fornataro seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOME

- **6 Rockdale Meadows**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2313 sq. ft. and will be located in the Coventry Ridge Subdivision.

Steve Maynard was present to discuss the application with the Board.

This is a ranch style home in the patio section of the development.

The design elements will include slate colored vinyl siding with cultured stone, white trim and black roofing.

The Board expressed concern about the massing on the left elevation and asked if a window could be added in the bathroom or garage.

Mr. Maynard stated that he would talk to his clients about adding a window in the garage.

Bonnie Salem moved to approve the application as submitted with the recommendation that the addition of a window in the left elevation in the garage area be added.

Dirk Schneider seconded.

All Ayes.

- **7 Stable View**

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 1796 sq. ft. and will be located in the Country Pointe Subdivision.

Lou Massey of Mascot Builders was present to discuss the application with the Board.

The Board noted that the fireplace has a 2 ft. fireplace bump out that has a hanging appearance and that brackets be added to give the appearance of support. Mr. Massey acknowledged that this is something they can do.

John Mitchell moved to accept the application as submitted with the condition of brackets being added to simulate the appearance of support for the fireplace design.

David Wigg seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **3349 Monroe Avenue – Five Below**

The Applicant is requesting design review for the addition of two business identification signs and a façade change. The main sign will be 75.5 sq. ft. and identify the business "Five Below" with 36" internally illuminated channel letters on a blue background. The walkway sign will be 4 sq. ft. and will match the main sign but will not be illuminated.

Patty Ransco of Art Parts Sign was present. It was noted that part of the application includes alterations to the front of the building including a color change.

Leticia Fornataro moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

INFORMAL REVIEW – DEMOLITION AND NEW BUILD – RETURNING

- **123 Sunset Boulevard**

The Applicant is returning for an informal review for the demolition of an existing home and the construction of a new two story home. The home will be approximately 4435 sq. ft. and will replace the current home at the above address.

The architect, Jon Schick, was in attendance.

Mr. Schick that the design had changed from the original submittal to include a change in square footage to give the neighbor more space. The large two-story gable is replaced by a 3-dormer front elevation design.

The Board members comments were as follows:

Dirk Schneider expressed that the architect had listened to the comments concerning massing and he was happy to see the design of the home move forward so as not to encroach in the neighbor's back yard.

John Mitchell also reiterated that the Board's concerns were heard and indicated that the new design could work. Mr. Mitchell stated that the size of the structure is "a bit of a push" but that he could support this design dependent on the materials which are chosen if they are of a simplistic nature.

Bonnie Salem commented that although she approves of the simple design she still feels that the home is 2 ½ times larger than other surrounding homes. She is concerned about setting a precedent where homes are introduced that do not fit the character of the existing neighborhood. She feels that this home still encroaches on the neighbors' homes and is not consistent with this neighborhood. She expressed that this is not the right house for this site.

Leticia Fornataro felt the design was an improvement on what was previously presented.

Dave Wigg expressed that he can support the basic design but reserves judgement on approval until materials are presented.

INFORMAL REVIEW – DEMOLITION

- **359 Kilbourn Road**

The Applicant has applied for a demolition permit to allow the demolition of a single family dwelling. This property is Zoned Residential Neighborhood (RN). The demolition permit is to be issued on or after March 13, 2020. The structure is over 50 years old. This demolition has been advertised and a sign has been posted.

No representative was present to discuss this application with the Board.

Allen Reitz reviewed the application with the Board. This is an application to demolish a home which has fallen into disrepair. This demolition is not an action that the Board can block, however the Board feels this demolition will not have a negative impact on the neighborhood. Mr. Reitz reviewed the elements of the previous design that the owner would like to preserve namely the large chimney and the curved porch area. The new home will fit into the footprint of the previous one.

The Board commented that some detailing on the east elevation to break up the long flat plane is recommended.

OTHER

Allen Reitz announced that the farmstead on 132 East Street is currently for sale and discussed inquires that have been made regarding the zoning restrictions on this property.

REVIEW OF 1/23/2020 MINUTES

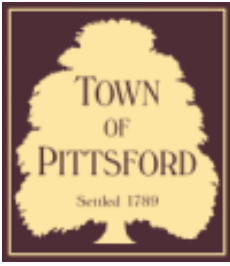
Bonnie Salem moved to approve the minutes of the 1/23/20 meeting with one change. Dirk Schneider seconded.

All Ayes.

The meeting adjourned at 8:37 pm.

Respectfully submitted,

Susan Donnelly
Secretary to the Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA24-000006

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 192 Knickerbocker Road PITTSFORD, NY 14534

Tax ID Number: 164.15-2-39.2

Zoning District: RN Residential Neighborhood

Owner: Ryder, Robert P

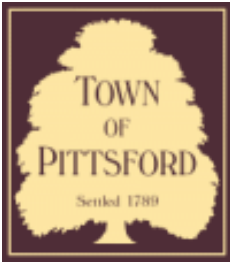
Applicant: Ryder, Robert P

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
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§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
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§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for exterior window and door changes at a Designated Historic Property. This property is zoned Residential Neighborhood (RN).

Meeting Date: June 26, 2025



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA24-000006

Phone: 585-248-6250

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Zoning District: RN Residential Neighborhood

Owner: Ryder, Robert P

Applicant: Ryder, Robert P

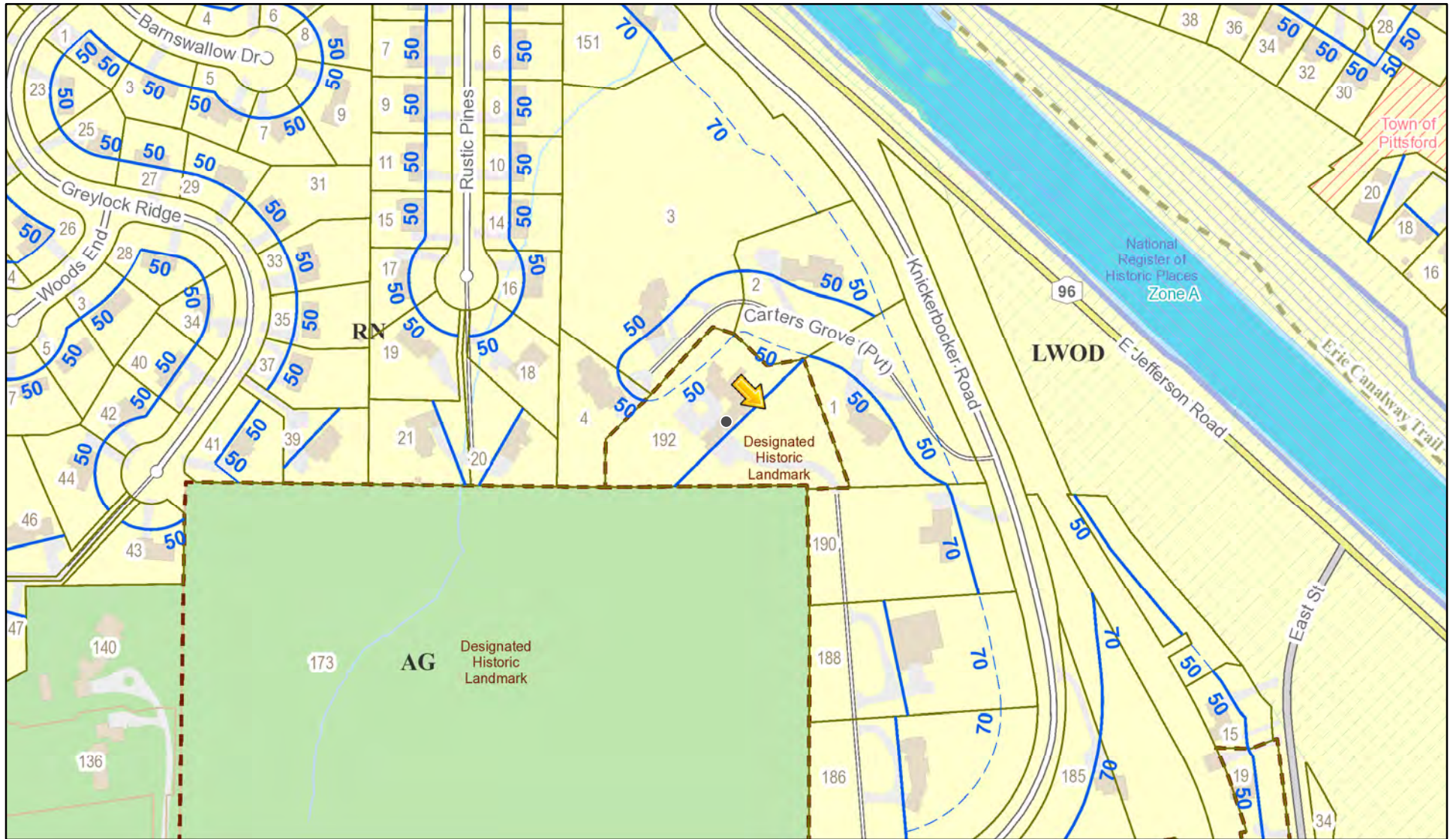
Application Type:

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|--|---|
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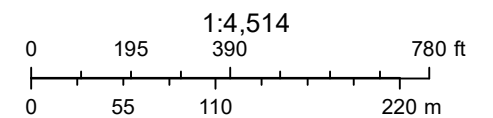
Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for exterior window and door changes at a Designated Historic Property. This property is zoned Residential Neighborhood (RN).

Meeting Date: March 13, 2025

RN Residential Neighborhood Zoning



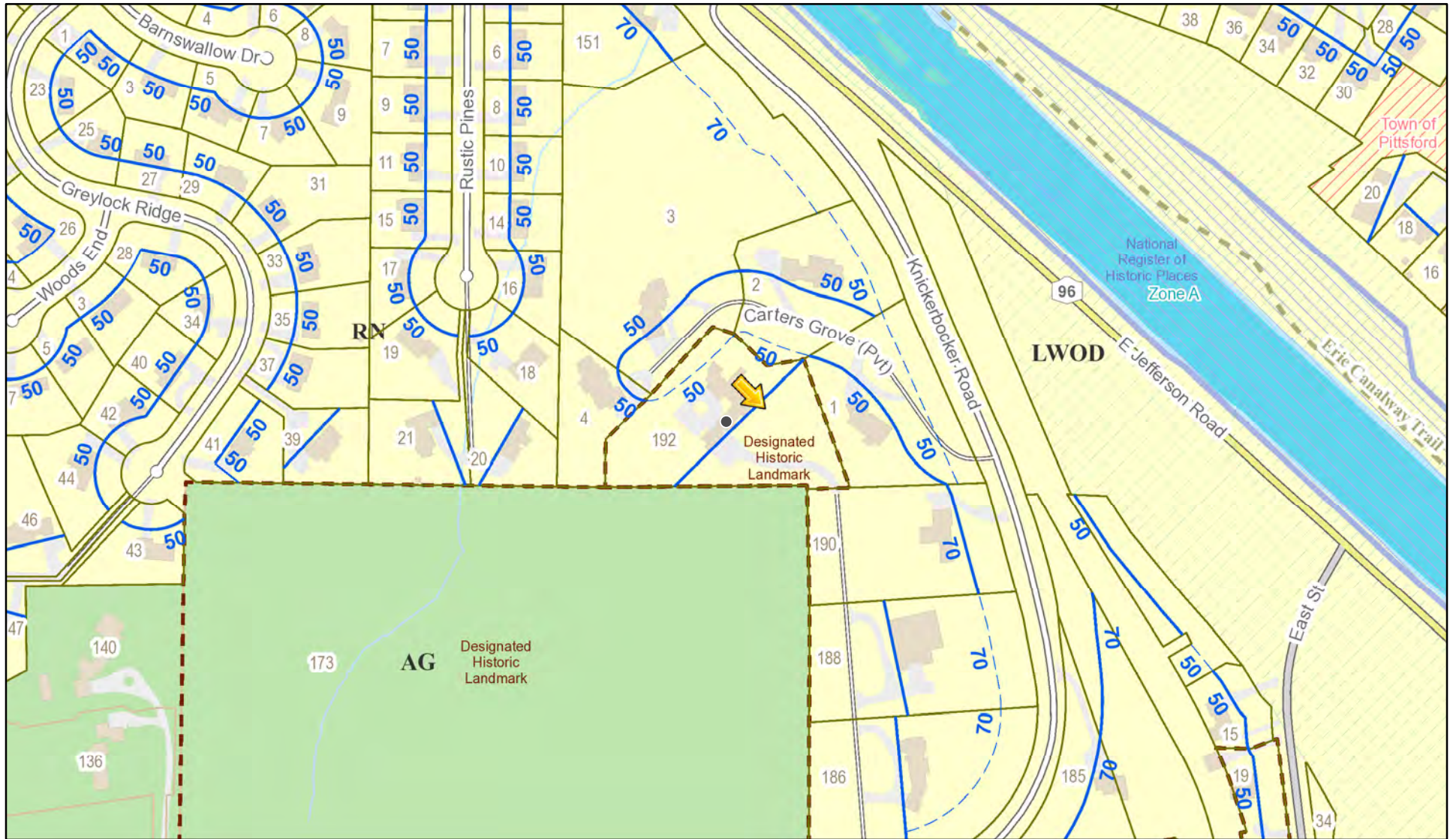
Printed November 21, 2024



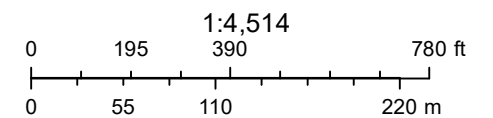
Town of Pittsford GIS

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RN Residential Neighborhood Zoning



Printed November 21, 2024



Town of Pittsford GIS

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Zone A

Thu Sep 5 2024

Imagery © 2024 Nearmap, HERE

136 100 ft

FIRM Panel
36055C0359G

FIRM Panel
36055C0359G

FIRM Panel
36055C0298G

Nearmap

ARK Design Studio

PO Box 44 | Phelps, NY | 585.613.5899 | ty@arketondesignstudio.com

***Larrabee Residence
192 Knickerbocker Rd
Proposed Modifications to DRHPB Approved Design***

June 18, 2025

Design Review and Historic Preservation Board - Town of Pittsford
11 S. Main Street
Pittsford, NY 14534

Members of the DRHPB:

The property owners of 192 Knickerbocker Rd. in the Town of Pittsford, Meaghan and Brendan Larrabee, would like to make the following modifications to the design that was previously approved by the Design Review and Historic Preservation Board:

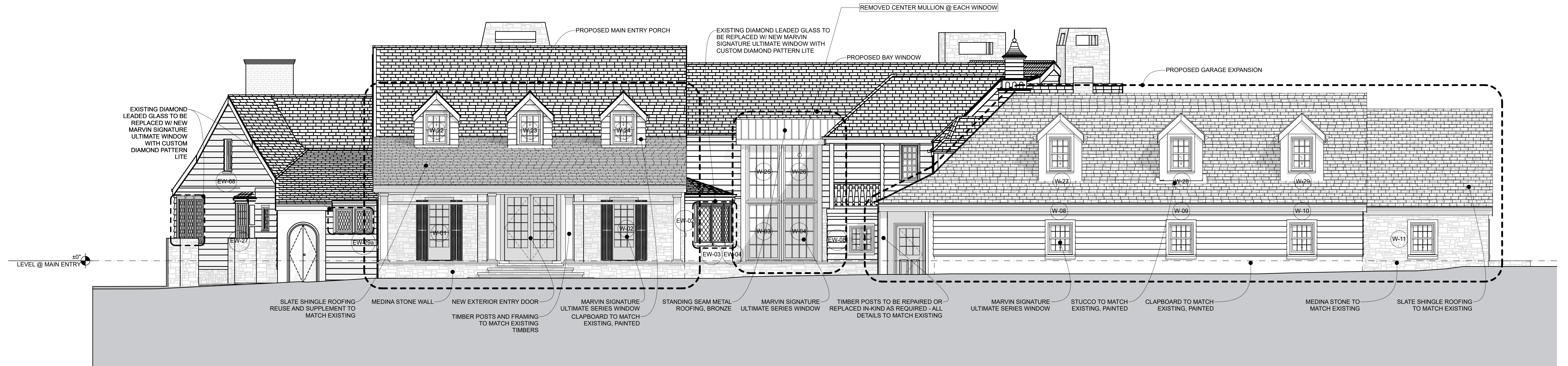
- West Elevation
 - Removal of the center mullion bay windows – consolidate into (4) large fixed windows
- South Elevation
 - Infill stonework at knee wall
 - Reconstruct chimney to match existing to accommodate new fireplace appliance requirements
- East Elevation
 - Add window to north side of fireplace to match window opposite side of fireplace
 - Widen second story windows and add center window
 - Enclose recessed side porch to provide additional interior space and alleviate bulk water concerns – gang windows together and make sizes consistent – relocate and replace exterior door
- North Elevation
 - Add new fixed window above kitchen sink to create visibility to vehicle court
 - Shift window at garage expansion 6" to west
 - Delete new window at garage expansion and provide new overhead door

The proposed modifications are indicated on the drawings which accompany this letter, by notes which have an outline around the text.

These proposed changes will allow for enhanced functionality of the home and will better accommodate the needs of the occupants and their intended usage of the spaces, while keeping with the historical nature of the building.

Sincerely,

Ty Allen, RA
ARK Architecture Design Studio, PLLC



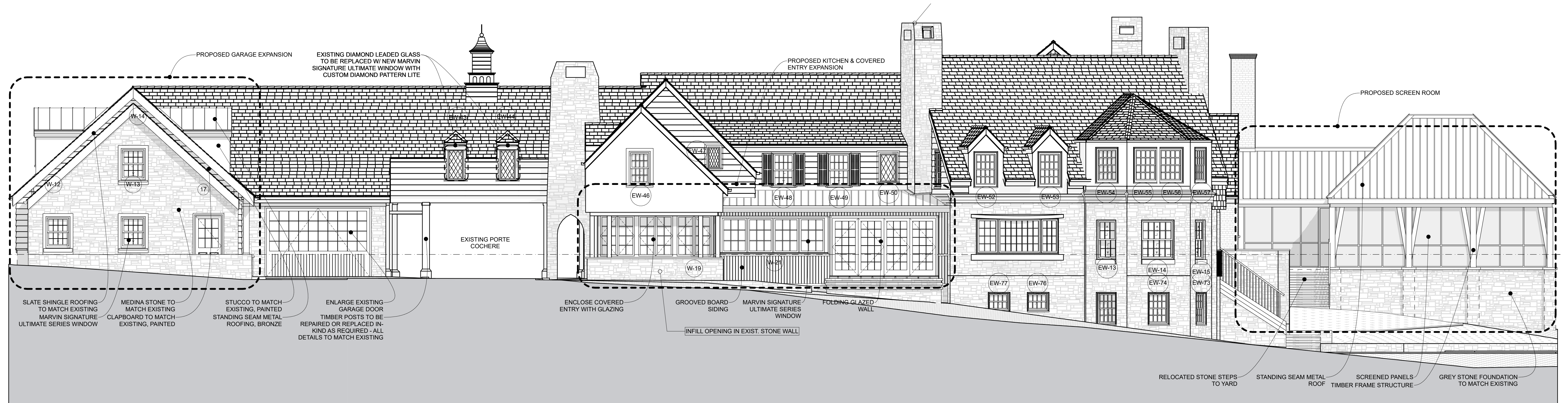
PROPOSED WEST ELEVATION

SCALE: 3/16" = 1'-0"



