

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA
May 8, 2025**

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on May 8, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

406 Kilbourn Road

Applicant is requesting design review for a 392 square foot family room and covered porch addition.

123 Kilbourn Road

Applicant is requesting design review for an 880 square foot addition off the rear of the home.

The next meeting is scheduled for Thursday, May 22, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
APRIL 24, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, April 24, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Dave Wigg, Paul Whitbeck, Kathleen Cristman, John Mitchell, Jim Vekasy

ABSENT: Bonnie Salem

ALSO PRESENT: Bill Zink, Building Inspector; Anna Piazza, Building Department Assistant; Robert Koegel, Town Attorney, Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 9 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:03PM.

HISTORIC PRESERVATION DISCUSSION

There are no updates at this time.

OVERSIZED ACCESSORY STRUCTURES

2 Skytop Lane

Applicant is requesting design review to replace existing screened-in porch openings with glass windows.

Marissa Bauman, of Jay P. Tovey Co., introduced the application. Ms. Bauman is requesting design review to replace existing screened-in porch openings with glass windows. Chairman Schneider asked the applicant if the windows were fixed and the applicant stated that the windows were awnings and casements. The siding will match the existing house and will extend around the screened-in porch. Board Member Wigg asked the applicant to explain the panel detail and the applicant stated that it will match the existing panel detail. Ms. Bauman stated that the windows will have casements that match the existing and will be the same size and width as the existing as well. Chairman Schneider stated that the panel-look on all six locations would be best, except the doors and awnings.

Board Member Vekasy motioned to approve the application for the infill of an existing screen porch with the condition that the infill paneling shown on the rear elevation is also used under the side elevation. This motion was seconded by Vice Chairman Wigg. Following a unanimous voice vote, the application was approved, none opposed.

48 Turning Leaf Drive

Applicant is requesting design review for a 360 Sq Ft. addition of a 3 season Room.

Steve Walsh, of UnderCover Systems of NY, introduced the application. Mr. Walsh is requesting design review for a 360 square-foot addition of a 3-season room. The exterior finishes of the addition will match the existing home.

Board Member Cristman motioned to approve the 360 square-foot addition of a 3-season room, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

81 Coventry Ridge

Applicant is requesting design review for a 650 sq. ft. covered patio

Melissa Faeth, of 81 Coventry Ridge, introduced the application. Ms. Faeth is requesting design review for the construction of a 650 square-foot covered patio. She stated that there will be an overhang on each side of the patio. Ms. Faeth stated that the fireplace will be gas-lit and free-standing, with stone around it.

Chairman Schneider motioned to approve the construction of a 650 square-foot covered patio, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

230 Kilbourn Road

Applicant is requesting design review for window changes.

Kevin Morton, of Renovations by The Morton Group, introduced the application. Mr. Morton is requesting design review to change existing sliding glass doors into windows. He pointed out that a wall-cap for a vent will go between the two windows on the South side elevation. Mr. Morton additionally stated that the windows will be casements to match the existing casements on the home. The siding, windows, and trim will match the existing.

Vice Chairman Wigg motioned to approve the window changes with the condition of a vent and the siding, windows, and trim, will match the existing. This motion was seconded by Chairman Schneider. Following a unanimous voice vote, the application was approved, none opposed.

33 Parker Drive

Applicant is requesting design review for a 640 Sq Ft. addition and renovation.

Chuck Smith, of Design Works Architecture P.C., introduced the application. Mr. Smith is requesting design review for a 640 square-foot addition and renovation. The siding and roofing of the two-story addition will match the existing home. Two windows will be replaced with a triple window and the chimney coming up through the center of the house will be removed.

Board Member Whitbeck motioned to approve the 640 square-foot addition, as submitted. This motion was seconded by Vice Chairman Wigg. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

4000 East Avenue

Applicant is requesting design review for the construction of a new 1 bedroom, 2 story guest house. The house will be approximately 1501 square feet. Includes a courtyard and garden shed.

Chuck Smith, of Design Works Architecture P.C., introduced the application. Mr. Smith is requesting design review for the construction of a two-story guest house. He stated that this project has previously appeared before the Board and has additional changes. Mr. Smith stated that due to the house being in a flood zone, he will add an access door underneath the raised stair. Instead of stone veneer material, the garden wall will be an EIFS stucco material. Additionally, he will add a stair that goes from the patio up to the house.

Chairman Schneider motioned to approve the application for the presented changes to the guest house, as submitted. This motion was seconded by Board Member Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS

3330 Monroe Avenue

Applicant is requesting design review for the exterior change of a commercial buildout that was previously approved 1/25/24. This property is zoned Commercial (C).

Paul Colucci, of DiMarco Constructors, introduced the application. Mr. Colucci is requesting design review for exterior changes to a previously approved commercial buildout. He stated that the project has been under construction since December of 2024 and has an active building permit with the Town. Mr. Colucci stated that once the project got through the demolition process he realized that the building had large trusses and had to come up with a modified elevation for the East side which faces the parking lot. He stated that the building will maintain similar materials and a similar look. He noted that he needed to reportion the Aluminum Composite Material (ACM) and the glass on the right side of the building. The applicant confirmed that it will have the same palette as before.

Board Member Cristman motioned to approve the exterior changes previously approved January 25, 2024, as submitted. This motion was seconded by Vice Chairman Wigg. Following a unanimous voice vote, the application was approved, none opposed.

MEETING MINUTES REVIEW

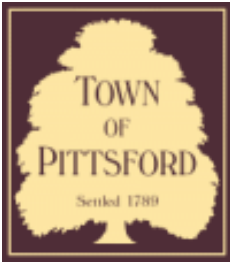
The minutes of April 10, 2025 were approved following a motion by Board Member Vekasy. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Schneider closed the meeting at 6:43PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000056

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 406 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.18-1-51

Zoning District: RN Residential Neighborhood

Owner: Loughran, Daniel G

Applicant: Absolute Construction

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

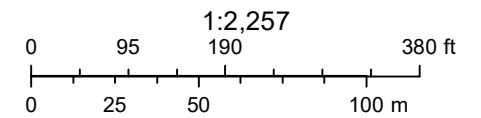
Project Description: Applicant is requesting design review for a 392 square foot family room and covered porch addition.

Meeting Date: May 08, 2025

RN Residential Neighborhood Zoning



Printed April 30, 2025



Town of Pittsford GIS

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FIRM Panel
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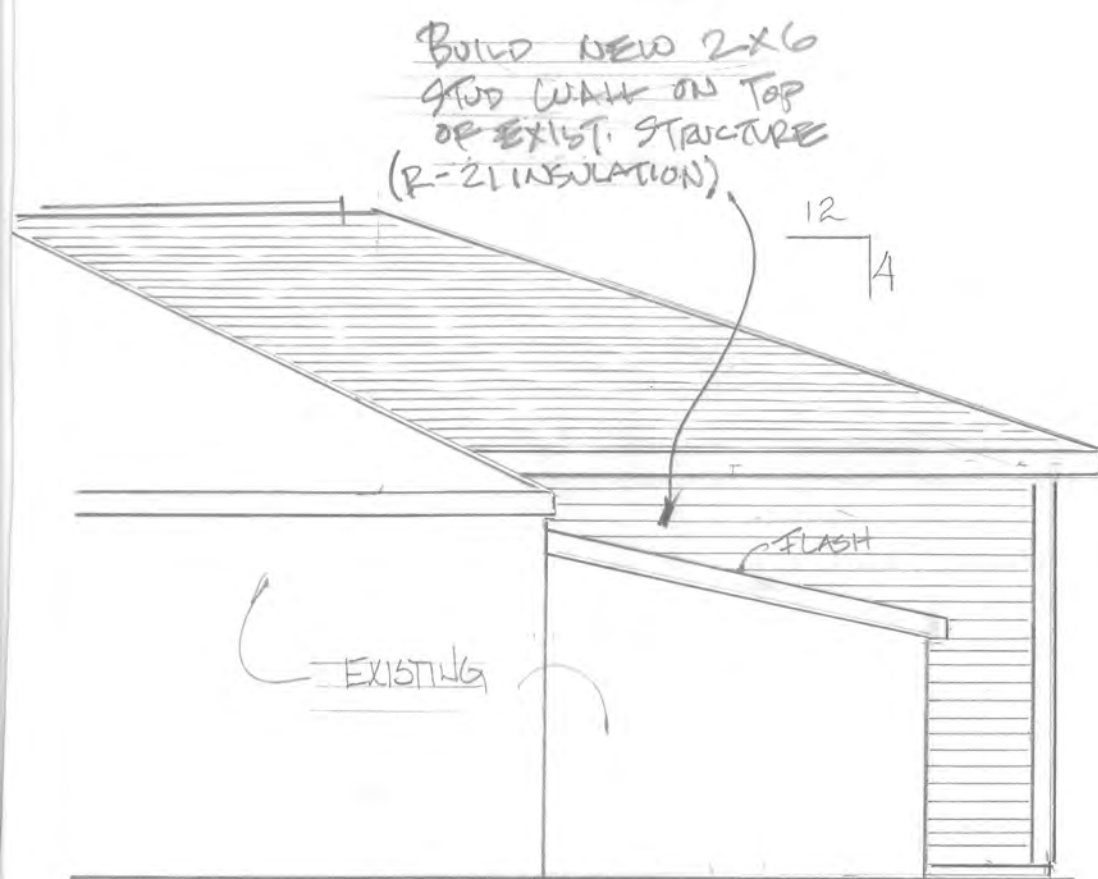
433

439

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Design Loads: Live roof and floor loads – 40 PSF, dead roof and floor loads – 15 PSF.

This construction document meets requirements of the 2020 Residential Code of New York State to the best of the architect's belief, knowledge and professional judgement. No REScheck submitted/meets Table N1102.1.2 for insulation and fenestration (window and door maximum 0.30 U-Factor). Contractor shall meet mandatory requirements of Section N1102.4 to limit air leakage in building thermal envelope.



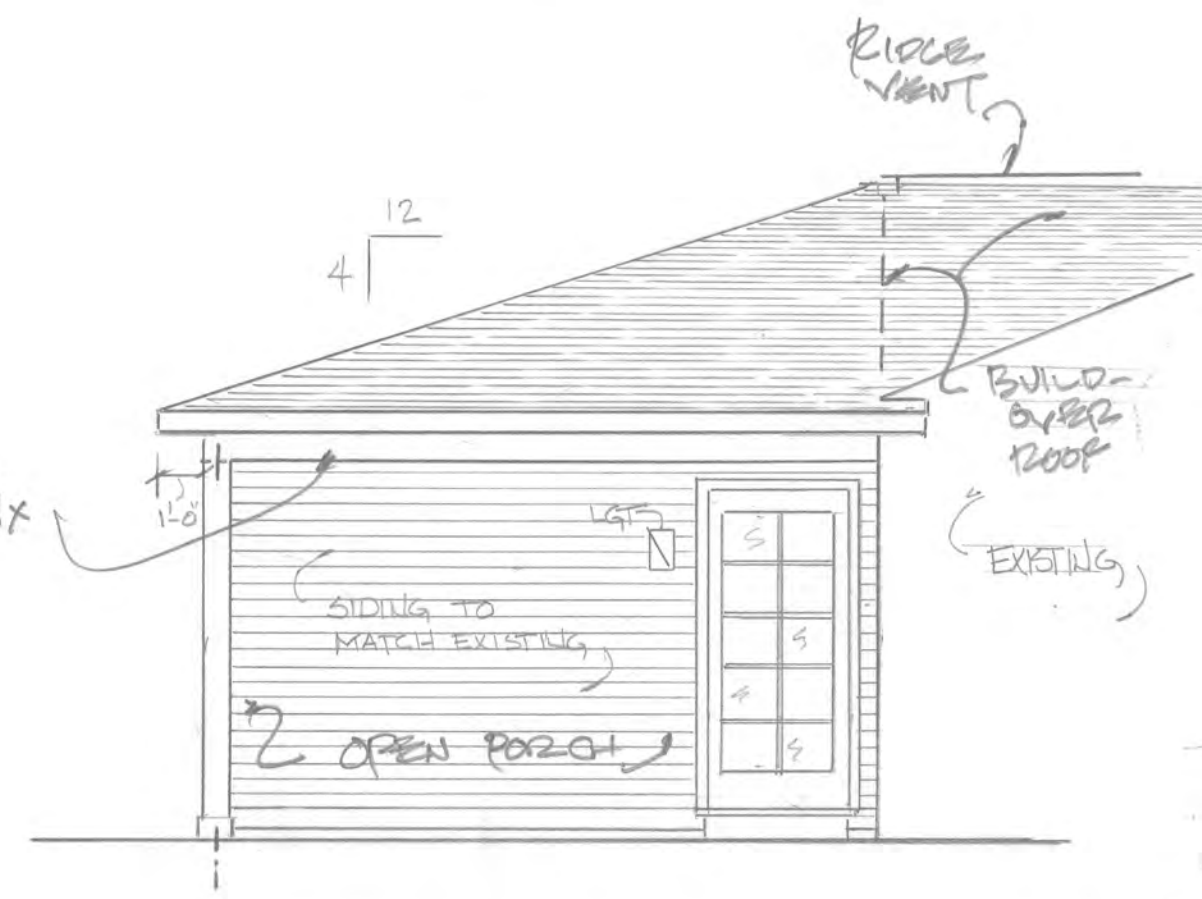
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



