

**Design Review & Historic Preservation Board  
Agenda  
April 27, 2023**

**HISTORIC PRESERVATION DISCUSSION**

**BUILDING INSPECTOR REMARKS**

**RESIDENTIAL APPLICATION FOR REVIEW - RETURNING**

- **2490 Lehigh Station Road**  
The applicant is returning to design review for an addition of a 980 sf of living space and a 3 car garage.

**RESIDENTIAL APPLICATION FOR REVIEW**

- **8 High Street**  
The applicant is requesting design review for a 432 SF master bedroom addition off the back of the house.
- **26 Kilbourn Road**  
Applicant is requesting design review for the construction of a 1737 SF addition of a garage, entrance porch, entry hall and bathroom. Also the renovation of existing garage to entry hall, bedroom and dressing room.
- **15 Whitestone Lane**  
Applicant is requesting design review to enclose existing front porch with new entry way overhang and add new shed dormer over main floor addition.
- **162 Long Meadow**  
The applicant is requesting design review for a 2000 SF addition of living space and garage renovation.
- **173 Knickerbocker Road**  
Applicant is requesting design review for the construction of an approximately 330 SF addition to the left side of the house, including a new crawl space.

**COMMERCIAL APPLICATION FOR REVIEW - SIGNAGE**

- **3130 Monroe Avenue**  
Applicant is requesting design review for the addition of an approximately 36 SF sign for a smoke shop.

**CERTIFICATE OF APPROPRIATENESS – NEW**

- **215 Mendon Road**  
Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for replacement of windows. This property is zoned (RN) Residential Neighborhood and is designated historic.

**Design Review and Historic Preservation Board**  
**Minutes**  
**March 23, 2023**

**PRESENT**

Jim Vekasy, Acting Chairman; Paul Whitbeck, Kathleen Cristman, Bonnie Salem

**ALSO PRESENT**

Cathy Koshykar, Town Board liaison; Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman; David Wigg, Vice Chairman; John Mitchell

**HISTORIC PRESERVATION DISCUSSION**

Bonnie Salem discussed the reception for inventoried homeowners. It was agreed upon that due to time constraints that the reception date be postponed until the fall. Bonnie will contact the Recreation Center to cancel the May 4<sup>th</sup> reservation.

**COMMERCIAL APPLICATION FOR REVIEW - SIGNAGE**

• **789 Linden Avenue**

The Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 16 square feet. The sign will identify the business "McLaud Law P.C."

Tony Snow of Gupp Signs was present to discuss a business identification sign. A co-tenant has one of similar in size is already in the area.

The Board was appreciative of the design of the sign.

Bonnie Salem moved to approve the application as submitted.

Paul Whitbeck seconded.

All Ayes.

**RESIDENTIAL APPLICATION FOR REVIEW**

• **82 Reitz Parkway**

The Applicant is requesting design review for the construction of a covered entryway off the front of the house.

The homeowner, James Boyce, was present.

The entry way will tie into the roof. The shingles and materials will be the same as the existing on the home.

Kathleen Cristman moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **180 Alpine Drive**

The Applicant is requesting design review for the removal of two windows as part of their kitchen and bath remodel project.

The homeowner, Brandon Cottrell, was present.

The homeowner described the various window changes to be made to the home. The Board expressed concern that vinyl windows are replacing the wood ones on the home. It was noted that the house has nice symmetry on the front elevation and the changes are on the side and rear elevations.

Paul Whitbeck moved to approve the window changes as submitted.

Jim Vekasy seconded.

All Ayes.

#### **RESIDENTIAL APPLICATION FOR REVIEW – NEW**

- **6 Black Wood Circle**

The Applicant is requesting design review for the construction of an approximately 2036 SF new single story family home in the Wilshire Hill subdivision.

Bill Arieno was present to represent Pride Mark Homes.

A color has not been selected but Mr. Arieno indicated it will be different than the next door neighbors. Materials are vinyl with stone knee wall.

Jim Vekasy moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **10 Aden Hill**

The Applicant is requesting design review for the construction of an approximately 2040 SF new single story family home in the Wilshire Hill subdivision.

Bill Arieno representing Pride Mark Homes discussed this application with the Board.

Mr. Arieno indicated this is a similar home to one already built on Black Wood Circle. Features include a timber frame porch with metal roof, board and batten and stone knee wall on the front elevation. Jim Vekasy indicated the board and batten on the front elevation return to the garage.

Kathleen Cristman moved to accept the application as submitted with the condition that the board and batten finish return to the sides from the front elevation.

Paul Whitbeck seconded.

All Ayes.

## **RESIDENTIAL APPLICATION FOR REVIEW - RETURNING**

- **2490 Lehigh Station Road**

The Applicant is requesting design review for an addition of a 2650 SF garage addition off the side of the existing house.

The homeowner, Kody Young, was present to discuss the application with the Board. This application is returning to the Board after a no decision on the previous submission was rendered by the Board on 3/9/23.

Mr. Young handed out new materials to the Board. He highlighted a change in the design to reflect an extended overhang from the porch to wrap around to the new addition. The design was changed to three bay doors and gooseneck lighting is proposed to go over the doors. He compared the design to another home on the street and the square footage of new proposed homes in the adjoining subdivision.

Paul Whitbeck and Bonnie Salem expressed that the addition is still too large in proportion to the original home. They referenced the Town Design Guidelines for design review which state that a new addition should be subordinate to the home regardless of if there are 3 or 4 bays on the garage.

Jim Vekasy indicated that he understands the position of the Board regarding the size but appreciates the effort the applicant has made the change in the garage and bringing the ridge line down to aid in bringing to make the addition somewhat more subservient to the original house. He did not that the design of the house is smaller than the proposed garage.

Robert Koegel, Town Attorney, expressed that the Applicant is listening and making changes and encouraged him to come back with a plan consistent with the Board's comments.

The applicant indicated that he will return to the Board.

## **DEMOLITION OF STRUCTURE AND CONSTRUCTION OF NEW RESIDENCE**

- **114 Sunset Boulevard**

In accordance with Chapter 64 Article VIII, Â§64-43 of the Pittsford Town Code, the owner of 114 Sunset Boulevard is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 1,872 square foot home at 114 Sunset Boulevard and rebuild a new 3,180 +/- square foot single family home on the property. Tax Parcel No. 164.10-4-23. This property is Zoned Residential Neighborhood (RN).

This public hearing was previously closed but the Board continued discussion.

The homeowner, Verdana Sarajlic, was present.

There have been no changes to the previous submission.

A resolution  
was read by Kathleen Cristman.



A resolution to demolish the current home at 114 Sunset Boulevard and build a new home was moved by Board member Kathleen Cristman, seconded by Board member Paul Whitbeck, and was voted upon by members of the Board as follows:

Dirk Schneider voted	Absent
Bonnie Salem voted	Aye
Paul Whitbeck voted	Aye
Kathleen Cristman voted	Aye
David Wigg voted	Absent
John Mitchell voted	Absent
Jim Vekasy voted	Aye

Bonnie Salem moved to amend the resolution was amended with the following condition:

1. All construction will be completed by December 31, 2028.

Kathleen Cristman seconded.

Dirk Schneider voted	Absent
Bonnie Salem voted	Aye
Paul Whitbeck voted	Aye
Kathleen Cristman voted	Aye
David Wigg voted	Absent
John Mitchell voted	Absent
Jim Vekasy voted	Aye

## **RESIDENTIAL APPLICATION FOR REVIEW**

- **17 Tobey Road**

The Applicant is requesting design review for the construction of a 282 SF three season screened porch over a new deck.

David Sinise was present to represent the homeowner.

The screened porch will feature matching materials to the home. The Homeowner's Association has approved the construction of this addition. The porch will be screened and the representative presented the Board with photos of the proposed screens.

Jim Veksay moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

## **COMMERICAL APPLICATION FOR REVIEW**

- **3349 Monroe Avenue – The Paper Store**

The Applicant is requesting design review to change the color of the façade of the building for the space occupied by The Paper Store.

No representative was present.

The Board reviewed a request for a color change on the façade of a section of the building at Pittsford Plaza. This will be for the section to be occupied by The Paper Store. The request was originally for a color named Dove white but the plaza owner Wilmorite has only approved a color family of white named Navajo white which is already on the plaza.

There were no further comments from the Board.

Jim Vekasy moved to approve the color change for the section of façade for The Paper Store to Navajo White as submitted on 3/31/23.

Paul Whitbeck seconded.

All Ayes.

### **REVIEW OF MINUTES OF MARCH 9, 2023 MEETING**

Kathleen Cristman moved to accept the minutes of the March 9, 2023, meeting as written.

Jim Vekasy seconded.

All Ayes.

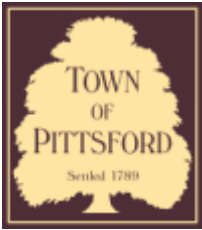
### **ADJOURNMENT**

Jim Vekasy moved to close the meeting at 7:30 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000008

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 2490 Lehigh Station Road PITTSFORD, NY 14534

**Tax ID Number:** 177.01-2-8.1

**Zoning District:** RN Residential Neighborhood

**Owner:** Kody Young

**Applicant:** Kody Young

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The applicant is returning to design review for an addition of a 980 sf of living space and a 3 car garage.

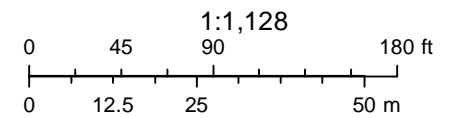
**Meeting Date:** April 27, 2023



# RN Residential Neighborhood Zoning



Printed February 3, 2023



Town of Pittsford GIS

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Driveway

Pittsford Henrietta Town Line Rd

Pittsford Henrietta Town Line Rd

Lehigh Station Rd

Pittsford Henrietta Town Line Rd

Lehigh Station Rd

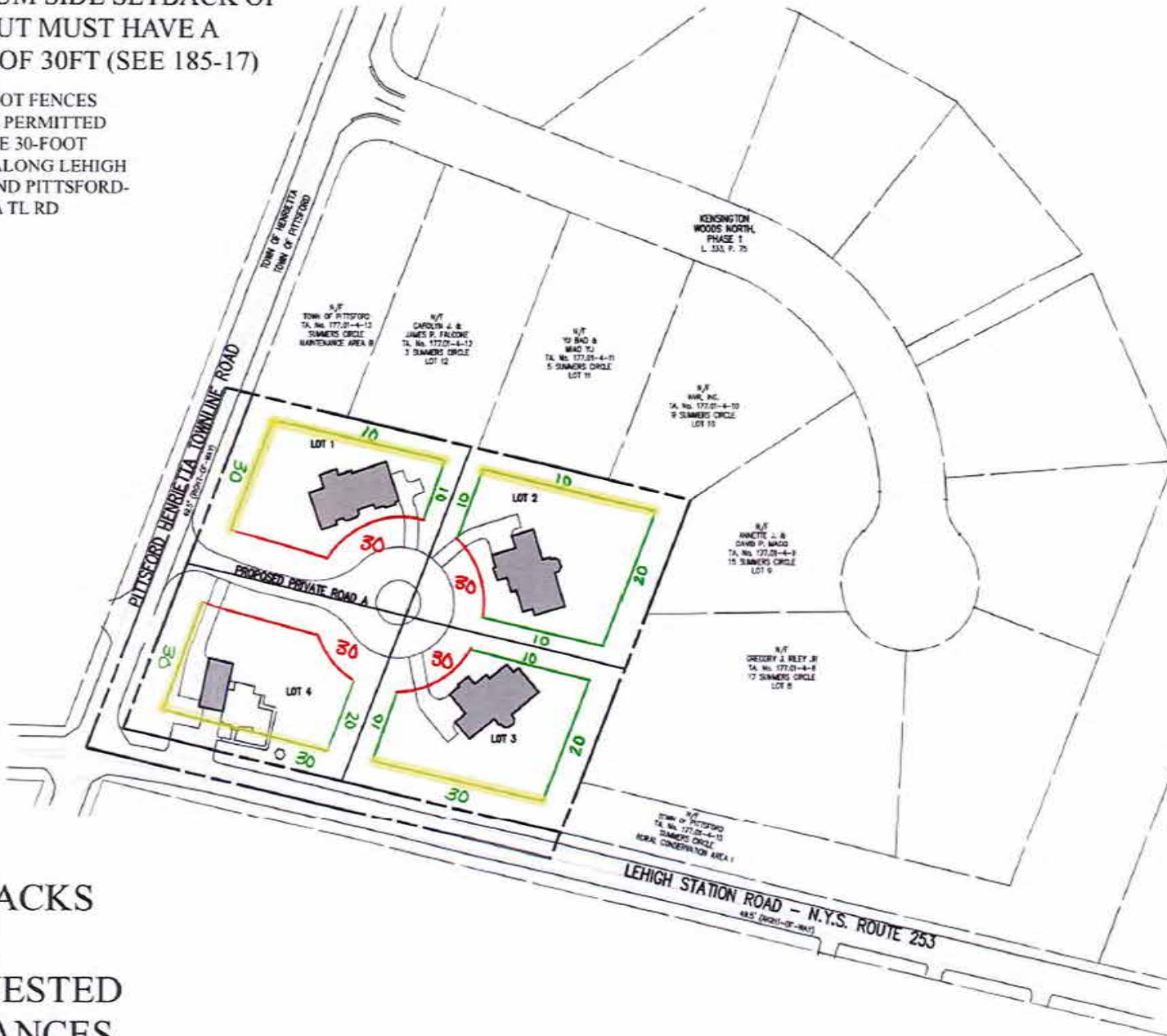
04/05/2021

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NOTE: LOTS 2 & 3 SHOW A  
MINIMUM SIDE SETBACK OF  
10FT, BUT MUST HAVE A  
TOTAL OF 30FT (SEE 185-17)

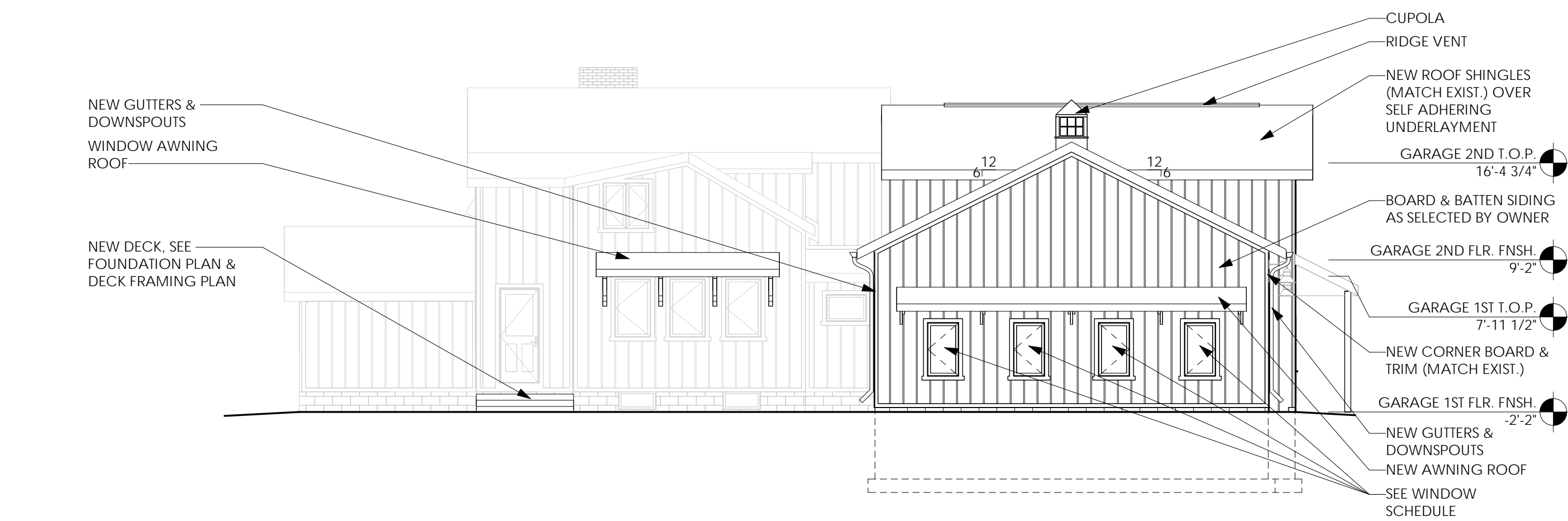
NOTE: 4-FOOT FENCES  
WOULD BE PERMITTED  
WITHIN THE 30-FOOT  
SETBACK ALONG LEHIGH  
STATION AND PITTSFORD-  
HENRIETTA TL RD



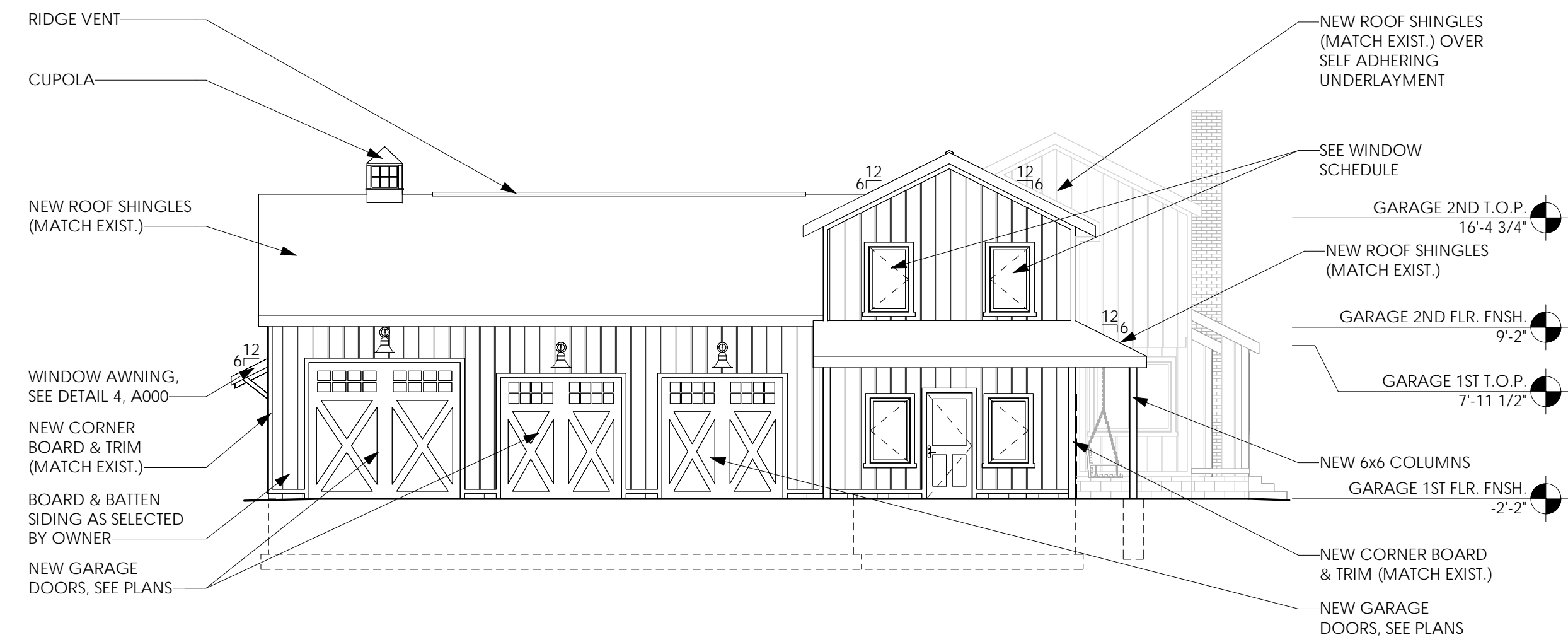
SETBACKS  
WITH  
REQUESTED  
VARIANCES



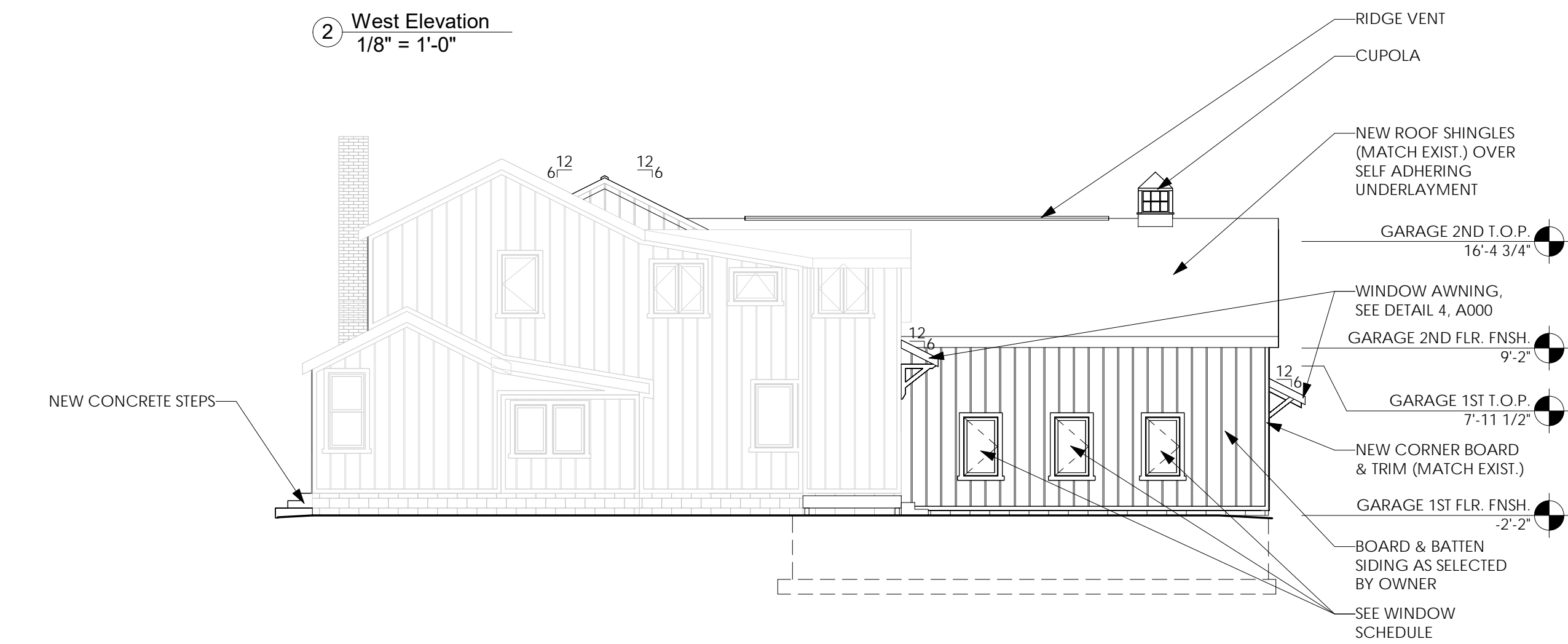
1 South Elevation  
1/8" = 1'-0"



3 North Elevation  
1/8" = 1'-0"



2 West Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"

4/27 plans

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:

Project Architect/Engineer	Date:
Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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Young Residence Addition  
2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:

Exterior Elevations

Drawing Name:

Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-104
Scale: As Noted	Drawing No.

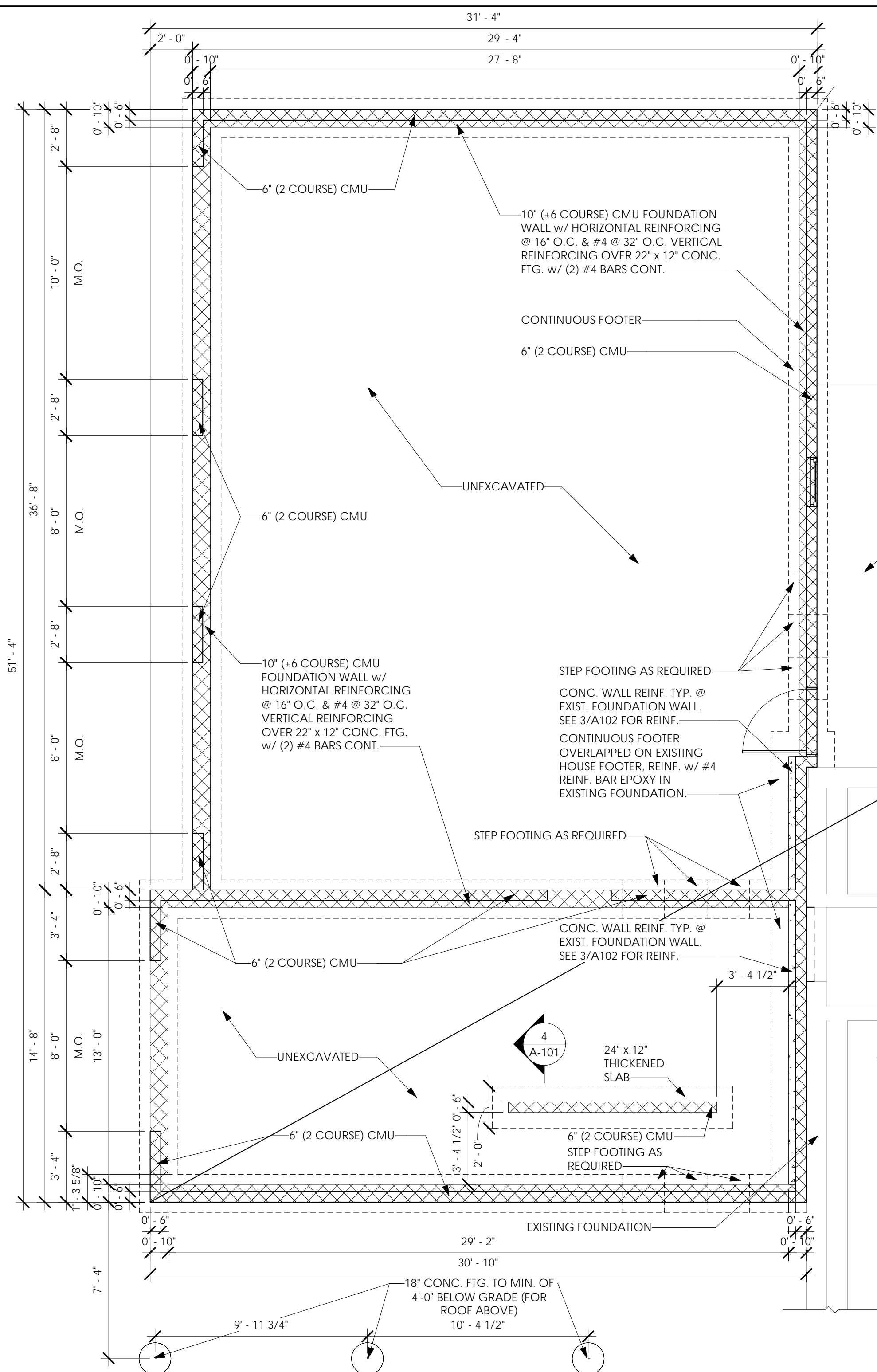




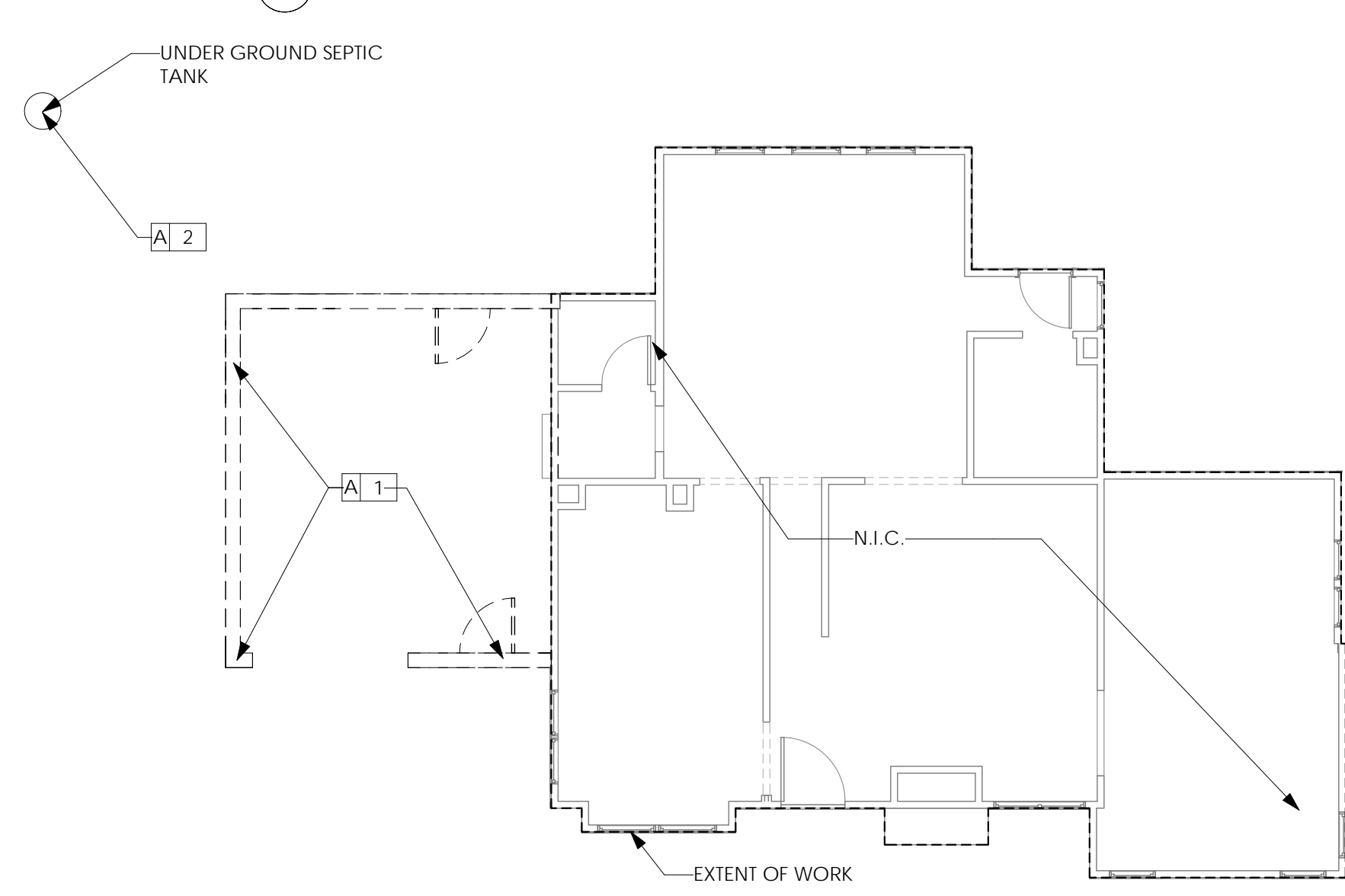
3/23 plans



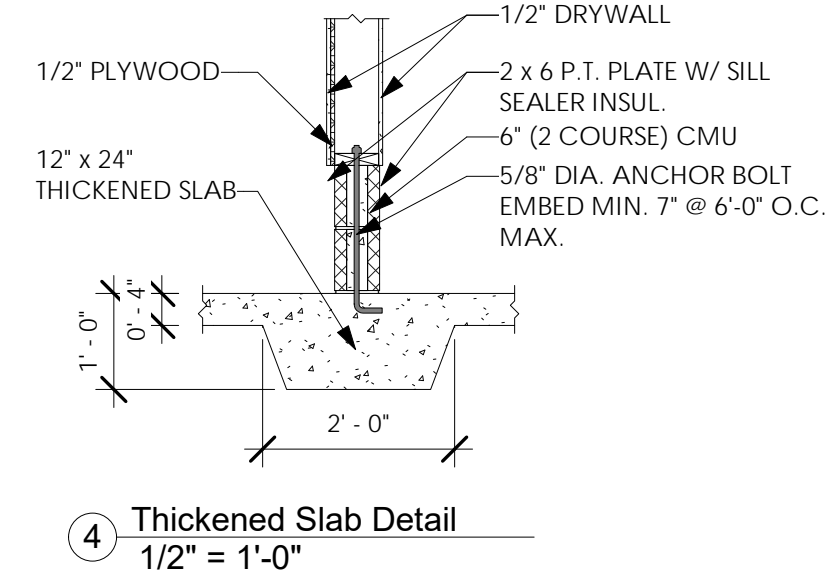




① Foundation Plan  
1/4" = 1'-0"



② Demo Plan  
1/8" = 1'-0"



④ Thickened Slab Detail  
1/2" = 1'-0"

**GENERAL NOTES:**

- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITY OR OTHER AGENCIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF NORTH CHILI STANDARDS UNLESS SPECIFICALLY NOTED ON THE PLANS, AND SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE TOWN OF PITTSFORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND REPAIRS TO ALL UTILITIES, PUBLIC AND PRIVATE ROADWAYS, SIDEWALKS, AND STRUCTURES INCLUDING SIGNS, RESULTING FROM HIS OPERATIONS. SIDEWALKS, DRIVEWAYS, GUTTERS, CURBS AND FENCES SHALL BE REPLACED IN KIND.
- EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
- ALL EXISTING SERVICES TO REMAIN. CONTRACTOR SHALL MODIFY AS REQUIRED WHERE AFFECTED BY ADDITION

**GENERAL DEMOLITION NOTES:**

- FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
- COORDINATE DEMOLITION WITH PROPOSED WORK
- SEE MECHANICAL & ELECTRICAL PLANS FOR DEMOLITION AND COORDINATION
- ALL NOTED ELECTRICAL WIRING AND FIXTURES TO BE DISCONNECTED AND REMOVED PRIOR TO COMMENCING WORK.
- CONSTRUCT NEW WALLS WHERE NEEDED PRIOR TO REMOVING EXISTING WALLS
- PROVIDE TEMPORARY SHORING PRIOR TO REMOVING WALLS & PARTITIONS
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO PROTECT AREAS OF BUILDING TO REMAIN.
- ALL ITEMS SHOWN TO BE REMOVED ARE TO BE DISPOSED OF LEGALLY UNLESS OTHERWISE NOTED

**DEMOLITION KEY NOTES:**

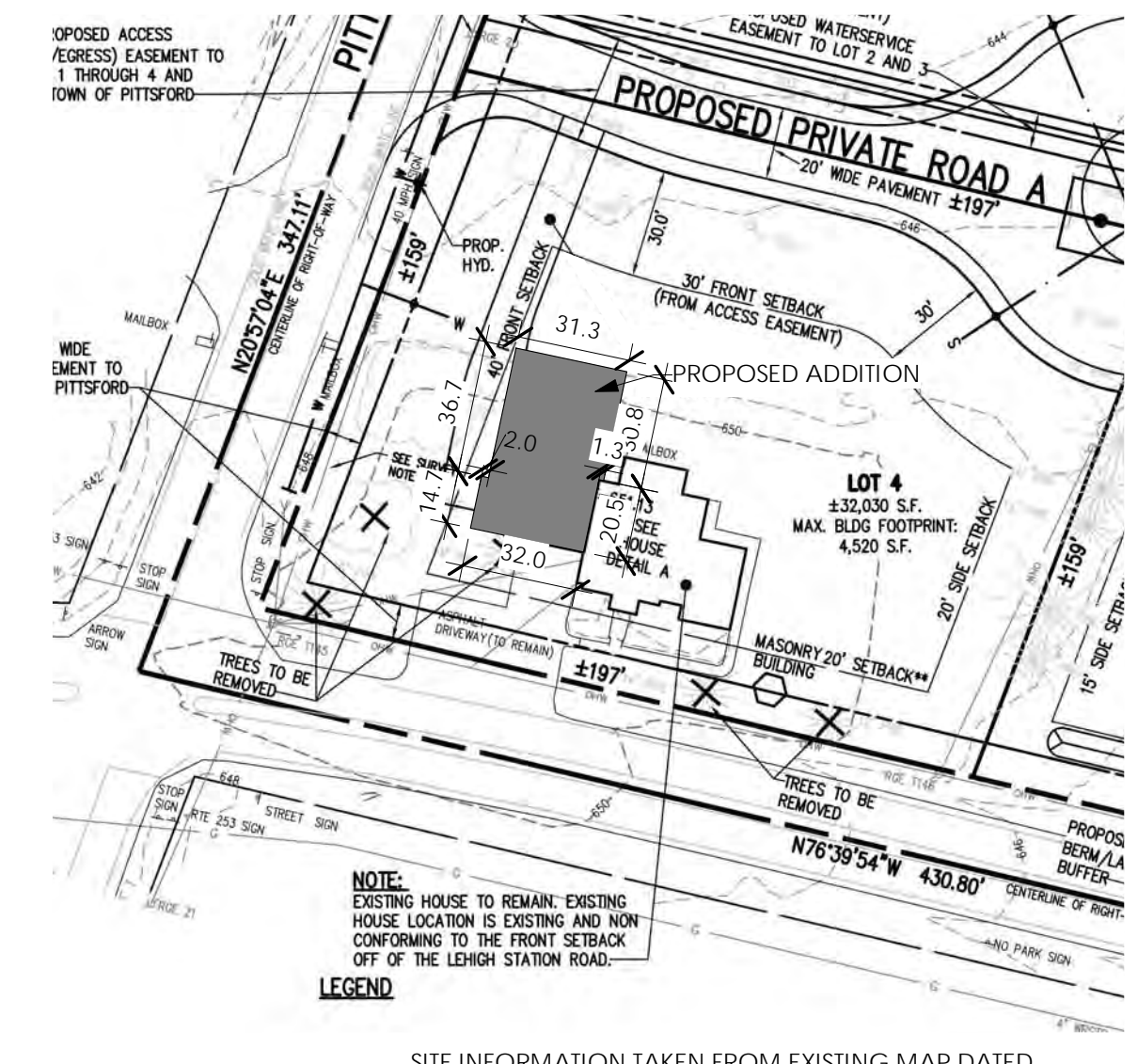
- A 1 DEMOLISH ENTIRE EXISTING GARAGE & ALL ELEMENTS WITHIN, LEAVE EXISTING HOUSE WALL
- A 2 REMOVE EXISTING UNDERGROUND SEPTIC TANK

**GENERAL NOTES:**

- CONSTRUCTION SHALL CONFORM TO THE RESIDENTIAL CODE OF THE NEW YORK STATE, AND REGULATIONS OF THE TOWN OF PITTSFORD
- CONTRACTOR IS TO OBTAIN BUILDING PERMITS, PAY FEES, COORDINATE THE SCHEDULE OF INSPECTIONS AS REQUIRED BY THE TOWN OF PITTSFORD
- LUMBER DESIGN BASED ON MINIMUM DESIGN PROPERTIES FOR NO. 2 GRADE LUMBER OF DOUGLAS FIR
- WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH, OR WITHIN 1'-0" OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESERVE PRESERVATIVE TREATED.
- FRAMING ANCHORS, JOIST HANGERS, AND MISCELLANEOUS METAL CONNECTING DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 16 GAGE THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUF.
- DOUBLE ALL JOIST UNDER PARALLEL WALLS, AND AT FLOOR OPENINGS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
- CONSTRUCTION METHODS AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
- ALL NEW WALL INFILLS & EXTENSIONS SHALL BE FLUSH WITH BOTH SIDES OF EXIST. WALL
- PROVIDE SHELVING IN CLOSETS. COORDINATE SHELVING DESIGN WITH OWNER
- PATCH & REPAIR DAMAGED EXISTING DRYWALL
- ALL NEW INTERIOR DOOR HEADERS TO BE (2) 2 x 8 UNLESS OTHERWISE NOTED.
- ALL NEW WINDOW HEADERS TO BE (3) 2 x 8 UNLESS OTHERWISE NOTED.
- ALL DOORS OPENING AND WINDOWS FRAMING SHALL BE 1 KING STUD & 2 JACK STUDS. (TYP)
- PROVIDE 3 1/2" SOUND ATTENUATION BATTS AT ALL PARTITIONS BETWEEN BATHROOMS AND OTHER ROOMS
- PROVIDE 1/2" MOISTURE RESISTANT DRYWALL AT ALL BATHROOMS
- NEW FIXTURES TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR
- NEW APPLIANCES (AS REQ'D) TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
- CONTRACTOR TO COORDINATE ELECTRICAL, HVAC AND PLUMBING NEEDS & CONNECTIONS WITH OWNER AND INCLUDE REQUIRED WORK IN BID PRICING
- CONTRACTOR TO INSTALL AT LEAST (1) SMOKE DETECTOR IN EACH BEDROOM & (1) OUTSIDE EACH SLEEPING AREA IN THE VICINITY OF THE BEDROOM, & (1) IN EACH SEPARATE STORY INCLUDING THE BASEMENT. ALL SMOKE DETECTORS SHALL BE WIRED INTO 120V WITHOUT DISCONNECTING SWITCH OTHER THAN CIRCUIT BREAKER & SHALL BE INTERCONNECTED SUCH THAT WHEN ONE ALARMS, ALL SHALL ALARM. (1) CARBON MONOXIDE DETECTOR IN DINING ROOM, NEAR KITCHEN. INSTALLATION OF SMOKE & CARBON MONOXIDE DETECTORS SHALL BE IN ACCORDANCE WITH ALL STATE & LOCAL CODES & THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. ALL DETECTORS SHALL BE EQUIPPED WITH BATTERY BACKUP.

**GENERAL CONCRETE & FOUNDATION NOTES:**

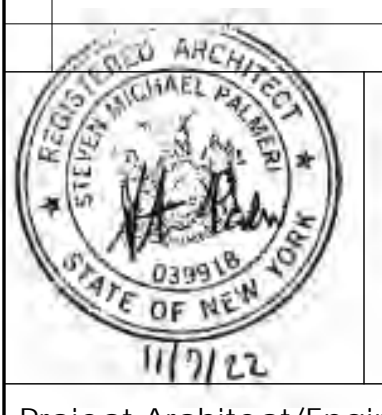
- ALLOWABLE SOIL BEARING ASSUMED AS 2500 P.S.F.
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 P.S.I. AT 28 DAYS, UNLESS NOTED OTHERWISE.
- BOTTOM OF ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
- STEPS IN ALL FOOTINGS NOT TO EXCEED 1'-0" VERTICAL FOR EACH 2'-0" HORIZONTAL.
- ALL CONCRETE SLABS ON GRADE TO REST ON 6" COMPACTED POROUS FILL. (CRUSHED STONE)
- ALL SLABS ON GRADE TO BE REINFORCED WITH 6 x 6 - W1.4 x W1.4 WWM. UNLESS NOTED OTHERWISE. SPLICES PER CRSI LATEST EDITION.
- FILL COLUMN AND BEAM POCKETS WITH CONCRETE AFTER ALL COLUMNS AND BEAMS ARE IN PLACE, UNLESS NOTED OTHERWISE.
- BACKFILL BOTH SIDES OF FOUNDATION WALLS SIMULTANEOUSLY. WALLS WITH FILL ON ONE SIDE ONLY, MUST NOT BE BACKFILLED UNTIL DECK AT TOP AND SLAB BOTTOM OF WALL ARE IN PLACE.
- SLEEVE FOUNDATION WALLS WHERE REQUIRED TO ACCOMMODATE DUCTS AND UTILITIES.
- REINFORCING BARS TO CONFORM TO ASTM A-615 GRADE 60. EXCEPT REINFORCING FOR DOWELS TO SLABS TO BE GRADE 40.
- STEEL MESH REINFORCING TO CONFORM TO ASTM A-185
- REINFORCING BAR SPLICES & EMBEDMENT LENGTHS TO CONFORM TO LATEST CRSI HANDBOOK COMPLYING WITH ACI 318-CODE OF LATEST ISSUE, UNLESS NOTED OTHERWISE.
- ALL SPLICES IN REINFORCING ARE TO BE CLASS "B". UNLESS NOTED OTHERWISE. CONSIDER ALL HORIZONTAL WALL BARS AS "TOP BARS".
- TERMINATE ALL BARS IN ACCORDANCE WITH ACI 318 CODE OF LATEST ISSUE, WITH A HOOK IF THE REQUIRED EMBEDMENT LENGTH CANNOT BE OBTAINED.
- PROVIDE #4 VERTICAL REINFORCING @ 32" O.C. - GROUT CORES WITH REINFORCING SOLID, PER TABLE R 404.1.1(3) OF THE RESIDENTIAL CODE OF N.Y.S.



③ Site Plan  
1" = 50'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:



Project Architect/Engineer	Date:
Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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11/07/22  
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**Young Residence Addition**  
2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:  
**Site Plan, Existing/Demo Plan, Foundation Plan**

Date:	11/07/22	Project No.	21-0511
Type:	Residential		
Drawn By:	NMH		A-101
Scale:	As Noted		Drawing No.

