

**Town of Pittsford Design Review & Historic Preservation Board****AGENDA****June 27, 2024***This agenda is subject to change.*

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, June 27, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

**HISTORIC PRESERVATION DISCUSSION**

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**OVERSIZED/COMMERCIAL ACCESSORY STRUCTURES**

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**50 West Bloomfield Road (Church of the Transfiguration)**

Applicant is requesting design review for a 120-square-foot shed.

**94 Coventry Ridge**

Applicant is requesting design review for a 220-square-foot pool house with porch.

**9 Forestwood Lane**

Applicant is requesting design review for a 200-square-foot pergola behind the home.

**RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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**4 Cricket Hill**

Applicant is requesting design review for approximately 1,000 square feet of additions on the rear and second floor of the home.

**75 Knollwood Drive**

Applicant is requesting design review for a 96-square-foot front entrance replacement.

**17 East Park Road**

Applicant is requesting design review for approximately 2,000 square feet of additions.

**246 Long Meadow Circle**

Applicant is requesting design review for an approximately 1,200-square-foot, two-story, attached garage on the side of the home.

**CERTIFICATES OF APPROPRIATENESS**

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**55 Mitchell Road**

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

**810 Allens Creek Road**

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for fence modifications to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

**PLANNING BOARD COMMENTARY**

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**Pittsford Oaks**

The Planning Board is requesting DRHPB commentary on the Pittsford Oaks project.

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*The next meeting is scheduled for Thursday, July 11, 2024, at 6PM.*



**Town of Pittsford Design Review & Historic Preservation Board**  
**MINUTES**  
**May 23, 2024**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, May 23, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

**PRESENT:** Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Kathleen Cristman; John Mitchell; Jim Vekasy

**ABSENT:** Bonnie Salem; Paul Whitbeck

**ALSO PRESENT:** Bill Zink, Building Inspector; Meghan Brooks, Building Department Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

**ATTENDANCE:** There were 9 members of the public present.

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The Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 5:59PM.

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**HISTORIC PRESERVATION DISCUSSION**

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DRHPB Vice Chairman Dave Wigg stated he had been in contact with the homeowners of his historic home but they are holding off on designation for now.

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**RESIDENTIAL APPLICATIONS: RETURNING**

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**1 Sinclair Drive (14 Trumbull Lane)**

*Applicant is requesting design review for a 262.5-square-foot addition and balcony to the back of the home.*

Tony Tefel of Element of Pride LLC introduced the application. Mr. Tefel stated that the plan is to turn the existing deck into a den and then add a deck from the den to the corner of the house.

DRHPB Chairman Dirk Schneider asked about the column holding up the deck. Mr. Tefel stated that it would be a 6x6 post, as it will not be holding up as much as the other, larger posts. Chairman Schneider asked a few questions about drainage and about the doors. Vice Chairman Wigg thanked Mr. Tefel for adding the photoshopped renderings to the submittal packet.

DRHPB Vice Chairman Dave Wigg motioned to approve the 262.2-square-foot addition and balcony to the back of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

**RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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**35 Trowbridge Trail**

*Applicant is requesting design review for 224 square feet of additions to the front and rear of the home.*

Jen Lake, homeowner, introduced the application. Ms. Lake stated that they are hoping to construct an approximately 224-square-foot addition to create a front entryway and an architectural courtyard to the home, as well as construct a rear addition to add a bathroom and extra space within the garage.

DRHPB Member Kathleen Cristman asked if the garage door will be replaced. Ms. Lake stated that it will be the existing door but will be repainted to match the other doors.

DRHPB Chairman Dirk Schneider motioned to approve 224 square feet of additions to the front and rear of the home as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

**6 Windscape Park**

*Applicant is requesting design review for 2,594 square feet of additions to the existing home.*

Will Irwin, homeowner, introduced the application. Mr. Irwin stated that this design was approved in 2019, but because of some minor design changes is back before the Board for reapproval. The changes were primarily made to the three-season porch on the back of the home, which was previously an open porch.

DRHPB Member Kathleen Cristman motioned to approve 2,594 square feet of additions to the existing home as submitted. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

**39 Rosewood Drive**

*Applicant is requesting design review for a 439-square-foot, two-story addition off the back of the home.*

Vice Chairman Wigg recused himself from the application.

Chris Hennessey, AIA, introduced the application. Ms. Hennessey stated that the homeowners wish to add space to their home in specific areas of the house, including the kitchen and second floor bedroom.

Chairman Schneider confirmed some of the window detailing with Ms. Hennessey, and confirmed that the siding and trim work will match the existing. He asked if the columns will match those in the front. Ms. Hennessey stated that the new ones will be larger than those at the front, which are only 4x4, as they will be more suitable to hold up the rest of the structure. Chairman Schneider stated that he would prefer if the two sides matched, but it is not a dealbreaker. The rest of the Board agreed.

DRHPB Chairman Dirk Schneider motioned to approve the 439-square-foot, two-story addition off the back of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

**16 Elatia Circle**

*Applicant is requesting design review for a 400-square-foot covered deck addition on the back of the home.*

Aaron Bertram, homeowner, introduced the application. Mr. Bertram stated that the existing deck is rotting and has an awning. They wish to replace the deck and put on a fixed roof for shade.

Chairman Schneider confirmed with Mr. Bertram that the big awning will stay but that the small awning over the deck will be replaced. He also confirmed that the posts will be wrapped and shingles will match. The doors will be replaced but be same size, so there will be no header changes. Chairman Schneider asked if the ceiling would be sloped. Mr. Bertram stated that it would be.

DRHPB Vice Chairman Dave Wigg motioned to approve the 400-square-foot covered deck addition on the back of the home as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

**5 Hilltop Drive**

*Applicant is requesting design review for a 90-square-foot addition to the back of the home.*

Ron Ploof, father of the homeowner, introduced the application. Mr. Ploof stated that they wish to enclose the existing porch off the back of their dining room. There is already a foundation under it. They will remove the chimney. The kitchen door will be removed, and the sliding door will be put on the new wall.

Chairman Schneider confirmed that the shake shingles will match the existing house. Mr. Ploof noted that the existing deck will be removed and that a landing and stairs will be added instead. Chairman Schneider asked if the shingles will match in color. Mr. Ploof stated that they will try to match as closely as possible, though the red color is unusual.

DRHPB Member John Mitchell motioned to approve the 90-square-foot addition to the back of the home as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

**10 Reitz Parkway**

*Applicant is requesting design review for approximately 300 square feet of additions to the second floor and rear of the home.*

Amanda Everson Costanza, AIA, introduced the application. Ms. Costanza stated that the homeowners wish to construct an addition to allow them to enter the home from the garage. The additions will be sided in stained cedar. The rest of the siding will remain its painted blue. The existing windows in the blue sections of the home are white vinyl. All the new windows in the cedar section will be a dark blue.

There was significant discussion on the siding and window detailing, including how the two siding materials will transition. The Board expressed the opinion that if the front part could come out a little more to differentiate it from the current structure, and the existing siding could be painted a darker blue, it might look better. Chairman Schneider asked why the window heads do not align between the addition and existing structure. Ms. Costanza stated that that particular

window is a shower on the inside and thus its interior use determined the height; the same principle applies to the large picture window.

Chairman Schneider asked what the soffits will be. Ms. Costanza stated that they will be cedar as well. Board Member Cristman stated that she feels that the home may look quite choppy with all the materials and colors. Vice Chairman Wigg asked if roofing will match the existing. Ms. Stanza stated that it will.

DRHPB Chairman Dirk Schneider motioned to approve the approximately 300 square feet of additions to the second floor and rear of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

## **RESIDENTIAL APPLICATIONS: NEW HOMES**

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### **15 Bridleridge Farms**

*Applicant is requesting design review for a 3,135-square-foot, two-story home in the Bridleridge Farms Subdivision.*

Austin Miller of Spall Homes introduced the application. Mr. Miller stated that this is a 3,135-square-foot home with a side-load garage and stone veneer on the front. The corner board on the left side of the front elevation will extend down to match the other side.

DRHPB Member Jim Vekasy asked about the brick detailing. Mr. Miller stated that it will be a darkish gray color to blend in with the stone. DRHPB Member John Mitchell remarked that it is an unusual detail, and Mr. Miller stated that it looks nice, as it gives the design an old-style feel. It has been done on a few homes in the Coventry Ridge Subdivision

The Board expressed concern about the stone not connecting through the bump out on the front elevation. There was extensive discussion about the stone façade and whether or not it should turn the inside corner to run along the side. The Board was largely of the opinion that it did not look quite right if it did not continue. Mr. Miller pointed out that the Board has approved houses with a similar feature in the past, without it turning the corner. Board Member Cristman noted that, just because it had been approved before did not mean they should continue to approve the same element, if it does not look correct.

DRHPB Chairman Dirk Schneider motioned to approve the 3,135-square-foot, two-story home in the Bridleridge Farms Subdivision as submitted, with the condition that the corner board on the left-hand side of the front elevation run to the ground to match the detailing of the garage. This motion was seconded by DRHPB Member John Mitchell. Following a voice vote, the application was approved. DRHPB Member Kathleen Cristman opposed.

## **05/09/2024 MEETING MINUTES REVIEW**

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The minutes of May 9, 2024, were approved following a motion by DRHPB Chairman Dirk Schneider. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

## **OTHER DISCUSSION**

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The Board held an extensive discussion regarding 810 Allens Creek Road. Building Department Assistant Meghan Brooks stated that the new homeowner will be coming to the Board to rectify the issues with the Certificate of Appropriateness at the June 27<sup>th</sup> meeting.

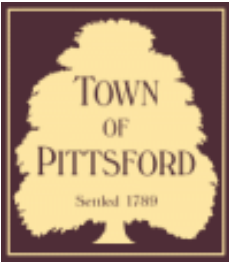
Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 7:28PM.

Respectfully submitted,

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Meghan Brooks  
*Building Department Assistant*  
*Secretary to the Design Review & Historic Preservation Board*

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING  
DEPARTMENT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**C24-000099**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 50 Bloomfield Road PITTSFORD, NY 14534

**Tax ID Number:** 178.03-1-70

**Zoning District:** RRAA Rural Residential

**Owner:** Church Of The Transfig of Roch

**Applicant:** Church Of The Transfig of Roch

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)           | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input checked="" type="checkbox"/> Commercial Design Review<br>§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                             | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197          | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                     |   |

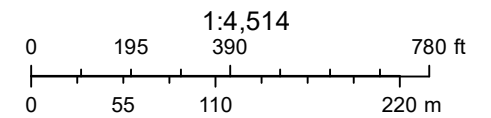
**Project Description:** Applicant is requesting design review for a 120-square-foot shed.

**Meeting Date:** June 27, 2024

# RN Residential Neighborhood Zoning



Printed June 18, 2024



Town of Pittsford GIS

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Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

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14 2023

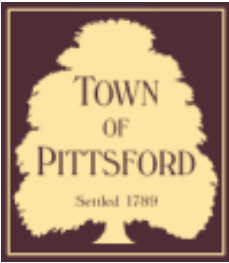
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## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**RA24-000040**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 94 Coventry Ridge PITTSFORD, NY 14534

**Tax ID Number:** 177.04-3-49

**Zoning District:** IZ Incentive Zoning

**Owner:** Gurbacki, Phillip M

**Applicant:** Keystone Custom Decks LLC

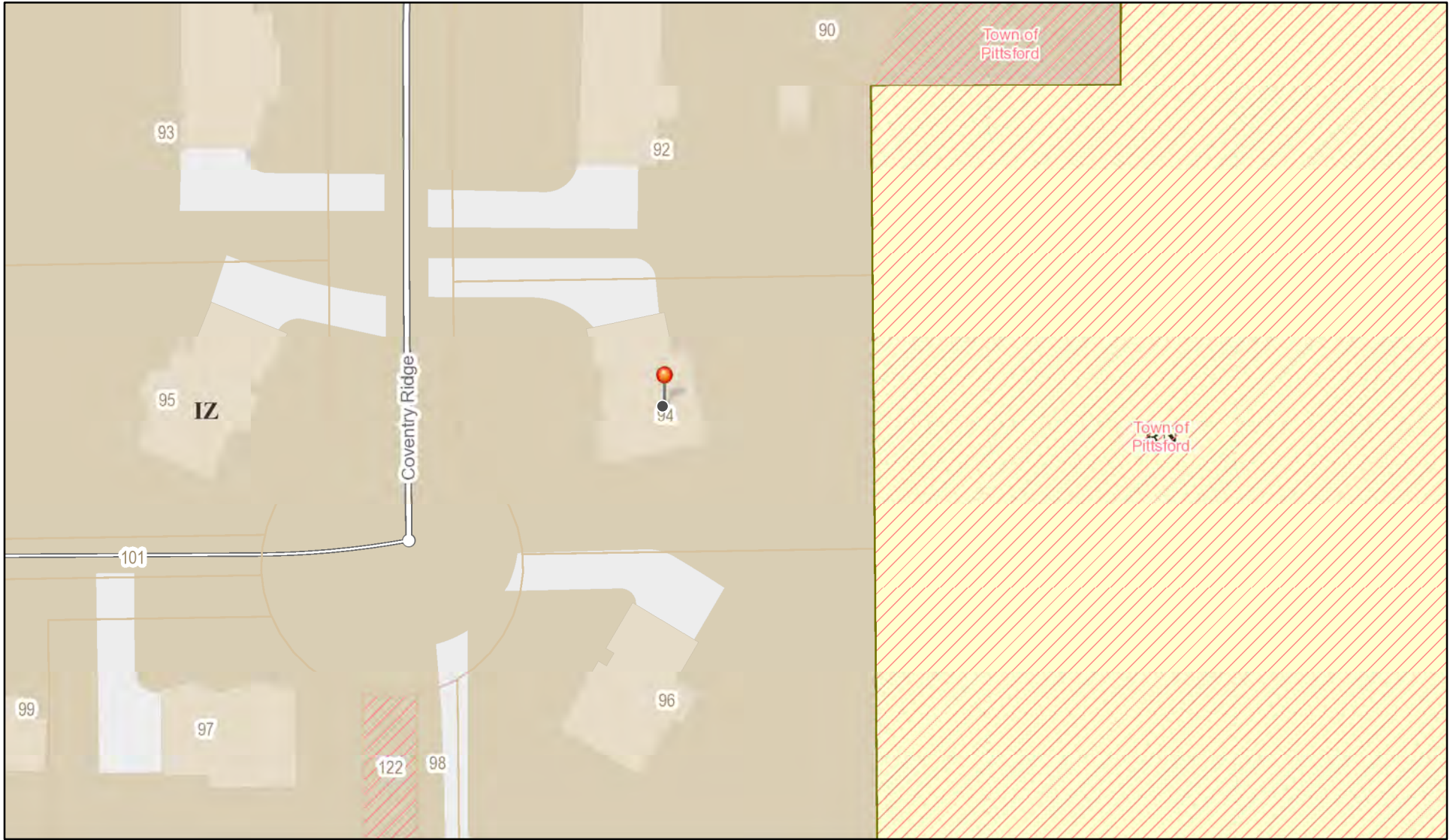
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| <input type="checkbox"/> Informal Review                                      |   |

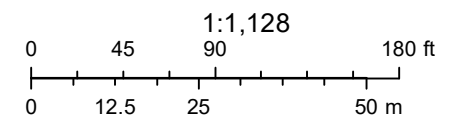
**Project Description:** Applicant is requesting design review for a 220-square-foot pool house with porch.

**Meeting Date:** June 27, 2024

# RN Residential Neighborhood Zoning



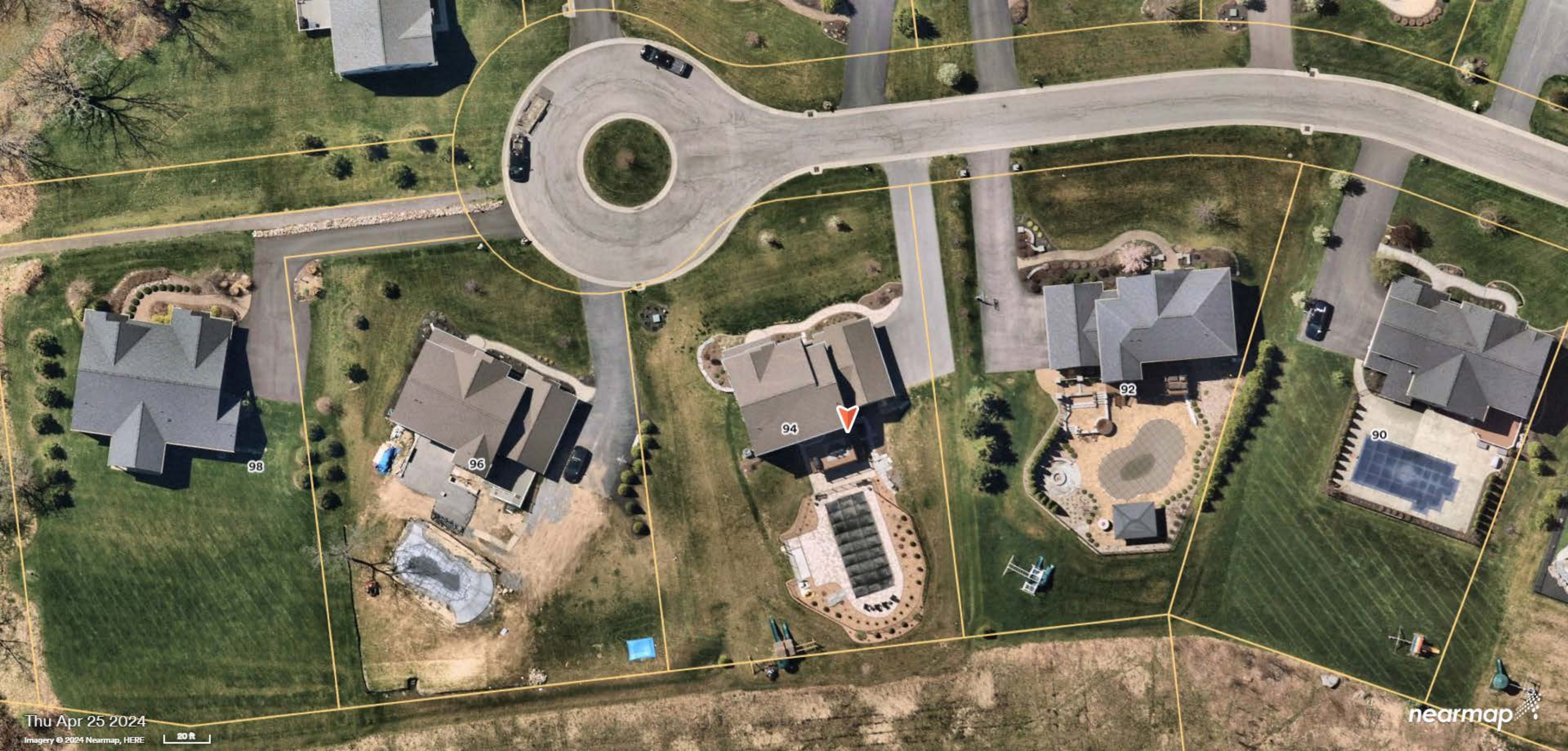
Printed June 18, 2024



Town of Pittsford GIS

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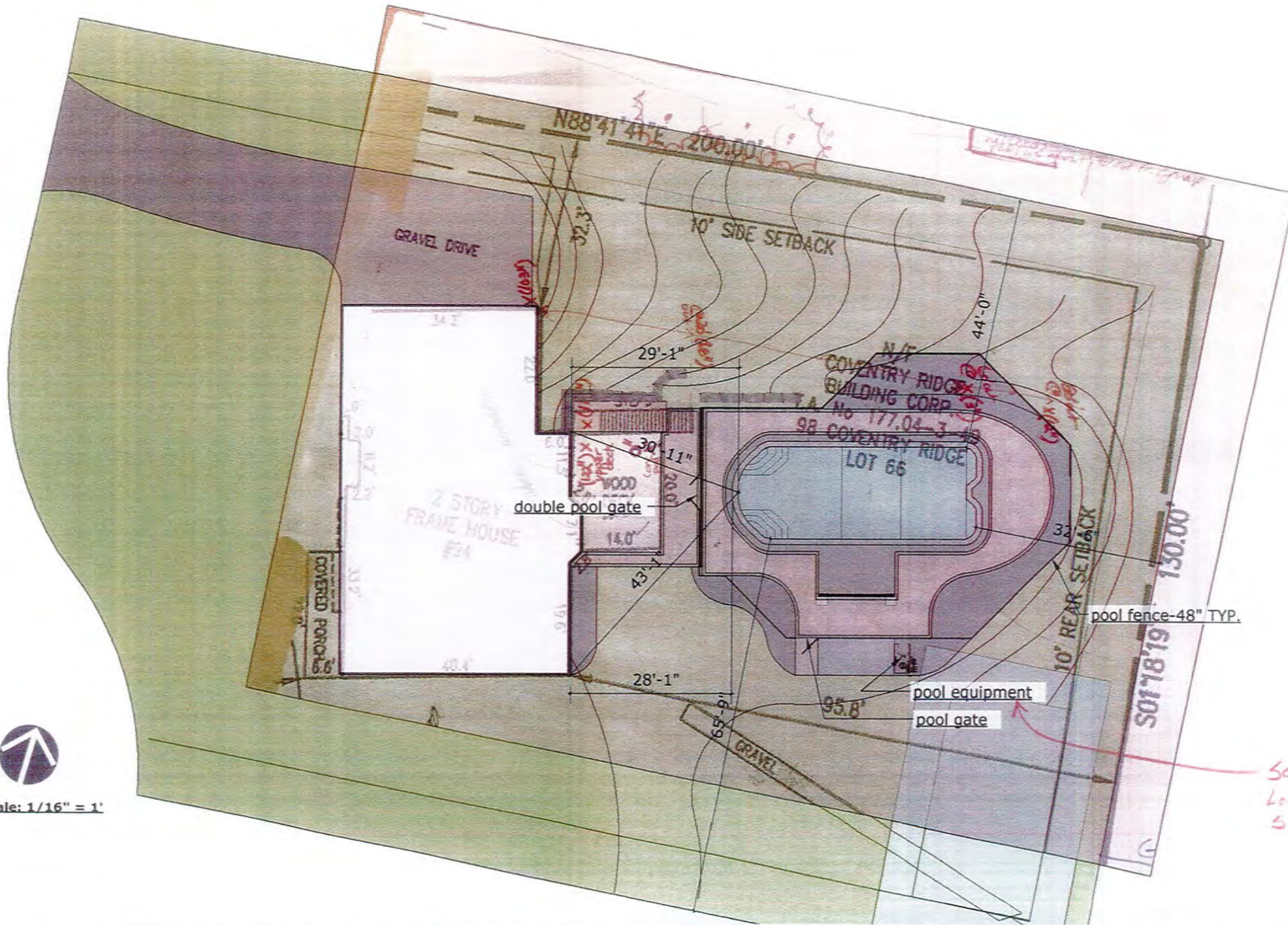








Scale: 1/16" = 1'



See note #4  
Locations  
shown is OK

2 of 6



Asphalt Shingles  
15# Felt (remaining area)  
Ice/Water Shield (eave edges)  
½" Sheathing  
2x10 Rafters 16" o/c  
\* Rafters attached to beam via Simpson H2.5AZ Hurricane Ties

(2) Ply 1.75" x 11.875" Versa Lam Ridge Beam  
\* (2) Ends of beam bearing on (2) Ply 2x6

13'4" x 6'6" Storage Room (Built on existing concrete pad)  

- 2x6 Treated bottom plate
- (2) 2x6 SPF top plates
- 2x6 SPF studs 16" o/c
- 7/16" OSB sheathing (exterior)
- Tyvek
- Vinyl Siding
- 36" Fiberglass Door for storage room access

(2) Ply 1.75" x 9.75" Versa Lam Beam  
\* (2) Ends of beam attached to post via Simpson ACE6Z Post Cap  
\* Arch in beam is made with the beam wrap.

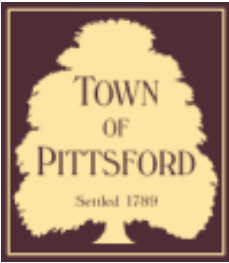
(2) Ply 1.75" x 9.75" Versa Lam Beam  
\* (2) Ends of beam attached to posts via Simpson ACE6Z Post Cap

Stone Columns (2 locations on deck)  
Total approx. weight (per): 300 - 325 lbs.  

- 2x4 PT Framing
- ½" Cement Board
- Stone Veneer
- Flagstone Cap

6x6 Framing Posts  
\* Posts attached to existing concrete footer via Simpson ABE66Z Post Bracket  
\* If pre-existing footers are not in correct location new 16x48 footers will be dug with concrete poured to grade.





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**RA24-000051**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 9 Forestwood Lane PITTSFORD, NY 14534

**Tax ID Number:** 179.05-1-17

**Zoning District:** RN Residential Neighborhood

**Owner:** Jasinevicius, Vaidotas

**Applicant:** Jasinevicius, Vaidotas

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

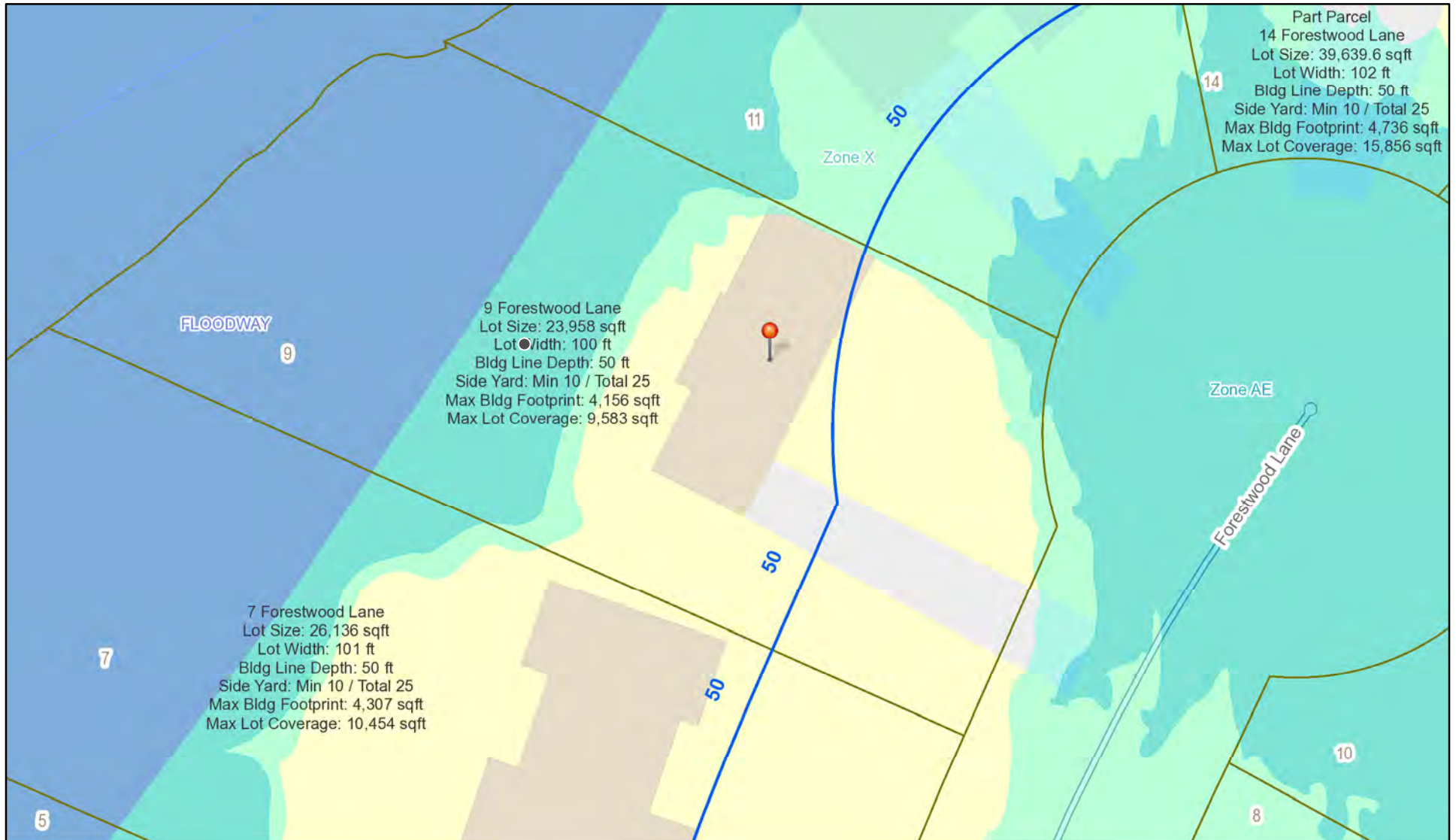
**Project Description:** Applicant is requesting design review for a 200-square-foot pergola behind the home.

**Meeting Date:** June 27, 2024

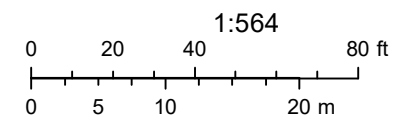




# RN Residential Neighborhood Zoning



Printed June 18, 2024



Town of Pittsford GIS

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<https://tojagrid.com/collections/double-pergola-kits/products/double-pergola-with-shade-sail-for-6x6-wood-posts?variant=39282795577423>



Double Pergola Kit with 2 SHADE SAILS for 6x6 Wood Posts

\$2,112 USD

SKU: DP61020GR13

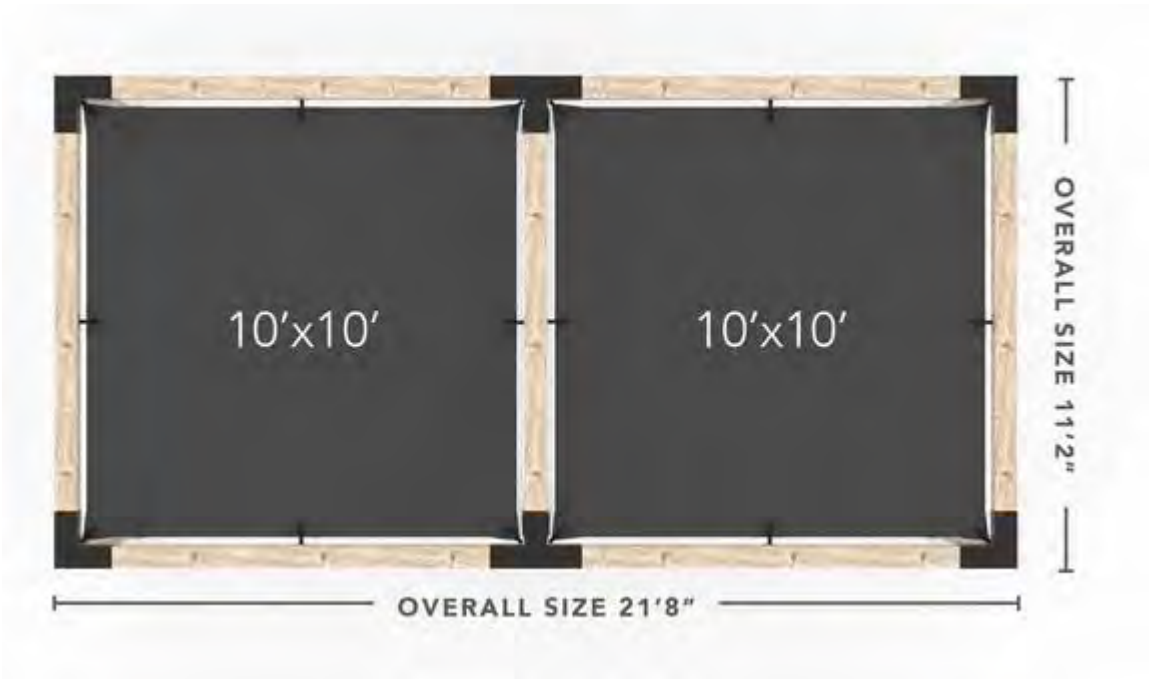


Available Now!

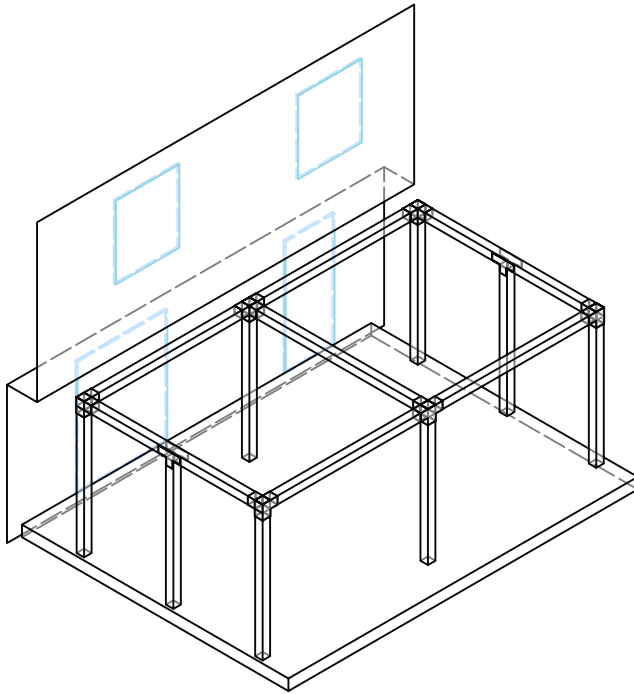
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12' x 16'	12' x 18'	12' x 20'	12' x 22'	12' x 24'

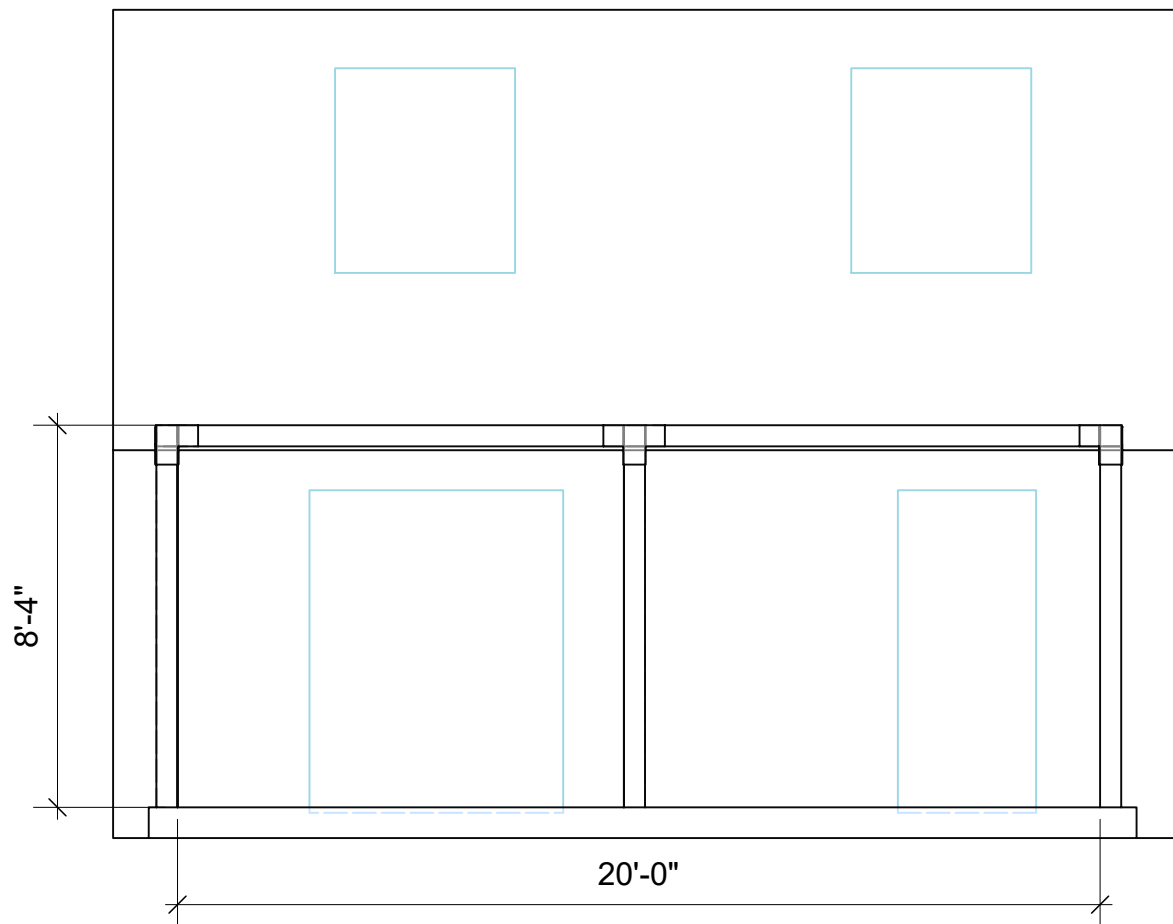
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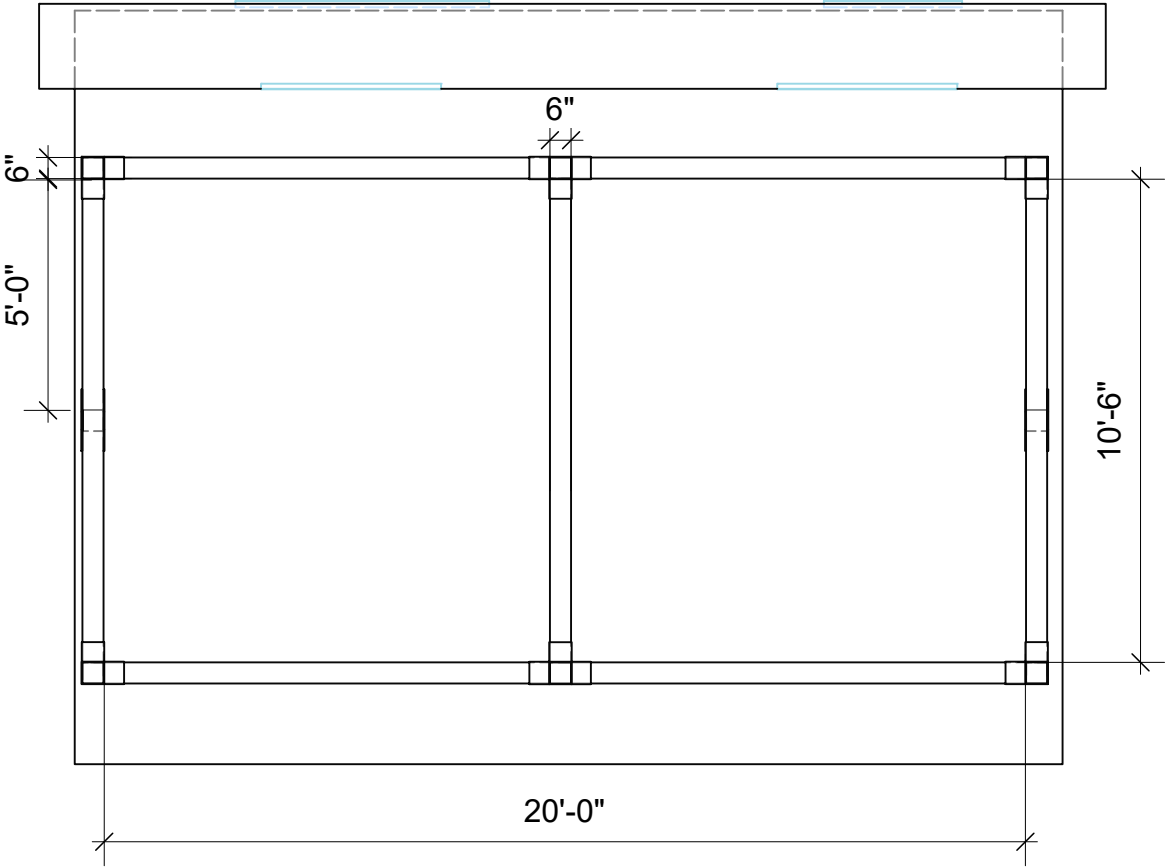




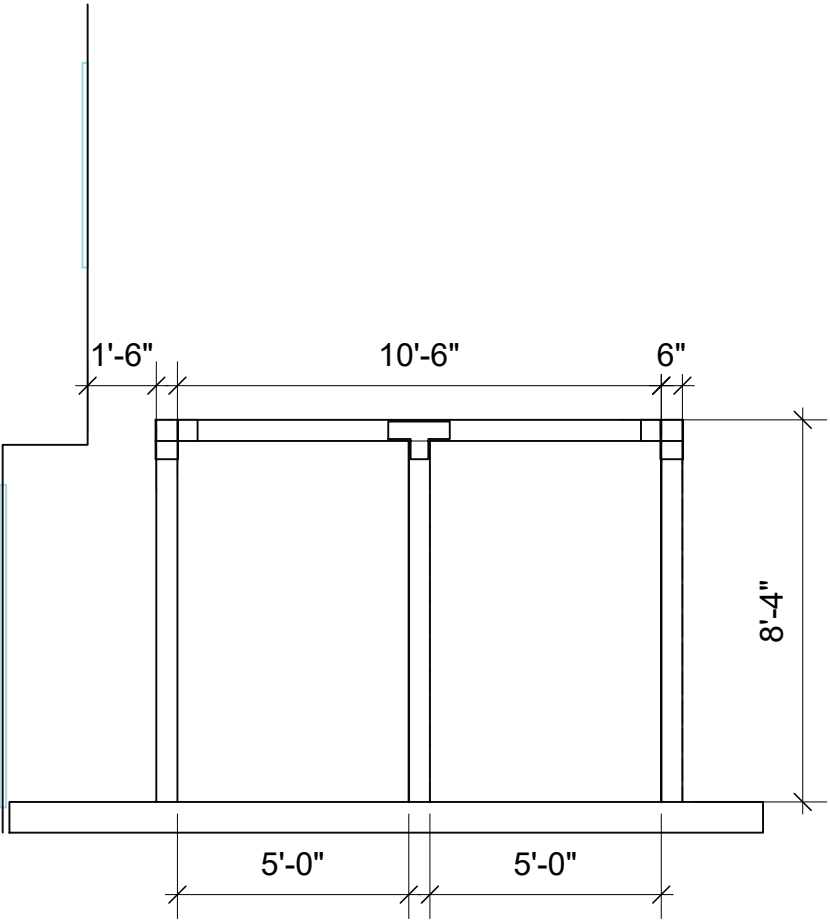
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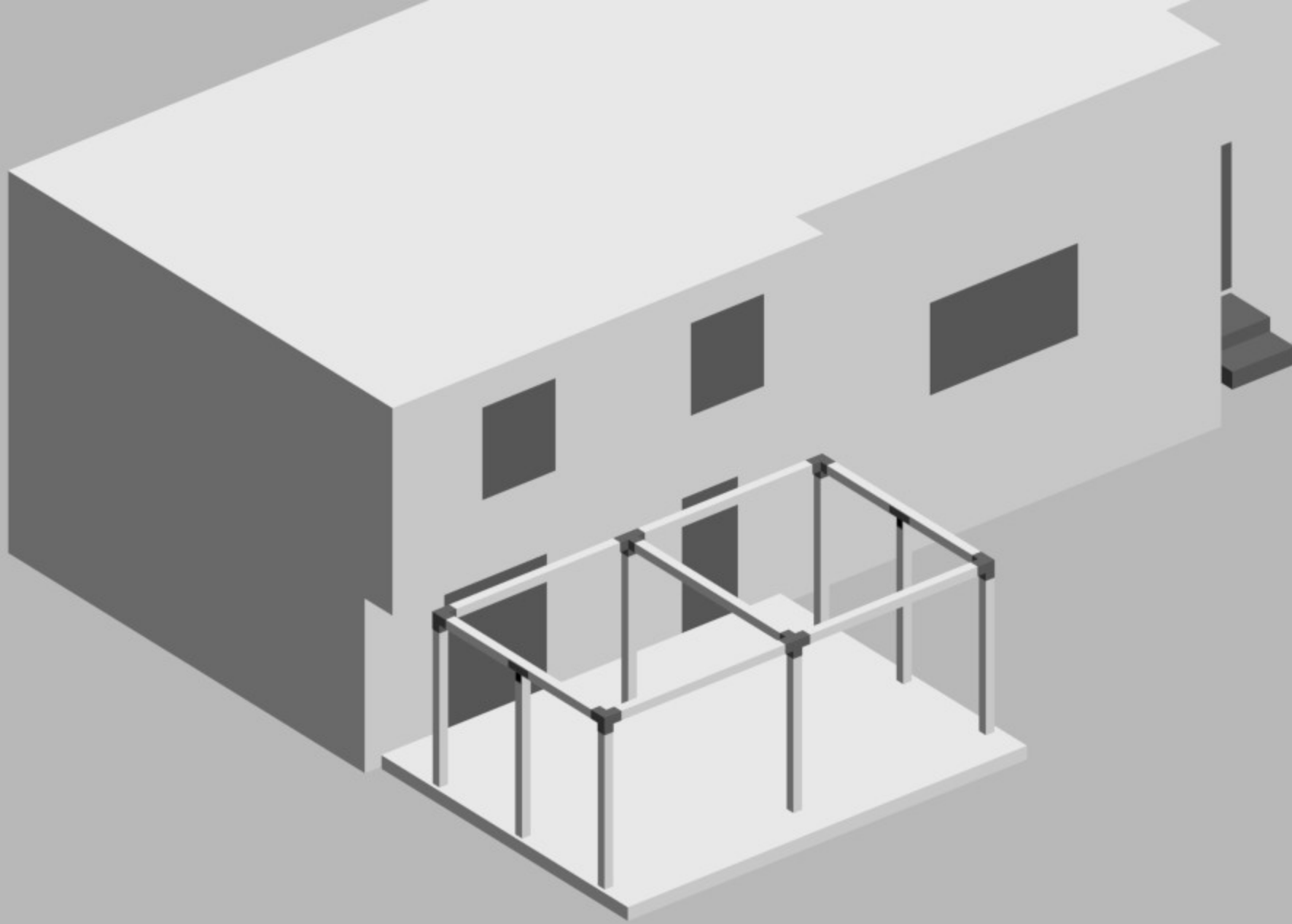
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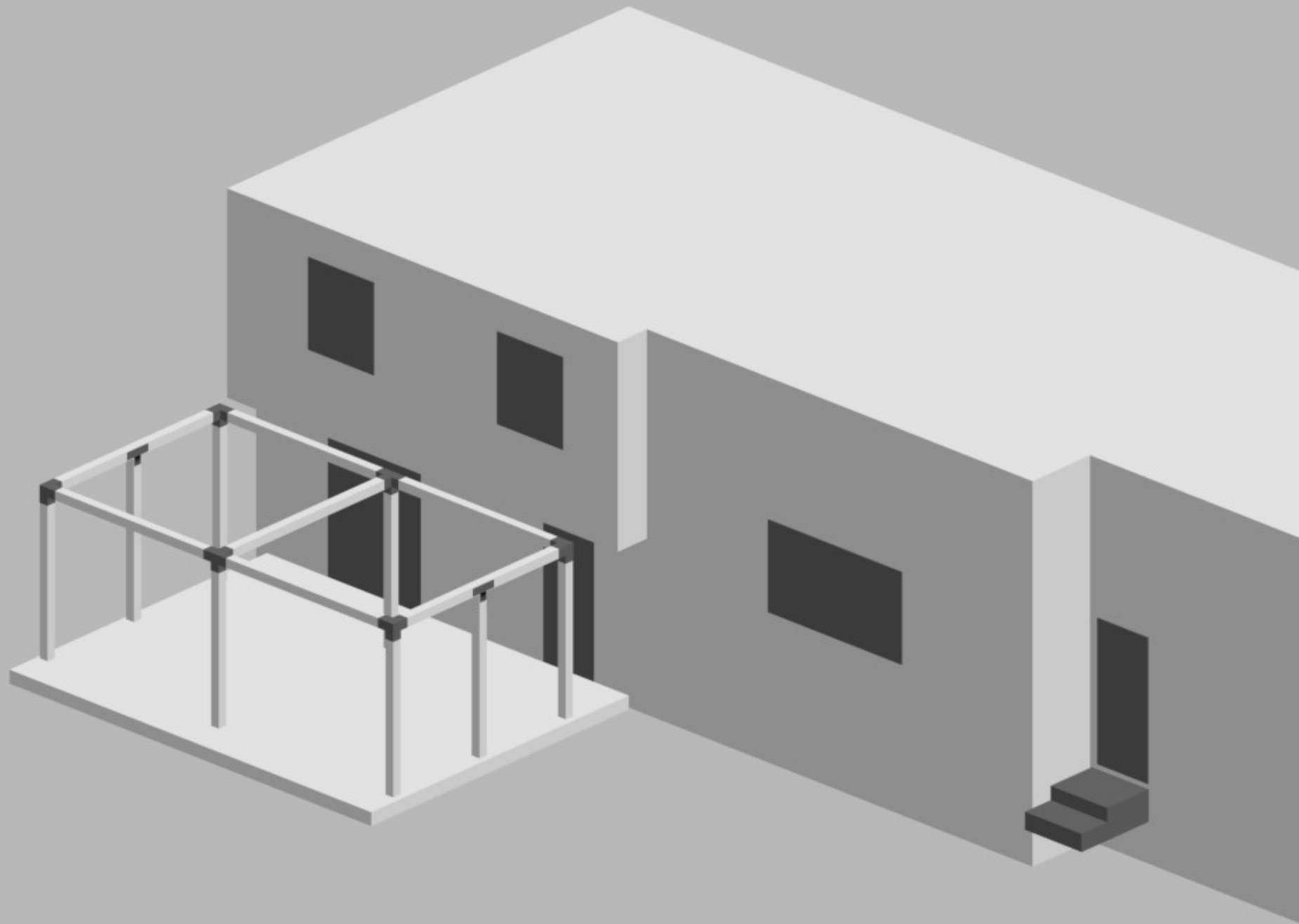


SIDE

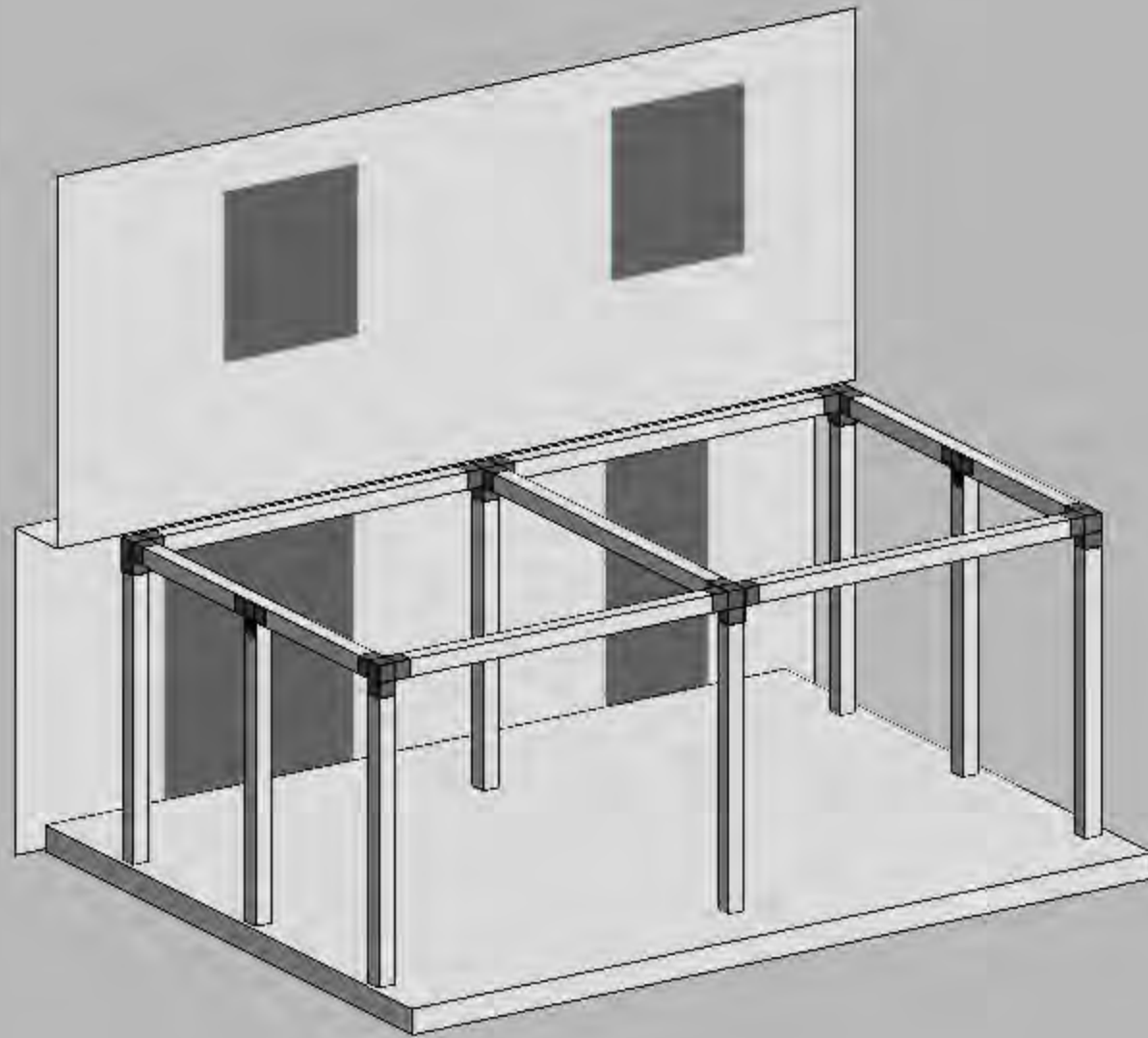


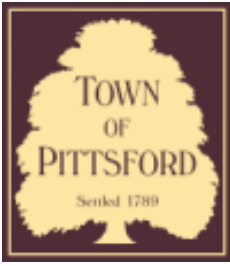












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B24-000077**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 4 Cricket Hill Drive PITTSFORD, NY 14534

**Tax ID Number:** 164.09-3-43

**Zoning District:** RN Residential Neighborhood

**Owner:** Pietropaoli, Michael C

**Applicant:** Pietropaoli, Michael C

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for approximately 1,000 square feet of additions on the rear and second floor of the home.

**Meeting Date:** June 27, 2024















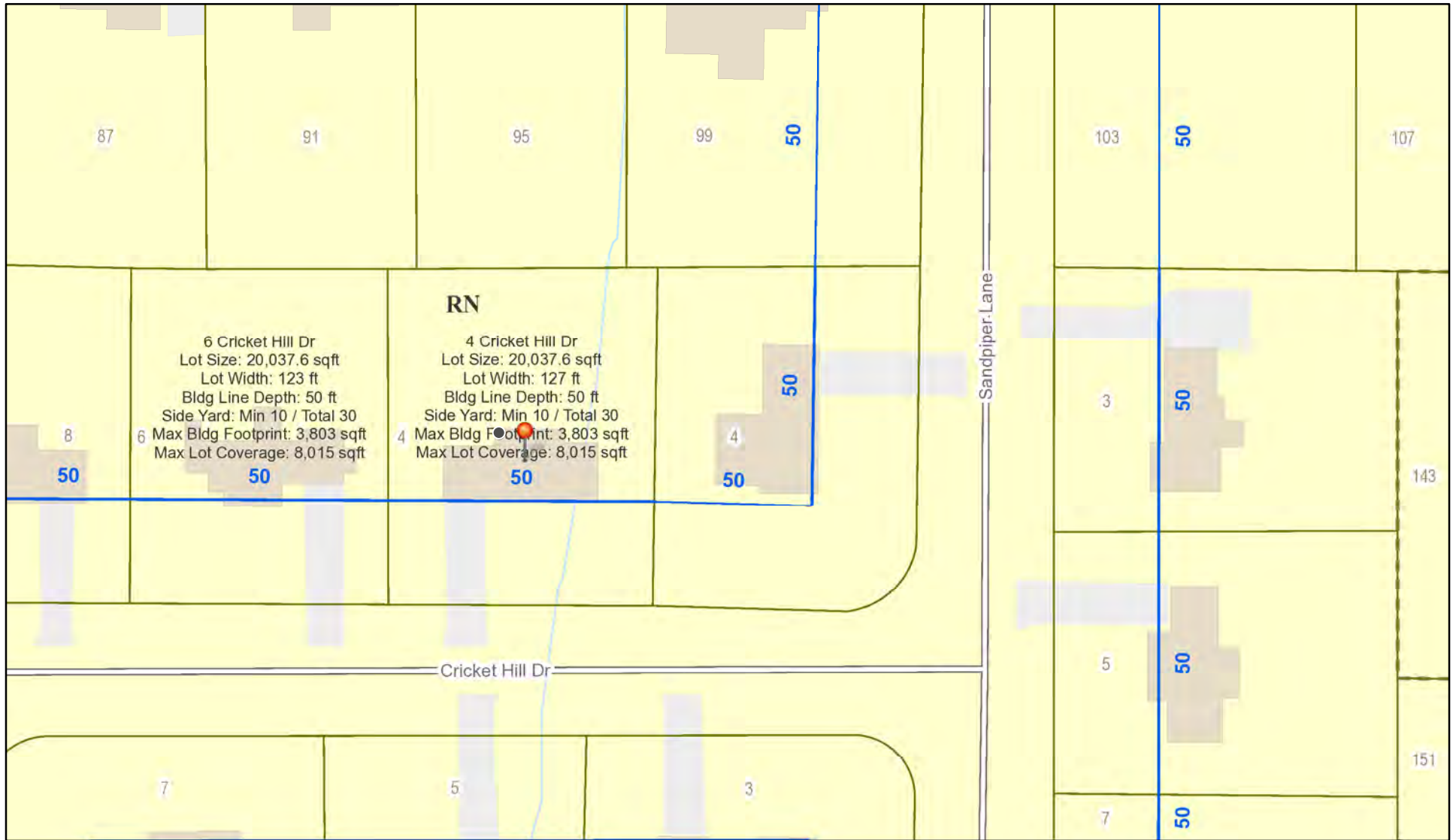




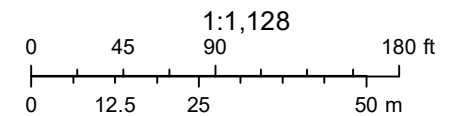




# RN Residential Neighborhood Zoning



Printed June 20, 2024



Town of Pittsford GIS

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Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

20 ft

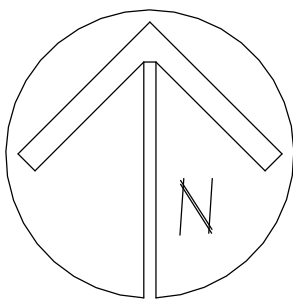
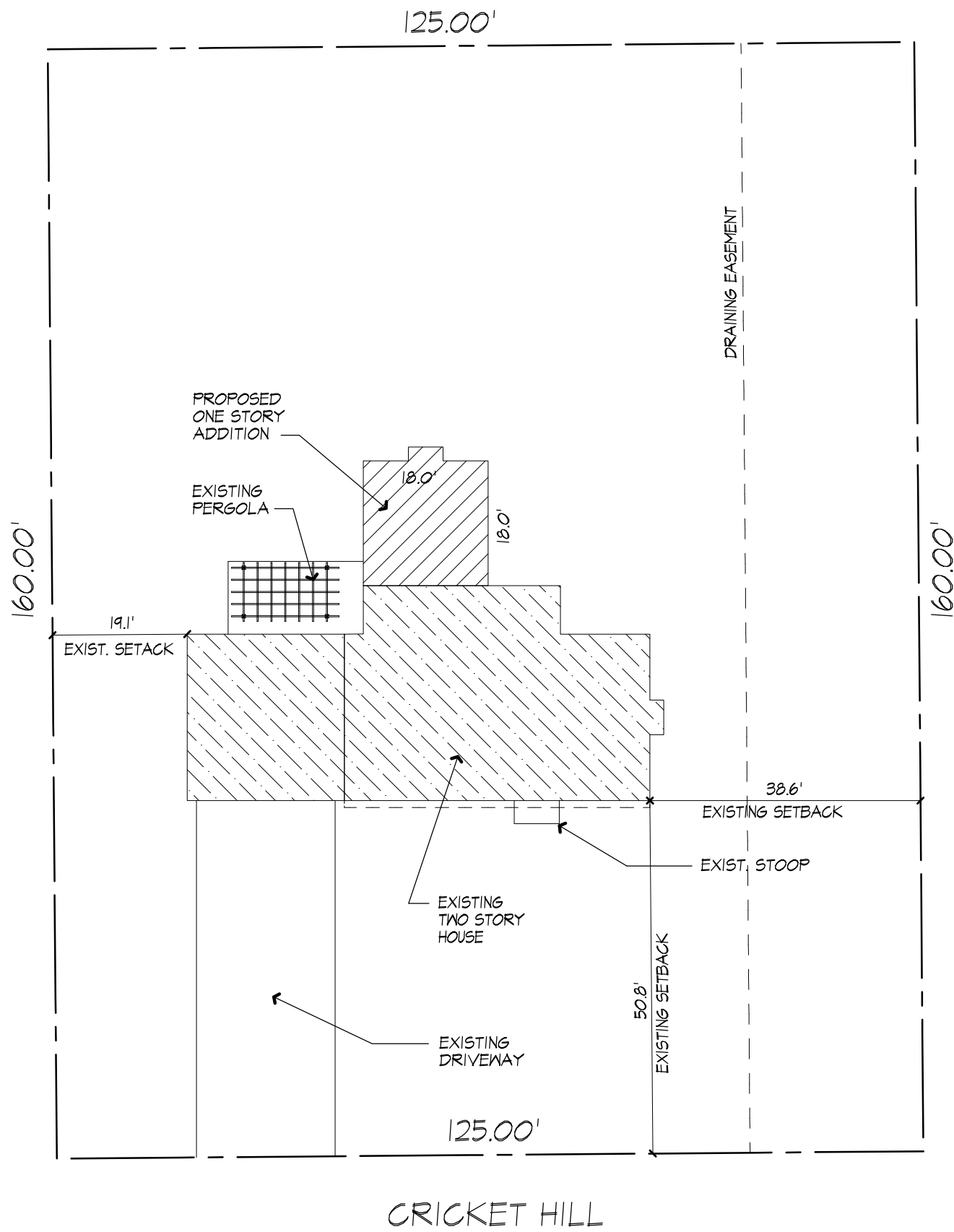
nearmap



GENERAL NOTES:

1. THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
4. ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
5. BACKFILL MATERIALS SHALL BE NATIVE SOIL FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR. PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
6. MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
7. CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1 WALL REINFORC'GS - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
8. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-85. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
9. MINIMUM FIBER STRESS IN BENDING (Fb) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
10. CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
11. WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
12. PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
13. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR MOLMAN SALTS.
14. ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
15. CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
17. THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
18. THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).  

FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
19. ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
20. WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
21. IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
22. ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
23. EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
24. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
25. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
26. THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
27. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
28. THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
29. ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
30. BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
31. SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE BUILDING CODE OF NEW YORK STATE (2020).
32. PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R302.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE.
33. ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PLOT PLAN  
SCALE: 1"= 20'-0"

PIETROPAOLI ADDITION

4 CRICKET HILL DR.

PITTSFORD, NY

DRAWING INDEX

1	TITLE PAGE
2	FRONT ELEVATION - proposed and exist.
3	LEFT/RIGHT SIDE ELEVATIONS - proposed and exist.
4	REAR ELEVATION - proposed and exist.
5	1ST FLOOR PLAN - proposed and exist.
6	2ND FLOOR PLAN - proposed and exist.