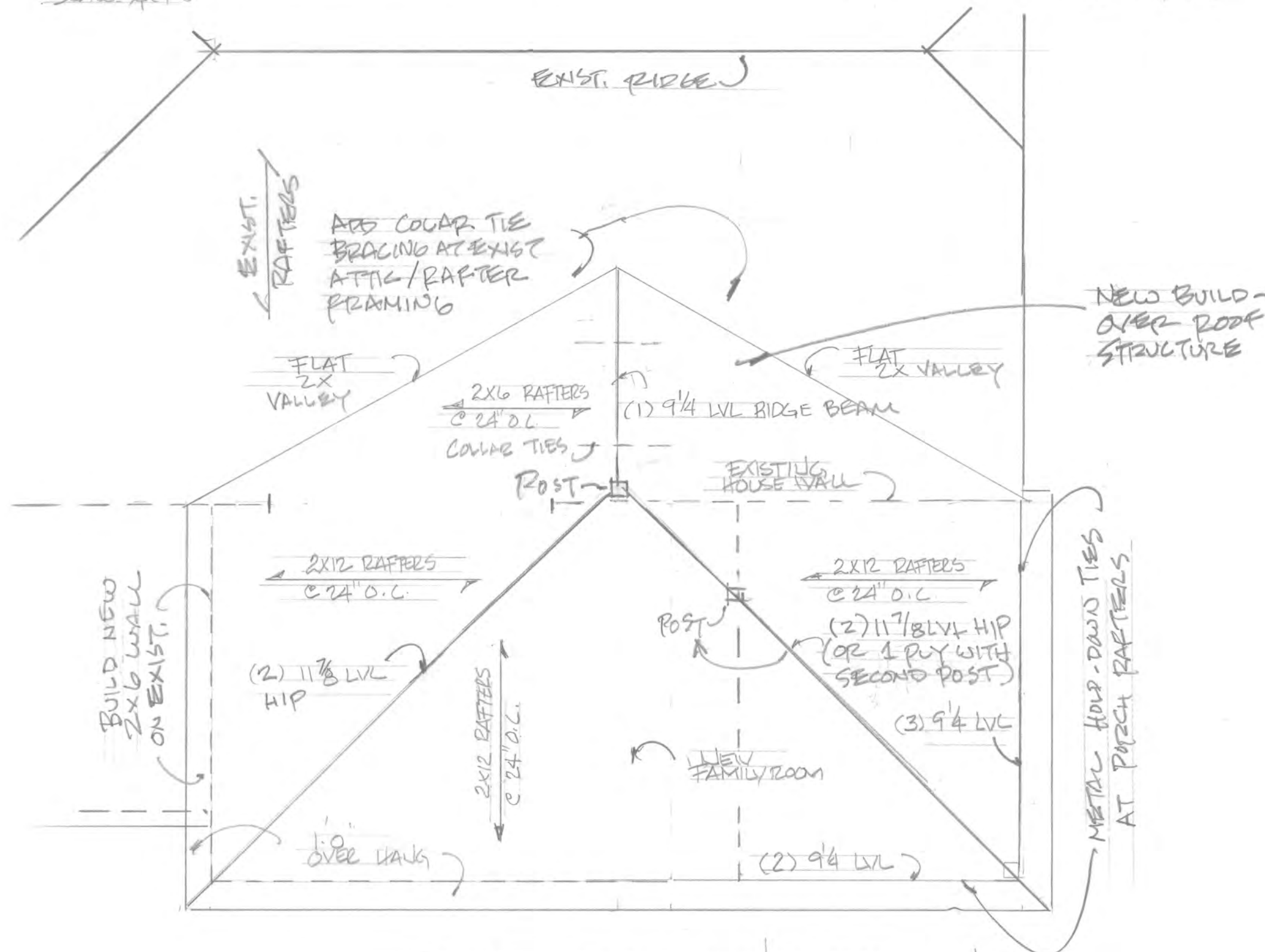
REAR ELEVATION

SCALE: 1/4" = 1'-0"

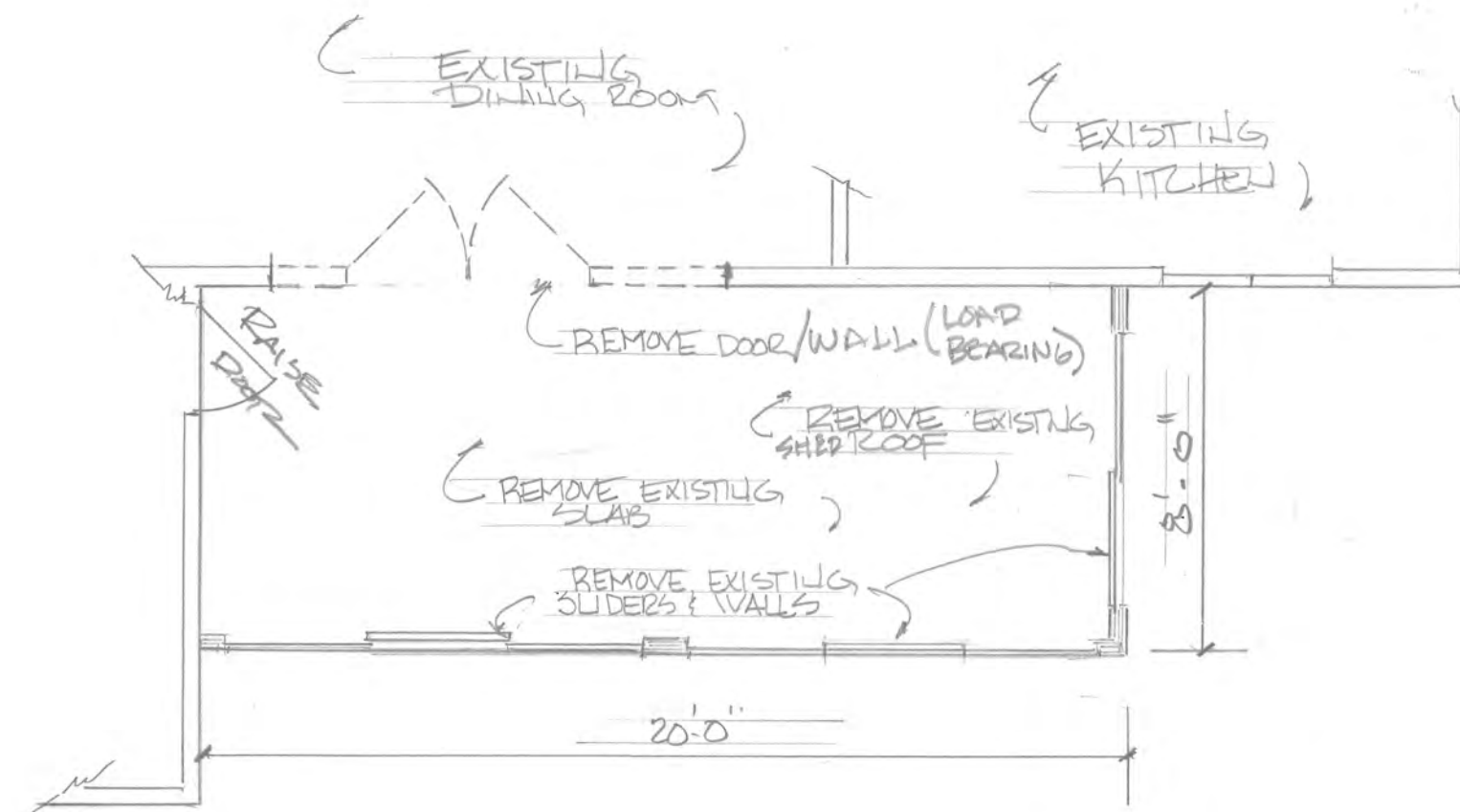


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

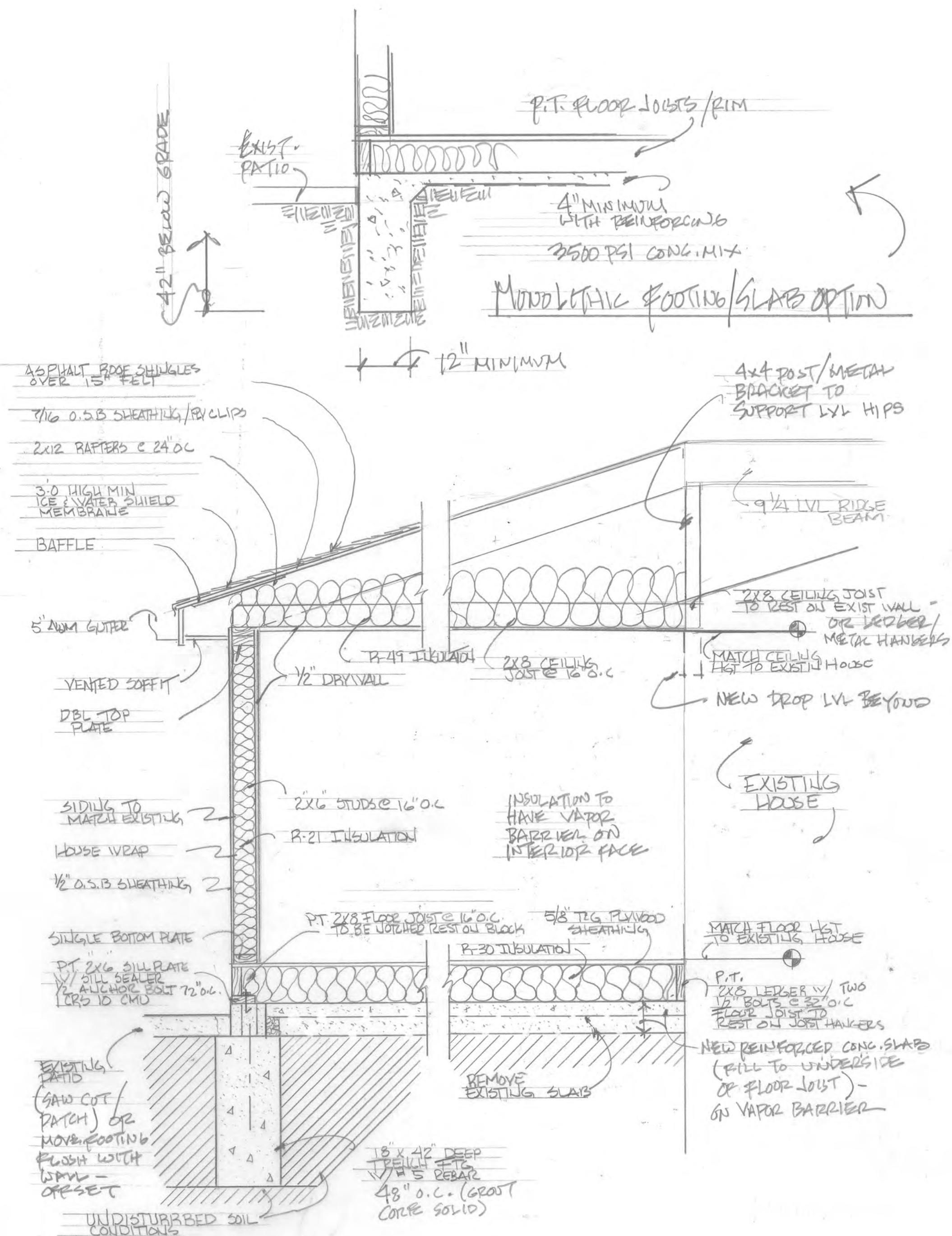
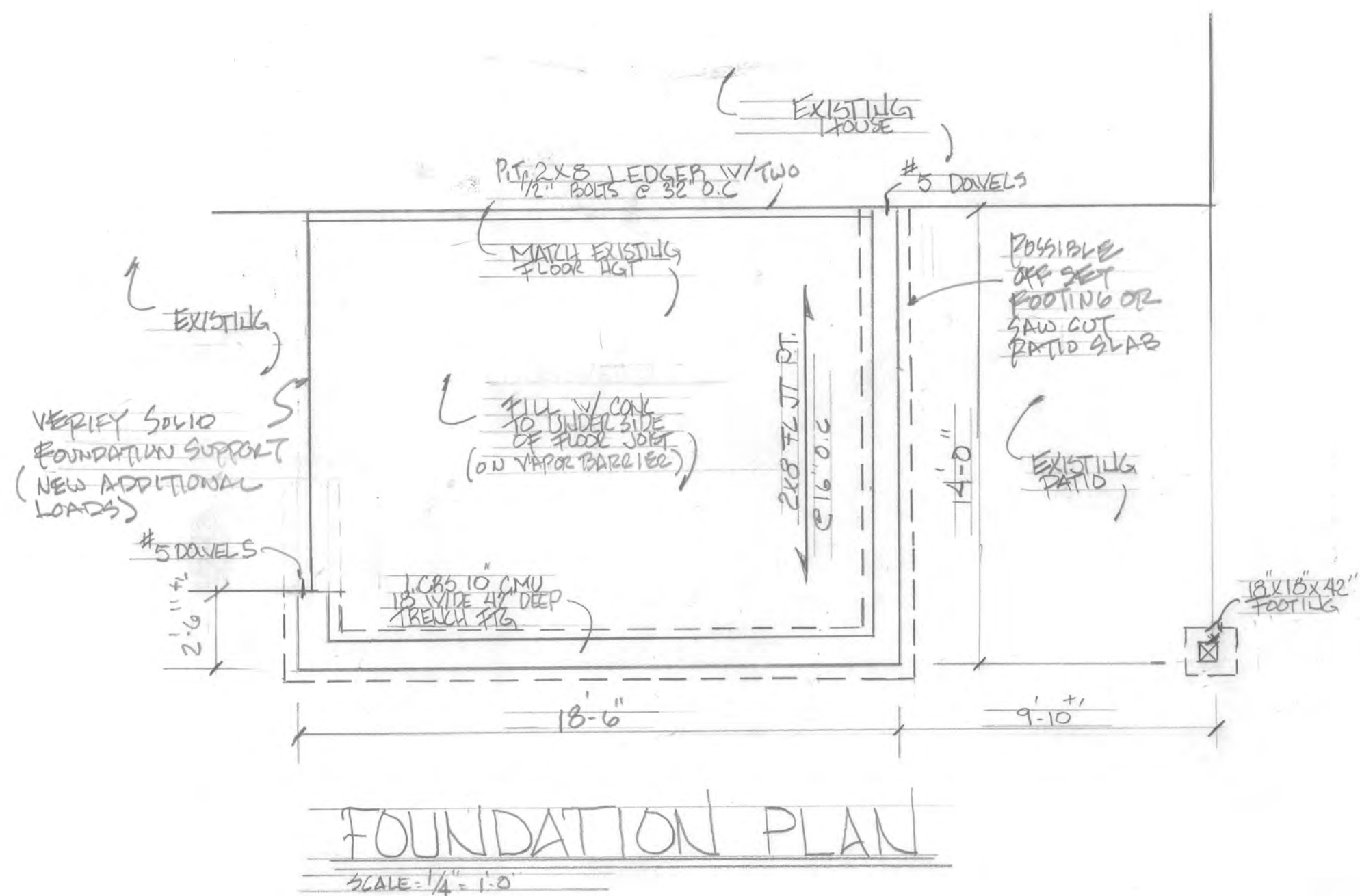
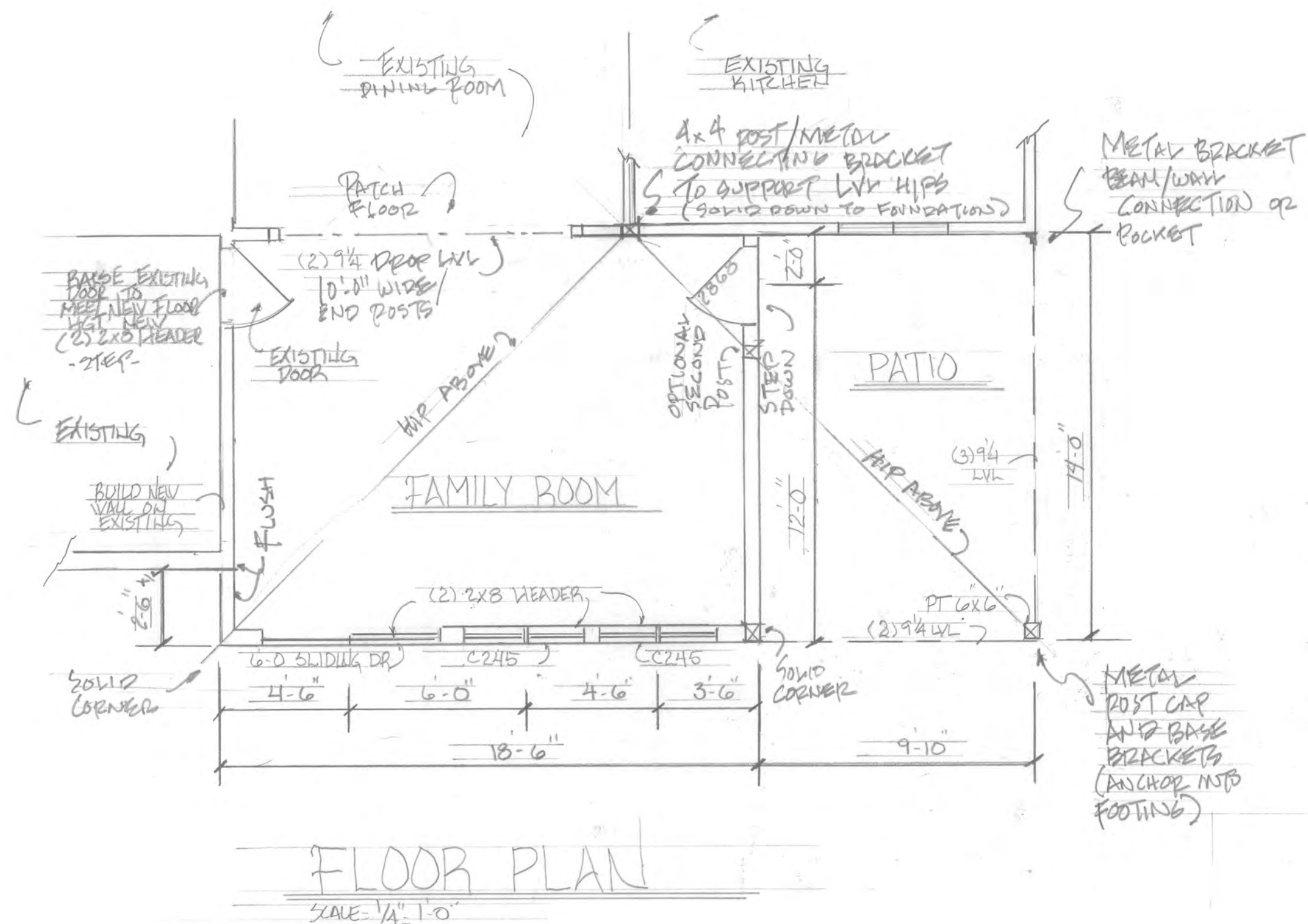


