

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA
April 24, 2025**

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on April 24, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

2 Skytop Lane

Applicant is requesting design review to replace existing screened-in porch openings with glass windows.

48 Turning Leaf Drive

Applicant is requesting design review for a 360 Sq Ft. addition of a 3 season room.

81 Coventry Ridge

Applicant is requesting design review for a 650 sq. ft. covered patio

230 Kilbourn Road

Applicant is requesting design review for window changes.

33 Parker Drive

Applicant is requesting design review for a 640 Sq Ft. addition and renovation.

RESIDENTIAL APPLICATIONS: NEW HOMES

4000 East Avenue

Applicant is requesting design review for the construction of a new 1 bedroom, 2 story guest house. The house will be approximately 1501 square feet. Includes a courtyard and garden shed.

COMMERCIAL APPLICATIONS

3330 Monroe Avenue

Applicant is requesting design review for the exterior change of a commercial buildout that was previously approved 1/25/24. This property is zoned Commercial (C).

The next meeting is scheduled for Thursday, May 08, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
APRIL 10, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, April 10, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Dave Wigg, Paul Whitbeck, Kathleen Cristman, John Mitchell, Bonnie Salem

ABSENT: Jim Vekasy

ALSO PRESENT: Erik Smegelsky, Building Inspector and Code Enforcement Officer; Anna Piazza, Building Department Assistant; Doug DeRue, Director of Planning, Zoning, and Development; Robert Koegel, Town Attorney, Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 10 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem stated that there are no current updates.

OVERSIZED ACCESSORY STRUCTURES

155 West Brook Road

Applicant is requesting design review for a 560 square-foot addition to the garage.

Kip Finley, of Victory Hill Land Company, introduced the application. Mr. Finley is requesting design review for the addition to an existing two-car garage. He stated that the application has already received a variance from the Zoning Board and noted that the garage will look the same but will be four feet closer to the property line. The siding and roof will match the existing house. Board Member Salem asked the applicant if the driveway was being altered and the applicant confirmed that it was not.

Board Member Mitchell motioned to approve the addition to the existing garage, as submitted. This motion was seconded by Chairman Schneider. Following a unanimous voice vote, the application was approved, none opposed.

10 Kimberly Road

Applicant is requesting design review for interior renovation requiring relocation of a window.

Alyssa Blasetti, of Feels Like Home Restorations, introduced the application. Ms. Blasetti is requesting design review for the relocation of a window located on the front of the home.

Vice Chairman Wigg motioned to approve the relocation of a window approximately one foot to the left on the front elevation, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

17 Merryhill Lane

Applicant is requesting design review for interior renovation requiring removal of an exterior door.

Susy Bordin Heatwole, of 17 Merryhill Lane, introduced the application. Ms. Heatwole is requesting design review for the removal of an exterior man-door. After the door is removed, the applicant will use leftover cedar shingle from the house to cover that area and then paint it. Chairman Schneider asked if the applicant plans to remove the light fixture located on the wall next to the existing door to be removed and the applicant stated that she will not.

Board Member Whitbeck motioned to approve the removal of an exterior door, as submitted. This motion was seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for facade changes at the Ulta Beauty space at Pittsford Plaza.

Kollin Sullivan, Project Manager of Wilmorite Construction, introduced the application. Mr. Sullivan is requesting design review for facade changes at the Ulta Beauty store which will be coming into Pittsford Plaza. He clarified to the Board that the only change to the facade will be the color. Chairman Schneider and Vice Chairman Wigg agreed that the Ulta sign seen on the rendering presented should be centered on the facade both vertically and horizontally.

Chairman Schneider motioned to approve the facade changes at the Ulta space at Pittsford Plaza with the recommendation to center the Ulta sign horizontally and vertically on the facade, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

3349 Monroe Avenue

Applicant is requesting design review for a 75 square-foot sign for the Ulta Beauty store at Pittsford Plaza.

Kollin Sullivan, of Wilmorite Construction, introduced the application. Mr. Sullivan is requesting design review for a sign for the Ulta Beauty store at Pittsford Plaza.

Chairman Schneider motioned to approve the 75 square-foot sign for the Ulta Beauty store at Pittsford Plaza, as submitted. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the application was approved, none opposed.

3400 Monroe Avenue

Applicant is requesting design review for a 20 square-foot sign for The UPS Store.

Michael Mammano, of Clinton Signs, introduced the application. Mr. Mammano is requesting design review for a sign for The UPS Store.

Board Member Salem motioned to approve the 20 square-foot sign for The UPS Store, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS

2851 Clover Street (300 Tobey Road) – Pittsford Oaks

Applicant is requesting the review of design changes to date, the current design material, confirm the overall Northeast corner of the building height.

Anthony Daniele, of 2851 Clover Street (300 Tobey Road), introduced the application. Mr. Daniele stated that he believes all suggestions from this Board have been reacted and responded to, except the removal of a floor. He stated that the removal of a floor is not economically feasible. Mr. Daniele stated that he hopes for this project to be on the agenda for the Planning Board meeting taking place at the end of April to receive final site plan approval. He stated that he is looking for a general consensus from this Board that it can see a possibility of approval of the design of the building in the near future.

Dustin Welch, of Passero Associates, discussed suggestions this Board had given on the proposed building and his efforts to address them. He stated that there was an issue with the repetitiveness of the building and that it has now been broken up and is less repetitive. He stated that significant amounts of stone were added to the East facade and the colors were changed to be more monochromatic. Mr. Welch stated that he brought the roofline down and proposes to bring the grading up to reduce the visual massing of the building. Some units on the third floor have been recessed to help hide the mass of the building. He stated that he added stone and brought the roofline up in the center at the South elevation.

Mr. Welch discussed the proposed landscaping and stated that it will consist of native vegetation. Additionally, he presented an elevation to the Board of what the building would look like from the corner of Jefferson Road in response to their previous request.

Regarding the East facade of the building, the applicant discussed the proposed grading plan and the recesses on the third floor. Mr. Welch stated that he took some vertical elements along the East facade and dropped them a story to highlight the garage entrance. Mr. Daniele stated that both the Planning Board and Town Staff had requested street trees to be planted along the road.

Mr. Welch discussed the progress of the application and stated that throughout the process he has worked to reduce the visual mass of the building. Mr. Welch discussed the materiality of the building, specifically vinyl siding and stone material.

Board Member Cristman asked Town Staff if the road leading up into the proposed Pittsford Oaks building was Town-owned or a private road. Doug DeRue, Director of Planning, Zoning, and Development, replied that it was Town-owned.

Chairman Schneider discussed the letter from the applicant that was read at the beginning of the presentation, specifically the statement that "The majority of the Board agreed" about the progress of the application. Mr. Daniele clarified that the sentence was intended to be an example of something that the Board could say as a comment to the Planning Board. Chairman Schneider stated that the applicant has appeared before the Board 12 times and noted that the Board's first comment about the mass of the building was last summer. He clarified to the applicant that Town Board approved 'up' to 175 units and did not say that it needed to be 175 units. He stated that he believes there needs to be a few less units and is still very concerned about the massing and length of the building. Additionally, there is still a concern with the rigorous ridgeline as it looks very uniform again.

Board Member Salem stated that she was the Board Member who previously asked to see an elevation of the building with the removal of a floor and that the applicant responded that it would never happen. Board Members Salem and Cristman agreed that they are still not comfortable with the proposed building. Chairman Schneider again stated to the applicant that the changes the Board is looking for will not just entail moving small things around and will require big moves and Board Member Cristman agreed. Vice Chairman Wigg stated that he does not believe the land area surrounding the proposed building could support a four-story building and that it is too large. Board Member Whitbeck agreed and stated that because it is not a larger-sized land parcel the building may come back looking too large for the area. Board Member Whitbeck discussed wanting to preserve the trees that would be cut down to build the proposed building and emphasized the lack of consideration for the historically designated landmark nearby. Board Member Mitchell agreed and stated his concern as it is this Board's duty to protect and preserve historical significance. He added that he has always

thought that the massing of the building was too large. Chairman Schneider discussed the previously approved Cloverwood application and differences in the arrangement of the elements on the building in comparison to this application, noting specifically its texture and scale. He added that Cloverwood only had one window-type and made it appear more harmonious. Board Member Salem stated that Cloverwood's appearance is more residential whereas the applicant's proposed building has a commercial look.

Anthony Daniele stated to Robert Koegel, Town Attorney, that the project may be at an impasse. Mr. Koegel reminded the applicant that the application is pending for final site plan approval and part of that is seeking recommendation on the architectural plans from the Design Review Historic Preservation Board's (DRHPB) perspective. Mr. Koegel stated that the applicant has heard the DRHPB's comments which will be given to the Planning Board who will then decide on approval. Danny Daniele discussed the plan that Town Board had seen when they gave approval of the project as a 400 foot-long building. Mr. Koegel corroborated that Town Board did have submitted plans available to them that showed an H-shape building, about 400 feet-long, with a garage level and three floors on top.

Vice Chairman Wigg suggested the applicant lose one whole floor from North of 200 feet of the building.

Paul Aguire, Planning Board Member and Pittsford Fireman, stated that he has a safety concern with the proposed grade of the building. He stated that if he were to attempt to scale the building, he could not put a ladder there which makes it very difficult to get someone out of a window.

Following a straw vote, the Board unanimously agreed to forward the bullet points read out loud by Chairman Schneider to the Planning Board as the official comment from the Design Review Historic Preservation Board.

Design Review Historic Preservation Board's Comment to the Planning Board Regarding Pittsford Oaks:

We have not seen any attempts by the applicant to follow our clear directions on 9/12/2024 which were to study options to achieve our request by reducing some areas by a minimum of a full story (11') and thinking about moving some of the eave line along the elevations by introducing details of mansard roofs etc.

To date we have seen some attempts to reduce massing but not to the scale listed above except some roof lines as the applicant is listing in his letter presented on 4/10/25.

The board feels that if no concessions are made to reduce the massing we might be at an impasse.

The results of the Board's straw vote are as follows:

Dave Wigg voted	Aye
Bonnie Salem voted	Aye
Kathleen Cristman voted	Aye
John Mitchell voted	Aye
Paul Whitbeck voted	Aye
Jim Vekasy voted	Absent
Dirk Schneider voted	Aye

MEETING MINUTES REVIEW

The minutes of March 27, 2025 were approved following a motion by Board Member Cristman. This motion was seconded by Board Member Salem. Following a unanimous voice vote, the minutes were approved, none opposed.

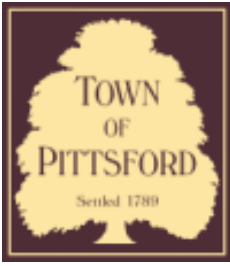
Chairman Schneider closed the meeting at 9:05PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000049

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2 Skytop Lane PITTSFORD, NY 14534

Tax ID Number: 164.09-2-11

Zoning District: RN Residential Neighborhood

Owner: Burton, Margaret L

Applicant: Jay P Tovey Co Inc.

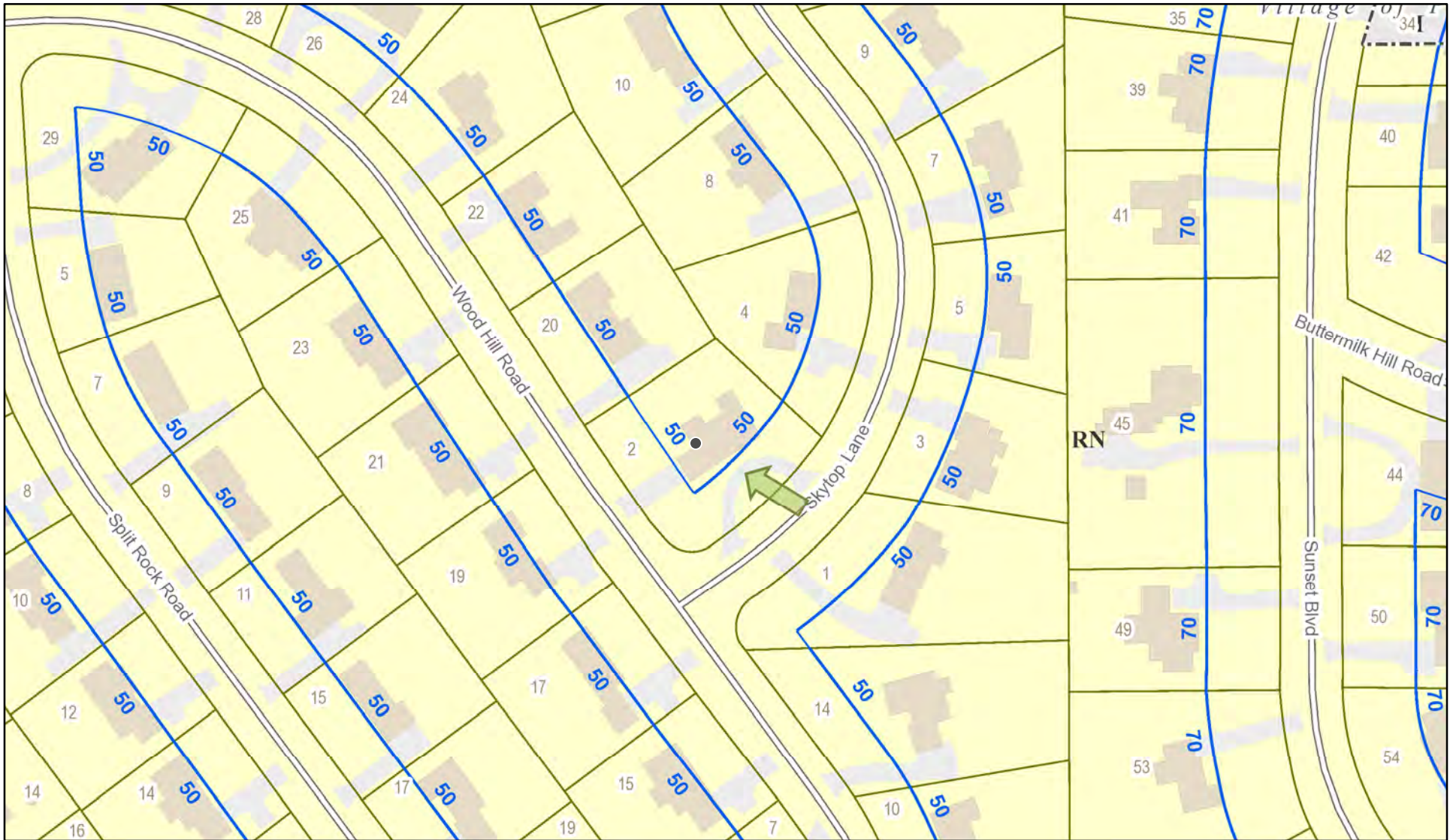
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

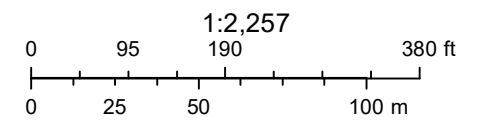
Project Description: Applicant is requesting design review to replace existing screened in porch openings with glass windows.

Meeting Date: April 24, 2025

RN Residential Neighborhood Zoning



Printed April 10, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



GENERAL NOTES AND PROJECT SPECIFICATIONS

1. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2018 International Code of Building Officials and the 2018 Energy Conservation Code of New York State and the 2018 Fire Prevention Code of New York State.

TABLE R-102.1.1. INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	TRANSPIRATION U-FACTOR	WATER VAPOR RESISTANCE INDEX	MIN. INSULATION R-VALUE	MIN. INSULATION R-VALUE	MIN. INSULATION R-VALUE	MIN. INSULATION R-VALUE	MIN. INSULATION R-VALUE	MIN. INSULATION R-VALUE	MIN. INSULATION R-VALUE
5	0.30	0.55	18	8.49	15.19	15.19	15.19	15.19	15.19

GENERAL NOTE: AIR BARRIER AND INSULATION DETAILS SHALL BE PROVIDED IN INSTALLED IN ACCORDANCE WITH THE 2018 International Code of Building Officials and the 2018 Energy Conservation Code of New York State.

2. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THESE UNIFORMED CODES REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS. NOTE THAT THERE MAY BE POSSIBLE MODIFICATIONS BY LOCAL CODE ADOPTIONS.

3. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, HEATING, PLUMBING, HVAC, AND OTHER BUILDING SYSTEMS IF ANY ARE TO BE PROVIDED BY AND ARE THE RESPONSIBILITY OF OTHERS. VERIFY MUNICIPAL REQUIREMENTS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

4. CONSTRUCTION DOCUMENTS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL AND ENGINEERING PRACTICES TO MEET MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MATERIALS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

6. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTICES, AND DIMENSIONS SHOWN ON DRAWINGS OR NOTES IN PREVIOUS ORDERS. ANY VARIANCES WITHIN DRAWINGS AND SPECIFICATIONS, OR WITH CONSTRUCTION REQUIREMENTS BY ANY CITY, SHALL BE REPORTED TO OWNER AND ARCHITECT IN WRITING BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VARIANCES WHICH APPLY TO THIS WORK. HE SHALL NOTIFY AND OBTAIN WRITTEN PERMISSION FROM OWNER/ARCHITECT IN WRITING OF ANY VARIANCES BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS.

8. THE CONTRACTOR SHALL BRING ORDERS AND DIMENSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WITHIN THE SPECIFICATIONS. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND SPECIFICATIONS.

9. N/A.

10. NO SITE VISIT WILL BE MADE BY HUNT JGL ARCHITECTURE. ARCHITECT WILL NOT BE HELD FOR CONSTRUCTION OBSERVATION UNLESS SPECIFIED OTHERWISE. VISITS WITH OWNER, CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND SPECIFICATIONS.

11. ALL MANUFACTURED MATERIALS, COMPONENTS, PARTS, ACCESSORIES, ETC., SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVIDERS OF APPLICABLE CODES/STANDARDS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, OWNER ISSUES WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.

TABLE N102.4.2

AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air-permeable insulation is not used as a sealing material.
Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any attic access (except unvented attic), knee wall door, or drop down stair is sealed.
Walls	Corrains and headers are installed. Junction of foundation and sill plate is sealed.
Windows and doors	Space between window/door jambs and framing is sealed.
Rim joints	Rim joints are insulated and include an air barrier.
Floors (including above garage and conditioned floors)	Insulation is installed to maintain permanent contact with underside of subfloor. Air barrier is installed at any exposed edge of floor.
Crawlspaces walls	Insulation is permanently attached to walls. Exposed earth in unvented crawlspaces is covered with Class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed.
Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
Garage separation	Air sealing is provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures are airtight, IC rated and sealed to drywall. Exception: - fixtures in conditioned space.
Plumbing and wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior.
Electrical/phone box on exterior wall	Air barrier extends behind boxes or air sealed type boxes are installed.
Common wall	Air barrier is installed in common wall between dwelling units.
HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
Fireplace	Fireplace walls include an air barrier.

REQUIREMENTS FOR SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS

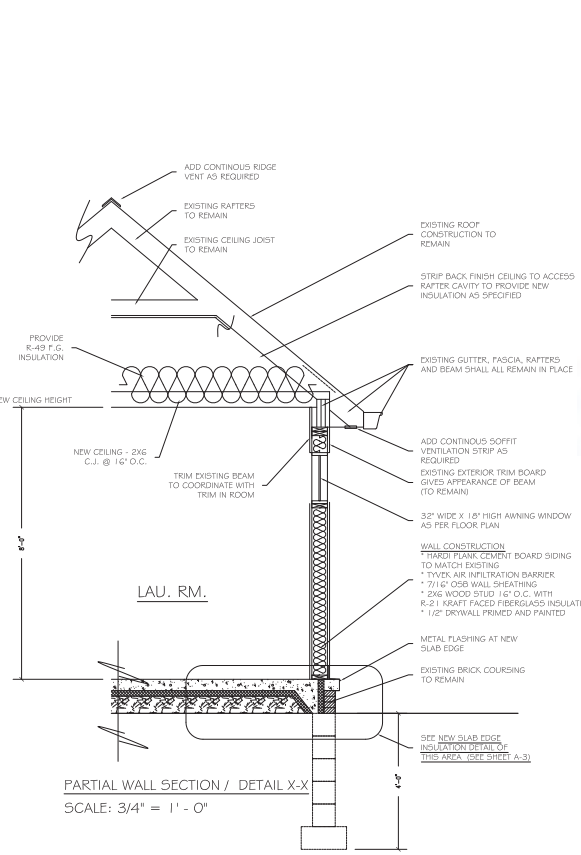
FOR EXISTING CONSTRUCTION, (REMODELING AND ADDITIONS):

1. SMOKE DETECTORS SHALL BE INSTALLED AS REQUIRED BY APPENDIX J OF THE 2018 RESIDENTIAL CODE OF NEW YORK STATE IN THE FOLLOWING LOCATIONS:
A. EACH SLEEPING ROOM. IN HALLWAYS ADJACENT TO SLEEPING ROOMS. AT LEAST ONE ON EACH STORY INCLUDING BASEMENT. WHERE WALL MOUNTED, DETECTORS SHALL BE MOUNTED TO THE WALL. DETECTORS SHALL BE INTERCONNECTED SUCH THAT IF ONE DETECTOR IS ACTIVATED, ALL ACTIVATED DETECTORS SHALL BE NOTIFIED AND INSTALLED IN ACCORDANCE WITH NFPA 72 AND APPROVED BY THE BUILDING CODE. DETECTORS SHALL BE INTERCONNECTED BY WIRE OR BY BATTERY POWERED DETECTOR.

2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS REQUIRED BY APPENDIX J OF THE 2018 RESIDENTIAL CODE OF NEW YORK STATE IN THE FOLLOWING LOCATIONS:
A. EACH SLEEPING ROOM. IN HALLWAYS ADJACENT TO SLEEPING ROOMS. AT LEAST ONE ON EACH STORY INCLUDING BASEMENT. WHERE WALL MOUNTED, DETECTORS SHALL BE MOUNTED TO THE WALL. DETECTORS SHALL BE INTERCONNECTED SUCH THAT IF ONE DETECTOR IS ACTIVATED, ALL ACTIVATED DETECTORS SHALL BE NOTIFIED AND INSTALLED IN ACCORDANCE WITH NFPA 72 AND APPROVED BY THE BUILDING CODE. DETECTORS SHALL BE INTERCONNECTED BY WIRE OR BY BATTERY POWERED DETECTOR.

3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS REQUIRED BY APPENDIX J OF THE 2018 RESIDENTIAL CODE OF NEW YORK STATE IN THE FOLLOWING LOCATIONS:
A. EACH SLEEPING ROOM. IN HALLWAYS ADJACENT TO SLEEPING ROOMS. AT LEAST ONE ON EACH STORY INCLUDING BASEMENT. WHERE WALL MOUNTED, DETECTORS SHALL BE MOUNTED TO THE WALL. DETECTORS SHALL BE INTERCONNECTED SUCH THAT IF ONE DETECTOR IS ACTIVATED, ALL ACTIVATED DETECTORS SHALL BE NOTIFIED AND INSTALLED IN ACCORDANCE WITH NFPA 72 AND APPROVED BY THE BUILDING CODE. DETECTORS SHALL BE INTERCONNECTED BY WIRE OR BY BATTERY POWERED DETECTOR.

4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS REQUIRED BY APPENDIX J OF THE 2018 RESIDENTIAL CODE OF NEW YORK STATE IN THE FOLLOWING LOCATIONS:
A. EACH SLEEPING ROOM. IN HALLWAYS ADJACENT TO SLEEPING ROOMS. AT LEAST ONE ON EACH STORY INCLUDING BASEMENT. WHERE WALL MOUNTED, DETECTORS SHALL BE MOUNTED TO THE WALL. DETECTORS SHALL BE INTERCONNECTED SUCH THAT IF ONE DETECTOR IS ACTIVATED, ALL ACTIVATED DETECTORS SHALL BE NOTIFIED AND INSTALLED IN ACCORDANCE WITH NFPA 72 AND APPROVED BY THE BUILDING CODE. DETECTORS SHALL BE INTERCONNECTED BY WIRE OR BY BATTERY POWERED DETECTOR.



PARTIAL WALL SECTION / DETAIL X-X
SCALE: 3/4" = 1' - 0"

HUNT JGL ARCHITECTURE, PLLC
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Pittsford, NY 14534
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Fax: 516-444-1235
www.huntjgl.com



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www.huntjgl.com

PROJECT
LAUNDRY ROOM
PITTSFORD NY 14534

CLIENT
M/W BARTON
2 SKYTOP LANE
PITTSFORD NY 14534

DATE
APRIL 7, 2025

SCALE
AS NOTED

DATE
APRIL 7, 2025

SCALE
AS NOTED

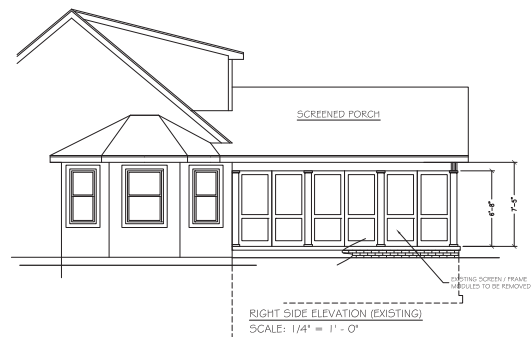
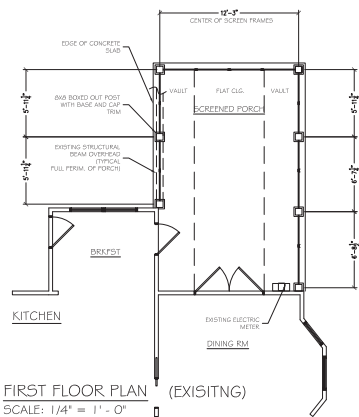
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APRIL 7, 2025

SCALE
AS NOTED

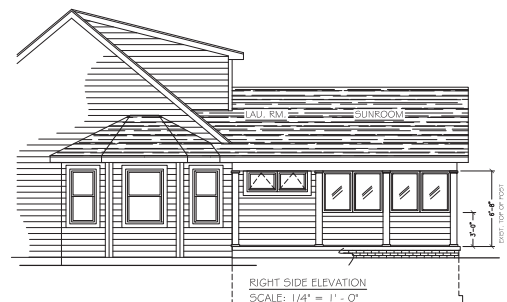
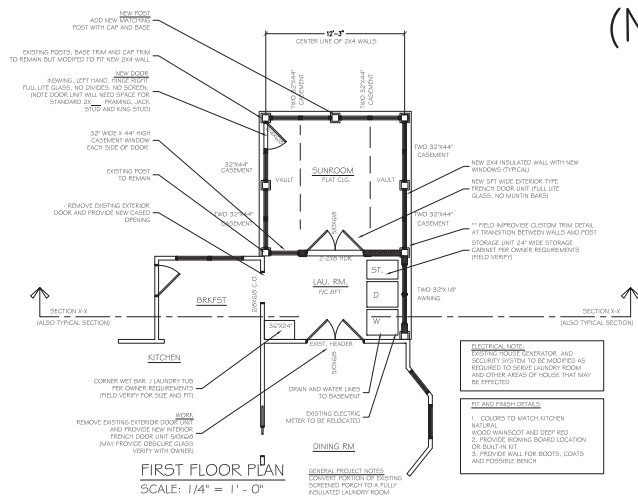
DATE
APRIL 7, 2025

SCALE
AS NOTED

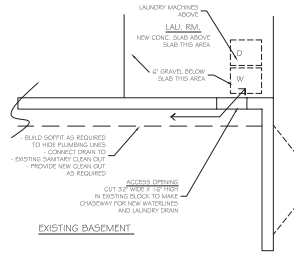
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APRIL 7, 2025



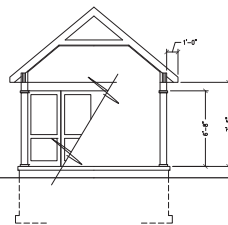
(EXISTING)



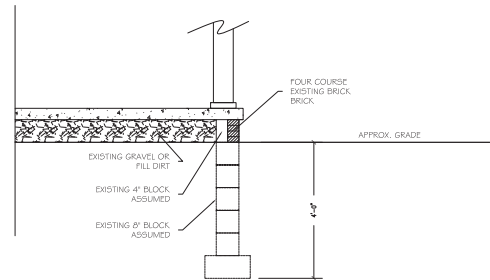
(NEW)



PLUMBING ACCESS AND PROXIMITY PLAN
SCALE: 1/4" = 1' - 0"



SECTION THRU SCREEN ROOM (EXISTING)
SCALE: 1/4" = 1' - 0"



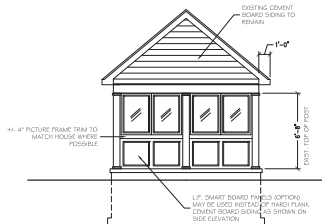
(SCREEN PORCH AS-IS)

EXISTING SLAB / FOOTING DETAIL
SCALE: 3/4" = 1' - 0"

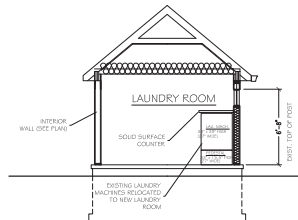
ONE BRICK AND PART OF 4" CONC. BLOCK WILL BE REMOVED AS PER THE PROPOSED WALL DETAIL

(EXISTING)

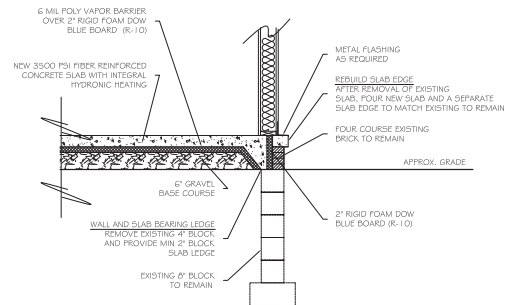
(NEW)



REAR ELEVATION (PROPOSED)
SCALE: 1/4" = 1' - 0"



SECTION X-X (LAUNDRY ROOM)
SCALE: 1/4" = 1' - 0"



(LAUNDRY ROOM)

NEW SLAB / FOOTING DETAIL
SCALE: 3/4" = 1' - 0"

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC) AS APPLICABLE.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY DAMAGE TO ADJACENT PROPERTIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.



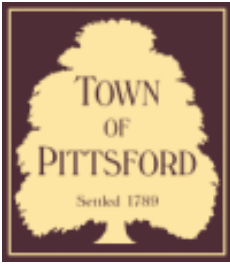
HUNT JGL Architecture PLLC 355-833-3333 45 Canal St., Suite 200, Pittsford, NY 14534 Fax: 355-833-3333
PROJECT PORCH CONVERSION TO LAUNDRY ROOM
CLIENT M.W. BURTON 2 SKITOP LANE PITTSFORD NY 14534
DESIGNED BY EXIST. ELEV. NEW ELEV. EXIST. SLAB DET. NEW SLAB DET.
Scale: AS NOTED
PROJ. # AS NOTED
DATE APRIL 7, 2025











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000052

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 48 Turning Leaf Drive PITTSFORD, NY 14534

Tax ID Number: 177.04-3-24

Zoning District: RN Residential Neighborhood

Owner: Jones, Joshua Adam

Applicant: UnderCover Systems of NY

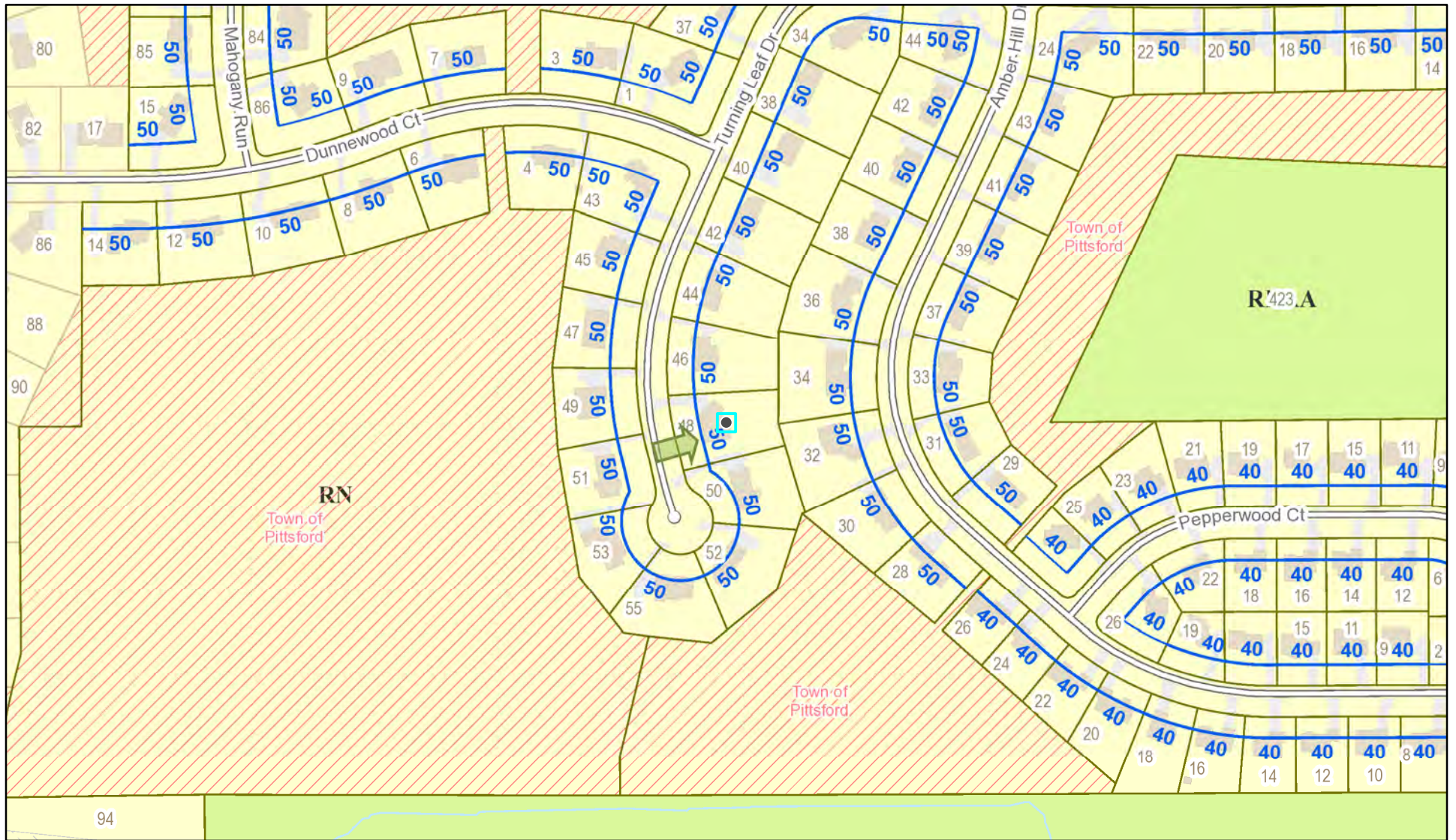
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

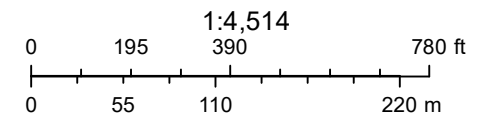
Project Description: Applicant is requesting design review for a 360 Sq Ft. addition of a 3 season room.

Meeting Date: April 24, 2025

RN Residential Neighborhood Zoning



Printed April 15, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



GENERAL NOTES:

1.

THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
2.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
3.

N/A
4.

ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
5.

BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
6.

MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
7.

N/A
8.

N/A
9.

MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
10.

CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
11.

N/A
12.

PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXPH, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
13.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH CROMOSALTS OR VOLKMAN SALTS.
14.

N/A
15.

CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
16.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
17.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
18.

THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).

FLOOR LOADS (LIVING AREAS-1ST FLOOR)40 PSF
19.

ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
20.

WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
21.

IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
22.

ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
23.

EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
24.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
25.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
26.

THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
27.

THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
28.

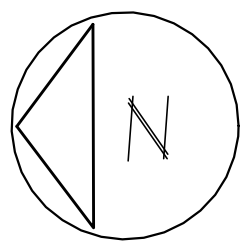
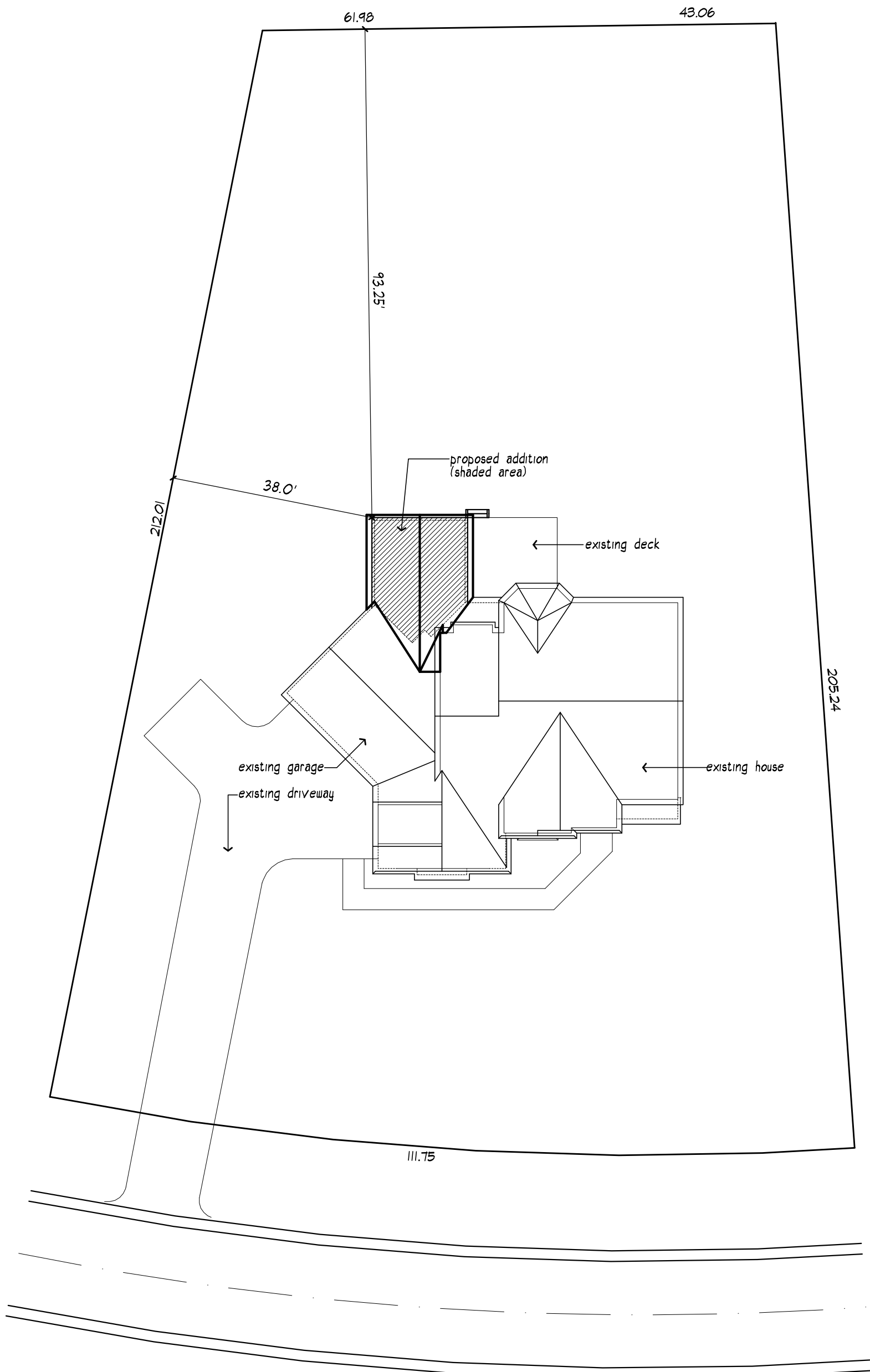
THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
29.

ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
30.

BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
31.

PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
32.

ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PLOT PLAN

SCALE: 1"=20.0'

* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

3-SEASON ROOM ADDITION

48 TURNING LEAF DR

PITTSFORD, NY

DRAWING INDEX

1	TITLE PAGE
2	ELEVATIONS
3	FIRST FLOOR PLAN - proposed & existing FOUNDATION PLAN
4	BUILDING SECTIONS & ROOF PLAN

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

1. A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1

BASIC DESIGN CRITERIA

1.

GROUND SNOW LOAD - 40 PSF R301.2 (5)
2.

WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
3.

SEISMIC DESIGN CATEGORY - A R301.2 (2)
4.

WEATHERING - SEVERE
5.

FROST LINE DEPTH - 48"
6.

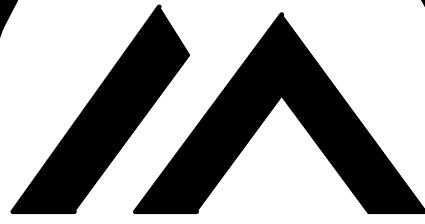
TERMITE DAMAGE - NONE TO SLIGHT
7.

DECAY DAMAGE - NONE TO SLIGHT
8.

WINTER DESIGN TEMPERATURE - 1
9.

ICE SHIELD UNDERLAYMENT REQUIRED - YES
10.

