Design Review & Historic Preservation Board AGENDA October 12, 2023

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, October 12, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

6 Malm Lane

Applicant is requesting design review for a 600 square foot covered deck off the southeast corner of their home.

67 Crestview Drive

Applicant is requesting design review for a 500 square foot covered patio off the rear of the home.

RESIDENTIAL APPLICATIONS: NEW HOMES

5 Bridleridge Farms

Applicant is requesting design review for a two-story, 2,810 square foot single-family home in the Bridleridge Subdivision.

7 Bridleridge Farms

Applicant is requesting design review for a two-story, 3,088 square foot single-family home in the Bridleridge Subdivision.

41 & 43 Skylight Trail

Applicant is requesting design review for a one-story, two unit townhome in the Alpine Ridge Subdivision. The units are 2,780 and 2,014 square feet respectively.

20 Kerrygold Way

Applicant is requesting design review for a one-story, 5,048 square foot single-family home in the Clover Estates neighborhood.

CERTIFICATE OF APPROPRIATENESS

35 Long Meadow Circle

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the exterior painting of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

DEMOLITION APPLICATIONS

105 Ellingwood Drive

Applicant is requesting approval for complete demolition of their home, with the exception of the garage, with the intent to rebuild a larger home on the property.

TOWN OF PITTSFORD DESIGN REVIEW & HISTORIC PRESERVATION BOARD SEPTEMBER 28, 2023

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on September 28, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT:	Jim Vekasy; John Mitchell; Bonnie Salem; Kathleen Cristman
ABSENT:	Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Paul Whitbeck
ALSO PRESENT:	Anthony Caruso, Building Inspector; Meghan Brooks, Building Department Assistant
ATTENDANCE:	There were 5 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Member Jim Vekasy called the meeting to order at 6:02PM.

HISTORIC PRESERVATION DISCUSSION

DRHPB Member Bonnie Salem gave a brief update on the planning progress for the 2023 Reception for Owners of Inventoried Homes. She stated that the DRHPB is currently waiting on confirmation from Chairman Dirk Schneider for the name of the speaker before letters can be sent out. The draft letter and homeowners list has been approved. The reception is scheduled for November 30.

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

52 Turning Leaf Drive

Applicant is requesting design review for an addition off the rear of the home.

Tim Smith with Woodstone Custom Homes introduced the application. Mr. Smith briefly described the scope of the project, which includes a dining room addition and a new deck. Roofing and siding will match the existing home and the landscaping will be restored.

The Board asked Mr. Smith for details about the plans, including the stone fireplace wall and the stairs. Mr. Smith confirmed that the stairs will lead off of the dining room and not the deck, and that the corner of the stone wall will be capped rather than turning the corner.

DRHPB Member Jim Vekasy motioned to approve the approximately 400 square foot addition and the 330 square foot deck off the rear of the home, finishes matching the existing home, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

12 Aden Hill

Applicant is requesting design review for a 1,756 square foot, one-story, single-family home in the Wilshire Hill subdivision.

Bill Arieno of Pride Mark Homes introduced the application. Mr. Arieno stated that this will be the third to last home in the subdivision. This design has been utilized on multiple sites in Wilshire Hill because fits well within the pie-shaped lots that taper in the back. He noted that there has been a lot of good feedback about the design from the previous buyers.

Board Member Salem asked if the house is set farther forward because of the lot shape and asked about the square footage. Mr. Arieno stated that it would follow the same building line as the rest of the homes and that the home has 1,756 square feet of livable space. The garage and porch square footage brings the number to 2,406.

DRHPB Member John Mitchell motioned to approve the 1,756 square foot, one-story, singlefamily home in the Wilshire Hill subdivision as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATE OF APPROPRIATENESS

35 Long Meadow Circle

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the exterior painting of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

The applicant was not present to introduce the application. DRHPB Member Jim Vekasy opened the public hearing. He asked if anyone in the audience wished to opine on the application. No one from the public came to the podium. The Board decided to wait on a resolution until the applicant can be present.

The public hearing remains open until the following meeting on October 12.

COMMERCIAL APPLICATIONS: ACCESSORY STRUCTURES

507 Thornell Road - Northfield Church

Applicant is requesting design review for an oversized storage structure of approximately 280 square feet on a commercial property. This property is zoned Residential Neighborhood (RN).

Reynold Bailey of the Northfield Church introduced the application. Mr. Bailey gave a brief overview of the 14'X20' storage shed that the Church is hoping to set in the back of the property. It would be primarily used for chair racks, as well as ladders, hoses, etc.

Board Member Salem asked if the shed is considered oversized in height or in size. Building Inspector Anthony Caruso confirmed that it is only considered oversized in size, not in height.

DRHPB Member Kathleen Cristman motioned to approve the oversized storage structure of approximately 280 square feet, on a commercial property, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue - Restore Hyper Wellness

Applicant is requesting design review of an approximately 31 square foot sign for Restore Hyper Wellness in Pittsford Plaza.

Maggie Geraci of Restore Hyper Wellness introduced the application. Ms. Geraci stated that the store is new to Pittsford Plaza and they hope to be open in mid-November. They are seeking approval for their corporate-mandated sign.

DRHPB Member Kathleen Cristman asked if the colors in the sign are corporate branding. Ms. Geraci confirmed that they are and gave a summary of how they will be lit. Upon inquiry from Board Member Vekasy, Ms. Geraci also stated that the sign will be composed of individually mounted letters.

DRHPB Member Jim Vekasy motioned to approve an approximately 31 square foot sign for Restore Hyper Wellness in Pittsford Plaza as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

OTHER DISCUSSION

The minutes of September 14, 2023, were approved following a motion by DRHPB Member Jim Vekasy. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Member Jim Vekasy closed the meeting at 6:24PM.

Respectfully submitted,

Meghan Brooks Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT

Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # RA23-000197

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD **REFERRAL OF APPLICATION**

Property Address: 6 Malm Lane ROCHESTER, NY 14618 Tax ID Number: 150.08-1-1.3 Zoning District: RN Residential Neighborhood **Owner:** Convery, Matthew Applicant: Convery, Matthew

Application Type:

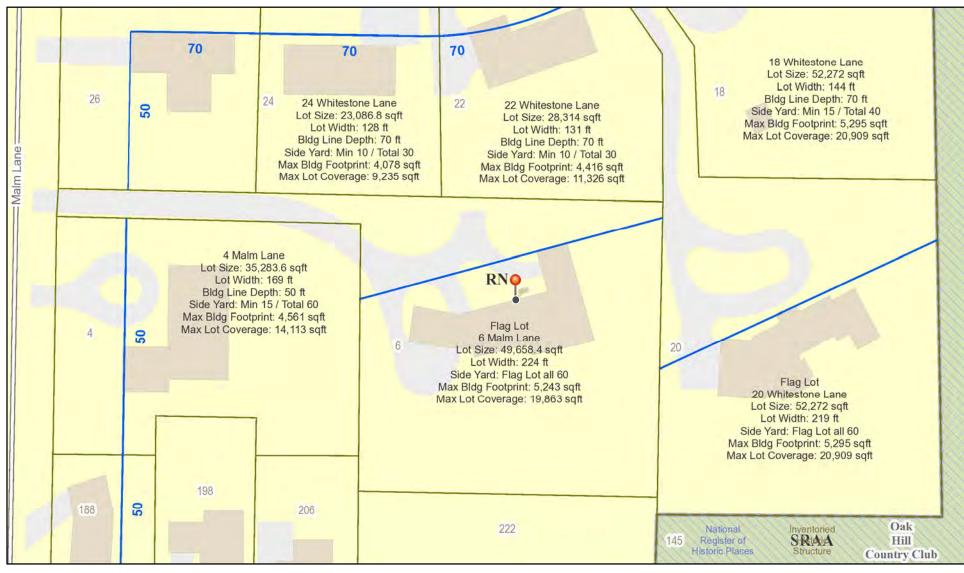
- **Residential Design Review** \checkmark
- §185-205 (B) **Commercial Design Review**
- §185-205 (B)
- Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- **Building Height Above 30 Feet** §185-17 (M)
- **Corner Lot Orientation**
- §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- **Undeveloped Flag Lot Requirements**
 - §185-17 (L) (2)

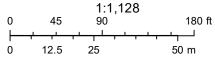
Project Description: Applicant is requesting design review for a 600 square foot covered deck off the southeast corner of their home.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023

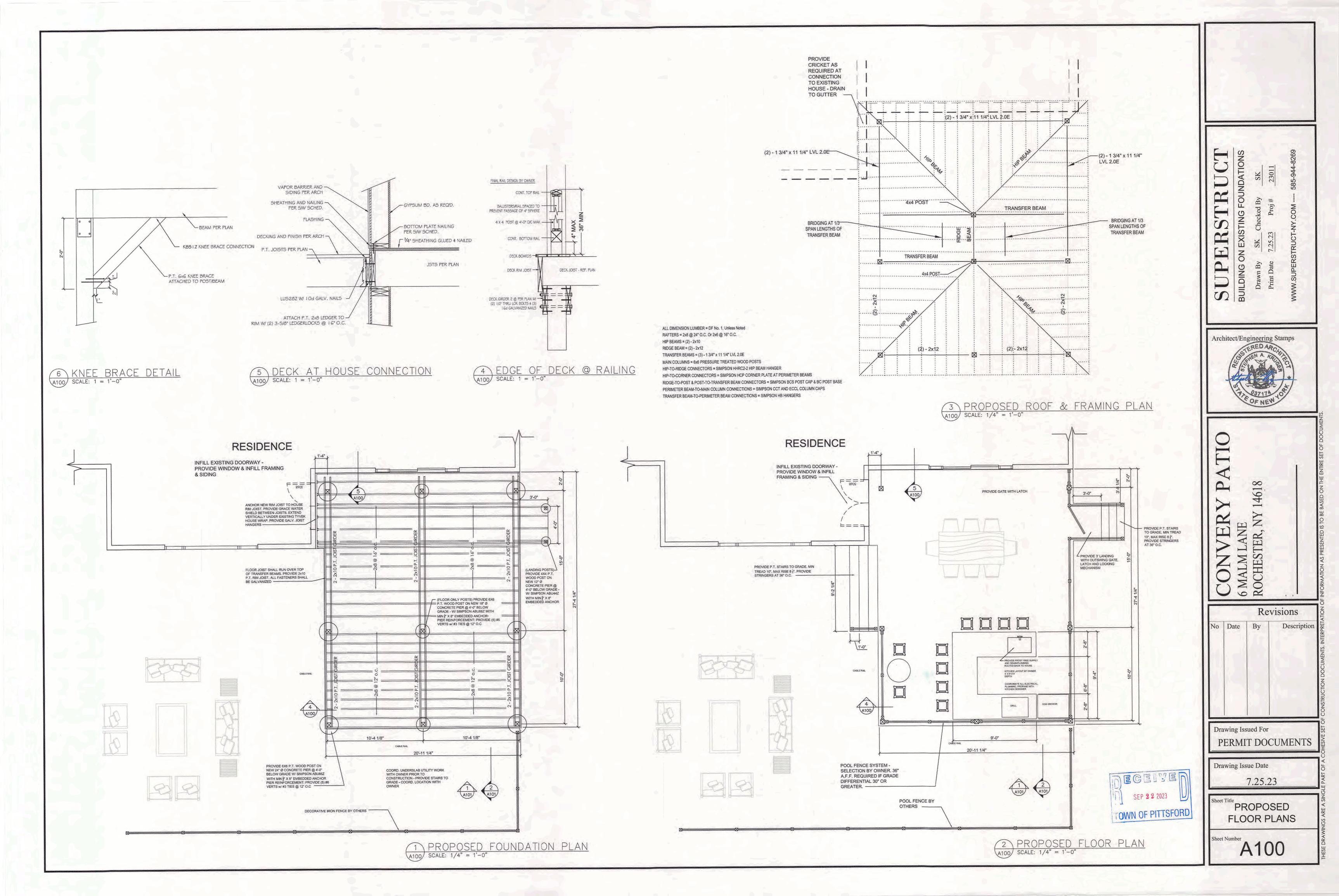


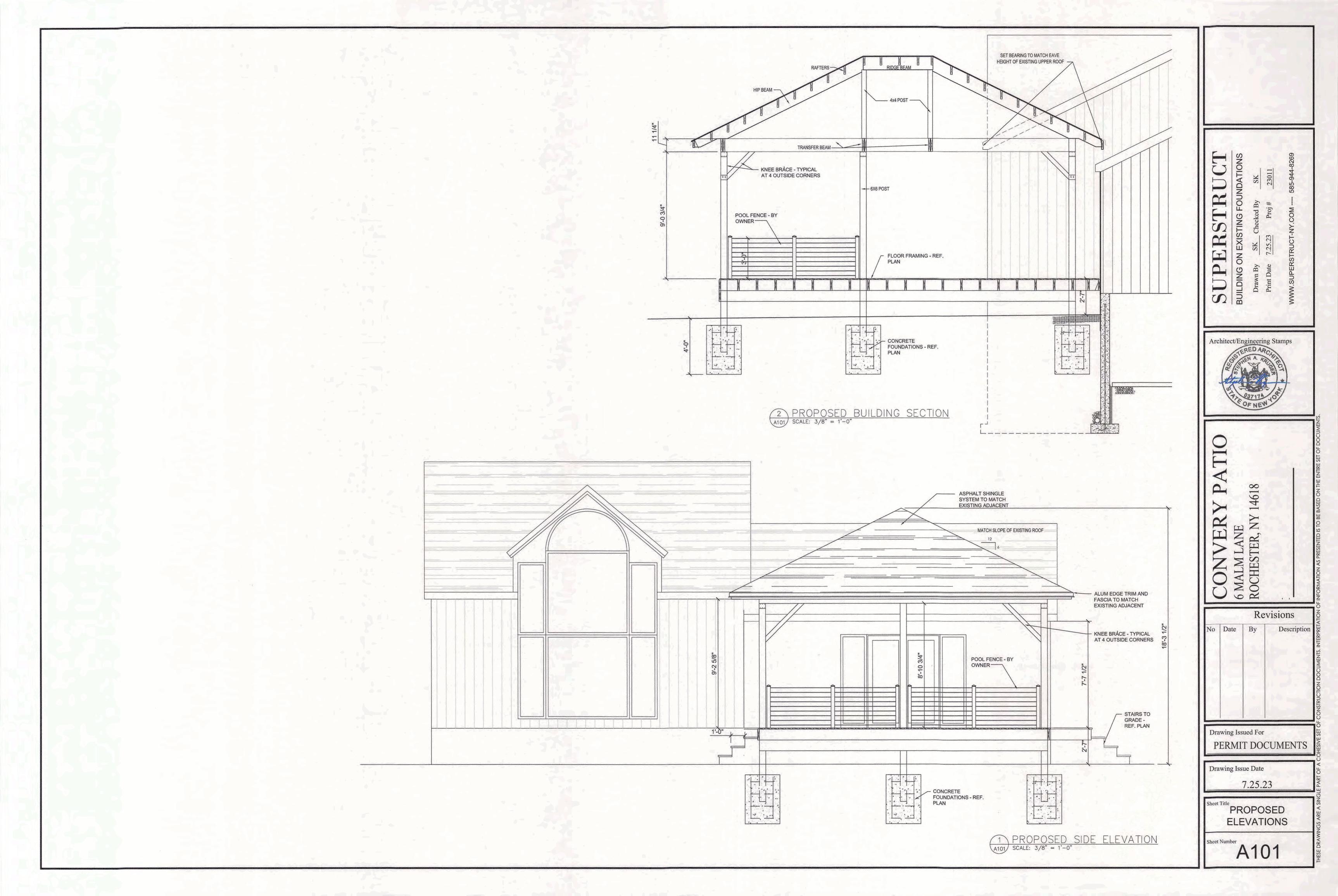
Town of Pittsford GIS

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TimberTech Advanced PVC Vintage Collection® | Capped Polymer Decking | PVC Decks

TimberTech AZEK, **TimberTech**

STRUXURE

P 57

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TIMBERTECH ADVANCED PVC Vintage Collection[®]

Exotic Hardwood Aesthetic

Get the sought-after look of premium hardwoods such as ipe, mahogany, and teak, without the rigorous maintenance of wood. Our capped polymer decking features proprietary materials technology that delivers sophisticated, real wood aesthetics you'll never have to sand, stain, or seal.



Color Selection

Available in these premium colors:

ArrowLine Shake, ArrowLine Slate (Solid Colors)





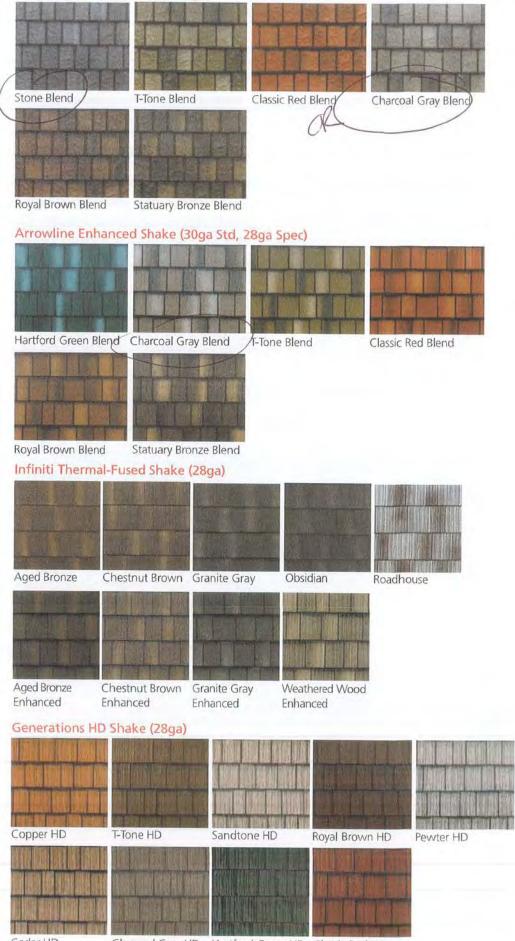


Std. Shake - 30ga (these colors also available in 28ga as special order) O Sp. Shake - 28ga Prem. Shake - 28ga Std. Slate - 28ga 🗆 Sp. Slate - 28ga

EDCO solid roofing colors meet or exceed ENERGY STAR® standards, which can reduce your energy costs.

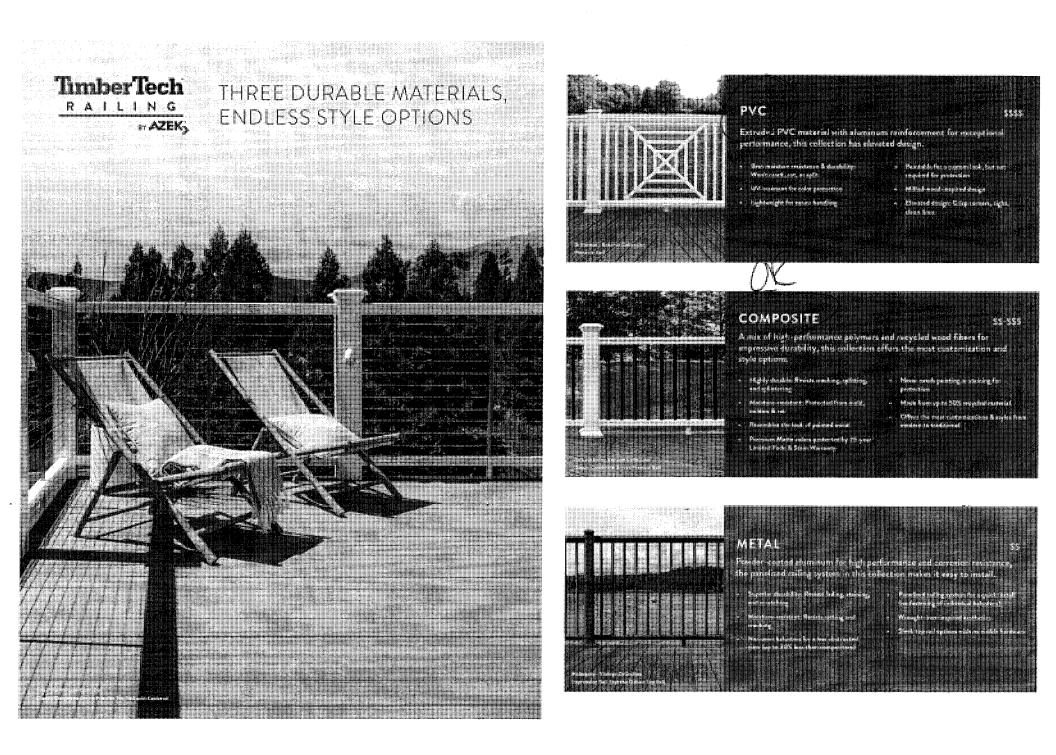
Note: All colors shown are as accurate as possible. Please refer to actual color chip samples before making your final color selection.

Arrowline Enhanced Slate (28ga)



Cedar HD

Charcoal Gray HD Hartford Green HD Classic Red HD



INFILLS

COMPOSITE

PRODUCT DESCRIPTION		TimberTech Item Numb	er			
	WHIT	E BLACK	MATTE WHITE	MATTE ESPRESSO	MATTE BLACK	
COMPOSITE BALUSTERS 18/Pack		1946 - 1947 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1947 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946 - 1946	Carden and Sol	nan selan si rask sega	Ville Steral	
29" Square Composite Balusters for 36" railing height and stairs	AZT298/	ALW AZT29BALB	AZT29BALMW	AZT29BALME	AZT29BALM5	
31" Square Composite Balusters for stairs	AZT318A	LW AZT318ALB	AZT31BALMW	AZT31BALME	AZT31BALMB	
35" Square Composite Balusters for 42" railing height and stairs	AZT35B/	ALW AZT35BALB	AZT35BALMW	AZT35BALME	AZT35BALME	
37" Square Composite Balusters for stairs	AZT37B4	AZT37BALB	AZT37BALMW	AZT37BALME	AZT378ALMB	
CABLERAIL KITS BY FEENEY				e Stational (
36" CableRail Hardware Kit - 9 Quick-Connect fittings, 9 Quick-Connect sw	ivel fittings, 18 Hanger Bolts, 9 Lock Nuts			AZI	CR36HWK/T	
42" CableRail Hardware Kit - 11 Quick-Connect fittings, 11 Quick-Connect sv	vivel fittings, 22 Hanger Bolts, 11 Lock Nu	b		AZT	CR42HWKIT	
36" CableRail Intermediate Baluster - 9-Hole Baluster, Intermediate Base Pla	ate, #10X2 ' Pan Head Screw, (3) ≠10X1' P	lat Head Screws		A.	TCR36BAL	
42" CableRail Intermediate Baluster - 11-Hole Baluster, Intermediate Base Pla	ate, #10X2" Pan Head Screw, (3) #10X1" P	lat Head Screws		AZ	AZTCR42BAL	
36° CableRal Stair Intermediate Baluster - Angled 9-Hole Baluster, Intermediate Base Plate, #10X2' Pan Head Screw, (3) #10X1' Flat Head Screws					AZTCR36STAIRBAL	
42° CableRail Stair Intermediate Baluster - Angled 11-Hole Baluster, Intermediate Base Plate, #10X2' Pan Head Screw, (3) #10X1' Flat Head Screws					AZTCR42STAIRBAL	
CableRail 100' Stainless Steel Cable					AZTCR100CABLE	
CableRail 500' Stainless Steel Cable					AZTCR500CABLE	
CableRail Accessory Kit				AZ	TCRACCKIT	
CableRail Cutter				AZ	CROUTTER	
CableRail Protector Sleeves (20/pack)				AZ	ICRSLEEVE	
CableRail SteelRenewal" SteelProtect" Combo				AZ	TCRSRSPC	
GLASS CHANNEL KITS "Glass infills are not compatible with Drink Rail to	op rail option.	이 성격했다. 남부는 것 같은 것			and the second	
6' Glass Channel Kit White - Glass Panel Sourced Locally				AZ	TGLASS6W	
6' Glass Channel Kit Black - Glass Panel Sourced Locally				AZ	TGLASS6B	
ALUMINUM BALUSTERS - 20/Park	BLACK ROUND	BLACK ROUND STAIR	BLACK SQUA	RE BLACK	SQUARE STAIR	
29" Aluminum Baluster for 36" rail height	AZT29RABALB	-	AZT29SABAL	8	-	
31" Aluminum Baluster for 36" rail height and stairs	AZT31RABALB	AZT31RASTAIRBALB	AZT315ABAL	B AZT31	SASTAIRBALB	
35" Aluminum Baluster for 42" rail height	AZT35RABALB	-	AZT355ABAL	8	-	
37" Aluminum Baluster for 42" rail height and stairs	AZT37RABALB	AZT37RASTAIRBALB	AZT37SABAL	B AZT37	SASTAIRBALB	

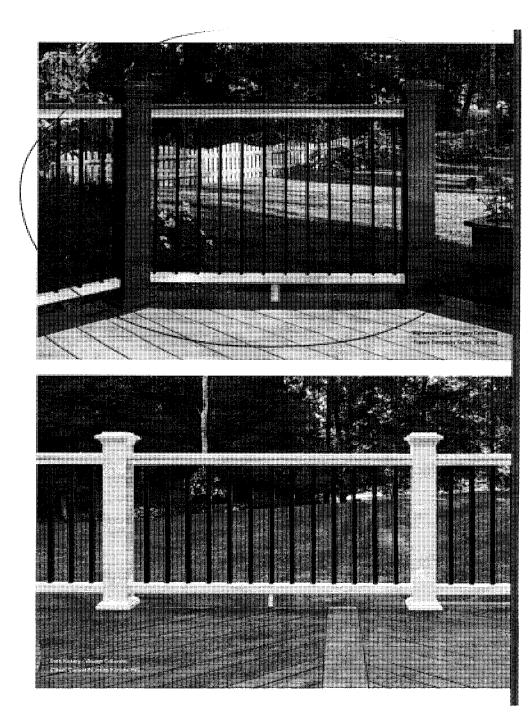
Required number of Balusters for Composite: 23 per 10' section, 18 per 8' section, 13 per 6' section, Required number of Balusters for Aluminum: 25 per 10' section, 20 per 8' section, 15 per 6' section,

POST SLEEVES, CAPS, SKIRTS

PRODUCT DESCRIPTION	TimberTech Item Number				
	WHITE	BLACK	MATTE WHITE	MATTE ESPRESSO	MATTE BLACK
POST SLEEVES	1				·ei-stakaga
4" x 4" x 39" Post Sleeve	AZT4X4PCV39W	AZT4X4PCV398	AZT4X4PCV39MW	AZT4X4PCV39ME	AZT4X4PCV39MB
4" x 4" x 96" Post Sleeve	A2T4X4PCV96W	AZT4X4PCV96B	AZT4X4PCV96MW	AZT4X4PCV96ME	AZT4X4PCV96MB
5" x 5" x 42" Post Sleeve	T5X5PCV42W	T5X5PCV42B	T5X5PCV42MW	T5X5PCV42ME	T5X5PCV42MB
5" x 5" x 144" Post Slave	T5X5PCVH4W	T5X5PCV144B	TSX5PCV42MW	T5X5PCV144ME	T5X5PCV144AAB
5.5" x 5.5" x 39" Post Sleeve	A55X55PCV39W	A55X55PCV39B	AS5X55PCV39MW	A55X55PCV39ME	A55X55PCV39M8
5.5" x 5.5" x 54" Post Sleeve	A55X55PCV54W	AS5XSSPCV548	A55X55PCV54MW	A55X55PCV54ME	ASSX55PCV54/AB
5.5" x 5.5" x 1.44" Post Sleeve	A55X55PCV144W	A55X55PCV144B	A55X55PCV144MW	A55X55PCV144ME	A55X55PCV144MB
POST CAPS AND SKIRTS	1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 -			ananasisisi a	16000.00
4" x 4" Post Cap	TX4X4PCAPW	TK4X4PCAPB	TX4X4PCAPMW	TX4X4PCAPME	TX4X4PCAPMB
4" x 4" Island Cap	TX4X4ICAPW	TX4X4ICAPB	TX4X4ICAPMW	TX4X4ICAPME	TX4X4ICAPMB
4" x 4" Post Skirt	AZT4X4PSKIRTW	AZT4X4PSKIRTB	AZT4X4PSKIRTMW	AZT4X4PSKIRTME	AZT4X4PSKIRTMB
5" x 5" Post Cap	T5X5PCAPW	TSX5PCAPB	T5X5PCAPMW	15X5PCAPME	T5X5PCAPM8
5" x 5" Post Skirt	TSXSPSKIRTW	T5X5PSKIRTB	TSXSPSKIRTMW	T5X5PSKIRTME	15X5PSKIRTMB
5.5" x 5.5" Pyramid Cap	ASSXSSPCAPW	A55X55PCAP8	A55X55PCAPMW	ASSXSSPCAPME	ASSX5SPC4PMB
5.5° x 5.5° Island Cap	ASSX5SICAPW	A55X55ICAPB	A55X55ICAPMW	A55X55ICAPME	ASSX55ICAPM8
5.5" x 5.5" Post Skirt	AS5X55PSKIRTW	A55X55PSKIRTB	A55X55PSKIRTMW	ASSXSSPSKIRTME	455X55PSKIRTMB

SUPPORT RAILS

PRODUCT DESCRIPTION		Timberlech Item Number		
	WHITE	BLACK	MATTE ESPRESSO	MATTE BLACK
CUSTOM SUPPORT RAILS - Laser-Etched for Aluminum Balusters				
8' Custom Support Rails	AZTSULKSR8W	AZTBULKSR8B	AZTBULKSR8ME	-
CUSTOM SUPPORT RAILS - Blank for 10' Bottom Support Ruls	and a second second second		and the second second	in the second
10' Custom Support Rails	AZTBULKUDSRIOW	AZTBULKUDSR10B	- 1	~
ALUMINUM SUPPORT RAILS - Drilled for Composite Balusters	and an		A ROMAN SAL	
10' Aluminum Support Rails	AZTBULKSRIOW	AZTBULKSR10B	-	-
CUSTOM ALUMINUM SUPPORT RAILS - Marked for Aluminum Bakasters		Station and the		
10' Custom Aluminum Support Rails	AZTBULKCUSTSRIGW	AZTBULKCUSTSRIDB	-	-



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000125

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 67 Crestview Drive PITTSFORD, NY 14534 Tax ID Number: 164.11-2-41 Zoning District: RN Residential Neighborhood Owner: Gmerek, Ronald Applicant: Gmerek, Ronald

Application Type:

- Residential Design Review
- §185-205 (B)
 Commercial Design Review
- §185-205 (B)
- Signage
- §185-205 (C) Certificate of App
- Certificate of Appropriateness §185-197
- Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation
- §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
 - §185-17 (L) (2)

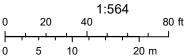
Project Description: Applicant is requesting design review for a 500 square foot covered patio off the rear of the home.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



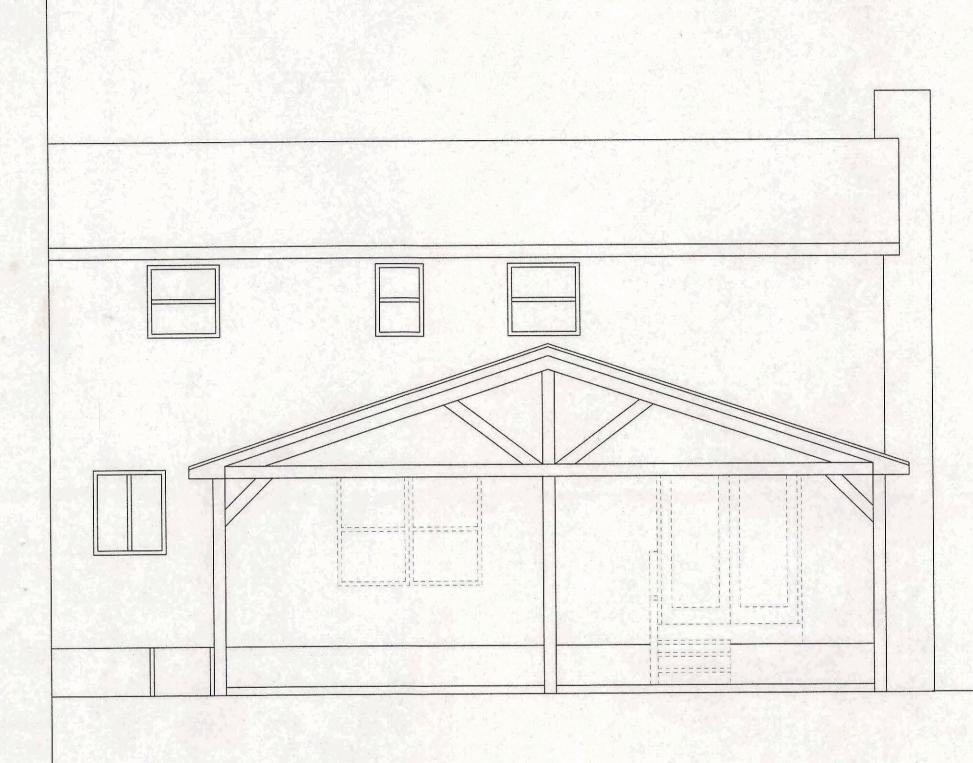
Town of Pittsford GIS

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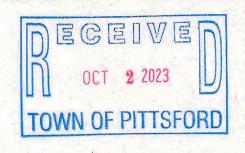




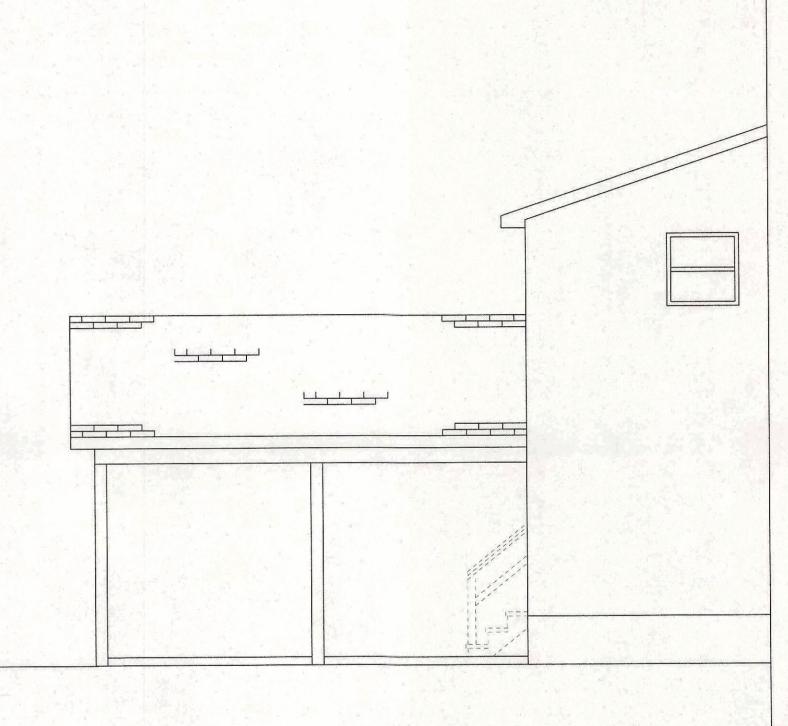
REAR ELEVATION



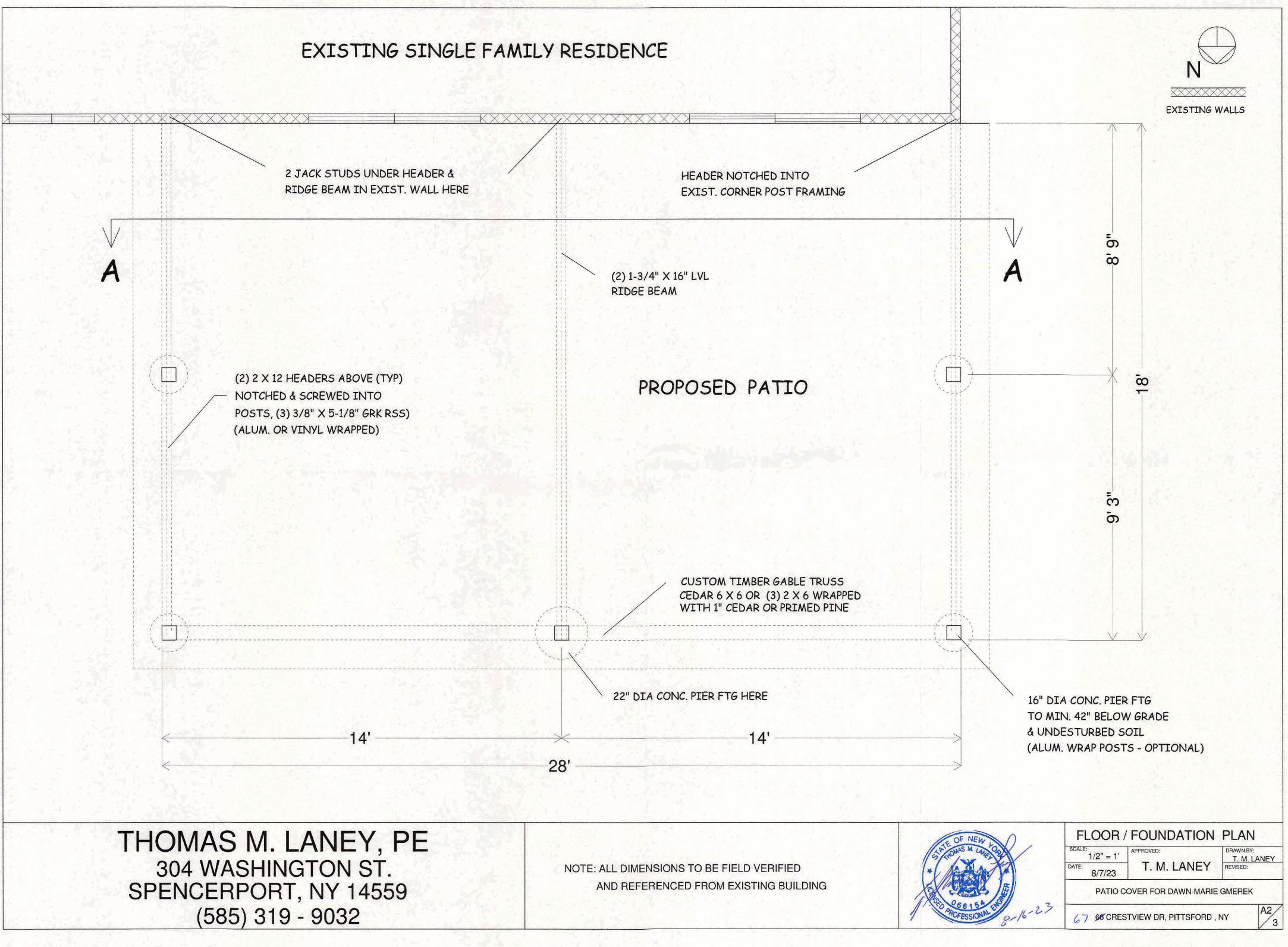
THOMAS M. LANEY, PE 304 WASHINGTON ST. SPENCERPORT, NY 14559 (585) 319 - 9032

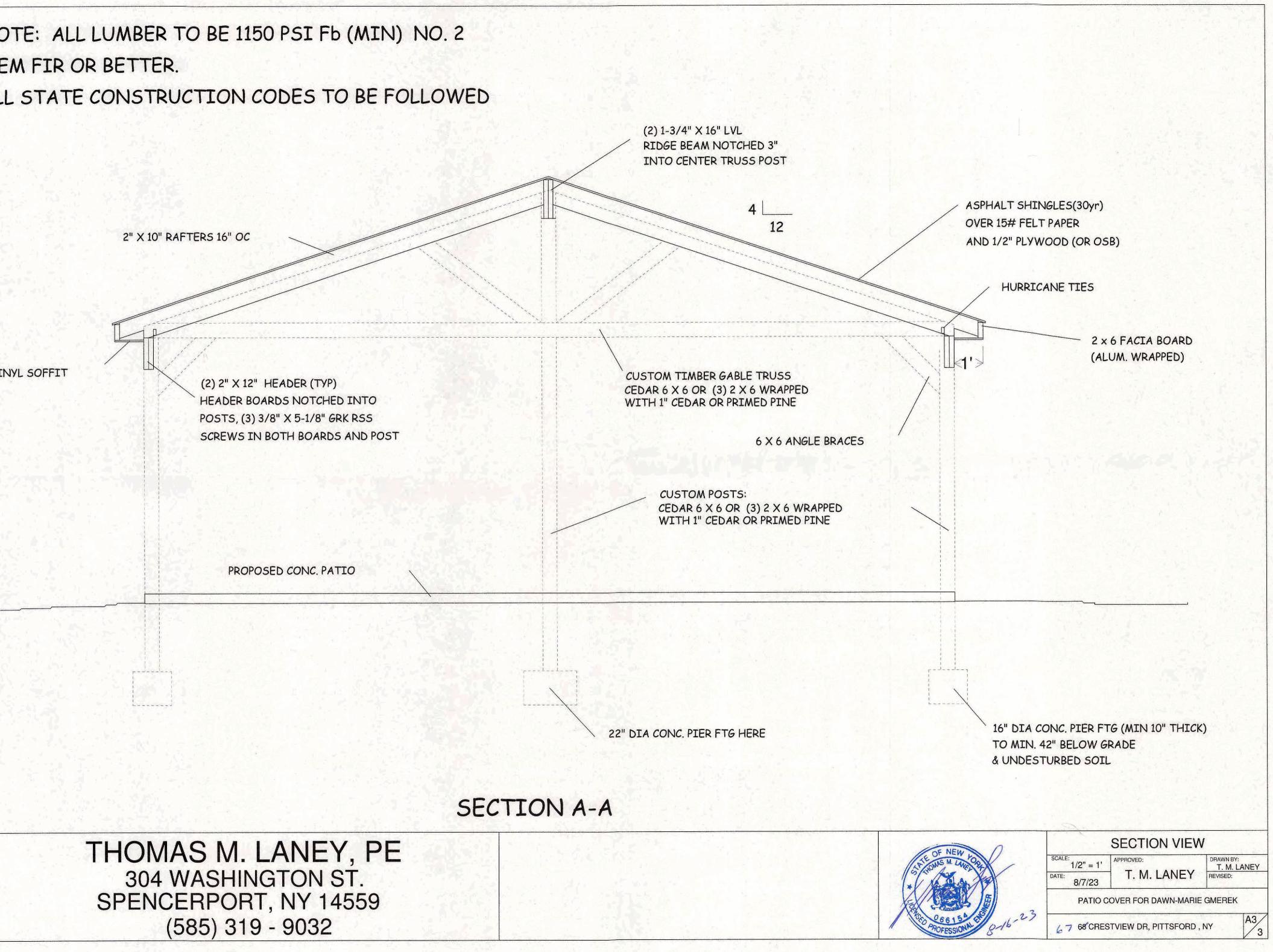


WEST ELEVATION



OF NEW L	ELEVATION VIEWS
* THE WAY AND THE PARTY	SCALE: APPROVED: DRAWN BY: 1/4" = 1' T. M. LANEY T. M. LANEY DATE: 8/7/23 T. M. LANEY
	PATIO COVER FOR DAWN-MARIE GMEREK





Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000126

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5 Bridleridge Farms	Pittsford, NY 14534
Tax ID Number: 191.01-1-82	
Zoning District:	
Owner:	
Applicant: Bridleridge Building Corp	

Application Type:

- Residential Design Review
- §185-205 (B)
 Commercial Design Review
- §185-205 (B)
- Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
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- Build to Line Adjustment
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- Corner Lot Orientation
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- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
 - §185-17 (L) (2)

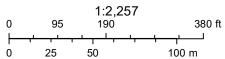
Project Description: Applicant is requesting design review for a two-story, 2,810 square foot single-family home in the Bridleridge Subdivision.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning

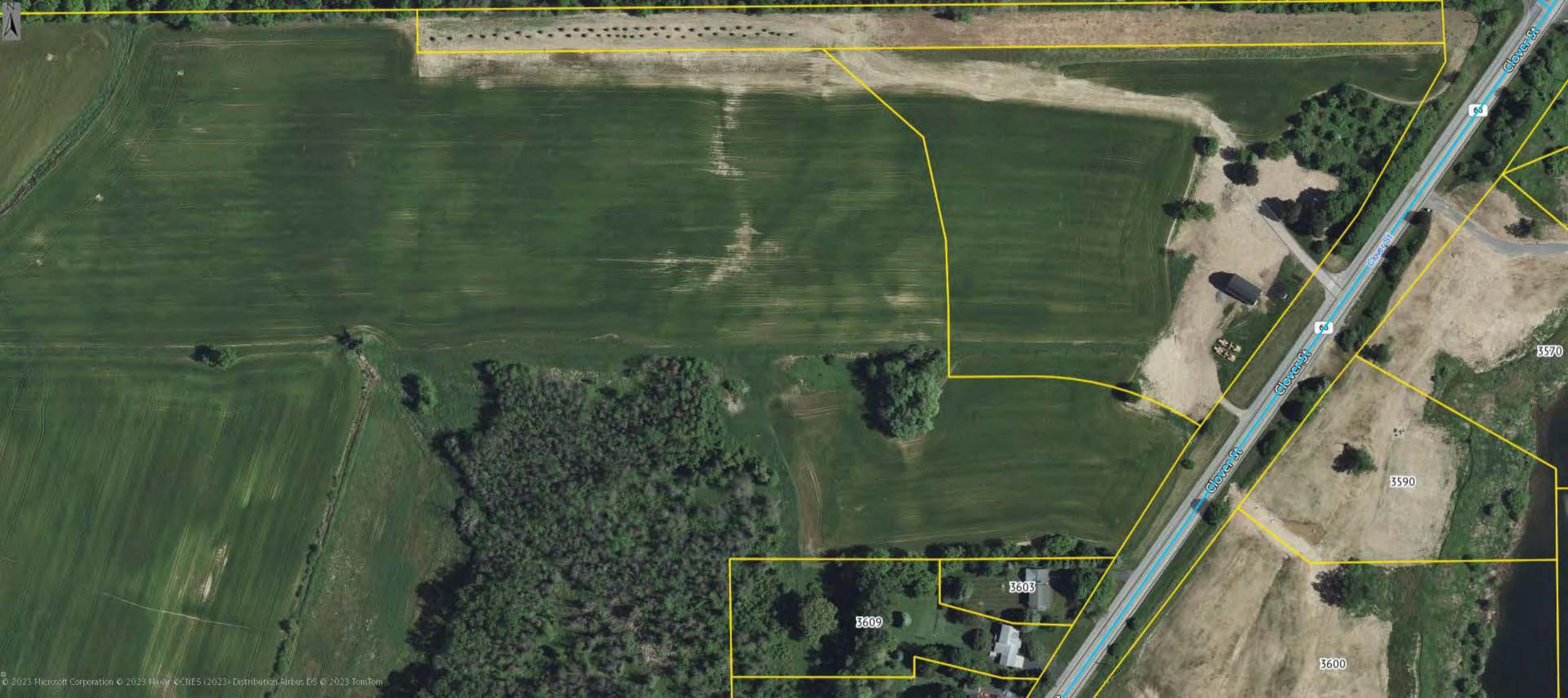


Printed October 5, 2023



Town of Pittsford GIS

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GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS). COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST

ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 15 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

- 1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
- 6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY) THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS: 1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa)

- BE TAPED OR OTHERWISE SEALED DURING THE TEST.

