

**Design Review & Historic Preservation Board  
AGENDA  
August 10, 2023**

*This agenda is subject to change*

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, August 10, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

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**HISTORIC PRESERVATION DISCUSSION**

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**BUILDING INSPECTOR REMARKS**

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**RESIDENTIAL APPLICATIONS – ACCESSORY STRUCTURES**

**43 Musket Lane**

Applicant is requesting design review for the addition of a 288 SF accessory structure, shed.

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**RESIDENTIAL APPLICATIONS – ADDITIONS**

**16 Winding Road**

Applicant is requesting design review for a garage expansion in the front of the home along with two additions at the back and side of the home.

**32 Stoneleigh Court**

Applicant is requesting design review for an approximately 500 square foot addition on the rear of the house.

**26 Bromley Road**

Applicant is requesting design review for the renovation and expansion of a 208 square foot screen porch off the rear of the home.

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**RESIDENTIAL APPLICATIONS – NEW HOMES**

**61 Coventry Ridge**

Applicant is requesting design review for the construction of a two-story single-family home. The home will have approximately 2926 square feet of livable area and is located in the Coventry Ridge Subdivision.

**59 Coventry Ridge**

Applicant is requesting design review for the construction of a two-story single-family home. The home will have approximately 3760 square feet of livable area and is located in the Coventry Ridge Subdivision.

**4 Black Wood Circle**

Applicant is requesting design review for the construction of a one-story single-family home. The home will have approximately 2827 square feet of livable area and is located in the Wilshire Hill Subdivision.

**151 Sylvania Road**

Applicant is requesting design review for a 4732 square foot new home between 155 and 141 Sylvania Road.

**TOWN OF PITTSFORD  
DESIGN REVIEW & HISTORIC PRESERVATION BOARD  
JULY 13, 2023**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on July 13, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

**PRESENT:** Dirk Schneider, Chairman; Jim Vekasy; Bonnie Salem; Paul Whitbeck; John Mitchell

**ABSENT:** Dave Wigg, Vice Chairman; Kathleen Cristman

**ALSO PRESENT:** Bill Zink, Building Inspector; Doug DeRue, Director of Planning, Zoning, and Development; Meghan Brooks, Building Department Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

**ATTENDANCE:** There were 10 members of the public present.

Design Review and Historic Preservation Board Chairman Dirk Schneider called the meeting to order at 6:03PM.

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**HISTORIC PRESERVATION DISCUSSION:**

**Geoca Subdivision – 215 Mendon Road**

*Design Guidelines & Standards: Mile Post Stone Town Historic District (1993)* handouts were distributed to the Design Review & Historic Preservation Board (DRHPB) as reference for the discussion.

DRHPB Chairman Schneider stated that the Geoca Subdivision discussion would continue this meeting following letters addressed to the Planning Board and to the DRHPB since the previous DRHPB meeting on June 22, 2023. Chairman Schneider asked whether the developer intends to attend a DRHPB meeting; Mr. Doug DeRue stated that he would not be coming to this one.

Mr. Robert Koegel, the Town Attorney, stated that the developer was asked by the Planning Board to submit a proposal for three homes, and the developer said he was interested in getting responses and definitions from the DRHPB before submitting further documentation to the Planning Board.

DRHPB Member Bonnie Salem stated that, in the past, previous developers have brought plans to informal discussions, and does not feel that the DRHPB should design his homes for him. Mr. Koegel stated that the size and shape of this application is not the same as other applications, and that while he understands Board Member Salem's point, he also knows that the developer is seeking guidance before investing further time and money. Mr. DeRue noted that what is also unique about this subdivision is that it is in a historic district and that the developer wants to ensure any plans meet the DRHPB's standards. He added that there is no simple or easy answer for any parties involved with the planning process.

Board Chairman Schneider requested feedback on the Planning Board's discussion of Geoca. Mr. Koegel stated that the Planning Board's general feeling thus far is that three new lots in the subdivision would strike a good balance. Mr. DeRue noted that the statement of no development was seen as not a legitimate path forward, and that because other areas of the historic district were developed, it could be a legal bind to impose such a statement upon this parcel. Mr. Koegel added that there is no legal basis in the code to support an issuance of no new development. In this case, it is important to find a fair spot between the developer's rights and the upholding of historical character.

Mr. DeRue gave the DRHPB a brief overview of the history of the historical district's development, adding that the Design Guidelines document was prepared around the time that the Lusk Farm began to deteriorate and accumulate zoning violations. The document speaks heavily on the hamlet and in generality about other areas but there is no mention of 215 Mendon specifically. The first real identification of this parcel was the Old Lusk Homestead map that identified the future road.

Board Member Salem expressed the feeling that this supported her point, and that the hamlet would not be an acceptable model for 215 Mendon Road. Mr. Koegel told the DRHPB that while they can express views both personally and as a Board, the applicant is looking for guidance for construction in the instance that lots are approved.

Board Chairman Schneider asked what the developer's thoughts were on the orientation of the houses. Mr. DeRue stated that the developer had trouble envisioning how it would work without knowing details on utilities, sides, grading, etc. All of those would affect how each home functioned, especially as utilities such as sewer and water would also utilize land between the road and the house.

The DRHPB then had a discussion on potential guidelines they could make that would be of use to both the developer and the Planning Board. All DRHPB members agreed that planning for all eventualities would be most practical, and it would be a mistake to orient houses to a non-existent road. Upon questioning from Board Chairman Schneider, Mr. DeRue clarified that the Town of Pittsford identified potential traffic issues back when the right-of-way was suggested, and that its proposal was meant to preserve and enhance the district. When Board Member Salem expressed that she did not think it would do so, Mr. Koegel added that the decision on right-of-way is up to the Planning Board.

Board Chairman Schneider made several potential suggestions to the design of homes he would like to see and noted that he felt that digging in heels on no development would be short-sighted. Mr. DeRue suggested that finding a few homes around Pittsford that could act as contextual references for the developer would likely be helpful.

Following an extensive discussion regarding development and design within the Geoca Subdivision, the DRHPB provided the following commentary in response to the letter sent by the developer:

*(Please note: Regarding Part III, Mr. Koegel clarified that there is no legal basis for a joint meeting, but that the Board may state their wishes.)*

# TOWN OF PITTSFORD

SETTLED 1789

11 SOUTH MAIN STREET, PITTSFORD, NY 14534  
TEL. 585-248-6200 FAX 585-248-6247

## **Design Review & Historic Preservation Board RESPONSE TO THE GEOCA SUBDIVISION DEVELOPER'S LETTER**

On Thursday, July 13, 2023, the Design Review & Historic Preservation Board (DRHPB) gave the following feedback in response to a letter written to them by the developer of 215 Mendon Road:

### **PART I: Development**

- The DRHPB prefers that no new development occur at 215 Mendon Road in order to preserve the integrity of the historic district.
- Should development occur, the DRHPB recommends that the subdivision be divided into three parcels: the existing home at 215 Mendon Road, and two new lots.

### **PART II: Design & Construction**

- The DRHPB deems that the homes at 14 Mendon Center Road and 215 Mendon Road are appropriate context references for future construction within the Geoca Subdivision, *with the exception of existing materials*.
- The DRHPB desires home sizes of approximately 2000 square feet of conditioned living space. This definition is given to maintain an appropriate size and scale to the rural nature of the district and reduce the density of structures.
- The DRHPB states that homes should maintain a farmhouse style without becoming carbon copies of surrounding structures.
- The DRHPB states that the homes in the Founder's Green Subdivision are not an acceptable model for the Geoca Subdivision due to the unique nature of the 215 Mendon Road parcel.
- The DRHPB states their preference for detached garages, as they are considered most historically appropriate.

### **PART III: Planning**

- The DRHPB states their wish to host a joint meeting with the Town of Pittsford Planning Board to discuss the design guidelines for the Mile Post Stone Town Historic District set forth in 1993.

Full minutes for the July 13, 2023, Design Review & Historic Preservation Board meeting will be available following their approval at the next DRHPB meeting.

Respectfully,

---

Meghan Brooks  
*Building Department Assistant*

**RESIDENTIAL APPLICATIONS – NEW:**

**5 Pepperwood Court**

Applicant is requesting design review for the addition of a 672 square foot garage and mudroom on the northwest side of the house.

Lorie Boehlert of James L. Garrett Company introduced the application. Ms. Boehlert stated that a small garage addition would be added to the home. The current garage would remain in place. Board Member Salem confirmed with Ms. Boehlert that the colors, stone, and siding would match the original structure. DRHPB Member Paul Whitbeck asked Ms. Boehlert whether the stone would wrap around; Ms. Boehlert confirmed it would. Upon review of the drawings, Board Member Salem asked whether the stone shown on the plans would continue to the second floor. Ms. Boehlert clarified that nothing on the existing structure would change except for a portion of the roof where the addition would join, and that the appearance of that exterior decoration in the plans is due to the use of an old design to show the addition.

DRHPB Board Member John Mitchell motioned to approve the addition of a 672 square foot garage and mudroom on the northwest side of the house as submitted, seconded by DRHPB Board Member Paul Whitbeck. Following a unanimous voice vote, the application was approved.

**80 North Country Club Drive**

Applicant is requesting design review for a 103 square foot addition to the back of the house.

Lindsey Fox of BuildHappy introduced the application. Ms. Fox stated the addition would be part of a larger interior renovation. Board Member Salem asked what materials would be used; Ms. Fox stated that the materials would match the existing structure. She also noted that this home had already been in front of the DRHPB for the front elevation change. Board Chairman Schneider requested clarification on the right elevation. Ms. Fox stated that the current windows are in poor condition, and they would be removing them. Board Member Vekasy asked if the stonework would turn the corner; Ms. Fox said that it would only be in the front.

DRHPB Member Dirk Schneider motioned to approve the construction of a 103 square foot addition to the back of the house as submitted, seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved.

**4 Pine Acres Drive**

Applicant is requesting design review for the addition of a 168 square foot covered patio.

No person was present to introduce the application. The DRHPB had a brief discussion on the plans, noting the small size and low visibility, before motioning to approve the application.

DRHPB Chairman Dirk Schneider motioned to approve the construction of the addition of a covered patio as submitted, seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

**96 Coventry Ridge**

Applicant is requesting design review for the addition of a covered patio on the southeast side of the house.

John Morrill of Bubba's Landscape introduced the application. Board Member Vekasy confirmed with Mr. Morrill that there would be no enclosure of the patio space, only a roof. Board Chairman Schneider noted that he appreciated the front detailing and design being carried into the back of the home.

DRHPB Member Salem motioned to approve the addition of a covered patio on the southeast side of the house as submitted, seconded by DRHPB Chairman Schneider. Following a unanimous voice vote, the application was approved.

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**COMMERCIAL APPLICATIONS – NEW:**

**4045 East Avenue - Irondequoit Country Club**

Applicant is requesting design review for the addition of a covered patio on the northwest side of the building.

John August, the treasurer of the Irondequoit Country Club, introduced the application. Mr. August stated that the country club had created the roof and awning system in 2008, and that changing it would eliminate the need for removing the structure for the winter months, protect patrons from the weather more effectively, and add more use time to the three-season area. He also noted that the structure would have a Mediterranean-style tile roof. Mr. August submitted supplemental drawings 1 and 2 to the Board for context.

Board Chairman Schneider asked if the roof would be any higher than the current awning and whether the current piers would remain; Mr. August confirmed it would be same height as the awning, and that yes, the piers would remain. Board Chairman Schneider also suggested that skylights be flat to the roof rather than domed and stated that the roof pitch should allow water to run off.

DRHPB Member Paul Whitbeck motioned to approve the addition of a covered patio on the northwest side of the building as submitted, in addition to the supplemental drawings 1 and 2, seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

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**OTHER DISCUSSION:**

The minutes of June 22, 2023, were approved following a motion by DRHPB Member John Mitchell, seconded by DRHPB Member Bonnie Salem as amended. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Chairman Schneider closed the meeting at 8:17PM.

Respectfully submitted,

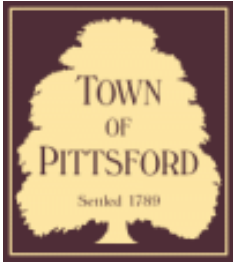
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Meghan Brooks  
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING  
DEPARTMENT

DRAFT





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**RA23-000074**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 43 Musket Lane PITTSFORD, NY 14534

**Tax ID Number:** 192.08-1-26

**Zoning District:** RN Residential Neighborhood

**Owner:** Mulvey, Sean P

**Applicant:** Mulvey, Sean P

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for the addition of a 288 SF accessory structure, shed.

**Meeting Date:** August 10, 2023



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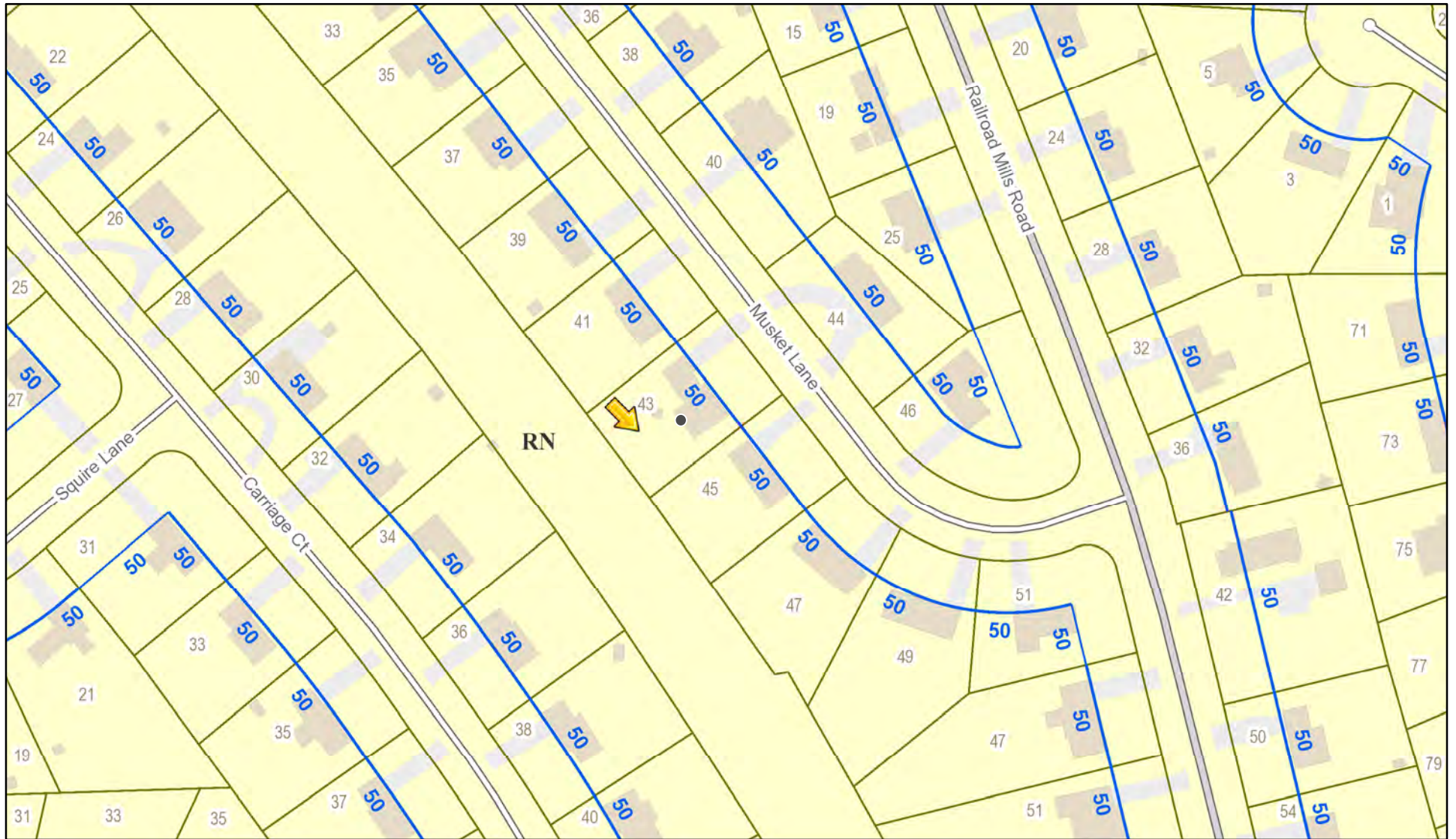
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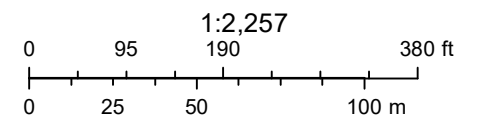
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# RN Residential Neighborhood Zoning



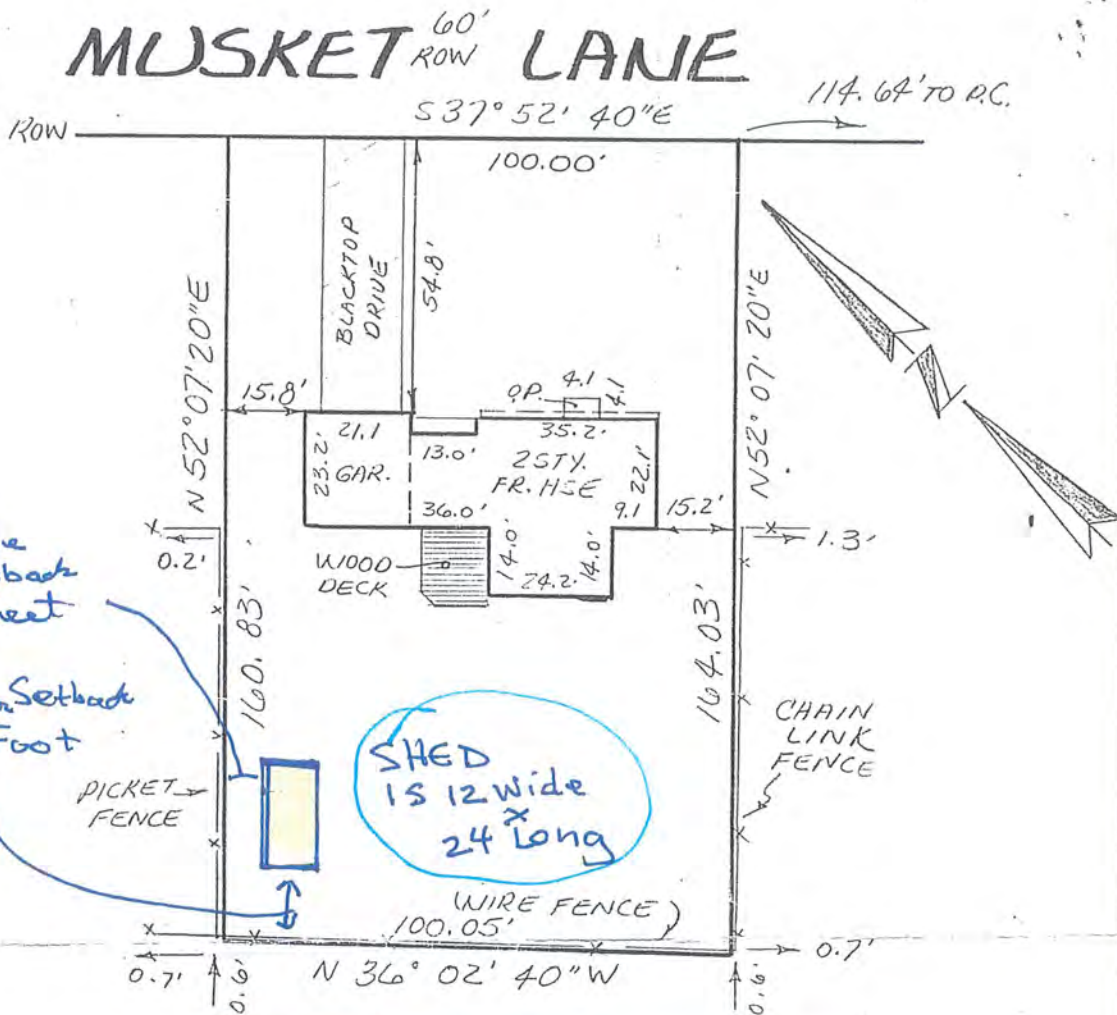
Printed June 23, 2023



Town of Pittsford GIS

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# MUSKET LANE



Side Setback 11 feet

Rear Setback 16 Foot

SHED  
15 12 wide  
24 long

## REFERENCES

1. L. 165 MARS, P. 36

## NEW WALKING TRAIL

I HEREBY CERTIFY TO THE PARTIES LISTED HEREON THAT THIS MAP WAS MADE ON OCT. 18, 1995 FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON OCT. 17, 1995.

*James M. Leoni*

JAMES M. LEONI N.Y.S.R.L.S. 49225  
SUITE 390 A-1 COUNTRY CLUB ROAD  
EAST ROCHESTER, N.Y. 14445

CERTIFIED TO:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_

**INSTRUMENT SURVEY**  
**73 MUSKET LANE**  
**LOT 51 MILL PARK ESTATES, 2**

SITUATE IN

**TOWN OF PITTSFORD**  
**MONROE CO. NEW YORK**

SCALE: 1" = 30'

OCT. 18, 1995



(https://heritagestructuresny.com/)

# 43 MUSKET LANE



Store



Design

3

Summary

Here is your saved design

A link to this saved design has been sent to shrimp@rochester.rr.com.



**Building Design:** 12x24 Deluxe Gambrel Loft Barn

**Model:** 12x24x7 Deluxe Gambrel Loft Barn

**Total Building Price:** \$10,944.00

**Sales Tax:** \$875.52

**Order Total:** \$11,819.52

[+ Show Details](#)

Additional Options for your Order



[Purchase Outright](#)

Order Total: \$11,819.52

**Minimum Due: \$5,909.76 (50% of order total)**

## SHED DETAILS

Building Design: 12x24 Deluxe Gambrel Loft Barn

Model: 12x24x7 Deluxe Gambrel Loft Barn

Total Building Price: \$10,944.00

Sales Tax: \$875.52

Order Total: \$11,819.52

### Included

Painted/Stained LP Smartside

Painted/Stained LP Trim

Classic Rib Metal roof

Standard TechShield

Deluxe Rounded Top Gable Vent

6x6 Double Smartside Door

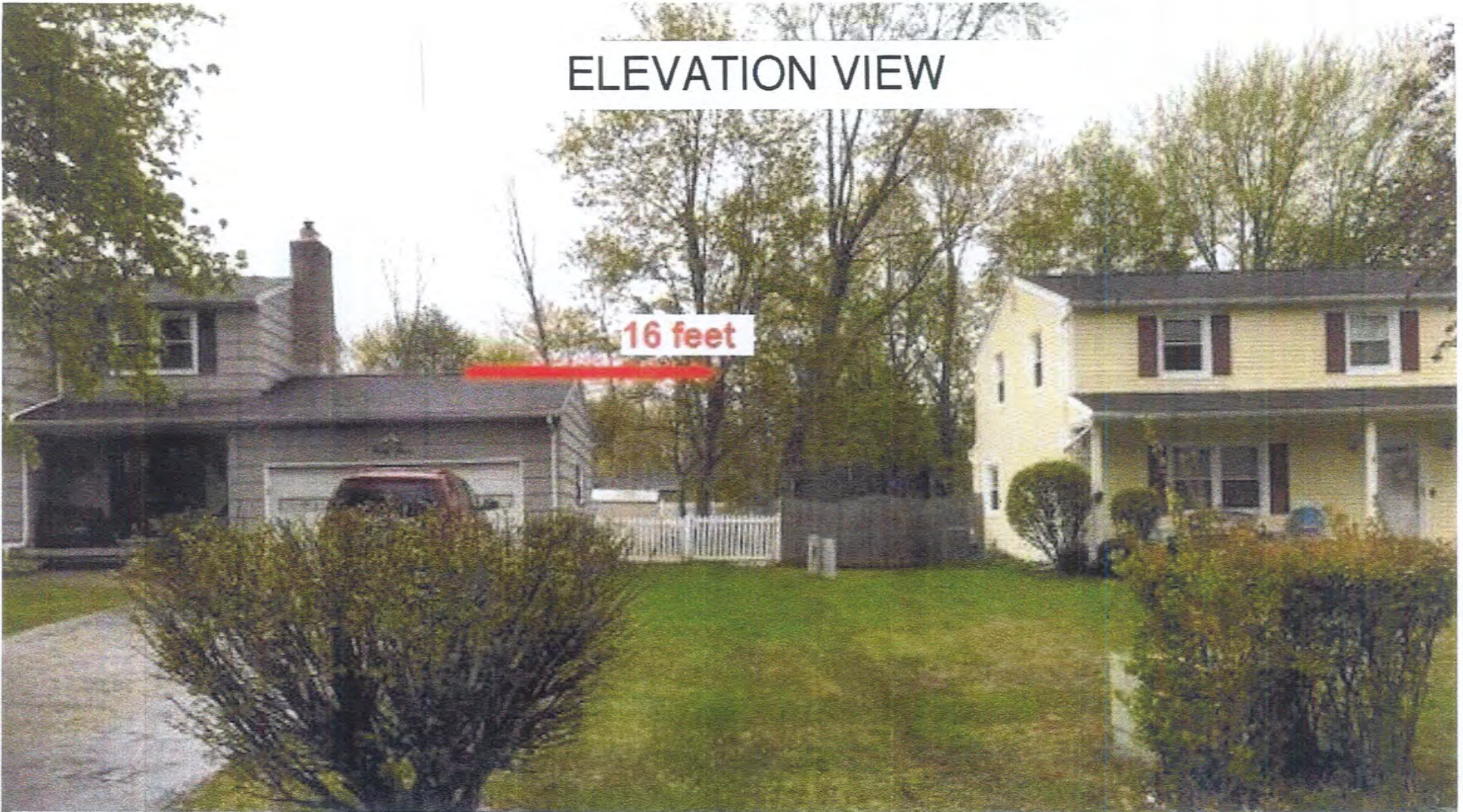
3x6 Smartside Door

24x36 Window (Grids)

4' End Porch

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## ELEVATION VIEW

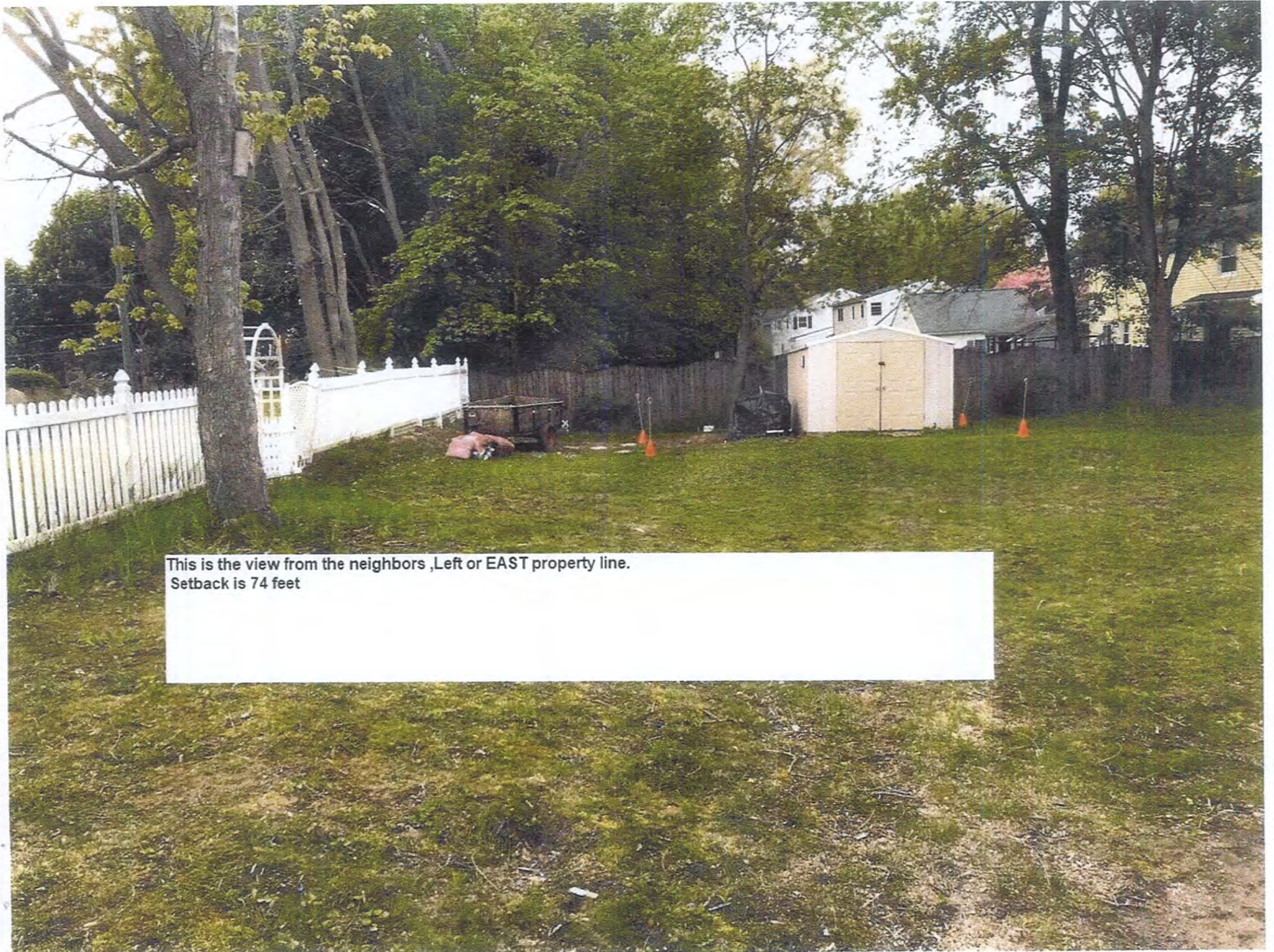


43 MUSKET LANE- GRAY HOUSE ON LEFT

41 MUSKET LANE- YELLOW HOUSE/ WINCHESTER ON RIGHT

VIEW: FACING REAR OF LOT

PROPOSED SHED 11 FEET TALL, VISUALLY BLOCKED BY 2 STORY HOME AT  
LEAST 50% FROM VIEW.

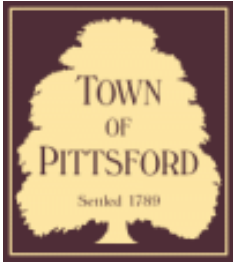


This is the view from the neighbors ,Left or EAST property line.  
Setback is 74 feet



This view is from Auburn Trail. the 10X10 shed is being removed and the new shed will contain all the yard equipment and materials.  
Rear Setback is 16 Feet.  
Side Setback is 11 feet





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000086**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 16 Winding Road ROCHESTER, NY 14618

**Tax ID Number:** 151.14-1-12

**Zoning District:** RN Residential Neighborhood

**Owner:** Dryer, Jessica

**Applicant:** Dryer, Jessica

### Application Type:

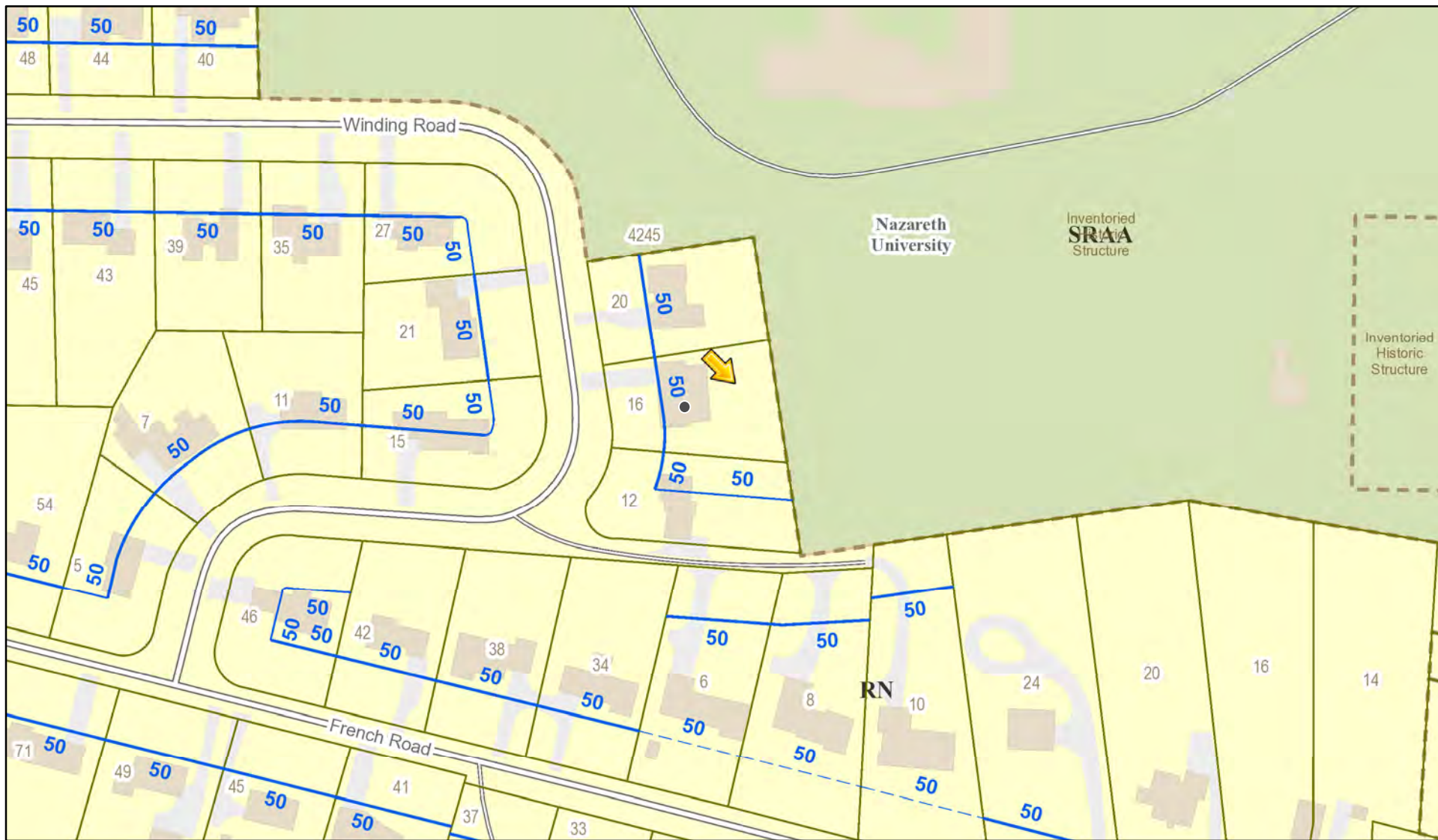
- Residential Design Review §185-205 (B)
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- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for a garage expansion in the front of the home along with two additions at the back and side of the home.

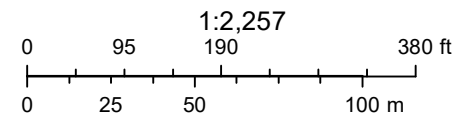
**Meeting Date:** August 10, 2023



# RN Residential Neighborhood Zoning



Printed June 23, 2023



Town of Pittsford GIS

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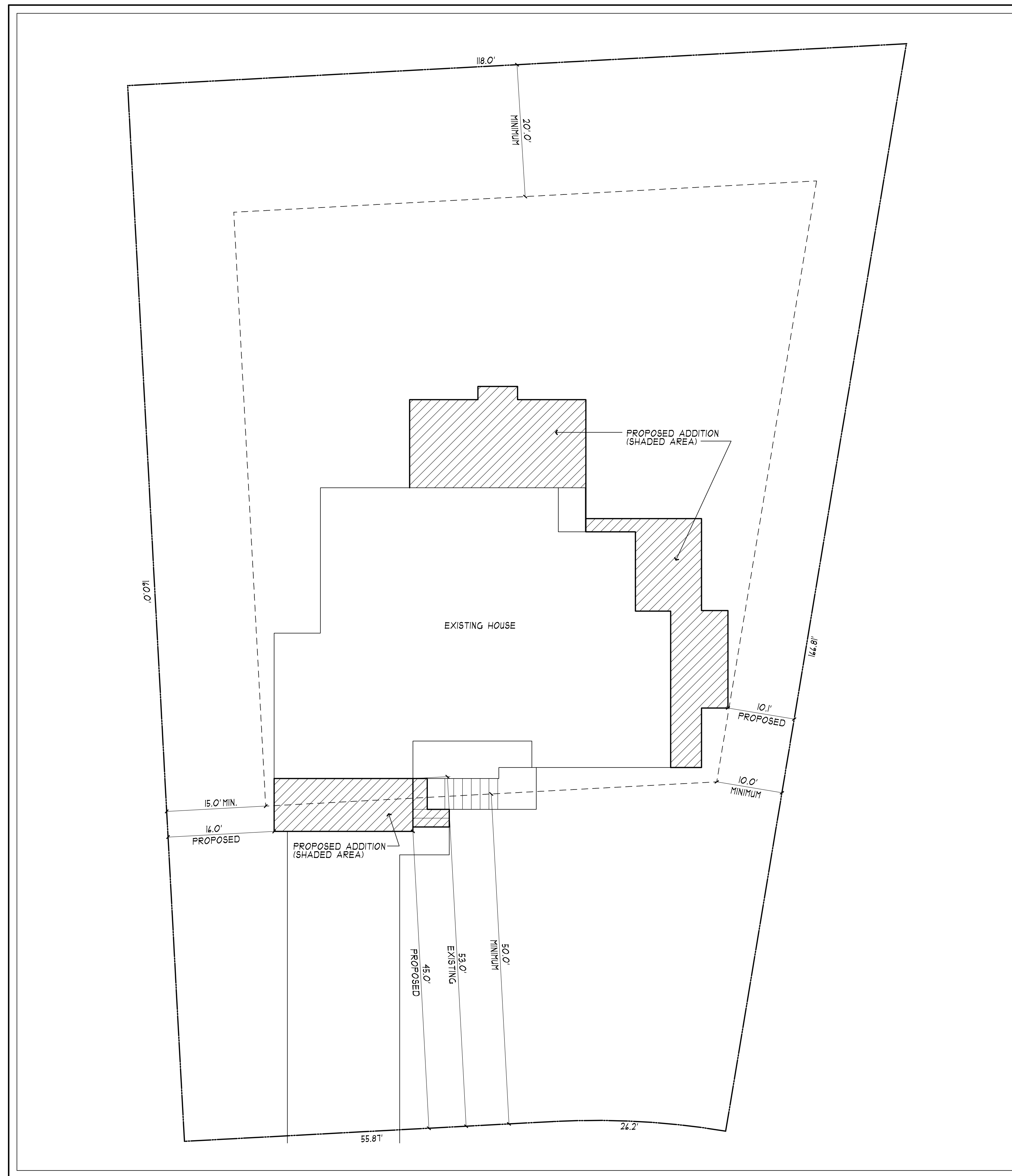
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04/03/2021

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**PROPOSED ADDITION TO MULBURY RESIDENCE**

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**16 WINDING RD**

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**PITTSFORD, NY**

## DRAWING INDEX

1	TITLE PAGE
2	FRONT AND RIGHT SIDE ELEVATIONS - existing/proposed
3	REAR AND LEFT SIDE ELEVATIONS - existing/proposed
4	FIRST FLOOR PLAN- existing
5	FIRST FLOOR PLAN - proposed
6	LOWER LEVEL PLAN- existing
7	LOWER LEVEL PLAN- proposed



PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.  
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Pittsford, NY 14534**

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**PROJECT:**  
ADDITION TO RESIDENCE  
16 WINDING RD  
PITTSFORD, NY 14618

**CLIENT:**  
MIKE AND JESSICA MULBURY

**DRAWING:**  
TITLE PAGE 4 SITE PLAN

**DRAWN:**  
JL/PM

**DATE:** JUNE 2023

**SCALE:** 1/4"=1'-0"

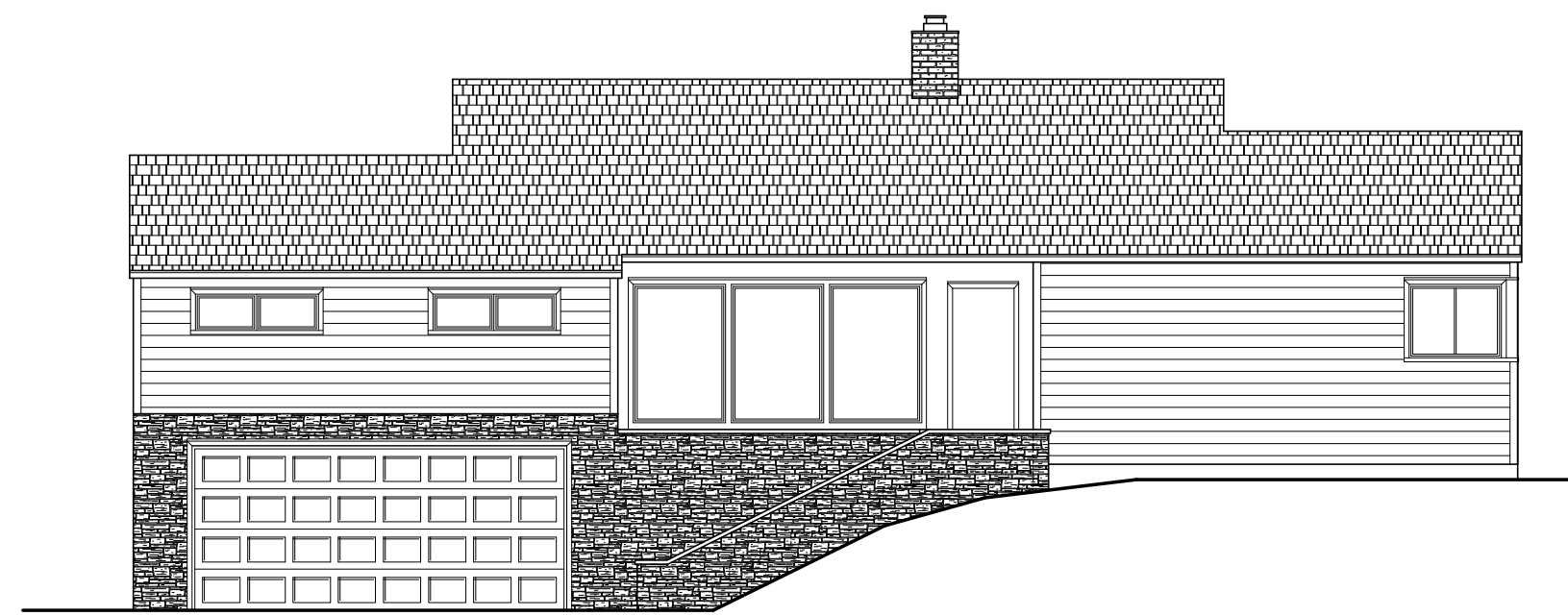
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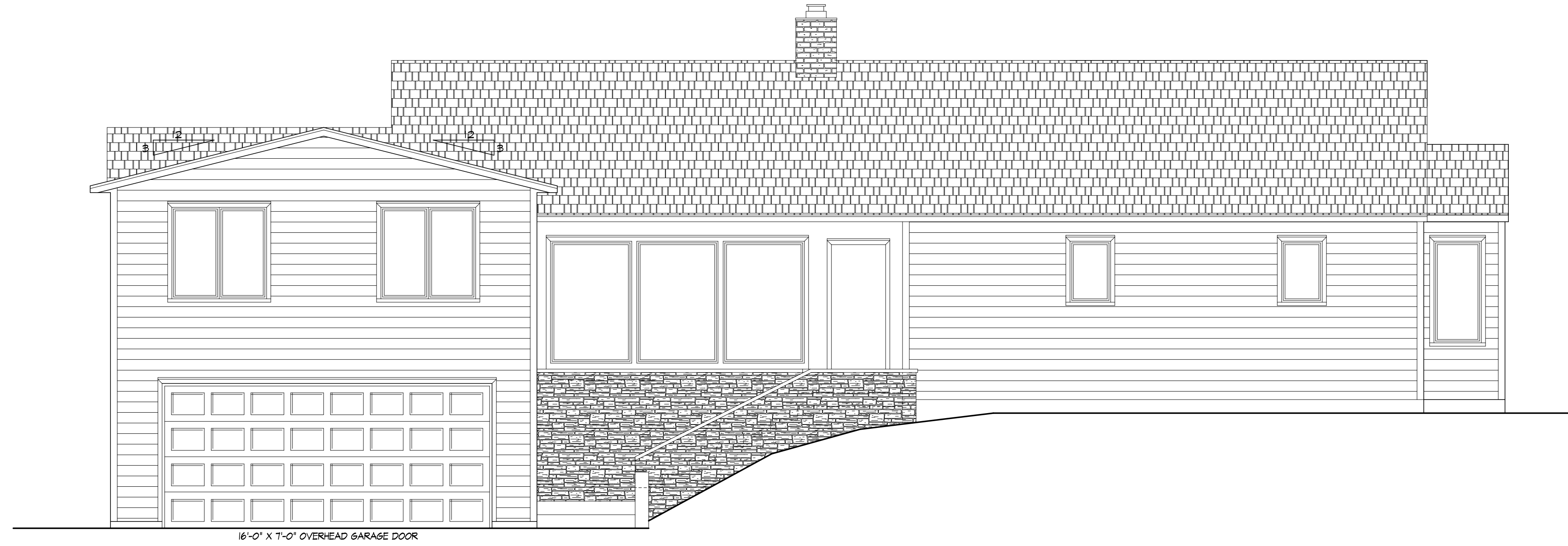
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OF 7 SHEETS

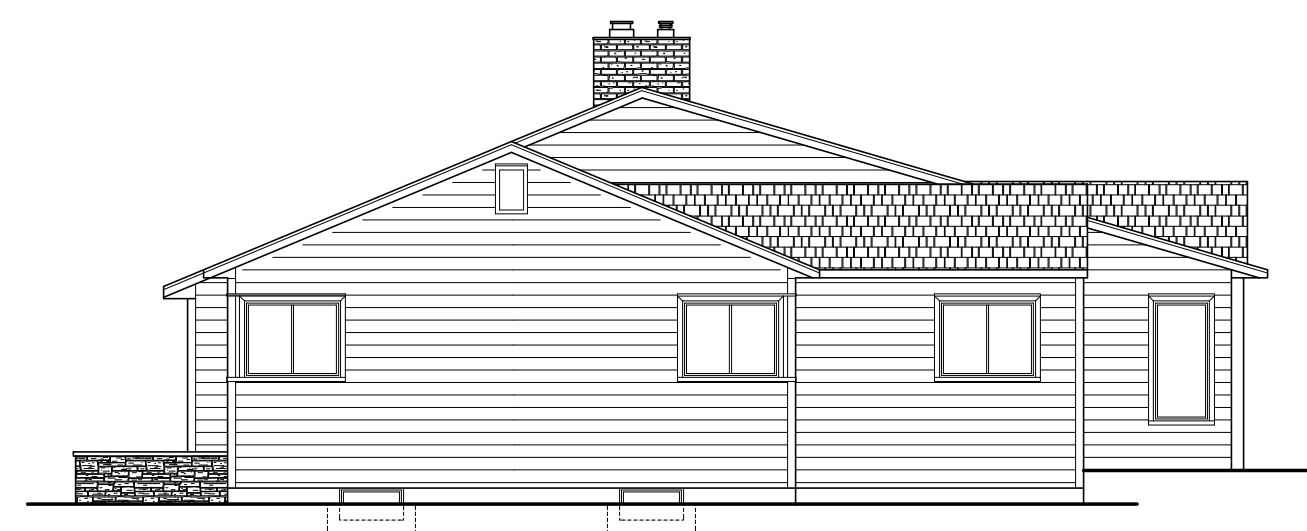




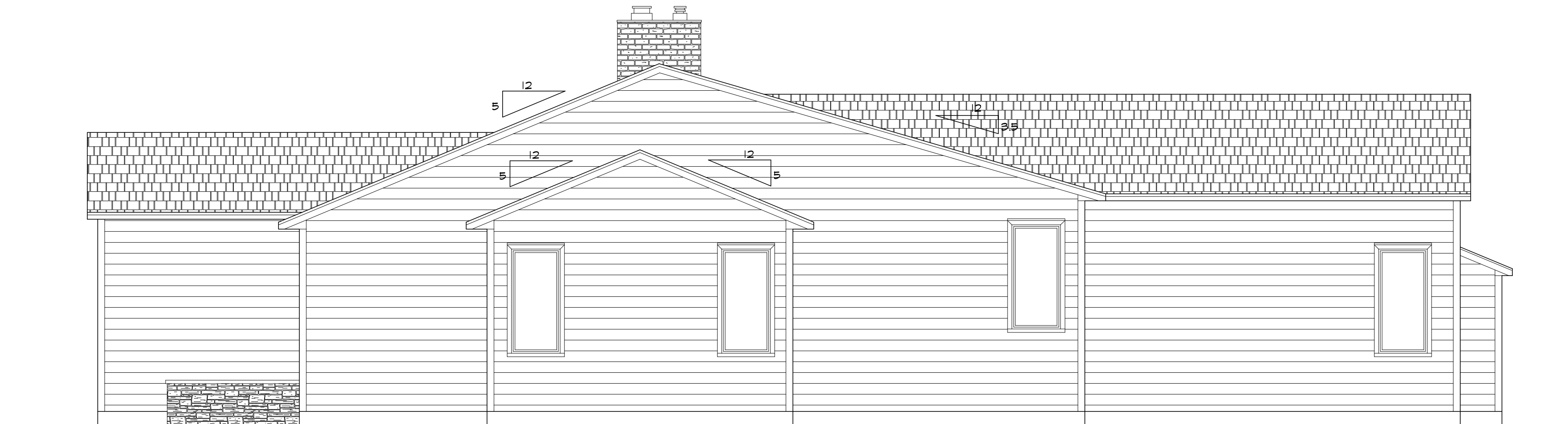
EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION



MORABITO ARCHITECTS

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Pittsford, NY 14534

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(585) 264-1333 Fax

www.MorabitoArchitects.com

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**PROJECT:**  
ADDITION TO RESIDENCE  
16 WINDING RD  
PITTSFORD, NY 14618

**CLIENT:**  
MIKE AND JESSICA MULBURY

**DRAWING:**  
FRONT AND RIGHT SIDE ELEVATIONS  
EXISTING & PROPOSED

**DRAWN:**  
JL/PM

**DATE:** JUNE 2023

**SCALE:** 1/4"=1'-0"

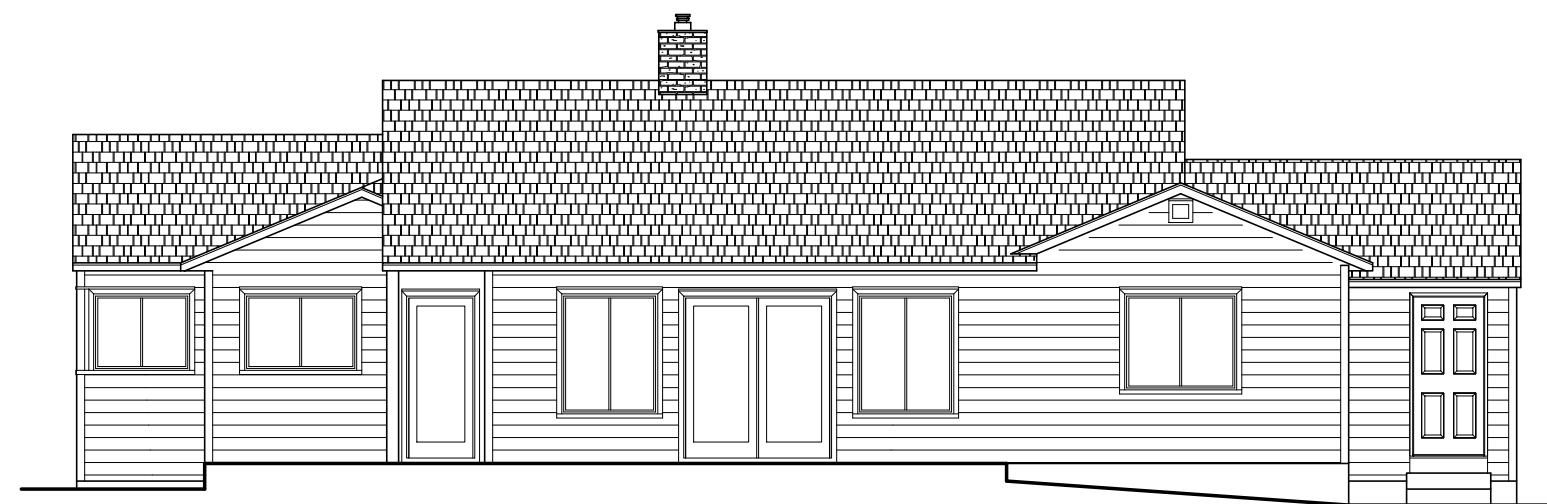
**JOB NO.:** 23M4835

**SHEET:**

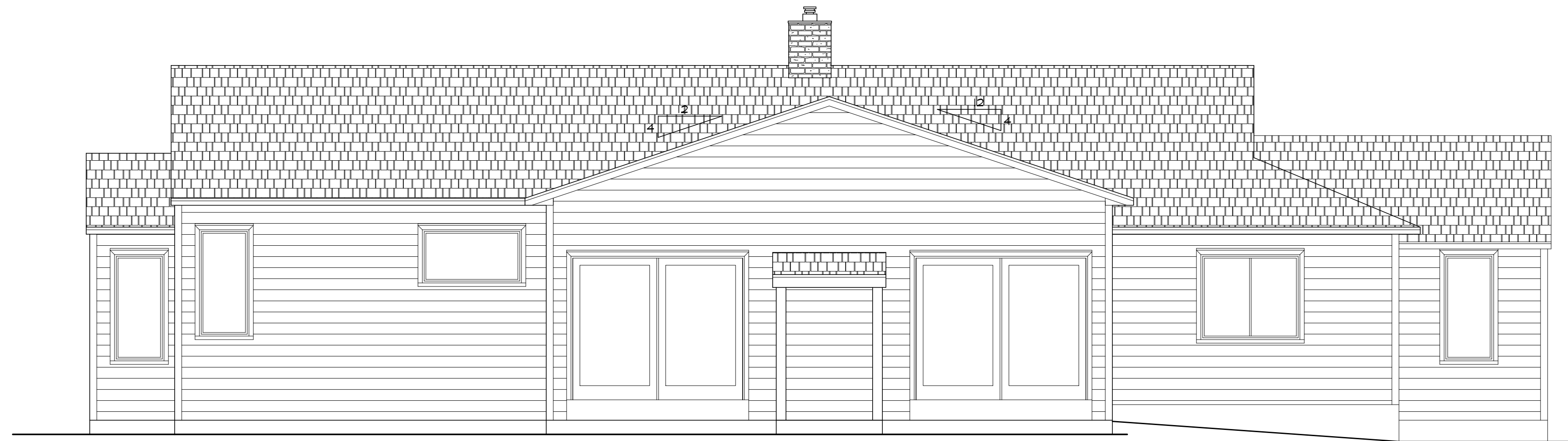
2

OF 7 SHEETS

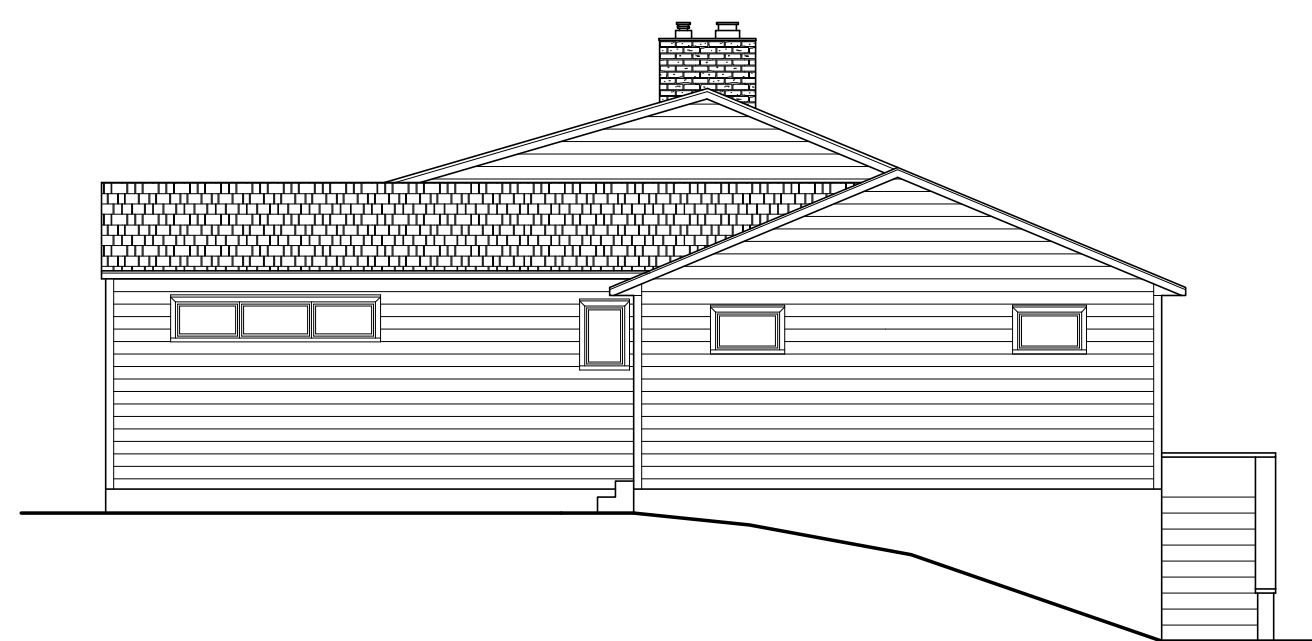




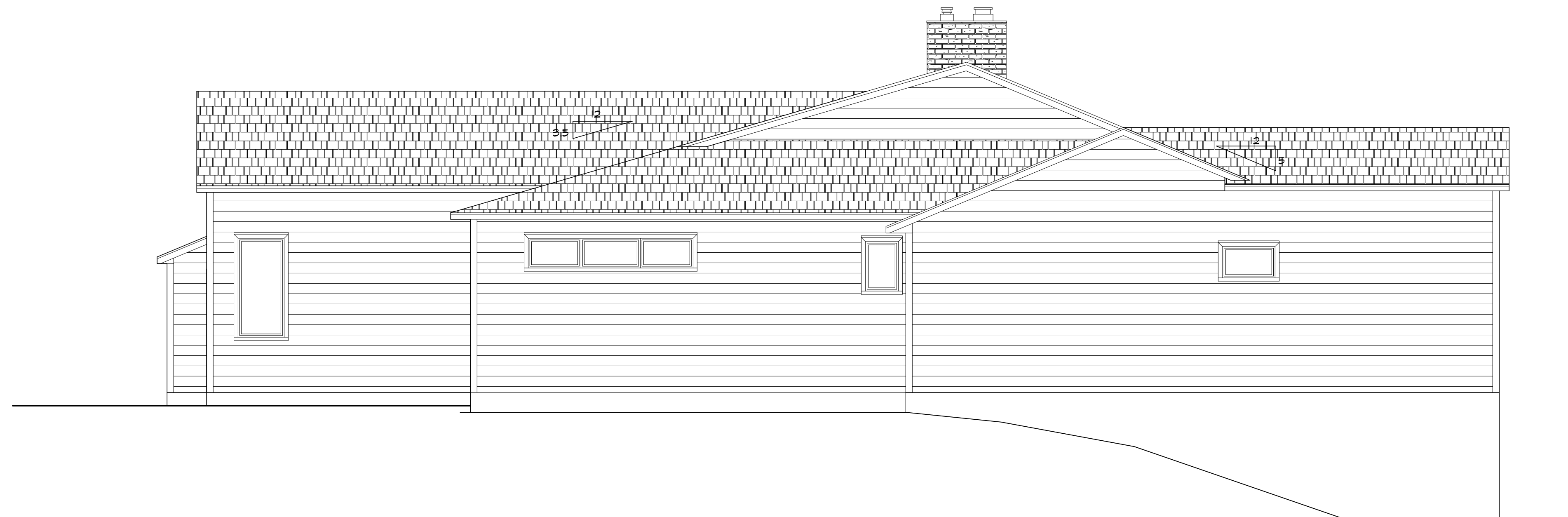
EXISTING REAR ELEVATION



REAR ELEVATION - PROPOSED



EXISTING LEFT SIDE ELEVATION



LEFT SIDE ELEVATION - PROPOSED



**MORABITO ARCHITECTS**  
PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.  
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**PROJECT:**  
 ADDITION TO RESIDENCE  
 16 WINDING RD  
 PITTSFORD, NY 14618

**CLIENT:**  
 MIKE AND JESSICA MLEBURY

**DRAWING:**  
 REAR AND LEFT SIDE ELEVATIONS  
 EXISTING & PROPOSED

**DRAWN:**  
 JLFM

**DATE:** JUNE 2023

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4335

**SHEET:**

**3**  
 OF 7 SHEETS





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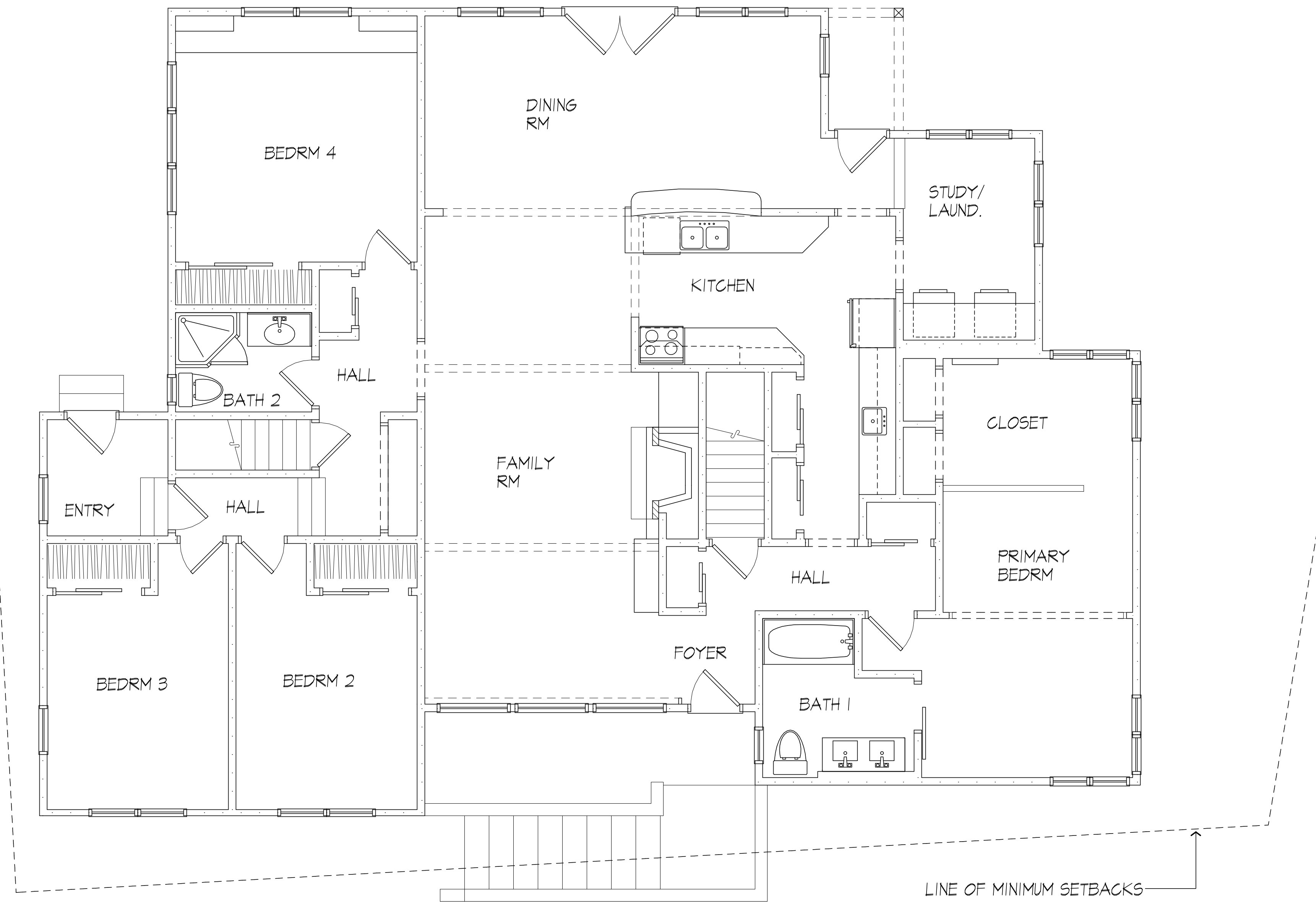
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FLOOR PLAN- EXISTING

**PROJECT:**  
ADDITION TO RESIDENCE  
16 WINDING RD  
PITTSFORD, NY 14618

**CLIENT:**  
MIKE AND JESSICA MULBURY

**DRAWING:**  
FIRST FLOOR PLAN  
EXISTING

**DRAWN:**  
JLPM

**DATE:** JUNE 2023

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4325

**SHEET:**

4

OF 7 SHEETS







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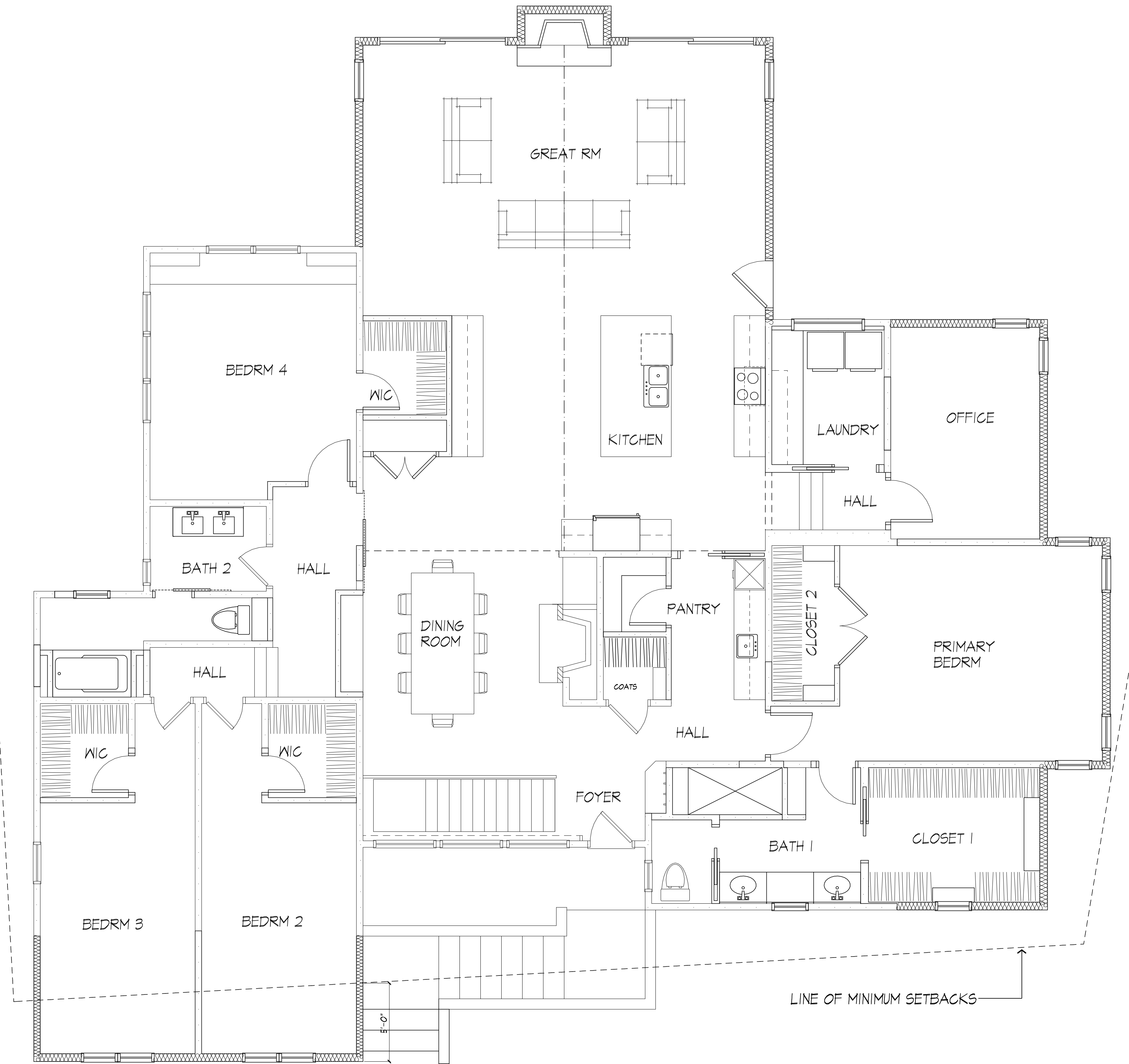
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LINE OF MINIMUM SETBACKS

