

Town of Pittsford Design Review & Historic Preservation Board
AGENDA
April 10, 2025

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on April 10, 2025, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

155 West Brook Road

Applicant is requesting design review for a 560 square foot addition to the garage.

10 Kimberly Road

Applicant is requesting design review for interior renovation requiring relocation of a window.

17 Merryhill Lane

Applicant is requesting design review for interior renovation requiring removal of exterior door.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for facade changes at the Ulta space at Pittsford Plaza.

3349 Monroe Avenue

Applicant is requesting design review for a 75 Sq Ft. sign for Ulta Beauty Store at Pittsford Plaza.

3400 Monroe Avenue

Applicant is requesting design review for a 20 Sq Ft. sign for the UPS Store.

COMMERCIAL APPLICATIONS

2851 Clover Street (300 Tobey Road) – Pittsford Oaks

Applicant is requesting the review of design changes to date, the current design material, confirm the overall Northeast corner of the building height.

The next meeting is scheduled for Thursday, April 24, 2025, at 6PM.

**DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
MARCH 27, 2025**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, March 27, 2025, at 6:00 PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Paul Whitbeck, Kathleen Cristman, John Mitchell, Bonnie Salem

ABSENT: Dirk Schneider, Dave Wigg, Jim Vekasy

ALSO PRESENT: Bill Zink, Building Inspector; Erik Smegelsky, Assistant Building Inspector; Anna Piazza, Building Department Assistant

ATTENDANCE: There were 30 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Board Member Mitchell called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

Board Member Salem discussed the memo request recently sent to the Town Board relating to Certificates of Appropriateness. She stated that the request was adopted into the Zoning Code update that was recently passed. Board Members Whitbeck, Cristman, and Salem attended the March 18th Town Board meeting.

OVERSIZED ACCESSORY STRUCTURES

597 Mendon Road

Applicant is requesting design review for a 485 square-foot addition to an existing garage for a game room.

Pat Morabito, of Morabito Architects, introduced the application. Mr. Morabito is requesting design review for a 485 square-foot addition to an existing detached garage. He stated that the application has already received a variance from the Zoning Board for its height and size. The siding and metal roof will match the existing garage in kind. The applicant stated that the addition will have double-hung windows and will have stone on the gable section. He noted that the proposed addition will be relatively far from the house.

Board Member Cristman motioned to approve the 485 square-foot addition to an existing garage, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

526 Pittsford Henrietta Townline Road

Applicant is requesting design review for the addition of 511 square-foot pool house.

Paul Morabito, of Morabito Architects, introduced the application. Mr. Morabito is requesting design review for the addition of a 511 square-foot pool house. He stated that the application has already received a variance from the Zoning Board for its height and size. The materials and colors of the proposed addition will match the existing house. Mr. Morabito noted that the base of the columns will not be stone as it is seen on the drawing presented and stated that the 12x12 posts will be square. There will be an additional column in the center of the pool house as well to support it structurally. The stone being used on the fireplace is the same stone that was used for various accent spots on the existing house.

Board Member Mitchell motioned to approve the 511 square-foot pool house with two changes: (1) The stone bases of the columns will be removed and, (2) There will be an additional column in the center to support it structurally. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

6 Burncoat Way

Applicant is requesting design review for a 54 square-foot front porch.

The applicant was not in attendance at this meeting.

32 Coach Side Lane

Applicant is requesting design review for a 699 square-foot rear deck renovation to the home.

Nate Esh, of Keystone Custom Decks, introduced the application. Mr. Esh is requesting design review for a 699 square-foot rear deck renovation to the home. Mr. Esh stated that in addition to the porch deck area, the addition will have an open pergola over part of the deck as well. The existing patio will be taken out and the deck will be leveled to the ground when exiting the house. The deck will be a truss material and the texture will be a 'cedar shake impression'. There will be a screened-in section incorporated as well.

Board Member Salem motioned to approve the 699 square-foot rear deck renovation including a screened porch and open pergola, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

24 Greythorne Hill

Applicant is requesting design review for a 525 square-foot covered patio off the rear of the home.

Brian Mendick, of 24 Greythorne Hill, introduced the application. Mr. Mendick is requesting design review for a 525 square-foot covered patio off the rear of the home. The covered patio will come off the front of the home and the existing stone on the columns will stay. Board Member Salem asked the applicant if the patio would be open on all sides and the applicant confirmed. The trusses will be decorative wood and will match the pillars. The patio will have cathedral ceilings and the materials will consist of wood beams and stone.

Board Member Mitchell motioned to approve the 525 square-foot covered patio off the rear of the home, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

26 High Hill Drive

Applicant is requesting design review for interior renovation requiring relocation and resizing of doors and windows.

Amanda Costanza, of 9X30 Design, Architecture, PLLC, introduced the application. The applicant is requesting design review for an interior renovation requiring the relocation and resizing of doors and windows. The applicant will replace and refresh the existing front door and vinyl siding to match the existing. The existing double-hung windows will be replaced with tilt-turn windows and the existing shutters will be removed. The applicant proposed an accent siding material on the recessed area which will be 'Canyon Drift'.

Board Member Whitbeck motioned to approve the window and door renovations, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for 25 square-foot signage for Georgio's Pizza.

Dave Torrain, of Georgio's Pizza, introduced the application. Mr. Torrain is requesting design review for a 25 square-foot sign for Georgio's Pizza. Board Member Whitbeck asked the applicant if the letters on the sign will be lit, and the applicant confirmed.

Board Member Mitchell motioned to approve the 25 square-foot sign for Georgio's Pizza, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

3349 Monroe Avenue

Applicant is requesting design review for 29.85 square-foot signage for Mamma G's.

Connor Ewing, of Elevated Sign Solutions, introduced the application. Mr. Ewing is requesting design review for a 29.85 square-foot sign for Mamma G's. The applicant stated that during the day the letters will show up black but at night when illuminated, the letters will show up white. The letter 'G' will be green.

Board Member Salem motioned to approve the 29.85 square-foot sign for Mamma G's, as submitted. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

3750 Monroe Avenue

Applicant is requesting design review for two signs and door vinyl totaling 75.6 square-feet of signage for Paylocity.

Connor Ewing, of Elevated Sign Solutions, introduced the application. Mr. Ewing is requesting design review for two signs and entry door vinyl, totaling 75.6 square-feet of signage for Paylocity.

Board Member Mitchell motioned to approve the signage and door vinyl for Paylocity, as submitted. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the application was approved, none opposed.

MEETING MINUTES REVIEW

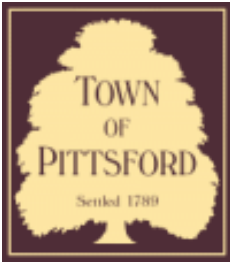
The minutes of March 13, 2025 were approved following a motion by Board Member Salem. This motion was seconded by Board Member Whitbeck. Following a unanimous voice vote, the minutes were approved, none opposed.

Board Member Mitchell closed the meeting at 7:06PM.

Respectfully submitted,

Anna Piazza
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000016

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 155 West Brook Road PITTSFORD, NY 14534

Tax ID Number: 150.20-2-2

Zoning District: RN Residential Neighborhood

Owner: Finucane, Leo G

Applicant: Finucane, Leo G

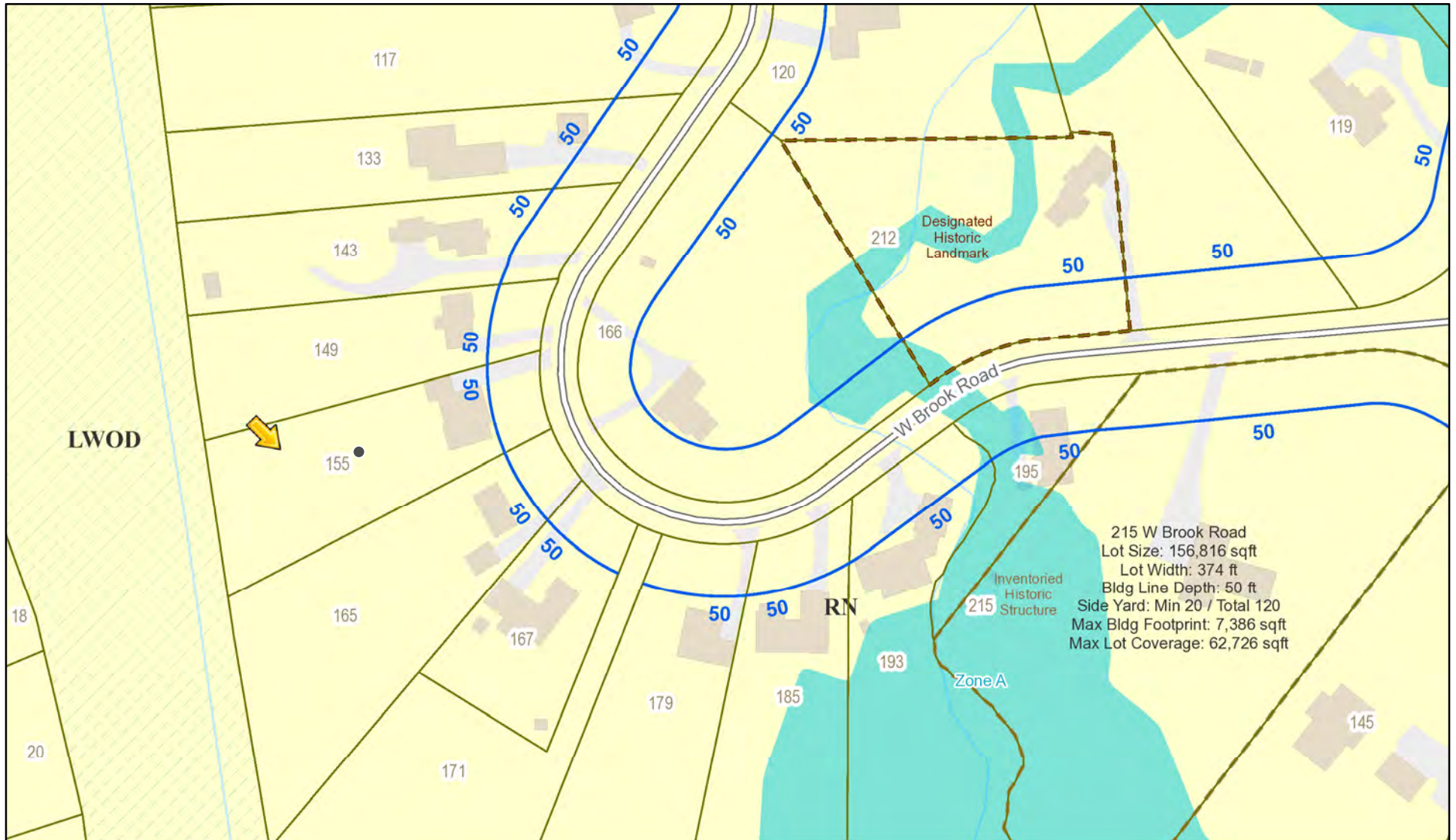
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

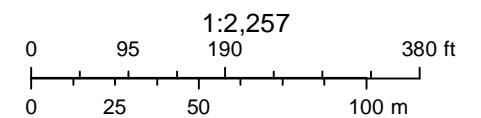
Project Description: Applicant is requesting design review for a 560 square foot addition to the garage.

Meeting Date: April 10, 2025

RN Residential Neighborhood Zoning



Printed March 31, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



149

155

W Brook Rd

Thu Sep 5 2024

Imagery © 2025 Nearmap, HERE

20 ft

Nearmap

STATE OF NEW YORK LANDS



89°07'48"

150.00'

98°56'10"

SEE EASEMENT IN LIBER 892 OF DEEDS, PAGE 49

OVERHEAD WIRES

LOT 28A

2/3/2025

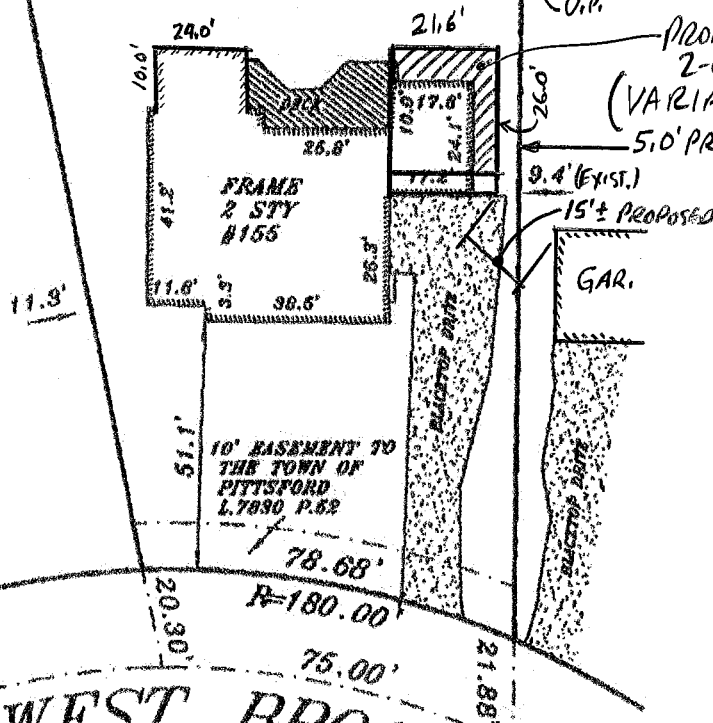
Kip Finley, PE
Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
(585) 451-6538

365.1' CENTERLINE
344.80'

327.52'
349.4' CENTERLINE

REFERENCE

- 1.) LIBER 10197 OF DEEDS, PAGE 646
 - 2.) LIBER 22 OF MAPS, PAGE 19
 - 3.) PUBLIC ABSTRACT #141265 DATED 6-17-2006
- ## CERTIFICATIONS
- 1.) FINUCANE & HARTZELL
 - 2.) CREARY & CREARY, ATTORNEYS
 - 3.) ARN AMRO MORTGAGE GROUP, INC., ITS SUCCESSORS AND/OR ASSIGNS
 - 4.) LEO G. FINUCANE AND CAROL A. FINUCANE
 - 5.) THE TITLE COMPANY INSURING THE MORTGAGE



"OWNERS OF THIS MAP NOT BEARING THE LAND SURVEYING NEED OF A LICENSED LAND SURVEYOR AND/OR AN ATTORNEY TO A MAP BEARING A LICENSED LAND SURVEYOR SEAL IS A VIOLATION OF SECTION 7006 OF THE NEW YORK STATE EDUCATION LAW"

"CERTIFICATIONS LISTED ABOVE SHALL NOT BE USED TO THE FURTHER OF THE STATE SURVEY HAS PREPARED, AND ON BE/BEARER'S INSTITUTION LISTED ABOVE, AND TO ASSIGNS OF THE LAND SURVEYOR, CERTIFICATIONS ARE NOT TRANSMITTABLE TO SUBSEQUENT OWNERS OF THESE INSTRUMENTS"

"UNLESS SHOWN ON NOTES, THE LOCATION OF LANDSCAPING PLANTINGS WAS NOT DETERMINED BY THIS SURVEY"

"THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY AND REFERENCES LISTED. THIS MAP IS SUBJECT TO ANY INSTRUMENTS OF RECORD NOT REPRESENTED."