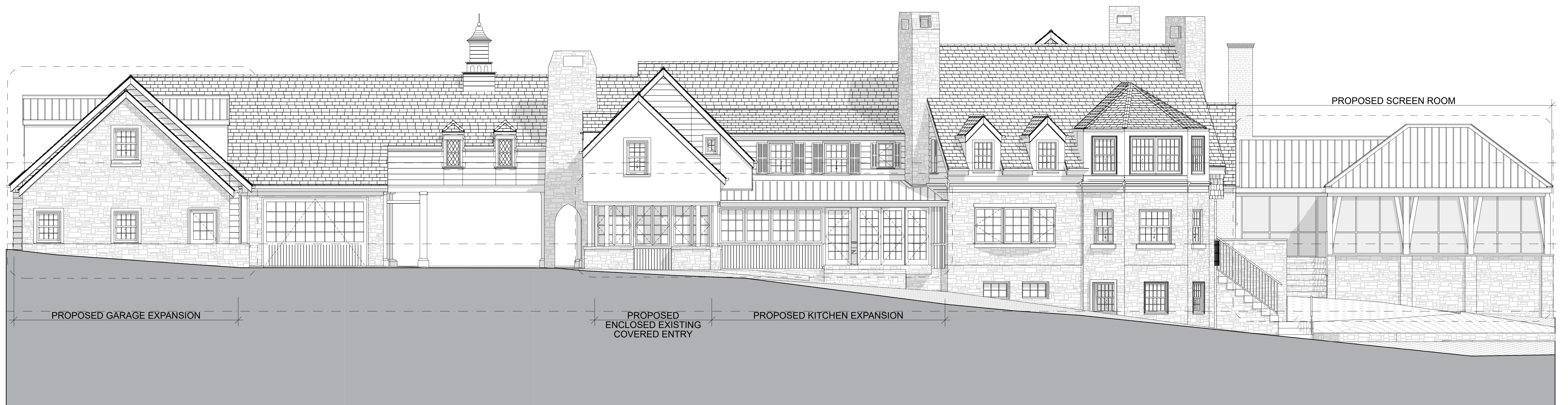
APPROVED WEST ELEVATION

SCALE: 3/16" = 1'-0"



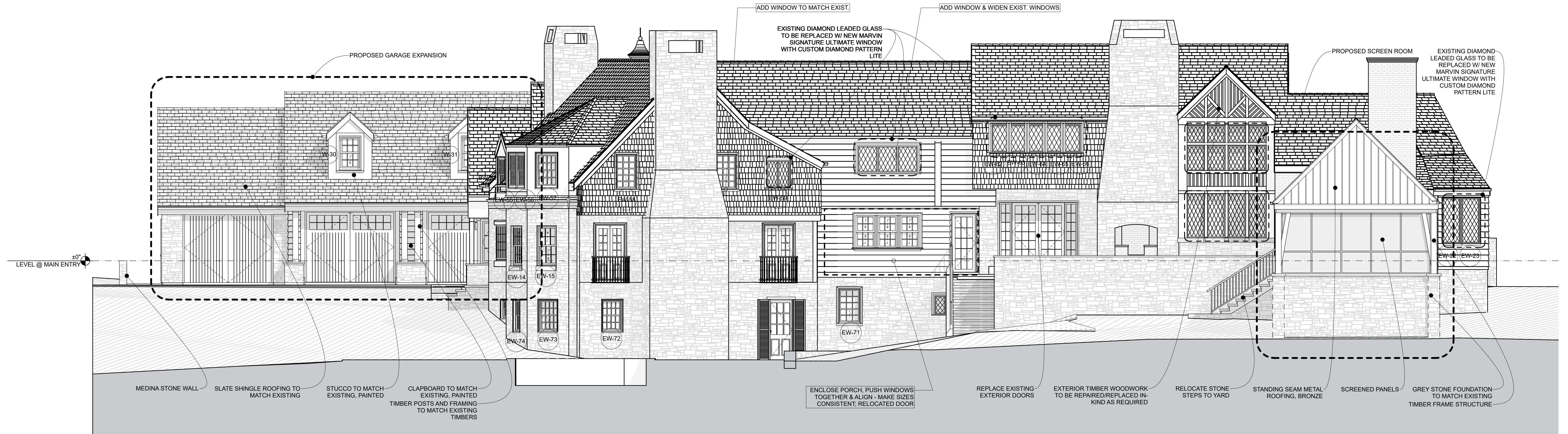
PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



APPROVED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



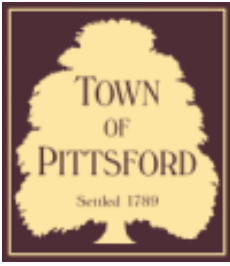
PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"



APPROVED EAST ELEVATION

SCALE: 3/16" = 1'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000071

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2 Laguna Lane PITTSFORD, NY 14534

Tax ID Number: 177.01-2-8.12

Zoning District: RN Residential Neighborhood

Owner:

Applicant: Dave Patnella

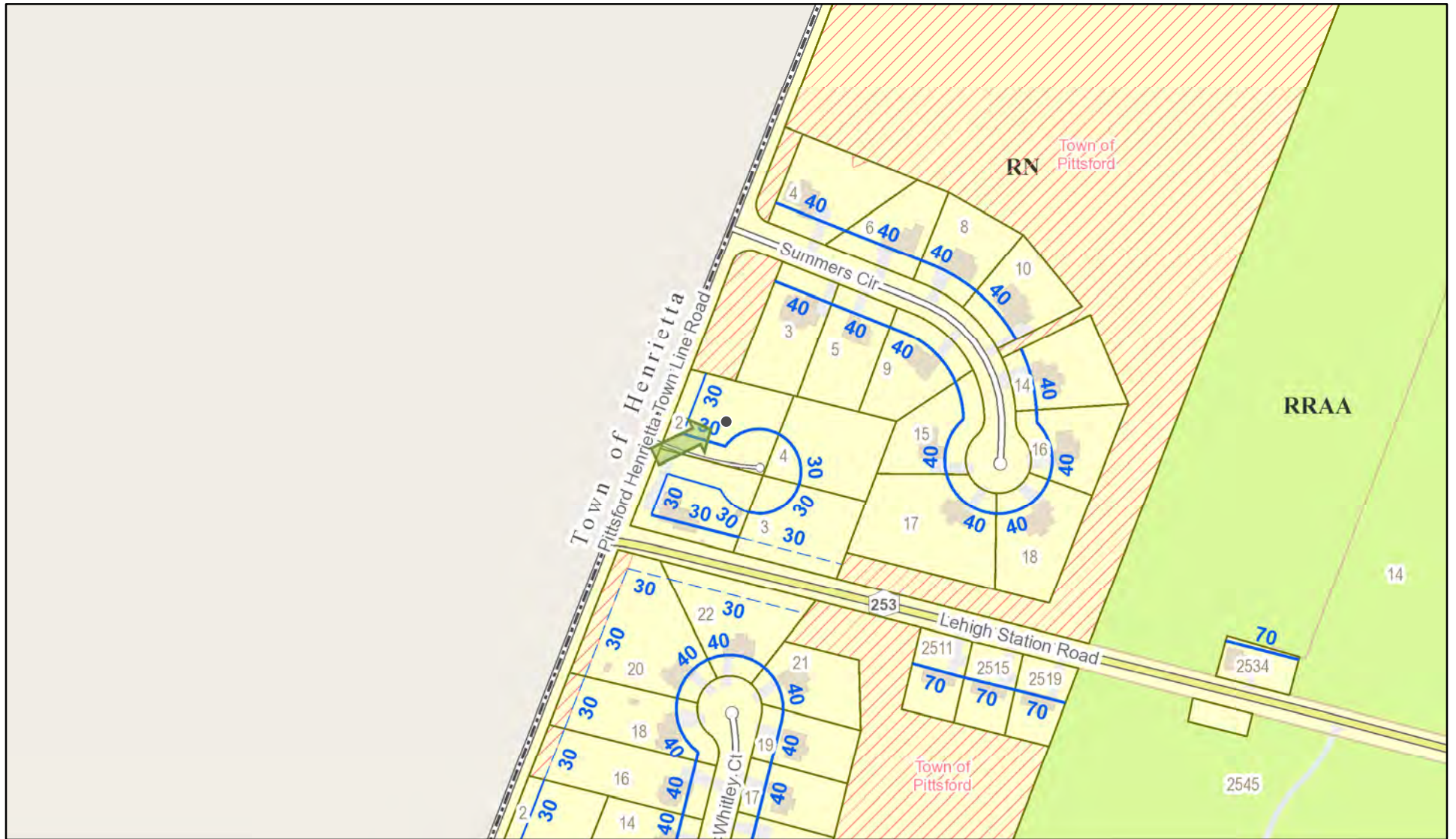
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
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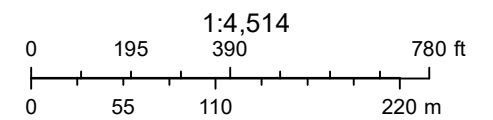
Project Description: Applicant is requesting design review for the construction of a two-story single-family home approximately 2581 square-feet.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning



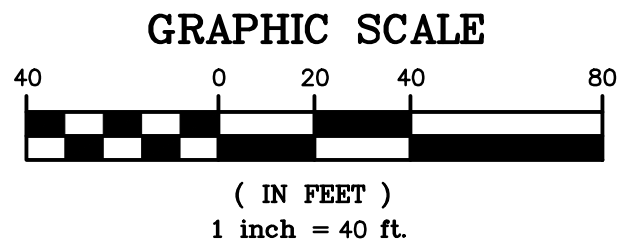
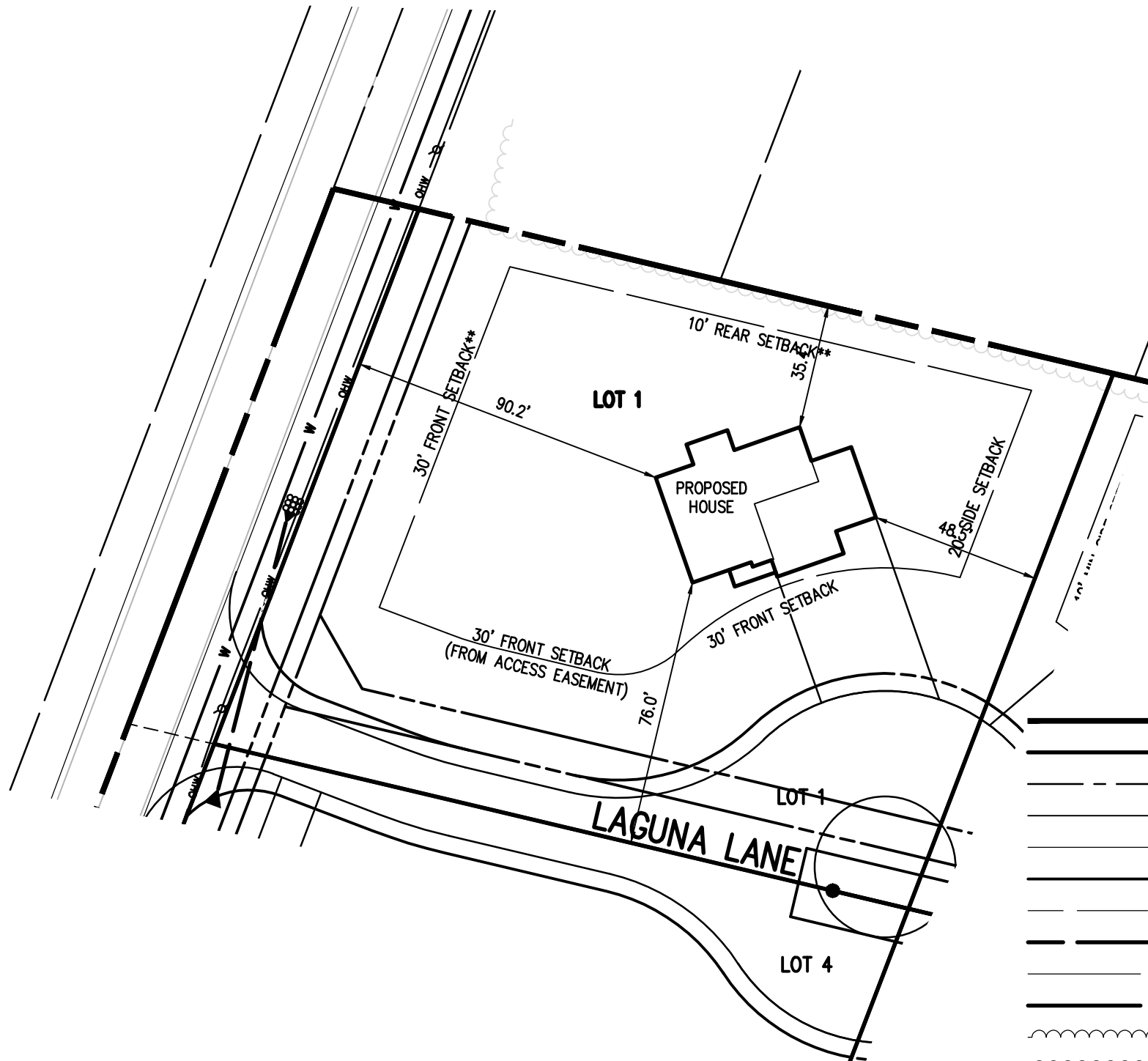
Printed May 13, 2025



Town of Pittsford GIS

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SEE BME PLAN SET (DRAWING
NUMBERS 2821-03 TO 2821-11)
FOR BOUNDARY & EASEMENT
INFORMATION, AS WELL AS UTILITY,
GRADING, EROSION CONTROL, AND
LANDSCAPING DETAILS AND NOTES.

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- PROPOSED WATERMAIN, HYDRANT, AND VALVE
- EXISTING STORM SEWER, MANHOLE, AND INLET
- PROPOSED STORM SEWER, MANHOLE, AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING CONTOUR W/ ELEVATION
- PROPOSED CONTOUR W/ ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE/GARAGE FLOOR
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- PROPOSED TEMPORARY DIVERSION SWALE

SITE PLANT MATERIALS LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
XX	XX					



P:\2821\Drawings\Prelim\2821 Design Base - LOT 1 GRADING PLOT PLAN.dwg

FINAL

LAGUNA LANE - LOT 1
GRADING PLOT PLAN

Town of Pittsford, Monroe County, New York

Date: 06/02/2025
Project Number: 2821

Scale:
1" = 40'

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7360
WWW.BMEPCOM

TABLE M-1505.4.3 (2)
INTERMITTENT (WEEK-HOUR) MECHANICAL VENTILATION RATE FACTORS^{a,b}

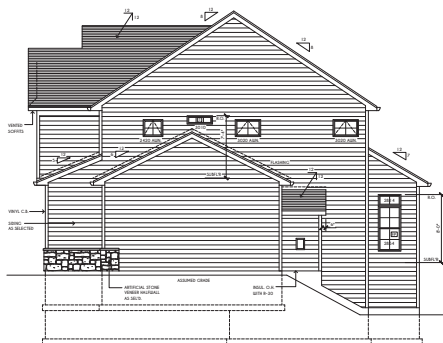
RUN-TIME PERCENTAGE (IN EA. 4-HOUR SEGMENT)	25k	33k	50k	66k	75k	100k
FACTOR ^c	4	3	2	1.5	1.3	1.0

^aFor ventilation system run times between those given, the factors are permitted to be determined by interpolation.

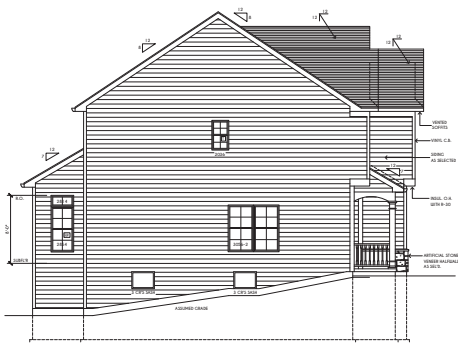
^bExtrapolation beyond the table is prohibited.

TABLE M-1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE- AND TWO-FAMILY DWELLING

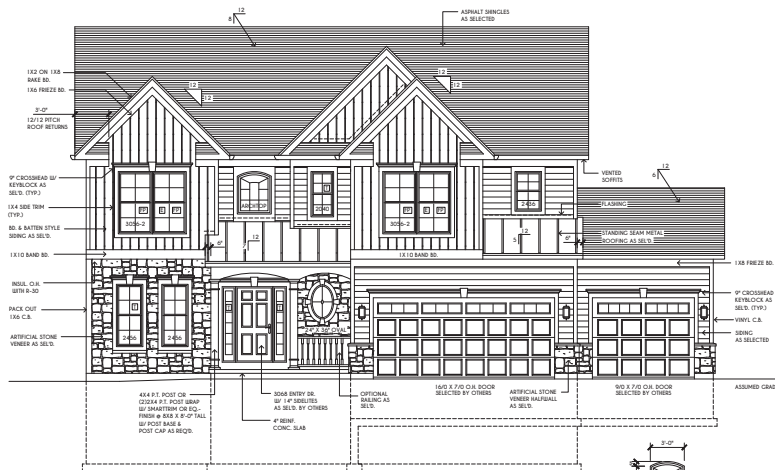
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 20 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



FRONT ELEVATION

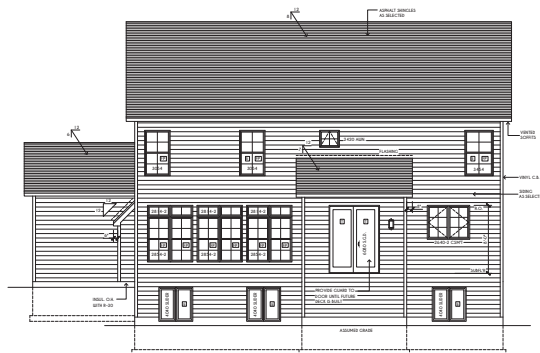
SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1144 SQ.FT.
SECOND FLOOR LIVING AREA = 1407 SQ.FT.
TOTAL LIVING AREA = 2551 SQ.FT.
TOTAL CONDITIONED VOLUME = 32,285 CU.FT.
(CONTRACTOR TO VERIFY)



CUSTOM ARCHTOP

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

[illegible]

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ARCHITECTURE. ANY UNAUTHORIZED
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LOT 1 LAGUNA LANE
PITTSFORD, NY

BUILDER:

DRP CONSTRUCTION

ELEVATIONS

GLA PLAN 255 I	
drawn: CDK	checked: CSB
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PROJECT: I 5307F	sheet: 1 / 5



GENERAL FOUNDATION / BASEMENT NOTES

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
ALL SINKHOLE R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF

NOT MORE THAN 4" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"

PROVIDE SLOD BLOCKS UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS

PROVIDE DEL. JACUING EA. SEE CF LOAD BEARING OPENINGS / + 4'-0"

ALL APPLIES TO BE 45 DEG. UNCLD.

ALL WINDOW SILL & JOCOR HEADINGS TO HAVE MIN. R-5 INSL. & TO BE MIN. (2X12)S OR (3X12)S (UNCLD.)

ALL WINDOWS TO BE OPENED BY HAND OR BY MIN. B-TYME ACTUATOR BY BUILDER

SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SEC. 813.14 OF 2020 BCNYS.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SEC. 915.3.3 FCNYC & BE WITHIN 10' OF ALL SLEEPING

REINFORCE FOUNDATION WALLS AS PER 2020 BCNYS. SEE PG. N-2 FOR REINFORCING CHARTS

SEE CONCRETE-ENCASED ELECTRODE DETAIL 10A-1

WINDOW / DOOR LEGEND:

- 11** - MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 IRC/NYS
- 12** - SPECIFIES THAT THIS FIXED OR OPERABLE
UNIT REQUIRES SAFETY GLAZING
PER SECT. R308.4 OF 2020 IRC/NYS
- 13** - SPECIFIES THAT THIS OPERABLE WINDOW
UNIT REQUIRES FACTORY APPLIED FALL PROTECTION
PER SECT. R312.2 OF 2020 IRC/NYS

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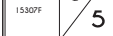
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PITTSFORD, NY

BUILDER:

DRP CONSTRUCTION

FOUNDATION PLAN

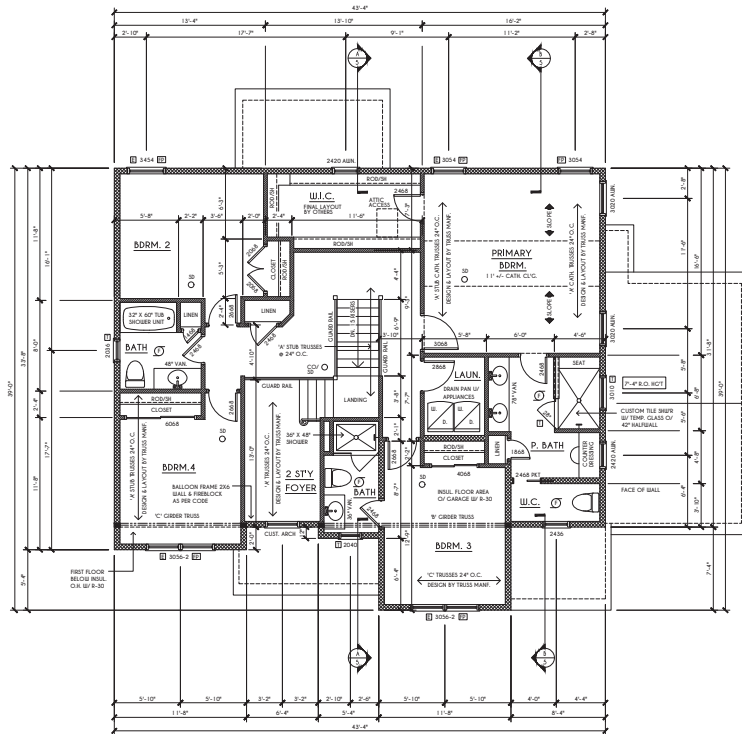
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SCALE: 1/8" = 1'-0"

A - 2X6 LAYOVER
RAFTERS 24" O.C.