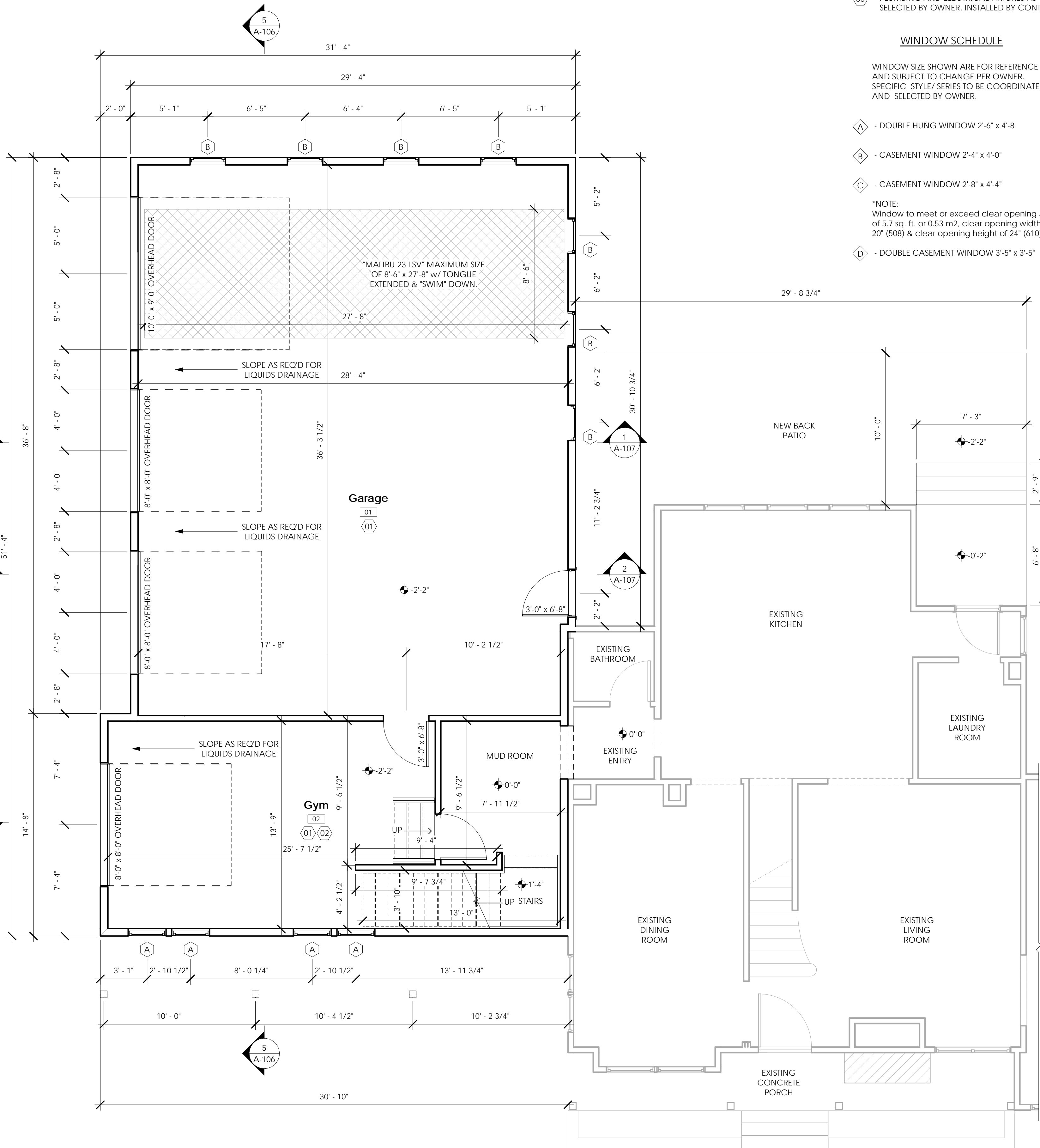
**CONSTRUCTION KEYNOTES**

- 01 - 4" CONC. SLAB W/ 6 x 6 W1.4 x W1.4 WWM. OVER VAPOR BARRIER & 6" CRUSHED STONE.
- 02 - FINISH FLOORING AS SELECTED BY OWNER
- 03 - VANITY (AS SELECTED BY OWNER)
- 04 - PROVIDED NEW BATH FAN/LIGHT AS SELECTED BY OWNER, PROVIDE VENT TO OUTSIDE.
- 05 - PLUMBING AND ELECTRICAL FIXTURES AS SELECTED BY OWNER, INSTALLED BY CONTRACTOR

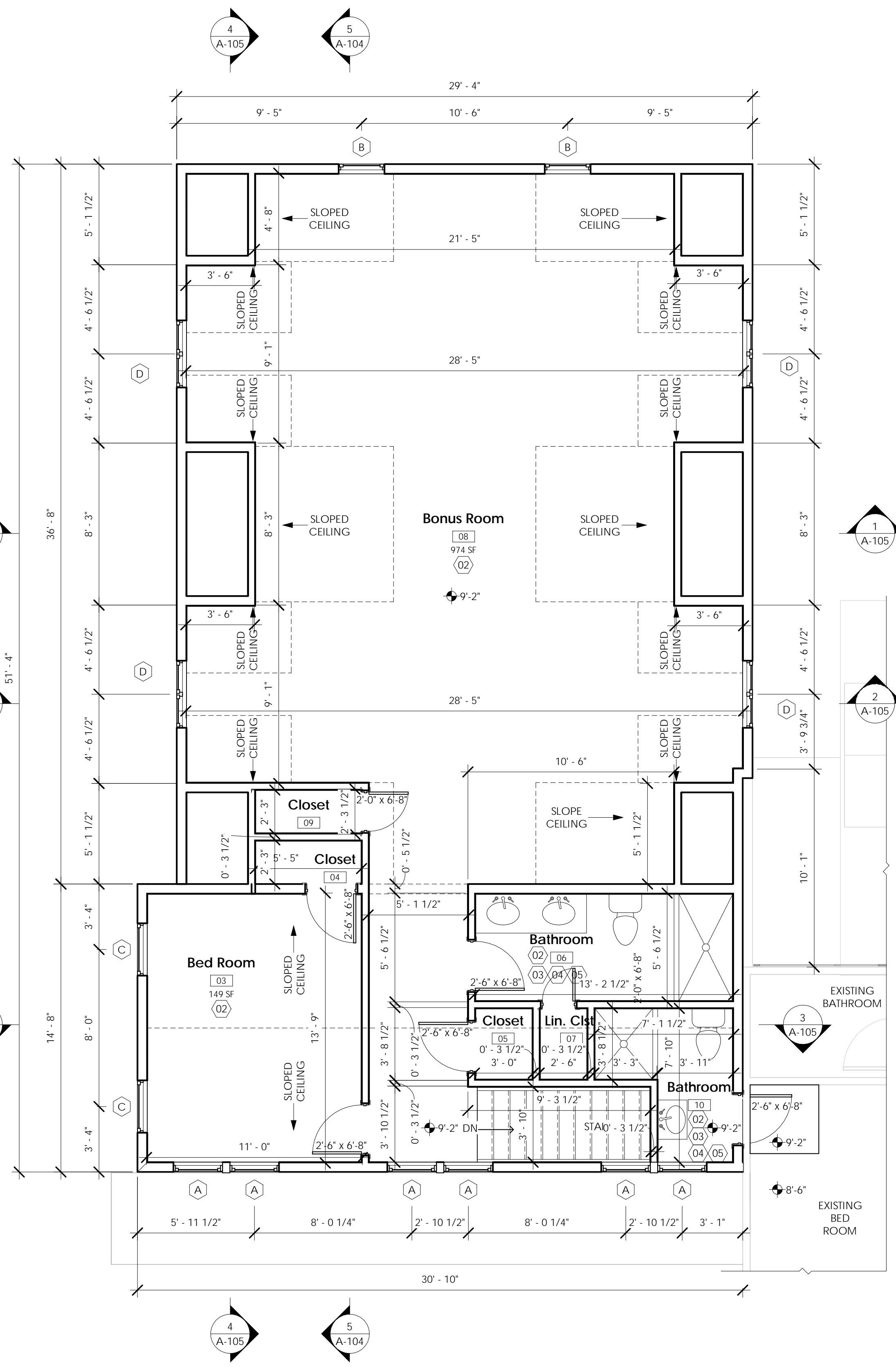
**WINDOW SCHEDULE**

WINDOW SIZE SHOWN ARE FOR REFERENCE ONLY AND SUBJECT TO CHANGE PER OWNER. SPECIFIC STYLE/SERIES TO BE COORDINATED AND SELECTED BY OWNER.

- A - DOUBLE HUNG WINDOW 2'-6" x 4'-8"
  - B - CASEMENT WINDOW 2'-4" x 4'-0"
  - C - CASEMENT WINDOW 2'-8" x 4'-4"
  - D - DOUBLE CASEMENT WINDOW 3'-5" x 3'-5"
- \*NOTE:  
Window to meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) & clear opening height of 24" (610).



1 First Floor Plan  
1/4" = 1'-0"



2 Second Floor Plan  
1/4" = 1'-0"

PLOTTED: 2/22/2023 8:45:42 AM

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:



Project Architect/Engineer	Date:
Architect/Engineer Name	Date:
Project Lead	Date:
Lead Name	Date:
Project Designer	Date:
Designer Name	Date:

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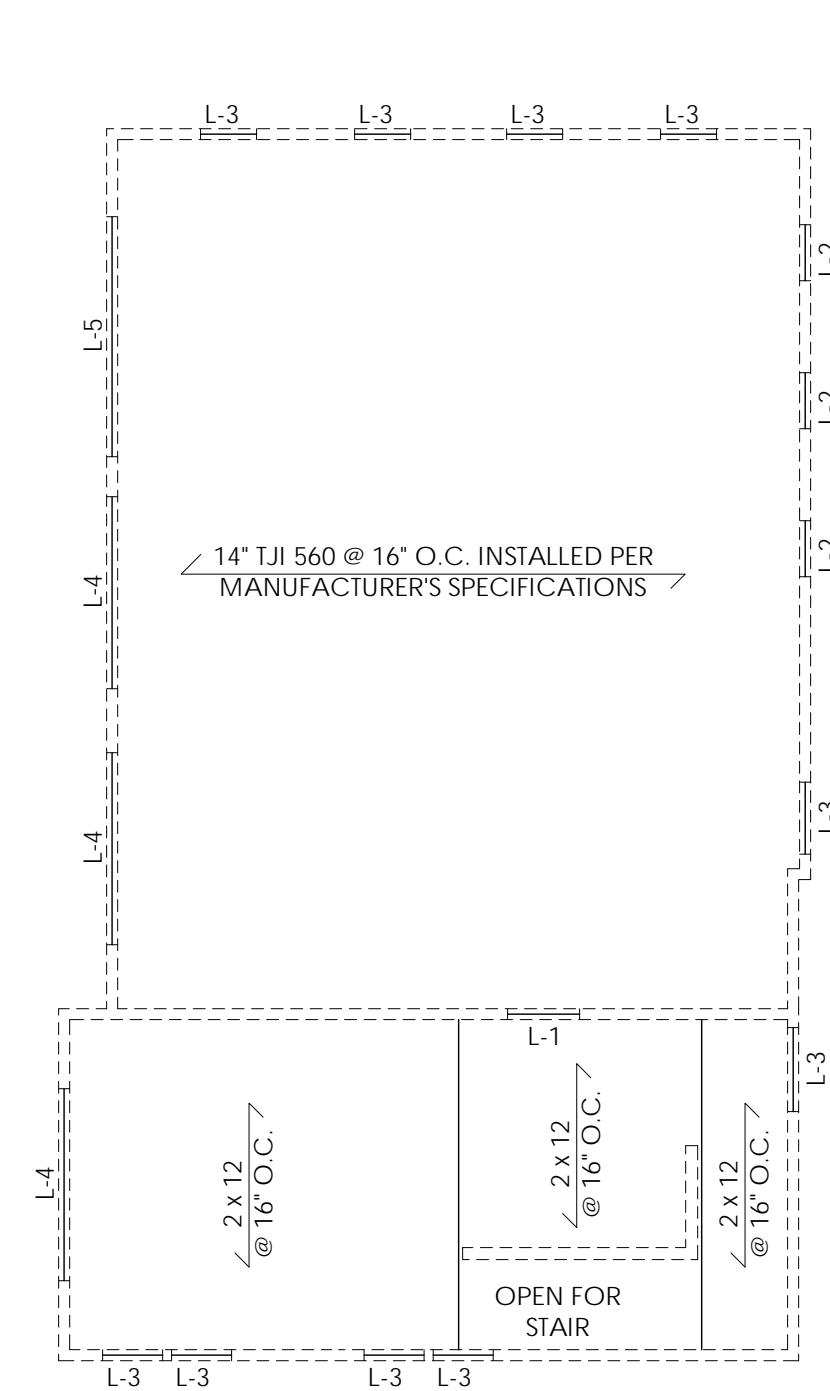


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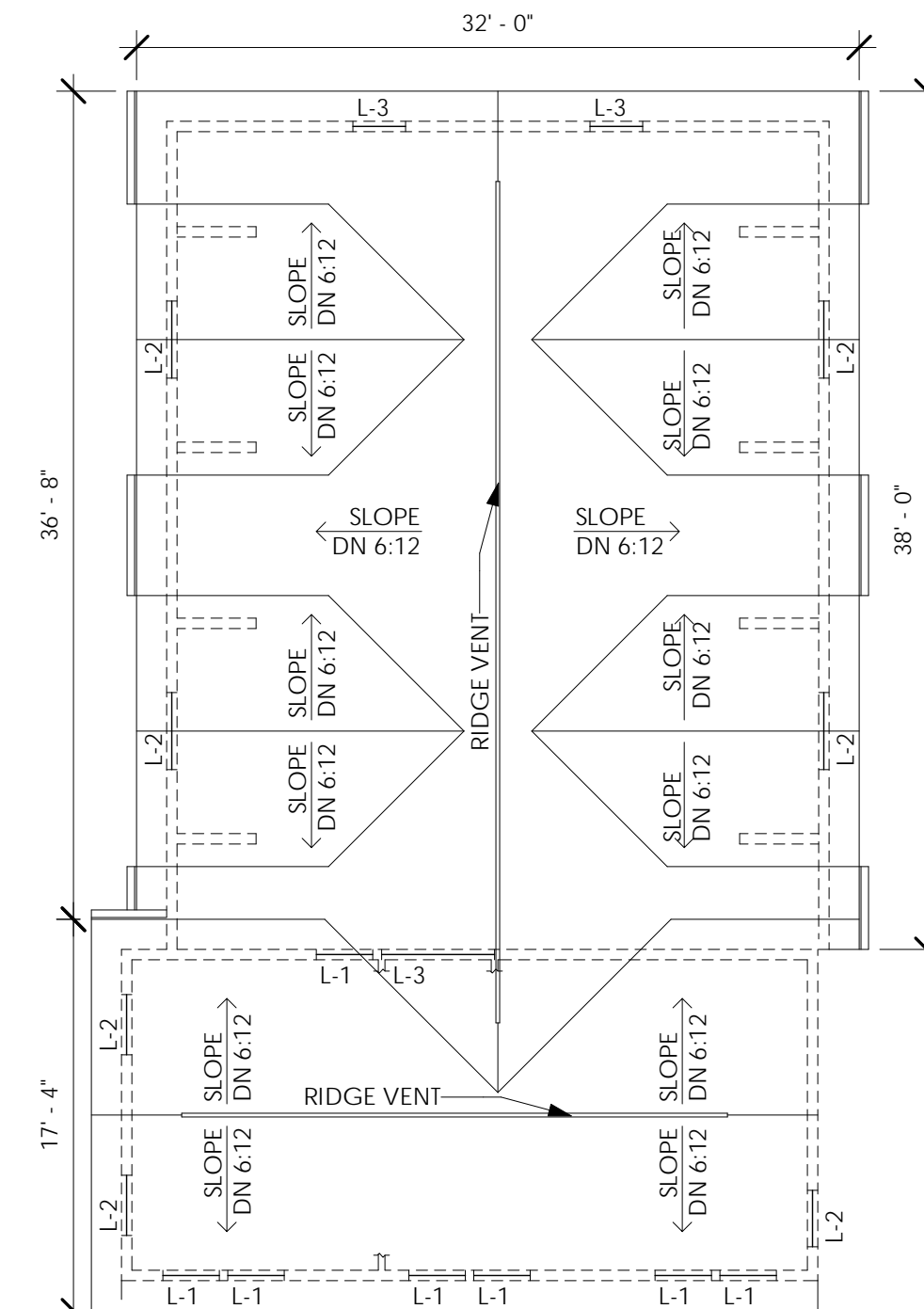
**Young Residence Addition**  
2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:  
First Floor Plan, Second Floor Plan  
Drawing Name:

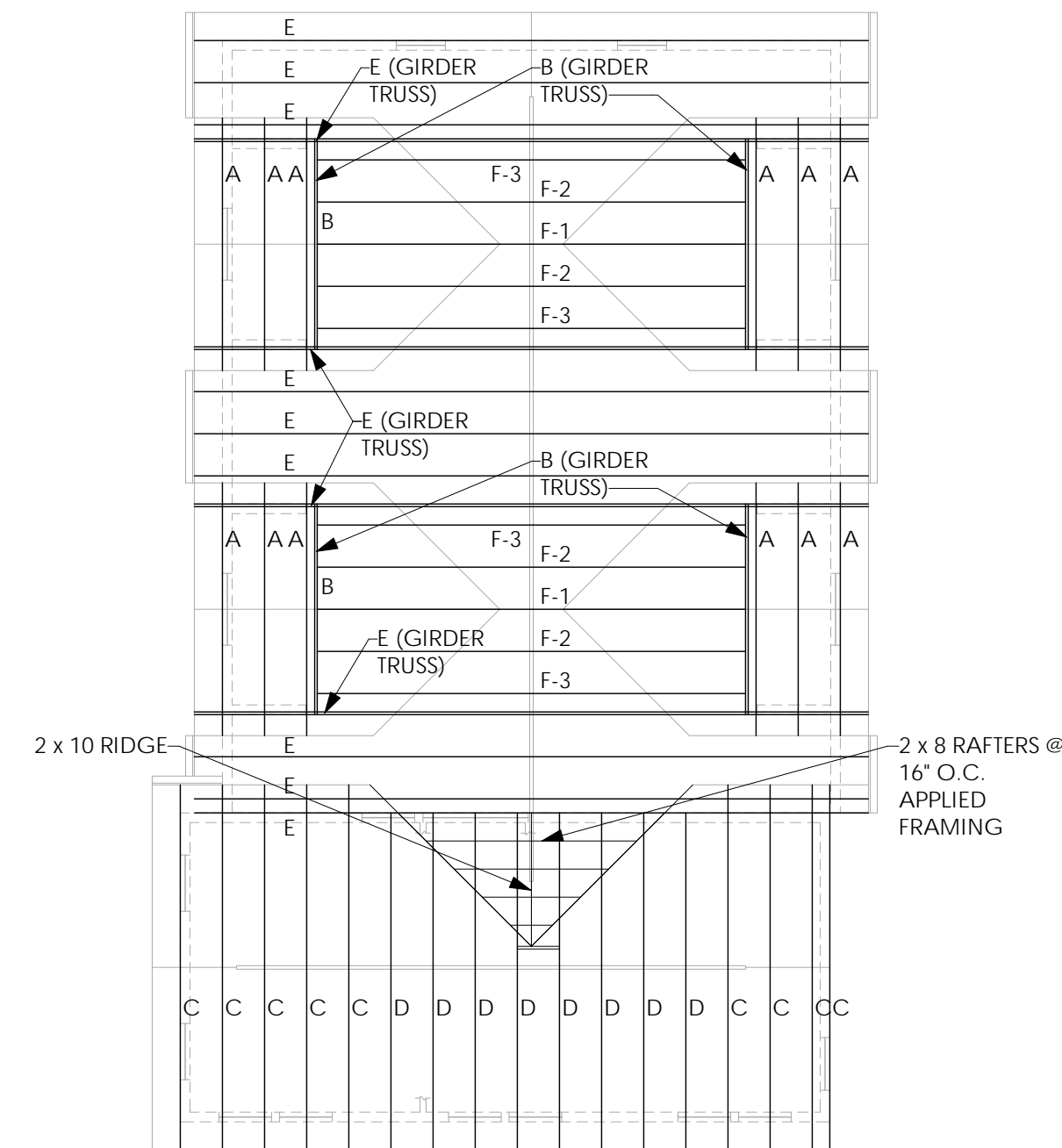
Date: 11/07/22	Project No. 21-0511
Type: Residential	
Drawn By: NMH	A-102
Scale: As Noted	Drawing No.



1 Second Floor Header & Framing Plan  
1/8" = 1'-0"



2 Roof Plan  
1/8" = 1'-0"



3 Roof Framing Plan  
1/8" = 1'-0"

**ROOF NOTES:**

- PROVIDE MINIMUM 5'-0" WIDE ICE & WATER SHIELD UNDERLAYMENT ALONG EAVES AND AT VALLEYS
- PROVIDE ASPHALT SATURATED FELT UNDERLAYMENT ALL REMAINING AREAS
- PROVIDE ALUMINUM FASCIA, DRIP EDGE, VENTED SOFFITS, GUTTERS AND DOWNSPOUTS AT NEW ROOF AREAS, TO MATCH EXISTING.
- REMOVE EXISTING ROOF SHINGLES & UNDERLAYMENT. FURNISH AND INSTALL ICE & WATER UNDERLAYMENT & NEW ARCHITECTURAL SHINGLES AS REQ'D
- VERIFY IN FIELD EXISTING ROOF OVERHANGS. NEW OVERHANGS TO MATCH EXIST.

**LINTEL & HEADER SCHEDULE:**

- L-1 - (3) 2 x 4 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-2 - (3) 2 x 6 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-3 - (3) 2 x 8 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-4 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 9 1/4" (8'-0" WIDE GARAGE DOOR)
- L-5 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 11 1/4" (10'-0" WIDE GARAGE DOOR)

**NOTE:**

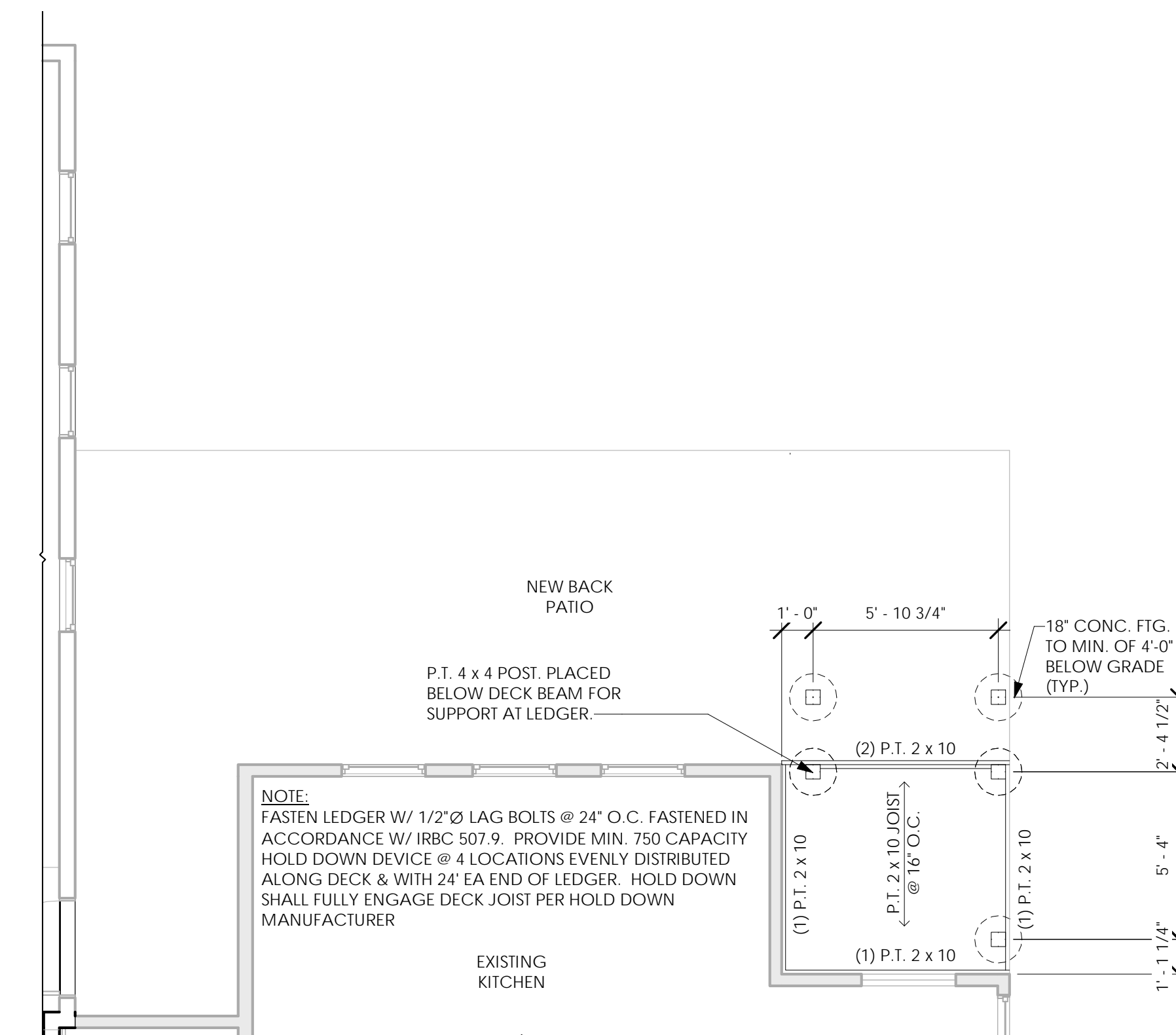
**NOTE:**

PRE-ENGINEERED WOOD TRUSS SYSTEM SHALL BE DESIGNED BY A N.Y.S. LICENSED ARCHITECT OR ENGINEER FOR THE FOLLOWING LOADS:

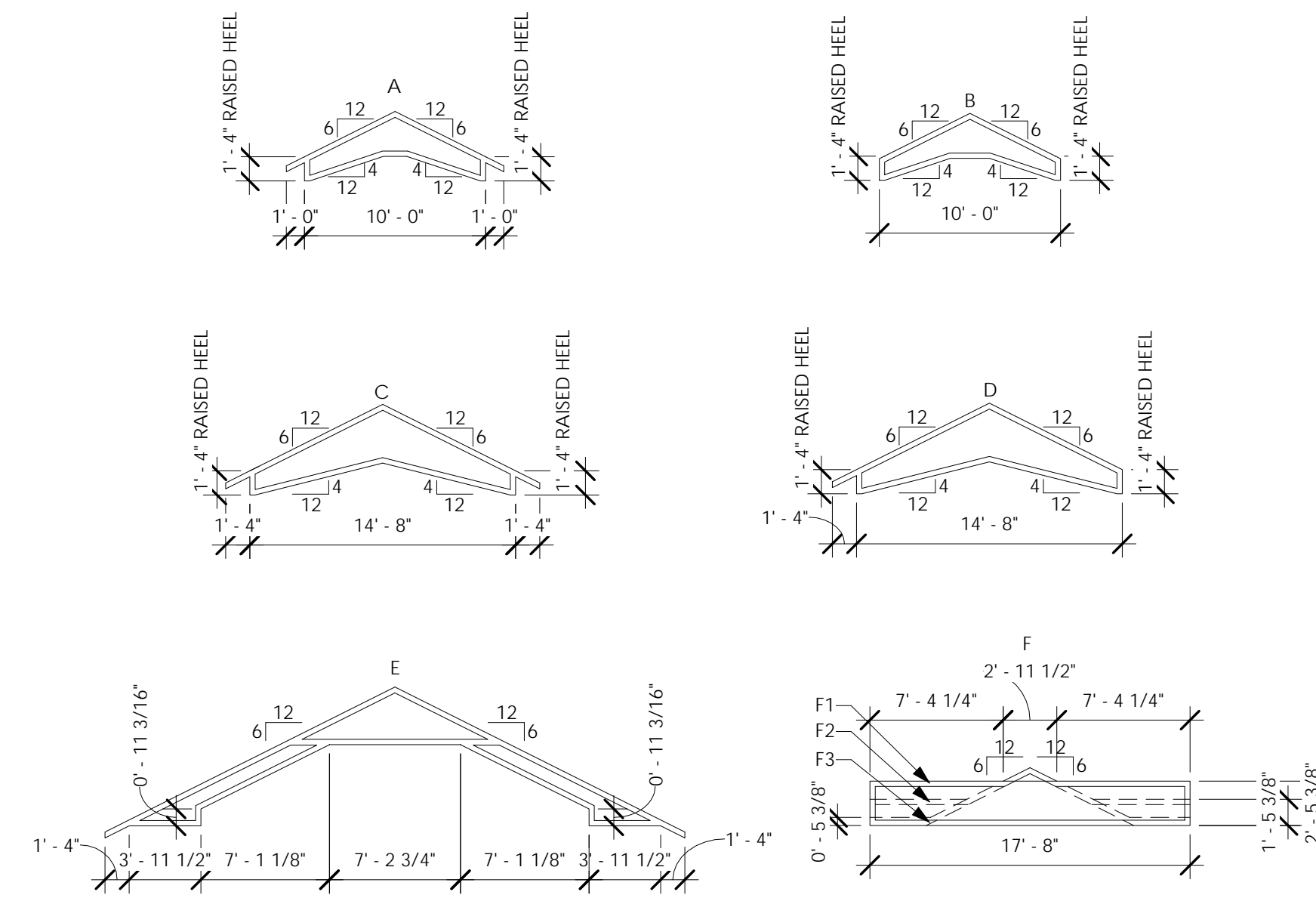
TOP CHORD DEAD LOAD: 10#  
SNOW LOAD: 50# GROUND  
BOTTOM CHORD DEAD LOAD: 10#

**NOTE:**

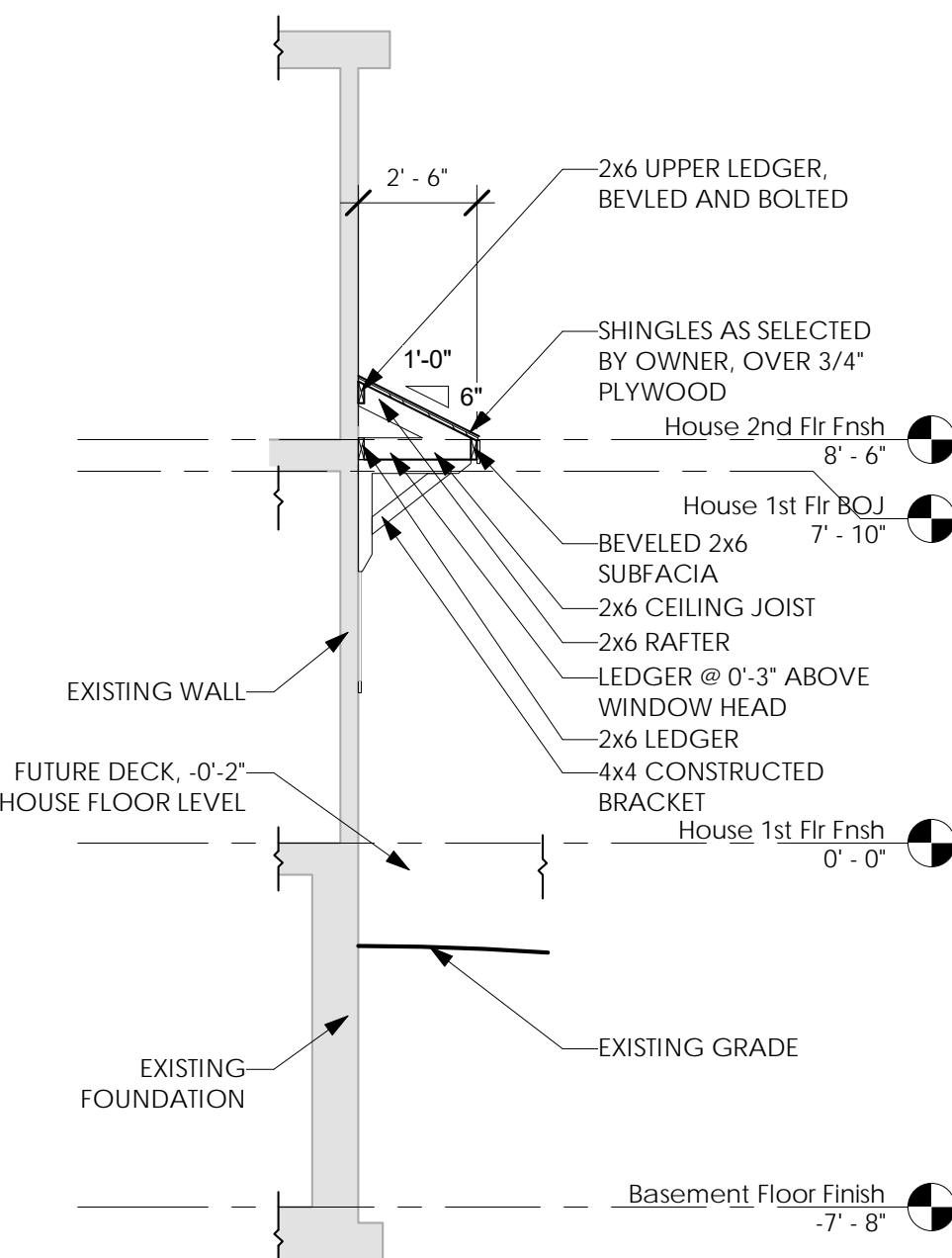
- ALL TRUSSES TO BE 2'-0" O.C.
- ALL STICK FRAMING SHALL BE:  
2x10 RIDGE & HIP MEMBERS  
2x8 RAFTERS @ 16" O.C.  
UNLESS OTHERWISE NOTED
- VERIFY PITCH OF EXISTING ROOF PRIOR TO ORDERING TRUSS
- CONTRACTOR SHALL FURNISH TRUSS SHOP DRAWINGS WITH ENGINEER OR ARCHITECT SEAL & SIGNATURE
- TRUSS MANUFACTURER TO PROVIDE RECOMMENDED ROOF TRUSS SYSTEM BRACING DIAGRAM
- ROOF TRUSS SHALL BE INSTALLED USING SIMPSON HURRICANE TIES H8 OR APPROVED EQUAL.



11 Back Deck Framing Plan  
1/4" = 1'-0"



9 Truss Diagrams  
1/8" = 1'-0"



10 Window Awning Detail  
1/4" = 1'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:

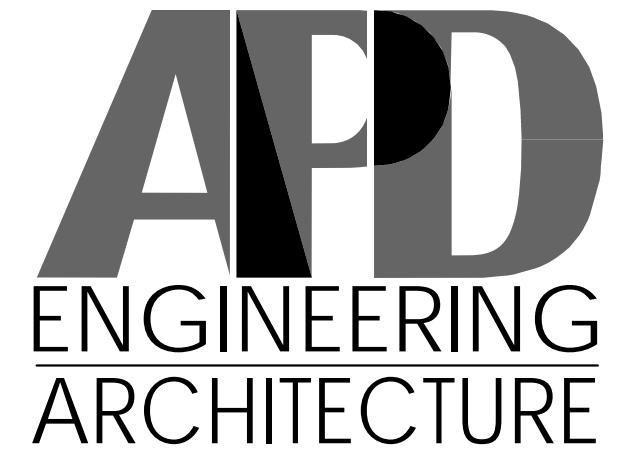


Project Architect/Engineer	Date:
Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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Young Residence Addition  
2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:

Roof Framing, Plan & Truss Diagram

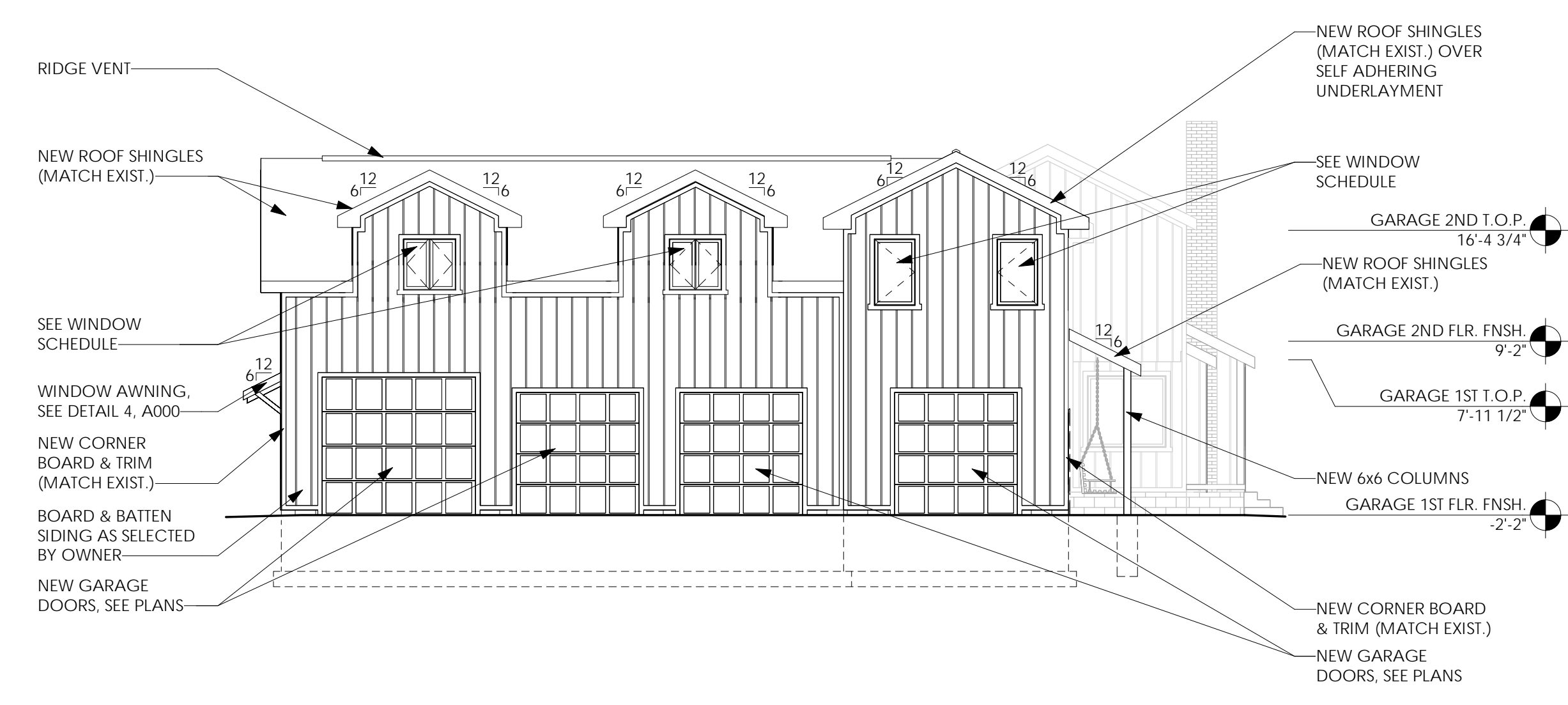
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Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-103
Scale: As Noted	Drawing No.

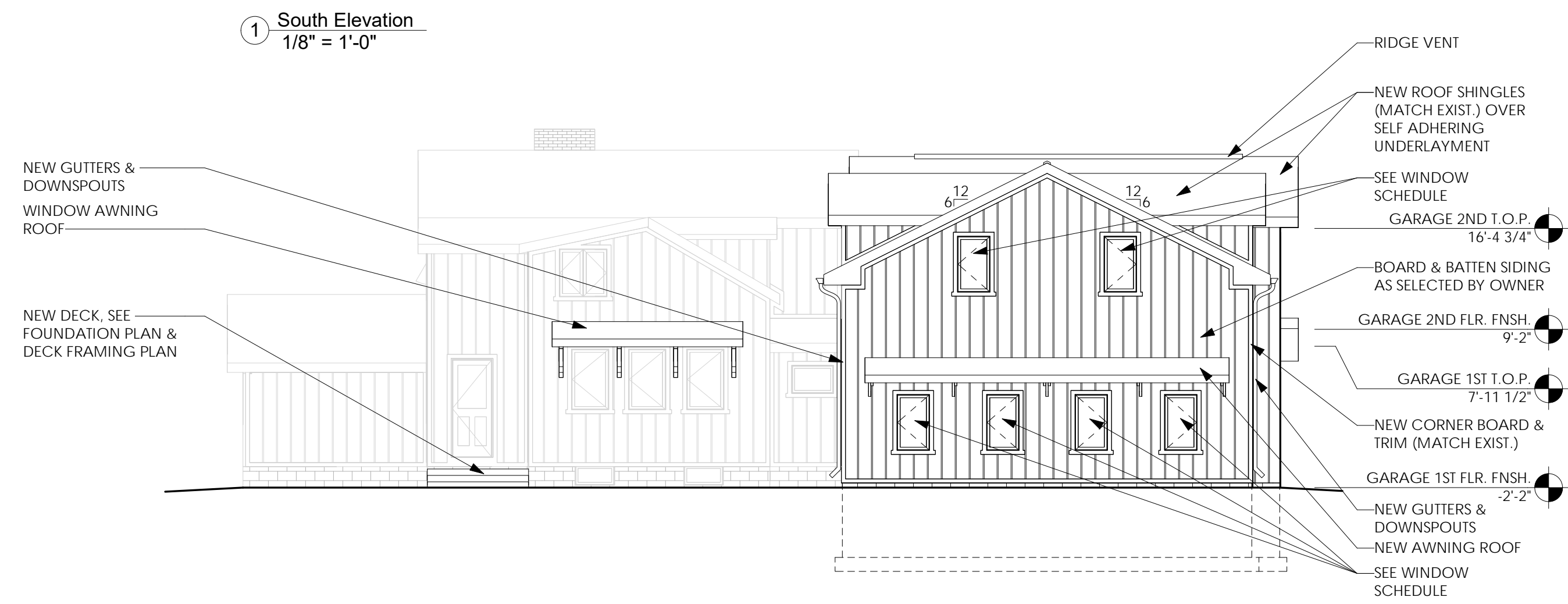




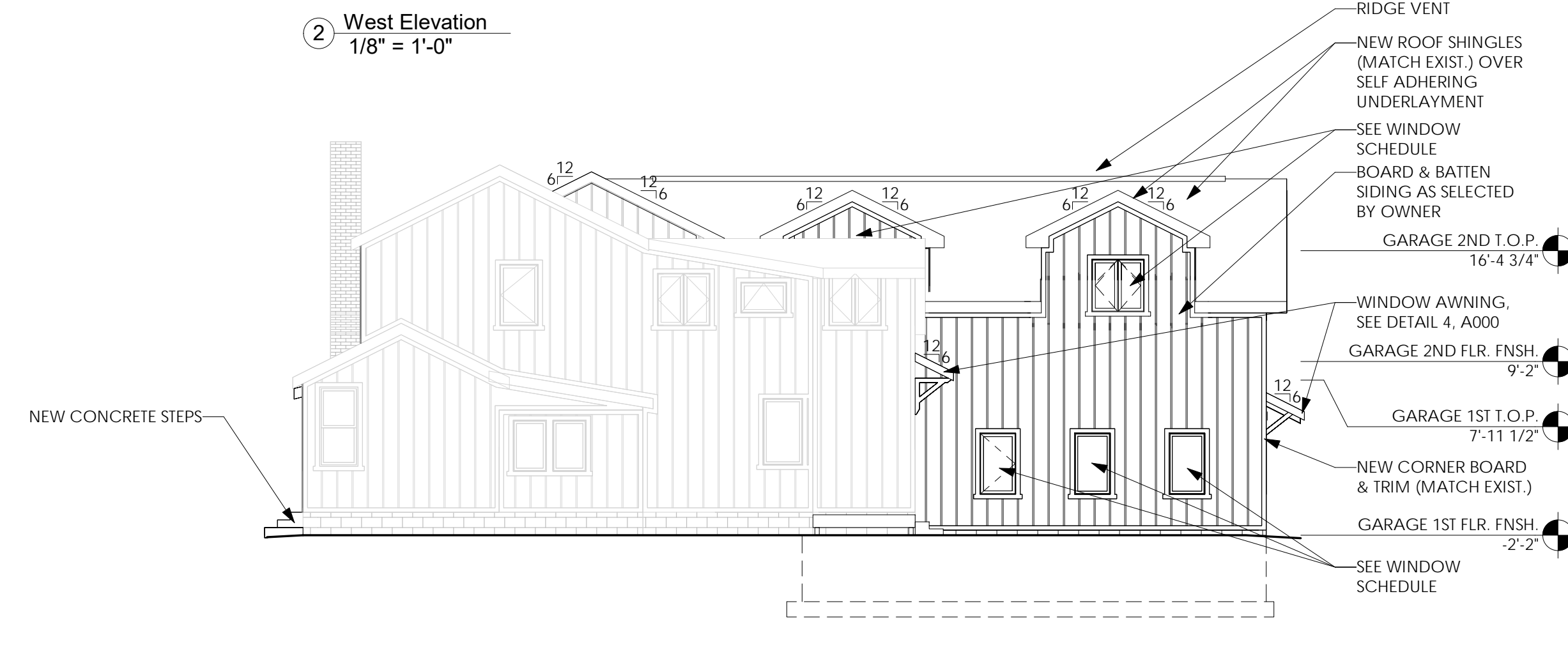
1 South Elevation  
1/8" = 1'-0"