ROOF FRAMING PLAN



DEMOLITION PLAN
(EXISTING CONDITIONS)

FAMILY ROOM & PATIO ADDITION		
DAN & NANCY LOUGHRAN		
406 KILBOURN RD. PITTSFORD NY 14534		
DATE	APPROVED BY	DRAWN BY
3/21/25	JOE ADDANTE	THOMAS A. SACHEL
		SHEET: 1 of 2



FAMILY ROOM & PATIO ADDITION			SHEET
DAN & NANCY LOUGHRAN 406 KILBOURN PITTSFORD N.Y 14534			
DATE: 3/21/25	APPROVED BY JOE ADDANTE	DRAWN BY THOMAS A. SACHLI	2 of 2

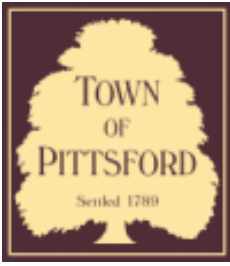












Town of Pittsford

Department of Public Works
11 South Main Street
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Permit #
B25-000062

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 123 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.13-3-5

Zoning District: RN Residential Neighborhood

Owner: Falter, Arthur H

Applicant: Falter, Arthur H

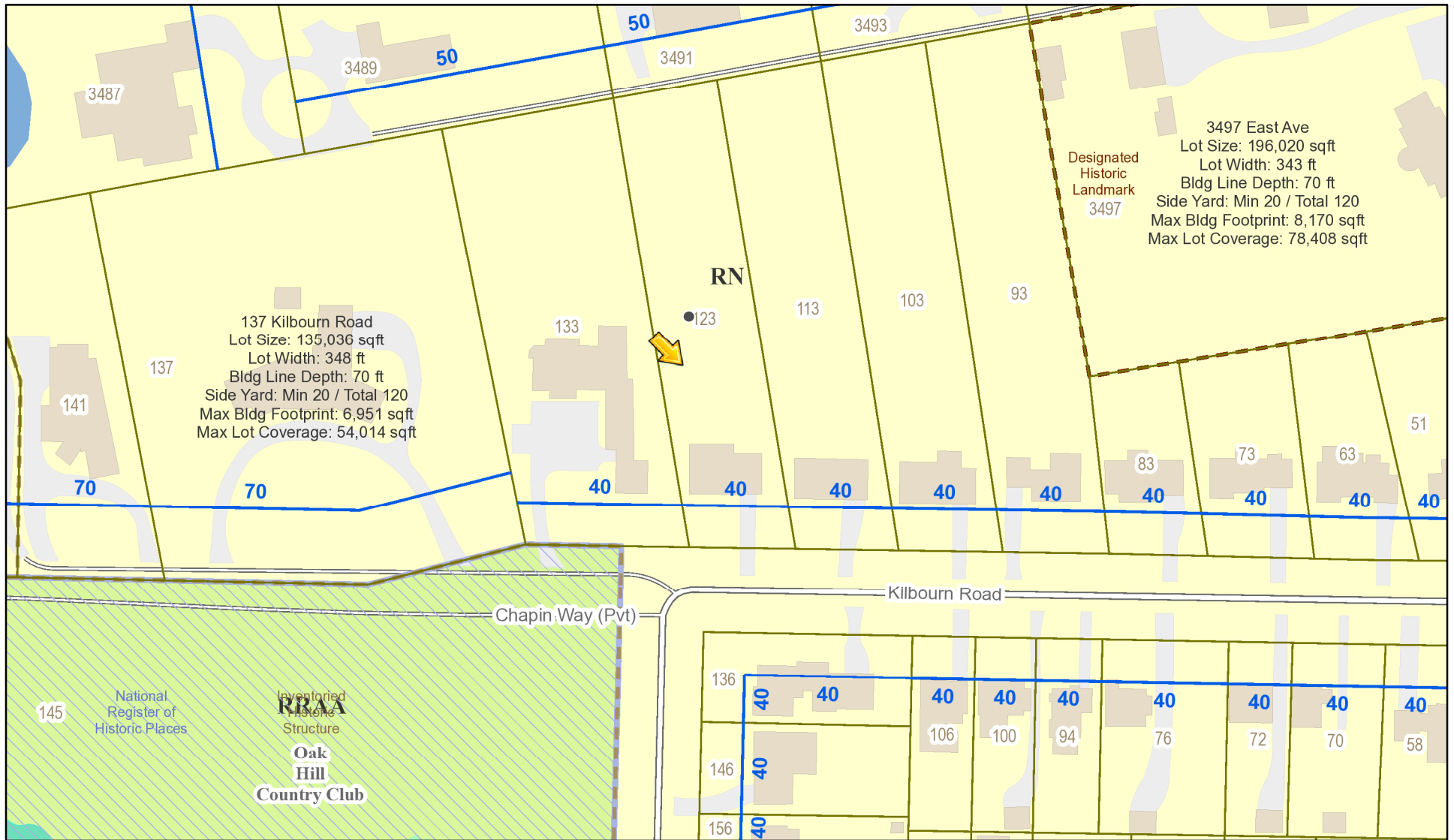
Application Type:

- | | |
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§185-17 (B) (2) |
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§185-17 (M) |
| <input type="checkbox"/> Signage
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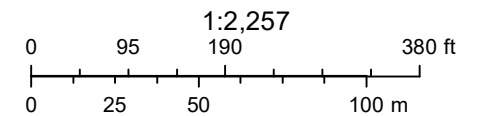
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Meeting Date: May 08, 2025

RN Residential Neighborhood Zoning



Printed April 30, 2025



Town of Pittsford GIS

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133

123

113

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FIRM Panel
36055C0357G

136

HOME ADDITION

123 KILBOURN ROAD
ROCHESTER, NY 14618

SHEET INDEX

- G-000 COVER SHEET
- G-101 SITE PLAN
- A-001 EXISTING PLANS
- A-100 DEMO PLANS
- A-101 PLANS AND DETAILS
- A-201 EXTERIOR ELEVATIONS North & East
- A-202 EXTERIOR ELEVATIONS South & West
- A-301 SECTIONS AND DETAILS



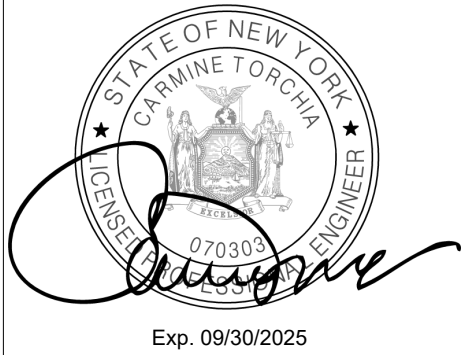


TSE

Torchia Structural Engineering &
Design P.C.

625 Panorama Trail
Suite 2210
Rochester, NY 14625

Phone: 585-385-7630
Fax: 585-385-6386
www.TSE123.com



Exp. 09/30/2025

Home Addition

Cellura

123 Kilbourn Rd
Rochester, NY 14618

G-000

COVER SHEET

3/29/2025

Construction Drawings

GENERAL/STRUCTURAL NOTES

I. GENERAL NOTE

1. THE BUILDING CODE USED IS THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2020 NTS ECCC. ALL EDITIONS OF APPLICABLE CODES AND STANDARDS SHALL BE THOSE WITHIN THE 2020
2. THIS PLAN COMPLIES WITH THE NEW YORK STATE ENERGY CONSERVATION CODE.
3. CONTRACTOR TO VERIFY ALL NOTES AND DIMENSIONS BEFORE STARTING CONSTRUCTION CONTACT ARCHITECT/ENGINEER IE ERRORS OR OMISSIONS ARE FOUND.
4. CONTRACTOR SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.
5. CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
6. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING AND/OR BRACING AS REQ 'D TO PERFORM THE WORK AS OUTLINED IN THE DRAWING(S) IN ORDER TO MAINTAIN THE SAFETY AND INTEGRITY OF ALL BUILDING ELEMENTS UNTIL CONSTRUCTION IS COMPLETE. SHORING IS CONSIDERED MEANS & METHODS AND THEREFORE, IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
7. WINDOW'S ARE TO INCLUDE EXTENSION JAMBS ON ALL UNITS AND INSECT SCREENS ON OPERABLE UNITS.
8. DIMENSIONS ARE TO CENTERLINE OR INT. WALLS AND TO FACE OF FOUNDATION AND FACE OF EXTERIOR STUDS UNLESS OTHERWISE NOTED. NOTE THAT IN SOME CASES AN INTERIOR WALL BECOMES AN EXTERIOR WALL AT SOME LEVEL ABOVE WHERE THE PLAN IS DRAWN, IN SUCH CASES, DIMENSIONS TO THAT WALL ARE TO THE FACE OR STUDS OF THE EXTERIOR PART OF THE WALL.
9. ALL VENTS TO HAVE INSECT SCREENS.
10. ALL BATT INSULATION TO BE AS SPECIFIED ON DRAWINGS USE APPROVED POLYETHYLENE VAPOR BARRIER ON WARM- IN-WINTER SIDE OF WALLS AND CEILINGS UNDER FINISHES LAP SEAMS AND SEAL.
11. SMOKE DETECTORS AND CARBON MONOXIDE SENSORS SHALL BE INSTALLED AND INTERCONNECTED AS PER THE RESIDENTIAL CODE OF NEW YORK STATE.
12. DWELLING UNIT KITCHEN & BATH COUNTERS & CABINETS, APPLIANCES, AND PLUMBING FIXTURES ARE TO BE SELECTED BY OWNER. PROVIDE VIBRATION ISOLATION PADS FOR EACH LEG OF WASHING MACHINE. VIBRATION-CONTROL WASHING MACHINES ALSO RECOMMEND.
13. DWELLING UNIT INTERIOR DOOR STYLE., MATERIAL AND FINISHES TO BE SELECTED BY OWNER. PROFILE AND PANEL ARRANGEMENT TO MATCH FOR ALL INTERIOR DOORS WITHOUT CLASS. ALL INTERIOR TRIM, WINDOW AND DOOR CASINGS STYLE, MATERIAL, AND FINISH TO BE SELECTED BY OWNER.
14. DWELLING UNIT INTERIOR CARPETING AND HARD-SURFACE FLOORING STYLES AND COLORS TO BE SELECTED BY OWNER.
15. DWELLING UNIT INTERIOR LIGHTING/LIGHTING FIXTURES TO BE SELECTED BY OWNER.
16. PLUMBING WORK INCLUDING WATER, SEWER & VENT PIPING TO BE INSTALLED IN COMPLIANCE WITH THE PLUMBING CODE OF NEW YORK.
17. ELECTRIC WORK INCLUDING UNDERGROUND SERVICE SHALL BE INSTALLED IN COMPLIANCE WITH NEC.
18. DESIGN OF SITE WORK, HVAC, PLUMBING AND ELECTRICAL WORK ARE BY OTHERS.