FLOOR PLAN- PROPOSED

**PROJECT:**  
ADDITION TO RESIDENCE  
16 WINDING RD  
PITTSFORD, NY 14618

**CLIENT:**  
MIKE AND JESSICA MULBURY

**DRAWING:**  
FIRST FLOOR PLAN  
PROPOSED

**DRAWN:**  
JLPM

**DATE:** JUNE 2023

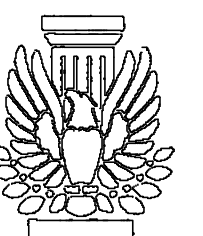
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4335

**SHEET:**

5

OF 7 SHEETS





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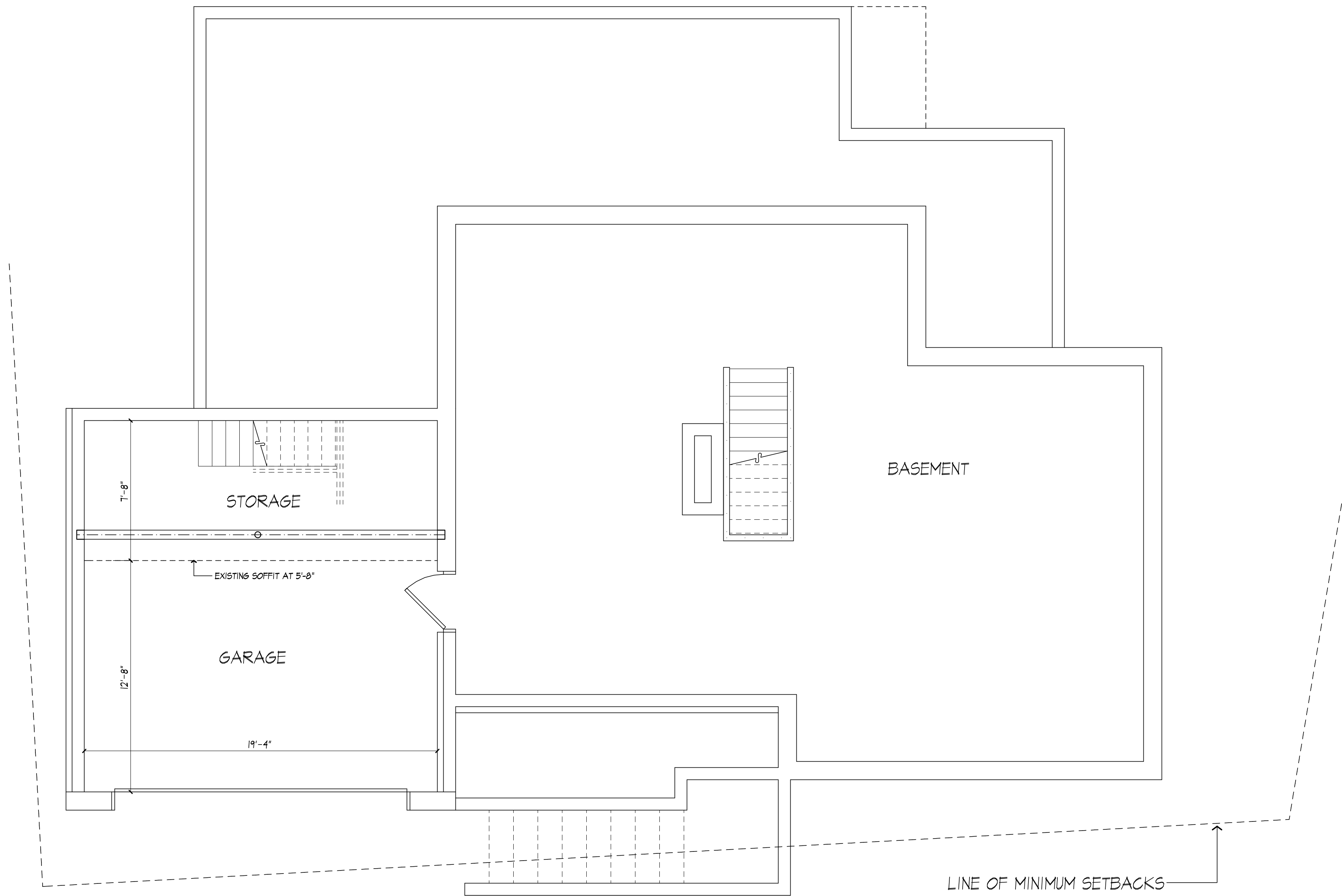
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LOWER LEVEL PLAN - EXISITNG

**PROJECT:**  
ADDITION TO RESIDENCE  
16 RINDING RD  
PITTSFORD, NY 14618

**CLIENT:**  
MIKE AND JESSICA MLEBURY

**DRAWING:**  
LOWER LEVEL PLAN  
EXISTING

**DRAWN:**  
JL/PM

**DATE:** JUNE 2023

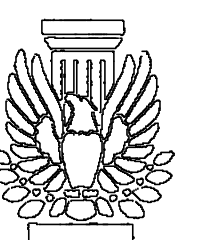
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4335

**SHEET:**

6

OF 7 SHEETS





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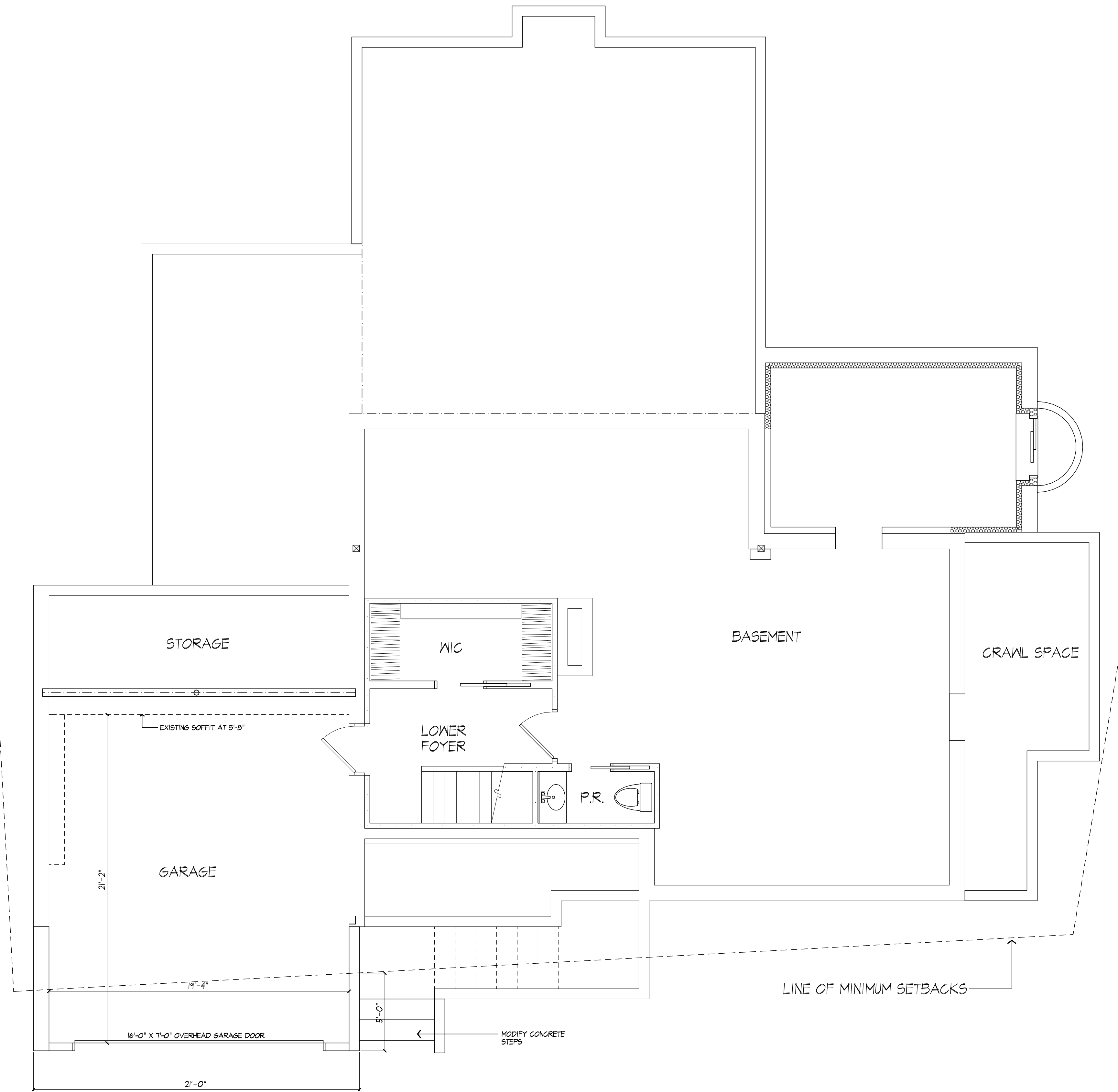
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LOWER LEVEL PLAN - PROPOSED

**PROJECT:**  
ADDITION TO RESIDENCE  
16 RINDING RD  
PITTSFORD, NY 14618

**CLIENT:**  
MIKE AND JESSICA MULBURY

**DRAWING:**  
LOWER LEVEL PLAN  
PROPOSED

**DRAWN:**  
JL/PM

**DATE:** JUNE 2023

**SCALE:** 1/4"=1'-0"

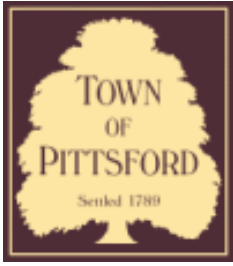
**JOB NO.:** 23M4335

**SHEET:**

7

OF 7 SHEETS





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000089**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 32 Stoneleigh Court ROCHESTER, NY 14618

**Tax ID Number:** 138.18-1-4

**Zoning District:** RN Residential Neighborhood

**Owner:** Rooney, Adam J

**Applicant:** Marc Mar Homes

### Application Type:

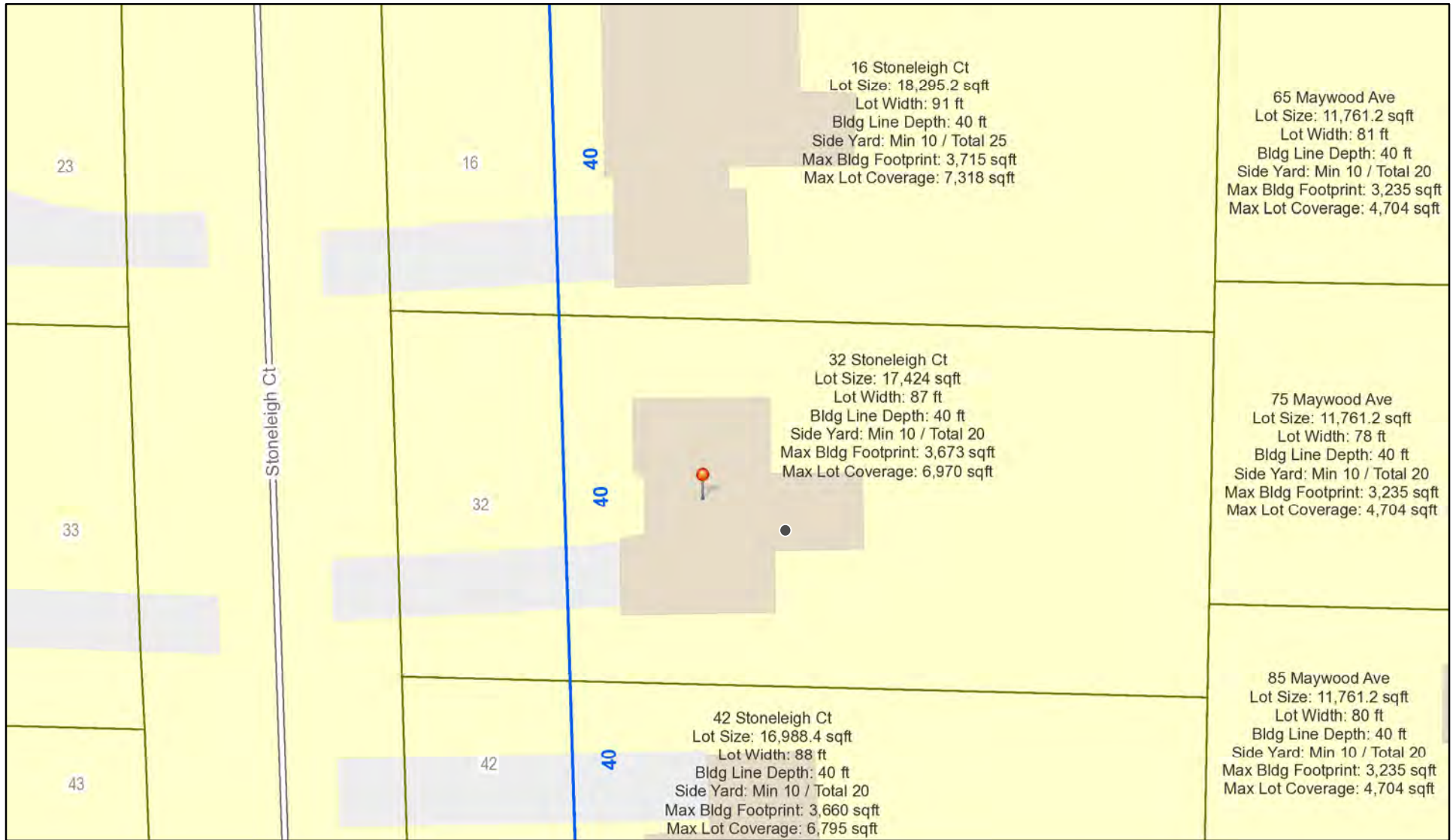
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for an approximately 500 square foot addition on the rear of the house.

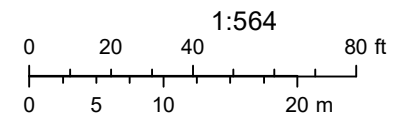
**Meeting Date:** August 10, 2023



# RN Residential Neighborhood Zoning

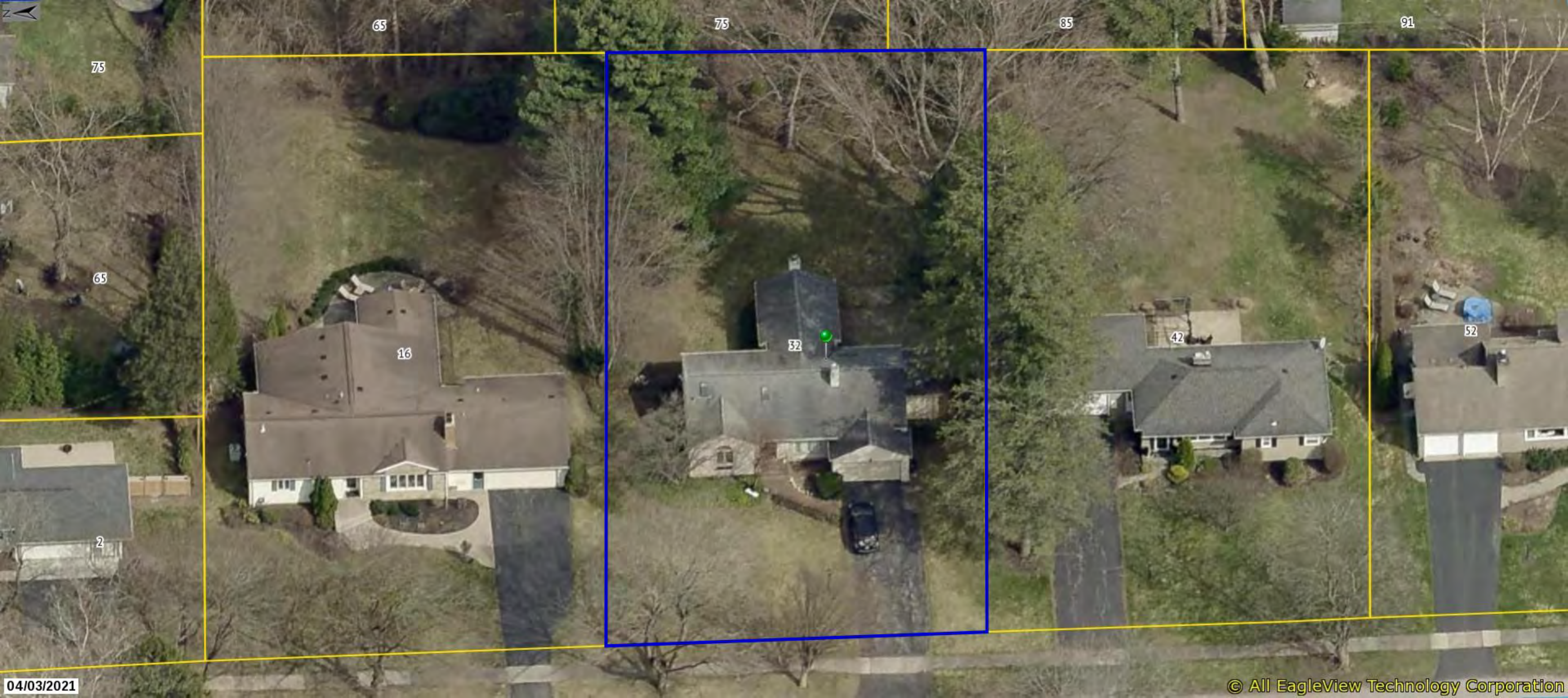


Printed July 20, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



65

75

85

91

75

65

16

32

42

52

2







STONELEIGH

COURT

LOT R-228

NOTES:

*[Faint, illegible notes in the left margin]*

92°45'38"

88.60'

87°14'22"



LEGEND

1 STORY FRAME

20.3'

18.8'

11.3'±

NEW ADDITION

NEW PATIO

LOT R-231

10.0'

REVISED 7/21/23 KF

LOT R-230

194.11'

198.38'

90°00'00"

88.50'

90°00'00"

REFERENCES:

*[Handwritten signature]*

CERTIFICATIONS:

*[Faint, illegible text in the right margin]*

MAP OF A SURVEY

EAST ALENCE COUNTY, NEW YORK  
COUNTY OF WINNIE, STATE OF NEW YORK



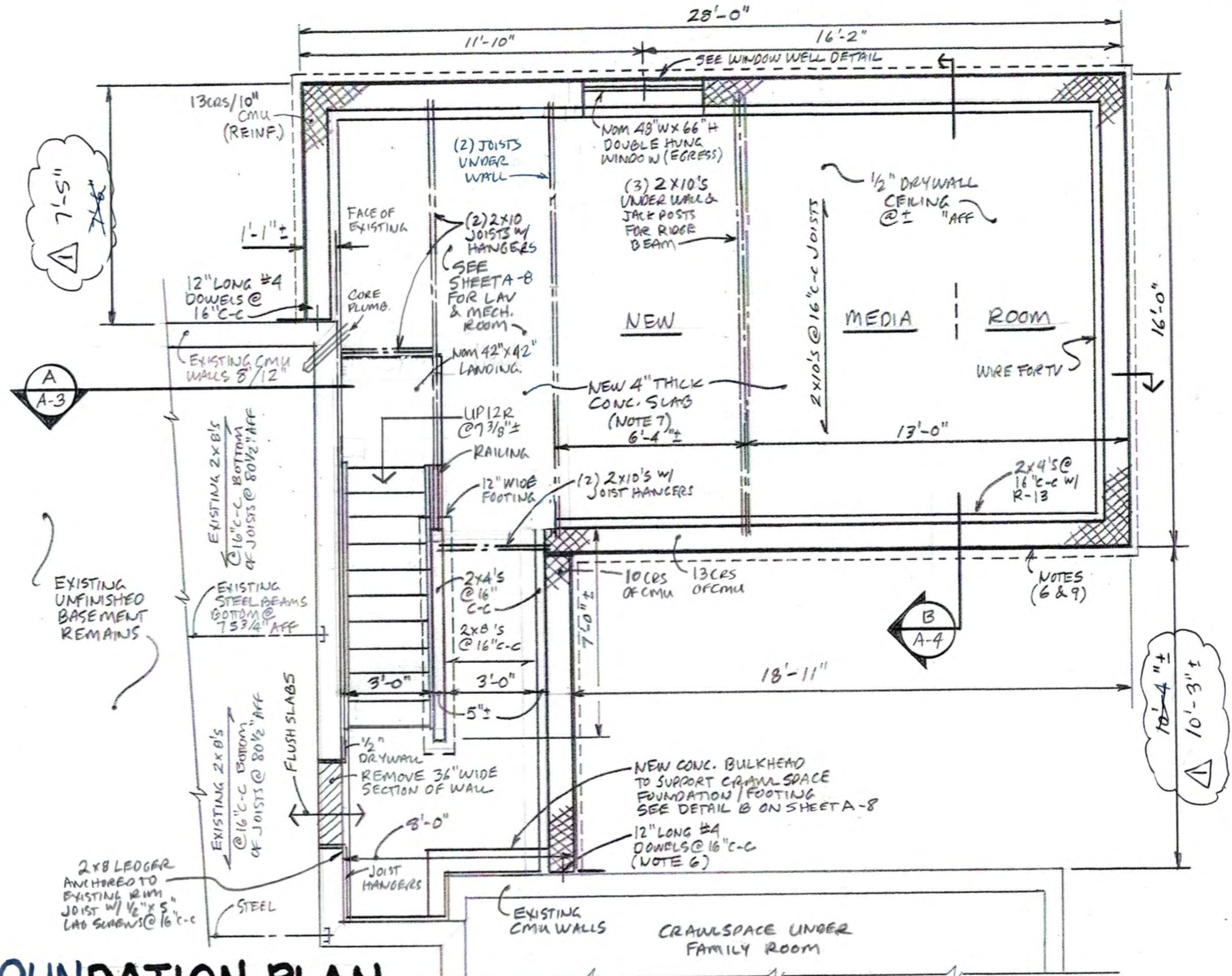
COLTON LAND SURVEYING

108 W. 10th St.  
Churchville, NY 14428  
PHONE: 716-284-1185

Kip Finley, PE  
Victory Hill Land Company  
868 Winslow Road  
Churchville, NY 14428

# FOUNDATION NOTES

- THE FOUNDATION HAS BEEN DESIGNED FOR LOCAL CONDITIONS BASED ON DATA IN THE NATIONAL RESOURCES CONSERVATION SERVICES AND LOCAL KNOWLEDGE. SANDY URBAN SOIL @1500 psf BEARING CAPACITY.
- CONCRETE SHALL BE PROVIDED AS FOLLOWS:  
FOOTINGS- MIN. 2500 psi SLAB FLOOR MIN. 3500 psi
- HORIZONTAL AND VERTICAL REINFORCING SHALL BE SPECIFIED ON THE DRAWINGS. FOOTING REBARS SHALL BE OVERLAPPED AND TIED TO CREATE CONTINUOUS LENGTHS OF BAR. VERTICAL #4 REBAR SHALL BE PLACED INTO THE FOOTING AT 48" (maximum) CENTERS AND EXTEND INTO THE CONCRETE MASONRY UNITS (CMU'S). ALL VERTICAL BARS SHALL BE GROUTED.
- GROUNDWATER IS ANTICIPATED TO BE AN ISSUE WITH THIS EXCAVATION. THE SEASONAL GROUND WATER IS ANTICIPATED AT AROUND 80" BELOW GRADE. DEWATERING WITH A FILTER ON THE PUMP WILL BE REQUIRED. THE SANDY SOILS CAN MIGRATE WHEN USING PUMPS AND CAN FALL INTO THE EXCAVATION.
- A 4" DIAMETER PERIMETER UNDERDRAIN SYSTEM OF PERFORATED POLYETHYLENE PIPE WITH A GEOTEXTILE SOCK SHALL BE INSTALLED AROUND THE PERIMETER OF THE BASEMENT AND TIED INTO A NEW SUMP CROCK. THE NEW UNDERDRAIN PIPE SHALL BE PLACED IN AN 8"x8" MINIMUM ENVELOPE OF WASHED #1 CRUSHED STONE OR PEA GRAVEL ALSO WRAPPED IN GEOTEXTILE FABRIC.
- ALL FOUNDATION WALLS BELOW GRADE SHALL BE WATERPROOFED WITH EPOXY PARING AND BITUMINOUS COATING. ADDED DRAINAGE SHEETING MAY BE ADDED IN ADDITION TO WATERPROOFING.
- THE CONCRETE FLOOR SLAB SHALL BE PLACED ON TOP OF A MINIMUM 8-mil VAPOR BARRIER AND MINIMUM 4" THICKNESS OF #1 CRUSHED STONE OR PEA GRAVEL USE A PLASTIC EXPANSION/COMPRESSION JOINT BETWEEN THE FLOOR SLAB AND WALL.
- SAW CUT CONTROL JOINTS IN THE SLAB TO REDUCE CRACKING.
- NO BACKFILLING OF FOUNDATION WALLS SHALL BE DONE UNTIL THE FIRST FLOOR DECK HAS BEEN INSTALLED AND THE BASEMENT FLOOR SLAB HAS BEEN PLACED. OTHERWISE, THE CONTRACTOR IS RESPONSIBLE TO REPAIR WALL DAMAGE CAUSED BY BACKFILLING.
- ALL SILL PLATES SHALL BE PRESSURE TREATED LUMBER AND SHALL BE INSTALLED WITH WEATHER-PROOFING SILL SEAL. ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER WITH A BURY DEPTH OF AT LEAST 8". ANCHORS SHALL BE SPACED AT NO MORE THAN 72" c-c, AND AT LEAST TWO PER SILL PLATE BOARD.



# FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

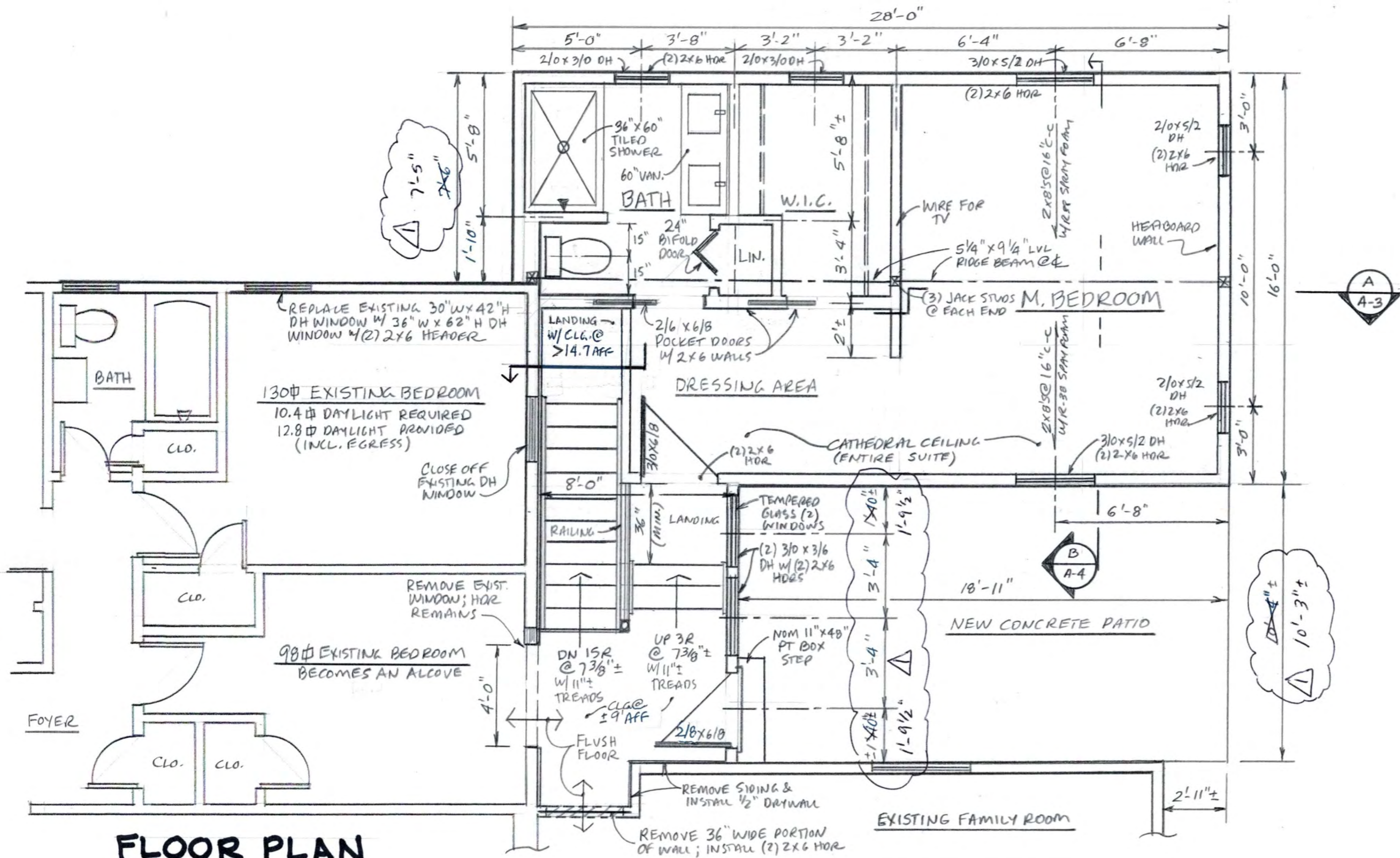
**REVISIONS**  
 ▲ REDUCED DIMENSIONS TO MEET THE REQUIRED MINIMUM SETBACK TO THE NORTH PROPERTY LINE.  
 7/21/23 KF

Kip Finley, PE  
 d.b.a Victory Hill Land Company  
 868 Winslow Road  
 Churchville, NY 14428  
 kip.finley@gmail.com  
 (585) 451-6538



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ADDITIONS & ALTERATIONS FOR:  
 ROONEY RESIDENCE  
 32 STONELEIGH COURT  
 TOWN OF PITTSFORD, NEW YORK  
**SHEET F-1**



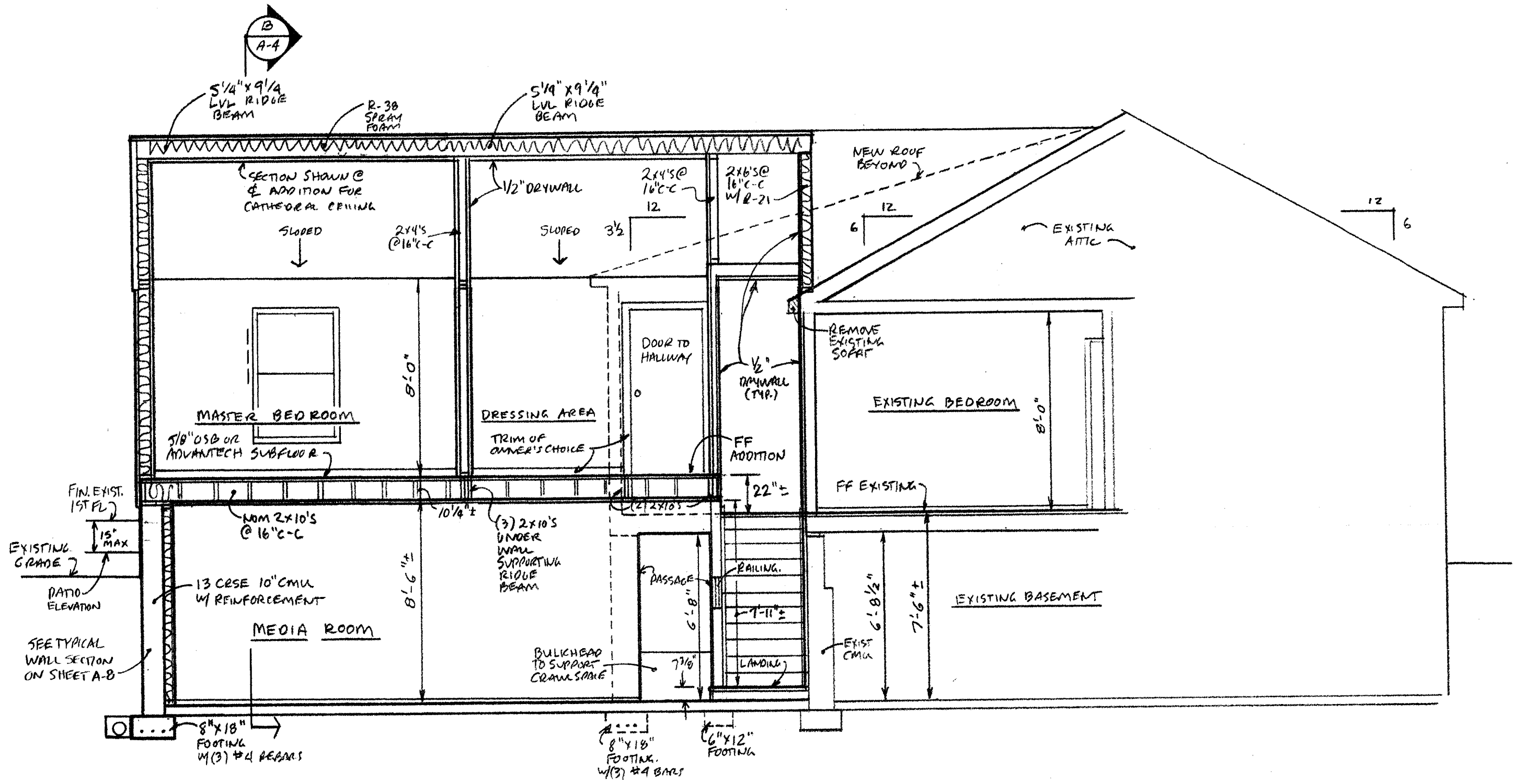
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**REVISIONS**  
 ▲ REDUCED DIMENSIONS TO MEET THE REQUIRED MINIMUM SETBACK TO THE NORTH PROPERTY LINE  
 7/21/23 KF

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 Churchville, NY 14428  
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ADDITIONS & ALTERATIONS FOR:  
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 32 STONELEIGH COURT  
 TOWN OF PITTSFORD, NEW YORK  
**SHEET A-2**



**A SECTION**  
SCALE: 1/4" = 1'-0"

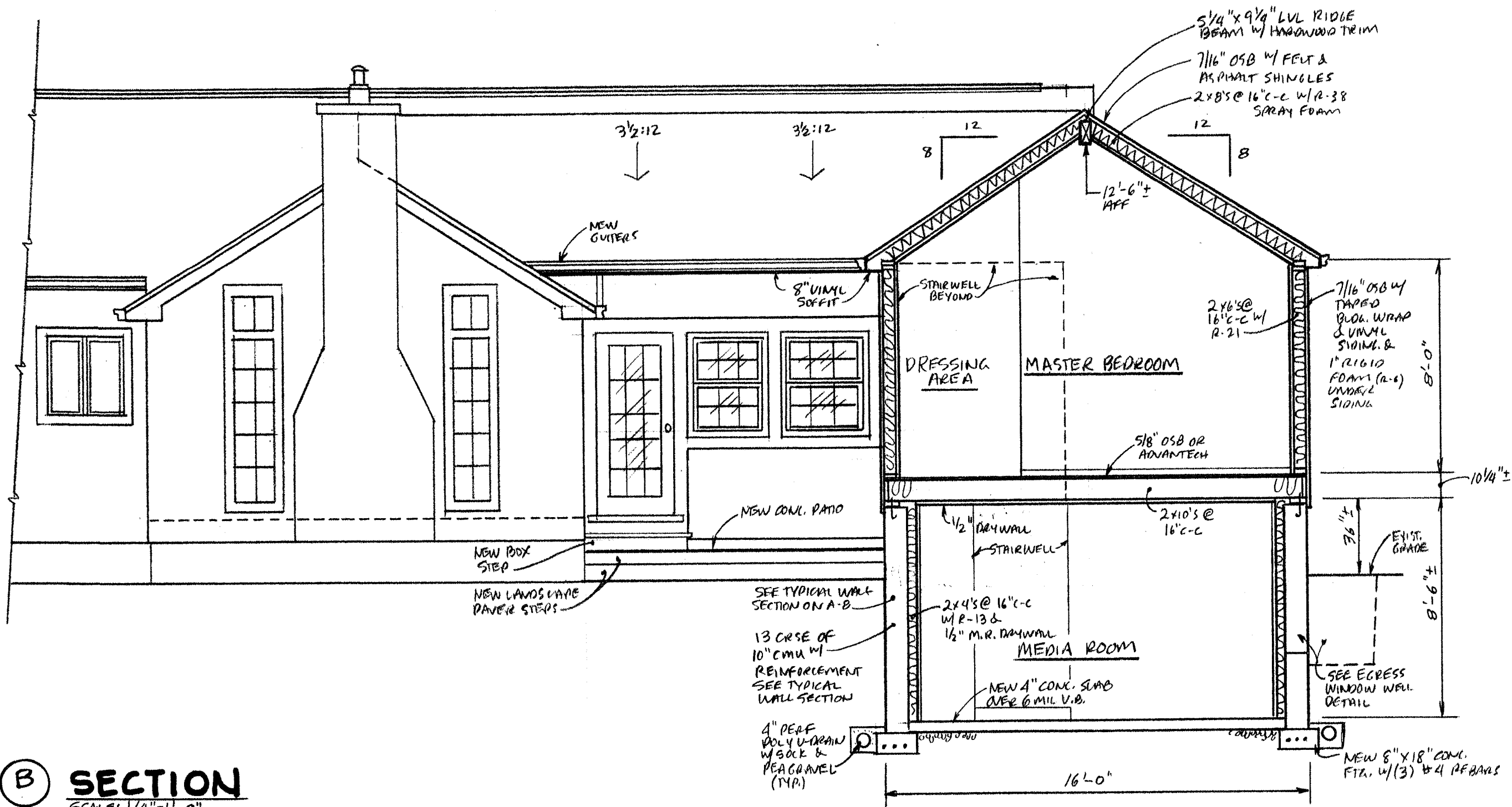
REVISIONS

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SHEET A-3



**(B) SECTION**  
SCALE: 1/4" = 1'-0"

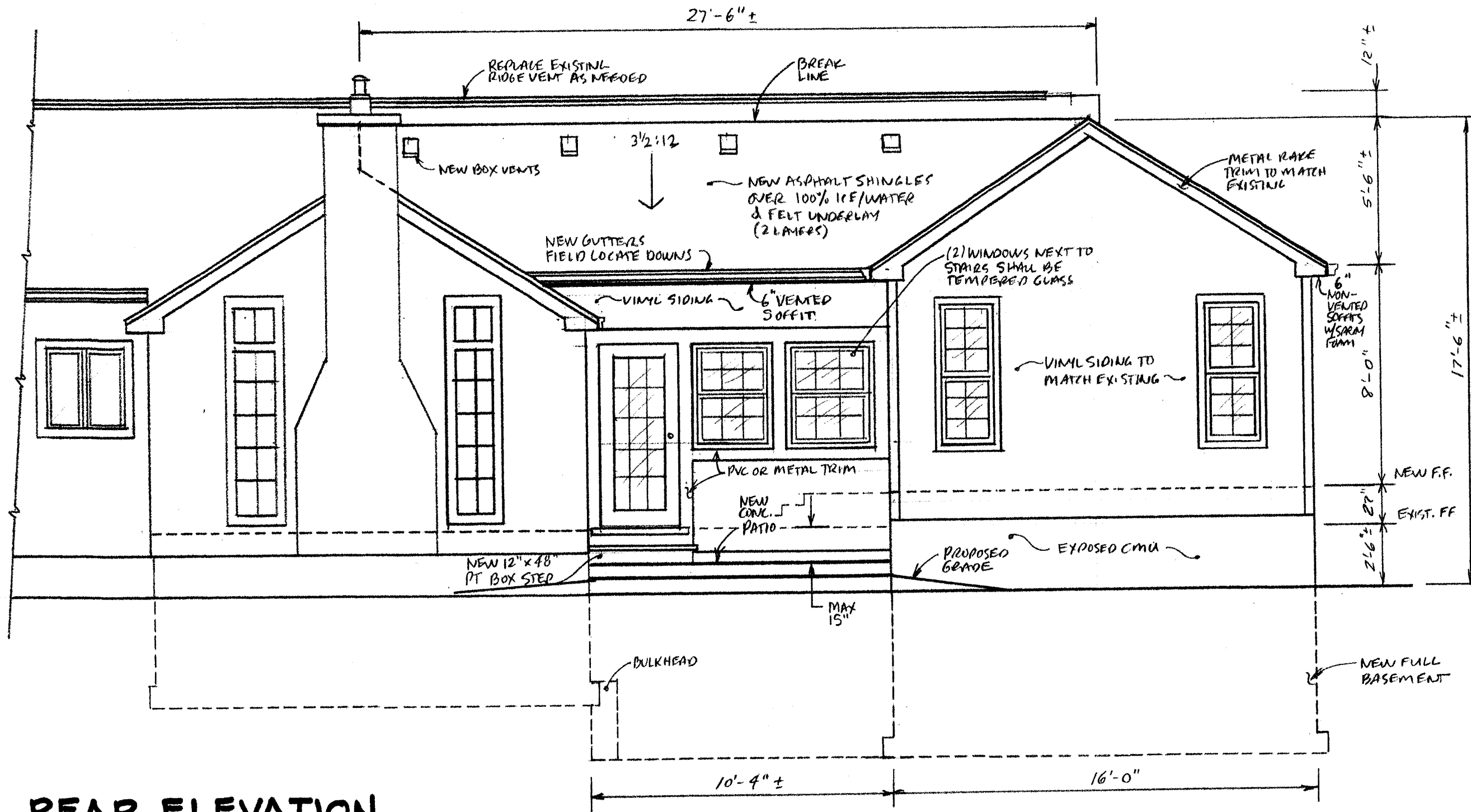
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TOWN OF PITTSFORD, NEW YORK  
SHEET A-4



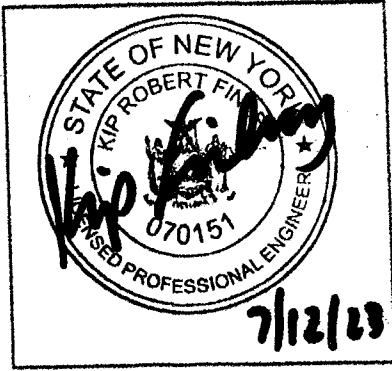
# REAR ELEVATION

SCALE: 1/4" = 1'-0"

**REVISIONS**

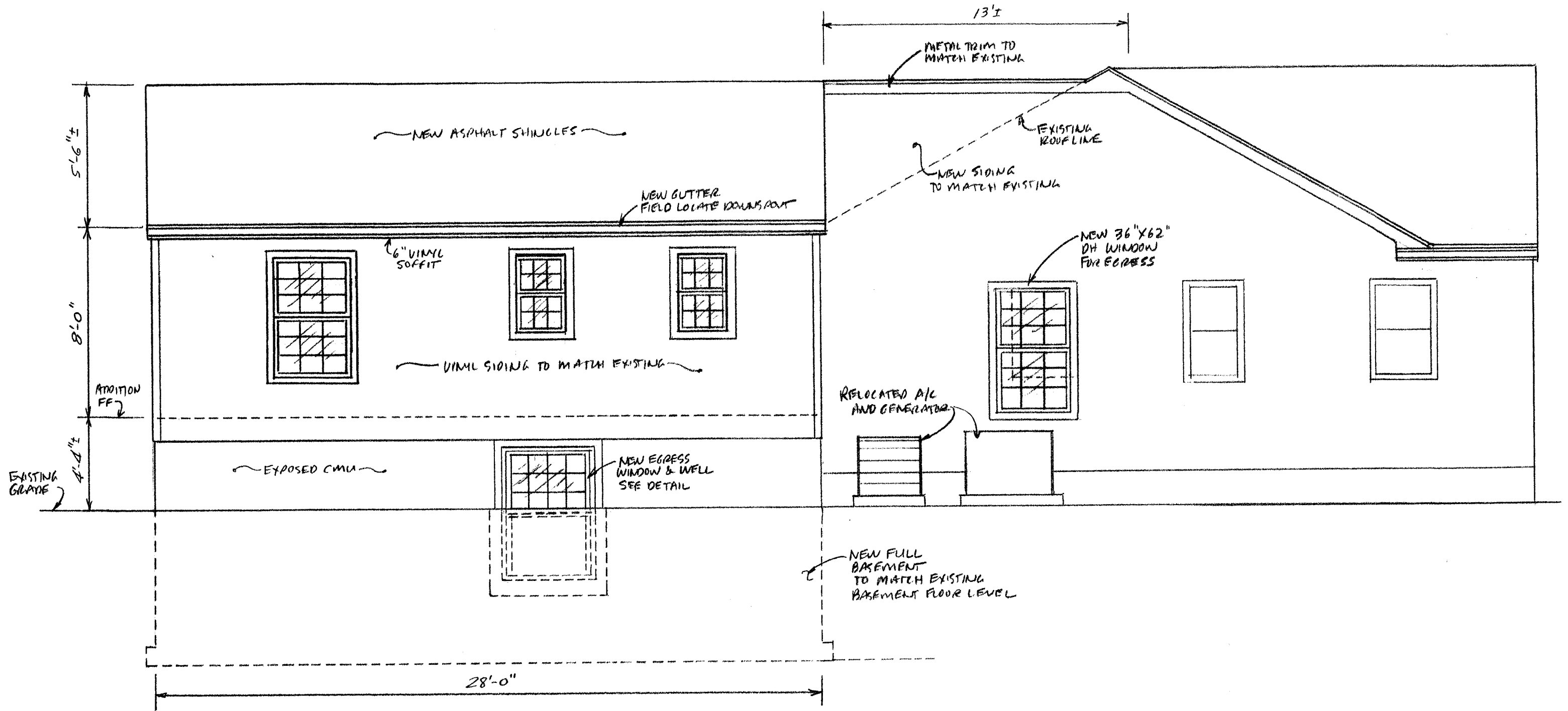
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 d.b.a Victory Hill Land Company  
 868 Winslow Road  
 Churchville, NY 14428  
[kip.finley@gmail.com](mailto:kip.finley@gmail.com)  
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 TOWN OF PITTSFORD, NEW YORK

**SHEET A-5**



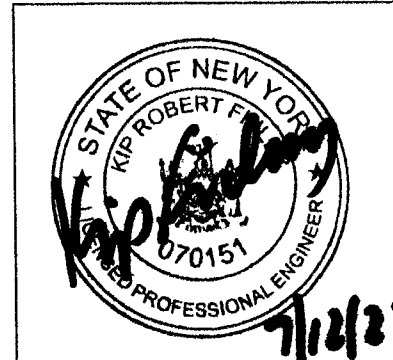
# LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

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 Churchville, NY 14428  
[kip.finley@gmail.com](mailto:kip.finley@gmail.com)  
 (585) 451-6538

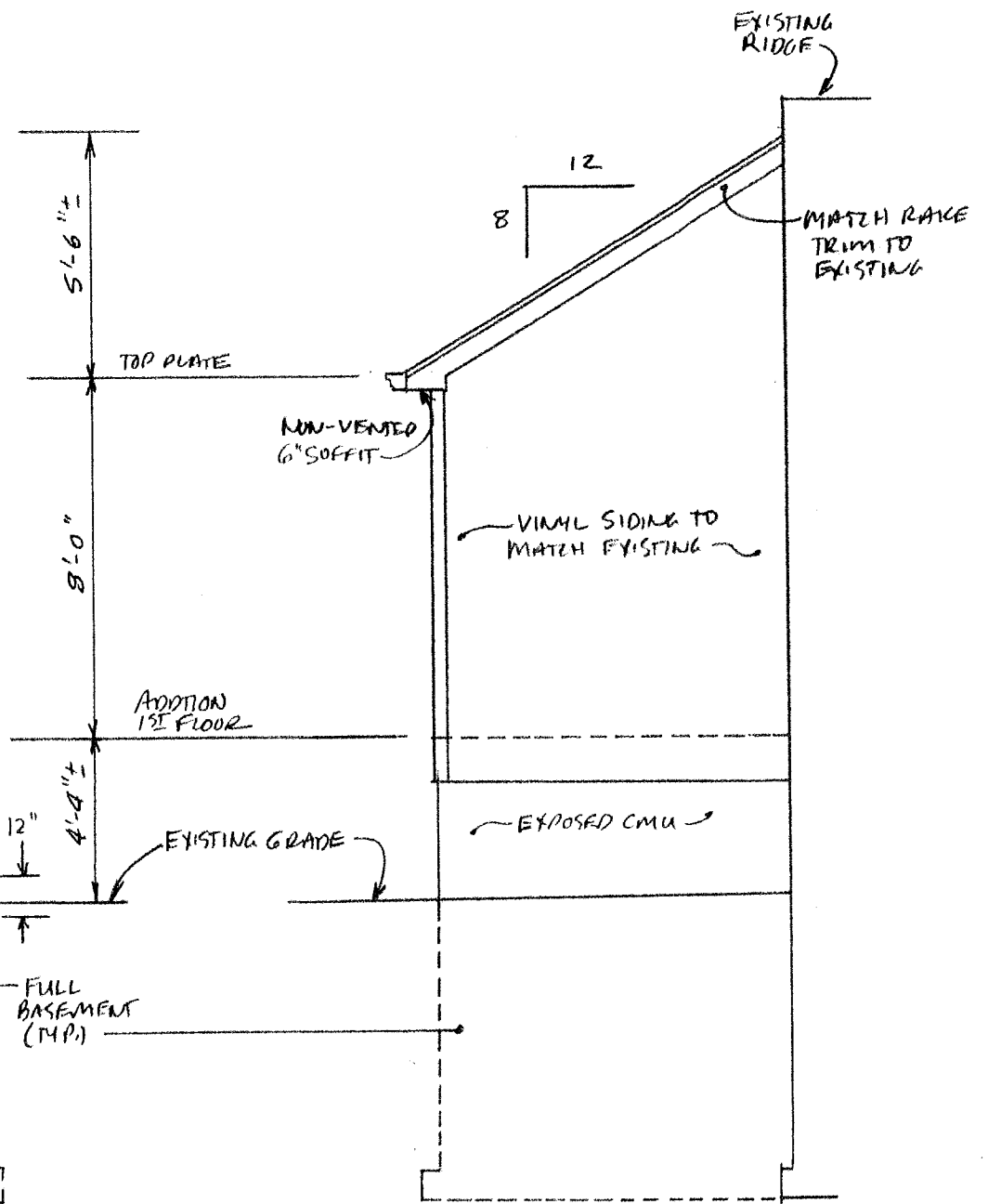
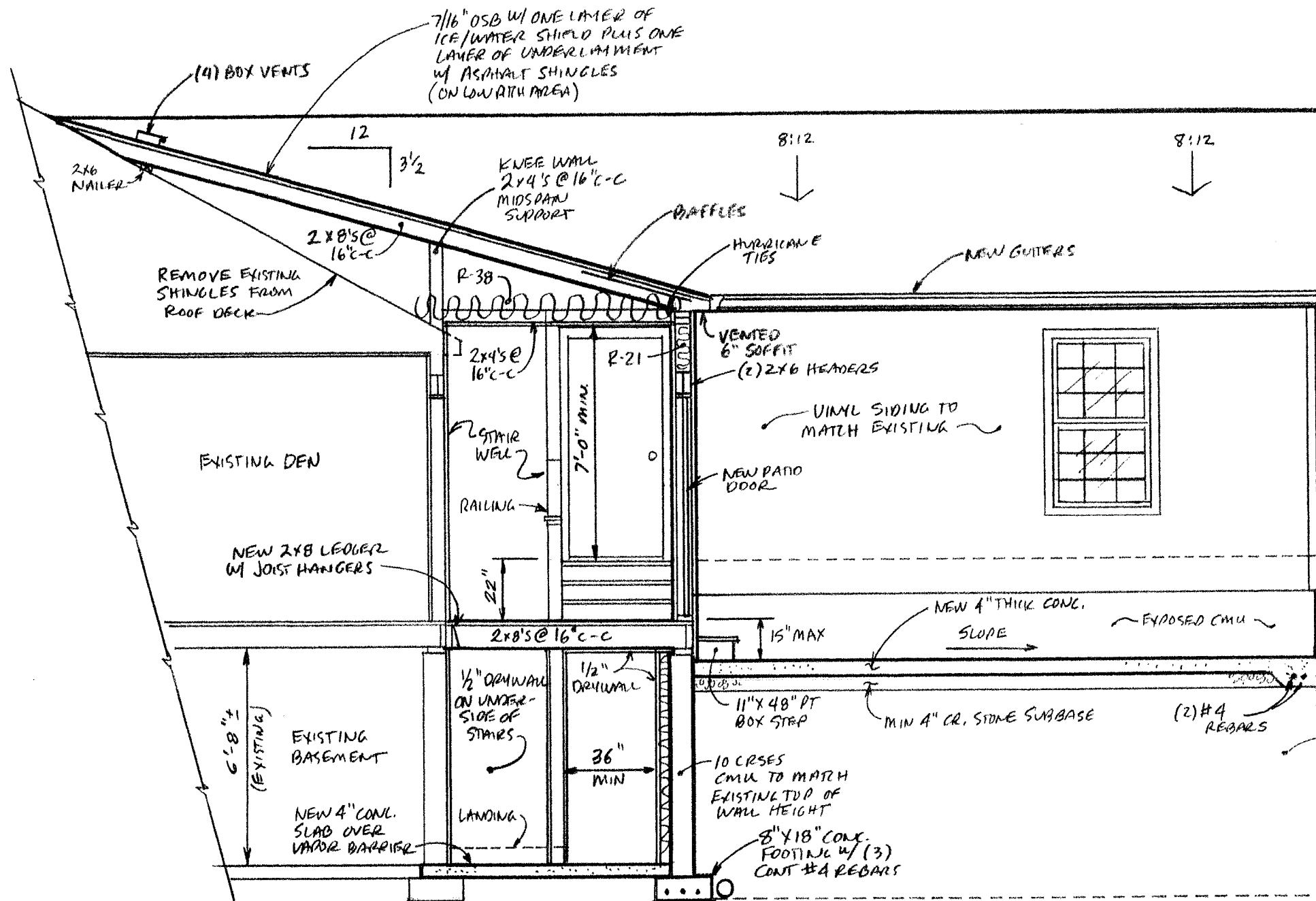
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**SHEET A-6**





**RIGHT SIDE ELEVATION/SECTION**

SCALE: 1/4" = 1'-0"

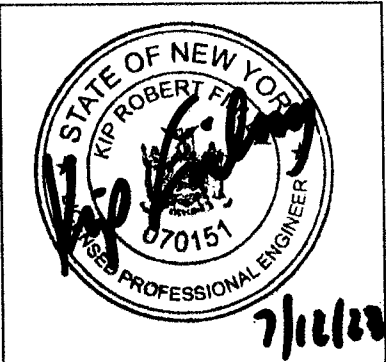
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**REVISIONS**

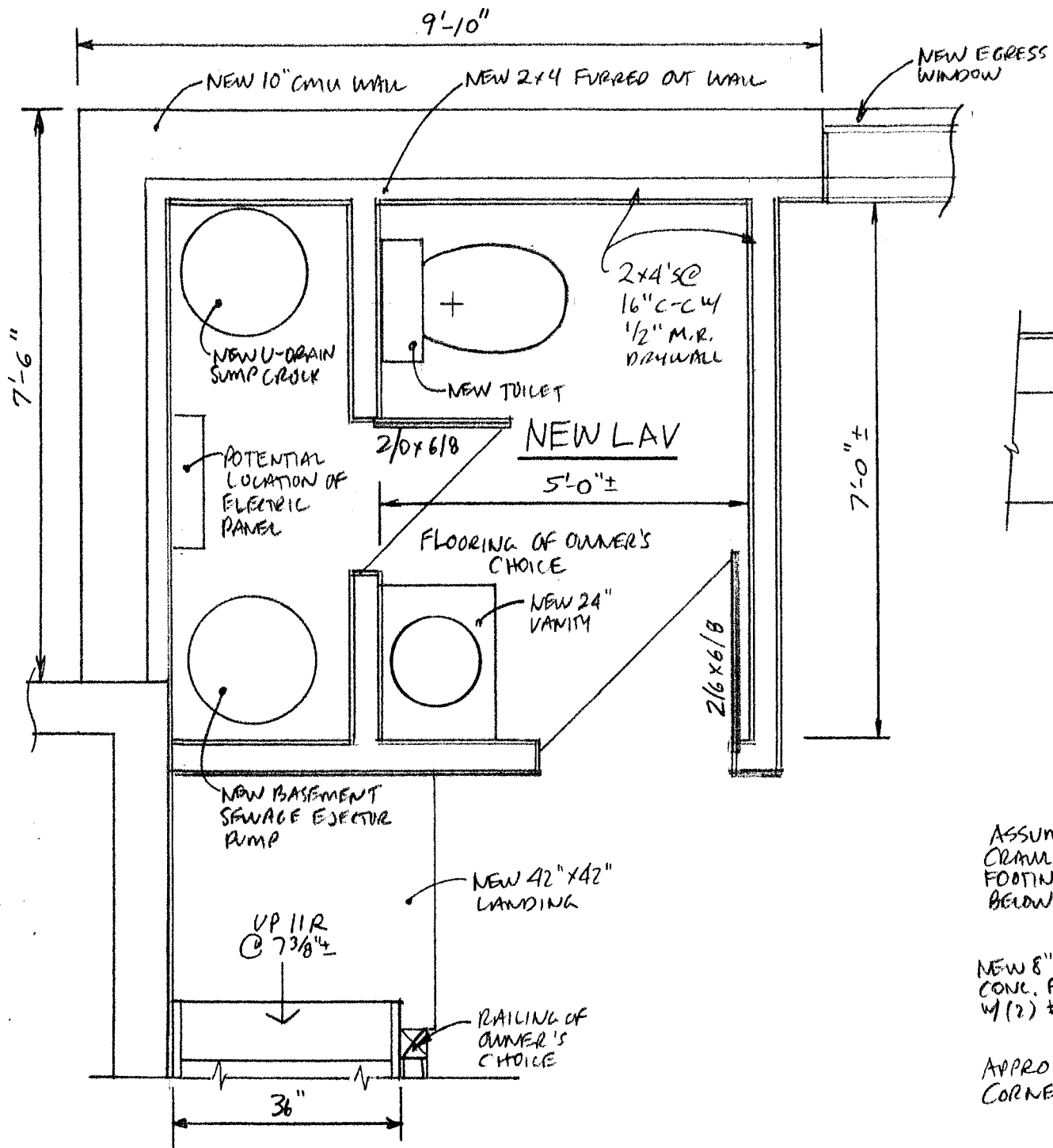

Kip Finley, PE  
 d.b.a Victory Hill Land Company  
 868 Winslow Road  
 Churchville, NY 14428  
 kip.finley@gmail.com  
 (585) 451-6538

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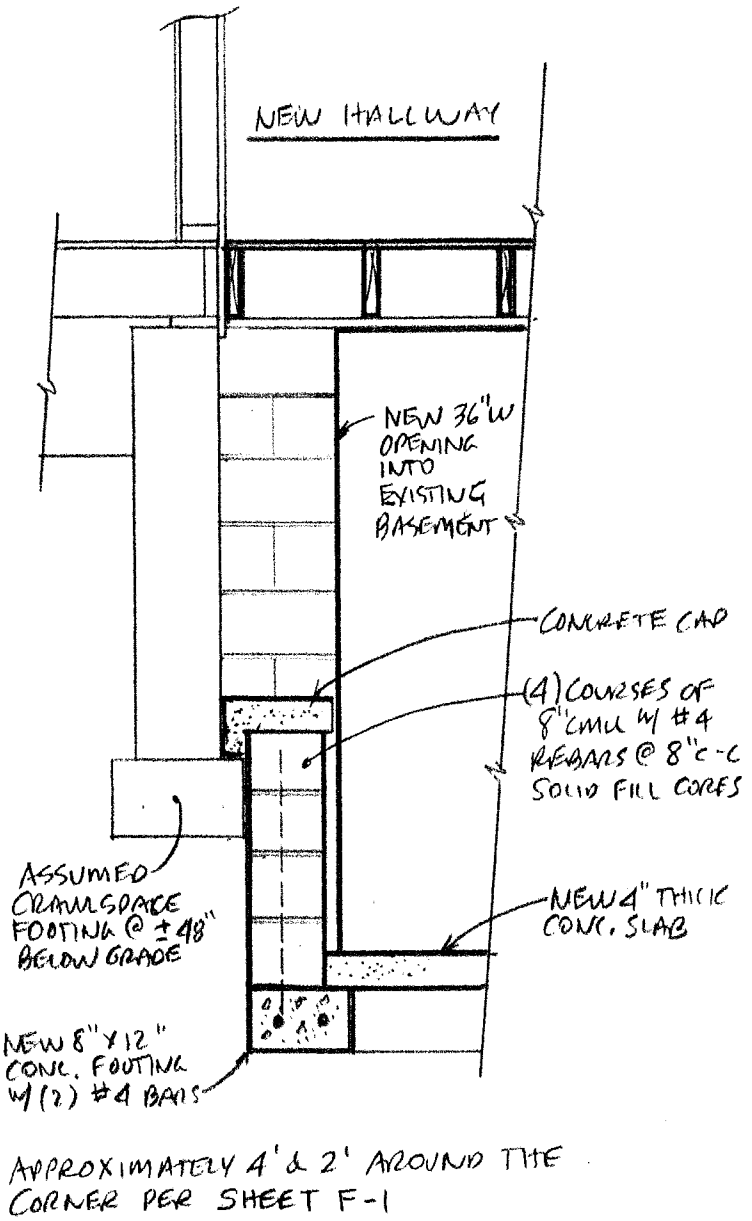
ADDITIONS & ALTERATIONS FOR:  
 ROONEY RESIDENCE  
 32 STONELEIGH COURT  
 TOWN OF PITTSFORD, NEW YORK

**SHEET A-7**

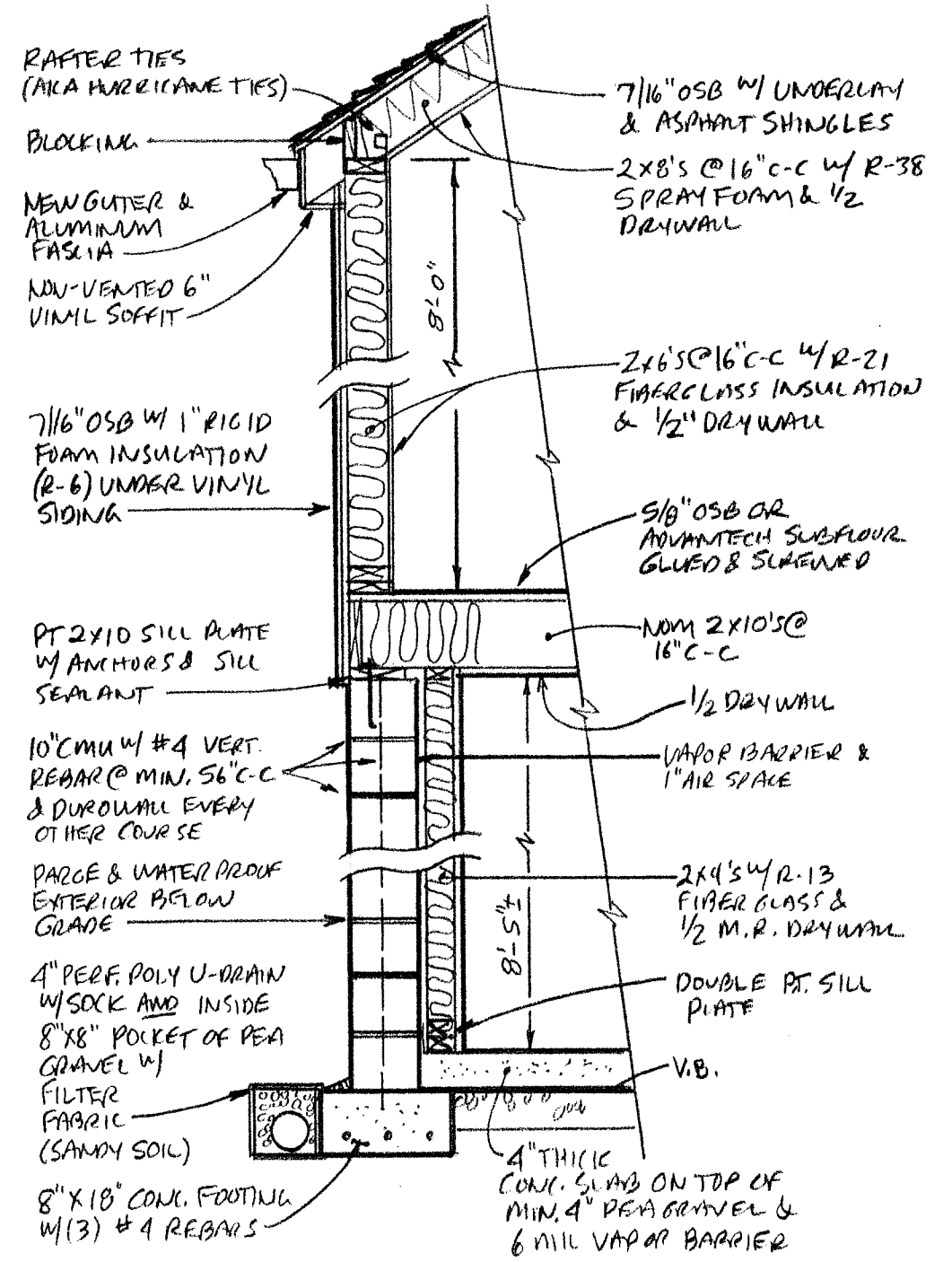


**BASEMENT LAV/MECH ROOM**  
SCALE: 1/2" = 1'-0"

REVISIONS



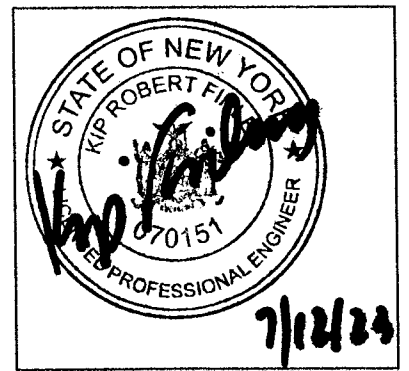
**BULKHEAD DETAIL**  
SCALE: 1/2" = 1'-0"