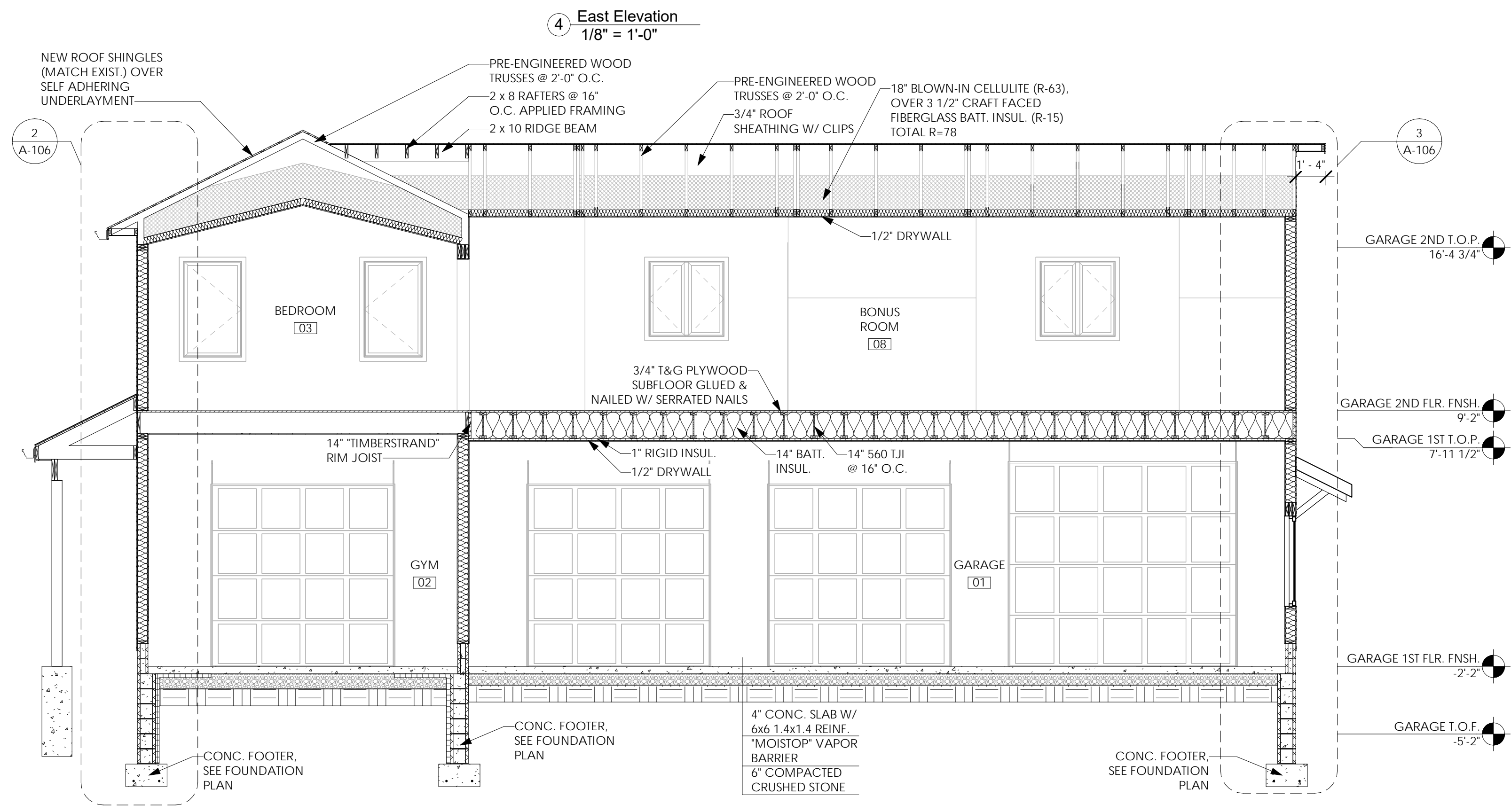
2 West Elevation  
1/8" = 1'-0"



3 North Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



5 Building Section  
1/4" = 1'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

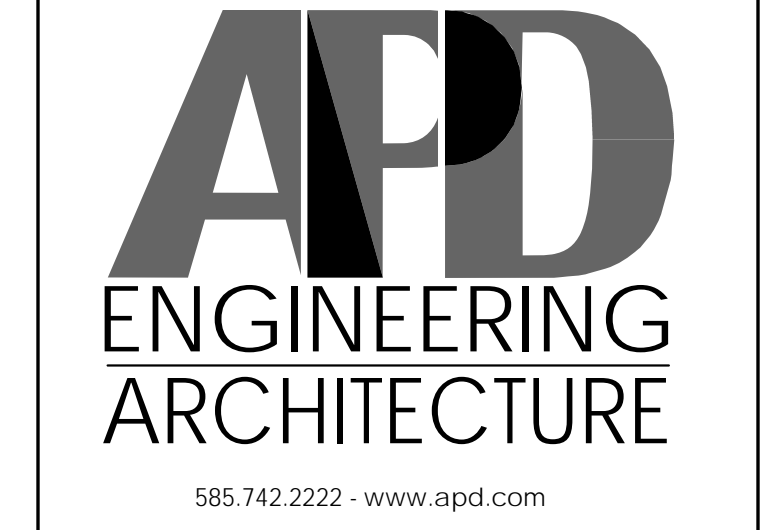
Revisions:	Date:



Project Architect/Engineer Date:  
Architect/Engineer Name  
Project Lead Date:  
Lead Name  
Project Designer Date:  
Designer Name

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2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:

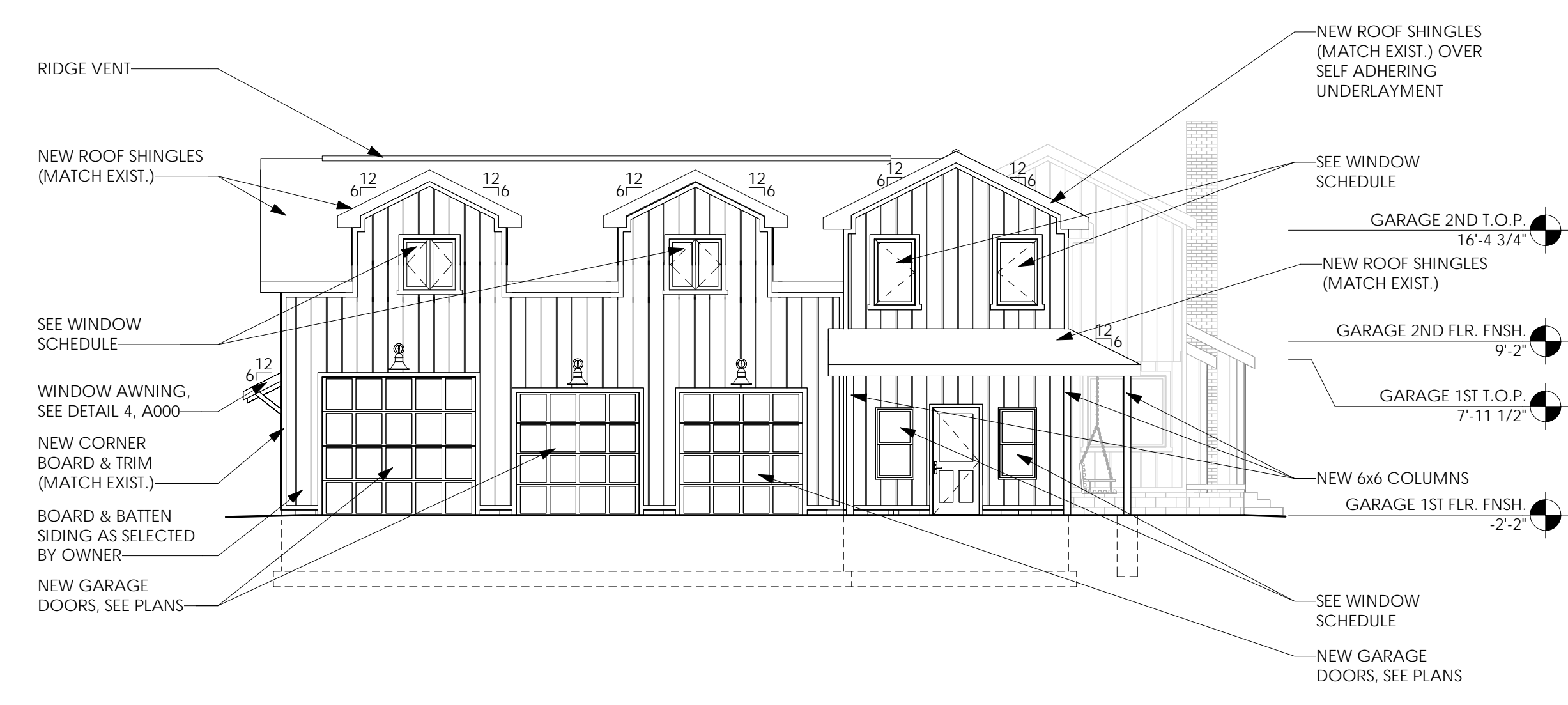
Exterior Elevations & Building Sections

Drawing Name:

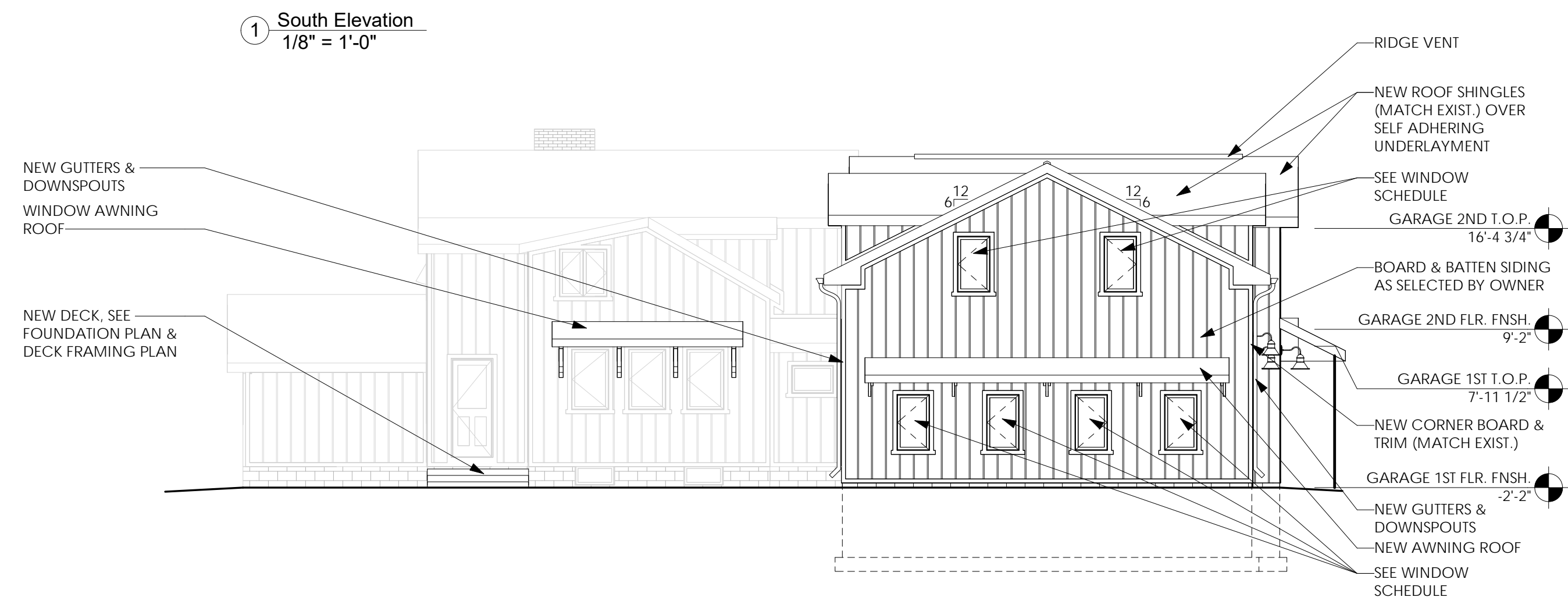
Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-104
Scale: As Noted	Drawing No.



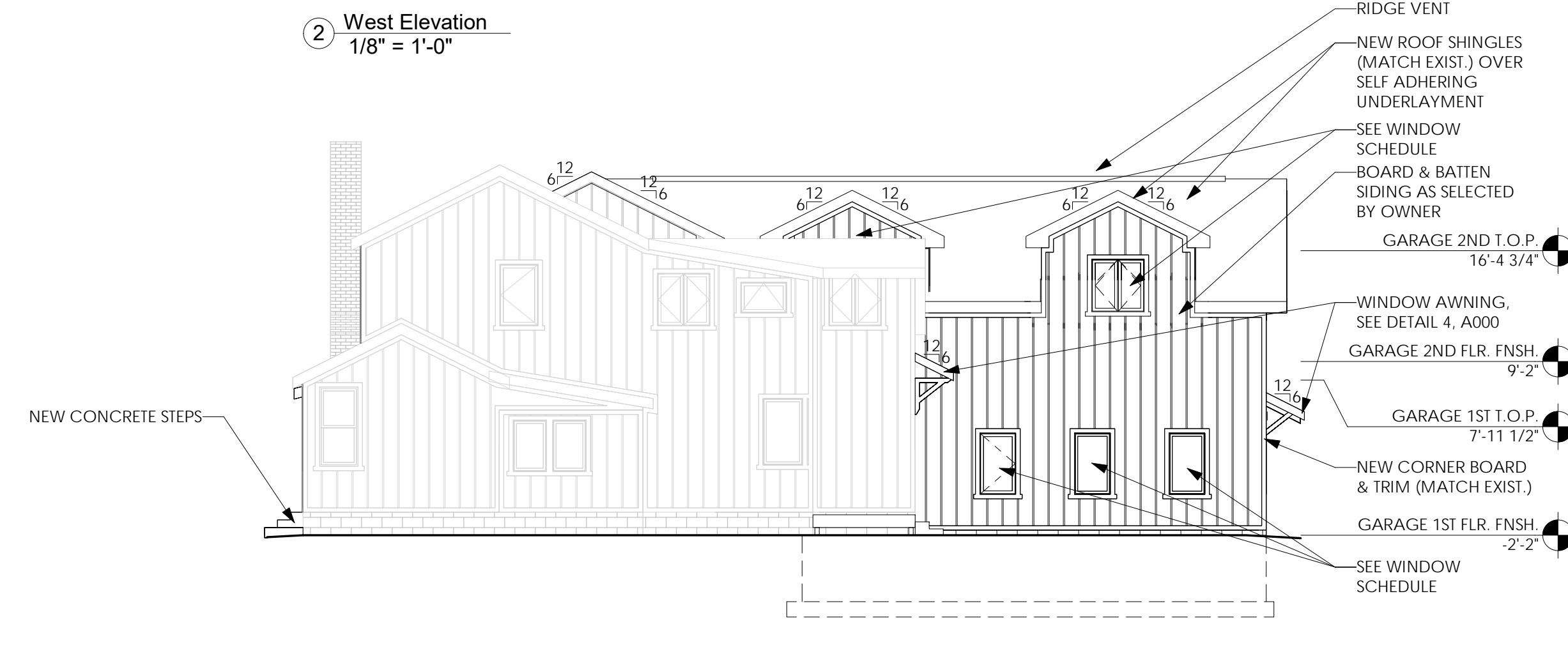
1 South Elevation  
1/8" = 1'-0"



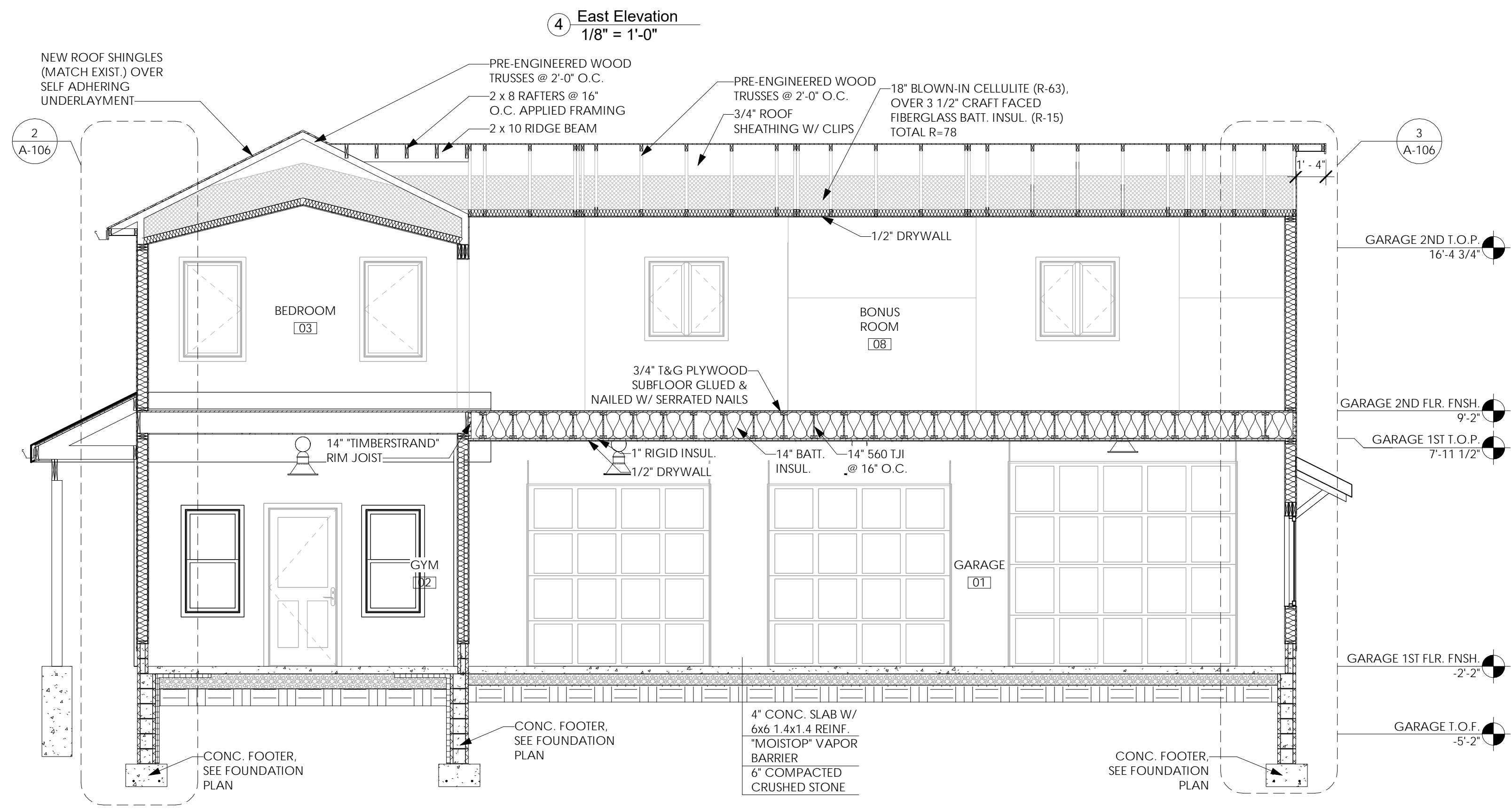
2 West Elevation  
1/8" = 1'-0"



3 North Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



5 Building Section  
1/4" = 1'-0"

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Project Architect/Engineer	Date:
Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:

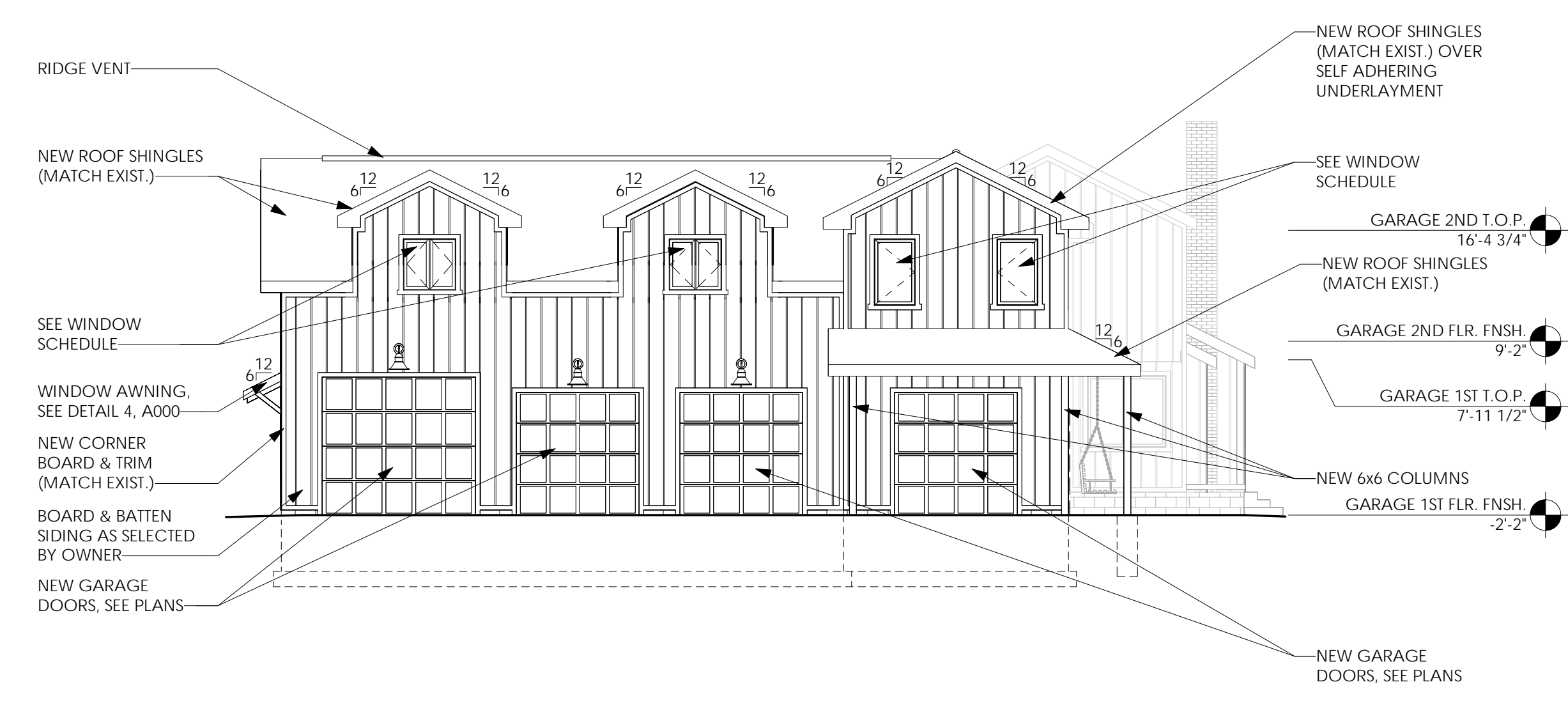
Exterior Elevations & Building Sections

Drawing Name:

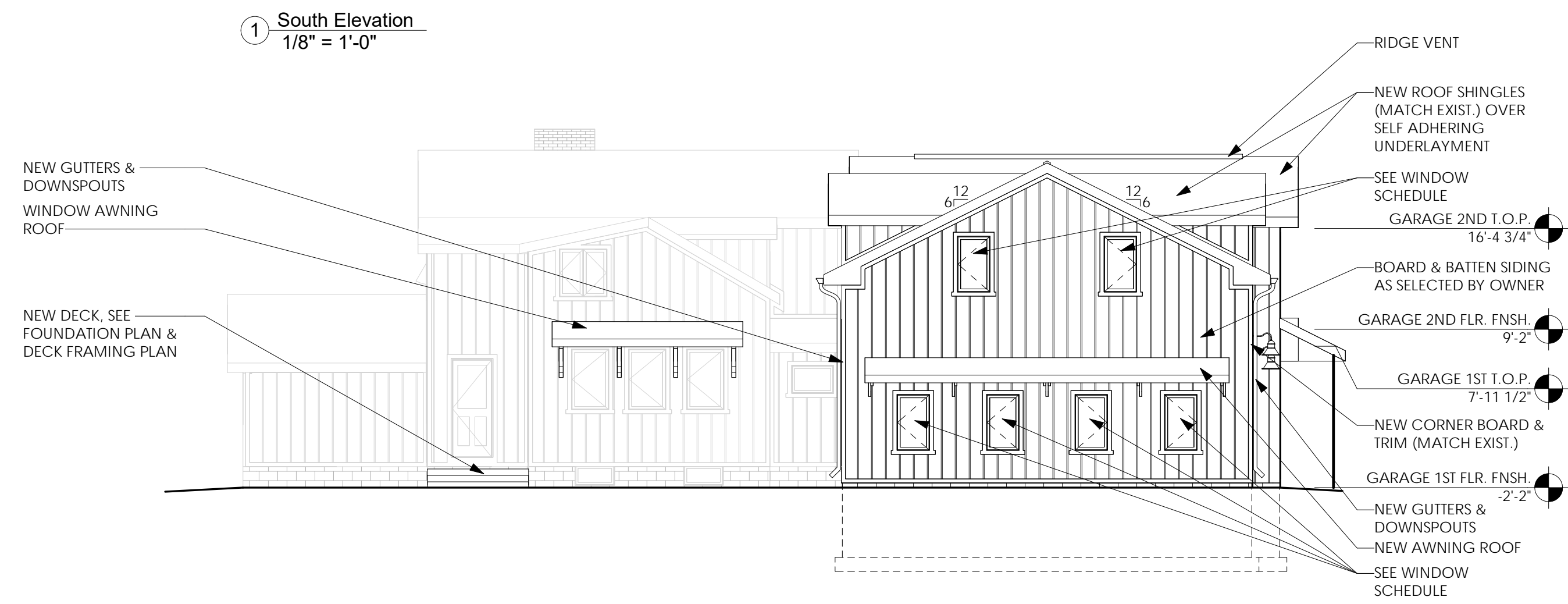
Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-104
Scale: As Noted	Drawing No.



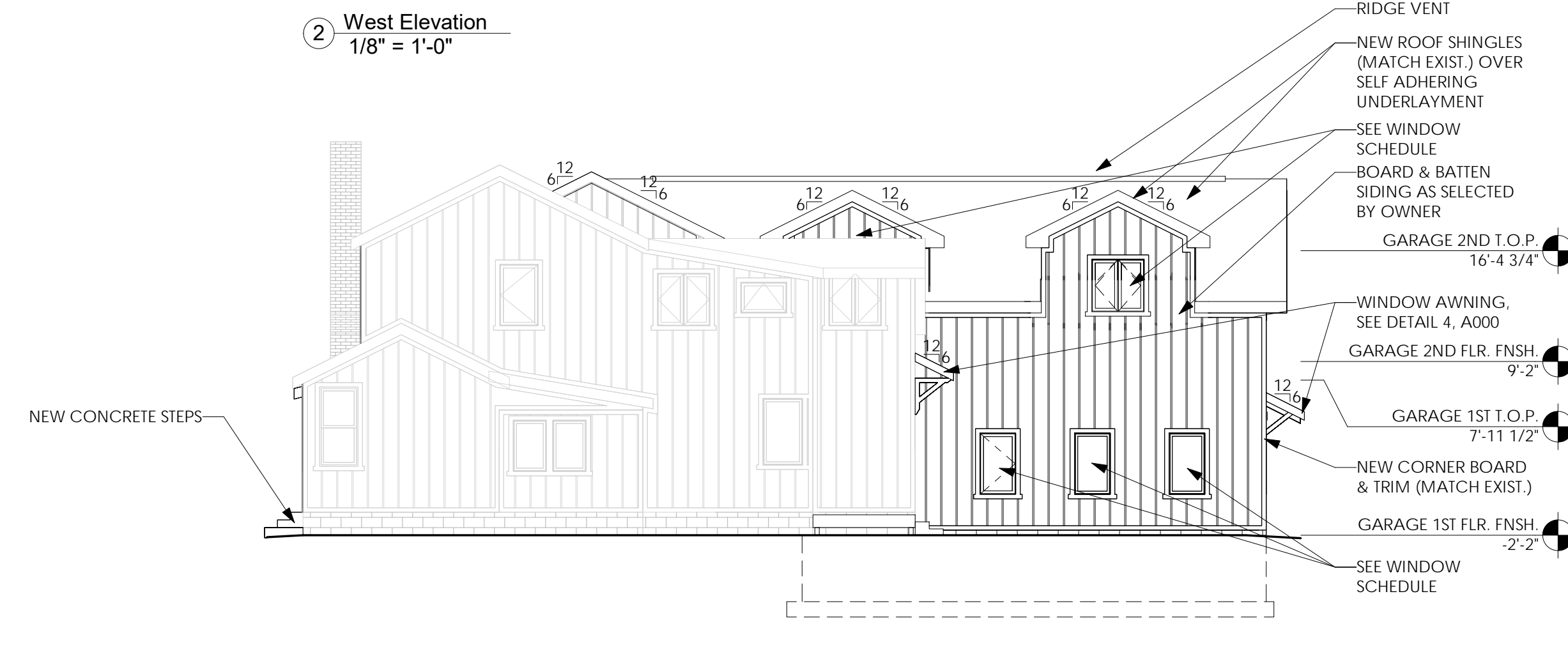
1 South Elevation  
1/8" = 1'-0"



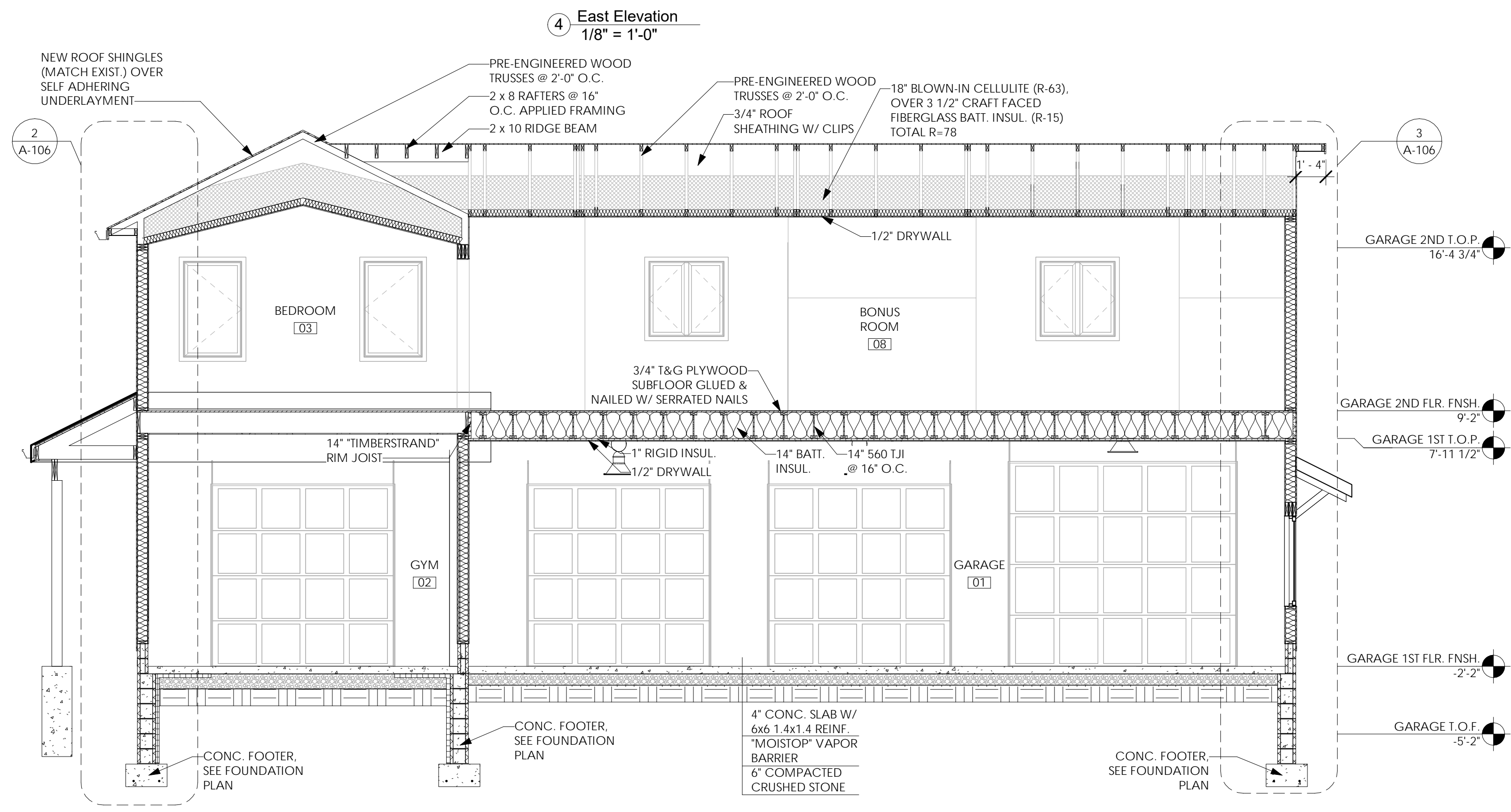
2 West Elevation  
1/8" = 1'-0"



3 North Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



5 Building Section  
1/4" = 1'-0"

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Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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Monroe County

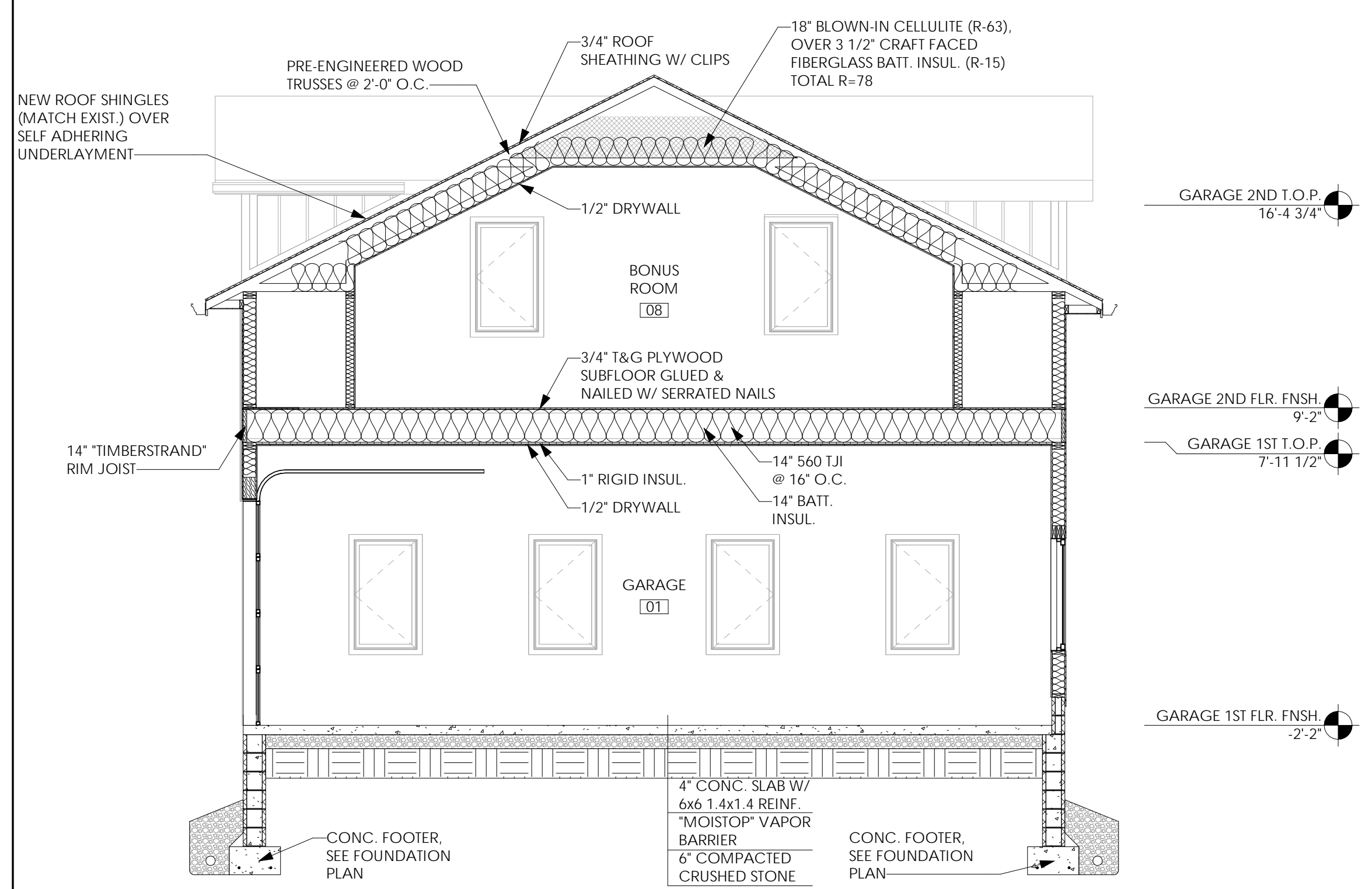
Project Name & Location:

Exterior Elevations & Building Sections

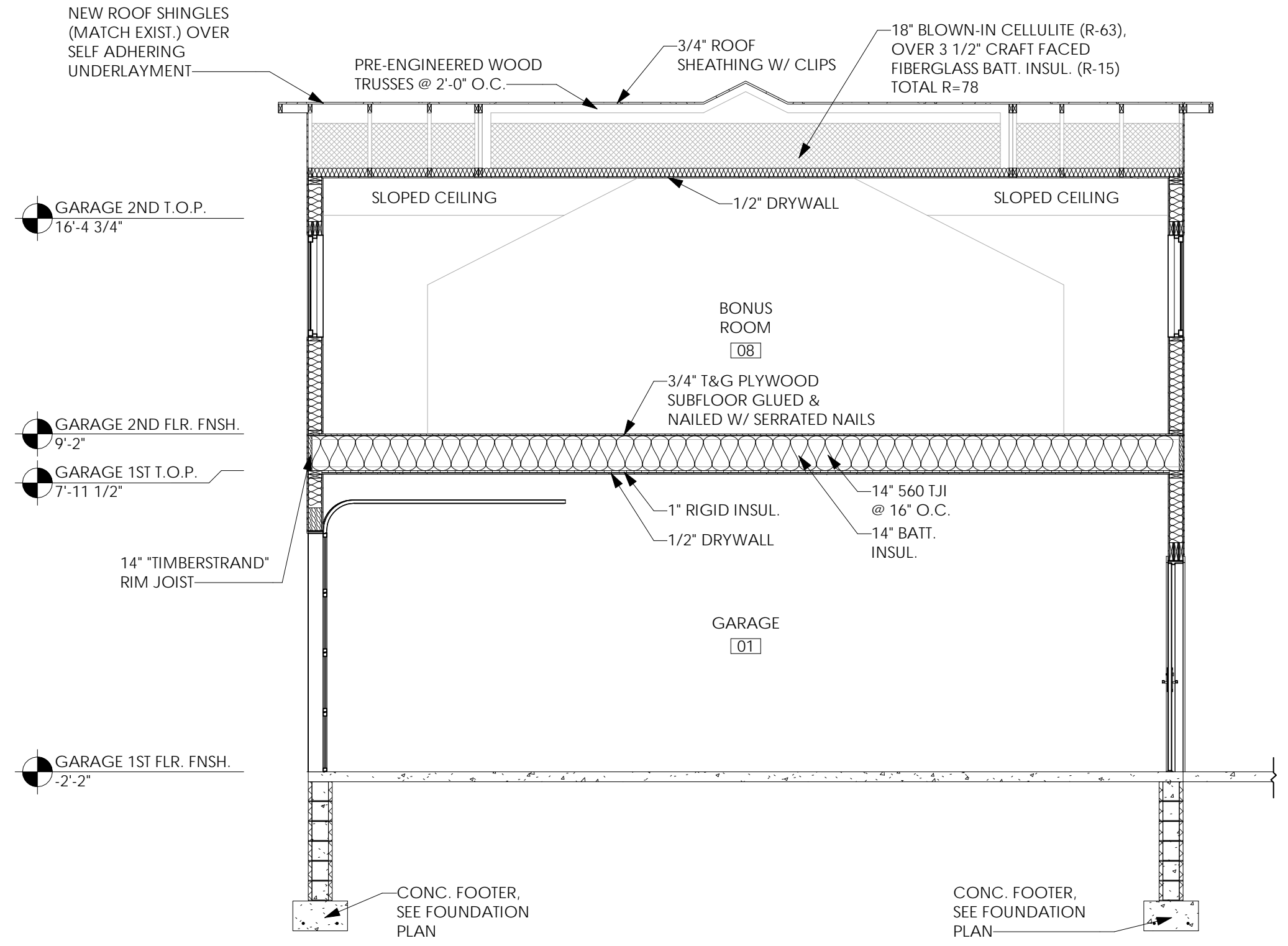
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Type: Residential	
Drawn By: NMH	A-104
Scale: As Noted	Drawing No.

