

Town of Pittsford Design Review & Historic Preservation Board
AGENDA
March 28, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, March 28, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

33 Esternay Lane

Applicant is requesting design review for the removal of a sliding glass door and the addition of four windows to the west and north elevations.

36 Musket Lane

Applicant is requesting design review for a 353-square-foot addition to the back of the home.

157 Caversham Woods

Applicant is requesting design review for a 27-square-foot front porch addition over the existing stoop.

41 Old Farm Circle

Applicant is requesting design review for an approximately 850-square-foot second story addition to the north side of the home.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for a 34.45-square-foot sign in Pittsford Plaza for Columbia Sportswear.

Town of Pittsford Design Review & Historic Preservation Board
MINUTES
March 14, 2024

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, March 14, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Jim Vekasy; Kathleen Cristman; Paul Whitbeck; John Mitchell; Bonnie Salem

ABSENT: None

ALSO PRESENT: Bill Zink, Building Inspector; Meghan Brooks, Building Department Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 7 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

DRHPB Member Bonnie Salem asked if anyone had any questions or comments on the email for inventoried homeowners. DRHPB Member Kathleen Cristman stated that they had briefly discussed it at the previous meeting. No one had any further comments.

Board Member Salem also reported that she had an unexpected call from the homeowner of 7 Landsdowne Lane who is interested in going forward with designation. She has been actively working with the homeowner to assist her in the process.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

11 Smead Road

Applicant is requesting design review for a 126-square-foot addition to the rear of the home, a front porch, and new windows, doors, and siding to the existing structure.

Lindsey Fox of BuildHappy introduced the application. Ms. Fox stated that the homeowners seek to renovate the exterior of the house for both function and design, as well as add a small addition to the home. They will also be replacing a section of the roof to better meet current code and prevent water damage.

DRHPB Chairman Dirk Schneider confirmed with Ms. Fox that it is just a small roof on the front porch. Board Member Salem inquired after the materials and dimensions. Ms. Fox stated that reinforced vinyl siding will be used and gave a brief description of each product. She added that

the goal is to repair and paint the garage doors rather than replace them. Board Member Salem asked if the current front porch stoop is just going to be covered or if it will be expanding. Ms. Fox responded that it they maintain the current envelope, which has a two-foot projection.

Board Member Kathleen Cristman asked about the stairs extending on the left elevation. Ms. Fox confirmed they are a replacement for the failing stoop which needs a safety handrailing. After Chairman Schneider asked about the roof shingling, Ms. Fox noted that the goal is to strategically match and blend the new shingles to the original and not have to reroof the entire structure. DRHPB Member Paul Whitbeck asked about the board and batten accent on the left elevation. Ms. Fox stated that it is white and matches other elevations.

DRHPB Vice Chairman Dave Wigg motioned to approve the 126-square-foot addition to the rear of the home, a new front porch, and new windows, doors, and siding to the existing structure as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

4 Preston Circle

Applicant is requesting design review for a 203-square-foot screened porch addition to the back of the home.

Ryan Wright of R.T.W. Construction introduced the application. Mr. Wright stated that they will be doing a screened porch similar to what was submitted back in 2021. Building Inspector Bill Zink confirmed that the foundation had been partially completed. Mr. Wright stated that they will use custom-made screens with a 16–18-inch knee wall that will closely match the existing siding. The roof will be about 10 inches below the second-story windows. Fascia and framing will match with a white vinyl wood-grain PVC product.

Board Member Whitbeck asked if it will be a three-season room. Mr. Wright confirmed that it will be. Chairman Schneider confirmed with Mr. Zink that there is a footing, not just a concrete pad.

DRHPB Chairman Dirk Schneider motioned to approve the 203-square-foot screened porch addition to the back of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

20 Kirklees Road

Applicant is requesting design review for a 556-square-foot addition to the back of the home.

Chris Hennessey of CKH Architecture introduced the application. Ms. Hennessey stated that her client would like to add an addition off the back of the home.

Chairman Schneider asked how much they will raise the ridge. Ms. Hennessey responded that it will be raised about three feet. Chairman Schneider confirmed with her that the siding will match and asked for an overview of how they will be configuring the windows in the new addition. Board Member Salem stated it seems like it will be a nice addition to the home.

DRHPB Member Bonnie Salem motioned to approve the 556-square-foot addition to the back of the home as submitted. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

9 Forestwood Lane

Applicant is requesting design review for a 280-square-foot covered deck on the back of the home.

Vaidotas Jasinevicius, homeowner, introduced the application. Mr. Jasinevicius stated that he intends to build a roof over an existing deck. The posts for framing are already there. It will have a polycarbonate roof and have no walls.

There was some discussion on the structural integrity of the design, though Chairman Schneider noted that the Building Department will be doing a code review. He added that it seems architecturally inoffensive enough and Board Member Cristman asked if the framing would be natural wood. Mr. Jasinevicius that he will be using pressure-treated wood that will be stained and sealed the same dark brown as the decking.

DRHPB Chairman Dirk Schneider motioned to approve the 280-square-foot covered deck on the back of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

177 Overbrook Road

Applicant is requesting design review for approximately 1,700 square feet of additions to the front and back of the home (about 1,000 of which is conditioned living space).

Paul Morabito of Morabito Architects introduced the application. Mr. Morabito stated that they will be adding about 1,000 square feet of living space to the home. The homeowners had originally discussed adding a second floor, but eventually decided to maintain the character of the existing ranch style and neighborhood. Both siding materials used will be Hardie board. The roofing will be in a black onyx color, the garage door will be woodgrain, and the front door will hopefully be woodgrain, if they can source it. A full basement will be added as well to make the most of the footprint.

Chairman Schneider asked how far the garage will come forward. Mr. Morabito stated that the garage will be brought out about ten feet and the porch will be brought out about six feet. Chairman Schneider noted that the projection of the front porch mitigates a good part of the impact of the garage moving forward.

DRHPB Vice Chairman Wigg confirmed with Mr. Morabito that the home will be reroofed, and Chairman Schneider confirmed that the stone detail on the front porch will match the chimney.

DRHPB Member Bonnie Salem motioned to approve the approximately 1,700 square feet of additions to the front and back of the home as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

44 & 46 Skylight Trail

Applicant is requesting design review for a two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision. The units are 2,010 and 2,023 square feet, respectively.

Bill Arieno of Morrell Builders introduced the application. Mr. Arieno stated that this and the following applications are the last two homes to be built in Alpine Ridge. The designs are in keeping with the development.

There was some discussion on which houses on the street have stone detailing.

DRHPB Member Kathleen Cristman motioned to approve the two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision, whose units are 2,010 and 2,023 square feet respectively, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

50 & 52 Skylight Trail

Applicant is requesting design review for a two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision. The units are 1,897 and 1,884 square feet, respectively.

Bill Arieno of Morrell Builders introduced the application. Mr. Arieno stated that this has different color scheme to the previous application, with one front-load garage and one side-load garage.

DRHPB Member Paul Whitbeck motioned to approve the two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision, whose units are 1,897 and 1,884 square feet respectively, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

PITTSFORD OAKS SEQRA VOTE

There was a brief discussion wherein the Board agreed that they did not wish to be Lead Agency for the Pittsford Oaks SEQRA application.

DRHPB Chairman Dirk Schneider made a motion to decline being the Lead Agency for the Pittsford Oaks application. This motion was seconded by DRHPB Member John Mitchell.

Building Assistant Meghan Brooks called role. The Board voted as follows:

Paul Whitbeck	Aye
Jim Vekasy	Aye
John Mitchell	Aye
Bonnie Salem	Aye
Kathleen Cristman	Aye
Dave Wigg	Aye
Dirk Schneider	Aye

The motion passed unanimously.

OTHER DISCUSSION

There was some discussion about the demolition of the Barn Bazaar and its history. The Board agreed that there does not seem to be any reason to reopen the issue, as the structures have only deteriorated further with time.

02/08/2024 MEETING MINUTES REVIEW

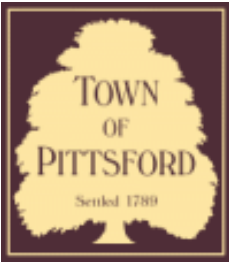
The minutes of February 29, 2024, were approved following a motion by DRHPB Chairman Dirk Schneider. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 7:03PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000033

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 33 Esternay Lane PITTSFORD, NY 14534

Tax ID Number: 150.15-2-68

Zoning District: RN Residential Neighborhood

Owner: White, David L Jr.

Applicant: White, David L Jr.

Application Type:

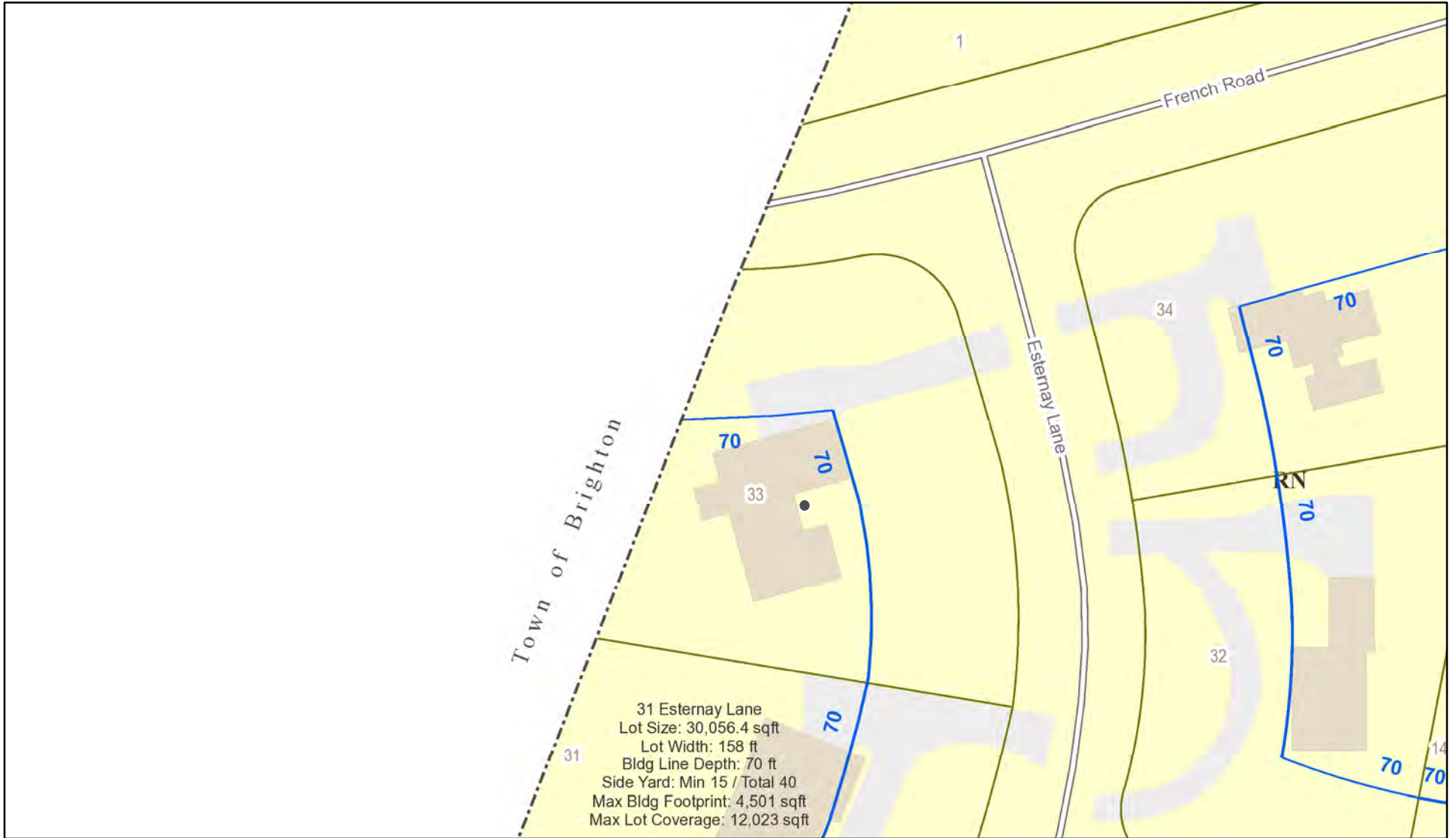
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the removal of a sliding glass door and the addition of four windows to the west and north elevations.

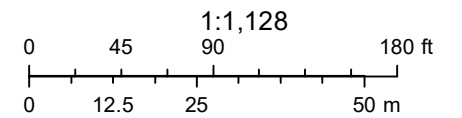
Meeting Date: March 28, 2024



RN Residential Neighborhood Zoning



Printed March 21, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



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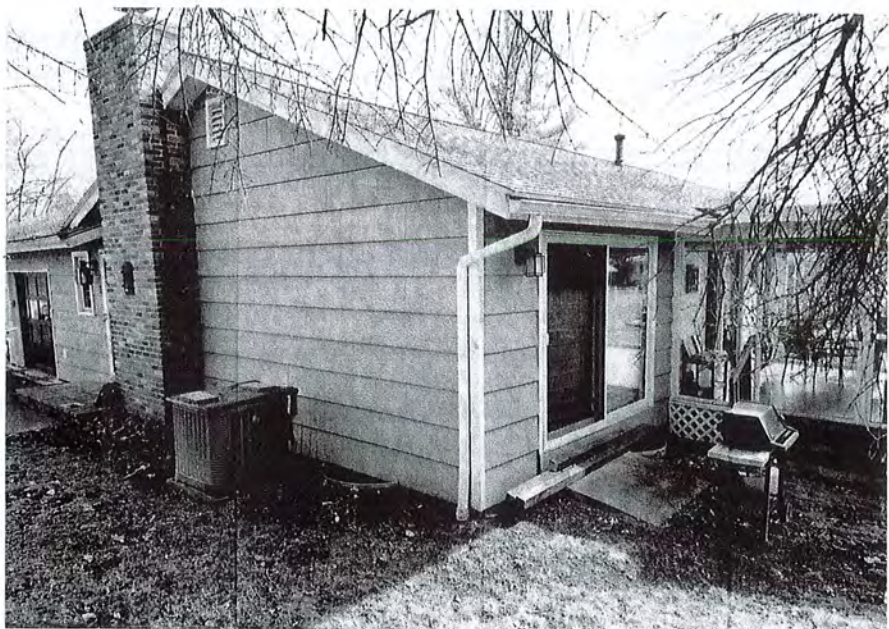
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Fri Apr 14 2023