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F

SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

- APPLIED TO THE FOLLOWING:
- 1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- 3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE. 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- 5. PIPING LOCATED UNDER A FLOOR SLAB. 6. BURIED IN PIPING

7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE

2. PIPING SERVING MORE THAN ONE DWELLING UNIT.

THE NEWPORT / SPEC HOME LOT 1 BRIDLERIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 2810 / PROJECT 15420 J

SHEET INDEX

C-1 COVER SHEET

1/6 FRONT & LEFT ELEVATIONS

2/6 REAR & RIGHT ELEVATIONS

3/6 FOUNDATION PLAN

4/6 FIRST FLOOR PLAN

5/6 SECOND FLOOR & ROOF PLAN

6/6 SECTIONS

N-1 DETAILS

N-2 REINFORCING NOTES

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431. NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS. AND OUTDOOR COMBUSTION AIR WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE. builder assumes full responsibility for maintaining the structural integrity of joists. Beams or studs which ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS. STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL REINFORCED STEEL WIRE MESH LUMBER

PLYWOOD LVL, PSL, LSL

MASONRY MORTAR GROUT CONCRETE

BOLTS

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

IST FLOOR LIVING AREA LIVE LOAD 2ND FLOOR LIVING AREA LIVE LOAD 1ST & 2ND FLOOR DEAD LOAD GROUND SNOW LOAD ROOF DEAD LOAD ALLOWABLE SOIL BEARING WIND SPEED

SEISMIC DESIGN WEATHERING FROST LINE DEPTH TERMITE DAMAGE DECAY DAMAGE WINTER DESIGN TEMPERATURE ICE SHEILD UNDERLAYMENT

FLOOD HAZARD ROOF TIE DOWN REQUIREMENTS

ASTM A-36, Fy = 36 ksi ASTM A-615, Fy = 40 ksi

ASTM A-185, 6 x 6 - 10/10 W.W.M.

ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE

CDX, PANEL INDEX Fb = 2600 Fv = 285 $E \times 10^{6} - 1.9$ Fc¹ = 750

ASTM C90, GRADE N-1, Fm = 1350 PSI ASTM C270, TYPE S

Fc = 2000 PSI ASTM C476

Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS ASTM A307, Fy - 33 KSI

ADJACENT COUNTIES)

40 P.S.F.

30 P.S.F.

15 P.S.F.

40 P.S.F.

10 P.S.F.

CATEGORY B

42 INCHES

SEVERE

DESIGNATION FOR STRUCTURAL.

COMPONENTS THAT ARE OF

TRUSS CONSTRUCTION

1 DEGREE REQUIRED 24" INSIDE OF EXTERIOR WALL LINE FIRM - 2008 R802.11, BASED UPON SPECIFIC ROOF DESIGN

2500 P.S.F. AT MINIMUM

115 MPH, EXPOSURE B

SLIGHT TO MODERATE

NONE TO SLIGHT

42" BELOW FINISHED GRADE

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION. — 6" DIAMETER -- TYPE V WOOD FRAME CONSTRUCTION BASED ON SECTION 602 OF THE 2020 BCNYS - REFLECTIVE RED PANTONE (PMS) #187 - REFLECTIVE WHITE 1/2" STROKE

FLOOR FRAMING, INC.

GIRDERS & BEAMS

"FR" | FLOOR & ROOF FRAMING

ROOF FRAMING

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3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

www.greaterliving.com

REVISIONS:				
DATE	BY	DESCRIPTION		

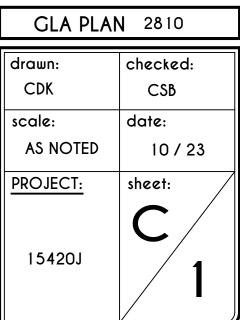
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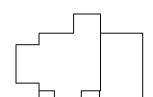
THE NEWPORT - SPEC LOT 1 BRIDLERIDGE PITTSFORD, NY

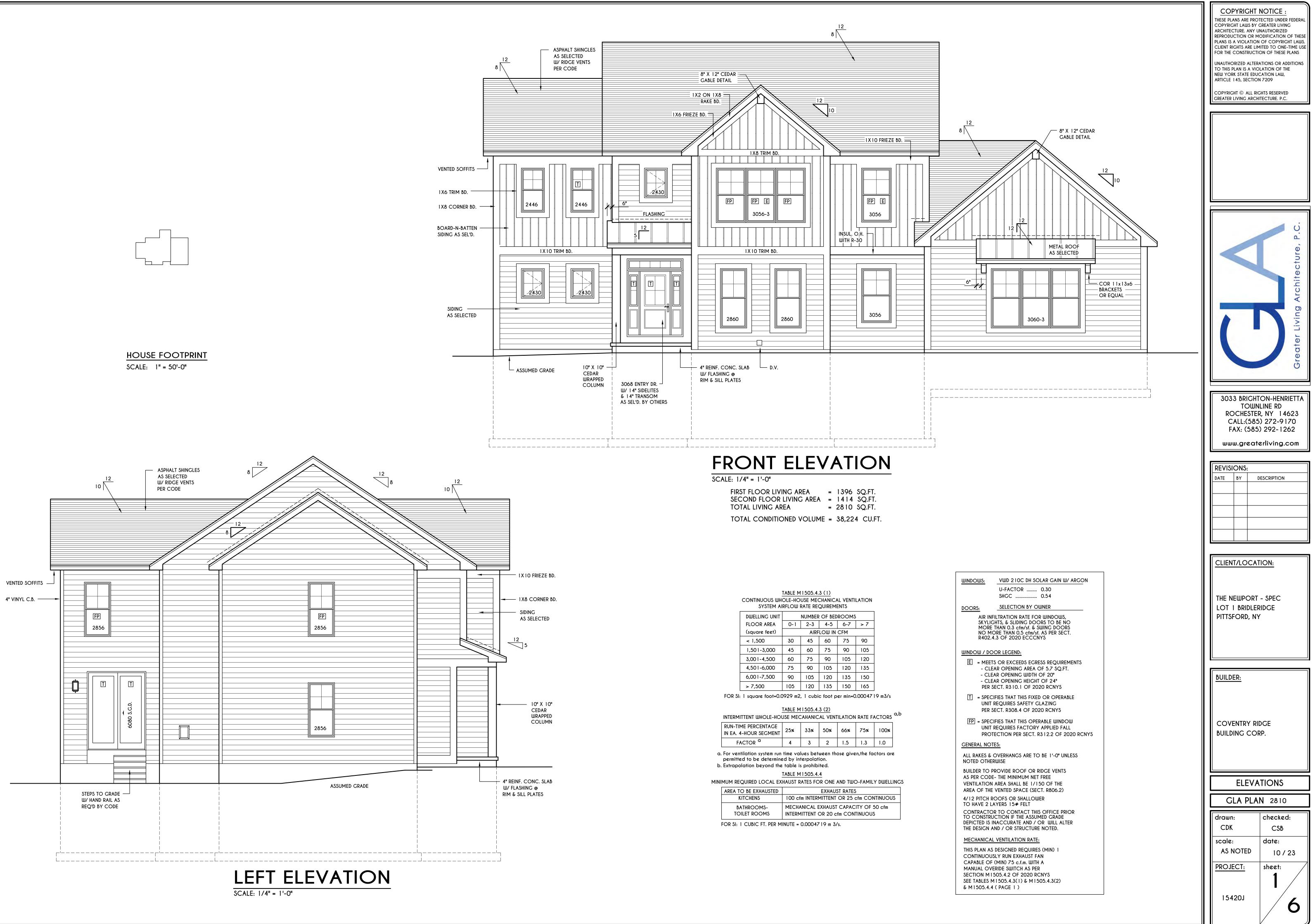
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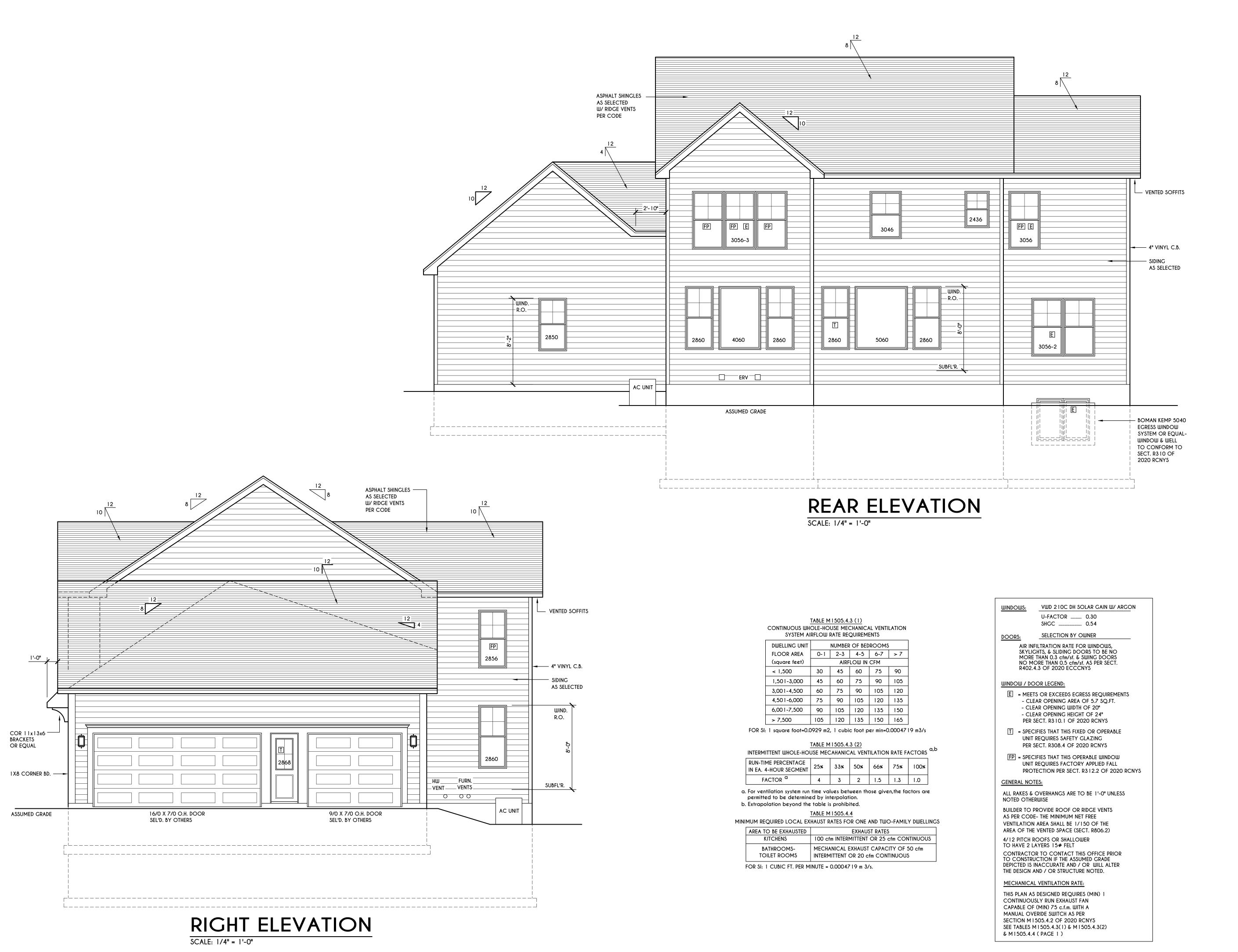
COVENTRY RIDGE BUILDING CORP.

COVER PAGE









GREATER LIVING ARCHITECTURE. P.C. 3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com **REVISIONS:** DATE BY DESCRIPTION CLIENT/LOCATION: THE NEWPORT - SPEC LOT 1 BRIDLERIDGE PITTSFORD, NY BUILDER: COVENTRY RIDGE BUILDING CORP. ELEVATIONS GLA PLAN 2810 drawn: checked: CDK CSB scale: date: AS NOTED 10/23 PROJECT: sheet:

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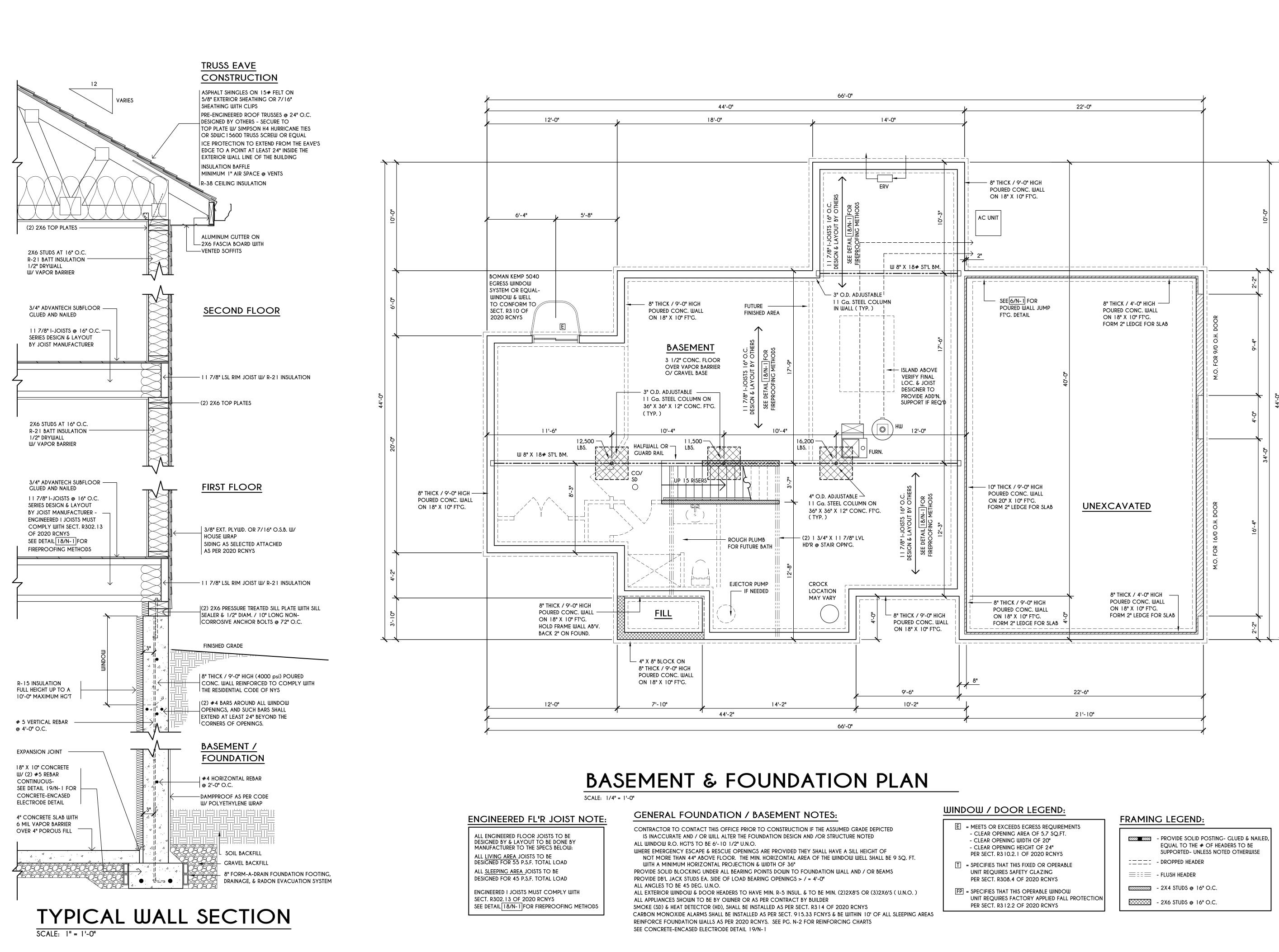
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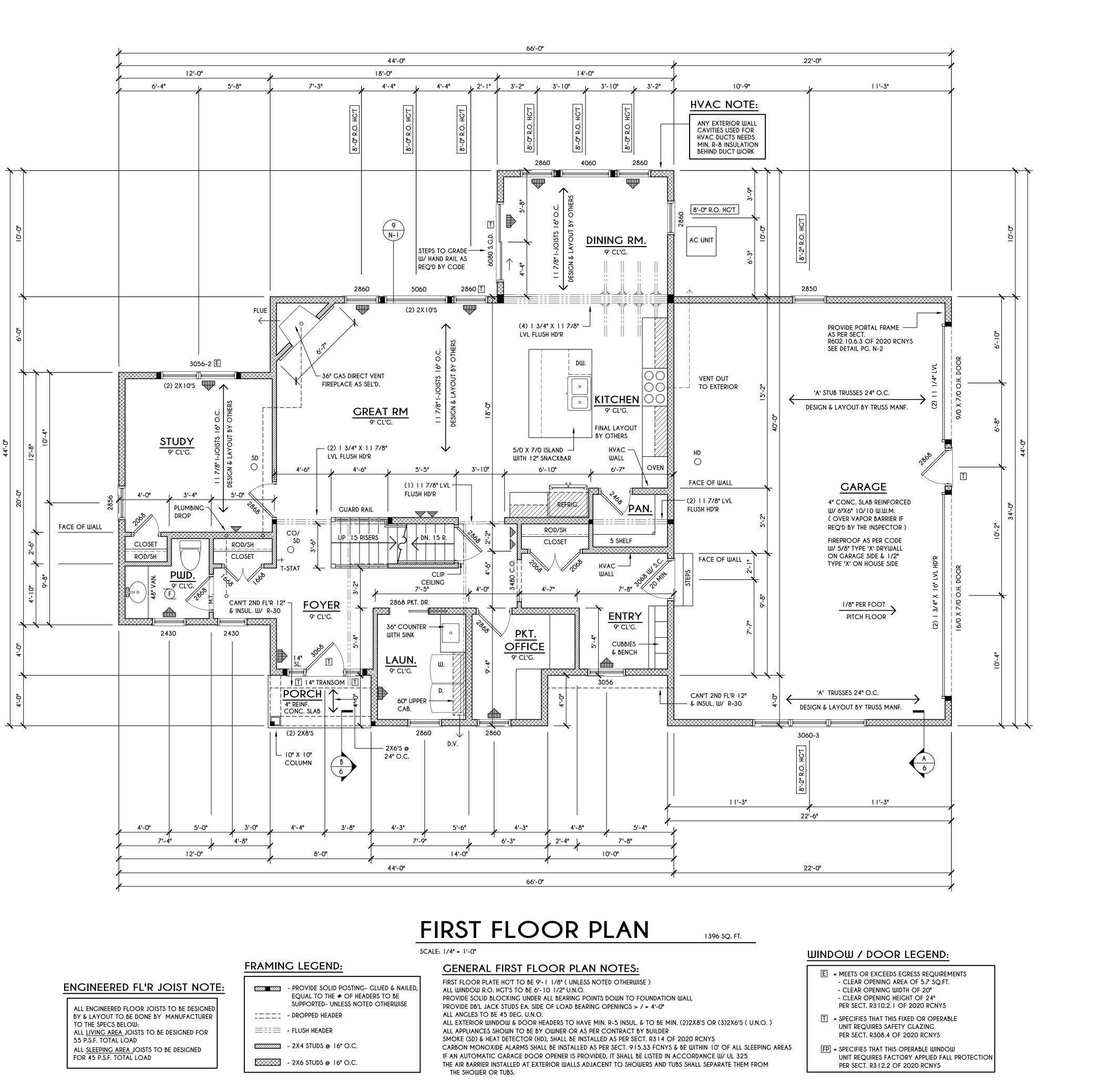
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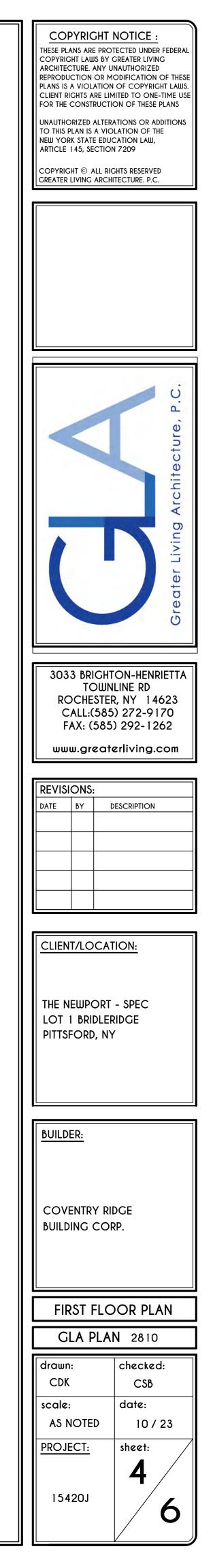
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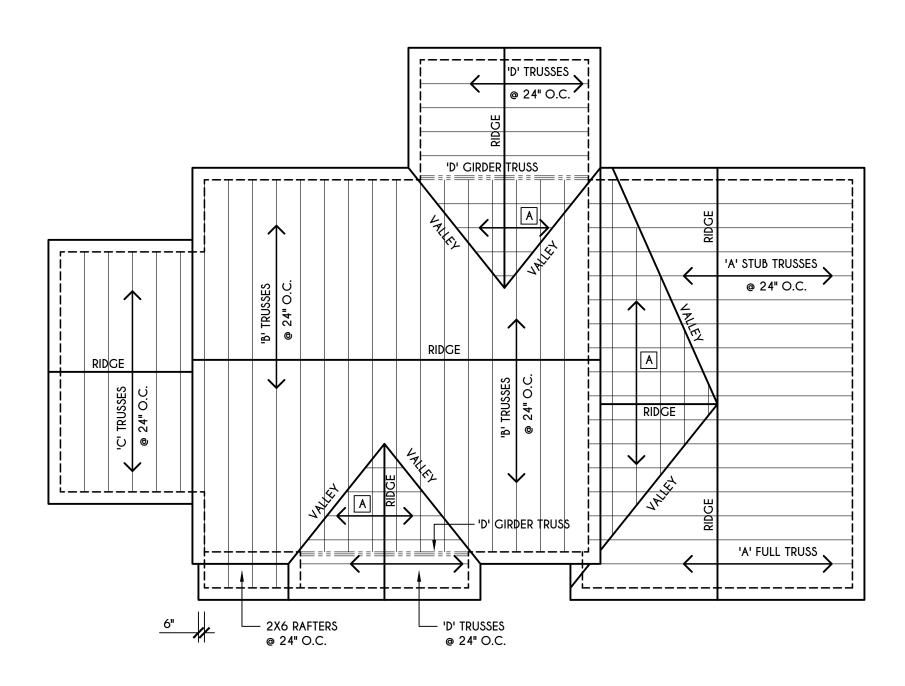
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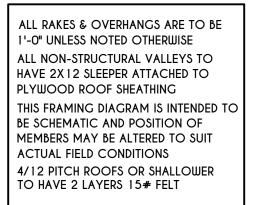
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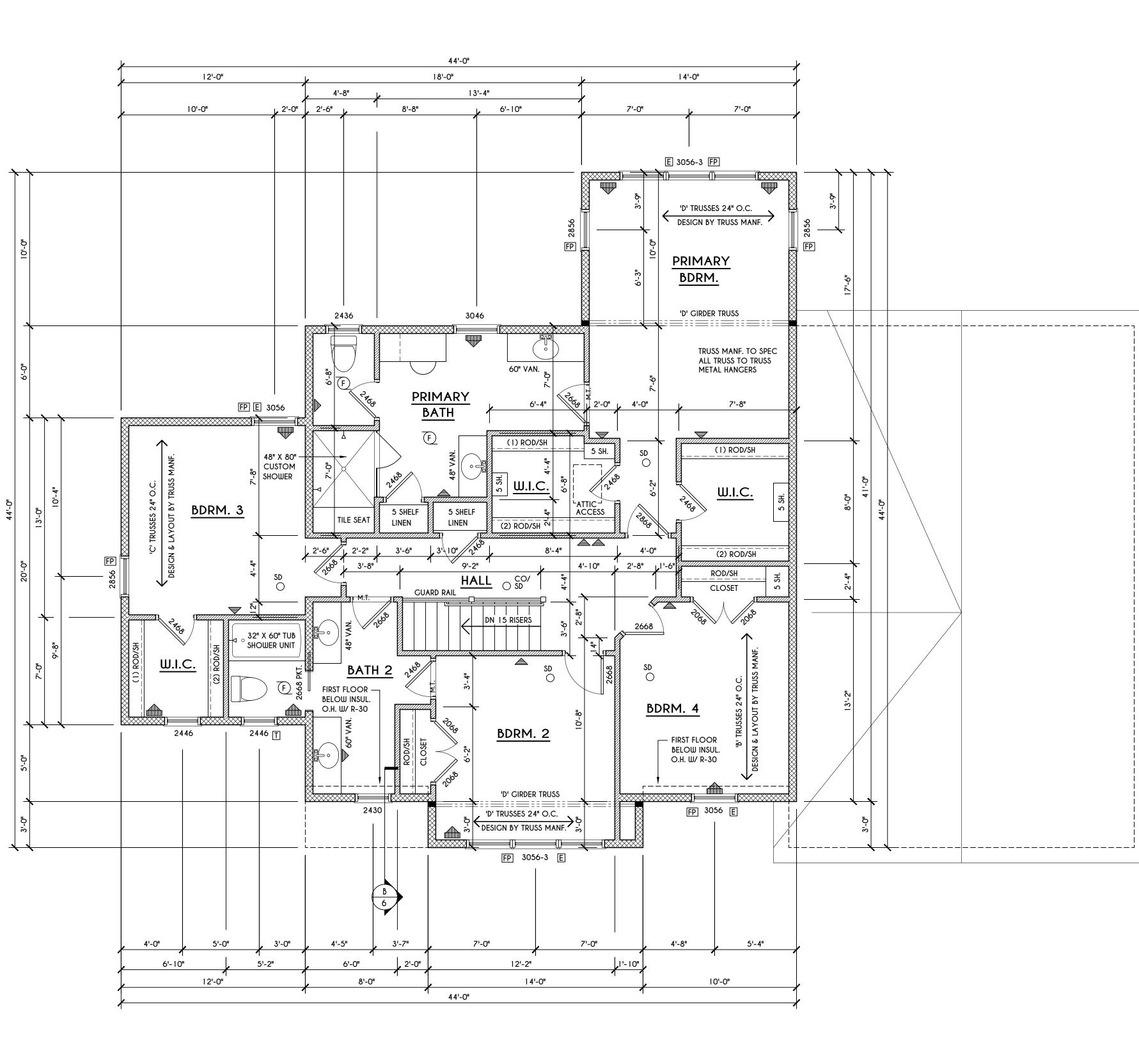


GENERAL ROOF NOTES:





SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN 1414 SQ.FT.

FRAMING LEGEND:

	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
:===:	- DROPPED HEADER
$\equiv = =$	- FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HG'T TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE) ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O. PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O. ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)

ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS

CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS. E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 CLEAR OPENING AREA OF 5.7 SQ.FT.
 CLEAR OPENING WIDTH OF 20"
 CLEAR OPENING HEIGHT OF 24"
 PER SECT. R3 10.2.1 OF 2020 RCNYS

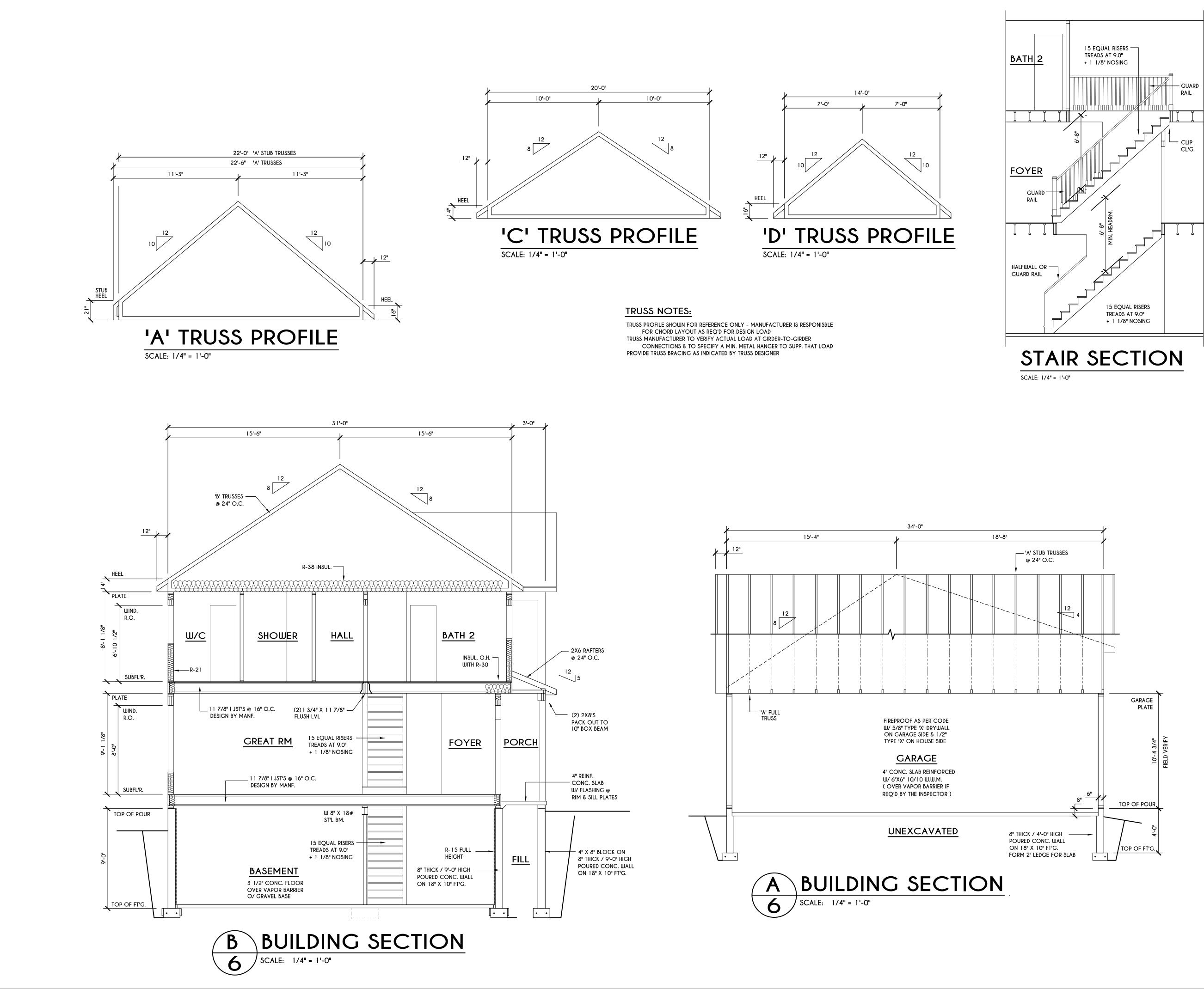
UNIT RE PER SE P = SPECIF

WINDOW / DOOR LEGEND:

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS





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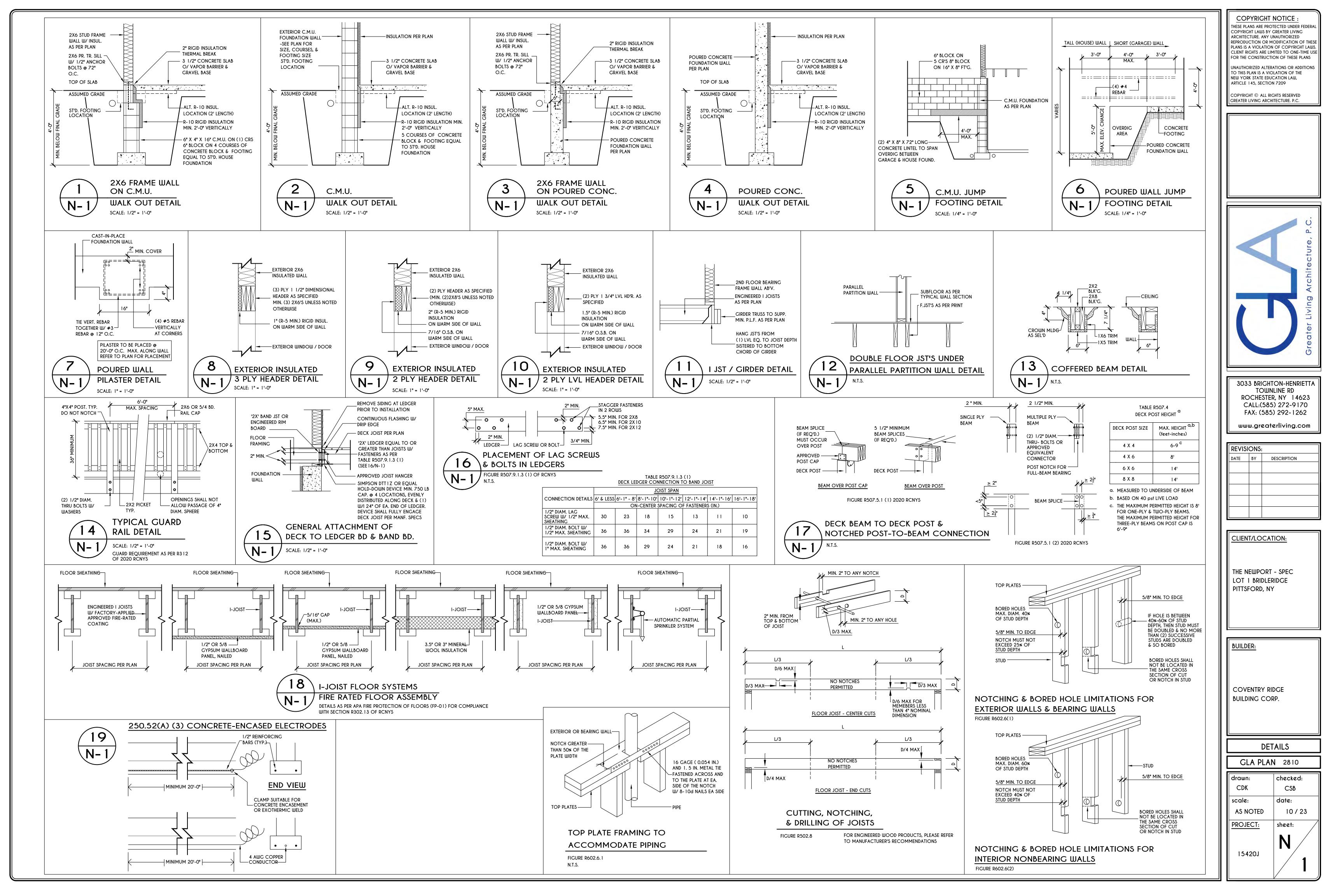


TABLE R404.1.1(2)

	8-INCH	MASONRY FOUNDATION WA	LLS WITH REINFORCING WHERE d	> 5 INCHES ^{a, c, f}	
		MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
			SOIL CLASSES AND LATERAL SOIL LOAD d (psf PER FOOT BELOW GRADE)		
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]			SC, MH, ML-CL AND INORGANIC CL SOILS 60	
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.	
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.	
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.	
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.	
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.	
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.	
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.	
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.	
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.	
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.	
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.	
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.	
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.	
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.	
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.	
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.	
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.	

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D 1 AND D2

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR

MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1. e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN

INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED. f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

TU-INCH MASONRY FOUNDATION WALLS WITH REINFOL				
		MINIMUN	1 VERTICAL REINFORCE	
		SOIL CLASSE	ES AND LATERAL SOIL LO	
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND M 45	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND. b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2. c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1. e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

CONCRETE SLAB IS PERMITTED. f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

	TABLE	R 402.4.1.1	_
AIR BARRIER	AND	INSULATION	INSTALLATIO

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRIT		
	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.			
GENERAL REQUIREMENTS	THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.		
	BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.			
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING /		
	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.		
	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL		
WALLS	THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED.	RESISTANCE OF R-3 PER INCH MINIMUM.		
	KNEE WALLS SHALL BE SEALED.	WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.		
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.			
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.		
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATIO INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.		
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.		
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.			
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.		
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.			
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.		
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND W AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT (INSTALLATION READILY CONFORMS TO AVAILABLE SPACE S EXTEND BEHIND PIPING AND WIRING.		
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.		
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.			
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.			
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.			

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES a, c, fORCEMENT AND SPACING (INCHES) b, c SOIL LOAD ^d (psf PER FOOT BELOW GRADE) AND ML SOILS SC, MH, ML-CL AND INORGANIC CL SOILS #4 @ 56" O.C #4 @ 56" O.0 #5 @ 56" O.0 0.C. #4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C #6 @ 56" O.C 0.C. #4 @ 56" O.C. O.C. #4 @ 56" O.C. O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C. O.C. #4 @ 56" O.C. #4 @ 56" O.C #5 @ 56" O.C #6 @ 56" O.C #6 @ 32" O.C #4 @ 56" O.C. 0.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 40" O.C #6 @ 24" O.C. O.C.

#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C #6 @ 48" O.C #6 @ 40" O.C #6 @ 24" O.C #6 @ 24" O.C

|--|

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES a, c, f							
		MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}					
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)					
UALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60			
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.			
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4@72"O.C.	#4 @ 72" O.C.			
	5'	#4 @ 72" O.C.	#4@72"O.C.	#4 @ 72" O.C.			
	6'	#4 @ 72" O.C.	#4@72"O.C.	#5 @ 72" O.C.			
	7'-4"	#4 @ 72" O.C.	#5@72"O.C.	#6 @ 72" O.C.			
8'-O"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.			
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.			
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.			
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.			
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.			
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.			
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.			
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.			
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.			
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.			
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.			
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.			
	7'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.			
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.			
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.			
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.			