FLOOD HAZARD - FIRM - 1992



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PROJECT:
3-SEASON ROOM ADDITION
48 TURNING LEAF
PITTSFORD, NY

CLIENT:
UNCRCOVER SYSTEMS OF NY

DRAWING:

TITLE PAGE

DRAWN:

JTL/PM

DATE: APRIL 2025

SCALE: 1/4"=1'-0"

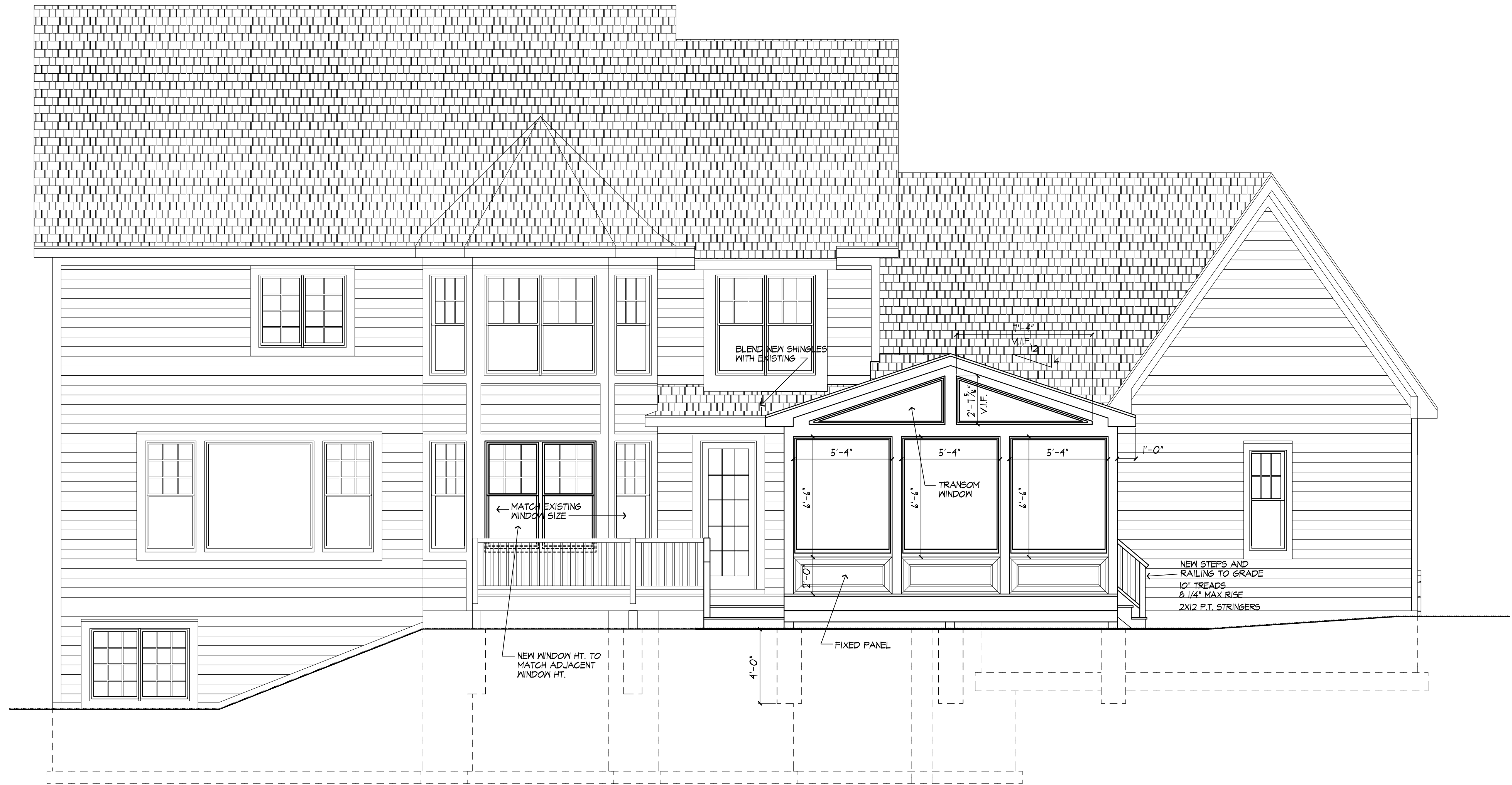
JOB NO.: 25M4584

SHEET:

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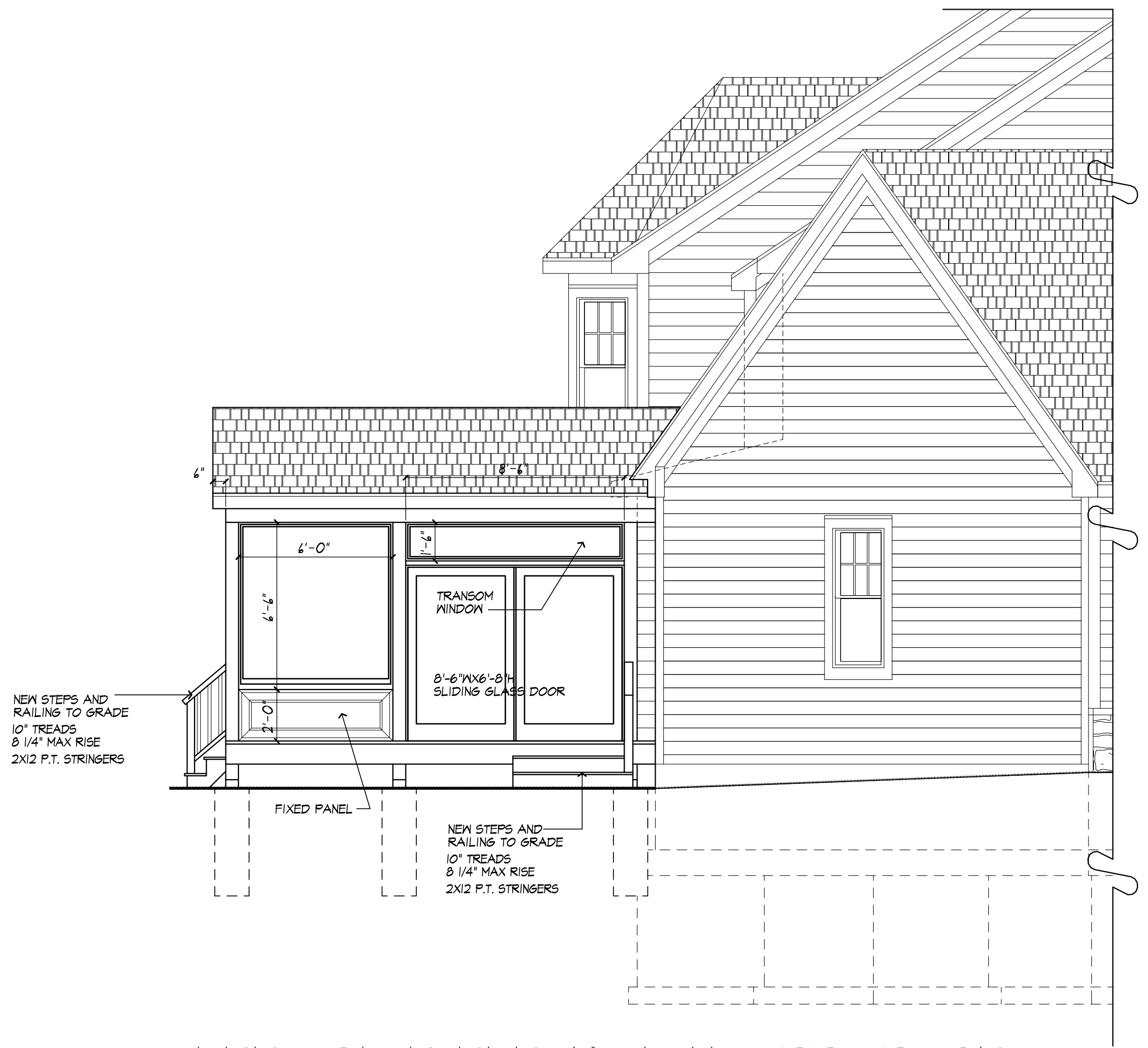
OF 4 SHEETS



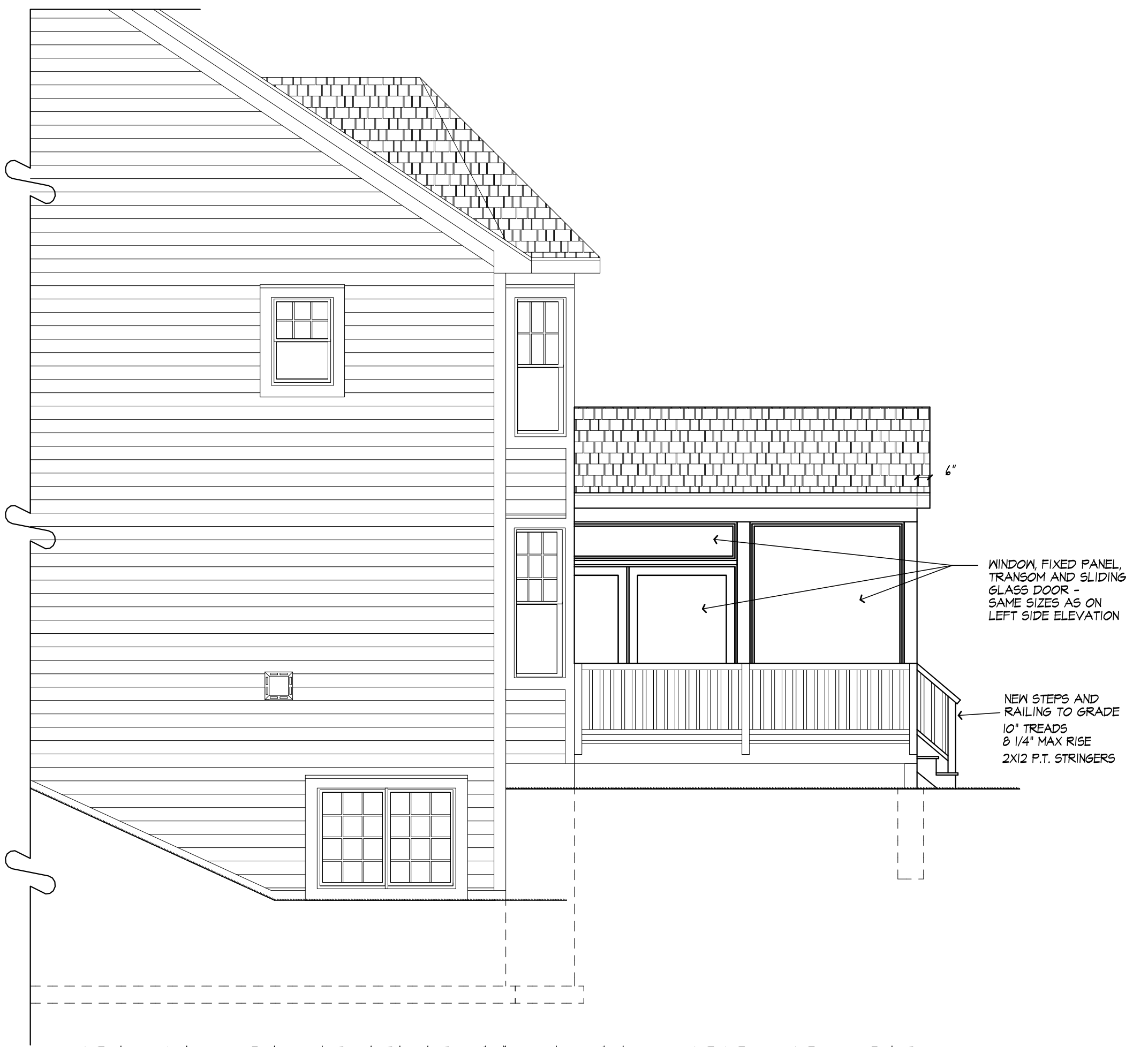


REAR ELEVATION - PROPOSED

AREA: 364 SQ FT UNCONDITIONED SPACE



LEFT SIDE ELEVATION - PROPOSED



RIGHT SIDE ELEVATION - PROPOSED



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PROJECT:
3-SEASON ROOM ADDITION
48 TURNING LEAF
PITTSFORD, NY

CLIENT:
UNCRCOVER SYSTEMS OF NY

DRAWING:
ELEVATIONS

DRAWN:
JTL/PM

DATE: APRIL 2025

SCALE: 1/4"=1'-0"

JOB NO.: 25M4594

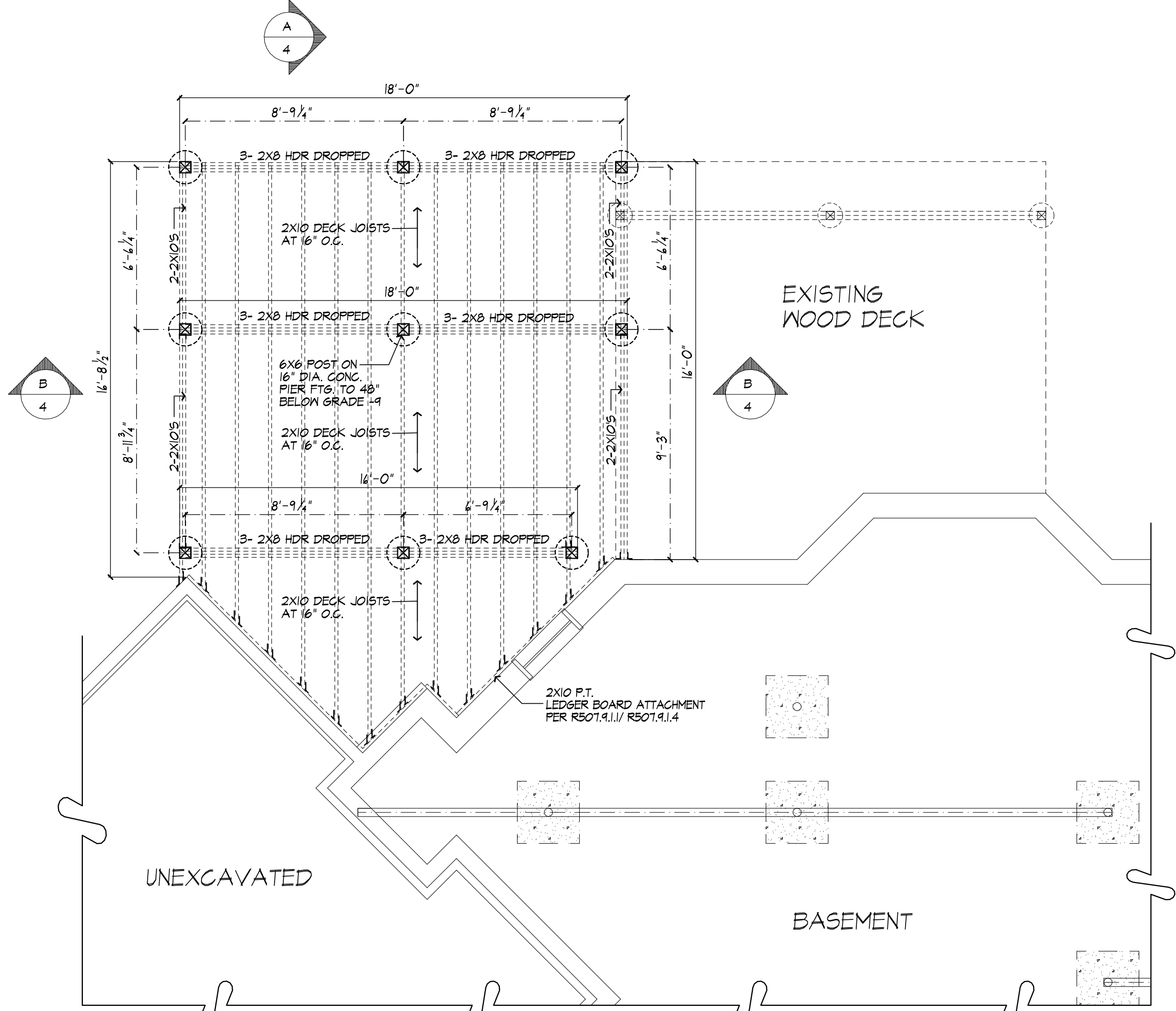
SHEET:

2
OF 4 SHEETS

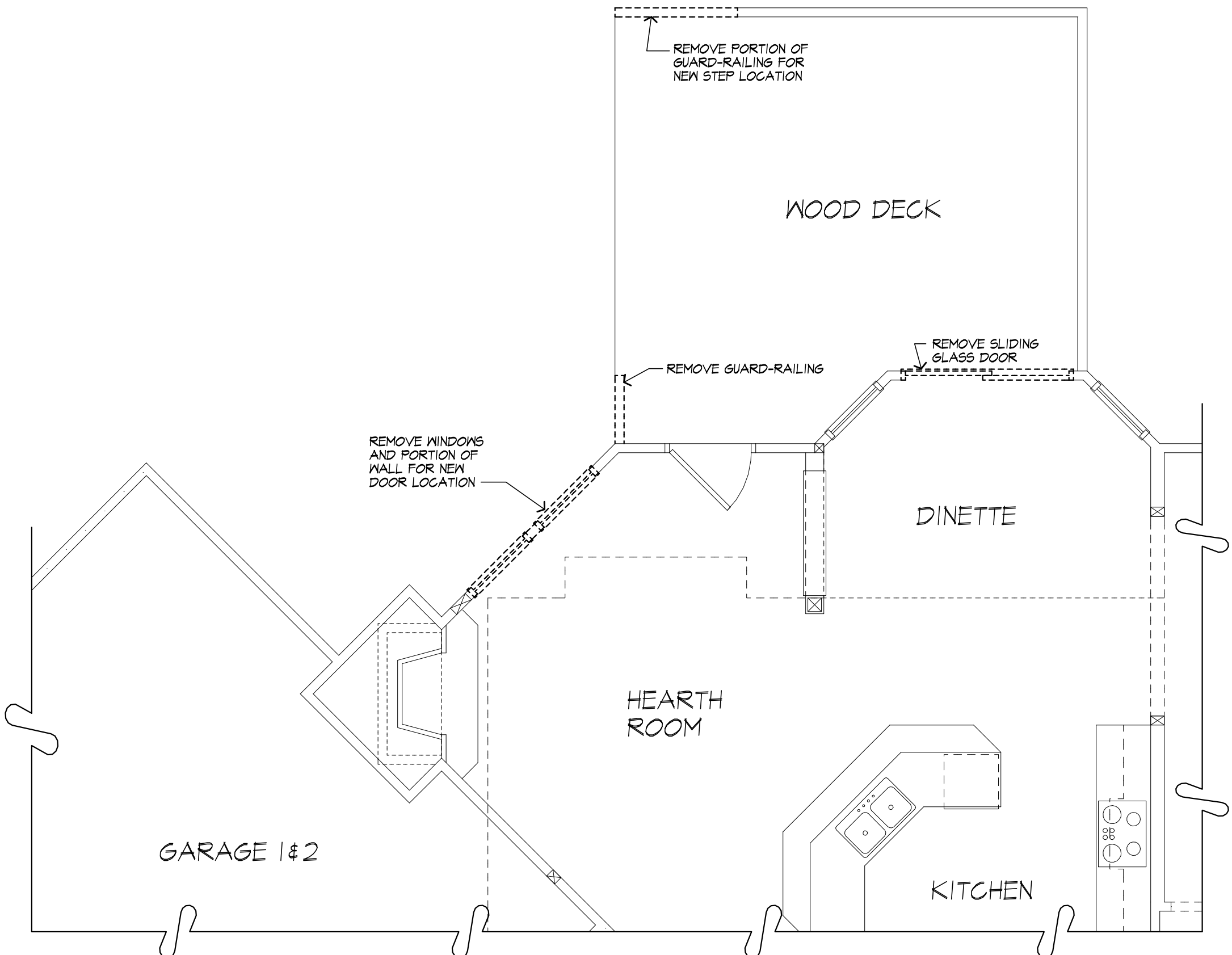


WOOD DECK
GENERAL NOTES:
PRE-MANUFACTURED GAST IN PLACE
POST BASE ANCHOR CENTERED
ON FOOTING PER RSOT.2 AND
MECHANICAL POST CAP AT
HEADER CONNECTION
LEDGER BOARD ATTACHMENT
PER RSOT.4.1.1/ RSOT.4.1.4
GUARD POST/RAILING
PER RSOT.1.2.1

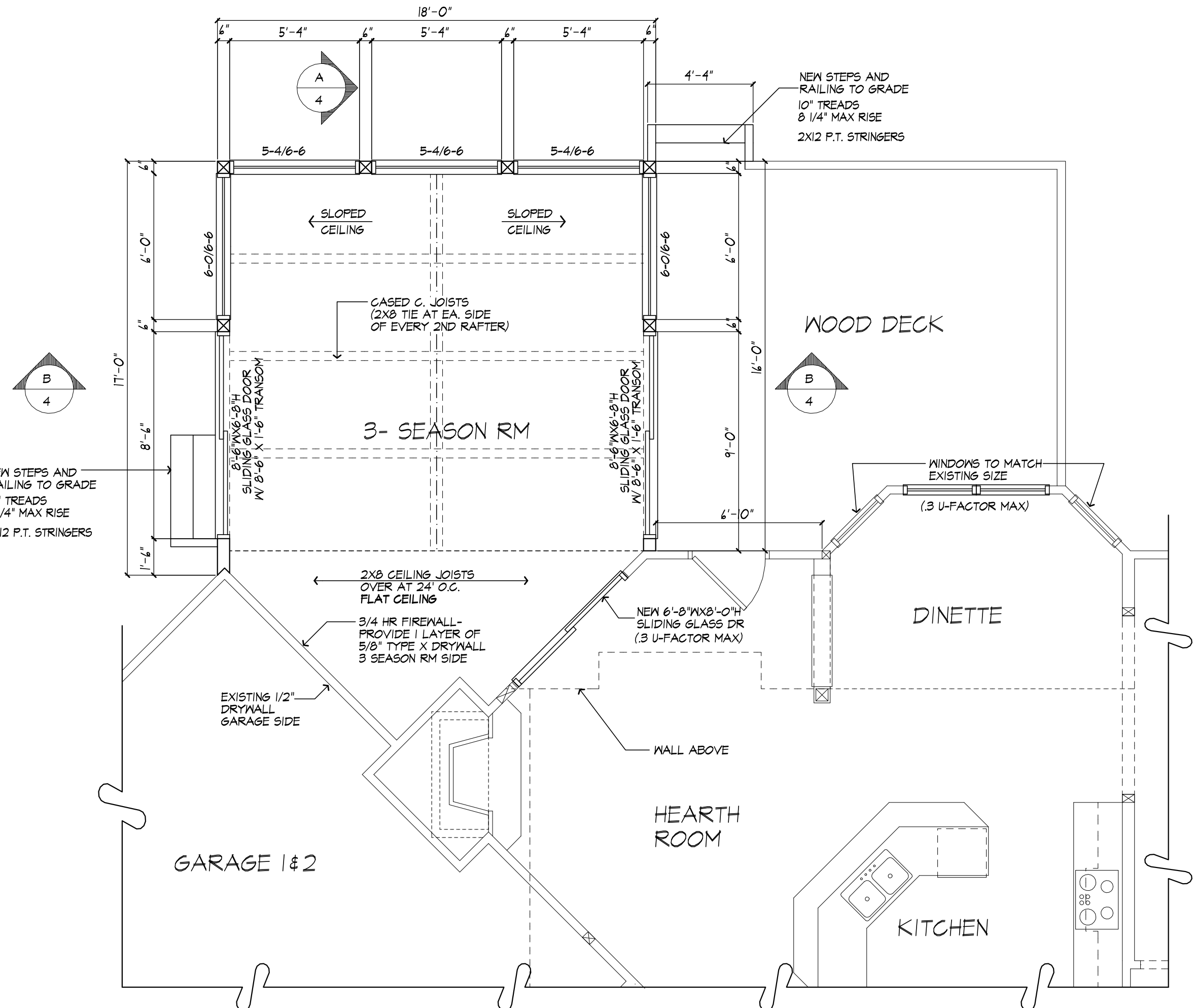
FOUNDATION NOTES:
FOOTINGS TO BE PLACED ON UNDISTURBED
SOIL HAVING A MIN. BEARING CAPACITY
OF 2000 P.S.F.
MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
FOOTINGS: 2500 P.S.I.



FOUNDATION PLAN - PROPOSED



FIRST FLOOR PLAN - EXISTING



FIRST FLOOR PLAN - PROPOSED

AREA: 364 SQ FT UNCONDITIONED SPACE



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PROJECT:
3-SEASON ROOM ADDITION
48 TURNING LEAF
PITTSFORD, NY

CLIENT:
UNCRCOVER SYSTEMS OF NY

DRAWING:
1ST FLOOR PLAN EXIST/PROPOSED
FOUNDATION PLAN PROPOSED

DRAWN:
JTL/PM

DATE: APRIL 2025

SCALE: 1/4"=1'-0"

JOB NO.: 25M4584

SHEET:

3
OF 4 SHEETS



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REGISTERED ARCHITECT

Paul A. Morabito

039653

STATE OF NEW YORK

PROJECT:

3-SEASON ROOM ADDITION
48° TURNING LEAF
PITTSFORD, NY

CLIENT:

UNCRCOVER SYSTEMS OF NY

DRAWING:

BUILDING SECTIONS &
ROOF PLAN

DRAWN:

JTL/PM

DATE:

APRIL 2025

SCALE:

1/4"=1'-0"

JOB NO.:

25M4584

SHEET:

4

OF 4 SHEETS

A

4

18'-0"

9'-0"

9'-0"

1'-0"

5- 2X8 HDR

3- 2X8 HDR

3- 2X8 HDR

2X8 RAFTERS AT 24" O.C.

4/12

4/12

2X10 RIDGE BOARD

(B) 7-1/4" LVL

(B) 7-1/4" LVL

(B) 7-1/4" LVL

APPLIED ROOF

APPLIED ROOF

6"X LIBERTY 2 PLY LOW PITCH SHINGLES 4"- 2/12 PITCH

(R)

1/12

3/12

8/12

B

4

B

4

ROOF PLAN - PROPOSED

A

4

18'-0"

9'-0"

9'-0"

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(R)

1/12

3/12

8/12

B

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(R)

1/12

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8/12

B

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B

4

ROOF PLAN - EXISTING

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9'-0"

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4/12

4/12

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1/12

3/12

8/12

B

4

B

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18'-0"

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9'-0"

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8/12

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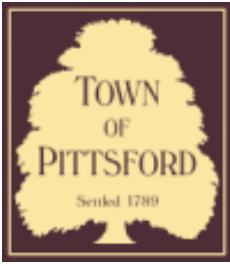
4/12

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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000053

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 81 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.04-1-33

Zoning District: IZ Incentive Zoning

Owner: Faeth, Melissa M

Applicant: Faeth, Melissa M

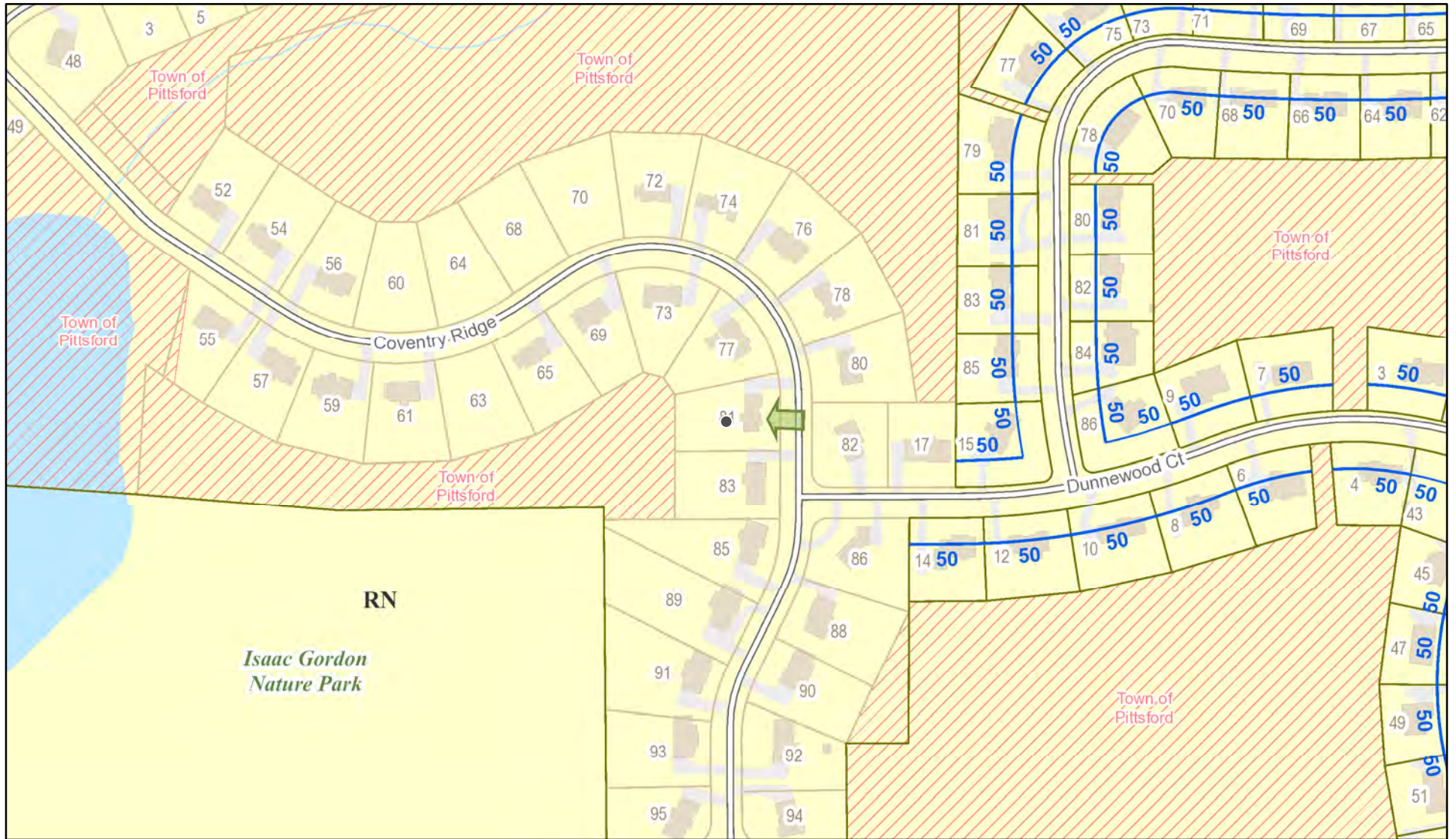
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

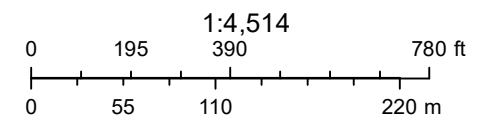
Project Description: Applicant is requesting design review for a 650 sq. ft. covered patio

Meeting Date: April 24, 2025

RN Residential Neighborhood Zoning



Printed April 16, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

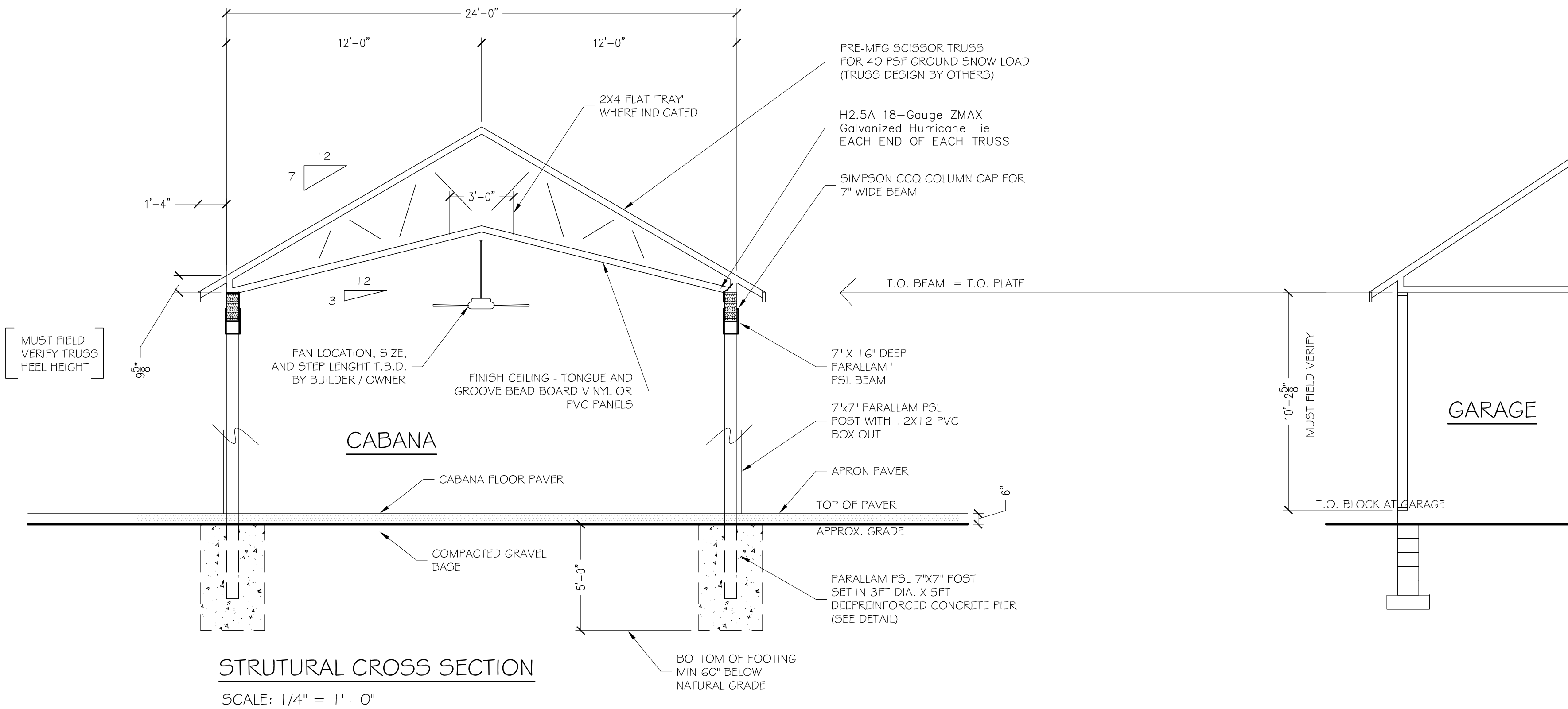


GENERAL NOTES

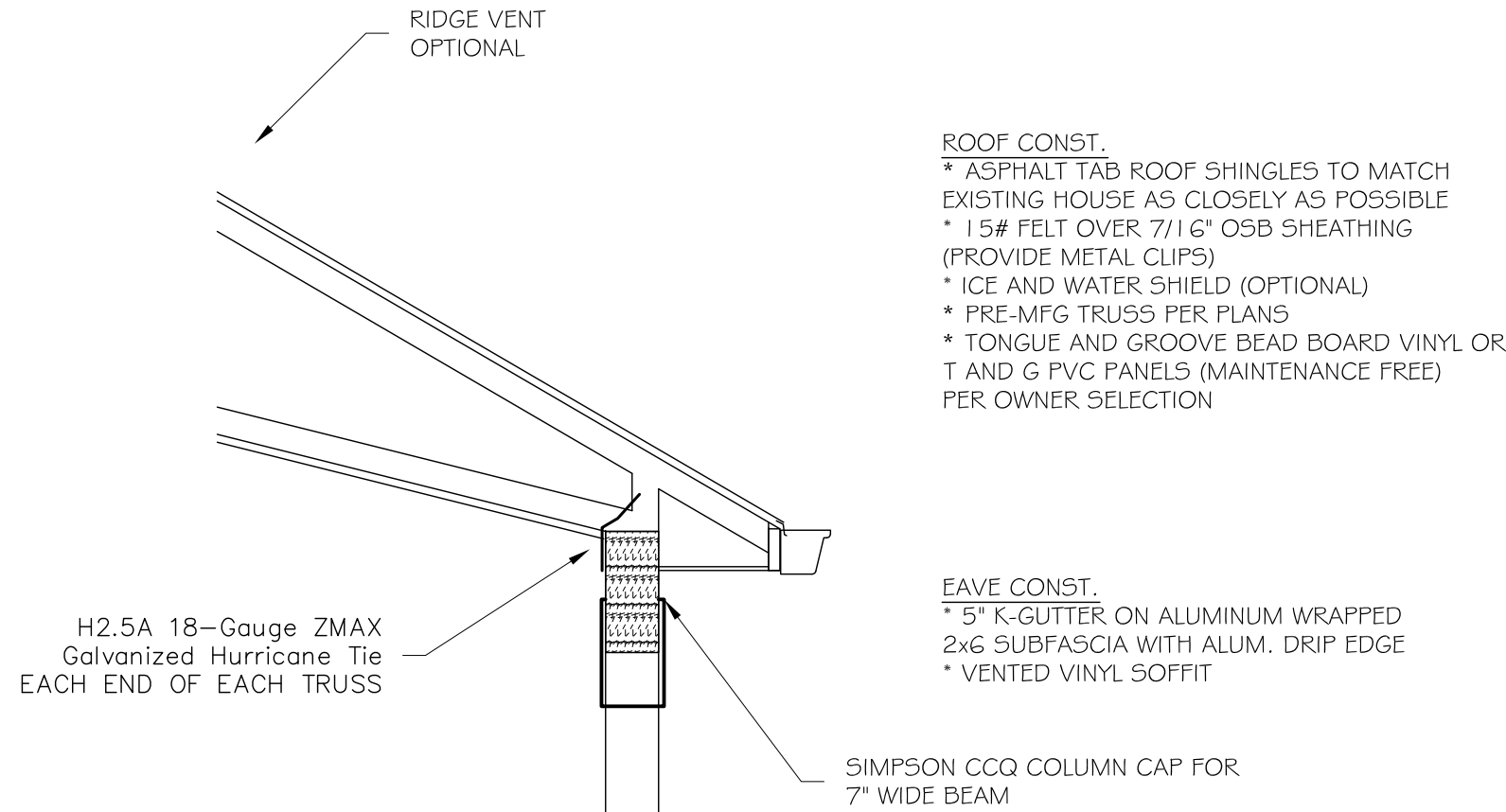
1. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2020 Residential Code of New York State AND THE BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THESE AFOREMENTIONED CODES REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS - NOTE THAT THERE MAY BE POSSIBLE MODIFICATIONS BY LOCAL CODE ADMINISTRATION
2. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY - ELECTRICAL, MECHANICAL, SANITARY, GENERAL PLUMBING, HVAC, AND OTHER BUILDING SYSTEMS IF ANY ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS. VERIFY MUNICIPAL REQUIREMENTS AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION.
3. CONSTRUCTION DOCUMENTS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL AND ENGINEERING PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE.
4. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS SHOWN ON DRAWINGS OR NOTED IN SPECIFICATIONS. ANY VARIANCES WITHIN DRAWINGS AND SPECIFICATIONS, OR WITH CONDITIONS ENCOUNTERED AT JOB SITE, SHALL BE REPORTED TO OWNER/ENGINEER IN WRITING BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.
7. THE CONTRACTOR SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES WHICH APPLY TO THIS WORK. HE SHALL NOTIFY AND RECEIVE CLARIFICATION FROM OWNER/ARCHITECT IN WRITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS.
8. THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
9. NO SITE VISITS WILL BE MADE BY HUNT JGL ARCHITECTURE - CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND SPECIFICATIONS.
10. ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND PROVISIONS OF APPLICABLE INDUSTRY STANDARDS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.

11. GENERAL DESIGN CRITERIA USED FOR THE DESIGN OF THIS STRUCTURE
- A) WEATHERING ZONE - SEVERE
B) FROST LINE DEPTH - 62" BELOW GRADE
C) TERMITE DAMAGE - SLIGHT TO MODERATE
D) DECAY DAMAGE - NONE TO SLIGHT
E) WINTER DESIGN TEMP - (-1) DEGREE
F) ICE SHIELD UNDERLAYMENT REQUIRED
G) ROOF TIE DOWN REQUIREMENTS - R802.1 (BASED ON SPECIFIC ROOF DESIGN)
H) ENERGY COMPLIANCE DETAILS AND PATH - N1102.6.1.1
I) FLOOD HAZARD - FIRM 1987
12. LOAD DESIGN CRITERIA
- A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
B) SLEEPING ROOMS = 30 PSF LIVE LOAD
C) GROUND SNOW LOAD = 50 PSF (REDUCTION FACTORS FOR SLOPED ROOFS MAY APPLY PER ASCE 7)
D) WIND SPEED - 115 MPH, EXPOSURE B
E) SEISMIC DESIGN CATEGORY - B
F) DEFLECTION LIMITS SHALL BE AS FOLLOWS
U/360 FOR ALL FLOORS AND EXTERIOR DECKS
U/260 ATTIC FLOORS
U/260 ROOF WITH FINISHED CEILING
U/180 ROOF WITHOUT FINISHED CEILING
- ** ASSUMED SAFE SOIL BEARING CAPACITY = 2000 PSF AT BOTTOM OF FOOTINGS - ASSUMED BEARING CAPACITY VALUE MAY BE INCREASED IF SITE SPECIFIC SOIL CLASSIFICATION DATA OR LOAD BEARING TEST DATA IS AVAILABLE. IF LESS DESIRABLE SOIL CONDITIONS BECOME KNOWN DURING EXCAVATION OF SITE, NOTIFY ARCHITECT FOR POSSIBLE ALTERNATE FOUNDATION DESIGN
- ** CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADINGS INDICATED HEREIN.
- ** PROVIDE TEMPORARY BRACING, SHORINS, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- ** CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

13. DUE TO REVISIONS MADE DURING THE DEVELOPMENT OF THESE DRAWINGS, THEY MAY NOT REFLECT THE DIMENSIONS NOTED. DO NOT SCALE THE DRAWINGS.
14. CALL UPPO BEFORE YOU DIG. 1-800-962-7962.
15. ALL DIMENSIONS ARE ROUGH UNLESS NOTED OTHERWISE.
16. INTERIOR AND EXTERIOR FINISH MATERIAL SELECTION (INCLUDING, BUT NOT LIMITED TO, SIDING, ROOFING, WALL, FLOOR AND CEILING FINISHES) SHALL BE BY OWNER AND CONTRACTOR UNLESS OTHERWISE SPECIFIED.
17. FOOTINGS SHALL BEAR ON FIRM, LEVEL UNDISTURBED NATURAL OR COMPACTED ENGINEERED SOIL, FREE FROM FROST, LOOSE MATERIAL, AND ORGANIC MATERIAL, BRUSH AND DEBRIS
18. WHERE ASPHALT SHINGLE ROOF SLOPE IS FROM 2 IN 12 TO 6 IN 12, TWO LAYERS OF UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH SECTION R905.1.1 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. (AS AN ALTERNATIVE, SELF-ADHERING POLYMER-MODIFIED BITUMEN UNDERLAYMENT COMPLYING WITH ASTM D1970 INSTALLED IN ACCORDANCE WITH BOTH THE UNDERLAYMENT MANUFACTURER'S AND ROOF COVERING MANUFACTURER'S INSTRUCTIONS FOR THE DECK MATERIAL, ROOF VENTILATION CONFIGURATION AND CLIMATE EXPOSURE FOR THE ROOF COVERING TO BE INSTALLED, SHALL BE PERMITTED.
19. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL AND ROOF INTERSECTIONS AND PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS; UNDER AND AT ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS; AND WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION, AND BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQUIRED TO COMPLY WITH ALL OF SECTION R703.6 OF THE 2020 RESIDENTIAL CODE OF NYS.
20. ICE BARRIER AT EAVE: IN ACCORDANCE WITH R905.1.2 ICE BARRIERS: IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACKUP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 26 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN EIGHT UNITS VERTICAL IN 12 UNITS HORIZONTAL (67-PERCENT SLOPE), THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES (916 MM) MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.