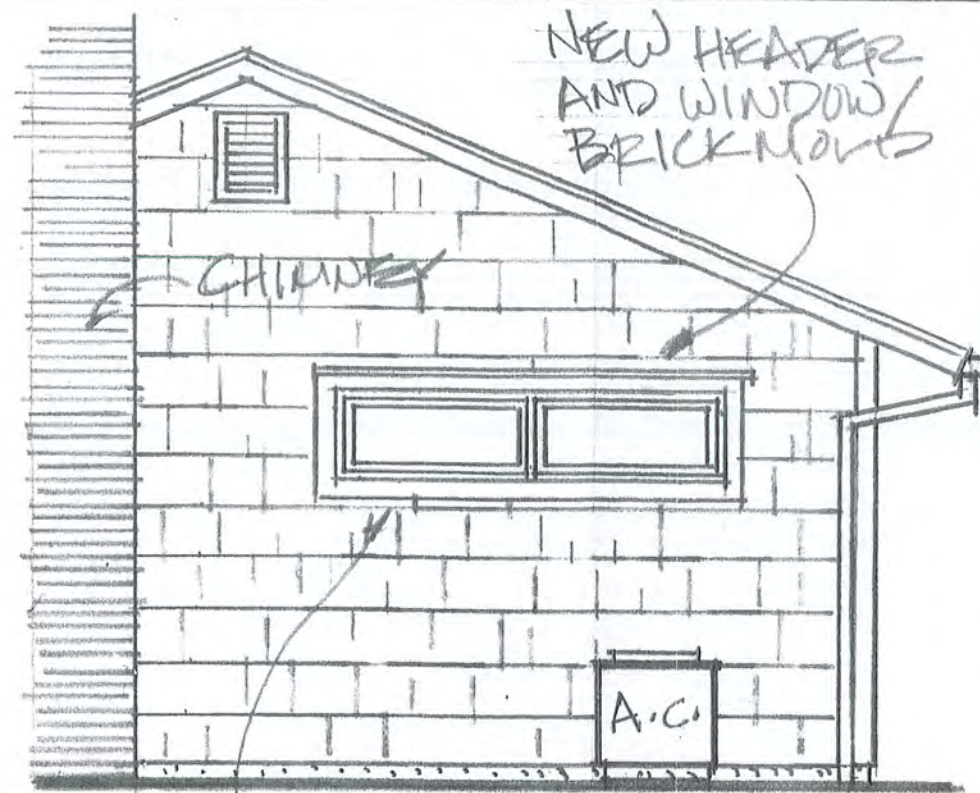
Imagery © 2024 Nearmap, HERE

20 ft

nearmap

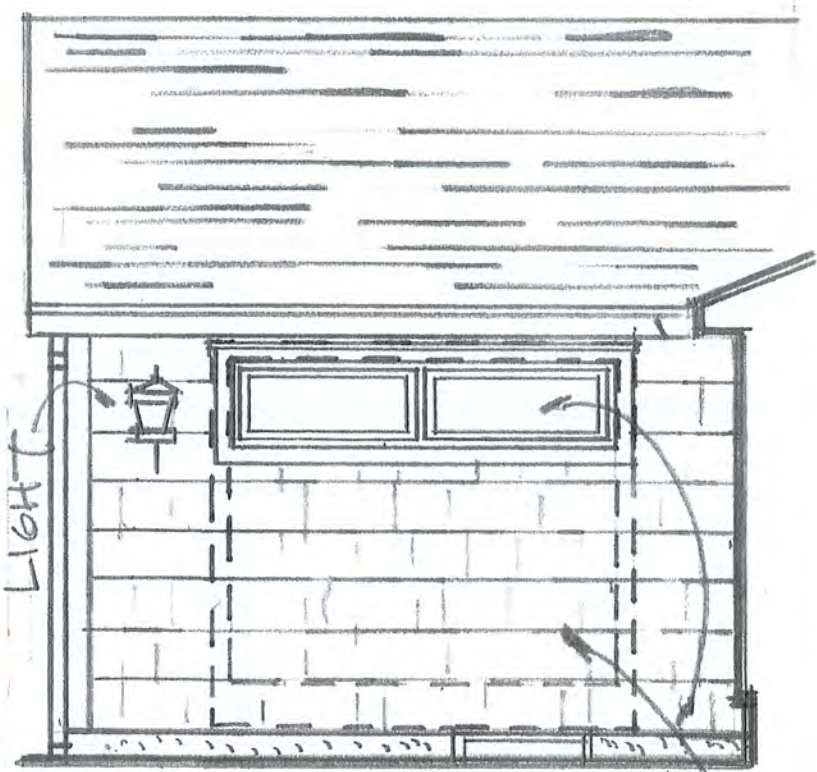


EXISTING CONDITIONS
(SIDE/REAR CORNER)



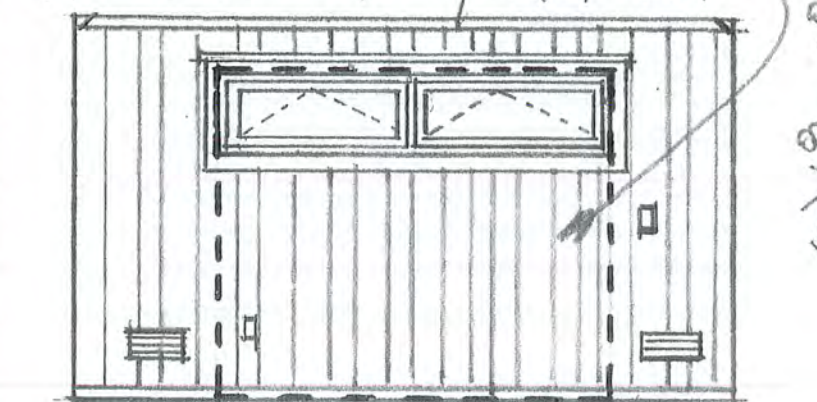
PATCH SIDING
NORTH EXTERIOR
(VISIBLE FROM ROAD)

CUT-IN NEW OPENING FOR NEW WINDOW AND NEW (2) 2x10 HEADER. PATCH FINISHES/LASING TRIM TO MATCH EXISTING

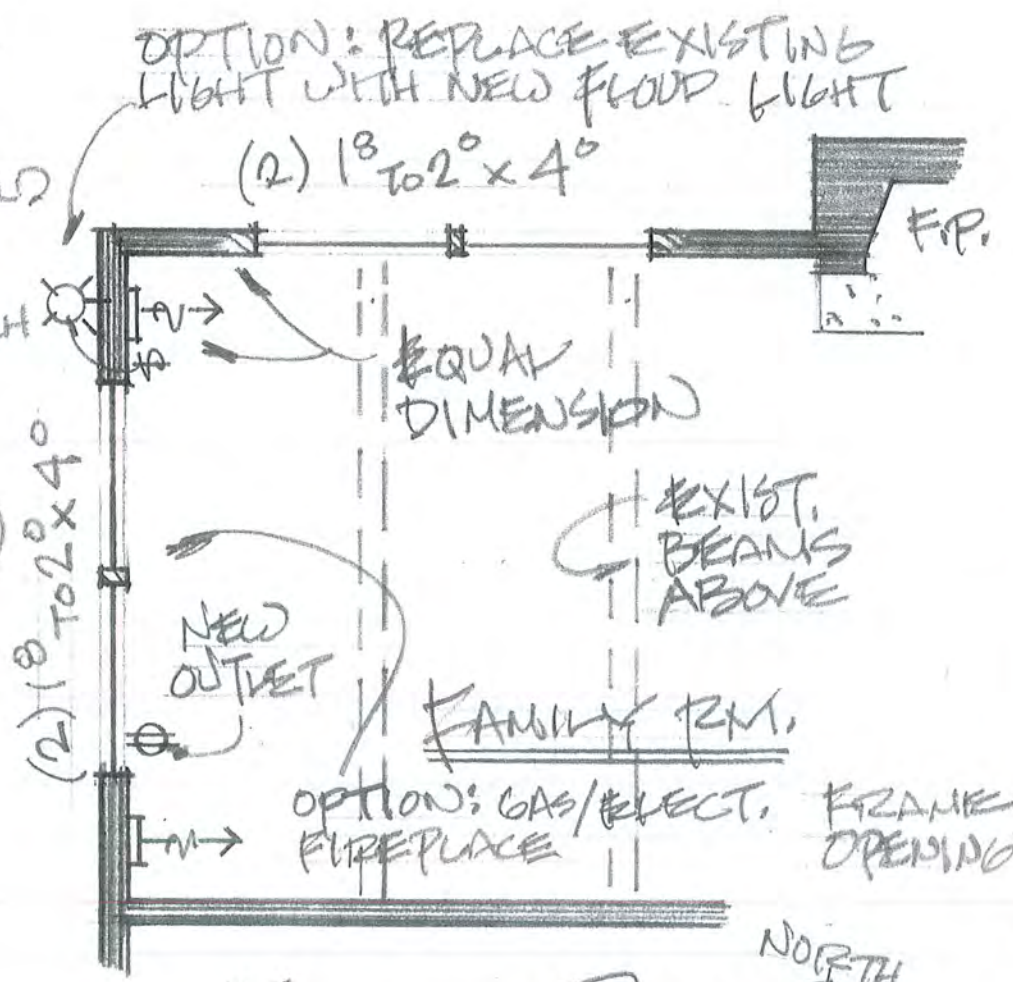


WEST EXTERIOR

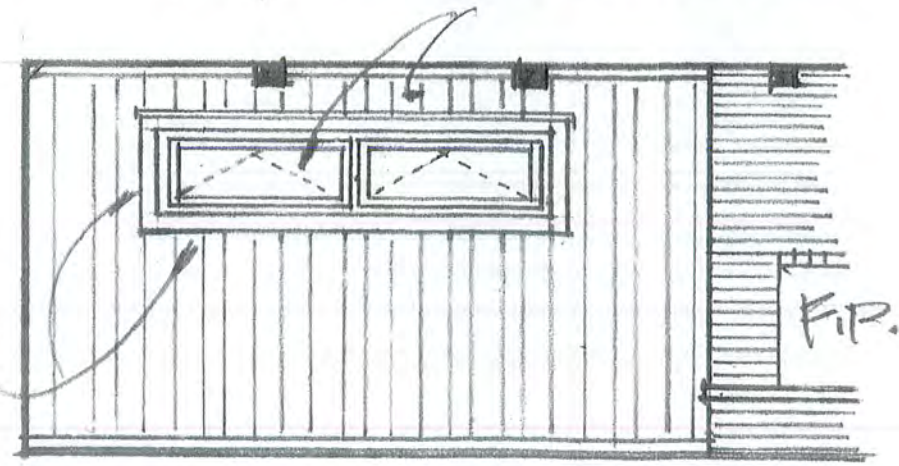
REMOVE EXISTING GLASS DOOR/TRIM (HEADER TO REMAIN) INSTALL NEW WINDOW/BRICKMOLD AND 2x4 STUDS/2-13 INSULATION/SHEATHING/HOUSEWRAP AND PAINTED CEDAR SIDING TO MATCH EXISTING. INTERIOR: PAINTED PANNELLING/DRYWALL (VERIFY) TO MATCH EXISTING/VAPOR BAR.



PAINTED TRIM TO MATCH WEST INTERIOR WALL



FLOOR PLAN



NORTH INTERIOR WALL

JOSEPH A. ADDANTE ARCHITECT

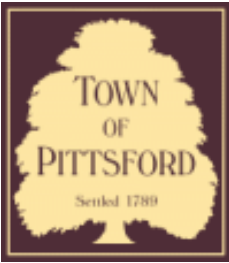


113 S. Main Street
Fairport, New York 14450
(585) 223-6036

NEW WINDOWS - FAMILY RM.
FOR -
WHITE RESIDENCE
WESTERN LN. PITTSFORD NY



PROJECT: 2444
DATE: 2.29.24
SHEET: 1 of 1



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000035

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 36 Musket Lane PITTSFORD, NY 14534

Tax ID Number: 178.20-2-64

Zoning District: RN Residential Neighborhood

Owner: Amy, James M

Applicant: Sidoti Construction

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

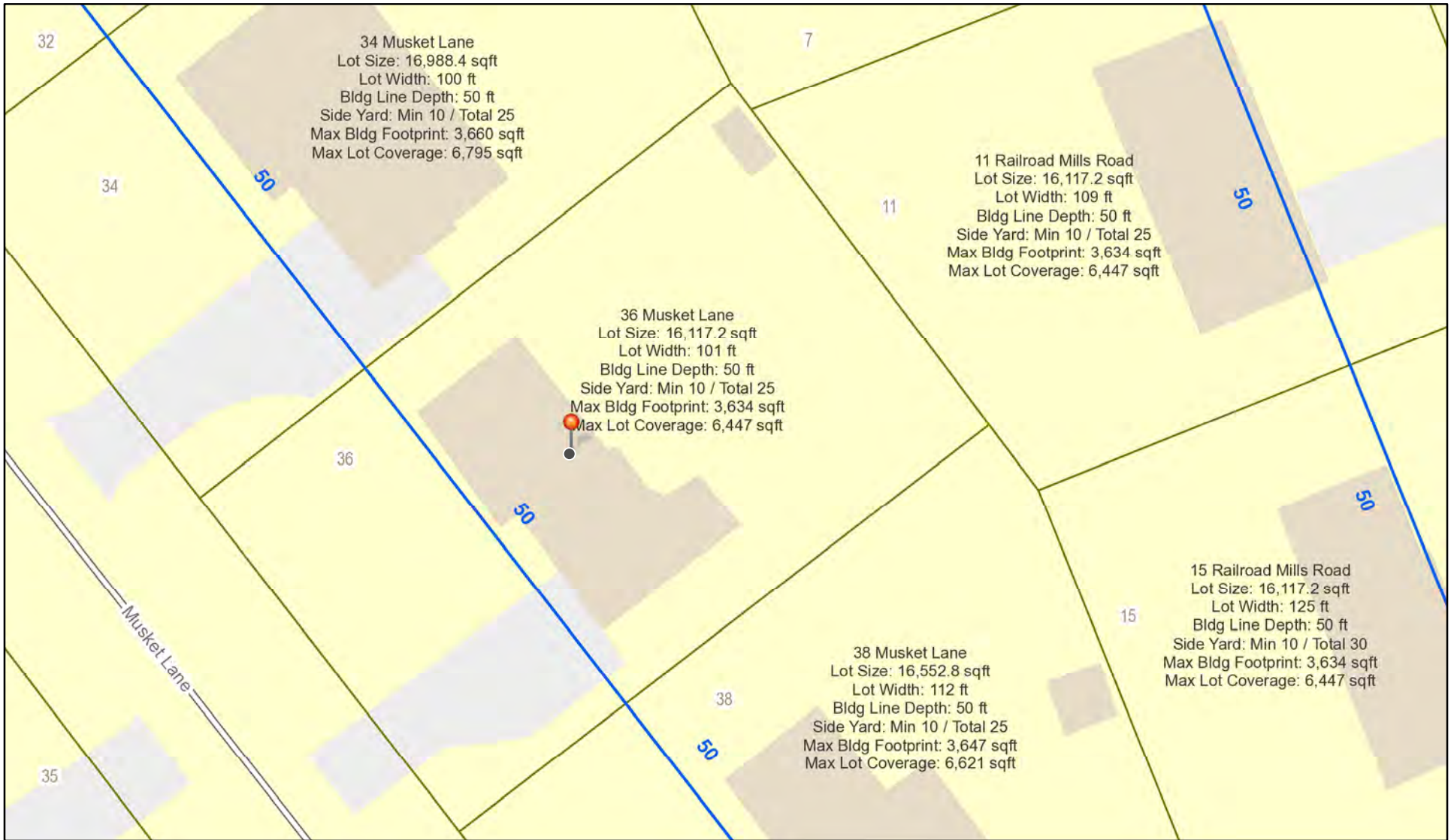
Project Description: Applicant is requesting design review for a 353-square-foot addition to the back of the home.