**TYPICAL WALL SECTION**  
SCALE: 1/2" = 1'-0"

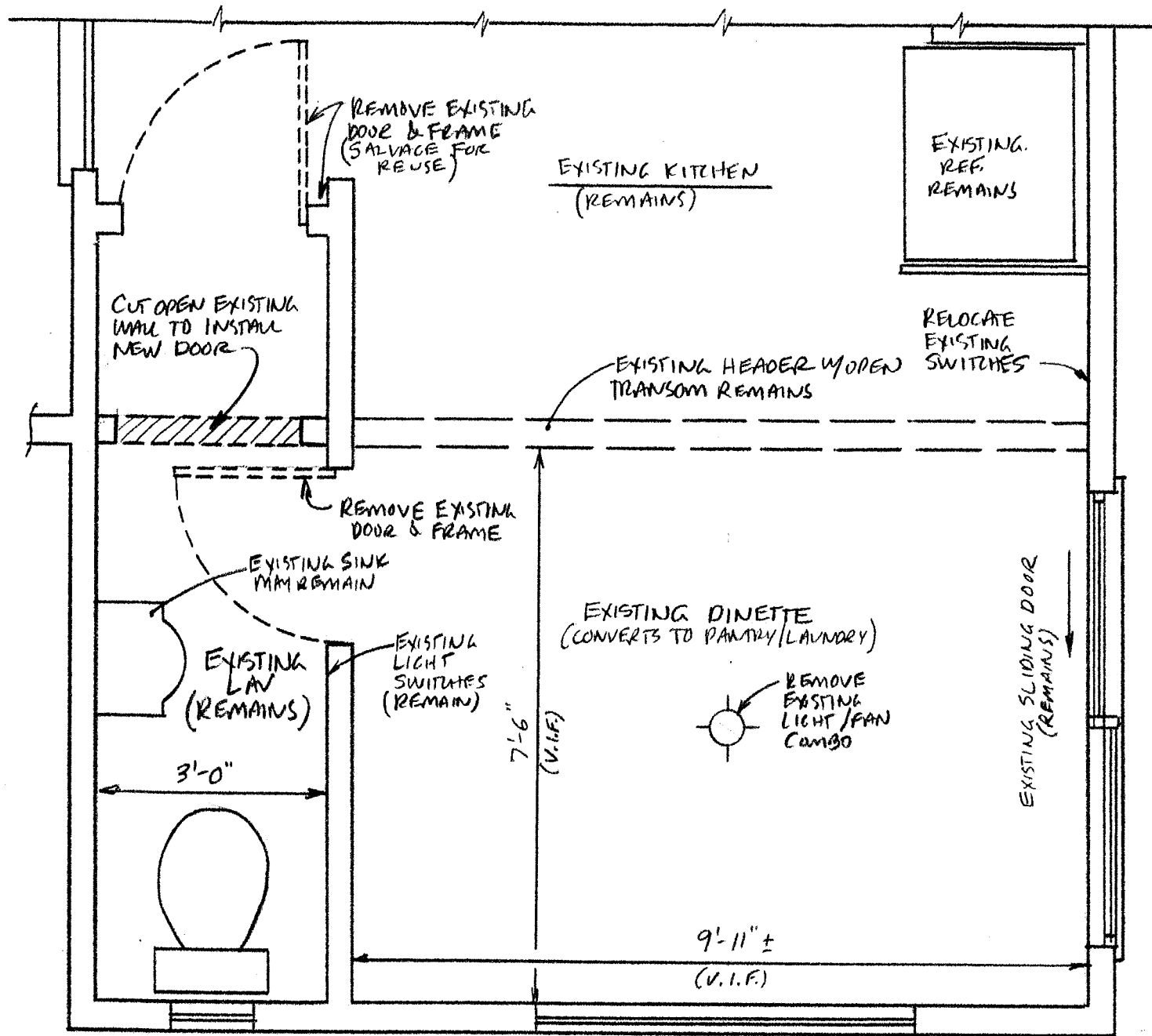
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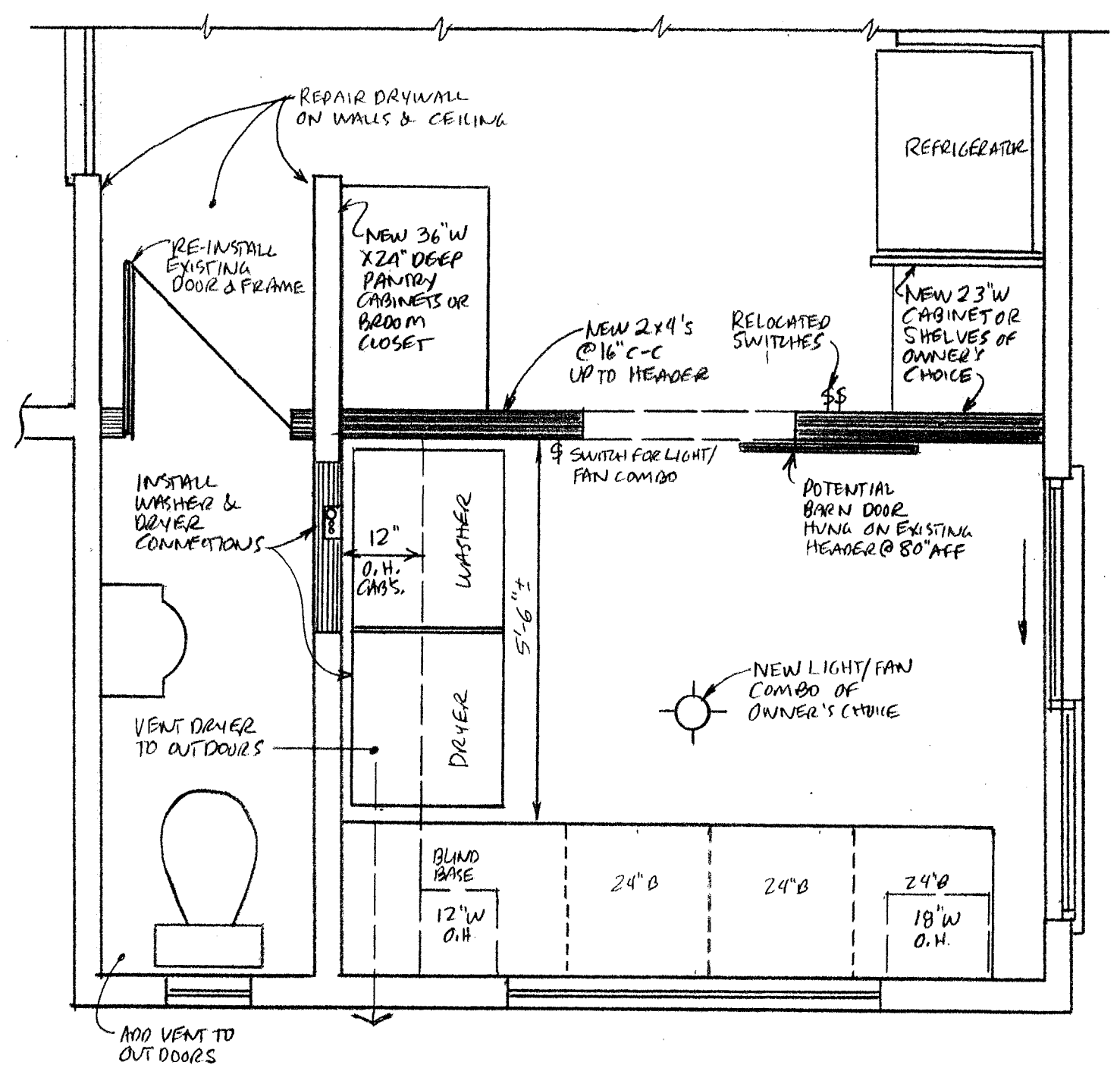
ADDITIONS & ALTERATIONS FOR:  
ROONEY RESIDENCE  
32 STONELEIGH COURT  
TOWN OF PITTSFORD, NEW YORK

**SHEET A-8**



# DEMO PLAN

SCALE: 1/2" = 1'-0"



# FLOOR PLAN

SCALE: 1/2" = 1'-0"

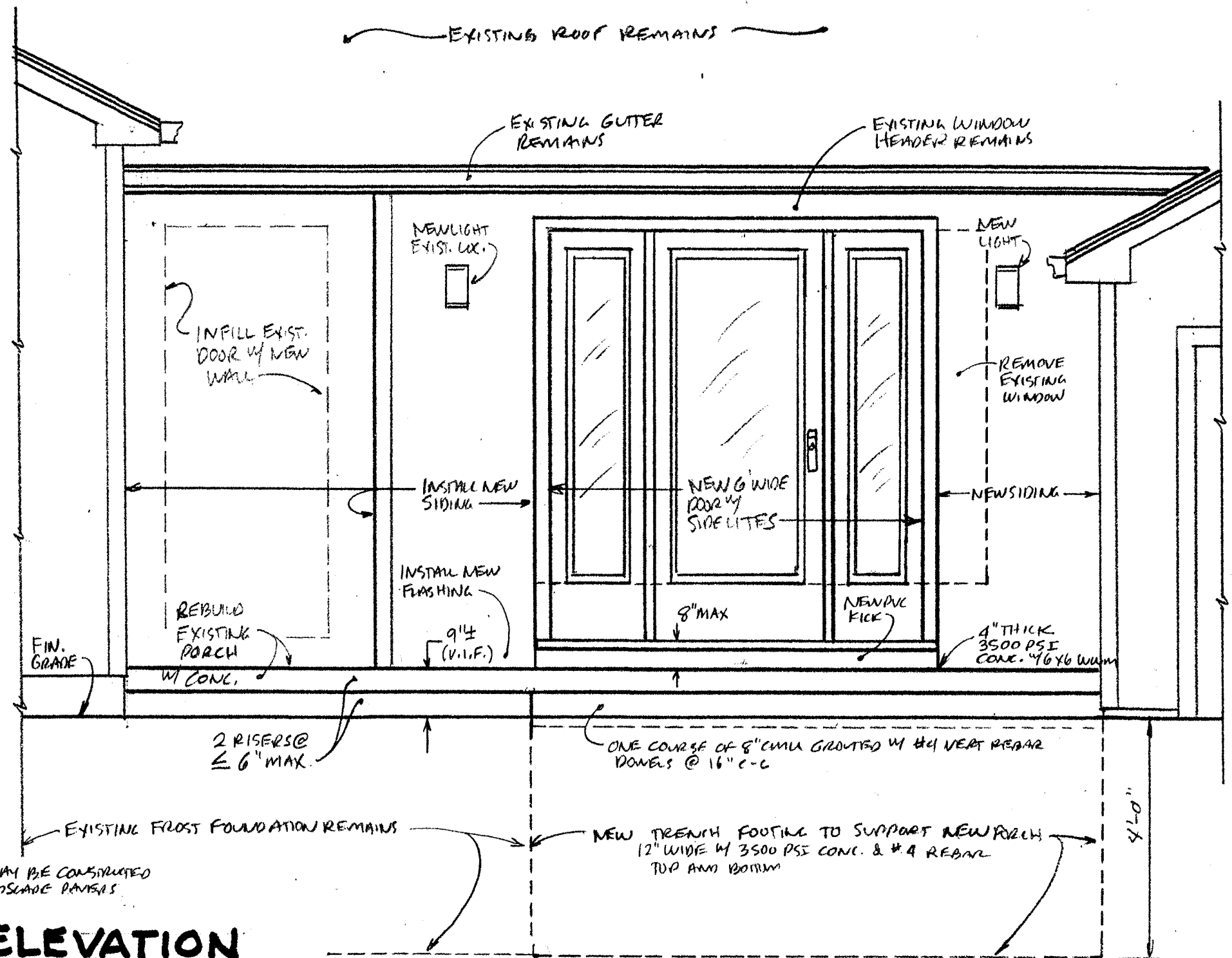
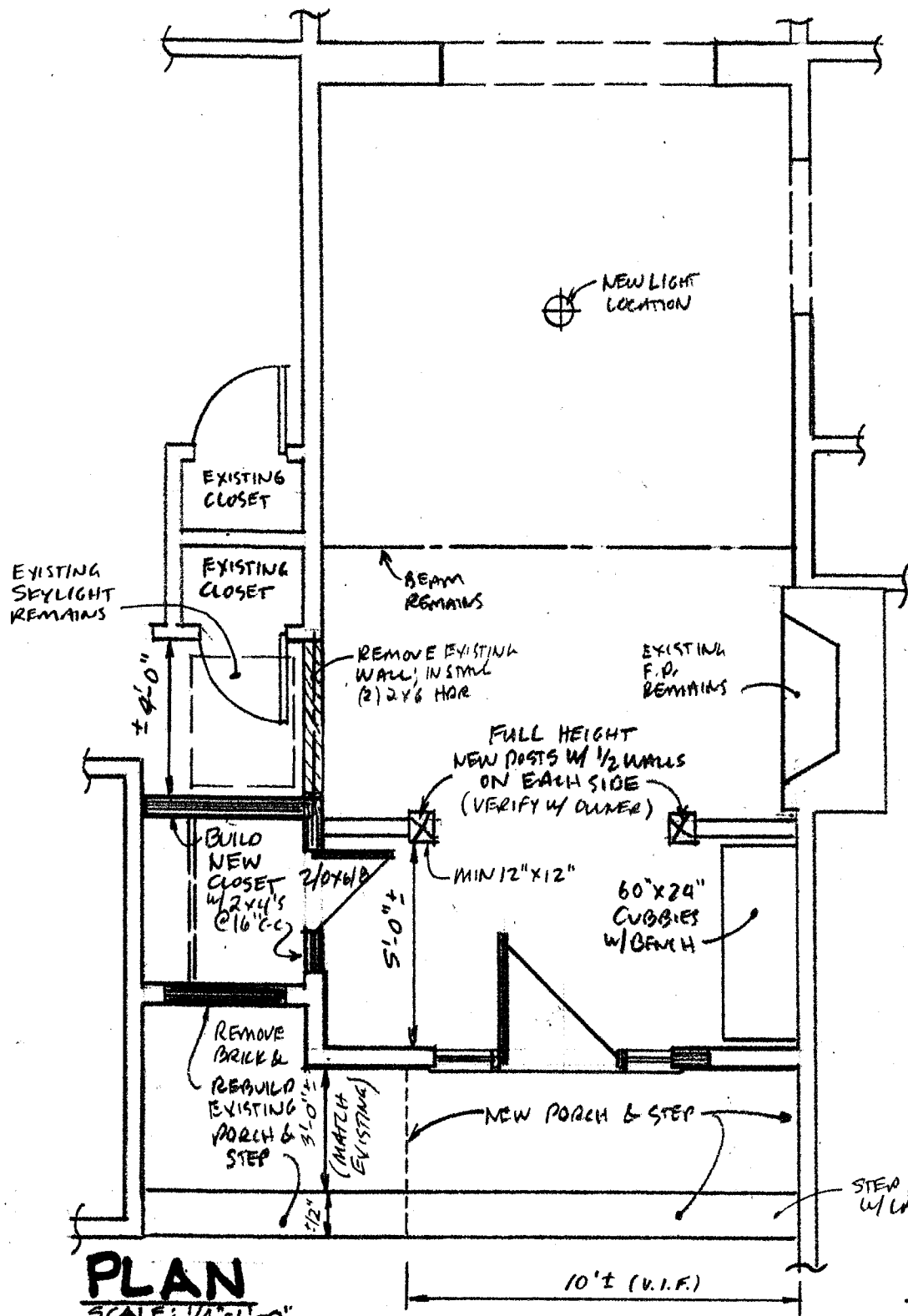
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 d.b.a Victory Hill Land Company  
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ADDITIONS & ALTERATIONS FOR:  
 ROONEY RESIDENCE  
 32 STONELEIGH COURT  
 TOWN OF PITTSFORD, NEW YORK  
 SHEET A-9



STEP MAY BE CONSTRUCTED W/ LANDSCAPE PAVING

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d.b.a Victory Hill Land Company  
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kip.finley@gmail.com  
(585) 451-6538



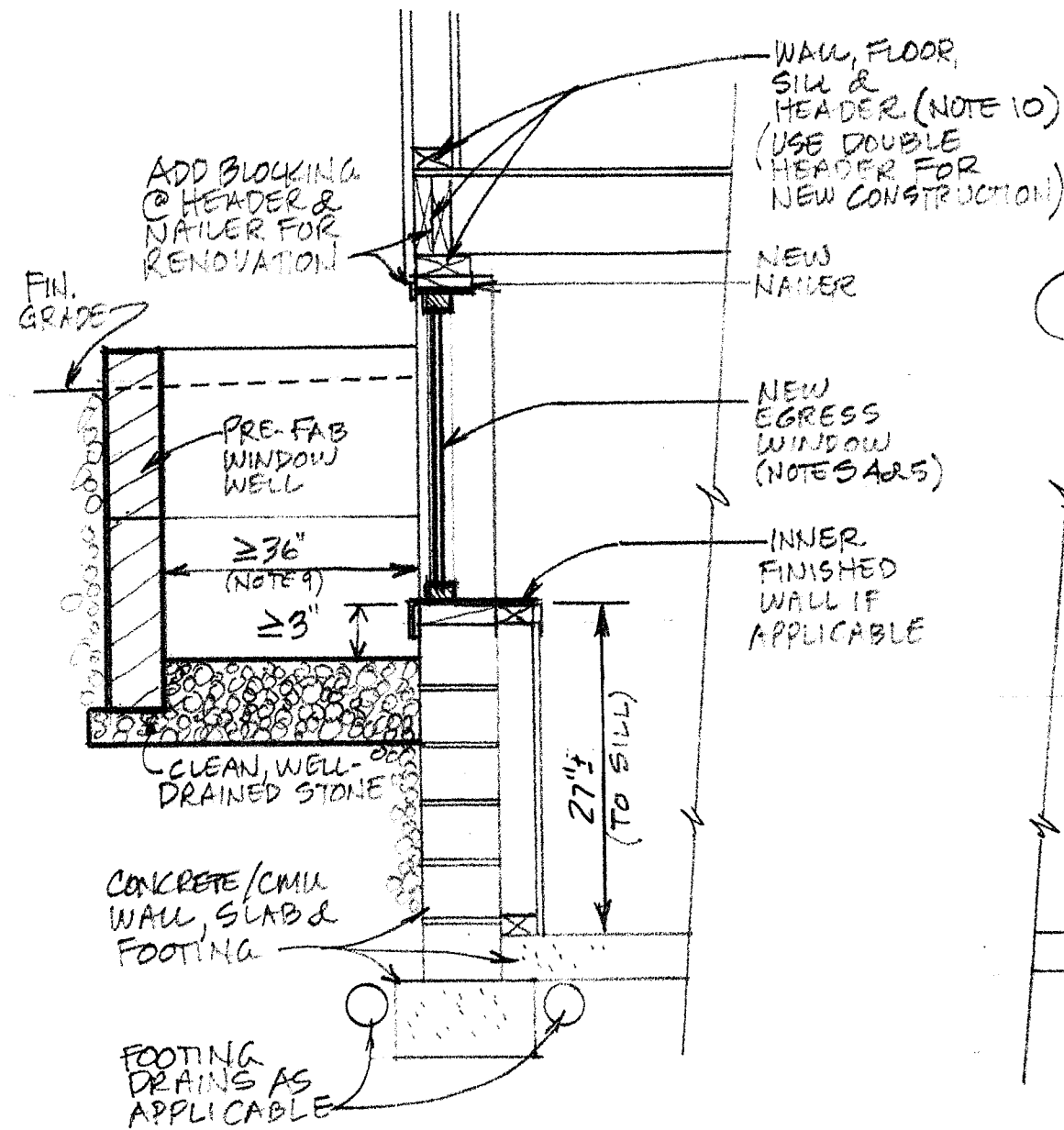
7/12/23

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ADDITIONS & ALTERATIONS FOR:  
ROONEY RESIDENCE  
23 STONELEIGH COURT  
TOWN OF PITTSFORD, NEW YORK  
**SHEET A-10**

## PROJECT NOTES

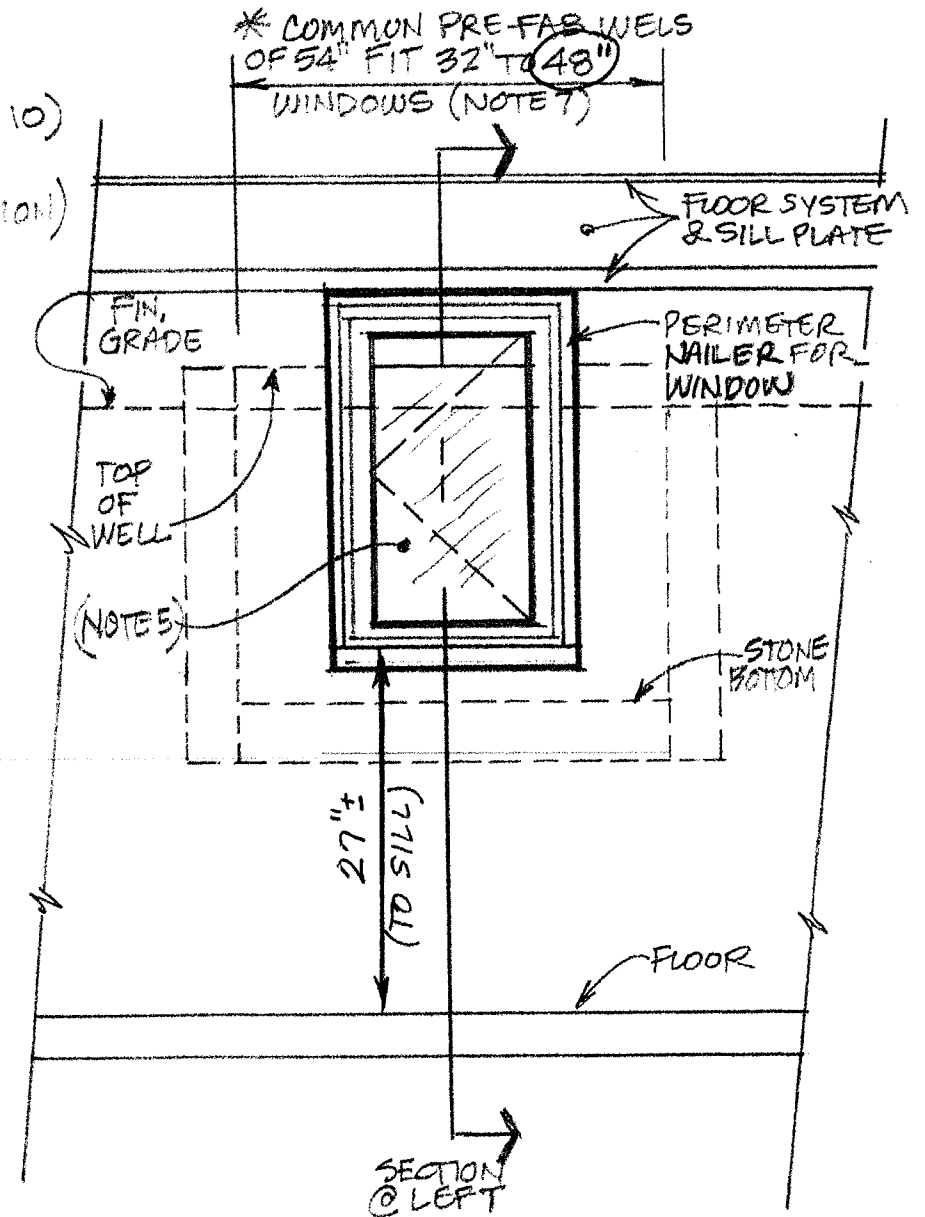
1. THIS DETAIL SPECIFIES CONSTRUCTION OF A SINGLE-WIDE (36" TO 48" OPENING) BASEMENT EGRESS WINDOW MEETING CODE REQUIREMENTS FOR USE WITH "HABITABLE SPACE" SUCH AS A BEDROOM BELOW GRADE.
2. THIS DETAIL IS FOR NEW/EXISTING CONSTRUCTION.
3. THE SILL OF THE NEW WINDOW SHALL BE NO HIGHER THAN 44" ABOVE THE FLOOR TO ALLOW A PERSON TO CLIMB THROUGH THE WINDOW WITHOUT A LADDER FOR ACCESS.
4. THE WINDOW SHALL BE A CASEMENT OR **DOUBLE-HUNG STYLE** WINDOW DESIGNED FOR EGRESS USE. A CASEMENT STYLE SHALL HAVE A HINGE MECHANISM THAT OPENS THE WINDOW TO A FULL 90 DEGREE POSITION.
5. THE WINDOW OPENING MUST BE A MINIMUM OF 20" WIDE AND A MINIMUM OF 24" TALL, AND HAVE A TOTAL OPENING OF NO LESS THAN 5.7 SQ. FT. **48"W X 66"H D.H.**
6. THE WINDOW WELL SHOWN IS A MANUFACTURED UNIT DESIGNED TO RETAIN EARTH ABOVE THE BOTTOM OF THE WINDOW WELL.
7. IF THE WINDOW OPENS TO THE OUTDOORS, THE WELL SHALL ACCOMMODATE THE FULL-OPEN WINDOW POSITION.
8. WINDOW WELL BOTTOM AREA SHALL BE MORE THAN 9 SQ. FT.
9. THE WINDOW WELL SHALL BE PLACED ON A MINIMUM 6" DEEP BED OF WASHED CRUSHED STONE OR GRAVEL TO ALLOW DRAINAGE OF RAIN WATER INTO THE GROUND.
10. A NOMINAL 2X6 WOODEN SILL PLATE AND A DOUBLE NOMINAL 2X8 HEADER (OR LARGER) WILL SUPPORT ONE CENTER-BEARING FLOOR AND A ROOF WITH A BUILDING WIDTH OF UP TO 36' AND A SNOW LOAD UP TO 50 PSF.
11. IN ADDITION TO EGRESS, A WINDOW ALSO CONTRIBUTES TO VENTILATION AND DAYLIGHT REQUIREMENTS FOR "HABITABLE SPACE". THE CODE REQUIRES WINDOW GLAZING EQUAL TO 8% OF THE ROOM FLOOR AREA. IT IS ALSO REQUIRED THAT AT LEAST HALF THAT AREA BE OPERABLE FOR VENTILATION. FOR EXAMPLE, A NOMINAL 32" WIDE X 54" TALL OPENING FITS A WINDOW THAT IS APPROPRIATE FOR A 120 SQ. FT. ROOM.



COMMON CODE-COMPLIANT WINDOW WELL BRANDS:  
BILCO, WELCRAFT, ROCKWELL

### TYPICAL SECTION

SCALE: 1/2" = 1'-0"



TYPICAL 32" WIDE WINDOW RETROFIT SHOWN ABOVE (2 CMU BLOCK WIDE OPENING)

### TYPICAL ELEVATION

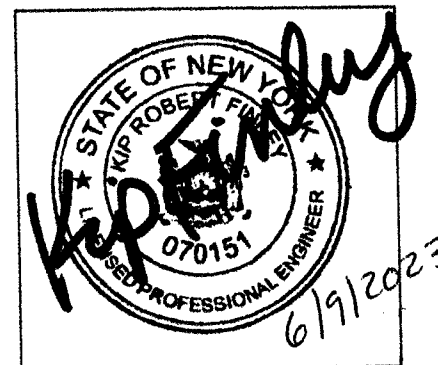
SCALE: 1/2" = 1'-0"

SHEET A-11.

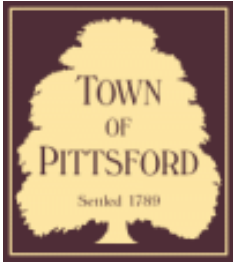
## REVISIONS

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d.b.a Victory Hill Land Company  
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[kip.finley@gmail.com](mailto:kip.finley@gmail.com)  
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TYPICAL SINGLE-WIDE EGRESS WINDOW  
FOR NEW OR EXISTING RESIDENTIAL  
BASEMENT CONSTRUCTION  
FOR 32 STONELEIGH CT., PITTSFORD



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000092**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 26 Bromley Road PITTSFORD, NY 14534

**Tax ID Number:** 178.06-2-27

**Zoning District:** RN Residential Neighborhood

**Owner:** Haywood, William R III

**Applicant:** Haywood, William R III

### Application Type:

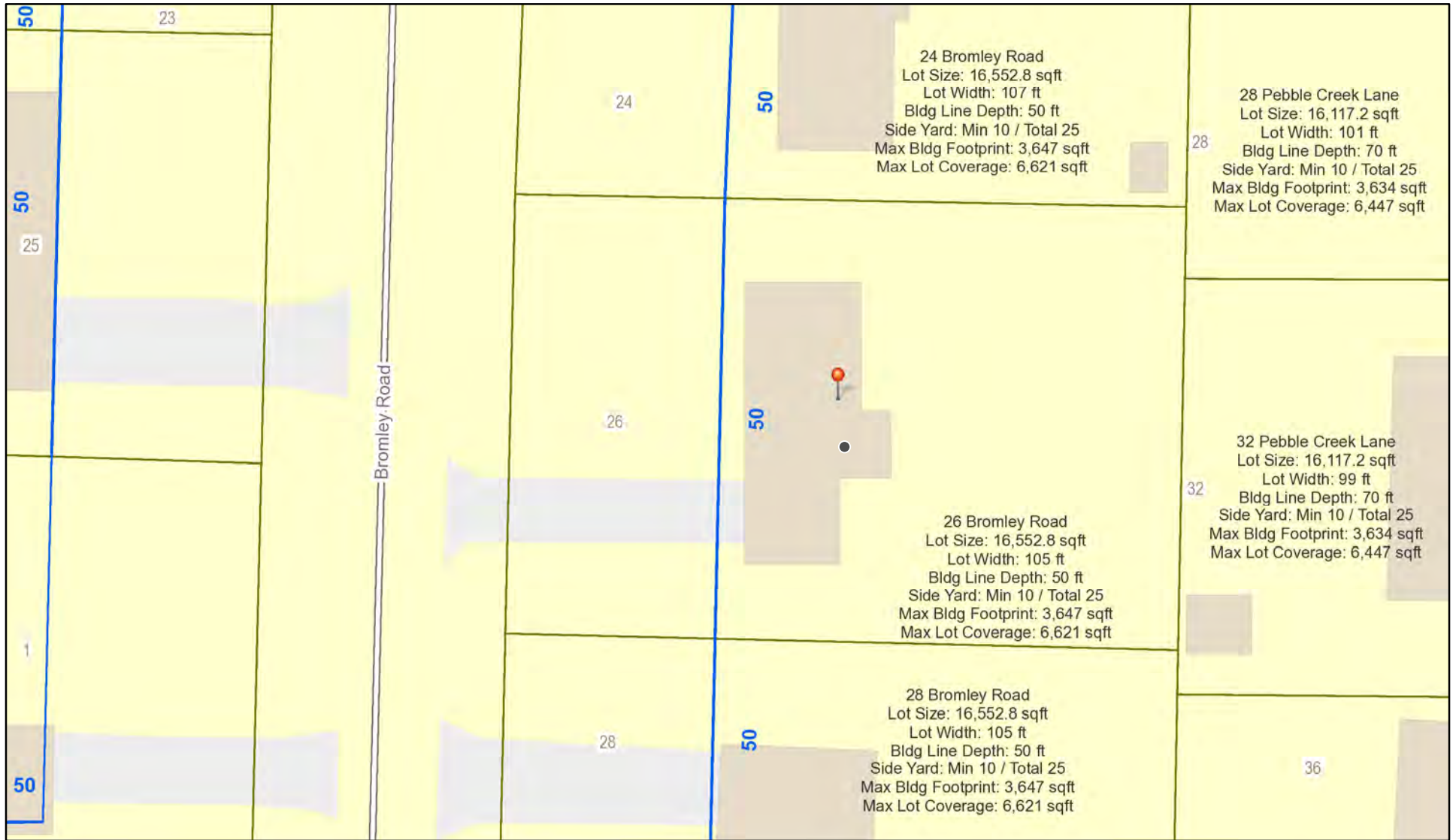
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for the renovation and expansion of a 208 square foot screen porch off the rear of the home.

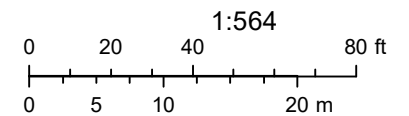
**Meeting Date:** August 10, 2023



# RN Residential Neighborhood Zoning



Printed August 2, 2023



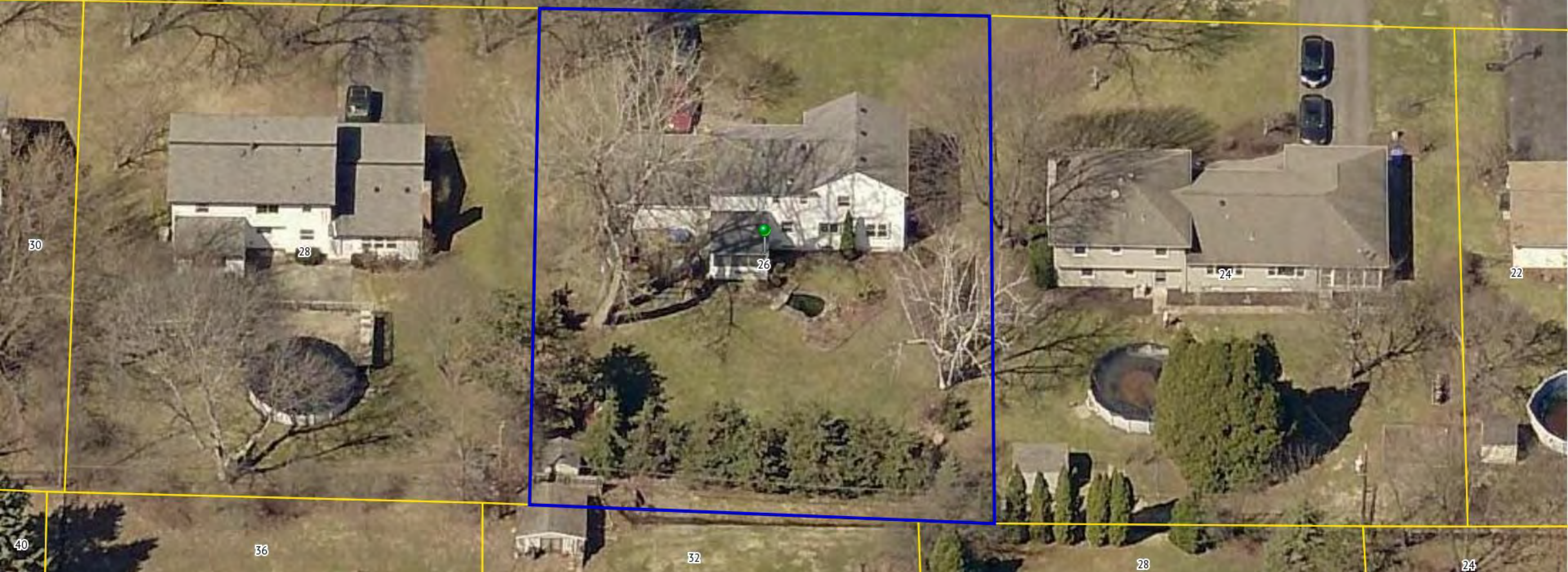
Town of Pittsford GIS

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BromleyRd



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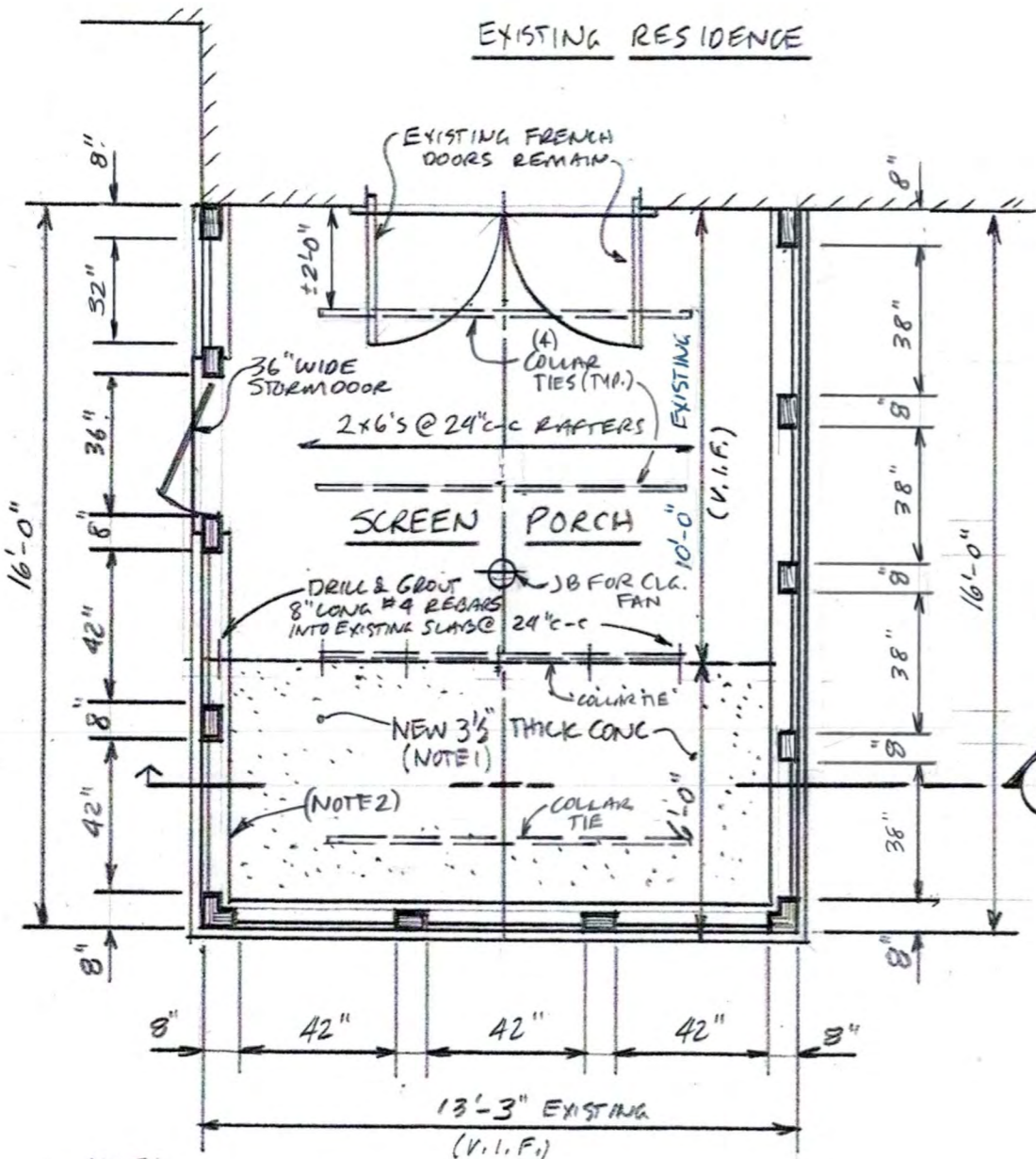
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04/12/2015

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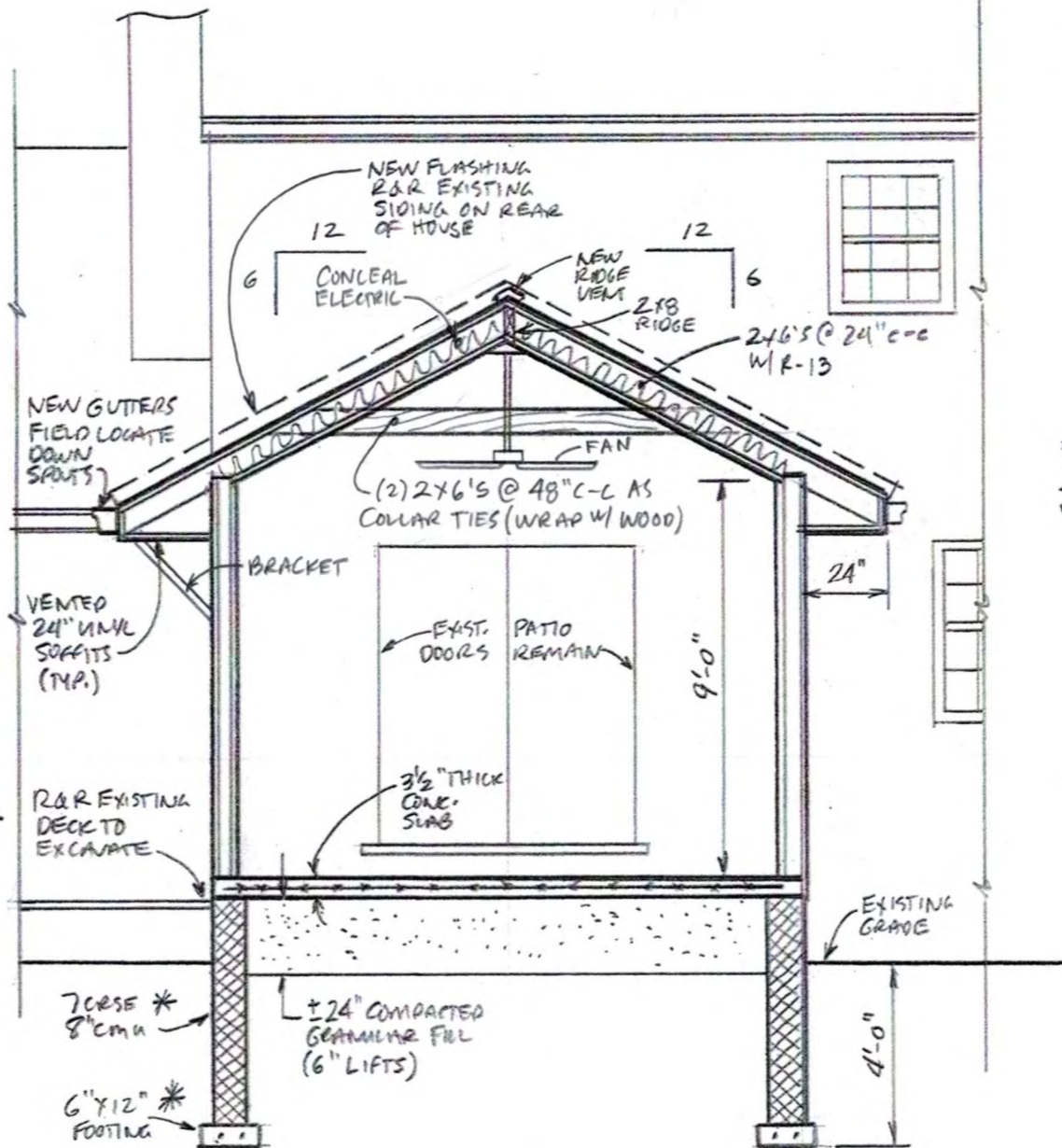




- NOTE:
1. CONFIRM THE SLAB FLUSH HEIGHT WITH HOME OWNER; FLUSH W/ TOP OF EXISTING SLAB, OR TOP OF EXISTING TILE.
  2. PROVIDE GFI OUTLETS IN WALL PER CODE.

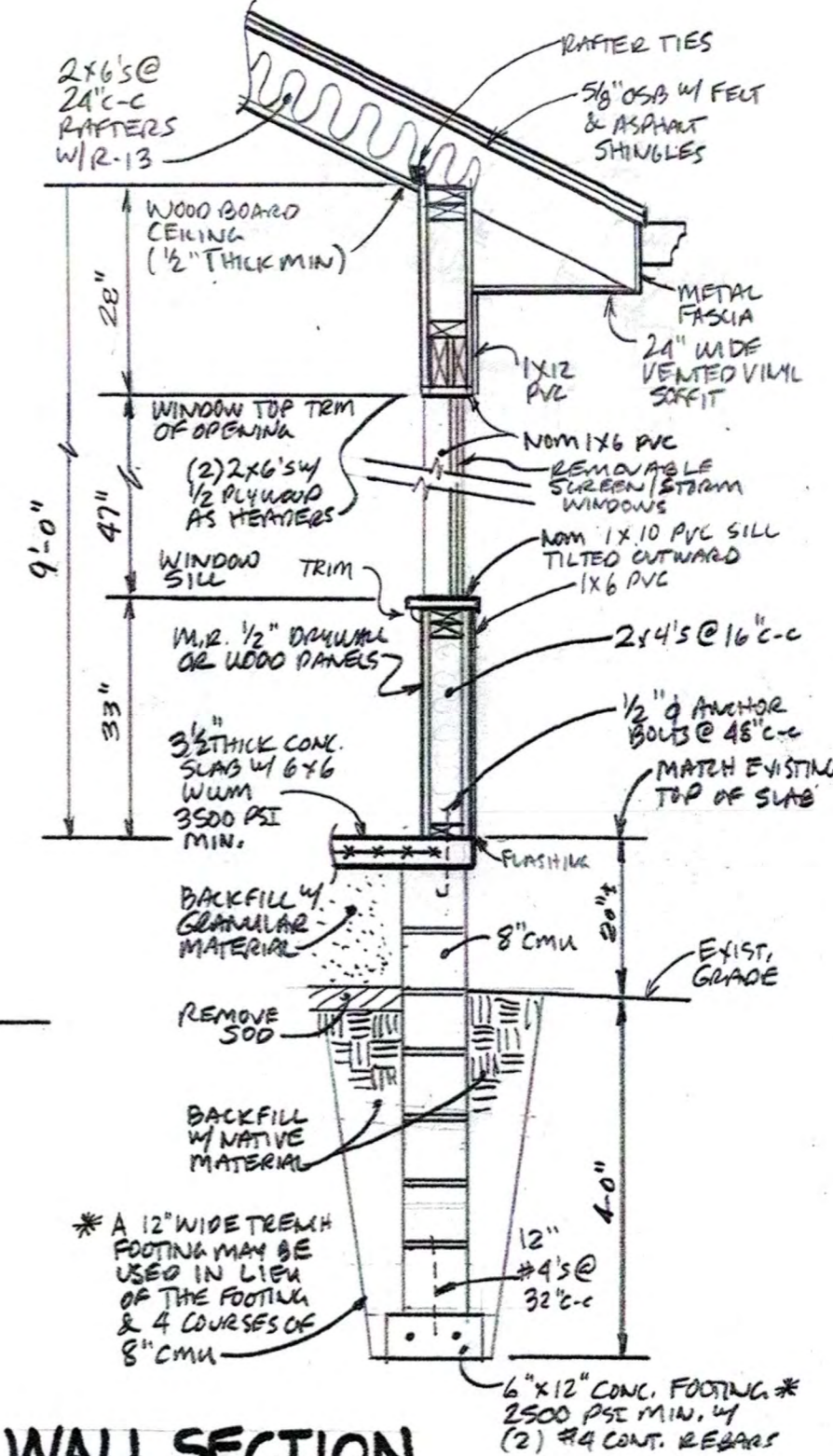
**(A) FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**(B) BUILDING SECTION**

SCALE: 1/4" = 1'-0"



**(C) WALL SECTION**

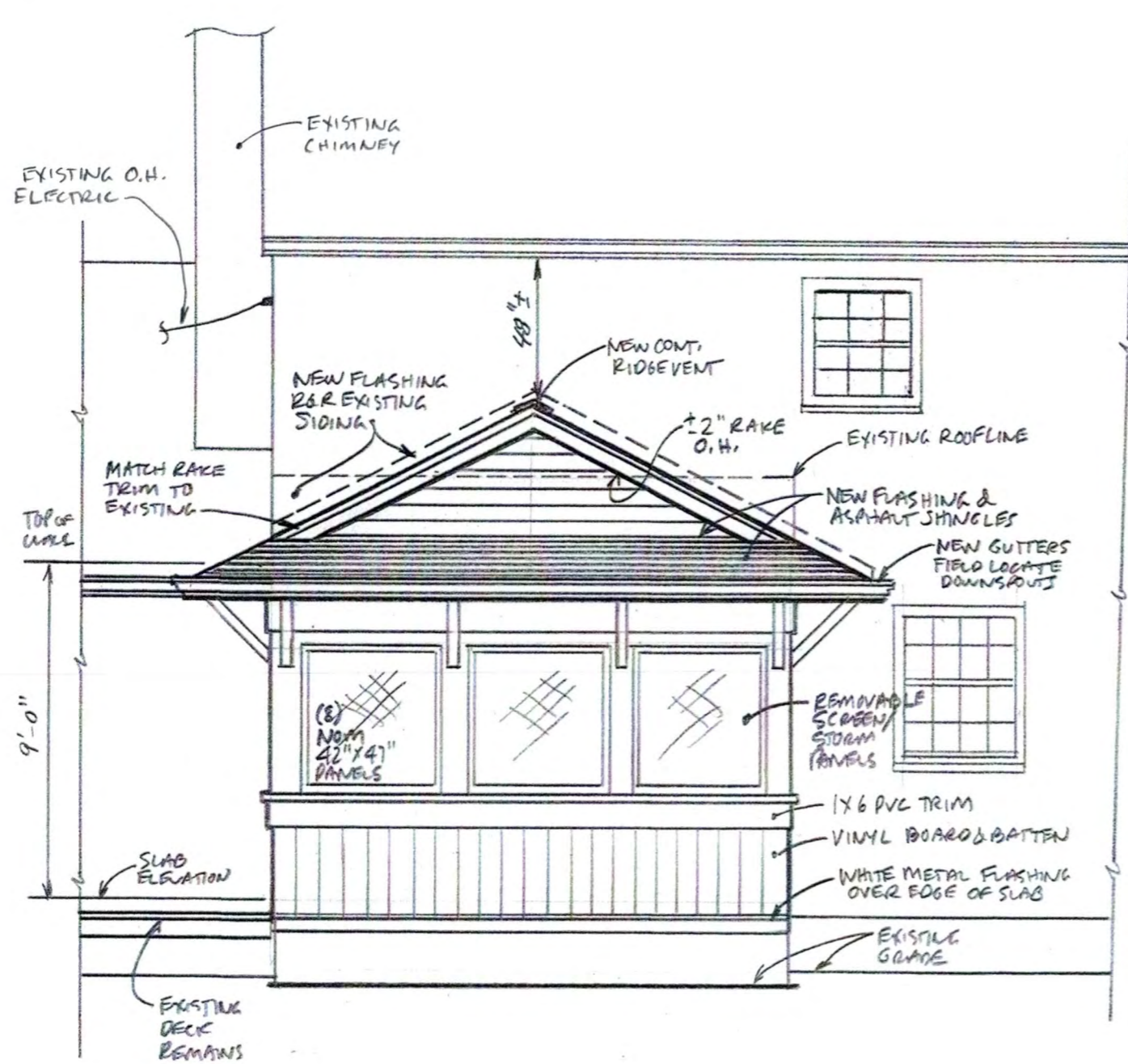
SCALE: 1/2" = 1'-0"

**REVISIONS**

Kip Finley, PE  
d.b.a Victory Hill Land Company  
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Churchville, NY 14428  
kip.finley@gmail.com  
(585) 451-6538

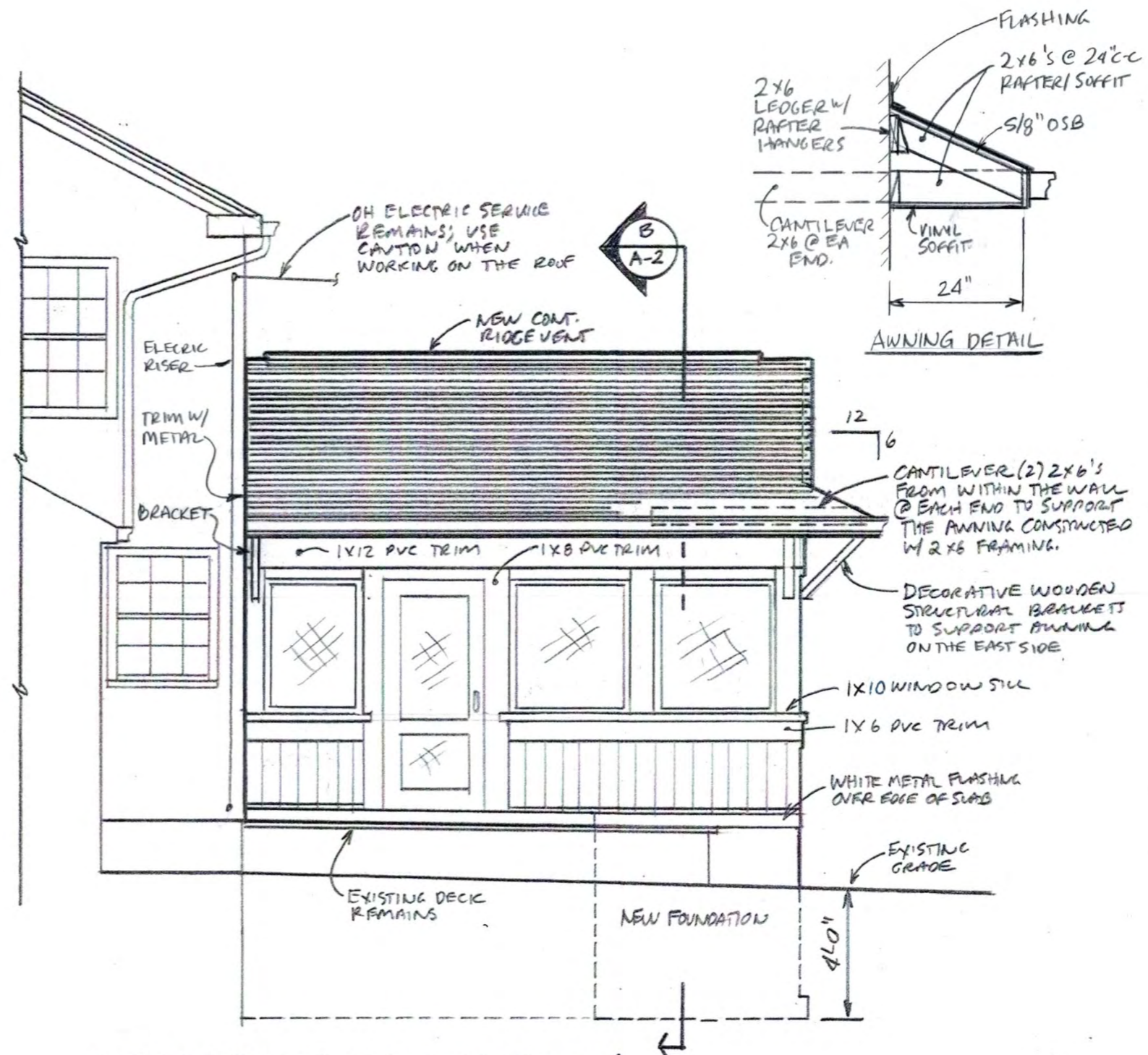


REPLACEMENT OF EXISTING SCREENED PORCH  
HAYWOOD RESIDENCE  
26 BROMLEY ROAD  
TOWN OF PITTSFORD, NEW YORK  
**SHEET A-2**



### REAR ELEVATION

SCALE: 1/4" = 1'-0" (EAST)



### LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0" (SOUTH)

#### REVISIONS

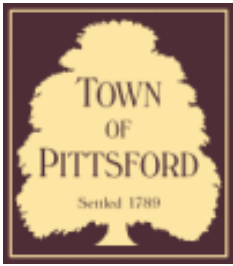
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REPLACEMENT OF EXISTING SCREENED PORCH  
 HAYWOOD RESIDENCE  
 26 BROMLEY ROAD  
 TOWN OF PITTSFORD, NEW YORK

SHEET A-3



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000087**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 61 Coventry Ridge ,

**Tax ID Number:** 177.04-1-39

**Zoning District:**

**Owner:**

**Applicant:** Spall Homes

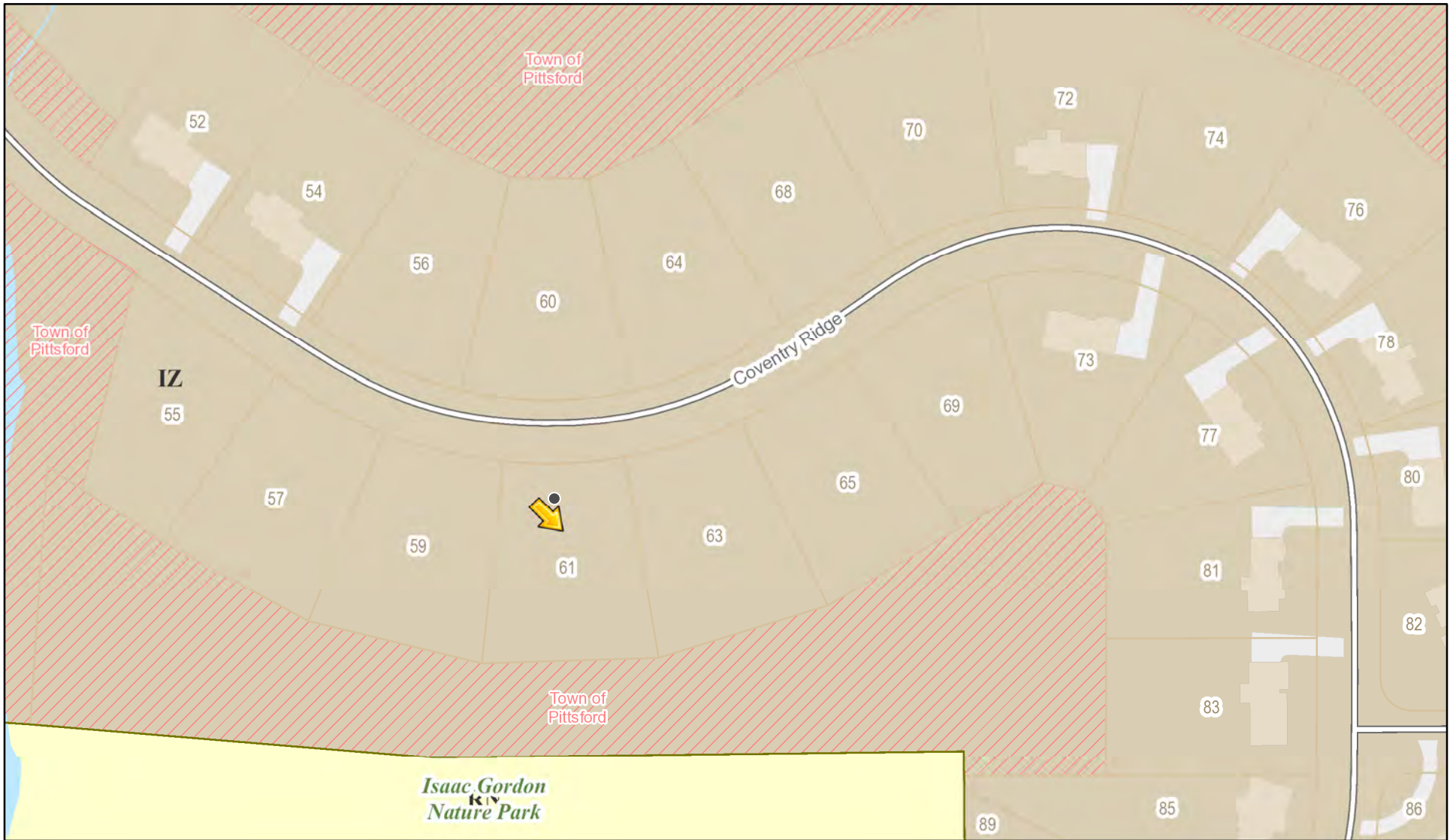
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

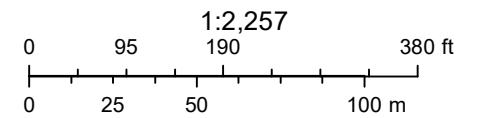
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3760 square feet of livable area and is located in the Coventry Ridge Subdivision.

**Meeting Date:** August 10, 2023

# RN Residential Neighborhood Zoning



Printed July 20, 2023



Town of Pittsford GIS

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 ROCHESTER, NY 14623  
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**REVISIONS:**

DATE	BY	DESCRIPTION

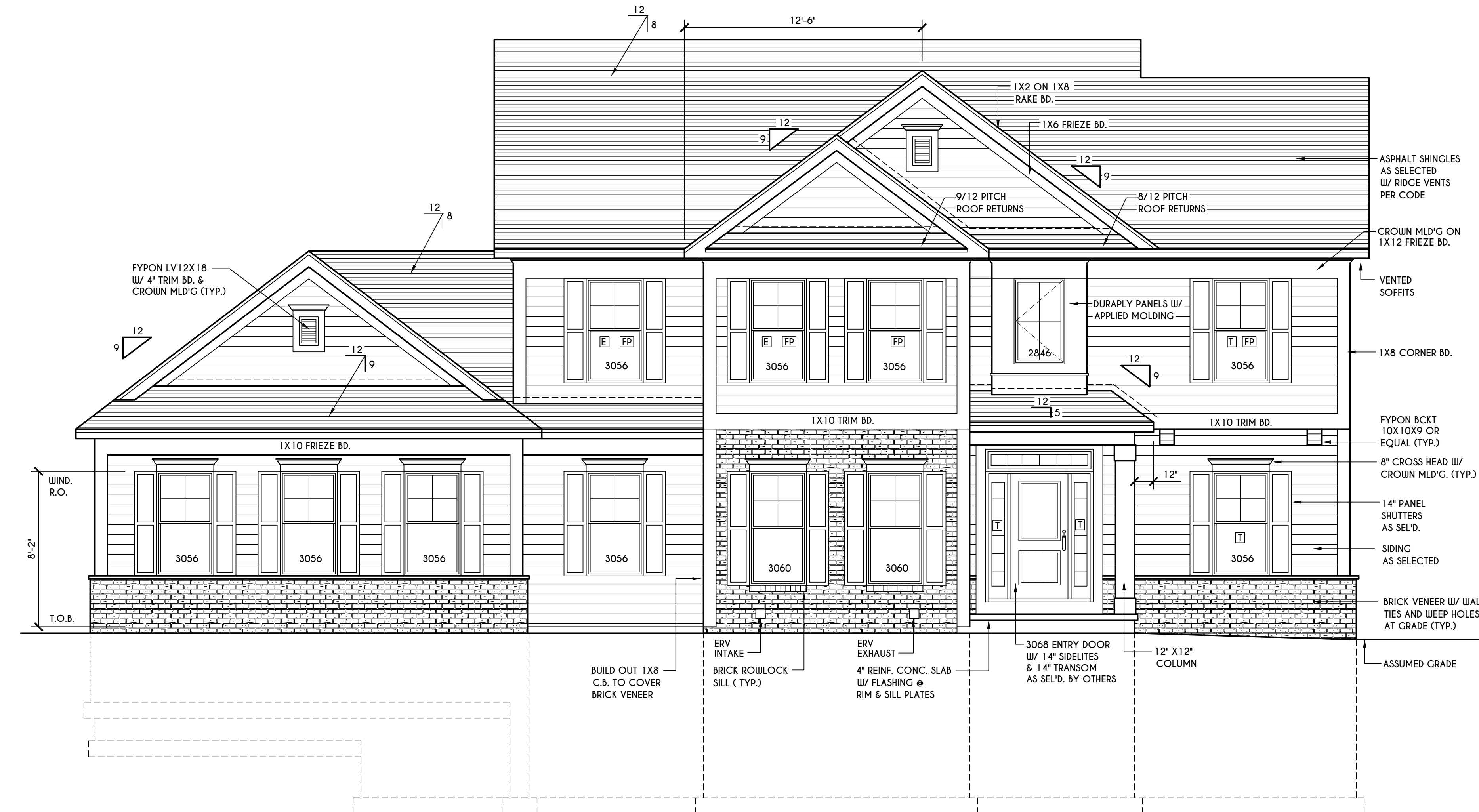
**CLIENT/LOCATION:**  
 SPEC HOUSE  
 LOT 84 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

**GLA PLAN 2926**

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15420G	sheet: 1 / 6



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1444 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1482 SQ.FT.  
 TOTAL LIVING AREA = 2926 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 40,774 CU.FT.

