

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA
March 14, 2024**

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, March 14, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

11 Smead Road

Applicant is requesting design review for a 126-square-foot addition to the rear of the home, a front porch, and new windows, doors, and siding to the existing structure.

4 Preston Circle

Applicant is requesting design review for a 203-square-foot screened porch addition to the back of the home.

20 Kirklees Road

Applicant is requesting design review for a 556-square-foot addition to the back of the home.

9 Forestwood Lane

Applicant is requesting design review for a 280-square-foot covered deck on the back of the home.

177 Overbrook Road

Applicant is requesting design review for approximately 1,700 square feet of additions to the front and back of the home (about 1,000 of which is conditioned living space).

RESIDENTIAL APPLICATIONS: NEW HOMES

44 & 46 Skylight Trail

Applicant is requesting design review for a two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision. The units are 2,010 and 2,023 square feet, respectively.

50 & 52 Skylight Trail

Applicant is requesting design review for a two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision. The units are 1,897 and 1,884 square feet, respectively.

OTHER ITEMS

Pittsford Oaks SEQRA Vote

**TOWN OF PITTSFORD
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
FEBRUARY 29, 2024**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, February 29, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Jim Vekasy; Kathleen Cristman; Paul Whitbeck; John Mitchell

ABSENT: Bonnie Salem

ALSO PRESENT: Bill Zink, Building Inspector; Meghan Brooks, Building Department Assistant; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 3 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Vice Chairman Dave Wigg called the meeting to order at 6:06PM.

HISTORIC PRESERVATION DISCUSSION

There was no historic preservation discussion at this time.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

38 Jordan Road

Applicant is requesting design review for a 432-square-foot addition off the rear of the home.

Brian Hartman of Hartman Renovations introduced the application. He stated that they are proposing to put a 432-square foot addition off the back of the home.

Vice Chairman Wigg asked how much the existing structure projects out. Mr. Hartman stated that it projects only about two feet. DRHPB Member Paul Whitbeck confirmed with Mr. Hartman that the materials will match the current structure. Mr. Hartman added that there will also be a small deck off to the left side of the elevation.

DRHPB Vice Chairman Dave Wigg motioned to approve the 432-square-foot addition off the rear of the home as submitted. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

25 Barrington Hills

Applicant is requesting design review for a 252-square-foot addition to the front of the home, as well as new windows and siding to the existing structure.

Homeowner Reginald Rowden introduced the application. Mr. Rowden stated that they wish to add an addition to the front of the home as well as re-side it.

Vice Chairman Wigg confirmed that the current vertical siding would remain on the other three sides. Mr. Rowden stated that the other materials would include Hardie board and stucco. Vice Chairman Wigg confirmed with Mr. Rowden that the windows would be clear glass. DRHPB Chairman Dirk Schneider asked for clarification about which sections are being added. Mr. Rowden gave a brief overview.

There was some discussion on the various sidings. Board Member Cristman noted her concerns on the busy look of the elevations due to the multitude of materials. Vice Chairman Wigg suggested making a condition on the chimney design, in order to mitigate that feature from the mix of colors and textures.

DRHPB Chairman Dirk Schneider motioned to approve the 252-square-foot addition to the front of the home, as well as new windows and siding to the existing structure, as submitted, with the condition that, should the new stone cladding on the chimney not fit within the budget, the existing red brick be painted a gray tone to match the rest of the structure. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

11 Smead Road

Applicant is requesting design review for a 126-square-foot addition to the rear of the home, as well as new windows, doors, and siding to the existing structure.

Following a last-minute design change, the applicant will resubmit updated drawings for the March 14, 2024, meeting.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for a 22.4-square-foot sign for Body Fuel at Pittsford Plaza.

Jim Columbo of Skylight Signs introduced the application. Mr. Columbo stated that they are essentially removing the Body Fuel sign from the previous location and putting a sign very similar to it above the new location.

DRHPB Vice Chairman Dave Wigg motioned to approve the 22.4-square-foot sign for Body Fuel at Pittsford Plaza as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

02/08/2024 MEETING MINUTES REVIEW

The minutes of February 8, 2024, were approved following a motion by DRHPB Vice Chairman Dave Wigg. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

OTHER DISCUSSION

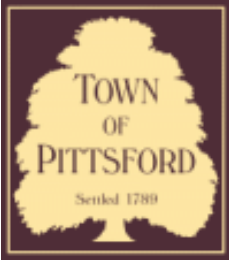
The Board found the shingle samples provided for the 682 Stone Road barn acceptable in-kind replacements.

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 6:33PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000025

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4 Preston Circle PITTSFORD, NY 14534

Tax ID Number: 179.17-1-45

Zoning District: RN Residential Neighborhood

Owner: Tepper, Bruce & Frances Trustees

Applicant: R.T.W. Construction

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 203-square-foot screened porch addition to the back of the home.

Meeting Date: March 14, 2024

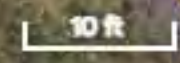






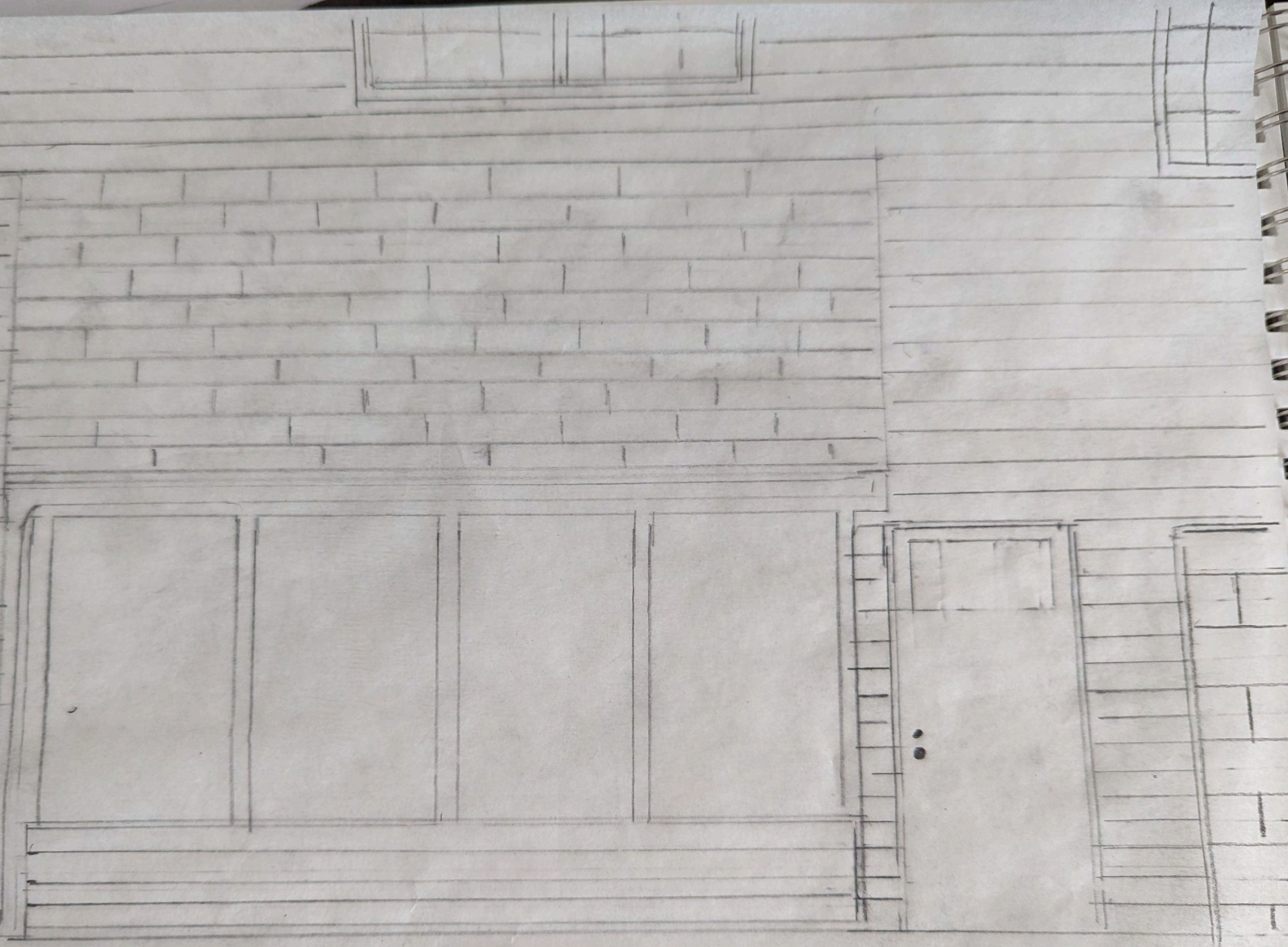
Fri Apr 14 2023

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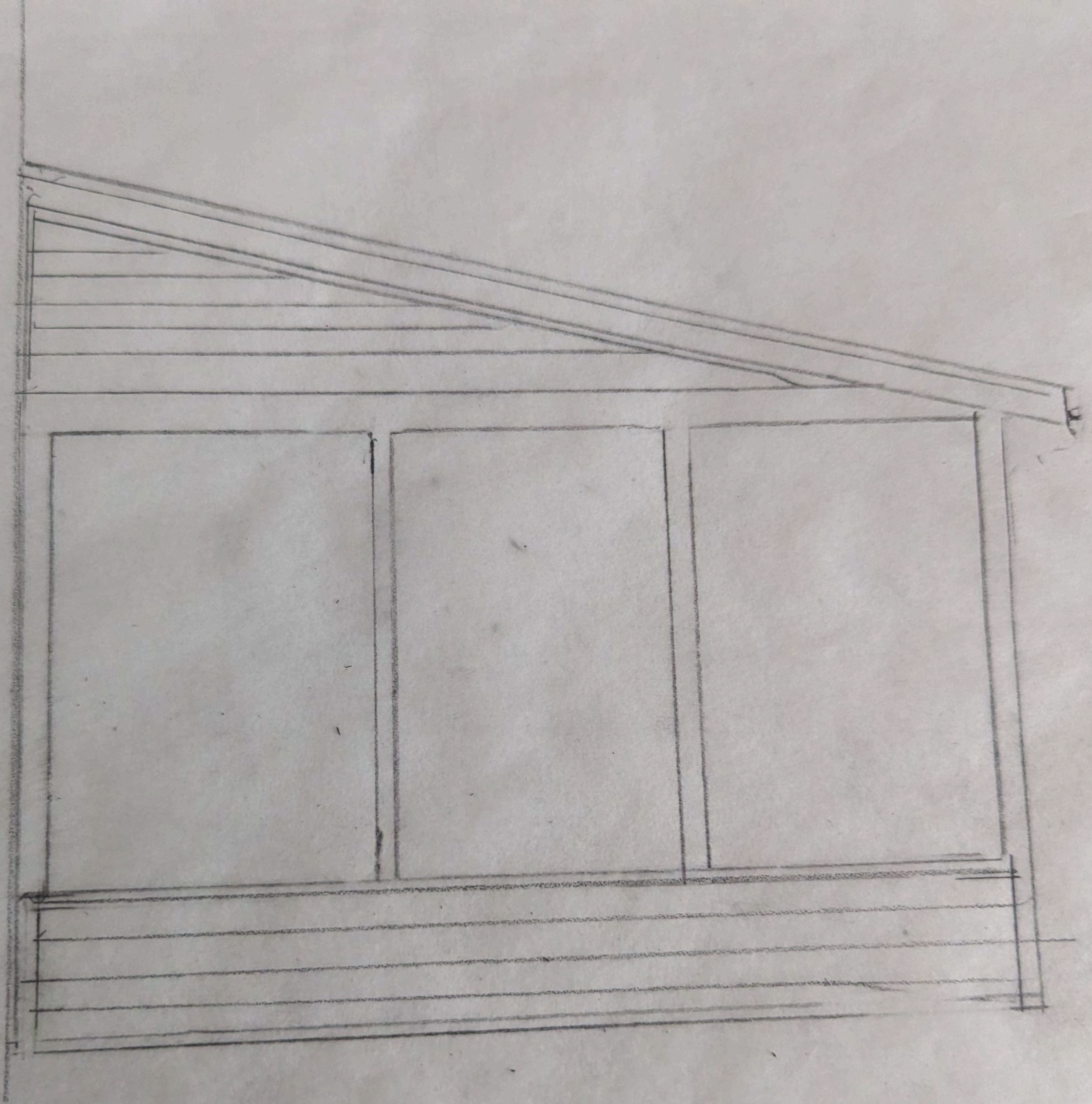


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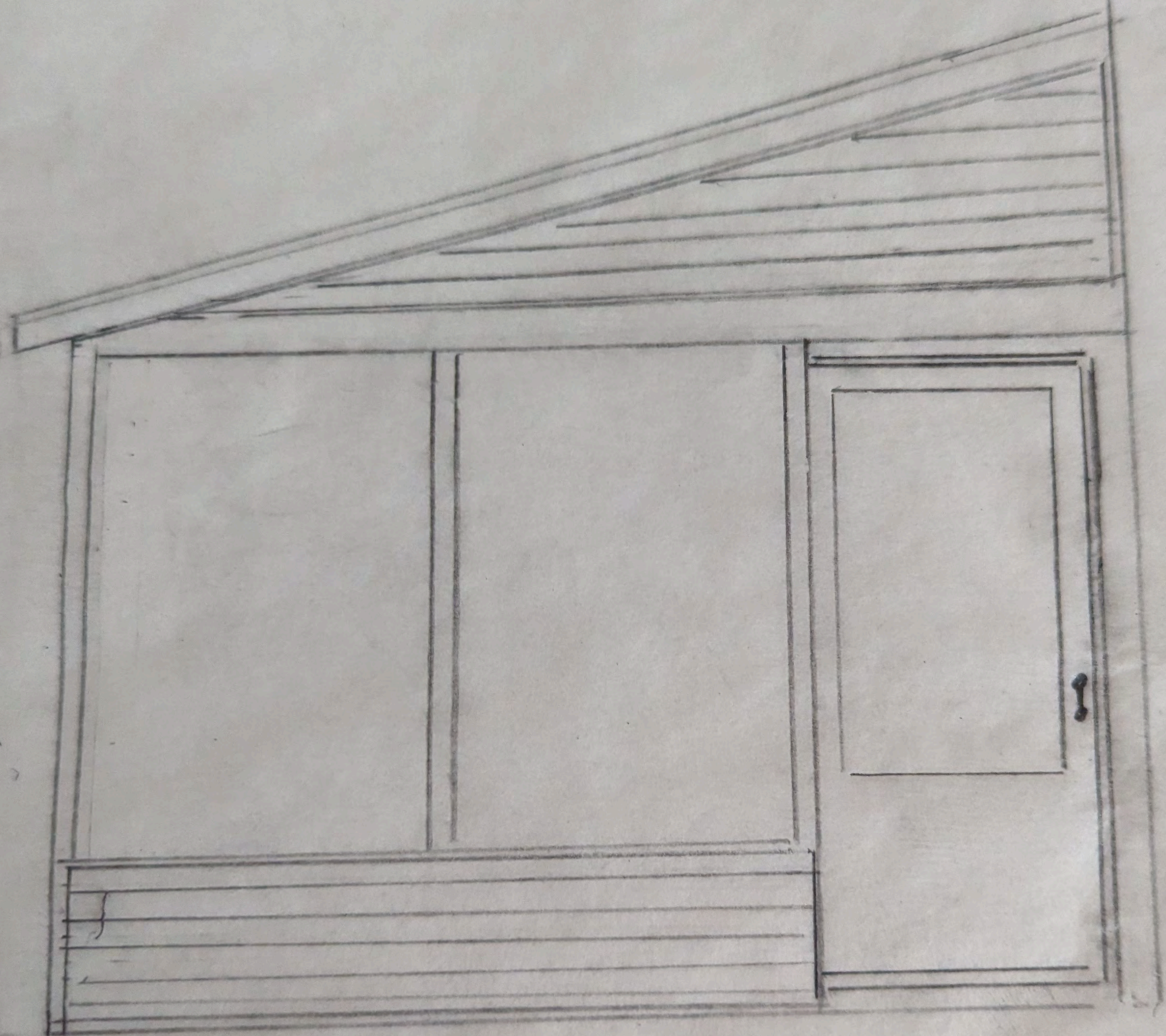
E: 1/2 = 10



Front



Left side

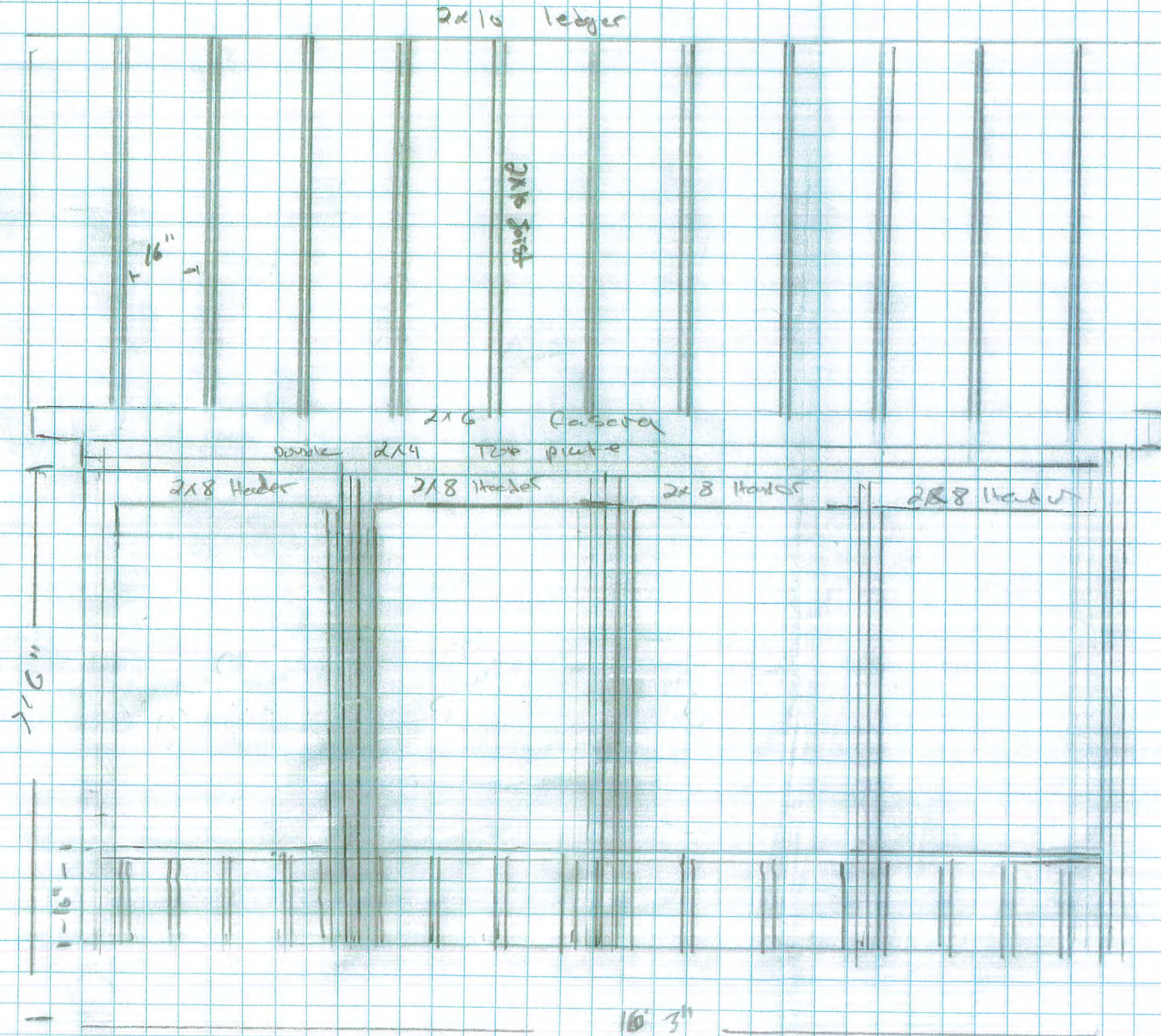


Right side

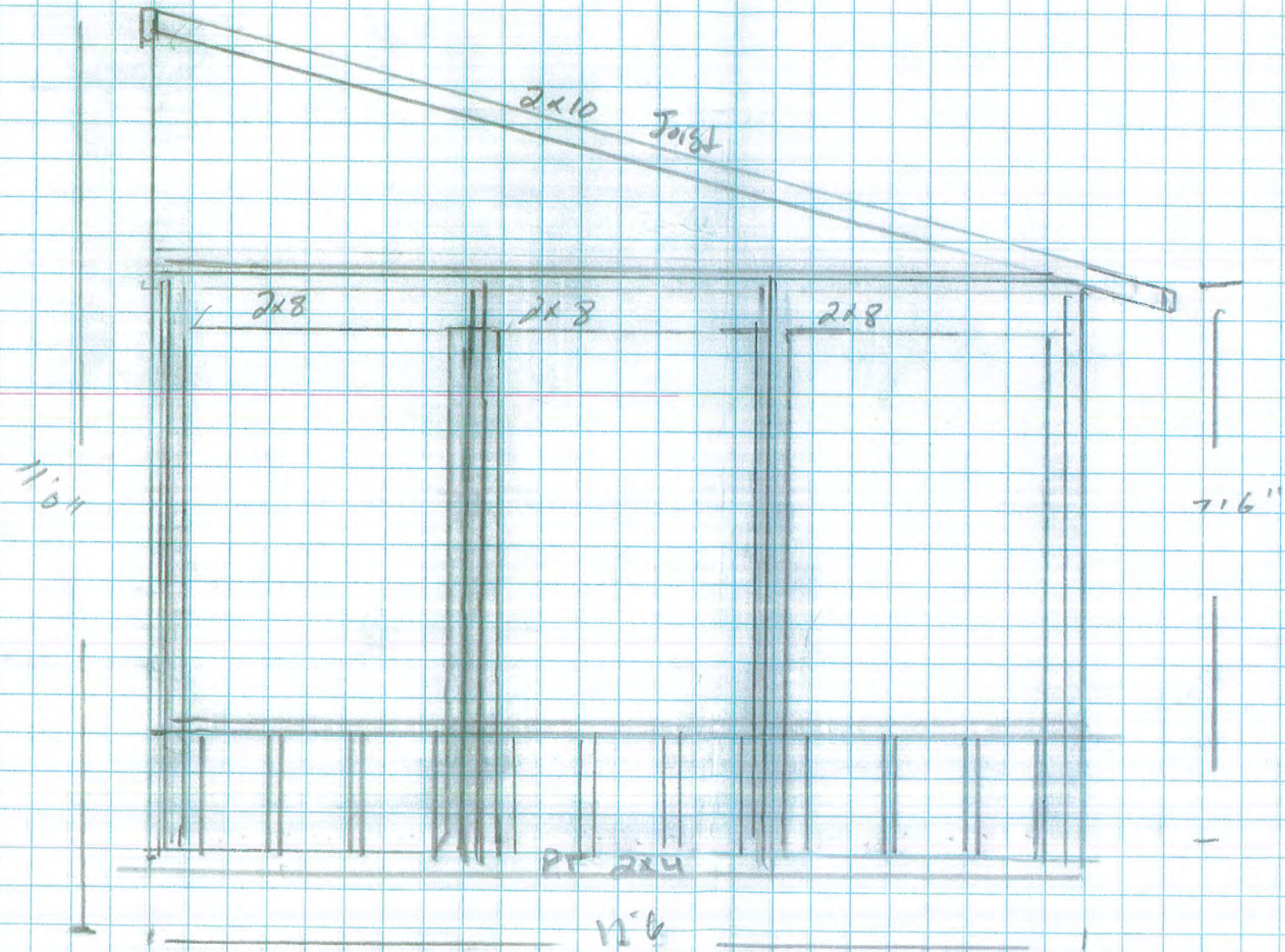
Wall & Roof Framing Plan Front View

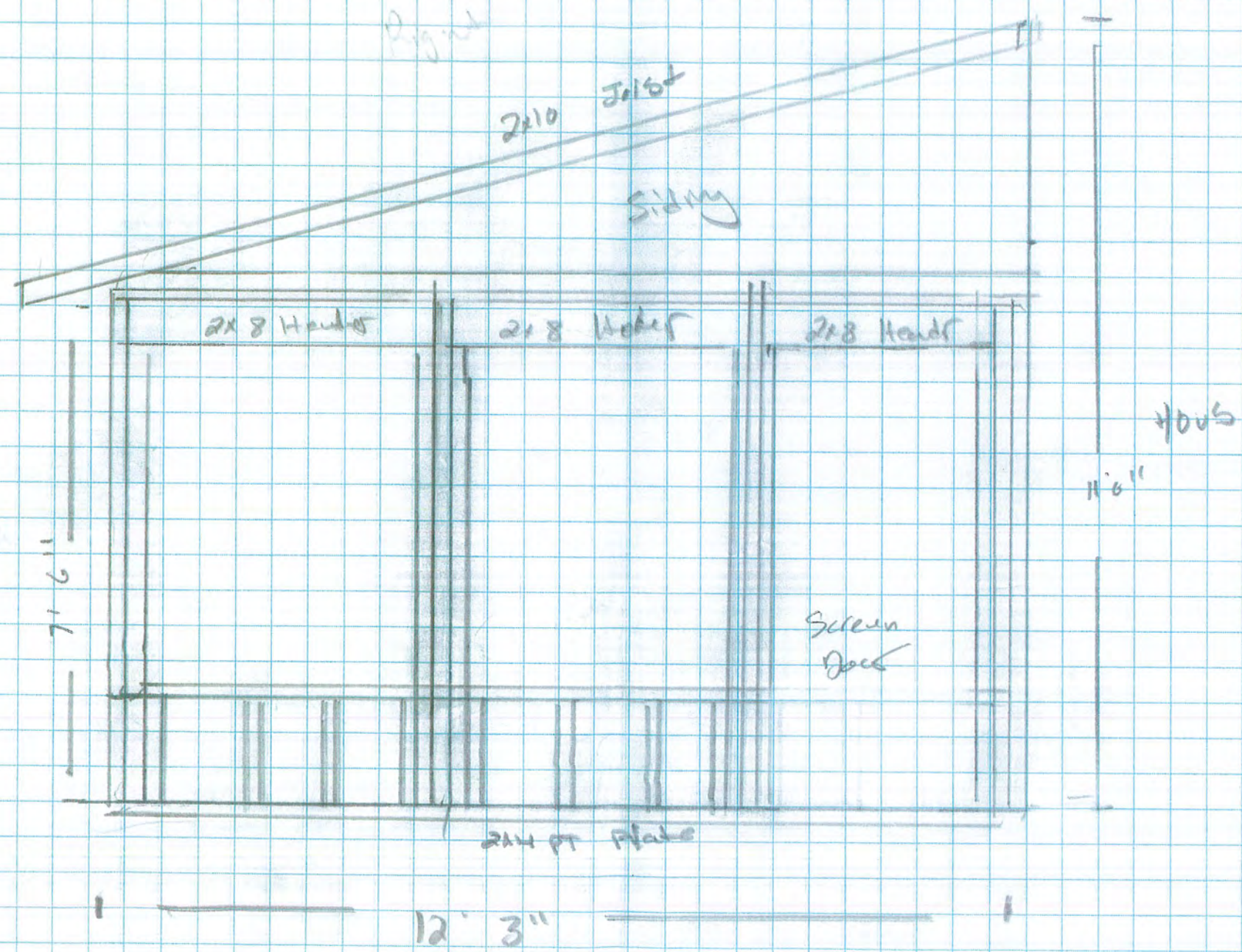
Framing Notes

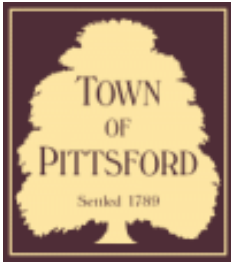
- 2x4 PT bottom plate attached with 1/2" x 5/8" Wedge anchors
- 16" 2x4 knee wall
- 2x8 Headers
- Ceiling rafters attached to 2x10 ledger with 2x8 Simpson hangers
- 2x10 Ceiling rafters @ 16" OC
- 2x10 ledger attached to large into wall studs



Left side view







Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

**Permit #
B24-000024**

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 11 Smead Road PITTSFORD, NY 14534

Tax ID Number: 150.20-2-59

Zoning District: RN Residential Neighborhood

Owner: Goforth, Gregory L

Applicant: Goforth, Gregory L

Application Type:

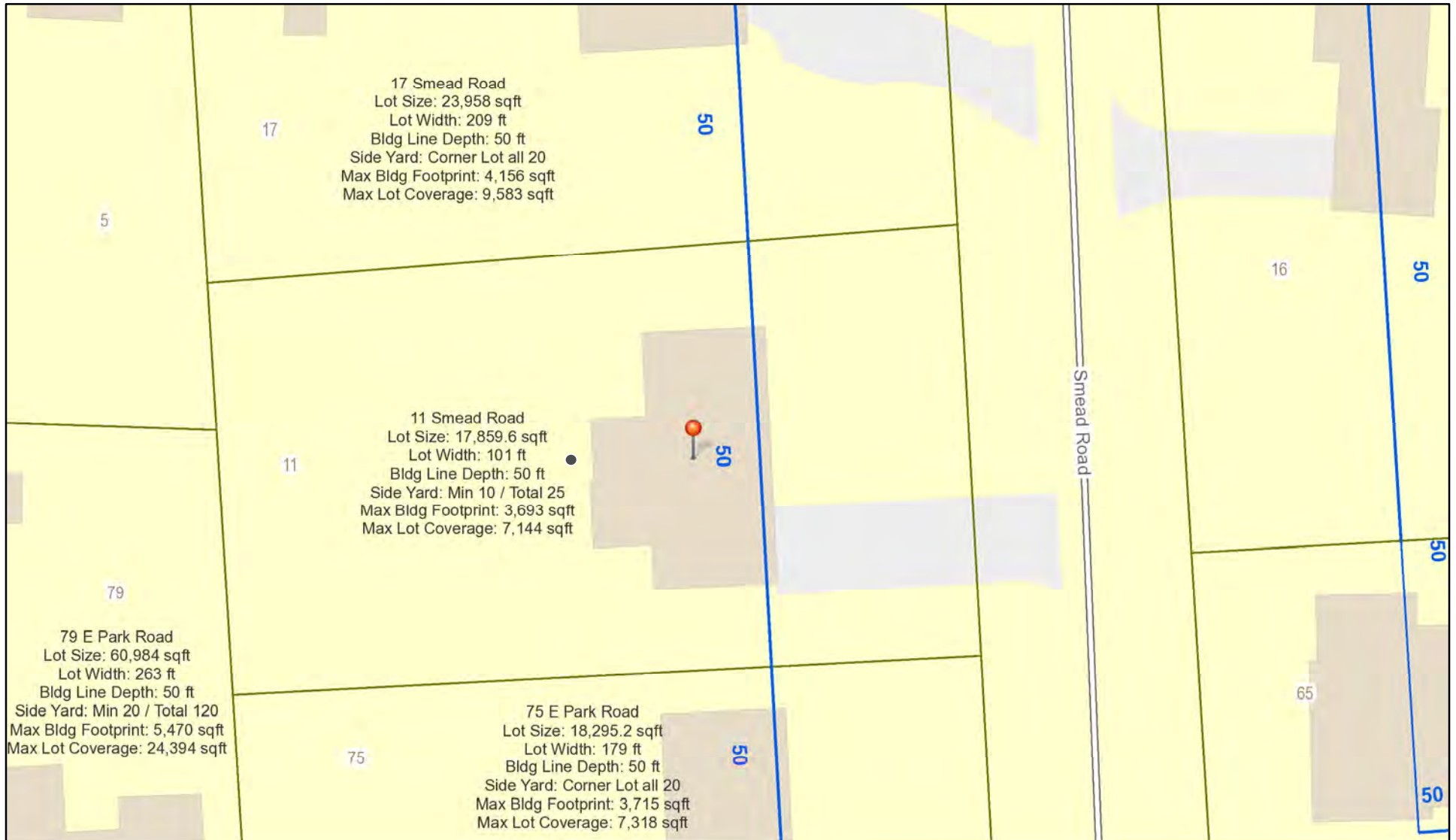
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
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- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 126-square-foot addition to the rear of the home, a front porch, and new windows, doors, and siding to the existing structure.

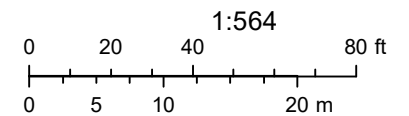
Meeting Date: March 14, 2024



RN Residential Neighborhood Zoning



Printed February 21, 2024



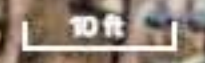
Town of Pittsford GIS

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Fri Apr 14 2023

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1 | SITE PLAN - NEW - DESIGN REVIEW (BA)
 1/16" = 1'-0"

11KGS

DRAWN BY: BuildHappy

CHECKED BY: Checker

PROJECT STATUS: PLAN02



Digital Design + Construction

50 STATE ST BUILDING R
PITTSFORD, NY 14534

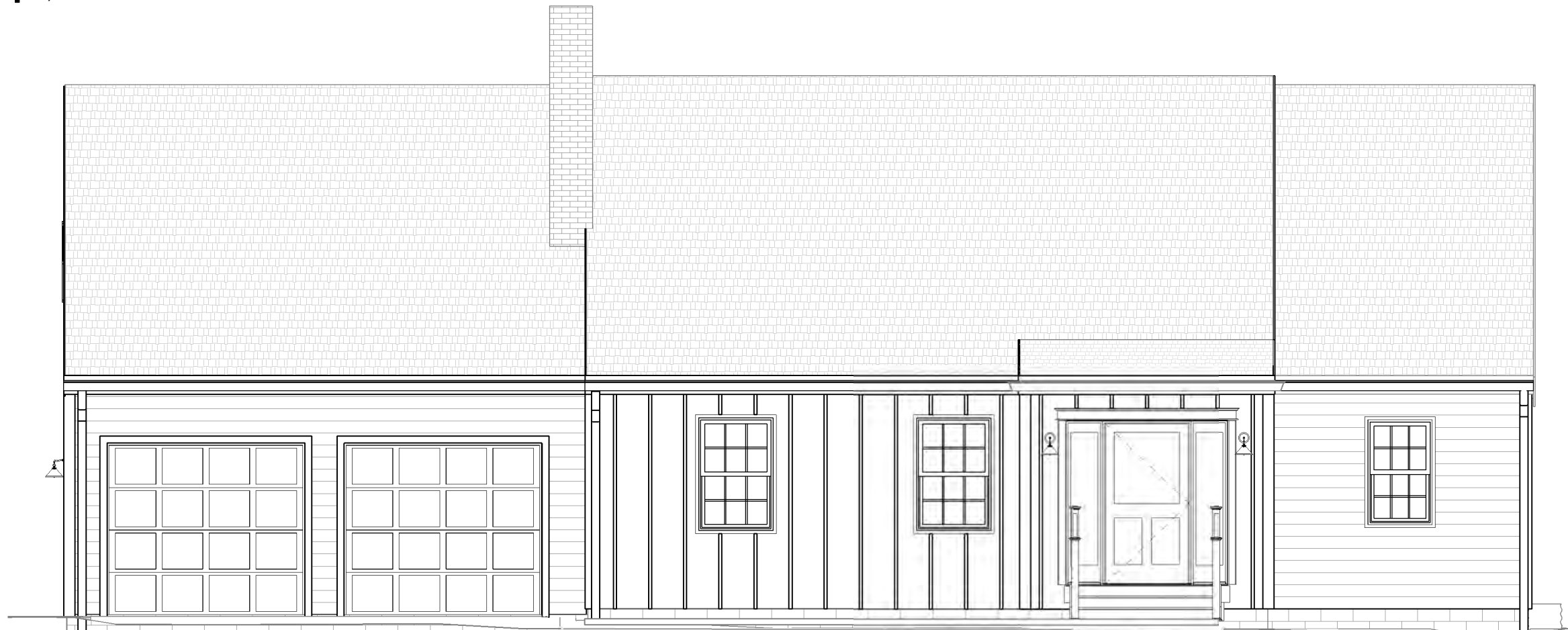
NOT FOR CONSTRUCTION

DR01BA-100

Front Elevation - DRB - Back
Addition



1 | FRONT ELEVATION EXISTING - DESIGN REVIEW (BA)
3/16" = 1'-0"



2 | FRONT ELEVATION NEW - DESIGN REVIEW (BA)
3/16" = 1'-0"

11KGS

DRAWN BY: BuildHappy

CHECKED BY: Checker

PROJECT STATUS: PLAN02



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Design • Plan • Live.