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR

MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1. e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN

INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS b, c, d, e, f, h, i, k, n, o													
		MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches)											
			SOIL CLASSES ^a AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH)										
	MAXIMUM UNBALANCED	GL	IJ, GP, SW, /				, GS, SM-S0					NORGANIC	CL
MAXIMUM	BACKFILL		30				45				60		
WALL HEIGHT (FEET)	HEIGHT ^g (FEET)						IICKNESS (
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
_	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR ¹	NR	NR	#4@35"	NR ¹	NR	NR
	6	NR	NR	NR	NR	#5@48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
'	6	NR	NR	NR	NR	#5@42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR ¹	NR
	7	#5 @ 46"	NR	NR	NR	#6@42"	#5@46"	NR ¹	NR	#6@34"	#6 @ 48"	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@38"	NR ¹	NR	NR	#5 @ 43"	NR	NR	NR
8	6	#4 @ 37"	NR ¹	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR ¹	NR
	7	#5@40"	NR	NR	NR	#6 @ 37"	# 5@41"	NR ¹	NR	#6@34"	#6 @ 43"	NR	NR
	8	#6@43"	#5@47"	NR ¹	NR	#6@34"	#6@43"	NR	NR	#6 @ 27"	#6@32"	#6@44"	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@35"	NR ¹	NR	NR	#5 @ 40"	NR	NR	NR
9	6	#4@34"	NR ¹	NR	NR	#6@48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR ¹	NR
	7	#5 @ 36"	NR	NR	NR	#6@34"	#5@37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR ¹
	8	#6 @ 38"	#5@41"	NR	NR	#6 @ 33"	#6 @ 38"	# 5 @ 37"	NR ¹	#6@24"	#6 @ 29"	#6@39"	#4 @ 48" ^m
	9	#6@34"	#6@46"	NR	NR	#6 @ 26"	#6 @ 30"	#6@41"	NR	#6@19"	#6@23"	#6 @ 30"	#6@39"
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@33"	NR ¹	NR	NR	#5 @ 38"	NR	NR	NR
10	6	#5@48"	NR ¹	NR	NR	#6 @ 45"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6@48"	NR	NR	#6 @ 30"	#6 @ 35"	-	NR ¹
	8	#6@34"	#5@38"	NR	NR	#6 @ 30"	#6@34"	#6@47"	NR ¹	#6 @ 22"			#6@45" ^m
	9	#6 @ 34"	#6@41"	#4 @ 48"	NR ¹		#6 @ 27"		#4 @48" ⁿ	DR	#6 @ 22"	#6 @ 27"	#6@34"
	10	#6 @ 28"	#6@33"	#6@45"	NR	DR ^j	#6@23"	#6@29"	#6@38"	DR	#6 @ 22"	#6 @ 22"	#6@28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1. b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9) d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER. e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES. f. INTERPOLATION IS NOT PERMITTED. g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING. h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

ON

N CRITERIA ME WALLS R FRAMED NTACT ARRIER. INSTALLED JNDERSIDE CAVITY NTACT WITH S INSULATION

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R401.4 SOIL TESTS

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION. IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1

WALL HEIC

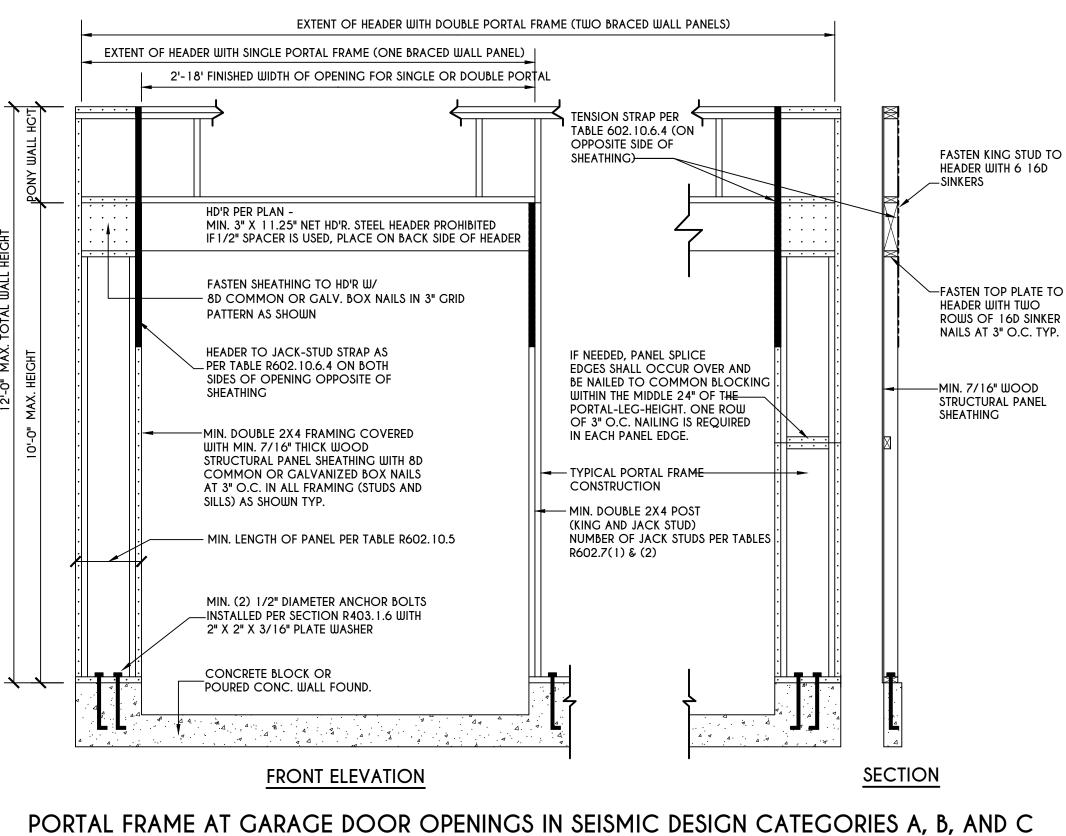
SHALL BE ASSUMED. TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS			
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)		
CRYSTALLINE BEDROCK	12,000		
SEDIMENTARY & FOLIATED ROCK	4,000		
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000		
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000		
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b		

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS. b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

SP SANDS, LITTLE OR NO FINES GM SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES SM SILTY SAND, SAND-SILT MIXTURES GC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS & ORGANIC SILTS SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS		
GW SAND MIXTURES, LITTLE OR NO FINES GP POORLY GRADED CRAVELS OR GRAVEL SAND, LITTLE OR NO FINES SW WELL-CRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES SP POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES GM SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES GC CLAYEY GRAVELS, GRAVEL-SAND-SILT MIXTURES GC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS & ORGANIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	CLASSIFICATION	
GP GRAVEL SAND, LITTLE OR NO FINES SW WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES SP SANDS, LITTLE OR NO FINES SP SANDS, LITTLE OR NO FINES SILTY GRAVELS, GRAVEL-SANDS OR GRAVELLY SM SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES SM SC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS & ORGANIC SILTS OL ORGANIC SILTS & ORGANIC SILTY OL ORGANIC SILTS & ORGANIC SILTY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	GΨ	SAND MIXTURES, LITTLE OR NO FINES
SW SANDS, LITTLE OR NO FINES SP POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES GM SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES SM SILTY SAND, SAND-SILT MIXTURES GC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	GP	
SP SANDS, LITTLE OR NO FINES GM SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES SM SILTY SAND, SAND-SILT MIXTURES GC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS & ORGANIC SILTS SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	SW	
CM MIXTURES SM SILTY SAND, SAND-SILT MIXTURES GC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GC CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES SC CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	GM	
GC MIXTURES SC CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	SM	SILTY SAND, SAND-SILT MIXTURES
SC MIXTURES ML INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
ML ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY CL INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	SC	
CL MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS CH INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	ML	ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH
MH INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	CL	MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN
MH DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS OL ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	СН	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
OL CLAYS OF LOW PLASTICITY OH ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	MH	DIATOMACEOUS FINE SANDY OR
HIGH PLASTICITY, ORGANIC SILTS	OL	
PT PEAT & OTHER HIGHLY ORGANIC SOILS	ОН	
	PT	PEAT & OTHER HIGHLY ORGANIC SOILS



SCALE: N.T.S. FIGURE R602.10.6.3

TABLE R404.1.2(8)

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318. K. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m. I. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI. n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS. o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

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PROJECT:

15420J

sheet:

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Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000130

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 7 Bridleridge Farms	Pittsford, NY 14534
Tax ID Number: 191.01-1-81	
Zoning District:	
Owner:	
Applicant: Bridleridge Building Corp	

Application Type:

- Residential Design Review
- §185-205 (B)
 Commercial Design Review
- §185-205 (B)
- Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation
- §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
 - §185-17 (L) (2)

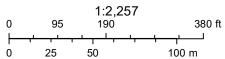
Project Description: Applicant is requesting design review for a two-story, 3,088 square foot single-family home in the Bridleridge Subdivision.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning

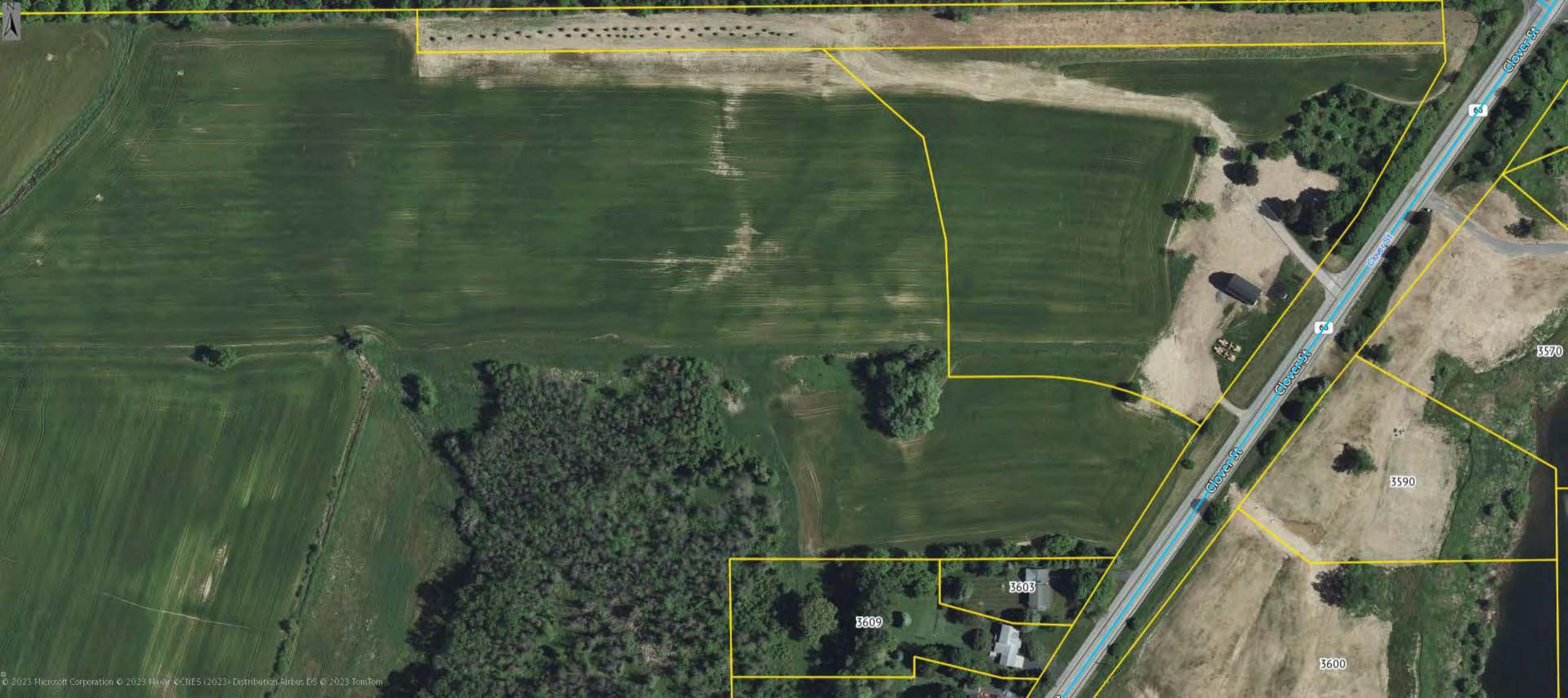


Printed October 5, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW. ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED BY OUR FIRM AND INCLUDED AS THE LAST PAGE OF THE RESCHECK SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN

ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING.THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. **DURING TESTING:**

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.

- 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF. 6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USINC TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-6. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS: 1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa)

ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F

SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- 1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- 3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- 5. PIPING LOCATED UNDER A FLOOR SLAB.
- 6. BURIED IN PIPING

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

SPEC HOUSE LOT 2 BRIDLERIDGE FARMS PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 3084 / PROJECT 15381 C

SHEET INDEX

C-1 COVER SHEET

1/6 FRONT & RIGHT SIDE ELEVATIONS

2/6 REAR & LEFT SIDE ELEVATIONS

- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

2. PIPING SERVING MORE THAN ONE DWELLING UNIT.

4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.

7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

FOUNDATION:

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL, ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

DIRECT VENT GAS FIREPLACE UNIT TO BE SELECTED BY OWNER AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM 3-2X6 OR 2-2X8 HEADER UNLESS NOTED OTHERWISE. BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

STAIRWAY GUARD REQUIREMENTS:

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. AS PER SECTION 312.1.1 OF THE 2020 RCNYS.

REQUIRED GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. AS PER SECTION 312.1.2 OF THE 2020 RCNYS.

WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF THE STAIRS, THE TOP OF THE GUARD SHALL BE NO LOESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. AS PER SECTION 312.1.2 OF THE 2020 RCNYS. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL

REINFORCED STEEL WIRE MESH LUMBER

PLYWOOD LVL, PSL, LSL

MASONRY MORTAR GROUT CONCRETE

BOLTS

ASTM A-36, Fy = 36 ksiASTM A-615, Fy = 40 ksi ASTM A-185, 6 x 6 - 10/10 W.W.M.

ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE

CDX, PANEL INDEX Fb = 2600 Fv = 285 E x 10⁶- 1.9 Fc[⊥] = 750 ASTM C90, GRADE N-1, Fm = 1350 PSI ASTM C270, TYPE S Fc = 2000 PSI ASTM C476 Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)

ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

30 P.S.F.

15 P.S.F.

40 P.S.F.

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO 40 P.S.F. 1ST FLOOR LIVING AREA LIVE LOAD

2ND FLOOR LIVING AREA LIVE LOAD 1ST & 2ND FLOOR DEAD LOAD GROUND SNOW LOAD ROOF DEAD LOAD ALLOWABLE SOIL BEARING WIND SPEED

SEISMIC DESIGN WEATHERING FROST LINE DEPTH TERMITE DAMAGE DECAY DAMAGE WINTER DESIGN TEMPERATURE ICE SHEILD UNDERLAYMENT

FLOOD HAZARD ROOF TIE DOWN REQUIREMENTS 10 P.S.F. 2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE 115 MPH, EXPOSURE B CATEGORY B

SEVERE 42 INCHES SLIGHT TO MODERATE

NONE TO SLIGHT 1 DEGREE

REQUIRED 24" INSIDE OF EXTERIOR WALL LINE FIRM - 2008

R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

— 6" DIAMETER -- TYPE V WOOD FRAME CONSTRUCTION BASED ON SECTION 602 OF THE 2020 BCNYS - REFLECTIVE RED PANTONE (PMS) #187 - REFLECTIVE WHITE ER 1/2" STROKE FLOOR FRAMING, INC. DESIGNATION FOR STRUCTURAL GIRDERS & BEAMS COMPONENTS THAT ARE OF TRUSS CONSTRUCTION "R" | ROOF FRAMING

|"FR" | FLOOR & ROOF FRAMING|

3033 BRIGHTON-HENRIETTA TOWNLINE RD

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DATE BY DESCRIPTION

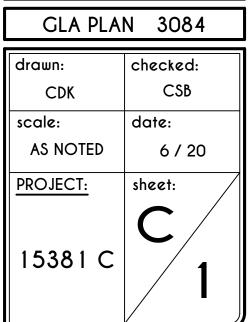
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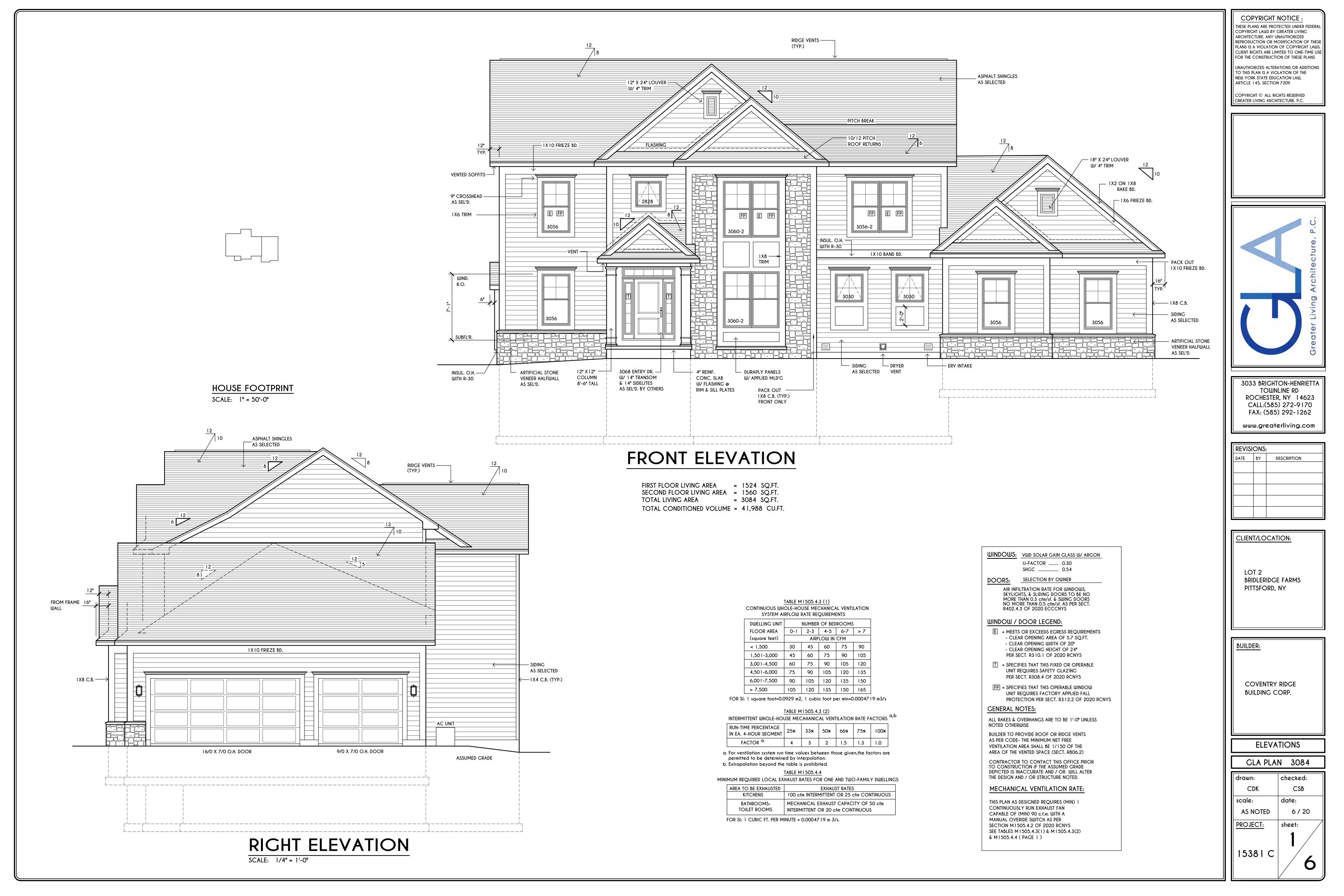
LOT 2 BRIDLERIDGE FARMS PITTSFORD, NY

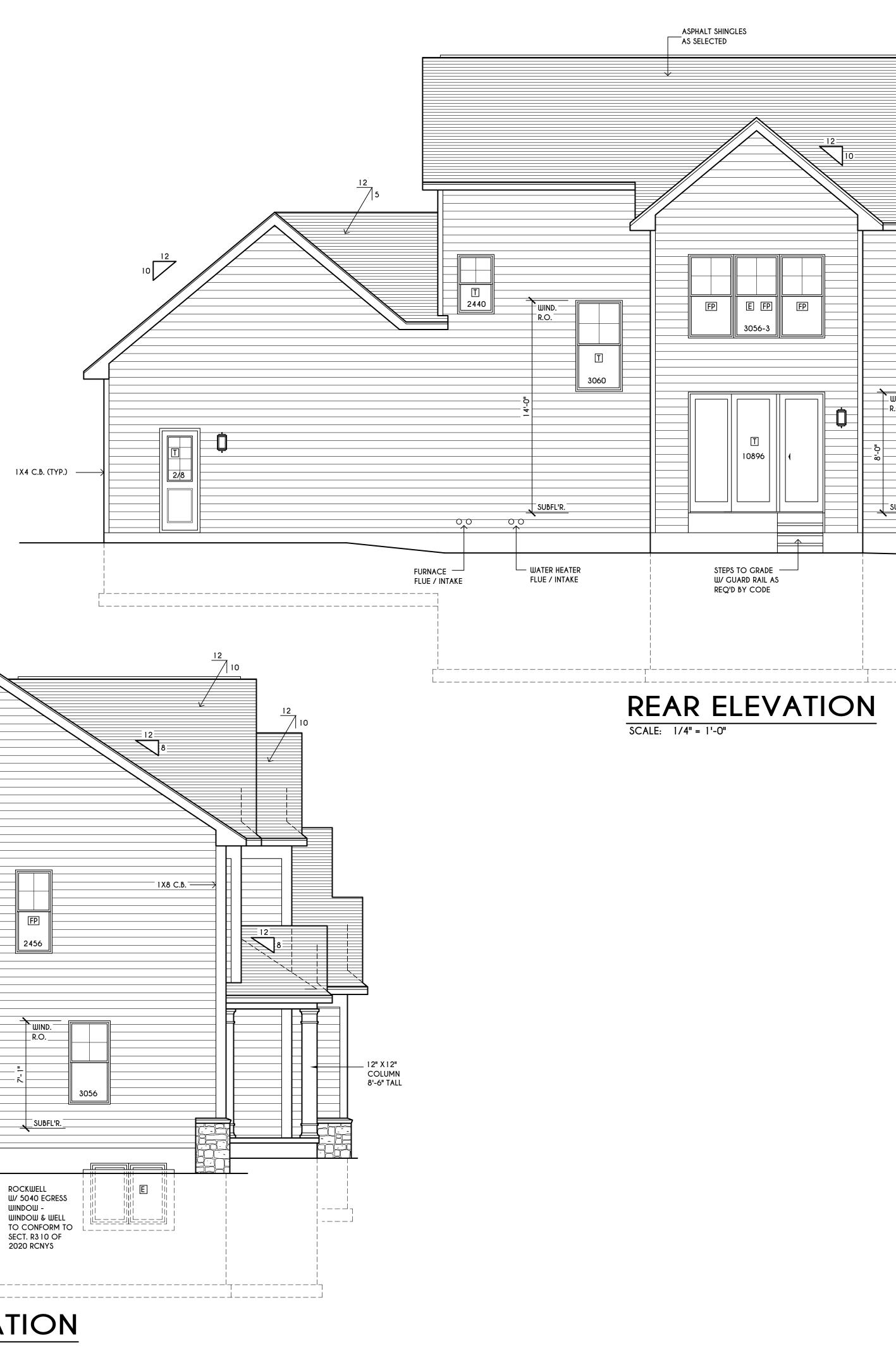
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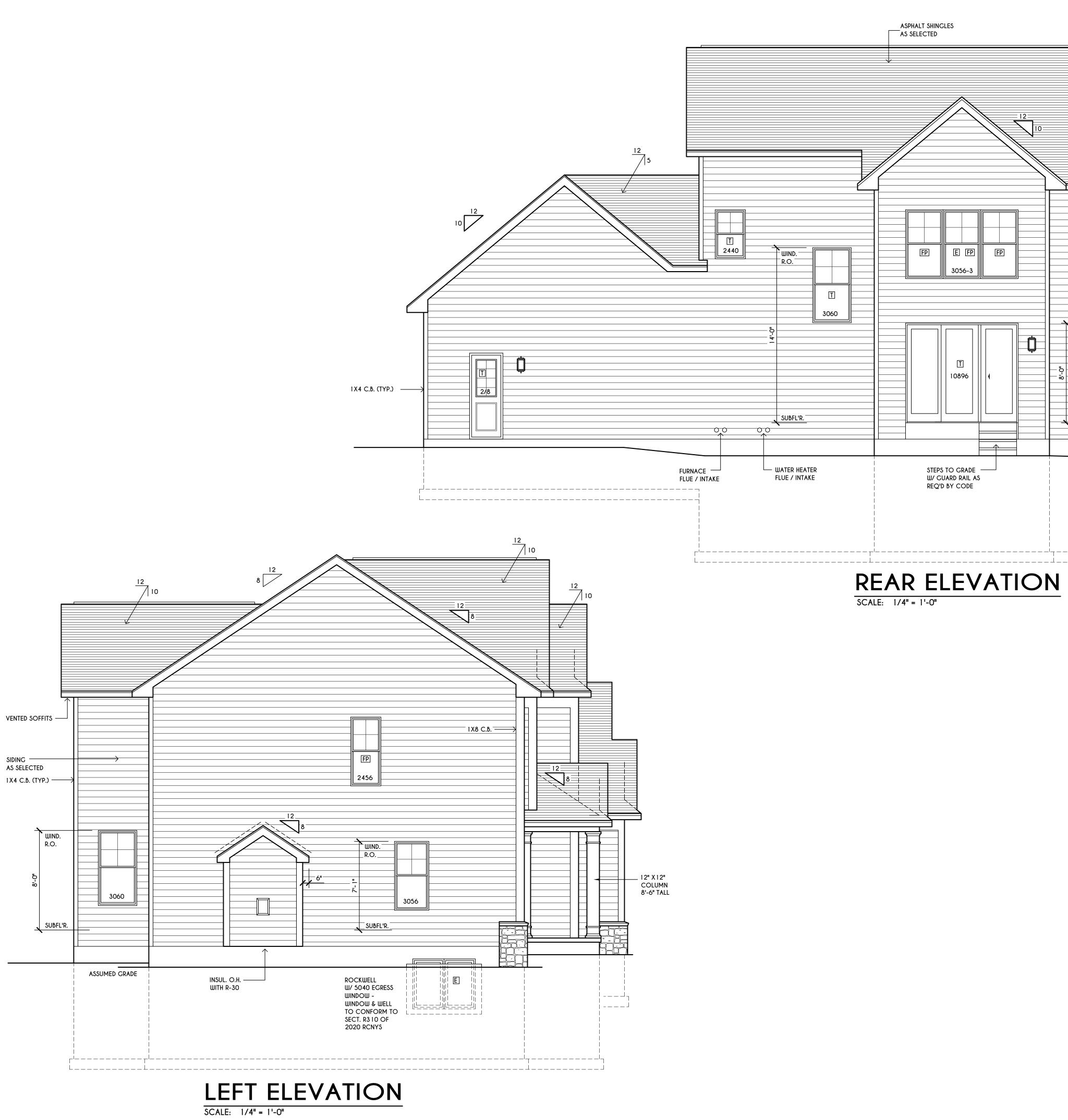
COVENTRY RIDGE BUILDING CORP.

COVER PAGE



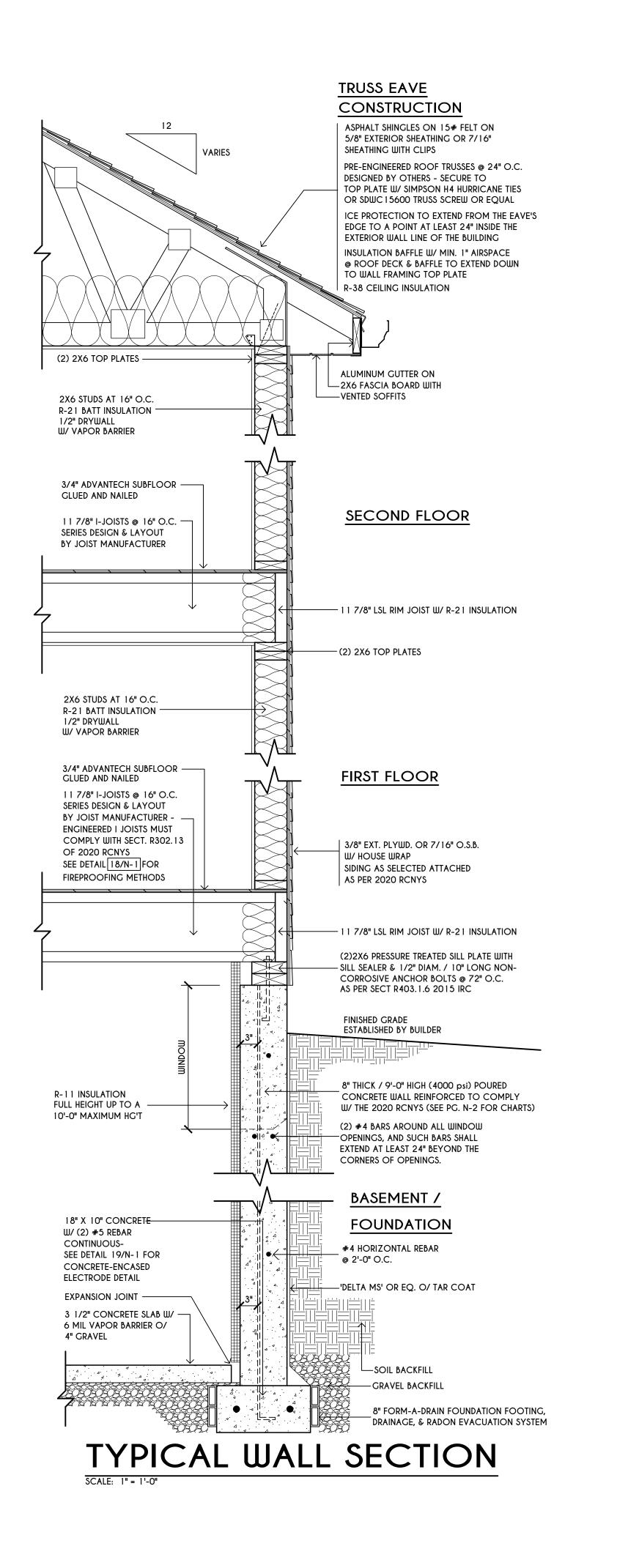


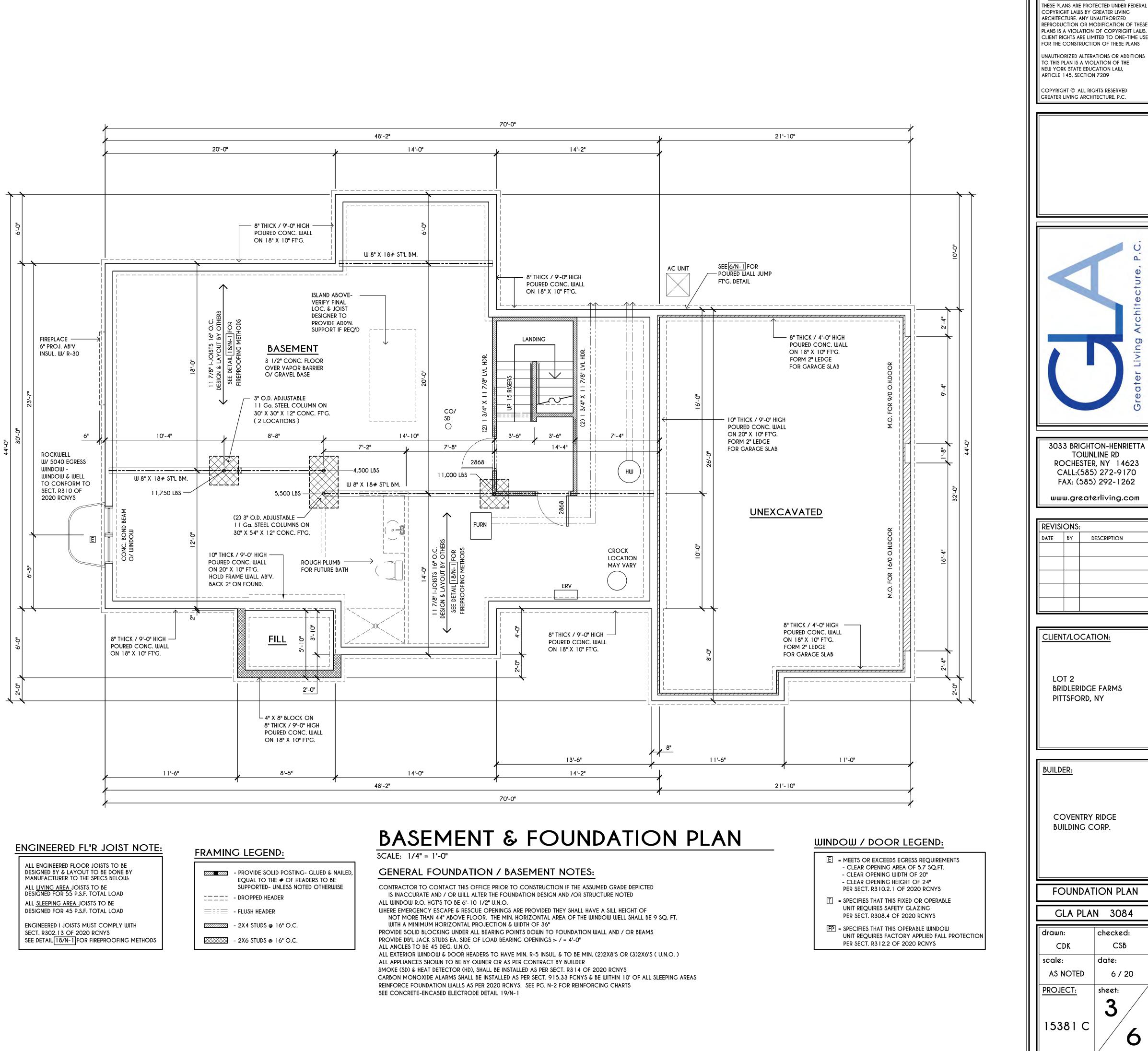




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	DATE BY DESCRIPTION			
	CLIENT/LOCATION: LOT 2 BRIDLERIDGE FARMS PITTSFORD, NY			
	BUILDER: COVENTRY RIDGE BUILDING CORP.			
	ELEVATIONS			
	GLA PLAN 3084			
	drawn: checked: CDK CSB			
	scale: date: AS NOTED 6 / 20			
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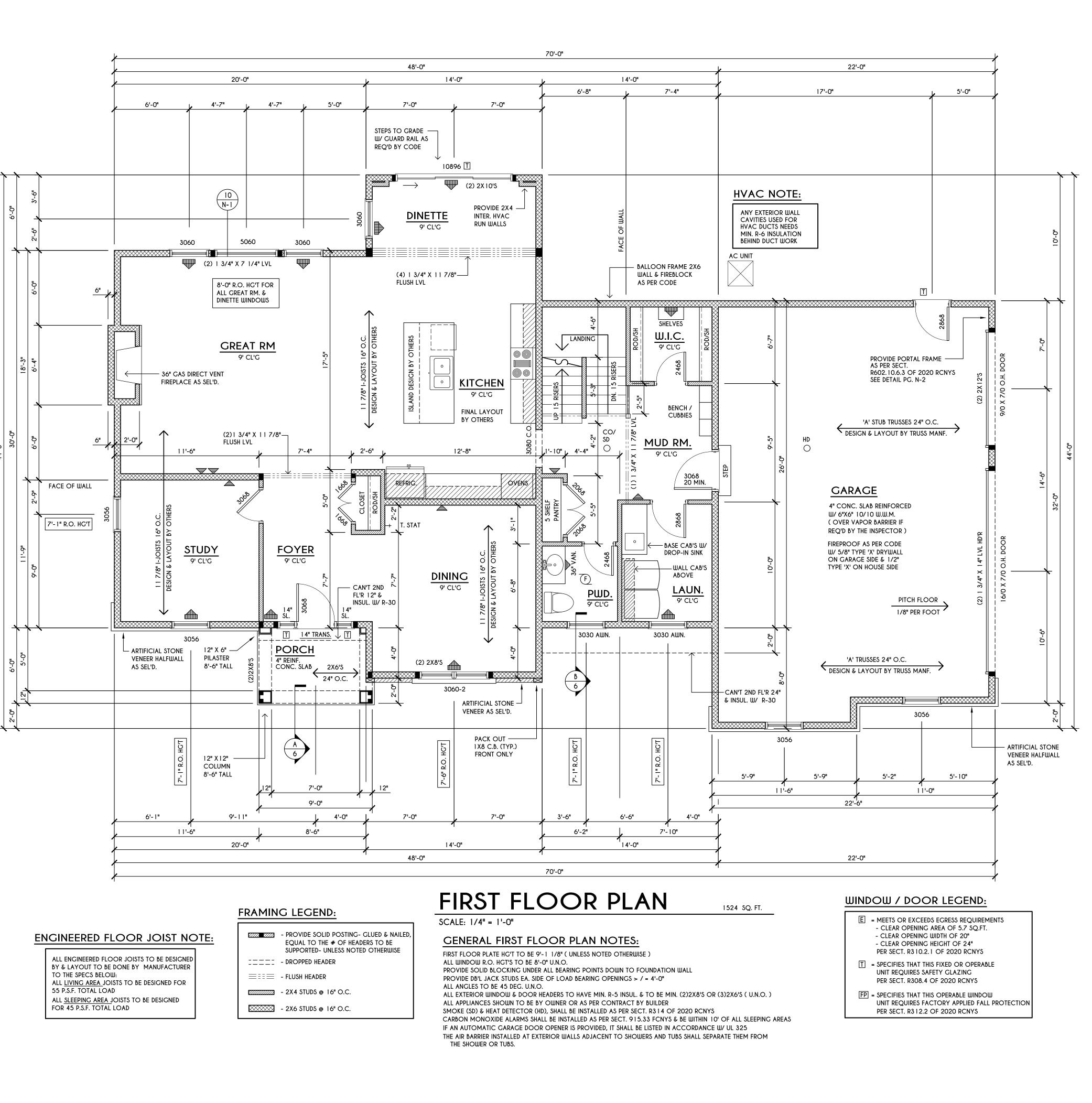
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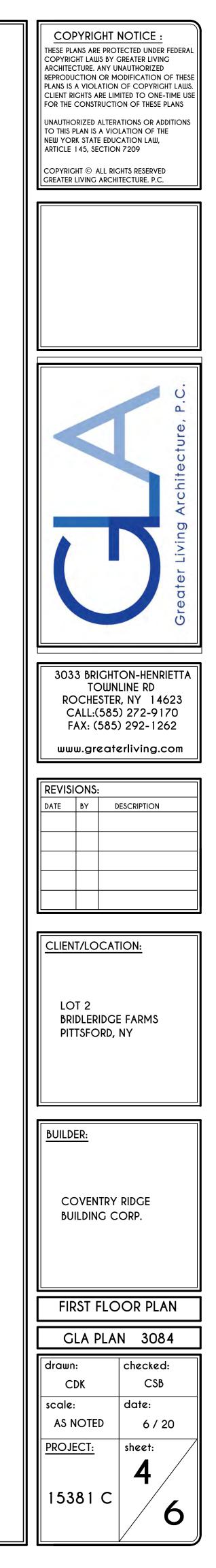
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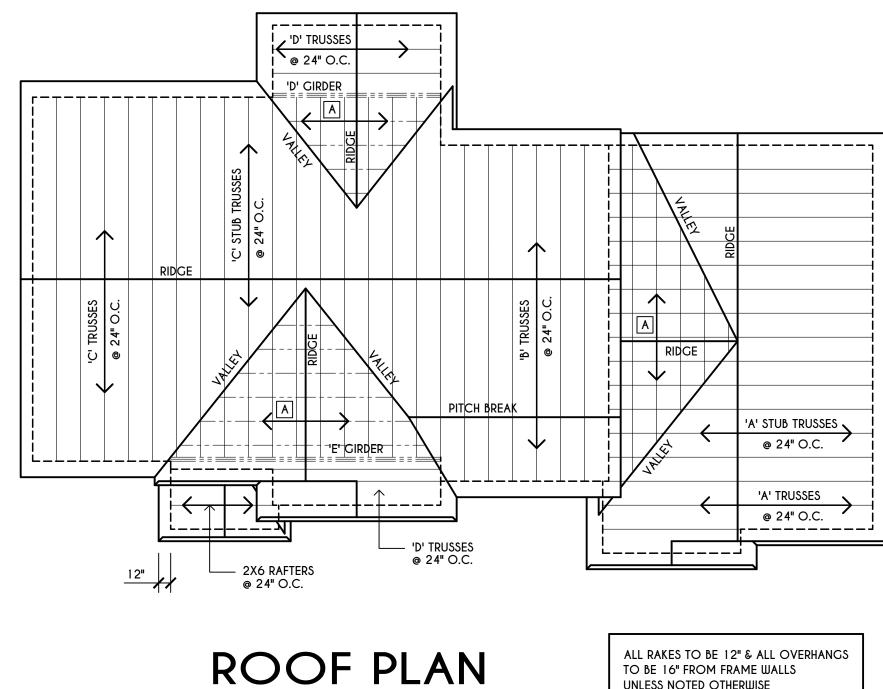
Ο

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
==== - DROPPED HEADER
\equiv = = \equiv - Flush header
ZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZ
- 2X6 STUDS @ 16" O.C.



ALL ENGINEERED FLOOR JOISTS TO BE
BY & LAYOUT TO BE DONE BY MANU
TO THE SPECS BELOW:
ALL LIVING AREA JOISTS TO BE DESIG
55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DES
FOR 45 P.S.F. TOTAL LOAD





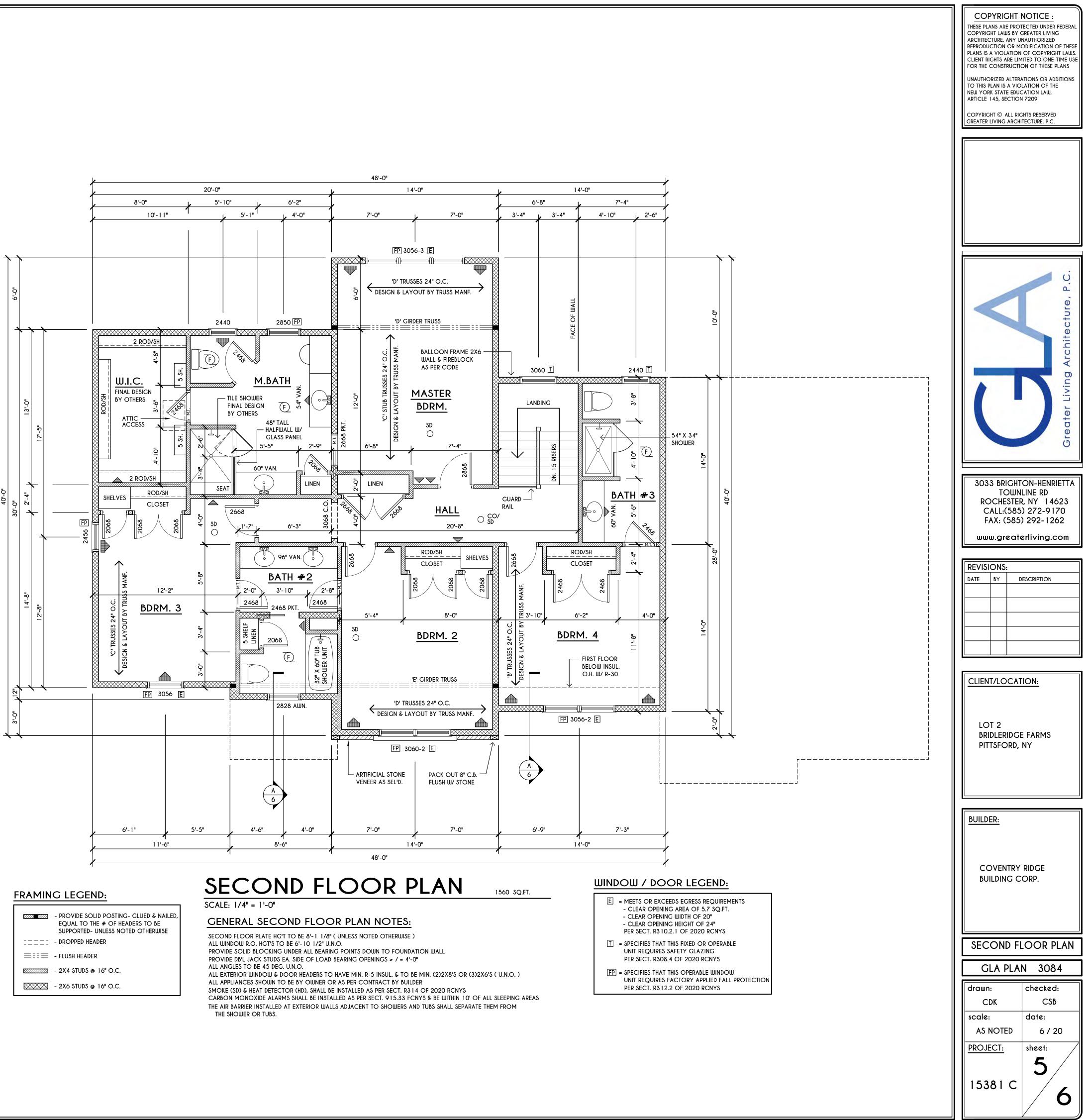
SCALE: 1/8" = 1'-0"

A – 2X8 LAYOVER RAFTERS 24" O.C.