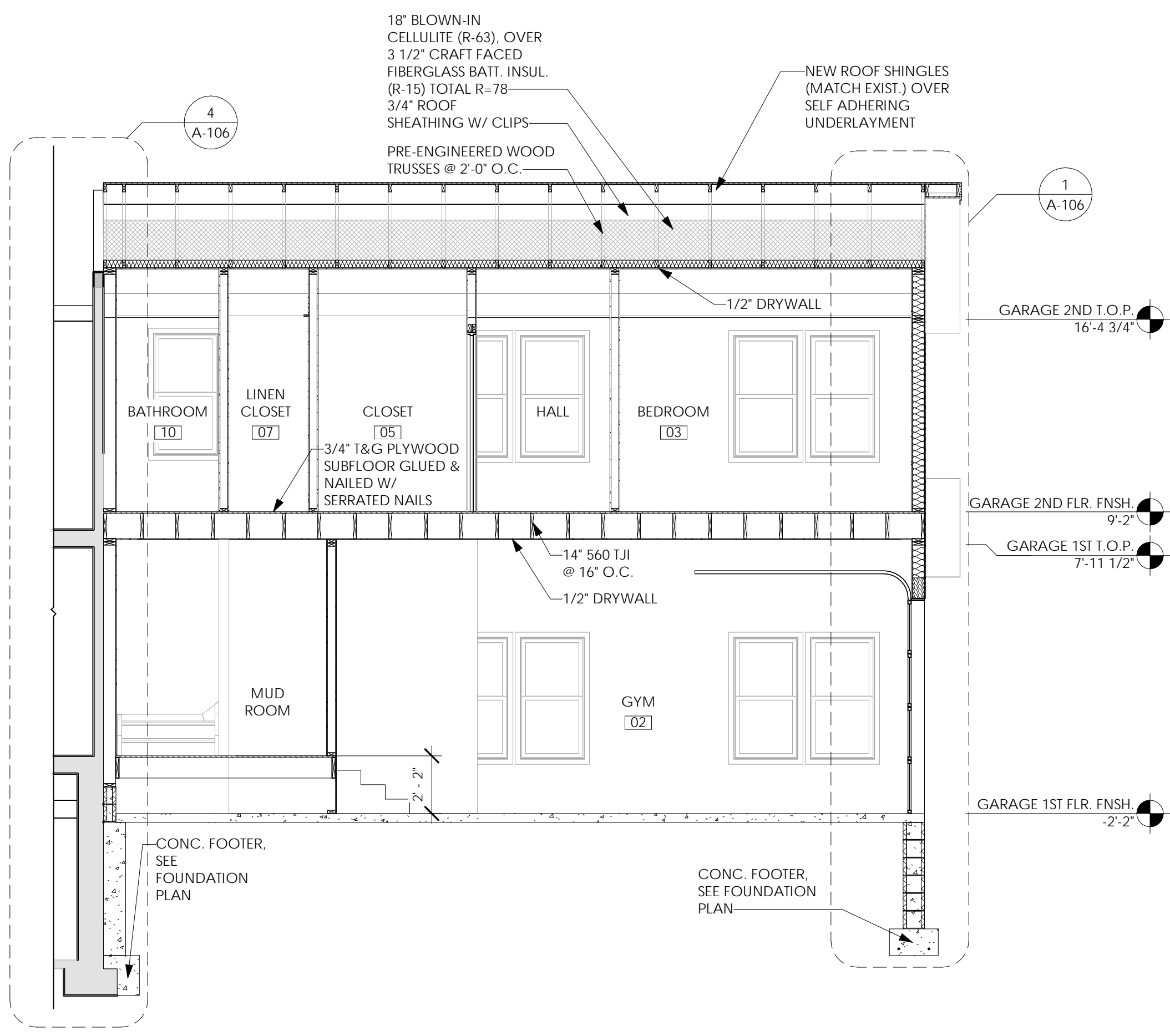




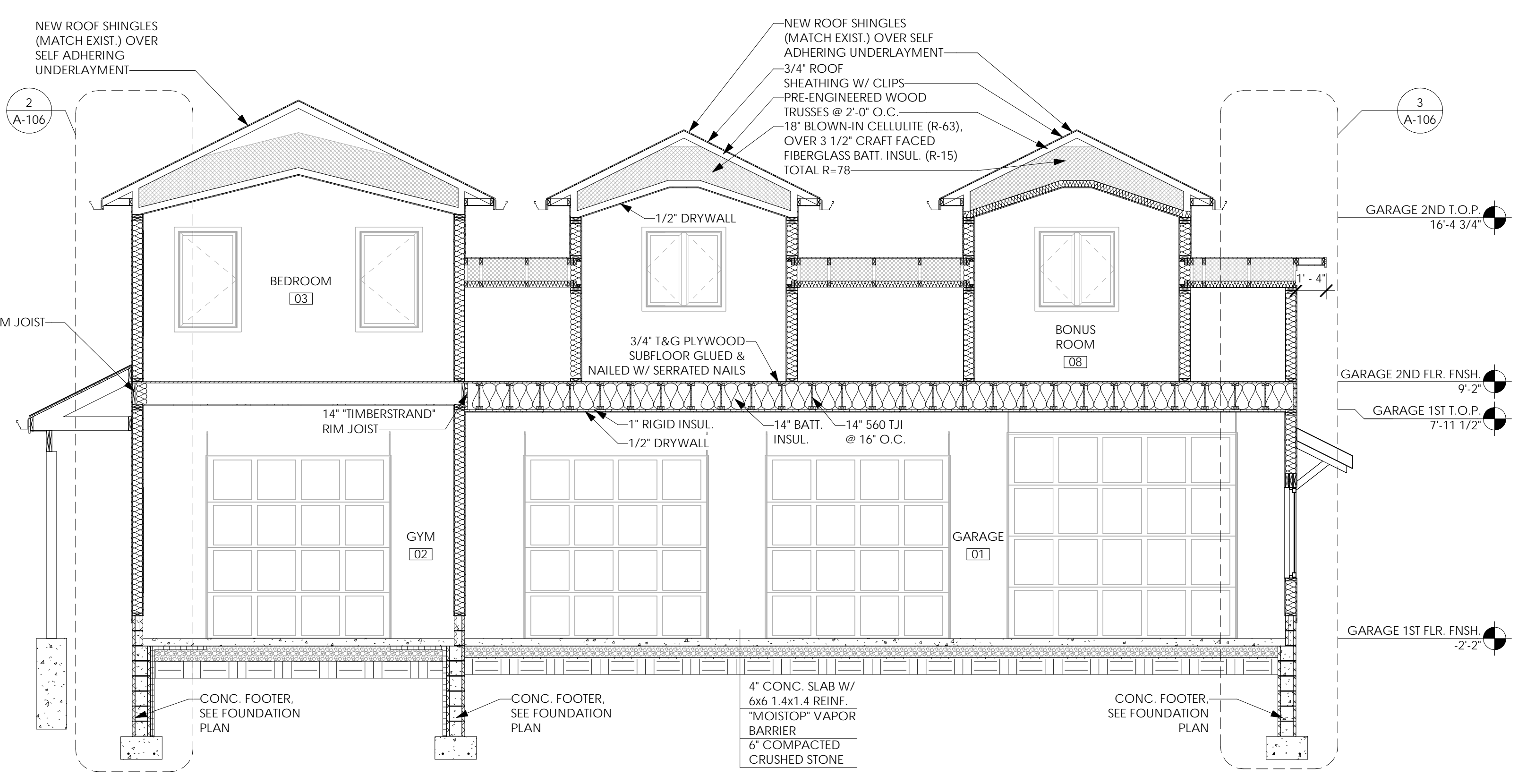
① Building Section @ Bonus Room  
1/4" = 1'-0"



② Building Section @ Dormer  
1/4" = 1'-0"



③ Building Section @ Gym  
1/4" = 1'-0"



④ Building Section @ Dormer Face  
1/4" = 1'-0"

Issued:	Date:
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Architect/Engineer Name	Date:
Project Lead	Date:
Lead Name	Date:
Project Designer	Date:
Designer Name	Date:

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Young Residence Addition  
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Pittsford, NY 14534  
Monroe County

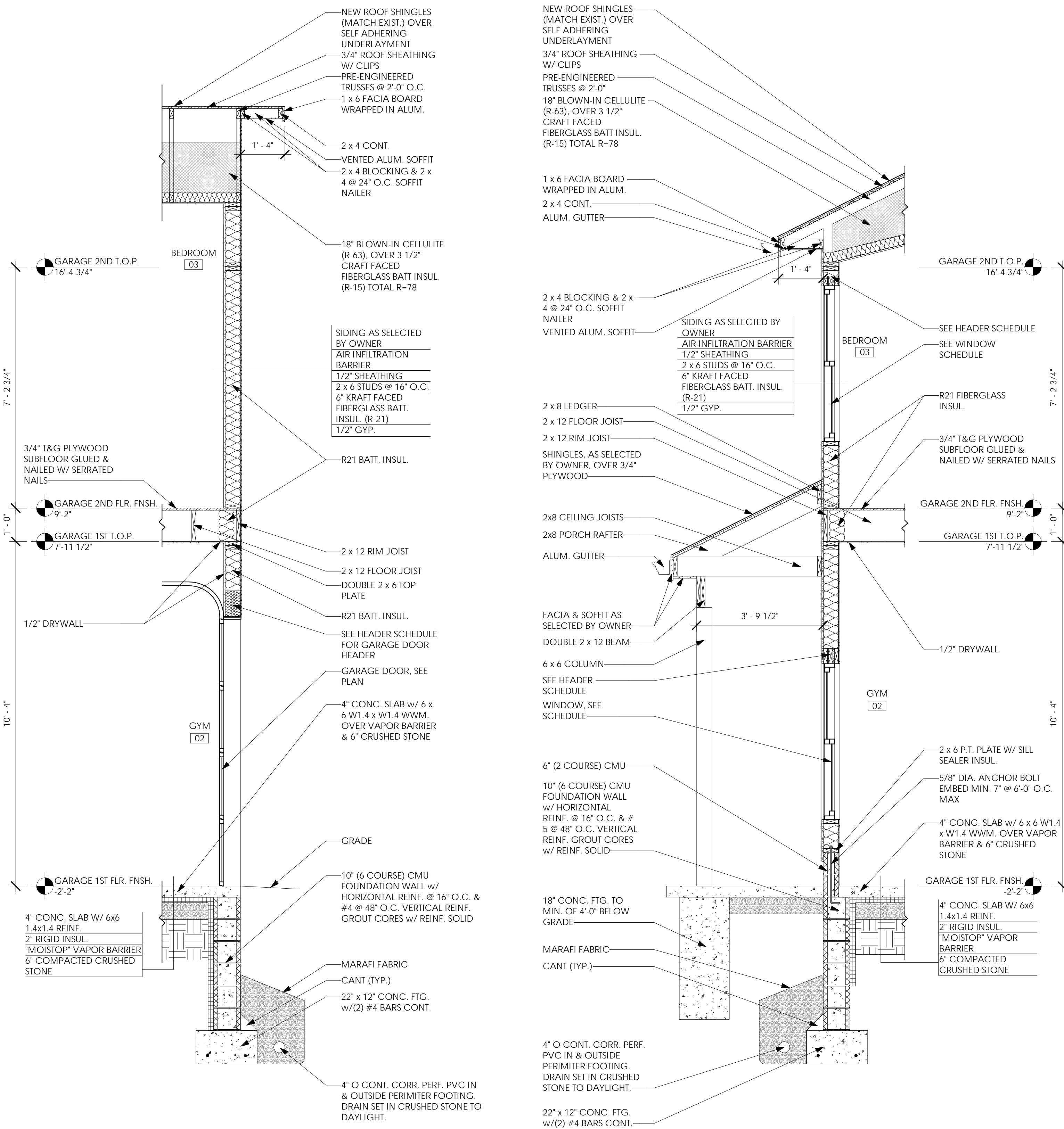
Project Name & Location:

Building Sections

Drawing Name:	Project No.
Date: 11/07/22	21-0511
Type: Residential	A-105
Drawn By: NMH	Drawing No.
Scale: As Noted	

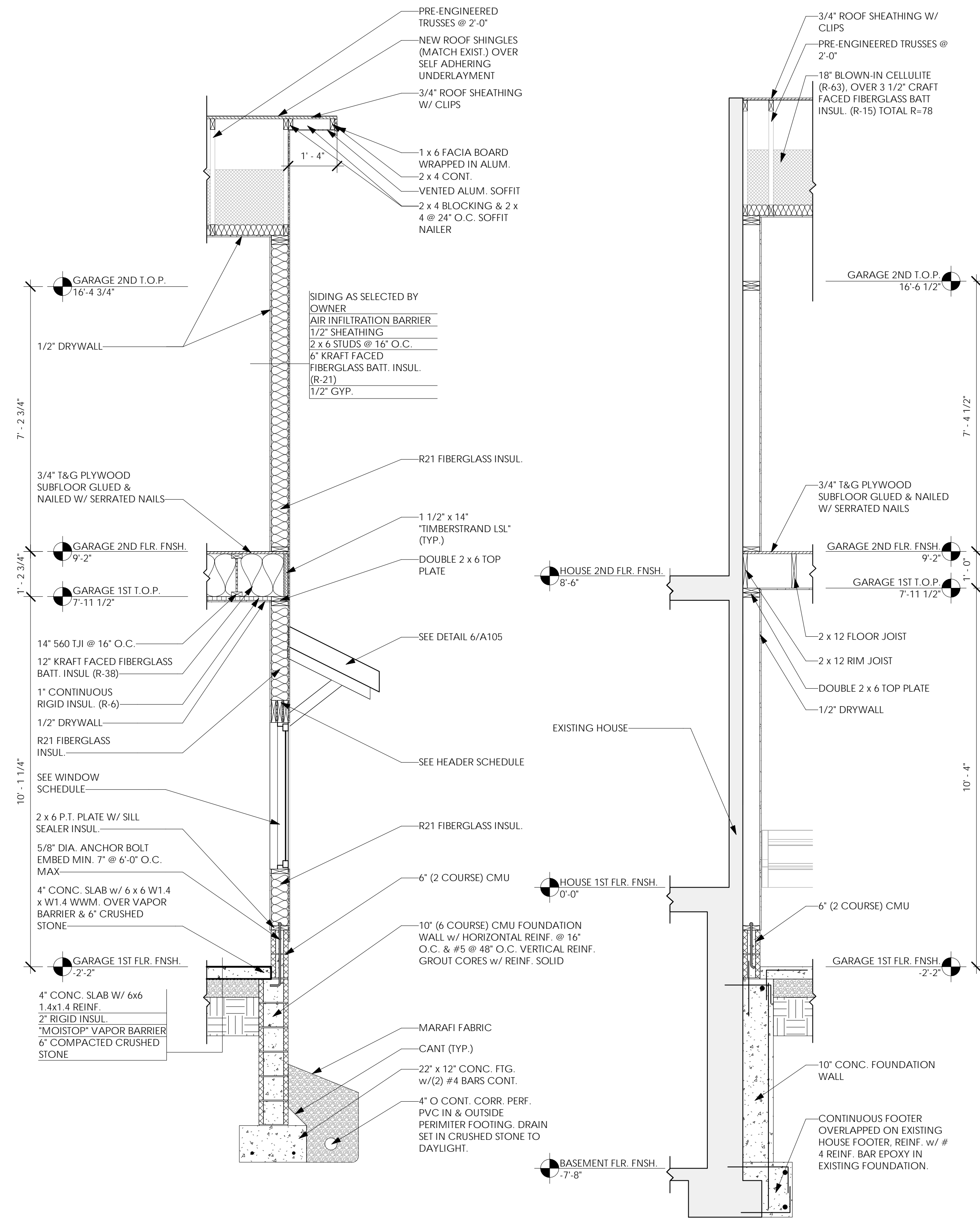
PLOTTED: 2/2/2023 8:46:14 AM

PLOTTED: 2/2/2023 8:46:23 AM



1 Wall Section @ Bedroom  
1/2" = 1'-0"

2 Wall Section @ Gym  
1/2" = 1'-0"



3 Wall Section @ Boat Bay  
1/2" = 1'-0"

4 Wall Section @ House  
1/2" = 1'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

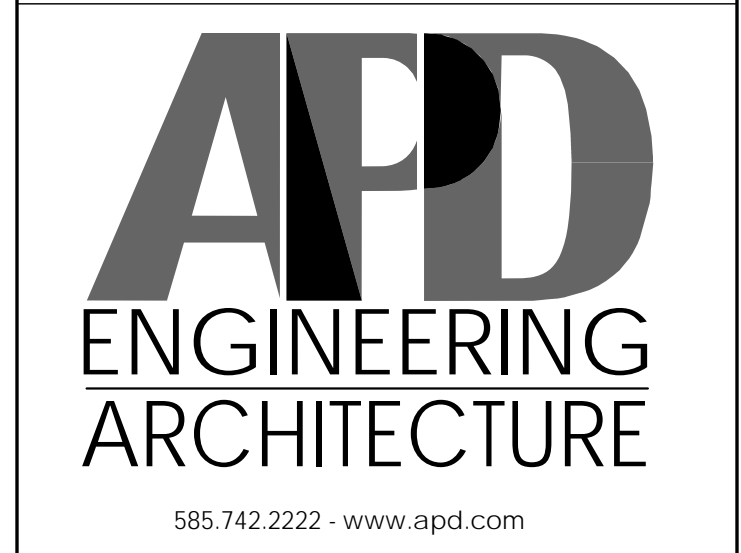
Revisions:	Date:



Project Architect/Engineer Date:  
 Architect/Engineer Name  
 Project Lead Date:  
 Lead Name  
 Project Designer Date:  
 Designer Name

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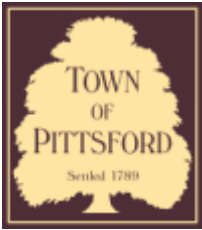
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Young Residence Addition  
 2490 Lehigh Station Rd  
 Pittsford, NY 14534  
 Monroe County  
 Project Name & Location:

Wall Sections

Drawing Name:	Project No.
Date: 11/07/22	21-0511
Type: Residential	A-106
Drawn By: NMH	Drawing No.
Scale: As Noted	



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000048

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 8 High Street PITTSFORD, NY 14534

**Tax ID Number:** 151.14-1-47

**Zoning District:** RN Residential Neighborhood

**Owner:** Preble, Stefan F

**Applicant:** Preble, Stefan F

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

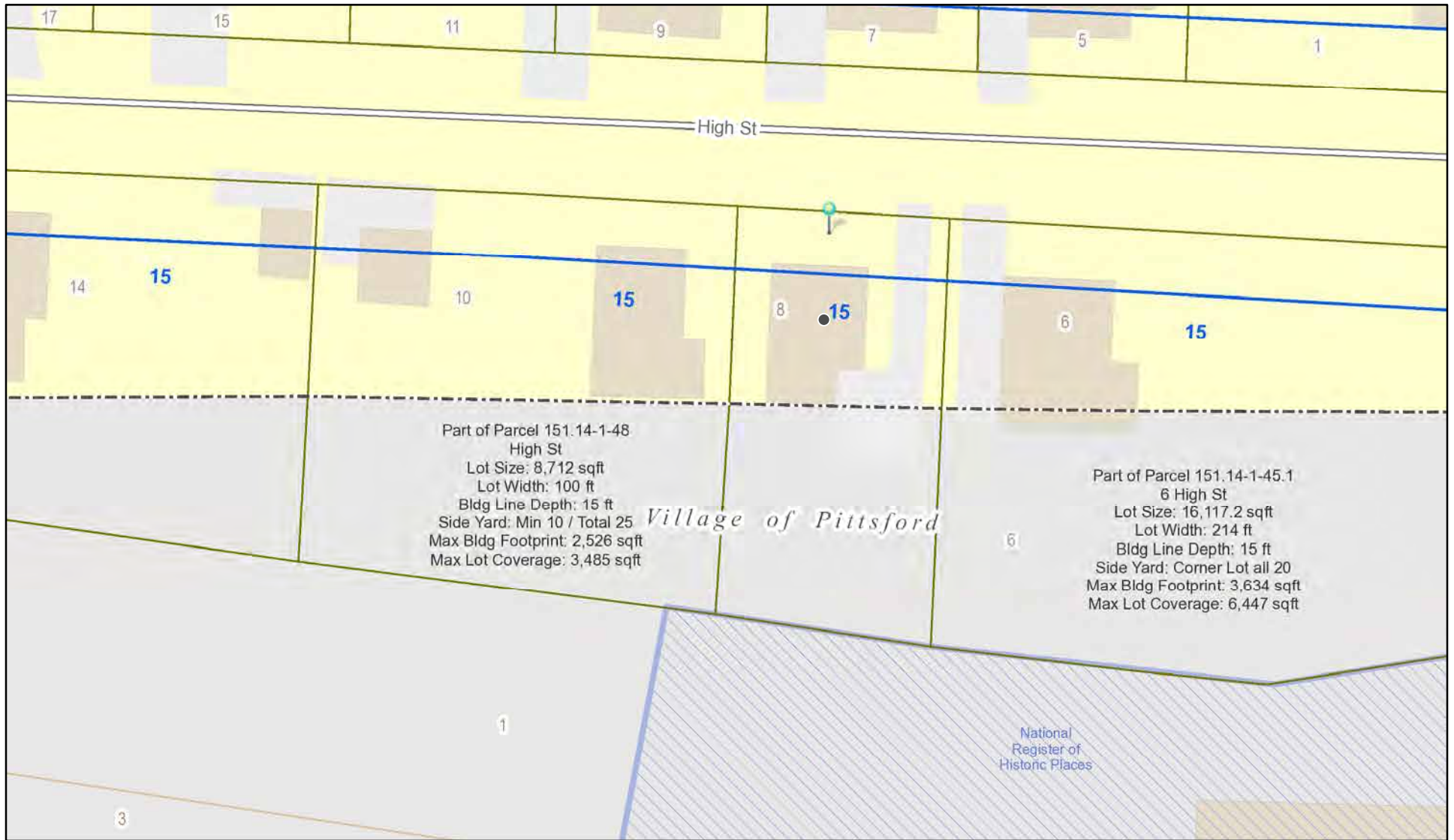
**Project Description:** The applicant is requesting design review for a 432 SF master bedroom addition off the back of the house.

**Meeting Date:** April 27, 2023

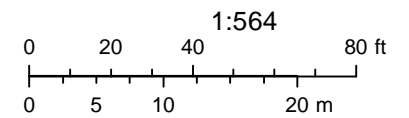




# RN Residential Neighborhood Zoning



Printed April 12, 2023



Town of Pittsford GIS

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High St

04/03/2021

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**ABBREVIATIONS:**

AAT	ACCESSIBLE/ACUSTICABLE	IDA	INSIDE DIAMETER	VERT	VERTICAL
AB	ANCHOR/BOLT	INCL	INCLUDE	VEST	VESTIBULE
ABV	ABOVE	INSUL	INSULATION	VF	VERIFY IN FIELD
ACST	ACOUSTICAL	INT	INTERIOR	VF	VINYL REINFORCED TILE
ADJ	ADJACENT	INV	INVERT	VS	VENT STACK
A.F.F.	ABOVE FINISHED FLOOR	JT	JOINT	VP	VENT PIPE
ALUM	ALUMINUM	KIT	KITCHEN	W	WIDE
ANOD	ANODIZED	LAM	LAMINATE	W	WITH
APPROX	APPROXIMATE	LAV	LAVATORY	W	WAINSCOT
ARCH	ARCHITECT	LB	LOAD BEARING	WC	WALL COVERING
ASPH	ASPHALT	LG	LONG	WD	WOOD WIDE FLANGE
ATT	ATTACHED	LH	LEFT HAND	WF	WATER HEATER
B.B.D.	BULLETIN BOARD	LLH	LONG LEG HORIZONTAL	WH	WET ROOM
BD	BOARD	LLV	LONG LEG VERTICAL	WP	WATERPROOF
B.D.M.	BUILDING	LOC	LOCATION	WR	WATER RESISTANT
BLK	BLOCK	LOU	LOUVER	WT	WEIGHT
BM	BEAM	LTV	LEVEL	WWF	WOVEN WIRE
B.O.F.	BOTTOM OF FOOTING	LW	LIGHT WEIGHT	YD	YARD
B.O.H.	BOTTOM OF HEADER	MANUF	MANUFACTURER		
BRG	BRICK	MAIL	MAIL		
BSMT	BASEMENT	MAX	MAXIMUM		
BTM	BOTTOM	MECH	MECHANICAL		
BTWN	BETWEEN	MEMB	MEMBRANE		
CRPT	CARPET	MFR	MANUFACTURER		
CAB	CABINET	MH	MANHOLE		
CANTLVRD	CANTILEVERED	MIN	MINIMUM		
CB	CATCH BASIN	MISCL	MISCELLANEOUS		
CC	CENTER/O CENTER	MO	MASONRY OPENING		
CMNT	CEMENT	MON	MONUMENT		
CH	CONCRETE HARDENER	MT	MOUNTED		
CJ	CAST IRON	MUL	MULLION		
CLST	CLOSET	N	NORTH		
CLG	CENTER LINE	NA	NOT APPLICABLE		
CLKG	CAULKING	NEC	NECESSARY		
CMU	CONCRETE MASONRY UNIT	NH	NOW HEALING		
CO	CLEANOUT	NLIC	NOT IN CONTRACT		
COL	COLUMN	NO	NUMBER		
COMBO	COMBINATION	NOM	NOMINAL		
CONC	CONCRETE	NS	NOT TO SCALE		
CONC	CONCRETE	OA	OVERALL		
CONN	CONNECTION	OC	ON CENTER		
CONST	CONSTRUCTION	ODM	OUTSIDE DIAMETER		
CONT	CONTROL	OPG	OPENING		
CRS	COURSES	OPV	OPPOSITE		
CS	COUNTER SINK	OVR	OVER		
CT	CERAM TILE	OS	OUTSIDE TO OUTSIDE		
CTR	CENTER	P	PAINT		
D	DEEP	PC	PLASTERING		
DBL	DOUBLE	PE	PLATE CONTRACTOR		
DEPT	DEPARTMENT	PLAM	PLASTIC LAMINATE		
DF	DRINKING FOUNTAIN	PLAS	PLASTER		
DIA	DIAMETER	PLC	PLASTER		
DIM	DIMENSION	PLYW	PLYWOOD		
D.O.	DOWN	F & P	PAINT PRIME		
D.O.	DOWN	PR	PAIR		
DR	DOOR	PT	PRESSURE TREATED		
DS	DOWNSPOUT	PS	PIPE SLEEVE		
DETAL	DETAIL	PSI	POUNDS PER SQUARE INCH		
DW	DRYWALL	PT	POINT		
DWG	DRAWING	PAINT	PAINTION		
DWR	DRAWER	P.V.C.	POLYVINYL CHLORIDE		
EA	EACH	PVMT	PAVEMENT		
EJ	EXPANSION JOINT	QT	QUANTITY		
ELEV	ELEVATION	QTY	QUANTITY		
ELCT	ELECTRIC	R	RADIUS		
EMER	EMERGENCY	RB	RUBBERBASE		
ENCL	ENCLOSURE	RD	ROOF DRAIN		
ENT	ENTRANCE	REC	RECESSED		
EP	ELECTRIC PANEL	REF	REFRIGERATOR		
EQ	EQUAL	REIN	REINFORCING		
EQUIP	EQUIPMENT	REQ'D	REQUIRED		
ETC	ETCETERA	RESIL	RESILIENT		
EW	EXTERIOR	ROOF	ROOFING		
EXT	EXTERIOR	RM	ROOM		
EXC	EXCAVATE	RI	RIGHT		
EXIST	EXISTING	RI	RIGHT		
EXP	EXPANSION	RO	ROUGH OPENING		
EXP'D	EXPOSED	R.O.B.	RUN OF BANK		
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	R.O.W.	RIGHT OF WAY		
		R.R.R.	REMOVE & REPLACE		
		RS	RISERS		
FACT	FACTORY	S	SINK		
FD	FLOOR DRAIN	SC	SOLID CORE		
FE	FIRE EXTINGUISHER	SCHED	SCHEDULE		
FF	FINS/FLOOR	SD	SMOKE DETECTOR		
FIN	FINS	SECT	SECTION		
FL	FLOOR	SGU	STRUCTURAL GLAZED UNIT		
FLASH	FLASHING	SH	SHING		
FLG	FLANGE	SIDELT	SIDELIGHT		
FLOR	FLOURESCENT	SLT	SLATE		
FP	FIRE	SP	SPACE		
FRW	FIRE RETARDANT PROOF FLOOR	SPC	SPECIFICATIONS		
FT	FOOT	SQ	SQUARE		
FUR	FURRING	SS	STAINLESS STEEL		
		STD	STANDARD		
GA	GAUGE	STL	STEEL		
GALV	GALVANIZED	STOR	STORAGE		
GC	GENERAL CONTRACTOR	STR	STRUCTURAL		
GEN	GENERAL	SUSP	SUSPENDED		
GL	GLASS	T	TILE		
GR	GRADE	TB	TRENCH BRAIN		
GTP	GYPSON	TEL	TELEPHONE		
GWB	GYPSON WALL BOARD	TEMP	TEMPERED		
IB	BOARD	TERZ	TERAZZO		
Q & N	GLUE & NAIL	T & G	TONGUE & GROOVE		
G & S	GLUE & SCREW	THK	THICK		
H	HIGH	THR	THRESHOLD		
HB	HOSE BIBB	TOP	TOP OF PLATE		
HC	HANDICAPPED	TOS	TOP OF SLAB		
HD	HEAVY DUTY	TR	TREAD		
HDR	HEADER	TRP	TYPICAL		
HDWD	HARDWOOD	UH	UNTREATED		
HDWR	HARDWARE	UNF	UNFINISHED		
HOT	HEAT	UNL	UNLESS OTHERWISE NOTED		
H.M.	HOLLOW METAL	V	VENT		
HORIZ	HORIZONTAL	VAR	VARIABLE		
HR	HOOR	VB	VINYL BASE		
HRVC	HEATING & VENTILATING CONTRACTOR	VCT	VINYL COMPOSITION TILE		
HVAC	HEATING VENTILATING & AIR CONDITIONING				

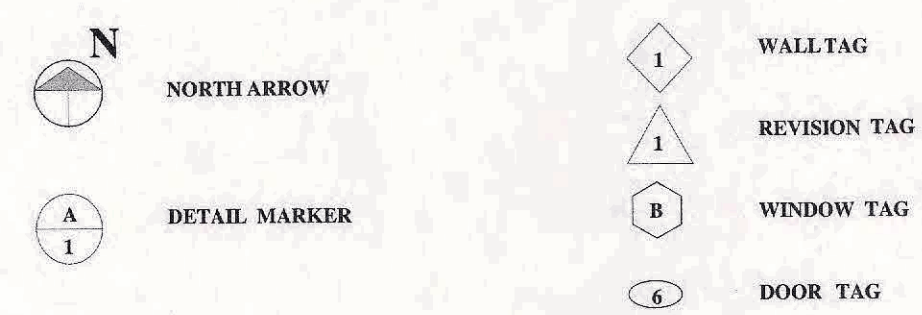
**PREBLE RESIDENCE**



**DRAWINGS:**

- C1 COVER SHEET
- A1 ELEVATION VIEWS
- A2 FOUNDATION PLAN
- A3 FLOOR PLANS
- A4 SECTION VIEWS

**SYMBOLS KEY:**



**STRUCTURAL MATERIAL SPECIFICATIONS:**

STRUCTURAL STEEL	ASTM A-36, Fy=36KSI
REINFORCED STEEL	ASTM A-615, Fy=60KSI
WIRE MESH	ASTM A-185, 6x6-10@10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ECT. TO BE #2 GRADE LUMBER/DOUGLAS FIR, LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE, PINE-FIR WITH A MIN. FIBER STRESS OF 800 PSI UNLESS NOTED OTHERWISE
PLYWOOD	CDX PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 235 Es = 106 - 19 I <sub>e</sub> = 750
MASONRY	ASTM C90, GRADE N-1 Fm=1350 PSI
MORTAR	ASTM C20, TYPE 5
GROUT	F=2000 PSI ASTM C476
CONCRETE	F=2500 PSI MIN. (FOOTINGS, BASEMENT SLAB & FLOOR SLAB) F=3500 PSI MIN. (GARAGE SLAB, PORCH SLAB & POURED FOUNDATION WALLS) ALL CONCRETE EXPOSED TO FROST OR WEATHER SHALL BE AIR ENTRAINED BETWEEN 4.5% & 6.5%
BOLTS	ASTM A307, Fy=63 KSI

**DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA AND ADJACENT COUNTIES)**

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING & ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING 4" BELOW FINISHED GRADE	2500 P.S.F. AT MINIMUM
WIND SPEED	115 MPH. EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECADAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 2" INSIDE THE EXTERIOR WALL LINE AND ON ROOFS WITH SLOPES OF 1/12 AND STEEPER 3/4" MIN. ALONG THE ROOF SLOPE & EAVE EDGE
FLOOR HAZARD	FIRM-2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

**GENERAL NOTES:**

THESE PLANS COMPLY WITH 2020 NEW YORK STATE RESIDENTIAL BUILDING & ENERGY CONSERVATION CONSTRUCTION CODES, AND 2017 NEC ELECTRICAL CODE

COMPLIANCE METHOD RESCHECK CERTIFICATE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER OR OWNER OF THE BUILDING TO NOTIFY THE DESIGNER OF ANY DEVIATION FROM THESE DRAWINGS

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CONSERVATION CODES - STATE AND/OR LOCAL

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPT AND THAT DEPT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THE PLANS

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NYS EXIT REQUIREMENTS

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR/SUB-CONTRACTOR SHALL CONTACT THE DESIGNER BEFORE CONSTRUCTION FOR CLARIFICATION. IF THE DESIGNER IS NOT CONTACTED, THE CONTRACTOR/SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS / PROGRAM IN CONNECTION WITH THE WORK

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS, USE DIMENSIONS GIVEN

THE CONTRACTOR/OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO DIGGING

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNERS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY, ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE

**SITE WORK:**

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 NYS RESIDENTIAL BLDG CODE TO SUIT A CENTRAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTE THE STRUCTURAL INTEGRITY OF THE BUILDING

CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 PSF AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATION

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY THE DESIGNER OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATIONAL, DRAINAGE, OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS, AND HIGH GROUND WATER TABLE

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTORS TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPARTMENT

**FOUNDATION:**

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL. ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS

BASEMENT CELLAR WALL AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL. CONDITIONS TO THE FULL WALL DEPTH SHOULD SATURATED CONDITIONS BE ENCOUNTERED. OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS

CONTRACTOR ASSUMES FULL RESPONSIBILITIES FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED

POSITIVE DRAINAGE SHOULD BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALL AND FOOTINGS

CONTINUOUS FABRIC WRAPPED 4" PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALL WHICH DRAINS TO THE SUMP PUMP A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER REINFORCEMENT CHARTS

**FIREPLACES:**

DIRECT VENT GAS FIREPLACE UNITS TO BE SELECTED BY THE OWNER AND INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS

NEW WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTING PLU DAMPERS OR DOORS AND OUTDOOR COMBUSTION AIR WHERE USING TIGHT FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127. FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

**FRAMING:**

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN INCLUDING SPACING OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE COVERING STATE

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION

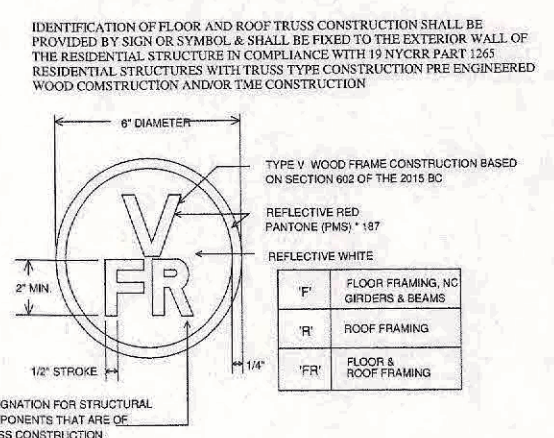
UNDER ALL CONCEALED WOOD BEARING POSTS PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH A MINIMUM OF 3-2x6 OR 2-2x8 HEADER UNLESS NOTED OTHERWISE

BUILDING ASSUMES FULL RESPONSIBILITY FOR MAINTENANCE AND STRUCTURAL INTEGRITY OF JOIST, BEAMS, OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHERING, HANDLING, STORAGE, RESALING OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION

**TRUSS IDENTIFICATION:**



**THOMAS M. LANEY, PE**  
 304 WASHINGTON ST  
 SPENCERPORT, NY 14559  
 (585)-319-9032

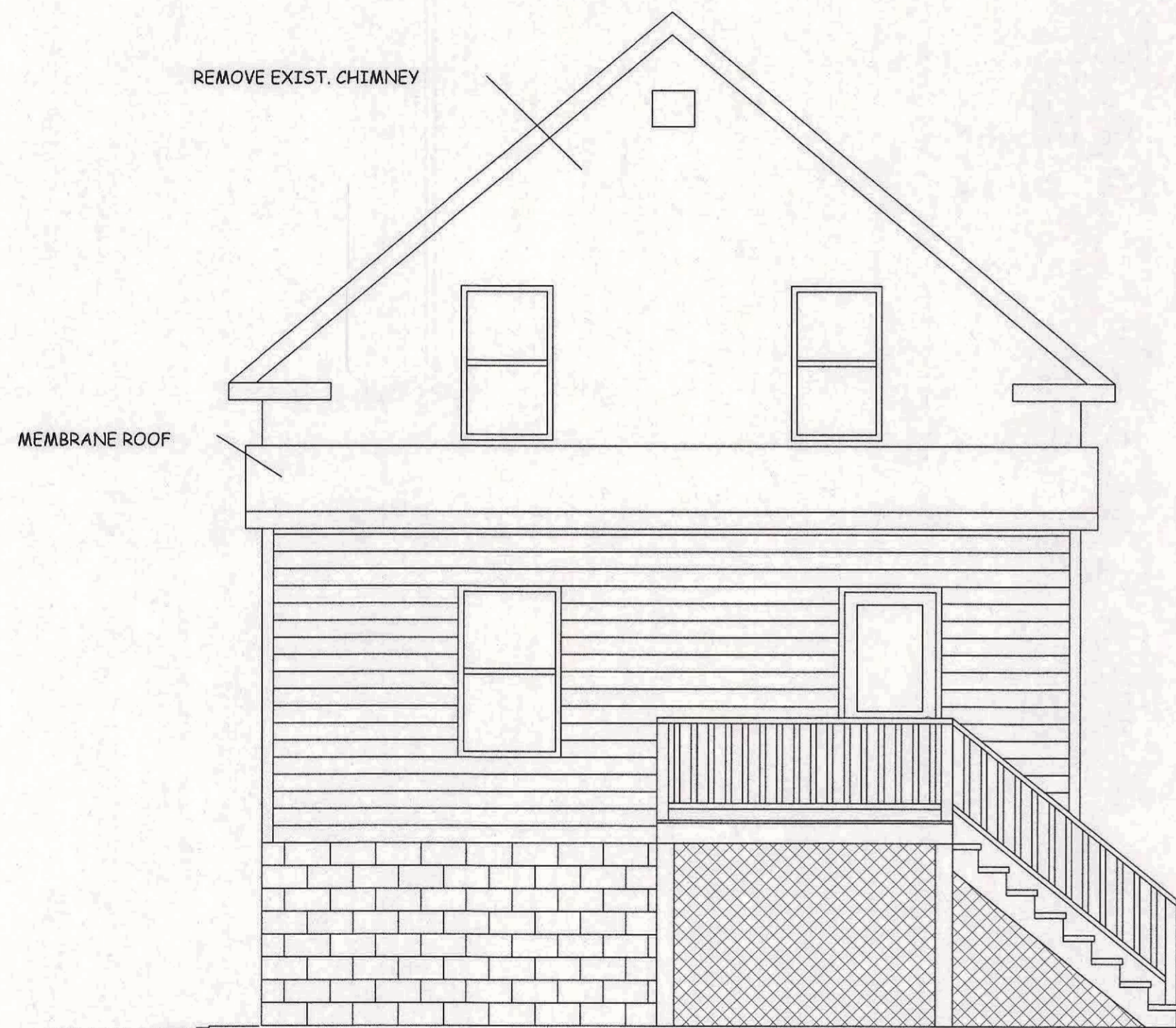


**TITLE SHEET**

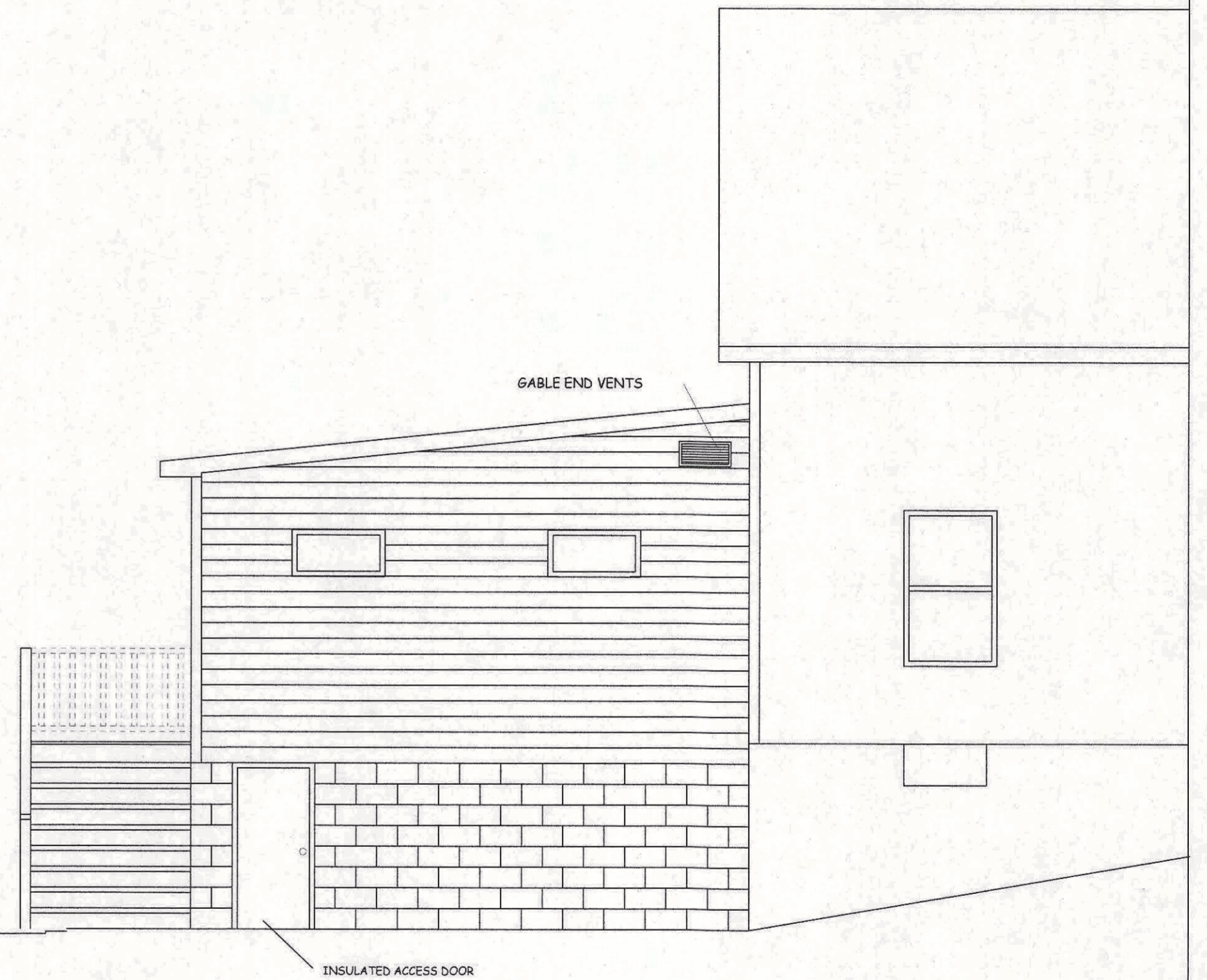
SCALE	APPROVED:	DRAWN BY:
DATE: 10/19/22	T. M. LANEY	T. M. LANEY
ADDITION FOR STEFAN PREBLE		
8 HIGH ST, PITTSFORD, NY		
		C1 1



REAR ELEVATION



EAST ELEVATION



THOMAS M. LANEY, PE  
 304 WASHINGTON ST.  
 SPENCERPORT, NY 14559  
 (585) 319 - 9032



ELEVATION VIEWS

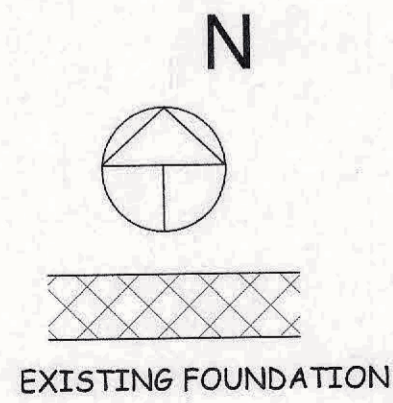
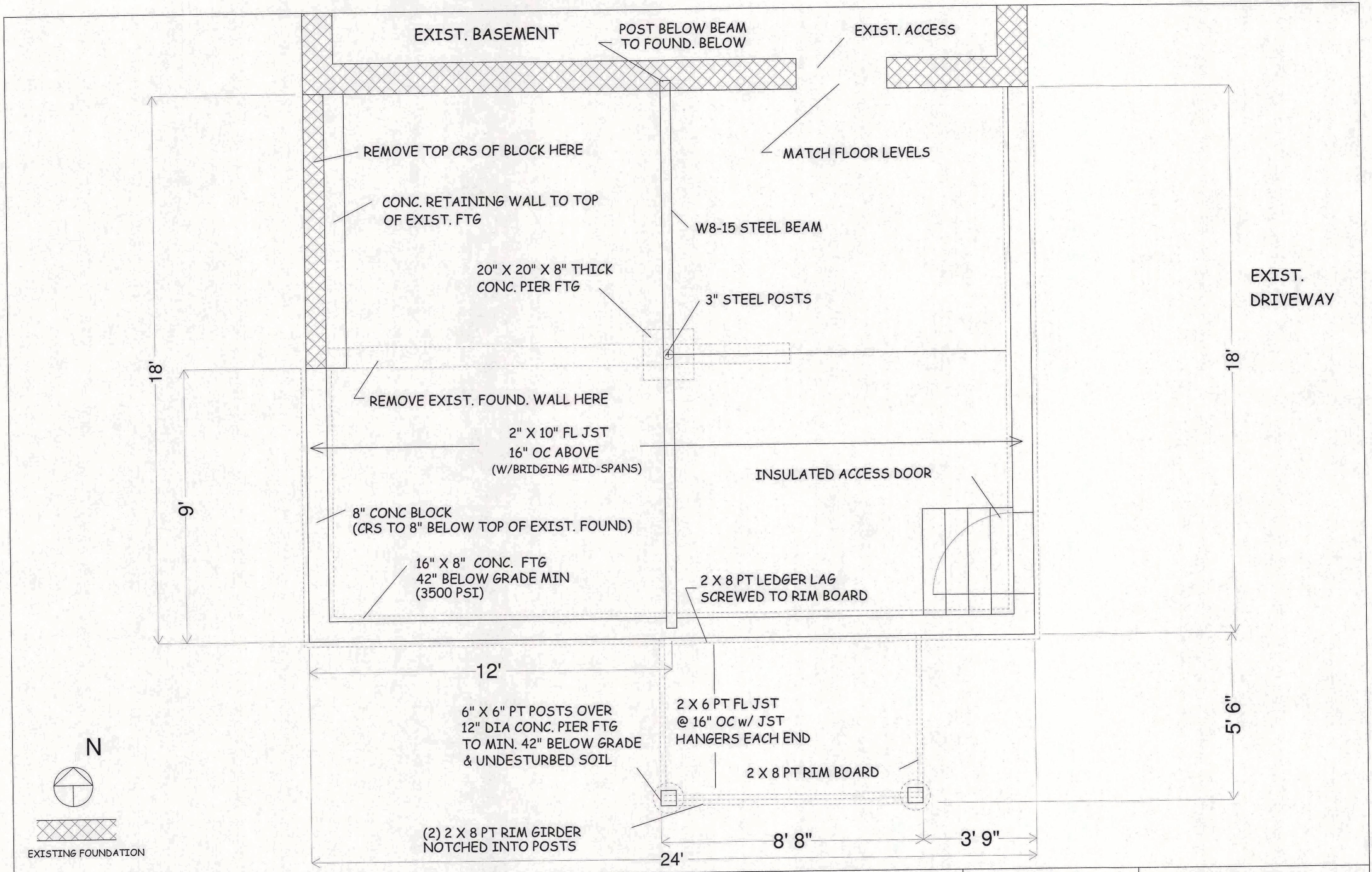
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DATE: 9/22/22		REVISED: 10/10/22

ADDITION FOR STEFAN PREBLE

8 HIGH ST, PITTSFORD, NY

A1  
4





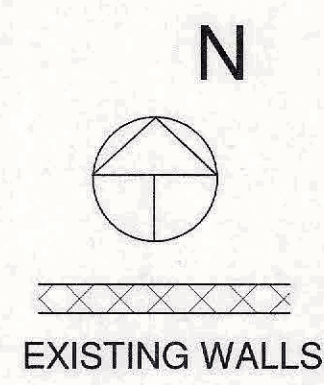
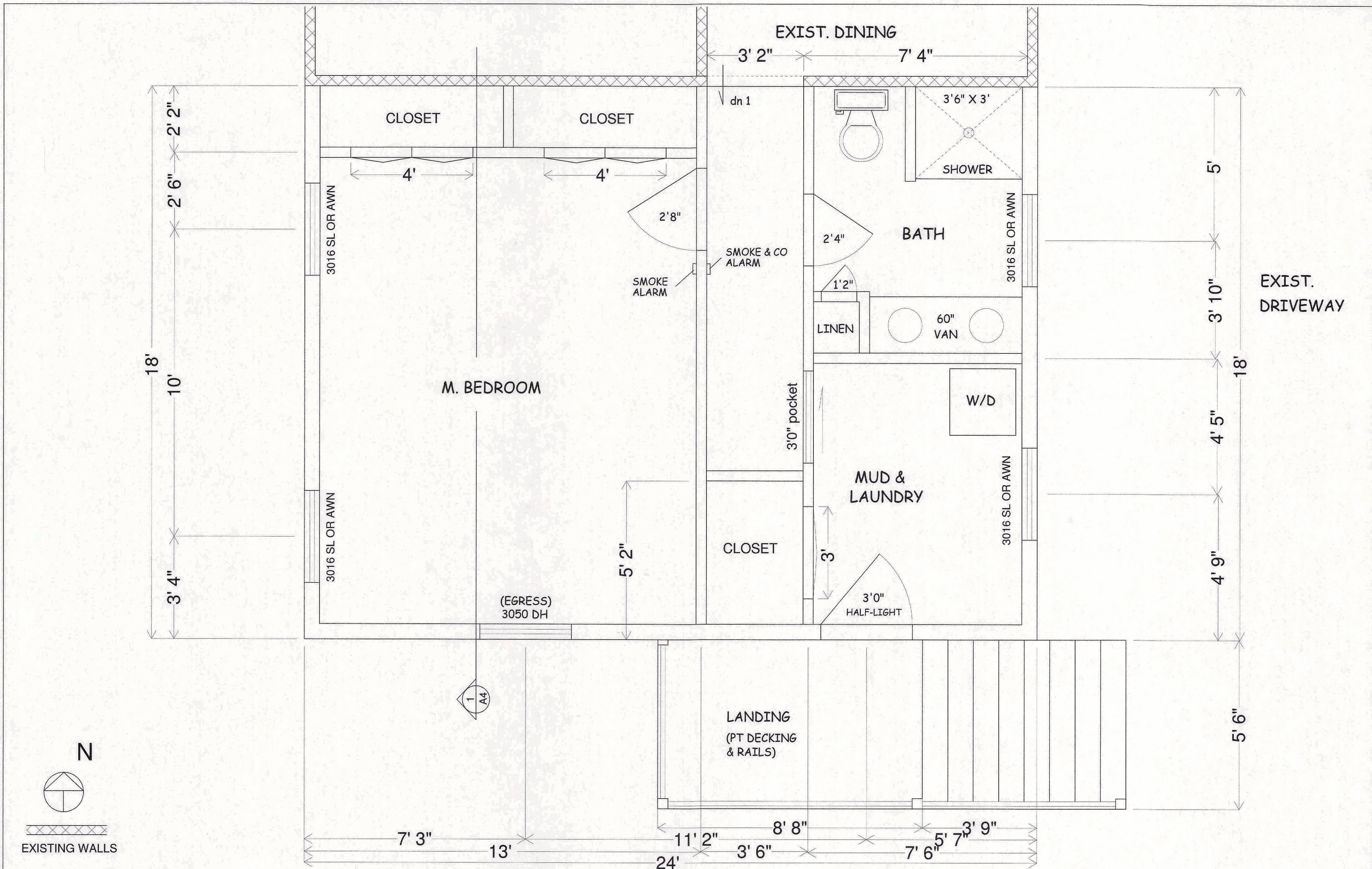
**THOMAS M. LANEY, PE**  
 304 WASHINGTON ST.  
 SPENCERPORT, NY 14559  
 (585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED  
 AND REFERENCED FROM EXISTING BUILDING