WEST BROOK ROAD (40' R/W)

75.00' TO P.C. CENTERLINE

I, WILLIAM A. SKYMOUR, LSA50465 CERTIFY
THIS MAP WAS MADE JUNE 13, 2006
FROM NOTES OF AN INSTRUMENT SURVEY
COMPLETED ON JUNE 12, 2006

INSTRUMENT SURVEY MAP
155 WEST BROOK ROAD
BEING LOT 28A, LONG MEADOW SUBDIVISION
TOWN OF PITTSFORD
MONROE COUNTY, NEW YORK



FILE: 2006-1284

SCALE: 1"=40'

WILLIAM A. SKYMOUR LICENSED LAND SURVEYOR
2055 KENYON ROAD, ONTARIO, NEW YORK 14619
TEL: 1-315-524-9073 FAX: 1-315-524-8954

CODE COMPLIANCE AND DESIGN DATA

Design Component	Code	Provided
Foundation-	Frost foundation extending to 48" depth below finished grade.	Concrete footings with 6" wide CMU curb walls and a slab on grade for the new garage per these drawings.
Floor Joists-	Sleeping areas 30 psf Living areas 40 psf	The mudroom area shall be constructed on pressure treated floor joists placed on top of the concrete garage slab per the foundation plan.
Window and Door Headers-	Suitable to carry 40 psf snow load and second floor live loads as applicable.	Field constructed or Microlam wooden headers per plans.
Walls-	Stick framed suitable for R-21 insulation.	Stick framed 2x4s at 16" c-c Interior walls will be 2x4s at 16" c-c
Roof-	Stick framed or trusses designed to 40 psf snow loading	Trusses designed for 40 psf snow loading at 24" c-c and ceiling joists per plans for the mudroom
Natural Daylight and Ventilation-	Min. 8% of floor area shall be window; 4% of floor area for natural ventilation.	N/A
Egress-	A door or at least one operable sash of > 5.7 sf at less than 44" above finished floor.	N/A


ENERGY CONSERVATION NOTES

1. WALL INSULATION SHALL BE R-13 WITH CONTINUOUS TAPED BUILDING WRAP; CEILING INSULATION SHALL BE R-21; AND FLOOR INSULATION SHALL BE R-21.
2. DOUBLE GLAZED, LOW-E WINDOWS WITH A U-VALUE OF 0.30 OR BETTER SHALL BE USED. DOORS SHALL HAVE A U-VALUE OF 0.20 OR BETTER.
3. ANY RECESSED LIGHTING SHALL BE SHALLOW BOX FIXTURES THAT DO NOT PROTRUDE INTO THE ATTIC.
4. ALL OF THE NEW LIGHTING FIXTURES SHALL BE FITTED WITH ENERGY CONSERVING LED LAMPS.
5. THE GARAGE MAY BE INSULATED FOR COMFORT.

GENERAL NOTES

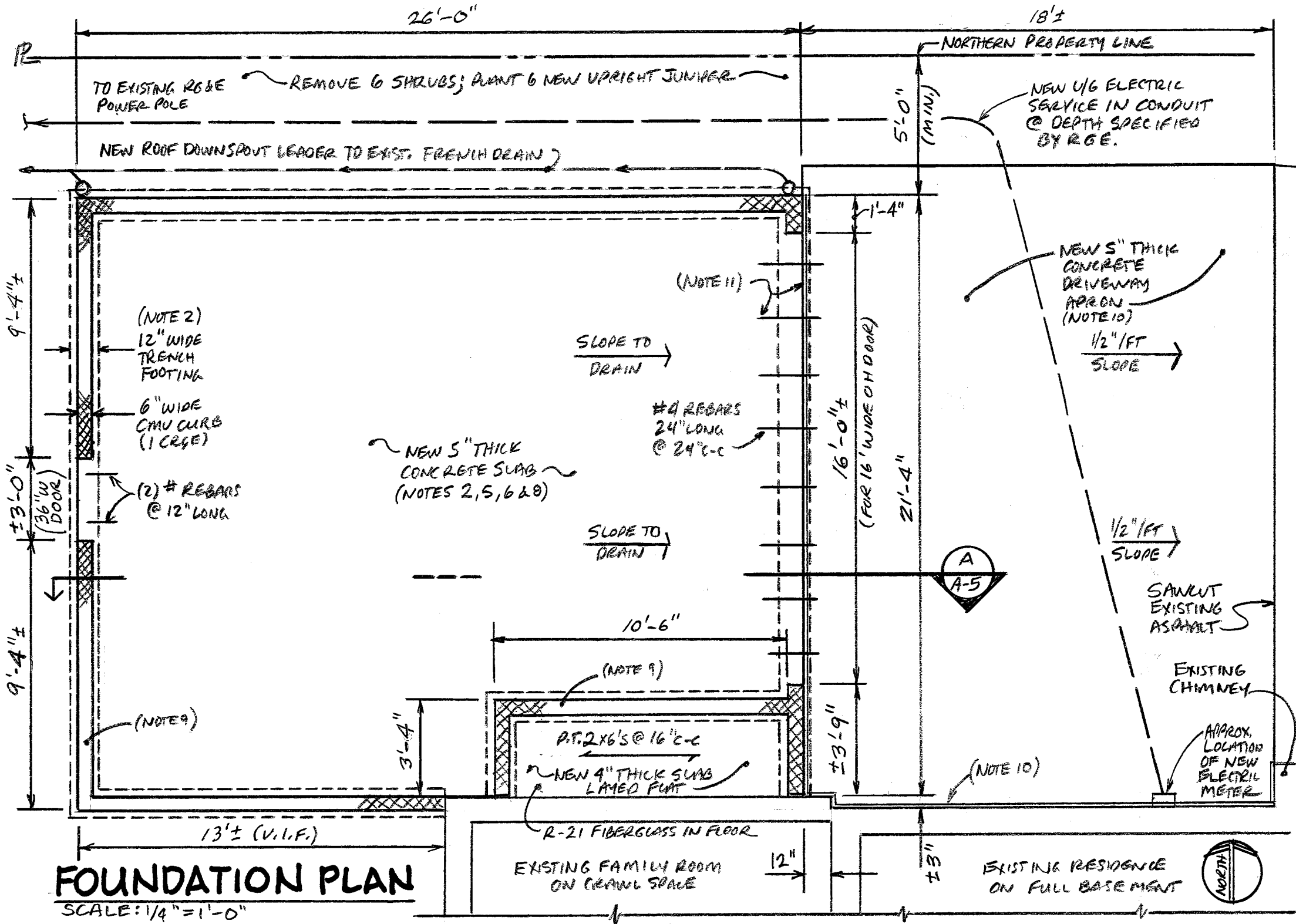
1. THE ADDITION TO THE EXISTING RESIDENCE IS A TWO-CAR ATTACHED GARAGE THAT REPLACES A ONE-CAR GARAGE THAT WILL BE DEMOLISHED. A SETBACK VARIANCE WAS GRANTED ON MARCH 17, 2025 TO ALLOW THE NEW STRUCTURE TO BE A MINIMUM OF FIVE FEET OFF THE PROPERTY LINE.
2. THIS PROJECT MEETS THE (2020) EDITION OF THE NYS RESIDENTIAL CODE.
3. A RESIDENTIAL ENERGY CODE ANALYSIS HAS BEEN PERFORMED FOR ONLY THE PORTION OF THE MUDROOM WITHIN THE GARAGE FOOTPRINT.
4. THE EXISTING OVERHEAD ELECTRICAL SERVICE ON THE NORTHERN WALL OF THE EXISTING GARAGE SHALL BE REMOVED AND RELOCATED TO AN UNDERGROUND SERVICE, IN CONDUIT, OUTSIDE THE LIMITS OF THE NEW GARAGE FOUNDATION. THE EXISTING SHRUBS WILL NEED TO BE REMOVED AND REPLACED.
5. ELECTRICAL DISTRIBUTION FOR THE ADDITION IS AN EXTENSION OF THE EXISTING ELECTRIC SYSTEM. A SEPARATE BREAKER SUB PANEL FOR THE NEW WORK MAY BE DESIRABLE. THE EXISTING ELECTRIC VEHICLE CHARGING STATION SHALL BE RELOCATED TO THE INSIDE OF THE NEW GARAGE. A LICENSED ELECTRICIAN SHOULD BE CONSULTED TO DETERMINE THE BEST LOCATION OF THE NEW SUB PANEL AND SHALL SIZE IT TO ACCOMMODATE THE ADDITION, THE CHARGING STATION AND GFI RECEPTACLE(S) WITHIN THE NEW ADDITION.
6. ONE HARD-WIRED HEAT DETECTOR SHALL BE INSTALLED IN THE NEW GARAGE.
7. NEW EXTERIOR FINISHES SHALL MATCH THE EXISTING RESIDENCE, OR AS MODIFIED BY THE OWNER.
8. ONLY PLANS APPROVED BY THE LOCAL MUNICIPALITY SHALL BE USED FOR CONSTRUCTION.

PROJECT DATA

Project Owners: Leo and Carol Finucane		Engineer: 3/27/25	Kip Finley, PE d.b.a. Victory Hill Land Company 868 Winslow Road Churchville, New York 14428 (585) 451-6538 kipfinley@gmail.com
Scale:	1/4" = 1'-0" (and as shown)	Copyright:	These documents are covered by Copyright of Kip Finley, PE and shall not be altered other than by the Engineer.
Revisions:			ATTACHED GARAGE FINUCANE RESIDENCE 155 WEST BROOK ROAD TOWN OF PITTSFORD, NEW YORK SHEET A- 1

FOUNDATION NOTES

1. THE FOUNDATION HAS BEEN DESIGNED FOR LOCAL CONDITIONS BASED ON DATA IN THE NATIONAL RESOURCES CONSERVATION SERVICES (NRCS) AS FOLLOWS: ApA- APPLETON LOAM @2000 psf BEARING CAPACITY.
2. CONCRETE SHALL BE PROVIDED AS FOLLOWS:
FOOTINGS- MIN. 2500 psi
GARAGE SLAB FLOOR MIN. 3500 psi
DRIVEWAY SLAB MIN. 3500 psi
3. NOTIFY ENGINEER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION. GROUNDWATER IS ANTICIPATED TO BE AN ISSUE WITH THIS EXCAVATION. A 12" WIDE TRENCH FOOTING IS SPECIFIED.
4. HORIZONTAL AND VERTICAL REINFORCING SHALL BE SPECIFIED ON THE DRAWINGS. FOOTING REBARS SHALL BE OVERLAPPED AND TIED TO CREATE CONTINUOUS LENGTHS OF BAR. VERTICAL #4 REBAR SHALL BE PLACED INTO THE FOOTING AT 48" (maximum) CENTERS AND EXTEND INTO THE CONCRETE MASONRY UNITS (CMU's). ALL VERTICAL BARS SHALL BE GROUTED WITHIN THE CMU's.
5. THE MINIMUM 5" THICK CONCRETE FLOOR SLAB SHALL BE PLACED ON TOP OF A MINIMUM 6-mil VAPOR BARRIER AND MINIMUM 6" THICKNESS OF #1 CRUSHED STONE OR PEA GRAVEL. THE SLAB SHALL SLOPE TOWARD THE DOOR.
6. WELDED 6x6 WELDED WIRE FABRIC OR FIBERCRETE MAY BE USED TO STRENGTHEN THE FLOOR SLAB.
7. USE A PLASTIC EXPANSION/COMPRESSION JOINT BETWEEN THE NEW SLAB AND THE EXISTING RESIDENCE WALL.
8. SAW CUT CONTROL JOINTS IN THE SLAB TO REDUCE CRACKING.
9. ALL SILL PLATES SHALL BE PRESSURE TREATED LUMBER AND SHALL BE INSTALLED WITH WEATHER-PROOFING SILL SEAL. ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMTER WITH A BURY DEPTH OF AT LEAST 8 INCHES. ANCHORS SHALL BE SPACED AT NO MORE THAN 72" c-c, AND AT LEAST TWO PER SILL PLATE BOARD.
10. THE NEW 5" THICK DRIVEWAY SLAB SHALL ALSO BE SLOPED TOWARD THE ROAD AT APPROXIMATELY 1/2" OF RISE PER 12" OF RUN. AN EXPANSION JOINT SHALL BE USED AT THE INTERFACE WITH THE EXISTING BASEMENT WALL OF THE RESIDENCE, AND SHALL BE CAULKED TO PREVENT WATER INFILTRATION.
11. REBARS SHALL BE INSTALLED BETWEEN THE NEW DRIVEWAY SLAB AND THE NEW FLOOR SLAB AS SHOWN ON THE PLAN. THE COLD JOINT SHALL ALSO HAVE AN EXPANSION JOINT AND SHALL BE CAULKED.