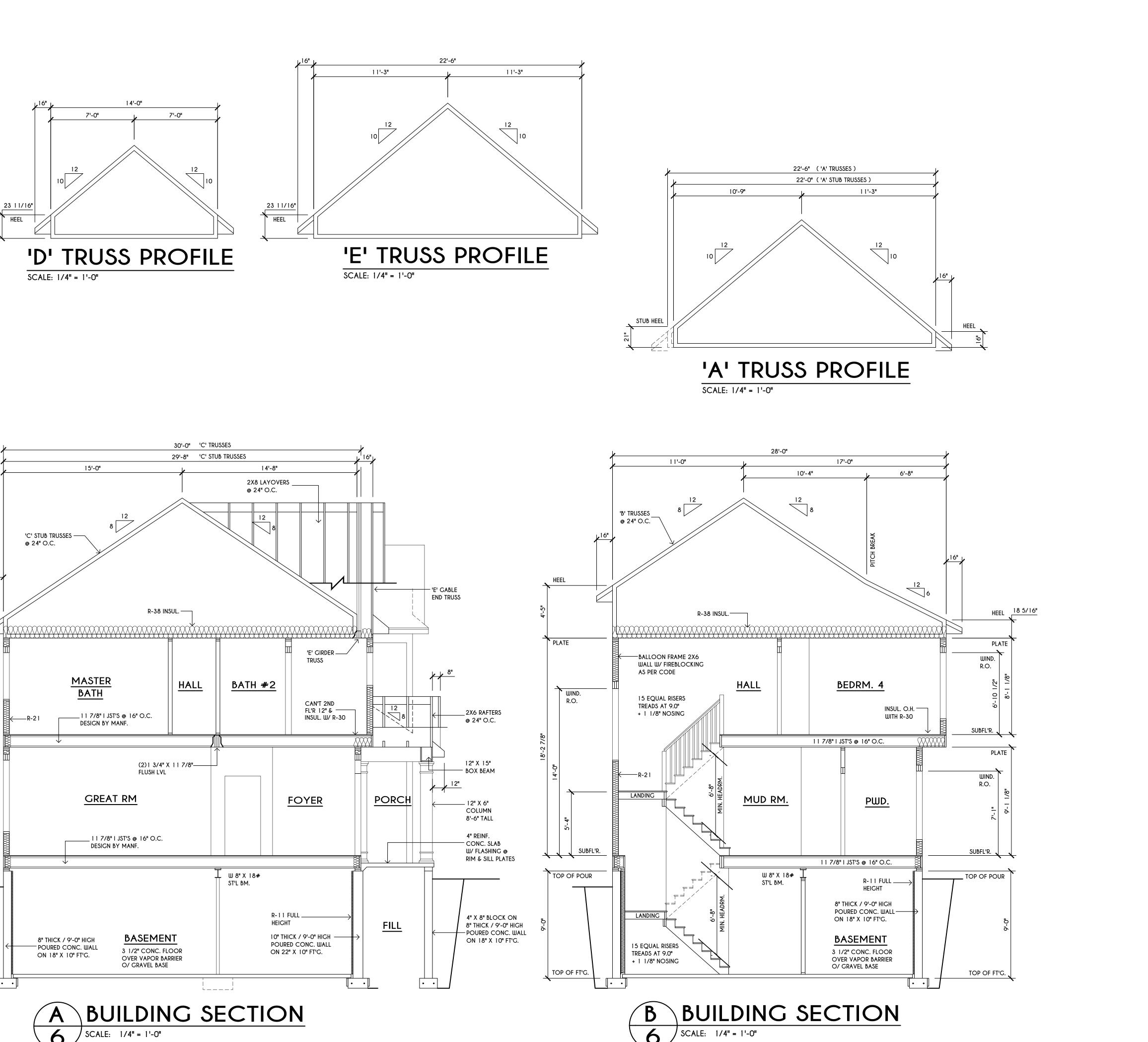
UNLESS NOTED OTHERWISE

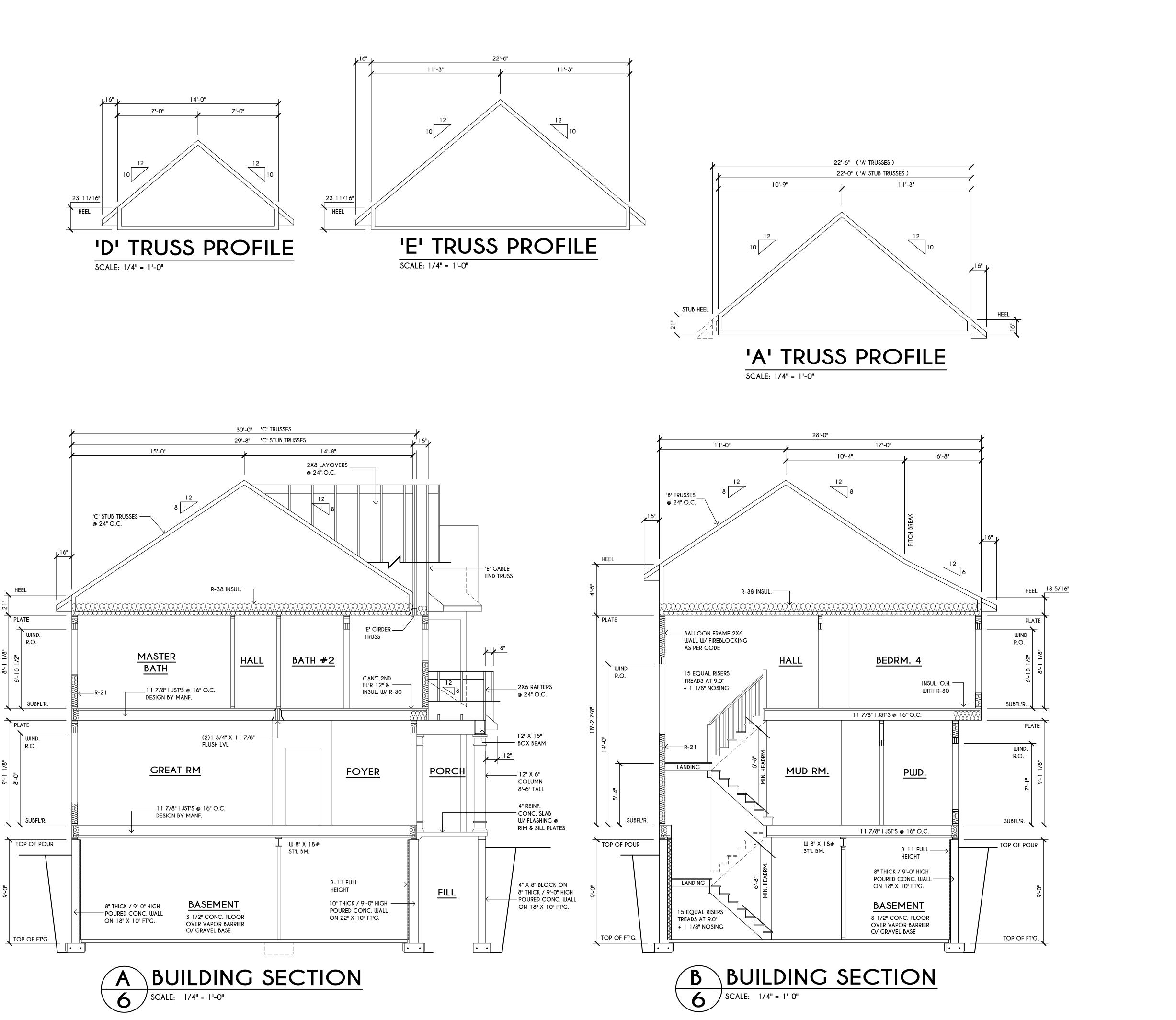
ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

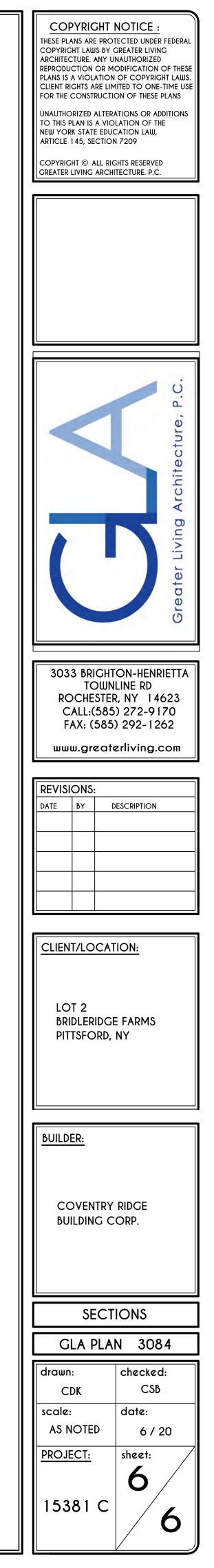
THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
=====	- DROPPED HEADER
	- FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.







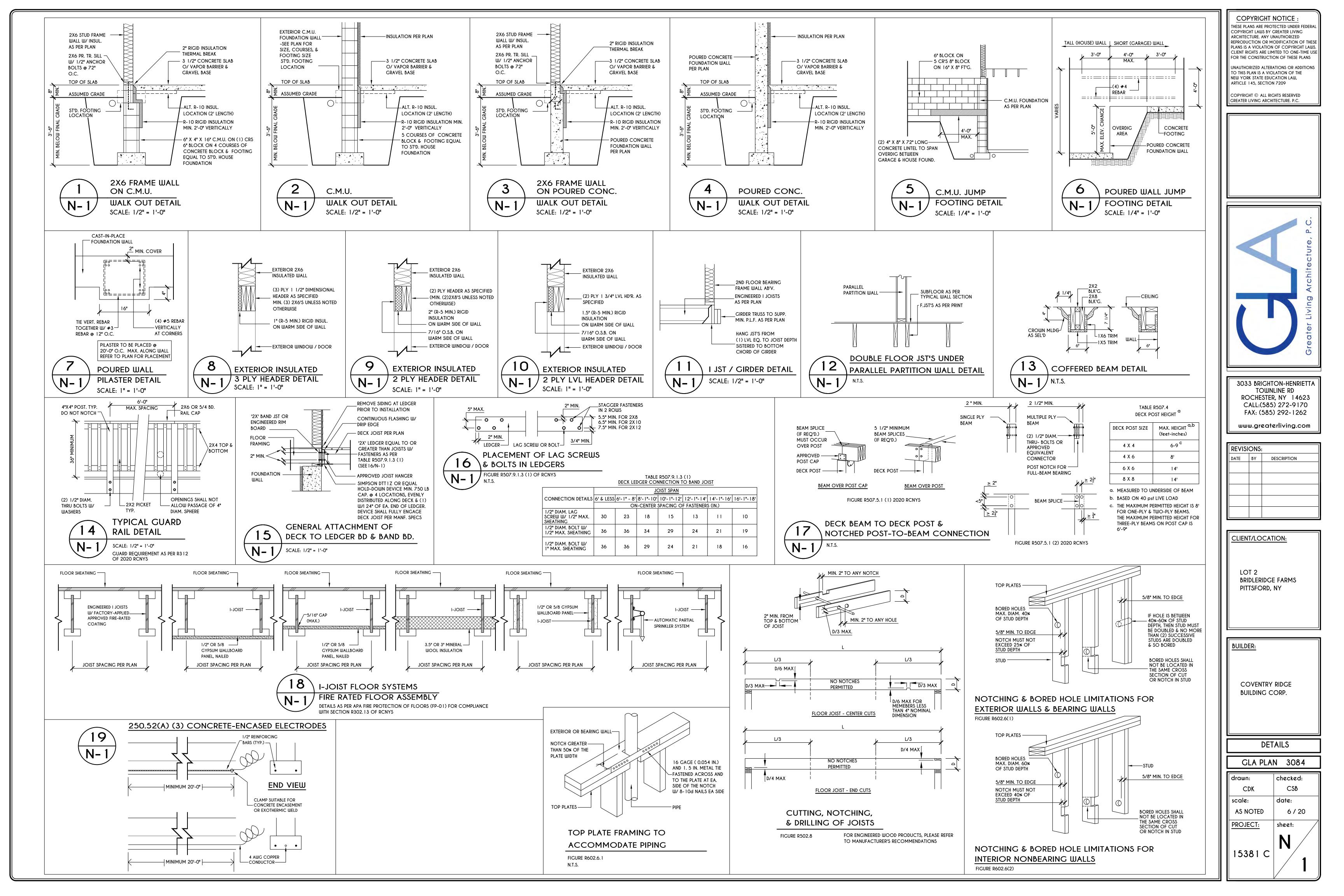


TABLE R404.1.1(2)

	8-INCH	MASONRY FOUNDATION WA	LLS WITH REINFORCING WHERE d	> 5 INCHES ^{a, c, f}
		MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}		
			es and lateral soil load ^d	
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]			SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR

MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1. e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN

INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED. f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

	10-INC	MASONRY FOUNDATION W	ALLS WITH REINFORCING	
		MINIMUM VERTICAL REINFORCE		
		SOIL CLASSE	ES AND LATERAL SOIL LO	
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND M 45	
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND. b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2. c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1. e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

CONCRETE SLAB IS PERMITTED. f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

	TABLE	R 402.4.1.1	_
AIR BARRIER	AND	INSULATION	INSTALLATIO

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRIT
	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.	
GENERAL REQUIREMENTS	THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
	BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	
	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL
WALLS	THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED.	RESISTANCE OF R-3 PER INCH MINIMUM.
	KNEE WALLS SHALL BE SEALED.	WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATIO INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND W AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT (INSTALLATION READILY CONFORMS TO AVAILABLE SPACE S EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES a, c, fORCEMENT AND SPACING (INCHES)^{b, c} SOIL LOAD ^d (psf PER FOOT BELOW GRADE) AND ML SOILS SC, MH, ML-CL AND INORGANIC CL SOILS #4 @ 56" O.C #4 @ 56" O.0 #5 @ 56" O.0 0.C. #4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C #6 @ 56" O.C #4 @ 56" O.C. 0.C. O.C. #4 @ 56" O.C. O.C. #5 @ 56" O.C. 0.C. 0.C. #6 @ 56" O.C. #6 @ 48" O.C. O.C. #4 @ 56" O.C. #4 @ 56" O.C #5 @ 56" O.C #6 @ 56" O.C #6 @ 32" O.C 0.C. #4 @ 56" O.C. #4 @ 56" O.C. O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 40" O.C #6 @ 24" O.C.

O.C. #4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C #6 @ 48" O.C #6 @ 40" O.C #6 @ 24" O.C #6 @ 24" O.C

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		INDLL		
12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES a, c, f				
		MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}		
			es and lateral soil load ^d (
UALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4@72"O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4@72"O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4@72"O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5@72"O.C.	#6 @ 72" O.C.
8'-O"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND. b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER

LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2. c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE

CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR

MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1. e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN

INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

f. INTERPOLATION IS NOT PERMITTED.

K. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m. I. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI. m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

ON

N CRITERIA 1E WALLS ₹ FRAMED NTACT ARRIER. INSTALLED JNDERSIDE CAVITY NTACT WITH S INSULATION ING AND ALL .

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WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION. IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1

WALL HEIC

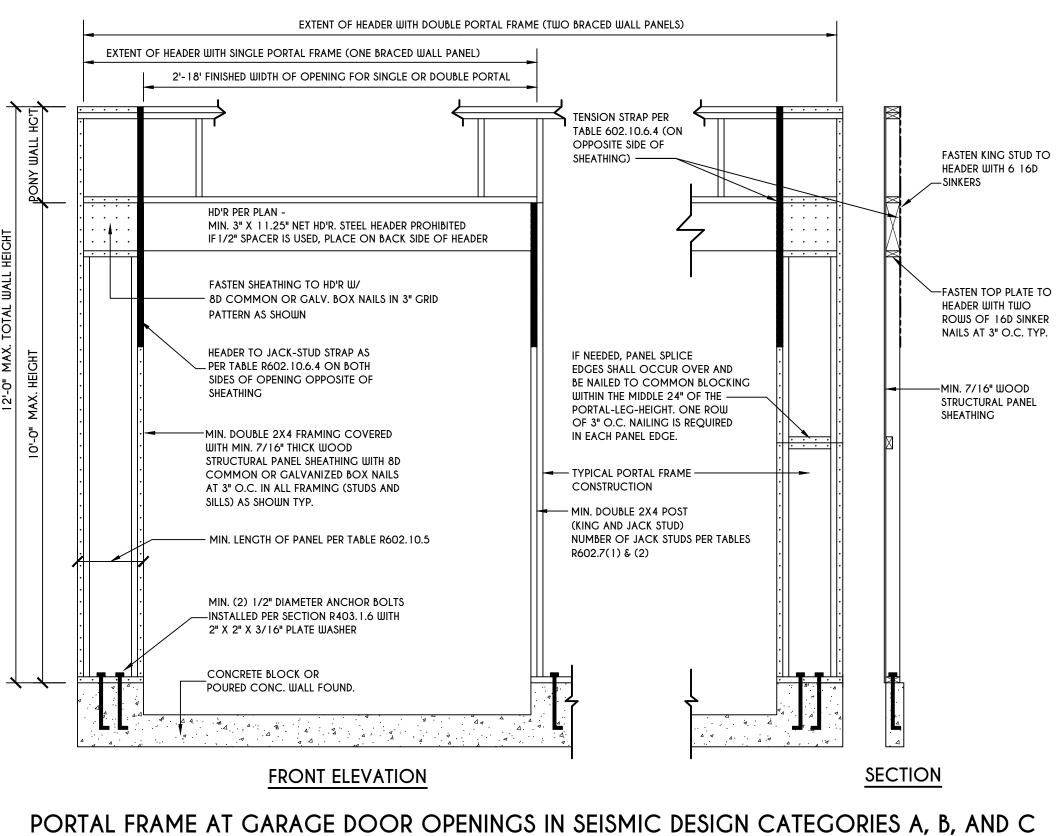
SHALL BE ASSUMED. TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES	OF FOUNDATION MATERIALS
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS. b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM UNIFIED SOIL

CLASSIFICATION SYSTEM SYMBOL	
GΨ	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
CC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
СН	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
МН	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
ОН	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



SCALE: N.T.S. FIGURE R602.10.6.3

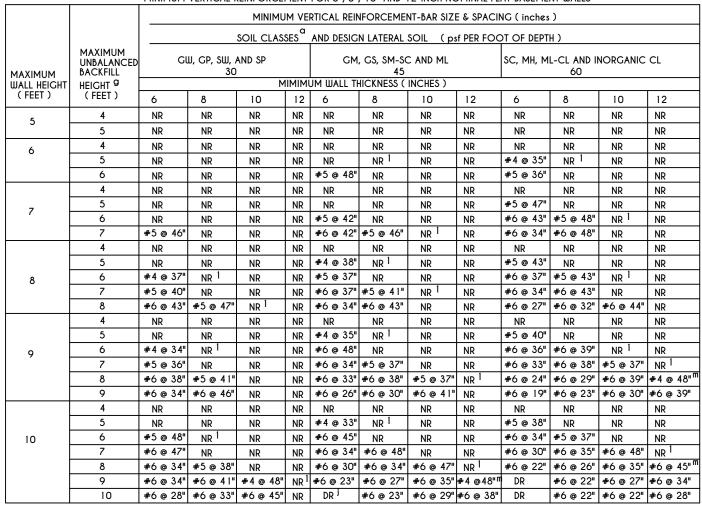


TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS b, c, d, e, f, h, i, k, n, o MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches) SOIL CLASSES AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH)

GL	IJ, GP, SW, /			GM,	, GS, SM-SC	C AND ML		SC, MH, M	L-CL AND II	NORGANIC	CL
	30			L JM WALL TH	45				60		
	•						10		•	4.0	
	8	10	12	6	8	10	12	6	8	10	12
	NR	NR	NR	NR	NR						
	NR	NR	NR	NR	NR						
	NR	NR	NR	NR	NR						
	NR	NR	NR	NR	NR ¹	NR	NR	#4@35"	NR ¹	NR	NR
	NR	NR	NR	#5@48"	NR	NR	NR	#5@36"	NR	NR	NR
	NR	NR	NR	NR	NR						
	NR	#5 @ 47"	NR	NR	NR						
	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR ¹	NR
o 46"	NR	NR	NR	#6 @ 42"	#5@46"	NR ¹	NR	#6@34"	#6@48"	NR	NR
	NR	NR	NR	NR	NR						
	NR	NR	NR	#4@38"	NR ¹	NR	NR	#5@43"	NR	NR	NR
37"	NR ¹	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5@43"	NR ¹	NR
o 40"	NR	NR	NR	#6@37"	#5@41"	NR ¹	NR	#6@34"	#6 @ 43"	NR	NR
o 43"	#5@47"	NR ¹	NR	#6@34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6@44"	NR
	NR	NR	NR	NR	NR						
	NR	NR	NR	#4@35"	NR ¹	NR	NR	#5@40"	NR	NR	NR
34"	NR ¹	NR	NR	#6@48"	NR	NR	NR	#6@36"	#6@39"	NR ¹	NR
» 36"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR	#6@33"	#6@38"	#5 @ 37"	NR ¹
38"	#5@41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR ¹	#6@24"	#6 @ 29"	#6@39"	#4 @ 48" ^m
34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6@41"	NR	#6@19"	#6@23"		#6@39"
	NR	NR	NR	NR	NR						
	NR	NR	NR	#4@33"	NR ¹	NR	NR	#5 @ 38"	NR	NR	NR
• 48"	NR ¹	NR	NR	#6 @ 45"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR
o 47"	NR	NR	NR	#6@34"	#6 @ 48"	NR	NR	#6@30"	#6@35"	#6@48"	NR ¹
34"	#5 @ 38"	NR	NR	#6 @ 30"	#6@34"	#6@47"	NR ¹	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45" ^m
34"	#6@41"	#4@48"	NR ¹	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48" ⁿ	DR	#6@22"	#6 @ 27"	

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE

ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING. h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH. i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS. j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS. o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

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15381 C

Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000128

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 41 Skylight Trail	Pittsford, NY 14534
Tax ID Number: 192.06-2-22	
Zoning District:	
Owner:	
Applicant: S & J Morrell	

Application Type:

- Residential Design Review
- §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- Building Height Above 30 Feet
- §185-17 (M) Corner Lot Orientation
- §185-17 (K) (3)
- Flag Lot Building Line Location
- §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
 - §185-17 (L) (2)

Project Description: Applicant is requesting design review for a one-story, 2,780 square foot single family townhome in the Alpine Ridge Subdivision.

Meeting Date: October 12, 2023

Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000129

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 43 Skylight Trail	Pittsford, NY 14534
Tax ID Number: 192.06-2-21	
Zoning District:	
Owner:	
Applicant: S & J Morrell	

Application Type:

- Residential Design Review
- §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- Building Height Above 30 Feet
- §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location
- §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

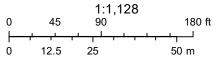
Project Description: Applicant is requesting design review for a one-story, 2,014 square foot single family townhome in the Alpine Ridge Subdivision.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning

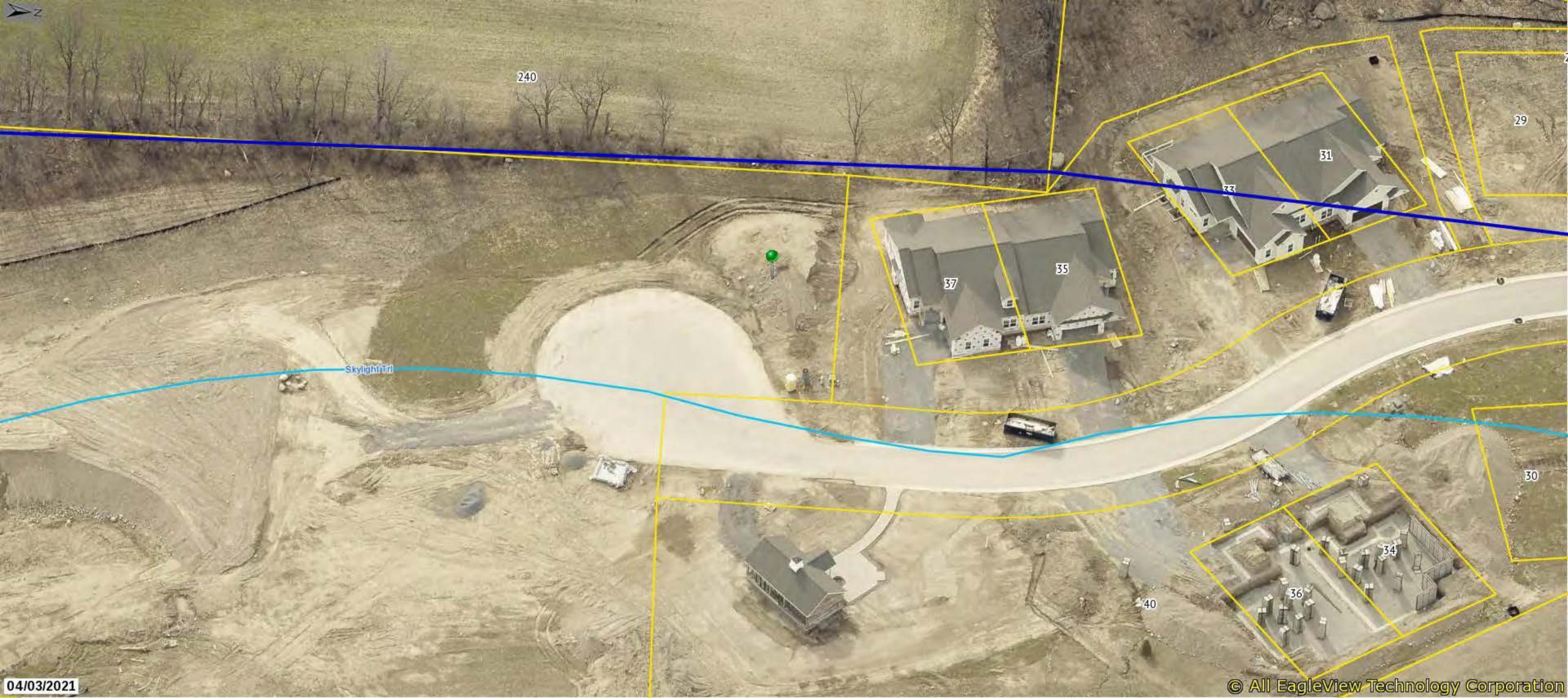


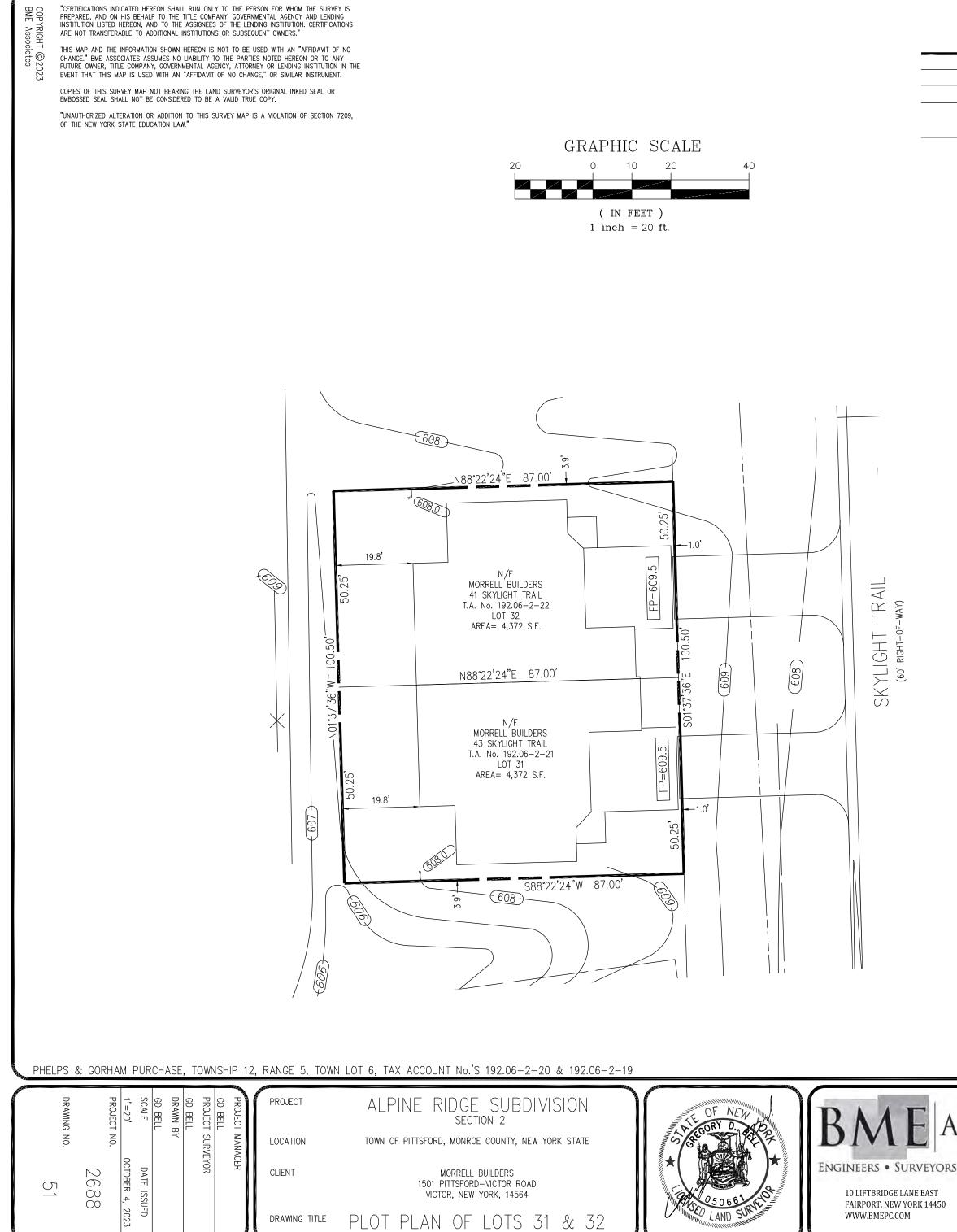
Printed October 5, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



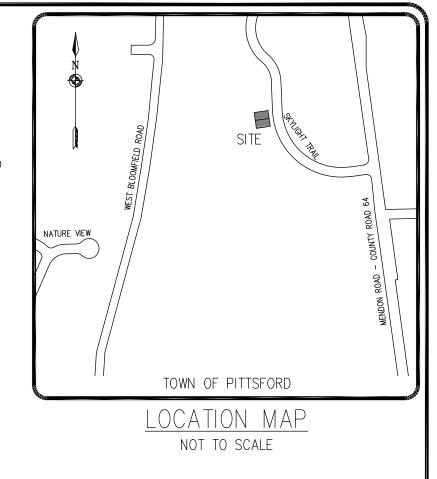


<u>LEGEND</u>

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BOUNDARY LINE CENTERLINE ADJOINER/R.O.W. LINE SETBACK LINE PROPERTY MARKER FOUND EXISTING EASEMENT LINE



REFERENCES:

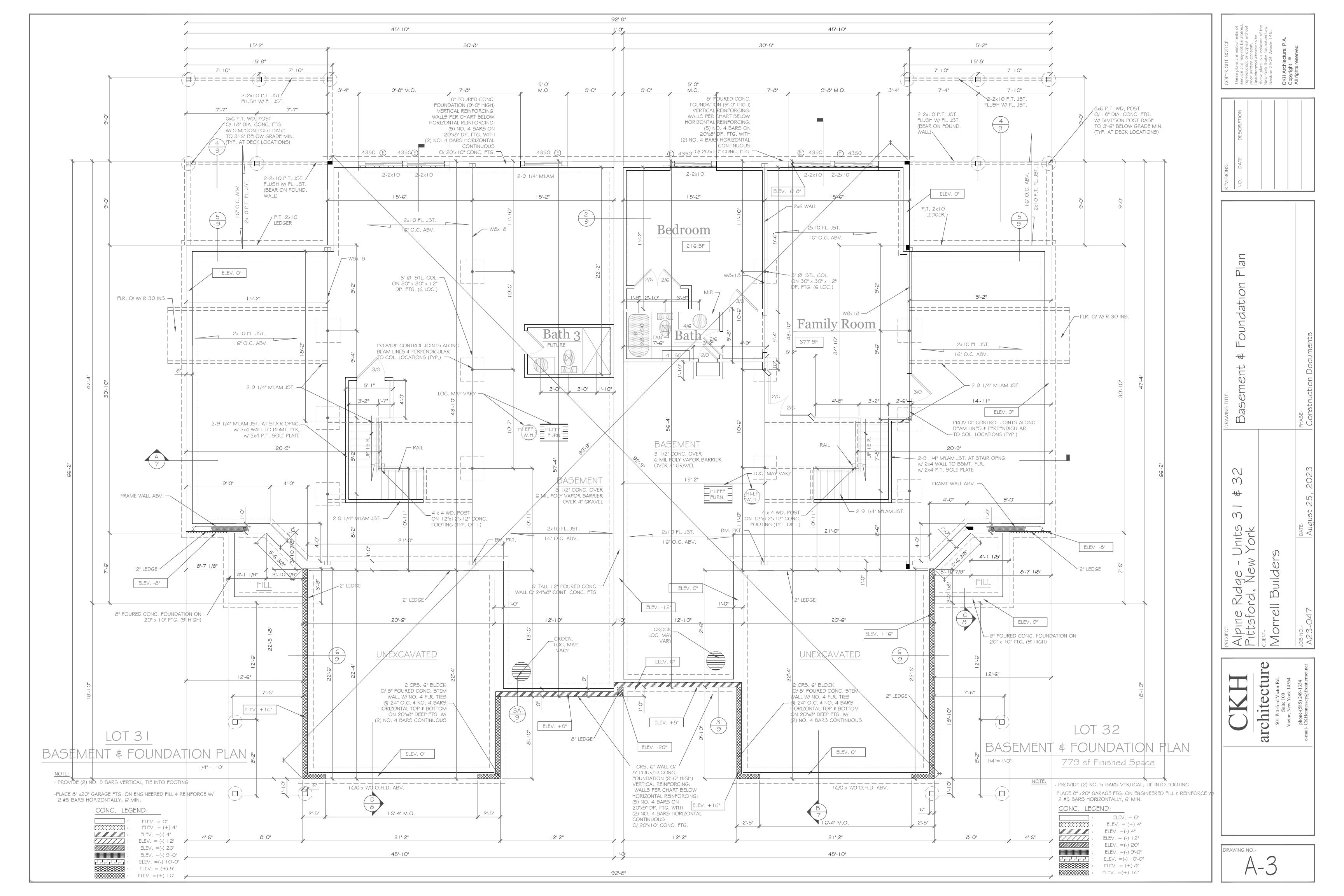
- 1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
- 2. A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN," PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED SEPTEMBER 17, 2021
- 3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

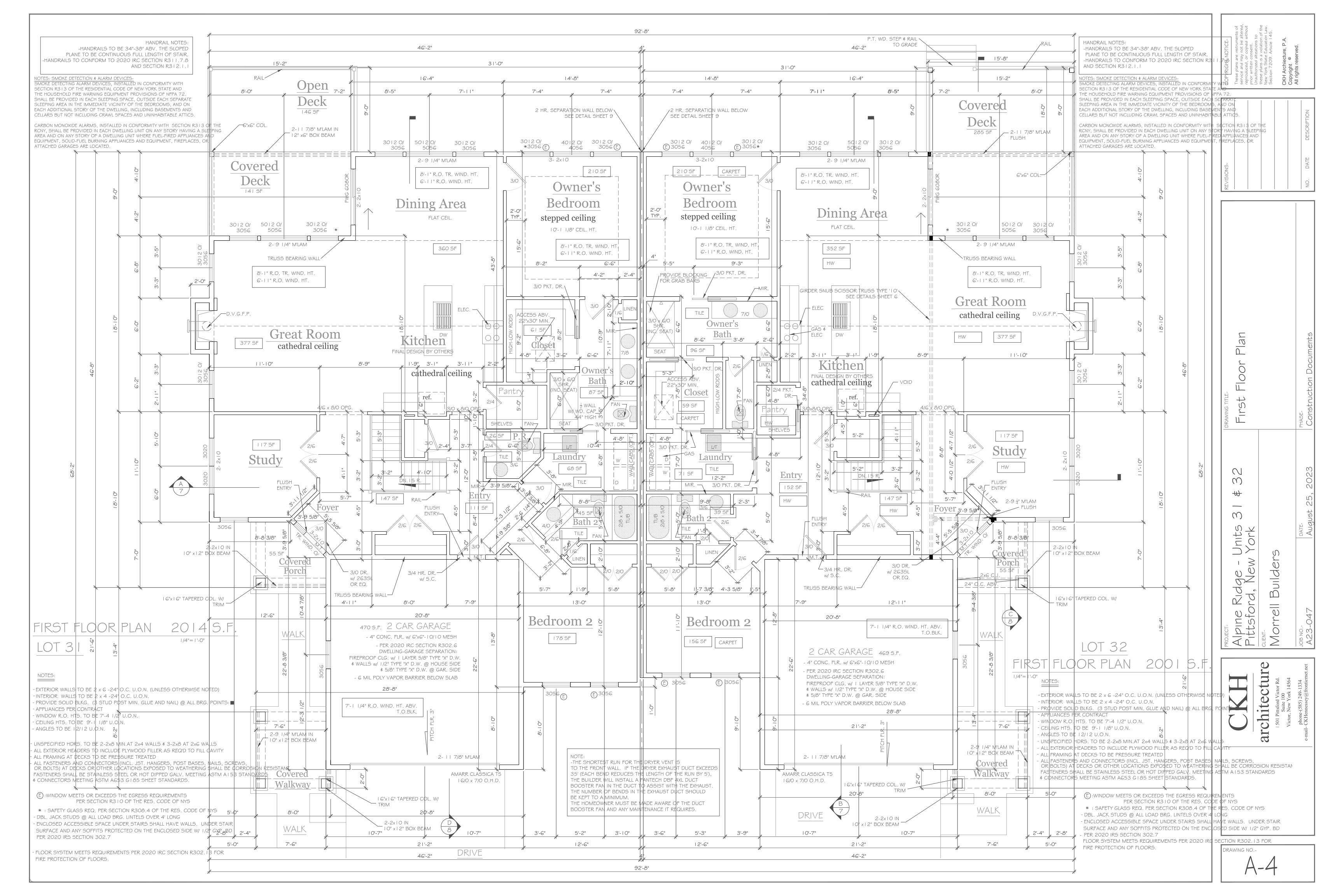
NOTES:

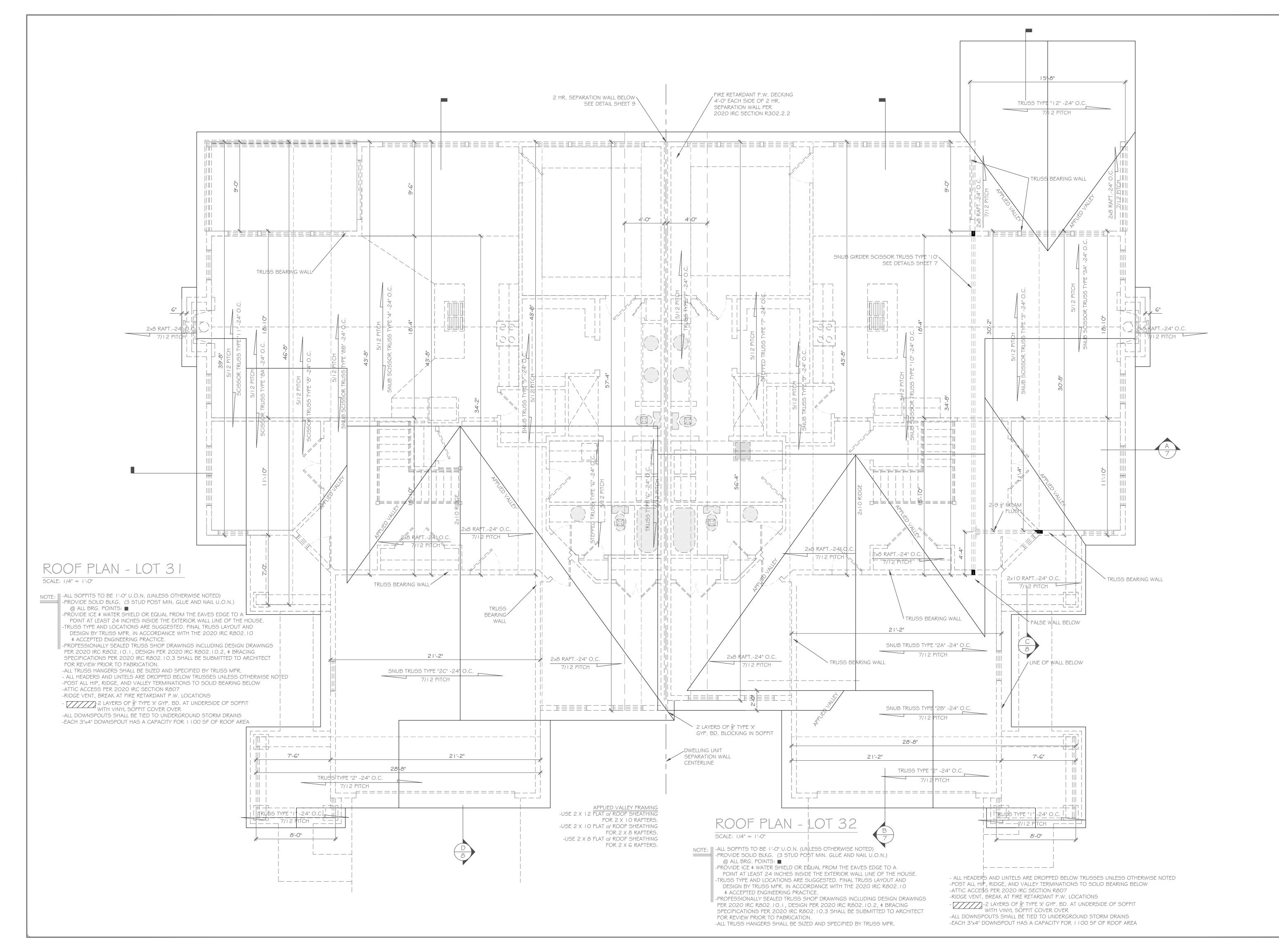
- 1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
- 2. SETBACK REQUIREMENTS: FRONT 0' (LOT) 25' (R.O.W.) SIDE O' REAR O'
- 3. GRADING SHOW HEREON WAS TAKEN FROM REFERENCE 2.

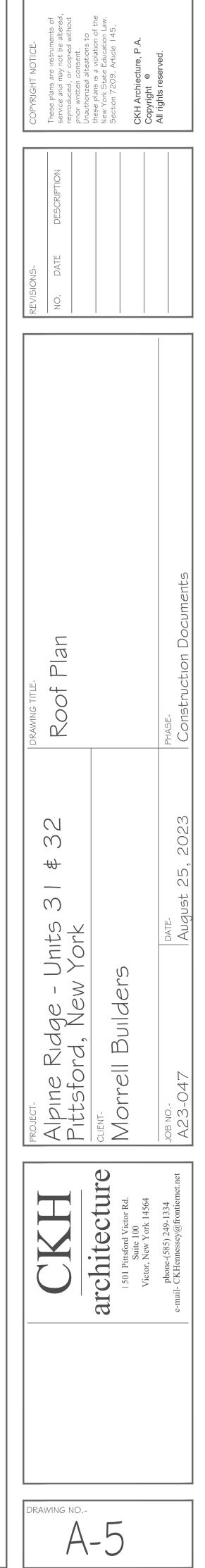
S • LANDSCAPE ARCHITECTS PHONE 585-377-7360 FAX 585-377-7309	7 6 5 4 3 2				The following is an excerpt from t New York State Education Law Art 145 Section 7209 and applies to drawing: "It is a violation of this law for an person, unless he is acting under direction of a licensed professional engineer or land surveyor to alter item in any way. If an item bearin seal of an engineer or land survey altered, the altering engineer or la surveyor shall affix to the item his and the notation "altered by" follo by his signature and the date of alteration, and a specific descriptio of the alteration."
	2	REVISIONS	DATE	BY	scrift strong s

P:\2688\Instrument Surveys\2688 Lot 31-32 Plot Plan.dwg









GENERAL CONSTRUCTION NOTES:

1. Construction shall conform to the 2015 IRC as amended by the 2016 Uniform Code Supplement and the 2015 IECC as amended by the 2016 Supplement to the New York State Energy Conservation Construction Code (known as the New York State Uniform Fire Prevention and Building Code).

2. The Contractor shall comply with all applicable Building, Electrical, Mechanical, Sanitary and Energy Codes (local, state, and federal).

3. Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the latest edition of the Residential Code of New York State.

4. In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.

5. The Contractor shall be responsible for all construction means, methods, techniques, sequences, and safety precautions in connection with the work.

6. The Contractor shall verify all existing conditions, requirements, notes, and dimensions shown on Drawings or noted in Specifications. Any variances within Drawings and Specifications, or with conditions encountered at job site, shall be reported to Owner/Architect in writing before commencement of any work effected by such variance.

7. The Contractor shall rigidly adhere to all laws, codes, and ordinances which apply to this work. He shall notify and receive clarification from Owner/Architect in writing of any variations between contract documents and governing regulations.

8. The Contractor shall bring errors and omissions which may occur in Contract Documents to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the results of any errors, discrepancies, or omissions in the Contract Documents, of which the Contractor failed to notify the Architect before construction and/or fabrication of the work.

9. The Contractor shall be responsible for adapting these plans, if required, to suit the needs of the building on the site provided that the alterations do not violate the code or alter the structural integrity of the building. The Contractor shall make no structural changes without written approval of the Architect.

IO. No site visits will be made by this Architect. Contractor shall assume all responsibility for changes to these drawings and specifications.

I I. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals which meet applicable standards and specifications may be used.

12. Construction loads shall not overload structure nor shall they be in excess of design loadings indicated herein.

A. Provide temporary bracing, shoring, guying, or other means to avoid excessive stresses and to hold structural elements in place during construction.

B. Construction materials shall be spread out if placed on framed floors or roof. Loads shall not exceed the design live load per square foot.

13. Due to revisions made during the development of these drawings, they may not reflect the dimensions noted. Do not scale the drawings.

14. Call UFPO before you dig. 1-800-962-7962.

15. All dimensions are face of wall to face of wall (rough).

I G. Contractors' are responsible for coordinating work with other trades wherever they overlap.

17. All details are subject to change due to existing field conditions. Contractors' must notify Owner/Architect of same.

18. Interior and exterior finish material selection (including, but not limited to, siding, roofing, wall, floor and ceiling finishes) by Owner and Contractor unless otherwise specified.

19. All subcontractors shall leave extra materials for parching and/or repair of all interior and exterior finish materials including, but not limited to, flooring, wall coverings, roofing, siding, etc. Coordinate exact list and quantity of materials required with owner.

20. Design of electric, plumbing, and HVAC systems by other consultants or contractors. Verify municipal requirements and location of existing utilities/services prior to construction. The Contractor shall be responsible for compliance with the Energy Conservation Construction Code for all HVAC equipment, and controls, Water heating equipment, pipe and duct insulation and fluorescent lamps and ballasts.

21. Where reference is made to various test standards for materials, such standards shall be the latest edition or addendum.

22. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope of the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction. No adjustment will be made to the contract sum or time of completion for failure to include any portion of the work where such unclusion may be reasonably inferred from the contract documents.

SITE WORK:

1. Site work shall include all site demolition, clearing, excavation, filling, grading, drainage, and related items necessary to complete the work indicated on drawings.

2. Contractor shall investigate site during clearing and earthwork operations for filled excavations or buried structures such as cess pools, cisterns, foundations, etc. If any such items are found, Owner/Architect shall be notified immediately.

3. Before commencing construction or excavation activities at the site, Contractor shall obtain geotechnical assistance of a registered soils testing laboratory. Testing laboratory shall make necessary borings, tests, and analysis of soils at locations and elevations pertinent to the project of preparations of a soils test and recommendations report.

