

Town of Pittsford Design Review & Historic Preservation Board

AGENDA

April 11, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, April 11, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

41 Old Farm Circle (Returning)

Applicant is requesting design review for an approximately 850-square-foot second story addition to the north side of the home.

32 Locke Drive

Applicant is requesting design review a 252-square-foot addition to the south side of the home.

73 Mahogany Run

Applicant is requesting design review for a 256-square-foot three-season room addition off the back of the home.

COMMERCIAL APPLICATIONS: SIGNAGE

3019 Monroe Avenue

Applicant is requesting design review for a 31-square-foot sign for Definitive Beauty in Springhouse Commons.

OTHER REVIEW

Coventry Ridge Section 3

Town of Pittsford Design Review & Historic Preservation Board
MINUTES
March 28, 2024

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, March 28, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; John Mitchell; Bonnie Salem

ABSENT: Kathleen Cristman; Paul Whitbeck; Jim Vekasy

ALSO PRESENT: Anthony Caruso, Building Inspector; Meghan Brooks, Building Department Assistant; Robert Koegel, Town Attorney

ATTENDANCE: There were 18 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

DRHPB Chairman Dirk Schneider stated he has not sent an email out to his assigned inventoried homeowner. DRHPB Member Bonnie Salem stated that she has no update on either 7 Landsdowne Lane nor the Thornell Road home.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

33 Esternay Lane

Applicant is requesting design review for the removal of a sliding glass door and the addition of four windows to the west and north elevations.

David White of 33 Esterney Lane introduced the application.

Chairman Schneider confirmed with Mr. White that the scope of work will just be the infill of the sliding glass door and that the new siding will match the existing home. Mr. White noted that windows will also be added.

DRHPB Chairman Dirk Schneider motioned to approve the removal of a sliding glass door and the addition of four windows to the west and north elevations as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

36 Musket Lane

Applicant is requesting design review for a 353-square-foot addition to the back of the home.

Chris Sidoti of Sidoti Construction introduced the application. Mr. Sidoti stated that all design details will match the existing home.

Chairman Schneider asked what sort of windows will be used. Mr. Sidoti responded that the windows will be double hung and will match.

DRHPB Vice Chairman Dave Wigg motioned to approve the 353-square-foot addition to the back of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

157 Caversham Woods

Applicant is requesting design review for a 27-square-foot front porch addition over the existing stoop.

No one was present to introduce the application.

Chairman Schneider noted that the hand drawing seems a bit rough but the scope of work appears small enough not to warrant more detail. There was a brief discussion about the proposed design.

DRHPB Chairman Dirk Schneider motioned to approve the 27-square-foot front porch addition over the existing stoop, with the condition that the existing entry door system is not changing, as submitted. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

41 Old Farm Circle

Applicant is requesting design review for an approximately 850-square-foot second story addition to the north side of the home.

Town Attorney Robert Koegel stated that the current plans before the Board are not in compliance with the Zoning Code due to the creation of a secondary dwelling unit within the interior plans. He urged the Board to only make comments on the design and wait for zoning compliance before making any motions. Mr. Koegel gave an overview of the term "dwelling unit" as defined in Town Code §185-8 and noted the area of concern on the submitted plans.

Daniela Polidor of 41 Old Farm Circle introduced the application. Ms. Polidor stated that the suite is being constructed for her 17-year-old daughter and shared her reasoning for choosing these specific design elements, including an emergency egress and the ability to continue living comfortably at home as an adult.

Chairman Schneider asked the Board if they had any questions or concerns on the exterior design. Board Member Salem stated the board and batten siding does not seem very compatible with the look of the home and adds a third texture. Ms. Polidor stated that the cedar shake is much more expensive but that she could concede to using it if the Board preferred it. Chairman Schneider asked a few questions about the windows, and Ms. Polidor stated that the intent was to blend and harmonize the different window designs that already exist within the home. Chairman Schneider stated that the windows over the garage are appropriate, though, if

possible, it would be better to match the current upper windows. Ms. Polidor stated that she already has them and would prefer to be able to use them.

Chairman Schneider stated that it would better suit the home to have the peak of the south elevation follow the same lines and pattern as the rest of the home. There was further discussion about the ridgeline, chimney, and windows.

The following design commentary was made to the applicant:

1. As to the design of the west elevation, the cantilever on the middle part of the second floor should align with the current structure rather than step back towards the addition.
2. As to the siding of the addition, the siding should match the existing structure rather than introduce a new material.
3. As to the bonus room addition, the window proportions and double-hung sliding windows that are proposed would be acceptable because the addition is a new structure, though they are not preferred. The picture window is acceptable.
4. As to the addition in its entirety, the massing is suitable for the home.

The Design Review & Historic Preservation Board has asked the applicant to return to the Board with a finalized design once zoning code has been met.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for a 34.45-square-foot sign in Pittsford Plaza for Columbia Sportswear.

No one was present to introduce the application.

Building Inspector Anthony Caruso stated that the sign meets sizing regulations.

Board Member Salem noted that the positioning of the sign on the façade seems very odd. Mr. Caruso stated that the tenant combined two units. Vice Chairman Wigg asked which units were combined. Building Department Assistant Meghan Brooks informed him that it was the old The Great Frame Up store and the space next to it.

DRHPB Member Bonnie Salem motioned to approve the 34.45-square-foot sign for Columbia Sportswear in Pittsford Plaza as shown on page 5 of the submitted plans (rendering below). This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.



03/14/2024 MEETING MINUTES REVIEW

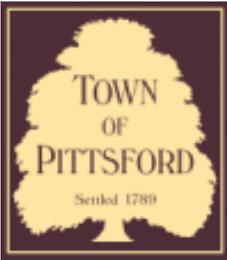
The minutes of March 14, 2024, were approved following a motion by DRHPB Member Bonnie Salem. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 6:54PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000038

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 41 Old Farm Circle PITTSFORD, NY 14534

Tax ID Number: 164.19-2-25

Zoning District: RN Residential Neighborhood

Owner: Polidor, Daniela Ilona

Applicant: Qid Construction

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for an approximately 850-square-foot second story addition to the north side of the home.

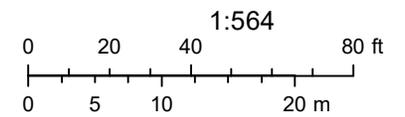
Meeting Date: April 11, 2024



RN Residential Neighborhood Zoning



Printed March 21, 2024



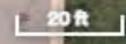
Town of Pittsford GIS

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Fri Apr 14 2023

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nearmap







INSTRUMENT LOCATION MAP

SHOWING

LOT 36

OF THE

KNICKERBOCKER HILL SUBDIVISION, SECT. 4

(LIBER 147 OF MAPS, PAGE 51)

~SITUATE IN:~

TOWN LOT 15, TOWNSHIP 12, RANGE 5,
TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK
SCALE: 1"=30' DATED: MARCH 1, 2024



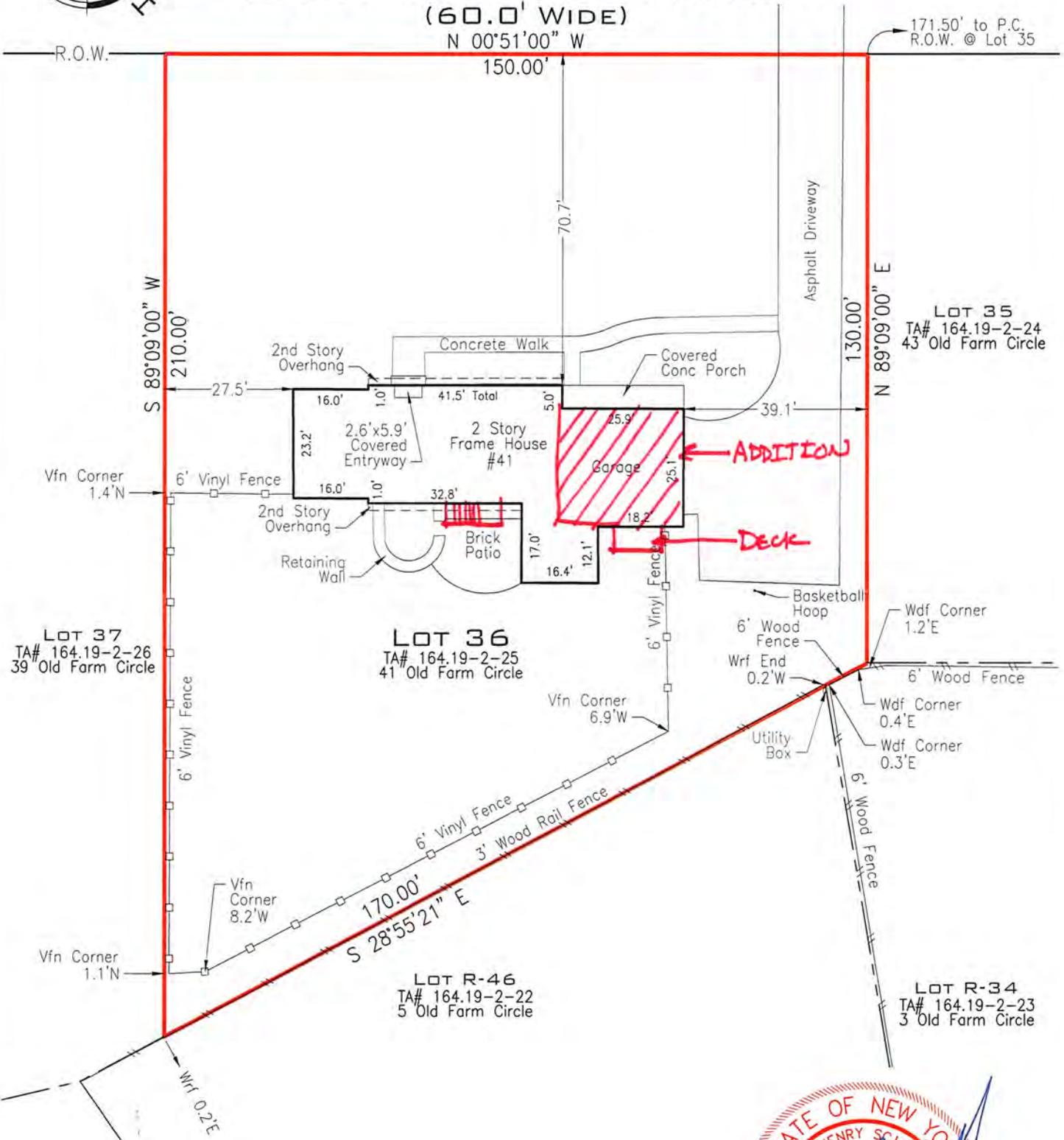
OLD FARM CIRCLE

(60.0' WIDE)

N 00°51'00" W

171.50' to P.C.
R.O.W. @ Lot 35

R.O.W.



LOT 37
TA# 164.19-2-26
39' Old Farm Circle

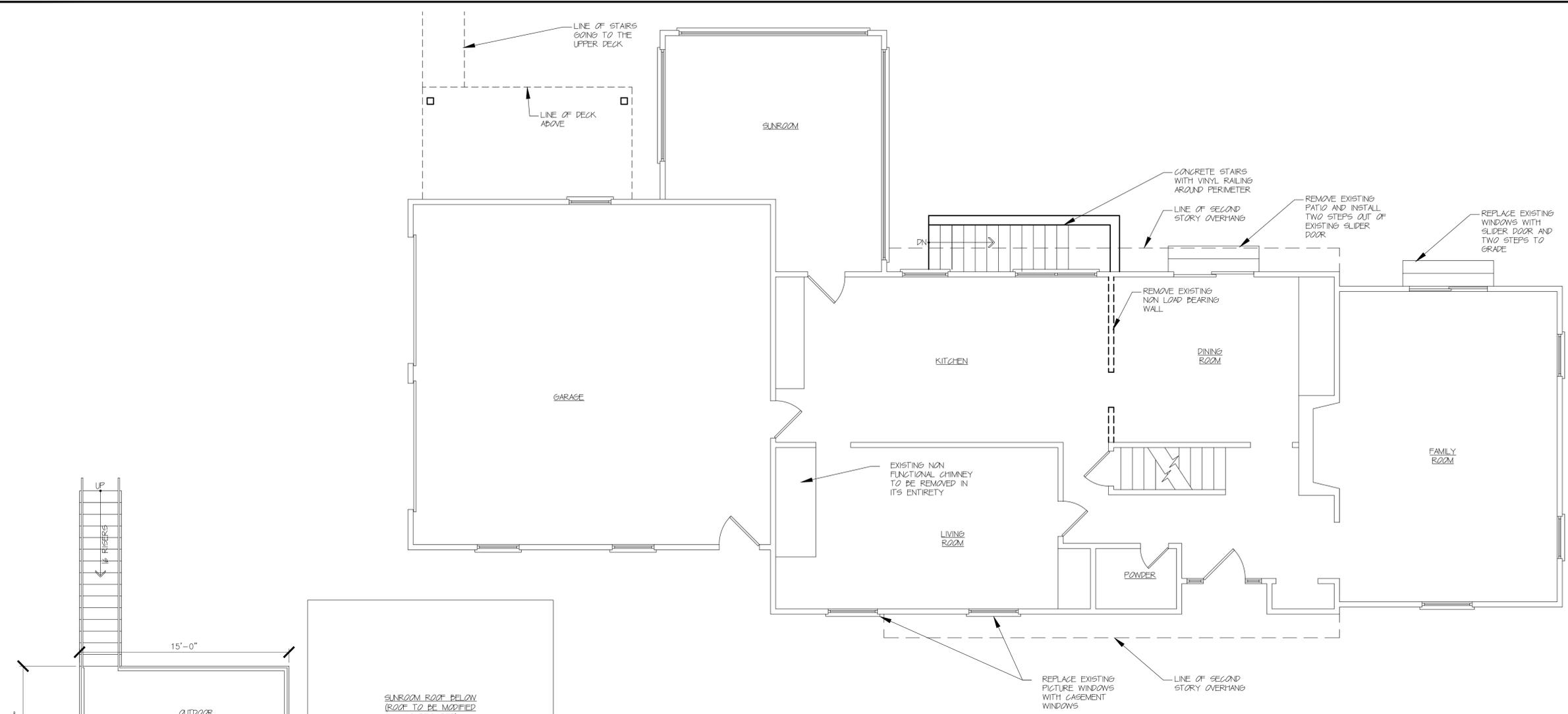
LOT 36
TA# 164.19-2-25
41' Old Farm Circle

LOT 35
TA# 164.19-2-24
43' Old Farm Circle

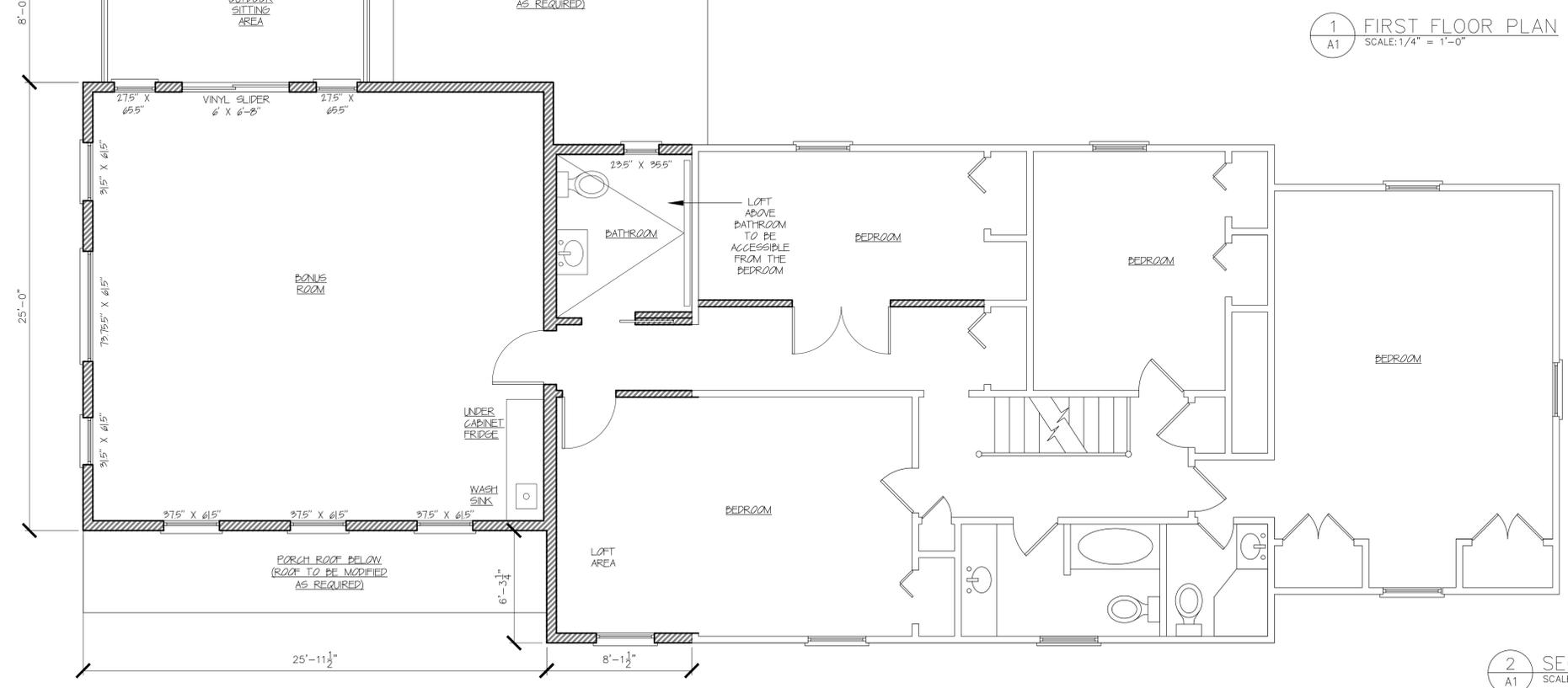
LOT R-46
TA# 164.19-2-22
5' Old Farm Circle