Meeting Date: March 28, 2024

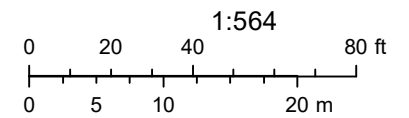




RN Residential Neighborhood Zoning



Printed March 21, 2024



Town of Pittsford GIS

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37

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Fri Apr 14 2023

Imagery © 2024 Nearmap, HERE

20 ft

nearmap

11

DEED REFERENCE

Liber 11866 of Deeds at Page 617

MAP REFERENCE

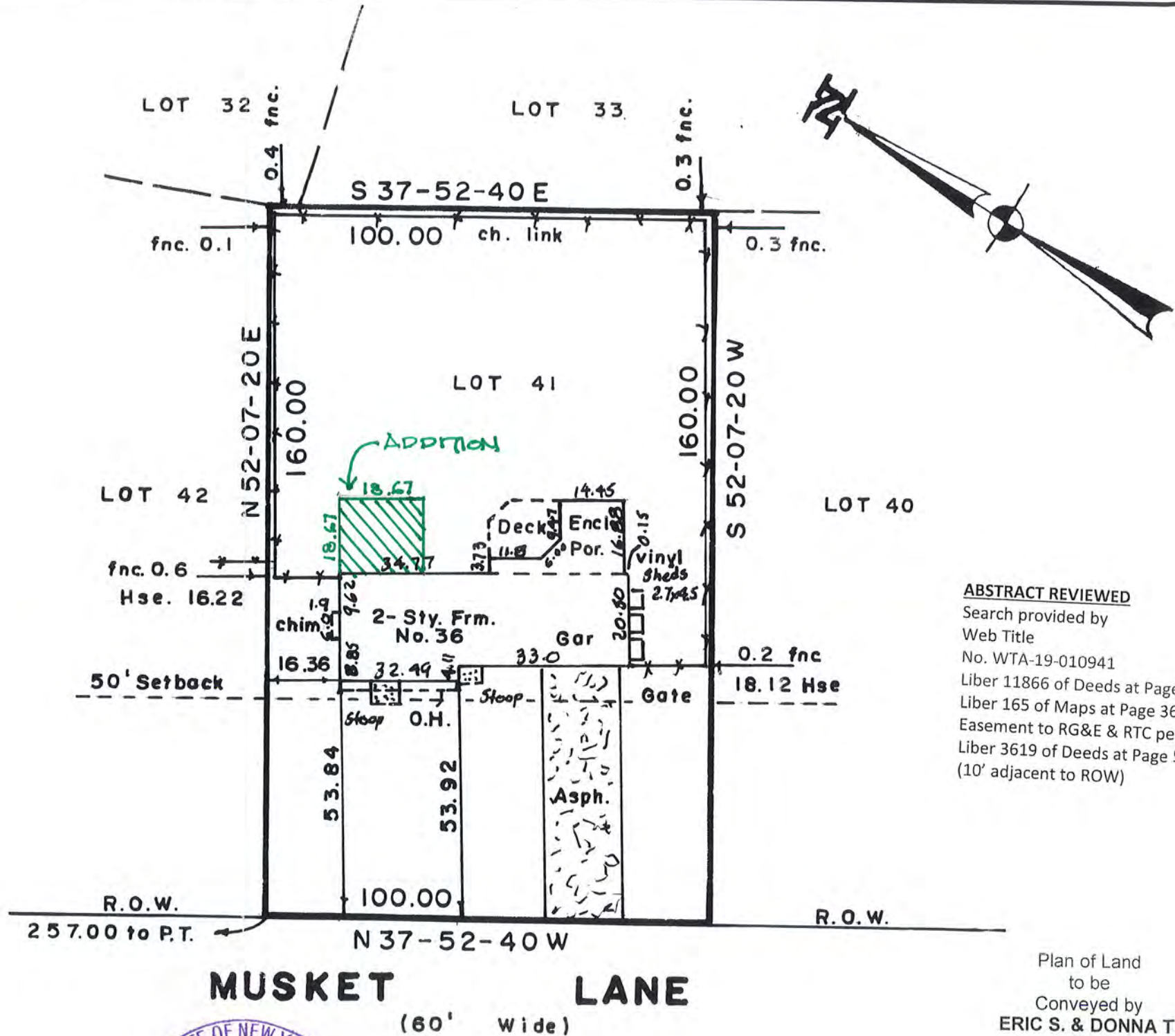
Mill Park Estates Subdivision
Section 2 filed in Liber 165 of
Maps at Page 36

NOTE

Tax Account No. 178.20-0002-064

LEGEND

Deed Line ————
Property Line —————
Fence Line —x—x—x—x—x—x—



"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional or subsequent owners.

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law."

"Copies from the original of this survey map not marked with an original of the land surveyor's inked seal or his embossed seal shall not be considered to be a valid true copy."

"The alteration of survey maps by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans or survey plats prepared by others.

CERTIFICATE

This is to Certify to:

The Summit Federal Credit Union,
Its successors and/or assigns
The Title Insurance Company insuring the mortgage
James M. Amy & Ann M. Amy
Trevett Cristo, Attorneys
Michael Santariello & Associates, PLLC

that I am a Licensed Land Surveyor and that this Plan
was completed on **July 10, 2019**
from an Instrument Survey completed on **July 03, 2019**

Signed: *David M. Paonessa*

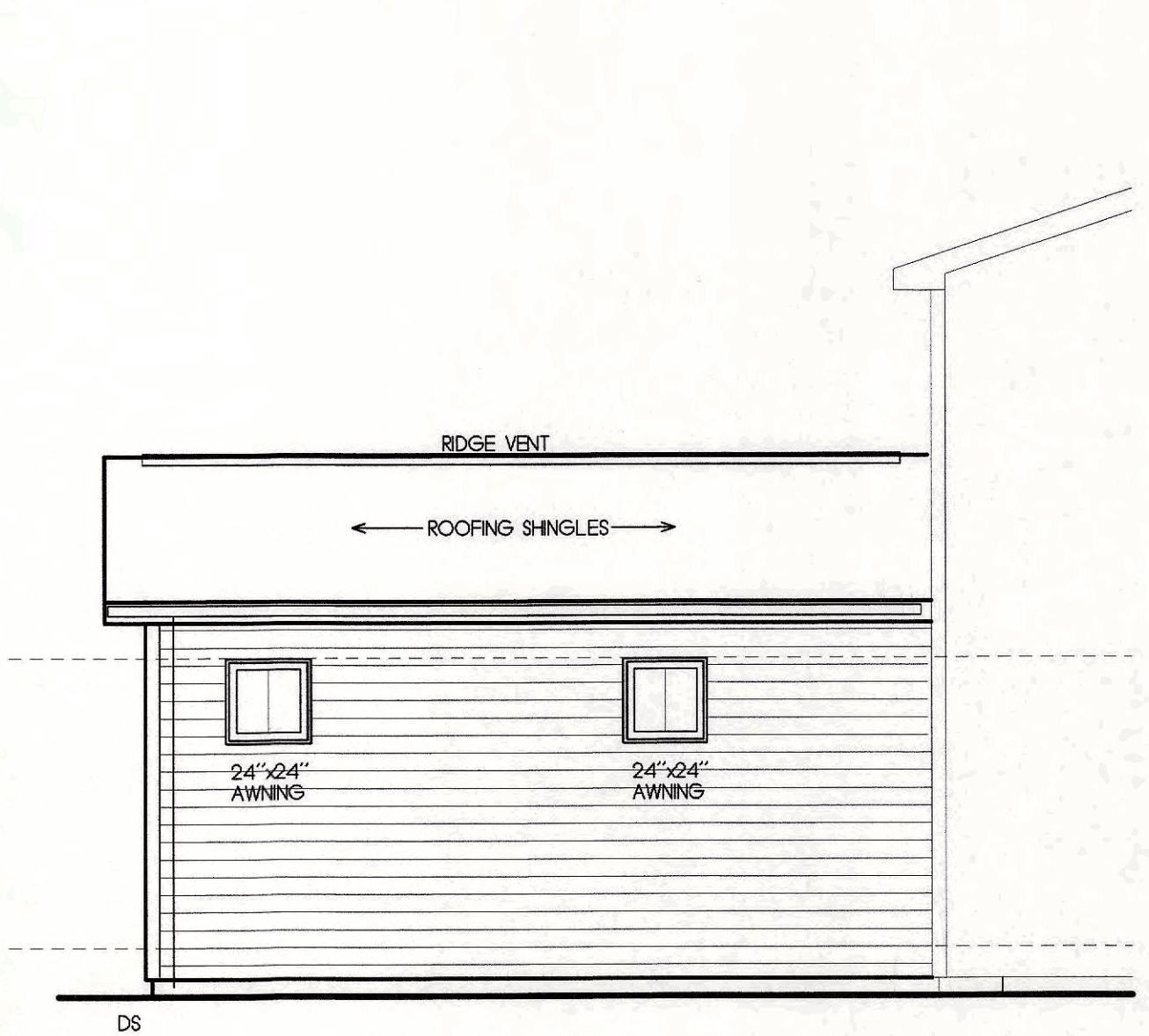
David M. Paonessa, LS #50273
Office Phone: (585) 392-9058
Cell Phone: (585) 737-7640
Email: dpaonessa@rochester.rr.com



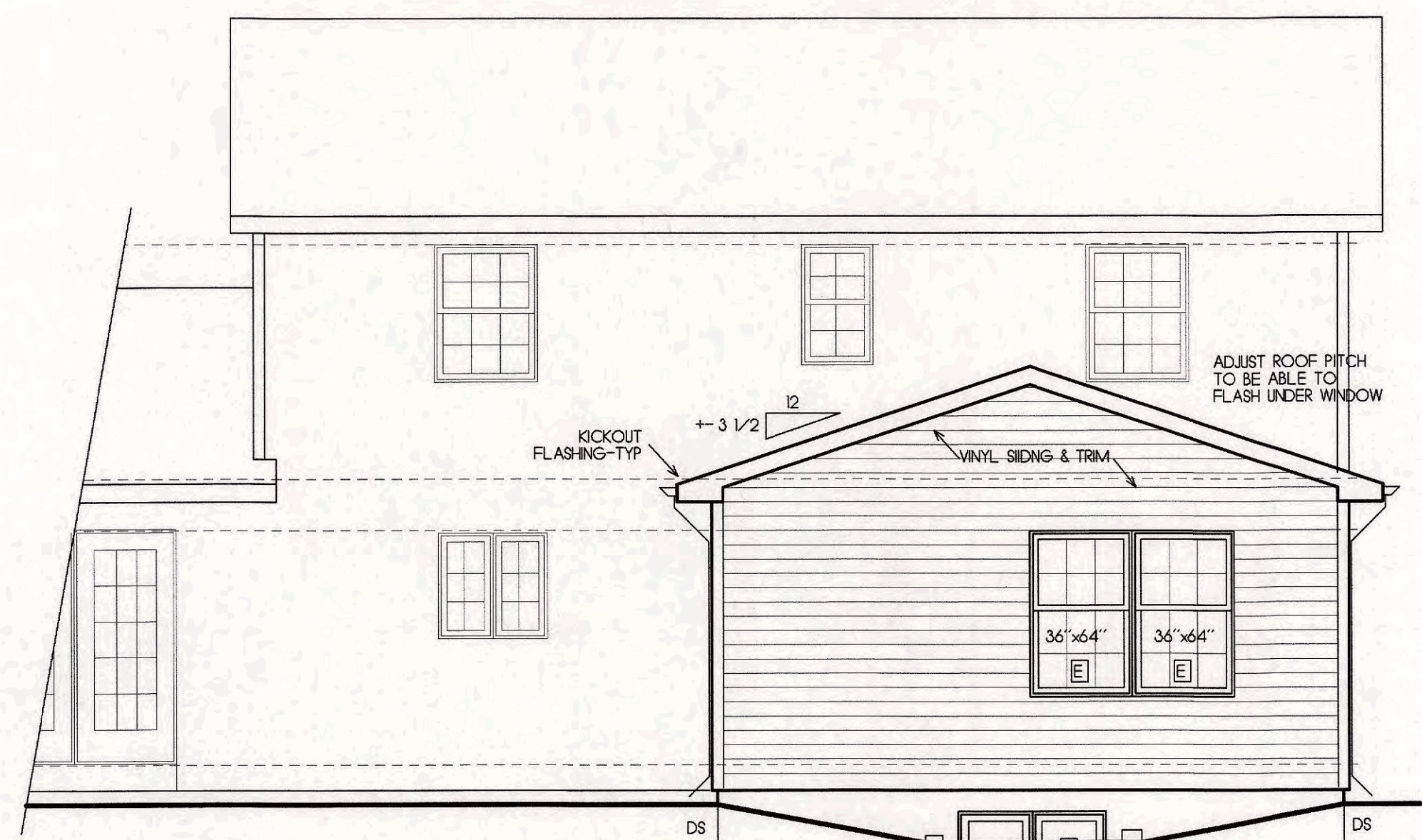
ABSTRACT REVIEWED
Search provided by
Web Title
No. WTA-19-010941
Liber 11866 of Deeds at Page 617
Liber 165 of Maps at Page 36
Easement to RG&E & RTC per
Liber 3619 of Deeds at Page 562
(10' adjacent to ROW)

Plan of Land
to be
Conveyed by
**ERIC S. & DONNA T.
ANDERSON**
Being Part of Town Lot 7
Township 12 Range 5
of the
Phelps & Gorham Purchase
in the
Town of Pittsford
Monroe County, State of New York
Scale 1" = 30'
Surveyed by
David M. Paonessa, LS, P.C.
Hilton, NY File No. 11534

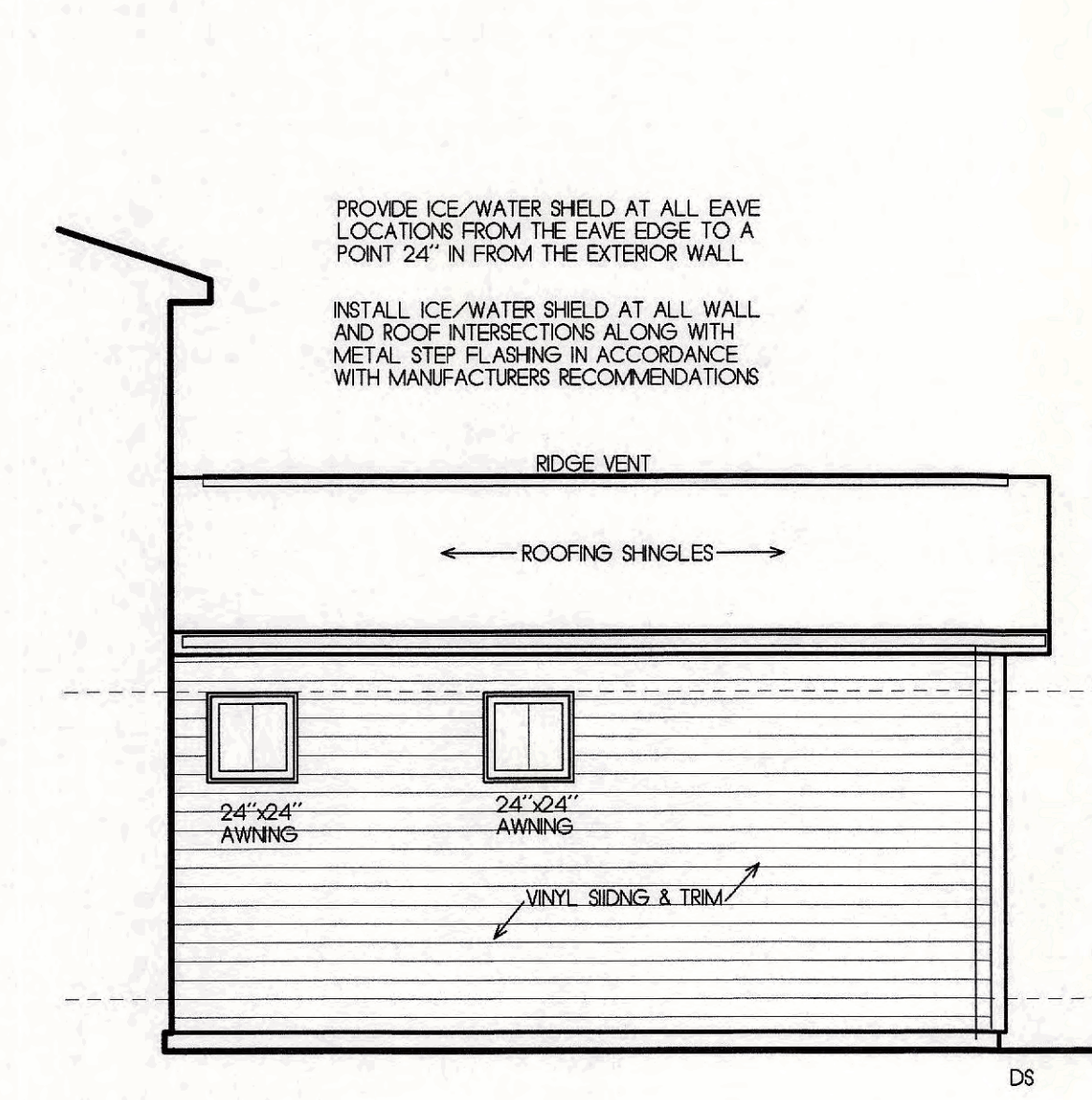
MUSKET LANE
(60' Wide)