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS  
R402.1.2 (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

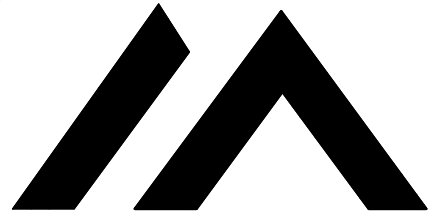
COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

1. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1.
2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.3.
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1.
4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4.
5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5).
6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3.
7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1.
8. MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION M1507.3.3 REQUIREMENT.
9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
10. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

1. GROUND SNOW LOAD - 40 PSF R301.2 (5)
2. WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
3. SEISMIC DESIGN CATEGORY - A R301.2 (2)
4. WEATHERING - SEVERE
5. FROST LINE DEPTH - 48"
6. TERMITE DAMAGE - NONE TO SLIGHT
7. DECAY DAMAGE - NONE TO SLIGHT
8. WINTER DESIGN TEMPERATURE - 1
9. ICE SHIELD UNDERLAYMENT REQUIRED - YES
10. FLOOD HAZARD - FIRM - 1992
11. ROOF TIE DOWN REQUIREMENTS R302.1.1



MORABITO  
ARCHITECTS

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PROJECT:  
ADDITION TO RESIDENCE

CLIENT:  
PIETROPAOLI  
4 CRICKET HILL DRIVE  
PITTSFORD, NY

DRAWING:

DRAWN:  
JTL/PM

DATE: MAY 2024

SCALE: 1/4"=1'-0"

JOB NO.: 23M4346

SHEET:

1

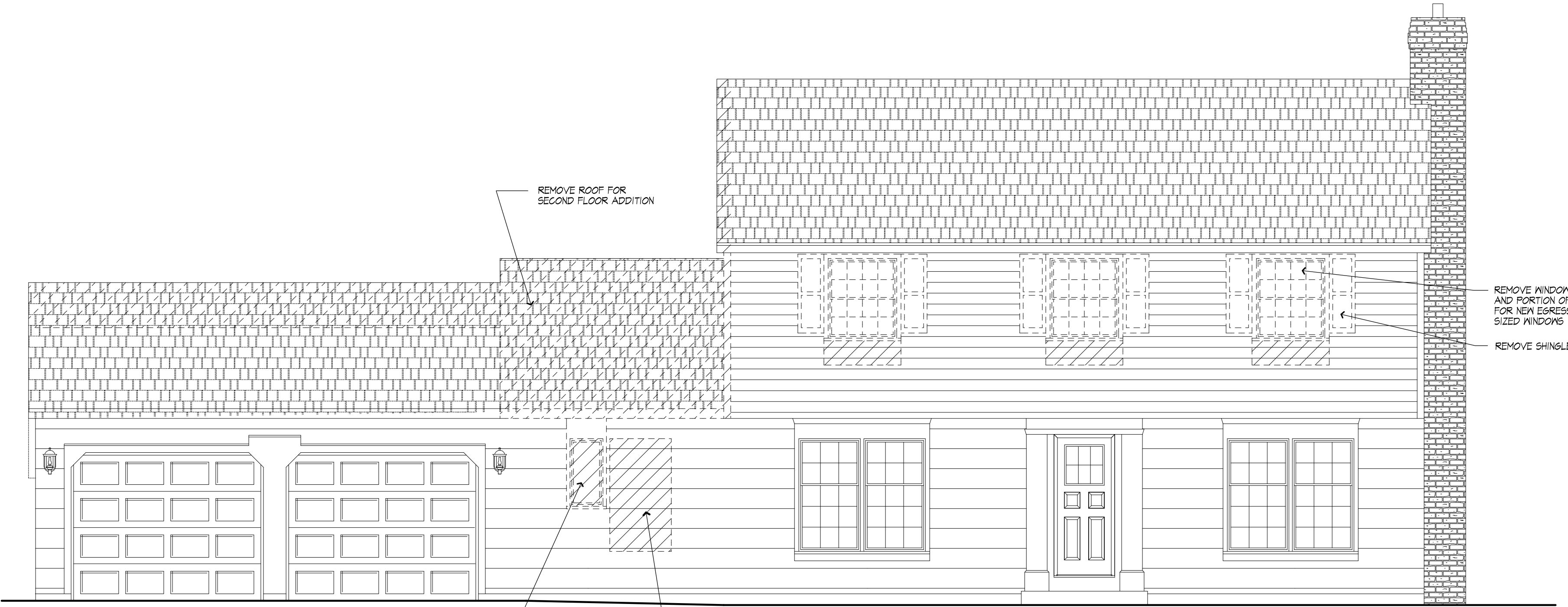
OF 6 SHEETS







FRONT ELEVATION - PROPOSED



FRONT ELEVATION - EXISTING



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**PROJECT:**  
ADDITION TO RESIDENCE

**CLIENT:**  
PIETROPAOLI  
4 CRICKET HILL DRIVE  
PITTSFORD, NY

**DRAWING:**  
PROPOSED ELEVATIONS

**DRAWN:**  
JTL/PM

**DATE:** MAY 2024

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4346

**SHEET:**

2  
OF 6 SHEETS



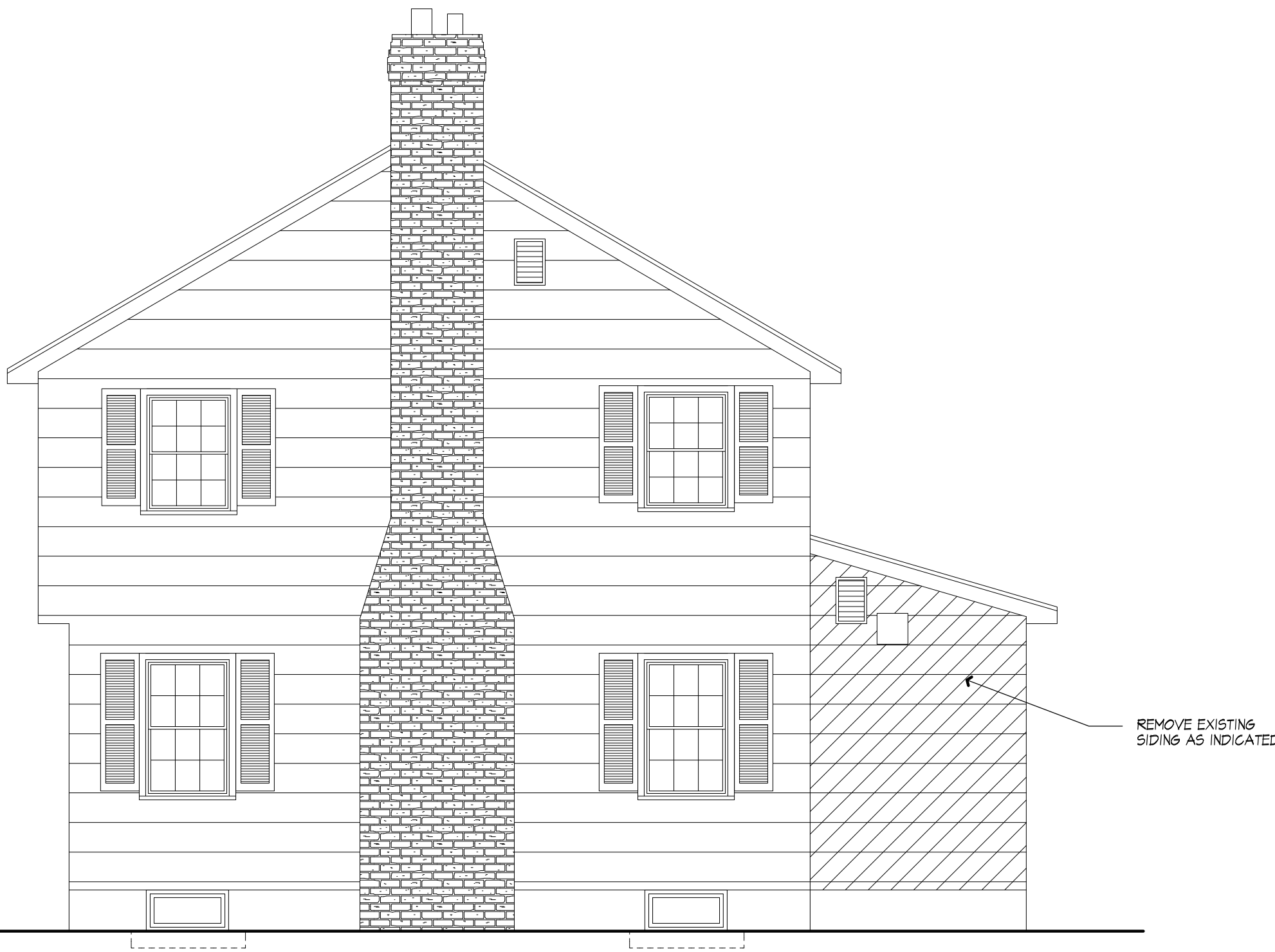




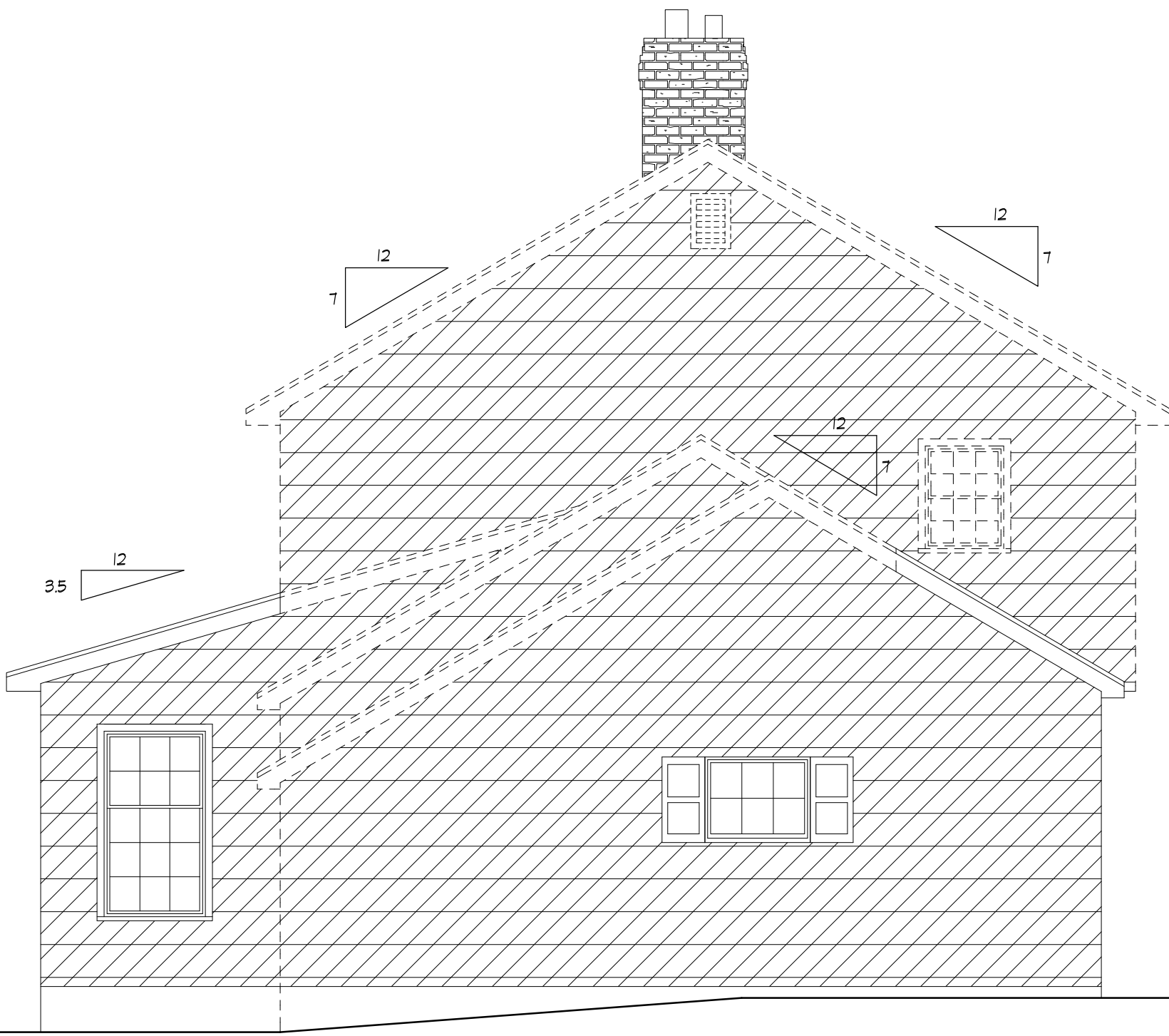
RIGHT SIDE ELEVATION - PROPOSED



LEFT SIDE ELEVATION - PROPOSED



RIGHT SIDE ELEVATION - EXISTING



LEFT SIDE ELEVATION - EXISTING



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**SHEET:**

**3**

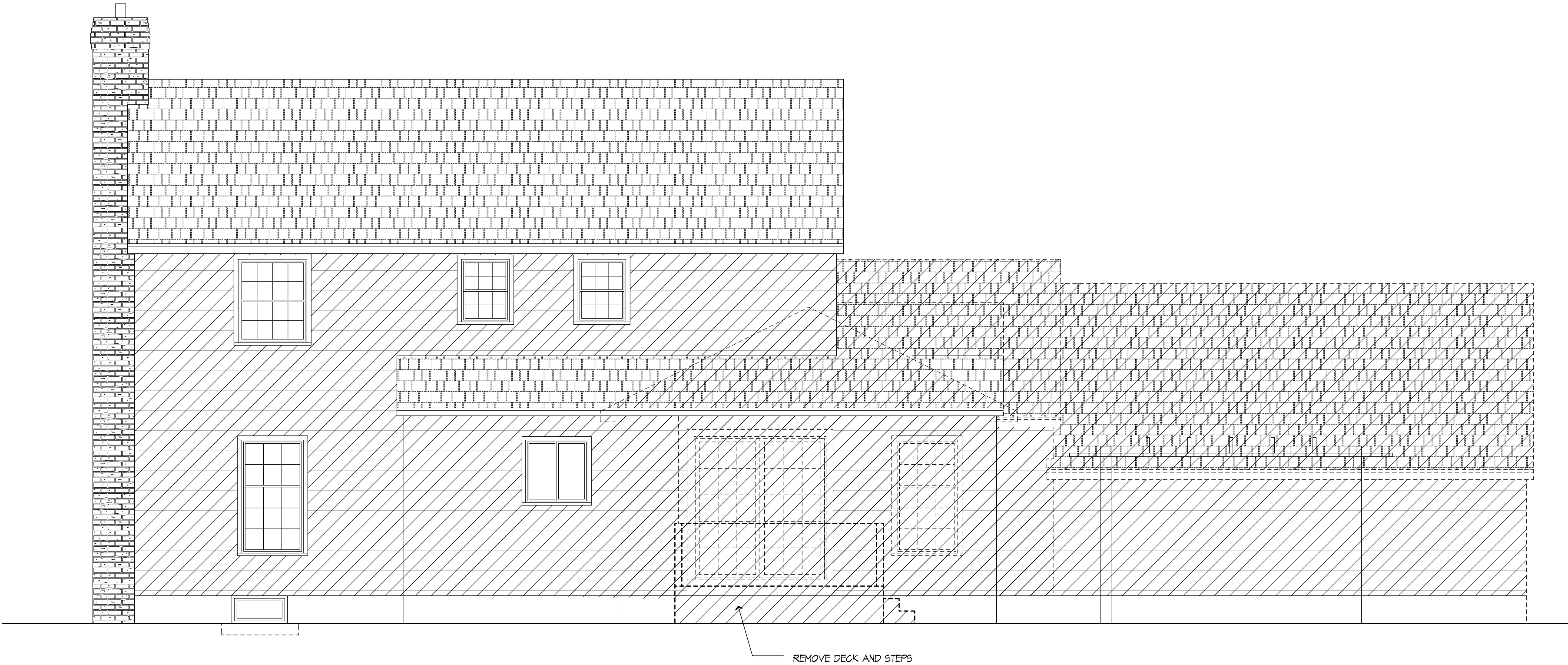
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REAR ELEVATION - PROPOSED



REAR ELEVATION - EXISTING



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PIETROPOLLO  
4 CRICKET HILL DRIVE  
PITTSFORD, NY

**DRAWING:**

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JTL/PM

**DATE:** MAY 2024

**SCALE:** 1/4"=1'-0"

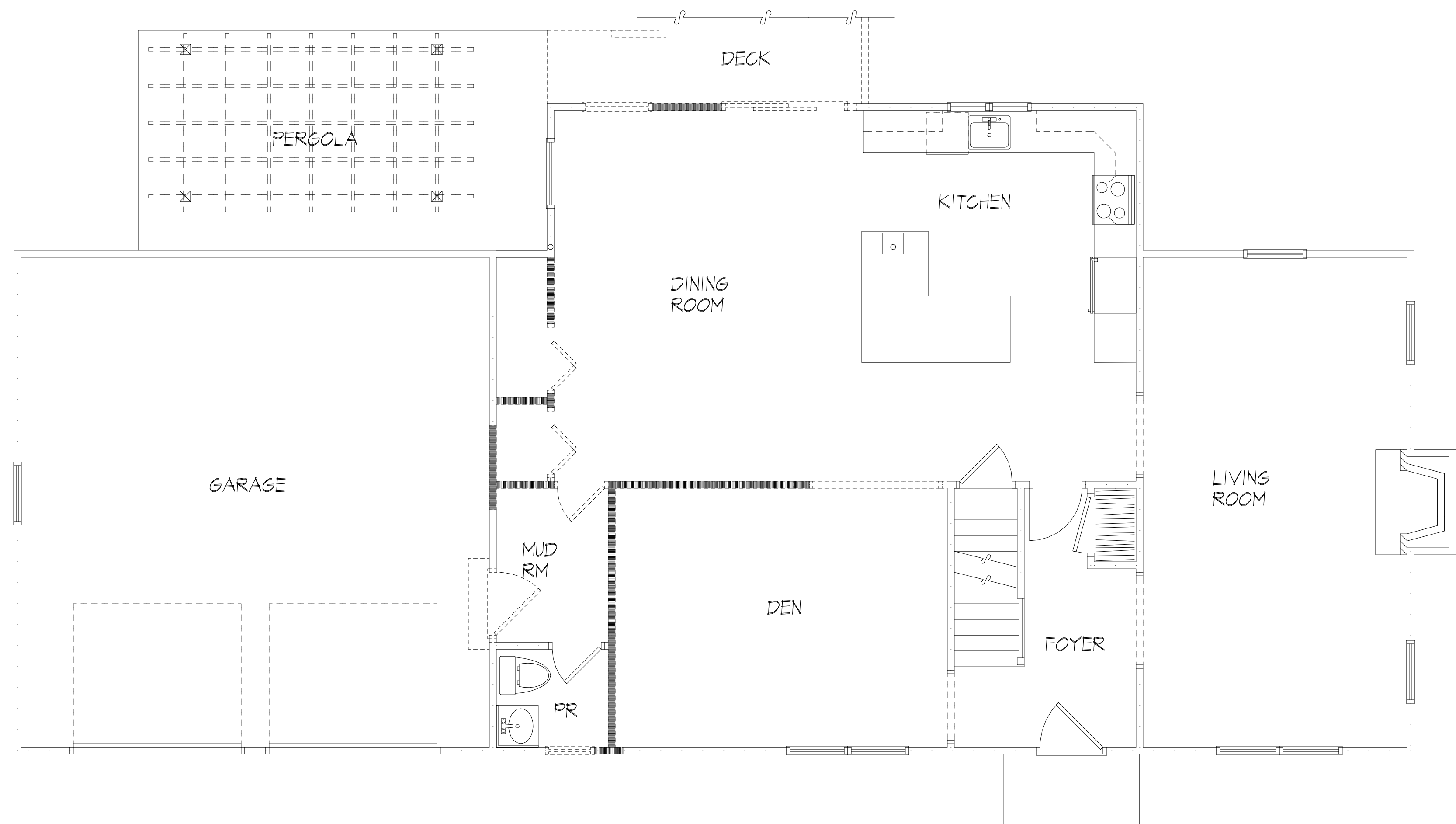
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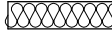




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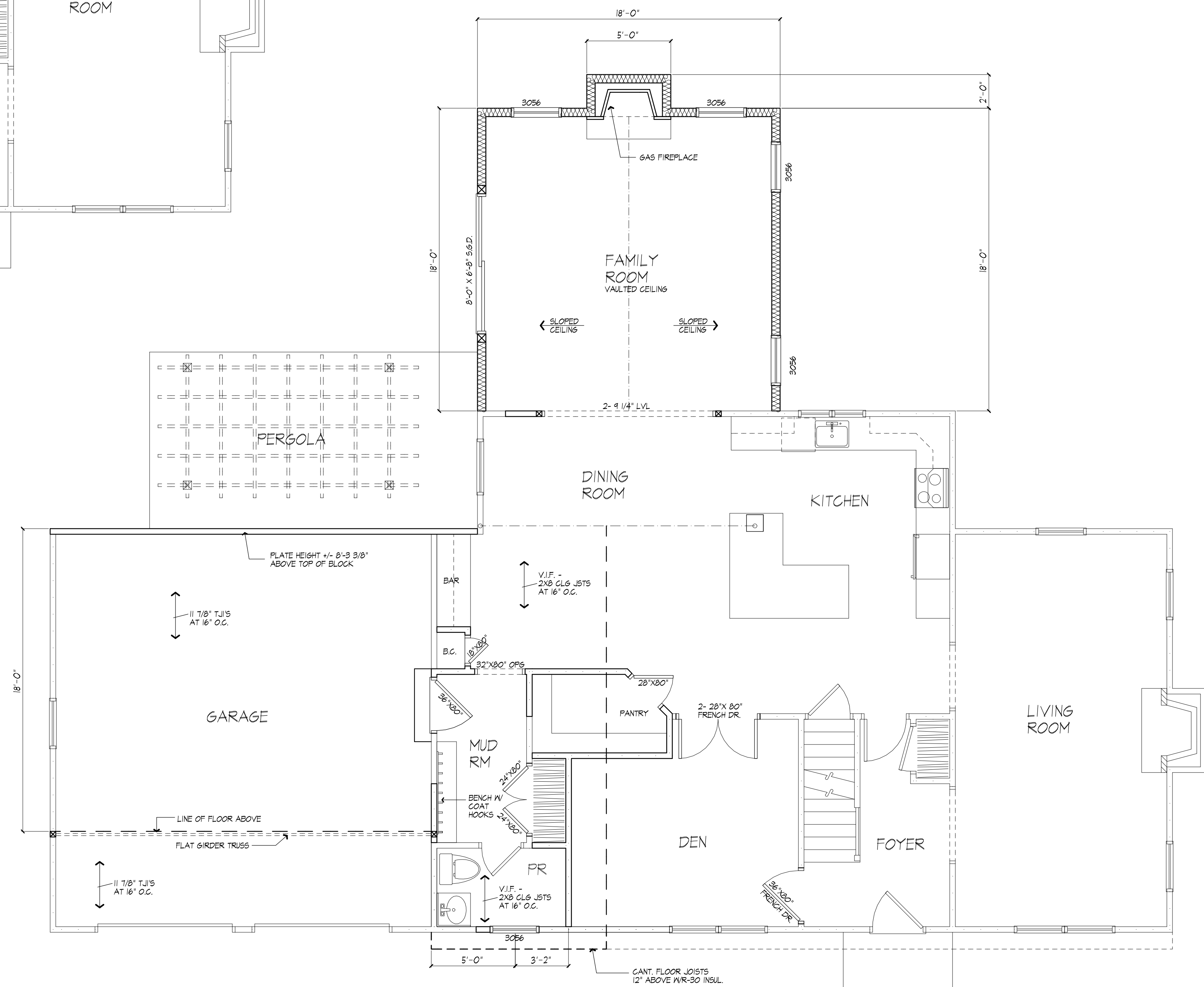






EXISTING FIRST FLOOR PLAN

HEADER SCHEDULE UNLESS OTHERWISE NOTED			
OPENING	2X6 WALL	2X4 WALL	
UP TO 4'-0"	(3) 2X8	(2) 2X8	
5'-0"	(3) 2X8	(2) 2X8	
6'-0"	(3) 2X10	(2) 2X10	
7'-0"	(3) 2X10	(2) 2X12	
8'-0"	(3) 2X12	(2) 2X12	
PROVIDE DOUBLE JACK STUDS AT OPENINGS OVER 60" PROVIDE (2) 1/2" PLY. MD. GUSSETS -2X6 WALL PROVIDE (1) 1/2" PLY. MD. GUSSETS -2X4 WALL GLUE AND NAIL ALL HEADERS			
WALL LEGEND			
	2X6 STUDS AT 16" O.C W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X6 STUDS AT 16" O.C (INTERIOR WALL)		
	2X4 STUDS @ 16" O.C.		
USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS			
PLUMBING NOTE: THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS			



FIRST FLOOR PLAN - PROPOSED



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**PROJECT:**  
 ADDITION TO RESIDENCE

**CLIENT:**  
 PIETROPAOLI  
 4 CRICKET HILL DRIVE  
 PITTSFORD, NY

**DRAWING:**

**DRAWN:**  
 JTL/PM

**DATE:** MAY 2024

**SCALE:** 1/4"=1'-0"

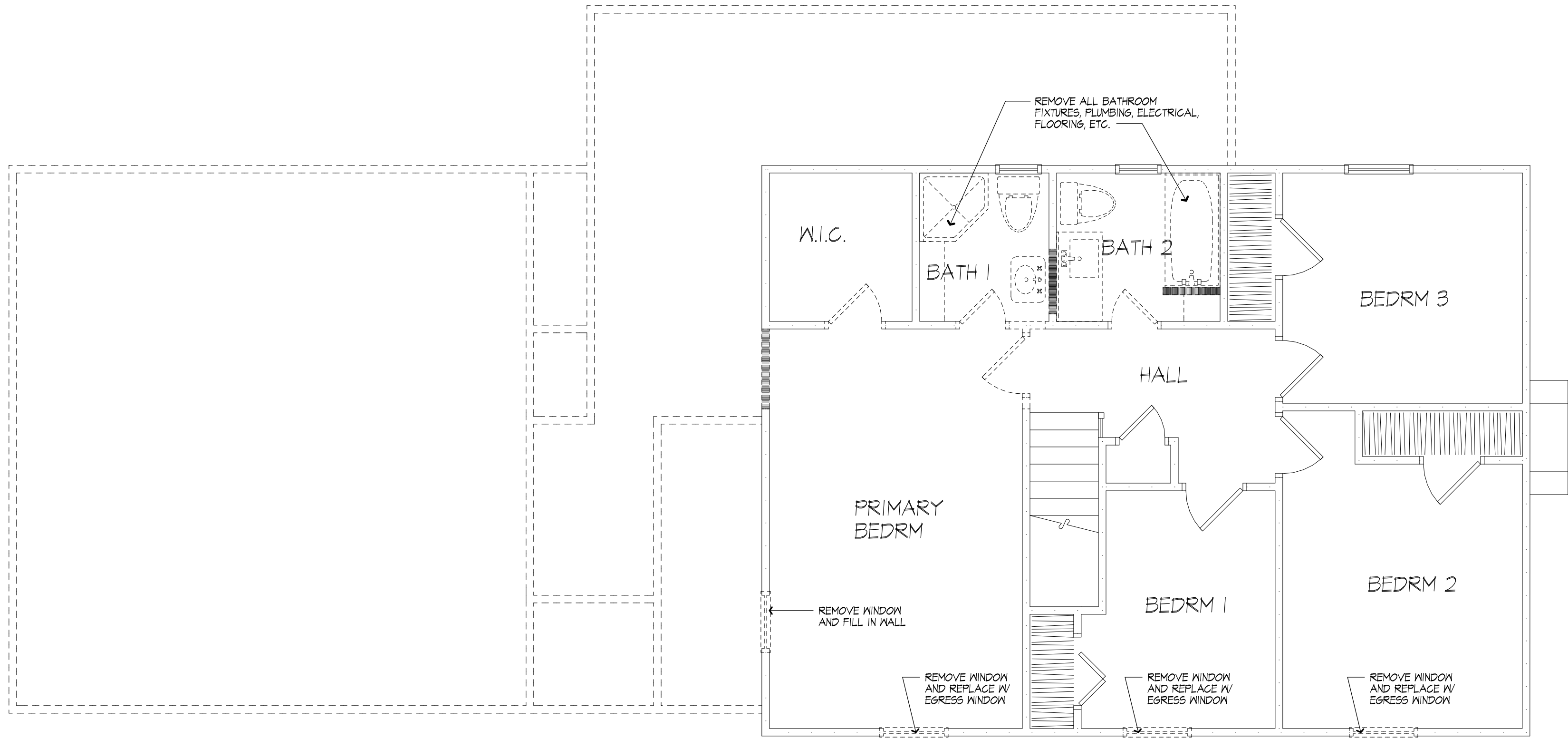
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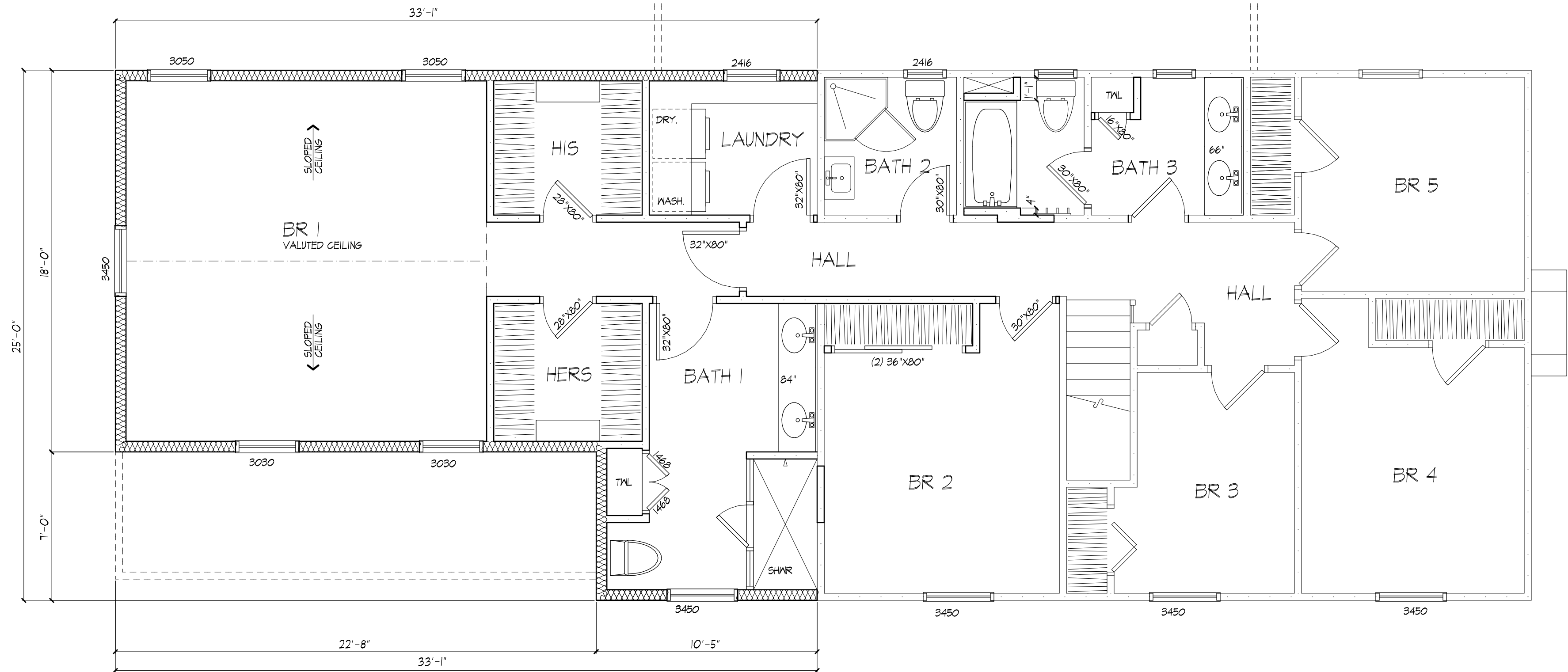






EXISTING SECOND FLOOR PLAN

HEADER SCHEDULE UNLESS OTHERWISE NOTED		
OPENINGS	2X6 MALL	2X4 MALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12
<b>PROVIDE DOUBLE JACK STUDS AT OPENINGS OVER 60"</b> PROVIDE (2) 1/2" PLY. NO. 6USSETS -2X6 MALL PROVIDE (1) 1/2" PLY. NO. 6USSETS -2X4 MALL GLUE AND NAIL ALL HEADERS		
WALL LEGEND		
	2X6 STUDS AT 16" O.C. W/ INSULATION	<input checked="" type="checkbox"/> (3) STUDS GLUE AND NAIL WITH SOLID BEARING BELOW
	2X6 STUDS AT 16" O.C. (INTERIOR MALL)	
	2X4 STUDS @ 16" O.C.	
USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS		
PLUMBING NOTE: THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR MALLS		



SECOND FLOOR PLAN - PROPOSED

AREA: 816 SQ FT EXISTING  
668 SQ FT ADDITION



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**PROJECT:**  
ADDITION TO RESIDENCE

**CLIENT:**  
PIETROPAOLI  
4 CRICKET HILL DRIVE  
PITTSFORD, NY

**DRAWING:**

**DRAWN:**  
JTL/PM

**DATE:** MAY 2024

**SCALE:** 1/4"=1'-0"

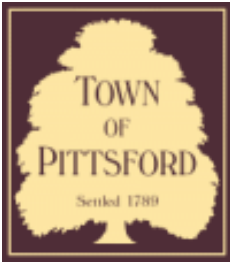
**JOB NO.:** 23M4346

**SHEET:**

**6**  
OF 6 SHEETS







## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B24-000075**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 75 Knollwood Drive ROCHESTER, NY 14618

**Tax ID Number:** 138.17-1-1

**Zoning District:** RN Residential Neighborhood

**Owner:** Park, Richard A

**Applicant:** Park, Richard A

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for a 96-square-foot front entrance replacement.

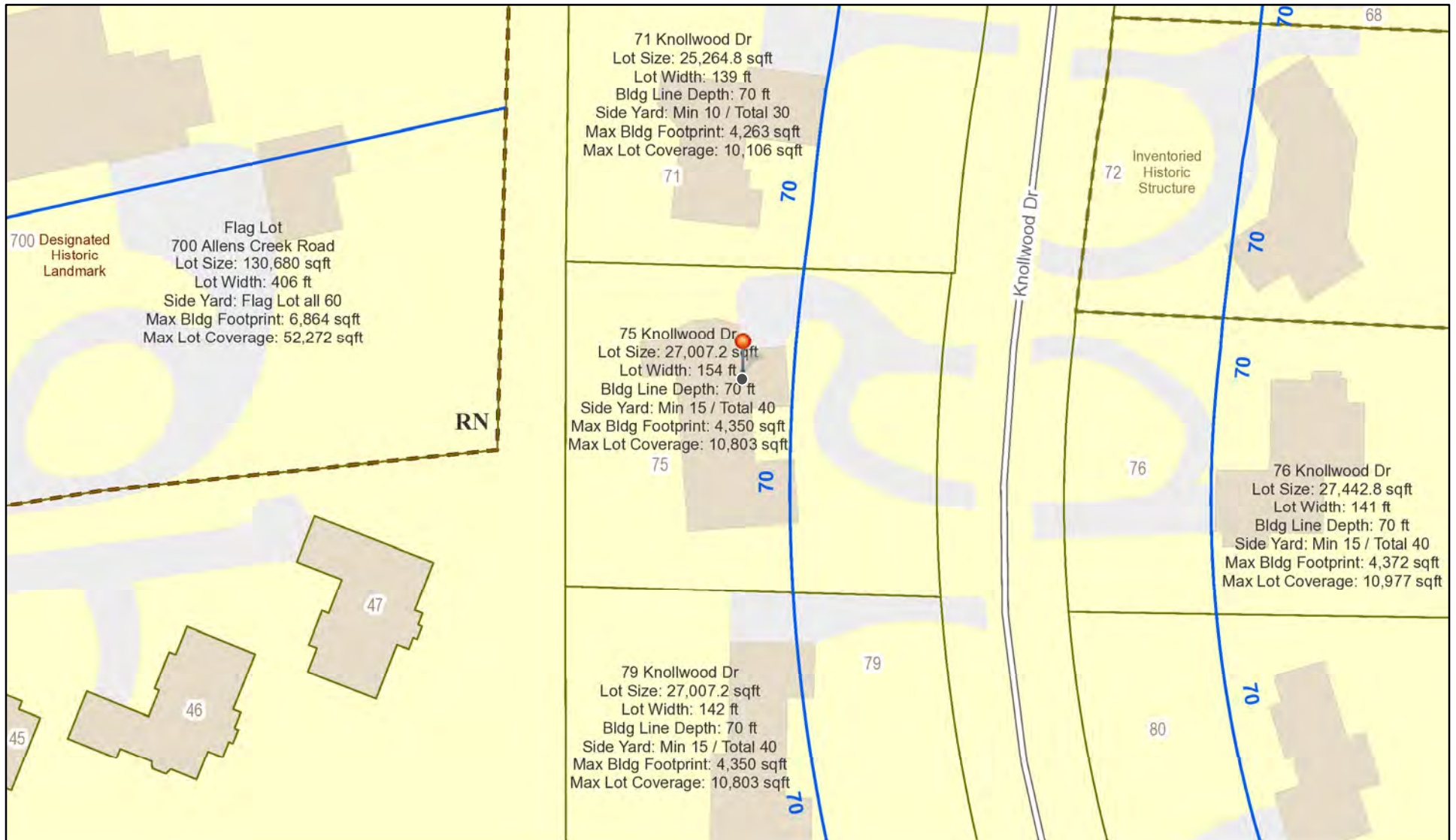
**Meeting Date:** June 27, 2024



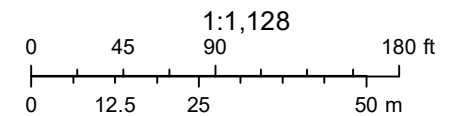




# RN Residential Neighborhood Zoning



Printed June 20, 2024



Town of Pittsford GIS

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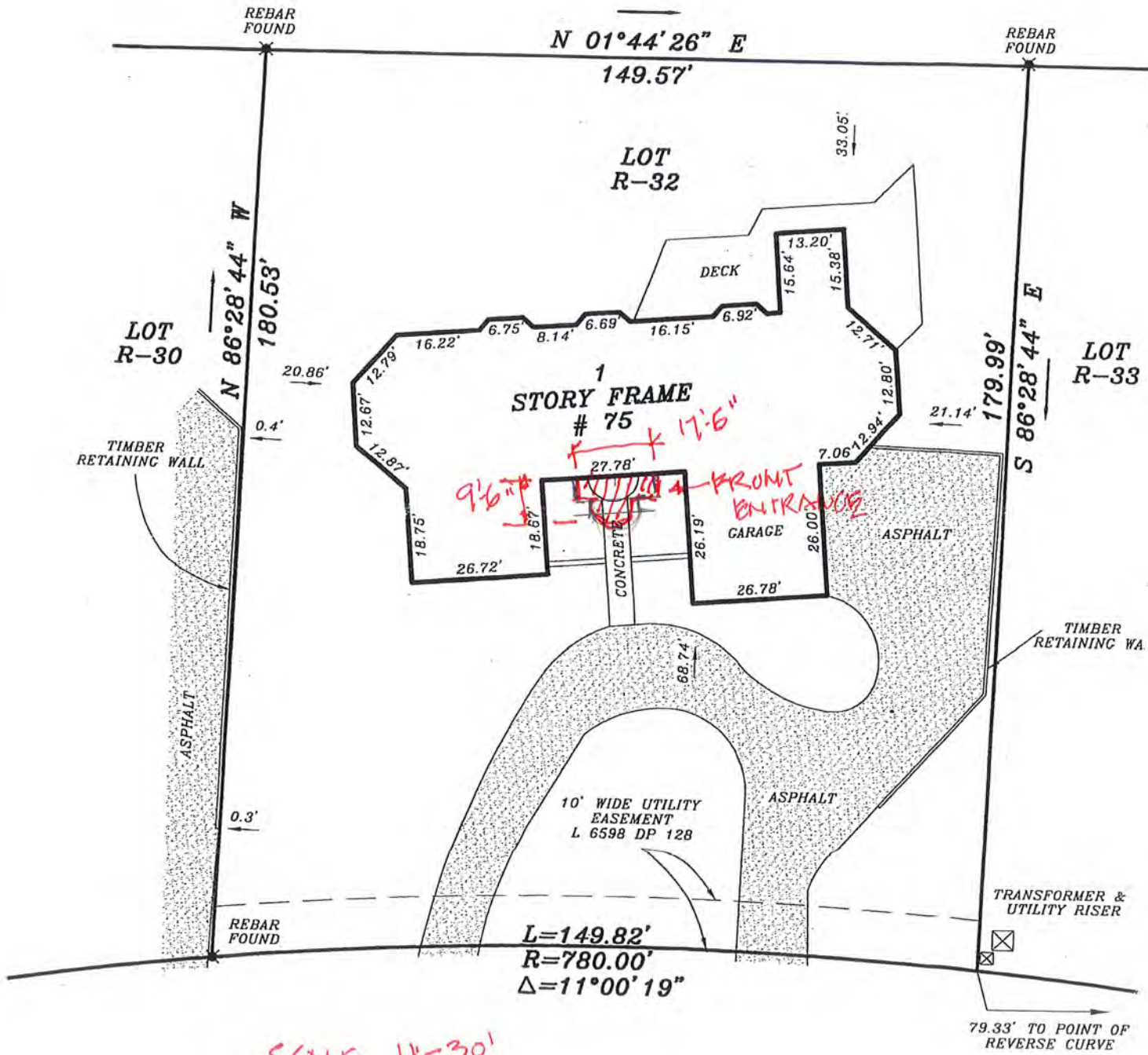
Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

20 ft

nearmap



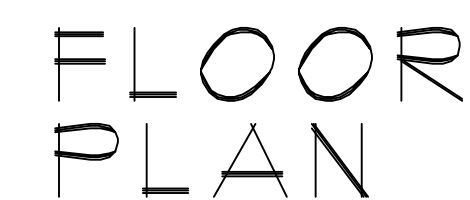
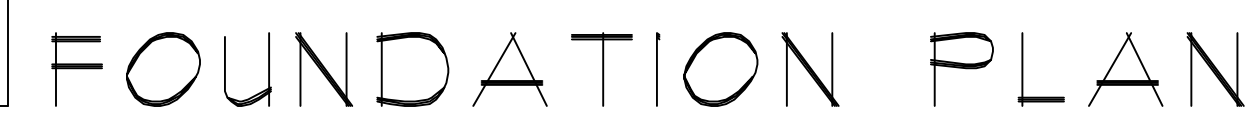
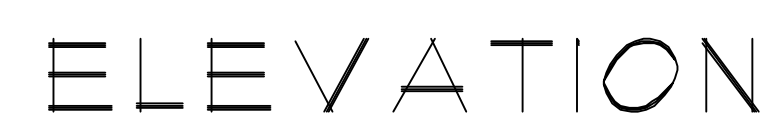
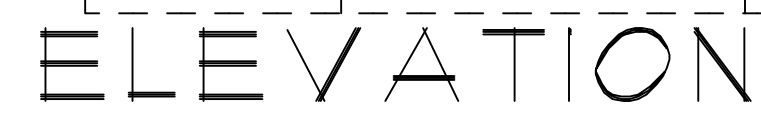


SCALE 1"=30'

**KNOLLWOOD DRIVE** (60' WIDE)

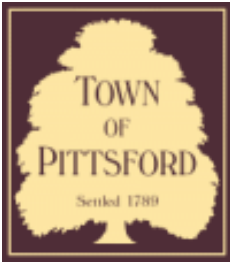
75 KNOLLWOOD DRIVE  
PITTSFORD, NEW YORK





PROJECT	99 SHOREHAM DRIVE ROCHESTER, NEW YORK 14418 585-385-5540 E-MAIL AIPC@aol.com RICHARD PARK	ARCHITECTURAL INNOVATIONS NO.      REVISION      DATE      BY	THESE PLANS ARE INSTRUMENTS OF SERVICE AND MUST NOT BE ALTERED, REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL INNOVATIONS. TP THESE PLANS ARE A VIOLOATION OF THE N.Y.S. EDUCATION LAW GOVT. § 1206 TO VIOLATE ALL NOTES AND DIMENSIONS BEFORE STARTING CONSTRUCTION AND BE RESPONSIBLE FOR ANY REBID, AWARD CONDITIONS, CONSTRUCTION REPAIRS, ETC. TECHNIQUES, SEQUENCES OR PROCEDURES AND SAFETY WITH THE WORK.
FRONT ENTRANCE ADDITION			
DRAWING TITLE			
PROJECT LOCATION	35 KILLWOOD DRIVE FITTSFORD, NEW YORK		
CLIENT			
PROJECT NUMBER			
DRAWN BY	JHS		
SHEET NUMBER	1 of 1		





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B24-000076**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 17 Park Road PITTSFORD, NY 14534

**Tax ID Number:** 151.17-2-50

**Zoning District:** RN Residential Neighborhood

**Owner:** Rowland, Elizabeth K

**Applicant:** Rowland, Elizabeth K

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for approximately 2,000 square feet of additions.

**Meeting Date:** June 27, 2024







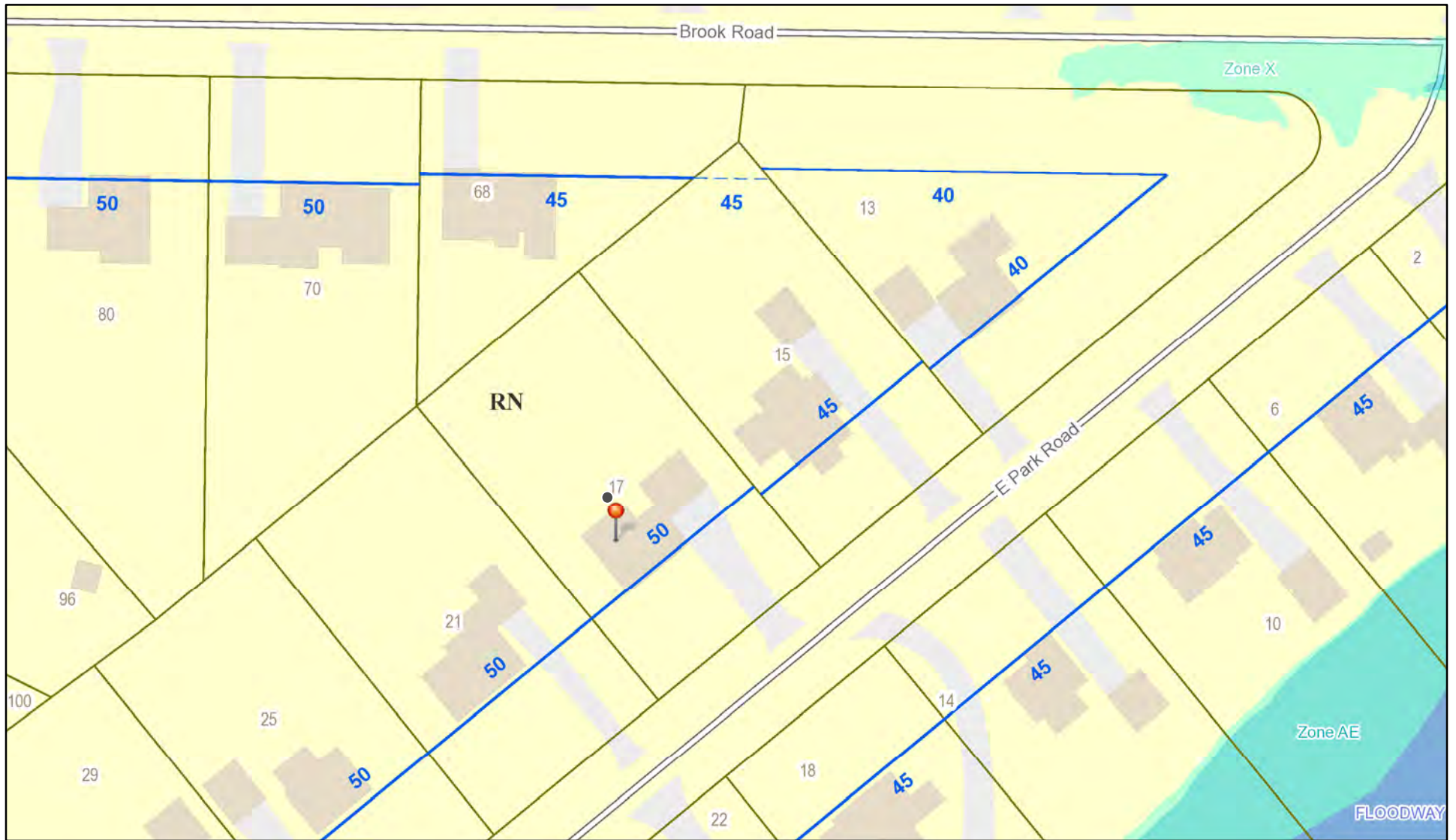




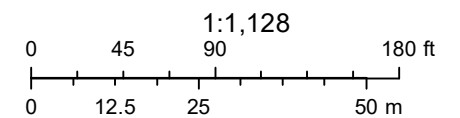




# RN Residential Neighborhood Zoning



Printed June 20, 2024



Town of Pittsford GIS

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Thu Apr 25 2024

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20 ft

nearmap



LOT  
35

LOT  
36

LOT  
37

I.P. FND.  
I.P. FND. 0.2'N, 0.2'E  
0.2'N

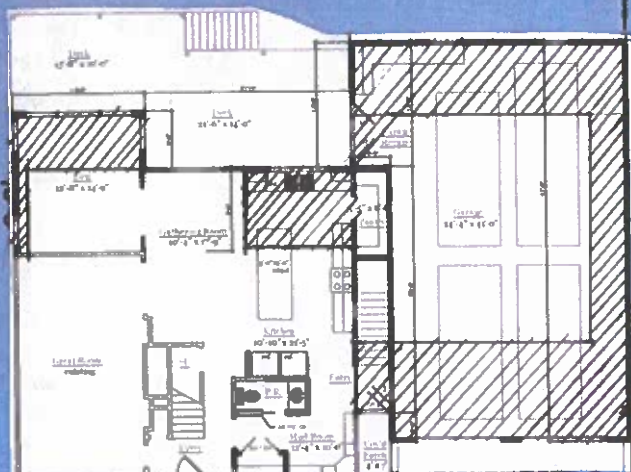
100.00'

90°00'00"

90°00'00"

180.00'

25.0'



O.P.

CONC. WALK

BLACKTOP  
DRIVEWAY

300.00' TO  
AT BROOK

I.P. FND.  
I.P. FND. 0.3'N, 0.1'E

100.00'

90°00'00"

I.P. FND.  
I.P. FND. 0.2'N, 0.2'E







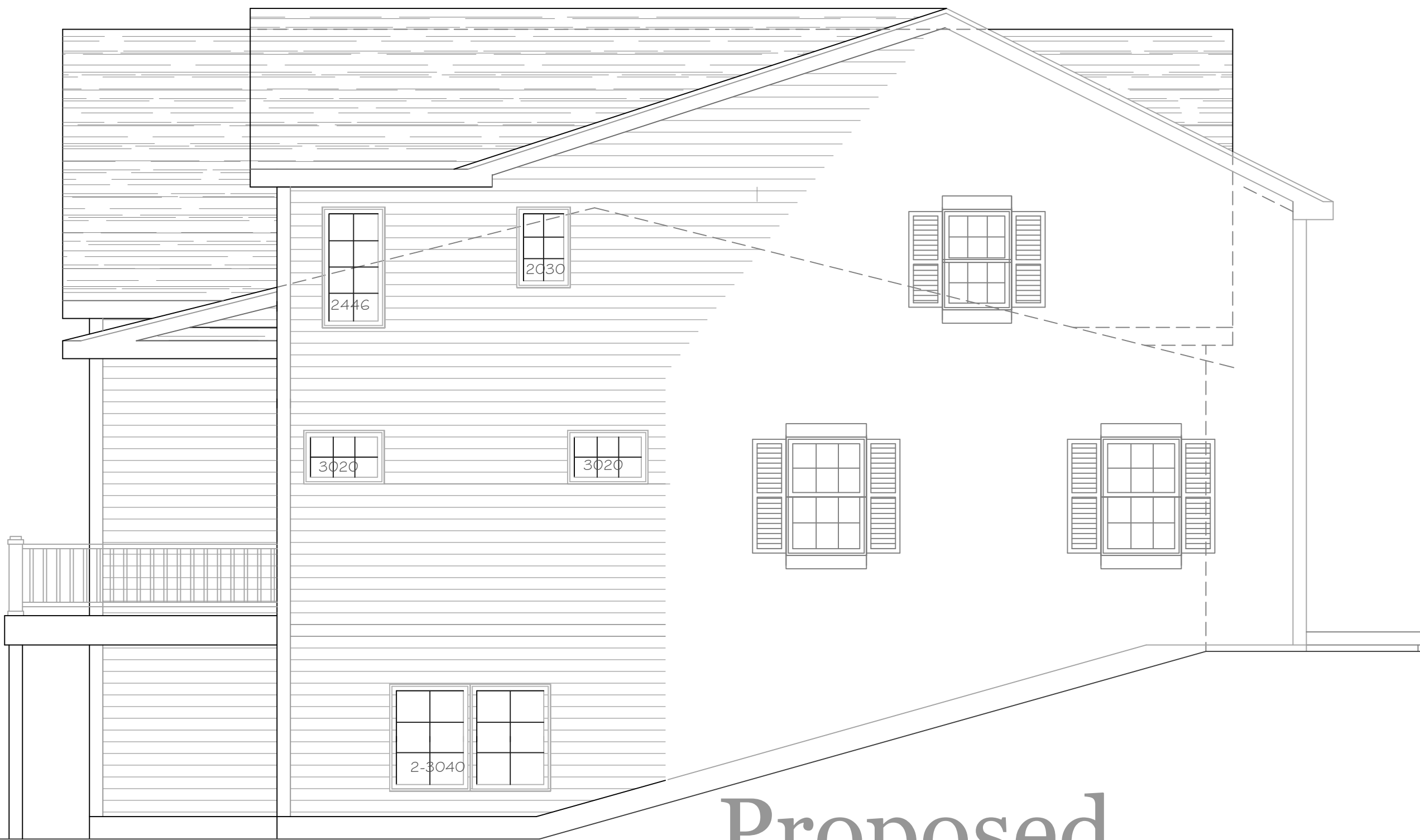
Proposed  
Right Side Elevation



Proposed  
Front Elevation



Proposed  
Rear Elevation



Proposed  
Left Side Elevation

**CKH**  
architecture

1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 240-1134  
e-mail: CKH@ckhny.com

PROJECT:  
Additions and Renovations to:  
17 East Park Road, Pittsford

CLIENT:  
Dan & Liz Rowland

JOB NO.:  
A23-048

DRAWING TITLE:  
Elevations

PHASE:  
Construction Documents

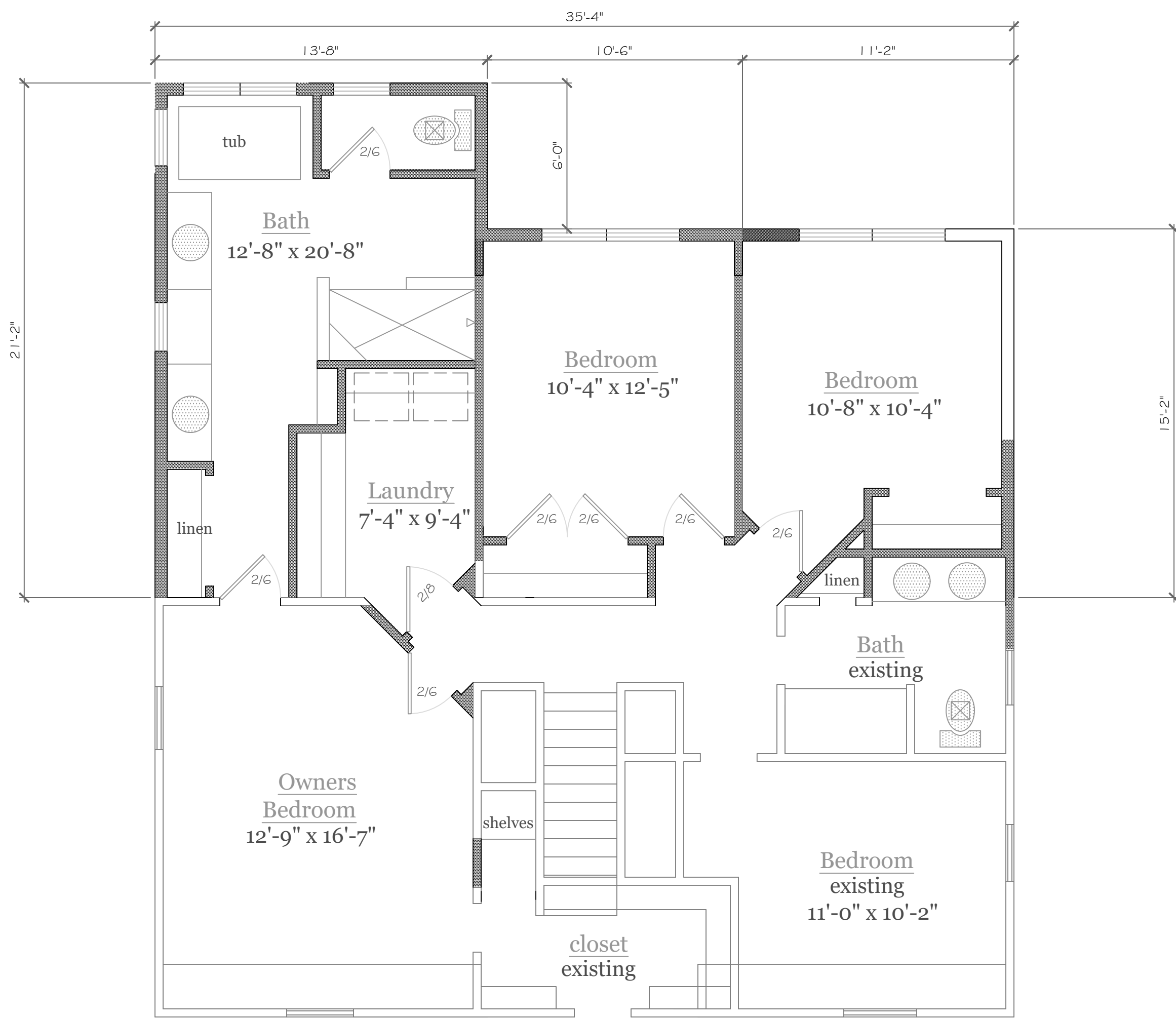
DATE:  
May 2024

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NO.	DATE	DESCRIPTION

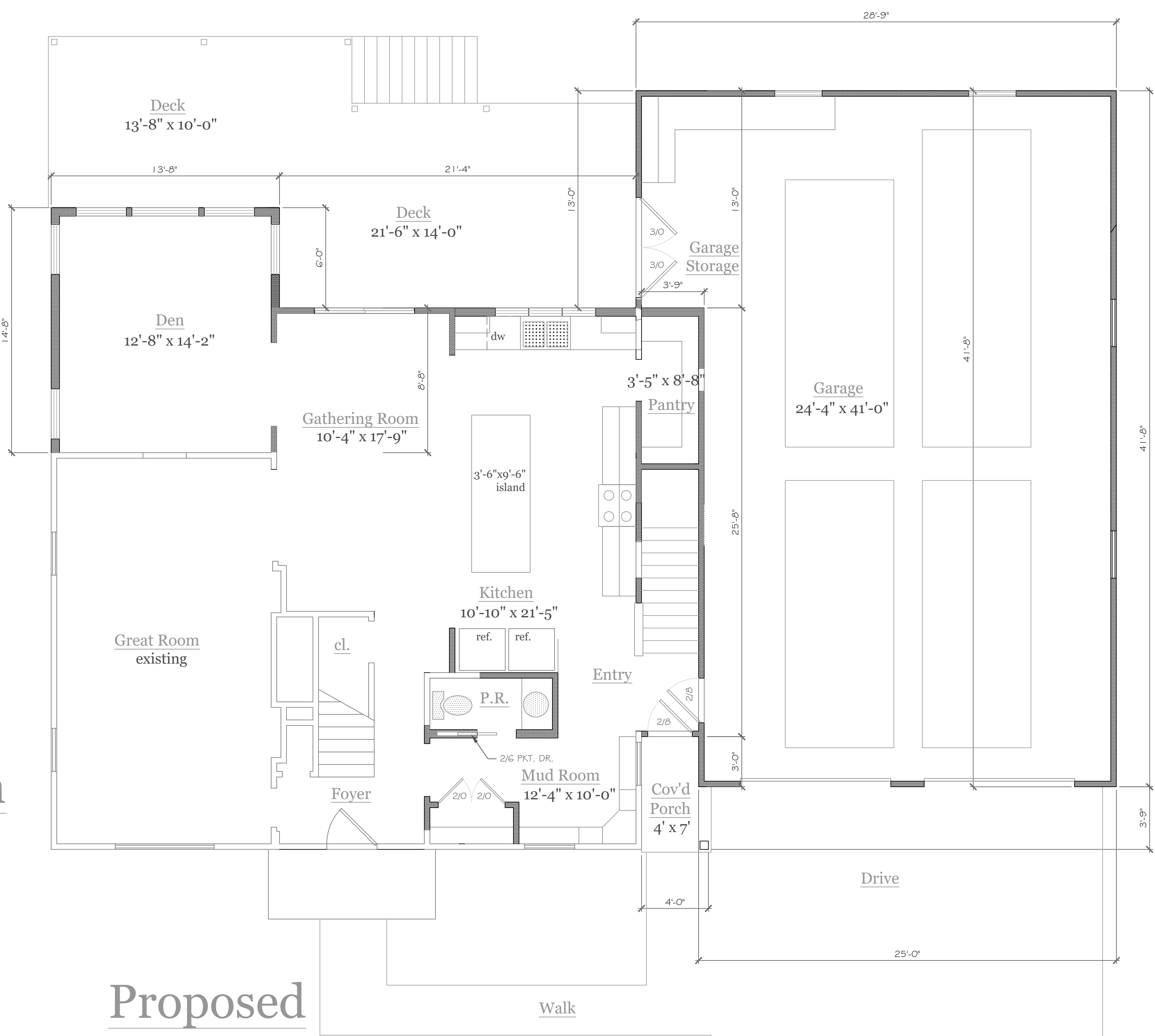
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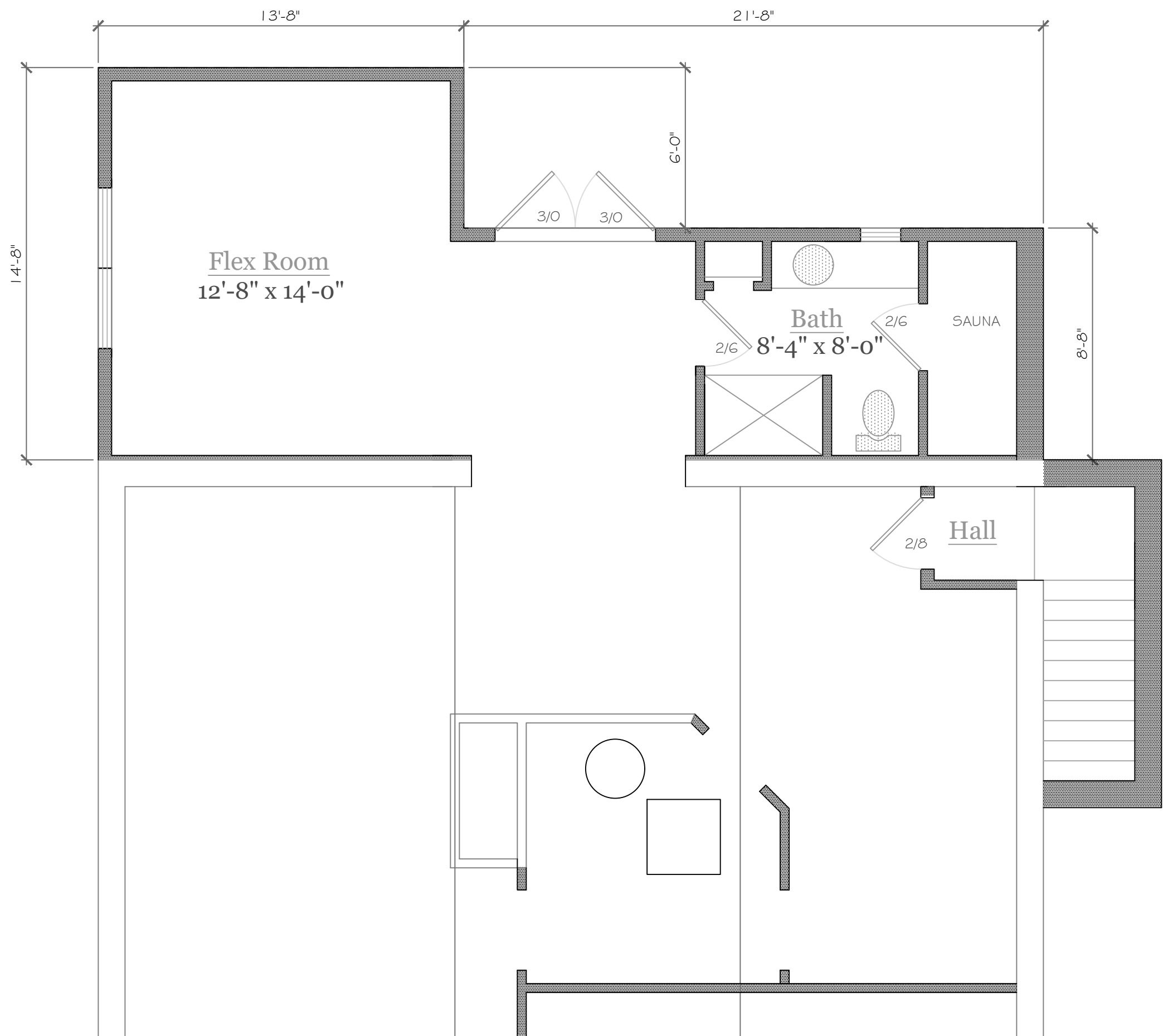
## Proposed Second Floor Plan

472 sf Addition



## Proposed First Floor Plan

484 sf Addition  
1082 sf Garage Addition  
25 sf Cov'd Porch Additions  
460 sf Deck Addition



## Proposed Lower Level Plan

446 sf Addition

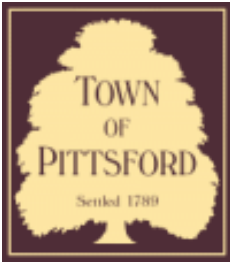
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REVISIONS:	
NO.	DESCRIPTION

DRAWING TITLE:	
First & Second Floor Plans Lower Level Floor Plan	
PHASE: Construction Documents	
PROJECT: Additions and Renovations to: 17 East Park Road, Pittsford	
CLIENT: Dan & Liz	
JOB NO. - A23-048	DATE: May 2024

**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 240-1134  
e-mail: CKHfirm@aig.com





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B24-000078**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 246 Long Meadow Circle PITTSFORD, NY 14534

**Tax ID Number:** 151.13-1-38

**Zoning District:** RN Residential Neighborhood

**Owner:** Sherman, Neal E

**Applicant:** Gaetano Abbate Contacting & Consulting

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for an approximately 1,200-square-foot, two-story, attached garage on the side of the home.