SCALE: 1/4" = 1'-0"

1407 SQ.FT.

FRAMING LEGEND:

- - PROVIDE SOLID POSTING- GLUED & NAILD
EQUAL TO THE # OF HEADERS TO BE
SUPPORTED- UNLESS NOTED OTHERWISE
- - DROPPED HEADER
- - FLUSH HEADER
- - 2X4 STUDS @ 16" O.C.
- - 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR FLOOR FINISH NOTES:
 2.02 FLOOR PLATE H/CT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOER S.D. H/CTS TO BE 6'-10 1/2" UNDO.
 PROVIDE SLOE JACKING UNDER ALL BEARING POINTS BEING DOOR TO FOUNDATION WALL
 PROVIDE DEVL. BLOCKS UNDER 6" SIDE OF LOAD BEARING OPENINGS + / - 4'-0"
 ALL ANGLES TO BE 45 DEG. UNDO.
 ALL EXTERIOR WINDOER & DOOR H/CTS TO HAVE MIN. 8"X5 INSUL. & TO BE MIN. (2X2X8'S OR (3X2X8'S) UNDO.
 ALL APPLIANCES SHOULD BE BY OWNER OR AS PER CONTRACT BY RULER
 PROVIDE SMOKE DETECTOR (H/CT SHALL BE PER SECCT. 51.14 OF 2020 BCB)
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECCT. 9153.33 BCB & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOUGERS AND TUBS SHALL SEPARATE THEM FROM THE SHOUGER OR TUBS.

WINDOW / DOOR LEGEND:

- 1** - MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 - PER SECT. R310.2.1 OF 2020 RCNYS
- 11** - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING
 - PER SECT. R308.4 OF 2020 RCNYS
- 22** - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FLAME PROTECTION
 - PER SECT. R312.2.2 OF 2020 RCNYS

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SECOND FLOOR PLAN

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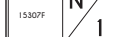
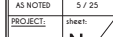
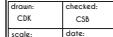
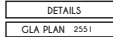
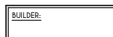
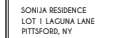
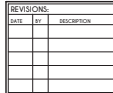
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TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE
FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER
CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



SECTIONS	
GLA PLAN 2551	
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[illegible]

4. POSITIVE SHALL BE SET IN A GRASS AND MASONRY SHALL BE SET IN A BARRING BED.

5. ALTERNATIVE REINFORCEMENT SHALL BE 3/8" AND SPACING SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT FOR UNLIFT FOOT OF SHALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 7" FOR 16# REINFORCING CATEGORIES A, B, C, AND D, AND 48# IN 16# REINFORCING CATEGORIES D, E, F, AND G.

6. REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE SECTION. FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF REINFORCEMENT REINFORCING SHALL BE NOT LESS THAN 5 INCHES.

7. SOIL JOISTS ARE TO BE ACCORDANCE WITH THE UNITED STATES CLASSIFICATION SYSTEM AND CENTER LATERAL SOIL LOADS ARE FOR THE DESIGN OF THE WALL.

8. UNBARRICADED CONCRETE WEIGHT IS TO BE DETERMINED IN HEIGHT BETWEEN THE EXISTING FIRM GROUND LINE, AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE EXISTING FIRM GROUND LINE, BASED AN INTERIOR CONCRETE SILL OR CHAIRS IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL.

9. UNBARRICADED CONCRETE SHALL BE REINFORCED WITH REINFORCING BAR FROM THE EXISTING FIRM GROUND LINE TO THE TOP OF THE INTERIOR CONCRETE SILL IS PERMITTED.

[illegible][illegible][illegible]

4. REINFORCING BARS SHALL BE TYPE OR GRADE AS SPECIFIED BY THE DESIGN ENGINEER.

5. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 7" BY DESIGN ENGINEER'S APPROVAL. REINFORCING BARS SHALL BE TYPE OR GRADE AS SPECIFIED BY THE DESIGN ENGINEER.

6. VERTICAL REINFORCING BARS SHALL BE CHASED 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

7. SOIL CLASSIFIED ARE IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM. SOIL LOADS ARE TO BE USED FOR DESIGN UNLESS OTHERWISE INDICATED BY THE DESIGN ENGINEER.

8. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXISTING FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, UNLESS OTHERWISE INDICATED BY THE DESIGN ENGINEER. THE HEIGHT OF THE EXISTING FINISH GROUND MEASUREMENT OF THE UNBALANCED BACKFILL SHALL BE FROM THE EXISTING FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

9. SEE THE TABLE BELOW FOR REINFORCED CONCRETE WALL DESIGN REQUIREMENTS.

PHYSICAL REQUIREMENT FOR A, B, D, AND LONG RANGE AIR DEFENSE BATTALION (ARDB)															
REPAIRMAN (3000) (1000)		EQUIPMENT REPAIRMAN (3000)	BULK CARGO AND PASSENGER AIRCRAFT (CARGO AND PASSENGER AIRCRAFT)												
			C-130, C-143, C-145, C-147, C-148, C-149, C-150, C-151, C-152, C-153, C-154, C-155, C-156, C-157, C-158, C-159, C-160, C-161, C-162, C-163, C-164, C-165, C-166, C-167, C-168, C-169, C-170, C-171, C-172, C-173, C-174, C-175, C-176, C-177, C-178, C-179, C-180, C-181, C-182, C-183, C-184, C-185, C-186, C-187, C-188, C-189, C-190, C-191, C-192, C-193, C-194, C-195, C-196, C-197, C-198, C-199, C-200, C-201, C-202, C-203, C-204, C-205, C-206, C-207, C-208, C-209, C-210, C-211, C-212, C-213, C-214, C-215, C-216, C-217, C-218, C-219, C-220, C-221, C-222, C-223, C-224, C-225, C-226, C-227, C-228, C-229, C-230, C-231, C-232, C-233, C-234, C-235, C-236, C-237, C-238, C-239, C-240, C-241, C-242, C-243, C-244, C-245, C-246, C-247, C-248, C-249, C-250, C-251, C-252, C-253, C-254, C-255, C-256, C-257, C-258, C-259, C-260, C-261, C-262, C-263, C-264, C-265, C-266, C-267, C-268, C-269, C-270, C-271, C-272, C-273, C-274, C-275, C-276, C-277, C-278, C-279, C-280, C-281, C-282, C-283, C-284, C-285, C-286, C-287, C-288, C-289, C-290, C-291, C-292, C-293, C-294, C-295, C-296, C-297, C-298, C-299, C-300, C-301, C-302, C-303, C-304, C-305, C-306, C-307, C-308, C-309, C-310, C-311, C-312, C-313, C-314, C-315, C-316, C-317, C-318, C-319, C-320, C-321, C-322, C-323, C-324, C-325, C-326, C-327, C-328, C-329, C-330, C-331, C-332, C-333, C-334, C-335, C-336, C-337, C-338, C-339, C-340, C-341, C-342, C-343, C-344, C-345, C-346, C-347, C-348, C-349, C-350, C-351, C-352, C-353, C-354, C-355, C-356, C-357, C-358, C-359, C-360, C-361, C-362, C-363, C-364, C-365, C-366, C-367, C-368, C-369, C-370, C-371, C-372, C-373, C-374, C-375, C-376, C-377, C-378, C-379, C-380, C-381, C-382, C-383, C-384, C-385, C-386, C-387, C-388, C-389, C-390, C-391, C-392, C-393, C-394, C-395, C-396, C-397, C-398, C-399, C-400, C-401, C-402, C-403, C-404, C-405, C-406, C-407, C-408, C-409, C-410, C-411, C-412, C-413, C-414, C-415, C-416, C-417, C-418, C-419, C-420, C-421, C-422, C-423, C-424, C-425, C-426, C-427, C-428, C-429, C-430, C-431, C-432, C-433, C-434, C-435, C-436, C-437, C-438, C-439, C-440, C-441, C-442, C-443, C-444, C-445, C-446, C-447, C-448, C-449, C-450, C-451, C-452, C-453, C-454, C-455, C-456, C-457, C-458, C-459, C-460, C-461, C-462, C-463, C-464, C-465, C-466, C-467, C-468, C-469, C-470, C-471, C-472, C-473, C-474, C-475, C-476, C-477, C-478, C-479, C-480, C-481, C-482, C-483, C-484, C-485, C-486, C-487, C-488, C-489, C-490, C-491, C-492, C-493, C-494, C-495, C-496, C-497, C-498, C-499, C-500, C-501, C-502, C-503, C-504, C-505, C-506, C-507, C-508, C-509, C-510, C-511, C-512, C-513, C-514, C-515, C-516, C-517, C-518, C-519, C-520, C-521, C-522, C-523, C-524, C-525, C-526, C-527, C-528, C-529, C-530, C-531, C-532, C-533, C-534, C-535, C-536, C-537, C-538, C-539, C-540, C-541, C-542, C-543, C-544, C-545, C-546, C-547, C-548, C-549, C-550, C-551, C-552, C-553, C-554, C-555, C-556, C-557, C-558, C-559, C-560, C-561, C-562, C-563, C-564, C-565, C-566, C-567, C-568, C-569, C-570, C-571, C-572, C-573, C-574, C-575, C-576, C-577, C-578, C-579, C-580, C-581, C-582, C-583, C-584, C-585, C-586, C-587, C-588, C-589, C-590, C-591, C-592, C-593, C-594, C-595, C-596, C-597, C-598, C-599, C-600, C-601, C-602, C-603, C-604, C-605, C-606, C-607, C-608, C-609, C-610, C-611, C-612, C-613, C-614, C-615, C-616, C-617, C-618, C-619, C-620, C-621, C-622, C-623, C-624, C-625, C-626, C-627, C-628, C-629, C-630, C-631, C-632, C-633, C-634, C-635, C-636, C-637, C-638, C-639, C-640, C-641, C-642, C-643, C-644, C-645, C-646, C-647, C-648, C-649, C-650, C-651, C-652, C-653, C-654, C-655, C-656, C-657, C-658, C-659, C-660, C-661, C-662, C-663, C-664, C-665, C-666, C-667, C-668, C-669, C-670, C-671, C-672, C-673, C-674, C-675, C-676, C-677, C-678, C-679, C-680, C-681, C-682, C-683, C-684, C-685, C-686, C-687, C-688, C-689, C-690, C-691, C-692, C-693, C-694, C-695, C-696, C-697, C-698, C-699, C-700, C-701, C-702, C-703, C-704, C-705, C-706, C-707, C-708, C-709, C-710, C-711, C-712, C-713, C-714, C-715, C-716, C-717, C-718, C-719, C-720, C-721, C-722, C-723, C-724, C-725, C-726, C-727, C-728, C-729, C-730, C-731, C-732, C-733, C-734, C-735, C-736, C-737, C-738, C-739, C-740, C-741, C-742, C-743, C-744, C-745, C-746, C-747, C-748, C-749, C-750, C-751, C-752, C-753, C-754, C-755, C-756, C-757, C-758, C-759, C-760, C-761, C-762, C-763, C-764, C-765, C-766, C-767, C-768, C-769, C-770, C-771, C-772, C-773, C-774, C-775, C-776, C-777, C-778, C-779, C-780, C-781, C-782, C-783, C-784, C-785, C-786, C-787, C-788, C-789, C-790, C-791, C-792, C-793, C-794, C-795,												

TEST CLASSIFIED ARE IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM REFER TO TABLE 344.1.

TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.

4. VERTICAL REINFORCEMENT WITH A YIELD STRENGTH OF 23,500 PSI AND 6 OR 7 SABS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE SHALL BE USED IN ACCORDANCE WITH SECTION 814.1.3.7.4.

5. MB INDICATES NO VERTICAL BARS REQUIRED FOR DESIGN, EXCEPT FOR 1" OR 2" SABS FORMED WITH SHOT-PIECE FORMS SPECIFIED IN UNLESS CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48" ON CENTER.

6. ALLOWABLE FRICTION-COEFFICIENT IS 0.35; UNLESS: (a) THE GROUP-ORIENTED END OF THE EASMENT SHALL BE INCHES.

7. INTERPOLATION IS NOT PERMITTED.

8. UNLESS SHOWN, USE REBAR #4 WITH ONE END OF UNREINFORCED BAR SHALL BE SABS SHALL BE SABS PLACED AT THE TOP AND BOTTOM BEHIND THE CENTER LINE.

9. VERTICAL REINFORCEMENT SABS SHALL BE LOCATED TO PROVIDE A COVER OF 1" OR INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER LINE SHALL BE LOCATED TO PROVIDE A COVER OF 1" OR INCHES MEASURED FROM THE INSIDE FACE OF THE WALL.

[illegible]

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT THAT PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
Sedimentary & foliated rock	6,000
SANDY GRAVEL AND/OR GRAVEL (G3 & G1)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY CLAY, AND CLAYEY GRAVEL (G2, SP, SM, DC, CL & C)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (ML, MH, CL & CLC)	1,500

[illegible][illegible]

SCALE: N.T.S. FIGURE R602.10.6.3

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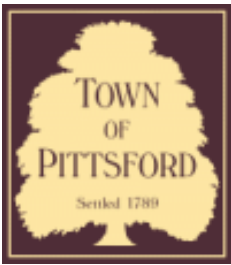
BUILDER:

DRP CONSTRUCTION

REINFORCING NOTES:

drawn:	checked:
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CDK	C58
scale: AS NOTED	date: 5 / 25
<u>PROJECT:</u> 15307F	sheet: N 2



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S25-000006

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 3400 Monroe Avenue ROCHESTER, NY 14618
Tax ID Number: 150.16-2-3
Zoning District: C Commercial
Owner: Pittsford Colony LLC
Applicant: Buffalo Erie Sign & Lighting,LLC DBA Flexlume

Application Type:

- ☐

Residential Design Review
§185-205 (B)
- ☐

Commercial Design Review
§185-205 (B)
- ☒

Signage
§185-205 (C)
- ☐

Certificate of Appropriateness
§185-197
- ☐

Landmark Designation
§185-195 (2)
- ☐

Informal Review
- ☐

Build to Line Adjustment
§185-17 (B) (2)
- ☐

Building Height Above 30 Feet
§185-17 (M)
- ☐

Corner Lot Orientation
§185-17 (K) (3)
- ☐

Flag Lot Building Line Location
§185-17 (L) (1) (c)
- ☐

Undeveloped Flag Lot Requirements
§185-17 (L) (2)

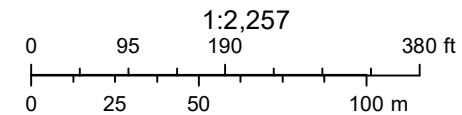
Project Description: Applicant is requesting design review for a 36.27 Sq Ft. sign above the garage doors. Meeting

Date: June 26, 2025

RN Residential Neighborhood Zoning



Printed June 18, 2025



Town of Pittsford GIS

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3300

420

430

430

410

410

420

3330

3340

3350

3380

3400

410

130

187

183

181

200

201

430

French Road

DUNN TIRE

Project No. 53021

Discount Tire Signage Package

3400 Monroe Ave

Rochester, NY 14618

Site Code: N/A



LEGEND

S1 (West) Front Elevation - Wall Sign

SIGNAGE CRITERIA

Code:
15sqft is permitted, plus an additional 5sqft per 1000sqft - Site is just over 8000sqft per the municipallity allowing us 55sq ft of signage

Landlord restrictions:
N/A

S1 5 X 8 + 15 = NTE 55 SF



425 N Martingale Rd
18th Floor
Schaumburg, IL 60173
Office 847.301.0510
identiti.net

W.O. No. 53021
Address 3400 Monroe Ave
City, ST Rochester, NY 14618

Orig. Draft 11.05.2024
Project Mgr. N/A
Designer IDV

Rev. Art DeeJay Morales
Rev. Date 04.16.2025
Page Rev. 002

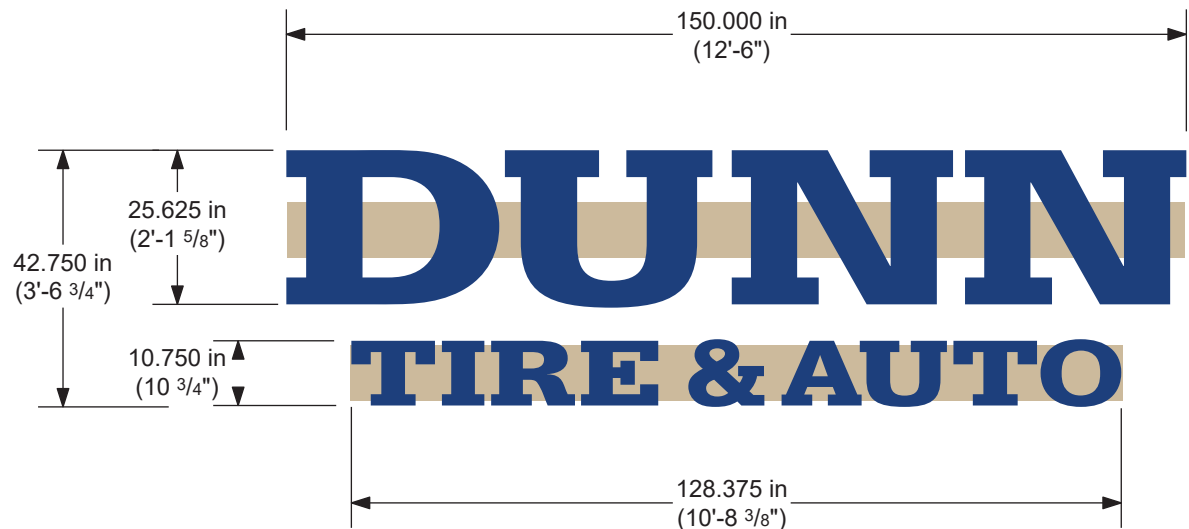
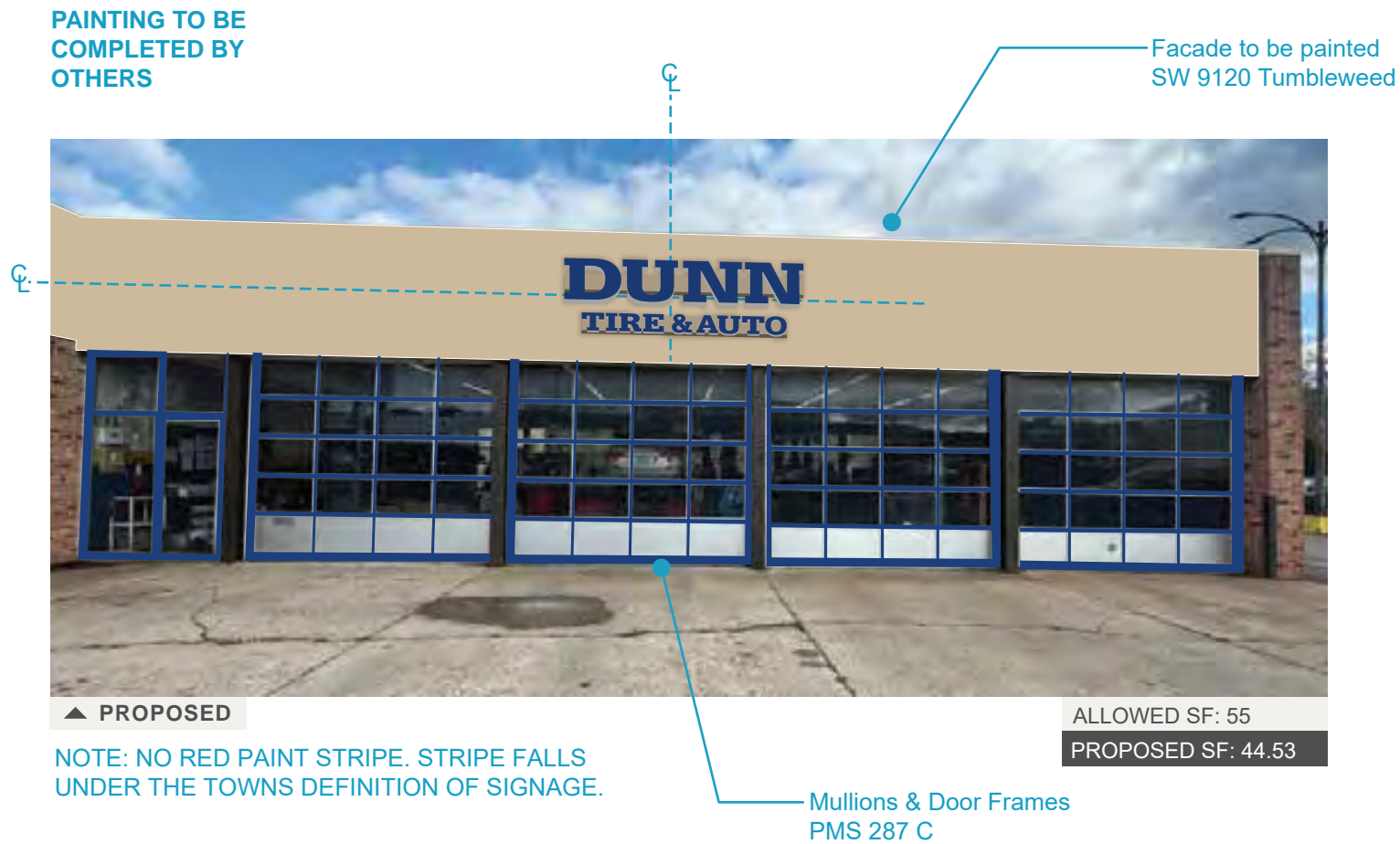
Customer