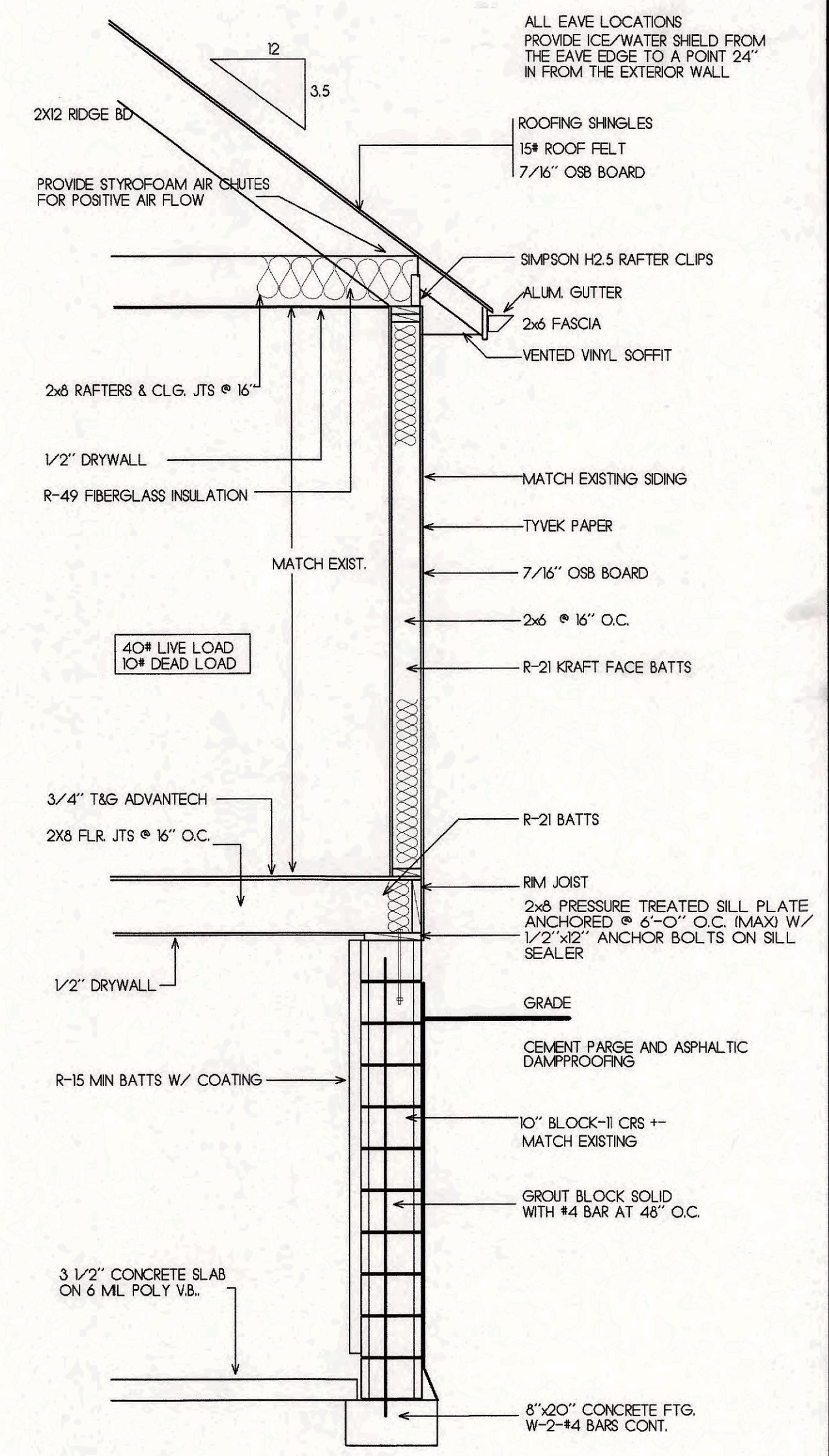
Side Elevation-R
1/4"=1'-0"



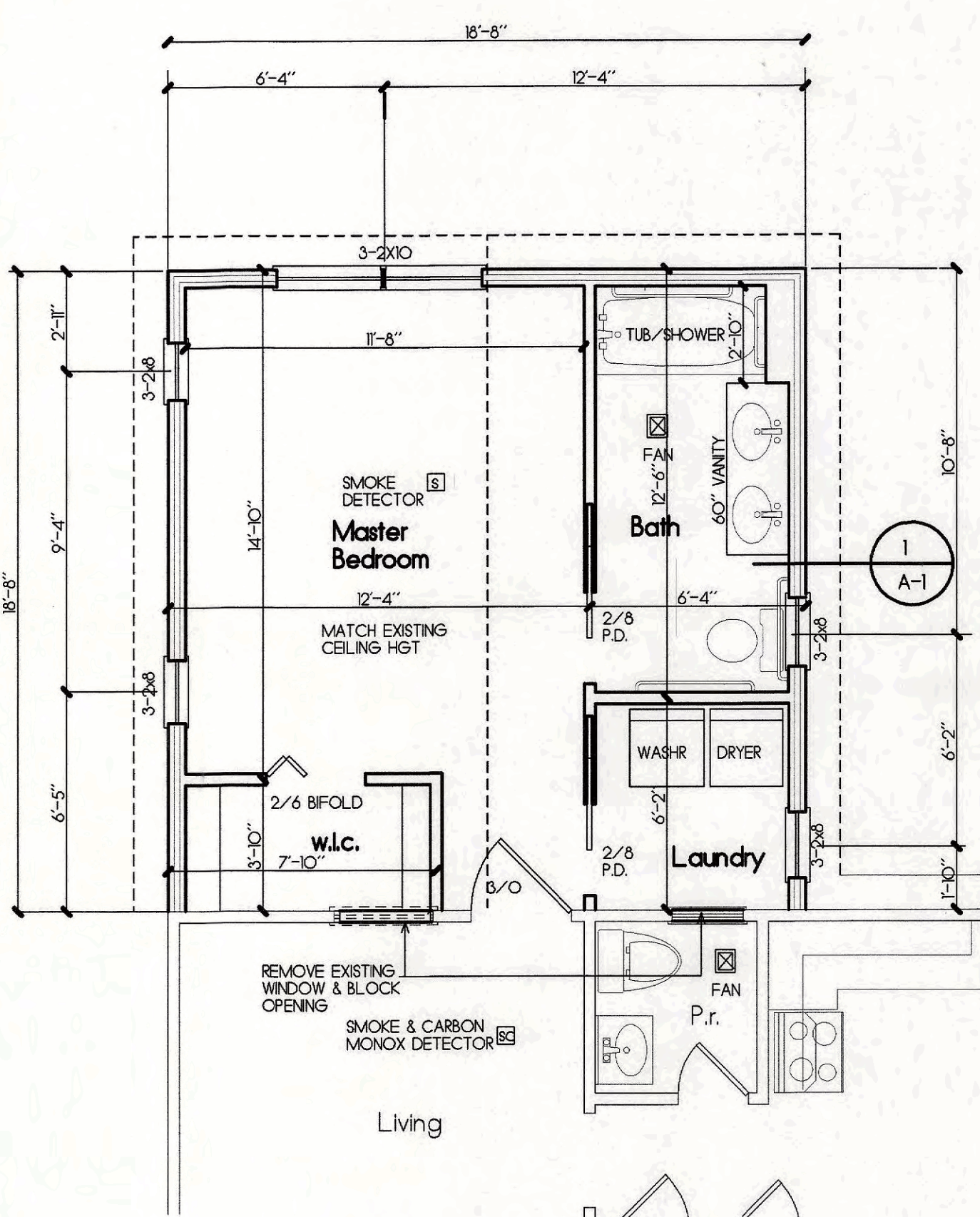
Rear Elevation
1/4"=1'-0"



Side Elevation-L
1/4"=1'-0"



Section 1
1/2"=1'-0"



WALL LEGEND
 2x6 FRAMING @ 16" O.C.
 2x4 FRAMING @ 16" O.C.
 WALLS TO BE REMOVED

First Floor Plan
1/4"=1'-0" AREA = 336 SF.

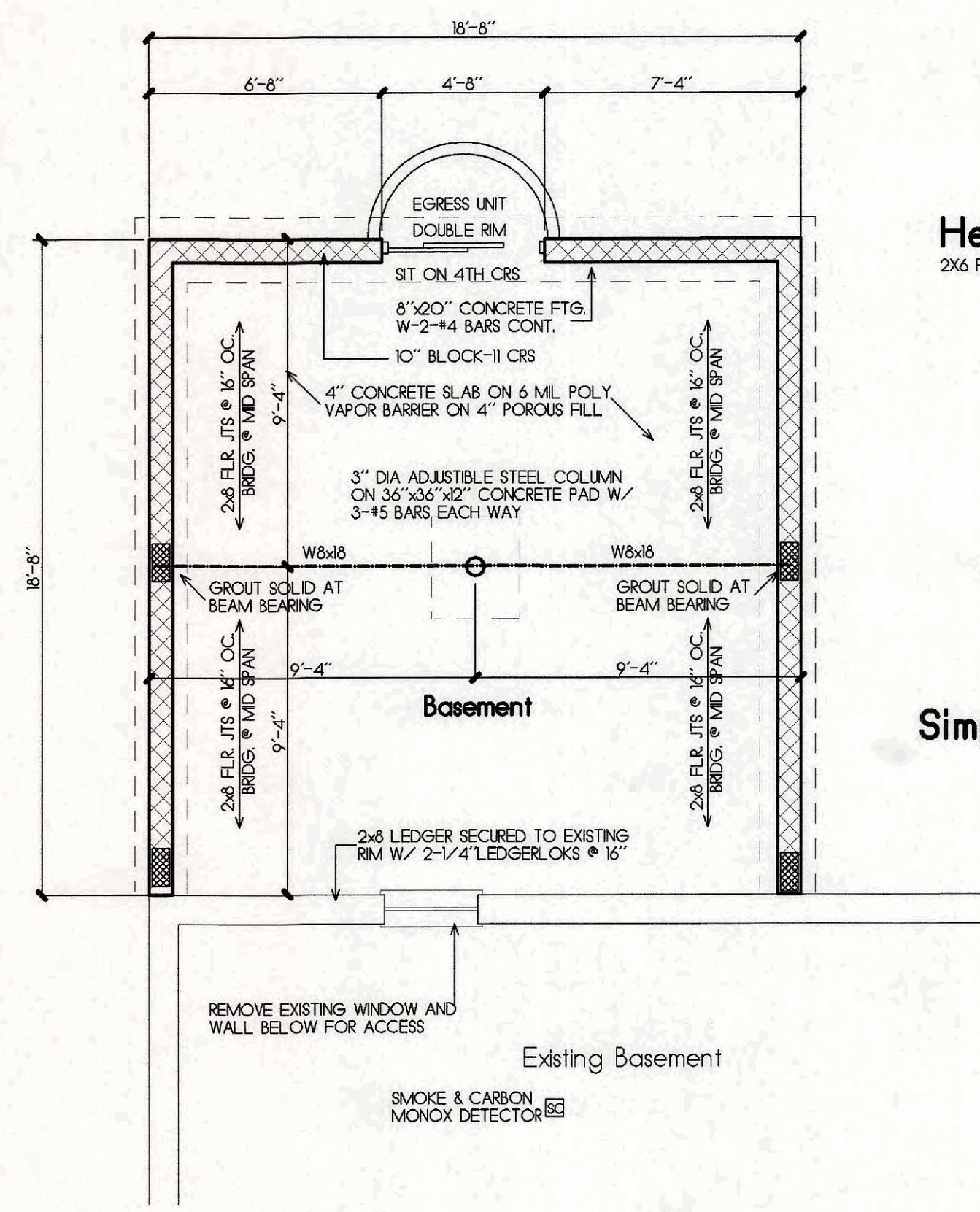
AIR BARRIER INSPECTION LIST	
AIR BARRIER & THERMAL BARRIERS	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT & CONTIGUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER. BREAK JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED. AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL. AIR PERMEABLE INSULATION IS INSIDE OF AIR BARRIER.
CEILING ATTIC	AIR BARRIER IN ANY DROPPED CEILING/SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND GAPS ARE SEALED. ATTIC ACCESS EXCEPT UNVENTED ATTIC KNEE WALL OR STAR ACCESS IS SEALED.
WALLS	CORNERS AND HEADERS ARE INSULATED. JUNCTIONS OF FOUNDATION AND SILL PLATE ARE SEALED. SPACE BETWEEN JAMBS AND FRAMING AREA SEALED.
WINDOWS AND DOORS	RM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER. INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECK. AIR BARRIER IS INSTALLED AT AND EXPOSED EDGE OF INSULATION.
RM JOISTS	
FLOORS INCLUDING ABOVE GARAGES AND CANTILEVER FLOORS	
CRAWL SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS. EXPOSED EARTH IN UNVENTED CRAWL COVERED WITH CLASS I VAPOR BARRIER OVERLAP JOINTS & TAPE.
SHAFTS, PENETRATIONS	DUCT, SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLUE SHAFTS ARE SEALED. BATTS IN NARROW CAVITIES ARE CUT TO FIT OR FILLED WITH SPRAY-BLOWN-IN.
NARROW CAVITIES	RECESSED LIGHTS ARE AIR TIGHT, IC BATED AND SEALED TO DRYWALL UNLESS IN CONDITIONED SPACE.
RECESSED LIGHTING	PLUMBING AND WIRING INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES.
PLUMBING AND WIRING	ELECTRICAL/PHONE BOX ON EXT. WALL AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED TYPE BOXES ARE INSTALLED.
ELECTRICAL/PHONE BOX ON EXT. WALL	HVAC REGISTER BOOTHS THAT PENETRATE ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL.
HVAC REGISTER BOOTHS	

N.Y.S. ENERGY COMPLIANCE NOTE
 THIS HOUSE COMPLIES WITH THE NEW YORK STATE ENERGY CODE EFFECTIVE 2020. PLEASE REFER TO ATTACHED CALCULATIONS FOR COMPLIANCE INFORMATION.

WINDOWS AND DOORS
 WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 3 CFM PER SQUARE FOOT AND SWINGING DOORS NO MORE THAN 5 CFM PER SF.
 WINDOW U-VALUE .30 OR LESS

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED MPH	TOPO EFFECTS	SPECIAL WIND REGION	WIND Borne DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT RECD.	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
						WEATHERING	FROST LINE DEPTH	TERMITE	DECAY					
40	115				B	SEVERE	46"	NONE-SLIGHT	NONE-SLIGHT	1	YES			



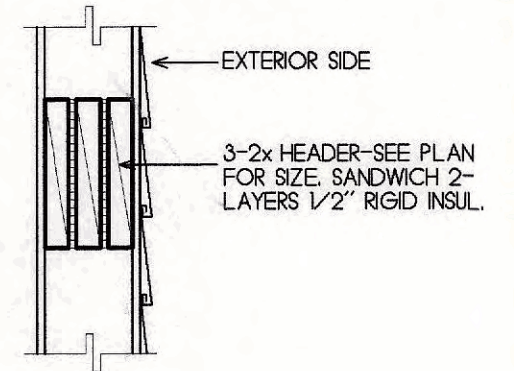
Foundation Plan
1/4"=1'-0"

FOUNDATIONS
 CONTRACTOR SHALL NOTIFY SITE ENGINEER AND ARCHITECT IF SITE CONDITIONS, SUCH AS ADVERSE GROUND WATER OR SOIL CONDITIONS WARRANT MODIFICATIONS TO THE FOUNDATION DESIGN.
 FOOTINGS MAY BE POURED NEAT AGAINST SIDES OF EXCAVATIONS ONLY IF SLOUGHING OR RAVELING DOES NOT OCCUR.
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
 BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL CONCRETE AND GROUT HAS REACHED SUFFICIENT STRENGTH TO RESIST DAMAGE OR STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD DECK IS IN PLACE OR SUFFICIENT WALL BRACING IS IN PLACE.