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DIWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS, TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

**WINDOWS:** VWD 210C DH SOLAR GAIN W/ ARGON  
 U-FACTOR ..... 0.29  
 SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SLIDING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

**WINDOW / DOOR LEGEND:**

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

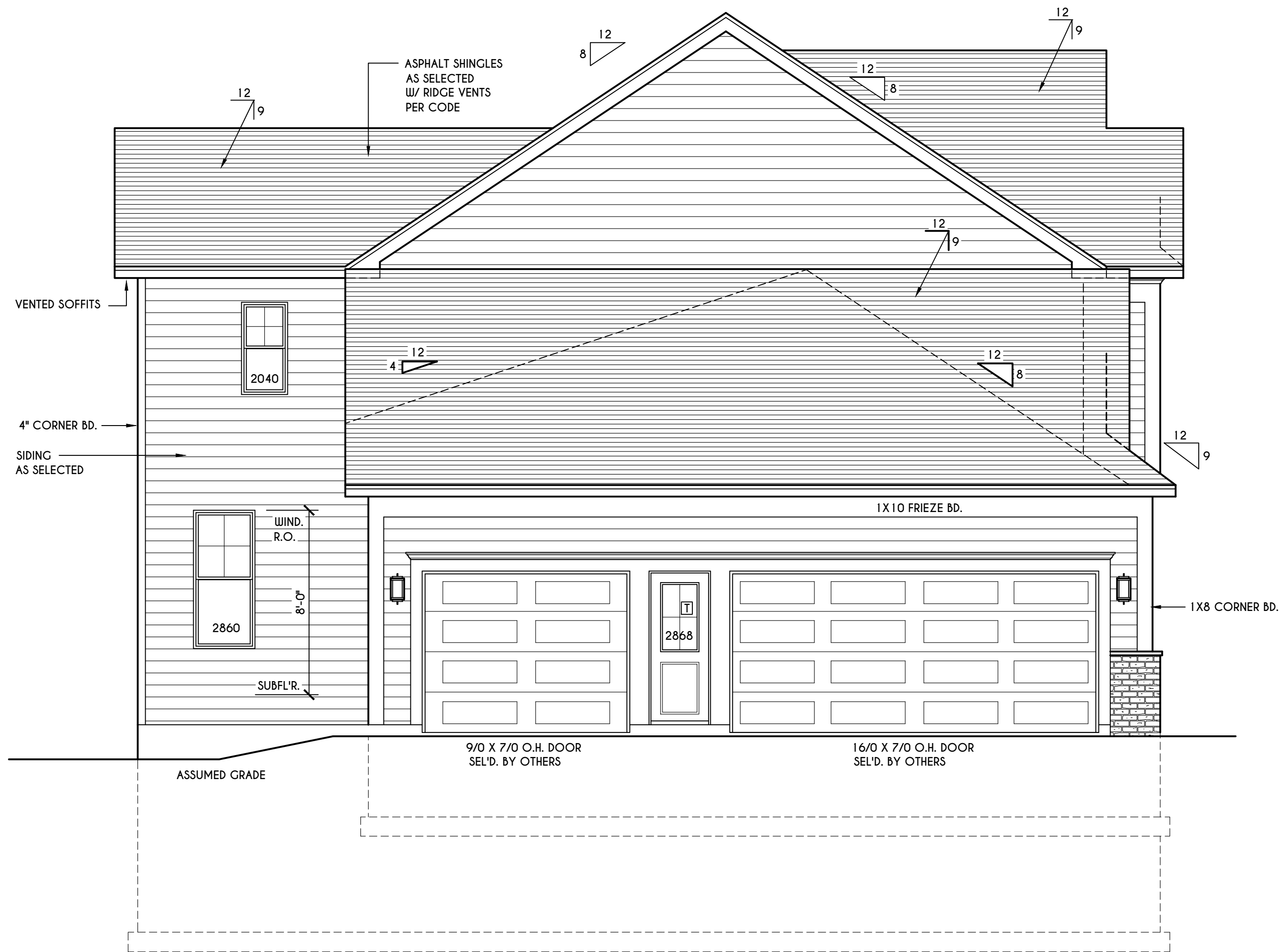
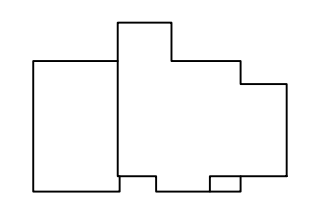
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

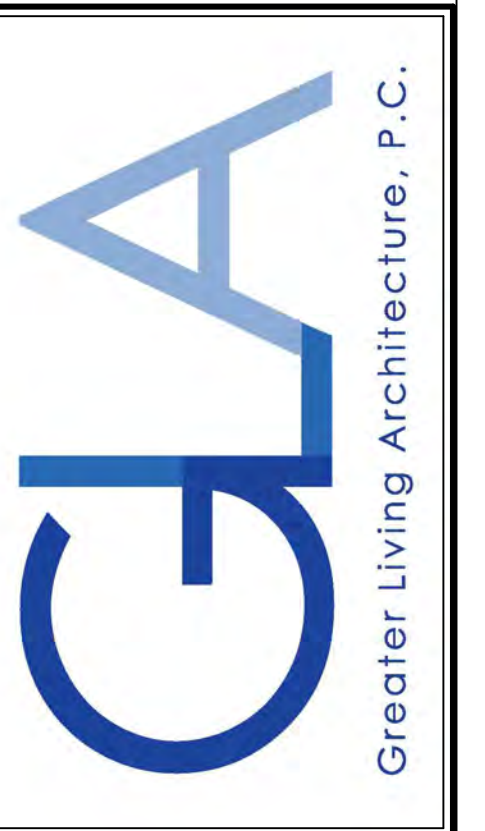
**HOUSE FOOTPRINT**  
 SCALE: 1" = 50'-0"



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

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 FAX: (585) 292-1262  
 www.greaterviving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 SPEC HOUSE  
 LOT 84 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

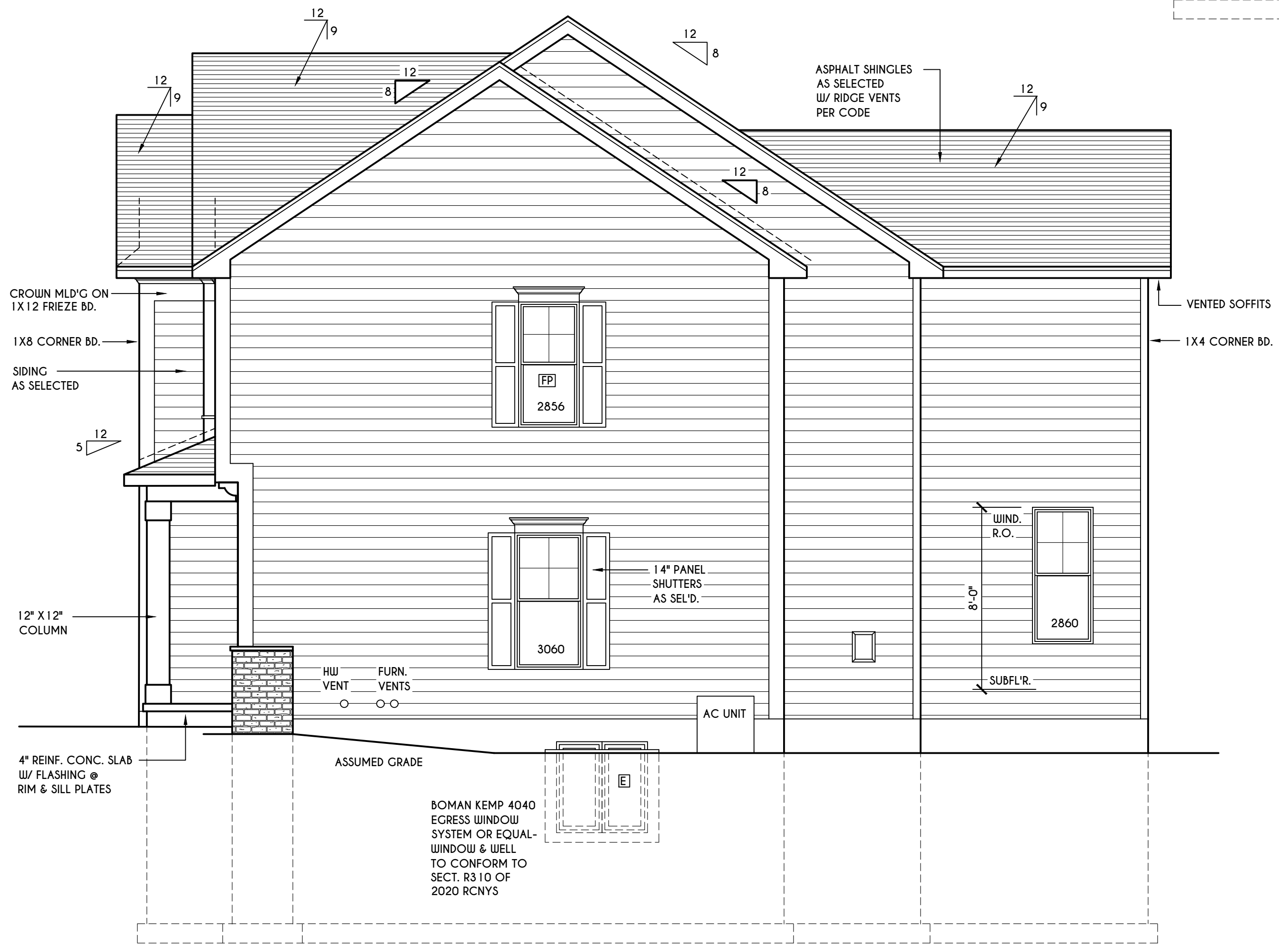
**GLA PLAN 2926**

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15420G	sheet: 2 / 6



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**TABLE M1505.4.3 (1)**  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7
< 1,500	30	45	60	75
1,501-3,000	45	60	75	90
3,001-4,500	60	75	90	105
4,501-6,000	75	90	105	120
6,001-7,500	90	105	120	135
> 7,500	105	120	135	150

FOR SI: 1 square foot=0.0929 m<sup>2</sup>. 1 cubic foot per min=0.0004719 m<sup>3</sup>/s

**TABLE M1505.4.3 (2)**  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS <sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR <sup>a</sup>	4	3	2	1.5	1.3

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

**TABLE M1505.4.4**  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m<sup>3</sup>/s.

**WINDOWS:** VWD 210C DH SOLAR GAIN W/ ARGON  
 U-FACTOR ..... 0.29  
 SHGC ..... 0.54

**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 RCCNYS

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 cfm. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
 SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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**REVISIONS:**

DATE	BY	DESCRIPTION
2/28/22	CDK	MOVED STL BEAM

**CLIENT/LOCATION:**

SPEC HOUSE  
 LOT 84 COVENTRY RIDGE  
 PITTSFORD, NY

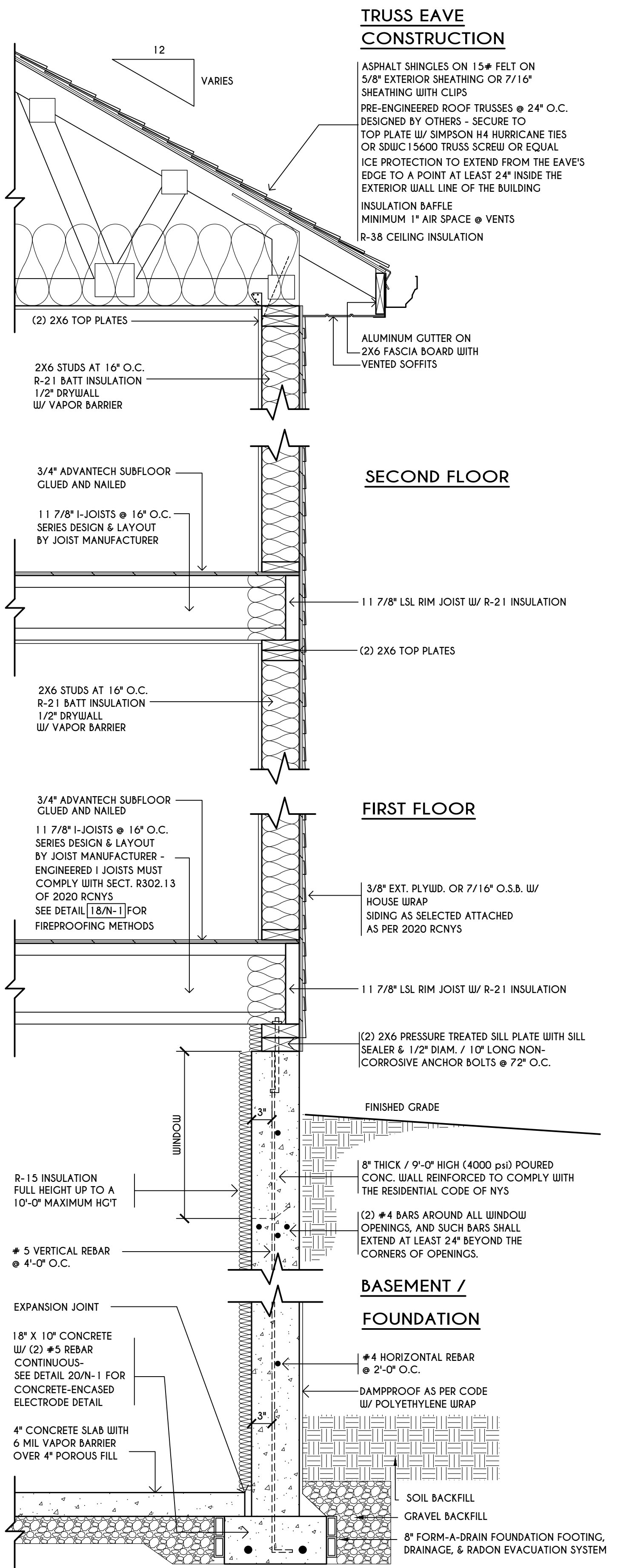
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

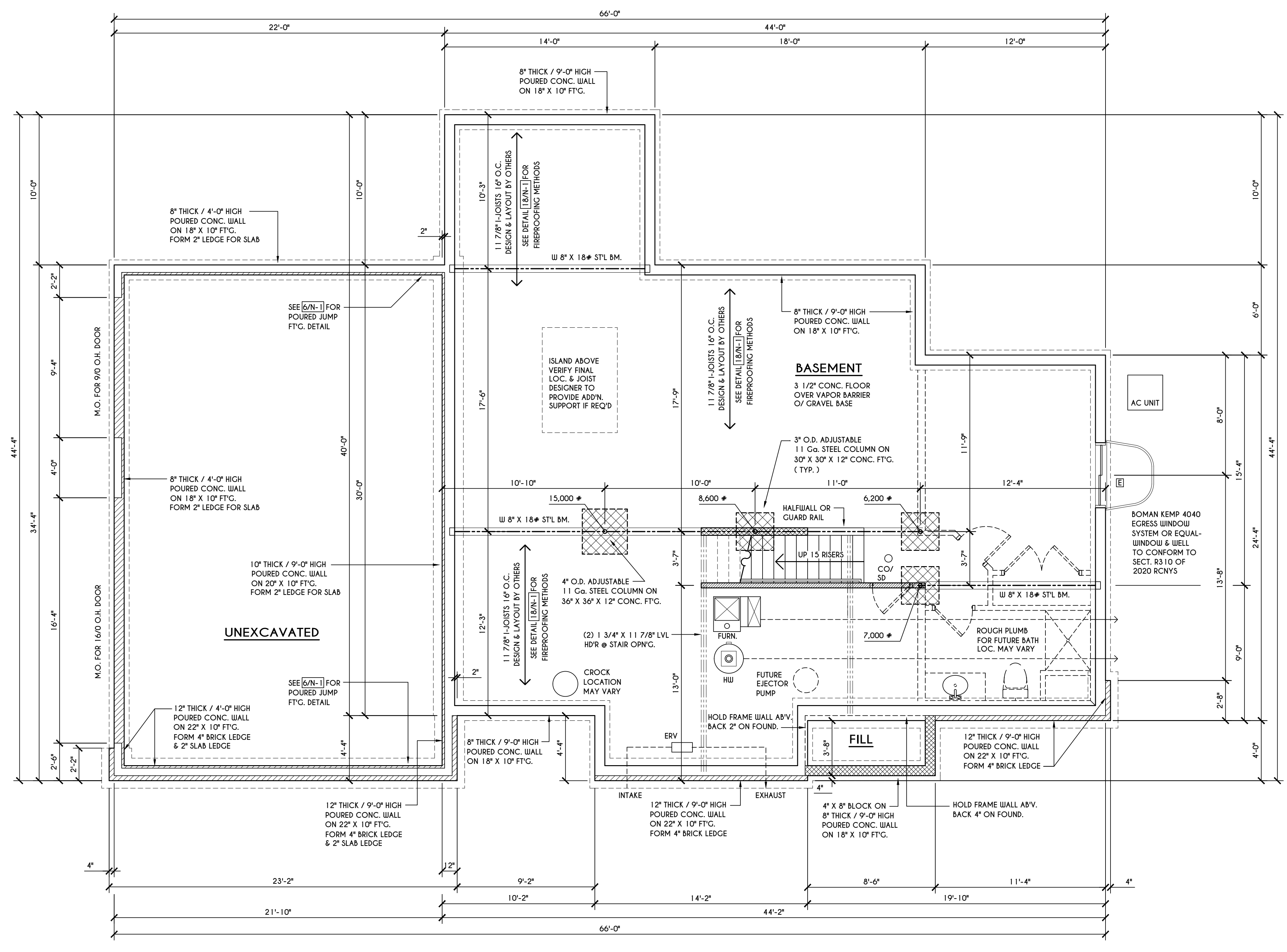
**FOUNDATION PLAN**

GLA PLAN 2926

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15420C	sheet: 3 6



**TYPICAL WALL SECTION**  
 SCALE: 1" = 1'-0"



**ENGINEERED FL'R JOIST NOTE:**  
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW.  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS  
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

**GENERAL FOUNDATION / BASEMENT NOTES:**  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS WITH A MINIMUM JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.3.3 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

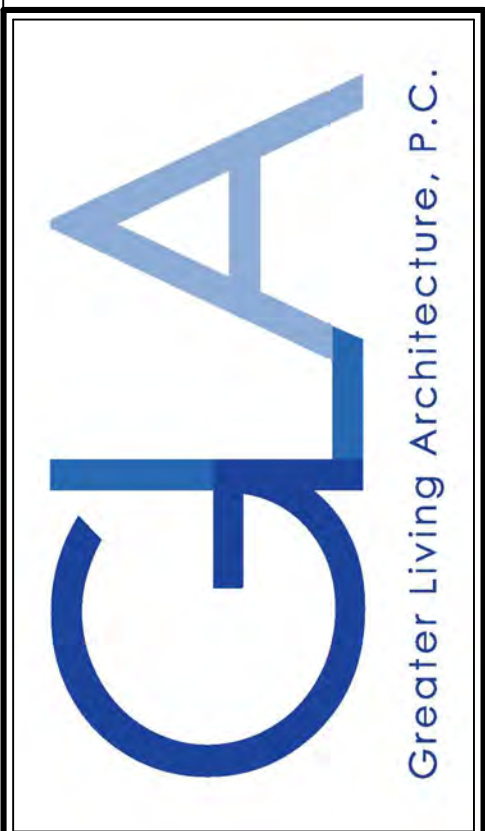
**WINDOW / DOOR LEGEND:**

[E]	- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
[T]	- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP]	- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**FRAMING LEGEND:**

[Solid]	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
[Dashed]	- DROPPED HEADER
[Dotted]	- FLUSH HEADER
[Hatched]	- 2X4 STUDS @ 16" O.C.
[Cross-hatched]	- 2X6 STUDS @ 16" O.C.

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DATE	BY	DESCRIPTION

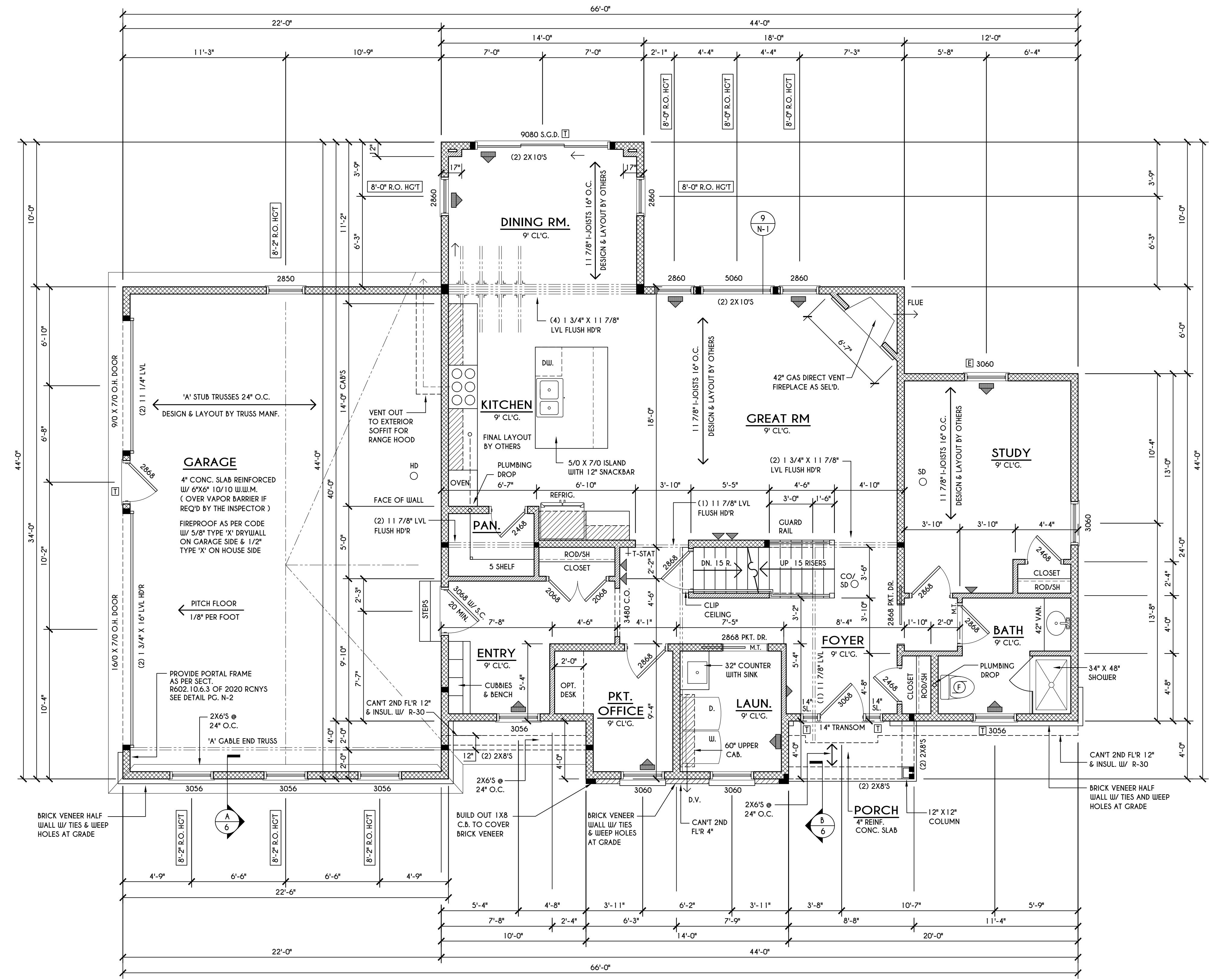
**CLIENT/LOCATION:**  
 SPEC HOUSE  
 LOT 84 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 2926

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15420G	sheet: 4 / 6



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1444 SQ. FT.

**ENGINEERED FL'R JOIST NOTE:**  
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

**FRAMING LEGEND:**

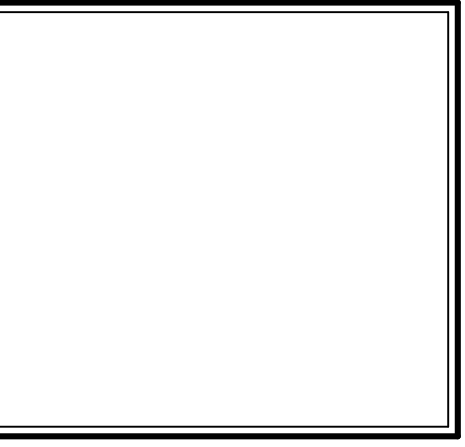
	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

**GENERAL FIRST FLOOR PLAN NOTES:**  
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

SPEC HOUSE  
 LOT 84 COVENTRY RIDGE  
 PITTSFORD, NY

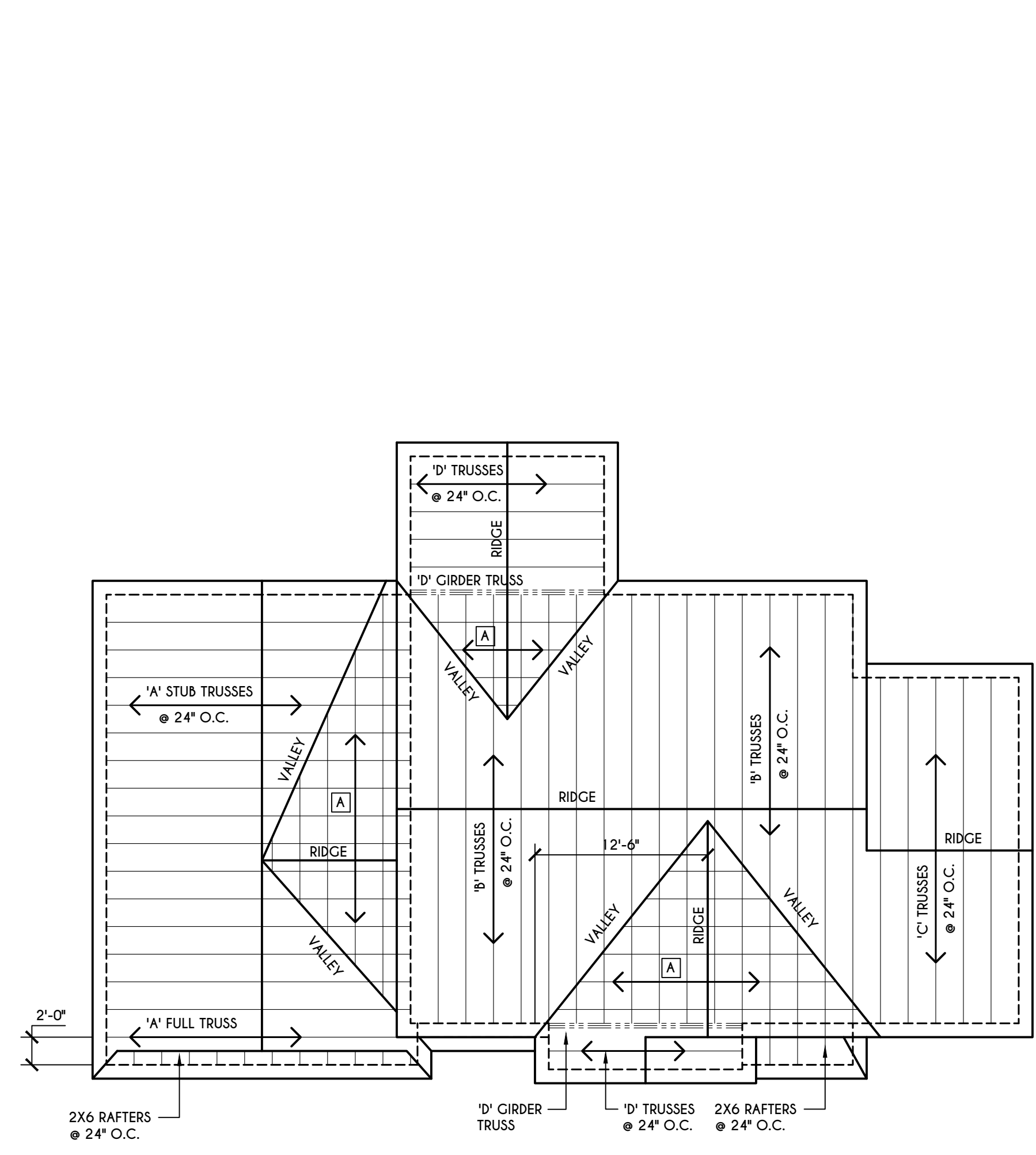
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

**SECOND FLOOR PLAN**

GLA PLAN 2926

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15420G	sheet: 5 6

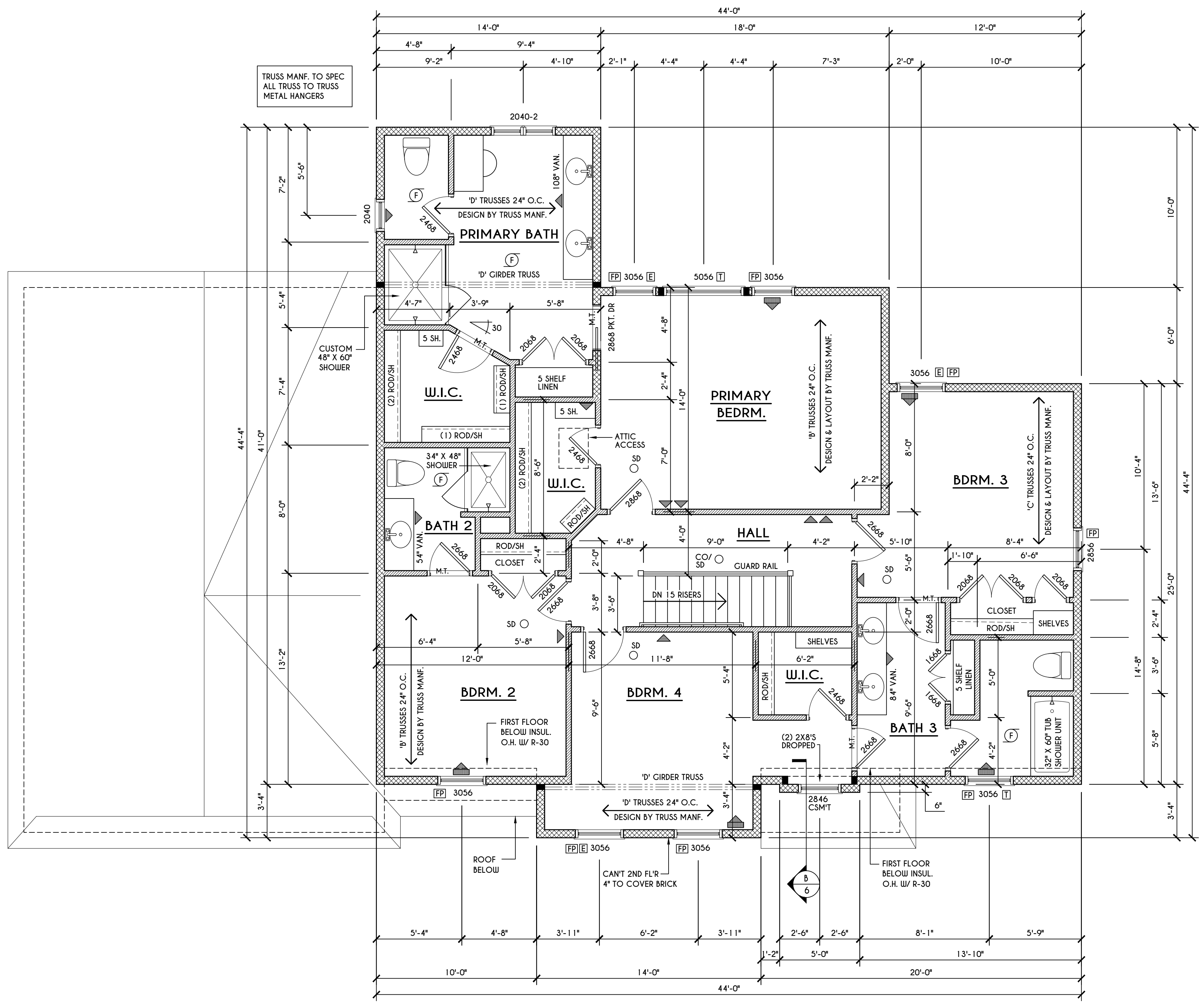


**GENERAL ROOF NOTES:**

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

**ROOF PLAN**

SCALE: 1/8" = 1'-0"  
 [A] 2X8 LAYOVER RAFTERS 24" O.C.



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0" 1482 SQ.FT.

**FRAMING LEGEND:**

[Solid line]	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
[Dashed line]	DROPPED HEADER
[Double line]	FLUSH HEADER
[Line with dots]	2X4 STUDS @ 16" O.C.
[Line with dashes]	2X6 STUDS @ 16" O.C.

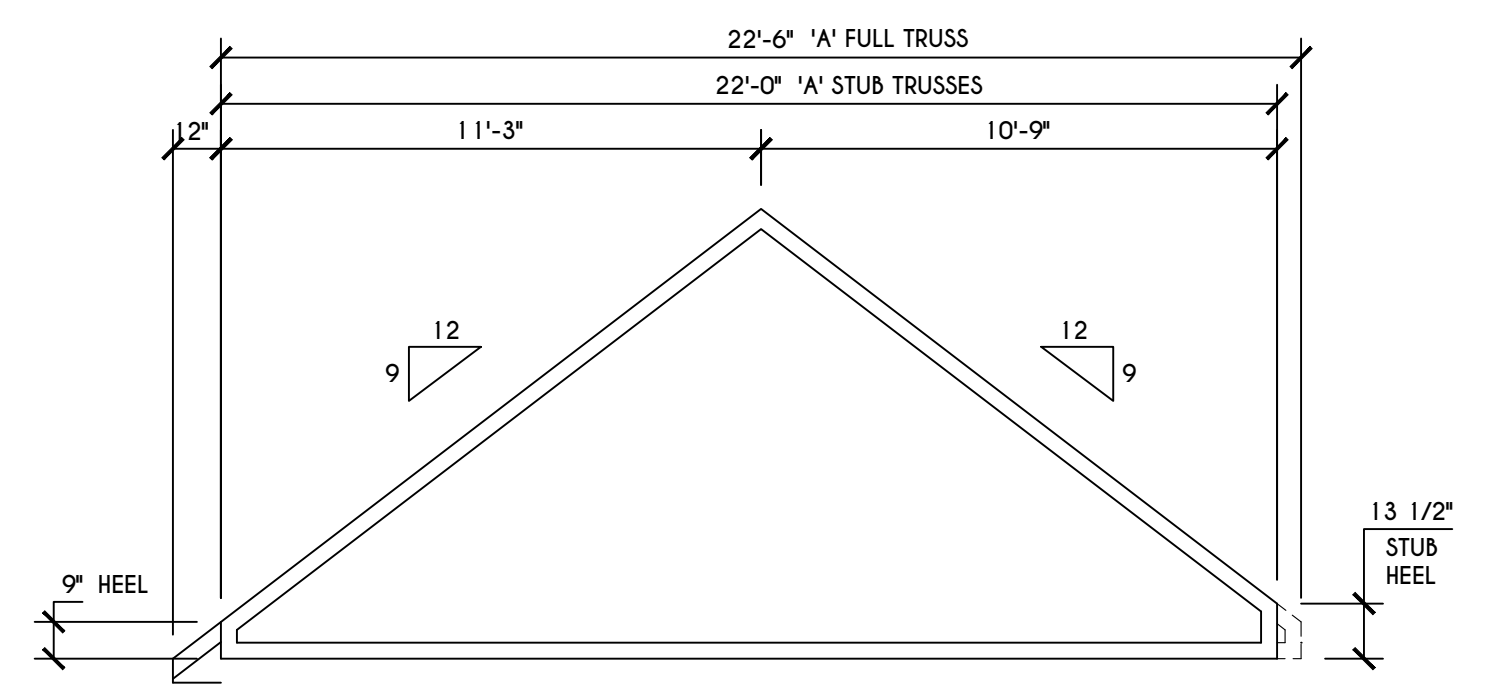
**GENERAL SECOND FLOOR PLAN NOTES:**

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DVL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

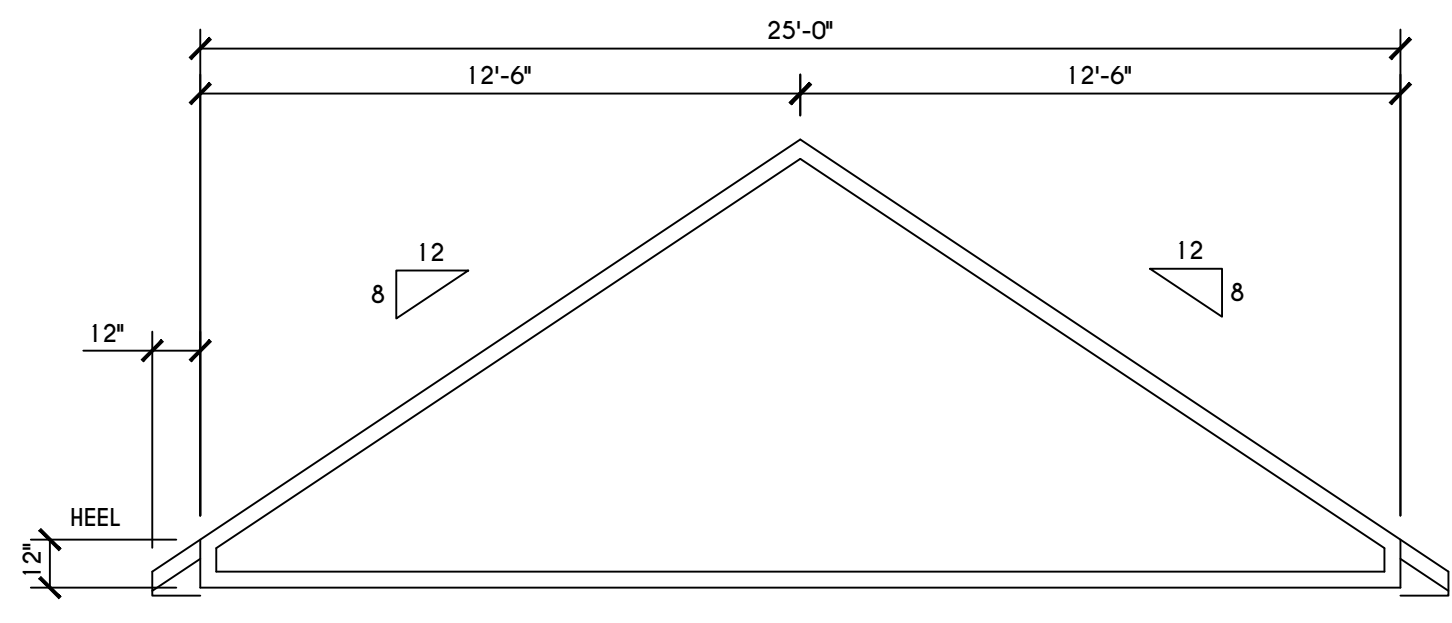
**WINDOW / DOOR LEGEND:**

[E]	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
[T]	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP]	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

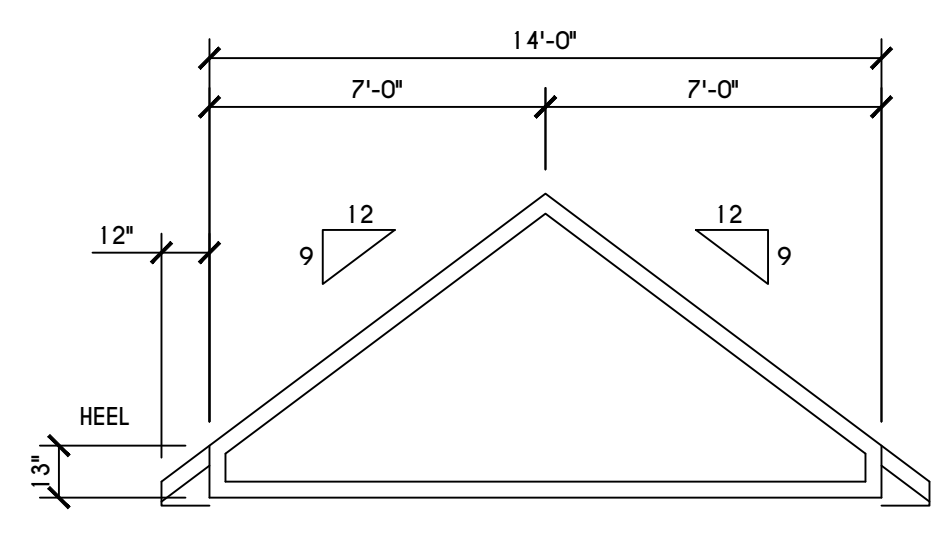
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**'A' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

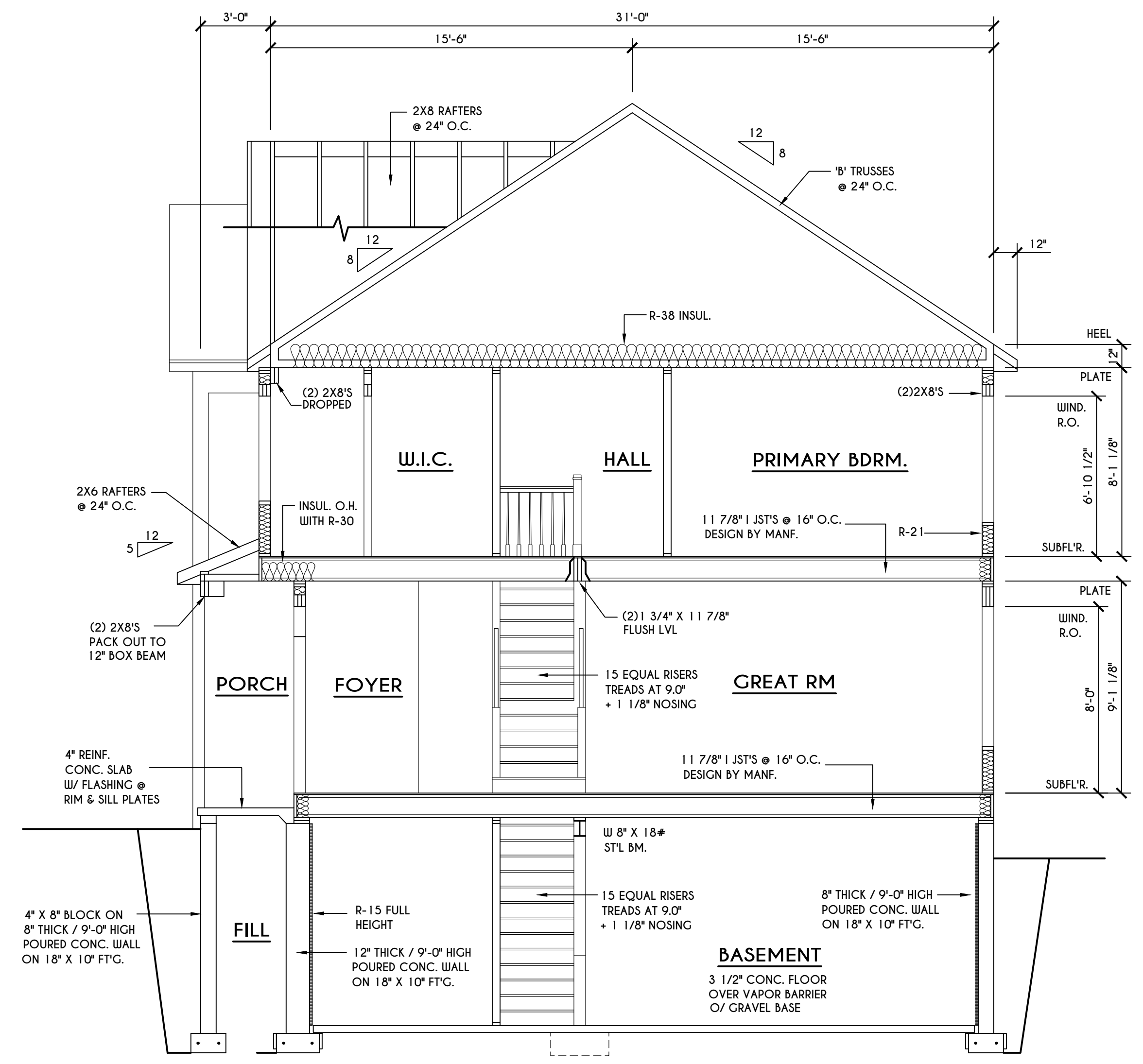


**'C' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

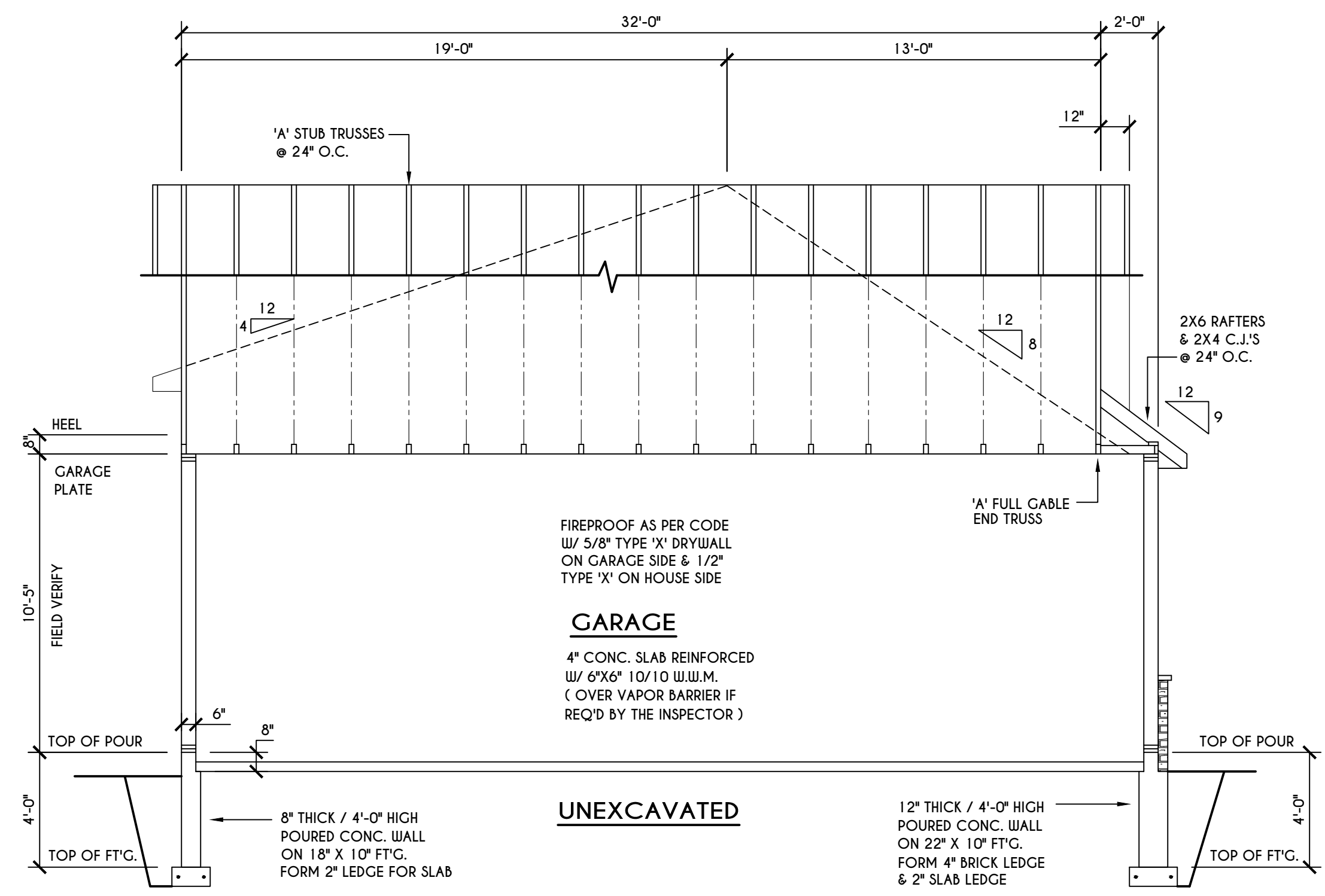


**'D' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

**TRUSS NOTES:**  
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD  
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD  
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"

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**REVISIONS:**

DATE	BY	DESCRIPTION

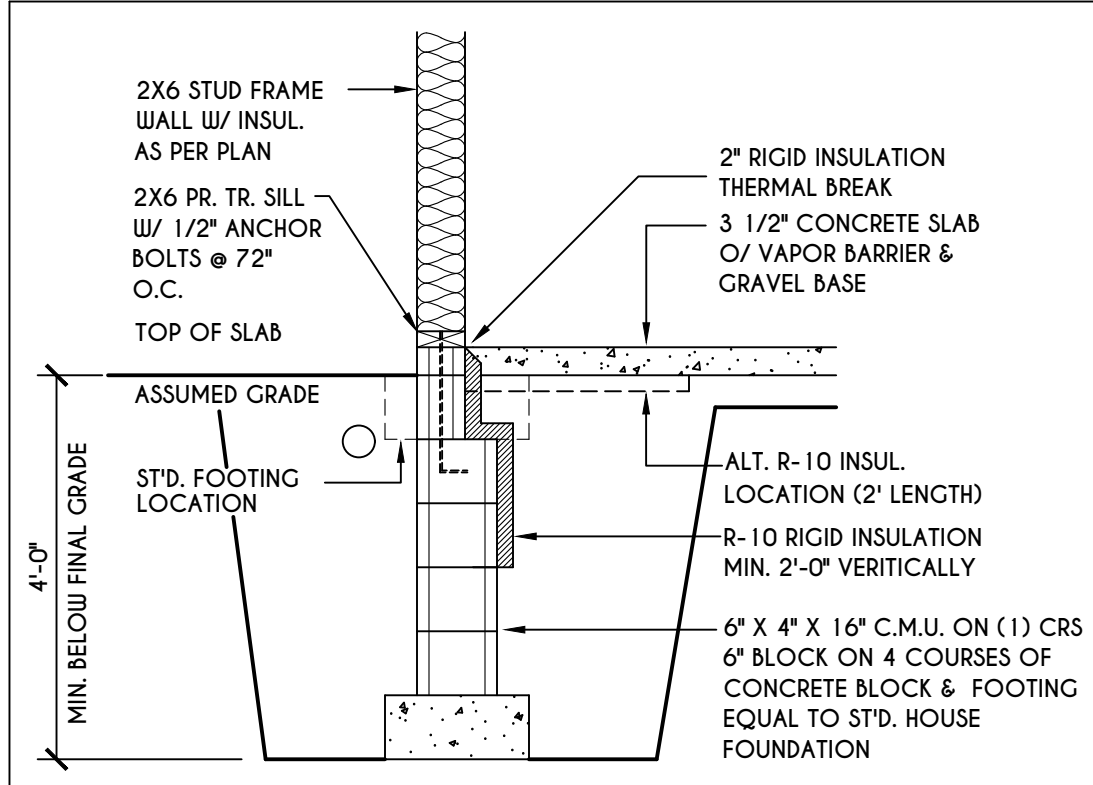
**CLIENT/LOCATION:**  
 SPEC HOUSE  
 LOT 84 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

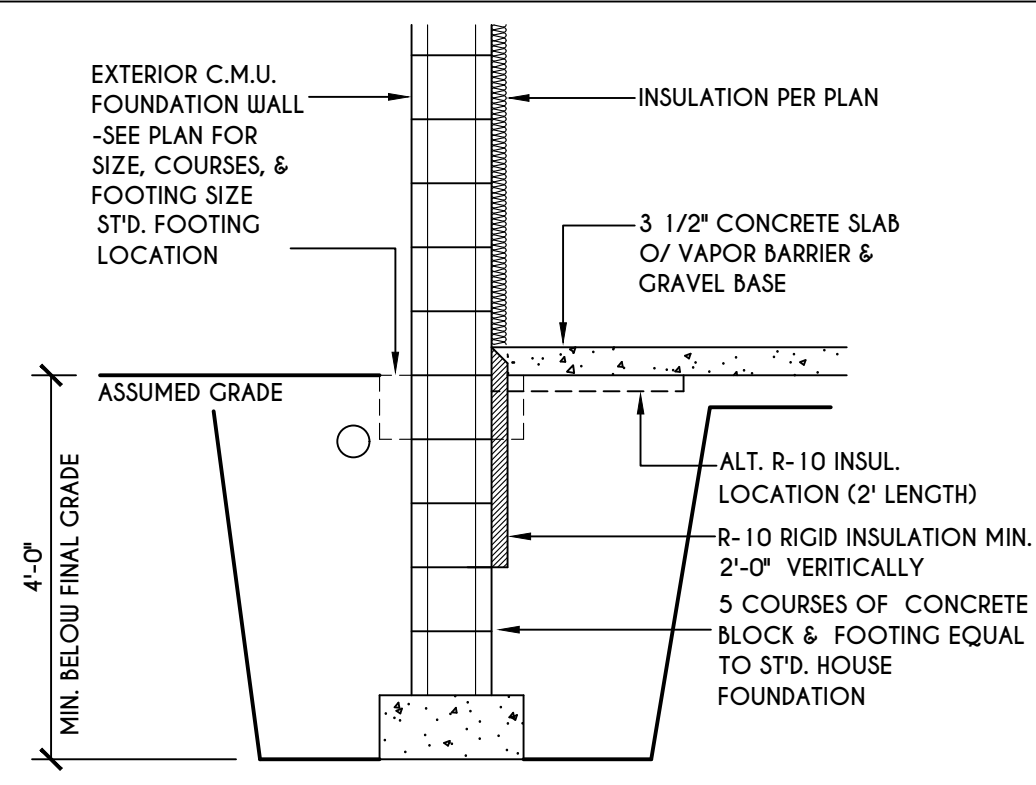
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 GLA PLAN 2926

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15420G	sheet: 6 / 6

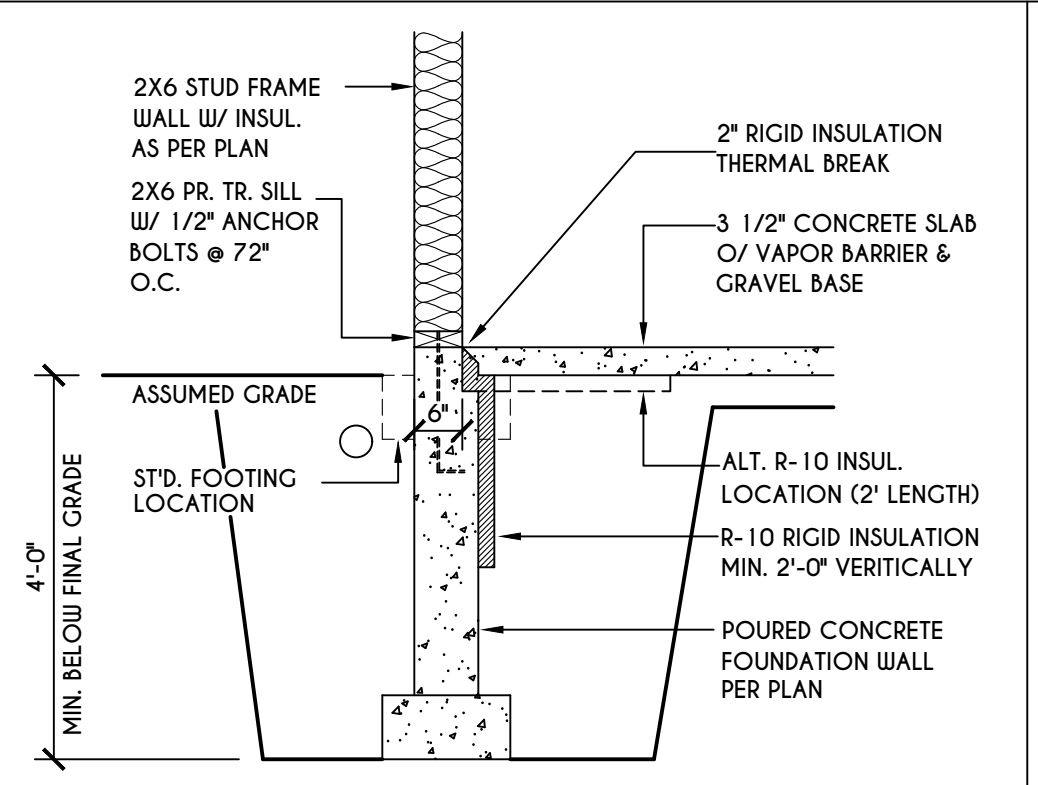




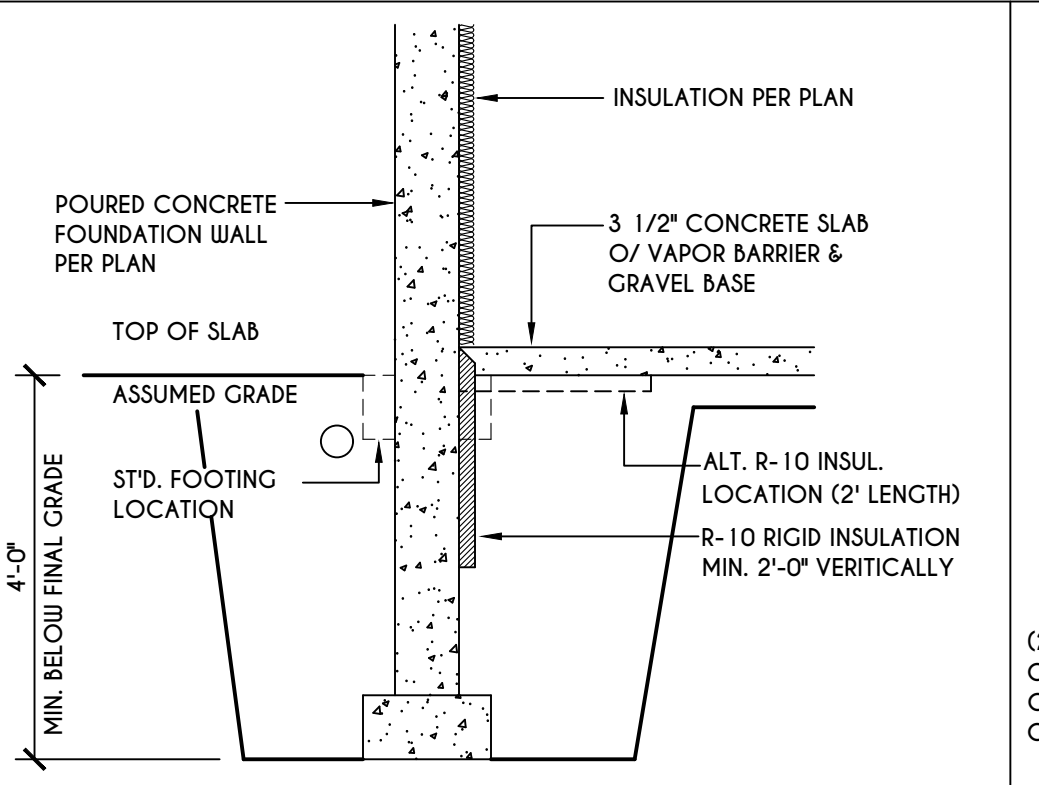
**1**  
**N-1**  
2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



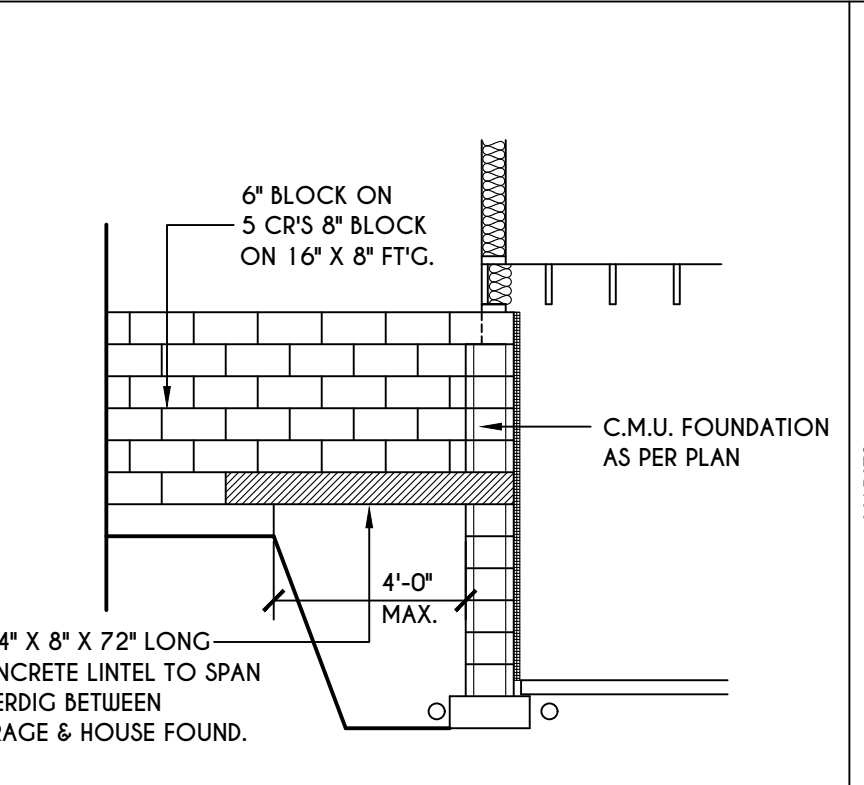
**2**  
**N-1**  
C.M.U. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



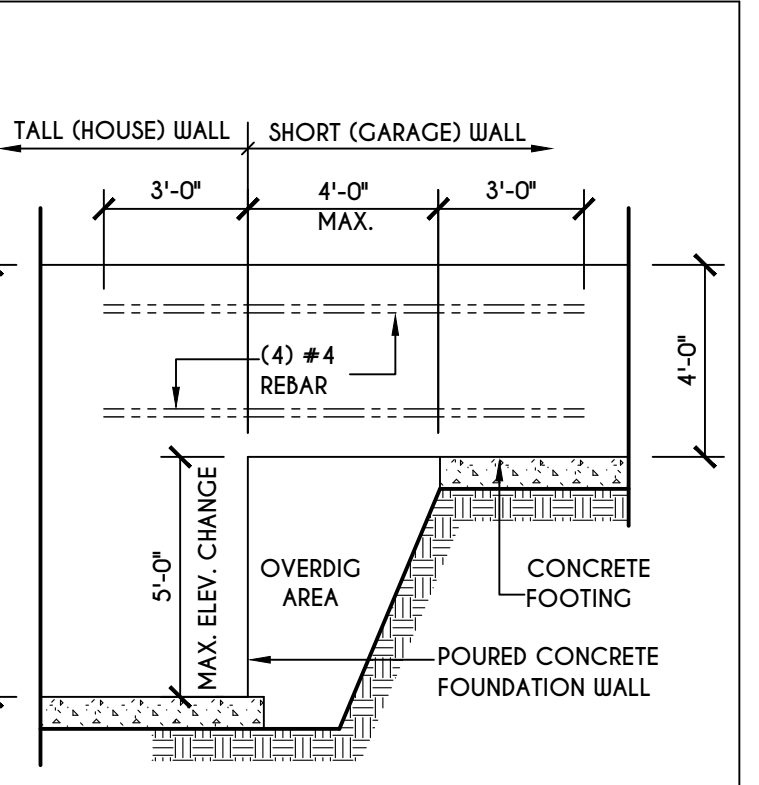
**3**  
**N-1**  
2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



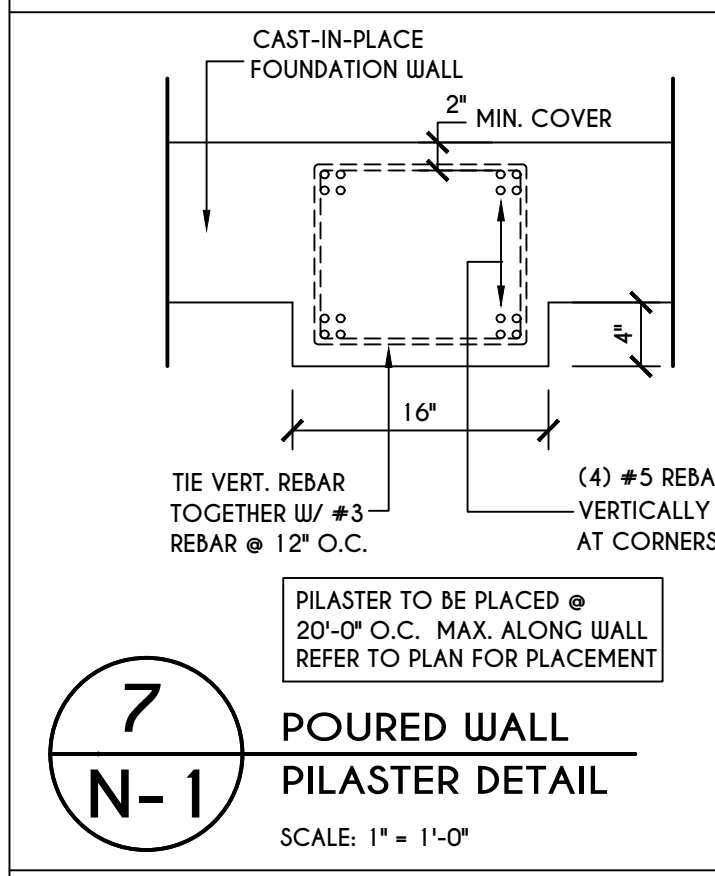
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**N-1**  
POURED CONC. WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



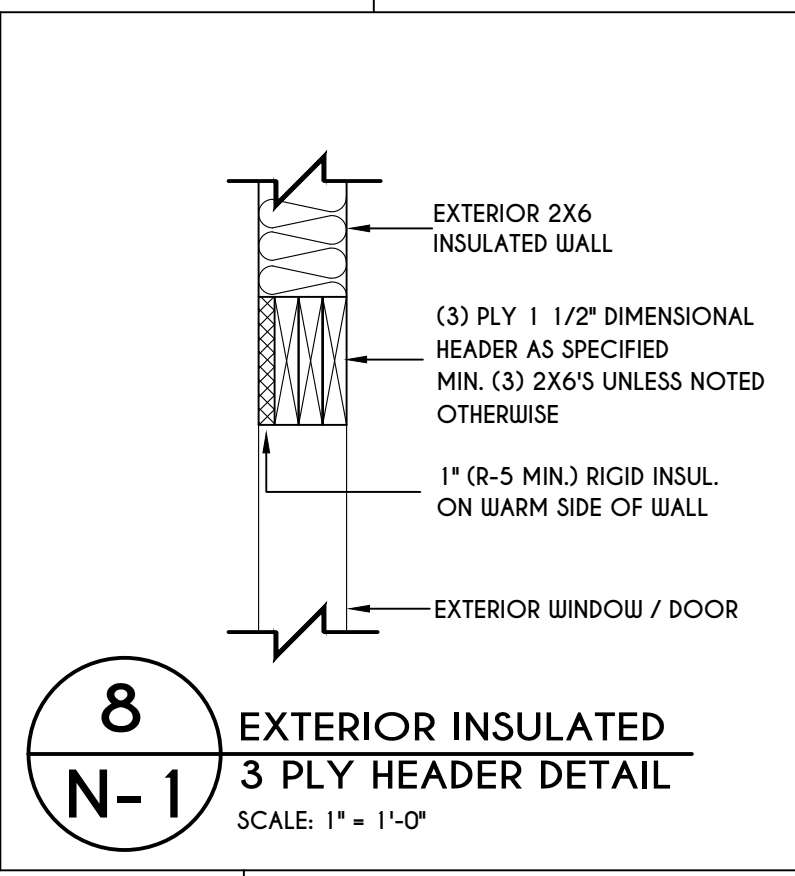
**5**  
**N-1**  
C.M.U. JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



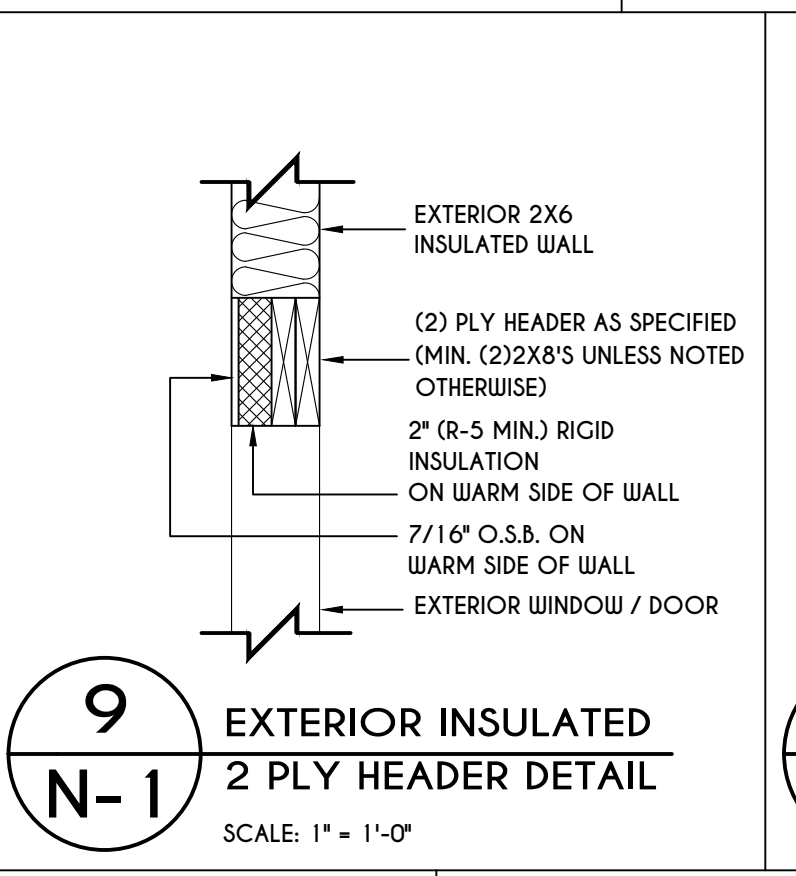
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**N-1**  
POURED WALL JUMP FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