LOT R-34
TA# 164.19-2-23
3' Old Farm Circle





1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

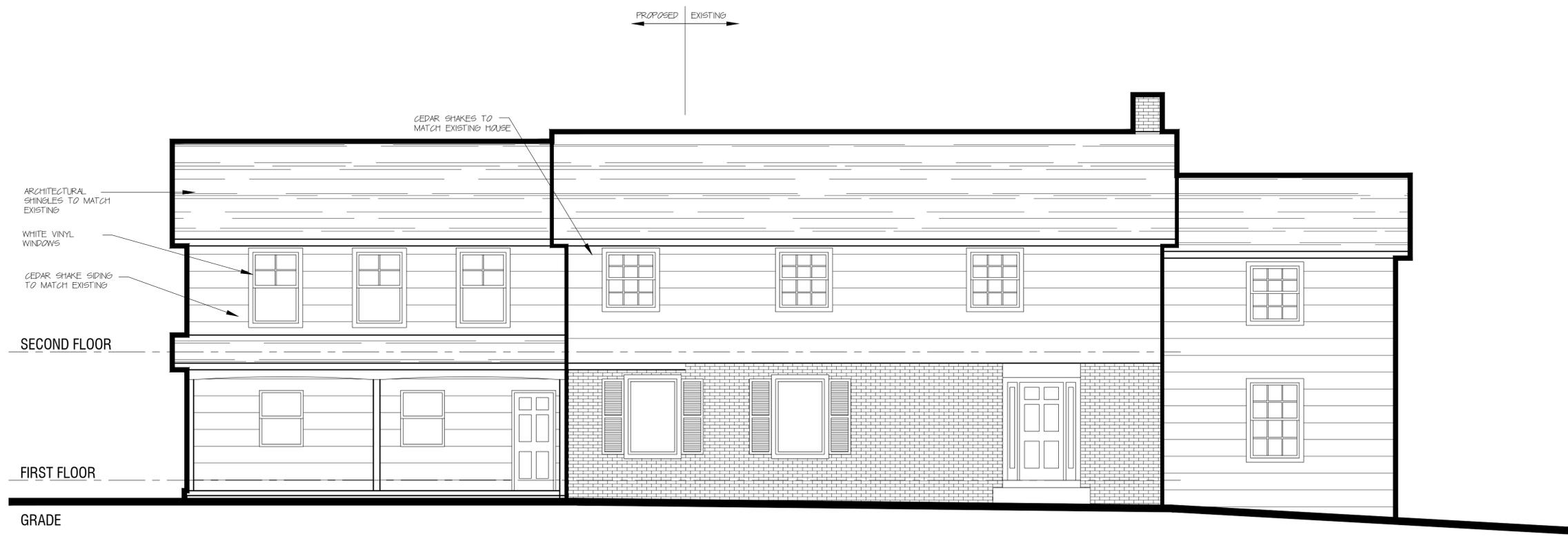
POLIDOR RESIDENCE
SECOND STORY BONUS ROOM ADDITION
41 OLD FARM CIRCLE
PITTSFORD, NY

POLIDOR RESIDENCE
SECOND STORY BONUS ROOM ADDITION
41 OLD FARM CIRCLE
PITTSFORD, NY

DATE	DRAWN	CHECKED
03/21/24	PTF	PTF

SCALE AS NOTED
SHEET TITLE
FLOOR PLANS

PROJECT NUMBER
A1
DRAWING NUMBER



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

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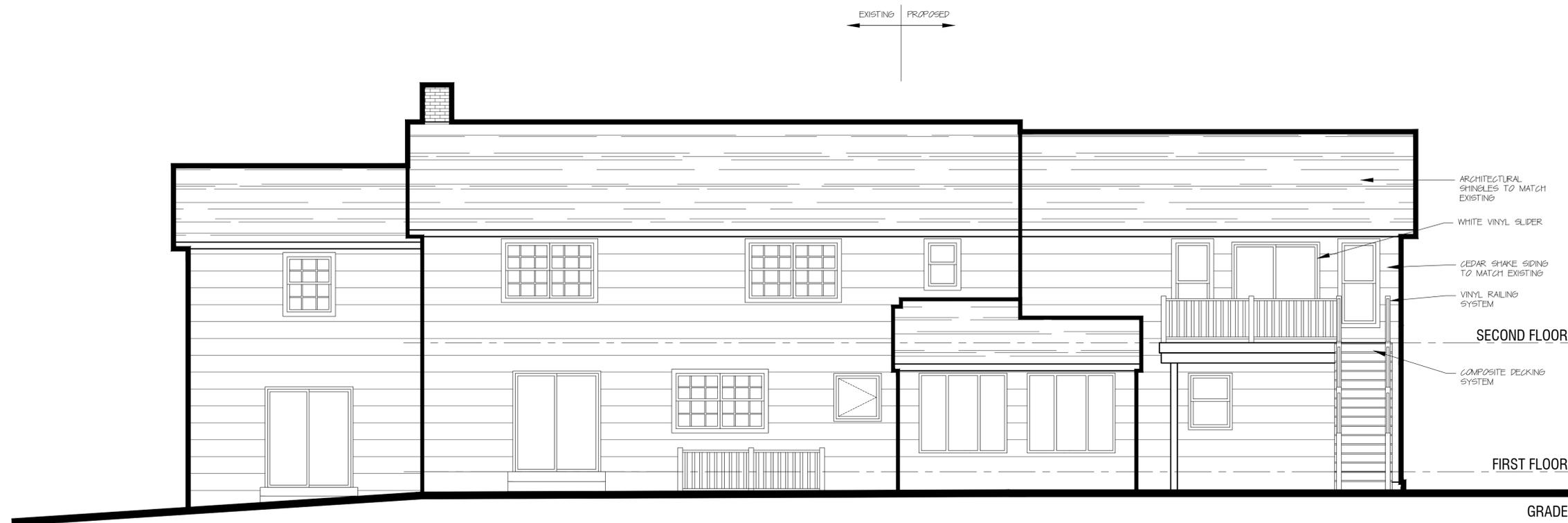
POLIDOR RESIDENCE
SECOND STORY BONUS ROOM ADDITION
41 OLD FARM CIRCLE
PITTSFORD, NY

DATE	DRAWN	CHECKED
03/21/24	PTF	PTF

SCALE AS NOTED

SHEET TITLE
ELEVATIONS

PROJECT NUMBER
A2
DRAWING NUMBER



1 EAST ELEVATION
A2 SCALE: 1/4" = 1'-0"

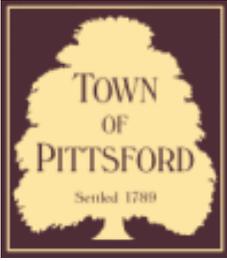
REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

POLIDOR RESIDENCE
SECOND STORY BONUS ROOM ADDITION
41 OLD FARM CIRCLE
PITTSFORD, NY

DATE	DRAWN	CHECKED
03/21/24	PTF	PTF
SCALE AS NOTED		
SHEET TITLE		
ELEVATIONS		

PROJECT NUMBER

A2
DRAWING NUMBER



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000039

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 32 Locke Drive PITTSFORD, NY 14534

Tax ID Number: 192.08-2-85

Zoning District: RN Residential Neighborhood

Owner: Wilborn, Derrick

Applicant: James Beswick Contractor

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
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- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review a 252-square-foot addition to the south side of the home.

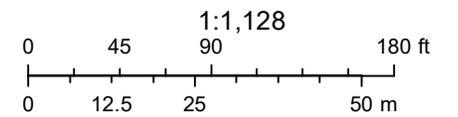
Meeting Date: April 11, 2024



RN Residential Neighborhood Zoning



Printed April 4, 2024



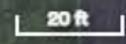
Town of Pittsford GIS

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Fri Apr 14 2023

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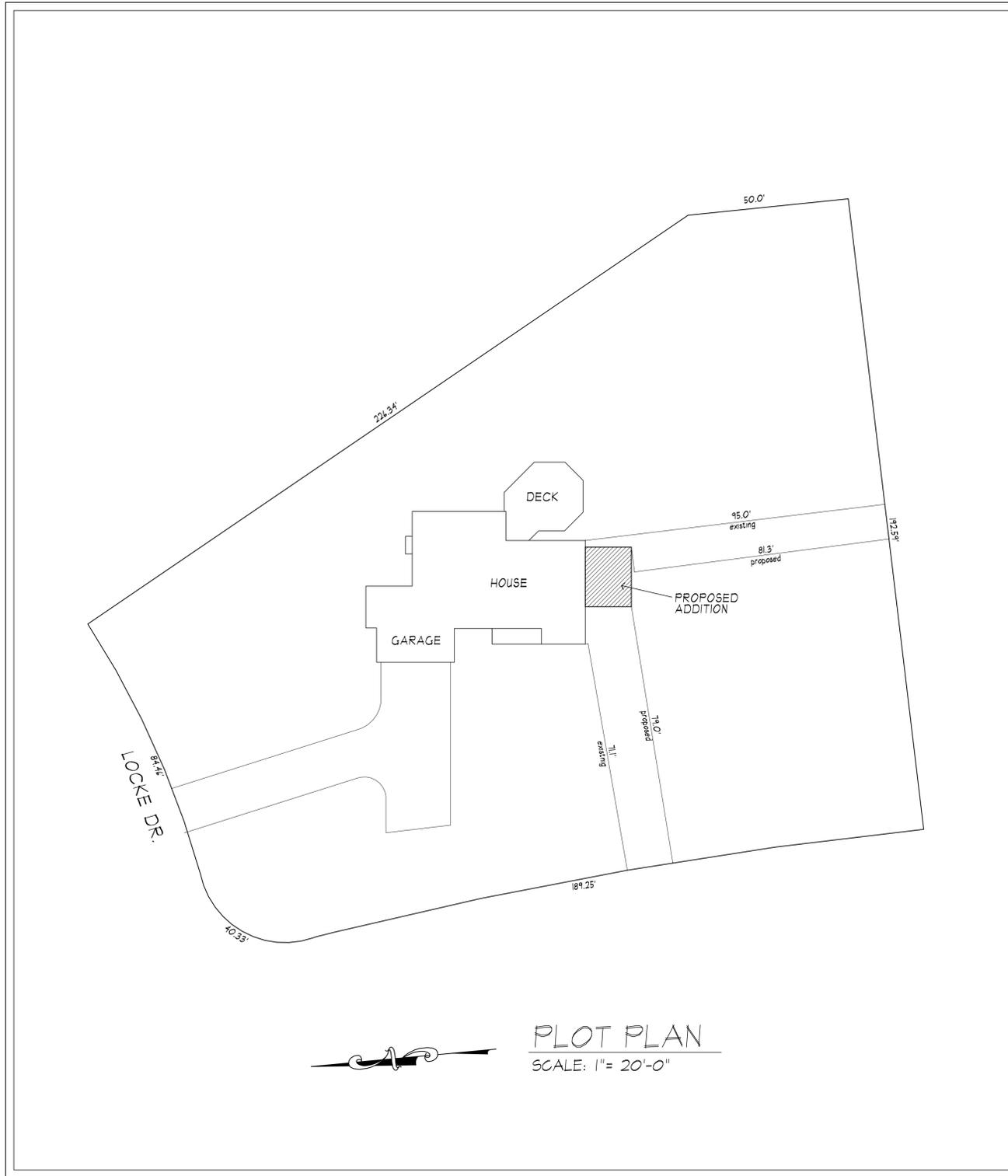
nearmap





GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
2500 PSI FLOOR SLABS
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- N/A
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- N/A
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMED EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



PLOT PLAN
SCALE: 1" = 20'-0"

ADDITION TO RESIDENCE
RICK & KIM WILBORN
32 LOCKE Dr. PITTSFORD, NY

DRAWING INDEX

- | | |
|---|--|
| 1 | TITLE PAGE |
| 2 | ELEVATIONS & BUILDING SECTION |
| 3 | PLAN VIEW & FOUNDATION existing & proposed |

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	R-21 WALLS BAND JOISTS
4. FLOOR R-FACTOR	R-30	N/A
5. CRAWLSPACE CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.7.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.11.1



LICENSED IN CO, MA, ME, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS "ARCHITECTURAL WORKS" COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTOR INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.L.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.L.A. ARCHITECT P.C.

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PROJECT:

ADDITION TO RESIDENCE
32 LOCKE DR
PITTSFORD, NY 14534

CLIENT:

M M WILBORN

DRAWING:

TITLE PAGE

DRAWN:

PAUL MORABITO

DATE:

JANUARY 2024

SCALE:

1/4" = 1'-0"

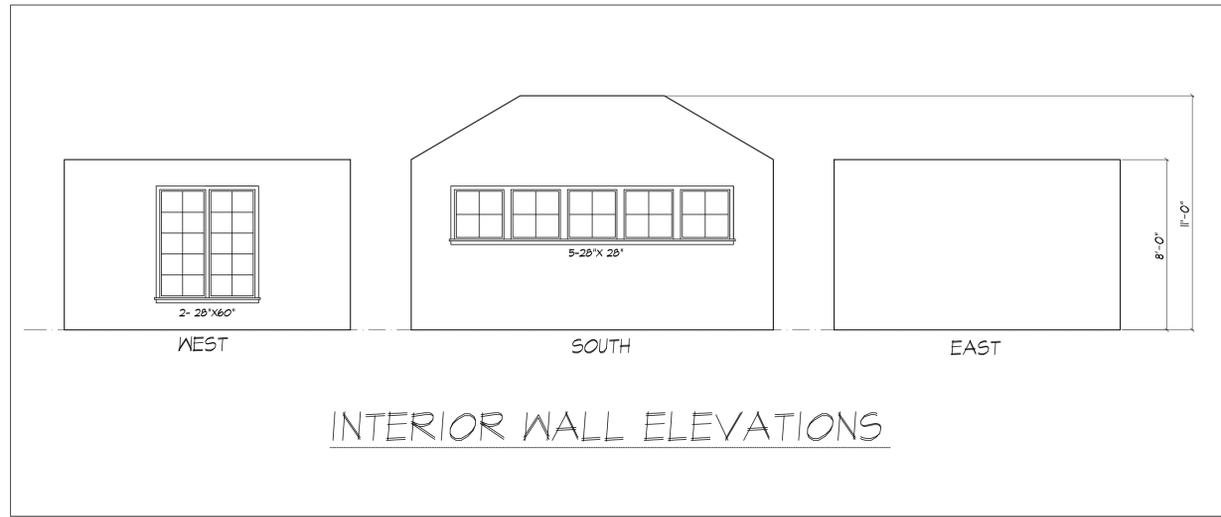
JOB NO.:

24M4429

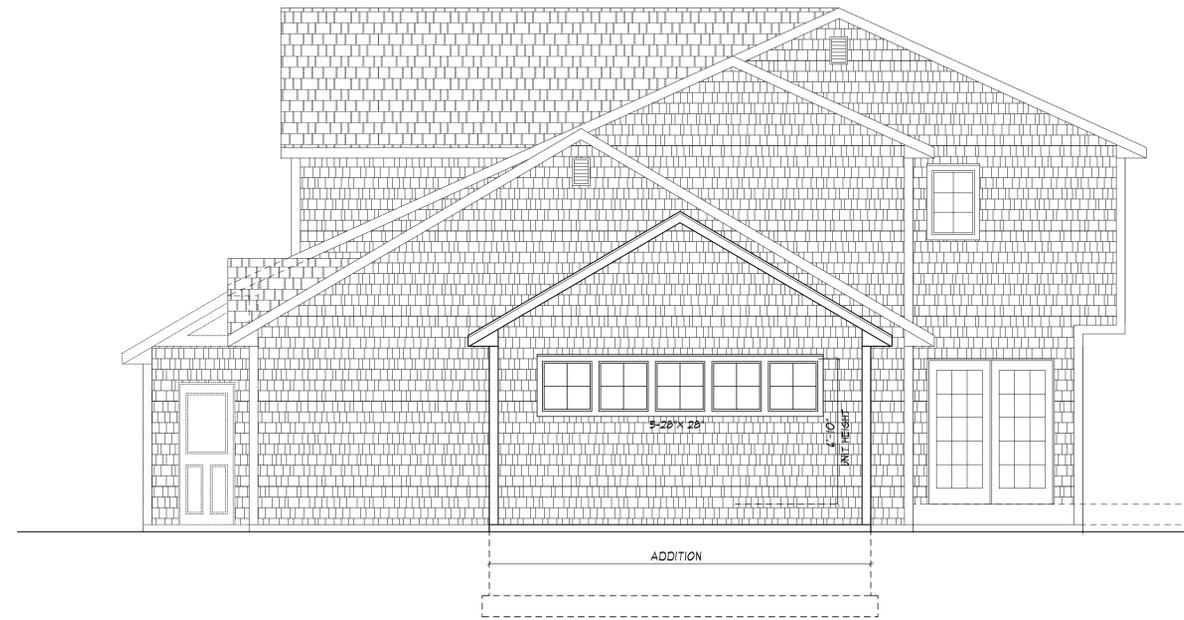
SHEET:

1
OF 3 SHEETS

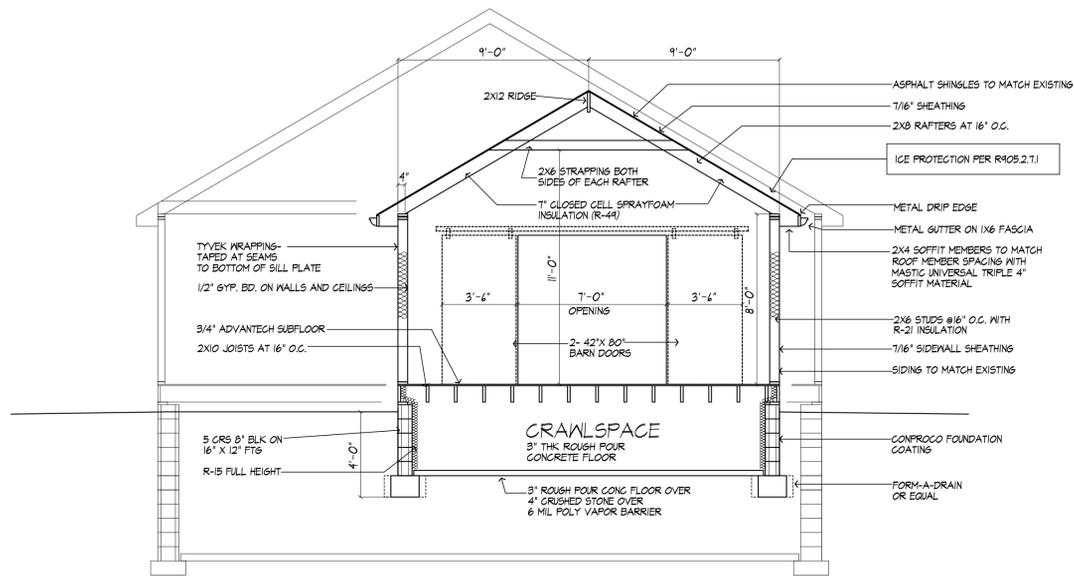




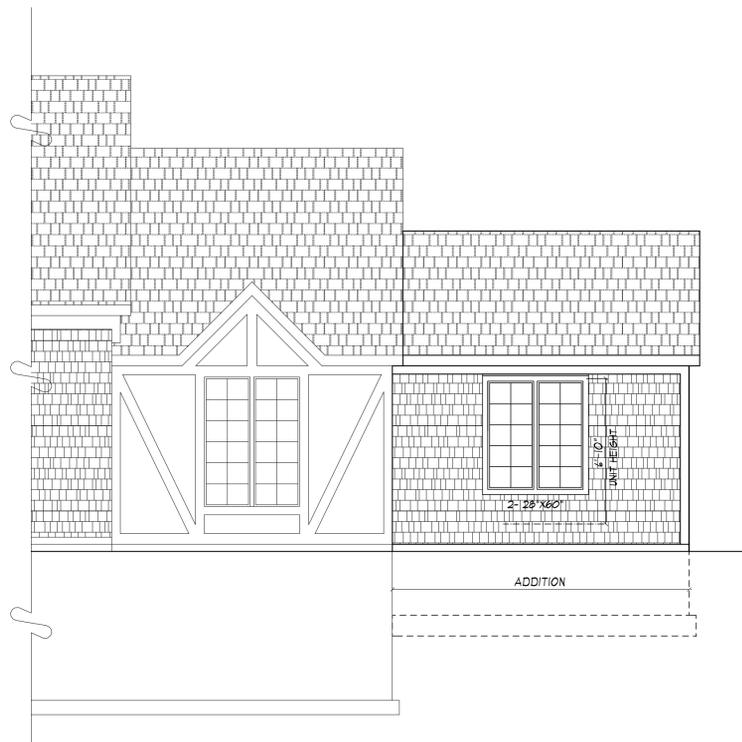
INTERIOR WALL ELEVATIONS



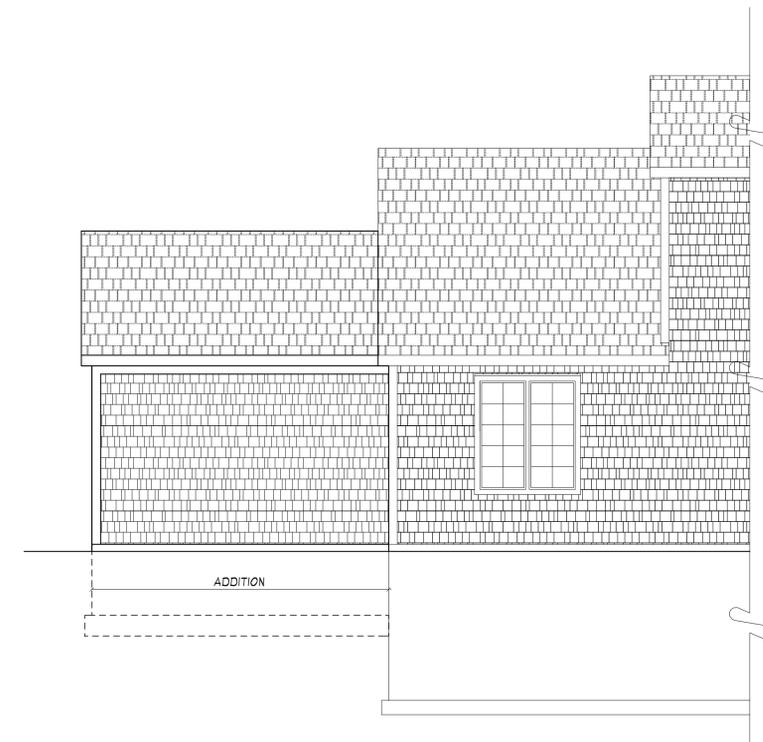
RIGHT SIDE ELEVATION



BUILDING SECTION



FRONT ELEVATION



REAR ELEVATION



MORABITO ARCHITECTS

LICENSED IN CO, MA, ME, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

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PROJECT:
ADDITION TO RESIDENCE
32 LOCKE DR
PITTSFORD, NY 14534

CLIENT:
M/M MILBORN

DRAWING:
ELEVATIONS & BUILDING SECTION

DRAWN:
PAUL MORABITO

DATE: JANUARY 2024

SCALE: 1/4" = 1'-0"

JOB NO.: 24M4429

SHEET:

2

OF 3 SHEETS





MORABITO ARCHITECTS
 LICENSED IN CO, MA, ME, NY, NY, PA, SC

121 Sully's Trail
 Pittsford, NY 14534

(585) 264-1330
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NOTICE:

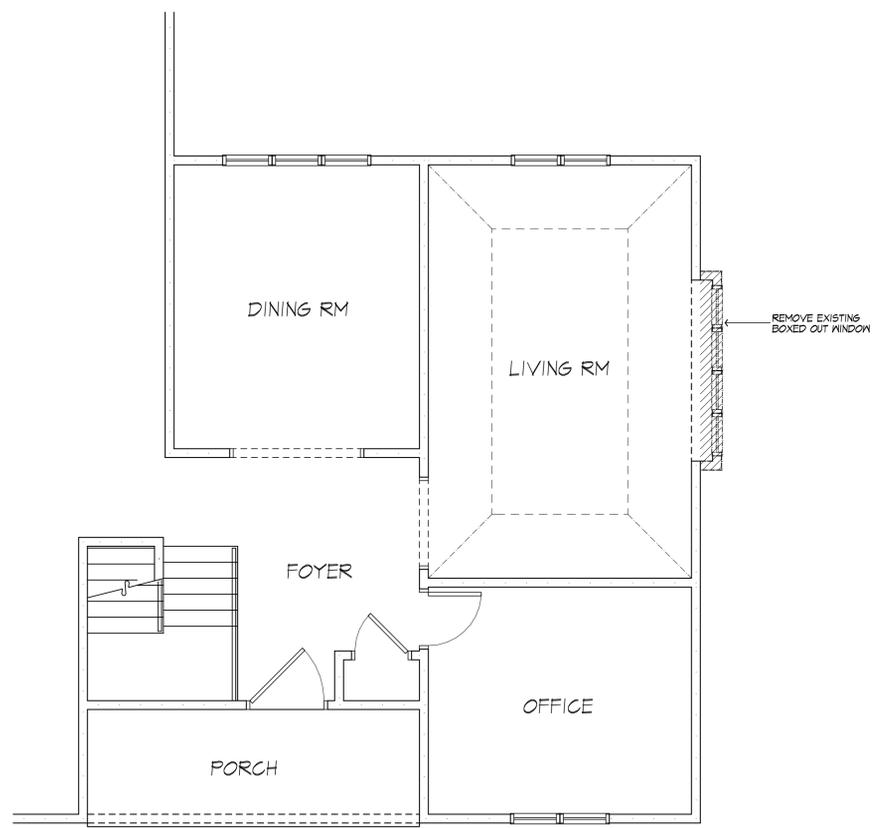
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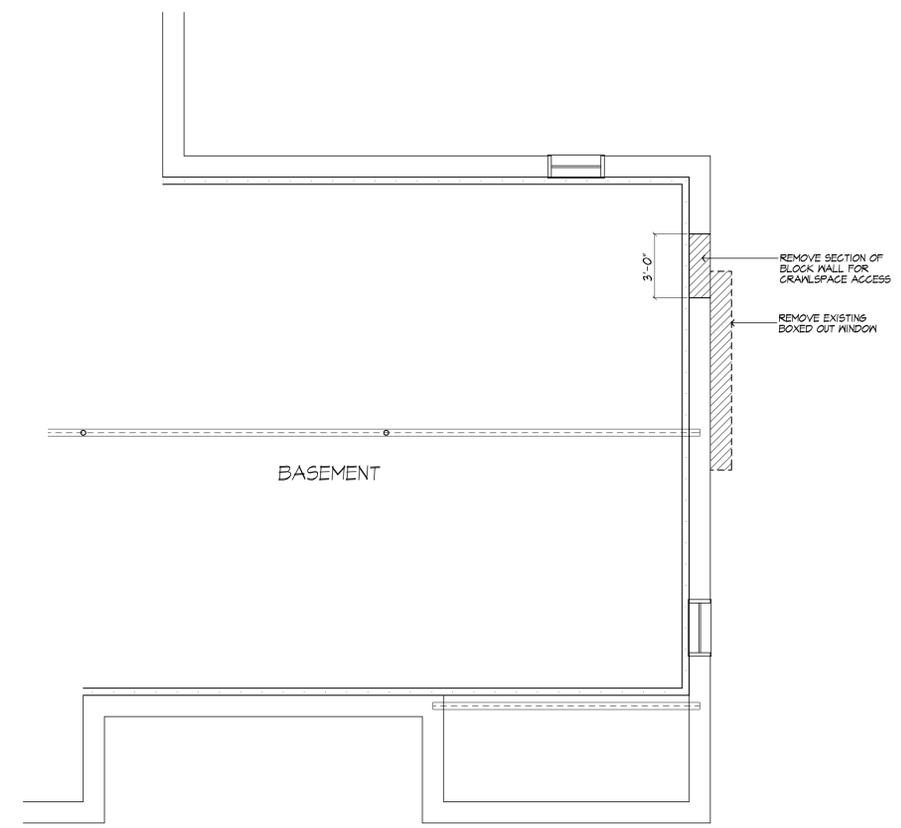
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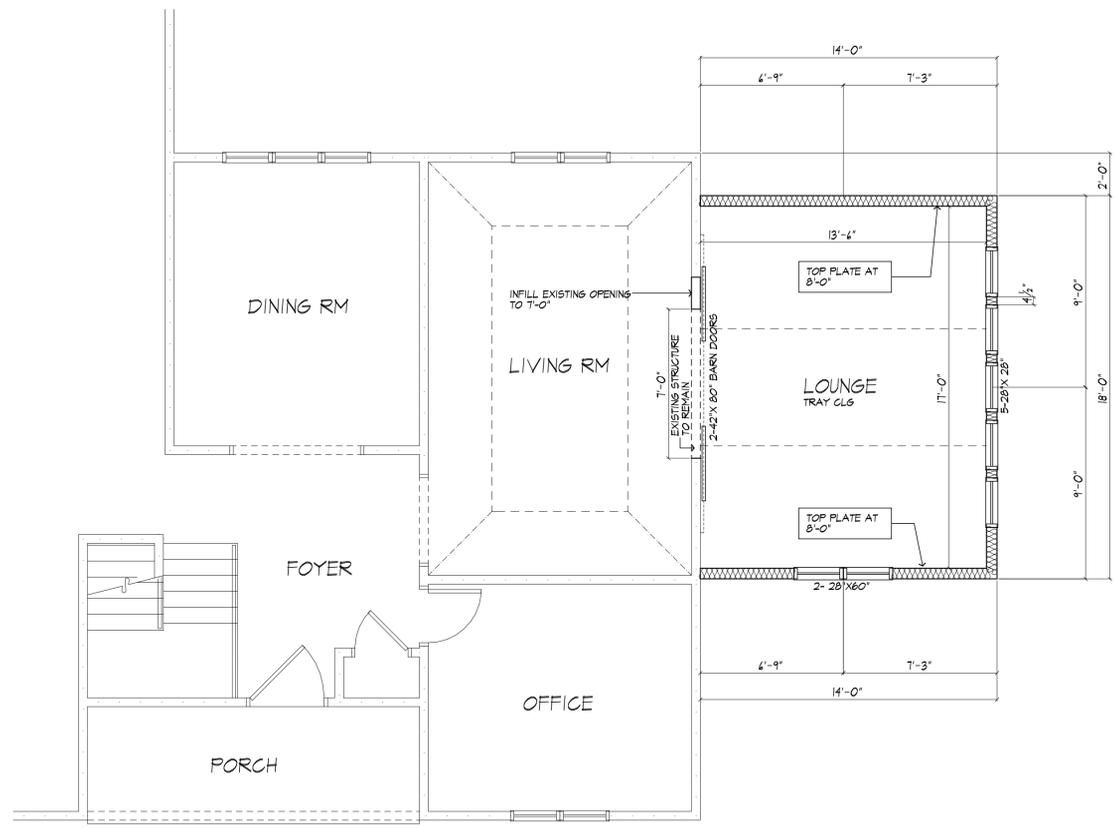
COPYRIGHT 2024



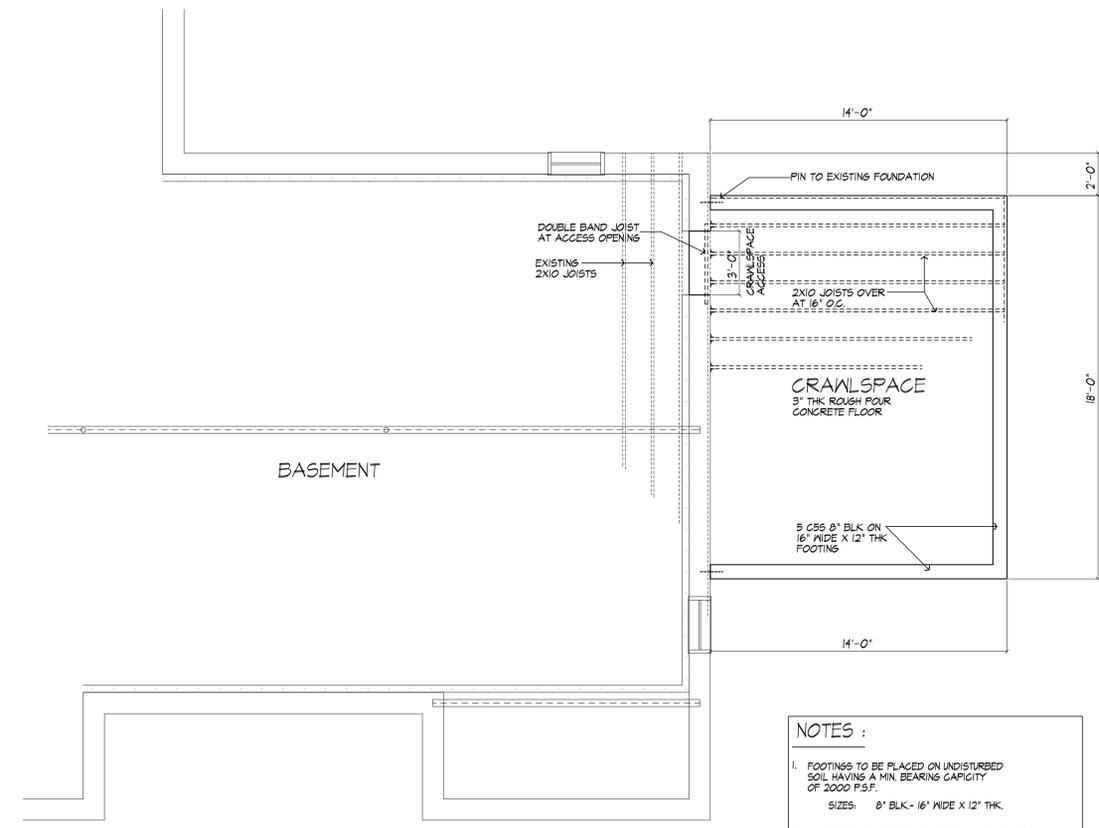
FLOOR PLAN- EXISTING
 WITH REMOVALS SHOWN



FOUNDATION PLAN - EXISTING
 WITH REMOVALS SHOWN



FLOOR PLAN- PROPOSED
 AREA OF ADDITION- 252 SQ FT



FOUNDATION PLAN - PROPOSED
 CONCRETE FLOOR AREA: 222 SQ FT

- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
 SIZES: 8" BLK - 16" WIDE X 12" THK.
 - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
 FOOTINGS: 2500 P.S.I.
 FLOOR SLABS: 2000 P.S.I.
 - PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
 - PROVIDE SIMPSON OR EQUAL JOIST HANGERS AT ALL HDR CONNECTIONS OF WOOD FRAMING

PROJECT:
 ADDITION TO RESIDENCE
 32 LOCKE DR
 PITTSFORD, NY 14534

CLIENT:
 M/M MILBORN

DRAWING:
 PLAN VIEW & FOUNDATION
 EXISTING & PROPOSED

DRAWN:
 PAUL MORABITO

DATE: JANUARY 2024

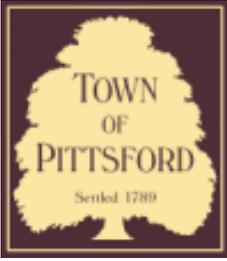
SCALE: 1/4" = 1'-0"

JOB NO.: 24M4429

SHEET:

3
 OF 3 SHEETS





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000047

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 73 Mahogany PITTSFORD, NY 14534

Tax ID Number: 177.04-3-1

Zoning District: RN Residential Neighborhood

Owner: Fazili, Anees

Applicant: Keystone Custom Decks LLC

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 256-square-foot three-season room addition off the back of the home.