North



Plan View:
Site Plan
Exterior



SCALE: 3/8" = 12"



2000 Center Drive
Suite C411
Hoffman Estates, IL 60192
Office 847.301.0510
identiti.net

W.O. No. 53021
Address 3400 Monroe Ave
City, ST Rochester, NY 14618

Orig. Draft 11.05.2024
Project Mgr. N/A
Designer IDV

Rev. Art Nariel Jon
Rev. Date 05.21.2025
Page Rev. 003

Color Palette

- Face: White Acrylic
- Vinyl: Day/Night Digital Print to Match PMS 287 C
- Trims & Returns: Standard White

- Raceway: Painted to Match Facade SW 9120 Tumbleweed
- N/A

Sign Type:
LED Channel Letterset -
Front-Lit, Raceway Mounted

Signage:
S1
West Elevation



▲ EXISTING

PAINING TO BE COMPLETED BY OTHERS



▲ PROPOSED

NOTE: NO RED PAINT STRIPE. STRIPE FALLS UNDER THE TOWNS DEFINITION OF SIGNAGE

ALLOWED SF: 55

PROPOSED SF: 44.53



26.69 SF

9.58 SF

total = 36.27 SF

SCALE 3/8" = 12"



2000 Center Drive
Suite C411
Hoffman Estates, IL 60192
Office 847.301.0510
identiti.net

W.O. No. 53021
Address 3400 Monroe Ave
City, ST Rochester, NY 14618

Orig. Draft 11.05.2024
Project Mgr. N/A
Designer IDV

Rev. Art Nariel Jon
Rev. Date 05.21.2025
Page Rev. 003



Face: White Acrylic
Vinyl: Day/Night Digital Print
to Match PMS 287 C
Trims & Returns: Standard White

Raceway: Painted to Match Facade
SW 9120 Tumbleweed
N/A

Sign Type:	Signage:
LED Channel Letterset -	S1
Front-Lit, Raceway Mounted	West Elevation

DUNN TIRE & AUTO

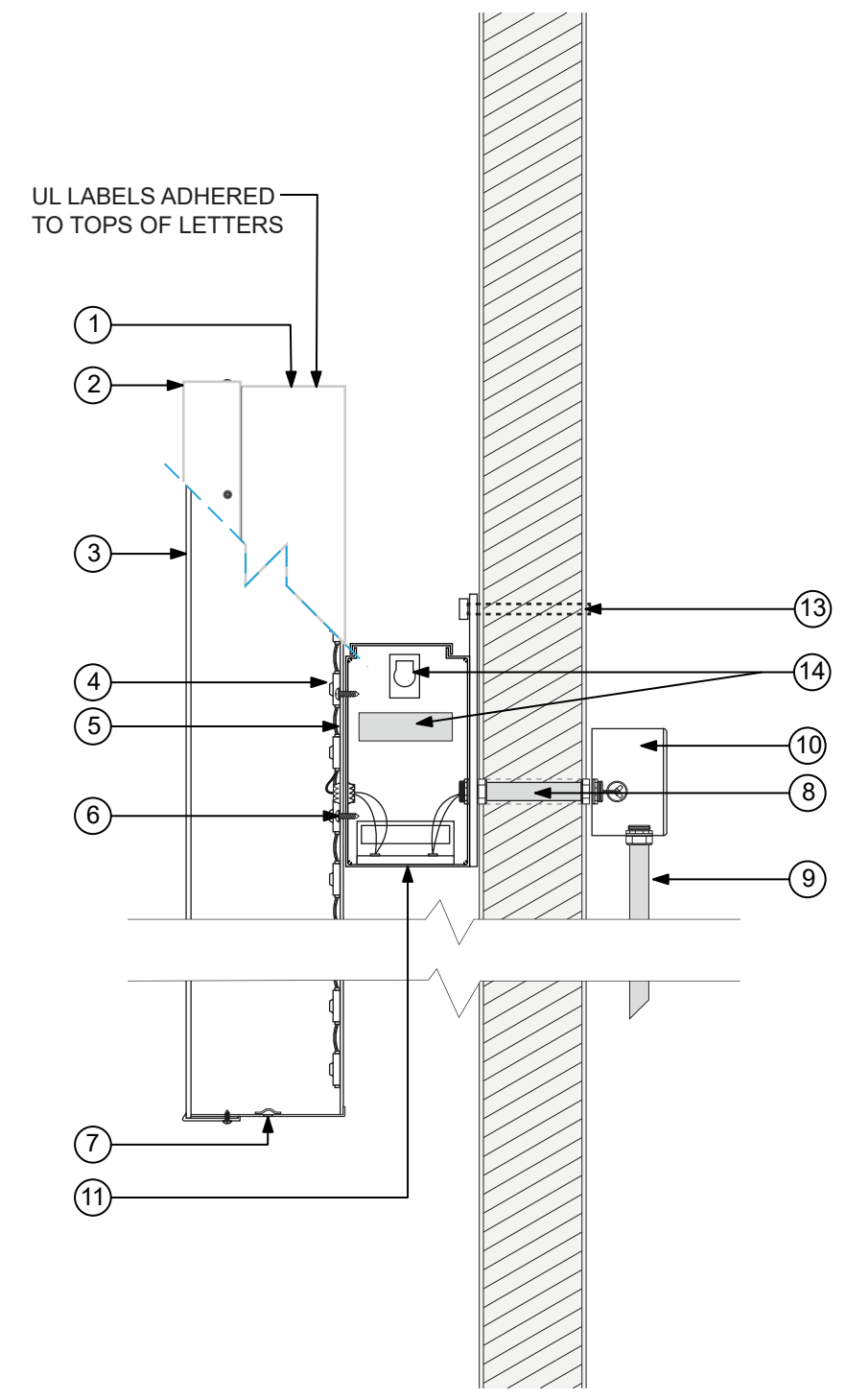
*RACEWAYS >10' WILL HAVE SEAMS
SEAMS TO BE DETERMINED BY PRODUCTION

LETTER SPECIFICATIONS

- 1 0.040 ALUMINUM RETURNS (3" DEPTH): PAINTED PMS 287 C
*USE 0.063 ALUMINUM FOR LETTERS >60"
- 2 1" TRIM CAP: (WITH JEWELITE WASHER HEAD PHILLIPS SCREWS)
STANDARD WHITE
- 3 3/16 ACRYLIC FACE: PLEXIGLAS #2447 WITH
FIRST SURFACE APPLIED DIGITAL PRINT
LETTERS PERFORATED (DAY/NIGHT) TO MATCH PMS 287 C
- 4 LED UNITS (WHITE):
ALL LEDS TERMINATED WITH WIRENUTS
- 5 0.063 ALUMINUM BACK: [ANYTHING OVER 24" TO BE 0.090]
PRECOAT WHITE FINISH
- 6 MOUNTING HARDWARE:
APPROPRIATE TO SECURE LETTERS TO STRUCTURE
- 7 WEEP HOLES W/ LIGHT BAFFLES

RACEWAY SPECIFICATIONS

- 8 WATERPROOF FLEXIBLE CONDUIT:
GROUNDED WALL PASS-THRU (WATER TIGHT SEAL)
- 9 PRIMARY POWER CIRCUIT (PROVIDED/PERMITTED BY OTHERS)
TO BE PLACED WITHIN 5 FEET OF CENTER OF SIGN
- 10 CONDUIT:
SECONDARY ELECTRICAL RUN (WHEN NEEDED)
- 11 6" X 4" DEPTH UL LISTED EXTRUDED RACEWAY W/
UL HOUSING W/ PWR SUPPLY (QTY VARIES)
- 12 RACEWAY COLOR:
PAINTED TO MATCH FACADE
- 13 MOUNTING HARDWARE: APPROPRIATE TO SECURE TO FACADE
(SUPPLIED WITH 3/8" THREADED SPEED CLIPS)
- 14 DISCONNECT SWITCH
AND SERVICE LABEL



SCALE: NTS



2000 Center Drive
Suite C411
Hoffman Estates, IL 60192
Office 847.301.0510
identiti.net

W.O. No. 53021
Address 3400 Monroe Ave
City, ST Rochester, NY 14618

Orig. Draft 11.05.2024
Project Mgr. N/A
Designer IDV

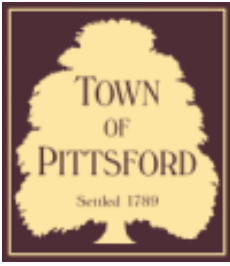
Rev. Art Nariel Jon
Rev. Date 05.21.2025
Page Rev. 003

Color Palette
Face: White Acrylic
Vinyl: Day/Night Digital Print
to Match PMS 287 C
Trims & Returns: Standard White

Raceway: Painted to Match Facade
SW 9120 Tumbleweed
N/A

Sign Type:
LED Channel Letterset -
Front-Lit, Raceway Mounted

Signage:
S1
Sign Specifications



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S25-000007

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3330 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-16

Zoning District: C Commercial

Owner: 3330 Monroe Ave LLC

Applicant: Sign Pro

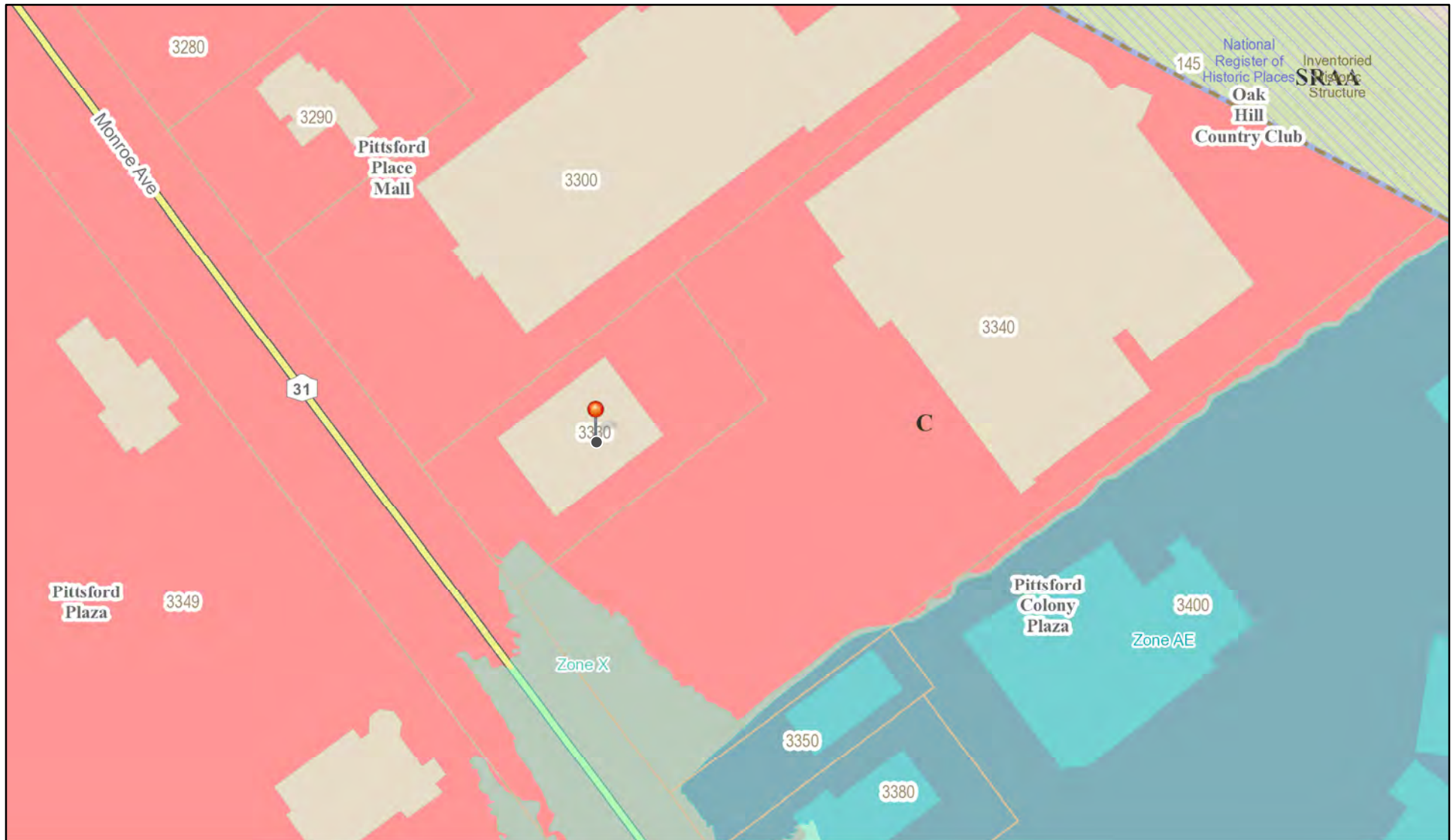
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

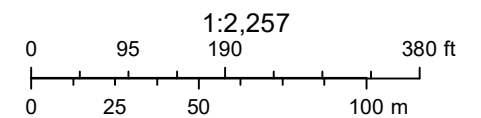
Project Description: Applicant is requesting design review for a total of 75 Sq Ft. signage.

Meeting Date: June 26, 2025

RN Residential Neighborhood Zoning



Printed January 17, 2024



Town of Pittsford GIS

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Community Bank - Loc 346 Pittsford NY (3330 Monroe Ave) - Exterior - PAG-2576 - DeNovo

Pittsford, NY • Job# 81350 • Revision 7 • June 18, 2025



60 Westfield Drive
Plantsville, CT 06479
860.229.1812

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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UNLESS OTHERWISE NOTED

- Revisions:
- BSA - 12/17/2024 - Rv. 1
 - BSA - 5/14/2025 - Rv. 2
 - BSA - 6/9/2025 - Rv. 3
 - BSA - 6/13/2025 - Rv. 4
 - BSA - 6/16/2025 - Rv. 5
 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree



C 0
M 82
Y 100
K 0

PANTONE 1665CP



C 0
M 0
Y 0
K 100

BLACK

COLOR PALETTE

Community Bank's color palette offers a distinctive combination within the banking and financial sector. The colors reflect the brand's personality and convey a feeling of warmth, strength and stability.

PRIMARY BRAND COLORS

PANTONE 1665CP



C 0 R 203
M 82 G 74
Y 100 B 32
K 0

HEX CB4A20

BLACK

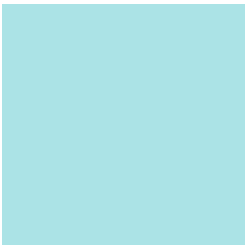


C 0 R 0
M 0 G 0
Y 0 B 0
K 100

HEX: 000000

ACCENT BRAND COLOR

PANTONE 317C



C 24 R 192
M 0 G 228
Y 14 B 222
K 0

HEX C0E4DE

UNCOATED FORMULAS

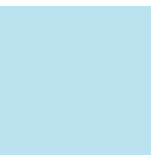
When printing on UNCOATED paper (such as newsprint), changing to these formulas will achieve a more accurate result.

PANTONE 165UP



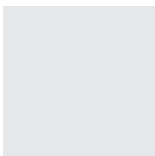
C 0
M 63
Y 99
K 0

PANTONE 7457U

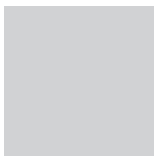


C 20
M 0
Y 10
K 0

SECONDARY BRAND COLORS



C 0 R 230
M 0 G 230
Y 0 B 230
K 10



C 0 R 210
M 0 G 210
Y 0 B 210
K 20



C 0 R 190
M 0 G 190
Y 0 B 190
K 30



C 0 R 150
M 0 G 150
Y 0 B 150
K 50



C 0 R 90
M 0 G 90
Y 0 B 90
K 80

Client to verify all text and information. Sign Pro makes every effort to correctly transcribe your signage. The client is ultimately responsible for any incorrect dates, names and/or information.

CUSTOMER APPROVAL



APPROVED



APPROVED AS NOTED



REVISE & RESUBMIT

PRINT

SIGN

DATE

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812



SIGN TYPE

Color Code

PAGE

2 of 22



Project Address:
Pittsford, NY

SPI WO #: 81350

Issue Date: 9/16/2024

Account Manager:

Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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Revisions:

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- BSA - 6/16/2025 - Rv. 5
- BSA - 6/17/2025 - Rv. 6
- BSA - 6/18/2025 - Rv. 7

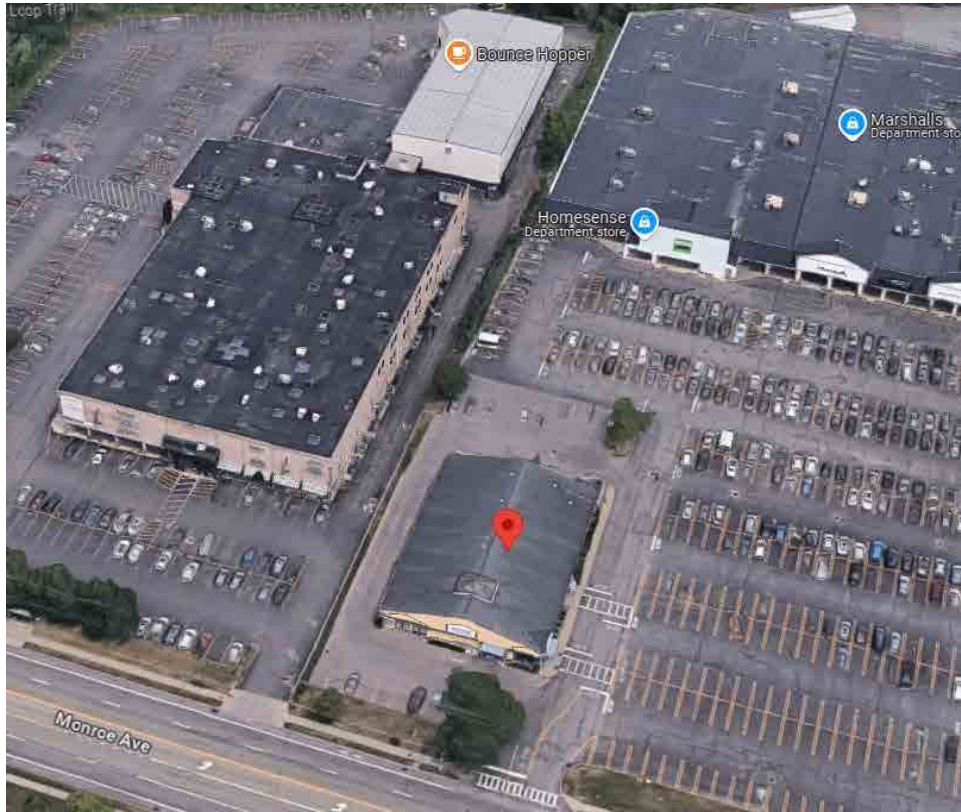
Font Family: Figtree

C 0 M 82 Y 100 K 0 PANTONE 1665CP

C 0 M 0 Y 0 K 100 BLACK

SIGN TYPE
CODE

PAGE
3 of 22



No freestanding signs are allowed. Sign allowance for this property (as of May 1, 2025) is 70 sf, as the total size of the building is 11,350 sf. Formula for signage is 15 sf for the first 1,000 sf of area and an additional 5 sf for each additional 1,000 sf of lease area. Window signs are not allowed. Directional signs such as Enter and exit are permitted at 18”H x 36”W with black block lettering on white background with no branding.

