Agenda 08-10-2023

# Design Review & Historic Preservation Board AGENDA August 10, 2023

This agenda is subject to change

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, August 10, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

#### HISTORIC PRESERVATION DISCUSSION

#### **BUILDING INSPECTOR REMARKS**

#### **RESIDENTIAL APPLICATIONS – ACCESSORY STRUCTURES**

#### 43 Musket Lane

Applicant is requesting design review for the addition of a 288 SF accessory structure, shed.

#### **RESIDENTIAL APPLICATIONS – ADDITIONS**

#### 16 Winding Road

Applicant is requesting design review for a garage expansion in the front of the home along with two additions at the back and side of the home.

#### 32 Stoneleigh Court

Applicant is requesting design review for an approximately 500 square foot addition on the rear of the house.

#### 26 Bromley Road

Applicant is requesting design review for the renovation and expansion of a 208 square foot screen porch off the rear of the home.

#### **RESIDENTIAL APPLICATIONS - NEW HOMES**

#### **61 Coventry Ridge**

Applicant is requesting design review for the construction of a two-story single-family home. The home will have approximately 2926 square feet of livable area and is located in the Coventry Ridge Subdivision.

#### **59 Coventry Ridge**

Applicant is requesting design review for the construction of a two-story single-family home. The home will have approximately 3760 square feet of livable area and is located in the Coventry Ridge Subdivision.

Agenda 08-10-2023

#### **4 Black Wood Circle**

Applicant is requesting design review for the construction of a one-story single-family home. The home will have approximately 2827 square feet of livable area and is located in the Wilshire Hill Subdivision.

#### 151 Sylvania Road

Applicant is requesting design review for a 4732 square foot new home between 155 and 141 Sylvania Road.

# TOWN OF PITTSFORD DESIGN REVIEW & HISTORIC PRESERVATION BOARD JULY 13, 2023

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on July 13, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Jim Vekasy; Bonnie Salem; Paul Whitbeck; John

Mitchell

ABSENT: Dave Wigg, Vice Chairman; Kathleen Cristman

**ALSO PRESENT:** Bill Zink, Building Inspector; Doug DeRue, Director of Planning, Zoning, and Development; Meghan Brooks, Building Department Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

**ATTENDANCE:** There were 10 members of the public present.

Design Review and Historic Preservation Board Chairman Dirk Schneider called the meeting to order at 6:03PM.

#### HISTORIC PRESERVATION DISCUSSION:

#### Geoca Subdivision – 215 Mendon Road

Design Guidelines & Standards: Mile Post Stone Town Historic District (1993) handouts were distributed to the Design Review & Historic Preservation Board (DRHPB) as reference for the discussion.

DRHPB Chairman Schneider stated that the Geoca Subdivision discussion would continue this meeting following letters addressed to the Planning Board and to the DRHPB since the previous DRHPB meeting on June 22, 2023. Chairman Schneider asked whether the developer intends to attend a DRHPB meeting; Mr. Doug DeRue stated that he would not be coming to this one.

Mr. Robert Koegel, the Town Attorney, stated that the developer was asked by the Planning Board to submit a proposal for three homes, and the developer said he was interested in getting responses and definitions from the DRHPB before submitting further documentation to the Planning Board.

DRHPB Member Bonnie Salem stated that, in the past, previous developers have brought plans to informal discussions, and does not feel that the DRHPB should design his homes for him. Mr. Koegel stated that the size and shape of this application is not the same as other applications, and that while he understands Board Member Salem's point, he also knows that the developer is seeking guidance before investing further time and money. Mr. DeRue noted that what is also unique about this subdivision is that it is in a historic district and that the developer wants to ensure any plans meet the DRHPB's standards. He added that there is no simple or easy answer for any parties involved with the planning process.

Board Chairman Schneider requested feedback on the Planning Board's discussion of Geoca. Mr. Koegel stated that the Planning Board's general feeling thus far is that three new lots in the subdivision would strike a good balance. Mr. DeRue noted that the statement of no development was seen as not a legitimate path forward, and that because other areas of the historic district were developed, it could be a legal bind to impose such a statement upon this parcel. Mr. Koegel added that there is no legal basis in the code to support an issuance of no new development. In this case, it is important to find a fair spot between the developer's rights and the upholding of historical character.

Mr. DeRue gave the DRHPB a brief overview of the history of the historical district's development, adding that the Design Guidelines document was prepared around the time that the Lusk Farm began to deteriorate and accumulate zoning violations. The document speaks heavily on the hamlet and in generality about other areas but there is no mention of 215 Mendon specifically. The first real identification of this parcel was the Old Lusk Homestead map that identified the future road.

Board Member Salem expressed the feeling that this supported her point, and that the hamlet would not be an acceptable model for 215 Mendon Road. Mr. Koegel told the DRHPB that while they can express views both personally and as a Board, the applicant is looking for guidance for construction in the instance that lots are approved.

Board Chairman Schneider asked what the developer's thoughts were on the orientation of the houses. Mr. DeRue stated that the developer had trouble envisioning how it would work without knowing details on utilities, sides, grading, etc. All of those would affect how each home functioned, especially as utilities such as sewer and water would also utilize land between the road and the house.

The DRHPB then had a discussion on potential guidelines they could make that would be of use to both the developer and the Planning Board. All DRHPB members agreed that planning for all eventualities would be most practical, and it would be a mistake to orient houses to a non-existent road. Upon questioning from Board Chairman Schneider, Mr. DeRue clarified that the Town of Pittsford identified potential traffic issues back when the right-of-way was suggested, and that its proposal was meant to preserve and enhance the district. When Board Member Salem expressed that she did not think it would do so, Mr. Koegel added that the decision on right-of-way is up to the Planning Board.

Board Chairman Schneider made several potential suggestions to the design of homes he would like to see and noted that he felt that digging in heels on no development would be short-sighted. Mr. DeRue suggested that finding a few homes around Pittsford that could act as contextual references for the developer would likely be helpful.

Following an extensive discussion regarding development and design within the Geoca Subdivision, the DRHPB provided the following commentary in response to the letter sent by the developer:

(Please note: Regarding Part III, Mr. Koegel clarified that there is no legal basis for a joint meeting, but that the Board may state their wishes.)

# TOWN OF PITTSFORD

SETTLED 1789

11 SOUTH MAIN STREET, PITTSFORD, NY 14534 TEL. 585-248-6200 FAX 585-248-6247

# Design Review & Historic Preservation Board RESPONSE TO THE GEOCA SUBDIVISION DEVELOPER'S LETTER

On Thursday, July 13, 2023, the Design Review & Historic Preservation Board (DRHPB) gave the following feedback in response to a letter written to them by the developer of 215 Mendon Road:

#### **PART I: Development**

- The DRHPB prefers that no new development occur at 215 Mendon Road in order to preserve the integrity of the historic district.
- Should development occur, the DRHPB recommends that the subdivision be divided into three parcels: the existing home at 215 Mendon Road, and two new lots.

#### **PART II: Design & Construction**

- The DRHPB deems that the homes at 14 Mendon Center Road and 215 Mendon Road are appropriate context references for future construction within the Geoca Subdivision, with the exception of existing materials.
- The DRHPB desires home sizes of approximately 2000 square feet of conditioned living space. This definition is given to maintain an appropriate size and scale to the rural nature of the district and reduce the density of structures.
- The DRHPB states that homes should maintain a farmhouse style without becoming carbon copies of surrounding structures.
- The DRHPB states that the homes in the Founder's Green Subdivision are not an acceptable model for the Geoca Subdivision due to the unique nature of the 215 Mendon Road parcel.
- The DRHPB states their preference for detached garages, as they are considered most historically appropriate.

#### **PART III: Planning**

 The DRHPB states their wish to host a joint meeting with the Town of Pittsford Planning Board to discuss the design guidelines for the Mile Post Stone Town Historic District set forth in 1993.

Full minutes for the July 13, 2023, Design Review & Historic Preservation Board meeting will be available following their approval at the next DRHPB meeting.

Respectfully,
Meghan Brooks
Building Department Assistant

#### **RESIDENTIAL APPLICATIONS - NEW:**

#### **5 Pepperwood Court**

Applicant is requesting design review for the addition of a 672 square foot garage and mudroom on the northwest side of the house.

Lorie Boehlert of James L. Garrett Company introduced the application. Ms. Boehlert stated that a small garage addition would be added to the home. The current garage would remain in place. Board Member Salem confirmed with Ms. Boehlert that the colors, stone, and siding would match the original structure. DRHPB Member Paul Whitbeck asked Ms. Boehlert whether the stone would wrap around; Ms. Boehlert confirmed it would. Upon review of the drawings, Board Member Salem asked whether the stone shown on the plans would continue to the second floor. Ms. Boehlert clarified that nothing on the existing structure would change except for a portion of the roof where the addition would join, and that the appearance of that exterior decoration in the plans is due to the use of an old design to show the addition.

DRHPB Board Member John Mitchell motioned to approve the addition of a 672 square foot garage and mudroom on the northwest side of the house as submitted, seconded by DRHPB Board Member Paul Whitbeck. Following a unanimous voice vote, the application was approved.

#### **80 North Country Club Drive**

Applicant is requesting design review for a 103 square foot addition to the back of the house.

Lindsey Fox of BuildHappy introduced the application. Ms. Fox stated the addition would be part of a larger interior renovation. Board Member Salem asked what materials would be used; Ms. Fox stated that the materials would match the existing structure. She also noted that this home had already been in front of the DRHPB for the front elevation change. Board Chairman Schneider requested clarification on the right elevation. Ms. Fox stated that the current windows are in poor condition, and they would be removing them. Board Member Vekasy asked if the stonework would turn the corner; Ms. Fox said that it would only be in the front.

DRHPB Member Dirk Schneider motioned to approve the construction of a 103 square foot addition to the back of the house as submitted, seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved.

#### **4 Pine Acres Drive**

Applicant is requesting design review for the addition of a 168 square foot covered patio.

No person was present to introduce the application. The DRHPB had a brief discussion on the plans, noting the small size and low visibility, before motioning to approve the application.

DRHPB Chairman Dirk Schneider motioned to approve the construction of the addition of a covered patio as submitted, seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

#### 96 Coventry Ridge

Applicant is requesting design review for the addition of a covered patio on the southeast side of the house.

John Morrill of Bubba's Landscape introduced the application. Board Member Vekasy confirmed with Mr. Morrill that there would be no enclosure of the patio space, only a roof. Board Chairman Schneider noted that he appreciated the front detailing and design being carried into the back of the home.

DRHPB Member Salem motioned to approve the addition of a covered patio on the southeast side of the house as submitted, seconded by DRHPB Chairman Schneider. Following a unanimous voice vote, the application was approved.

#### **COMMERCIAL APPLICATIONS - NEW:**

#### 4045 East Avenue - Irondequoit Country Club

Applicant is requesting design review for the addition of a covered patio on the northwest side of the building.

John August, the treasurer of the Irondequoit Country Club, introduced the application. Mr. August stated that the country club had created the roof and awning system in 2008, and that changing it would eliminate the need for removing the structure for the winter months, protect patrons from the weather more effectively, and add more use time to the three-season area. He also noted that the structure would have a Mediterranean-style tile roof. Mr. August submitted supplemental drawings 1 and 2 to the Board for context.

Board Chairman Schneider asked if the roof would be any higher than the current awning and whether the current piers would remain; Mr. August confirmed it would be same height as the awning, and that yes, the piers would remain. Board Chairman Schneider also suggested that skylights be flat to the roof rather than domed and stated that the roof pitch should allow water to run off.

DRHPB Member Paul Whitbeck motioned to approve the addition of a covered patio on the northwest side of the building as submitted, in addition to the supplemental drawings 1 and 2, seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

#### OTHER DISCUSSION:

The minutes of June 22, 2023, were approved following a motion by DRHPB Member John Mitchell, seconded by DRHPB Member Bonnie Salem as amended. Following a unanimous voice vote, the minutes were approved, none opposed.

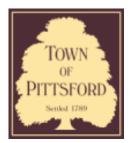
Design Review and Historic Preservation Board Chairman Schneider closed the meeting at 8:17PM.

Respectfu	lly	su	bm	itte	d,
-----------	-----	----	----	------	----

Meghan Brooks Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT





# **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # RA23-000074

Phone: 585-248-6250 FAX: 585-248-6262

## **DESIGN REVIEW AND HISTORIC PRESERVATION BOARD** REFERRAL OF APPLICATION

Property Address: 43 Musket Lane PITTSFORD, NY 14534

**Tax ID Number:** 192.08-1-26

Zoning District: RN Residential Neighborhood

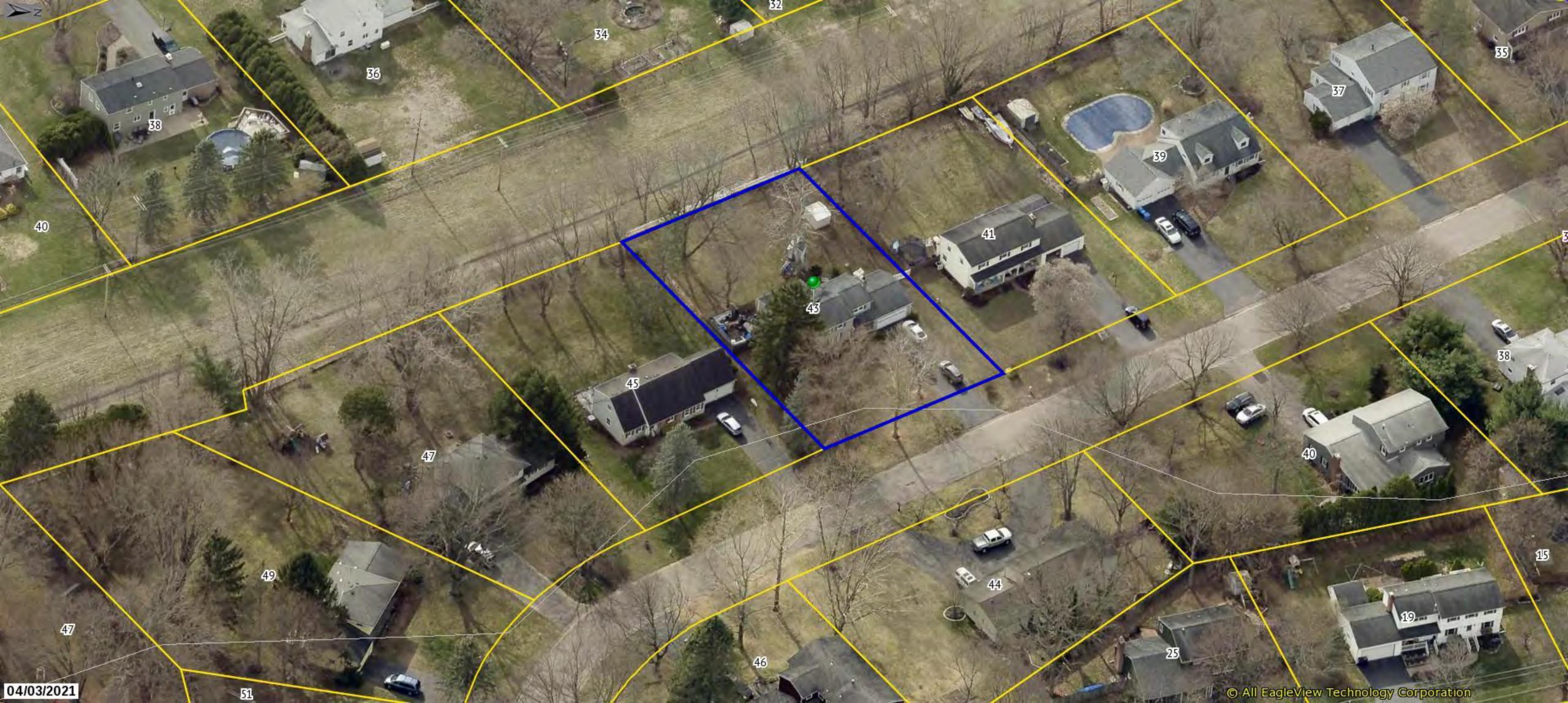
Owner: Mulvey, Sean P Applicant: Mulvey, Sean P

Application Type	Ar	ilac	cati	on	Tν	рe
------------------	----	------	------	----	----	----

Abbusausu iybsi	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriatene §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

**Project Description:** Applicant is requesting design review for the addition of a 288 SF accessory structure, shed.

Meeting Date: August 10, 2023



# RN Residential Neighborhood Zoning



Town of Pittsford GIS

95

25

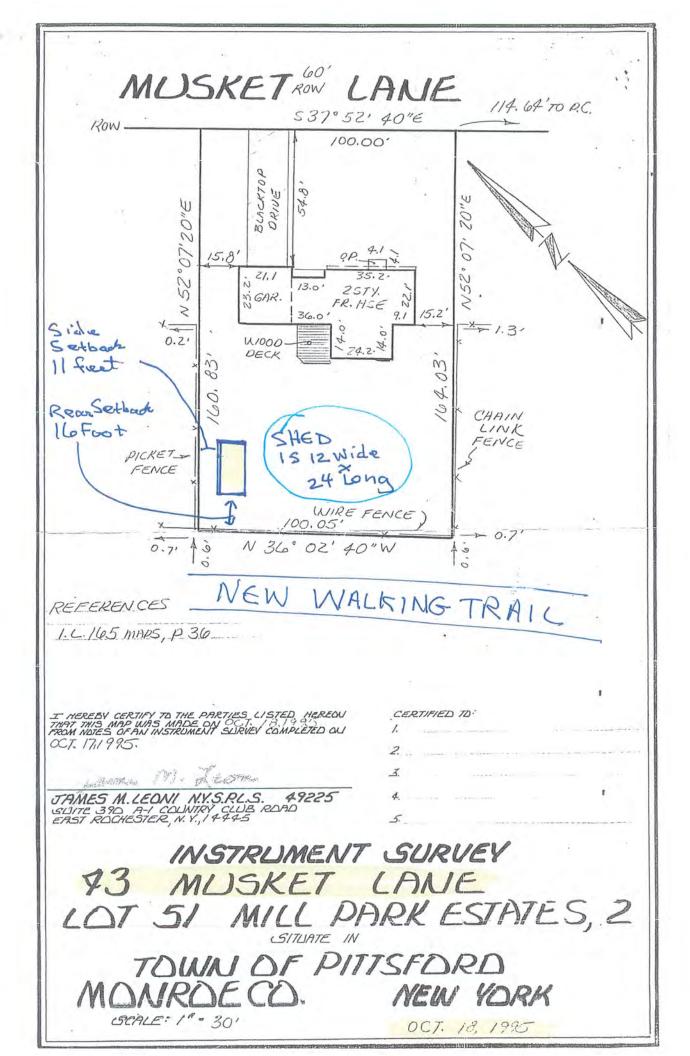
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or its ure or its use.

190

50

380 ft

100 m





# 43 MUSKET LANE

~

Store Design

Summary

## Here is your saved design

A link to this saved design has been sent to shrimp@rochester.rr.com.



Building Design: 12x24 Deluxe Gambrel Loft Barn

Model: 12x24x7 Deluxe Gambrel Loft Barn

Total Building Price: \$10,944.00

Sales Tax: \$875.52

Order Total: \$11,819.52

Show Details

Additional Options for your Order



Building Design: 12x24 Deluxe Gambrel Loft Barn

Model: 12x24x7 Deluxe Gambrel Loft Barn

Total Building Price: \$10,944.00

Sales Tax: \$875.52 Order Total: \$11,819.52

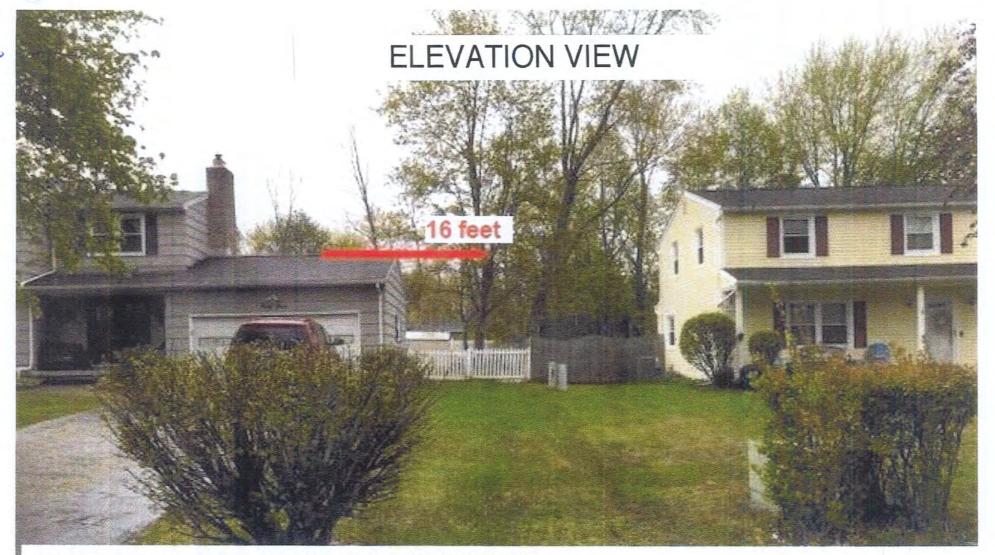
= 0

Purchase Outright

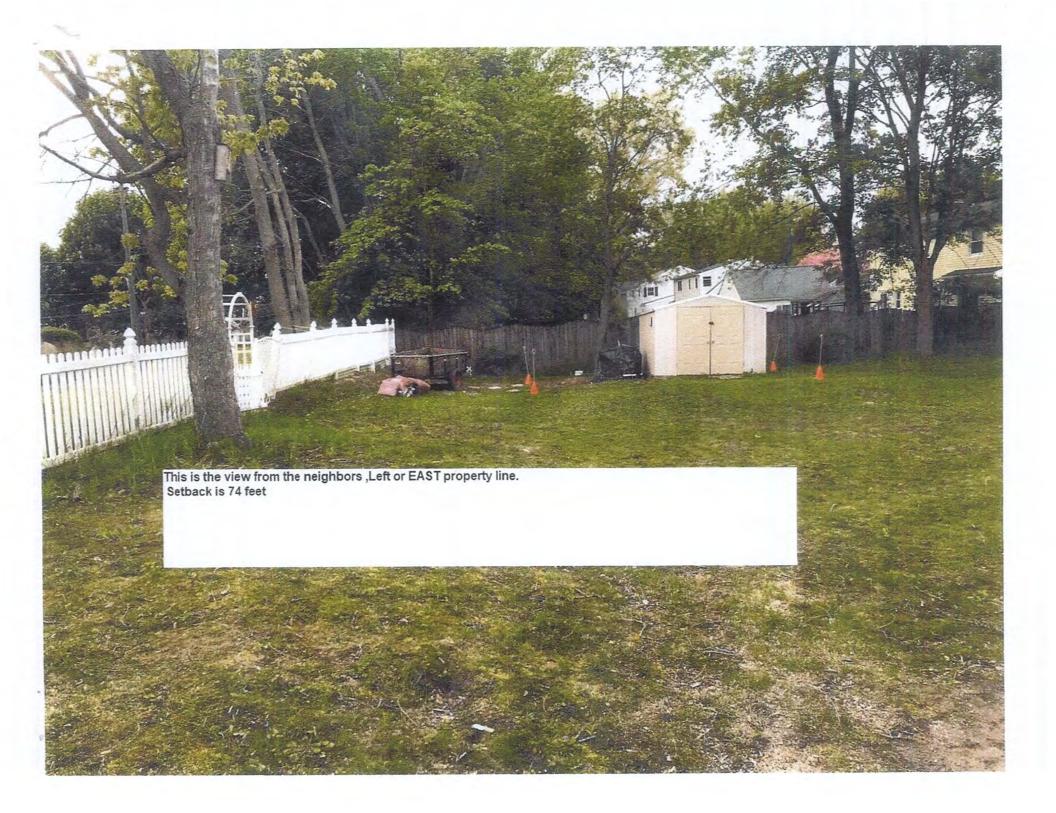
Order Total: \$11,819.52

Minimum Due: \$5,909.76 (50% of order tot

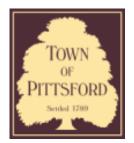
Included
Painted/Stained LP Smartside
Painted/Stained LP Trim
Classic Rib Metal roof
Standard TechShield
Deluxe Rounded Top Gable Vent
6x6 Double Smartside Door
3x6 Smartside Door
24x36 Window (Grids)
4' End Porch



43 MUSKET LANE- GRAY HOUSE ON LEFT
41 MUSKET LANE- YELLOW HOUSE/ WINCHESTER ON RIGHT
VIEW: FACING REAR OF LOT
PROPOSED SHED 11 FEET TALL, VISUALLY BLOCKED BY 2 STORY HOME AT
LEAST 50% FROM VIEW.







# **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-00086

Phone: 585-248-6250 FAX: 585-248-6262

# DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 16 Winding Road ROCHESTER, NY 14618

**Tax ID Number:** 151.14-1-12

Zoning District: RN Residential Neighborhood

Owner: Dryer, Jessica Applicant: Dryer, Jessica

#### Application Type:

יאאי	ilcation Type.	
<b>~</b>	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

**Project Description:** Applicant is requesting design review for a garage expansion in the front of the home along with two additions at the back and side of the home.

Meeting Date: August 10, 2023

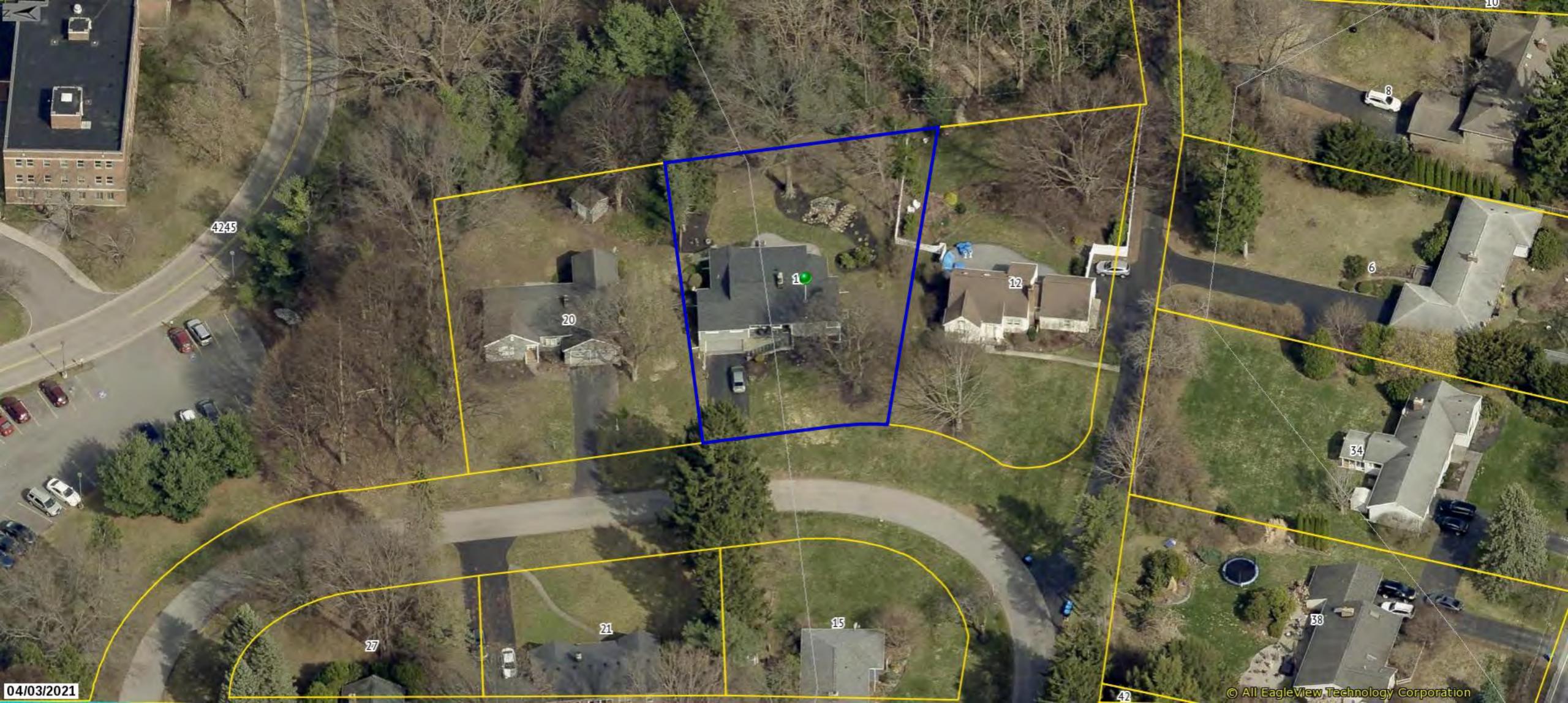


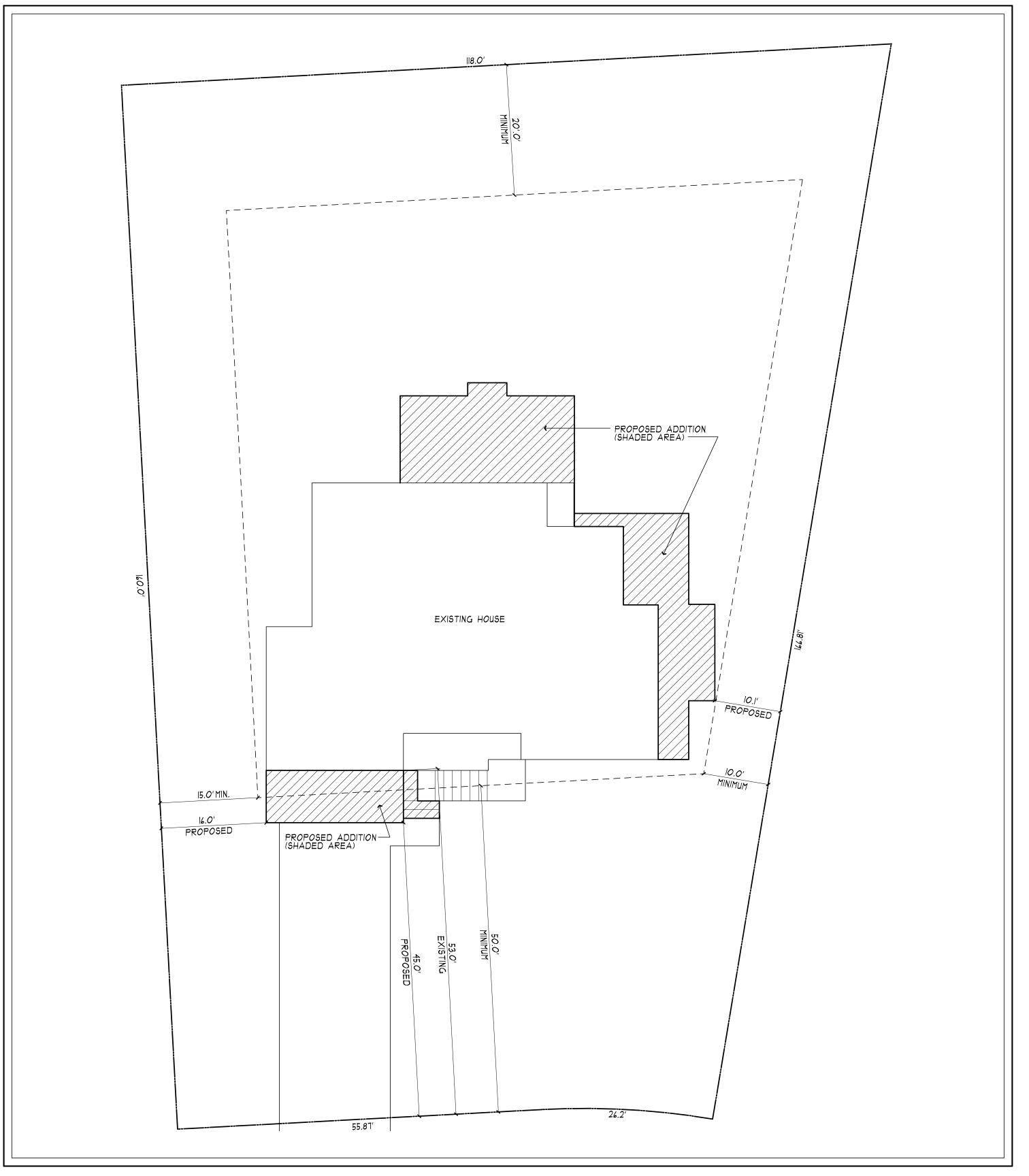
# RN Residential Neighborhood Zoning



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





# PROPOSED ADDITION TO MULBURY RESIDENCE 16 WINDING RD PITTSFORD, NY

# DRAWING INDEX

1	TITLE PAGE
2	FRONT AND RIGHT SIDE ELEVATIONS - existing/proposed
3	REAR AND LEFT SIDE ELEVATIONS - existing/proposed
4	FIRST FLOOR PLAN- existing
<u> </u>	FIRST FLOOR PLAN - proposed
6	LOWER LEVEL PLAN- existing
7	LOWER LEVEL PLAN- proposed



PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C. LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail Pittsford, NY 14534

(585) 264-1330 (585) 264-1333 Fax

www.MorabitoArchitects.com

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

REQUIRED BY LAW TO FIX HIS DOCUMENT IS
REQUIRED BY LAW TO FIX HIS OR HER SEAL
AND THE NOTATION "ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE AND A SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION
ACT OF 1990. THE PROTECTION INCLUDES
BUT IS NOT LIMITED TO THE OVERALL FORM
AS WELL AS THE ARRANGEMENT AND COMPOSITION
OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED
HEREIN, CAN LEGALLY RESULT IN THE CESSATION
OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED

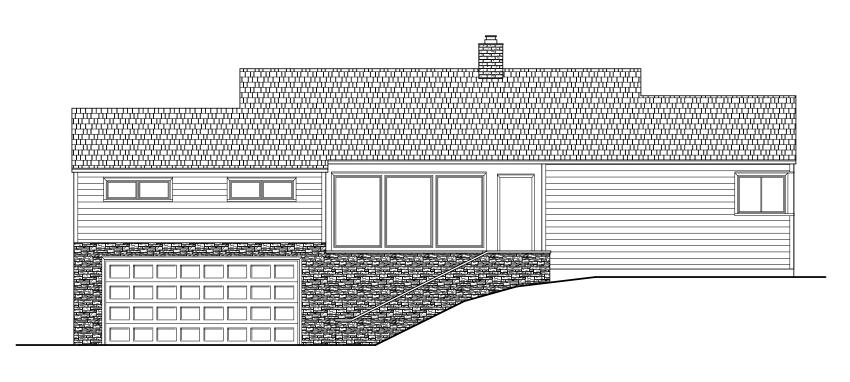
WITHOUT THE WRITTEN PERMISSION AND CONSENT O PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