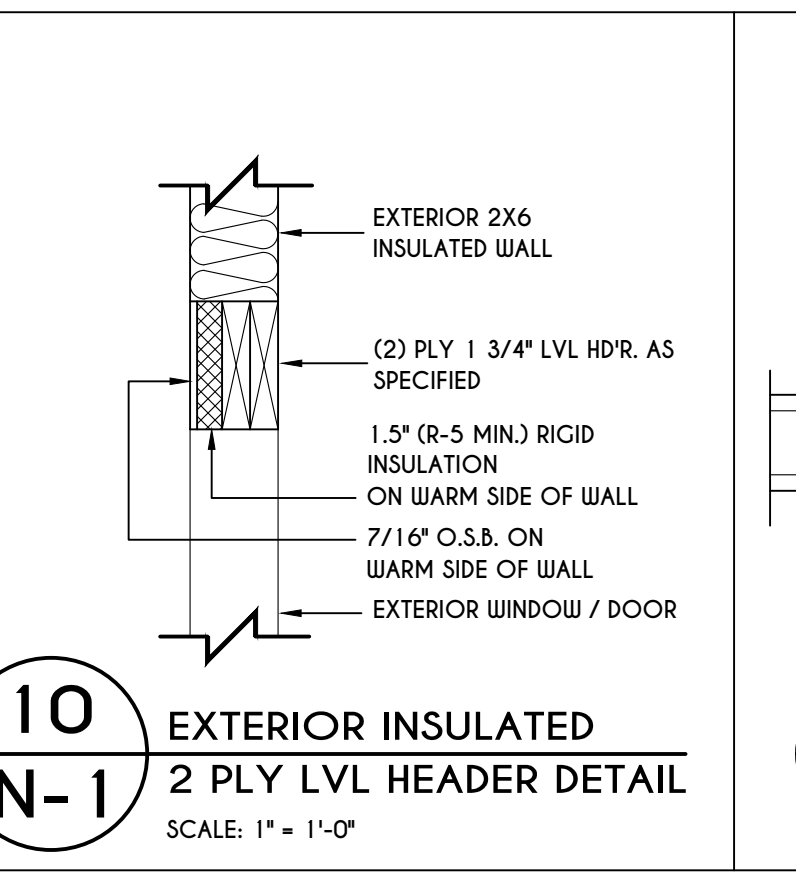
**7**  
**N-1**  
POURED WALL PILASTER DETAIL  
SCALE: 1" = 1'-0"



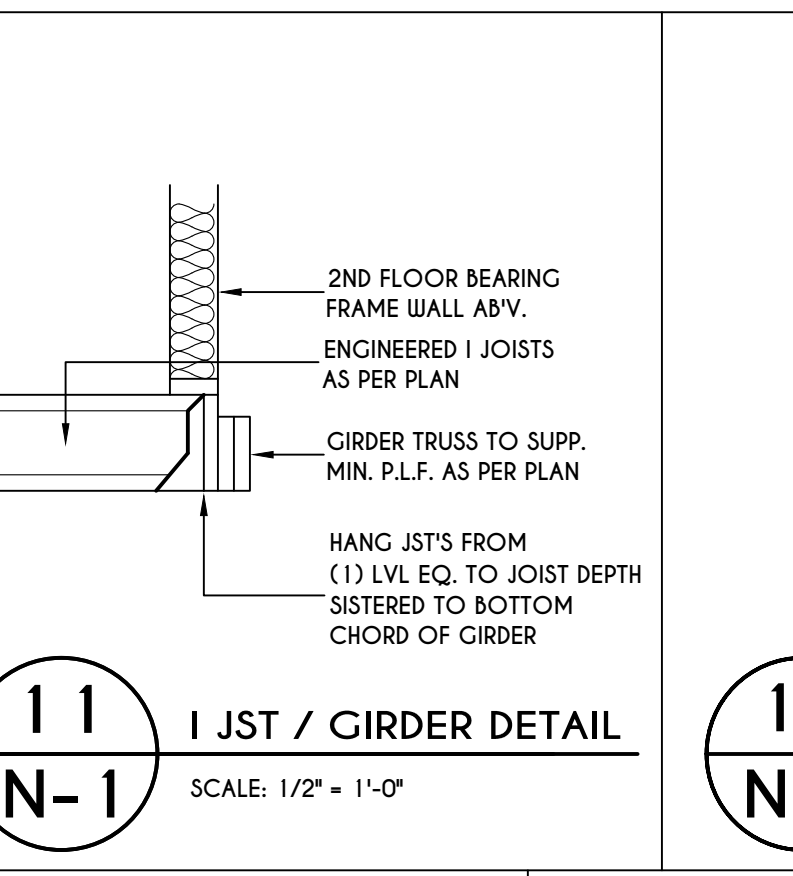
**8**  
**N-1**  
EXTERIOR INSULATED 3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



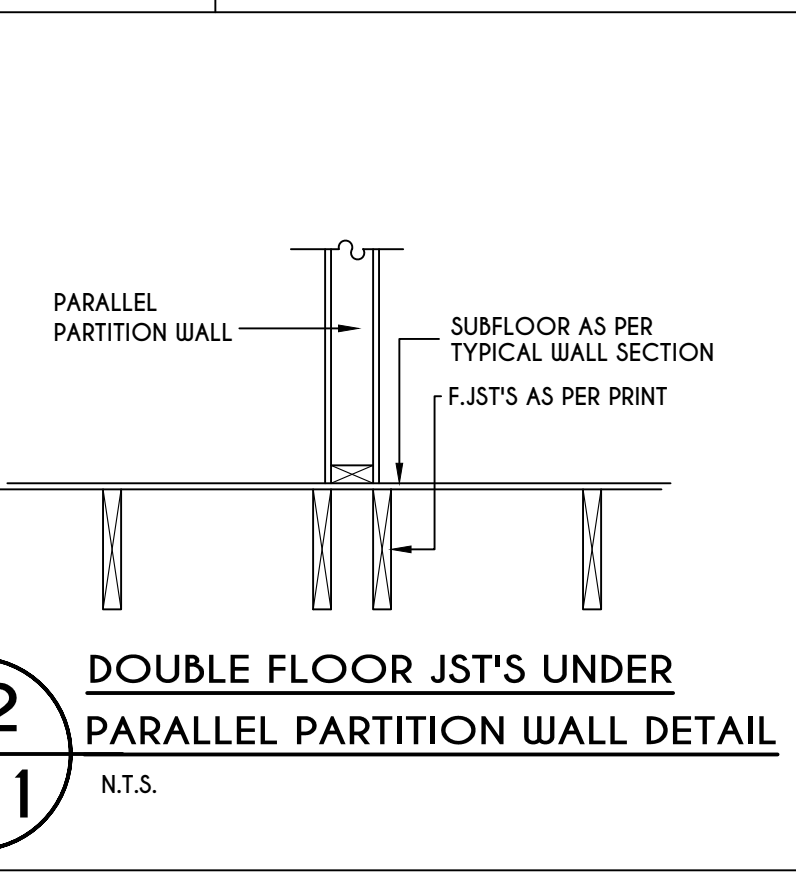
**9**  
**N-1**  
EXTERIOR INSULATED 2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



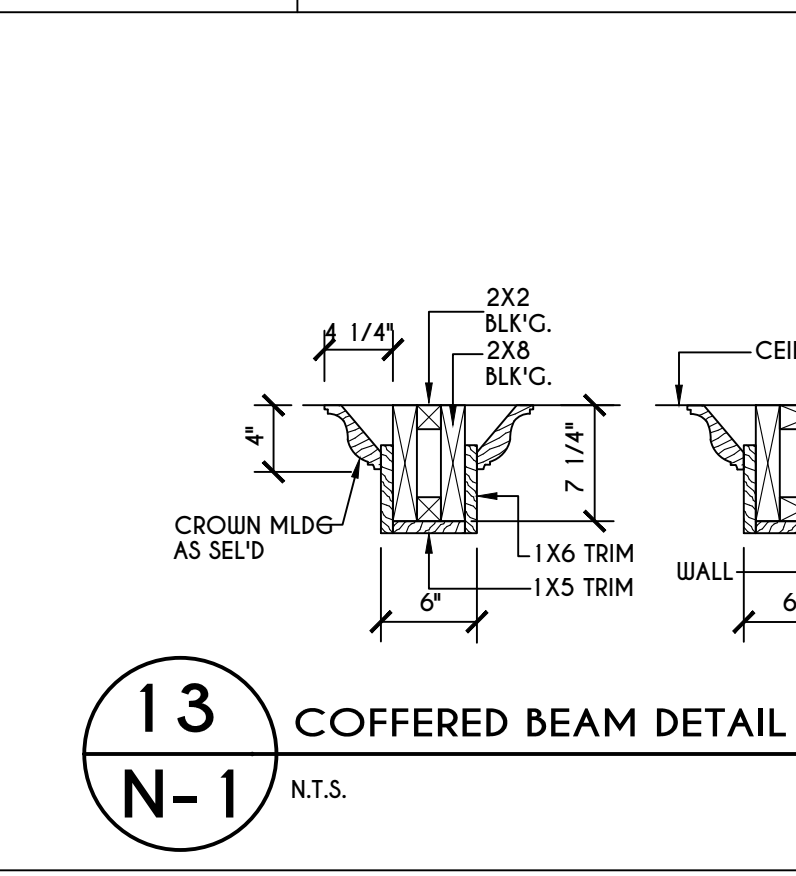
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**N-1**  
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



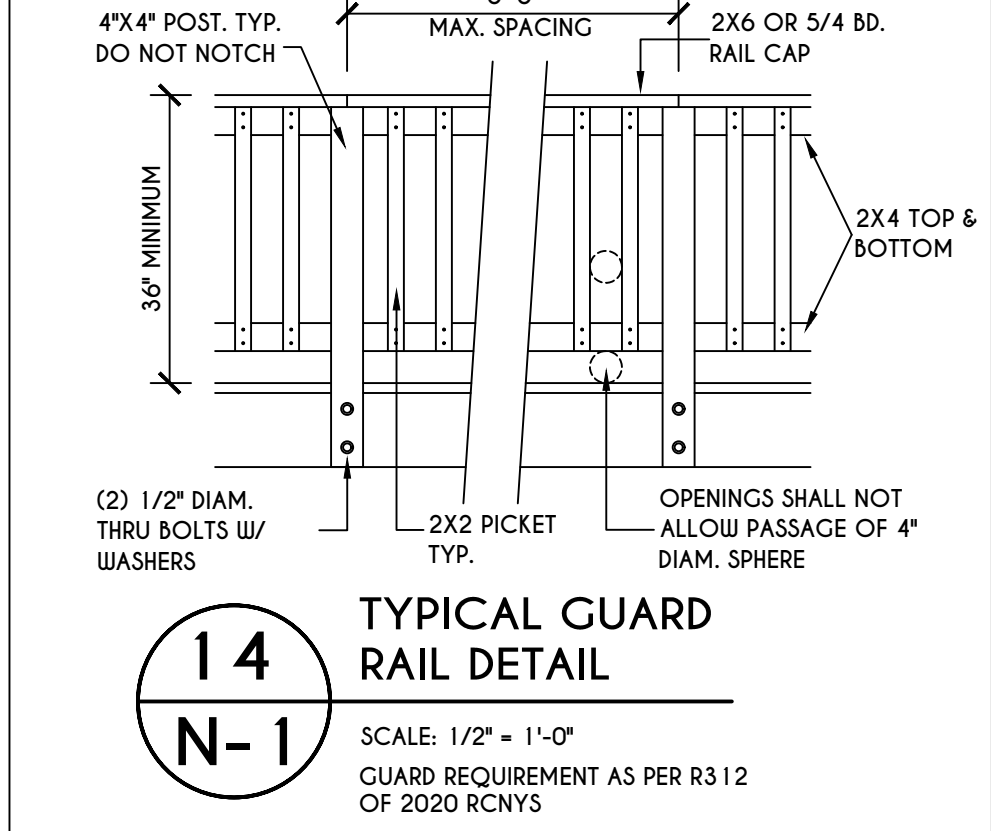
**11**  
**N-1**  
I JOIST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



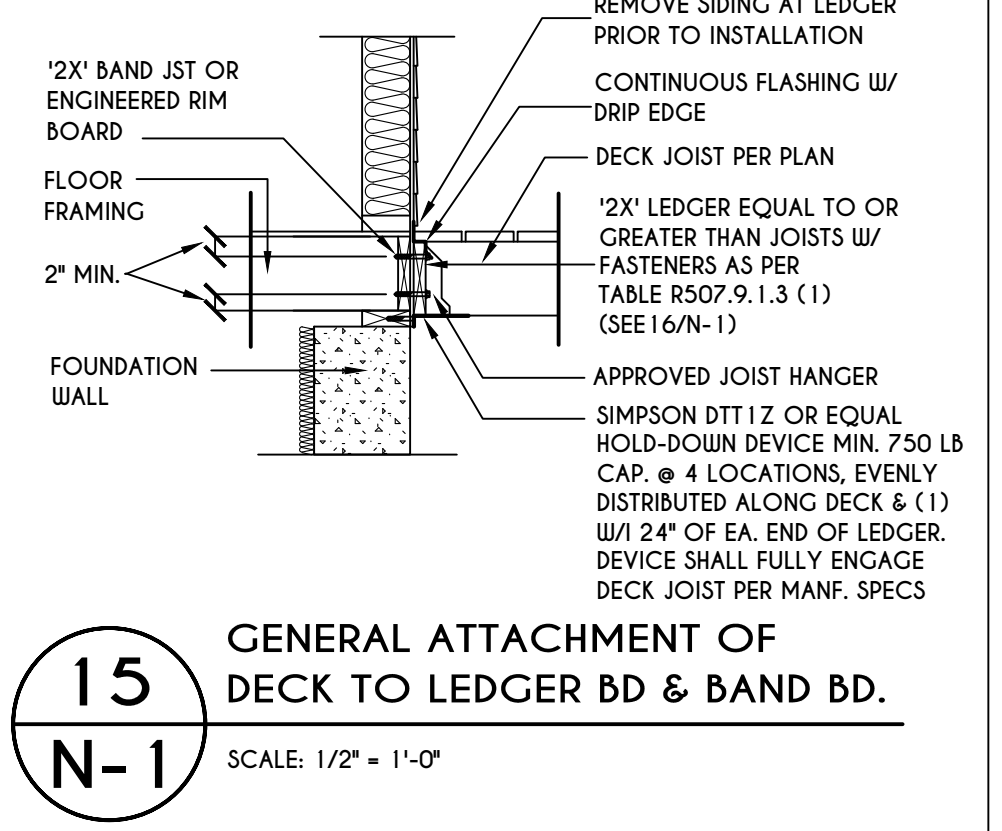
**12**  
**N-1**  
DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITION WALL DETAIL  
N.T.S.



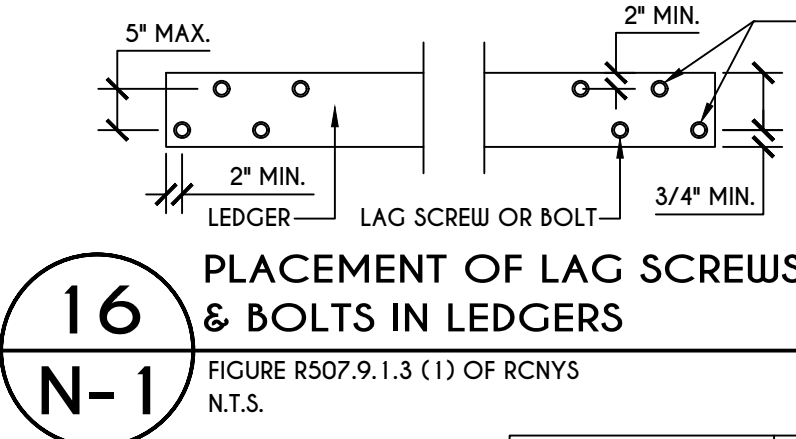
**13**  
**N-1**  
COFFERED BEAM DETAIL  
N.T.S.



**14**  
**N-1**  
TYPICAL GUARD RAIL DETAIL  
SCALE: 1/2" = 1'-0"  
GUARD REQUIREMENTS AS PER R3 12 OF 2020 RCNYS



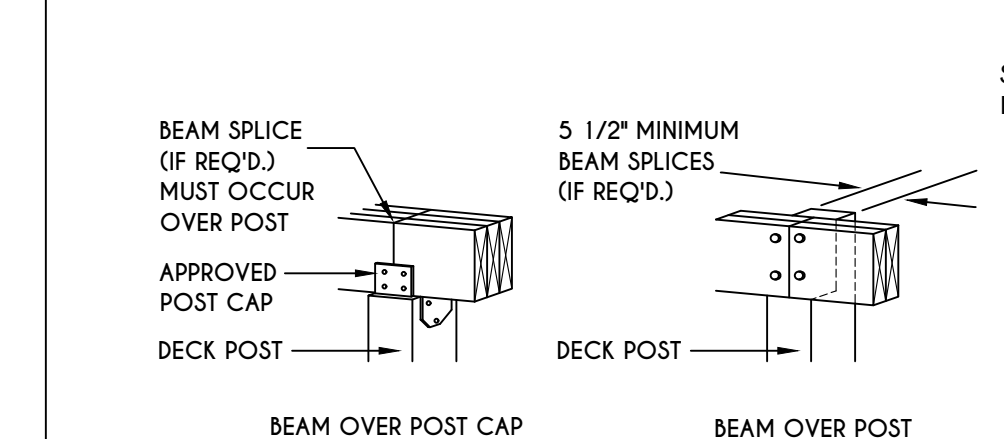
**15**  
**N-1**  
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"



**16**  
**N-1**  
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS  
FIGURE R507.9.1.3 (1) OF RCNYS  
N.T.S.

TABLE R507.9.1.3 (1) OF RCNYS  
DECK LEDGER CONNECTION TO BAND JOIST  
ON-CENTER SPACING OF FASTENERS (IN.)

CONNECTION DETAILS	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

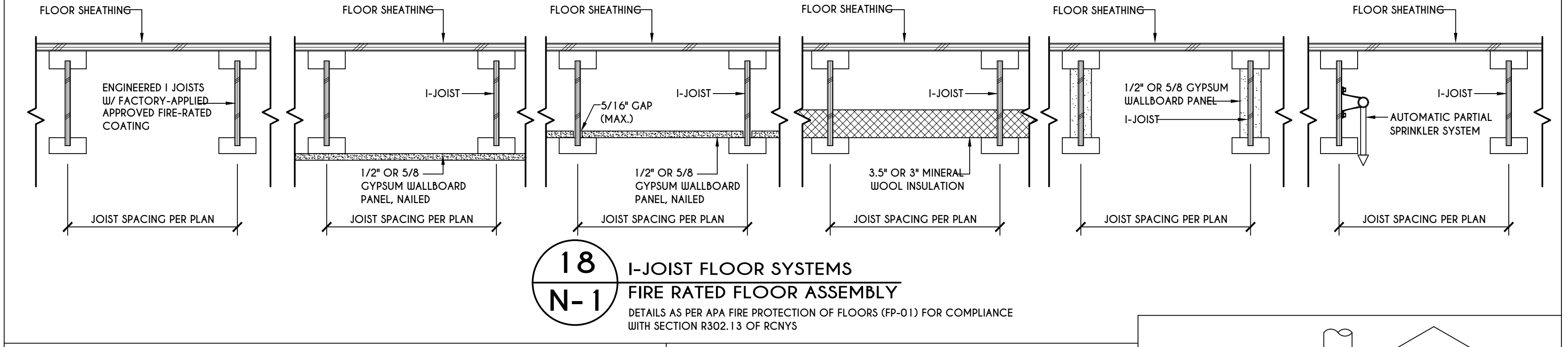


**17**  
**N-1**  
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION  
N.T.S.

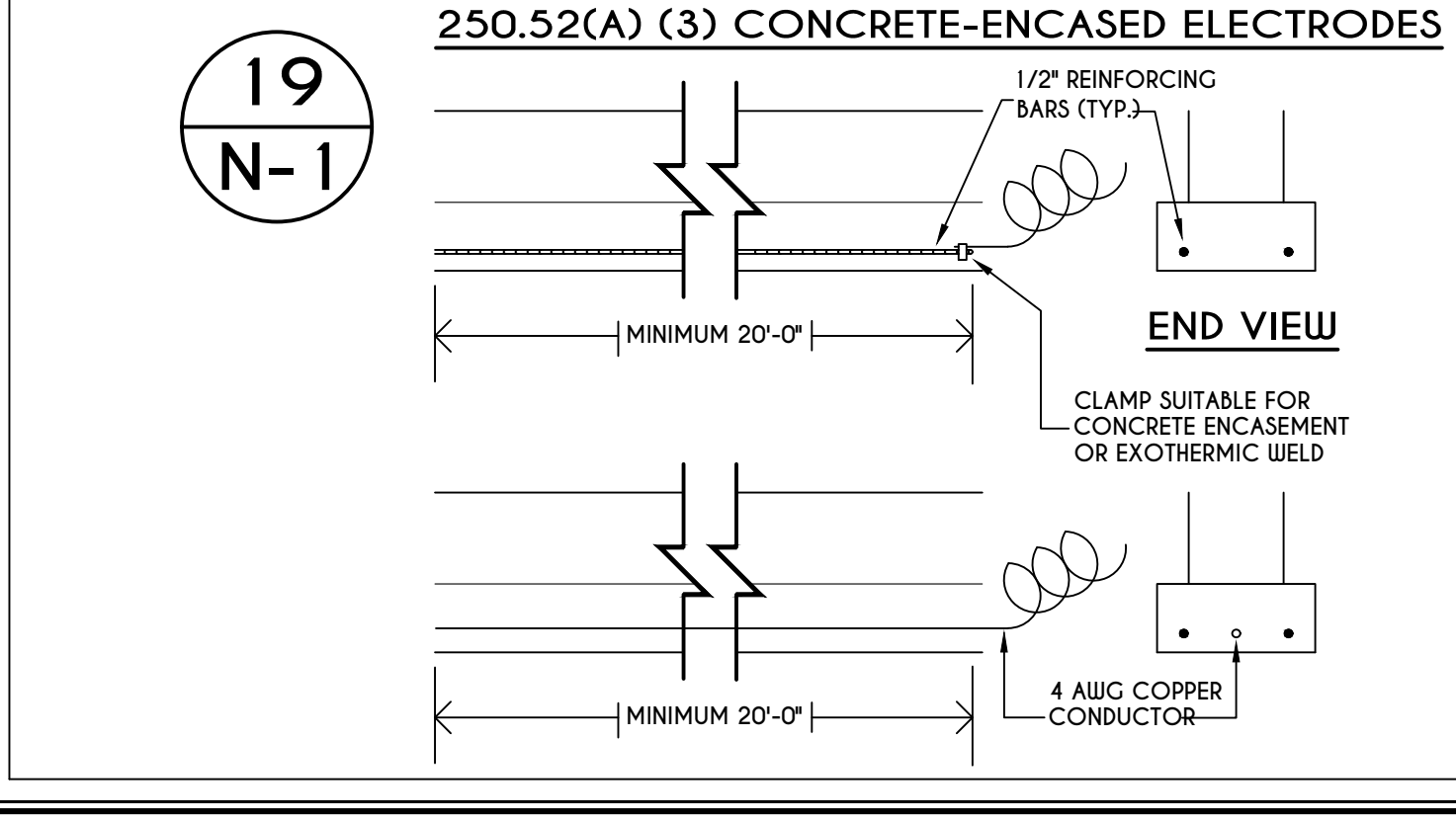
TABLE R507.4  
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT <sup>a,b</sup> (feet-inches)
4 x 4	6'-9"
4 x 6	8'
6 x 6	14'
8 x 8	14'

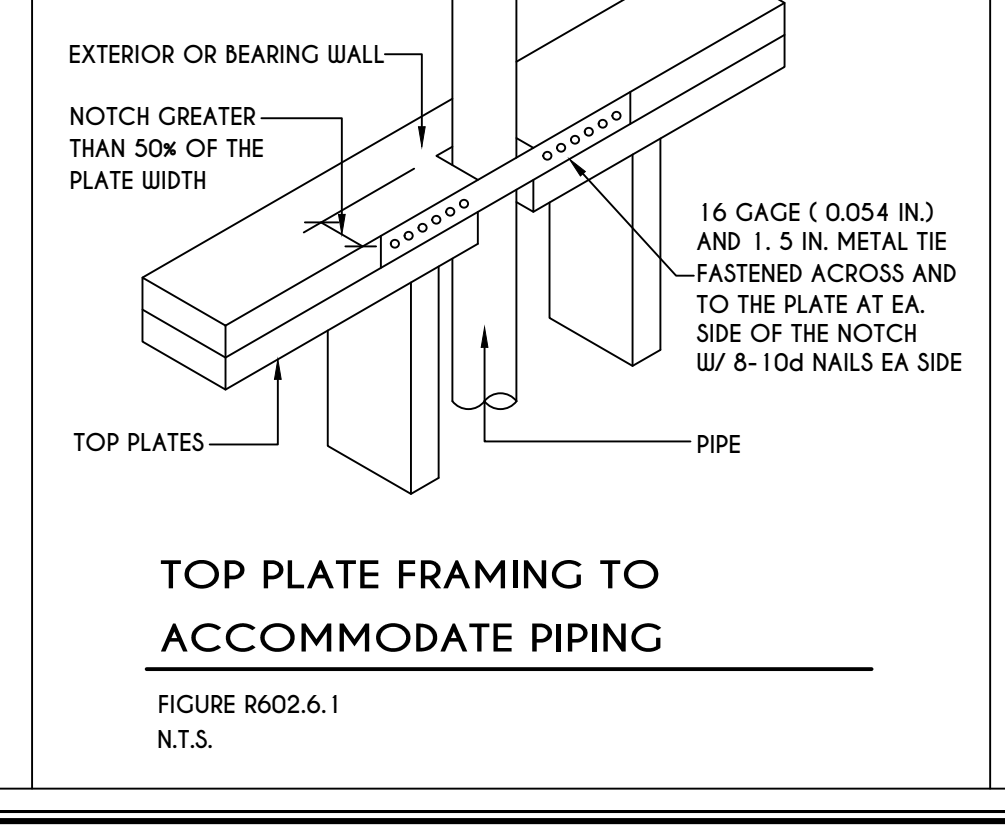
a. MEASURED TO UNDERSIDE OF BEAM  
b. BASED ON 40 psf LIVE LOAD  
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



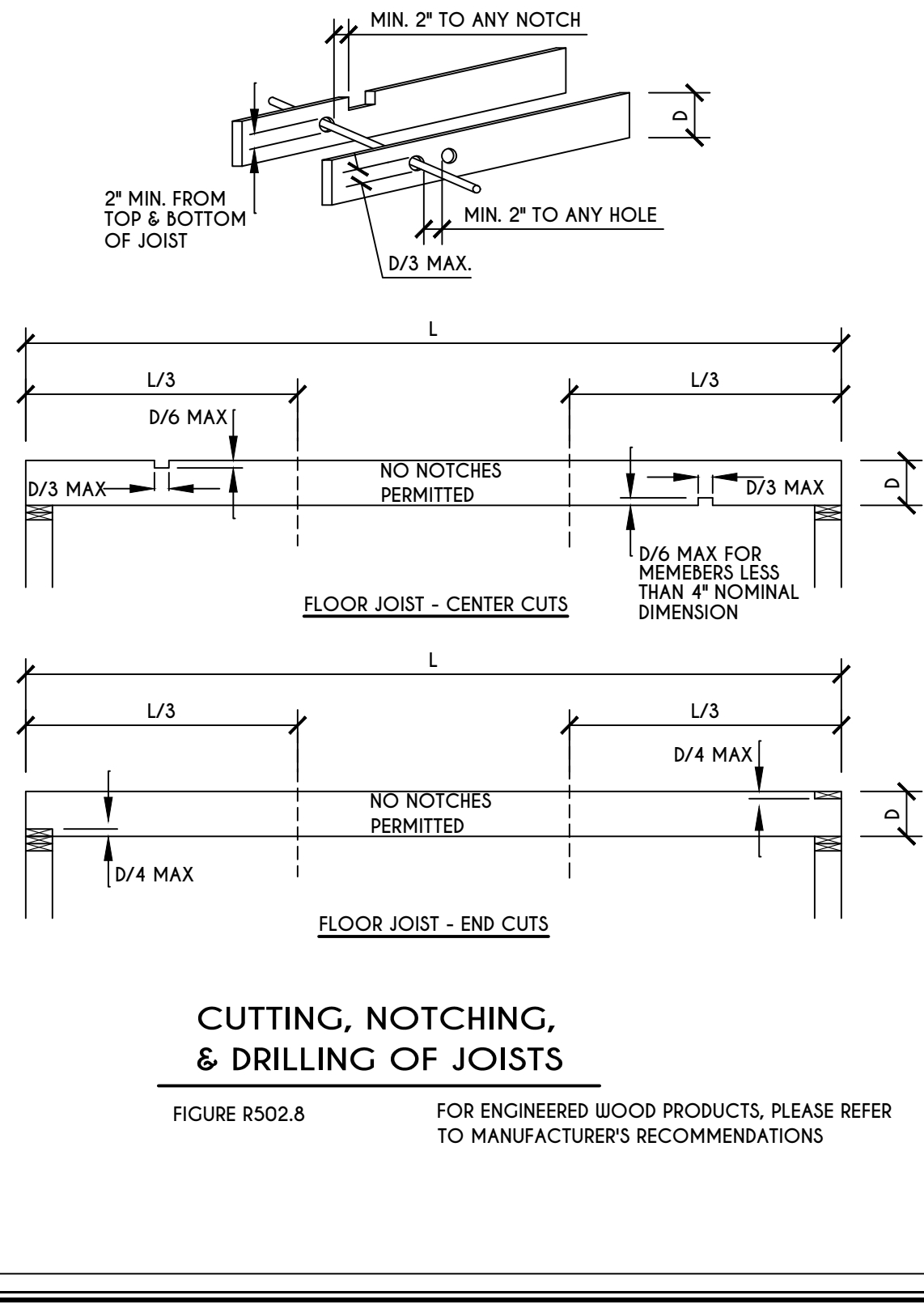
**18**  
**N-1**  
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



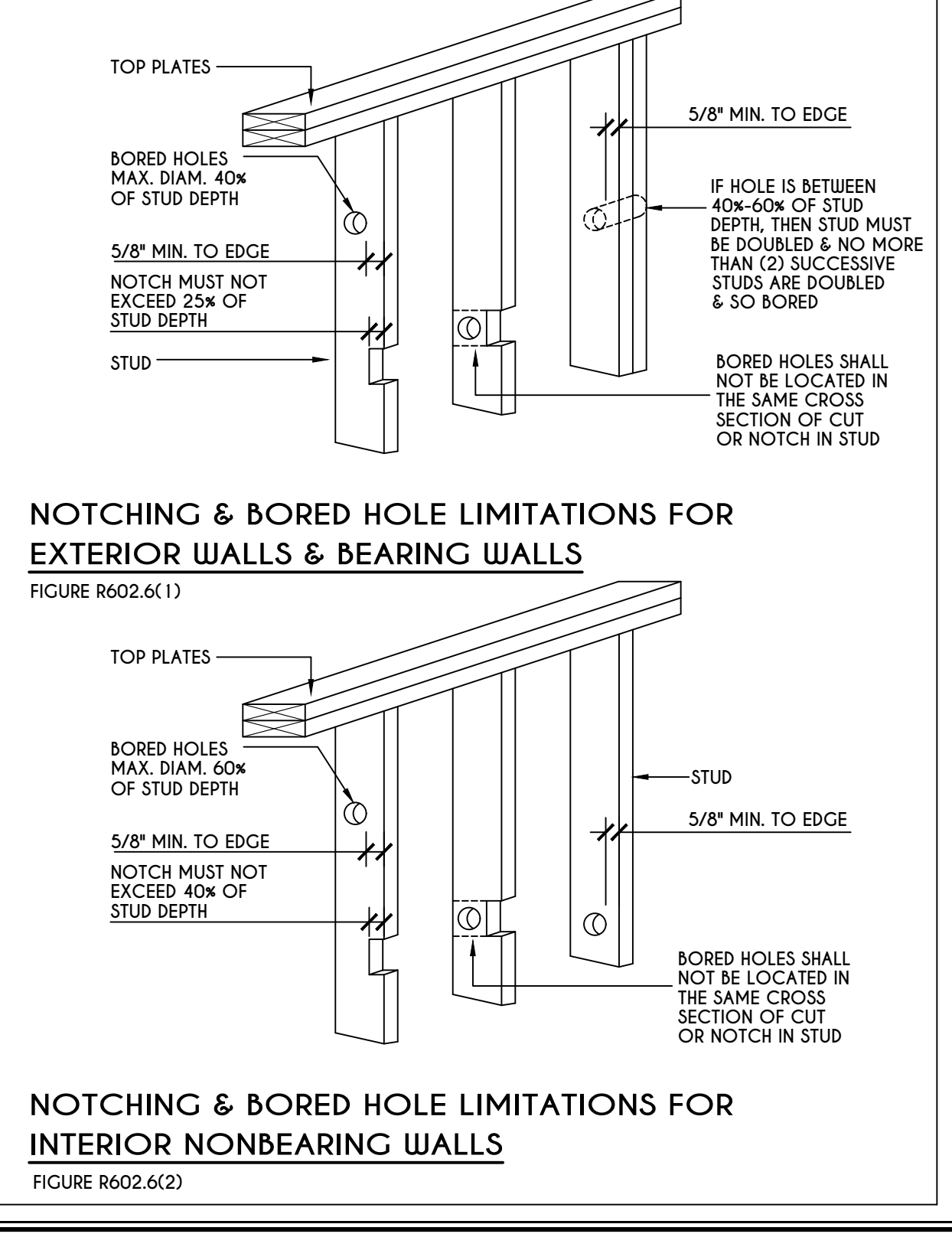
**19**  
**N-1**  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
END VIEW  
CLAMP SUITABLE FOR CONCRETE ENCASUREMENT OR EXOTHERMIC WELD  
4 AWG COPPER CONDUCTOR  
MINIMUM 20'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING  
FIGURE R602.6.1  
N.T.S.

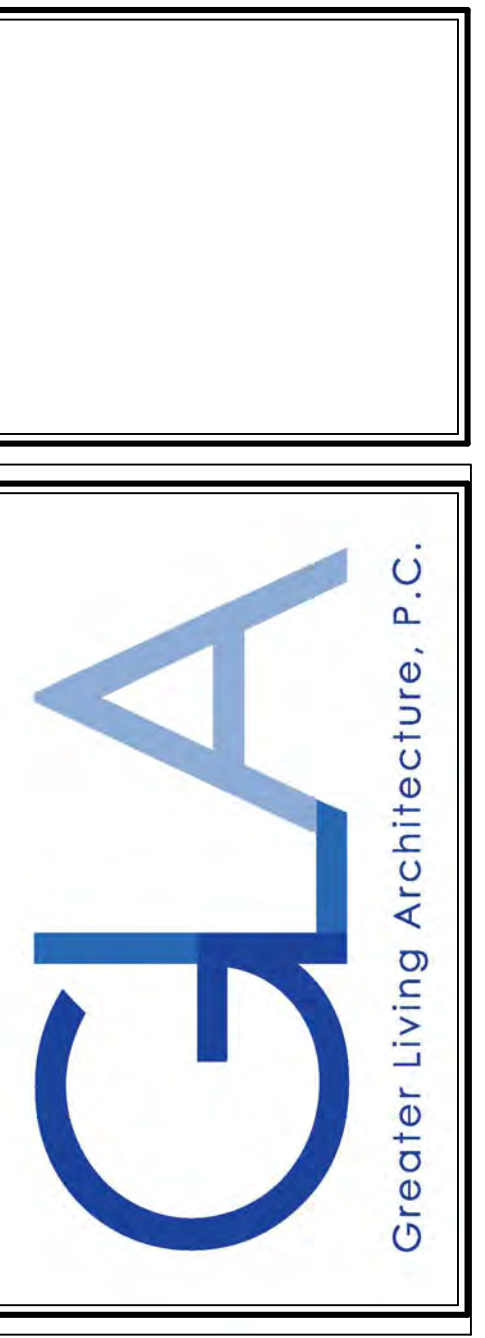


CUTTING, NOTCHING, & DRILLING OF JOISTS  
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS  
FIGURE R602.6(1)  
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS  
FIGURE R602.6(2)

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

SPEC HOUSE  
LOT 84 COVENTRY RIDGE  
PITTSFORD, NY

**BUILDER:**

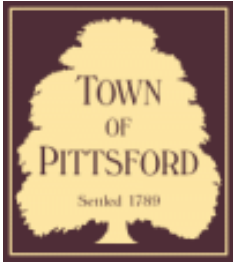
COVENTRY RIDGE  
BUILDING CORP.

**DETAILS**  
GLA PLAN 2926

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15420G	sheet: N 1







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000087**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 59 Coventry Ridge ,

**Tax ID Number:** 177.04-1-40

**Zoning District:**

**Owner:**

**Applicant:** Spall Homes

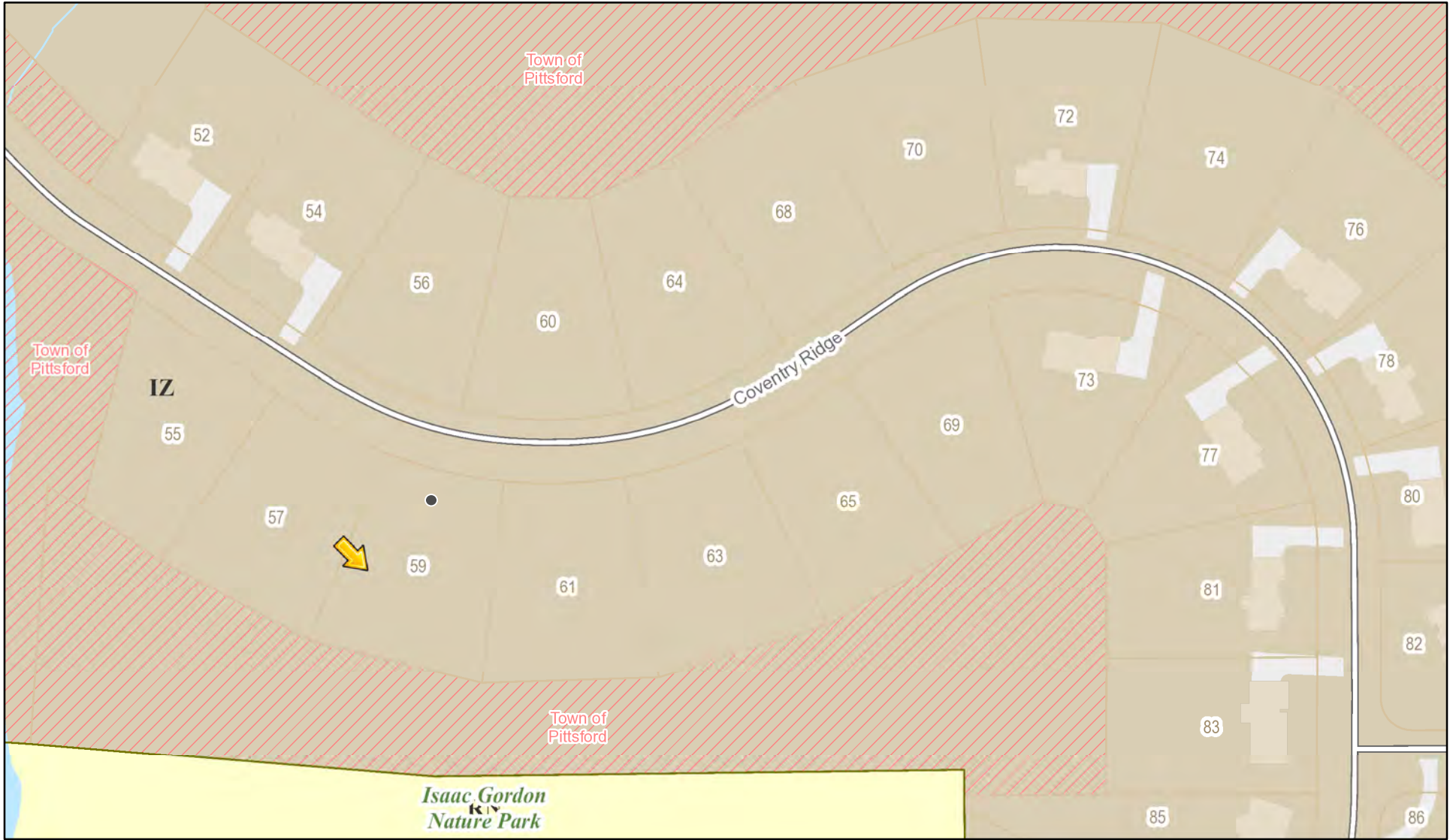
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

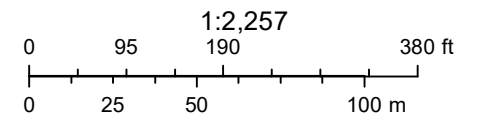
**Project Description:** Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3760 square feet of livable area and is located in the Coventry Ridge Subdivision.

**Meeting Date:** August 10, 2023

# RN Residential Neighborhood Zoning



Printed July 20, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

SPEC HOME  
 LOT 85 COVENTRY RIDGE  
 PITTSFORD, NY

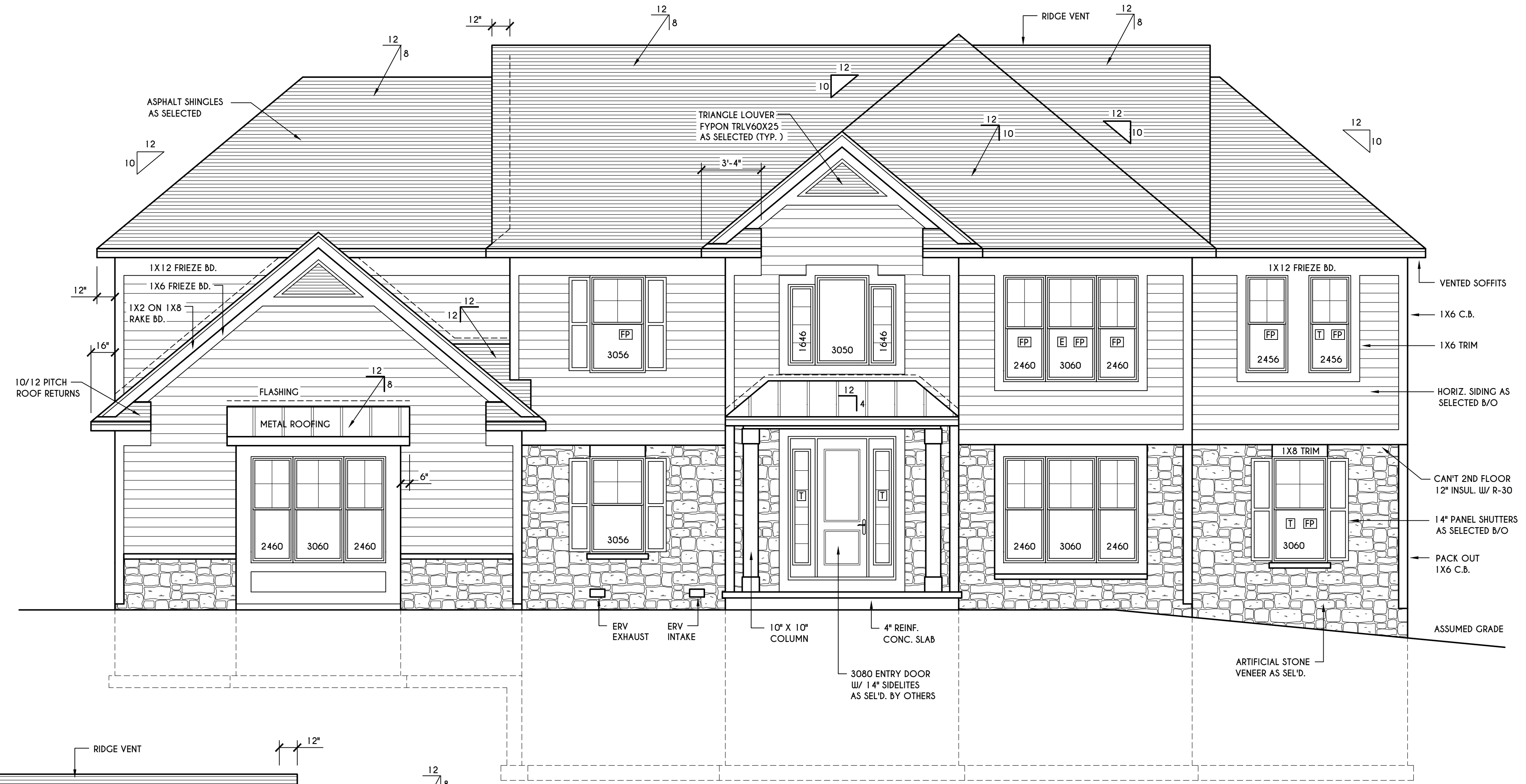
**BUILDER:**

COVENTRY RIDGE  
 BUILDING CORP.

**ELEVATIONS**

**GLA PLAN 3761**

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15346F	sheet: 1 / 6



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
 FIRST FLOOR LIVING AREA = 1831 SQ.FT.  
 SECOND FLOOR LIVING AREA = 1930 SQ.FT.  
 TOTAL LIVING AREA = 3761 SQ.FT.  
 TOTAL CONDITIONED VOLUME = 55,370 CU.FT.



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)  
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)  
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS<sup>a,b</sup>

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25x	33x	50x	66x	75x	100x
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.  
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

**WINDOWS:** VUID SOLAR GAIN GLASS W/ ARGON  
 U-FACTOR ..... 0.30  
 SHGC ..... 0.54

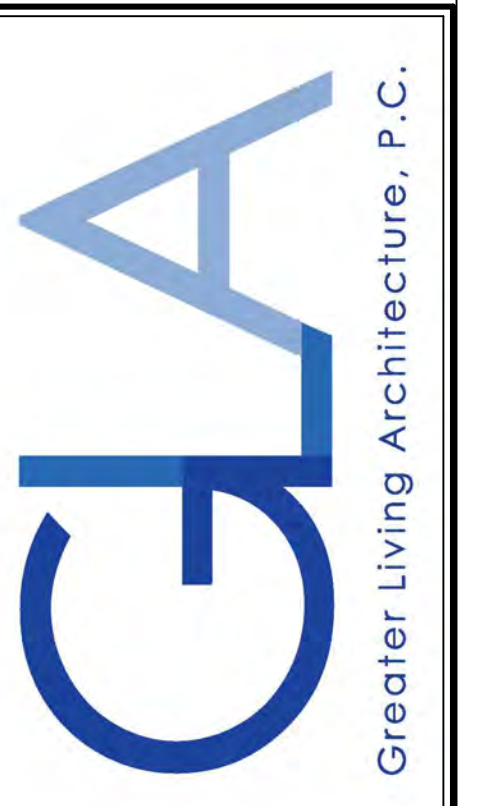
**DOORS:** SELECTION BY OWNER  
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SWING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCNYS

**WINDOW / DOOR LEGEND:**  
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS  
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS  
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**GENERAL NOTES:**  
 ALL RAKES TO BE 12" & OVERHANGS TO BE 16" UNLESS NOTED OTHERWISE  
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT  
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

**MECHANICAL VENTILATION RATE:**  
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS  
 SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 ( PAGE 1 )

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**REVISIONS:**

DATE	BY	DESCRIPTION

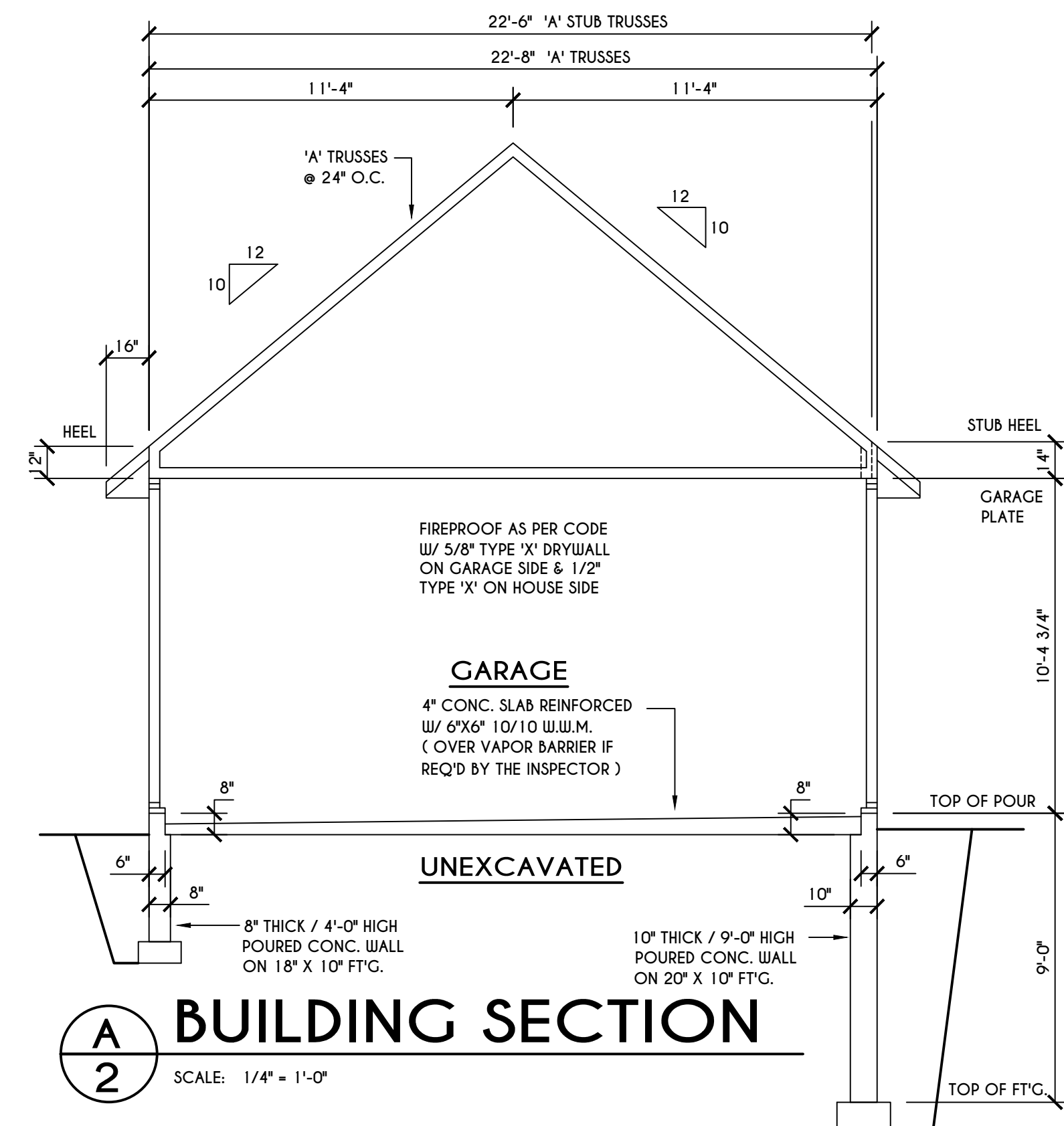
**CLIENT/LOCATION:**  
 SPEC HOME  
 LOT 85 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

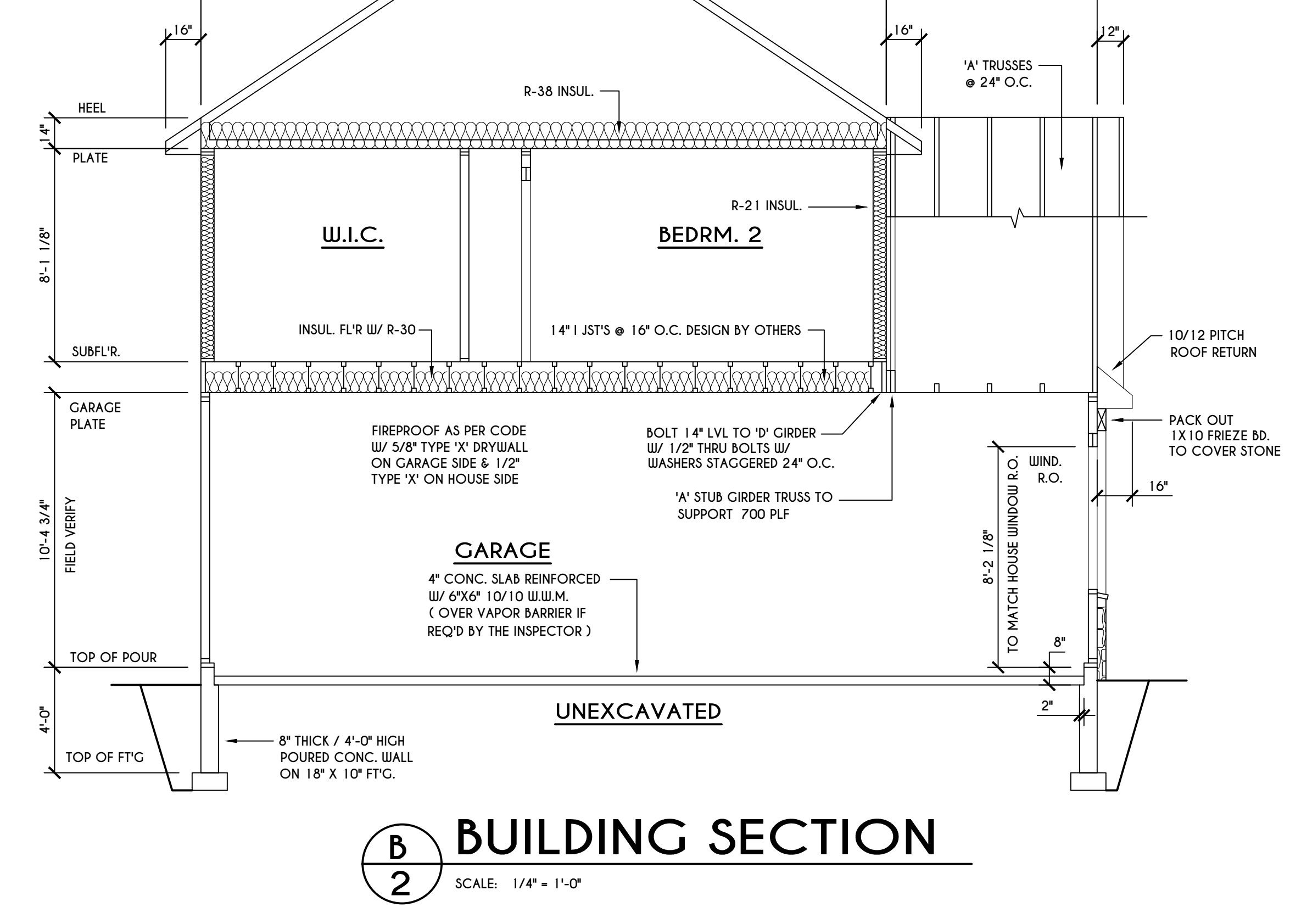
**ELEVATIONS**

**GLA PLAN 3761**

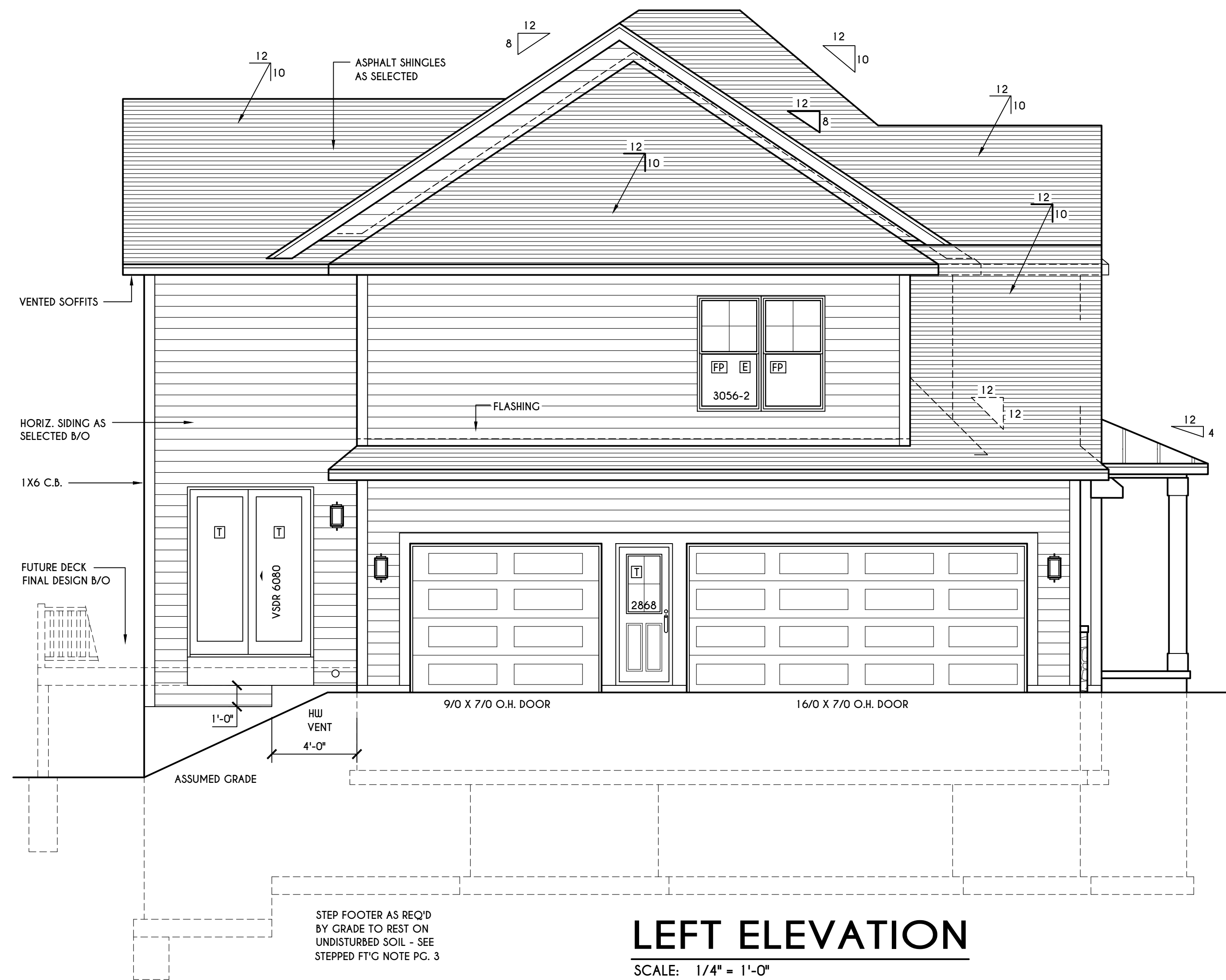
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scale: AS NOTED	date: 7 / 23
PROJECT: 15346F	sheet: <b>2</b> <b>6</b>



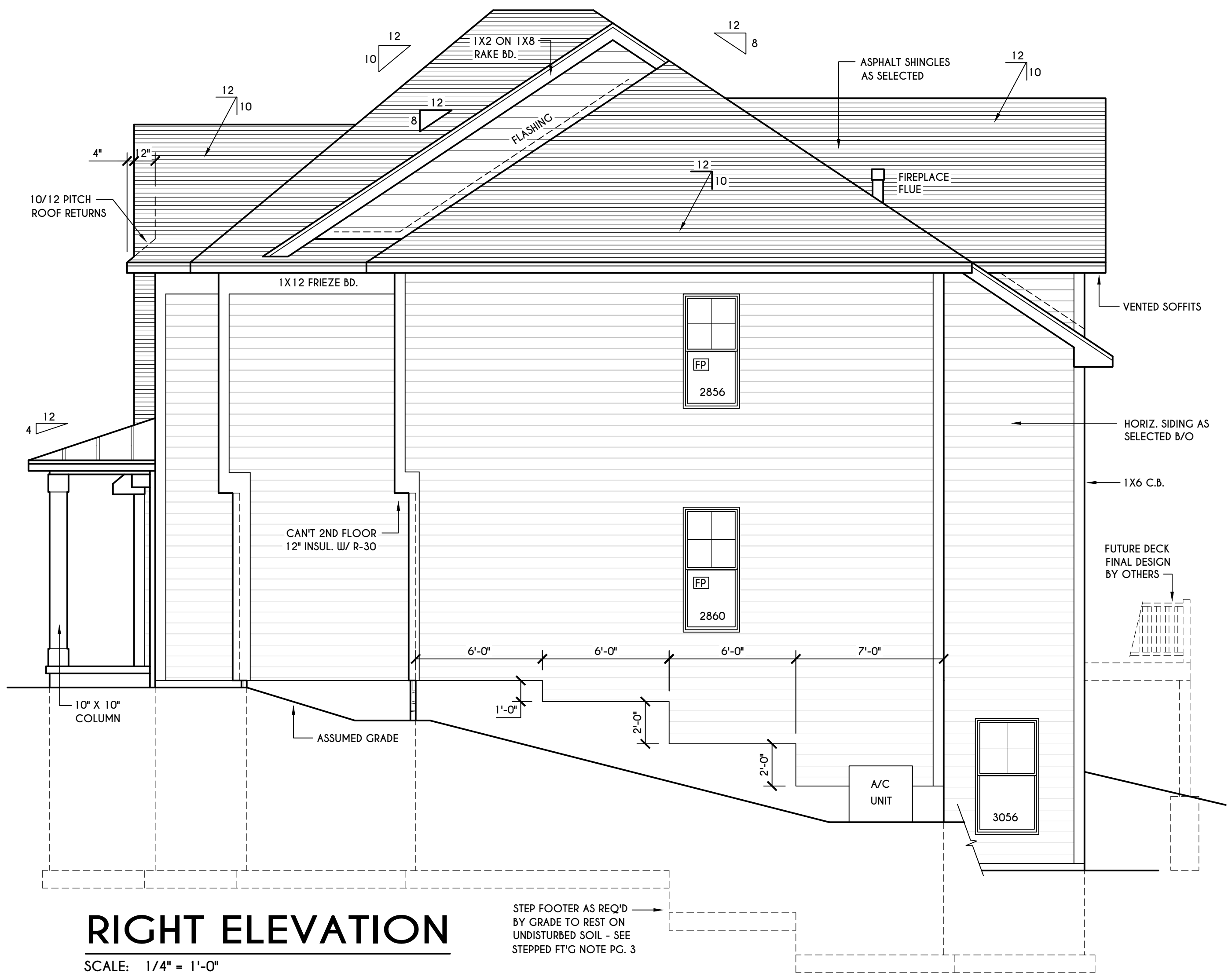
**A BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



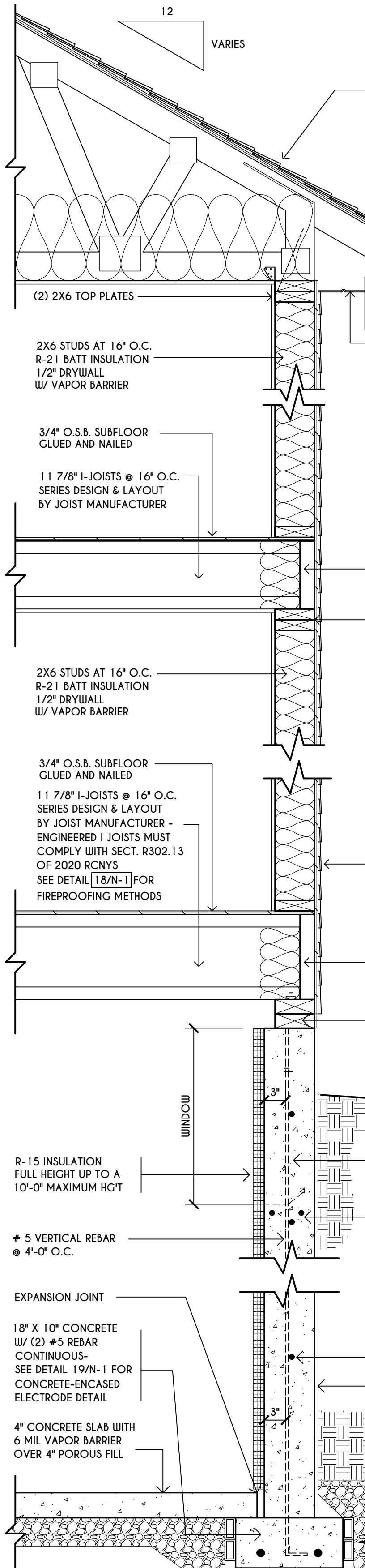
**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

STEP FOOTER AS REQ'D BY GRADE TO REST ON UNDISTURBED SOIL - SEE STEPPED FT'G NOTE PG. 3

STEP FOOTER AS REQ'D BY GRADE TO REST ON UNDISTURBED SOIL - SEE STEPPED FT'G NOTE PG. 3

**TRUSS EAVE CONSTRUCTION**

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS  
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDIUC 15600 TRUSS SCREW OR EQUAL  
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING  
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE  
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC  
 R-38 CEILING INSULATION



**FIRST FLOOR**

2X6 STUDS @ 16" O.C. R-21 BATT INSULATION 1/2" DRYWALL W/ VAPOR BARRIER  
 3/4" O.S.B. SUBFLOOR GLUED AND NAILED  
 11 7/8" I-JOISTS @ 16" O.C. SERIES DESIGN & LAYOUT BY JOIST MANUFACTURER  
 11 7/8" LSL RIM JOIST W/ R-21 INSULATION  
 (2) 2X6 TOP PLATES  
 2X6 STUDS @ 16" O.C. R-21 BATT INSULATION 1/2" DRYWALL W/ VAPOR BARRIER  
 3/4" O.S.B. SUBFLOOR GLUED AND NAILED  
 11 7/8" I-JOISTS @ 16" O.C. SERIES DESIGN & LAYOUT BY JOIST MANUFACTURER - ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS  
 11 7/8" LSL RIM JOIST W/ R-21 INSULATION  
 (2) 2X6 PRESSURE TREATED SILL PLATE WITH SILL SEALER & 1/2" DIAM. / 10" LONG NON-CORROSIVE ANCHOR BOLTS @ 72" O.C.