FOUNDATION PLAN			
SCALE: 1/2" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY	REVISER:
DATE: 10/18/22	ADDITION FOR STEFAN PREBLE		
8 HIGH ST, PITTSFORD, NY			A2 4





**THOMAS M. LANEY, PE**  
 304 WASHINGTON ST.  
 SPENCERPORT, NY 14559  
 (585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED  
 AND REFERENCED FROM EXISTING BUILDING

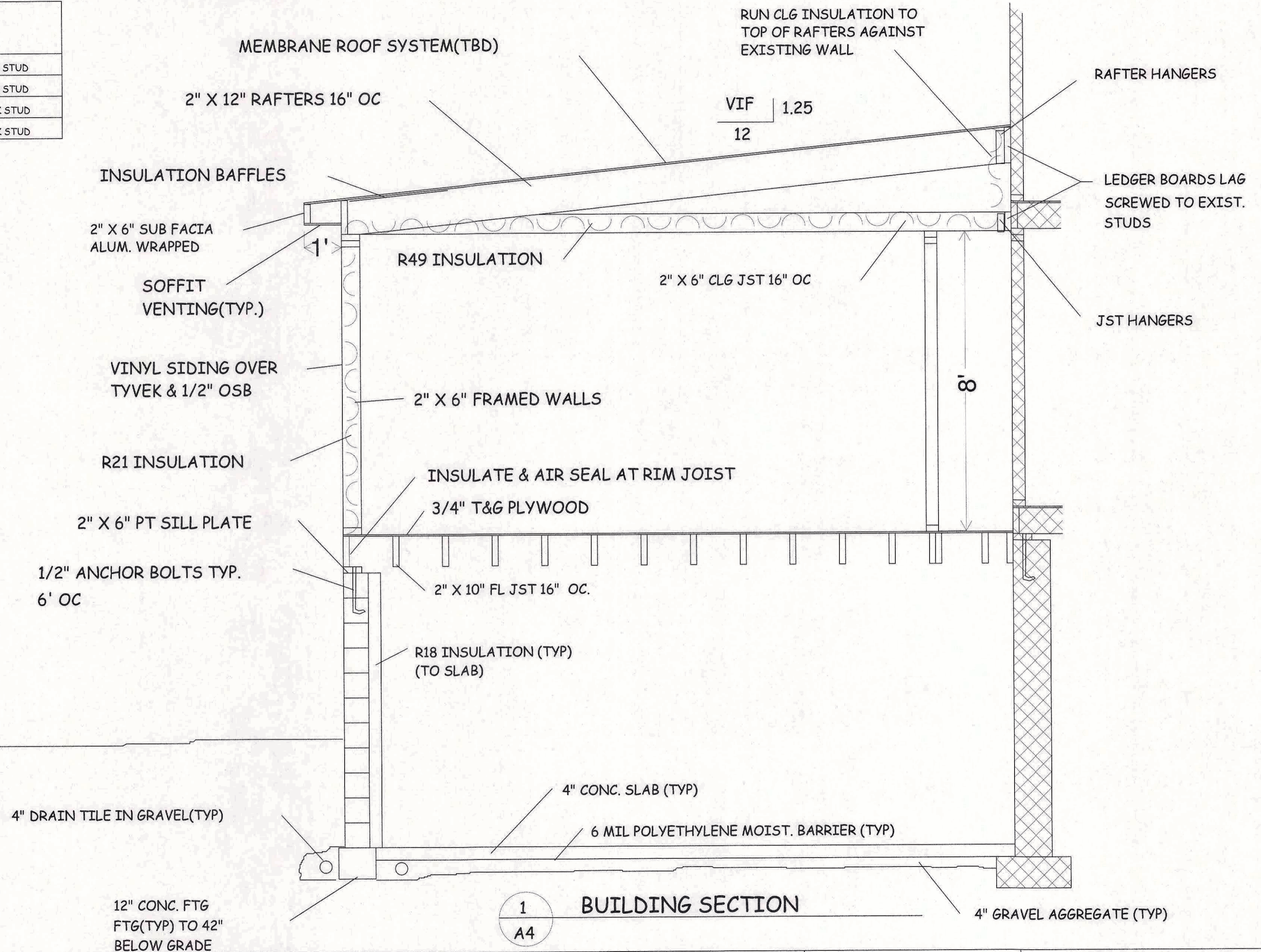


FLOOR PLAN			
SCALE: 1/2" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY	REVISED: 10/10/22
DATE: 9/22/22	ADDITION FOR STEFAN PREBLE		
8 HIGH ST, PITTSFORD, NY			A3 4



NOTE: ALL LUMBER TO BE 1150 PSI Fb (MIN) NO. 2 HEM FIR OR BETTER.  
ALL STATE CONSTRUCTION CODES WILL BE MET

BEARING WALL HEADER SCHEDULE (UNLESS OTHERWISE SPECIFIED)		
< 4'0"	(3) 2 X 6 OR (2) 2 X 8	G & N w/ (1) JACK STUD
< 5'2"	(3) 2 X 8 OR (2) 2 X 10	G & N w/ (1) JACK STUD
< 6'2"	(3) 2 X 8 OR (2) 2 X 10	G & N w/ (2) JACK STUD
< 9'	(3) 2 X 10 OR (2) 2 X 12	G & N w/ (2) JACK STUD



EXISTING STRUCTURE

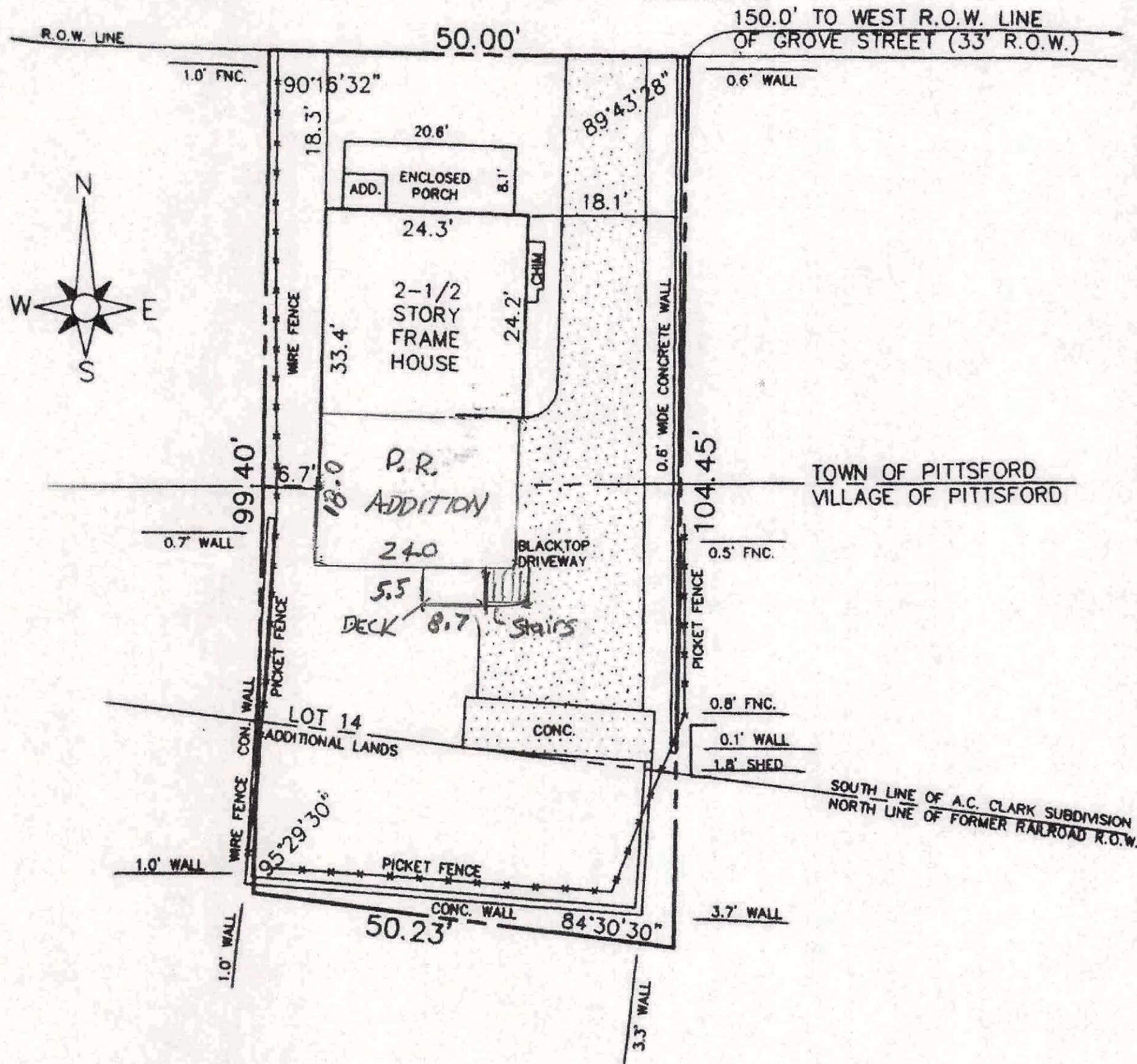
**THOMAS M. LANEY, PE**  
304 WASHINGTON ST.  
SPENCERPORT, NY 14559  
(585) 319 - 9032



SECTION VIEW		
SCALE: 1/2" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 10/18/22		REVISED:
ADDITION FOR STEFAN PREBLE		
8 HIGH ST, PITTSFORD, NY		A4/4



# HIGH (33' R.O.W.) STREET



**REFERENCES:**

- 1.) ABSTRACT OF TITLE No. 3650.
- 2.) LIBER 4121 OF DEEDS, PAGE 70.
- 3.) LIBER 25 OF MAPS, PAGE 29.
- 4.) LIBER 3497 OF DEEDS, PAGE 341.
- 5.) LIBER 8963 OF DEEDS, PAGE 570.
- 6.) LIBER 284 OF MAPS, PAGE 47.

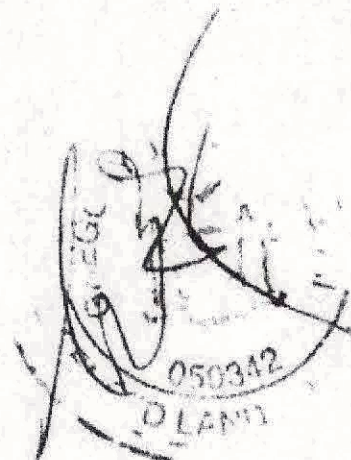
**CERTIFICATION:**

I hereby certify to: RUPP, BAASE, PFALZGRAF, CUNNINGHAM & COPPOLA, LLC  
 NETWORK TITLE AGENCY OF NEW YORK  
 PHH MORTGAGE CORP., ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR  
 STEFAN F. PREBLE

that this map was made MAY 3, 2007 from notes of an Instrument \*ORIG. DATE: MAR. 29, 2001  
 Survey completed APR. 26, 2007 and from references listed hereon.

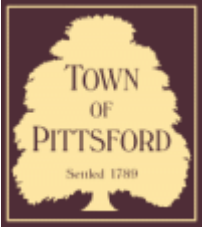
*Stefan F. Preble*

Tax Account No.  
 151.140-01-047 (TOWN)



10-24-22





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000046

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 26 Kilbourn Road ROCHESTER, NY 14618

**Tax ID Number:** 138.14-1-26

**Zoning District:** RN Residential Neighborhood

**Owner:** Amoroso, Steven

**Applicant:** Jim Durfee

#### Application Type:

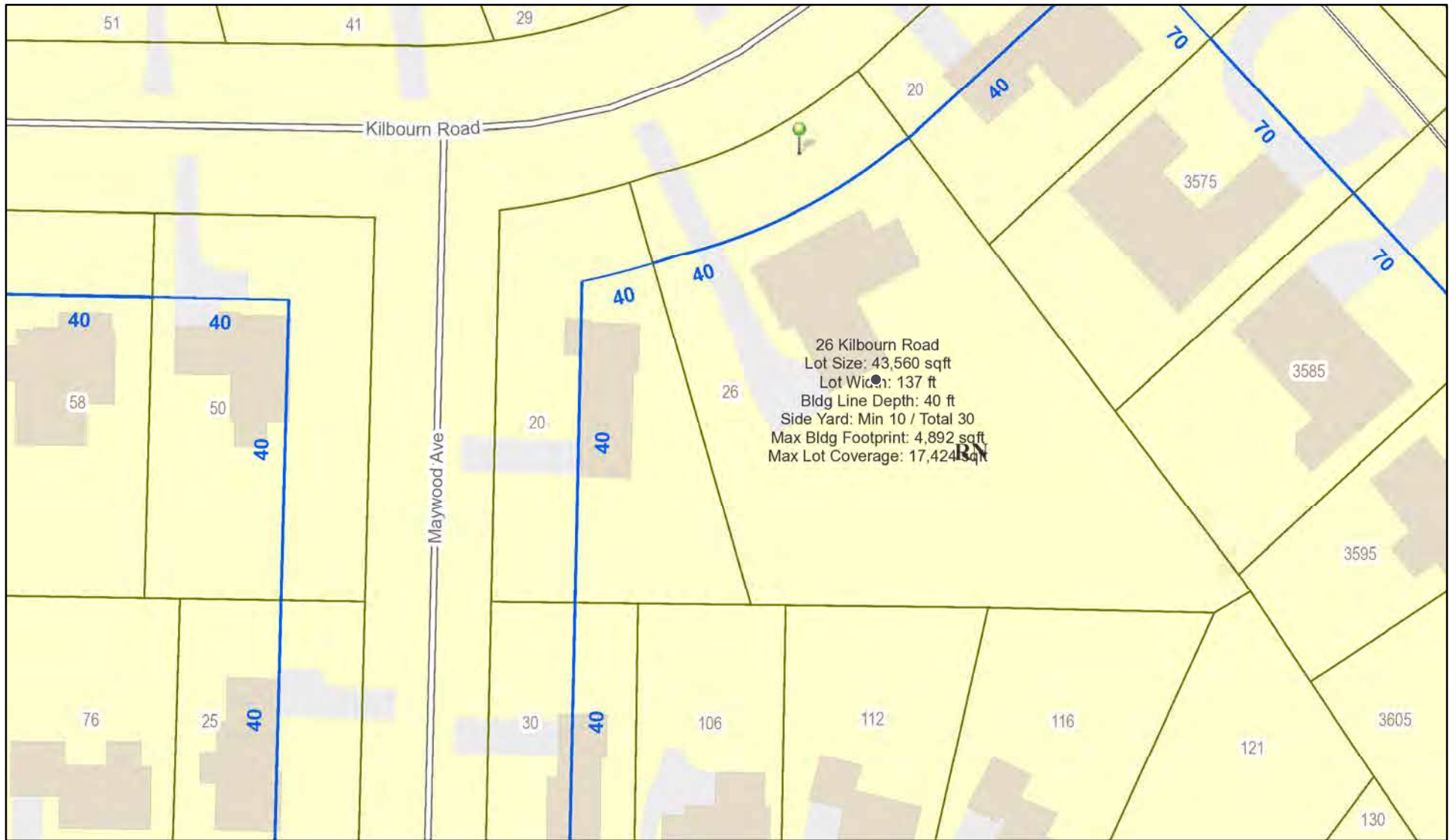
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a 1737 SF addition of a garage, entrance porch, entry hall and bathroom. Also the renovation of existing garage to entry hall, bedroom and dressing room.

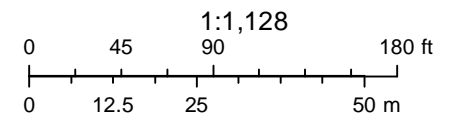
**Meeting Date:** April 27, 2023



# RN Residential Neighborhood Zoning



Printed April 11, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





04/03/2021

© All EagleView Technology Corporation

East Ave

Kilbourn Rd

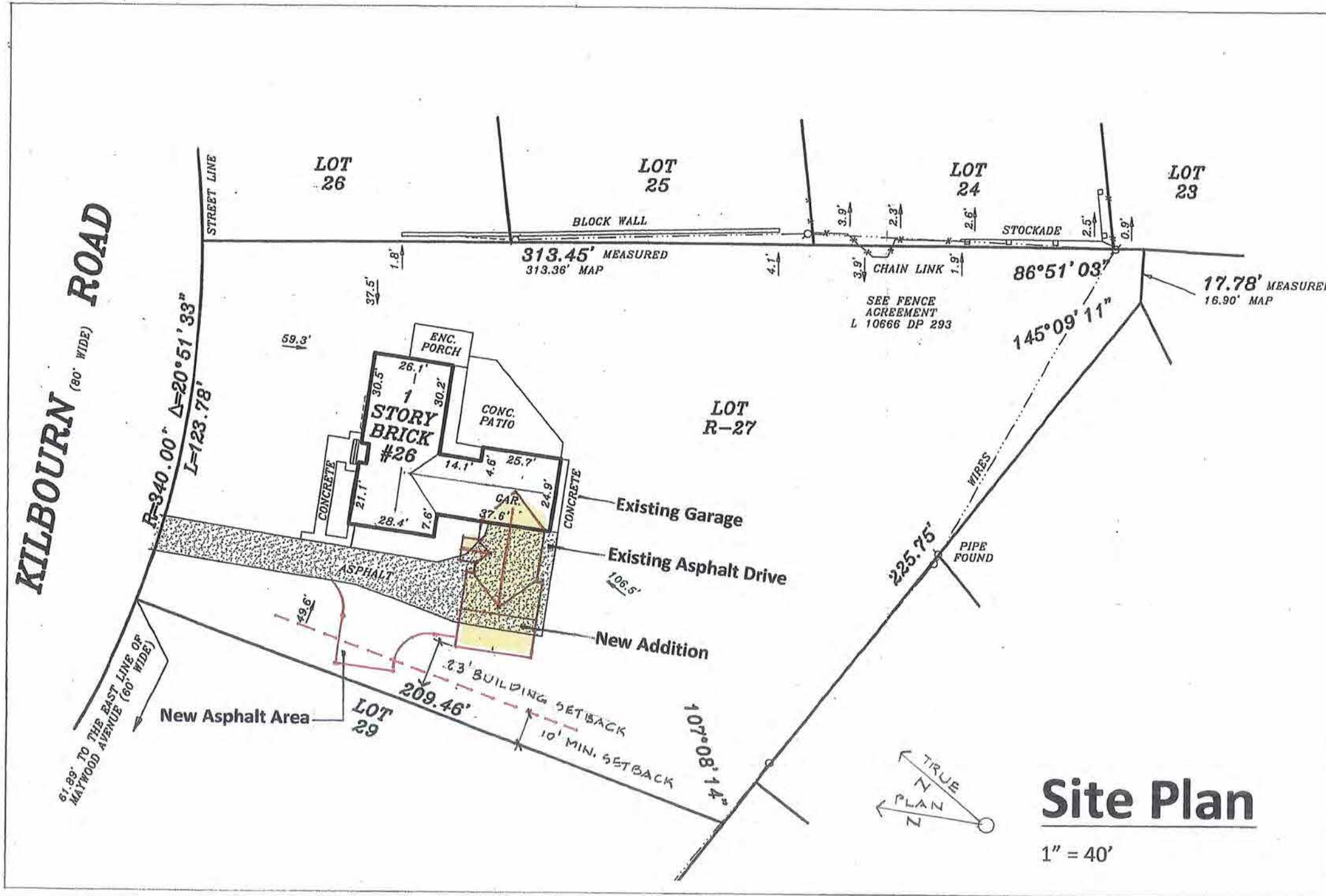
Kilbourn Rd

Maywood Ave



# Addition to 26 Kilbourn Road

Rochester, NY 14618



### Sheet Index

- T-1 Title Sheet/Site Plan
- A-1 Floor Plan
- A-2 Building Elevations
- A-3 Building Elevations
- A-4 Building Section
- A-5 Foundation Plan
- A-6 Details/Schedules
- A-7 Notes



### Town of Pittsford

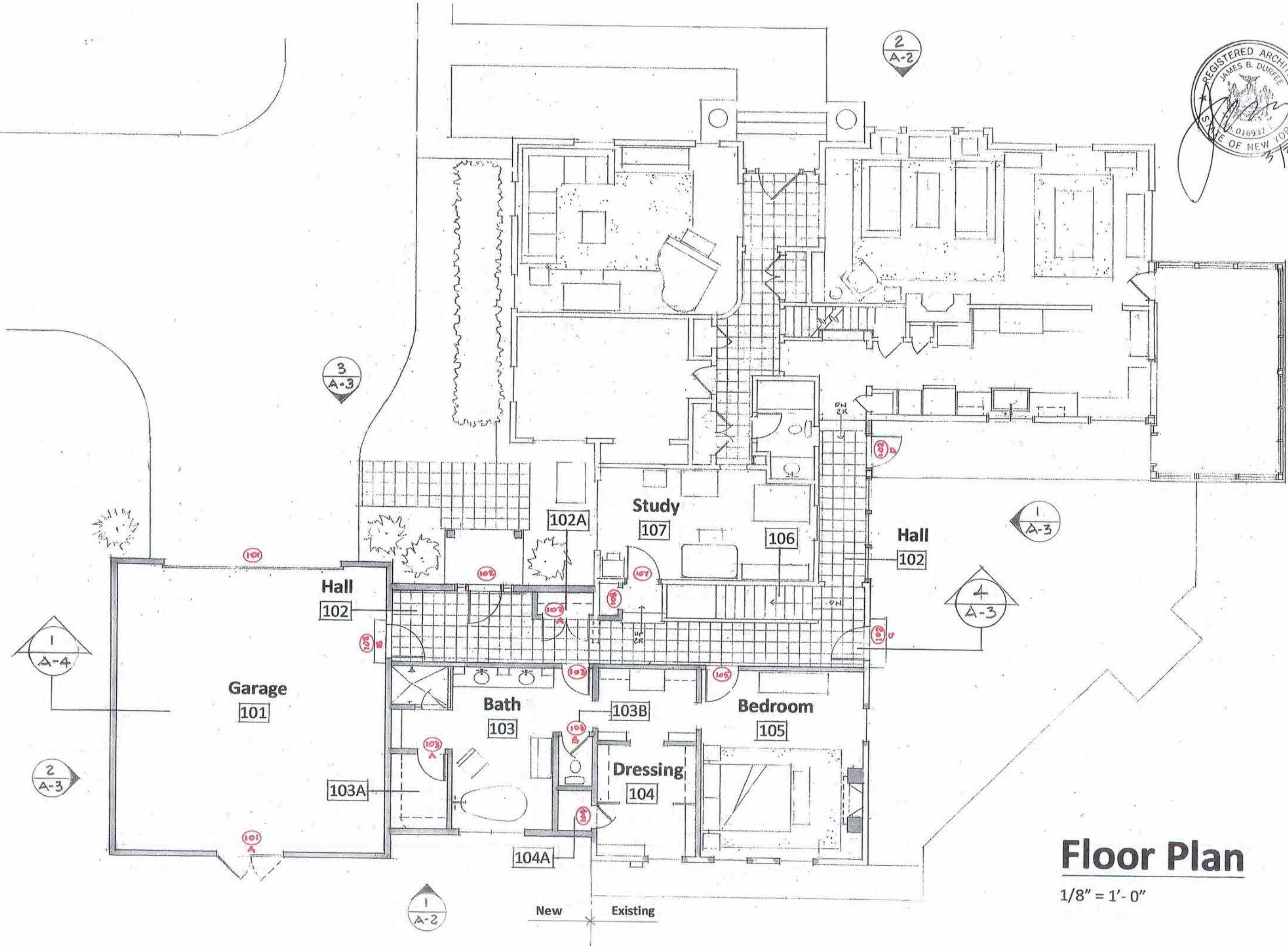
#### Zoning Code Compliance

Zoning District: RN Residential Neighborhood  
 Lot width: 123'  
 Side Setbacks (required): 10' minimum (30' total)  
 Lot size: 42,100 sf  
 Building footprint (maximum): 4834 sf  
 Building footprint (w/addition): 4641 sf  
 Lot coverage (maximum): 16,840 sf

Plan Information Reference:  
 Survey Map Dated 10/13/2020 by O'Neill-Rodak

<b>Drawing #</b>	<b>T-1</b>	<b>Issue Date:</b>	3/20/23
<b>Drawing Title:</b>	<b>Site Plan</b>	<b>Project #:</b>	2303-1201
<b>Project:</b>	Addition to 26 Kilbourn Road Rochester, NY 14618		
Jim Durfee   26 Kilbourn Road, Rochester, New York 14618 585.750.9611   jdurfee@durfeearchitect.com			





# Floor Plan

1/8" = 1'-0"

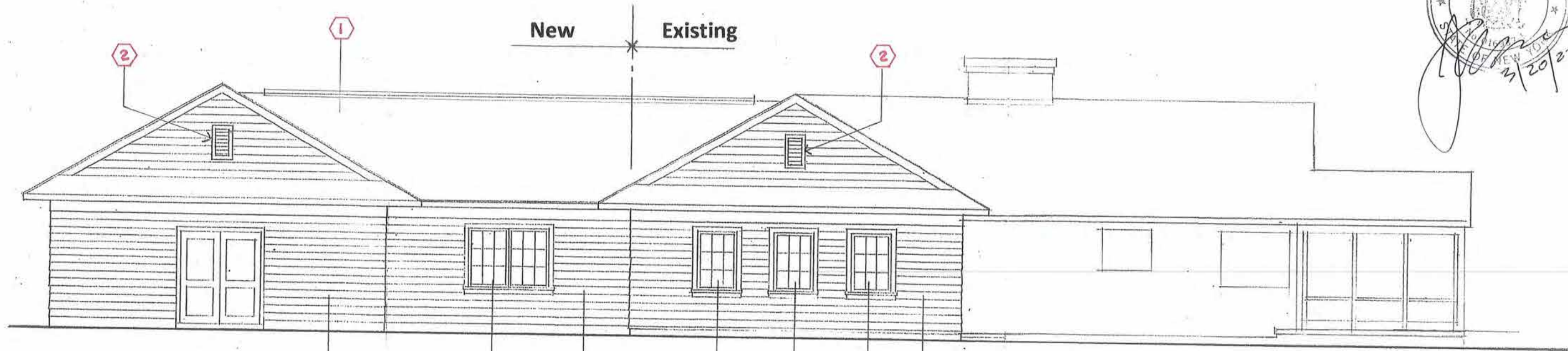
Drawing #  
**A-1**  
Issue Date: 3/20/23

Drawing Title:  
**Floor Plan**  
Project #: 2303-1201

Project:  
Addition to  
26 Kilbourn Road  
Rochester, NY 14618

**JD** JDurfee, Architect  
 Jim Durfee | 26 Kilbourn Road, Rochester, New York 14618  
 585.750.9611 | jdurfee@durfeearchitect.com





**1 South Elevation**  
1/8" = 1'-0"

Symbol Legend	
	Window Number
	Key Note
	Door Number
	Room Number
	Plan Reference
	Detail/Section Reference

**Note**  
Refer to sheet A-7 for key notes



**2 North Elevation**  
1/8" = 1'-0"

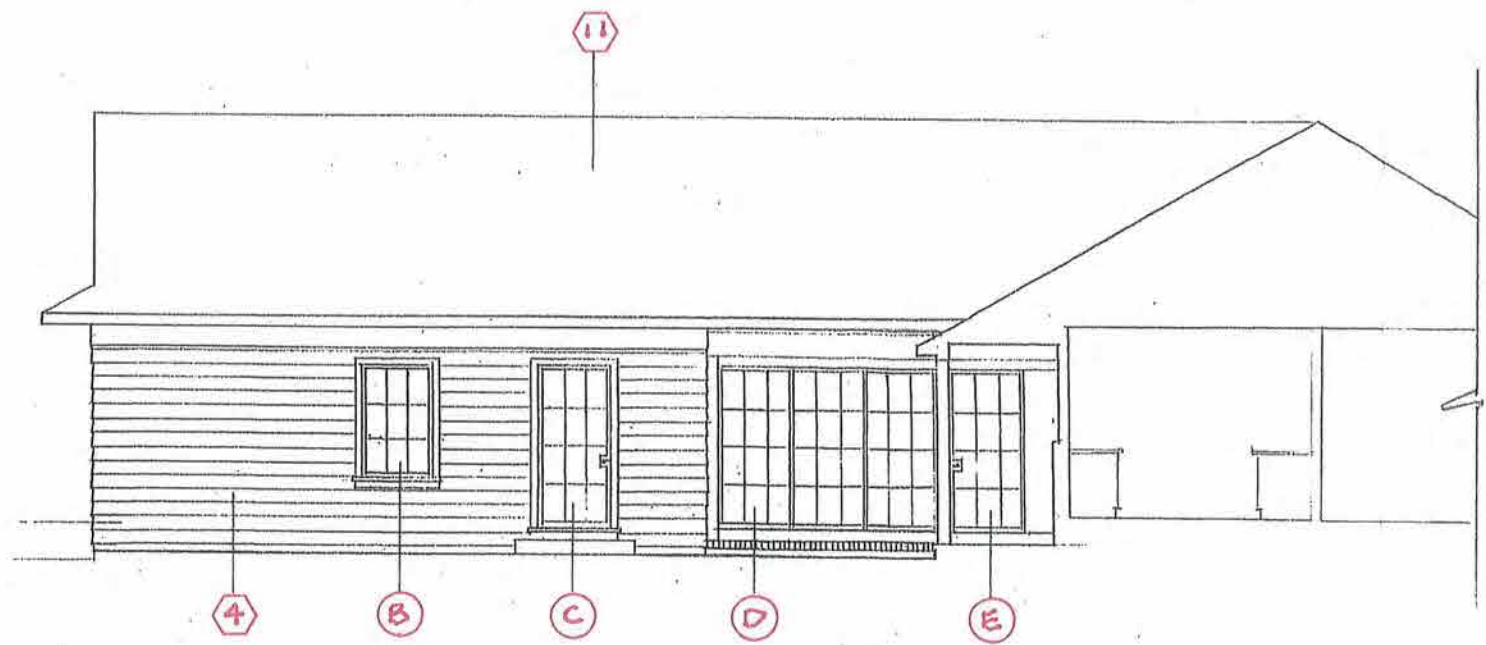
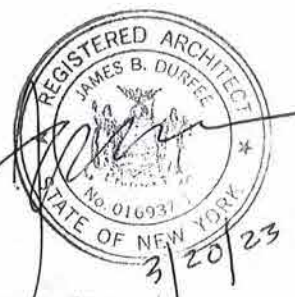
Drawing #  
**A-2**  
Issue Date: 3/20/23

Drawing Title:  
**Building Elevations**  
Project #: 2303-1201

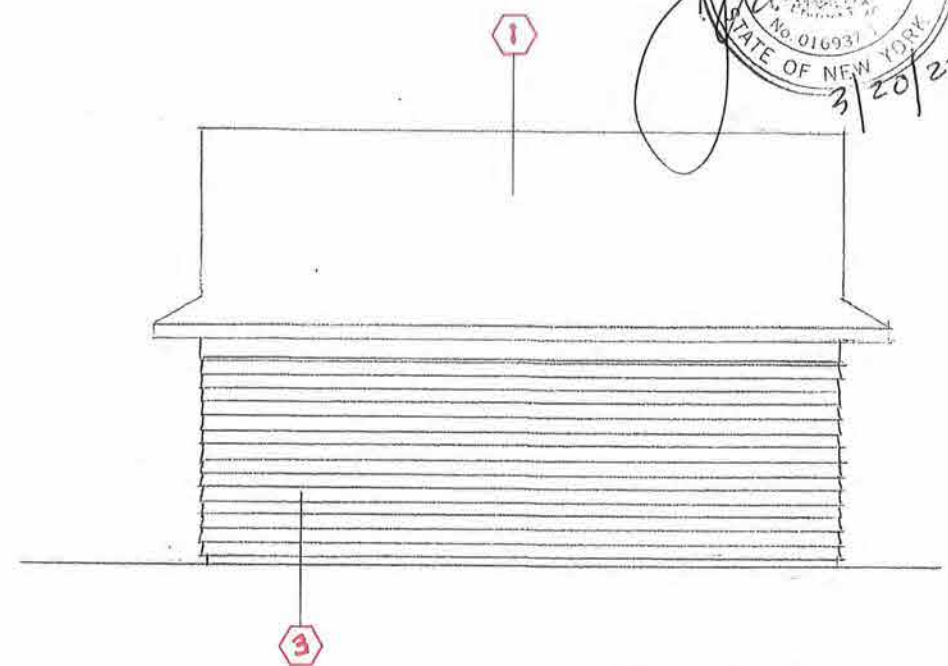
Project:  
Addition to  
26 Kilbourn Road  
Rochester, NY 14618

**JJD** JDurfee, Architect  
Jim Durfee | 26 Kilbourn Road, Rochester, New York 14618  
585.750.9611 | jdurfee@durfeearchitect.com

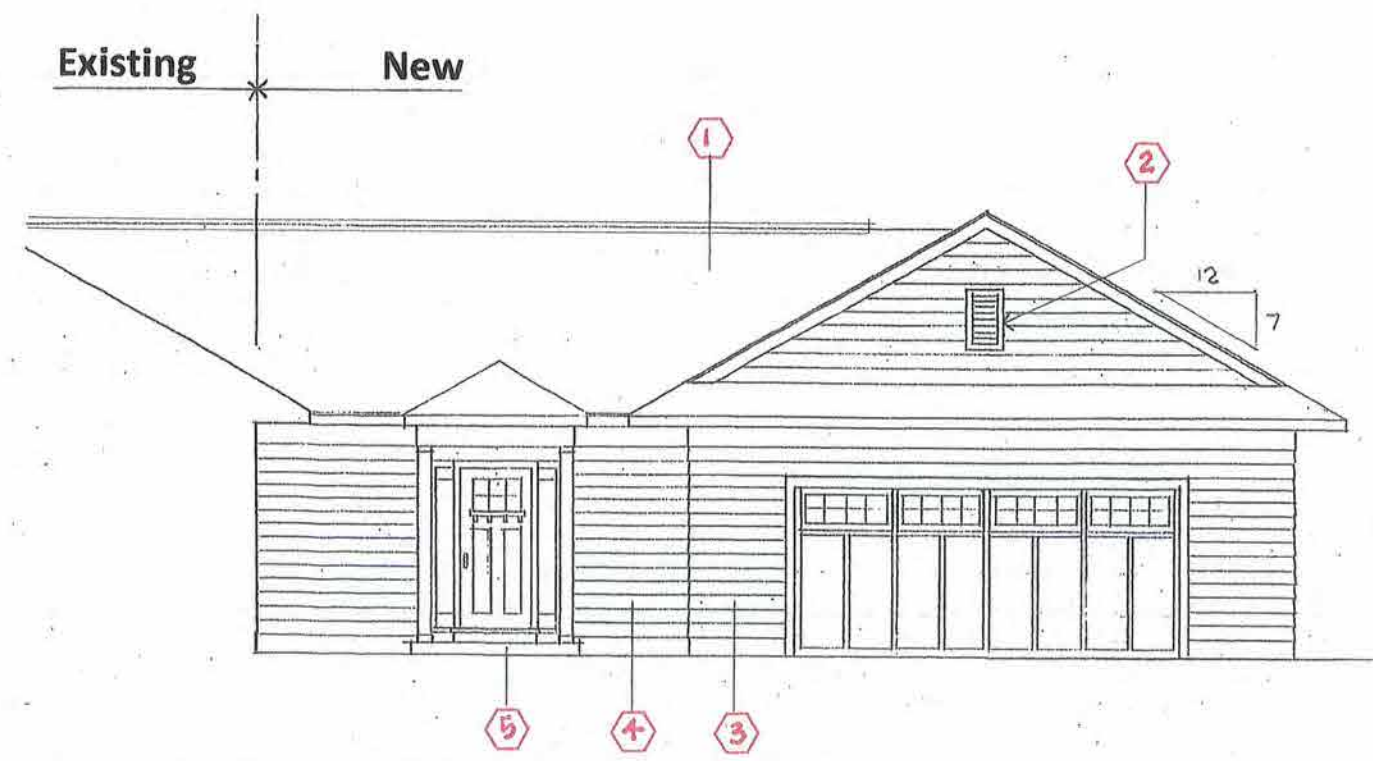




**1 East Elevation**  
1/8" = 1'-0"



**2 West Elevation**  
1/8" = 1'-0"



**3 North Elevation**  
1/8" = 1'-0"



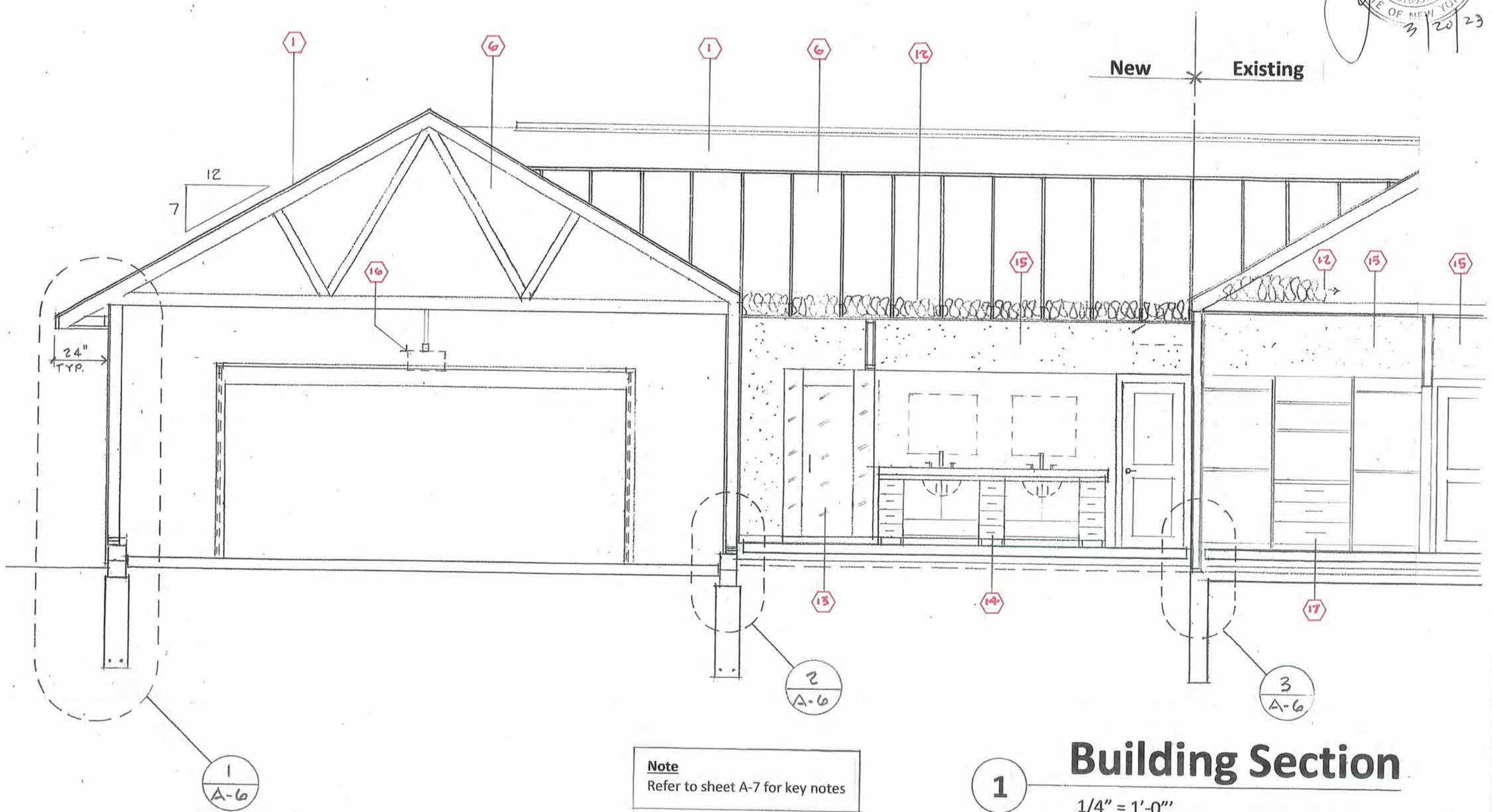
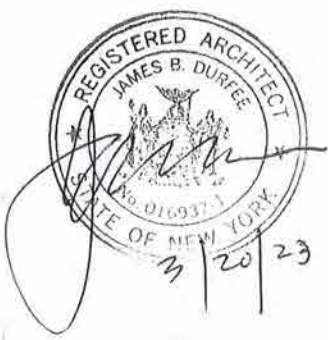
**4 Building Section**  
1/8" = 1'-0"

**Note**  
Refer to sheet A-7 for key notes

<b>Drawing #</b>	<b>A-3</b>
<b>Issue Date:</b>	3/20/23
<b>Drawing Title:</b>	<b>Building Elevations</b>
<b>Project #:</b>	2303-1201
<b>Project:</b>	Addition to 26 Kilbourn Road Rochester, NY 14618

**JD** JDurfee, Architect  
 Jim Durfee | 26 Kilbourn Road, Rochester, New York 14618  
 585.750.9611 | jdurfee@durfeearchitect.com



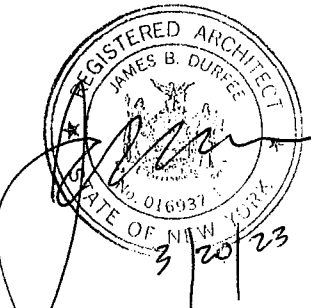
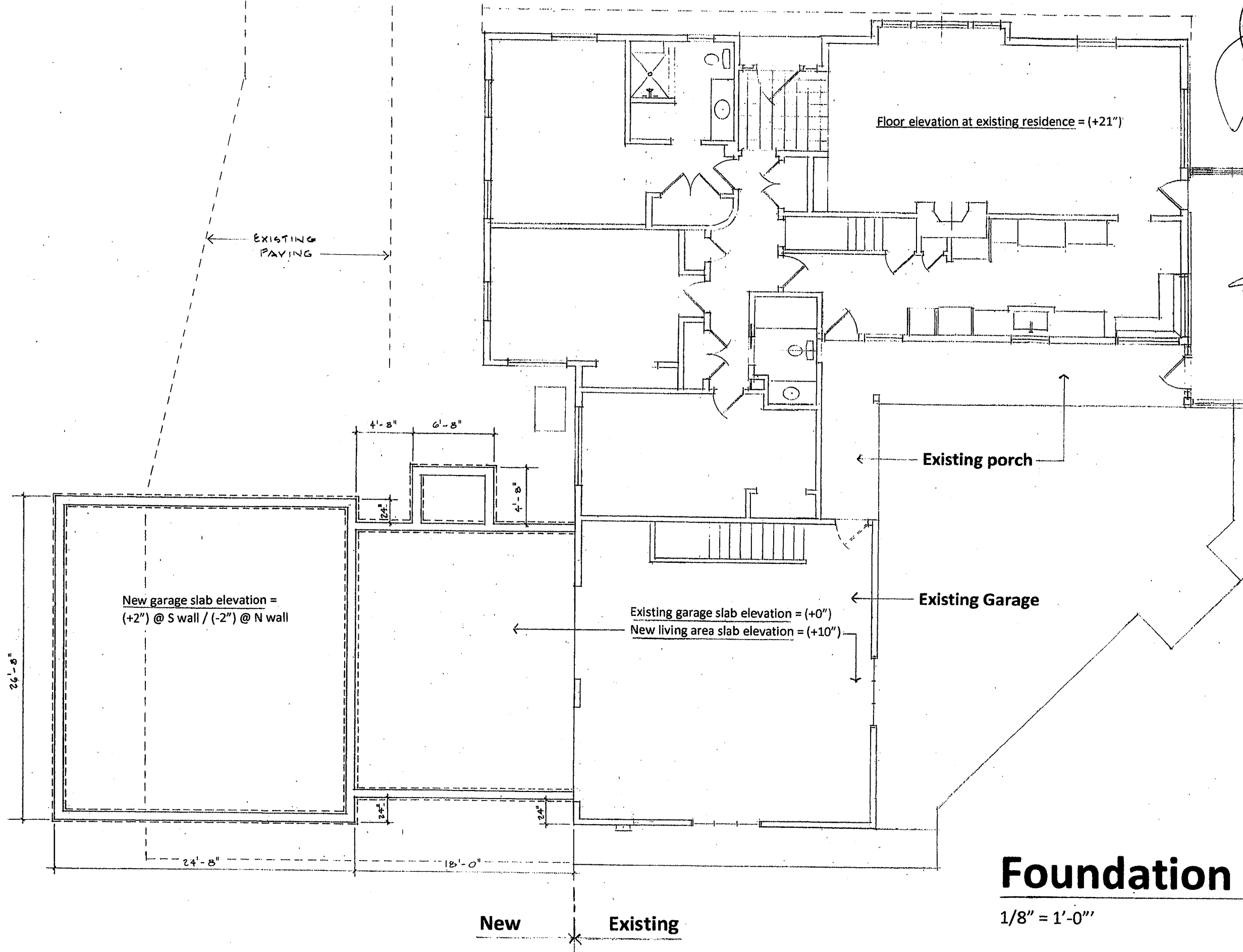