Client to verify all text and information. Sign Pro makes every effort to correctly transcribe your signage. The client is ultimately responsible for any incorrect dates, names and/or information.

CUSTOMER APPROVAL

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☐ REVISE & RESUBMIT

PRINT

SIGN

DATE

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812



Illuminated Channel Letters (South Elevation)
24in Letter Set



Existing Signage (NOTE: Signage for previous bank tenant)



Proposed Signage

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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 - BSA - 6/13/2025 - Rv. 4
 - BSA - 6/16/2025 - Rv. 5
 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

 C 0 M 82 Y 100 K 0 PANTONE 1665CP

 C 0 M 0 Y 0 K 100 BLACK

Client to verify all text and information. Sign Pro makes every effort to correctly transcribe your signage.
The client is ultimately responsible for any incorrect dates, names and/or information.

CUSTOMER APPROVAL ☐ APPROVED ☐ APPROVED AS NOTED ☐ REVISE & RESUBMIT



60 Westfield Drive
Plantsville, CT 06479
860.229.1812



Illuminated Channel Letters
Proposed Signage



Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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UNLESS OTHERWISE NOTED

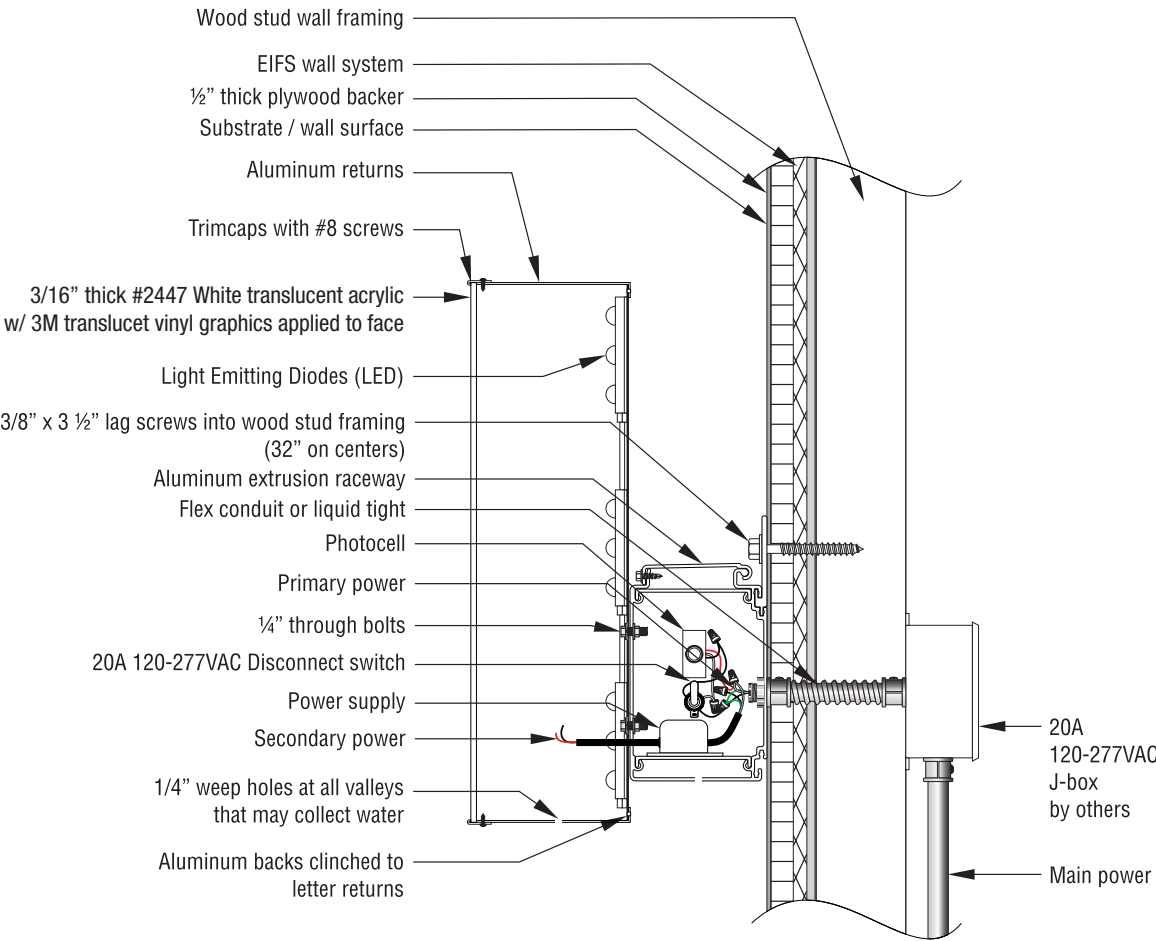
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- BSA - 12/17/2024 - Rv. 1
- BSA - 5/14/2025 - Rv. 2
- BSA - 6/9/2025 - Rv. 3
- BSA - 6/13/2025 - Rv. 4
- BSA - 6/16/2025 - Rv. 5
- BSA - 6/17/2025 - Rv. 6
- BSA - 6/18/2025 - Rv. 7

Font Family: Figtree



"Community Bank" vinyl is black day / white night perf.
"Logo" vinyl is 3M Trans Burnt Orange
IL-CL-24



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PRINT SIGN DATE

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812

SIGN TYPE
IL-CL-24

PAGE
5 of 22

Illuminated Channel Letters (East Elevation)
Proposed Signage



Orange box shows CBNA entrance doors that will receive door panels shown on the following pages

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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 - BSA - 6/16/2025 - Rv. 5
 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

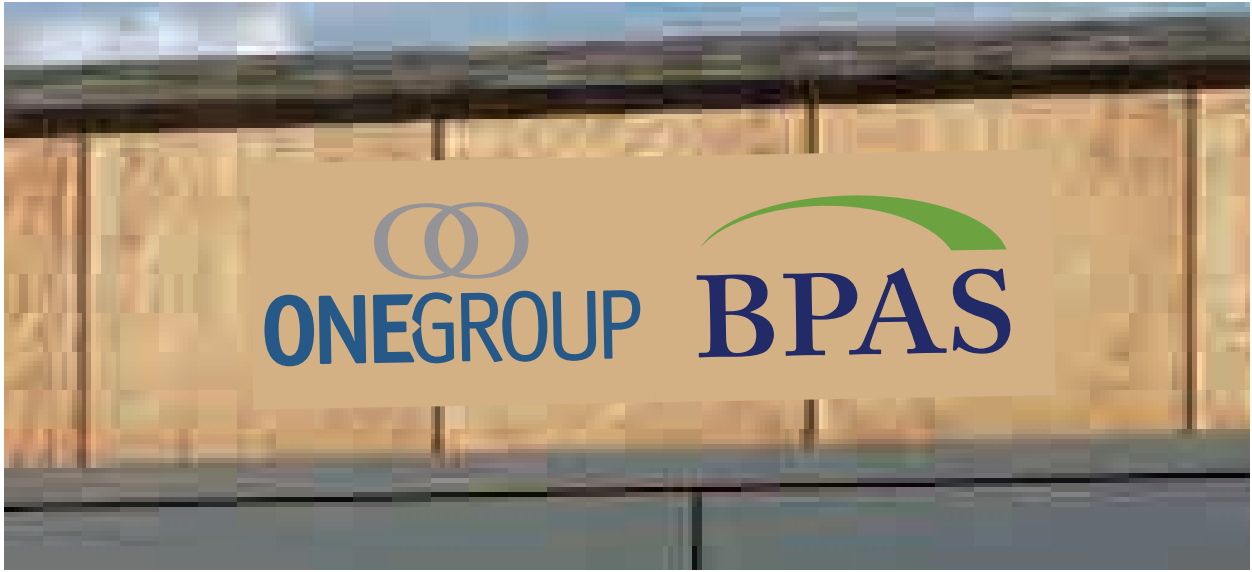
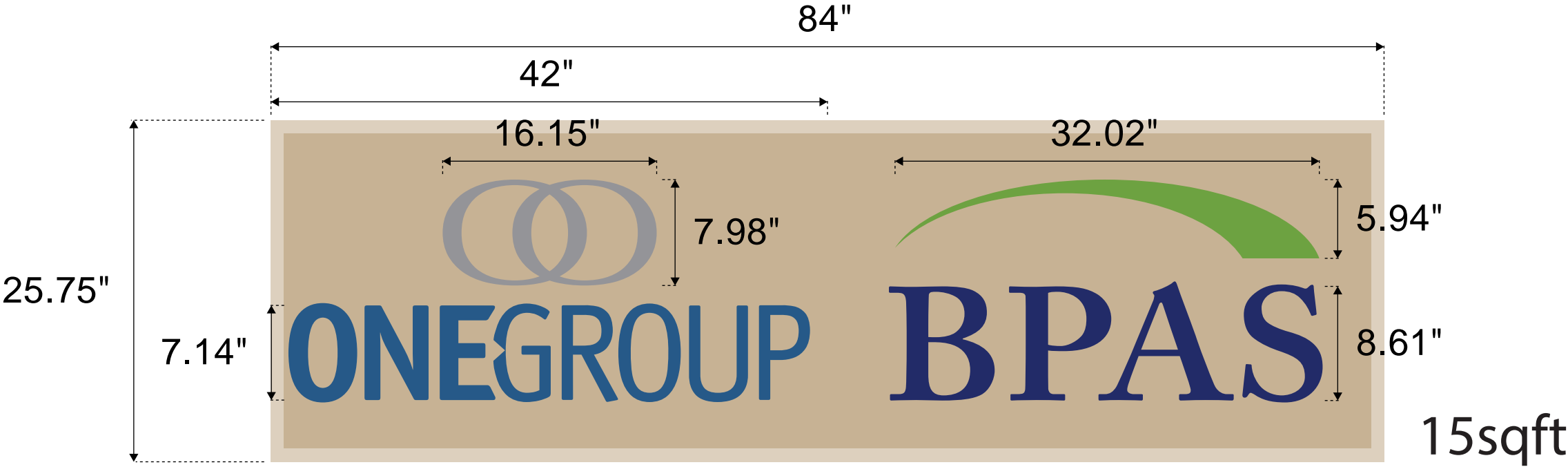
C 0
M 82
Y 100
K 0

PANTONE 1665CP

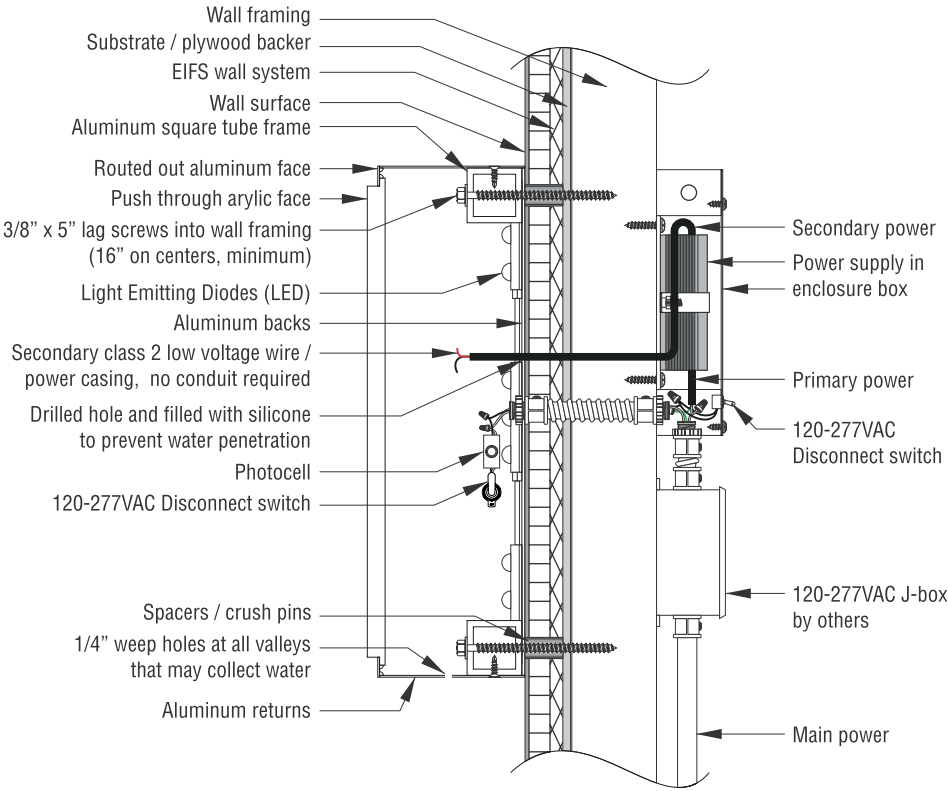
C 0
M 0
Y 0
K 100

BLACK

Illuminated Channel Letters (East Elevation)
Proposed Signage



3'8"



Community
BANK

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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Revisions:

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- BSA - 6/9/2025 - Rv. 3
- BSA - 6/13/2025 - Rv. 4
- BSA - 6/16/2025 - Rv. 5
- BSA - 6/17/2025 - Rv. 6
- BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

C 0 M 82 Y 100 K 0	PANTONE 1665CP
C 0 M 0 Y 0 K 100	BLACK

Client to verify all text and information. Sign Pro makes every effort to correctly transcribe your signage.
The client is ultimately responsible for any incorrect dates, names and/or information.

CUSTOMER APPROVAL

☐ APPROVED

☐ APPROVED AS NOTED

☐ REVISE & RESUBMIT

PRINT

SIGN

DATE

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812



SIGN TYPE

NL-DL

PAGE

7 of 22

Entry Door Vinyl Graphics
Exterior Second Surface Application

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

DRAWINGS ARE NOT TO SCALE
UNLESS OTHERWISE NOTED

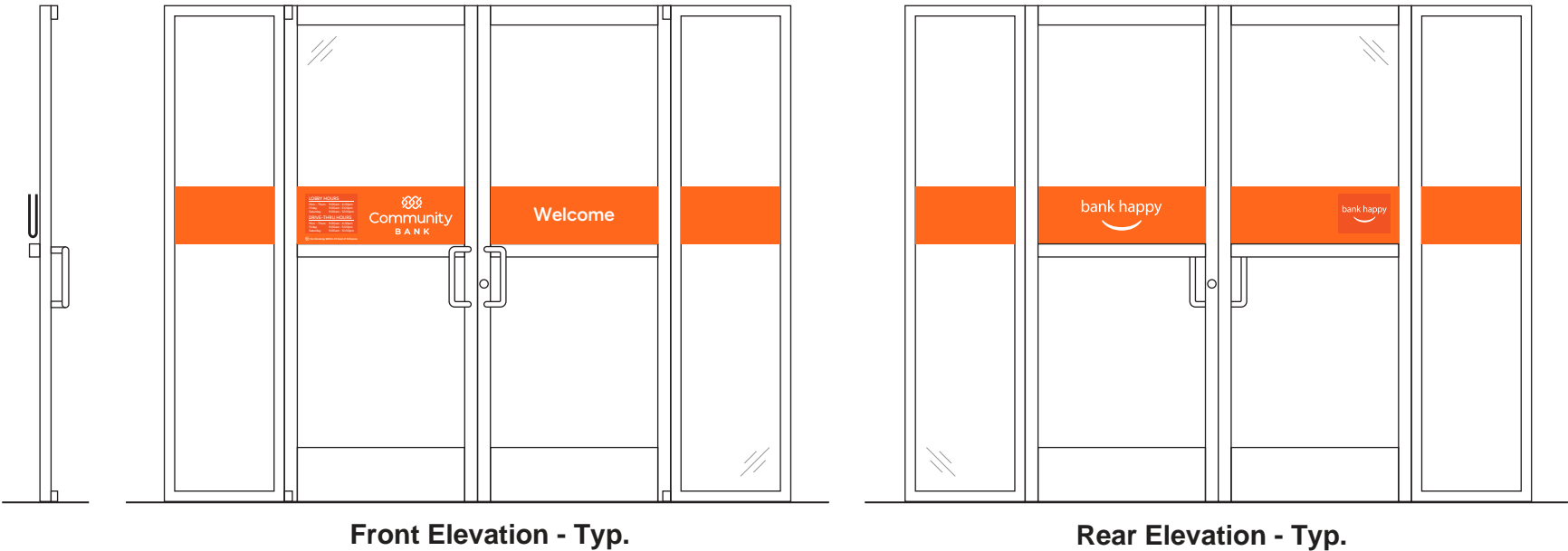
Revisions:

- BSA - 12/17/2024 - Rv. 1
- BSA - 5/14/2025 - Rv. 2
- BSA - 6/9/2025 - Rv. 3
- BSA - 6/13/2025 - Rv. 4
- BSA - 6/16/2025 - Rv. 5
- BSA - 6/17/2025 - Rv. 6
- BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

C 0 M 82 Y 100 K 0
PANTONE 1665CP

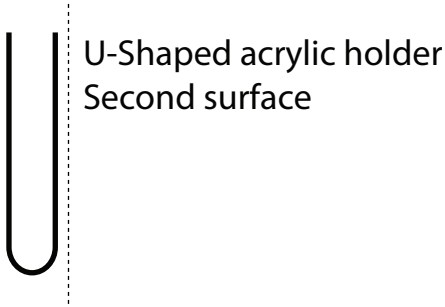
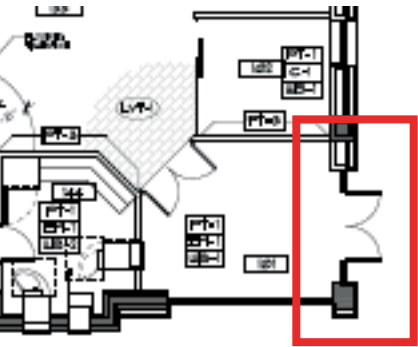
C 0 M 0 Y 0 K 100
BLACK



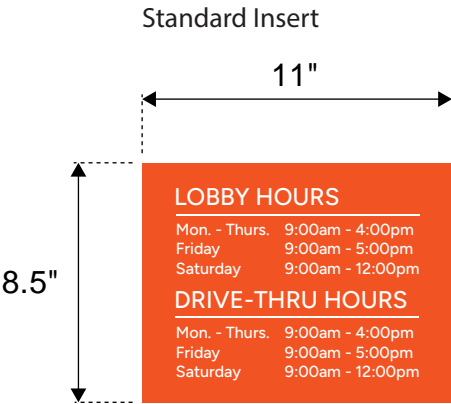
Door Graphics
Door graphics are available to welcome customers and provide branch operation information. These signs are adhered to the glass door, second surface (inside) based on function and need. Bands should be installed above push bars and any subsequent doors will have bands installed at the same height.

Note: Side lites vary per location.
Use U-Shaped acrylic holder

Hours must be confirmed by
Community Bank prior to manufacturing.
Messages should be displayed in initial caps.

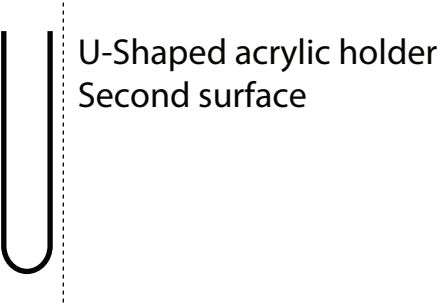


Entry Door Vinyl Graphics
Second Surface Application



1mm Sintra insert

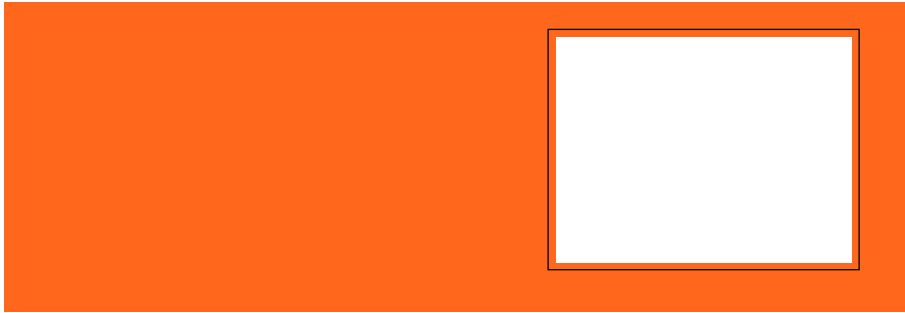
Secondary Inserts



U-Shaped acrylic holder
Second surface



Side A



Side B

Secondary Door Vinyl



Side A



Side B



Community
BANK

Project Address:
Pittsford, NY

SPI WO #: 81350

Issue Date: 9/16/2024

Account Manager:

Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

DRAWINGS ARE NOT TO SCALE
UNLESS OTHERWISE NOTED

Revisions:

- BSA - 12/17/2024 - Rv. 1
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- BSA - 6/13/2025 - Rv. 4
- BSA - 6/16/2025 - Rv. 5
- BSA - 6/17/2025 - Rv. 6
- BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

PANTONE 1665CP

BLACK

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The client is ultimately responsible for any incorrect dates, names and/or information.