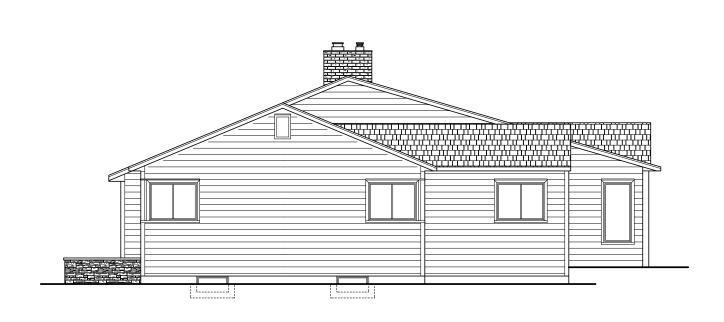
MIKE AND JESSICA MULBURY

TITLE PAGE & SITE PLAN

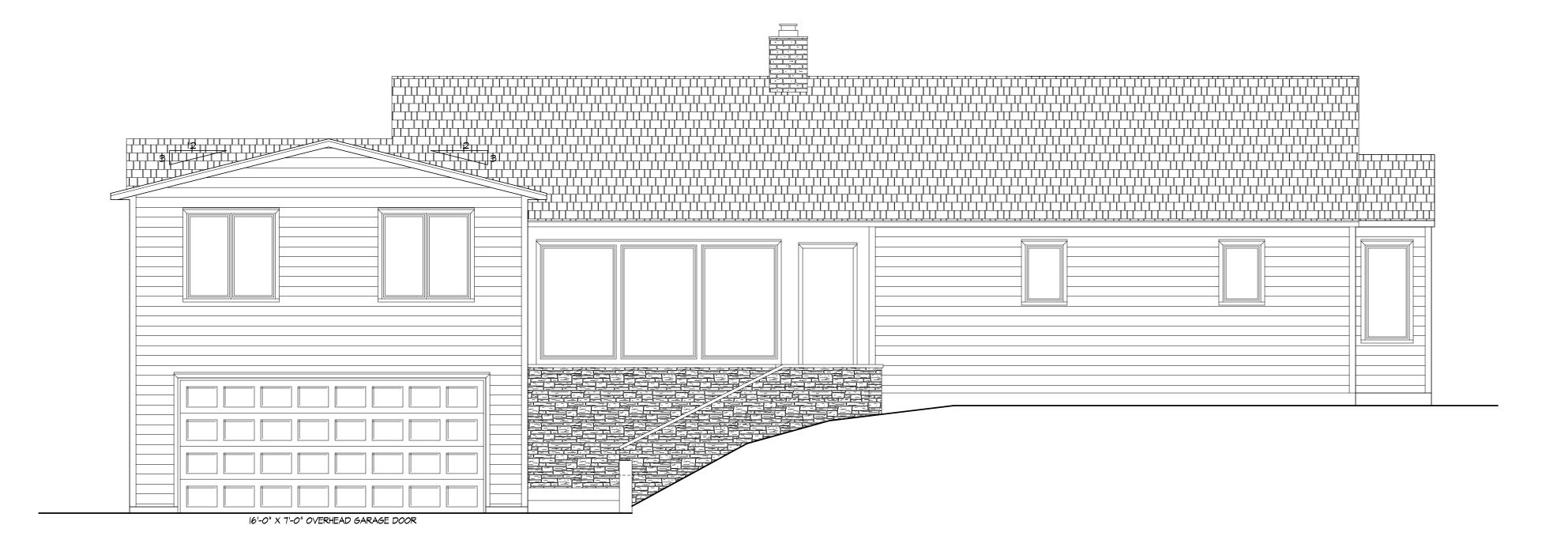




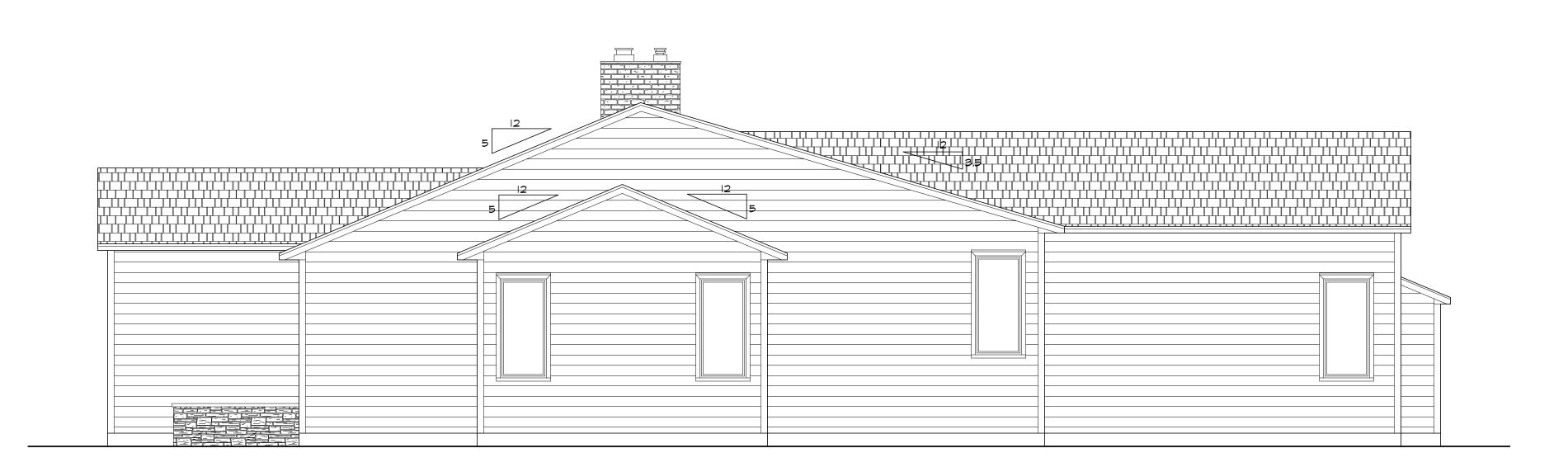
EXISTING FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED RIGHT SIDE ELEVATION



121 Sully's Trail Pittsford, NY 14534

(585) 264-1330 (585) 264-1333 Fax

www.MorabitoArchitects.com

# NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY

OF A LICENSED ARCHITECT TO ALTER ANY
ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS

ANT LICENSEE WHO ALIERS THIS DOCOMENT IS
REQUIRED BY LAW TO FIX HIS OR HER SEAL
AND THE NOTATION "ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE AND A SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES

BUT IS NOT LIMITED TO THE OVERALL FORM
AS WELL AS THE ARRANGEMENT AND COMPOSITION
OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE
OF THESE DRAWINGS OR WORK REPRESENTED
HEREIN, CAN LEGALLY RESULT IN THE CESSATION
OF CONSTRUCTION OR BUILDINGS BEING SEIZED
AND/OR MONETARY COMPENSATION TO

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED

WITHOUT THE WRITTEN PERMISSION AND CONSENT (

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:

ADDITION TO RESID
16 WINDING RD

CLIENT:
MIKE AND JESSICA MULBURY

DRAWING:

FRONT AND RIGHT SIDE ELEVATIONS
EXISTING & PROPOSED

DRAWN:

DATE: JUNE 2023

SCALE: 1/4"=1'-0

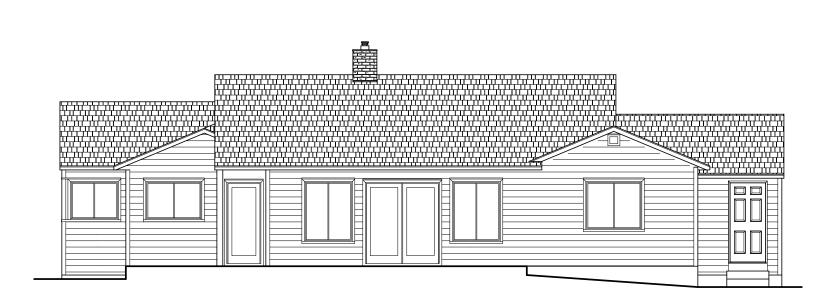
JOB NO.: 23M-

SHEET:

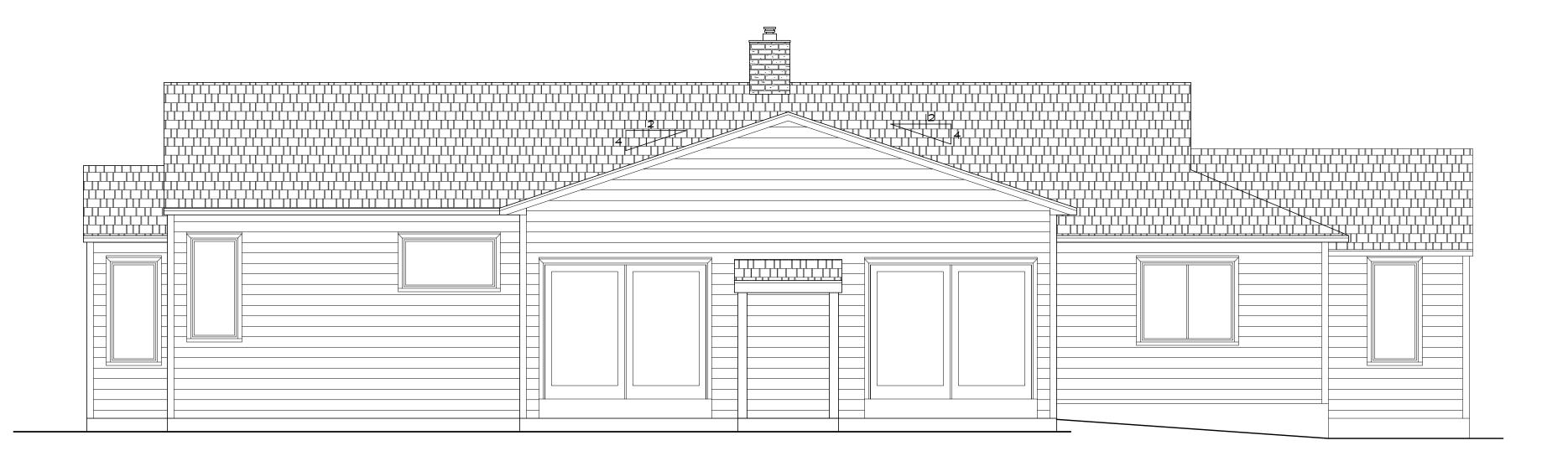
\_

F 7 SHEETS

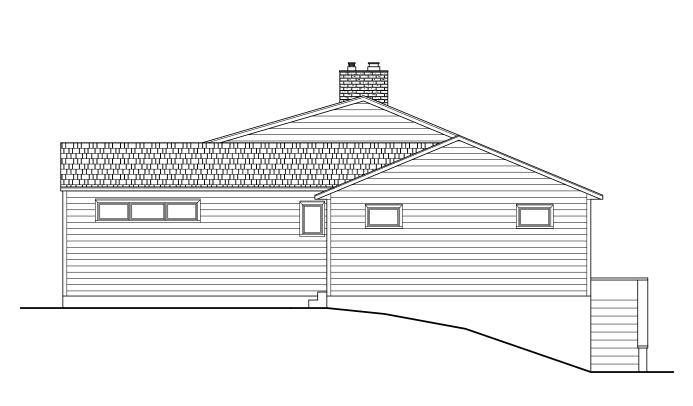




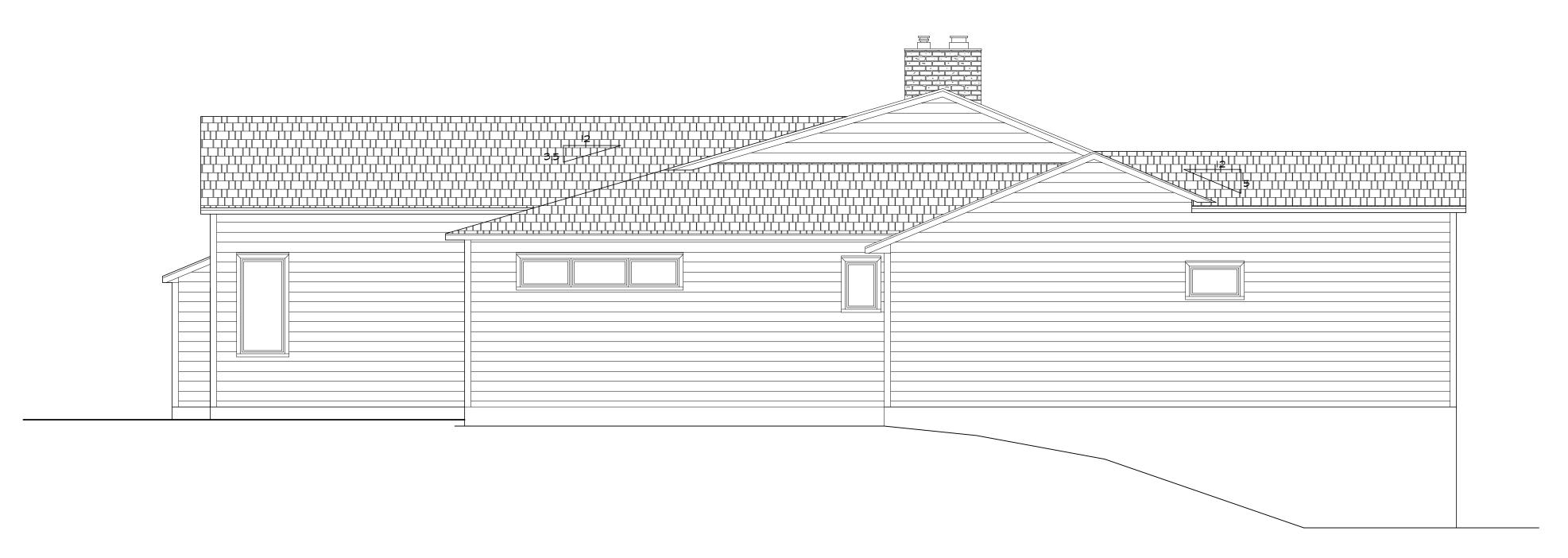
EXISTING REAR ELEVATION



REAR ELEVATION - PROPOSED



EXISTING LEFT SIDE ELEVATION



LEFT SIDE ELEVATION - PROPOSED



121 Sully's Trail Pittsford, NY 14534

(585) 264-1330 (585) 264-1333 Fax

www.MorabitoArchitects.com

# NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY

ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS
REQUIRED BY LAW TO FIX HIS OR HER SEAL

REQUIRED BY LAW TO FIX HIS OR HER SEAL
AND THE NOTATION "ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE AND A SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE

THESE DRAWINGS ARE COPYRIGHTED AND ARE
SUBJECT TO COPYRIGHT PROTECTION AS AN
"ARCHITECTURAL WORK" UNDER SEC. 102 OF THE
COPYRIGHT ACT, 17 U.S.O. AS AMENDED
DECEMBER 1990 AND KNOWN AS
ARCHITECTURAL WORKS COPYRIGHT PROTECTION
ACT OF 1990. THE PROTECTION INCLUDES
BUT IS NOT LIMITED TO THE OVERALL FORM
AS WELL AS THE ARRANGEMENT AND COMPOSITION

OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE
OF THESE DRAWINGS OR WORK REPRESENTED
HEREIN, CAN LEGALLY RESULT IN THE CESSATION
OF CONSTRUCTION OR BUILDINGS BEING SEIZED
AND/OR MONETARY COMPENSATION TO
PATRICK I MORABITO A LA ARCHITECT DE

PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.
NO FURTHER USE OR DISTRIBUTION IS ALLOWED
WITHOUT THE WRITTEN PERMISSION AND CONSENT (
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:

ADDITION TO RESIDE
16 WINDING RD

CLIENT:
MIKE AND JESSICA MULBURY

DRAWING:

REAR AND LEFT SIDE ELEVATIONS
EXISTING & PROPOSED

DRAWN:

DATE: JUNE 20

SCALE: 1/4"=

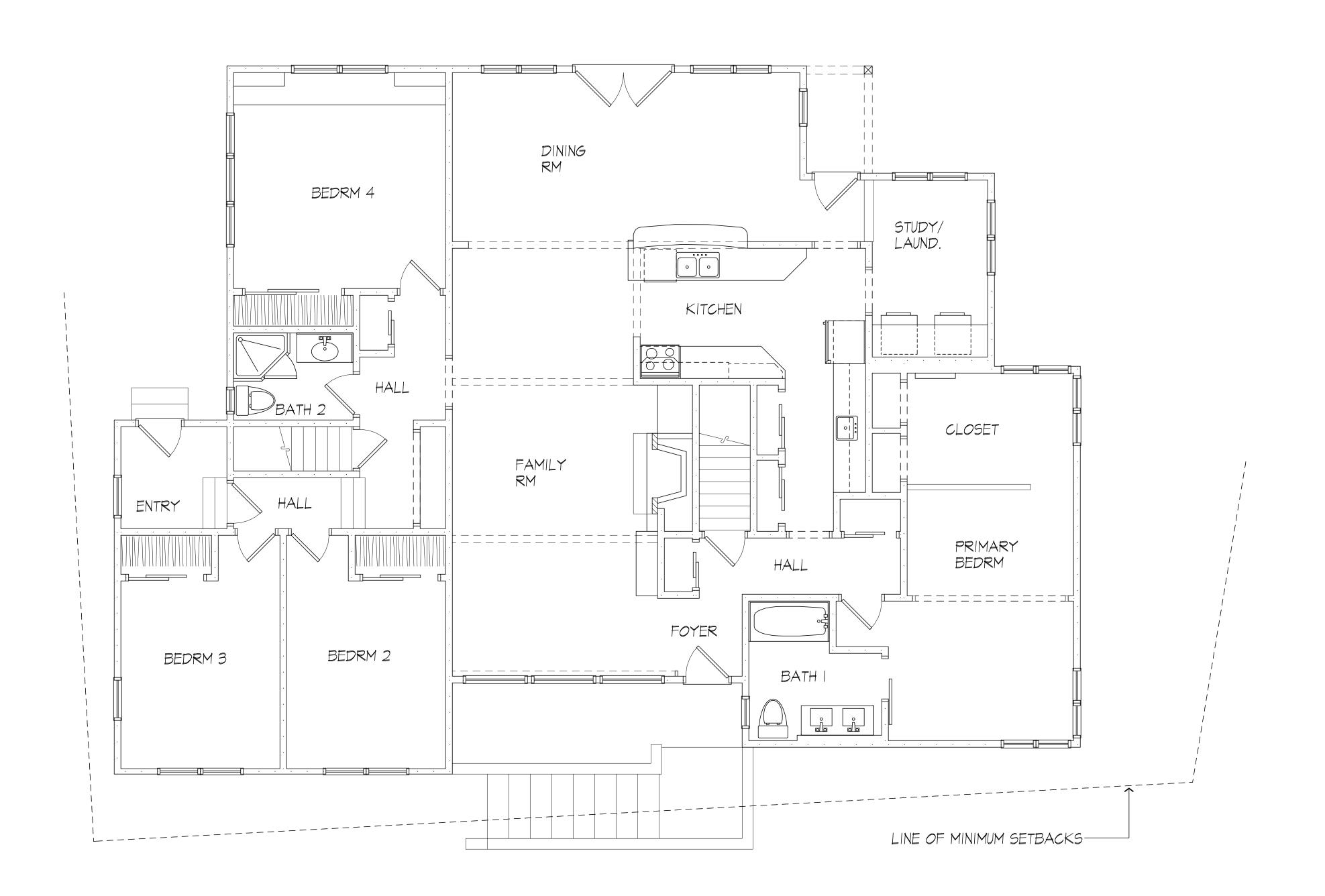
*JOB NO.:* 23™

SHEET:

J

F 7 SHEETS





FLOOR PLAN- EXISTING



121 Sully's Trail Pittsford, NY 14534

(585) 264-1330 (585) 264-1333 Fax

www.MorabitoArchitects.com

# NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE
SUBJECT TO COPYRIGHT PROTECTION AS AN
"ARCHITECTURAL WORK" UNDER SEC. 102 OF THE
COPYRIGHT ACT, 17 U.S.O. AS AMENDED
DECEMBER 1990 AND KNOWN AS

ARCHITECTURAL WORKS COPYRIGHT PROTECTION
ACT OF 1990. THE PROTECTION INCLUDES
BUT IS NOT LIMITED TO THE OVERALL FORM
AS WELL AS THE ARRANGEMENT AND COMPOSITION
OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE

OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED

NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT O PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

ADDITION TO RESIDENCE IG WINDING RD PITTSFORD, NY 14618

CLIENT:

MIKE AND JESSICA MULBURY

DRAWING: FIRST FLOOR PLAN EXISTING

DRAWN: JL/PM

DATE: JUNE 20.

SCALE:

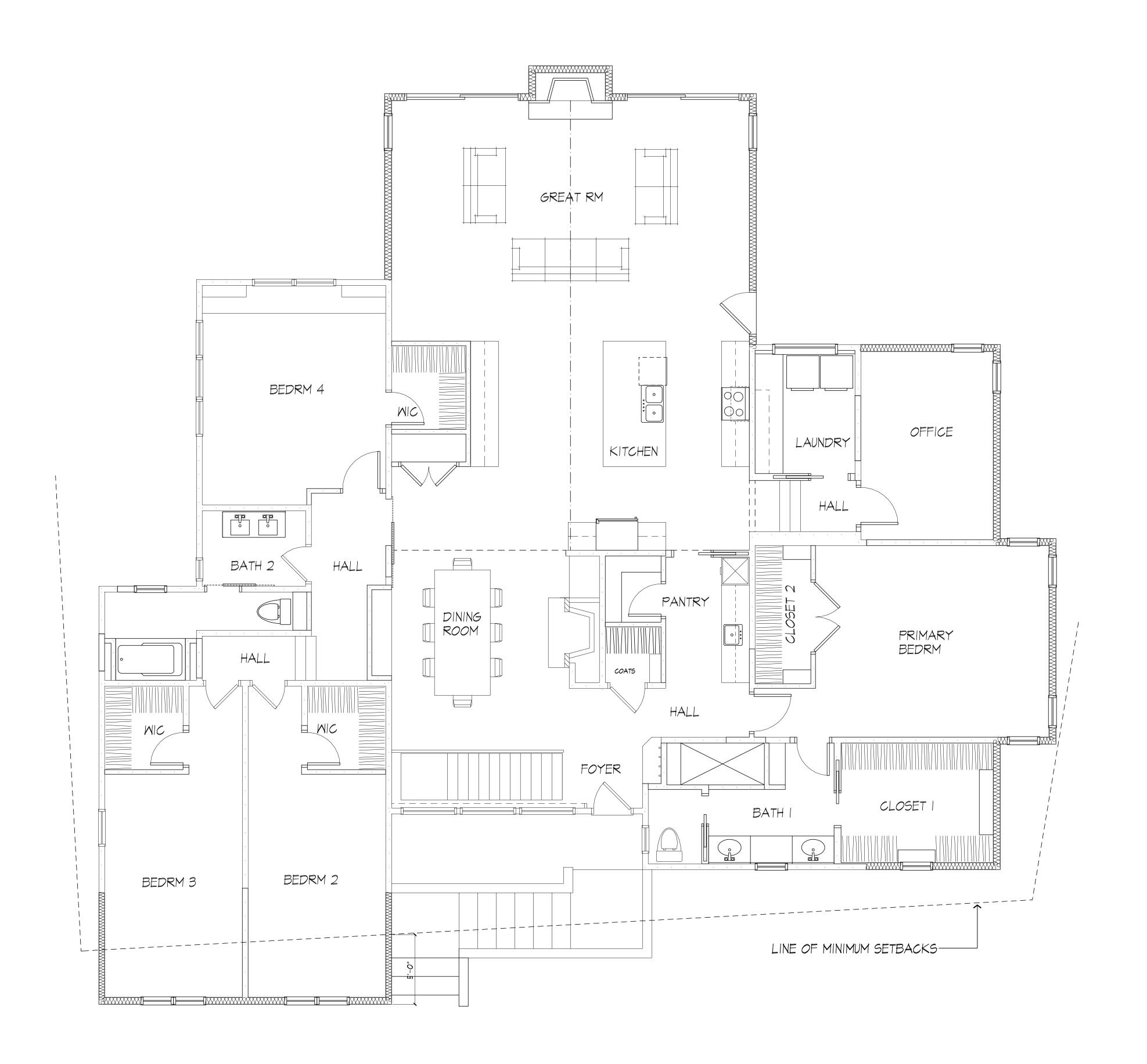
JOB NO.: 23M4335

SHEET:

4

of **7** sheets





FLOOR PLAN- PROPOSED



121 Sully's Trail Pittsford, NY 14534

(585) 264-1330 (585) 264-1333 Fax

www.MorabitoArchitects.com

# NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS

REQUIRED BY LAW TO FIX HIS DOCUMENT IS
REQUIRED BY LAW TO FIX HIS OR HER SEAL
AND THE NOTATION "ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE AND A SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION
ACT OF 1990. THE PROTECTION INCLUDES
BUT IS NOT LIMITED TO THE OVERALL FORM
AS WELL AS THE ARRANGEMENT AND COMPOSITION
OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED
HEREIN, CAN LEGALLY RESULT IN THE CESSATION
OF CONSTRUCTION OR BUILDINGS BEING SEIZED

AND/OR MONETARY COMPENSATION TO
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.
NO FURTHER USE OR DISTRIBUTION IS ALLOWED
WITHOUT THE WRITTEN PERMISSION AND CONSENT OF
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023 PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

MIKE AND JESSICA MULBURY

DRAWING: FIRST FLOOR PLAN PROPOSED

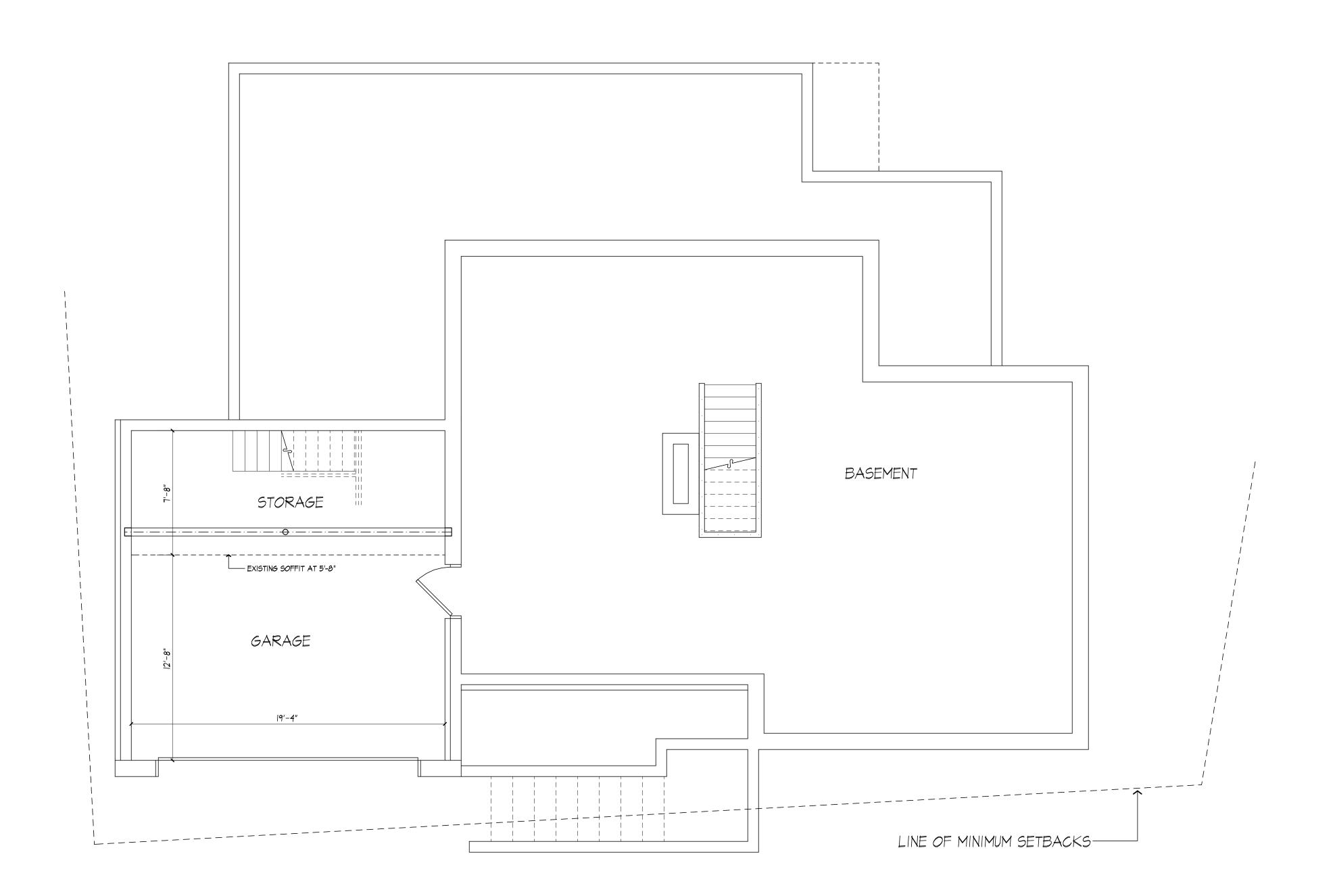
JUNE 2023 DATE:

JOB NO.:

SHEET:

OF **7** SHEETS





LONER LEVEL PLAN - EXISITNG



121 Sully's Trail Pittsford, NY 14534

(585) 264-1330 (585) 264-1333 Fax

www.MorabitoArchitects.com

# NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS
REQUIRED BY LAW TO FIX HIS OR HER SEAL
AND THE NOTATION "ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE AND A SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT ARCTICATION.

COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE
OF THESE DRAWINGS OR WORK REPRESENTED
HEREIN, CAN LEGALLY RESULT IN THE CESSATION
OF CONSTRUCTION OR BUILDINGS BEING SEIZED
AND/OR MONETARY COMPENSATION TO
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

AND/OR MONETARY COMPENSATION TO
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.
NO FURTHER USE OR DISTRIBUTION IS ALLOWED
WITHOUT THE WRITTEN PERMISSION AND CONSENT OF
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

ADDITION TO RESIDE 16 WINDING RD PITTSFORD, NY 14618

CLIENT:
MIKE AND JESSICA MULBURY

DRAWING: LOWER LEVEL PLAN EXISTING

DRAWN

DATE: JUNE 20

SCALE:

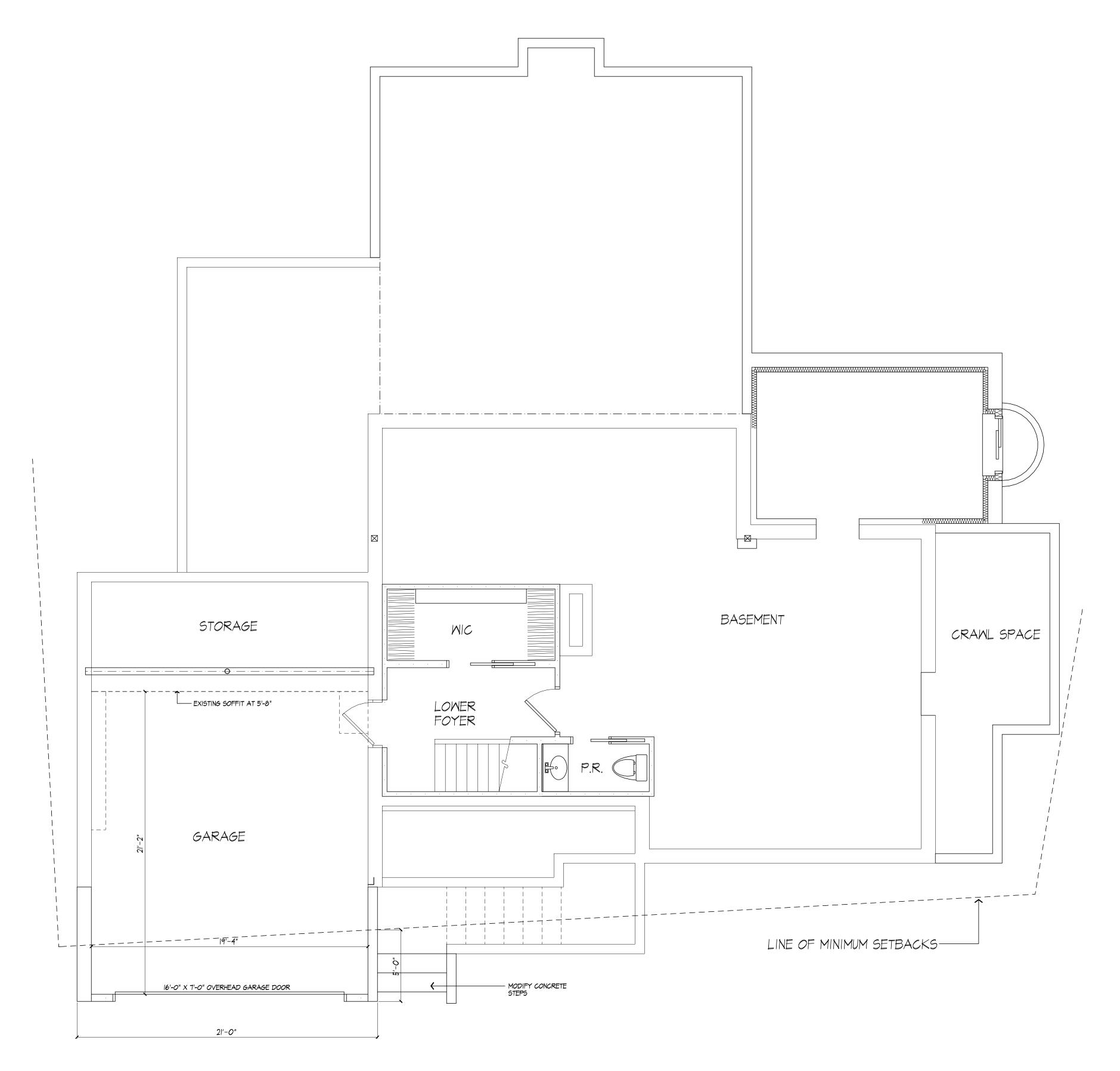
OG/ILL.

SHEE

6

of **7** Sheets





LOWER LEVEL PLAN - PROPOSED



121 Sully's Trail Pittsford, NY 14534

(585) 264-1330 (585) 264-1333 Fax

www.MorabitoArchitects.com

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.

ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS DOCUMENT IS
REQUIRED BY LAW TO FIX HIS OR HER SEAL
AND THE NOTATION "ALTERED BY" FOLLOWED BY
HIS OR HER SIGNATURE AND A SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS

ARCHITECTURAL WORKS COPYRIGHT PROTECTION
ACT OF 1990. THE PROTECTION INCLUDES
BUT IS NOT LIMITED TO THE OVERALL FORM
AS WELL AS THE ARRANGEMENT AND COMPOSITION
OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE

OF THESE DRAWINGS OR WORK REPRESENTED
HEREIN, CAN LEGALLY RESULT IN THE CESSATION
OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.
NO FURTHER USE OR DISTRIBUTION IS ALLOWED
WITHOUT THE WRITTEN PERMISSION AND CONSENT OF
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023

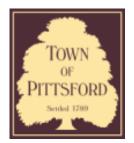
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

MIKE AND JESSICA MULBURY

DRAWING: LOWER LEVEL PLAN PROPOSED

DATE:





## **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000089

Phone: 585-248-6250 FAX: 585-248-6262

# **DESIGN REVIEW AND HISTORIC PRESERVATION BOARD** REFERRAL OF APPLICATION

Property Address: 32 Stoneleigh Court ROCHESTER, NY 14618

**Tax ID Number:** 138.18-1-4

Zoning District: RN Residential Neighborhood

Owner: Rooney, Adam J **Applicant: Marc Mar Homes** 

Application Type	Ar	ilac	cati	on	Tν	рe
------------------	----	------	------	----	----	----

	<b> </b>	
<b>✓</b>	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for an approximately 500 square foot addition on the rear of the house.