**BASEMENT / FOUNDATION**

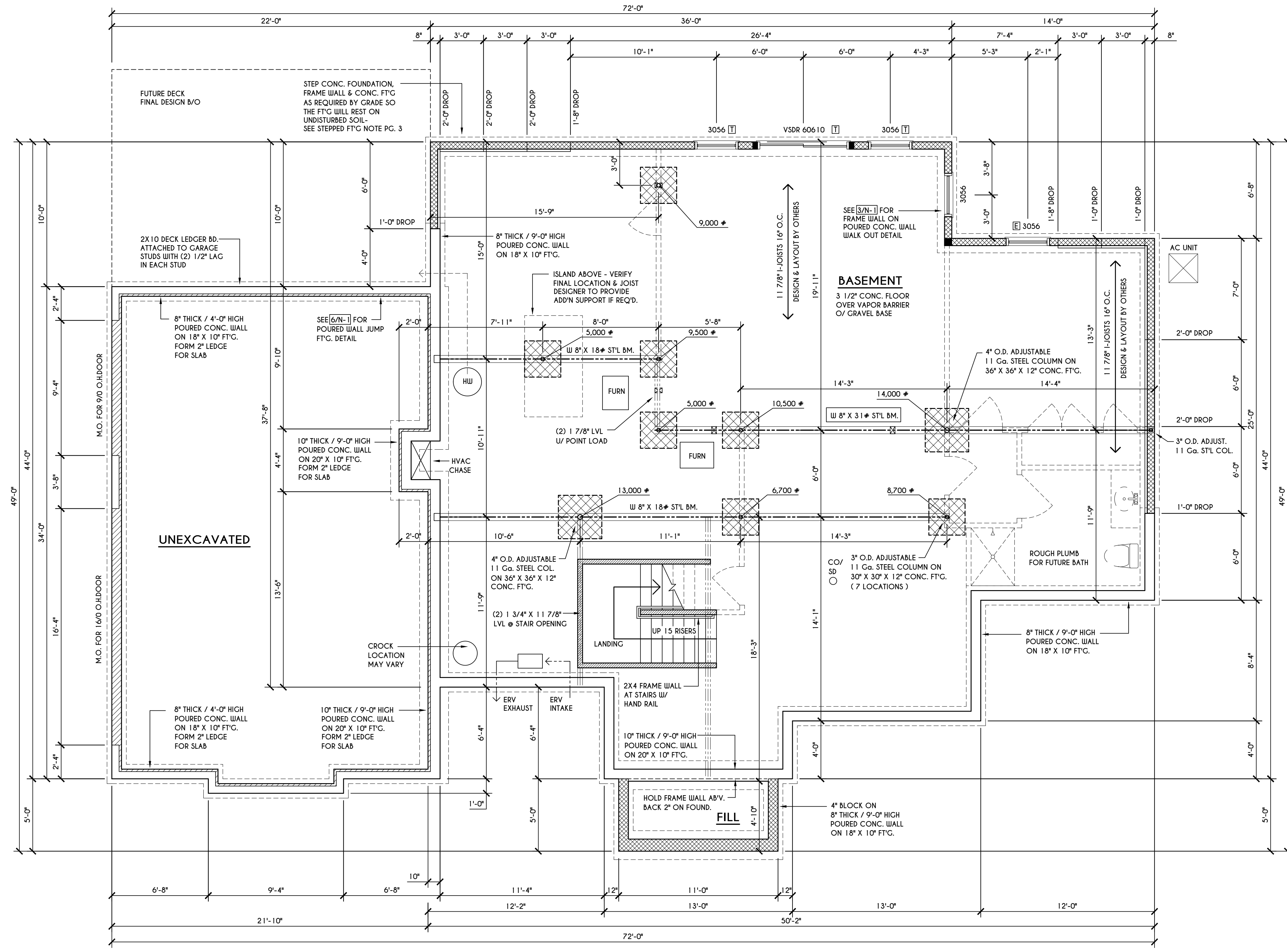
8" THICK / 9'-0" HIGH (4000 psi) POURED CONC. WALL REINFORCED TO COMPLY WITH THE RESIDENTIAL CODE OF NYS  
 (2) #4 BARS AROUND ALL WINDOW OPENINGS, AND SUCH BARS SHALL EXTEND AT LEAST 24" BEYOND THE CORNERS OF OPENINGS.  
 #4 HORIZONTAL REBAR @ 2'-0" O.C.  
 DAMPPROOF AS PER CODE W/ POLYETHYLENE WRAP  
 SOIL BACKFILL GRAVEL BACKFILL  
 8" FORM-A-DRAIN FOUNDATION FOOTING, DRAINAGE, & RADON EVACUATION SYSTEM

**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"

**STEPPED FOOTING NOTE:**

R403.1.5 OF RCNYS SLOPE.  
 THE TOP SURFACE OF THE FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL ( 10% SLOPE ). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL ( 10% SLOPE ).



**BASEMENT & FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD  
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

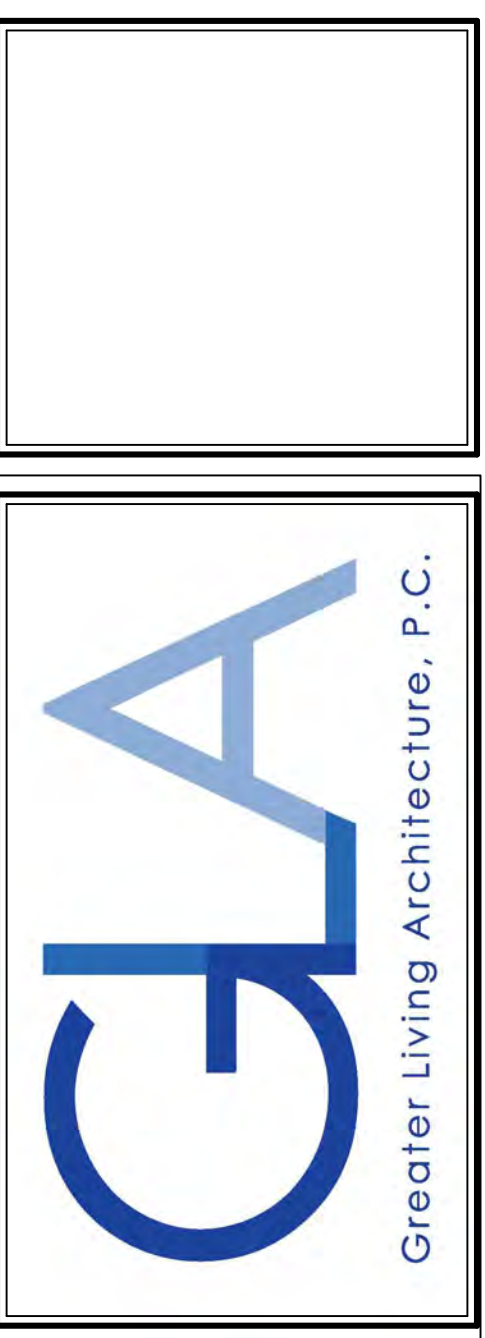
**GENERAL FOUNDATION / BASEMENT NOTES:**

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED  
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.  
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. 2 FOR REINFORCING CHARTS  
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24"  
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 SPEC HOME  
 LOT 85 COVENTRY RIDGE  
 PITTSFORD, NY

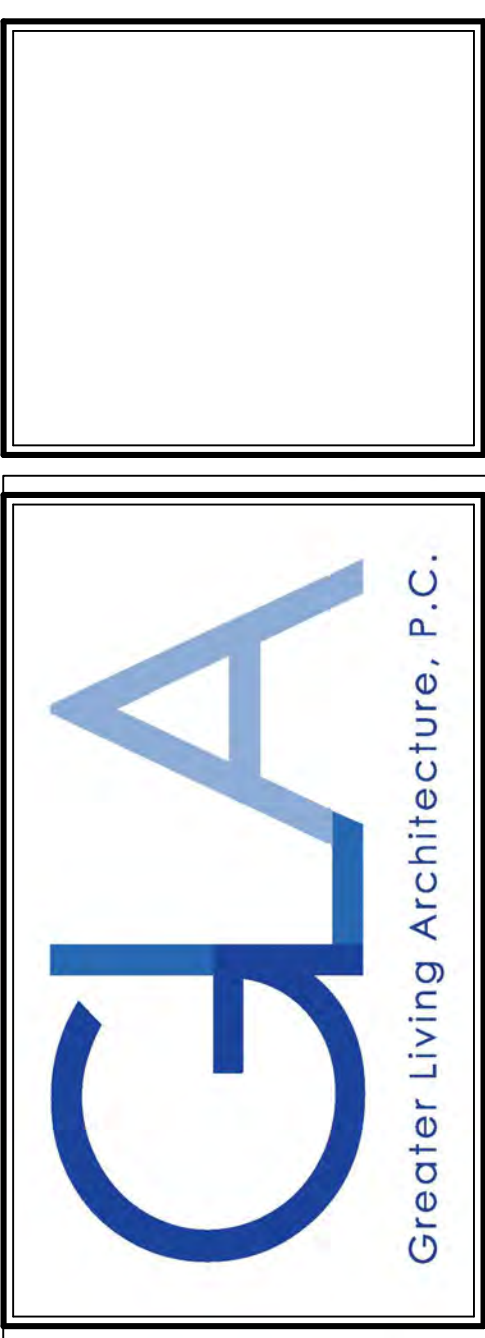
**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**FOUNDATION PLAN**

GLA PLAN 3761

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15346F	sheet: 3 / 6

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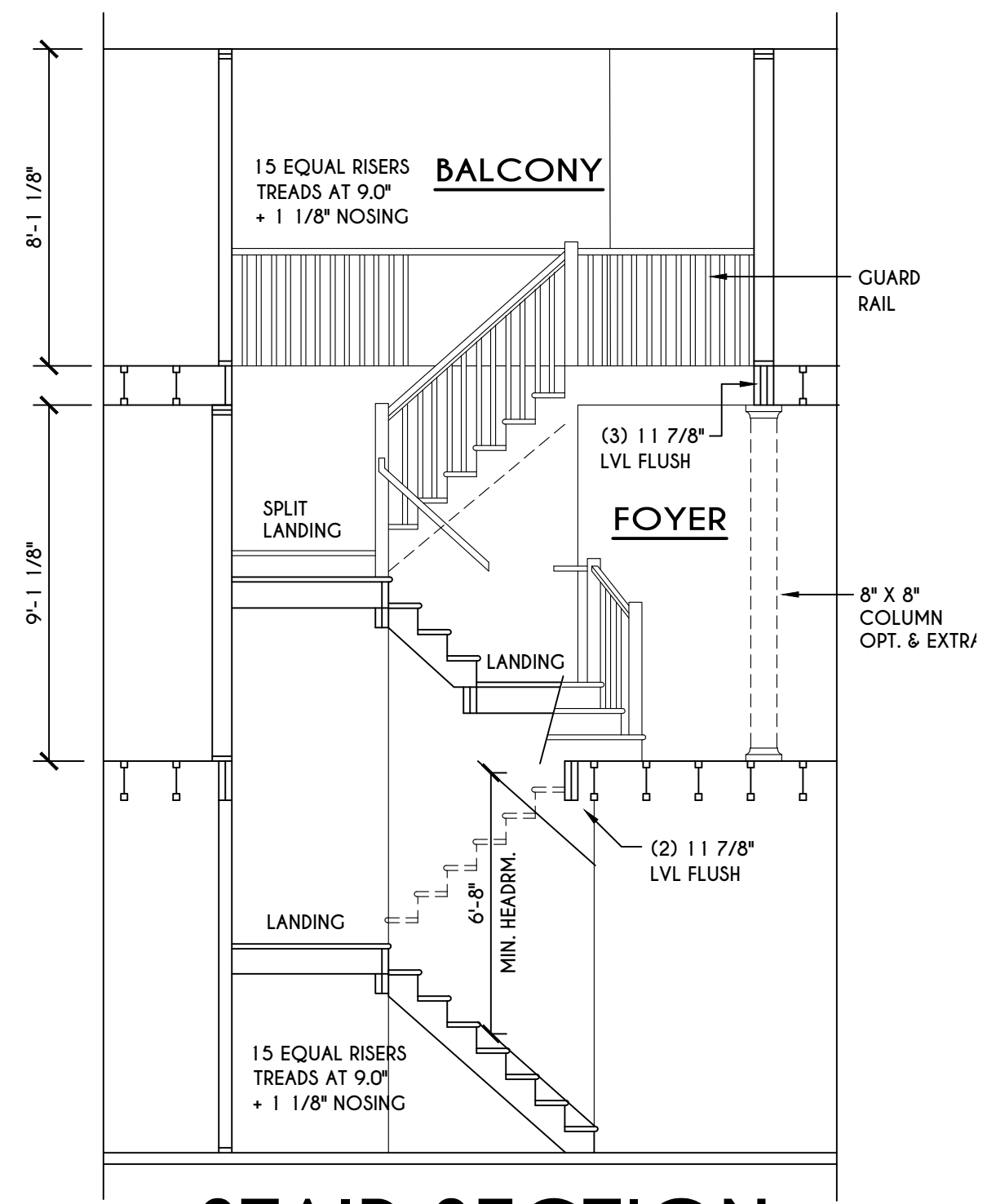
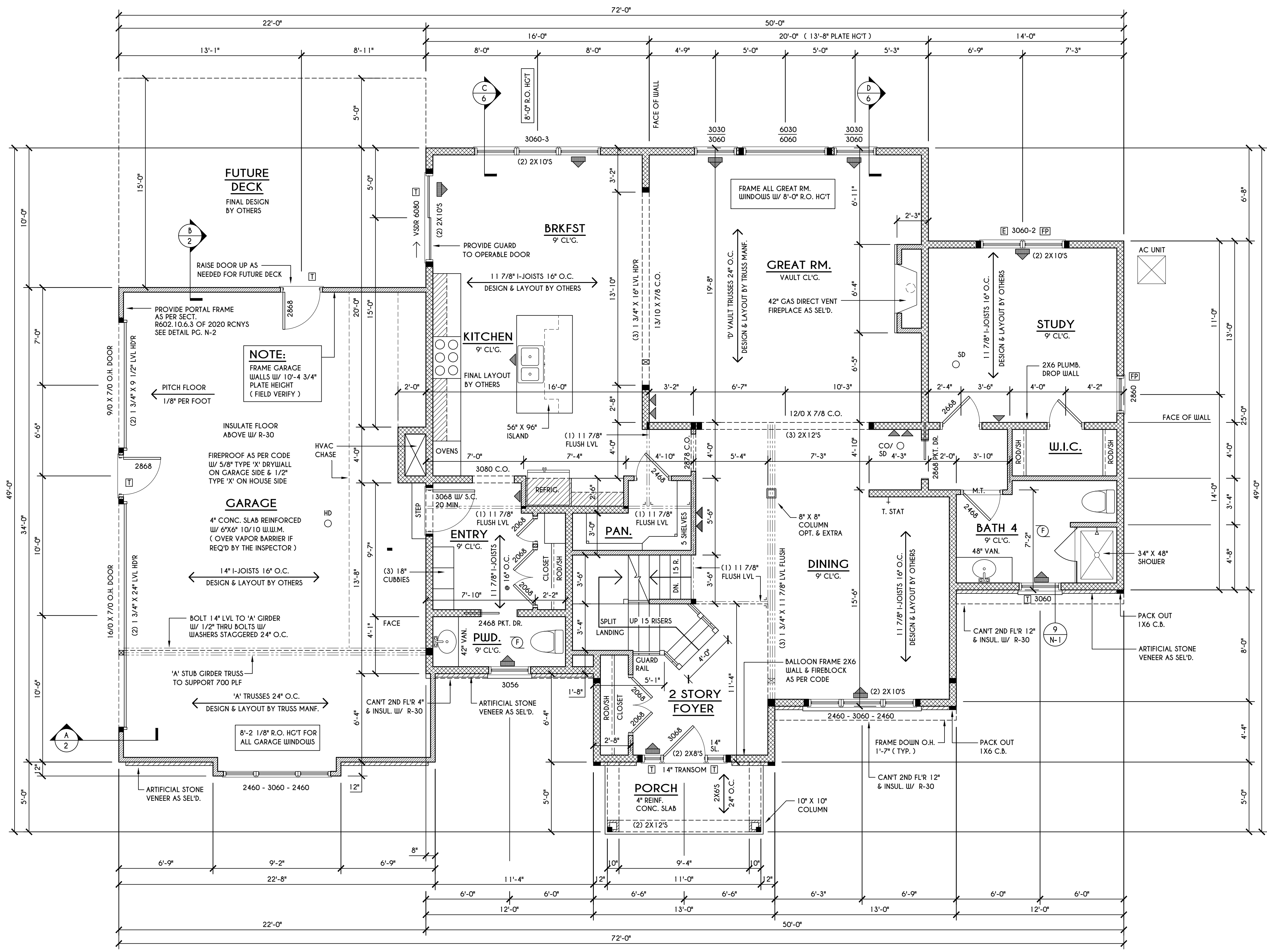
**CLIENT/LOCATION:**  
 SPEC HOME  
 LOT 85 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3761

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15346F	sheet: 4 / 6



**STAIR SECTION**

SCALE: 1/4" = 1'-0"

**ENGINEERED FLOOR JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:  
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD  
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

**FRAMING LEGEND:**

- PROVIDE SOLID POSTING - CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED - UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**GENERAL FIRST FLOOR PLAN NOTES:**

FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)  
 ALL WINDOW R.O. HGT'S TO BE 7'-4" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

- MEETS OR EXCEEDS EGRESS REQUIREMENTS  
 - CLEAR OPENING AREA OF 5.7 SQ.FT.  
 - CLEAR OPENING WIDTH OF 20"  
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



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**REVISIONS:**

DATE	BY	DESCRIPTION

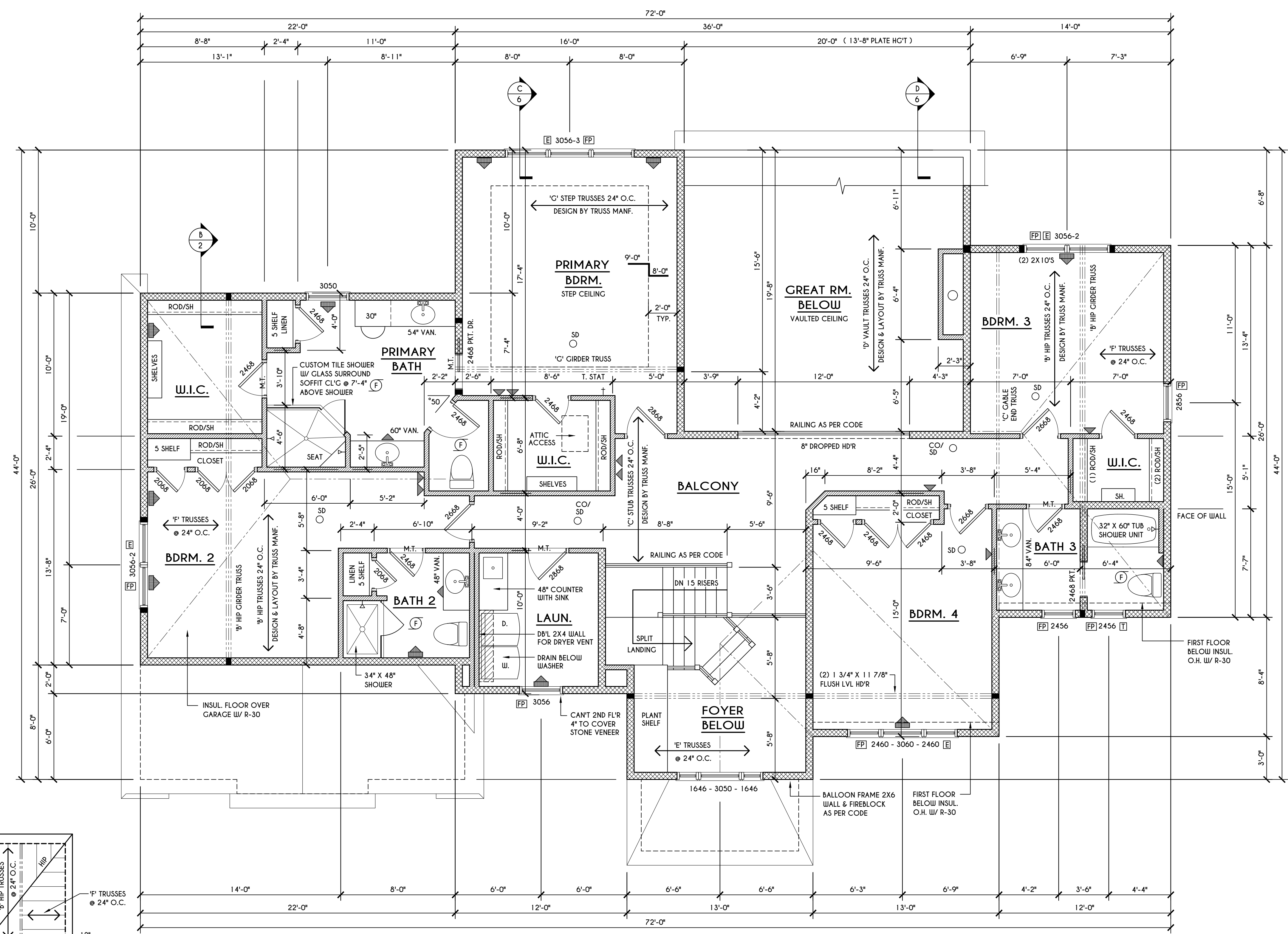
**CLIENT/LOCATION:**  
 SPEC HOME  
 LOT 85 COVENTRY RIDGE  
 PITTSFORD, NY

**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECOND FLOOR PLAN**

GLA PLAN 3761

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15346F	sheet: 5 6



**SECOND FLOOR PLAN** 1930 SQ.FT.  
 SCALE: 1/4" = 1'-0"

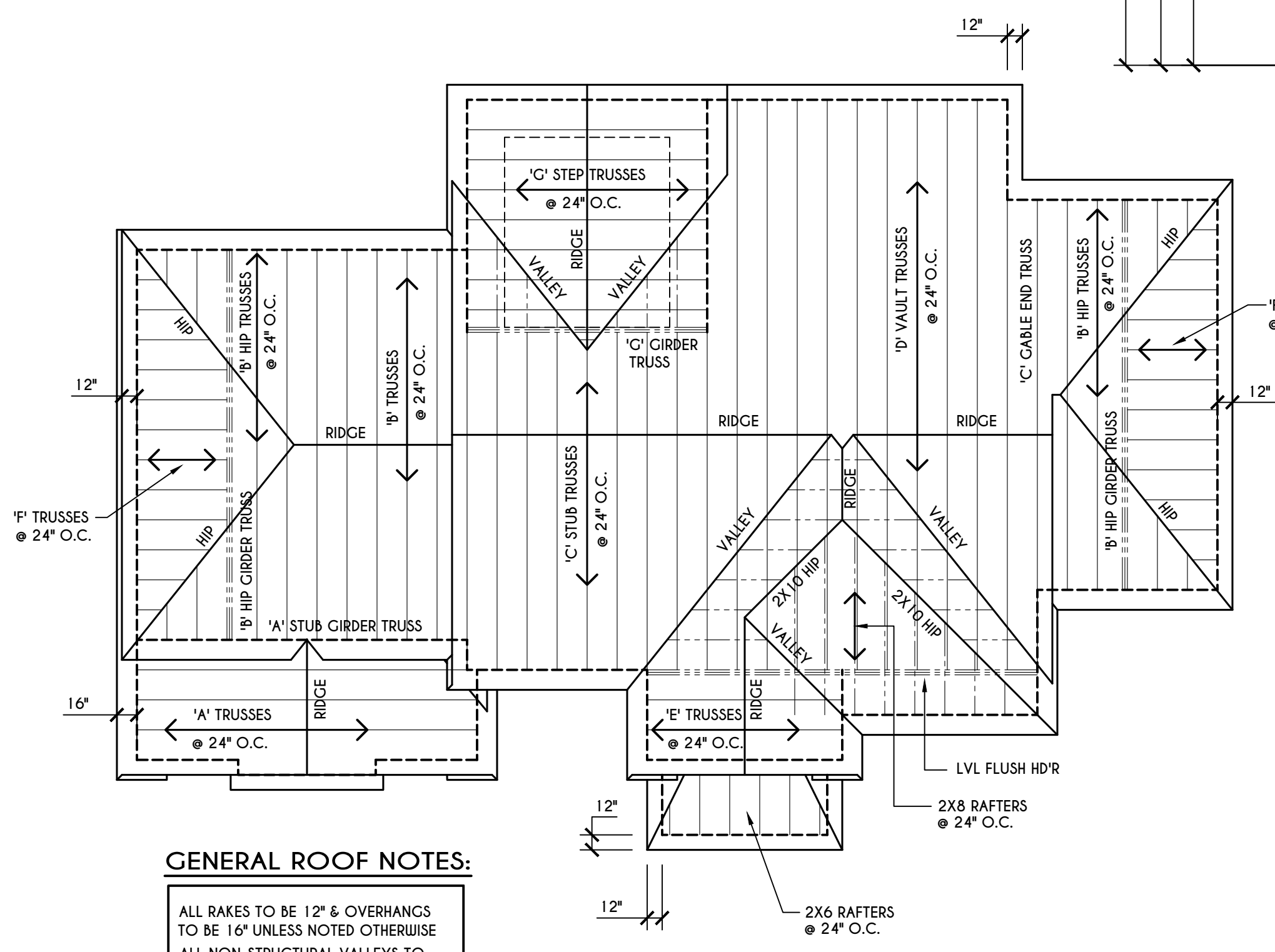
**GENERAL SECOND FLOOR PLAN NOTES:**  
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE )  
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.  
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL  
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4'-0"  
 ALL ANGLES TO BE 45 DEG. U.N.O.  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S ( U.N.O. )  
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER  
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS  
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS  
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

**WINDOW / DOOR LEGEND:**

<b>E</b>	= MEETS OR EXCEEDS EGRESS REQUIREMENTS
	- CLEAR OPENING AREA OF 5.7 SQ.FT.
	- CLEAR OPENING WIDTH OF 20"
	- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
<b>T</b>	= SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
<b>FP</b>	= SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

**FRAMING LEGEND:**

	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	- DROPPED HEADER
	- FLUSH HEADER
	- 2X4 STUDS @ 16" O.C.
	- 2X6 STUDS @ 16" O.C.



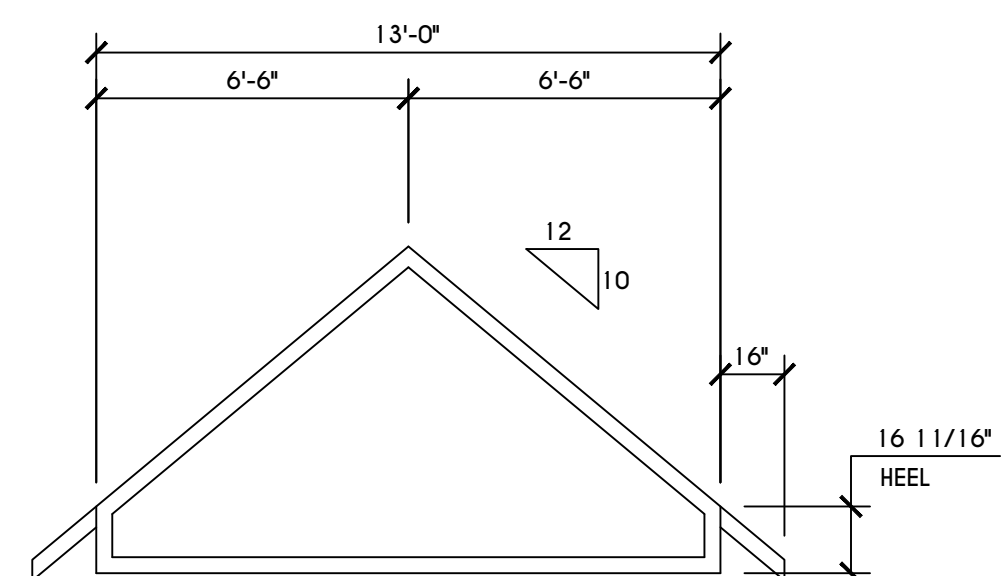
**GENERAL ROOF NOTES:**  
 ALL RAKES TO BE 12" & OVERHANGS TO BE 16" UNLESS NOTED OTHERWISE  
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING  
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS  
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

**ROOF PLAN**

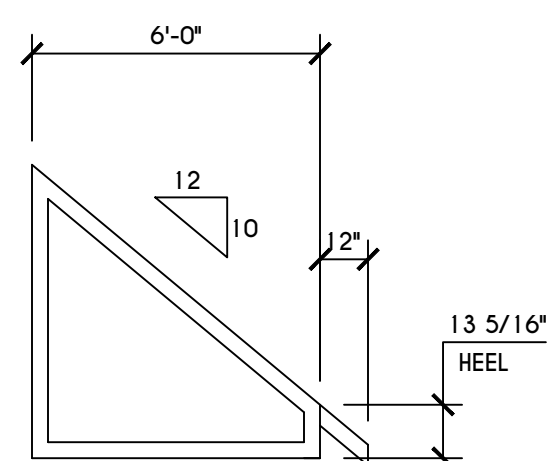
SCALE: 1/8" = 1'-0"

**A** - 2X8 LAYOVER RAFTERS 24" O.C.

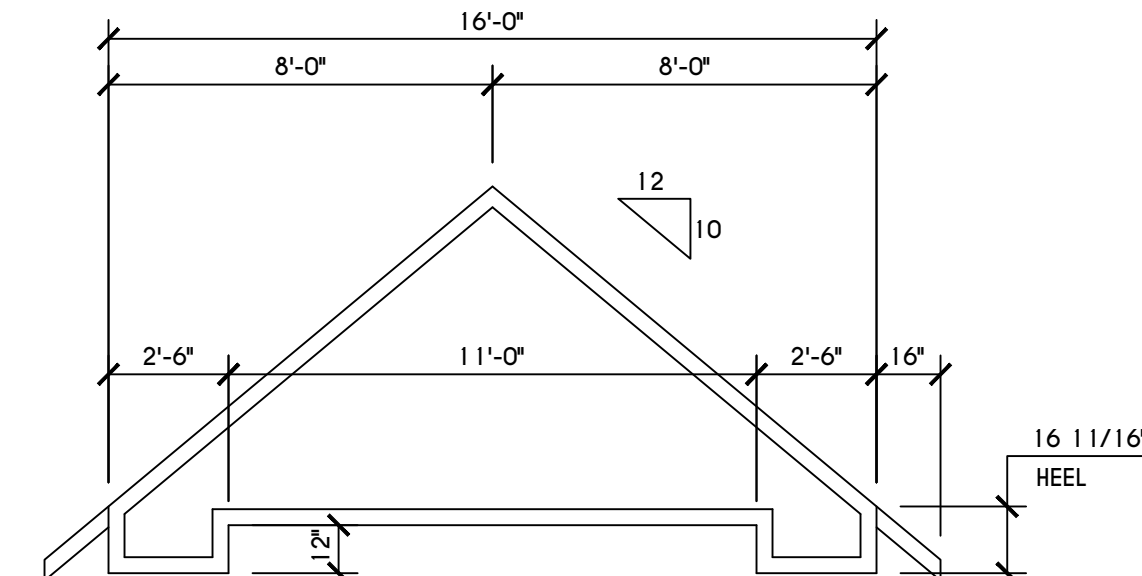
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**'E' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

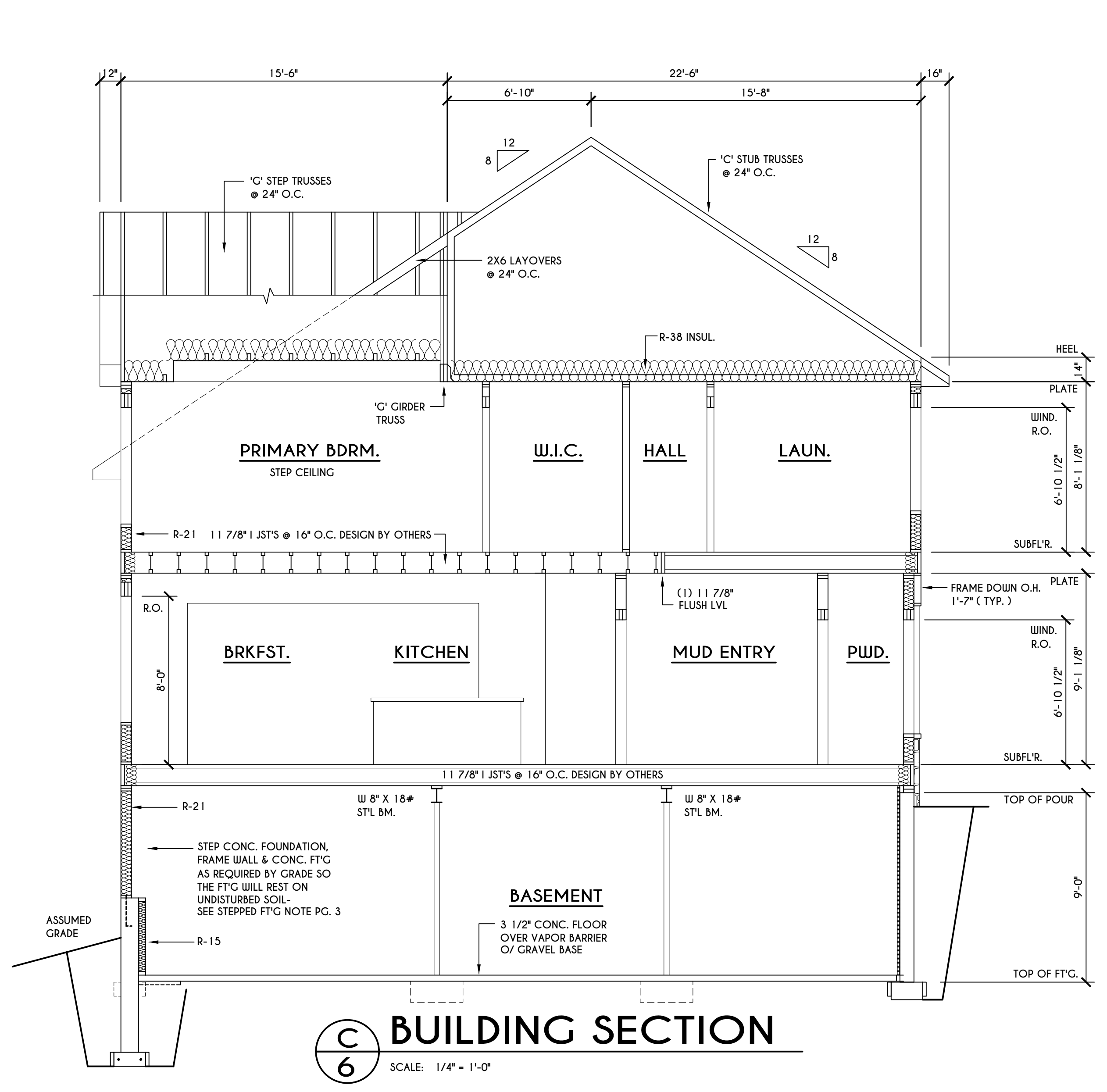


**'F' TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

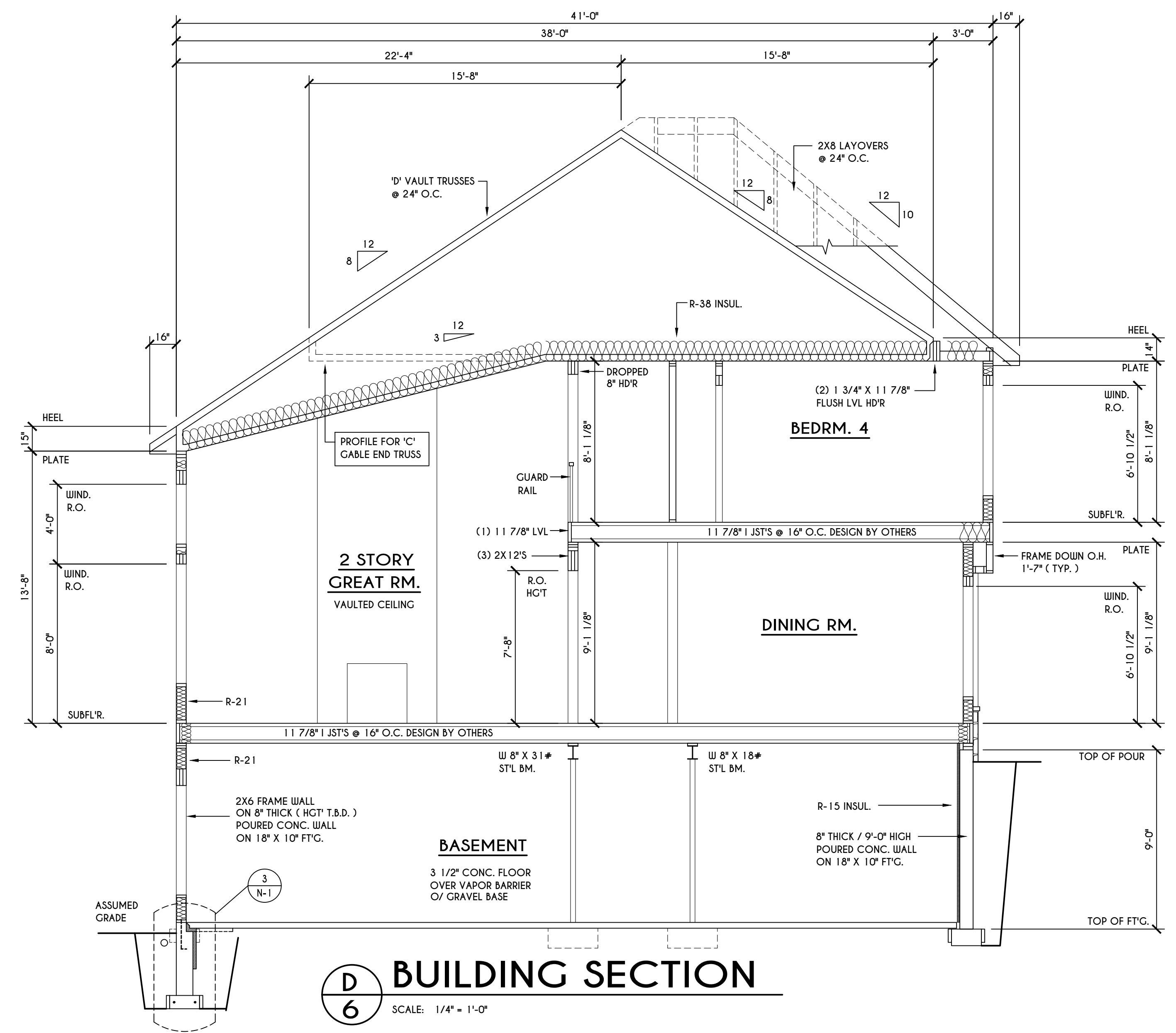


**'G' STEP TRUSS PROFILE**  
 SCALE: 1/4" = 1'-0"

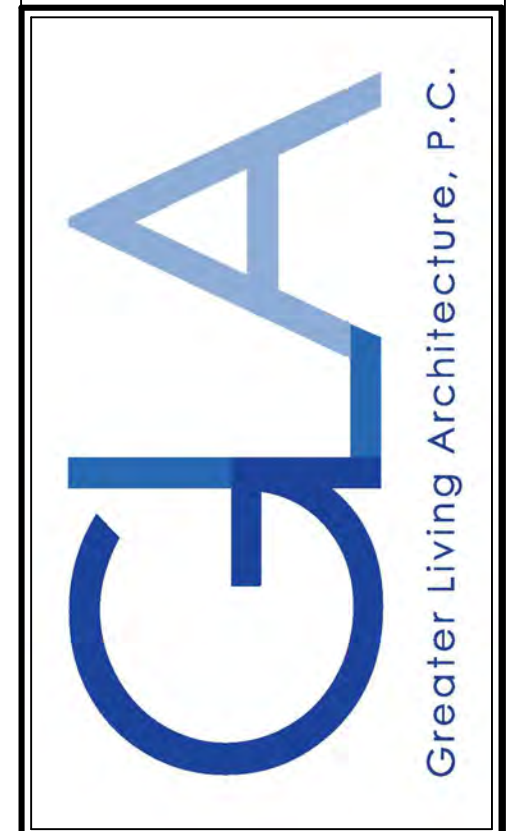
**TRUSS NOTES:**  
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD.  
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD.  
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER.



**C BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



**D BUILDING SECTION**  
 SCALE: 1/4" = 1'-0"



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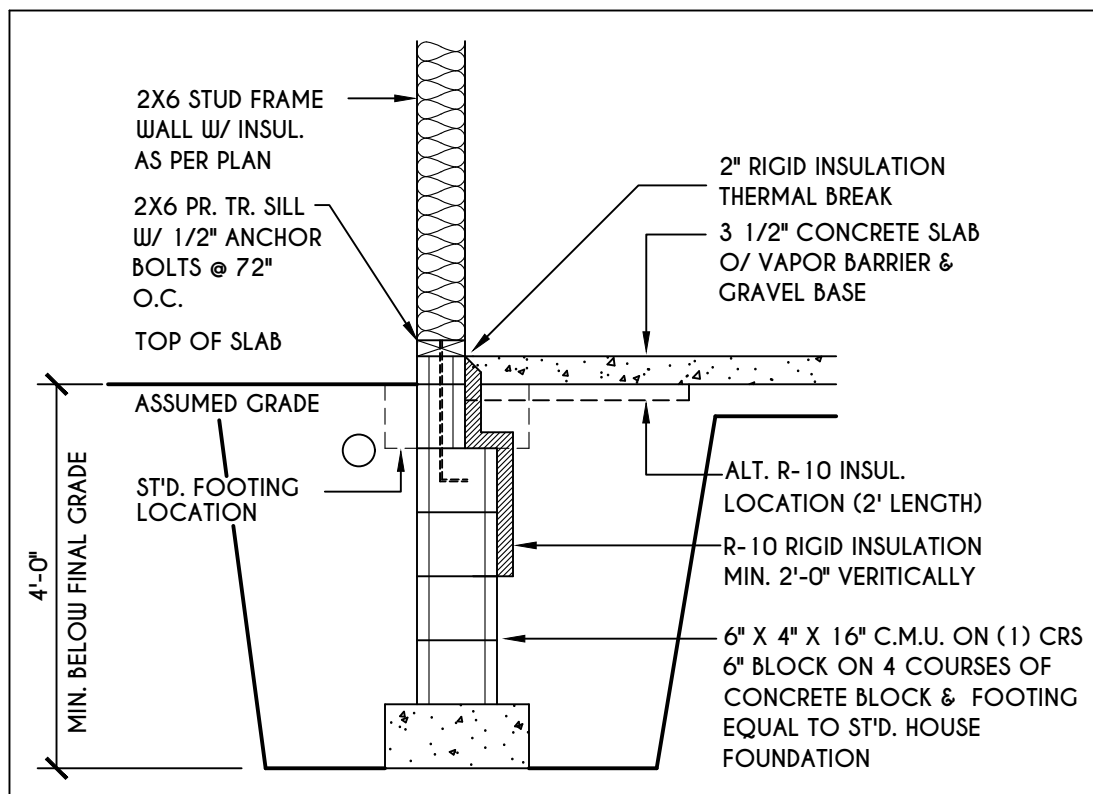
DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**  
 SPEC HOME  
 LOT 85 COVENTRY RIDGE  
 PITTSFORD, NY

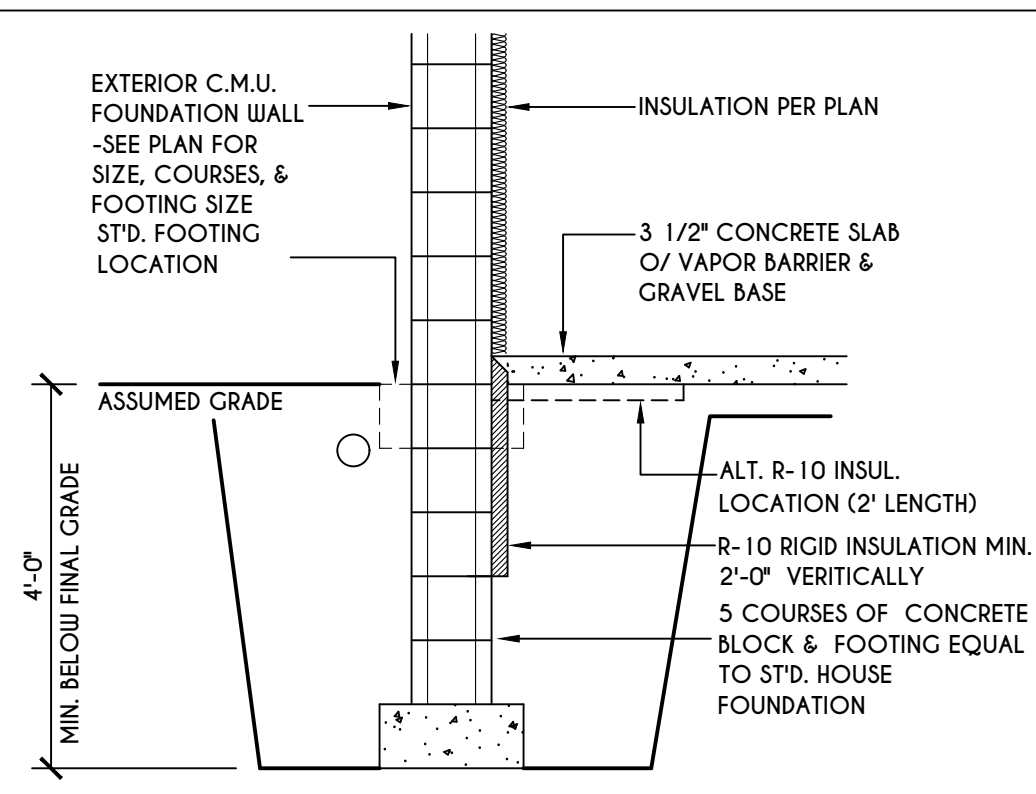
**BUILDER:**  
 COVENTRY RIDGE  
 BUILDING CORP.

**SECTIONS**  
 GLA PLAN 3761

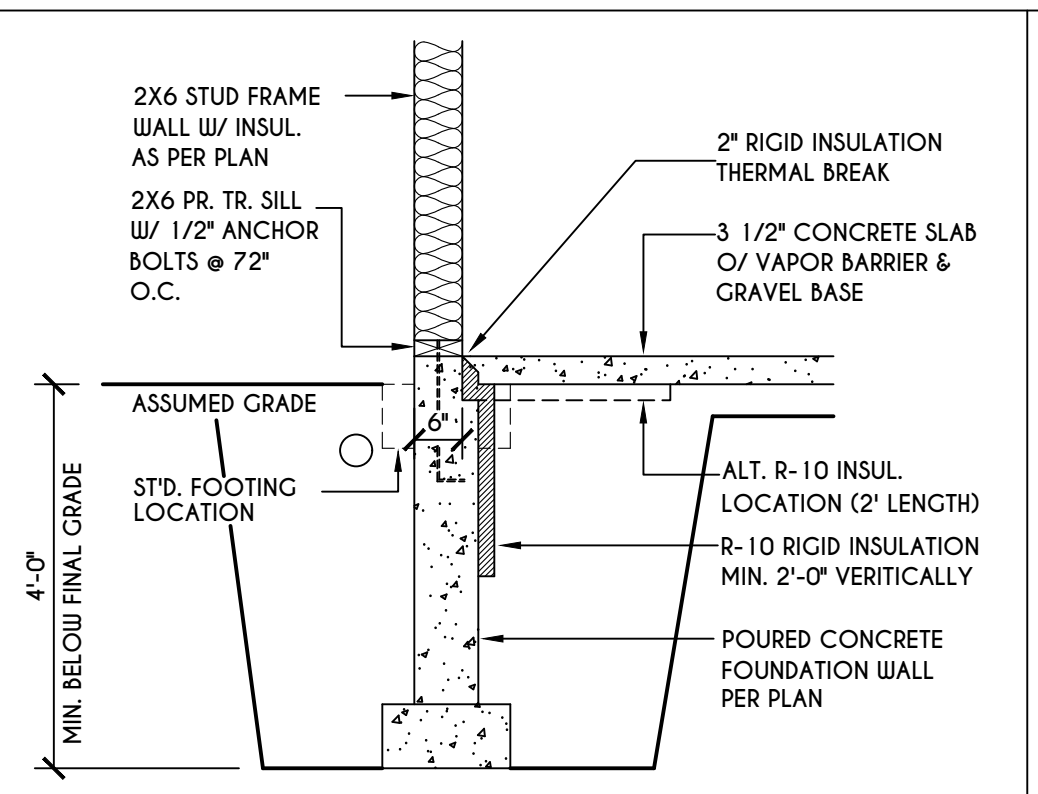
drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15346F	sheet: 6 / 6



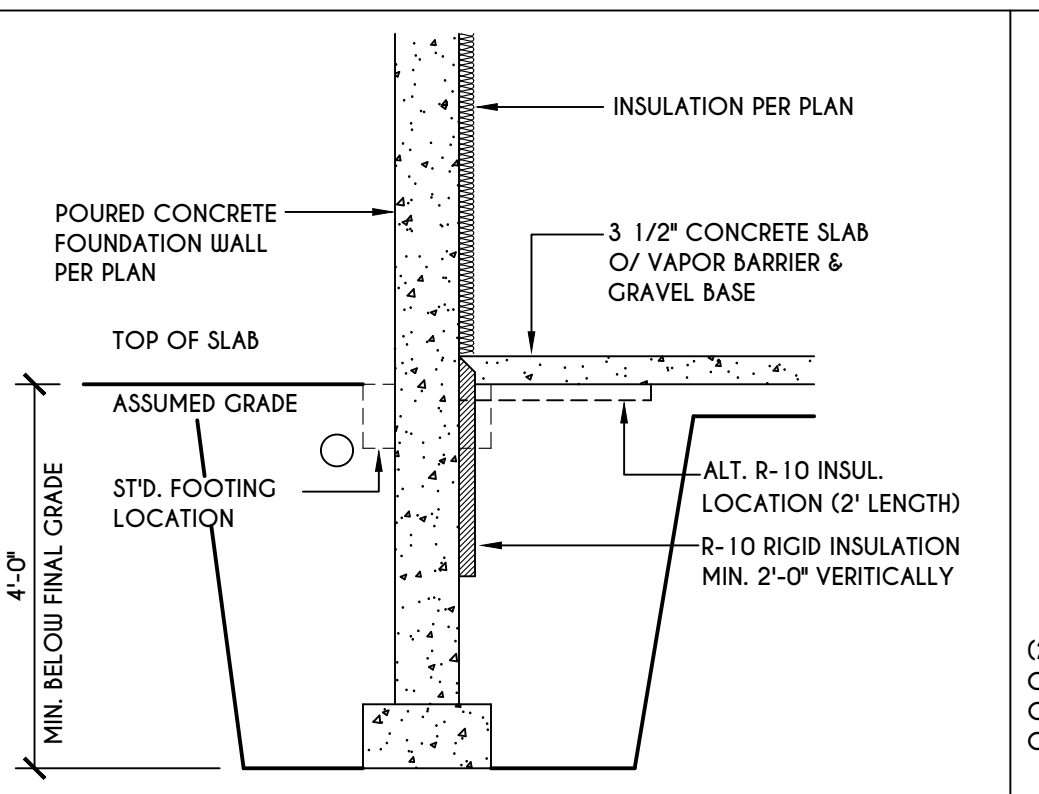
**1**  
**N-1**  
2X6 FRAME WALL ON C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



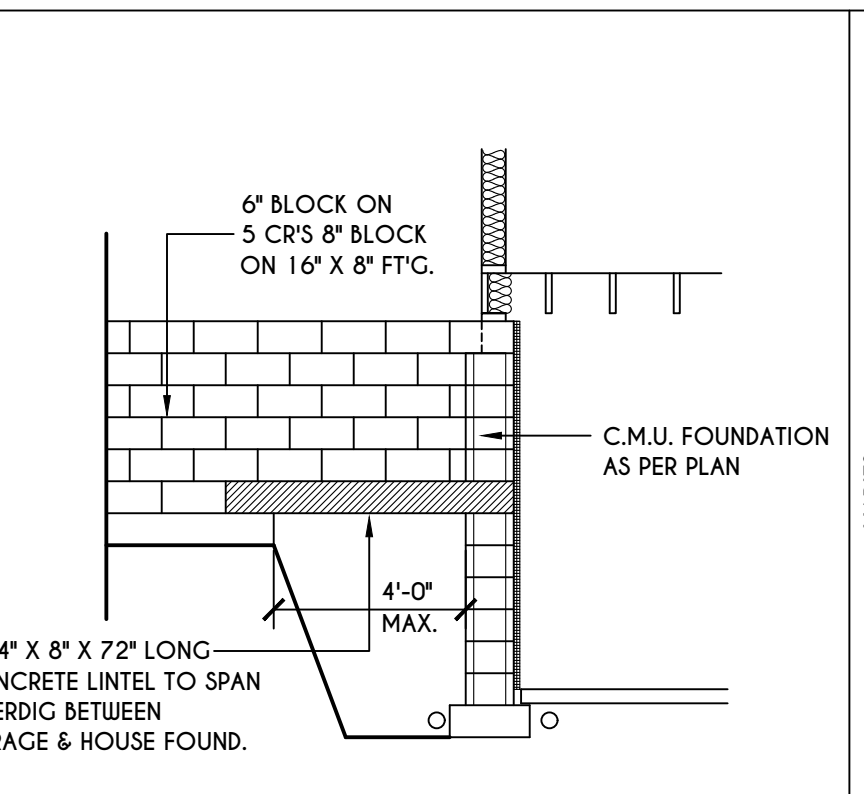
**2**  
**N-1**  
C.M.U.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



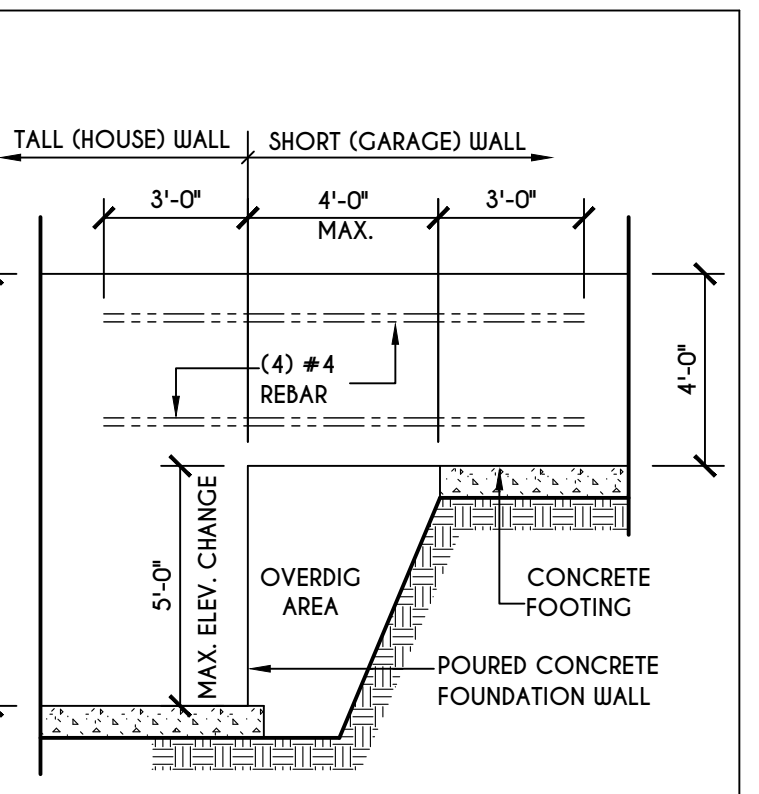
**3**  
**N-1**  
2X6 FRAME WALL ON POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



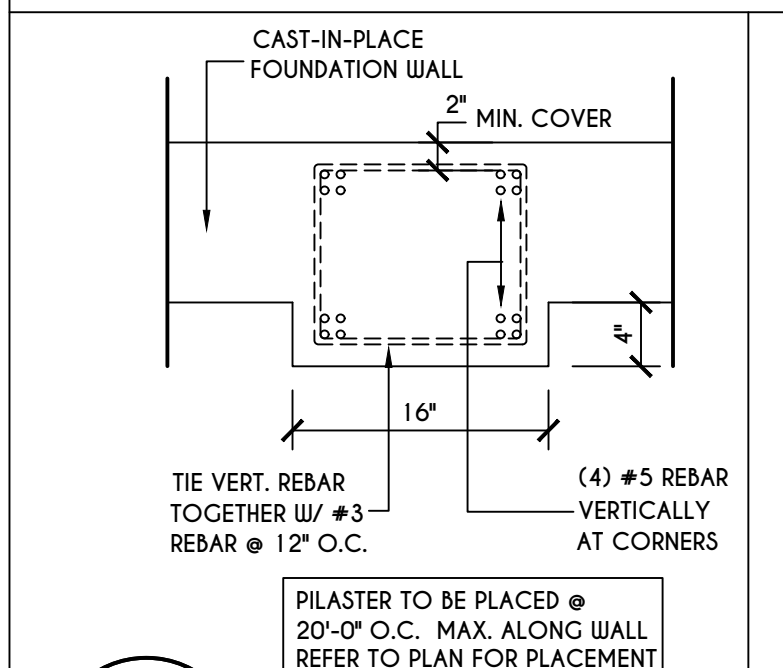
**4**  
**N-1**  
POURED CONC.  
WALK OUT DETAIL  
SCALE: 1/2" = 1'-0"



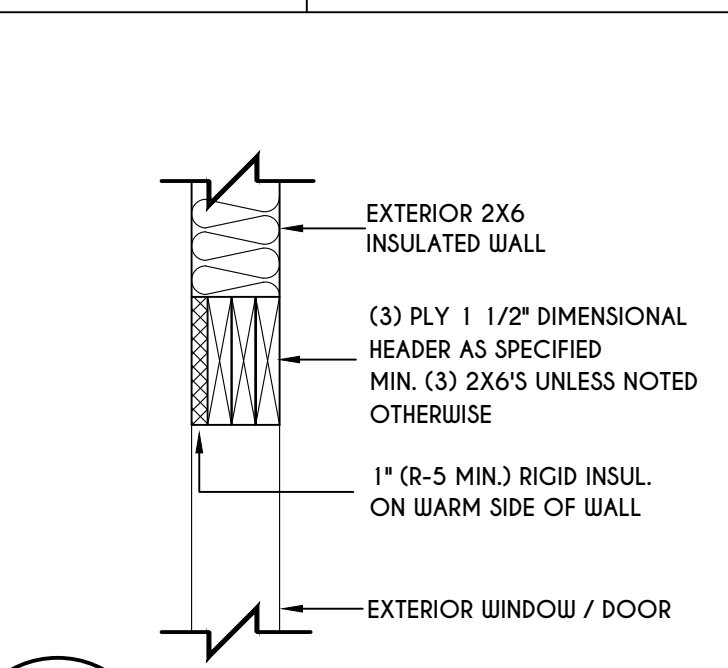
**5**  
**N-1**  
C.M.U. JUMP  
FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



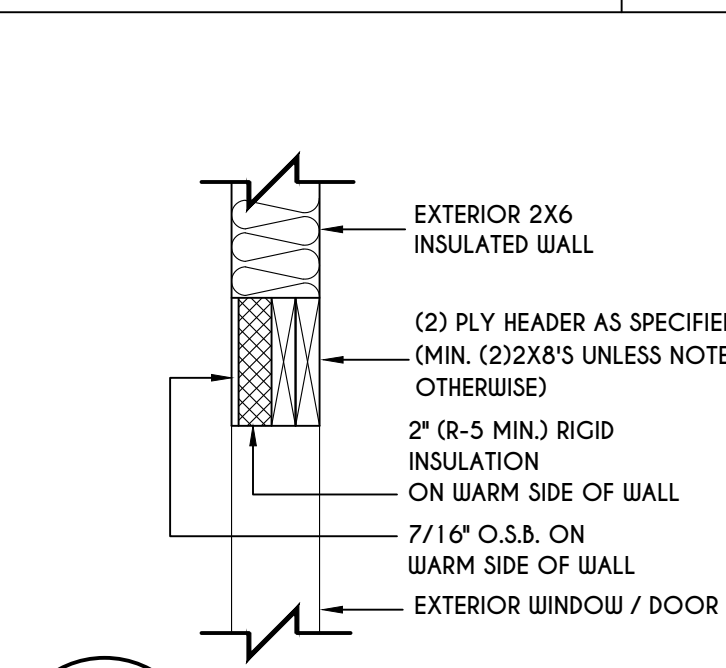
**6**  
**N-1**  
POURED WALL JUMP  
FOOTING DETAIL  
SCALE: 1/4" = 1'-0"



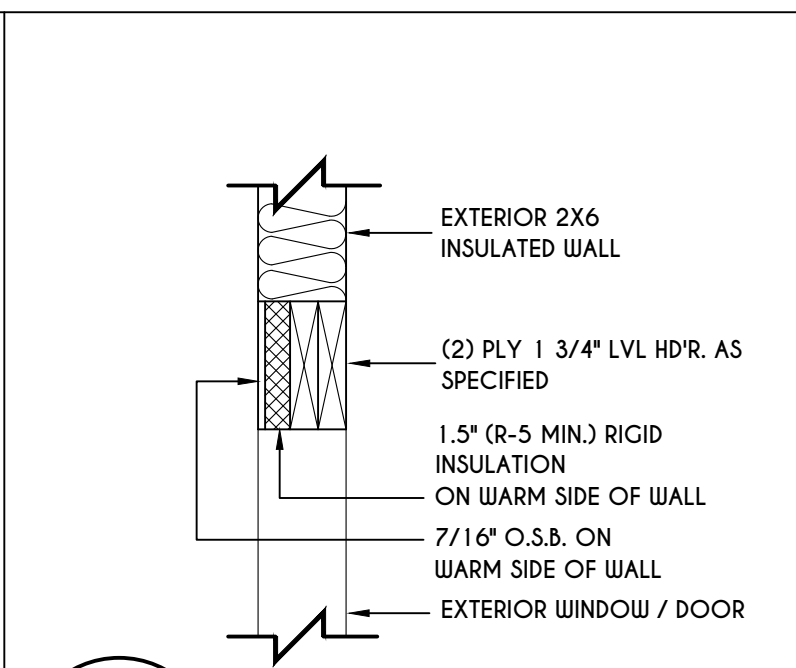
**7**  
**N-1**  
POURED WALL  
PILASTER DETAIL  
SCALE: 1" = 1'-0"



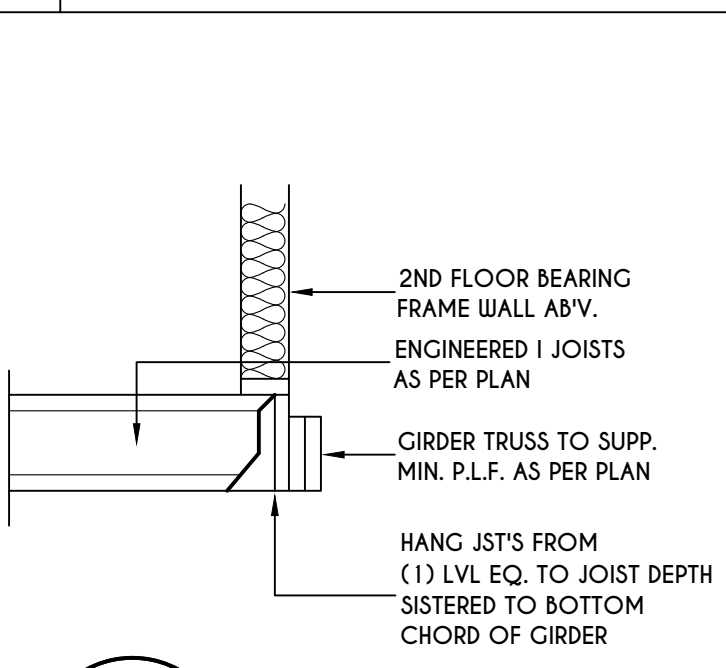
**8**  
**N-1**  
EXTERIOR INSULATED  
3 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



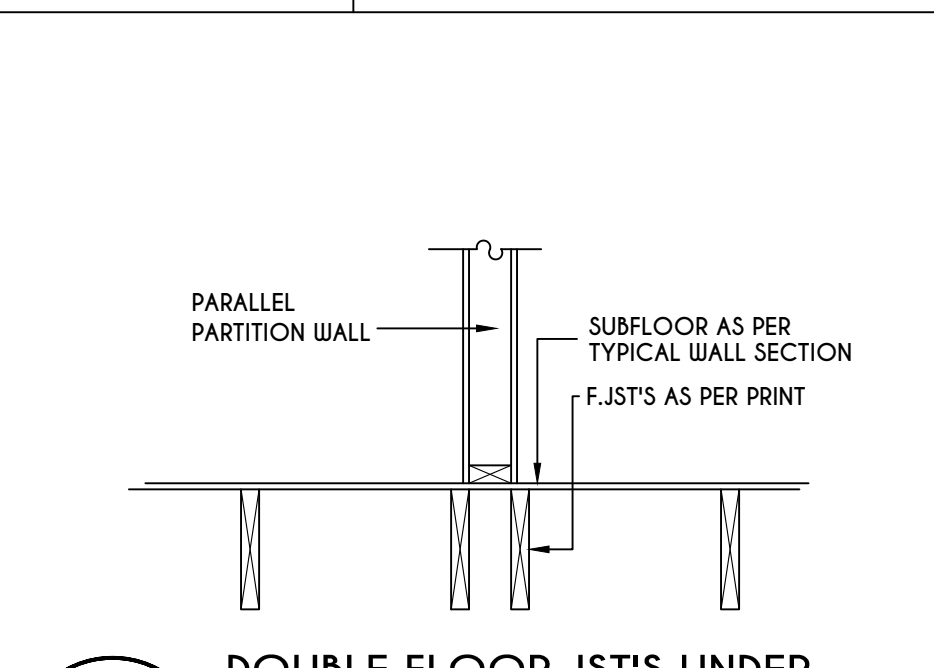
**9**  
**N-1**  
EXTERIOR INSULATED  
2 PLY HEADER DETAIL  
SCALE: 1" = 1'-0"



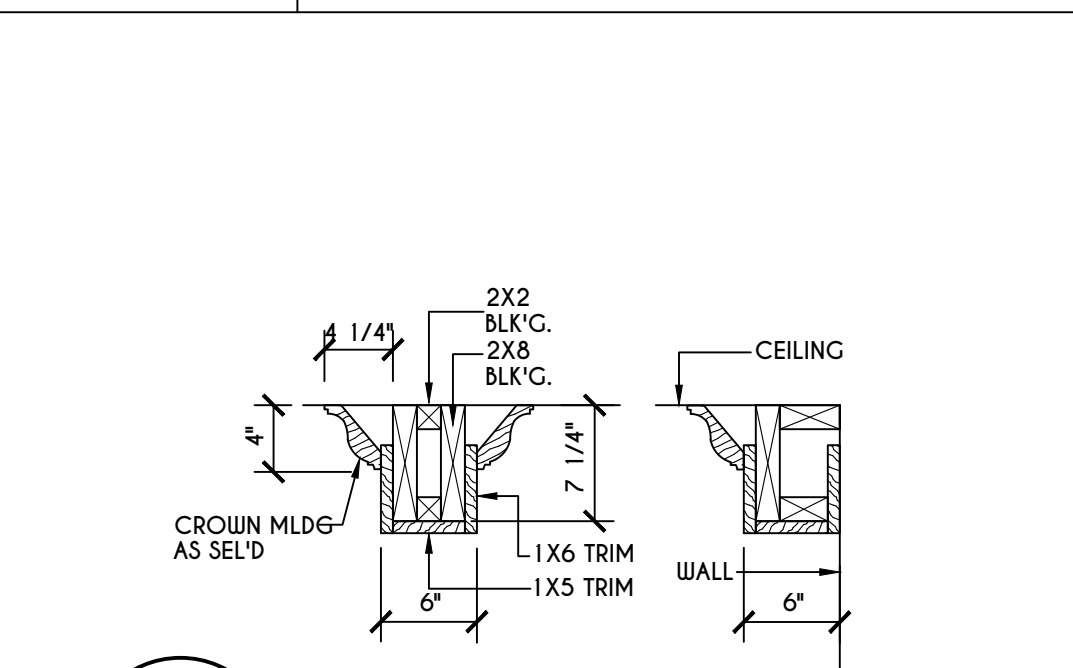
**10**  
**N-1**  
EXTERIOR INSULATED  
2 PLY LVL HEADER DETAIL  
SCALE: 1" = 1'-0"



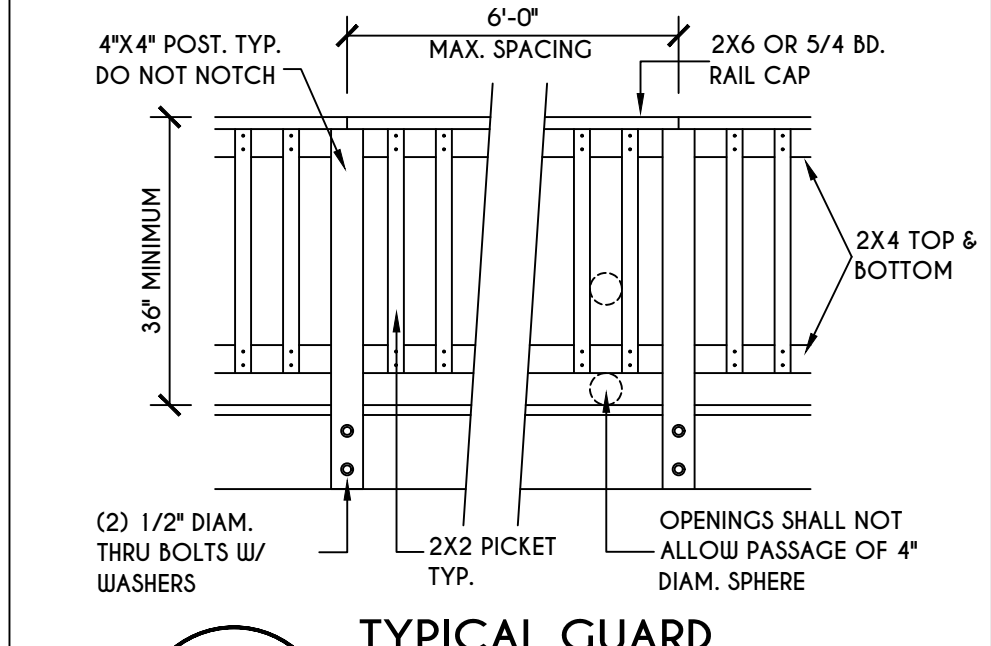
**11**  
**N-1**  
I JST / GIRDER DETAIL  
SCALE: 1/2" = 1'-0"



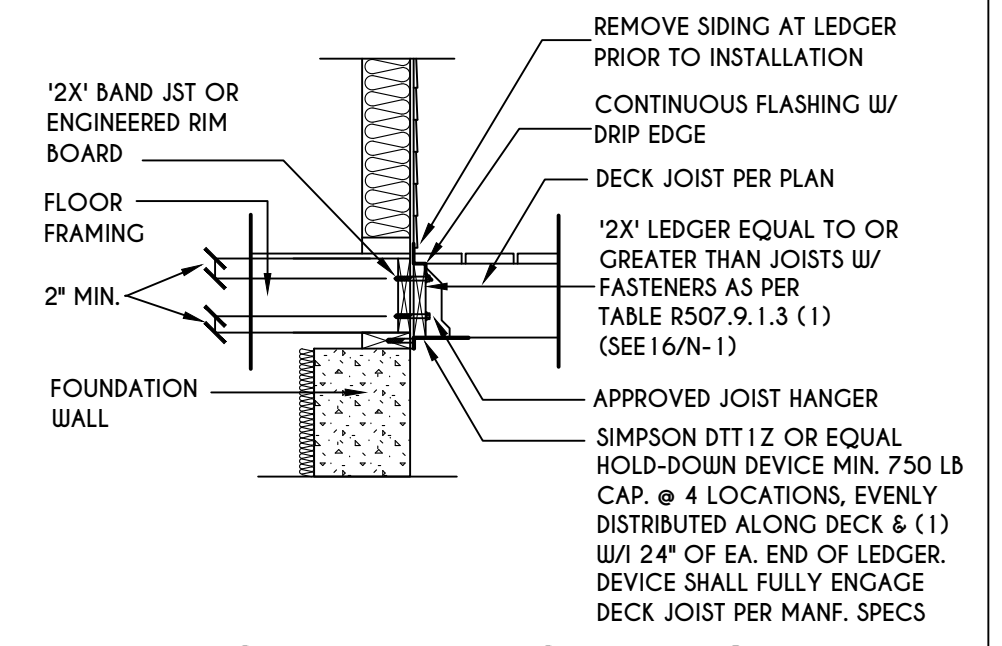
**12**  
**N-1**  
DOUBLE FLOOR JST'S UNDER  
PARALLEL PARTITION WALL DETAIL  
N.T.S.