4. It is assumed that the subsurface conditions will be earth or soil. If bedrock is encountered, removal will be considered an addition to the contract.

5. Contractor shall extend ashpalt driveway and parking area to new addition. Driveway construction shall be in accordance with generally accepted industry standards.

CONCRETE

I. GENERAL:

A. Footings may be poured neat against sides of excavations only if sloughing or raveling does not occur.

B. Contractor shall be responsible for support of all temporary embankments and excavations.

2. STRUCTURAL BACKFILL:

A. Structural backfill of well graded sand and gravel or crusher run stone shall be placed in 6-inch maximum lifts and compacted to a minimum density of 95% (under slabs-on-grade and building structure) and 90% (elsewhere) of maximum density at optimum moisture content as determined by ASTM D698.

CONCRETE: (Cont.)

B. Backfill shall be free of excessive vegetation, debris or other delet contain no particles larger than 3-inches in diameter and no more than #200 sieve.

STEEL: (Cont.)

C. Backfill shall not be placed against basement retaining walls until (1 masonry grout has reached its specified 28 days strength, and (2.) S framing (including plywood subfloor) required to stabilize walls is comp and anchored.

3. FOOTINGS:

A. Footings shown on drawings are sized for building design loads and bearing capacity of 1,500 psf. Verify actual soil bearing capacity on s Owner/Architect in writing if less than 1,500 psf.

B. Footings shall be placed at a minimum depth of 42-inches below ac grade unless otherwise specified on the Contract Documents.

C. Final 3-inches of excavation shall be removed by hand tool operation assure undisturbed bearing surfaces.

D. Footings shall be founded on firm, undisturbed, native soils free of material. Footings may bear on properly engineered backfill provided consolidation tests performed indicate anticipated settlement will not for the proposed structure. Conditions found to be otherwise shall be Owner/Architect.

E. Bottom surface of footings shall not slope more than 1.0 vertical t except as shown otherwise of drawings.

F. No excavation shall be made lower and closer to any footing than I horizontal, except as shown on drawings.

G. Footings and slabs-on-grade shall not be placed on muddy or froze Sub-grade for slabs-on-grade where vapor barrier is not required shal concrete placement.

4. CONCRETE:

A. All reinforced concrete shall be furnished and installed in accordan ACI-318 "Building Code Requirements For Reinforced Concrete".

B. Concrete shall meet the requirements of ACI 301-72 with type II 28 days compressive strength of 2,500 psi (footings) and/or 3,500 otherwise specified. Max. slump 4 1/2" as determined by ASTM C143

C. In on-grade concrete slabs the welded wire fabric reinforcement (be located midway in the slab thickness.

D. All exterior concrete to be air-entrained.

E. Provide concrete reinforcing bars at footing locations where soil is Bars shall be 2-#4, at the bottom with a minimum of 3" concrete cove otherwise. Concrete reinforcing bars are not required at footings bea soil with a bearing capacity of 2500 psf unless noted otherwise on th

F. Provisions must be taken to protect all concrete work from frost d attention paid to footings and other on-grade construction prior to ba enclosing the building.

G. Anchor bolts shall conform to ASTM A-307 and shall be 1/2" diame 10" long. Placement of anchor bolts shall be: 12" from plate end, 6"intermediate spacing, minimum 2 bolts per bearing plate section.

H. Provide 6 mil polyethylene vapor barrier membrane complying with where indicated on drawings.

5. MILD STEEL REINFORCEMENT FOR CONCRETE AND MASONRY:

A. Mild steel reinforcement for concrete and masonry construction sh ASTM-AG15 Grade 40. Ties, stirrups, and hoops shall conform to AS Grade 40.

B. Welded wire fabric shall conform to ASTM A185 in as long lengths

C. PLACING:

I. Reinforcement shall be accurately placed and adequately supported metal, or other approved chairs, spacers, or ties, and secured against during concrete or grout placement. Tack welding is not allowed.

2. Except where shown otherwise on structural drawings, reinforceme have concrete cover as follows:

a. Concrete deposited against earth
b. Formed concrete against earth
c. Exterior faces of walls
d. Interior faces of walls

MASONRY:

I. Concrete block shall conform to ASTM C90, N - I. All units shall b weight.

2. Wall reinforcing shall conform to ASTM A82.

3. All mortar shall conform to ASTM C270, Type S with a minimum co strength of 1,800 PSI @28 days - 1 part portland cement, 1/4 part sand.

4. Grout for filling cmu cores shall conform to ASTM C476, coarse g minimum compressive strength of 2,500 PSI @ 28 days. Grout shall not exceeding 4'-0" in height.

5. All masonry walls shall be laid in running bond.

6. All masonry walls shall be reinforced with 9 gauge horizontal trussreinforcing, placed in every second bed joint, unless otherwise noted.

7. Cold weather masonry practices shall be followed in accordance w ASCE G.

STEEL:

I. Provide steel beams, columns, plates, lintels, anchors and ties for t structure and as part of the concrete and masonry work as shown on the drawings and required for complete installation of work.

terious materials and	2. Products:	3. INSTALLATIONS:
1 10% passing the	A. Steel Plates, Shapes and Bars - ASTM A 36 B. Steel Pipe - ASTM A 53, Type E or S, Grade B. Steel columns shall be 11 gauge	A. All stud walls shown on Drawings shall have 2 x 4 studs (interior and exterior) ${ m p}$
I .) Concrete or htructural floor	tubing with a . I 20 wall thickness and a minimum yield strength of 32,000 psi, unless otherwise indicated C. Fasteners - High-strength bolts and nuts, ASTM A 325 or A 490.	at 16" O.C. except where shown otherwise. B. Top plates shall be doubled on all stud walls.
plete and fully nailed	D. Shop Paint - SSPC-Paint 2	C. Cripples under headers shall be continuous to sole plate.
	3. Fabrication and installation per the latest edition of the AISC Manual and Specifications.	D. Block all stud walls as required for sheathing.
id an assumed soil site and notify	4. Use high-strength bolts for field connections. Wood plates bearing upon steel beams shall be bolted to the top flange of beams with ASTM A325 compliant High Strength 1/2" bolts @ 4'-0" O.C. All steel to steel bolted connections shall be made with 3/4" diameter ASTM 325 High Strength Bolts. Steel beams shall be bolted or welded to steel columns with appropriate size plate (3/8" min.).	E. Beams, girders, and joists supporting bearing walls or other concentrated load shall not be notched. Joists, except as above, may be notched no deeper than 1/2 depth, at top edge only, provided such notch is located within 1/8 to 1/4 of span face of support. Sawcuts for notches shall not overrun depth of notch. Holes in j beams, and girders shall not be larger in diameter than 1/10 the depth of member
djacent finished ons in order to	5. All structural steew 'W' shapes shall conform to ASTM A992 or A572. Tube shapes shall conform to ASTM A500 GR "B".	shall be located within center half of the span. All holes shall be centered within do of member. Holes and notches in studs shall be located within 1/3 of height from top or bottom, but no closer than 8" from plates. Holes and notches in studs sha exceed 1" in diameter or depth.
f frost and loose	6. All welds shall be made in accordance with the latest requirements of the AWS, using E70 electrodes. Provide field touch-up paint to match shop applied primenr where paint has been burned off.	F. Contractor shall pay strict adherence to to Microlam manufacturers written director cutting, drilling, notching, joining and general installation of their products.
settlement and/or exceed that allowed e reported to		G. Joists, rafters, and decking shall not be cut and headed or displaced to provid openings in roofs or floors, except as detailed on Drawings.
e reported to	WOOD:	H. Install all horizontal members with crown up.
to 10.0 horizontal,	I. MATERIALS:	I. All members in bearing shall be accurately cut and aligned so that full bearing is
1.0 vertical to 3.0	A. All woods and wood construction shall comply with specifications and codes with modifications as specified herein:	provided without use of shims. Bearing posts shall have full blocking or support ur
en ground.	I. American Institute of Timber Construction: (Standards Manual).	J. All rafters shall be notched for full bearing at all supports. K. All joists shall have a minimum of 2" bearing at supports.
l be damp at time of	2. National Forest Products Association: National Design Specifications for Wood Construction.	L. All plywood wall sheathing shall be applied as follows: center vertical joints over
	3. Southern Pine Inspection Bureau: Standard grading rules for Southern Pine Lumber.	studs. Nail top of panels to double top plate, and nail bottom of panels to anchor plate. Apply gypsum board so that end joints of adjacent courses do not occur o
ice with the current	4. Truss Plate Institute: Design Specifications for Light Metal Plate Connected Wood Trusses (TPI-71).	the same stud. M. Plywood sub-floor and roof sheathing: Install with face grain at right angles to
cement. Mınımum	5. American Plywood Association: Guide to plywood for floors, plywood sheathings for walls and roofs.	supports, continuous over two (2) or more spans. Allow minimum space 1/16" bet end joints and 1/8" at edge joints for expansion and contraction of panels. Plywoo decking shall also be continuously glued and nailed to all joists, rafters or trusses.
psı (slabs), unless 3.	G. American Wood-Preservers Association Standards.	N. Underlayment shall not be less than 1/4" in thickness and shall be identified by grademark of an approved inspection agency. Underlayment shall be installed in
when required) shall	B. All structural lumber shall be Hem-Fir #2 (minimum) stress grade lumber unless noted otherwise. Minimum Fiber Stress in Bending (FB) for all framing lumber to be 1,150 psi.	accordance with code and as recommended by manufacturer. Lay underlayment or Rosin sized sheathing paper.
5 engineered fill.	C. All structural lumber shall be stamped in accordance with the American Institute of Timber Constructions's "Construction Manual".	THERMAL & MOISTURE PROTECTION
engineered nii. er, unless noted aring on undisturbed ne drawings.	D. Grade loss resulting from effects of weathering, handling, storage, resawing or dividing lengths will be cause for rejection.	I . The following specification shall govern with modifications as specified herein: American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRA Handbook of Fundamentals.
damage with special ackfilling and	E. All plywood shall be identified by grade mark of an approved inspection agency and shall be Standard C-D, Flat Interior with ext. glue unless otherwise specified on Drawings.	2. Install flashing and sheet metal in compliance with "Architectural Sheet Metal M by SMACNA.
eter minimum and .0" O.C. maximum	F. Wood which is in contact with concrete, masonry, soil or within 1'-O" of grade or exposed to the exterior shall be pressure preservative treated.	3. Aluminum flashing shall conform to ASTM B 209, and be minimum 0.016" thick standard building sheet of plain finish. Provide 6" \times 8" min. at all step flashing.
ASTM D 2103	G. All headers shall be as follows unless otherwise noted. Provide (1) 1/2" plywood gusset at 2 x 4 walls and (2) 1/2" plywood gussets @ 2 x 6 walls. All headers to be glued and nailed	4. Backpaint flashings with bituminous paint, where expected to be in contact with cementitious materials or dissimilar metals.
	$\begin{array}{c c} \hline Opening Size \\ up to 4'-0'' \\ 4'-0'' to 6'-0'' \\ 6'-0'' to 9'-0'' \\ \hline 2 - 2 \times 10 \\ 2 - 2 \times 10 \\ 2 - 2 \times 12 \\ \hline 3 - 2 \times 10 \\ 3 - 2 \times 12 \\ \hline 3 - 2 \times 12 \\ \hline 3 - 2 \times 12 \\ \hline \end{array}$	5. Provide and install flashing at all roof to wall conditions, projections of wood b through exterior walls, exterior openings, and elsewhere as required to proved watertight/weatherproof performance as specified in section R703 & R903 of the RCNYS.
hall conform to STM AG I 5-87,	H. Locate double floor joist under all interior partitions running parallel to framing under plumbing fixtures and at floor openings. Provide 1 \times 3 cross bridging at all floor joist and spans.	6. Siding shall be installed according to manufacturer's printed instructions and sh include all accessories required for a complete installation. Manufacturer, style and color as selected by Owner.
s as practical. ed by concrete,	I. Design of wood trusses by others. Manufacturer to have truss design reviewed and certified by an Architect or Professional Engineer licensed in the state of New York prior to fabrication. See Truss Manufacturers specification for details.	7. Roof valley and eave flashing shall be provided of not less than 36" wide rolled material and shall extend at least 18" from the center line each way and shall have flow line formed as part of the flashing. Sections of flashing shall have an end lap o less than 4".
t displacement ent in concrete shall	J. Roof sheathing shall be APA rated 32 / 16, with minimum thickness of ¹⁵ /32". Plywood shall be exterior grade. Panel clips shall be provided at all non-supported edges. Nailings shall be 6D nails at 6" O.C. at edges and 12" O.C. at interior supports.	A. Warm areas: Ice and Water Shield at all edge and valley conditions to 24" insi- "heated wall".
	K. Wall sheathing shall be APA rated 15 /32" (minimum). Nailings shall be 6D nails @ 6" O.C. at edges and 12" O.C. at interior supports.	B. Cold areas: 90 lbs. (min.) unperforated asphalt felt. C. All other areas: 15 lb. (min.) unperforated asphalt felt.
	L. Floor sheathing shall be APA rated Sturd-I-Floor, T/G, 16" O.C., 21 / 32 (minimum) capable of supporting a minimum load of 85 PSF with a deflection limit of L / 360 of the span. Plywood shall be glued and nailed, 8D nails @ 12" O.C. at each support (unless the nailing pattern is otherwise noted on the drawings)	8. Asphalt shingles shall be fastened according to manufacturer's printed instruction but not less than two (2) nails per each shingle. Exposure 5" for 16" shingle, 5 18" shingle, and 7 1/2" for 24" shingles. Provide one layer of 15 lb. (min.) building under shingles unless noted otherwise. Manufacturer, style and color as selected
	M. Laminated veneer lumber (L.V.L.) shall be an engineered wood product as manufactured by Truss Joist MacMillan or equal. The material shall meet the following properties: $Fb=2600 psi$; $Fv=285psi$; $E=1,900,000 psi$	Owner. 9. Enclosed attic spaces and roof rafters shall have cross ventilation for each sep space by ventilating openings protected against the entrance of rain. The net free
pe 2 core, normal	N. Multiple piece LVL beams shall be nailed together in accordance with the manufacturers recommended nailing detail. All LVL beams shall have 3" bearing unless otherwise noted.	ventilating areas shall be not less than 2/3 of one percent (1%) of the horizontally projected roof area, or 1/3 of one percent (1%) if at least fifty percent (50%) of required ventilating area is provided by ventilators located in the upper portion of space to be ventilated at least 3 feet above eave or cornice vents with the balanc
ompressive lime and 3 parts	O. Joist hangers for LVL members shall be those specifically manufactured for the type and size of member.	the required ventilation provided by eave or cornice vents. Provide continuous shi ridge vents installed to manufacturers printed instructions. Manufacturer, style and color as selected by Owner.
grout, with a be placed in lifts	2. CONNECTIONS:	10. Provide and install kraft faced glass fiber batt insulation with an insulation-only of R-49 in roof or ceiling and kraft faced glass fiber batt insulation with an insulation value of R-20 in 2 x 6 exterior walls of heated space.
	A. Nailing:	II. Provide and install batt insulation at window shim spaces.
-type wire	I. Contractor shall adhere to standard industry practices regarding the number and type of fastners required at each connection including, but not limeted to, joists, studs, plates, blocking, bridging, laminated beams, headers and plywood sheathing.	I 2. Fit insulation tight within spaces and tight to and behind mechanical and electri services within the plane of insulation. Leave no gaps or voids.
nth ACI 530/	C. All manufactured connection hardware designated on Drawings shall be galvanized steel or at least 16 gauge thickness. Install full nailed in strict conformance to manufacturer's instructions.	13. Provide and install a 6 mil polyethylene vapor barrier complying with AS17 D2 at exterior walls, windows and doors of all heated spaces. Equal to Tyvek "House
	D. All steel connections assemblies detailed on Drawings shall be fabricated from ASTM A36 steel in conformance with applicable requirements of AISC "Specification for the Design Fabrication, and Erection of Structural Steel for Buildings". Welding shall conform to AMS D1.1-86.	I 4. Caulk in joints around openings to provide a watertight and airtight seal. Clear joints thoroughly. Areas adjacent to joints shall be masked if necessary to obtain sealer line, free of stains on adjacent surfaces. Joints greater than 3/8" in depth s filled with back-up material.
	E. Install lag screws in drilled lead holes with a diameter equal to 3/4 of the shank diameter (lag screws shall not be hammered in). Wax or soap lag screws. Provide washers under heads bearing on wood. Holes shall be properly aligned.	I 5. All locations indicated on Drawings and wherever air, water, or dust may infiltra between construction members shall be caulked. Set exterior edges of all exterior thresholds in caulking to provide weather tight seal.
the building	F. Bolt holes shall be drilled 1/16" larger than bolt diameter. Provide washers under all	I G. Provide seamless 5" K gutters and 2" x 3" downspouts connected to storm se system or to non-erosive splash blocks at grade. Include all accessories required

bolt heads and nuts bearing on wood. Holes shall be properly aligned.

Nuts shall be tightened snug.

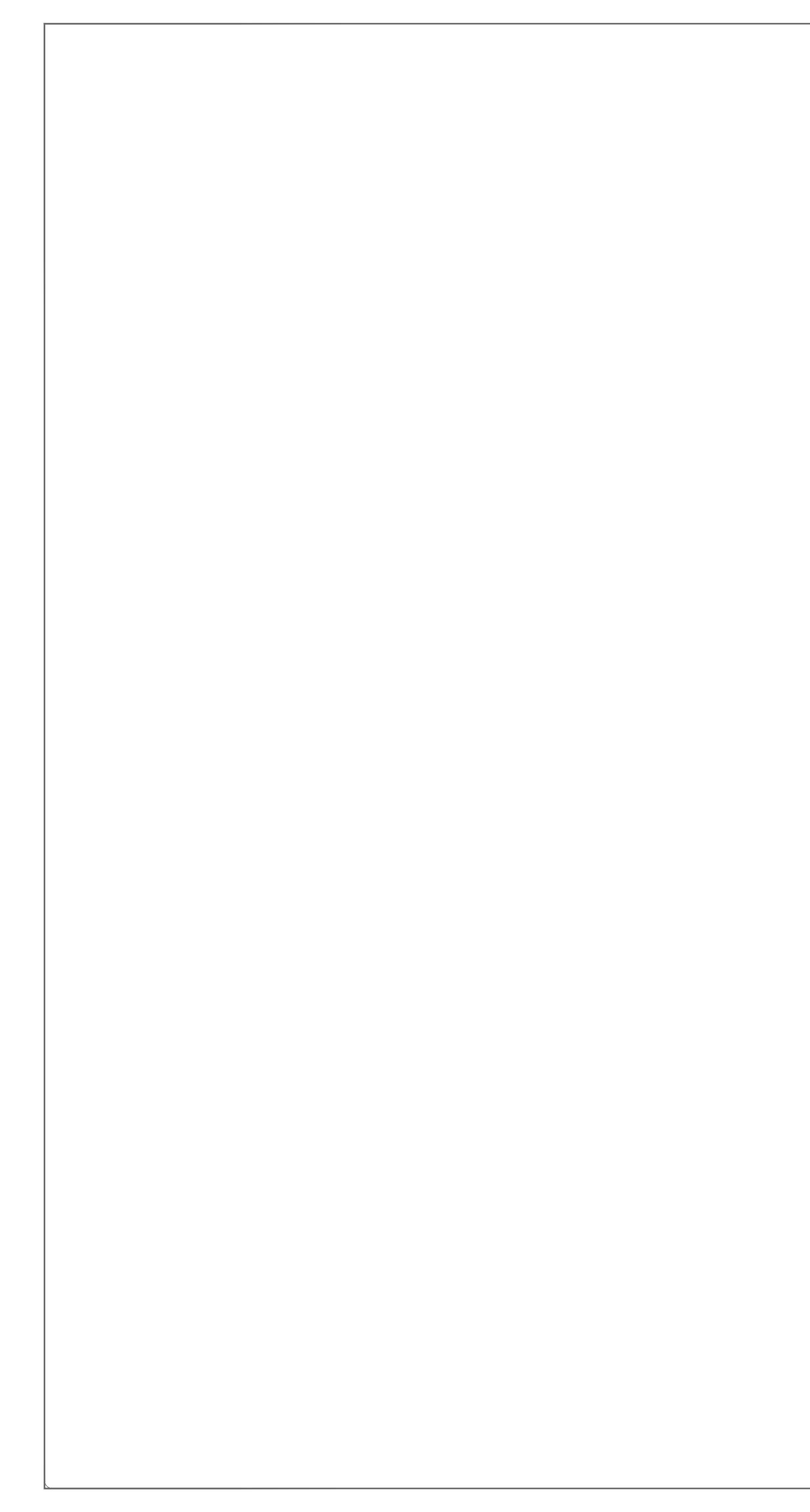
G. In no case shall misalignment be allowed which prevents proper bearing or alignment

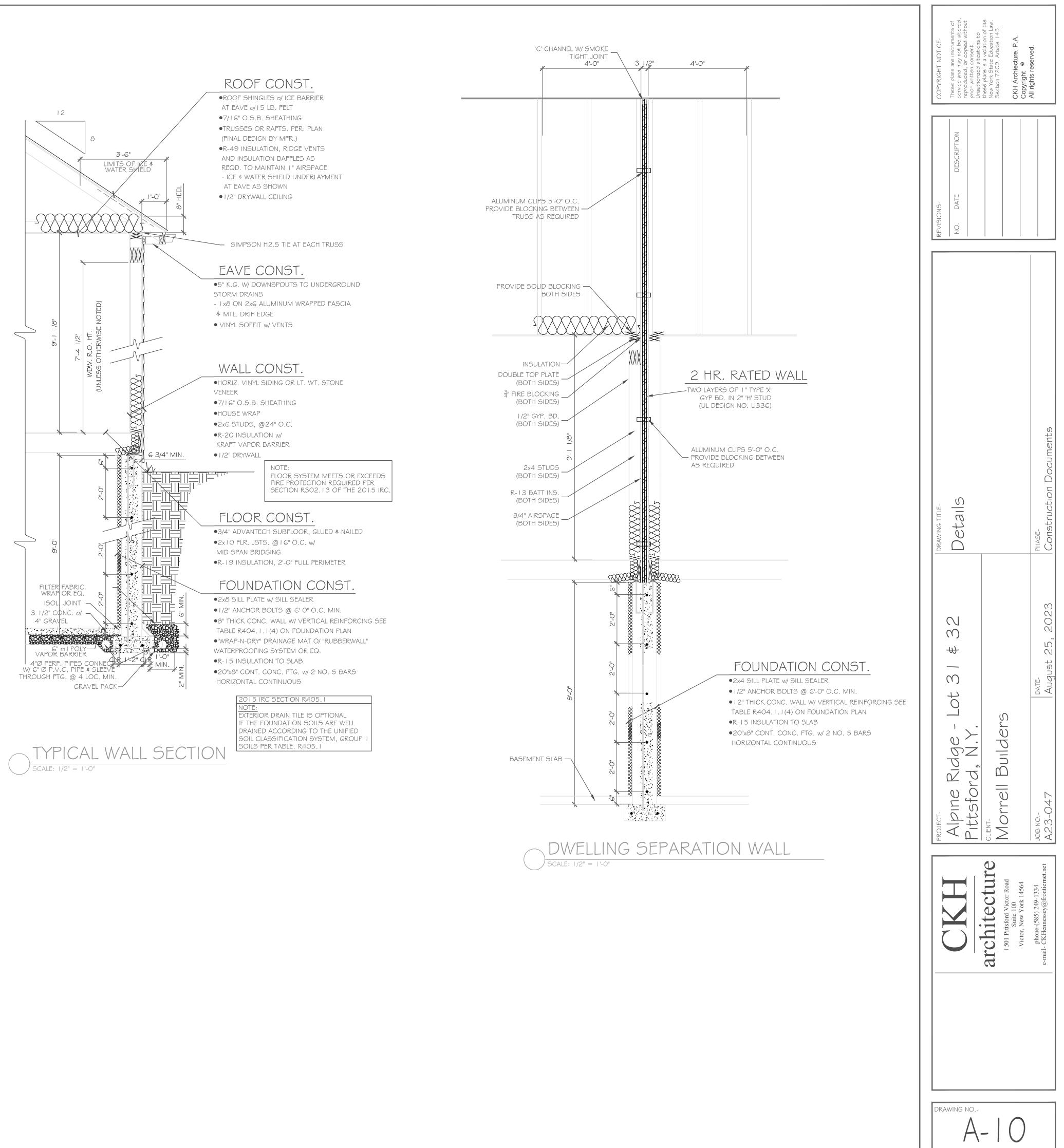
of members. Oversize holes shall not be allowed. Bolts shall be ASTM A307 bolts.

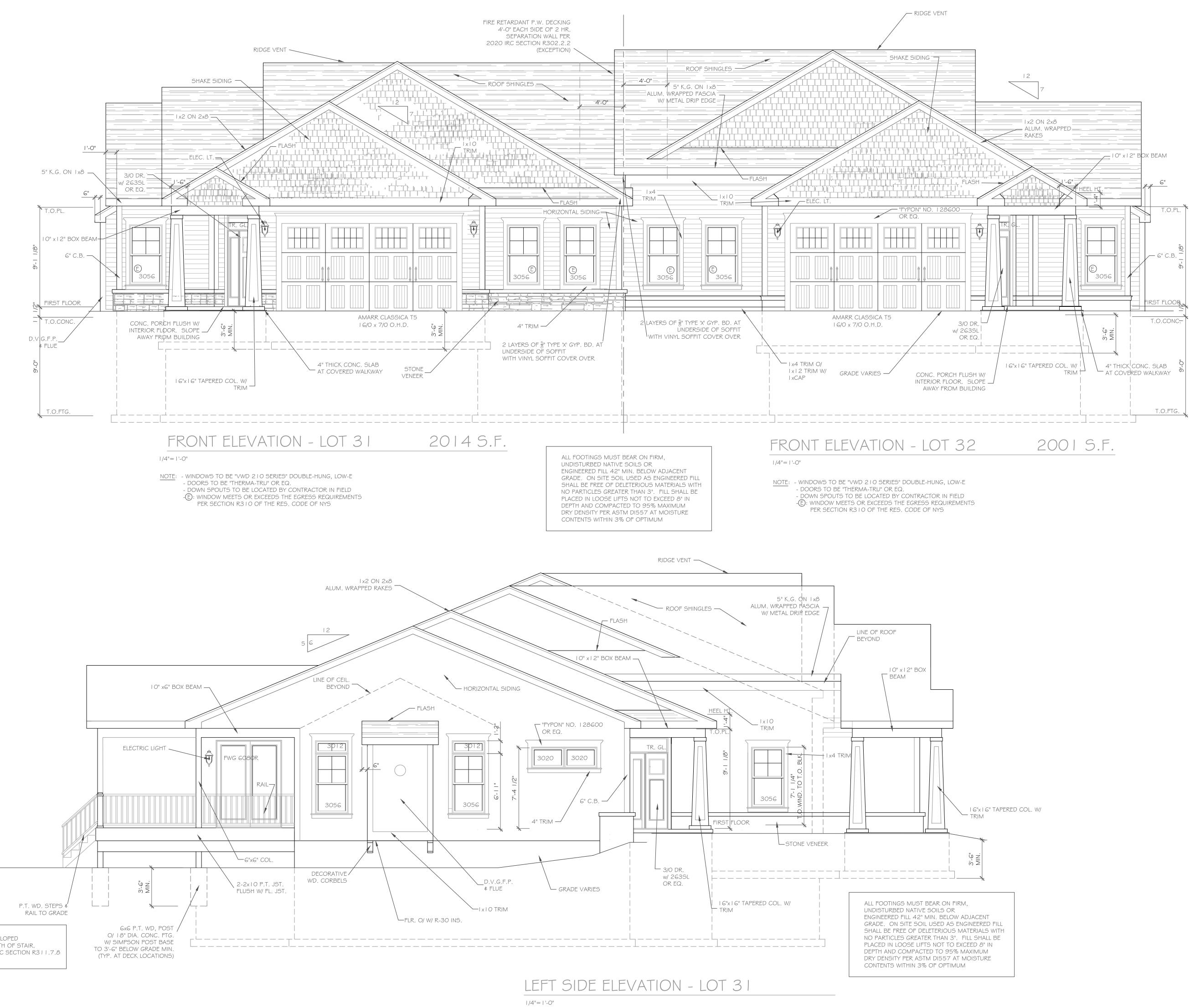
WOOD: (CONT.)

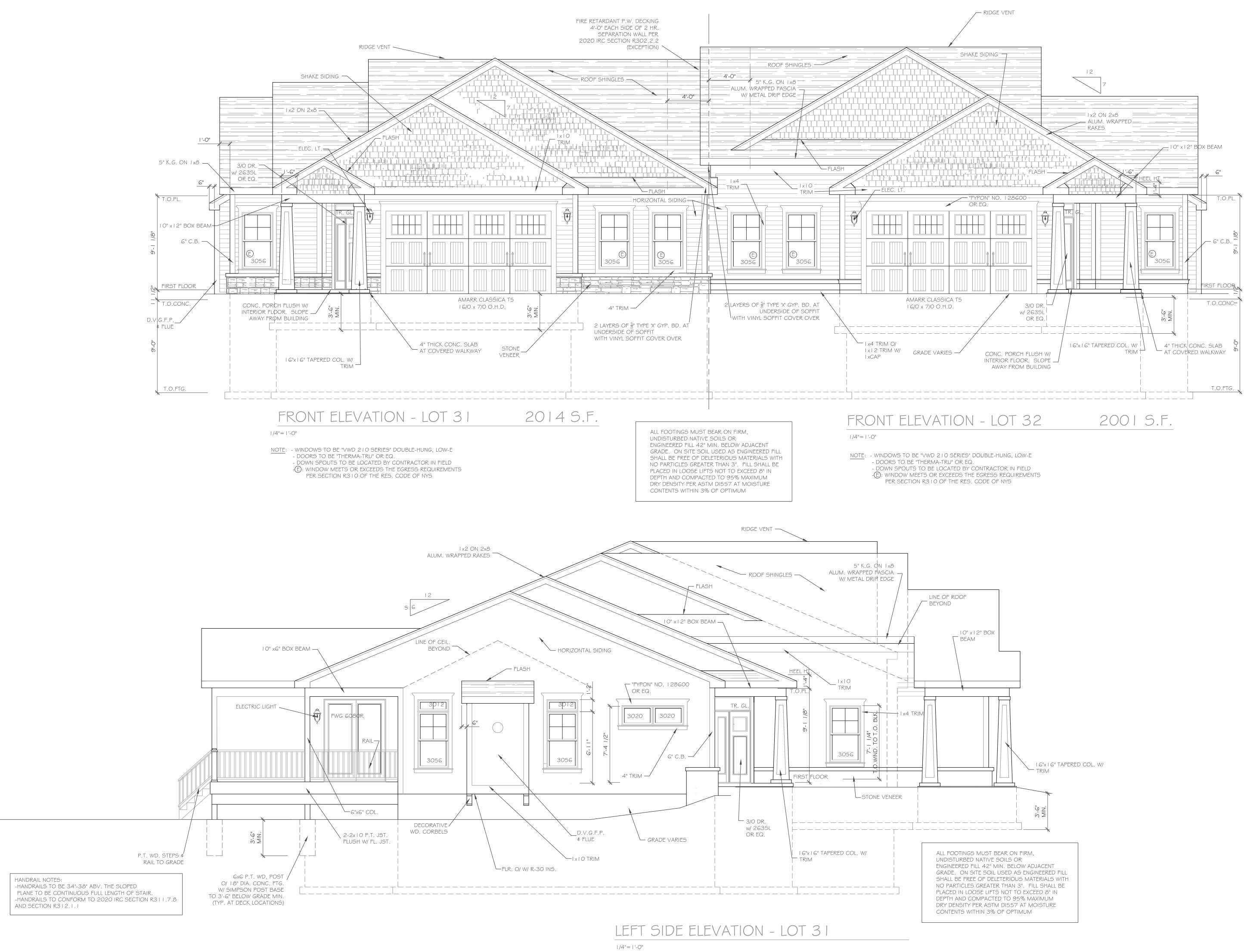
complete installation. Verify location of downspouts in field with Owner.

erior and exterior) placed	DOORS AND WINDOWS I. Reference standards for doors and windows shall be as follows: A. Underwriter's Laboratories, Inc.: Building Material Directory B. National Fire Protection Association: Pamphlet No. 80 - Standard for Fire Doors and Windows. C. Mational Woodwork Manufacturers Association: I.S., 1078: Wood Flush Doors	COPYRIGHT NOTICE- These plans are instruments of service and may not be altered, reproduced, or copied without prior written consent. Unauthorized alteations to these plans is a violation of the New York State Education Law. Section 7209. Article 145. CKH Archiecture, P.A. Copyright © All rights reserved.
c concentrated loads, no deeper than 1/4 the 1/8 to 1/4 of span from of notch. Holes in joists, e depth of member and c centered within depth 1/3 of height from either otches in studs shall not	D. ASTM E 283, ASTM E 331. 2. Glazing in locations which may be subject to human impact such as frameless glass doors, glass entrances and exit doors, fixed glass panels, sliding glass doors, shower doors, tub enclosures, and storm doors shall meet the requirements set forth in the Residential Code of New York State and the Safety Standard for Architectural Glazing Material (16 CFR 1201). All glazed panels located within 12" of a door which may be mistaken for openings for human passage, unless such panels are provided with a horizontal member 1 1/2" minimum in width located between 24" and 36" above the walking surface, shall be tempered glass.	DATE DESCRIPTION
turers written directions their products.	 Interior doors shall be pre-hung, molded, style and rail door units by Jeld-Wen or equal. Doors shall match adjacent existing door units as closley as possible. <u>Hardware</u> style and finish/color as selected by Owner. All window units shall be of bush parformance, wood construction in standard. 	REVISIONS NO. D.
displaced to provide for	4. All window units shall be of high-performance, wood construction in standard casement, awning, and fixed unit sizes. Provide Insulating Low E II Glass/Argon, removable screens, and extension jambs as required (equal to Andersen vinyl-clad wood windows with a U-Factor of maximum 0.32).	
that full bearing is cking or support under.	5. Exterior doors shall be insulated fiberglass, pre-primed and pre-hung (Therma-Tru or equivilant). Final manufacturer, style, <u>hardware style and finish/color as selected by Owner</u> .	
r vertical joints over of panels to anchored sill ses do not occur over n at right angles to	MECHANICAL I. Contractor shall provide all labor, materials, and equipment necessary to install plumbing, related fixtures, ventilations, heating and air conditioning. All work shall comply with state and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off	
m space 1/16" between 1 of panels. Plywood rafters or trusses.	valves and other safety devices prior to operations of system.	
all be identified by all be installed in ay underlayment on #6	ELECTRICAL I. Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heat elements, and control. All work shall comply with National Electrical Code and the Provisions of Part VIII of the Residential Code of New York. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls.	coments ocuments
specified herein: Engineers (ASHRAE)	2. Electrical system layouts, if included in construction documents, are generally diagrammatic, locations of outlets and equipment is approximate. Exact routing of wiring, locations of outlets shall be governed by structural conditions and obstructions. Wiring for equipment requiring maintenance and inspection shall be readily accessible.	ficat tion D
ural Sheet Metal Manual"		
ımum 0.016" thıck I step flashıng. 5 be ın contact wıth		
jections of wood beams Jired to proved 03 \$ R903 of the		2023 2023
instructions and shall nufacturer, style and		
nan 36" wide rolled way and shall have the all have an end lap of not	DESIGN DATA: Per Residential Code and Energy Conservation Construction Code of New York State	Dt 31 August
nditions to 24" inside	Roof (Live Load)	Ridge - Lo Builders
r's printed instructions, or 16" shingle, 5 1/2" for 5 lb. (min.) building felt 1 color as selected by	Second Floor (Live Load)30 psf Second Floor (Dead Load)10 psf Presumptive Soil Bearing1,500 psf at min. 42 inches below finished grade	rrell rrell
alation for each separate f rain. The net free of the horizontally percent (50%) of the e upper portion of the nts with the balance of vide continuous shingled nufacturer, style and		
h an insulation-only value tion with an insulation-only		ChiteCtu Suite 100 Victor, New York 14564 phone-(585) 249-1334 CKHennessey@frontierr
chanical and electrical		arc - nail- C
ing with AS17 D2103 al to Tyvek "House Wrap".		
airtight seal. Clean ecessary to obtain a neat chan 3/8" in depth shall be		
or dust may infiltrate dges of all exterior		
nected to storm sewer cessories required for a 1 Owner.		DRAWING NO