II. CONCRETE

- A. MATERIAL PROPERTIES
1. CONCRETE MINIMUM STRENGTH IN 28 DAYS TO BE 4000 PSI FOR SLABS AND FOOTINGS.
- B. INSTALLATION
1. UNLESS OTHERWISE SHOWN, ALL REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 318-LATEST EDITION.
 2. UNLESS OTHERWISE NOTED, REINFORCING SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVERS: 3 " COVER WHERE UNFORMED AND AGAINST EARTH, 2 " WHERE FORMED AND AGAINST EARTH, AND 1 " WHERE FORMED AND NOT AGAINST EARTH. SEE ACI CODE.
 3. UNLESS OTHERWISE SHOWN, REINFORCING SPLICES SHALL BE MINIMUM 36 BAR DIAMETERS.
 4. CONCRETE EXPOSED TO FREEZE-THAW CYCLES (INCLUDING BUT NOT LIMITED TO EXTERIOR SLABS) SHALL HAVE 4% - 6% ENTRAINED AIR.
 5. SPECIAL ATTENTION SHALL BE GIVEN TO CONCRETE PLACED DURING HOT OR COLD WEATHER. ALL SPECIAL PRACTICES PRESCRIBED BY ACI SHALL BE FOLLOWED DURING THE PLACEMENT OF CONCRETE DURING SPECIAL WEATHER CONDITIONS.
 6. ALL FOOTINGS TO REST ON UNDISTURBED (NATIVE) SOIL. ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 1,500 PSF PER IBC 2015, CHAPTER 18 - SOILS AND FOUNDATIONS. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS

III. CONCRETE MASONRY

- A. MATERIAL PROPERTIES
1. CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90, TYPE I, GRADE N.
 2. MORTAR - ASTM C270, TYPE S (FM=1500 PSI)
 3. BLOCK FILL - ASTM C476, COURSE GROUT (FC=3000 PSI)
 4. REINFORCING: BARS . . . ASTM A615, GRADE 60 LADDER TYPE MASONRY JOINT REINFORCING ASTM A82
- B. INSTALLATION
1. ALL CONCRETE BLOCK WORK TO HAVE "DUR-O-WAL " (LADDER TYPE) OR EQUAL EVERY 2ND COURSE, OR, AS INDICATED ON DRAWINGS.
 2. FILL BLOCK CORES SOLID AROUND ALL REBAR AND ANCHOR BOLTS WITH 3000 PSI GROUT.
 3. CONCRETE BLOCK MASONRY SHALL BE SET IN FULL MORTAR BEDDING.

IV. WOOD

- A. MATERIAL PROPERTIES
1. WOOD DIMENSIONAL LUMBER TO BE HEM-FIR #2 (OR EQUAL), WITH MINIMUM NDS REFERENCE DESIGN VALUES EQUAL TO:

BENDING	(F _b)	= 850 psi
COMPRESSION PARALLEL TO GRAIN	(F _c)	= 1,300 psi
MODULUS OF ELASTICITY	(E)	= 1,300,000 psi
MIN. MODULUS OF ELASTICITY	(E _{MIN})	= 470,000 psi
SHEAR PARALLEL TO GRAIN	(F _v)	= 150 psi
 2. MICOLAM / LVL BEAMS TO MEET MINIMUM REFERENCE DESIGN VALUES EQUAL TO:

BENDING	(F _b)	= 2,600 psi
COMPRESSION PARALLEL TO GRAIN	(F _c)	= 2,500 psi
MODULUS OF ELASTICITY	(E)	= 2,000,000 psi
MIN. MODULUS OF ELASTICITY	(E _{MIN})	= 1,016,535 psi
SHEAR PARALLEL TO GRAIN	(F _v)	= 285 psi
- B. INSTALLATION
1. ALL INTERIOR, COVERED FRAMING LUMBER TO BE KILN DRIED, WITH A MAXIMUM MOISTURE CONTENT (MC) OF 19%.
 2. THE GENERAL CONTRACTOR SHALL REJECT ALL POOR QUALITY LUMBER THAT IS NOT SUITABLE FOR ITS INTENDED PURPOSE, REGARDLESS OF GRADE.
 3. CONTINUOUSLY GLUE AND CONNECT ALL HEADERS WITH 2 ROWS OF 16D COMMON NAILS AT 12 " O.C. MAX., EACH FACE, STAGGERED, U.O.N.
 4. ALL EXTERIOR HEADER AND HEADERS IN INTERIOR 2x6 BEARING WALLS TO BE 3-2x8 'S WITH 1/2" PLYWOOD IN BETWEEN U.O.N.
 5. HEADER & WOOD BEAMS WITHIN OR UNDER STUD WALLS ARE TO HAVE PLYWOOD IN-BETWEEN MULTIPLE MEMBERS SO THAT THE THICKNESS OF THE BEAM EQUALS THE THICKNESS OF THE STUD WALL.
 6. ALL INTERIOR HEADERS TO BE 2-2x6'S WITH 1/2" PLYWOOD IN BETWEEN U.O.N.
 7. ALL INTERIOR WALLS TO BE 2x4 STUDS @16 " O.C. UNLESS OTHER NOTED.
 8. PROVIDE SOLID BLOCKING UNDER ALL HEADER SUPPORTS DOWN TO MASONRY WALL OR BEAMS.
 9. DOUBLE STUDS UNDER EACH END OF HEADERS-UNLESS OTHERWISE NOTED.
 10. ALL LUMBER IN CONTACT WITH MASONRY, CONC. OR EARTH OR WITHIN 1-0 " OF GRADE & EXPOSED SHALL BE PRESSURE TREATED. ALL DECK FLOOR FRAMING LUMBER TO BE PRESSURE TREATED.
 11. WALL SHEATHING AT EXTERIOR WALLS: 1/2 " EXTERIOR GRADE APA RATED CDX PLYWOOD.
 12. ROOF SHEATHING: 5/8" CDX EXTERIOR GRADE PLYWOOD (W/ EDGE SUPPORT) W/ 10D NAILS @ 12 " O.C. (MIN.) INTO ALL SUPPORTS.
 13. ALL RAFTERS AND ROOF TRUSSES ARE TO BE TIED DOWN WITH "SIMPSON" HURRICANE CLIPS AS INDICATED ON DRAWINGS.
 14. FRAMING ANCHORS, JOIST HANGER, ETC. SHALL BE GALVANIZED STEEL (16 GA. MIN.) INSTALL IN STRICT ACCORDANCE WITH MFR 'S INSTRUCTIONS, INCLUDING MFR 'S SPECIFIED FASTENERS. PROVIDE PRODUCTS BY "SIMPSON CO." OR APPROVED PROPOSED SUBSTITUTE.
 15. PRE-ENGINEERED WOOD ROOF TRUSSES @ 24 " O.C., DESIGN BY MANUFACTURER: TRUSSES SHALL BE DESIGNED BY A NYS LICENSED ENGINEER & DESIGNED TO WITHSTAND A 20 PSF ROOF LIVE LOAD, 35 PSF. FLAT ROOF SNOW LOAD, 10 PSF DEAD LOAD FOR TOP CHORD. TRUSS BOTTOM CHORD TO BE DESIGNED FOR FOR A MINIMUM 10 PSF DEAD LOAD & 20 PSF LIVE LOAD, AS WELL AS THE LOAD OF THE. PROPOSED HVAC UNIT (VERIFY WEIGHT WITH HVAC MFR.). TRUSSES MUST ALSO BE DESIGNED FOR SNOW DRIFT LOADS AT LOWER ROOF CONDITIONS AND VALLEY LOCATIONS. SIMPSON H2.5A HURRICANE TIES SHALL BE USED AT EACH END OF ALL TRUSSES FOR CONNECTION TO SUPPORTING STRUCTURE.
 16. THE FOLLOWING TRUSS INSTALLATION REQUIREMENTS ARE TO BE DETERMINED BY THE MANUFACTURE:

A. MINIMUM BEARING LENGTH.
B. INSTALLATION OF BLOCKING PANELS, RIM BOARDS OR RIM JOISTS.
C. BRACING.
D. NAILING REQUIREMENTS.
E. WEB STIFFENER REQUIREMENTS.


17.SUBMIT SHOP DRAWINGS FOR EACH TYPE OF TRUSS TO BE INCORPORATED INTO THE STRUCTURE AND INCLUDING ALL REQUIREMENTS FOR BRIDGING, BLOCKING, CONNECTIONS ETC. AS ARE NECESSARY FOR THE TRUSSES, PREPARED & SEALED BY AN ENGINEER LICENSED IN THE STATE OF NEW YORK, TO THE ARCHITECT FOR REVIEW BEFORE BEGINING FABRICATION.



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625 Panorama Trail
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Exp. 09/30/2025

Home Addition

Cellura

123 Kilbourn Rd
Rochester, NY 14618

G-001

GENERAL NOTES

3/29/2025
Construction Drawings

R-1 ZONING SUMMARY:

USE
SINGLE FAMILY DETACHED DWELLING (COMPLIES)

LOT
AREA: 43,459 SF (COMPLIES)
COVERAGE: 9.8% (COMPLIES)

ZONING CODE REQUIREMENTS
PARCEL ID: 138.13-3-5
LOT SIZE: 43,560.00 SQFT
LOT WIDTH: 101 FT
BLDG LINE DEPTH: 40 FT
SIDE YARD: MIN 10' / TOTAL 25'
REAR BUFFER: 20 FT
MAX BLDG FOOTPRINT: 4,892 SQFT
MAX LOT COVERAGE: 17,424 SQFT
MAX BLDG HEIGHT: 30 FT

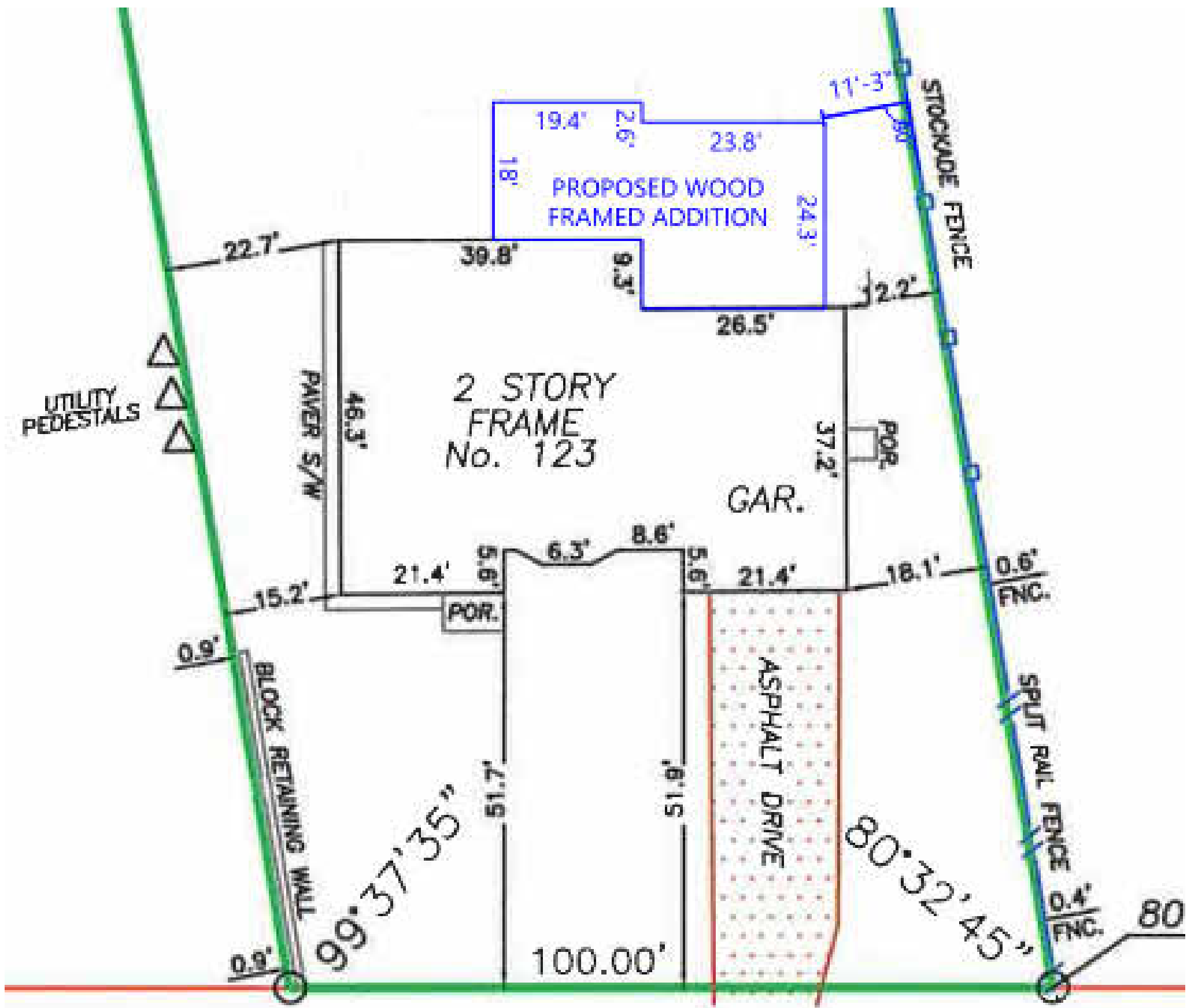
BUILDING SETBACKS:
FRONT YARD BLDG LINE DEPTH REVIEWED = 40'
FRONT: 51.7' (EXISTING TO REMAIN, COMPLIES)

SIDE YARD REVIEWED = MIN 10' / TOTAL 25'
SIDE 1: 11.3'(COMPLIES)
SIDE 2: 15.2' (EXISTING TO REMAIN, COMPLIES)