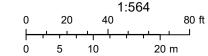
Meeting Date: August 10, 2023



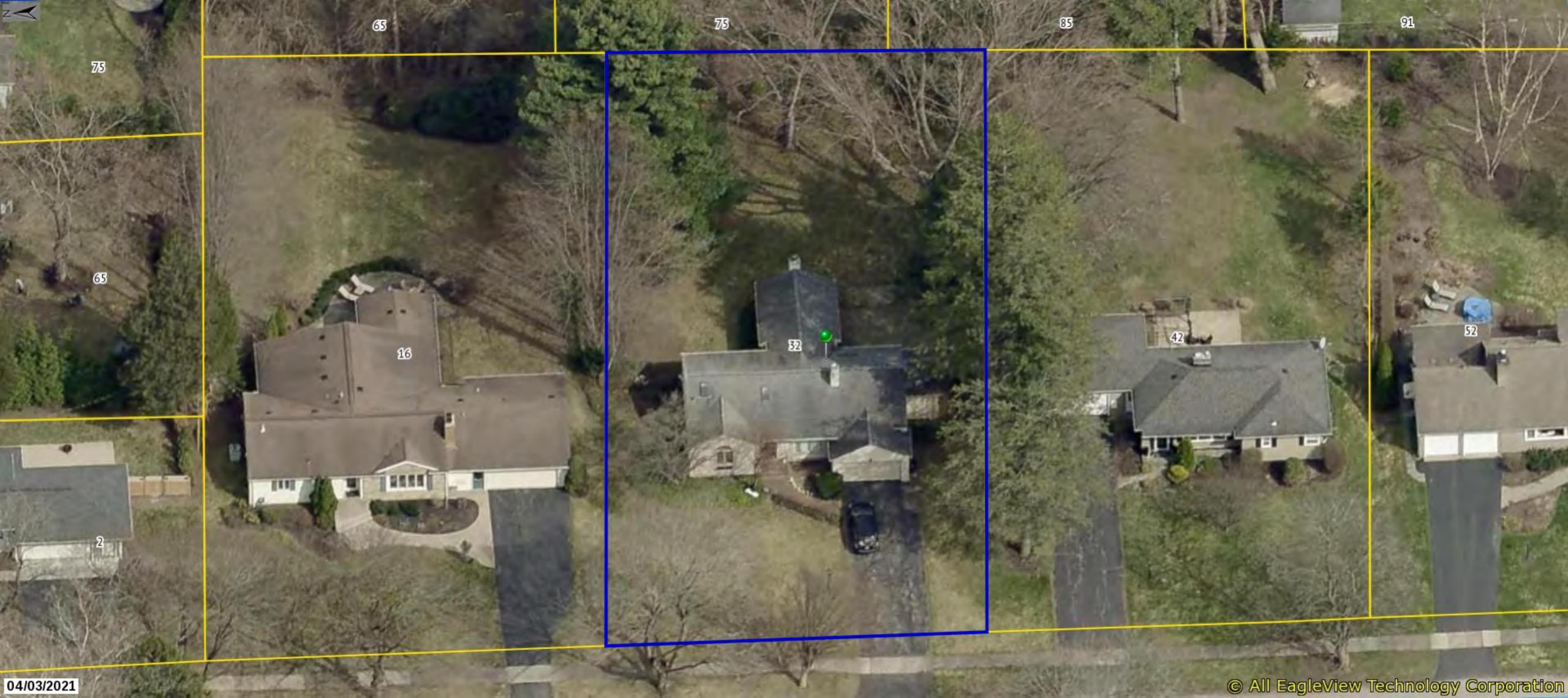
# RN Residential Neighborhood Zoning



Printed July 20, 2023

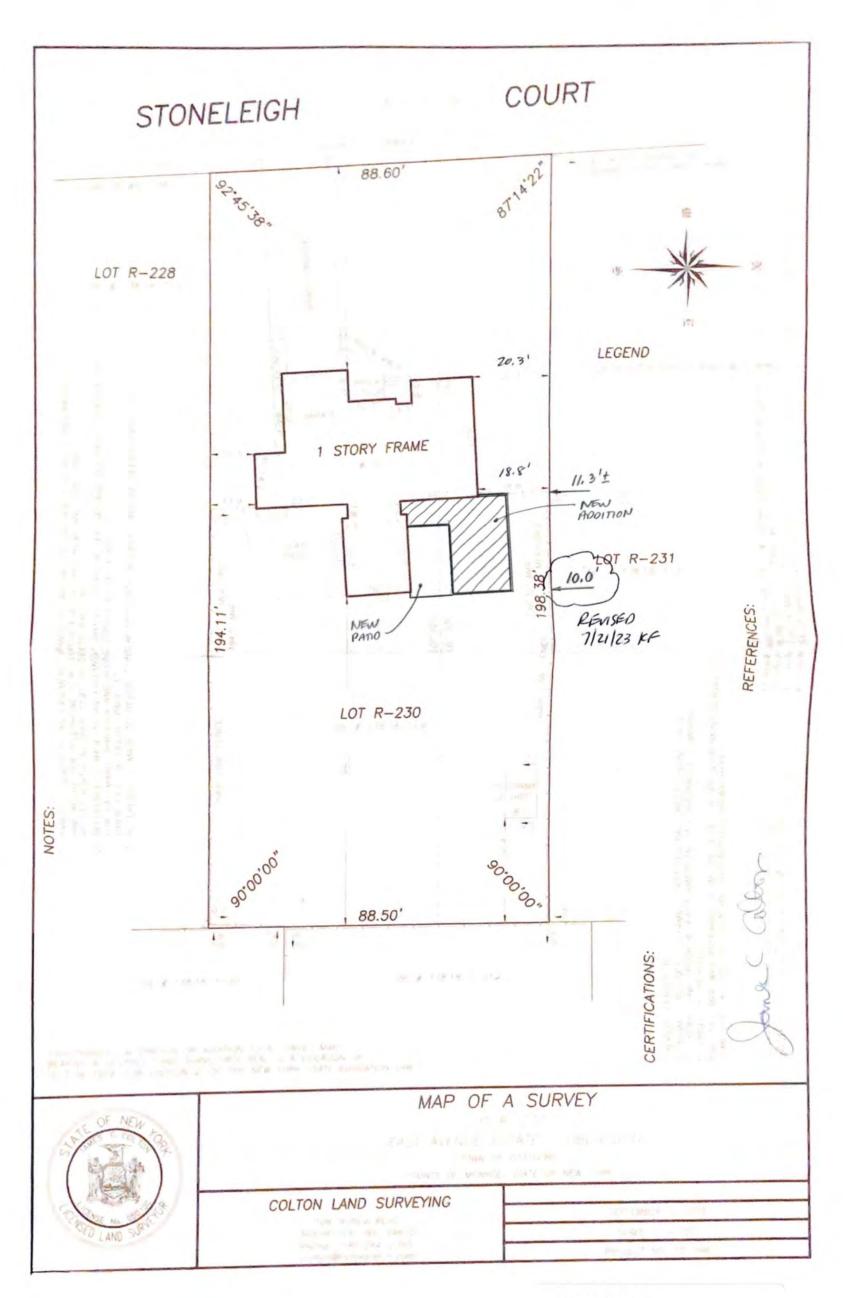


Town of Pittsford GIS









## **FOUNDATION NOTES**

- THE FOUNDATION HAS BEEN DESIGNED FOR LOCAL CONDITIONS BASED ON DATA IN THE NATIONAL RESOURCES CONSERVATION SERVICES AND LOCAL KNOWLEDGE. SANDY URBAN SOIL @1500 psf BEARING CAPACITY.
- 2. CONCRETE SHALL BE PROVIDED AS FOLLOWS:

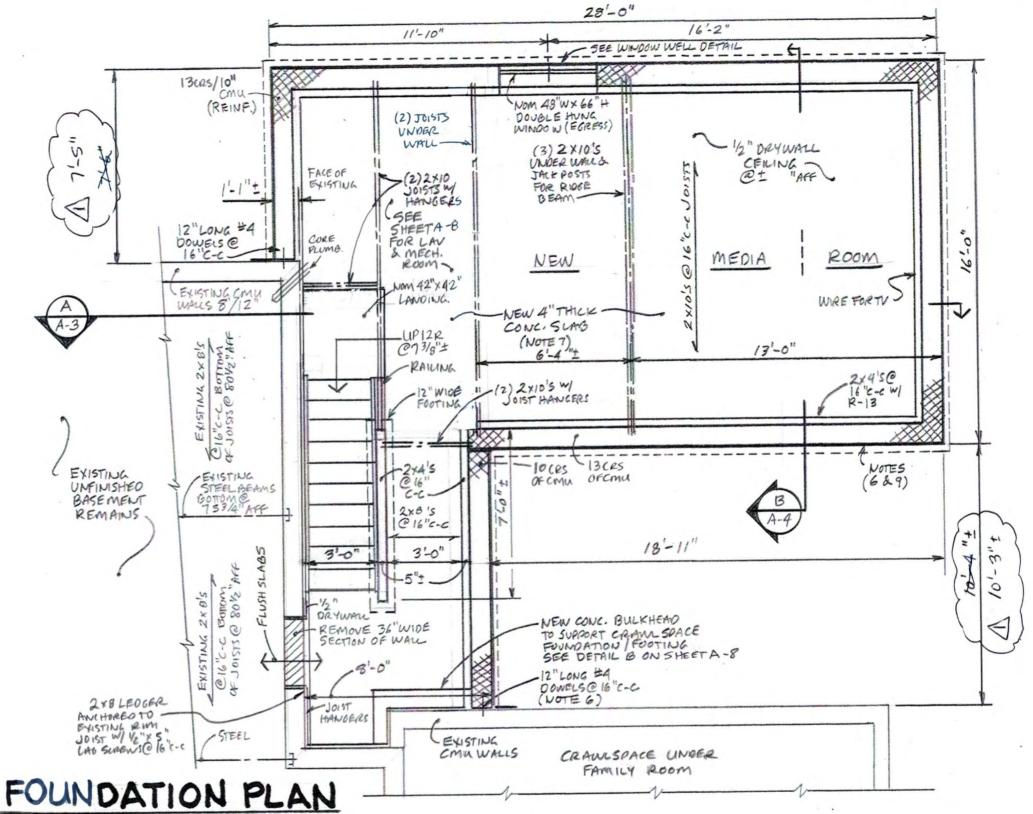
FOOTINGS - MIN. 2500 psi SLAB FLOOR MIN. 3500 psi

- 3. HORIZONTAL AND VERTICAL REINFORCING SHALL BE SPECIFIED ON THE DRAWINGS. FOOTING REBARS SHALL BE OVERLAPPED AND TIED TO CREATE CONTINUOUS LENGTHS OF BAR. VERTICAL #4 REBAR SHALL BE PLACED INTO THE FOOTING AT 48" (maximum) CENTERS AND EXTEND INTO THE CONCRETE MASONRY UNITS (CMU'S). ALL VERTICAL BARS SHALL BE GROUTED.
- 4. GROUNDWATER IS ANTICIPATED TO BE AN ISSUE WITH THIS EXCAVATION. THE SEASONAL GROUND WATER IS ANTICIPATED AT AROUND 80" BELOW GRADE. DEWATERING WITH A FILTER ON THE PUMP WILL BE REQUIRED. THE SANDY SOILS CAN MIGRATE WHEN USING PUMPS AND CAN FALL INTO THE EXCAVATION.
- 5. A 4" DIAMETER PERIMETER UNDERDRAIN SYSTEM OF PERFORATED POLYETHYLENE PIPE WITH A GEOTEXTILE SOCK SHALL BE INSTALLED AROUND THE PERIMETER OF THE BASEMENT AND TIED INTO A NEW SUMP CROCK. THE NEW UNDERDRAIN PIPE SHALL BE PLACED IN AN 8"X8" MINIMUM ENVELOPE OF WASHED #1 CRUSHED STONE OR PEA GRAVEL ALSO WRAPPED IN GEOTEXTILE FABRIC.
- 6. ALL FOUNDATION WALLS BELOW GRADE SHALL BE WATERPROOFED WITH EPOXY PARGING AND BITUMINOUS COATING. ADDED DRAINAGE SHEETING MAY BE ADDED IN ADDITION TO WATERPROOFING.
- 7. THE CONCRETE FLOOR SLAB SHALL BE PLACED ON TOP OF A MINIMUM 8-mil VAPOR BARRIER AND MINIMUM 4" THICKNESS OF #1 CRUSHED STONE OR PEA GRAVEL USE A PLASTIC EXPANSION/COMPRESSION JOINT BETWEEN THE FLOOR SLAB AND WALL.
- 8. SAW CUT CONTROL JOINTS IN THE SLAB TO REDUCE CRACKING.
- 9. NO BACKFILLING OF FOUNDATION WALLS SHALL BE DONE UNTIL THE FIRST FLOOR DECK HAS BEEN INSTALLED AND THE BASEMENT FLOOR SLAB HAS BEEN PLACED. OTHERWISE, THE CONTRACTOR IS RESPONSIBLE TO REPAIR WALL DAMAGE CAUSED BY BACKFILLING.
- 10. ALL SILL PLATES SHALL BE PRESSURE TREATED LUMBER AND SHALL BE INSTALLED WITH WEATHER-PROOFING SILL SEAL ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMTER WITH A BURY DEPTH OF AT LEAST 8". ANCHORS SHALL BE SPACED AT NO MORE THAN 72" c-c, AND AT LEAST TWO PER SILL PLATE BOARD.

## REVISIONS

A REDUCED DIMENSIONS TO MEET THE REQUIRED MINIMUM SETBACK TO THE NORTH PROPERTY LINE.

7/21/23 KF



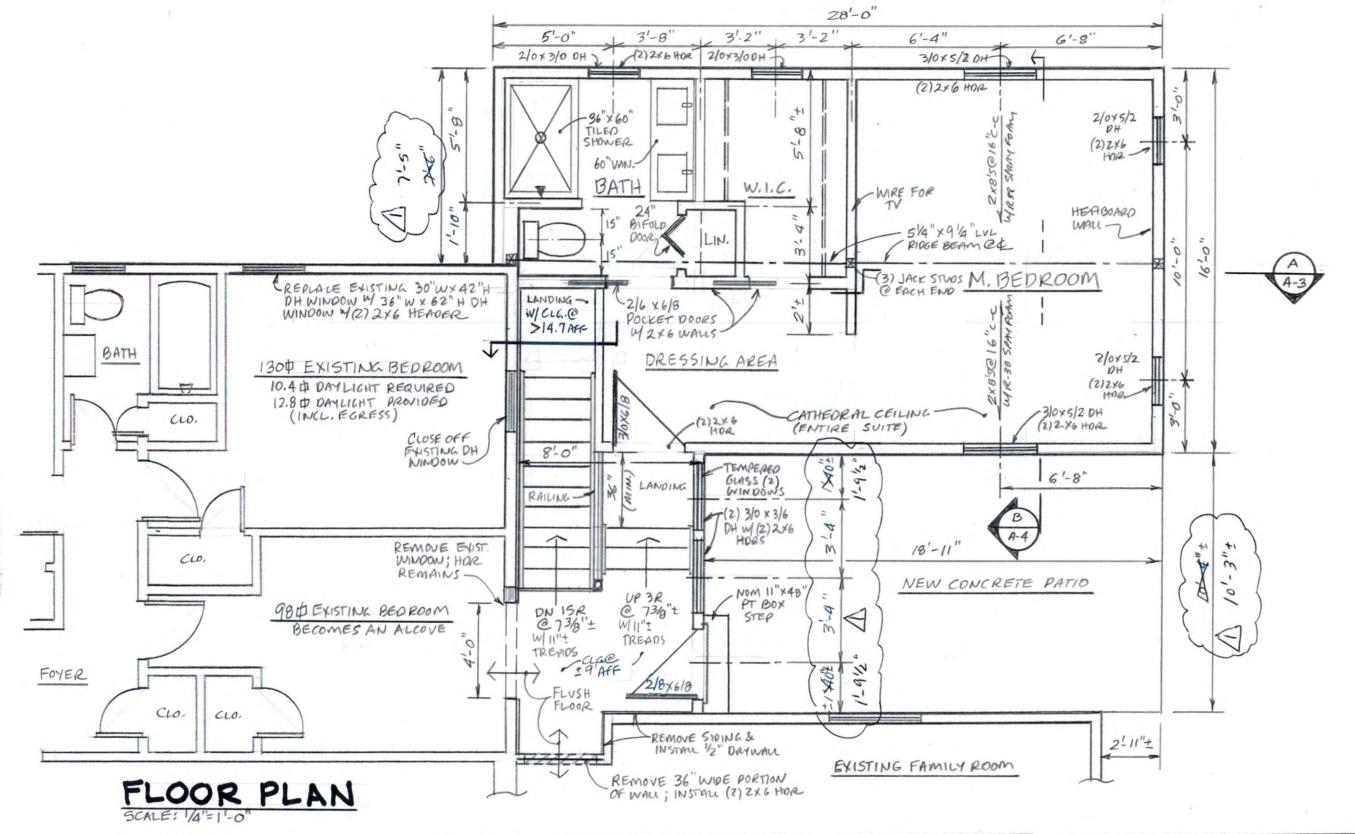
5 CALE: 1/4"=1'-0"

Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only



ADDITIONS & ALTERATIONS FOR:
ROONEY RESIDENCE
32 STONELEIGH COURT
TOWN OF PITTSFORD, NEW YORK
SHEET F-1



REVISIONS

A REDUCED DIMENSIONS TO MEET THE REQUIRED MINIMUM SETBACK TO THE NORTH PROPERTY LINE

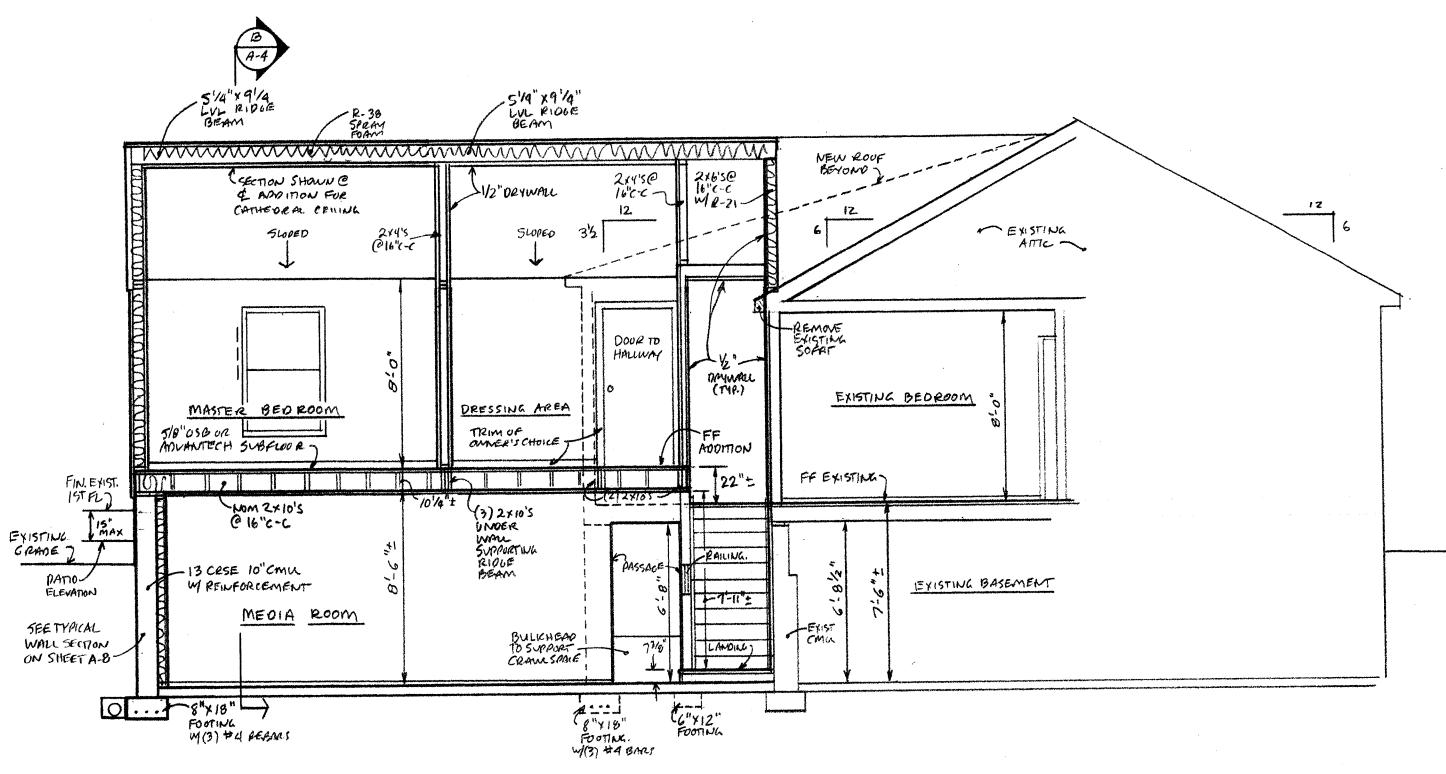
7/21/23 KF

Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

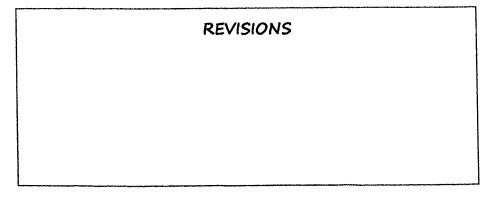
Copyright 2023: Alterations Permitted by Engineer Only



ADDITIONS & ALTERATIONS FOR: ROONEY RESIDENCE 32 STONELEIGH COURT TOWN OF PITTSFORD, NEW YORK SHEET A- 2



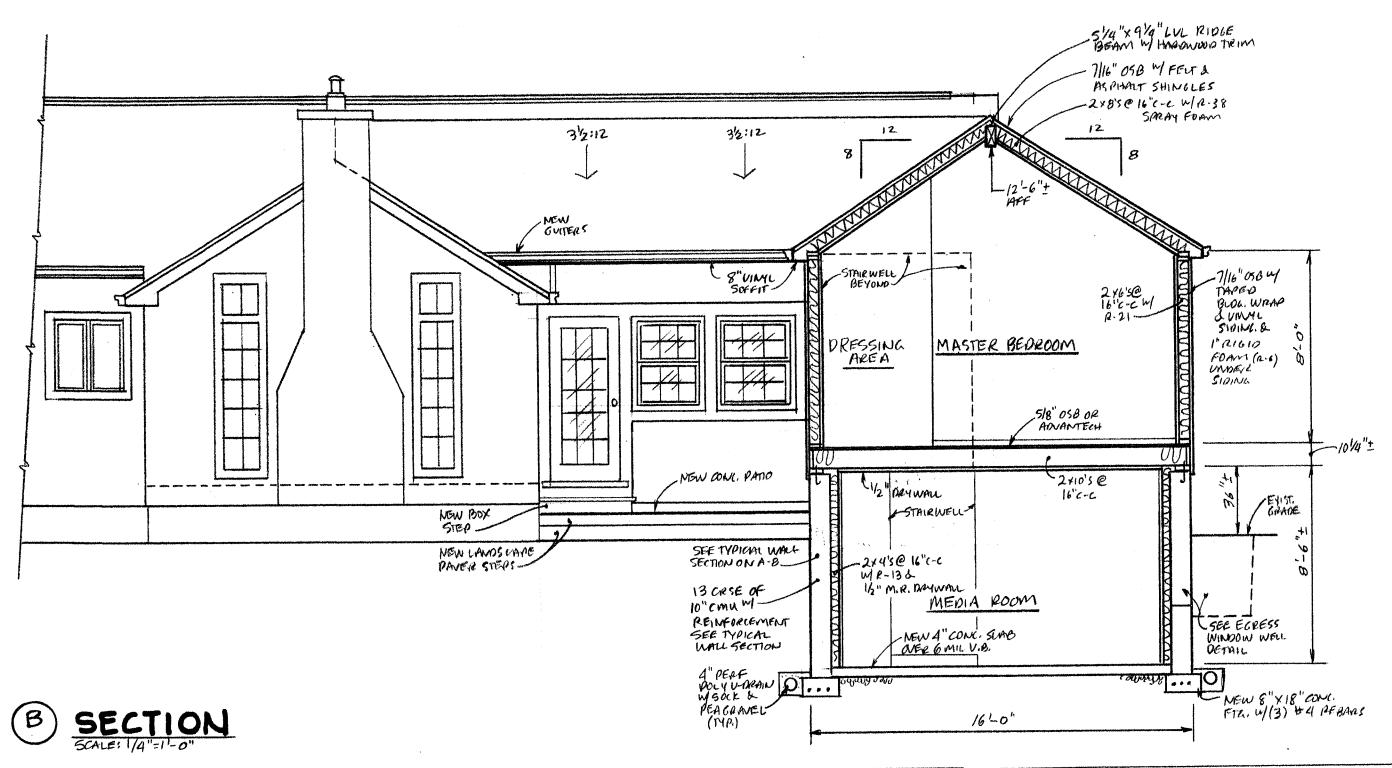




Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only

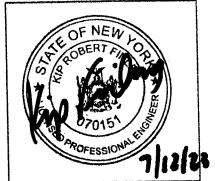


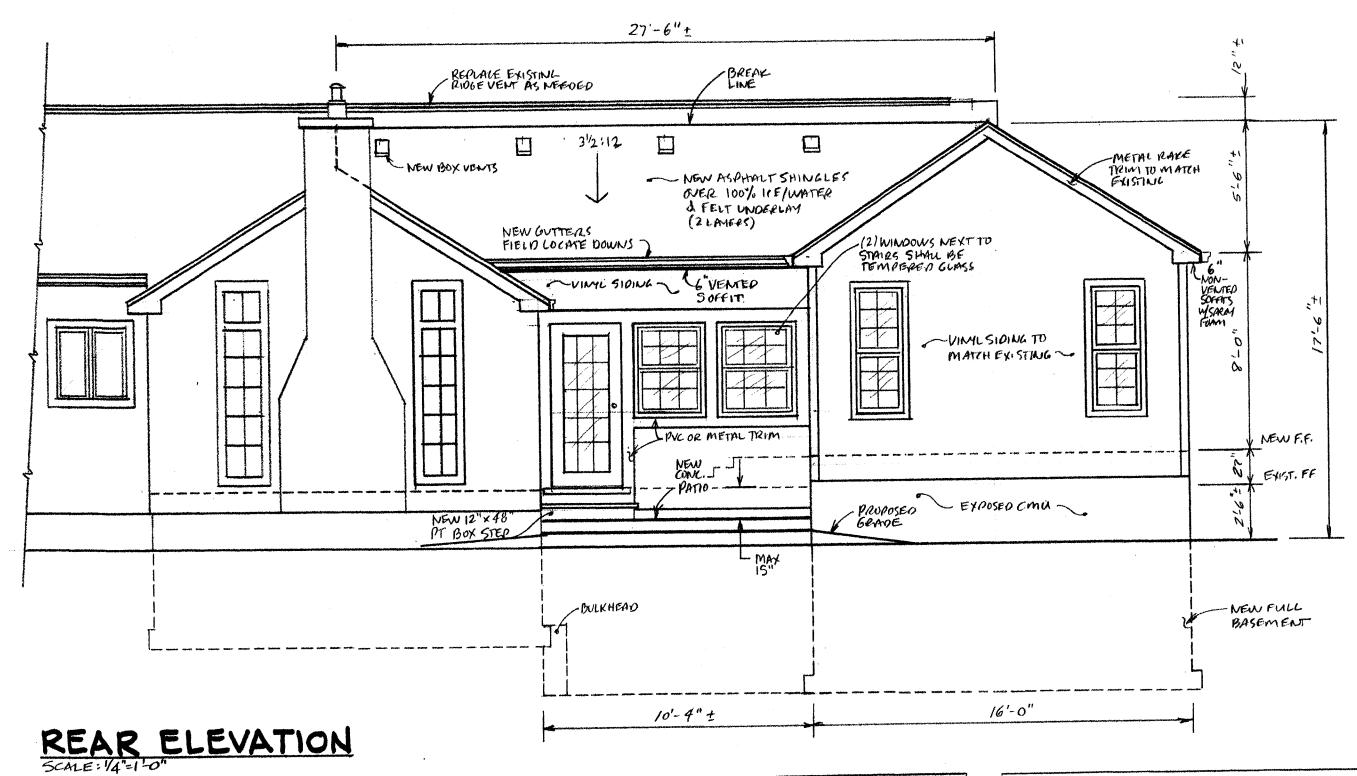


REVISIONS

Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only



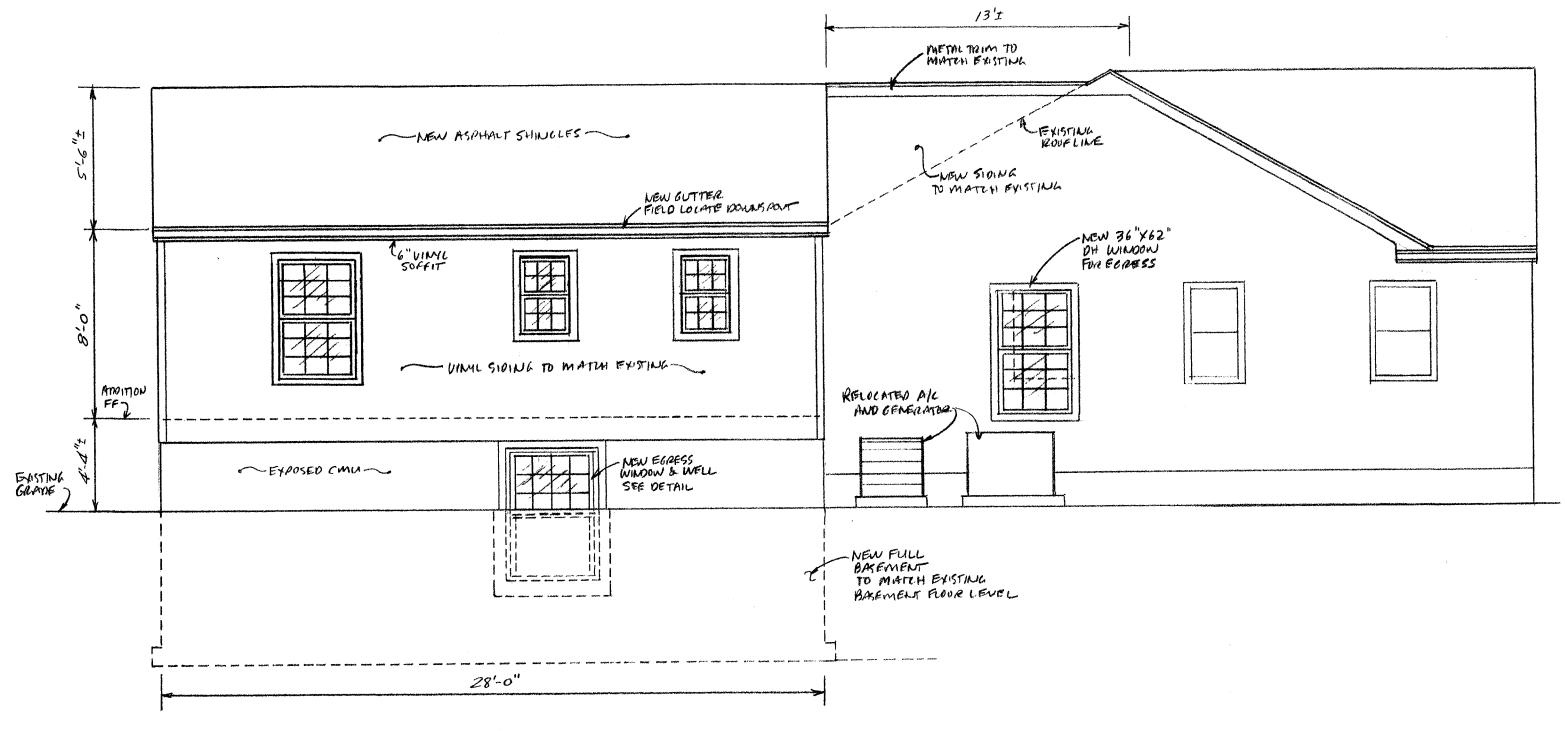


REVISIONS

Kip Finley, PE
d.b.a Victory Hill Land Company
868 Winslow Road
Churchville, NY 14428
kip.finley@gmail.com
(585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only





## LEFT SIDE ELEVATION

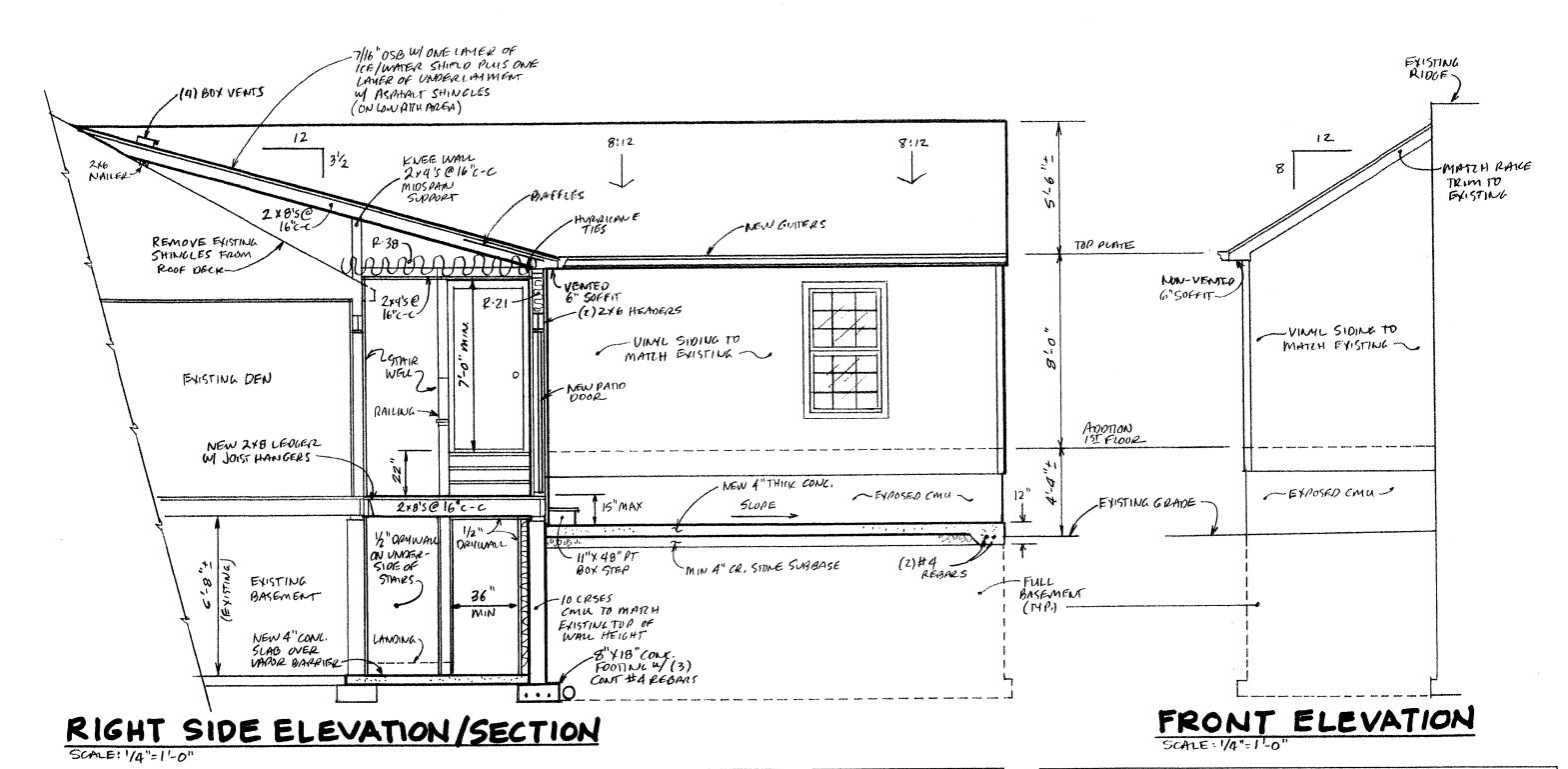
5CALE: 1/4"=1'-0"

REVISIONS

Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only



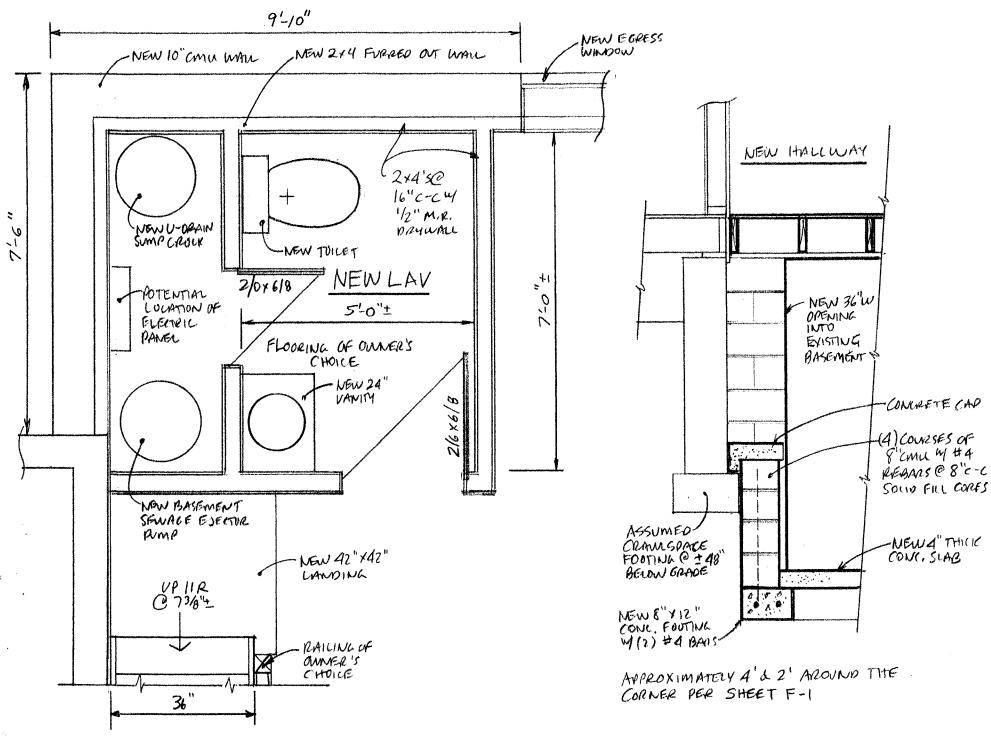


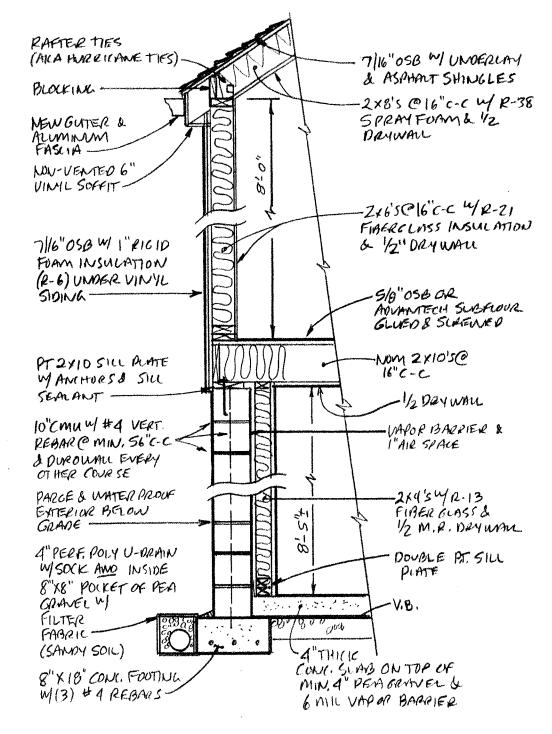
REVISIONS

Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only







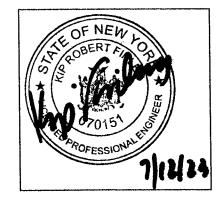
## BASEMENT LAV/MECH ROOM

## BULKHEAD DETAIL

REVISIONS

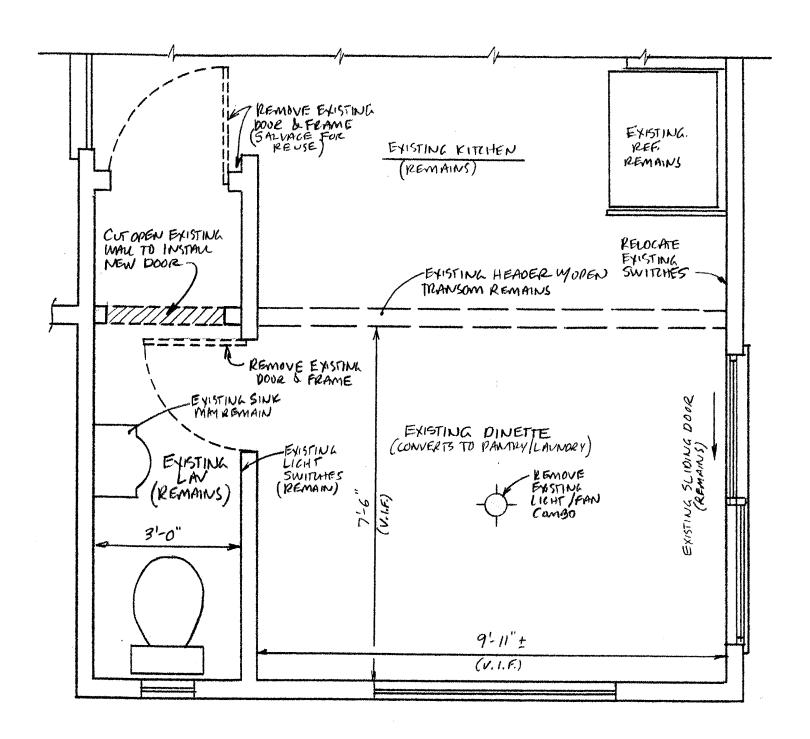
Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