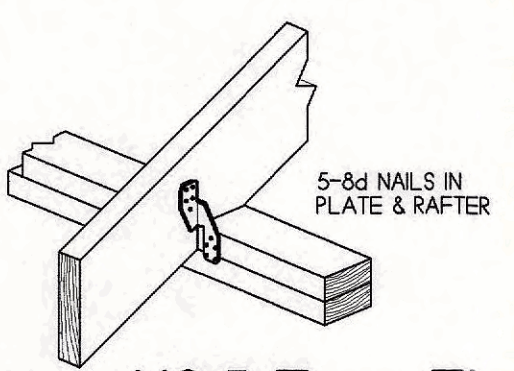
FOOTINGS
 FOOTINGS SHALL BE PLACED AT A MIN OF 48" BELOW GRADE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
 FINAL 3" OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACES.
 BOTTOM SURFACE OF FOOTINGS SHALL NOT SLOPE MORE THAN 1/3 UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 NO EXCAVATION SHALL BE MADE LOWER AND CLOSER THAN 1/3 UNLESS INDICATED ON THE DRAWINGS.
 FOOTINGS AND SLABS SHALL NOT BE PLACED ON MDDY OR FROZEN GROUND.
 ALL FOOTINGS SHALL BEAR ON FIRM AND CLEAN SOIL. THE SOIL BEARINGS SHOULD BE VERIFIED AT THE FOOTINGS BY AN ACCEPTED TESTING METHOD.

CONCRETE
 FOUNDATION DESIGN IS BASED ON A MIN. SOIL BEARING CAPACITY OF 2,000 PSF. BUILDER SHALL NOTIFY ARCHITECT IF CAPACITY IS LESS.
 PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIER UNDER CONCRETE INTERIOR SLABS.
 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE
 BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS 2,500 PSI

REINFORCING-
 ANCHOR BOLTS SHALL CONFORM TO ASTM A-307 AND SHALL BE 1/2" DIA MIN. AND 12" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM END PLATE, 4" O.C. AND MIN. OF 2 ANCHOR BOLTS IN ANY ONE SECTION LOCATE IN MIDDLE THIRD OF PLATE AT LEAST 1/8" FROM THE EDGE OF A 2x4 AND 1 3/4" FROM THE EDGE OF A 2x6.
 CONCRETE MASONRY
 CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90 TYPE I, GRADE N.
 MORTAR - ASTM C270, TYPE S 1 (min 1500 PSI)
 BLOCK FILL - COURSE GROUT 3,000 PSI



Header Detail
2x6 FRAME WALL



Simpson H2.5 Truss Tie

ALA architects
 ROCHESTER, NEW YORK 14604
 255 EAST AVENUE
 ALA-ARC® FRONTIERNET
 1581 704-7347



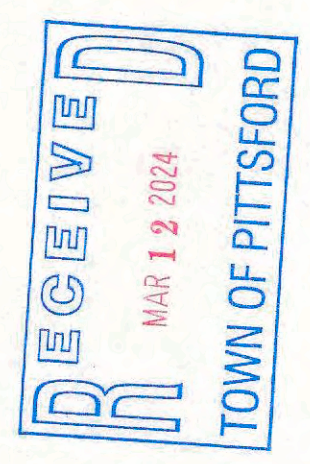
PROPOSED ADDITION FOR
36 MUSKET LANE
 TOWN OF PITTSFORD, NEW YORK

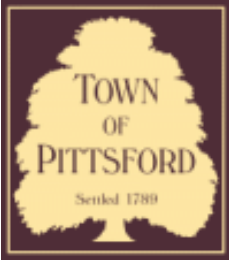
REVISIONS	DATE	DESCRIPTION

JOB NO. # 36

A-1

JAN. 10, 2024





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000036

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 157 Caversham Woods PITTSFORD, NY 14534

Tax ID Number: 163.20-2-26

Zoning District: RN Residential Neighborhood

Owner: Lanahan, Bartholomew D

Applicant: Fitch Construction

Application Type:

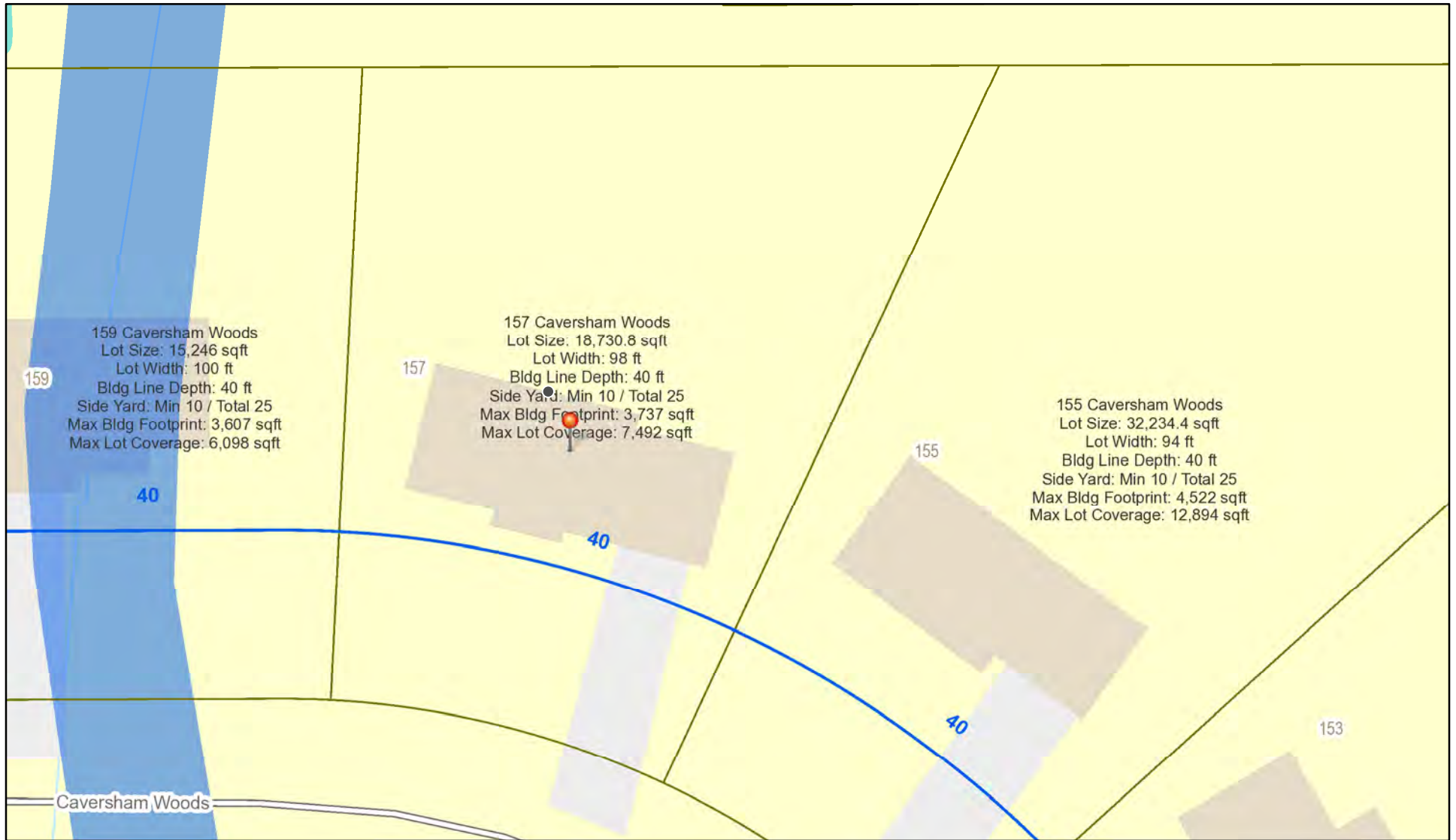
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 27-square-foot front porch addition over the existing stoop.

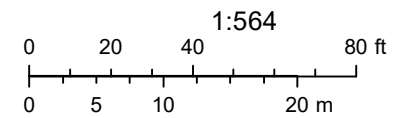
Meeting Date: March 28, 2024



RN Residential Neighborhood Zoning

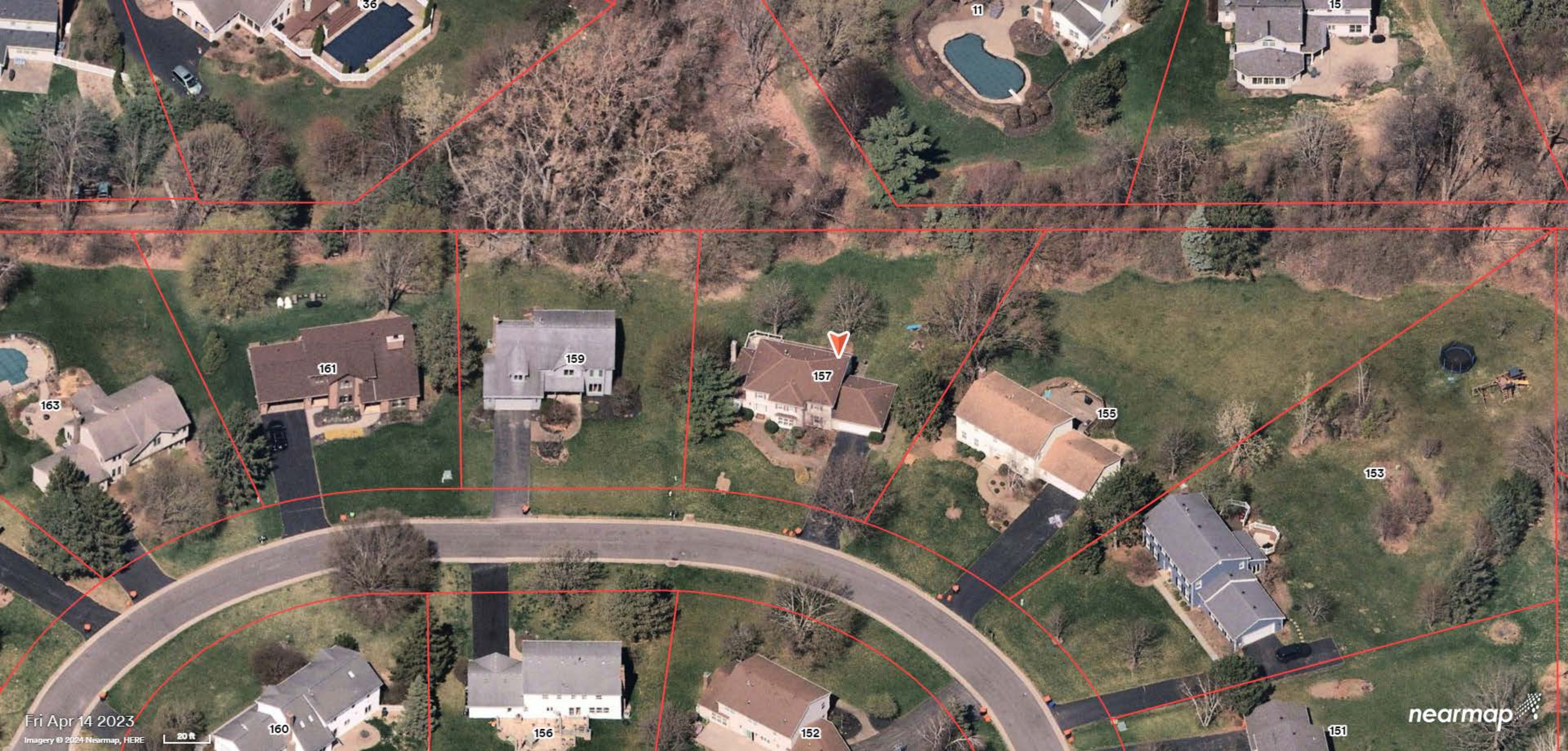


Printed March 21, 2024



Town of Pittsford GIS

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Fri Apr 14 2023

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20 ft

nearmap

P.O. Lonahan
157 Coverstun Woods
Pittsford NY 14534

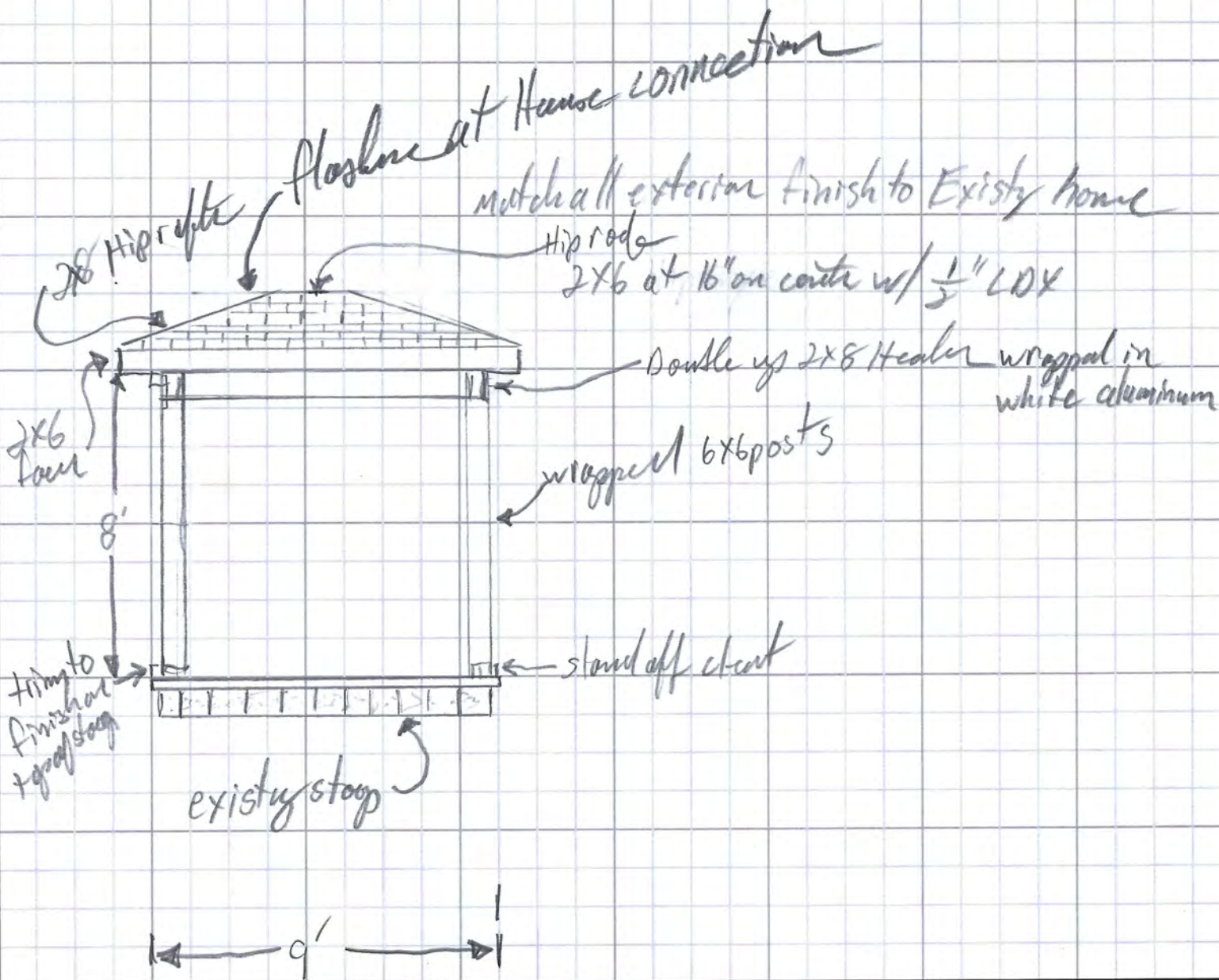
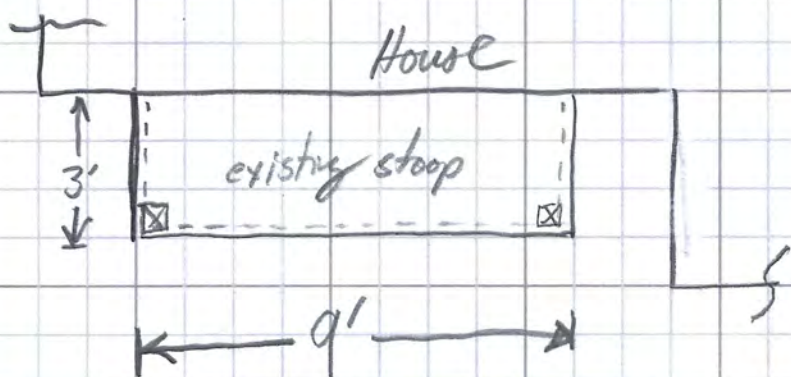


FITCH

CONSTRUCTION, INC.