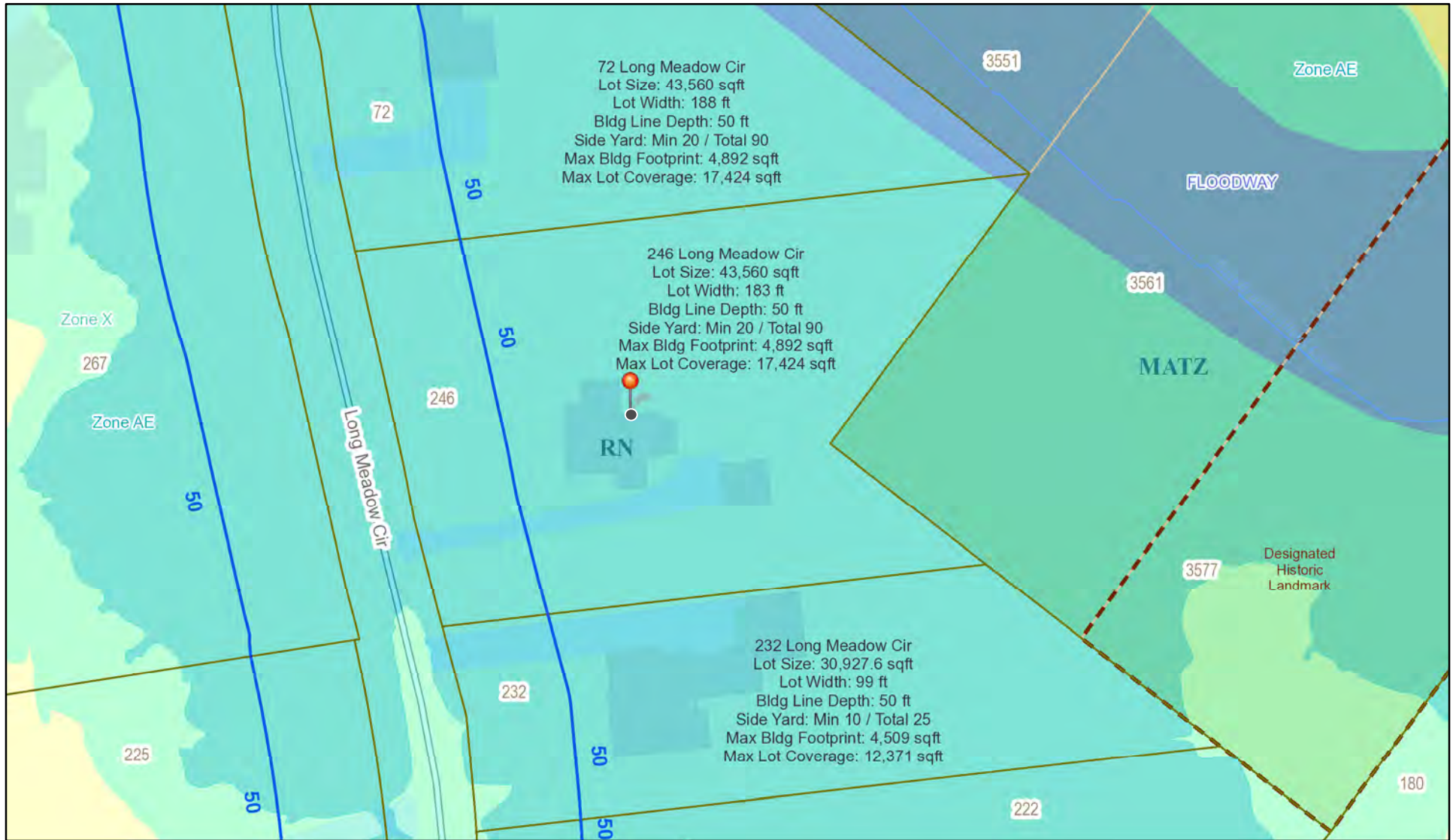
**Meeting Date:** June 27, 2024



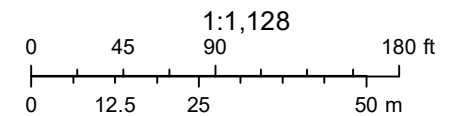




# RN Residential Neighborhood Zoning



Printed June 20, 2024



Town of Pittsford GIS

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3561

267

246

232

Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

20 ft

nearmap







GENERAL NOTES:

1.

THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
2.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
3.

THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS, WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
4.

ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
5.

BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED
6.

MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
2500 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
7.

CONCRETE BLOCK SHALL CONFORM TO ASTM C40 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
8.

N/A
9.

MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE (150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
10.

CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
11.

WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
12.

PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHINGS EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
13.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSOMALTS OR NOLMAN SALTS.
14.

N/A
15.

CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
16.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
17.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL, AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
18.

THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).  
FLOOR LOADS 40 PSF
19.

ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
20.

WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
21.

IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
22.

ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
23.

EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
24.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
25.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
26.

THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
27.

THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
28.

THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
29.

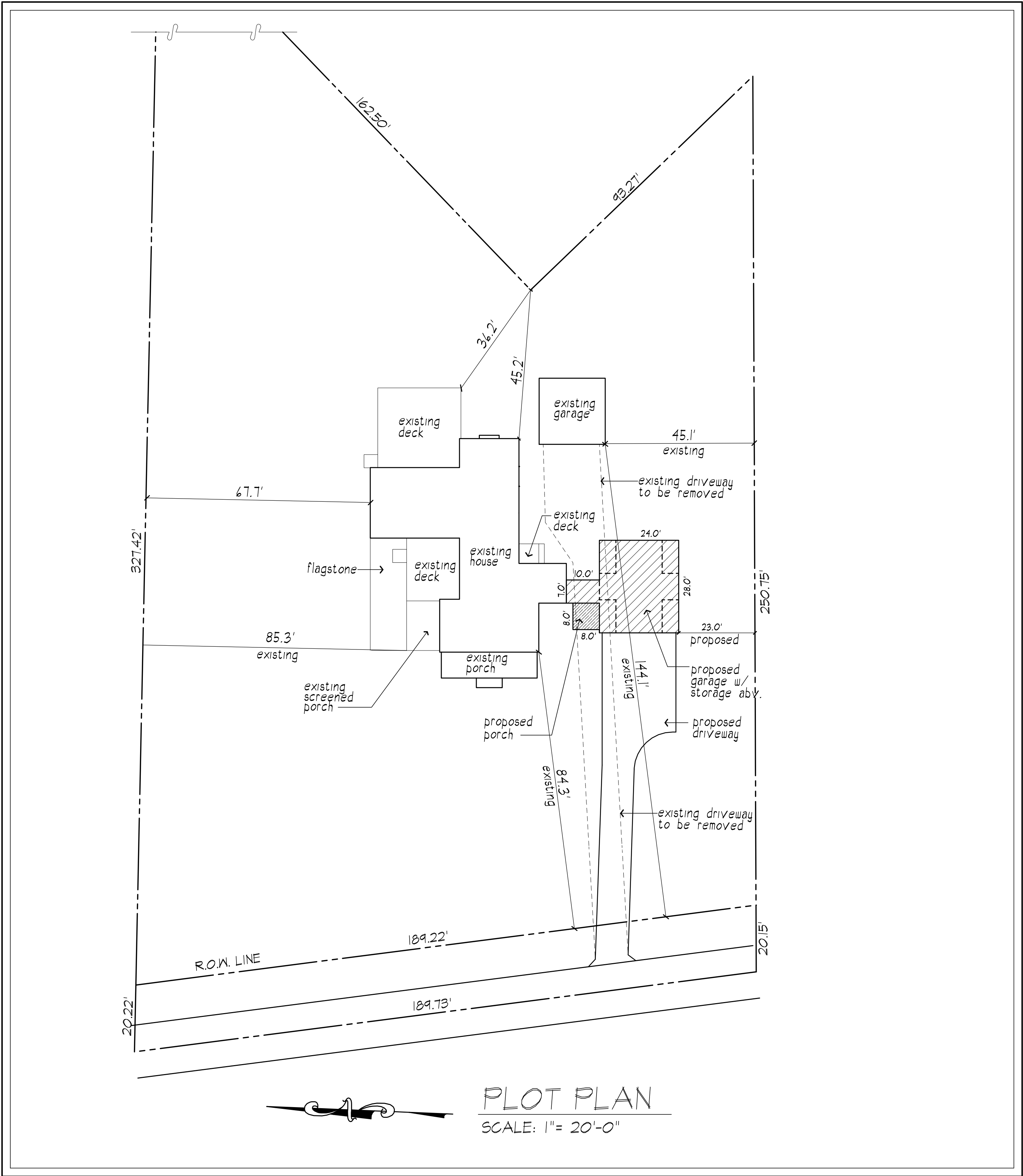
ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
30.

BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
31.

SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R314.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)  
CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R315 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)  
HARDWIRED HEAT SENSOR SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R314.2.3 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
32.

PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R302.6 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020). ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
33.

ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



NEAL & PAMELA SHERMAN  
GARAGE ADDITION TO RESIDENCE  
246 LONG MEADOW CIRCLE

DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	1ST FLOOR PLAN
5	2ND FLOOR PLAN

SITE STATISTICS	
615.TOWNOFPITTSFORD.ORG/RNZONING RESIDENTIAL NEIGHBORHOOD PARCEL: 246 LONG MEADOW CIR  PARCEL ID: 15113-1-58 LOT SIZE: 43560.00 SQFT LOT WIDTH: 103 FT	
REQUIRED	PROVIDED
BLDG LINE DEPTH: 50 FT	BLDG LINE DEPTH: 84.3 FT
SIDE YARD: MIN 20 / TOTAL 40	SIDE YARD: MIN 61.1 & 23 / TOTAL 84.1
REAR BUFFER: 20 FT	REAR BUFFER: 36.2 FT
MAX BLDG FOOTPRINT: 4,842 SQFT	BLDG FOOTPRINT: 3,684.6 SQFT INCLUDES EXISTING HOUSE, PROPOSED ADDITION AND EXISTING DETACHED GARAGE
MAX LOT COVERAGE: 17,424 SQFT	LOT COVERAGE: 6,492 SQFT INCLUDES ALL ROOFED STRUCTURES, OPEN DECKS/STAIRS, PATIOS, DRIVEWAYS & WALKWAYS
MAX BLDG HEIGHT: 30 FT	BLDG HEIGHT: 27.3 FT

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

1. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
2. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4

BASIC DESIGN CRITERIA

1. GROUND SNOW LOAD - 40 PSF R301.2 (5)
2. WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
3. SEISMIC DESIGN CATEGORY - A R301.2 (2)
4. WEATHERING - SEVERE
5. FROST LINE DEPTH - 48"
6. TERMITE DAMAGE - NONE TO SLIGHT
7. DECAY DAMAGE - NONE TO SLIGHT
8. WINTER DESIGN TEMPERATURE - 1
9. ICE SHIELD UNDERLAYMENT REQUIRED - YES
10. FLOOD HAZARD - FIRM - 1942
11. ROOF TIE DOWN REQUIREMENTS R302.1.1



MORABITO  
ARCHITECTS

PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.  
LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail  
Pittsford, NY 14534

(585) 264-1330  
(585) 264-1333 Fax

www.MorabitoArchitects.com

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PROJECT:  
SHERMAN GARAGE ADDITION  
246 LONG MEADOW CIRCLE

CLIENT:  
NEAL & PAM SHERMAN

DRAWING:

TITLE PAGE

DRAWN:

JTL/PM

DATE: MAY 30, 2024

SCALE: 1/4"=1'-0"

JOB NO.: 24M4459

SHEET:

1

OF 5 SHEETS







## PROPOSED FRONT ELEVATION

PROPOSED LATERAL ADDITION AREA: 812 SQ FT GARAGE/BREEZEWAY  
437 SQ FT LOFT

ALL EXTERIOR FINISHES  
TO MATCH EXISTING



## PROPOSED LEFT SIDE ELEVATION

ALL EXTERIOR FINISHES  
TO MATCH EXISTING

### TOWN OF PITTSFORD FLOODPLAIN DEVELOPMENT PERMIT CRITERIA:

1. THE REGULATORY BASE FLOOD ELEVATION OF 420.0 FEET (NAVD 1988) HAS BEEN ESTABLISHED FOR THIS PROJECT IN ACCORDANCE WITH FEDERAL INSURANCE RATE MAP: COMMUNITY NUMBER 360424, MAP PANEL 956 G, DATED AUGUST 28, 2008.

2. THE PROPOSED LATERAL ADDITION SHALL BE FLOOD PROOFED TO A DESIGN FLOOD ELEVATION OF 422.0. THIS HAS BEEN ACHIEVED BY:

**PRESSURE TREATED STUDS AND SIDEWALL SHEATHING AND CERTAINEED VINYL SIDING AND TRIM**

3. THE MAXIMUM ELEVATION DIFFERENCE BETWEEN THE LOWEST (SLOPING) FLOOR ELEVATION (418.6/418.2) AND THE LOWEST ADJACENT GRADE (418.2) IS 2.0 FEET.

4. THE APPROXIMATED MEAN FLOW VELOCITY WITHIN THIS PORTION OF THE EAST BRANCH OF ALLEN CREEK IS REPORTED TO BE 1.4 FEET/SECOND AS PER TABLE 9, VOLUME I OF THE COMMUNITY FIS, DATED AUGUST 28, 2008. AS SUCH THE PROPOSED IMPROVEMENTS HAVE BEEN DESIGNED TO RESIST HYDROSTATIC LOADS AS WELL AS THE EFFECTS OF BUOYANCY. THIS HAS BEEN ACHIEVED BY ANCHORING OF THE SILL PLATES AND FLOOD VENTS INSTALLED

### FLOOD PROOFING DESIGN CERTIFICATION:

THIS IS TO CERTIFY THAT I AM A DULY QUALIFIED PROFESSIONAL LICENSED TO PRACTICE IN THE STATE OF NEW YORK AND FAMILIARLY WITH THE REQUIREMENTS OF CHAPTER 45 OF THE PITTSFORD TOWN CODE, FLOOD DAMAGE PREVENTION AND THE FEMA REGULATORY REQUIREMENTS FOR RESIDENTIAL ADDITIONS WITHIN THE SPECIAL FLOOD HAZARD AREA.

IT IS TO FURTHER CERTIFY THAT THIS PROJECT PLAN AS SUBMITTED SUPPORTS THE FACT THAT THE PROPOSED RESIDENTIAL LATERAL ADDITION AT 246 LONG MEADOW DRIVE, WILL BE FLOOD PROOFED TO THE DESIGN FLOOD ELEVATION OF 422.0.

THE PROPOSED IMPROVEMENTS DESCRIBED IN THESE PLANS DO HERBY COMPLY WITH THE COMMUNITY REQUIREMENTS AND WILL RESULT IN A LATERAL RESIDENTIAL BUILDING ADDITION THAT IS REASONABLY SAFE FROM FLOOD DAMAGE TO THE DESIGN FLOOD ELEVATION.

LICENSE TYPE: ARCHITECT  
NYS LICENSE NUMBER 039658  
LICENSE EXPIRATION DATE: 02/28/2025



### TYPICAL NOTES:

EXTERIOR FOUNDATION WALLS TO HAVE CONPROCO FOUNDATION COATINGS AND TAR WATERPROOFING

FLOOD VENTS TO COMPLY WITH R322.2.2 NOTE 2. NET AREA TO BE 1 SQ. INCH PER 1 SQ. FT. OF ENCLOSED AREA MEASURED TO THE EXTERIOR OF THE ENCLOSURE.

EXTERIOR ENCLOSURE AREA: 812 SQ. FT.  
VENT AREA REQUIRED: 812 SQ. IN.

**7- 8"X 16" VENTS REQUIRED FOR COMPLIANCE.**

BOTTOM FLOOD VENT HT. = 12" MAX ABOVE GARAGE FLOOR

ALL NEW CONNECTIONS TO PROPOSED LATERAL ADDITION: PLUMBING, POTABLE WATER SUPPLY AND ELECTRICAL TO BE ABOVE THE D.F.E.

\*PVC PIPING IS EXEMPT



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**PROJECT:**  
SHERMAN GARAGE ADDITION  
246 LONG MEADOW CIRCLE

**CLIENT:**  
NEAL & FAM SHERMAN

**DRAWING:**  
PROPOSED FRONT ELEVATION  
PROPOSED LEFT SIDE ELEVATION

**DRAWN:**  
JTL/PM

**DATE:** MAY 20, 2024

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 24M4459

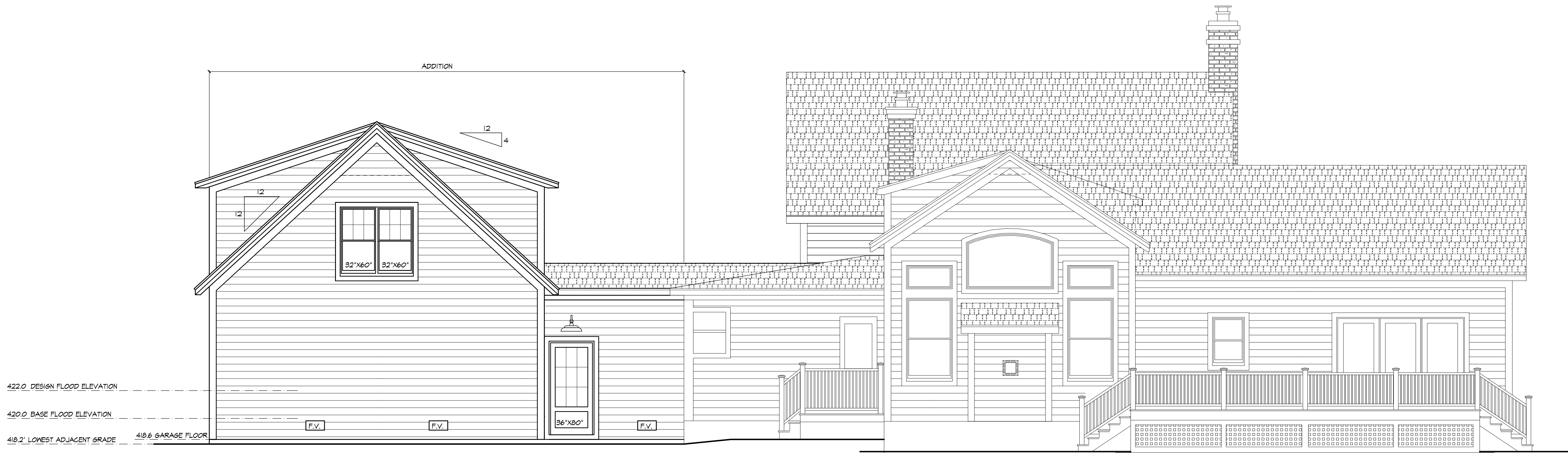
**SHEET:**

2

OF 5 SHEETS







PROPOSED REAR ELEVATION

ALL EXTERIOR FINISHES  
TO MATCH EXISTING



PROPOSED RIGHT SIDE ELEVATION

ALL EXTERIOR FINISHES  
TO MATCH EXISTING



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PROJECT:  
SHERMAN GARAGE ADDITION  
246 LONG MEADOW CIRCLE

CLIENT:  
NEAL & FAM SHERMAN

DRAWING:  
PROPOSED REAR ELEVATION  
PROPOSED RIGHT SIDE ELEVATION

DRAWN:  
JTL/PM

DATE: MAY 30, 2024

SCALE: 1/4"=1'-0"

JOB NO.: 24M4459

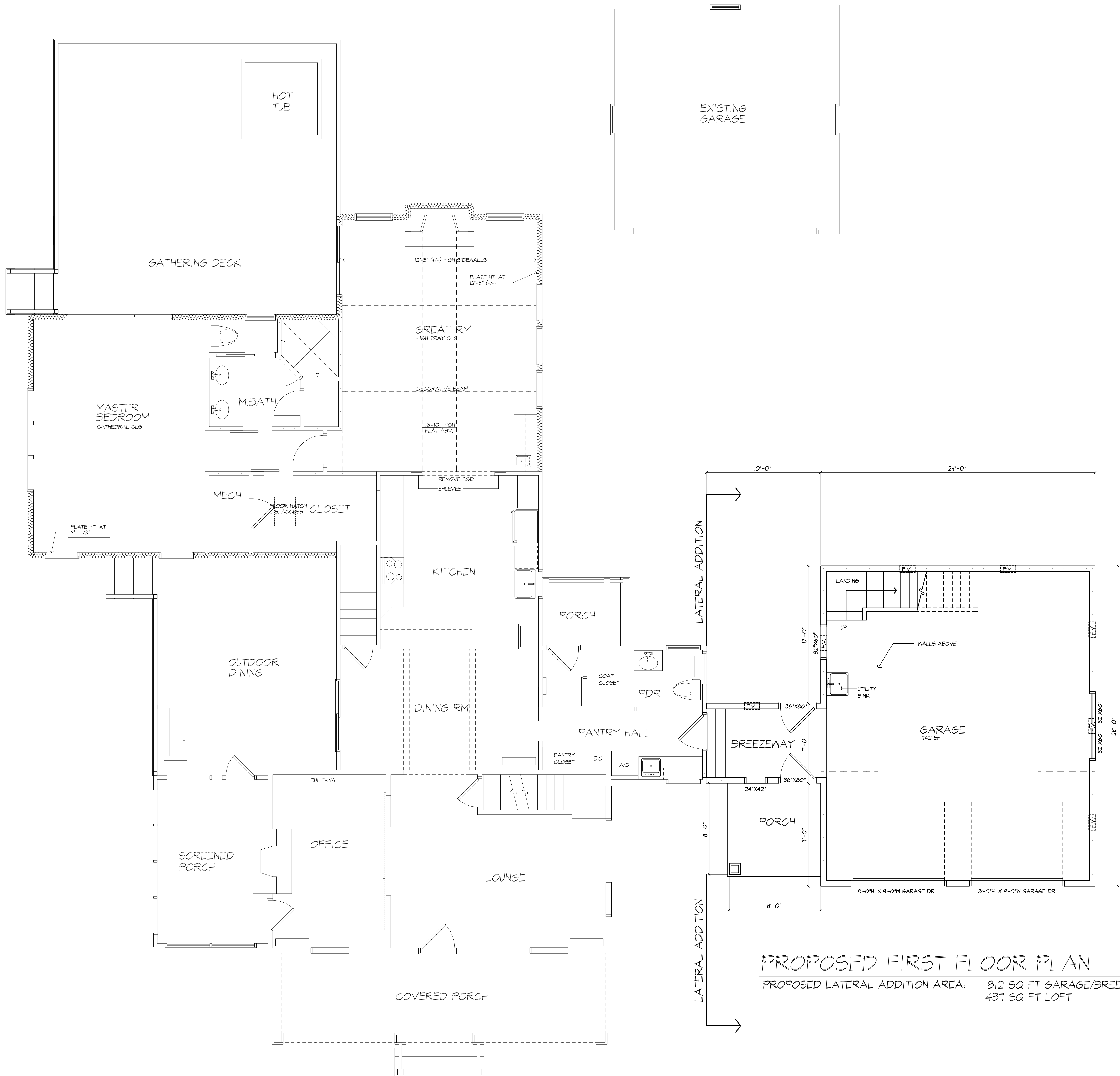
SHEET:

3

OF 5 SHEETS







PROPOSED FIRST FLOOR PLAN

PROPOSED LATERAL ADDITION AREA: 812 SQ FT GARAGE/BREEZEWAY  
437 SQ FT LOFT



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**PROJECT:**  
SHERMAN GARAGE ADDITION  
246 LONG MEADOW CIRCLE

**CLIENT:**  
NEAL & FAM SHERMAN

**DRAWING:**  
1ST FLOOR PLAN

**DRAWN:**  
JTL/PM

**DATE:** MAY 20, 2024

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 24M4459

**SHEET:**  
**4**  
OF 5 SHEETS





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PROJECT:

SHERMAN GARAGE ADDITION  
246 LONG MEADOW CIRCLE

CLIENT:

NEAL & FAM SHERMAN

DRAWING:

2ND FLOOR PLAN

DRAWN:

JTL/PM

DATE:

MAY 20, 2024

SCALE:

1/4"=1'-0"

JOB NO.:

24M4459

SHEET:

5

OF 5 SHEETS

The drawing consists of two main parts: a detailed second-floor plan and a separate diagram of a lateral addition area.

**Second Floor Plan:**

- Great Rm, BELOW HIGH TRAY CLG:** Located at the top of the plan.
- BALCONY:** Situated below the Great Room.
- OFFICE:** A central workspace area.
- CLOSET:** Located adjacent to the Office.
- BATH 2:** A bathroom with a toilet and sink.
- BEDROOM 3:** Located at the bottom left.
- BEDROOM 2:** Located at the bottom right.

**Lateral Addition Area:**

- UNFINISHED STORAGE UNCONDITIONED:** A large rectangular area with a height of 9'-1 1/8".
- SAFETY GLAZING:** Two 32"x60" units are shown at the top of the addition.
- SLOPE:** Indicated with arrows on the roof sections of the addition.
- Dimensions:** The addition is 14'-0" wide and 28'-0" deep. It is flanked by 5'-0" sections on both sides.

PROPOSED SECOND FLOOR PLAN

PROPOSED LATERAL ADDITION AREA: 812 SQ FT GARAGE/BREEZEWAY  
431 SQ FT LOFT



**Morabito Architects**

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Pittsford, New York 14534  
(585) 264-1330

To: Mr. Doug DeRue, Director of Development; Town of Pittsford  
From: Paul Morabito, Morabito Architects  
CC: Neal & Pam Sherman  
Date: May 30, 2024  
Re: 246 Long Meadow Circle, Pittsford, New York 14534  
Plans for Existing Detached Garage

---

Dear Doug,

As a follow up to the email sent by Mr. Rob Fromberger on May 28<sup>th</sup>, 2024 regarding the plans for the construction of a "Residential Lateral Addition comprised of a Two Car Garage with Limited storage" at 246 Long Meadow Circle in Pittsford, I have outlined below the intended plans for the Existing Detached Garage.

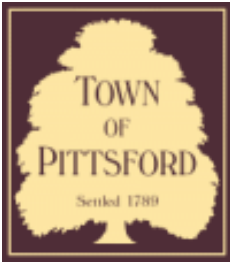
1. **Long Term Intended Use of the Structure:** will continue to be used for limited storage.
2. **Current Condition of the Structure:** the overall structure is solid. The foundation (cement based) is solid. The overall framing is sound as well.
3. **Anticipated Improvements to the Structure:** the intent is to add exterior siding to match the primary structure in manufacturer, color and style. Additionally, to replace the roof with matching shingle style and color of the house.

Please let me know any additional questions you may have.

Most sincerely,

*Paul Morabito*





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**CA24-000002**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 55 Mitchell Road PITTSFORD, NY 14534

**Tax ID Number:** 164.11-2-12.11

**Zoning District:** RN Residential Neighborhood

**Owner:** Sands, Mackenzie

**Applicant:** Sands, Mackenzie

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the addition of a fence and other landscaping elements to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

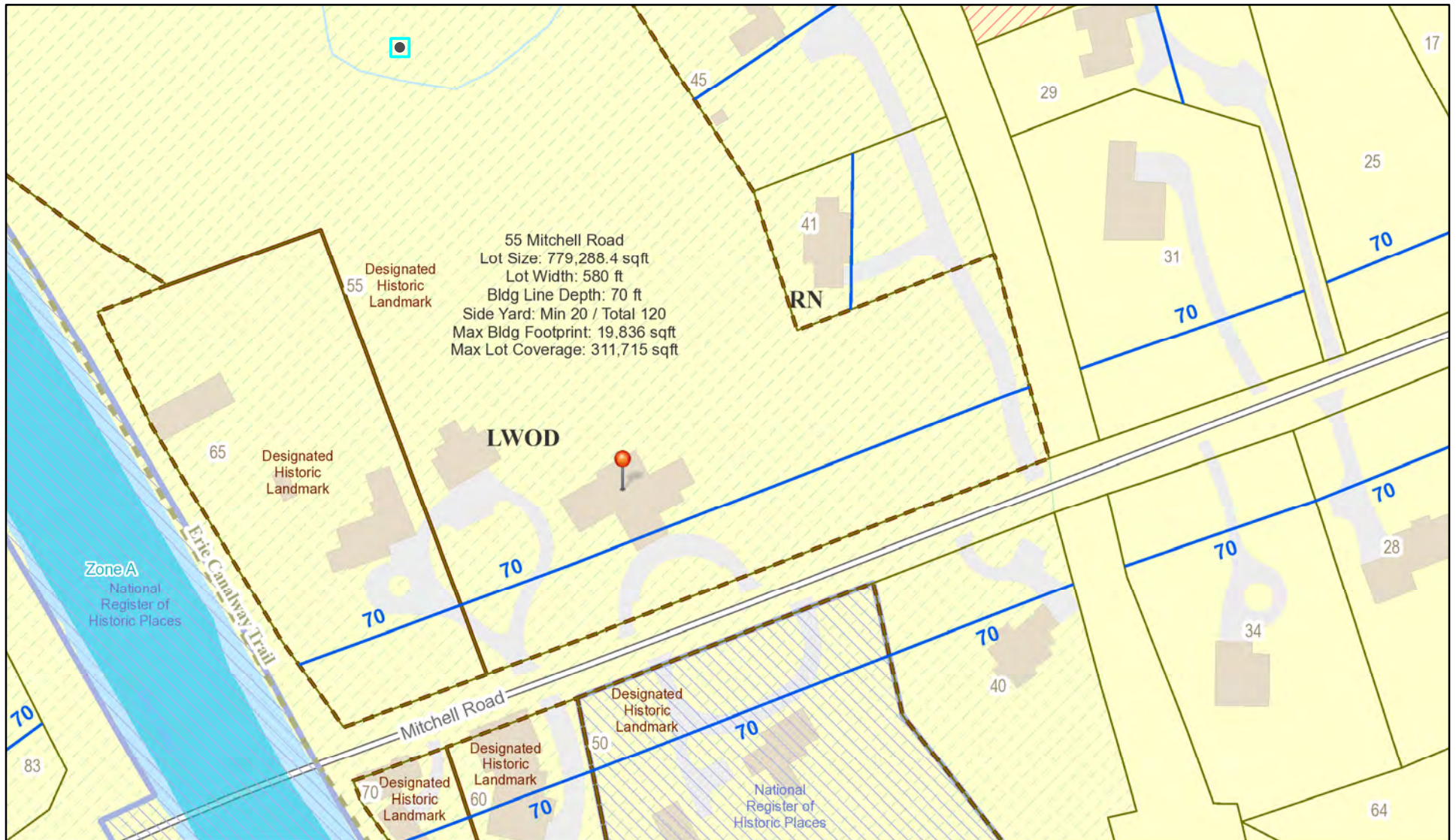
**Meeting Date:** June 27, 2024



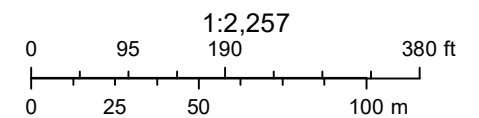




# RN Residential Neighborhood Zoning



Printed June 20, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





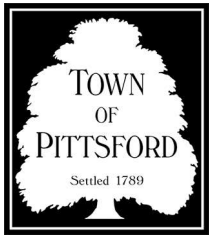
Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

20 ft

nearmap





# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 55 Mitchell Road
2. Tax Account Number: 164.11-2-12.11
3. Applicant's Name: Steele Landscape Architecture (Sue Steele)  
Address: 770 Ayrault Rd #1108 Phone: (585) 747-9996  

Fairport  
City

New York  
State

14450  
Zip Code

E-mail: sue@steele.la
4. Applicant's Interest in Property:  
Owner: ☐ Lessee: ☐ Holding Purchase Offer: ☐  
Other (explain): Owner's Representative, Landscape Architect
5. Owner (if other than above): Jennifer Sands  
Address: 55 Mitchell Rd Phone: \_\_\_\_\_  

Pittsford  
City

NY  
State

14534  
Zip Code

E-mail: \_\_\_\_\_

Has the Owner been contacted by the Applicant? Yes ☒ No ☐
6. Application prepared by: Steele Landscape Architecture  
Address: 770 Ayrault Rd #1108 Phone: (585) 747-9996  

Fairport  
City

NY  
State

14450  
Zip Code

E-mail: sue@steele.la
7. Project Design Professional (if Available): (same as applicant)  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  

\_\_\_\_\_  
City

\_\_\_\_\_  
State

\_\_\_\_\_  
Zip Code

E-mail: \_\_\_\_\_



8. Project Contractor (if Available): TBD

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

*Street*

\_\_\_\_\_ E-mail: \_\_\_\_\_

*City State Zip Code*

9. Present use of Property: Residence

10. Zoning District of Property: RN & LWRP

11. Is the property located in a Town Designated Historic District?

Yes ☐ No ☒ Locally designated landmark

12. Is the property listed on the National Registry of Historic Places?

Yes ☐ No ☒

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes ☐ No ☒

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

No exterior architectural modifications to structures are proposed. Proposed project is site and landscape work only.



- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

Project includes: (1) Rehabilitation of the existing driveway, including minor radius changes to improve maneuverability, line-of-sight safety at Mitchell Rd, and addition of a landscaped 2-car parking area with accent paving. (2) Rehabilitation of dilapidated fence along Mitchell Rd and addition of matching historic-style fence along driveway frontage. (3) Proposed landscaping, including removal of privet hedge (currently in right-of-way) and replacement with traditional beech hedge (out of right-of-way), along with additional landscaping and trees. See included design packet, existing and proposed drawing sheets. Optional masonry pier add-on (to proposed fence at driveway entrances) also submitted for review.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

N/A

16. Additional materials submitted with this application *(if available)*:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Parcel map      | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs     | <input checked="" type="checkbox"/> Architectural plans      |
| <input checked="" type="checkbox"/> Other materials | <u>Fence design, 3D renderings</u>                           |

**Applicant Certification:**

**\*\*SEE SIGNED SIGNATURE PAGE - SEPARATE FILE\*\***

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

\_\_\_\_\_  
*Signature of applicant*

\_\_\_\_\_  
*Date*

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes ☒ No ☐

If Yes, owner's signature: \_\_\_\_\_



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Project Name and Address

## Front Entry Landscape Rehabilitation

Location

Private Residence  
55 Mitchell Road  
Pittsford, New York 14534

Issue Date: JUNE 3, 2024

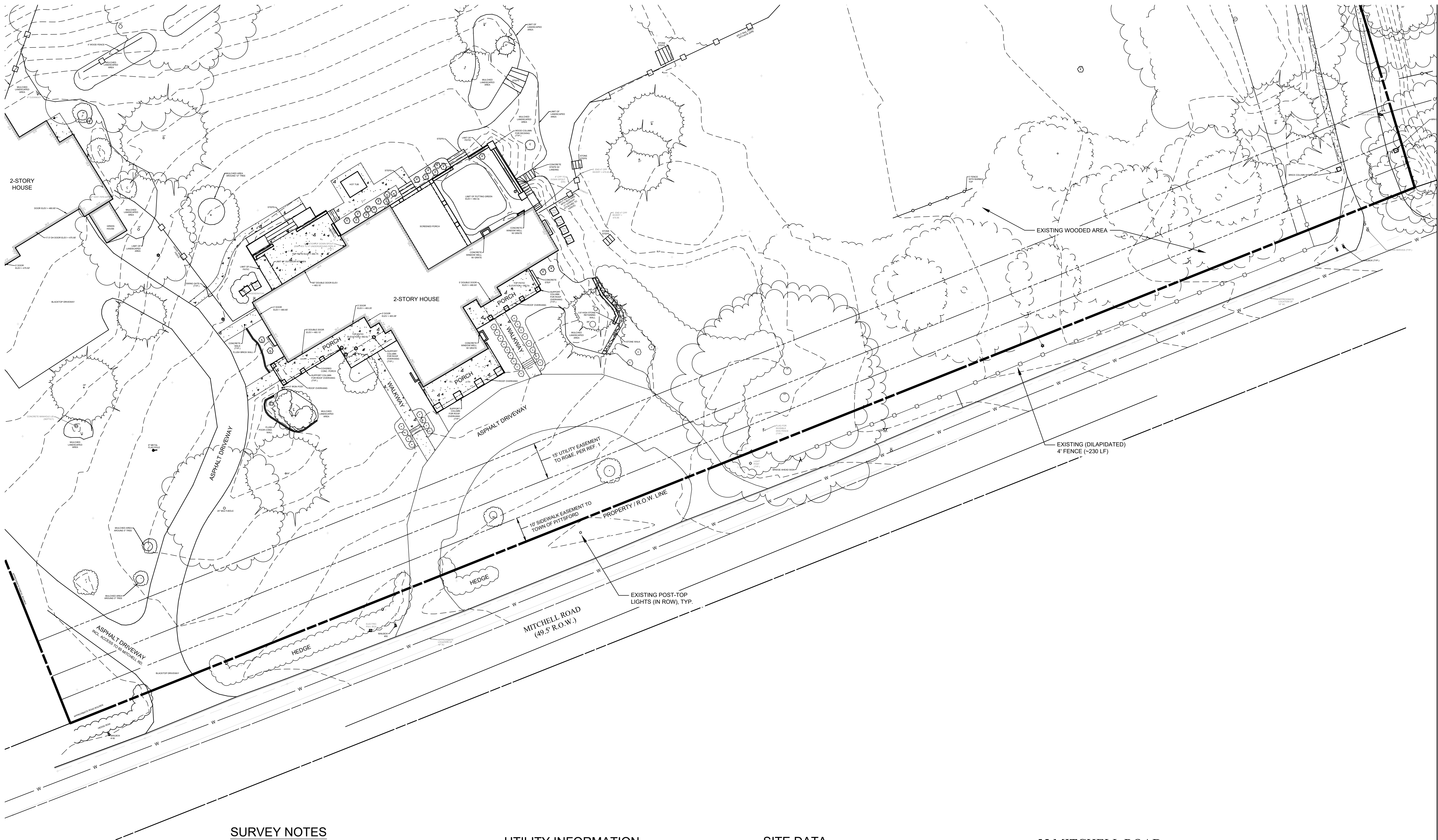
No.	Date	Revision
-----	------	----------

Drawing Title

Existing  
Conditions Plan

DRHPB SUBMITTAL  
NOT FOR CONSTRUCTION

EX-01



### SURVEY NOTES

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED.
- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 2/13/2024 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORS NETWORK REFERENCED TO THE FOLLOWING MONUMENT

PITTSFORD CORS STATION  
-LATITUDE: 43-05-35.48461 (N) NAD 83 (CORS)  
-LONGITUDE: 077-31-31.11244 (W)  
-ELLIP HEIGHT: 113.481 METERS NAVD 88 (CORS)

### REFERENCES

- MAP ENTITLED "PLAN OF LAND OWNED Y LYNDRON H. WELLS JR" CREATED BY THE MRB GROUP DATED 08/11/1999

### UTILITY INFORMATION

UTILITY INFORMATION PER UPPO DESIGN TICKET # 02094-000-112-00  
DATED FEBRUARY 9, 2024

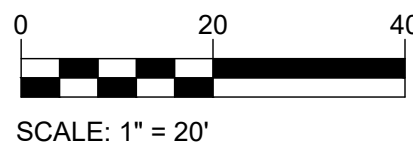
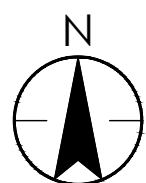
WINDSTREAM SERVICES	800-289-1901 (NO CONFLICT)
ELANTIC TELECOM INC.	800-289-1901 (NO RESPONSE)
MCI	716-845-9256 (NO RESPONSE)
MONROE COUNTY WATER AUTHORITY	585-442-200 X 285 (UTILITIES PLOTTED)
ROCHESTER GAS AND ELECTRIC	585-771-4745 NO CONFLICT
CHARTER COM NORTHEAST W. NY	317-575-7800 X2 (NO RESPONSE)
VILLAGE OF PITTSFORD	585-586-9320 (NO RESPONSE)
PITTSFORD SEWER DISTRICT #1	585-248-6490 (NO RESPONSE)

### SITE DATA

1. EXISTING ZONING: RN & LWRP (LOCAL WATERFRONT REVITALIZATION PROGRAM)	
2. BULK REQUIREMENTS:	REQUIRED
MIN. LOT AREA (SF)	30,000
MIN. LOT WIDTH (FT)	150
MAX. BUILDING HEIGHT (FT)	40
MIN. FRONT YARD SETBACK (FT)	70
MIN. SIDE YARD SETBACK (FT)	25
MIN. REAR YARD SETBACK (FT)	50

55 MITCHELL ROAD  
TAX PARCEL NO.164.11-2-12.11

TOWN OF PITTSFORD  
COUNTY OF MONROE, STATE OF NEW YORK





**WARNING**  
IT IS VIOLATION OF THE LAW (NEW YORK STATE EDUCATION LAW TITLE 8, ARTICLE 148 AND SUBPART 79-1 OF THE REGULATIONS OF THE COMMISSIONER OF EDUCATION) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON A PLAN, SPECIFICATION, OR REPORT TO WHICH THE SEAL OF THE LANDSCAPE ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF THE LANDSCAPE ARCHITECT IS ALTERED, THE ALTERING LANDSCAPE ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION ALTERED BY FOLLOWING BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project Name and Address

## Front Entry Landscape Rehabilitation

Location

Private Residence  
55 Mitchell Road  
Pittsford, New York 14534

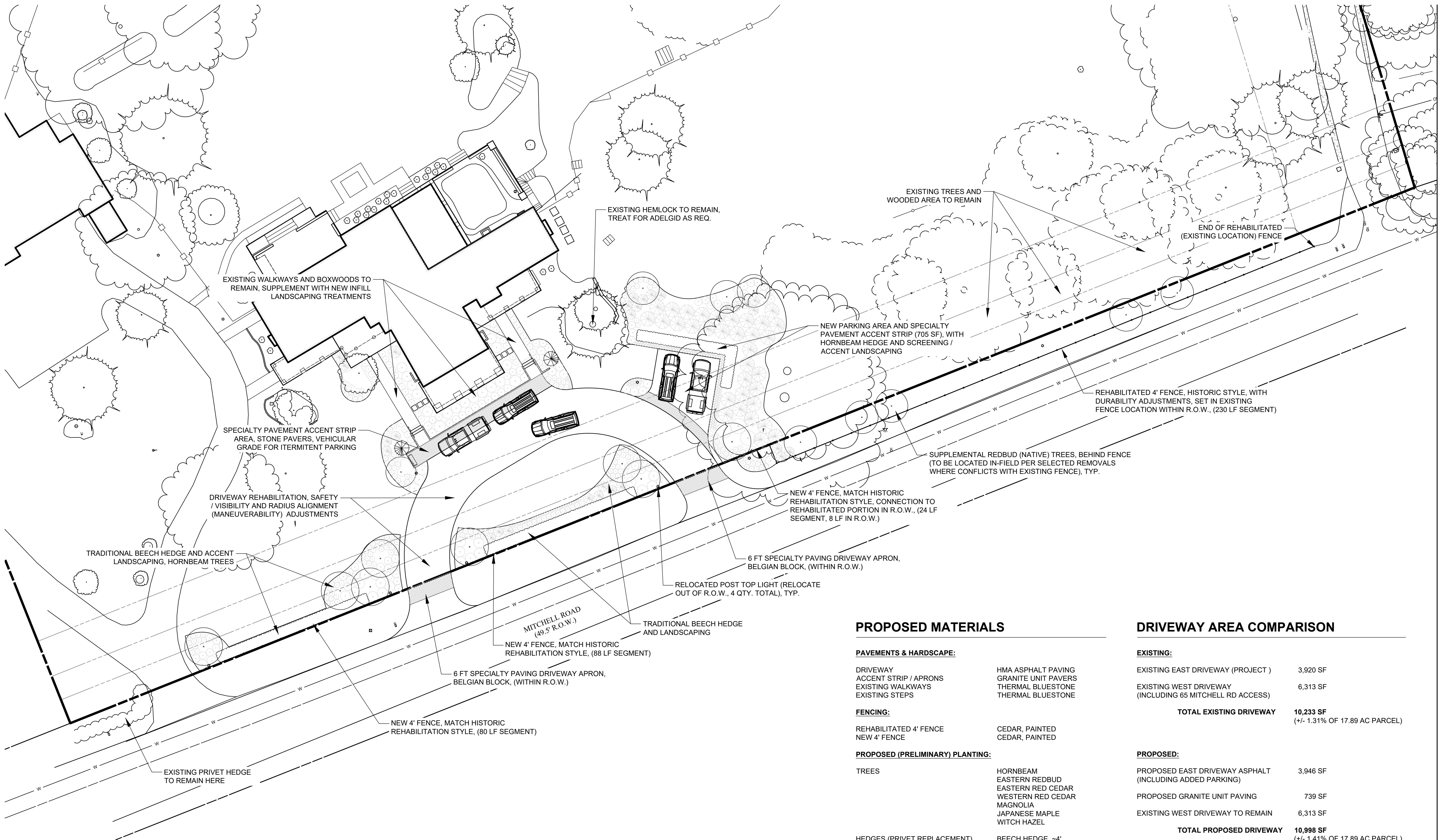
Issue Date: JUNE 3, 2024

No.	Date	Revision
-----	------	----------

Drawing Title

Rehabilitation  
Site Plan

L-01



### PROPOSED MATERIALS

#### PAVEMENTS & HARDSCAPE:

DRIVEWAY	HMA ASPHALT PAVING
ACCENT STRIP / APRONS	GRANITE UNIT PAVERS
EXISTING WALKWAYS	THERMAL BLUESTONE
EXISTING STEPS	THERMAL BLUESTONE

#### FENCING:

REHABILITATED 4' FENCE	CEDAR, PAINTED
NEW 4' FENCE	CEDAR, PAINTED

#### PROPOSED (PRELIMINARY) PLANTING:

TREES	HORNBEAM EASTERN REDBUD EASTERN RED CEDAR WESTERN RED CEDAR MAGNOLIA JAPANESE MAPLE WITCH HAZEL
HEDGES (PRIVET REPLACEMENT)	BEECH HEDGE, ~4' HORNBEAM HEDGE, ~4'
SHRUBS, OTHER PLANTINGS	BOXWOOD HYDRANGEA JAPANESE HOLLY DOUBLEFILE VIBURNUM DOGWOOD VARIOUS PERENNIALS / GRASSES

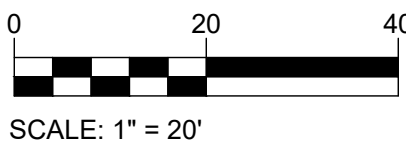
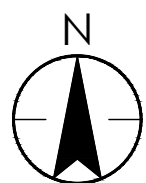
### DRIVEWAY AREA COMPARISON

#### EXISTING:

EXISTING EAST DRIVEWAY (PROJECT )	3,920 SF
EXISTING WEST DRIVEWAY (INCLUDING 65 MITCHELL RD ACCESS)	6,313 SF
<b>TOTAL EXISTING DRIVEWAY</b>	<b>10,233 SF</b> (+/- 1.31% OF 17.89 AC PARCEL)

#### PROPOSED:

PROPOSED EAST DRIVEWAY ASPHALT (INCLUDING ADDED PARKING)	3,946 SF
PROPOSED GRANITE UNIT PAVING	739 SF
EXISTING WEST DRIVEWAY TO REMAIN	6,313 SF
<b>TOTAL PROPOSED DRIVEWAY</b>	<b>10,998 SF</b> (+/- 1.41% OF 17.89 AC PARCEL)



DRHPB SUBMITTAL  
NOT FOR CONSTRUCTION



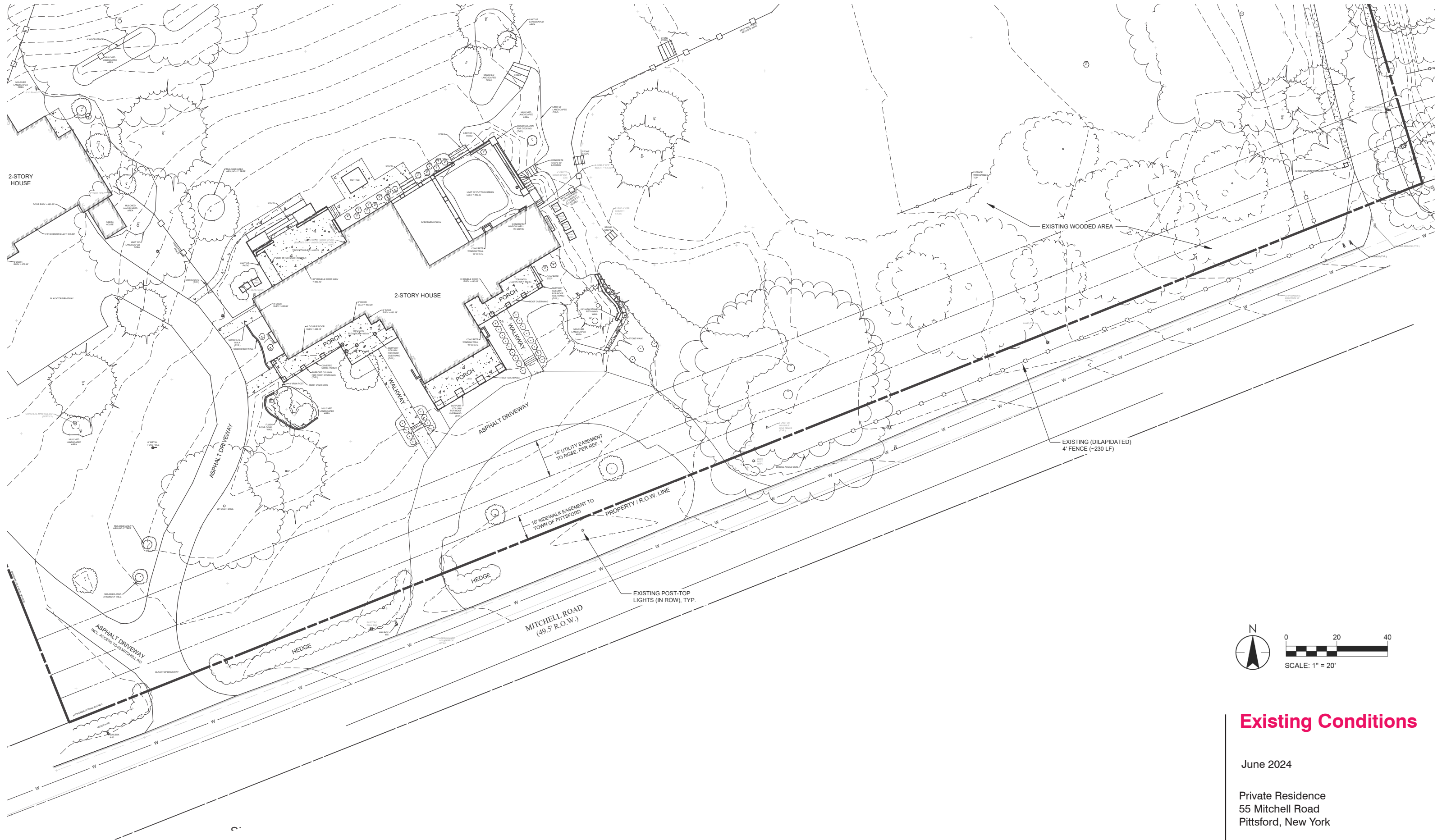
# 55 Mitchell Road Front Entry Landscape Rehabilitation

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June 2024  
DRHPB Review Submittal







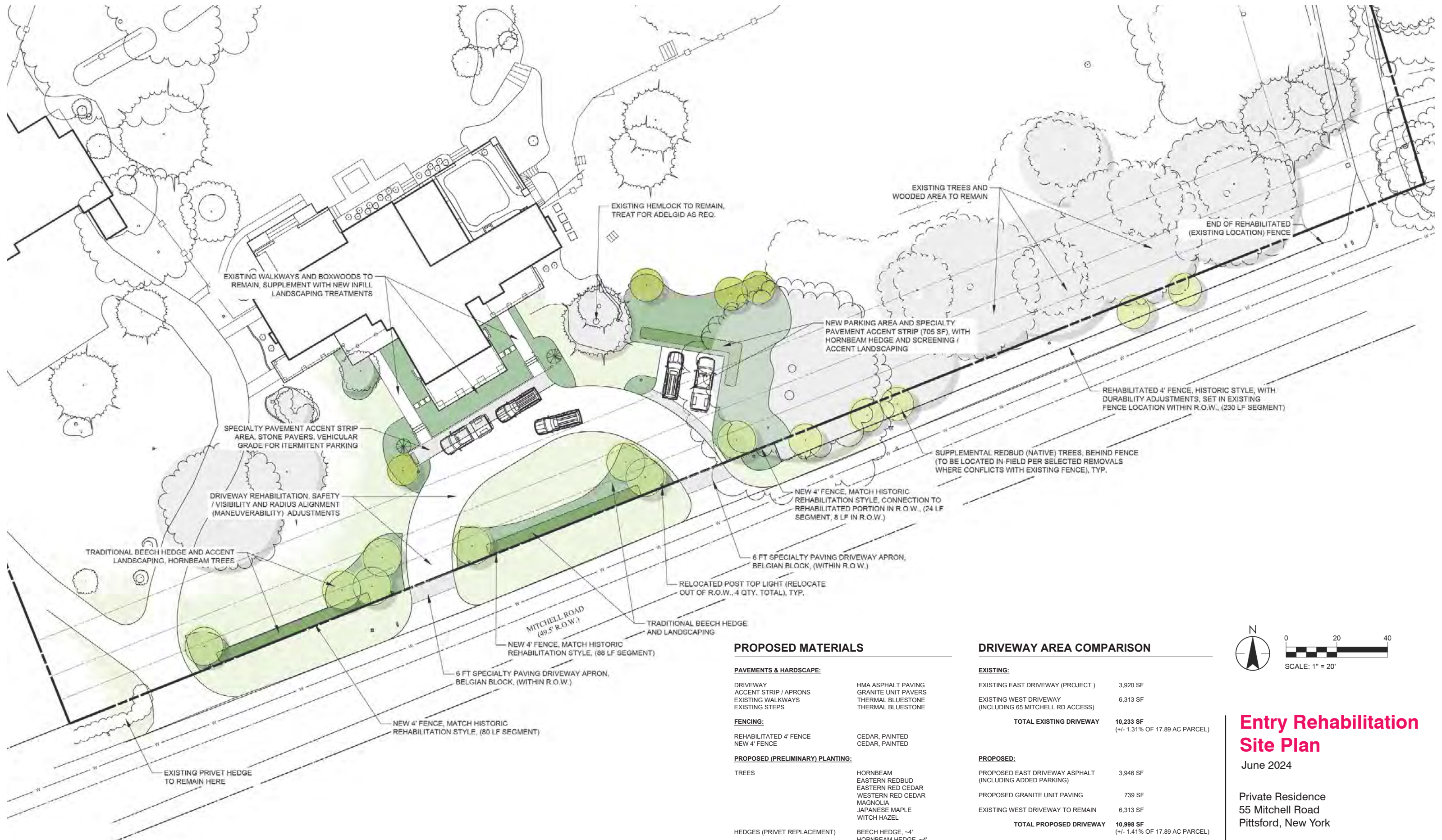
## Existing Conditions

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE





PROPOSED MATERIALS

PAVEMENTS & HARDSCAPE:

DRIVEWAY ACCENT STRIP / APRONS EXISTING WALKWAYS EXISTING STEPS	HMA ASPHALT PAVING GRANITE UNIT PAVERS THERMAL BLUESTONE THERMAL BLUESTONE
--	---

FENCING:

REHABILITATED 4' FENCE NEW 4' FENCE	CEDAR, PAINTED CEDAR, PAINTED
--	----------------------------------

PROPOSED (PRELIMINARY) PLANTING:

TREES	HORNBEAM EASTERN REDBUD EASTERN RED CEDAR WESTERN RED CEDAR MAGNOLIA JAPANESE MAPLE WITCH HAZEL
HEDGES (PRIVET REPLACEMENT)	BEECH HEDGE, ~4' HORNBEAM HEDGE, ~4'
SHRUBS, OTHER PLANTINGS	BOXWOOD HYDRANGEA JAPANESE HOLLY DOUBLEFILE VIBURNUM DOGWOOD VARIOUS PERENNIALS / GRASSES

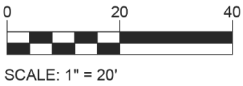
DRIVEWAY AREA COMPARISON

EXISTING:

EXISTING EAST DRIVEWAY (PROJECT )	3,920 SF
EXISTING WEST DRIVEWAY (INCLUDING 65 MITCHELL RD ACCESS)	6,313 SF
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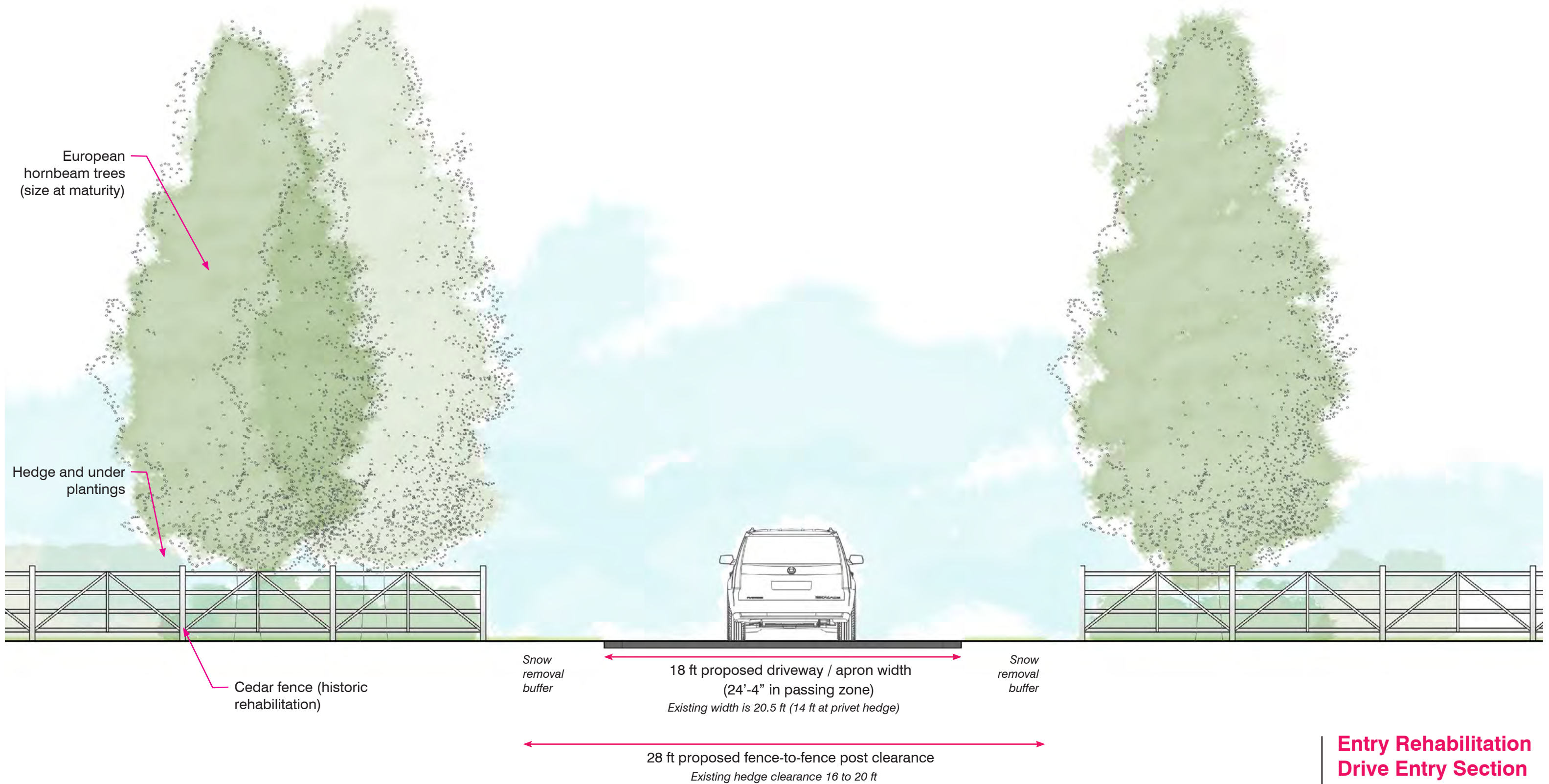
Entry Rehabilitation  
Site Plan

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

Steele  
LANDSCAPE ARCHITECTURE





## Entry Rehabilitation Drive Entry Section

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE





**OPTIONAL** Stone pier  
(fence end post) w/ historic  
style lights; Ashlar pattern  
granite with stone cap  
(granite or bluestone TBD)

## Optional Alternative Masonry Pier Add-On

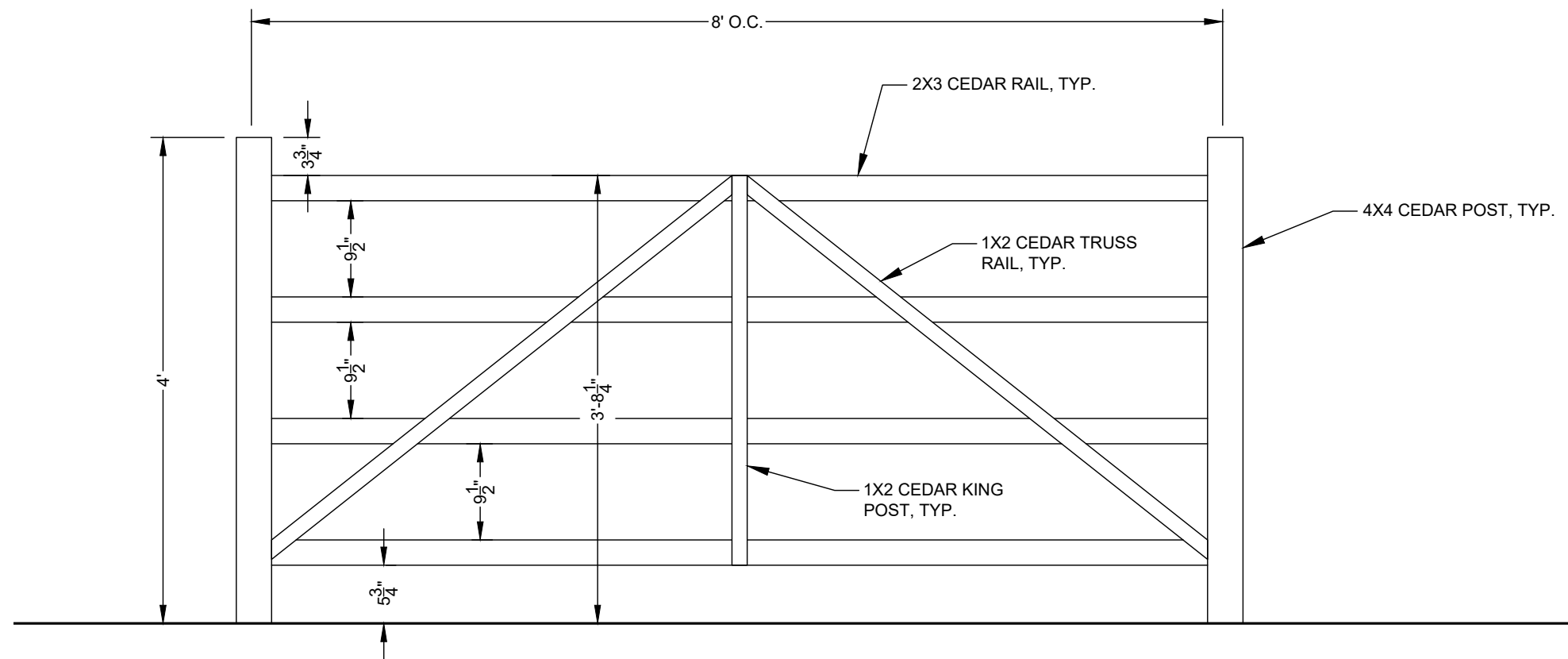
June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

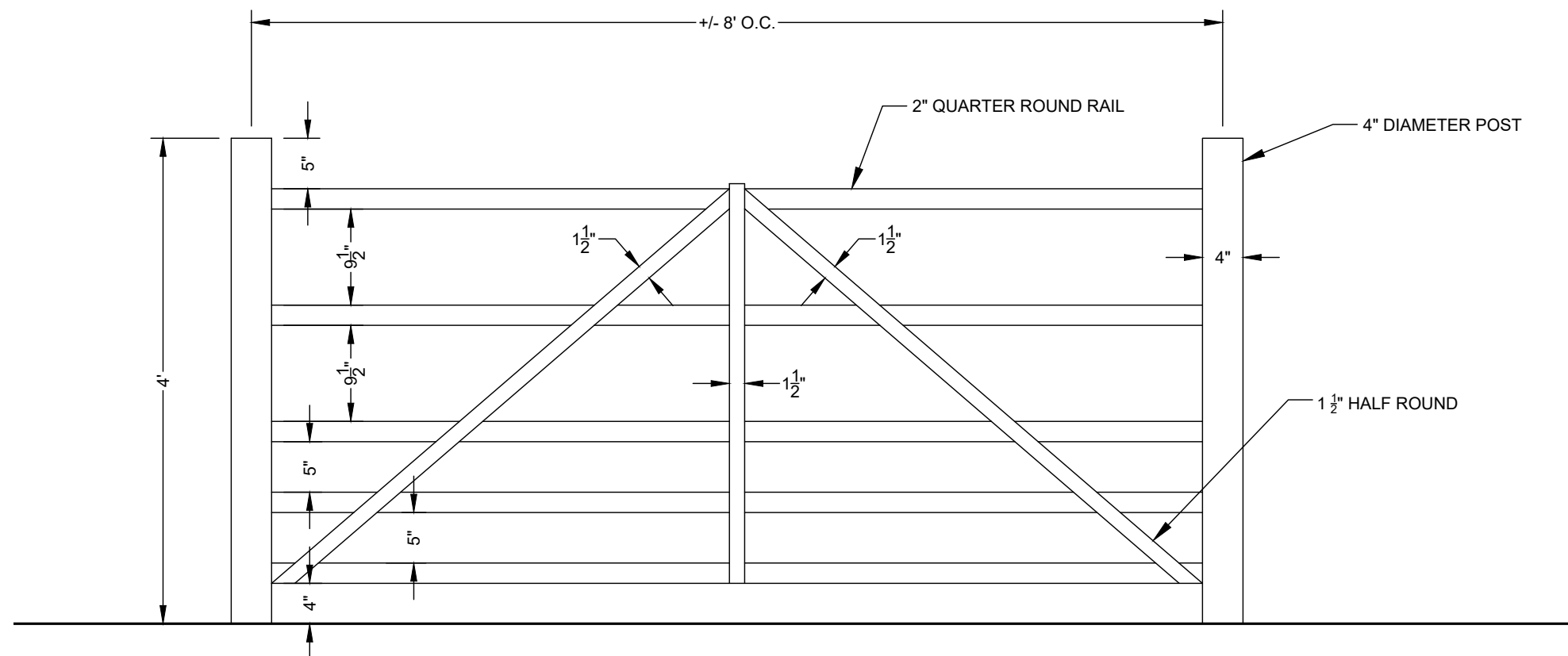
*Steele*  
LANDSCAPE ARCHITECTURE



Proposed Fence Rehabilitation



Existing Fence



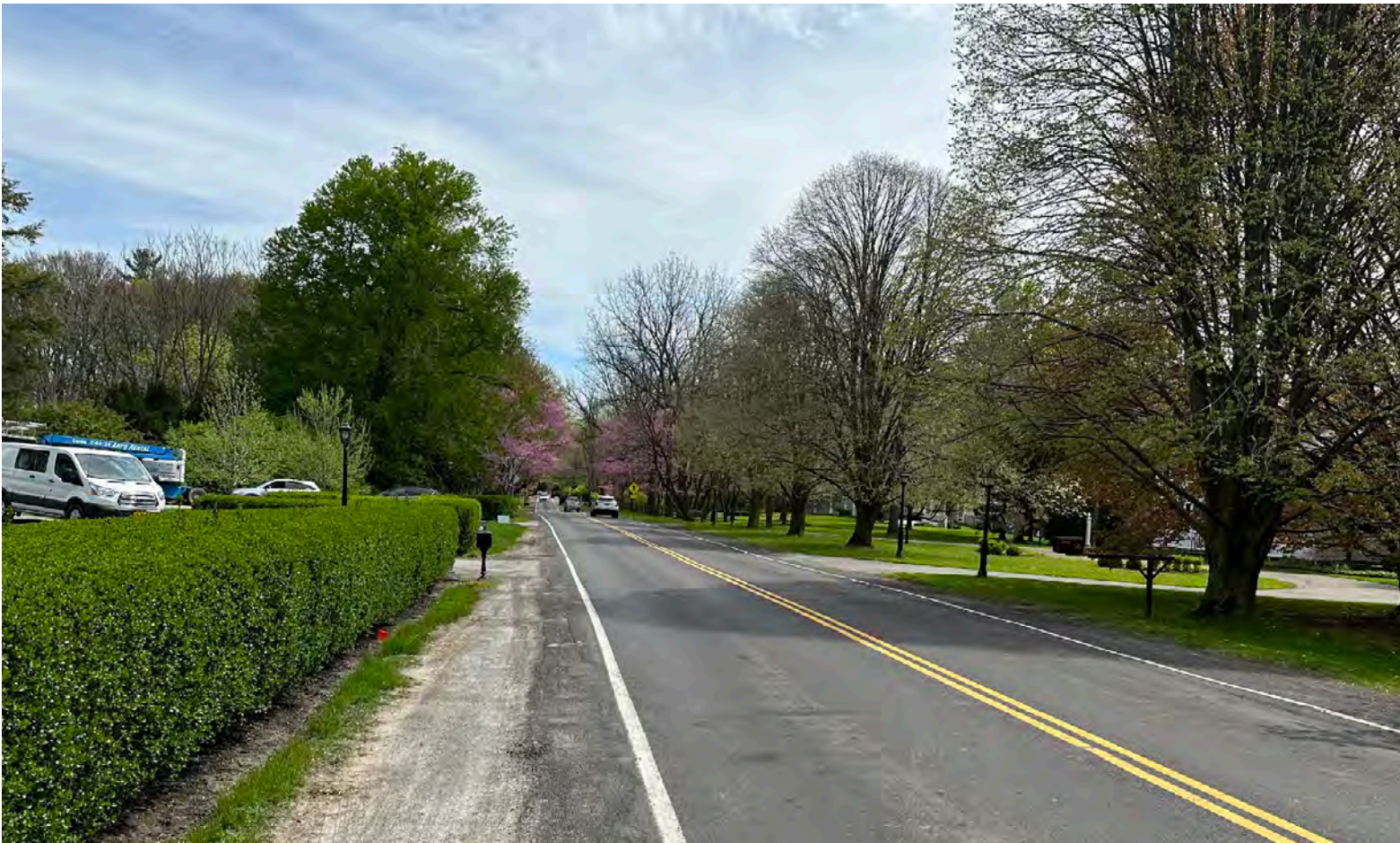
## Fence Rehabilitation Comparison

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE





**Existing Conditions  
Photos**

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE





**Existing Conditions  
Photos**

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York





**Existing Conditions  
Photos**

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE





## Entry Rehabilitation Renderings

June 2024

Private Residence  
55 Mitchell Road  
Pittsford, New York

*Steele*  
LANDSCAPE ARCHITECTURE





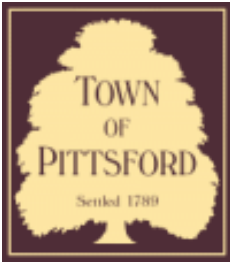












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**CA24-000003**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 810 Allens Creek Road ROCHESTER, NY 14618

**Tax ID Number:** 138.13-1-40

**Zoning District:** RN Residential Neighborhood

**Owner:** Stahl Property Assoc IV, LLC

**Applicant:** Andrew Crossed

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for fence modifications to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

**Meeting Date:** June 27, 2024









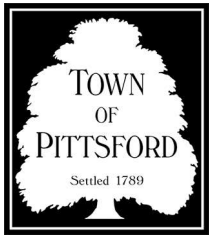
Thu Apr 25 2024

Imagery © 2024 Nearmap, HERE

20 ft

nearmap





# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

---

Case # \_\_\_\_\_

1. Property Address: 810 Allens Creek Rd
2. Tax Account Number: 264689 138.13-1-40
3. Applicant's Name: Andrew Crossed  
Address: 810 Allens Creek Rd Phone: (585) 481-6632  

Street

Rochester NY 14618E-mail: acrossed@parkgrovellc.com

CityStateZip Code
4. Applicant's Interest in Property:  
Owner: ☒ Lessee: ☐ Holding Purchase Offer: ☐  
Other (explain): \_\_\_\_\_
5. Owner (if other than above): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  

Street

\_\_\_\_\_E-mail: \_\_\_\_\_

CityStateZip Code

Has the Owner been contacted by the Applicant?Yes ☐No ☐
6. Application prepared by: Andrew Crossed  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  

Street

\_\_\_\_\_E-mail: \_\_\_\_\_

CityStateZip Code
7. Project Design Professional (if Available): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  

Street

\_\_\_\_\_E-mail: \_\_\_\_\_

CityStateZip Code



8. Project Contractor (if Available): Stahl  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_  
*City State Zip Code* E-mail: \_\_\_\_\_

9. Present use of Property: single family home

10. Zoning District of Property: residential

11. Is the property located in a Town Designated Historic District?

Yes ☐ No ☒

12. Is the property listed on the National Registry of Historic Places?

Yes ☐ No ☒

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes ☐ No ☒

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

1. The top part of the fence will be changed to reflect the design in the original CofA application.



- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

1. The fence will move forward to approximately the front setback of the house and elongate to the edge of the porte-cochere to create a visual barrier. This is different from the original CofA but seeks to create the same effect.
2. The pavement will be narrowed until the fenceline, at which point it will flare out behind it. The sweep of drive at the northeast corner of the house that was on the original CofA will not be added.
3. The gate will remain on the southwest corner of the house.
4. Stepping stones will be added between the gate and the drive.
5. Keep the gate and fence painted black, if possible.
6. The existing landscaping and trees on the northeast property line will remain.