**Note**  
Refer to sheet A-7 for key notes

**1** **Building Section**  
1/4" = 1'-0"


<b>Drawing #</b> <b>A-4</b> <small>Issue Date: 3/20/23</small>	<b>Drawing Title:</b> <b>Building Section</b> <b>Project #:</b> 2303-1201	<b>Project:</b> Addition to 26 Kilbourn Road Rochester, NY 14618	<b>JD Durfee, Architect</b> <small>Jim Durfee   26 Kilbourn Road, Rochester, New York 14618          585.750.9611   jdurfee@durfeearchitect.com</small>
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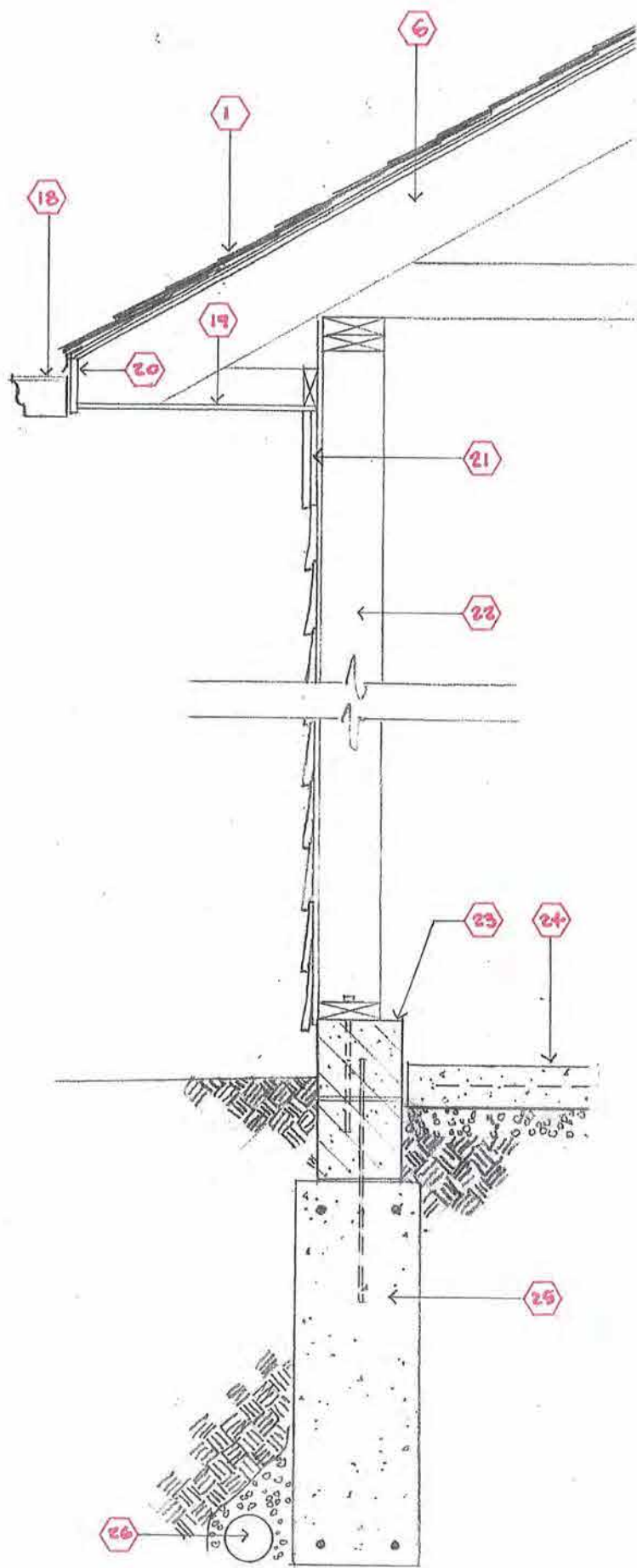


# Foundation Plan

1/8" = 1'-0"

Drawing # <b>A-5</b>	Drawing Title: <b>Foundation Plan</b>	Project: Addition to 26 Kilbourn Road Rochester, NY 14618	 <b>JD Durfee, Architect</b> Jim Durfee   26 Kilbourn Road, Rochester, New York 14618 585.750.9611   jdurfee@durfeearchitect.com
Issue Date: 3/20/23	Project #: 2303-1201		

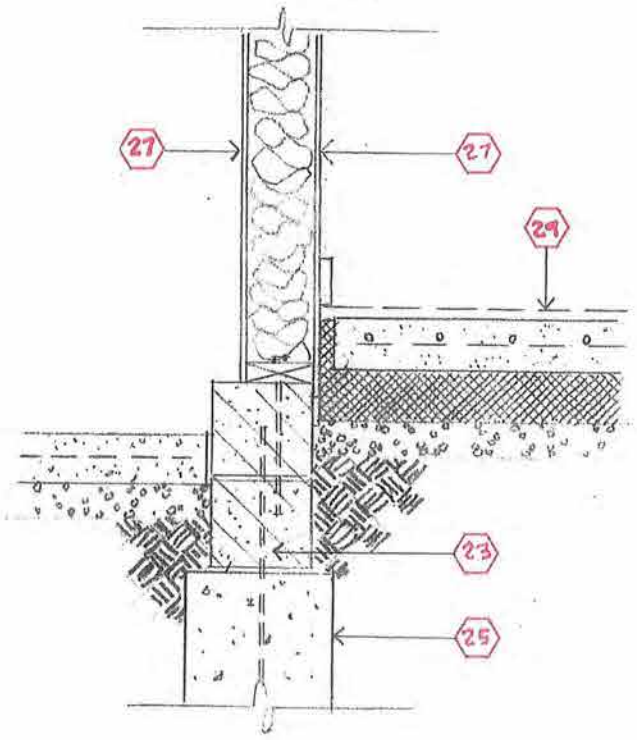




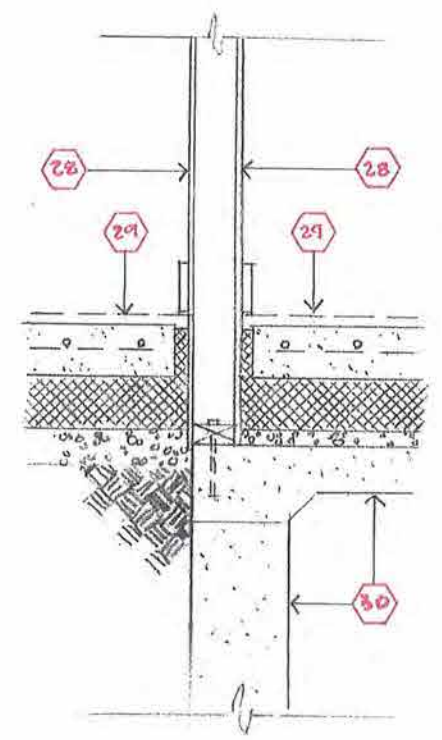
**1** Wall Section  
3/4" = 1'-0"

Room Finish Schedule						
Room No.	Wall	Ceiling	Crown	Floor	Base	Notes
101	---	---	---	---	---	Provide concrete slab sealer
102	PT	PT	Y	CT1	Y	
102A			N	CT1	Y	
103			Y	CT2	Y	Shower: CT3 at wall, CT4 at floor
103A			N	CT2	Y	
103B			N	CT2	Y	
104			N	WD1	Y	
104A			N	WD1	Y	
105			Y	WD1	Y	
106			Y	WD2	Y	Oak treads (stain), Pine risers (PT)
107			N	ETR	ETR	Patch wall at new door opening
108			N	CT1	Y	

CT1:  
 CT2:  
 WD1:  
 WD2:  
 Crown:  
 Base:

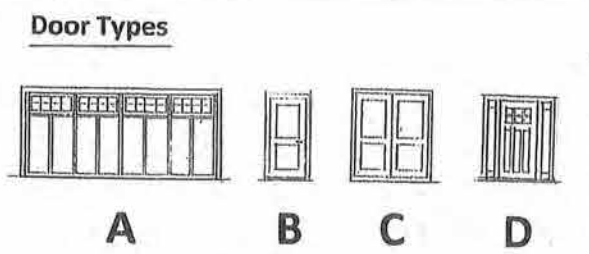


**2** Detail  
3/4" = 1'-0"



**3** Detail  
3/4" = 1'-0"

**Note**  
Refer to sheet A-7 for key notes



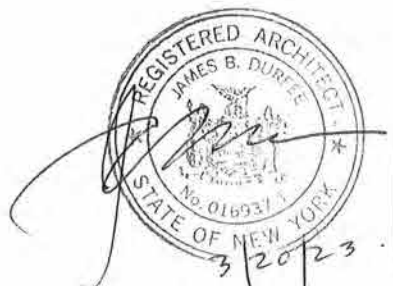
Door Schedule				
Number	Type	Size	Construction	Hardware
101	A	16'-0" x 7'-0"	Fiberglass	N/A
101A	C	6'-0" x 6'-8"	Metal	Entry/Flush bolts
102	D	3'-0" x 6'-8"	Wood	Entry
102A	C	4'-0" x 6'-8"	Wood	Passage
102B	B	3'-0" x 6'-8"	Metal	Entry
102C	(See Window Schedule)			
102D	(See Window Schedule)			
103	B	2'-6" x 6'-8"	Wood	Privacy
103A	B	2'-4" x 6'-8"	Wood	Passage
103B	B	2'-4" x 6'-8"	Wood	Privacy
104	B	2'-4" x 6'-8"	Wood	Storage
105	B	3'-0" x 6'-8"	Wood	Privacy
107	B	2'-8" x 6'-8"	Wood	Privacy
108	B	2'-0" x 6'-8"	Wood	Storage

**'A' Door Type**  
Clopay 'Canyon Ridge' Series Design CAN2-Design 12, REC14

**'B', 'C' Door Type**  
Wood: Reeb- Primed MDF Flat Panel #PR8082- 1-3/4"  
Metal: Jeld-Wen- Primed Steel 2-Panel Flat #CT-FP-2

**'D' Door Type**  
Therma Tru- Classic-Craft 'American Collection'  
Door- #CCA240LE w/ 4-block dentil shelf  
(2) Sidelites #CCA3400LESL

Window Schedule		
(All window and full glazed door units by Hope's Windows, Inc.)		
Number/Type	Size	Hardware
A	(2) 3'-0" x 4'-6"	Mfr. Standard
B	3'-0" x 4'-6"	Mfr. Standard
C	3'-0" x 6'-8"	Entry (door) LH
D	(3) 3'-0" x 6'-8"	None (fixed)
E	3'-0" x 6'-8"	Entry (door) RHR



<b>Drawing #</b> <b>A-6</b>	<b>Issue Date:</b> 3/20/23
<b>Drawing Title:</b> <b>Details/Schedules</b>	<b>Project #:</b> 2303-1201
<b>Project:</b> Addition to 26 Kilbourn Road Rochester, NY 14618	
<b>JD Durfee, Architect</b> Jim Durfee   26 Kilbourn Road, Rochester, New York 14618 585.750.9611   jdurfee@durfeearchitecture.com	



**Key Notes**

- 1) Asphalt shingle roofing system over 5/8" roof sheathing. Match existing and provide continuous 'Shingle Vent' ridge vent.
- 2) Wall vent: Fypon #RLV1830C 18" x 30" closed vent
- 3) Wood clapboard cladding, primed and painted w/ 6" exposure over Tyvek building wrap and 1/2" ext. grade plywood sheathing.
- 4) Wood clapboard cladding, primed and painted w/ 6" exposure over 1" R-3.6 Zip sheathing.
- 5) New porch entry Bluestone cap over concrete slab. Supporting columns to be 6 x 6 pressure treated pine w/ 1 x 8 Smooth cedar trim (primed and painted).
- 6) Pre-engineered wood trusses @ 24" o.c. max.
- 7) New ridge beam: (2) 1-3/4" x 11-7/8" Microllam
- 8) 2 x 6 ceiling joists @ 24" min. Splice at center and support to ridge beam.
- 9) Remove existing wrought iron railing. Provide new wood railing with stained wood handrail (@36" aff.) and painted 1- 1/4" wood balusters @ 5" o.c. max.
- 10) Existing concrete foundation
- 11) Existing asphalt shingle roofing
- 12) R-42 fiberglass batt insulation (alternate: R-42 blow- in insulation)
- 13) Glass shower enclosure: custom configuration by J & R Specialties
- 14) 2-sink vanity furnished by owner
- 15) Gyp. bd. soffit at 84" aff.
- 16) Sectional garage door system
- 17) Closet storage system furnished by owner (typ. in Dressing Room)
- 18) Aluminum gutter and leader system w/ baked enamel finish. Extend sub-grade to existing perimeter storm drainage piping.
- 19) 1/2" exterior plywood w/ continuous soffit vent
- 20) 1 x 6 (nominal) Azek fascia trim
- 21) 1 x 10 (nominal) Azek fascia trim
- 22) Primed and painted wood clapboard over Tyvek building wrap, 1/2" ext. plywood sheathing and no. 1 grade hem-fir 2 x 6 studs @ 16" o.c. max.
- 23) (2) courses 8" cmu (grouted solid) on 12" wide continuous concrete trench footing.

- 24) 4" concrete slab over 3 mil. Polyethylene moisture barrier and 2" min. compacted stone.
- 25) 12" wide continuous concrete trench footing. Extend depth to 48" min. below finished grade. Provide (2) #5 bars top and bottom. Provide 1/2" anchors at 48" o.c. max.
- 26) Foundation drain set in crushed stone w/ filter fabric. Connect to existing foundation drain piping.
- 27) 1/2" MR gyp. bd. over 2 x 6 wood studs @ 16" o.c. max.
- 28) 1/2" MR gyp. bd. over 2 x 4 wood studs @ 16" o.c. max
- 29) Finished floor material over 4" concrete w/ 6 x 6 #6 steel reinforcing at mid-point and hydronic in-slab water source radiant heating piping (system by INFLOOR Heating System, Inc.) Provide continuous R-20 extruded polystyrene insulation under slab and 1" min. at slab edges.
- 30) Existing concrete garage slab and perimeter foundation

**General Notes**

- 1) Electrical and Mechanical systems shall comply with applicable IECC standards.
- 2) Heating system shall be in-slab hydronic radiant system by INFLOOR Heating Systems, Inc (or equal). Provide packaged boiler, valves, connections and controls necessary for a complete system.
- 3) Cooling system shall be 12,000 btu Mini-split induction heat pump system: Fujitsu 'Airstage' multi-room system model #ARU12RLF (indoor) and #AOU12RLXFZ (outdoor condenser.) Mount indoor unit in soffit at Bedroom and duct to diffusers at Dressing and Bath soffits.



**Project** 26 Kilbourn Road- Addition

**Energy Code:** 2018 IECC  
**Location:** Rochester, New York  
**Construction Type:** Single-family  
**Project Type:** Addition  
**Orientation:** Bldg. faces 315 deg. from North  
**Climate Zone:** 5 (6734 HDD)  
**Permit Date:**  
**Permit Number:**

**Construction Site:**  
 26 KILBOURN ROAD  
 ROCHESTER, NY 14618

**Owner/Agent:**  
 James Durfee  
 26 KILBOURN ROAD  
 ROCHESTER, NY 14618  
 5857509611  
 jdurfee@durfeeearchitect.com

**Designer/Contractor:**  
 James Durfee  
 (Durfee Architect)  
 26 KILBOURN ROAD  
 ROCHESTER, NY 14618  
 5857509611  
 jdurfee4@gmail.com

**Compliance:** Passes using UA Tradeoff

**Compliance:** 19.3% Better Than Code Maximum UA: 135 Your UA: 109  
 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

**Envelope Assemblies**

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,054	38.0	6.0	0.025	0.026	27	28
Wall: Wood Frame, 16" o.c. Orientation: Unspecified	900	19.0	3.6	0.048	0.060	33	41
Door: Solid Door (under 50% glazing) Orientation: Unspecified	34			0.240	0.300	8	10
Door 1: Glass Door (over 50% glazing) Orientation: Unspecified	20			0.260	0.300	5	6
Door 2: Glass Door (over 50% glazing) Orientation: Unspecified	20			0.260	0.300	5	6
Window 1: Metal Frame w/ Thermal Break Orientation: Unspecified	84			0.240	0.300	20	25
Window: Metal Frame w/ Thermal Break Orientation: Unspecified	63			0.170	0.300	11	19
Floor: Slab-On-Grade (Heated) Insulation depth: 4.0" Insulation position: Fully Insulated (uniform R-value across perimeter and under slab)	140		20.0	0.373	0.645	0	0

**Compliance Statement:** The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_



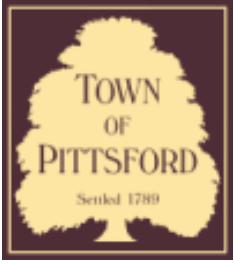
**Drawing #**  
A-7  
**Issue Date:** 3/20/23

**Drawing Title:**  
Notes  
**Project #:** 2303-1201

**Project:**  
Addition to  
26 Kilbourn Road  
Rochester, NY 14618

**JD Durfee, Architect**  
 Jim Durfee | 26 Kilbourn Road, Rochester, New York 14618  
 585.750.9611 | jdurfee@durfeeearchitect.com





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000053**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 15 Whitestone Lane ROCHESTER, NY 14618

**Tax ID Number:** 137.20-2-28

**Zoning District:** RN Residential Neighborhood

**Owner:** Holzbauer, Adam B

**Applicant:** Holzbauer, Adam B

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review to enclose existing front porch with new entry way overhang and add new shed dormer over main floor addition.

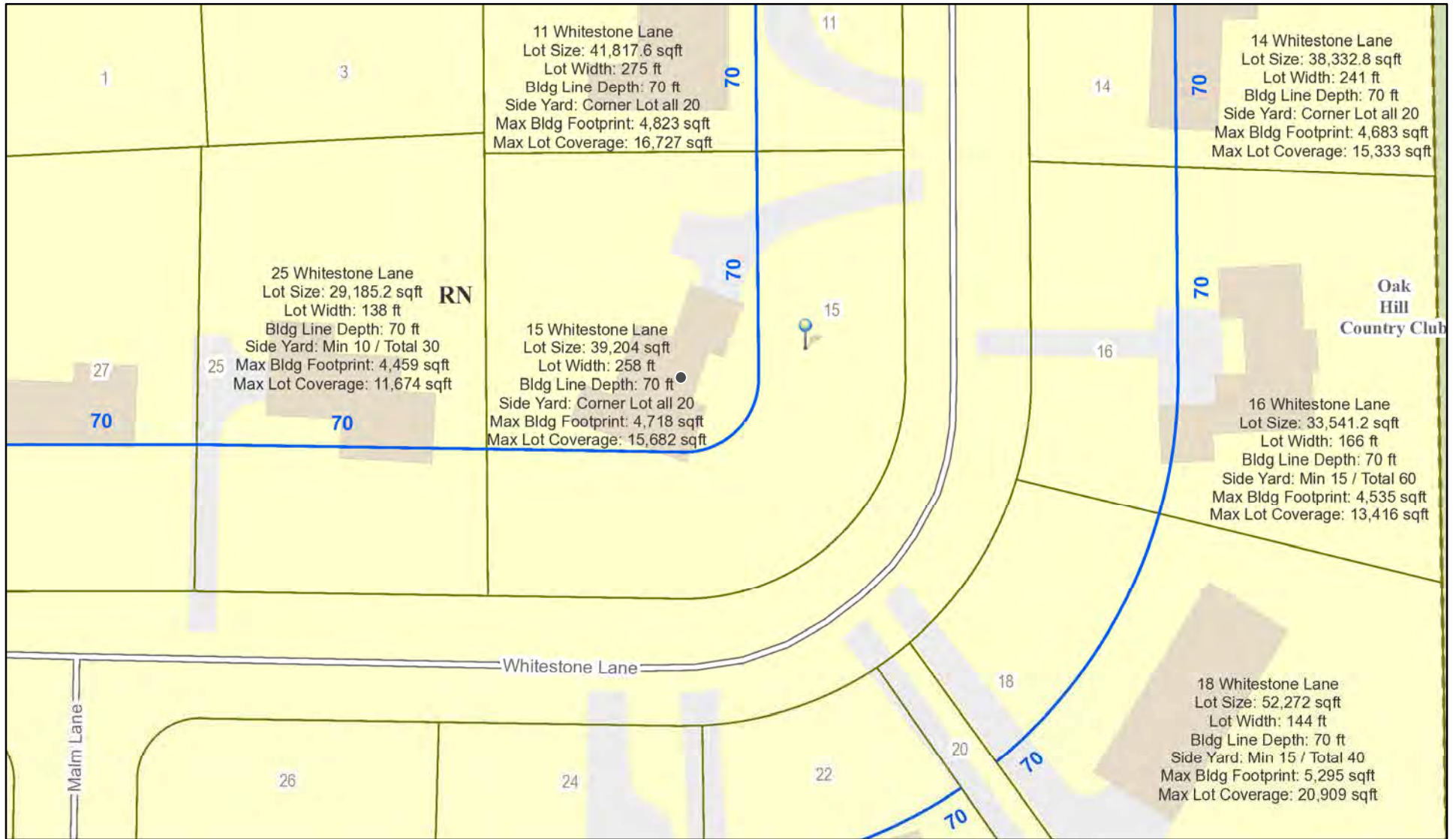
**Meeting Date:** April 27, 2023



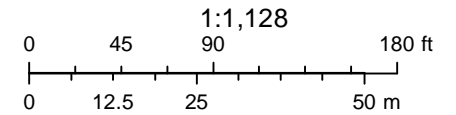




# RN Residential Neighborhood Zoning



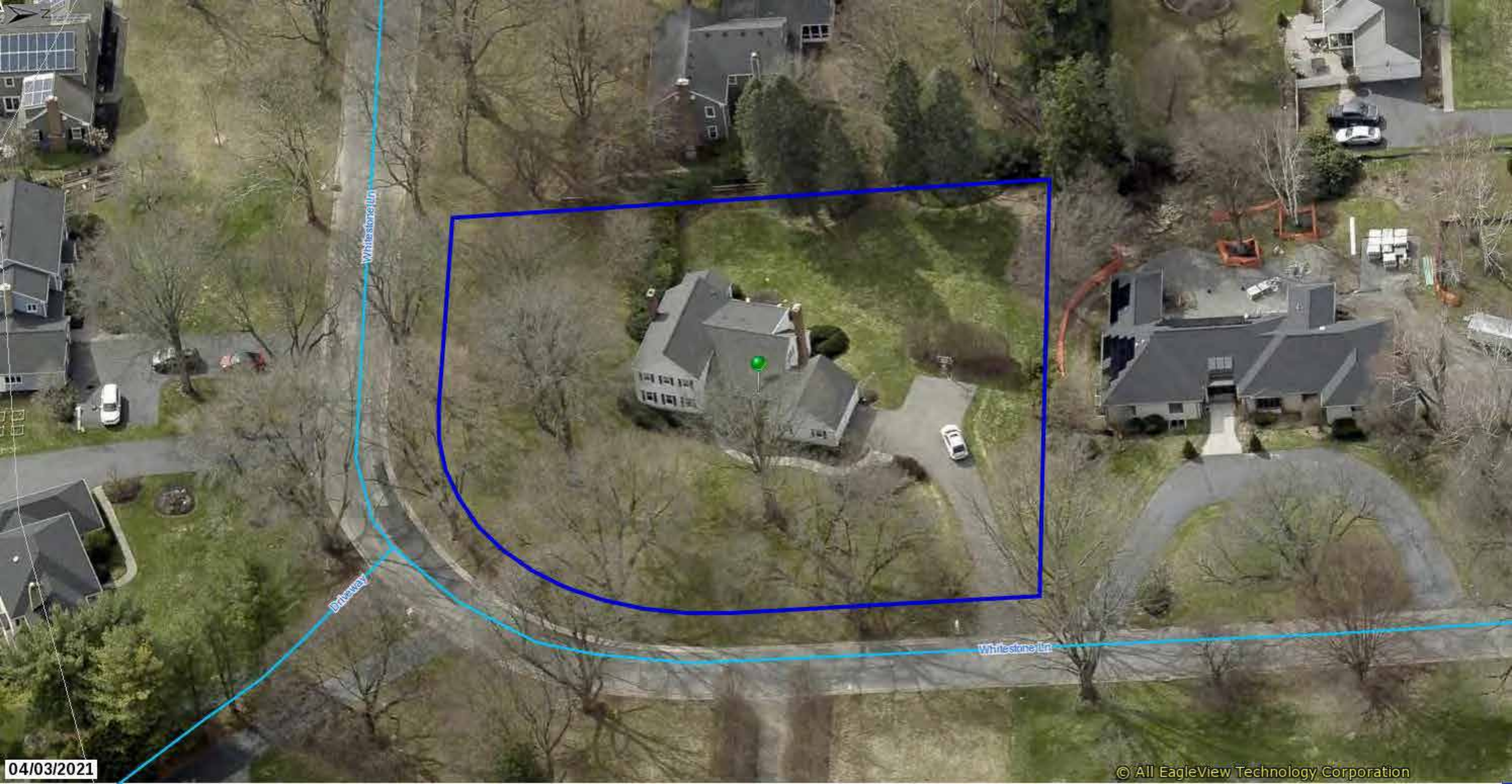
Printed April 17, 2023



Town of Pittsford GIS

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Whitestone Ln

Driveway

Whitestone Ln

04/03/2021

© All EagleView Technology Corporation





1 FRONT ELEVATION EXISTING - DESIGN REVIEW  
1" = 10'-0"



2 FRONT ELEVATION - NEW - DESIGN REVIEW  
1" = 10'-0"

ALLEN

Scale 1" = 10'-0"





1 LEFT ELEVATION - NEW - DESIGN REVIEW  
1" = 10'-0"

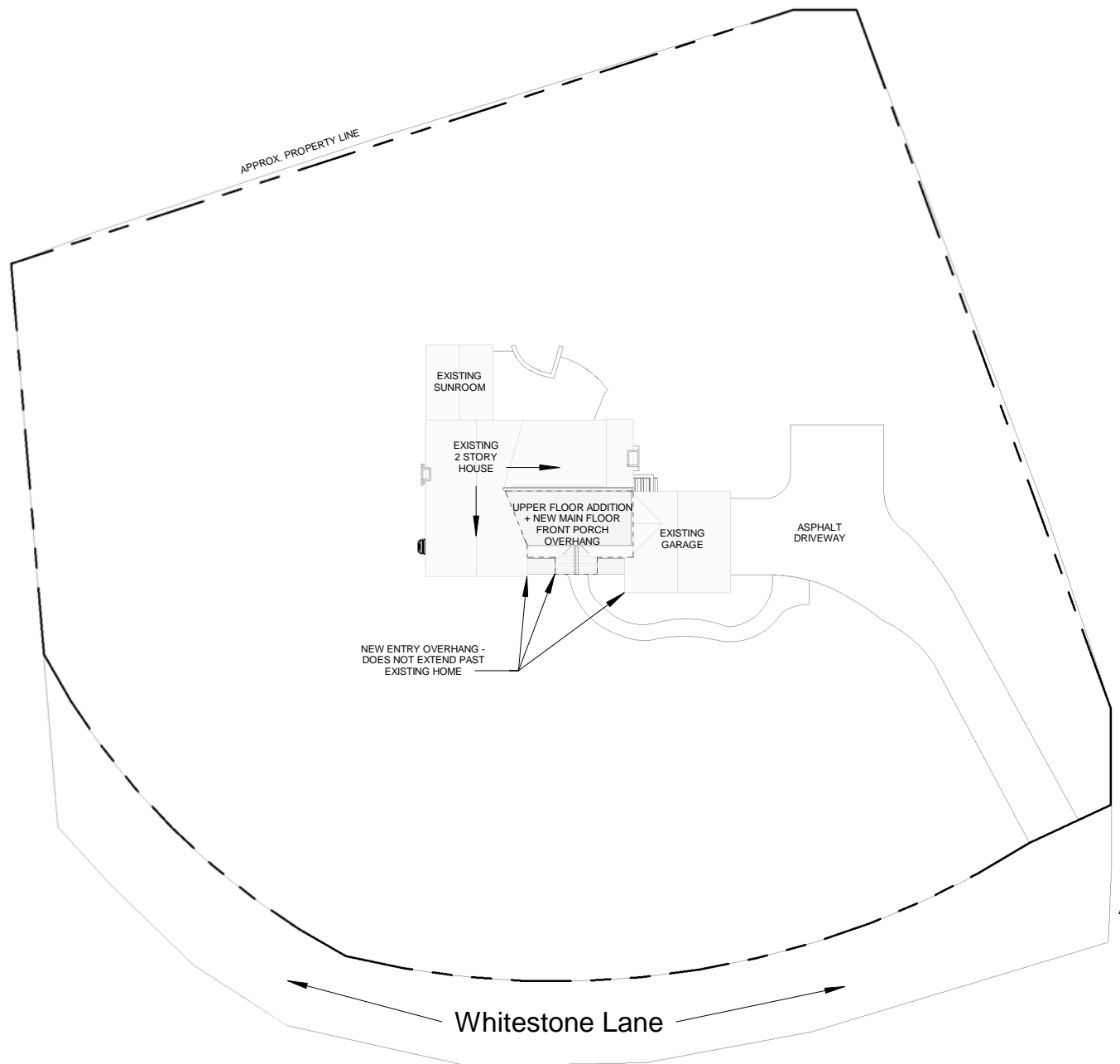


2 RIGHT ELEVATION - NEW - DESIGN REVIEW  
1" = 10'-0"

ALLEN

Scale 1" = 10'-0"





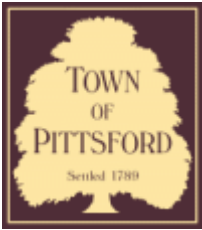
1

DESIGN REVIEW - SITE PLAN  
1" = 40'-0"

ALLEN

Scale 1" = 40'-0"





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000043

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 162 Long Meadow Circle PITTSFORD, NY 14534

**Tax ID Number:** 150.20-2-13

**Zoning District:** RN Residential Neighborhood

**Owner:** Simpson, Richard S

**Applicant:** Simpson, Richard S

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The applicant is requesting design review for a 2000 SF addition of living space and garage renovation.

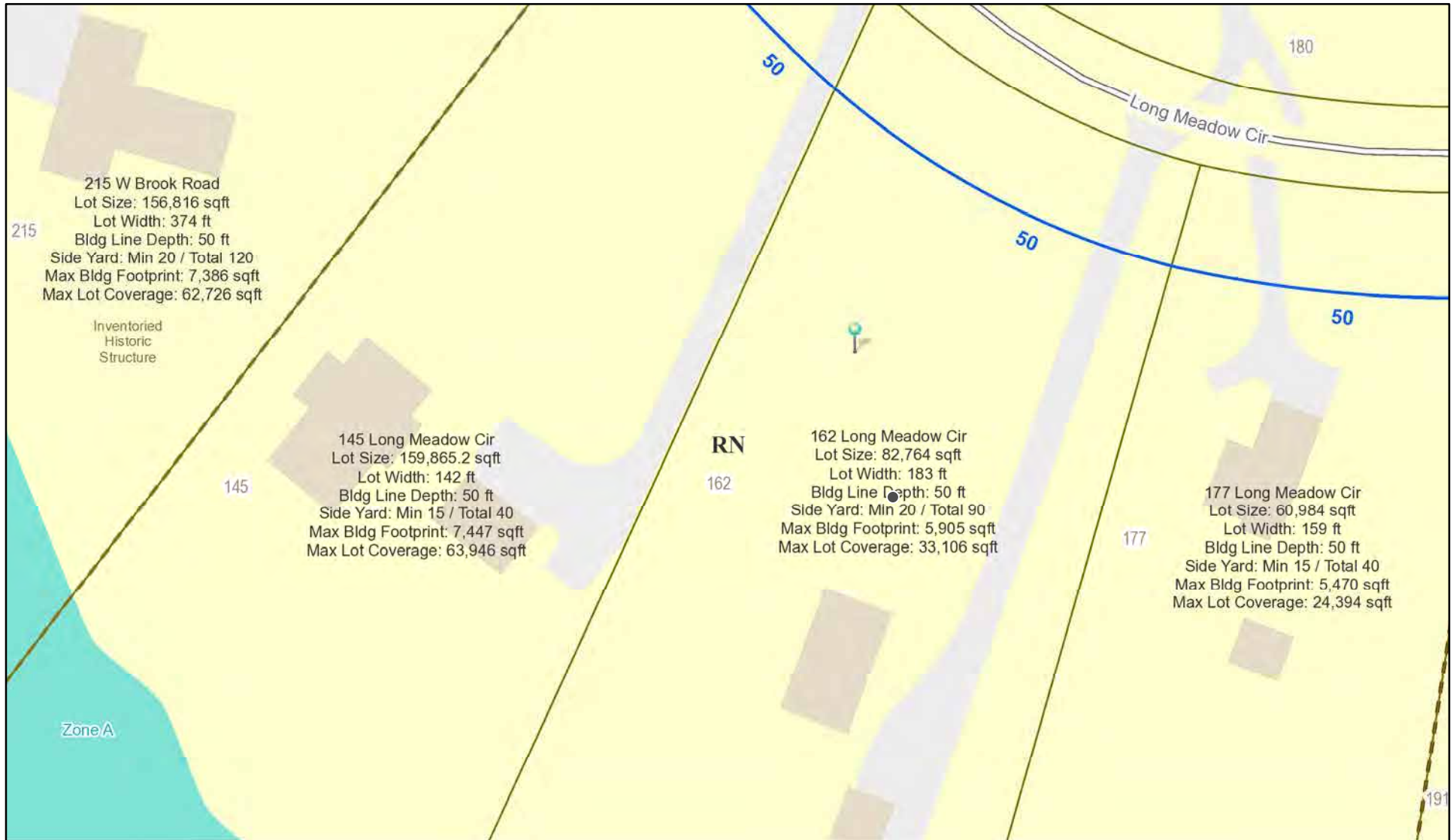
**Meeting Date:** April 27, 2023



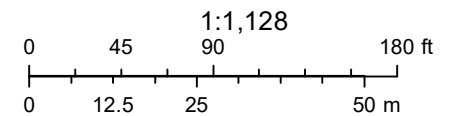




# RN Residential Neighborhood Zoning



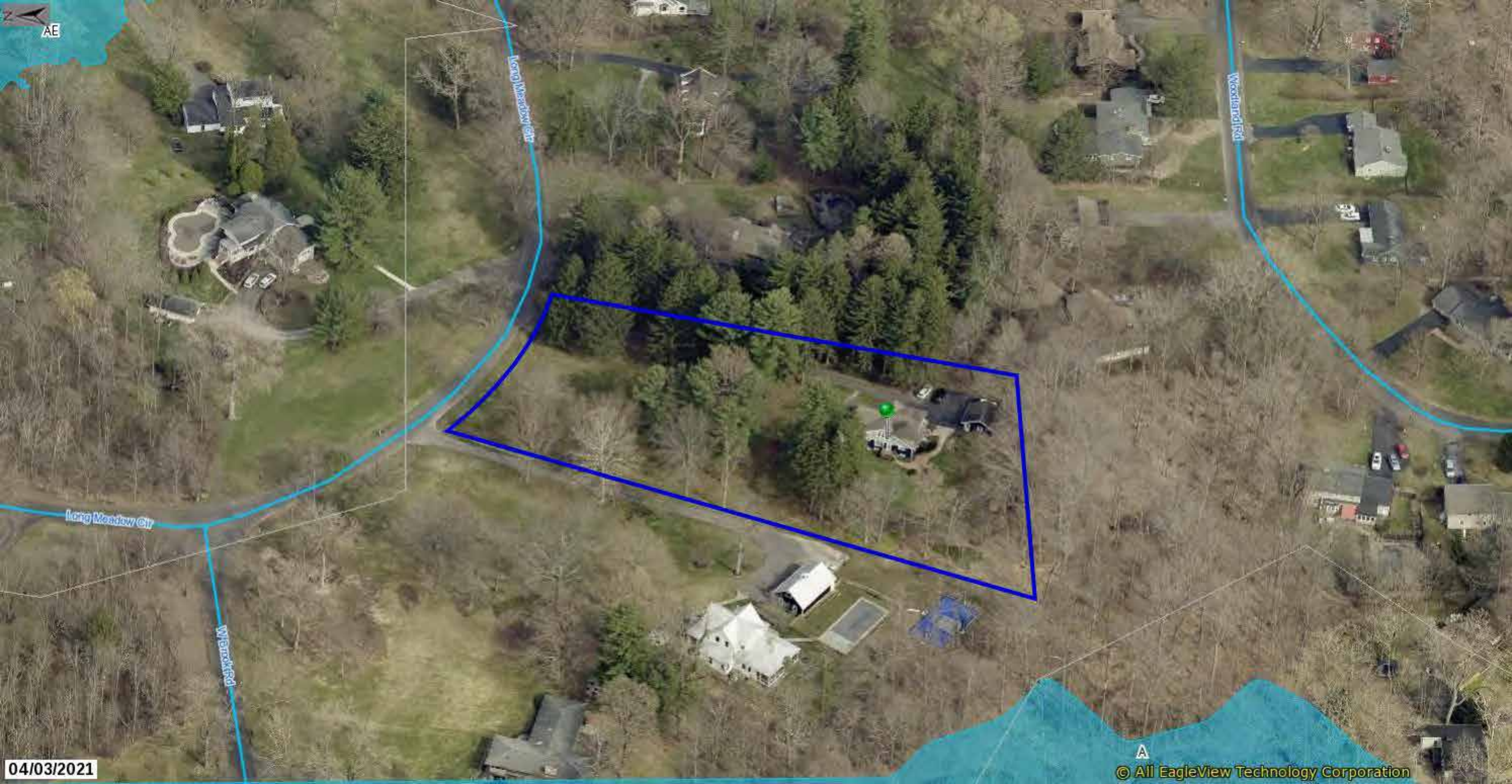
Printed April 12, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





AE

Long Meadow Cir

Woodland Rd

Long Meadow Cir

Wrenock Rd

04/03/2021

A  
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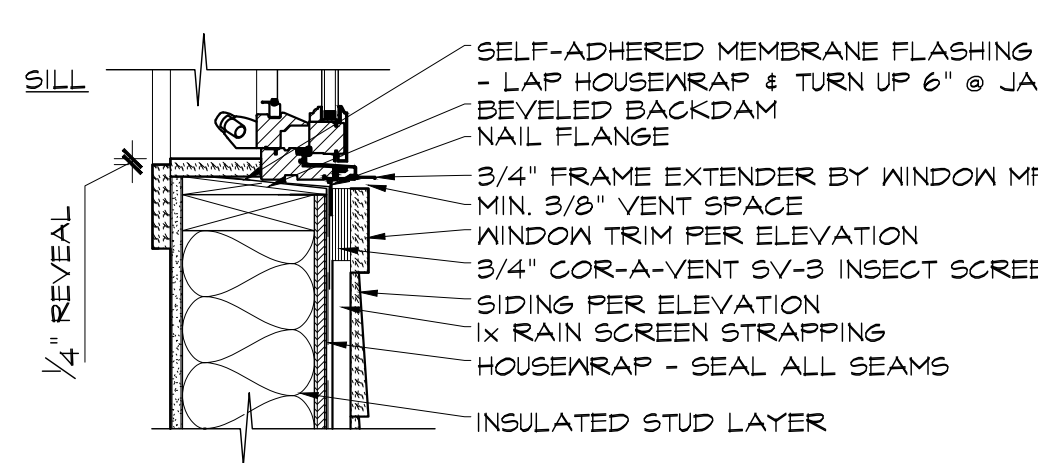
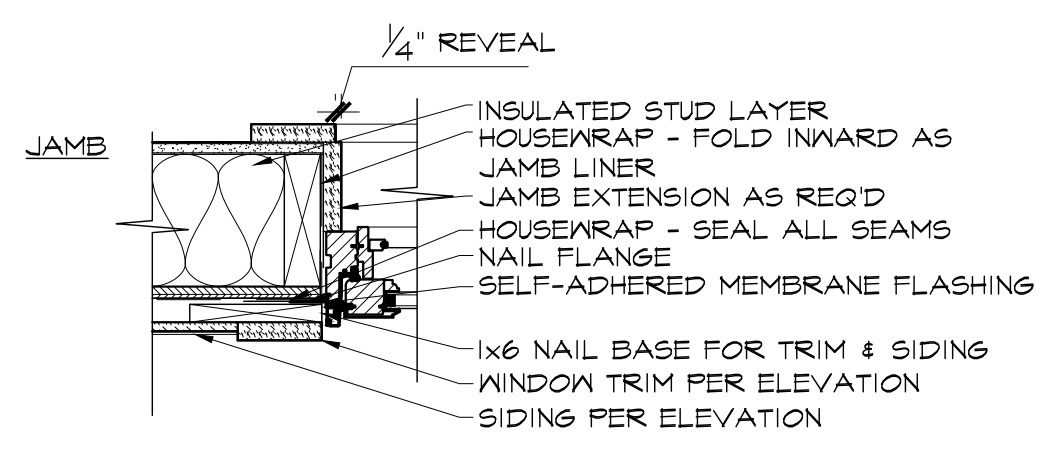
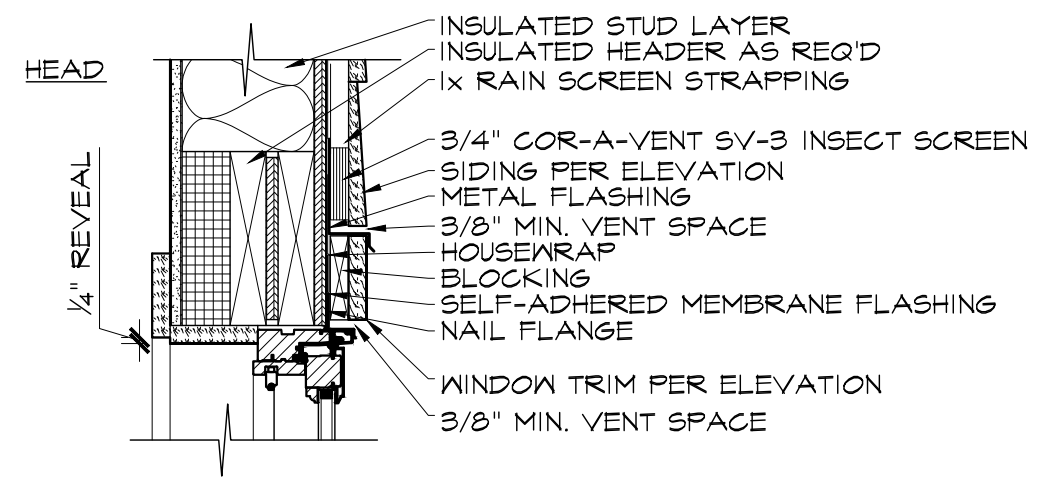