Digital Design + Construction

50 STATE ST BUILDING R
PITTSFORD, NY 14534

NOT FOR CONSTRUCTION

DR01BA-101

**Left Elevation - DRB - Back
Addition**



1 | LEFT ELEVATION EXISTING - DESIGN REVIEW (BA)
3/16" = 1'-0"



2 | LEFT ELEVATION NEW - DESIGN REVIEW (BA)
3/16" = 1'-0"

11KGS

DRAWN BY: BuildHappy

CHECKED BY: Checker

PROJECT STATUS: PLAN02



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50 STATE ST BUILDING R
PITTSFORD, NY 14534

NOT FOR CONSTRUCTION

DR01BA-102

**Back Elevation - DRB - Back
Addition**



1 | BACK ELEVATION EXISTING - DESIGN REVIEW (BA)
3/16" = 1'-0"



2 | BACK ELEVATION NEW - DESIGN REVIEW (BA)
3/16" = 1'-0"

11KGS

DRAWN BY: BuildHappy

CHECKED BY: Checker

PROJECT STATUS: PLAN02



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50 STATE ST BUILDING R
PITTSFORD, NY 14534



1 | RIGHT ELEVATION EXISTING - DESIGN REVIEW (BA)
3/16" = 1'-0"

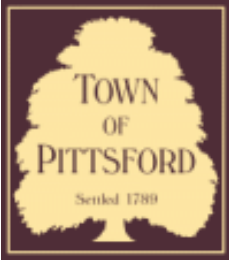


2 | RIGHT ELEVATION NEW - DESIGN REVIEW (BA)
3/16" = 1'-0"

NOT FOR CONSTRUCTION

DR01BA-103

Right Elevation - DRB - Back
Addition



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000026

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Kirklees Road PITTSFORD, NY 14534

Tax ID Number: 151.12-4-31

Zoning District: RN Residential Neighborhood

Owner: Tantalo, Lawrence M

Applicant: Tantalo, Lawrence M

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a 556-square-foot addition to the back of the home.

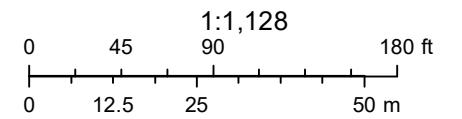
Meeting Date: March 14, 2024



RN Residential Neighborhood Zoning



Printed March 6, 2024



Town of Pittsford GIS

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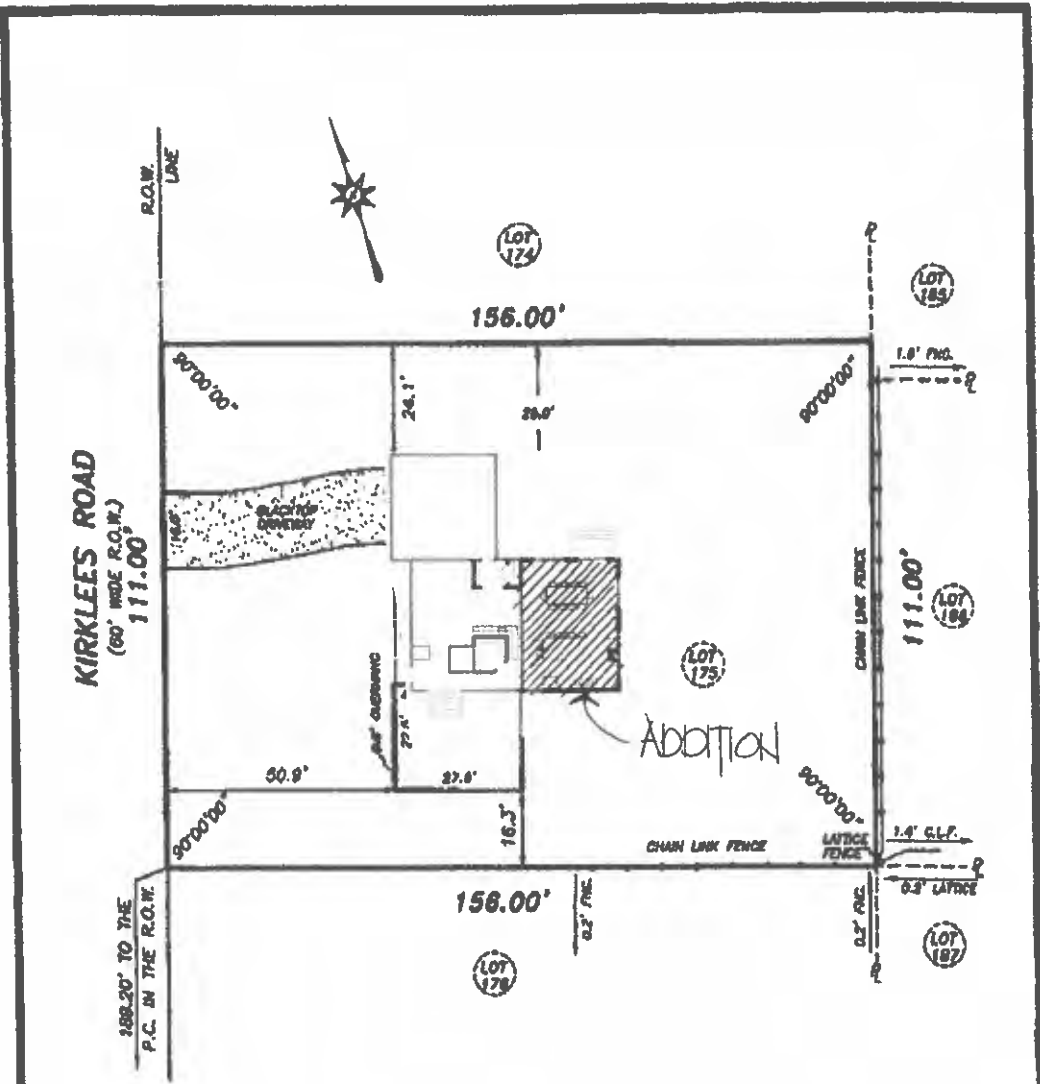


Fri Apr 14 2023

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CERTIFICATION:

I, ANDREW W. HODGE, HEREBY CERTIFY TO:
 -HSBC MORTGAGE CORPORATION (USA), ITS SUCCESSORS AND/OR ASSIGNS
 -SCHELL AND SCHELL, P.C.
 -THE TITLE INSURANCE COMPANY INSURING THE TITLE
 -WILLIAM S. WOODWARD, PATHEEN A. WALTON
 -CONVEYERS & RECORDERS, L.L.C.

THAT THIS SURVEY WAS MADE BY ME, SEP 14, 2006
 FROM NOTES OF AN INSTRUMENT SURVEY
 COMPLETED SEP 14, 2006
 AND REFERENCES TO THE RECORDS *

REFERENCES:

- 1.) LIBER 139 OF MAPS, PAGE 06.
 - 2.) LIBER 8502 OF DEEDS, PAGE 310.
 - 3.) ABSTRACT OF TITLE NO. 156219 (PUBLIC).
 - 4.) EASEMENT TO R.G.A.E. & R.T.C. PER LIBER 3179 OF DEEDS, PAGE 268.
 - 5.) EASEMENT TO R.G.A.E. PER LIBER 3053 OF DEEDS, PAGE 105.
- (ALONG ROAD R.O.W.)

Andrew W. Hodge
 N.Y.S.R.L.S. No. 10000 DATE 9/14/06

TITLE: **INSTRUMENT SURVEY MAP**
20 KIRKLEES ROAD
 BEING LOT NO. 175 OF THE SHERWOOD SUBDIVISION, SECTION F,
 TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

*Unpublished drawings or copies of a survey map having a bearing and corner's and is a violation of Section 1706, sub-section 2, of the New York State Education Law.
 *Any copies from the original of this survey map shall be an original of the land surveyor's not be and shall be considered to be such hereafter.
 *Unpublished technical terms signify that this survey was prepared in accordance with the existing laws of the State of New York. The survey was prepared by the New York State Association of Professional Land Surveyors and the specifications shall not be used to be except for what the survey is prepared, and in the event of the survey, the surveyor shall be held responsible for the accuracy of the survey, and in the event of the survey, the surveyor shall be held responsible for the accuracy of the survey.

TRI-COUNTY LAND SURVEYORS, LLC

16 EAST MAIN STREET SUITE 320
 ROCHESTER, NEW YORK 14614
 Phone (585) 253-9950
 Fax (585) 253-3391

SCALE: 1" = 40'

TAX ACCOUNT: 151.120-4-31

JOB NO: 06-1501

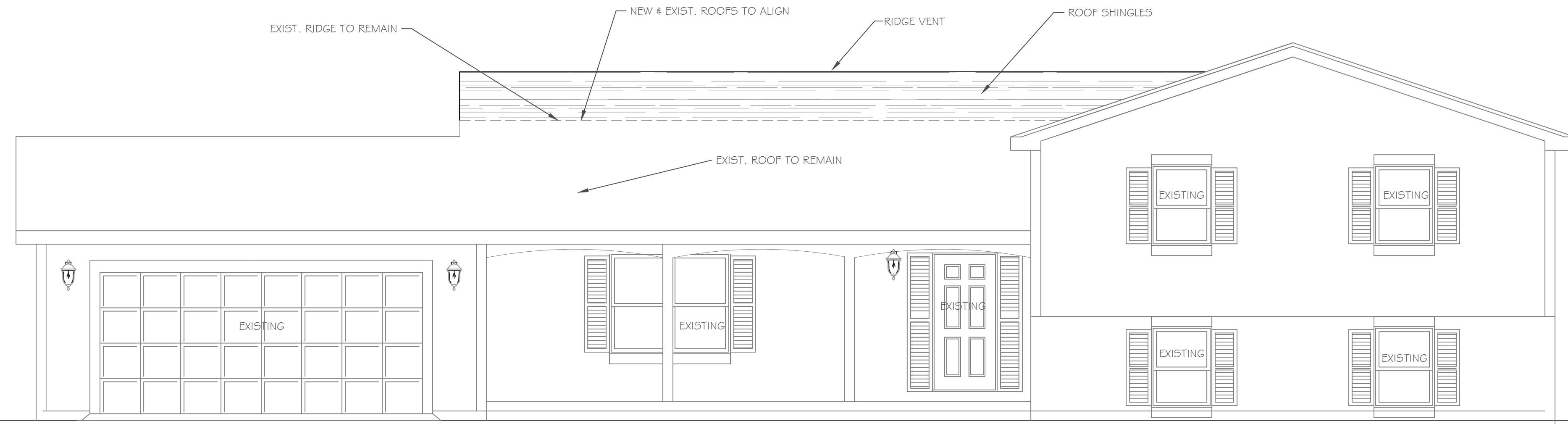
DATE: SEPT. 14, 2006

DEMOLITION NOTES:

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or riser.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- H. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- I. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- J. The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- K. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- L. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- M. Storage for contractor's equipment and debris must be kept inside the contract area.
- N. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- O. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

CONSTRUCTION NOTES:

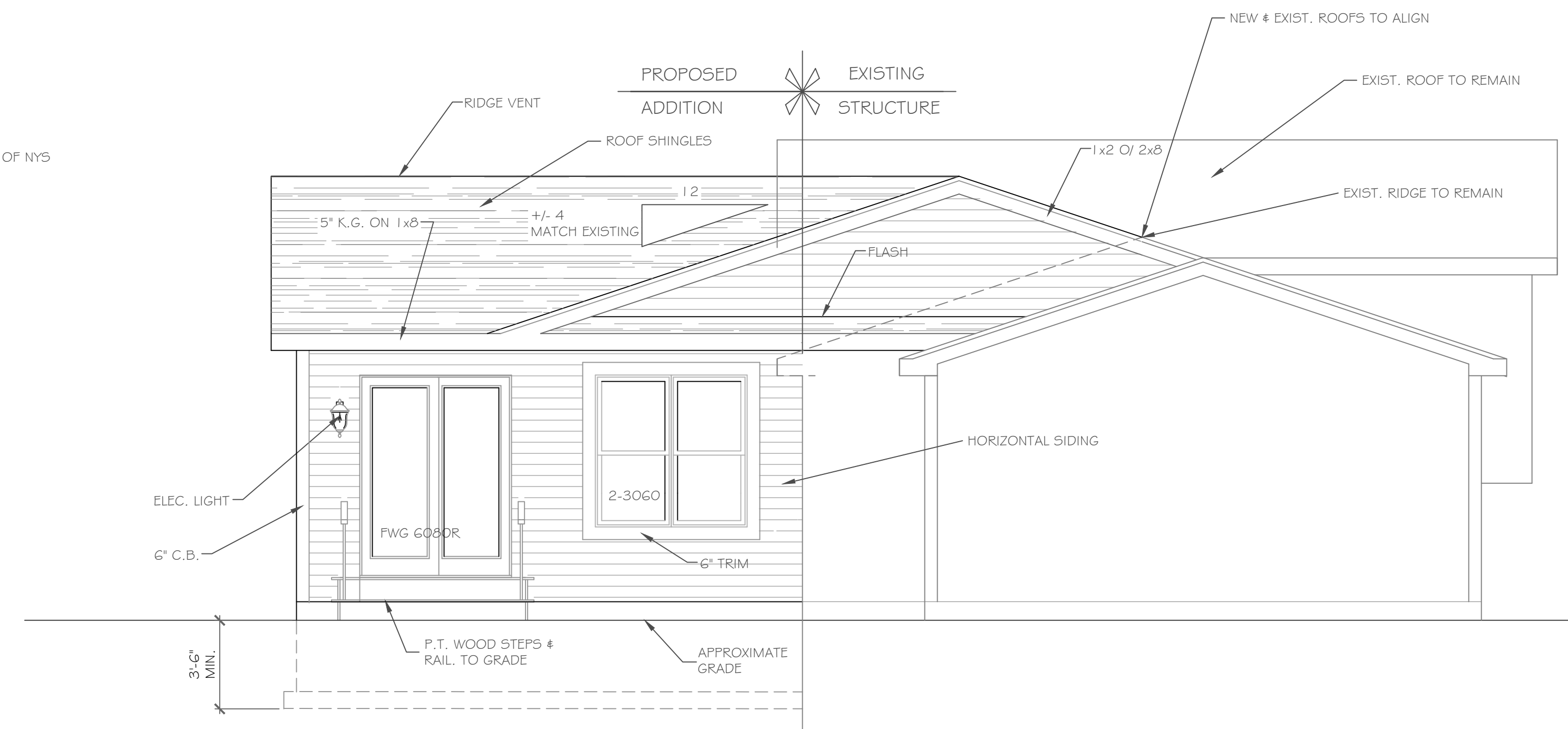
1. Construction shall conform to the residential code of New York State.
2. Comply with all local, state and federal codes and regulations.
3. General Contractor is responsible for all materials, construction methods and craftsmanship.
4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
11. All dimensions are face of wall to face of wall (rough).
12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
13. No site visits will be made by this Architect, contractor shall assume all responsibility for changes to these drawings.
14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
15. Call UFPO before you dig, 1-800-962-7962
16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



FRONT ELEVATION

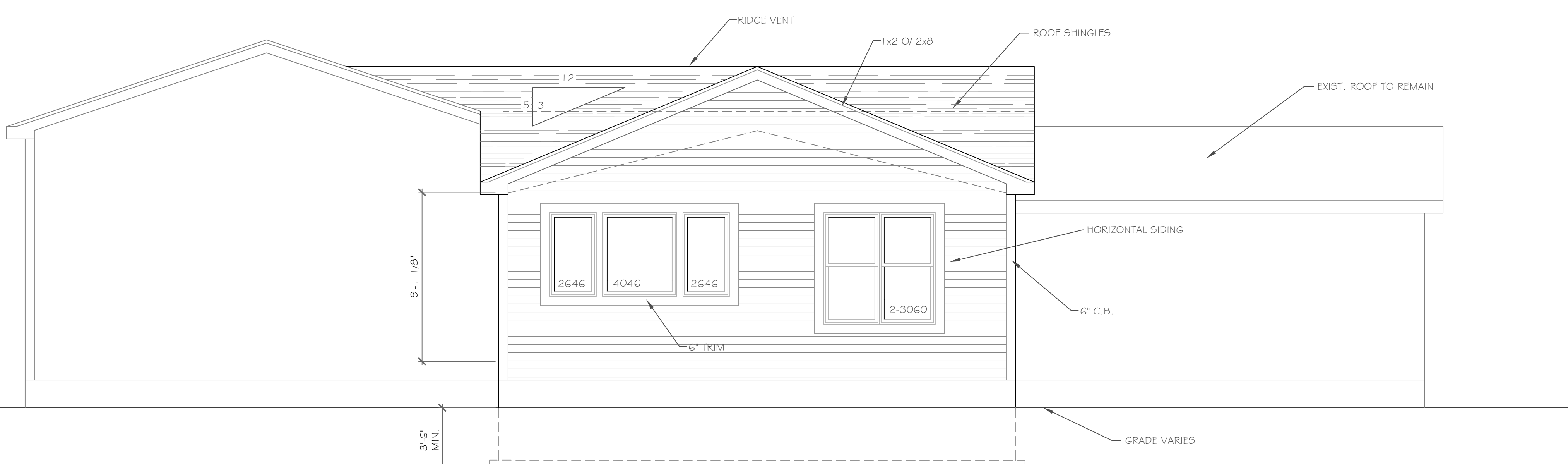
1/4" = 1'-0"

- NOTE: - WINDOWS TO BE "ANDERSEN 200 SERIES" (1P LOW-E) DOUBLE-HUNG (OR EQUAL)
 - DOORS TO BE "ANDERSEN 4" (OR EQUAL)
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



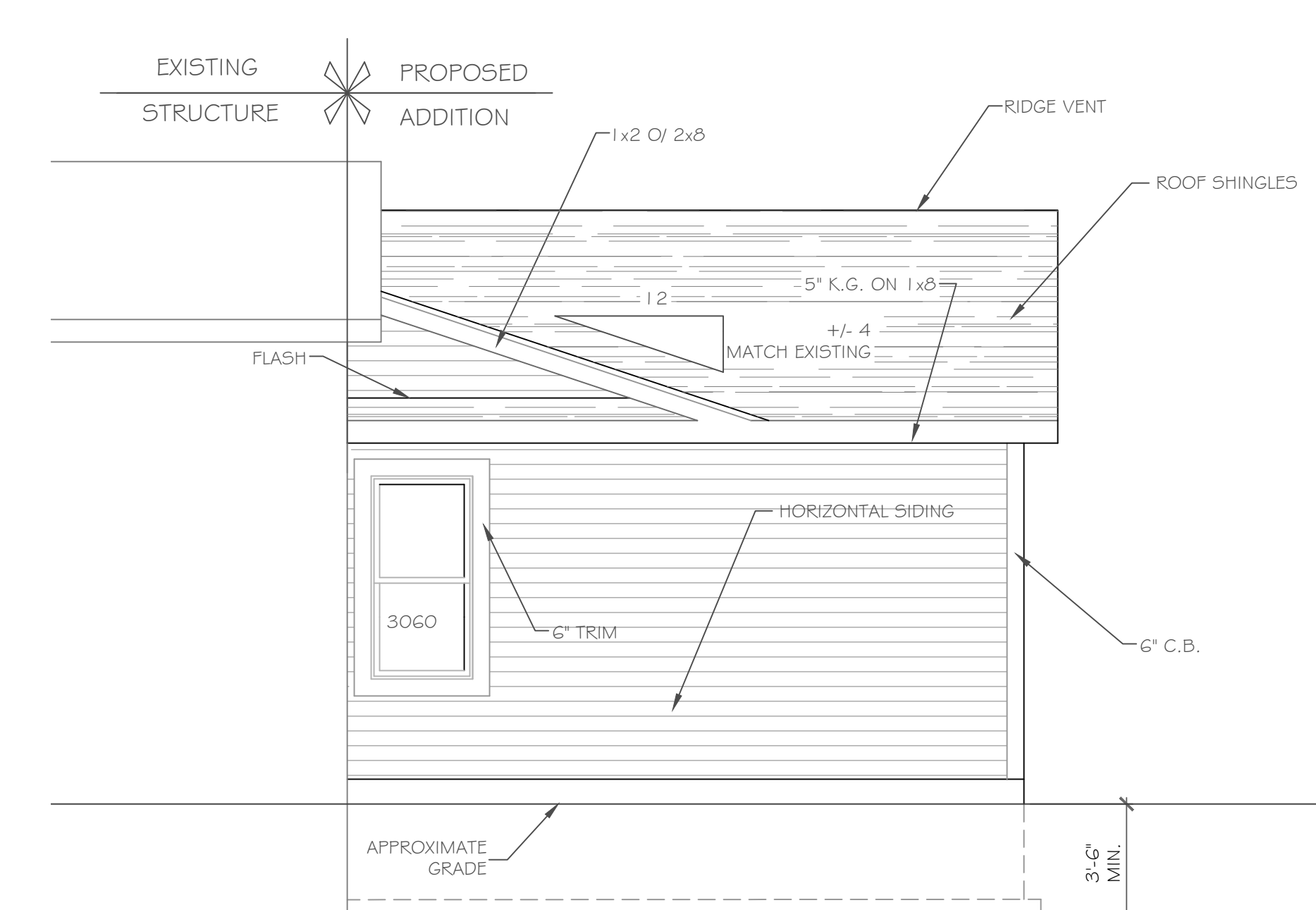
LEFT SIDE ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"

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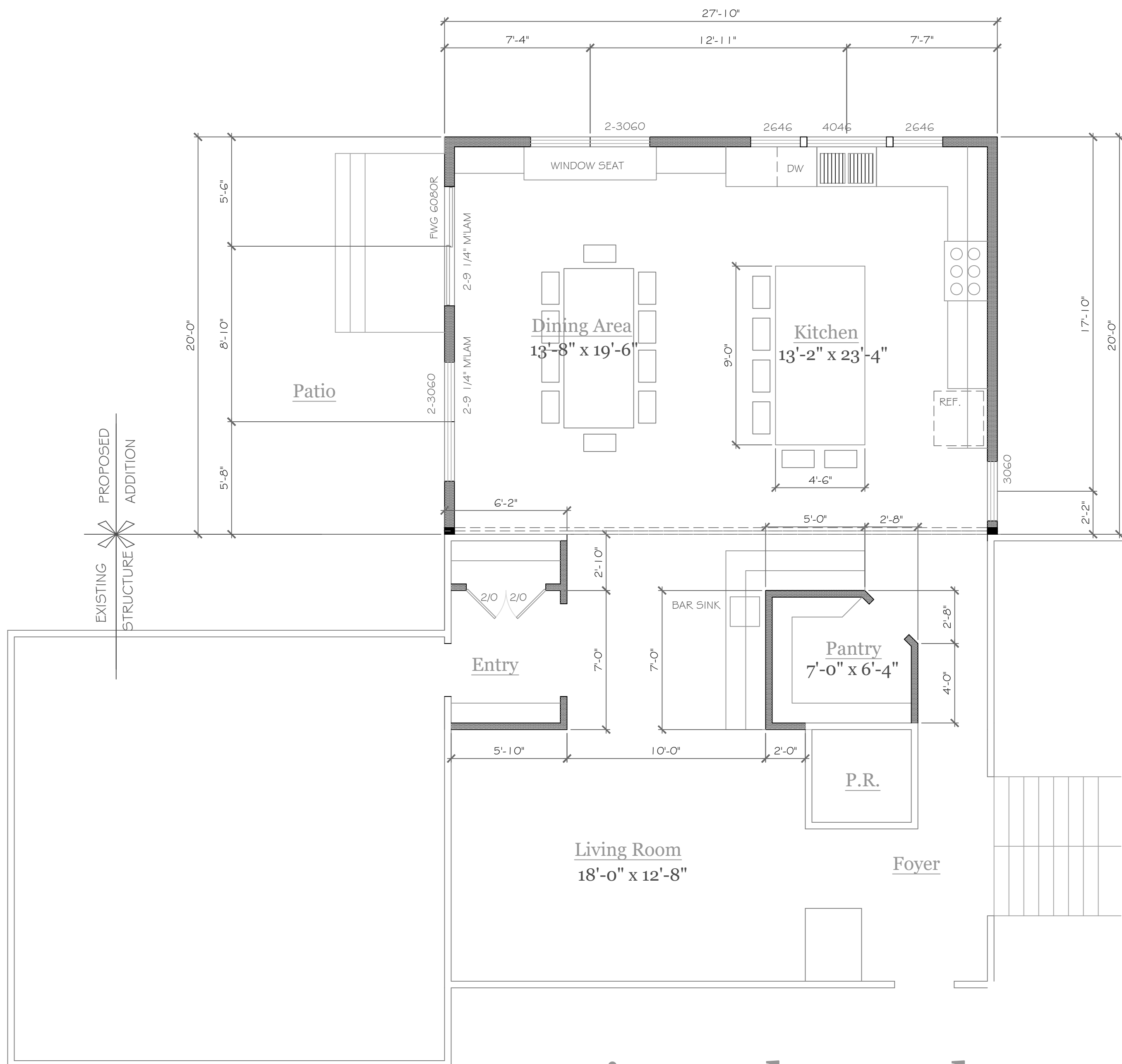
REVISIONS:	
NO.	DESCRIPTION

DRAWING TITLE - Elevations	PHASE - Construction Documents
	DATE - February 2024

PROJECT - Additions & Renovations to: 20 Kirkees, Pittsford, N.Y.	CLIENT - Larry & Emma Tantalo
JOB NO. - A23-056	DATE - February 2024

CKH
architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. -
A-1



First Floor Plan

557 square feet Addition

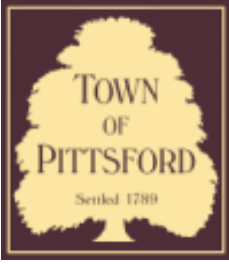
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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	First Floor Plan
PHASE	Construction Documents

PROJECT-	Additions & Renovations to: 20 Kirklees, Pittsford, N.Y.
CLIENT-	Larry & Emma Tantalo
JOB NO. -	A23-05G
DATE	February 2024

CKH
architecture
 1 501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone-(585) 249-1334
 e-mail-CKHennessey@frontier.net



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000027

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 9 Forestwood Lane PITTSFORD, NY 14534

Tax ID Number: 179.05-1-17

Zoning District: RN Residential Neighborhood

Owner: Jasinevicius, Vaidotas

Applicant: Jasinevicius, Vaidotas

Application Type:

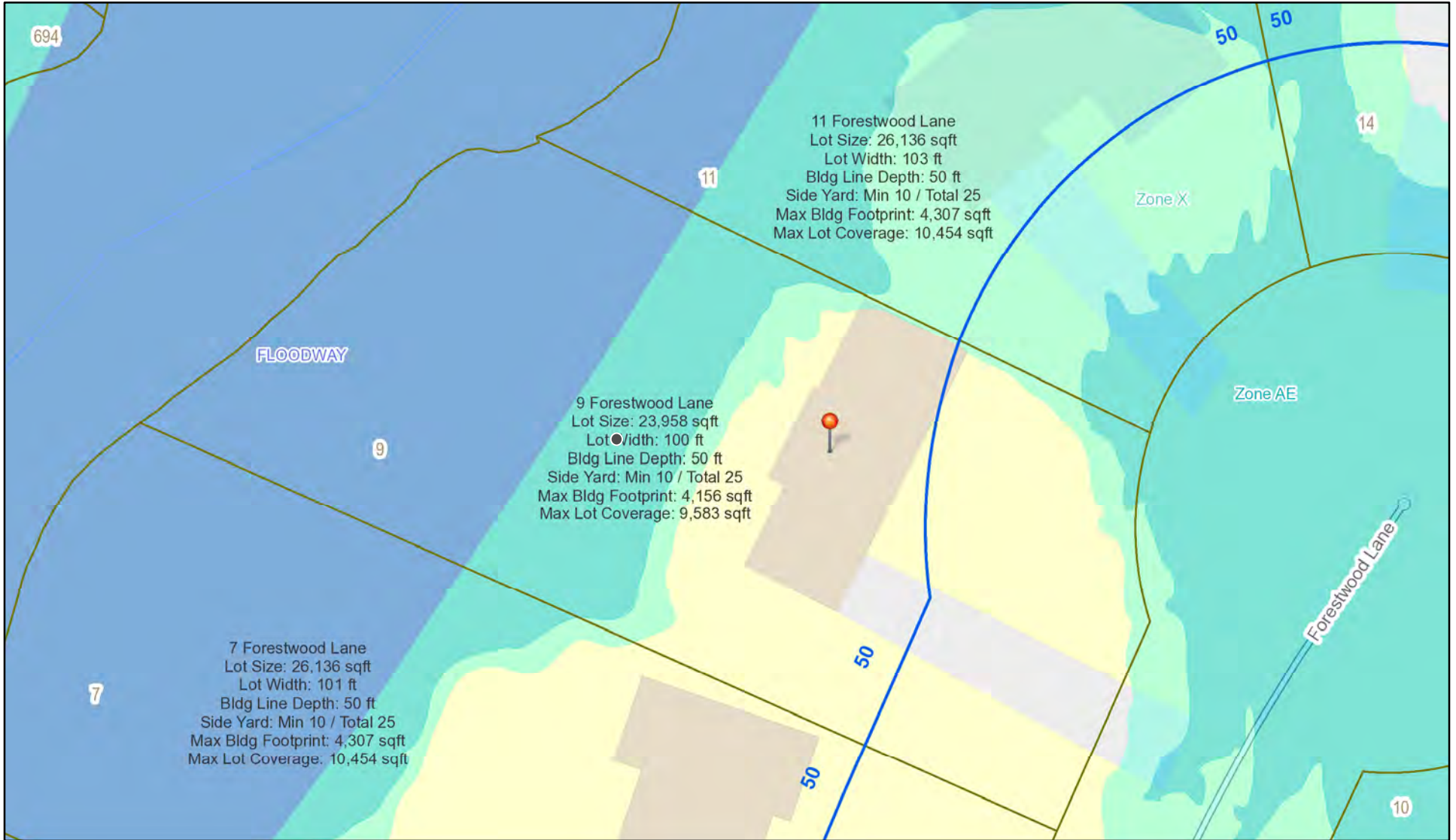
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 280-square-foot covered deck on the back of the home.

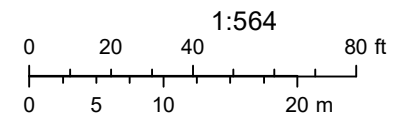
Meeting Date: March 14, 2024



RN Residential Neighborhood Zoning



Printed March 7, 2024



Town of Pittsford GIS

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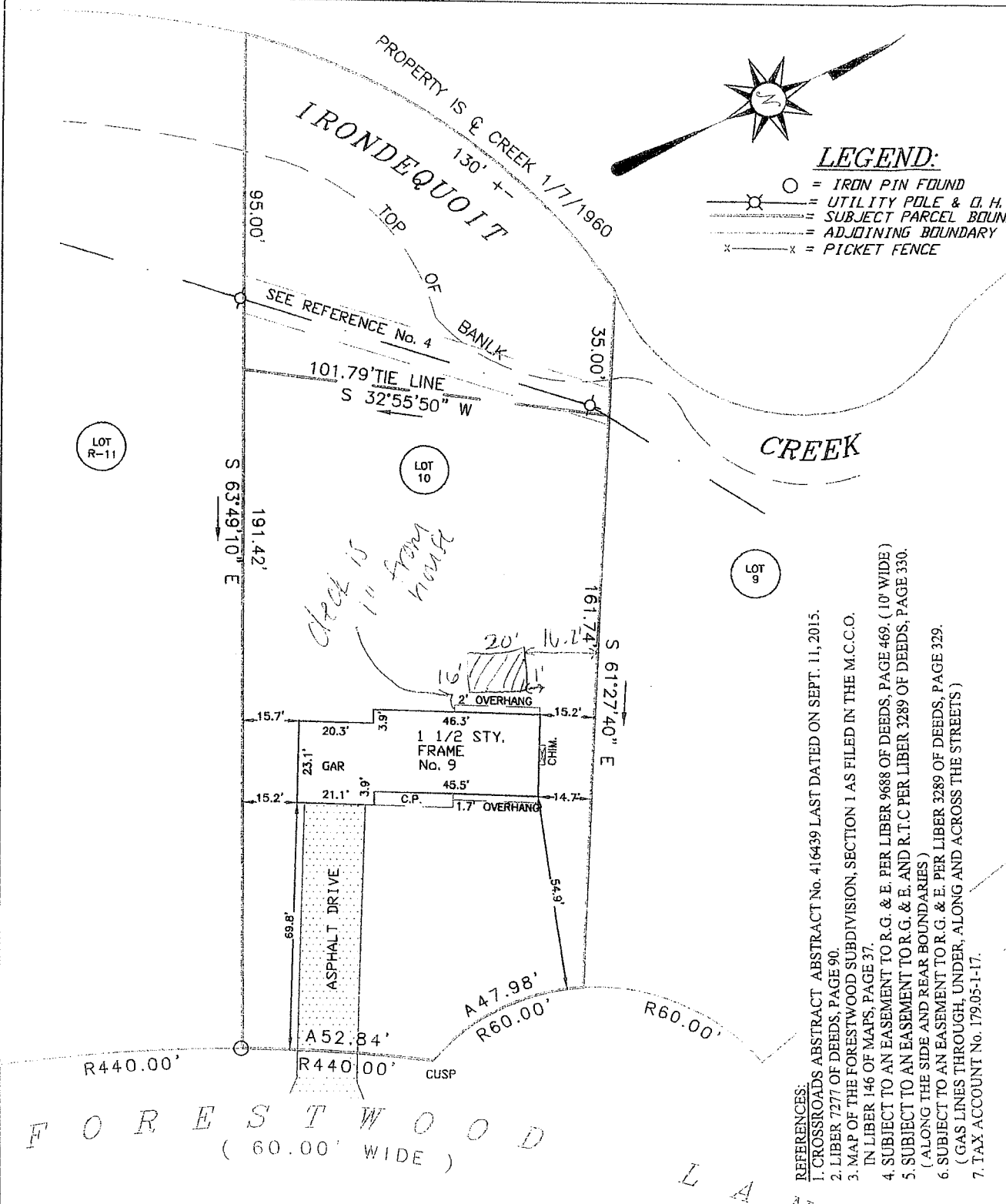


Fri Apr 14 2023

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nearmap



LEGEND:

- = IRON PIN FOUND
- ⊗ = UTILITY POLE & G. H. L.
- = SUBJECT PARCEL BOUNDARY
- - - = ADJOINING BOUNDARY
- x - x = PICKET FENCE

- REFERENCES:**
1. CROSSROADS ABSTRACT No. 416439 LAST DATED ON SEPT. 11, 2015.
 2. LIBER 1277 OF DEEDS, PAGE 90.
 3. MAP OF THE FORESTWOOD SUBDIVISION, SECTION 1 AS FILED IN THE M.C.C.O. IN LIBER 146 OF MAPS, PAGE 37.
 4. SUBJECT TO AN EASEMENT TO R.G. & E. PER LIBER 9688 OF DEEDS, PAGE 469. (10' WIDE)
 5. SUBJECT TO AN EASEMENT TO R.G. & E. AND R.T.C PER LIBER 3289 OF DEEDS, PAGE 330. (ALONG THE SIDE AND REAR BOUNDARIES)
 6. SUBJECT TO AN EASEMENT TO R.G. & E. PER LIBER 3289 OF DEEDS, PAGE 329. (GAS LINES THROUGH, UNDER, ALONG AND ACROSS THE STREETS)
 7. TAX ACCOUNT No. 179-05-1-17.

F O R E S T W O O D
(60.00' W I D E)
L A N E

MAP OF AN INSTRUMENT SURVEY OF
No. 9 FORESTWOOD LANE
BEING
LOT No. 10 of the FORESTWOOD SUBDIVISION, SECTION 1

SITUATE IN
TOWN OF PITTSFORD
COUNTY OF MONROE
SCALE 1 INCH = 40 FEET

STATE OF NEW YORK
DATE: OCTOBER 1, 2015

GROVER & BATES ASSOCIATES
406 WEST SPRUCE STREET

9 Forestwood Ln Deck Roof/Pergola roof details.

Existing Structure

1. Pergola will be installed on an existing Deck at 9 Foreswood Lane. Permit: RA23-000122.
2. The deck already contains pre-existing seven 6x6 wood posts, 94" tall. Three on each side and one in front.