STRUTURAL CROSS SECTION
SCALE: 1/4" = 1' - 0"



TYPICAL SECTION (ROOF / CEILING MATERIALS)
SCALE: 1/2" = 1' - 0"

TO THE BEST OF MY KNOWLEDGE BELIEF AND PROFESSIONAL JUDGEMENT, THE DRAWINGS CONVEYED ON THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE CURRENT EDITION

HUNT JGL
Architecture PLLC
45 Coral Way, Rochester, NY 14618
505-424-3020
Fax: 505-424-3023
Email: RMTTHOUSES@YAHOO.COM

PROJECT: CABANA
PITTSFORD NY 14534

CLIENT: MELISSA FAETH
81 COVENTRY RIDGE
PITTSFORD NY 14534

DRAWING TITLE: GENERAL NOTES
STRUCTURAL SECTION

Scale: AS NOTED

PROJ. #:

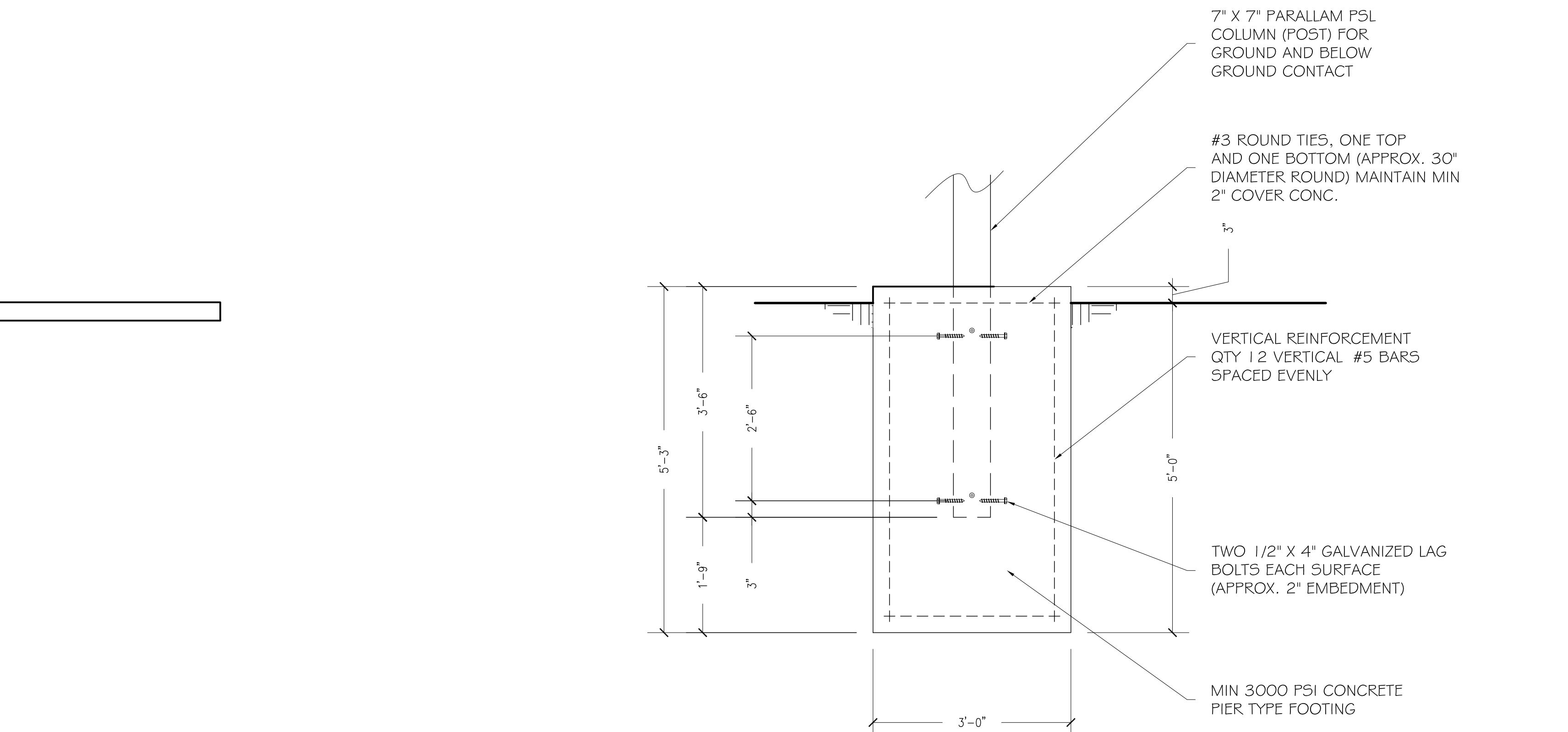
DATE: MARCH 28, 2025

A-1

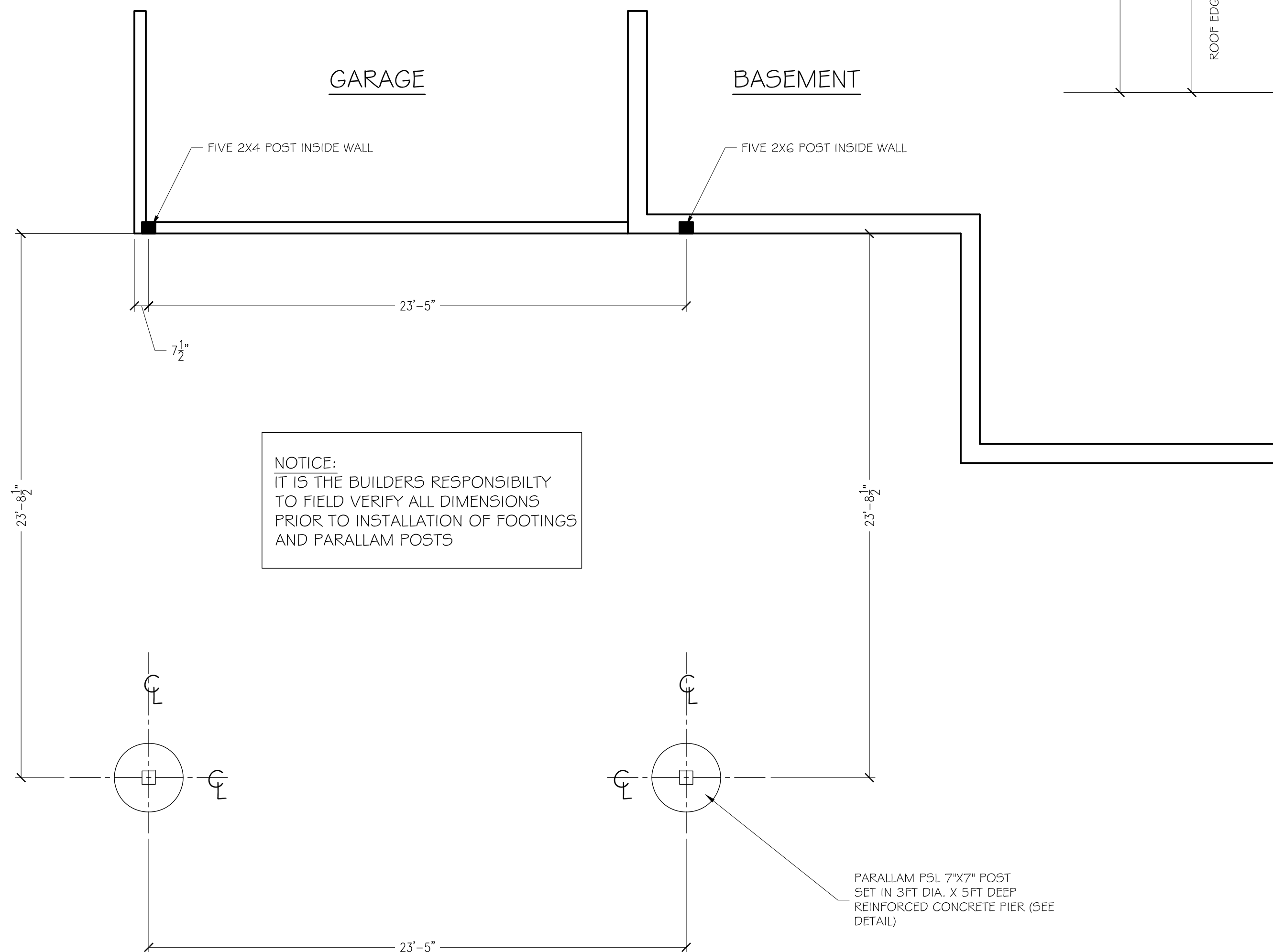
SCALE: 1/4" = 1' - 0"

2. GUTTERS AND DOWN SPOUTS
DOWN SPOUTS SHALL DISCHARGE INTO
EXISTING UNDERGROUND STORM WATER COLLECTION SYSTEM

3. STRUCTURAL BEAM AND COLUMN SPECIFICATION
BEAMS AND COLUMNS SPECIFIED ARE MANUFACTURED BY THE
WEYERHAEUSER COMPANY. PARALLAM PSL BEAMS AND
COLUMNS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH
MANUFACTURER SPECIFICATIONS



SCALE: 1/4" = 1' - 0"



TO THE BEST OF MY
KNOWLEDGE BELIEF AND
PROFESSIONAL JUDGEMENT,
THE DRAWINGS CONVEYED
ON THESE CONSTRUCTION
DOCUMENTS COMPLY WITH
THE ENERGY CONSERVATION
CONSTRUCTION CODE OF
NEW YORK STATE CURRENT
EDITION

HUNT JGL
Architecture PLLC
45 Coral Way, Rochester, NY 14618
585-424-3020
Fax: 585-424-3023
Email: RMH10U5E5@YAHOO.COM

PROJECT: CABANA
PITTSFORD NY 14534

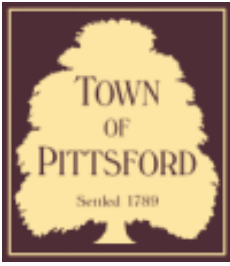
MELISSA FAETH
81 COVENTRY RIDGE
PITTSFORD NY 14534

DRAWING TITLE
FOUNDATION PLAN

Scale: AS NOTED

ROJ. #:

DATE:
MARCH 28, 2025



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000055

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 230 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.17-1-22

Zoning District: RN Residential Neighborhood

Owner: Malone, Judith O

Applicant: The Morton Group

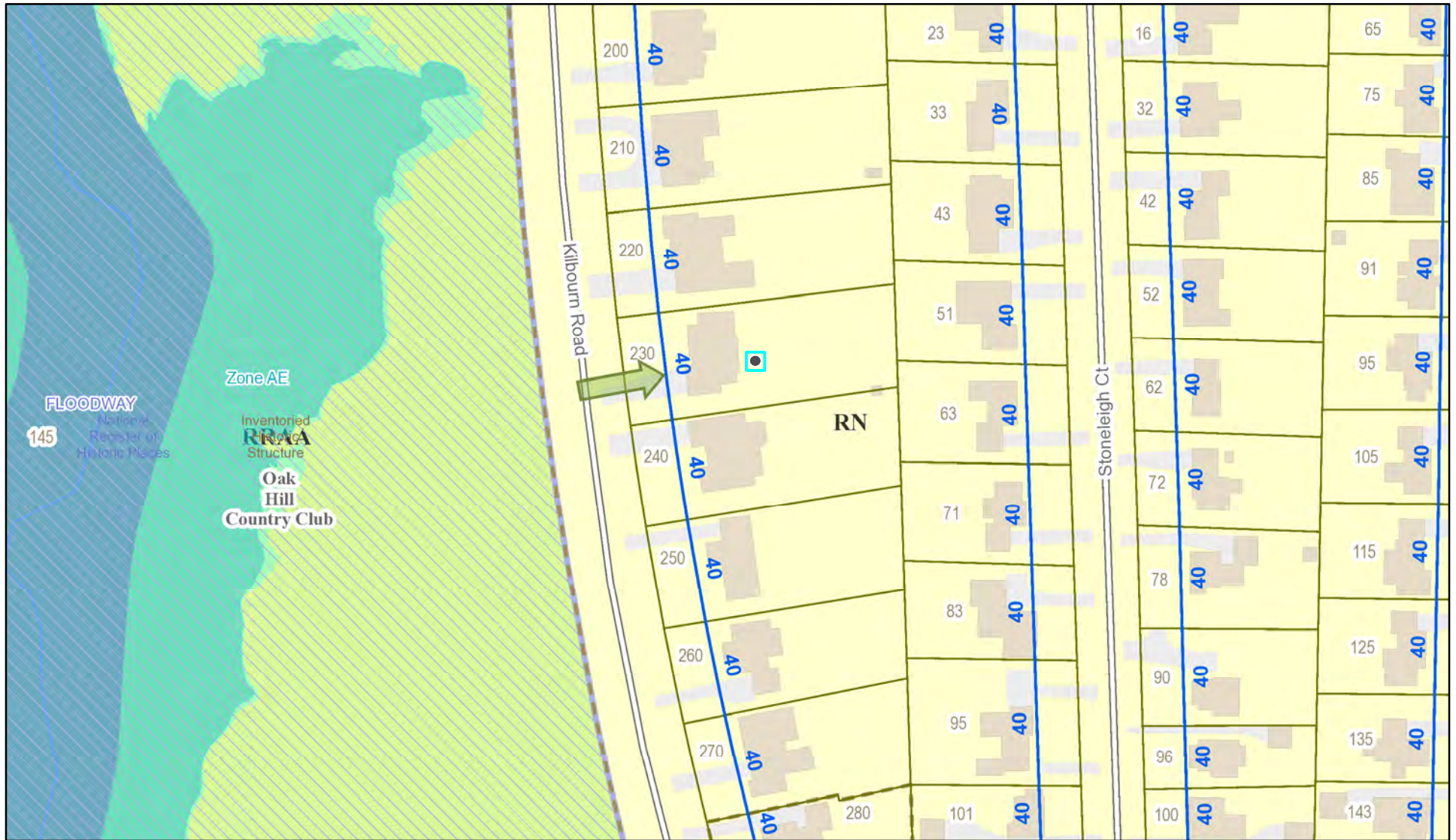
Application Type:

- | | |
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| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

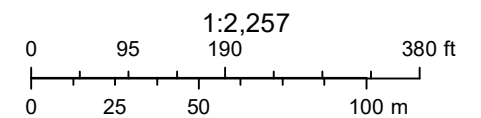
Project Description: Applicant is requesting design review for window changes

Meeting Date: April 24, 2025

RN Residential Neighborhood Zoning

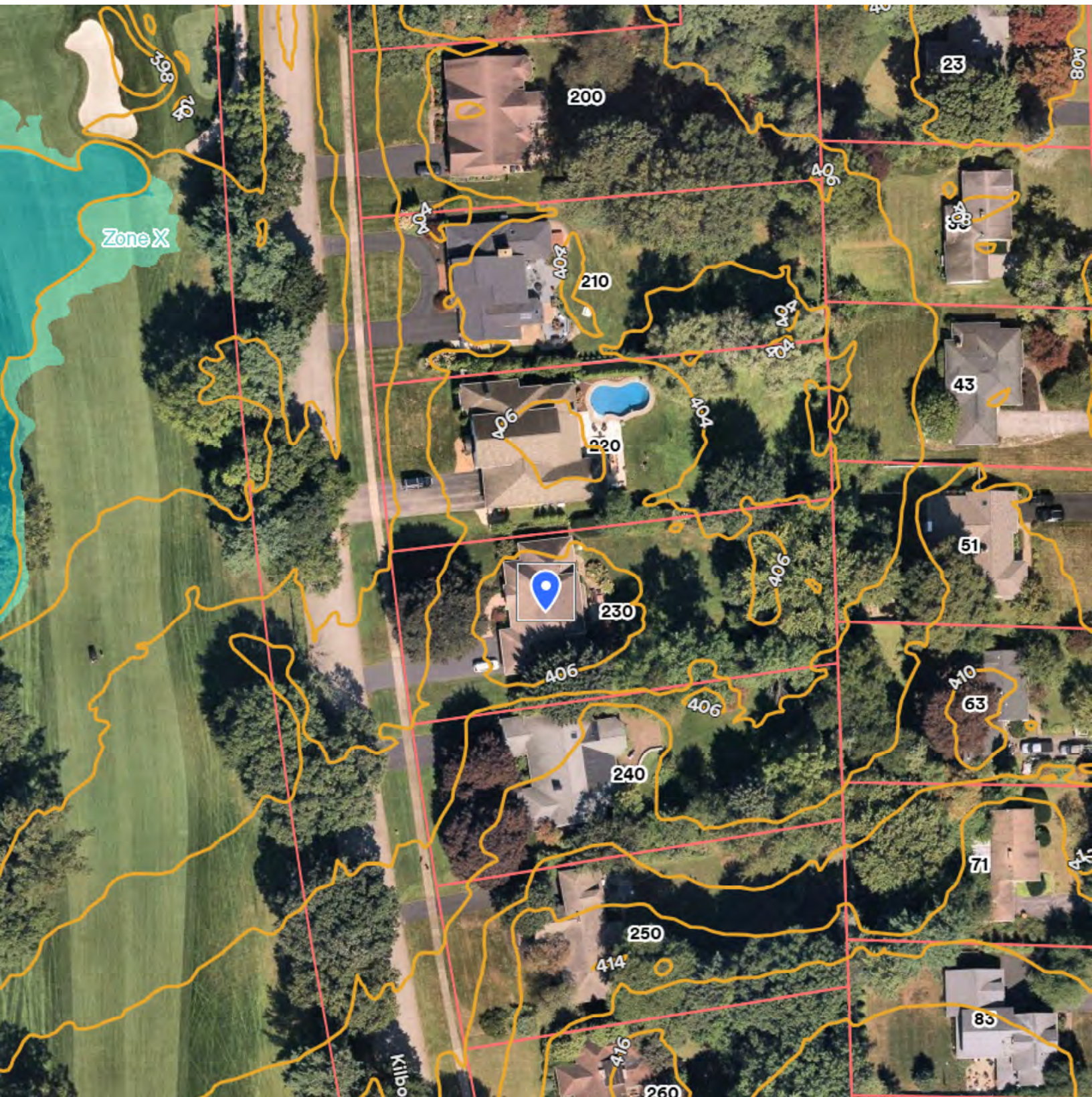


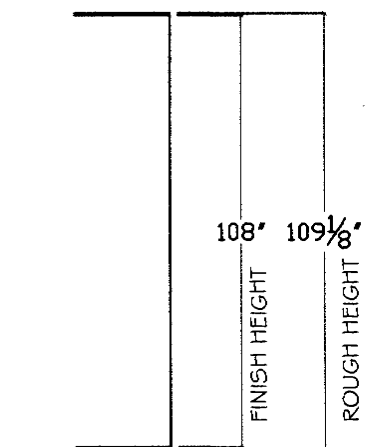
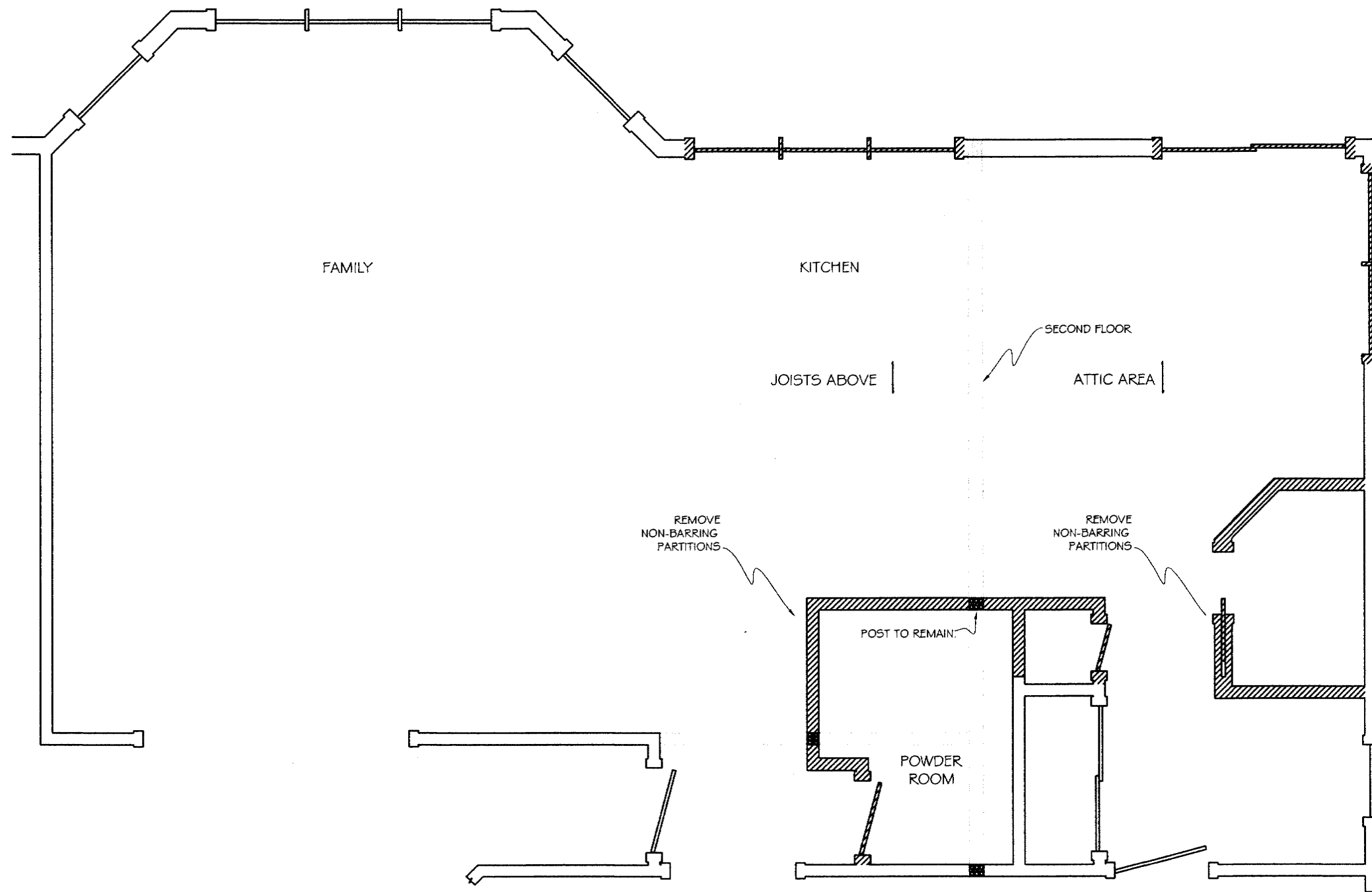
Printed April 16, 2025



Town of Pittsford GIS

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CROSS

DEMOLITION

Firm Name and Address

Renovations
by The Morton Group Inc.

116 Shagbark Way
Fairport, NY 14450

Phone: 585-377-7764

Project Name and Address

BERGERON RESIDENCE
230 KILBOURN ROAD
ROCHESTER, NY 14618

Drawing:

KITCHEN

Date:

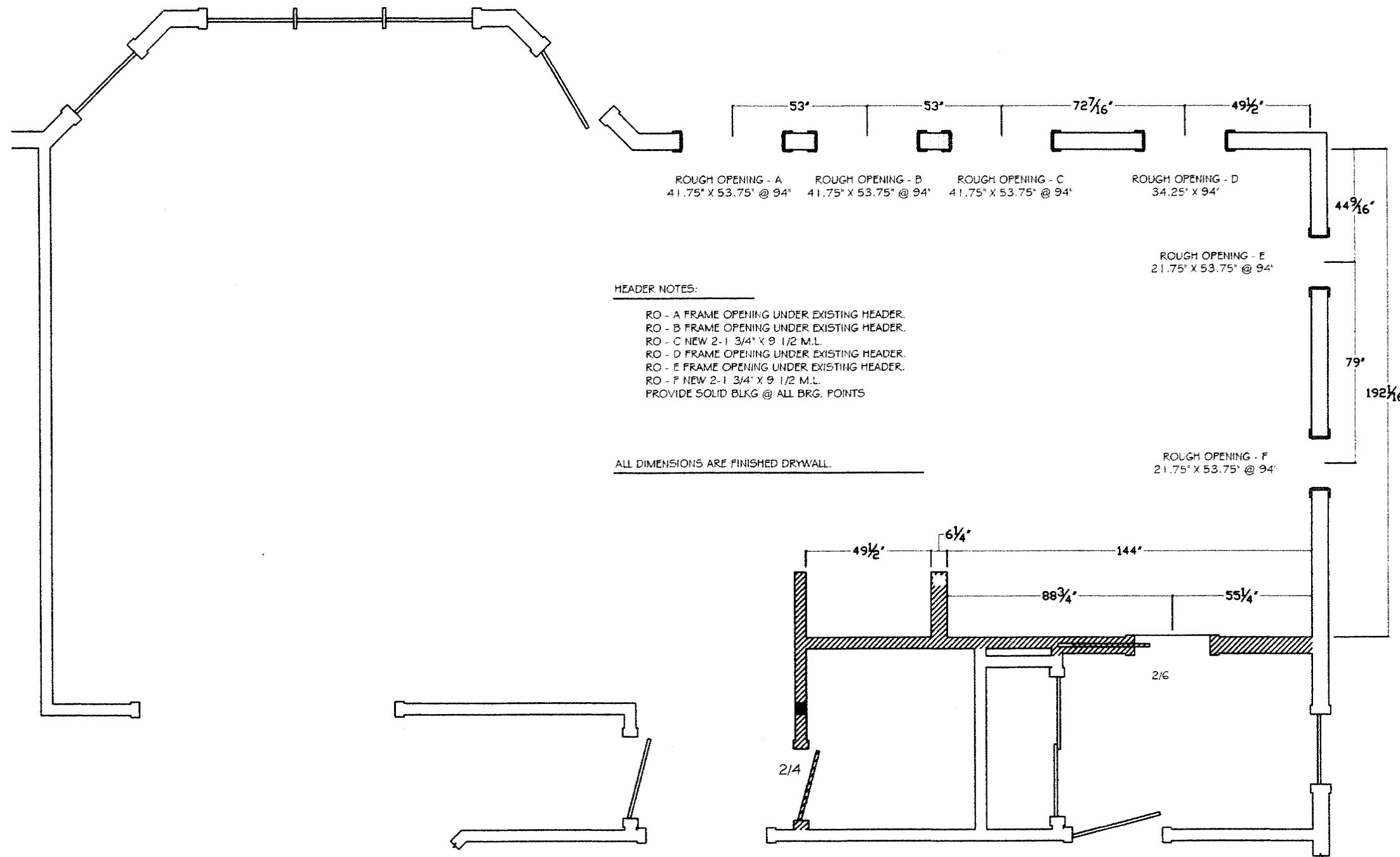
MARCH 28, 2025

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1/4" = 1'

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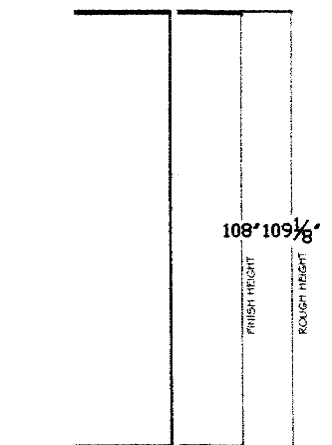
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HEADER NOTES:

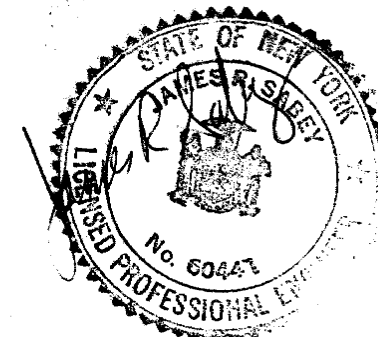
RO - A FRAME OPENING UNDER EXISTING HEADER.
RO - B FRAME OPENING UNDER EXISTING HEADER.
RO - C NEW 2-1 3/4" X 9 1/2" M.L.
RO - D FRAME OPENING UNDER EXISTING HEADER.
RO - E FRAME OPENING UNDER EXISTING HEADER.
RO - F NEW 2-1 3/4" X 9 1/2" M.L.
PROVIDE SOLID BLKG @ ALL BRG. POINTS

ALL DIMENSIONS ARE FINISHED DRYWALL.



CROSS

FRAMING



Firm Name and Address

Renovations
by The Morton Group Inc.

116 Shagbark Way
Fairport, NY 14450

Phone: 585-377-7764

Project Name and Address

BERGERON RESIDENCE
230 KILBOURN ROAD
ROCHESTER, NY 14618

Drawing:

KITCHEN

Date:

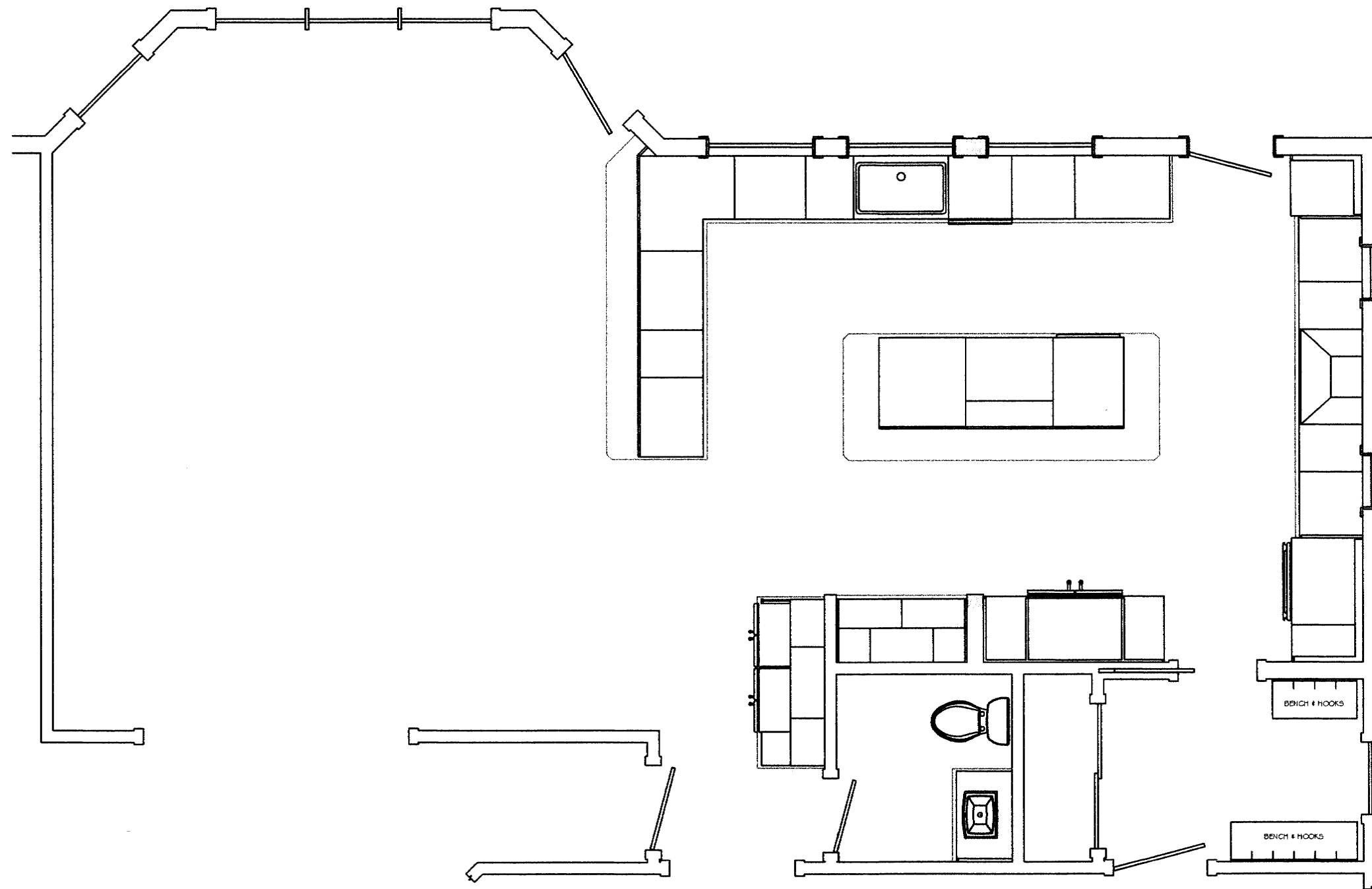
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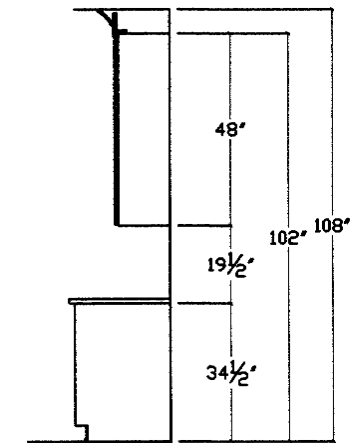
1/4" = 1'

Sheet:

P-2



CONCEPT



CROSS

Firm Name and Address

Renovations
by The Morton Group Inc.

116 Shagbark Way
Fairport, NY 14450

Phone: 585-377-7764

Project Name and Address

BERGERON RESIDENCE
230 KILBOURN ROAD
ROCHESTER, NY 14618

Drawing:

KITCHEN

Date:

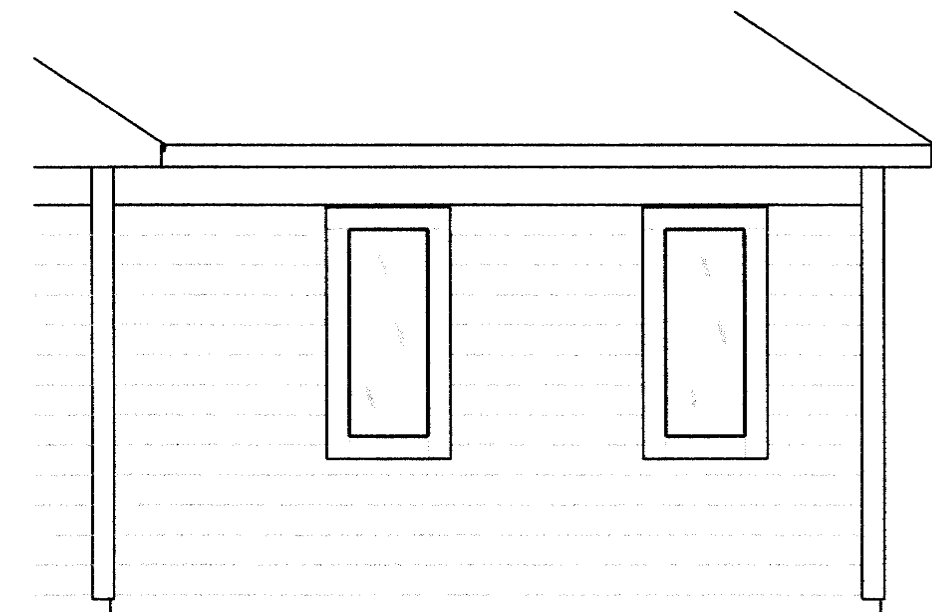
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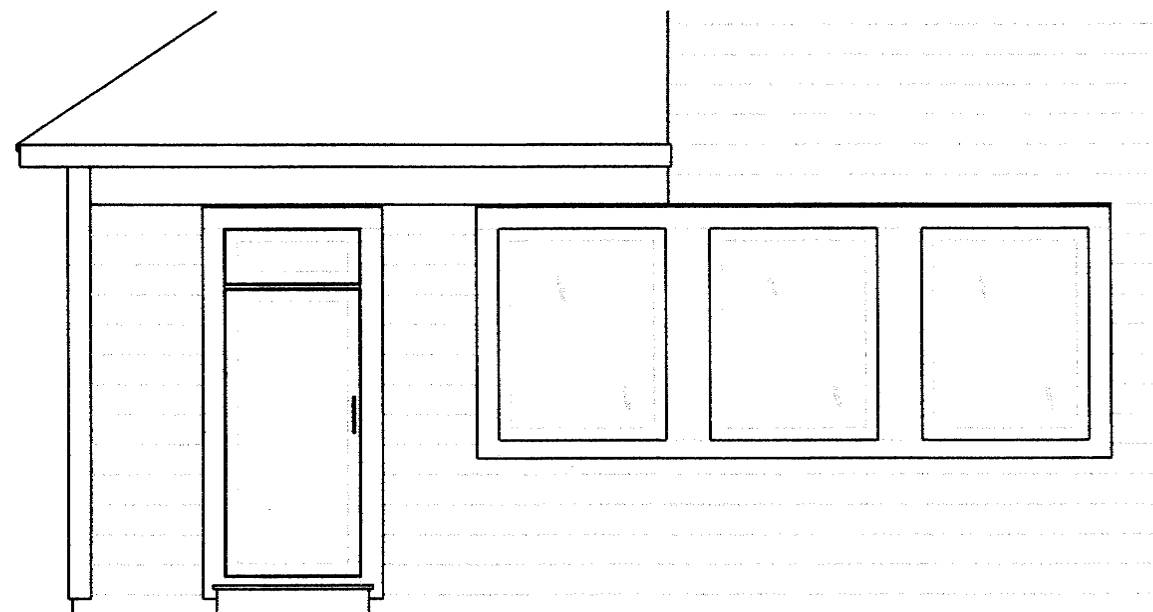
1/4" = 1'

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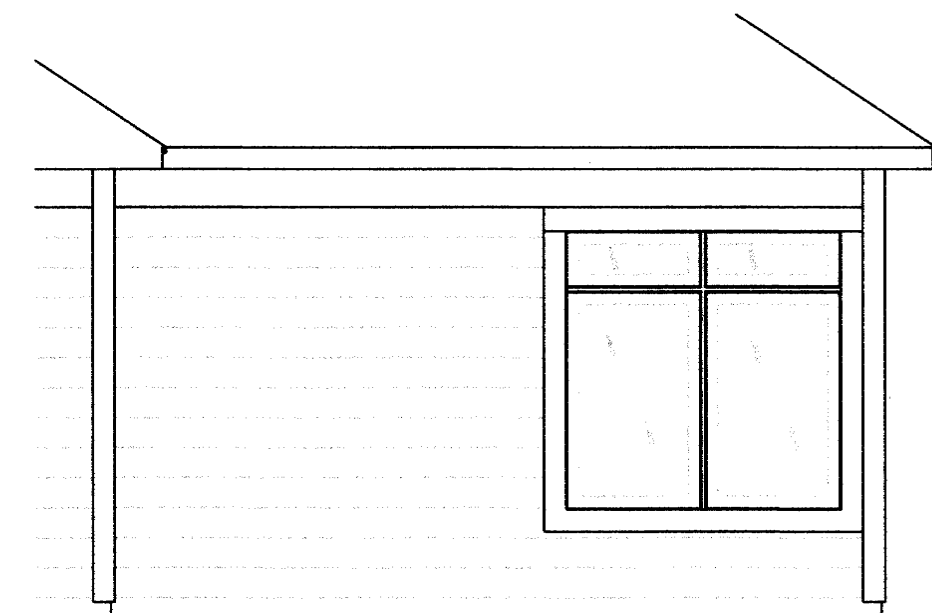
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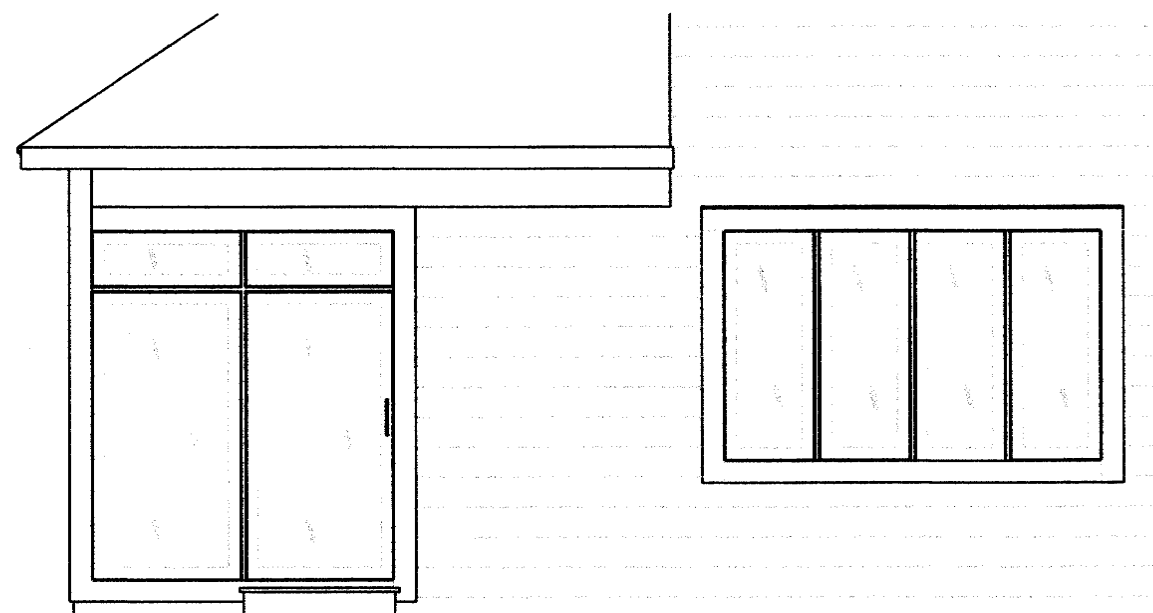
PROPOSED SOUTH SIDE ELEVATION



PROPOSED EAST REAR ELEVATION



EXISTING SOUTH SIDE ELEVATION



EXISTING EAST REAR ELEVATION

Firm Name and Address

Renovations
by The Morton Group Inc.

116 Shagbark Way
Fairport, NY 14450

Phone: 585-377-7764

Project Name and Address

BERGERON RESIDENCE
230 KILBOURN ROAD
ROCHESTER, NY 14618

Drawing:
KITCHEN

Date:
APRIL 12, 2025

Scale:
1/4" = 1'

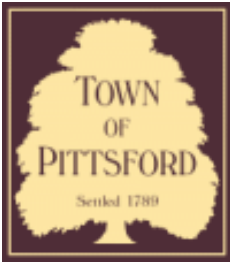
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P-4









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000057

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Parker Drive PITTSFORD, NY 14534

Tax ID Number: 164.10-2-65

Zoning District: RN Residential Neighborhood

Owner: Kosinski, Kathryn

Applicant: High Point Construction

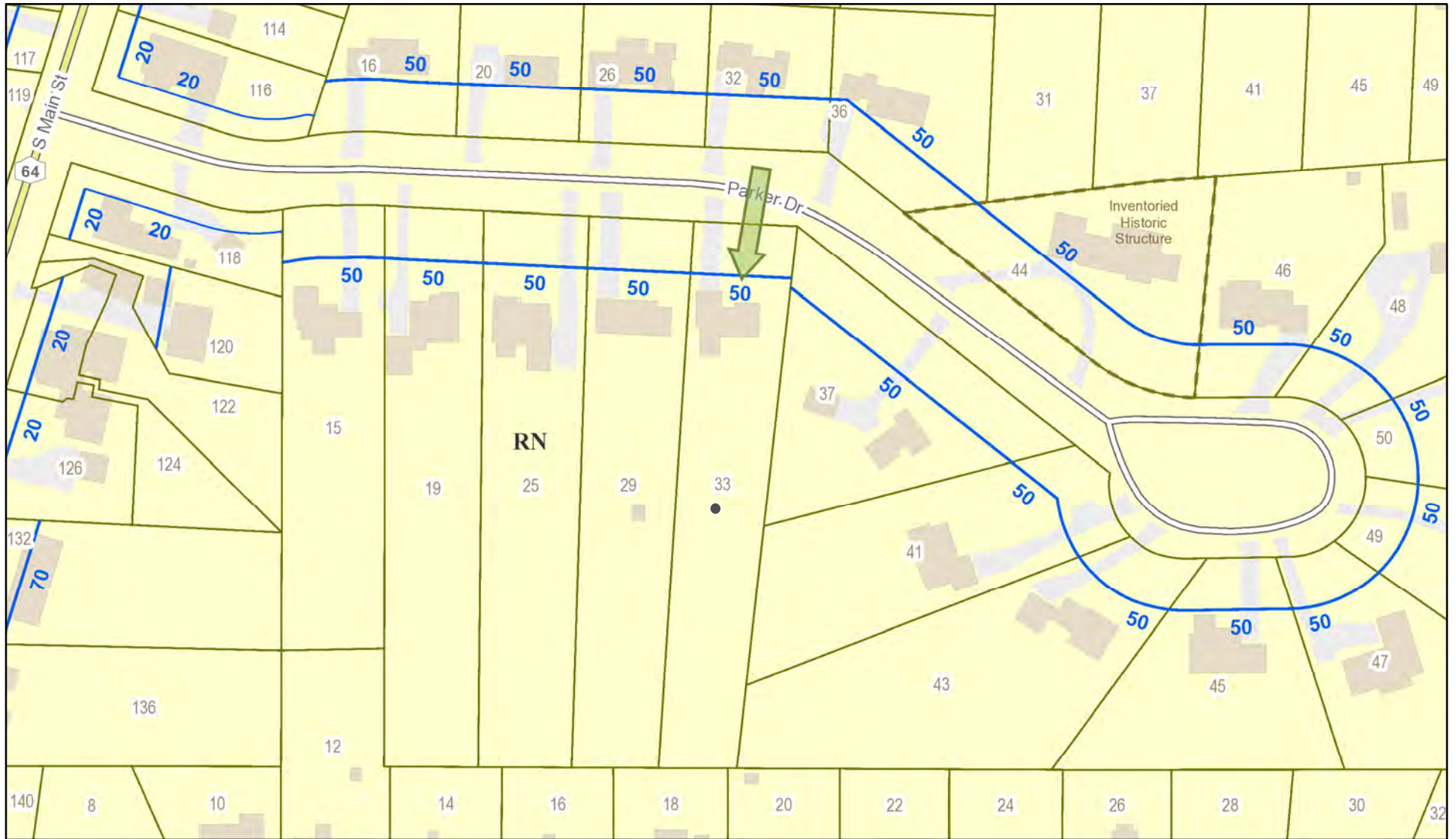
Application Type:

- | | |
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
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| <input type="checkbox"/> Landmark Designation
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§185-17 (L) (2) |
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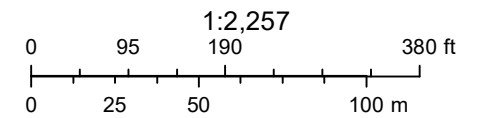
Project Description: Applicant is requesting design review for a 640 Sq Ft. addition and renovation.

Meeting Date: April 24, 2025

RN Residential Neighborhood Zoning

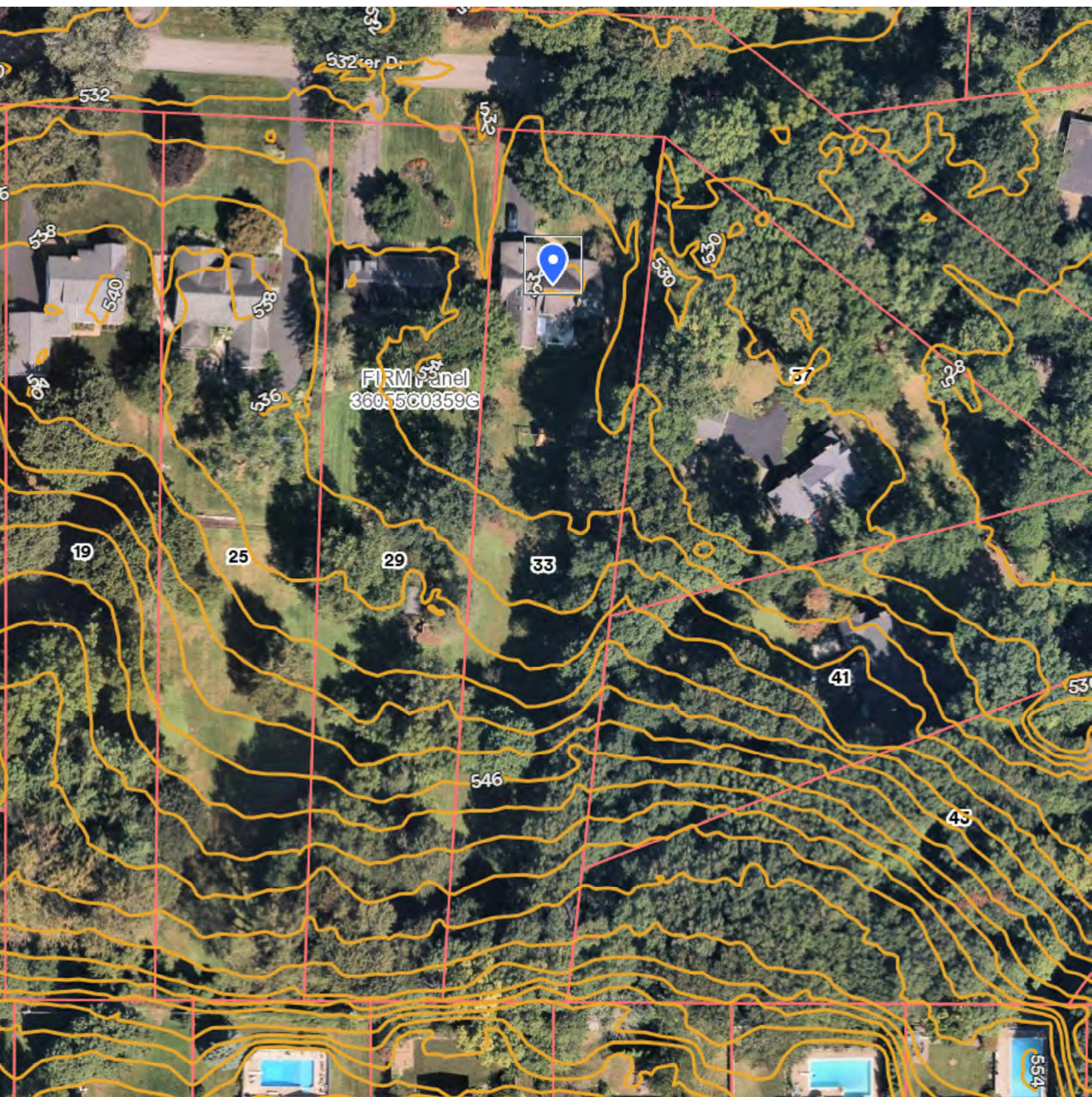


Printed April 17, 2025



Town of Pittsford GIS

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Mathur Residence

TOWN OF PITTSFORD, NEW YORK



LOCATION MAP
A-0.0 N.T.S.

STRUCTURAL LOADING DESIGN CRITERIA:

- ALL LOADS IN POUNDS PER SQUARE FOOT

LOCATION	LIVE	DEAD	LIMIT
1ST FLOOR	40	20	L/360
2ND FLOOR (SLEEPING)	30	20	L/360
2ND FLOOR (NON-SLEEPING)	30	15	L/360
ATTIC (NO STORAGE)	10	5	L/240
ATTIC (LIGHT STORAGE)	20	10	L/240
ROOF (W/ FINISHED GLNS.)	20	20	L/240
ROOF (W/ NO FINISHED GLNS.)	15	15	L/180
DECKS	50	10	L/360

NOTE: ASSUMED SAFE SOIL BEARING CAPACITY IS 2000 PSF AT MIN. FROST DEPTH. VALUES MAY BE INCREASED IF SITE SPECIFIC SOIL CLASSIFICATION OR LOAD BEARING TEST DATA IS AVAILABLE.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT:

-TABLE N102.1.2 2020 RESIDENTIAL CODE
MONROE COUNTY

CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA:

-TABLE R301.2(1) 2020 RESIDENTIAL CODE

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE DEPTH	GRAVEL SPACE WALL R-VALUE
5	0.30	0.35	NR	49	20 OR 13 + 5	13 /17	30	13 / 14	10 / 2 ft HEATED SLAB 5	15 / 14

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY		
40	115	B	SEVERE	42"	SLIGHT TO MODERATE	NONE TO SLIGHT	YES	NO

GENERAL NOTES & CODE

GENERAL NOTES:

- THIS SET OF PLANS HAS BEEN DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE RESIDENTIAL CODE OF NYS AND MEETS OR EXCEEDS THE NYS ENERGY CONSERVATION CONSTRUCTION CODE. IN ADDITION, CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCE AND SCHEDULING ISSUES IN REFERENCE TO THE CONSTRUCTION CONTRACT.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR TO PROVIDE ADEQUATE SUPPORT OF EXISTING FOUNDATION WALLS, LOAD BEARING WALLS AND PARTITIONS DURING DEMOLITION (IF APPLICABLE TO PROJECT) AND CONSTRUCTION.
- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING/BRACING TO BE CERTIFIED BY THE MANUFACTURER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH OTHER TRADES WHEREVER THEY OVERLAP.
- WHEN MATERIALS AND/OR FINISHES ARE FOUND TO BE ABSENT OR WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING AND PAINTING WITH MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH ADJACENT EXISTING SURFACES UNLESS OTHERWISE NOTED.
- PROVIDE ALL BLOCKING, FURRINS AND SHIMMING AS NECESSARY FOR INSTALLATION AND COMPLETION OF THE WORK.
- ALL NEW WORK SHALL BE PLUMB, LEVEL, AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING (IF APPLICABLE TO PROJECT). FINAL SELECTIONS BY OWNER AND ARCHITECT IF 50.
- ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY OWNER AND ARCHITECT IF 50.
- COORDINATE INTERIOR DOORS/HARDWARE, WOOD TRIM AND FINISHES AND EXTERIOR FINISH MATERIALS (SIDING, ROOFING, ETC.) TO MATCH EXISTING (IF APPLICABLE TO PROJECT). FINAL SELECTIONS BY OWNER AND GENERAL CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
- COORDINATE THE INSTALLATION OF CONTINUOUS ALUMINUM GUTTERS AND DOWNSPOUTS TO MATCH EXISTING (IF APPLICABLE TO PROJECT). DOWNSPOUTS NOT LOCATED ON DRAWINGS ARE TO BE LOCATED IN FIELD AND APPROVED BY OWNER. ALL DOWNSPOUTS ARE TO RUN TO PRECAST CONCRETE SPASHBLOCKS OR TO UNDERGROUND CONDUITORS PER LOCAL CODE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SITEWORK, INCLUDING FINISH GRADING AND HYDROGRADING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ELECTRICAL, PLUMBING AND HVAC SYSTEM INSTALLATION. VERIFY CAPACITY AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION (IF APPLICABLE TO PROJECT).
- THESE DOCUMENTS DO NOT PURPORT TO SHOW ALL MEANS AND METHODS REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCHEME FOR THE PROJECT. IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION.