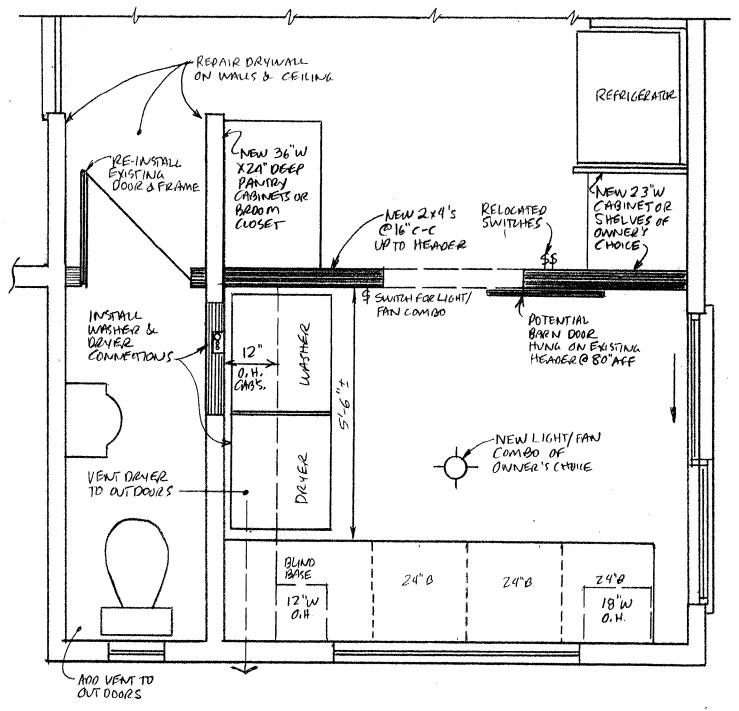
Copyright 2023: Alterations Permitted by Engineer Only



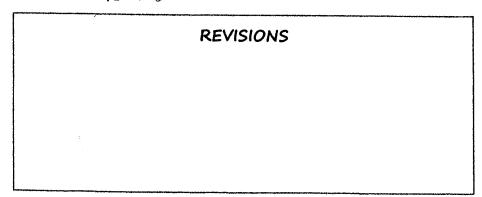
## TYPICAL WALL SECTION

SCALE: 1/2"=11-0"





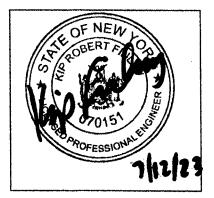
# DEMO PLAN EXALES 1/2"=1'-0"

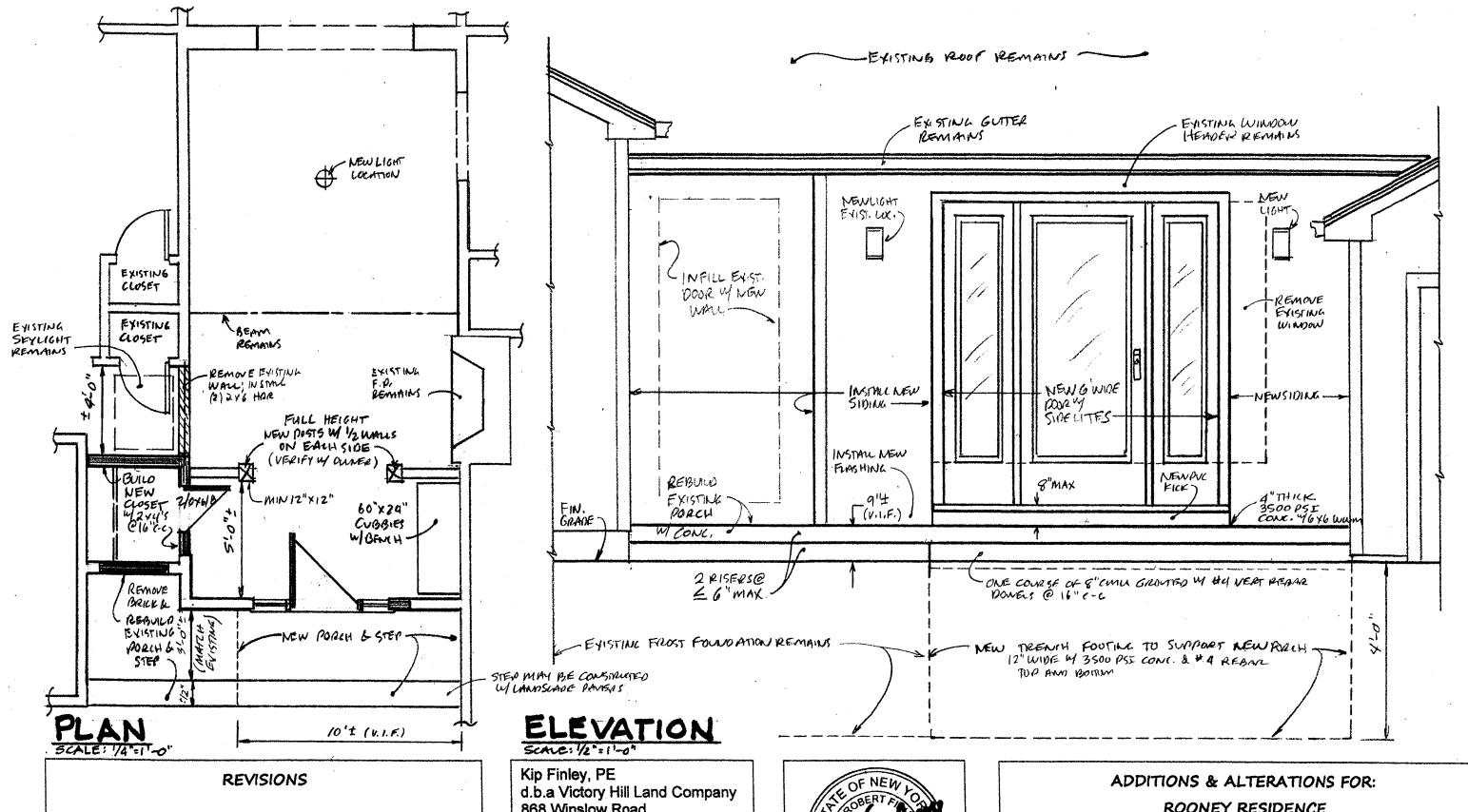


Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only

# FLOOR PLAN SCALE: 1/2 "=11-0"





868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538 Copyright 2023: Alterations

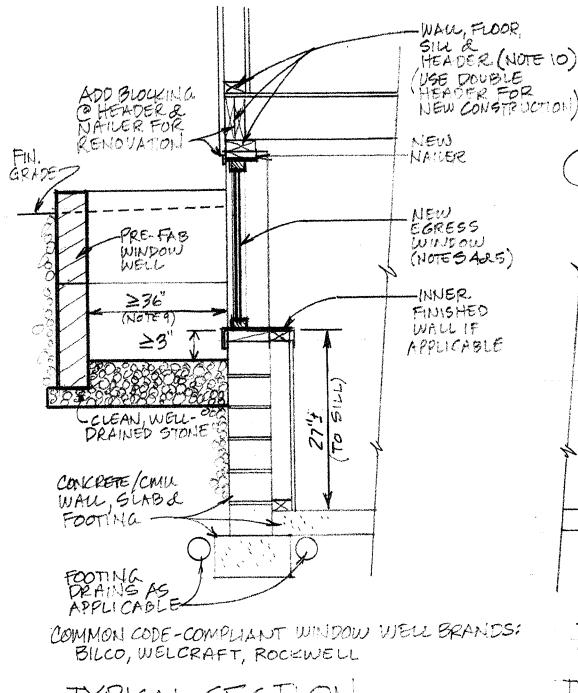
Permitted by Engineer Only



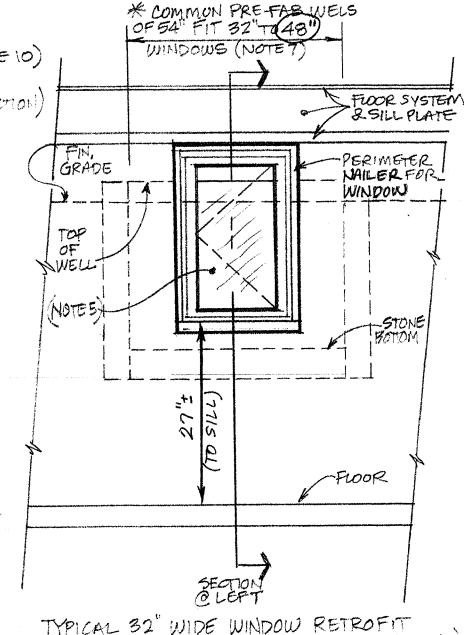
ROONEY RESIDENCE 23 STONELEIGH COURT TOWN OF PITTSFORD, NEW YORK SHEET A- 10

#### PROJECT NOTES

- 1. THIS DETAIL SPECIFIES CONSTRUCTION OF A SINGLE-WIDE (36" TO 48" OPENING) BASEMENT EGRESS WINDOW MEETING CODE REQUIREMENTS FOR USE WITH "HABITABLE SPACE" SUCH AS A BEDROOM BELOW GRADE.
- 2. THIS DETAIL IS FOR NEW/EXISTING CONSTRUCTION.
- 3. THE SILL OF THE NEW WINDOW SHALL BE NO HIGHER THAN 44" ABOVE THE FLOOR TO ALLOW A PERSON TO CLIMB THROUGH THE WINDOW WITHOUT A LADDER FOR ACCESS.
- 4. THE WINDOW SHALL BE A CASEMENT OR DOUBLE-HUNG STYLE WINDOW DESIGNED FOR EGRESS USE. A CASEMENT STYLE SHALL HAVE A HINGE MECHANISM THAT OPENS THE WINDOW TO A FULL 90 DEGREE POSITION.
- 5. THE WINDOW OPENING MUST BE A MINIMUM OF 20" WIDE AND A MINIMUM OF 24" TALL, AND HAVE A TOTAL OPENING OF NO LESS THAN 5.7 SQ. FT. 48"W x 66"H D. H.
- 6. THE WINDOW WELL SHOWN IS A MANUFACTURED UNIT DESIGNED TO RETAIN EARTH ABOVE THE BOTTOM OF THE WINDOW WELL.
- 7. IF THE WINDOW OPENS TO THE OUTDOORS, THE WELL SHALL ACCOMMODATE THE FULL-OPEN WINDOW POSITION.
- 8. WINDOW WELL BOTTOM AREA SHALL BE MORE THAN 9 SQ. FT.
- 9. THE WINDOW WELL SHALL BE PLACED ON A MINIMUM 6" DEEP BED OF WASHED CRUSHED STONE OR GRAVEL TO ALLOW DRAINAGE OF RAIN WATER INTO THE GROUND.
- 10. A NOMINAL 2X6 WOODEN SILL PLATE AND A DOUBLE NOMINAL 2X8 HEADER (OR LARGER) WILL SUPPORT ONE CENTER-BEARING FLOOR AND A ROOF WITH A BUILDING WIDTH OF UP TO 36' AND A SNOW LOAD UP TO 50 PSF.
- 11. IN ADDITION TO EGRESS, A WINDOW ALSO CONTRIBUTES TO VENTILATION AND DAYLIGHT REQUIREMENTS FOR "HABITABLE SPACE". THE CODE REQUIRES WINDOW GLAZING EQUAL TO 8% OF THE ROOM FLOOR AREA. IT IS ALSO REQUIRED THAT AT LEAST HALF THAT AREA BE OPERABLE FOR VENTILATION. FOR EXAMPLE, A NOMINAL 32" WIDE X 54" TALL OPENING FITS A WINDOW THAT IS APPROPRIATE FOR A 120 SQ. FT. ROOM.



TYPICAL SECTION SCALE: 1/2"=1-0"



TYPICAL 32" WIDE WINDOW RETROFIT SHOWIJ A BOVE (2 CMU BLOCK WIDE OPENINA)

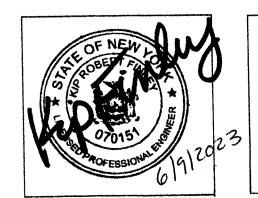
PICAL ELEVATION

SHEET A-11.

#### **REVISIONS**

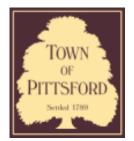
Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2020: Alterations Permitted by Engineer Only



TYPICAL SINGLE-WIDE EGRESS WINDOW FOR NEW OR EXISTING RESIDENTIAL BASEMENT CONSTRUCTION

FOR 32 STONELEIGH CT., PITTSFORD



#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000092

Phone: 585-248-6250 FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 26 Bromley Road PITTSFORD, NY 14534

**Tax ID Number:** 178.06-2-27

Zoning District: RN Residential Neighborhood

Owner: Haywood, William R III Applicant: Haywood, William R III

#### **Application Type:**

, P P	nounon lypo.	
<b>✓</b>	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

**Project Description:** Applicant is requesting design review for the renovation and expansion of a 208 square foot screen porch off the rear of the home.

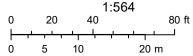
Meeting Date: August 10, 2023



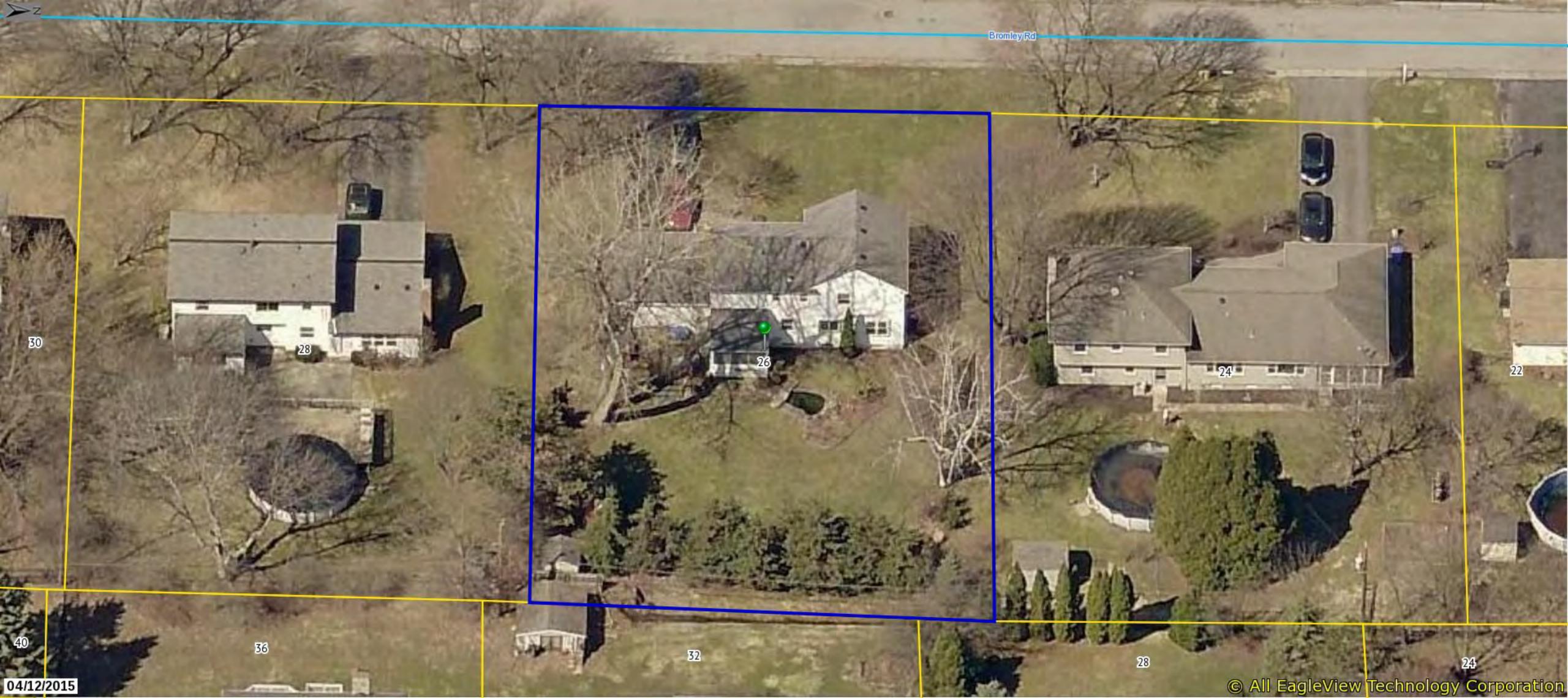
## RN Residential Neighborhood Zoning



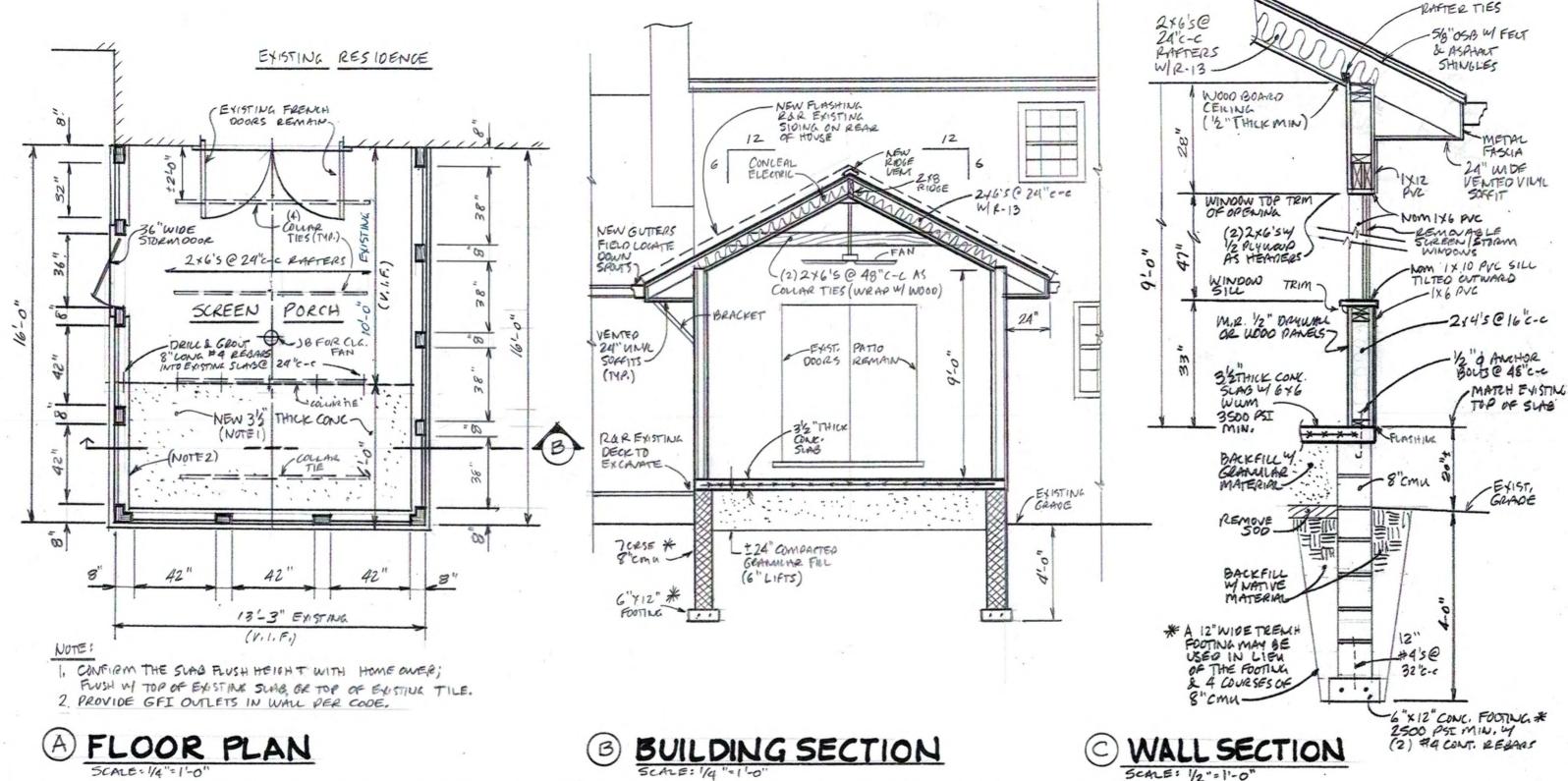
Printed August 2, 2023



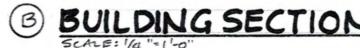
Town of Pittsford GIS











Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

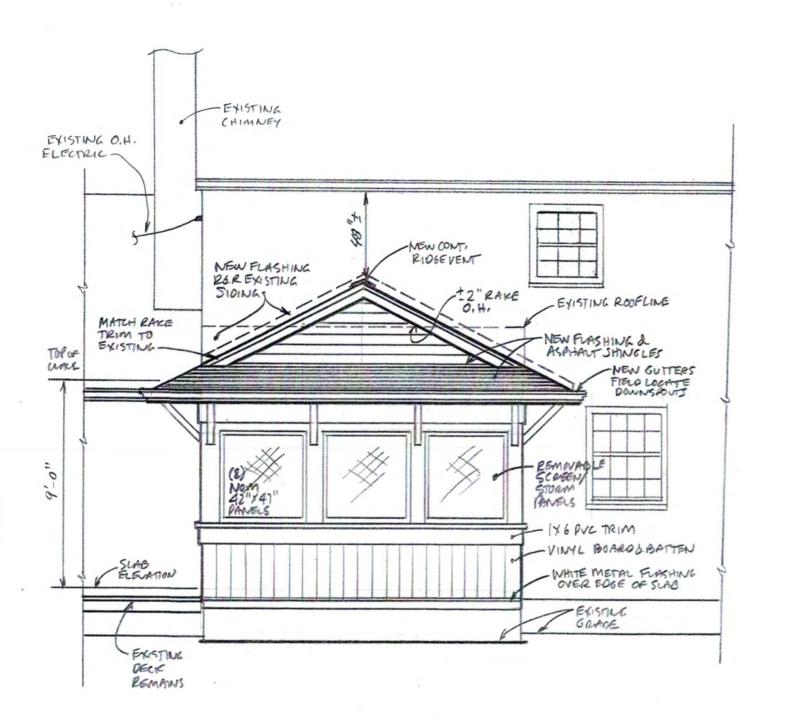
Copyright 2023: Alterations Permitted by Engineer Only

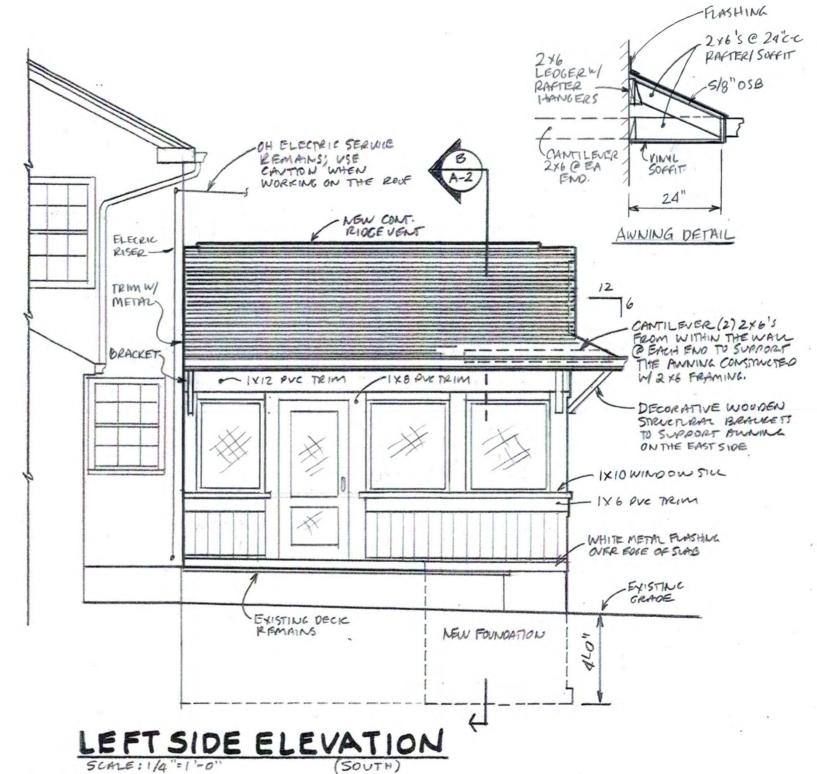




SCALE: 1/2"=1'-0"

REPLACEMENT OF EXISTING SCREENED PORCH HAYWOOD RESIDENCE 26 BROMLEY ROAD TOWN OF PITTSFORD, NEW YORK SHEET A-2



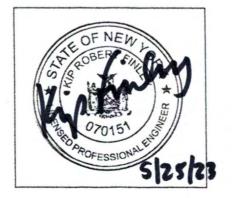


# REAR ELEVATION SLAVE: 1/4" = 1"-0" (EAST)

REVISIONS

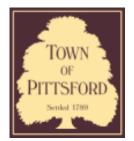
Kip Finley, PE d.b.a Victory Hill Land Company 868 Winslow Road Churchville, NY 14428 kip.finley@gmail.com (585) 451-6538

Copyright 2023: Alterations Permitted by Engineer Only



REPLACEMENT OF EXISTING SCREENED PORCH
HAYWOOD RESIDENCE
26 BROMLEY ROAD
TOWN OF PITTSFORD, NEW YORK

SHEET A-3



### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000087

Phone: 585-248-6250 FAX: 585-248-6262

#### **DESIGN REVIEW AND HISTORIC PRESERVATION BOARD** REFERRAL OF APPLICATION

Property Address: 61 Coventry Ridge ,

Tax ID Number: 177.04-1-39

**Zoning District:** 

Owner:

**Applicant: Spall Homes** 

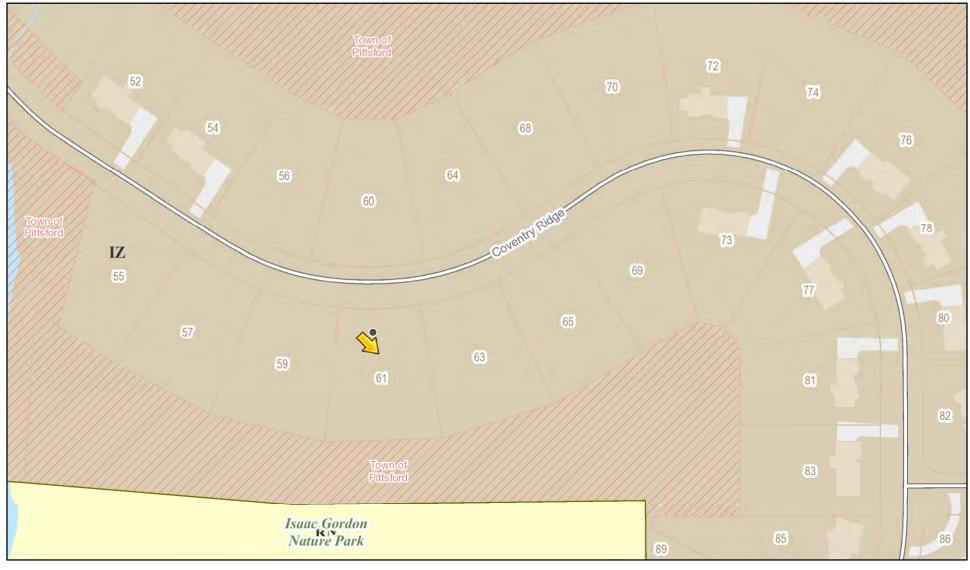
#### Application Type:

application Type.	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

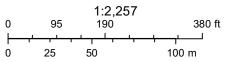
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3760 square feet of livable area and is located in the Coventry Ridge Subdivision.

Meeting Date: August 10, 2023

## RN Residential Neighborhood Zoning



Printed July 20, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





## **GENERAL NOTES:**

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNYS ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE LEG OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G242O.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" ( NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

## **ENERGY EFFICIENCY:**

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN

ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5. R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS

R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

EXPANSION AND CONTRACTION.

- 1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED. BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF. 6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY) THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE ( MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F

SHALL BE INSULATED TO A MINIMUM OF R-3. R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE

SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE. R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.

- 2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
- 3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE. 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- 5. PIPING LOCATED UNDER A FLOOR SLAB.
- 7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE,

OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS

SYSTEM IS NOT OPERATING R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF

SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

TABLE R403.6.1.

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

# SPEC HOME

LOT 84 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP.

# PLAN 2926 / PROJECT 15420 G

## SHEET INDEX

- C-1 COVER SHEET
- 1/6 FRONT & LEFT SIDE ELEVATIONS
- 2/6 REAR 7 RIGHT SIDE ELEVATIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

## **FOUNDATION:**

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2"

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY, TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE. BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS. BEAMS OR STUDS WHICH

ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR

ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS. ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS

COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS

WILL BE CAUSE FOR REJECTION. ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL,

SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS,

& WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS. STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

## STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R3 1 1.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

## GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

## STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL ASTM A-36, Fy = 36 ksiREINFORCED STEEL ASTM A-615, Fy = 40 ksiWIRE MESH ASTM A-185, 6 x 6 - 10/10 W.W.M. ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC

TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE

CDX, PANEL INDEX Fb = 2600Fv = 285

**MASONRY** ASTM C90, GRADE N-1, Fm = 1350 PSI

MORTAR ASTM C270, TYPE S Fc = 2000 PSI ASTM C476 GROUT

> Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. ( GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS

> > ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

## LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND

PLYWOOD

LVL, PSL, LSL

CONCRETE

40 P.S.F. LIVING AREA LIVE LOAD 2ND FLOOR 30 P.S.F. LIVING AREA LIVE LOAD 1ST & 2ND FLOOR DEAD LOAD 15 P.S.F. 40 P.S.F. GROUND SNOW LOAD

SHALL BE STRICTLY ADHERED TO

ROOF DEAD LOAD 10 P.S.F. ALLOWABLE SOIL BEARING 2500 P.S.F. AT MINIMUM

42" BELOW FINISHED GRADE WIND SPEED 115 MPH, EXPOSURE B CATEGORY B SEISMIC DESIGN

SEVERE WEATHERING **42 INCHES** FROST LINE DEPTH SLIGHT TO MODERATE TERMITE DAMAGE

NONE TO SLIGHT DECAY DAMAGE WINTER DESIGN TEMPERATURE 1 DEGREE REQUIRED 24" INSIDE OF EXTERIOR WALL LINE ICE SHEILD UNDERLAYMENT

FLOOD HAZARD FIRM - 2008

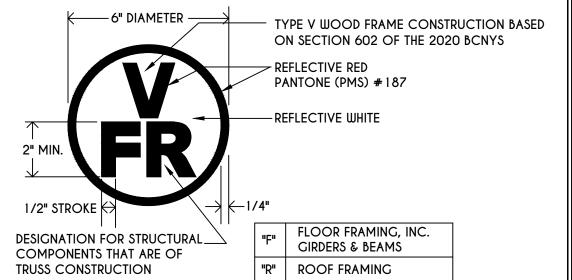
ROOF TIE DOWN REQUIREMENTS

ROOF DESIGN

## TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

R802.11, BASED UPON SPECIFIC



"FR" | FLOOR & ROOF FRAMING

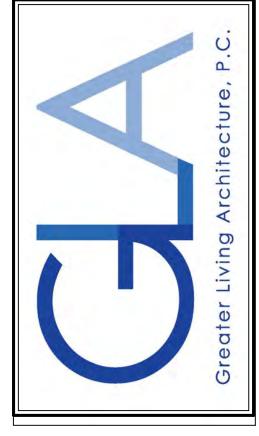
COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

COPYRIGHT NOTICE THESE PLANS ARE PROTECTED UNDER FEDERA

COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE, ANY UNAUTHORIZED

TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS CLIENT RIGHTS ARE LIMITED TO ONE-TIME US FOR THE CONSTRUCTION OF THESE PLANS



3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVISIONS: DATE BY DESCRIPTION

CLIENT/LOCATION:

SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

**COVER PAGE** 

GLA PLAN 2926

drawn: checked: CSB scale: date: 7 / 23 PROJECT: sheet: 15420G



CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS						
DWELLING UNIT		NUMBER	OF BED	ROOMS		
FLOOR AREA	0-1	2-3	4-5	6-7	> 7	
(square feet)	AIRFLOW IN CFM					
< 1,500	30	45	60	75	90	
1,501-3,000	45	60	75	90	105	
3,001-4,500	60	75	90	105	120	
4,501-6,000	75	90	105	120	135	
6,001-7,500	90	105	120	135	150	
> 7,500	105	120	135	150	165	

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

17.000.110 (2)							
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b							
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%	
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1.0	

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation. b. Extrapolation beyond the table is prohibited.

## TABLE M1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-	MECHANICAL EXHAUST CAPACITY OF 50 cfm
TOILET ROOMS	INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

SHGC ..... 0.54 SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

## WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
- T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

#### FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

## GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

## MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 ( PAGE 1 )

COPYRIGHT NOTICE

THESE PLANS ARE PROTECTED UNDER FEDERA COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED

REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS

TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVIS	REVISIONS:						
DATE	BY	DESCRIPTION					

CLIENT/LOCATION:

SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

**ELEVATIONS** 

GLA PLAN 2926

checked: drawn: CDK CSB scale: date: 7 / 23 PROJECT: sheet: 15420G

LEFT ELEVATION

1X10 FRIEZE BD.

16/0 X 7/0 O.H. DOOR

SEL'D. BY OTHERS

— 1X8 CORNER BD.