Meeting Date: April 11, 2024

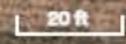


2024
WOODEN FENCE
585-971-1000

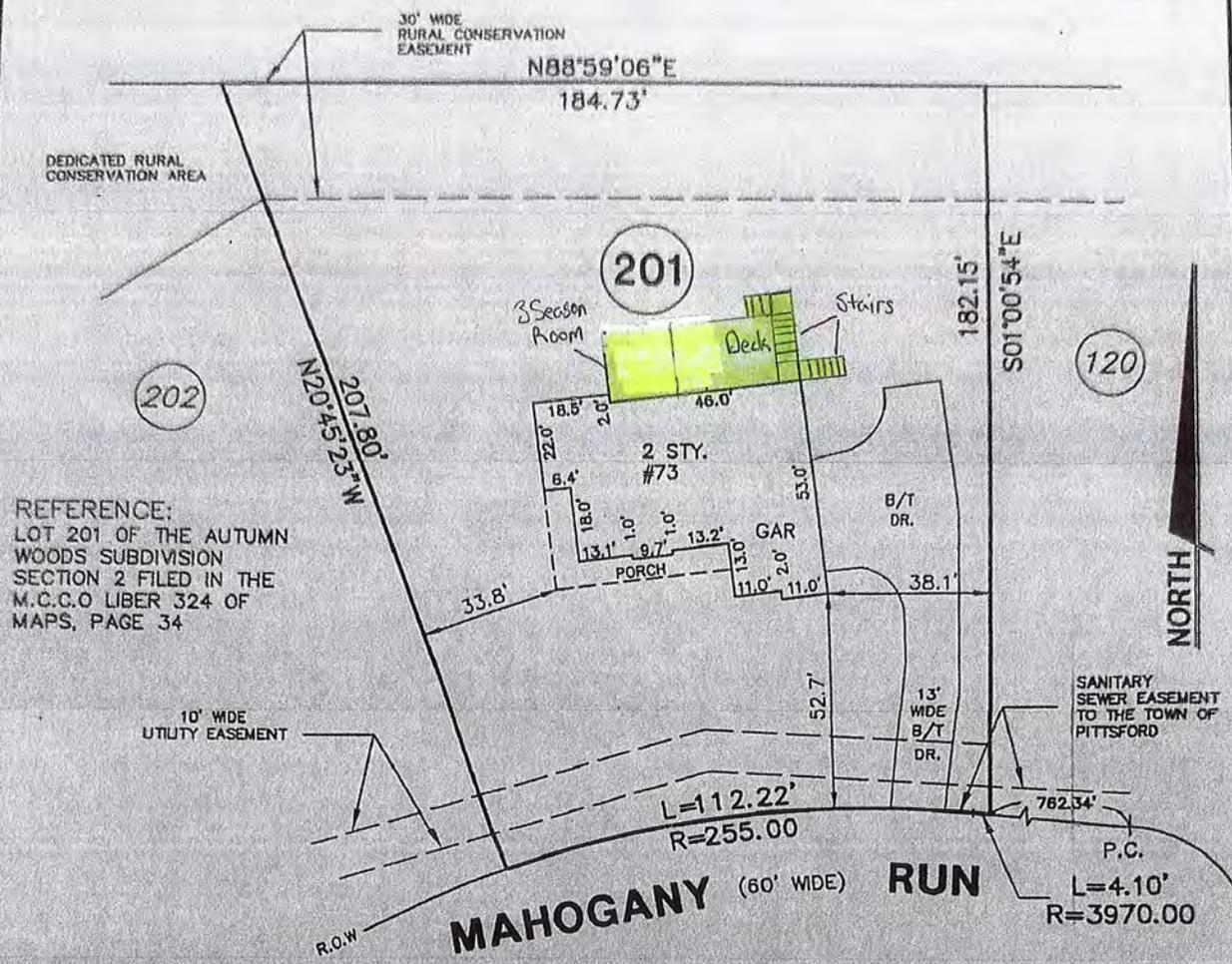


Fri Apr 14 2023

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nearmap



REFERENCE:
LOT 201 OF THE AUTUMN WOODS SUBDIVISION SECTION 2 FILED IN THE M.C.C.O LIBER 324 OF MAPS, PAGE 34

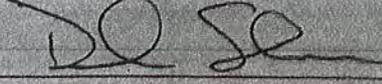
MAP OF AN INSTRUMENT SURVEY OF:
LOT 201 OF THE AUTUMN WOODS SUBDIVISION SECTION 2

SITUATE IN:
TOWN OF PITTSFORD MONROE COUNTY NEW YORK
DATE: MAY 31, 2007 SCALE: 1"=40'

ANY UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF ARTICLE 145, SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

WE, PARRONE ENGINEERING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON JUNE 7, 2006

IT IS FURTHER CERTIFIED TO:
CHARTER ONE BANK, its successors and/or assigns
MONROE TITLE INSURANCE CORPORATION
OSBORN, REED & BURKE, LLP.
MARK S. GUNTHER, ESQ.
MICHAEL J. KLOTZ
LYNN E. KLOTZ


DAVID S. STAERR, P.L.S. LIC. NO. 049962
PARRONE ENGINEERING



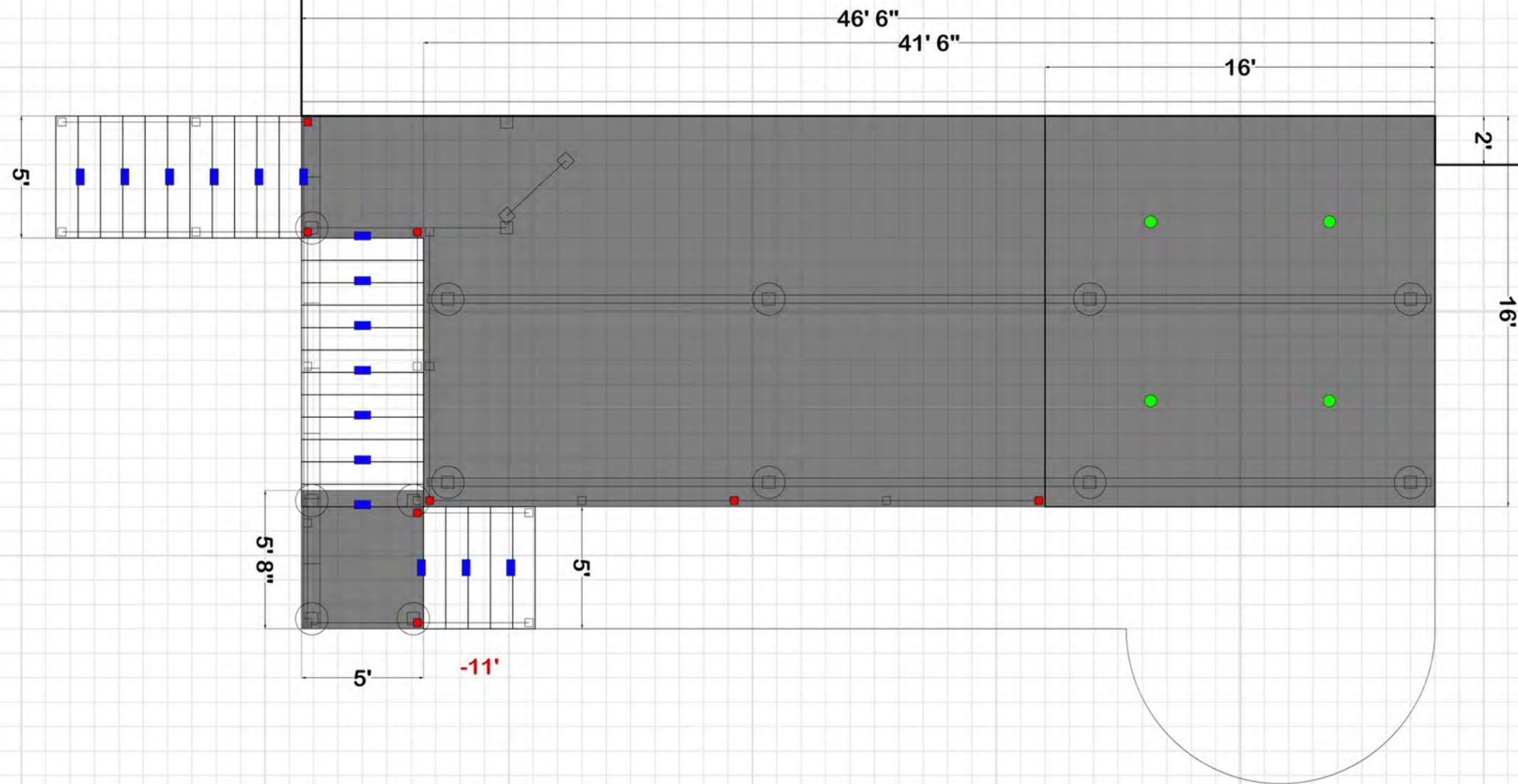
THE PIANO WORKS
349 WEST COMMERCIAL STREET
SUITE 3200
EAST ROCHESTER, NY 14445
T 585.586.0200 F 585.586.6752









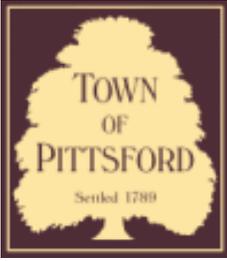


Scale: 3/16" = 1 ft

- Post Cap Lights ●
- Riser Lights ●
- Recessed Lights ●
- Side Mount Lights ●
- In-Deck Lights ●

Deck Sq. Ft. = 842 Patio Sq. Ft. = 1048

Customer Info	
Client Name:	<input type="text"/>
Address:	73 Mahogany Run
City:	Pittsford
State/Province:	NY
Zip/Postal Code:	14534
Designer Name:	Lydia Esh



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S24-000004

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3001 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-71.1

Zoning District: C Commercial

Owner: Monroe Clover Plaza LLC

Applicant: Premier Sign Systems, LLC

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

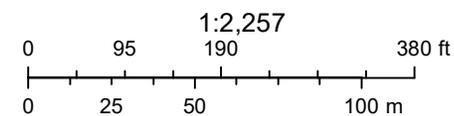
Project Description: Applicant is requesting design review for a 31-square-foot sign for Definitive Beauty in Springhouse Commons.

Meeting Date: April 11, 2024

RN Residential Neighborhood Zoning



Printed April 4, 2024



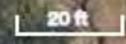
Town of Pittsford GIS

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Fri Apr 14 2023

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nearmap



PHOTO ELEVATION NOT TO SCALE - EXISTING



PHOTO ELEVATION NOT TO SCALE - PROPOSED

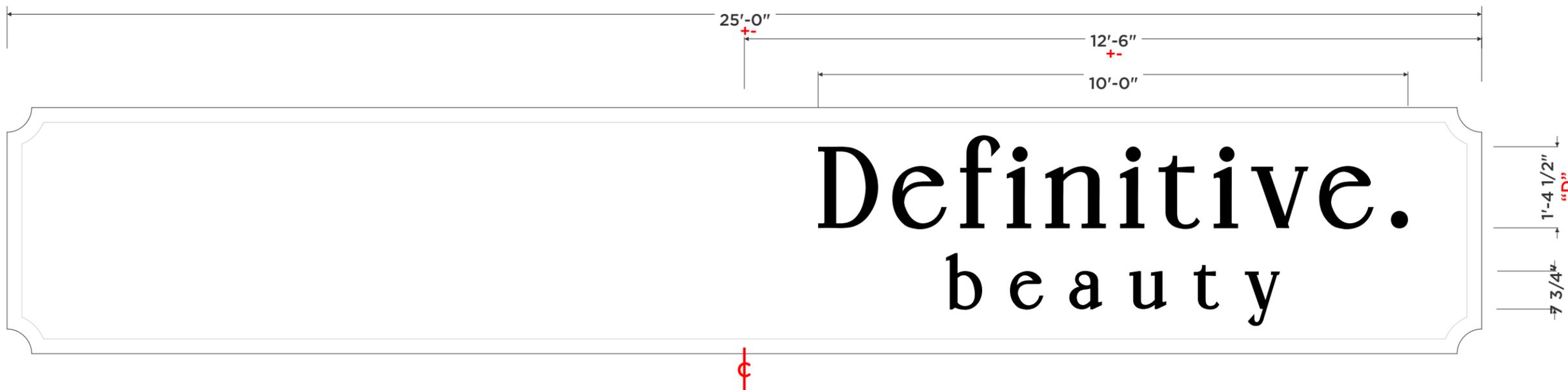
DESCRIPTION:

REMOVE EXISTING "ELLIE" AND "SORRELES" LETTERS, FILL HOLES AND PAINT WHITE IN THE FIELD AND INSTAL A NEW SET OF 1/4" THICK FLAT LETTERS.

COLOR:

LETTERS: BLACK
MOUNTING: STUD MOUNTED

QTY = 1



I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: _____

Date
THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.

ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC

PRODUCTION READY ART WORK YES NO

REVISIONS

DATE	DESCRIPTION	INIT.
04/01/24	PICK OPTION 2 FOR SIGN-REV1	MR



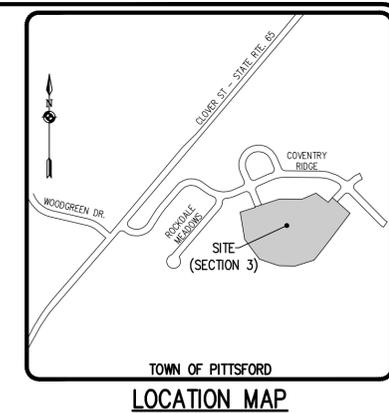
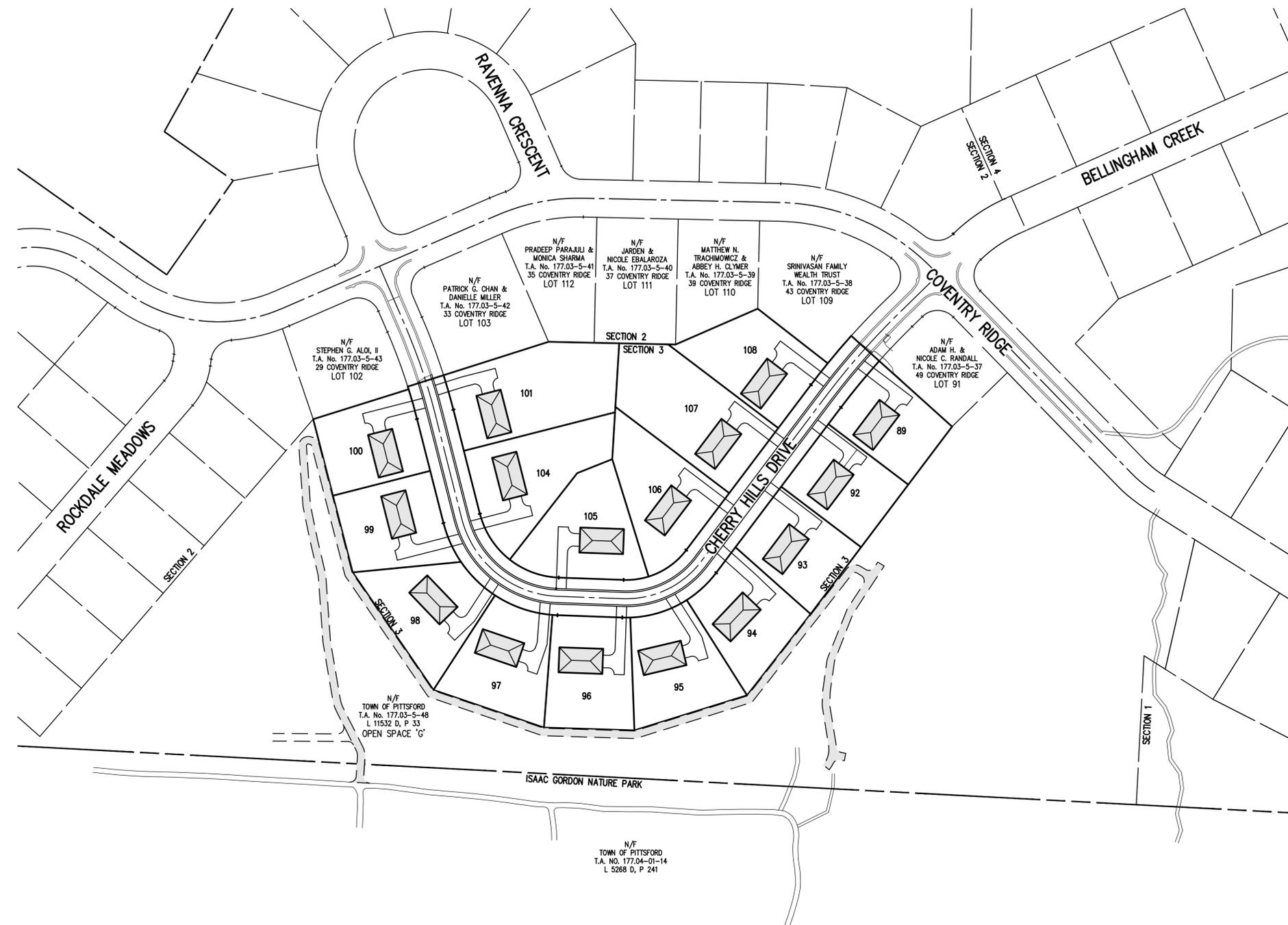
10 Excel Drive, Rochester, NY 14621
phone: 585-235-0390 | fax: 585-235-0392

www.premiersignsystems.com

This is an original unpublished drawing created by Premier Sign & Awning Systems Corp. It is submitted for your personal use in connection with a project being prepared for you by Premier Sign & Awning Systems Corp. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, or exhibited in any fashion.