New Structure

Beams

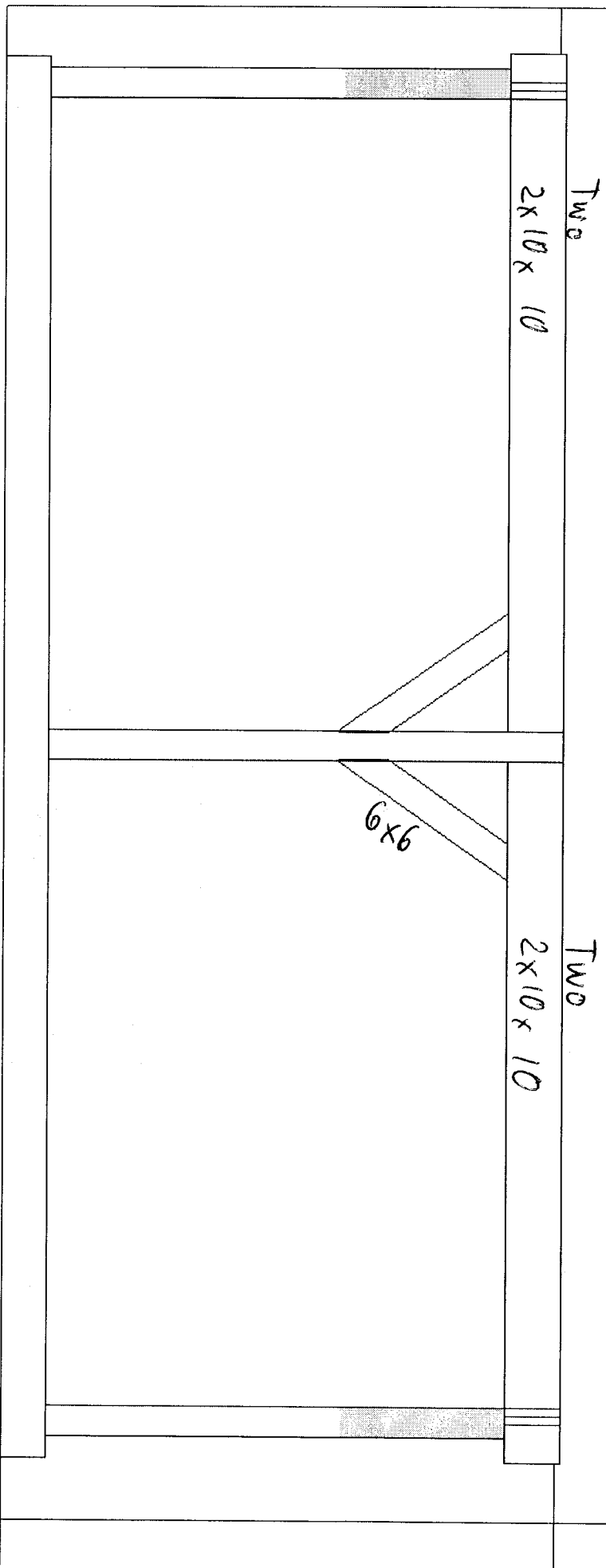
1. 13 feet Side beams: double 2"x10"x13' beams will be installed on each side of the deck, connecting the three 6x6 wood posts. The beams will be installed on top of the wood posts cutout and secured with two bolts on each post.
2. 20 feet Front beam: Two double 2"x10"x10' beams spanning a total of 20 feet will be installed in front connecting the side beams on left and right corners and sitting on top of the front-middle post cutout secured with two bolts.
3. Diagonal 6x6 brackets will provide additional strength to support the beam connections on left and right corners and additional two diagonal 6x6 brackets will support the front beam connection on the front-middle wood post.

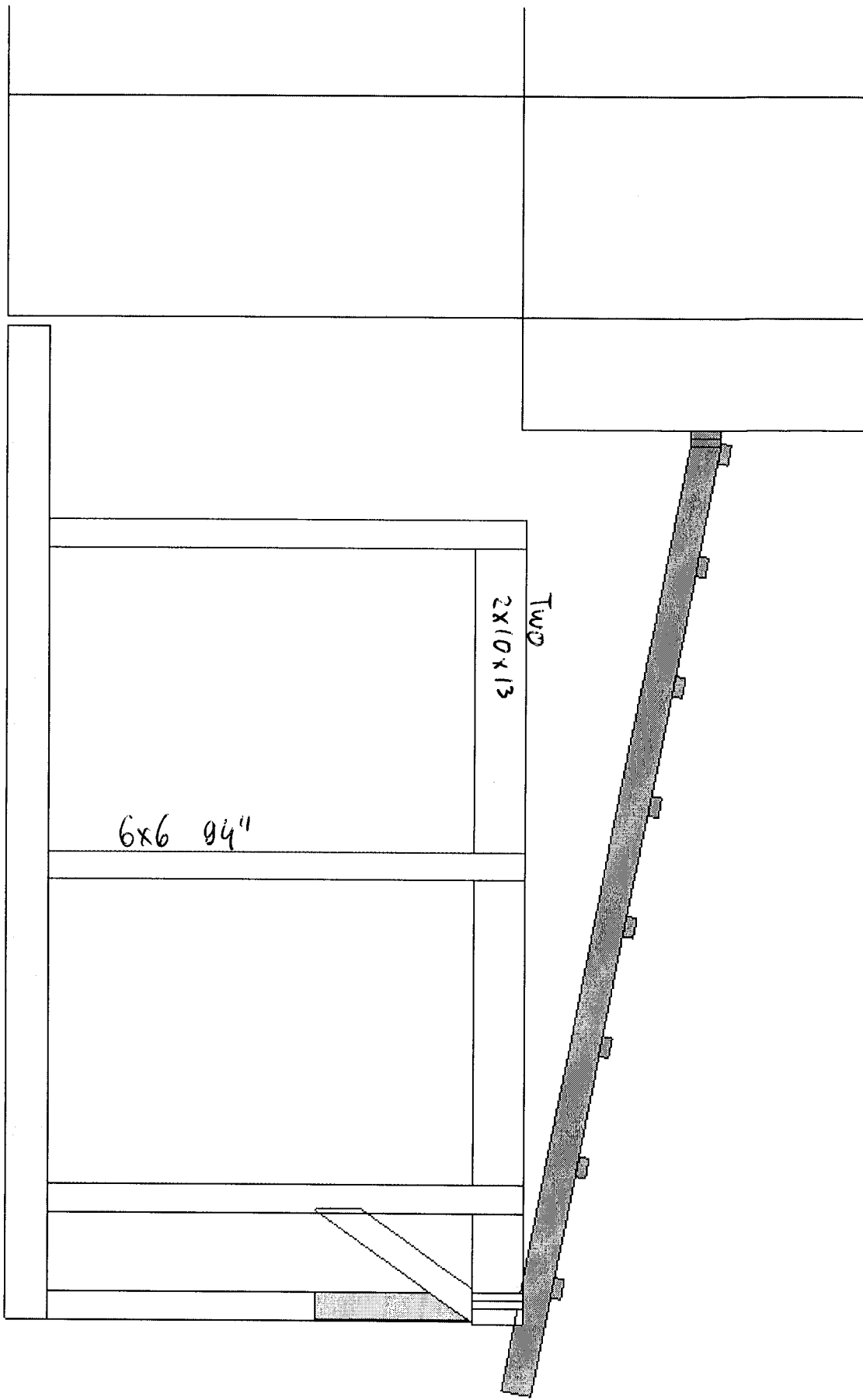
Rafters

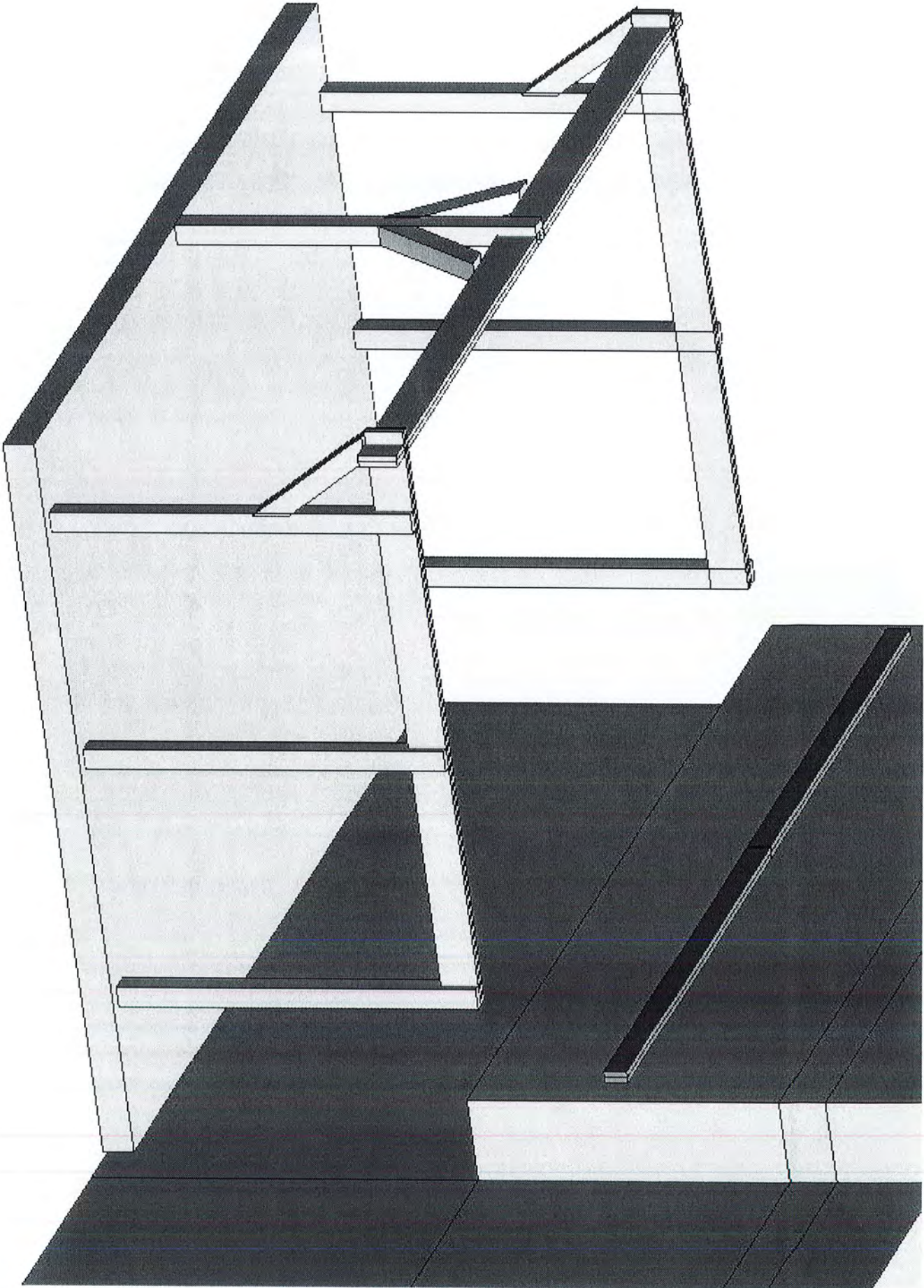
1. Robust 4"x6"x16' rafters, 24 in. on-center attached to the house support roof.
2. The polycarbonate plastic roof panels require 24" OC Max spacing and Slope that is 1:12 (5 degree angle). See Tuftex Multi-Wall installation instruction manual for details.
3. The roof rafters will be attached to the house on the two 2"x6"x10feet ledger boards spanning 20 feet total. The ledger boards will be bolted to the house wall studs 16 OC. The ledger boards will be installed right below the house windows and measured around 3 feet from the wood posts' top, thus providing the roof slope of 3:14.
4. 2 in. x 4 in. stripping, 24 in. on-center will be installed on top of the rafters.

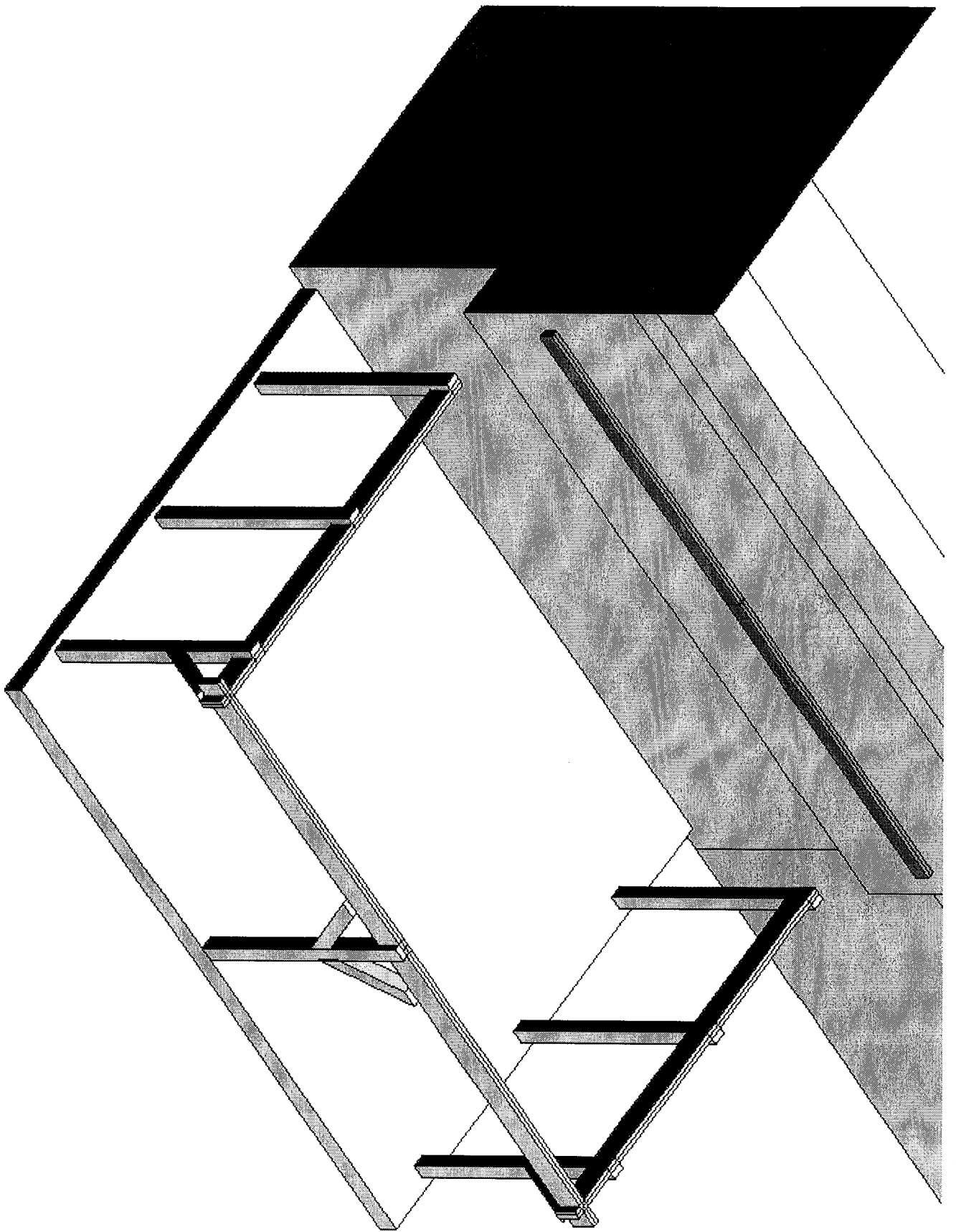
Roof

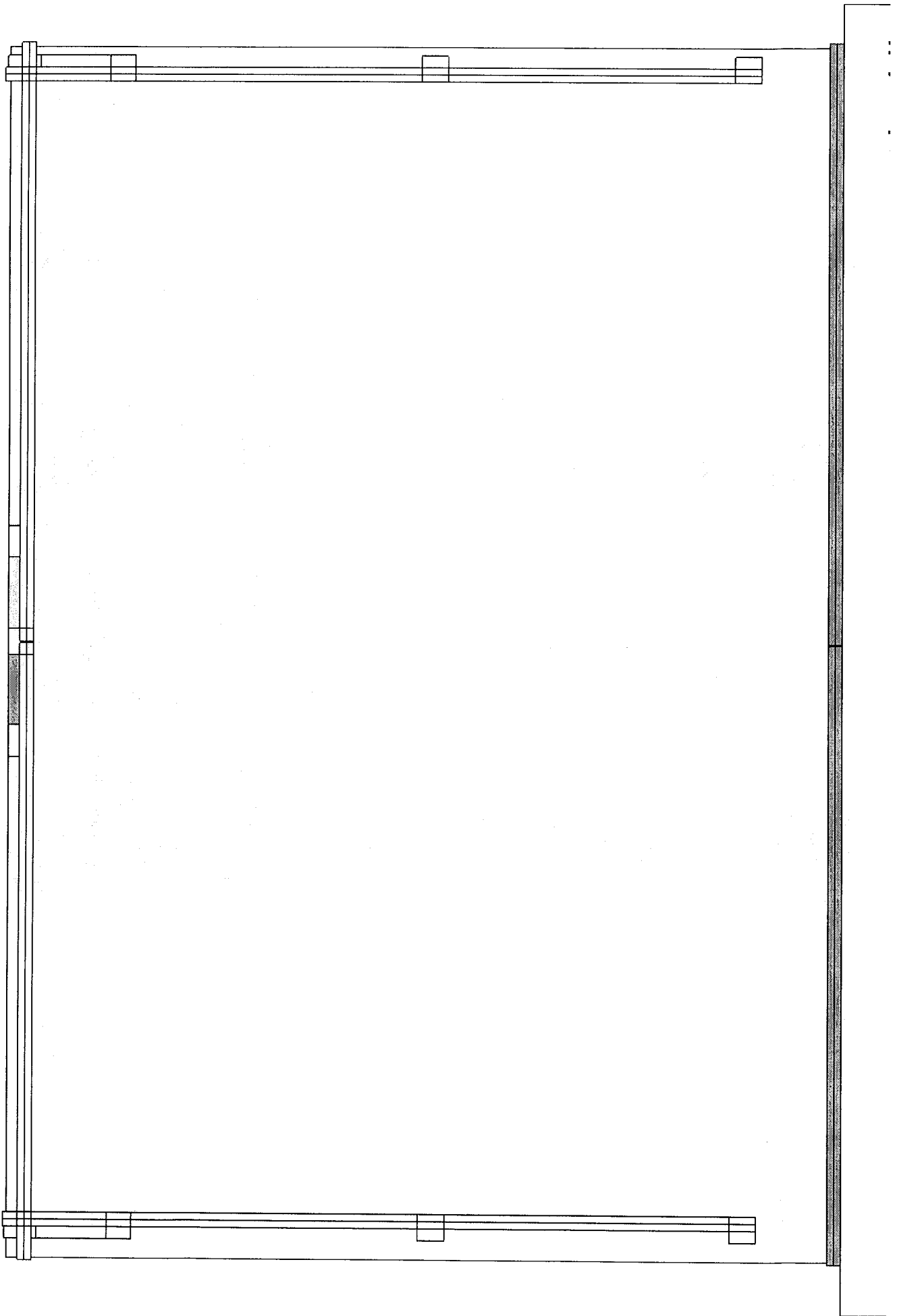
1. Ten Tuftex Multi-Wall 6mm 48" x 96" Corrugated Clear Polycarbonate Plastic Roof Panels. Total roof of 320 sq. feet. Total ground coverage 14' x 20' = 280 sq. feet.