SCALE: 1/4" = 1'-0"

9/0 X 7/0 O.H. DOOR

SEL'D. BY OTHERS

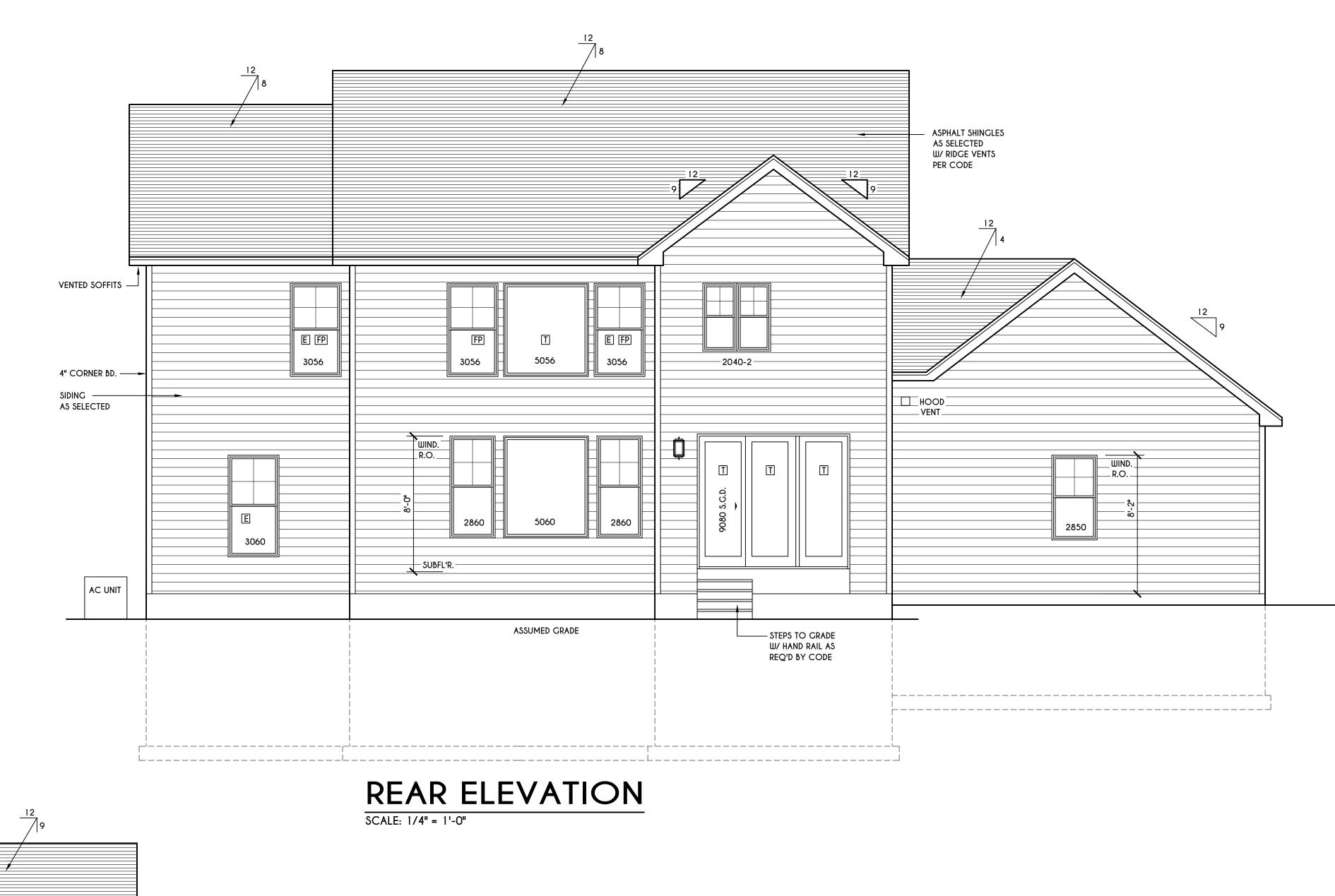
4

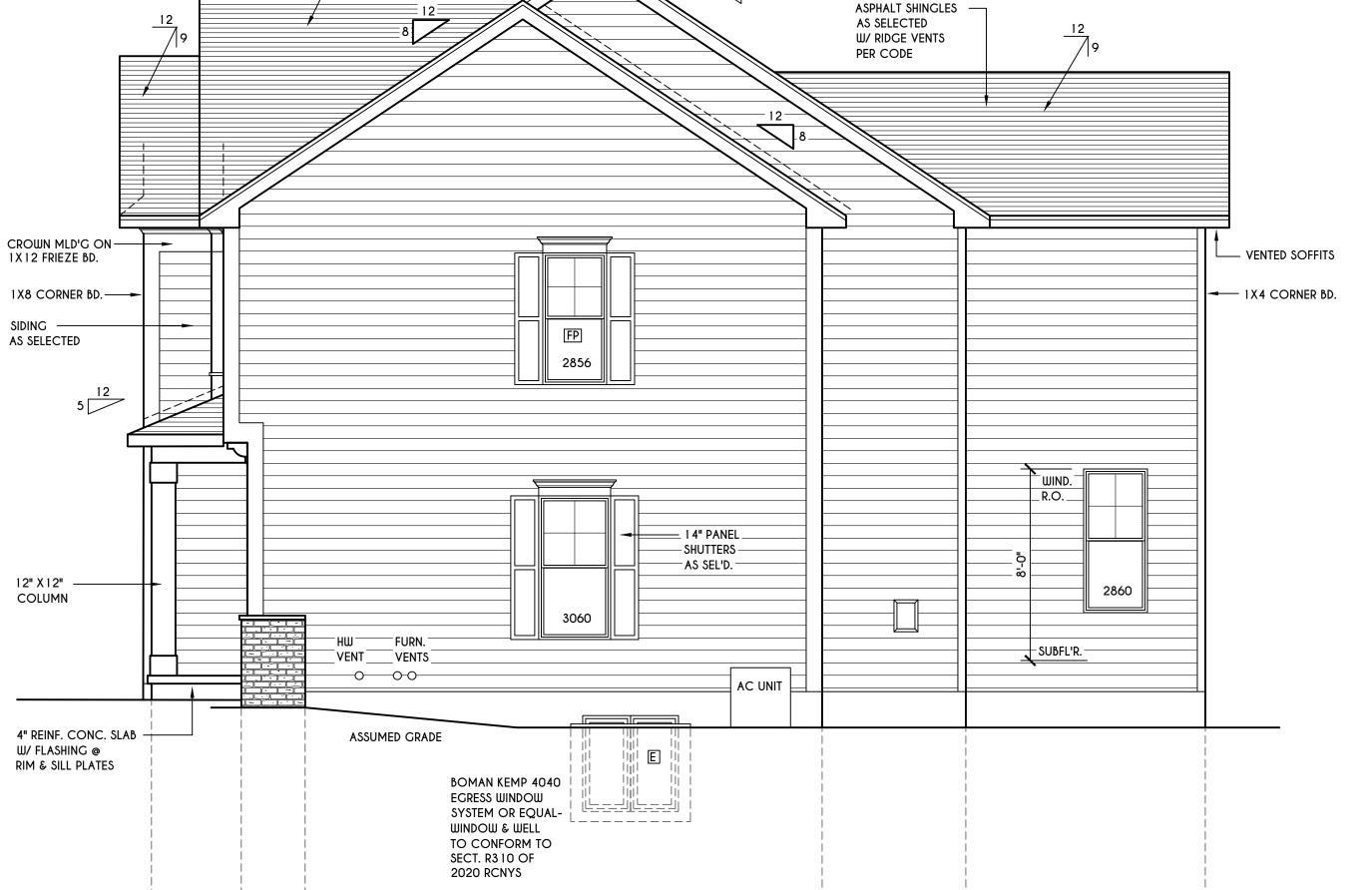
- SUBFL'R.

ASSUMED GRADE

4" CORNER BD. ——

AS SELECTED





RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS NUMBER OF BEDROOMS FLOOR AREA 0-1 2-3 4-5 6-7 > 7 (square feet) AIRFLOW IN CFM < 1,500 30 | 45 | 60 | 75 | 90

TABLE M 1505.4.3 (1)

1,501-3,000 | 45 | 60 | 75 | 90 | 105 3,001-4,500 | 60 | 75 | 90 | 105 | 120 4,501-6,000 | 75 | 90 | 105 | 120 | 135 6,001-7,500 90 105 120 135 150 > 7,500 105 | 120 | 135 | 150 | 165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

## TABLE M 1505.4.3 (2)

INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b								
RUN-TIME PERCENTAGE         25%         33%         50%         66%         75%         100%								
FACTOR <sup>Q</sup> 4 3 2 1.5 1.3 1.0								

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.

b. Extrapolation beyond the table is prohibited. TABLE M 1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUC
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

VWD 210C DH SOLAR GAIN W/ ARGON U-FACTOR ...... 0.29

SELECTION BY OWNER AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

## WINDOW / DOOR LEGEND:

- E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24"
- PER SECT. R3 10.1 OF 2020 RCNYS T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING

PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

## GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 ( PAGE 1 )

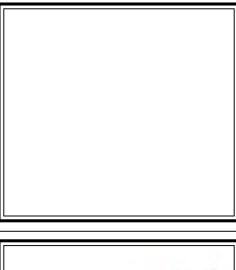
COPYRIGHT NOTICE THESE PLANS ARE PROTECTED UNDER FEDERAL

COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW,

ARTICLE 145, SECTION 7209 COPYRIGHT © ALL RIGHTS RESERVED

GREATER LIVING ARCHITECTURE. P.C.





3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

www.greaterliving.com

Ш			
	REVIS	IONS:	
	DATE	ВҮ	DESCRIPTION

CLIENT/LOCATION:

SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

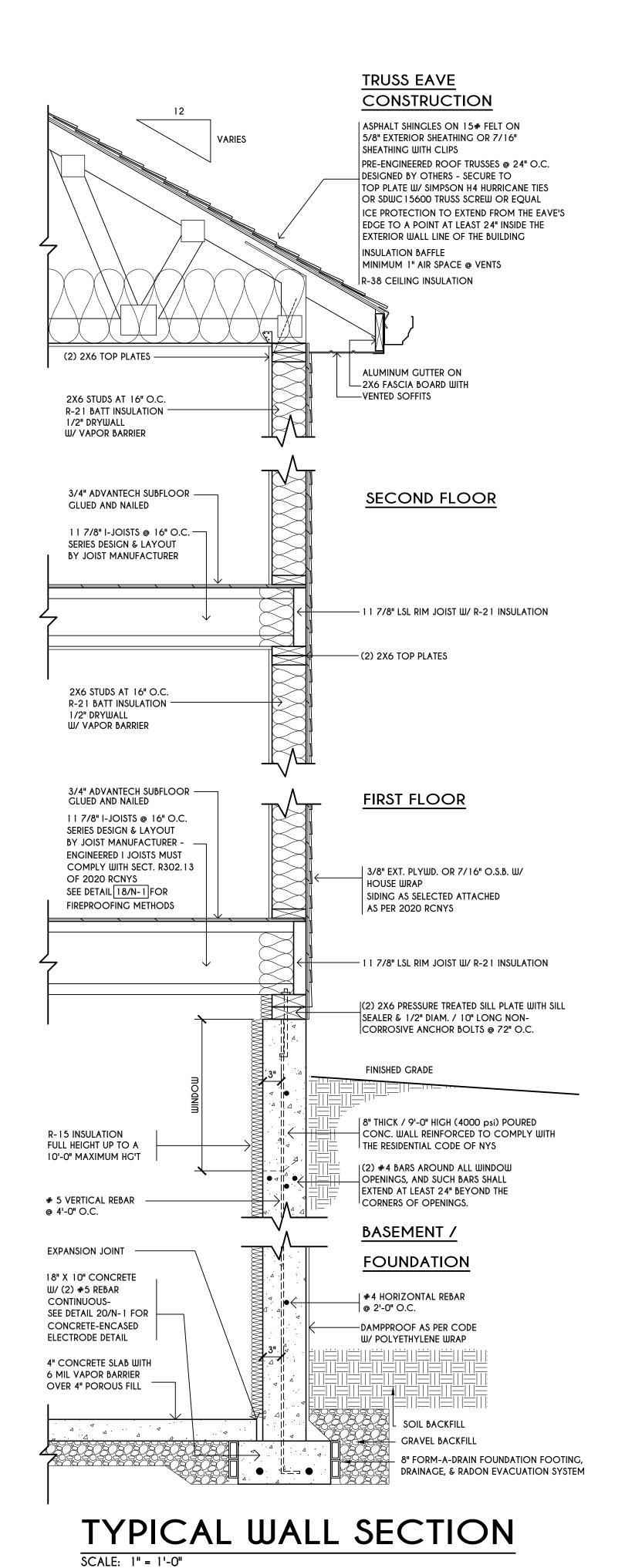
BUILDER:

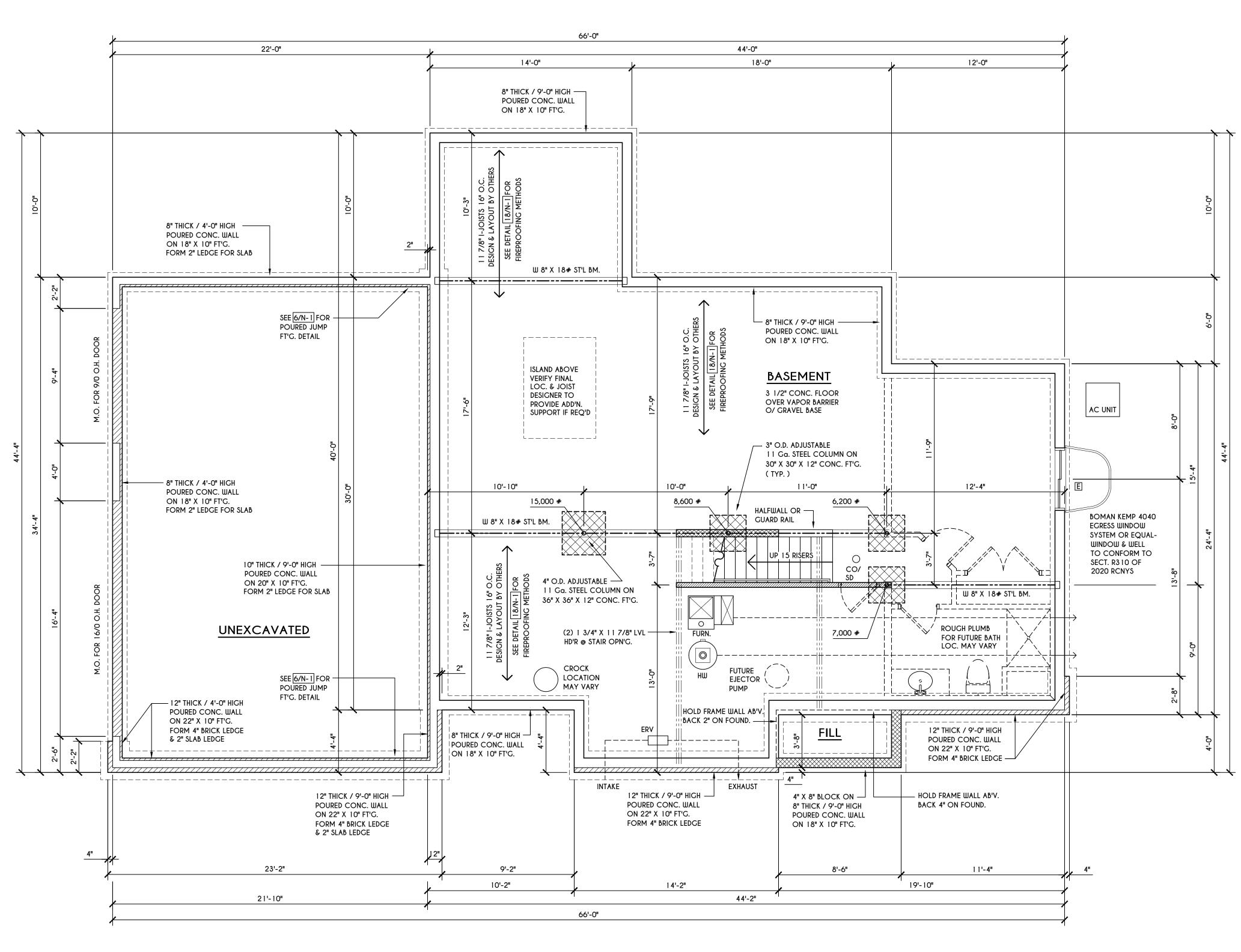
COVENTRY RIDGE BUILDING CORP.

**ELEVATIONS** CIA DIANI 2026

GLA PLAN 2926			
drawn:	checked: CSB		
scale:	date: 7 / 23		
PROJECT:	sheet:		
	2		

15420G





# BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

## **ENGINEERED FL'R JOIST NOTE:**

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW: ALL <u>LIVING AREA</u> JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL 18/N-1 FOR FIREPROOFING METHODS

## GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.

WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O.

ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. ) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R3 I 4 OF 2020 RCNYS CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

## WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

## FRAMING LEGEND:

- 2X6 STUDS @ 16" O.C.

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE \_\_\_\_ - DROPPED HEADER ≡≣≣ - FLUSH HEADER - 2X4 STUDS @ 16" O.C.

COPYRIGHT NOTICE THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVISI	ONS:	
DATE	ВҮ	DESCRIPTION
2/28/22	CDK	MOVED ST'L BEAM

CLIENT/LOCATION:

SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

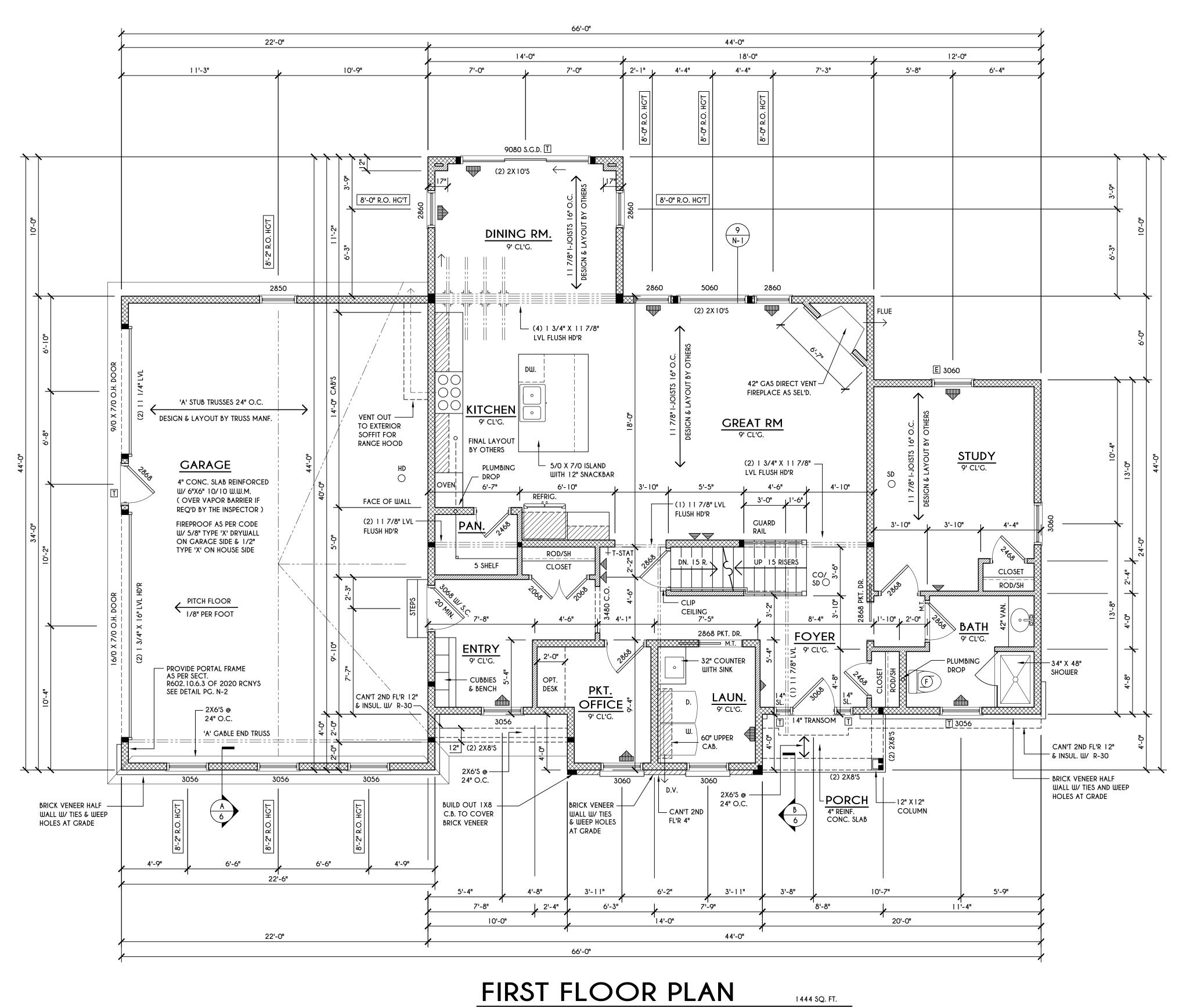
**BUILDER:** 

COVENTRY RIDGE BUILDING CORP.

FOUNDATION PLAN

GLA PLAN 2926

	SEATTEAN 2720				
	drawn: CDK	checked: CSB			
scale: AS NOTED		date: 7 / 23			
	PROJECT:	sheet:			



SCALE: 1/4" = 1'-0"

THE SHOWER OR TUBS.

## ENGINEERED FL'R JOIST NOTE:

- ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW: ALL <u>LIVING AREA</u> JOISTS TO BE DESIGNED FOR
- 55 P.S.F. TOTAL LOAD ALL <u>SLEEPING AREA</u> JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

## FRAMING LEGEND:

- 2X4 STUDS @ 16" O.C.

- 2X6 STUDS @ 16" O.C.

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE ---- - DROPPED HEADER ≡≣≣ - FLUSH HEADER

## GENERAL FIRST FLOOR PLAN NOTES:

- FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE) ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
- PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"

SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS

- ALL ANGLES TO BE 45 DEG. U.N.O. ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. ) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM

## WINDOW / DOOR LEGEND:

**E** = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20"

- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

COPYRIGHT NOTICE: THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS UNAUTHORIZED ALTERATIONS OR ADDITIONS

TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170

FAX: (585) 292-1262 www.greaterliving.com

Ι.			
Ш	REVISI	ONS:	
Ш	DATE	BY	DESCRIPTION
Ш			
Ш			
Ш			
Ш			
П			

CLIENT/LOCATION:

SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

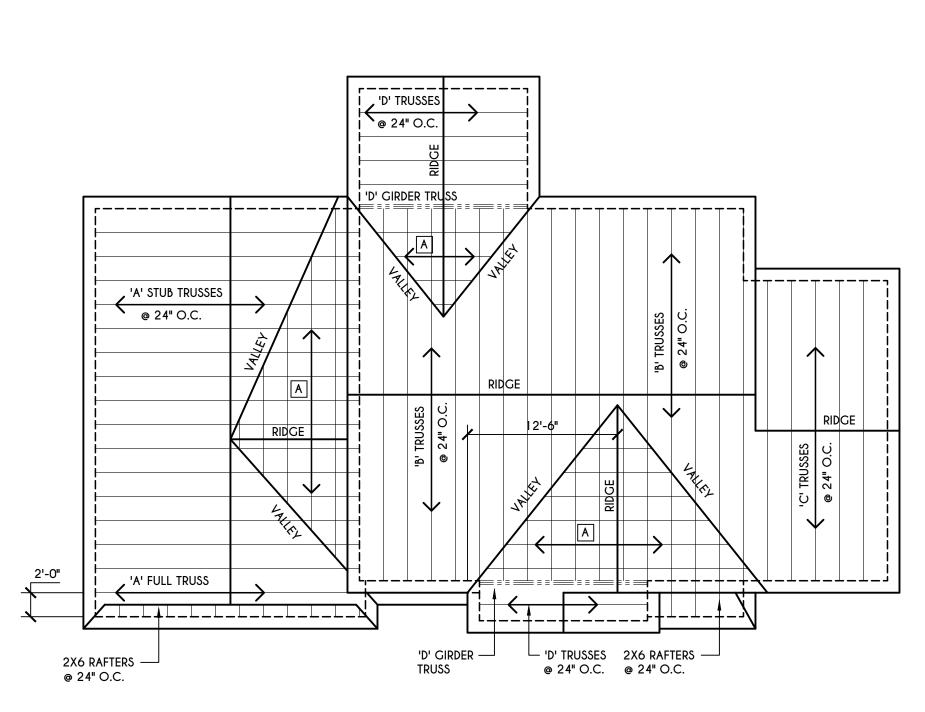
BUILDER:

COVENTRY RIDGE BUILDING CORP.

FIRST FLOOR PLAN

CIA DIANI 2026

	GLA PLAI	N 2926
	drawn: CDK	checked: CSB
	scale:	date: 7 / 23
	PROJECT:	sheet:
	15420G	4



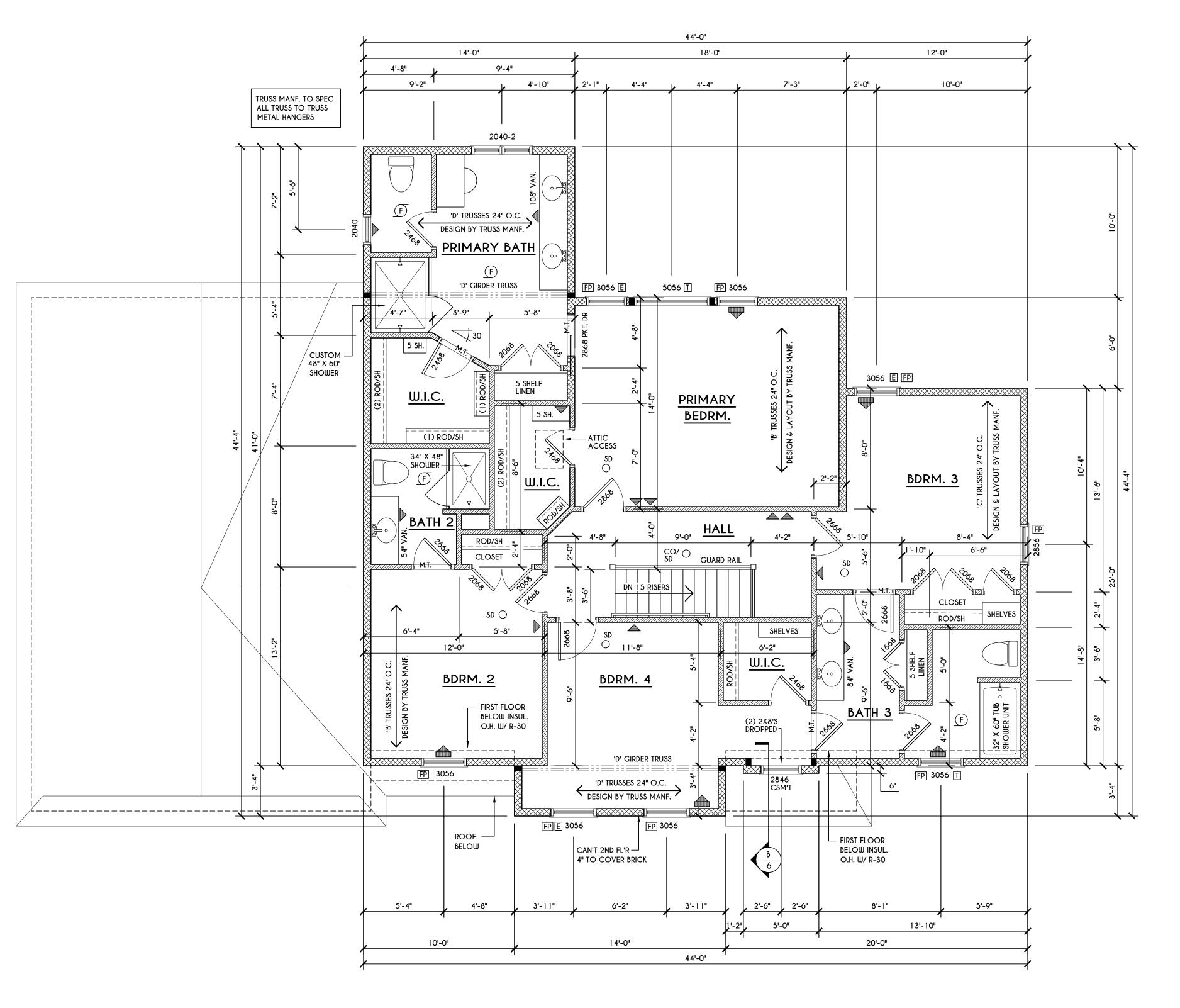
## GENERAL ROOF NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

# ROOF PLAN

SCALE: 1/8" = 1'-0"

A - 2X8 LAYOVER RAFTERS 24" O.C.



# SECOND FLOOR PLAN

## FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE ---- - DROPPED HEADER ==== - FLUSH HEADER

- 2X4 STUDS @ 16" O.C.

- 2X6 STUDS @ 16" O.C.

## GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HG'T TO BE 8'-1 1/8" ( UNLESS NOTED OTHERWISE ) ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL

PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"

ALL ANGLES TO BE 45 DEG. U.N.O.

ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S ( U.N.O. )

ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER

SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM

THE SHOWER OR TUBS.

SCALE: 1/4" = 1'-0"

## WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R3 10.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R3 12.2 OF 2020 RCNYS

**COPYRIGHT NOTICE:** 

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED
REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW,

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

ARTICLE 145, SECTION 7209



3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

www.greaterliving.com

REVIS	IONS:	
DATE	BY	DESCRIPTION
	+ +	
	+ +	
		·

CLIENT/LOCATION:

SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

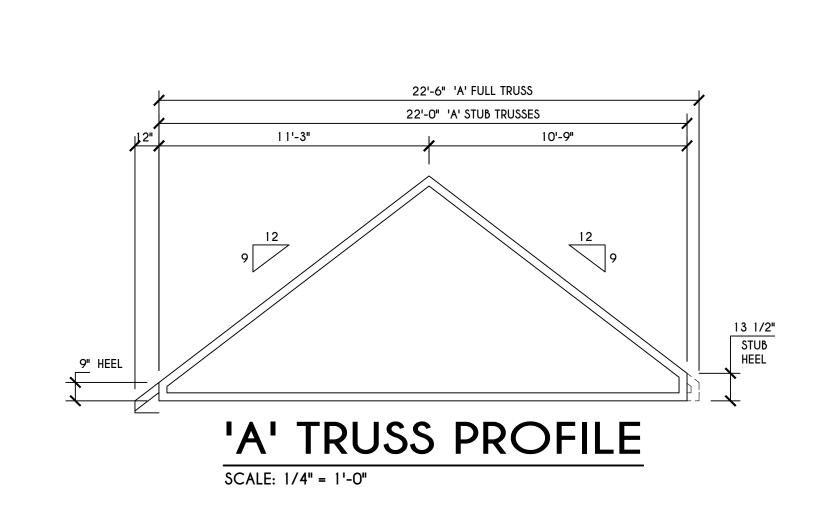
BUILDER:

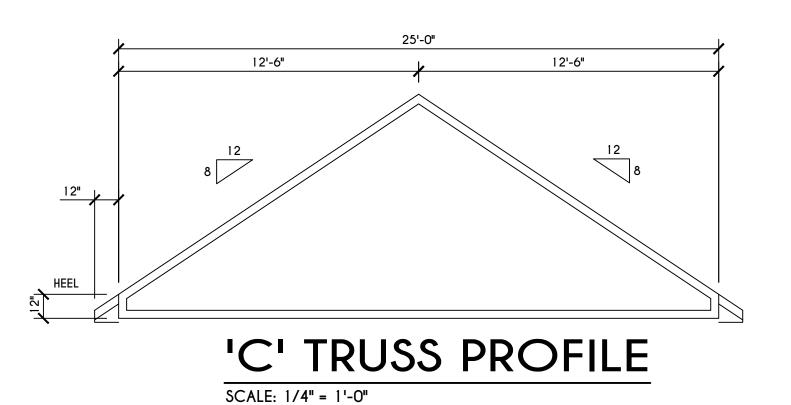
COVENTRY RIDGE BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 2926

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	7 / 23
PROJECT:	sheet:
	5 /





# 'D' TRUSS PROFILE

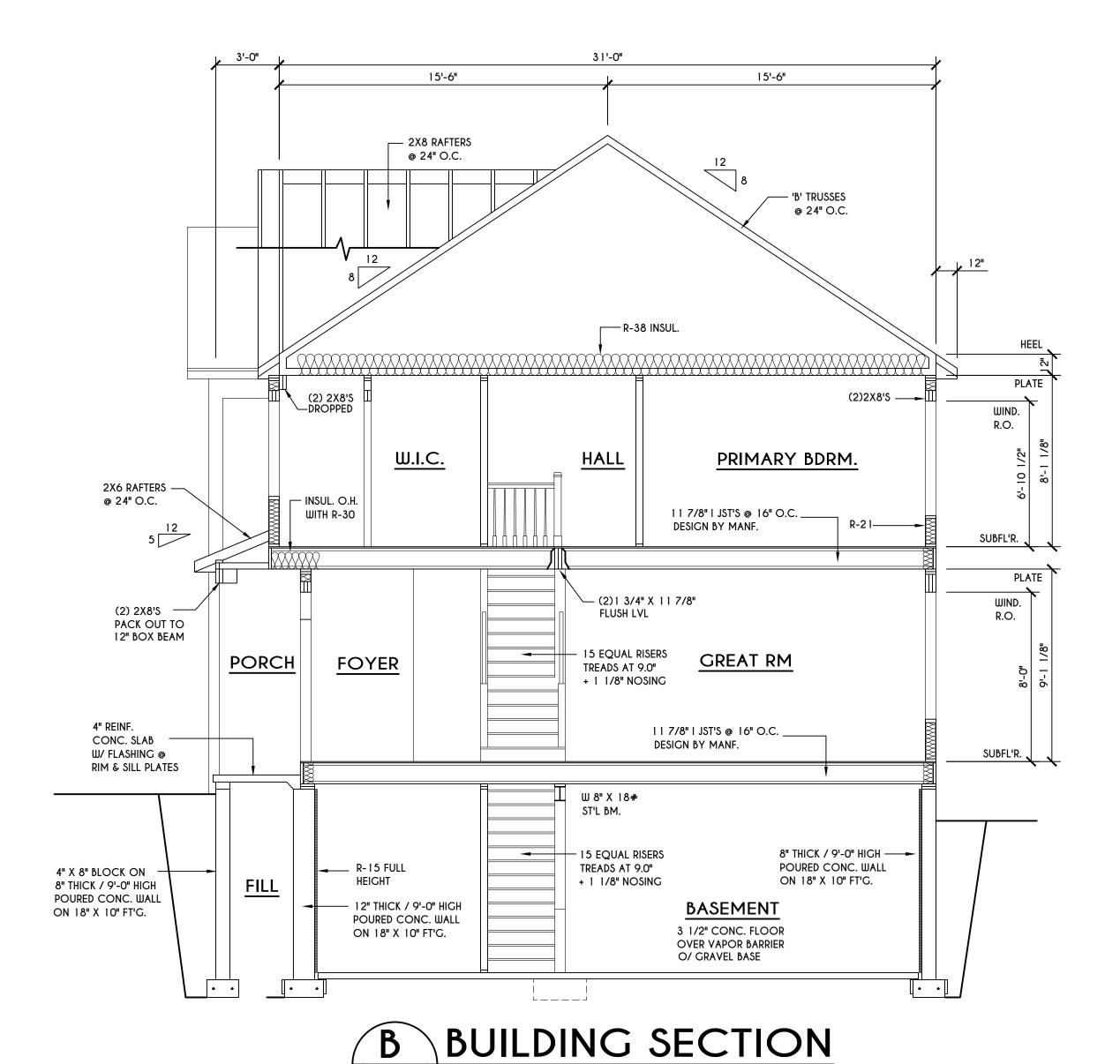
SCALE: 1/4" = 1'-0"

## TRUSS NOTES:

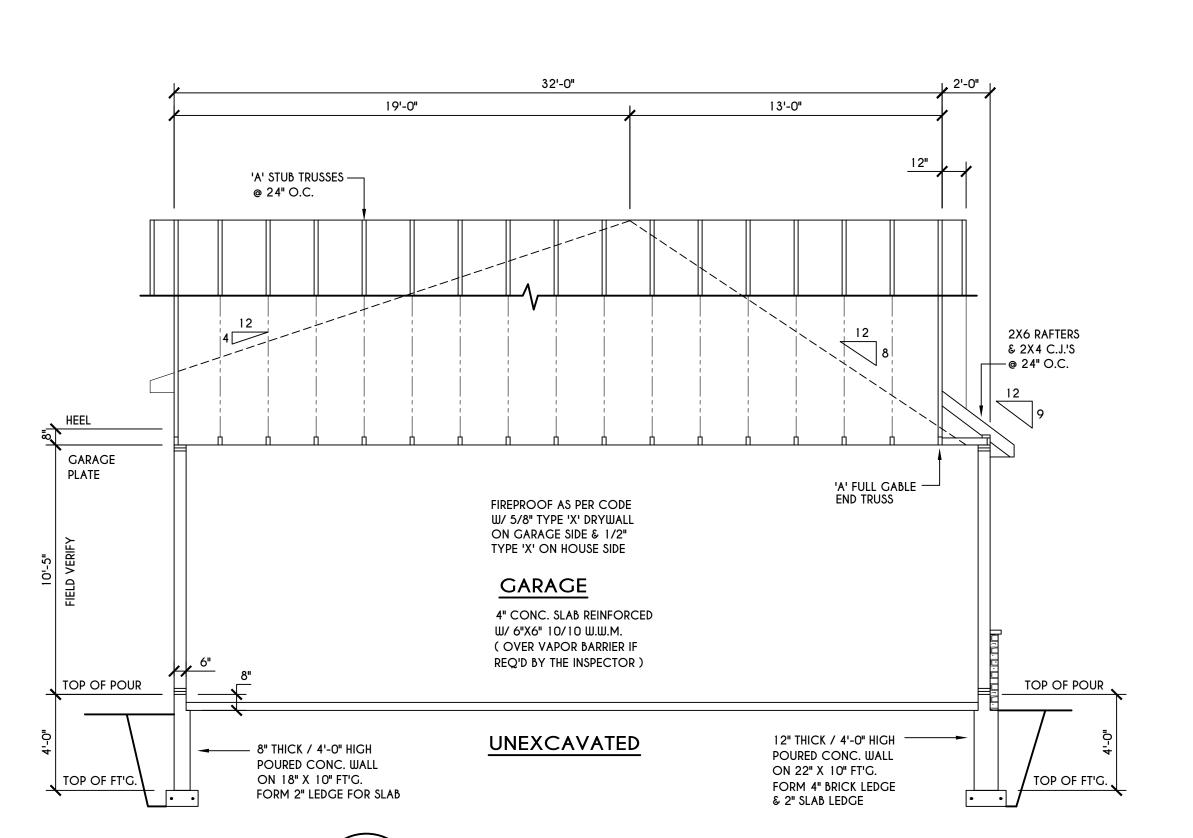
TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONISBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD

TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER

CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



6 SCALE: 1/4" = 1'-0"





COPYRIGHT NOTICE:

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVIS	REVISIONS:					
DATE	ВҮ	DESCRIPTION				

CLIENT/LOCATION:

SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

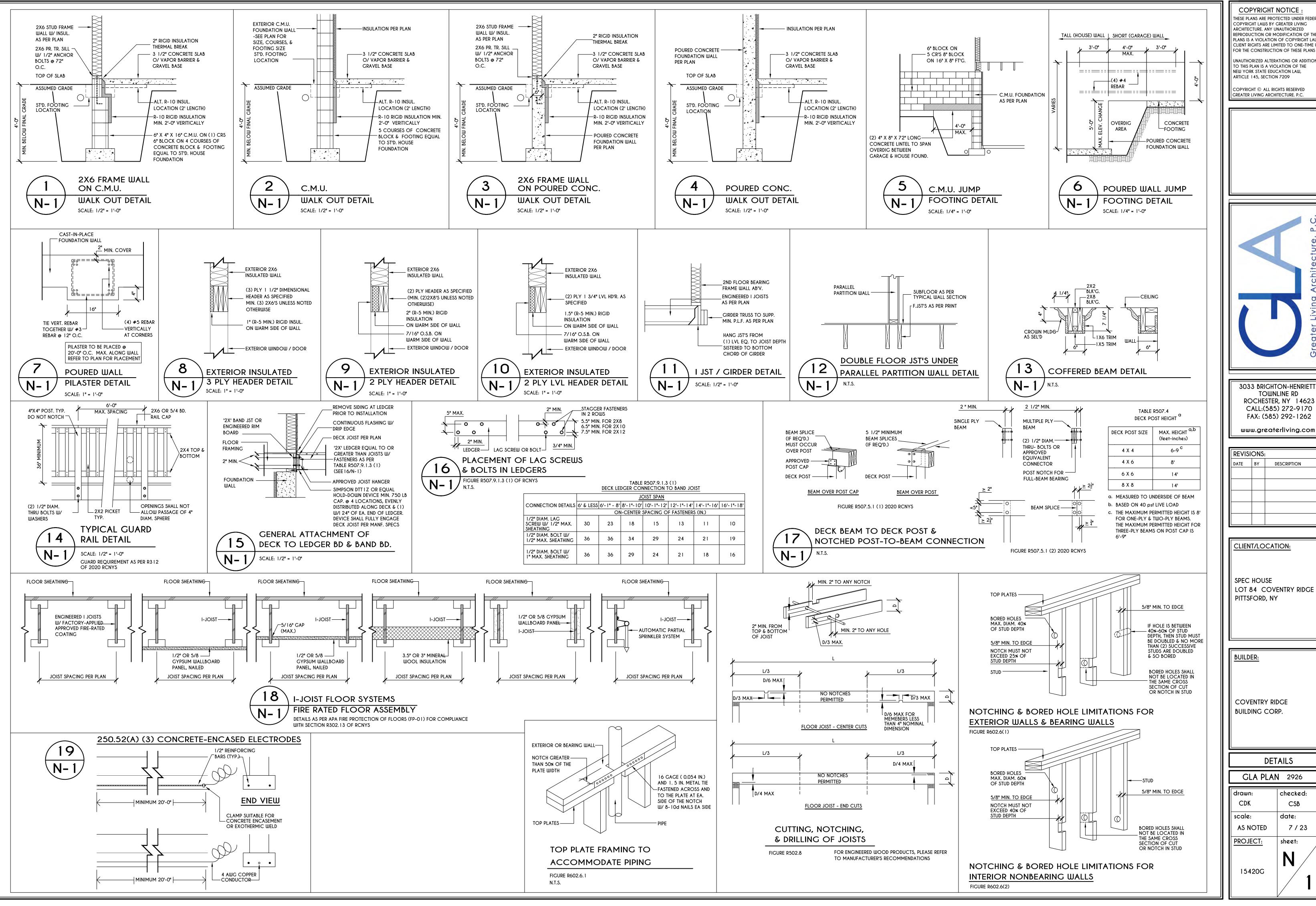
BUILDER:

COVENTRY RIDGE BUILDING CORP.