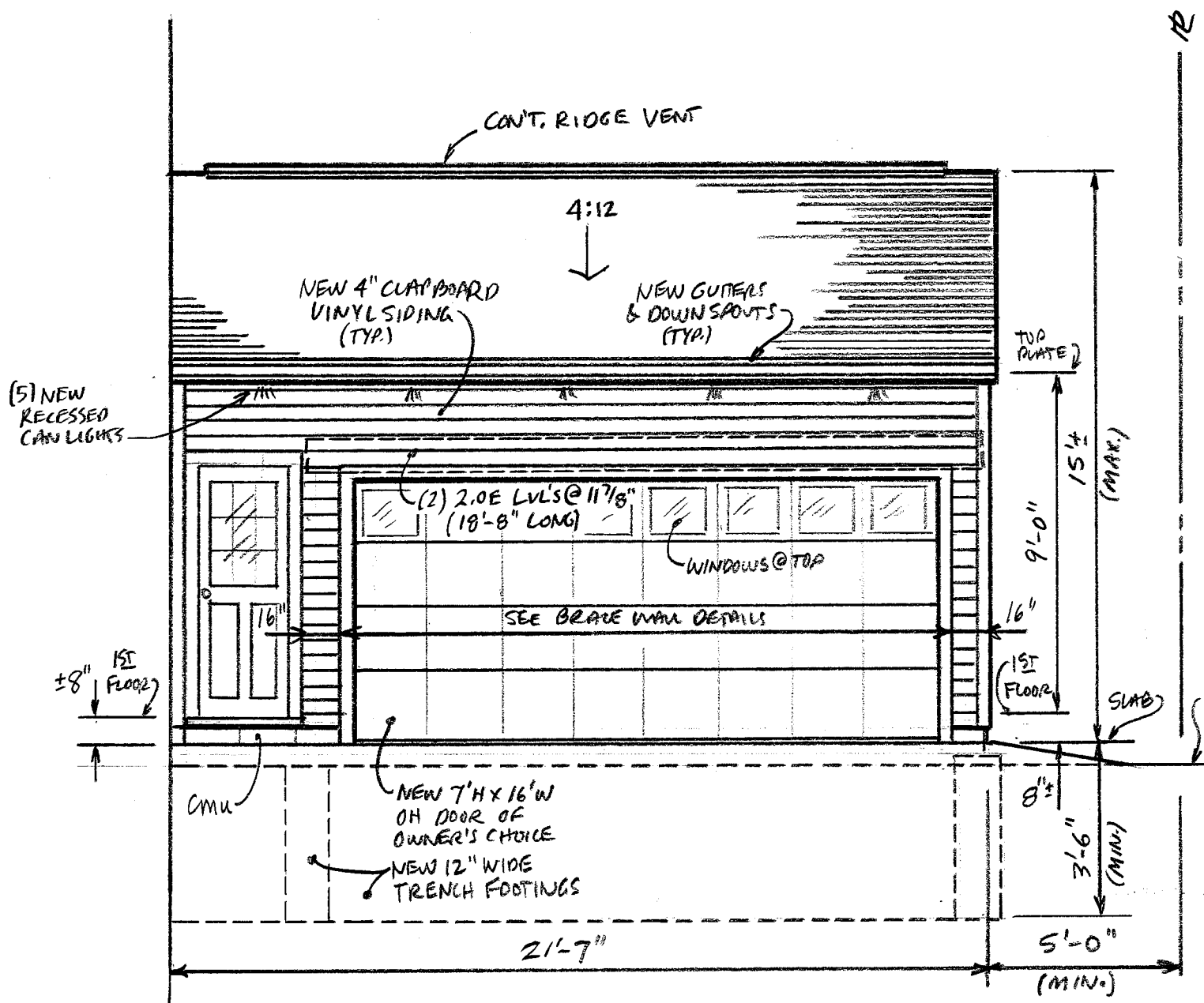
REVISIONS

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2025: Alterations
Permitted by Engineer Only

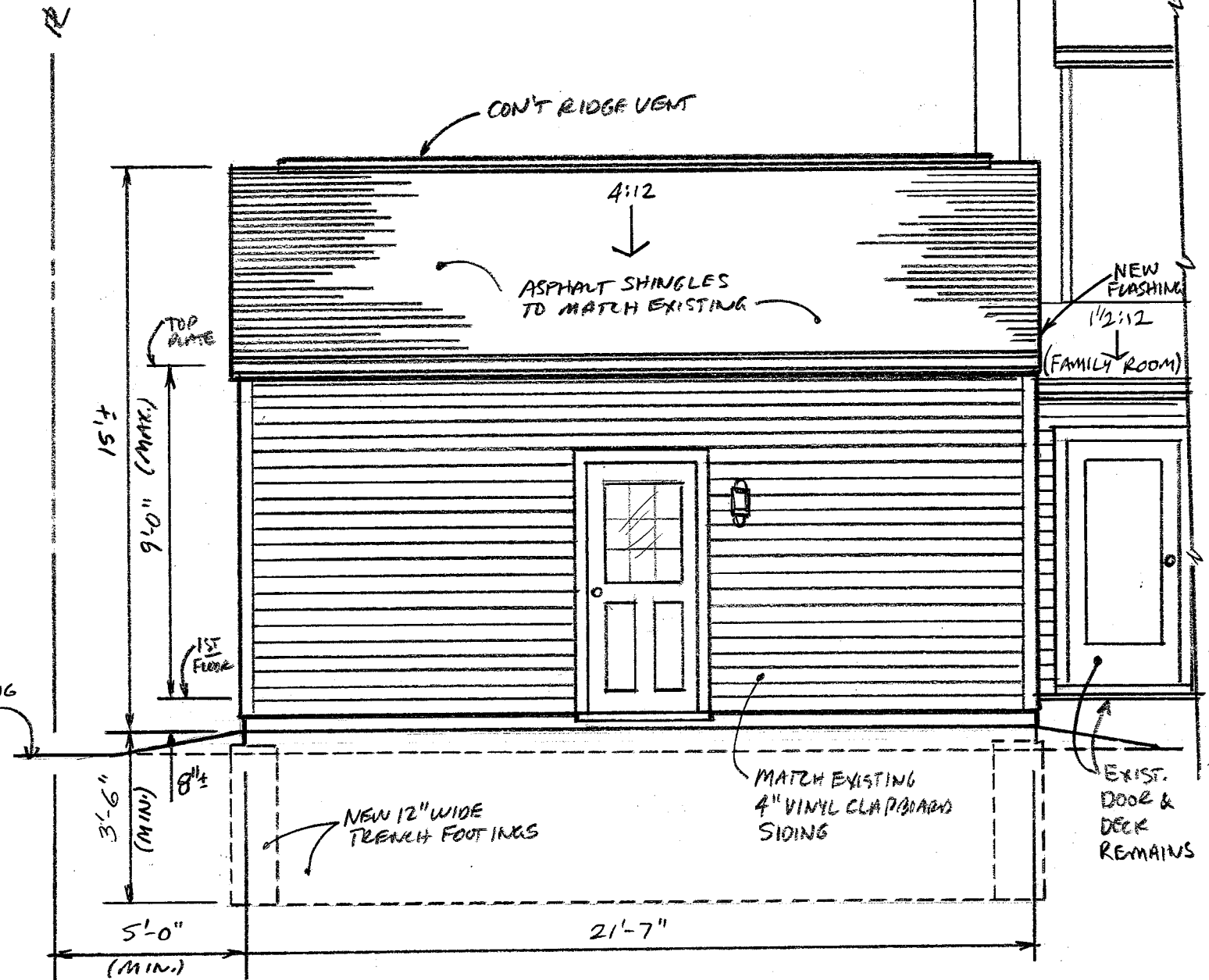


ATTACHED GARAGE
FINUCANE RESIDENCE
155 WEST BROOK ROAD
TOWN OF PITTSFORD, NEW YORK
SHEET F- 1



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

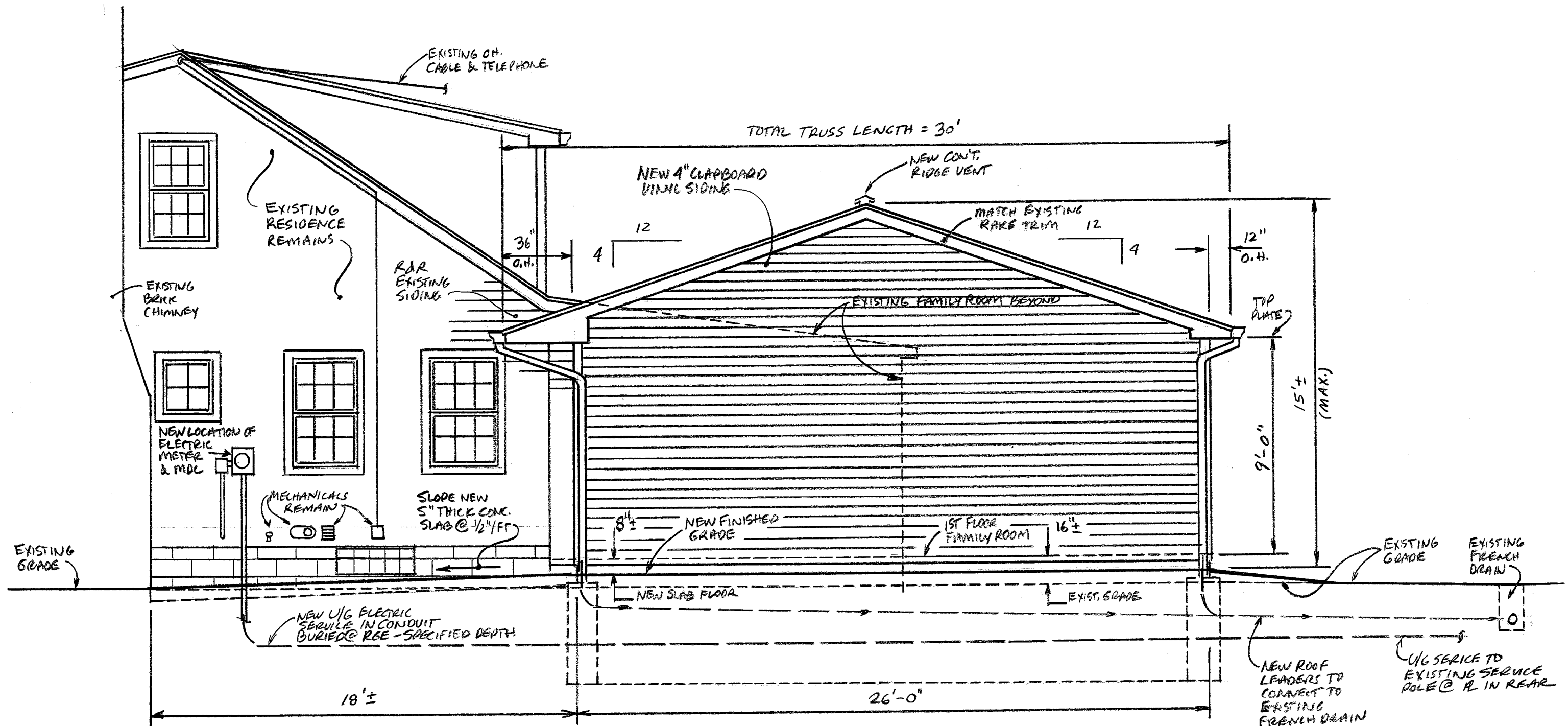
Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2025: Alterations
Permitted by Engineer Only



ATTACHED GARAGE
FINUCANE RESIDENCE
155 WEST BROOK ROAD
TOWN OF PITTSFORD, NEW YORK

SHEET A-3



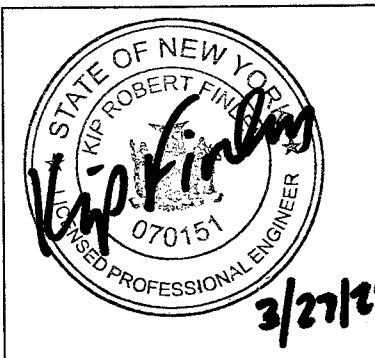
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

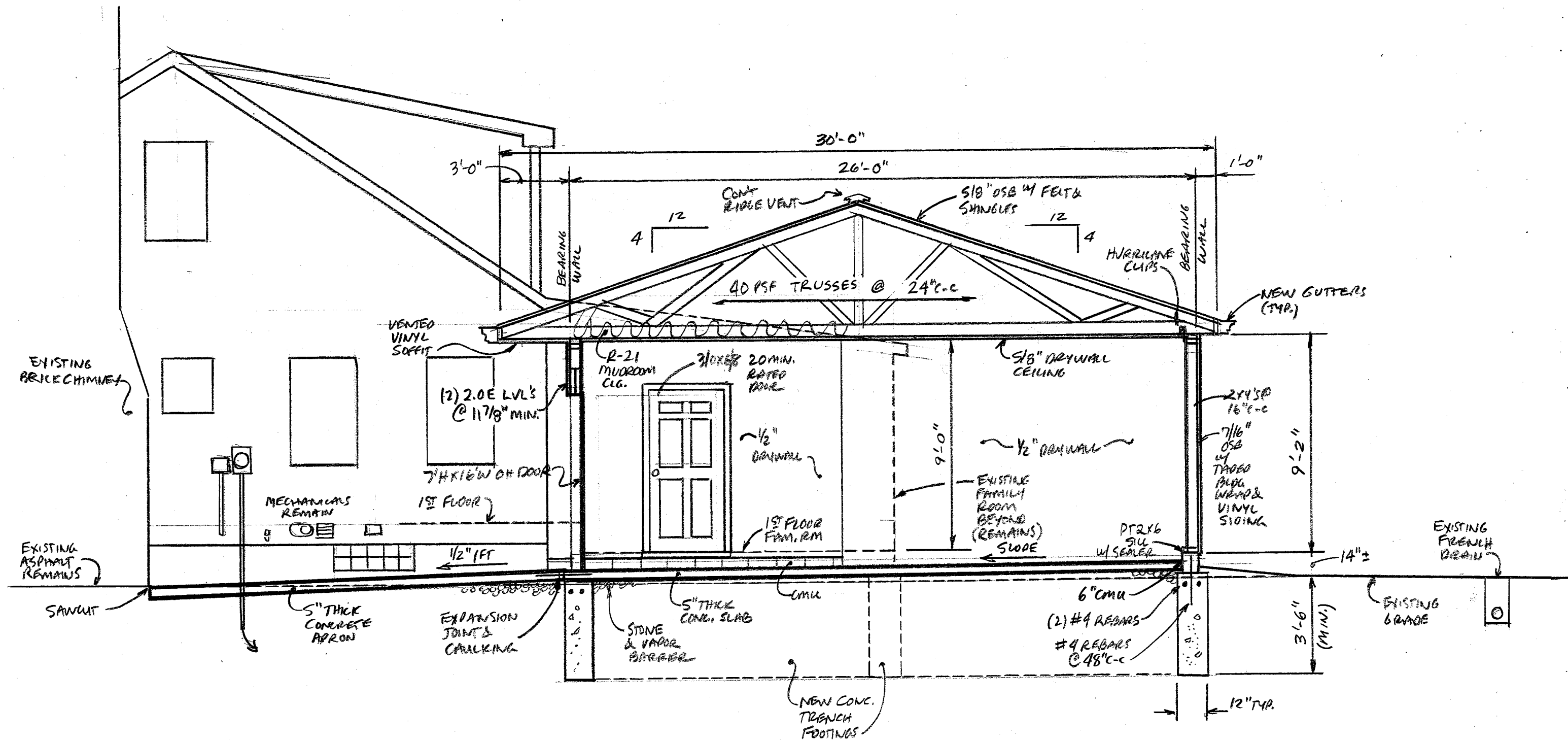
REVISIONS:

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2025: Alterations
Permitted by Engineer Only



ATTACHED GARAGE
FINUCANE RESIDENCE
155 WEST BROOK ROAD
TOWN OF PITTSFORD, NEW YORK
SHEET A-4

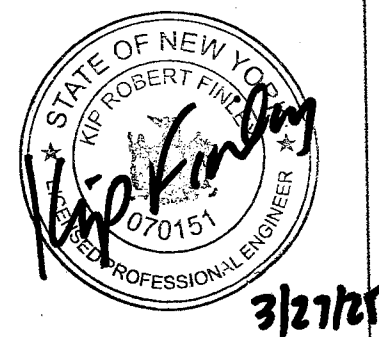


(A) GARAGE SECTION SCALE: 1/4" = 1'-0"

REVISIONS:

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2025: Alterations
Permitted by Engineer Only



ATTACHED GARAGE
FINUCANE RESIDENCE
155 WEST BROOK ROAD
TOWN OF PITTSFORD, NEW YORK
SHEET A-5

PROJECT NOTES

- THE INFORMATION/DETAILS ON THIS SHEET HAVE BEEN SPECIFICALLY REVIEWED AND EDITED FOR USE ONLY AT THIS ADDRESS:
155 WEST BROOK ROAD
- BRACED WALL PANEL CONSTRUCTION IS SPECIFIED IN SECTION R602.10.4 OF THE 2020 NEW YORK STATE RESIDENTIAL CODE AS A METHOD TO RESIST LATERAL LOADS ON WALLS.
- CONTINUOUSLY SHEATHED- PORTAL FRAME (CS-PF) CONSTRUCTION IS SPECIFIED FOR THIS PROJECT IN THE LOCATIONS SHOWN ON THE BUILDING ELEVATION DRAWING(S) AND MARKED WITH A CROSS HATCHING.
- THESE DETAILS SHOW SPECIFIC TREATMENT FOR THE WALL SHEATHING, WALL ATTACHMENT TO THE FLOOR/SLAB, AND WALL ATTACHMENT TO THE HEADER AND TOP PLATE WHERE THE ROOF IS ATTACHED TO THE WALLS.

TABLE R602.10.6.4

TENSION STRAP CAPACITY FOR RESISTING WIND PRESSURES PERPENDICULAR TO METHODS PFH, PFG AND CS-PF BRACED WALL PANELS^a

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	MAXIMUM OPENING WIDTH (feet)	TENSION STRAP CAPACITY REQUIRED (pounds) ^a					
				Ultimate Design Wind Speed V_{ult} (mph)					
				110	115	130	110	115	130
				Exposure B			Exposure C		
2 x 4 No. 2 Grade	0	10	18	1,000	1,000	1,000	1,000	1,000	1,050
	1	10	9	1,000	1,000	1,000	1,000	1,000	1,750
			16	1,000	1,025	2,050	2,075	2,500	3,950
			18	1,000	1,275	2,375	2,400	2,850	DR
	2	10	9	1,000	1,000	1,475	1,500	1,875	3,125
			16	1,775	2,175	3,525	3,550	4,125	DR
			18	2,075	2,500	3,950	3,975	DR	DR
	2	12	9	1,150	1,500	2,650	2,675	3,175	DR
			16	2,875	3,375	DR	DR	DR	DR
			18	3,425	3,975	DR	DR	DR	DR
	4	12	9	2,275	2,750	DR	DR	DR	DR
			12	3,225	3,775	DR	DR	DR	DR
2 x 6 Stud Grade	2	12	9	1,000	1,000	1,700	1,700	2,025	3,050
			16	1,825	2,150	3,225	3,225	3,675	DR
			18	2,200	2,550	3,725	3,750	DR	DR
	4	12	9	1,450	1,750	2,700	2,725	3,125	DR
			16	2,050	2,400	DR	DR	DR	DR
			18	3,350	3,800	DR	DR	DR	DR

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s.

DR = Design Required.

a. Straps shall be installed in accordance with manufacturer's recommendations.

Simpson Strong-Tie® Wood Construction Connectors

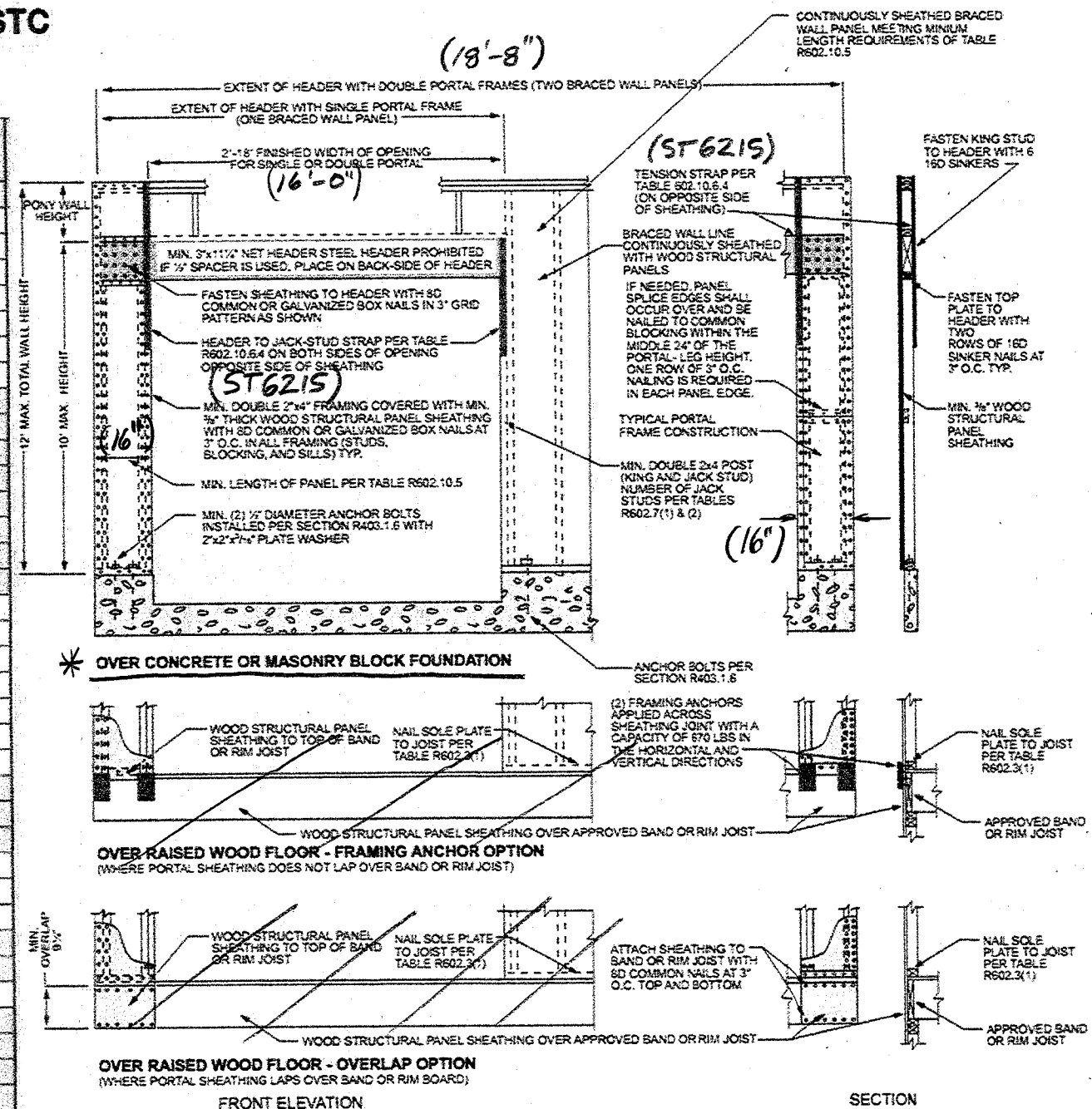
HRS/ST/HTP/LSTA/LSTI/MST/MSTA/MSTC

These products are available with additional corrosion protection. For more information, see p. 14.

For stainless-steel fasteners, see p. 21.

Model No.	Ga.	Dimensions (in.)		Fasteners (Total) (in.)	Allowable Tension Loads (DF/SP) (160)	Allowable Tension Loads (SPE/HF) (160)
		W	L			
ST2115	20	3/4	16 3/4	(10) 0.162 x 2 1/2	660	660
LSTA9		1 1/4	9	(8) 0.148 x 2 1/2	740	635
LSTA12		1 1/4	12	(10) 0.148 x 2 1/2	925	795
LSTA15		1 1/4	15	(12) 0.148 x 2 1/2	1,110	955
LSTA18		1 1/4	18	(14) 0.148 x 2 1/2	1,235	1,115
LSTA21		1 1/4	21	(16) 0.148 x 2 1/2	1,235	1,235
LSTA24	20	1 1/4	24	(18) 0.148 x 2 1/2	1,235	1,235
LSTA30		1 1/4	30	(22) 0.148 x 2 1/2	1,640	1,640
LSTA36		1 1/4	36	(24) 0.148 x 2 1/2	1,640	1,640
MSTA9		1 1/4	9	(8) 0.148 x 2 1/2	750	650
MSTA12		1 1/4	12	(10) 0.148 x 2 1/2	940	810
MSTA15		1 1/4	15	(12) 0.148 x 2 1/2	1,130	970
MSTA18	18	1 1/4	18	(14) 0.148 x 2 1/2	1,315	1,135
MSTA21		1 1/4	21	(16) 0.148 x 2 1/2	1,535	1,295
MSTA24		1 1/4	24	(18) 0.148 x 2 1/2	1,640	1,460
MSTA30		1 1/4	30	(22) 0.148 x 2 1/2	2,050	1,825
MSTA36		1 1/4	36	(26) 0.148 x 2 1/2	2,050	2,050
MSTA49		1 1/4	49	(26) 0.148 x 2 1/2	2,020	2,020
ST9	16	1 1/4	9	(8) 0.162 x 2 1/2	885	765
ST12		1 1/4	11 3/4	(10) 0.162 x 2 1/2	1,105	955
ST18		1 1/4	17 3/4	(14) 0.162 x 2 1/2	1,420	1,335
ST22		1 1/4	21 3/4	(19) 0.162 x 2 1/2	1,420	1,420
HRS6	12	1 1/4	6	(6) 0.148 x 2 1/2	605	530
HRS8		1 1/4	8	(10) 0.148 x 2 1/2	1,010	880
HRS12		1 1/4	12	(14) 0.148 x 2 1/2	1,415	1,230
ST292	20	2 1/4	9 3/4	(12) 0.162 x 2 1/2	1,260	1,120
ST2122		2 1/4	12 3/4	(16) 0.162 x 2 1/2	1,530	1,510
ST2215		2 1/4	15 3/4	(20) 0.162 x 2 1/2	1,875	1,875
ST6215	16	2 1/4	15 3/4	(20) 0.162 x 2 1/2	2,090	1,910
ST6224		2 1/4	23 3/4	(28) 0.162 x 2 1/2	2,535	2,535
ST6236		2 1/4	33 3/4	(40) 0.162 x 2 1/2	3,845	3,845
MST26	12	2 1/4	26	(26) 0.148 x 1 1/2	2,745	2,380
MST36		2 1/4	36	(36) 0.148 x 1 1/2	3,800	3,295
MST48		2 1/4	48	(48) 0.148 x 1 1/2	5,070	4,390
MST60		2 1/4	60	(60) 0.148 x 1 1/2	5,070	5,070
MST72	16	2 1/4	72	(72) 0.148 x 1 1/2	5,070	5,070
HTP37Z		3	7	(20) 0.148 x 1 1/2	900	690
MSTC28		3	28 1/4	(36) 0.148 x 3/4	3,460	2,990
MSTC40		3	40 1/4	(52) 0.148 x 3/4	4,735	4,315
MSTC52	16	3	52 1/4	(62) 0.148 x 3/4	4,735	4,735

Fasteners: Nail dimensions are listed diameter by length. SDS screws are Simpson Strong-Tie® Strong-Drive SDS Heavy-Duty Connector screws. See pp. 21-22 for fastener information.



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.10.6.4

METHOD CS-PF—CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

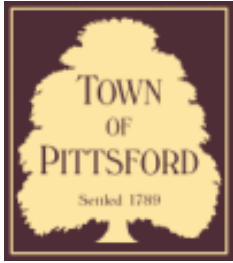
REVISIONS

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2021: Alterations
Permitted by Engineer Only



CONTINUOUSLY-SHEATHED PORTAL
FRAME PANEL "BRACE WALL" DETAILS
FOR NEW RESIDENTIAL CONSTRUCTION



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000045

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 10 Kimberly Road PITTSFORD, NY 14534

Tax ID Number: 151.12-4-20

Zoning District: RN Residential Neighborhood

Owner: Garigliano, Nicholas

Applicant: Upstate Drainage & Mold LLC

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

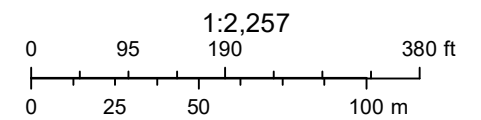
Project Description: Applicant is requesting design review for Interior renovation requiring relocation of a window.