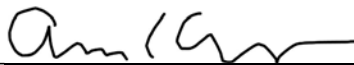
15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application *(if available)*:

- |   |  |
|---|--|
| <input type="checkbox"/> Parcel map                 | <input checked="" type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs     | <input type="checkbox"/> Architectural plans                 |
| <input checked="" type="checkbox"/> Other materials | site plan  |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant

06/03/2024

Date

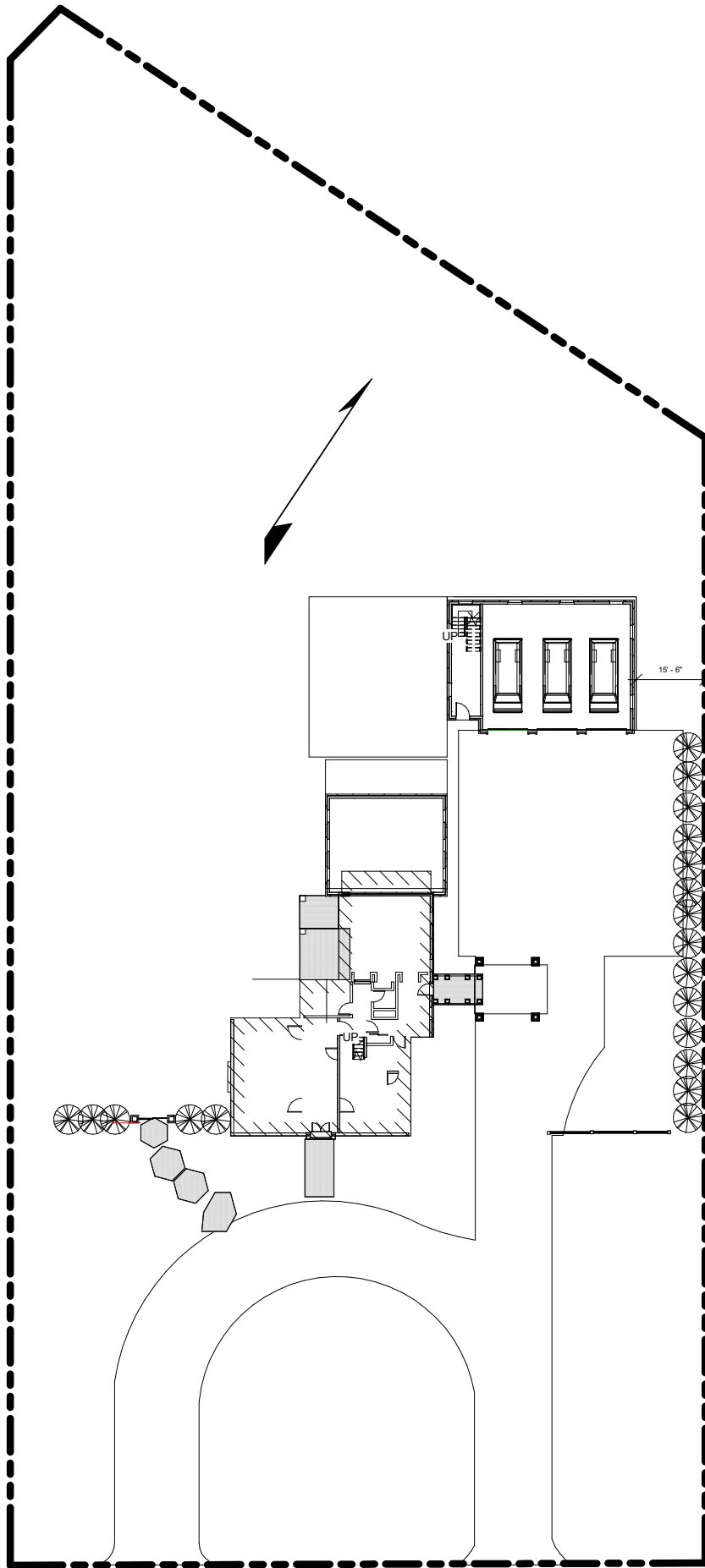
**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes ☐ No ☐

If Yes, owner's signature:

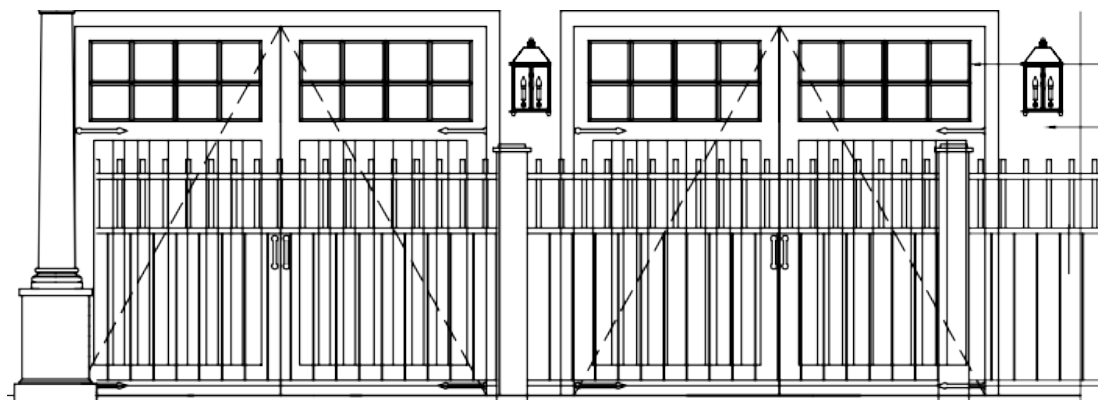




















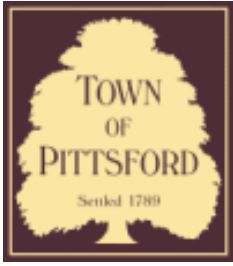












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**CA21-000003**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 810 Allens Creek Road ROCHESTER, NY 14618

**Tax ID Number:** 138.13-1-40

**Zoning District:** RN Residential Neighborhood

**Owner:** Stahl Property Associates

**Applicant:** Stahl Property Associates

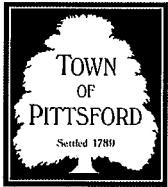
#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

**Meeting Date:** September 9, 2021





# DESIGN REVIEW & HISTORIC PRESERVATION BOARD APPLICATION

11 S. Main Street – Pittsford, NY 14534 – 248-6260

Property Owner: Stahl Property Associates

Name(s) of Property Owner(s): Kimberley S. Bailey

Name of Applicant: Kimberley S. Bailey

Telephone Numbers: (585) 415-9882

(Owner)

(Applicant)

Email Address: kimbailey99@gmail.com

## PLEASE CHECK ONE

- ☒ **REQUEST FOR APPROVAL** (Please provide a brief description of the project.)
- ☐ **REQUEST FOR INFORMAL REVIEW** (Please provide a brief description of the project.)

We are requesting approval from the Historic Preservation Board for a project located at 810 Allens Creek Road based on our plans and input from 2 previous informal meetings. We are proposing the addition of a porte cochere at side entry, a detached garage, and addition to the rear of home located at existing garage, and landscape and driveway changes. Attached is a site plan, survey, 3D perspective sketch, along with local and otherwise photos and documents regarding Georgian and Colonial Revival homes in the era with similar modifications we are requesting.

## APPLICANT MUST PROVIDE:

- Building Permit Application
- One set of architectural drawings in PDF form (Elevations, Floor Plans, and Sections)
- Plot Map/Tape Map showing location of addition

**\*These documents must be submitted by the deadline or the application will be held from the agenda and placed on the following Design and Review meeting.\***

## RECOMMENDED:

- Pictures showing the location of the construction
- Samples of materials that will be used in construction

## *For Official Use Only*

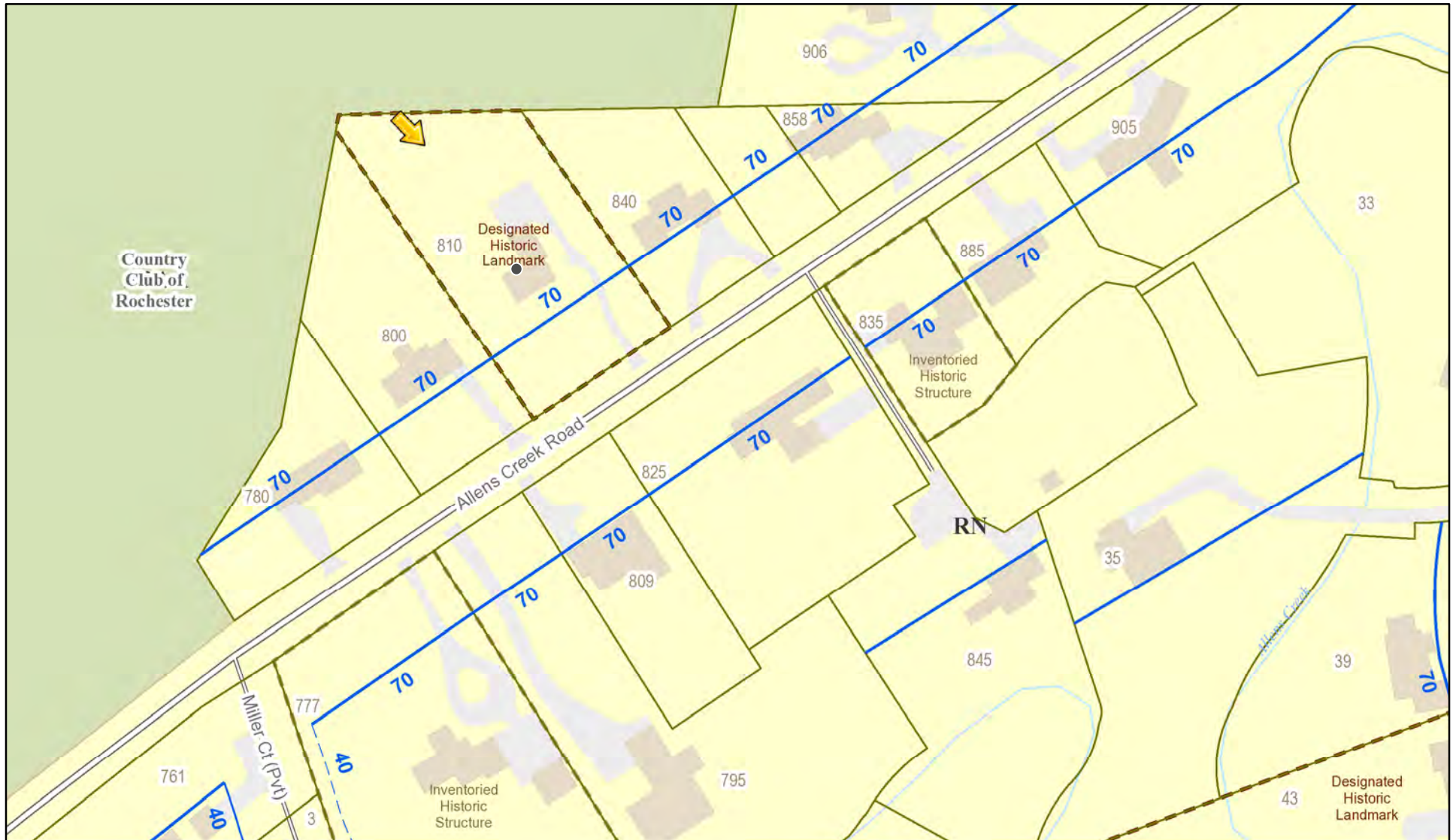
Received By \_\_\_\_\_

Received Date 7/14/2021

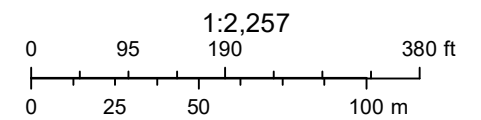
Meeting Date 7/22/2021



# RN Residential Neighborhood Zoning



Printed April 15, 2021



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





## REFERENCES

1. TAX ACCOUNT  
No. 138.13-1-40
2. L. 7785 DEEDS, P.91
3. L. 39 MAPS, P.9
4. L. 93 MAPS, P.22
5. FIRST AMERICAN TITLE  
INSURANCE COMPANY  
No. 459676, DATED  
MARCH 2, 2021

TAX ACCOUNT No. 137.16-2-1

N/F COUNTRY CLUB OF ROCHESTER

N 18°05'00" E  
16.11'

S 82°35'00" E  
175.11'

TAX ACCOUNT No. 138.13-1-41

N/F BRANDON DICESARE

N 26°15'00" W

338.55'

TAX ACCOUNT No. 138.13-1-39

S 26°15'00" E

253.01'

N/F BENJAMIN HENDERSON

R.O.W. LINE

CENTERLINE

AREA TO  
R.O.W. LINE:  
1.098 ACRES

354.95' TO BOUNDARY  
LINE N/F J. STINSON SCOTT  
AND COUNTRY CLUB  
OF ROCHESTER

POLE

OVERHEAD WIRES

POLE

157.00'

49.5' R.O.W.

S 63°45'00" W

# ALLENS CREEK ROAD

\*GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE, COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.\*

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

\*UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.\*

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS COMPLETED ON MARCH 18, 2021 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MARCH 17, 2021 USING THE REFERENCE MATERIALS LISTED.

*Bruce E. Fries*



BRUCE E. FRIES N.Y.S.P.L.S. NO. 050263  
4150 RIDGE CHAPEL ROAD, MARION, NEW YORK 14505

## INSTRUMENT SURVEY MAP

810 ALLENS CREEK ROAD

PART LOT 69, TOWNSHIP 12, RANGE 5

TOWN OF PITTSFORD

MONROE COUNTY

NEW YORK

SCALE: 1"=40'

BRUCE E. FRIES  
PROFESSIONAL LAND SURVEYOR

MARCH 18, 2021

PHONE: 800-772-3734

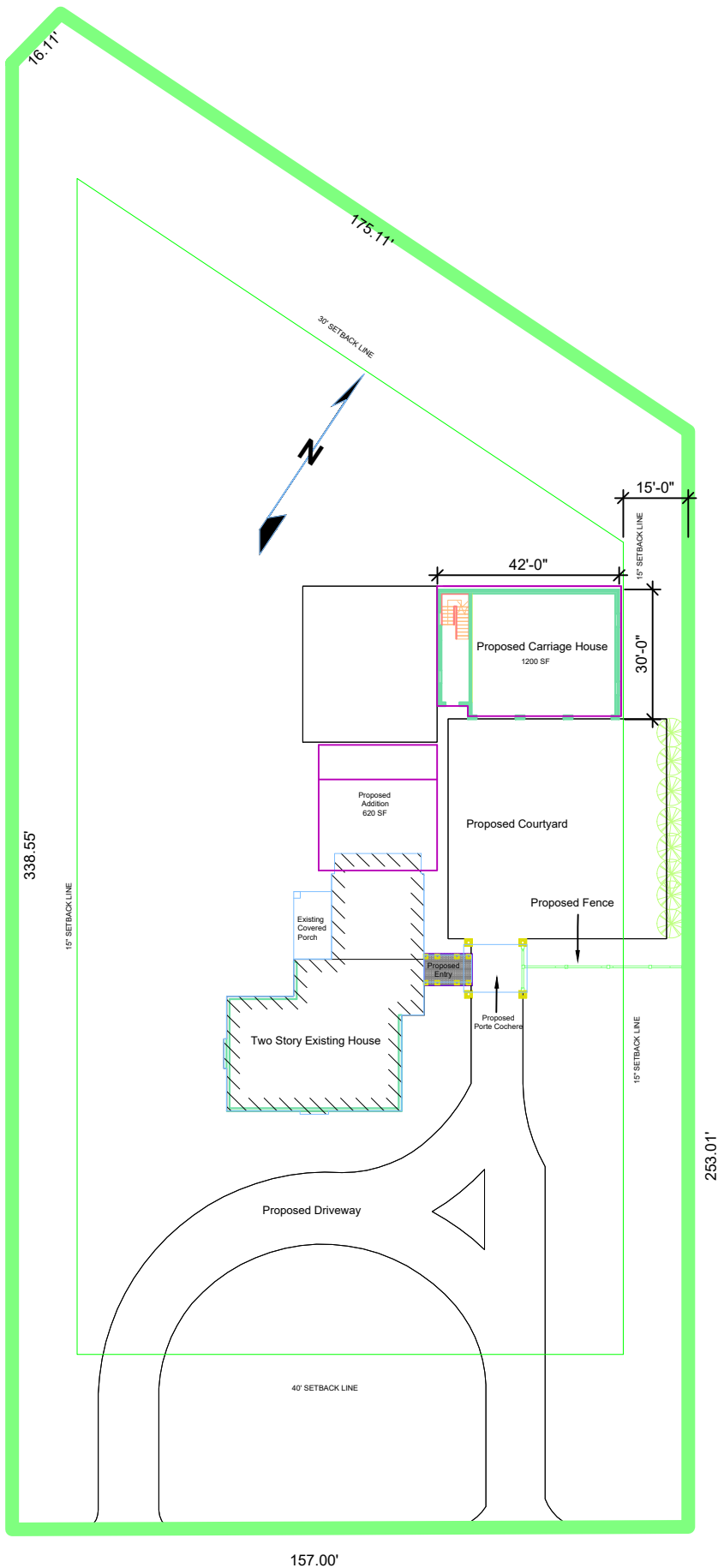
4150 RIDGE CHAPEL ROAD ■ MARION, NEW YORK 14505

FAX: 800-772-7419

### CERTIFIED TO:

1. STAHL PROPERTY ASSOCIATES IV, LLC
2. WOODS OVIATT GILMAN LLP
3. STEWART TITLE INSURANCE COMPANY





ALLENS CREEK ROAD





















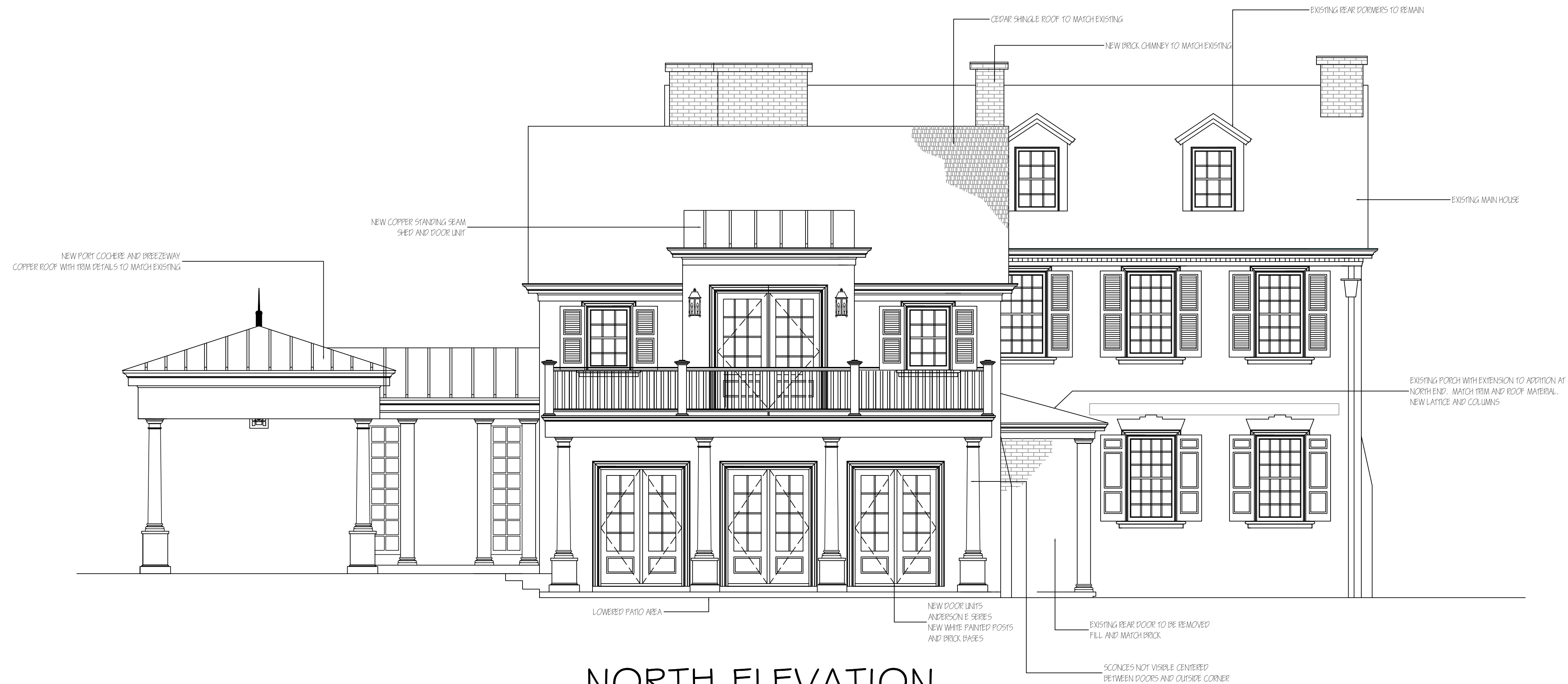












NORTH ELEVATION

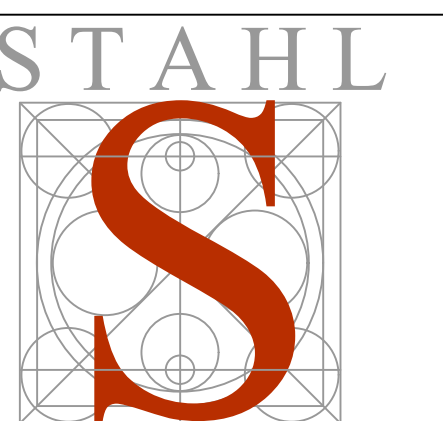


EAST ELEVATION

810 ALLENS CREEK ROAD, ROCHESTER, NY 14618

MAIN HOUSE ELEVATIONS 1/4" = 1'

Rev. 8.31.21



PROPERTY ASSOCIATES, LLC





WEST ELEVATION



SOUTH ELEVATION

810 ALLENS CREEK ROAD, ROCHESTER, NY 14618

MAIN HOUSE ELEVATIONS 1/4" = 1'

Rev. 8.31.21

**STAHL**



PROPERTY ASSOCIATES, LLC

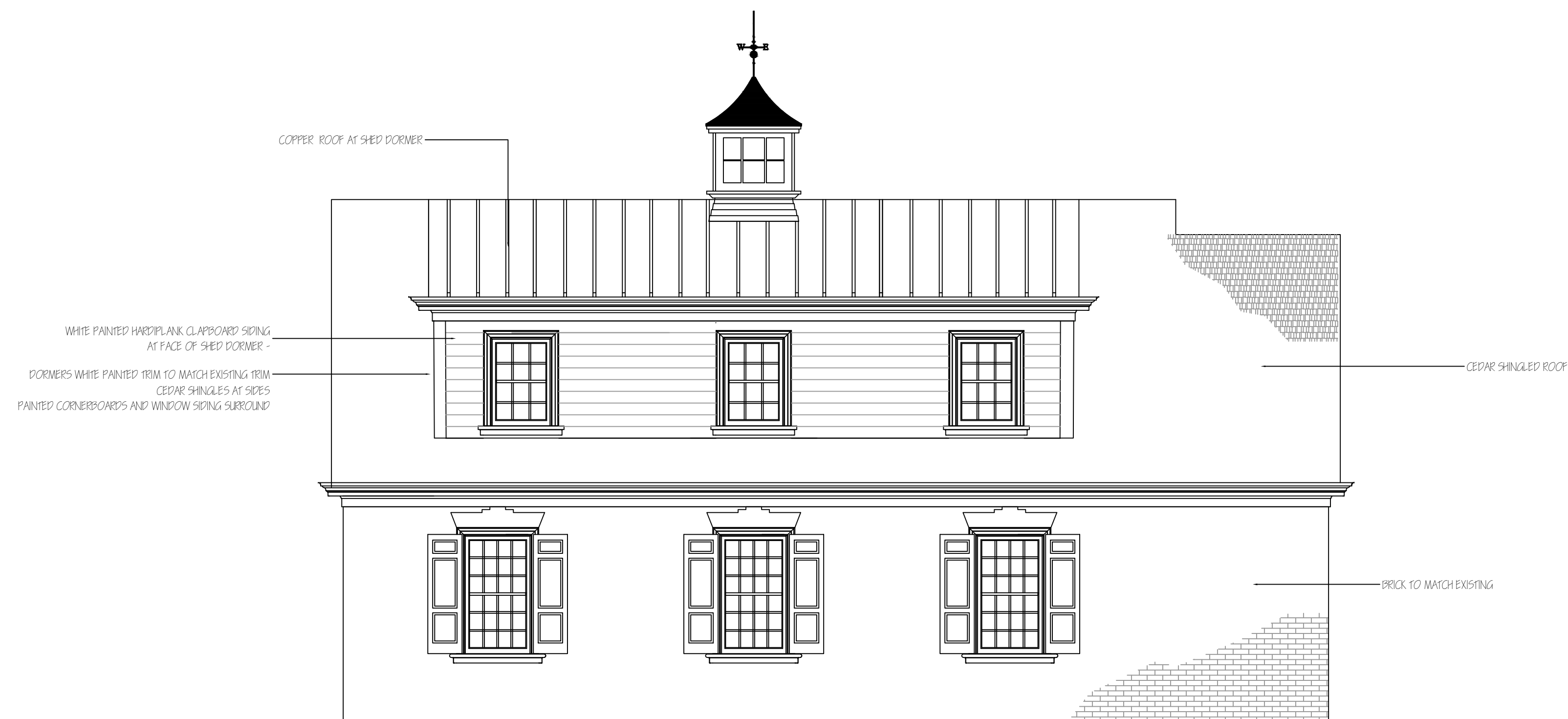




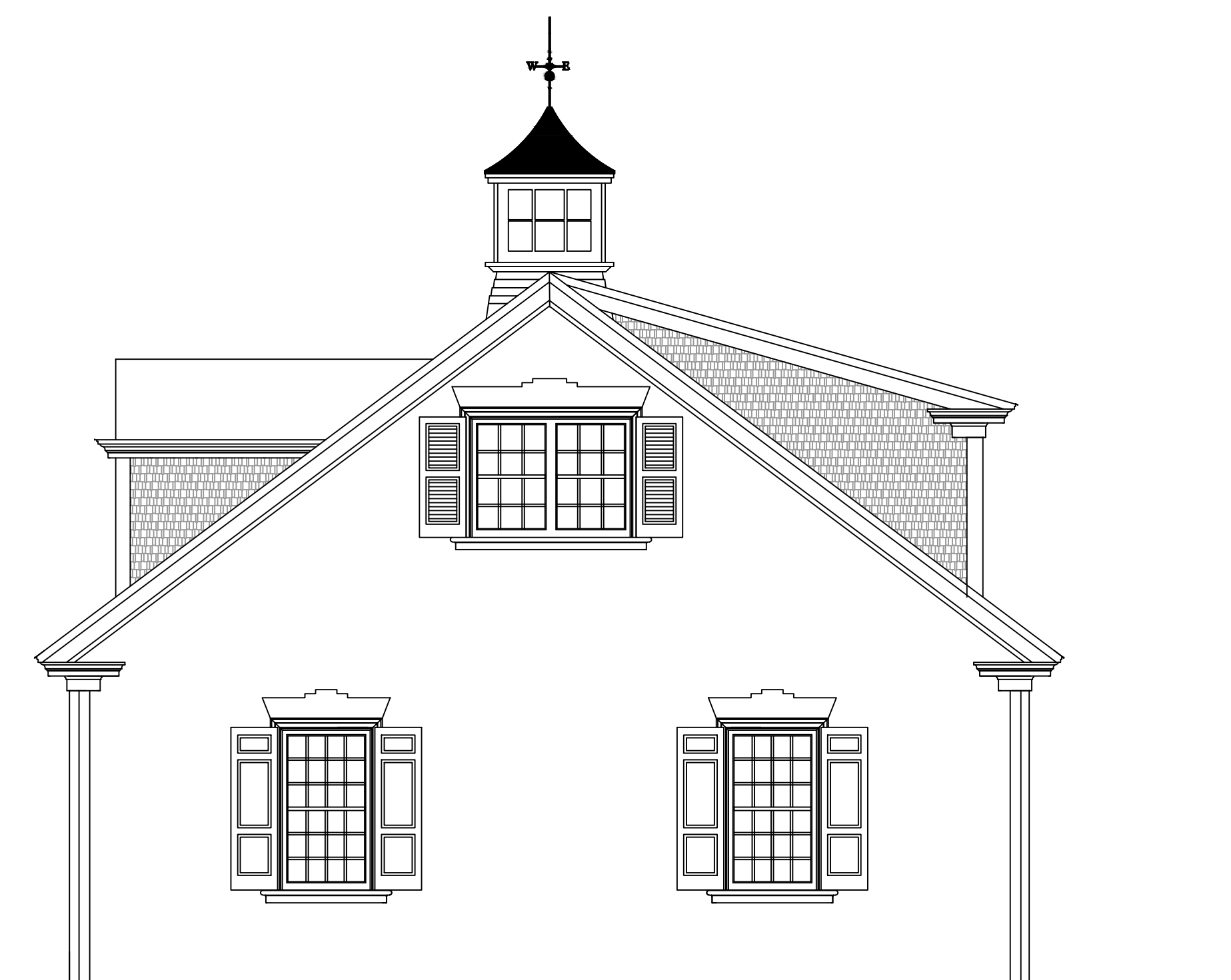
SOUTH ELEVATION



WEST ELEVATION

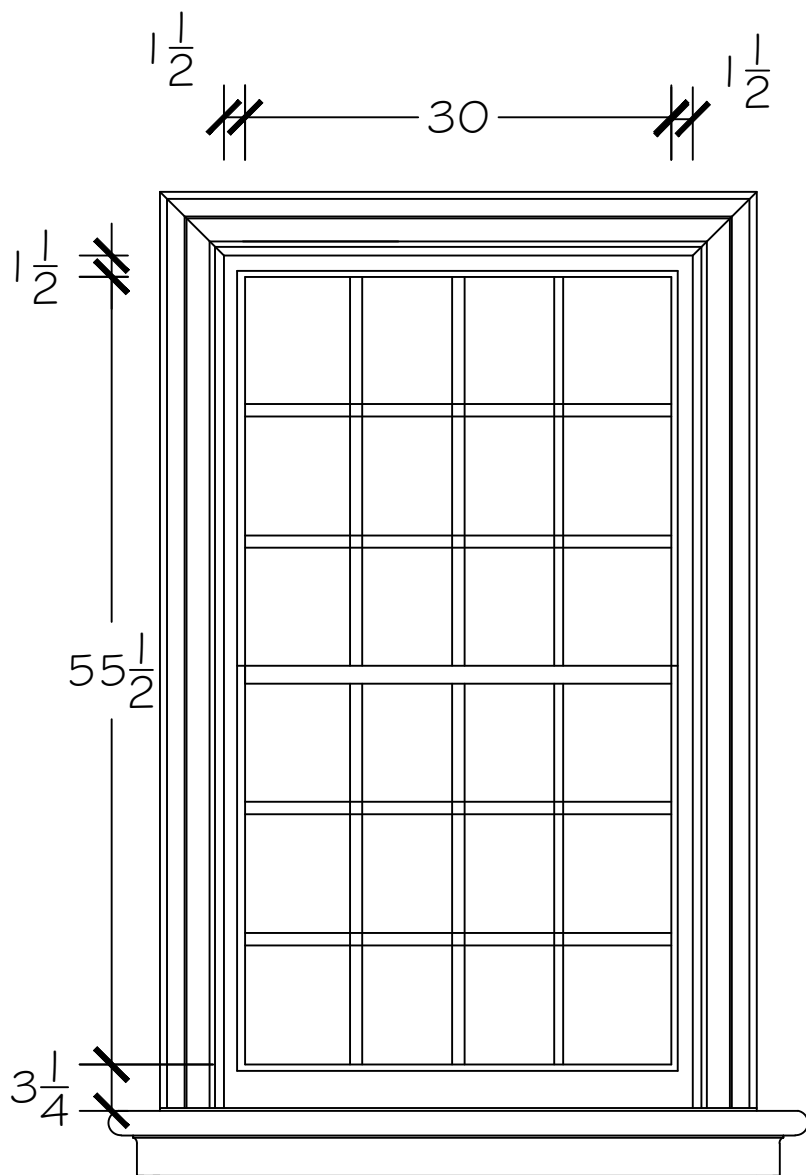


NORTH ELEVATION

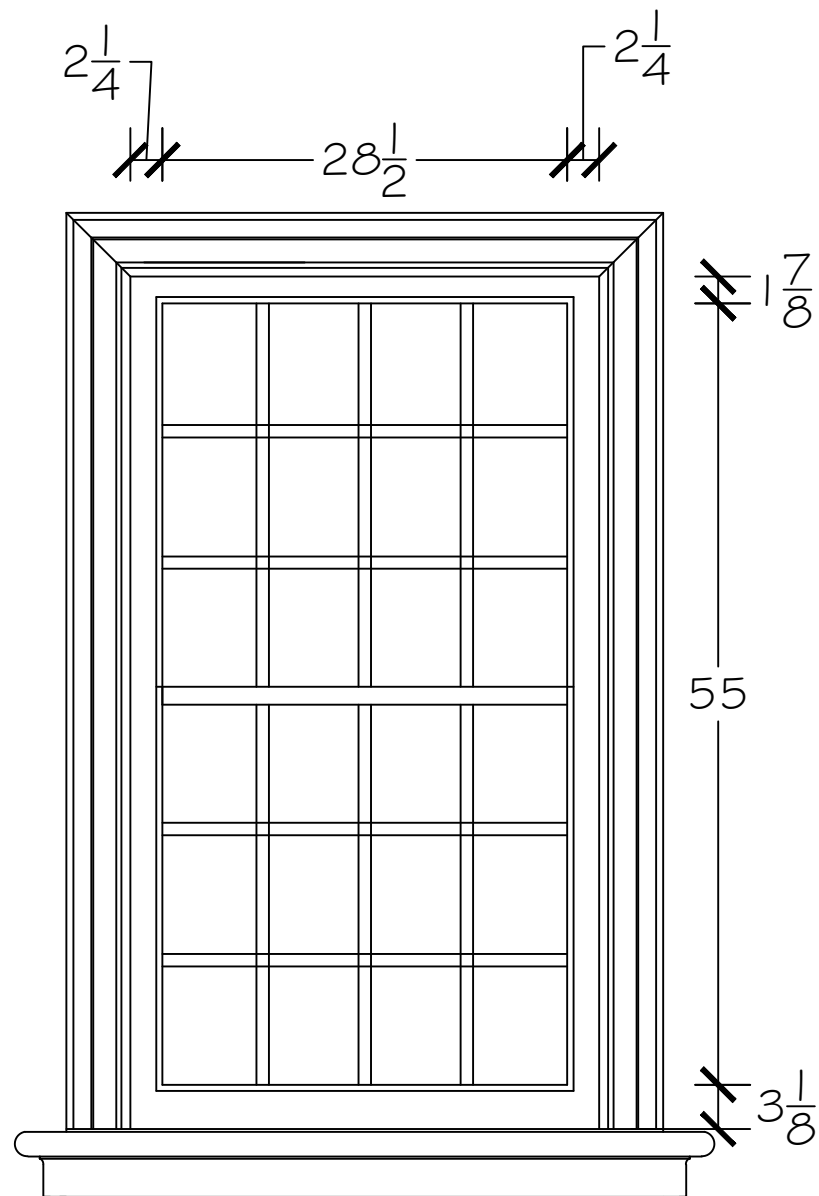


EAST ELEVATION





EXISTING WINDOW EXTERIOR VIEW



ANDERSON E-SERIES SASH REPLACEMENTS



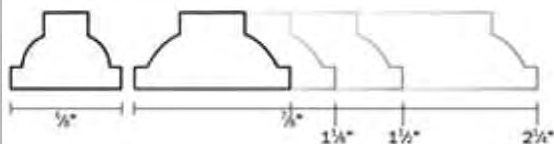


## Full Divided Light

Give any window an authentic look with full divided light grilles that are permanently applied to the interior and exterior of your window with a spacer between the glass.



# Grille Profiles



Interior Wood: Ovolo  
(Colonial)

Widths:

- 5/8"
- 7/8"
- 1 1/8"
- 1 1/2"
- 2 1/4"

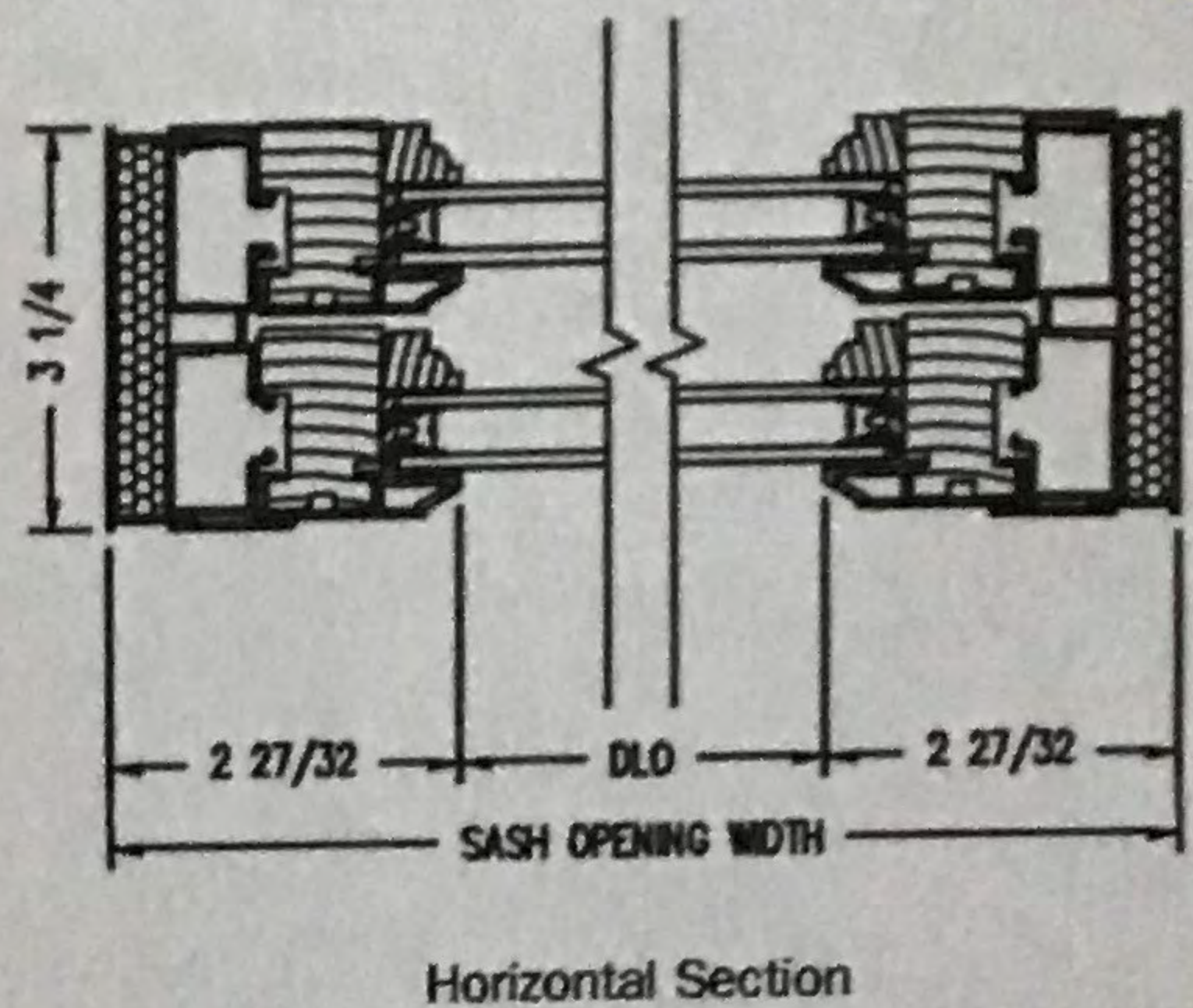
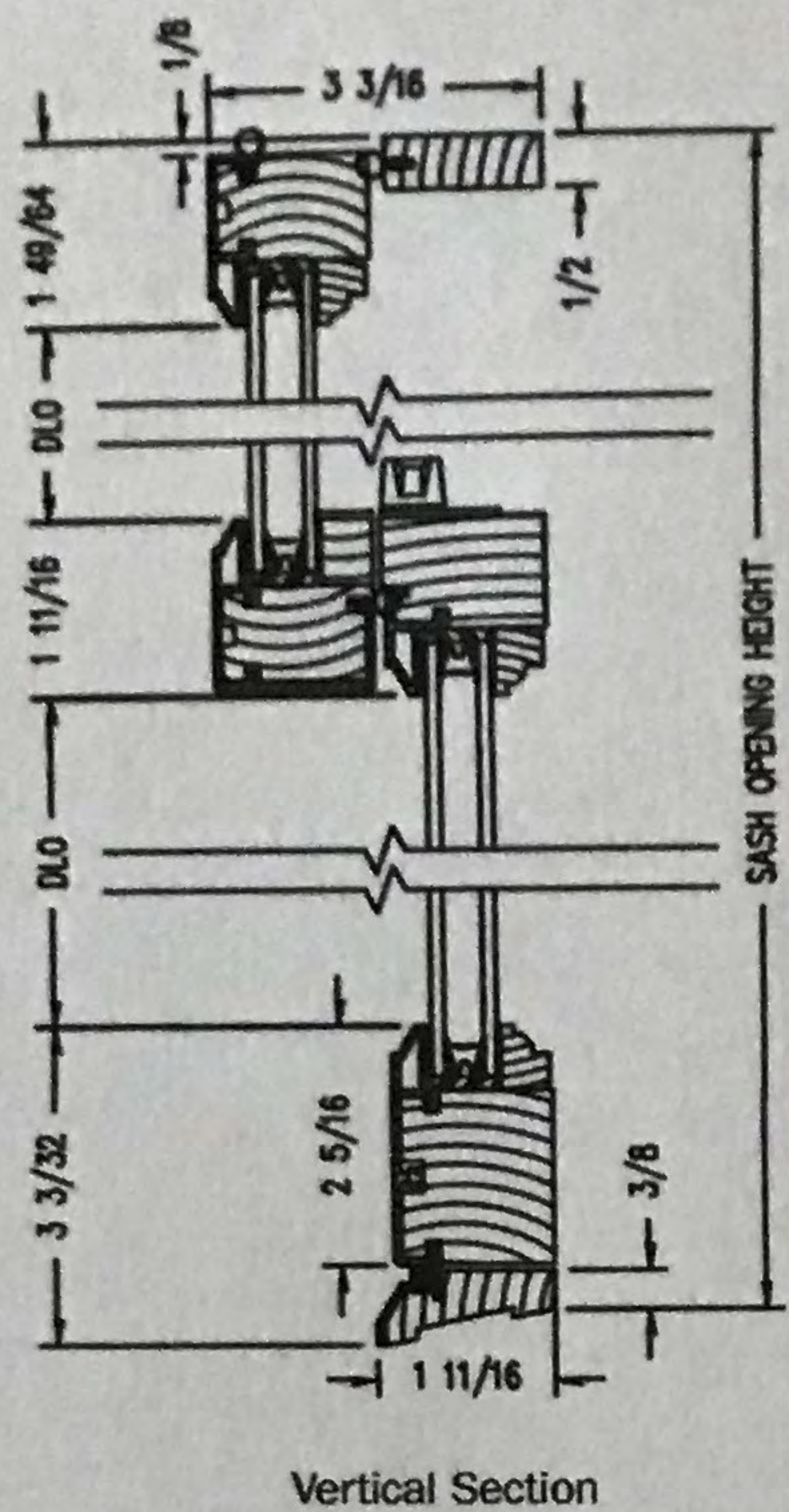
Available with:

- Full Divided Light
- Simulated Divided Light



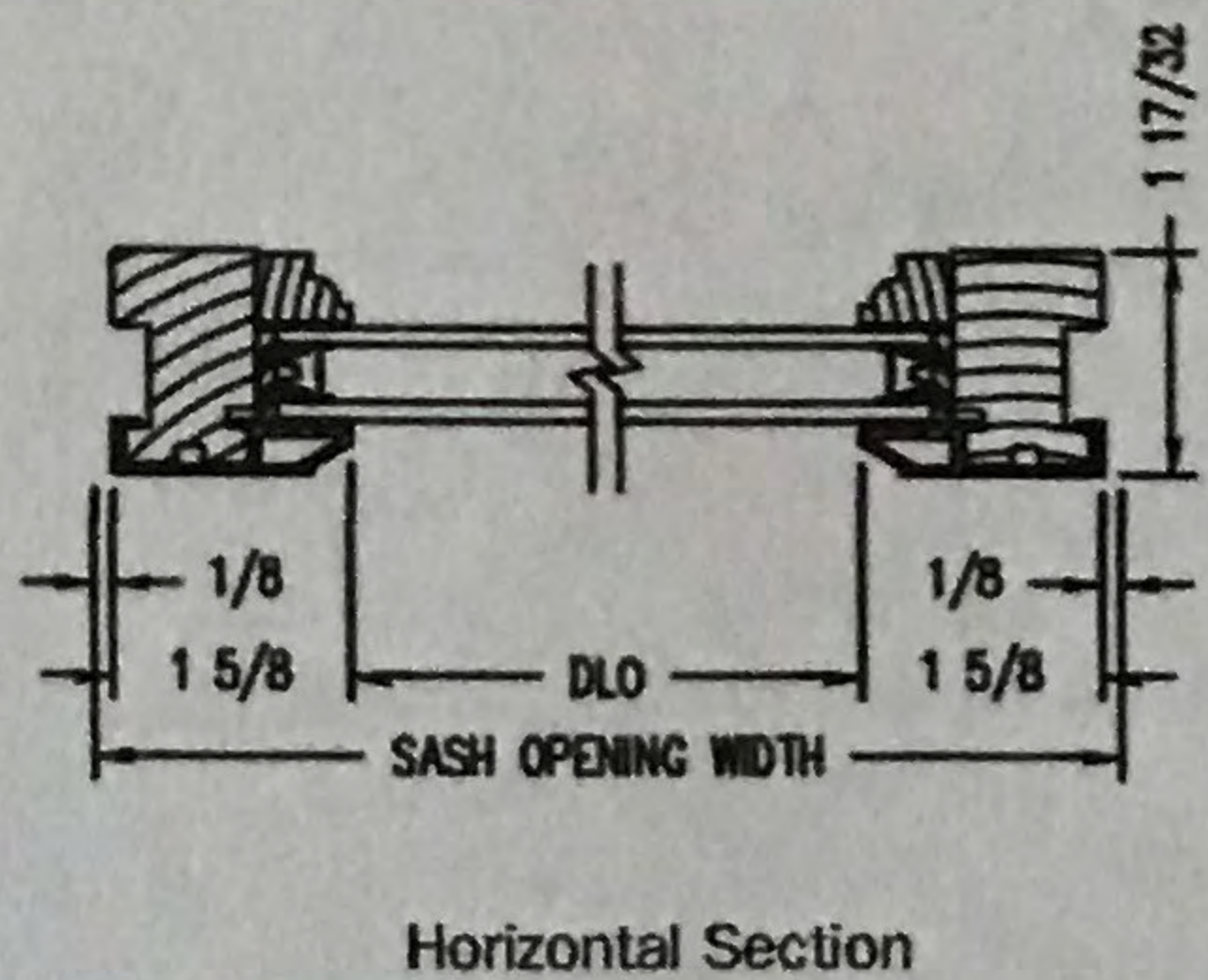
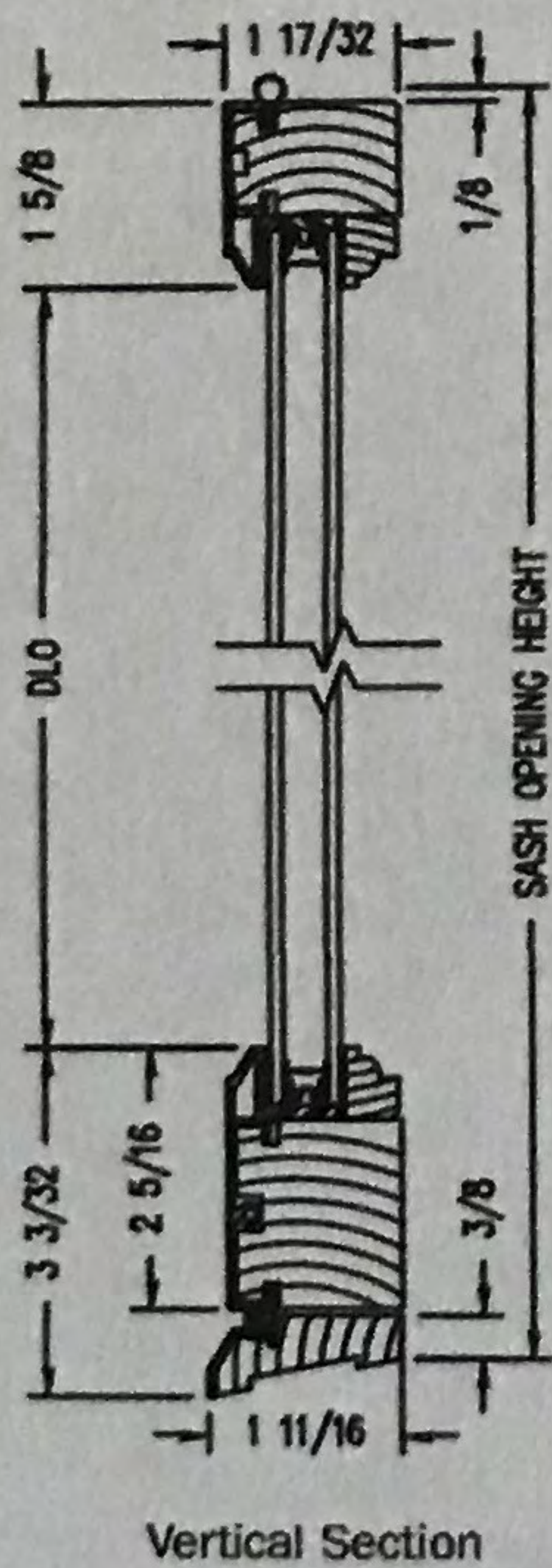
Double-Hung Sash Replacement Kits

Double-Hung Sash Replacement



At Existing  
Windows

Double-Hung Picture Sash Replacement



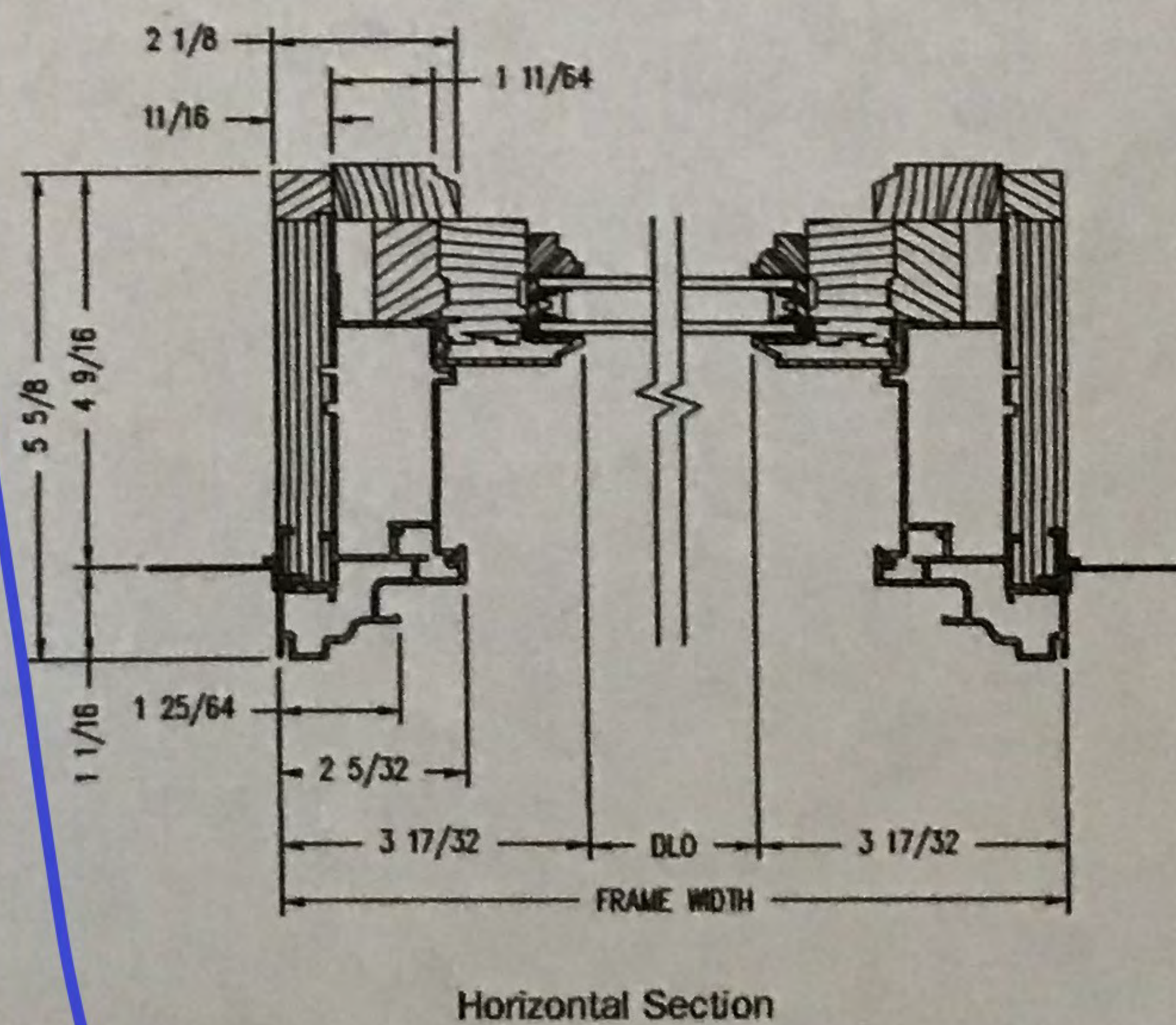
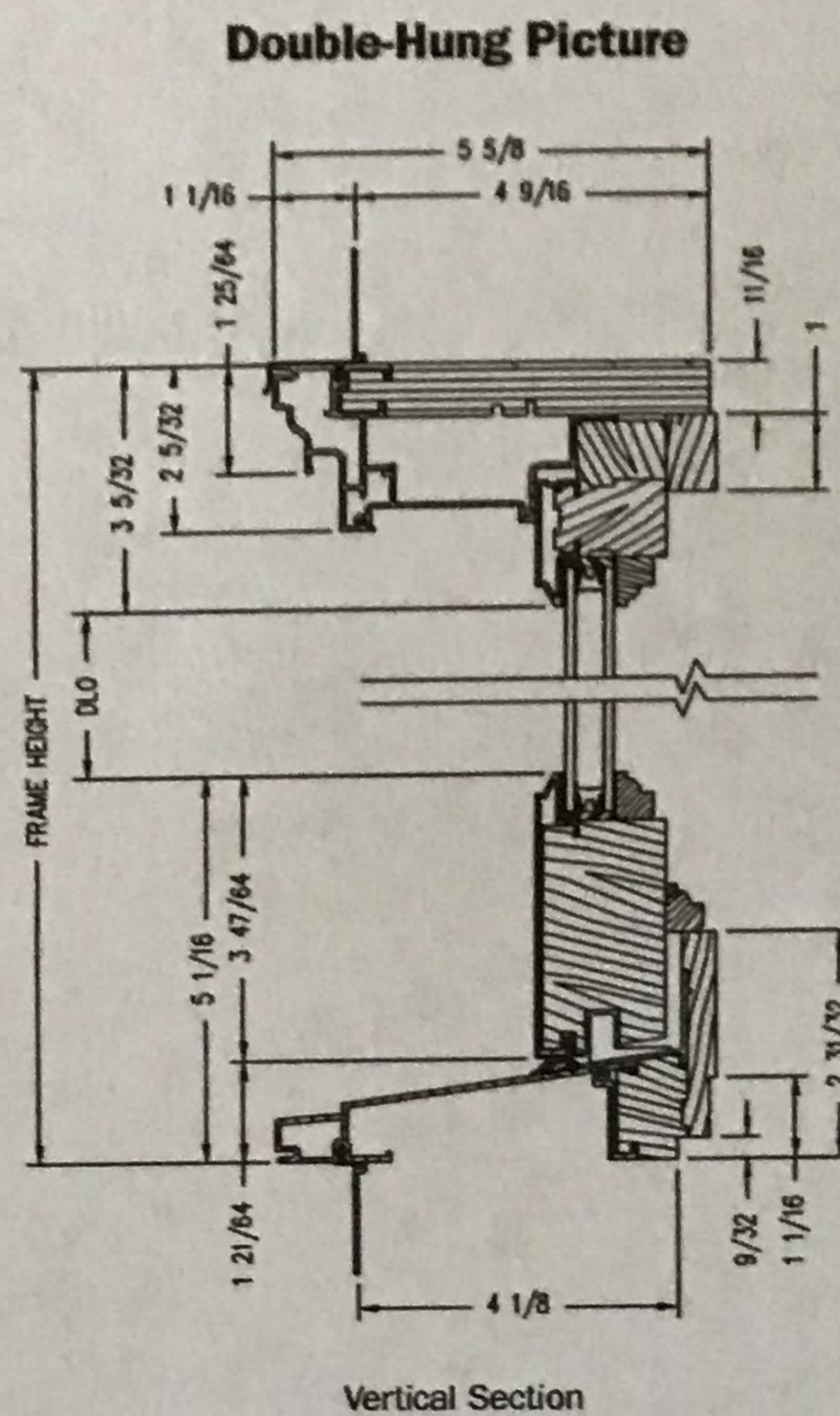
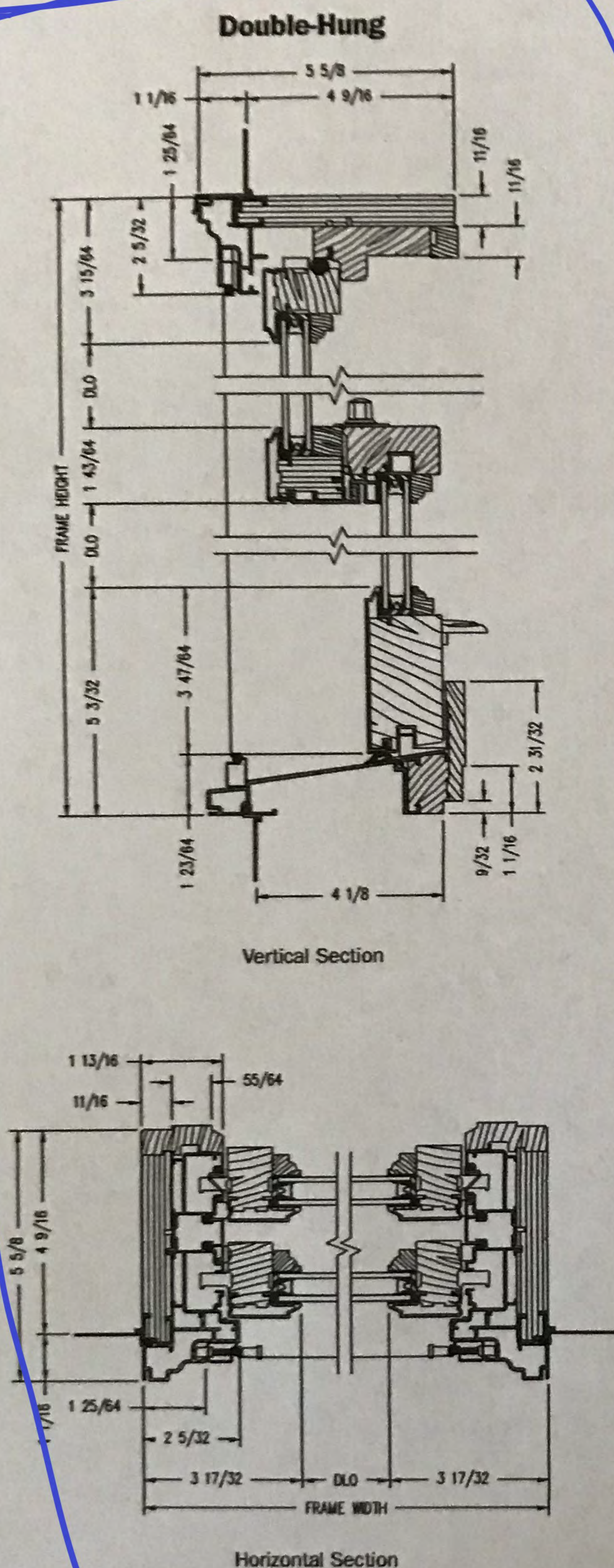
Shown with ovolo (colonial) glass stops.