SECTIONS

GLA PLAN	2926
OLA FLAN	2920

1	drawn:	checked:
	CDK	CSB
	scale:	date:
	AS NOTED	7 / 23
	PROJECT:	sheet:
	15420G	6



**COPYRIGHT NOTICE** THESE PLANS ARE PROTECTED UNDER FEDERA COPYRIGHT LAUIS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED PLANS IS A VIOLATION OF COPYRIGHT LAWS CLIENT RIGHTS ARE LIMITED TO ONE-TIME US

O THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW,

COPYRIGHT © ALL RIGHTS RESERVED

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

DESCRIPTION

CLIENT/LOCATION:

LOT 84 COVENTRY RIDGE

**COVENTRY RIDGE** 

**DETAILS** 

GLA PLAN 2926

checked: CSB date: 7 / 23 sheet:

## TABLE R404.1.1(2)

		INDLL	K+0+.1.1(Z)			
	8-INCH	MASONRY FOUNDATION WA	LLS WITH REINFORCING WHERE d	> 5 INCHES a, c, f		
			VERTICAL REINFORCEMENT AND			
			ES AND LATERAL SOIL LOAD <sup>d</sup> (			
WALL HEIGHT	HEIGHT OF Unbalanced Backfill <sup>®</sup>			SC, MH, ML-CL AND INORGANIC CL SOILS 60		
6'-8"	4' ( OR LESS )	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.		
7'-4"	4' ( OR LESS )	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.		
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.		
8'-0"	4' ( OR LESS )	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.		
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.		
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.		
8'-8"	4' ( OR LESS )	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.		
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.		
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.		
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.		
9'-4"	4' ( OR LESS )	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.		
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.		
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.		
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.		
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.		
	4' ( OR LESS )	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.		
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.		
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.		

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

#5 @ 48" O.C.

#6 @ 48" O.C

#6 @ 40" O.C.

10'-0"

CONCRETE SLAB IS PERMITTED.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A. B AND C. AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO. D1 AND D2 c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE

#6 @ 48" O.C.

#6 @ 32" O.C

#6 @ 24" O.C

#6 @ 16" O.C

#6 @ 32" O.C.

#6 @ 24" O.C.

#6 @ 16" O.C.

#6 @ 16" O.C

CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES. d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

c. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

## TABLE R404.1.1(3)

	10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES a, c, f								
			1 VERTICAL REINFORCEMENT AND						
			SOIL CLASSES AND LATERAL SOIL LOAD d ( psf PER FOOT BELOW GRADE )						
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>©</sup>	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60					
6'-8"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.					
7'-4"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.					
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.					
8'-0"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.					
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.					
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.					
8'-8"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.					
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.					
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.					
9'-4"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.					
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.					
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.					
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.					
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.					
10'-0"	4' ( OR LESS ) 5' 6' 7' 8' 9'	#4 @ 56" O.C. #4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 24" O.C. #6 @ 24" O.C.					

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

c. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

## TABLE R404.1.1(4)

	12-INC	MASONRY FOUNDATION W	ALLS WITH REINFORCING WHERE	d > 8.75 INCHES <sup>a, c, f</sup>					
		MINIMUM VERTICAL REINFORCEMENT AND SPACING ( INCHES ) <sup>b, c</sup>							
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> ( psf PER FOOT BELOW GRADE )							
WALL HEIGHT	HEIGHT OF Unbalanced Backfill <sup>©</sup>			SC, MH, ML-CL AND INORGANIC CL SOIL					
6'-8"	4' ( OR LESS )	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.					
7'-4"	4' ( OR LESS )	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.					
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.					
8'-0"	4' ( OR LESS )	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.					
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.					
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.					
8'-8"	4' ( OR LESS )	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.					
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.					
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.					
9'-4"	4' ( OR LESS )	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.					
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.					
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.					
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.					
10'-0"	4' ( OR LESS )	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.					
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.					
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.					

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND. b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN

CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2. c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

#6 @ 72" O.C.

#6 @ 56" O.C.

#6 @ 48" O.C.

#6 @ 40" O.C.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1. g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE

TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOLINDATION IIIALL OR THE INTERIOR FINISH GROUND LEVEL HIHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

#5 @ 72" O.C.

#6 @ 72" O.C.

## TABLE R404.1.2(8)

			MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS b, c, d, e, f, h, i, k, n, o										
		MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches)											
		SOIL CLASSES AND DESIGN LATERAL SOIL ( psf PER FOOT OF DEPTH )											
MAXIMUM	MAXIMUM UNBALANCED BACKFILL	GW, GP, SW, AND SP 30				GM	, GS, SM-S0 45	C AND ML		SC, MH, M	L-CL AND II 60	NORGANIC	CL
WALL HEIGHT	HEIGHT <sup>9</sup>		MIMIMUM WALL THICKNESS ( INCHES )										
( FEET )	( FEET )	6	8	10	12	6	8	10	12	6	8	10	12
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
5	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR <sup>1</sup>	NR	NR	#4 @ 35"	NR <sup>1</sup>	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
_ [	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
7	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR <sup>1</sup>	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR <sup>1</sup>	NR	#6@34"	#6 @ 48"	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@38"	NR <sup>1</sup>	NR	NR	#5 @ 43"	NR	NR	NR
8	6	#4@37"	NR 1	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR <sup>1</sup>	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR <sup>1</sup>	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR <sup>1</sup>	NR	#6@34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6@44"	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@35"	NR <sup>1</sup>	NR	NR	#5 @ 40"	NR	NR	NR
9	6	#4@34"	NR <sup>1</sup>	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR <sup>1</sup>	NR
	7	#5 @ 36"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR <sup>1</sup>
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR <sup>1</sup>	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4@4
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6@41"	NR	#6@19"	#6 @ 23"	#6 @ 30"	#6@3
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@33"	NR <sup>1</sup>	NR	NR	#5 @ 38"	NR	NR	NR
10	6	#5 @ 48"	NR <sup>1</sup>	NR	NR	#6 @ 45"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6@34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR <sup>1</sup>
[	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6@34"	#6 @ 47"	NR <sup>1</sup>	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6@4
	9	#6 @ 34"	#6 @ 41"	#4@48"	NR <sup>1</sup>	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48" <sup>n</sup>	DR	#6@22"	#6 @ 27"	#6@3
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR <sup>j</sup>	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6@2

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE

ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING. h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL

SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH. i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT

MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS. j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

I. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI. n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

## TABLE R 402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA		
	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.			
GENERAL REQUIREMENTS	THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.		
	BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.			
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.		
	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	SOFFII SHALL DE ALIONED WITH THE AIR BARRIER.		
	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL		
WALLS	THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED.	RESISTANCE OF R-3 PER INCH MINIMUM.  EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED		
	KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.		
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.			
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.		
FLOORS ( INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS )	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.		
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.		
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.			
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.		
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.			
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.		
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.		
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.		
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.			
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.			
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.			

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A

## R401.4.1 GEOTECHNICAL EVALUATION. IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1

## TABLE R401.4.1 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

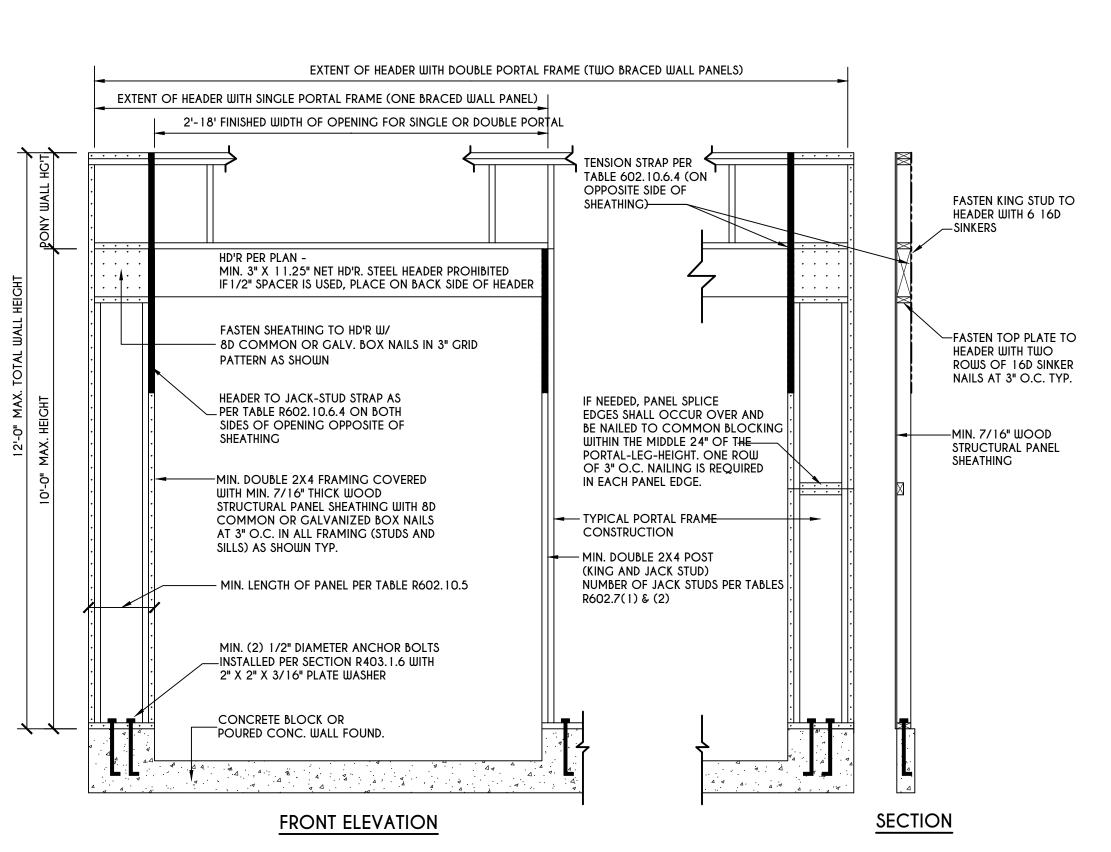
CLASS OF MATERIALS	LOAD-BEARING PRESSURE ( pounds per square foot )
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 b

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

## UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED	SOIL CLASSIFIC		
UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL			
GM	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES		
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES		
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES		
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES		
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES		
SM	SILTY SAND, SAND-SILT MIXTURES		
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES		
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES		
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY		
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS		
СН	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS		
МН	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS		
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY		
ОН	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS		
PT	PEAT & OTHER HIGHLY ORGANIC SOILS		



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C SCALE: N.T.S.

**COPYRIGHT NOTICE:** THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW,

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

ARTICLE 145, SECTION 7209

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

www.greaterliving.com

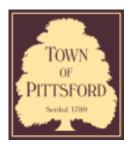
CLIENT/LOCATION: SPEC HOUSE LOT 84 COVENTRY RIDGE PITTSFORD, NY

**COVENTRY RIDGE** BUILDING CORP.

REINFORCING NOTES

GLA PLAN 2926

checked: drawn: CDK CSB scale: 7 / 23 AS NOTED PROJECT: sheet: 15420G



## **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000087

Phone: 585-248-6250 FAX: 585-248-6262

#### **DESIGN REVIEW AND HISTORIC PRESERVATION BOARD** REFERRAL OF APPLICATION

Property Address: 59 Coventry Ridge ,

**Tax ID Number:** 177.04-1-40

**Zoning District:** 

Owner:

**Applicant: Spall Homes** 

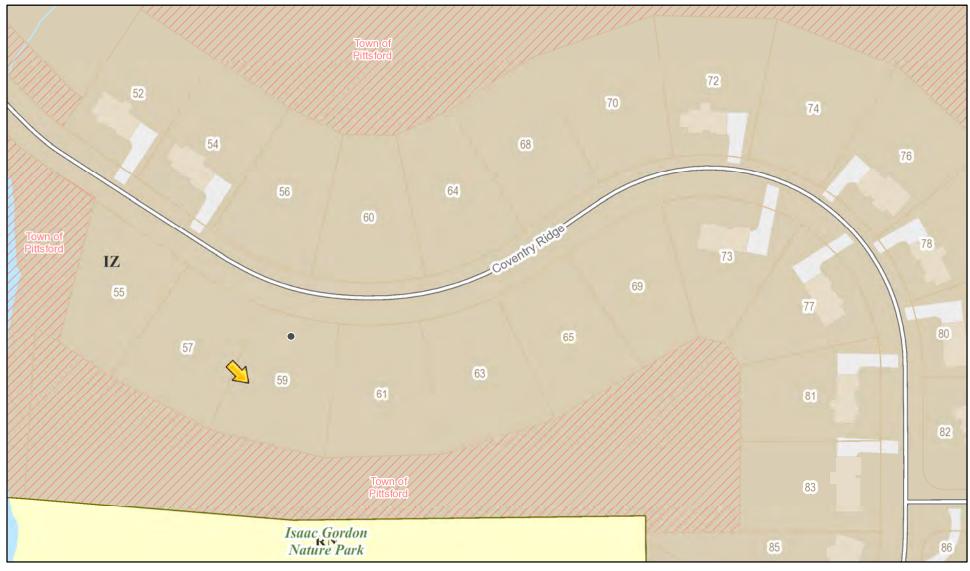
#### Application Type:

application Type.	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

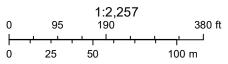
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 3760 square feet of livable area and is located in the Coventry Ridge Subdivision.

Meeting Date: August 10, 2023

## RN Residential Neighborhood Zoning



Printed July 20, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





## **GENERAL NOTES:**

EXIT REQUIREMENTS.

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE ( RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE ( ECCCNYS ).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE.

ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING

SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 150 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G242O.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

## **ENERGY EFFICIENCY:**

EXPANSION AND CONTRACTION.

R401.3 CERTIFICATE ( MANDATORY ) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

## DURING TESTIN

- 1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).

THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5

OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F

SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).
HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE

MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE

APPLIED TO THE FOLLOWING:

- 1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DWELLING UNIT.
   PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- 5. PIPING LOCATED UNDER A FLOOR SLAB.
- 7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.
MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING ( MANDATORY ). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT ( MANDATORY ) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

## SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

# SPEC HOME

LOT 85 COVENTRY RIDGE PITTSFORD, NY COVENTRY RIDGE BUILDING CORP.

# PLAN 3761 / PROJECT 15346 F

## SHEET INDEX

C-1 COVER SHEET

1/6 FRONT & REAR ELEVATIONS

2/6 SIDE ELEVATIONS & SECTIONS

3/6 FOUNDATION PLAN

4/6 FIRST FLOOR PLAN

5/6 SECOND FLOOR & ROOF PLAN

6/6 SECTIONS

N-1 DETAILS

N-2 REINFORCING NOTES

## **FOUNDATION:**

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON ( ORIGINAL ) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2"

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

## FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

## FRAMING:

WILL BE CAUSE FOR REJECTION.

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR

ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION.
EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS
COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

## STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

## GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

## STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL

ASTM A-36, Fy = 36 ksi

REINFORCED STEEL

ASTM A-615, Fy = 40 ksi

WIRE MESH

ASTM A-185, 6 x 6 - 10/10 W.W.M.

LUMBER

ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC.

TO BE #2 GRADE LUMBER ( DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR ) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE

CDX, PANEL INDEX

Fb = 2600

Fv = 285

E x 10° - 1.9

MASONRY ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR ASTM C270, TYPE S

GROUT Fc = 2000 PSI ASTM C476

CONCRETE

Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB)

Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)

BOLTS ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

PLYWOOD

LVL, PSL, LSL

1ST FLOOR
LIVING AREA LIVE LOAD

2ND FLOOR
LIVING AREA LIVE LOAD

1ST & 2ND FLOOR DEAD LOAD

1ST & 2ND FLOOR DEAD LOAD

40 P.S.F.

GROUND SNOW LOAD

40 P.S.F.

ROOF DEAD LOAD 10 P.S.F.

ALLOWABLE SOIL BEARING 2500 P.S.F. AT MINIMUM

WIND SPEED 115 MPH, EXPOSURE B
SEISMIC DESIGN CATEGORY B

WEATHERING SEVERE
FROST LINE DEPTH 42 INCHES
TERMITE DAMAGE SLIGHT TO MODERATE

DECAY DAMAGE

WINTER DESIGN TEMPERATURE 1 DEGREE

ICE SHEILD UNDERLAYMENT REQUIRED 24" INSIDE OF EXTERIOR WALL LINE

FLOOD HAZARD FIRM - 2008

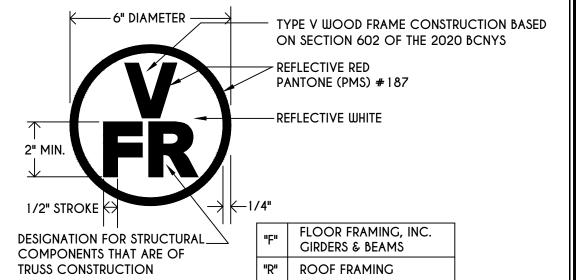
ROOF TIE DOWN REQUIREMENTS

R802.11, BASED UPON SPECIFIC ROOF DESIGN

## TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

NONE TO SLIGHT



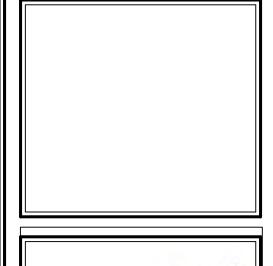
"FR" | FLOOR & ROOF FRAMING

COPYRIGHT NOTICE:

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITION TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.





3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVISIONS:

DATE BY DESCRIPTION

CLIENT/LOCATION:

SPEC HOME LOT 85 COVENTRY RIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE

BUILDING CORP.

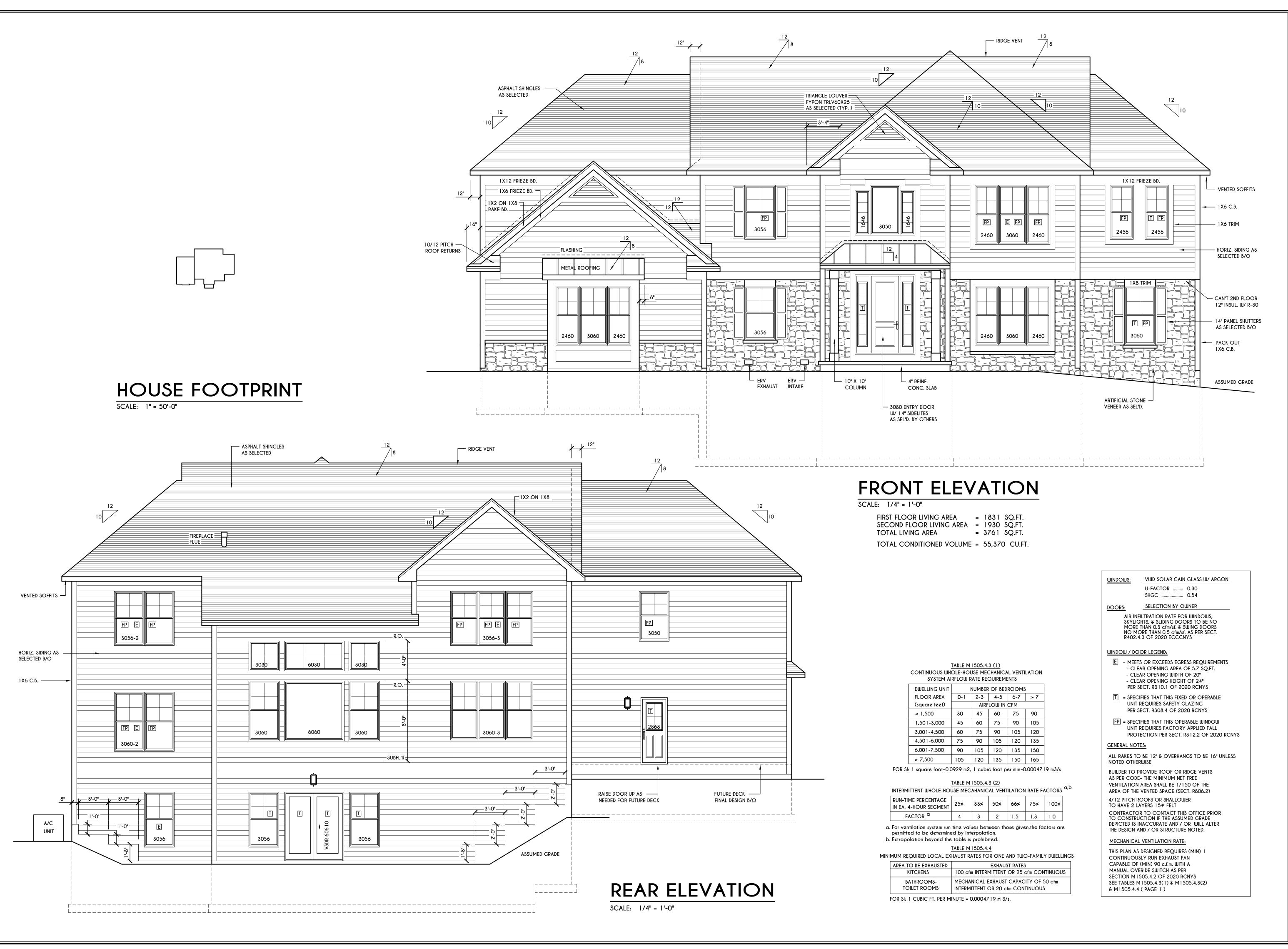
**COVER PAGE** 

GLA PLAN 3761

drawn: checked: CSB

scale: date: AS NOTED 7 / 23

PROJECT: sheet: C



COPYRIGHT NOTICE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS
TO THIS PLAN IS A VIOLATION OF THE
NEW YORK STATE EDUCATION LAW,
ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVISIONS:			$\neg$
DATE	BY	DESCRIPTION	

CLIENT/LOCATION:

SPEC HOME LOT 85 COVENTRY RIDGE PITTSFORD, NY

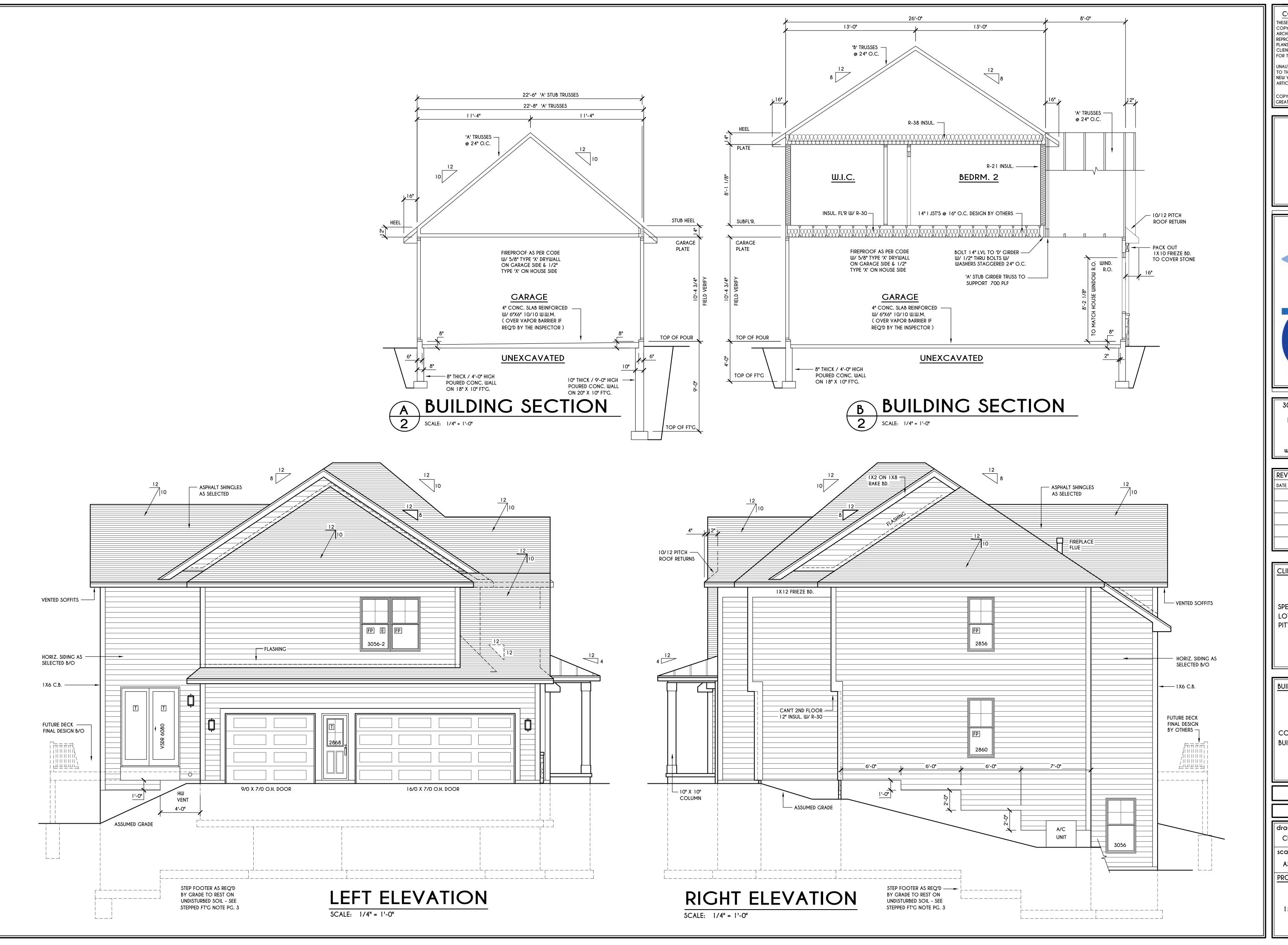
BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

GLA PLAN 3761

	<del></del>		
drawn: CDK	checked:		
scale: AS NOTED	date: 7 / 23		
PROJECT:	sheet:		
15346F	6		



COPYRIGHT NOTICE:

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED

ARCHITECTURE. ANY UNAUTHORIZED
REPRODUCTION OR MODIFICATION OF THESE
PLANS IS A VIOLATION OF COPYRIGHT LAWS.
CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE
FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

ng Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

www.greaterliving.com

REVIS	IONS:	
DATE	ВҮ	DESCRIPTION

## CLIENT/LOCATION

SPEC HOME LOT 85 COVENTRY RIDGE PITTSFORD, NY

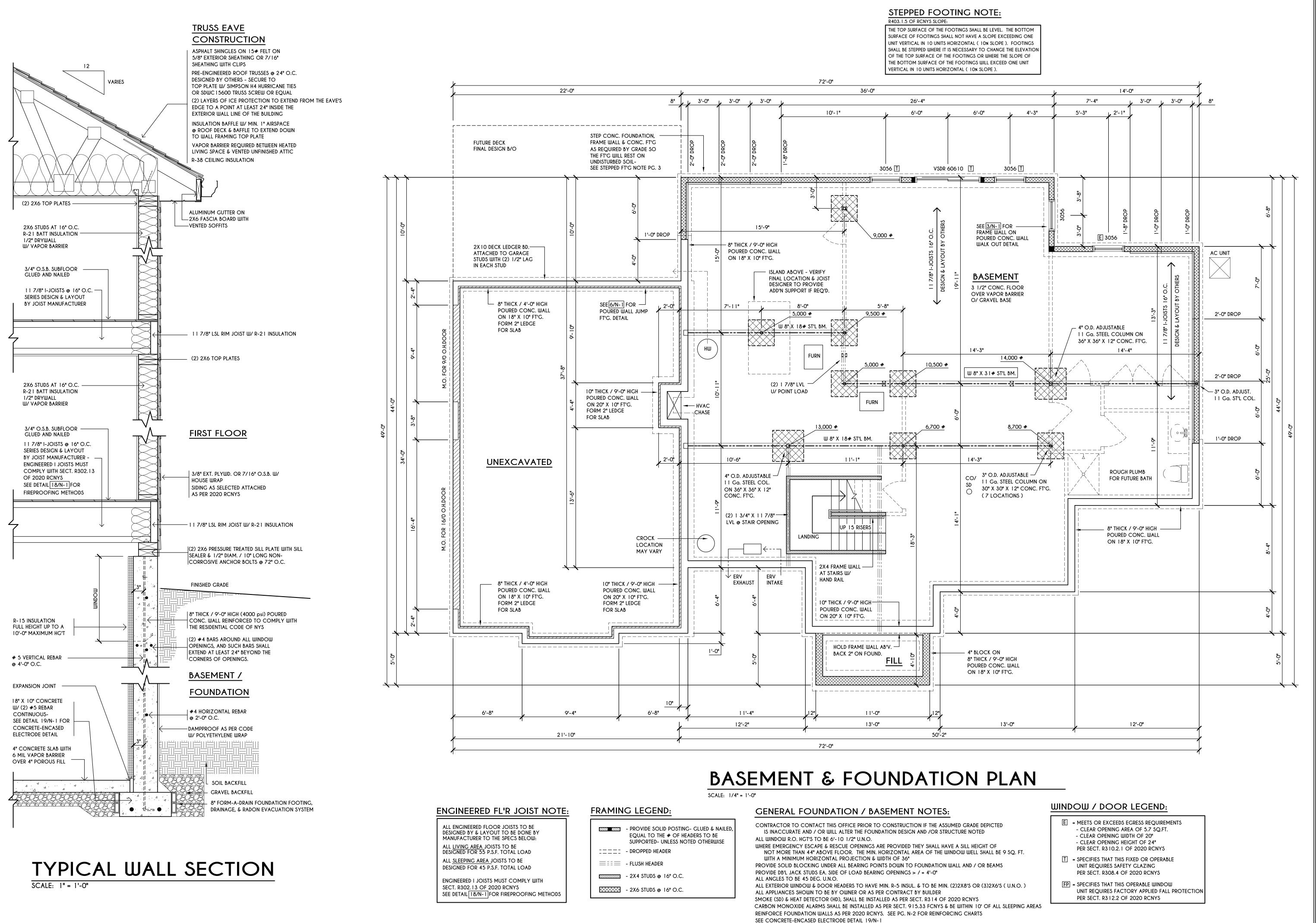
BUILDER:

COVENTRY RIDGE BUILDING CORP.

**ELEVATIONS** 

GI A	PLAN	3761
	1 [ / \ 1 ]	0.0

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	7 / 23
PROJECT:	sheet:
	2/



COPYRIGHT NOTICE THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED

REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262 www.greaterliving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME LOT 85 COVENTRY RIDGE PITTSFORD, NY

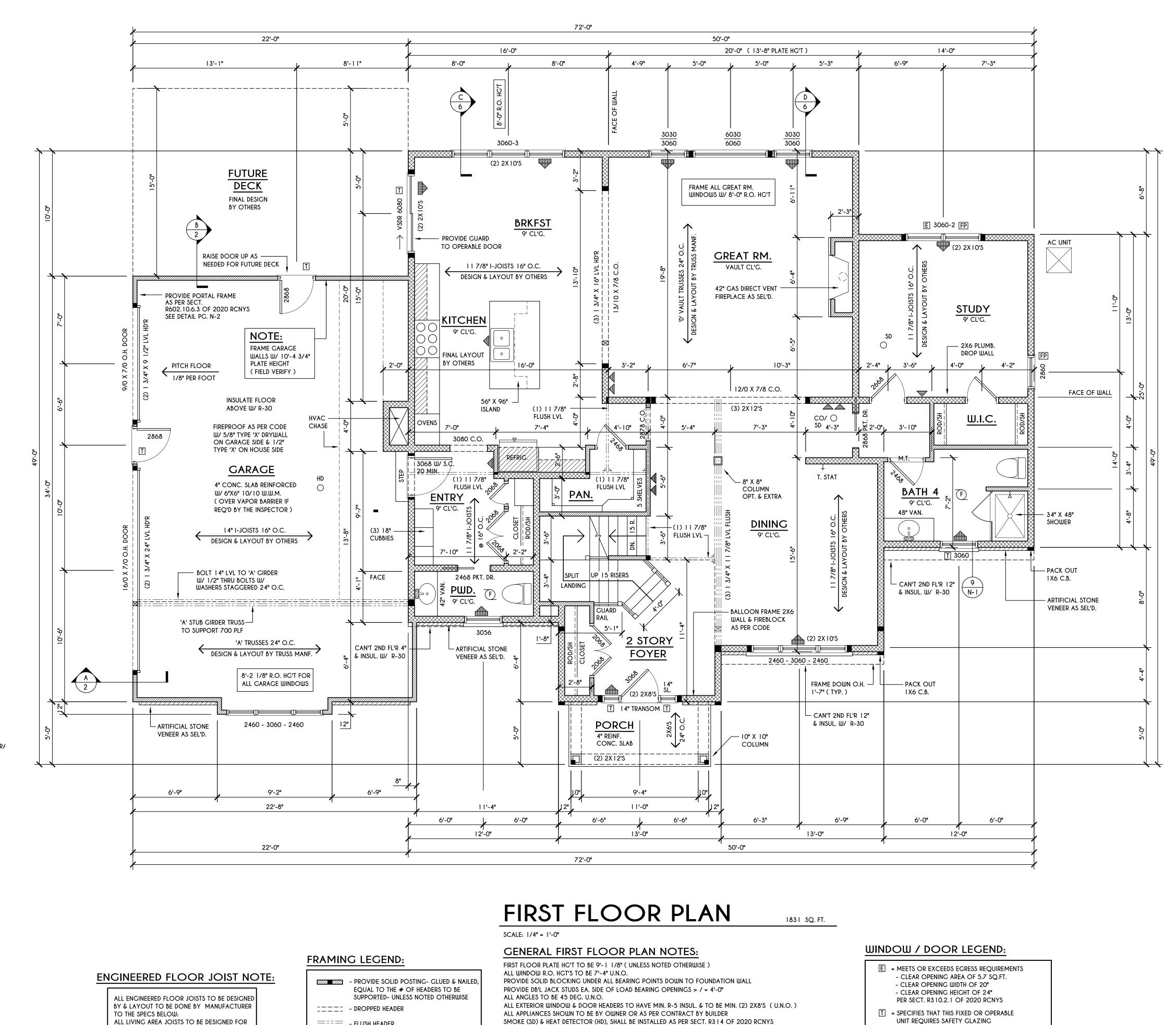
**BUILDER:** 

COVENTRY RIDGE BUILDING CORP.