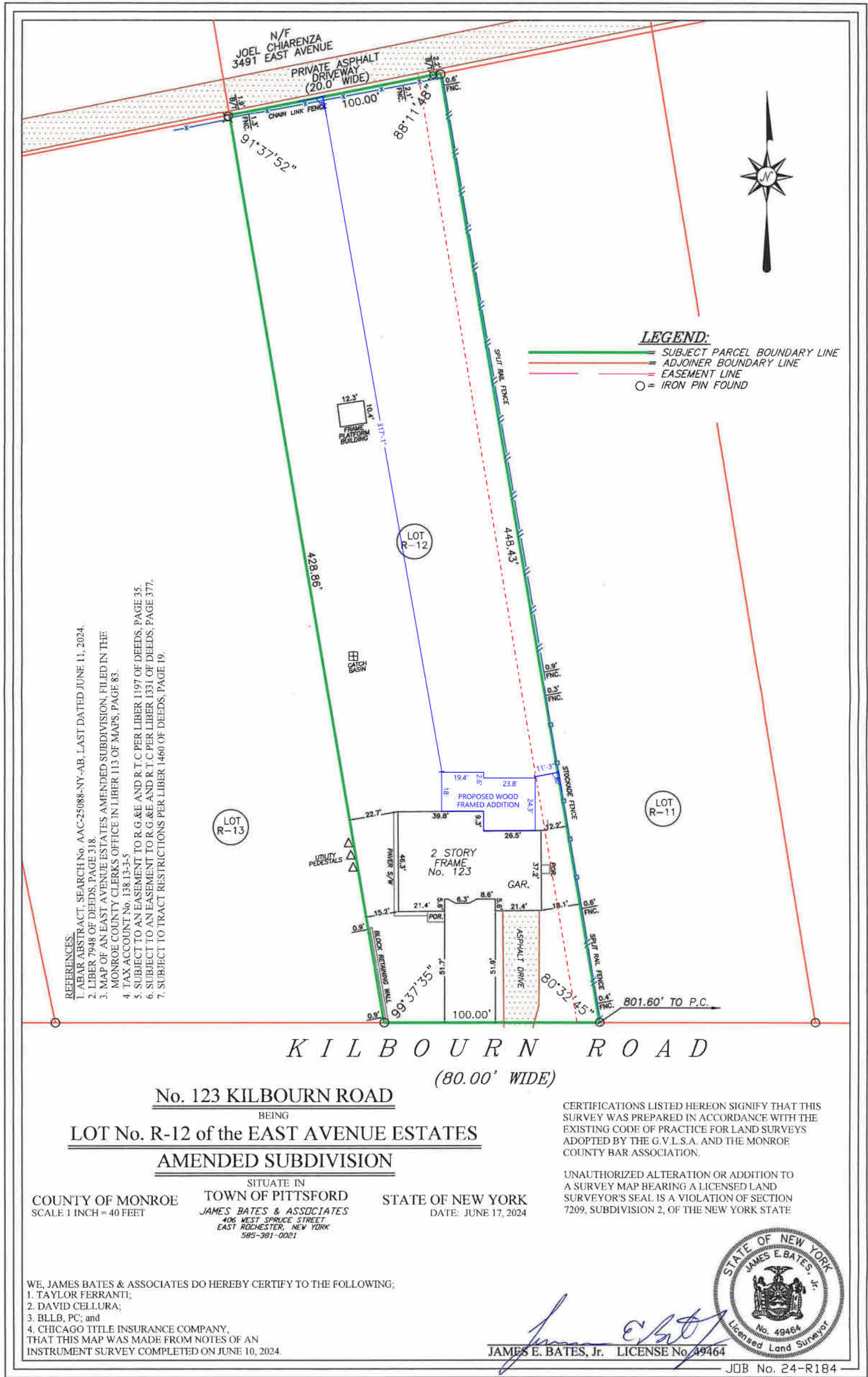
REAR YARD REVIEWED = 20'
REAR: 317.1' (COMPLIES)

BUILDING FOOTPRINT
MAX BLDG FOOTPRINT REVIEWED = 4,892 SQFT
BLDG FOOTPRINT W/ ADDITON = 3,655 SQFT (COMPLIES)

HEIGHT
28' (TO RIDGE), 2 STORIES (EXISTING TO REMAIN,COMPLIES)



PROPOSED ADDITION



PROPERTY SURVEY & ADDITION

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STATE OF NEW YORK
JAMES E. BATES, JR.
No. 49464
Licensed Land Surveyor
Exp. 09/30/2025

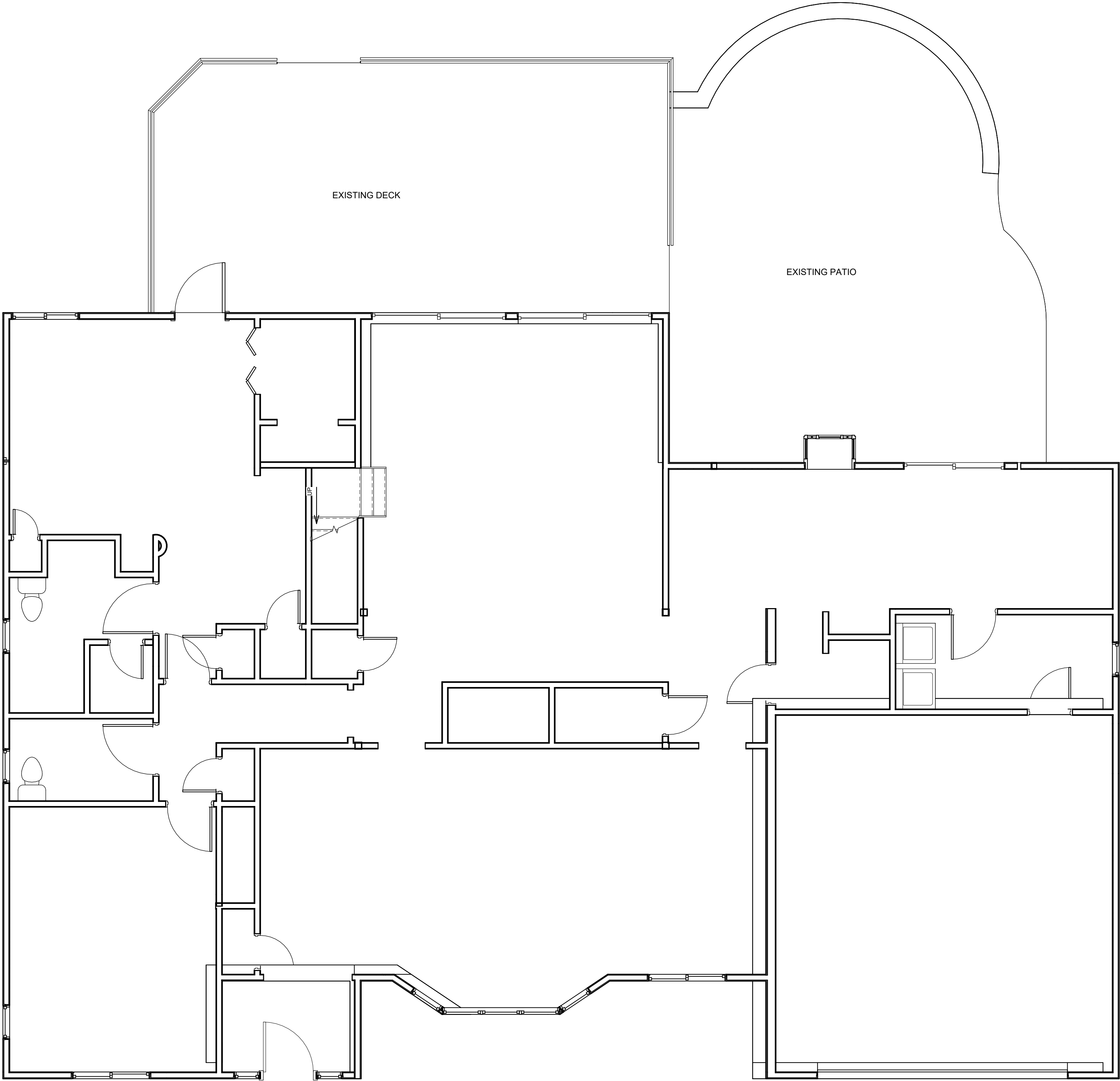
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G-101
SITE PLAN

3/29/2025
Construction Drawings

EXISTING CONDITIONS NOTE: THE INFORMATION DEPICTED ON THESE ARCHITECTURAL DRAWINGS, INCLUDING BUT NOT LIMITED TO DIMENSIONS, CONFIGURATIONS, AND CHARACTERISTICS OF EXISTING STRUCTURES, UTILITIES, AND SITE FEATURES, HAS BEEN COMPILED BASED ON LIMITED OBSERVATIONS, AVAILABLE RECORDS, AND ASSUMPTIONS DERIVED FROM DATA ACCESSIBLE AT THE TIME OF PREPARATION. IT IS INCUMBENT UPON THE CONTRACTOR TO UNDERTAKE A THOROUGH AND COMPREHENSIVE EXAMINATION OF ALL EXISTING CONDITIONS PRIOR TO THE INITIATION OF ANY DEMOLITION, CONSTRUCTION, OR RELATED ACTIVITIES. THIS EXAMINATION SHALL ENCOMPASS, WITHOUT LIMITATION, THE VERIFICATION OF ALL MEASUREMENTS, STRUCTURAL ELEMENTS, MATERIAL CONDITIONS, UTILITY LOCATIONS, AND ANY OTHER PERTINENT SITE-SPECIFIC FACTORS THAT MAY INFLUENCE THE EXECUTION OF THE WORK. SHOULD ANY DIFFERENCES, INCONSISTENCIES, OR UNFORESEEN CIRCUMSTANCES ARISE BETWEEN THE CONDITIONS AS REPRESENTED ON THESE DRAWINGS AND THOSE ENCOUNTERED IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY DOCUMENT SUCH FINDINGS IN DETAIL AND COMMUNICATE THEM TO THE OWNER FOR REVIEW, DISCUSSION, AND DETERMINATION OF THE APPROPRIATE COURSE OF ACTION BEFORE PROCEEDING FURTHER. THE CONTRACTOR SHALL BEAR THE RESPONSIBILITY OF ENSURING THAT ALL WORK IS ADJUSTED AS NECESSARY TO ACCOMMODATE THE ACTUAL CONDITIONS DISCOVERED DURING THE COURSE OF THE PROJECT, MAINTAINING ONGOING COORDINATION WITH THE OWNER TO ADDRESS ANY IMPACTS ON THE SCOPE, SCHEDULE, OR COST RESULTING FROM SUCH DISCOVERIES.

EXISTING PLANS FOR REFERENCE ONLY.



1 FIRST FLOOR PLAN - EXISTING
1/4" = 1'-0"



FIELD VERIFICATION: CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL MEASUREMENTS, STRUCTURAL CONDITIONS, AND UTILITY LOCATIONS IN THE FIELD. ANY VARIATIONS FROM THE DRAWINGS SHALL BE REPORTED TO THE OWNER FOR REVIEW AND RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION.

EXISTING CONDITIONS: DRAWINGS INDICATE ASSUMED EXISTING CONDITIONS. CONTRACTOR SHALL ADAPT WORK AS NECESSARY TO ACCOMMODATE ACTUAL FIELD CONDITIONS AND ENSURE COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.

CODE COMPLIANCE: CONTRACTOR SHALL ENSURE ALL WORK COMPLIES WITH CURRENT LOCAL BUILDING CODES, REGULATIONS, AND ORDINANCES, AND SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS.

OWNER NOTIFICATION: ANY UNFORESEEN CONDITIONS OR DEVIATIONS FROM THE DRAWINGS DISCOVERED DURING DEMOLITION OR CONSTRUCTION SHALL BE DOCUMENTED AND REVIEWED WITH THE OWNER FOR DIRECTION PRIOR TO PROCEEDING.

DOCUMENTATION: CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF EXISTING CONDITIONS AND ANY MODIFICATIONS MADE DURING THE COURSE OF THE WORK, PROVIDING DOCUMENTATION TO THE OWNER UPON REQUEST.

[illegible]

2 ROOF PLAN
1/8" = 1'-0"

CONTRACTOR TO PROVIDE PRICING TO REMOVE AND INFILL WINDOWS. (MATCH EXISTING SIDING)
CONTRACTOR TO REVIEW WITH OWNER PRIOR TO ANY REMOVALS AND INFILL WORK. _____

REMOVE EXISTING DOORS AND WALL PROVIDE
SHORING AS NEEDED. PROVIDE PROPER
PREPARATIONS FOR NEW BEAM PER FLOOR PLAN

REMOVE EXISTING
PATIO COMPLETELY
AND PREP FOR NEW
WORK.

— DEMO EXISTING BAY WINDOW

REMOVE EXISTING DOORS AND WALL PROVIDE SHORING AS NEEDED. PROVIDE PROPER PREPARATIONS FOR NEW BEAM PER FLOOR PLAN

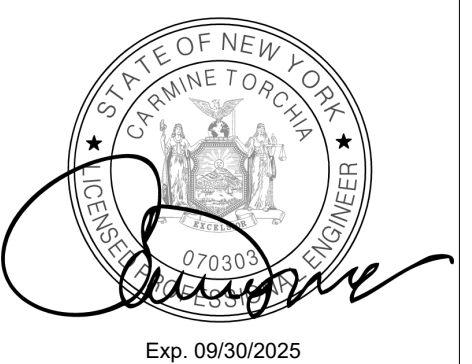
REMOVE KITCHEN
CONSTRUCTION AND
DRYWALL COMPLETELY.
PREP FOR NEW WORK.