Meeting Date: April 10, 2025

RN Residential Neighborhood Zoning



Printed April 2, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



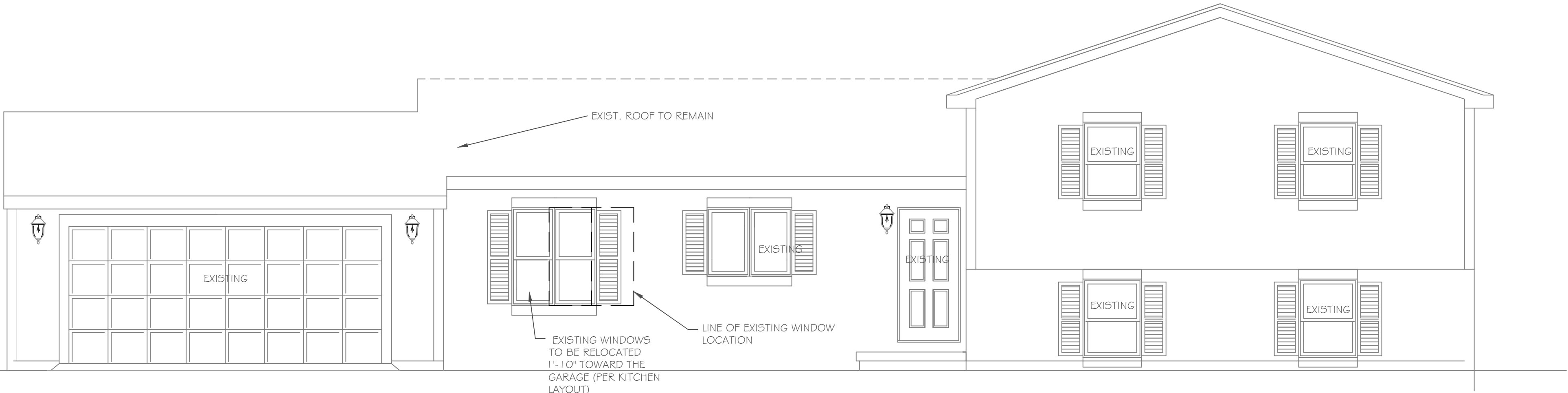
DEMOLITION NOTES:

- A.** It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B.** All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C.** Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D.** Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E.** Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active man or riser.
- F.** Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G.** On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.

- H.** All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- I.** The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- J.** The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- K.** The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- L.** The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- M.** Storage for contractor's equipment and debris must be kept inside the contract area.
- N.** Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- O.** If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

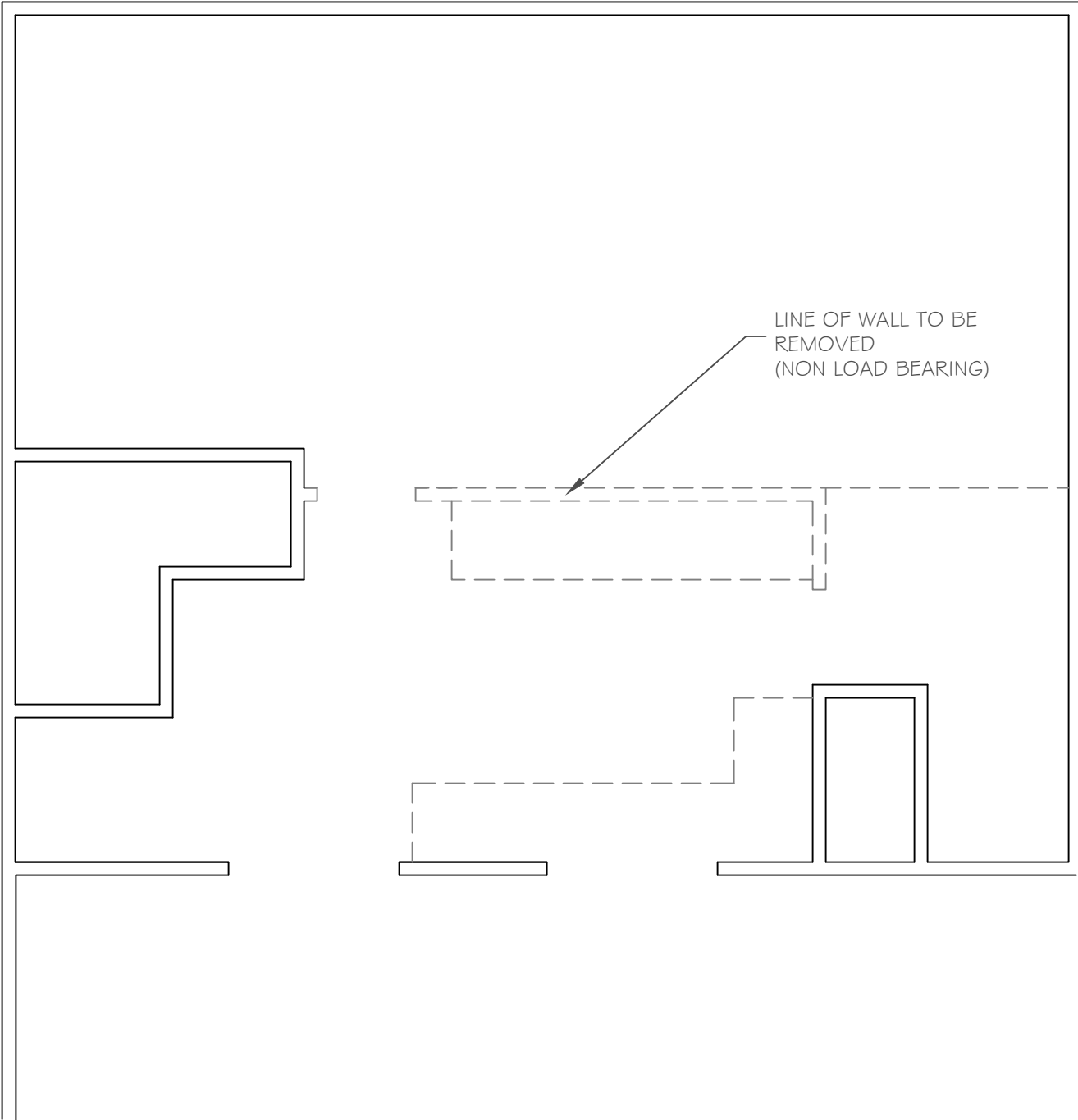
CONSTRUCTION NOTES:

- 1.** Construction shall conform to the residential code of New York State.
- 2.** Comply with all local, state and federal codes and regulations.
- 3.** General Contractor is responsible for all materials, construction methods and craftsmanship.
- 4.** General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- 5.** General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
- 6.** Contractor's are responsible for coordinating work with other trades wherever they overlap.
- 7.** When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- 8.** Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- 9.** All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
- 10.** All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- 11.** All dimensions are face of wall to face of wall (rough).
- 12.** Exterior stud wall framing shall be 2 x 4 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
- 13.** No site visits will be made by this Architect. contractor shall assume all responsibility for changes to these drawings.
- 14.** Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
- 15.** Call UPFO before you dig, 1-800-962-7962
- 16.** All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
- 17.** Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- 18.** Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
- 19.** Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
- 20.** To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
- 21.** These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



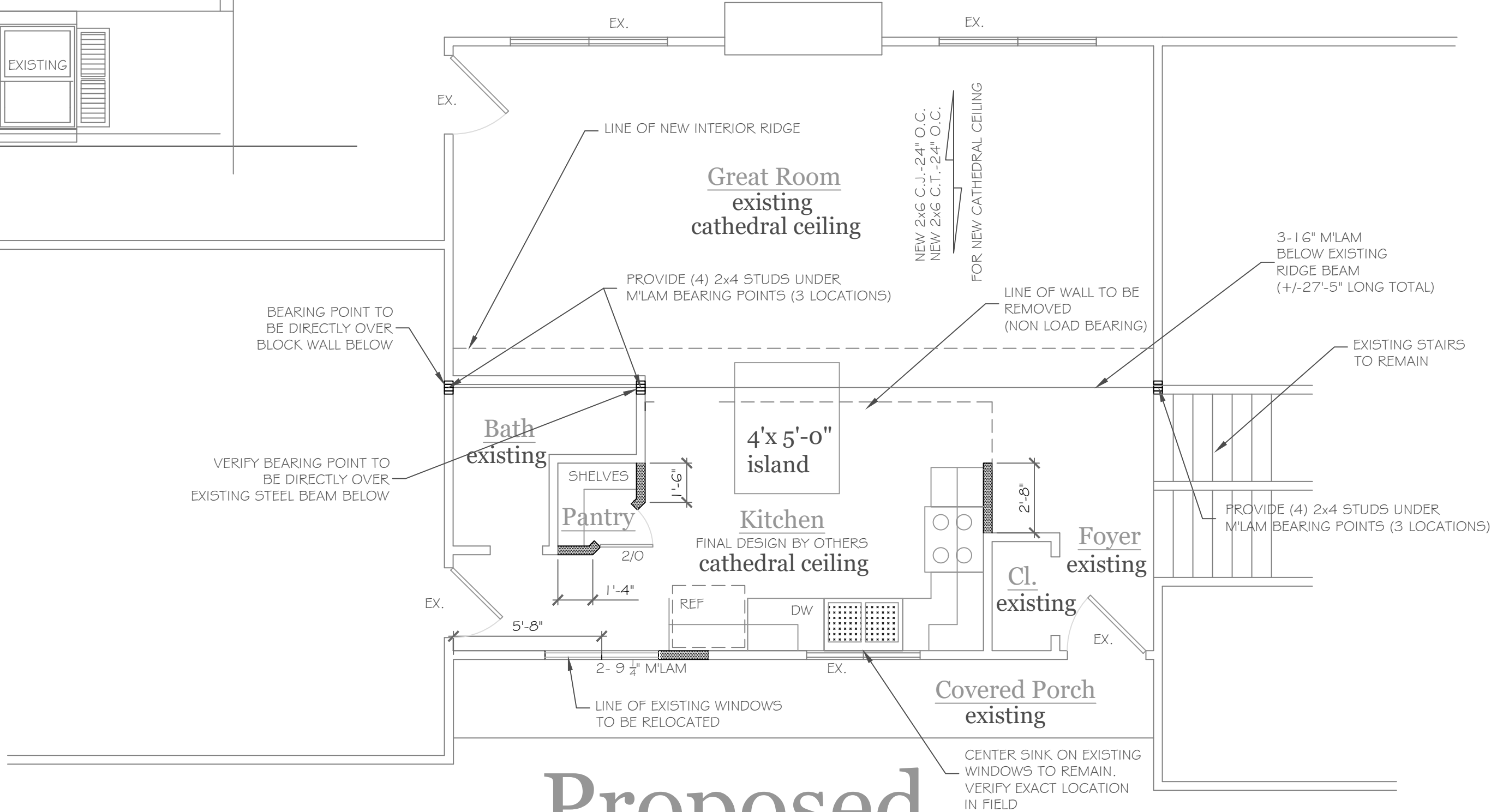
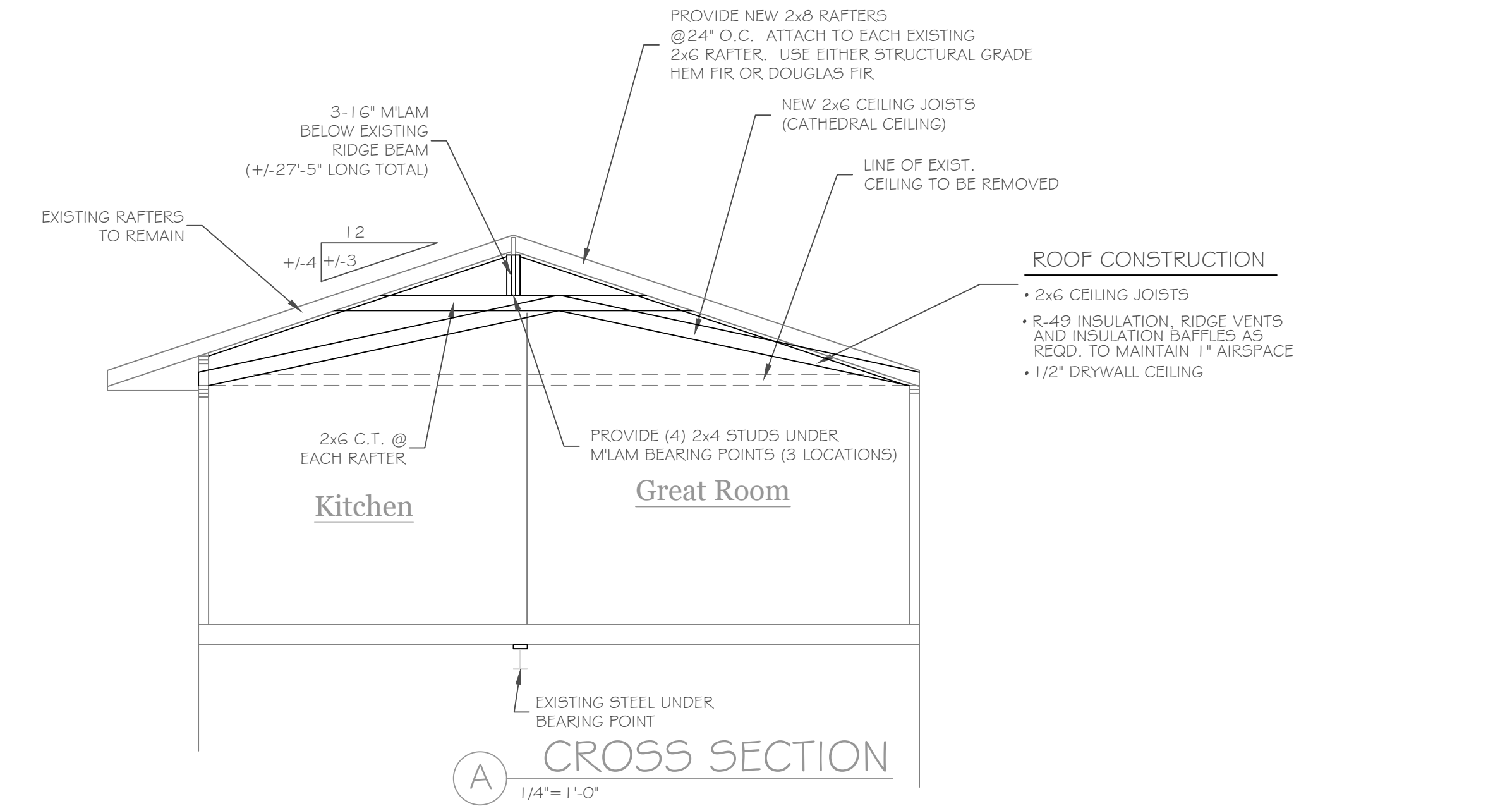
FRONT ELEVATION 557 square feet Addition

- NOTE: - WINDOWS TO BE "ANDERSEN 200 SERIES" (HP LOW-E)
- DOUBLE-HUNG (OR EQUAL)
- DOORS TO BE "ANDERSEN" (OR EQUAL)
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



First Floor Demolition Plan

1/4"=1'-0"



Proposed First Floor Plan

1/4"=1'-0"

WALL KEY & NOTES

- : EXIST. 2 x FRAME WALL
— : NEW 2 X STUDS @ 16" O.C.
- ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.