CUSTOMER APPROVAL



APPROVED



APPROVED AS NOTED



REVISE & RESUBMIT

PRINT

SIGN

DATE

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812



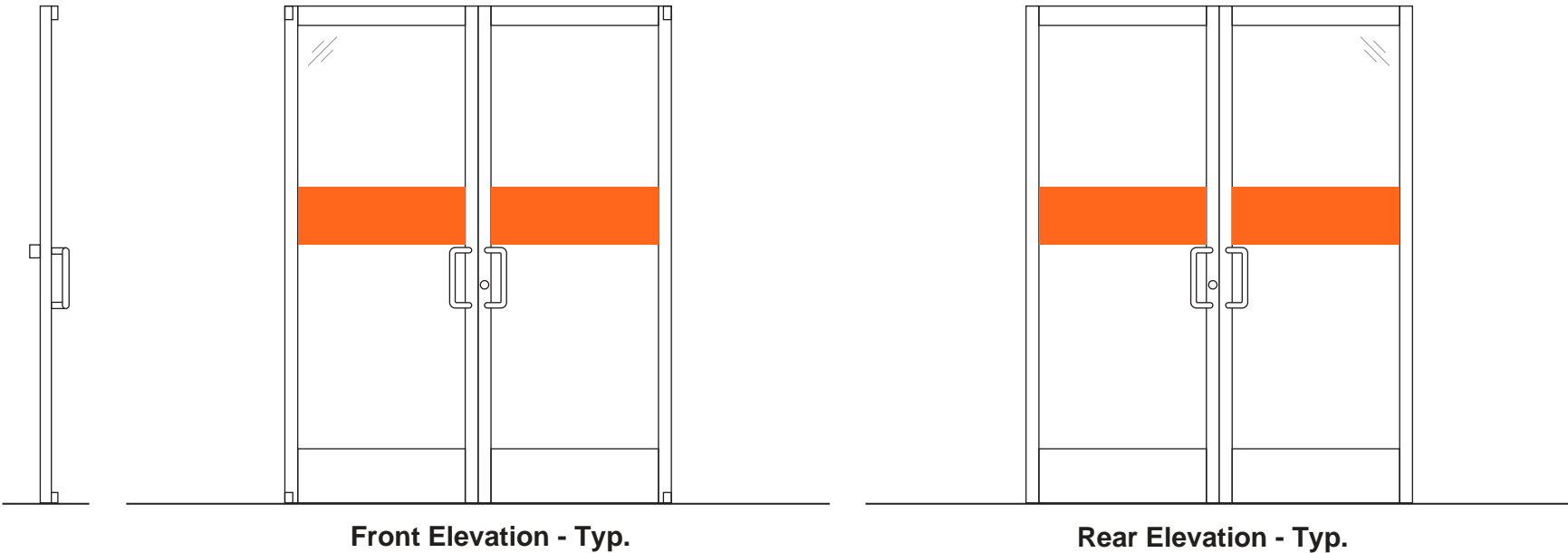
SIGN TYPE

DG

PAGE

9 of 22

Entry Door Vinyl Graphics
Interior Second Surface Application



Door Graphics
Door graphics are available to welcome customers and provide branch operation information. These signs are adhered to the glass door, second surface (inside) based on function and need. Bands should be installed above push bars and any subsequent doors will have bands installed at the same height.

Note: Side lites vary per location.

Hours must be confirmed by Community Bank prior to manufacturing. Messages should be displayed in initial caps.



Project Address:
Pittsford, NY

SPIWO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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 - BSA - 5/14/2025 - Rv. 2
 - BSA - 6/9/2025 - Rv. 3
 - BSA - 6/13/2025 - Rv. 4
 - BSA - 6/16/2025 - Rv. 5
 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

 C 0 M 82 Y 100 K 0 PANTONE 1665CP

 C 0 M 0 Y 0 K 100 BLACK

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812



SIGN TYPE
DG

Non-Illuminated Directional
Proposed Signage



← Drive-Thru Teller
← Drive-Thru ATM



Drive-Thru Teller

Clearance 9'-0"

Drive-Thru ATM
Clearance 9'-0"

Do Not Enter

Project Address:
Pittsford, NY

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Issue Date: 9/16/2024

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BSA - 6/17/2025 - Rv. 6
BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

C 0 M 82 Y 100 K 0	PANTONE 1665CP
C 0 M 0 Y 0 K 100	BLACK

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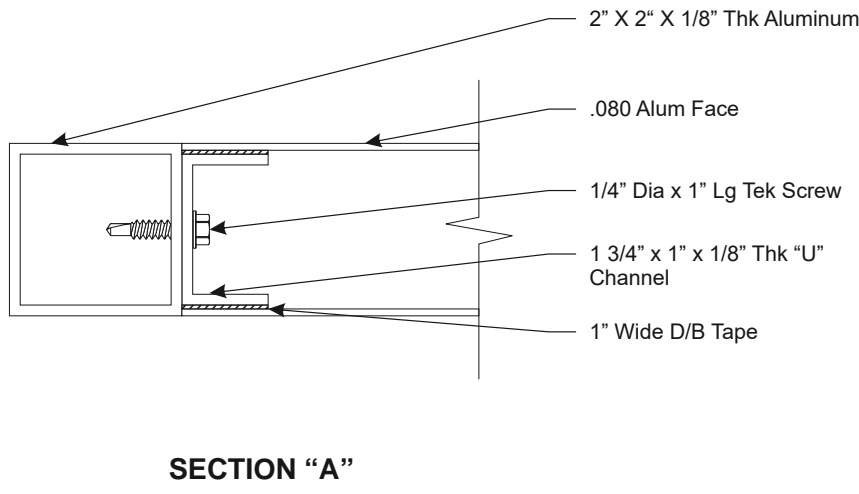
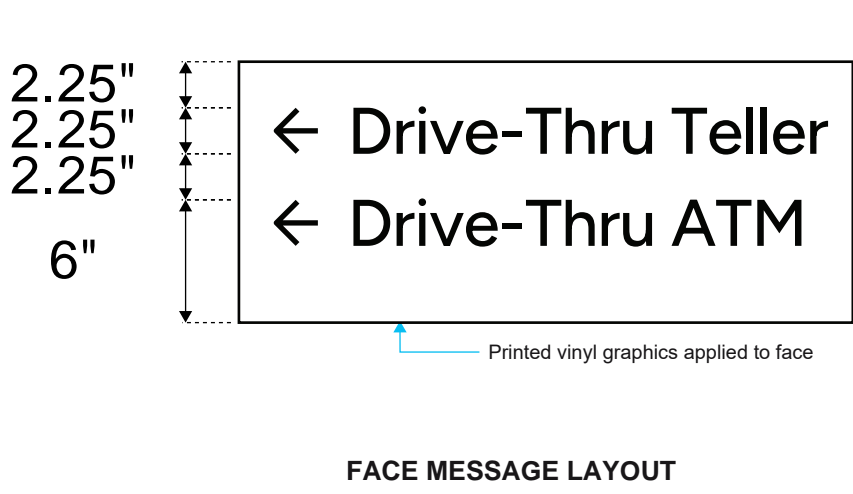
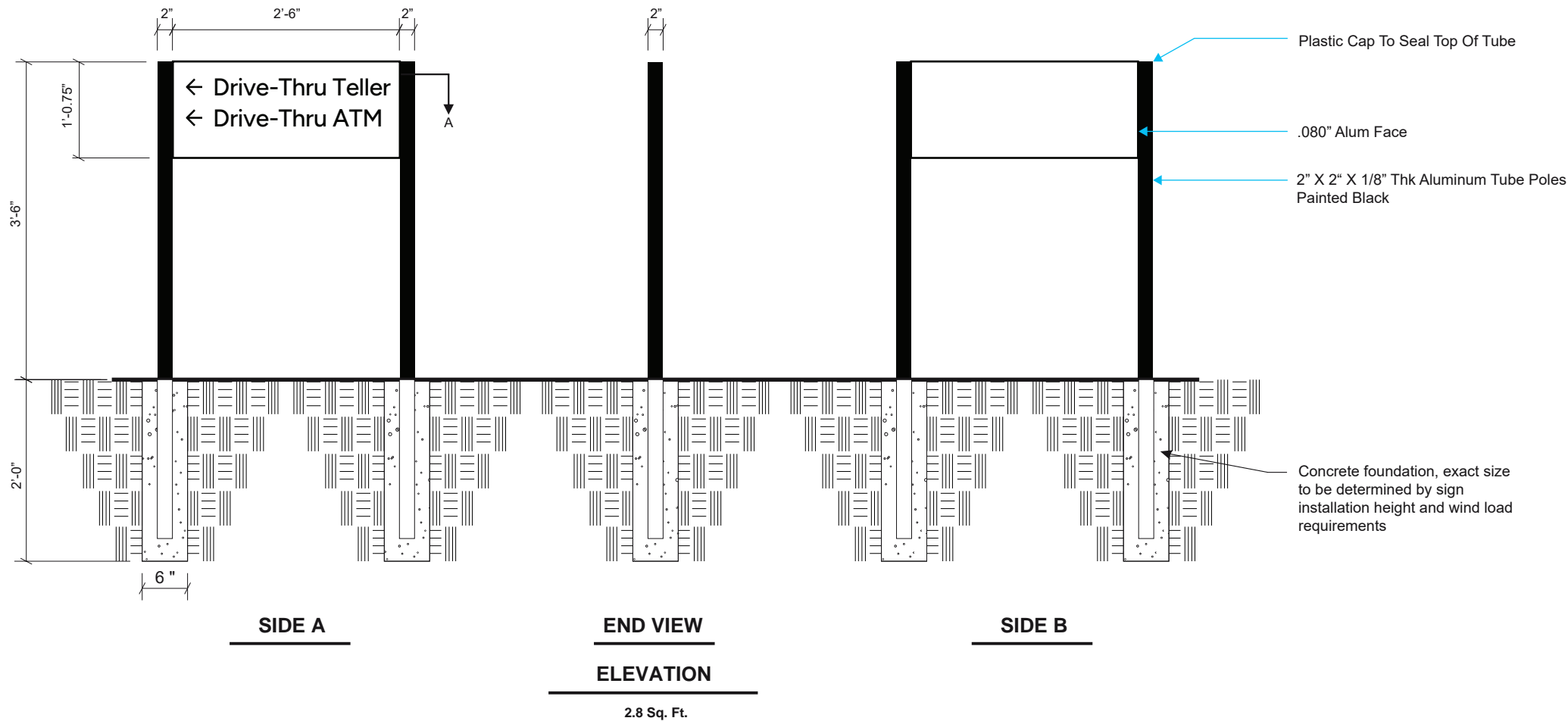


signpro-usa.com



SIGN TYPE
MAP

Non-Illuminated Directional
Proposed Signage



Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
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tracy@signpro-usa.com
860.426.3033

Designer: BSA

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 - BSA - 6/16/2025 - Rv. 5
 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

	C 0	PANTONE 1665CP
	M 82	
	Y 100	
	K 0	
	C 0	BLACK
	M 0	
	Y 0	
	K 100	

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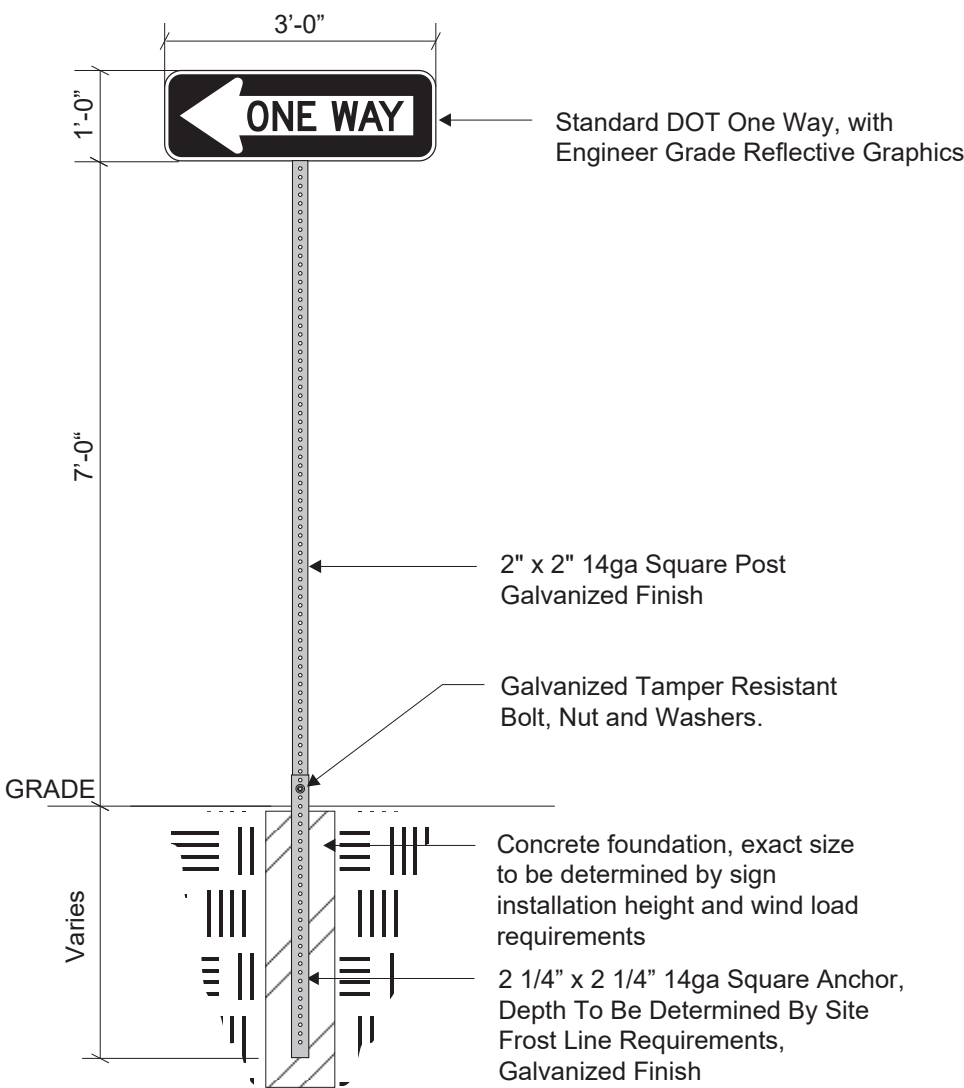
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SIGN TYPE
D-1



DOT-ONEWAY

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

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tracy@signpro-usa.com
860.426.3033

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- BSA - 6/17/2025 - Rv. 6
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Font Family: Figtree

C 0 M 82 Y 100 K 0 PANTONE 1665CP

C 0 M 0 Y 0 K 100 BLACK

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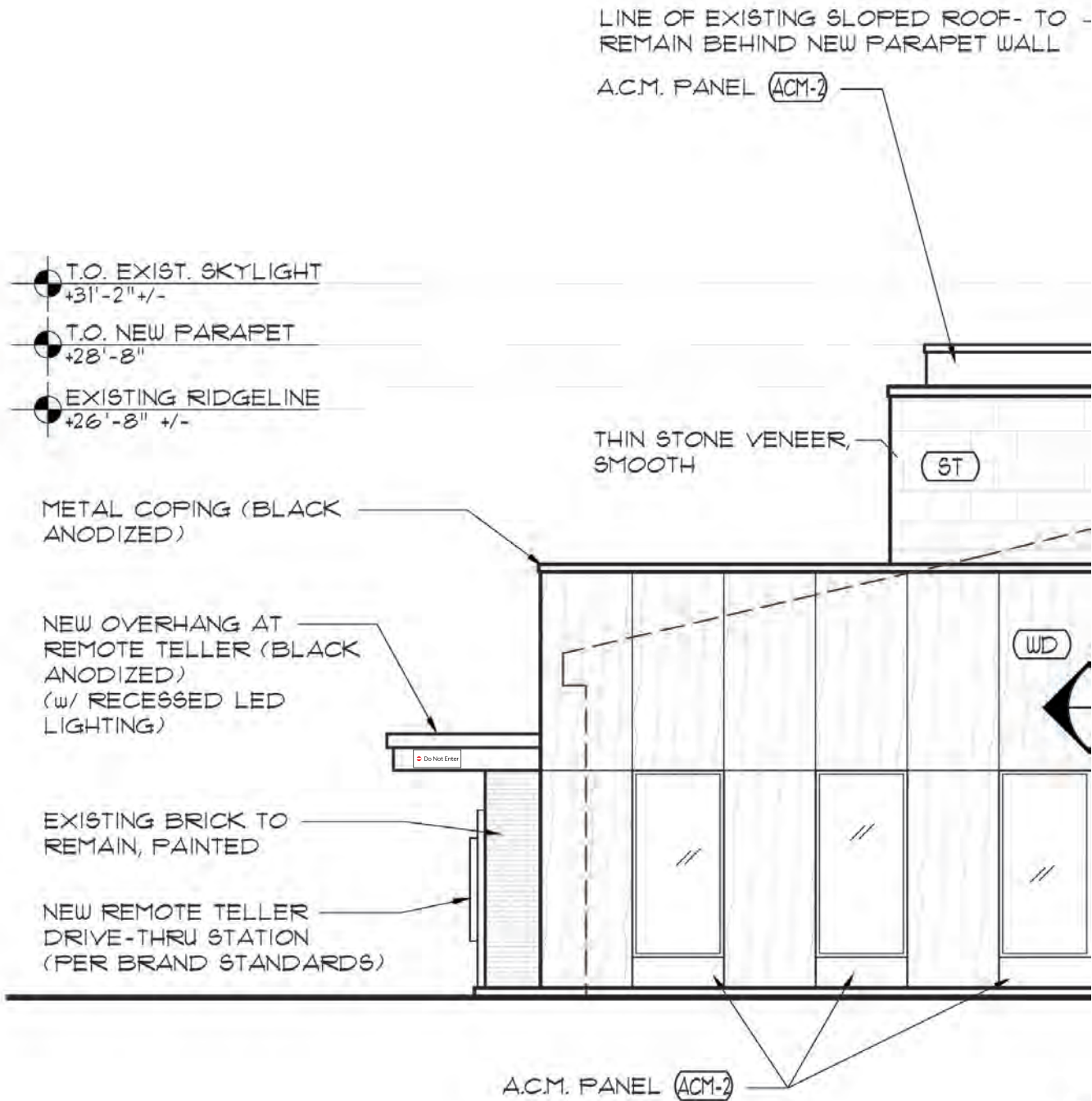
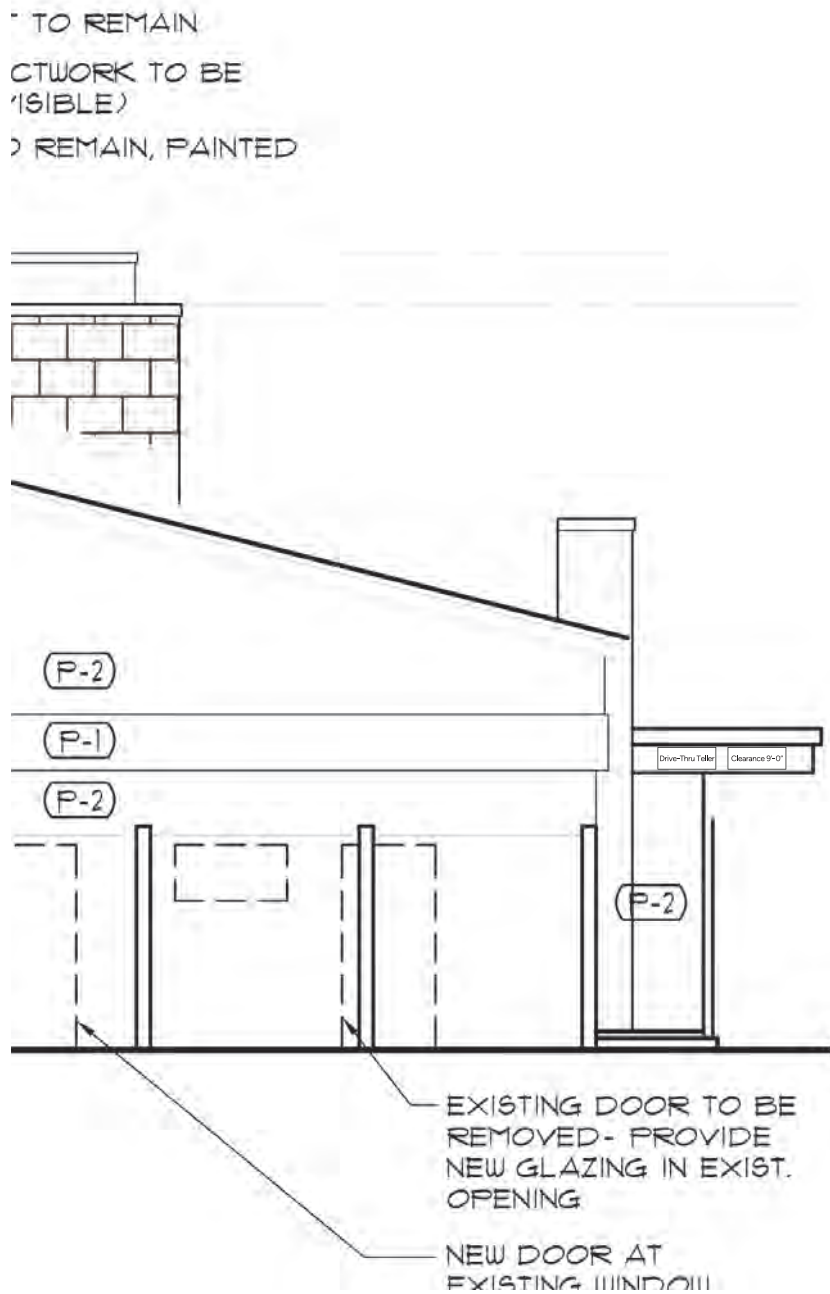
SIGN TYPE