Fresh Ideas for the Good Life

Hip style roof over existing 3'x9' stoop



Fresh Ideas for the Good Life

PROPOSED PORCH COVER



Imagery ©2024 Google, Map data ©2024, Map data ©2024 20 ft



157 Caversham Woods

Building



Directions



Save



Nearby



Send to phone

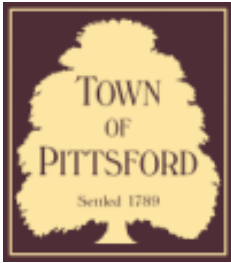


Share



157 Caversham Woods, Pittsford, NY 14534

Photos



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000038

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 41 Old Farm Circle PITTSFORD, NY 14534

Tax ID Number: 164.19-2-25

Zoning District: RN Residential Neighborhood

Owner: Polidor, Daniela Ilona

Applicant: Qid Construction

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for an approximately 850-square-foot second story addition to the north side of the home.

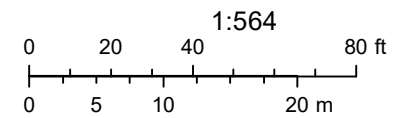
Meeting Date: March 28, 2024



RN Residential Neighborhood Zoning



Printed March 21, 2024



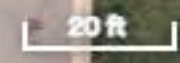
Town of Pittsford GIS

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Fri Apr 14 2023

Imagery © 2024 Nearmap, HERE



nearmap







INSTRUMENT LOCATION MAP

SHOWING

LOT 36

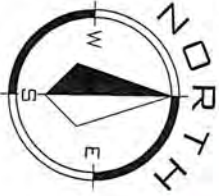
OF THE

KNICKERBOCKER HILL SUBDIVISION, SECT. 4

(LIBER 147 OF MAPS, PAGE 51)

~SITUATE IN:~

TOWN LOT 15, TOWNSHIP 12, RANGE 5,
TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK
SCALE: 1"=30' DATED: MARCH 1, 2024



OLD FARM CIRCLE

(60.0' WIDE)

N 00°51'00" W

171.50' to P.C.
R.O.W. @ Lot 35

R.O.W.

150.00'

70.7'

S 89°09'00" W
210.00'

Asphalt Driveway

130.00'

N 89°09'00" E

LOT 35
TA# 164.19-2-24
43' Old Farm Circle

2nd Story Overhang

Concrete Walk

Covered Conc Porch

27.5'

41.5' Total

39.1'

16.0'

1.0'

23.2'

2.6'x5.9'
Covered Entryway

2 Story Frame House #41

Garage

ADDITION

Vfn Corner 1.4'N

6' Vinyl Fence

16.0'

1.0'

32.8'

Brick Patio

17.0'

16.4'

12.1'

18.2'

6' Vinyl Fence

25.9'

25.1'

DECK

Basketball Hoop

Wdf Corner 1.2'E

LOT 37
TA# 164.19-2-26
39' Old Farm Circle

LOT 36
TA# 164.19-2-25
41' Old Farm Circle

6' Wood Fence

Wrf End 0.2'W

6' Wood Fence

Wdf Corner 0.4'E

Wdf Corner 0.3'E

Utility Box

6' Wood Fence

Vfn Corner 6.9'W

Vfn Corner 8.2'W

170.00'

S 28°55'21" E

LOT R-46
TA# 164.19-2-22
5' Old Farm Circle

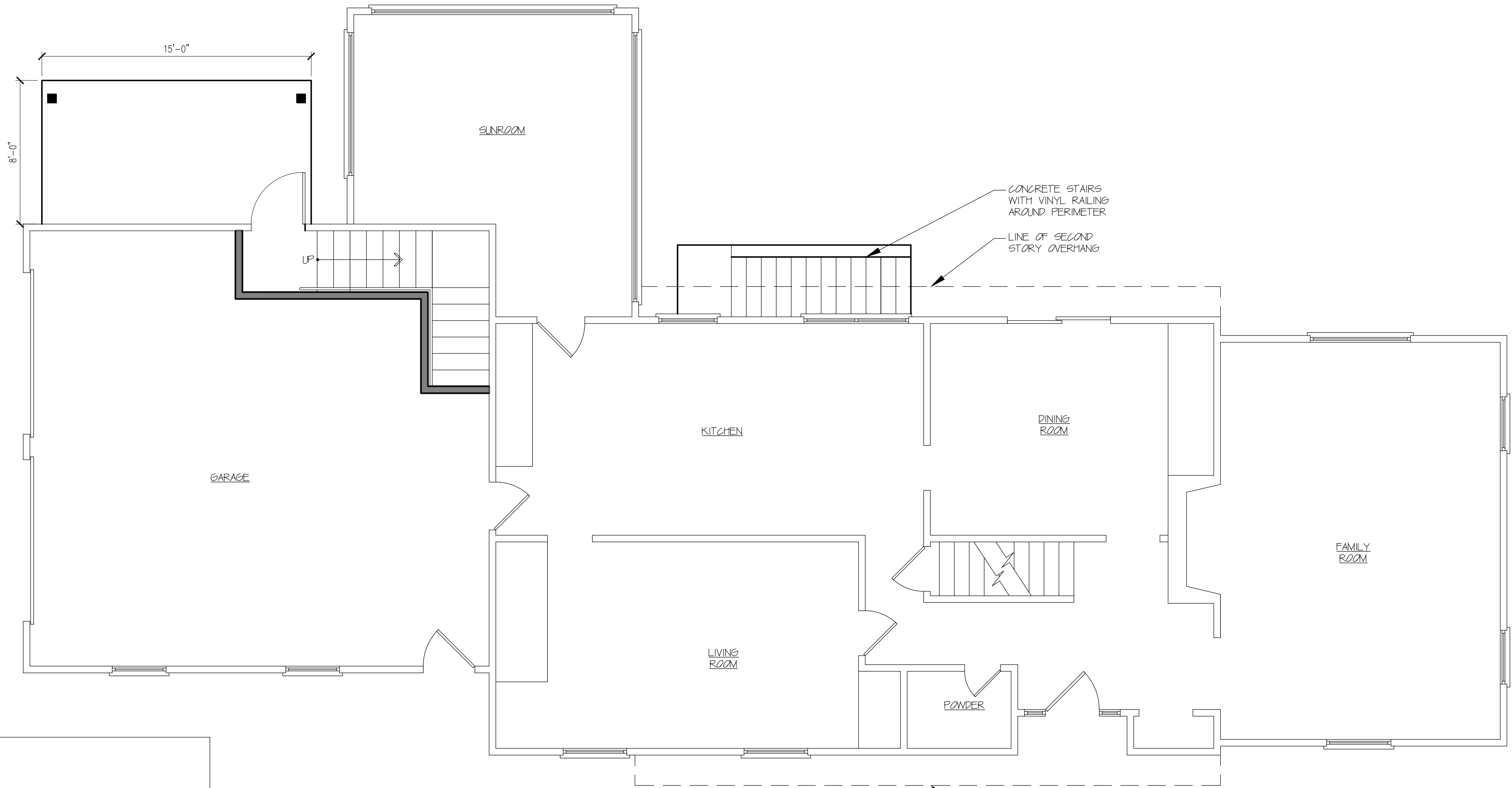
LOT R-34
TA# 164.19-2-23
3' Old Farm Circle