G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■
WINDOW R.O. HTS. TO BE +/- 6'-10 1/2" (U.O.N.)
CLG. HTS. TO BE AS NOTED (NEW & EXIST. FLOOR & CEIL. LEVELS TO ALIGN)
ALL ANGLES TO BE 12/12 U.O.N.
REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
Ⓢ : WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

COPYRIGHT NOTICE:
These plans are instruments of service and may not be altered, reproduced, or copied without the written consent of the architect. Unauthorized alterations to these plans is a violation of the professional seal of the architect. Section 7209, Article 145, E.O. 14176, 39 USC 3113.
CKH Architecture, P.A.
Copyright ©
All rights reserved.

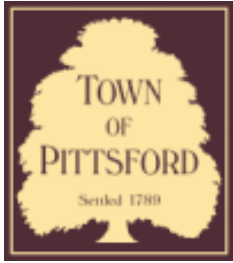
REVISIONS-		NO.	DATE	DESCRIPTION

DRAWING TITLE-		PHASE-
Floor Plans & Section		Construction Documents
PROJECT- Additions & Renovations to: 10 Kimberly Drive, Pittsford, N.Y.	CLIENT- Corinne Dempsey	JOB NO - A24-033
		DATE- March 17, 2025

CKH
architecture
6605 Pittsford Palmyra Road
Suite W5
Fairport, New York 14450
phone-(585) 249-1134
e-mail-CKHemessey@frontiernet.net

DRAWING NO. -

A-1



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B25-000041

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 17 Merryhill Lane PITTSFORD, NY 14534

Tax ID Number: 163.16-2-5

Zoning District: RN Residential Neighborhood

Owner: Heatwole, Chad R

Applicant: Todd Alexander Enterprises, Inc.

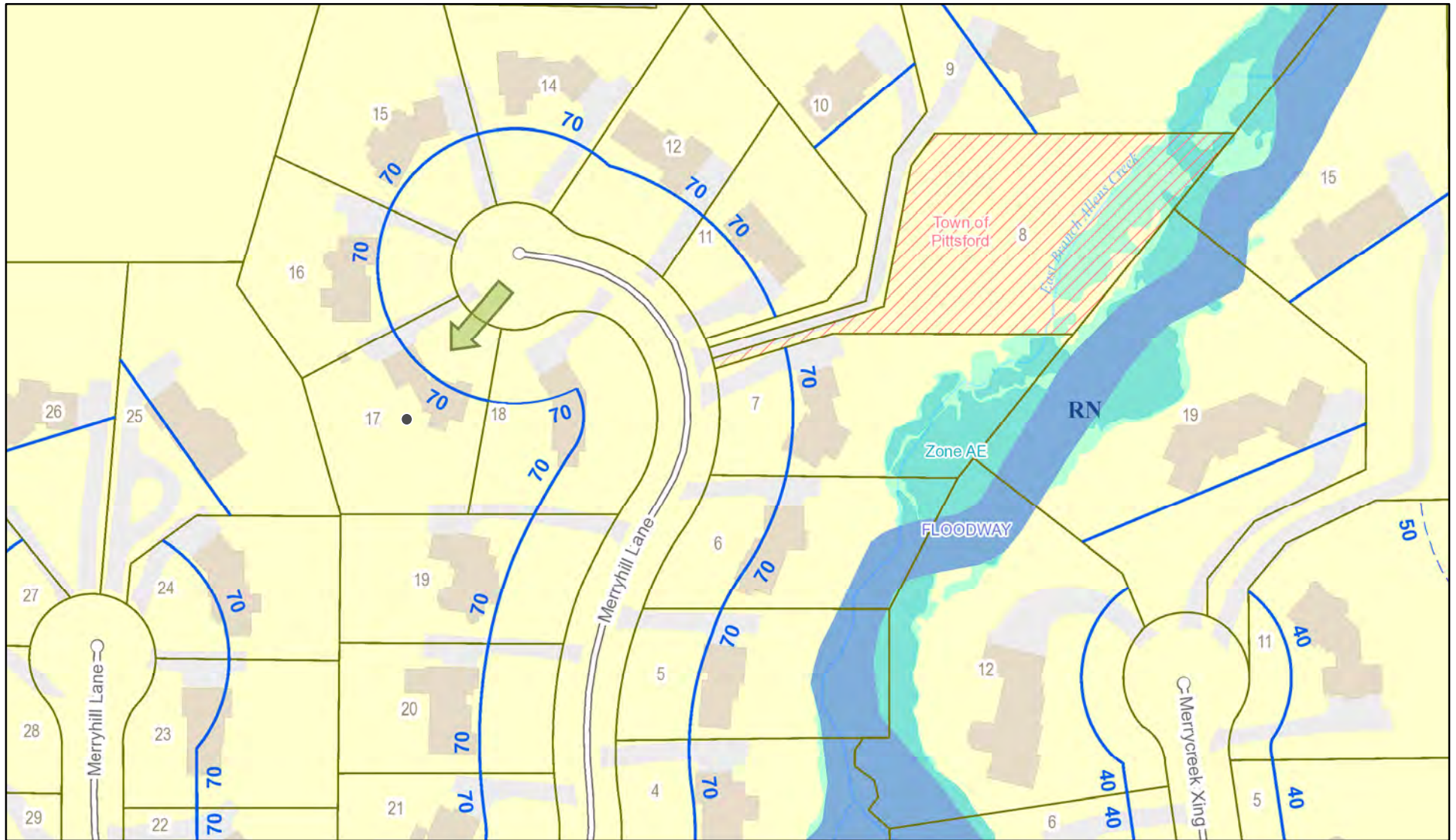
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

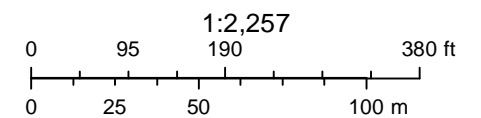
Project Description: Applicant is requesting design review for Interior renovation requiring removal of exterior door.

Meeting Date: April 10, 2025

RN Residential Neighborhood Zoning



Printed April 2, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Merryhill Lane

5

20

23

24

6

19

25

7

18

17

16

11

9

10



**17 Merryhill Lane
Pittsford**

View from the
road & and front
yard



Powder Room Window

Door we would like to remove

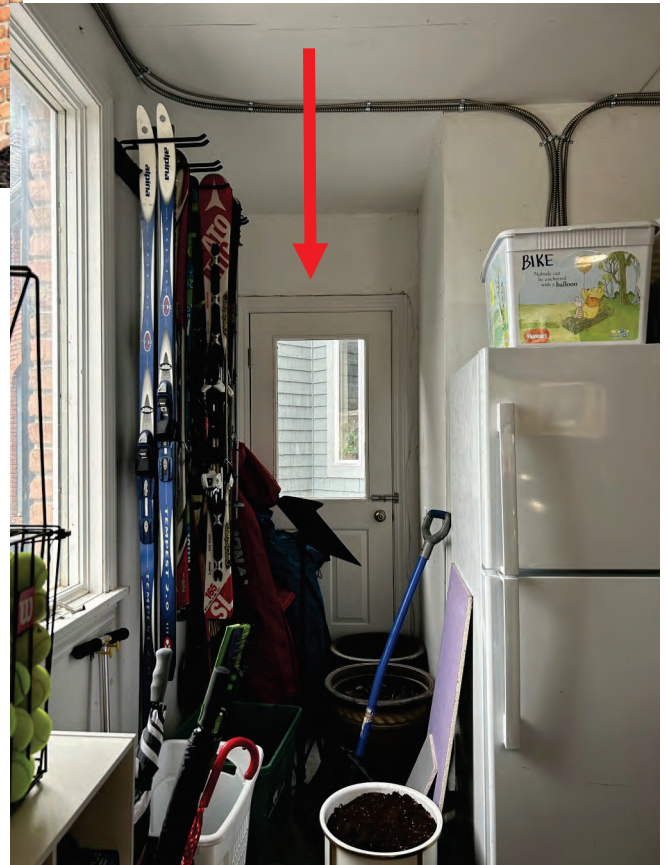


Susy Bordin Heatwole
585-737-7114
susyb7472@gmail.com

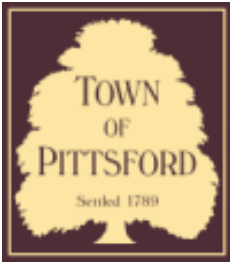


Current Powder
Room Window

Interior & Exterior views
of the door that we
would like to remove
and replace with a wall
that mirrors the current
cedar siding



The door has a small alcove (approx. 4'x4')
where we propose to put the stand up
shower).



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C24-000132

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: prop should not exceed 2950characters.');

document.SubmitWO.CF_43881.focus();}" >prop should not exceed 2950characters.');

document.SubmitWO.CF_43881.focus();}" >C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Wilmorite Construction LLC

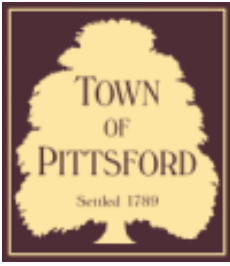
Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for facade changes at the Ulta space at Pittsford Plaza.

Meeting Date: April 10, 2025





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S25-000005

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Wilmorite Construction LLC

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a 75 Sq Ft. sign for Ulta Beauty Store at Pittsford Plaza

Meeting Date: April 10, 2025



Store #2015 - Pittsford Plaza
3349 Monroe Ave
Rochester, NY 14618

SO #200833 | Created: 06.10.2024 | Last Revised: 04.01.2025

SIGN SCOPE INDEX

- 501 (1) Set Illuminated Channel Letters on Background
- 502 S/F Temporary Construction Sign w/ Skid - Not noted on site plan
- 503 (2) Portable Parking Signs - Not noted on site plan

APPLICABLE CODE

- WALL SIGNS: TBD
- Allowable Square Footage: **75 SF**
- Proposed Front S.F.: **75 SF**



Revision Log

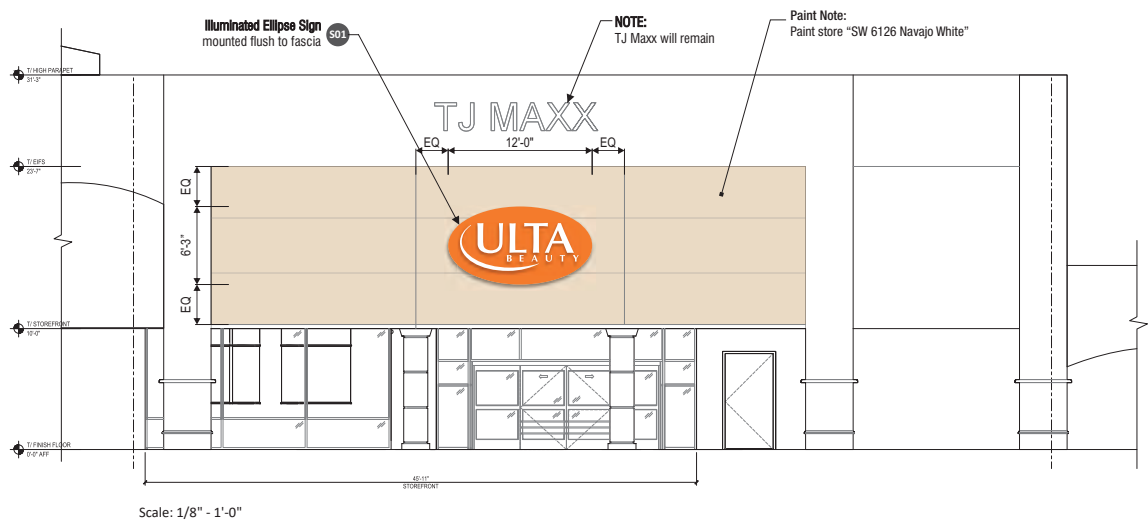
- 1 06/20/24 Site Map Updated.
- 2 06/28/24 Update store number
- 3 12/13/24 Updated Parking Sign Graphics
- 4 02/05/25 Updated Elevation
- 5 02/19/25 PP Centered sign on reveal band.
- 6 03/27/25 PP Sign size reduced.
- 7 04/01/25 PP Custom Temp Sign, Custom Parking Signs.



LL Signature: _____
Printed Name: _____
Company: _____
Date: _____

FRONT ELEVATION

Build-Out Plan



Note:
Elevation shown is preliminary, field survey required prior to fabrication of letters & awnings.

The storefront elevation (including the awnings) shown in this exhibit is only for design intent purposes. The final storefront elevation shall be as set forth in Landlord's final plans and specifications mutually approved by Landlord and Tenant.

S01 (1) Set Illuminated Channel Letters on Background

No control joints or reveals around the sign area.
All joint location to be on all shell approved plans for review and approval.