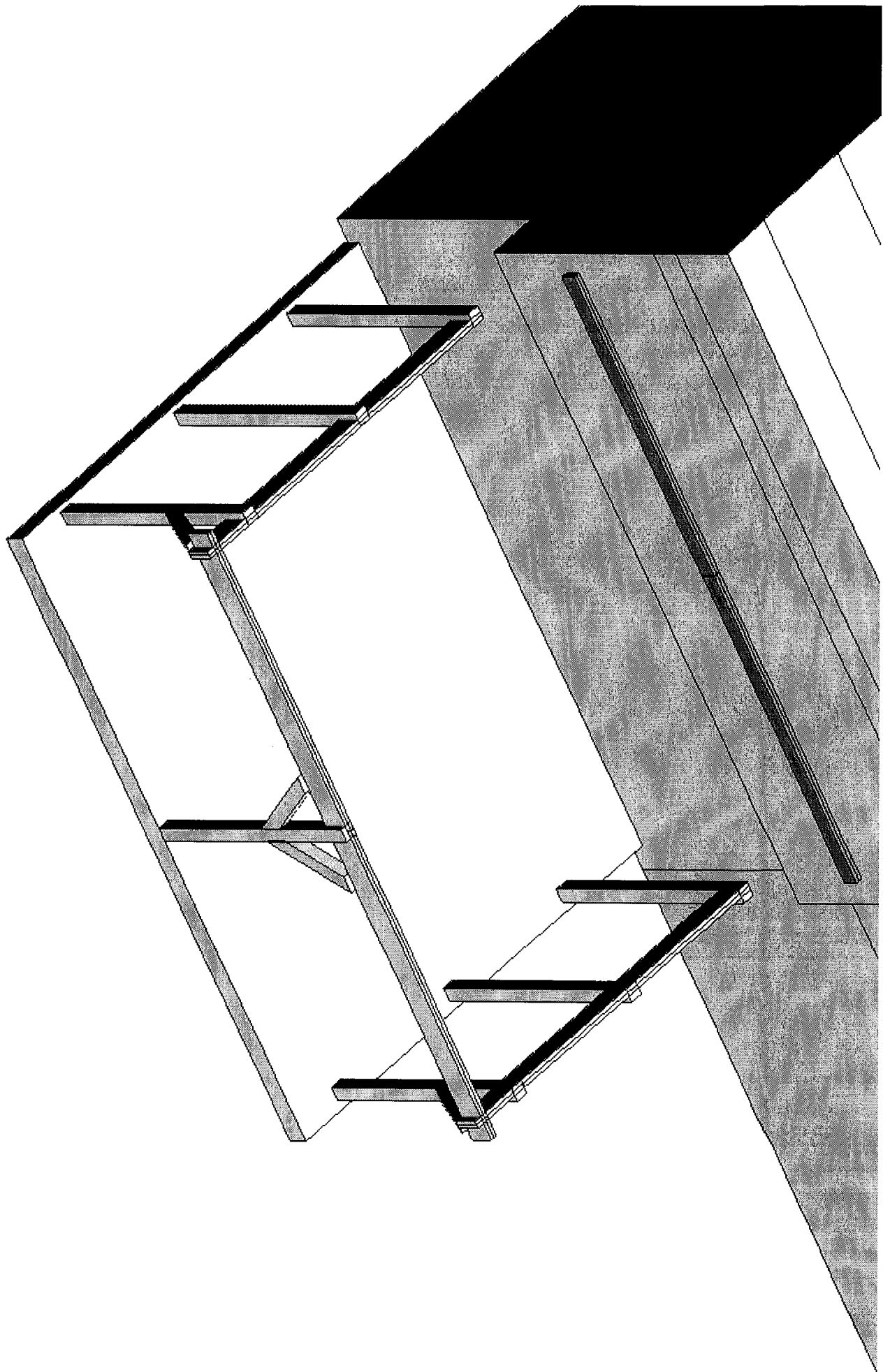


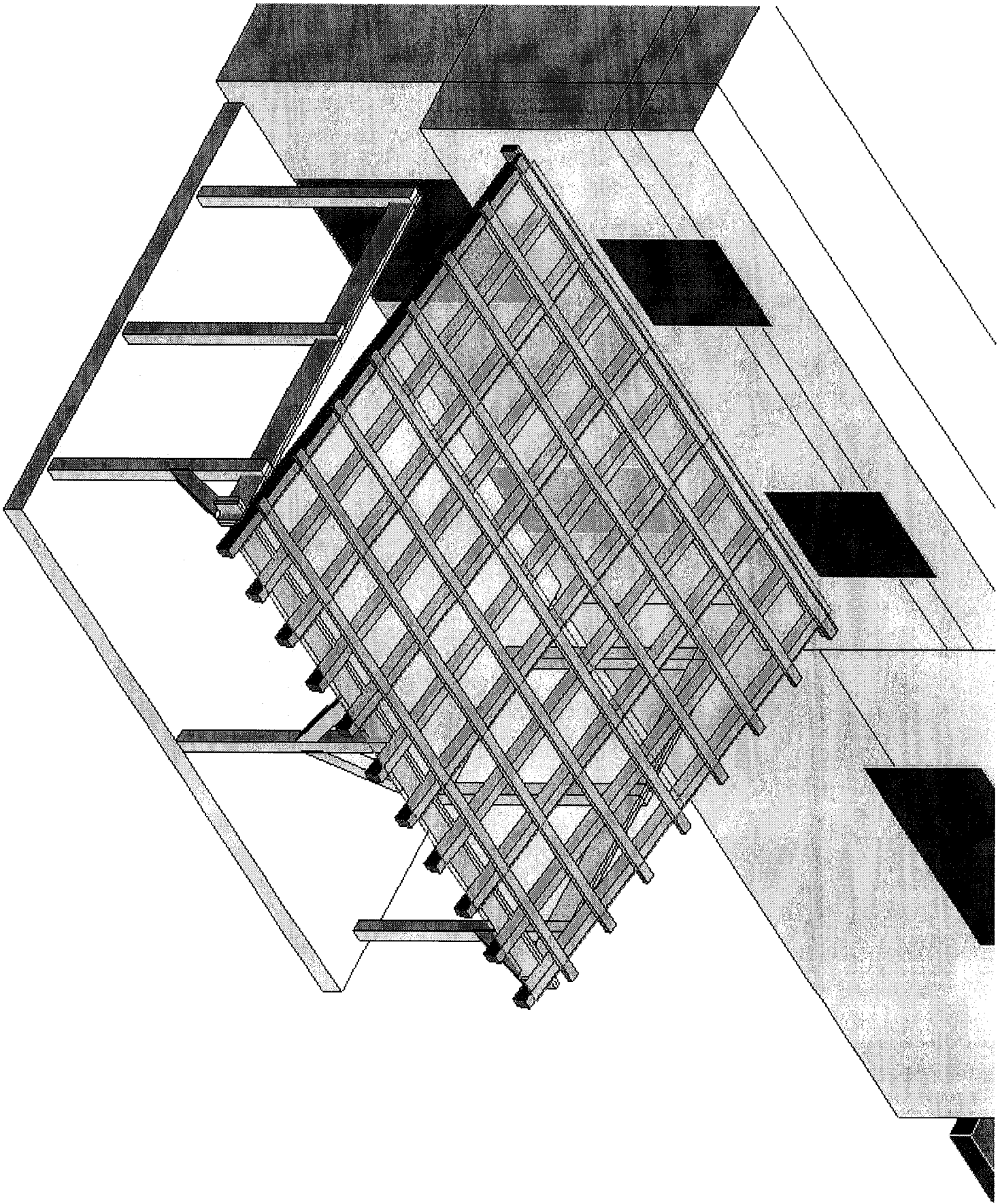


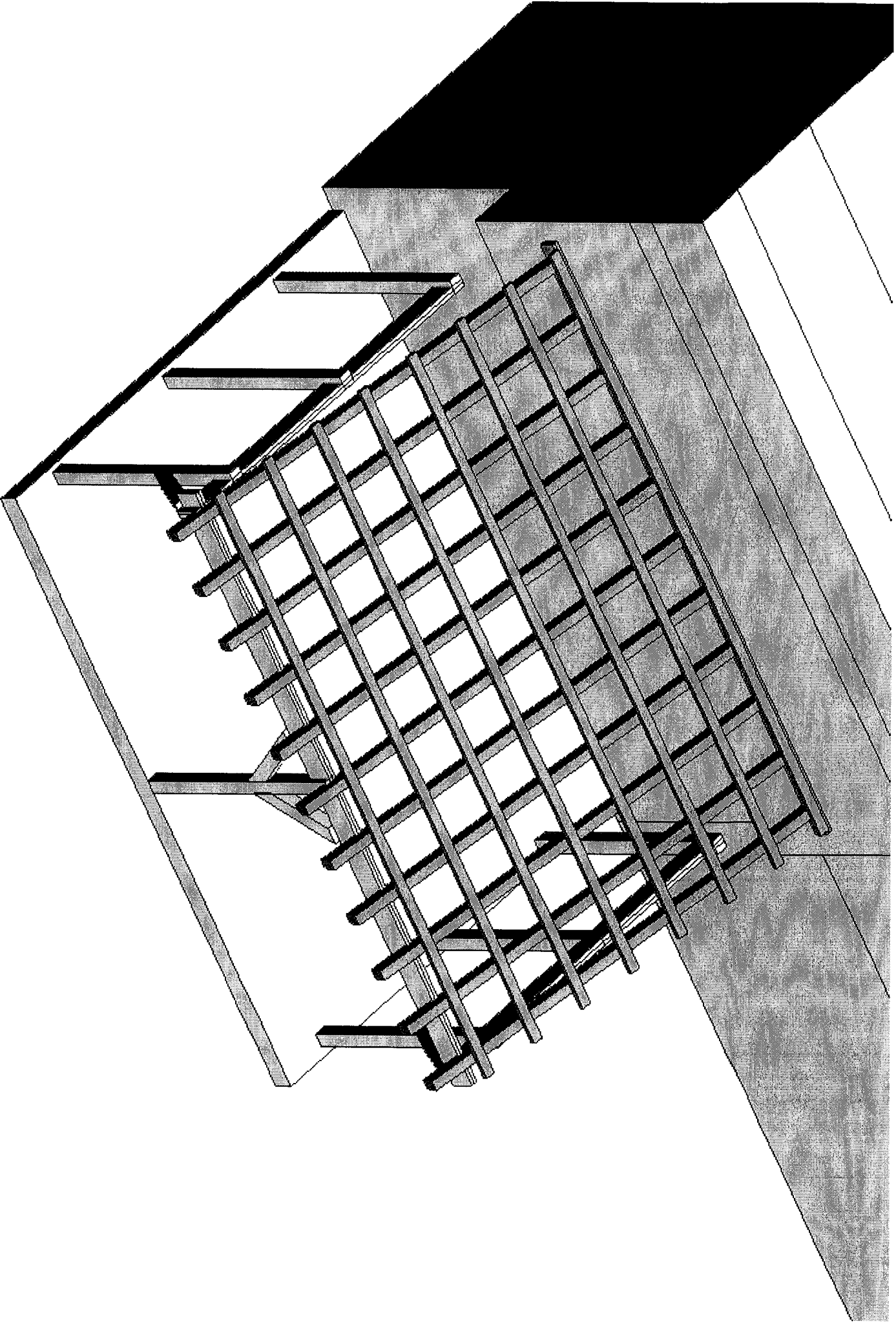


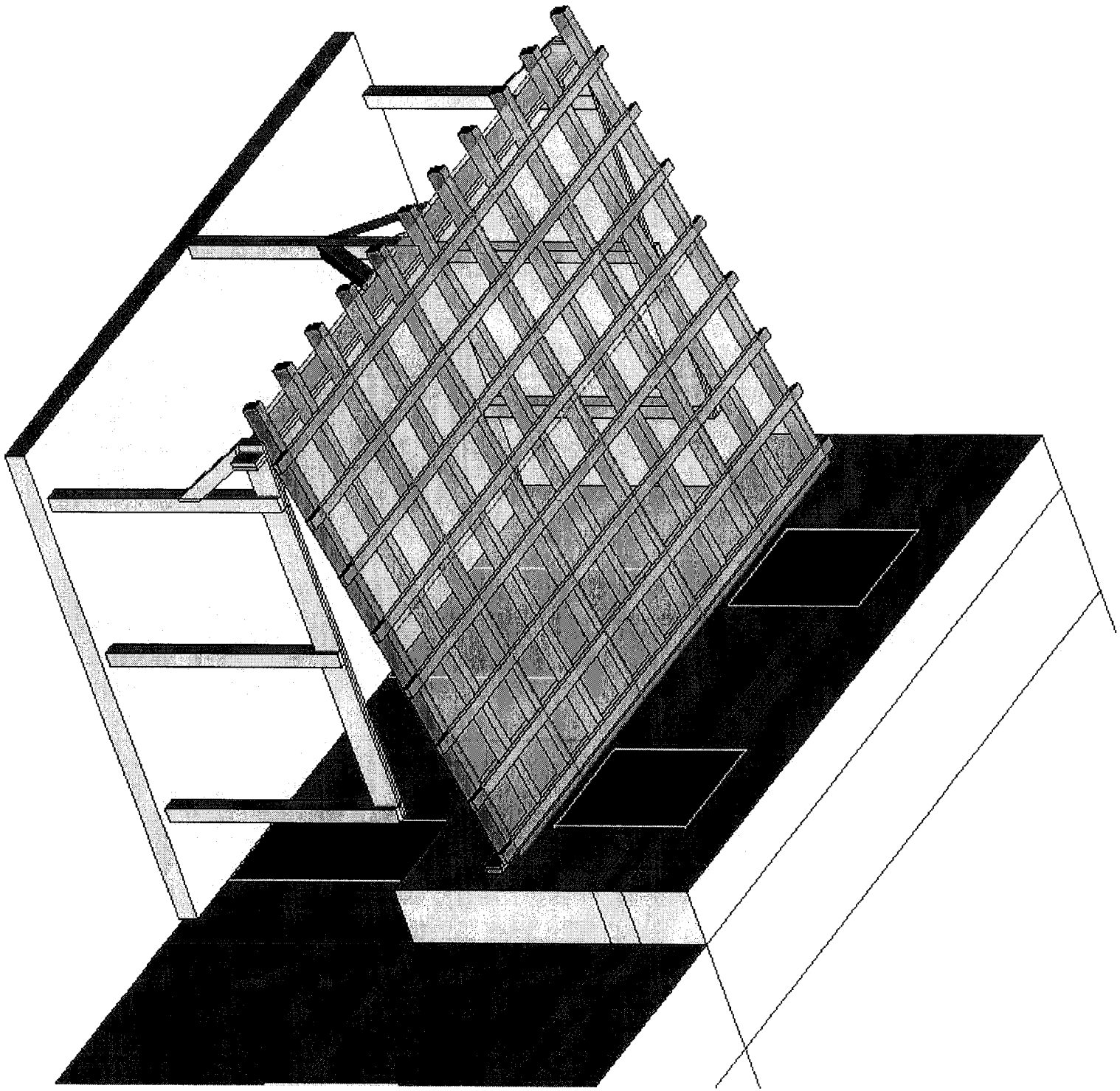


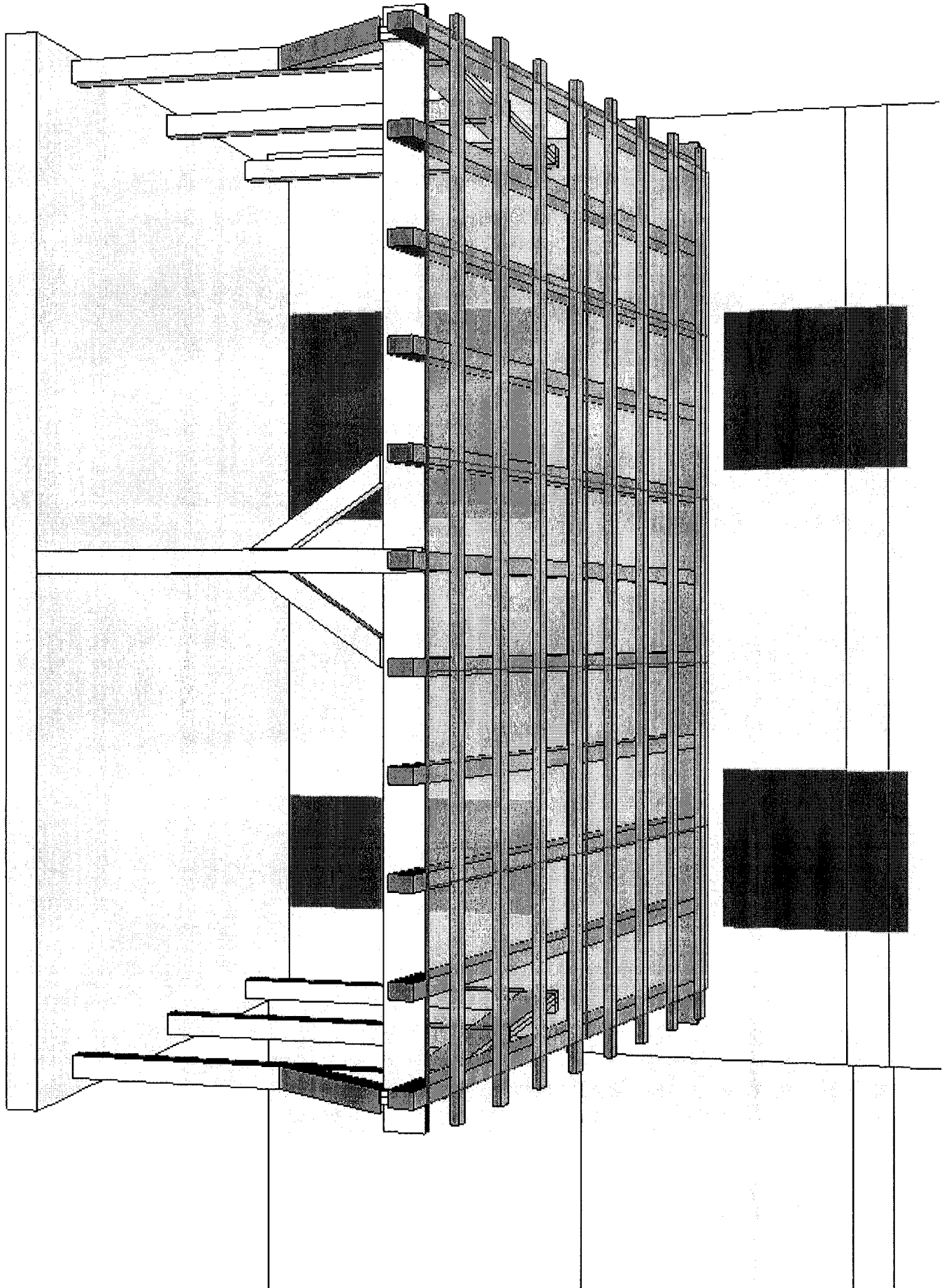


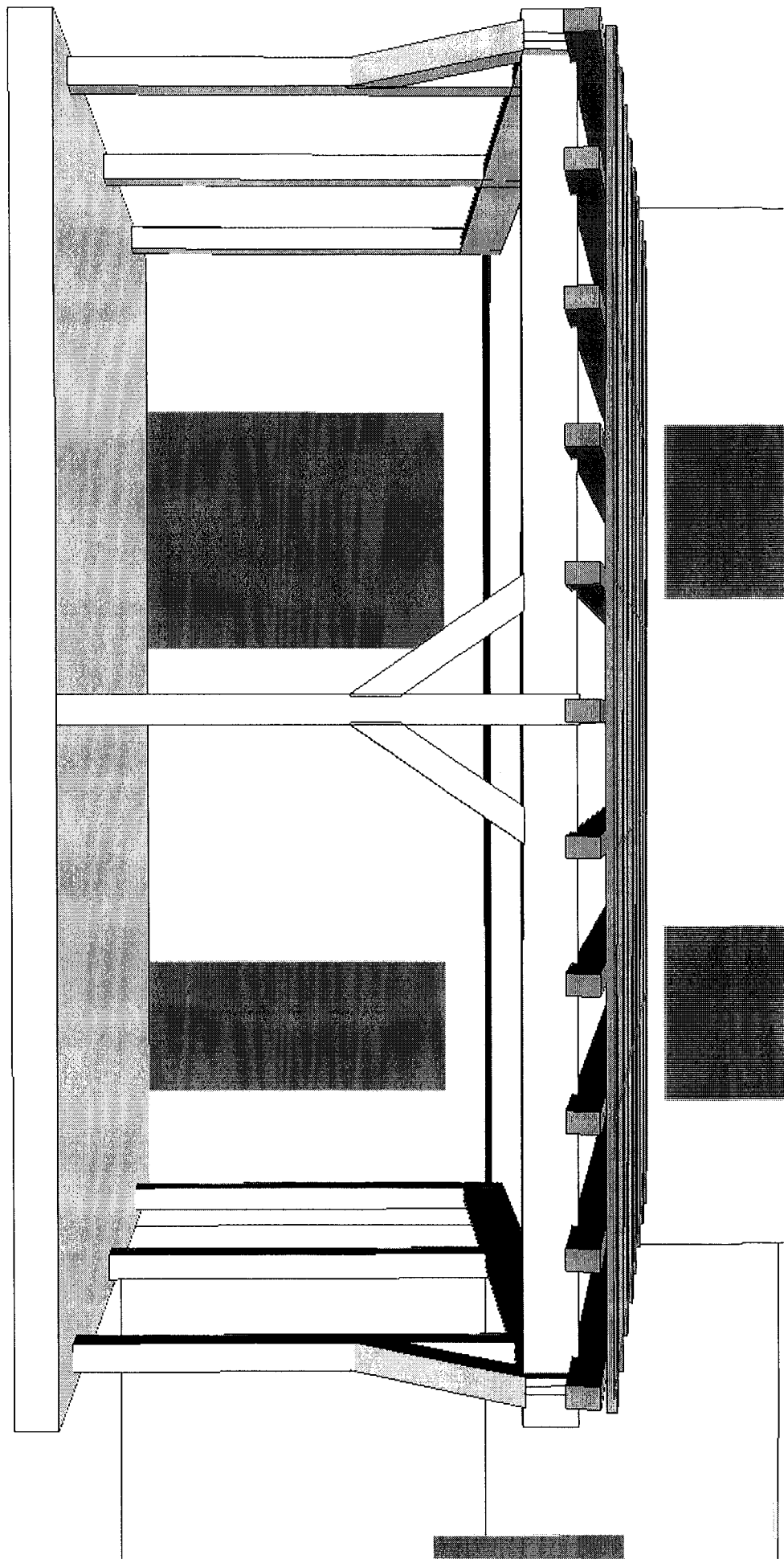


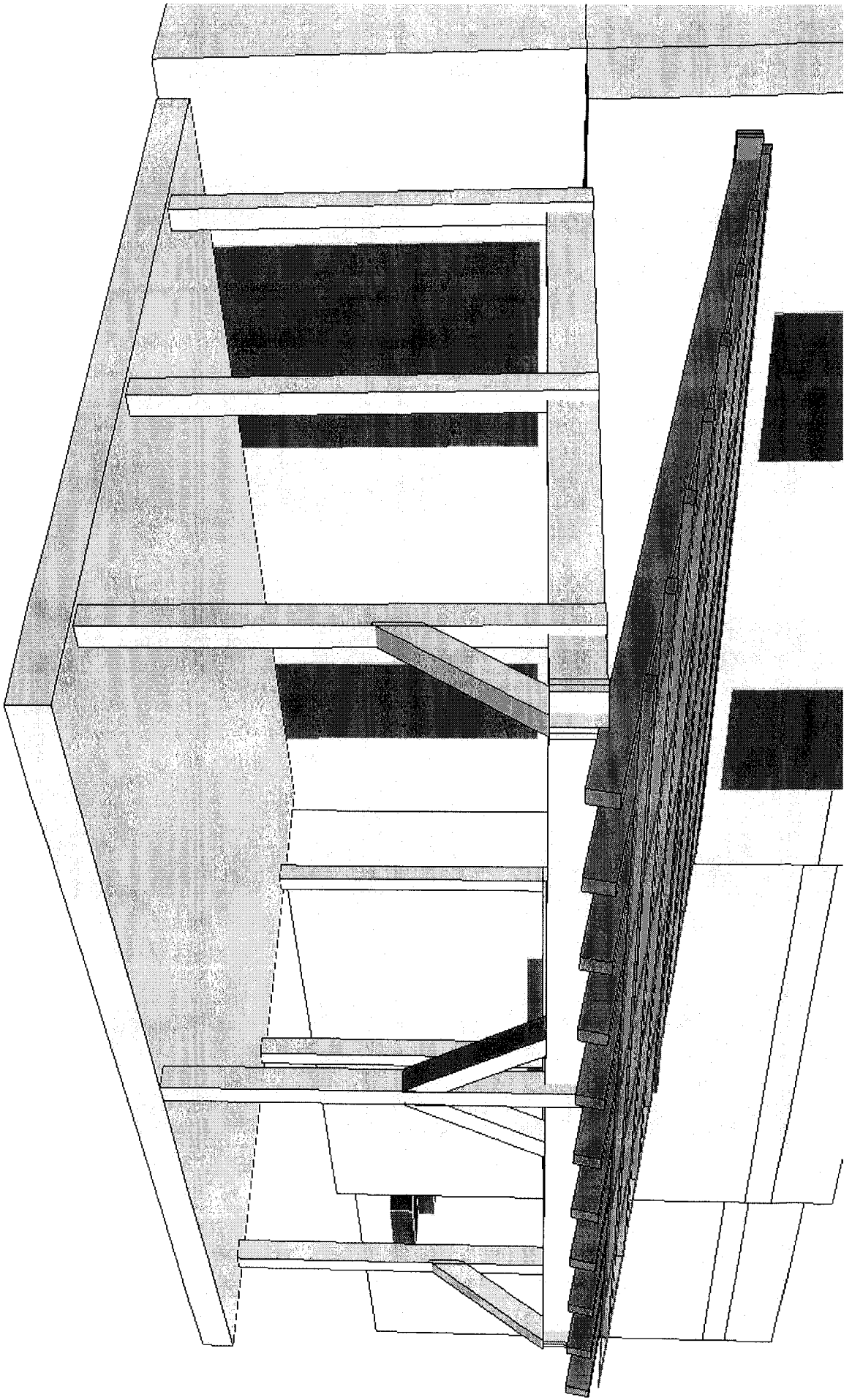


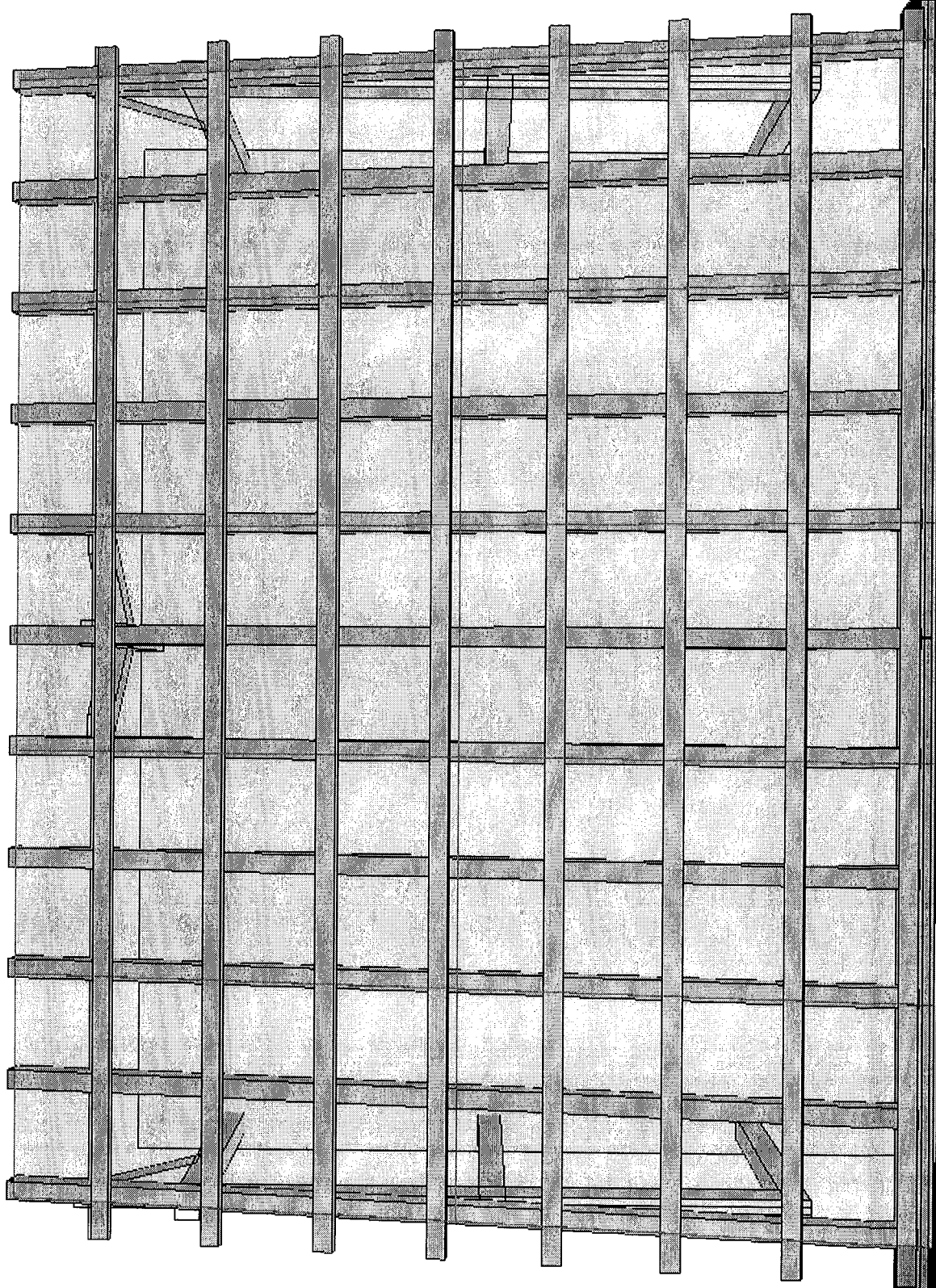


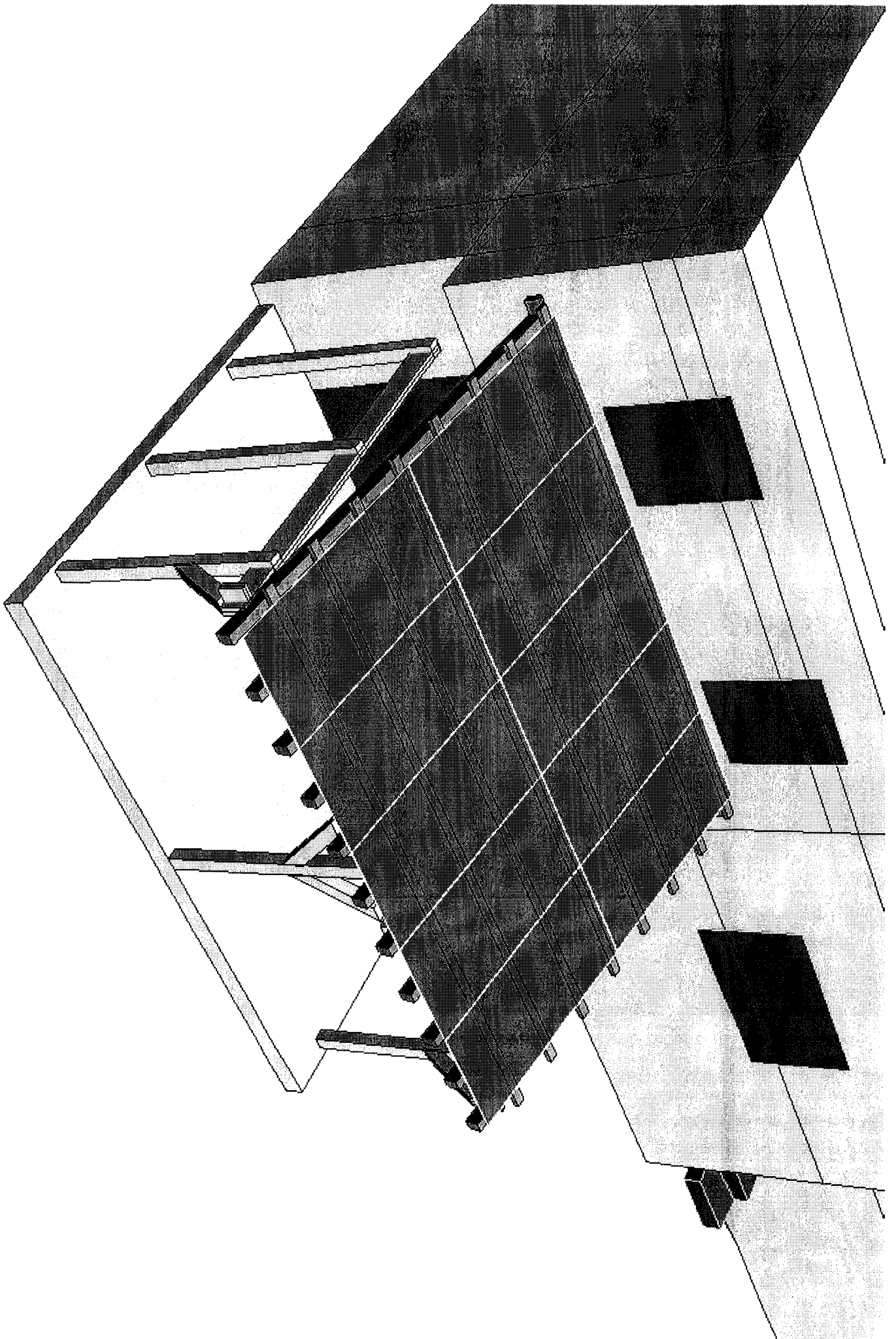


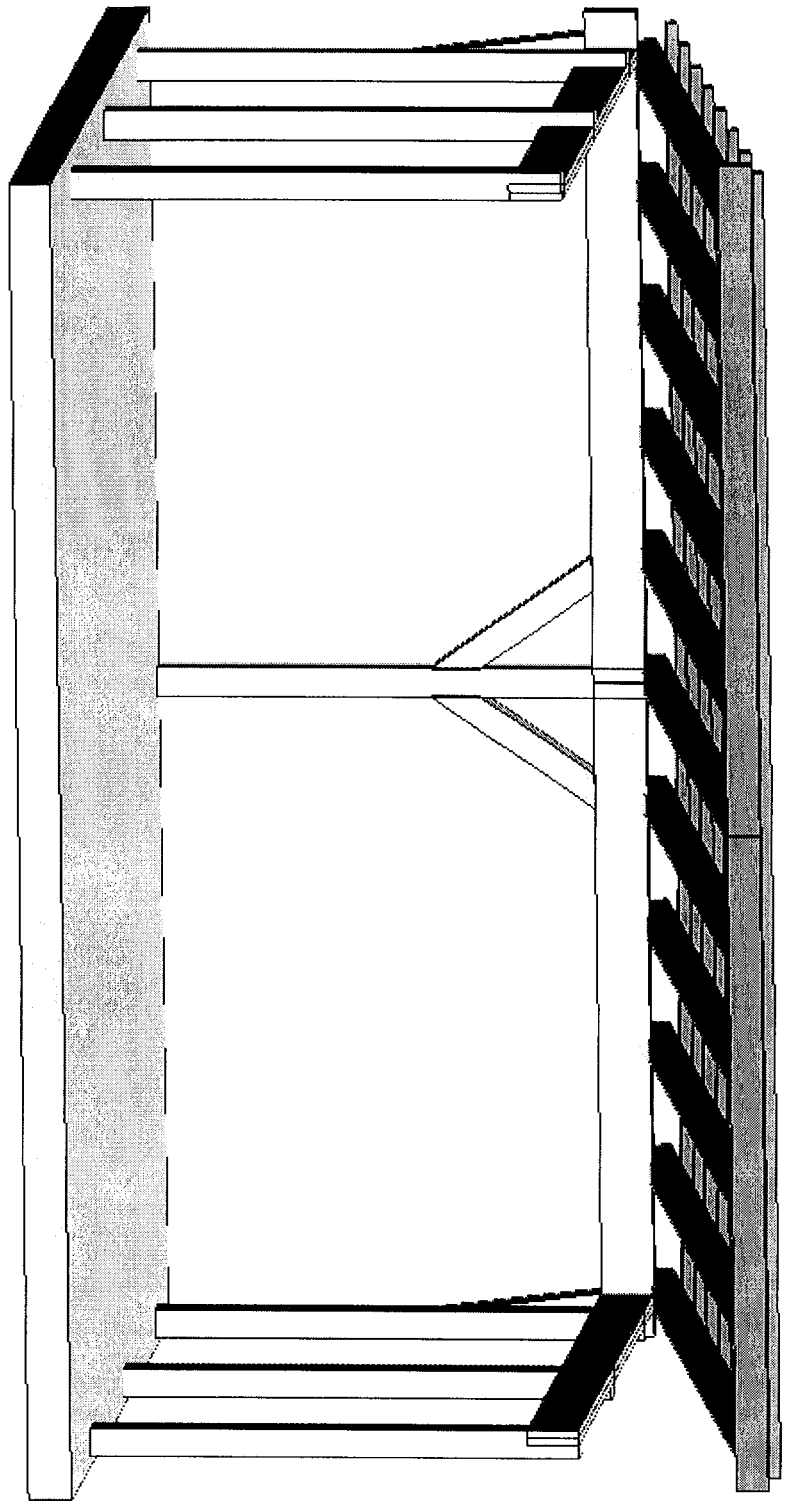


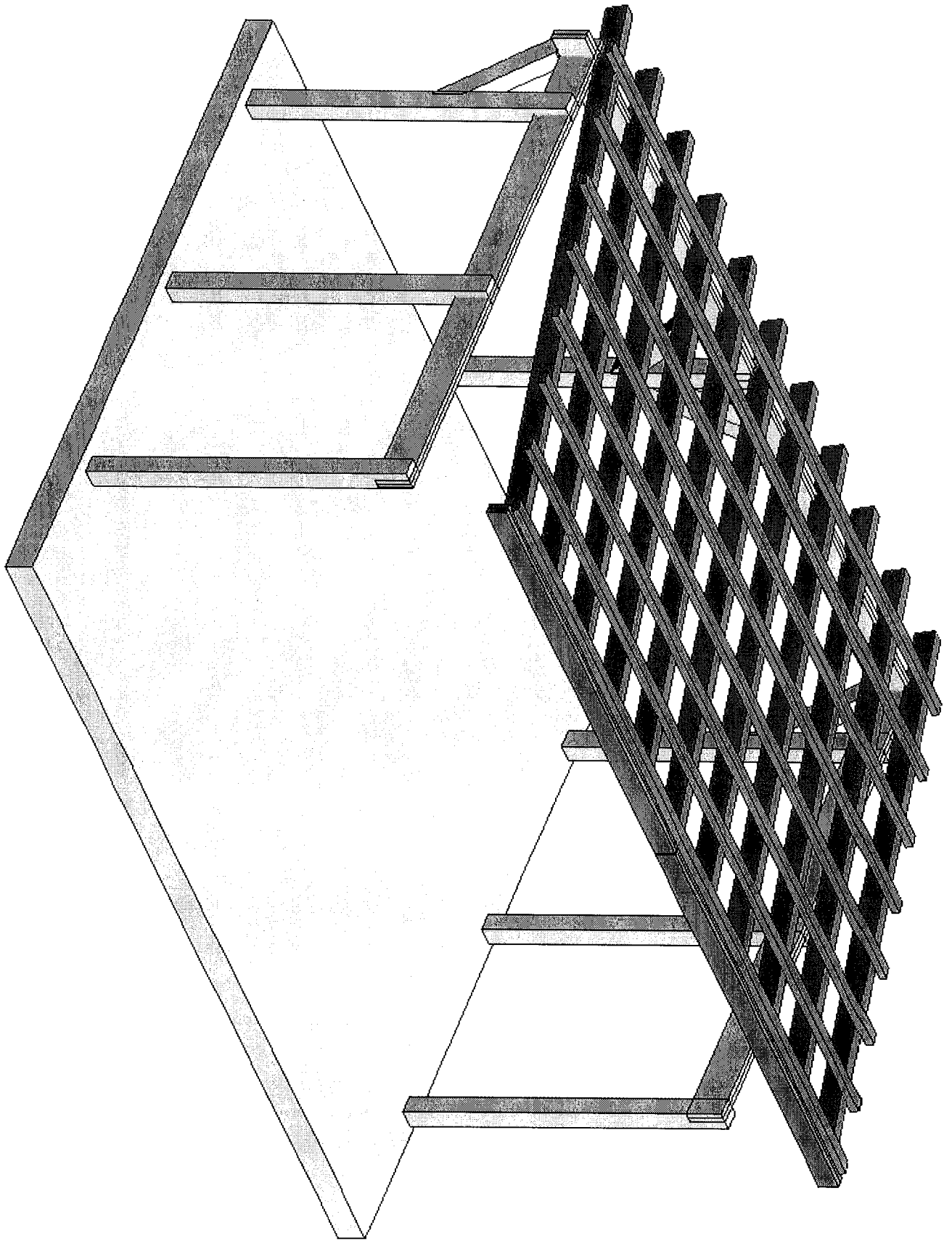


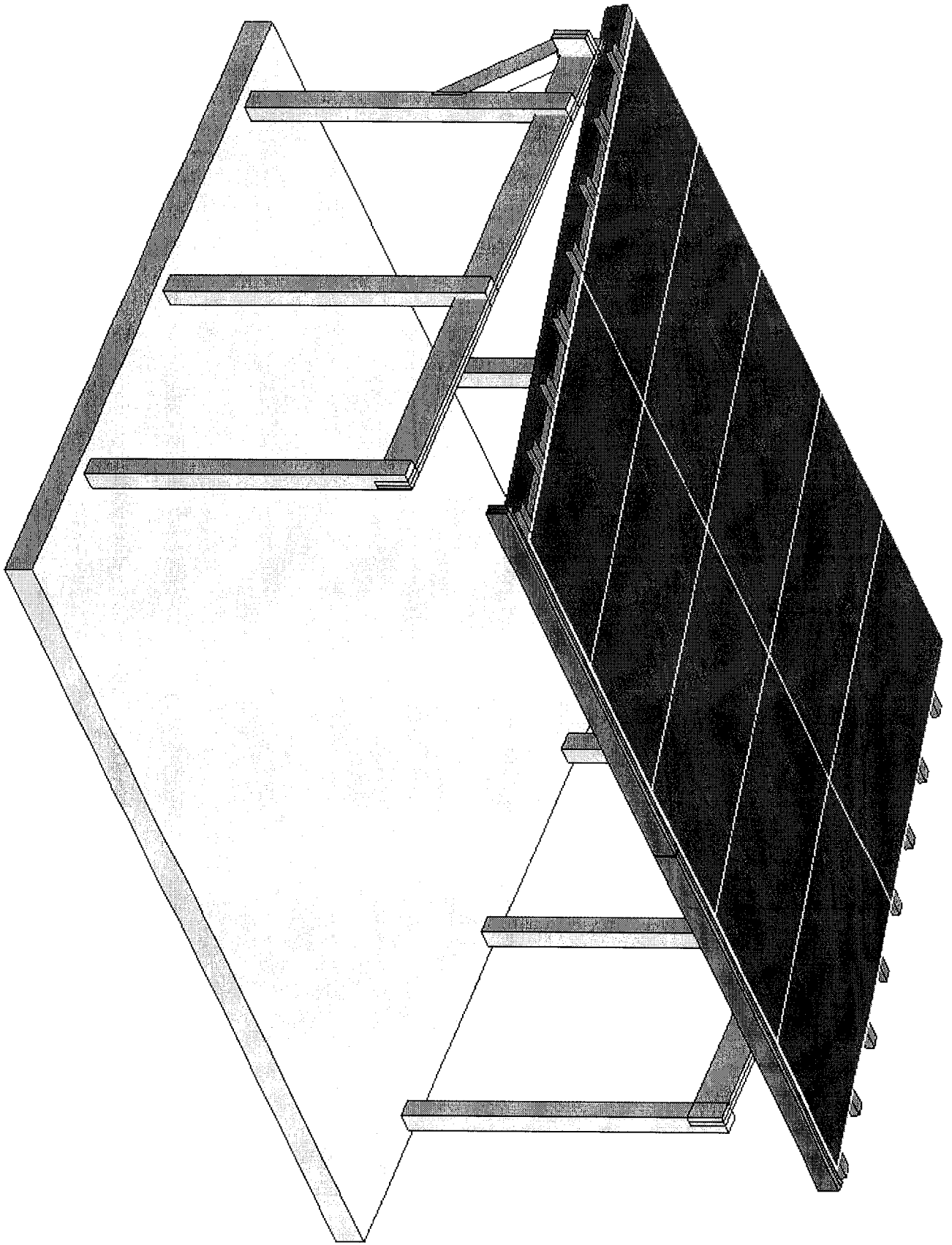


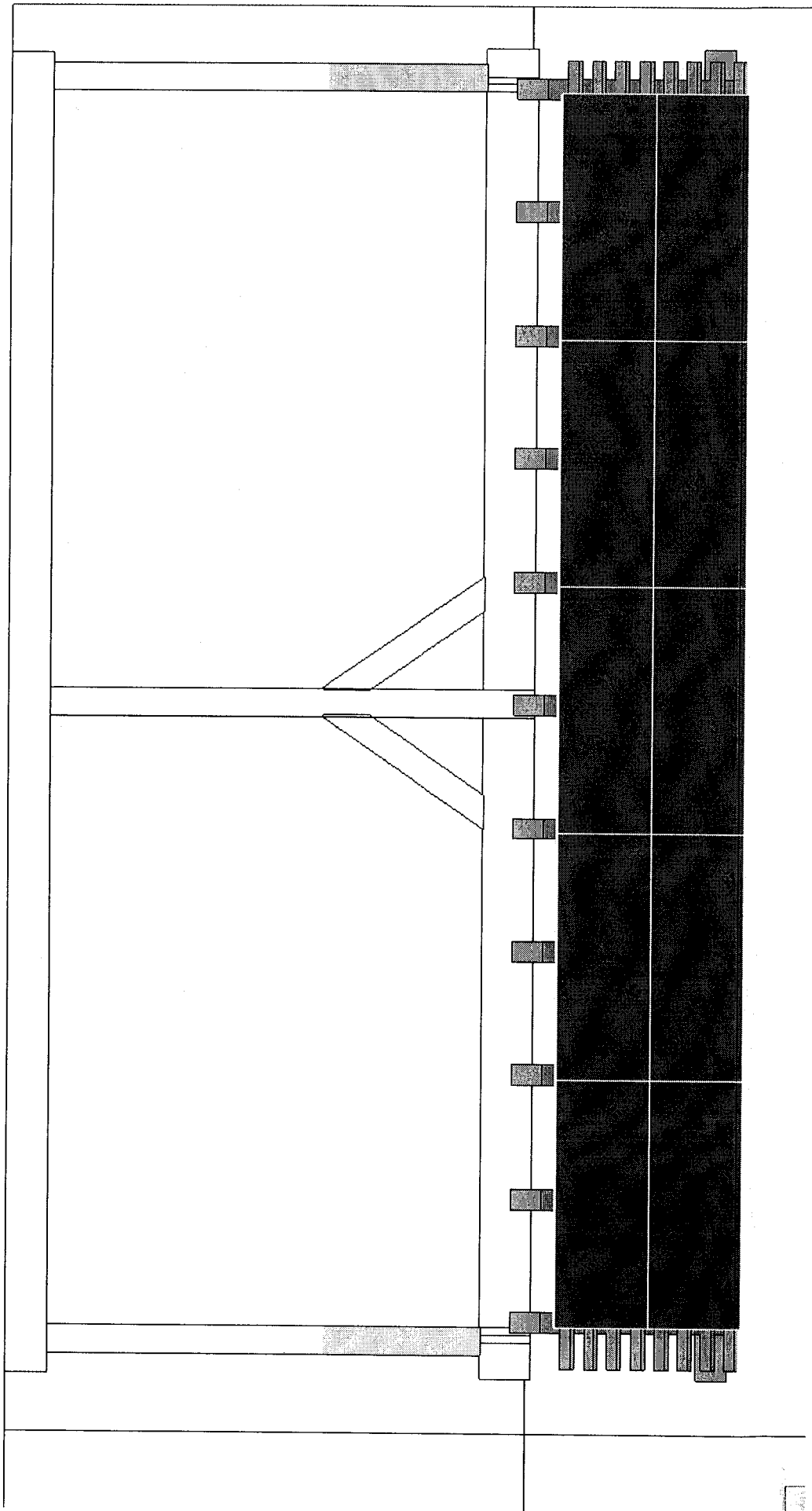












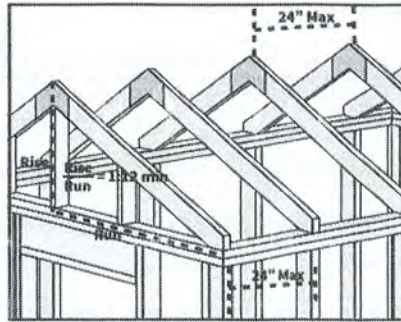
TUFTEX® Multi-Wall

6mm 48"x96" Installation Instructions



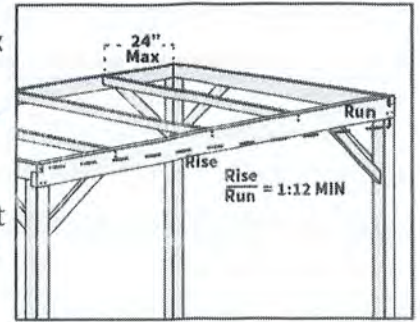
Preparing for Your Project

Ensure your structure has the appropriate spacing and slope to support TUFTEX® Multi-Wall panels and allow for proper drainage.



Spacing: 24" OC Max
Slope: 1:12 (5°)

Open channels (flutes) in panel must run vertically when applied outside.



Always refer to local building code before starting any project

Tools Required



TAPE MEASURE



DRILL
9/32" DRILL BIT
1/4" HEX DRIVER



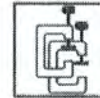
CIRCULAR SAW
(80+TOOTH BLADE)
PLASTIC CUTTING BLADE



MARKER



EYE PROTECTION



C-CLAMPS

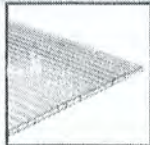


100% SILICONE SEALANT
(OPTIONAL)



JIG-SAW
(OPTIONAL)

Estimating Material



TUFTEX® MULTI-WALL PANEL
Length: 96"
Width: 48"
Coverage: 32 sqft

* Install with flutes vertically if applying outside



TUFTEX® U-CHANNEL PROFILE
Seals top and bottom of panels
Length: 96"

Estimate: Ridge + Eave length in feet divided by 8 = pcs needed



TUFTEX® H-CHANNEL PROFILE
Joins two panels side by side
Length: 96"

Estimate: Joint length divided by 8 = pcs needed



TUFTEX® 2" FASTENERS
Head: 1/4" Hex
Estimate: 16 fasteners/panel

* Pre-drill panels
* Do not fasten on profiles



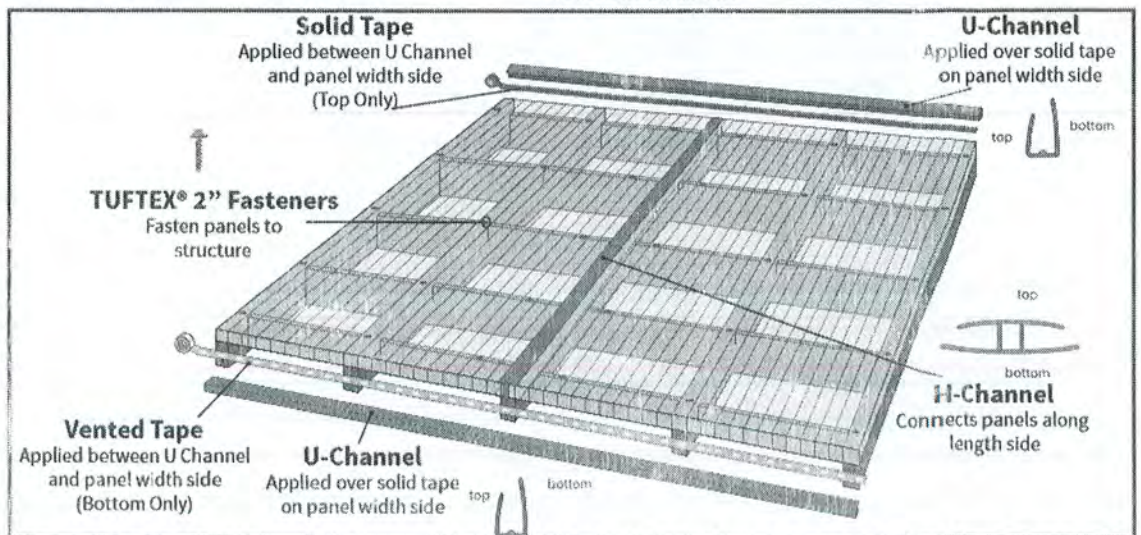
TUFTEX® ANTI-DUST TAPE
Length: 32 feet

Solid - apply to top of panel
Vented - apply to bottom of panel
* Each roll has both vented and solid tape



TUFTEX® UNIVERSAL RIDGE
Length: 51"
Width: 18"
Coverage: 4 Linear feet

For use on roofing application



* Panels have polyethylene film applied to both sides to prevent scratches. One side is marked as UV protected and should face outward. DO NOT fully remove these films until project is complete.

Storing Panels



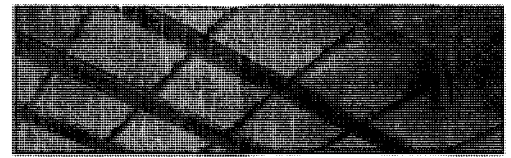
Keep panels protected from direct sunlight and moisture when stored.