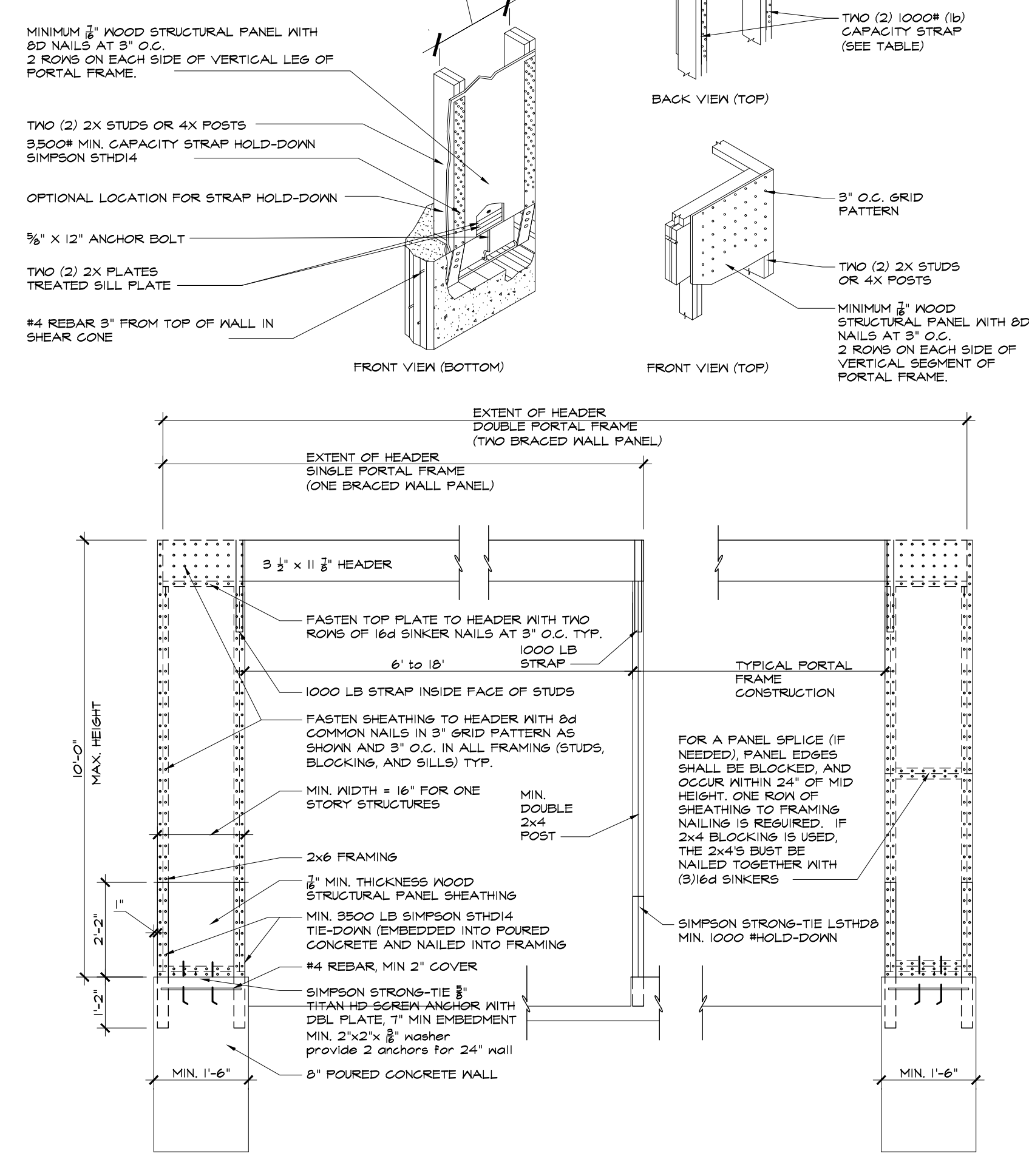




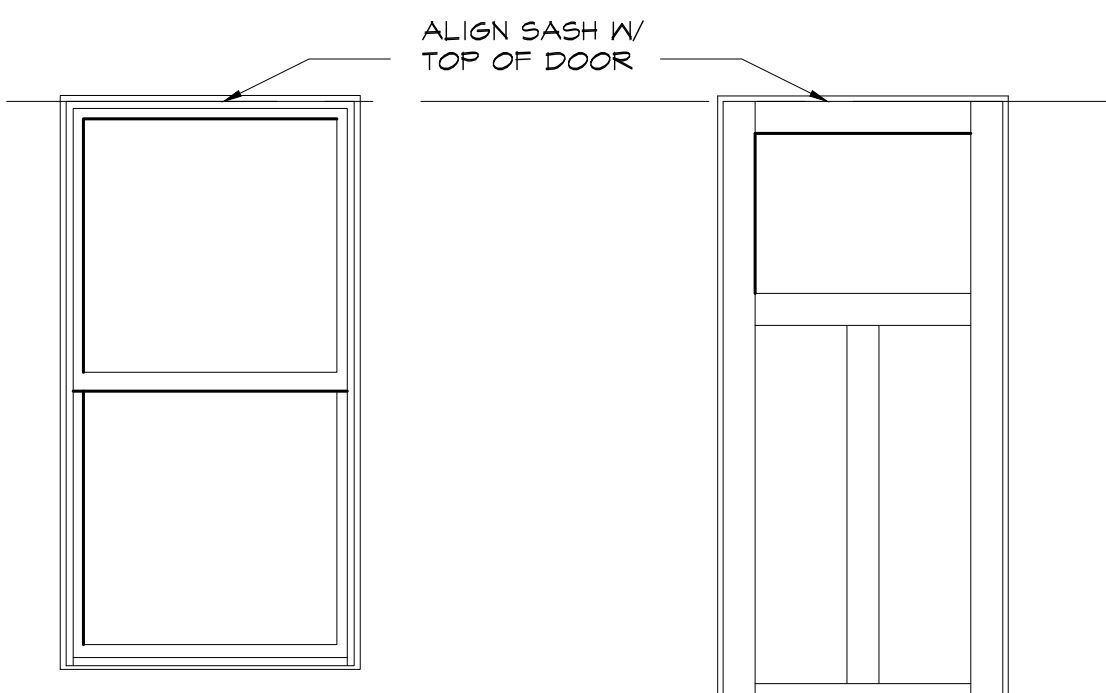




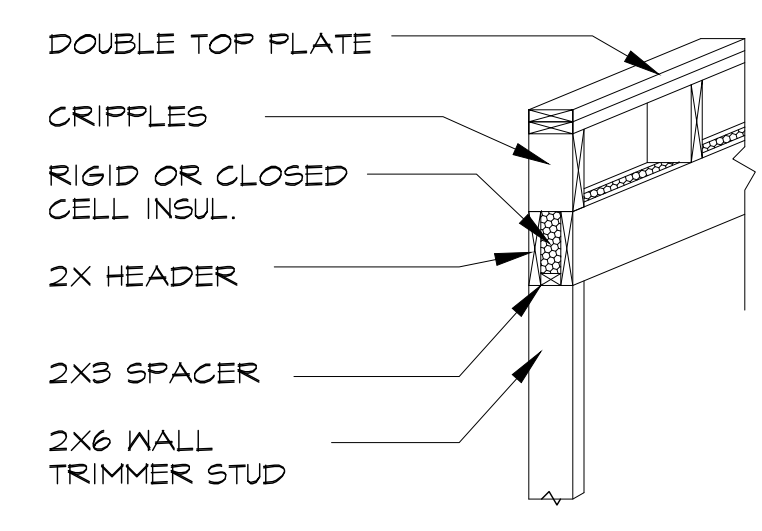
**7 WINDOW DETAILS**  
A-O.1 | 1-1/2" = 1'-0"



**3 NARROW WALL BRACING DETAILS**  
A-O.1

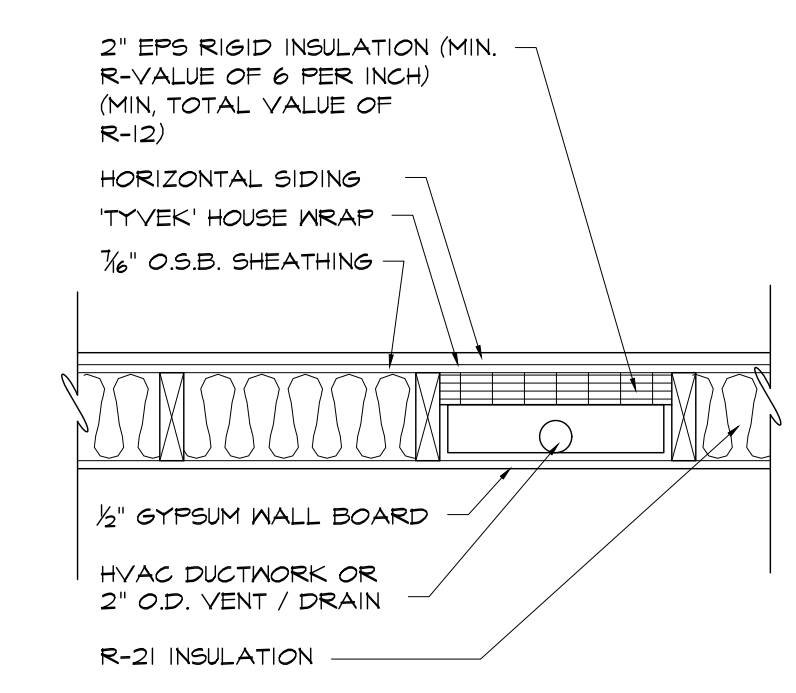


**6 ALIGN CASSED TRIM ELEVATION**  
A-O.1

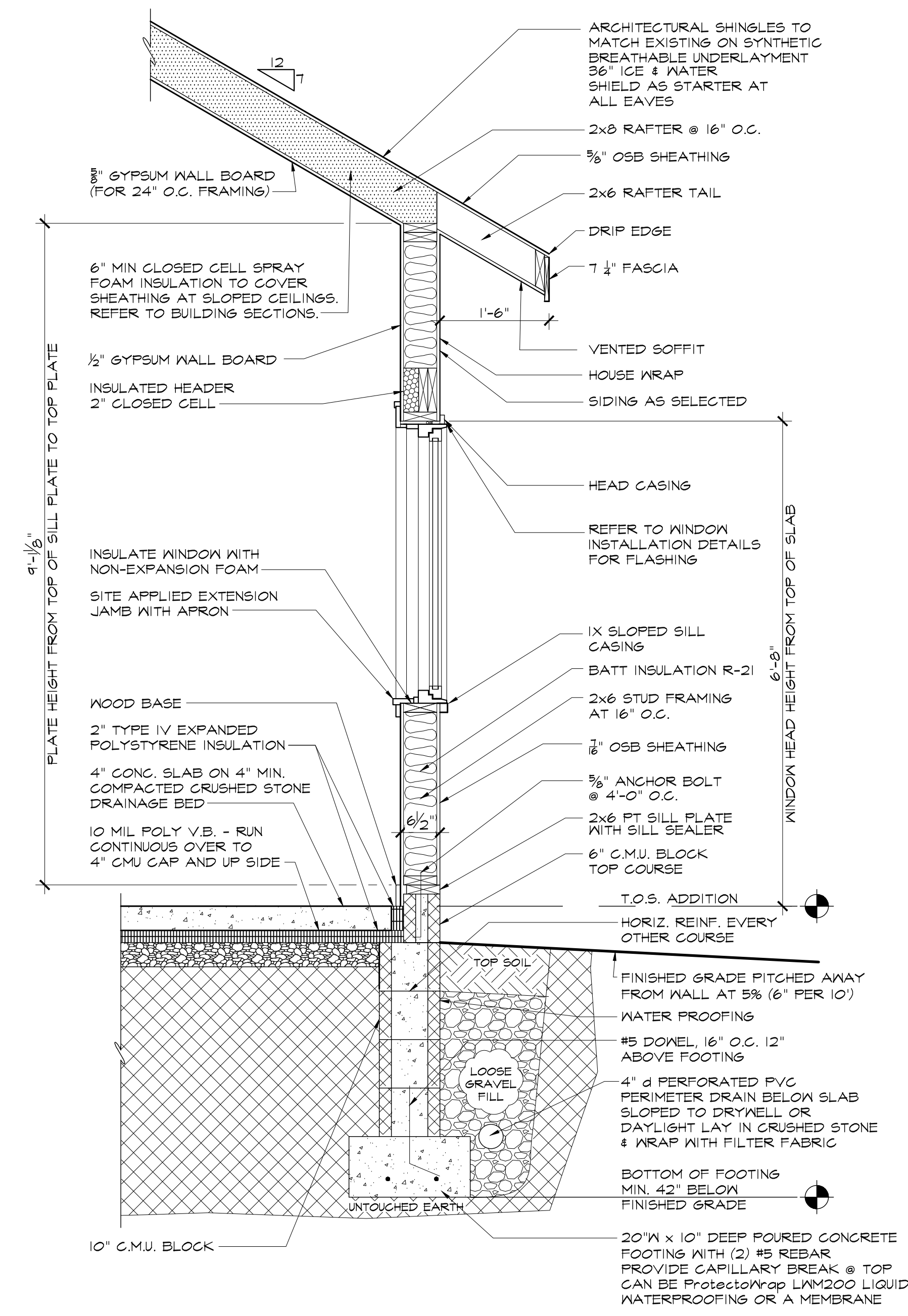


NOTE: ALL EXTERIOR HEADERS TO OUT SIDE WALL

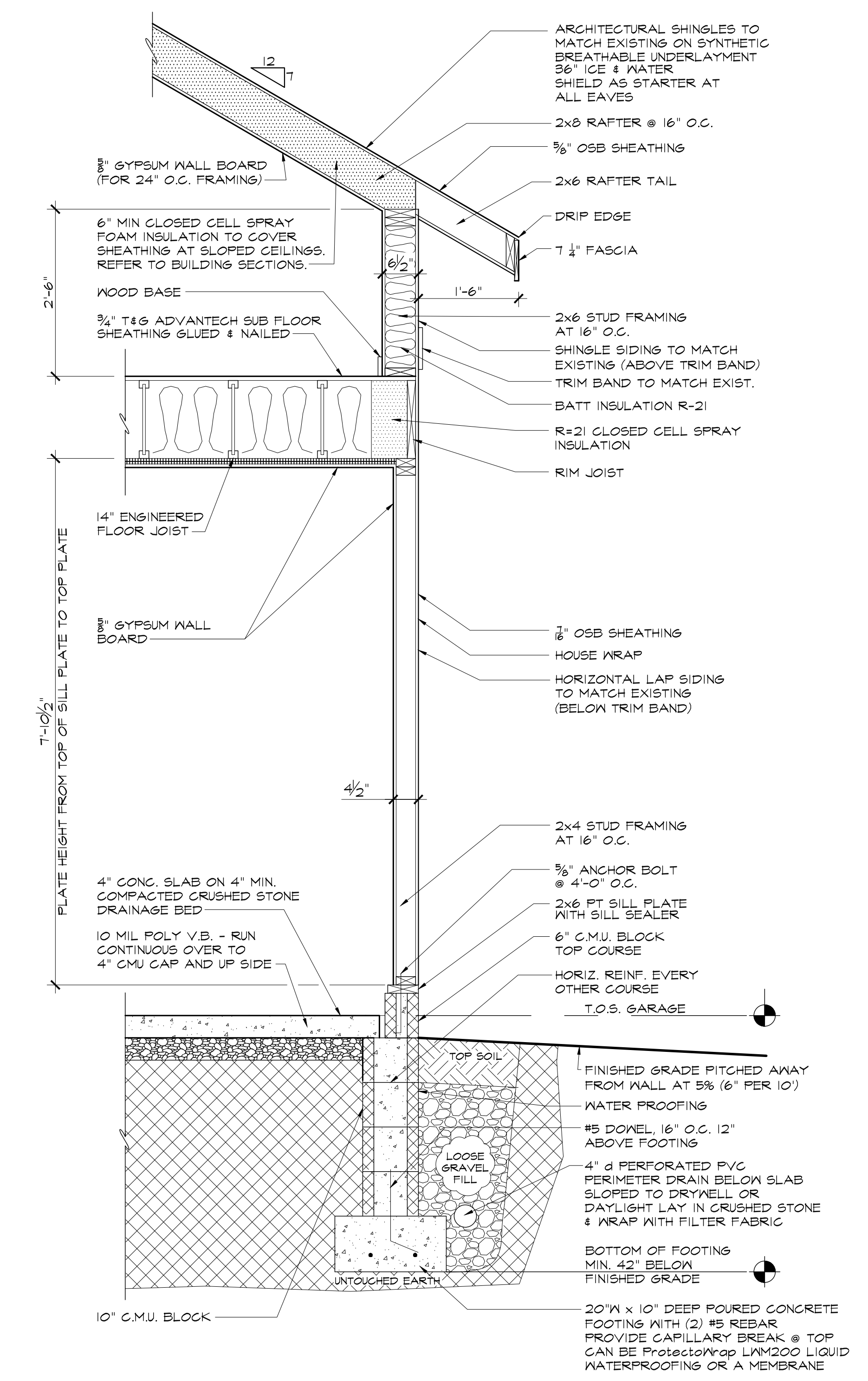
**5 INSULATED HEADERS**  
A-O.1



**4 PLUMBING DETAIL AT EXTERIOR WALL**  
A-O.1



**2 WALL SECTION: ADDITION**  
A-O.1



**1 WALL SECTION: GARAGE**  
A-O.1

PRELIMINARY SET NOT TO BE USED FOR CONSTRUCTION PURPOSES

REVISIONS	
No.	Date

**DESIGN WORKS ARCHITECTURE**  
6 North Main Street, Suite 104 :: Fairport, New York 14450  
Phone: 585-377-9001 :: www.newdesignworks.com  
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**CAROL & RICK SIMPSON RESIDENCE**

162 Long Meadow Circle  
Town of Pittsford  
Monroe County, NY

Project No: 2222  
Date: 08-24-23  
Scale: AS NOTED  
Drawn By: ANVA  
Checked By: CBS

Construction Documents  
STANDARD DETAILS  
& WALL SECTIONS

A=O



**FOUNDATION NOTES:**

- ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
- THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
- FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
- THE CONCRETE USED FOR FOOTINGS AND FOUNDATION WALLS (NOT EXPOSED TO THE WEATHER) SHALL HAVE A MINIMUM STRENGTH OF 2500 PSI AND SHALL BE AIR ENTRAINED AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE.
- TOP OF WALL TO EXTEND A MIN. OF 8" ABOVE FINISHED GRADE.
- BASEMENT SLAB IS A MINIMUM OF 4" THICK OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED. BASEMENT SLAB SHALL BE 3,500 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
- PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10% WELDED WIRE MESH REINFORCING.
- CRAWL SPACE SLAB IS A MINIMUM OF 2" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
- UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (1) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST 1 VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
- REQUIRED ACCESS TO CRAWL SPACES IS 18"x24" WHEN IN THE FLOOR AND 16"x24" WHEN ACCESS IS THROUGH THE PERIMETER WALL.
- PROVIDE PERIMETER FOUNDATION PERFORATED PVC DRAINPIPE PITCHED AT 1/8" IN 12" TO DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR EXTERIOR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED WITH HOLES ORIENTED DOWNWARD. \*\*SUPERIOR WALL FOUNDATION SYSTEMS SHALL PLACE 4" DIA. PVC SLEEVES AT FOOTING CORNERS TO DRAIN THE INTERIOR CRUSHED STONE.
- CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
- PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB, FOR FUTURE CONNECTION IF NECESSARY.
- ALL COMPACTED SOIL TO BE COMPACTED IN 12" LIFTS.
- 2X PRESSURE TREATED SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION, AND BE SECURED WITH ANCHOR BOLTS (MIN. 1/2" DIA.) SPACED AT 6'-0" O.C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 1" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
- CMU FOUNDATION WALL SYSTEM - SEE CMU NOTES & TYPICAL DETAILS.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- SEALABLE COVER SUMP IS NEEDED IF SOIL OTHER THAN GROUP 1 (TABLE 405.1). SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
- EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
- BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED CONTACT DESIGN WORKS ARCHITECTURE.
- BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
- MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" VERTICALLY. INSTALL CONTINUOUS APPROVED FLASHING AND COTTON CORD KEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE OF MASONRY VENEER ABOVE GRADE.

**CAST-IN-PLACE CONCRETE AND REINFORCING:**

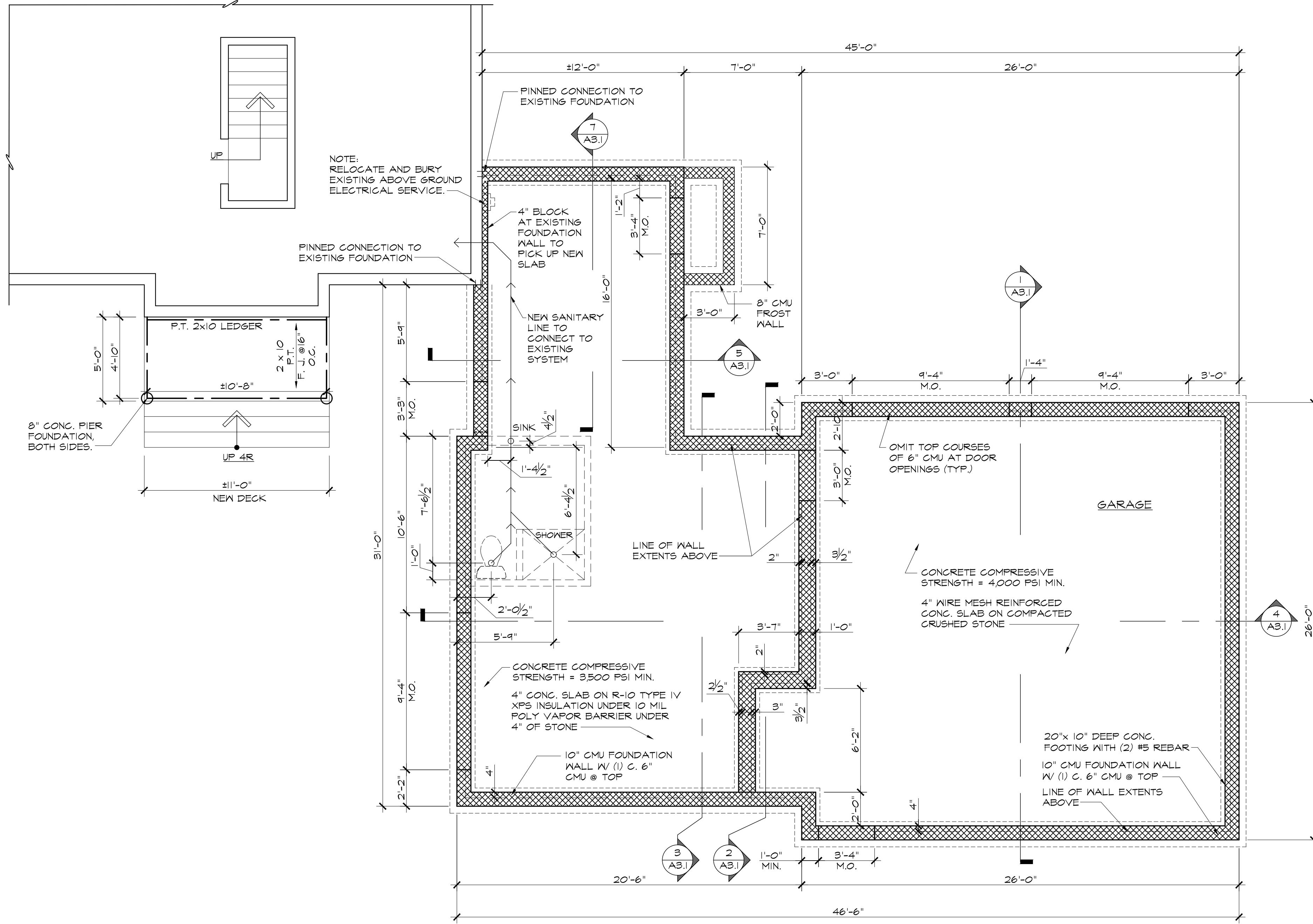
- BEFORE PLACING CONCRETE REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BLOCKOUTS AND EMBEDDED ITEMS.
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4" x 45 DEGREES UNLESS OTHERWISE NOTED.
- ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE AND NOT FROM GROUT.
- ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
- WELDING OF REINFORCING STEEL IS NOT PERMITTED.
- THE USE OF DEFORMED REINFORCING STEEL OR ANCHORS ON EMBEDDED ITEMS IS NOT PERMITTED.
- SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6X6 W2.9X12.9 WELDED WIRE MESH.
- THE FOLLOWING MINIMUM PROTECTION OF REINFORCING SHALL BE MAINTAINED.
  - FOOTINGS 3"
  - CONCRETE EXPOSED TO EARTH OR WEATHER 2"
  - WALLS 1 1/2"
  - SLABS 3/4"

**CMU NOTES:**

- CONCRETE MASONRY UNITS - HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"x16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
- MORTAR - MORTAR SHALL BE TYPE S.
- TRUSSED HORIZONTAL REINFORCING SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
- BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF 3/8" UNIFORM THICKNESS.
- WHERE VERTICAL REINFORCING IS CALLED FOR ON FLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
- ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM GROUT.

**TILE SPECIFICATION:**

- USE UNMODIFIED MORTAR FOR SETTING TILE OVER AN IMPERMEABLE WATERPROOF MEMBRANE OR ANTI-FRACTURE MEMBRANE. DO NOT USE A POLYMER MODIFIED THIN SET.



1 FOUNDATION PLAN  
A-1.1 1/4" = 1'-0" N

PRELIMINARY SET NOT TO BE USED FOR CONSTRUCTION PURPOSES

REVISIONS	
No.	Description

**DESIGN WORKS ARCHITECTURE**

6 North Main Street, Suite 104 :: Fairport, New York 14450  
 Phone: 585-377-9001 :: www.newdesignworks.com

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**CAROL & RICK SIMPSON RESIDENCE**

162 Long Meadow Circle  
 Town of Pittsford  
 Monroe County, NY

Project No.	2222
Date:	05-24-23
Scale:	AS NOTED
Drawn by:	AH/A
Checked by:	CBS

Title: Construction Documents  
 FOUNDATION PLAN

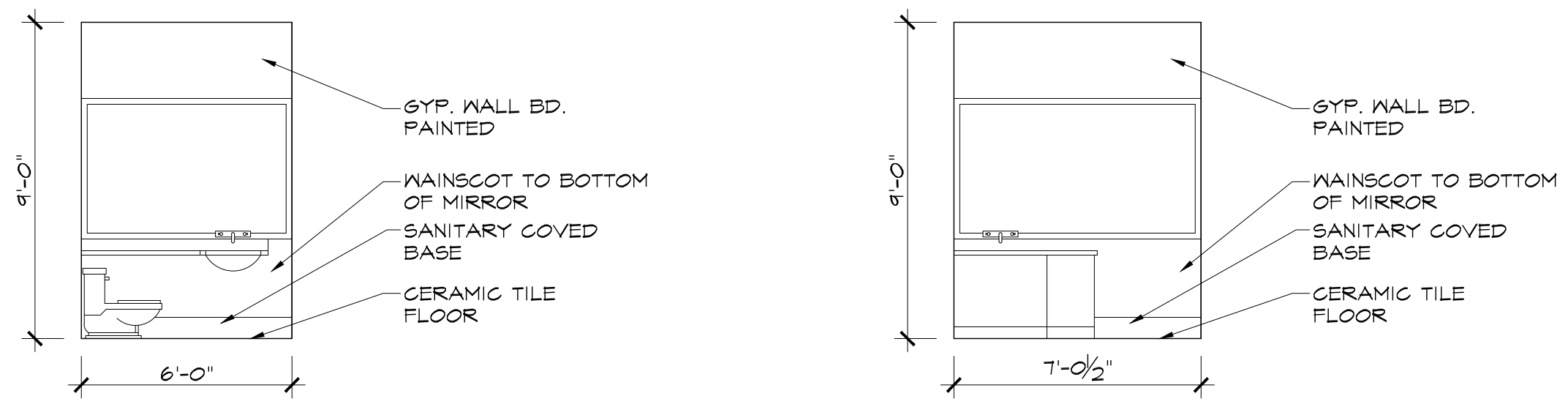


**FLOOR PLAN NOTES:**

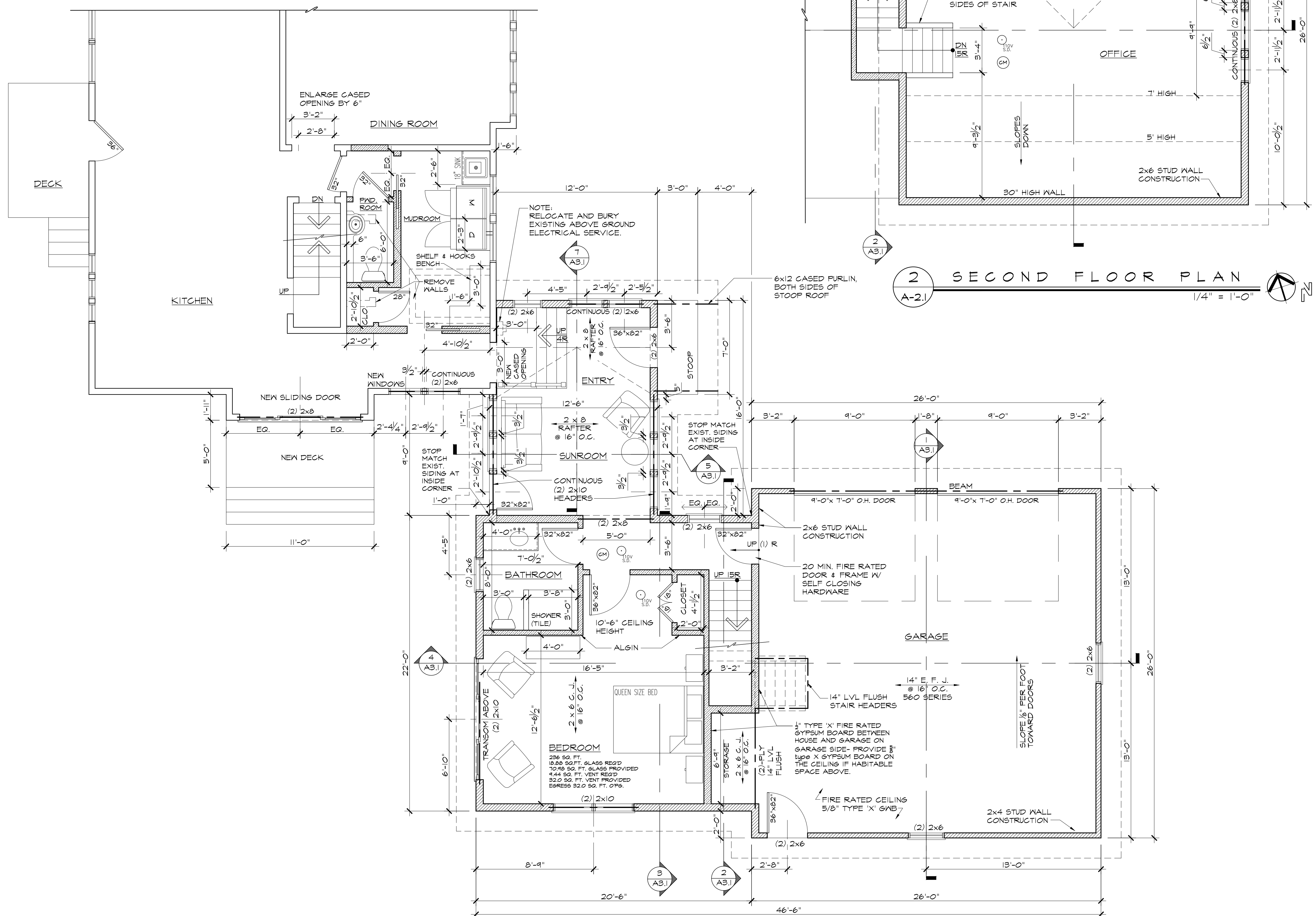
- ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
- ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
- DOUBLE JACK STUDS AT ALL 4'-0" OPENINGS AND LARGER.
- ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
- ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
- INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
- REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A TO CFM FAN, OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

**WALL TYPE LEGEND**

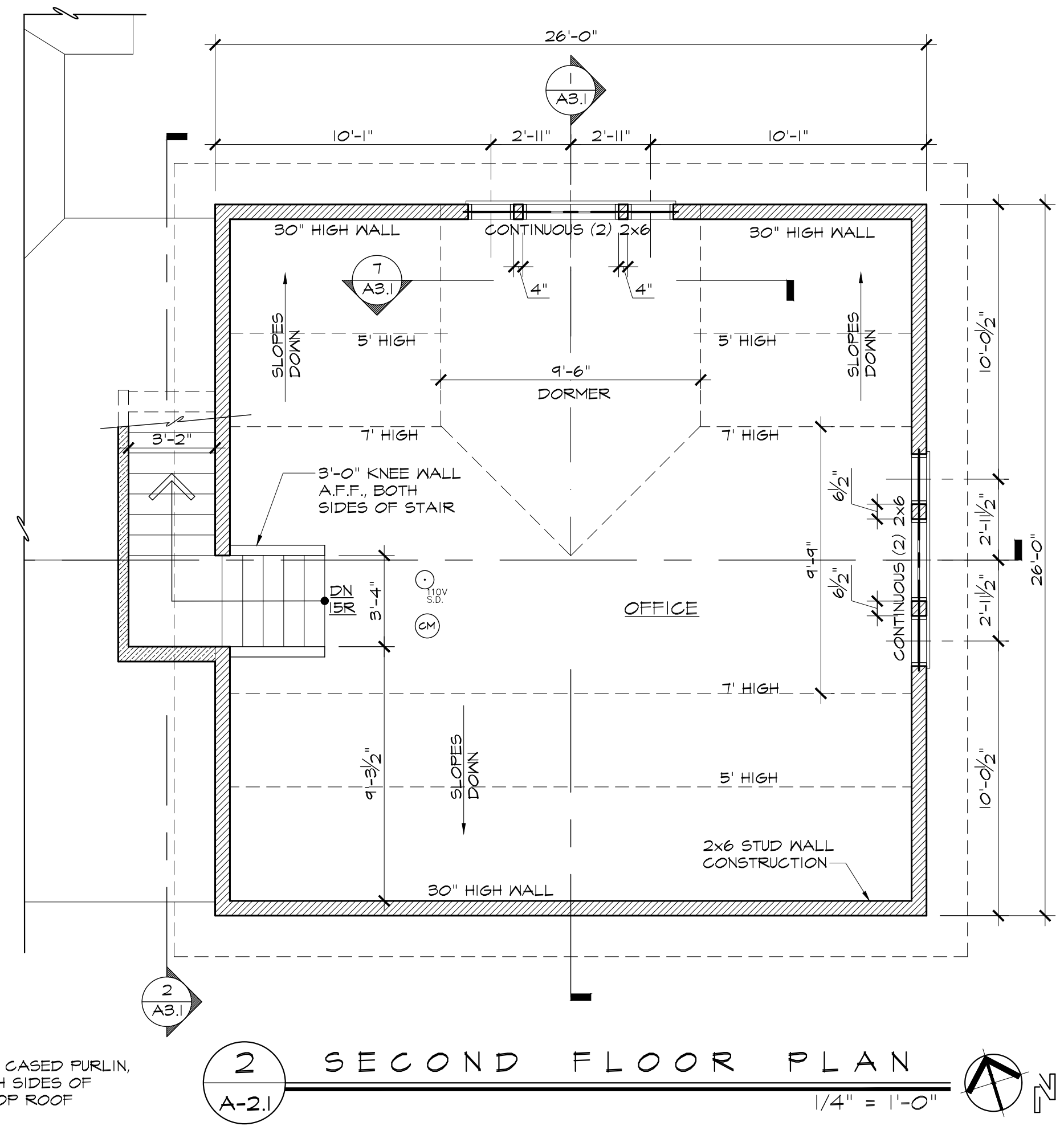
	EXTERIOR INSULATED WALL
	EXTERIOR 2x FRAMING
	INTERIOR STUD FRAMING
	HALF MALLS
	POURED CONC.
	FOUNDATION WALL



**4 INTERIOR ELEVATION: POWDER ROOM** 1/4" = 1'-0"  
**3 INTERIOR ELEVATION: BATHROOM** 1/4" = 1'-0"



**1 FIRST FLOOR PLAN** 1/4" = 1'-0"



**2 SECOND FLOOR PLAN** 1/4" = 1'-0"

**PRELIMINARY SET NOT TO BE USED FOR CONSTRUCTION PURPOSES**

REVISIONS	
No.	Description

**DESIGN WORKS ARCHITECTURE**  
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**CAROL & RICK SIMPSON RESIDENCE**  
 162 Long Meadow Circle  
 Town of Pittsford  
 Monroe County, NY

Project No:	2222
Date:	08-24-23
Scale:	AS NOTED
Drawn by:	ANVA
Checked by:	CBS

Title: Construction Documents FLOOR PLAN  
 A=21

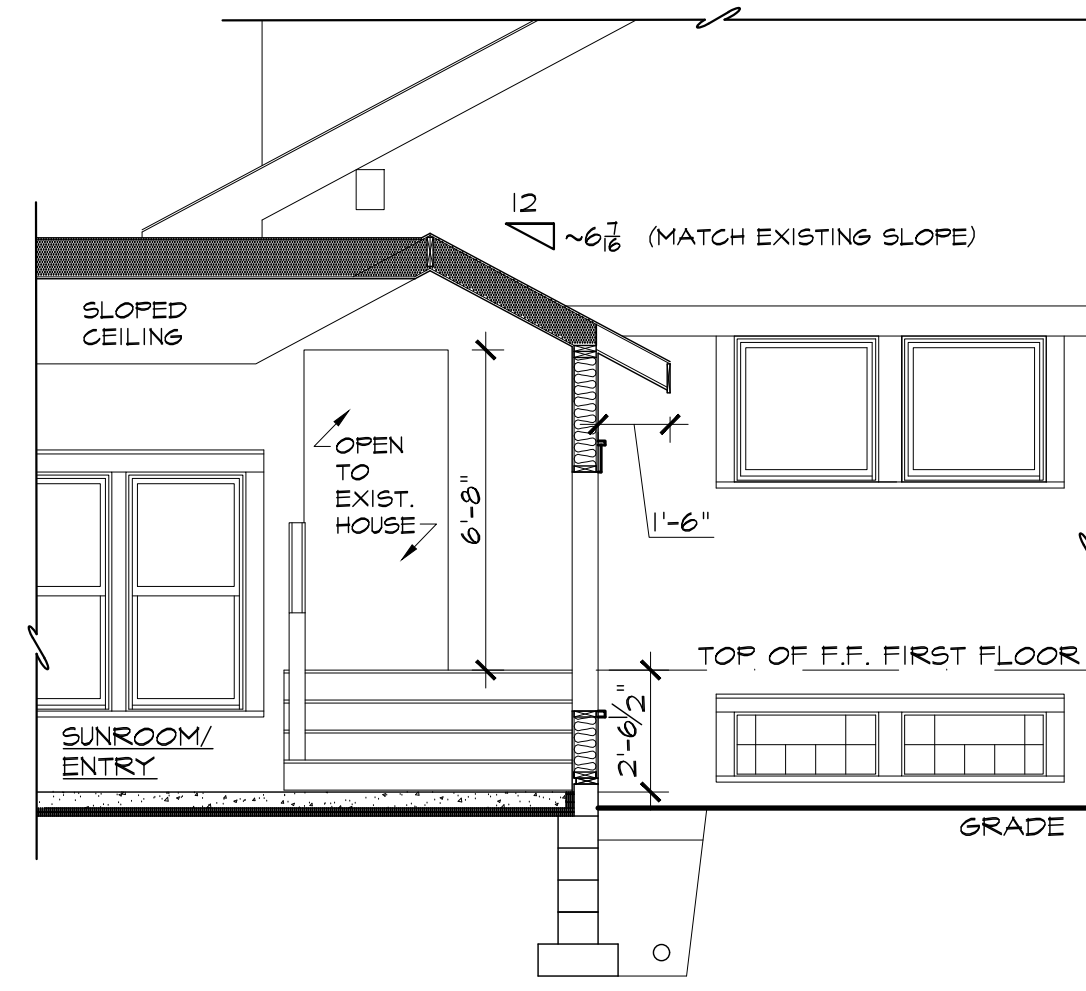




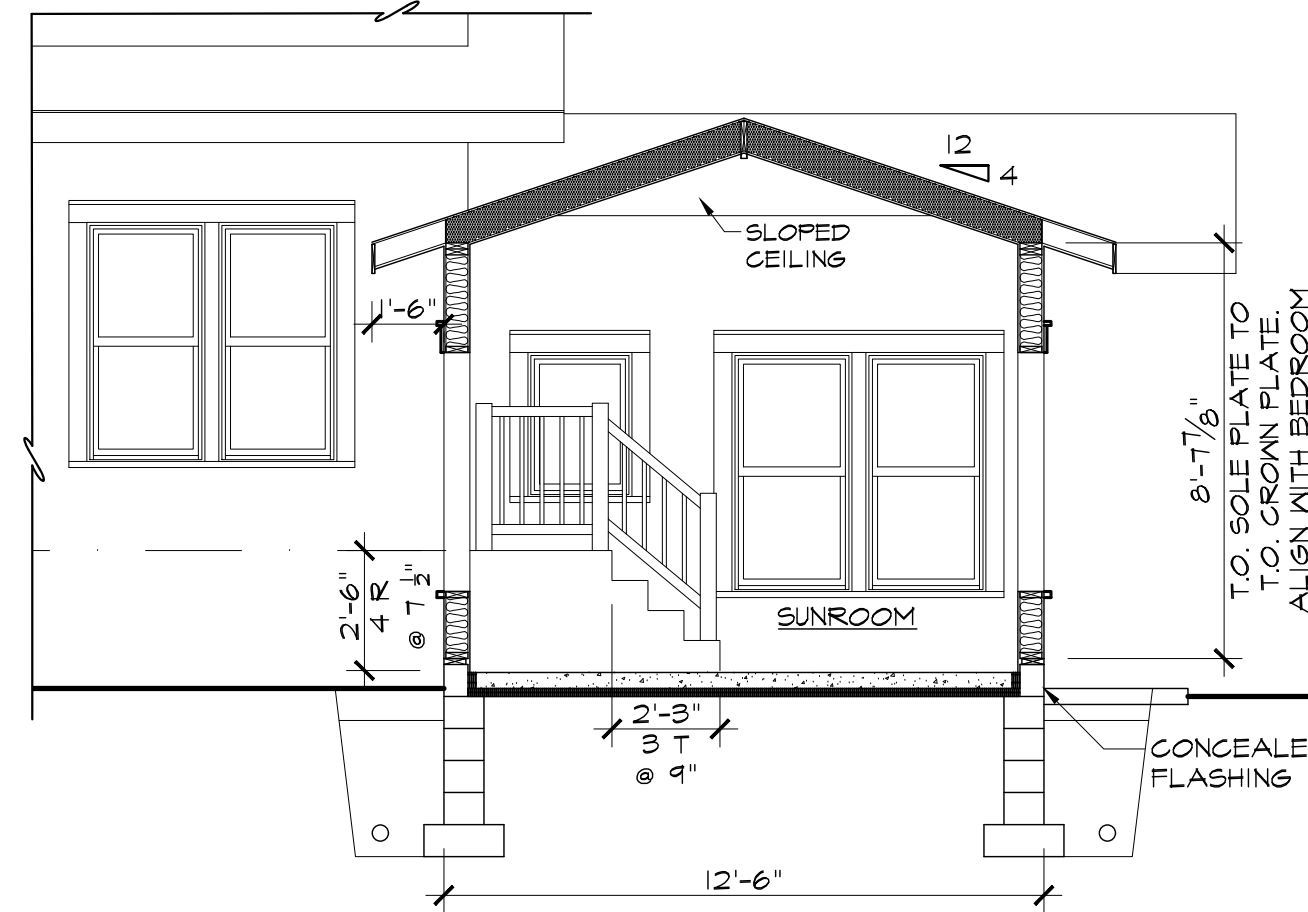


**CONSTRUCTION AND FRAMING NOTES:**

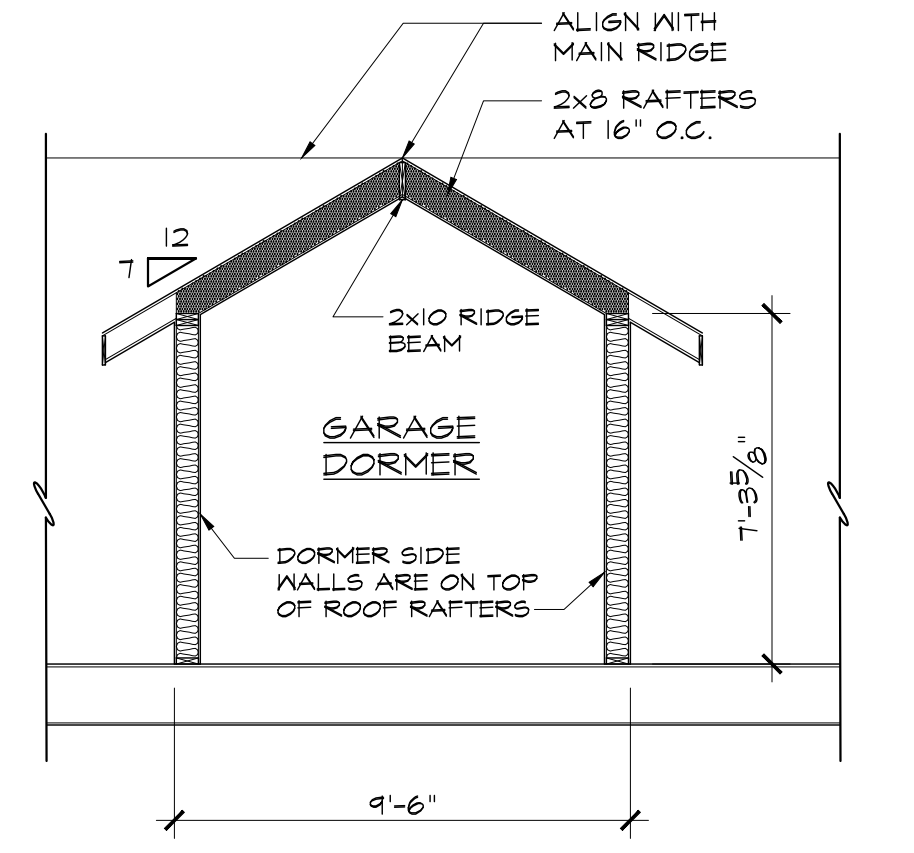
- JOISTS, HEADERS, AND BEAMS SHALL BE EASTERN HF NO. 2 OR BETTER UNLESS NOTED OTHERWISE:  
 - HF: Fb=1400 PSI, Fv=75 PSI, E=1,300,000  
 - DOUG FIR: Fb=1400 PSI, Fv=95 PSI, E=1,400,000
- ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES.
- "LVL" BEAMS SHALL HAVE BENDING STRESS Fb=2,600 PSI, E=2,0M PSI.
- ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.
- BEAMS TO FOUNDATION POCKETS SHALL HAVE 1/2" CLEARANCE FROM MASONRY (1/2" AIRSPACE THREE (3) SIDES W/ STEEL SHIMS AND SOLID CMU CORES AT BEARING).
- UNLESS OTHERWISE NOTED PROVIDE A 2x PLATE BOLTED TO TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 48" ON CENTER.
- SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS OR EQUAL.
- ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE "PRESSURE TREATED UNLESS SEPARATED BY SILL SEALER MATERIAL.
- ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE.
- DOUBLE FLOOR JOISTS AT FLOOR OPENINGS.
- PROVIDE DOUBLE STUDS (MIN) UNDER BEAMS W/ SOLID BLKG. TO FNDN. (W/ SOLID CMU CORES AT POINT LOAD), COL. OR BEAM FOR PROPER SUPPORT AND LOAD TRANSFER.
- FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE ADVANTECH SUBFLOOR.
- FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCT WORK.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND, (3 COATS) USE 3/4" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- ALL WALLS TO RECEIVE TILE SHALL BE CEMENTITIOUS BACKER BOARD IN SHOWERS AND AROUND TUBS.
- USE (1) LAYER 1/2" FC TYPE "X" GYPSUM BOARD @ GARAGE WALLS AND CEILINGS. CEILING TO BE 5/8" FIRE CODE TYPE X IF HABITABLE SPACE ABOVE. ALL JOINTS TO BE TAPED, SEALED AND PAINT FINISH.
- WINDOW AND EXTERIOR DOOR HEADERS AS NOTED ON PLAN.
- PROVIDE REQUIRED FLASHING TO MEET OR EXCEED ACCEPTABLE COMMON BUILDING PRACTICE WHERE REQ'D AND AT ROOF CHANGES, HORIZ. ABUTMENTS (PORCHES & DECKS), PROJECTIONS, VALLEYS, OPENINGS... ETC.
- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS TO BE CERTIFIED BY THE MANUFACTURER, INCLUDING FINAL SIZING AND ENGINEERING, BRIDGING AND BLOCKING, THRU-PENETRATIONS, BEARING CONDITIONS AND CONNECTIONS.
- PROVIDE BRIDGING WHERE JOISTS EXCEEDING A NOMINAL 2 INCHES BY 12 INCHES SHALL BE SUPPORTED LATERALLY BY BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL), OR A CONTINUOUS 1 INCH BY 3 INCH STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FEET.
- PROVIDE RUST-INHIBITIVE PAINT TO STEEL COLUMNS EXCEPT FOR CORROSION RESISTANT OR TREATED STEEL.
- ALL AREAS OF HABITABLE SPACE WILL BE PROVIDED WITH OPENINGS FOR EMERGENCY EGRESS OF 5 SF AT FIRST FLOOR AND 5.7 SF AT SECOND FLOOR. ALL SILLS TO BE WITHIN 44" OF FINISH FLOOR FOR EGRESS OPENINGS.
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED WALL, AND STAIR SPACES AT THE FLOOR AND CEILING (ALSO 1/2" G/WB ON UNDERSIDE OF STAIRS IN ENCLOSED ACCESSIBLE SPACES). FURRED SPACES AT INTERVALS NOT EXCEEDING 10 FT. CONCEALED JOIST SPACES AT BEAMS AND BEARING WALLS.
- ALL GAS APPLIANCES TO BE DIRECTLY VENTED TO ROOF OR EXTERIOR TERMINATION ADDRESSING ALL REQUIREMENTS PER MANUFACTURERS SPECIFICATIONS.
- FOR INSULATION VALUES, REFER TO RESCHECK.