CODE REQUIREMENTS:

STAIRS, PER IRC R301.7

- STAIR TO HAVE HEIGHTS FIELD VERIFIED AND SHOP DRAWINGS APPROVED PRIOR TO FABRICATION. STAIR CONSTRUCTION SHALL CONSIST OF STRINGERS, $\frac{3}{4}$ " THICK TREADS AND $\frac{3}{4}$ " THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.
- STAIRWELLS TO BE A MIN. OF 36" IN WIDTH AND HAVE A CONSISTENT HEAD HEIGHT TO FINISHED CEILING OF 6'-8" FROM THE TREAD NOSING.
- CLOSED RISERS WITH 1" NOSING UNLESS NOTED OTHERWISE. MAX. RISER HEIGHT OF 7 $\frac{1}{2}$ " AND MIN. TREAD DEPTH OF 10" (8" MIN. RUN DEPTH).
- A LANDINGS IS NOT REQUIRED AT TOP OF INTERIOR STAIRS PROVIDED A DOOR DOES NOT SWING OVER STAIR.

HANDRAILS, PER IRC

- HANDRAILS ARE REQUIRED ON AT LEAST ONE (1) SIDE OF STAIRWAYS FOR (4) OR MORE RISERS.
- HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
- THE HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1 $\frac{1}{2}$ " NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE AT LEAST 1 $\frac{1}{2}$ " BETWEEN THE WALL AND THE HANDRAIL. ENDS OF THE HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATION OR ENDS.

GUARDRAILS, PER IRC

- PORCHES, BALCONIES, AND RAISED FLOORS GREATER THAN 30" ABV. FLE OR GRADE SHALL HAVE A HALF WALL OR RAIL GUARD 36" MIN. HT.
- ON OPEN STAIRWAYS SHALL HAVE A GUARDRAIL HEIGHT OF 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
- OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".

GLAZING:

- GLAZING TO BE TEMPERED WHEN CONSIDERED A HAZARDOUS LOCATION AS DEFINED IN THE RESIDENTIAL CODE OF NYS SUCH AS:

- GLAZING IN DOORS
- GLAZING ADJACENT TO DOORS - WITHIN 24" OF A DOOR, WHEN BOTTOM EDGE IS LESS THAN 60" AFF.
- GLAZING IN WINDOWS - WHEN INDIVIDUAL PANE IS GREATER THAN 6 SF, BOTTOM EDGE IS LESS THAN 18" AFF, TOP EDGE IS GREATER THAN 36" AFF, AND WALKING SURFACE IS WITHIN 36".
- GLAZING 4 FEET SURFACES - ANY GLAZING IN WALLS SURROUNDING TUBS, SHOWERS, SAUNAS WHERE BOTTOM EDGE IS LESS THAN 60" AFF.
- GLAZING ADJACENT TO STAIRWAYS AND RAMPS - BOTTOM EDGE OF GLAZING IS LESS THAN 60" AFF.
- THE MAXIMUM ALLOWABLE U-FACTOR FOR ALL NEW EXTERIOR DOORS AND WINDOWS SHALL BE 0.30. THE MAXIMUM ALLOWABLE U-FACTOR FOR SKYLIGHTS SHALL BE .55.

ELECTRICAL/MECHANICAL/PLUMBING:

- ELECTRIC AND PLUMBING LAYOUT SHALL MEET OR EXCEED LOCAL & NATIONAL CODES AND SHALL BE INSPECTED DURING CONSTRUCTION.
- EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN HAZARDOUS LOCATIONS AND PRIVATE GARAGES. APPLIANCES LOCATED IN PRIVATE GARAGES SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 6 FEET ABOVE THE FLOOR OR PROVIDE PROTECTION FROM MOTOR VEHICLE IMPACT. PER THE RESIDENTIAL CODE OF N.Y.S.
- WHERE WALL AND/OR CEILING FINISHES ARE REMOVED TO EXPOSE THE STRUCTURE, ALARMS SHALL BE HAND-WIRED. OTHER ALARMS MAY BE BATTERY OPERATED.
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH ATTACHED GARAGE AND IN EACH DETACHED GARAGE THAT IS PROVIDED WITH ELECTRICAL POWER.
- IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED IT SHALL BE LISTED IN ACCORDANCE WITH UL 325.

- FOR NEW CONSTRUCTION SMOKE DETECTING ALARM DEVICES SHALL BE DIRECT WIRED AND CONFORM TO THE RESIDENTIAL CODE OF N.Y.S.
- SMOKE/CARBON MONOXIDE HEAT DETECTION ALARMS:
 - IN EACH SLEEPING ROOM
 - IN HALLWAYS ADJACENT TO SLEEPING ROOMS
 - AT LEAST ONE ON EACH STORY INCLUDING BASEMENT

- SHALL NOT BE INSTALLED LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OF OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.

- FOR NEW CONSTRUCTION CARBON MONOXIDE DETECTORS SHALL CONFORM TO THE RESIDENTIAL CODE OF N.Y.S. AND CONFORM TO THE FIRE CODE OF N.Y.S. SHALL BE DIRECT WIRED AND SHALL BE INSTALLED ON ANY STORY HAVING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA - IN ANY ROOM WHERE FUEL-FIRED APPLIANCES OR EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, OR FIREPLACES ARE LOCATED. CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2034 AND UL 217 AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ATTACHED GARAGES ARE TO BE PROTECTED WITH A HEAT DETECTION DEVICE LISTED UNDER UL 521 AND LOCATED IN A CENTRAL LOCATION.

DRYER DUCT/EXHAUST:

- DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0151 INCHES (NO. 26 GAUGE) AND SHALL BE 4 INCHES NOMINAL IN DIAMETER.
- EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 5 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.
- THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 95 FEET FROM THE DRYER LOCATION TO THE OUTLET TERMINAL, WHERE FITTINGS ARE USED, THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED AS PER THE RESIDENTIAL CODE OF NEW YORK STATE.

SQUARE FOOTAGES (ADDITION)	
FLOOR/SPACE	SQUARE FOOTAGE
FIRST FLOOR	320
SECOND FLOOR	310
TOTAL: 1ST & 2ND FLOOR	630
BASEMENT (FOUNDATION EXCLUDED)	266 NET
BASEMENT (ALTERNATE) (FOUNDATION EXCLUDED)	587 NET
SOUTH PORCH (BASE)	42
SOUTH PORCH (ALTERNATE)	374
TOTAL: PORCH	42 / 374

CONDITIONED FLOOR AREA CALCULATIONS:

BASEMENT -	266 SF
FIRST FLOOR -	320 SF
SECOND FLOOR -	310 SF
TOTAL AREA -	896 SF

CONDITIONED SPACE VOLUME CALCULATIONS:

BASEMENT OR GRAVEL SPACE -	2,244.25 CF
FIRST FLOOR -	2,586.50 CF
SECOND FLOOR -	2,175.00 CF
TOTAL VOLUME -	7,005.75 CF

NOTE: ALL CALCULATIONS ARE BASED ON DRAWINGS AND SHOULD BE CONFIRMED WITH AS-BUILT CONDITIONS.

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Project No. 2104

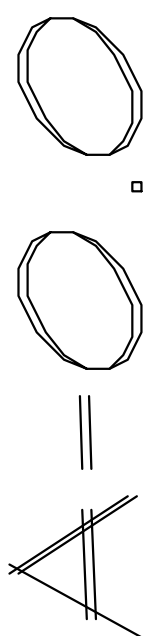
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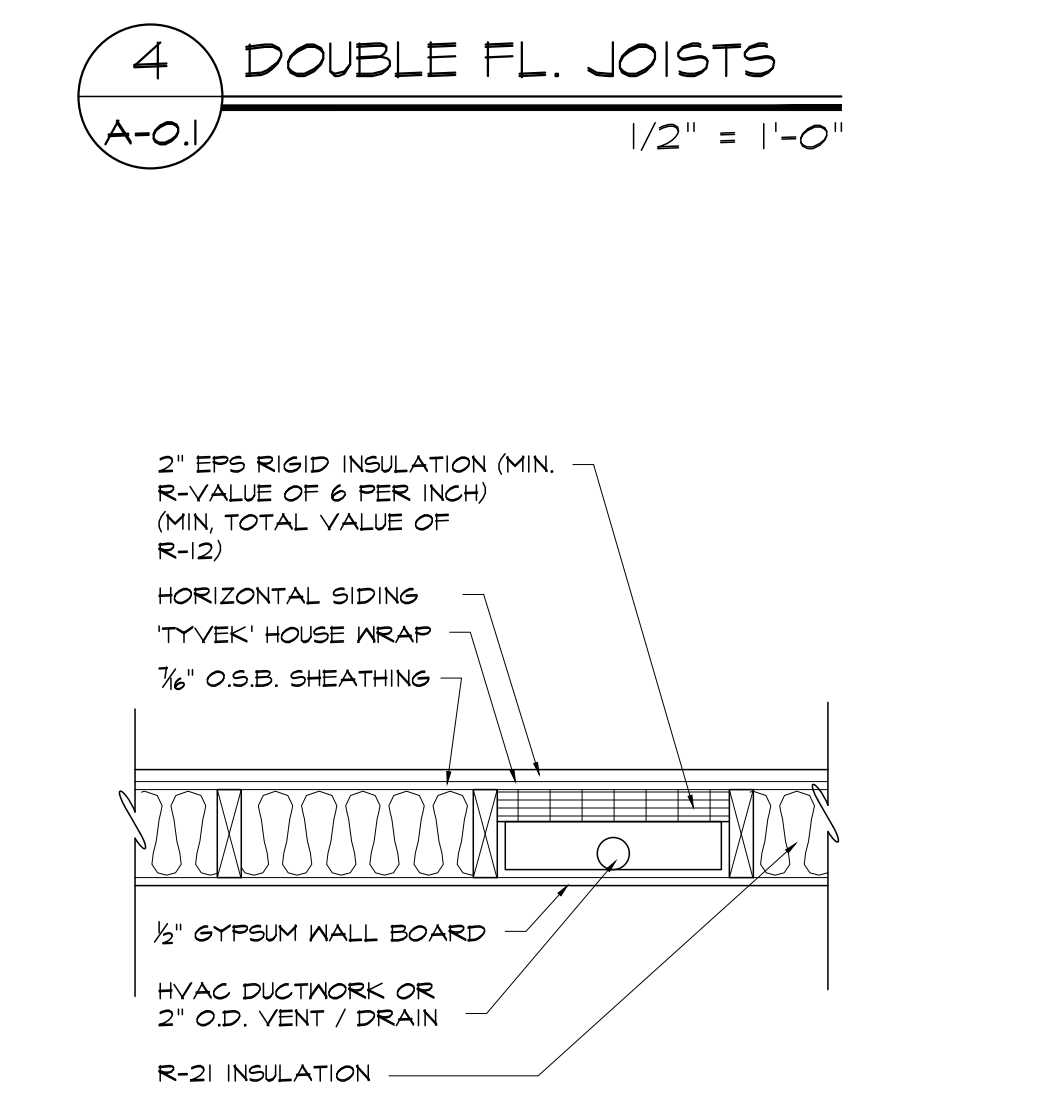
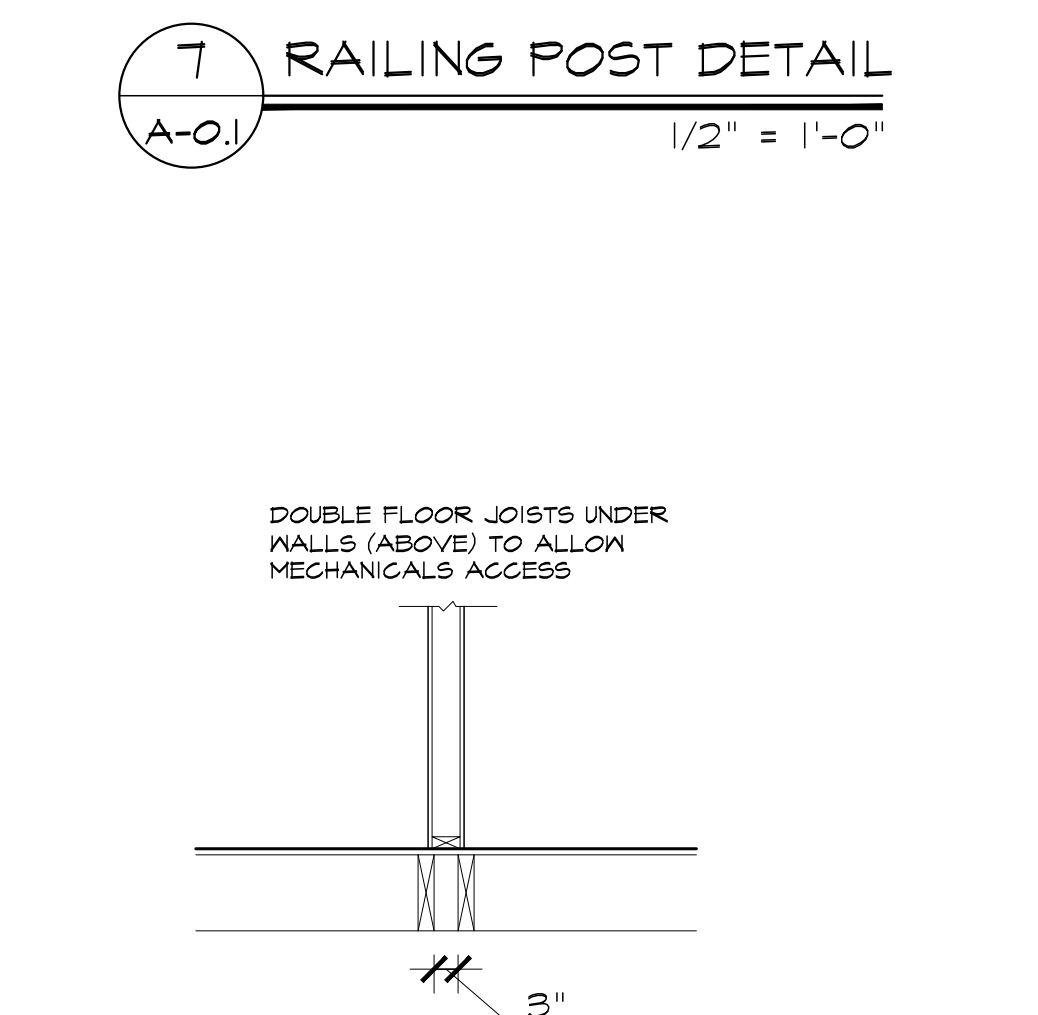
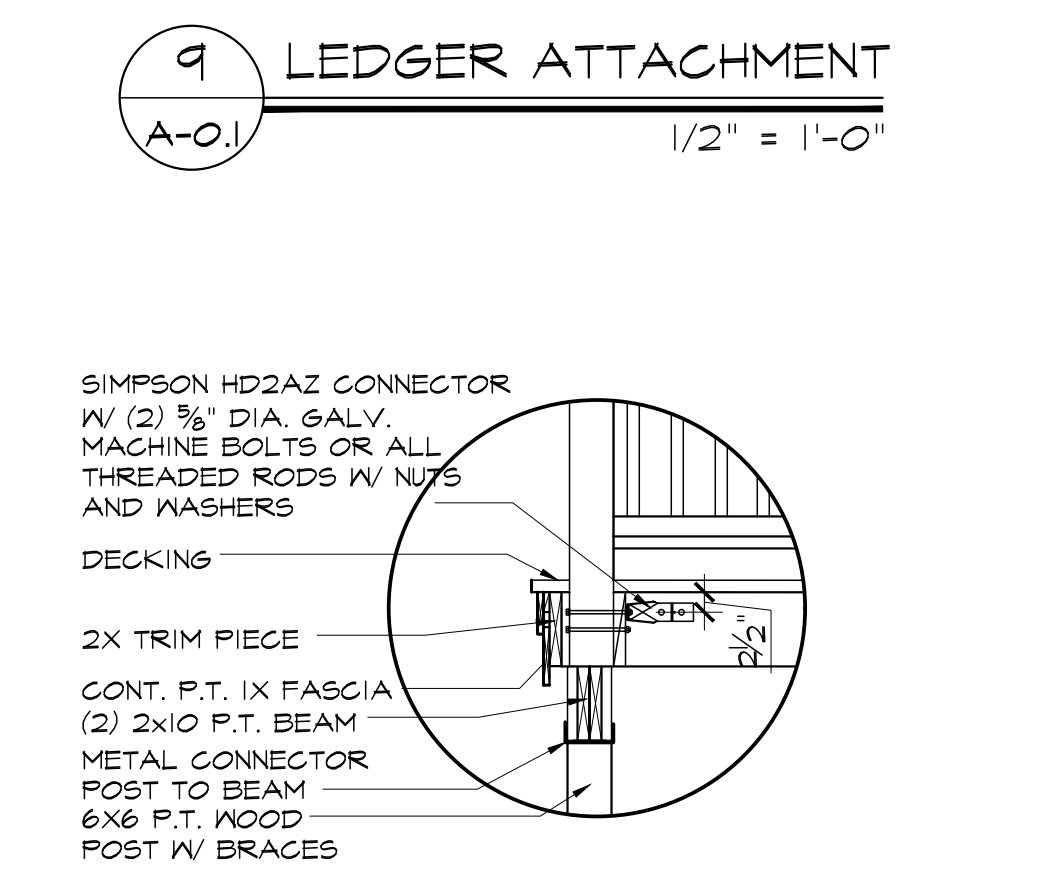
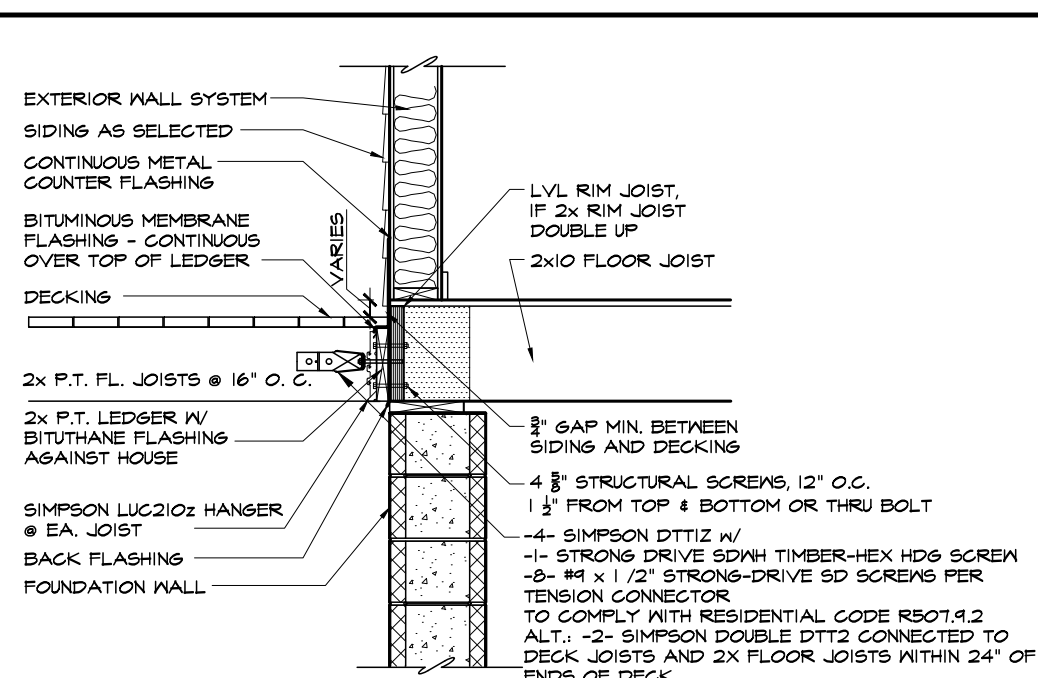
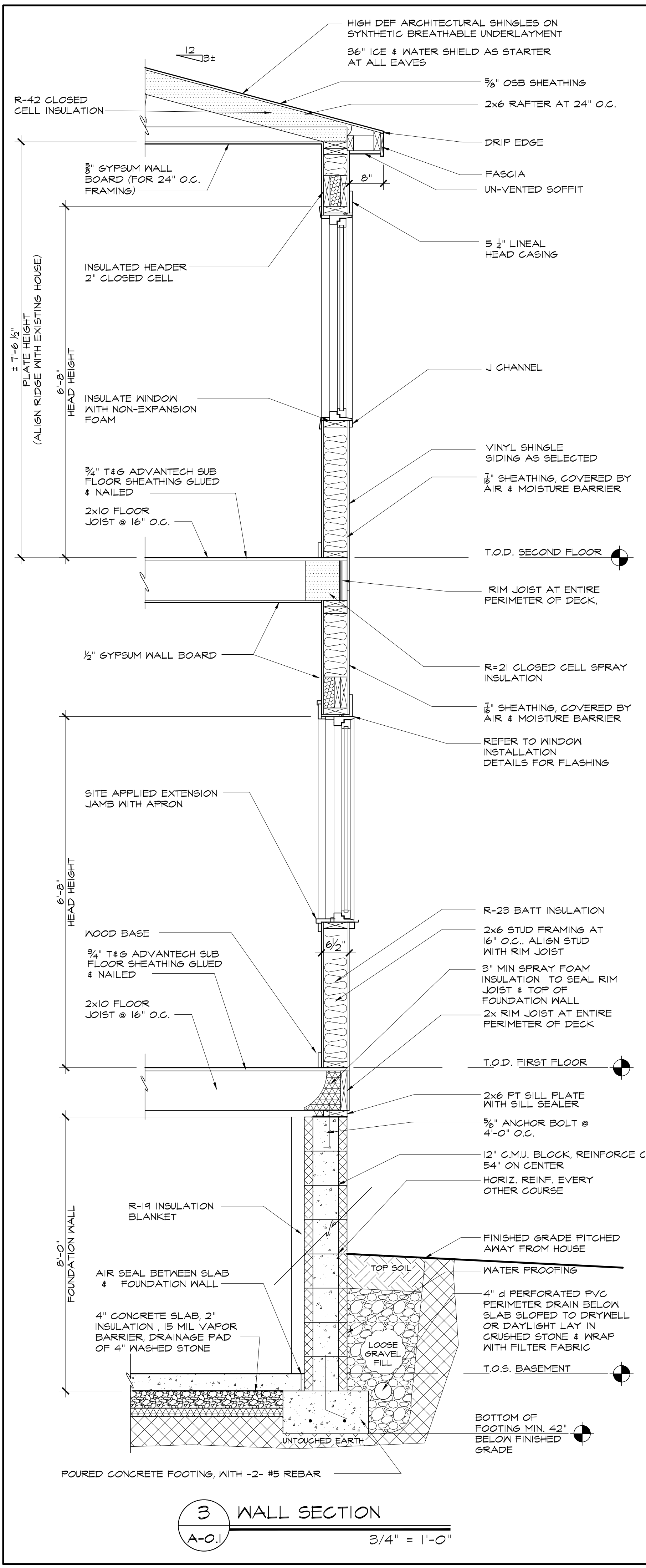
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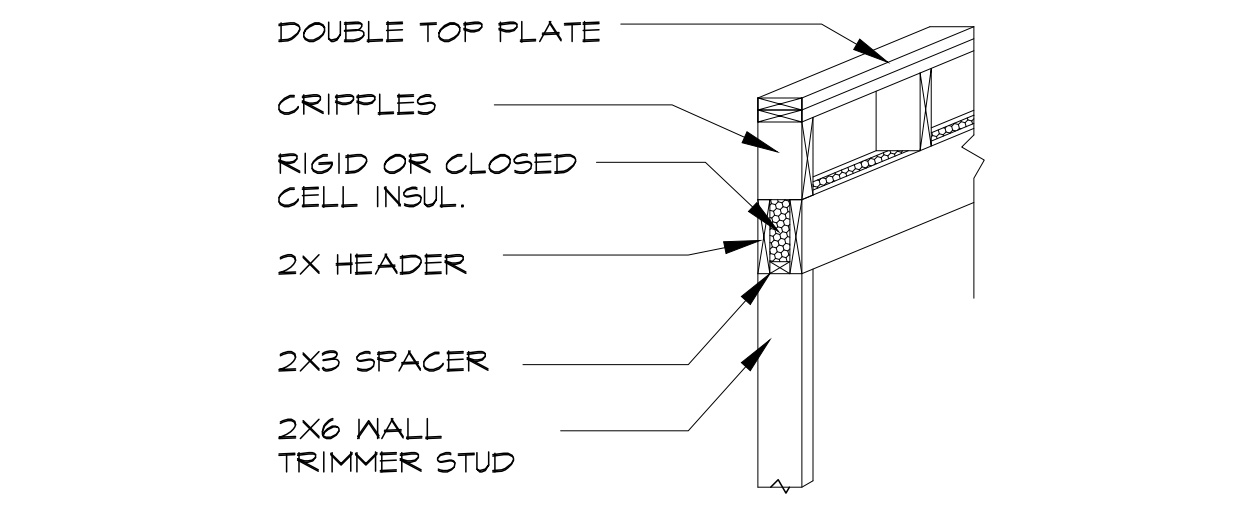
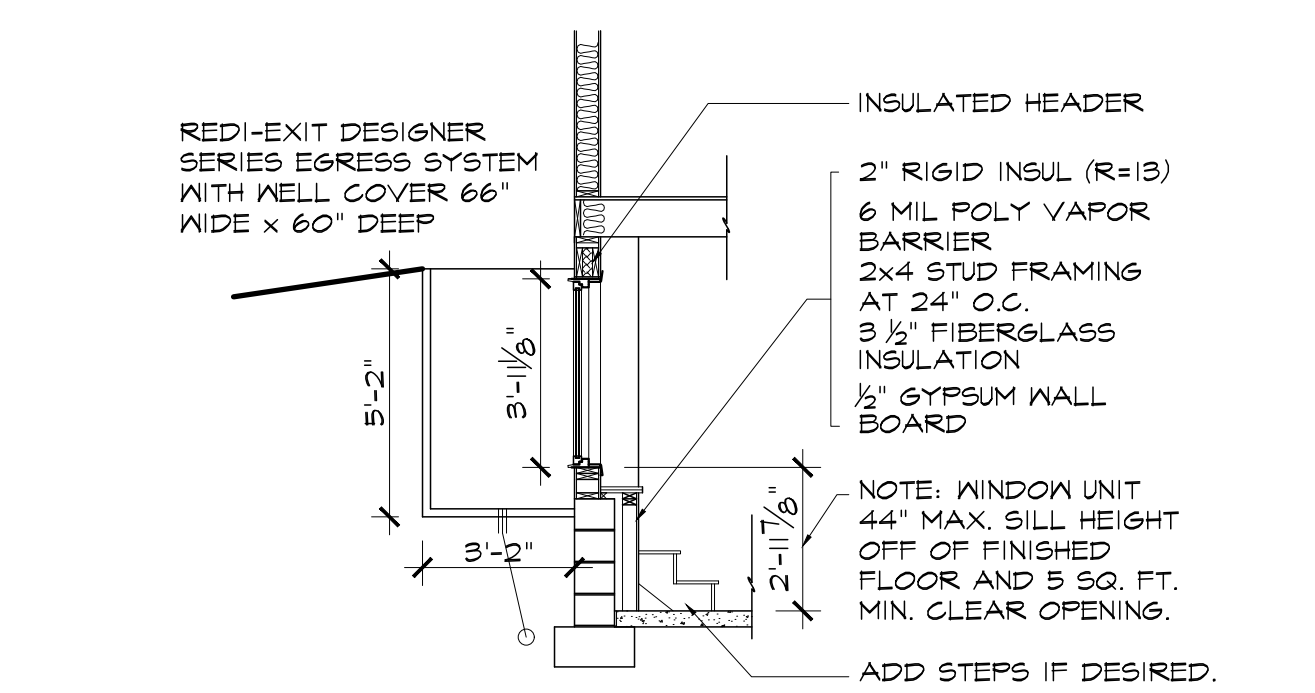


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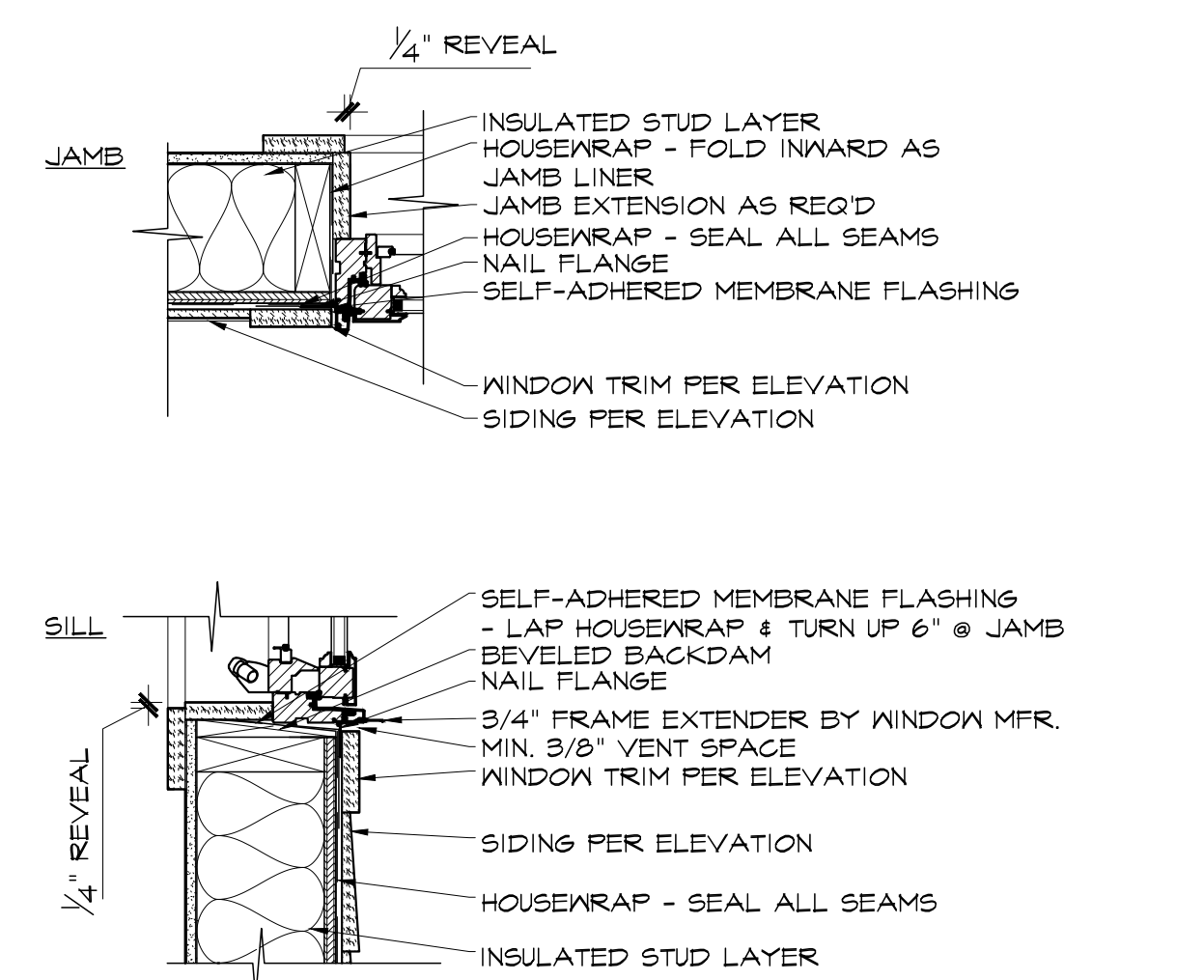
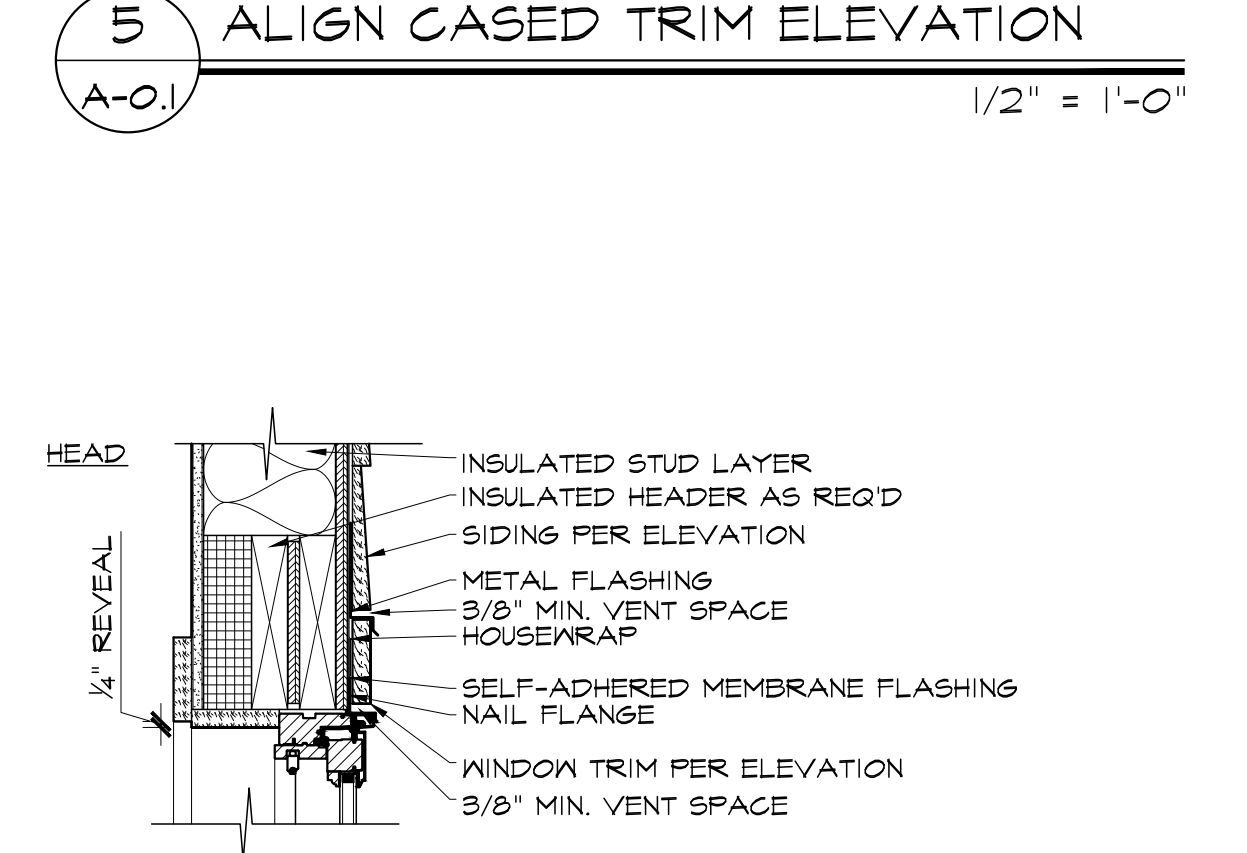
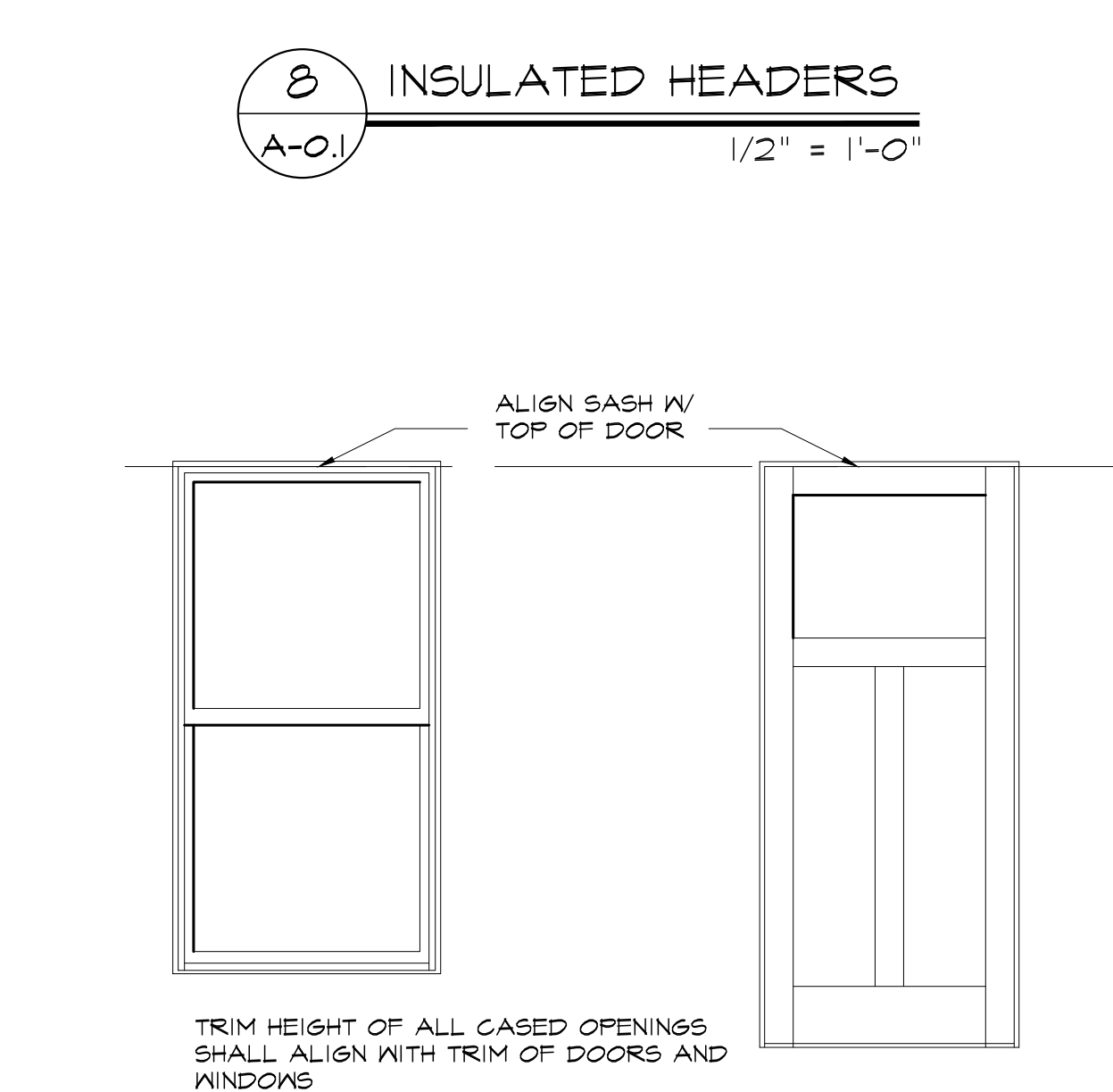


WINDOW WELL CODE REQUIREMENTS:

1. WINDOW WELLS, WINDOW WELLS REQUIRED FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW OF THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. THE HORIZONTAL DIMENSIONS OF THE WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQUARE FEET (0.84 M2) WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914 MM).
2. EXCEPTION: THE LADDER OR STEPS REQUIRED SHALL BE PERMITTED TO ENCRUGH A MAXIMUM OF 8 INCHES (152 MM) INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL.
3. LADDER AND STEPS, WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH R311.5 AND R311.6 LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES (305 MM), SHALL PROJECT AT LEAST 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.



NOTE: ALL EXTERIOR HEADERS TO OUT SIDE WALL



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Project No. 2109
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Title: Construction Documents STANDARD DETAILS

A=O

FOUNDATION NOTES:

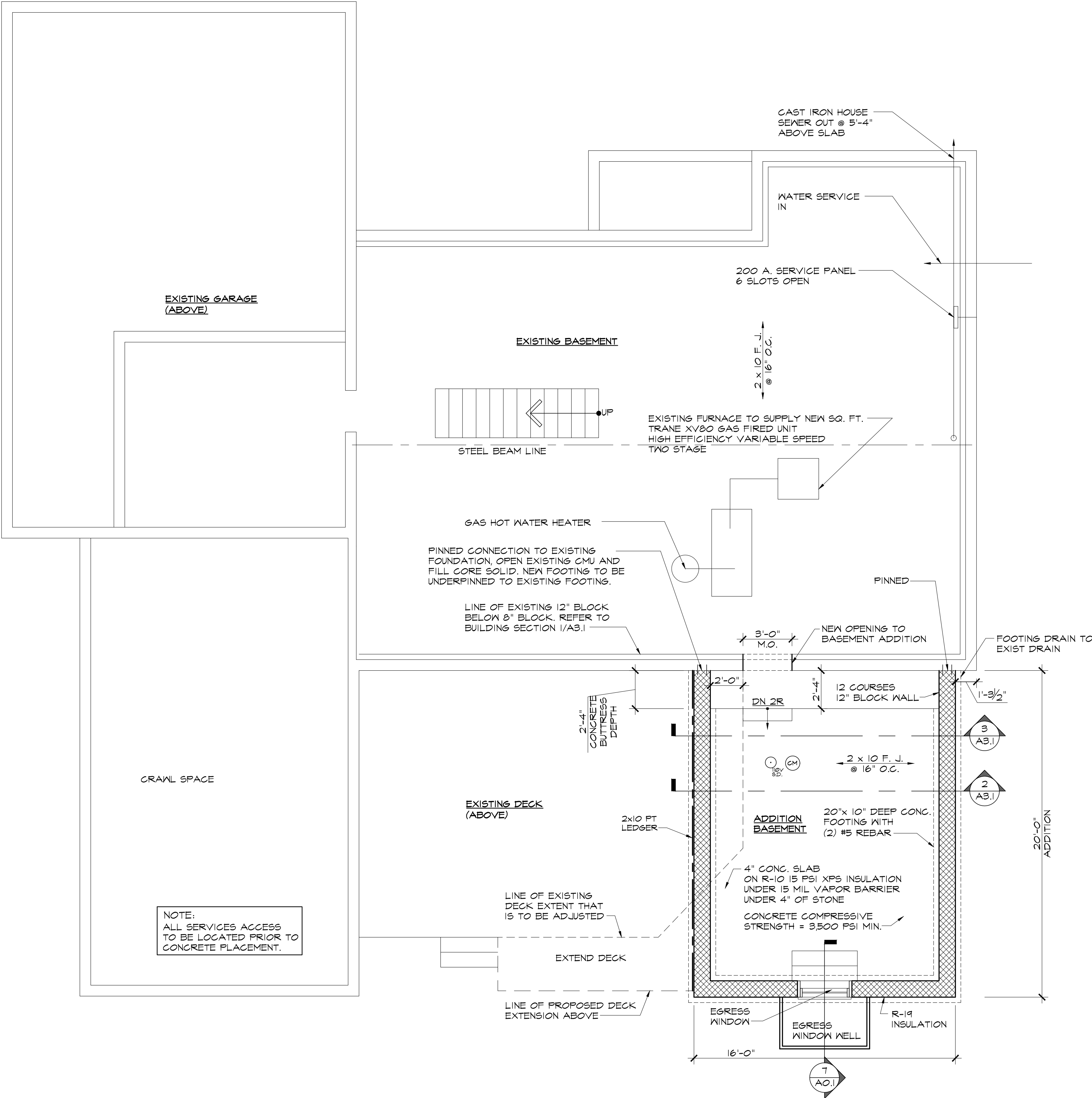
1. ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
2. THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
3. FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
4. THE CONCRETE USED FOR FOOTINGS AND FOUNDATION WALLS (NOT EXPOSED TO THE WEATHER) SHALL HAVE A MINIMUM STRENGTH OF 2,500 PSI AND SHALL BE AIR ENTRAINED AS REQUIRED THE RESIDENTIAL CODE OF NEW YORK STATE.
5. TOP OF WALL TO EXTEND A MIN. OF 8" ABOVE FINISHED GRADE.
6. BASEMENT SLAB IS A MINIMUM OF 4" THICK OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED. BASEMENT SLAB SHALL BE 3,500 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
7. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
8. CRAWL SPACE SLAB IS A MINIMUM OF 2" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
9. UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (1) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST 1 VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
10. REQUIRED ACCESS TO CRAWL SPACES IS 18"x24" WHEN IN THE FLOOR AND 16"x24" WHEN ACCESS IS THROUGH THE PERIMETER WALL.
11. PROVIDE PERIMETER FOUNDATION PERFORATED PVC DRAINPIPE FITTED AT 1/8" IN 12" TO DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR EXTERIOR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED WITH HOLES ORIENTED DOWNWARD. **SUPERIOR WALL FOUNDATION SYSTEMS SHALL PLACE 4" DIA. PVC SLEEVES AT FOOTING CORNERS TO DRAIN THE INTERIOR CRUSHED STONE.
12. CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
13. PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
14. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
15. IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB, FOR FUTURE CONNECTION IF NECESSARY.
16. ALL COMPACTED SOIL TO BE COMPACTED IN 12" LIFTS.
17. 2X PRESSURE TREATED SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION, AND BE SECURED WITH ANCHOR BOLTS (MIN. 1/2" DIA.) SPACED AT 6'-0" O.C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 1" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
18. CMU FOUNDATION WALL SYSTEM - SEE CMU NOTES & TYPICAL DETAILS.
19. PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
20. SEALABLE COVER SUMP IS NEEDED IF SOIL OTHER THAN GROUP 1 (TABLE 405.1). SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
21. EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINIOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
22. BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED CONTACT DESIGN WORKS ARCHITECTURE.
23. BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
24. MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" VERTICALLY. INSTALL CONTINUOUS APPROVED FLASHING AND COTTON CORD KEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE OF MASONRY VENEER ABOVE GRADE.