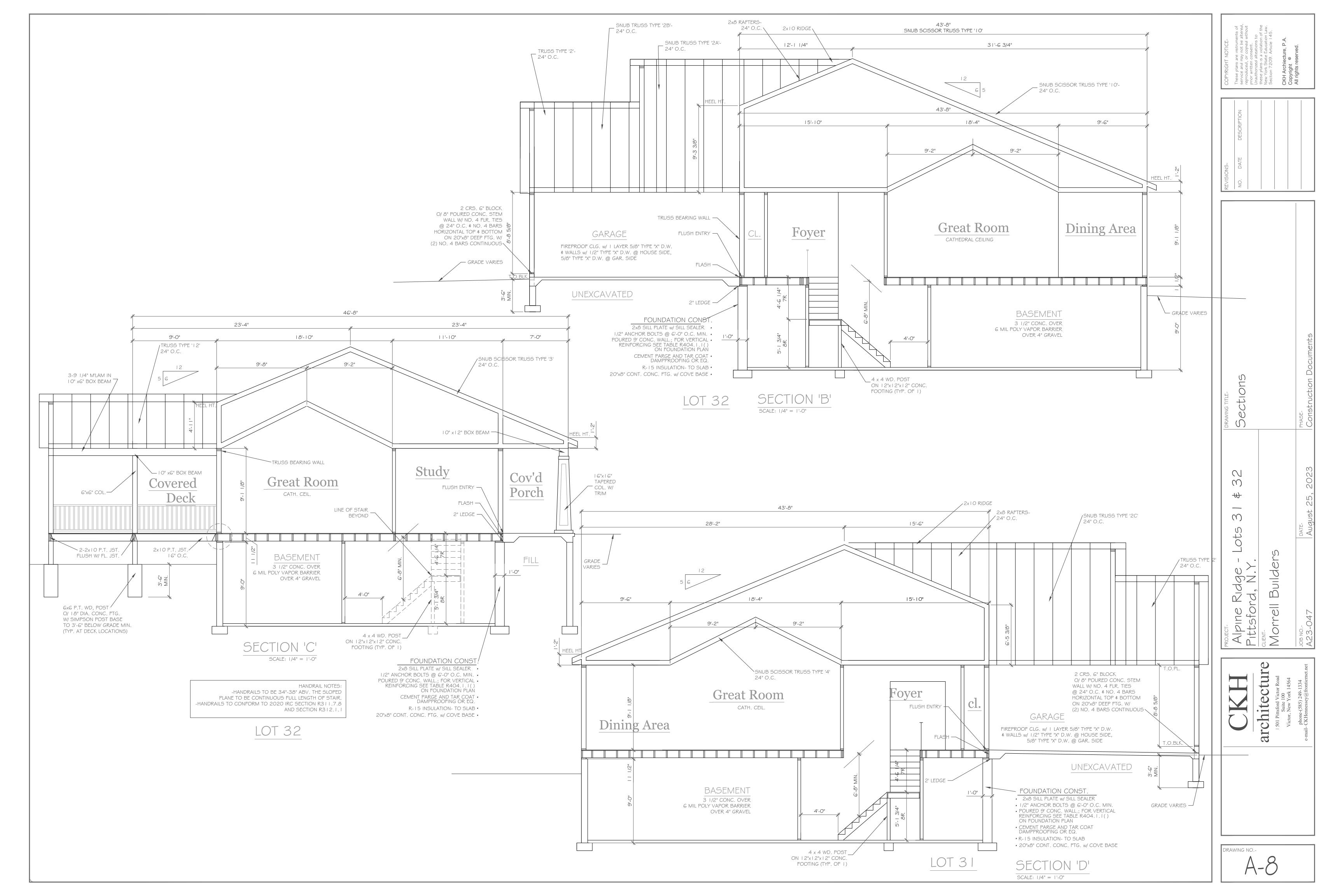


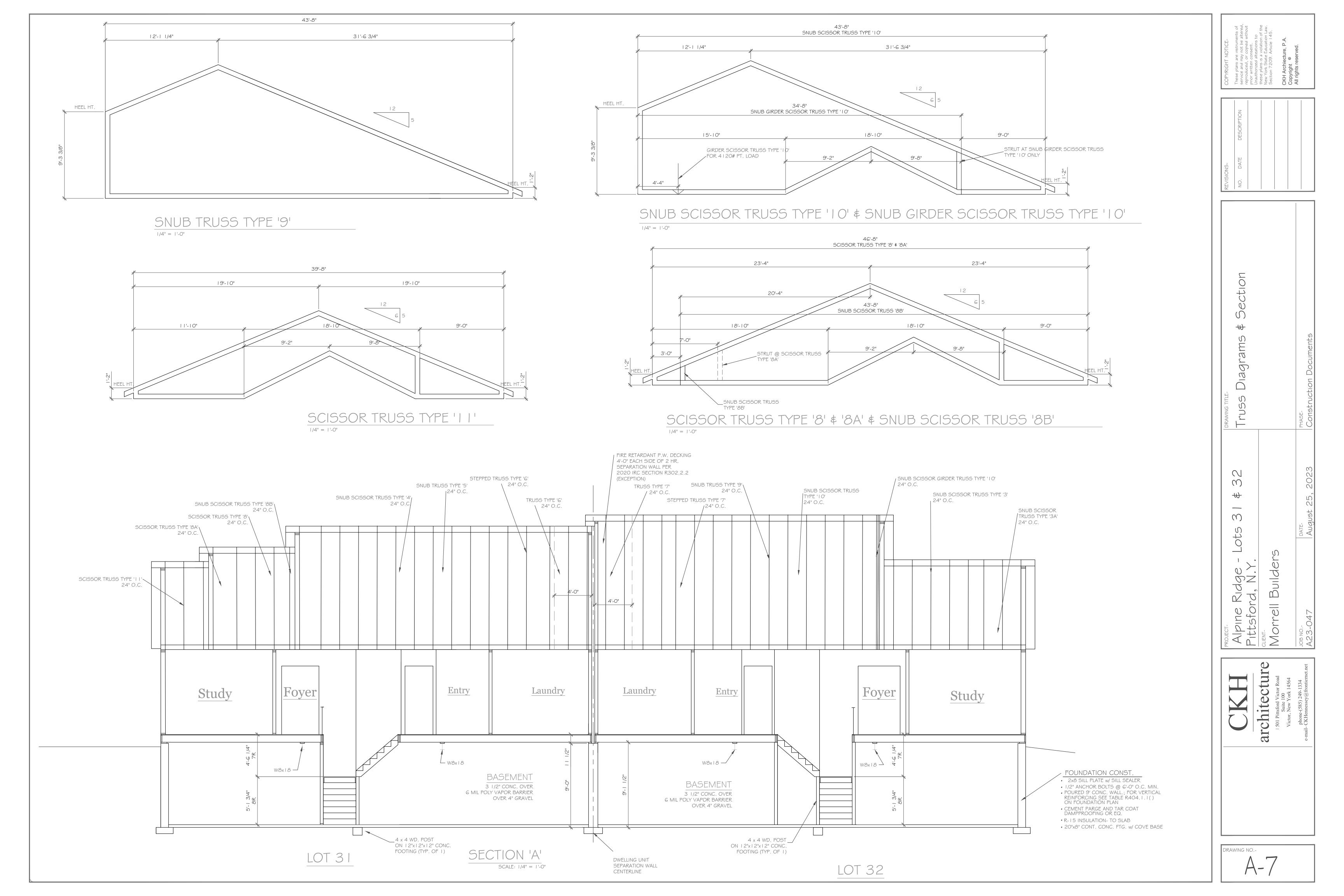


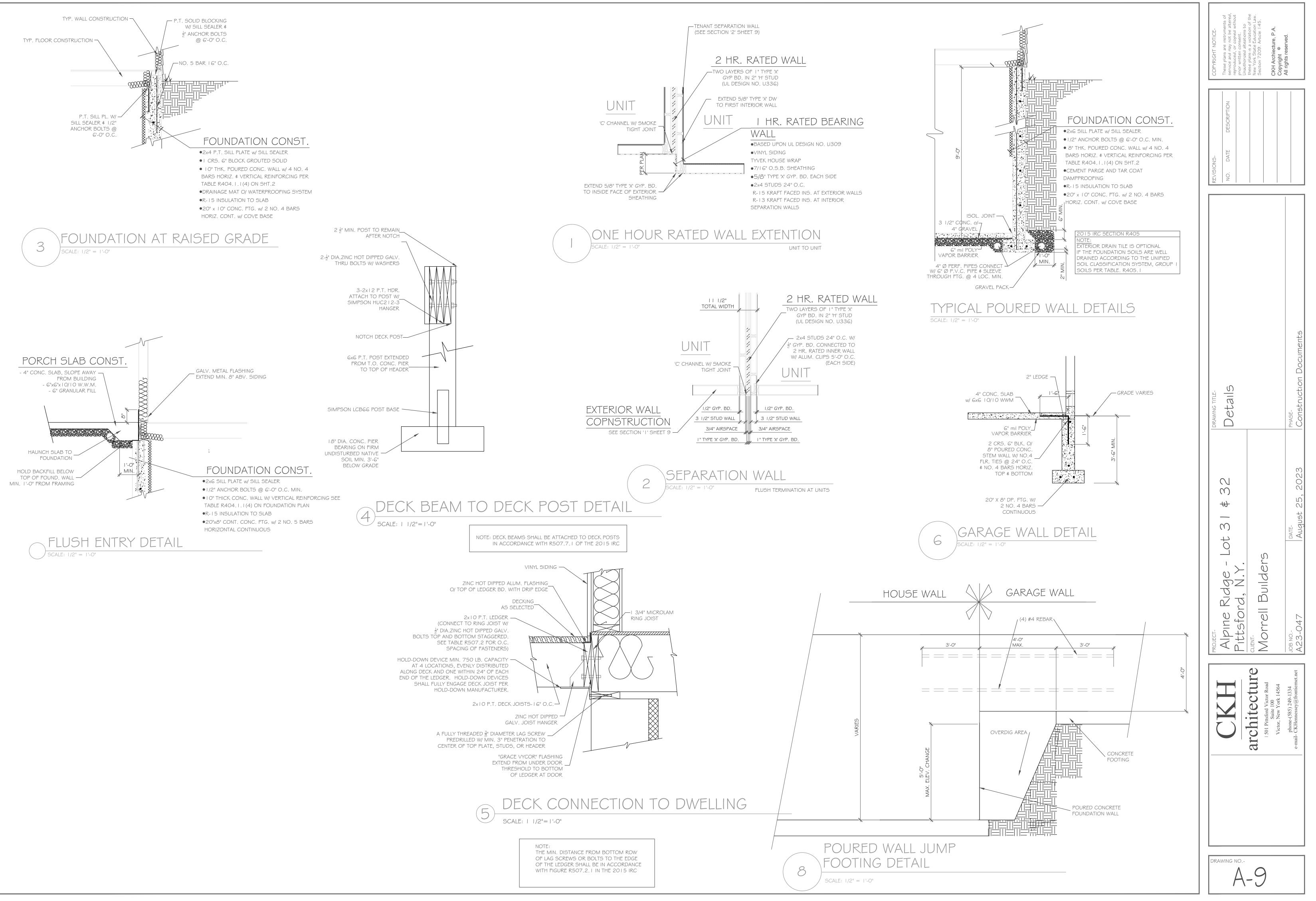


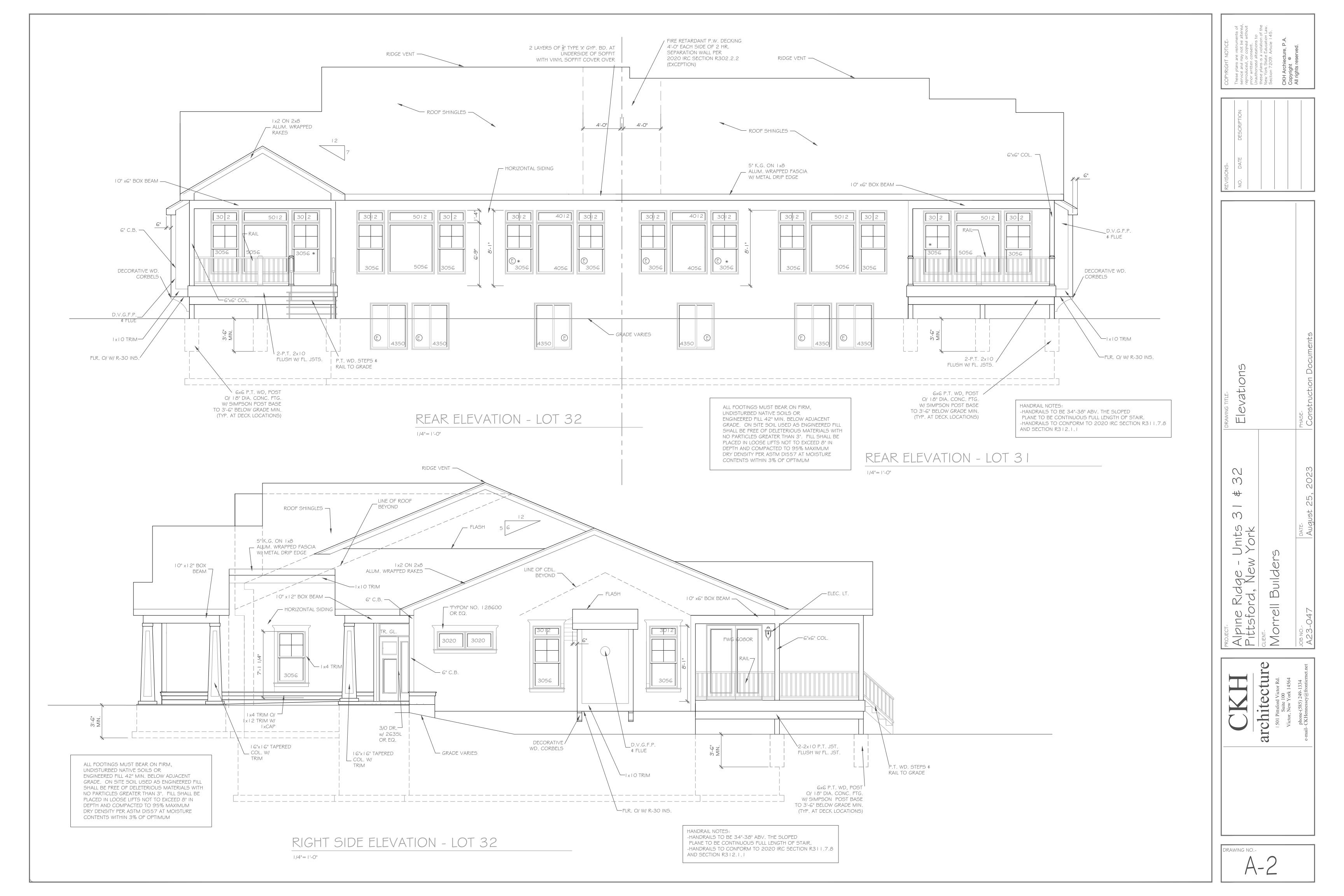


Inits 31 \$ 32 DRAWING TITLE- Ork No. DATE Ork No. DATE DATE- PATE- August 25, 2023 Construction Documents	Image Heating PRAMING TITLE- Protect- Protections Protection Protection Protection Protection Protection Protection	ne Ridge - Units 31 & 32 sford, New York rell Builders O47 DATE DATE DATE DATE No. DATE No. DATE DATE DATE DATE DATE DATE DATE DATE	COPYRIGHT NOTICE- These plans are instruments of service and may not be altered, reproduced, or copied without	prior written consent. Unauthonzed alteations to these plans is a violation of the New York State Education Law. Section 7209. Article 145.	CKH Archiecture, P.A. Copyright © All rights reserved	
nits 3 \$ 32 ork	PROJECT- Project- Alpine Ridge - Units 31 & 32 Pittsford, New York CLENT- Morrell Builders 1334 JOB NO JOB NO JOB NO	PROJECT- PROJECT- Project- Alpine Ridge - Units 31 & 32 Pittsford, New York New York S01 Pittsford, New York New York S01 Pittsford, New York Clent- S01 Pittsford, New York Date-	REVISIONS- NO. DATE DESCRIPTION			
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	ontiernet. net	Sol Pittsford Victor Rd. Sol Pittsford Victor Rd. Suite 100 Victor, New York 14564 phone-(585) 249-1334 CKHennessey@frontiernet.net	Ridge - Units 31 \$ 32	ord, New York Il Builders		









RI03.2 Information on construction documents. Construction documents shall be drawn to scale upon suitable material. Electronic media documents are permitted to be submitted where approved by the code official. Construction documents shall be of sufficient clarity to indicate the location, nature and extent of the work proposed, and show in sufficient detail pertinent data and features of the building, systems and equipment as herein governed. Details shall

include, but are not limited to, the following as applicable:

- I. Mechanical system design criteria.
- 2. Mechanical and service water-heating system and equipment types, sizes and efficiencies.
- 3. Equipment and system controls.
- 4. Duct sealing, duct and pipe insulation and location.

M/E/P contractors are required to prepare and submit mechanical, lighting and service water heating system and equipment data to demonstrate full Energy Code compliance.

R302.7 Under-Stair Protection

Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board

R302.11 Fireblocking

In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

R311.3 Floors and Landings at Exterior Doors There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Every landing shall have a dimension of not less than 36 inches (914 mm) measured in the direction of travel. The slope at exterior landings shall not exceed 1/4 unit vertical in 12 units horizontal (2 percent).

Exception: Exterior balconies less than 60 square feet (5.6 m2) and only accessible from a door are permitted to have a landing less than 36 inches (914 mm) measured in the direction of travel.

R311.3.1 Floor Elevations at the Required Egress Doors Landings or finished floors at the required egress door shall be not more than 11/2 inches (38 mm) lower than the top of the threshold.

Exception: The landing or floor on the exterior side shall be not more than 73/4 inches (196 mm) below the top of the threshold provided the door does not swing over the landing or floor.

R401.3 Certificate (Mandatory). A permanent certificate shall be completed by the builder or registered design professional

and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired unvented room heater, electric furnace or baseboard electric heater is installed in the residence, the certificate shall list "gas-fired unvented room heater," "electric furnace" or "baseboard electric heater," as appropriate. An efficiency shall not be listed for gas-fired unvented room heaters, electric furnaces or electric baseboard heaters.

-For Greater Rochester Area and surrounding count	e5.
IST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	IO PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRAD
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	I DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

To the best of my knowledge, belief, and professional judgement, these drawings are in compliance with these requirements and the Energy Code.

R402.2.4 Access hatches and doors. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A woodframed or equivalent baffle or retainer is required to be provided when loose-fill insulation is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation. Exception: Vertical doors that provide access from conditioned to unconditioned spaces shall be permitted to meet the fenestration requirements of Table R402.1.2 based on the applicable climate zone specified in Chapter

R402.4.3 Fenestration air leakage. Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m2), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m2), when tested according to NFRC 400 or AAMA/ WDMA/CSA 101/1.5.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer. Exception: Site-built windows, skylights and doors.

R402.4.4 Rooms containing fuel-burning appliances. In Climate Zones 3 through 8, where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening shall be located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms shall be sealed and insulated in accordance with the envelope requirements of Table R402.1.2, where the walls, floors and ceilings shall meet not less than the basement wall R-value requirement. The door into the room shall be fully gasketed and any water lines and ducts in the room insulated in accordance with Section R403. The combustion air duct shall be insulated where it passes through conditioned space to a minimum of R-8. Exceptions:

I. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside. 2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the International Residential Code.

R402.4.5 Recessed lighting. Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

R403.1 Controls (Mandatory). At least one thermostat shall be provided for each separate heating and cooling system. R403.1.1 Programmable thermostat. The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to $55^{\circ}F(13^{\circ}C)$ or up to $85^{\circ}F(29^{\circ}C)$. The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F $(2 | ^{\circ}C)$ and a cooling temperature set point no lower than 78°F (26°C).

R403.3.2 Sealing (Mandatory). Ducts, air handlers and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code, as applicable.

R403.3.5 Building cavities (Mandatory). Building framing cavities shall not be used as ducts or plenums.

R403.3.3 Duct testing (Mandatory). Ducts shall be pressure tested to determine air leakage by one of the following methods:

I. Rough-in test: Total leakage shall be measured with a pressure differential of O.I inch w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.

2. Postconstruction test: Total leakage shall be measured with a pressure differential of O.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test. Exception: A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope

The ductwork is within the thermal envelope.

ENERGY EFFICIENCY:

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2 THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONANTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1 AS APPLICABLE TO THE METHOD OF CONSTRUCTION WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

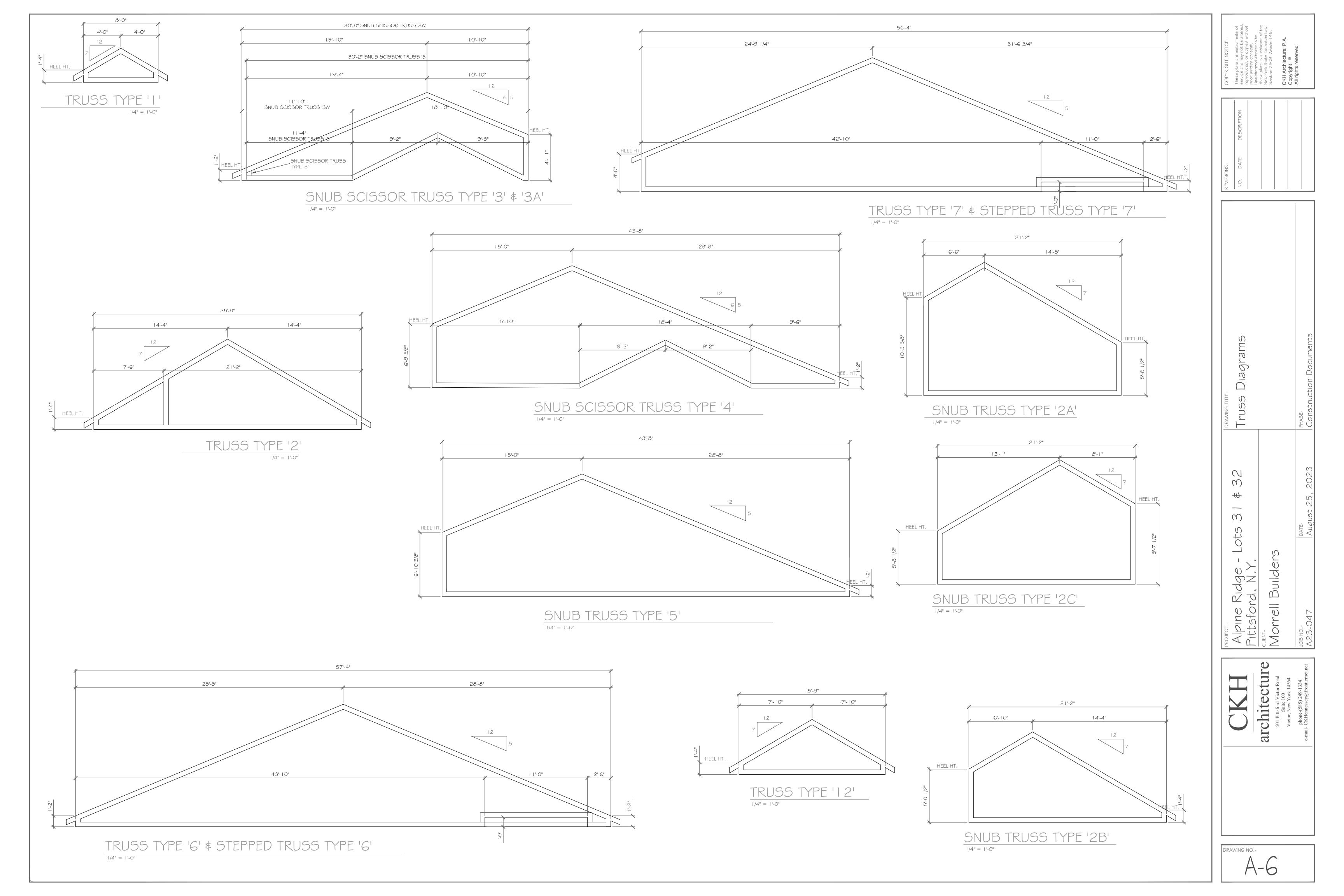
R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND 3 AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E779 OR ASTM E1827AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING:

BE CLOSED AND SEALED.

PER R402.2.4 OF THE 2015 NY IECC.





Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000127

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Kerrygold Way PITTSFORD, NY 14534 Tax ID Number: 163.02-5-40 Zoning District: PUD Planned Unit Development Owner: Rubens, Jack Applicant: Rubens, Jack

Application Type:

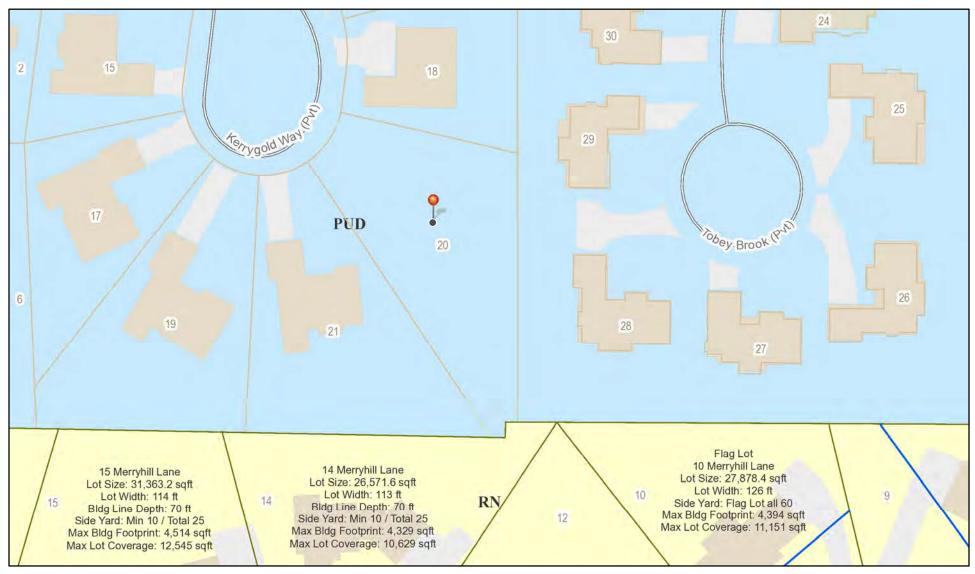
- Residential Design Review
- §185-205 (B)
 Commercial Design Review
- §185-205 (B)
- Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
 - Corner Lot Orientation
- §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
- §185-17 (L) (2)

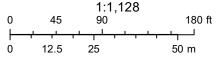
Project Description: Applicant is requesting design review for a one-story, 5,048 square foot single-family home in the Clover Estates neighborhood.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





GENERAL NOTES:

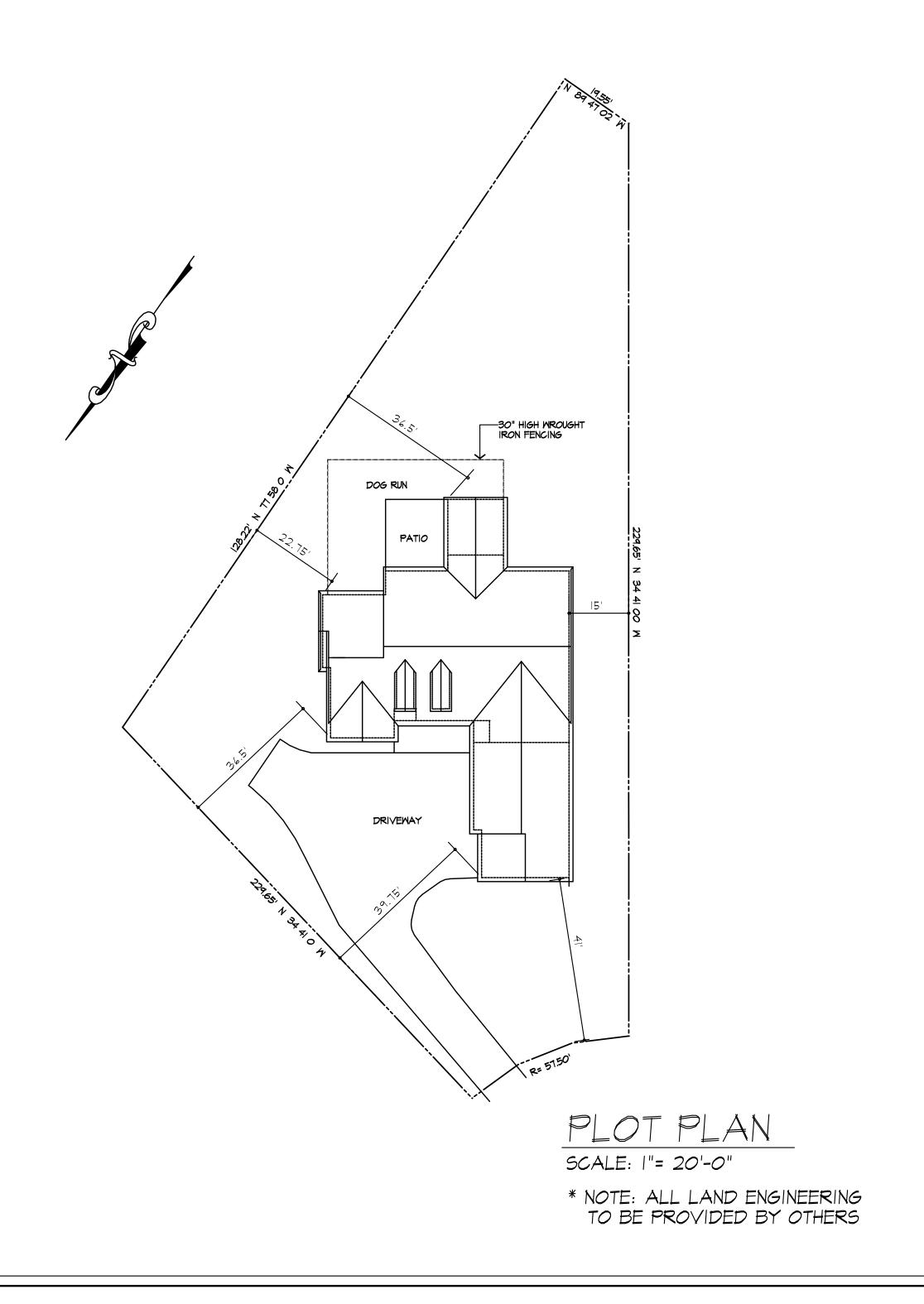
- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES; STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- 4. ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- 5. BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED
- 6. MINIMUM CONCRETE COMPRESSIVE STRENGTH: 2500 PSI FOOTINGS 2500 PSI FLOOR SLABS 3500 PSI PORCH 3500 PSI GARAGE

EXTERIOR DECKS

- 7. CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-I, WALL REINFORCING ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - I PART PORTLAND CEMENT, I/4 PART LIME, 3 PARTS SAND.
- 8. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-3IC, TT-P-8G. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- 9. MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- 10. CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- II. WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- 12. PLYMOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1. NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- 3. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- 14. ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- 15. CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK
- 17. THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- 18. THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
 FLOOR LOADS (LIVING AREAS-IST FLOOR) 40 PSF SLEEPING AREAS (2ND FLOOR) 30 PSF
- 9. ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.

40 PSF

- 20. WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- 21. IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- 22. ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- 23. EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- 24. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS
- 25. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- 26. THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- 27. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- 28. THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- 29. ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S WET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- 30. BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- 31. SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- 32. PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- 33. ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



LEBEAU RESIDENCE LOT 10 CLOVER ESTATES

DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	BASEMENT/FOUNDATION PLAN
5	1ST FLOOR PLAN
6	ROOF PLAN
7	TRUSS DIAGRAMS
8	BUILDING SECTIONS
9	WALL SECTIONS

ENERGY COMPLIANCE DETAILS & PATH MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS

(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

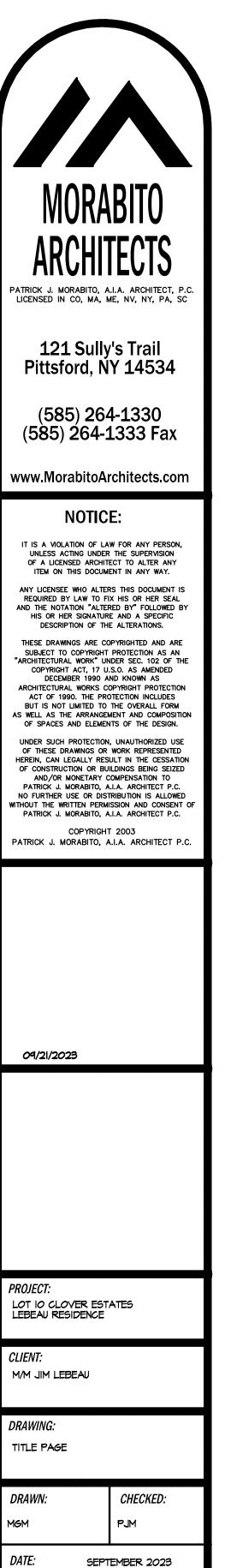
COMPONENT		REQUIRED	PROVIDED
١.	FENESTRATION U-FACTOR	.30	.30
2.	CEILING R-FACTOR	49	49
З.	WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4.	FLOOR R-FACTOR	R-30	R-30
5.	BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6.	SLAB R-FACTOR	R-10024" R-5 SLAB EDGE	R-10024" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- I. A MINIMUM OF 15% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- 4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCULDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- 5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- 1. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINUMUM OF R-6 PER 1103.2.1
- 8. MECHANICAL VENTILATION PER SECTION NIIO3.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION MI507.3.3 REQUIREMENT.
- 9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION NIIO3.6.1.
- IO. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION NIIO3.7 REQUIREMENTS.

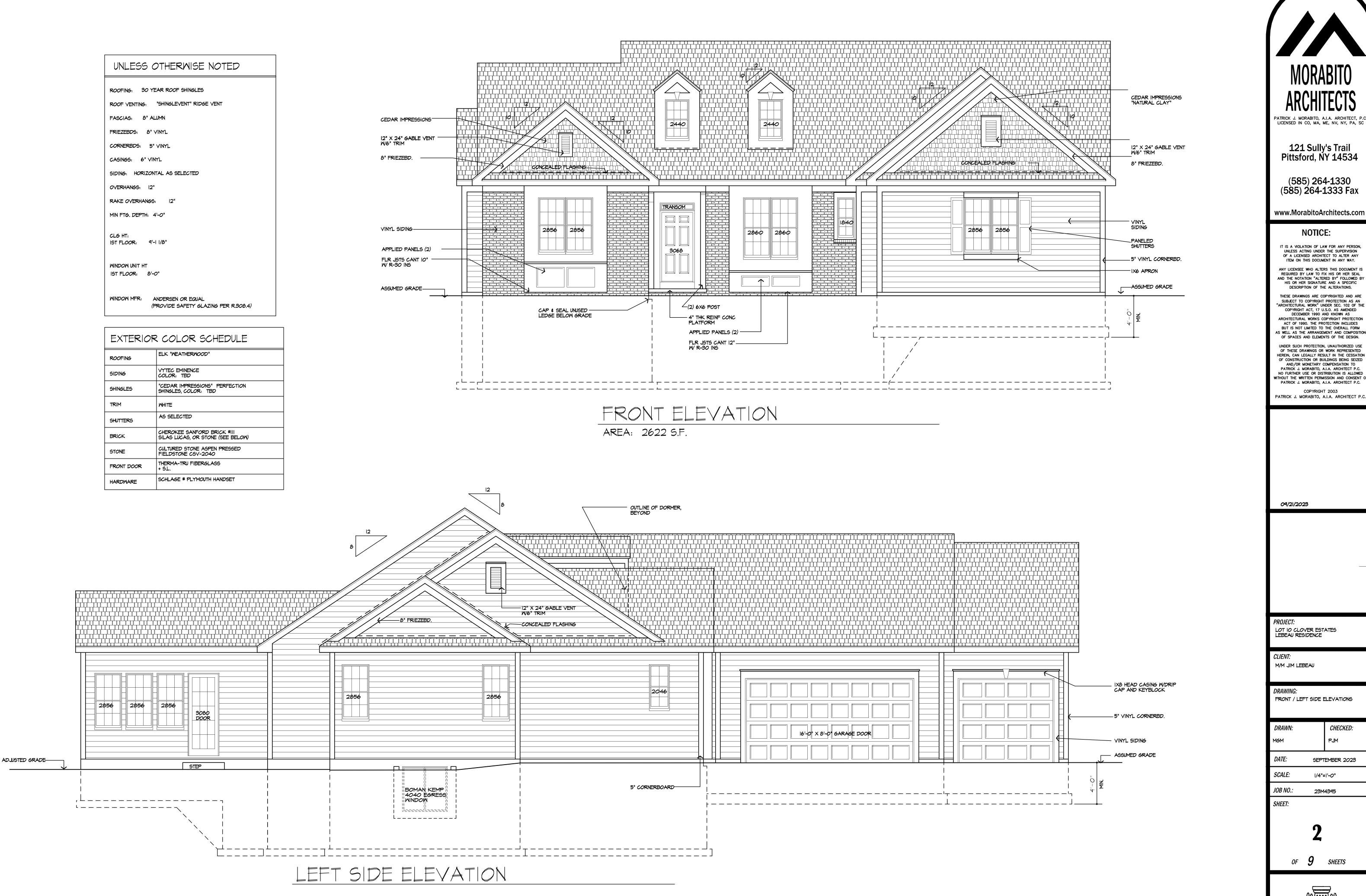
BASIC DESIGN CRITERIA

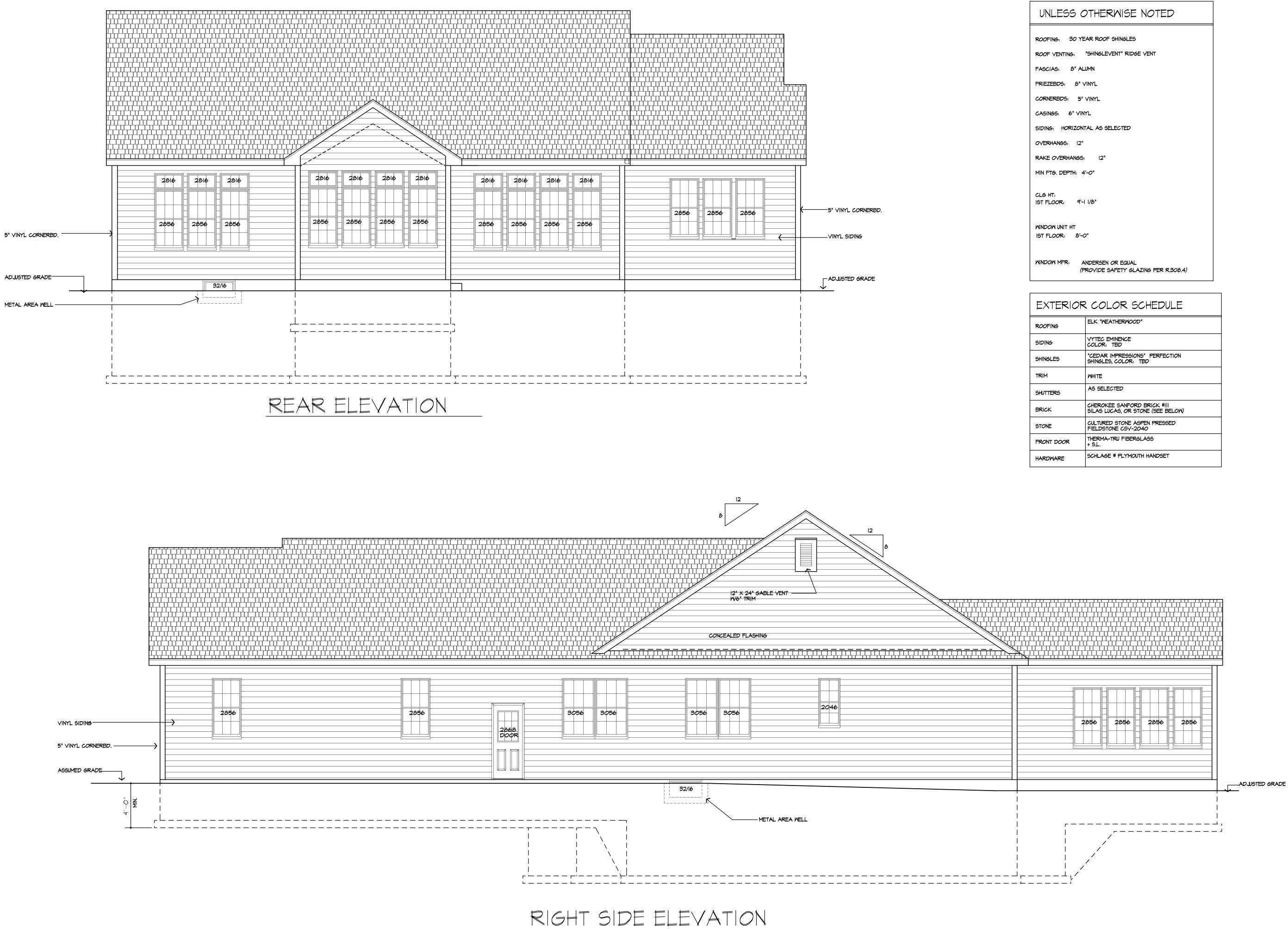
- I. GROUND SNOW LOAD 40 PSF R301.2 (5)
- 2. WIND SPEED 115 MPH, EXPOSURE B R301.2.1
- 3. SEISMIC DESIGN CATEGORY A R301.2 (2)
- 4. WEATHERING SEVERE
- 5. FROST LINE DEPTH 48"
- 6. TERMITE DAMAGE NONE TO SLIGHT
- 7. DECAY DAMAGE NONE TO SLIGHT
- 8. WINTER DESIGN TEMPERATURE I
- 9. ICE SHIELD UNDERLAYMENT REQUIRED YES
- IO. FLOOD HAZARD FIRM 1992
- II. ROOF TIE DOWN REQUIREMENTS R802.II.

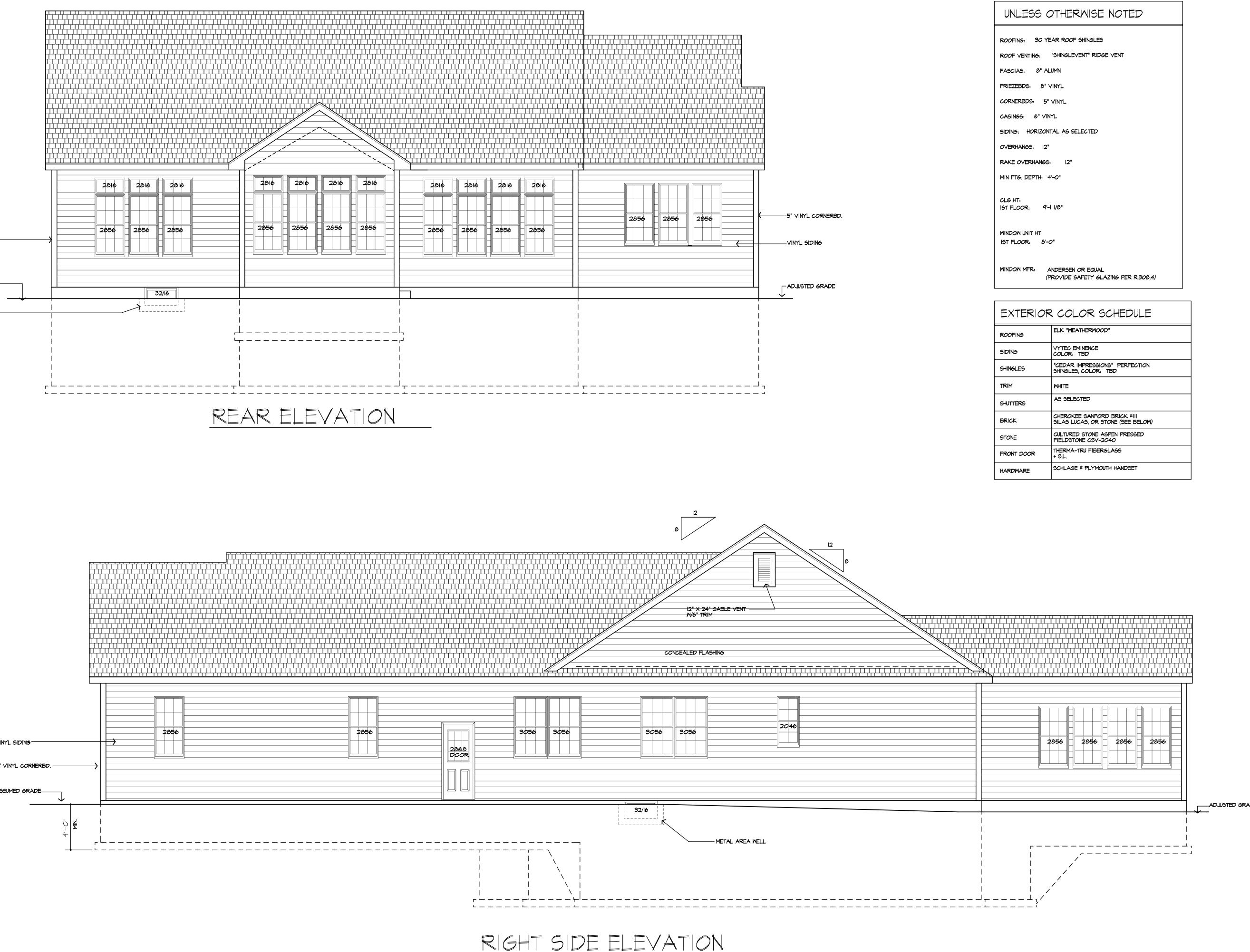


SCALE: 1/4"=1'-0" JOB NO.: 23M4395 SHEET: DF **9** SHEETS

ROOFING	ELK "WEATHERWOOD"	
SIDING	VYTEC EMINENCE COLOR: TBD	
SHINGLES	"CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD	
TRIM	WHITE	
SHUTTERS	AS SELECTED	
BRICK	CHEROKEE SANFORD BRICK #111 SILAS LUCAS, OR STONE (SEE BELOW)	
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE CSV-2040	
FRONT DOOR	THERMA-TRU FIBERGLASS + S.L.	
HARDWARE	SCHLAGE # PLYMOUTH HANDSET	

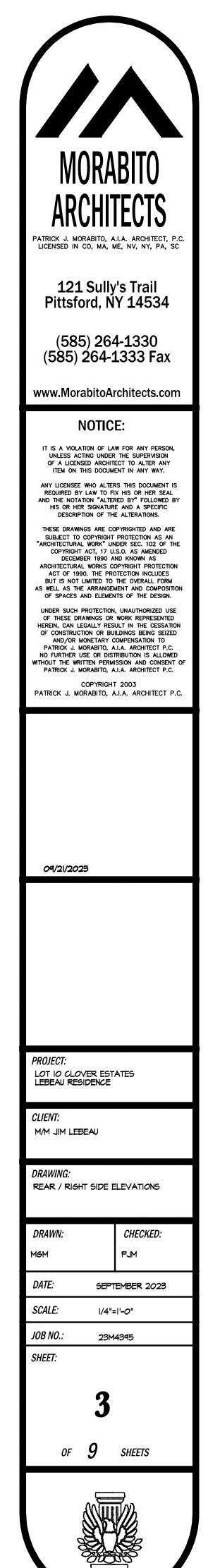


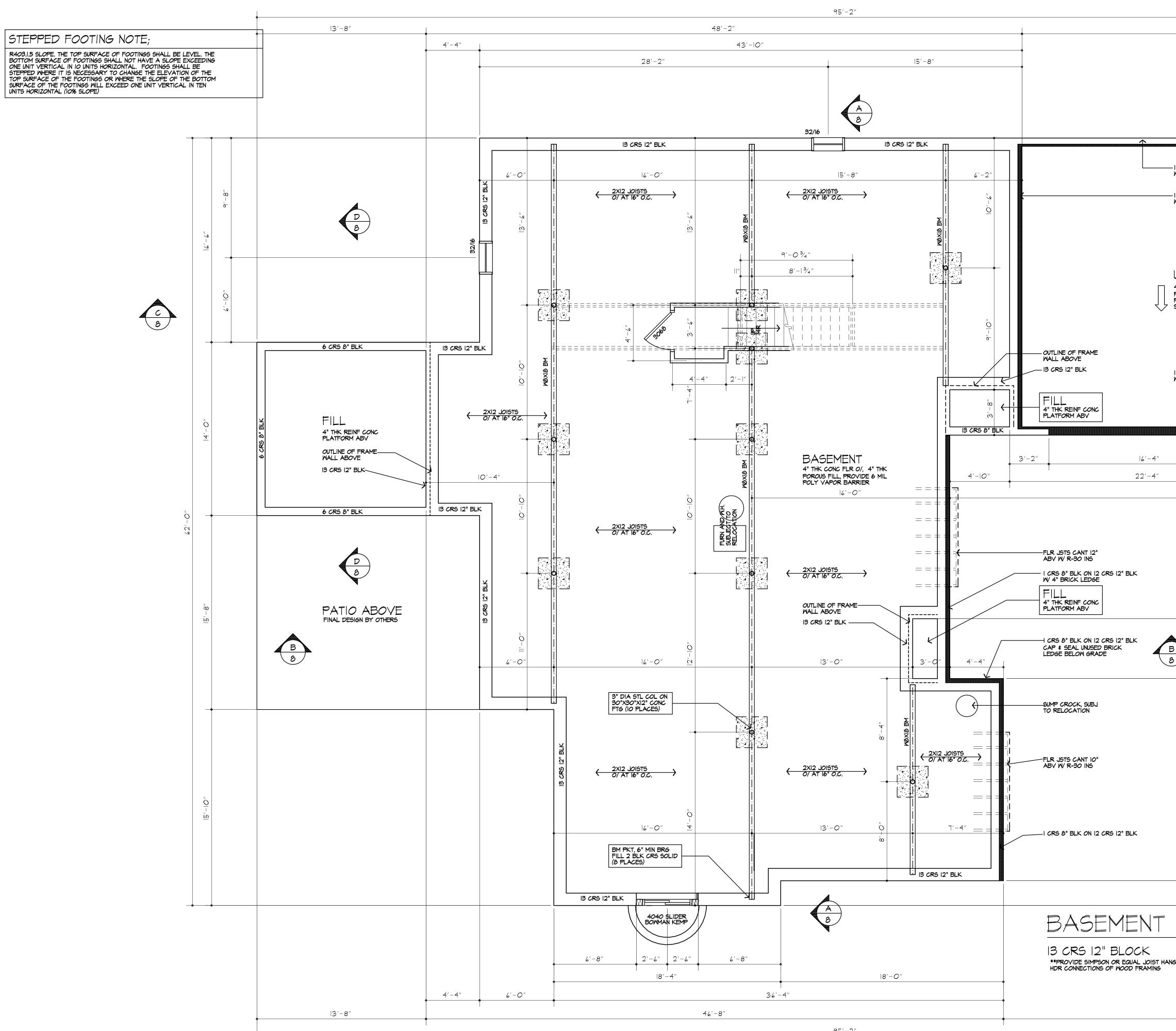




ROOFING: 30 YEAR ROOF SHINGLES					
ROOF VENTING: "SHINGLEVENT" RIDGE VENT					
FASCIAS: 8" ALUMN					
FRIEZEBDS: 8" VINYL					
CORNERBDS: 5" VINYL					
CASINGS: 6" VINYL					
SIDING: HORIZONTAL AS SELECTED					
OVERHANGS: 12"					
RAKE OVERHANGS: 12"					
MIN FTG. DEPTH: 4'-0"					
CLG HT: IST FLOOR: 9'-1 1/8"					