SIGN TYPE	FLAT METAL LETTERS		
CUSTOMER	DEFINITIVE BEAUTY		
LOCATION	3019 MONROE AVE. ROCHESTER, NY		
SALES PERSON	LDB	DESIGNER	MR
DATE PREPARED	03/27/2024		
SCALE	AS NOTED		
SQUARE FOOTAGE			
DRAWING #	10386	PAGE #	02
REVISION #			01

P:\9502F\Drawings\Plan\9502F_Cover_Sheet.dwg



COVENTRY RIDGE SUBDIVISION

TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:
CLOVER STREET DEVELOPMENT CORPORATION

30 GROVE STREET
 PITTSFORD, NY 14534

PRELIMINARY PLANS COVENTRY RIDGE SUBDIVISION

DWG NO.	TITLE
9502F-01	COVER SHEET
9502F-02	SUBDIVISION PLAT
9502F-03	UTILITY PLAN
9502F-04	GRADING PLAN
9502F-05	CONSTRUCTION EROSION CONTROL PLAN
9502F-06	LATERAL PLAN
9502F-07	PROFILE SHEET
9502F-08	NOTE SHEET
9502F-09	DETAIL SHEET (SHEET 1 OF 3)
9502F-10	DETAIL SHEET (SHEET 2 OF 3)
9502F-11	DETAIL SHEET (SHEET 3 OF 3)

SCALE: 1" = 100'

DRAWING NUMBER: 9502F-01
 DATE ISSUED: APRIL 3, 2024

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 WWW.BMEPC.COM

PHONE 585-377-7360
 FAX 585-377-7309

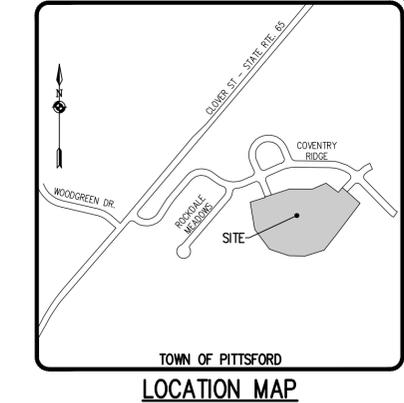
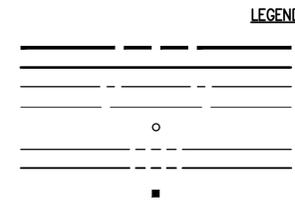
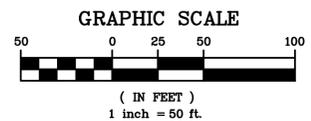
PA 195027 Drawing Title: 95027 Layout: Base.dwg

REFERENCES:

- 1. A PLAN ENTITLED "COVENTRY RIDGE, SECTION 1, PHASE A, FINAL, SUBDIVISION PLAT, PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 341 OF MAPS, PAGE 94.
2. A PLAN ENTITLED "COVENTRY RIDGE, SECTION 1, PHASE B," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 363, PAGE 1.
3. A PLAN ENTITLED "COVENTRY RIDGE, SECTION 2, FINAL, SUBDIVISION PLAT," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 349 OF MAPS, PAGE 76 & 77.
4. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

SURVEY NOTES:

THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, NAD 27, WESTERN ZONE THROUGH TIES TO THE FOLLOWING CONTROL MONUMENTS USING PROCEDURES NECESSARY TO ACHIEVE AN INDICATED ACCURACY OF NOT LESS THAN 1 PART IN 10,000.
STATION 4-2-24 (NYSDOT) 1969 N= 1,116,092.87 E= 774,519.52
STATION 4-2-25 (NYSDOT) 1969 N= 1,117,526.75 E= 775,508.75
BEARINGS ARE GRID
DISTANCES ARE GROUND
COMBINED FACTOR=0.9999915



SUBDIVISION NOTES:

- 1. EXISTING ZONING IS IZ - INCENTIVE ZONING AND RN- RESIDENTIAL NEIGHBORHOOD.
2. TOTAL PROJECT AREA IS 139.765 ACRES CONTAINING 112 LOTS. SECTION 3 AREA IS 10.524 ACRES CONTAINING 16 LOTS.
3. PROPOSED USE: SINGLE FAMILY RESIDENTIAL LOTS
4. THIS SUBDIVISION IS APPROVED PURSUANT TO NEW YORK TOWN LAW SECTION 278 AND SECTION 25-405(C) OF THE TOWN OF PITTSFORD CODE AND REFLECTS IN TOTAL THE PERMITTED NUMBER OF BUILDING LOTS ALLOWED. NO FURTHER SUBDIVISION OF LOTS IS PERMITTED.
5. APPLICATION SETBACKS/LOT STANDARDS ARE AS FOLLOWS:
MIN. LOT AREA 13,500 SF
FRONT YARD 40 FEET
SIDE YARD 10 FEET
REAR YARD 10 FEET
LOT WIDTH @ SETBACK 90 FEET
BUILDING HEIGHT 40 FEET (MAXIMUM)
IMPERVIOUS COVERAGE 33% (MAXIMUM)
6. TOTAL IMPERVIOUS AREA = 3.6± ACRES (BASED ON 33% MAXIMUM IMPERVIOUS LOT AREA)
TOTAL DISTURBED AREA = 11.0± ACRES
7. THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON UNDER SECTION 278 OF TOWN LAW OF THE TOWN OF PITTSFORD AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
8. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PITTSFORD, THE APPROPRIATE AGENCIES (IE MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
10. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
11. REVIEW OF THE FEMA MAPS DOES NOT INDICATE THIS PROPERTY TO BE WITHIN A RECOGNIZED 100-YEAR FLOODPLAIN.
12. THIS DEVELOPMENT MAY BORDER A FARM, AS DEFINED IN LOCAL LAW NO. 4-1992. RESIDENTS SHOULD BE AWARE THAT FARMERS HAVE THE RIGHT TO UNDERTAKE FARM PRACTICES WHICH MAY GENERATE DUST, ODOR, SMOKE, NOISE AND VIBRATION.
13. TEMPORARY ROAD SIGNS ARE TO BE PLACED FOR EMERGENCY IDENTIFICATION AS SOON AS CONSTRUCTION BEGINS. SITE ENTRANCES AND ROADWAYS MUST NOT BE BLOCKED TO IMPEDE EMERGENCY ACCESS AT ANY TIME DURING CONSTRUCTION.
14. DEVELOPER WILL INSTALL 4X4 PROPERTY MARKERS TO DELINEATE TOWN OWNED LANDS. THE TOWN WILL PURCHASE THE LUMBER, BEVEL, AND BRAND THE MARKERS, AND DELIVER THEM UPON REQUEST OF THE DEVELOPER.
15. REVIEW OF THE FEMA MAPS DOES NOT INDICATE THIS PROPERTY TO BE WITHIN A RECOGNIZED 100-YEAR FLOODPLAIN.

MCDPH CONDITIONS OF APPROVAL FOR REALTY SUBDIVISIONS:

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL FOR THIS REALTY SUBDIVISION IS GRANTED ON CONDITION THAT:

- 1. THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE TREATMENT ARE INSTALLED IN CONFORMITY WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCDPH).
2. AN ORIGINAL REALTY SUBDIVISION MAP APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
3. THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN OR, IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE REALTY SUBDIVISIONS SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS-BUILT" PLAN DEPICTING ALL INSTALLED FACILITIES INCLUDING SEWAGE, STORM WATER AND WATER SUPPLY.
4. ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT GP-9-0-001 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED.
5. NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED AND APPROVED BY THE MCDPH.
6. PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY MCDPH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
7. PRIVATE WELLS AND PRIVATE ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED AFTER PUBLIC FACILITIES BECOME AVAILABLE.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION APPROVAL. THIS IS TO CERTIFY THAT APPROVED PLANS FOR WATER SUPPLY AND SEWAGE TREATMENT FOR THIS PROJECT ARE ON FILE IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH. I, the undersigned Treasurer of Monroe County Pursuant to Sec 334 of the Real Property Law Certify that all Monroe County Taxes and School Taxes against the land described herein have been paid through.
Monroe County Treasurer
BY: _____ Dated: _____
DIRECTOR OF PUBLIC HEALTH
BY: _____ PUBLIC HEALTH ENGINEER DATE: _____

IRONDEQUOIT BAY SOUTH CENTRAL PURE WATERS DISTRICT. This plan is approved in accordance with the provisions of Section 239-1, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.
For the General Municipal Law:
County Highway Superintendent Date
For the Monroe County Monumentation Law:
Monroe County Surveyor's Office Date

NOT APPROVED. This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

APPROVALS. BY: TOWN ENGINEER DATE:
BY: COMMISSIONER OF PUBLIC WORKS DATE:
BY: CHAIRMAN OF THE PLANNING BOARD DATE:

WE, BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON DECEMBER 19, 2023 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY INSTRUMENT WHICH IT WAS BASED MEETS THE GVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.
BY: Gregory D. Bell, NYSPLS NO. 050661



Drawing Alteration. The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
'It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if on item bearing the seal of an engineer or land surveyor is altered, the drafting engineer or land surveyor shall file with the item his seal and the notation altered by followed by his signature and the date of each alteration, and a specific description of the alteration.'

Table with columns: REVISIONS, DATE, BY. Contains revision history.

BME ASSOCIATES. ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS. 10 LIFT BRIDGE LANE EAST, PITTSFORD, NY 14530. PHONE: 585-577-7360. FAX: 585-577-7369. WWW.BMEINC.COM



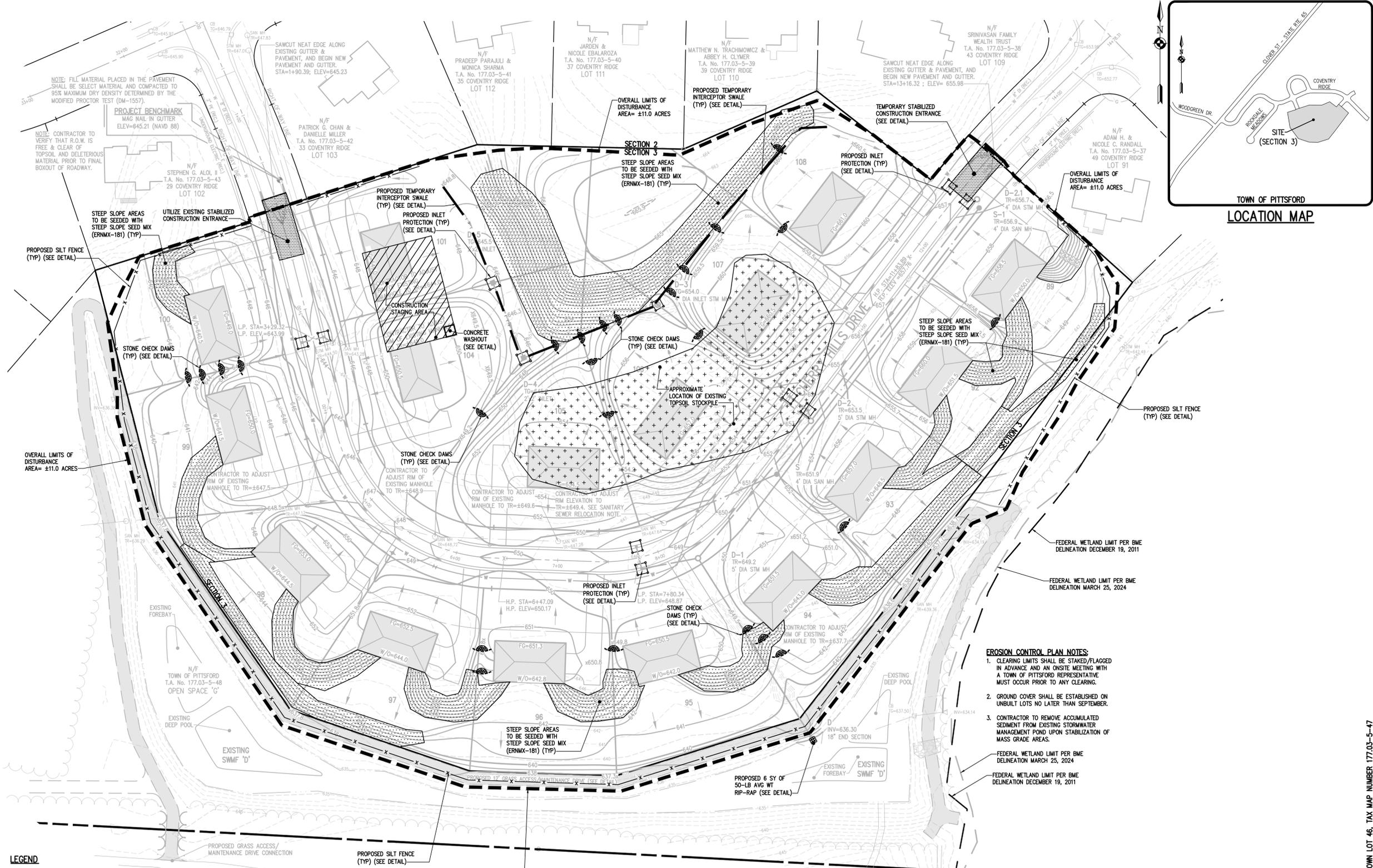
COVENTRY RIDGE SUBDIVISION SECTION 3. TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE. CLIENT: CLOVER STREET DEVELOPMENT CORPORATION, 50 GROVE STREET, PITTSFORD, NY 14534. PRELIMINARY SUBDIVISION PLAT.

PROJECT: COVENTRY RIDGE SUBDIVISION SECTION 3. LOCATION: TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE. CLIENT: CLOVER STREET DEVELOPMENT CORPORATION, 50 GROVE STREET, PITTSFORD, NY 14534. DRAWING TITLE: PRELIMINARY SUBDIVISION PLAT.

PROJECT MANAGER: P. VARS. PROJECT SURVEYOR: GD BELL. DRAWN BY: BC GOODING. SCALE: 1" = 50'. DATE ISSUED: APRIL 3, 2024. PROJECT NO.: 9502F. DRAWING NO.: 02.

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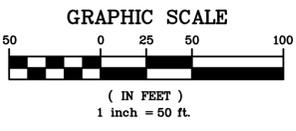
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LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	EXISTING WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATERMAIN, HYDRANT, AND VALVE
	EXISTING STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER, MANHOLE, AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING CONTOUR W/ ELEVATION
	PROPOSED CONTOUR W/ ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPOSED FABRIC INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED TEMPORARY STONE CHECK DAM
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TEMPORARY DIVERSION SWALE
	PROPOSED STEEP SLOPE SEED MIX
	APPROXIMATE LOCATION OF EXISTING TOPSOIL STOCKPILE
	FEDERAL WETLAND DELINEATION DECEMBER 19, 2011
	FEDERAL WETLAND DELINEATION MARCH 25, 2024

SEE NOTE SHEET (BME DRAWING #9502F-08) FOR CONSTRUCTION EROSION CONTROL NOTES AND SEQUENCE OF CONSTRUCTION.



NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

BY: TOWN ENGINEER DATE: _____

BY: COMMISSIONER OF PUBLIC WORKS DATE: _____

BY: CHAIRMAN OF THE PLANNING BOARD DATE: _____

APPROVALS

NO.	DATE	BY
7		
6		
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4		
3		
2		
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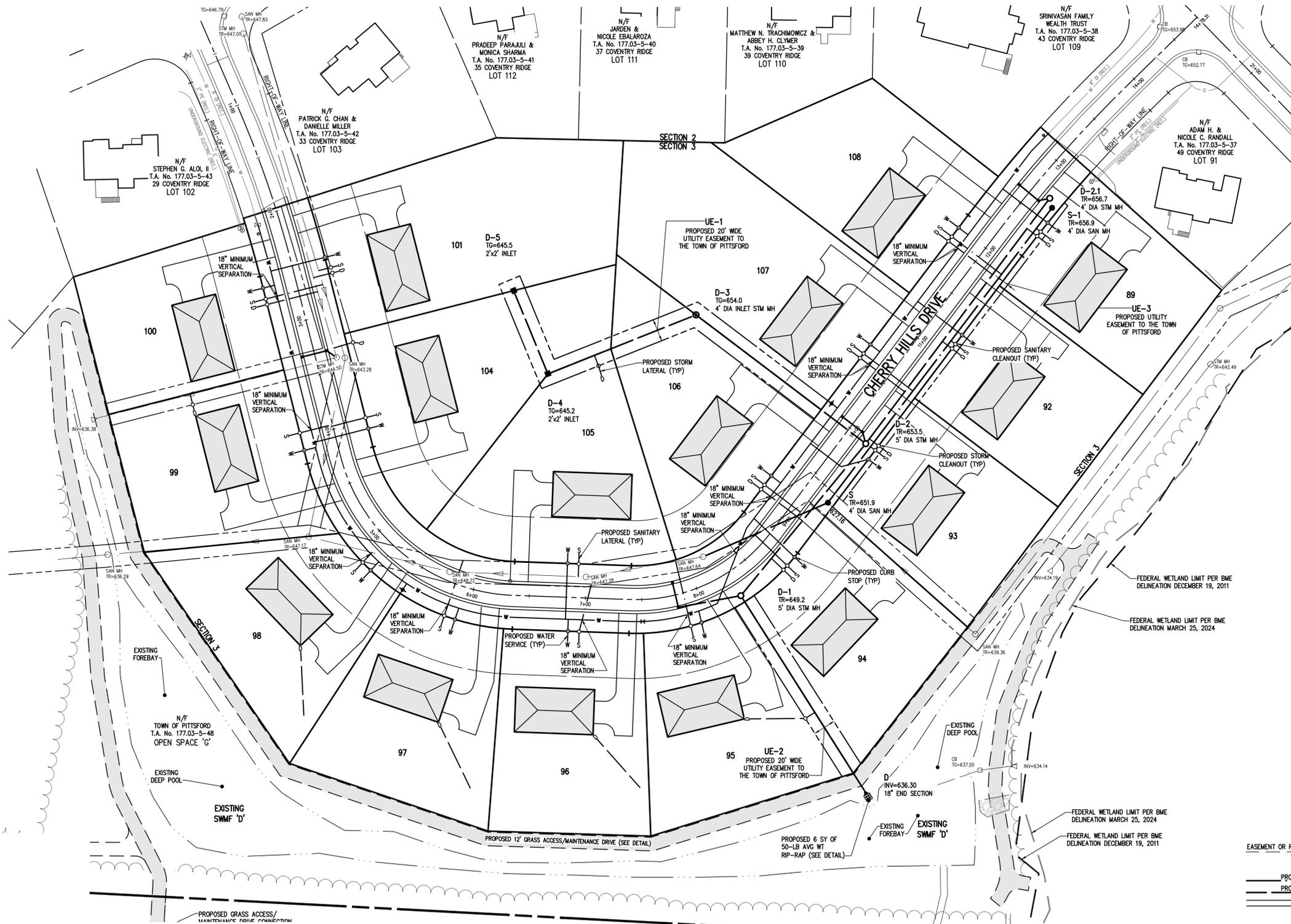
COVENTRY RIDGE SUBDIVISION
SECTION 3
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14534
PRELIMINARY CONSTRUCTION EROSION CONTROL PLAN

PROJECT: COVENTRY RIDGE SUBDIVISION SECTION 3
LOCATION: TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT: CLOVER STREET DEVELOPMENT CORPORATION
DRAWING TITLE: PRELIMINARY CONSTRUCTION EROSION CONTROL PLAN

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: F. SHELLEY
DRAWN BY: A. D'ANGELO
SCALE: 1" = 50'
DATE ISSUED: APRIL 3, 2024
PROJECT NO.: 9502F
DRAWING NO.: 05

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, LOT 46, TAX MAP NUMBER 177.03-5-47

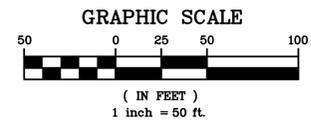
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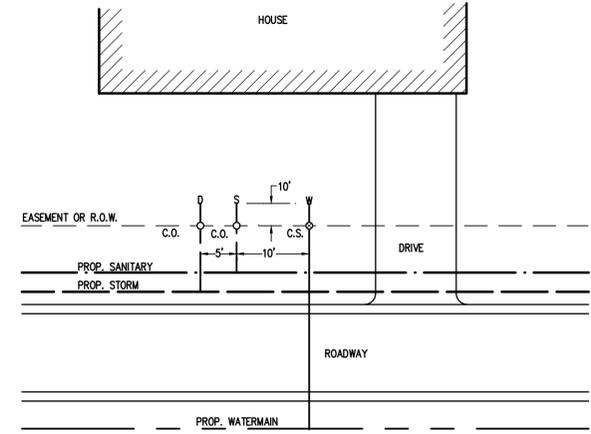
LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPERTY MARKER FOUND
	EXISTING WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATER SERVICE AND CURBSTOP
	EXISTING STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER LATERAL AND CLEANOUT
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER LATERAL AND CLEANOUT
	FEDERAL WETLAND DELINEATION DECEMBER 19, 2011
	FEDERAL WETLAND DELINEATION MARCH 25, 2024

SEE NOTE SHEET (BME DRAWING #9502F-08) FOR UTILITY NOTES



NOT APPROVED
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NOTE:
EXTEND LATERALS 10' PAST R.O.W. OR EASEMENT LINE.
TYPICAL LATERAL LAYOUT
N.T.S.

APPROVALS

BY: _____ DATE: _____
TOWN ENGINEER

BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS

BY: _____ DATE: _____
CHAIRMAN OF THE PLANNING BOARD

NO.	REVISIONS	DATE	BY
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COVENTRY RIDGE SUBDIVISION
SECTION 3
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14534

PROJECT LOCATION CLIENT DRAWING TITLE

PRELIMINARY LATERAL PLAN

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: F. SHELLEY
DRAWN BY: A. D'ANGELO
SCALE: 1" = 50'
DATE ISSUED: APRIL 3, 2024
PROJECT NO.: 9502F
DRAWING NO.: 06

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.03-5-47

UTILITY NOTES:

- 1. THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS AND APPROVALS UNDER SECTION 27B OF TOWN LAW OF THE TOWN OF PITTSFORD AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
2. BUILDINGS SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATIONS ONLY.
3. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PITTSFORD, THE APPROPRIATE AGENCIES (E.G. MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
5. THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
6. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR AVAILABLE UTILITY COMPANY RECORD PLANS. EXISTING UTILITIES WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT AREA MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT (800)962-7962 OR 811 FOR STAKE-OUT OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.

WATERMANS:

- 8. WATERMANS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. (SEE MCWA PUBLIC WATER SYSTEM NOTES).
9. FOR WATERMAIN CONSTRUCTION, ALL MECHANICAL JOINT FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE BACKED WITH 3,000 PSI CONCRETE THRUST BLOCKS.
10. ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
11. THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF HEALTH.
12. THE HEREIN HYDRANT FLOW TEST RESULTS REPRESENT AN INSTANTANEOUS CONDITION WITHIN THE WATER AUTHORITY'S WATER DISTRIBUTION SYSTEM. ALL WATER SYSTEM DESIGNS SHOULD BE BASED ON WORST CASE CONDITIONS.

FLOW TEST WAS PERFORMED BY THE MONROE COUNTY WATER AUTHORITY:

LOCATION: COVENTRY RIDGE
ELEVATION: 647
DATE: 1/12/23
MAIN SIZE: 8" DP

STATIC PRESSURE: 79 PSI
RESIDUAL PRESSURE: 59 PSI
OBSERVED FLOW: 1,229 GPM
FLOW @ 20 PSI: 2,204 GPM

THE PRESSURE AND FLOW DATA PROVIDED HEREIN REPRESENTS A COMPUTER SIMULATED AVERAGE ESTIMATED VALUE AT THIS LOCATION IN THE DISTRIBUTION SYSTEM ON THIS DATE AND TIME. THESE VALUES CAN VARY GREATLY DEPENDING ON DEMANDS, OPERATIONAL PARAMETERS, SYSTEM CONFIGURATIONS, SUBSEQUENT MODIFICATIONS, AND OTHER RELATED CRITERIA. PLEASE CONTACT TONY PIASKO, P.E. AT 585-442-2001 EXT. 273 WITH ANY QUESTIONS OR CONCERNS.

SANITARY SEWER:

- 1. ALL SANITARY SEWERS ARE IN COMPLIANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE TOWN OF PITTSFORD.
2. SANITARY SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF PITTSFORD.
3. SANITARY SEWER PIPE SHALL BE 8" PVC SDR-35 OR AS NOTED ON THE PLAN.
4. FLOOR DRAINS TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
5. INFILTRATION AND EXFILTRATION SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS OR SANITARY SEWERS. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM-C-828-86, ENTITLED "STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES." SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.

WATER TESTING - EACH MANHOLE SHALL BE FILLED WITH A MAXIMUM OF 10 FEET OF WATER, SUBJECT TO A 24 HOUR TEST AND SHOW A LOSS OF WATER NOT TO EXCEED 15 GALLONS/24 HOURS FOR A 4 FOOT IDMH. INFILTRATION TESTS SHALL ADHERE TO THE SAME LIMITS.

VACUUM TESTING - EACH MANHOLE SHALL BE SUBJECT TO A VACUUM OF 10 INCHES OF HG FOR ONE MINUTE WITH AN ALLOWABLE LOSS OF 1 INCH OF HG.

24. THE FOLLOWING TESTS SHALL BE PERFORMED ON PVC SANITARY SEWER PIPE:

- A) DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
B) NO PIPE SHALL EXCEED A 5% DEFLECTION.
C) IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

25. NEW SEWERS ARE TO BE PLUGGED WHEN CONNECTED TO EXISTING MANHOLES UNTIL THE NEW SEWERS ARE FLUSHED, TESTED, AND READY FOR SERVICE.

STORM SEWER:

- 26. STORM SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF PITTSFORD.
27. STORM SEWER PIPE SHALL BE HDPE OR AS NOTED ON THE PLAN
28. CHECK VALVES TO BE PROVIDED ON SUMP PUMPS.
29. ON LOTS 89, 92-95, & 99-108 FOUNDATION AND ROOFS TO CONNECT TO STORM SEWERS. ON LOTS 96-98 FOUNDATION AND ROOFS TO DRAIN TO REAR YARD DISCONNECTS.
30. METAL TOWN OF PITTSFORD CATCH BASIN MARKERS TO BE INSTALLED ON CATCH BASINS UPON INSTALLATION.

LATERALS AND SERVICES:

- 31. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS:
WATER - 1" INCH TYPE K COPPER FROM THE WATERMAIN TO THE CURB BOX
1" INCH PE #4710 FROM THE CURB BOX TO THE METER (UNLESS NOTED OTHERWISE)
SANITARY - 4" PVC SDR-21 INSTALLED AT 2% MIN SLOPE.
STORM - 6" PVC SDR-35 INSTALLED AT 1% MIN SLOPE.
EXTEND LATERALS TO 10 FEET BEYOND THE RIGHT-OF-WAY, OR 10 FEET BEYOND THE EASEMENT LINES, WHICHEVER IS GREATER.
32. NO CURB VALVE BOXES (WATER LATERAL) ARE ALLOWED IN DRIVEWAYS. THE SERVICE OR DRIVEWAY WILL BE RELOCATED IF THIS CONFLICT ARISES.
33. ANY LOTS WITH A FRONT SETBACK GREATER THAN 500' FROM THE PUBLIC RIGHT OF WAY WILL BE PROVIDED WITH A METER PIT AND A METER AT THE RIGHT-OF-WAY.
34. ALL HOMES WITH WATER PRESSURE GREATER THAN 70 PSI AT THE METER WILL REQUIRE A PRESSURE REDUCING VALVE INSTALLED AFTER THE METER.
35. SANITARY LATERAL WITNESS STAKES SHALL BE 2"x4" HARDWOOD, EXTENDED 2-3" ABOVE GRADE AND PAINTED GREEN.
36. ANY LAUNDRY WASTEWATER SHALL BE DIRECTED TO THE SANITARY SEWER.

37. CLEANOUTS FOR STORM LATERALS SHALL BE INSTALLED AT ALL HORIZONTAL BENDS AND AT 85' (OR PER PLAN) INTERVALS ALONG THE LATERAL. CLEANOUTS FOR SANITARY LATERALS SHALL BE INSTALLED AT THE RIGHT-OF-WAY OR EASEMENT LINE, AT ALL BENDS 45' OR GREATER, AND AT 90' FOOT INTERVALS THEREAFTER.

MONROE COUNTY DEPARTMENT OF HEALTH STANDARD WATER MAIN EXTENSION NOTES:

- 1. THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
ALL WATER MAIN PIPE FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLUSHING.
FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.

THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.

THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.

- 2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAIN PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
4. THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600, C602, C604, OR C605 (MOST RECENT VERSION AS APPLICABLE) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

MONROE COUNTY DEPARTMENT OF HEALTH STANDARD SANITARY SEWER EXTENSION NOTES:

- 1. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED "STANDARD PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
2. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
3. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
4. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

MONROE COUNTY WATER AUTHORITY NOTES:

PUBLIC WATER SYSTEM NOTES:

WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY:

MATERIAL:

- 1. WATER MAIN(S) SHALL BE 8" INCH DUCTILE IRON, ZINC-COATED AND CEMENT-LINED CLASS 52.
2. WATER SERVICE(S) SHALL BE 1" INCH TYPE K COPPER FROM THE WATER MAIN TO THE CURB BOX AND 1" INCH PE #4710 FROM THE CURB BOX TO THE METER.
3. WATER METER(S) SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). ON METERED SERVICES REQUIRING A 1 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.
4. ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.

TEST:

- 5. SOIL TEST. THE CONTRACTOR SHALL PROVIDE A SOIL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT PER ANSI/AWS C105/AZI.5-82 PRIOR TO WATER MAIN INSTALLATION. SOIL TESTING SHALL BE CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH WATER AUTHORITY STANDARDS.
6. PRESSURE TEST. WATER MAINS TO BE PRESSURE TESTED IN ACCORDANCE WITH THE LATEST WATER AUTHORITY SPECIFICATIONS. A WATER AUTHORITY REPRESENTATIVE MUST WITNESS THIS TEST.
7. HEALTH SAMPLE. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-651, BY USING THE CONTINUOUS FEED METHOD. AFTER FLUSHING AND DISINFECTING THE WATER MAIN, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE MONROE COUNTY HEALTH DEPARTMENT. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.

INSTALLATION:

- 8. WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
9. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN AND SEWER MAINS SHALL BE 18" MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE TEN FEET MEASURED FROM THE OUTSIDE OF THE PIPES. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING ON AND BREAKING THE WATER MAINS.
10. FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE.
11. ALL MECHANICAL JOINT FITTINGS (TEES, BENDS, PLUGS, ETC.) SHALL BE BACKED WITH 2500 PSI CONCRETE THRUST BLOCKS.

SEQUENCE OF CONSTRUCTION STEPS:

TOTAL DISTURBED ACREAGE = ±11.0 ACRES (SECTION 3)

STEP 1: (SITE PREPARATION)

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).
• CLEAR AND GRUB AS REQUIRED FOR SILT FENCE INSTALLATION.
• INSTALL AND MAINTAIN PERIMETER SILT FENCE, COMPLETE CLEARING AND GRUBBING OPERATIONS AS NECESSARY OR PROVIDE BRUSH HOGGING OF LANDS TO MAINTAIN GROUND COVER.
• EXISTING TOPSOIL PILE TO REMAIN AND BE USED AS A TEMPORARY TOPSOIL STORAGE AREA FOR FINE GRADING OF INDIVIDUAL LOTS. IF BULK TOPSOIL RELOCATION IS REQUIRED CONTRACTOR SHALL PROVIDE ALL NECESSARY TOPSOIL PILE STABILIZATION IN ALTERNATE LOCATIONS.

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP AND STOCKPILE TOPSOIL; TOPSOIL AND NON-STRUCTURAL MATERIAL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AS NECESSARY FOR MASS GRADING OPERATIONS AND STOCKPILED IN DESIGNATED AREA. INSTALL SILT FENCE AROUND PERIMETER OF NEW TOPSOIL PILES AND SEED WITH TEMPORARY SEEDING MIX. MULCH IS REQUIRED BETWEEN NOVEMBER 15TH AND APRIL 1ST.
• COMMENCE MASS GRADING OPERATIONS. COMPLETE REQUIRED CUTS AND FILLS. UPON COMPLETION OF THE MASS GRADING OPERATIONS, INSTALL ADDITIONAL EROSION CONTROL MEASURES INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES, AND TEMPORARY SEDIMENT TRAPS. SWALES TO BE STABILIZED WITHIN 2 DAYS OF COMPLETION AND SEDIMENT TRAPS TO BE STABILIZED IMMEDIATELY. MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED.
• CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS, INTERCEPTOR SWALES AND TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.
• COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 2 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE (IF APPLICABLE).
• COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED RIGHT-OF-WAY AREAS AS NEEDED. INSTALL PAVEMENT DIVERSION ONCE THE BINDER ASPHALT IS INSTALLED.
• INSTALL CONCRETE TRUCK WASHOUT PRIOR TO CONCRETE POURING ACTIVITIES (SEE DETAIL).
• INSTALL ROAD BASE, GUTTERS AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.

STEP 3: (STABILIZATION & MONITORING)

- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.
• SEED ALL SLOPES 3:1 OR STEEPER WITH STEEP SLOPE SEEDING MIX AND STABILIZE WITH EROSION CONTROL BLANKET - ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
• FROM NOVEMBER 15TH TO APRIL 1ST, IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE.
• MAINTAIN PERIMETER SILT FENCE AND INLET PROTECTION UNTIL THE ADJACENT SOILS HAVE ACHIEVED 80% STABILIZATION.
• SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND TEMPORARY/WINTER STABILIZATION METHODOLOGY.
• DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
• THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS, PAVED AREAS, AND CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR TOWN OF PITTSFORD.
• CONTRACTOR TO REMOVE ACCUMULATED SEDIMENT FORM EXISTING STORMWATER MANAGEMENT POND UPON STABILIZATION OF MASS GRADE ACCESS.