When working on project, be sure sheets are positioned with UV film side upwards.



TUFTEX® Multi-Wall

6mm 48"x96" Installation Instructions

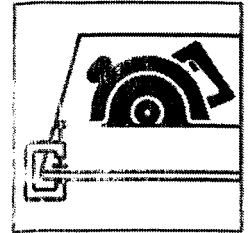
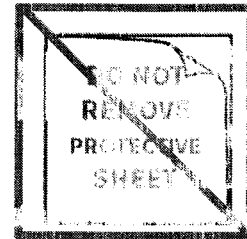


Cutting Panels

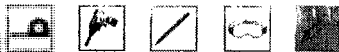


Always wear appropriate protective equipment and follow manufactures' directions when operating power equipment or any other tool

- Keep the polyethylene film on while making cuts to the sheets
- Sheets should always be clamped down firmly to reduce vibration
- Rounded/curved cuts are best made with a band saw, or jigsaw
- Cut with a fine-toothed table saw or circular saw (80+ teeth) with a double sided and certified for plastic cutting blade
- Clean the dust from the flutes using an air compressor or vacuum
- Cuts should be done at a high RPM moving slowly down or across the sheet

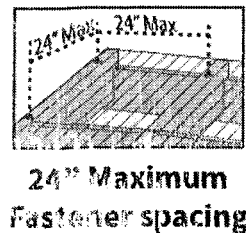
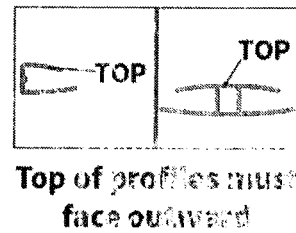
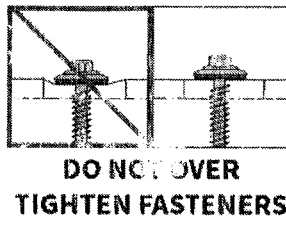
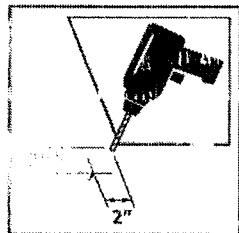
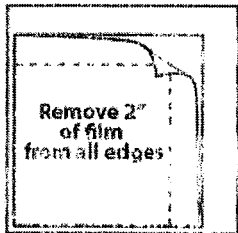


Installing Panels



Always wear appropriate protective equipment and follow manufactures' directions when operating power equipment or any other tool

Ensure the side of the TUFTEX Multi-Wall Panel with the UV protection mark is faced outward. **DO NOT REMOVE FILM UNTIL PROJECT IS COMPLETE.**

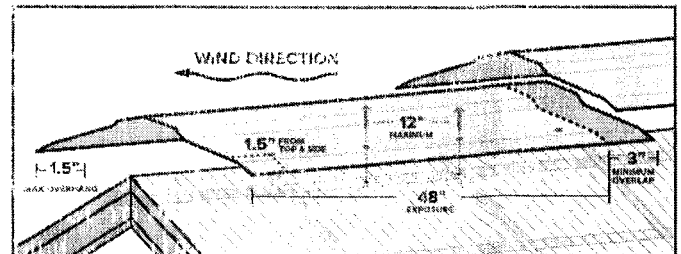


- Remove 2" of film from all edges to apply tape and connect profiles
- Pre-drill all fasteners holes 1/16" larger than fastener - use 9/32" bit if using TUFTEX® 2" Fasteners
- Apply tape to ends of panels and slide on U-Channel profiles - **TOP SIDE FACING OUTWARD**
- **DO NOT** over tighten fasteners
- Fasten no more than 2" from edge of panel. No more than 24" between fasteners
- Maximum overhang is 3"
- System does not need sealant, but 100% silicone sealant may be applied to inside of H or U channel profiles
- 100% silicone sealant may be used to seal flashing along side walls
- Polycarbonate and silicone contract and expand at different rates and may cause complications when sealing

Installing Ridge



- Align TUFTEX Universal Ridge piece with ridge of structure. Pre-Drill Fastener holes in both the Ridge piece and the Multi-Wall panel
- Ensure fastening aligns with support structure. **DO NOT FASTEN RIDGE TO PANELS ONLY**
- Pre-drill all fasteners holes 1/16" larger than fastener - use 9/32" bit if using TUFTEX® 2" Fasteners
- Position fasteners no more than 1.5" from edge of ridge panel
- **DO NOT** over tighten fasteners
- Fasten no more than 2" from edge of panel
- No more than 12" between fasteners
- Maximum overhang is 1.5"
- Minimum overlap of TUFTEX Universal Ridge pieces is 3"



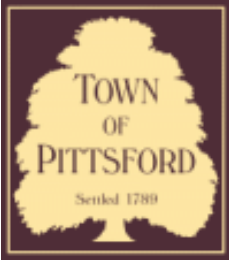
Care & Maintenance

The use of harsh tools or certain chemicals could cause abrasions to the surface of polycarbonate sheets

- Apply warm water to the surface of the polycarbonate
- Wipe with any soft cloth, and warm soapy water
- Rinse off and use paper towels or any soft cloth to dry the sheet off.

4900 Ondura Dr
Fredericksburg, VA 22407
540.398.7000
8a - 5p EST, M-F
onduline-usa.com

Onduline
LIGHTWEIGHT ROOFING SYSTEMS
Lightweight Roofing Systems



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000028

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 177 Overbrook Road ROCHESTER, NY 14618

Tax ID Number: 138.18-1-82

Zoning District: RN Residential Neighborhood

Owner: Mackenzie, James Robert

Applicant: Mackenzie, James Robert

Application Type:

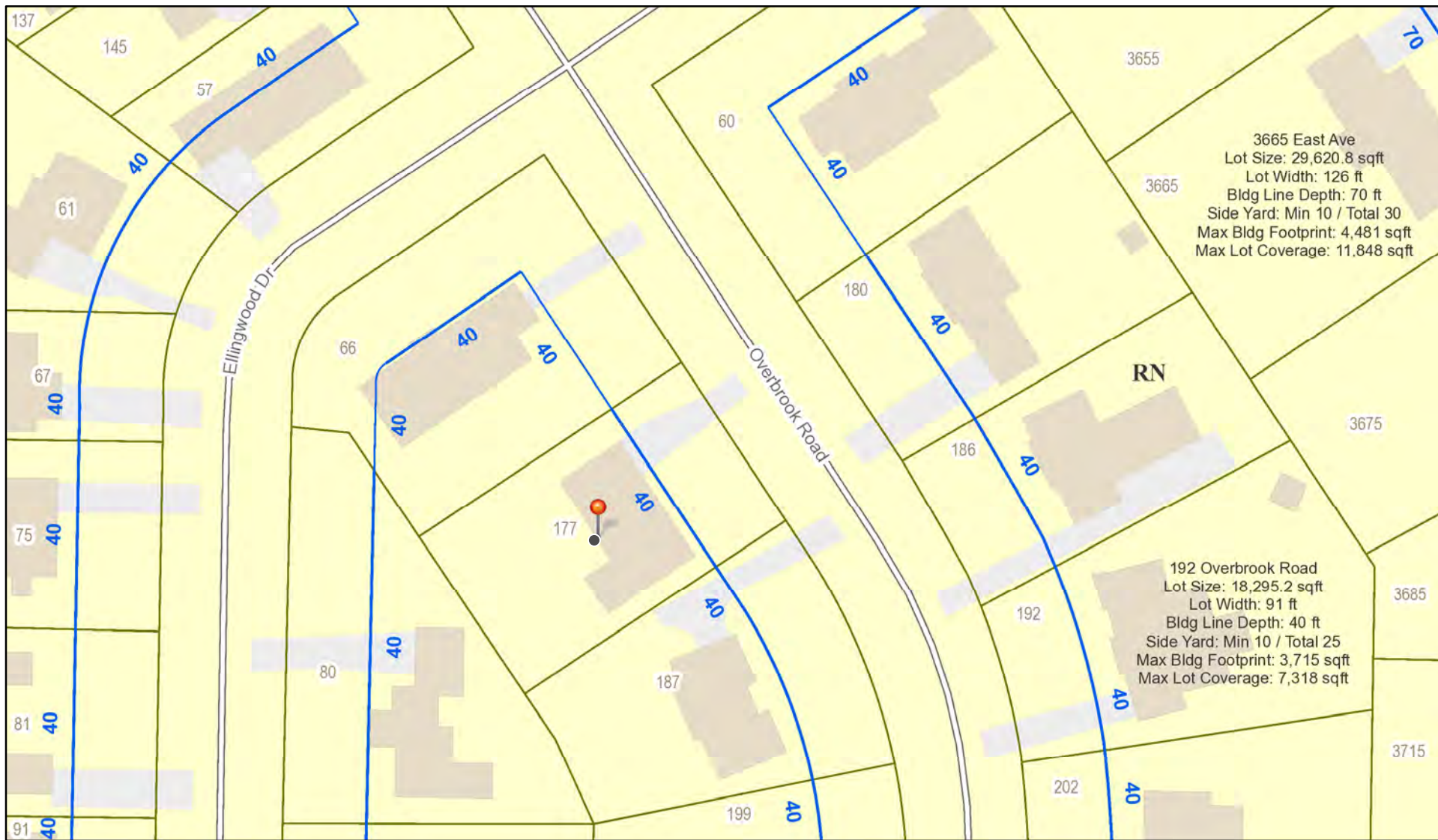
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for approximately 1,700 square feet of additions to the front and back of the home (about 1,000 of which is conditioned living space).

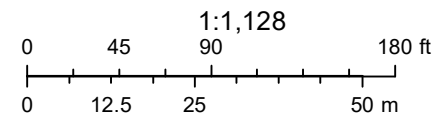
Meeting Date: March 14, 2024



RN Residential Neighborhood Zoning



Printed March 6, 2024



Town of Pittsford GIS

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Fri Apr 14 2023

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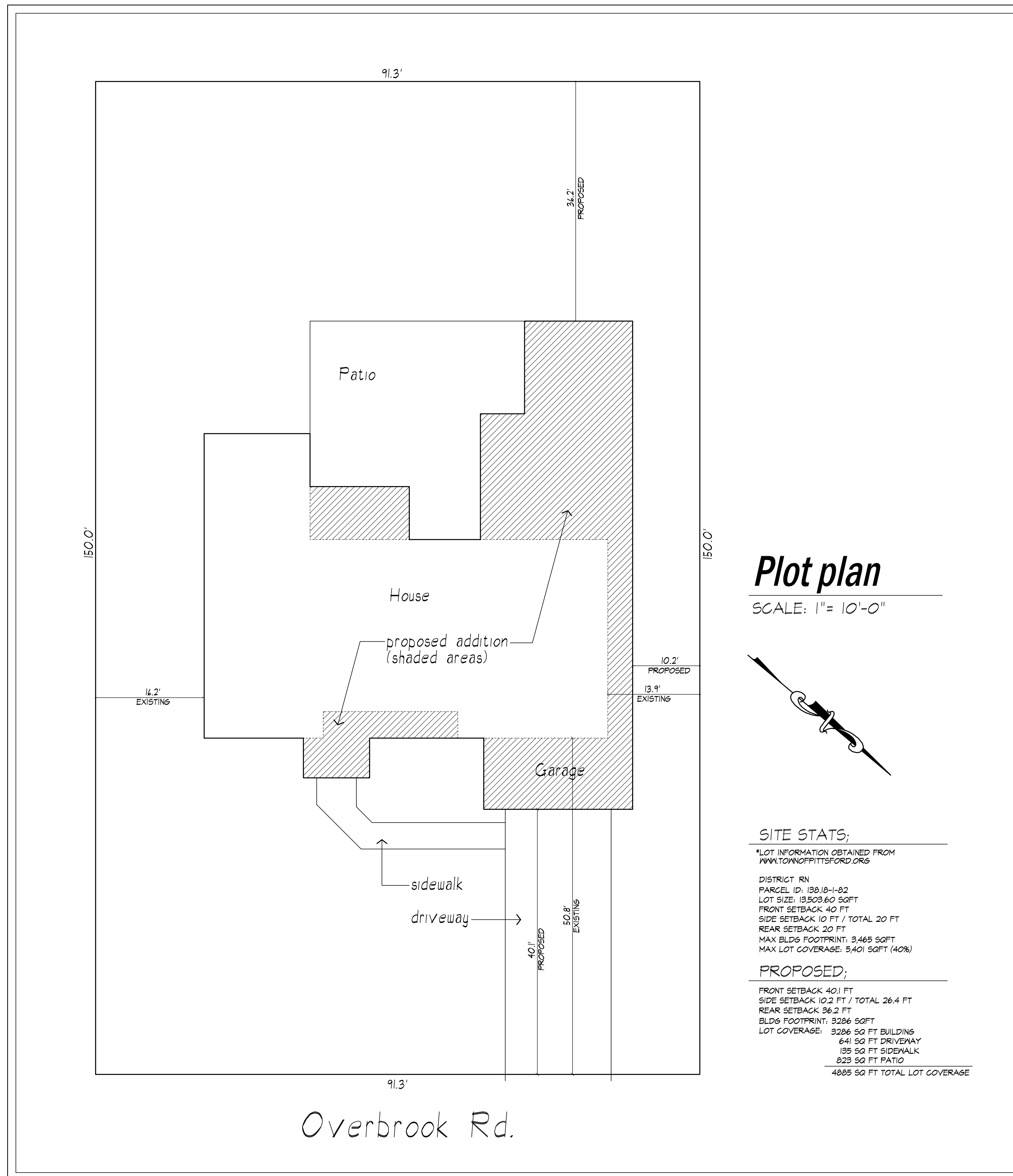


nearmap



GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
3500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-35. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- N/A
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY MOOD PRESERVATIVE-TREATED WITH OSWOGALTS OR NOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



ADDITION TO MACKENZIE RESIDENCE

177 OVERBROOK Rd.

PITTSFORD, NY 14618

DRAWING INDEX

1	TITLE PAGE
2	ELEVATIONS - existing
3	ELEVATIONS - proposed
4	BASEMENT AND FOUNDATION PLAN - existing/proposed
5	FLOOR PLAN - existing/proposed
6	ROOF PLAN - existing/proposed

ENERGY COMPLIANCE DETAILS & PATH
MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5


COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	R-21 WALLS BAND JOISTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION M507.3.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1492
- ROOF TIE DOWN REQUIREMENTS R302.1.1.1



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PROJECT:
ADDITION TO RESIDENCE
177 OVERBROOK RD
PITTSFORD, NY 14618

CLIENT:
M/M MACKENZIE

DRAWING:
TITLE PAGE

DRAWN:
PAUL MORABITO

DATE: FEBRUARY 2024


SCALE: 1/4" = 1'-0"

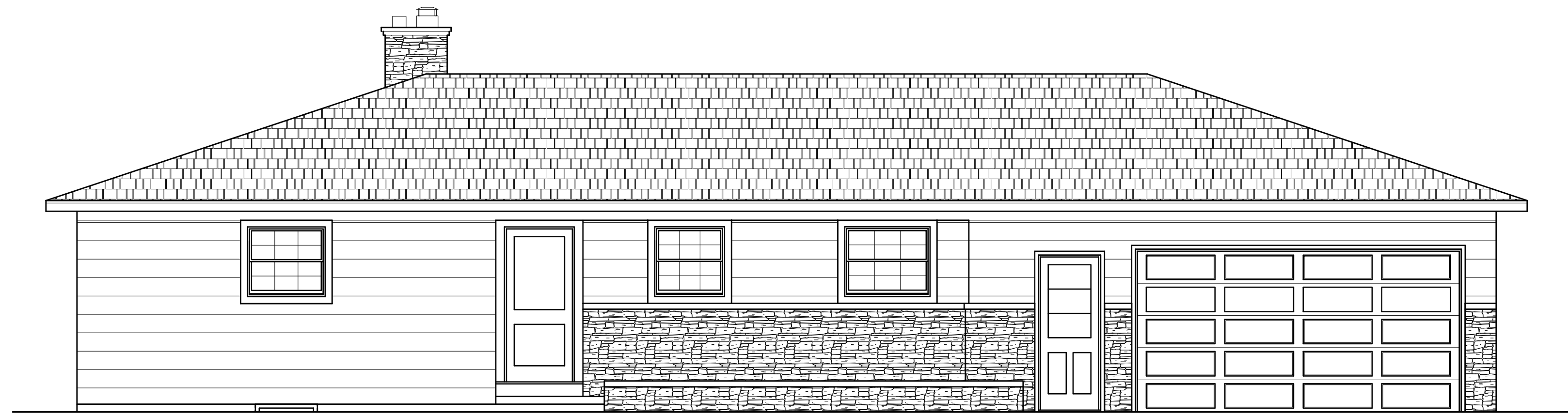
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SHEET:

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OF 6 SHEETS





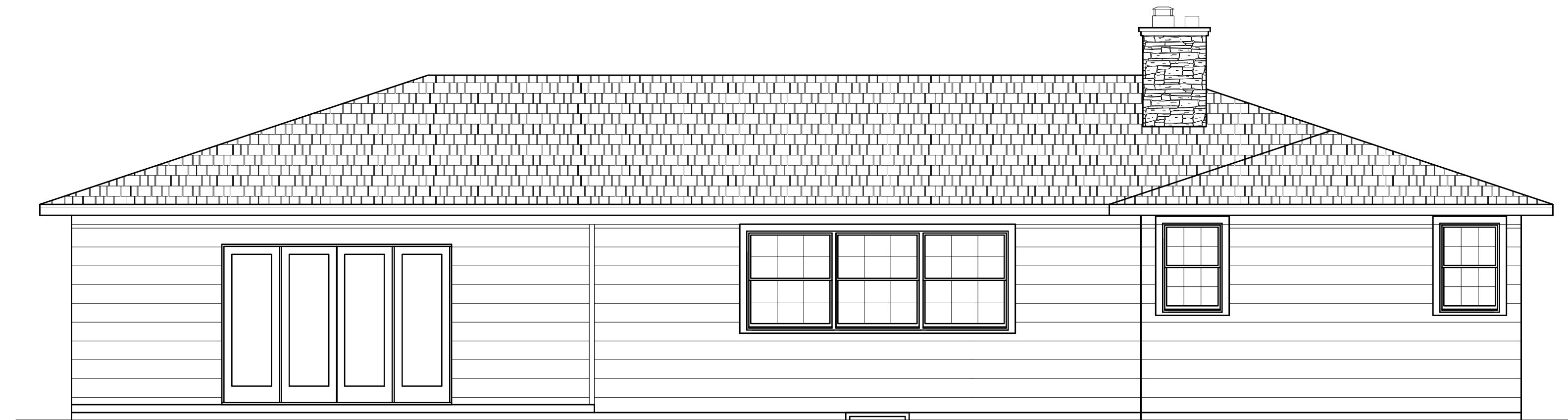
FRONT ELEVATION

EXISTING



LEFT SIDE ELEVATION

EXISTING



REAR ELEVATION

EXISTING



RIGHT SIDE ELEVATION

EXISTING



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ADDITION TO RESIDENCE
177 OVERBROOK RD
PITTSFORD, NY 14618

CLIENT:
M/M MACKENZIE

DRAWING:
ELEVATIONS- EXISTING

DRAWN:
PAUL MORABITO

DATE: FEBRUARY 2024

SCALE: 1/4" = 1'-0"

JOB NO.: 23PM1214

SHEET:

2

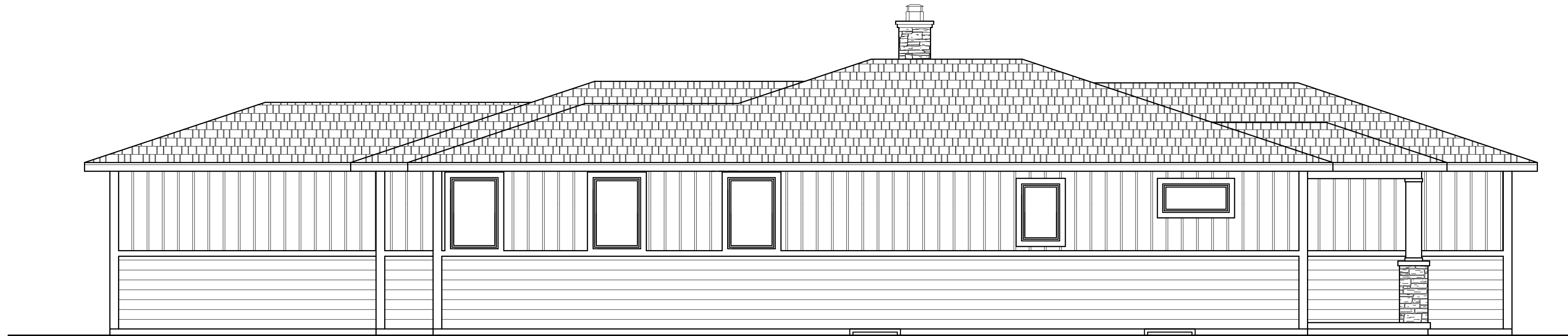
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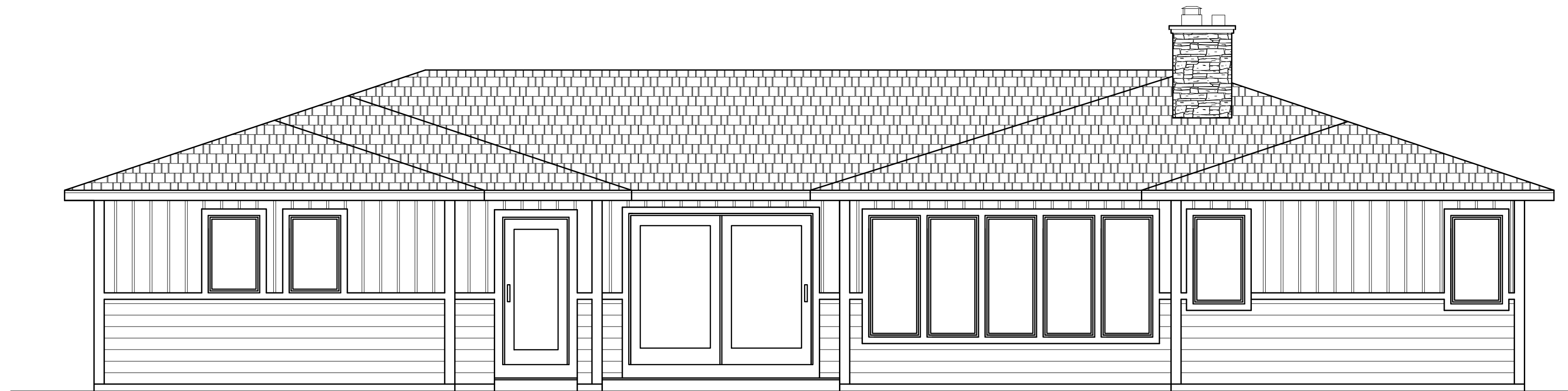
FRONT ELEVATION

PROPOSED



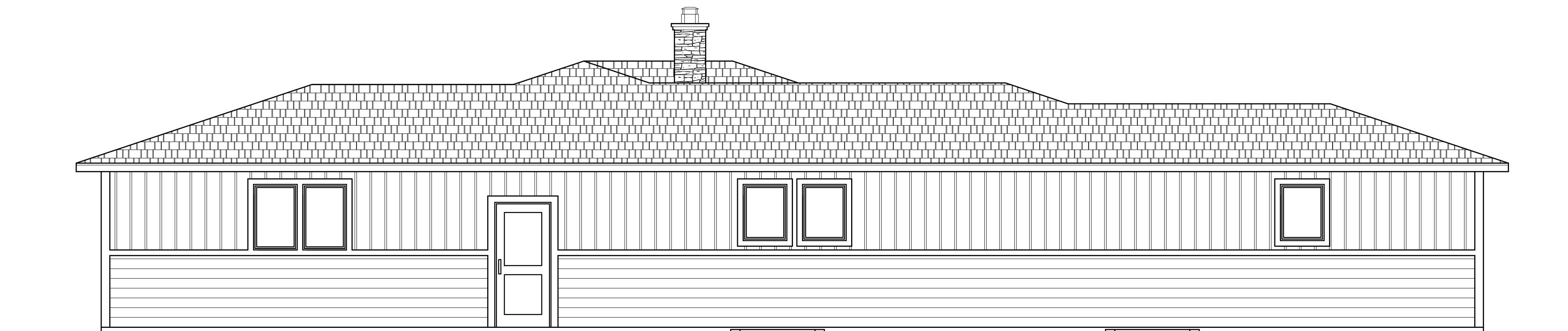
LEFT SIDE ELEVATION

PROPOSED



REAR ELEVATION

PROPOSED



RIGHT SIDE ELEVATION

PROPOSED



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CLIENT:

M/M MACKENZIE

DRAWING:

ELEVATIONS - PROPOSED

DRAWN:

PAUL MORABITO

DATE: FEBRUARY 2024

SCALE: 1/4" = 1'-0"

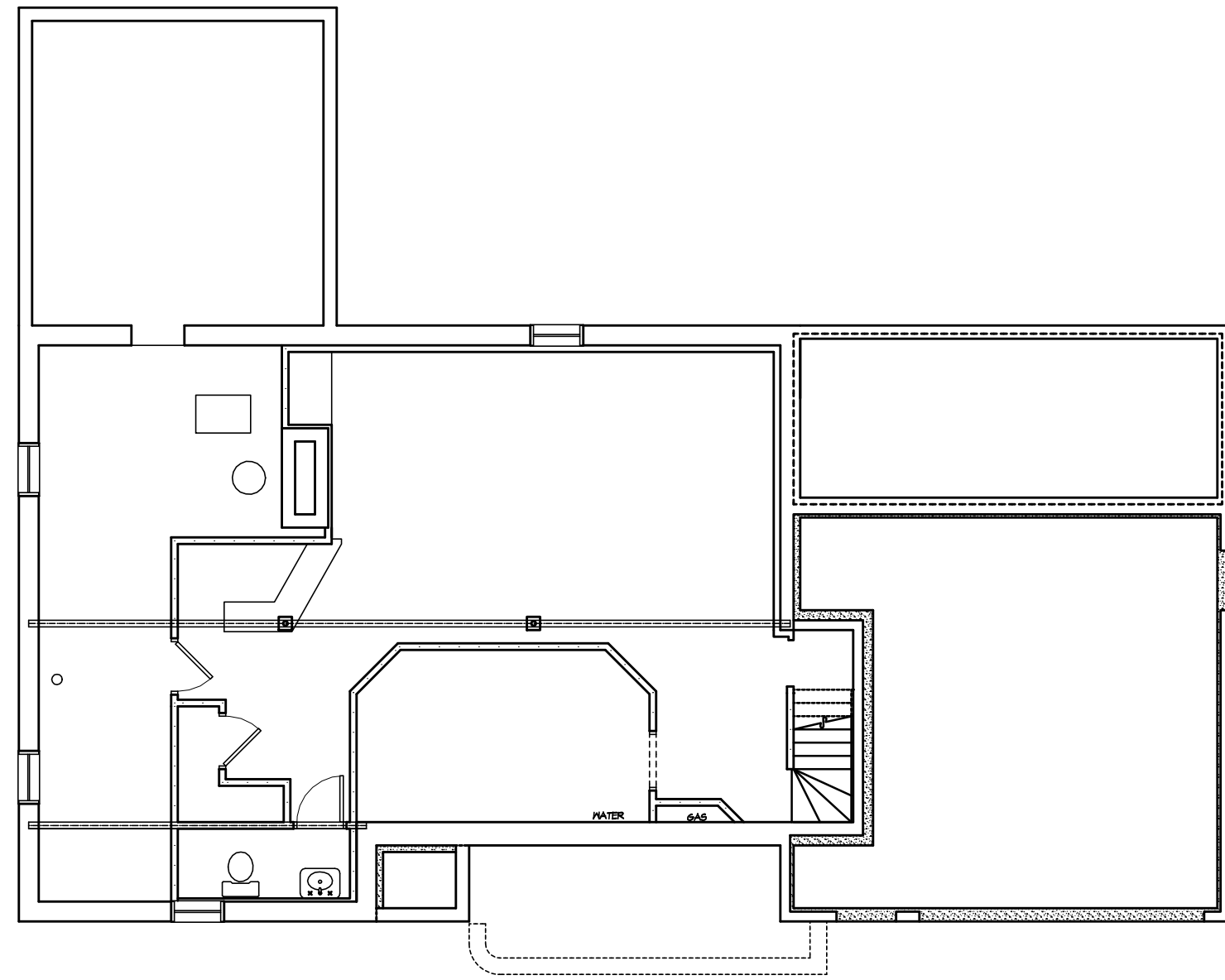
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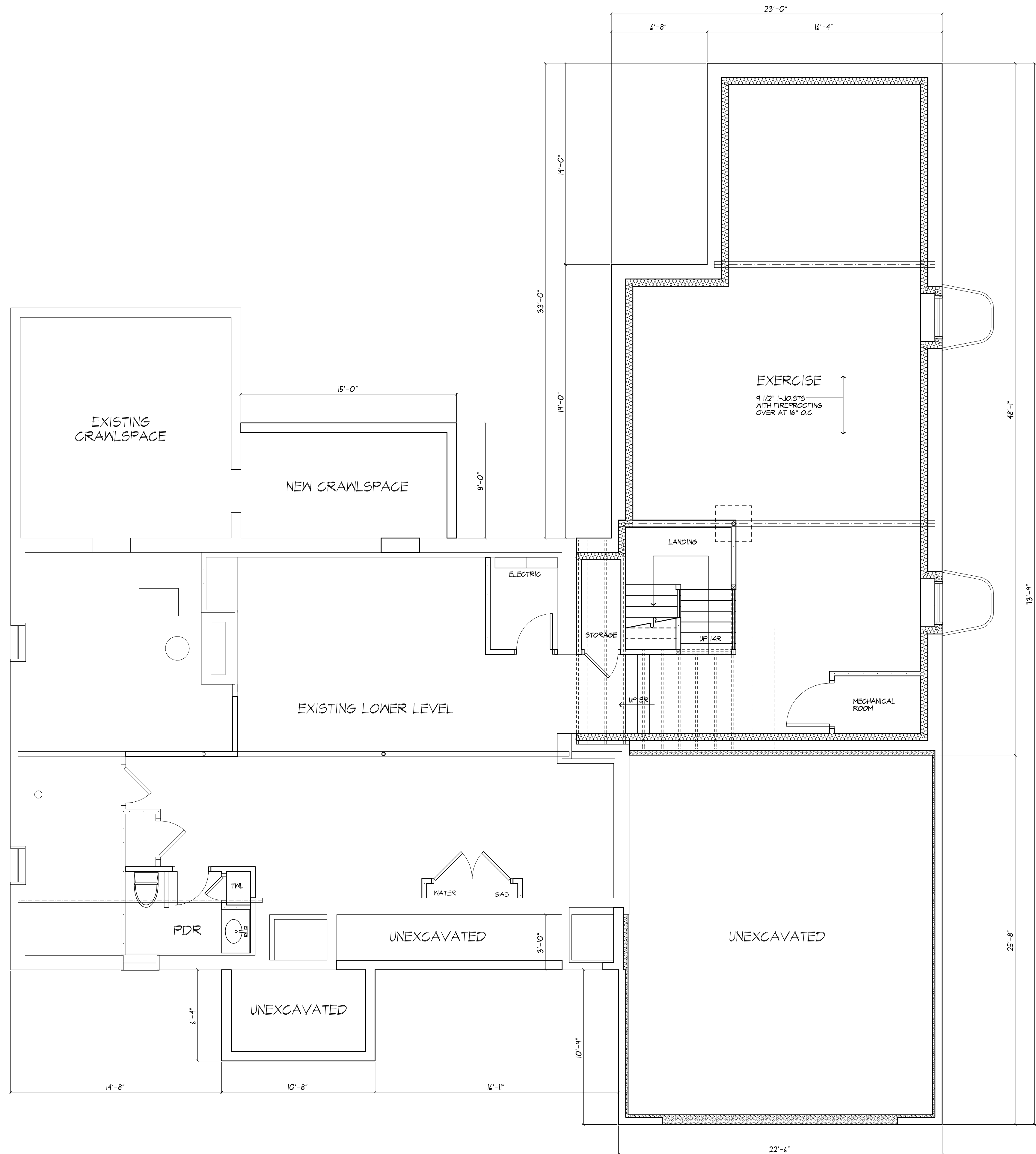
3

OF 6 SHEETS





BASEMENT/FOUNDATION PLAN - EXISTING



LOWER LEVEL/FOUNDATION PLAN

PROPOSED
AREA: 850 SQ FT NEW FINISHED AREA



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CLIENT:

M/M MACKENZIE

DRAWING:

BASEMENT / FOUNDATION PLAN

DRAWN:

PAUL MORABITO

DATE:

FEBRUARY 2024

SCALE:

1/4" = 1'-0"

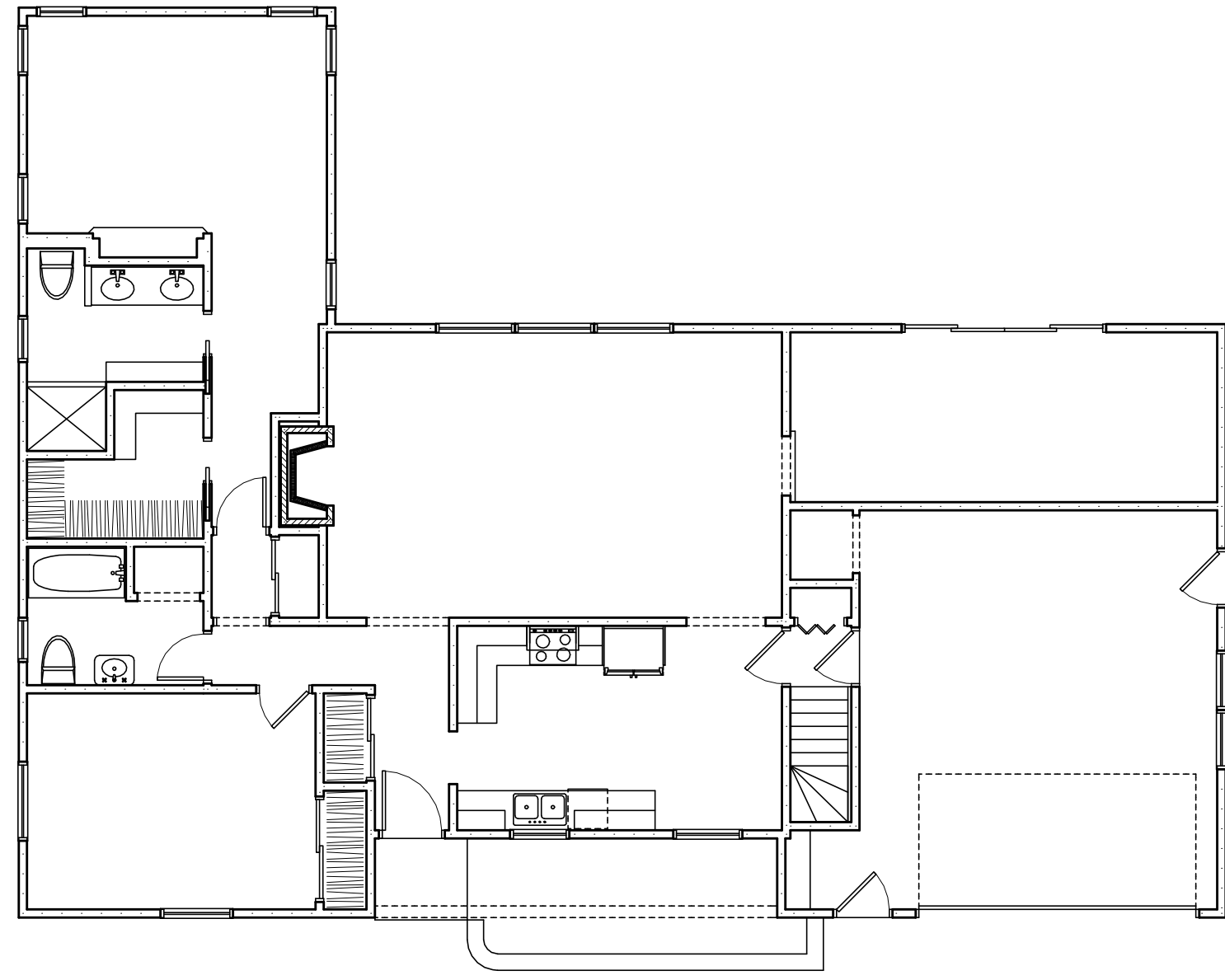
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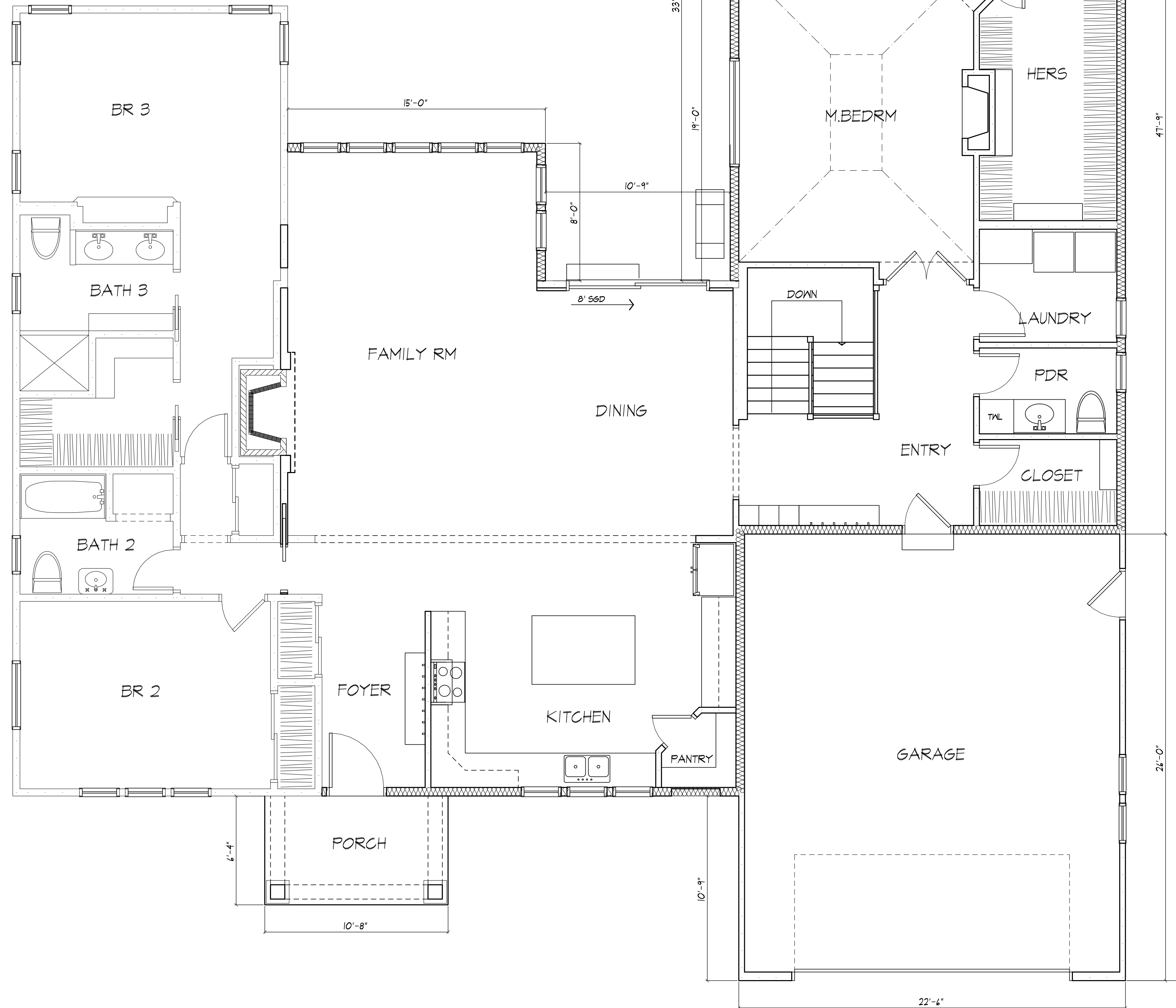
SHEET:

4
OF 6 SHEETS





FLOOR PLAN - EXISTING
AREA: 1591 SQ FT



FLOOR PLAN - PROPOSED

AREA: 1591 SQ FT EXISTING CONDITIONED SPACE
2646 SQ FT TOTAL PROPOSED CONDITIONED SPACE



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CLIENT:

M.M. MACKENZIE

DRAWING:

FLOOR PLAN

DRAWN:

PAUL MORABITO

DATE: FEBRUARY 2024

SCALE: 1/4" = 1'-0"

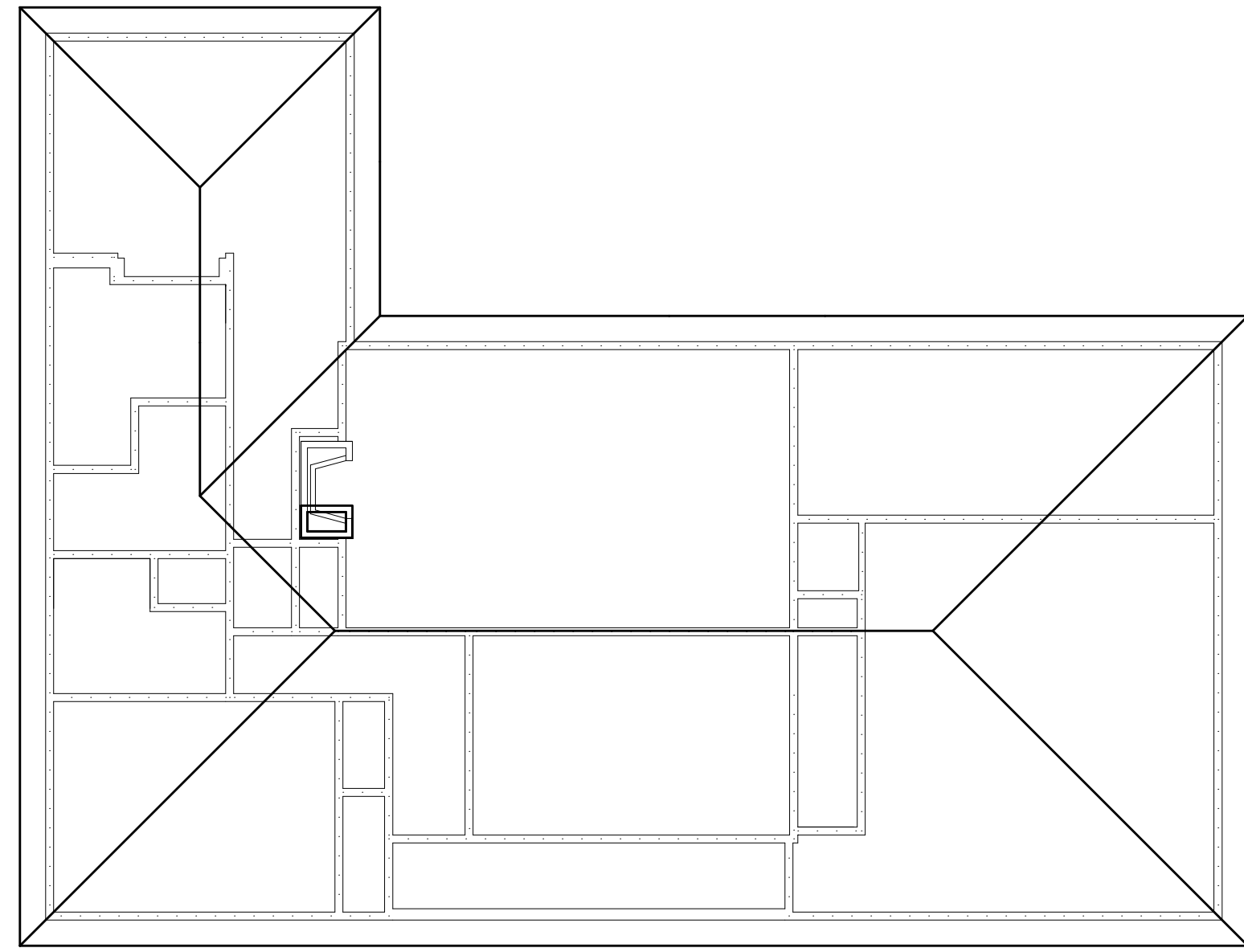
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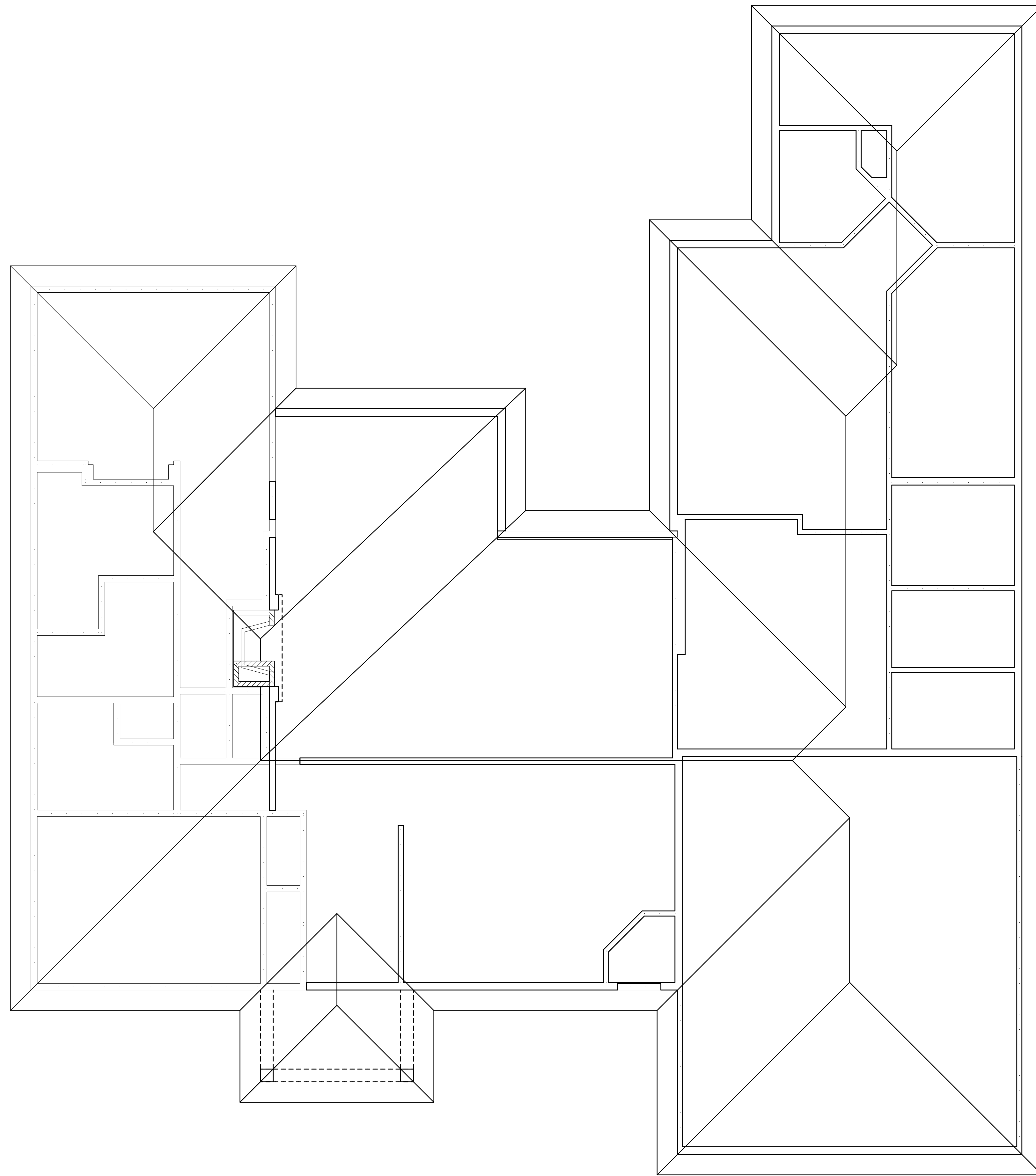
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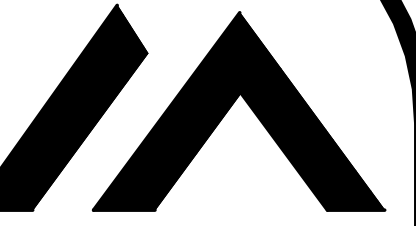




ROOF PLAN - EXISTING



ROOF PLAN
PROPOSED



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CLIENT:

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DRAWING:

ROOF PLAN

DRAWN:

PAUL MORABITO

DATE: FEBRUARY 2024

SCALE: 1/4" = 1'-0"

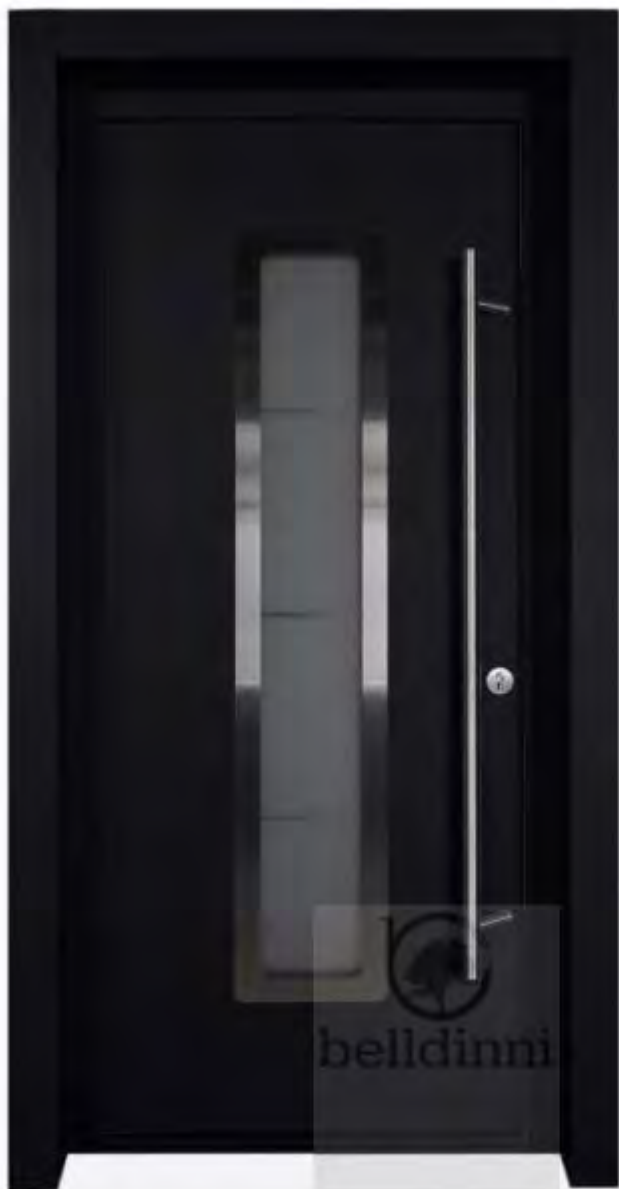
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SHEET:

6

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by Sean Lavin for Visual Comfort Modern

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Select Finish (3) : **Charcoal**



Select Size (4) : **26 Inch**

26" 26 Inch



Select Protection (3) : **None**



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Collections > Planks



Owens Corning Oakridge Onyx Black Laminated Architectural Roof Shingles (32.8-sq ft per Bundle)

Item #10086 | Model #HL01

Shop Owens Corning ★★★★★ 2579 ♡



\$42.48



Bulk Savings
\$38.23/ Each (1



\$40.36 when yo
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- Oakridge roofing shingles provide long-lasting protection
- Available in a wide range of colors
- 3 Bundles per 98.4 sq ft

Manufacturer Color



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Tell the story of your home with beautiful colors, styles and textures you love- all curated by Joanna Gaines. This collection was inspired by earthy and neutral tones and created to help simplify the process of re-siding your home, so you can design with confidence. All products come with ColorPlus® Technology finishes for added beauty with lower maintenance.



SIDING COLORS

Midnight Soot

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Colors shown may vary due to screen resolution. Please see actual product sample for true color.

THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



SIDING COLORS

Arctic White



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PELLA® IMPERVIA®

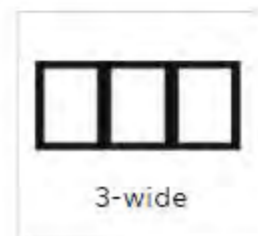
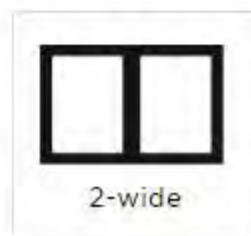
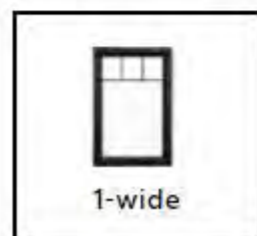
Fiberglass Casement Window

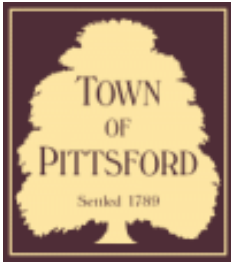
3.77 ★★★★★ [522 Reviews](#)

Pella Impervia fiberglass casement windows are hinged on the side and are made from our proprietary fiberglass, the strongest material for windows.³² Sleek profiles and clean lines deliver a timeless style. The revolutionary Easy-Slide Operator hardware solution allows you to simply slide to open your window without the effort of cranking.

- A variety of color options, including Black.
- Patented lock system engages multiple locks, with one easy-to-use lock-lever for lasting security.
- Low-maintenance and will never need to be repainted or refinished.
- Product #400003

Configuration: 1-wide





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000030

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 44 & 46 Skylight Trail PITTSFORD, NY 14534

Tax ID Number: 192.06-2-2

Zoning District: RRAA Rural Residential

Owner: S & J Morrell, Inc

Applicant: S & J Morrell

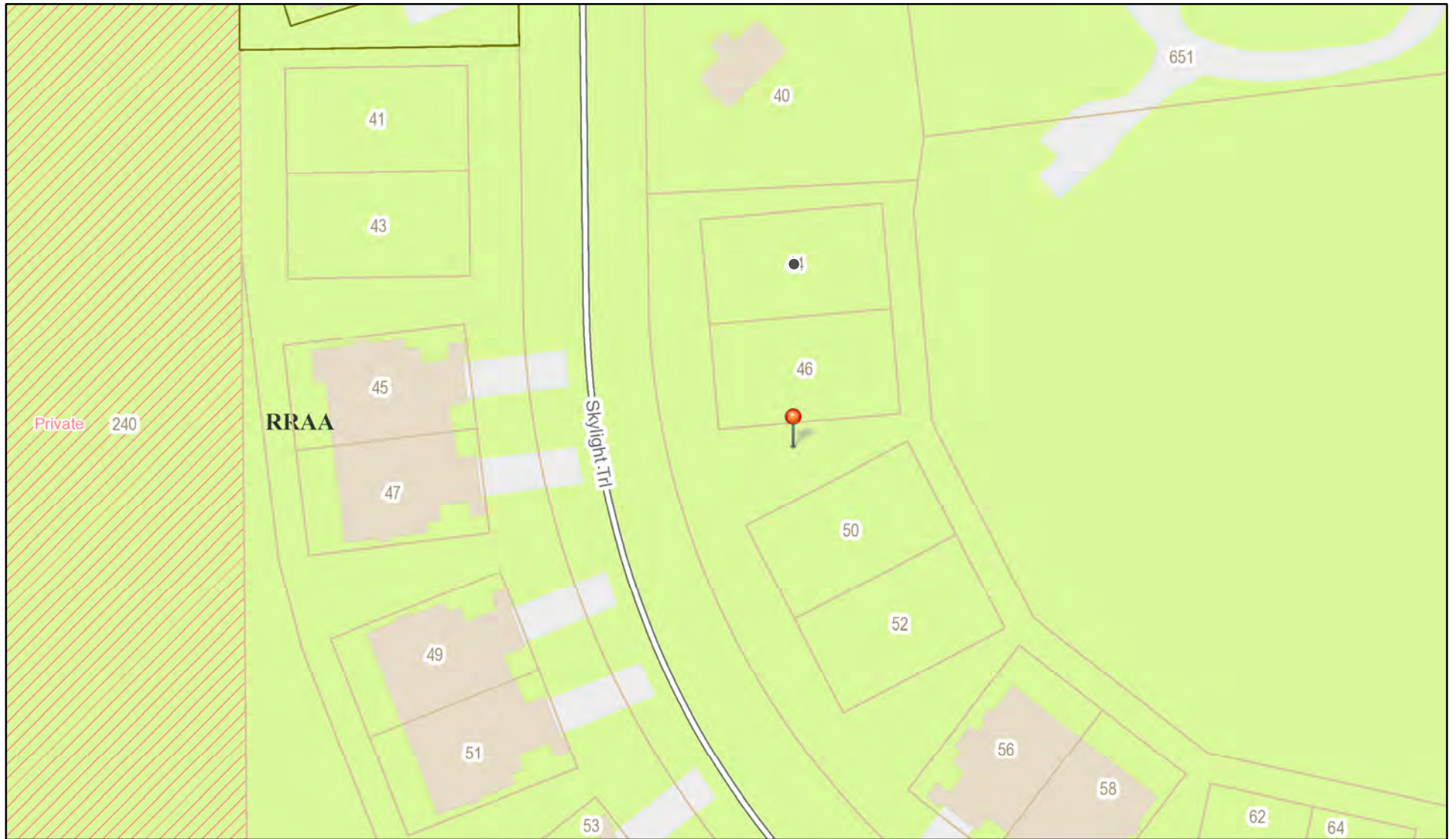
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

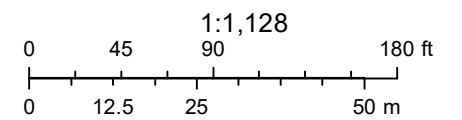
Project Description: Applicant is requesting design review for a two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision. The units are 2,010 and 2,023 square feet, respectively.

Meeting Date: March 14, 2024

RN Residential Neighborhood Zoning



Printed March 6, 2024



Town of Pittsford GIS

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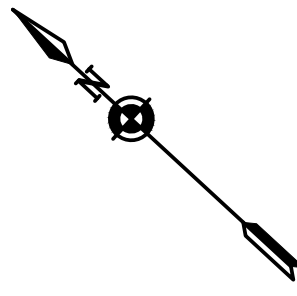
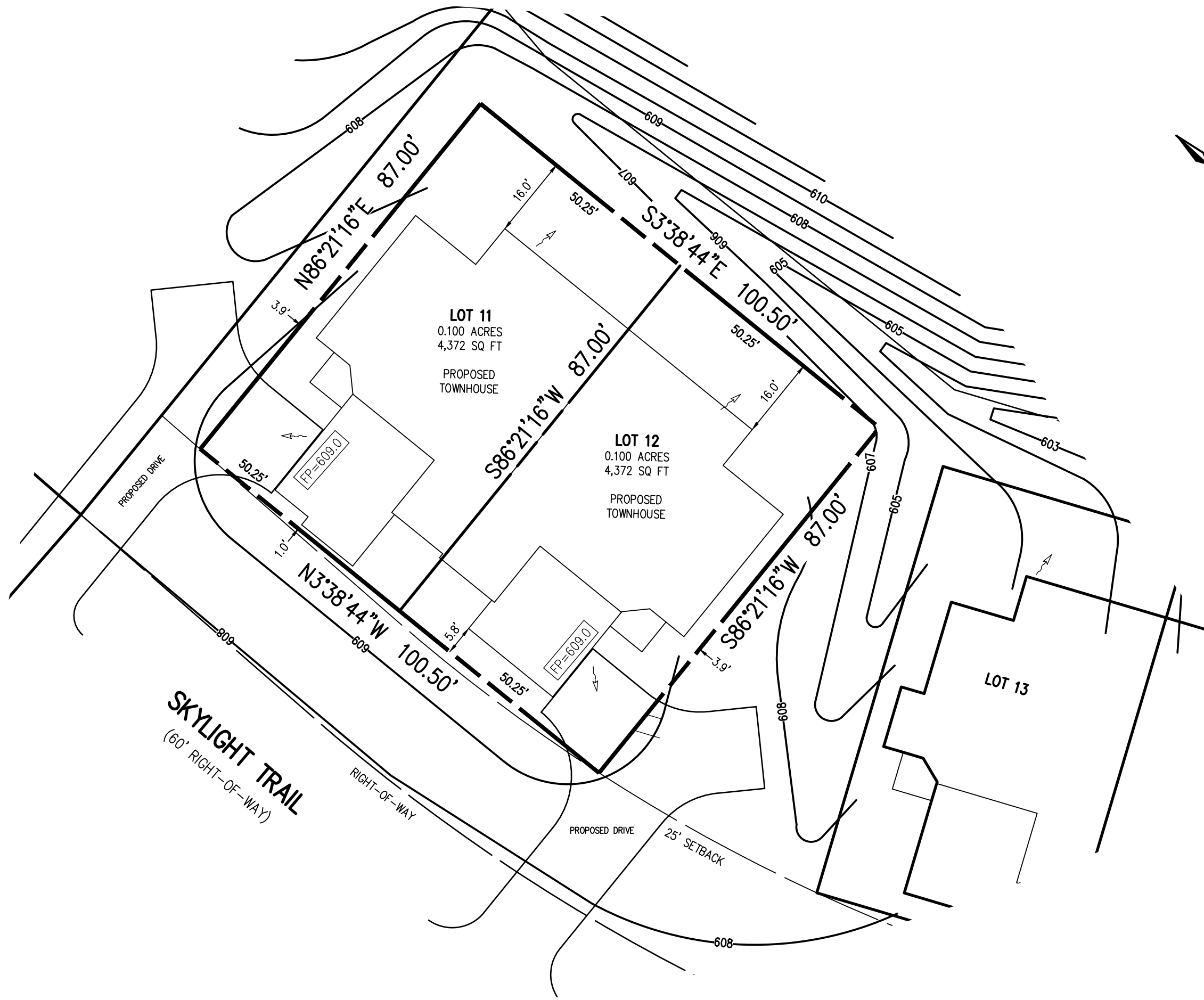
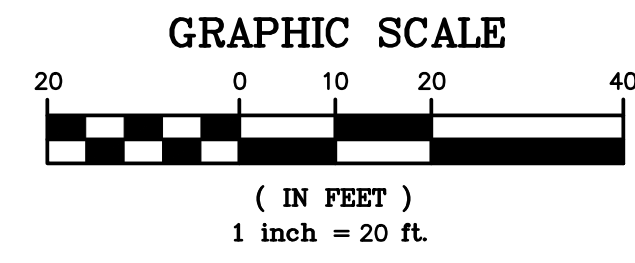
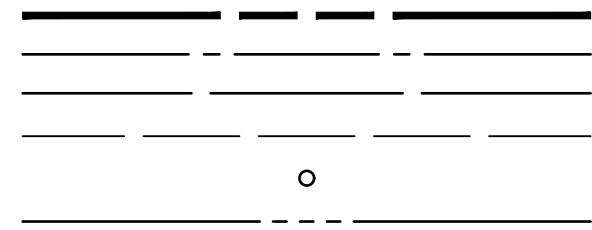
"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHANGE." BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHANGE," OR SIMILAR INSTRUMENT.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

LEGEND



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

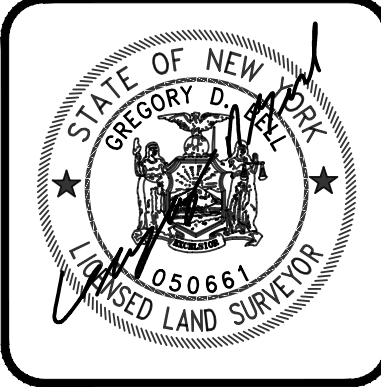
1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
FRONT 0' (LOT) 25' (R.O.W.)
SIDE 0'
REAR 0'
3. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, JOB DRAWING FINISH GRADING PLAN", PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER JD-4.0-1 AND LAST REVISED SEPTEMBER 27, 2021.

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 6

P:\2688\Instrument Surveys\2688 Lot 11-12 Plot Plan.dwg

PROJECT	ALPINE RIDGE SUBDIVISION SECTION 2
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD VICTOR ROAD VICTOR, NY 14564
DRAWING TITLE	LOTS 11 & 12 PLOT PLAN
PROJECT SURVEYOR	GD BELL
DRAWN BY	SE STRUNZ
SCALE	1"=20'
DATE ISSUED	MARCH 1, 2024
PROJECT NO.	2688
DRAWING NO.	57

PROJECT	ALPINE RIDGE SUBDIVISION SECTION 2
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD VICTOR ROAD VICTOR, NY 14564
DRAWING TITLE	LOTS 11 & 12 PLOT PLAN
PROJECT SURVEYOR	GD BELL
DRAWN BY	SE STRUNZ
SCALE	1"=20'
DATE ISSUED	MARCH 1, 2024
PROJECT NO.	2688
DRAWING NO.	57



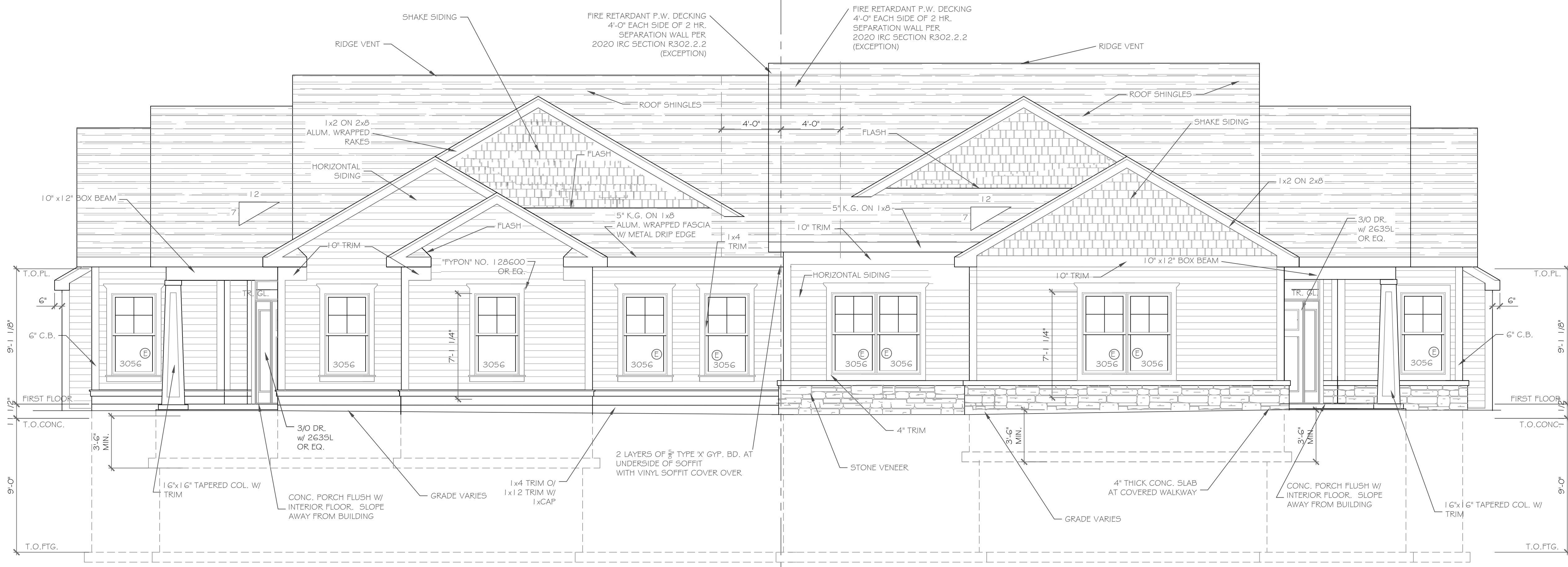
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFTBRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

PHONE 585-377-7360
FAX 585-377-7309

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

Drawing Attention
The following is an excerpt from the New York State Education Law Article 140, Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any drawing, specification, report or other document prepared by a professional engineer or land surveyor in the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall notify the firm his seal and the notation altered by followed by his signature and the date of such alteration, and a specific description of the alteration."