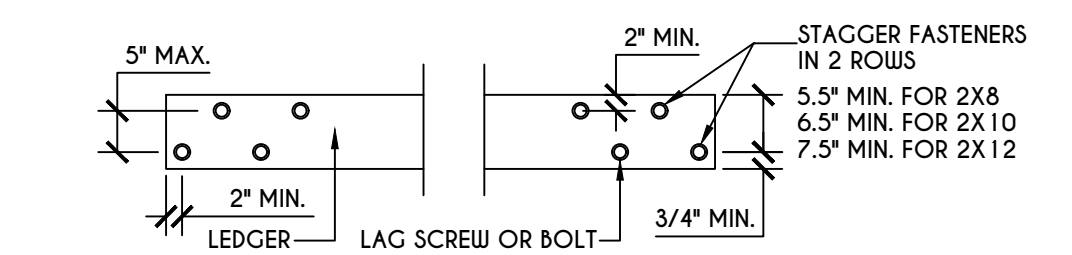
**13**  
**N-1**  
COFFERED BEAM DETAIL  
N.T.S.



**14**  
**N-1**  
TYPICAL GUARD  
RAIL DETAIL  
SCALE: 1/2" = 1'-0"



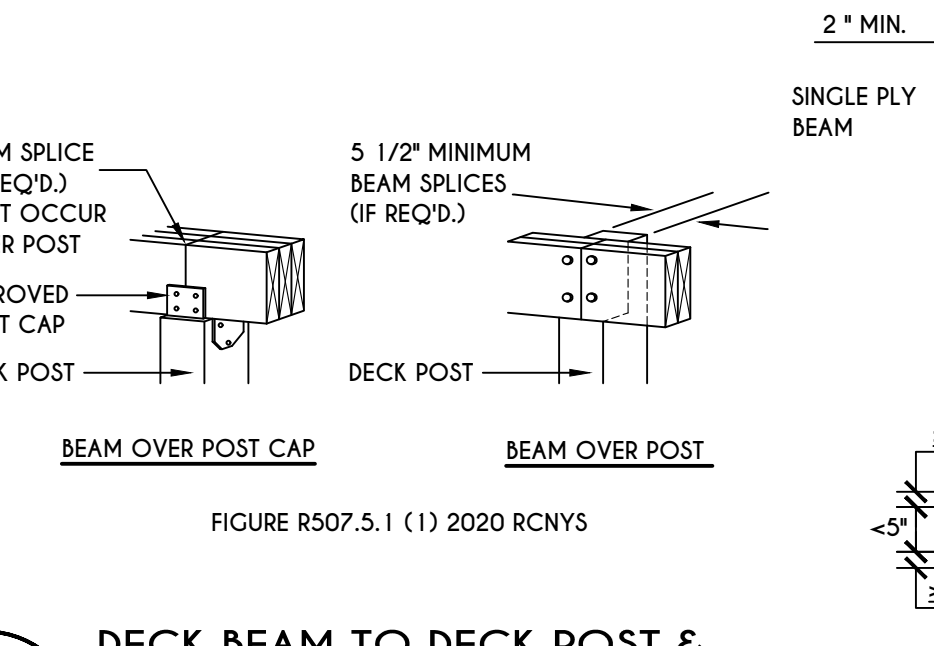
**15**  
**N-1**  
GENERAL ATTACHMENT OF  
DECK TO LEDGER BD & BAND BD.  
SCALE: 1/2" = 1'-0"



**16**  
**N-1**  
PLACEMENT OF LAG SCREWS  
& BOLTS IN LEDGERS  
SCALE: 1/2" = 1'-0"



**17**  
**N-1**  
DECK BEAM TO DECK POST &  
NOTCHED POST-TO-BEAM CONNECTION  
SCALE: 1/2" = 1'-0"

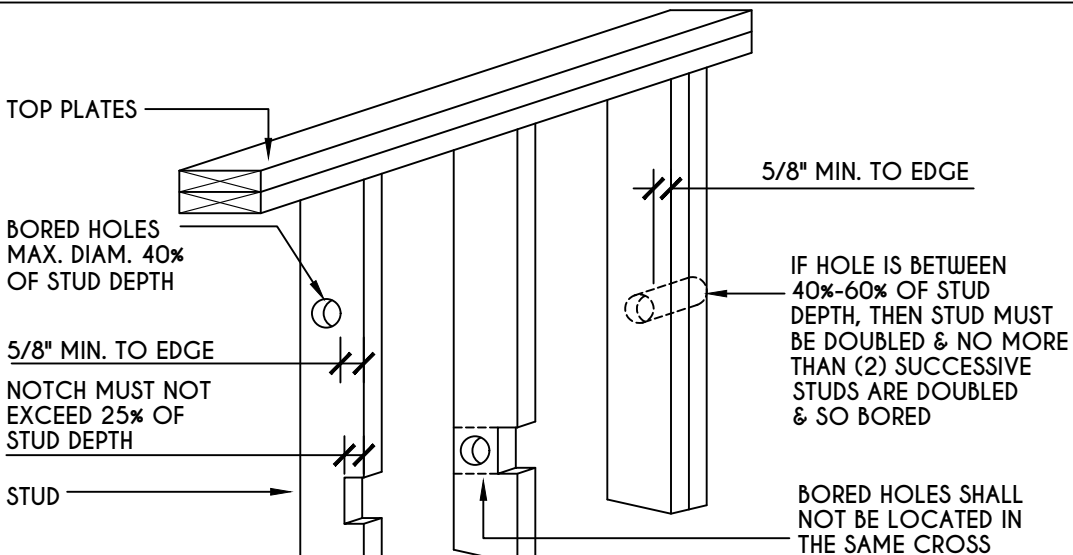
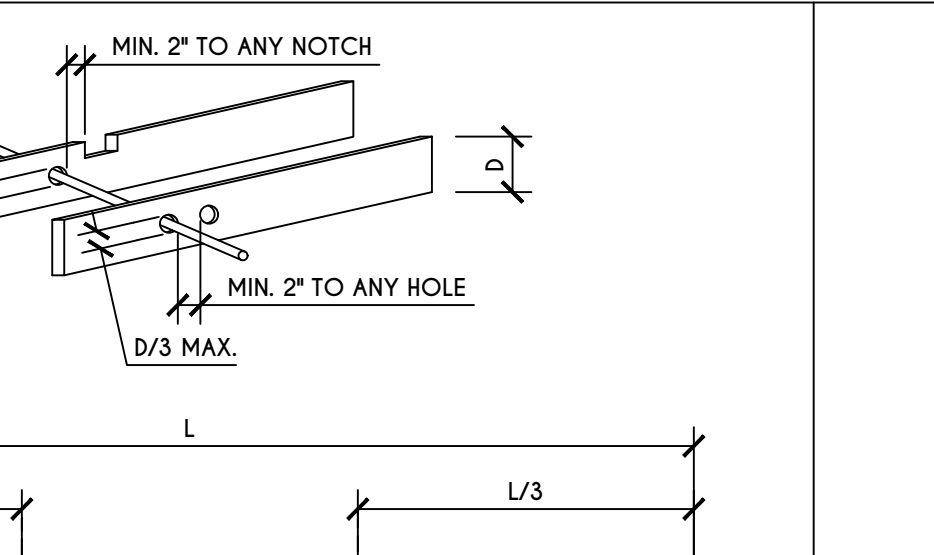
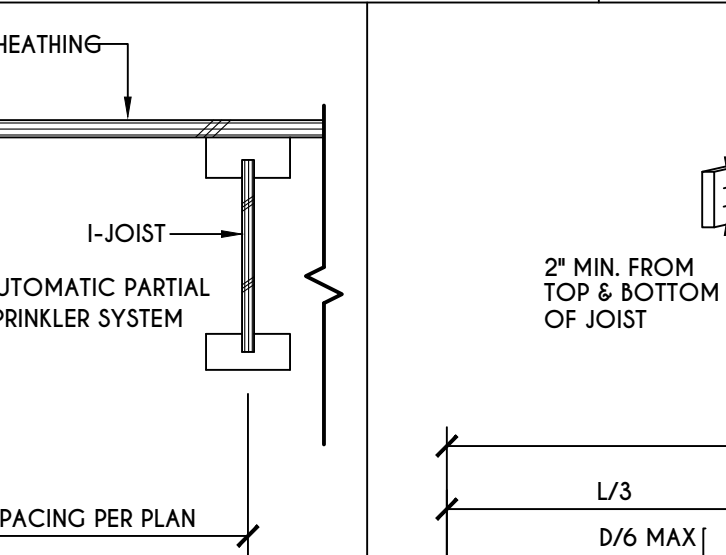
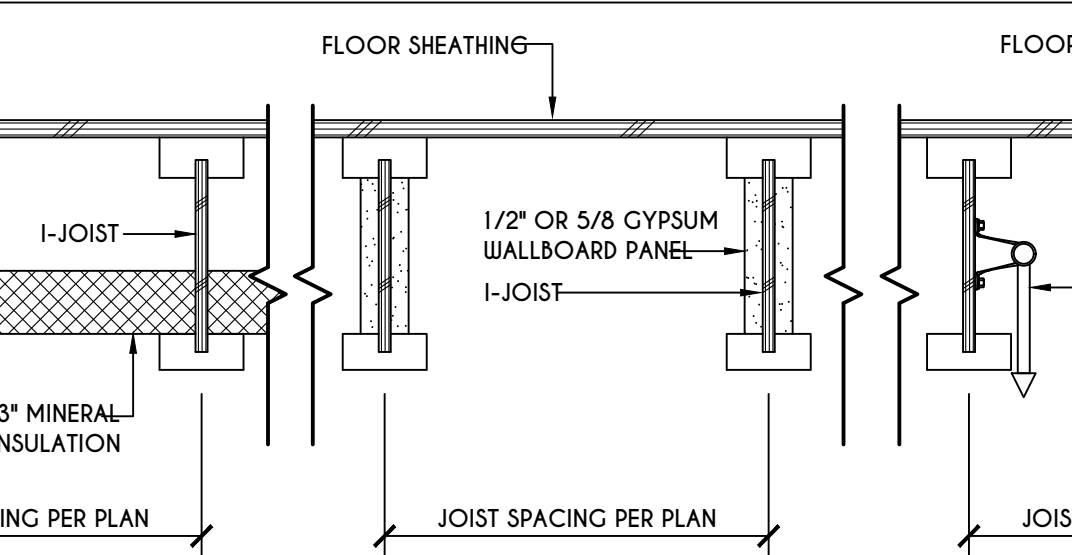
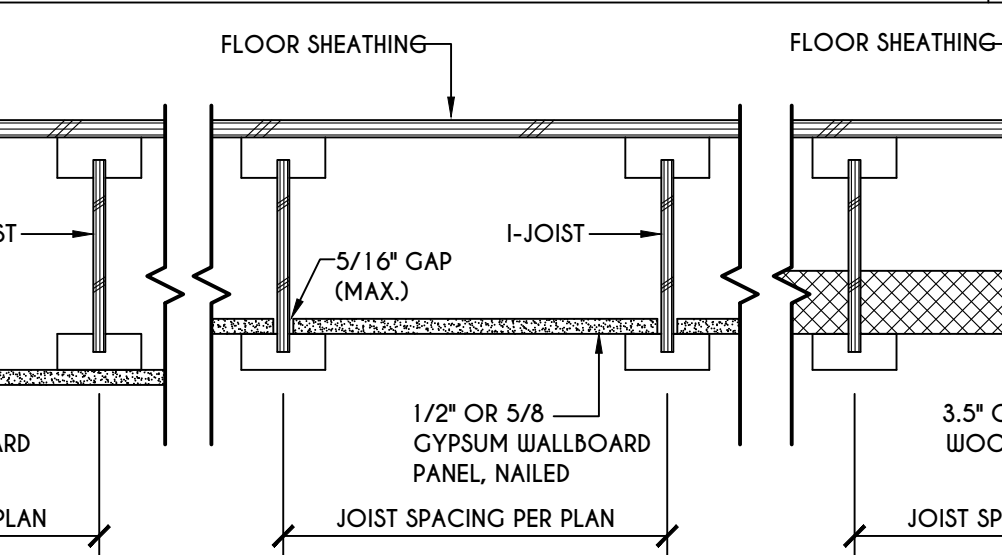
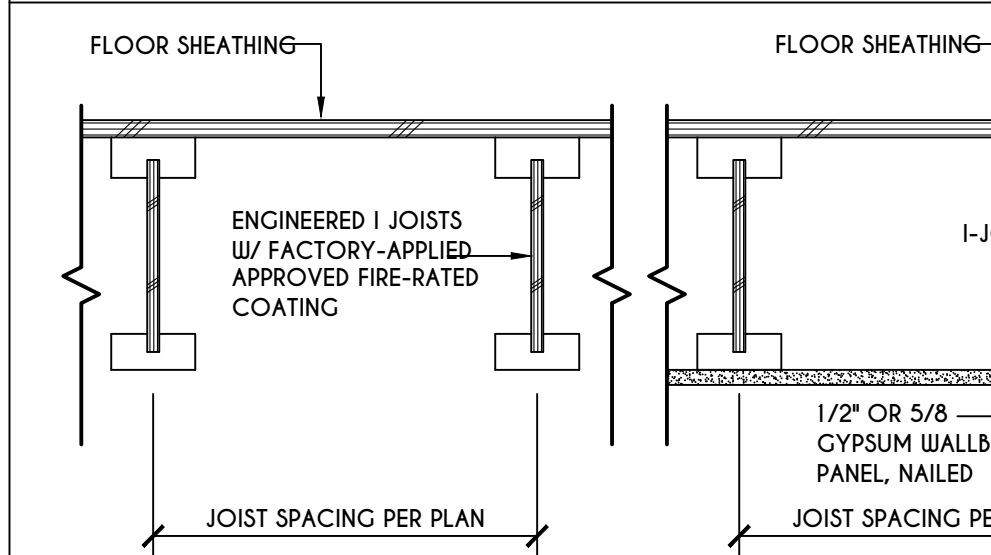


**17**  
**N-1**  
DECK BEAM TO DECK POST &  
NOTCHED POST-TO-BEAM CONNECTION  
N.T.S.

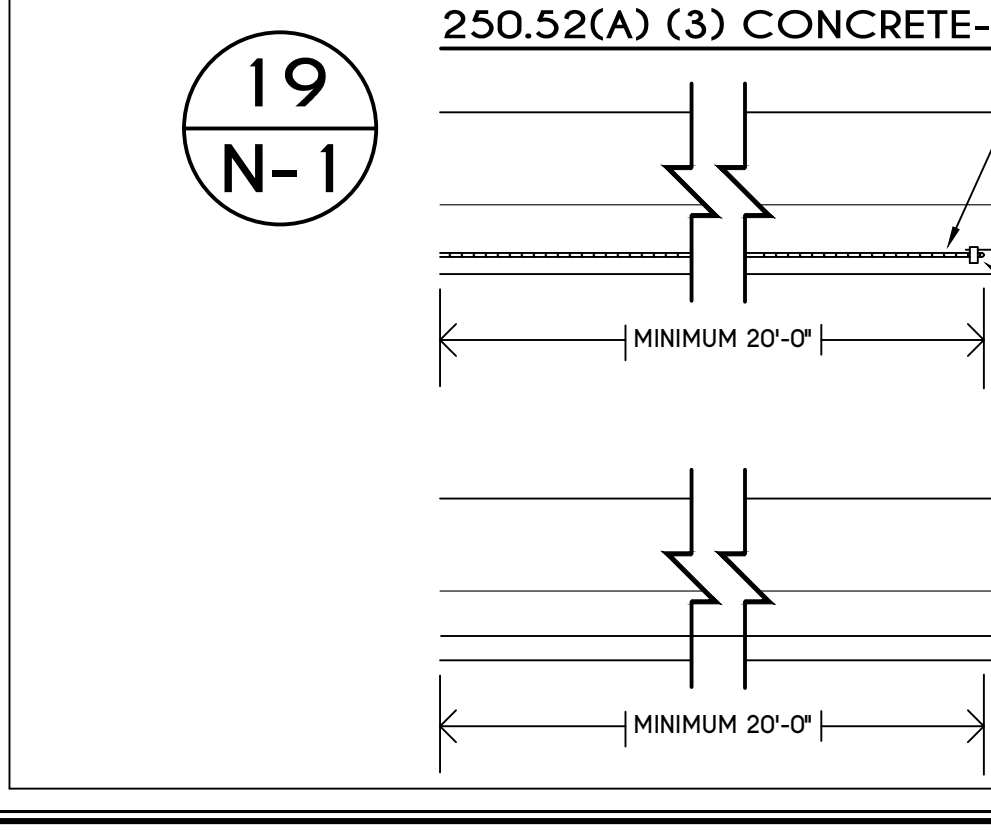
TABLE R507.4  
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT <sup>a,b</sup> (feet-inches)
4 X 4	6'-9"
4 X 6	8'
6 X 6	14'
8 X 8	14'

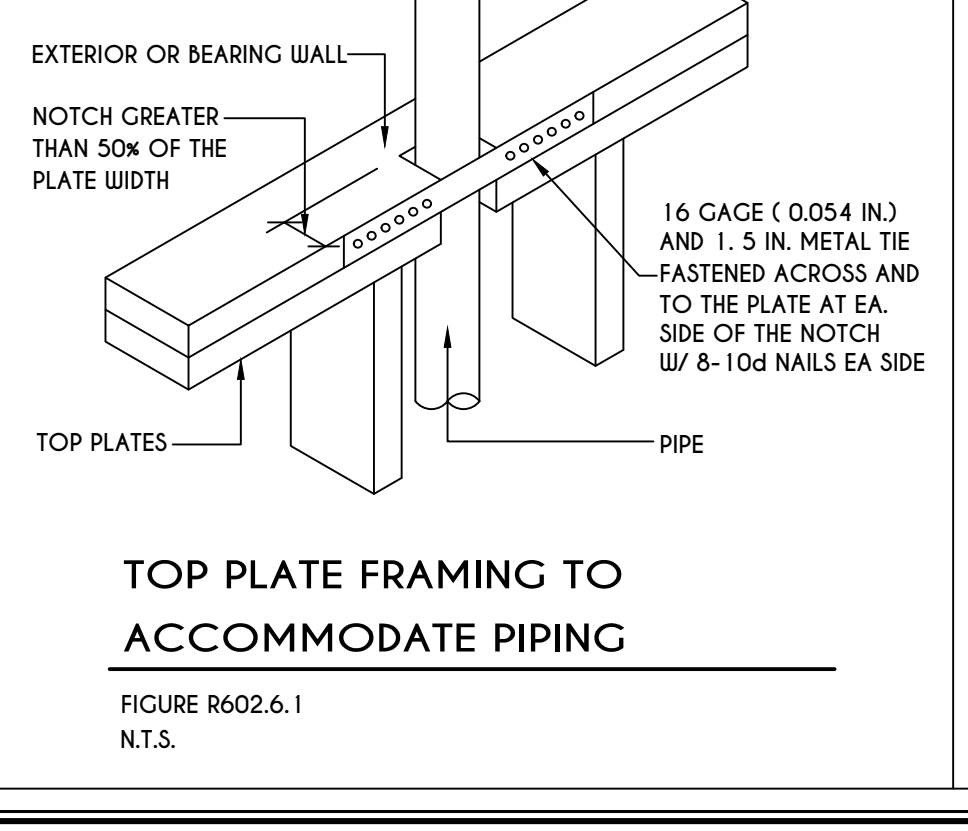
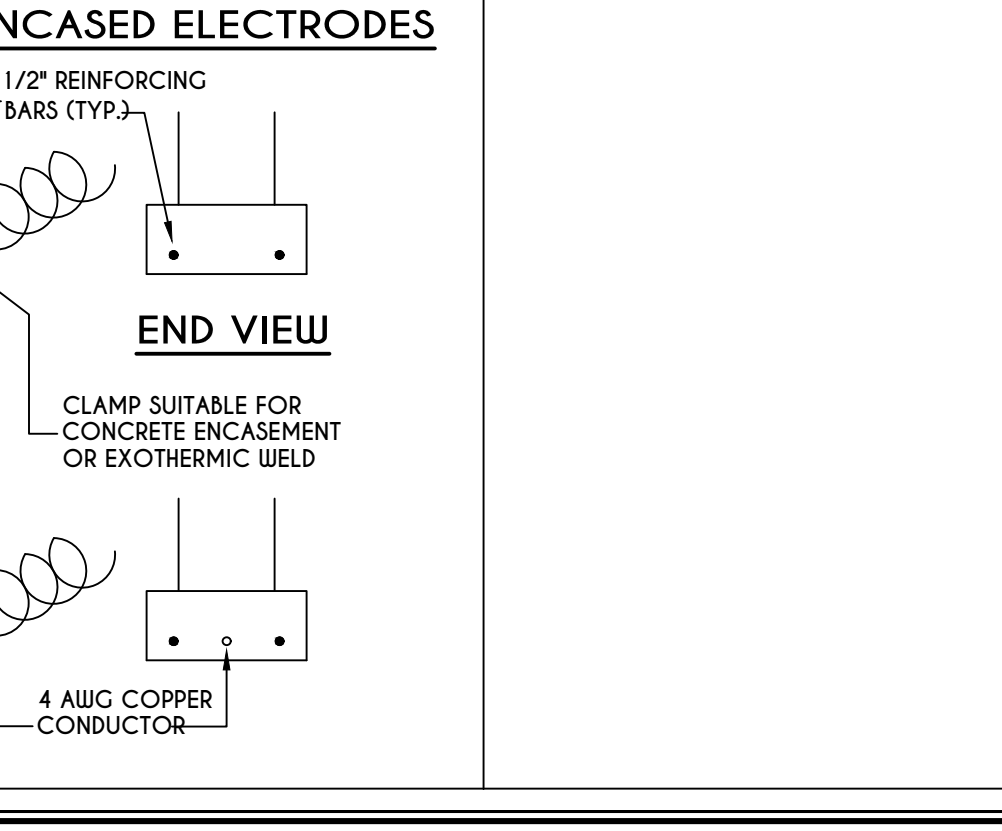
a. MEASURED TO UNDERSIDE OF BEAM  
b. BASED ON 40 psf LIVE LOAD  
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



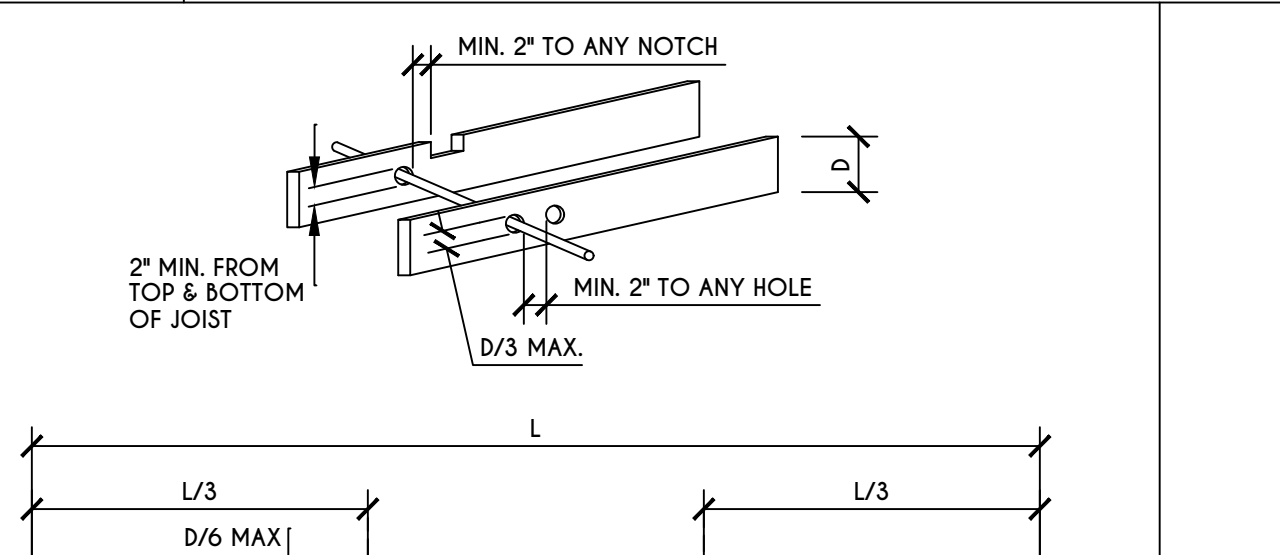
**18**  
**N-1**  
I-JOIST FLOOR SYSTEMS  
FIRE RATED FLOOR ASSEMBLY  
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



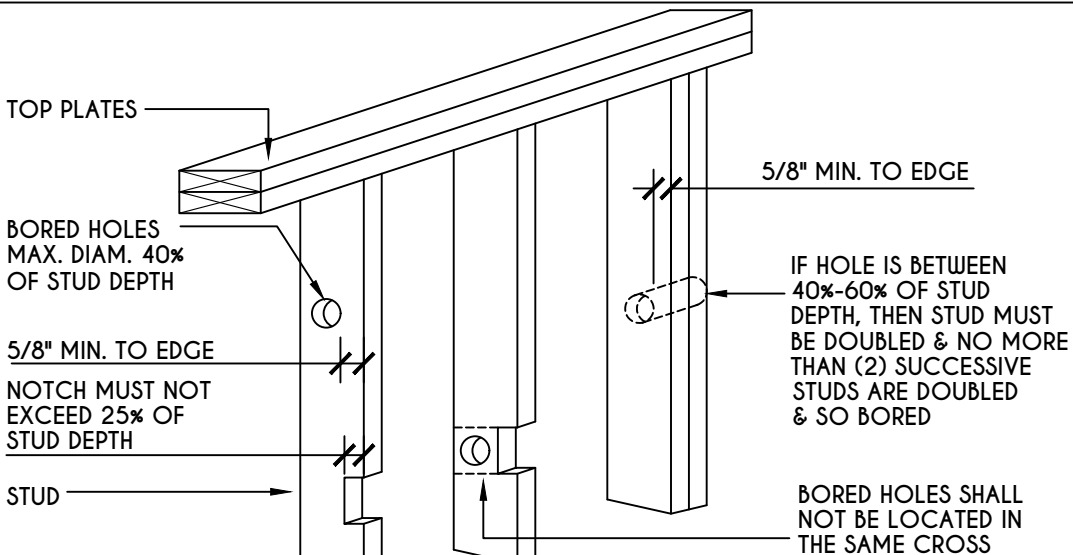
**19**  
**N-1**  
250.52(A) (3) CONCRETE-ENCASED ELECTRODES  
SCALE: 1/2" = 1'-0"



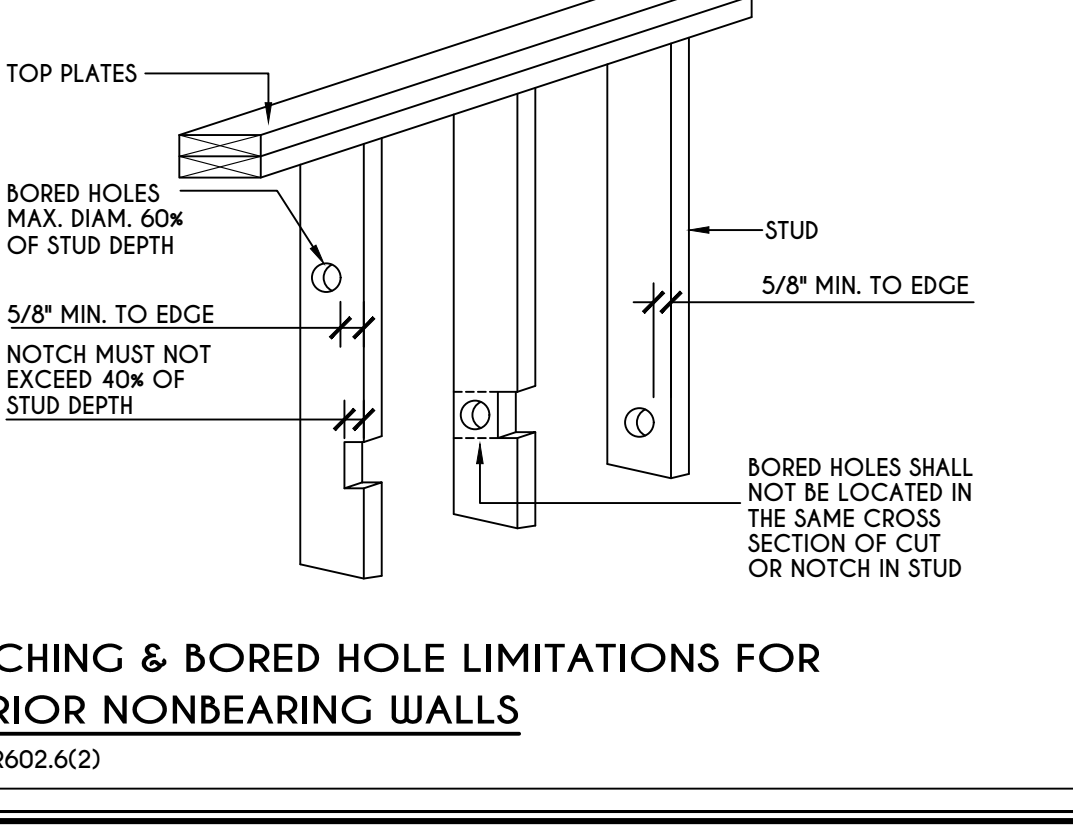
**TOP PLATE FRAMING TO ACCOMMODATE PIPING**  
FIGURE R602.6.1  
N.T.S.



**CUTTING, NOTCHING, & DRILLING OF JOISTS**  
FIGURE R502.8  
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

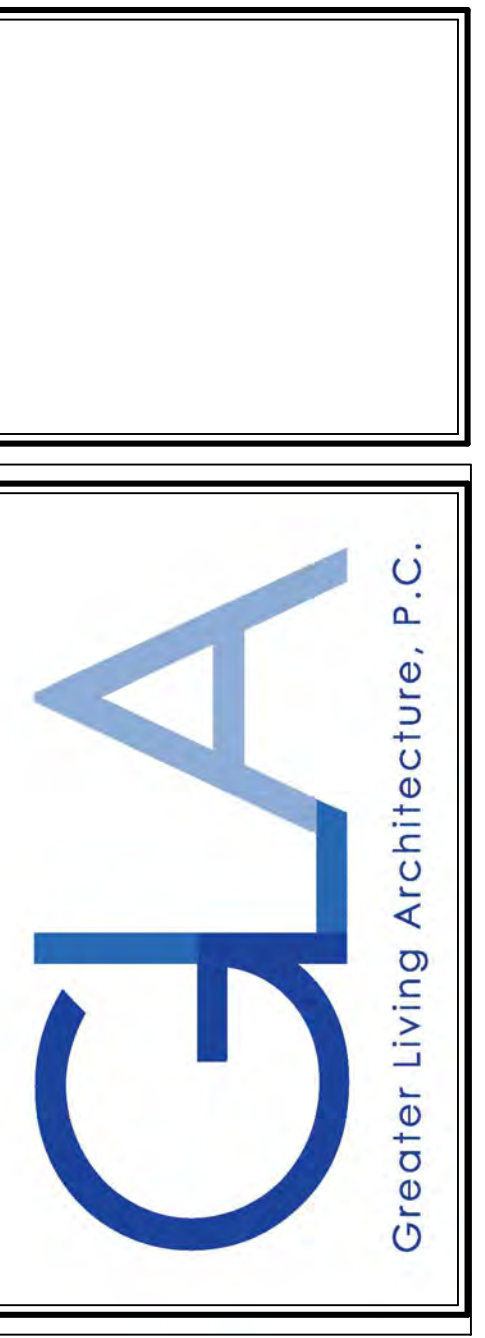


**NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS**  
FIGURE R602.6(1)



**NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS**  
FIGURE R602.6(2)

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CALL: (585) 272-9170  
FAX: (585) 292-1262  
www.greaterliving.com

**REVISIONS:**

DATE	BY	DESCRIPTION

**CLIENT/LOCATION:**

SPEC HOME  
LOT 85 COVENTRY RIDGE  
PITTSFORD, NY

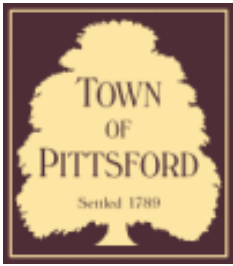
**BUILDER:**

COVENTRY RIDGE  
BUILDING CORP.

**DETAILS**  
GLA PLAN 3761

drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23
PROJECT: 15346F	sheet: <b>N</b> 1





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000088**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 4 Black Wood Circle PITTSFORD, NY 14534

**Tax ID Number:** 178.03-5-27

**Zoning District:** IZ Incentive Zoning

**Owner:** Wilshire Hill LLC

**Applicant:** Pride Mark Homes

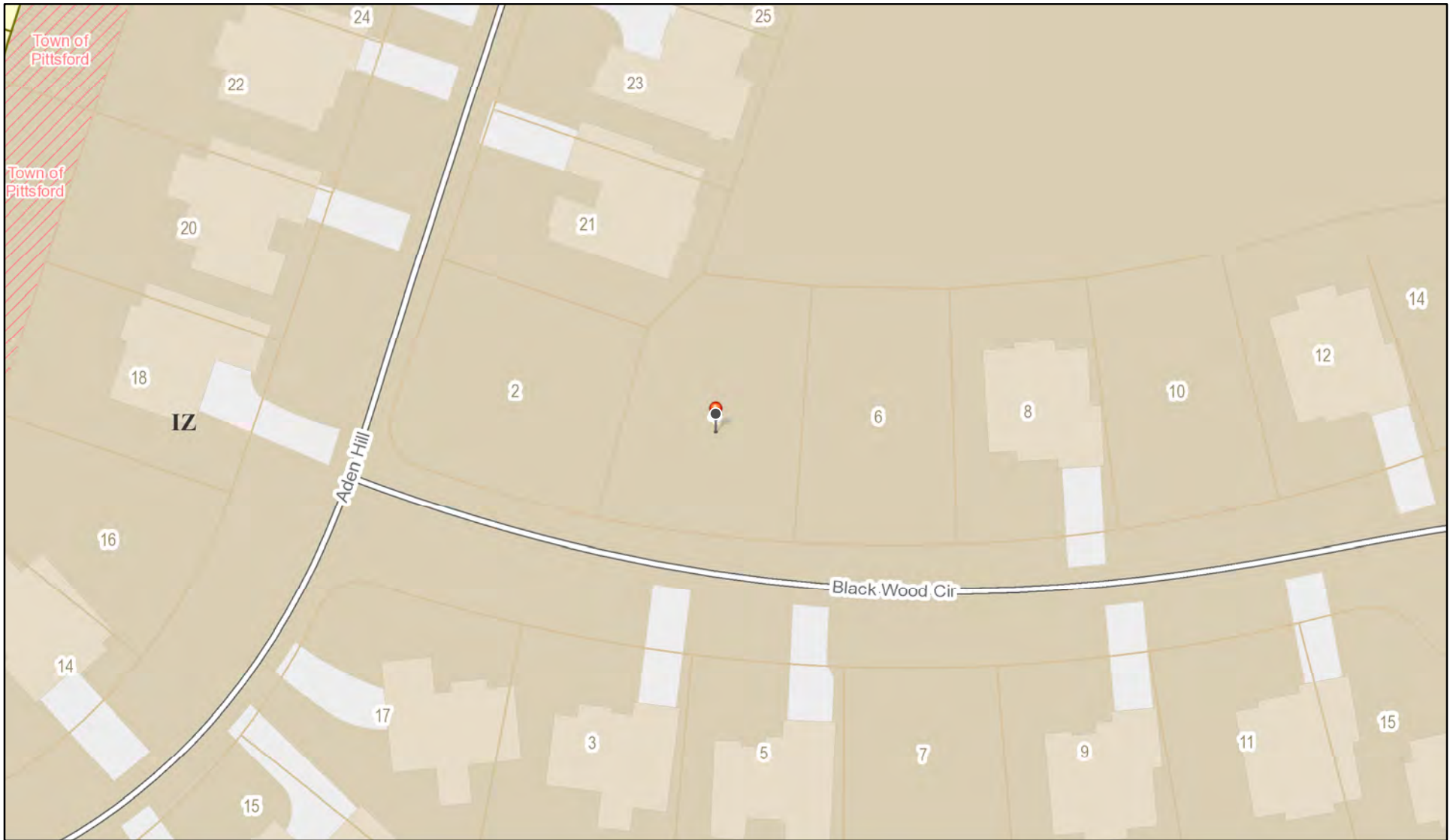
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

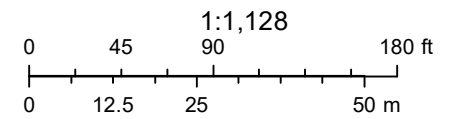
**Project Description:** Applicant is requesting design review for the construction of a one-story single family home. The home will have approximately 2827 square feet of livable area and is located in the Wilshire Hill Subdivision.

**Meeting Date:** August 10, 2023

# RN Residential Neighborhood Zoning



Printed July 20, 2023

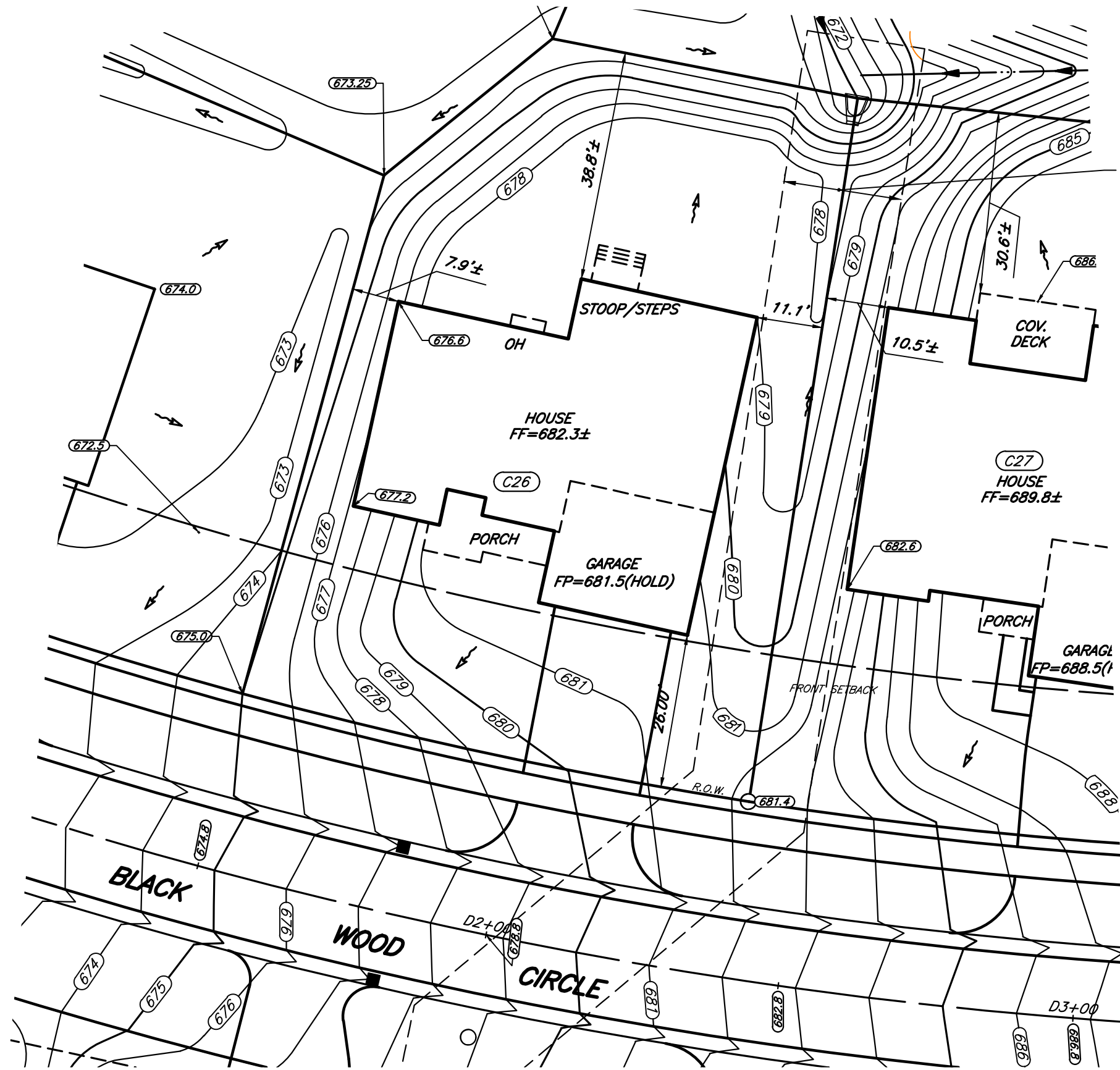


Town of Pittsford GIS

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File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C26\LOT C26.dwg, Plot Date: 7/14/2023, By: RTEDE



STORM SEWER EASEMENT TO THE TOWN OF PITTSFORD



TITLE:

**PLOT PLAN - LOT C26**

**WILSHIRE HILL - SECTION 3**

TOWN OF PITTSFORD MONROE COUNTY NEW YORK



JOB NO: 0423-17  
 SCALE: 1" = 20'  
 DRAWN: RJT  
 DESIGNED: RJT  
 DATE: 7/14/23

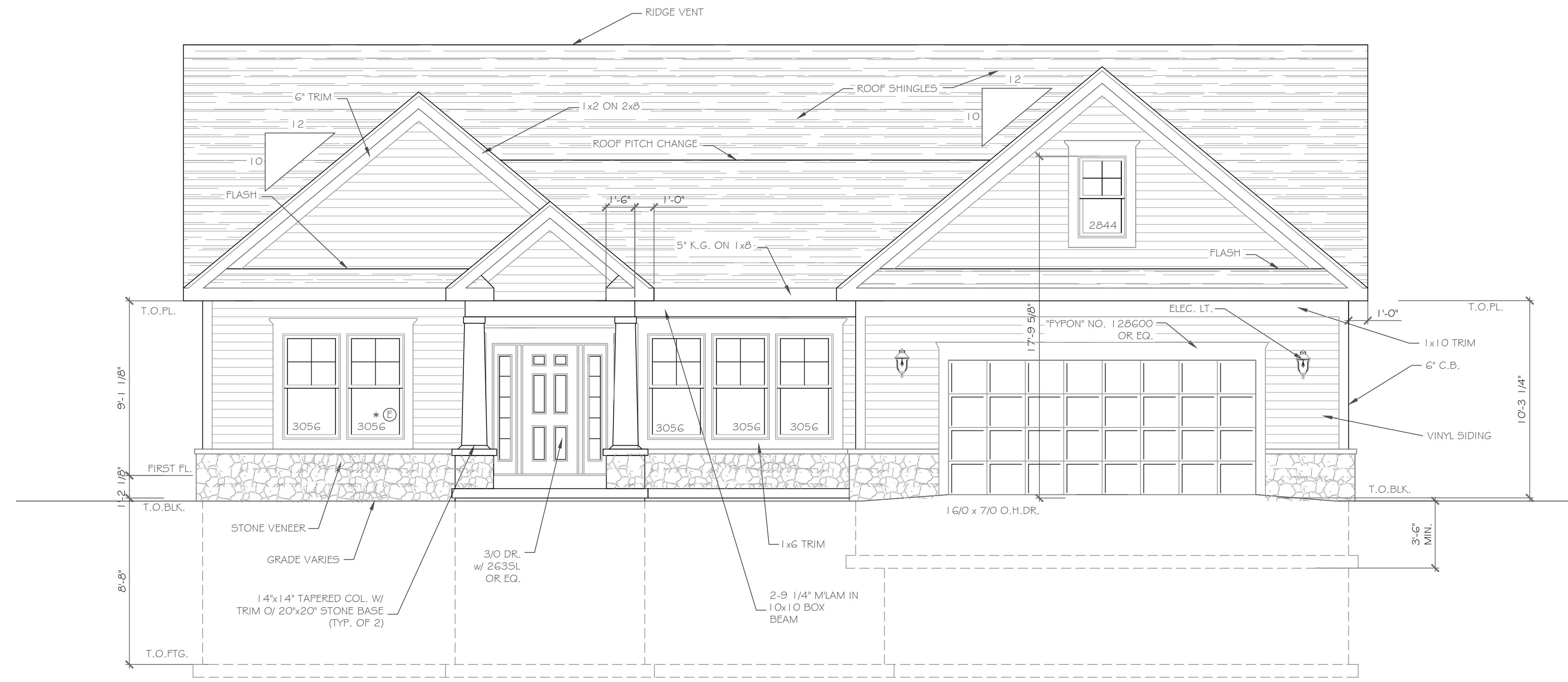
SETBACK	REQUIRED	PROVIDED
FRONT	25'	26.00'
SIDE	7.5'	7.9'±
REAR	10'	38.8' ±



# DESIGN CRITERIA:

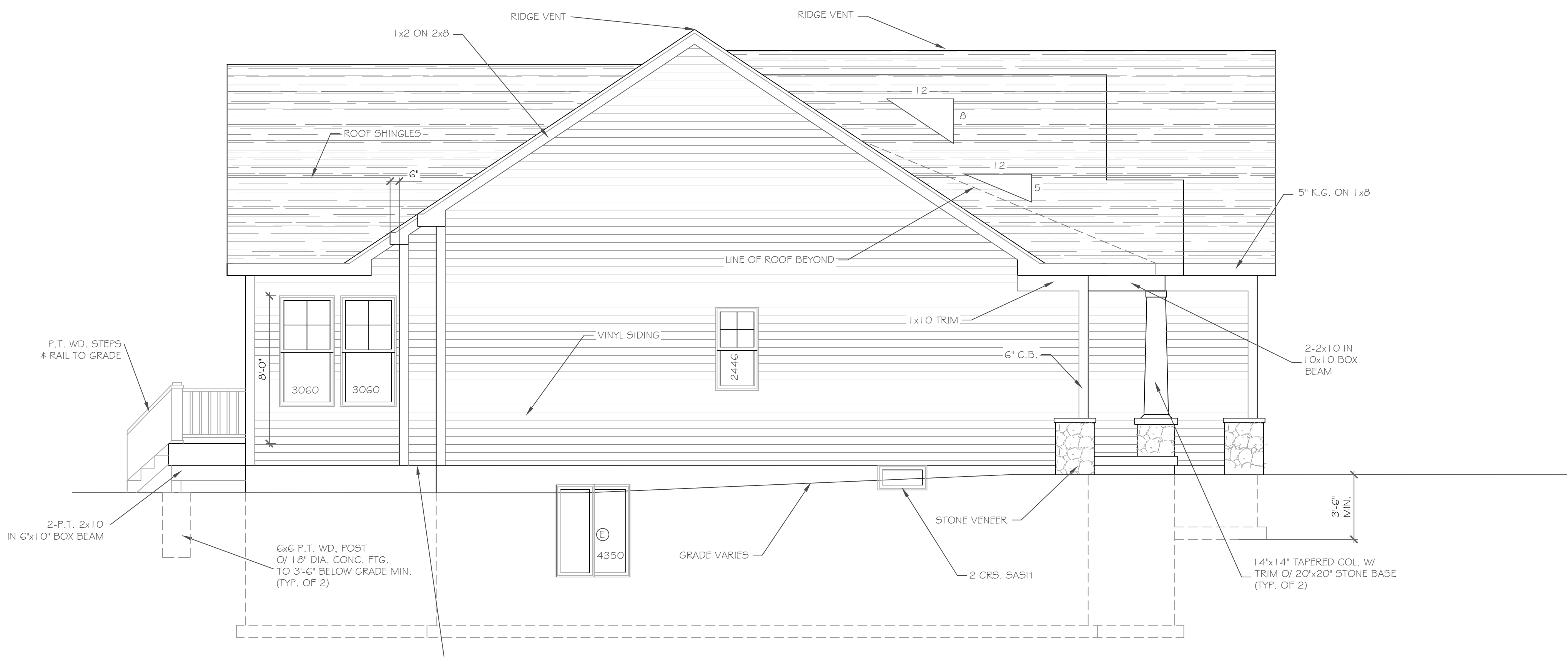
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



**FRONT ELEVATION** 2030 S.F.  
1/4" = 1'-0"

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
 - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



**LEFT SIDE ELEVATION**  
1/4" = 1'-0"

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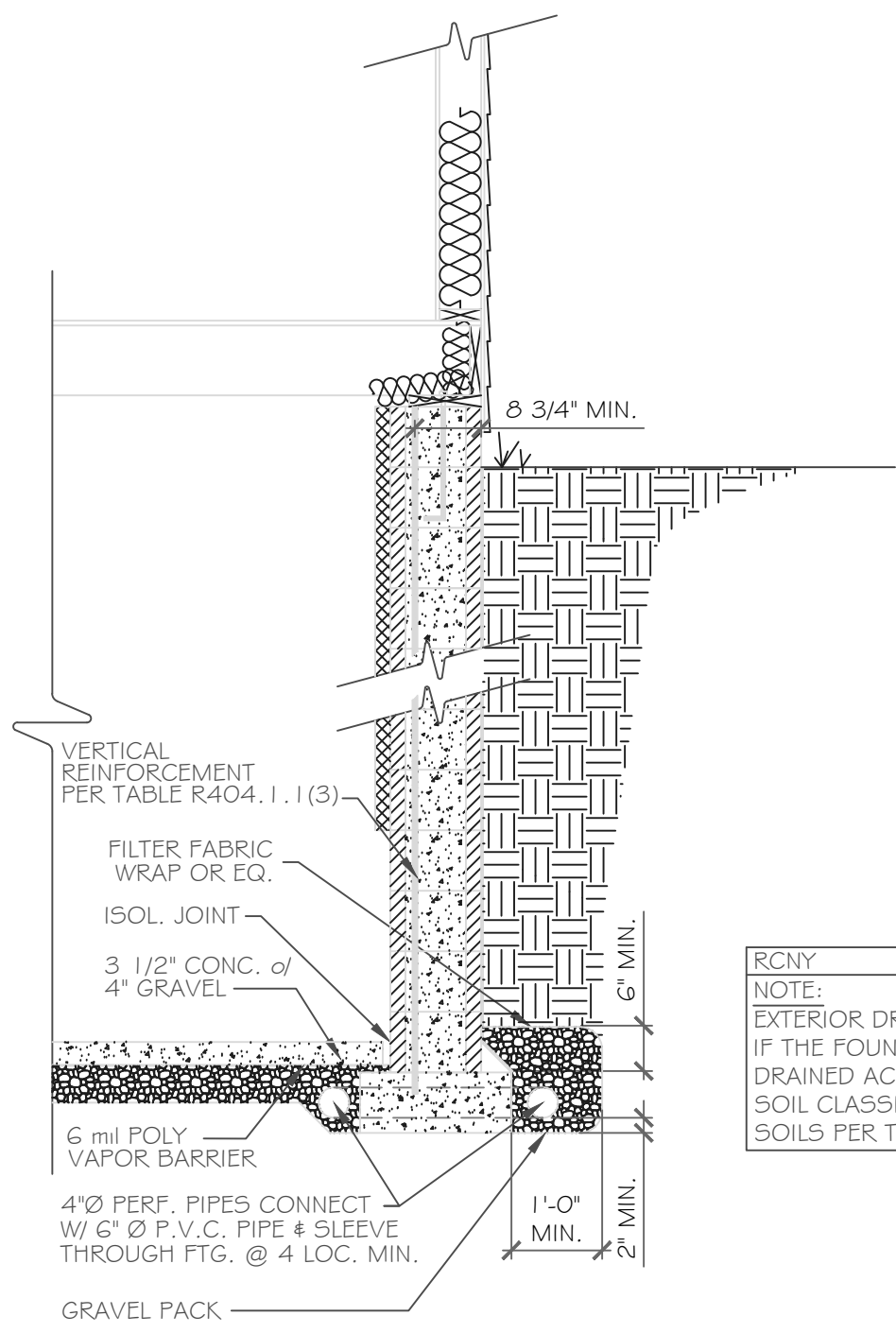
NO.	DATE	DESCRIPTION

DRAWING TITLE: <b>Elevations</b>	PHASE: Construction Documents

PROJECT: <b>Lot 26C Wishire Hill, Pittsford, N.Y.</b>	DATE: July 10, 2023
CLIENT: <b>Pride Mark Homes</b>	JOB NO. - A23-041

**CKH**  
**architecture**  
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 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. -  
**A-1**



PARTIAL TABLE R404.1.1(3)  
REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	VERTICAL REINFORCEMENT SIZE AND SPACING (b,c) FOR 12-INCH NOMINAL WALL THICKNESS		
		Soil classes (d)		
9	5	GW, GP, SW and SP soils	GM, GC, SM, SM-SC and ML soils	SC, MH, ML, CL and inorganic CL soils
	6	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.
	7	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 64" o.c.
	8	#5 at 64" o.c.	#4 at 40" o.c.	#6 at 64" o.c.
	9	#5 at 56" o.c.	#6 at 64" o.c.	#6 at 40" o.c.

a. Mortar shall be Type M or S and masonry shall be laid in running bond.  
 b. Alternative reinforcing bar sizes and spacings having an equivalent cross-sectional area of reinforcement per linear foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches.  
 c. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 0.75 inches.  
 d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.  
 e. Unbalanced backfill height is the difference in heights of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

NOTE:  
PROVIDE FROST FOOTING AS REQUIRED BELOW WINDOWS PER GRADE. FOOTING MINIMUM 3'-6" BELOW GRADE

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:  
**Basement & Foundation Plan**

PROJECT:  
Lot 26C  
Wilshire Hill, Pittsford, N.Y.

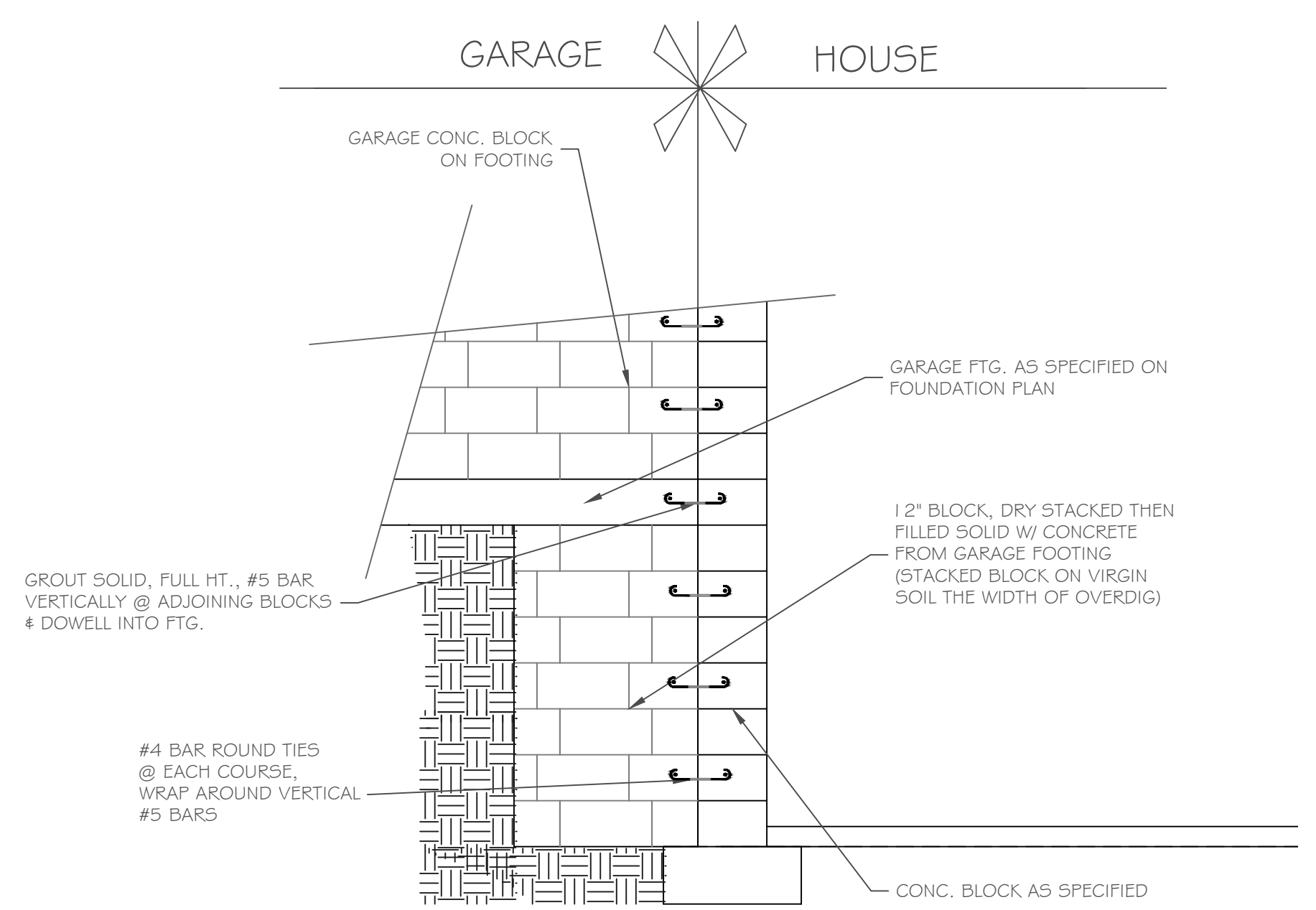
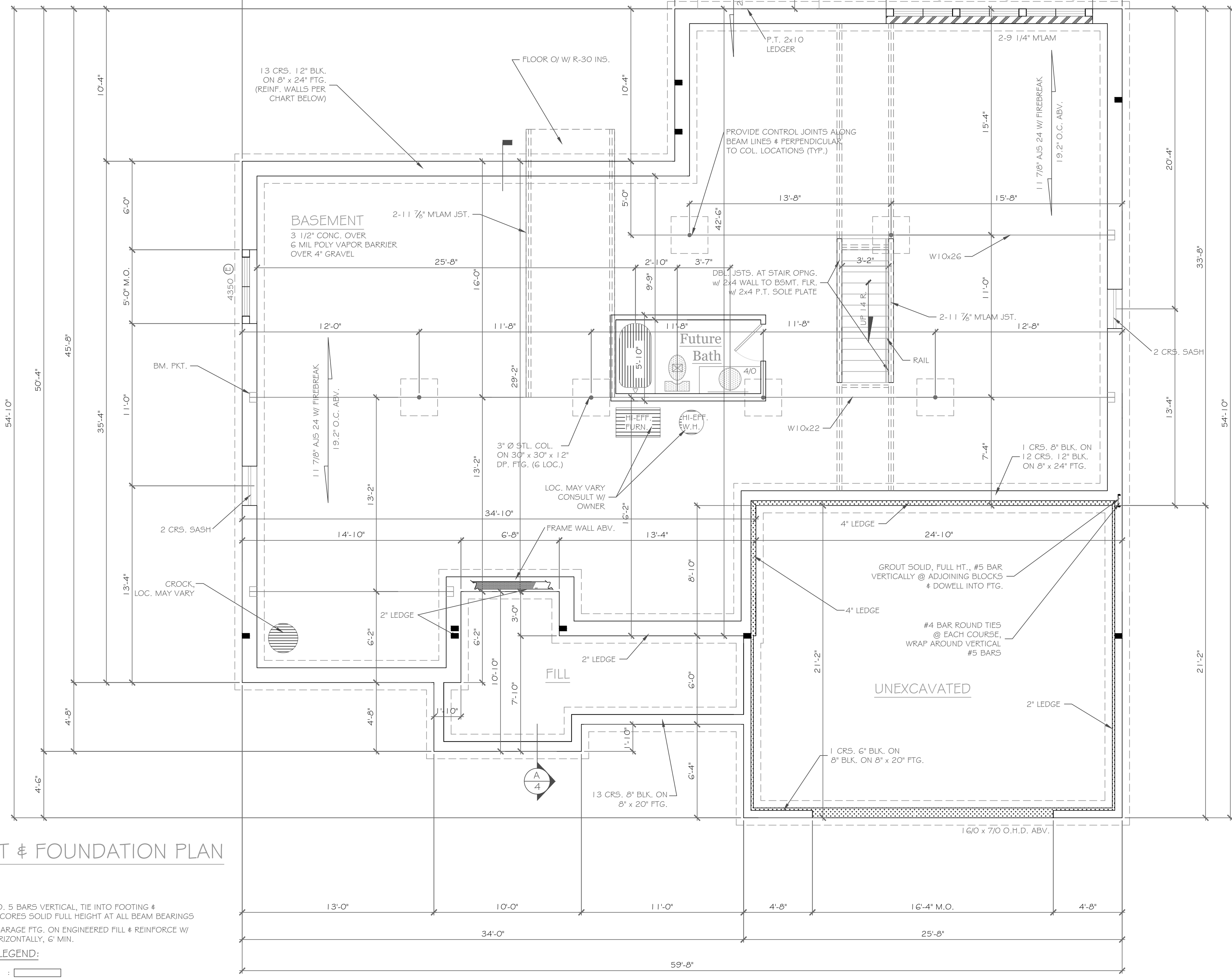
CLIENT:  
Pride Mark Homes

PHASE:  
Construction Documents

CKH architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York, 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frommetmet.net

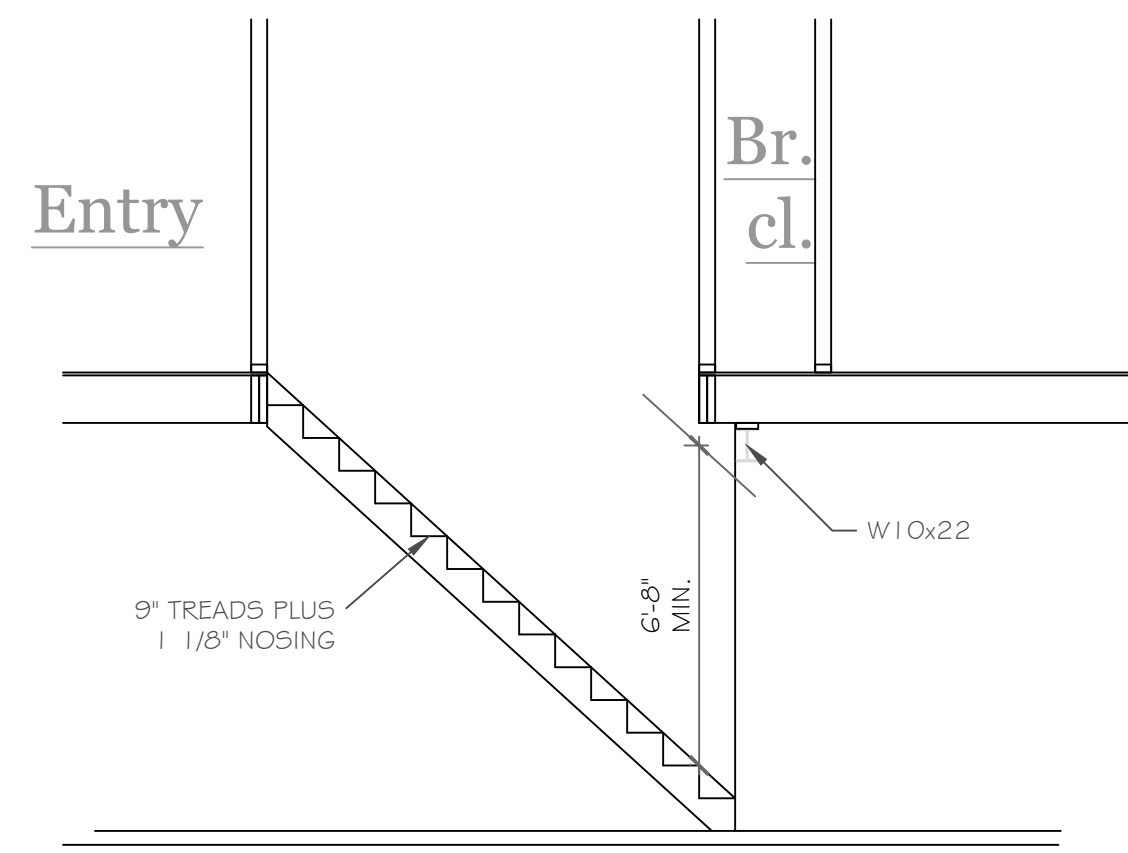
DRAWING NO. -  
**A-2**

RCNY  
NOTE:  
EXTERIOR DRAIN TILE IS OPTIONAL IF THE FOUNDATION SOILS ARE WELL DRAINED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS PER TABLE R405.1



**BASEMENT & FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

NOTE: - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING & GROUT BLOCK CORES SOLID FULL HEIGHT AT ALL BEAM BEARINGS  
 -PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.  
 CONC. BLK. LEGEND:  
 ELEV. = 0' : [Pattern] -1 CRS.  
 ELEV. = (-) 8' : [Pattern] -1 CRS.  
 ELEV. = (-) 6'-8" : [Pattern] -1 O. CRS.