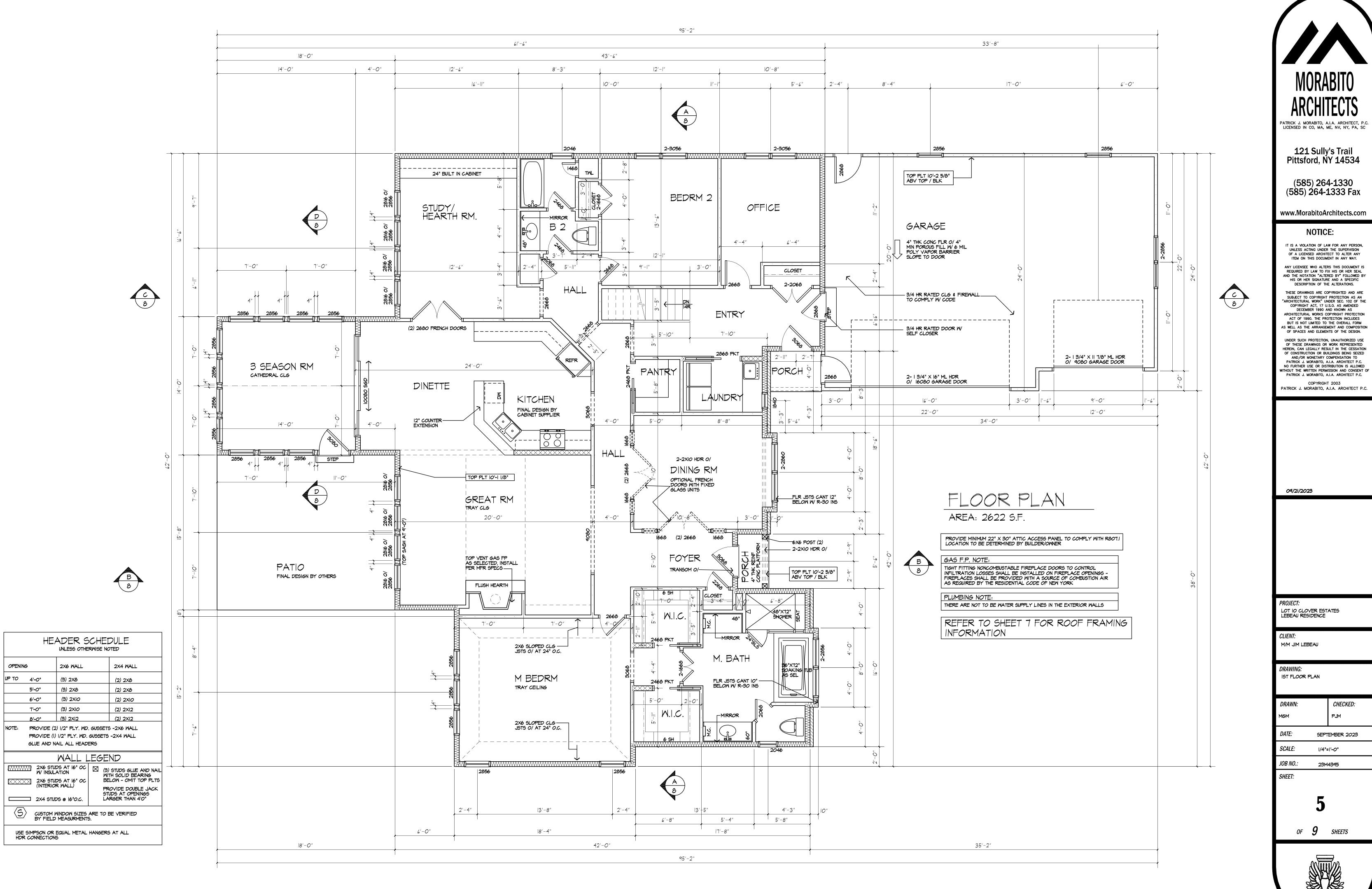
EXTERIOR COLOR SCHEDULE				
ROOFING	ELK "WEATHERWOOD"			
SIDING	VYTEC EMINENCE COLOR: TBD			
SHINGLES	"CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD			
TRIM	WHITE			
SHUTTERS	AS SELECTED			
BRICK	CHEROKEE SANFORD BRICK #111 SILAS LUCAS, OR STONE (SEE BELOW)			
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE CSV-2040			
FRONT DOOR	THERMA-TRU FIBERGLASS + S.L.			
HARDWARE	SCHLAGE # PLYMOUTH HANDSET			



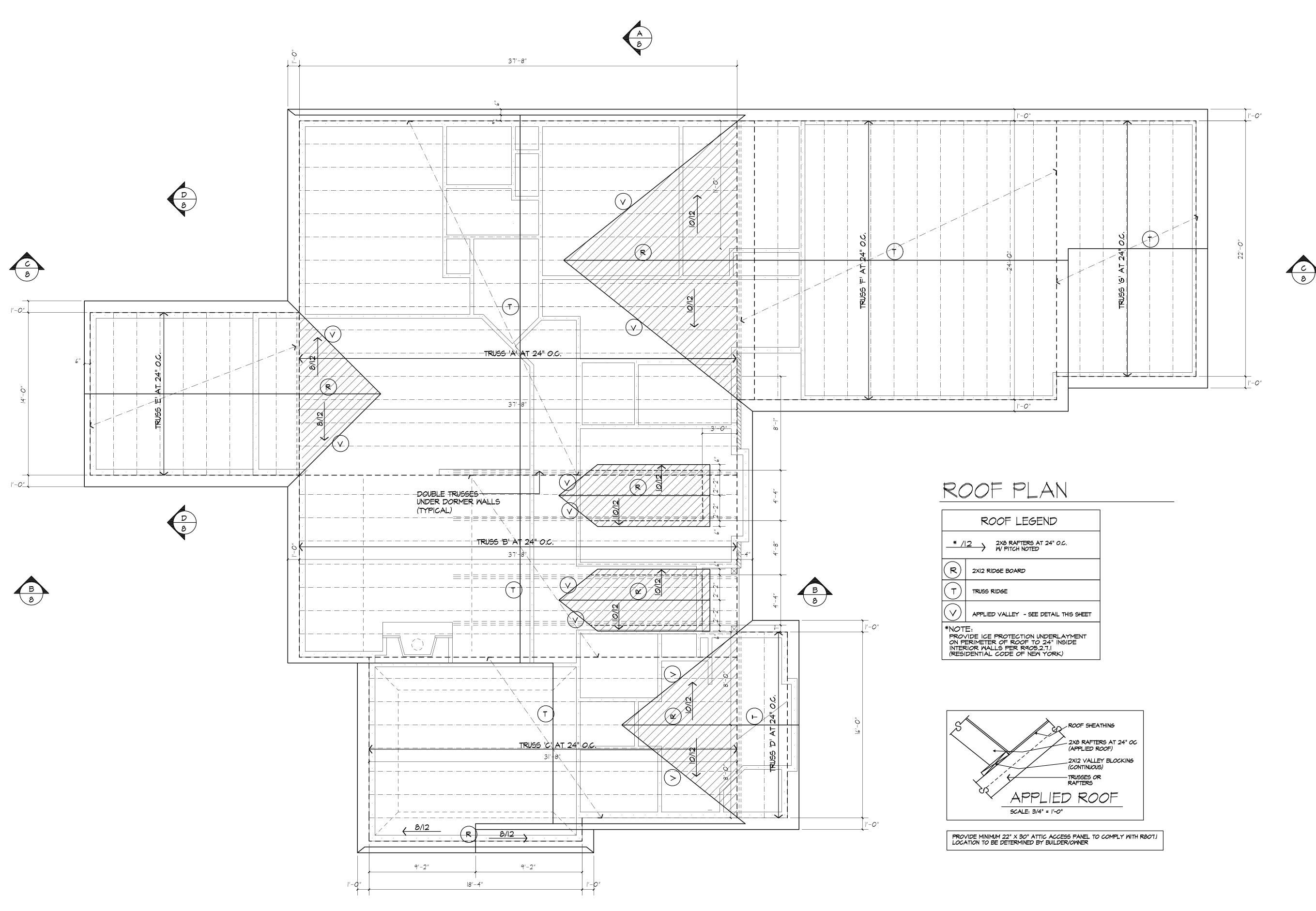


95'-2"

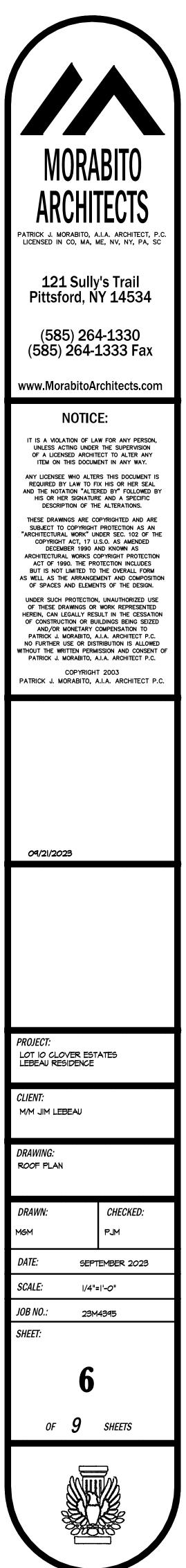
33'-4"		NORABITO, A.I.A. ARCHITECT, P.C. LICENSED IN CO, MA, ME, NV, NY, PA, SC
-I CRS 6" BLK ON 4 CRS 8" BLK WITH 2" SLAB LEDGE -I CRS 8" BLK ON 12 CRS 12" BLK WITH 4" SLAB LEDGE		121 Sully's Trail Pittsford, NY 14534 (585) 264-1330 (585) 264-1333 Fax www.MorabitoArchitects.com
UNEXCAVATED 4" THK CONC FLR 0/, 4" THK POROUS FILL, PROVIDE 6 MIL POLY VAPOR BARRIER SLOPE TO DOORS ABV	22 ['] -0 ["] 24 ['] -0 ["]	NOTICE: IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS. THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION
I CRS 6" BLK ON 4 CRS 8" BLK WITH 2" SLAB LEDGE 2'-10" 1'-4" 9'-4" 1'	z O - - - - - - - - - - - - - - - - - -	ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. COPYRIGHT 2003 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.
39'-2"	14 ['] -10 ["] 62 ['] -0"	09/21/2023
3	0, , , , , , , , , , , , , , , , , , ,	
NOTES : I. FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPICITY OF 2000 P.S.F. SIZES: 8" BLK 16" WIDE X 8" THK. 12" BLK 24" WIDE X 8" THK. (GARAGE) 8" BLK 16" WIDE X 12" THK. 2. MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS: FOOTINGS: 2500 P.S.I. FLOOR SLABS: 2500 P.S.I. PORCH: 3500 P.S.I. GARAGE: 3500 P.S.I. 3. PROVIDE DOUBLE JOISTS UNDER ALL WALLS	<u>,</u> 4 2 4	PROJECT: LOT IO CLOVER ESTATES LEBEAU RESIDENCE CLIENT: M/M JIM LEBEAU DRAWING: BASEMENT / FOUNDATION PLAN
 PARALLEL TO JOIST DIRECTION 4. PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING 5. ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC. 6. PROVIDE #6 REINFORCING RODS AT 64" O.C. AT ALL AREAS OF UNBALANCED BACK FILL HEIGHT OF 7'-0" 		DRAWN: CHECKED: MGM PJM DATE: SEPTEMBER 2023 SCALE: 1/4"=1'-0"
& FOUNDATION PLAN		JOB NO.: 23M4345 SHEET: 4 0F 9 SHEETS
34'-10"	•	

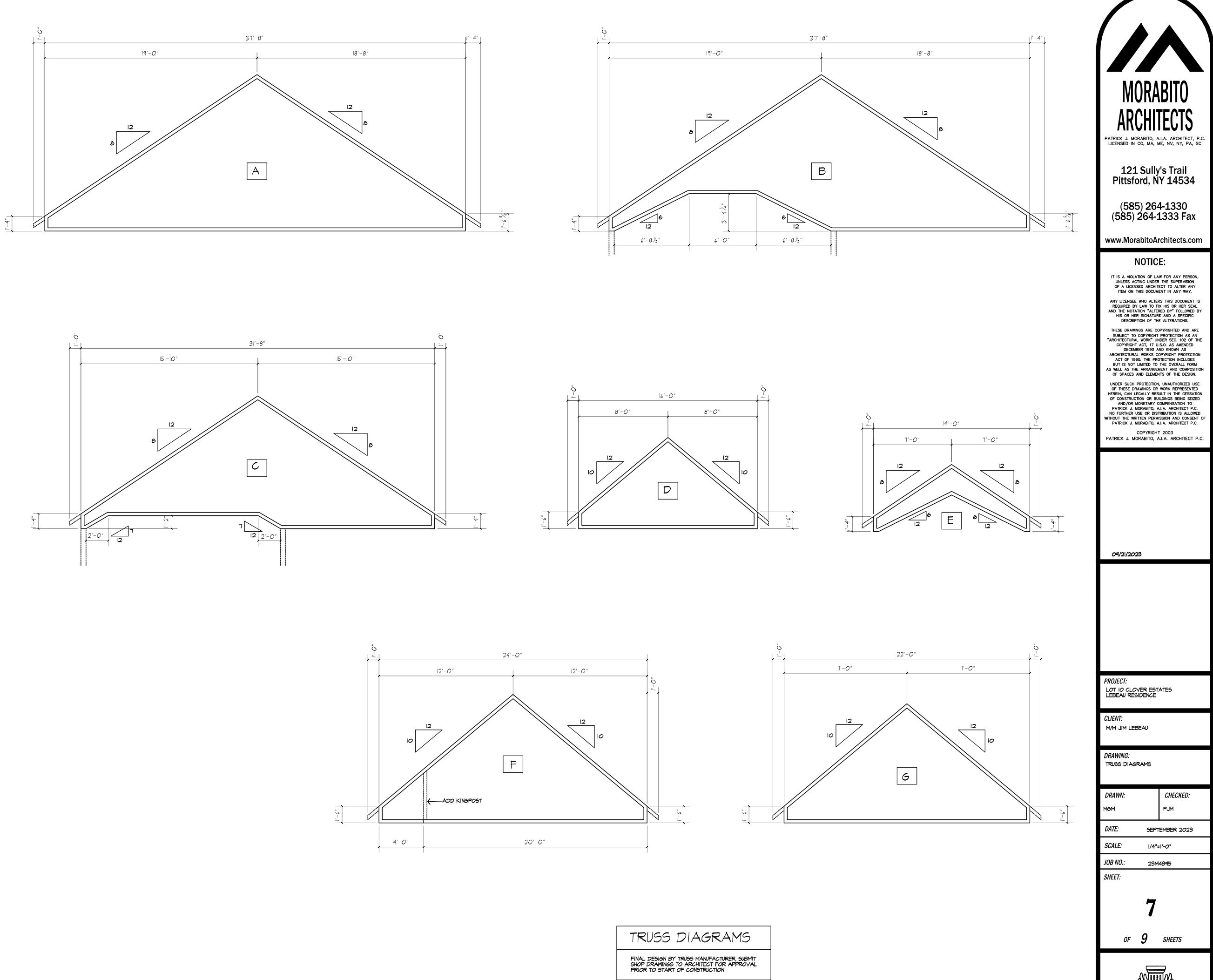


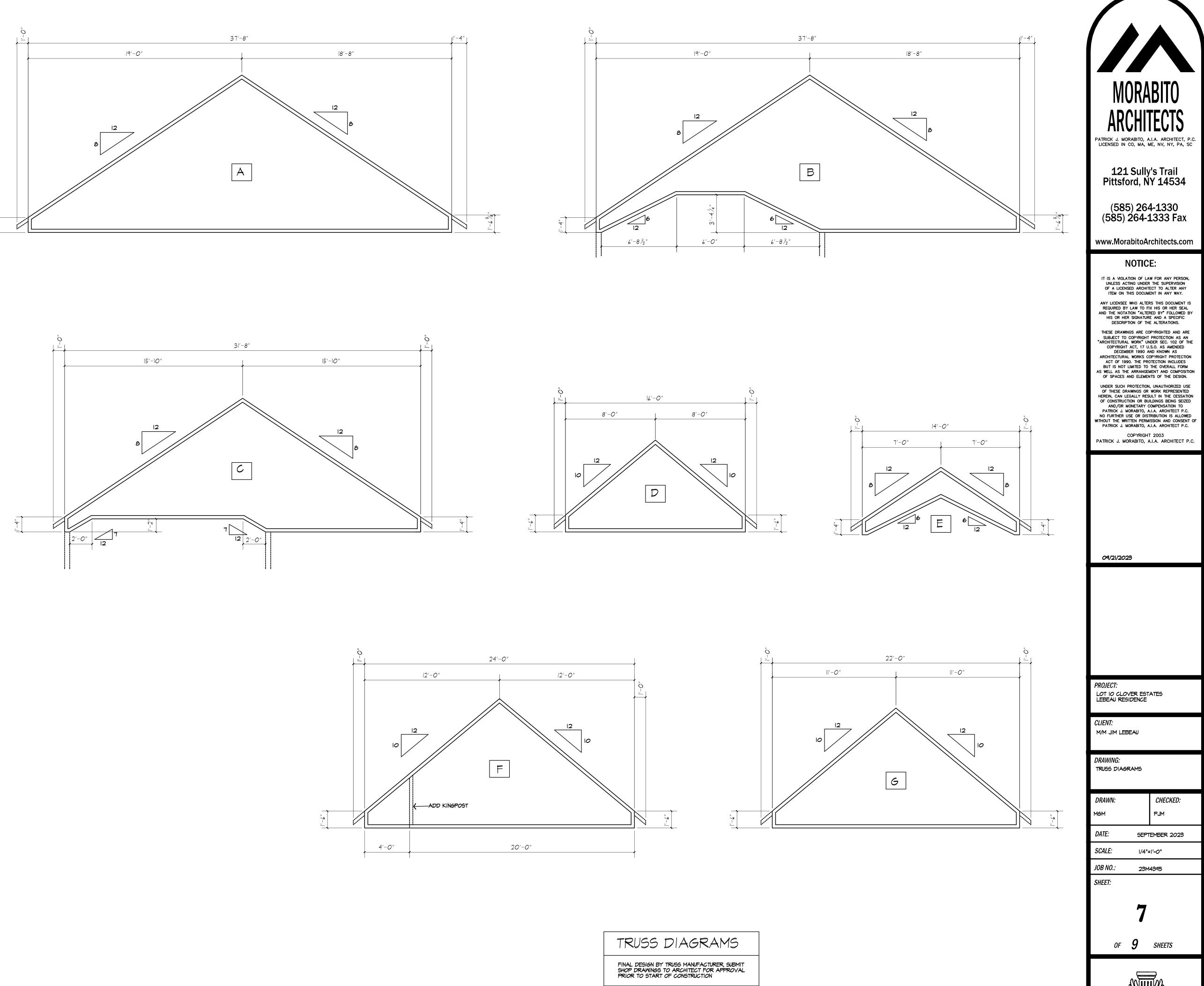


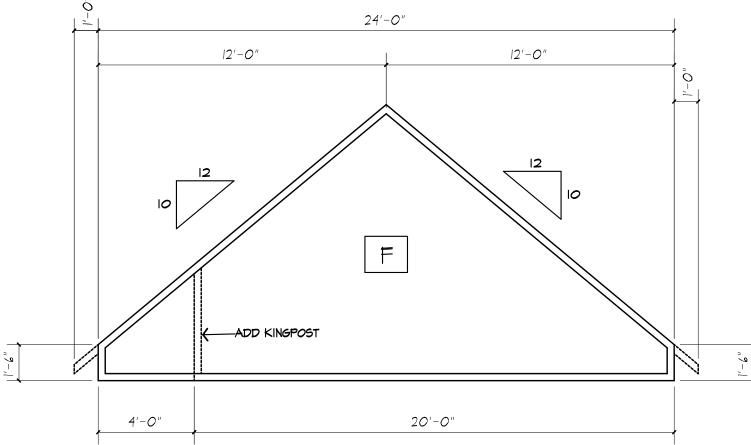




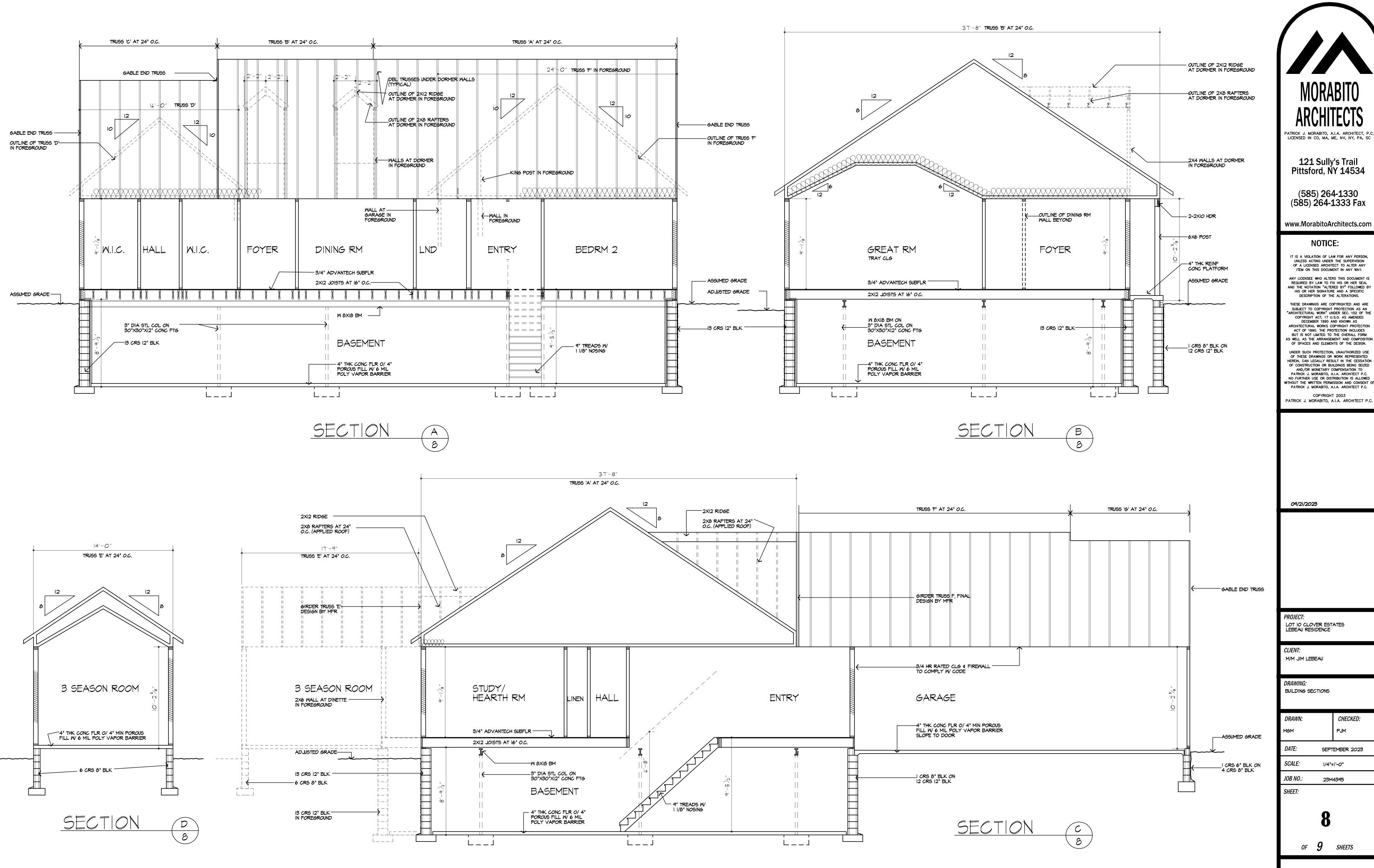




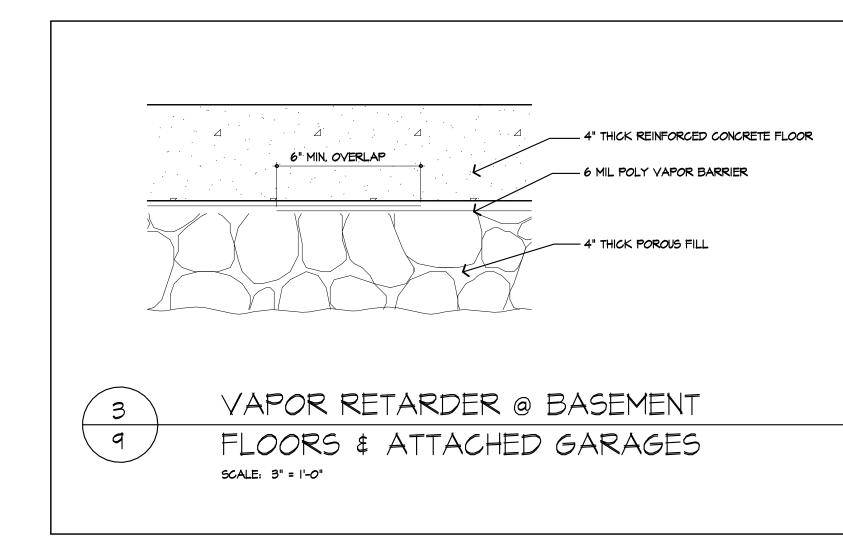


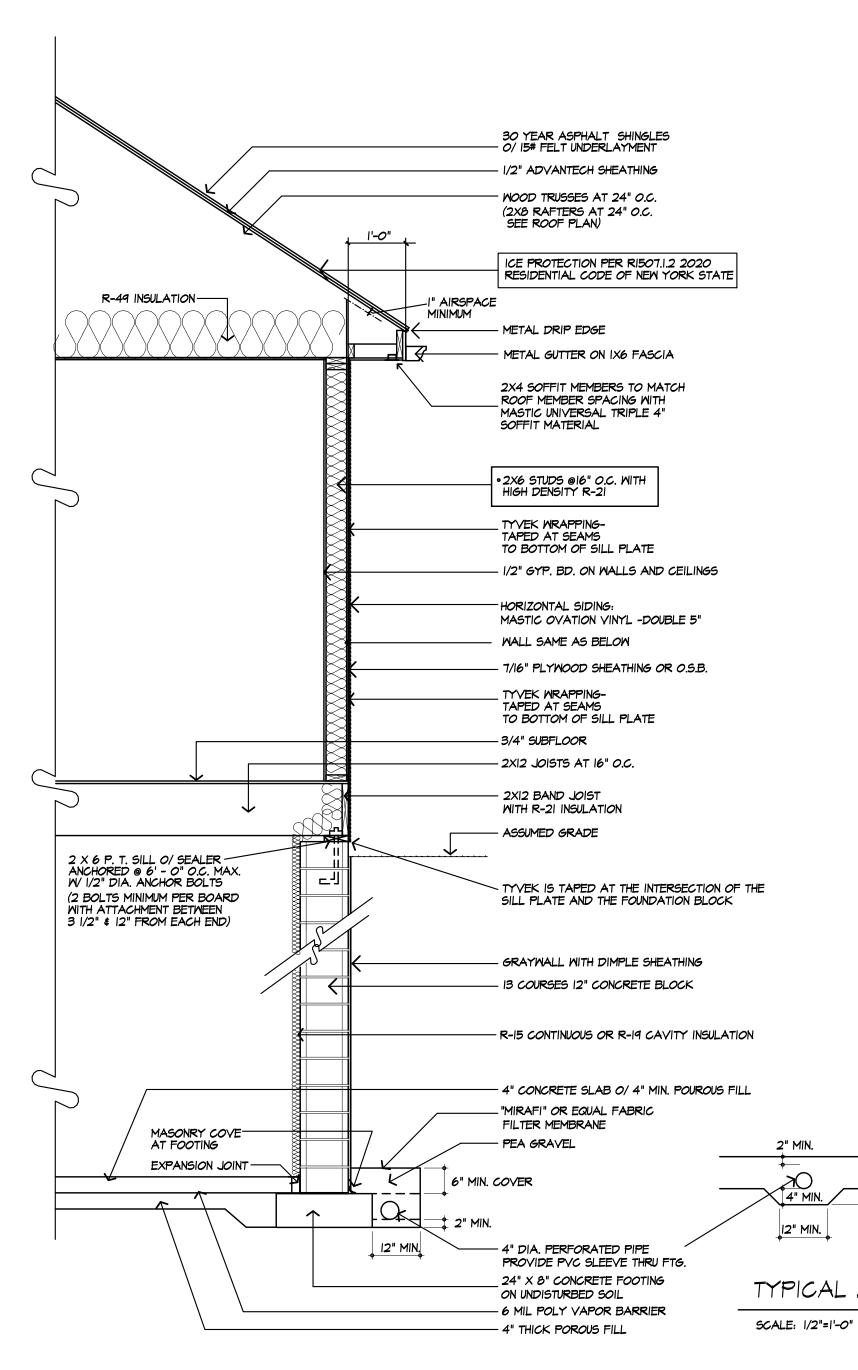


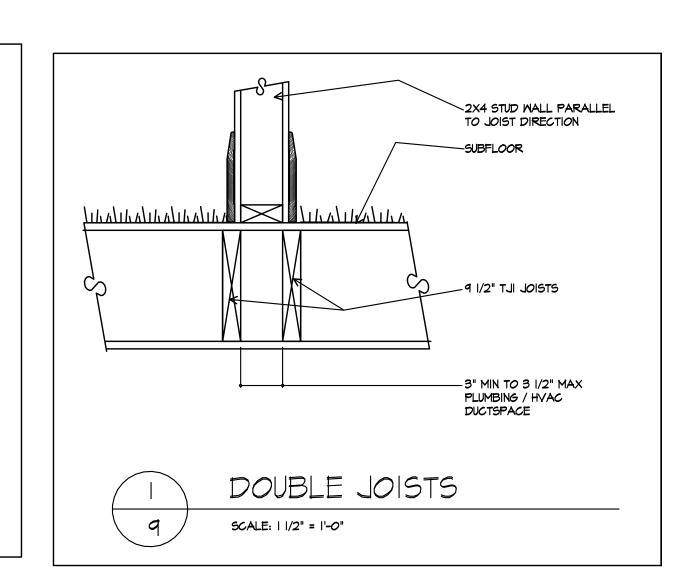
TRUSS DIAGRA
FINAL DESIGN BY TRUSS MANUFACTURI SHOP DRAWINGS TO ARCHITECT FOR A PRIOR TO START OF CONSTRUCTION



or **y** shells









		MINIMUM VERTICAL REINFORCEMENT (B, C)					
		SOIL CLASSES AND LATER	AL SOIL LOAD (D) (PSF PER FOC	PT BELOW GRADE)			
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	GW, GP, SW AND SP SOILS	GM, GC, SM, SM- SC AND ML SOILS	SC, ML-CL AND INORGANIC CL SOILS			
		30	45	60			
6'-8"	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
•••	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
	6'-8"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.			
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
7'-4"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
	6'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.			
	7'-4"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.			
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
8'-0"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
	6'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.			
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.			
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 64" O.C.			
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
8'-8"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
	6'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#5 AT 72" O.C.			
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.			
	8'-8"	#5 AT 72" O.C.	#7 AT 72" O.C.	#6 AT 48" O.C.			
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
9'-4"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
	6'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#5 AT 72" O.C.			
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.			
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 56" O.C.			
	9'-4"	#6 AT 72" O.C.	#6 AT 48" O.C.	#6 AT 40" O.C.			
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
10'-0"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.			
	6'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#5 AT 72" O.C.			
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.			
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 48" O.C.			
	9'-0"	#6 AT 72" O.C.	#6 AT 56" O.C.	#6 AT 40" O.C.			
	10'-0"	#6 AT 64" O.C.	#6 AT 40" O.C.	#6 AT 32" O.C.			

FOR SI: | INCH = 25.4 MM, | FOOT = 304.8 MM, | POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.

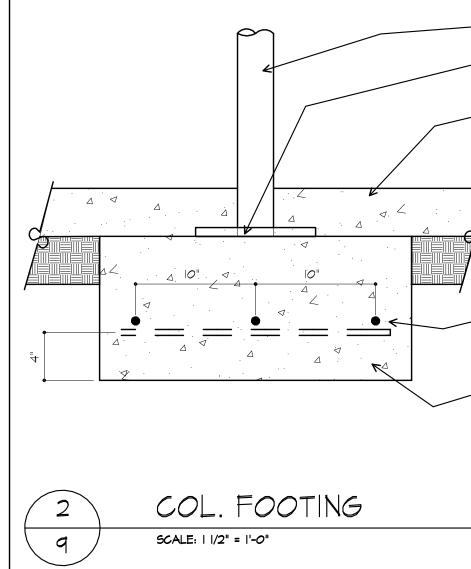
A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72 INCHES.

- C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75
- D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R4051
- E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.



TYPICAL WALL SECTION



FIRE PROTECTION REQUIREMENTS PER R302.13 FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

EXCEPTIONS:

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM. 2. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED
- APPLIANCES. . PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
- 3.1. THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M2) PER STORY

3.2. FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.1 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY

- WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.
- LIGHTING FIXTURE SCHEDULE
- OUTDOOR EGRESS DOORS (EACH) MINIMUM (I) 60 WATT FIXTURE BASEMENT MINIMUM (5) 60 WATT FIXTURES
- STAIRWAYS MINIMUM (1) 60 WATT FIXTURE HALLWAYS MINIMUM (I) 120 WATT FIXTURE
- GE ENTRY MINIMUM (1) 120 WATT FIXTU LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE
- WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE POWDER ROOM MINIMUM (1) 120 WATT FIXTURE
- BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE DINETTE MINIMUM (I) 120 WATT FIXTURE
- KITCHEN MINIMUM (1) 120 WATT FIXTURE DINING ROOM MINIMUM (1) 120 WATT FIXTURE

ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE GARAGE MINIMUM (2) 60 WATT FIXTURES

LIGHTING FIXTURE CONTROL NARRATIVE AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE IGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH IGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH

- THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE MI506.2
- EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTLATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THRID PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE MI504.2 - DUCT	LENG	σĦ										
DUCT TYPE			FLE>	K DUC	CT					SMO	OOTH	+ N
FAN AIRFLOW RATING CFM @ 0.25 INCH WC A	50	80	100	125	150	200	250	300	50	80	100	125
DIAMETER ^B (INCHES)					٢	IAXIN (1UM I FEE	LENG T)	STH C	, D, E		
3	x	x	x	x	x	x	х	х	5	x	х	X
4	56	4	X	X	X	X	х	х	114	31	0	X
5	NL	81	42	16	2	X	х	х	NL	152	91	5
6	NL	NL	158	91	55	18	Ι	х	NL	NL	NL	H
7	NL	NL	NL	NL	161	78	40	19	NL	NL	NL	N
8 AND ABOVE	NL	NL	NL	NL	NL	189	111	69	NL	NL	NL	

FOR SI: I FOOT = 304.8 MM A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/AMCA 210-ANSI/ASHRAE 51 B. FOR NONCIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER C. THE TABLE ASSUMES THAT ELBONS ARE NOT USED. FIFTEEN FEET OF ALLONABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH ELBOW INSTALLED IN THE DUCT RUN D. NL = NO LIMIT ON DUCT LENGTH OF THIS SIZE E. X = NOT ALLOWED. ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

	3"	DI	4 51	٢L	COL	
_	0	'x	ا ما	x	3/4	

BEARING PLATE

4" THICK CONCRETE FLOOR OVER 4" THICK POROUS FILL

(3) #5 REINFORCED RODS AT IO" OC, BOTH WAYS

-30" X 30" X 12" THICK CONCRETE COLUMN FOOTING

ALL DUCT

150 200 250 300 | x | x | x | x | X | X | X | X 28 4 X X
 II2
 53
 25
 9

 NL
 148
 88
 54
 NL NL 198 13

TYPICAL NOTES .) DOOR MANUFACTURER: PELLA ENCOMPASS SLIDING O.IO CFM IN-SWING HINGED 0.15 CFM PELLA ENTRY DOORS: 0.30 CFM OR LESS WINDOW AIR INFILTRATION PELLA 250 SERIES/PELLA ENCOMPASS DOUBLE HUNG 0.30 CFM CASEMENT, AWNING, FIXED 0.05 CFM 3.) GAS FIREPLACE(S): HEAT-N-GLO SLIMLINE 750 NG (SL-750TR) • TIGHT FITTING NON CUMBUSTABLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE 4.) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING. 5.) CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS: RIGID POLYISOCYANURATE FOAM-FOIL BOARD CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS: KRAFT BATTS 6.) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3. 7.) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS. 8.) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS. THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2018 ENERGY CONSERVATION CODE IO.) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6. THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS WINDOW FALL PROTECTION R312.2 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2 R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: I. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION. 2.0PERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090. 3.0PERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2. R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090, THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1. WINDOW GLAZING R308 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308 R308.4.1 GLAZING IN DOORS GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

EXCEPTIONS I. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS 2. DECORATIVE GLAZING

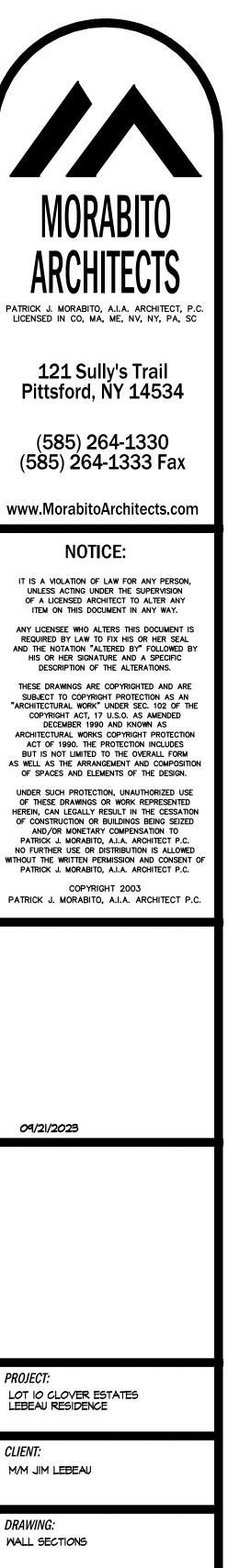
R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. EXCEPTIONS:

I. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS R314/R315

R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: I. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: I. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN IO FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN IO FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.



CHECKED: DRAWN: PJM DATI SEPTEMBER 2023 SCALE: |/4"=|'-*0*" JOB NO.: 23M4395 SHEET:

> 9 ΩF SHEETS



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # CA23-000004

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 35 Long Meadow Circle PITTSFORD, NY 14534 Tax ID Number: 150.16-2-24 Zoning District: RN Residential Neighborhood Owner: Andrews, George W Jr. Applicant: Andrews, George W Jr.

Application Type:

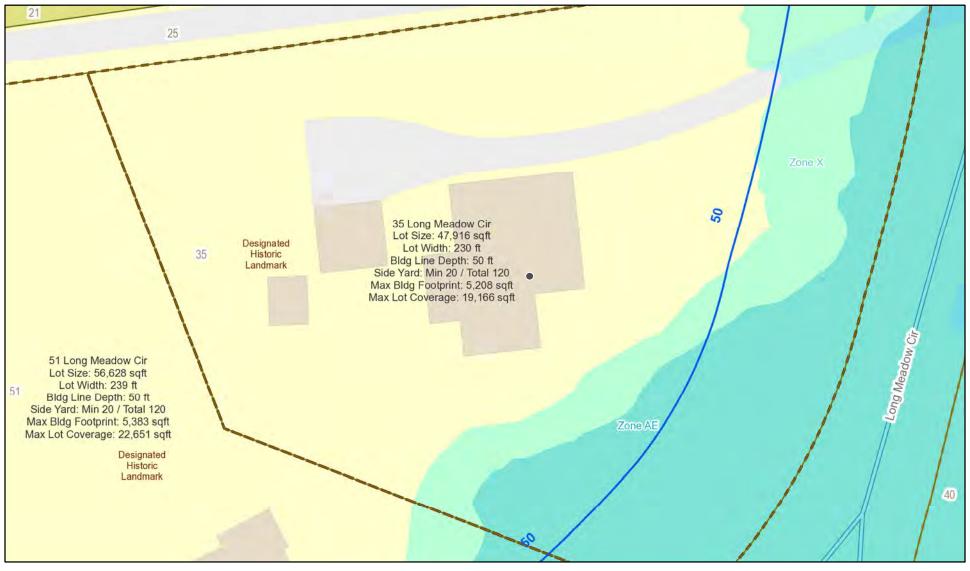
- Residential Design Review
- §185-205 (B)
 Commercial Design Review
- §185-205 (B) Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
- _ Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- Building Height Above 30 Feet
- §185-17 (M)
- Corner Lot Orientation
- §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
 - §185-17 (L) (2)

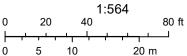
Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the exterior painting of their home, which is a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: September 28, 2023

RN Residential Neighborhood Zoning



Printed September 6, 2023



Town of Pittsford GIS

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TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

	Case #	_
1.	Property Address: 35 Long MPadow	Circle Pittsford, NY 1453
2.	T- A	
3.	Applicant's Name: Judith Andvews Address: <u>35 Long Meadow Circle</u> <u>Street</u> <u>Pittsford</u> <u>NY</u> <u>14531</u> City State Zip Code	Phone: <u>585-755-3447</u> <u>+</u> E-mail: <u>Judyandrews10@</u> gmail, rom
4.	Applicant's Interest in Property:	olding Purchase Offer:
5.	Owner (if other than above):Address:	
	CityStateZip CodeHas the Owner been contacted by the Applicant?Ye	
6.	Application prepared by: <u>OWNEY - Judith An</u> Address: <u>Street</u> <u>City</u> State Zip Code	ndf&WS Phone: E-mail:
7.	Project Design Professional (if Available):	
	Address:	Phone: E-mail:
	City State Zip Code	

8.	Project Contractor (<i>if Available</i>): <u>PCUNTER JOE Frongetta</u> Address: Phone: <u>585-730-9883</u> Street
	E-mail: City State Zip Code
9.	Present use of Property: <u>residential</u>
10.	Zoning District of Property: Town of Pittsford
11.	Is the property located in a Town Designated Historic District? Yes ☑ No □
12.	Is the property listed on the National Registry of Historic Places? Yes Mo
13.	Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits? Yes No IIII No IIIIIIIIIIIIIIIIIIIIIIIIIII

- 14. Proposed Exterior Improvements:
 - A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Pounting house including trim, metal not above porch and dormer caps on front of house. House shingles - Benjamin Moore - Low luster exterior Color Tate Olive (HC-112) Trim-Benjamin Moore-soft gloss exterior Color-soft Chamois (OC-13) Roof above porch and caps on dormers (mital) -Benjamin Moore Low Juster painter or metal -Color Bronze Tone

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):



15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

	Parcel map	Architectural elevations
V	Photographs	Architectural plans
	Other materials	

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

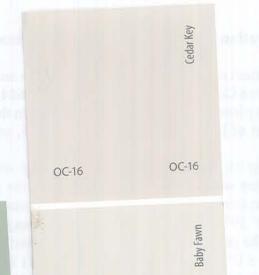
8/30/23 Signature of applicant

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

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lf	Yes,	owner's	signature:	
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Benjamin Moore

COROTECH

Features

- For light-to-moderate industrial, commercial and select residential use
- Interior/Exterior use
- Low temperature application
- Block resistant
- Multi-surface application
- Fast return-to-service
- Satin finish

Recommended For

Galvanized and other non-ferrous metals, concrete, masonry, wood, fiberglass, in addition to properly prepared ferrous metals, drywall and plaster. Corotech® COMMAND® is designed for use on handrails, shelving, doors, floors, stairs, ramps, safety markers, curbs, cabinets, awnings, shutters, molding, piping, and more.

Paint for flat metal wof + Caps

COMMAND[®] WATERBORNE ACRYLIC URETHANE SATIN CV392

General Description

Corotech[®] COMMAND[®] is an extremely durable, singlecomponent, multi-substrate solution to help you save time and tackle multiple jobs with confidence. This interior/exterior, UV-resistant acrylic urethane enamel provides superior adhesion and abrasion resistance on a variety of substrates and is ideal for facility maintenance and property management applications where minimal maintenance disruptions and quick returns to service are required.

Limitations

- Do not apply if material, substrate or ambient temperature is below 35 °F (1.7 °C). Relative humidity should be below 90%
- Not intended as a whole house exterior paint over wood
- Not for immersion service
- Not recommended for coating over Kynar[®] or similar finishes
- When applying over caulk, test a small area for compatibility

Product Informa	ition			
Colors — Standard:	Technical Data◊	Base 1		
White (01), Bronzetone (62), Black (80)	Vehicle Type	Acrylic Urethane		
— Tint Bases:	Pigment Type	Titanium Dioxide		
	Volume Solids	41.4 ± 1.0%		
	Coverage per Gallon at Recommended Film Th			
— Special Colors:	Recommended Film	– Wet 3.6 – 4.6 mils		
Contact your retailer	Thickness	– Dry 1.5 – 1.9 mils		
Certification & Qualifications:	Depending on surface t	texture and porosity		
VOC compliant in all regulated areas		- Tack Free 15 Minutes		
	Dry Time @ 77 °F	- Block-Resistant 1 Hour		
Eligible for LEED [®] v4 Credit	(25 °C) @ 50% RH	- To Recoat 1 Hour		
Qualifies for CHPS low emitting credit	-	- Return to Service 24 Hours		
(Collaborative for High Performance Schools) CDPH v1 Emission Certified	High humidity and cool temperatures will result in longe dry, recoat and service times.			
Masters Painters Institute MPI # 161	Dries By	Evaporation		
	Viscosity	87 ± 3 KU		
	Flash Point 200 °F o	r Greater (TT-P-141, Method 4293)		
Technical Assistance:	Gloss / Sheen	Satin (15 – 30 @ 60°)		
Available through your local authorized independent Benjamin Moore retailer.	Surface Temperature	Min. 35 °F		
For the location of the retailer nearest you, call 1-866-708-9180 or visit www.benjaminmoore.com	at Application	– Max. 100 °F		
	Thin With	Water		
	Clean Up Thinner	Warm, Soapy Water		
	Weight Per Gallon	10.5 lbs.		
	Channes To	– Min. 40 °F		
	Storage Temperature	– Max. 95 °F		
	Volatile Orga 47.5 Grams/I	anic Compounds (VOC) Liter 0.39 Lbs./Gallon		

Reported values are for Base 1.