Vfn Corner 1.1'N

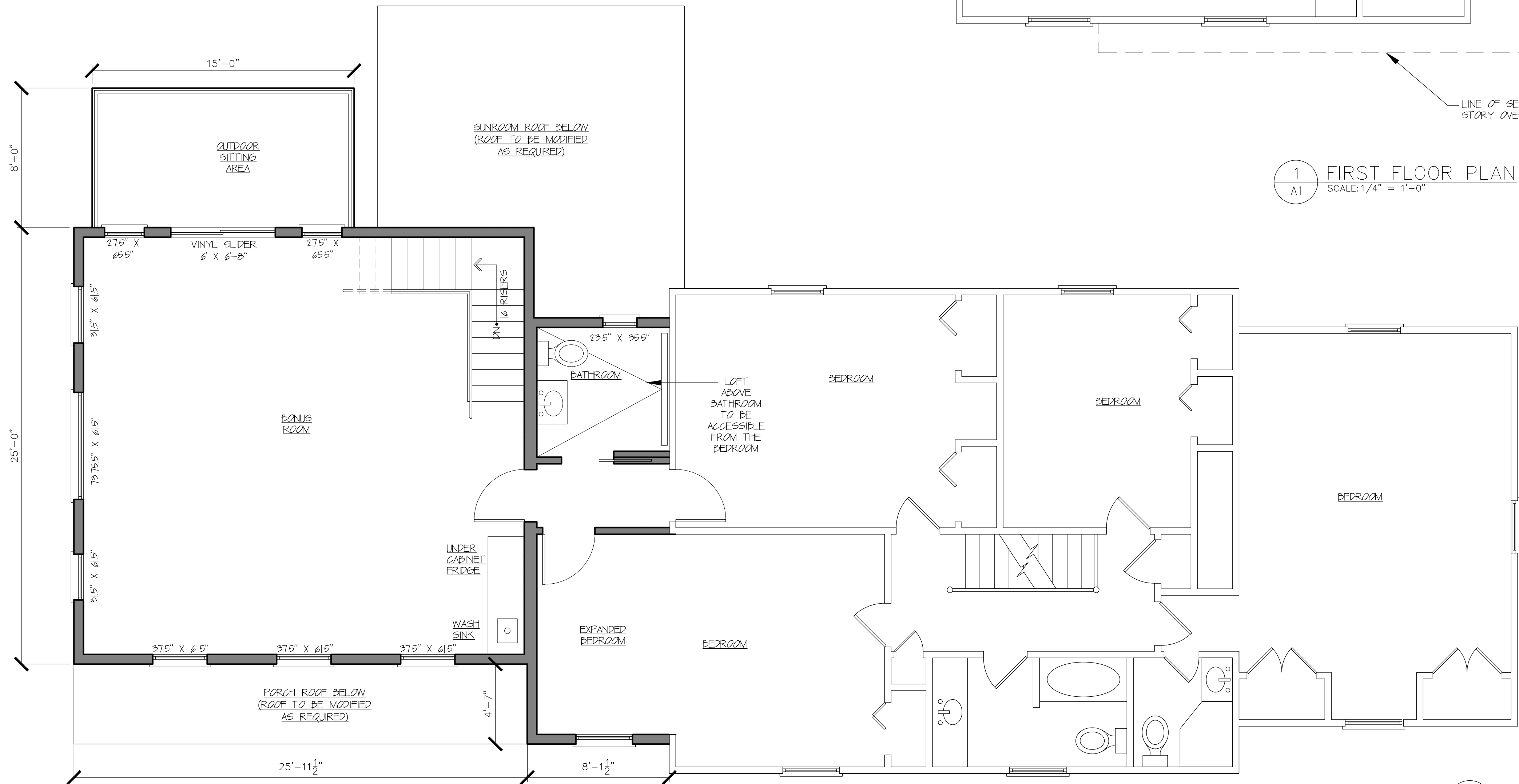
6' Vinyl Fence

Wrf 0.2'E





1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

POLIDOR RESIDENCE
SECOND STORY BONUS ROOM ADDITION
41 OLD FARM CIRCLE
PITTSFORD, NY

DATE	DRAWN	CHECKED
03/21/24	PTF	PTF

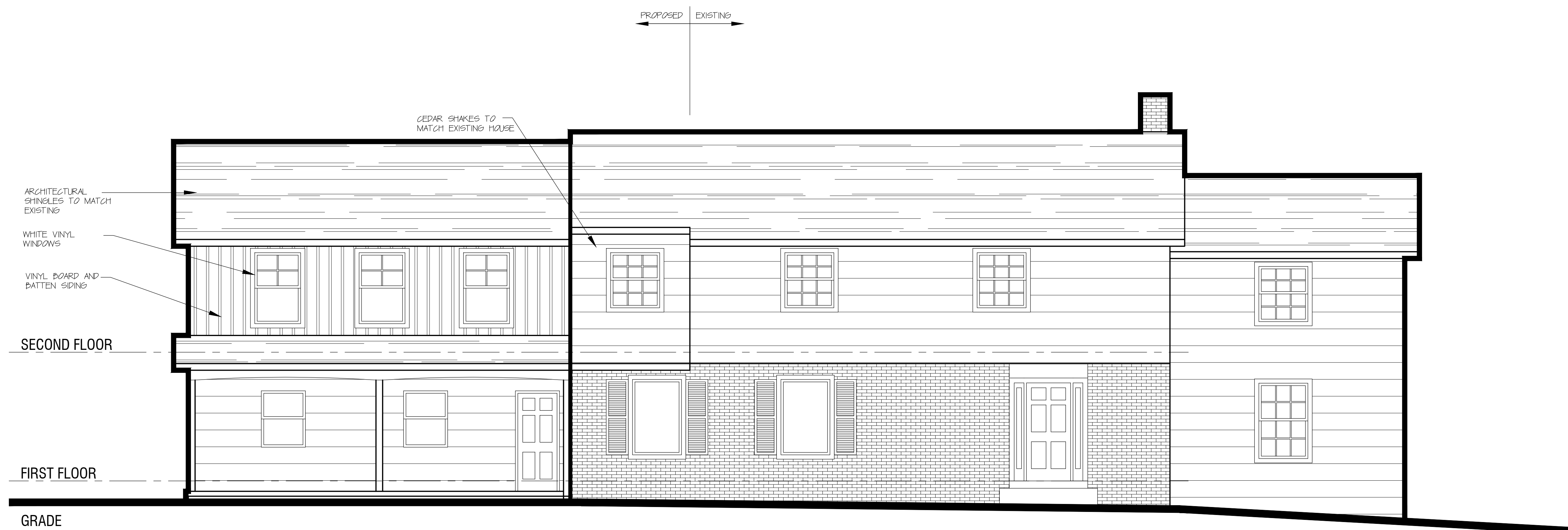
SCALE AS NOTED

SHEET TITLE
FLOOR PLANS

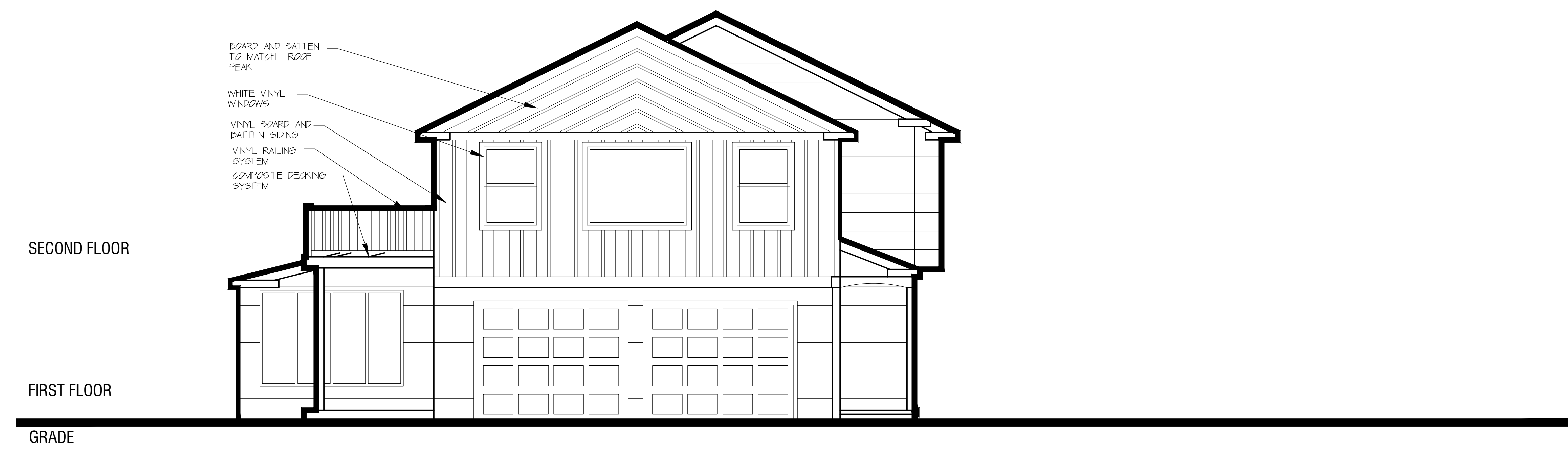
PROJECT NUMBER

A1

DRAWING NUMBER

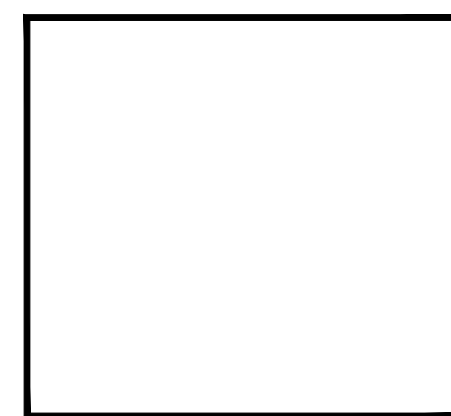


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



POLIDOR RESIDENCE
SECOND STORY BONUS ROOM ADDITION
41 OLD FARM CIRCLE
PITTSFORD, NY

DATE	DRAWN	CHECKED
03/21/24	PTF	PTF
SCALE AS NOTED		
SHEET TITLE ELEVATIONS		

PROJECT NUMBER
[]
A2
DRAWING NUMBER



1 EAST ELEVATION
A2 SCALE: 1/4" = 1'-0"

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

POLIDOR RESIDENCE
SECOND STORY BONUS ROOM ADDITION
41 OLD FARM CIRCLE
PITTSFORD, NY

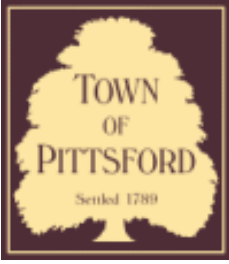
DATE	DRAWN	CHECKED
03/21/24	PTF	PTF

SCALE AS NOTED

SHEET TITLE
ELEVATIONS

PROJECT NUMBER

A2
DRAWING NUMBER



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S24-000003

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Premier Signs Systems, LLC

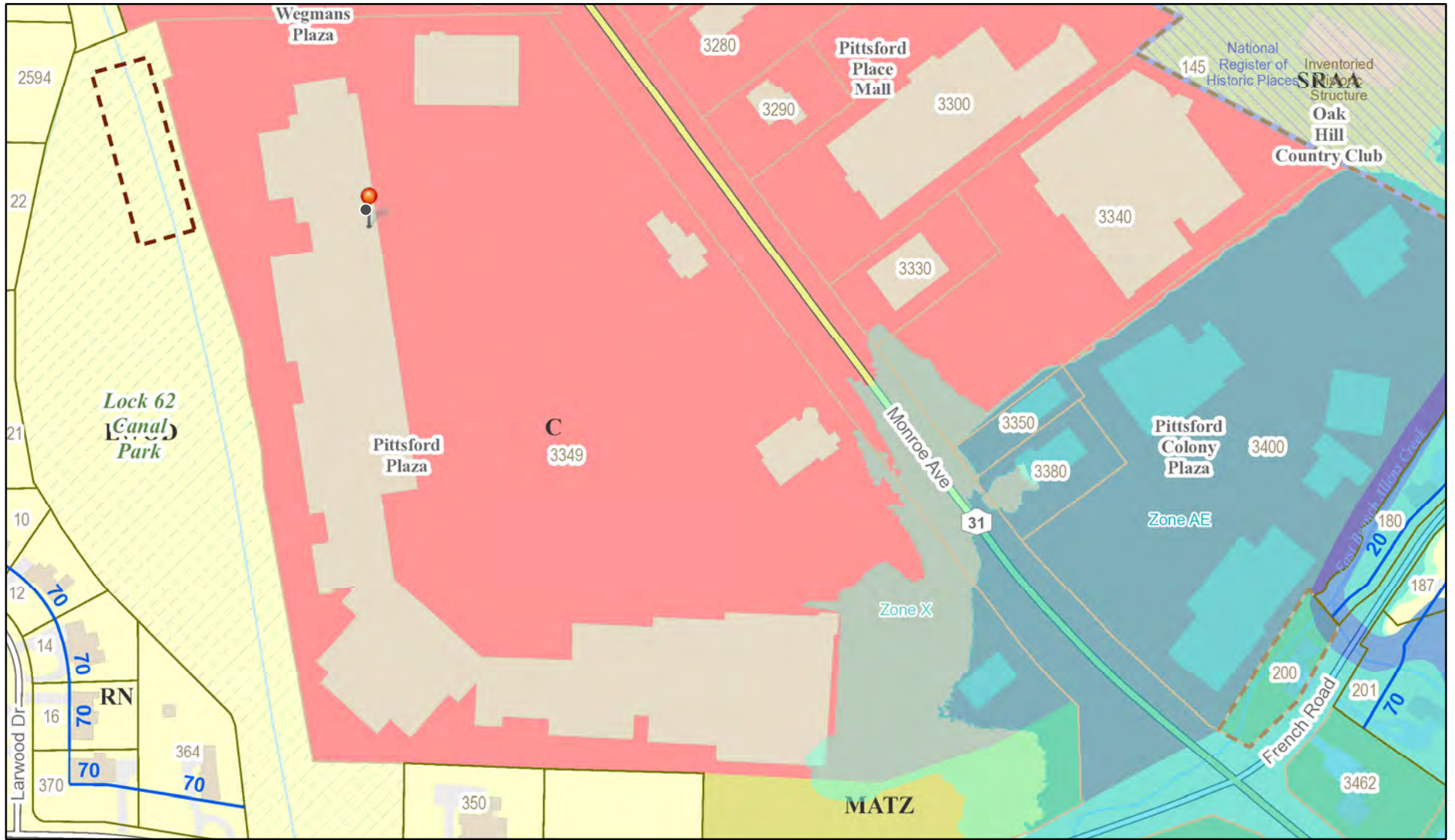
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

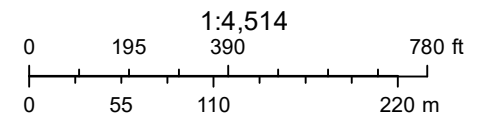
Project Description: Applicant is requesting design review for a 34.45-square-foot sign in Pittsford Plaza for Columbia Sportswear.

Meeting Date: March 28, 2024

RN Residential Neighborhood Zoning

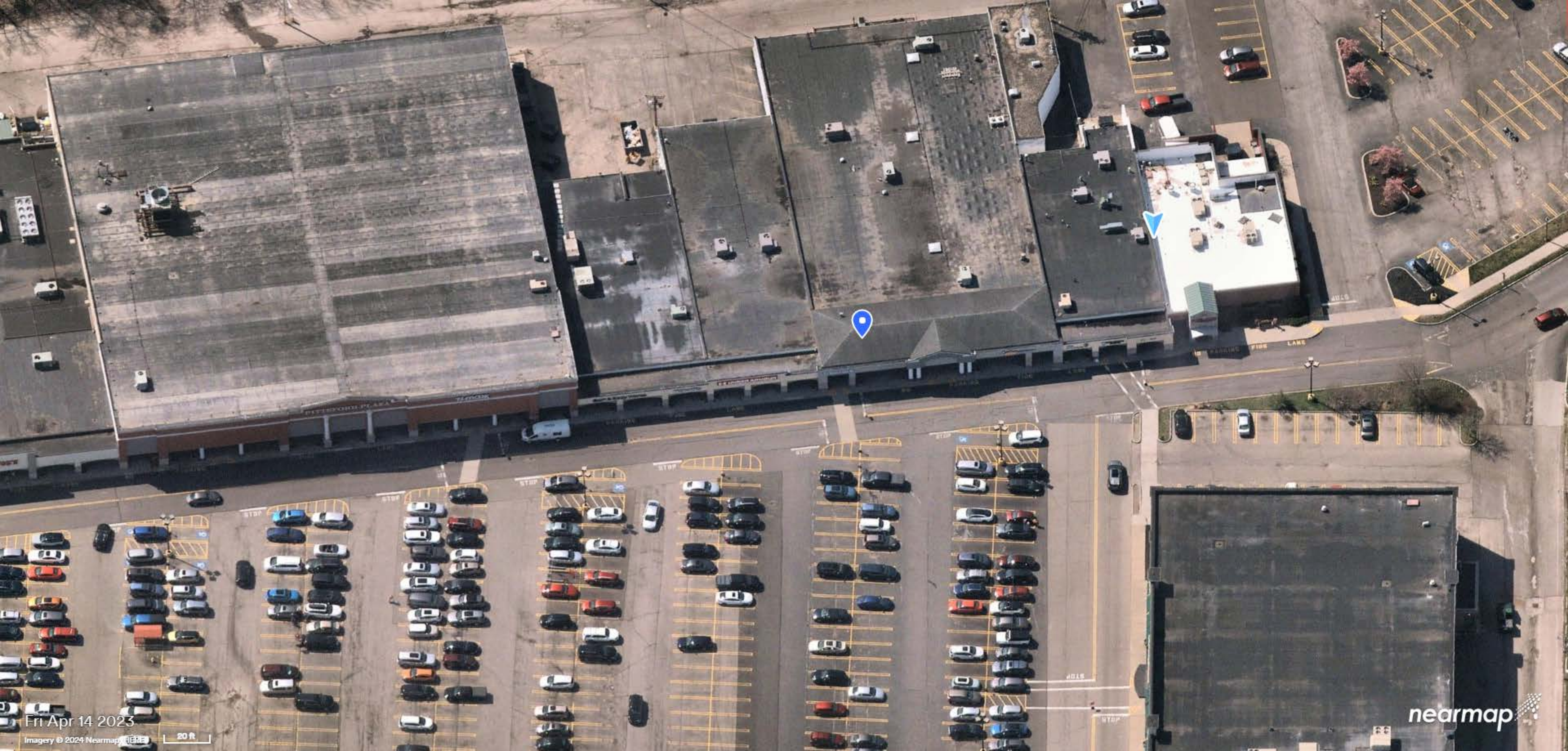


Printed March 21, 2024



Town of Pittsford GIS

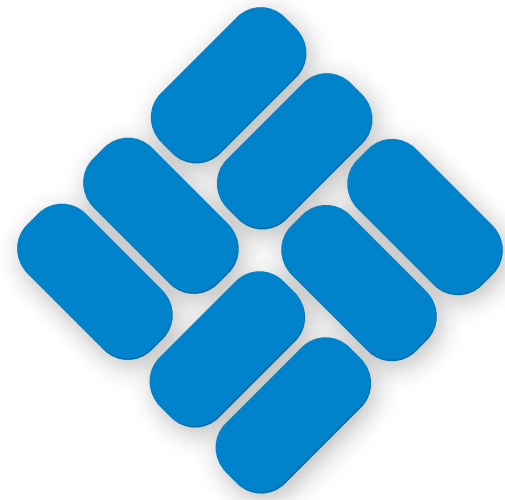
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Fri Apr 14 2023

Imagery © 2024 Nearmap, Inc. 20 ft

nearmap



Columbia

Sportswear Company

NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

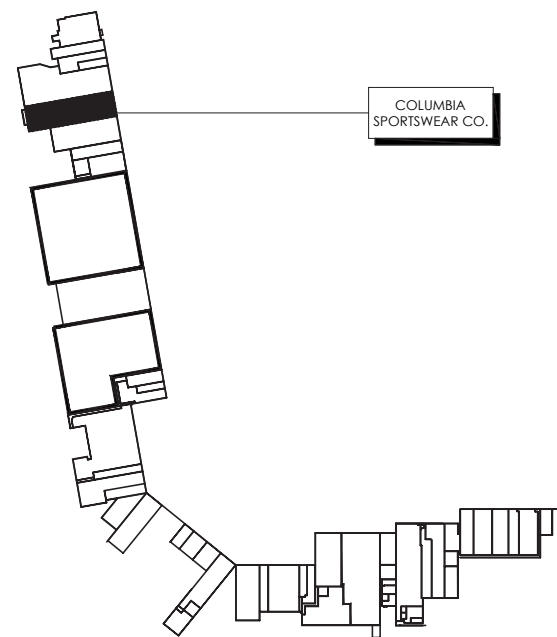
CLIENT:	Columbia Sportswear Company		<p>SIGNWAV ELITE FOREMOST RETAIL SIGNAGE • IMPLEMENT / COUNSEL</p> <p>2208 Riding Ridge Rd. Columbia, SC 29223 803-530-3255 www.Signwav.com</p>
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT # SWE23-130	
CLIENT APPROVAL: APPROVAL DATE:			
PAGE TITLE:	Cover		<p>URGENT: ATTENTION ELECTRICIANS Sign Transformer requires that all circuits must have dedicated hot, neutral ground, terminating at panel. Questions: call 803.530.3255</p> <p>CIRCUITS REQUIRED One [1] 20 AMP 120 VOLT circuit dedicated to sign ONLY</p> <p><small>SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.</small></p>
DRAWING DATE:	11 March 2024	SHEET: 1/5	