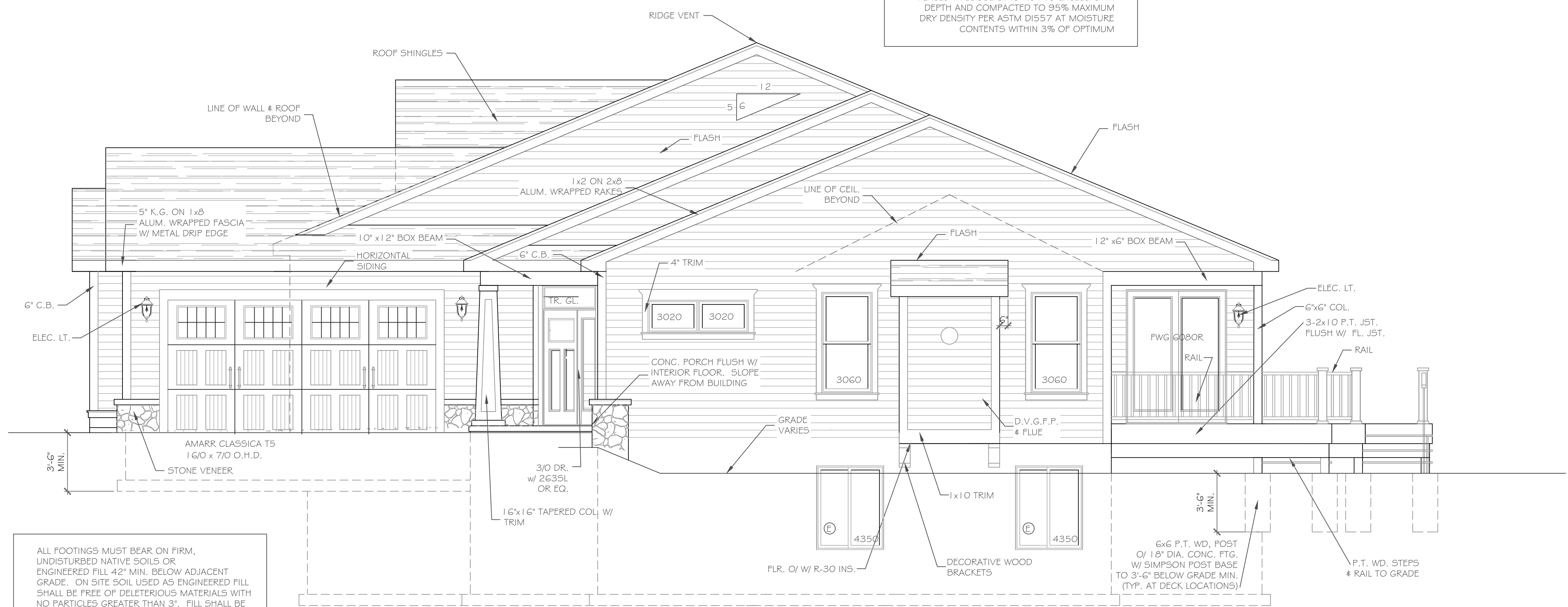
FRONT ELEVATION - LOT 11 2010 S.F.
1/4" = 1'-0"

FRONT ELEVATION - LOT 12 2023 S.F.
1/4" = 1'-0"

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
Ⓢ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
Ⓢ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

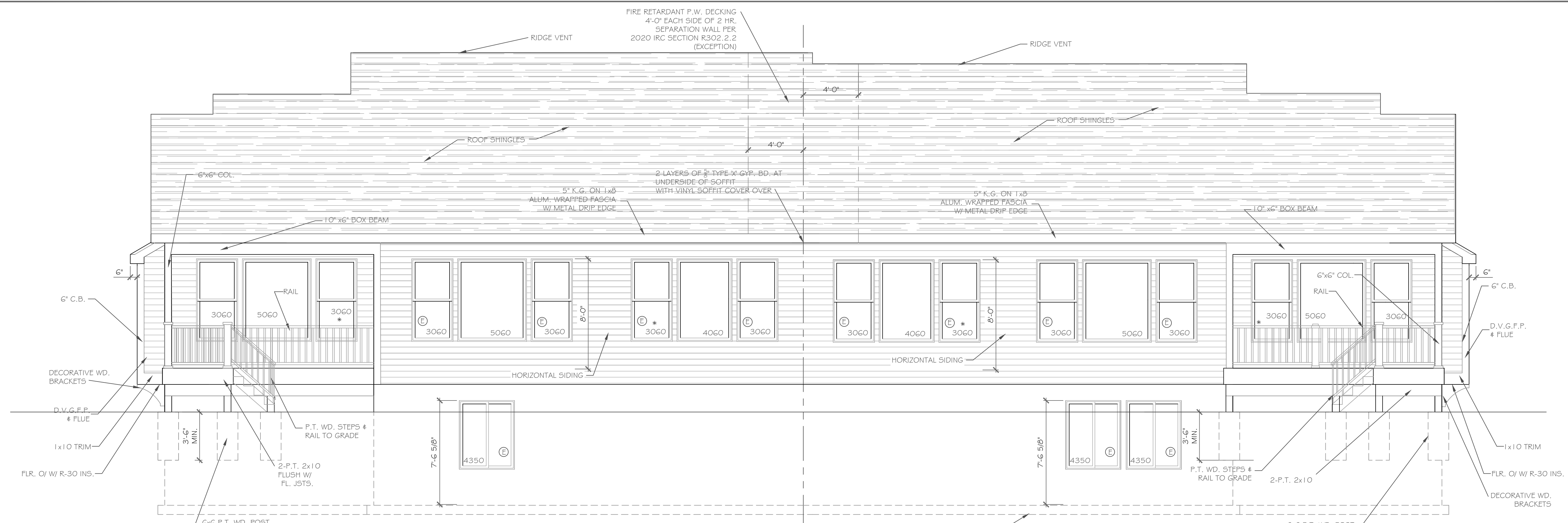
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NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations Units 11 & 12	PHASE: Construction Documents
	DATE: February 2024

PROJECT: Alpine Ridge - Units 11 & 12 Pittsford, N.Y.	CLIENT: Morrell Builders
JOB NO.: A24-00G	DATE: February 2024

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

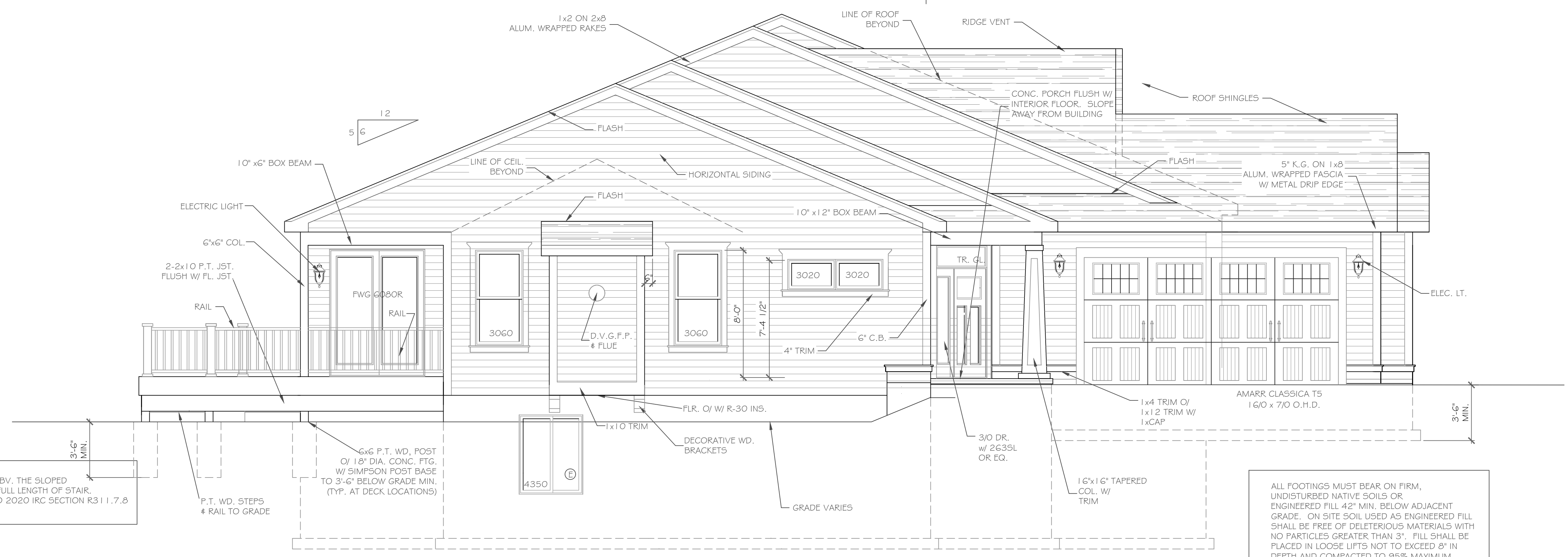


HANDRAIL NOTES:
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 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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REAR ELEVATION

1/4" = 1'-0"



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
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LEFT SIDE ELEVATION

1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Elevations
Units 11 & 12

PROJECT:
 Alpine Ridge - Units 11 & 12
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

PHASE:
 Construction Documents

DATE:
 February 2024

JOB NO.:
 A24-009

PROJECT:
 Alpine Ridge - Units 11 & 12
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

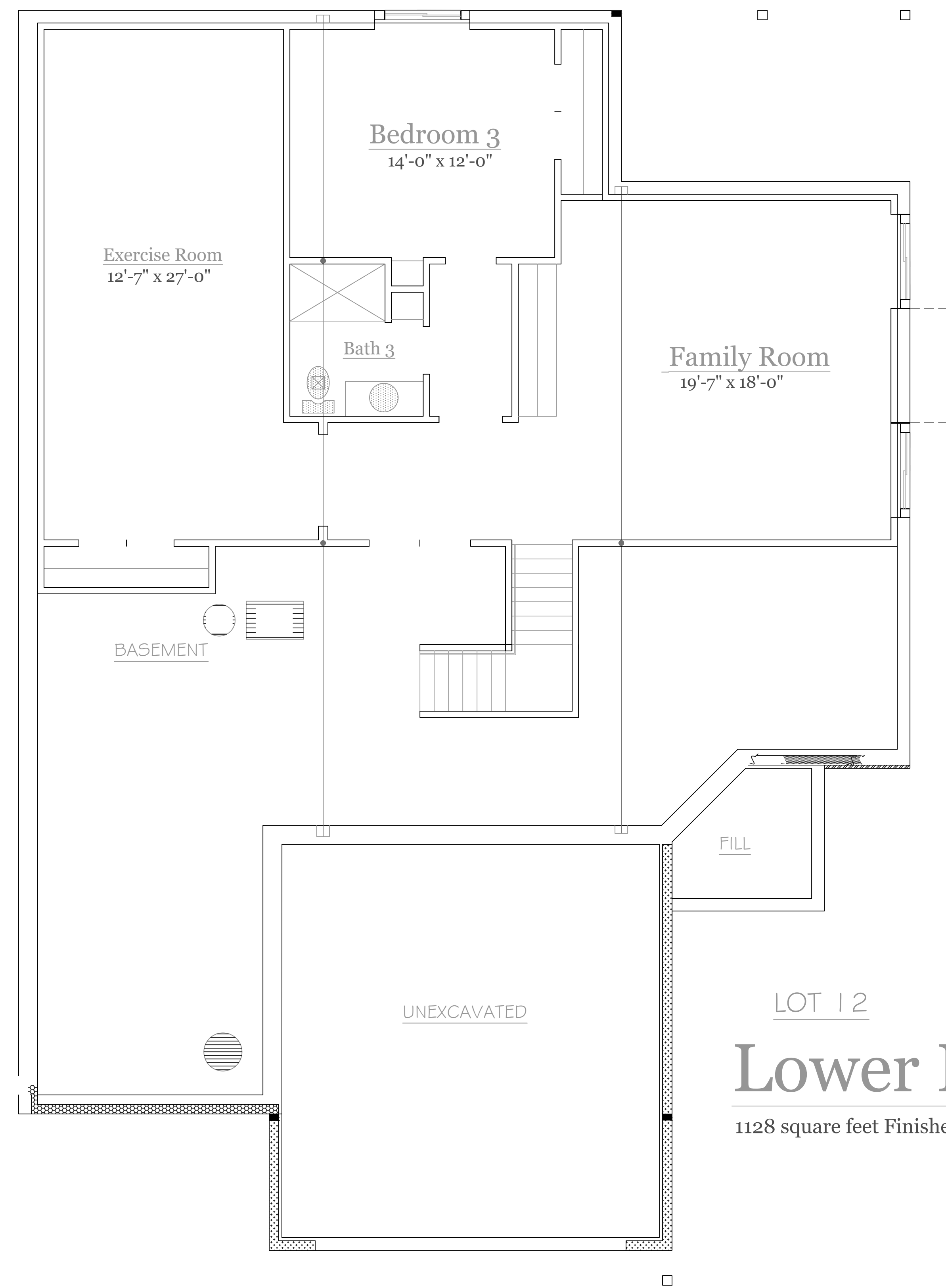
PHASE:
 Construction Documents

DATE:
 February 2024

JOB NO.:
 A24-009

CKH
architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontnet.net

DRAWING NO.:
A-2



Lower Level Plan

1128 square feet Finished Area

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REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE:
 Basement & Foundation Plan
 Units 11 & 12

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 11 & 12
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

JOB NO.:
 A24-009

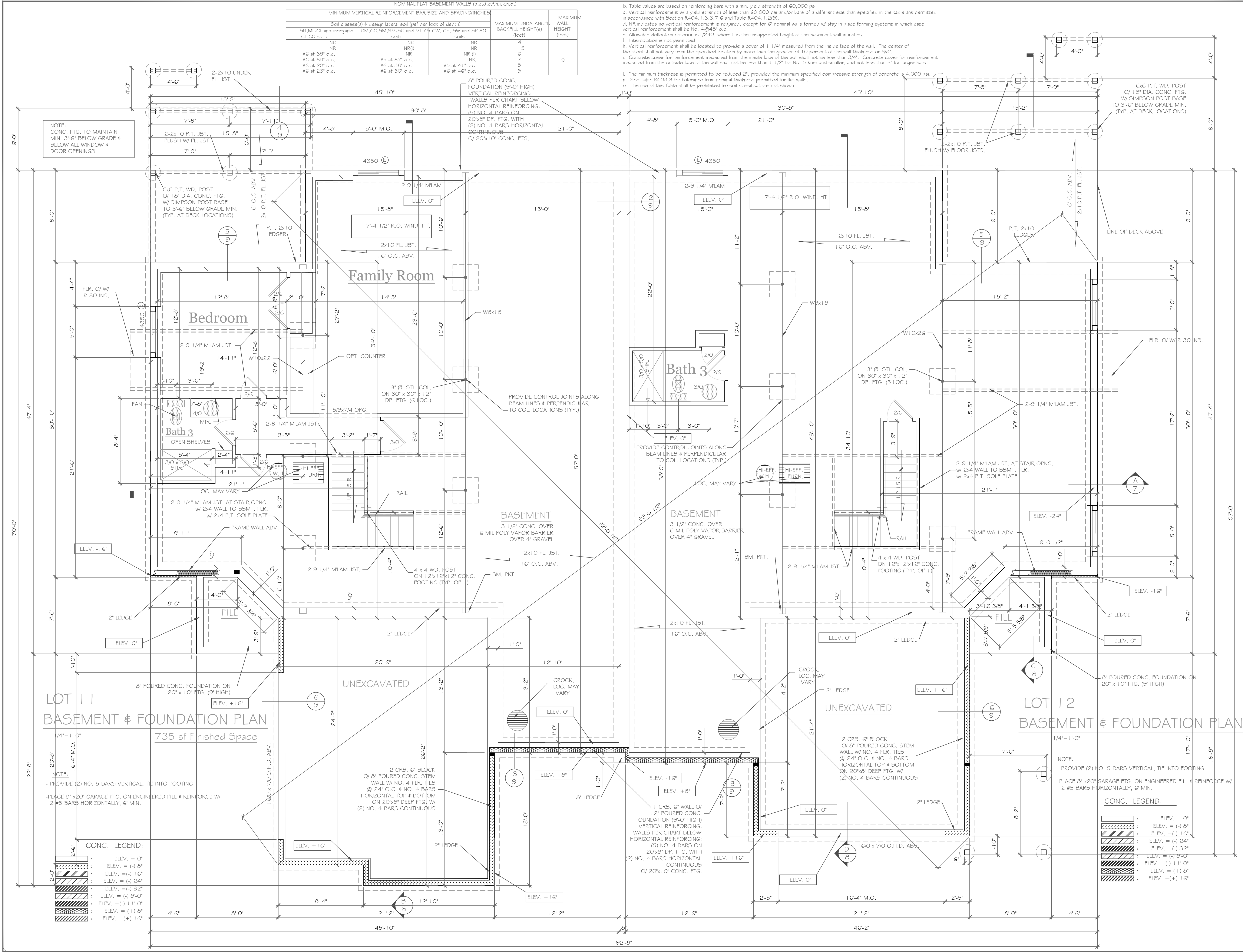
DATE:
 February 2024

CKH
 architecture
 1 501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO.:
 A-3

NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,i,k,n,o)			
Soil classes(a) & design lateral soil (psf per foot of depth)		MAXIMUM UNBALANCE BACKFILL HEIGHT(e) (feet)	MAXIMUM WALL HEIGHT (feet)
SH,ML,CL and inorganic CL,GO soils	GM,GC,SM,SM-SC and ML,4# GW, GP, SW and SP,30 soils		
NR	NR	4	9
NR	NR(I)	5	
#6 at 39" o.c.	NR	6	
#6 at 36" o.c.	#5 at 37" o.c.	7	
#6 at 29" o.c.	#6 at 38" o.c.	8	
#6 at 23" o.c.	#6 at 30" o.c.	9	

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1, 3.3.7.6 and Table R404.1, 2(9).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be @ 48" o.c.
e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 1.0 percent of the wall thickness or 3/8".
h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
i. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
j. See Table R609.3 for tolerance from nominal thickness permitted for flat walls.
k. The use of this Table shall be prohibited for soil classifications not shown.



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DRAWING TITLE:
Basement & Foundation Plan
Units 11 & 12

PROJECT:
Alpine Ridge - Units 11 & 12
Pittsford, N.Y.

CLIENT:
Morrell Builders

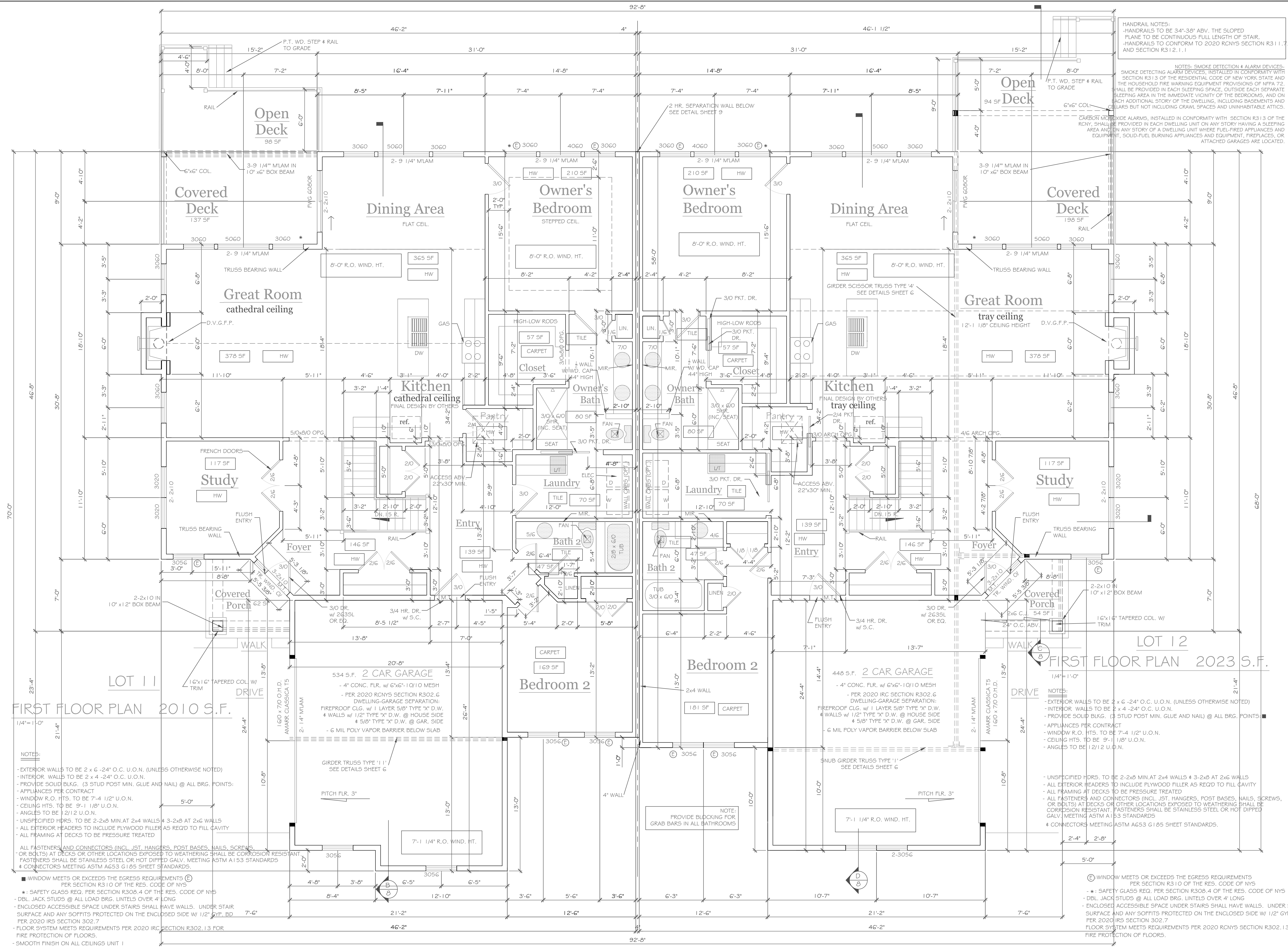
DATE:
February 2024

PHASE:
Construction Documents

JOB NO.:
A24-009

CONC. LEGEND:

[Pattern]	ELEV. = 0"
[Pattern]	ELEV. = (-) 8"
[Pattern]	ELEV. = (-) 16"
[Pattern]	ELEV. = (-) 24"
[Pattern]	ELEV. = (-) 32"
[Pattern]	ELEV. = (-) 8'-0"
[Pattern]	ELEV. = (-) 11'-0"
[Pattern]	ELEV. = (+) 8"
[Pattern]	ELEV. = (+) 16"



HANDRAIL NOTES:
 - HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 - HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES - SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND COLLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

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REVISIONS-	NO.	DATE	DESCRIPTION
	1	1/1/23	STUDY, DECK & FIREPLACE

DRAWING TITLE:
 First Floor Plans
 Units 11 & 12

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 11 & 12
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

DATE:
 February 2024

JOB NO.:
 A24-009

CKH architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
 A-4

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
- PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 1/2" U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
- CONNECTORS MEETING ASTM A653 G 185 SHEET STANDARDS.

■ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

*: SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

- DBL. JACK STUDS @ ALL LOAD BRG. UNTELS OVER 4' LONG
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" TYP. BD PER 2020 IRS SECTION 302.7
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.
- SMOOTH FINISH ON ALL CEILING UNITS

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
- PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 1/2" U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
- CONNECTORS MEETING ASTM A653 G 185 SHEET STANDARDS.

⊕ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

- *: SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. UNTELS OVER 4' LONG
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 RCNYS SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

FIRST FLOOR PLAN 2010 S.F.

FIRST FLOOR PLAN 2023 S.F.

LOT 11

LOT 12

534 S.F. 2 CAR GARAGE

448 S.F. 2 CAR GARAGE

169 S.F. Bedroom 2

181 S.F. Bedroom 2

117 S.F. Study

117 S.F. Study

378 S.F. Great Room

378 S.F. Great Room

137 S.F. Covered Deck

137 S.F. Covered Deck

98 S.F. Open Deck

98 S.F. Open Deck

210 S.F. Owner's Bedroom

210 S.F. Owner's Bedroom

80 S.F. Kitchen

80 S.F. Kitchen

80 S.F. Owner's Bath

80 S.F. Owner's Bath

70 S.F. Laundry

70 S.F. Laundry

146 S.F. Foyer

146 S.F. Foyer

139 S.F. Entry

139 S.F. Entry

117 S.F. Study

117 S.F. Study

378 S.F. Great Room

378 S.F. Great Room

137 S.F. Covered Deck

137 S.F. Covered Deck

98 S.F. Open Deck

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210 S.F. Owner's Bedroom

80 S.F. Kitchen

80 S.F. Kitchen

80 S.F. Owner's Bath

80 S.F. Owner's Bath

70 S.F. Laundry

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378 S.F. Great Room

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137 S.F. Covered Deck

137 S.F. Covered Deck

98 S.F. Open Deck

98 S.F. Open Deck

210 S.F. Owner's Bedroom

210 S.F. Owner's Bedroom

80 S.F. Kitchen

80 S.F. Kitchen

80 S.F. Owner's Bath

80 S.F. Owner's Bath

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139 S.F. Entry

139 S.F. Entry

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117 S.F. Study

378 S.F. Great Room

378 S.F. Great Room

137 S.F. Covered Deck

137 S.F. Covered Deck

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98 S.F. Open Deck

210 S.F. Owner's Bedroom

210 S.F. Owner's Bedroom

80 S.F. Kitchen

80 S.F. Kitchen

80 S.F. Owner's Bath

80 S.F. Owner's Bath

70 S.F. Laundry

70 S.F. Laundry

146 S.F. Foyer

146 S.F. Foyer

139 S.F. Entry

139 S.F. Entry

117 S.F. Study

117 S.F. Study

378 S.F. Great Room

378 S.F. Great Room

137 S.F. Covered Deck

137 S.F. Covered Deck

98 S.F. Open Deck

98 S.F. Open Deck

210 S.F. Owner's Bedroom

210 S.F. Owner's Bedroom

80 S.F. Kitchen

80 S.F. Kitchen

80 S.F. Owner's Bath

80 S.F. Owner's Bath

70 S.F. Laundry

70 S.F. Laundry

146 S.F. Foyer

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70 S.F. Laundry

146 S.F. Foyer

146 S.F. Foyer

139 S.F. Entry

139 S.F. Entry

ALPINE RIDGE
A MORRELL COMMUNITY

No development agricultural zone



SUBJECT
Lot 11- 44 Skylight Trail
Lot 12- 46 Skylight Trail

Right of SUBJECT
Lot 13- 50 Skylight Trail
Lot 14- 52 Skylight Trail

● = Side Load Garage

X = Stone Siding

	Monterey Sand	Cape Cod Gray	Almond	Pebble	Harbor Blue
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)

SUBJECT Lot 11- 44 Skylight Trail and Lot 12- 46 Skylight Trail

Siding: Monterey Sand

Front Door: Driftwood

Garage Door: Dark Oak

LOT 12 ONLY- Stone: Earthtone



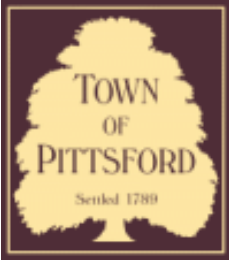
Driftwood



Dark Oak



Earthtone 8020



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000032

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 50 & 52 Skylight Trail PITTSFORD, NY 14534

Tax ID Number: 192.06-2-4

Zoning District: RRAA Rural Residential

Owner: S & J Morrell, Inc

Applicant: S & J Morrell

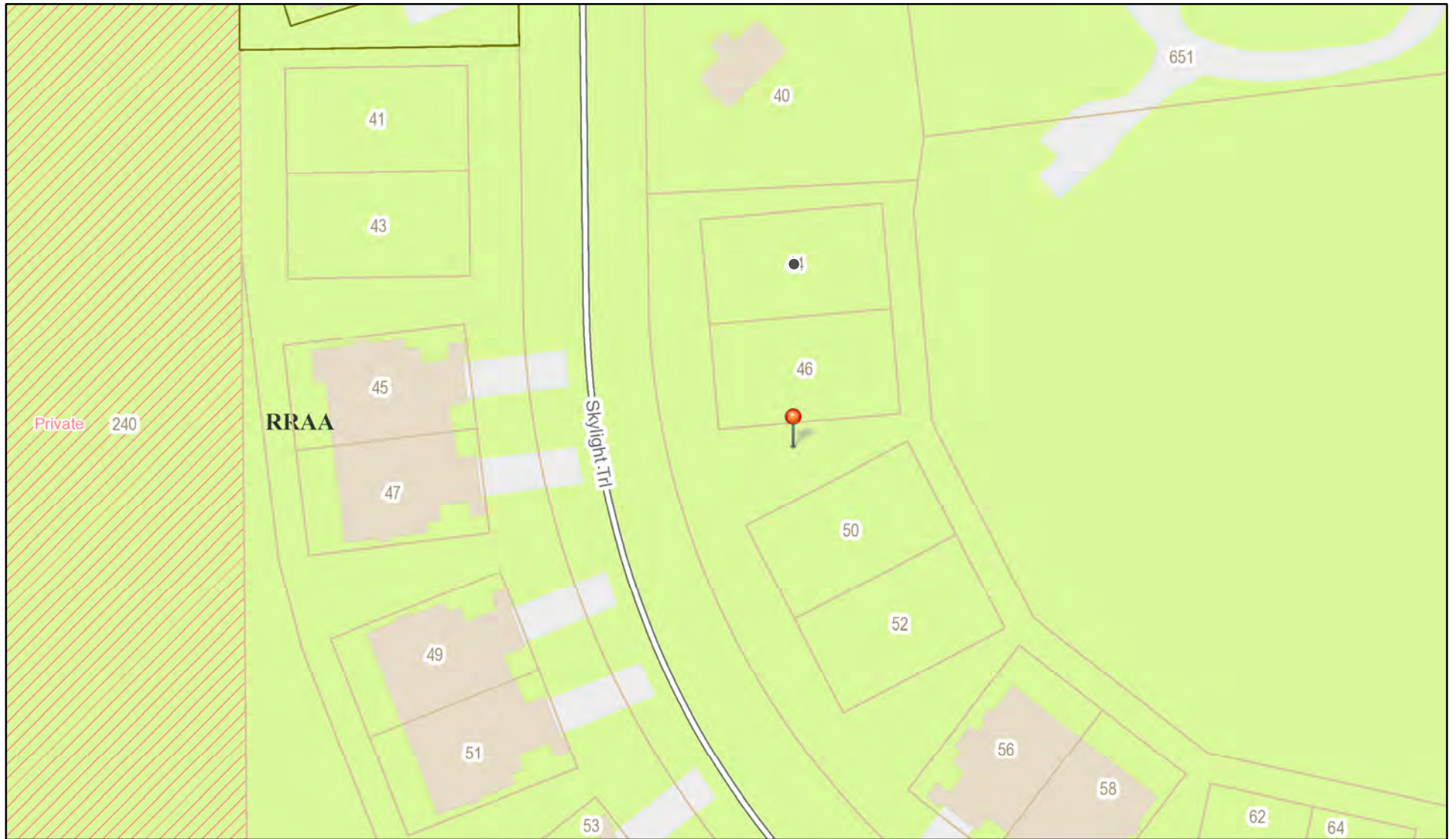
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

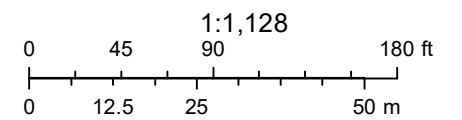
Project Description: Applicant is requesting design review for a two-unit, one-story, single-family townhome in the Alpine Ridge Subdivision. The units are 1,897 and 1,884 square feet, respectively.

Meeting Date: March 14, 2024

RN Residential Neighborhood Zoning



Printed March 6, 2024



Town of Pittsford GIS

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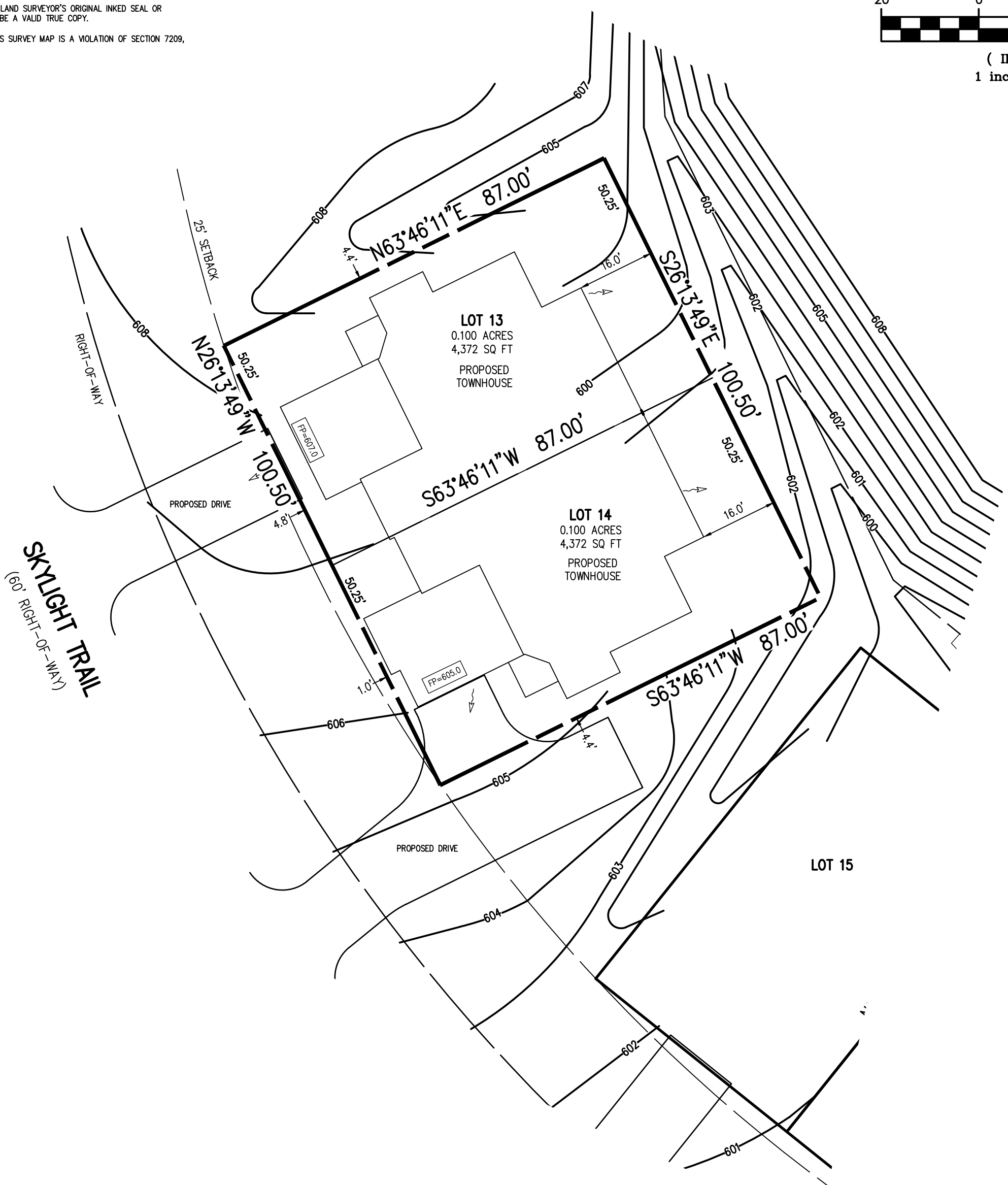
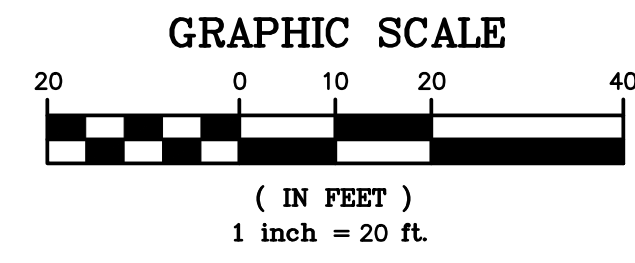
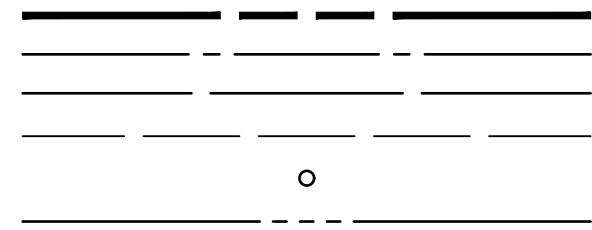
"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

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"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

LEGEND



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
FRONT 0' (LOT) 25' (R.O.W.)
SIDE 0'
REAR 0'
3. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, JOB DRAWING FINISH GRADING PLAN", PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER JD-4.0-1 AND LAST REVISED SEPTEMBER 27, 2021.

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 6

P:\2688\Instrument Surveys\2688 Lot 13-14 Plot Plan.dwg

PROJECT	ALPINE RIDGE SUBDIVISION SECTION 2
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD VICTOR ROAD VICTOR, NY 14564
DRAWING TITLE	LOTS 13 & 14 PLOT PLAN
PROJECT MANAGER	GD BELL
PROJECT SURVEYOR	GD BELL
DRAWN BY	SE STRUNZ
SCALE	1"=20'
DATE ISSUED	MARCH 1, 2024
PROJECT NO.	2688
DRAWING NO.	56



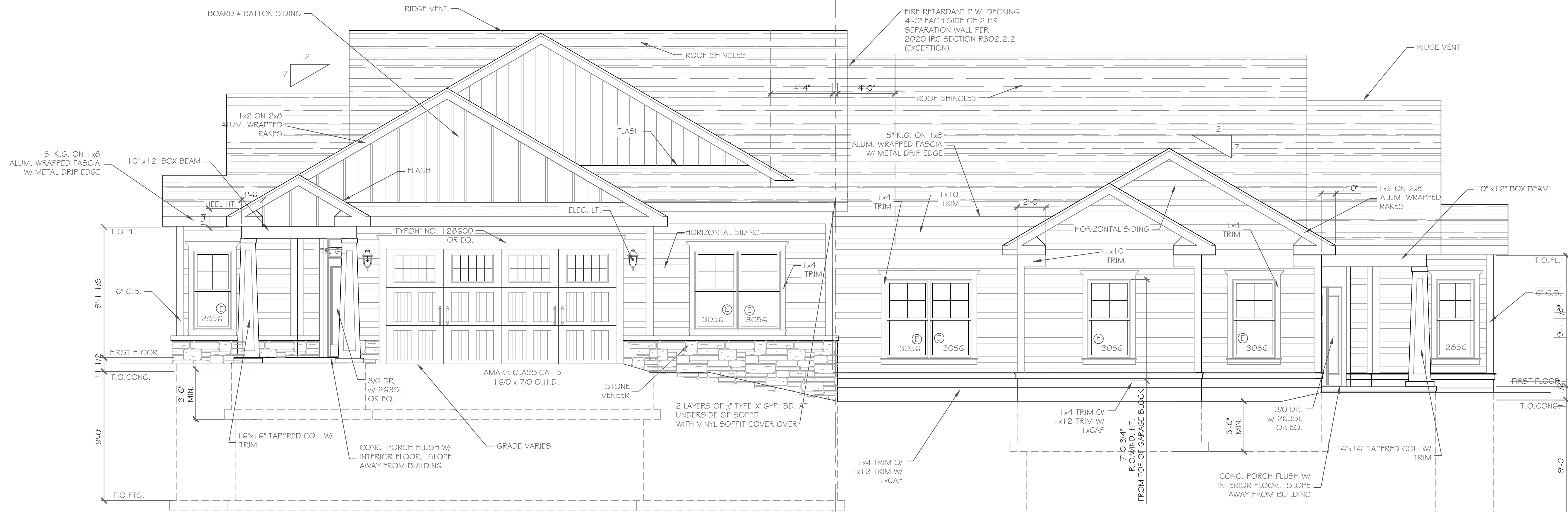
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFTBRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

PHONE 585-377-7360
FAX 585-377-7309

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

Drawing Attention
The following is an excerpt from the New York State Education Law Article 1200, Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any drawing or plan prepared by him in the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall notify the firm his seal and the notation altered by followed by his signature and the date of such alteration, and a specific description of the alteration."