PROPER INSTALLATION AND MAINTENANCE OF E-SERIES PRODUCTS IS ESSENTIAL TO ATTAIN OPTIMUM PERFORMANCE AND OPERATION. WRITTEN INSTALLATION INSTRUCTIONS THAT PROVIDE GUIDELINES FOR PROPER INSTALLATION ARE AVAILABLE BY VISITING [ANDERSENWINDOWS.COM](http://ANDERSENWINDOWS.COM). CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.



## New Windows

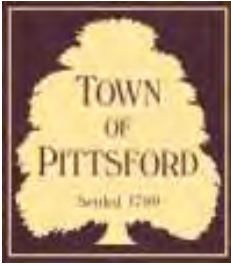
### Double-Hung Windows



Shown with ovolo (colonial) glass stops.

PROPER INSTALLATION AND MAINTENANCE OF E-SERIES PRODUCTS IS ESSENTIAL TO ATTAIN OPTIMUM PERFORMANCE AND OPERATION. WRITTEN INSTALLATION INSTRUCTIONS THAT PROVIDE GUIDELINES FOR PROPER INSTALLATION ARE AVAILABLE BY VISITING [ANDERSENWINDOWS.COM](http://ANDERSENWINDOWS.COM). CUSTOM SIZES ARE AVAILABLE. CONTACT YOUR LOCAL SUPPLIER FOR MORE INFORMATION. DRAWINGS ARE NOT TO SCALE.





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA23-000006**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 810 Allens Creek Road ROCHESTER, NY 14618

**Tax ID Number:** 138.13-1-40

**Zoning District:** RN Residential Neighborhood

**Owner:** Benazzi, Robert B

**Applicant:** Stahl Property Associates

#### Application Type:

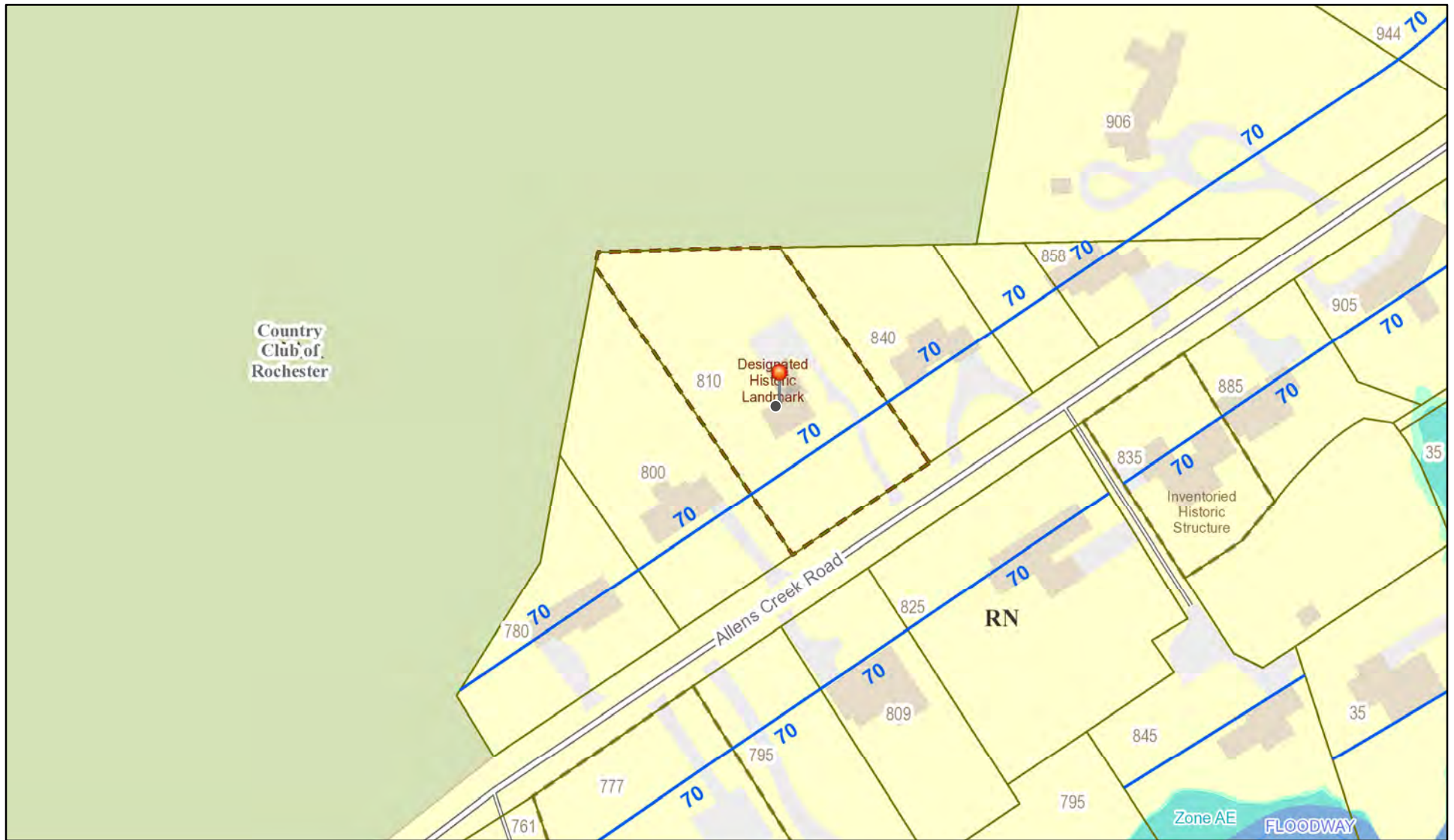
- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for fence modifications. This property zoned Residential Neighborhood (RN).

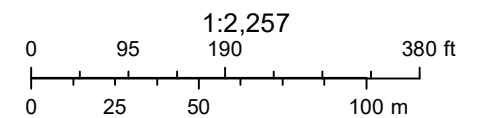
**Meeting Date:** December 14, 2023



# RN Residential Neighborhood Zoning



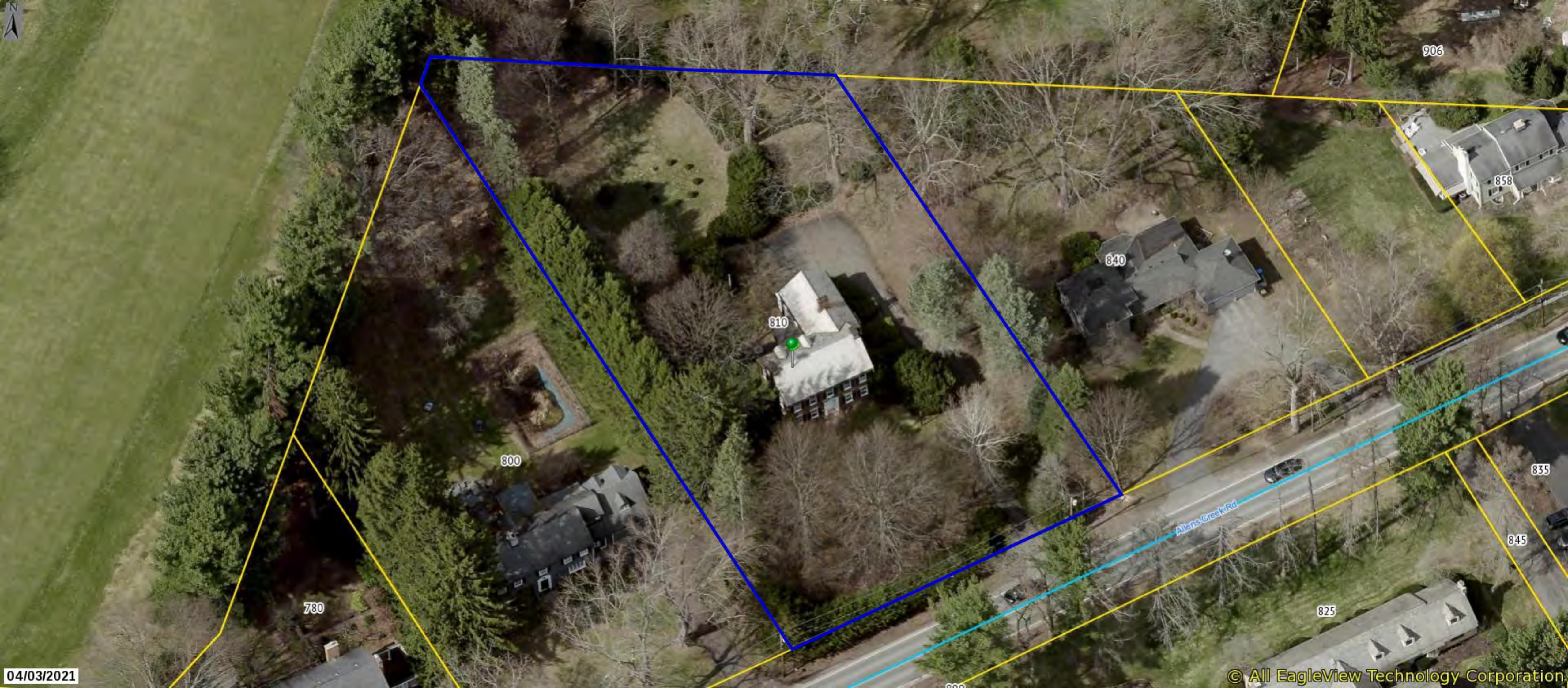
Printed November 21, 2023



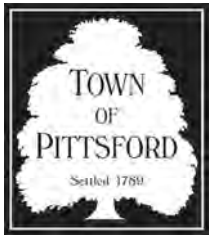
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.









# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 810 Allens Creek Rd Rochester, NY 14618
2. Tax Account Number: 138.13-1-40
3. Applicant's Name: Stahl Property Associates Contracting  
Address: 345 Kilbourn Rd Phone: (585) 415-9882  

Rochester  
City

NY  
State

14618  
Zip Code

E-mail: Kim@stahlgroupinc.com
4. Applicant's Interest in Property:  
Owner: ☒ Lessee: ☐ Holding Purchase Offer: ☐  
Other (explain): \_\_\_\_\_
5. Owner (if other than above): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

City

State

Zip Code

E-mail: \_\_\_\_\_

Has the Owner been contacted by the Applicant? Yes ☐ No ☐
6. Application prepared by: Stahl Property Associates Contracting  
Address: 345 Kilbourn Rd Phone: (585) 797-3192  

Rochester  
City

Ny  
State

14618  
Zip Code

E-mail: natalie@stahlgroupinc.com
7. Project Design Professional (if Available): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

City

State

Zip Code

E-mail: \_\_\_\_\_



8. Project Contractor (if Available): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_  
*City State Zip Code* E-mail: \_\_\_\_\_

9. Present use of Property: Residential

10. Zoning District of Property: Residential

11. Is the property located in a Town Designated Historic District?

Yes ☐ No ☒

12. Is the property listed on the National Registry of Historic Places?

Yes ☐ No ☒

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes ☐ No ☒

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

We are requesting approval for the removal of a section of fence located on the east side of of property. By removing the section of fence that would have run up to the portico column, we now have an alternate access for a vehicle to get to the garage. This is also important in the case of an emergency vehicle needing to access the rear of the property. We are also requesting approval to keep this fence black instead of white. We believe black is a better option to keep the property looking clean by better hiding dirt/mud due to the fence being surrounded by landscaping and the driveway.  
We are requesting approval for the addition of a black painted gate located on the west side of the property.



- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

The driveway is wider now due to the removal of the section of fence and desire for a alternate access to the rear of the house.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application *(if available)*:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Parcel map  | <input type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans      |
| <input type="checkbox"/> Other materials        | _____   |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

  
\_\_\_\_\_  
Signature of applicant

10/30/2023

\_\_\_\_\_  
Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes ☐ No ☐

If Yes, owner's signature: \_\_\_\_\_











**RESOLUTION**  
**Town of Pittsford**  
**Design Review & Historic Preservation Board**  
**Certificate of Appropriateness**

**Re: 810 Allens Creek Road**  
**Tax Parcel # 138.13-1-40**  
**Zoned: RN - Residential Neighborhood**  
**Applicant: Stahl Property Associates**  
**C of A # 04-2021**

WHEREAS, the above property was previously designated as a Historic Landmark on January 18, 1996; and

WHEREAS, the applicant herein, Stahl Property Associates as owners of the above property, submitted an application for a Certificate of Appropriateness, relative to the proposed work set forth in the application, revised August 31, 2021 and in accordance with the provisions of Town Code Section 185-198 (A); and

WHEREAS, hearings were held on June 10, 2021, July 22, 2021, August 26, 2021 and September 9, 2021 for the purpose of allowing the presentation of testimony and/or evidence by the owner or any other interested party, in accordance with Town Code Section 185-198(C); and

WHEREAS, this matter is a Type II Action, in accordance with the provisions of Section 617.5 (c) (10) of the SEQRA Regulations, requiring no further review by this Commission;

NOW, THEREFORE, upon consideration by the Design Review and Historic Preservation Board of the aforesaid application, and upon the completion of the aforesaid hearing, and the Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Design Review and Historic Preservation Board makes the following findings and decision:

**FINDINGS OF FACT**

1. The within application has been reviewed, by the Board, taking into consideration the factors required by Town Code Section 185-197(C).
2. As to the appropriateness of the general design, scale and character of the proposed work to the property, as well as with surrounding properties, the Board finds the proposed 620 SF two story addition to the rear of the building, an enlarged existing side porch, a port cochere with a wooden fence line to screen the carriage house and a free standing 1,200 SF two story carriage house. The proposed materials are listed to match existing copper, masonry, gutter and associated scupper boxes and down spouts in size, design, color and material. The proposed design is compatible with the existing estate. No surrounding properties will be impacted by this addition.



3. As to the texture, materials and colors proposed to be used and the compatibility of such features to the property, as well as with surrounding properties, the Board finds that the proposed renovation, addition and new structures will match and complement with existing materials and colors in kind. Windows are to be Anderson E Series windows as submitted with Full Divided Light, 7/8" mullion and exterior color to be white. Gutter, scupper boxes and downspouts will be in kind will have no adverse affect to the historic estate.
4. As to the visual compatibility of the proposed work with the property, as well as with surrounding properties, the Board finds that attention to the existing building and detailing to be appropriate matching the style and age of the house. Materials and colors that match the existing house also contribute to visual compatibility. The proposed work will be visible but is respectful to the original house.
5. As to the potential impact of the work on important historic, architectural or other features of the property, the Board finds this is a particularly significant historic landmark in its original Georgian Revival architecture. The existing front door will be retained as well as the existing shutters on the first and second floor. The existing rear porch exterior door will be reused at the carriage house door location noted on the garage elevation sheet – south elevation. The board recognizes that the replacement of the existing windows is not desirable, but we acknowledge that the replacement sashes chosen are sufficient and will improve the exterior appearance because of the removal of existing exterior aluminum storms.

### DECISION

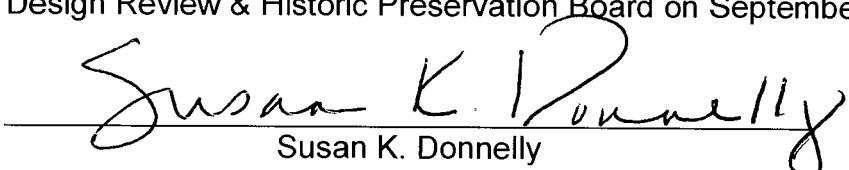
1. Based upon the above Findings of Fact, the Board hereby concludes that the work proposed by the applicant is compatible with the historic character of the structure and, as such is appropriate. Accordingly, the Design Review and Historic Preservation Board hereby grants to the applicant a Certificate of Appropriateness.
2. The granting of the Certificate of Appropriateness is made subject to the following specific conditions:
  - a. New wooden fence to be painted white.
  - b. All new shutters are to match existing in kind.
  - c. Change all "match existing" to "in kind".
  - d. Soft light at the cupola in the carriage.
  - e. New railing system on second floor of the addition will be of AZEK composite material and the decking will be mahogany.
  - f. All work is to be completed by September 8, 2023.



The within Resolution was moved by Board member Dirk Schneider, seconded by Board member John Mitchell, and was voted upon by members of the Board as follows:

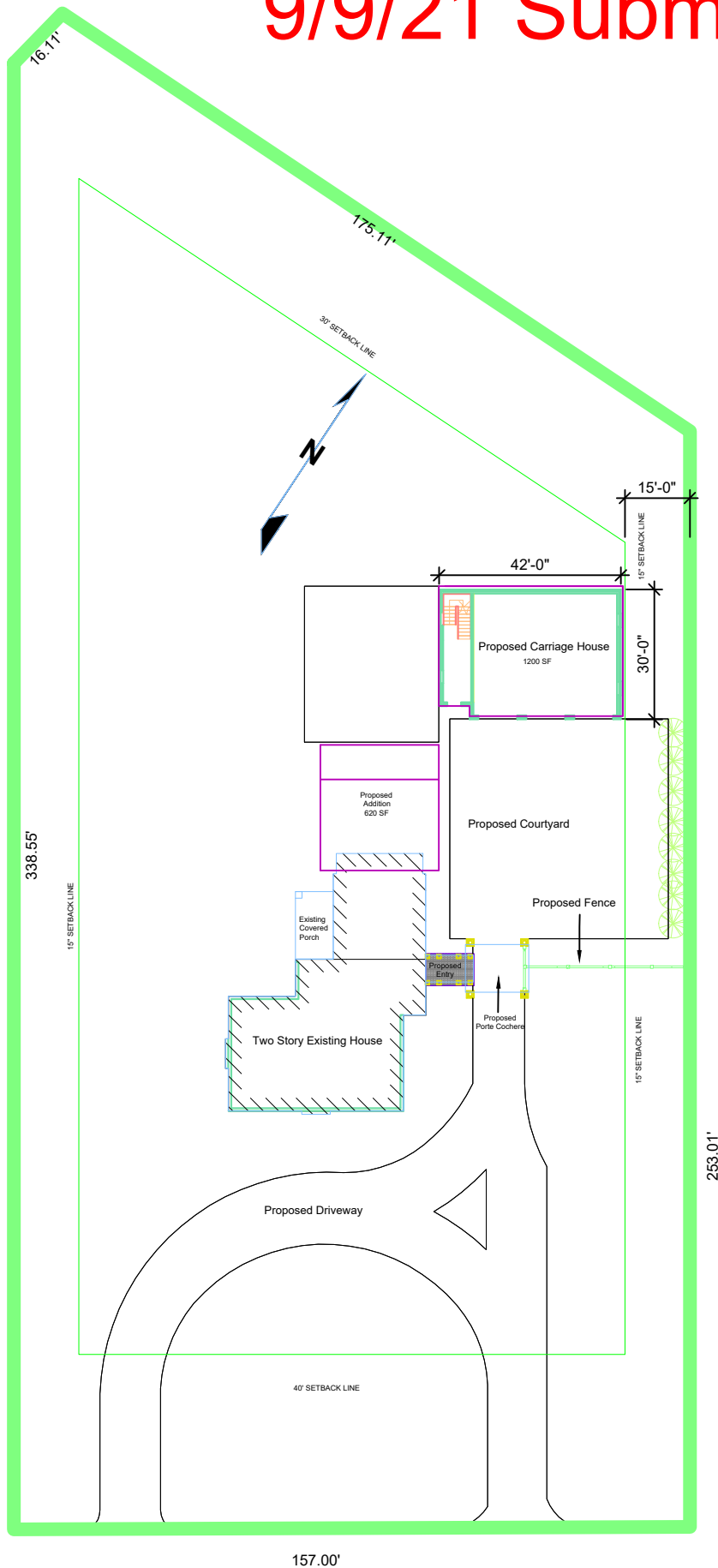
Bonnie Salem	Aye
Paul Whitbeck	Nay
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Absent
David Wigg	Aye
Dirk Schneider	Aye

Adopted by the Design Review & Historic Preservation Board on September 9, 2021.

  
Susan K. Donnelly  
Secretary to the Design Review & Historic Preservation Board

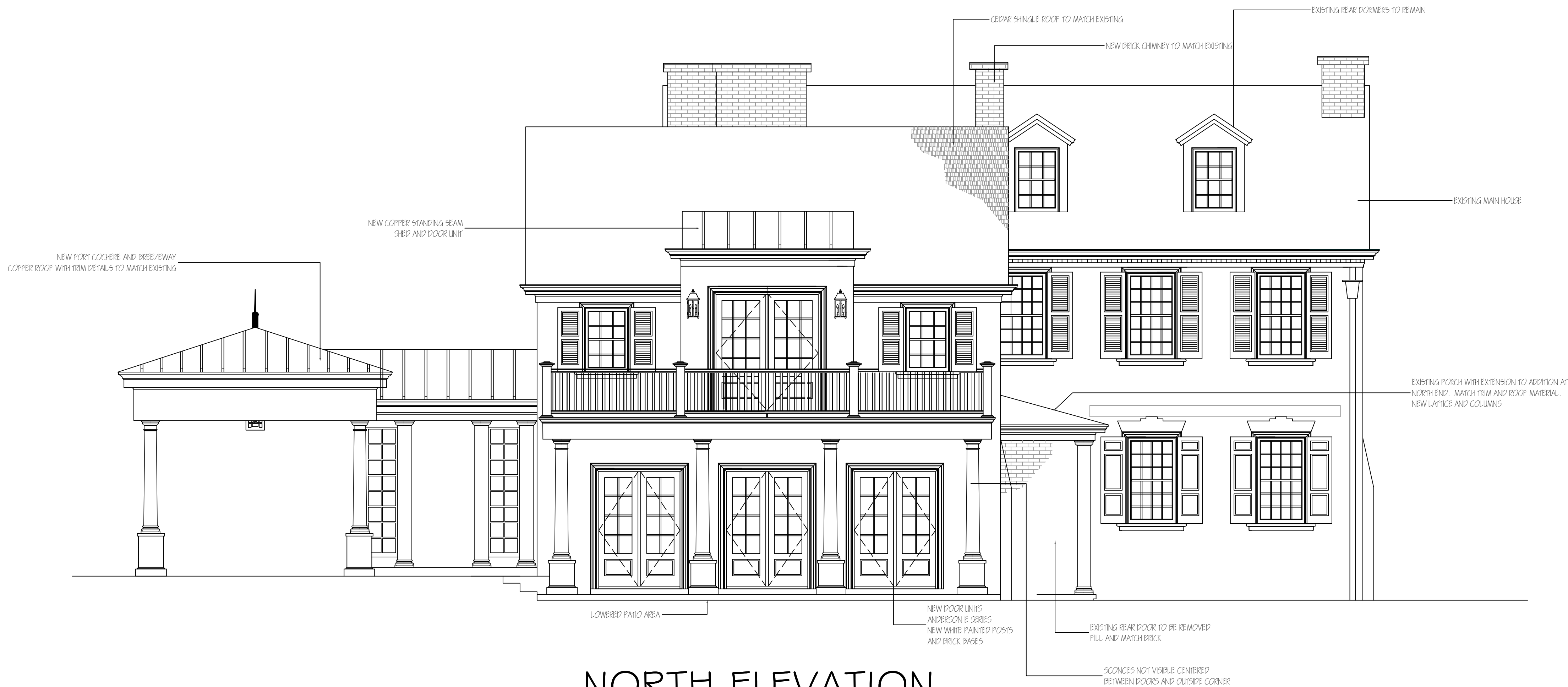


# 9/9/21 Submission



ALLENS CREEK ROAD





NORTH ELEVATION



EAST ELEVATION





WEST ELEVATION



SOUTH ELEVATION

810 ALLENS CREEK ROAD, ROCHESTER, NY 14618

MAIN HOUSE ELEVATIONS 1/4" = 1'

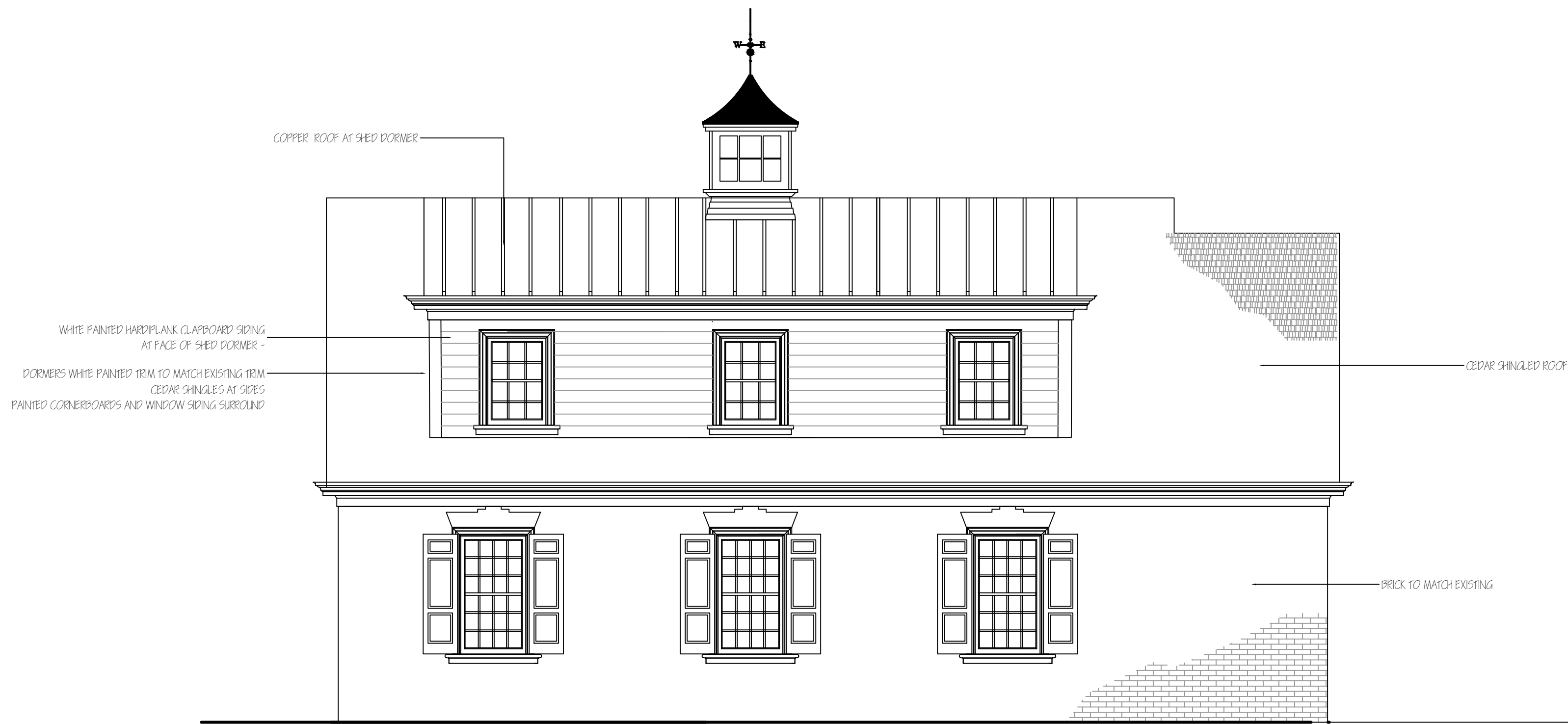




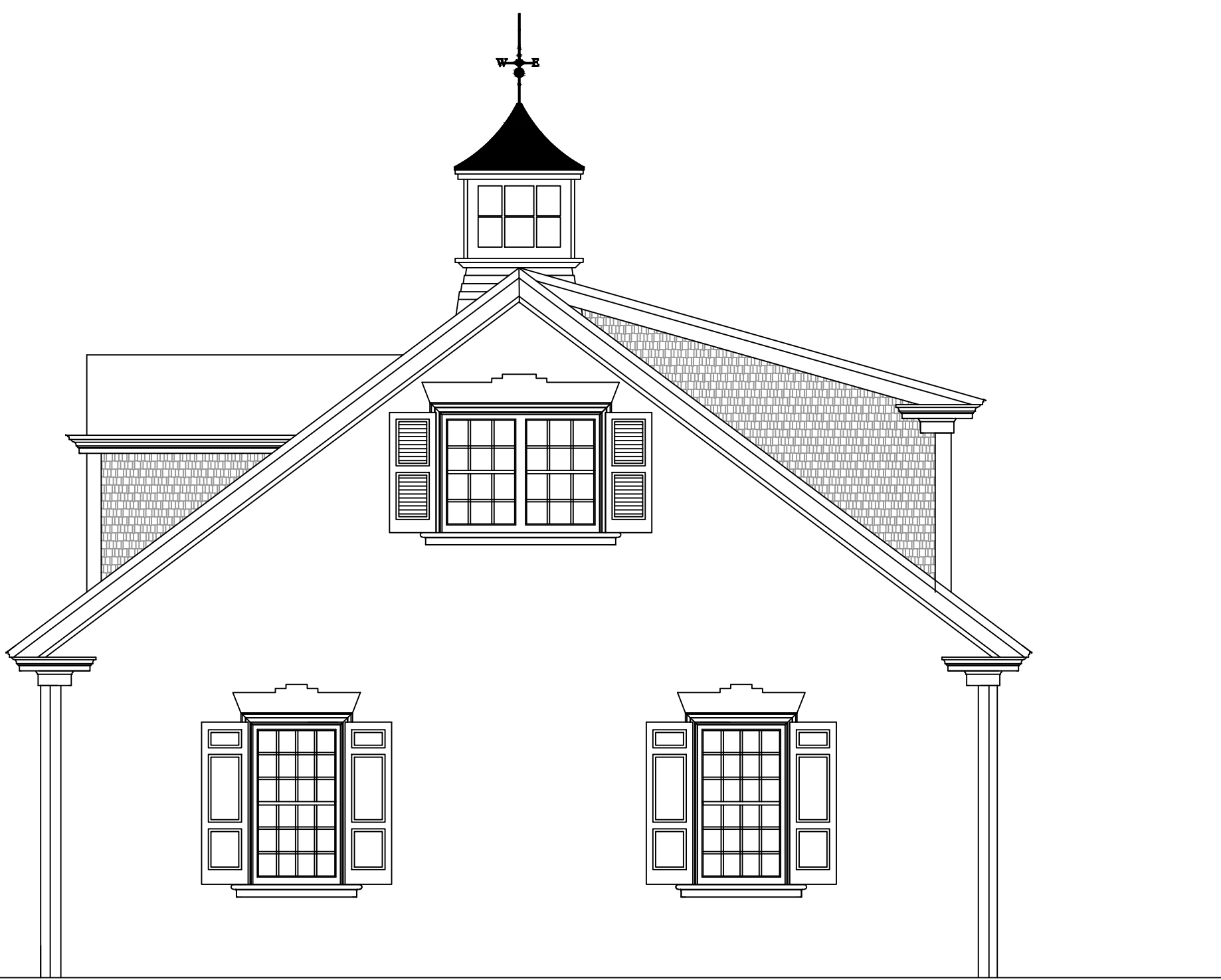
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



## Design Review and Historic Preservation Board

### Minutes

September 9, 2021

TOWN CLERK  
TOWN OF  
CLAYTON  
SEP 10 2021  
2:24 A

#### PRESENT

Dirk Schneider, Chairman; Bonnie Salem, John Mitchell, Dave Wigg, Vice-Chair Kathleen Cristman, Paul Whitbeck

#### ALSO PRESENT

Robert Koegel, Town Attorney; Bill Zink, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

#### ABSENT

Leticia Fornataro, Allen Reitz, Building Inspector

Dirk Schneider, Chairman, opened the meeting at 6:00 pm.

#### HISTORIC PRESERVATION DISCUSSION

The Board discussed the subdivision of a property at 2590 Clover Street which is designated historic which is being addressed by the Planning Board. The Board concluded that the language is to how this property was designated allows for this subdivision to occur.

It was noted that there was an article in the Messenger Post regarding the Banners in the Historic District.

Kevin Beckford sent a message that the Town Board is supportive of putting a list of Historic homes on the Town website and staff will be assigned to carry out this task in time for the Historic Preservation month of May 2022.

#### CERTIFICATE OF APPROPRIATENESS

- **810 Allens Creek Road**

The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for an addition and exterior changes to a designated historic home as well as the construction of an oversized accessory structure on the property of said home.

This public hearing has remained open.

The property owner, Kim Bailey, was present.

Ms. Bailey described the changes requested by the Board in regards to the notations of materials and specifications on the submitted plans. She indicated the fence would be wooden painted white. The columns will be tapered and square in different locations. The shutters will be a green accent and original shutters will be retained on the home. The windows will be replacement with a 7/8 colonial profile divided lites. The front door and original hardware will be retained and another original door will be repurposed on the carriage house. Sconces will be added to the carriage house and the doors will be wooden painted white. The carriage house will be brick with the same trim and shutters as the house. A soft light will be placed in the cupola.

Bonnie Salem discussed that the replacement windows are not in keeping with the spirit of historic preservation for this home. She would have preferred to see the original windows retained but other Board members expressed that they are pleased that the aluminum screens will be removed.

Dirk Schneider moved to close the Public Hearing.

All Ayes.



A resolution was moved by Board member Dirk Schneider, seconded by Board member John Mitchell, and was voted upon by members of the Board as follows:

Bonnie Salem	Aye
Paul Whitbeck	Nay
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Absent
David Wigg	Aye
Dirk Schneider	Aye

Based upon the above Findings of Fact, the Board concluded that the work proposed by the applicant is compatible with the historic character of the structure and, as such is appropriate.

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

- a. New wooden fence to be painted white.
- b. All new shutters are to match existing in kind.
- c. Change all "match existing" to "in kind".
- d. Soft light at the cupola in the carriage.
- e. New railing system on second floor of the addition will be of AZEK composite material and the decking will be mahogany.
- f. All work is to be completed by September 8, 2023.

- **117 East Street**

The Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for a porch addition. This property is zoned (RN) Residential Neighborhood and is designated historic.

This public hearing remains open.

Eric Schoenhardt was present to discuss the updated plans with the Board. He reviewed the enclosure of the roof over the patio and discussed the materials of the posts and screens. The stoop will remain. Windows will remain but some small shutters will be removed to accommodate the porch addition.

There was no public comment.

Dirk Schneider moved to close the Public Hearing.

John Mitchell seconded.

All Ayes.

A resolution was moved by Board member Bonnie Salem, seconded by Board member Paul Whitbeck, and was voted upon by members of the Board as follows:

Dirk Schneider	Aye
Bonnie Salem	Aye
Paul Whitbeck	Aye
Kathleen Cristman	Aye
Leticia Fornataro	Absent
David Wigg	Aye
John Mitchell	Aye



**COMMERCIAL APPLICATIONS: ADDITIONS & RENOVATIONS**

---

**3690 East Avenue – St. John Fisher University**

*Applicant is requesting design review for the addition of two entry vestibules to the north and south elevations of the St. John Fisher Lavery Library as a part of a large-scale renovation project.*

David Collins of Hamilton Stern Construction introduced the application with George Stooks of St. John Fisher University. Mr. Collins stated that the project is mostly interior work but will include the addition of two entry vestibules. The brick will match existing building. The entrance vestibules will have a cathedral arch with the classic St. John Fisher arch to match.

Chairman Schneider asked if the stone in the arch is precast. Mr. Collins stated that it is. The storefront windows on either side of the entrance and inside curtain wall will be bronze. Vice Chairman Wigg confirmed with Mr. Collins that the building was built in the 1970's and is thus over fifty years old. Board Member Salem confirmed with Mr. Collins that the materials that are used on the large vestibule will match the existing materials.

DRHPB Vice Chairman Dave Wigg motioned to approve the addition of windows and two entry vestibules to the St. John Fisher Lavery Library, as a part of a large-scale renovation project, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

**CERTIFICATES OF APPROPRIATENESS**

---

**810 Allens Creek Road**

*Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for fence modifications. This property zoned Residential Neighborhood (RN).*

Chairman Schneider opened the public hearing.

Kim Bailey of Stahl Property Associates introduced the application. Ms. Bailey stated that they are seeking amendments to their previous Certificate of Appropriateness. She summarized the changes she is applying for which are inconsistent with the previous application (2021), including the reduction, style, color, and placement of the fencing, the addition of the gate, the increase in the amount of asphalt to the side of the porte-cochere, and the removal of a small section of asphalt that connected the straight section of driveway with the loop. The Board held in extensive discussion on these modifications.

When Chairman Schneider asked Ms. Bailey why the fencing was changed, she responded that the original drawings submitted to the Board had just had a placeholder design and had not meant to represent the final style, as she had not realized it mattered. Chairman Schneider asked for the Board's opinion on whether they thought the fence style is compatible with age of building. The previously approved style was solid at bottom and pickets at the top, and he stated that the current look does not seem in keeping with the character of the home. Board Member Cristman noted that the fence is very important to the original approval of the additions, not just in its style but in its coverage and positioning of the new addition. Board Member Salem concurred.



Board Member Mitchell stated that he thinks that the change from white to black fencing makes the design very dark and would prefer to see it returned to the originally approved white paint. Board Member Vekasy said that he did not have a strong preference on color either way, but that the most bothersome part for him is the missing section of fencing next to the porte-cochere because it makes the back area look messy. Ms. Bailey stated that the fence was moved from the original position because a car parked in the porte-cochere could not fully extend its door, and the section was removed because she had wanted to place a gate for further access to the back but could not find one appropriate to their needs.

Chairman Schneider confirmed with Ms. Bailey that the curved section of pavement from the straight driveway to the looped driveway had been eliminated from the design and was now landscaped. Board Member Salem added that the removal of the fencing dramatically increased the amount of asphalt in the front of the property and expressed that the change is a detriment to the historic character of the property.

Chairman Schneider asked what the purpose was of adding the gate to the southwest corner of the property. Ms. Bailey stated that it privatized the side yard while allowing lawn equipment to pass through to the rear. Board Member Salem asked if she had considered adding a walkway to the gate to ground it to the landscape design rather than leaving it floating; Ms. Bailey stated that she intended to leave it up to the new homeowners. She had not realized that adding the gate to the property would require a Certificate of Appropriateness.

Chairman Schneider stated that the Board had approved a plan for additions and renovations to a historic home and that he takes issue with the fact that the plan was not followed. He stated that he would like to see the property returned to the approved design. Board Member Cristman added that she feels that disregarding of the original Certificate of Appropriateness sets a bad precedent and does not feel comfortable with allowing modifications post-construction. Ms. Bailey stated that she did not knowingly try to disregard the original Certificate of Appropriateness and that it was a mistake.

Board Member Mitchell suggested trying to find a middle ground by allowing the gate to remain rather than requiring it to be removed. Vice Chairman Wigg said that he too did not feel that the gate was of high importance, but that the fence and pavement issues needed to be resolved. There was some discussion wherein the Board considered allowing the gate to remain, but it was decided that, should the applicant or new homeowner wish to keep the gate, they could return with a separate Certificate of Appropriateness rather than trying to rework a resolution around allowing it.

DRHPB Chairman Dirk Schneider opened the podium to public comment. Hearing none, Chairman Schneider motioned to close the public hearing.

The Board, upon reading the resolution, denied the applicant a Certificate of Appropriateness. The resolution was moved by DRHPB Chairman Dirk Schneider, seconded by Board Member Kathleen Cristman, and voted upon by the Board, as follows:



Paul Whitbeck voted	Absent
Jim Vekasy voted	Aye
John Mitchell voted	Aye
Dave Wigg voted	Aye
Bonnie Salem voted	Aye
Kathleen Cristman voted	Aye
Dirk Schneider voted	Aye

The full adopted resolution is attached to the end of these minutes.

## **2024 MEETING SCHEDULE REVIEW**

---

Building Department Assistant Meghan Brooks stated that there is a draft copy of the 2024 meeting schedule in front of each Board member that suggests moving the two meetings from the second and fourth Thursdays of December to the first and third Thursdays, in order to accommodate for the holidays. Following a brief perusal of the document, the Board approved the suggested date changes:

ORIGINAL:		NEW:
<i>Thursday, December 12, 2024</i>	→	<i>Thursday, December 5, 2024</i>
<i>Thursday, December 26, 2024</i>	→	<i>Thursday, December 19, 2024</i>

## **11/09/2023 MEETING MINUTES REVIEW**

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The minutes of November 9, 2023, were approved following a motion by DRHPB Member Bonnie Salem. This motion was seconded by DRHPB Chairman Dirk Schneider. Following a unanimous voice vote, the minutes were approved, none opposed.

## **OTHER DISCUSSION**

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Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 9:33PM.

Respectfully submitted,



Meghan Brooks  
*Building Department Assistant*

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING  
DEPARTMENT



**RESOLUTION**  
**Town of Pittsford**  
**Design Review & Historic Preservation Board**  
**Certificate of Appropriateness**

**Re: 810 Allens Creek Road**  
**Tax Parcel # 138.13-1-40**  
**Zoned: RN - Residential Neighborhood**  
**Applicant: Stahl Property Associates**  
**C of A # 04-2021**

WHEREAS, the above property was previously designated as a Historic Landmark on January 18, 1996; and

WHEREAS, the applicant herein, Stahl Property Associates as owners of the above property, submitted an application for a Certificate of Appropriateness, relative to the proposed work set forth in the application, revised August 31, 2021 and in accordance with the provisions of Town Code Section 185-198 (A); and

WHEREAS, hearings were held on June 10, 2021, July 22, 2021, August 26, 2021 and September 9, 2021 for the purpose of allowing the presentation of testimony and/or evidence by the owner or any other interested party, in accordance with Town Code Section 185-198(C); and

WHEREAS, this matter is a Type II Action, in accordance with the provisions of Section 617.5 (c) (10) of the SEQRA Regulations, requiring no further review by this Commission;

NOW, THEREFORE, upon consideration by the Design Review and Historic Preservation Board of the aforesaid application, and upon the completion of the aforesaid hearing, and the Board having given this matter due deliberation and consideration; it is

RESOLVED, that the Design Review and Historic Preservation Board makes the following findings and decision:

**FINDINGS OF FACT**

1. The within application has been reviewed, by the Board, taking into consideration the factors required by Town Code Section 185-197(C).
2. As to the appropriateness of the general design, scale and character of the proposed work to the property, as well as with surrounding properties, the Board finds the proposed 620 SF two story addition to the rear of the building, an enlarged existing side porch, a port cochere with a wooden fence line to screen the carriage house and a free standing 1,200 SF two story carriage house. The proposed materials are listed to match existing copper, masonry, gutter and associated scupper boxes and down spouts in size, design, color and material. The proposed design is compatible with the existing estate. No surrounding properties will be impacted by this addition.



3. As to the texture, materials and colors proposed to be used and the compatibility of such features to the property, as well as with surrounding properties, the Board finds that the proposed renovation, addition and new structures will match and complement with existing materials and colors in kind. Windows are to be Anderson E Series windows as submitted with Full Divided Light, 7/8" mullion and exterior color to be white. Gutter, scupper boxes and downspouts will be in kind will have no adverse affect to the historic estate.
4. As to the visual compatibility of the proposed work with the property, as well as with surrounding properties, the Board finds that attention to the existing building and detailing to be appropriate matching the style and age of the house. Materials and colors that match the existing house also contribute to visual compatibility. The proposed work will be visible but is respectful to the original house.
5. As to the potential impact of the work on important historic, architectural or other features of the property, the Board finds this is a particularly significant historic landmark in its original Georgian Revival architecture. The existing front door will be retained as well as the existing shutters on the first and second floor. The existing rear porch exterior door will be reused at the carriage house door location noted on the garage elevation sheet – south elevation. The board recognizes that the replacement of the existing windows is not desirable, but we acknowledge that the replacement sashes chosen are sufficient and will improve the exterior appearance because of the removal of existing exterior aluminum storms.

### DECISION

1. Based upon the above Findings of Fact, the Board hereby concludes that the work proposed by the applicant is compatible with the historic character of the structure and, as such is appropriate. Accordingly, the Design Review and Historic Preservation Board hereby grants to the applicant a Certificate of Appropriateness.
2. The granting of the Certificate of Appropriateness is made subject to the following specific conditions:
  - a. New wooden fence to be painted white.
  - b. All new shutters are to match existing in kind.
  - c. Change all "match existing" to "in kind".
  - d. Soft light at the cupola in the carriage.
  - e. New railing system on second floor of the addition will be of AZEK composite material and the decking will be mahogany.
  - f. All work is to be completed by September 8, 2023.



The within Resolution was moved by Board member Dirk Schneider, seconded by Board member John Mitchell, and was voted upon by members of the Board as follows:

Bonnie Salem	Aye
Paul Whitbeck	Nay
Kathleen Cristman	Aye
John Mitchell	Aye
Leticia Fornataro	Absent
David Wigg	Aye
Dirk Schneider	Aye

Adopted by the Design Review & Historic Preservation Board on September 9, 2021.

---

Susan K. Donnelly  
Secretary to the Design Review & Historic Preservation Board



**TOWN OF PITTSFORD  
DESIGN REVIEW & HISTORIC PRESERVATION BOARD  
CERTIFICATE OF APPROPRIATENESS  
RESOLUTION**

TOWN CLERK  
TOWN OF  
PITTSFORD, NY

2023 DEC 18 P 3:32

**RE: 810 Allens Creek Road**

**Tax Parcel: 138.13-1-40**

**Applicant: Stahl Property Associates**

**Zoned: Residential Neighborhood (RN)**

**File: CA23-000006**

WHEREAS, the above property was previously designated as an Historic Landmark on January 18, 1996; and

WHEREAS, the applicant herein, Stahl Property Associates, as owner of the above described property, has heretofore submitted an application for a Certificate of Appropriateness to perform certain work on the property, including the construction of a 620 square foot, two-story addition to the rear of the building, an enlarged existing side porch, a porte-cochere with a wooden fence line to screen the proposed carriage house, and a free-standing, 1,200 square foot, two-story carriage house, in accordance with plans submitted on or about September 9, 2021, for which approval was granted by Board resolution adopted on September 9, 2021; and

WHEREAS, the applicant has completed certain work on the property, but has not secured a Certificate of Compliance from the Town because certain aspects of the work performed are not in compliance with the approved September 9, 2021 plans; namely, 1) the wooden gate and brick posts on the southwest side of the property are not authorized by the 2021 Board resolution, 2) the wooden fence on the northeast side of the property does not extend to the porte-cochere to screen the carriage house, is aligned at the end of the porte-cochere instead of in the middle of it, is painted black instead of white, and is of a different style, and 3) the asphalt driveway extends over an area of the northeast yard meant to remain grass and omits a curve in the front yard toward the porte-cochere meant to be paved; and

WHEREAS, the applicant, seeking to rectify this noncompliance, has submitted another application, dated November 3, 2023, for another Certificate of Appropriateness, asking the Board to approve the work already performed on the gate, the fence, and the driveway, to be in compliance with the provisions of Town Code Section 185-198(A); and

WHEREAS, a hearing was held on December 14, 2023, for the purpose of allowing the presentation of testimony and/or evidence by the owner or any other interested party, in accordance with Town Code Section 185-198(C); and

WHEREAS, this matter is a Type II Action, in accordance with the provisions of Section 6 NYCRR Section 617.5(c)(2), (11), (12), and (38), of the SEQRA Regulations, requiring no further review by this Commission;

NOW, THEREFORE, upon consideration by the Design Review and Historic Preservation Board of the aforesaid application, and upon the completion of the aforesaid hearing, and the Board having given this matter due deliberation and consideration; it is



RESOLVED, that the Design Review and Historic Preservation Board makes the following findings and decision:

### FINDINGS OF FACT

The within application has been reviewed by the Board, taking into consideration the factors required by Town Code Section 185-197(C).

***As to the appropriateness of the general design, scale, and character of the proposed work to the property, as well as with surrounding properties, the Board finds that:***

The wooden gate and brick posts on the southwest side of the property were not part of the application for the original Certificate of Appropriateness. They are unnecessary alterations to the property that are not appropriate to the general design and character of the house.

The proposed changes to the length and color of the fence on the northeast side of the property will have a negative impact on the character of the historic property. The section of fencing was proposed in the original Certificate of Appropriateness application, approved September 9, 2021, to screen the new carriage house from the street. The relocation and reduction of the fence removes screening crucial to decreasing the visibility of the new carriage house addition and introduces additional asphalt to the property. These changes are a detriment to the character of the historic property and, as such, are not appropriate to the character of the home.

The omission of the driveway curve in the front yard toward the porte-cochere does not have a negative impact on the character of the historic property and is acceptable to the Board.

***As to the texture, materials, and colors proposed to be used and the compatibility of such features to the property, as well as with surrounding properties, the Board finds that:***

The black color used to paint the wooden fence is not appropriate to the historic character of the home and is incompatible with the white-painted trim and design features utilized in the rest of the design. The wood material of the fence remains consistent with the Certificate of Appropriateness granted September 9, 2021, but the current application does not meet the original fence style and the condition that the wood fence was to be painted white.

***As to the visual compatibility of the proposed work with the property, as well as with surrounding properties, the Board finds that:***

The gate, truncated fence, and widened driveway work by the applicant is not visually compatible with the historic nature of the property, with the exception of the omission of the extra asphalt curve in the front yard that would have connected the straight drive to the circular drive in the original Certificate of Appropriateness (2021). The original Certificate of Appropriateness was reviewed with consideration to the existing historic home with the proposed addition, the porte-cochere, the carriage house, the screening fence, and the driveway. Approval was granted based on the whole project and its compatibility with the historic home. The partial removal of the screening fence, which is an important piece of the



whole, is detrimental to the overall appearance and visual compatibility of the approved additions and changes.

***As to the potential impact of the work on important historic, architectural, or other features of the property, the Board finds that:***

The proposal to reduce the length of the screening fence and increase the amount of asphalt will have a negative impact on the historic property by increasing the visibility of the new carriage house and detracting from the original landscaping of the property. The original Certificate of Appropriateness (2021) was granted following careful review and consideration of the impact that the scope and scale of work would have on the historic property. The Board finds that the amendments made to the original plan and put forth in this application will have a negative impact on both the historic and architectural features of the property.

### DECISION

Based upon the above Findings of Fact, the Board hereby concludes that the following work completed by the applicant is not compatible with the historic character of the structure and, as such, is not appropriate:

1. The reduction in length of the northeastern fence and its location to the porte-cochere.
2. The increase in asphalt to widen the driveway beside the porte-cochere.
3. The addition of a wood gate and brick posts on the southwestern side of the property.
4. The use of black paint on the fence.
5. The style of the fence.

Based upon the above Findings of Fact, the Board hereby concludes that the following work completed by the applicant is compatible with the historic character of the structure and, as such, is appropriate:

1. The omission of the extra asphalt connecting the straight drive to the circle drive, which was approved in the original Certificate of Appropriateness application (2021).

Accordingly, the Design Review and Historic Preservation Board hereby denies to the applicant a Certificate of Appropriateness.

The within Resolution was moved by Design Review & Historic Preservation Board Chairman Dirk Schneider, seconded by Board Member Kathleen Cristman, and voted upon by the Board, as follows:

Paul Whitbeck voted	Absent
Jim Vekasy voted	Aye
John Mitchell voted	Aye
Dave Wigg voted	Aye
Bonnie Salem voted	Aye
Kathleen Cristman voted	Aye
Dirk Schneider voted	Aye

The Design Review & Historic Preservation Board adopted the above resolution on December 14, 2023.



Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Meghan Brooks', with a long horizontal flourish extending to the right.

Meghan Brooks  
Building Department Assistant  
Secretary to the Design Review & Historic Preservation Board



May 1, 2024

Town of Pittsford  
Attn: Planning Board  
11 South Main Street  
Pittsford, NY 14534

**Re: Pittsford Oaks – Tobey Planned Unit Development (PUD)  
Preliminary Site Plan Application**

Dear Planning Board Members:

On behalf of our client – 2851 Clover, LLC, the owner of the former Barn Bazaar property – we are submitting a Preliminary Site Plan Application for the Pittsford Oaks apartments to be considered by the Planning Board at their June 10, 2024 meeting. This application is submitted in conjunction with the application to the Town Board to modify the existing Tobey Planned Unit Development (PUD).

The Pittsford Oaks apartment project is within the Tobey Planned Unit Development (Tobey PUD), which includes the properties at the Clover Street and Jefferson Road intersection.

The proposed development area contains 7.008 +/- acres; Parcel 8 (B) (5.333 +/- acres) and Parcel 12 (b) (1.157 +/- acres); and parking previously approved on the south side of Tobey Village Road, east of Kittredge Drive (0.518 +/- acres).

The proposed residential development anticipates no more than 175 market rate apartment units, incorporating high quality finishes and materials aka, stainless steel appliances, high quality flooring, tile, fixtures, balconies, counters, etc. The development offers a minimum of 1.75 parking spaces per unit with a considerable amount of the parking enclosed underneath the building, which not only provides enhanced security and protection for the residents and their vehicles, but also minimizes external surface parking with the net effect of maximizing green space on the site. The development site will maintain landscaping similar to that previously approved, and will be framed by the existing and enhanced landscaping providing an attractive viewshed from the Clover Street and Jefferson Road intersection.

Pittsford Oaks is designed to be environmentally sensitive. It only uses a minimal amount of undeveloped land. The distinctive "H" shape creates uniquely different spaces, which include two courtyard areas (in the north and the south). Parking will be ample but limited to what is needed, thus resulting in decreased pavement and reduced impervious area. Common open space is to be owned and maintained by the development in accordance with traditional standards.



**Town of Pittsford Planning Board**  
**Pittsford Oaks Site Plan Application**  
**May 1, 2024**  
**Page 2**

In support of our application please find the following:

- (15) Letters of Intent
- (15) Site Plan Applications, Authorization to make Application and Disclosure Form E
- (15) Building Elevations
- (15) Site Plans & Surveys
- (15) EAF's
- (3) SWPPP Reports
- (3) Engineers Reports
- (1) Check for \$1,400.00

Please contact me at 585-325-1000 or [dc Cox@passero.com](mailto:dc Cox@passero.com), if you have any questions.

Sincerely,

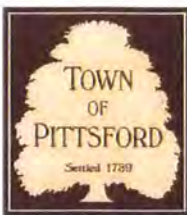


David Cox, PE  
Vice President | Civil Dept. Manager

DC:paf

Cc: File





# TOWN OF PITTSFORD

## SITE PLAN

### APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: Pittsford Oaks

LOCATION: 2851 Clover Street

TAX ACCOUNT NO: 163.02-1-24.111, 163.02-1-23.1, 163.02-1-36

OWNER: 2851 Clover, LLC APPLICANT: 2851 Clover, LLC

ADDRESS: 2851 Monroe Avenue ADDRESS: 2851 Monroe Avenue

CITY, ST ZIP: Rochester, NY 14618 CITY, ST ZIP: Rochester, NY 14618

PHONE: (585) 271-1111 PHONE: (585) 271-1111

FAX: \_\_\_\_\_ FAX: \_\_\_\_\_

E-MAIL: djd@danielefamilly.com E-MAIL: djd@danielefamilly.com

AGENT: Passero Associates / Andrew Burns, P.E.

ADDRESS: 242 W. Main St. Suite 100

CITY, ST ZIP: Rochester, NY 14614

PHONE: (585) 325-1000 FAX: \_\_\_\_\_

E-MAIL: aburns@passero.com

BRIEF DESCRIPTION OF PROJECT: \_\_\_\_\_

Redevelop the existing Barn Bazaar site and construct up to 175 units of market rate apartments

REQUEST FOR: ☐ Concept Subdivision  
(Please ☐ Preliminary Subdivision  
check all ☐ Final Subdivision  
applicable)

☐ Special Permit  
☒ Preliminary Site Plan  
☐ Final Site Plan

HEARING DATE REQUESTED: 06/10/2024

Square Footage of Building: 285,379 GSF Inc. Underground Parking

Total Acreage of Disturbance: 5.76

ZONING CLASSIFICATION: PUD SIZE OF PARCEL: 7.0

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? ☒ NO ☐ YES (Please specify)

If this parcel is within 500' of a municipal boundary, please specify: \_\_\_\_\_  
(Municipality)



# Disclosure Form E

STATE OF NEW YORK  
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Pittsford Oaks

(Project Name)

The undersigned, being the applicant(s) to the...

☐ Town Board    ☐ Zoning Board of Appeals    ☒ Planning Board    ☐ Design Review Board

...of the Town of Pittsford, for a...

☐ change of zoning    ☐ special permit    ☒ building permit    ☒ permit    ☐ amendment  
☐ variance    ☐ approval of a plat    ☐ exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

None



Signature of Applicant

2851 Monroe Avenue

Street Address

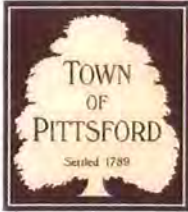
Rochester, NY

City/Town, State, Zip Code

4/29/2024

Dated





# TOWN OF PITTSFORD

## LISTING OF ABUTTERS

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

The undersigned, being an Applicant for approval of...

☒ **site plan**

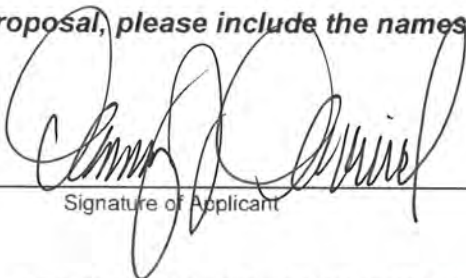
☐ **special permit**

☐ **subdivision**

...for property at: 2851 Clover Street

Tax Parcel # 163.02-1-24.111, 163.02-1-23.1, 163.02-1-36 submits the following list of names and addresses of all owners of properties which either directly abut or are located across the street from the property lines of the subject property.

*If there are other properties in close proximity which might be effected by this proposal, please include the names and addresses of those properties as well.*

  
\_\_\_\_\_  
Signature of Applicant

4/29/2024  
\_\_\_\_\_  
Date

LIST OF PROPERTIES ABUTTING OR ACROSS THE STREET FROM SUBJECT PROPERTY



Properties Adjacent to or directly across the street from 1 Sinclair Ave, Pittsford NY 14534

Ryan Homes	60 Office Park Way	Pittsford	NY	14534
CL Holdings LLC	60 Office Park Way	Pittsford	NY	14534
University of Rochester	100 Office Park Way	Pittsford	NY	14534
2851 Clover, LLC	2851 Clover St	Pittsford	NY	14534
Property Owner	11 Sandy Lane	Pittsford	NY	14534
Property Owner	22 Stoney Clover Lane	Pittsford	NY	14534
Property Owner	20 Stoney Clover Lane	Pittsford	NY	14534
Property Owner	18 Stoney Clover Lane	Pittsford	NY	14534
Property Owner	14 Stoney Clover Lane	Pittsford	NY	14534
Property Owner	2973 Clover St	Pittsford	NY	14534
Property Owner	2945 Clover St	Pittsford	NY	14534
Property Owner	2941 Clover St	Pittsford	NY	14534
Property Owner	2933 Clover St	Pittsford	NY	14534
Property Owner	2919 Clover St	Pittsford	NY	14534
Clover Estates Homeowners Assc	111 Marsh Rd	Pittsford	NY	14534
Town of Pittsford	11 S Main St	Pittsford	NY	14534



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:



## B. Government Approvals

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No  <i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No		

## C. Planning and Zoning

### C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☐ No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

### C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☐ No

If Yes, identify the plan(s):

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c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☐ No

If Yes, identify the plan(s):

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### C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☐ Yes ☐ No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit? ☐ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☐ No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

### C.4. Existing community services.

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?

\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?

\_\_\_\_\_

d. What parks serve the project site?