CAST-IN-PLACE CONCRETE AND REINFORCING:

1. BEFORE PLACING CONCRETE REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BLOCKOUTS AND EMBEDDED ITEMS.
2. CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4"x 45 DEGREES UNLESS OTHERWISE NOTED.
3. ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE AND NOT FROM GROUT.
4. ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
5. WELDING OF REINFORCING STEEL IS NOT PERMITTED.
6. THE USE OF DEFORMED REINFORCING STEEL OR ANCHORS ON EMBEDDED ITEMS IS NOT PERMITTED.
7. SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6X6 W2.9XW2.9 WELDED WIRE MESH.
8. THE FOLLOWING MINIMUM PROTECTION OF REINFORCING SHALL BE MAINTAINED.
 - FOOTINGS 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER 2"
 - WALLS 1 1/2"
 - SLABS 3/4"

CMU NOTES:

1. CONCRETE MASONRY UNITS - HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"x16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
2. MORTAR - MORTAR SHALL BE TYPE S.
3. TRUSSED HORIZONTAL REINFORCING SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
4. BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF 3/8" UNIFORM THICKNESS.
5. WHERE VERTICAL REINFORCING IS CALLED FOR ON PLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
6. ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM GROUT.



FOUNDATION PLAN (BASE)
1/4" = 1'-0"

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Monroe County, NY

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FOUNDATION PLAN

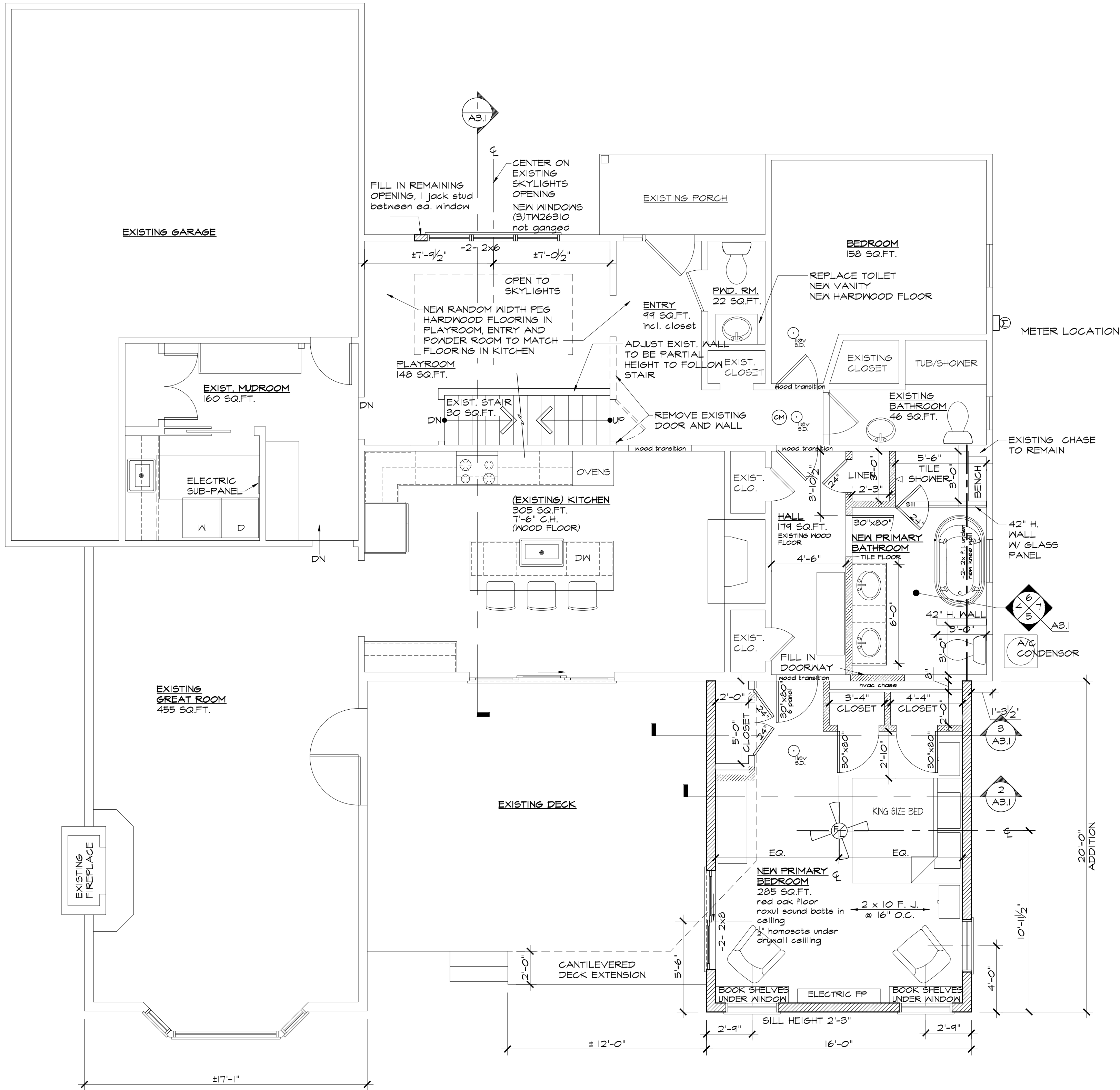
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FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
- DOUBLE JACK STUDS AT ALL 4'-0" OPENINGS AND LARGER.
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
- INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
- REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVEING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATINGS LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A TO CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

WALL TYPE LEGEND

- EXTERIOR INSULATED WALL
- EXTERIOR 2x FRAMING
- INTERIOR STUD FRAMING
- HALF WALLS
- POURED CONC.
- FOUNDATION WALL



1 FIRST FLOOR PLAN
A-2.1
1/4" = 1'-0" N

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Construction Documents
FIRST FLOOR PLAN

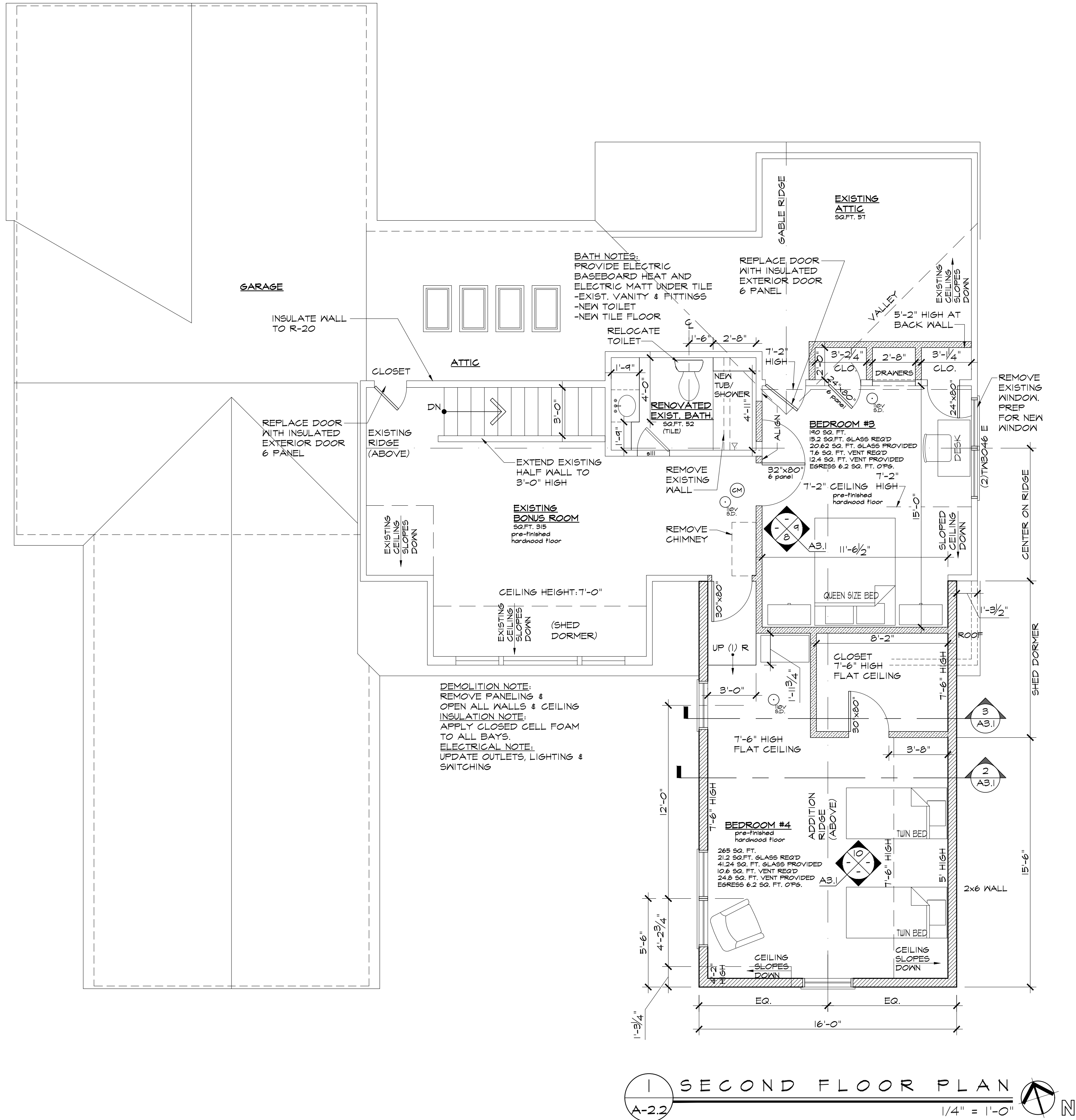
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- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
- DOUBLE JACK STUDS AT ALL 4'-0" OPENINGS AND LARGER.
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
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- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

WALL TYPE LEGEND

	EXTERIOR INSULATED WALL
	EXTERIOR 2x FRAMING
	INTERIOR STUD FRAMING
	HALF WALLS
	POURED CONC.
	FOUNDATION WALL



1 SECOND FLOOR PLAN
A-22
1/4" = 1'-0"

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Project No.	2104
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Title: Construction Documents
SECOND FLOOR PLAN

A-22

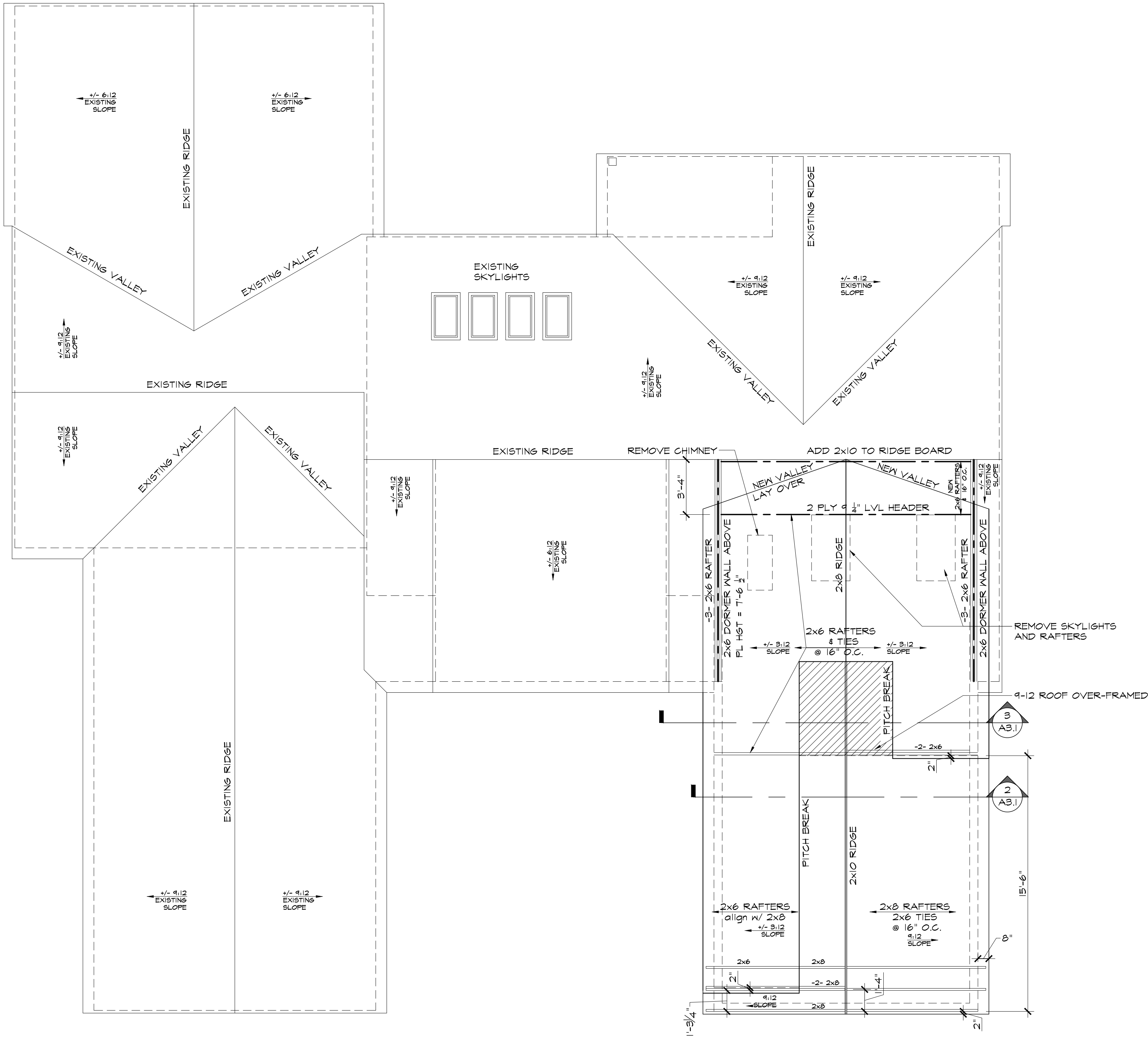
ROOF & ATTIC NOTES:

1. APPROVED BITUTHANE WATER SHIELD PRODUCT (e.g. GRACE ICE AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS.

ROOF PITCH	3:12 OR LESS	3:12 - 6:12	6:12 OR GREATER
WATER SHIELD *	ENTIRE ROOF	5'-0"	3'-0"

* DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE

- USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.
- HIGH TEMPERATURE ICE & WATER SHIELD UNDER METAL ROOF (IF APPLICABLE).
- ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF 1/60 OF THE AREA OF VENTED SPACE, WITH THE EXCEPTION OF 1/300 BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE PER THE RESIDENTIAL CODE OF N.Y.S..
- ROOF CAVITIES THAT EXCEED 30 SF, REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER THE RESIDENTIAL CODE OF N.Y.S..
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.
- FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER.
- BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL RAFTER BAYS.
- FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.



1 ROOF PLAN
A-23 1/4" = 1'-0" N

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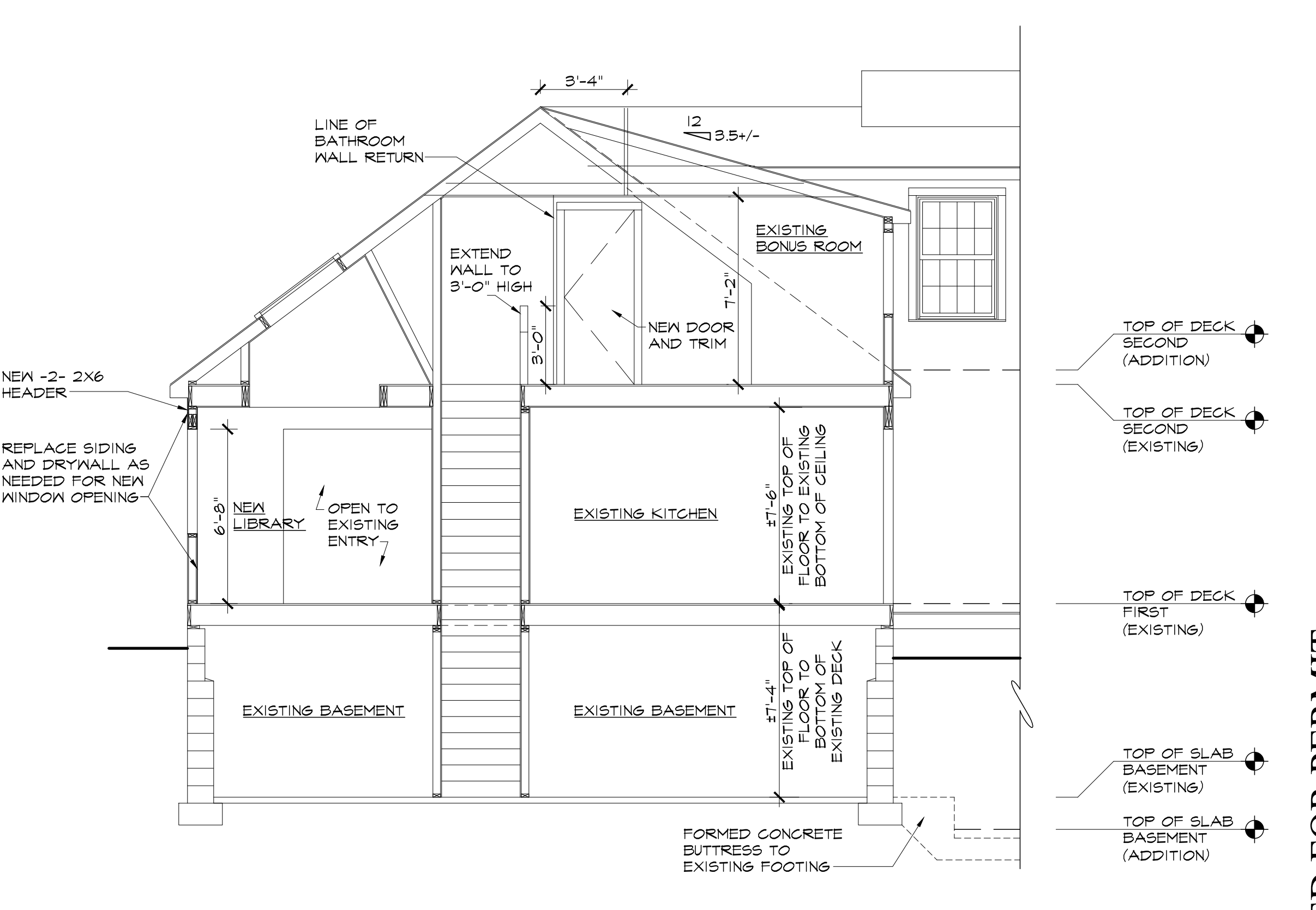
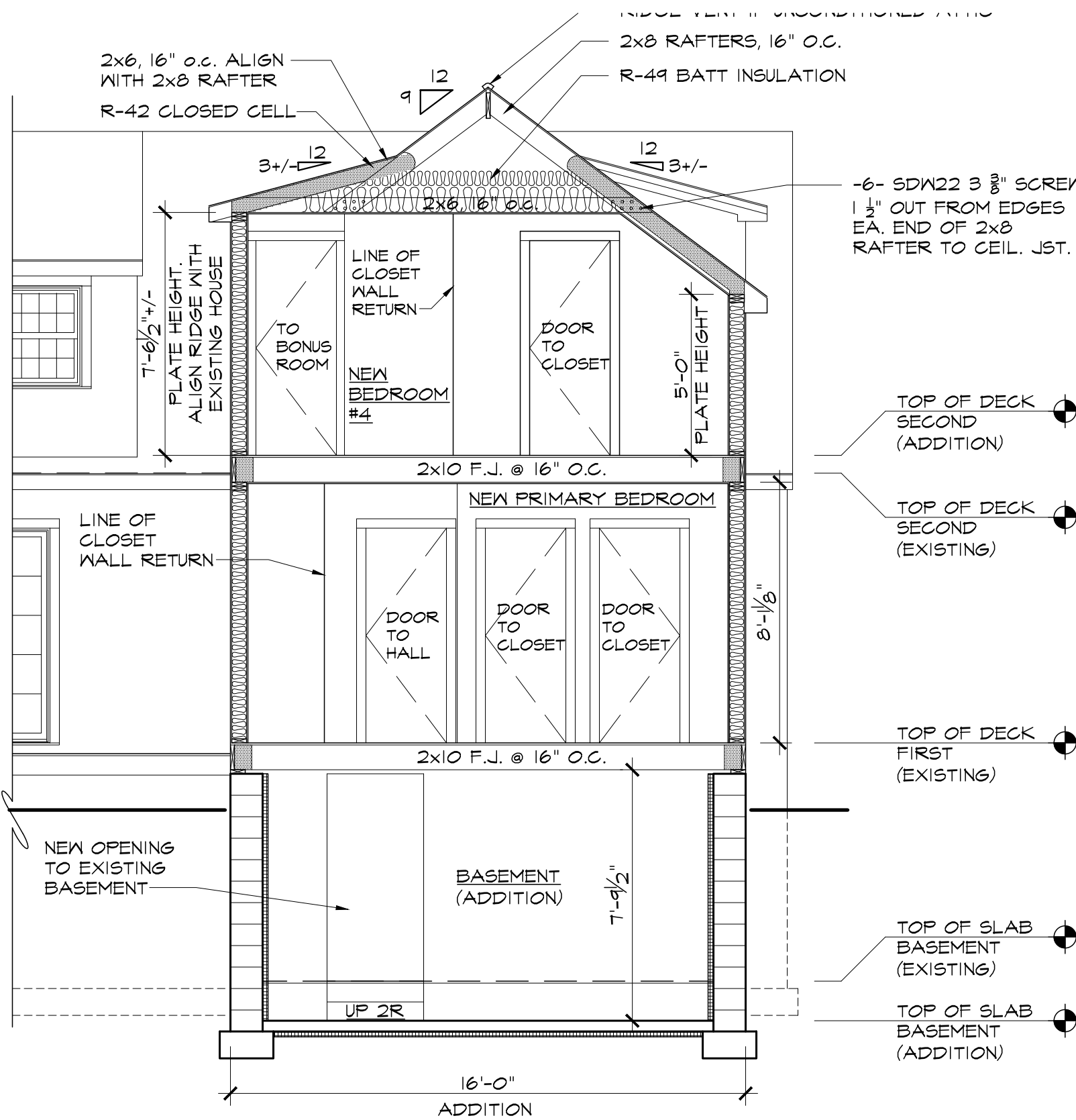
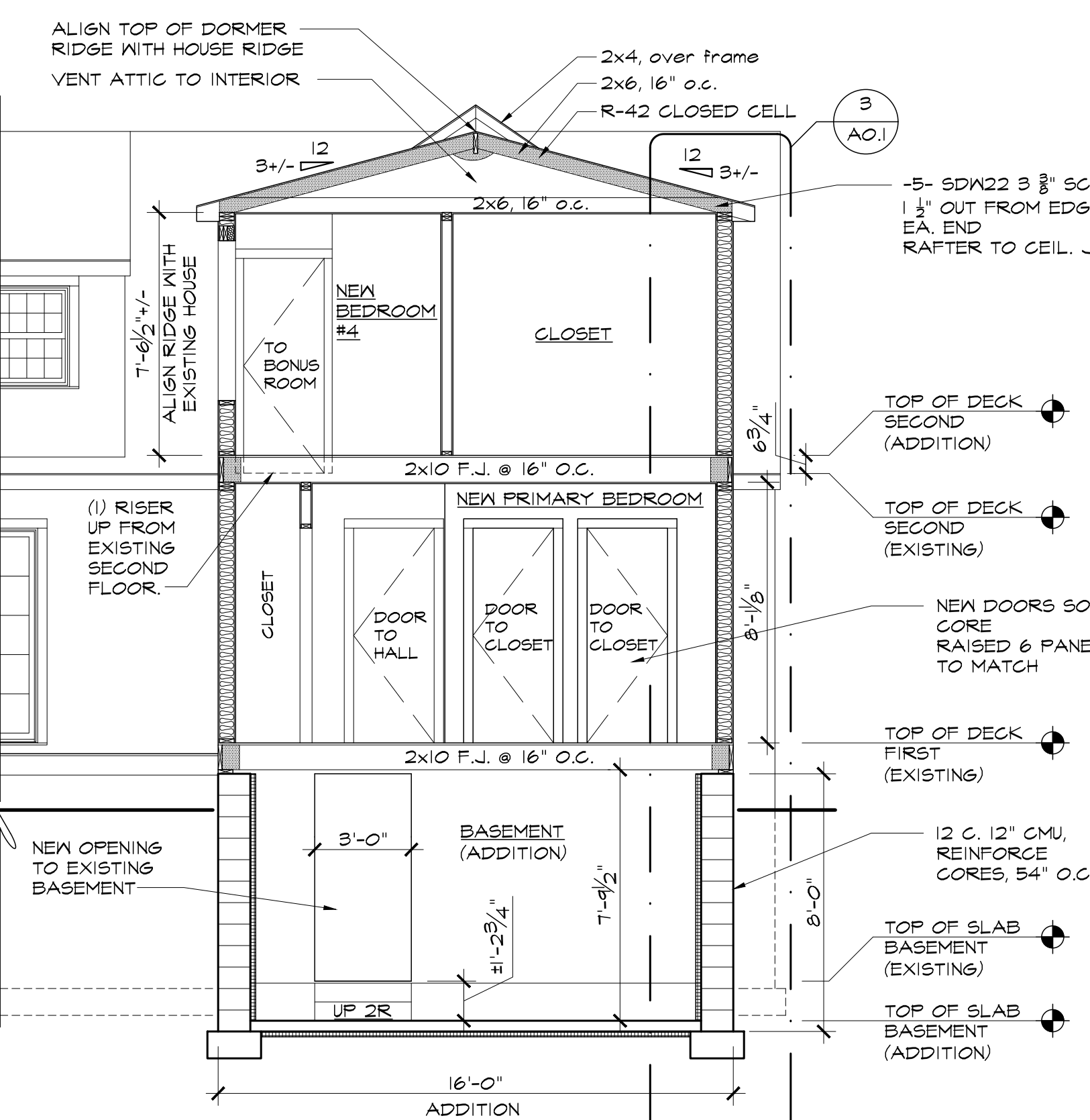
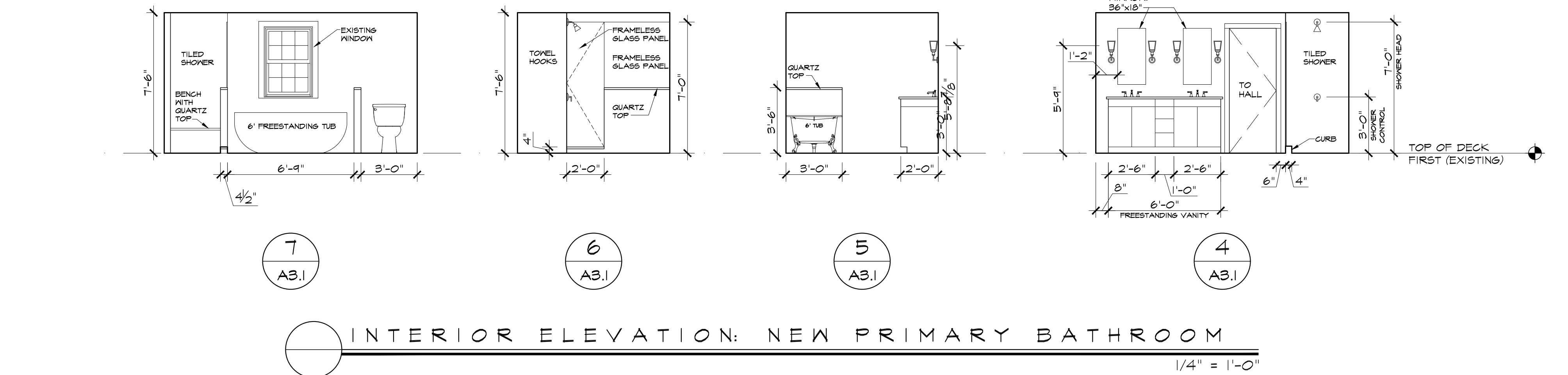
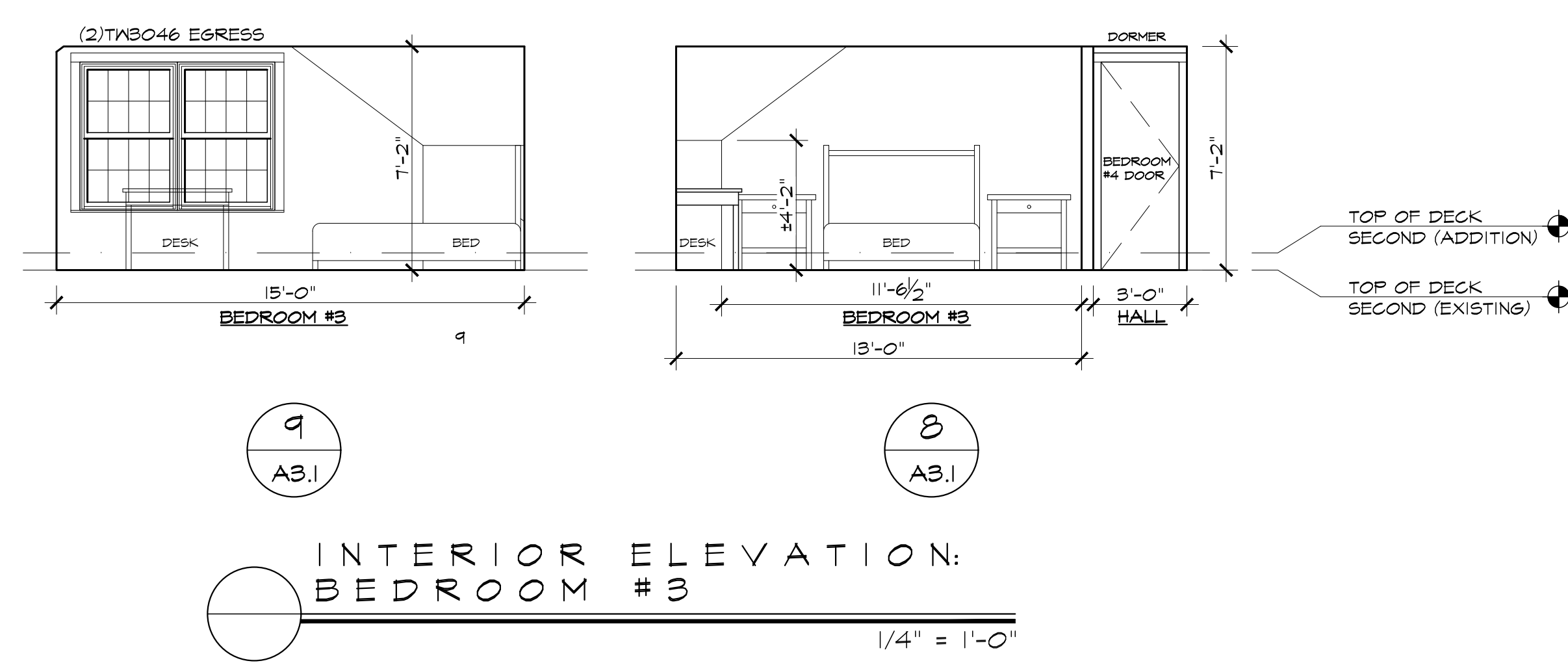
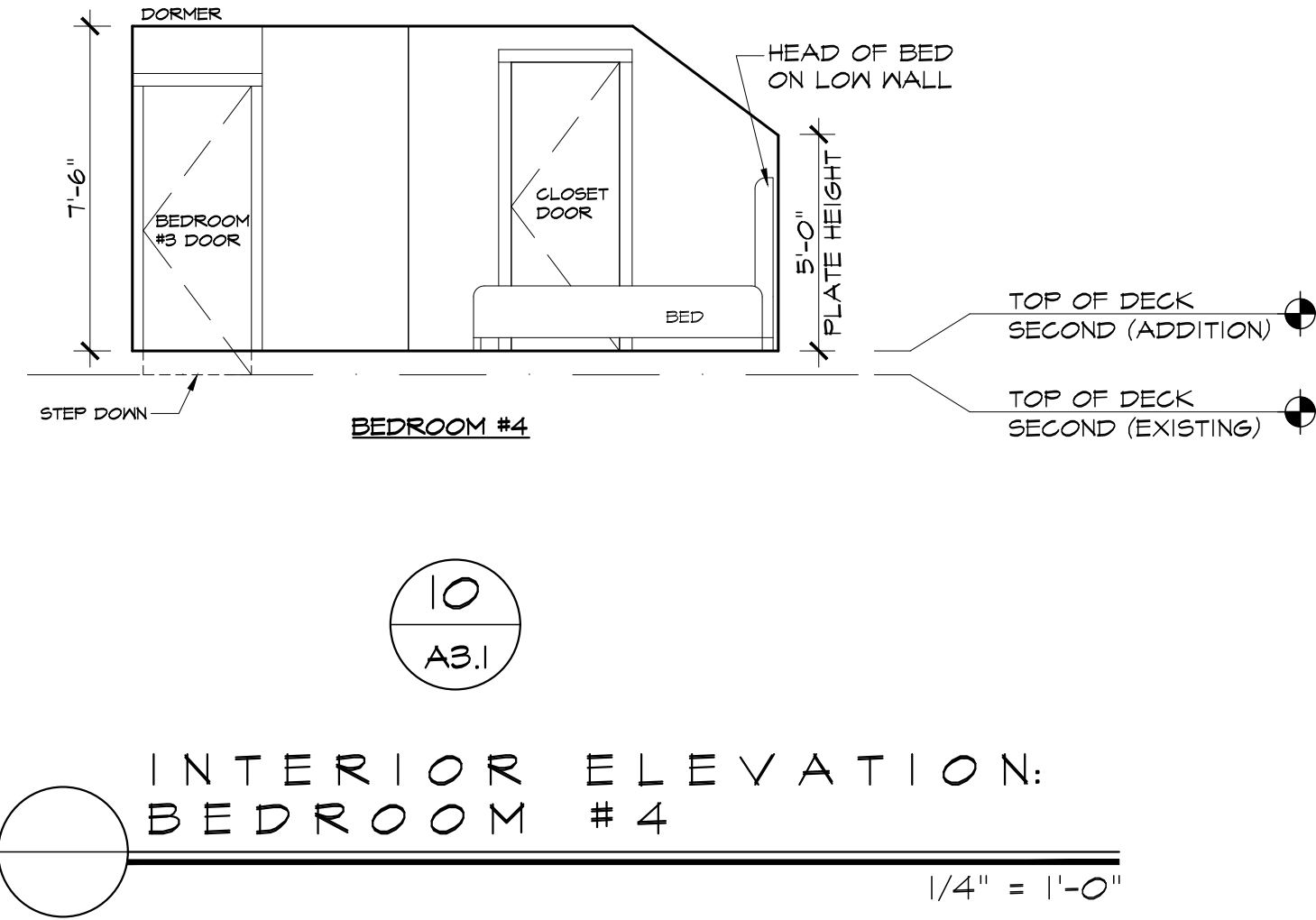
Anant and Katie
MATHUR RESIDENCE

33 Parker Drive
Town of Pittsford
Monroe County, NY

Title: Construction Documents ROOF PLAN	Project No. 2104
	Date: 02-12-25
A=23	Scale: AS NOTED
	Drawn by: JAS
Checked by: CBS	

CONSTRUCTION AND FRAMING NOTES:

- JOISTS, HEADERS, AND BEAMS SHALL BE EASTERN HF NO. 2 OR BETTER UNLESS NOTED OTHERWISE:
- HF: Fb=1100 PSI, Fv=75 PSI, E=1300000
- DOUG FIR: Fb=1400 PSI, Fv=95 PSI, E=1400000
- ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.
- "LVL" BEAMS SHALL HAVE BENDING STRESS FB=2600 PSI, E=2.0M PSI.
- ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.
- BEAMS TO FOUNDATION POCKETS SHALL HAVE 1/2" CLEARANCE FROM MASONRY (1/2" AIRSPACE THREE (3) SIDES W/ STEEL SHIMS AND SOLID CMU CORES AT BEARINGS).
- UNLESS OTHERWISE NOTED PROVIDE A 2X PLATE BOLTED TO TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 48" ON CENTER.
- SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS OR EQUAL.
- ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED UNLESS SEPARATED BY SILL SEALER MATERIAL.
- ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND, OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES SHALL BE APPROVED PRESURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE.
- DOUBLE FLOOR JOISTS AT FLOOR OPENINGS.
- PROVIDE DOUBLE STUDS (MIN) UNDER BEAMS W/ SOLID BLKS. TO FNDN. (W/ SOLID CMU CORES AT POINT LOAD), COL. OR BEAM FOR PROPER SUPPORT AND LOAD TRANSFER.
- FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE ADVANTECH SUBFLOOR.
- FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND, (3 COATS) USE 3/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- ALL WALLS TO RECEIVE TILE SHALL BE CEMENTITIOUS BACKER BOARD IN SHOWERS AND AROUND TUBS.
- USE (1) LAYER 1/2" FC TYPE "X" GYPSUM BOARD @ GARAGE WALLS AND CEILINGS. CEILING TO BE 3/8" FIRE CODE TYPE X IF HABITABLE SPACE ABOVE. ALL JOINTS TO BE TAPED, SEALED AND PAINT FINISH.
- WINDOW AND EXTERIOR DOOR HEADERS AS NOTED ON PLAN.
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED ACCEPTABLE COMMON BUILDING PRACTICE WHERE REQD AND AT ROOF CHANGES, HORIZ. ABUTMENTS (PORCHES & DECKS), PROJECTIONS, VALLEYS, OPENINGS, ETC.
- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS TO BE CERTIFIED BY THE MANUFACTURER, INCLUDING FINAL SIZING AND ENGINEERING, BRIDGINGS AND BLOCKING, THRU-PENETRATIONS, BEARING CONDITIONS AND CONNECTIONS.
- PROVIDE BRIDGING WHERE JOISTS EXCEEDING A NOMINAL 12 INCHES BY 12 INCHES SHALL BE SUPPORTED LATERALLY BY BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL), OR A CONTINUOUS 1 INCH BY 3 INCH STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FEET.
- PROVIDE RUST-INHIBITIVE PAINT TO STEEL COLUMNS EXCEPT FOR CORROSION RESISTANT OR TREATED STEEL.
- ALL AREAS OF HABITABLE SPACE WILL BE PROVIDED WITH OPENINGS FOR EMERGENCY EGRESS OF 5 SF AT FIRST FLOOR AND 5.7 SF AT SECOND FLOOR. ALL SILLS TO BE WITHIN 44" OF FINISH FLOOR FOR EGRESS OPENINGS.
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED WALL AND STAIR SPACES AT THE FLOOR AND CEILING (ALSO 1/2" GMB ON UNDERSIDE OF STAIRS IN ENCLOSED ACCESSIBLE SPACES), FURRED SPACES AT INTERVALS NOT EXCEEDING 10 FT, CONCEALED JOIST SPACES AT BEAMS AND BEARING WALLS.
- ALL GAS APPLIANCES TO BE DIRECTLY VENTED TO ROOF OR EXTERIOR TERMINATION ADDRESSING ALL REQUIREMENTS PER MANUFACTURERS SPECIFICATIONS.
- FOR INSULATION VALUES, REFER TO RESCHECK.