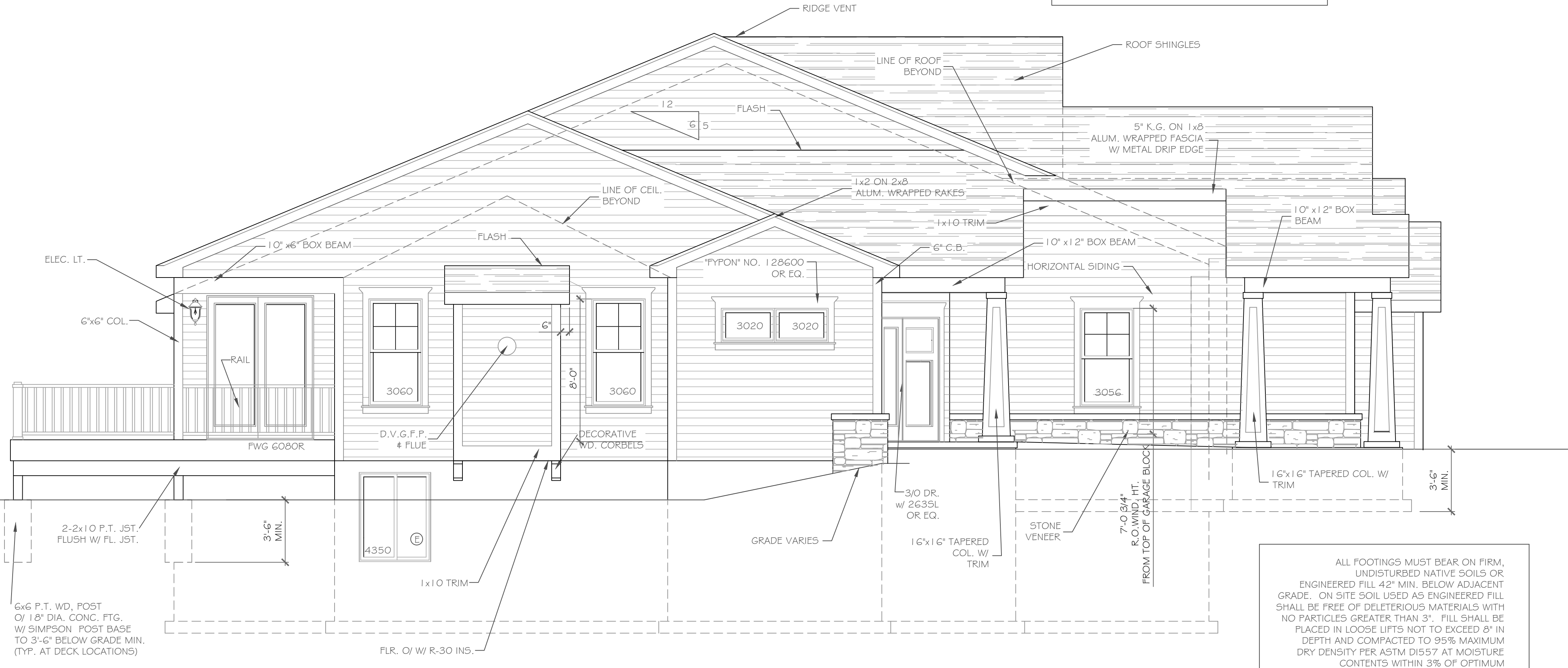
FRONT ELEVATION - LOT 13 1897 S.F.

FRONT ELEVATION - LOT 14 1884 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION - LOT 13

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Elevations
Units 13 & 14

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 13 & 14
 Pittsford, N.Y.

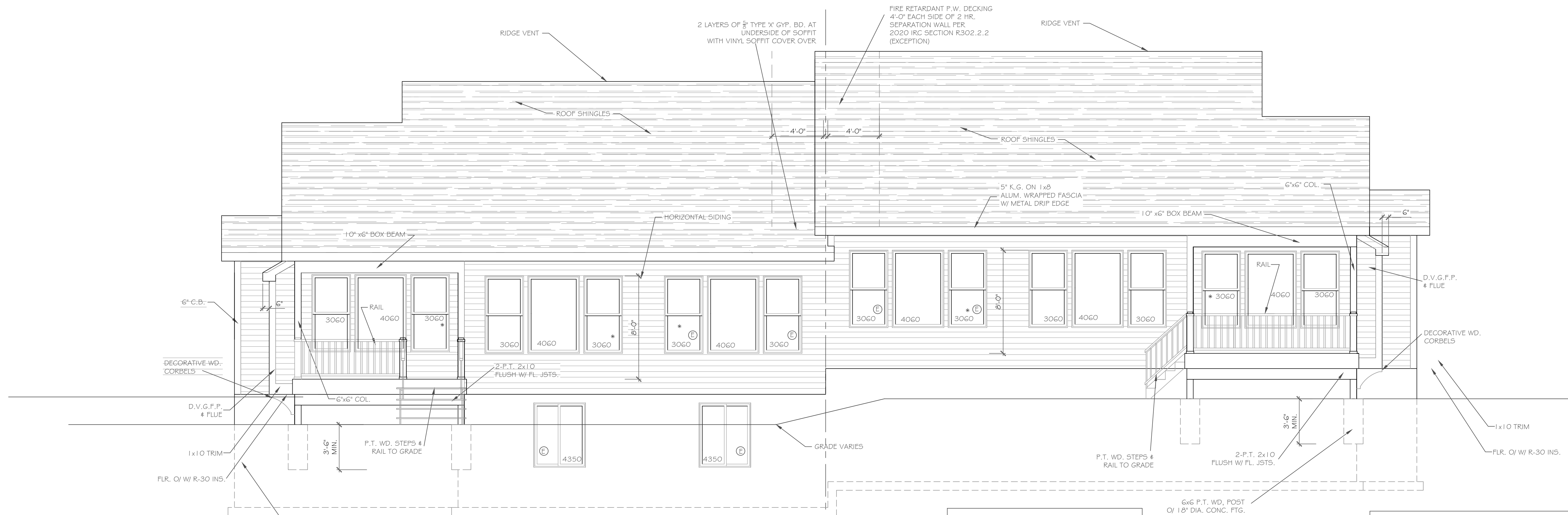
CLIENT:
 Morrell Builders

JOB NO. -
 A24-007

DATE:
 February 2024

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. -
A-1

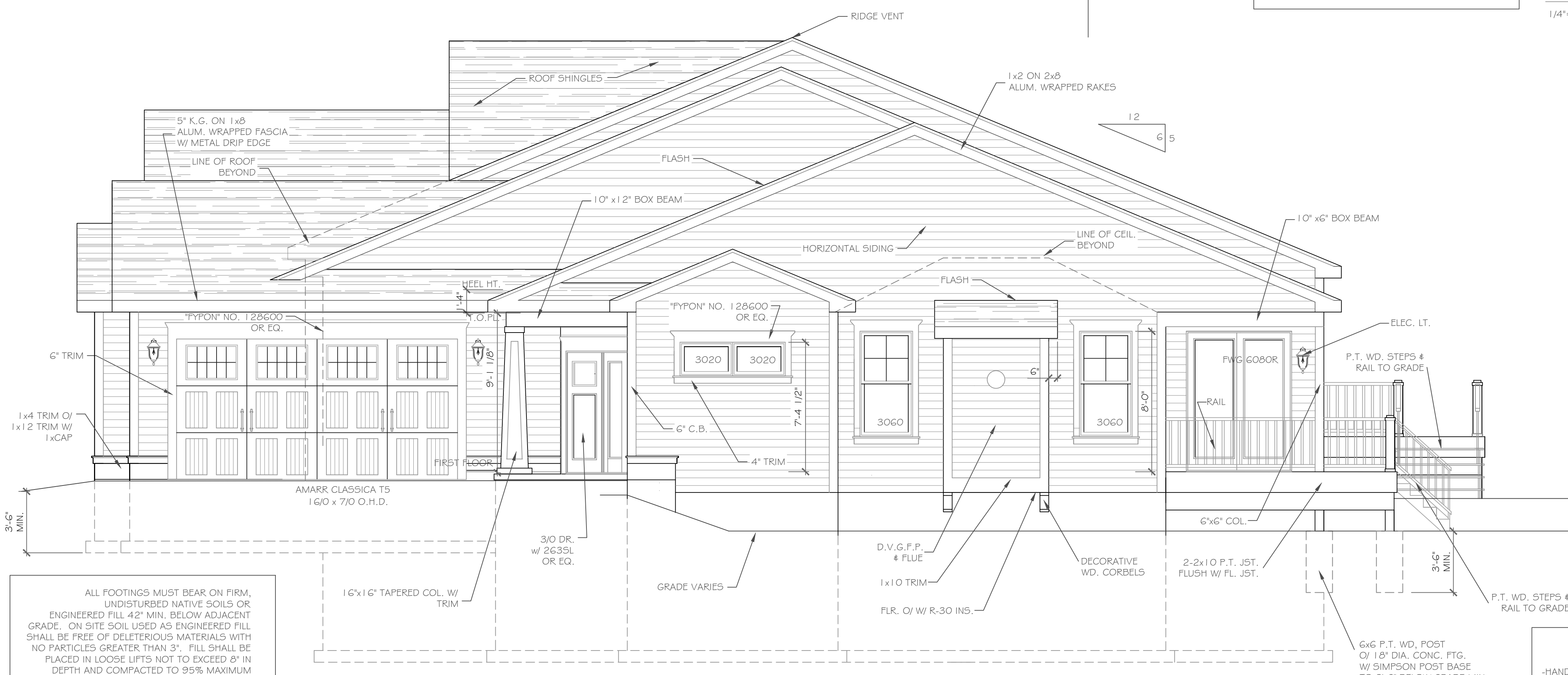


REAR ELEVATION - LOT 14

1/4" = 1'-0"

REAR ELEVATION - LOT 13

1/4" = 1'-0"



RIGHT SIDE ELEVATION - LOT 14

1/4" = 1'-0"

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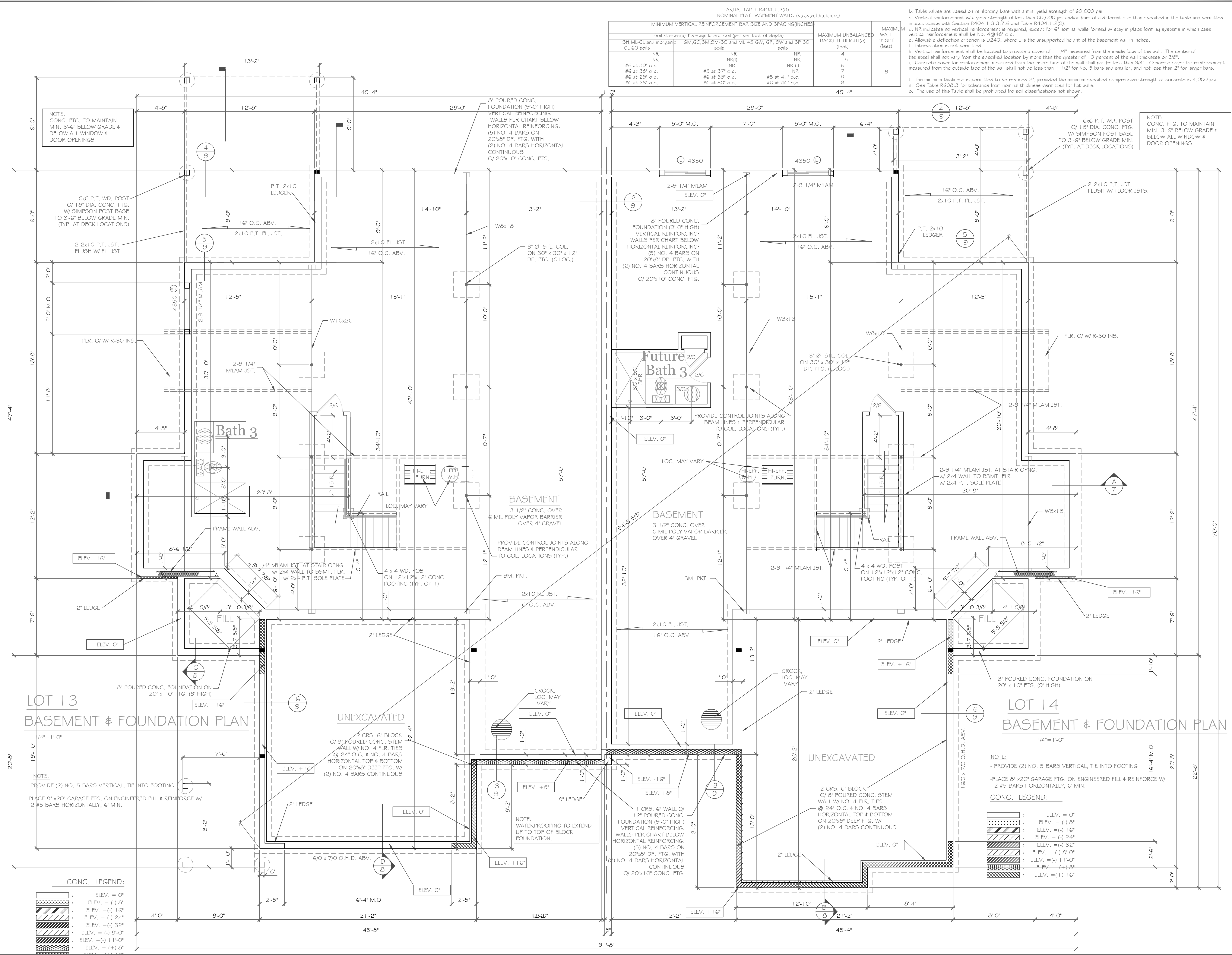
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	Elevations
	Units 13 & 14
PROJECT-	Alpine Ridge - Units 13 & 14
	Pittsford, N.Y.
CLIENT-	Morrell Builders
JOB NO. -	A24-007
DATE -	February 2024
PHASE -	Construction Documents

DRAWING TITLE-	Elevations
	Units 13 & 14
PROJECT-	Alpine Ridge - Units 13 & 14
	Pittsford, N.Y.
CLIENT-	Morrell Builders
JOB NO. -	A24-007
DATE -	February 2024
PHASE -	Construction Documents

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DRAWING NO. -	A-2



PARTIAL TABLE R404.1.2(1)
NOMINAL FLAT BASEMENT WALLS (b,c,d,e,f,h,i,k,n,o)

MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING (INCHES)			MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MAXIMUM WALL HEIGHT (feet)
Soil classes (a) & design lateral soil (psf per foot of depth)	5H, ML, CL and organic CL SO soils	GM, GC, SM, SM-SC and ML 45 soils		
NR	NR	NR	4	9
NR	NR(I)	NR	5	9
#6 at 39" o.c.	#5 at 37" o.c.	#5 at 41" o.c.	6	9
#6 at 39" o.c.	#6 at 37" o.c.	#6 at 41" o.c.	7	9
#6 at 29" o.c.	#6 at 30" o.c.	#6 at 46" o.c.	8	9
#6 at 23" o.c.			9	9

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
 c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(1).
 d. NR indicates no vertical reinforcement is required, except for G' nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
 e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
 f. Interposition is not permitted.
 h. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".
 i. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
 j. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
 k. See Table R508.3 for tolerance from nominal thickness permitted for flat walls.
 o. The use of this Table shall be prohibited for soil classifications not shown.

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REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan
Units 13 & 14

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 13 & 14
 Pittsford, N.Y.

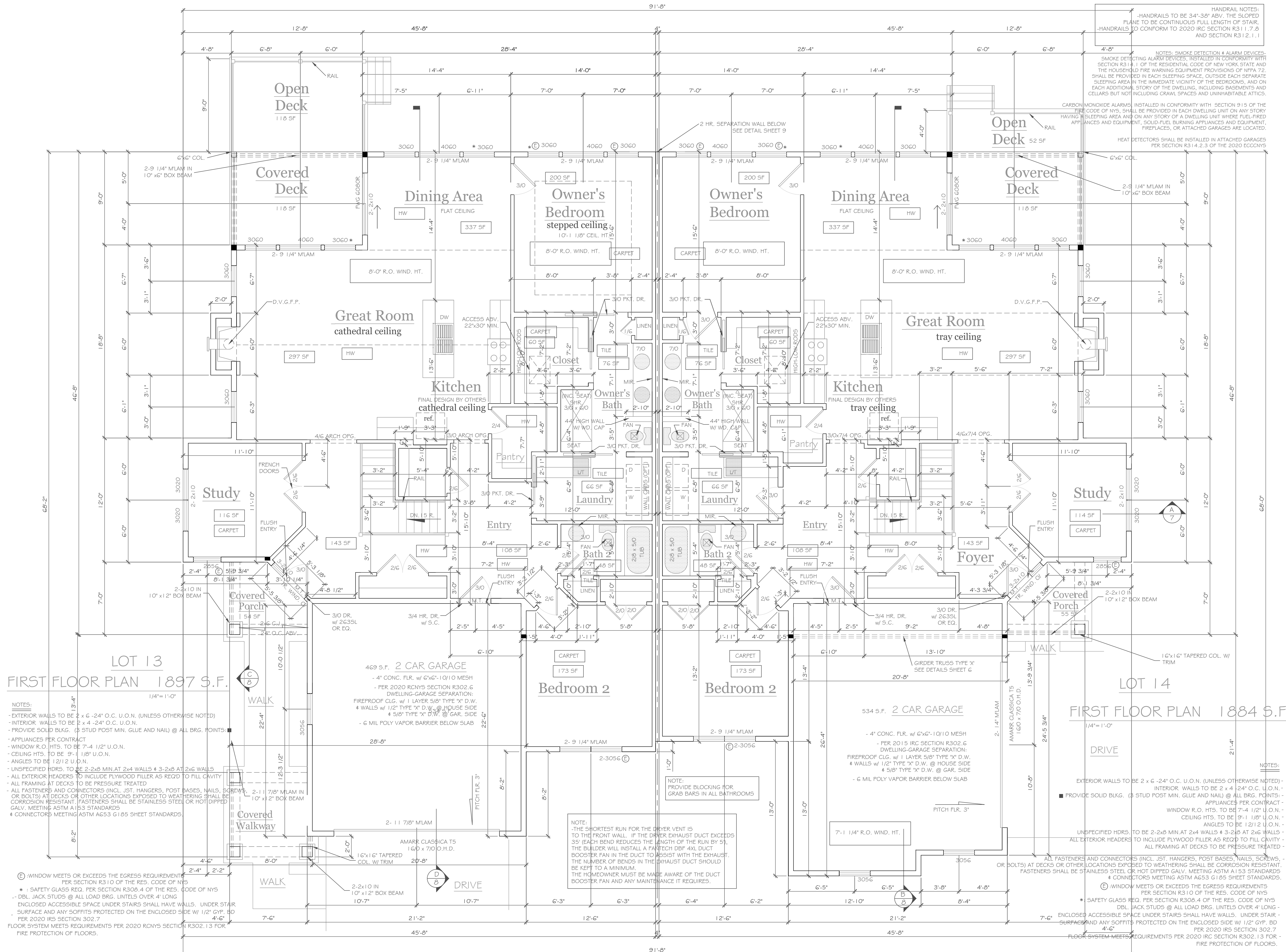
CLIENT:
 Morrell Builders

DATE:
 February 2024

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 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-3



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R314.1.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION 915 OF THE RESIDENTIAL CODE OF NYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HEAT DETECTORS SHALL BE INSTALLED IN ATTACHED GARAGES PER SECTION R314.2.3 OF THE 2020 ECCC/NYS

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
 First Floor Plans
 Units 13 & 14

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 13 & 14
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

DATE:
 February 2024

JOB NO.:
 A23-044

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 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
 A-4

LOT 13
FIRST FLOOR PLAN 1897 S.F.

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 12/12 U.O.N.
 - UNSPECIFIED HDRS. TO BE 2-2x8 MIN AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 - DBL JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
 FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 RCNY SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

LOT 14
FIRST FLOOR PLAN 1884 S.F.

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 12/12 U.O.N.
 - UNSPECIFIED HDRS. TO BE 2-2x8 MIN AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 - DBL JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
 FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

469 S.F. 2 CAR GARAGE
 - 4" CONC. FLR. w/ 6"x6"-10/10 MESH
 - PER 2020 RCNY SECTION R302.6
 DWELLING-GARAGE SEPARATION:
 FIREPROOF CLG. w/ 1 LAYER 5/8" TYPE 'X' D.W. & WALLS w/ 1/2" TYPE 'X' D.W. @ HOUSE SIDE & 5/8" TYPE 'X' D.W. @ GAR. SIDE
 - 6 MIL POLY VAPOR BARRIER BELOW SLAB

534 S.F. 2 CAR GARAGE
 - 4" CONC. FLR. w/ 6"x6"-10/10 MESH
 - PER 2015 IRC SECTION R302.6
 DWELLING-GARAGE SEPARATION:
 FIREPROOF CLG. w/ 1 LAYER 5/8" TYPE 'X' D.W. & WALLS w/ 1/2" TYPE 'X' D.W. @ HOUSE SIDE & 5/8" TYPE 'X' D.W. @ GAR. SIDE
 - 6 MIL POLY VAPOR BARRIER BELOW SLAB

NOTE:
 -THE SHORTEST RUN FOR THE DRYER VENT IS TO THE FRONT WALL. IF THE DRYER EXHAUST DUCT EXCEEDS 35' (EACH BEND REDUCES THE LENGTH OF THE RUN BY 5'). THE BUILDER WILL INSTALL A FATCH DBF 4XL DUCT BOOSTER FAN IN THE DUCT TO ASSIST WITH THE EXHAUST. THE NUMBER OF BENDS IN THE EXHAUST DUCT SHOULD BE KEPT TO A MINIMUM. THE HOMEOWNER MUST BE MADE AWARE OF THE DUCT BOOSTER FAN AND ANY MAINTENANCE IT REQUIRES.

ALPINE RIDGE
A MORRELL COMMUNITY

No development agricultural zone



● = Side Load Garage

X = Stone Siding

	Monterey Sand	Cape Cod Gray	Almond	Pebble	Harbor Blue
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)

Right of SUBJECT Lot 13- 50 Skylight Trail and Lot 14- 52 Skylight Trail

Siding: Cape Cod Gray

Front Door: Dark Maple

Garage Door: Walnut



Dark Maple



Walnut

TOWN OF PITTSFORD

SETTLED 1789

Department of Public Works

11 SOUTH MAIN STREET, PITTSFORD, NY 14534

TEL. 585-248-6250 FAX 585-248-6262

TO: Involved or Interested Agency

DATE: March 6, 2024

SUBJECT: Pittsford Oaks Apartments
2851 Clover Street
Re-Zoning Application (Tobey PUD)

The Town of Pittsford has received an application for approval of a Type I Action. The Town Board is conducting a coordinated review. Your agency has been identified by the Applicant as an involved or interested agency, and in accordance with Section 617.6(b) of the State Environment Quality Review Act (SEQRA), we are enclosing the application form and Part I of the Environmental Assessment Form (EAF) and a proposed site plan for your review and comment.

A lead agency must be designated from among the involved agencies within thirty (30) days of the mailing of this letter. The Town feels that the impacts involved are of primarily local significance and prefer that the Town Board of the Town of Pittsford be designated Lead Agency.

We request that you respond as soon as possible to the enclosed materials. A form for your response and signature, title and date is enclosed for your convenience. Your comments within your area of expertise and jurisdiction will be taken into consideration by the Lead Agency in determining the significance of this action.

If you have any questions regarding this matter, feel free to phone (585) 248-6260 or email me at azurowski@townofpittsford.org. Thank you for your cooperation in this matter.

Sincerely,

April Zurowski
Planning Assistant
Town of Pittsford

cc: File

LEAD AGENCY APPLICATION

REGARDING: Pittsford Oaks Apartments, 2851 Clover Street

PURPOSE OF MAILING: Lead Agency Status

NAME OF AGENCY RESPONDING: _____

CONTACT PERSON RESPONDING: _____

We **Do** _____ **Do Not** _____ wish to be Lead Agency for the above application.

DATED: _____

SIGNED: _____

TITLE: _____

Please return to: April Zurowski
Town Hall of Pittsford
11 South Main Street
Pittsford, NY 14534

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres

b. Total acreage to be physically disturbed? _____ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

• Total number of phases anticipated _____

• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

• Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- Describe types of new point sources. _____

- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____

 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

See Traffic Study

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
---	--

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n.. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? <ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ _____ _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: _____ % _____ % _____ %	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, describe: _____ _____	
h. Surface water features. <ul style="list-style-type: none"> i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input type="checkbox"/> No ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. <ul style="list-style-type: none"> iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name _____ Classification _____ • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____ 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input type="checkbox"/> No	
j. Is the project site in the 100 year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
k. Is the project site in the 500 year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <ul style="list-style-type: none"> i. Name of aquifer: _____ 	

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

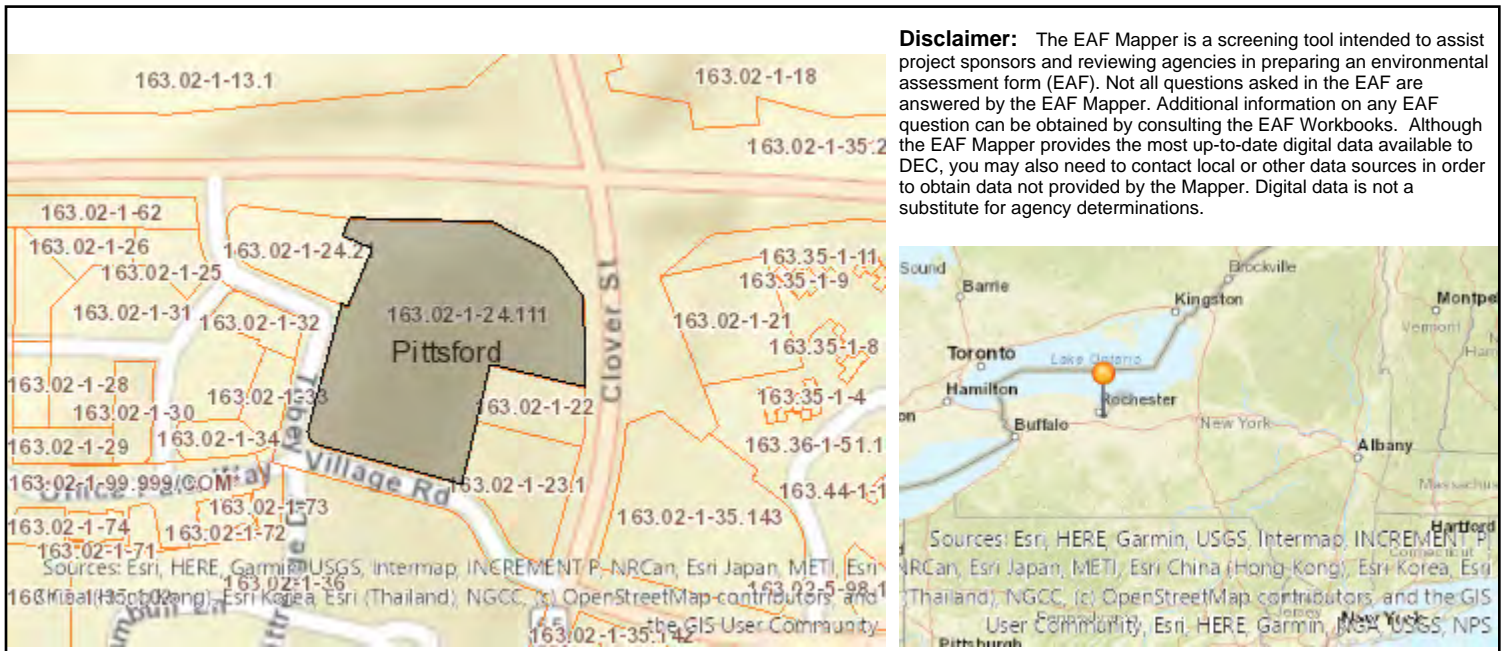
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

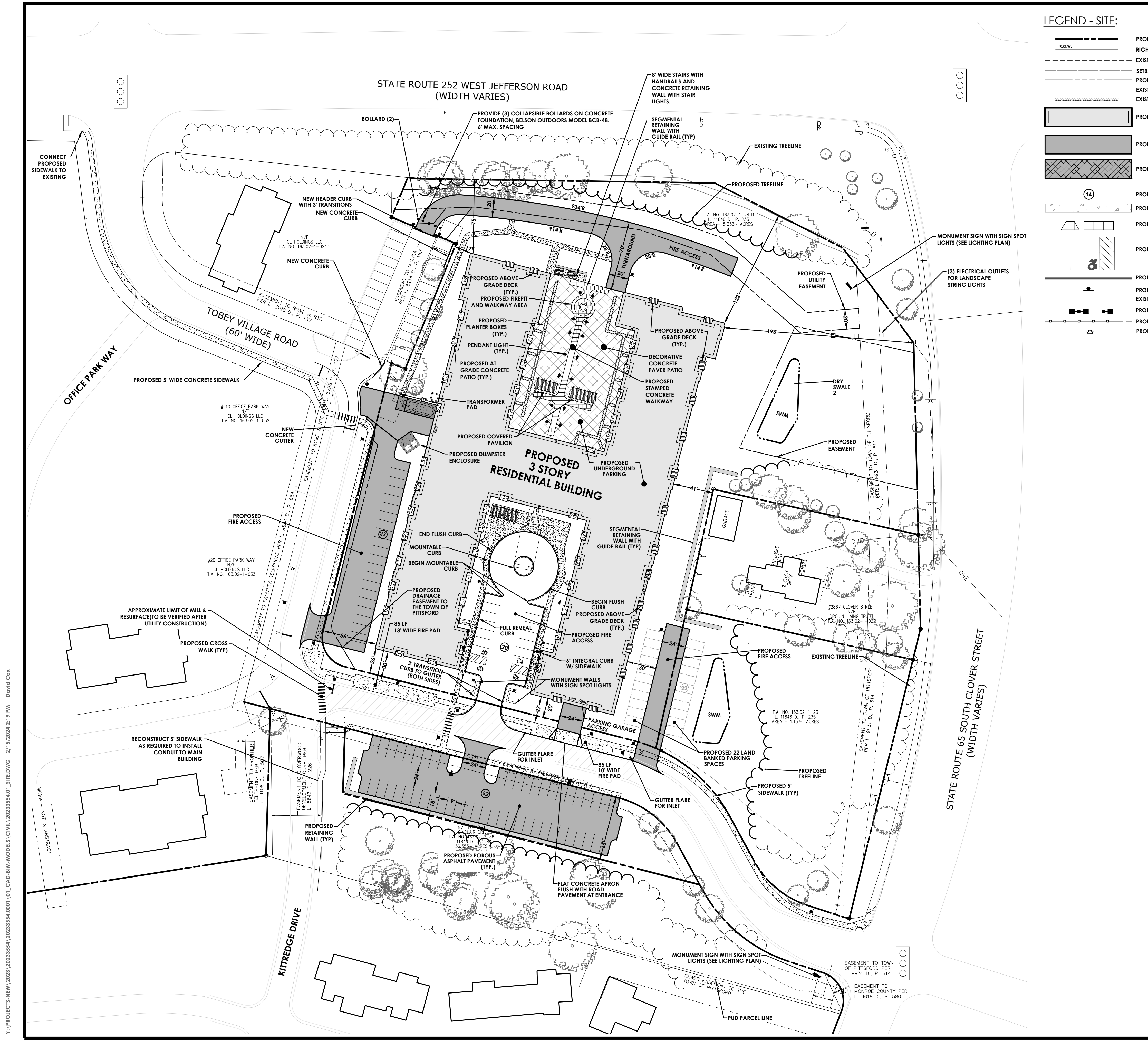
Applicant/Sponsor Name _____ Date _____

Signature  _____ Title _____



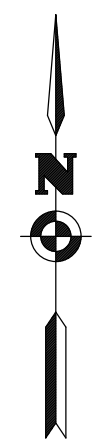
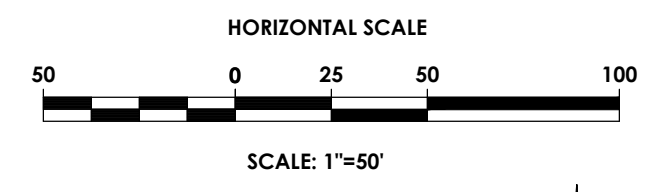
B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:2867 Clover Street No nearby structures listed on National Register
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



LEGEND - SITE:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVEMENT
- PROPOSED POROUS ASPHALT PAVEMENT
- PROPOSED PARKING COUNT
- PROPOSED CONCRETE
- PROPOSED ACCESS RAMP
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT POLE
- PROPOSED FENCE
- PROPOSED BUILDING MOUNTED LIGHT



SITE DATA
4-STORY RESIDENTIAL BUILDING
WITH SUBTERRANEAN STRUCT. PARKING (LEV. 1)

TOTAL BLDG. AREA - 289,673 GSF

UNIT COUNT

- (16) STUDIOS
- (102) ONE BEDROOMS
- (45) TWO BEDROOMS
- (12) THREE BEDROOMS
- (175) TOTAL UNITS

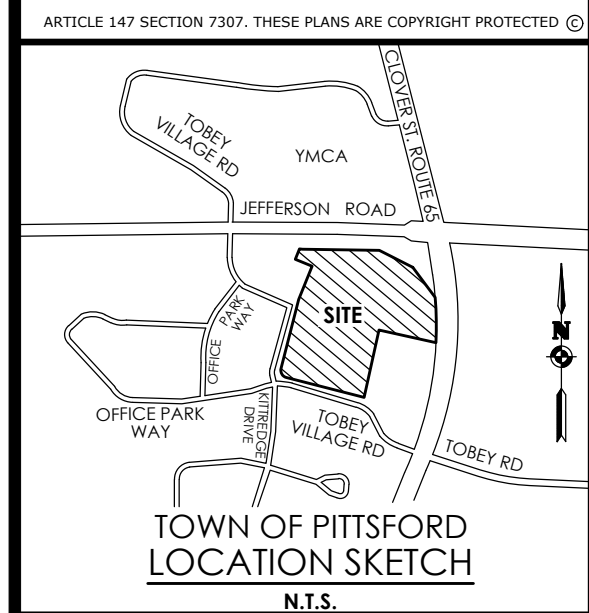
SITE DATA

1. TAX ACCOUNT NUMBER: 163.02-1-24.11, 163.02-1-23.1, 163.02-1-36
2. PROJECT ADDRESS: 2851 CLOVER STREET
3. TOTAL PROJECT AREA: 7.00 AC
4. AREA OF DISTURBANCE: ± 5.76 AC
5. EXISTING GREENSPACE: 4.39 AC
6. PROPOSED GREENSPACE: 3.91 AC
7. EXISTING IMPERVIOUS: 2.61 AC
8. PROPOSED IMPERVIOUS: 3.09 AC
9. EXISTING ZONING: PLANNED UNIT DEVELOPMENT (PUD)
10. PROPOSED ZONING: PLANNED UNIT DEVELOPMENT (PUD)
11. EXISTING USE: RESIDENTIAL BUILDING (TYPE 1 ACTION)
12. PROPOSED USE: RESIDENTIAL BUILDING (TYPE 1 ACTION)
13. AREA REQUIREMENTS:

PROPOSED ZONING DISTRICT: PLANNED UNIT DEVELOPMENT (PUD)

	REQUIRED	PROPOSED
LOT		
WIDTH	N/A	N/A
DEPTH	N/A	N/A
AREA	30,000 SF	348,480 SF
SETBACK		
TOBEY VILLAGE ROAD ROW	20'	17'
CLOVER STREET ROW	110'	202'
JEFFERSON ROAD ROW	65'	77'
REAR PROPERTY LINE OF 2864 CLOVER ST	30'	41'
BUILDING		
HEIGHT		
	N/A	117 SURF. SP (0.67 sp/unit) 198 GARAGE (1.13 sp/unit) 315 TOTAL (1.80 SPACE/UNIT)
UNIT QTY		
PARKING		
	158 SPACES	117 SURFACE SPACES 202 GARAGE 319 TOTAL (1.82 SPACE/UNIT)
STALLS QTY.		
STALL SIZE - PERPENDICULAR	9'	9'
STALL SIZE - PARALLEL	18'	18'
DRIVE AISLE WIDTH	24'	24'
NOTES:		

10. STATE REGULATED WETLANDS (NYSDEC ERM): NO X YES
11. FEDERALLY REGULATED WETLANDS (USFWS NWI): X
12. FLOOD PLAIN (FEMA NFHI): FIRM PANEL: 36055C0358G DATED: 08/28/2008 X
13. PUBLIC WATER PROVIDED BY: MONROE COUNTY WATER AUTHORITY
14. ELECTRIC SERVICE PROVIDED BY: ROCHESTER GAS AND ELECTRIC
15. GAS SERVICE SUPPLIED BY: ROCHESTER GAS AND ELECTRIC
16. SANITARY SEWER PROVIDED BY:
17. STORM SEWER & DRAINAGE WILL BE: PRIVATE (MAINTAINED BY THE OWNER)



Client:
Friendly Senior Living Commons, LLC
c/o Rochester Friendly Home
3156 East Avenue
Rochester, NY 14618

PASSERO ASSOCIATES

242 West Main Street Suite 100
Rochester, New York 14614
Principal-in-Charge: Jess Sudol, P.E.
Project Manager: David Cox, P.E.
Designed by: James Ritzenhaller



Revisions

No.	Date	By	Description
1			

SITE PLAN

PITTSFORD OAKS

Town/City: PITTSFORD
County: MONROE State: NEW YORK

Project No.
20233554.0001

Drawing No.
C 102

Scale:
1" = 50'

Date
JANUARY 2024

NOT FOR CONSTRUCTION