\_\_\_\_\_

\_\_\_\_\_

### D. Project Details

#### D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres

b. Total acreage to be physically disturbed? \_\_\_\_\_ acres

c. Total acreage (project site and any contiguous properties) owned  
or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

\_\_\_\_\_

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases? ☐ Yes ☐ No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_

- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year

- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



f. Does the project include new residential uses? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes,	
i. Total number of structures _____ ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes,	
i. Purpose of the impoundment: _____ ii. If a water impoundment, the principal source of the water: <span style="float: right;"><input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____</span> iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____ _____	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, describe. _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> ix. Summarize site reclamation goals and plan: _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____	



*ii.* Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

*iii.* Will proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No  
If Yes, describe: \_\_\_\_\_

*iv.* Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

*v.* Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

*c.* Will the proposed action use, or create a new demand for water? ☐ Yes ☐ No  
If Yes:

*i.* Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

*ii.* Will the proposed action obtain water from an existing public water supply? ☐ Yes ☐ No  
If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No
- Do existing lines serve the project site? ☐ Yes ☐ No

*iii.* Will line extension within an existing district be necessary to supply the project? ☐ Yes ☐ No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

*iv.* Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

*v.* If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

*vi.* If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

*d.* Will the proposed action generate liquid wastes? ☐ Yes ☐ No  
If Yes:

*i.* Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

*ii.* Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

\_\_\_\_\_

*iii.* Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☐ No  
If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No



<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Will line extension within an existing district be necessary to serve the project? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____</li> </ul>	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):</p> <p>_____</p> <p>_____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p> <p>_____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (impervious surface)</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>_____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p>_____</p> <p>_____</p> <ul style="list-style-type: none"> <li>• If to surface waters, identify receiving water bodies or wetlands: _____</li> <li>_____</li> <li>_____</li> <li>• Will stormwater runoff flow to adjacent properties? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> </ul>	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)</p> <p>_____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)</p> <p>_____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)</p> <p>_____</p>	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	



<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p style="text-align: right;">See Traffic Study</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend  <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade to, an existing substation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>		



<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n.. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	



s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☐ No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
     • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
     • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☐ No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

## E. Site and Setting of Proposed Action

<b>E.1. Land uses on and surrounding the project site</b>			
a. Existing land uses. i. Check all uses that occur on, adjoining and near the project site. <input type="checkbox"/> Urban <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Rural (non-farm) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ ii. If mix of uses, generally describe: _____ _____			
b. Land uses and coverytypes on the project site.			
Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			



<p>c. Is the project site presently used by members of the community for public recreation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>i. If Yes: explain: _____</p>
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes,</p> <p>i. Identify Facilities: _____</p> <p>_____</p>
<p>e. Does the project site contain an existing dam? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Dimensions of the dam and impoundment:</p> <ul style="list-style-type: none"> <li>• Dam height: _____ feet</li> <li>• Dam length: _____ feet</li> <li>• Surface area: _____ acres</li> <li>• Volume impounded: _____ gallons OR acre-feet</li> </ul> <p>ii. Dam's existing hazard classification: _____</p> <p>iii. Provide date and summarize results of last inspection: _____</p> <p>_____</p>
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Has the facility been formally closed? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <ul style="list-style-type: none"> <li>• If yes, cite sources/documentation: _____</li> </ul> <p>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____</p> <p>_____</p> <p>iii. Describe any development constraints due to the prior solid waste activities: _____</p> <p>_____</p>
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____</p> <p>_____</p>
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><input type="checkbox"/> Yes – Spills Incidents database</p> <p><input type="checkbox"/> Yes – Environmental Site Remediation database</p> <p><input type="checkbox"/> Neither database</p> </div> <div style="width: 45%;"> <p>Provide DEC ID number(s): _____</p> <p>Provide DEC ID number(s): _____</p> </div> </div> <p>ii. If site has been subject of RCRA corrective activities, describe control measures: _____</p> <p>_____</p> <p>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes, provide DEC ID number(s): _____</p> <p>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____</p> <p>_____</p>



v. Is the project site subject to an institutional control limiting property uses? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Explain: _____  _____</li> </ul>	
<b>E.2. Natural Resources On or Near Project Site</b>	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <div>_____</div> <div>_____ %</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <div>_____</div> <div>_____ %</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <div>_____</div> <div>_____ %</div> </div>	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained: _____ % of site </div>	
f. Approximate proportion of proposed action site with slopes: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site </div>	
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, describe: _____ _____	
h. Surface water features. <div style="margin-top: 10px;"> i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> </div> <div style="margin-top: 5px;"> ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> </div> <div style="margin-top: 5px;"> If Yes to either <i>i</i> or <i>ii</i>, continue. If No, skip to E.2.i. </div> <div style="margin-top: 5px;"> iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> </div> <div style="margin-top: 5px;"> iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <div style="margin-top: 5px;"> <ul style="list-style-type: none"> <li>• Streams:      Name _____ Classification _____</li> <li>• Lakes or Ponds:      Name _____ Classification _____</li> <li>• Wetlands:      Name _____ Approximate Size _____</li> <li>• Wetland No. (if regulated by DEC) _____</li> </ul> </div> </div>	



<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>_____</p> <p>_____</p>
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <span style="margin-left: 20px;"><input type="checkbox"/> Biological Community</span> <span style="margin-left: 20px;"><input type="checkbox"/> Geological Feature</span></p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	

#### F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

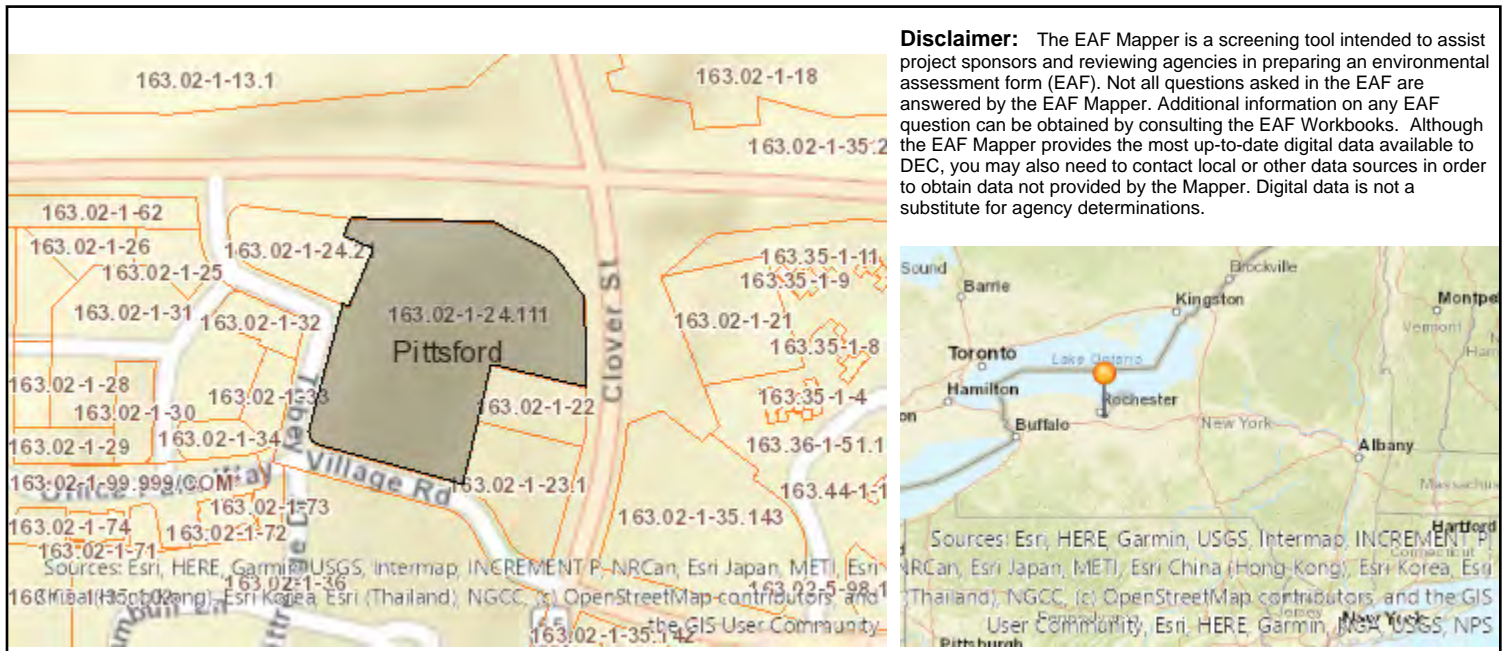
#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature  \_\_\_\_\_ Title \_\_\_\_\_





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer
E.2.n. [Natural Communities]	No



E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:2867 Clover Street <a href="#">No nearby structures listed on National Register</a>
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No





**2 EAST ELEVATION**  
0' 1' 2' 4' 8'  
1/16" = 1'-0"



**1 SOUTH ELEVATION**  
0' 4' 8' 16' 32'  
1/16" = 1'-0"

**FINISH LEGEND**







**2 WEST ELEVATION**

0' 1' 2' 4' 8'

1/16" = 1'-0"

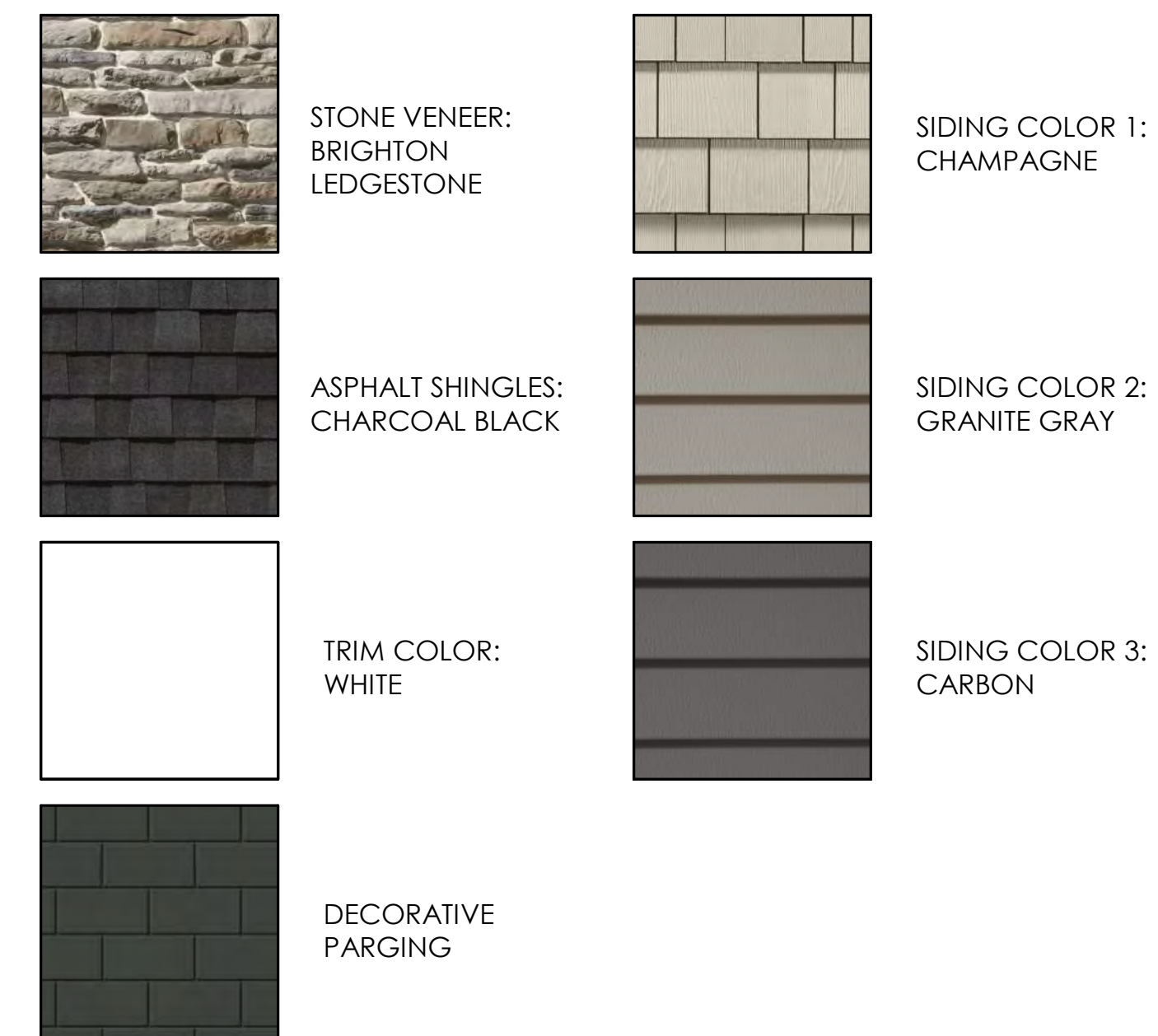


**1 NORTH ELEVATION**

0' 1' 2' 4' 8'

1/16" = 1'-0"

**FINISH LEGEND**







1 COURTYARD EAST ELEVATION

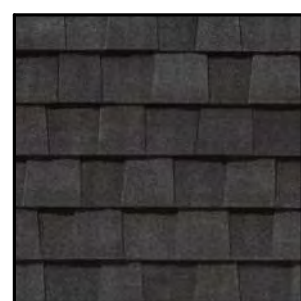


2 COURTYARD WEST ELEVATION

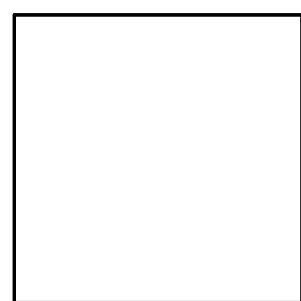
FINISH LEGEND



STONE VENEER:  
BRIGHTON  
LEDGESTONE



ASPHALT SHINGLES:  
CHARCOAL BLACK



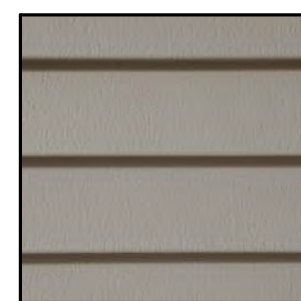
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WHITE



DECORATIVE  
PARGING



SIDING COLOR 1:  
CHAMPAGNE



SIDING COLOR 2:  
GRANITE GRAY



SIDING COLOR 3:  
CARBON

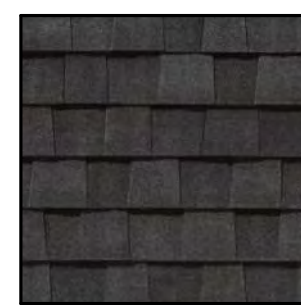




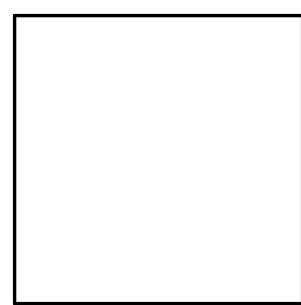
**FINISH LEGEND**



STONE VENEER:  
BRIGHTON  
LEDGESTONE



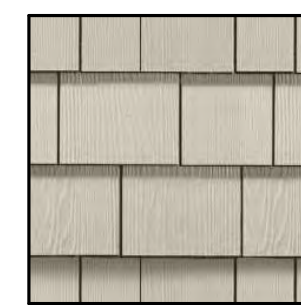
ASPHALT SHINGLES:  
CHARCOAL BLACK



TRIM COLOR:  
WHITE



DECORATIVE  
PARGING



SIDING COLOR 1:  
CHAMPAGNE



SIDING COLOR 2:  
GRANITE GRAY



SIDING COLOR 3:  
CARBON

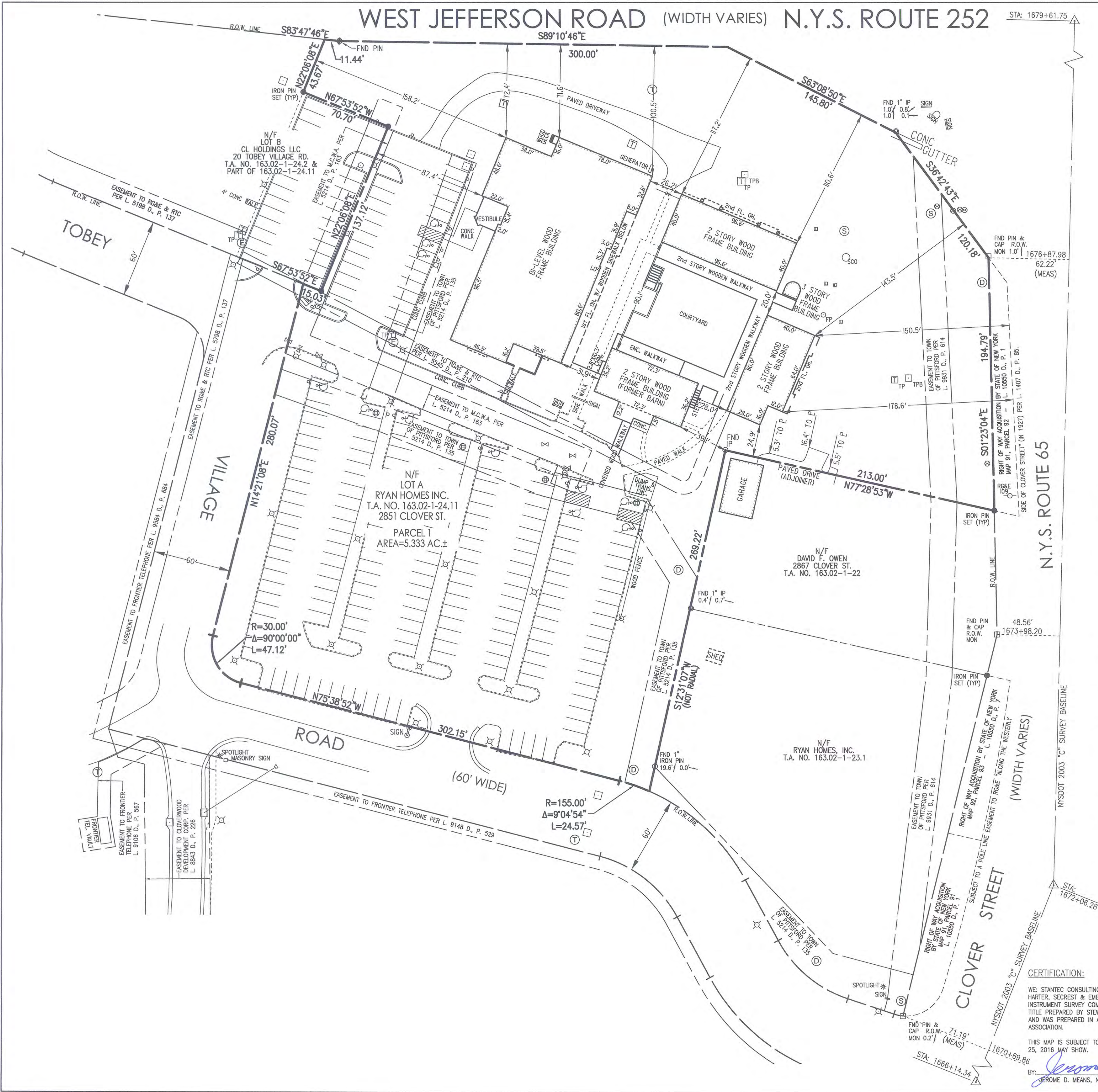












#### SURVEY NOTES:

1. THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE N.Y.S. PLANE COORDINATE SYSTEM OF 1927, WESTERN ZONE, TRANSVERSE MERCATOR PROJECTION.
2. THE REFERENCES LISTED HEREON RELATED TO TOBEY VILLAGE AND THE TOBEY P.U.D. ARE ALL REFERENCED TO AN ASSUMED DATUM.
3. EXCEPTION NOS. 9 THROUGH 18, AND 21 THROUGH 35 LISTED IN "SCHEDULE B" OF CHICAGO TITLE INSURANCE COMPANY "ALTA COMMITMENT FOR TITLE INSURANCE" NO. 1616-50022, WITH AN EFFECTIVE DATE OF OCTOBER 9, 2016, DO NOT AFFECT THE PREMISES MAPPED HEREON.

#### REFERENCES:

1. A MAP ENTITLED "PHASE II, TOBEY VILLAGE OFFICE PARK, INSTRUMENT LOCATION MAP" PREPARED BY SEAR-BROWN, LAST REVISED SEPTEMBER 19, 2003 AND HAVING DRAWING NUMBER 2594A-14.
2. A MAP ENTITLED "TOBEY VILLAGE OFFICE PARK, INSTRUMENT LOCATION" PREPARED BY SEAR-BROWN, LAST REVISED JANUARY 29, 1998 AND HAVING DRAWING NUMBER 1789.14-09.
3. A MAP ENTITLED "TOBEY PUD PARCEL 6, RYAN SUBDIVISION, SUBDIVISION PLAT" PREPARED BY McMAHON LOHUE ASSOCIATES, P.C., AND FILED IN THE MONROE COUNTY CLERK'S OFFICE IN LIBER 348 OF MAPS AT PAGE 77.
4. ACQUISITION MAPS PREPARED BY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION FOR "CLOVER STREET, STATE HIGHWAY NO. 294, PIN 406506" MAP NO. 91 AND MAP NO. 92 FILED IN THE MONROE COUNTY CLERK'S OFFICE IN LIBER 1203 OF APPROPRIATION MAPS, AT PAGE 7 AND 14 RESPECTIVELY.
5. A MAP ENTITLED "CLOVERWOOD SENIOR LIVING FACILITY, FINAL SUBDIVISION PLAN" PREPARED BY SEAR-BROWN, HAVING DRAWING NUMBER 17011 SU-1, AND FILED IN THE MONROE COUNTY CLERK'S OFFICE IN LIBER 317 OF MAPS AT PAGE 45.
6. A MAP ENTITLED "RYAN - CLOVER STREET PROPERTY, TOBEY P.U.D. PARCEL 12, SUBDIVISION MAP" PREPARED BY STANTEC, HAVING DRAWING NUMBER 194000341 V-1, AND FILED IN THE MONROE COUNTY CLERK'S OFFICE IN LIBER 330 OF MAPS AT PAGE 96.
7. A MAP ENTITLED "RYAN-CLOVER STREET PROPERTY, RESUBDIVISION MAP" PREPARED BY STANTEC CONSULTING SERVICES INC. DATED JANUARY 20, 2017, AND HAVING DRAWING NUMBER 192400042 V-2. (NOT YET FILED)

#### CERTIFICATION:

WE, STANTEC CONSULTING SERVICES INC. CERTIFY TO: FRIENDLY SENIOR LIVING; CHICAGO TITLE INSURANCE COMPANY; HARTER, SECREST & EMERY LLP; THAT THIS MAP WAS PREPARED JANUARY 30, 2017 FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON JANUARY 13, 2017, THE REFERENCES LISTED HEREON AND AN ABSTRACT OF TITLE PREPARED BY STEWART TITLE INSURANCE COMPANY, DATED NOVEMBER 25, 2016 AND HAVING ABSTRACT NO. 126285, AND WAS PREPARED IN ACCORDANCE WITH STANDARDS JOINTLY ADOPTED BY GVLISA AND THE MONROE COUNTY BAR ASSOCIATION.

THIS MAP IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN ABSTRACT OF TITLE UPDATED FROM NOVEMBER 25, 2016 MAY SHOW.

By: *Jerome D. Means* DATE: 3-16-2017  
JEROME D. MEANS, N.Y.S.P.L.S. NO. 49992



61 Commercial Street, Suite 100  
Rochester, New York USA 14614  
585.475.1440  
www.stantec.com

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#### Consultants

#### Legend

S89°41'32"W 463.33'	PROPERTY LINE & DATA
---	ADJOINER PROPERTY LINE
---	R.O.W. LINE
---	EASEMENT LINE
---	BUILDING
---	CONCRETE CURB
---	WOOD CURB
---	SIDEWALK OR PATH

#### Notes

2. ADDED #10 TO LIST OF EXCEPTIONS NOT AFFECTING	MJG	TMP	17.02.13
1. ADDED NOTE REGARDING EASEMENTS/EXCEPTIONS	MJG	TMP	17.02.10
Revision	By	Appd.	YY.MM.DD
1. FOR ATTORNEY REVIEW	MJG	JDM	17.01.30
Issued	By	Appd.	YY.MM.DD

File Name: 192800042 V-3.dwg	MJG	JDM	MJG	17.01.30
	Dwn.	Chkd.	Dsgn.	YY.MM.DD

#### Permit-Seal



#### Project/Client

TOBEY VILLAGE OFFICE PARK - BARN BAZAAR

RYAN PROPERTIES INC.  
60 OFFICE PARK WAY  
PITTSFORD, NY 14534

#### Title

INSTRUMENT LOCATION MAP  
2851 CLOVER STREET  
TOWN OF PITTSFORD, MONROE CO., NY

Project No. 192800042	Scale 1"=40'
Drawing No. V-3	Sheet 1 of 1
Revision	Revision 2



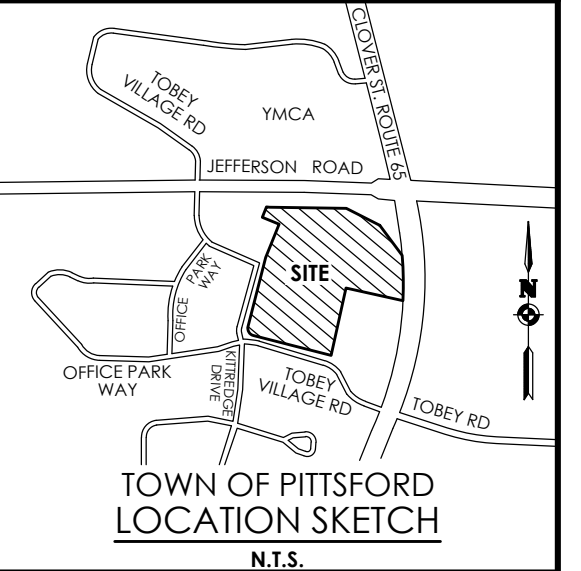
**HORIZONTAL SCALE**

60 0 30 60 120

SCALE: 1"=60'



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PASSERO ASSOCIATES

Revisions			
No.	Date	By	Description
1			

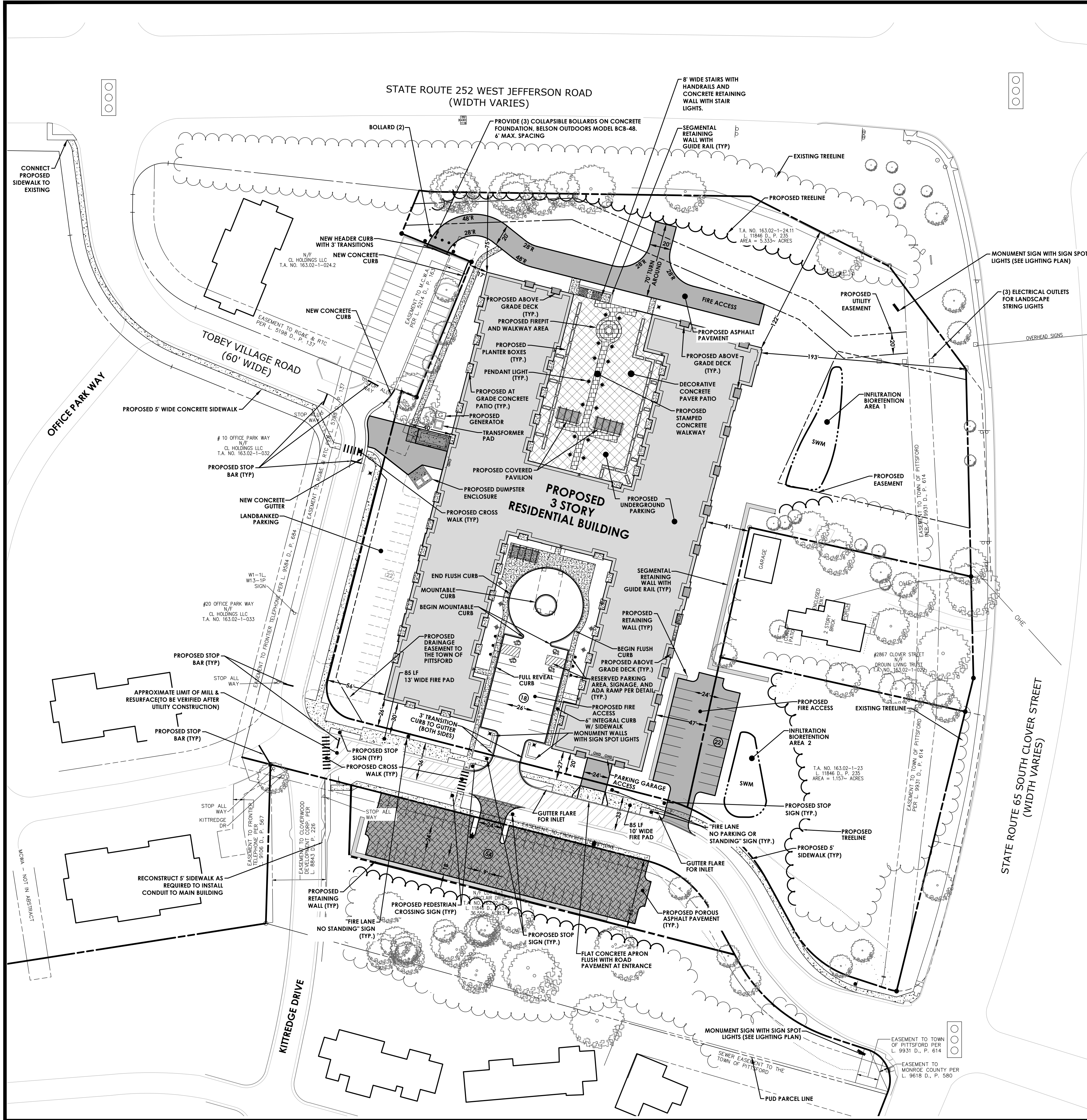
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COVER	
PITTSFORD OAKS	
County: MONROE	Town/City: PITTSFORD State: NEW YORK
Project No. 20233554.0001	
Drawing No. C 101	
Scale: 1" = 60'	
Date MAY 01, 2014	

NOT FOR CONSTRUCTION



\\PA-FILES\RESTORES\PROJECTS-NEW\2023\20233554\0001\01\_CAD-BIM-MODELS\CIVIL\20233554\01\_SITE.DWG 5/17/2024 2:38 PM Short Mills



#### LEGEND - SITE:

	PROPERTY BOUNDARY
	RIGHT OF WAY
	EXISTING CENTER LINE ROAD
	SETBACK
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPOSED ASPHALT PAVEMENT
	PROPOSED POROUS ASPHALT PAVEMENT
	PROPOSED PARKING COUNT
	PROPOSED CONCRETE
	PROPOSED ACCESS RAMP
	PROPOSED PAVEMENT STRIPING
	PROPOSED CURB
	PROPOSED SIGN
	EXISTING SIGN
	PROPOSED LIGHT POLE
	PROPOSED FENCE
	PROPOSED BUILDING MOUNTED LIGHT

#### SITE DATA

4-STORY RESIDENTIAL BUILDING  
WITH SUBTERRANEAN STRUCT. PARKING (LEV. 1)

BUILDING FOOTPRINT - 70,228 SF  
TOTAL BLDG. AREA ABOVE GRADE - 210,684 GSF  
TOTAL BLDG. AREA - 285,379 GSF

#### UNIT COUNT

(16) STUDIOS  
(102) ONE BEDROOMS  
(45) TWO BEDROOMS  
(12) THREE BEDROOMS  
(175) TOTAL UNITS

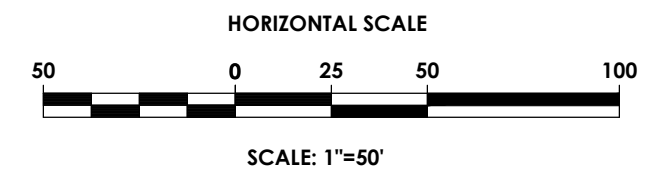
#### SITE DATA

1. TAX ACCOUNT NUMBER:	163.02-1-24.111, 163.02-1-23.1, 163.02-1-36
2. PROJECT ADDRESS:	2851 CLOVER STREET
3. TOTAL PROJECT AREA:	7.00 AC
4. AREA OF DISTURBANCE:	± 5.72 AC
5. EXISTING GREENSPACE:	4.39 AC
6. PROPOSED GREENSPACE:	3.75 AC
7. EXISTING IMPERVIOUS:	2.61 AC
8. PROPOSED IMPERVIOUS:	3.25 AC
9. EXISTING ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
10. PROPOSED ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
11. EXISTING USE:	BARN BAZAAR BUILDING AND INFRASTRUCTURE
12. PROPOSED USE:	RESIDENTIAL BUILDING
13. AREA REQUIREMENTS:	

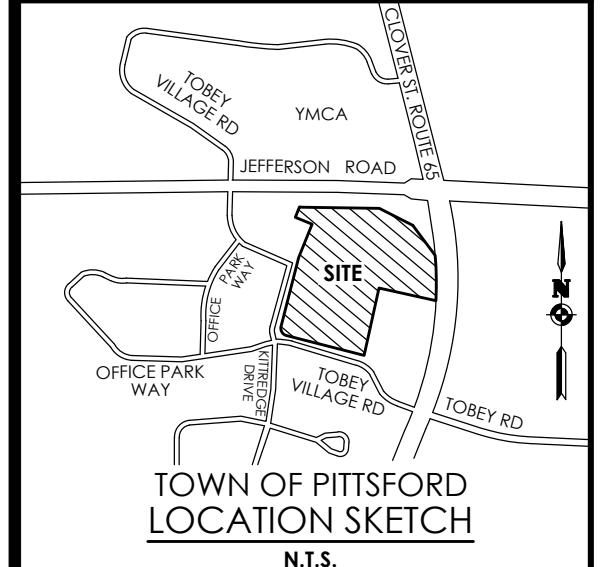
#### PROPOSED ZONING DISTRICT: PLANNED UNIT DEVELOPMENT (PUD)

	REQUIRED	PROPOSED
LOT		
WIDTH	N/A	N/A
DEPTH	N/A	N/A
AREA	N/A	304,920 SF +/-
SETBACK		
TOBEY VILLAGE ROAD ROW	20'	20'
CLOVER STREET ROW	190'	193'
JEFFERSON ROAD ROW	75'	75'
REAR PROPERTY LINE OF 2864 CLOVER ST	40'	41'
BUILDING		
ABOVE FINISHED GRADE AT MAIN ENTRANCE	48'	47'
ABOVE EXTERIOR GRADE	59'	59'
UNIT QTY	N/A	175
PARKING		
STALLS QTY.	1.75 SPACES/UNIT X 175 UNITS = 306 SPACES	116 SURFACE SPACES 198 GARAGE 314 TOTAL (1.79 SPACE/UNIT)
STALL SIZE - PERPENDICULAR	9'	9'
STALL SIZE - PARALLEL	18'	18'
DRIVE AISLE WIDTH	24'	24'
NOTES:		

10. STATE REGULATED WETLANDS (NYSDEC ERM):	NO	YES
	X	
11. FEDERALLY REGULATED WETLANDS (USFWS NWI):	X	
12. FLOOD PLAIN (FEMA NFHL): FIRM PANEL: 36055C0358G DATED: 08/28/2008	X	
13. PUBLIC WATER PROVIDED BY:	MONROE COUNTY WATER AUTHORITY	
14. ELECTRIC SERVICE PROVIDED BY:	ROCHESTER GAS AND ELECTRIC	
15. GAS SERVICE SUPPLIED BY:	ROCHESTER GAS AND ELECTRIC	
16. SANITARY SEWER PROVIDED BY:	TOWN OF PITTSFORD	
17. STORM SEWER & DRAINAGE WILL BE: (MAINTAINED BY THE OWNER)	PRIVATE	



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Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

#### PASSERO ASSOCIATES

242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
Principal-in-Charge: Jess Sudol, P.E.  
Project Manager: David Cox, P.E.  
Designed by: James Ritzenhaler



#### Revisions

No.	Date	By	Description
1			

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#### SITE PLAN

#### PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.  
**C 102**

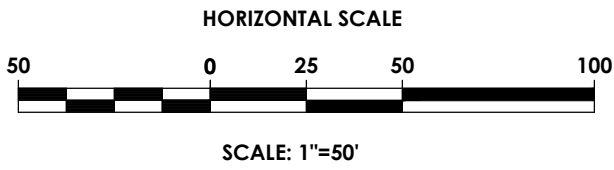
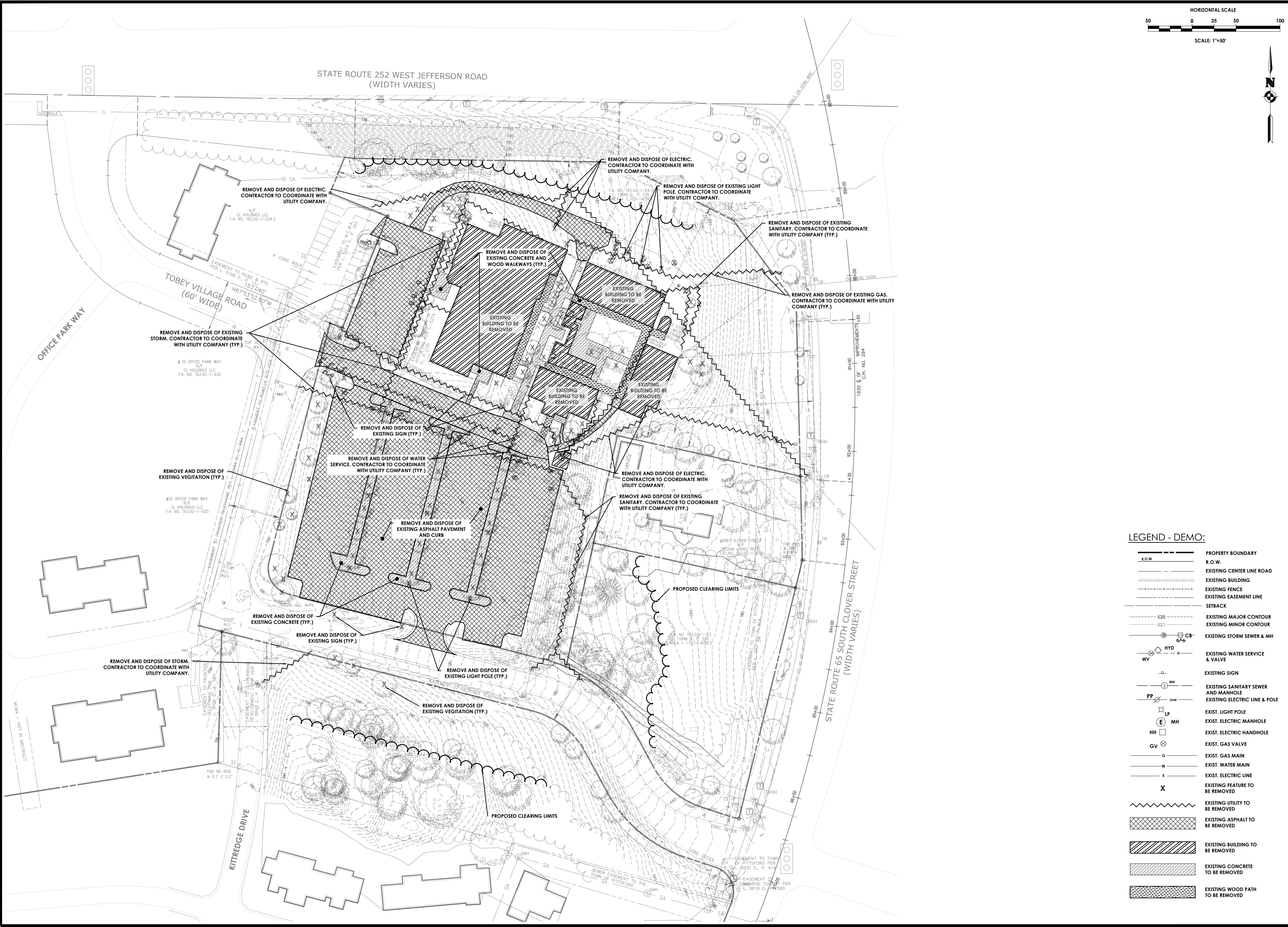
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Date  
**MAY 01, 2024**

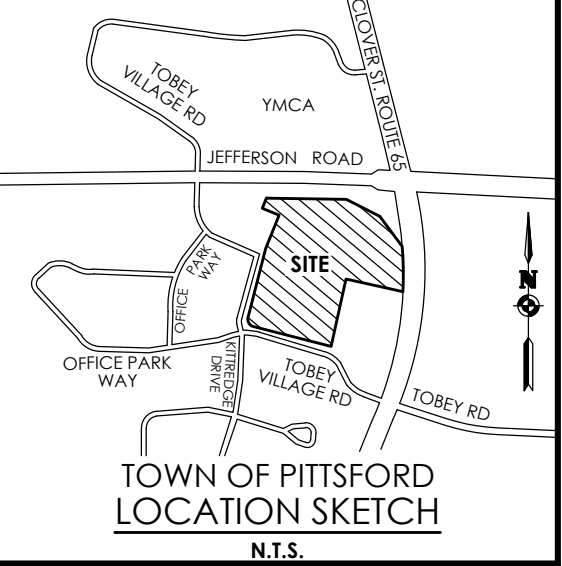
NOT FOR CONSTRUCTION



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Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

**PASSERO ASSOCIATES**  
242 West Main Street Suite 100  
Rochester, New York 14614  
(585) 325-1000  
Fax: (585) 325-1691  
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Designed by: James Ritzenhaler



Revisions			
No.	Date	By	Description
1			

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## EXISTING CONDITIONS & DEMOLITION PLAN

**PITTSFORD OAKS**

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.

**C 103**

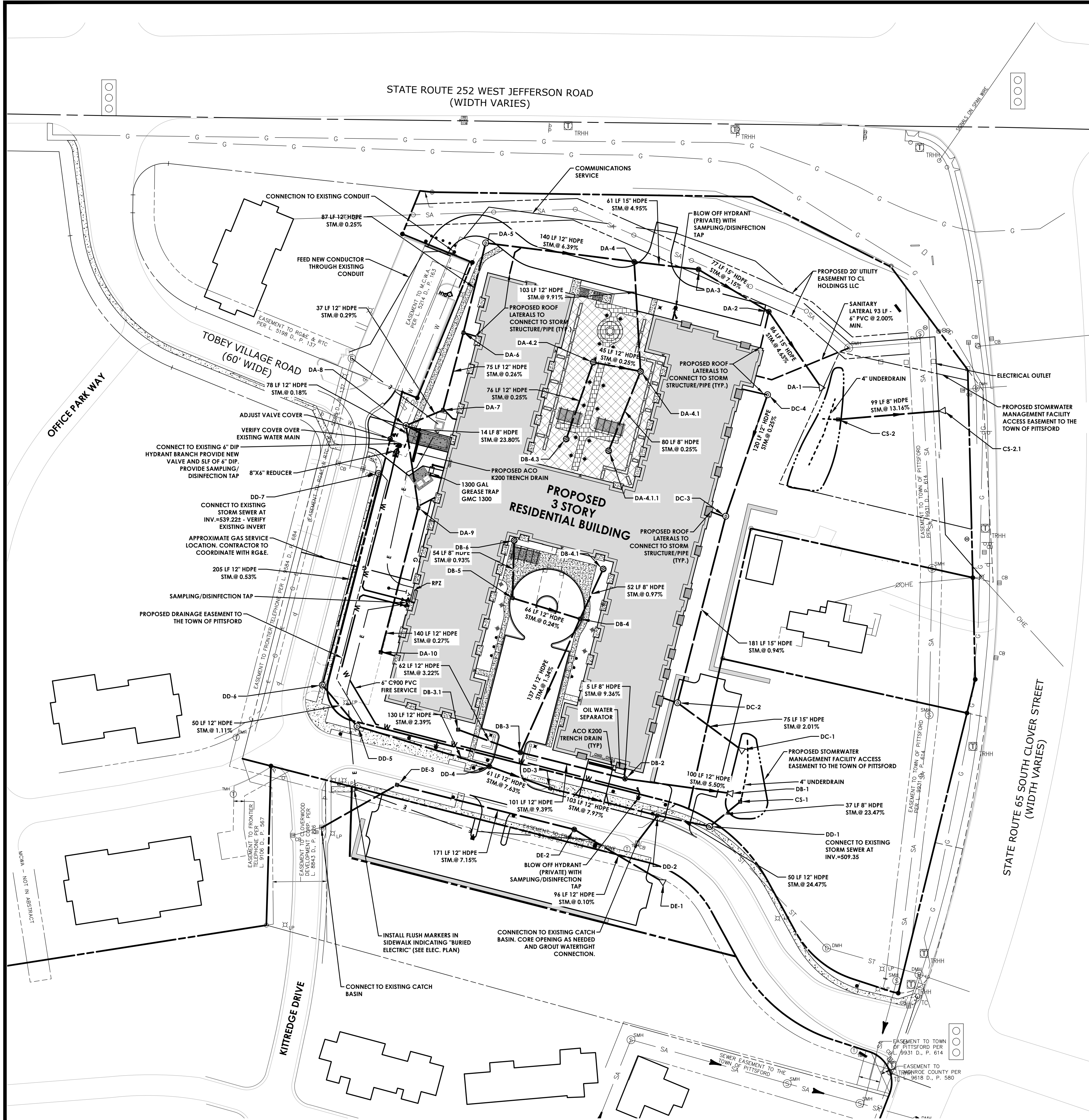
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Date  
**MAY 01, 2024**

NOT FOR CONSTRUCTION



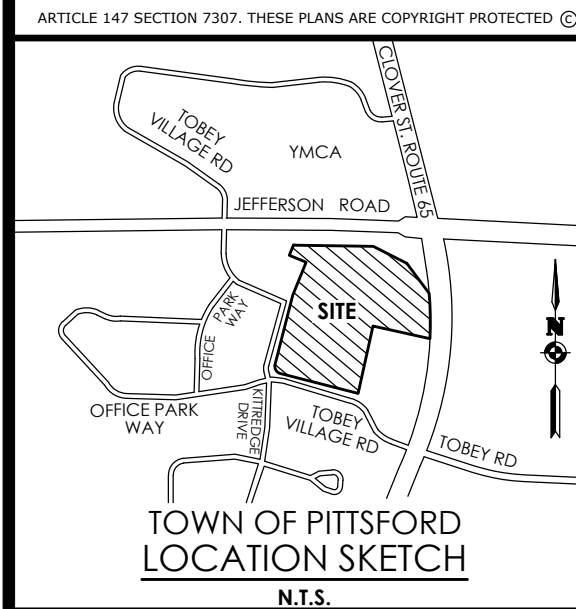
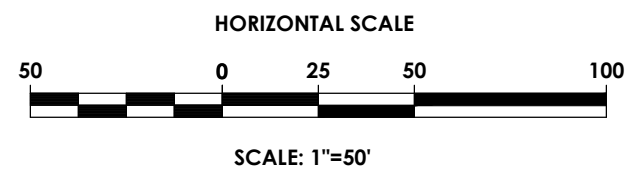
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#### LEGEND - UTILITIES:

	PROPERTY BOUNDARY
	R.O.W.
	EXISTING CENTER LINE ROAD
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED SIGN
	PROPOSED LIGHT
	PROPOSED STORM SEWER, INLET, MH, CB & END SECTION
	EXISTING STORM SEWER & MH
	PROPOSED WATER SERVICE W/ HYDRANT & VALVE
	EXISTING WATER SERVICE & VALVE
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER FORCEMAIN
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC LINE & POLE
	EXIST. LIGHT POLE
	EXIST. ELECTRIC MANHOLE
	EXIST. ELECTRIC HANDHOLE
	EXIST. GAS VALVE
	EXIST. GAS MAIN
	EXIST. WATER MAIN
	EXIST. ELECTRIC LINE
	PROPOSED UNDERGROUND ELECTRIC

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Phone: (585)-271-1111

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Fax: (585) 325-1691  
Principal-in-Charge: Jess Sudol, P.E.  
Project Manager: David Cox, P.E.  
Designed by: James Ritzenhaler



#### Revisions

No.	Date	By	Description
1			

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#### UTILITY PLAN

#### PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No:  
**20233554.0001**

Drawing No.

**C 104**

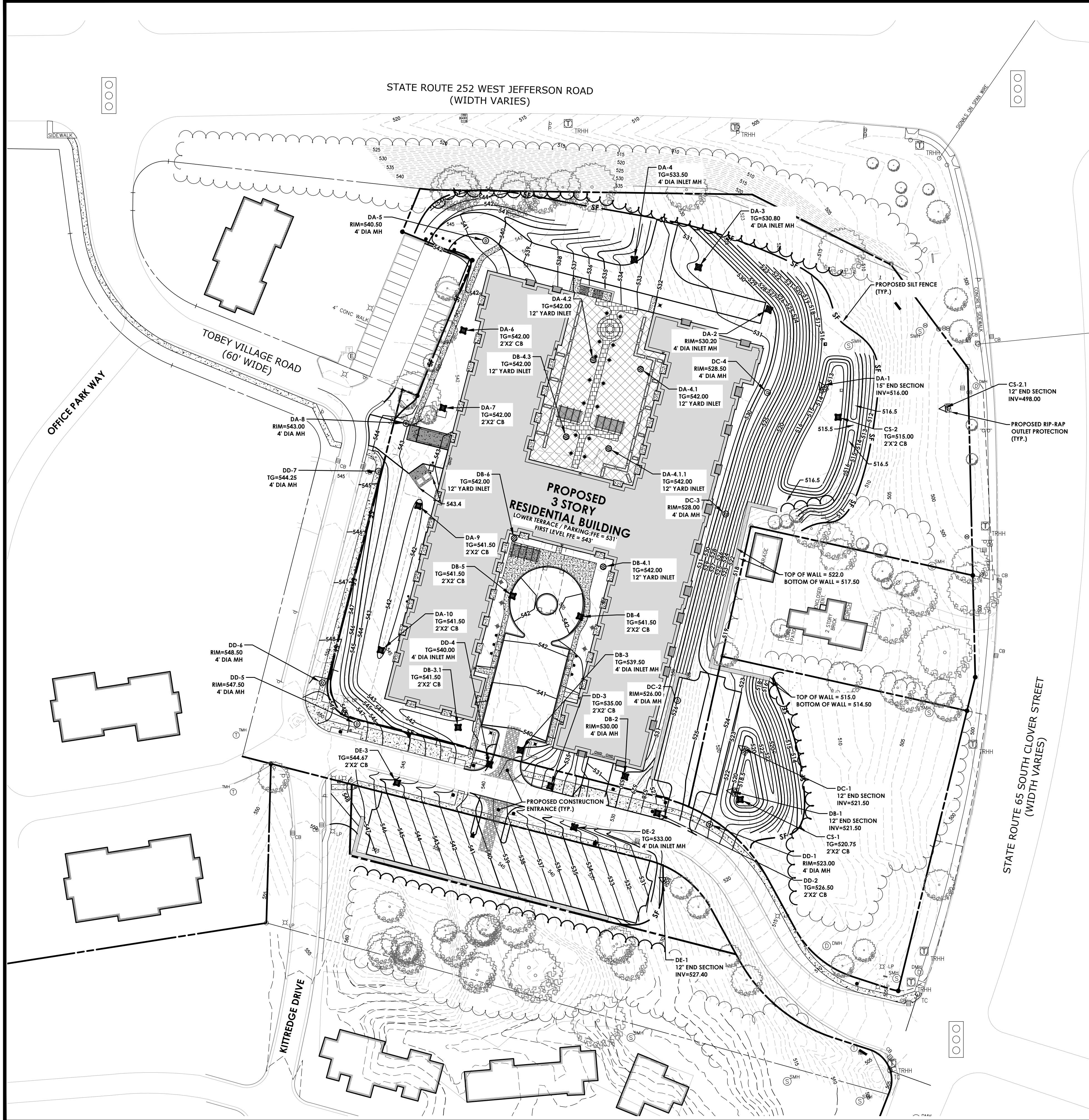
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Date  
**MAY 01, 2024**

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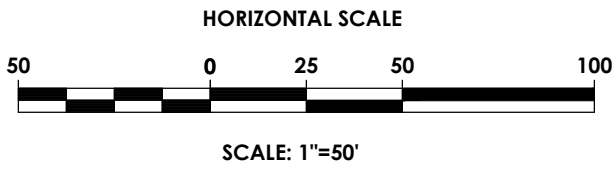


\\PA-FILES\RESTORES\PROJECTS-NEW\2023\20233554\20233554.0001\01\_CAD-BIM-MODELS\CIVIL\20233554.01\_GRADING.DWG 5/1/2024 2:39 PM Short Mills



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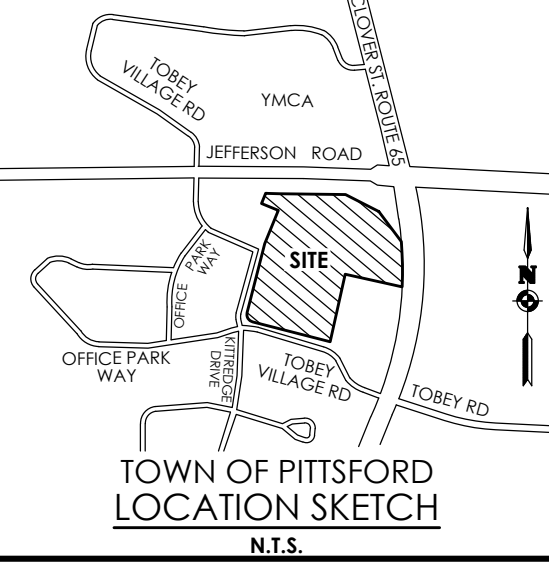
- PROPERTY BOUNDARY
- R.O.W.
- EXISTING CENTER LINE ROAD
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SILT FENCE
- PROPOSED STORM SEWER, INLET MH, CB & END SECTION
- EXISTING STORM SEWER & MH
- PROPOSED WATER SERVICE W/ HYDRANT & VALVE
- EXISTING WATER SERVICE & VALVE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING ELECTRIC LINE & POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRIC MANHOLE
- EXIST. ELECTRIC HANDHOLE
- EXIST. GAS VALVE
- PROPOSED STONE CHECK DAM
- PROPOSED INLET PROTECTION
- PROPOSED TREE/BRUSH LINE
- EXISTING TREE/BRUSH LINE
- SILT FENCE
- TOP OF: CURB (C), WALL (W), STAIRS (S), RAMP (R)
- BOTTOM OF: CURB (C), WALL (W), STAIRS (S), RAMP (R)
- \*BOTTOM ELEVATIONS ARE TO EXPOSED GRADE.
- CONTRACTOR IS RESPONSIBLE FOR FOUNDATION COURSE DESIGN UNDERGROUND AND SUBMIT TO CIVIL ENGINEER.
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION



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GRADING & EROSION CONTROL PLAN

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

Drawing No.  
C 105

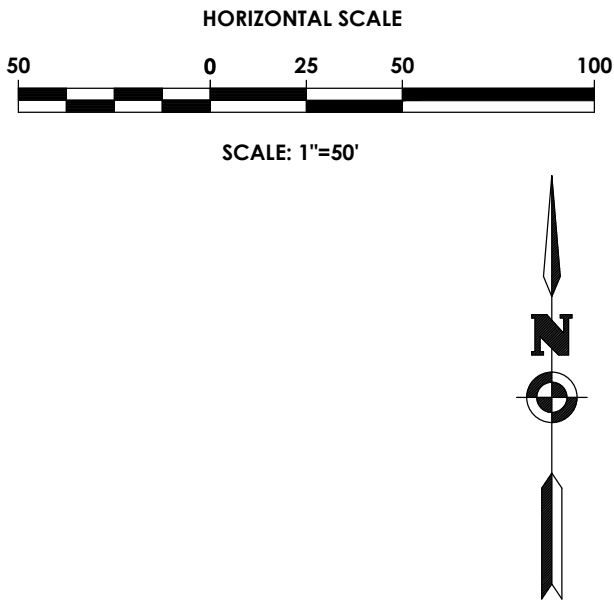
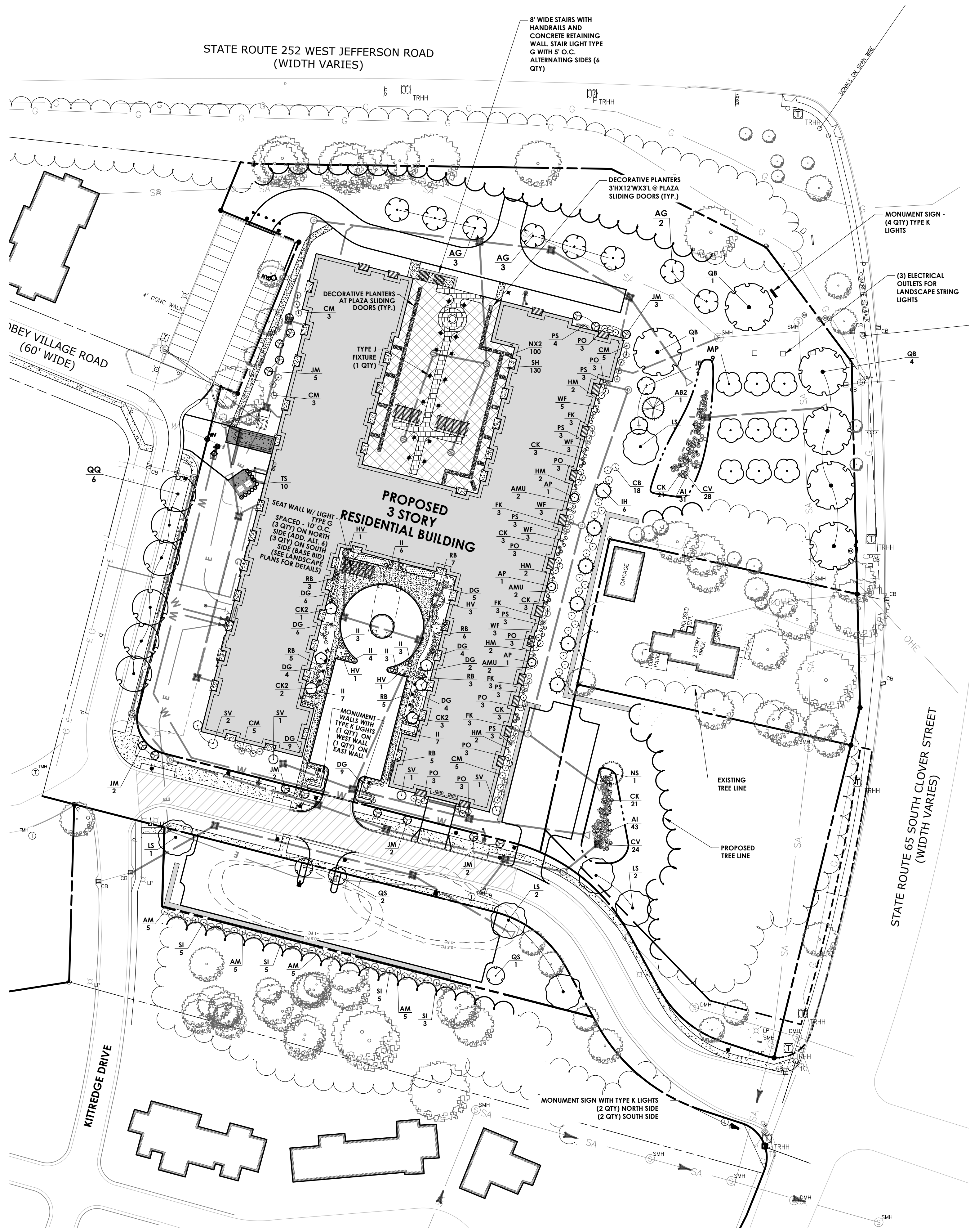
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




















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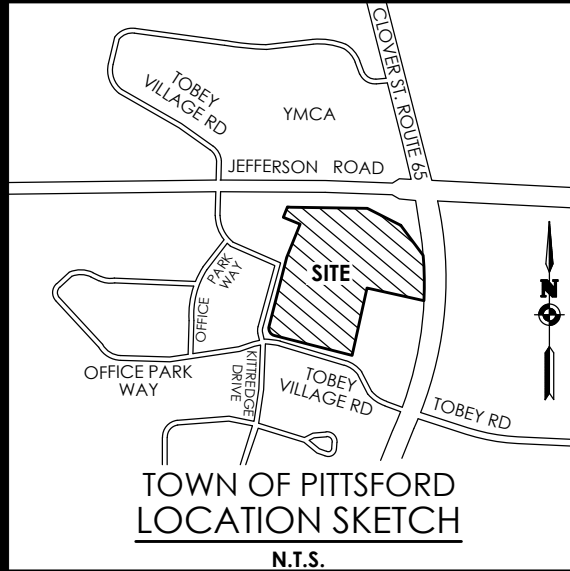
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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE/HEIGHT	ROOT	MATURE HEIGHT	REMARKS
TREES								
	AP	3	ACER PALMATUM DISSECTUM 'MONFRICK'	VELVET VIKING™ JAPANESE MAPLE	2' H.	#5 CONT.	2-3'	FALL PLANTING HAZARD
	AG	8	AMELANCHIER X 'GRANDIFLORA' 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	5-6' H.	B&B	15-25'	MULTI-STEMMED
	CK2	6	CORNUS KOUSA	KOREAN DOGWOOD	2.5-3" CAL.	B&B	15-25'	FALL PLANTING HAZARD
	IH	6	ILEX OPACA 'AIKEN RED'	AIKEN RED AMERICAN HOLLY	7-8' H.	B&B	35'	FALL PLANTING HAZARD
	LS	6	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	2.5-3" CAL.	B&B	60'	FALL PLANTING HAZARD
	JM	16	MAGNOLIA X 'JANE'	JANE MAGNOLIA	4-5' H.	B&B	6-8'	
	MP	9	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	1.5-1.75" CAL.	B&B	15-20'	FALL PLANTING HAZARD
	NS	1	NYSSA SYLVATICA FALL PLANTING HAZARD	TUPELO	2.5-3" CAL.	B&B	35'	FALL PLANTING HAZARD
	QB	6	QUERCUS BICOLOR FALL PLANTING HAZARD	SWAMP WHITE OAK	2.5-3" CAL.	B&B	50-60'	FALL PLANTING HAZARD
	QS	3	QUERCUS ROBUR 'FASTIGIATA'	SKYROCKET® ENGLISH OAK	2.5-3" CAL.	B&B	50-60'	FALL PLANTING HAZARD
	QQ	6	QUERCUS X 'QRSW18'	STREETWISE® RED OAK	2.5-3" CAL.	B&B	30-60'	FALL PLANTING HAZARD
EVERGREEN TREES								
	AB2	1	ABIES BALSAMEA	BALSAM FIR	7-8' H'	B&B	50-75'	
	JE	2	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	7-8' H'	B&B	30-35'	FALL PLANTING HAZARD
	TS	10	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-5' H.	B&B	12-14'	FOR SCREENING
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE HEIGHT	
SHRUBS								
	AM	20	ARONIA MELANOCARPA	BLACK CHOKEBERRY	12-15"	#2 CONT.	3-6'	
	AMU	6	ARONIA MELANOCARPA 'U'CONNAM165'	LOW SCAPE MOUND® BLACK CHOKEBERRY	10-12"	#1 CONT.	18-36"	
	CB	18	CEPHALANTHUS OCCIDENTALIS 'BAILOPTICS'	FIBER OPTICS® BUTTONBUSH	24"-30"	#3 CONT.	5-6'	
	CM	21	CHAMAECYPARIS OBTUSA 'MONYUR'	JADE WAVES™ HINOKI FALSE CYPRESS	2' HT.	#3 CONT.	6-8'	
	FK	15	FORSYTHIA X INTERMEDIA 'KOLGOLD'	MAGICAL® GOLD FORSYTHIA	15-18"	#3 CONT.	3-6'	
	HV	6	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL	30"-36"	B&B	10-20'	
	HM	10	HYDRANGEA MACROPHYLLA 'PIA'	PIA DWARF HYDRANGEA	12-15"	#3 CONT.	18-24"	
	II	33	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	30"-36"	#2 CONT.	3-4'	
	PO	27	PHYSOCARPUS OPULIFOLIUS 'ZLEYEL2'	RASPBERRY LEMONADE™ NINEBARK	2-3'	#3 CONT.	3-6'	
	SI	18	STEPHANANDRA INCISA	CUTLEAF STEPHANANDRA	18-21"	#3 CONT.	3-6'	
	SV	5	SYRINGA VULGARIS 'AGINCOURT BEAUTY'	AGINCOURT BEAUTY COMMON LILAC	3-4'	#5 CONT.	10-12'	
	WF	17	WEIGELA FLORIDA 'VARIEGATA NANA'	VARIEGATED DWARF WEIGELA	15-18"	#2 CONT.	3'	
ORNAMENTAL GRASSES								
	CK	54	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	15-18" H	#2 CONT.	4-6'	
	CV	52	CAREX VULPINOIDEA	FOX SEDGE	12-15" H	#3 CONT.	2-4'	
	DG	49	DESCHAMPSIA CESPITOSA 'GOLDDAU'	GOLD DEW TUFTED HAIR GRASS	12-15" H	#1 CONT.	2'	
	PS	22	PENNISETUM SETACEUM 'RUBRUM'	PURPLE FOUNTAIN GRASS	6-12"	#1 CONT.	18-36"	
	SH	130	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPS EED	12-15" H	#1 CONT.	2-3'	
PERENNIALS								
	AI	74	AMSONIA ILLUSTRIS	OZARK BLUESTAR	12-15" H	#1 CONT.	2-3'	
	NX2	100	NEPETA X 'CAT'S PAJAMAS'	CAT'S PAJAMAS CATMINT	8-12" H	#1 CONT.	12-14"	
	RB	34	RUDBECKIA FULGIDA 'EVOLUTION COLORIFIC'	EVOLUTION COLORIFIC CONEFLOWER	15-18" H	#1 CONT.	3-4'	

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No.	Date	By	Description
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LANDSCAPE &  
LIGHTING PLAN

PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
**20233554.0001**

Drawing No.

**C 106**

Scale:  
**1" = 50'**

Date  
**MAY 01, 2024**

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DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
- WITHIN LIMIT LINES. ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS' CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
- PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
- CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXISTING FEATURES TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
- CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN. DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THE ASPHALT AND CONCRETE SECTION DETAILS INCLUDED IN THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 4 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
- ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
- ALL UTILITIES NOT SLATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL UPON COMPLETION OF DEMOLITION. THIS INCLUDES BYPASS PUMPING, IF NECESSARY.

- EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.

- AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.

- CONTRACTOR RESPONSIBLE FOR OBTAINING ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.

- IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT AND NYSDEC BEFORE CONTINUING THE DEMOLITION PROCESS.

- ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.

- THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.

- ALL SOIL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTORS EXPENSE.

- ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE, (MEETING NYSDOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.

PAYMENT DEMOLITION NOTES

- MILL ASPHALT PER PLAN AND STOCKPILE FOR RE-USE.
- FOR FULL DEPTH PAVEMENT EXCAVATION, THE TOP OF THE EXISTING CURB IS TO REMAIN AND SHALL HAVE A REVEAL OF 4" AT THE COMPLETION OF CONSTRUCTION. EXISTING SUITABLE SUB-BASE ENCOUNTERED DURING EXCAVATION SHALL BE STOCKPILED FOR RE-USE. EXCESS MATERIALS OR UNSUITABLE MATERIAL SHALL BE HAULID OFF-SITE.
- PREPARE AND PLACE A SUB-BASE COURSE COMPOSED OF A BLEND OF THE EXISTING SUB-BASE (FROM STOCKPILE), ASPHALT MILLINGS (FROM STOCKPILE) IF NEEDED, ADDITIONAL STONE AGGREGATE TO OBTAIN THE SPECIFIC DEPTH OF AND THE PLACEMENT OF 1" OF CRUSHED STONE FOR FINE GRADING PURPOSES.
- PAVE ENTIRE PARKING AREA WITH TYPE 77 TOP COURSE ASPHALT.
- UPON COMPLETION, ALL PAVEMENT AREAS SHALL BE SMOOTH, ALL CURBS SHALL HAVE 4" REVEAL, WATER SHALL DRAIN WELL INTO EXISTING CATCH BASINS (NO POUNDING) ALL HANDICAP RAMPS SHALL BE FLUSH WITH NEW PAVEMENT AND SHALL MEET ALL ADA REGULATIONS.

FIELD TILE NOTE

IN THE EVENT FIELD TILE IS ENCOUNTERED, IT SHALL BE REMOVED IN ITS ENTIRETY OR OTHERWISE SECURED AT THE DIRECTION OF THE TOWN ENGINEER. UNDER NO CIRCUMSTANCES SHALL FIELD TILE BE PERMITTED TO EXIST NEAR BUILDING FOUNDATIONS. ALL FOUNDATIONS SHALL BE CONSTRUCTED WITH BOTH INTERIOR AND EXTERIOR FOOTER DRAINS TO MINIMIZE THE IMPACTS ASSOCIATED WITH HIGH GROUND WATER LEVELS.