CONSTRUCTION EROSION CONTROL NOTES:

- 1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF PITTSFORD DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDDEC GENERAL PERMIT C-0-20-001 AND THE REQUIREMENTS OF LOCAL AND NYSDDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
3. ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT FACILITIES SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
4. THE PROJECT DEVELOPMENT IS CURRENTLY COVERED UNDER THE GENERAL PERMIT AS A PORTION OF THE OVERALL COVENTRY RIDGE SUBDIVISION. SITE IDENTIFICATION AS IDENTIFIED IN THE ACKNOWLEDGEMENT OF NOTICE OF INTENT, DATED JANUARY 2024 WITH PERMIT IDENTIFICATION ANYR11M155 FOR SECTIONS 3 & 4. THE PROPOSED SITE DEVELOPMENT IS CONSISTENT WITH THE SCOPE OF DEVELOPMENT IDENTIFIED IN THE ORIGINAL NOTICE OF INTENT (N.O.I.) REFERENCED N.O.I. SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY ALONG WITH THE UPDATED SWPPP FOR THE SECTION OF DEVELOPMENT.
5. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES AND GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP ARE TO BE KEPT ON-SITE BY THE OWNER.
6. FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS. (30 CALENDAR DAYS)
7. THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
8. FOR DISTURBANCES OF 5 ACRES AND GREATER, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 7 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED, IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.
9. FOR DISTURBANCES LESS THAN 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS. FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED, IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUND COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.
10. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
11. ALL DISTURBED AREAS TO BE RESTORED PER TABLE 5.3 SOIL RESTORATION REQUIREMENTS FOUND IN CHAPTER 5: GREEN INFRASTRUCTURE PRACTICES OF THE NYS STORMWATER MANAGEMENT DESIGN MANUAL. PLEASE REVIEW WITH PROJECT MANAGER.
12. ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
13. AREAS OR EMBANKMENTS REQUIRING AN EROSION CONTROL BLANKET SHALL UTILIZE ECS-1B (EASTCOAST) OR AN APPROVED EQUIVALENT.
14. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

Table with 2 columns: LBS./ACRE and LBS./1000 SQ. FT. for various grass types like ANNUAL RYEGRASS, PERENNIAL RYEGRASS, OATS, WHITE CLOVER (+ INOCULANT).

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5-10-10 AT 20 LBS PER 1,000 SQ. FT.

NATIVE STEEP SLOPE MIX WITH ANNUAL RYE GRASS - ERNMX-181

Table with 2 columns: Species name and Ecotype. Lists various grass species like Andropogon gerardi, Lolium multiflorum, Sorghastrum nutans, etc.

SEEDING RATE: 60 LBS PER ACRE OR 1 LB PER 1000 SF
INOCULANT: RATE AS RECOMMENDED BY THE MANUFACTURER (FOR HYDROSEEDING USE FOUR TIMES MANUFACTURER'S RECOMMENDED RATE)
MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER.

- 17. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 80% SHALL BE RE-SEED.
18. ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
19. THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES AS SHOWN ON THE PLAN DETAIL FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
20. THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
21. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-20-001.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

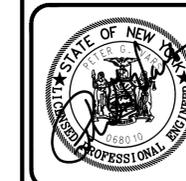
APPROVALS

Approval table with columns for Name, Title, Date, and Signature. Includes entries for MONROE COUNTY WATER AUTHORITY, TOWN ENGINEER, COMMISSIONER OF PUBLIC WORKS, and CHAIRMAN OF THE PLANNING BOARD.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
'It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

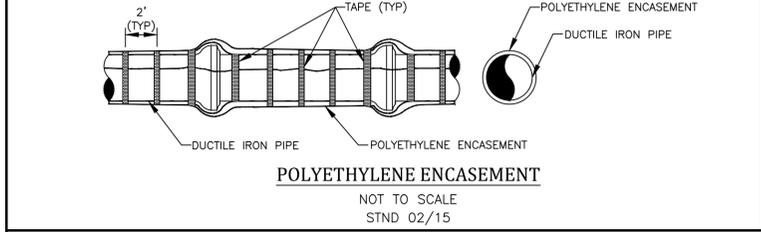
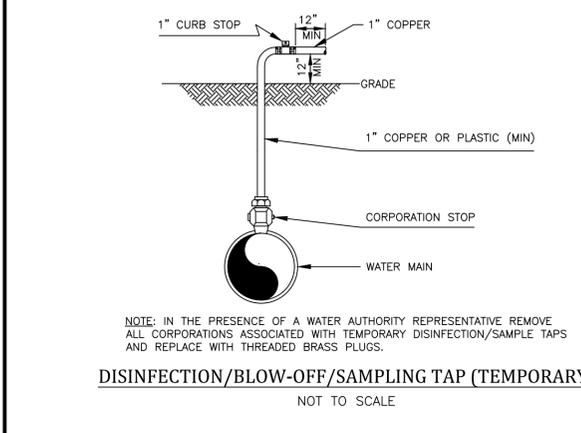
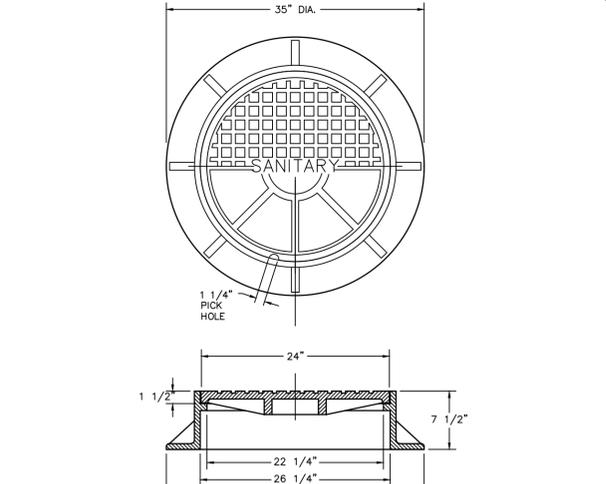
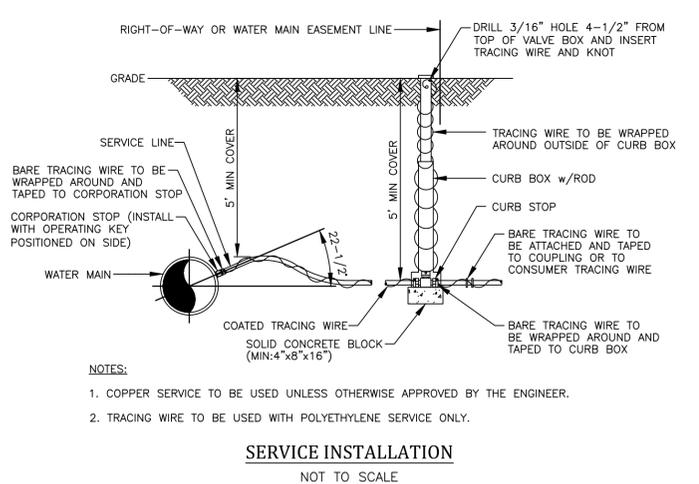
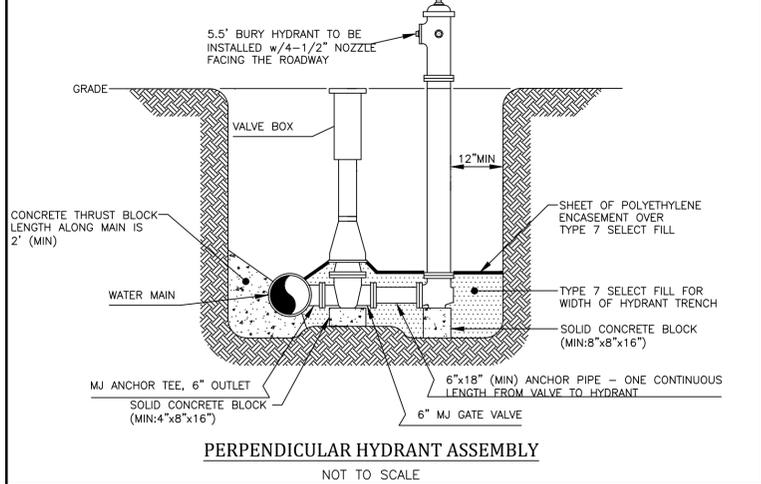
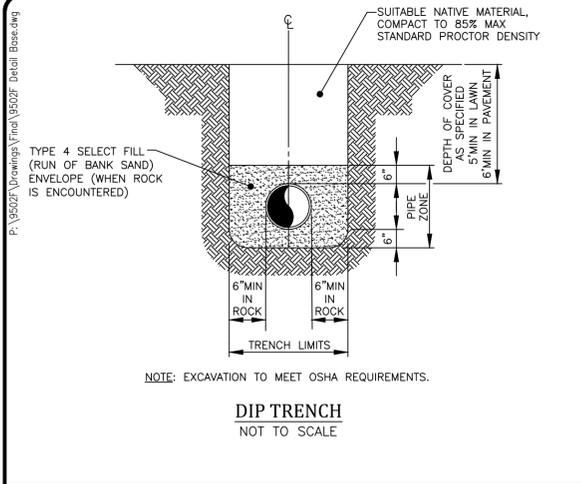
Revision table with columns for Revision number, Date, and By.

BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS. 10 LIFT BRIDGE LANE EAST PITTSFORD, NY 14850. PHONE: 585-577-7360. FAX: 585-577-7369. WWW.BMEGROUP.COM



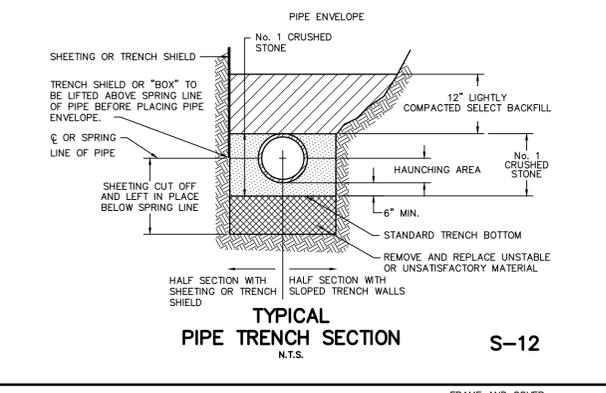
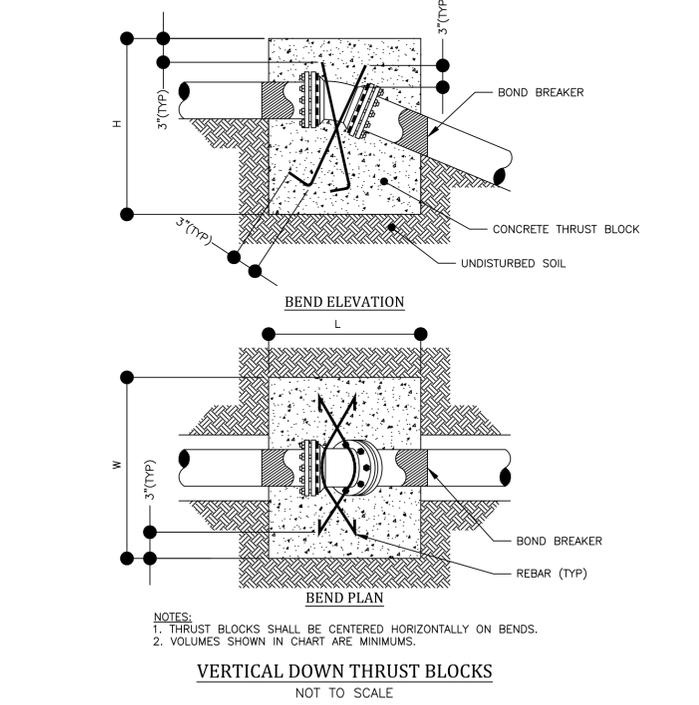
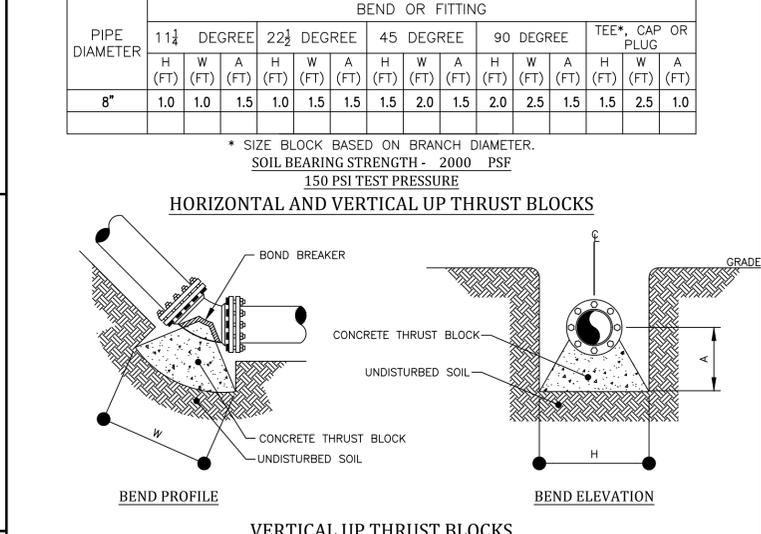
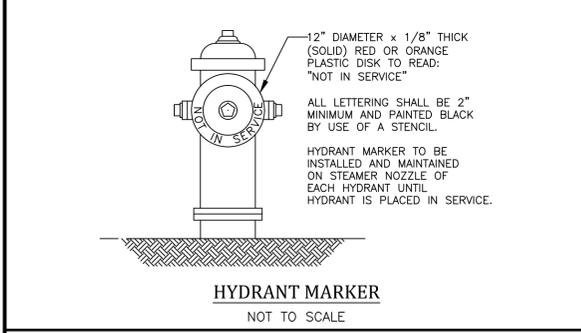
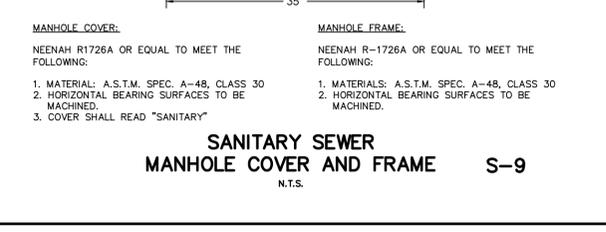
COVENTRY RIDGE SUBDIVISION SECTION 3 TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE. PRELIMINARY NOTE SHEET. PROJECT LOCATION CLIENT DRAWING TITLE. PROJECT MANAGER P. VARS PROJECT ENGINEER F. SHELLEY DRAWN BY A. D'ANGELO SCALE DATE ISSUED N/A APRIL 3, 2024 PROJECT NO. 9502F DRAWING NO. 08

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.03-5-47



PIPE DIAMETER	BEND														
	11 1/2 DEGREE			22 1/2 DEGREE			45 DEGREE			90 DEGREE					
	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)
8"	3.0	3.0	3.0	4.0	3.0	3.5	6.0	3.0	4.2	2.8	3.0	6.2	4.5	3.0	

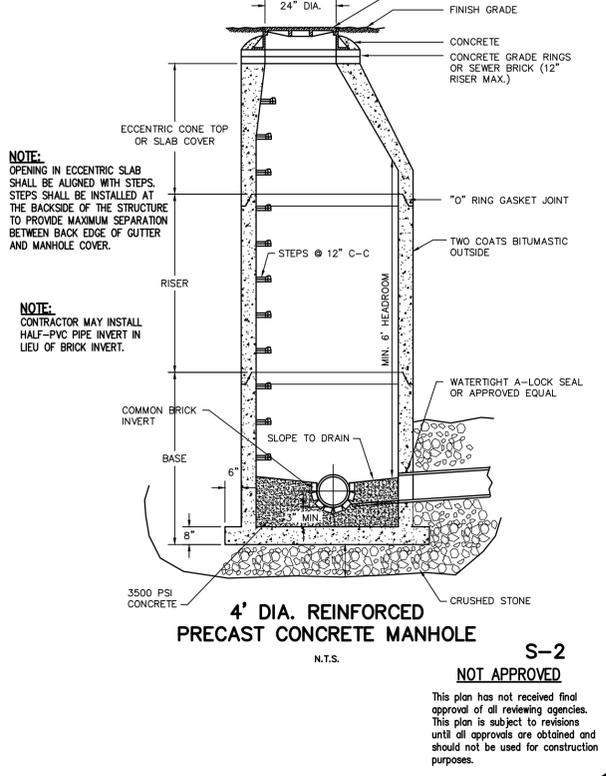
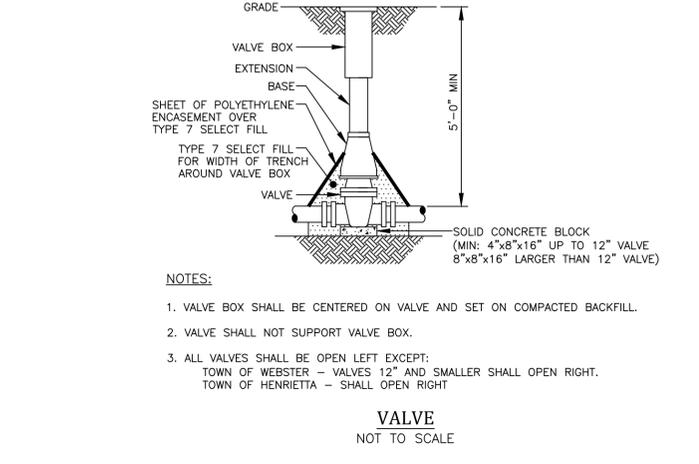
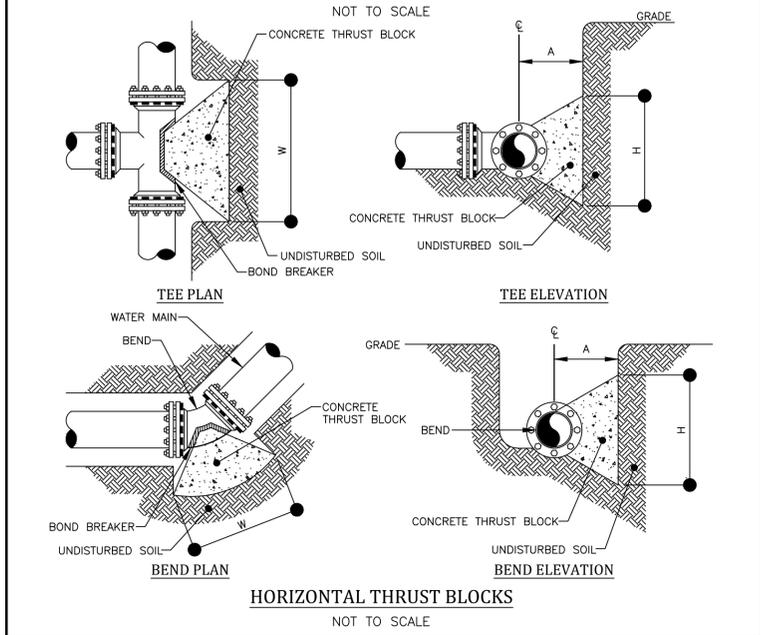
**SOIL BEARING STRENGTH - 2000 PSF
150 PSI TEST PRESSURE**



CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE GRADE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.