DOT

PAGE

13 of 22

Drive-Thru Teller Area on West Elevation



Project Address:
Pittsford, NY

SPI WO #: 81350

Issue Date: 9/16/2024

Account Manager:

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tracy@signpro-usa.com
860.426.3033

Designer: BSA

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- BSA - 6/17/2025 - Rv. 6
- BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

 C 0 M 82 Y 100 K 0 PANTONE 1665CP

 C 0 M 0 Y 0 K 100 BLACK

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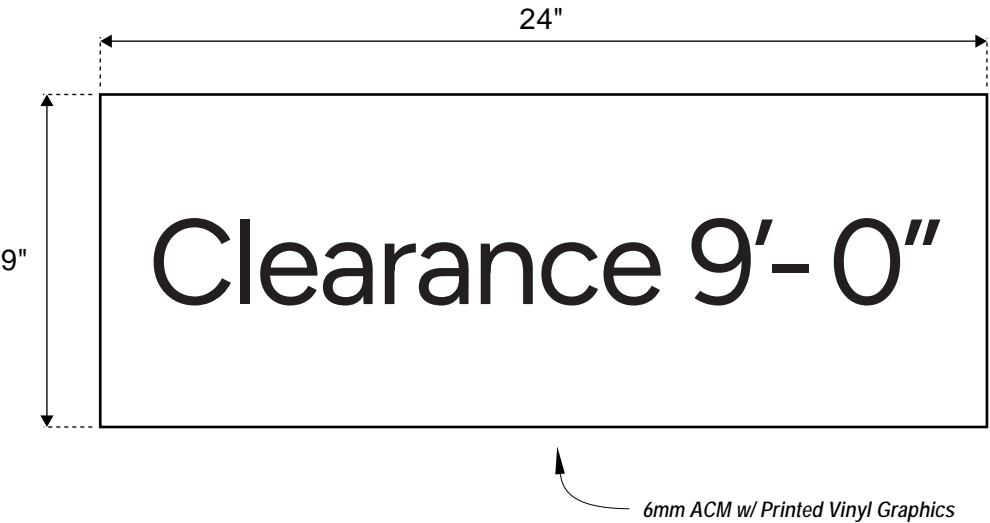
SIGN TYPE

MP-2

PAGE

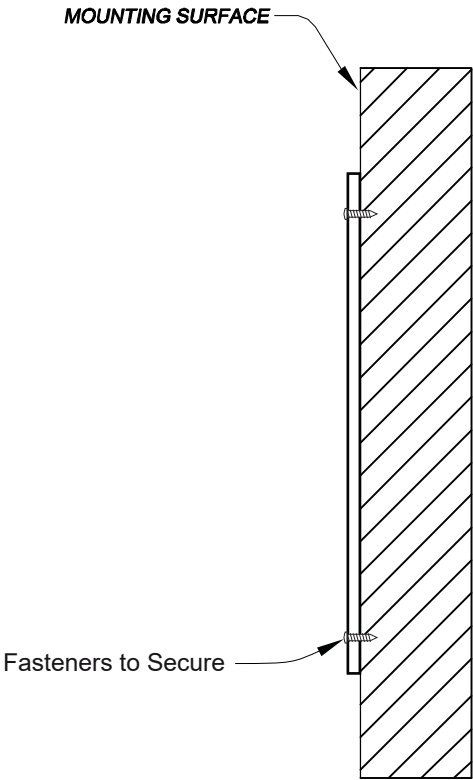
14 of 22

Non-Illuminated Informational Signs for Drive-Up Areas



1 FRONT ELEVATION
1.5 Sq. Ft.

NOTE: Verify Clearance Height



SIDE ELEVATION

Drive-Thru Teller

Clearance 9'- 0"

 Do Not Enter

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

	C 0	PANTONE 1665CP
	M 82	
	Y 100	
	K 0	
	C 0	BLACK
	M 0	
	Y 0	
	K 100	

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SIGN TYPE

MP-2

PAGE

15 of 22

Parking
Existing Signage

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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- BSA - 6/17/2025 - Rv. 6
- BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

C 0 M 82 Y 100 K 0 PANTONE 1665CP

C 0 M 0 Y 0 K 100 BLACK



Customer
parking
only while
banking

Unauthorized
vehicles may be towed
at owner's expense

RESERVED
PARKING



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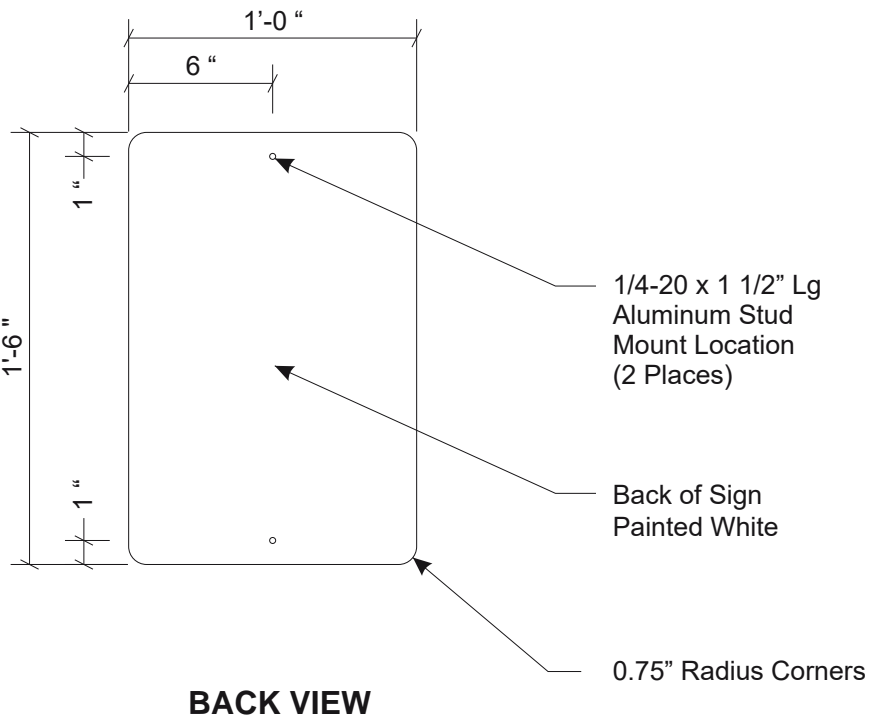
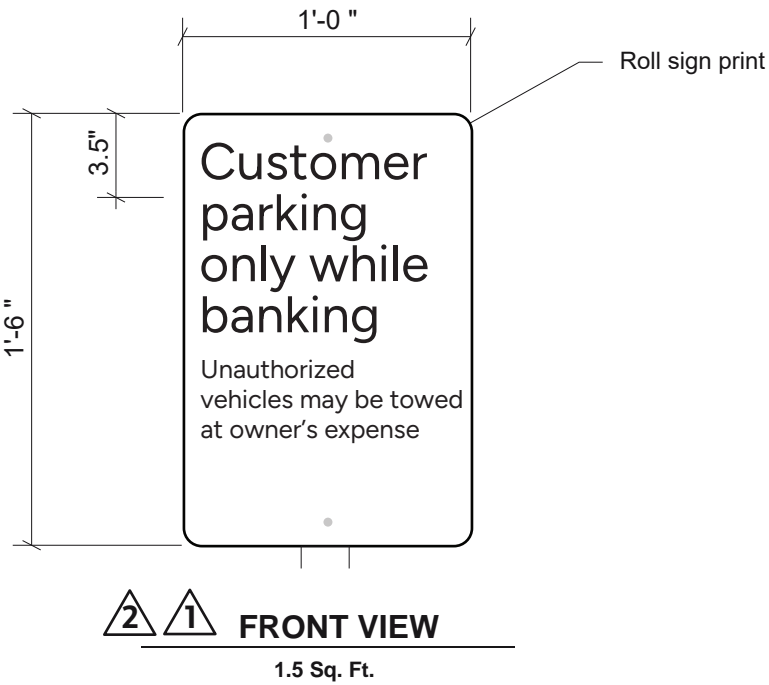
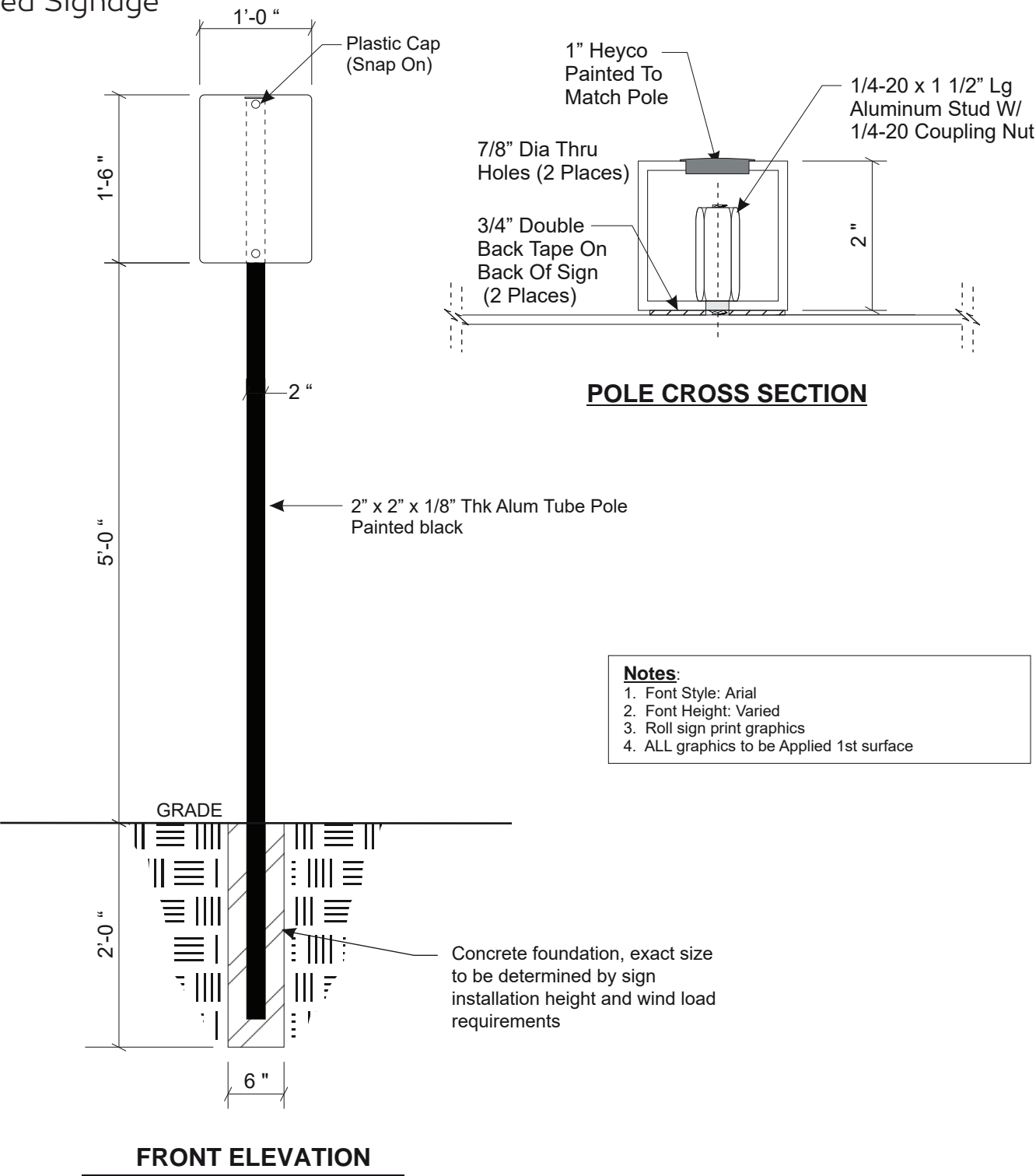
SIGN TYPE

Parking

PAGE

16 of 22

Parking
Proposed Signage
QTY: 3



Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
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tracy@signpro-usa.com
860.426.3033

Designer: BSA

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Font Family: Figtree

C 0 M 82 Y 100 K 0	PANTONE 1665CP
C 0 M 0 Y 0 K 100	BLACK

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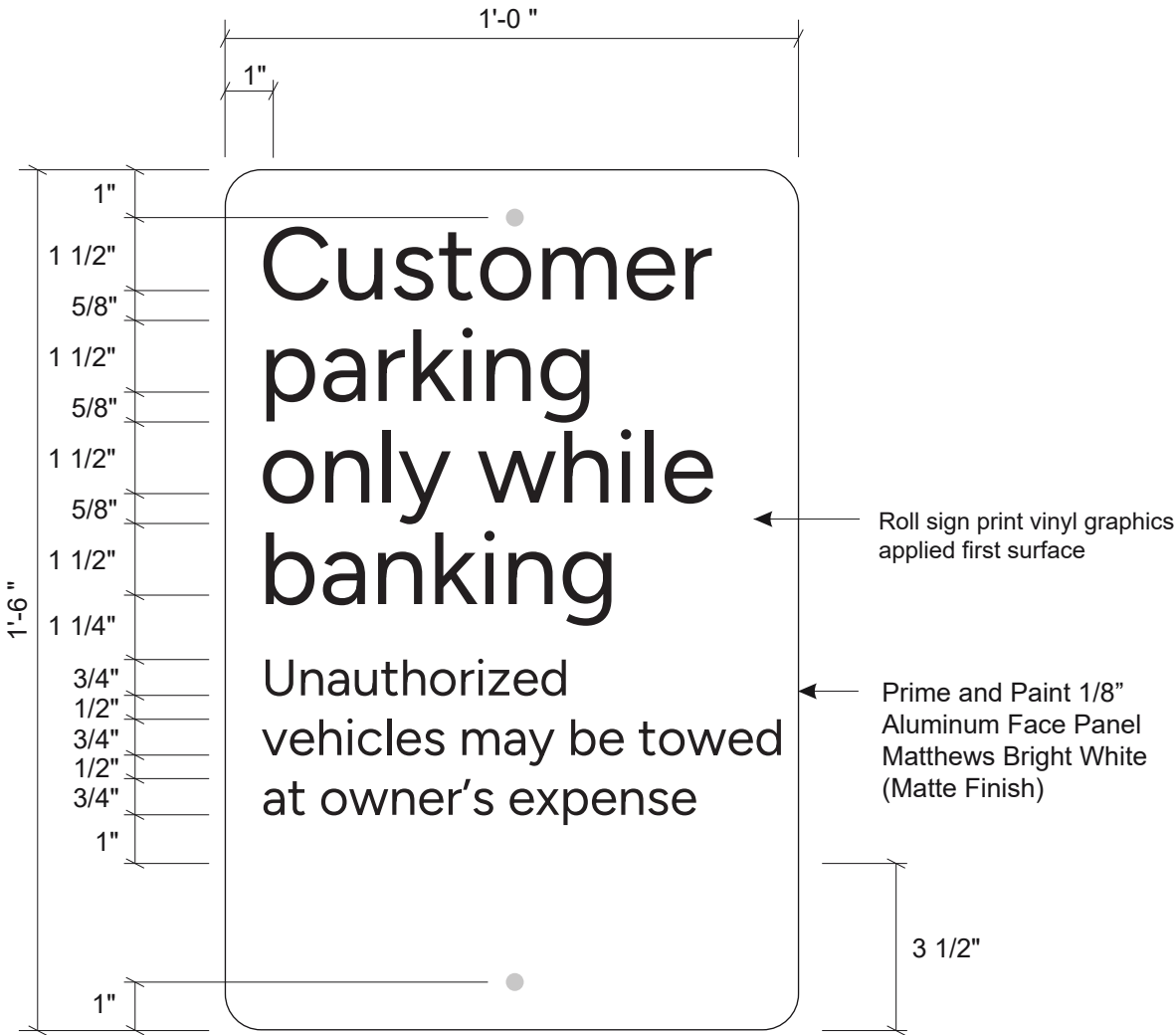
NESGroup
Marketing

SIGN PRO
signpro-usa.com

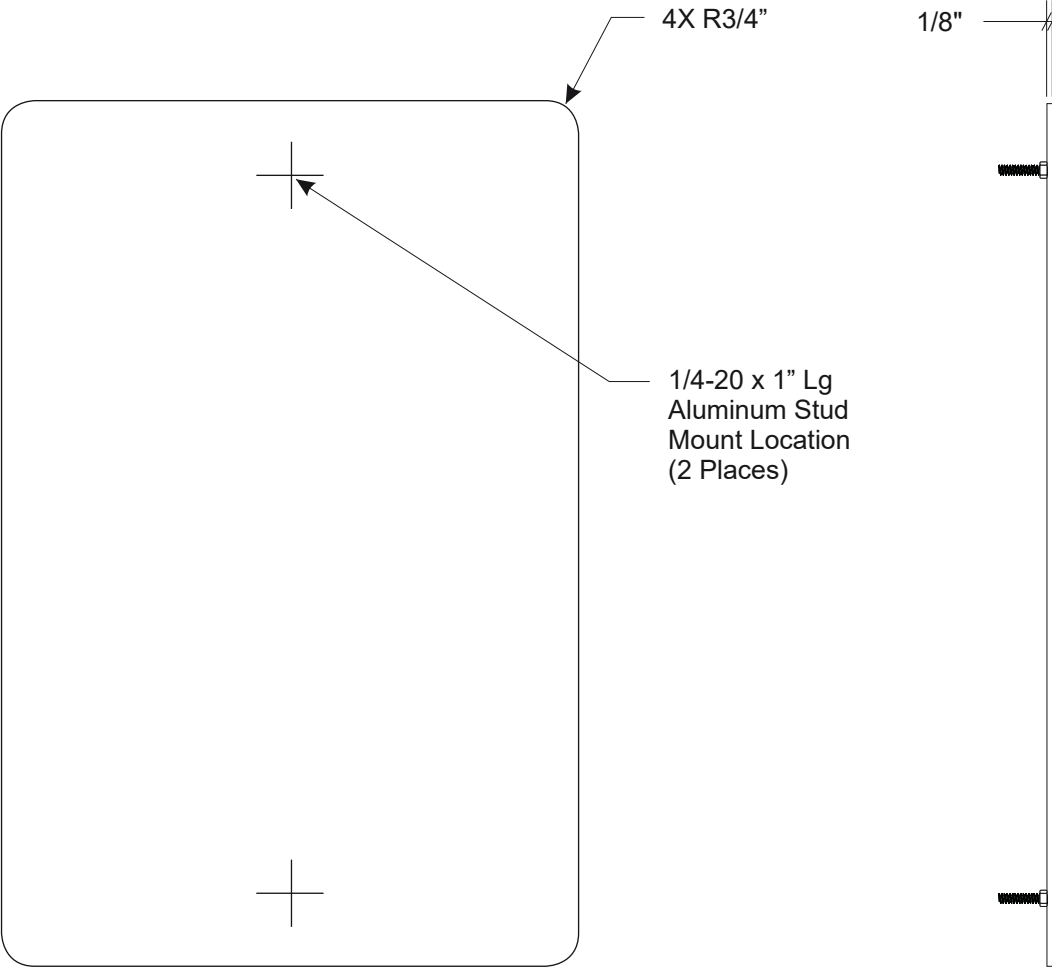
60 Westfield Drive
Plantsville, CT 06479
860.229.1812

SIGN TYPE
MP-1

Parking
Proposed Signage
QTY: 3



2 1 TYPICAL LAYOUT
1.5 Sq. Ft.