FOUNDATION PLAN

GLA PLAI	N 3761
rawn:	checked:
CDK	CSB
cale:	date:

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	7 / 23
PROJECT:	sheet:
	3 /
15346F	



15 EQUAL RISERS TREADS AT 9.0"

BALCONY + 1 1/8" NOSING UARD RAIL (3) 11 7/8" <sup>\_\_</sup> LVL FLUSH **FOYER** LANDING 8" X 8" COLUMN OPT. & EXTR/ - (2) 11 *7/*8" LVL FLUSH LANDING 15 EQUAL RISERS TREADS AT 9.0" + 1 1/8" NOSING

STAIR SECTION SCALE: 1/4" = 1'-0"

> ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL <u>SLEEPING AREA J</u>OISTS TO BE DESIGNED

FOR 45 P.S.F. TOTAL LOAD

==== - FLUSH HEADER - 2X4 STUDS @ 16" O.C.

- 2X6 STUDS @ 16" O.C.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

COPYRIGHT NOTICE : THESE PLANS ARE PROTECTED UNDER FEDERA COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170

www.greaterliving.com

FAX: (585) 292-1262

١.				
	REVISIONS:			
	DATE	BY	DESCRIPTION	

CLIENT/LOCATION:

SPEC HOME LOT 85 COVENTRY RIDGE PITTSFORD, NY

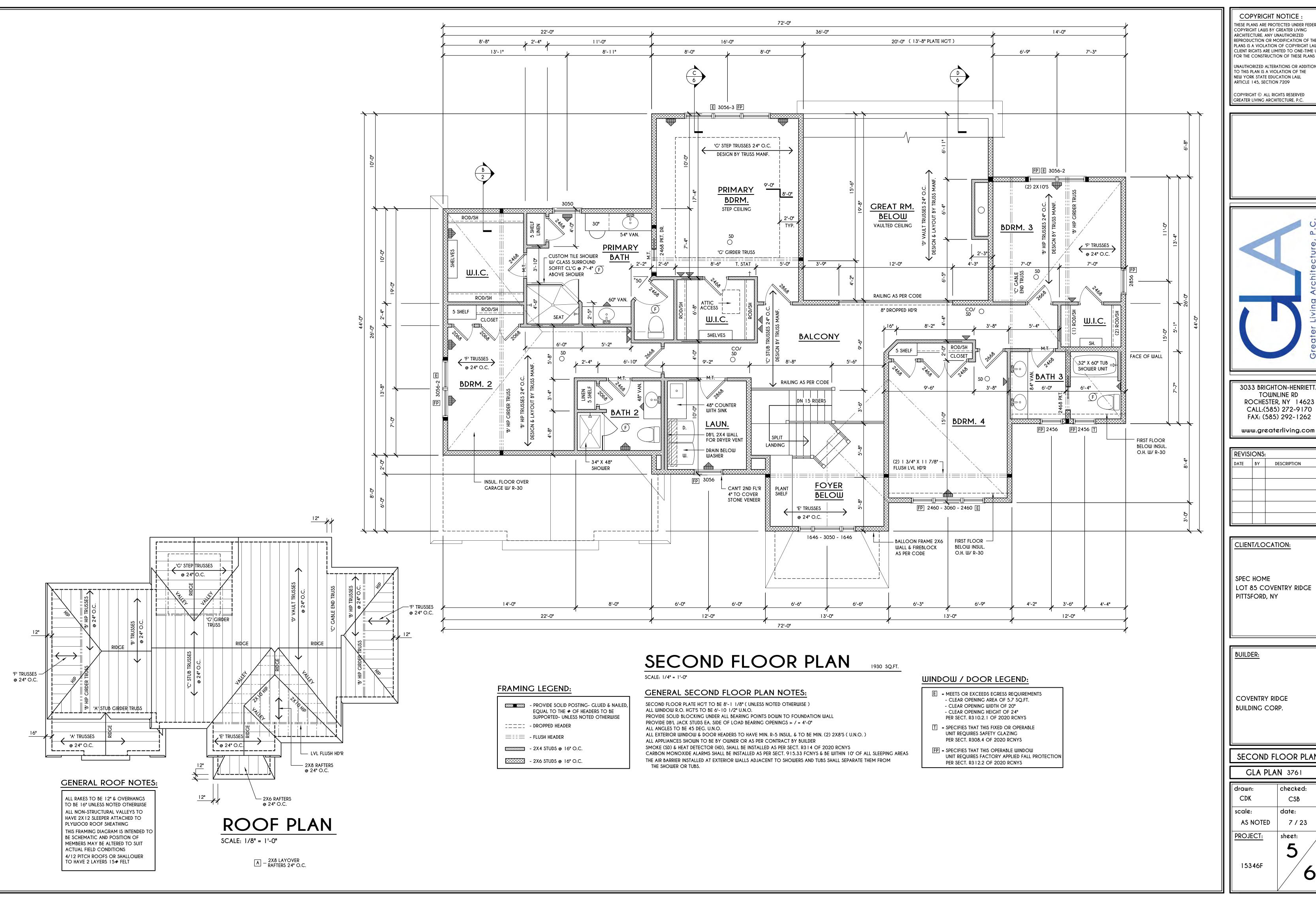
BUILDER:

COVENTRY RIDGE BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3761

1		<b>92</b> 7(12)((1 0) 0)			
1	lì				
		drawn:	checked:		
		CDK	CSB		
		scale:	date:		
		AS NOTED	7 / 23		
		PROJECT:	sheet:		
			4 /		
		15346F	6		



**COPYRIGHT NOTICE:** 

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

REVISIONS: DATE BY DESCRIPTION

CLIENT/LOCATION:

SPEC HOME LOT 85 COVENTRY RIDGE PITTSFORD, NY

**BUILDER:** 

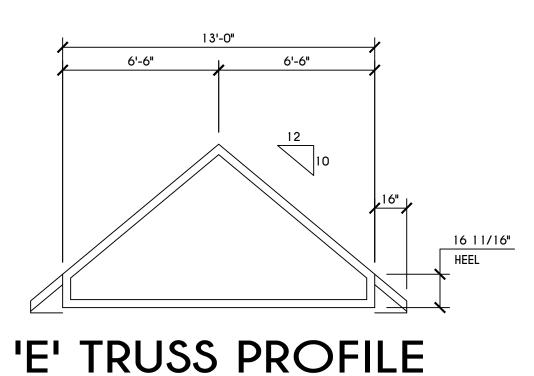
COVENTRY RIDGE

BUILDING CORP.

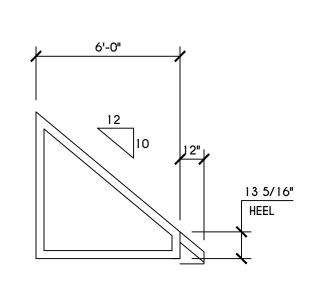
SECOND FLOOR PLAN

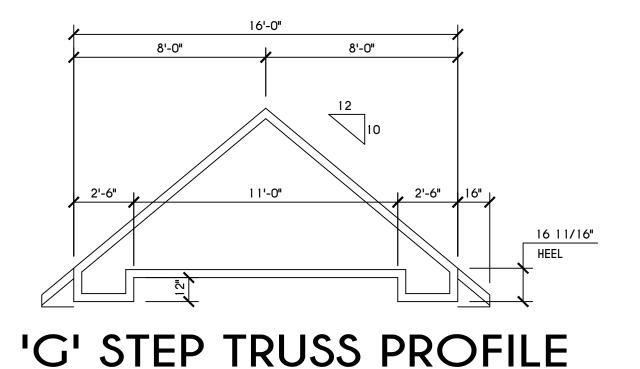
GLA PLAN 3761

checked: CSB AS NOTED 7 / 23 PROJECT: sheet: 15346F



SCALE: 1/4" = 1'-0"





## TRUSS NOTES:

TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONISBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER

'F' TRUSS PROFILE

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

COPYRIGHT NOTICE

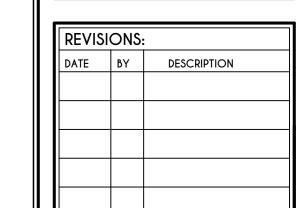
COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS.
CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

THESE PLANS ARE PROTECTED UNDER FEDERAL

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

www.greaterliving.com



CLIENT/LOCATION:

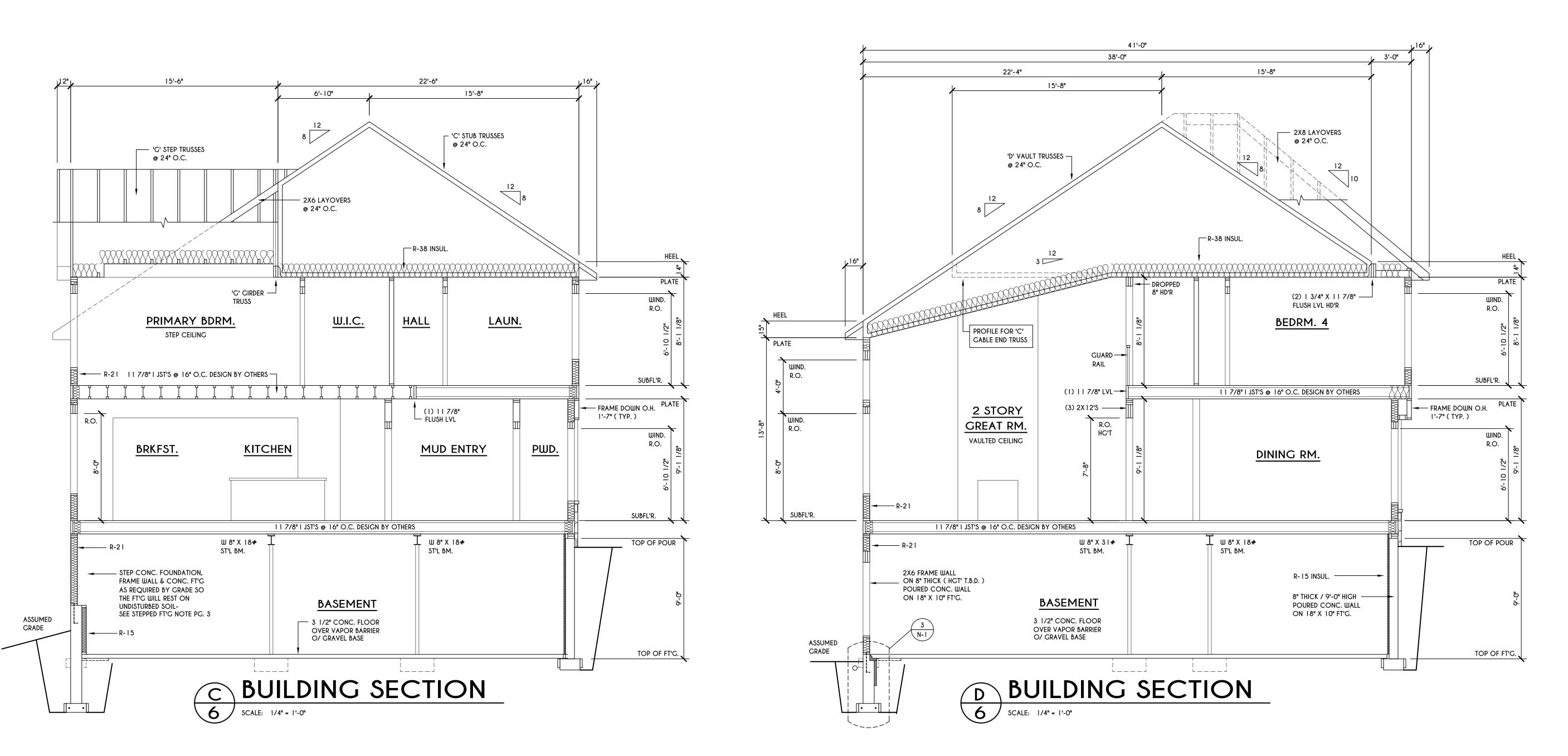
SPEC HOME LOT 85 COVENTRY RIDGE PITTSFORD, NY

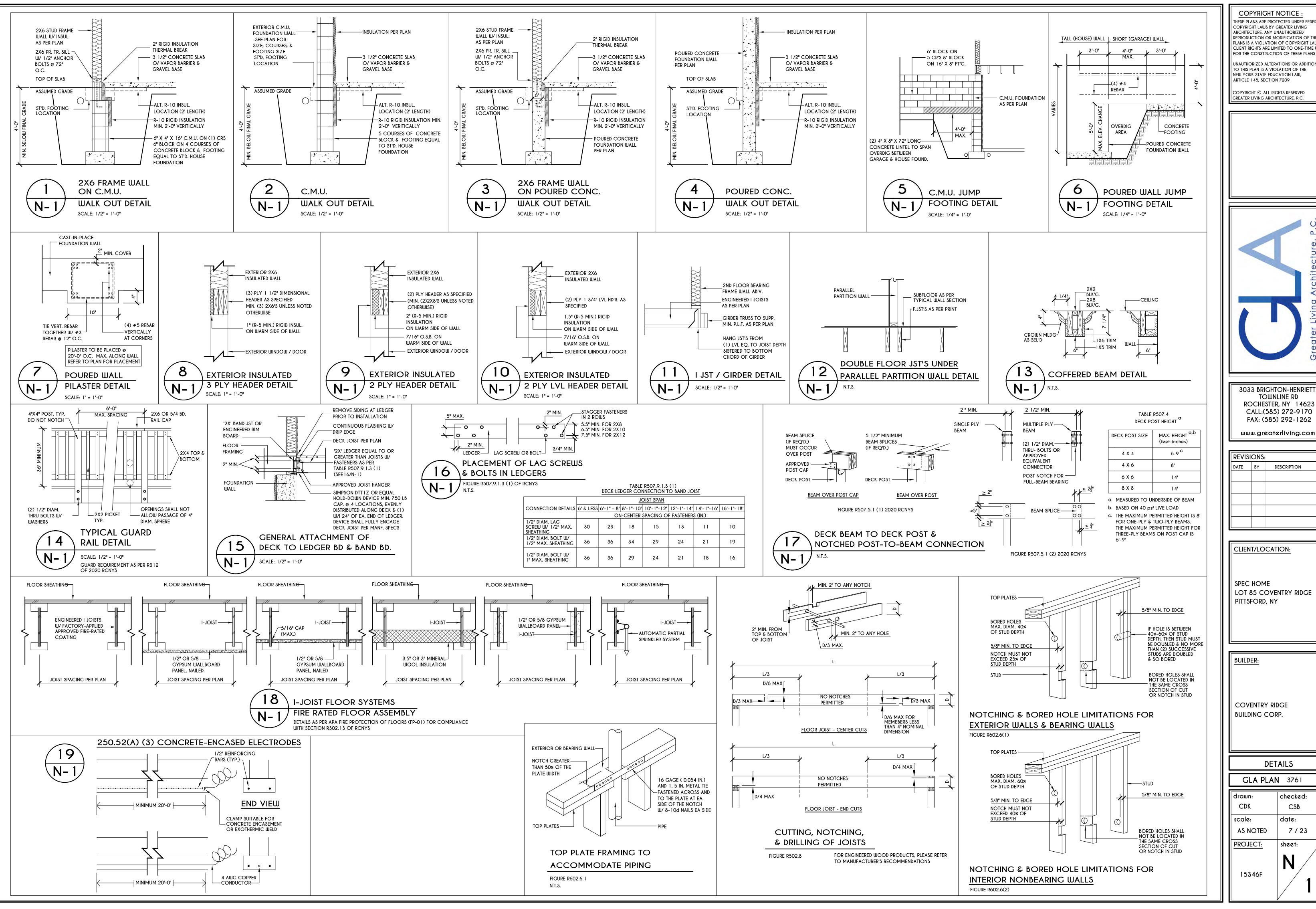
BUILDER:

COVENTRY RIDGE BUILDING CORP.

**SECTIONS** 

GLA PLAI	N 3761
drawn: CDK	checked: CSB
scale: AS NOTED	date: 7 / 23





**COPYRIGHT NOTICE** THESE PLANS ARE PROTECTED UNDER FEDERA COPYRIGHT LAUIS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED PLANS IS A VIOLATION OF COPYRIGHT LAWS CLIENT RIGHTS ARE LIMITED TO ONE-TIME US

O THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

REVISIONS: DATE BY DESCRIPTION

CLIENT/LOCATION:

LOT 85 COVENTRY RIDGE PITTSFORD, NY

BUILDER:

**COVENTRY RIDGE** BUILDING CORP.

**DETAILS** 

GLA PLAN 3761

checked: CSB date: **AS NOTED** 7 / 23 PROJECT: sheet: 15346F

## TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES a, c, fMINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) b, c SOIL CLASSES AND LATERAL SOIL LOAD d ( psf PER FOOT BELOW GRADE ) GW, GP, SW, AND SP SOILS GM, GS, SM-SC AND ML SOILS SC, MH, ML-CL AND INORGANIC CL SOILS WALL HEIGHT BACKFILL® #4 @ 48" O.C. 4' ( OR LESS ) #4 @ 48" O.C. 6'-8" #4 @ 48" O.0 #4 @ 48" O.0 #4 @ 48" O. 6'-8" #6 @ 48" O.C. #4 @ 48" O.C #5 @ 48" O.0 4' ( OR LESS #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C. 7'-4" #5 @ 48" O.C #5 @ 48" O.C #5 @ 48" O.C #6 @ 40" O.C. 4' ( OR LESS ) #4 @ 48" O.C. 8'-0" #4 @ 48" O.C. #5 @ 48" O.C. #5 @ 48" O.C. #5 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C. 4' ( OR LESS ) #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C. #5 @ 48" O.C. #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C #6 @ 48" O.C #5 @ 48" O.C #6 @ 48" O.C #6 @ 40" O.C. 8'-8" 4' ( OR LESS #4 @ 48" O.C #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #5 @ 48" O.C. #4 @ 48" O.C. #5 @ 48" O.C. #6 @ 48" O.C. 9'-4" #5 @ 48" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 48" O.C #6 @ 40" O.C #6 @ 24" O.C. #6 @ 16" O.C. 4' ( OR LESS #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

10'-0"

#4 @ 48" O.C

#4 @ 48" O.0

#5 @ 48" O.C

#6 @ 48" O.C

#6 @ 40" O.C.

#6 @ 32" O.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D 1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE

#4 @ 48" O.C

#5 @ 48" O.C

#6 @ 48" O.C

#6 @ 32" O.C

#6 @ 24" O.C

#6 @ 16" O.C

#5 @ 48" O.C.

#6 @ 48" O.0

#6 @ 32" O.C.

#6 @ 24" O.C.

#6 @ 16" O.C.

#6 @ 16" O.C

CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

©. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

## TABLE R404.1.1(3)

	10-INC	H MASONRY FOUNDATION W.	ALLS WITH REINFORCING WHERE	d > 6.75 INCHES <sup>a, c</sup> , f			
		MINIMUM VERTICAL REINFORCEMENT AND SPACING ( INCHES ) b, c					
		SOIL CLASSES AND LATERAL SOIL LOAD <sup>d</sup> ( psf PER FOOT BELOW GRADE )					
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>©</sup>	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60			
6'-8"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.			
7'-4"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.			
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.			
8'-0"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.			
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.			
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.			
8'-8"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.			
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.			
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.			
9'-4"	4' ( OR LESS )	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.			
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.			
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.			
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.			
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.			
10'-0"	4' ( OR LESS ) 5' 6' 7' 8' 9'	#4 @ 56" O.C. #4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 24" O.C.			

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

## TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES <sup>Q, C, f</sup>

MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) <sup>b, c</sup>

		SOIL CLASSES AND LATERAL SOIL LOAD d ( psf PER FOOT BELOW GRADE )					
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL <sup>©</sup>	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60			
6'-8"	4' ( OR LESS ) 5' 6'-8"	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.			
7'-4"	4' ( OR LESS ) 5' 6' 7'-4"	#4@72" O.C. #4@72" O.C. #4@72" O.C. #4@72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C.			
8'-0"	4' ( OR LESS ) 5' 6' 7' 8'	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 64" O.C.			
8'-8"	4' ( OR LESS ) 5' 6' 7' 8'-8"	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #7 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 48" O.C.			
9'-4"	4' ( OR LESS ) 5' 6' 7' 8' 9'-4"	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 48" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 56" O.C. #6 @ 40" O.C.			
10'-0"	4' ( OR LESS ) 5' 6' 7' 8' 9'	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 64" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 72" O.C. #6 @ 56" O.C. #6 @ 40" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C.			

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN

CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

2. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE

TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

## TABLE R404.1.2(8)

						FOR 6-, 8-		NT-BAR SIZE		NG (inches			
				-	a	-		SOIL (ps			-		
	MAXIMUM UNBALANCED	Gl	IJ, GP, SW, <i>i</i>		<u>) L O</u>		, GS, SM-S0	•	IFERTOC		L-CL AND II	NORGANIC	CL
MAXIMUM	BACKFILL		30				45				60		
MALL HEIGHT	HEIGHT <sup>9</sup>			М		JM WALL TI	IICKNESS (	INCHES )			1		
( FEET )	( FEET )	6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Ĭ	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
Ĭ	5	NR	NR	NR	NR	NR	NR <sup>1</sup>	NR	NR	#4@35"	NR <sup>1</sup>	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
′ [	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR <sup>1</sup>	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR <sup>1</sup>	NR	#6 @ 34"	#6 @ 48"	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@38"	NR <sup>1</sup>	NR	NR	#5 @ 43"	NR	NR	NR
8	6	#4@37"	NR 1	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR <sup>1</sup>	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR <sup>1</sup>	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR <sup>1</sup>	NR	#6@34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@35"	NR <sup>1</sup>	NR	NR	#5 @ 40"	NR	NR	NR
9	6	#4@34"	NR <sup>1</sup>	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR <sup>1</sup>	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR <sup>1</sup>
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR <sup>1</sup>	#6@24"	#6 @ 29"	#6 @ 39"	#4 @ 48
	9	#6@34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6@19"	#6 @ 23"	#6 @ 30"	#6 @ 39
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@33"	NR <sup>1</sup>	NR	NR	#5 @ 38"	NR	NR	NR
10	6	#5 @ 48"	NR <sup>1</sup>	NR	NR	#6 @ 45"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6@34"	#6 @ 48"	NR	NR	#6@30"	#6 @ 35"	#6 @ 48"	NR <sup>1</sup>
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR <sup>1</sup>	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45
	9	#6 @ 34"	#6@41"	#4@48"	NR <sup>1</sup>	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @48" <sup>ff</sup>	DR	#6@22"	#6 @ 27"	#6 @ 34
ĺ	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR <sup>j</sup>	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI
c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE

ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMIN SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3.4 INCH. CONCRETE COVER FOR REINFORCEMENT

MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

K. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

I. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

#### O. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

# TABLE R 402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERI
	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.	
GENERAL REQUIREMENTS	THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
	BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING /
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL
WALLS	THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED.	RESISTANCE OF R-3 PER INCH MINIMUM.  EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED
	KNEE WALLS SHALL BE SEALED.	WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS ( INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS )	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

## a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

## R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

# R401.4.1 GEOTECHNICAL EVALUATION. IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

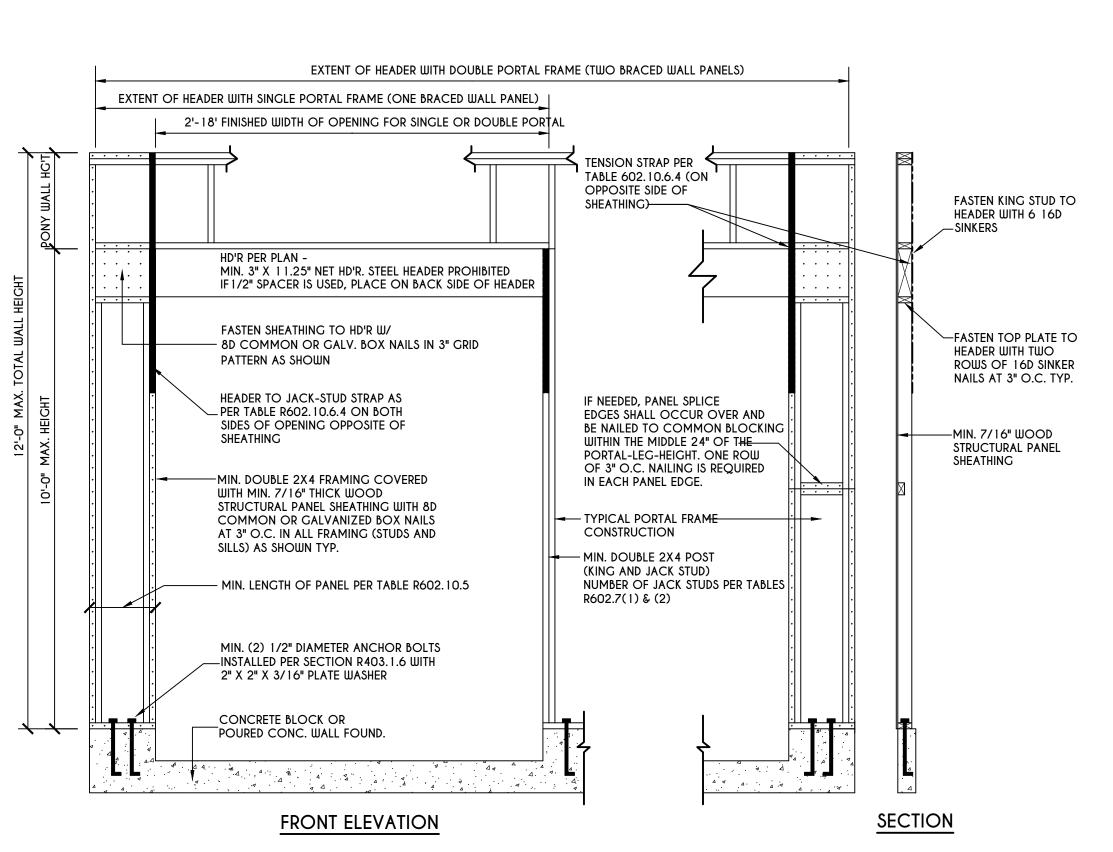
CLASS OF MATERIALS	LOAD-BEARING PRESSURE ( pounds per square foot )
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 <sup>b</sup>

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf are likely to be present at the site, the allowable bearing capacity shall be determined by a soils investigation.

## UNIFIED SOIL CLASSIFICATION SYSTEM

<u> </u>	
UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	
GШ	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
sc	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
СН	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
МН	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
ОН	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S. FIGURE R602.10.6.3

COPYRIGHT NOTICE:

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE

FOR THE CONSTRUCTION OF THESE PLANS

UNAUTHORIZED ALTERATIONS OR ADDITIONS
TO THIS PLAN IS A VIOLATION OF THE
NEW YORK STATE EDUCATION LAW,

COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE. P.C.

ARTICLE 145, SECTION 7209

Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD ROCHESTER, NY 14623 CALL:(585) 272-9170 FAX: (585) 292-1262

www.greaterliving.com

Ι,			
	REVISI	ONS:	
	DATE	BY	DESCRIPTION

SPEC HOME
LOT 85 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

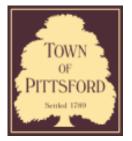
REINFORCING NOTES

GLA PLAN 3761

drawn: checked: CSB scale: date:
AS NOTED 7 / 23

PROJECT: sheet:

N



#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000088

Phone: 585-248-6250 FAX: 585-248-6262

#### **DESIGN REVIEW AND HISTORIC PRESERVATION BOARD** REFERRAL OF APPLICATION

Property Address: 4 Black Wood Circle PITTSFORD, NY 14534

**Tax ID Number:** 178.03-5-27

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC **Applicant: Pride Mark Homes** 

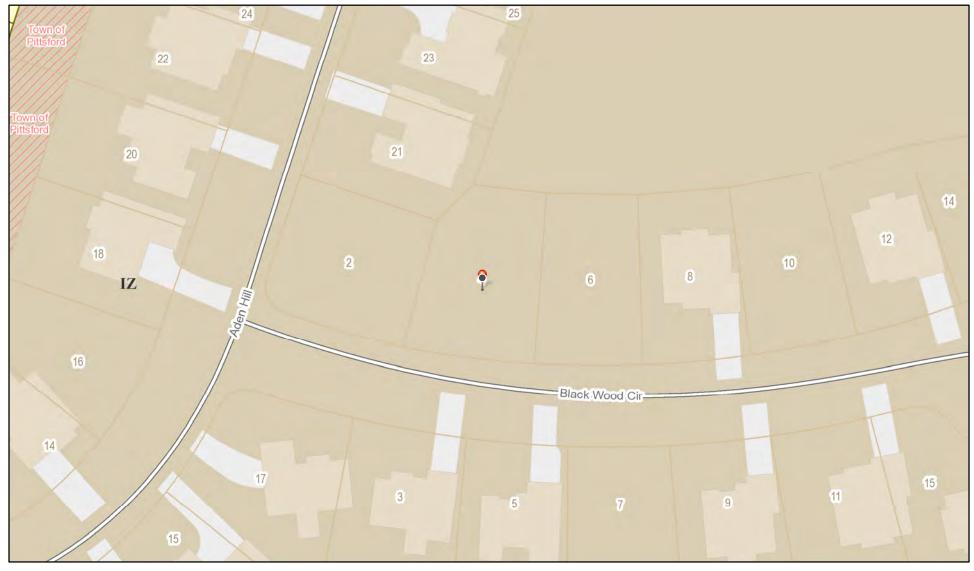
A	gg	lic	atio	n T	vpe:
---	----	-----	------	-----	------

application Type.	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

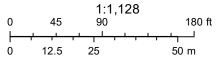
Project Description: Applicant is requesting design review for the construction of a one-story single family home. The home will have approximately 2827 square feet of livable area and is located in the Wilshire Hill Subdivision.

Meeting Date: August 10, 2023

## RN Residential Neighborhood Zoning

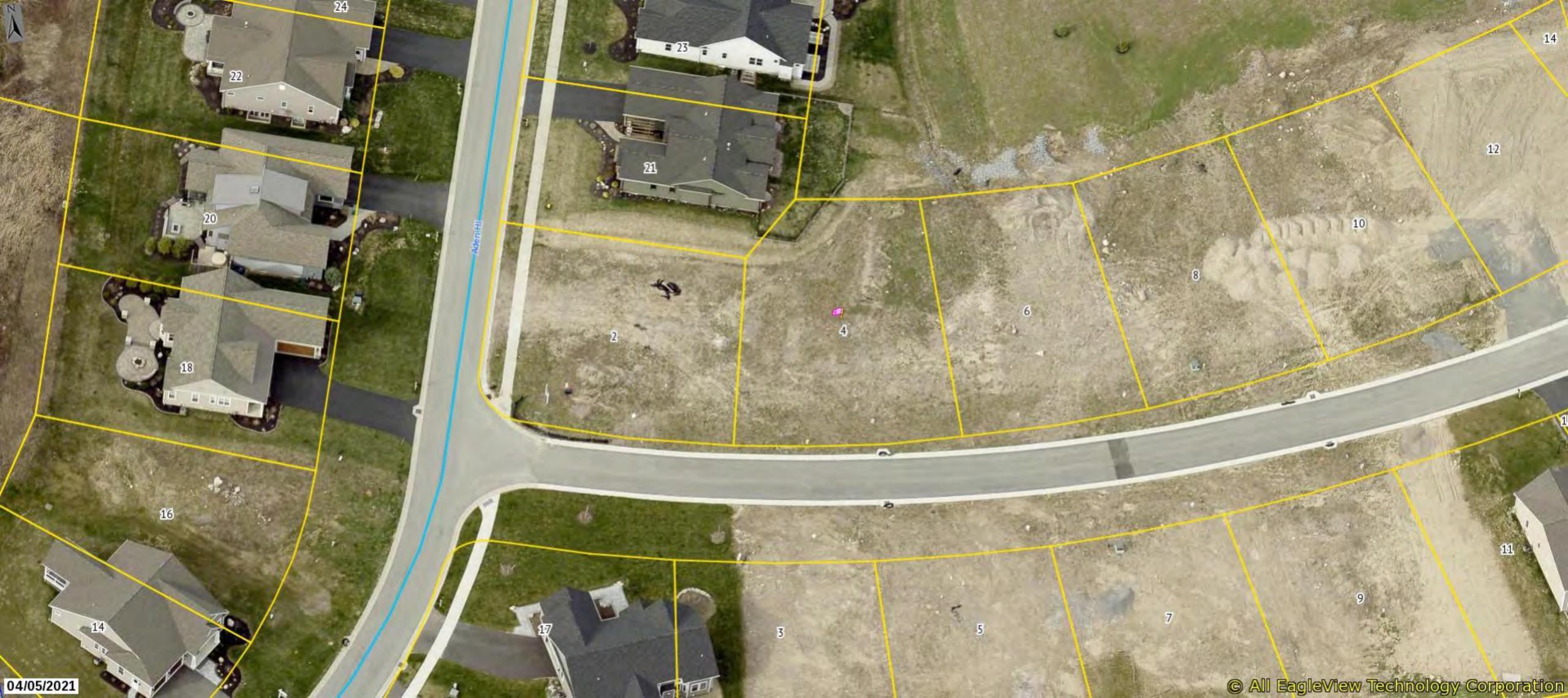


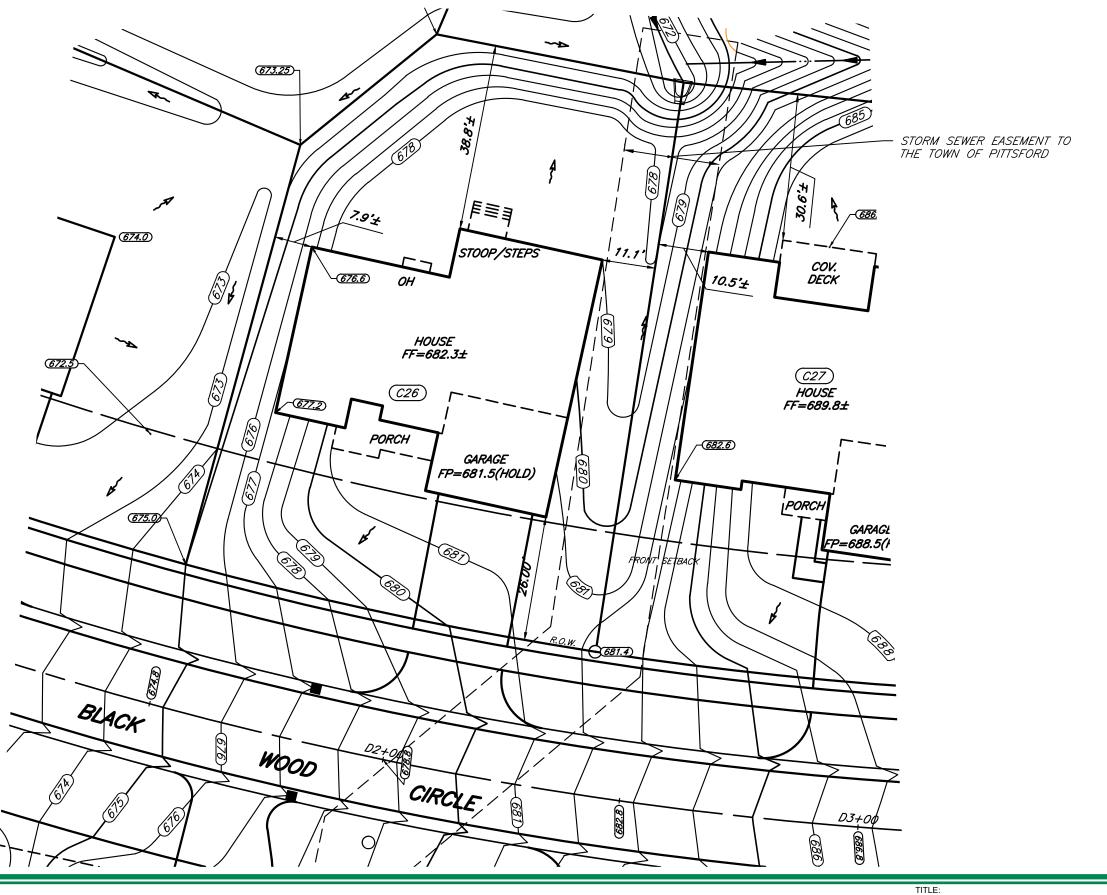
Printed July 20, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.