REVISIONS	
No.	Description

DESIGN WORKS ARCHITECTURE

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Anant and Katie
MATHUR RESIDENCE

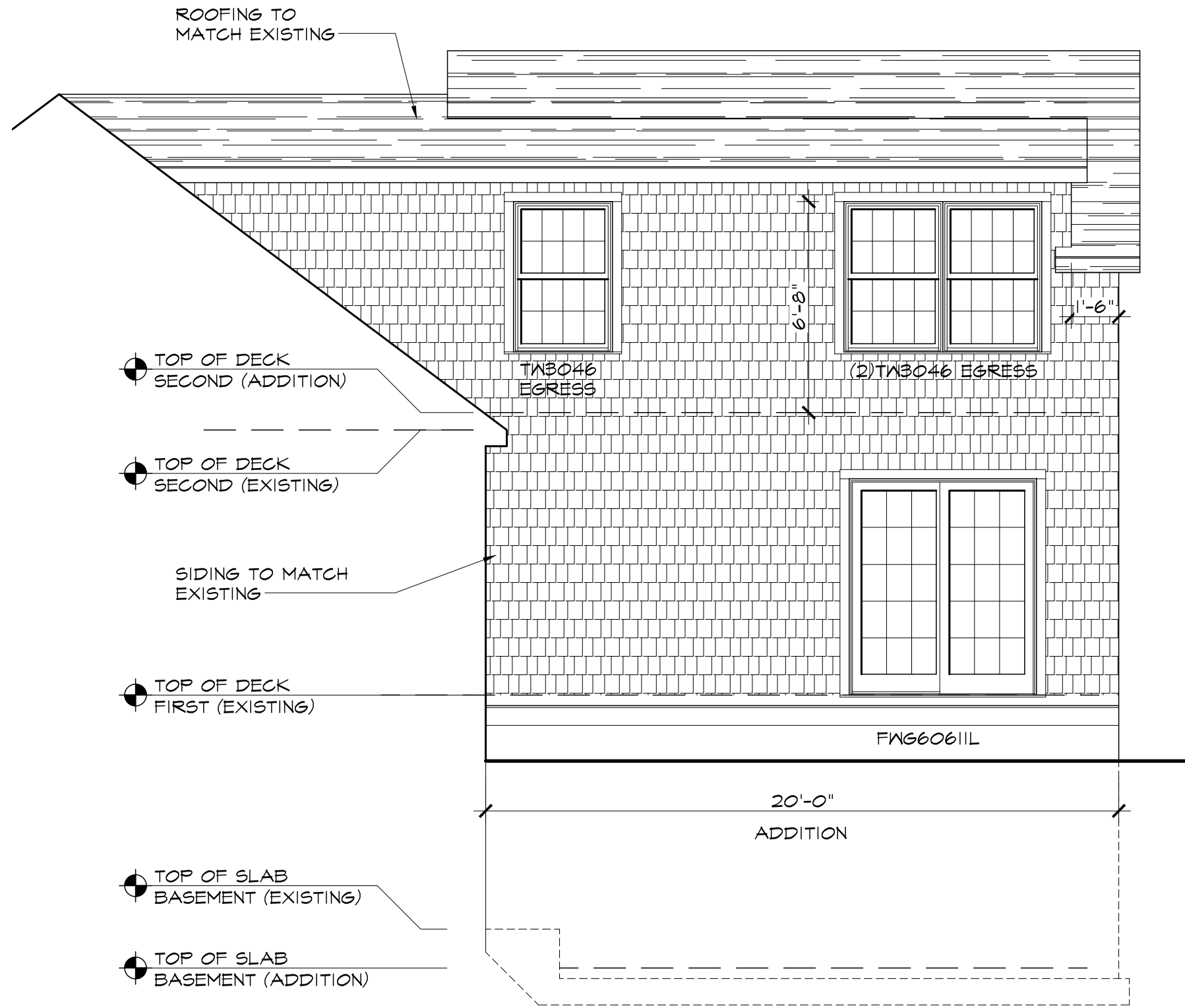
33 Parker Drive
Town of Pittsford
Monroe County, NY

Project No.	2104
Date:	02-12-25
Scale:	AS NOTED
Drawn by:	JAS
Checked by:	CBS

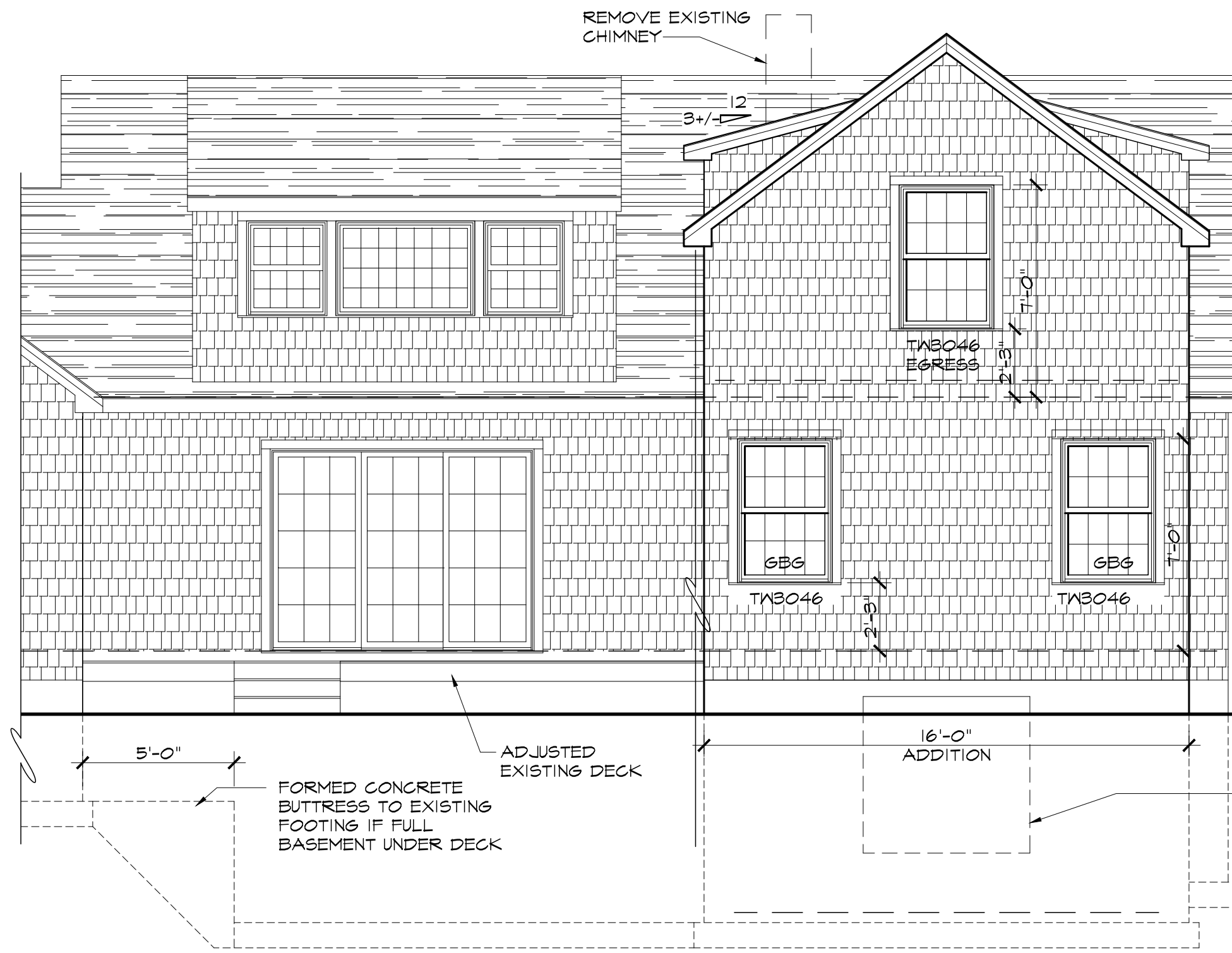
Construction Documents
BUILDING SECTIONS &
INTERIOR ELEVATIONS

A=31

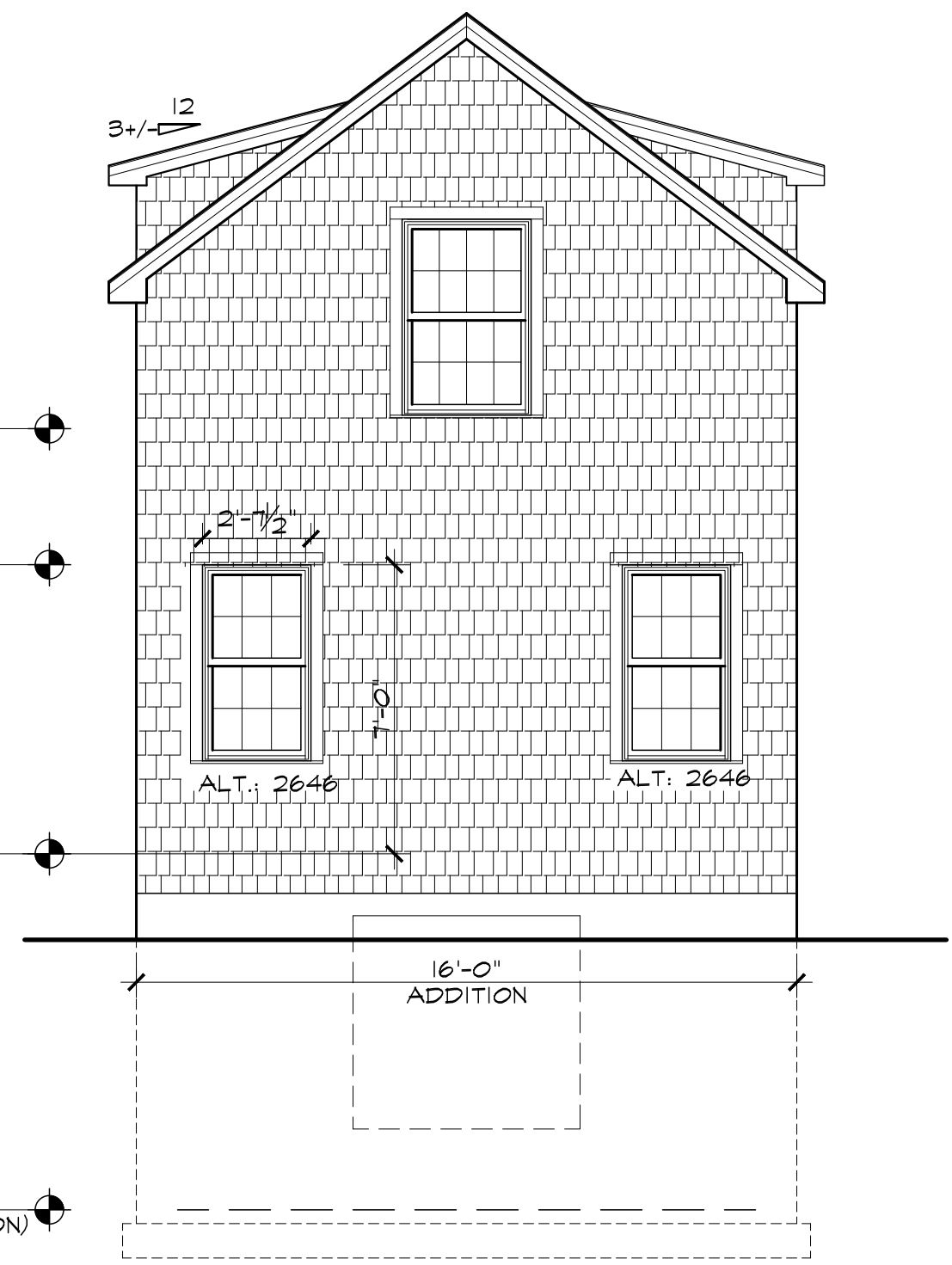
ISSUED FOR PERMIT



4 WEST ELEVATION
A-4 | 1/4" = 1'-0"



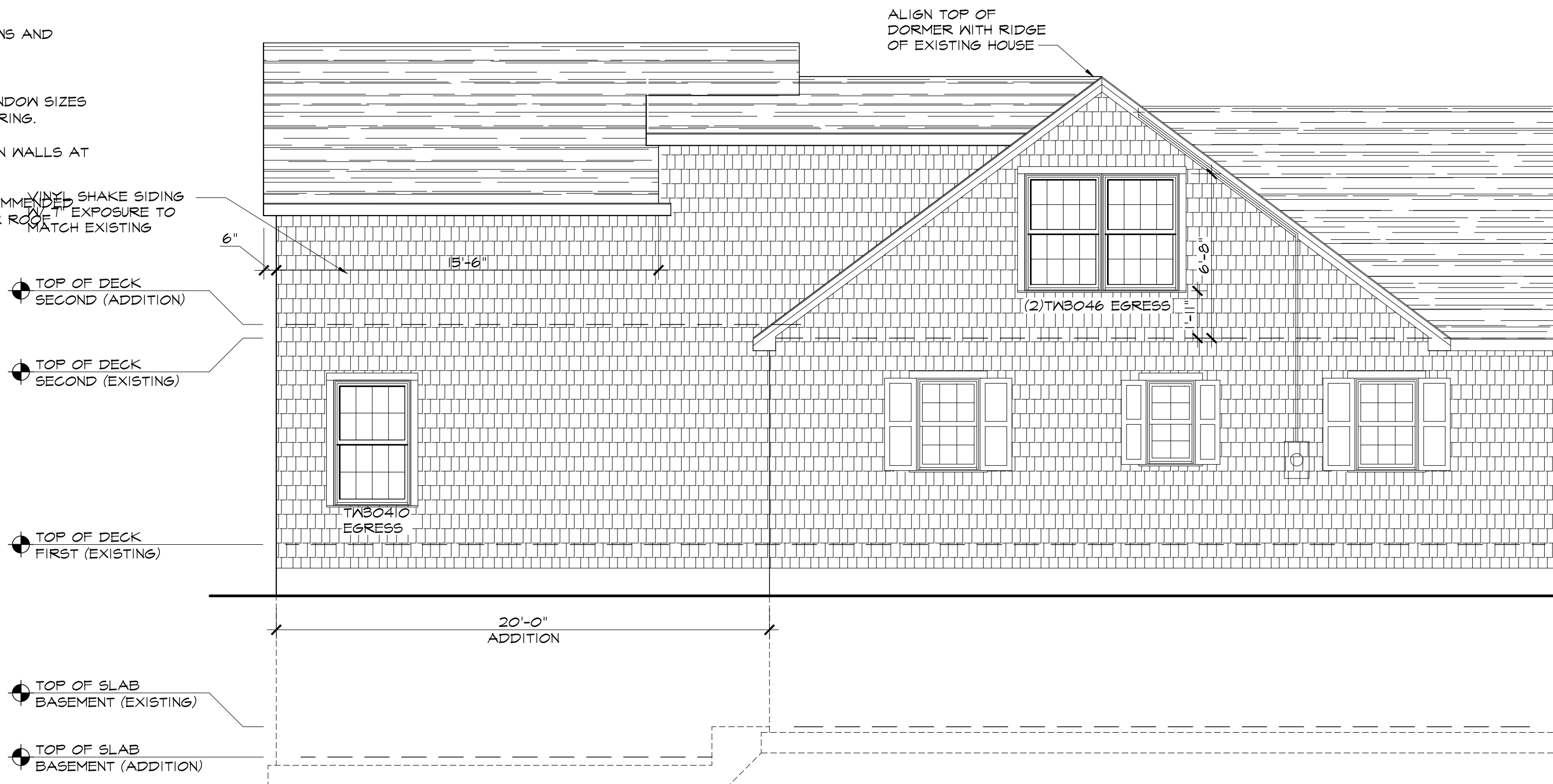
3 SOUTH ELEVATION
A-4 | 1/4" = 1'-0"



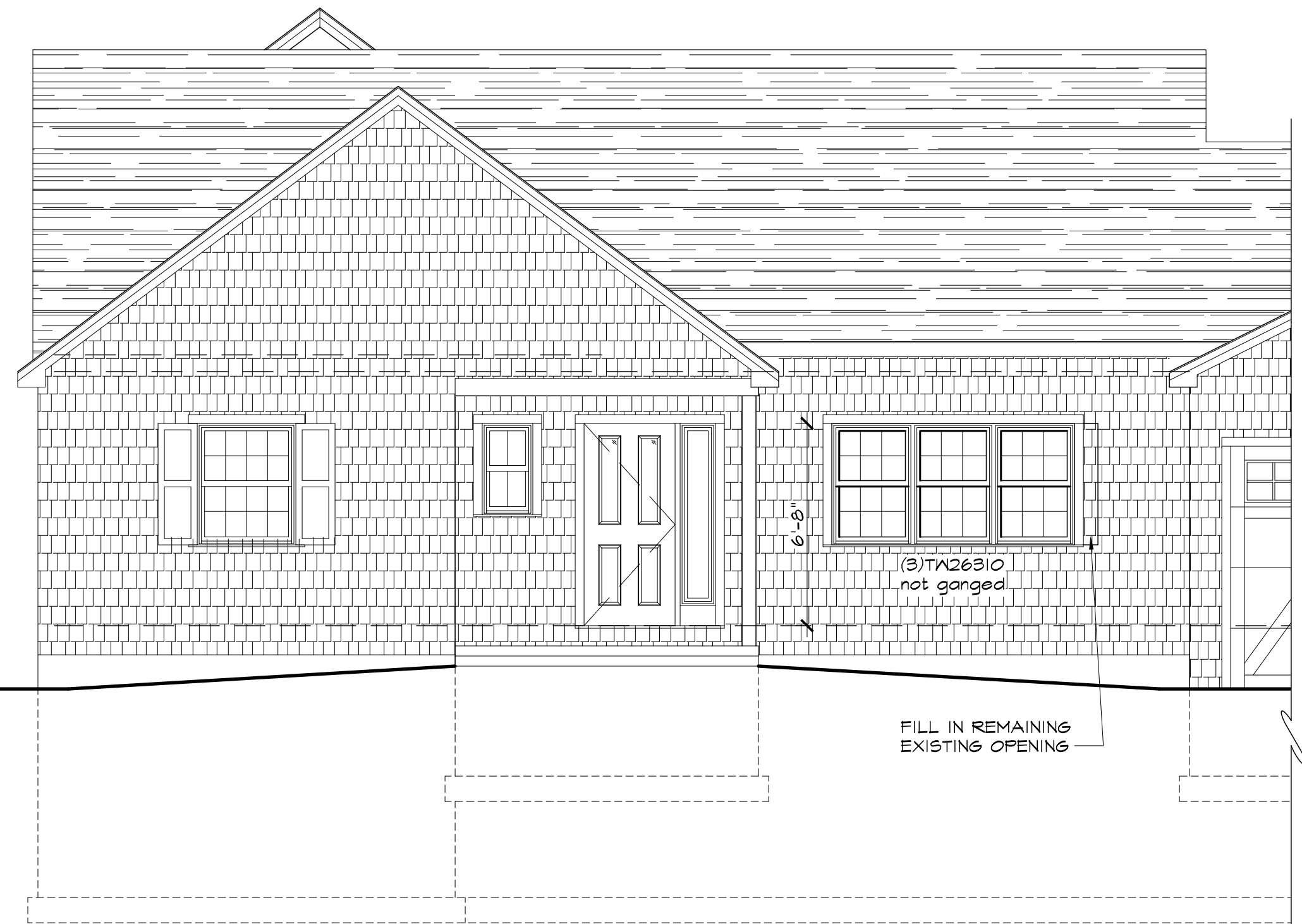
ALT. SOUTH ELEV
A-4 | 1/4" = 1'-0"

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW. I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
3. WINDOW NUMBERS ON PLANS AND ELEVATIONS REFER TO MARVIN WINDOWS.
4. WINDOW TAGS ON PLANS AND ELEVATIONS THAT HAVE AN 'E' OR 'T' BESIDE ITS DESIGNATION ARE TO DENOTE 'EGRESS' OR 'TEMPERED' AS BEING REQUIRED.
5. ALL FINISH COLORS FOR WINDOWS AND FRAMES TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.
6. CONTRACTOR TO VERIFY ALL WINDOW SIZES AND QUANTITIES PRIOR TO ORDERING.
7. INSTALL MEMBRANE UP MIN. 12" ON WALLS AT INTERSECTING ROOFS.
8. MAINTAIN MANUFACTURER'S RECOMMENDED SHAKE SIDING OFFSET OF SIDING TO GRADE OR ROOF EXPOSURE TO MATCH EXISTING SURFACE.



2 EAST ELEVATION
A-4 | 1/4" = 1'-0"



1 NORTH ELEVATION
A-4 | 1/4" = 1'-0"

ISSUED FOR PERMIT

REVISIONS		Description	
No.	Date		

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ARCHITECTURE
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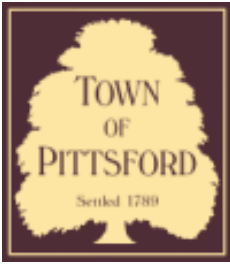
Anant and Katie
MATHUR RESIDENCE
33 Parker Drive
Town of Pittsford
Monroe County, NY

Project No.	2104
Date:	02-12-25
Scale:	A5 NOTED
Drawn by:	JAS
Checked by:	CBS

Title: Construction Documents
BUILDING ELEVATIONS

A = 4





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000047

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4000 East Avenue ROCHESTER, NY 14618

Tax ID Number: 151.06-2-45

Zoning District: RN Residential Neighborhood

Owner: Genroc LLC

Applicant: Antonelli Construction LLC

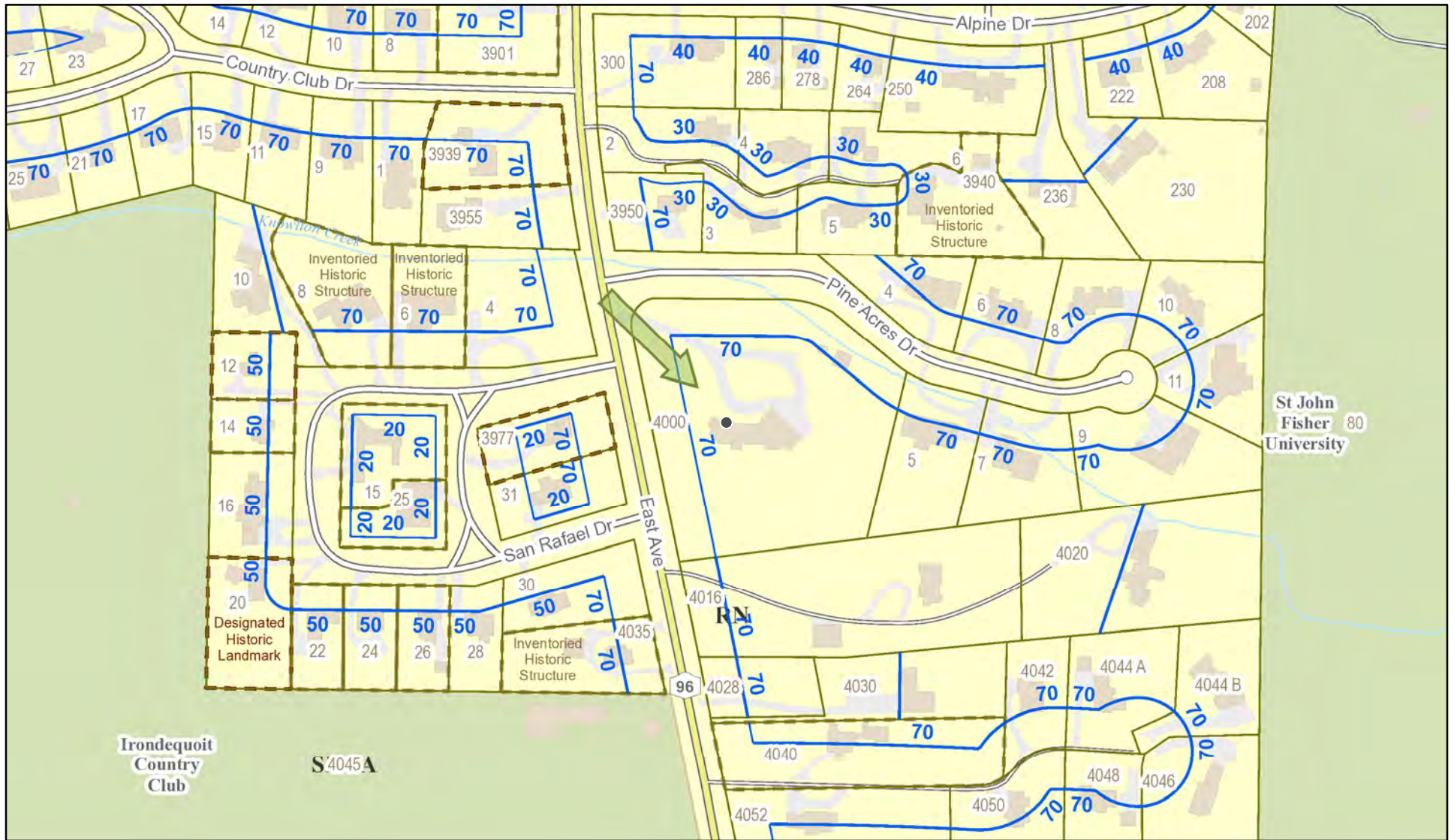
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

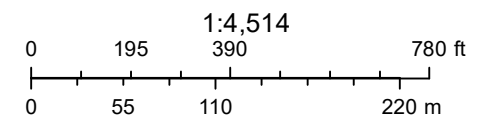
Project Description: Applicant is requesting design review for the construction of a new 1 bedroom, 2 story guest house. Approximately 1501 square feet that includes a courtyard and garden shed.

Meeting Date: April 24, 2025

RN Residential Neighborhood Zoning

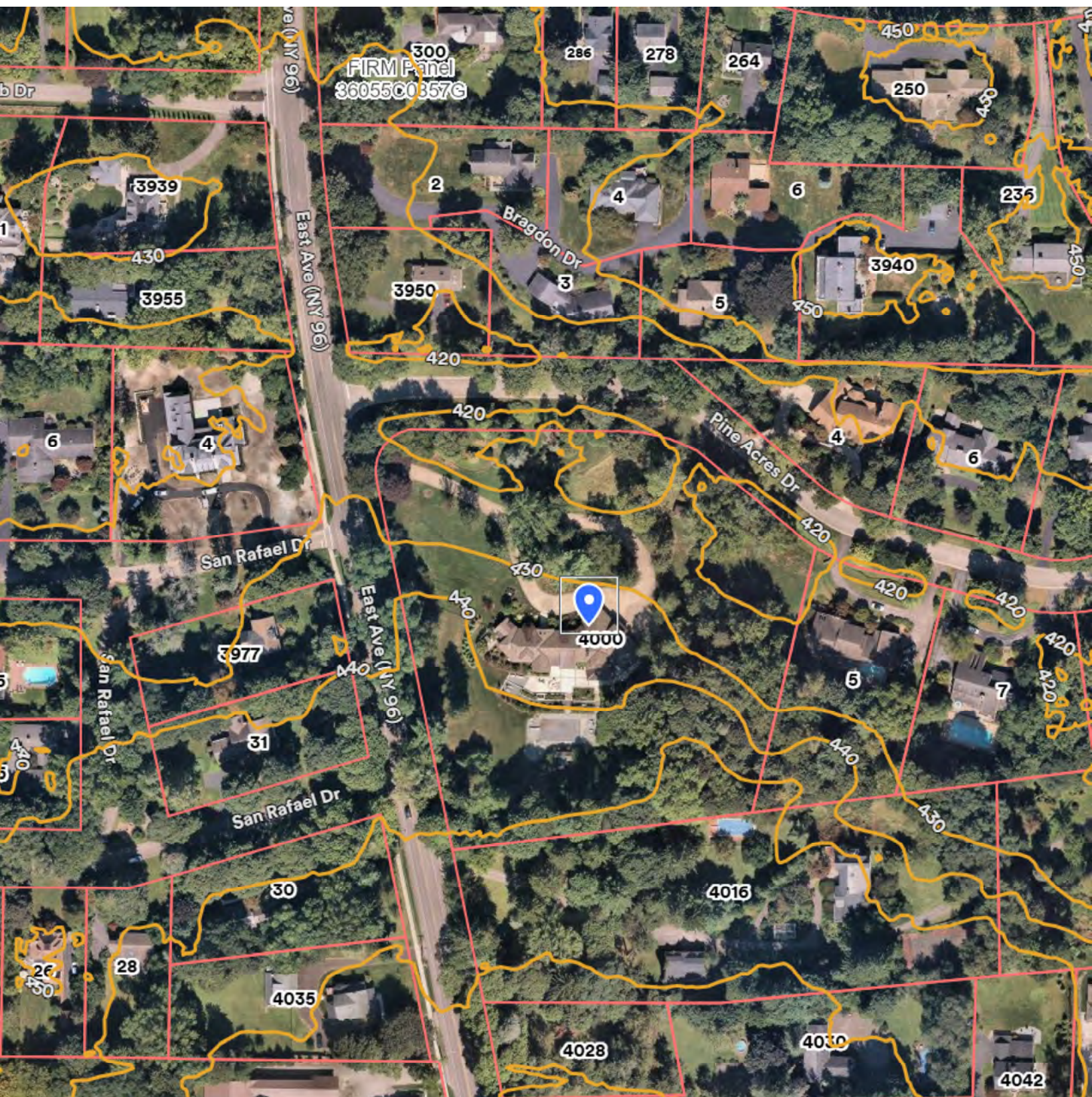


Printed April 10, 2025



Town of Pittsford GIS

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Town of Pittsford, NY

LIST OF DRAWINGS:

- ALL LOADS IN POUNDS PER SQUARE FOOT

NOTE: ASSUMED SAFE SOIL BEARING CAPACITY IS 2,000 P.S.F.
FROST DEPTH, VALUES MAY BE INCREASED IF SITE SPECIFIC
CLASSIFICATION OR LOAD BEARING TEST DATA IS AVAILABLE

BY COMPONENT:

38 If continuous batts not

-TABLE R301.2(1) 2015 RESIDENTIAL CODE

PAGE FROM

GENERAL NOTES & CODE

2. THIS SET OF PLANS IS
BUILT TO COMPLY WITH

1. THIS SET OF PLANS HAS BEEN DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE RESIDENTIAL CODE OF ANY

9. ALL NEW WORK SHALL BE PERFORMED EVEN AND SQUARE

STARG: PER RC R311.7

1. STAR TO HAVE HE
DRAWINGS APPRO

- CONSTRUCTION SHALL CONSIST OF STRINGERS, 5/8" TREADS AND 3/4" THICK RISERS OR MATERIALS FAB

1. HANDRAILS ARE REQUIRED

- ## 2. HANDRAILS AND ELEVATORS

3. THE HANDGRIP POWER IS LESS THAN $1\frac{1}{8}$ NC

- LEAST $1\frac{1}{2}$ " BETWEEN
OF THE HANDRAIL

1. PORCHES, BALCONES,
THAN 30' ABV. FLR. OR

1. PORCHES, BALCONES, AND RAISED FLOORS GREATER THAN 30' ABV. FLR. OR GRADE SHALL HAVE A HALF WAI

1. GLA

1. GLAZING TO BE TEMPERED WHEN CONSIDERED A

1. ELECTRIC AND PLUMBING LAYOUT
LOCAL & NATIONAL CODES AND S

1. ELECTRIC AND PLUMBING LAYOUT SHALL MEET OR EXCEED LOCAL & NATIONAL CODES AND SHALL BE INSPECTED

1. FOR NEW CONSTRUCTION SMOKE
DEVICES SHALL BE DIRECT WIRED
SECTION 2314 OF THE REGISTRY

- IN EACH SLEEPING ROOM

1. THE PROPOSED BUILDING HAS BEEN DESIGNED TO

1. THE PROPOSED BUILDING HAS BEEN DESIGNED TO

FLOOD AREAS

- FLOOD AREAS:

- _____



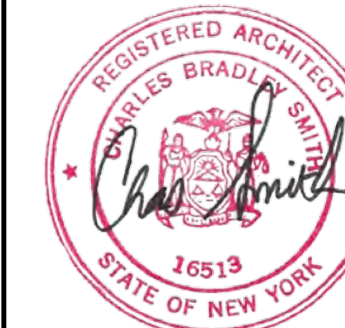
PERMIT SET

Title: Construction Documents
COVER SHEET

0.04

Rogers Surace Guest House

4000 East Avenue
Town of Pittsford
MONROE County, New York



DESIGN WORKS
ARCHITECTURE

◆ ◆ ◆
104 Main Street, Suite 104 :: Fairport, New York 14450
Phone: 585-377-9001 :: www.newdesignworks.com

[illegible]

FOUNDATION NOTES:

- ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
- THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
- FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
- TOP OF WALL TO EXTEND A MIN. OF 8" ABOVE FINISHED GRADE.
- BASEMENT SLAB IS A MINIMUM OF 4" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED. BASEMENT SLAB SHALL BE 3,500 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 1/2 WELDED WIRE MESH REINFORCING.
- PORCHES, GARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 1/2 WELDED WIRE MESH REINFORCING.
- CRAWL SPACE SLAB IS A MINIMUM OF 2" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
- UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (1) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST 1 VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
- REQUIRED ACCESS TO CRAWL SPACES IS 16"x24" WHEN IN THE FLOOR AND 16"x24" WHEN ACCESS IS THROUGH THE PERIMETER WALL.
- PROVIDE PERIMETER FOUNDATION DRAINPIPE PITCHED AT 1/8" IN 12" TO DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR EXTERIOR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED WITH HOLES ORIENTED DOWNWARD. SUPERIOR WALL FOUNDATION SYSTEMS SHALL PLACE 4" DIA. PVC SLEEVES AT FOOTING CORNERS TO DRAIN THE INTERIOR CRUSHED STONE.
- CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
- PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB, FOR FUTURE CONNECTION IF NECESSARY.
- ALL COMPACTED SOIL TO BE COMPACTED IN 6" LIFTS.
- 2X PRESSURE TREATED SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION, AND BE SECURED WITH ANCHOR BOLTS (MIN. 1/2" DIA) SPACED AT 6'-0" O.C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 7" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
- CMU FOUNDATION WALL SYSTEM - SEE CMU NOTES & TYPICAL DETAILS.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- SEALABLE COVER SUMP IS NEEDED IF SOIL OTHER THAN GROUP 1 (TABLE 405.1), SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
- EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE, SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
- BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED, CONTACT DESIGN WORKS ARCHITECTURE.
- BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
- MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" VERTICALLY. INSTALL CONTINUOUS APPROVED FLASHING AND COTTON CORD WEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE OF MASONRY VENEER ABOVE GRADE.

CAST-IN-PLACE CONCRETE AND REINFORCING:

- BEFORE PLACING CONCRETE REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BLOCKOUTS AND EMBEDDED ITEMS.
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4"x 45 DEGREES UNLESS OTHERWISE NOTED.
- ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE AND NOT FROM GROUT.
- ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
- WELDING OF REINFORCING STEEL IS NOT PERMITTED.
- THE USE OF DEFORMED REINFORCING STEEL OR ANCHORS ON EMBEDDED ITEMS IS NOT PERMITTED.
- SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6x6 W2.9xW2.9 WELDED WIRE MESH.
- THE FOLLOWING MINIMUM PROTECTION OF REINFORCING SHALL BE MAINTAINED.
 - FOOTINGS 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER 2"
 - WALLS 1 1/2"
 - SLABS 3/4"

C.M.U. NOTES:

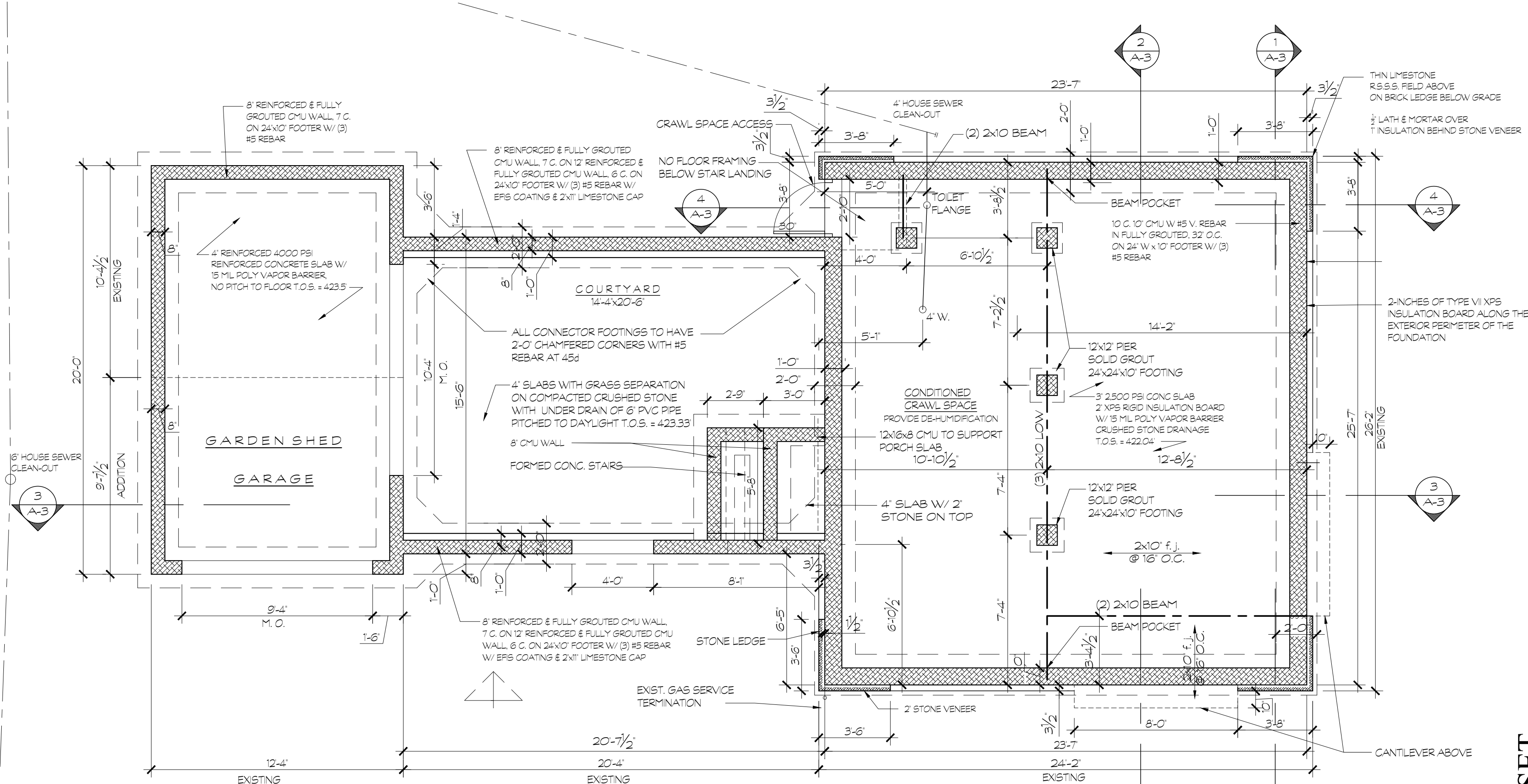
- CONCRETE MASONRY UNITS - HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"x16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
- MORTAR - MORTAR SHALL BE TYPE N.
- TRUSSED HORIZONTAL REINFORCING SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
- BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF 3/8" UNIFORM THICKNESS.
- WHERE VERTICAL REINFORCING IS CALLED FOR ON PLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
- ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM GROUT.

TILE SPECIFICATION:

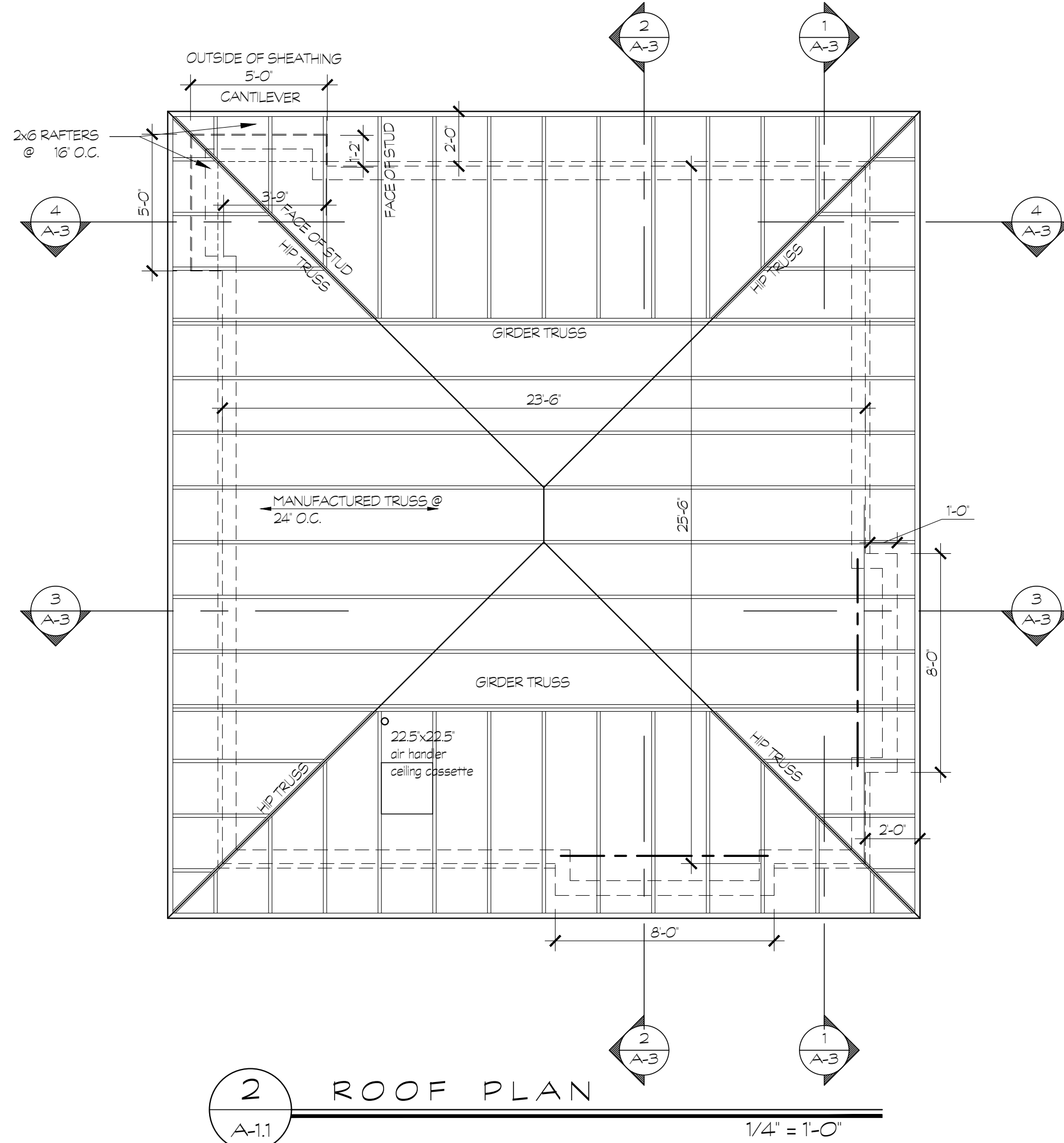
- USE UNMODIFIED MORTAR FOR SETTING TILE OVER AN IMPERMEABLE WATERPROOF MEMBRANE OR ANTI-FRACTURE MEMBRANE. DO NOT USE A POLYMER MODIFIED THIN SET.

THIN STONE/STUCCO INSTALL:

- DO NOT USE A POLYMER MODIFIED THIN SET MORTAR.
- ADD 3/8" GAP BEHIND STUCCO/THIN STONE LAYER AND IN FRONT OF WRB - WATER RESISTIVE BARRIER. PROVIDE A RAINSCREEN SYSTEM, MTI SURE CAVITY OR APPROVED EQUAL AS A DRAINAGE MEDIUM IN THE GAP BETWEEN THE WRB LAYER AND THE EXTERIOR SURFACE.
- PROVIDE A VENTILATED WEEP SCREED (MTI LER WEEP SCREED OR APPROVED EQUAL) AT THE BASE OF ALL WALLS FOR VENTILATION. WRB MUST BE LAPPED OVER THE WEEP SCREED.
- PROVIDE A MOISTURE DIVERTER AT THE HEAD OF ALL WINDOWS AND DOORS EXTENDING 4" BEYOND EITHER SIDE OF THE OPENING TO DIVERT MOISTURE TO THE DRAINAGE SYSTEM. (MTI MOISTURE DIVERTER OR APPROVED EQUAL).
- PROVIDE A WINDOW DRAINAGE PLANE AT THE SILL OF ALL WINDOWS TO PREVENT ENTRAPPED MOISTURE. (MTI DRAINAGE PLANE OR APPROVED EQUAL).



1 FOUNDATION PLAN
A-1.1
1/4" = 1'-0"



2 ROOF PLAN
A-1.1
1/4" = 1'-0"

REVISIONS		Description	
No.	Date	By	Check
1	06/15/25	AS	NOTED
2	06/15/25	AS	NOTED
3	06/15/25	AS	NOTED
4	06/15/25	AS	NOTED
5	06/15/25	AS	NOTED
6	06/15/25	AS	NOTED
7	06/15/25	AS	NOTED
8	06/15/25	AS	NOTED
9	06/15/25	AS	NOTED
10	06/15/25	AS	NOTED

DESIGN WORKS ARCHITECTURE

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Rogers Surace Guest House

4000 East Avenue
Town of Pinetford
Morrise County

Project No.	2430
Date:	04/15/25
Scale:	AS NOTED
Drawn by:	ST
Checked by:	CBS

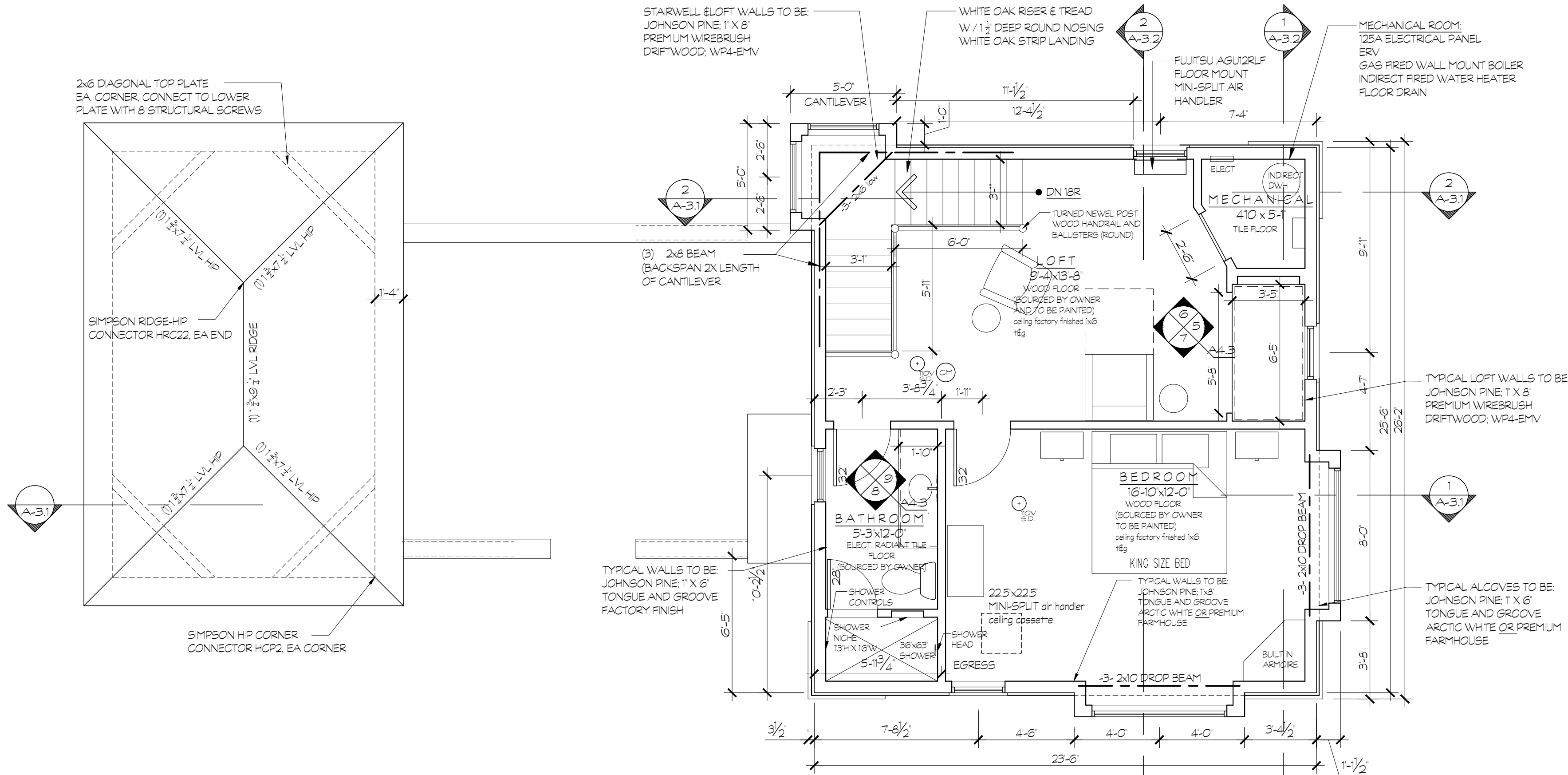
Title: Construction Documents
FOUNDATION PLAN
ROOF PLAN

A-1.1

PERMIT SET

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE)
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
- DOUBLE TRIMMERS AT ALL 4'-0" OPENINGS AND LARGER
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
- INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
- REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.



1 SECOND FLOOR PLAN
A-21 622 SQ. FT.
GARDEN SHED
ROOF FRAMING
1/4" = 1'-0"

ROOF & ATTIC NOTES:

- APPROVED BITUTHANE WATER SHIELD PRODUCT (e.g. GRACE ICE AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS.