BACK VIEW

SIDE VIEW

- Notes:**
1. Font Style: Arial
 2. Font Height: Varied
 3. Roll sign print graphics
 4. ALL graphics to be Applied 1st surface

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024


Account Manager:
Tracy Becker
tracy@signpro-usa.com
860.426.3033

Designer: BSA

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 - BSA - 6/16/2025 - Rv. 5
 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

	C 0	PANTONE 1665CP
	M 82	
	Y 100	
	K 0	
	C 0	BLACK
	M 0	
	Y 0	
	K 100	

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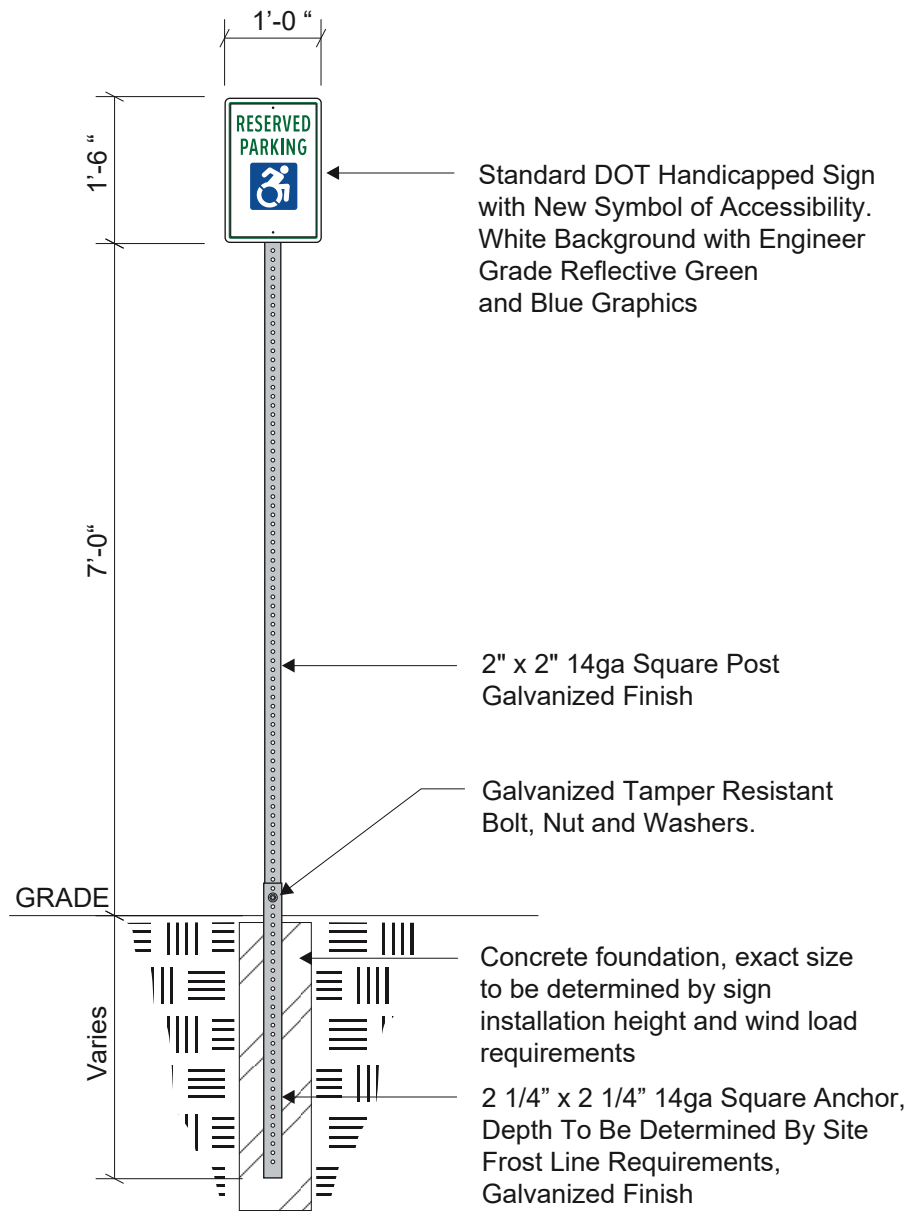
SIGN TYPE

MP-1

PAGE

18 of 22

Parking
Proposed Signage
QTY: 2



FRONT ELEVATION

DOT-HC



Preferred Layout In
New York State and
Other Juristictions Where
Approved



Alternate Layout In
Juristictions Where Applicable.



Community
BANK

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

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- BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

C 0 PANTONE 1665CP
M 82
Y 100
K 0

C 0 BLACK
M 0
Y 0
K 100

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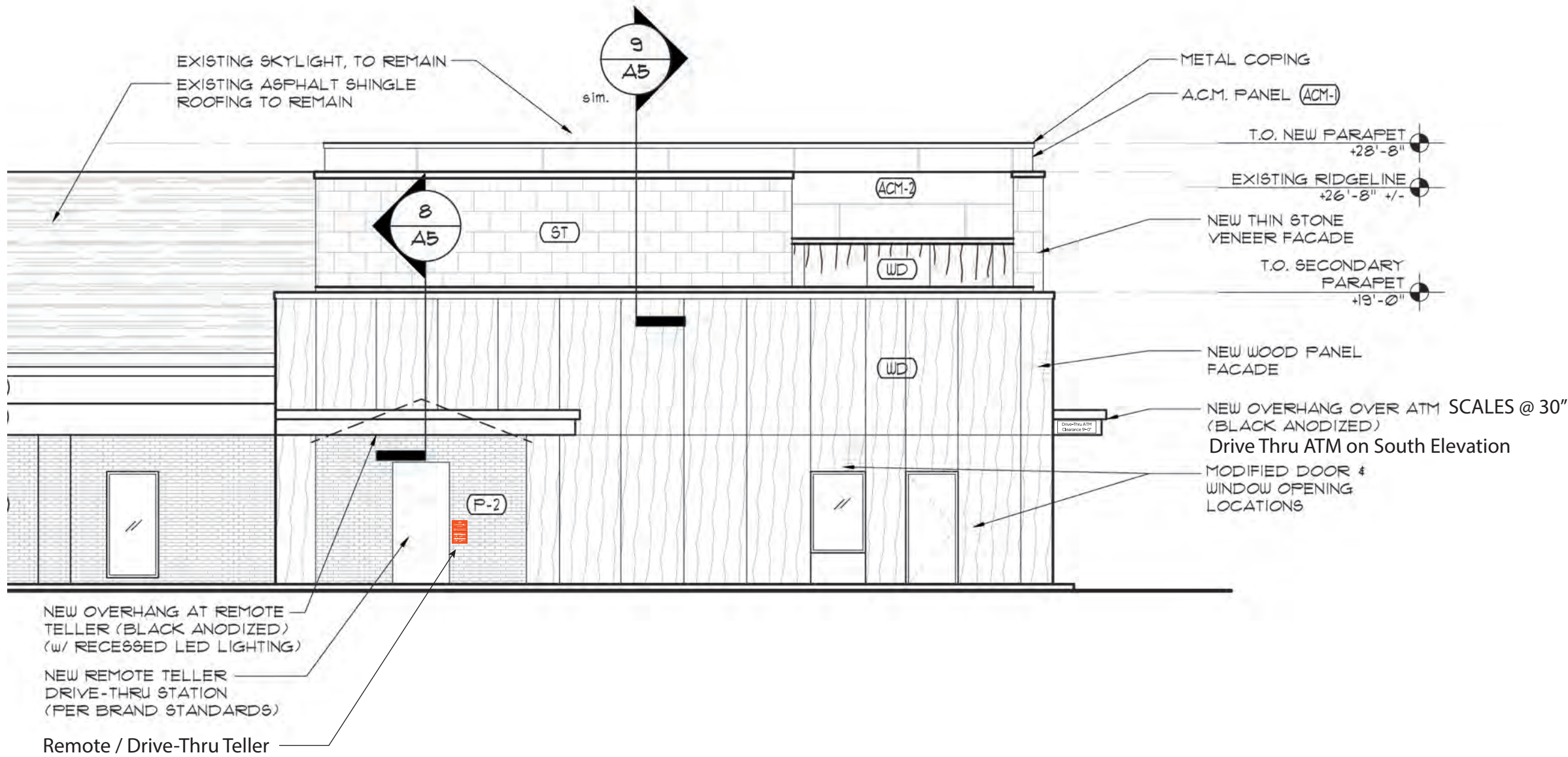
SIGN TYPE

DOT-HC

PAGE

19 of 22

Non-Illuminated Informational Signs for Drive-Up Areas



Community
BANK

Project Address:
Pittsford, NY

SPI WO #: 81350

Issue Date: 9/16/2024

Account Manager:

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tracy@signpro-usa.com
860.426.3033

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Font Family: Figtree

C 0 M 82 Y 100 K 0
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C 0 M 0 Y 0 K 100
BLACK

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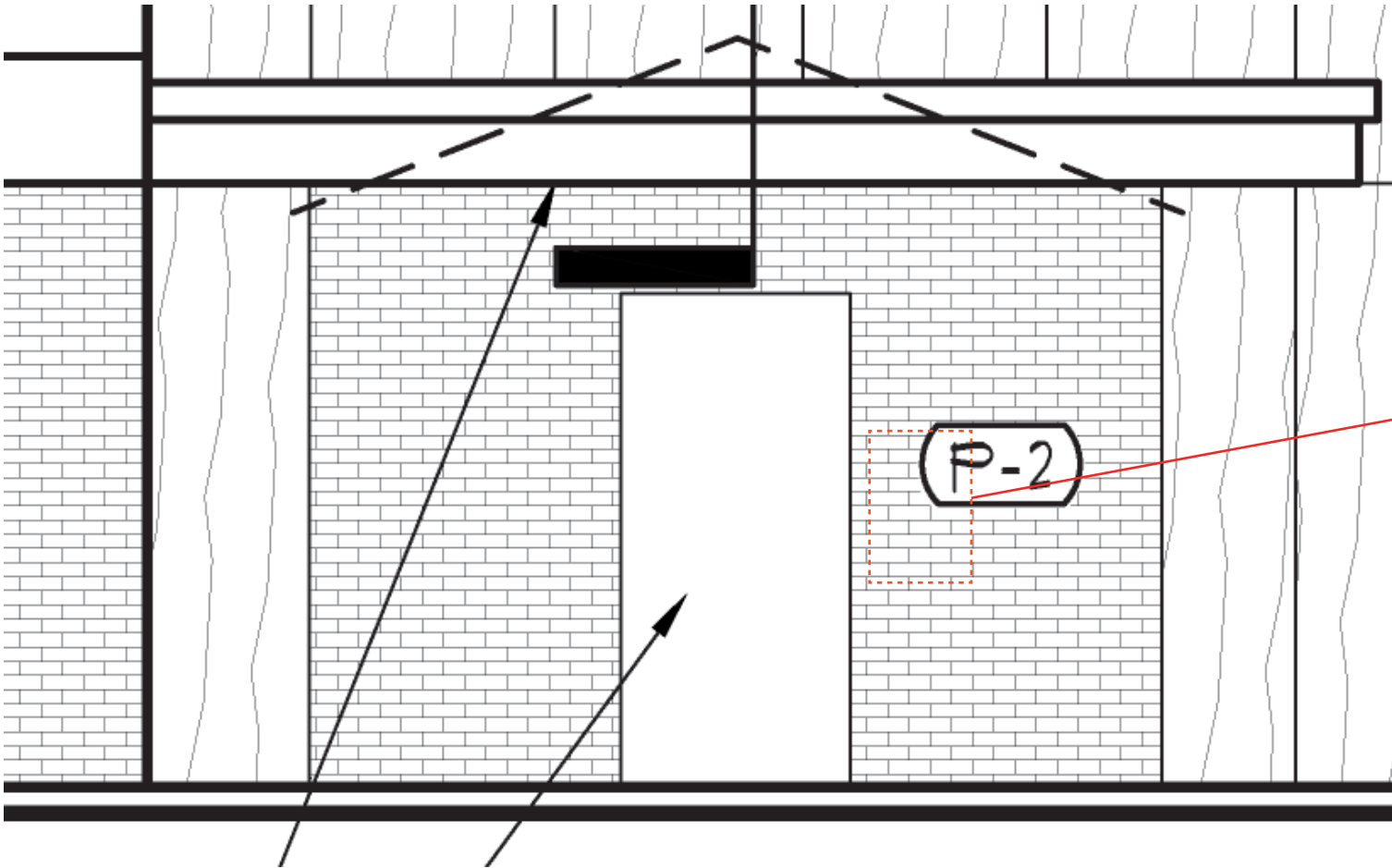
SIGN TYPE

DP

PAGE

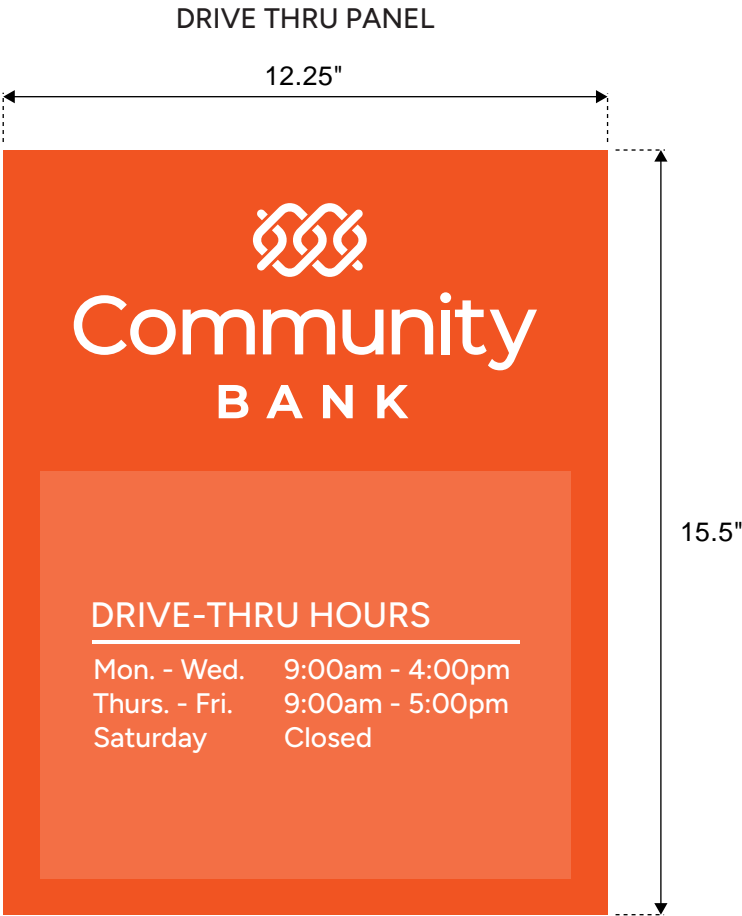
20 of 22

Drive-Thru Hours Insert Panel



Drive-Thru Hours
Hours of operation can be posted on Drive-Thru teller windows by using vinyl graphics. Hours must be confirmed by Community Bank prior to manufacturing.

(1) 8.5" x 11" 1mm Sintra insert
(1) 8.5" x 11" C-Shaped Acrylic holder



Installed on 2nd pylon

C-Shaped acrylic holder
First surface

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
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tracy@signpro-usa.com
860.426.3033

Designer: BSA

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BSA - 6/17/2025 - Rv. 6
BSA - 6/18/2025 - Rv. 7

Font Family: Figtree



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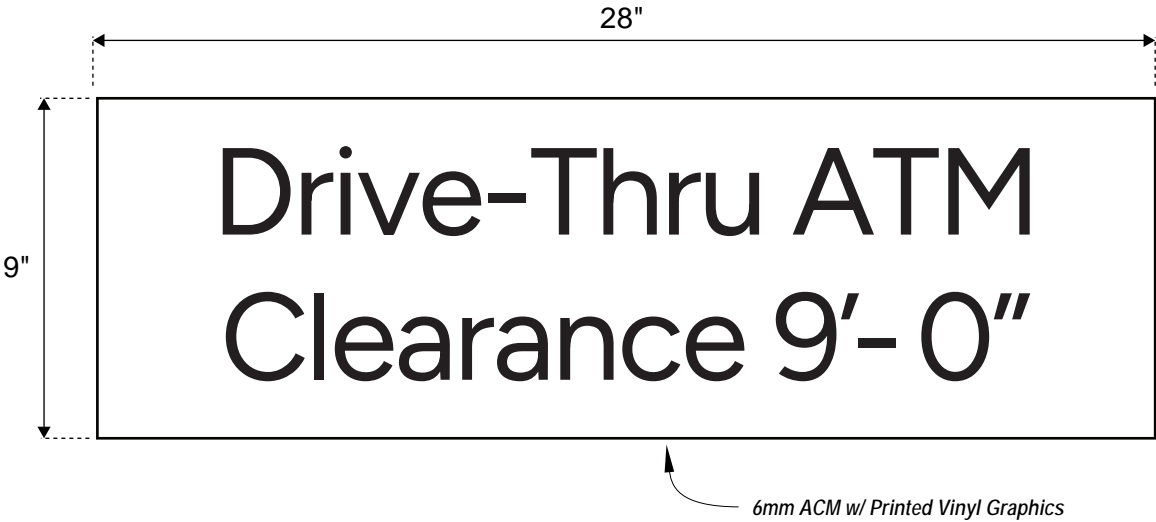
60 Westfield Drive
Plantsville, CT 06479
860.229.1812



SIGN TYPE
DP

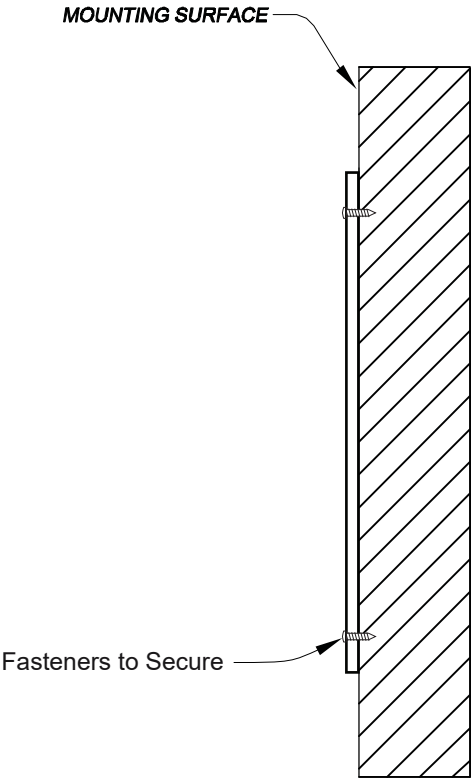
PAGE
21 of 22

Drive-Thru ATM on South Elevation



1 FRONT ELEVATION
1.5 Sq. Ft.

NOTE: Verify Clearance Height



SIDE ELEVATION



Community
BANK

Project Address:
Pittsford, NY

SPI WO #: 81350
Issue Date: 9/16/2024

Account Manager:
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tracy@signpro-usa.com
860.426.3033

Designer: BSA

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 - BSA - 6/17/2025 - Rv. 6
 - BSA - 6/18/2025 - Rv. 7

Font Family: Figtree

C 0 M 82 Y 100 K 0 PANTONE 1665CP

C 0 M 0 Y 0 K 100 BLACK

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SIGN TYPE

MP-2

PAGE

22 of 22