1 FIRST FLOOR PLAN - DEMO
1/4" = 1'-0"



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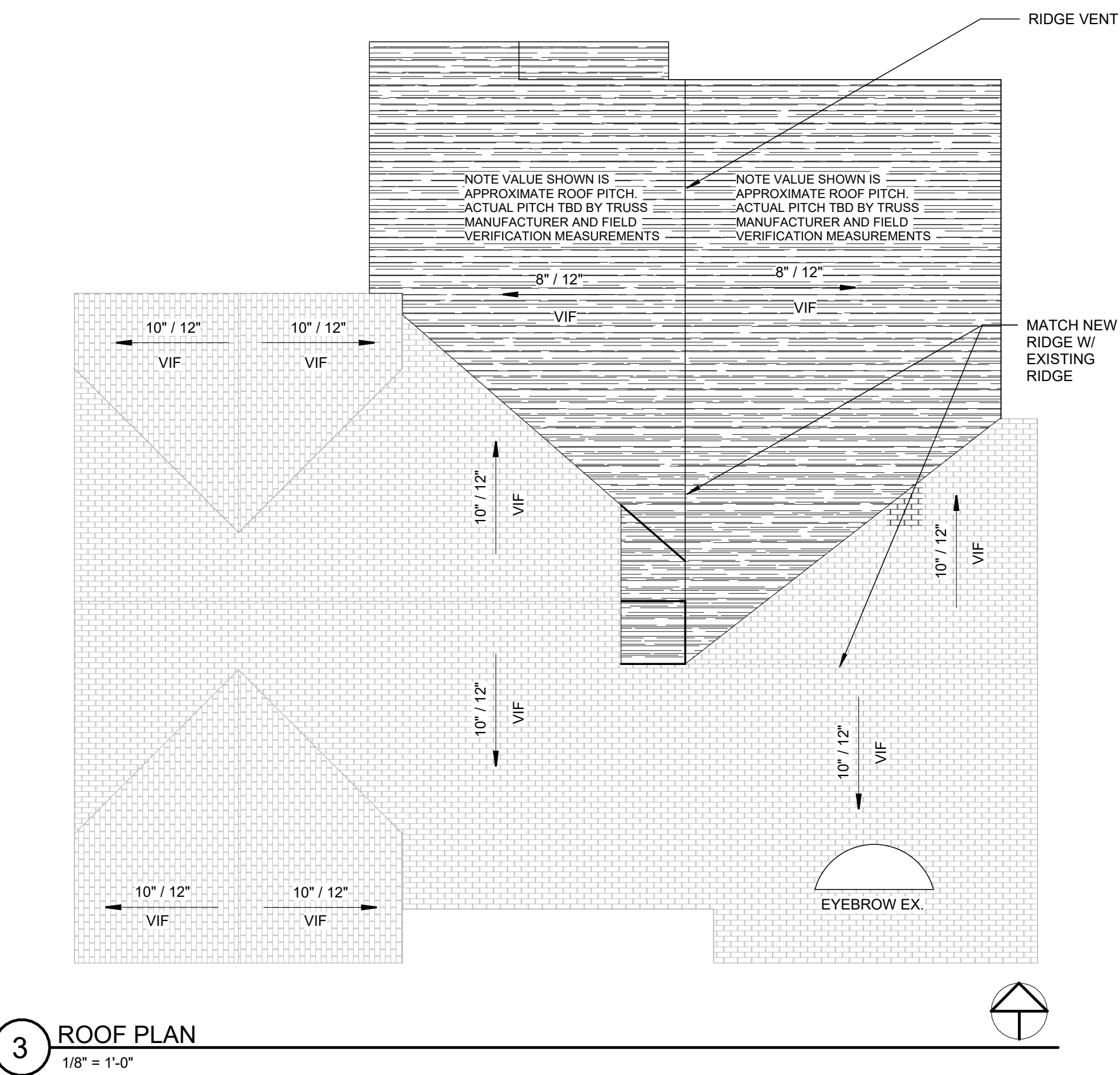
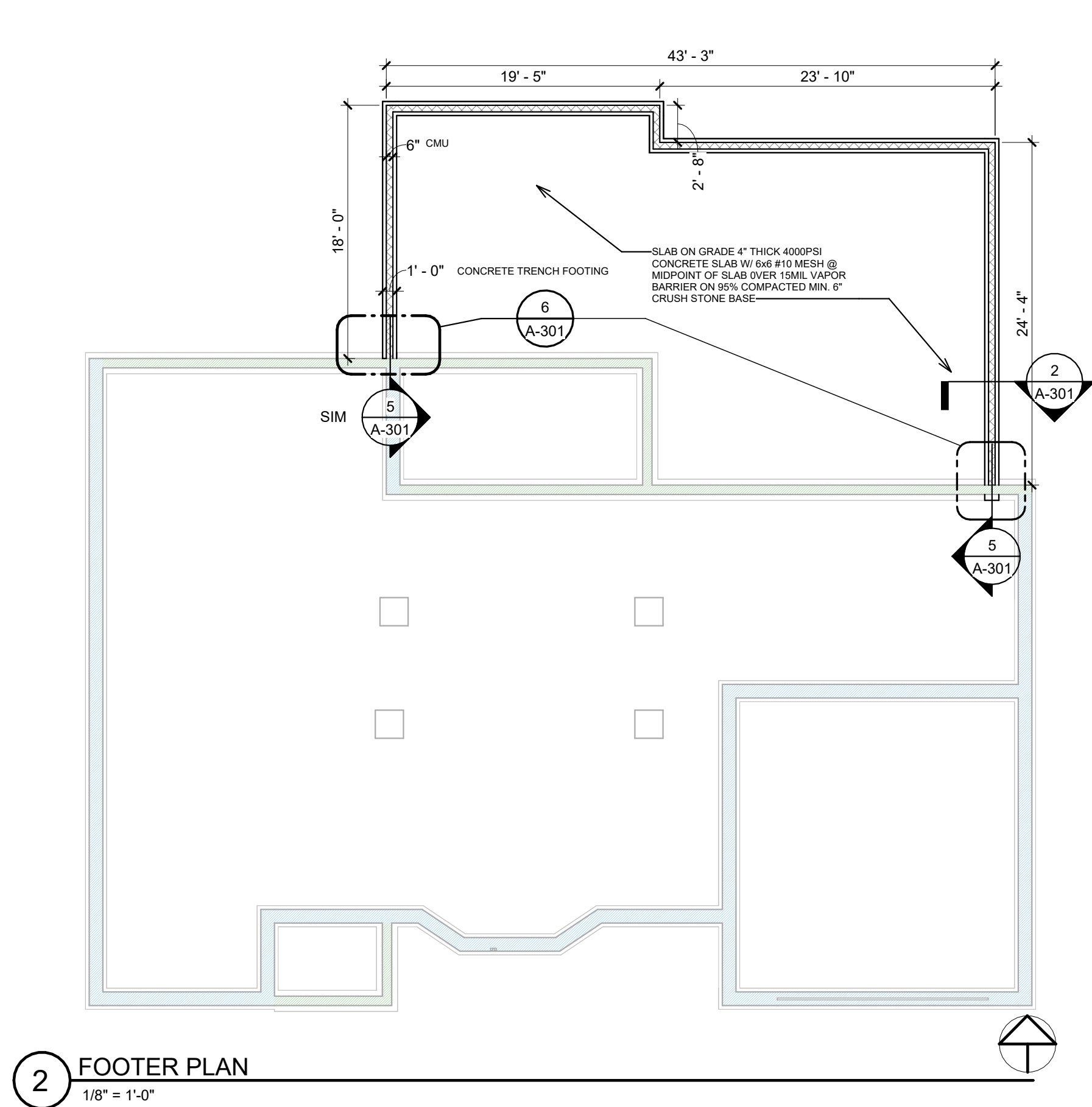
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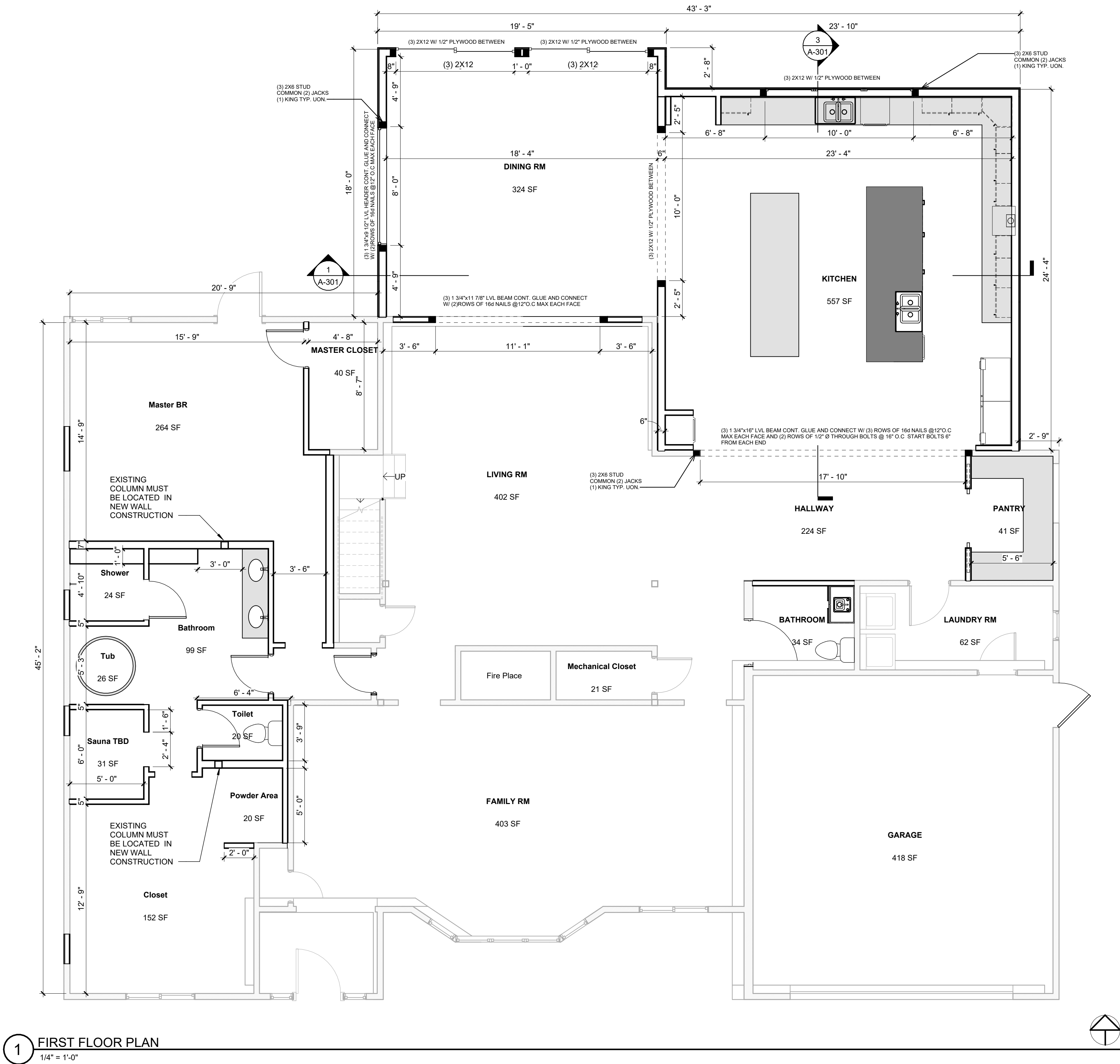
A-100

DEMO PLANS

3/29/2025
Construction Drawings

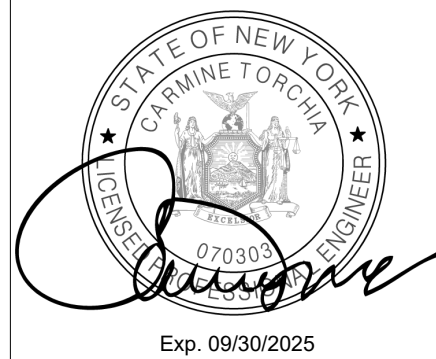


DESIGN INTENT NOTE: THESE DRAWINGS ARE INTENDED TO PROVIDE THE BUILDING STRUCTURE AND WALL LAYOUT FOR THE ADDITION AND INTERIOR RENOVATIONS. INTERIOR PLANNING, DETAILING, AND SPECIFIC DESIGN ELEMENTS—including FINAL KITCHEN LAYOUT, VANITY SIZES AND LOCATIONS, AND MEP SYSTEMS (PLUMBING, HVAC, AND ELECTRICAL)—SHALL BE COORDINATED AND FINALIZED WITH THE OWNER AS PART OF A DESIGN-BUILD PROCESS. MECHANICAL SYSTEMS ARE NOT FULLY DETAILED HEREIN; FOR PRICING PURPOSES, CONTRACTOR SHALL ASSUME ALL NECESSARY PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS TO COMPLY WITH CURRENT LOCAL BUILDING CODES AND STANDARDS, WITH THE BASIS OF DESIGN BEING BUILDER-GRADE MATERIALS AND EQUIPMENT UNLESS OTHERWISE DIRECTED BY THE OWNER IN WRITING. THE OWNER HAS COLLABORATED WITH INTERIOR DESIGNERS ON THE MASTER BATHROOM LAYOUT AND FINISHES, AS WELL AS THE KITCHEN LAYOUT AND FINISHES; THESE DESIGN DOCUMENTS SHOULD BE PROVIDED BY THE OWNER AS AN ATTACHMENT TO THESE DRAWINGS FOR PRICING PURPOSES. IF SUCH DOCUMENTS HAVE NOT BEEN PROVIDED TO THE CONTRACTOR AT THE TIME OF BIDDING, THE CONTRACTOR SHALL REQUEST THESE DOCUMENTS IN WRITING FROM THE OWNER TO ENSURE ACCURATE BIDDING AND COORDINATION.



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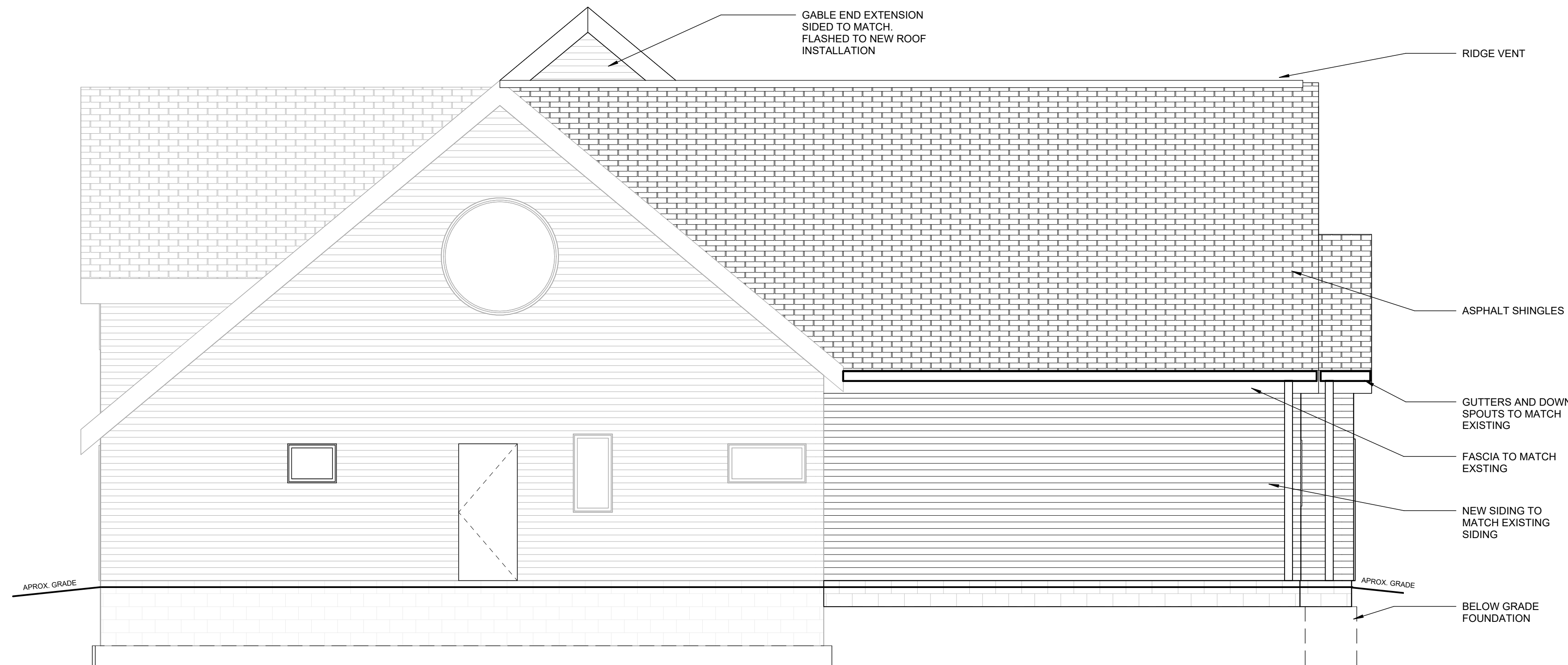