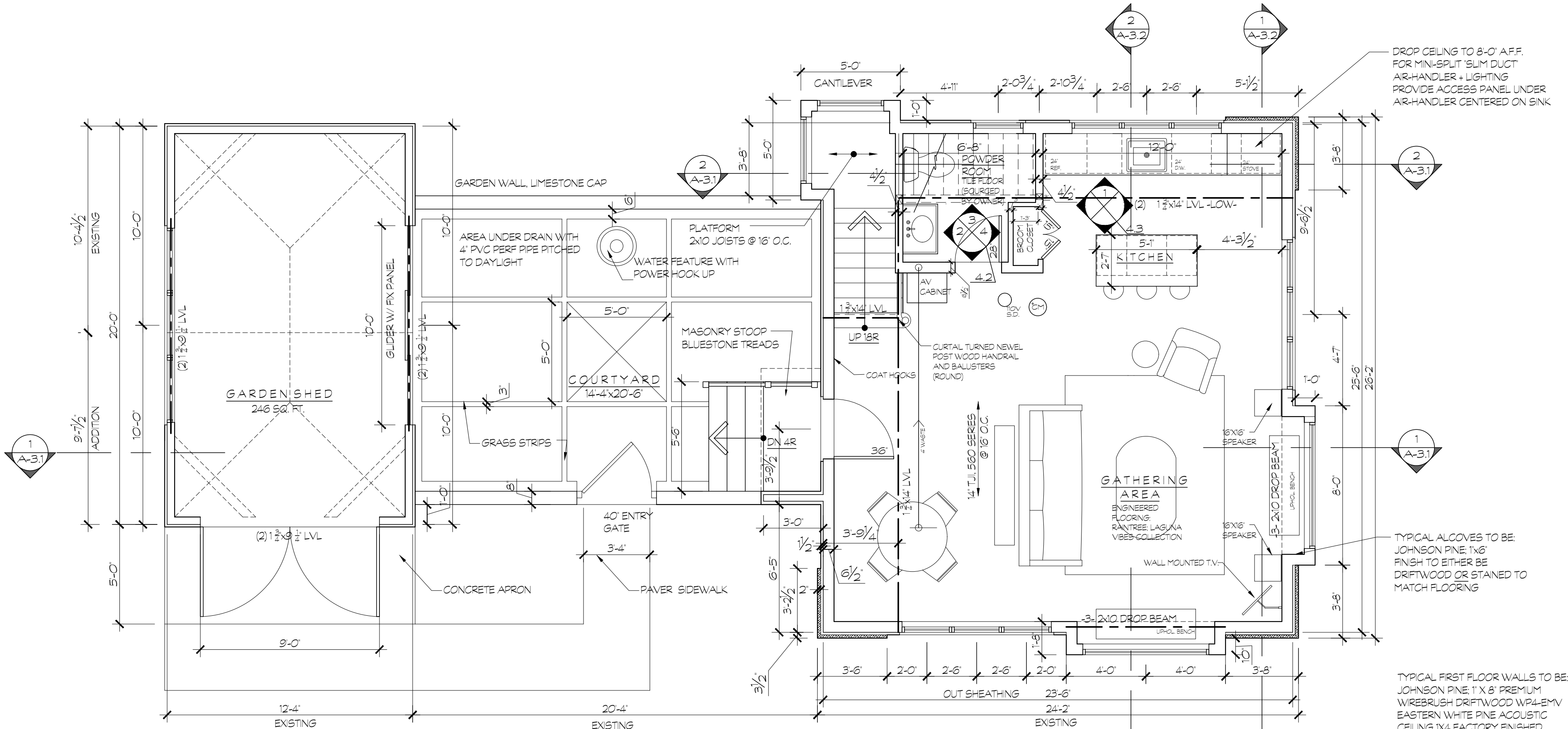
ROOF PITCH	3:12 OR LESS	3:12 - 6:12	6:12 OR GREATER
WATER SHIELD	ENTIRE ROOF	5'-0"	3'-0"

* DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE

- USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.
- 30# FELT RECOMMENDED UNDER METAL ROOF (IF APPLICABLE).
- ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF 1/60 OF THE AREA OF VENTED SPACE. WITH THE EXCEPTION OF 1/60 BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A GLASS 1 OR 1 1/2 VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE (R806.2).
- ROOF CAVITIES THAT EXCEED 30 SF. REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION (R807).
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.
- FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER.
- BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL RAFTER BAYS.
- FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.

TRUSSES (IF APPLICABLE TO PROJECT)

- TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY.
- TRUSSES TO BE ENGINEERED AND SUPPLIED BY CERTIFIED TRUSS MANUFACTURER.
- FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION.
- PROVIDE HURRICANE TIE FOR EACH TRUSS. USE SIMPSON H2.5 UNLESS NOTED OTHERWISE.



1 FIRST FLOOR PLAN
A-21 632 SQ. FT.
1/4" = 1'-0"

REVISIONS		Description	
No.	Date		

DESIGN WORKS
ARCHITECTURE

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Rogers Surace Guest House

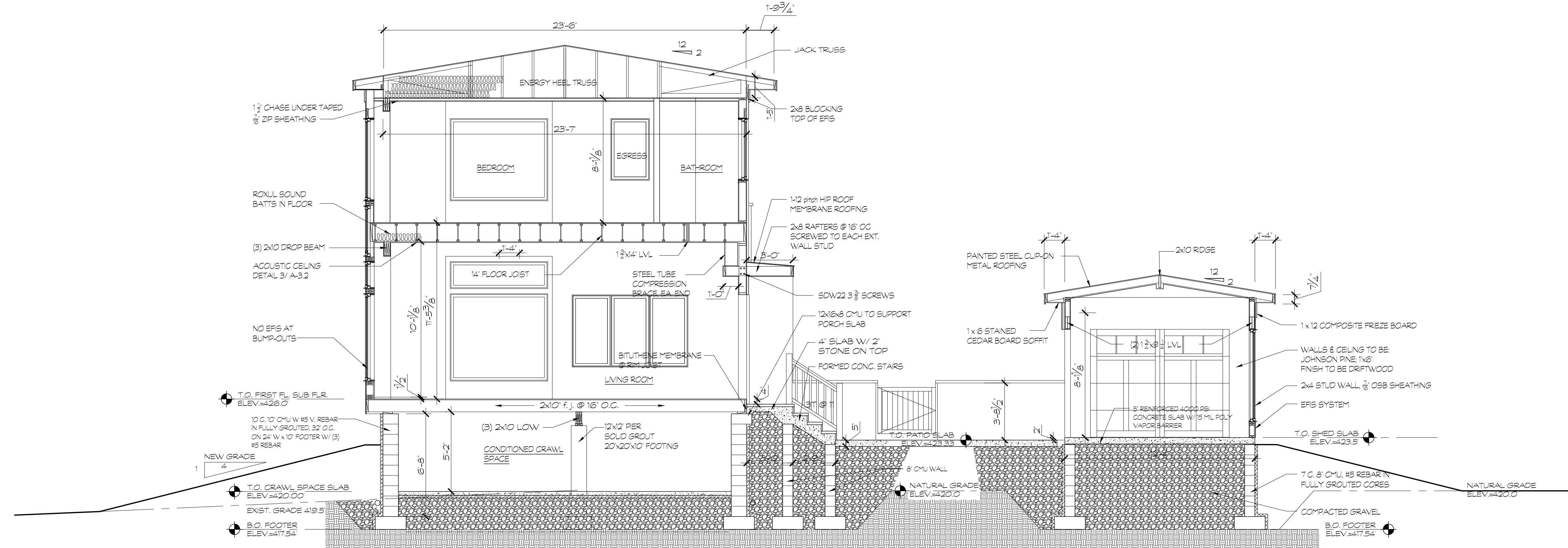
4000 East Avenue
Town of Pittsford
Monroe County

Project No.	2430
Date:	04-15-25
Scale:	AS NOTED
Drawn by:	ST
Checked by:	CBS

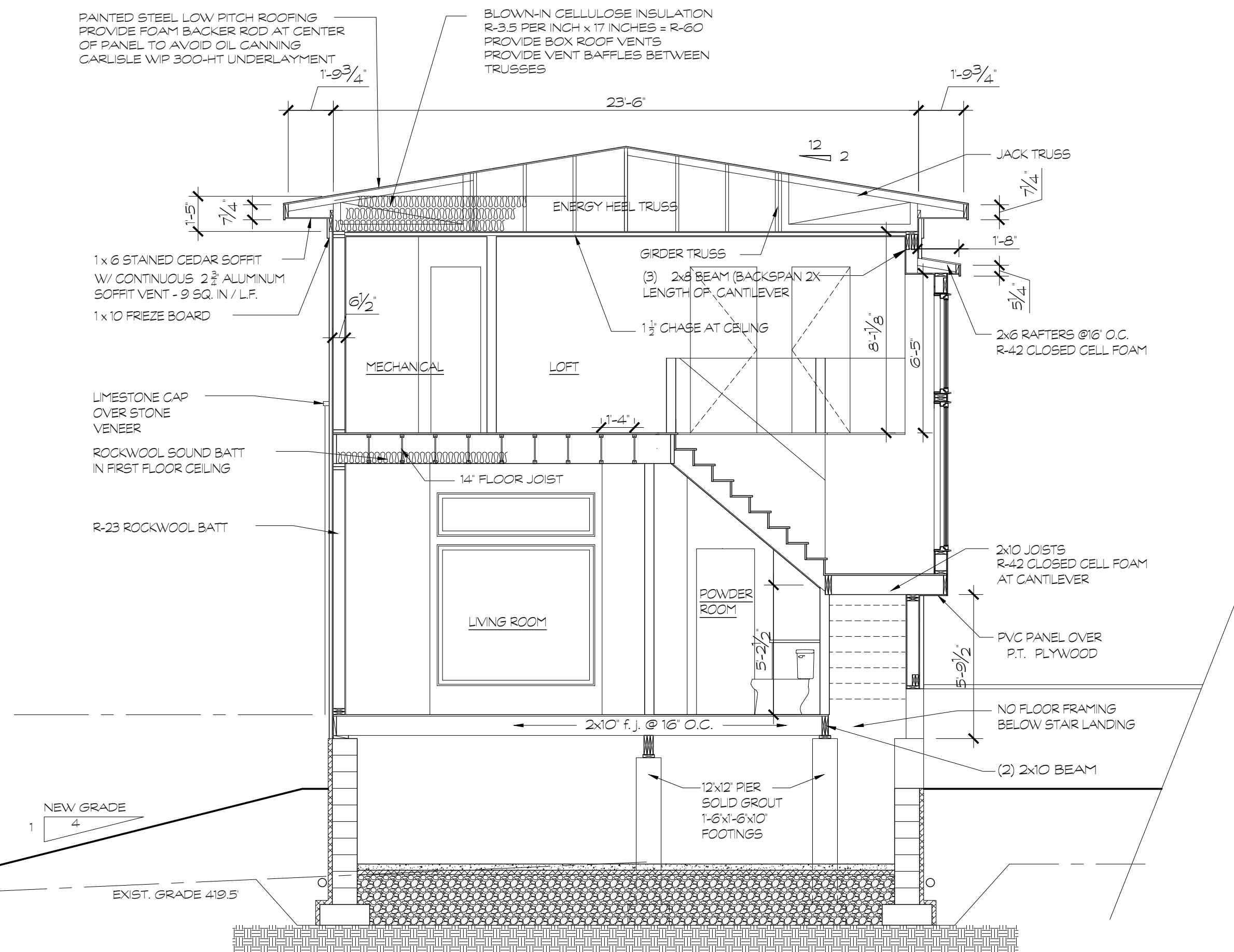
Title: Construction Documents
FLOOR PLAN

A-2.1

PERMIT SET



1 BUILDING SECTION
A-3.1 1/4" = 1'-0"



2 BUILDING SECTION
A-3.1 1/4" = 1'-0"

REVISIONS		Description	
No.	Date		

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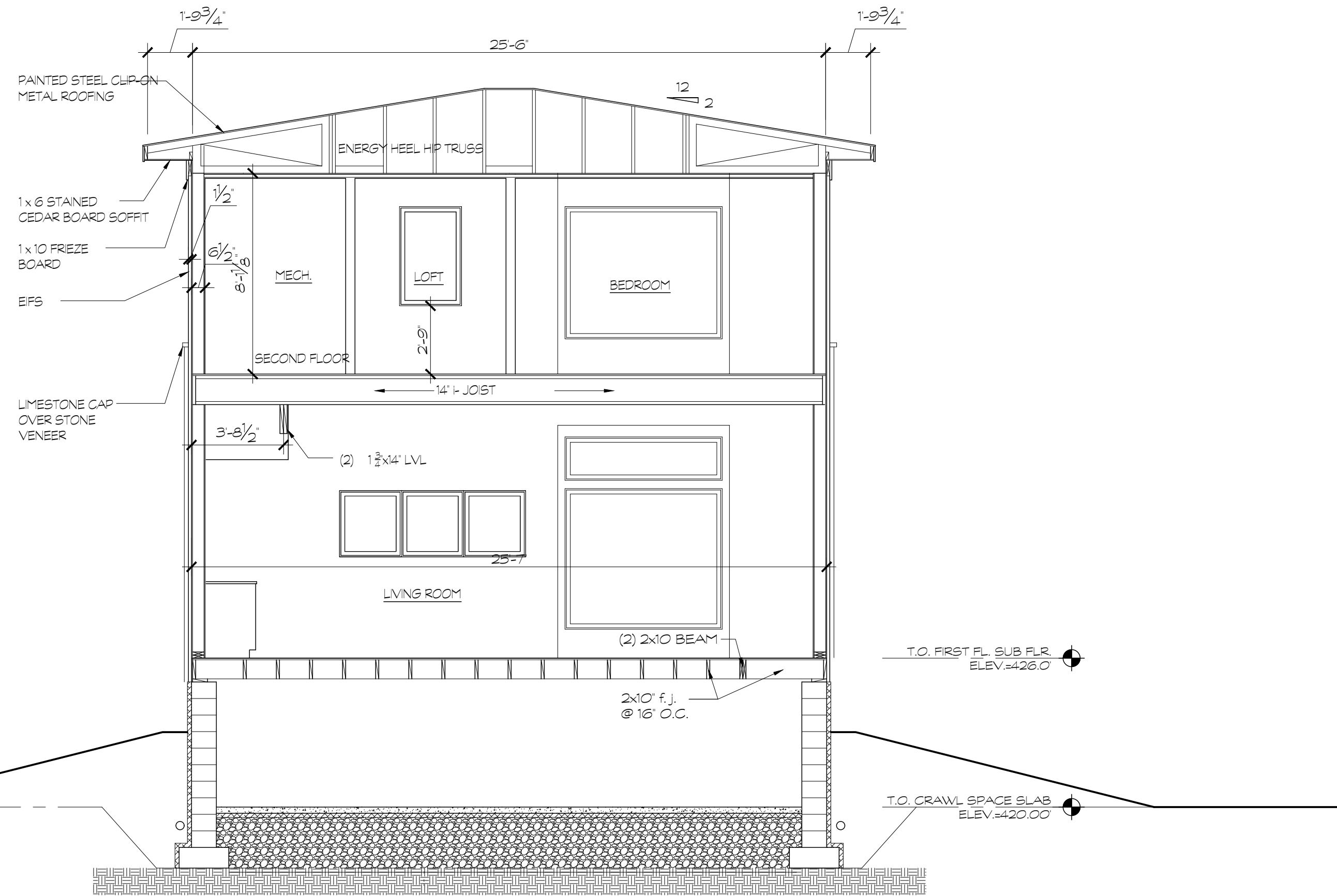
Rogers Surace Guest House

4000 East Avenue
Town of Pittsford
Monroe County

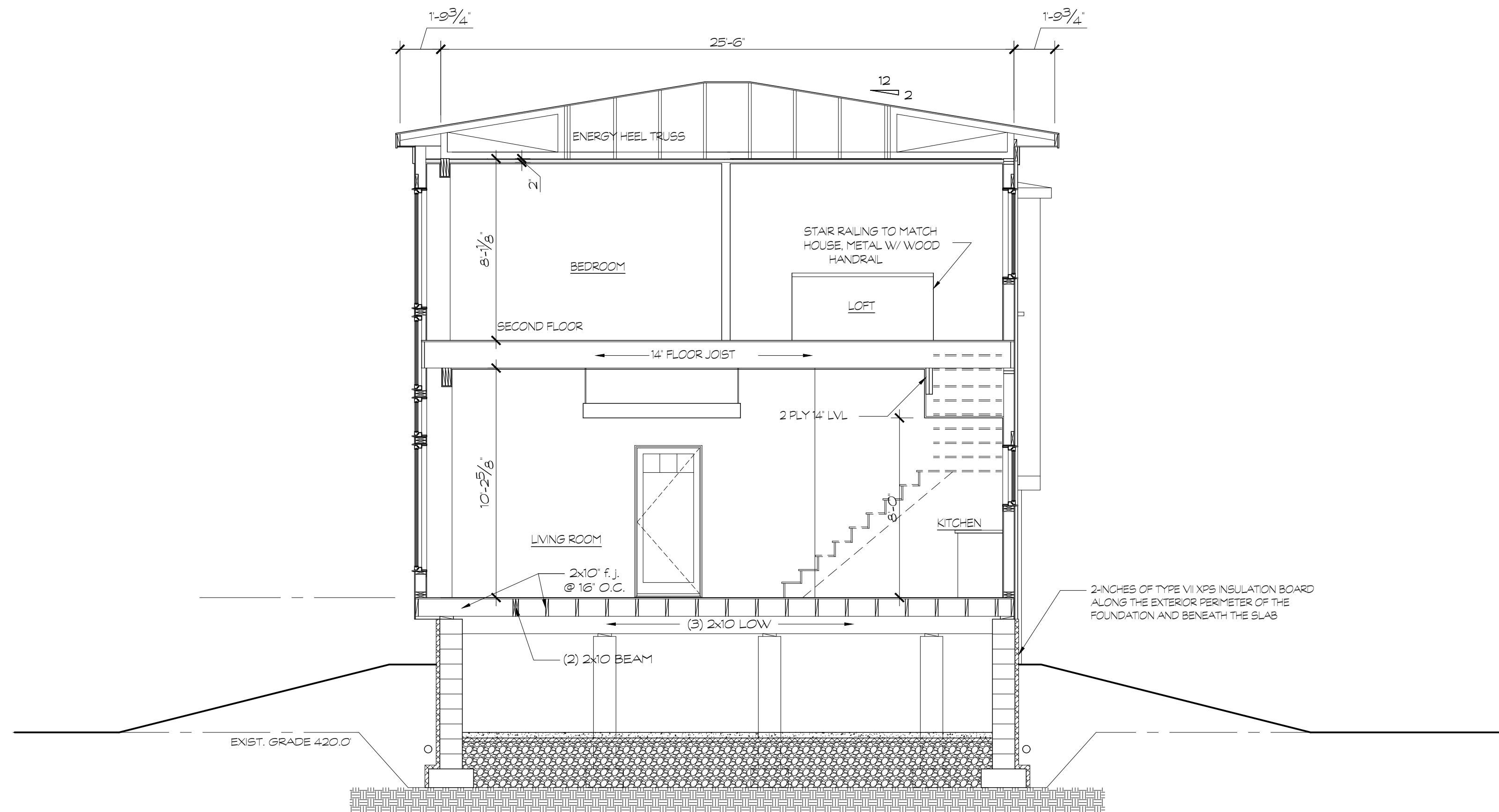
Project No.	2430
Date:	04-15-25
Scale:	AS NOTED
Drawn by:	ST
Checked by:	CBS

Title: Construction Documents
BUILDING SECTIONS

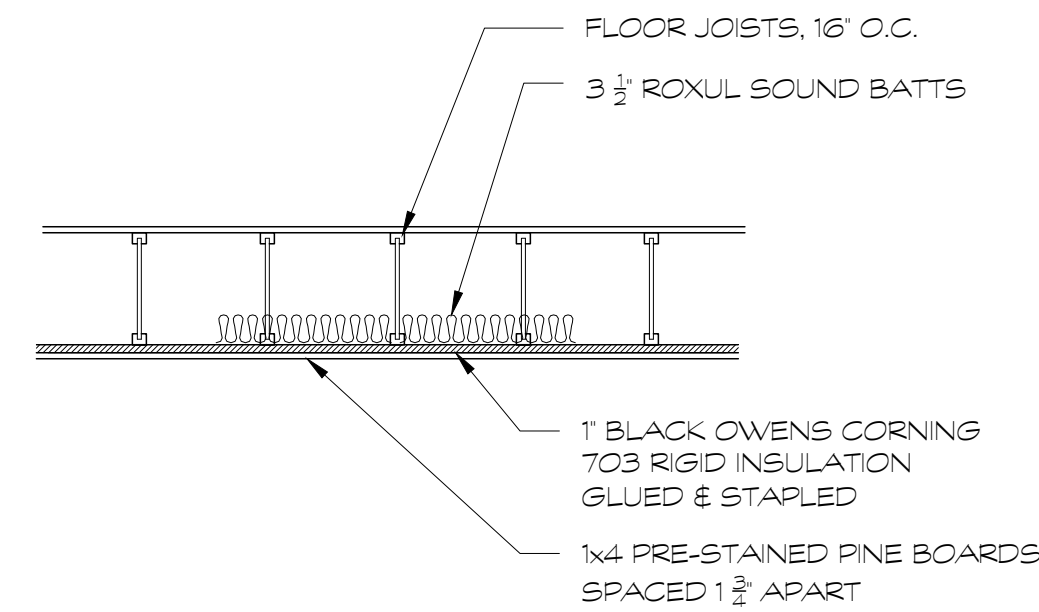
A-3.1



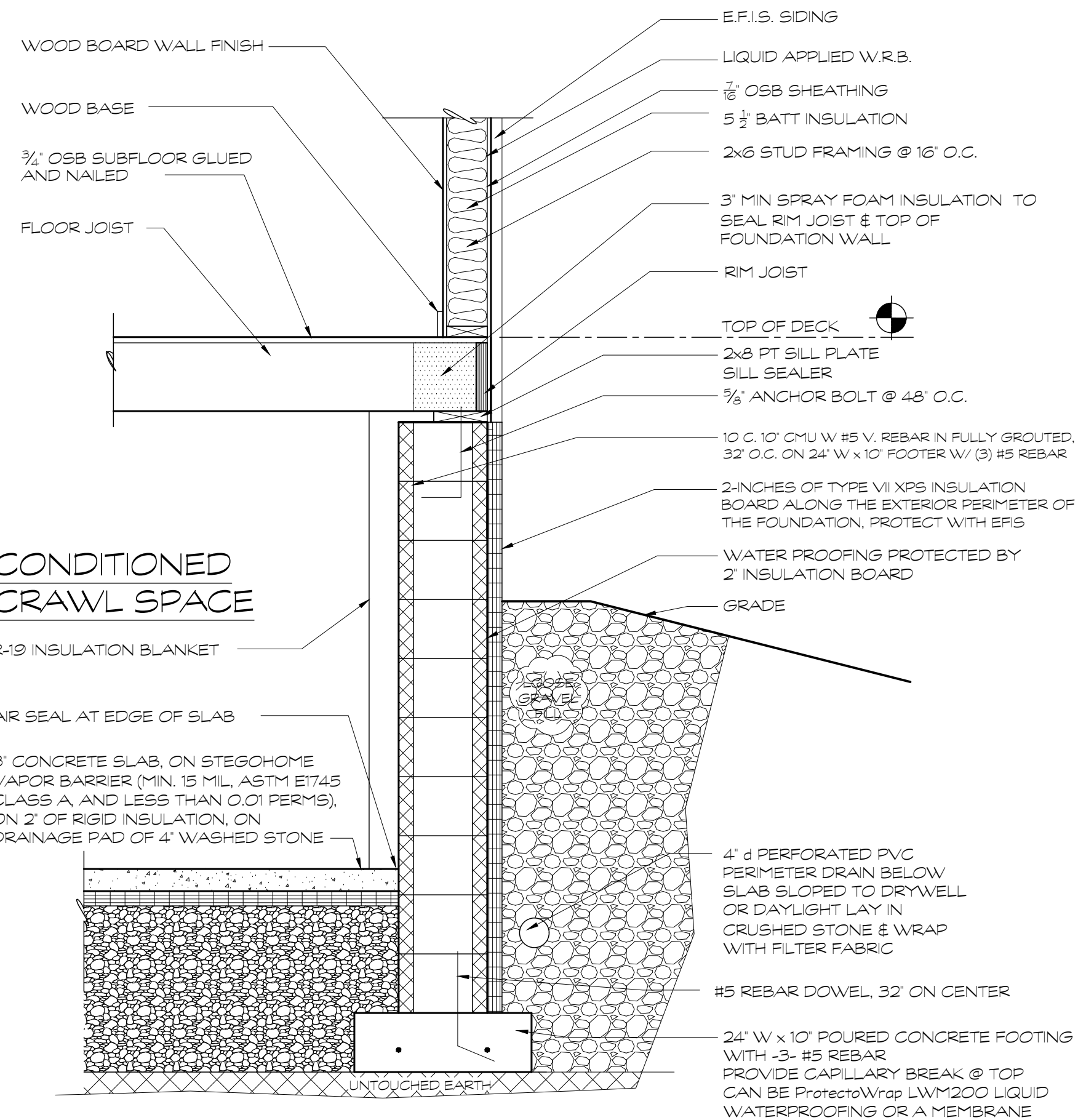
1 BUILDING SECTION
A-3.2 1/4" = 1'-0"



2 BUILDING SECTION
A-3.2 1/4" = 1'-0"



3 ACOUSTIC CEILING DETAIL
A-3.2 1/2" = 1'-0"



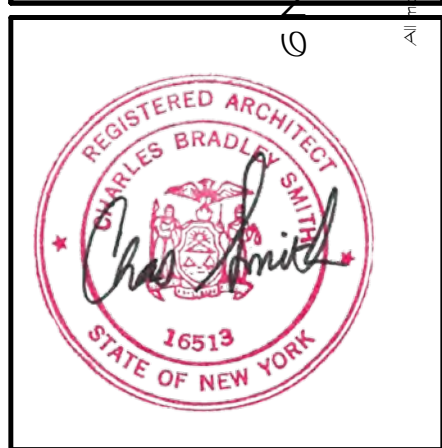
4 WALL SECTION DETAIL
A-3.2 3/4" = 1'-0"

PERMIT SET

REVISIONS	
No.	Description

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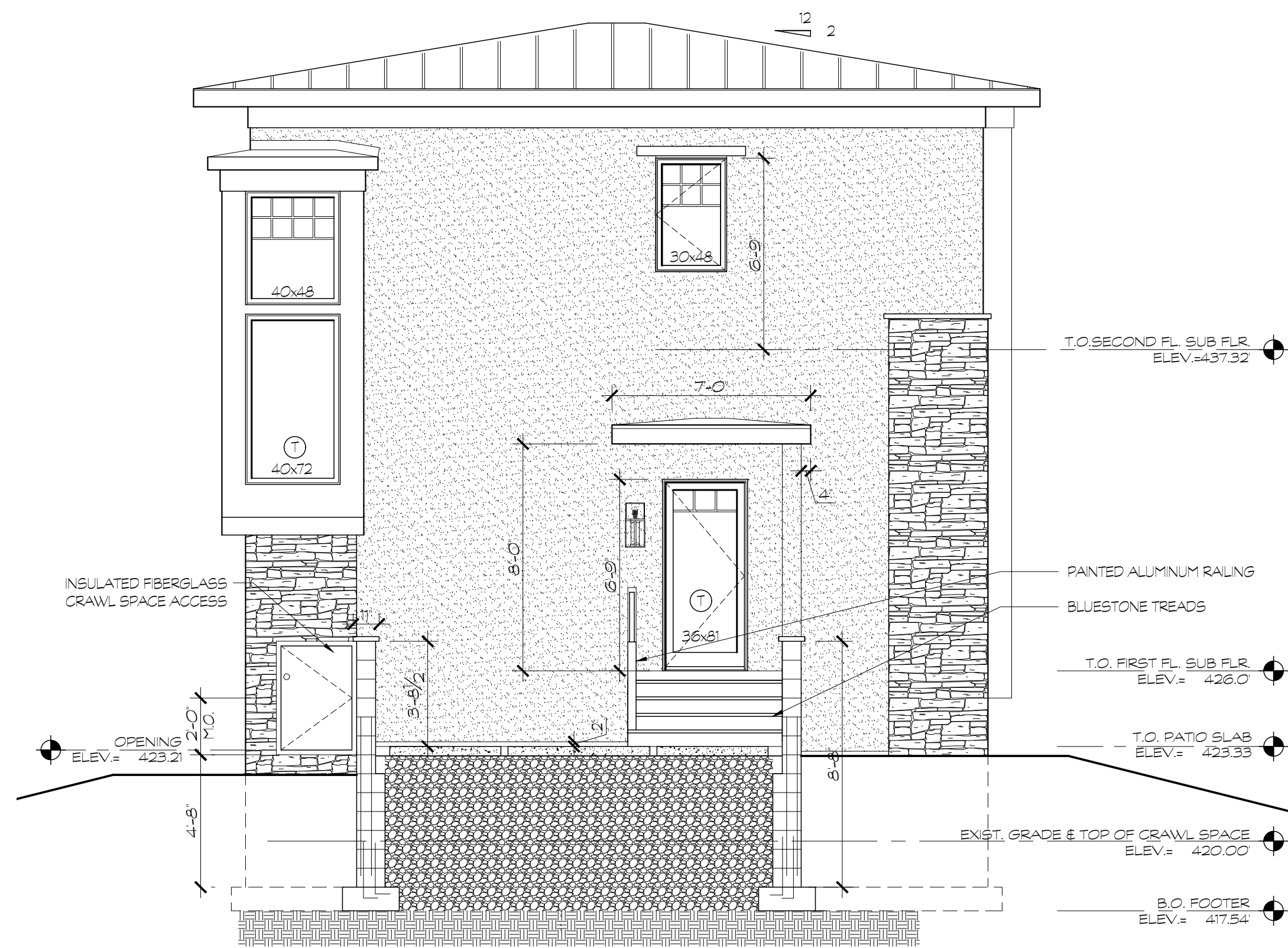
Rogers Surace Guest House

4000 East Avenue
Town of Pittsford
Monroe County

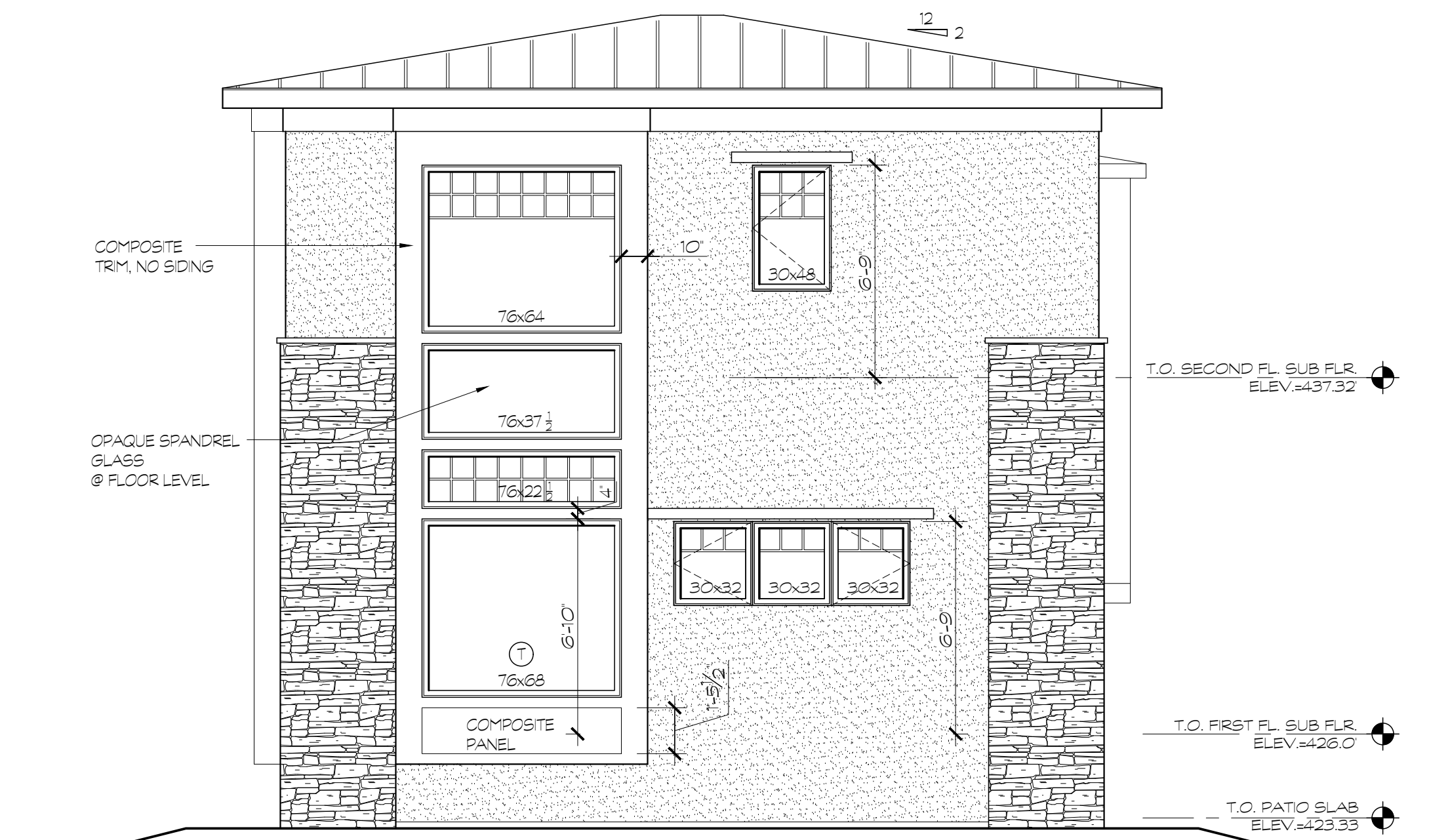
Project No.	2430
Date:	04-15-25
Scale:	AS NOTED
Drawn by:	ST
Checked by:	CBS

Construction Documents
BUILDING SECTIONS

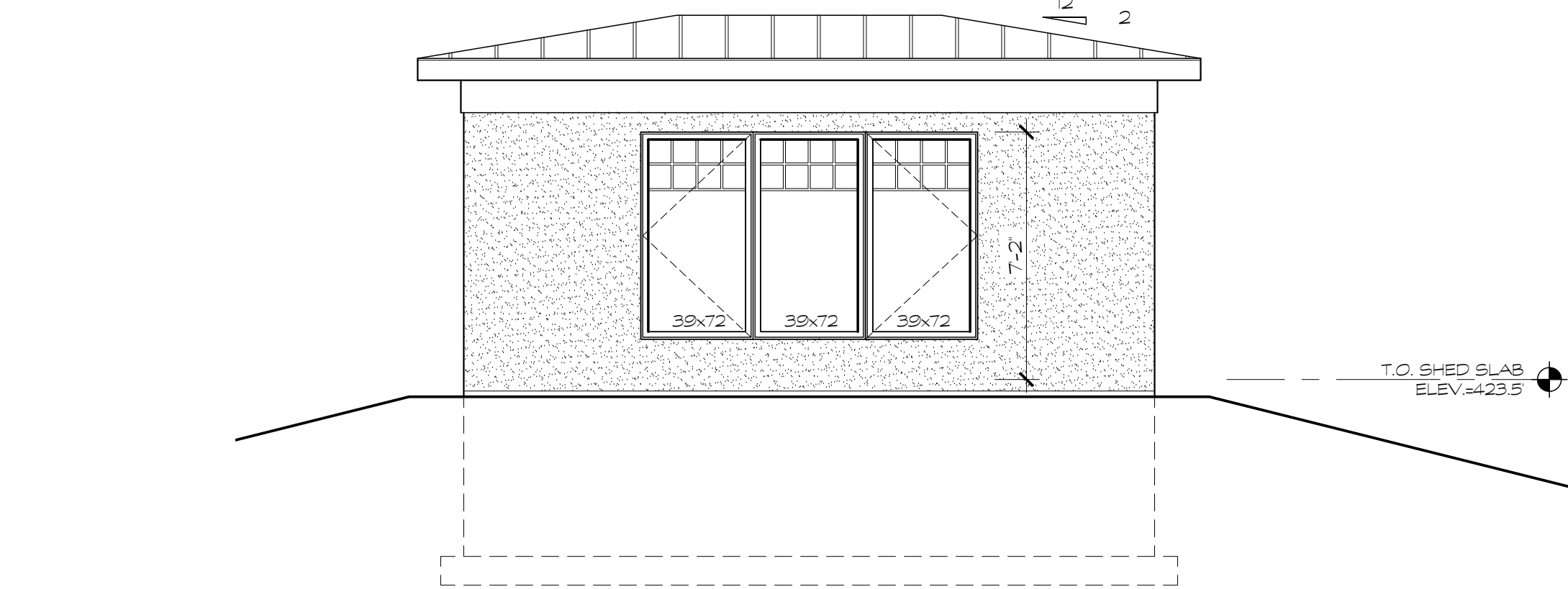
A-3.2



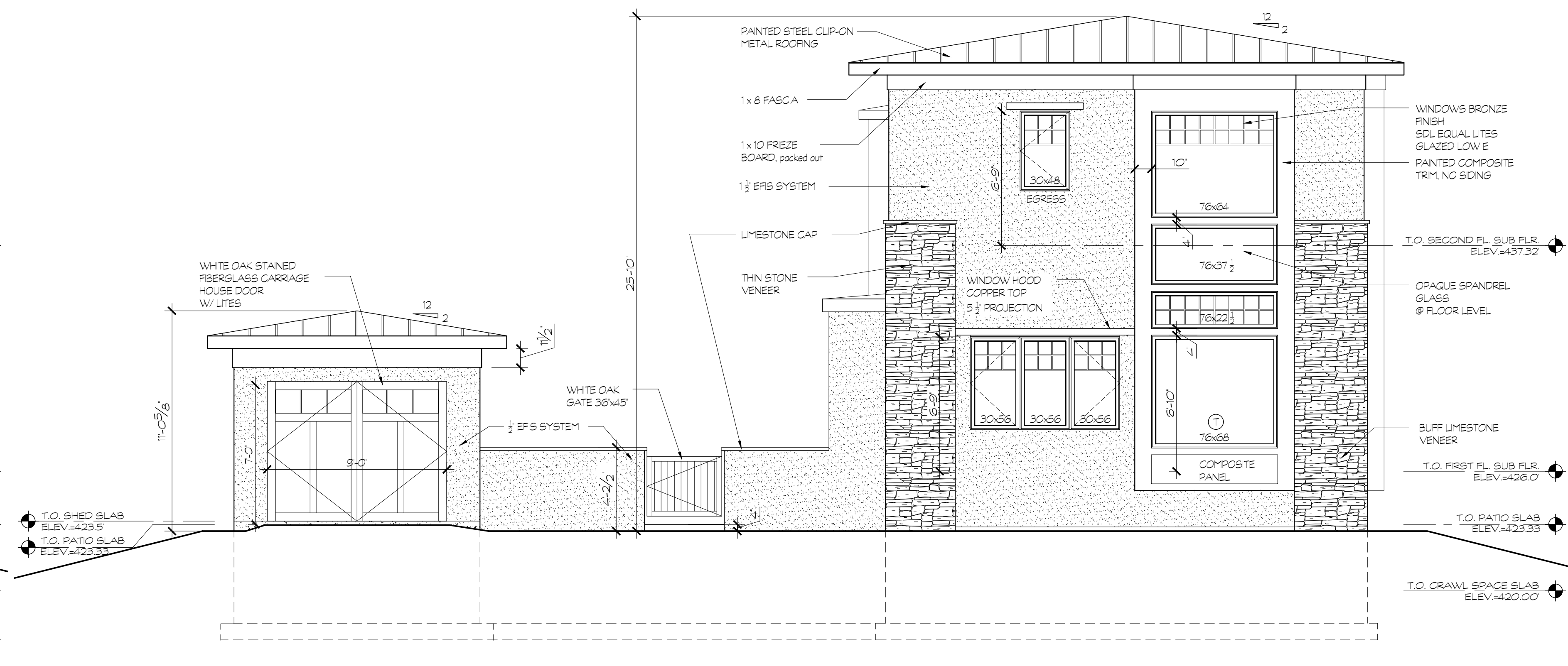
1 WEST ELEVATION
A-4.1 1/4" = 1'-0"



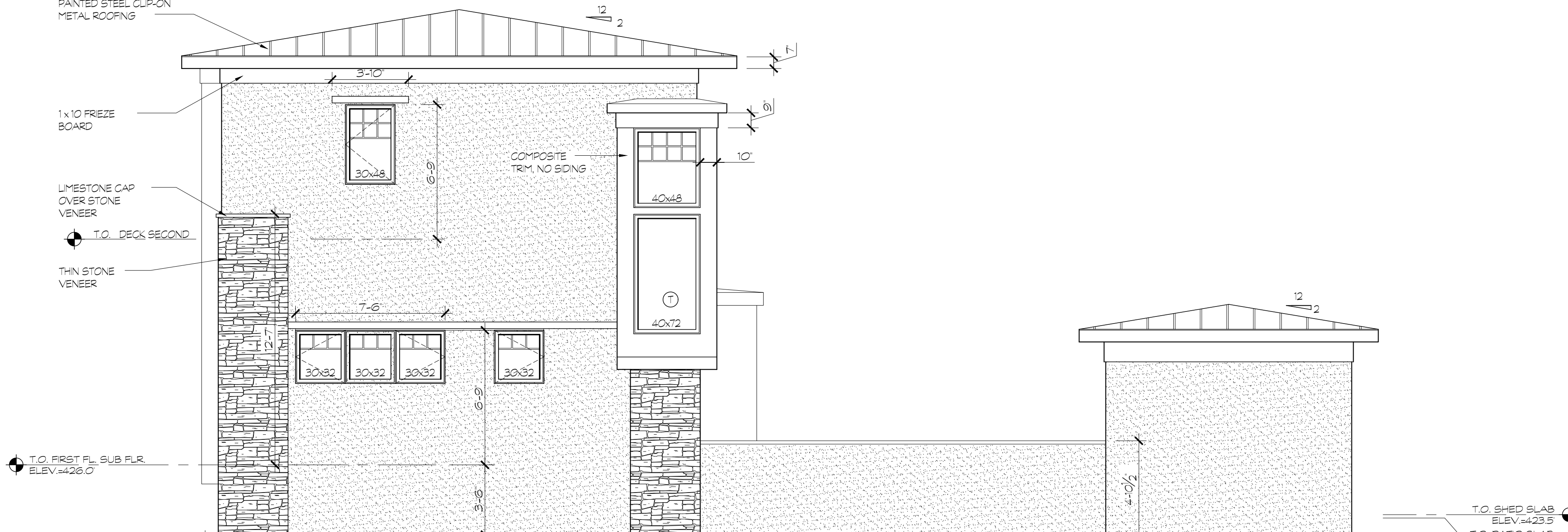
3 EAST ELEVATION
A-4.1 1/4" = 1'-0"



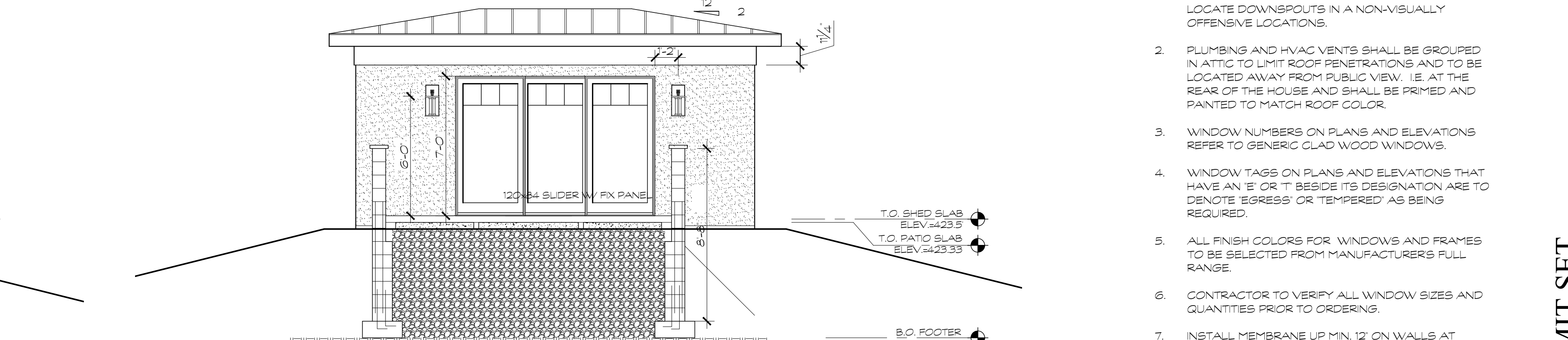
5 WEST GARAGE ELEVATION
A-4.1 1/4" = 1'-0"



2 SOUTH ELEVATION
A-4.1 1/4" = 1'-0"



4 NORTH ELEVATION
A-4.1 1/4" = 1'-0"



6 EAST GARAGE ELEVATION
A-4.1 1/4" = 1'-0"

ELEVATION NOTES:

- GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN A NON-VISUALLY OFFENSIVE LOCATIONS.
- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
- WINDOW NUMBERS ON PLANS AND ELEVATIONS REFER TO GENERIC GLAD WOOD WINDOWS.
- WINDOW TAGS ON PLANS AND ELEVATIONS THAT HAVE AN 'E' OR 'T' BESIDE ITS DESIGNATION ARE TO DENOTE 'EGRESS' OR 'TEMPERED' AS BEING REQUIRED.
- ALL FINISH COLORS FOR WINDOWS AND FRAMES TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.
- CONTRACTOR TO VERIFY ALL WINDOW SIZES AND QUANTITIES PRIOR TO ORDERING.
- INSTALL MEMBRANE UP MIN. 12" ON WALLS AT INTERSECTING ROOFS.
- MAINTAIN MANUFACTURER'S RECOMMENDED OFFSET OF SIDING TO GRADE OR ROOF SURFACE.