Note:
The awning dimensions shown must be field verified by the awning manufacturer prior to fabrication. No awning shall protrude past the curb line into the vehicle lane. The dimensions shown are prototypical and will not be functional for every application and are not shown as an approval for construction.



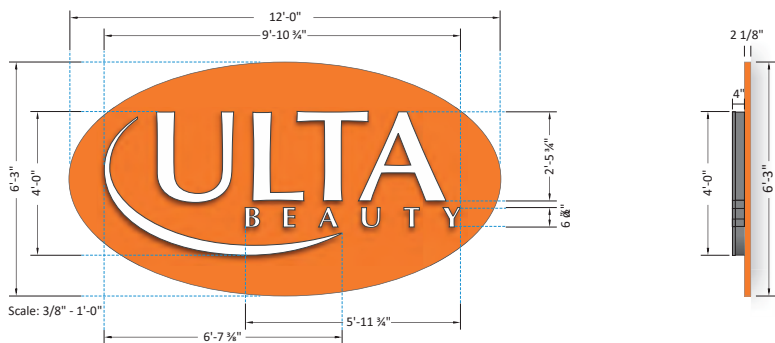
National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:
NR 02.05.2025 Updated Elevation
PP 02.09.2025 Sign re-centered within real panel

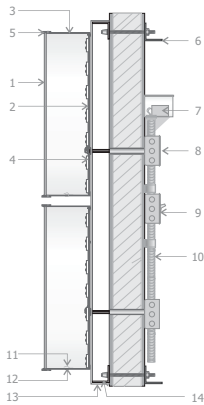
LL Signature: _____
Printed Name: _____
Company: _____
Date: _____

Store #2015

PM: JE	Address: 3349 Monroe Ave
Drawn By: JT	City State: Rochester, NY 14618
Date: 04.01.2025	Drawing Number 200833-ELEV



Remote Wired with
Controlled Background Panel



1	acrylic face
2	3mm ACM aluminum back
3	4" returns to be .040 aluminum
4	illumination to be provided by LED
5	aluminum retainers painted "Slate Gray"
6	mounting varies upon location and wall material
7	power supply remote
8	junction box
9	listed disconnect switch
10	primary power source
11	weep hole cover to be white pre-finished aluminum
12	weep hole
13	2 1/8" deep flanged .100" aluminum panel
14	aluminum mounting angle (all four sides)

ELECTRICAL NOTES	
1.	All materials and fasteners meet 3004.4
2.	All electrical components are UL listed, labeled and approved.
3.	Sign grounded according to NEC 600.7
4.	Signs manufactured and listed NEC 600.3 and marked per NEC 600.4
5.	All branch circuits per NEC 600.5(B).1 or (B).2
6.	All Signs controlled by photocell or time clock per FBC 13-415, (ABC).1.4
7.	One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1

SCOPE

- Manufacture & install (1) new channel-letter on background 2 3/8" background panel sign.

GENERAL DESCRIPTION

- Illuminated channel letters (4" depth)
- Letter returns are of aluminum, painted "Slate Gray"
- Faces of (7328) white acrylic
- Faces secured with aluminum retainers, painted "Slate Gray"
- Letters are internally illuminated by white LED modules
- Power supplies are installed remotely.
- Letters installed onto 2 3/8" deep .100" alum. BG panel, painted Orange
- Sign installed onto fascia with angle clips & non-corrosive fasteners

SQUARE FOOTAGE

- 6'-3" x 12'-0" = 75 Sq. Ft.

COLOR SCHEDULE

- ALL FACES: .177" 7328 White acrylic
- LTR RETURNS & ALUM. RETAINERS: Painted PMS 431C Gray
- PANEL FACE & RETURNS: PMS 158 Orange (Semi-gloss)



National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:

LL Signature:

Printed Name:

Company:

Date:

Store #2015

PM: JE

Drawn By: JT

Date: 04.01.2025

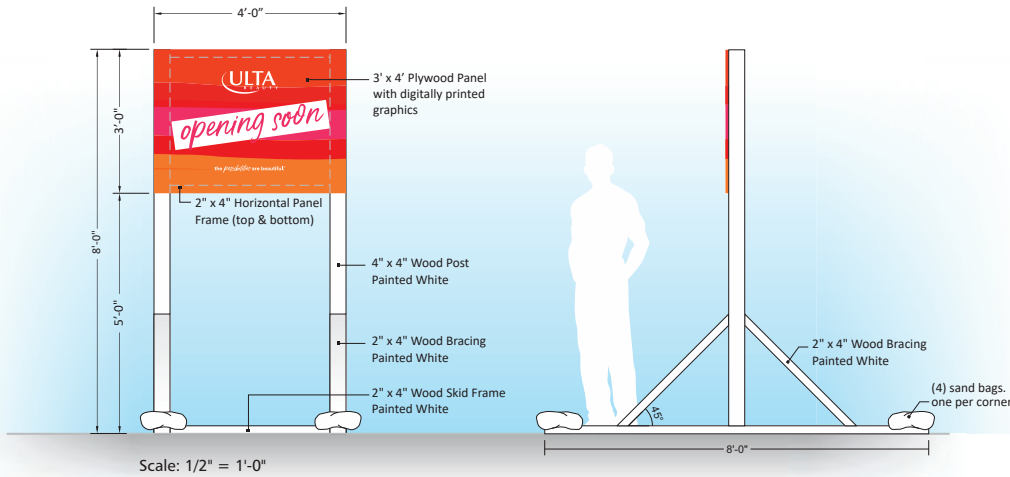
Address: 3349 Monroe Ave

City State: Rochester, NY 14618

Drawing Number 200833-S01

Page: 3



S02 One Temporary Construction Sign



GENERAL DESCRIPTION

- Manufacture and install temporary "OPENING SOON" site sign as shown and described.
- Sign(s) constructed of wood frame with Omega SignBoard panel. Entire sign finished in gloss white enamel.
- Sign support to be skid frame secured to sign posts.
- All graphics are digital print with UV protection (see color chart).
- (4) Sand bags to rest on frame base corners

COLOR SCHEDULE

-  **VINYL GRAPHIC:** Entire Graphic to be Digitally Printed
-  **FRAME:** Gloss White Enamel



National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

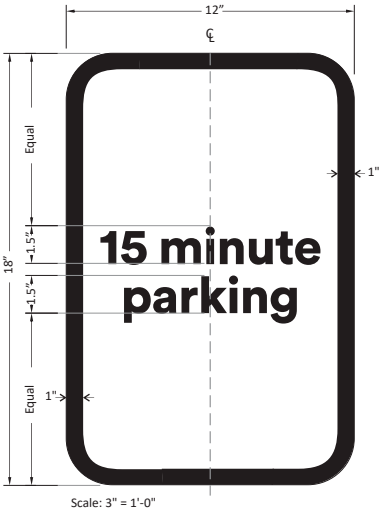
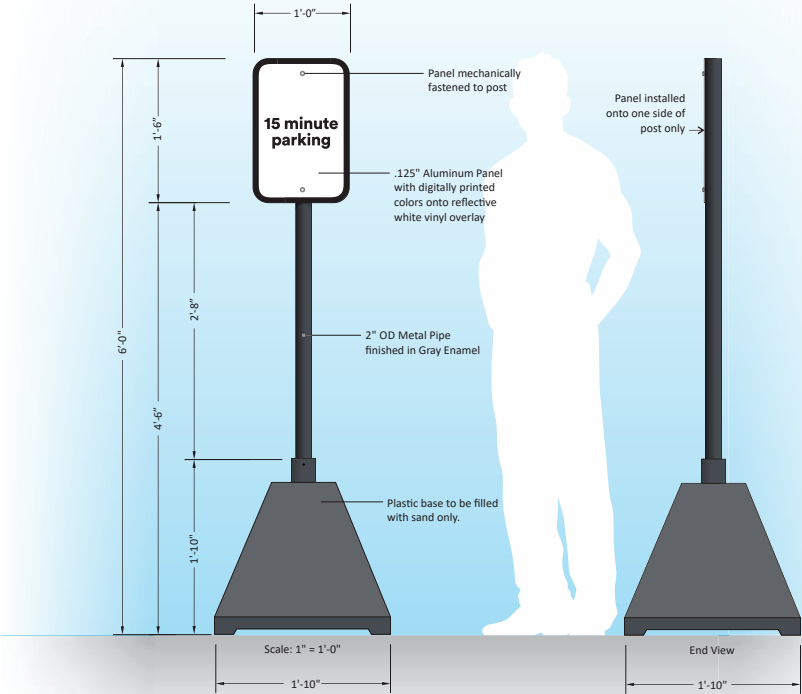
Revisions:
PP 04.01.2025 Custom skid sign size.

LI Signature: _____
Printed Name: _____
Company: _____
Date: _____

Store #2015

PM: JE	Address: 3349 Monroe Ave
Drawn By: JT	City/State: Rochester, NY 14618
Date: 04.01.2025	Drawing Number 200833-S02
Page: 4	

S03 Two Portable Pickup Signs



- White Reflective Vinyl Background
- Black (TBD)
- Base & Post Painted to match PMS Cool Gray #11



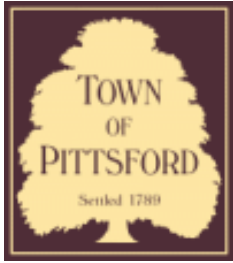
National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:
NR 12.13.2024 Updated Graphics

LL Signature:	
Printed Name:	
Company:	
Date:	

Store #2015

PM: JE	Address: 3349 Monroe Ave
Drawn By: JT	City State: Rochester, NY 14618
Date: 04.01.2025	Drawing Number: 200833-S03
	Page: 5



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S25-000004

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3400 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.16-2-3

Zoning District: C Commercial

Owner: Pittsford Colony LLC

Applicant: Clinton Signs

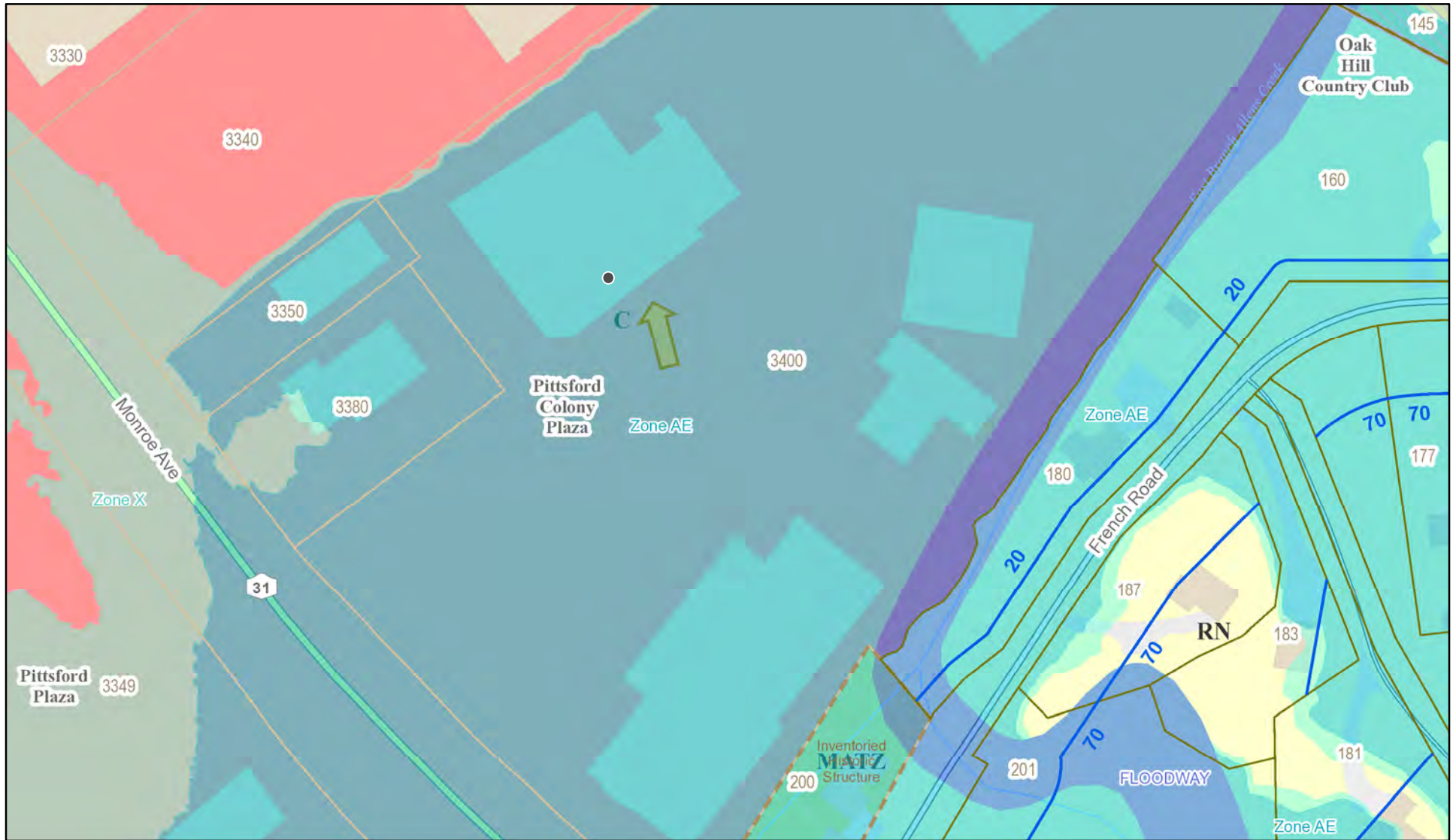
Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

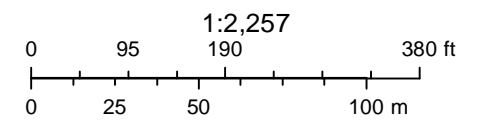
Project Description: Applicant is requesting review for a 20 Sq Ft. sign for UPS Store