Home Addition

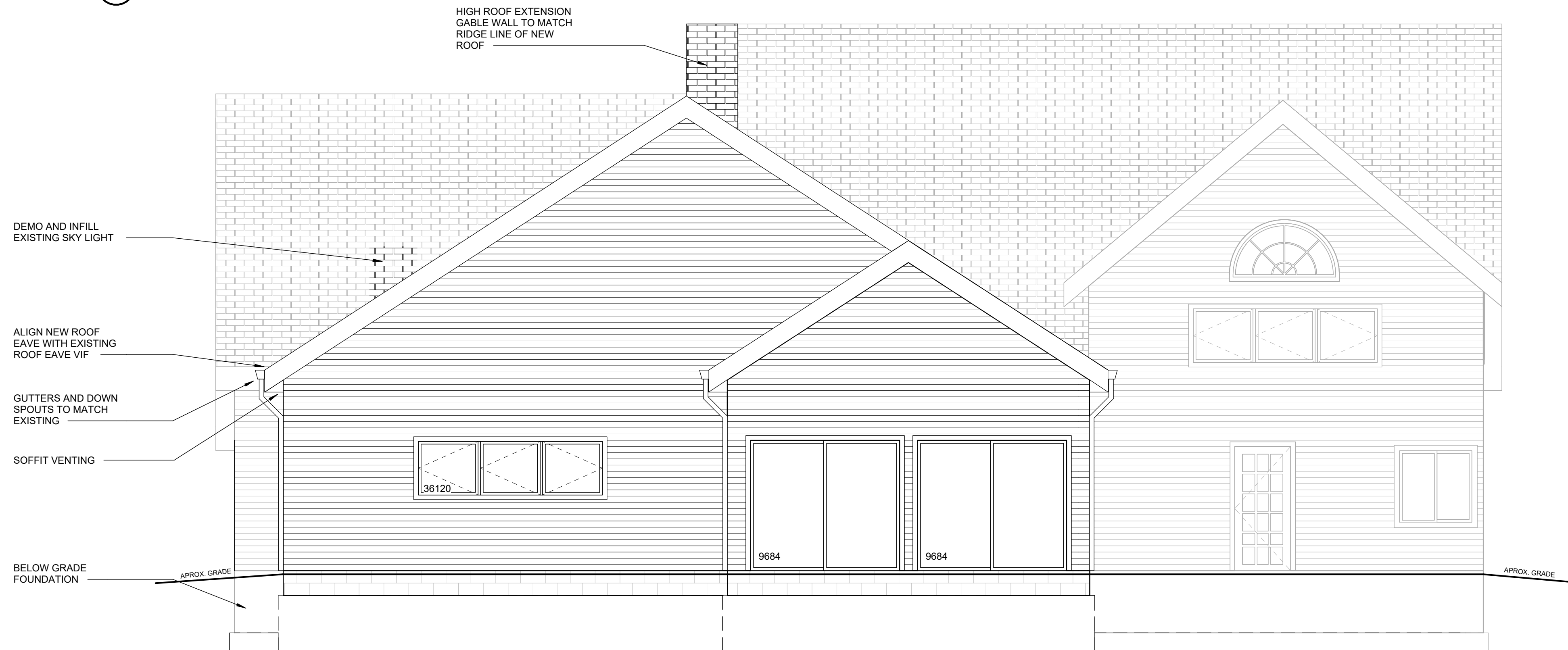
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PLANS AND DETAILS

3/29/2025
Construction Drawings



2 East Elevation
1/4" = 1'-0"

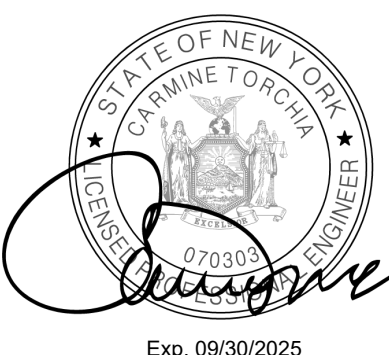


1 North Elevation
1/4" = 1'-0"



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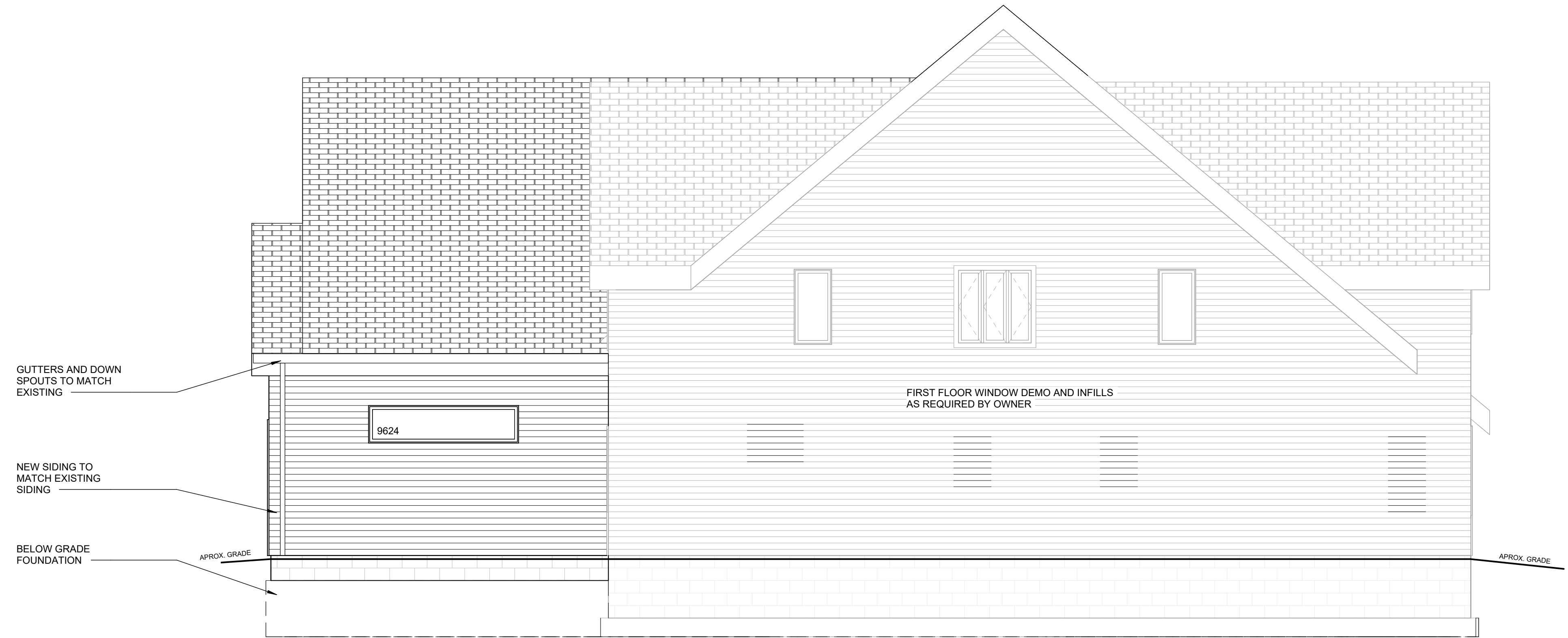
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EXTERIOR
ELEVATIONS NORTH
& EAST

3/29/2025
Construction Drawings



1 West Elevation
1/4" = 1'-0"

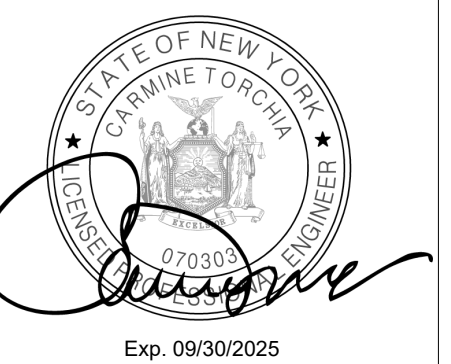


2 South Elevation
1/4" = 1'-0"



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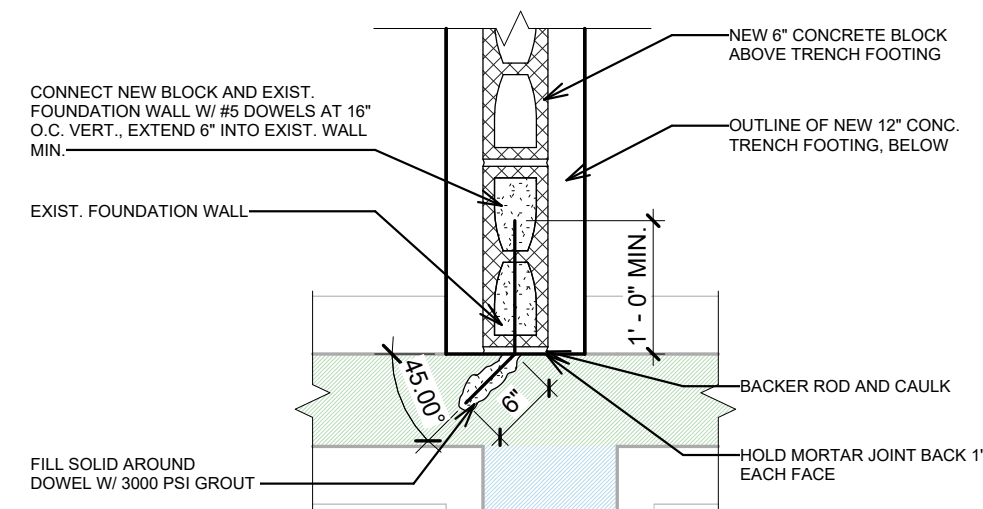
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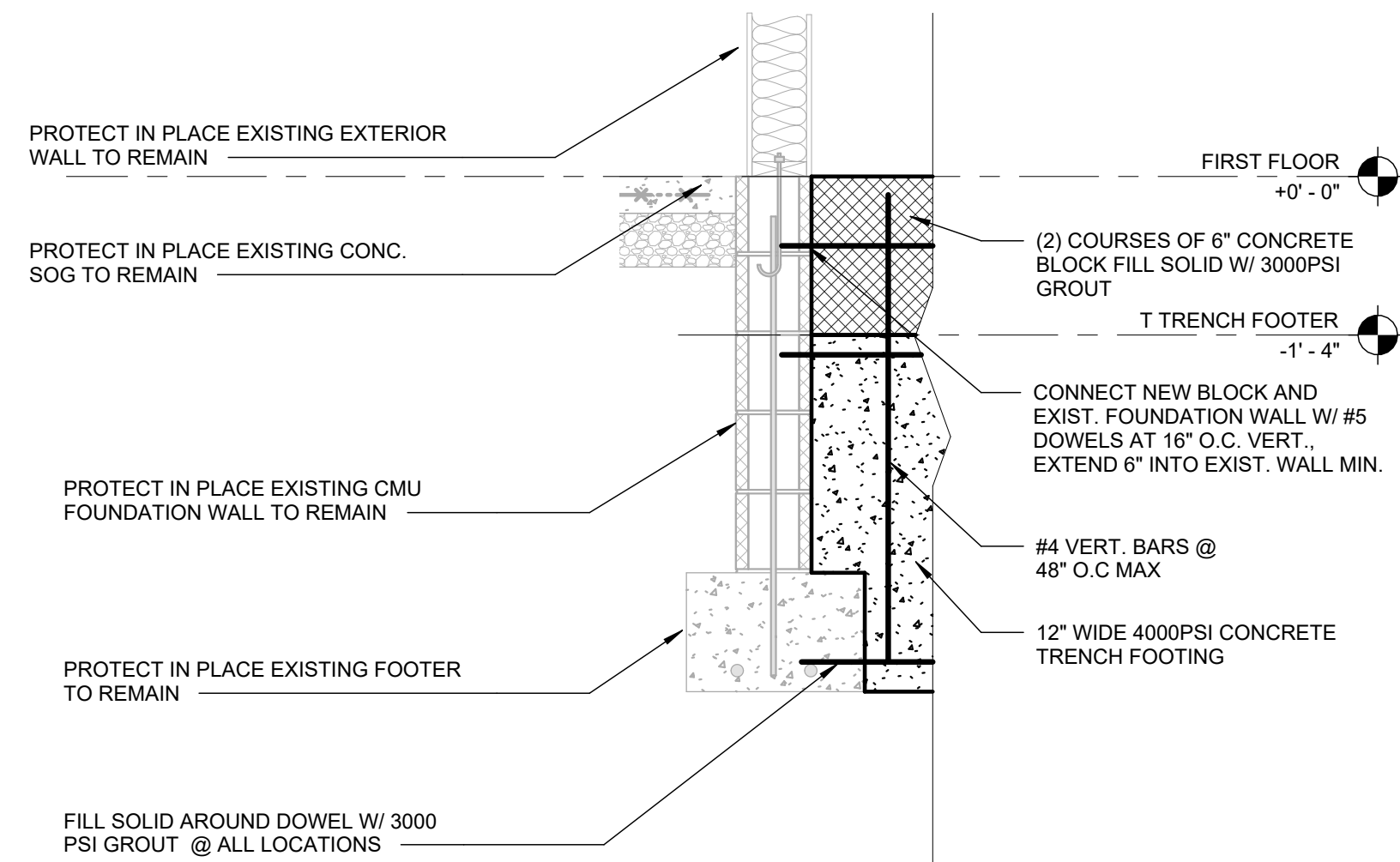
A-202