NOTES:
(WATER LINE)
(SEWER LINE)
(OUTSIDE DIAMETER OF PIPE)
IN NO CASE SHALL PIPES BE CLOSER THAN 18\"/>

WATERMAIN/SEWER CROSSING DETAIL



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation altered by followed by his signature and the date of each alteration, and a specific description of the alteration."

NO.	DATE	BY	REVISIONS
7			
6			
5			
4			
3			
2			
1			

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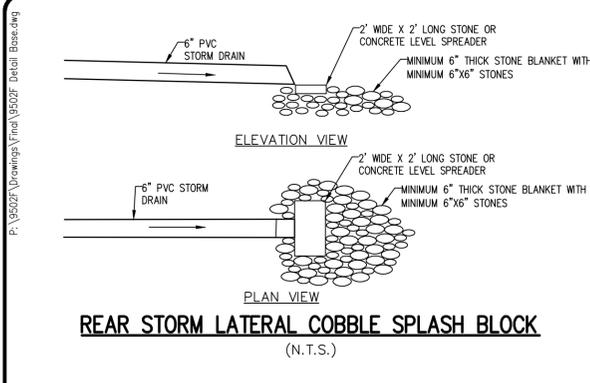


COVENTRY RIDGE SUBDIVISION
SECTION 3
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14854

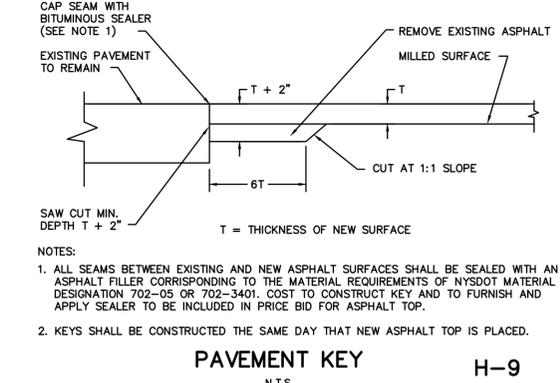
PRELIMINARY DETAIL SHEET

PROJECT LOCATION CLIENT DRAWING TITLE

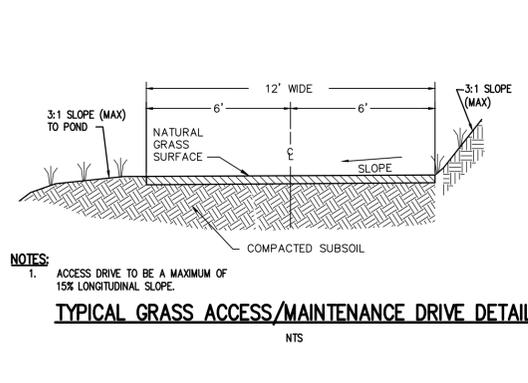
PROJECT MANAGER
P. VARS
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
A. D'ANGELO
SCALE
N.T.S.
DATE ISSUED
APRIL 3, 2024
PROJECT NO.
9502F
DRAWING NO.
09



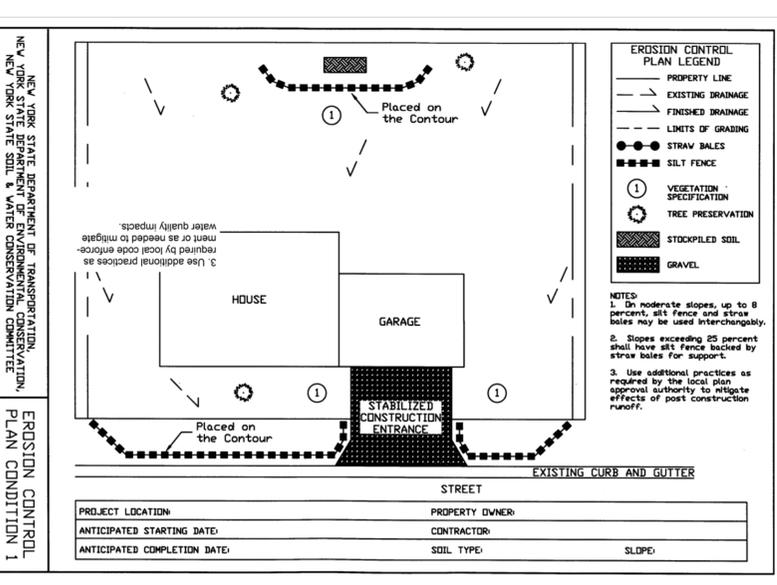
REAR STORM LATERAL COBBLE SPLASH BLOCK
(N.T.S.)



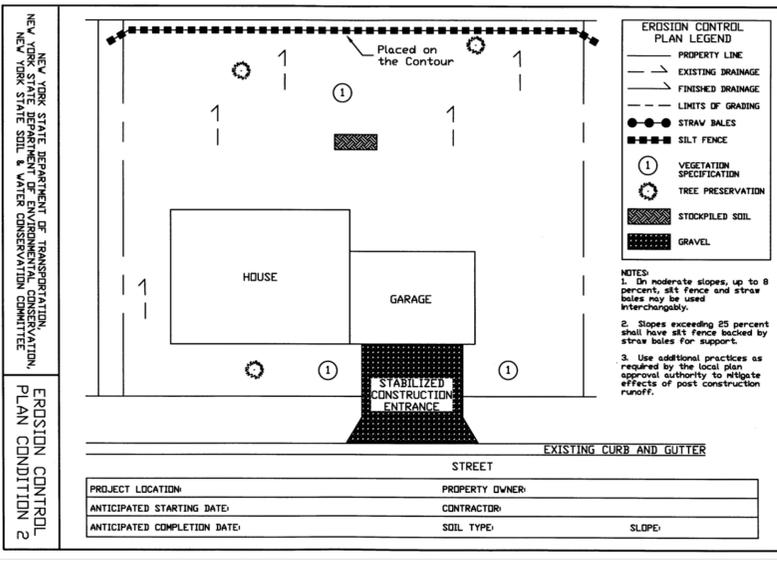
PAVEMENT KEY H-9
N.T.S.



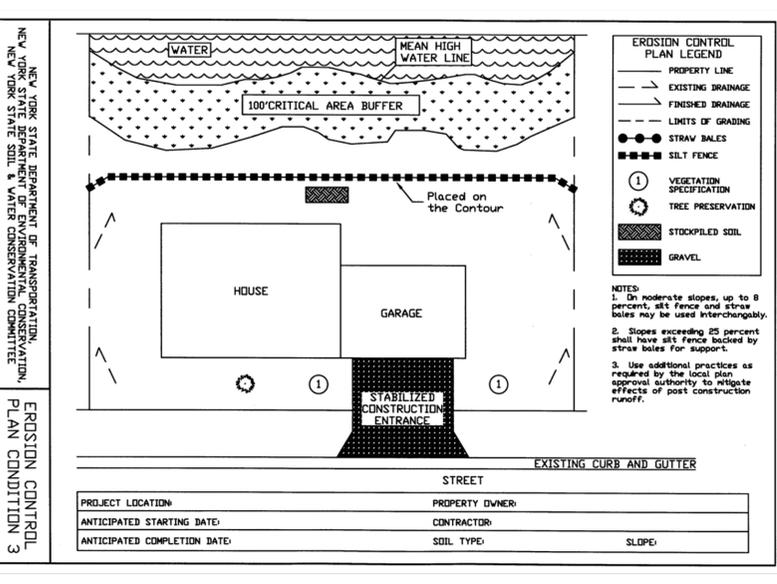
TYPICAL GRASS ACCESS/MAINTENANCE DRIVE DETAIL
NTS



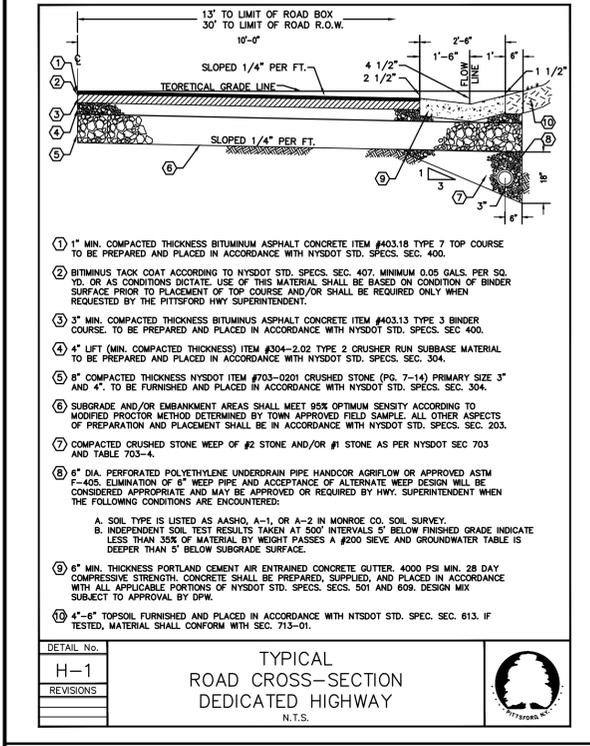
EROSION CONTROL PLAN CONDITION 1
PROJECT LOCATION: STREET, PROPERTY OWNER, ANTICIPATED STARTING DATE, CONTRACTOR, ANTICIPATED COMPLETION DATE, SOIL TYPE, SLOPE



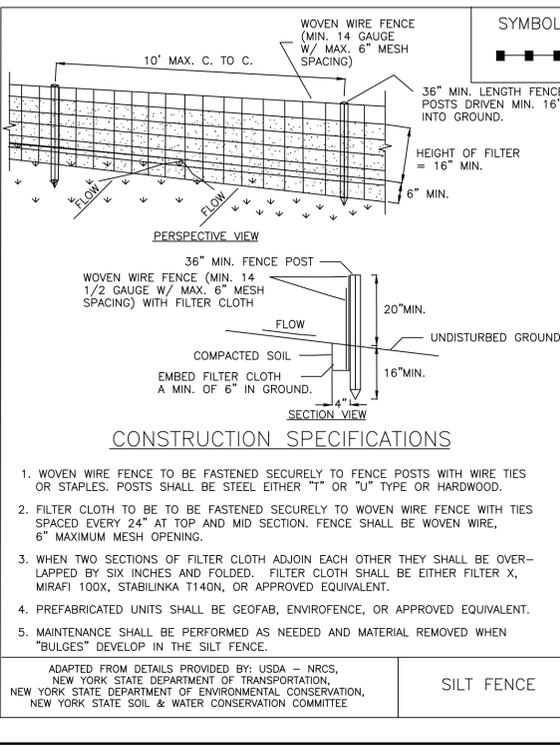
EROSION CONTROL PLAN CONDITION 2
PROJECT LOCATION: STREET, PROPERTY OWNER, ANTICIPATED STARTING DATE, CONTRACTOR, ANTICIPATED COMPLETION DATE, SOIL TYPE, SLOPE



EROSION CONTROL PLAN CONDITION 3
PROJECT LOCATION: STREET, PROPERTY OWNER, ANTICIPATED STARTING DATE, CONTRACTOR, ANTICIPATED COMPLETION DATE, SOIL TYPE, SLOPE

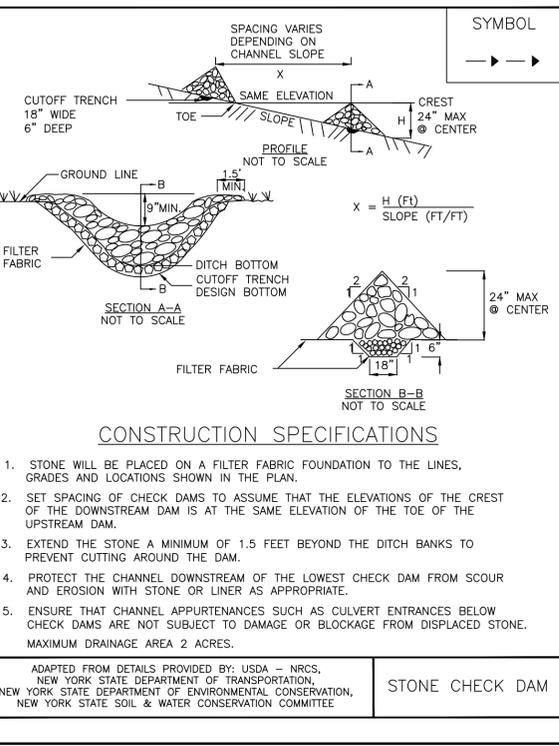


TYPICAL ROAD CROSS-SECTION DEDICATED HIGHWAY
N.T.S.



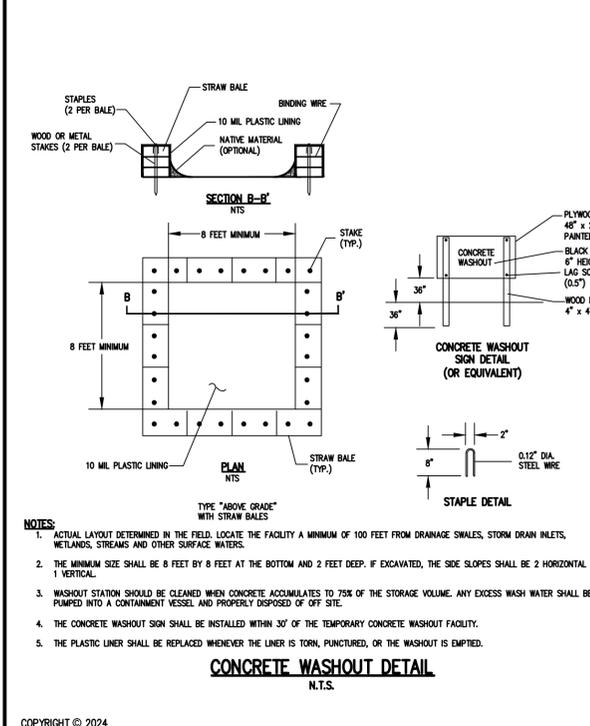
CONSTRUCTION SPECIFICATIONS

SILT FENCE
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

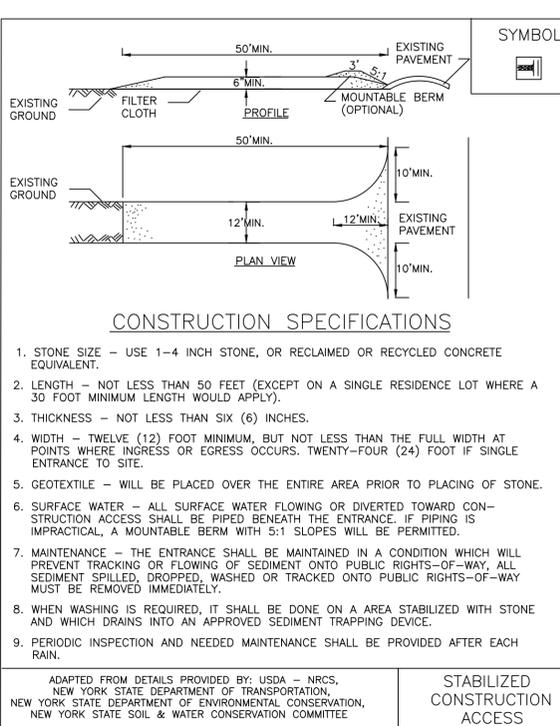


CONSTRUCTION SPECIFICATIONS

STONE CHECK DAM
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

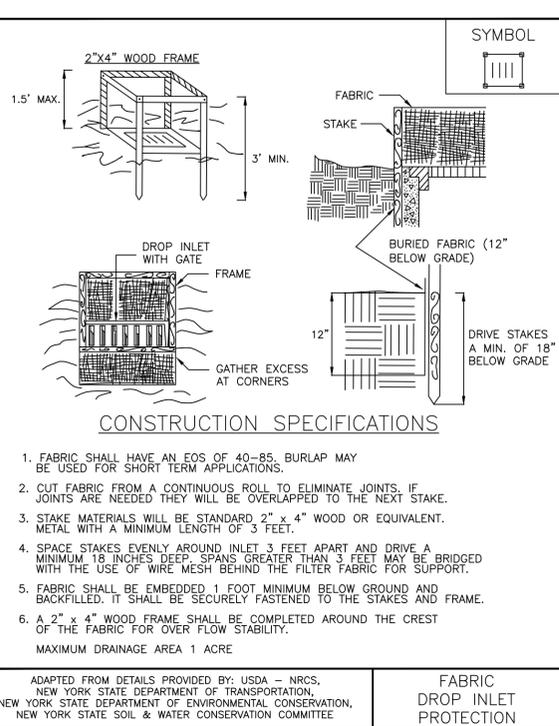


CONCRETE WASHOUT DETAIL
N.T.S.



CONSTRUCTION SPECIFICATIONS

STABILIZED CONSTRUCTION ACCESS
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



CONSTRUCTION SPECIFICATIONS

FABRIC DROP INLET PROTECTION
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

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REVISIONS	DATE	BY
7		
6		
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1		

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COVENTRY RIDGE SUBDIVISION
SECTION 3
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT: CLOVER STREET DEVELOPMENT CORPORATION
50 LAUREL STREET
PITTSFORD, NY 14854
PRELIMINARY
DRAWING TITLE: DETAIL SHEET

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SCALE: N.T.S.
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PROJECT NO.: 9502F
DRAWING NO.: 11

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.