Meeting Date: April 10, 2025

RN Residential Neighborhood Zoning



Printed March 31, 2025



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



181

183

187

180

French Road

200

3400

3380

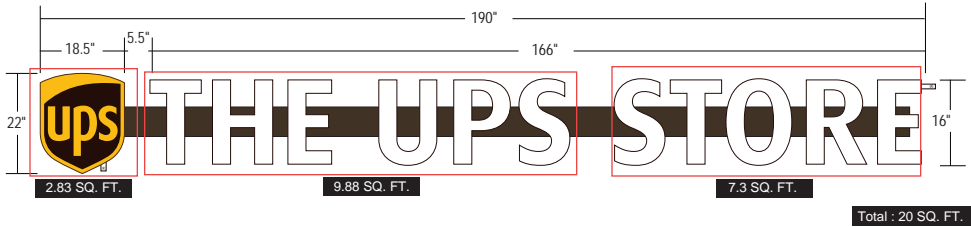
3350

3340

3330

3300

3290



Raceway Color 424 Duronodic Bronze



GENERAL SPECIFICATIONS

FACES:

White Letters - .177" #7328 White Acrylic

Shield - .177" #2447 Milky White Acrylic w/ 1st Surface Yellow #3630-25 Sunflower covering background & UPS Brown 3M #7725-19 Opaque Deep Mahogany. Add a layer of white block out vinyl behind the Deep Mahogany Vinyl. Brown trim cap - 2418 OR Digital print with 3M overlaminate UV protection to match 3M vinyl in both day and night views
NOTE: This still requires a layer of white block out vinyl behind deep mahogany area

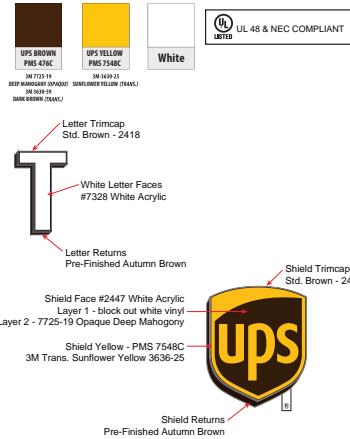
Returns - 3" D, .040 Thick Aluminum
Pre-Finished PMS 476C Autumn Brown


Letter Trim Cap 1" GEM#2418 Std. Brown (White Letters)

Note: Anything below 18" H is 3/4" trim, 18" and above is 1" trim cap

Registered Trademark - 1/4" Alum. Disk Painted White w/ UPS Brown - PMS 476C Digitally Printed on Blockout Vinyl Overlay

Illumination - White Principle Qwik Mod 2 5000K LEDs
Interior Illuminated



	<p>© 2024 Everbrite, LLC. all rights reserved. This document is confidential and proprietary to Everbrite, LLC. Any disclosure to a third party is expressly prohibited. Drawings are for graphic purposes only and not intended for actual construction. For more specific manufacturing detail, please refer to engineering specifications and install drawings.</p>		Customer: The UPS Store #0347		Description: 22" UPS Shield 16" UPS Raceway Mount Letters Inline		Customer Approval: Graphics and colors on file will be used unless otherwise specified by customer. Please review drawing carefully. By signing below, you agree to graphics as shown above, and to location of sign as shown. Please return signed copy back to Everbrite.		
			Project No: 511803		Scale: 1"=1'				
			Date: 10/10/24		Drawn By: DB				
			Location & Site No: 3400 Monroe Ave		Revised:		CUSTOMER SIGNATURE		DATE
			Rochester, NY		41575		Revised:		LANDLORD SIGNATURE

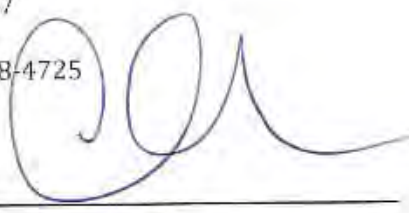
Owner consent for sign Installation and permits

I, Chris Hill, being the owner, and/or Landlord of the property where the business known as The UPS Store at 3400 Monroe Ave Rochester, NY 14618-4725 is located, hereby certify that I am allowing Everbrite, Inc. (and / or their sub-contractor) to obtain permits and install signage at the below mentioned address.

Everbrite, LLC further agrees that all work will be done in compliance with all applicable laws, codes and ordinance, and any stipulations or restrictions listed on the permits.

Site address:

The UPS Store #0347
3400 Monroe Ave
Rochester, NY 14618-4725

Signature: 

Name: Chris Hill

Address: 28 E. MAIN ST. SUITE 700 ROCHESTER
NY 14614

Email: Chill@igordon.com

Phone: 585-703-9977

Date: 3/26/25

April 1, 2025

Chairman Dirk Schneider
Members of the Pittsford Design Review & Historic Preservation Board
11 South Main St
Pittsford, NY 14534

Re: Pittsford Oaks Apartments

Dear Chairman Schneider and members of the board,

In anticipation of our meeting on April 10th and considering several members of the board not being in attendance during several of our recent presentations, please accept this summary of progress and request for action at the April 10th meeting of the DRHPB.

Having been before this board at least 12 times in the past year, we have had many thorough discussions and suggestions on the project's design. The development team have reacted to and incorporated almost all requests from this board including:

1. Revising the roof lines to lower the building, reducing the mass and scale and creating breaks in the roof lines and eaves
2. Reducing the northeast corner, the most visible to passing traffic on Monroe and Clover, to 2-stories and adding dormers
3. Eliminate and redesign a number of balconies to reduce the repetition
4. Redesigning the east elevation to incorporate recessed 3rd floor units to break up the building façade
5. Redesign of all elevations to improve the rhythm of the vertical stacks to become more cohesive including increased use of stone.
6. Redesign of the south elevations to include more stone and less siding and adding additional breaks in the roofline
7. Updated proposed grading to eliminate or reduce the visual impact of the parking garage on the east elevation subject to PB review.
8. Production of multiple renderings from Clover and Jefferson to show that the lower floors are not visible to passing traffic regardless of finished grade and landscaping.

The material suggestion that was not incorporated in the design, was the suggested elimination of all or part of the 3rd floor. As explained many times, the project is not viable as a 2-story development. The previously approved Cloverwood project was 3-stories. Our zoning is

approved for the 3-stories to accommodate the approved density of this desired housing alternative in the Town of Pittsford.

The site has been abandoned and is a blighted site at a commercial intersection in dire need of redevelopment. It is the desire of the community to increase the stock of this type of housing and both the Town Board and Planning Board have voted in favor of moving this project forward. There are few sites in the Town that provide opportunity for multifamily housing that is not adjacent to residential neighborhoods. This project will have a significant positive impact on the tax base and support the Town's initiatives both financially and increasing the stock of market rate apartments. Most public comment has centered on traffic which was addressed in the Town Board and Planning Board process, very few had issue with the density and no negative comments were received on the design.

At this time, we are looking for communication from this board to the Planning Board. A consensus from this board directed towards the Planning Board, to the effect of; ***A majority of the members of the DRHPB agree that the Pittsford Oaks Apartment Project has been redesigned incorporating most of the suggestions of this board and the majority of the board is confident that, following the Planning Board's consideration of a Final Siteplan Application, the DRHPB will continue to refine the details including materials, color and other aesthetic features on the plan and will consider an approval of a design at that time.***

Thank you for your time and consideration,



Anthony Daniele

applicant, Pittsford Oaks Apartment Project



2 NORTH ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



6 WEST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



1 EAST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



4TH FLOOR WALL HGT.
31'-0 7/8" (+574')

FOURTH FLOOR LEVEL
22'-0 1/2" (+565')

THIRD FLOOR LEVEL
11'-0 5/8" (+554')

SECOND FLOOR LEVEL
0'-0" (+543')

GARAGE LEVEL
-12'-0" (+531')

1 SOUTH ELEVATION

0' 1' 2' 4' 8'
1/16" = 1'-0"

FINISH LEGEND:

-  NORANDEX CEDAR MILLS
"CHAMPAGNE"
-  NORANDEX CEDAR MILLS
"GRANITE"
-  NORANDEX CEDAR MILLS
"CARBON"
-  PROVIA STONE VENEER
"BUFF"
-  DECORATIVE PARGING
"DOWNING STONE"



2 NORTH ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



3 NORTH COURTYARD EAST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



6 WEST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



1 EAST ELEVATION

0' 1' 2' 4' 8'

1/16" = 1'-0"



- 4TH FLOOR WALL HGT.
31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL
22'-0 1/2" (+565')
- THIRD FLOOR LEVEL
11'-0 5/8" (+554')
- SECOND FLOOR LEVEL
0'-0" (+543')
- GARAGE LEVEL
-12'-0" (+531')

1 SOUTH ELEVATION

0' 1' 2' 4' 8'
1/16" = 1'-0"



RENDERING FROM INTERSECTION OF JEFFERSON RD & CLOVER ST

GRADE ALONG EAST FACADE AT +539'



- 4TH FLOOR WALL HGT.
31'-0 7/8" (+574')
- FOURTH FLOOR LEVEL
22'-0 1/2" (+565')
- THIRD FLOOR LEVEL
11'-0 5/8" (+554')
- SECOND FLOOR LEVEL
0'-0" (+543')
- GARAGE LEVEL
-12'-0" (+531')

1 EAST ELEVATION - LANDSCAPE

0' 4' 8' 16' 32'
1/16" = 1'-0"



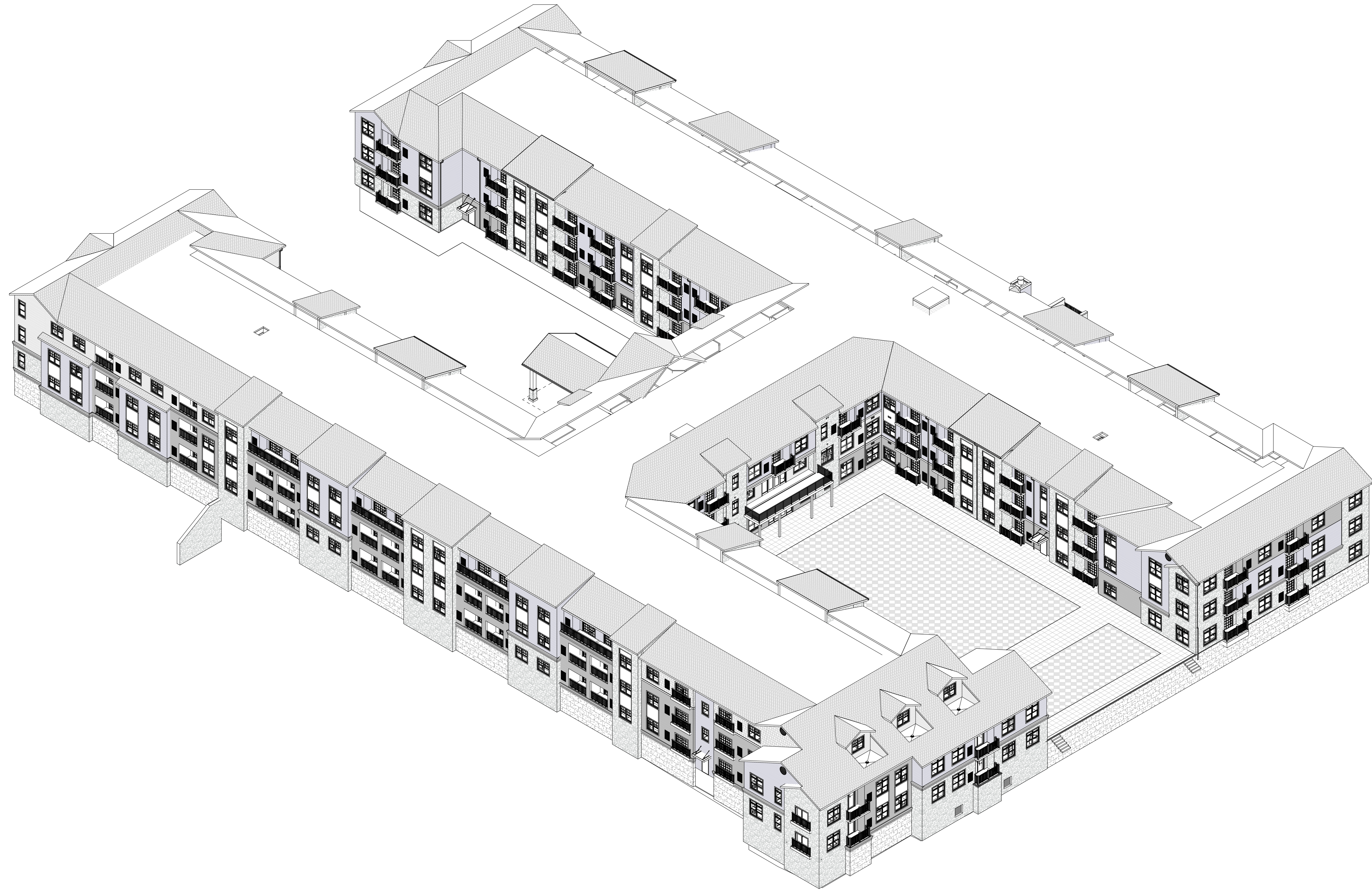
RENDERING FROM INTERSECTION OF JEFFERSON RD & CLOVER ST WITH LOWERED GRADE AT EAST FACADE
GRADE ALONG EAST FACADE AT +536'



1 EAST ELEVATION - LANDSCAPE - LOWERED GRADE
0' 1' 2' 4' 8'
1/16" = 1'-0"









CLOVERWOOD TERRACE PROJECT

AREA: 21,946 SF ±
MAY 2019



LAST PROPOSED DESIGN

AREA: 22,453 SF ±
DECEMBER 2024



PROPOSED CONCEPT

AREA: 17,550 SF ±
UPDATED MARCH 2025



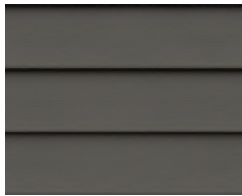
FINISH LEGEND:



NORANDEX CEDAR MILLS
"CHAMPAGNE"



NORANDEX CEDAR MILLS
"GRANITE"



NORANDEX CEDAR MILLS
"CARBON"



PROVIA STONE VENEER
"BUFF"



DECORATIVE PAVING
"DOWNING STONE"



1 EAST ELEVATION - FINISHES
0' 1' 2' 4' 8'
1/16" = 1'-0"