COMMAND[®] Waterborne Acrylic Urethane Satin CV392

Surface Preparation

Prior to painting any surface, remove all grease, dirt and other surface contamination by applying a solution of Corotech[®] Oil & Grease Emulsifier V600. Remove all remaining loose paint, rust and mill scale via Hand Tool Cleaning (SSPC-SP2) or Power Tool cleaning (SSPC-SP3). Fill holes and cracks and sand smooth. Glossy surfaces must be fully deglossed. Moderate to heavily rusted areas must be thoroughly prepared and active rust should be properly removed. When using COMMAND[®] over caulk, test a small area and check after approximately 30 minutes for compatibility before painting the entire surface.

Ferrous Metal: Remove any active rusted areas according to the surface preparation instructions. Apply one coat of Corotech[®] Acrylic Metal Primer V110 prior to top coating.

Non-Ferrous Metal (Galvanized & Aluminum): Galvanized steel normally comes from the mill chemically treated or passivated, to prevent white rusting or oxidation of the galvanized surface during the time it is being stored or shipped to the job site. Due to this, the surface must be thoroughly cleaned with Corotech[®] Oil & Grease Emulsifier V600 or solvent wiping in accordance with SSPC-SP1 prior to coating. Prime properly prepared surfaces with Acrylic Metal Primer V110, Waterborne Bonding Primer V175 or apply 1-2 coats of COMMAND[®] direct.

Wood Surfaces: For best results, prime bare spots and new wood with a quality acrylic primer. Apply one or two finish coats of COMMAND[®] as needed. COMMAND[®] can also be used as a self-sealing topcoat, however may dry to an uneven finish on some species of wood.

Dry Wall and Plaster: Prime new drywall and fully cured plaster with a quality acrylic primer. Apply one or two finish coats as needed.

Concrete Surfaces: Allow new concrete to age for a minimum of 30 days. New or old unpainted concrete should be etched with a concrete etch solution and then rinsed thoroughly with water. Be sure to follow the manufacturer's instructions when mixing and using solution. (Protect skin and eyes by wearing rubber gloves and goggles.) Rinse surface thoroughly with clean water. Allow surface to dry completely before coating. Old painted concrete should be fully cleaned and sanded if necessary.

Glossy Surfaces: Glossy surfaces must be deglossed to obtain a surface profile prior to coating. The preferred method is thoroughly sanding the surface area. Areas that cannot be properly deglossed should be primed with Corotech[®] Waterborne Bonding Primer V175 prior to finish coating.

WARNING! If you scrape, sand, or remove old paint, you may release lead dust. LEAD IS TOXIC. EXPOSURE TO LEAD DUST CAN CAUSE SERIOUS ILLNESS, SUCH AS BRAIN DAMAGE, ESPECIALLY IN CHILDREN. PREGNANT WOMEN SHOULD ALSO AVOID EXPOSURE. Wear a NIOSH approved respirator to control lead exposure. Clean up carefully with a HEPA vacuum and a wet mop. Before you start, find out how to protect yourself and your family by contacting the National Lead Informational Hotline at 1-800-424-LEAD or log on to www.epa.gov/lead

Application

Mixing of Paint: Stir thoroughly before and occasionally during use. For best application results, apply generously going from unpainted into painted areas.

Thin with sparingly with water if needed.

Airless Spray:

Tip range between .015 and .019.

Total fluid output pressure at tip should not be less than 2400 psi.

Air Spray (Pressure Pot):

DeVilbis MBC or JGA gun, with 704 or 765 air cap and Fluid Tip E.

Brush: Synthetic Bristle only.

Roller: 1/2" nap or finer for smooth surfaces.

NOTE: Do not allow material to remain in hoses, gun or spray equipment. Thoroughly flush all equipment with recommended thinner. Do not apply if material, substrate or ambient temperature is below 35 °F (1.7 °C). Relative humidity should be below 90%. Do not apply if within 5 degrees of dew point or if rain is expected within 4 hours of application.

Clean Up

Clean with warm, soapy water.

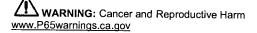
USE COMPLETELY OR DISPOSE OF PROPERLY. Dry empty containers may be recycled in a can recycling program. Local disposal requirements vary; consult your sanitation department or state-designated environmental agency on disposal options.

Environmental Health & Safety Information

CAUTION: All floor coatings may become slippery when wet. Where non-skid characteristics are desired, use an appropriate anti-slip aggregate.

Possible birth defect hazard. Contains, Carbamic acid, 1Hbenzimidazol-2-yl-, methyl ester, which may cause birth defects based on animal data.

Use only with adequate ventilation. Do not breathe vapors, spray mist or sanding dust. Ensure fresh air entry during application and drying. Avoid contact with eyes and prolonged or repeated contact with skin. May cause allergic skin reaction. Avoid exposure to dust and spray mist by wearing a NIOSH approved respirator during application, sanding and clean up. Follow respirator manufacturer's directions for respirator use. Close container after each use. Wash thoroughly after handling.



WARNING: This product contains isothiazolinone compounds at levels of <0.1%. These substances are biocides commonly found in most paints and a variety of personal care products as a preservative. Certain individuals may be sensitive or allergic to these substances, even at low levels.

FIRST AID: In case of eye contact, flush immediately with plenty of water for at least 15 minutes; for skin, wash thoroughly with soap and water. If symptoms persist, seek medical attention. If you experience difficulty breathing, leave the area to obtain fresh air. If continued difficulty is experienced, get medical attention immediately.

IN CASE OF SPILL – Absorb with inert material and dispose of as specified under "Clean Up".

KEEP OUT OF REACH OF CHILDREN PROTECT FROM FREEZING

Refer to Safety Data Sheet for additional health and safety information.

Benjamin Moore & Co., 101 Paragon Drive, Montvale, NJ 07645 Tel: 866-708-9180 www.benjaminmoore.com M72 CV392 EN 072423 ©2023 Benjamin Moore & Co. Benjamin Moore, Gennex and the triangle "M" symbol are registered trademarks licensed to Benjamin Moore & Co. All other marks are the property of their respective owner. All rights reserved

Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # D23-000007

Phone: 585-248-6250

FAX: 585-248-6262 DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 105 Ellingwood Drive ROCHESTER, NY 14618 Tax ID Number: 138.18-1-55 Zoning District: RN Residential Neighborhood Owner: Finger, David B Jr. Applicant: Finger, David B Jr.

Application Type:

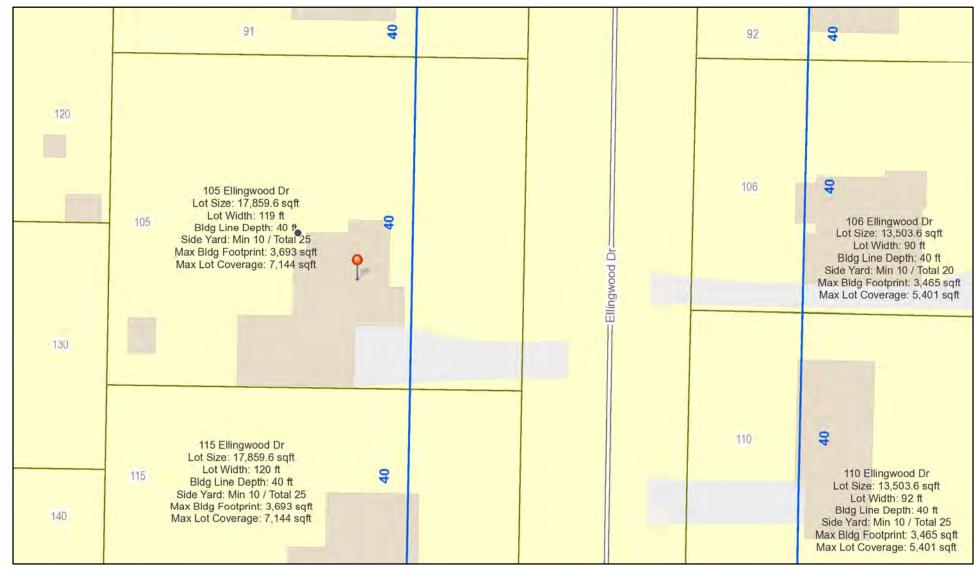
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- §185-205 (B)
 Commercial Design Review
- §185-205 (B)
- Signage
- §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation
- §185-195 (2)
- Informal Review

- Build to Line Adjustment
- §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation
- §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements
 - §185-17 (L) (2)

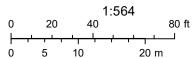
Project Description: Applicant is requesting approval for complete demolition of their home, with the exception of the garage, with the intent to rebuild a larger home on the property.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

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East Elevation 1

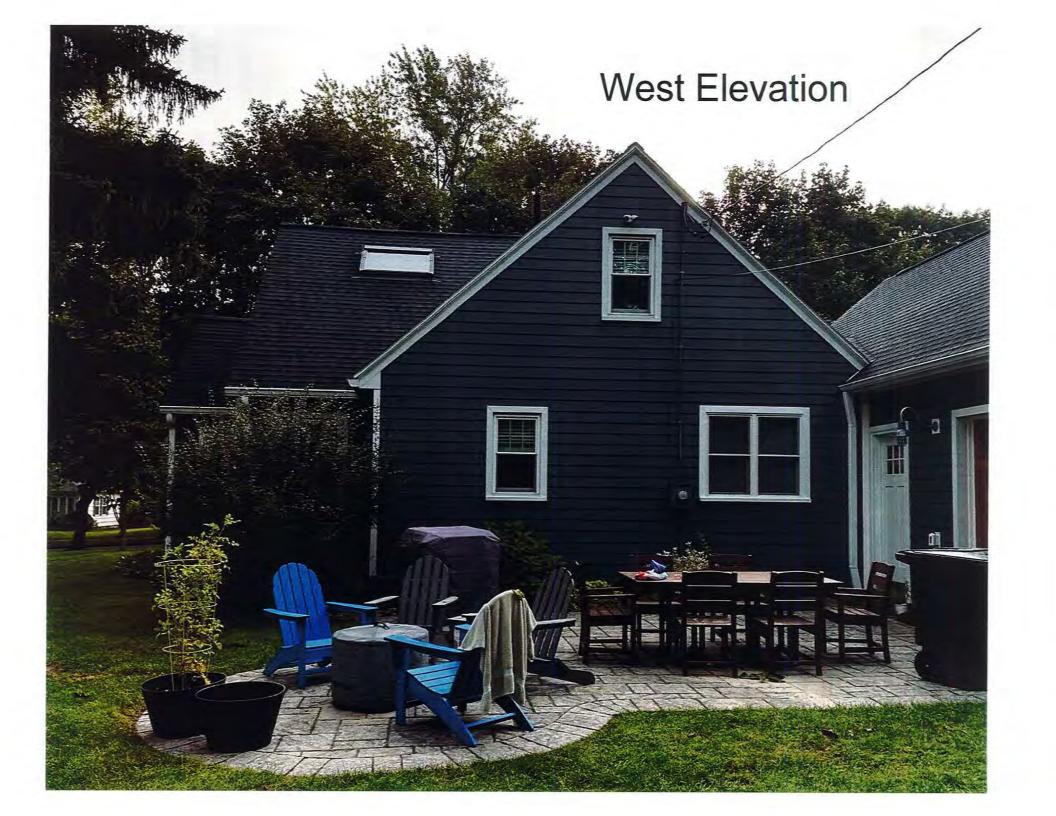


East Elevation 2



North Elevation





To Whom It May Concern:

Our names are Dave and Julie Finger, and we reside at 105 Ellingwood Drive. We moved to the neighborhood in 2014 and fell in love with it right away. Since moving in, we have completed many improvements to the property, including a rather large project of turning the detached, one-car garage into a new attached, four-car garage, which you previously reviewed and approved. While choosing the look and style of the garage, we took special care in keeping with the look and style of the house while also making sure we kept with the feel of the neighborhood. We believe we succeeded in doing this, as we have received many compliments from neighbors and strangers alike.

Built in 1947 by a father and son as a basic Sears Kit home, our small cape has been an amazing little home to start our family. We have tried our best to make the house meet our needs, but as our family has grown, we've completely run out of space. The house is small and cramped, and we desperately need more space and an open floor plan. Initially, we thought our only option would be to relocate to another house. Our daughter is a 2nd grader at Allen Creek Elementary, so the thought of relocation is not ideal. Also, as mentioned earlier, we love our neighborhood, location, and proximity to things and our property. Therefore, after careful consideration, we decided to pursue a partial teardown and addition. We plan to keep our beautiful new garage and build a larger craftsman-style home with similar character, hardy board siding, and finishes as the current home and new garage.

We realize that this is no small undertaking. Because of this, we have hired the same architect who designed our new garage and the same contractor who built it, so they are very familiar with the style we are trying to achieve and have a history of working with the town. We have ensured that the plans adhere to the town's guidelines regarding zoning, setbacks, height, footprint, and lot coverage. The plans do not include any variances. The proposed addition is a very reasonable size in comparison to neighboring houses. The style of the house is one that can be seen throughout the neighborhood, with styling identical to many of the new builds or renovations on neighboring streets.

We are very excited about the prospect of our new house. We have put a lot of thought, time, and money into ensuring the integrity of style of the current house and those in the neighborhood. We hope this land and updated house can continue to be our home for years to come. We appreciate your time and consideration and look forward to your response.

If you have any questions or concerns, please feel free to reach out.

Dave & Julie Finger

dave@breakfreegraphics.com 585-709-1245

October 2, 2023

Mr. David Finger

105 Ellingwood Drive Rochester, NY 14618

email: <u>dave@breakfreegraphics.com</u> phone: 585.709.1245 cell

RE: DESIGN CONSIDERATIONS FOR THE HOUSE ADDITION PLANNED @ 105 ELLINGWOOD DRIVE, ROCHESTER, NY. 14618

Dear David:

Please find this letter as an understanding around the Design Considerations utilized as part of the house addition layout and massing. As part of the new layout, my focus was to provide recommendations for appropriately connecting into the existing recently constructed garage while safely allowing being the removal of the older existing portion of the house being replaced. Connection into the existing higher garage foundation/footing system needed to allow that to occur while planning for a newer lower basement level under the planned portion of the new house design. Also, it was important to stay with-in the confines of the adopted in place zoning code bulk requirements for the property. The below list describes those:

- 1. Context around the character is that the house fits with-in the surrounding neighborhood and compliments the adjacent houses. The scale and mass of the proposed house addition is with-in the masses of the neighboring houses and the detailing fits the vernacular of what you would expect. The house doesn't scream "look at me" but is an enhancement to the street context and shouldn't be considered out of place or an odd design.
- The bulk requirements and set-backs established for this zoning district RN Residential Neighborhood are ALL meant based on the Town Zoning Code. See attached required and proposed distances.
- 3. The new proposed house addition is planned to be roughly 4'-6" further back off from the front property line than the current existing house was.
- 4. See planned exterior elevations furthered developed, showing material call outs and hatching. Also colored elevations are provided with actual colors on the drawings called as well for you.
- 5. Bulk Requirements Chart Below:

BULK	BULK REQUIREMENTS:								
TOWN O	GWOOD DRIVE F PITTSFORD, NY 14618 SITE WIDTH IS 120 '.								
1. EXI	sting zoning:	RN - RESIDENTIAL NEIGHBORH	IOOD						
2. BU	LDING HEIGHT:								
2.1.	PRIMARY MAXIMUM	<u>ALLOWABLE:</u> 30'	PROVIDED: 29'-11"						
3. LO THI	t requirements (also pei S project is a partial de	RTAINS TO ACCESSORY STRUC MOLITION AND NEW HOUSE A	tures). Ddition.						
3.1. 3.2. 3.3.	ACTUAL LOT AREA: ACTUAL LOT WIDTH: MIN. FRONT SETBACK:	<u>REQUIRED:</u> 18,000 SF 120' additions not permitted	PROVIDED: 18,000 SF 120'						
3.4. 3.4. 3.5.	MIN. ONE SIDE SETBACK: MIN. BOTH SIDE SETBACK: REAR BUFFER:	: 25' (two sides)	48'-10" 25'-1" NORTH & 5'-1" SOUTH 30'-2"						
3.6.	MAX BLDG. FOOTPRINT	20' (no structures) 3,675SF + 5% OVER 17,500SF	44'-1" from addition to lot line 3,542 SF with addition						
3.7	MAX. LOT COVERAGE	3,700SF ALLOWED 40% or 7,200 SF	3,684 SF with front patio/porch 5,442 SF approximately w/patio/porch/shed/drive/walk						

If you should have any questions, please do not hesitate to contact me. Very truly yours,

Dmill Alm Ficture

Daniel A. Pieters, Architect, AIA, NYS License No.: 032927

744 MAPLE DRIVE WEBSTER NEW YORK, 14580 CELL: 585.944.9147 E-MAIL: DPIETERS@LABELLAPC.COM

APPLICATION FOR PERMIT NO. 34

TO THE TOWN BOAL	RD C	F THE TOWN	OF	PITTSFORD,
		PITTSFORD,		

Fee Paid \$ 30

by E.R.P.

GENTLEMEN:	The undersigned respectfully petition for a per-
mit to (areat) a 2 mar la hame building on lot	number 170+117/ house number 105
on the warf side of Elingword De Street,	in the Cartine, Catate tract of
Town of Pittsford, N. Y. This lot is 90 feet with	de in the front and 20 feet wide in
the rear andfeet deep, and is classified as follows	A
ZONE contented OLAS	S

Below is sketch showing lot lines in relation to existing highways and direction of north.

40 feet deep and has a wing on the ______ side which is ______ feet wide and _____ feet deep, the whole occupying a total area of 1150 square feet. The building is to be set back 5045 and. feet from the front lot line; 2 is feet from the north side lot line and 27 feet from the zeroth side lot line. It is to be used as a <u>tarifunce</u> and erected at an estimated cost of <u>15-000</u> dollars. A separate garage is to be erected of the following dimensions: <u>12</u> feet wide and <u>22</u>

feet deep, located 10 feet from the state side lot line; 40 feet from the rear lot line and 4 dollars. feet from the main building, with a capacity of ______

As part of this application there is attached hereto the plans of said buildings. All work is to be done in accordance with this application and plans, and no material change therein or in any part of said buildings shall be made without the written consent of the Town Board through its authorized agent.

The undersigned represents that said buildings will be constructed and used in accordance with all ordinances of the Town of Pittsford and statutes of the State of New York, and that the plans annexed hereto are the plans relating to the buildings described herein and no other, and, that this property is owned by the undersigned.

59 Elmeroft Rd Own

STATE OF NEW YORK, County of Monroe, }ss:

County of Monroe, Says that he is the owner of the above described premises; that no other person except have any ownership interest in said property; that he has read the foregoing application for a permit and knows the contents thereof; that the same is true to his own knowledge. That if said application is approved he will comply with all the terms and conditions respecting the issuance of said permit and that said buildings will be erected in accordance with the plans attached to this application; that it will cost not less than the amount set forth herein and that he will comply with all ordinances of the Town of Pittsford and all the statutes of the State of New York, in connection with the construction, erection, alterations or use of said buildings.

1947 19 OF THE dat

Notary Public, Commissioner of Deeds.

OK. Sherofto June 21 1941

SKETCH

REPORT OF PLANNING BOARD

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD:

plans therefor, does hereby (approve) said application and recommends that a permit be granted therefor upon (disapprove) the following terms and conditions:-

1. That the Town Board, its agents and employees, may at any time enter upon said premises and inspect said buildings to determine whether the same are being erected or have been erected in accordance with the plans submitted with said application for a permit.

2. That the Town Board may at any time upon notice, revoke said permit for failure to execute the plans.

3. That the said buildings shall be set back and built upon the building line established by the Town Board for the district where such property is located and where such building is to be erected or altered.

4. That the buildings mentioned in said application and plans shall be erected in accordance therewith and shall be used for no other purposes than those specified in said application and plans.

5. That any garage erected upon the premises shall be used solely for private garage purposes and shall not at any time be used for a residence or any other purpose upon said lot.

6. Reasons for disapproval are as follows:

PITTSFORD PLANNING BOARD,

By.

Secretary.

au

PERMIT NO. 34

Permission is hereby granted to. denied 22 C owner to ... the structures described in the apprication herein referred to and no other upon the terms and conditions set forth in the recommendation of the Planning Board of the Town of Pittsford, N. Y. and the Zoning Ordinance.

JUL - 5 1947

gan in

Town Clerk.

FINGER NEW RESIDENCE ADDITION BUILDI

DRAWING LIST:

T1	TITLE SHEET AND	SYMBOLS		
S1	SITE PLAN, BULK	REQUIREMENTS	AND	SPECIFICATIONS
$\Delta \cap$	FOUNDATION PLAN	V& DETAILS		

- FOUNDATION FLAN & DETAILS AU
- FLOOR PLAN A1
- ROOF PLAN A2
- EAST & NORTH EXTERIOR ELEVATIONS A3
- SOUTH & WEST EXTERIOR ELEVATIONS A4

LIST OF ABBREVIATIONS HORZ HORIZONTA MEZZ MEZZANINE CONSTRUCTION MANAGER FNTR FNTRANCE ABOVE FINISHED FLOOR AFF HB HOSE BIBB MILLIMETER EQ EQUAL MM COLD WATER AP ACCESS PANEL CW HW HR HOT WATER MINIMUM CFMF COLD FORMED MET FRAMING EQUIP EQUIPMENT MIN ACOUS ACOUSTICAL HOUR CMU CONCRETE MASONRY UNIT EST MISCELLANEOUS MISC ADJ ADJACENT ESTIMATE(D) INCAND INCANDESCENT MOISTURE RESISTANT MR COL COLUMN EXHST EXHAUST ACOUSTICAL CEILING TILE IN INCH MTD MOUNTED EXIST EXISTING AWP ACOUSTICAL WALL PANEL CONC CONCRETE EXP EXPANSION INCL INCLUDING COND CONDUCTOR A/C AIR CONDITIONING

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CLGHTCELLINGHEIGHTDWCDRYWALLCHANNELGWBGYPSUMBOARDMHCMANHOLECOVERPSIPOUNDSPERSQUARE <in< th="">CEMCEMENTEAEAEACHMFRMANUFACTUREPRECONCPRECASTCONCRETECLCENTER<line< td="">EFEACHFACEHDWRHARDWAREMFRMANUFACTURERPREFABPREFABRICATEDCMCENTIMETEREWEACH WAYHDWDHARDWOODMASMASONRYPT, PTDPAINT, PAINTEDCERCERAMICEEASTHVACHEATING, VENTILATING &MOMASONRY OPENINGPTPRESSURETREATEDCTCERAMIC TILEELECELECTRICALAIRCONDITIONINGMATMATERIALSPLPROPERTYLINECBCHALKBOARDELEVELEVATIONHT, HGTHEIGHTMAXMAXIMUMPSCONCPRESTRESSEDCONCRETE</line<></in<>								MAN HOLE	PSF	POUNDS PER SQUARE FOOT
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CB CHALK BOARD ELEV ELEVATION HT, HGT HEIGHT MAX MAXIMUM PS CONC PRESTRESSED CONCRETE					TIVAG				PI	
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			ENCL	ENCLOSURE	HM	HULLUW METAL	M	METER	Q1	QUART I THE
CLOS CLOSET	CLOS	CLOSET								

MATERIAL SYMBOLS RIGID INSULATION GROUT/MORTAR EARTH BRICK NON-FERROUS ACOUSTICAL TILE STEEL/MISC. METAL ROCK (TYPE AS NOTED) FINISH WOOD / TRIM, GRAVEL TYPE 1 ROUGH WOOD/ BLOCKING STONE MILLWORK (ENGINEERED FILL) . . . WOOD, FINISHED WOODWORK TERRAZZO PRECAST CONCRETE 1 PLYWOOD (LARGE SCALE) MARBLE CRUSHED STONE n an d Shirth CONCRETE MASONRY UNIT CERAMIC TILE GYPSUM BOARD $\frac{1}{1}$ WWW

105 ELLINGW ROCHESTER,

ARCHITECT CERTIFICATION TO THE BEST OF MY KNO ACCORDANCE WITH APPLI AND BUILDING CODE

QTB	QUARRY TILE BASE
RAD	RADIUS
RECP	RECEPTACLE
REF	REFERENCE
REFR	REFRIGERATOR
RE:	REFER TO
REINF	REINFORCED(ING)
REQ'D	REQUIR(ED)
RVT	RESILIENT VINYL TILE
REV	REVISED
RGWB	REINFORCED GYPSUM WALL BOARD
RH	RIGHT HAND
R	RISER
RD	ROOF DRAIN
RM	ROOM
RO	ROUGH OPENING RUN-OF-BANK
ROB	
RW	RESCUE WINDOW
SALV	SALVAGE
SAN	SANITARY
SCHED	SCHEDULE
SEC	SECOND
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SC	SOUND CORE
STC	SOUND TRANSMISSION COEFFICIENT
S	SOUTH
SCS	SPECIAL COATING SYSTEM
	SPECIAL COATING STSTEM SPECIFICATION
SPEC	
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SGFT	STRUCTURAL GLAZED FACING TILE
ST,STL	STRUCTURAL STEEL
SUSP	SUSPENDED
SAT	SUSPENDED ACOUSTICAL TILE
TEI	TELEBUIANE
TEL	TELEPHONE
TV	TELEVISION
TEMP	TEMPERATURE
THK	THICKNESS
TPD	TOILET PAPER DISPENSER
TR	TOILET ROOM

TONGUE & GROOVE TOP & BOTTOM TOP OF EDGE ANGLE TOP OF SLAB/STEEL TOW TOP OF WALL T, TR TREAD TD TRENCH D TRENCH DRAIN TYP TYPICAL

T&B

TOEA

TOS

VEND

VEN

VEST VIN

VB

VF

VT

W

W

WC

WR

WT

WWM

W/

W

YD

YARD

VIF

UL UNDERWRITERS LAB UNFIN UNFINISHED UNLESS NOTED OTHERWISE URINAL UNO

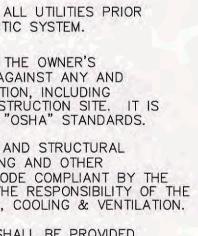
VENDER VENEER VERIFY IN FIELD VERT VERTICAL VESTIBULE VINYL VINYL BASE VCT VINYL COMPOSITION TILE VINYL FABRIC VWC VINYL WALL COVERING VINYL TILE VOL VOLUME WH WALL HUNG

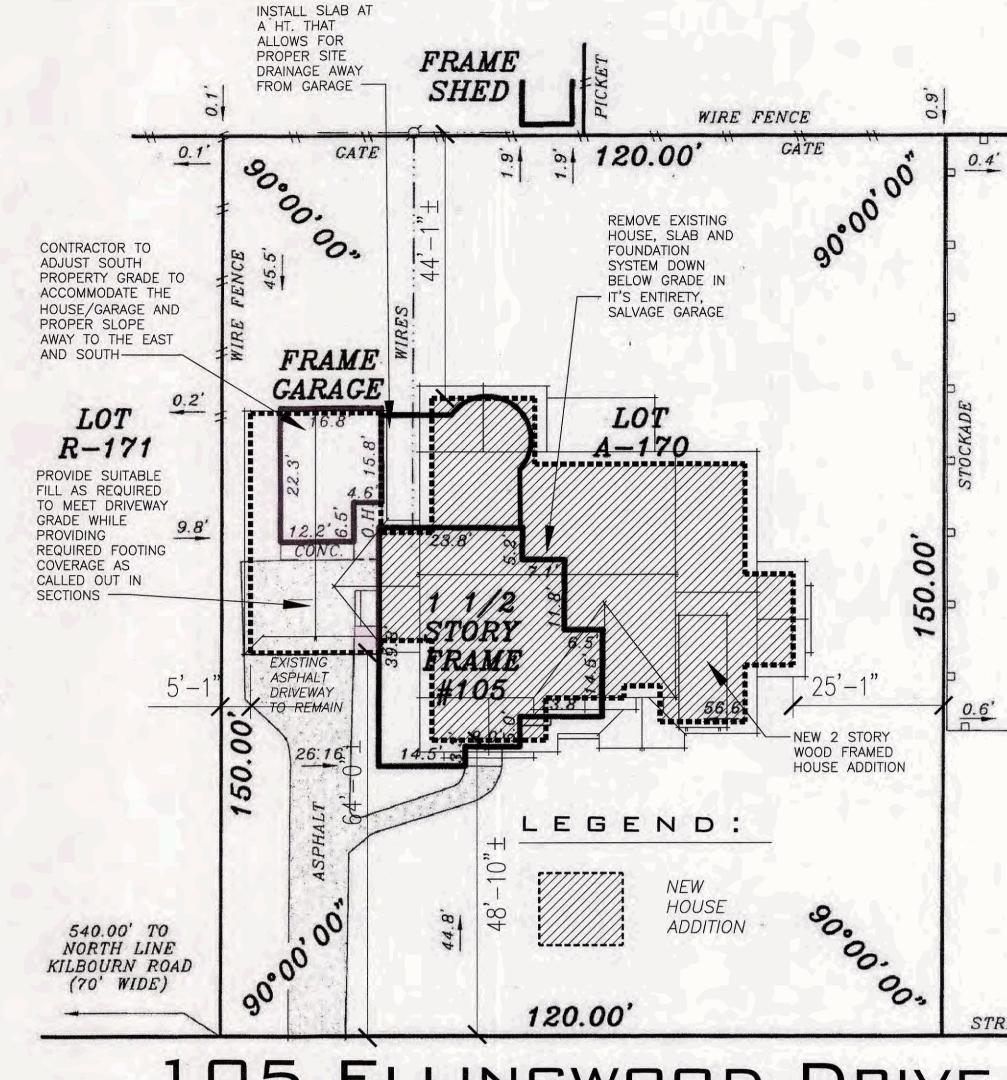
WATER WEST WATER CLOSET WATER RESILIENT/ RESISTANT WEIGHT WELDED WIRE FABRIC WWF WELDED WIRE MESH (W) WIND WIDTH WINDOW WITH WITHOUT W/O WOOD WD WROUGHT IRON

	GRAPHIC	SYMBOLS		
	A COLUMN CENTERLINE A	3 1 HR PARTITION TYPE 3(1 HR RATED)	PROPERTY LINE	STS
	A201 DETAIL #3 ON SHEET A201	REVISION NO. 1		WATER LINE
5	BUILDING SECTION (NO.)OR WALL SECTION (LETTER) ON SHEET A201	+ 100.75 EXISTING SPOT ELEVATION	EXISTING TREE TO REMAIN	100 FURNITURE SYMBOL (NUMBER)
	109 ROOM NUMBER 109	+100.75 FINISHED SPOT ELEVATION	EXISTING TREE TO BE REMOVED	A WINDOW TYPE (LETTER)
	2 4201 4 ELEVATION #2, 4 ON SHEET A201	100 EXISTING CONTOURS	BENCHMARKS, FLOOR ELEV., OR OTHER VERTICAL ELEV.	ACCESSORIES SYMBOL (LETTER) EQUIPMENT SYMBOL (NUMBER)
I	109 DOOR NUMBER 109	100 FINISHED CONTOURS	(3) KEYNOTE SYMBOL - DEMOLITION AND NEW CONSTRUCTION	

NG	REVISIONS NO Description NO DATE BY CHKED DESCRIPTION NO DATE BY CHKED DESCRIPTION
OOD DRIVE NEW YORK 14618	
WLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN CABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION THE STATE ENERGY CONSTRUCTION CODE.	
	R Nomo Nomo Nomo Nomo Nomo Nomo Nomo Nom
	F I N G E R NEW RESIDENCE ADDI 105 ELLINGWOOD DRIVE ROCHESTER, NY 14618
	DATEDRAWNCHECKED09/30/23DAPDAPSCALEAS NOTEDSHEET TITLETITLESHEET
BER)	PROJECT NUMBER

1.			PARALLEL TO THE DIRECTION OF THE FLOOR FRAMING AND UNDER TUB, SHOWER AND TOILET.
	IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.		iii. TRIPLE 2 X 10 HEADERS WITH $1/2$ " HIGH 'R' BETWEEN ALL DOOR AND WINDOW OPENINGS. TRIPLE 2 X 12 \textcircled{O} 6'-0"+ WINDOWS.
2.	ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX		 iv. TWO ROWS OF SOLID TJI HT. BLOCK BRIDGING PER JOIST SPAN. v. FLOOR CONSTRUCTION: 23/32" TONGUE AND GROOVE ADVANTECH
	THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.		SHEATHING. GLUE AND SCREW ADVANTECH TO FLOOR JOISTS. vi. USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILINGS IN ALL BATH AND TOILET AREAS, AND USE MARINE
3.	TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE		CEILINGS IN ALL BATH AND TOILET AREAS, AND USE MARINE GRADE PLYWOOD IN THESE AREAS. vii. EXTERIOR WALL SHEATHING: 7/16" X 48" X 96" EXTERIOR
	DRAWINGS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.		GRADE OSB.
	Dis PAlma Filen		viii. ALL INTERIOR WALLS AND CEILINGS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. PROVIDE METAL CORNER RE-INFORCING AT ALL EXTERIOR CORNERS. TAPE, FLOAT AND SAND A MINIMUM OF THREE COATS.
	Daniel A. Pieters Date:		c. WOOD TRUSSES SHALL BE DESIGNED BY AN ARCHITECT OR ENGINEER, OTHER THAN LICENSEE OF THESE DRAWINGS, LICENSED TO PRACTICE WITHIN THE STATE OF NEW YORK. STRUCTURAL AND INSTALLATION BRACING SHALL BE DESIGNED BY THE MANUFACTURER OF THE
	COPYRIGHTS: THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE DETAILS OF THE BUILDING SHOWN AVAILABLE TO THE CLIENT AND TO THE CONTRACTOR CONSTRUCTING THIS PROJECT. ANY REPRODUCTION OF THIS DESIGN, IN WHOLE OR IN PART, IS PROHIBITED BY THE COPYRIGHT LAWS OF		TRUSSES. d. INTERIOR TRIM AND FINISHES ARE SELECTED BY THE OWNER AND PROVIDED BY THE CONTRACTOR AS PART OF THESE DOCUMENTS.
	THE UNITED STATES OF AMERICA.	11.	MISCELLANEOUS: UNLESS OTHERWISE NOTED, PROVIDE: a. R-21 FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, R-30 FIBERGLASS BATT INSULATION IN ALL FLOORS AND R-38 BATT
	DESIGN LOADS:FLOOR:50 P.S.F. LIVE LOADROOF:50 P.S.F. LIVE LOAD20 P.S.F. DEAD LOAD20 P.S.F. DEAD LOAD		FIBERGLASS INSULATION IN ALL CEILINGS, ROOFS OR TRUSSES ADJACENT TO THE EXTERIOR OR UNHEATED INTERIOR SPACES. SPRAYED FOAM INSULATION MAY ALSO BE USED PER MANUF. RECOM.
6.	SOIL PRESSURE: ASSUMED TO BE 3000 P.S.F. (GEOTECH. DATA NOT THE		b. 1" OF RIGID INSULATION SHELTER-SHEATH AGAINST THE INTERIOR SIDE OF THE EXTERIOR CONCRETE BLOCK WALLS ALLOWING 1/2" OF AIR SPACE BETWEEN CMU AND RIGID INSUL., TAPE ALL SEEMS FOR VAPOR BARRIER.
-	RESPONSIBILITY OF THE ARCHITECT). FINAL SELECTED SITE IS UNKNOWN BY THIS ARCHITECT. CONCRETE (ONCE FINAL SITE IS SELECTED):		C. PROVIDE KRAFT FACE INSULATION FOR ALL BATT INSULATION TO ASSIST AS A VAPOR BARRIER ON THE INTERIOR SIDE OF ALL THERMAL INSULATION, PRIOR TO APPLYING FINISH.
7.	a. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3500 P.S.I. 5" CONCRETE SLAB (28 DAY COMPRESSIVE STRENGTH) OVER A 6 MIL. POLYETHYLENE VAPOR BARRIER ON 8" POROUS GRAVEL. REINFORCING SHALL BE 6X6 - W1.4 X W1.4 WELDED WIRE MESH.		d. INSULATING GLAZING AT ALL EXTERIOR GLASS AREAS AND TEMPERED GLAZING IN ALL GLAZED OPENINGS LESS THAN 30" ABOVE FINISH FLOOR.
	 PROVIDE #5 BAR @ 4'-0" OC. BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN ALL LOCATIONS EXTERIOR OR UNHEATED INTERIOR SPACES. PROVIDE 2" OF RIGID INSULATION UNDER SLAB AND 2'-0" DOWN FOUNDATION WALL. 		e. CAULKING AT ALL PERIMETERS OF WINDOWS, DOORS AND BOTTOM PLATES. f. PROVIDE WEATHER SHIELD LOW 'E' INSULATED CASEMENT WINDOWS FOR ALL
	EXTERIOR OR UNHEATED INTERIOR SPACES. PROVIDE 2" OF RIGID INSULATION UNDER SLAB AND 2'-0" DOWN FOUNDATION WALL.		PUNCHED OPENINGS. EXTERIOR/INTERIOR COLORS AND FINISHES AS SELECTE BY OWNER. CONTEMPORARY COLLECTION WINDOWS TO BE PROVIDED.
8.	FOUNDATIONS (ONCE FINAL SITE IS SELECTED): a. FOUNDATION FOOTINGS SHALL REST UPON UNDISTURBED (ORIGINAL) SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. MINIMUM TOP OF FOOTING COVERAGE IS 4'-0''.	12.	g. PROVIDE ANDERSEN SERIES 200 FOR THE WINDOWS, WHITE INSIDE/OUTSIDE. SITE INSPECTIONS SHALL BE MADE BY THIS ARCHITECT. ALTHOUGH THE
	CONDITIONS. MINIMUM TOP OF FOOTING COVERAGE IS 4'-0". b. CONCRETE BLOCK WALLS (CMU) SHALL BE		CONTRACTOR IS FULLY RESPONSIBLE FOR ALL MATERIALS AND WORKMANSHIP. MATERIAL SUBSTITUTIONS SHALL BE MADE ONLY IF APPROVED BY THE ARCHITECT.
	CONSTRUCTED WITH: i. GRADE 'N', TYPE I, HOLLOW LOAD BEARING CONCRETE MASONRY UNITS WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1900 P.S.I.	13.	THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL CODES THAT GOVERN CONSTRUCTION AND VARIATIONS FROM THESE PLANS. CONTRACTOR RESPONSIBLE FOR PERMITTING.
	 ii. TYPE 'S' MORTAR. iii. HORIZONTAL RE-INFORCING: "DUR-O-WAL" TRUSS TYPE RE- INFORCING, CONTINUOUS THROUGHOUT EVERY OTHER BLOCK 		THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS PRIOR TO THE START OF WORK.
	COURSE. iv. VERTICAL RE-INFORCING: RE-INFORCE WALLS OF EXCAVATED AREA WITH NO. 7 VERTICAL REBARS AT 4'-0" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF ANY OPENINGS IN THE	15.	THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS PROJECT.
	FOUNDATION WALL(S). v. PLACE 5/8" DIAMETER BY 16" LONG SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURING) OR AT 32" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF OPENINGS IN THE		THE CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION AND DEMOLITION AS REQUIRED TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE
	c. WATERPROOF WALLS OF EXCAVATED AREAS WITH TROWLED ON CEMENT,		PROJECT, PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP THE NECESSARY FOUNDATION SOIL REQUIRED TO SUSTAIN THE LOADS OF THE DESIGN OF THE 2.5 TONS PER
	TWO COATS OF TROWLED ON ASPHALTIC BASE WATERPROOFING AND "WRAP AND DRAIN" WATERPROOFING SYSTEM.		SQUARE FOOT AND TO HIRE A SOILS ENGINEER TO IMPACT AND VERIFY SOIL CONDITIONS PRIOR TO THE POURING OF FOUNDATIONS.
	d. PROVIDE 4" DIAMETER PERFORATED DRAINAGE TILE AT THE PERIMETER OF ALL FOUNDATION FOOTINGS IN EXCAVATED AREAS. COVER THE JOINTS IN THE DRAIN TILE WITH GEOTEXTILE FABRIC. COVER THE JOINTS IN THE DRAIN TILE WITH A		THE CONTRACTOR SHALL REQUEST THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ALL CONSTRUCTION INCLUDING SEPTIC SYSTEM.
	MINIMUM OF 18" POROUS GRAVEL FILL. WRAP THE ENTIRE TILE/FILL ASSEMBLY IN GEOTEXTILE FABRIC WITH LAP SEAMS A MINIMUM OF 8".		THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND THE OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY AND ALL CLAIMS ARISING FROM INJURY DURING CONSTRUCTION, INCLUDING FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE. IT IS
9	a. ALL STRUCTURAL STEEL SHALL COMPLY WITH ASTM SPECIFICATION A-36.		THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH "OSHA" STANDARDS. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL
	 UNLESS OTHERWISE NOTED, PROVIDE A P.T. 2 BY PLATE BOLTED TO THE TOP FLANGE OF ALL BEAMS WITH 1/2" DIA. ANCHOR BOLTS STAGGERED AT 2'-0" O.C. RIGIDLY FASTEN ALL CONNECTING RAFTERS/JOISTS A MINIMUM OF 8". 		REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND OTHER BUILDING SYSTEMS, ARE TO BE CODE PROVIDED AS CODE COMPLIANT BY THE CONTRACTOR AS PART OF CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR ADAQUTE SIZING AND FOR HEATING, COOLING & VENTILATION.
11	D. <u>CARPENTRY:</u> a. UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE DOUG-FIR,		DECK FRAMING, GUARD POSTS, RAILINGS & GUARDS SHALL BE PROVIDED PER THE 2013 AMERICAN WOOD COUNCIL DCA-9 PRESCRIPTIVE
	CONSTRUCTION GRADE. BEAMS, HEADERS AND FLOOR JOISTS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200 P.S.I.	21.	RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE. SMOKE AND CARBON MONOXIDE ALARMS ARE TO BE PROVIDED PER
	 b. UNLESS OTHERWISE NOTED PROVIDE: i. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS. 		SECTION J802 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE OF NEW YORK STATE.





105 ELLINGWOOD DRIVE

ELLINGWOOD

(60' WIDE)

DRIVE

SITE PLAN SCALE: 1/16" = 1'-0"



BY THOMAS A. RODAK OF O'NEILL-RODAK LAND SURVEYING, P.C. SURVEY COMPLETED ON AUGUST 12, 2014.



16 NYCRR PART 753 REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK Dig Safely. New York

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R-168 BULK REQUIREMENTS: 105 ELLINGWOOD DRIVE TOWN OF PITTSFORD, NY 14618 EXISTING SITE WIDTH IS 120'. 1. EXISTING ZONING: **RN - RESIDENTIAL NEIGHBORHOOD** 2. BUILDING HEIGHT: PROVIDED: 29'-11" ALLOWABLE: 2.1. PRIMARY MAXIMUM 30' 3. LOT REQUIREMENTS (ALSO PERTAINS TO ACCESSORY STRUCTURES). THIS PROJECT IS A PARTIAL DEMOLITION AND NEW HOUSE ADDITION. PROVIDED: 18,000 SF 18,000 SF 3.1. ACTUAL LOT AREA: 3.2. ACTUAL LOT WIDTH: 120' 120' 3.3. MIN. FRONT SETBACK: additions not permitted 48'-10" past bldg. line 25'-1" NORTH & 5'-1" SOUTH 3.4. MIN. ONE SIDE SETBACK: 10' (one side) 3.4. MIN. BOTH SIDE SETBACK: 25' (two sides) 30'-2" 3.5. 44'-1" from addition to lot line REAR BUFFER: 20' (no structures) 3.6. MAX BLDG. FOOTPRINT 3,675SF + 5% OVER 17,500SF 3,542 SF with addition 3,684 SF with front patio/porch 3,700SF ALLOWED 3.7 MAX. LOT COVERAGE 40% or 7,200 SF 5,442 SF approximately w/patio/porch/shed/drive/walk

STREET LINE

LOT



THIS SURVEY WAS PROVIDED BY THE PROPERTY OWNER DAVID B. FINGER. SURVEY WAS PERFORMED