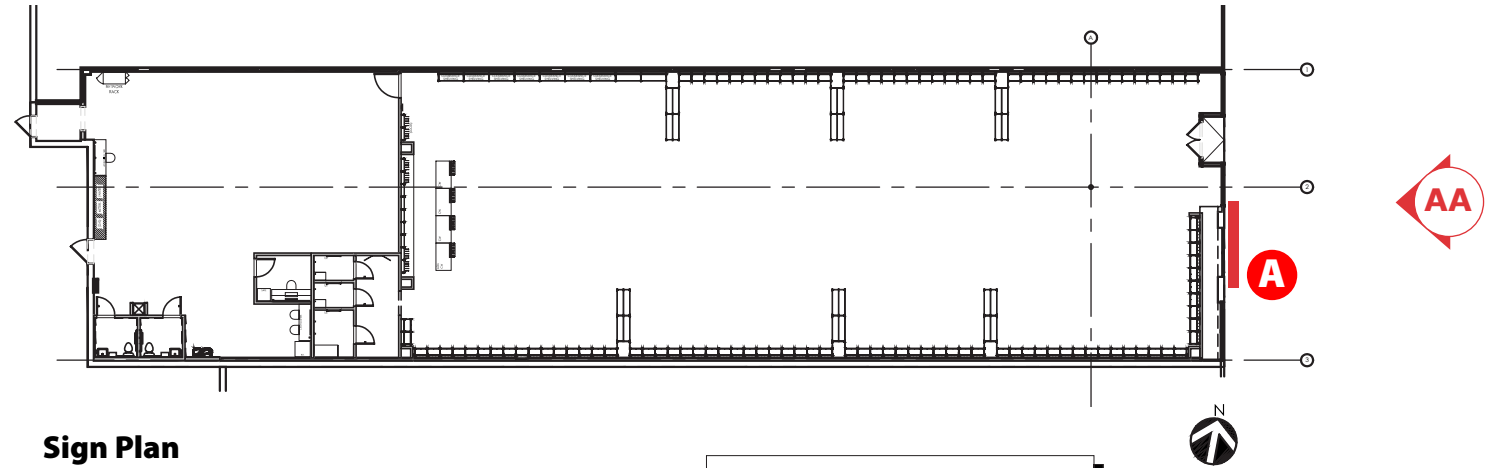
Aerial View



Existing Conditions (Primary Storefront)

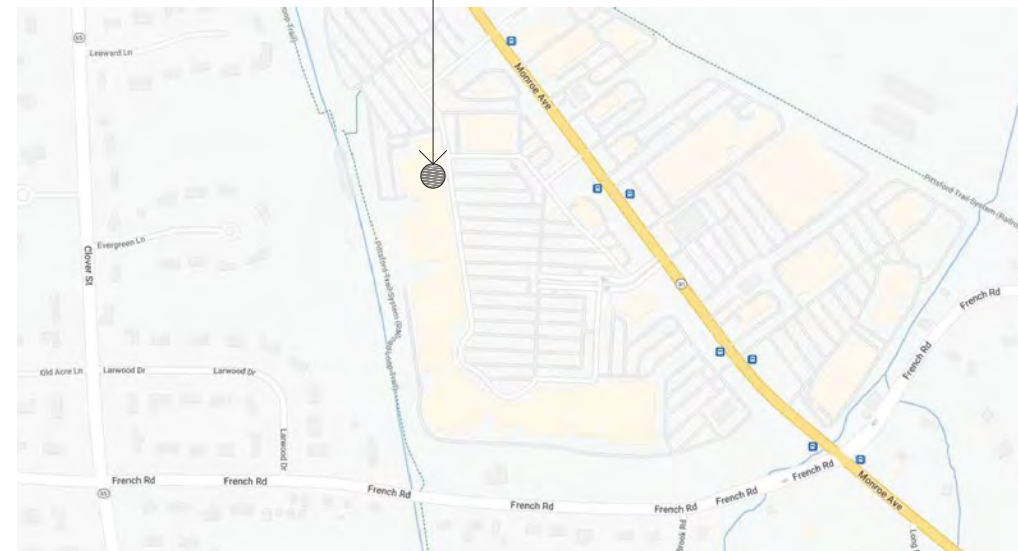


Mall Map





Sign Plan

COLUMBIA SPORTSWEAR COMPANY
 PITTSFORD PLAZA
 3349 MONROE AVE, SPACE #6B & 7A
 PITTSFORD, NY 14618

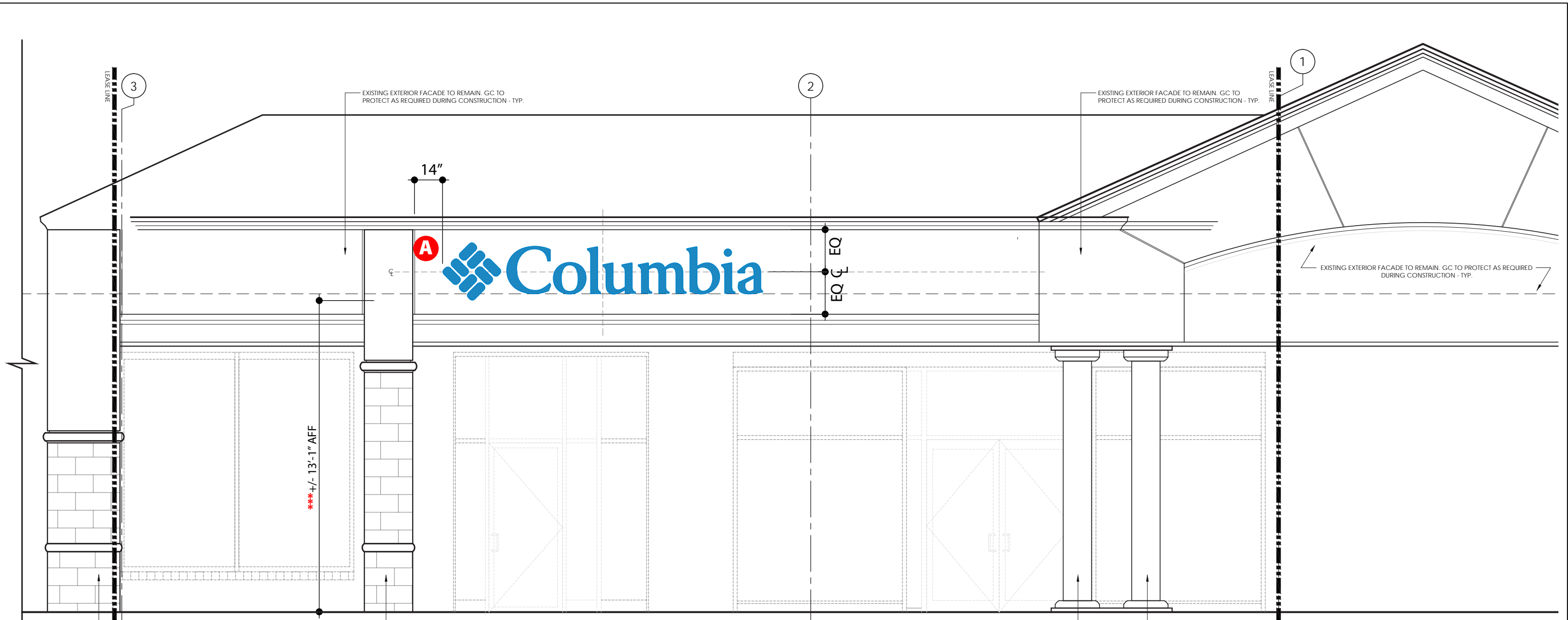


Store Location

NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company		 FOREMOST RETAIL SIGNAGE • IMPLEMENT / COUNSEL 2208 Riding Ridge Rd. Columbia, SC 29223 803-530-3255 www.Signwav.com
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT # SWE23-130	
CLIENT APPROVAL: APPROVAL DATE:			
PAGE TITLE:	Project Location Details		 REQUIRED URGENT: ATTENTION ELECTRICIANS Sign Transformer requires that all circuits must have dedicated hot, neutral ground, terminating at panel. Questions: call 803.530.3255 CIRCUITS REQUIRED One (1) 20 AMP 120 VOLT circuit dedicated to sign ONLY
DRAWING DATE:	11 March 2024	SHEET: 2/5	

SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.



Storefront Elevation AA - 1/4" = 1'-0"



***NOTE: AFF dimension provided for reference only! Sign to be centered vertically on sign area.

***NOTE 2: ALL SIGN AREA DIMENSIONS PROVIDED FOR REFERENCE ONLY BASED ON SCALING! SIGN TO BE CENTERED ON SIGN AREA (LEFT-TO-RIGHT & TOP-TO-BOTTOM) AS SHOWN.

Maximum sign area permitted: 45.6

Proposed Sign area: 31.9 Sq. Ft.

NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company		 FOREMOST RETAIL SIGNAGE • IMPLEMENT / COUNSEL 2208 Riding Ridge Rd. Columbia, SC 29223 803-530-3255 www.Signwav.com
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT # SWE23-130	
CLIENT APPROVAL:			 REQUIRED URGENT: ATTENTION ELECTRICIANS Sign Transformer requires that all circuits must have dedicated hot, neutral ground, terminating at panel. Questions: call 803.530.3255 CIRCUITS REQUIRED One [1] 20 AMP 120 VOLT circuit dedicated to sign ONLY <small>SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.</small>
APPROVAL DATE:			
PAGE TITLE:	Elevations		
DRAWING DATE:	11 March 2024	SHEET: 3/5	



NOTE: Preliminary rendering! Survey required to confirm facade area.

NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company		 2208 Riding Ridge Rd. Columbia, SC 29223 803-530-3255 www.Signwav.com
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT # SWE23-130	
CLIENT APPROVAL: APPROVAL DATE:			
PAGE TITLE:	Rendering		 URGENT: ATTENTION ELECTRICIANS Sign Transformer requires that all circuits must have dedicated hot, neutral ground, terminating at panel. Questions: call 803.530.3255 CIRCUITS REQUIRED One [1] 20 AMP 120 VOLT circuit dedicated to sign ONLY
DRAWING DATE:	11 March 2024	SHEET: 4/5	
			<small>SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.</small>



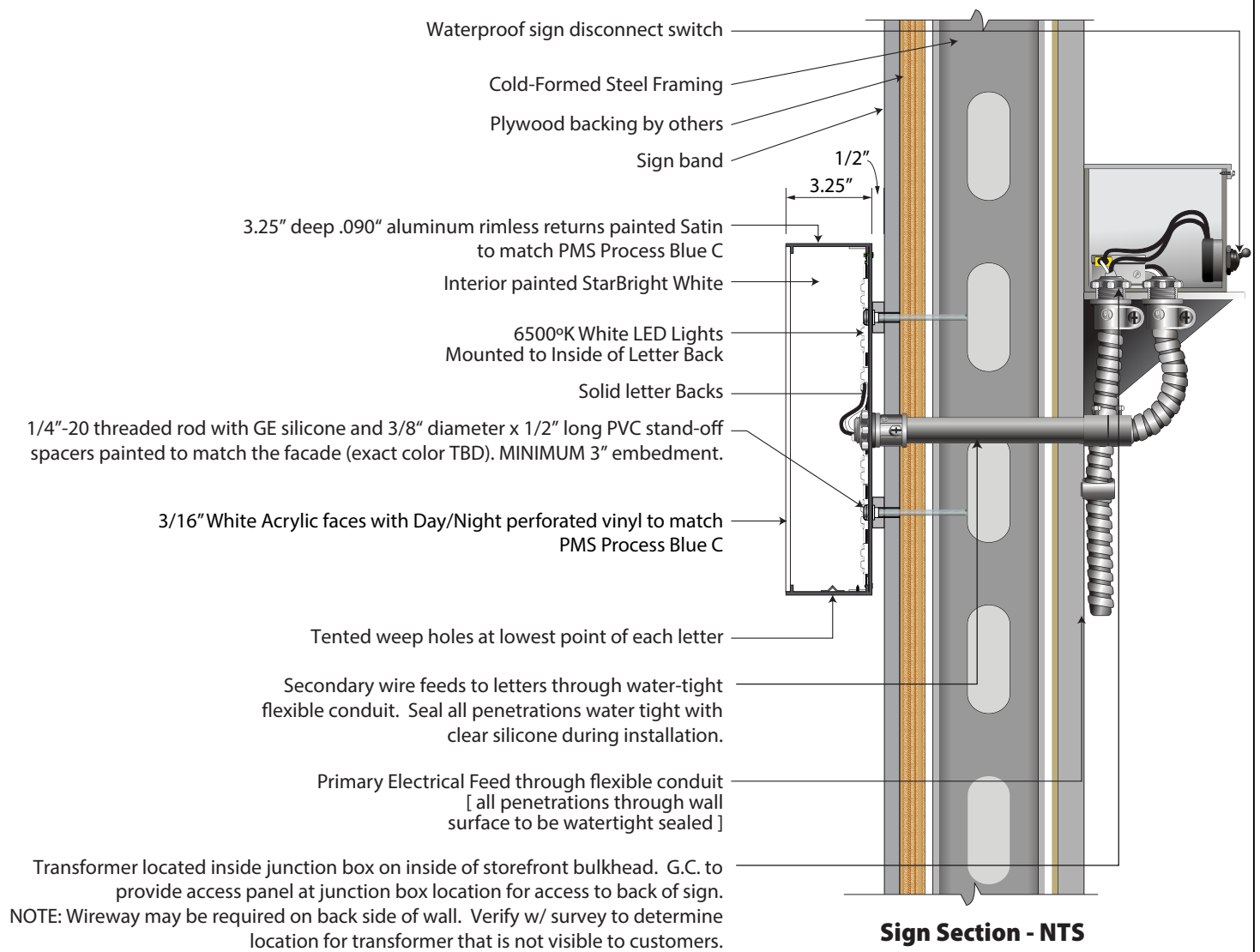
A Sign Elevation - 1/2" = 1'-0"
 Sign Area = 34.45 Sq. Ft.



Simulated Night View

General Notes:

- Signage will be comprised of internally-illuminated channel letters.
- Letters will be face-illuminated.
- Letters will be custom-fabricated from .090" aluminum.
- Returns will be 3.25" deep.
- Faces will be 3/16" thick White Acrylic with PMS Process Blue C 3M Day/Night perforated vinyl on the face.
- Letter backs will be solid aluminum (or approved alternate).
- Letters will illuminate White L.E.D.s @ 6500° K temperature.
- L.E.D.s will be mounted on the letter backs, facing the front of the letters.
- Letter interiors to be painted StarBrite reflective White.
- Aluminum surfaces will be primed with reduced etching primer and painted with Low-VOC polyurethane enamel.
- Returns will be painted Satin PMS Process Blue C.
- Copy will be "Columbia" with logo graphic.
- There will be no registered trademarks installed on exposed sign surface.
- UL labels to be installed on top of letters out of view of public.
- Tented weep holes will be installed at lowest point of each letter/element.
- Sign letters to be mounted flush to face of facade with 1/4"-20 toggle anchors in pre-drilled mounting holes with 3/8" diameter x 1/2" long PVC stand-off spacers painted to match facade (exact color TBD). Install with clear silicone in pre-drilled mounting holes & ice/water shield donuts at each penetration.
- Installation contractor will determine the number of anchors required.
- Signage will be installed, centered in sign area as indicated on elevation drawing.
- Remote transformers will be mounted behind wall facade within 20 feet [MAX] of sign.
- Primary electrical feed to be provided by others (verify if existing can be reused).
- Quantity: [1] One



Sign Section - NTS

NOTE: This drawing supersedes all drawings with dates prior to the date of this drawing.

CLIENT:	Columbia Sportswear Company		 FOREMOST RETAIL SIGNAGE • IMPLEMENT / COUNSEL 2208 Riding Ridge Rd. Columbia, SC 29223 803-530-3255 www.Signwav.com
PROJECT:	3349 Monroe Ave. Space #6B & 7A Pittsford, NY 14618	PROJECT # SWE23-130	
CLIENT APPROVAL:			 URGENT: ATTENTION ELECTRICIANS Sign Transformer requires that all circuits must have dedicated hot, neutral ground, terminating at panel. Questions: call 803.530.3255 CIRCUITS REQUIRED One [1] 20 AMP 120 VOLT circuit dedicated to sign ONLY <small>SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.</small>
APPROVAL DATE:			
PAGE TITLE:	Sign Details		
DRAWING DATE:	11 March 2024	SHEET: 5/5	