CONSTRUCTION SEQUENCE FOR GRADING AND EROSION CONTROL:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CONSTRUCT STORMWATER MANAGEMENT AREA AND EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.
- CONSTRUCT DRAINAGE SWALES ALONG WITH LIMIT LINES AS SHOWN.
- CLEAR AND GRUB THE PROJECT IMPROVEMENTS AREAS.
- STRIP TOPSOIL AND STOCKPILE FOR LATER USE.
- GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY GRADES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
- CONSTRUCT SEDIMENTATION BARRIERS AS SHOWN ON THIS PLAN.
- REPLACE TOPSOIL AND FINE GRADE.
- HYDRO-SEED ALL DISTURBED AREAS WITHIN 10 DAYS AFTER FINAL GRADING. CONTRACTOR IS RESPONSIBLE TO RESEED IF GRADING IS UNSATISFACTORY.
- UPON APPROVAL OF THE TOWN, REMOVE ALL TEMPORARY SITUATION CONTROLS.
- SLOPES SHALL NOT EXCEED 1' VERTICAL TO 3' HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
- MINIMUM OF 6" OF TOPSOIL IS TO BE PLACED ON ALL GRASS AREAS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS ABOVE.
- CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITUATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER REVEGETATION HAS BEEN ESTABLISHED.
- ALL END SECTIONS WILL BE PROVIDED WITH RIP-RAP APRONS.
- ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

AT THE VERY MINIMUM, EROSION CONTROL SHALL BE AS SHOWN ON THIS PLAN. EROSION CONTROL MAY CONSIST OF SEDIMENT TRAPS AND/OR ENVIRONMENTAL FENCES. THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INTEGRITY, MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES UNTIL NO LONGER DEEMED NECESSARY BY THE TOWN OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN THE STORM SEWER SYSTEM UNTIL THE PROJECT IS DEVELOPED AND APPROVED BY THE TOWN AND OWNER.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. THE PERMITTEE SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STONE FILL. CORRECTIVE ACTIONS, AS IDENTIFIED BY THE DEVELOPER'S QUALIFIED SWPPP MONITOR OR A TOWN REPRESENTATIVE, SHALL BE INITIATED WITHIN 24 HOURS OF BEING REPORTED. THE TOWN MAY REVIEW THE PROJECT SITE AT ANY TIME. REVIEW OF EROSION CONTROL MEASURES BY THE TOWN DOES NOT RELIEVE THE DEVELOPER OF HIS OBLIGATIONS UNDER THE NYSDEC SPDES GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION ACTIVITY. (GP-0-20-001).

CONSTRUCTION SEQUENCE FOR STEEP SLOPE STABILIZATION / JUTE MESH INSTALLATION FOR SLOPES OF 1:3 OR GREATER:

- STRIP TOPSOIL ON SLOPE.
- GRADE SLOPE PER PLAN. CONTRACTOR SHALL TAKE CARE TO NOT OVER EXCAVATE EMBANKMENT.
- REPLACE TOPSOIL.
- TRACK TOPSOIL WITH A BULLDOZER IN A DIRECTION PERPENDICULAR TO THE PROPOSED CONTOUR LINES.
- IMMEDIATELY SEED AND FERTILIZE TOPSOIL PER PLAN.
- IMMEDIATELY APPLY JUTE MESH BY UNROLLING THE PRODUCT DOWN THE SLOPE. DO NOT STRETCH THE MESH, ALLOWING IT TO FULLY CONTACT THE SOIL.
- SECURE THE JUTE MESH WITH STAPLES (1" GAUGE - 8"x1"x8") 24" APART THOUGH OUT THE MATTING (APPROXIMATELY 200 STAPLES PER 100 SQ. YD). STAPLES SHOULD BE DRIVEN FLUSH WITH THE GROUND.
- SECURE BEGINNING AND END OF ROLL BY ANCHORING THE MATTING INTO 6" DEEP SLOTS CUT INTO THE SOIL. THEN STAPLE MATTING AT CHECK SLOTS.

STABILIZATION STANDARDS AND SPECIFICATIONS :

A TEMPORARY OR PERMANENT PROTECTIVE COVERING PLACED ON A PREPARED, SEEDED PLANTING AREA THAT IS ANCHORED IN PLACE BY STAPLES OR OTHER MEANS TO AID IN CONTROLLING EROSION BY ABSORBING RAIN SPLASH ENERGY AND WITHSTAND OVERLAND FLOW AS WELL AS PROVIDE A MICROCLIMATE TO PROTECT AND PROMOTE SEED ESTABLISHMENT.

CONDITIONS WHERE PRACTICE APPLIES

ANCHORED STABILIZATION MATS ARE REQUIRED FOR SEEDED EARTHEN SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL, IN VEGETATED AREAS WHERE THE VELOCITY OF THE DOWNFLOW EXCEEDS THE ALLOWABLE VELOCITY FOR VEGETATION ALONE (USUALLY GREATER THAN 5 FEET PER SECOND); ON STREAMBANKS AND SHORELINES WHERE MOVING WATER IS LIKELY TO ERODE NEWLY SEEDED OR PLANTED AREAS; AND IN AREAS WHERE WIND PREVENTS STANDARD MULCHING WITH STRAW. THIS STANDARD DOES NOT APPLY TO SLOPES STABILIZED WITH SOD, ROCK RIPRAP OR HARD ARMOR MATERIAL.

DESIGN CRITERIA

SLOPE APPLICATIONS - ANCHORED STABILIZATION MATS FOR USE ON SLOPES ARE PRIMARILY USED AS MULCH BLANKETS WHERE THERE IS A NON-DEGRADABLE, THREE DIMENSIONAL PLASTIC STRUCTURE WHICH CAN BE FILLED WITH SOIL PRIOR TO PLANTING. THIS STRUCTURE PROVIDES A MEDIUM FOR ROOT GROWTH WHERE THE MATTING AND ROOTS BECOME INTERTWINED FORMING A CONTINUOUS ANCHOR FOR THE VEGETATED LINING.

- REQUIRED ON ALL SLOPES STEEPER THAN 3:1
- MATting WILL BE DESIGNED FOR PROPER LONGEVITY NED AND STRENGTH BASED ON INTENDED USE.
- ALL INSTALLATION DETAILS AND DIRECTIONS WILL BE INCLUDED WITH THE SITE EROSION AND SEDIMENT CONTROL PLAN AND WILL FOLLOW MANUFACTURES SPECIFICATIONS.

CHANNEL APPLICATIONS - ANCHORED STABILIZATION MATS, FOR USE IN SUPPORTING VEGETATION IN FLOW CHANNELS, ARE GENERALLY A NON-DEGRADABLE, THREE DIMENSIONAL PLASTIC STRUCTURE WHICH CAN BE FILLED WITH SOIL PRIOR TO PLANTING. THIS STRUCTURE PROVIDES A MEDIUM FOR ROOT GROWTH WHERE THE MATTING AND ROOTS BECOME INTERTWINED FORMING A CONTINUOUS ANCHOR FOR THE VEGETATED LINING.

- CHANNEL STABILIZATION SHALL BE BASED ON THE TRACTIVE FORCE METHOD.
- FOR MAXIMUM DESIGN SHEAR STRESSES LESS THAN 2 POUNDS PER SQUARE FOOT, A TEMPORARY OR BIO-DEGRADABLE MAT MAY BE USED.
- THE DESIGN OF THE FINAL MATTING SHALL BE BASED ON THE MATS ABILITY TO RESIST THE TRACTIVE SHEAR STRESS AT BANK FULL FLOW.
- THE INSTALLATION DETAILS AND PROCEDURES SHALL BE INCLUDED ON THE SITE EROSION AND SEDIMENT CONTROL PLAN AND WILL FOLLOW MANUFACTURERS SPECIFICATIONS.
- STANDARD AND SPECIFICATIONS FOR ANCHORED STABILIZATION MATTING

CONSTRUCTION SPECIFICATIONS

- PREPARE SOIL BEFORE INSTALLING MATTING BY SMOOTHING THE SURFACE, REMOVING DEBRIS AND LARGE STONE, AND APPLYING LIME, FERTILIZER AND SEED. REFER TO MANUFACTURERS INSTALLATION DETAILS.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MAT IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- IN CHANNELS OR SWALES, BEGIN AT THE DOWNSLOPE END, ANCHORING THE MAT AT THE BOTTOM AND TOP ENDS OF THE BLANKET. WHEN ANOTHER ROLL IS NEEDED, THE UPSLOPE ROLL SHOULD OVERLAY THE LOWER LAYER, SINGLE STYLE, SO THAT CHANNEL FLOWS DO NOT FUEL BACK THE MATERIAL.
- ROLL THE MATS DOWN A SLOPE WITH A MINIMUM 4" OVERLAP. ROLL CENTER MAT IN A CHANNEL IN DIRECTION OF WATER FLOW ON BOTTOM OF THE CHANNEL. DO NOT STRETCH BLANKETS. BLANKETS SHALL HAVE GOOD CONTINUOUS CONTACT WITH THE UNDERLYING SOIL THROUGHOUT ITS ENTIRE LENGTH.
- PLACE MATS END OVER END (SHINGLE STYLE) WITH A 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE MATS.
- FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH; BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- MATS ON SIDE SLOPES OF A CHANNEL MUST BE OVERLAPPED 4" OVER THE CENTER MAT AND STAPLED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
- THE TERMINAL END OF THE MATS MUST BE ANCHORED IN A 6"x6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- STAPLING AND ANCHORING OF BLANKET SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS.

MAINTENANCE

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 80% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 2 CALENDAR DAYS

SOIL RESTORATION NOTES:

- TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
- ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE REMOVED OFF SITE.
- APPLY TOPSOIL TO A DEPTH OF 6 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
- VEGETATE AS REQUIRED BY APPROVED PLAN.

TEMPORARY CONSTRUCTION AREA SEEDING NOTES:

- THE AREA MUST BE ROUGH GRADED AND SLOPES PHYSICALLY STABLE.
- SEEDING MUST TAKE PLACE WITHIN 24 HOURS OF DISTURBANCE OR SCARIFICATION OF THE SOIL WILL BE NEEDED PRIOR TO SEEDING.
- TYPICALLY FERTILIZER OR LIME IS NOT USED FOR TEMPORARY SEEDINGS.
- ANY SEEDING METHOD MAY BE USED THAT PROVIDES UNIFORM APPLICATION OF SEED TO THE AREA.
- SEEDING

PLANTING SEASON	SPECIES	RATE IN LBS./ACRE
SPRING, SUMMER, OR EARLY FALL	RYEGRASS (ANNUAL OR PERENNIAL)	30
LATE FALL OR EARLY WINTER	WINTER RYE (CEREAL RYE)	100

\*MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE. WOOD FIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL MAY BE USED IF APPLIED ACCORDING TO SPECIFICATIONS.

COMPACTION NOTES

- THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
- THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

EROSION AND SEDIMENT CONTROL NOTES:

(OCTOBER 2021)

- IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS, AND IF NECESSARY, MODIFY THE PLAN WITH THE CONTRACTOR'S INTENDED SEQUENCE AND TYPES OF OPERATIONS. THE CONTRACTOR'S MODIFIED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, ALONG WITH A PROGRESS SCHEDULE THAT ADDRESSES THIS WORK.
- IN ACCORDANCE WITH SECTIONS 107-12 AND 209-3.01 OF THE NYSDOT STANDARD SPECIFICATIONS, THE CONTRACTOR SHALL DESIGNATE AN "EROSION AND SEDIMENT CONTROL SUPERVISOR" FOR THE PROJECT. THE SUPERVISOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN AND FOR INSPECTING AND MAINTAINING THE CONTROL MEASURES. THE NAME AND QUALIFICATIONS (TRAINING AND EXPERIENCE) OF THIS INDIVIDUAL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO STARTING EARTHWORK.
- THE DESIGNATED "EROSION AND SEDIMENT CONTROL SUPERVISOR" SHALL NOTIFY THE ENGINEER IN ADVANCE OF ANY FIELD CHANGES TO THE EROSION AND SEDIMENT CONTROL MEASURES INDICATED IN THE CONTRACT DOCUMENTS. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO SUBMIT A MODIFIED EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO IMPLEMENTING ANY FIELD CHANGES.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL DEVICES BEFORE ENTERING A WATER BODY OR WETLAND.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE FOR WHICH THEY ARE INTENDED AND SHALL REMAIN IN PLACE UNTIL SOILS ARE PERMANENTLY STABILIZED.
- UNDER NO CONDITION SHALL DISCONTINUED CONSTRUCTION ACTIVITIES IN AREAS WITH SOIL DISTURBANCES BE LEFT FOR A PERIOD OF GREATER THAN 7 DAYS WITHOUT TEMPORARILY STABILIZING THOSE AREAS WITH TEMPORARY SEED AND MULCH. MAINTENANCE OF THOSE AREAS SHALL INCLUDE RESEEDING AND REMULCHING AS NEEDED TO ESTABLISH A SATISFACTORY STAND OF GRASS. THERE SHALL BE NO ADDITIONAL PAYMENT FOR RESEEDING AND REMULCHING.

NO WET OR FRESH CONCRETE, LEACHATE, MATERIAL, OR DEBRIS SHALL BE ALLOWED TO ESCAPE INTO A WATER BODY OR WETLAND, NOR SHALL CONCRETE TRUCKS, MIXERS OR OTHER EQUIPMENT BE ALLOWED TO ENTER A WATER BODY OR WETLAND, ANY MATERIAL OR DEBRIS ACCIDENTALLY DROPPED INTO THE CHANNEL SHALL BE IMMEDIATELY AND COMPLETELY REMOVED/AND DEPOSITED IN AN UPLAND AREA.

- THE CONTRACTOR SHALL COVER TEMPORARY STOCKPILES OF ERODIBLE MATERIAL (SUCH AS TOPSOIL OR EARTH FILL) WITH POLY SHEETING, OR RING THE STOCKPILES WITH SILT FENCE TO CONTROL EROSION. POLY SHEETING SHALL COMPLETELY COVER THE STOCKPILE AND BE SECURELY ANCHORED AT ALL TIMES. ANY POLY SHEETING OR SILT FENCE THAT IS DAMAGED SHALL BE PROMPTLY REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER. RINGED STOCKPILES EXPOSED OR EXPECTED TO BE EXPOSED FOR LONGER THAN 7 CALENDAR DAYS SHALL IMMEDIATELY BE STABILIZED WITH APPROPRIATE MEASURES. THE COST OF COVERING AND RINGING/STABILIZING STOCKPILES SHALL BE INCLUDED IN THE PRICE BID FOR THE CORRESPONDING STOCKPILED MATERIAL.
- DUST CONTROL MEASURES SHALL BE APPLIED AS NEEDED. SWEEP ROADWAYS WHEN THEY BECOME SEDIMENT LOADED. MINIMIZE DISTURBED AREAS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING WATER. WATER SHALL BE SPRAYED AS NEEDED BUT AVOID EXTRA SPRAYING WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

UTILITY CONTRACTOR COORDINATION NOTES:

- PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL UTILITY CONNECTIONS WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR INCLUDING BUT NOT LIMITED TO VERTICAL AND HORIZONTAL LOCATION, PENETRATIONS, AND SIZES. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION OF COORDINATION WITH CONTRACTORS, AND PLANS.
- THE DEVELOPER AND HIS/HER CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRICAL, CABLE, TELEPHONE AND ANY OTHER UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET WITH APPROPRIATE AGENCY. PASSERO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PERFORMANCE OF UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET.
- PRIOR TO THE START OF UTILITY INSTALLATION THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY AND COORDINATE WITH EXISTING UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION TO PROCEED WITH UTILITY INSTALLATION BY THE OWNERS ONSITE REPRESENTATIVE UPON COMPLETION EXISTING UTILITY VERIFICATION.
- THE CONTRACTOR IS REQUIRED TO COORDINATE WITH SITE CONTRACTOR/PLUMBER & SEWER CONTRACTOR TO PREDETERMINE THE NECESSARY WYE & CLEANOUT LOCATION ON THE STORM SEWER SYSTEM. THE STORM SEWER SYSTEM IS RECOMMENDED AND MAY BE MODIFIED TO PROVIDE ADEQUATE ROOF DRAINAGE CONNECTIONS.
- THRUST BLOCKS ON THE WATERMAIN ARE REQUIRED AT BENDS, TEES OR PLUGS. SEE DETAIL SHEETS FOR THRUST BLOCK DETAILS.

STORM NOTES

- STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY
- PROPOSED STORM SEWER LATERAL MATERIAL:  
PVC SDR-35 6" MIN. SIZE & SHALL BE LAID AT A MINIMUM GRADE OF 1/4" PER FT.  
STORM SEWER MATERIAL:  
ADS HDPE 12" MIN.
- FOUNDATION DRAINS SHALL BE CONNECTED TO STORM WATER SYSTEM VIA SUMP PUMPS. DOWNSPOUTS SHALL BE CONNECTED TO STORM SEWER WHERE APPLICABLE, WHERE NOTED ON THE PLANS DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS.
- UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED OR MANDELL TESTED TO THE SATISFACTION OF THE MUNICIPALITY.

SANITARY NOTES

- SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE STATE, COUNTY AND LOCAL MUNICIPALITY
- MATERIALS  
- MAINS - PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-35. PIPING AND FITTINGS SHALL MEET:  
ASTM D-3034 (4" THRU 15")  
ASTM F-679 (18" THRU 48")  
- LATERALS - 4" MIN. INSTALLED AT 2" PER FOOT MIN. PIPING SHALL BE POLYVINYL CHLORIDE (PVC) WITH ENDS SUITABLE FOR ELASTOMERIC GASKET JOINTS, AND A MINIMUM WALL THICKNESS OF SDR-21. PIPING AND FITTINGS SHALL MEET ASTM D-2241.  
- JOINTING MATERIALS - SHALL BE BELL-AND-SPIGOT WITH INTEGRAL PUSH ON TYPE ELASTOMERIC GASKET JOINTS. GASKET MATERIAL TO BE NEOPRENE MEETING ASTM D-3212.  
- MANHOLES - SHALL BE PRECAST CONCRETE WITH NEOPRENE GASKETS MEETING ASTM C-478 & ASTM C-443.
- INFILTRATION AND EXFILTRATION FOR SANITARY SEWERS SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS.
- IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM C-828-80, ENTITLED STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES; SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
- VACUUM TESTING OF MANHOLES IS ALLOWED. THE CONTRACTOR IS CAUTIONED TO SPEAK TO THE SUPERINTENDENT OF SEWERS PRIOR TO COMMENCING WITH PLANS TO VACUUM TEST.
- DEFLECTION TEST - TEN STATE STANDARDS.  
6.A. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.  
6.B. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDELL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.  
6.C. NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
- ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE PENFIELD SEWER DISTRICT.
- ALL HOUSE LATERALS SHALL HAVE A CLEANOUT AT THE PROPERTY LINE OR EASEMENT LINE.
- FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER/COMBINATION SEWER. (FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS). ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- SEPARATION - MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- SEWER USE LAW: FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

SEWER USE LAW:

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

GENERAL NOTES

- THE SANITARY WASTE DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF THE NEW YORK STATE AND MONROE COUNTY HEALTH DEPARTMENT.
- WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MONROE COUNTY WATER AUTHORITY.
- THE MINIMUM GRADE AT THE HOUSE SHALL BE 1" ABOVE THE EDGE OF THE PAVEMENT.
- THE BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE.
- ANY COST RELATED TO THE RELOCATION OF ANY UTILITIES NECESSITATED BY THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THOSE REQUESTING THE RELOCATION OF THE UTILITY.
- ANY AND ALL CULVERT LOCATIONS, SIZES OR TYPES, TO BE APPROVED BY THE TOWN SUPERINTENDENT OF HIGHWAYS.
- ALL PROPERTY CORNERS TO BE MARKED WITH IRON PINS.
- THIS SUBDIVISION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE COUNTY MONUMENTATION LAW.
- THE SUBDIVISION IS LESS THAN 1500 FEET FROM THE NEAREST CONTROL MONUMENT AND IS THEREFORE TIED INTO THE MONUMENTATION NETWORK.
- THIS SUBDIVISION SHALL COMPLY WITH ANY COUNTY OR STATE AGENCIES HAVING JURISDICTION.
- ALL SITE WORK TO BE IN COMPLIANCE WITH THE STANDARDS OF CHAPTER 29 - ARTICLE V OF THE TOWN OF PITTSFORD.
- ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT FOR THE TOWN OF PITTSFORD DATED THE MOST CURRENT REVISION.
- THIS PROJECT WILL BE IN ACCORDANCE WITH THE TOWN OF PITTSFORD HIGHWAY FRONTAGE POLICY.

STANDARD SANITARY SEWER EXTENSION NOTES:

- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C-828-84 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
- FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDELL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

STANDARD WATER MAIN EXTENSION NOTES:

- THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C-651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.  
ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.  
THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.  
FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.  
THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL CALCIUM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.  
THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
- WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
- THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARDS: C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

PUBLIC WATER SYSTEM NOTES

WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY:

MATERIAL:

- WATER MAIN(S) SHALL BE 8 INCH DUCTILE IRON CEMENT-LINED CLASS 51.
- WATER SERVICE(S) SHALL BE 1 INCH TYPE K COPPER FROM THE WATER MAIN TO THE CURB BOX AND 1 INCH (TYPE K SOFT COPPER OR PE #5408) FROM THE CURB BOX TO THE METER.
- WATER METER(S) SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). ON METERED SERVICES REQUIRING A 1 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.
- ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.

TESTS:

- SOIL TEST: THE CONTRACTOR SHALL PROVIDE A SOIL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT PER ANSI/AWWA C105/ASTM 5-82 PRIOR TO WATER MAIN INSTALLATION. SOIL TESTING SHALL BE CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH WATER AUTHORITY STANDARDS.
- PRESSURE TEST: WATER MAINS TO BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST WATER AUTHORITY SPECIFICATIONS. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
- HEALTH SAMPLE: THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-651. BY USING THE CONTINUOUS FEED METHOD, AFTER FLUSHING AND DISINFECTING THE WATER MAIN, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE MONROE COUNTY HEALTH DEPARTMENT. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.

INSTALLATION:

- WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN AND SEWER MAINS SHALL BE 18" MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE TEN FEET MEASURED FROM THE OUTSIDE OF THE PIPES. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATER MAINS.
- FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE.
- ALL MECHANICAL JOINT FITTINGS (TEES, BENDS, PLUGS, ETC.) SHALL BE BACKED WITH 2500 PSI CONCRETE THRUST BLOCKS

PA

PASSERO ASSOCIATES

engineering architecture

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TOWN OF PITTSFORD  
LOCATION SKETCH  
N.T.S.

Client:

2851 Clover, LLC

2851 Monroe Avenue

Rochester, NY 14618

Phone: (585)-271-1111

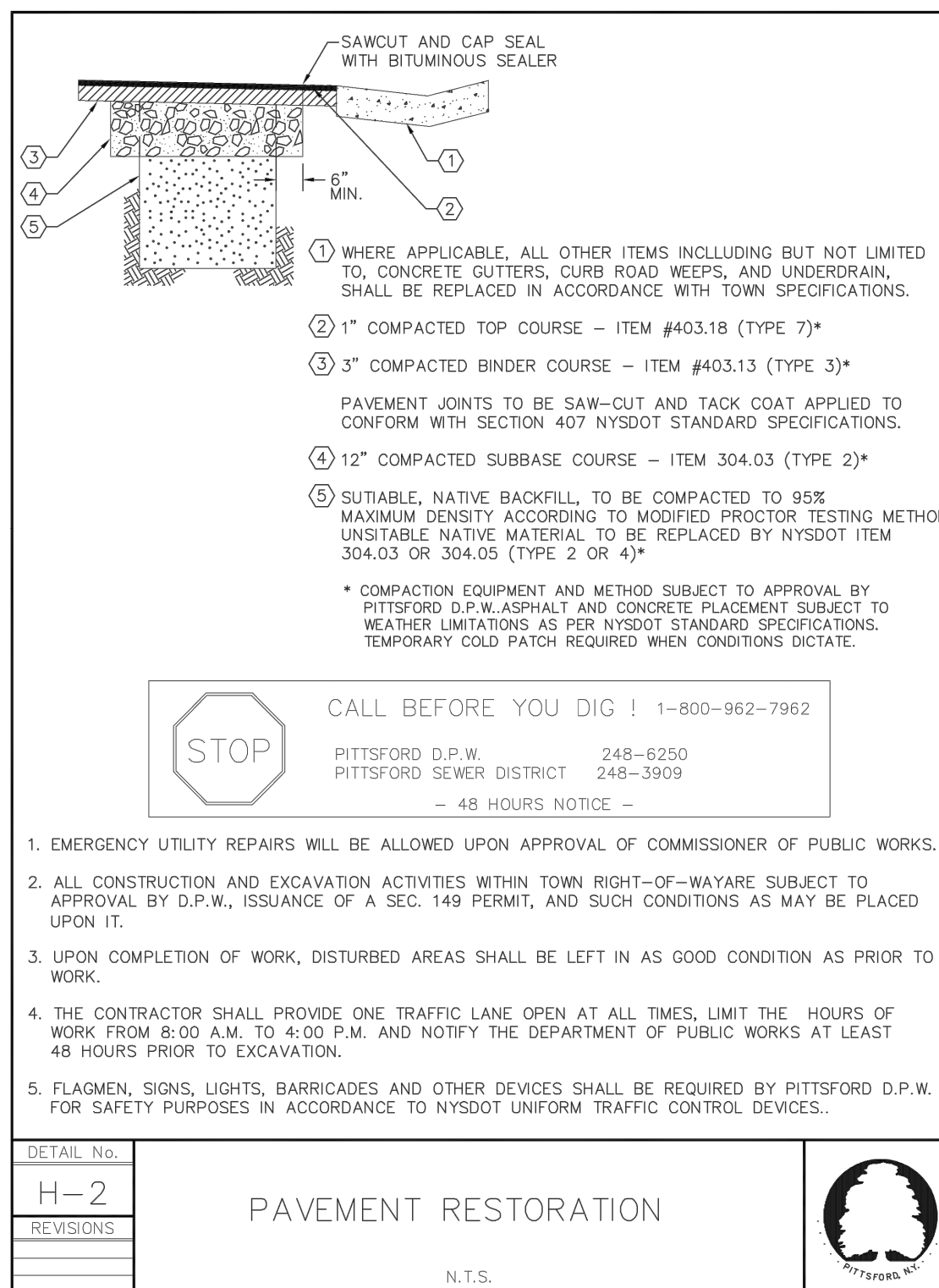
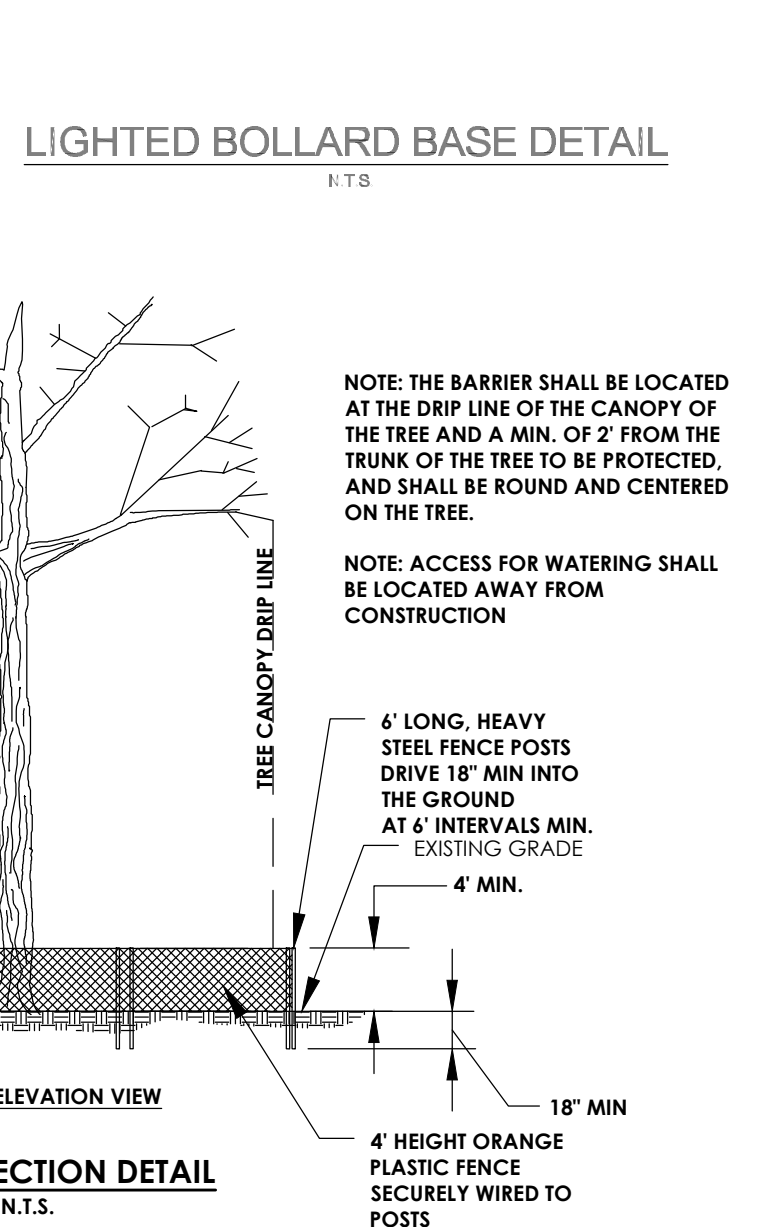
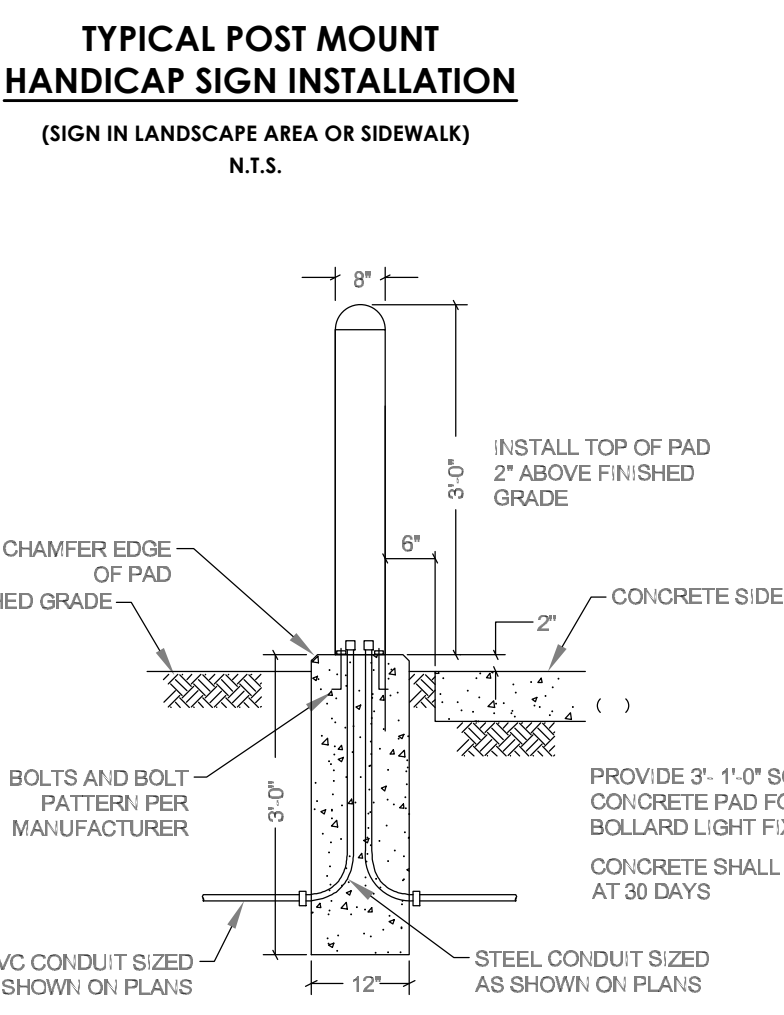
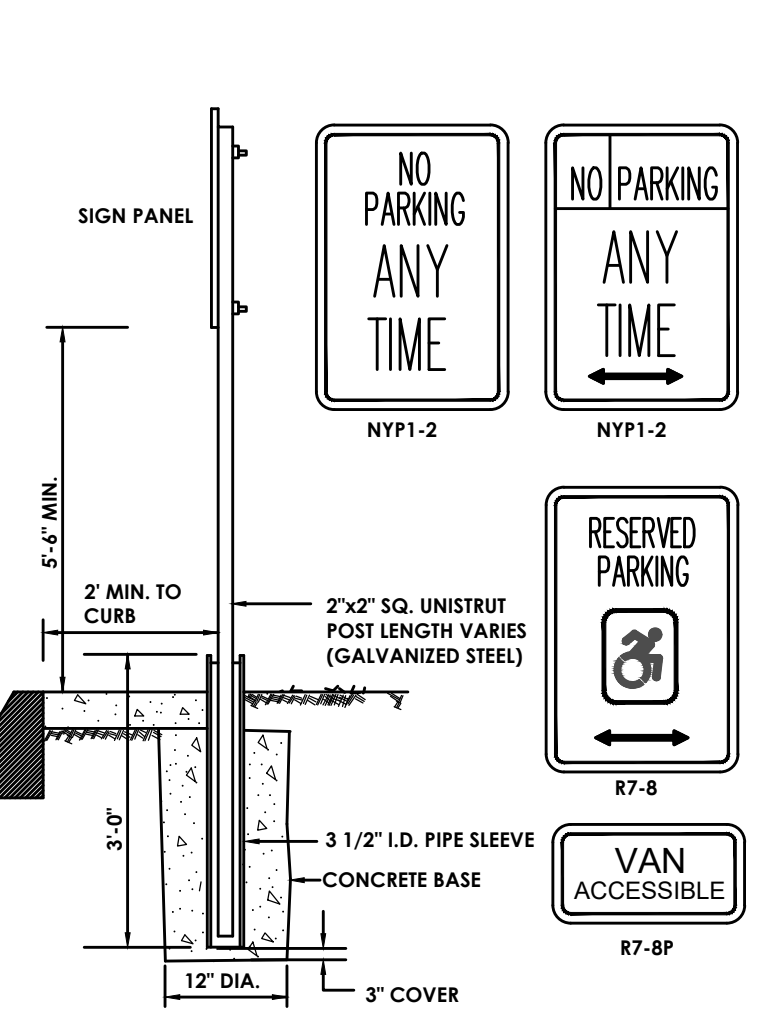
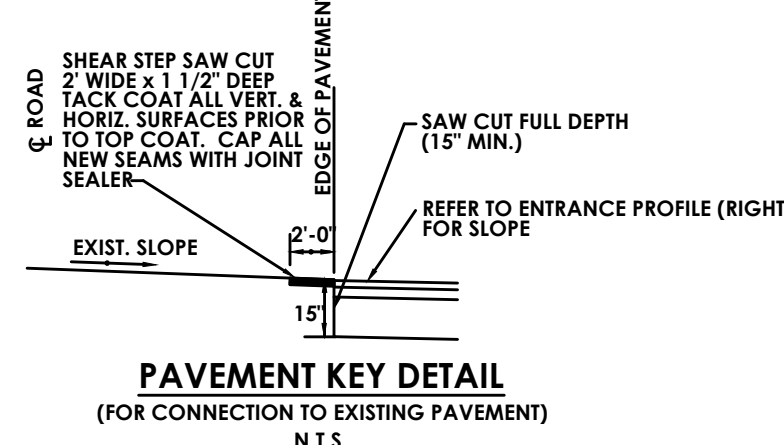
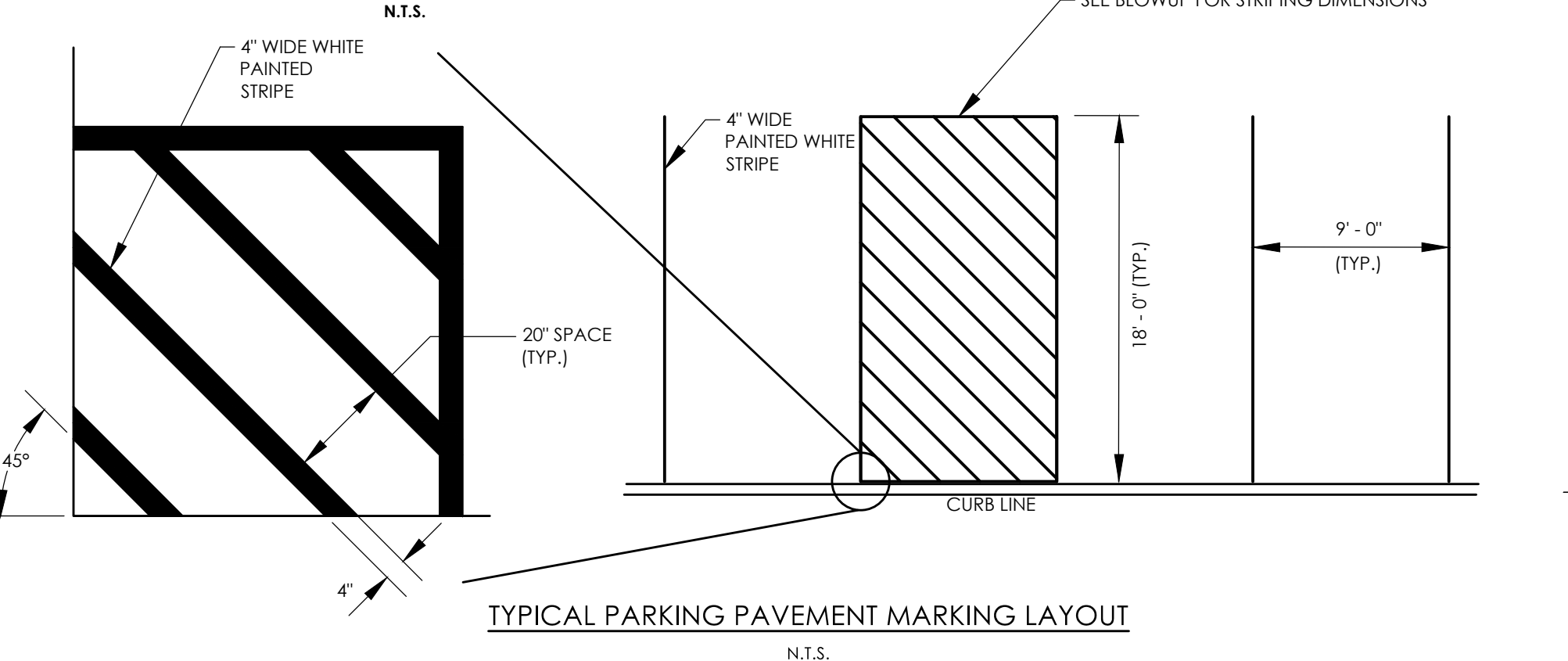
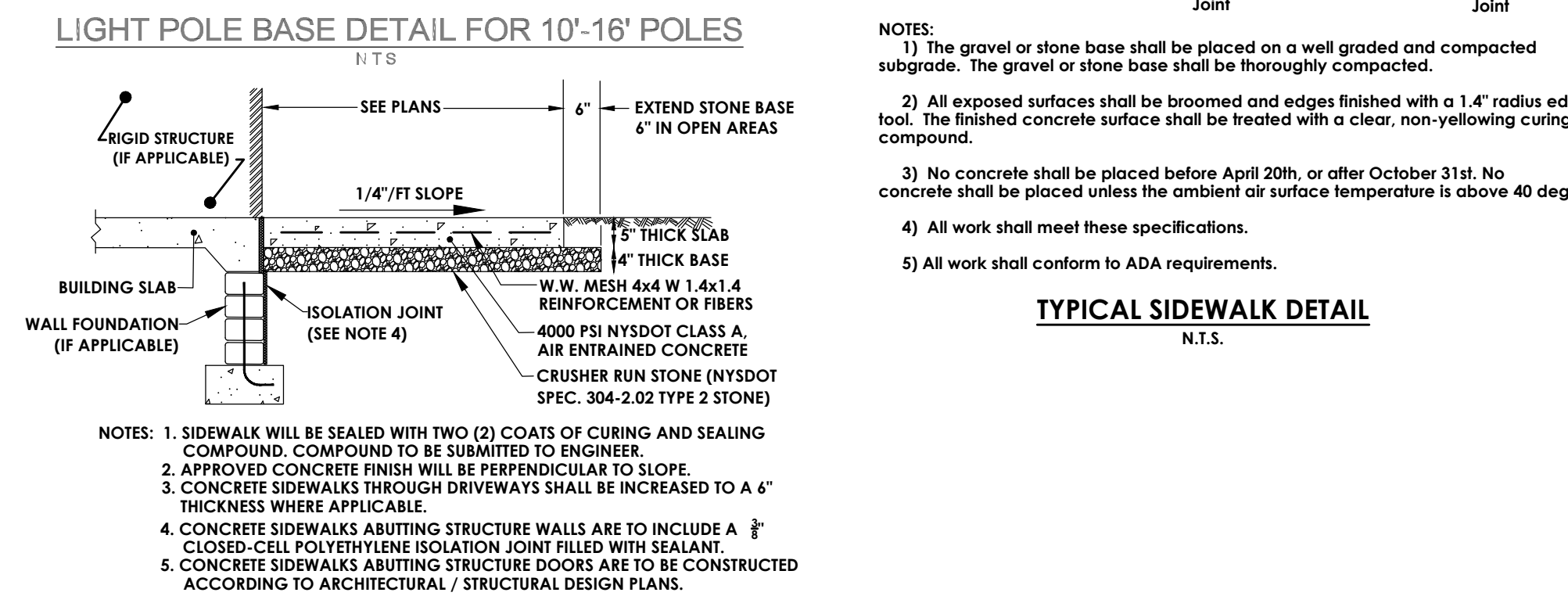
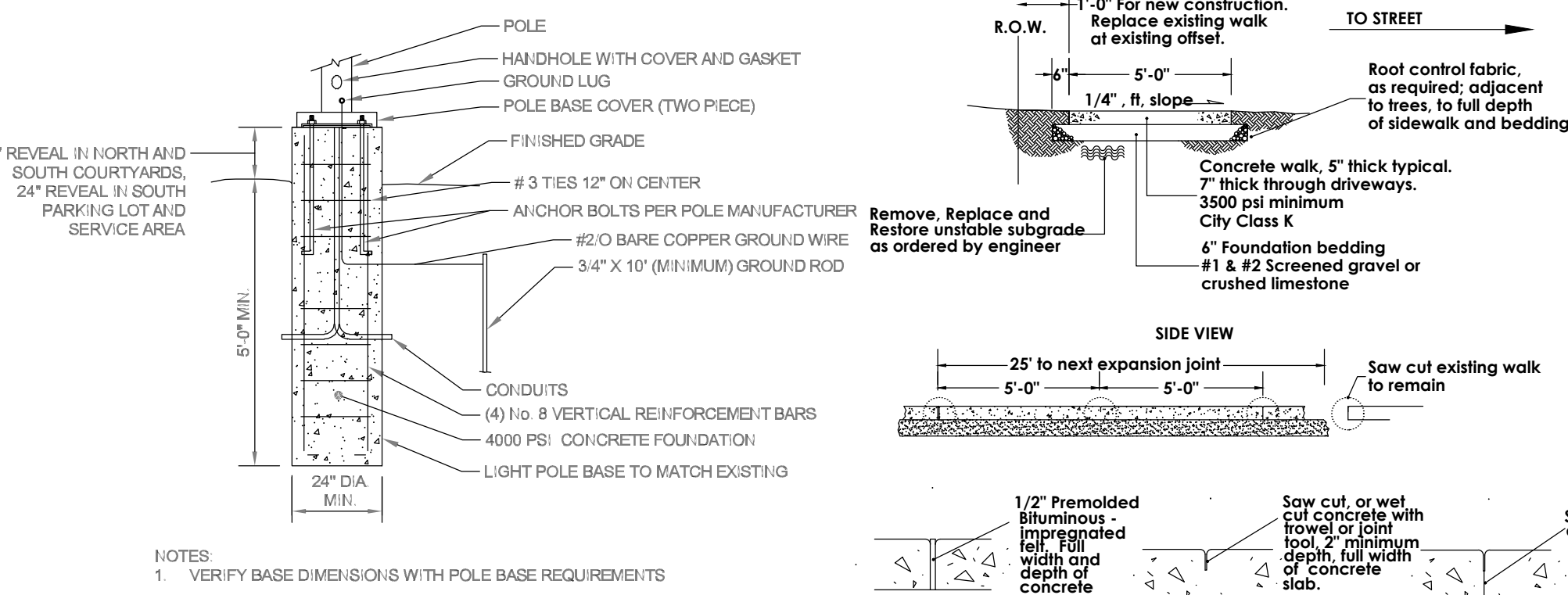
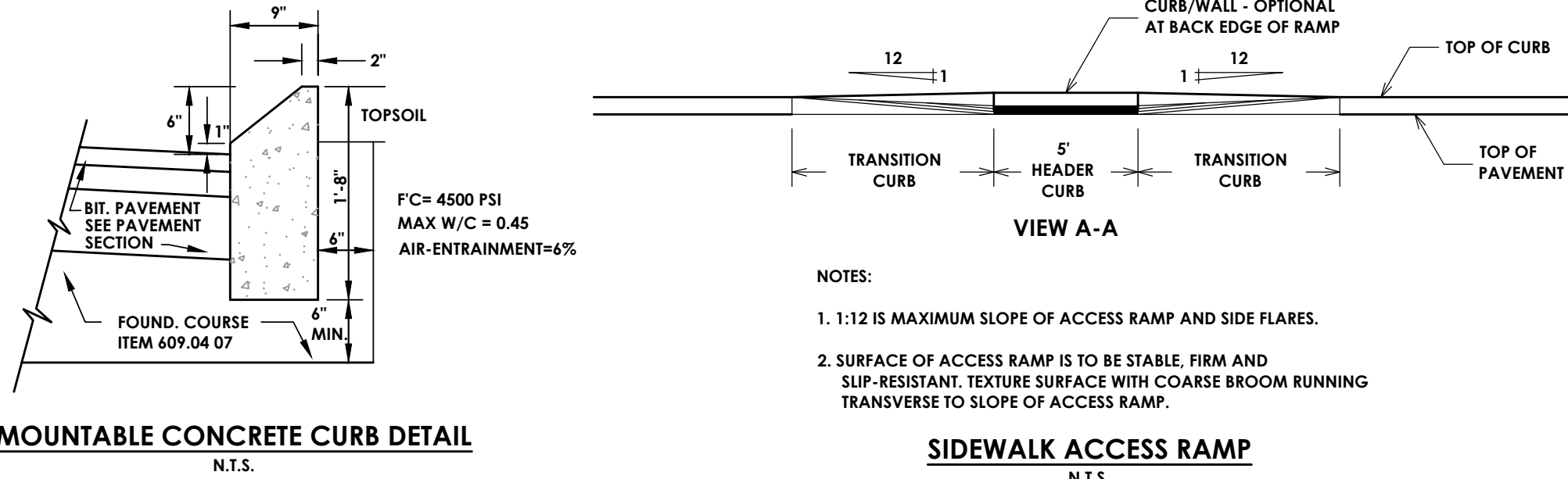
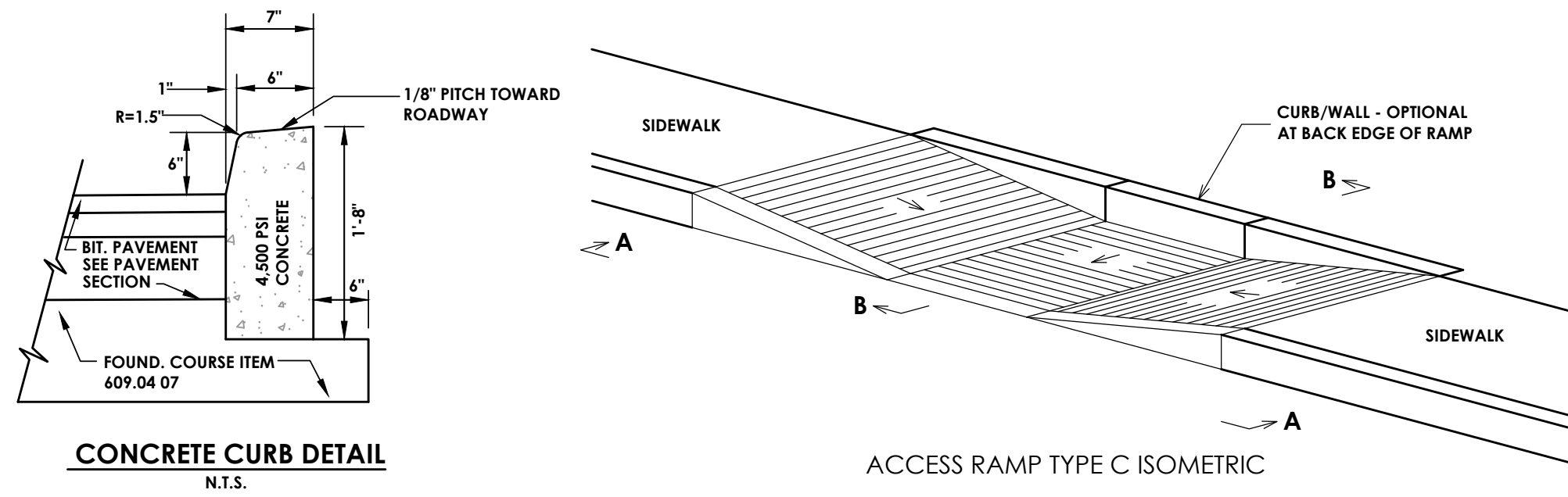
PASSERO ASSOCIATES

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Rochester, New York 14614

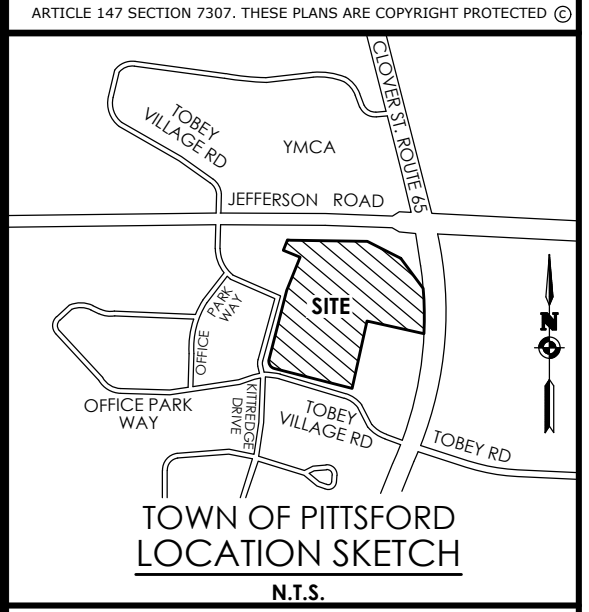
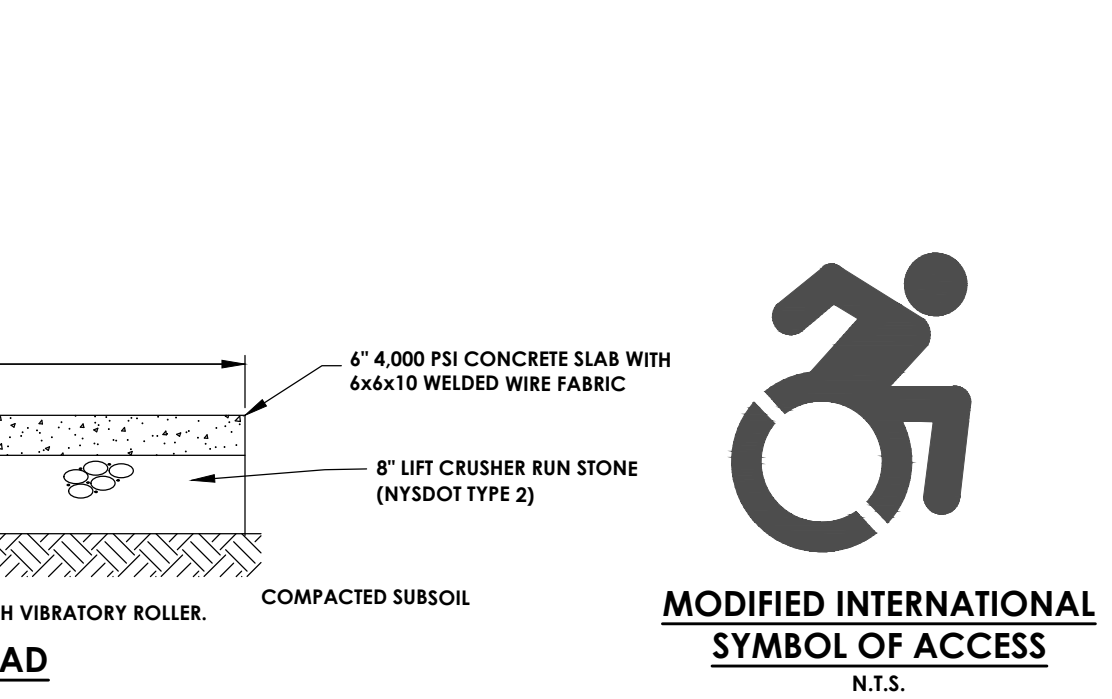
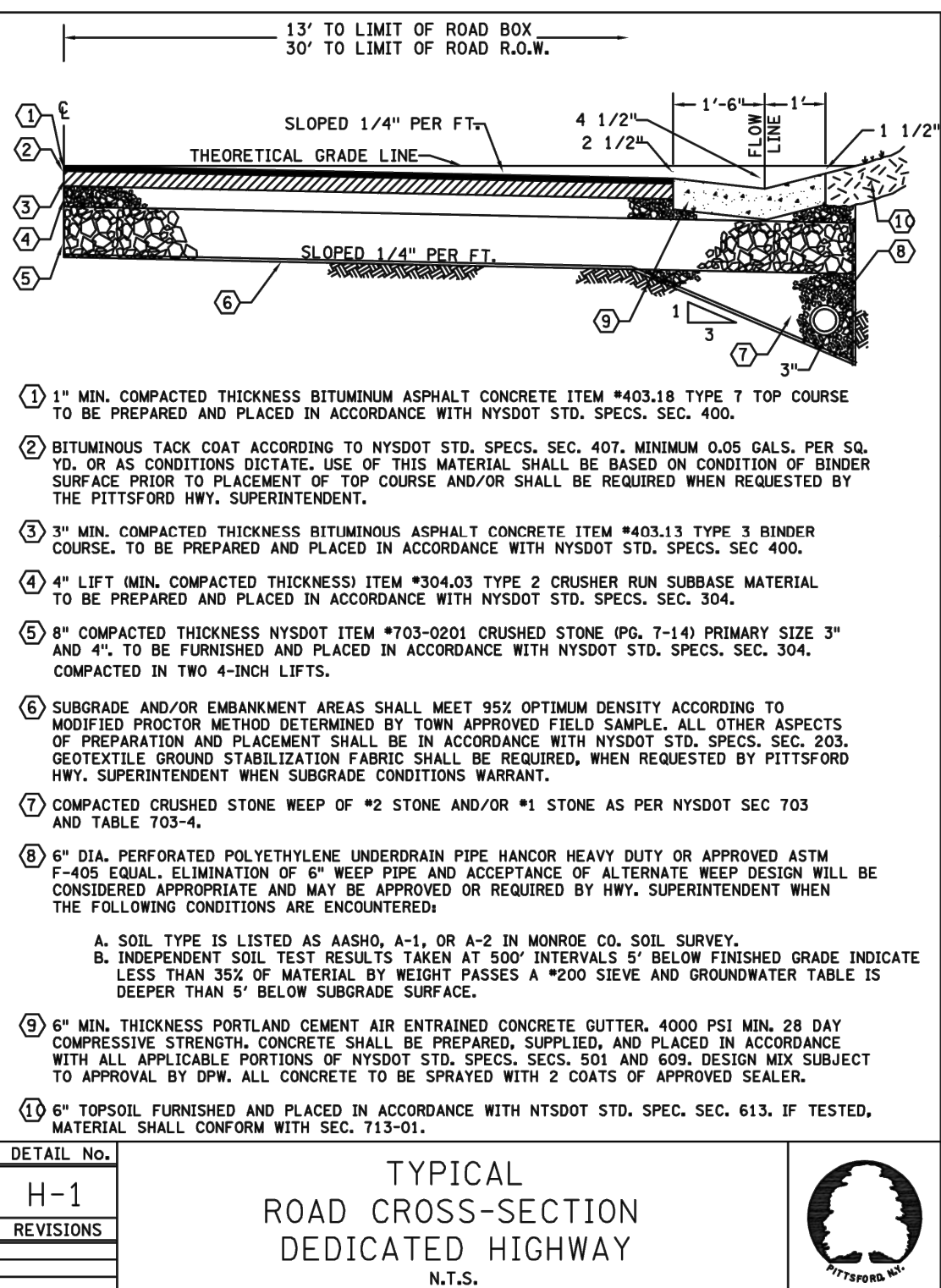
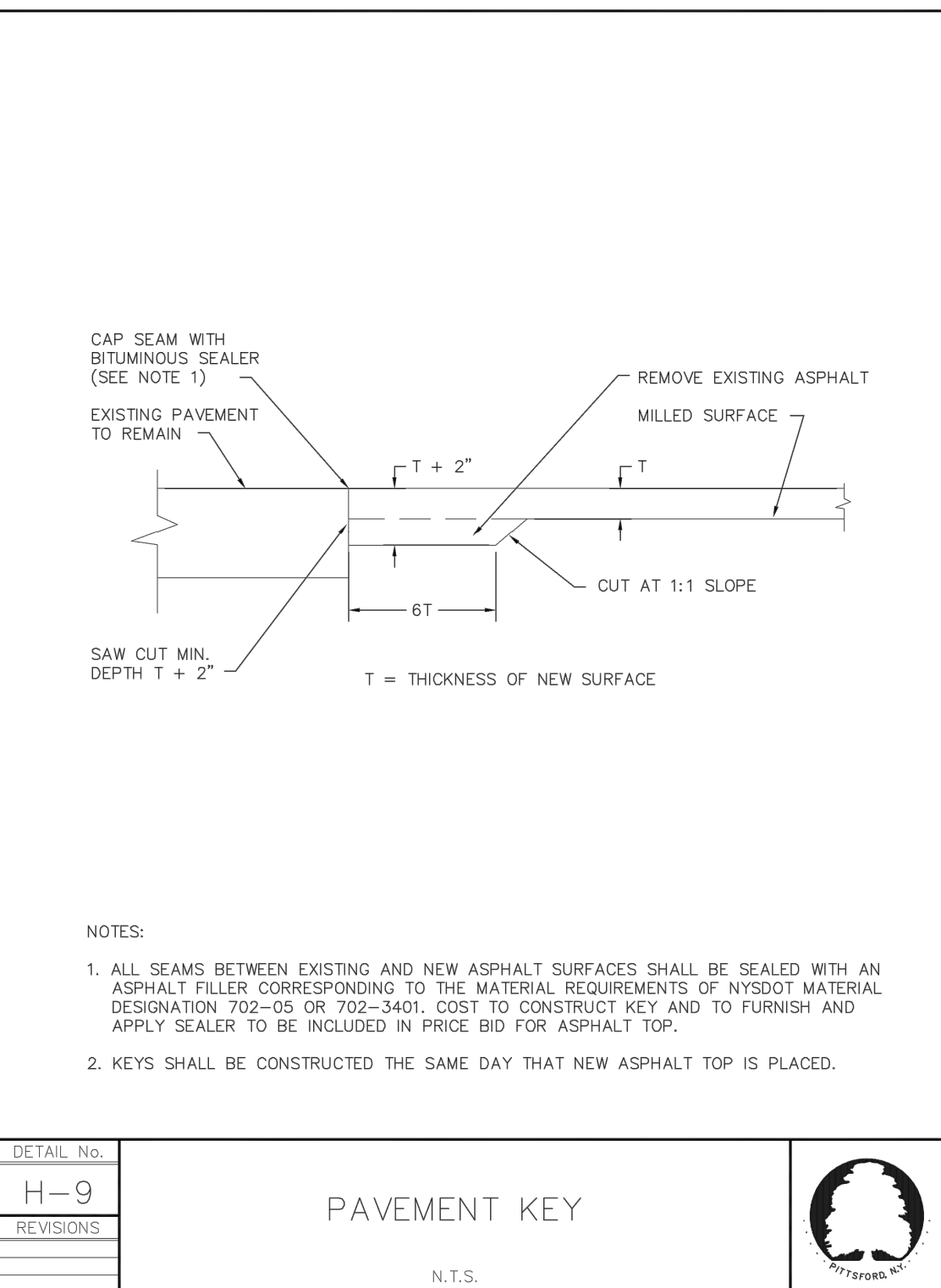
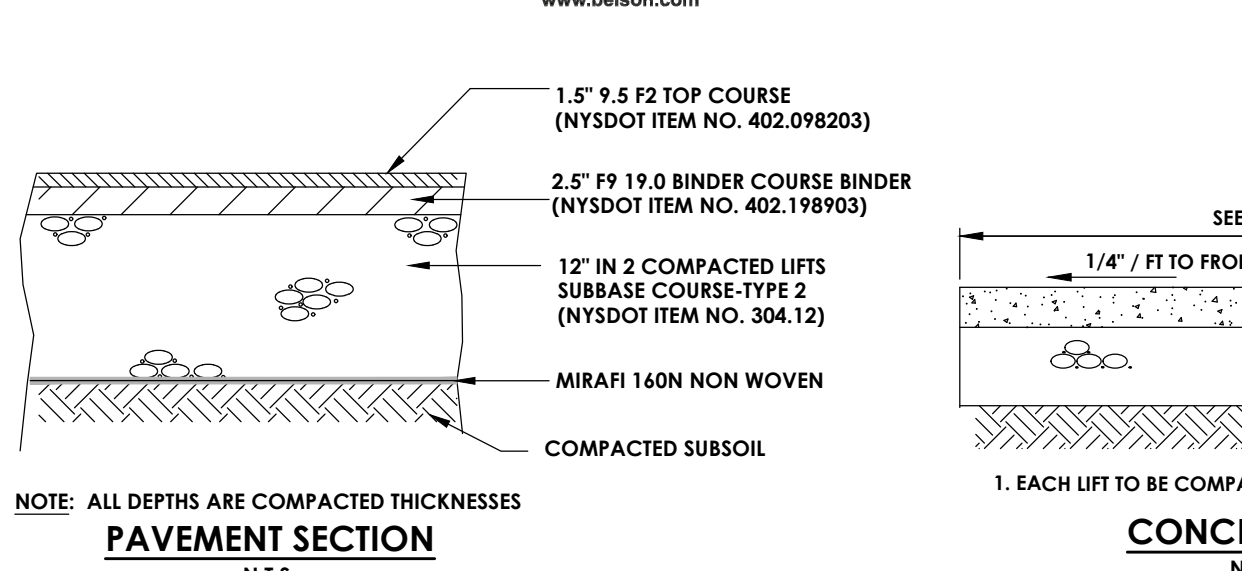
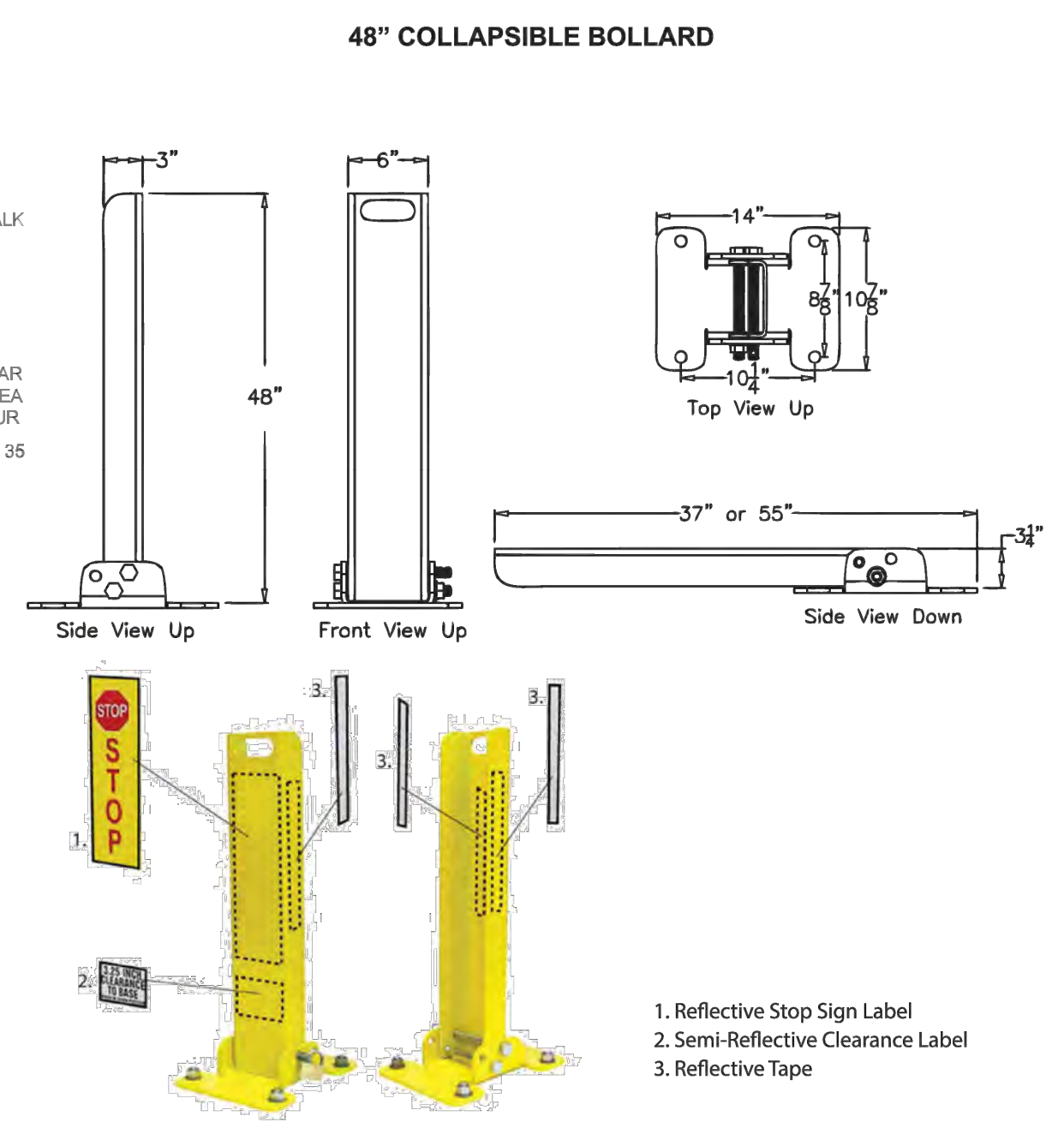
<