PERMIT SET

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No.	Date		

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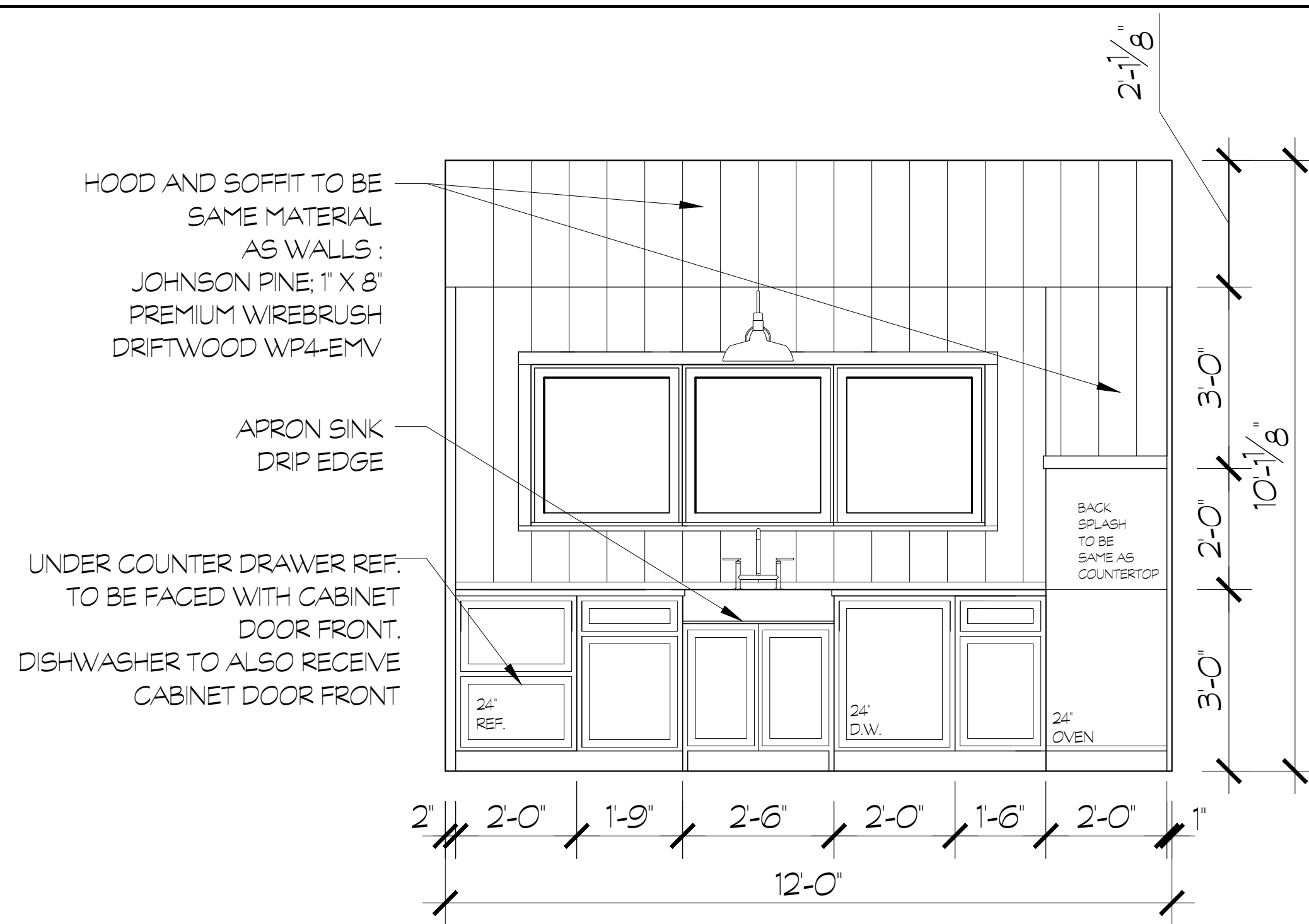
Rogers Surace Guest House

4000 East Avenue
Town of Pittsford
Morrise County, New York

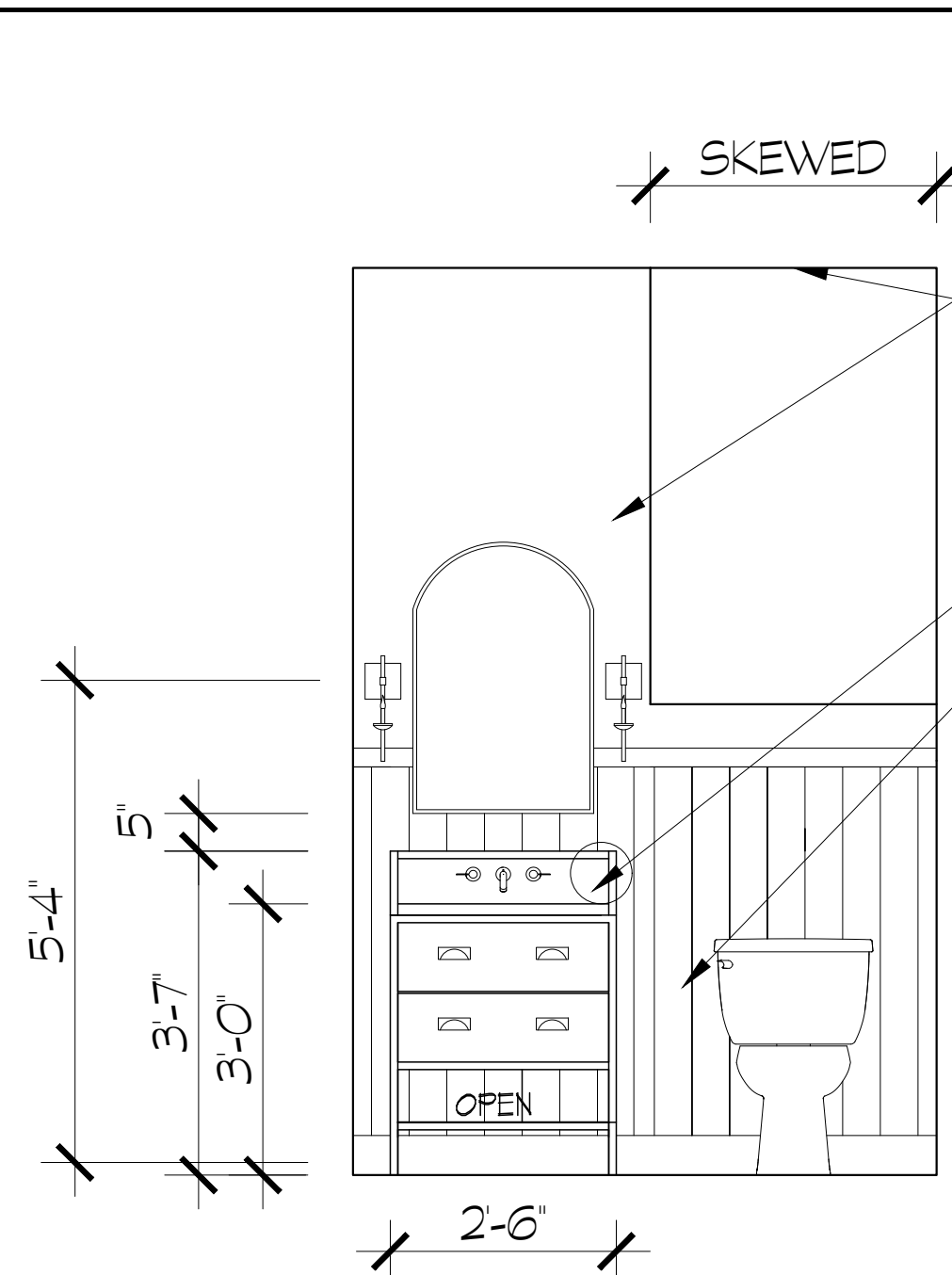
Project No. 2430
Date: 04-15-25
Scale: AS NOTED
Drawn by: S.T.
Checked by: C.B.S.

Construction Documents
BUILDING ELEVATIONS

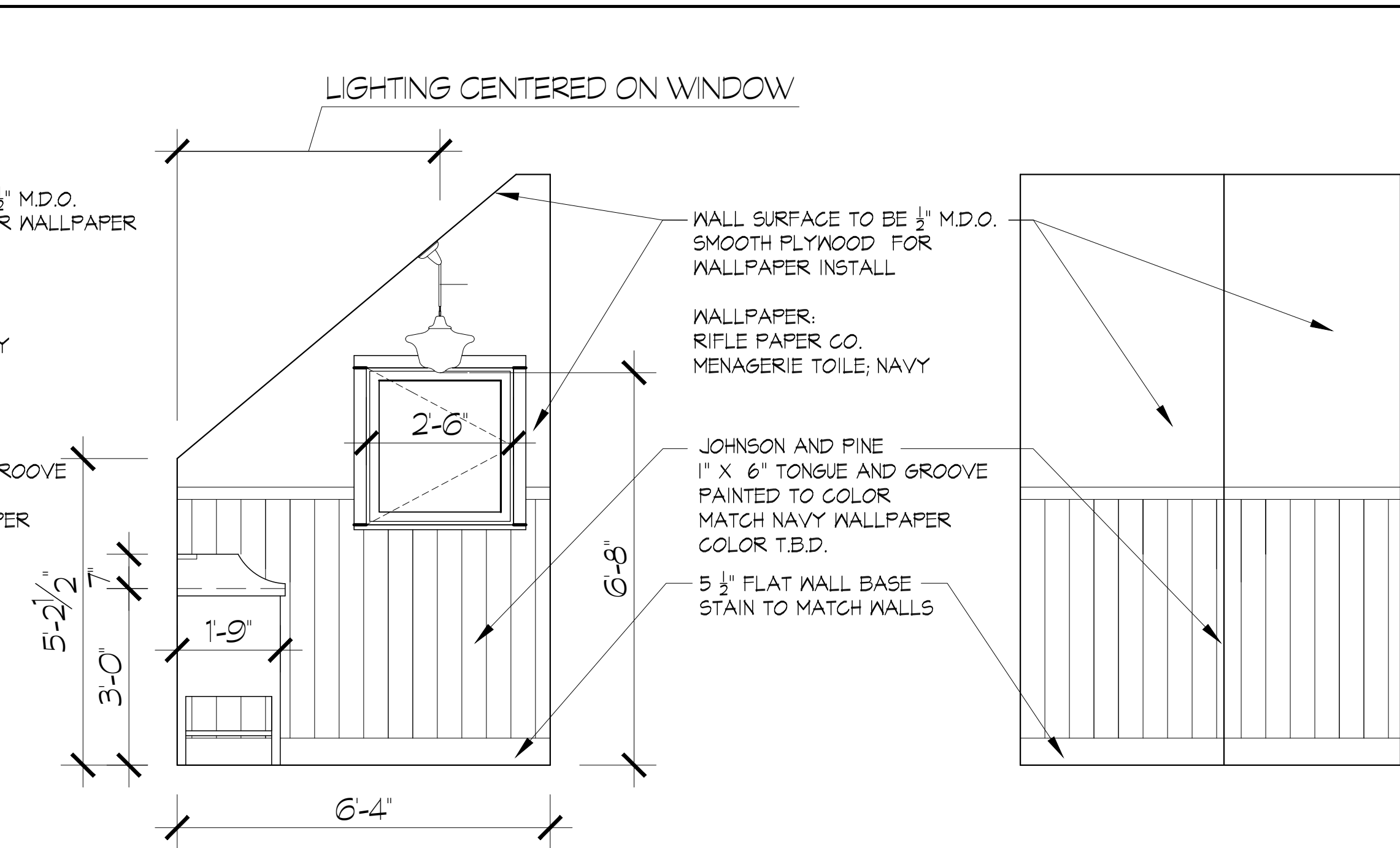
A-4.1



1 KITCHEN
A-4.2 1/2" = 1'-0"

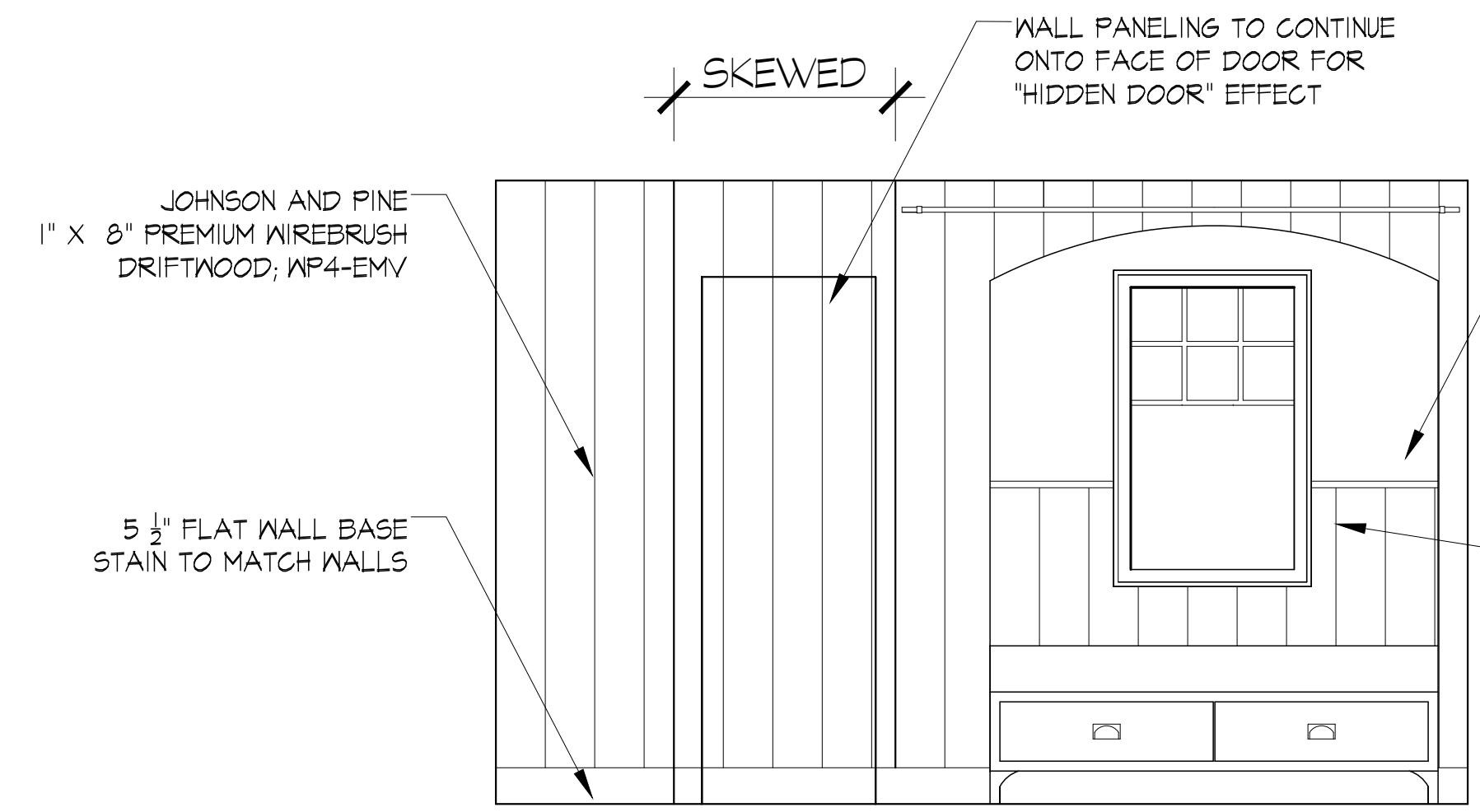


2 POWDER BATH
A-4.3 1/2" = 1'-0"

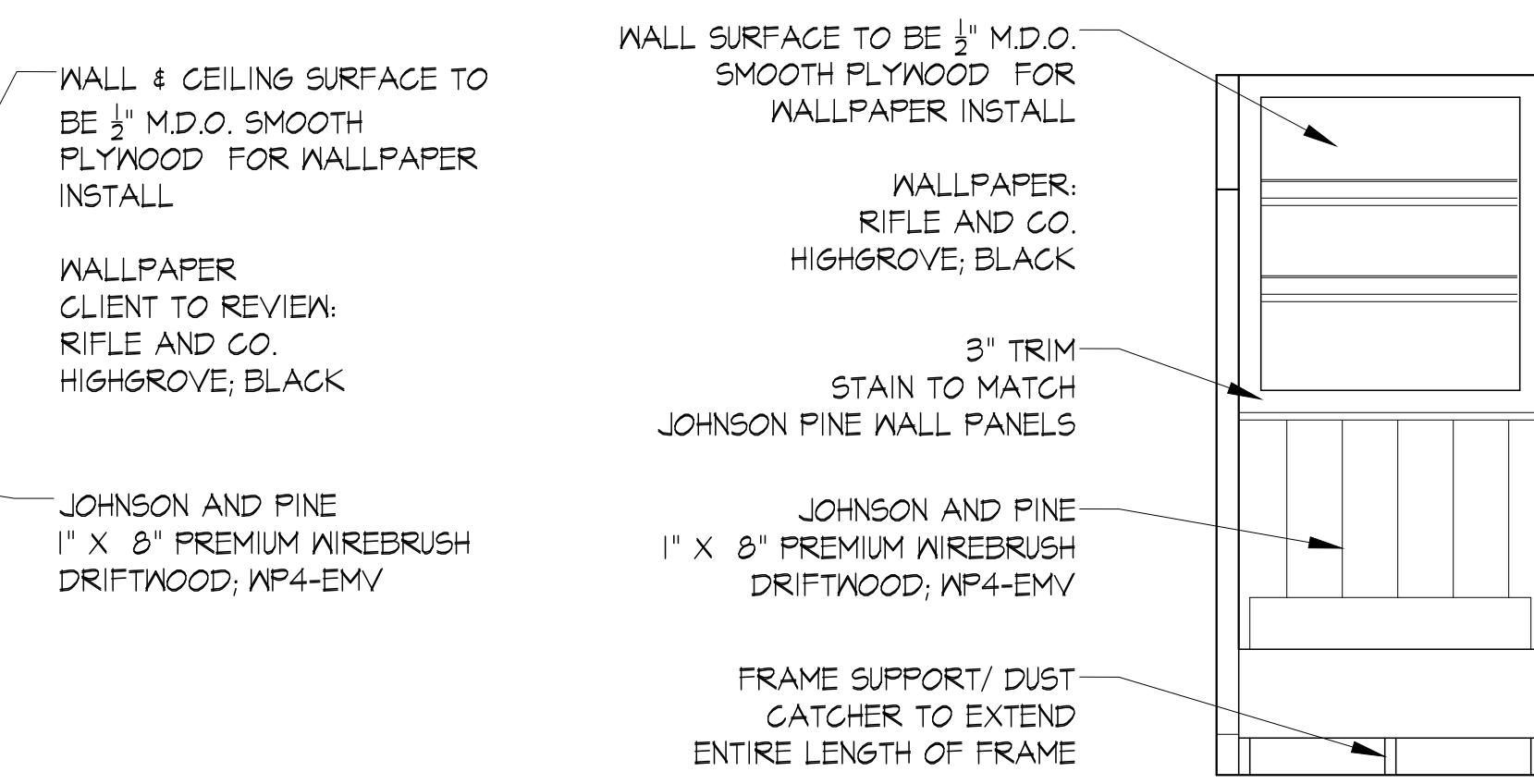


3 POWDER BATH
A-4.3 1/2" = 1'-0"

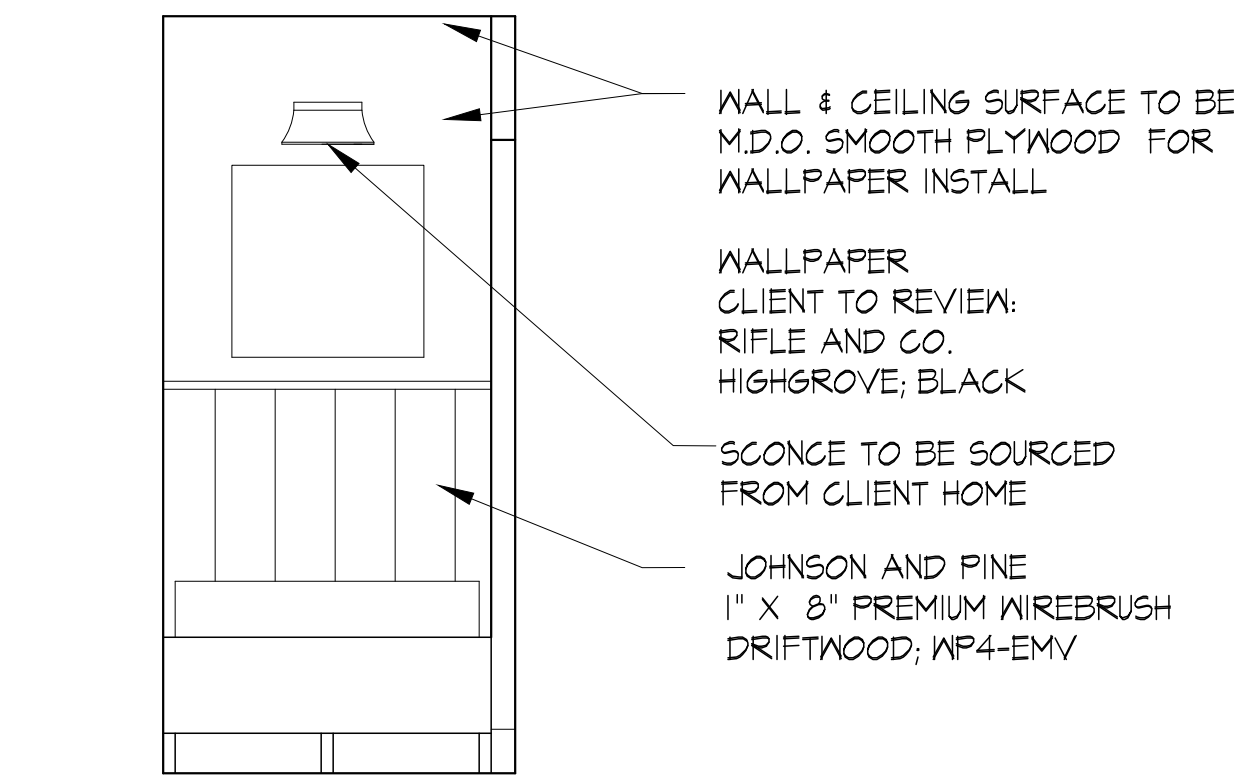
4 POWDER BATH
A-4.3 1/2" = 1'-0"



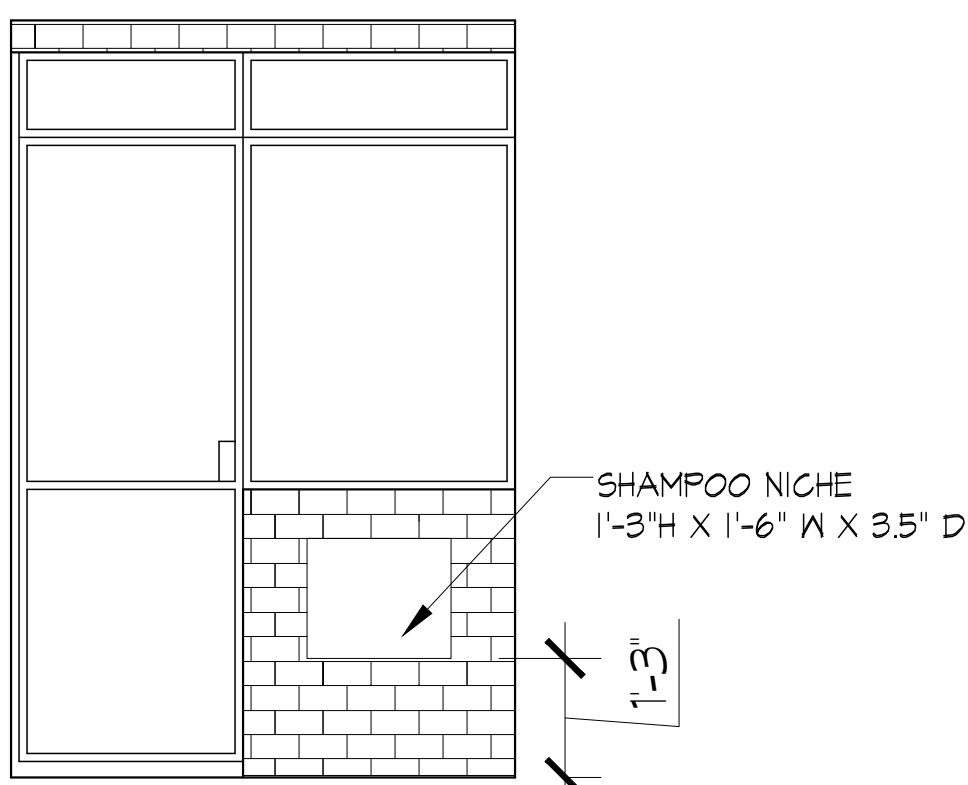
5 READING NOOK
A-4.3 1/2" = 1'-0"



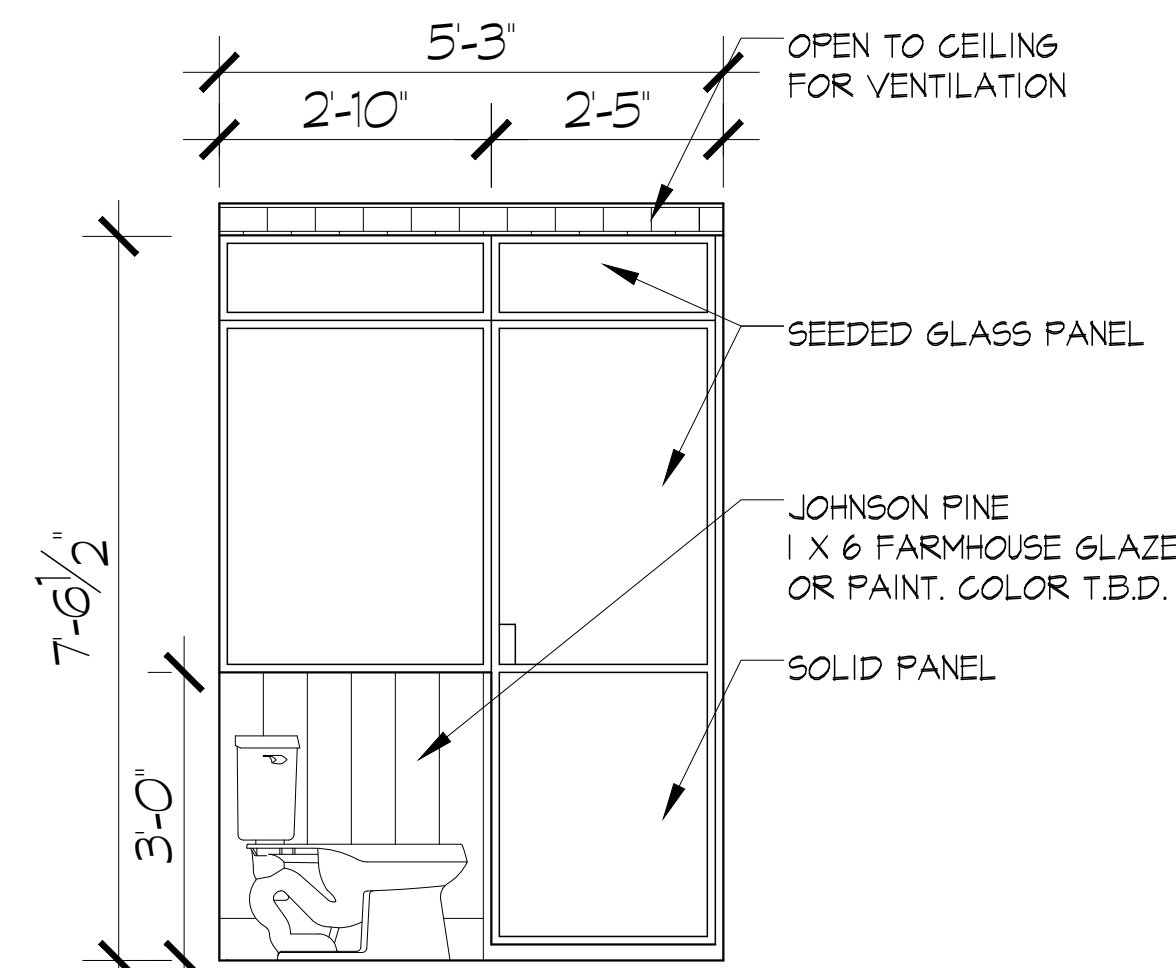
6 READING NOOK
A-4.3 1/2" = 1'-0"



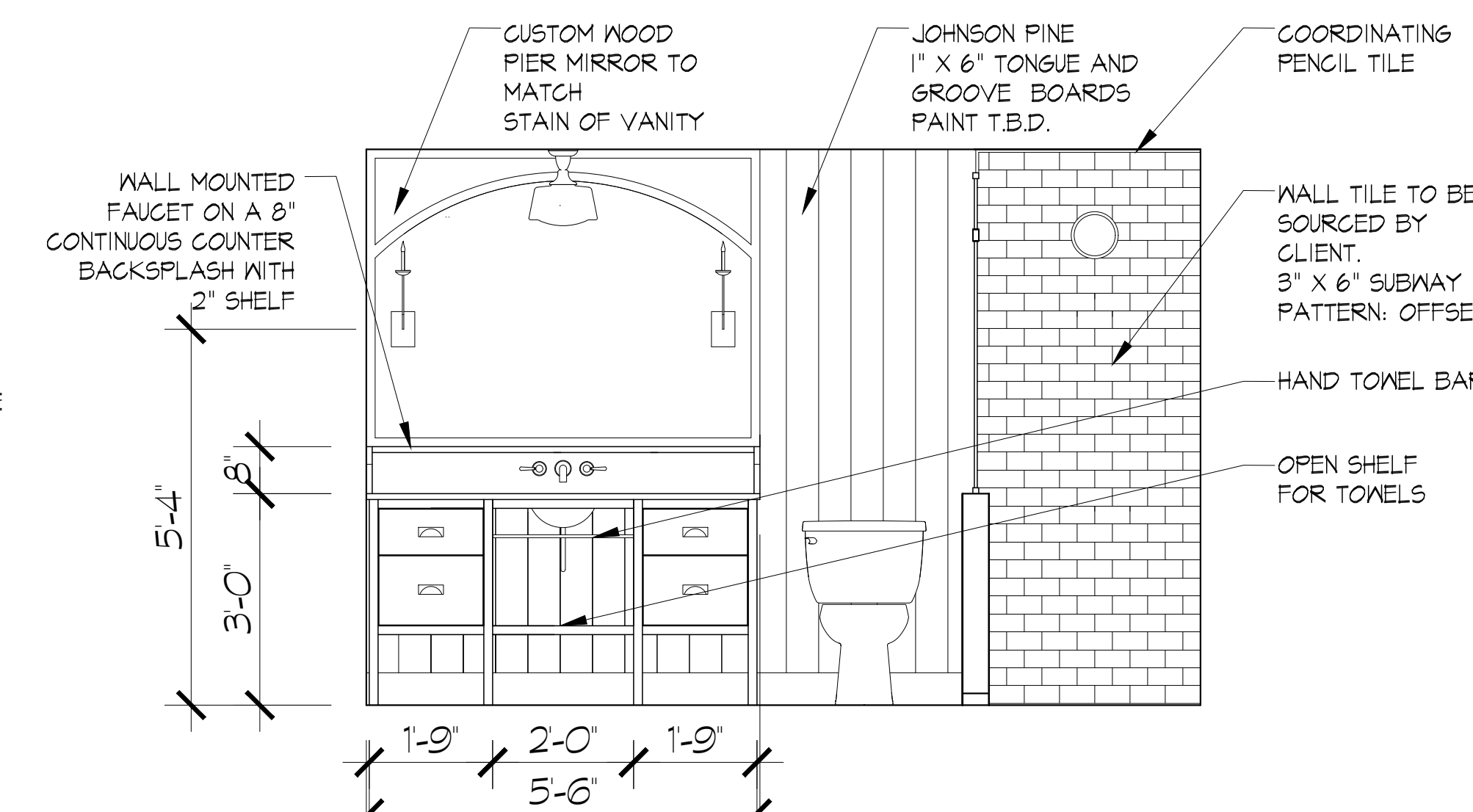
7 READING NOOK
A-4.3 1/2" = 1'-0"



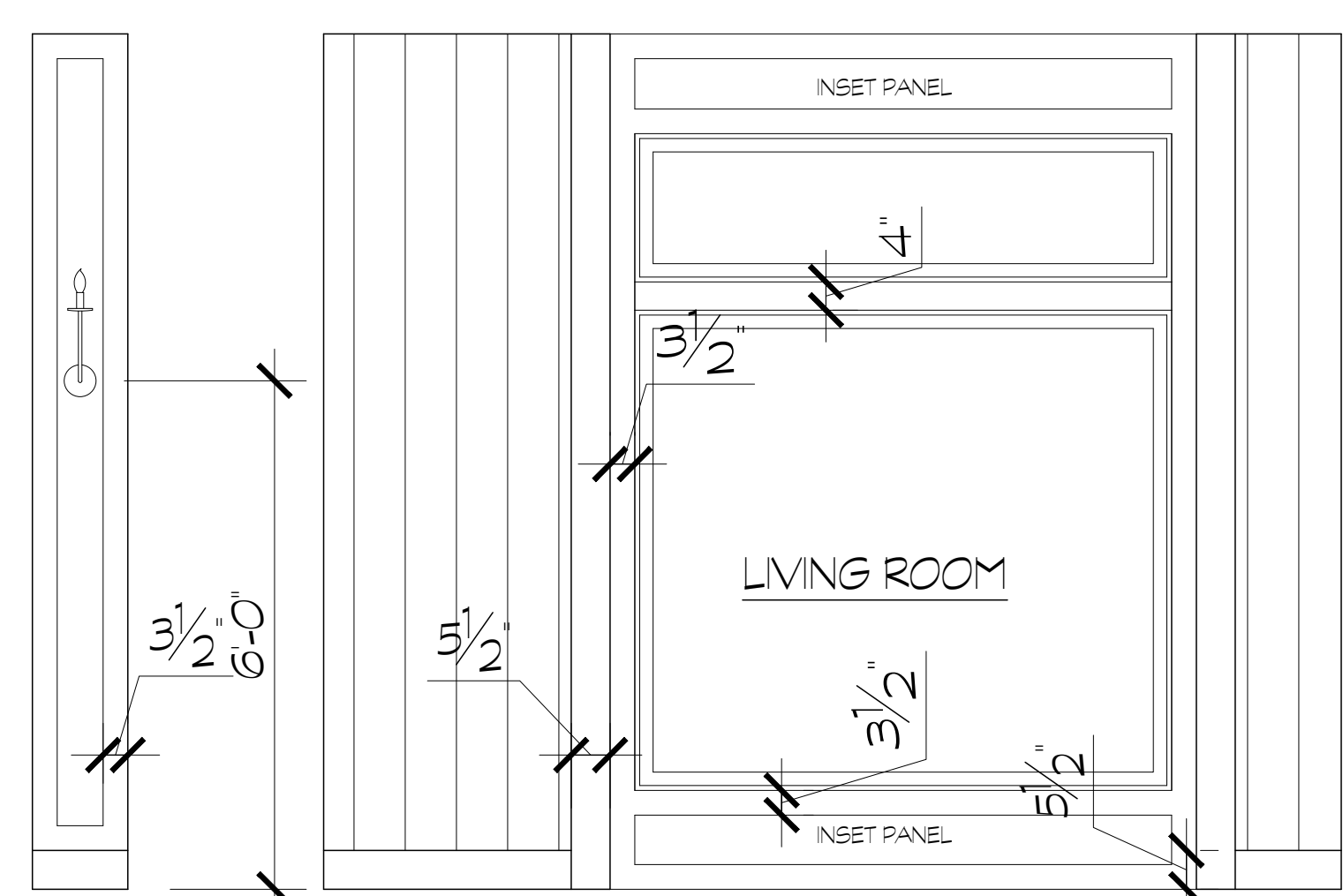
8 PRIMARY BATH
A-4.3 1/2" = 1'-0"



9 PRIMARY BATH
A-4.3 1/2" = 1'-0"



10 PRIMARY BATH
A-4.3 1/2" = 1'-0"



11 ALCOVE TRIM
A-4.2 1/2" = 1'-0"

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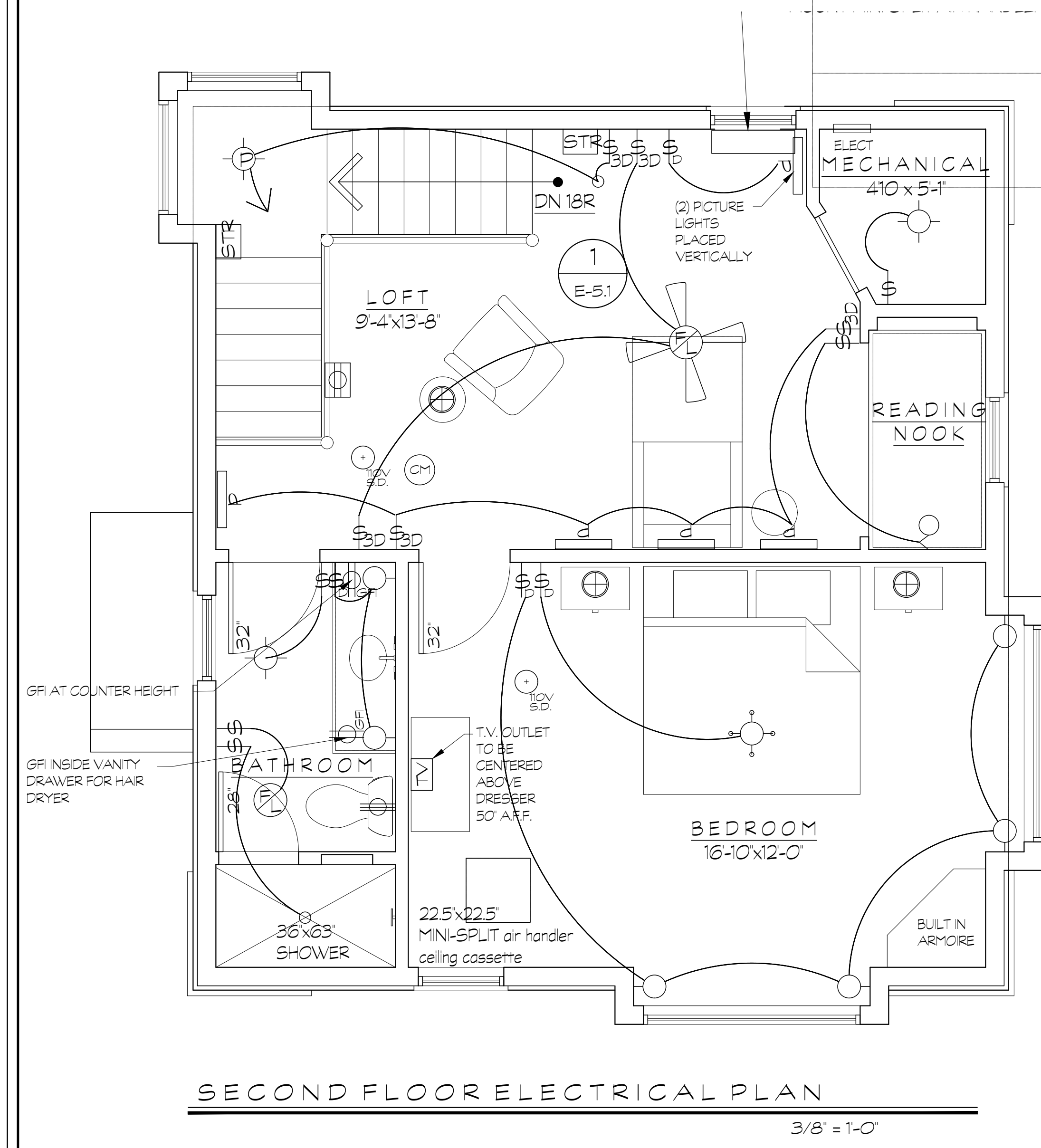
4000 East Avenue
Town of Pittsford
Monroe County, New York

Project No.	2430
Date:	04-15-25
Scale:	AS NOTED
Drawn by:	RS
Checked by:	CBS

Construction Documents
INTERIOR ELEVATIONS

A-4.2

PERMIT SET


$$\frac{3}{8}'' = 1'-0''$$

1. FLOOR OUTLETS TO BE PLACED EVERY 6 PER CODE REQ.
2. SPECIFIED LIGHTS WILL BE PLACED ON HOMEOWNERS CURRENT LUTRON SYSTEM AND WILL BE DECIDED DURING ELECTRICAL WALK THROUGH.
3. WIFI CONNECTION TO BE SAME AS MAIN RESIDENCE AND WILL RUN A CAT 5 ETHERNET.
4. ALARM SYSTEM TO BE INSTALLED AT FRONT DOOR AND FIRST FLOOR WINDOWS, BOTH FIRST AND SECOND FLOOR WILL HAVE MOTION DETECTORS. THE ALARM SYSTEM WILL BE SAME COMPANY AS THE MAIN RESIDENCE BUT SEPARATE QUES.
5. RADIANT HEAT ON FIRST FLOOR WILL BE CONTROLLED BY HONEYWELL OR LG APPS

NOTE:
THESE SYMBOLS COMPRISE A STANDARD LIST.
NOT ALL SYMBOLS MAY APPEAR IN THIS PROJECT.

PERMIT SET

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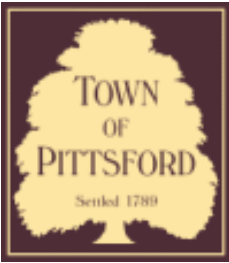
Rogers Surace Guest House

4000 East Avenue
Town of Pittsford
Monroe County, New York

Project No.	2430
Date:	04-15-25
Scale:	AS NOTED
Drawn by:	RB
Checked by:	CBS

Title: Construction Documents
FIRST AND SECOND FLOOR
ELECTRICAL PLAN

5



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C24-000006

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3330 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-16

Zoning District: C Commercial

Owner: 3330 Monroe Ave LLC

Applicant: Hanlon Architects

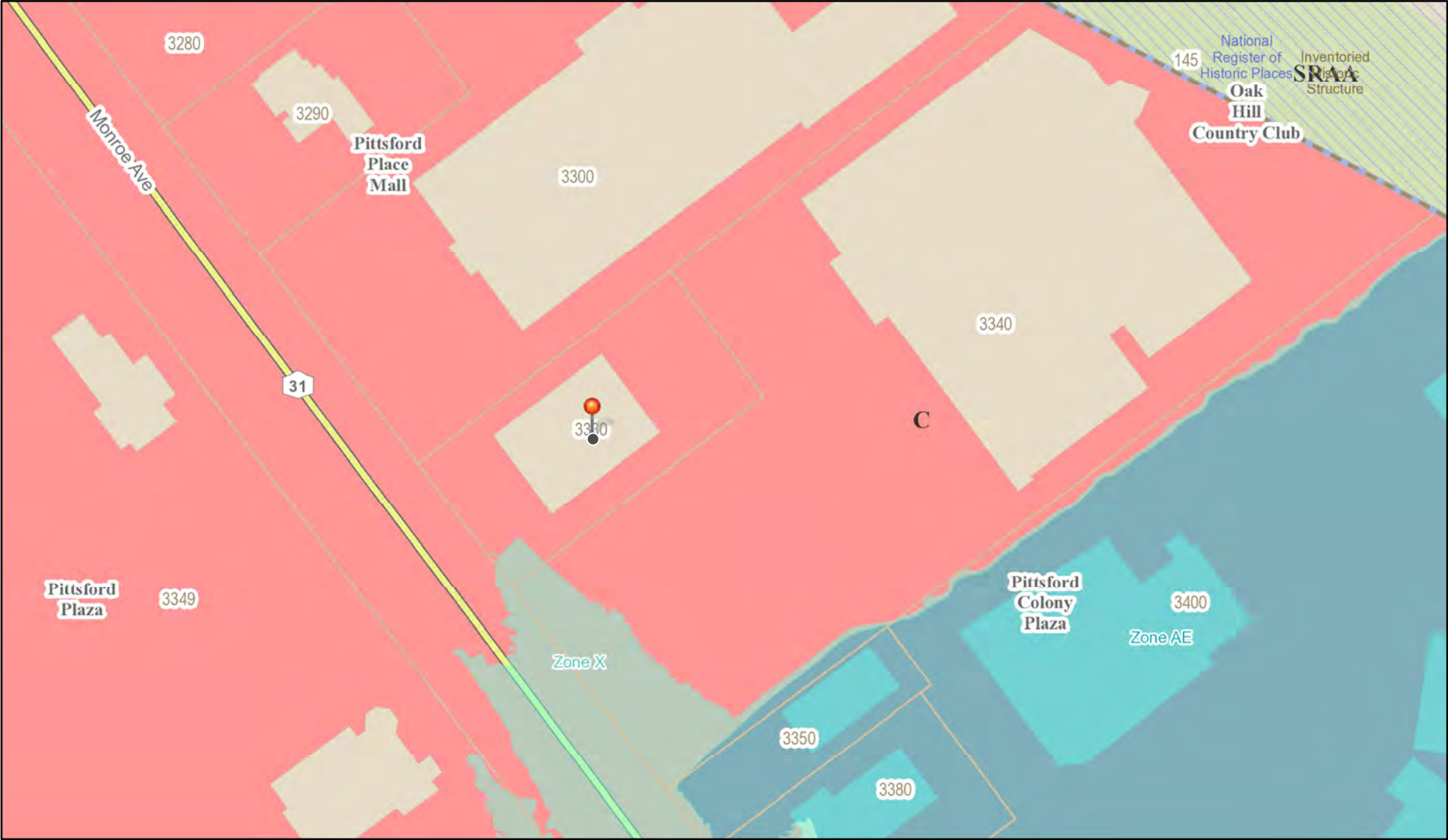
Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

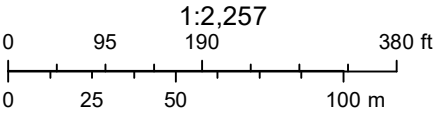
Project Description: Applicant is requesting design review for the exterior change of a commercial buildout that was previously approved 1/25/24. This property is zoned Commercial (C).

Meeting Date: April 24, 2025

RN Residential Neighborhood Zoning



Printed January 17, 2024



Town of Pittsford GIS

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145

3280

3290

3300

3330

3340

3350

3380

3400

3349

4273

4274

Monroe Ave

Unnamed Street

Unnamed Street

3240-3246

04/03/2021

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2 SOUTHEAST (PARKING LOT) ELEVATION - APPROVED
SCALE: 1/8" = 1'-0"



1 SOUTHEAST (PARKING LOT) ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



PROPOSED RENDERING A



APPROVED RENDERING A

COMMUNITY BANK N.A.
3330 MONROE AVENUE

4-15-25



PROPOSED RENDERING B



APPROVED RENDERING B

COMMUNITY BANK N.A.
3330 MONROE AVENUE

4-15-25