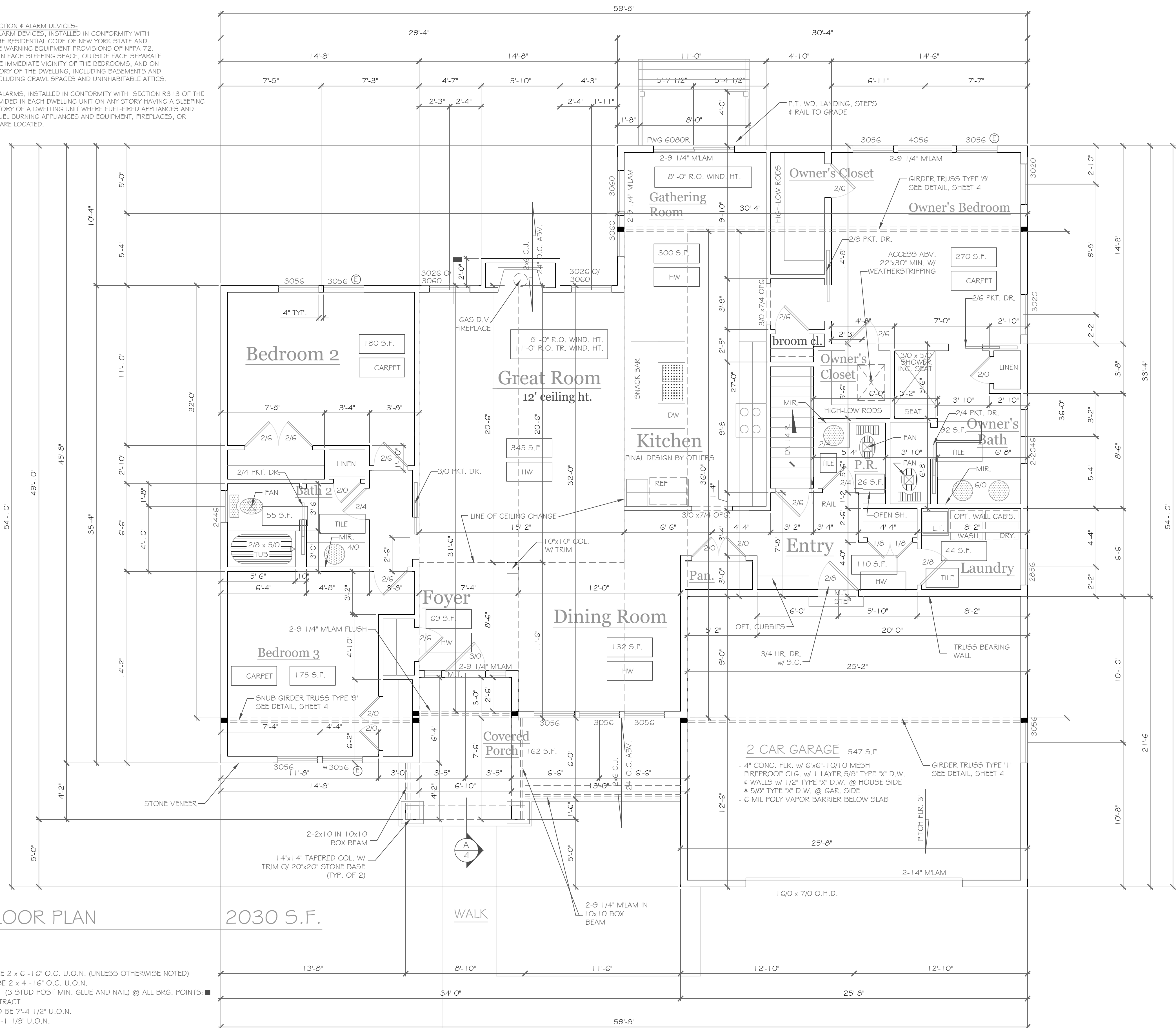


STAIR DIAGRAM

1/4" = 1'-0"

NOTES: SMOKE DETECTION & ALARM DEVICES:  
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



FIRST FLOOR PLAN

1/4" = 1'-0"

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 1/2" U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
- Ⓢ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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NO.	DATE	DESCRIPTION

PROJECT:	Lot 26C Wilshire Hill, Pittsford, N.Y.
CLIENT:	Pride Mark Homes
DRAWING TITLE:	First Floor Plan
PHASE:	Construction Documents
DATE:	July 10, 2023
JOB NO.:	A23-041

PROJECT:	Lot 26C Wilshire Hill, Pittsford, N.Y.
CLIENT:	Pride Mark Homes
DRAWING TITLE:	First Floor Plan
PHASE:	Construction Documents
DATE:	July 10, 2023
JOB NO.:	A23-041

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e-mail: CKHennessey@frontier.net

DRAWING NO. -  
**A-3**

**ROOF CONSTRUCTION**

- ROOF SHINGLES w/ ICE BARRIER AT EAVE w/ 5 LB. FELT
- 7/16" O.S.B. SHEATHING
- TRUSSES OR RAFTS, PER. PLAN (FINAL DESIGN BY MFR.)
- R-4.9 INSULATION, ROOF VENTS AND INSULATION BAFFLES AS REQD. TO MAINTAIN 1" AIRSPACE
- 1/2" DRYWALL CEILING

**EAVE CONST.**

- 5" F.G. ON 1x6 ON 2x6
- MTL. DRIP EDGE
- SOFFIT w/ VENTS

**WALL CONST.**

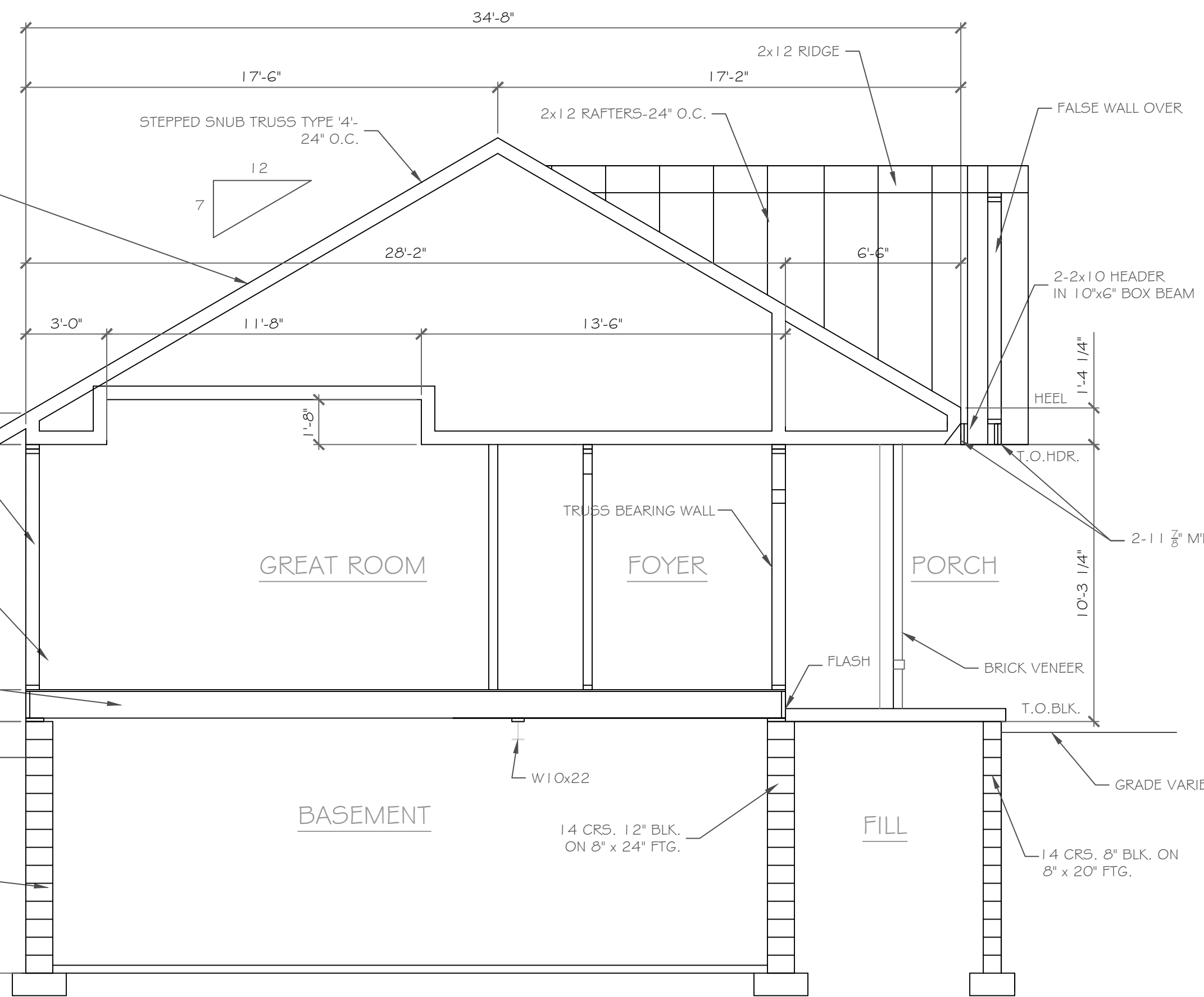
- HORIZ. VINYL SIDING
- HOUSE WRAP
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS @ 16" O.C.
- R-20 INSULATION w/ KRAFT VAPOR BARRIER
- 1/2" DRYWALL

**FLOOR CONST.**

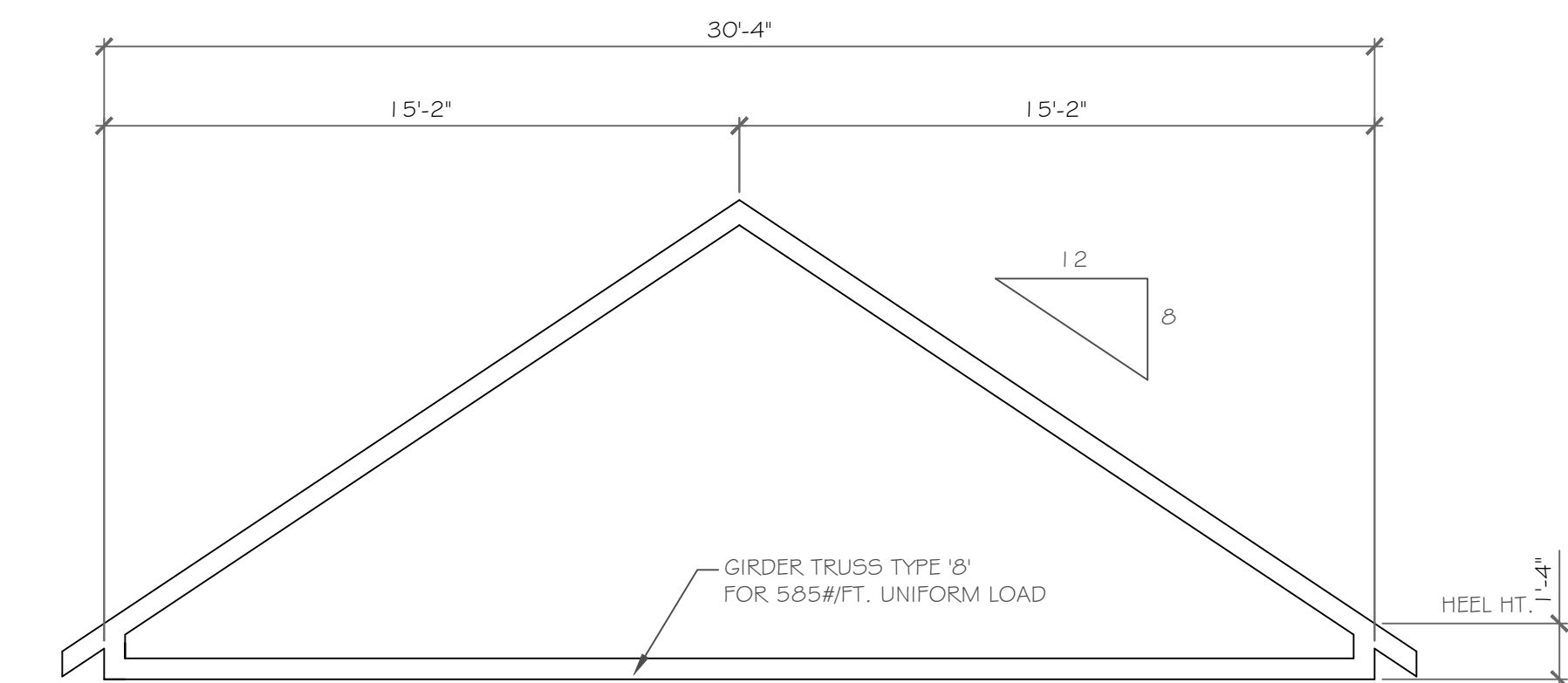
- 3/4" ADVANTECH SUBFLOOR, GLUED & NAILED
- 1" 7/8" AIS 24 W/ FIREBREAK - 19.2" O.C.
- R-19 INSULATION, 2" O" FULL PERIMETER

**FOUNDATION CONST.**

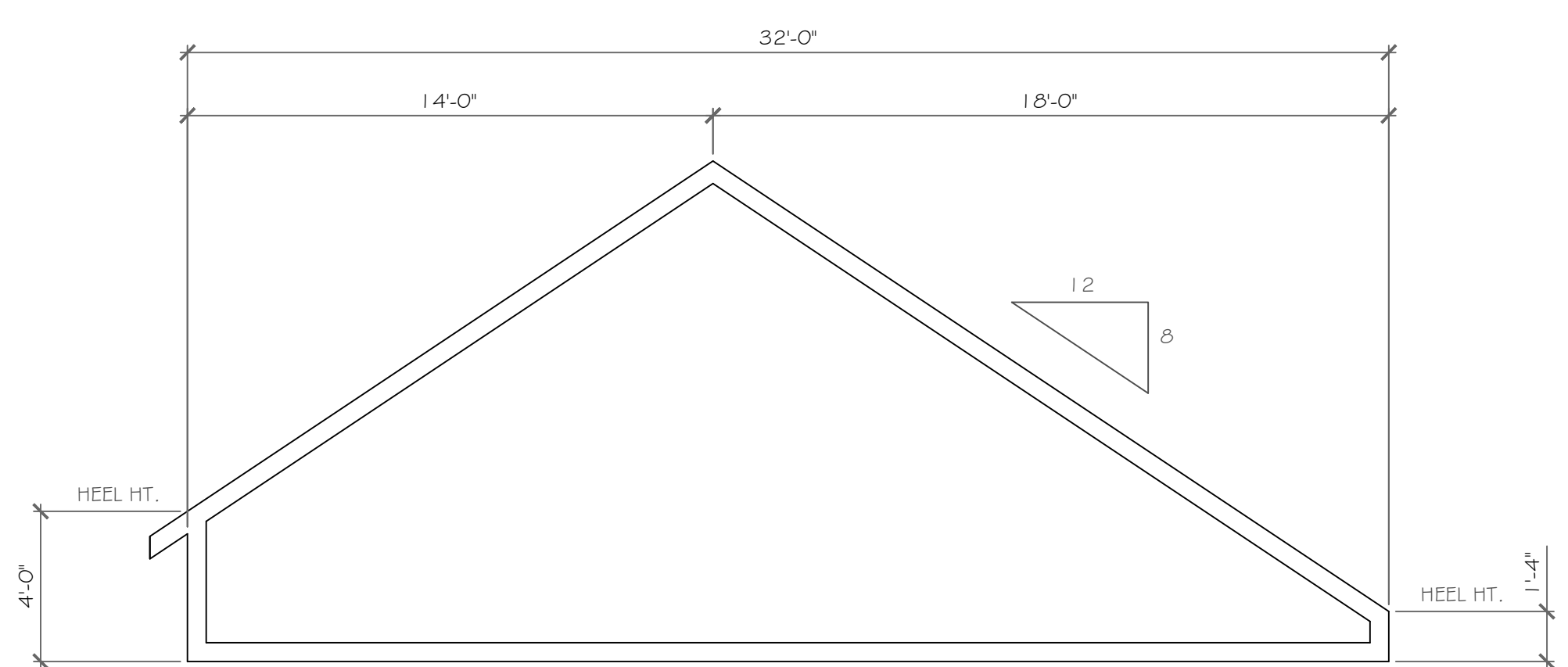
- 2x10 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6" O.C. MIN.
- 14 CRS. 12" BLK. FOR VERTICAL REINFORCING SEE TABLE R404.1.1(1) ON FOUNDATION PLAN
- CEMENT FARGE AND TAR COAT DAMPPROOFING OR EQ.
- R-15 INSULATION TO SLAB
- 24"x8" CONT. CONC. FTG. w/ COVE BASE



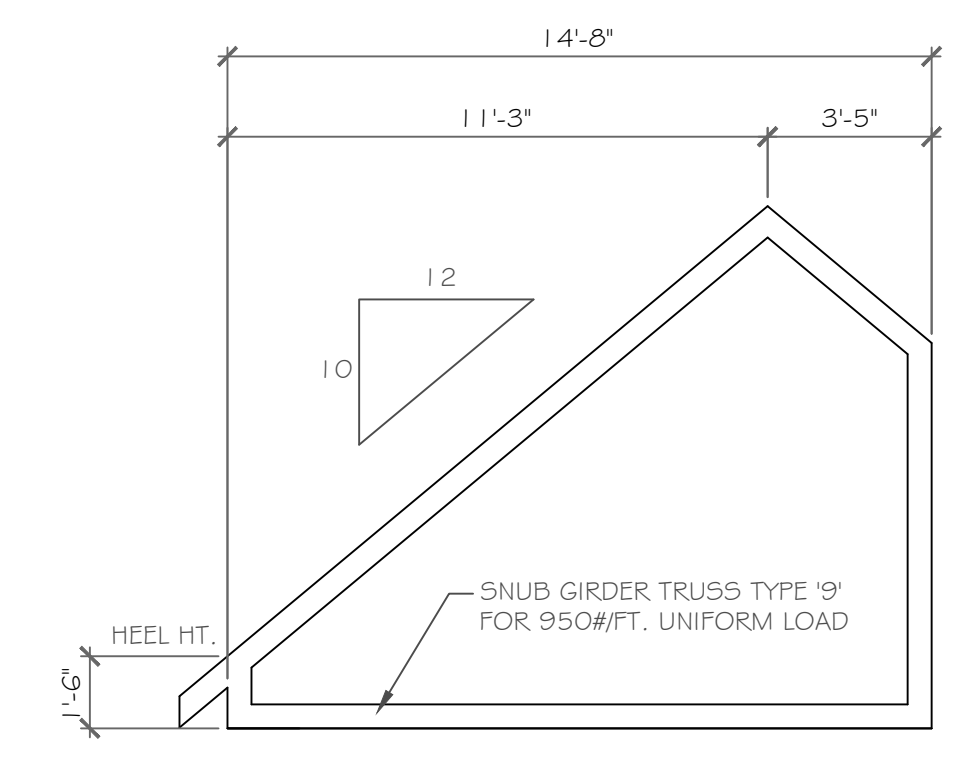
**CROSS SECTION**  
1/4" = 1'-0"



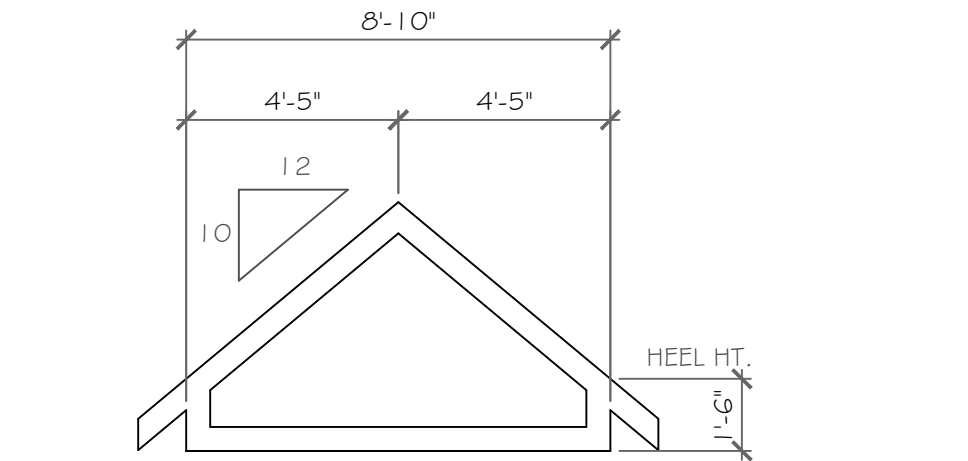
**TRUSS '8' DIAGRAM**  
1/4" = 1'-0"



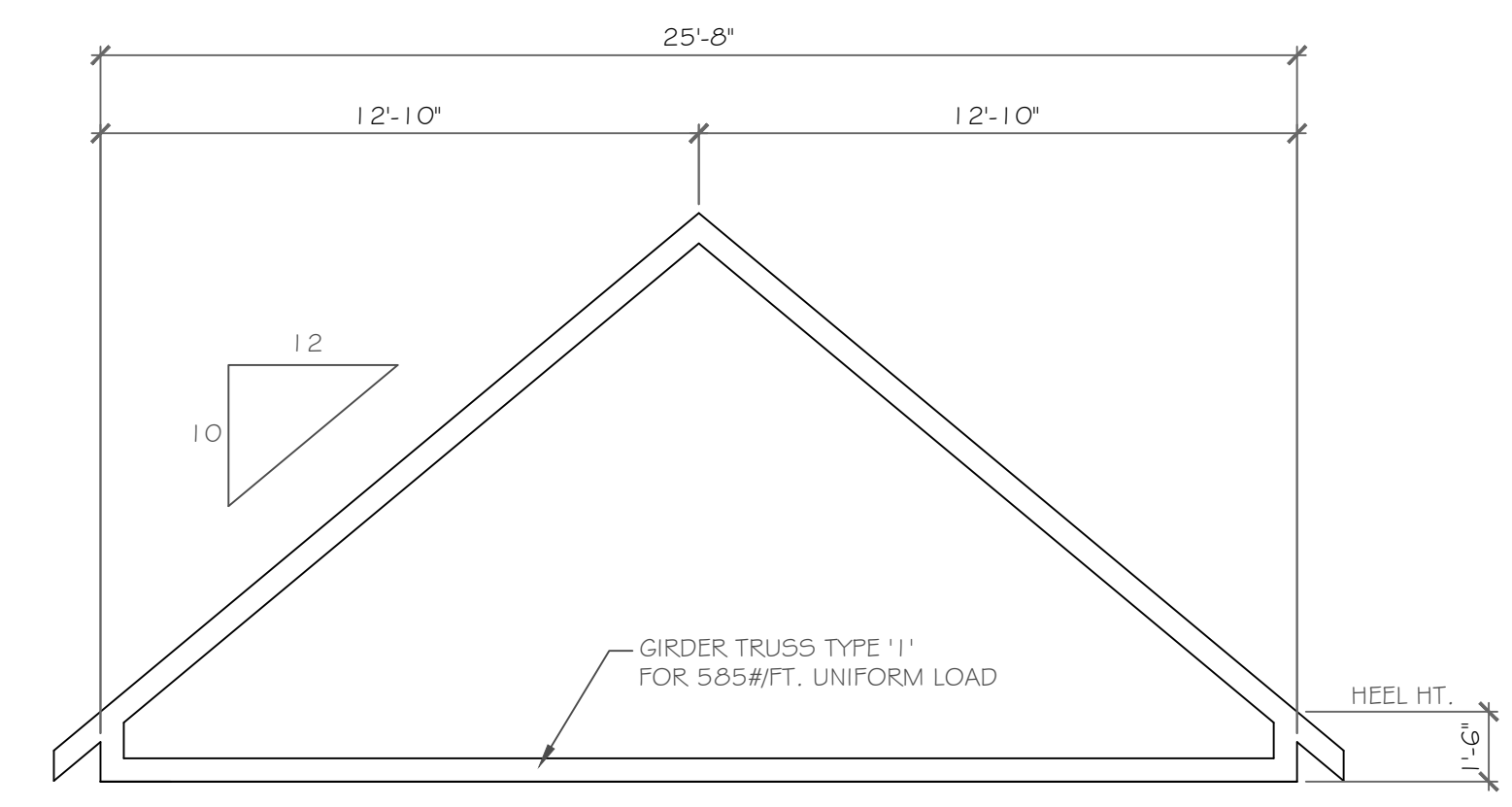
**TRUSS '2' DIAGRAM**  
1/4" = 1'-0"



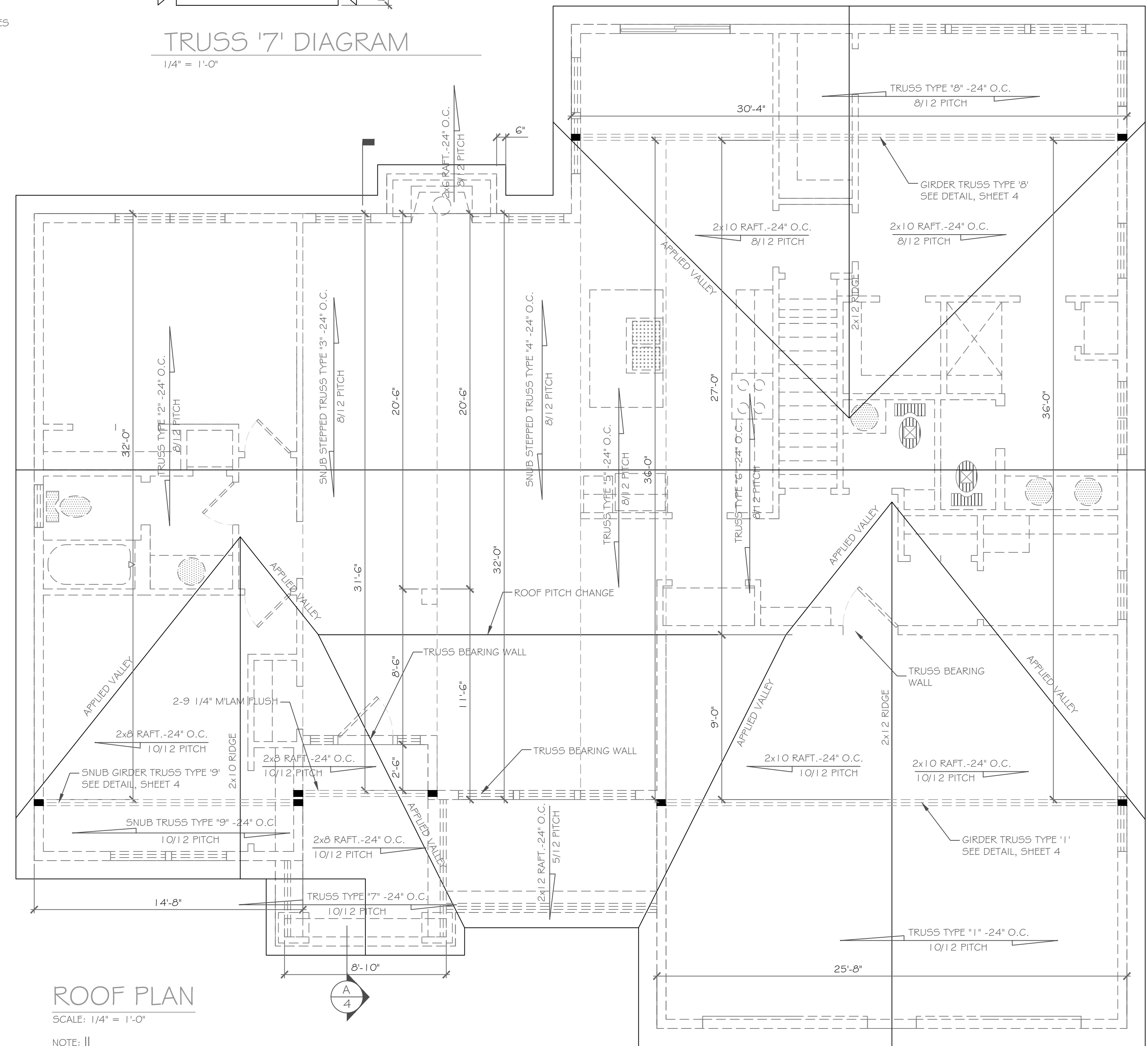
**SNUB TRUSS '9' DIAGRAM**  
1/4" = 1'-0"



**TRUSS '7' DIAGRAM**  
1/4" = 1'-0"



**TRUSS '1' DIAGRAM**  
1/4" = 1'-0"



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

- NOTE:**
- ALL SOFFITS TO BE 1'-0" U.O.N. (UNLESS OTHERWISE NOTED)
  - PROVIDE SOLID BLK. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■
  - PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.
  - TRUSS TYPE AND LOCATIONS ARE SUGGESTED. FINAL TRUSS LAYOUT AND DESIGN BY TRUSS MFR.

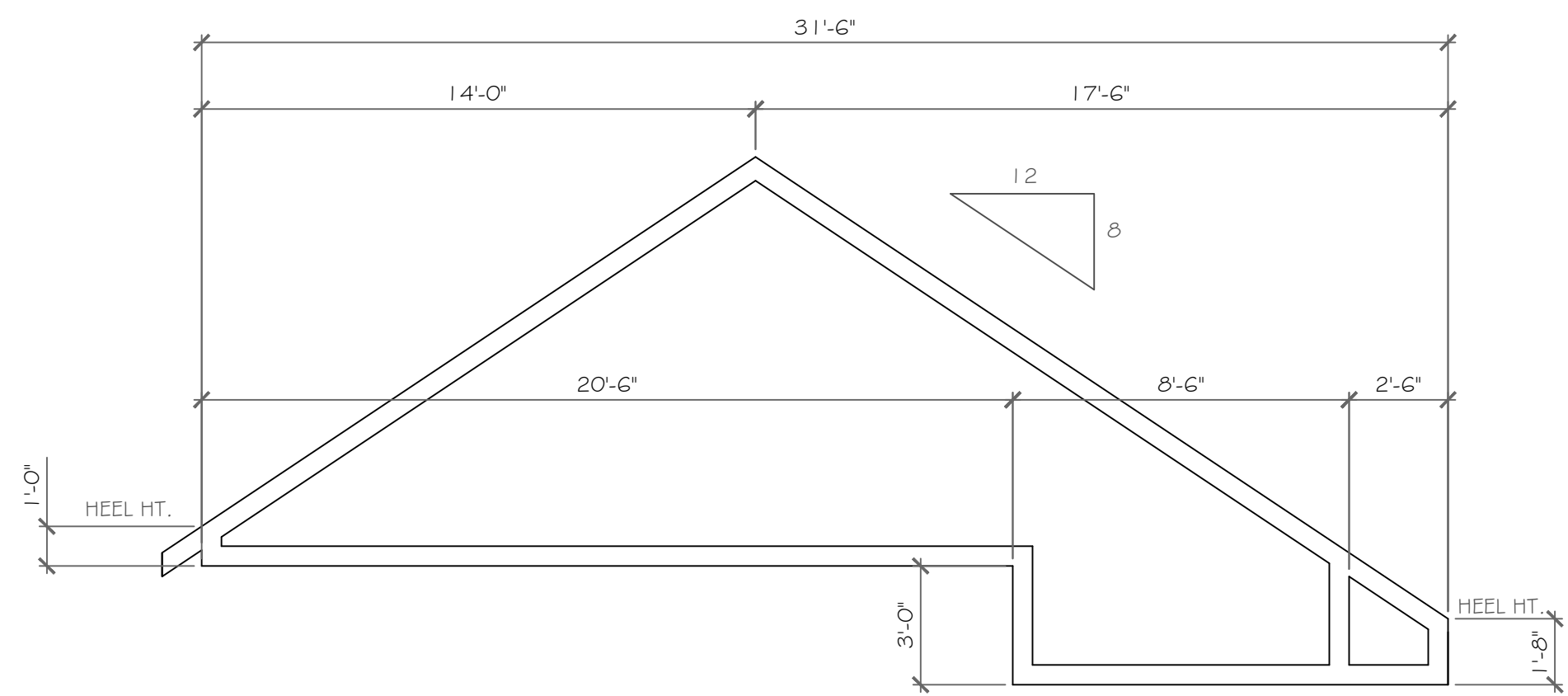
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REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT: <b>Lot 26C Wilshire Hill, Pittsford, N.Y.</b>	DRAWING TITLE: <b>Roof Plan</b>	PHASE: Construction Documents
	CLIENT: <b>Pride Mark Homes</b>	

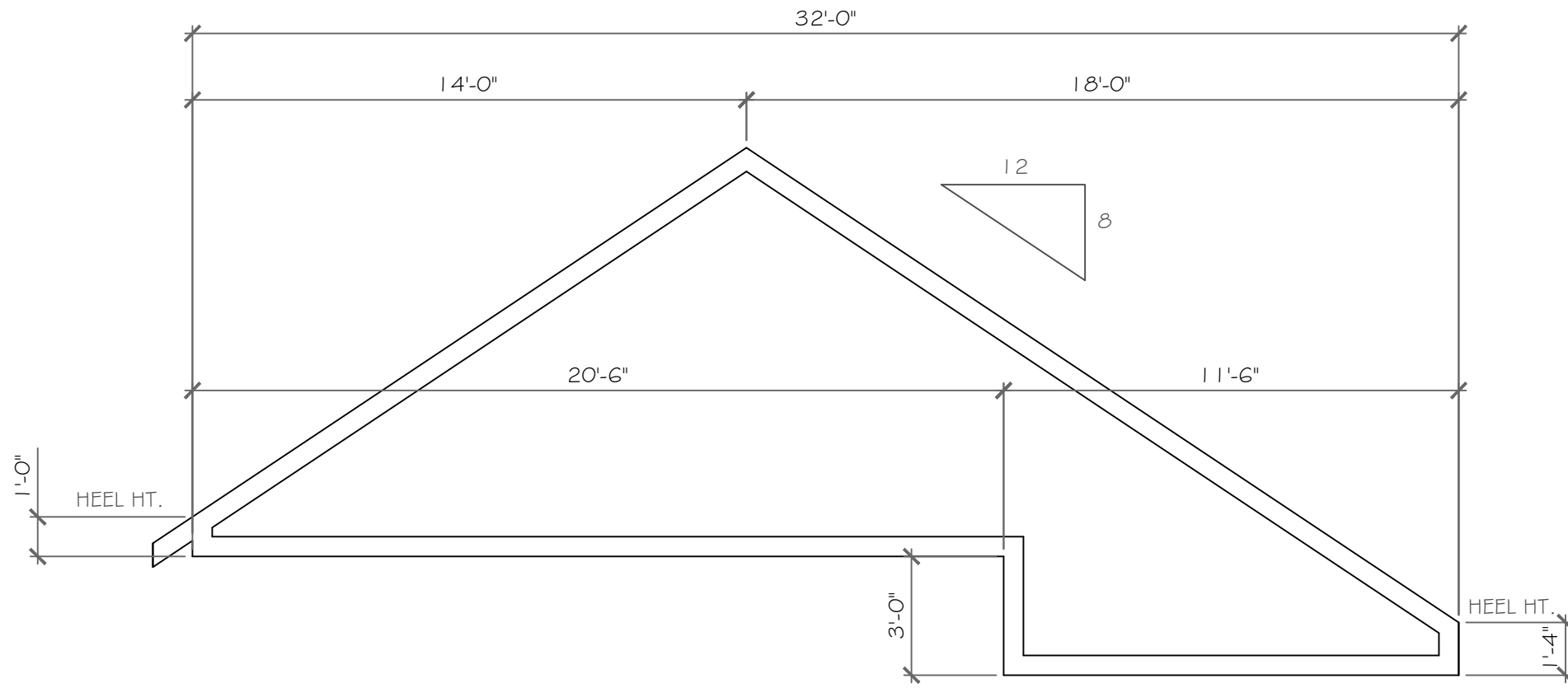
JOB NO. - <b>A23-041</b>	DATE: July 10, 2023
-----------------------------	------------------------

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Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frontiernet.net



SNUB STEPPED TRUSS '3' DIAGRAM

1/4" = 1'-0"



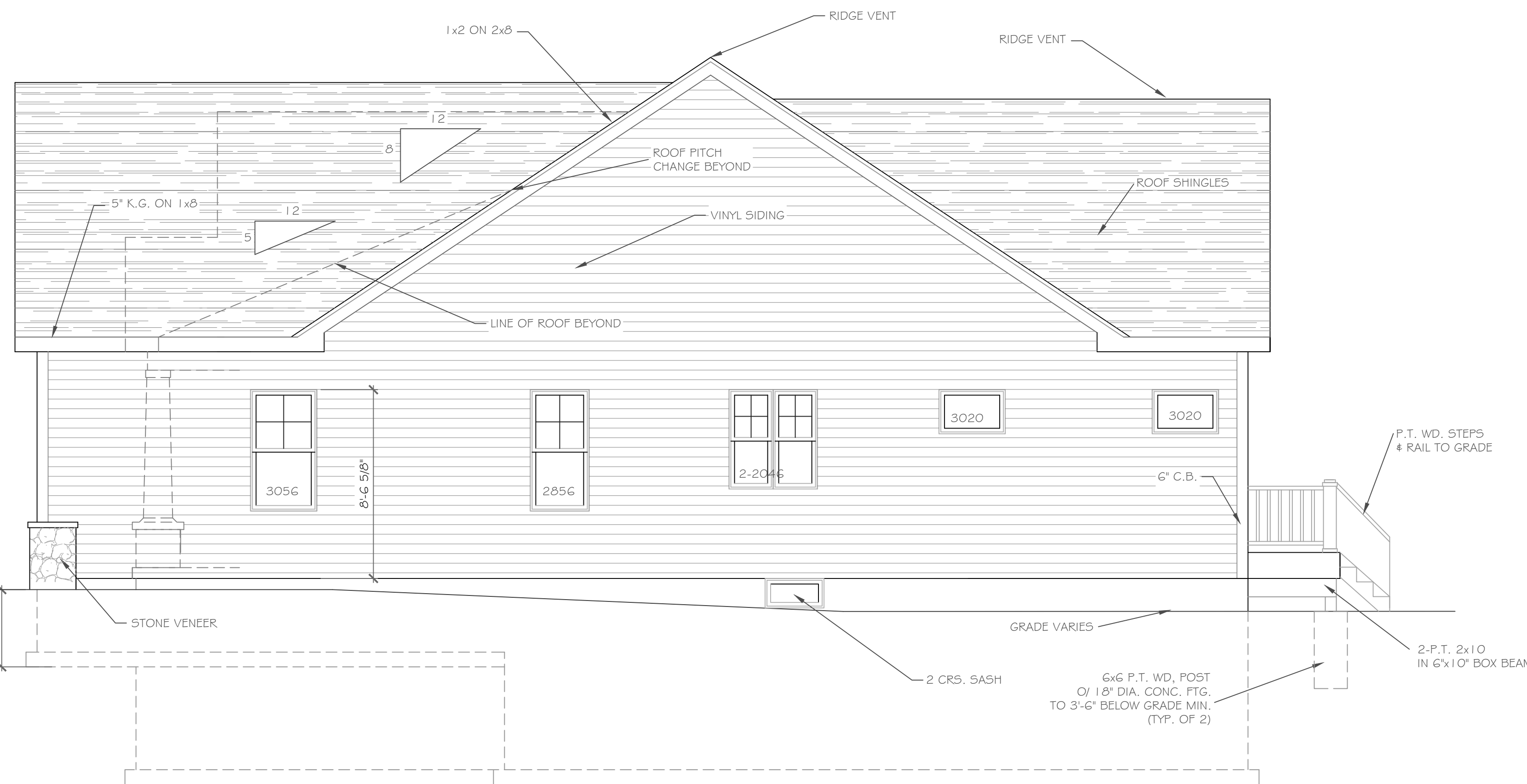
STEPPED TRUSS '4' DIAGRAM

1/4" = 1'-0"



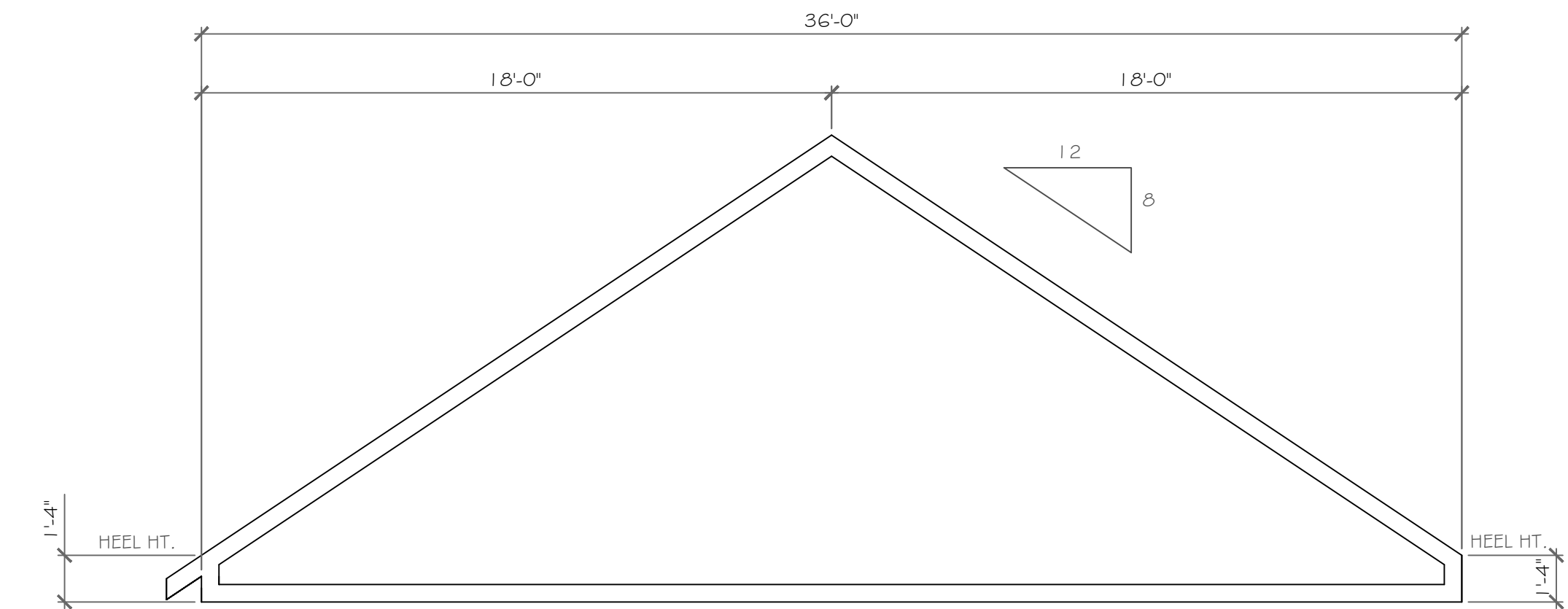
REAR ELEVATION

1/4" = 1'-0"



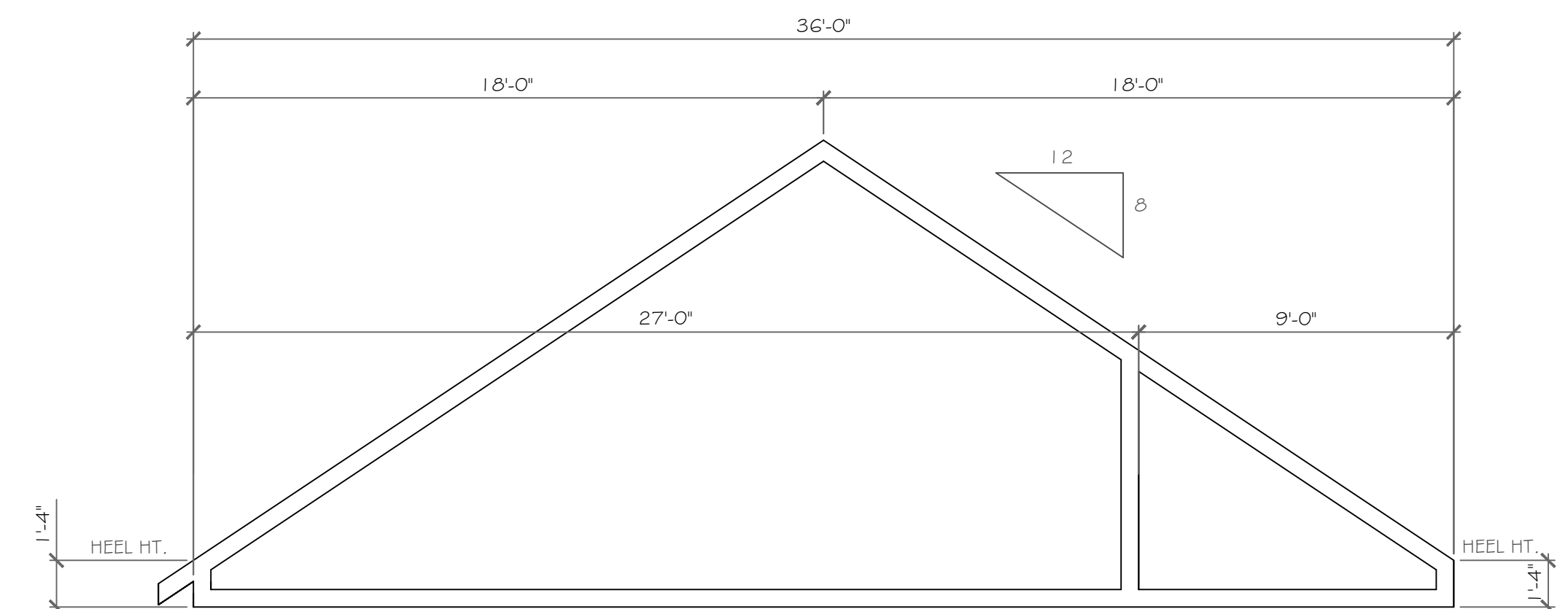
RIGHT SIDE ELEVATION

1/4" = 1'-0"



TRUSS '5' DIAGRAM

1/4" = 1'-0"



TRUSS '6' DIAGRAM

1/4" = 1'-0"

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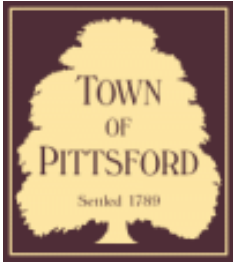
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	Elevations
PROJECT-	Lot 26C Wishire Hill, Pittsford, N.Y.
CLIENT-	Pride Mark Homes
JOB NO.-	A23-041
DATE-	July 10, 2023
PHASE-	Construction Documents

PROJECT-	Lot 26C Wishire Hill, Pittsford, N.Y.
CLIENT-	Pride Mark Homes
JOB NO.-	A23-041
DATE-	July 10, 2023
PHASE-	Construction Documents

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e-mail: CKHennessey@frontier.net

DRAWING NO.-  
**A-5**



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000091**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 151 Sylvania Road ROCHESTER, NY 14618

**Tax ID Number:** 151.06-1-5

**Zoning District:** RN Residential Neighborhood

**Owner:** Eagle, Charles T

**Applicant:** Stahl Property Associates

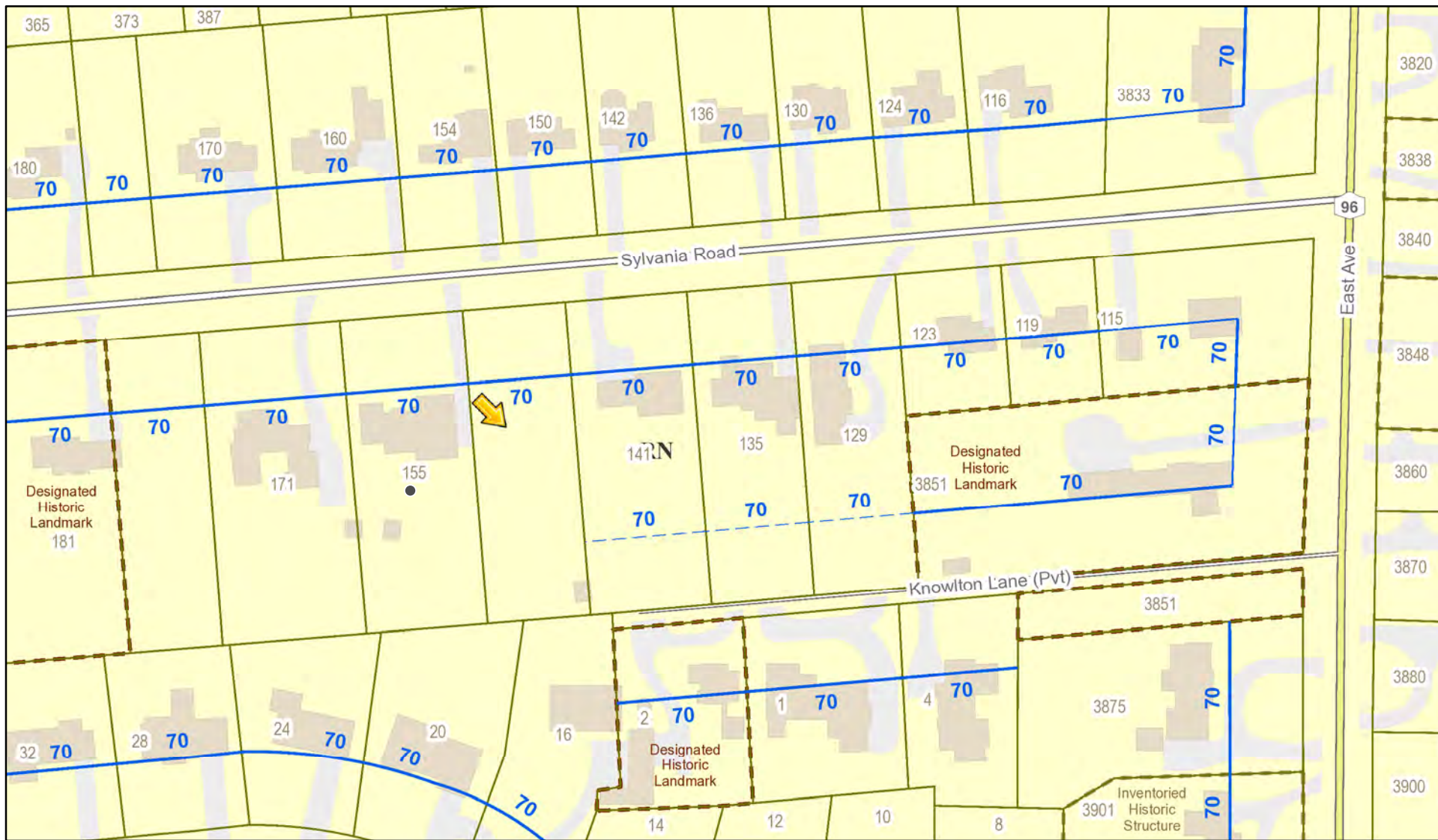
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

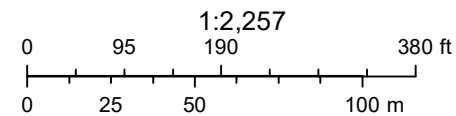
**Project Description:** Applicant is requesting design review for a 4732 square foot new home between 155 and 141 Sylvania Road.

**Meeting Date:** August 10, 2023

# RN Residential Neighborhood Zoning



Printed July 20, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



186

180

170

181

171

155

141

135

129

123

119

115

3851

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32

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16

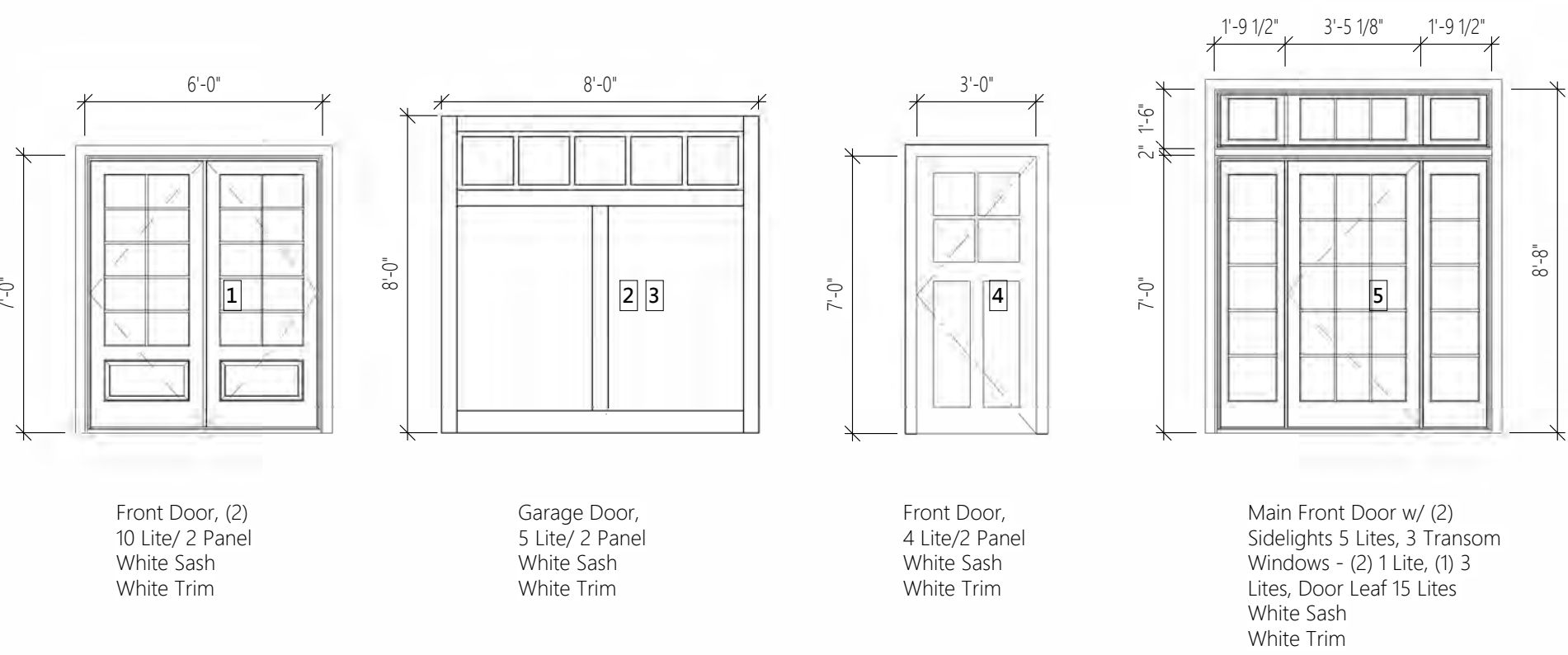
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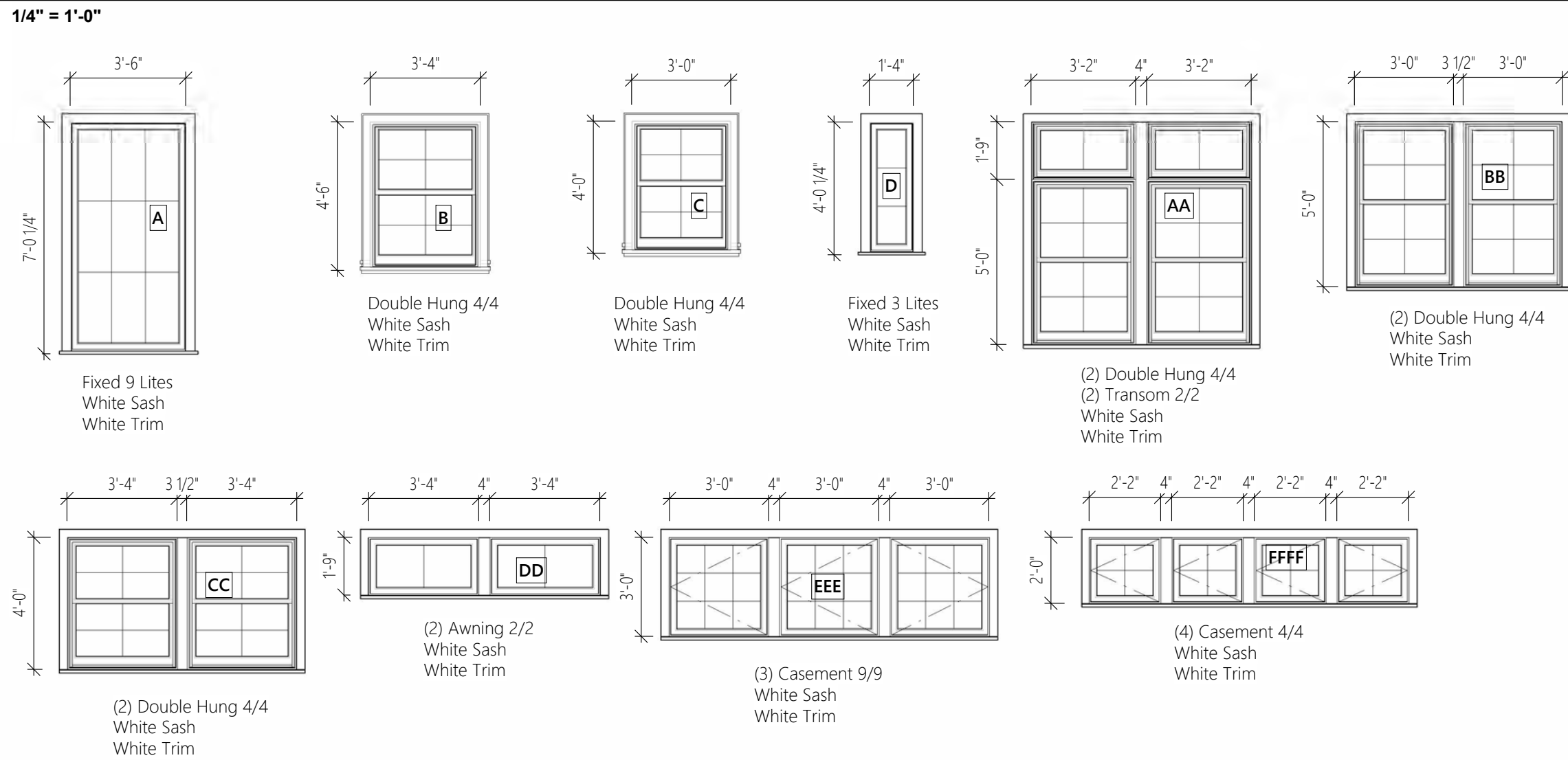
4

3875





**Door Schedule**



**Window Schedule**



**DD - Not For Construction**

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO. JBSTUDIO CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS, PLEASE CALL JBSTUDIO. THESE DRAWINGS AND DESIGNS THEY ILLUSTRATE ARE SOLE PROPERTY OF JBSTUDIO AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF JBSTUDIO. DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" CANNOT BE USED FOR CONSTRUCTION OR FOR PURCHASING CONSTRUCTION MATERIALS.



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 JBStudio  
 PO Box 3741  
 Nantucket, MA 02584  
 tel: (508) 332-9654  
 email: juraj@theJBStudio.com

Project  
**Eagle Residence - Main House**  
 Sylvania Road, Rochester, NY 14618

Sheet Site Plan

**SHEET INDEX**

C.101	Site Plan
A.101	Basement
A.102	First Floor
A.103	Attic
A.201	Exterior Elevations
A.202	Exterior Elevations
Grand total: 6	

Date **07.19.2023**

Revisions

**C.101**

Scale As indicated

DD - Not For Construction

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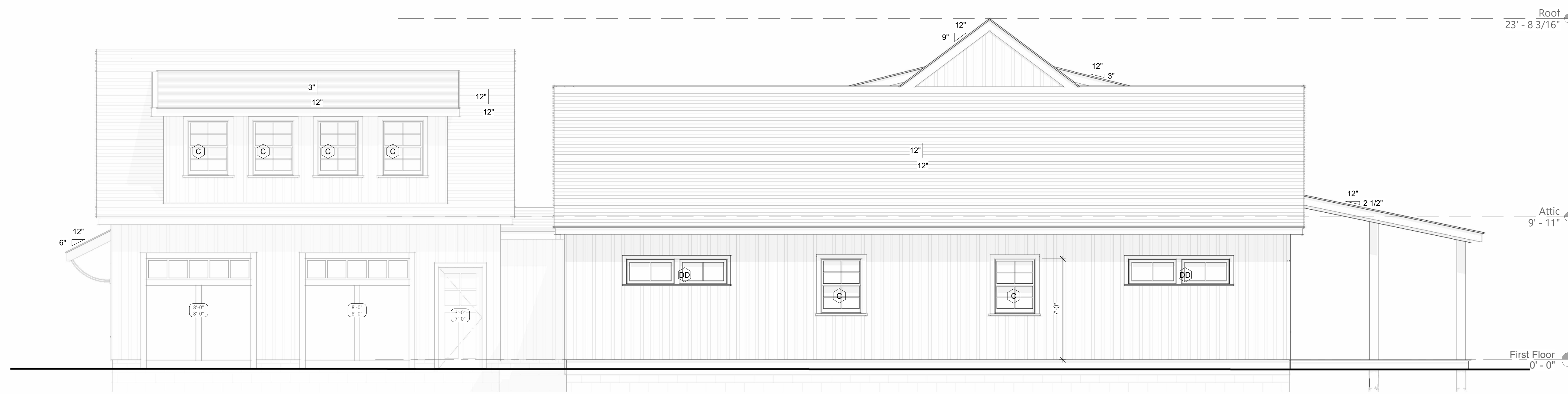
tel: (508) 332-9654  
email: juraj@theJBStudio.com

Project

**Eagle Residence  
- Main House**  
Sylvania Road, Rochester,  
NY 14618



**1 North West Elevation**  
1/4" = 1'-0"



**2 South West Elevation**  
1/4" = 1'-0"

Sheet  
Exterior Elevations

**SHEET INDEX**

- C.101 Site Plan
- A.101 Basement
- A.102 First Floor
- A.103 Attic
- A.201 Exterior Elevations
- A.202 Exterior Elevations
- Grand total: 6

Date  
**07.19.2023**

Revisions

**A.201**

Scale  
1/4" = 1'-0"

DD - Not For Construction

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tel: (508) 332-9654  
email: juraj@theJBStudio.com

Project

**Eagle Residence  
- Main House**  
Sylvania Road, Rochester,  
NY 14618

Sheet  
Exterior Elevations

**SHEET INDEX**

- C.101 Site Plan
- A.101 Basement
- A.102 First Floor
- A.103 Attic
- A.201 Exterior Elevations
- A.202 Exterior Elevations
- Grand total: 6

Date  
**07.19.2023**

Revisions

**A.202**

Scale 1/4" = 1'-0"



**1 South East Elevation**  
1/4" = 1'-0"



**2 North East Elevation**  
1/4" = 1'-0"