SITE



**BELSON OUTDOORS**  
Model # BCB-48  
Dimension Sheet



Client:  
2851 Clover, LLC  
2851 Monroe Avenue  
Rochester, NY 14618  
Phone: (585)-271-1111

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Principal-in-Charge: Jess Sudol, P.E.  
Project Manager: David Cox, P.E.  
Designed by: James Ritzenhaller



Revisions				
No.	Date	By	Description	
1				

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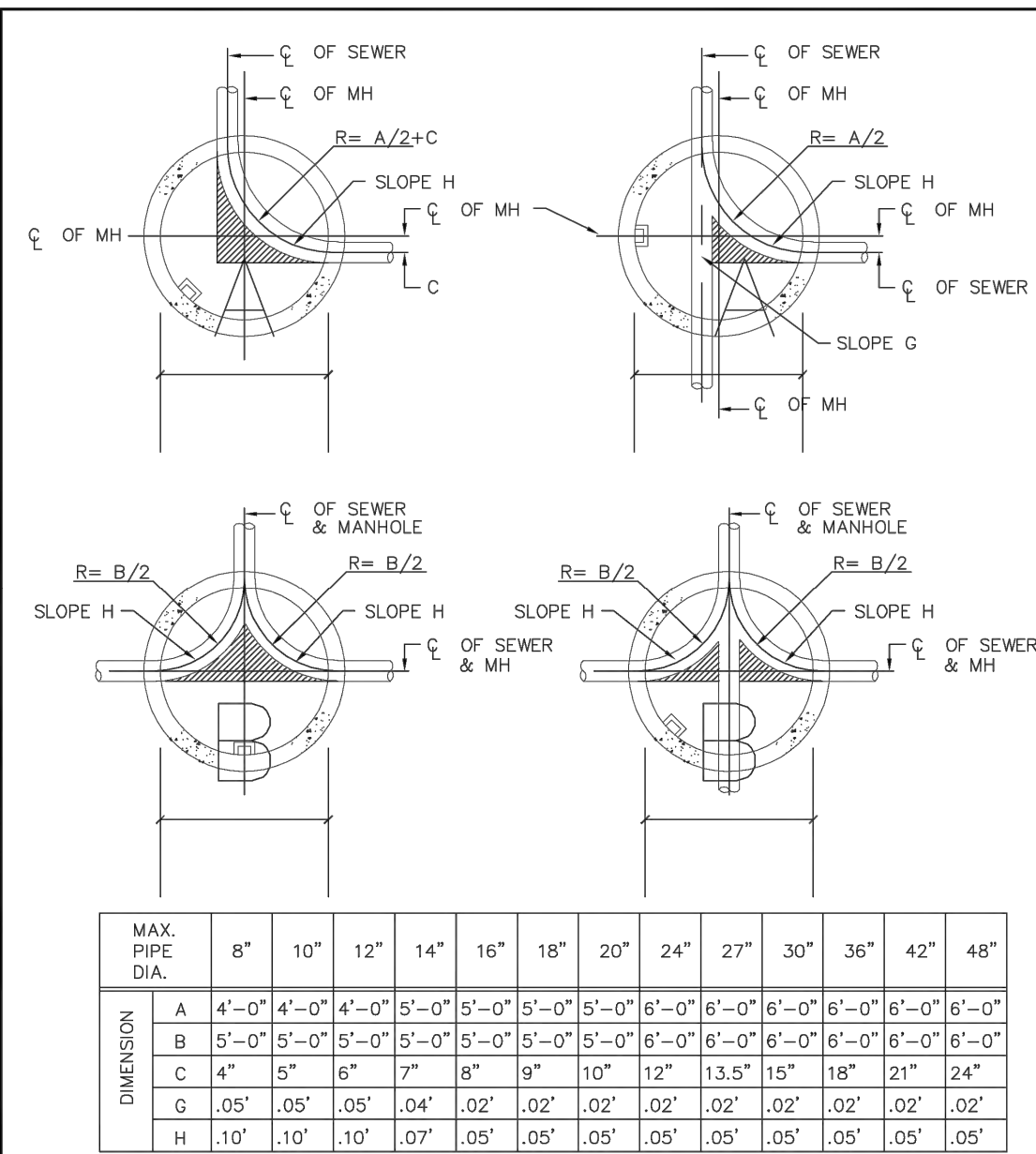
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PITTSFORD OAKS	
Town/City: PITTSFORD	County: MONROE State: NEW YORK
Project No.	20233554.0001
Drawing No.	C 202
Scale:	N.T.S.
Date	MAY 01, 2024





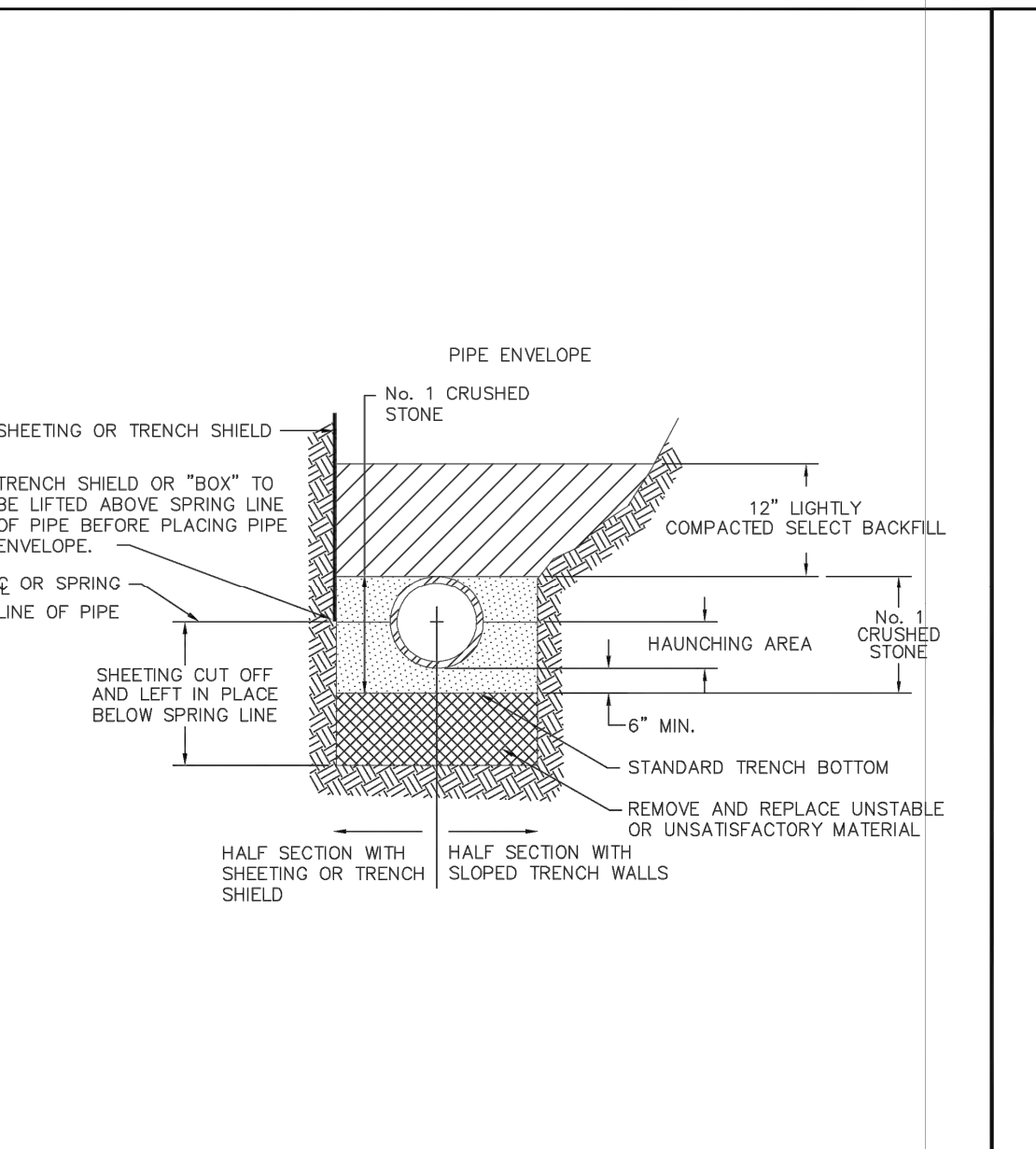


# UTILITIES



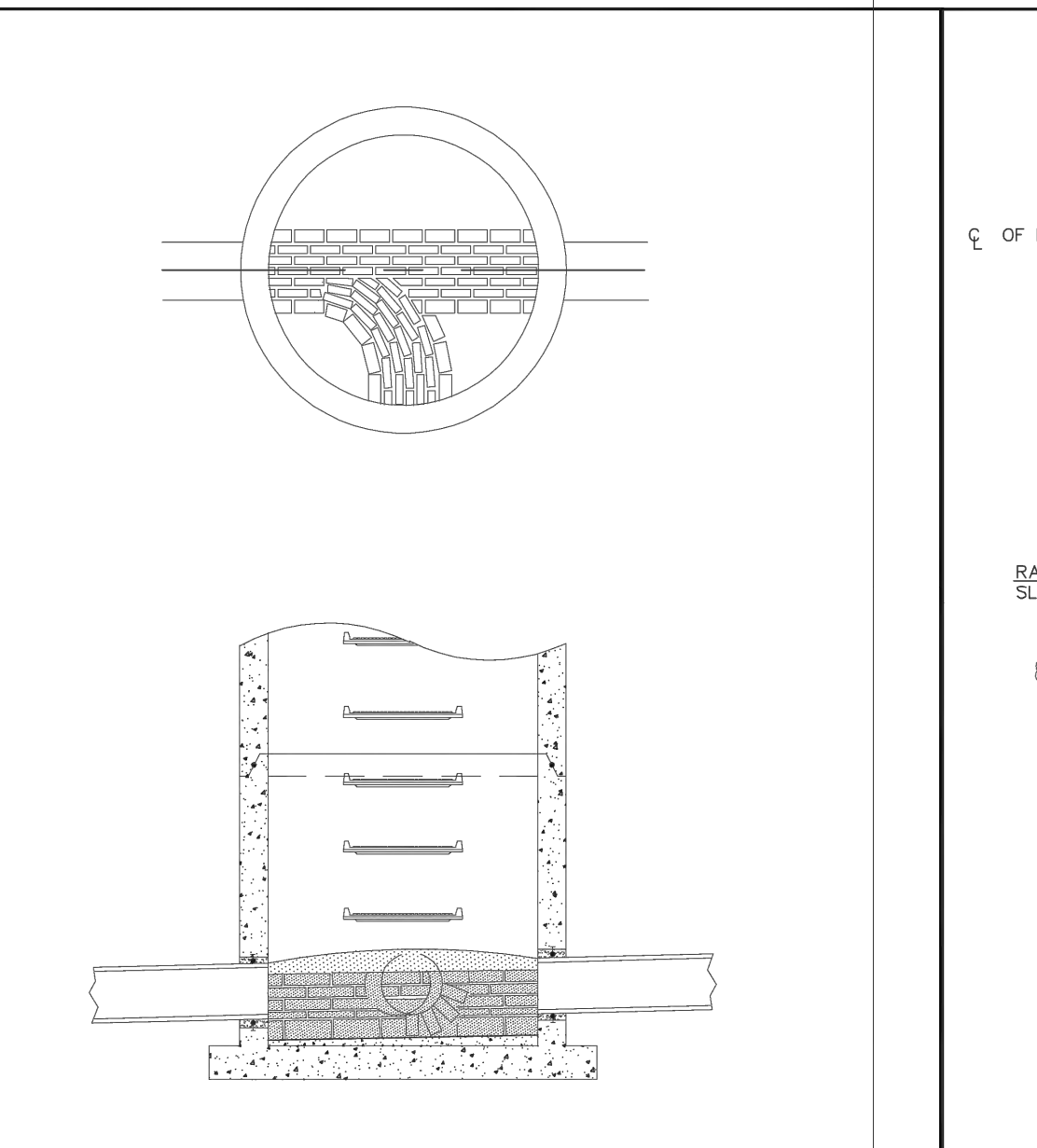
NOTE: WHEN A SMALLER SEWER JOINS A LARGER ONE, PLACE THE 0.8 DEPTH POINT OF BOTH SEWERS AT THE SAME ELEVATION.

DETAIL No.	ST-5	STANDARD MANHOLE DIMENSIONS	REVISIONS
		N.T.S.	



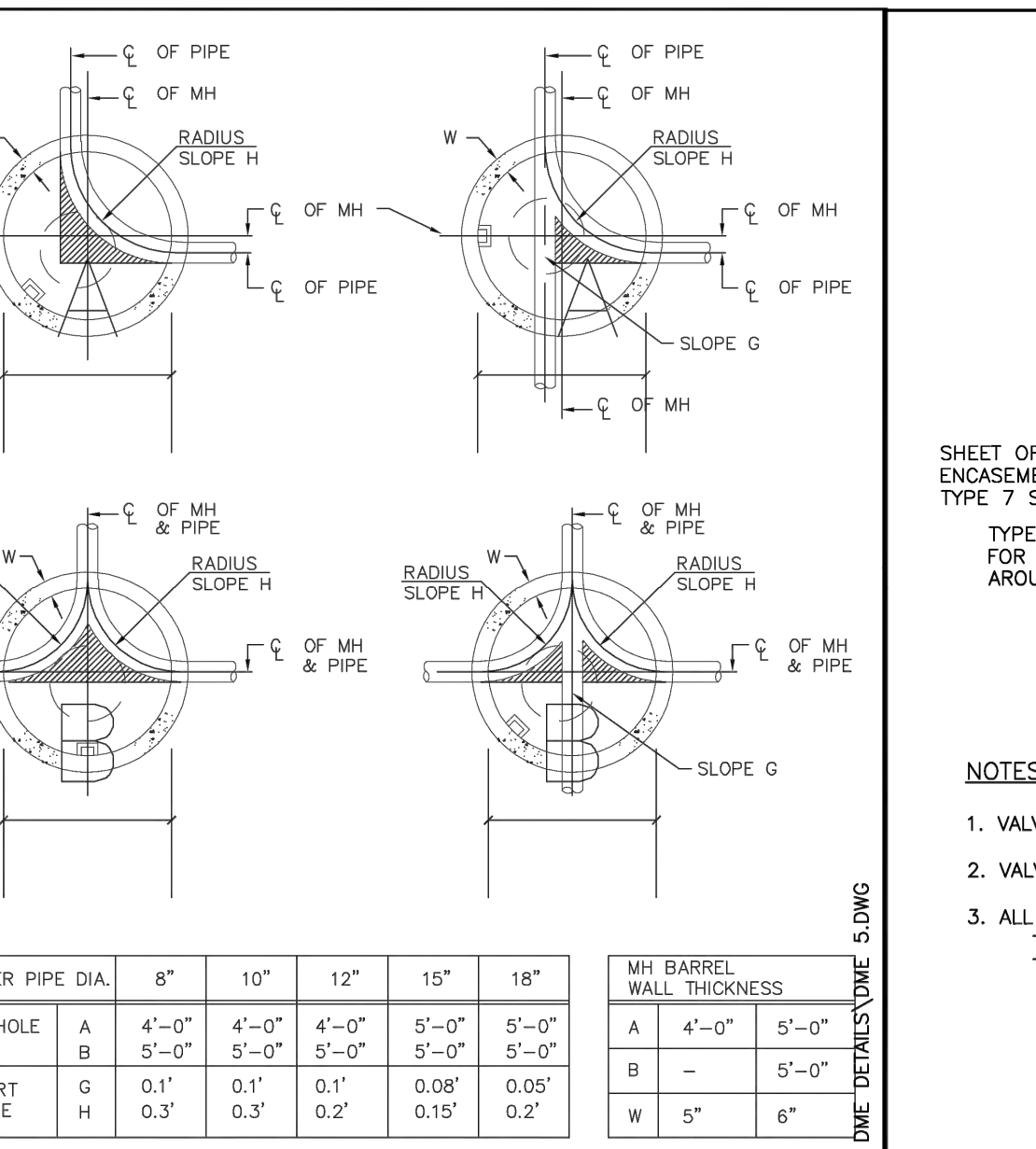
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DETAIL No.	S-12	TYPICAL PIPE TRENCH SECTION	REVISIONS
		N.T.S.	



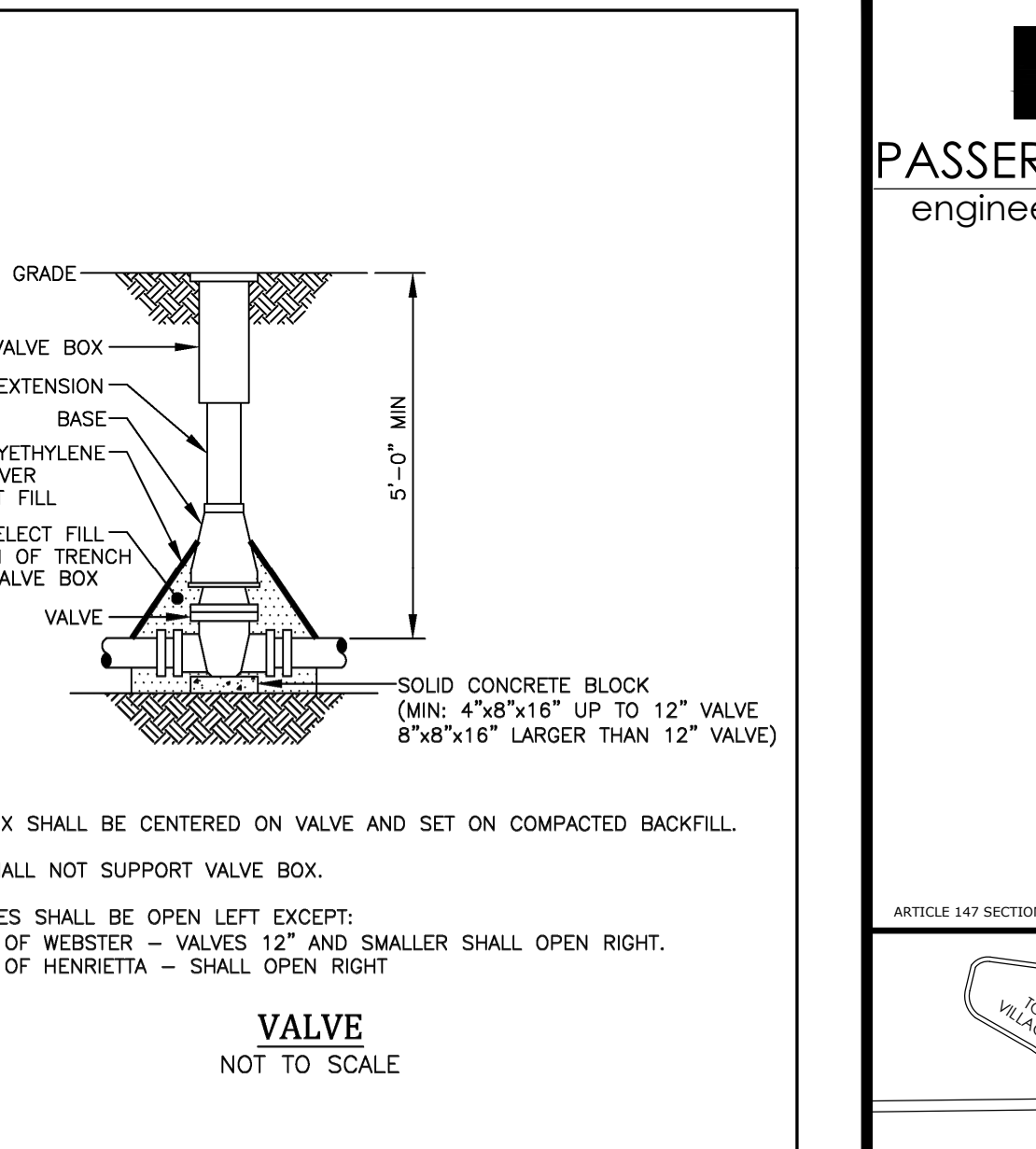
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DETAIL No.	S-5	STANDARD MANHOLE BRICK INVERT (TYPICAL)	REVISIONS
		N.T.S.	



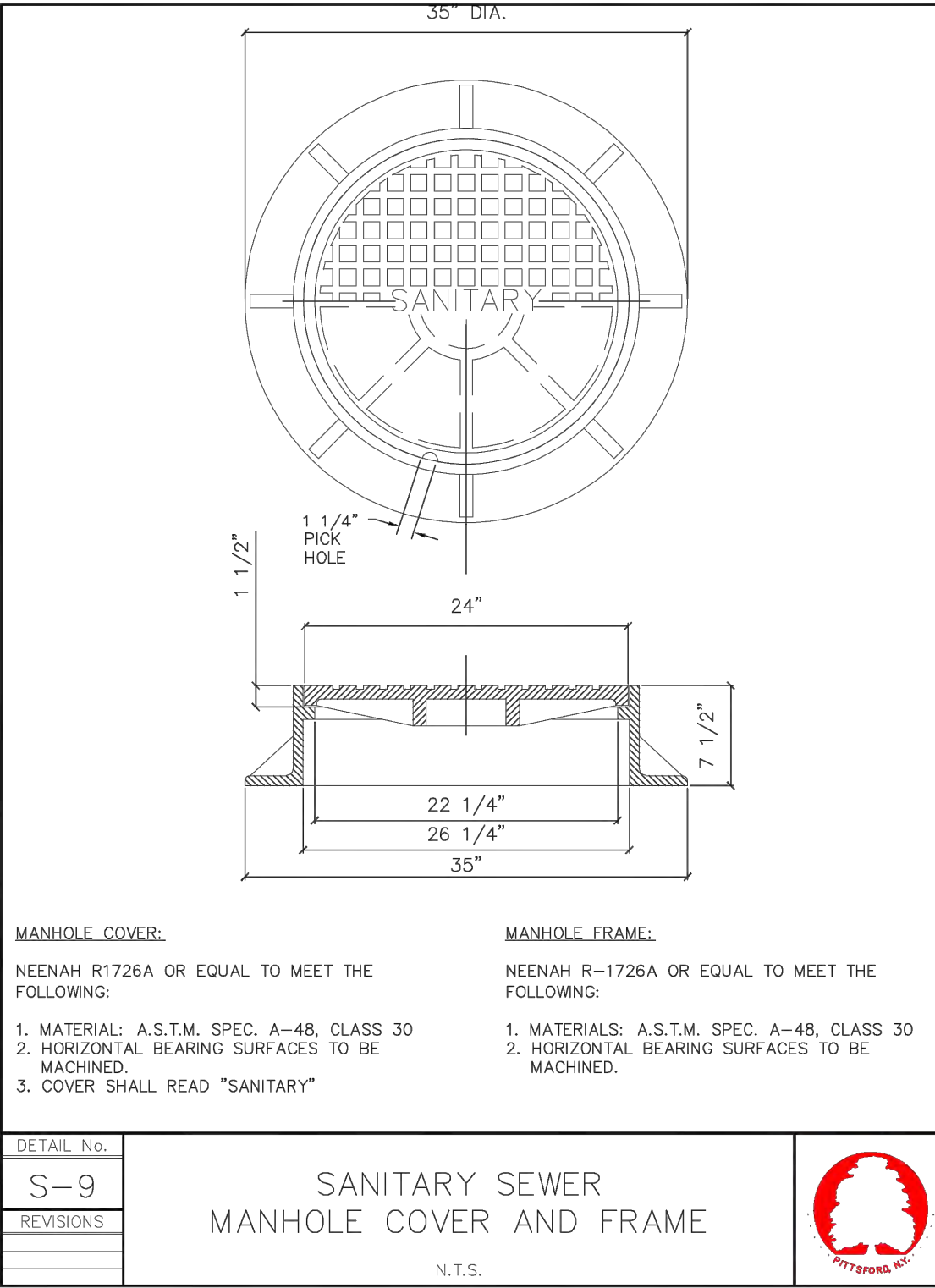
NOTE: WHEN A SMALLER SEWER JOINS A LARGER ONE, PLACE THE 0.8 DEPTH POINT OF BOTH SEWERS AT THE SAME ELEVATION.

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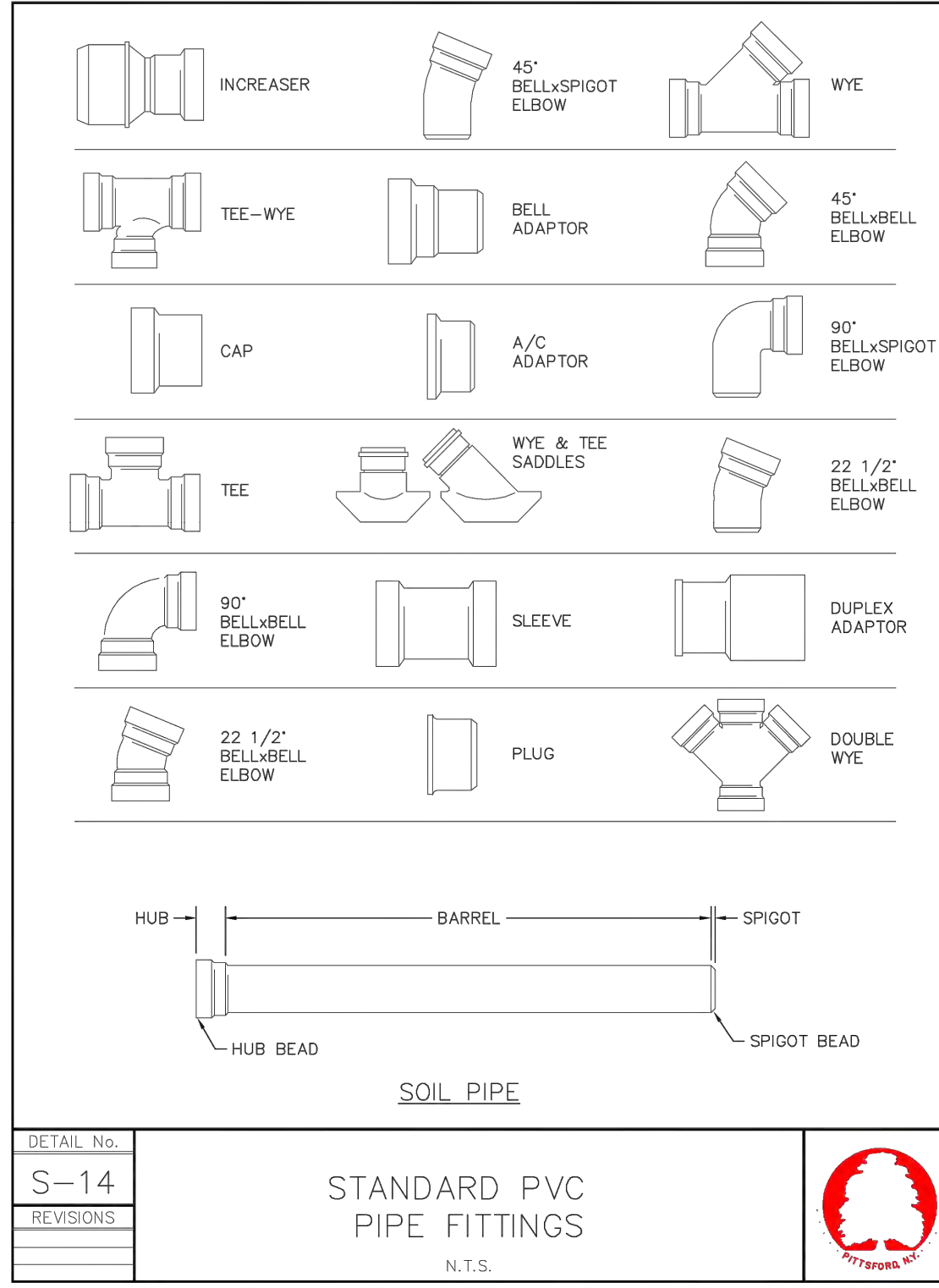


NOTE: 1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL. 2. VALVE SHALL NOT SUPPORT VALVE BOX. 3. ALL VALVES SHALL BE OPEN LEFT EXCEPT: TOWN OF WEBSTER - VALVES 12" AND SMALLER SHALL OPEN RIGHT. TOWN OF HENRIETTA - SHALL OPEN RIGHT.

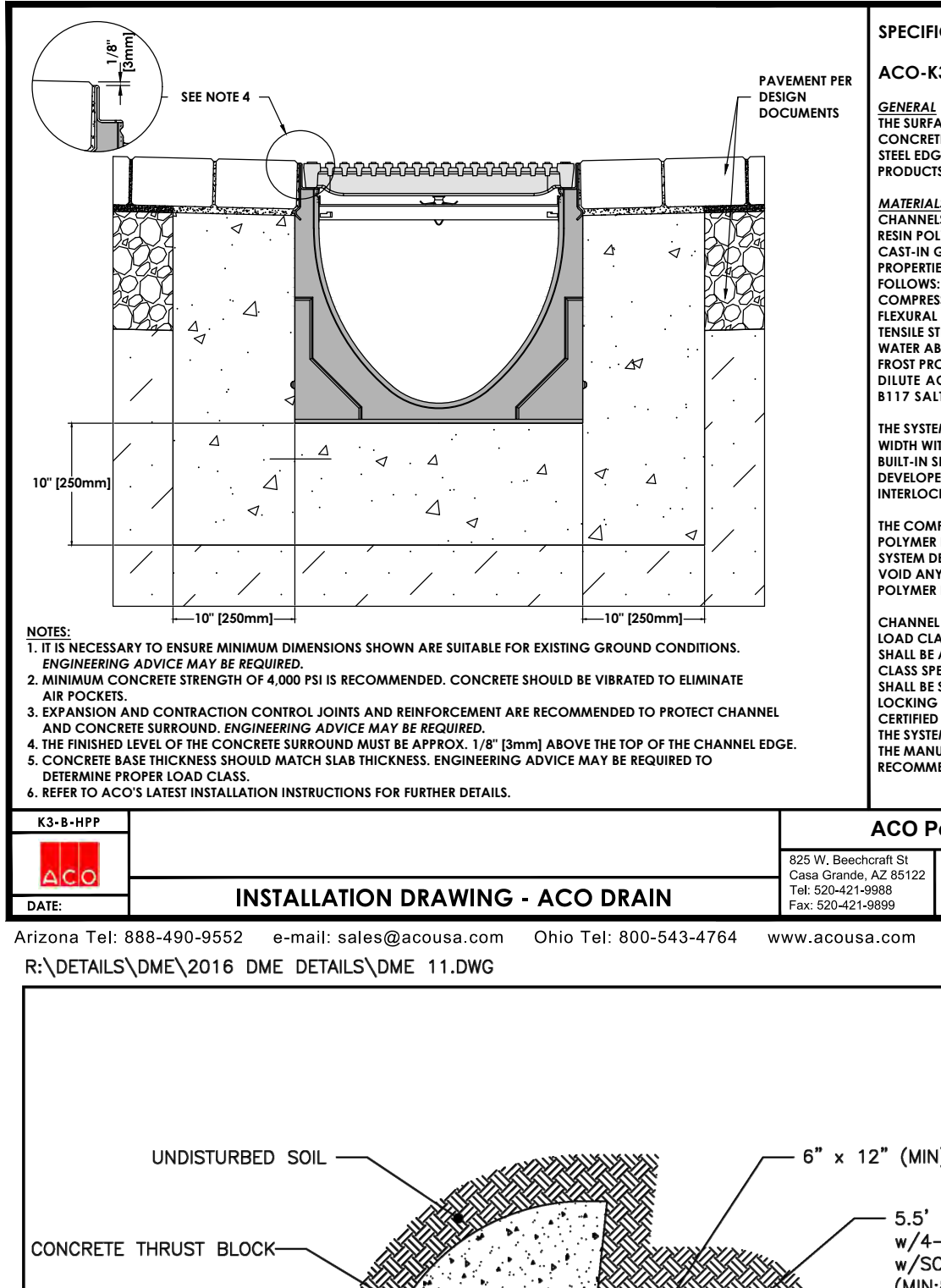
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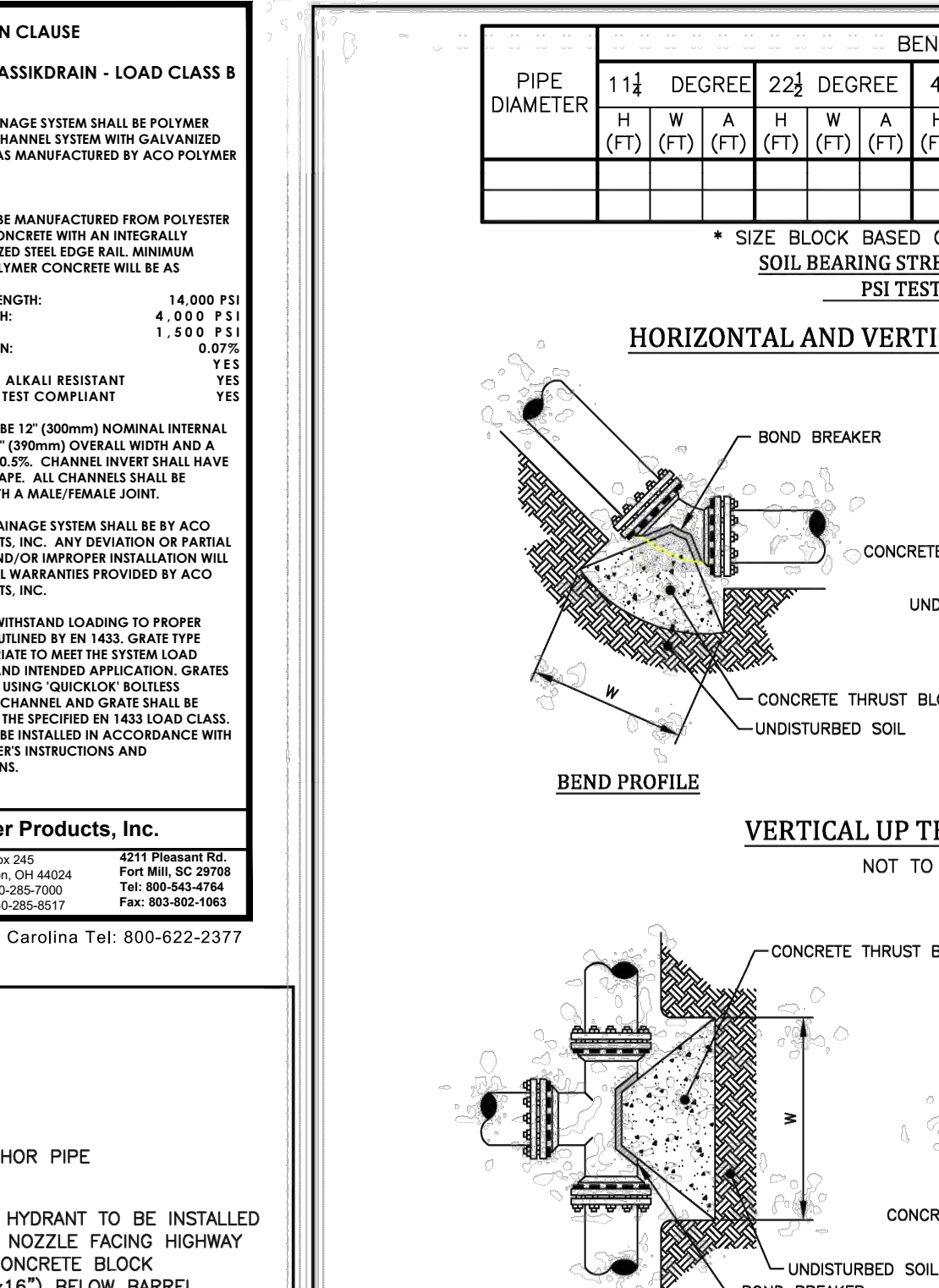
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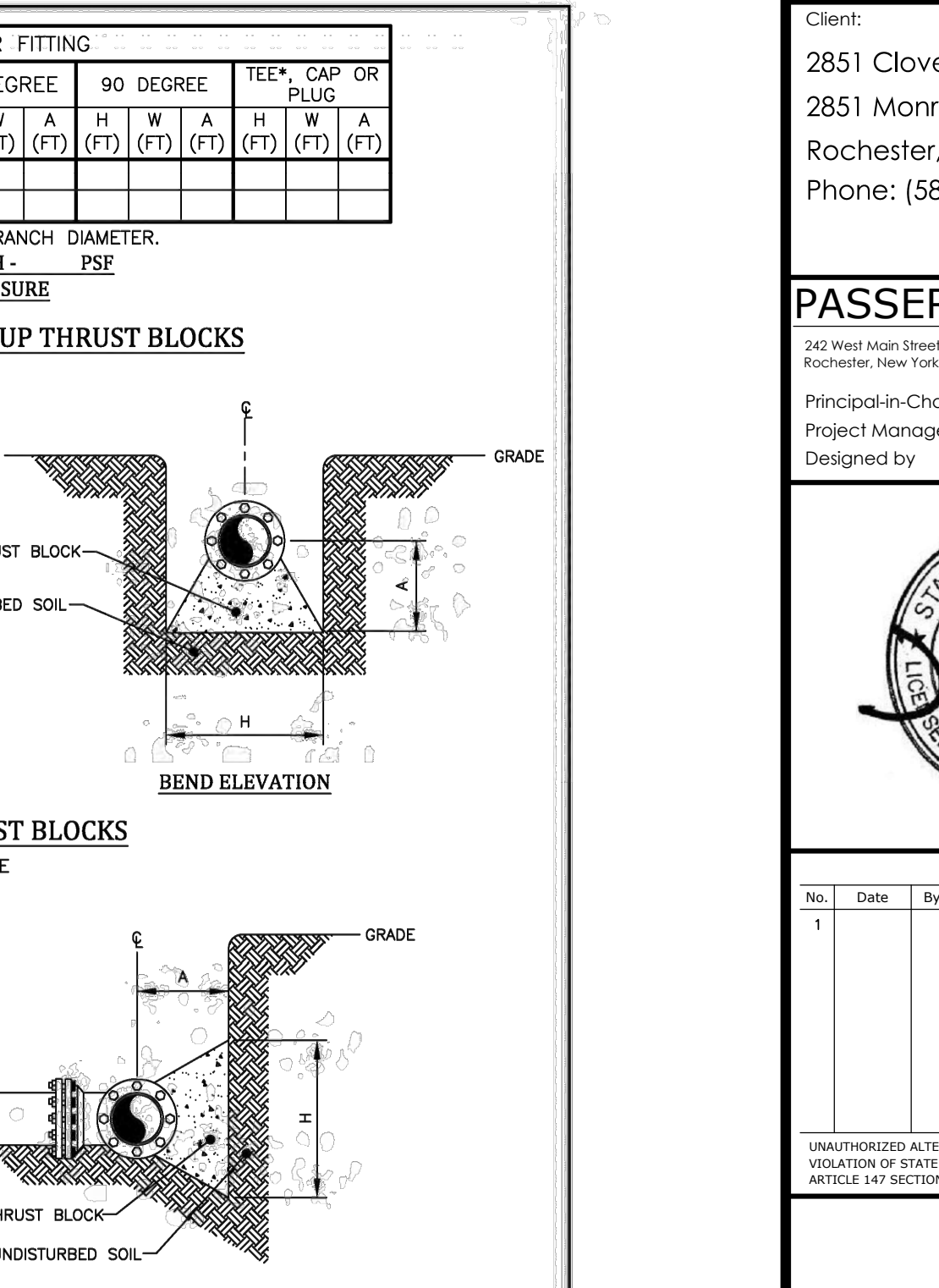
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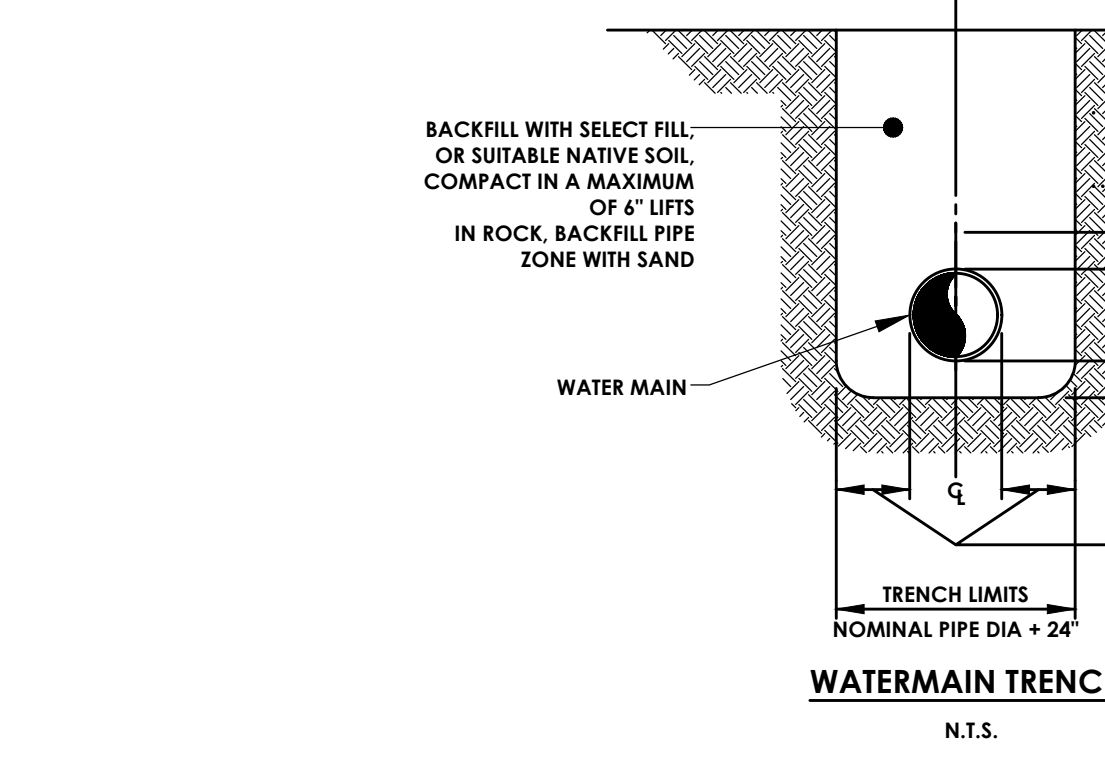
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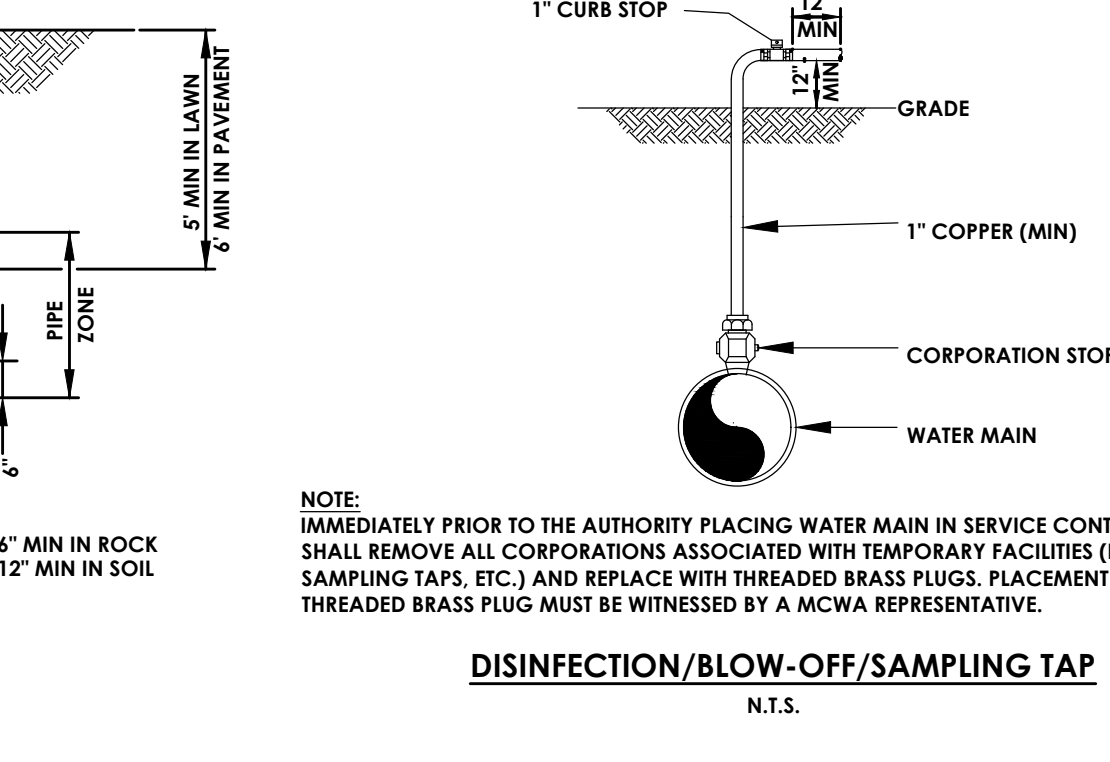
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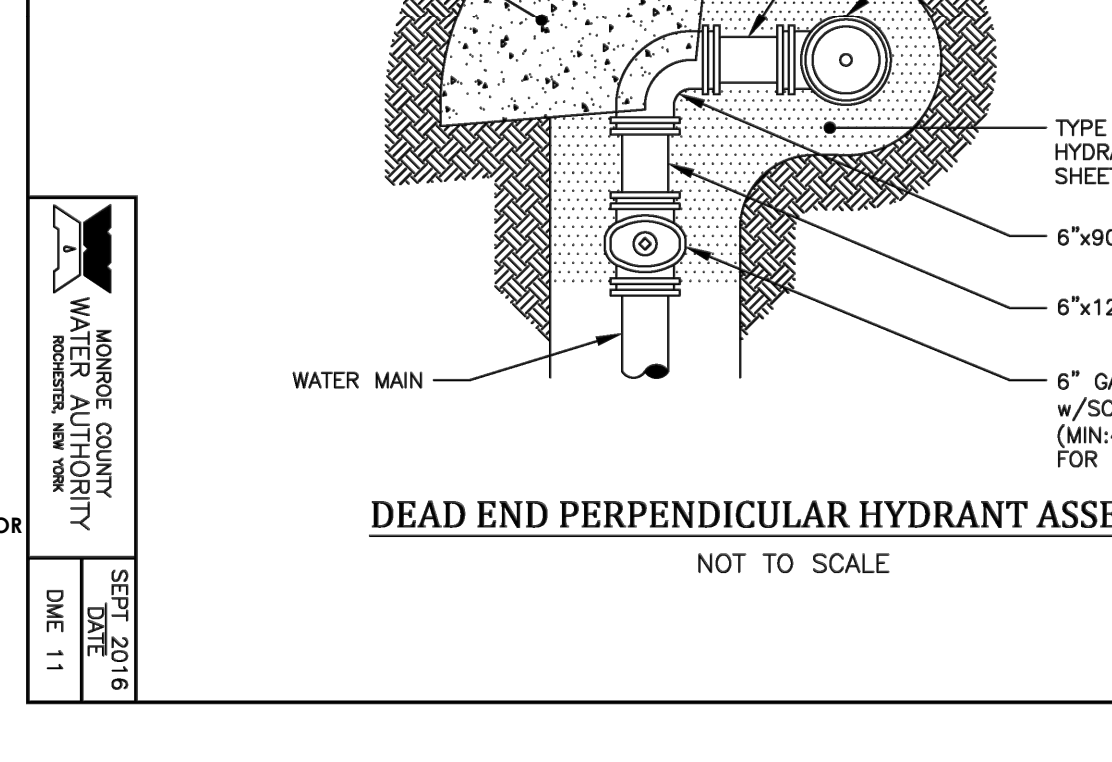
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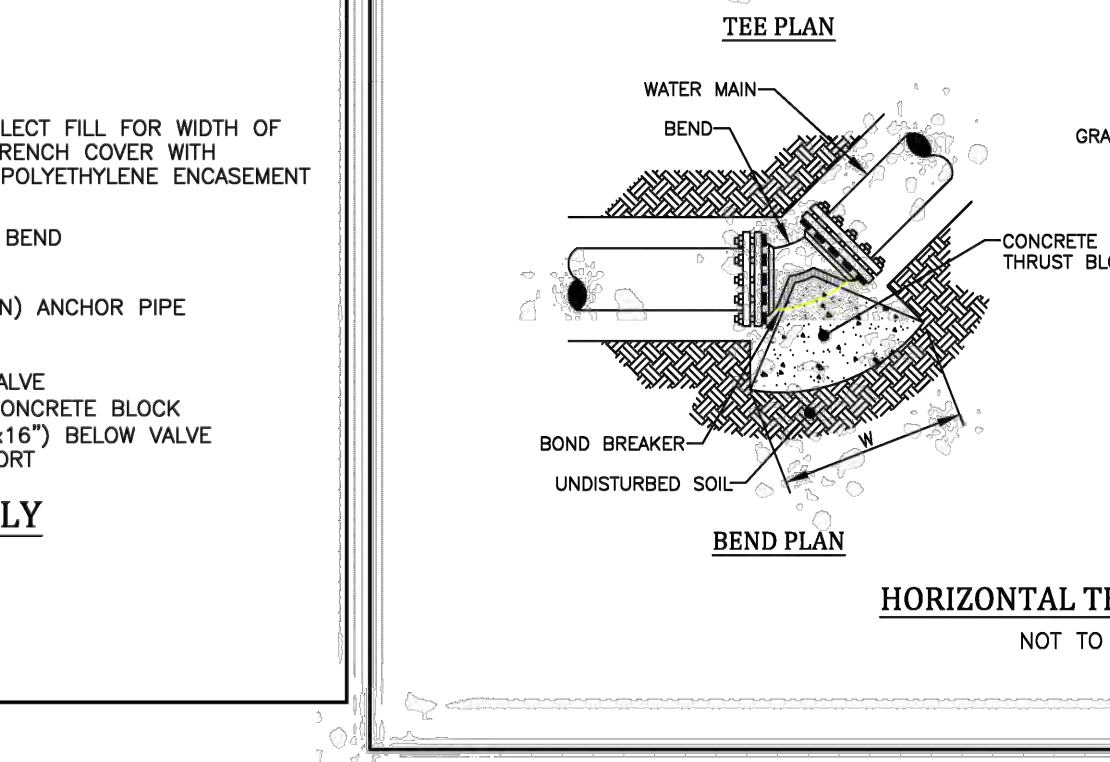
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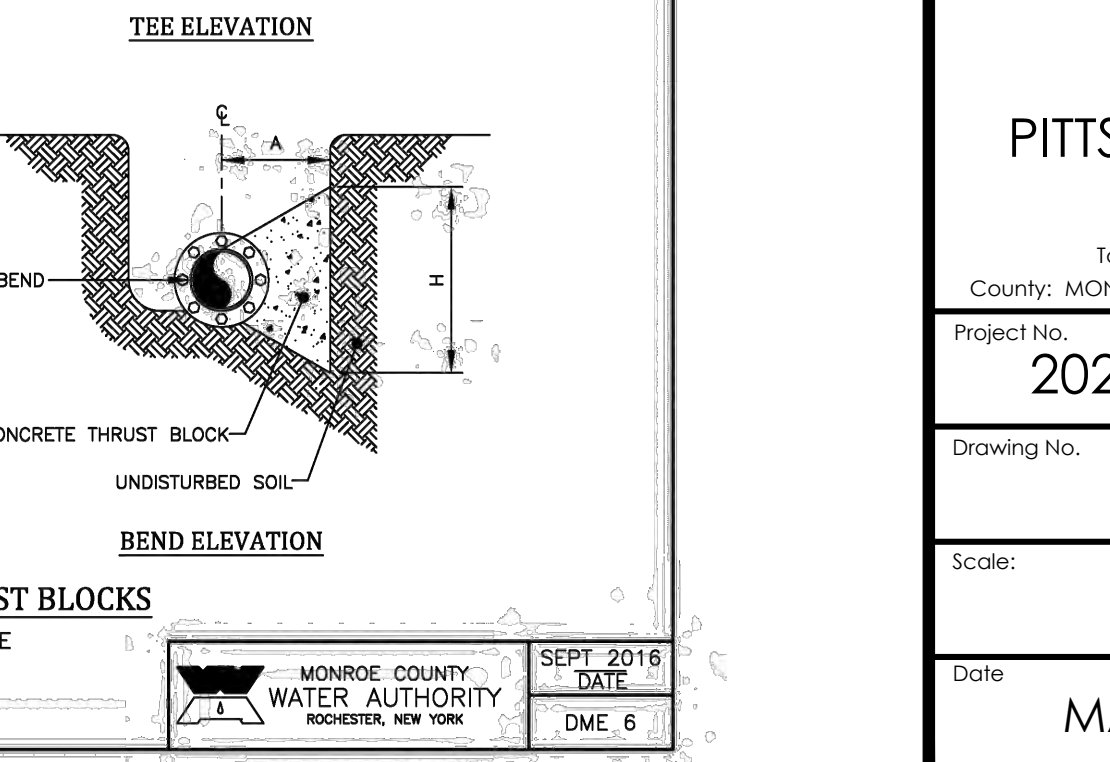
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		N.T.S.	



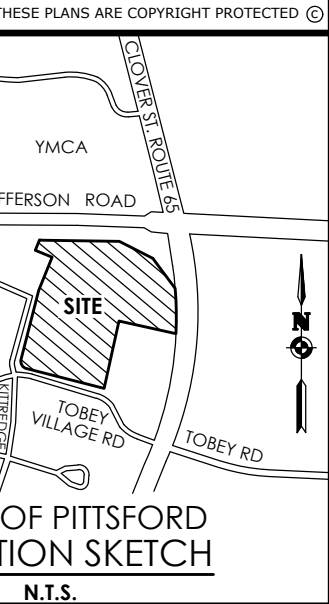
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		N.T.S.	



DETAIL No.	S-14	STANDARD PVC PIPE FITTINGS	REVISIONS
		N.T.S.	



DETAIL No.	S-14	STANDARD PVC PIPE FITTINGS	REVISIONS
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Principal-in-Charge: Jess Sudol, P.E.  
Project Manager: David Cox, P.E.  
Designed by: James Ritzenhaler



No.	Date	By	Description
1			

**DETAILS**  
**PITTSFORD OAKS**  
Town/City: PITTSFORD  
County: MONROE State: NEW YORK  
Project No.: 20233554.0001  
Drawing No.: C 204  
Scale: N.T.S.  
Date: MAY 01, 2024

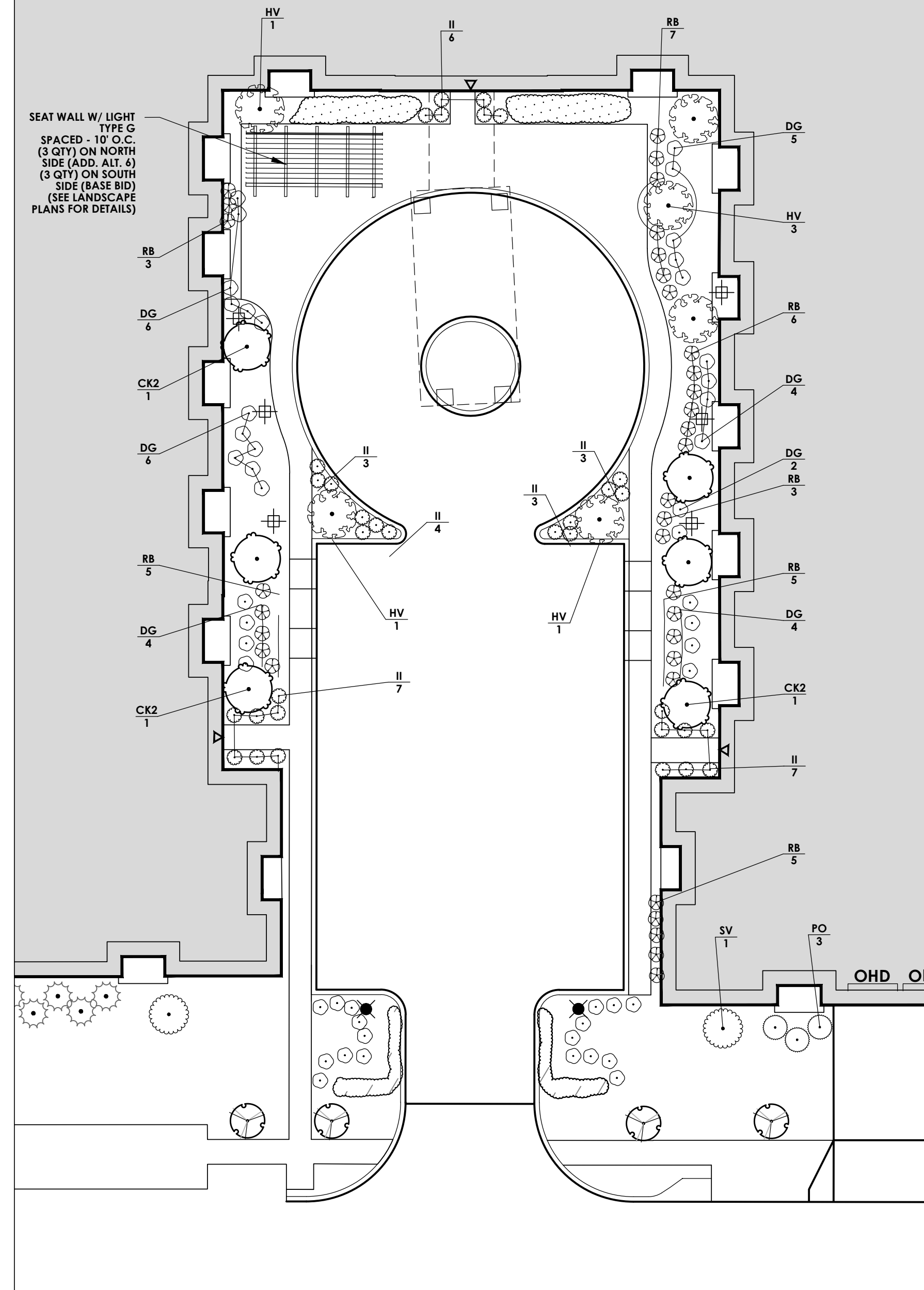
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## COURTYARD AND FOUNDATION PLANTINGS

**REFER TO SHEET C 106,  
LANDSCAPING PLAN FOR  
DETAILED PLANT SCHEDULE**

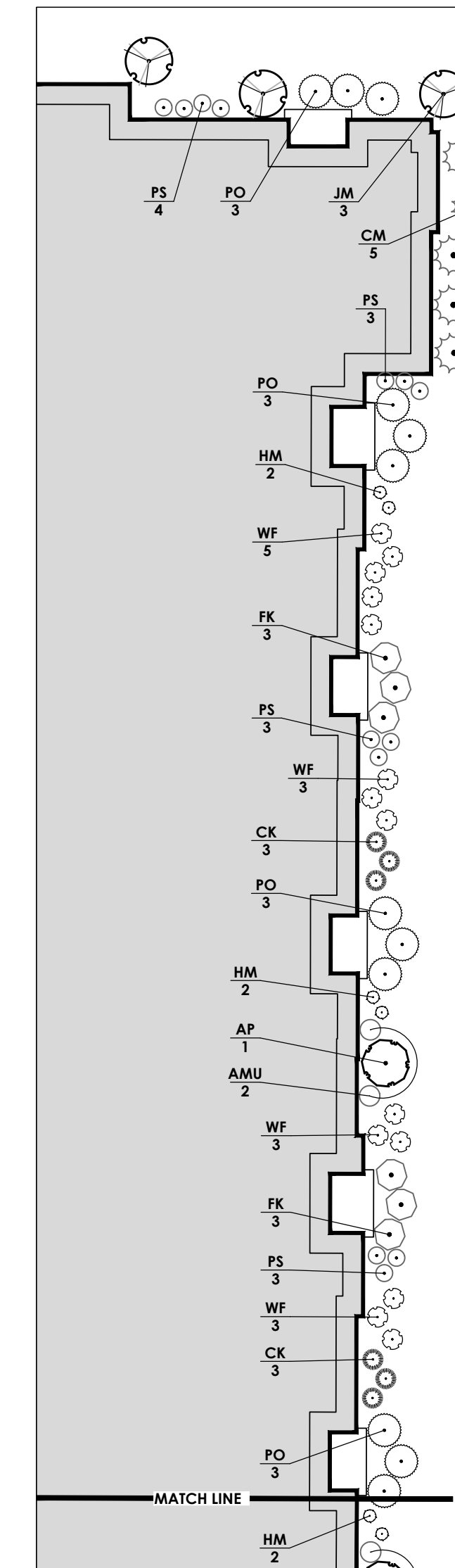
# PROPOSED 3 STORY RESIDENTIAL BUILDING



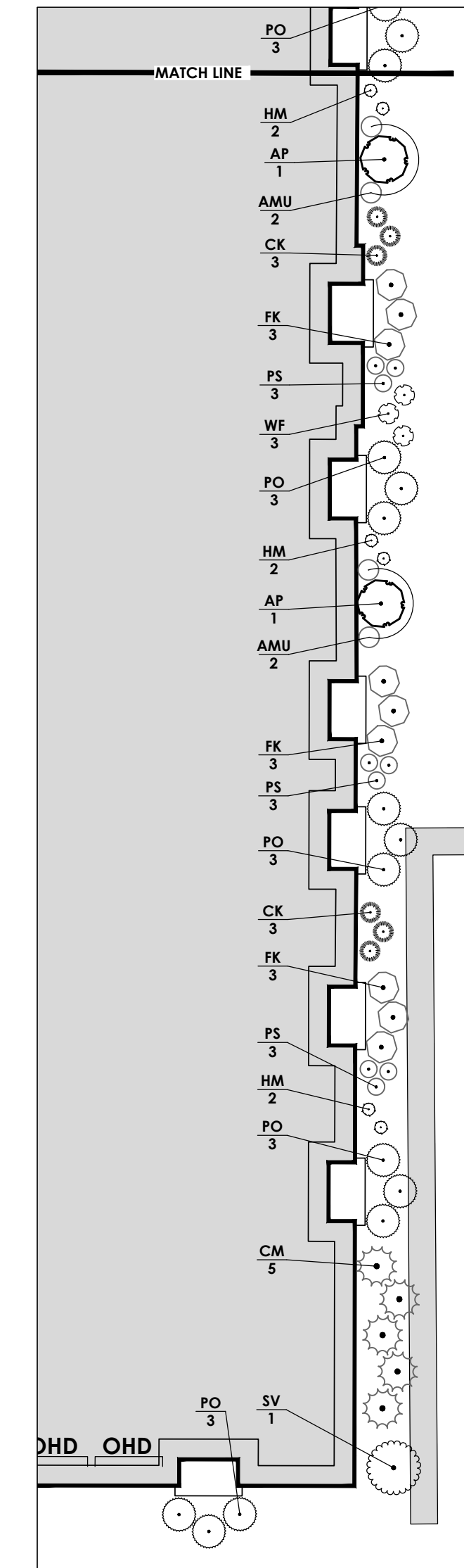
SOUTH COURTYARD  
N.T.S.

**PROPOSED  
3 STORY  
RESIDENTIAL BUILDING**

NORTH COURTYARD  
N.T.S.



EAST SIDE BUILDING, NORTH  
N.T.S.

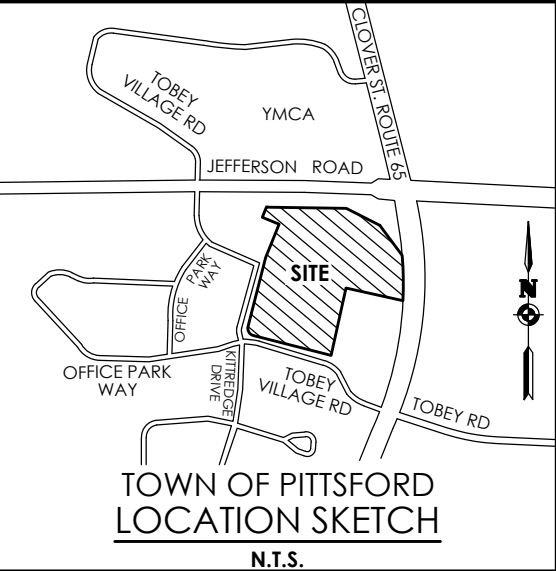


EAST SIDE BUILDING, SOUTH  
N.T.S.



PASSERO ASSOCIATES  
engineering architecture

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Principal-in-Charge      Jess Sudol, P.E.  
Project Manager          David Cox, P.E.  
Designed by                James Ritzenthaler



Revisions			
No.	Date	By	Description
1			

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## DETAILS

## PITTSFORD OAKS

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.  
20233554.0001

Drawing No.

C 205

Scale:  $1''=20'$

Date MAY 01, 2024

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