ROCHESTER LOCATION
3 P. CAS CADE DRIVE
ROCHESTER, NY 14614
5 8 5 - 4 5 8 - 7 7 7 0
1THACA LOCATION
840 HANSHAW RD, STE 12
1THACA, NY 14850
6 0 7 - 2 4 1 - 2 9 1 7

JOB NO: 0423-17 SCALE: 1" = 20' DRAWN: RJT DESIGNED: RJT DATE:

SETBACK REQUIRED PROVIDED FRONT 25' 26.00' SIDE 7.5' 7.9'± REAR 10' 38.8' ±

**PLOT PLAN - LOT C26** 

**WILSHIRE HILL - SECTION 3** 

# DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

IST \$ 2ND FLOOR LIVING AREA LIVE LOAD

40 PSF

SLEEPING AND ATTIC AREA LIVE LOAD

30 PSF

FLOOR DEAD LOAD

15 PSF

GROUND SNOW LOAD

40 PSF

10 PSF

ALLOWABLE SOIL BEARING
2500 PSF AT MINIMUM
42" BELOW FINISHED GRADE

WIND SPEED 115 MPH, EXPOSURE B

SEISMIC DESIGN

WEATHERING

SEVERE

FROST DEPTH LINE

42 INCHES

TERMITE DAMAGE

SLIGHT TO MODERATE

DECAY DAMAGE

NONE TO SLIGHT

WINTER DESIGN TEMPERATURE

I DEGREE

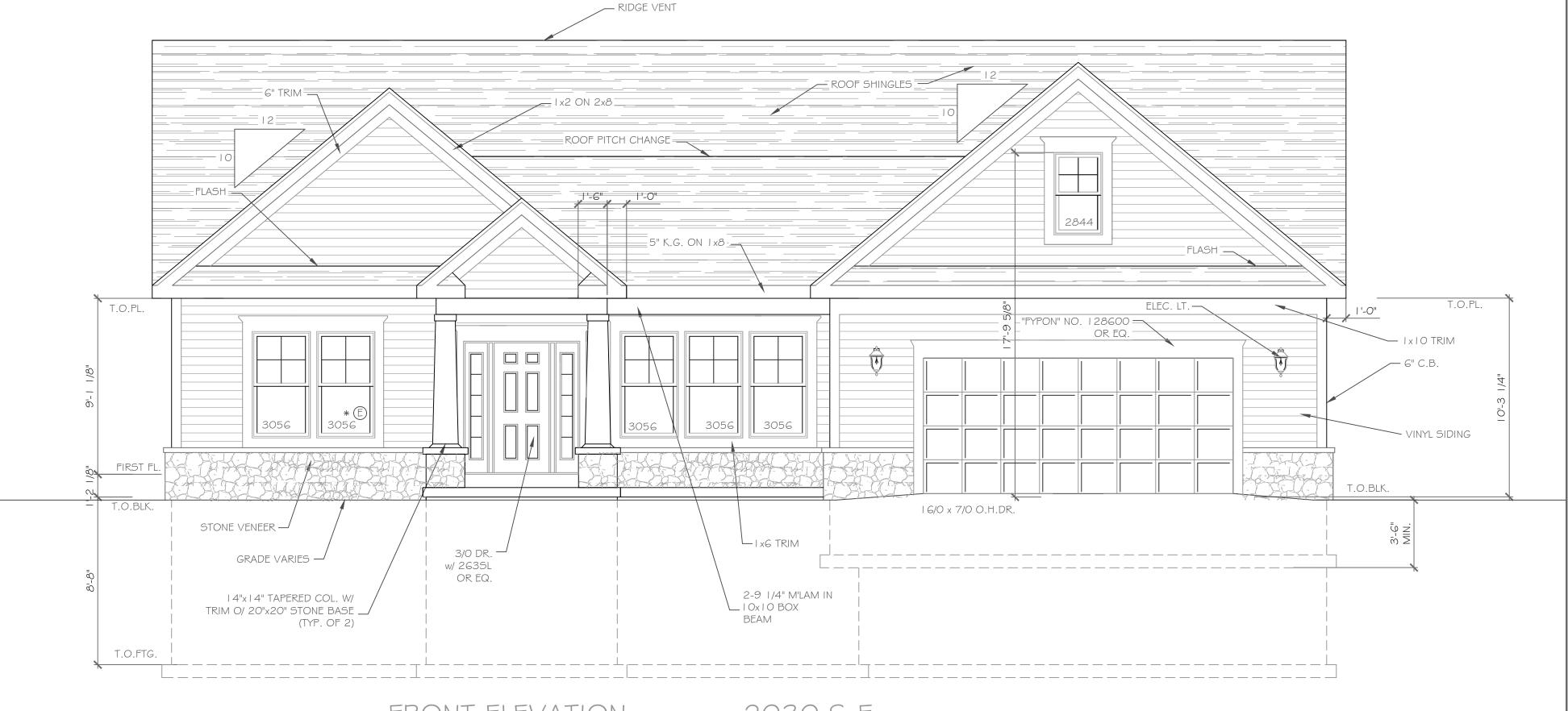
ICE SHIELD UNDERLAYMENT

REQUIRED 24" INSIDE OF
EXTERIOR WALL LINE

FLOOD HAZARD FIRM - 1992

ROOF TIE DOWN REQUIREMENTS

R802.1 I, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION

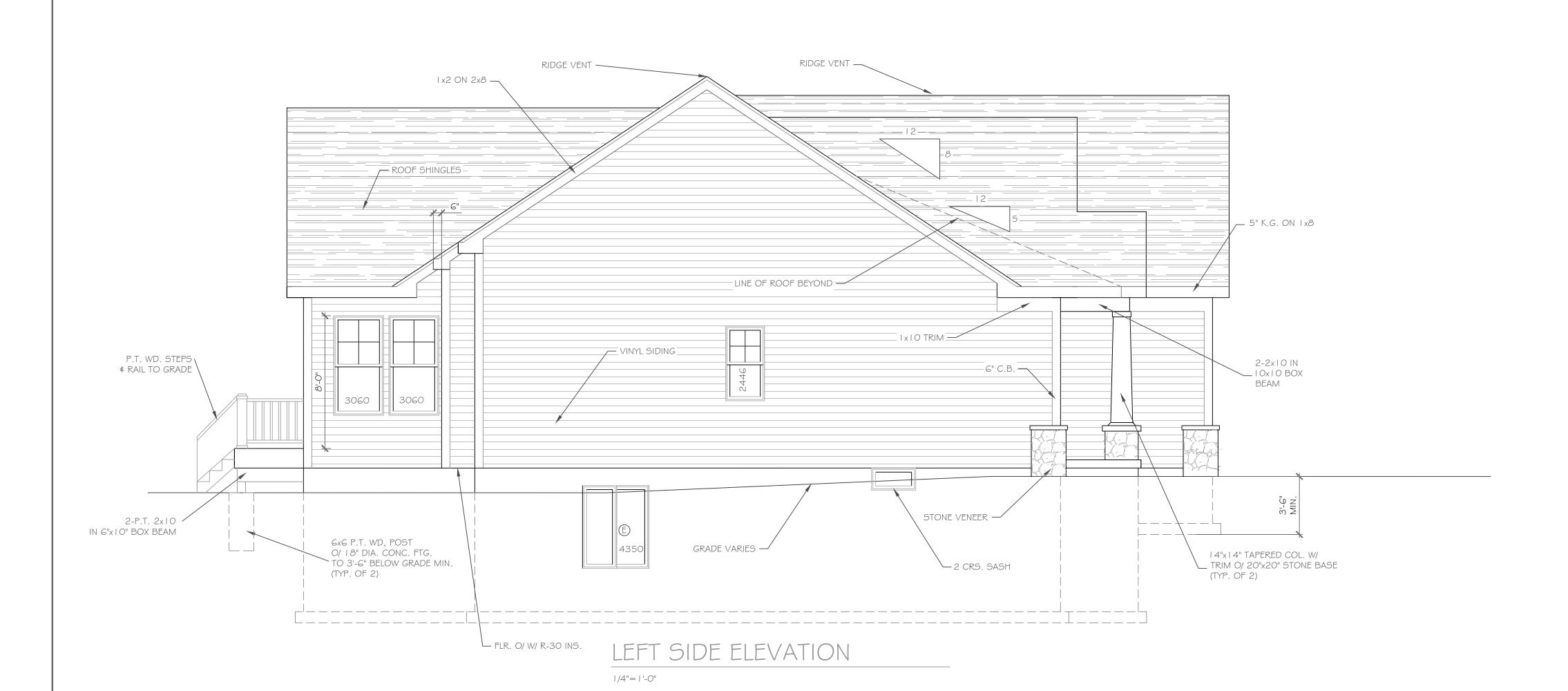
2030 S.F.

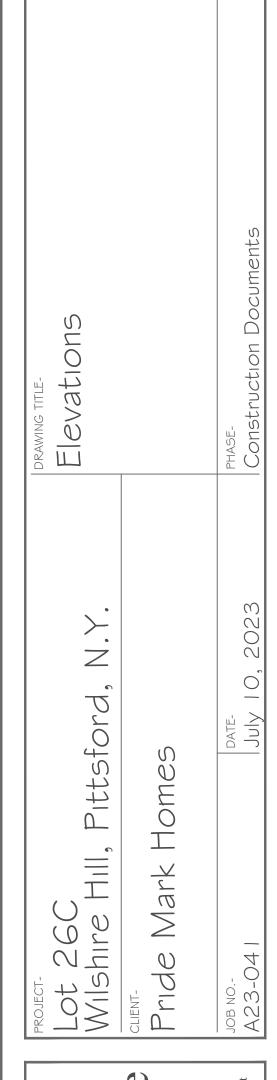
1/4"=1'-0"

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG - DOORS TO BE "THERMA-TRU" OR EQ.

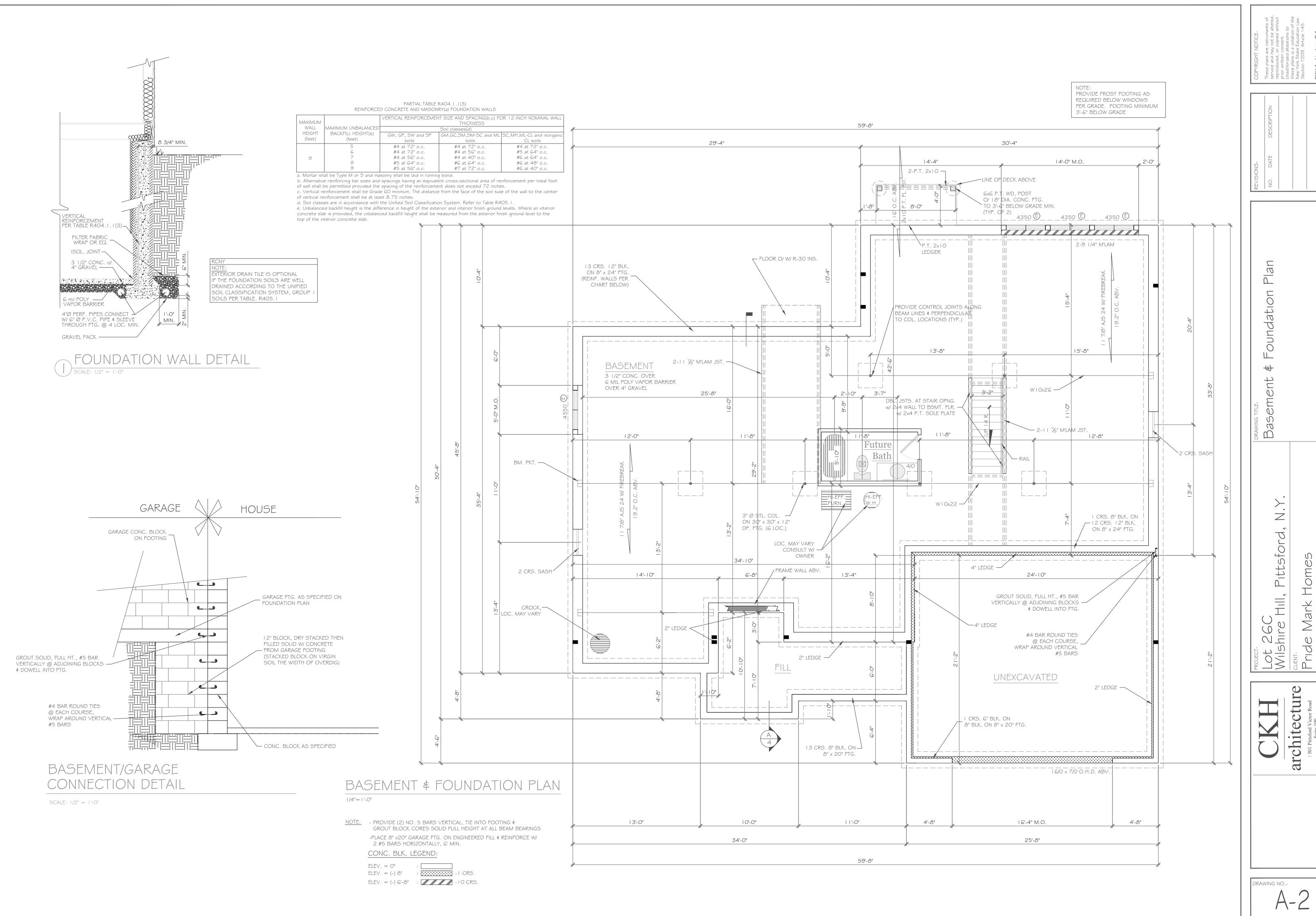
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD -(E): WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS

PER SECTION R3 I O OF THE RES. CODE OF NYS
- \*: SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

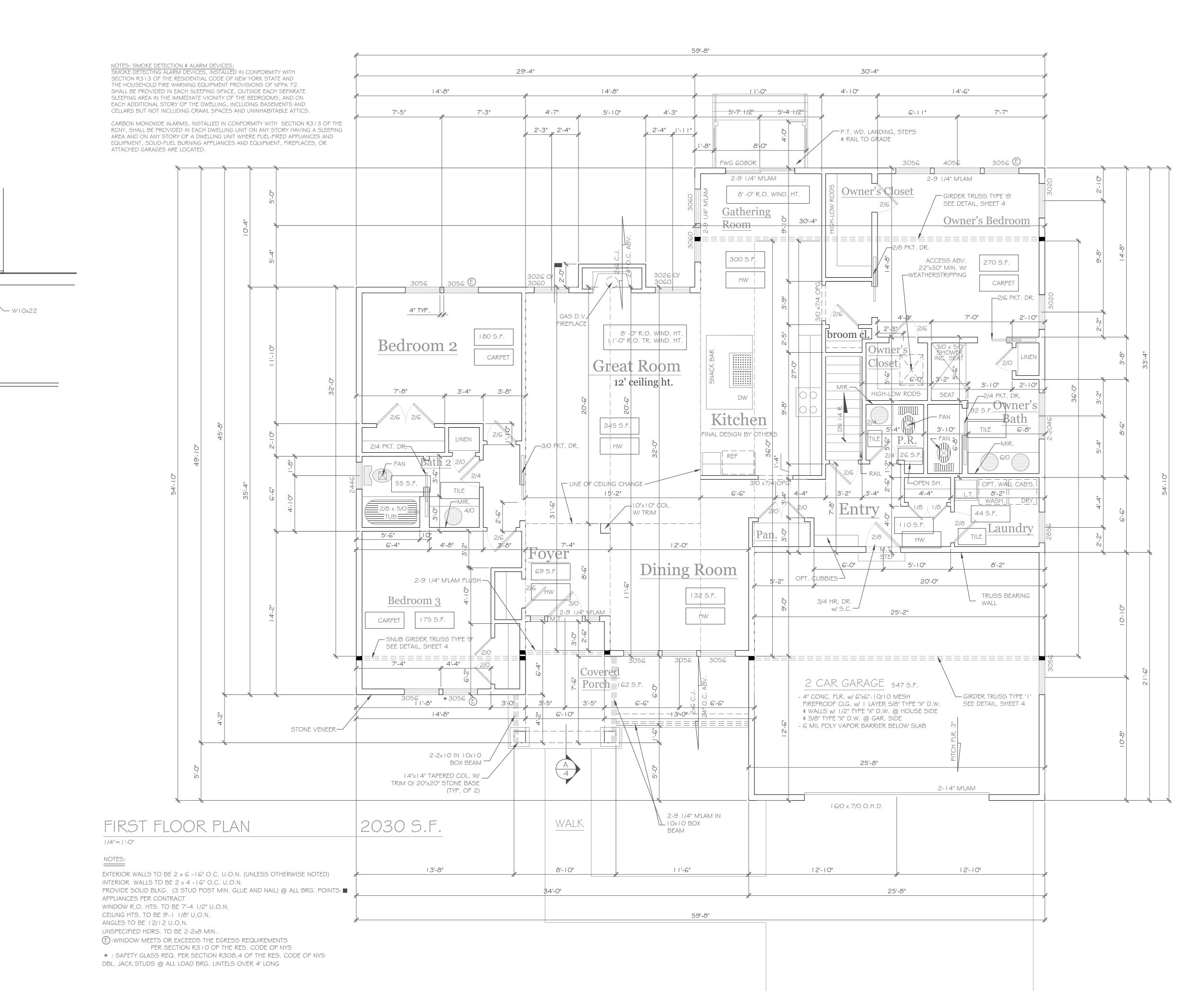




DRAWING NO.-



architectur



Entry

9" TREADS PLUS '

1/4"=1'-0"

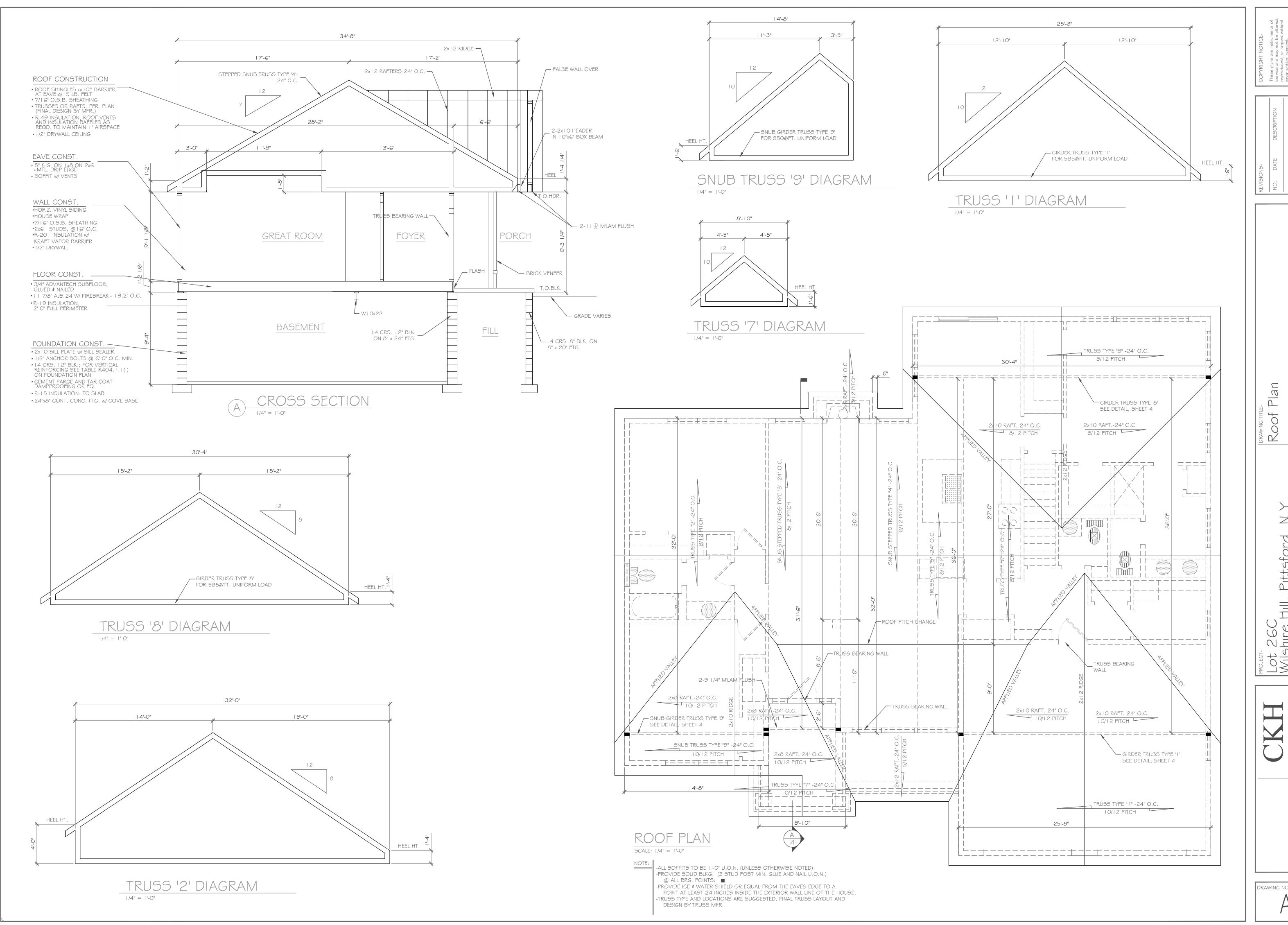
1 1/8" NOSING

STAIR DIAGRAM

 $\overline{P}$ Pittsford omes Mark Lot 26C Wilshire h  $\mathcal{O}$  $\mathcal{D}$ 

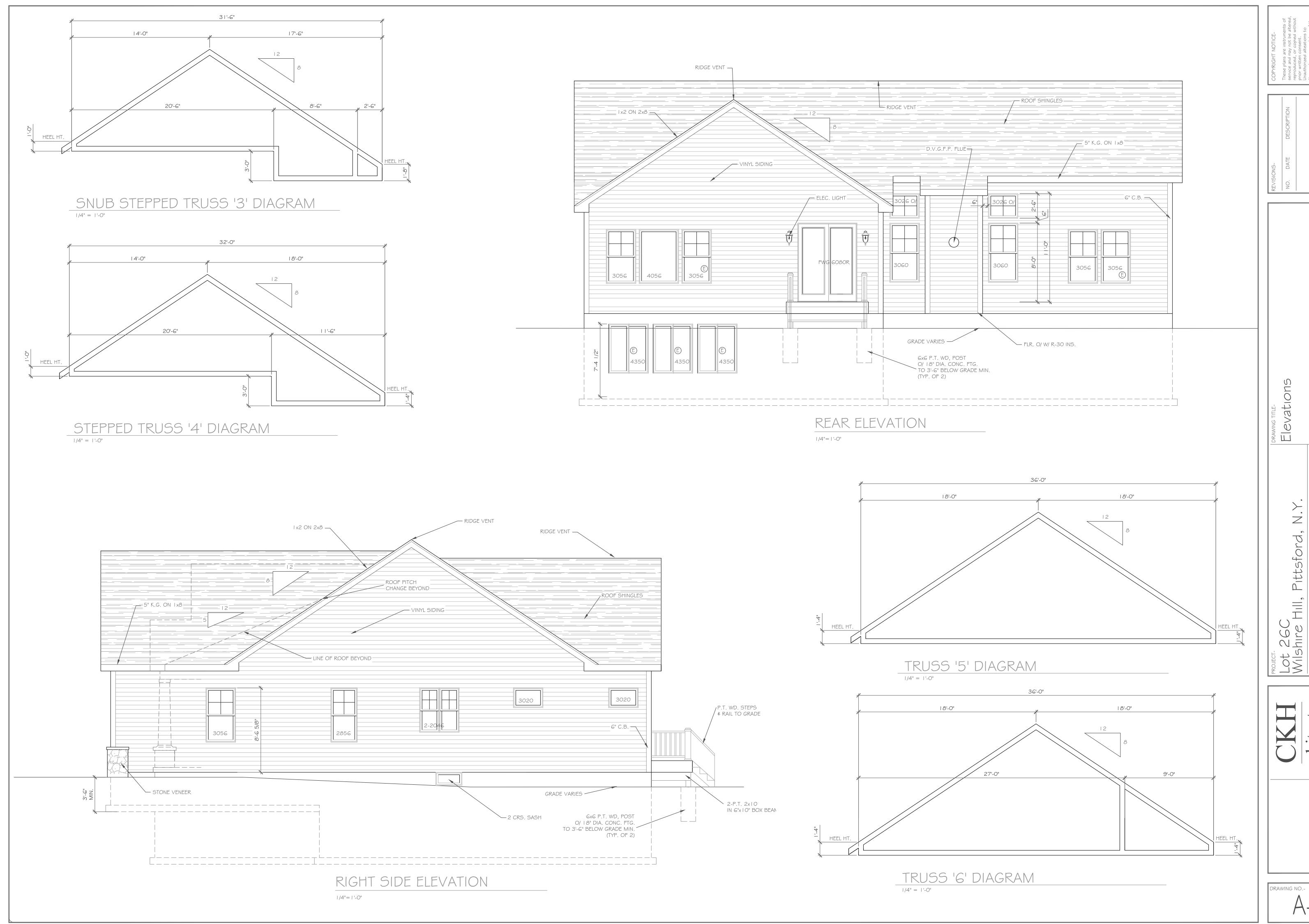
architectur

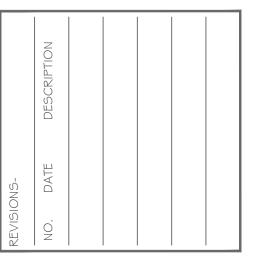
DRAWING NO.-



Pittsford O H Mark  $\mathcal{D}$ 

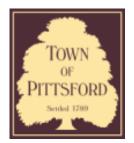
DRAWING NO.-







Homes



#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B23-000091

Phone: 585-248-6250 FAX: 585-248-6262

#### **DESIGN REVIEW AND HISTORIC PRESERVATION BOARD** REFERRAL OF APPLICATION

Property Address: 151 Sylvania Road ROCHESTER, NY 14618

**Tax ID Number:** 151.06-1-5

Zoning District: RN Residential Neighborhood

Owner: Eagle, Charles T

**Applicant:** Stahl Property Associates

#### **Application Type:**

Application Type:	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

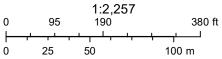
**Project Description:** Applicant is requesting design review for a 4732 square foot new home between 155 and 141 Sylvania Road.

Meeting Date: August 10, 2023

## RN Residential Neighborhood Zoning

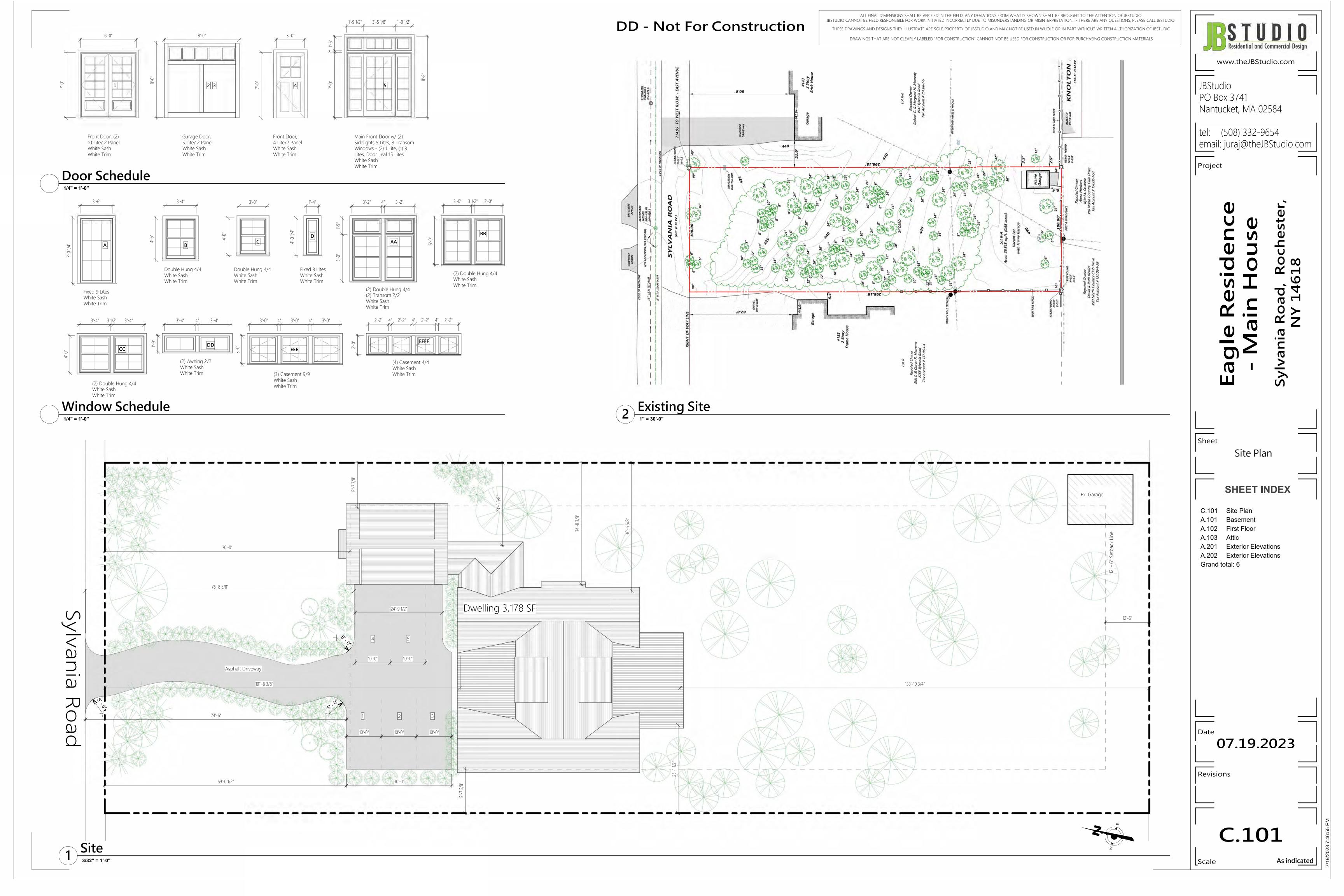


Printed July 20, 2023



Town of Pittsford GIS





## **DD - Not For Construction**

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO.



JBStudio PO Box 3741 Nantucket, MA 02584

tel: (508) 332-9654 email: juraj@theJBStudio.com

**Exterior Elevations** 

SHEET INDEX

C.101 Site Plan A.101 Basement A.102 First Floor A.103 Attic

A.201 Exterior Elevations A.202 Exterior Elevations Grand total: 6

07.19.2023

Revisions

A.201

1/4" = 1'-0"





2 South West Elevation

1/4" = 1'-0"

# DD - Not For Construction

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO.

JBSTUDIO CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS, PLEASE CALL JBST

THESE DRAWINGS AND DESIGNS THEY ILLUSTRATE ARE SOLE PROPERTY OF JBSTUDIO AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF JBSTUDIO.

DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION!" CANNOT NOT BE USED FOR CONSTRUCTION OR FOR BURCHASING CONSTRUCTION MATERIALS.



JBStudio PO Box 3741 Nantucket, MA 02584

tel: (508) 332-9654 email: juraj@theJBStudio.com

Project

23' - 8 3/16"

Eagle Residence
- Main House
Sylvania Road, Rochester,

 heet

**Exterior Elevations** 

## SHEET INDEX

C.101 Site PlanA.101 BasementA.102 First Floor

A.103 Attic
A.201 Exterior Elevations
A.202 Exterior Elevations

Grand total: 6

Date

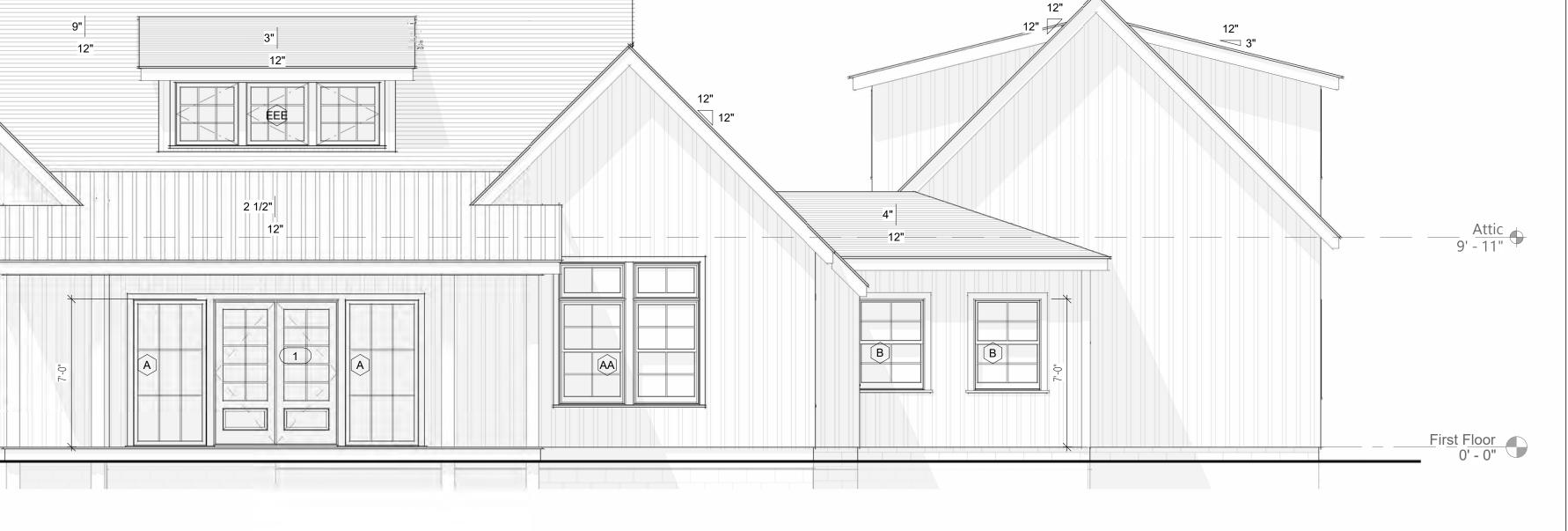
07.19.2023

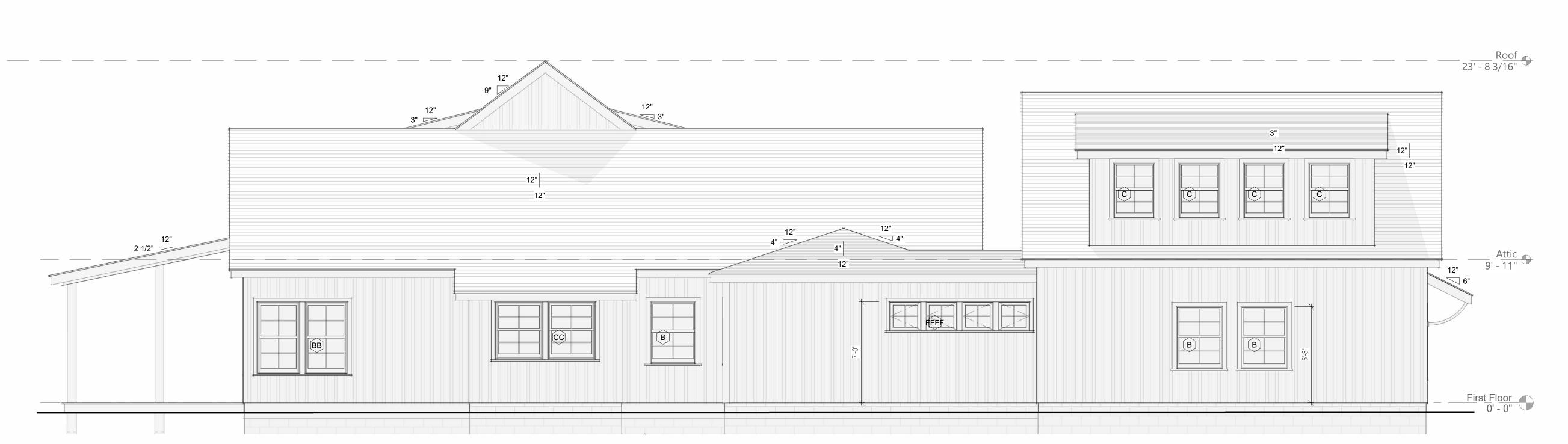
Revisions

A.202

1/4" = 1'-0"

ale





2 North East Elevation

1/4" = 1'-0"

1 South East Elevation

1/4" = 1'-0"