EXTERIOR
ELEVATIONS SOUTH
& WEST

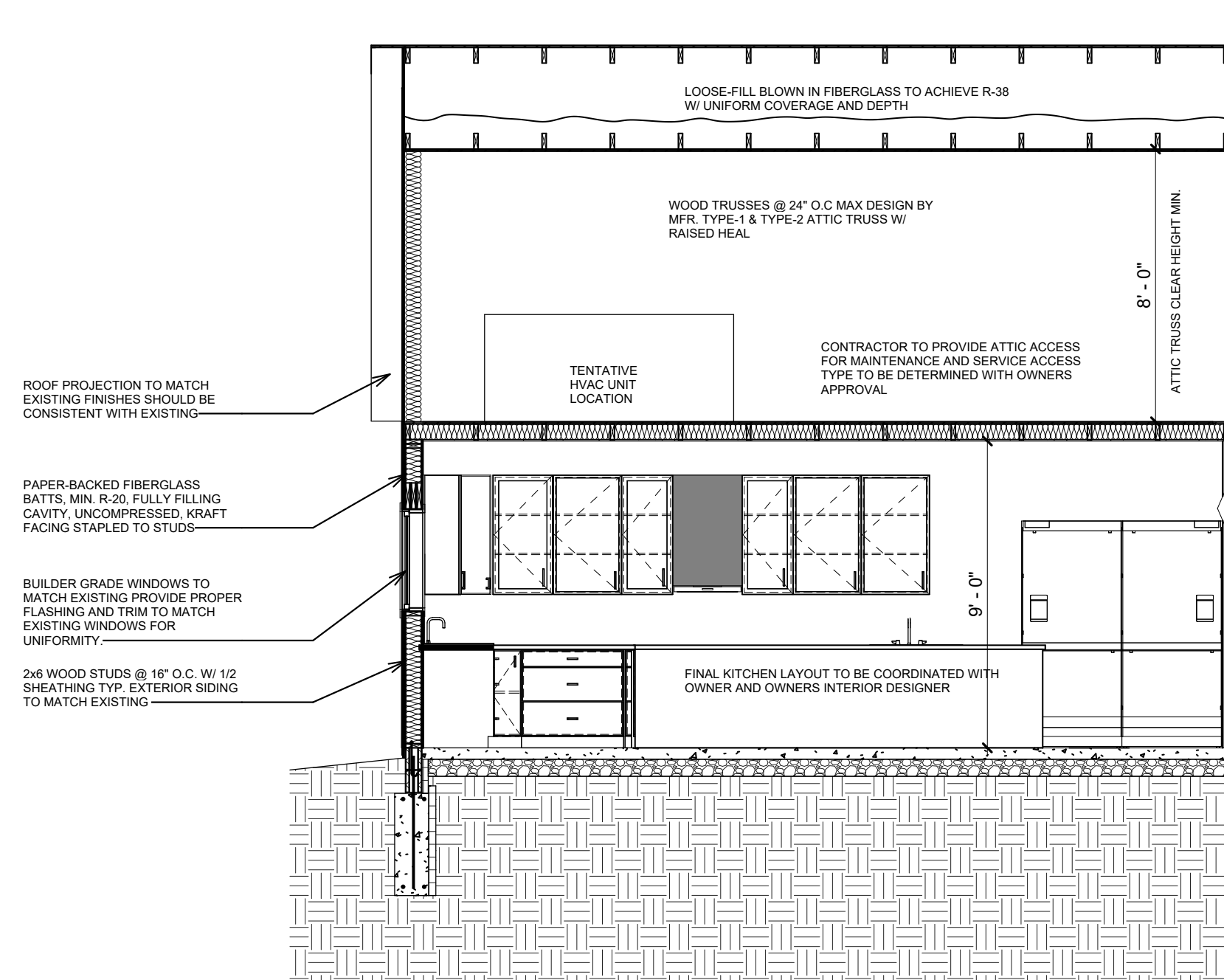
3/29/2025
Construction Drawings



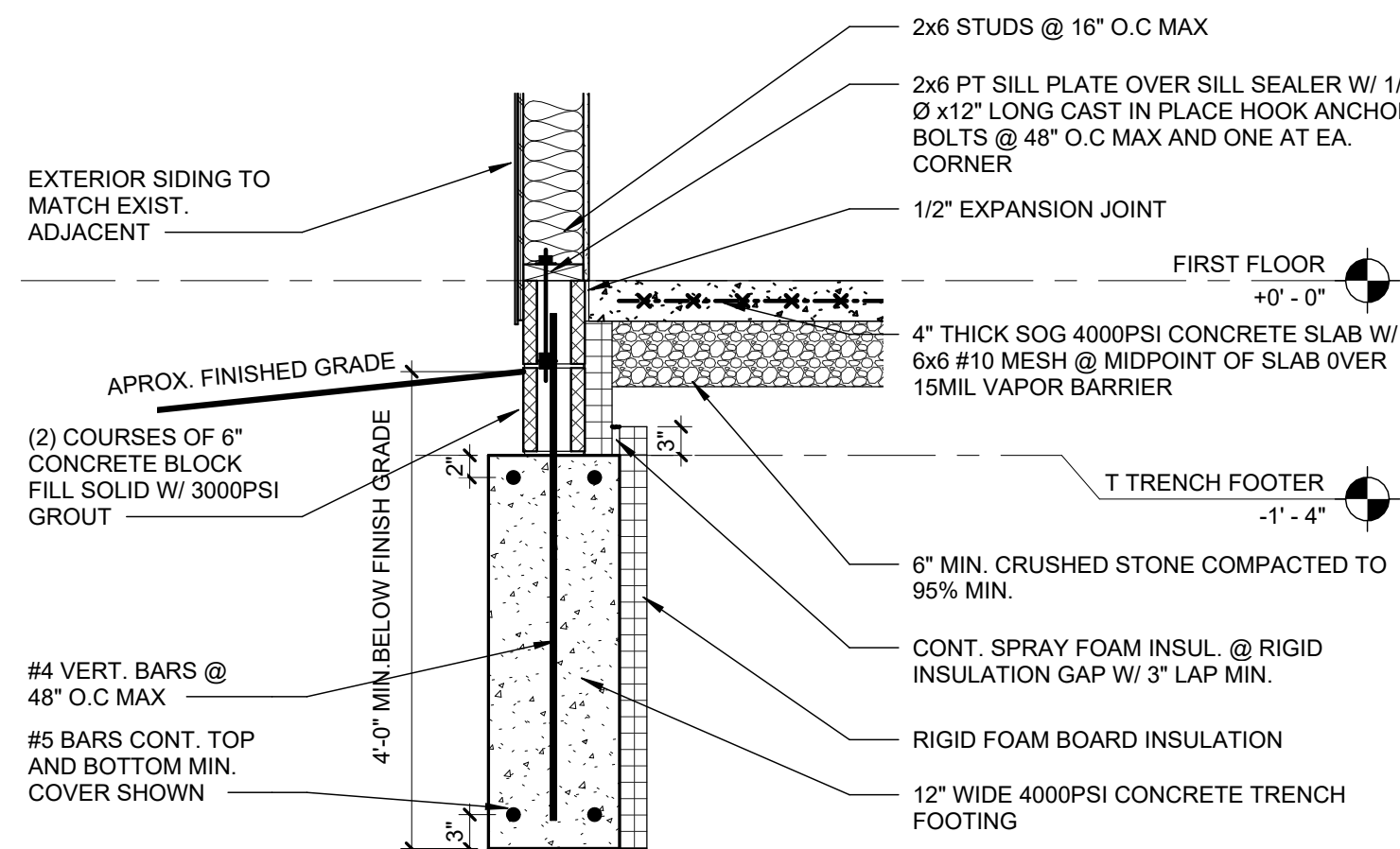
6 FOUNDATION WALL/FOOTING CONNECTION DETAIL - NEW TO EXIST.
3/4" = 1'-0"



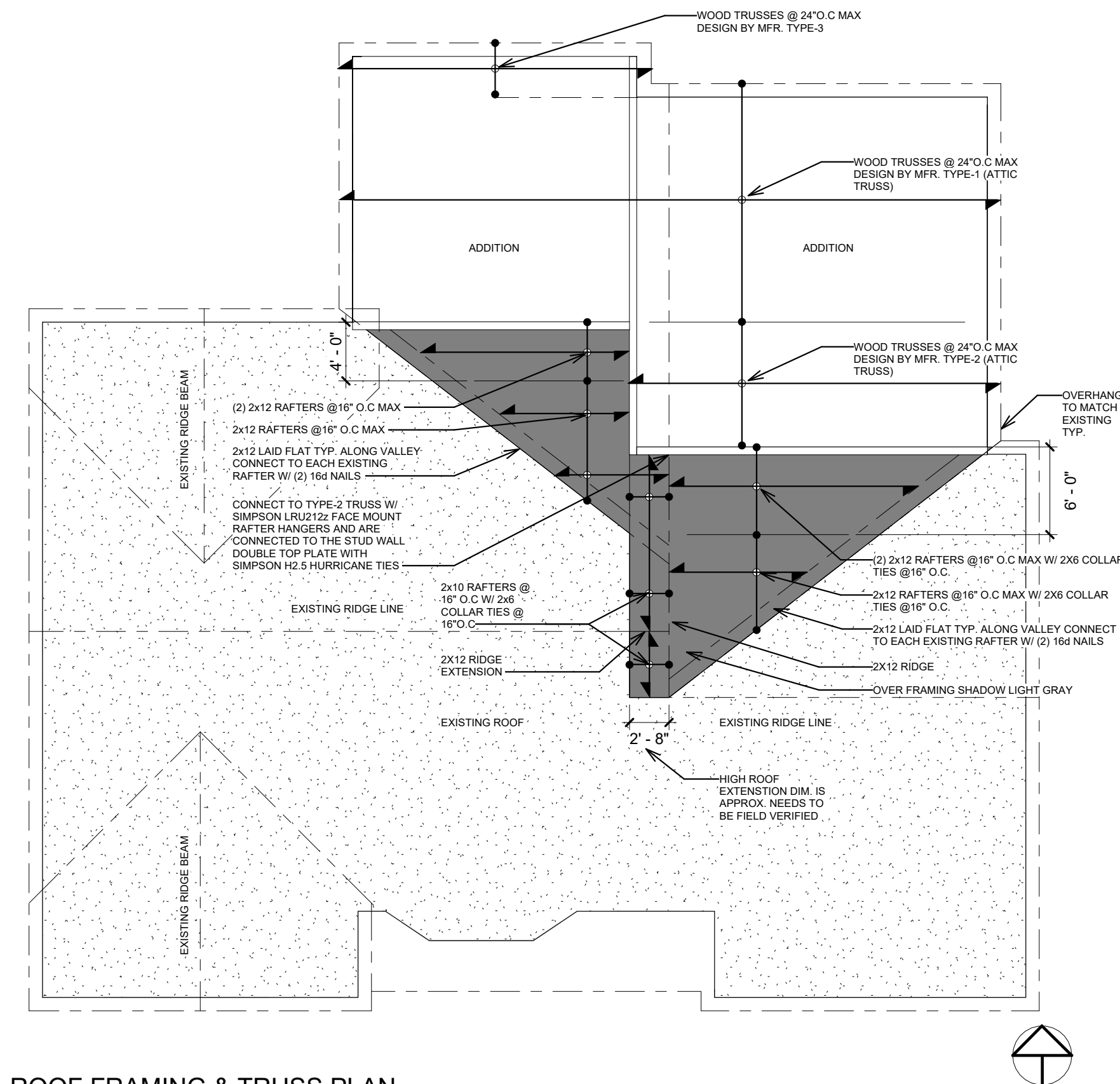
5 FOUNDATION WALL/FOOTING CONNECTION SECTION DETAIL - NEW TO EXISTING
3/4" = 1'-0"



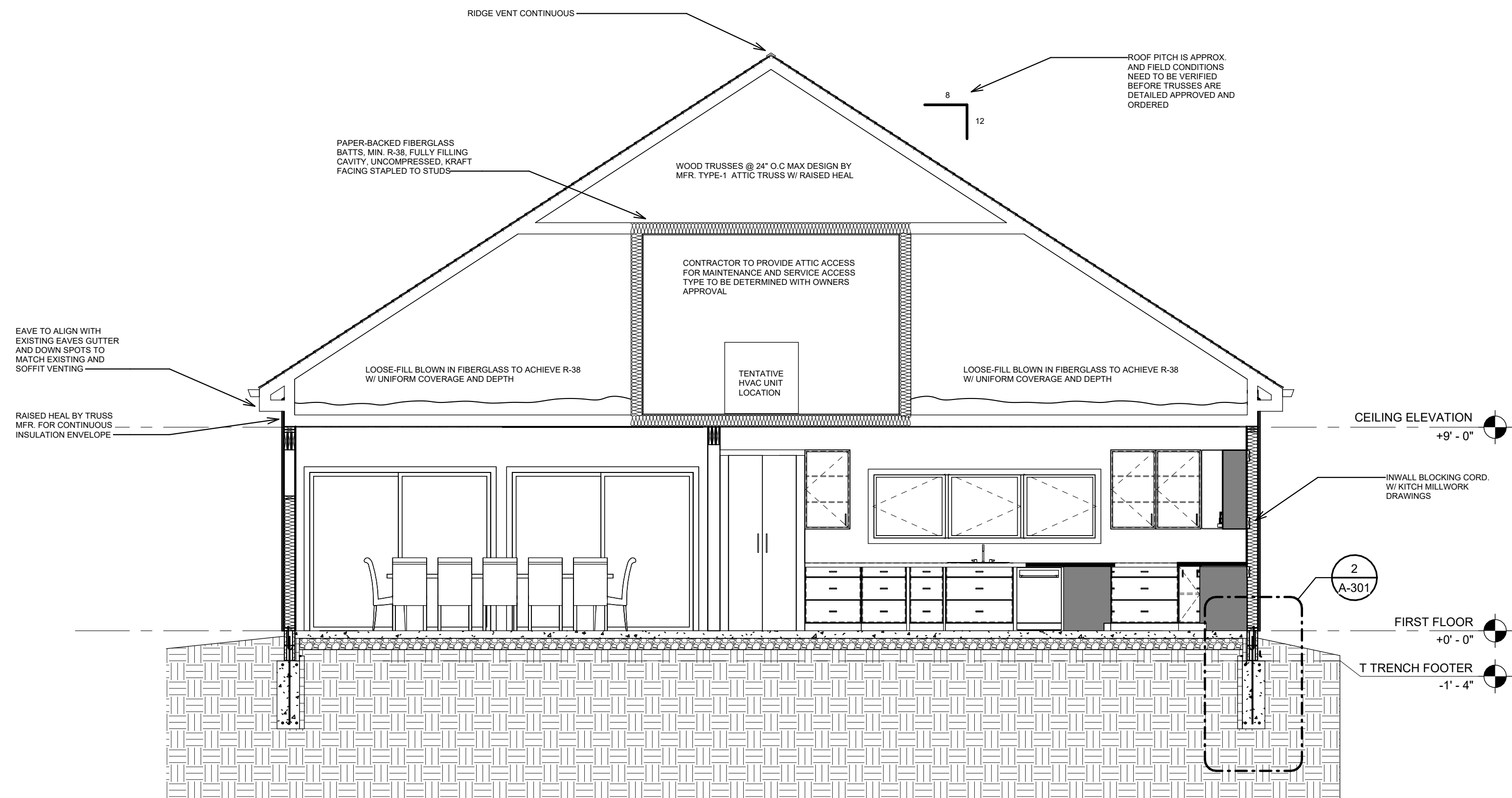
3 ADDITION BUILDING SECTION N-S
1/4" = 1'-0"



2 TYPICAL FOUNDATION SECTION
3/4" = 1'-0"



4 ROOF FRAMING & TRUSS PLAN
1/8" = 1'-0"



1 ADDITION BUILDING SECTION W-E
1/4" = 1'-0"



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SECTIONS AND DETAILS

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Construction Drawings

