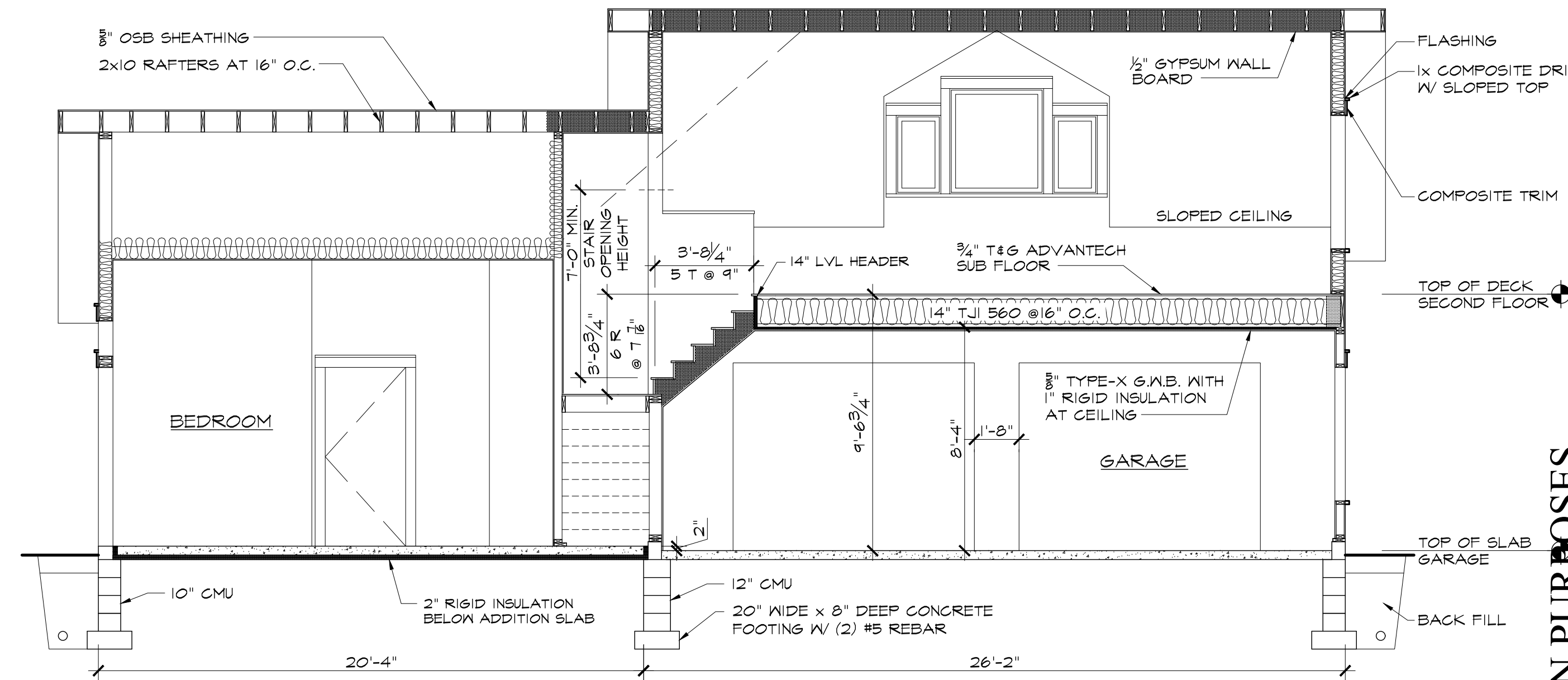
**7 BUILDING SECTION**  
A-3.1 1/4" = 1'-0"



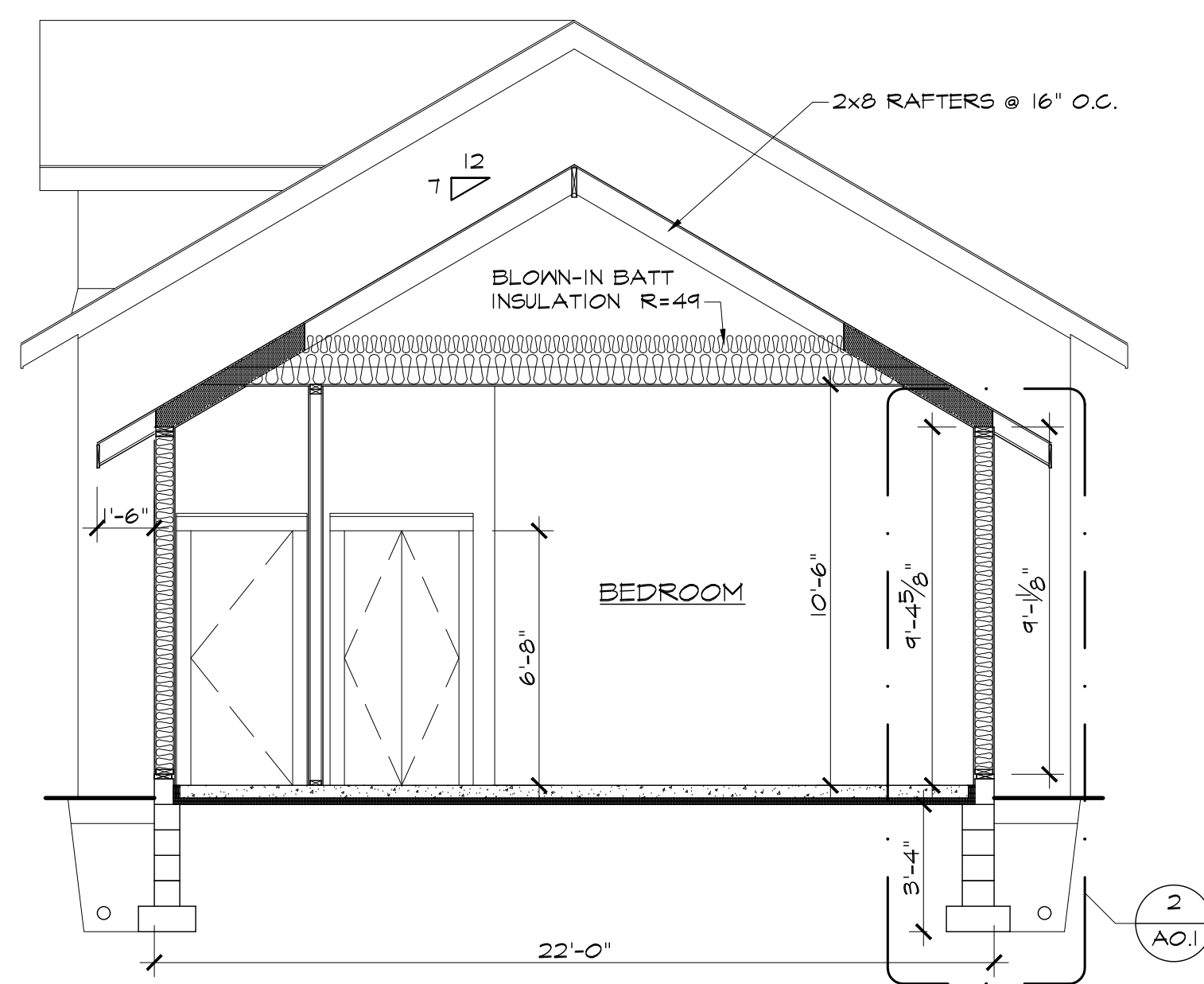
**5 BUILDING SECTION**  
A-3.1 1/4" = 1'-0"



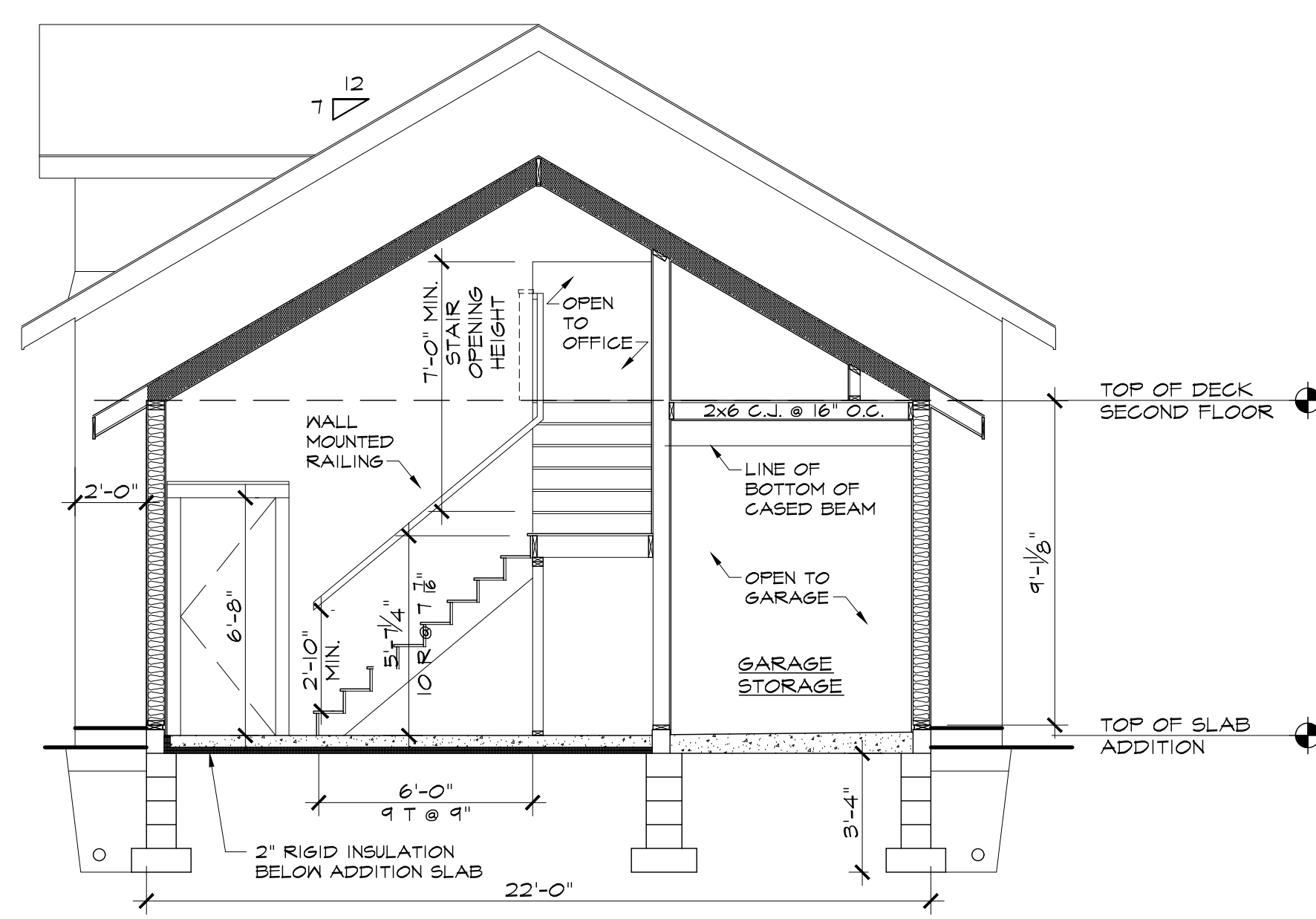
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A-3.1 1/4" = 1'-0"



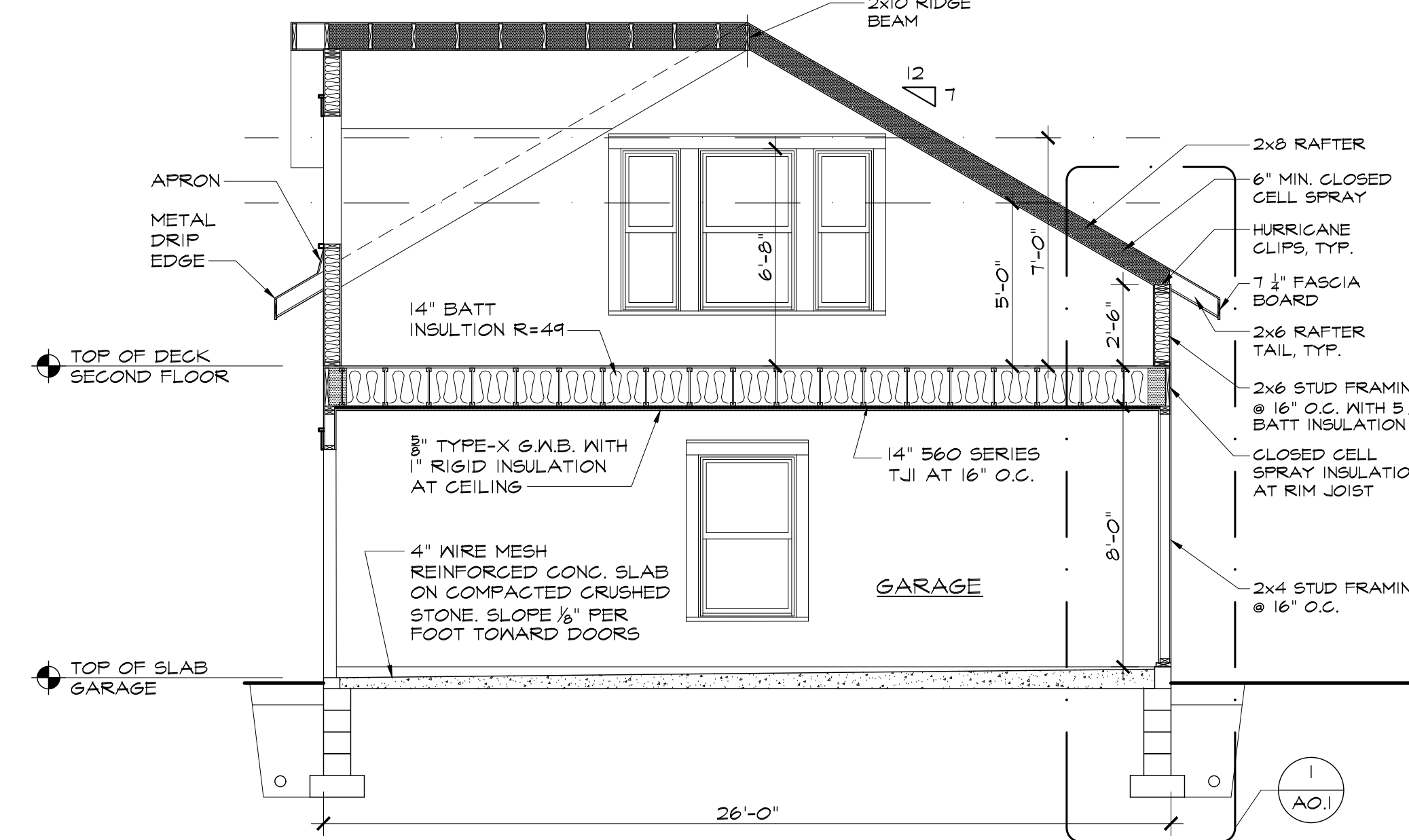
**4 BUILDING SECTION**  
A-3.1 1/4" = 1'-0"



**3 BUILDING SECTION**  
A-3.1 1/4" = 1'-0"



**2 BUILDING SECTION**  
A-3.1 1/4" = 1'-0"



**1 BUILDING SECTION**  
A-3.1 1/4" = 1'-0"

PRELIMINARY SET NOT TO BE USED FOR CONSTRUCTION PURPOSES

No.	Date	Description

**DESIGN WORKS ARCHITECTURE**  
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**CAROL & RICK SIMPSON RESIDENCE**  
 162 Long Meadow Circle  
 Town of Pittsford  
 Monroe County, NY

Project No: 2222  
 Date: 08-24-23  
 Scale: AS NOTED  
 Drawn by: ANVA  
 Checked by: CBS

File: Construction Documents BUILDING SECTIONS  
 Title: **A-3.1**

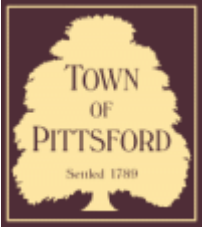












## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000045

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 173 Knickerbocker Road PITTSFORD, NY 14534

**Tax ID Number:** 164.15-2-22

**Zoning District:** AG Agricultural

**Owner:** Knickerbocker, Larry W

**Applicant:** Knickerbocker, Larry W

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of an approximately 330 SF addition to the left side of the house, including a new crawl space.

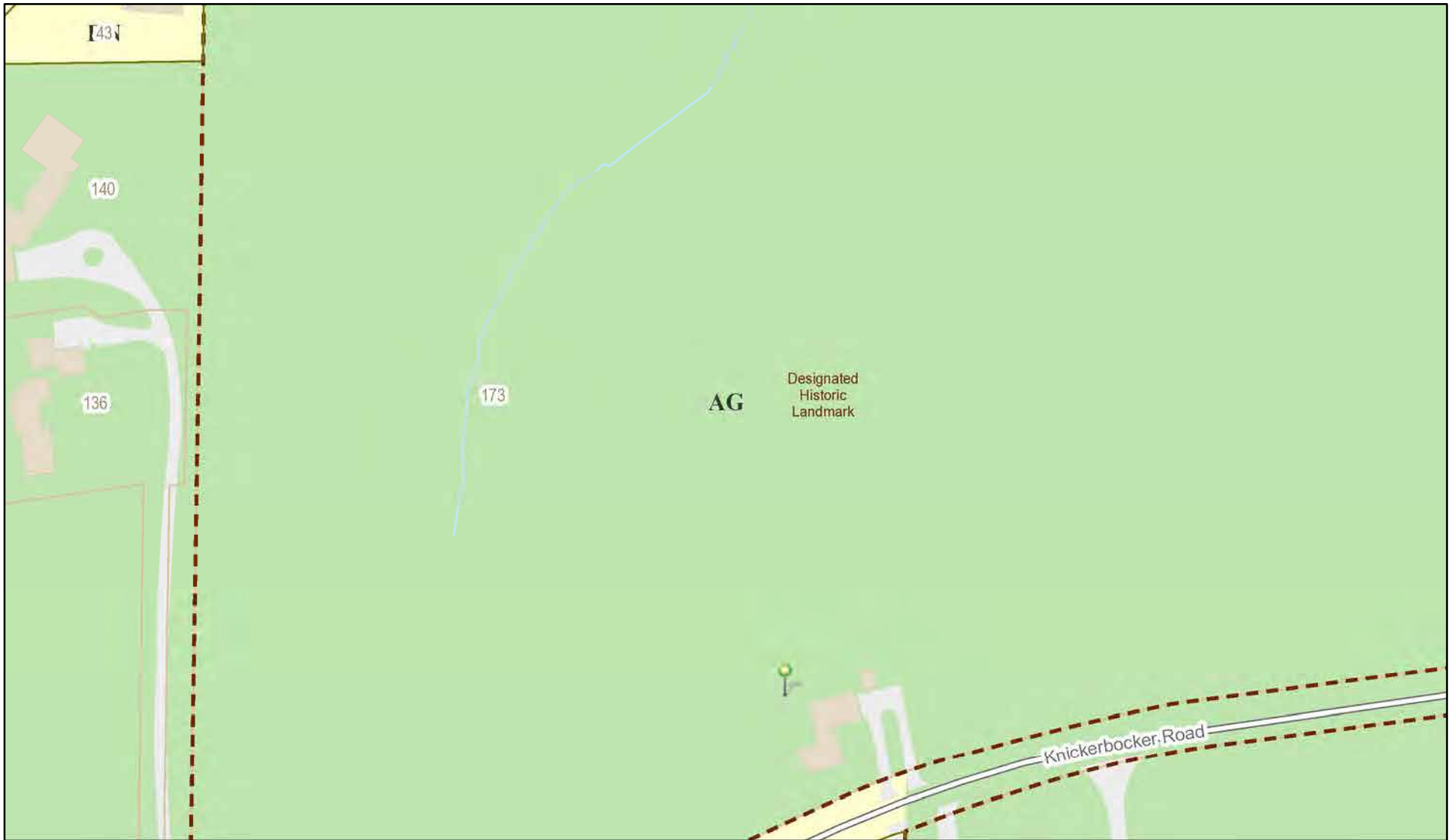
**Meeting Date:** April 27, 2023



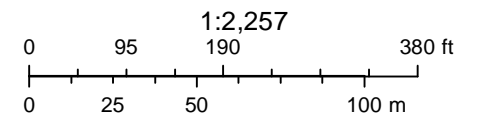




# RN Residential Neighborhood Zoning



Printed April 11, 2023



Town of Pittsford GIS

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04/03/2021

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# GENERAL NOTES

- CONSTRUCTION SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL REQUIREMENTS, NOTES, AND DIMENSIONS PRIOR TO CONSTRUCTION.
- FINISH MATERIALS TO BE SELECTED BY OWNER / CONTRACTOR.
- DO NOT SCALE DRAWINGS.
- ALL EXISTING FOUNDATION WALLS AND FOOTINGS ASSUMED TO HAVE BEEN DESIGNED FOR 2000 PSF BEARING EXTENDING A MINIMUM OF 42 INCHES BELOW FINISH GRADE. FOOTINGS ASSUMED TO BEAR ON SOIL THAT IS FIRM, UNDISTURBED, FREE OF FROST, AND LOOSE MATERIALS. IF ANY OF THESE ASSUMPTIONS ARE FOUND TO BE INCORRECT, A PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE NOTIFIED AND REMEDIAL WORK SPECIFIED IF DEEMED NECESSARY BASED ON ACTUAL SITE CONDITIONS.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR VERIFICATION OF SAFE SOIL BEARING.
- BASEMENT, CRAWL SPACE, AND FOOTING DESIGN ASSUMES PARTIALLY SATURATED SOIL TO FULL WALL DEPTH. IF SATURATED SOIL CONDITIONS ARE FOUND, A LICENSED ENGINEER SHOULD IMMEDIATELY REVIEW AND REVISE LAYOUT AS REQUIRED.
- POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS AND FOOTINGS.
- CONCRETE STRENGTH ACI 301-T2 w/ TYPE 2 CEMENT 28 DAY STRENGTH
  - FOOTING 2500 PSI
  - ALL OTHERS 3500 PSI
- MASONRY SPECIFICATIONS ASTM C90, GRADE N-1, Fm=1350 PSI
- MORTAR SPECIFICATIONS ASTM C210, TYPE S
- GROUT SPECIFICATIONS ASTM C416, Fc=2000 PSI
- STEEL SPECIFICATIONS
  - STRUCTURAL STEEL ASTM A-36, Fy= 36 KSI
  - REINFORCING STEEL ASTM A-615, Fy= 40 KSI
  - WIRE MESH ASTM A-185, 6x6 10/10 WWM REINFORCING
  - BOLTS ASTM A-307, Fy= 33 KSI
- WOOD CONSTRUCTION
  - FRAMING LUMBER HEM-FIR #2 Fb= 1150 PSI E= 1,400,000 PSI
  - SHEATHING - EXTERIOR GRADE APA RATED MICROLAM & GANGLAMS Fb= 2800 PSI E=2,000,000 PSI
- WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH SHALL BE AN APPROVED PRESSURE PRESERVATIVELY TREATED WOOD SUITABLE FOR GROUND CONTACT.
- ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH THE AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH LUMBER PIECE SHALL HAVE A GRADE STAMP OF AN AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM THE EFFECTS OF WEATHERING, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.
- BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES.
- DOUBLE JOISTS UNDER ALL LOAD BEARING PARALLEL PARTITIONS AND AT ALL FLOOR OPENINGS.
- TRIPLE STUDS AT JAMBS UNDER BEAMS WITH SPANS GREATER THAN 6' (3" BEARING), DOUBLE STUDS UNDER ALL OTHERS UNLESS OTHERWISE NOTED.
- ALL HEADERS TO BE (2) 2x8 MIN. UNLESS OTHERWISE NOTED.
- ALL FRAMED CONNECTIONS SHALL BE MADE WITH AISC NDS APPROVED CONNECTIONS ON EACH SIDE AND/OR WOOD CONNECTORS BY SIMPSON OR EQ. WITH CURRENT AISC NDS APPROVAL. FOR NAILING LAYOUT SEE 2020 RCNYS TABLES R602.3(1-4).
- DESIGN OF ELECTRICAL, HVAC, AND SEWER/SEPTIC SHALL BE BY OTHERS.
- SMOKE ALARMS SHALL BE INSTALLED, PER CODE REQUIREMENTS, IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA, AND ON EACH STORY OF THE DWELLING, INCLUDING THE BASEMENT OR CRAWL SPACE AREA.
- ALL SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED, PER CODE REQUIREMENTS, ON EACH FLOOR w/ SLEEPING ROOMS, WITHIN 15 FEET OF EACH SLEEPING AREA, AND ON EACH STORY OF THE DWELLING, INCLUDING THE BASEMENT OR CRAWL SPACE AREA CONTAINING A CARBON MONOXIDE SOURCE.
- ALL HABITABLE SPACES SHALL HAVE AT LEAST ONE EMERGENCY ESCAPE AND RESCUE OPENING WITH A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, A MINIMUM NET CLEAR HEIGHT OF 24", AND A MINIMUM NET CLEAR WIDTH OF 20".

## DESIGN DATA

SECTION R301

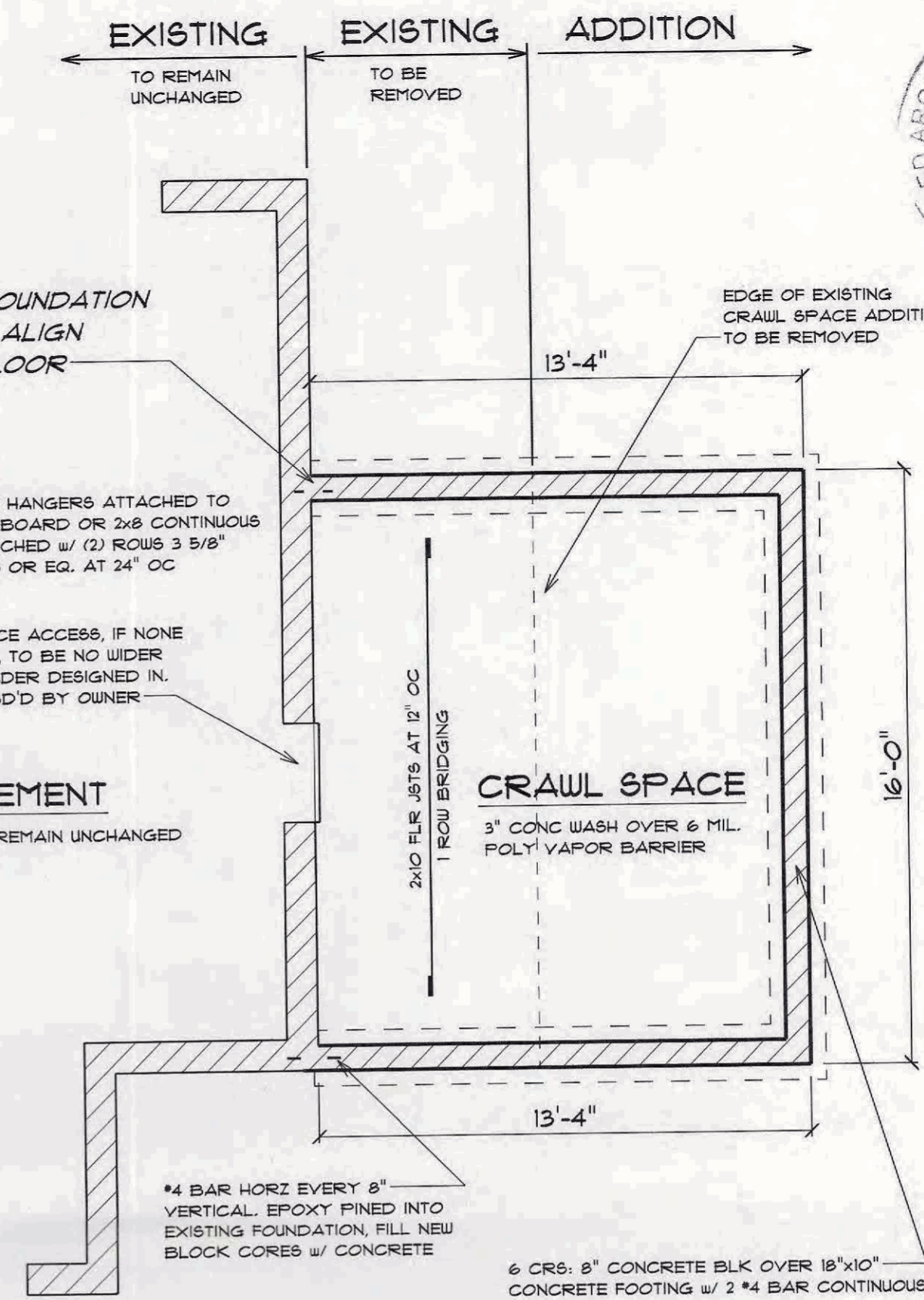
SEISMIC DESIGN CATEGORY 'B'  
 WEATHERING PROBABILITY FOR CONCRETE - SEVERE  
 FROST DESIGN DEPTH 42"  
 TERMITE INFESTATION - SLIGHT TO MODERATE  
 WINTER DESIGN TEMPERATURE 1 degree F  
 ICE BARRIER UNDERLAYMENT REQUIRED

### FLOOR DESIGN LOADS

LIVE LOADS  
 FIRST FLOOR 40 PSF  
 SECOND FLOOR 30 PSF  
 DEAD LOADS  
 STRUCTURE 10 PSF  
 FLOOR MAT'L 2 PSF  
 CEILING MAT'L 2 PSF  
 MISC. 1 PSF

### ROOF DESIGN LOADS

SUPERIMPOSED LOADS  
 GROUND SNOW 40 PSF  
 WIND EXPOSURE 'B' 115 MPH  
 DEAD LOADS  
 STRUCTURE 10 PSF  
 SHINGLES 3 PSF  
 CEILING MAT'L 2 PSF  
 MISC. 1 PSF



## FOUNDATION PLAN

1/4" = 1'-0"

FOOTINGS TO BEAR ON SOIL THAT IS FIRM, UNDISTURBED, FREE OF FROST, AND LOOSE MATERIALS

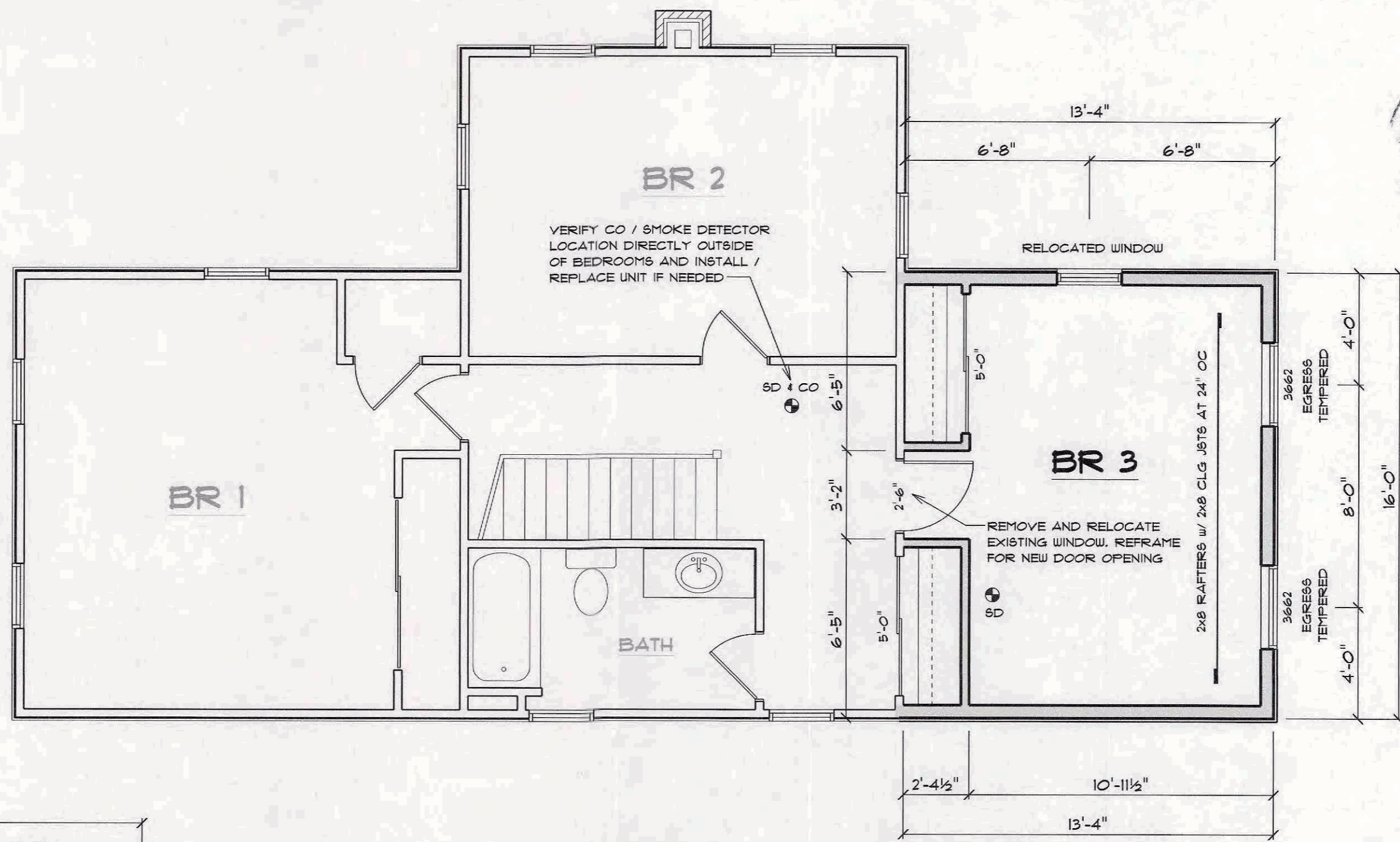


TO THE BEST OF MY PROFESSIONAL EVALUATION, THESE DRAWINGS MEET OR EXCEED THE 2020 ENERGY CONSERVATION CONSTRUCTION OF NEW YORK STATE CODE REQUIREMENTS WITH NY'S AMENDMENTS AS OF MAY 2020.

DATE	3/09/2023
DRAWN BY	MGG
CHECKED BY	AKH
REV.	
REV.	
SHEET NO.	A-1 OF 3

AN ADDITION AND RENOVATION WORK TO THE:  
**MAHER RESIDENCE**  
 164 KNICKERBOCKER RD. PITTSFORD, NY  
 DRAFTING SERVICES AND CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED AND PROVIDED BY:  
**MIKE GULLACE** 565-261-2596

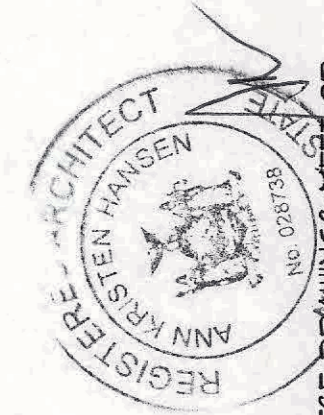




**SECOND FLOOR PLAN**

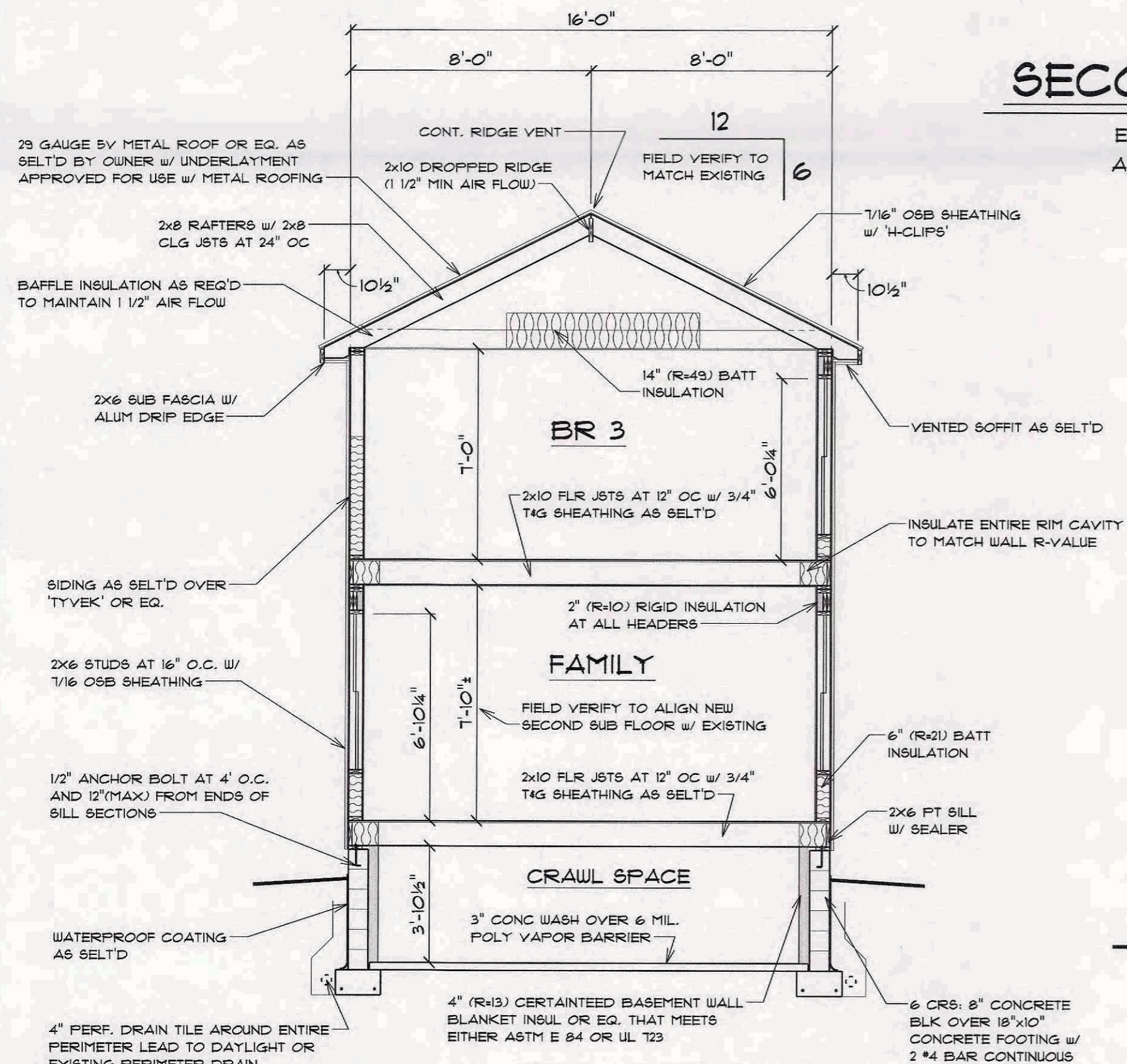
1/4" = 1'-0"

EXISTING CEILING HEIGHT 1'-0" +/-  
ADDITION CEILING HEIGHT 1'-0" +/-



TO THE BEST OF MY PROFESSIONAL EVALUATION, THESE DRAWINGS MEET OR EXCEED THE 2020 ENERGY CONSERVATION CONSTRUCTION OF NEW YORK STATE CODE REQUIREMENTS WITH NYS AMENDMENTS AS OF MAY 2020.

AN ADDITION AND RENOVATION WORK TO THE:	
<b>MATTER RESIDENCE</b>	
164 KNICKERBOCKER RD. PITTSFORD, NY	
DRAFTING SERVICES AND CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED AND PROVIDED BY:	
MIKE GULLACE 585-261-2596	
DATE	3/09/2023
DRAWN BY	MGG
CHECKED BY	AKH
REV.	
REV.	
SHEET No.	A-3 OF 3



**BUILDING SECTION**

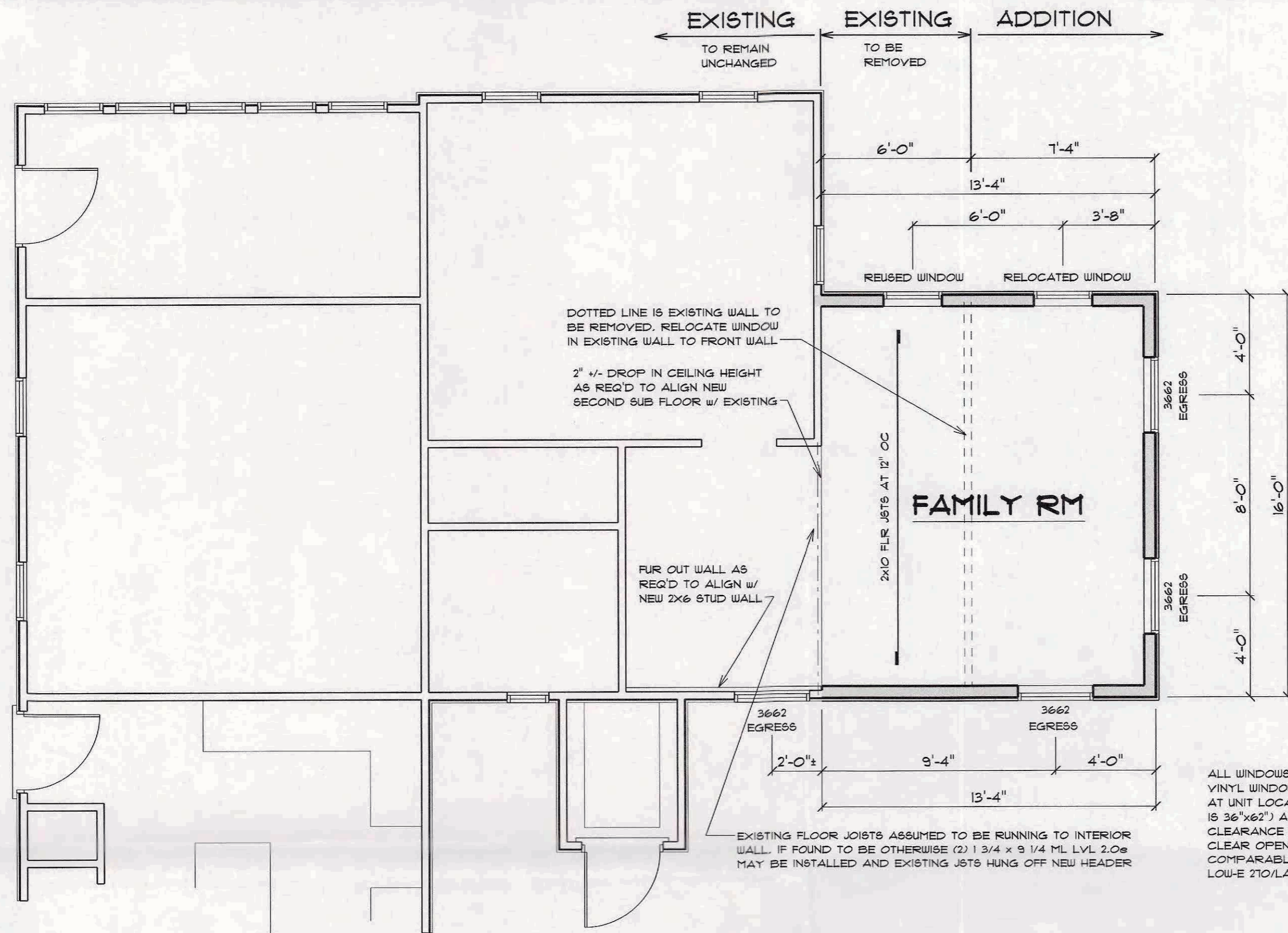
1/4" = 1'-0"



**LEFT ELEVATION**

3/16" = 1'-0"

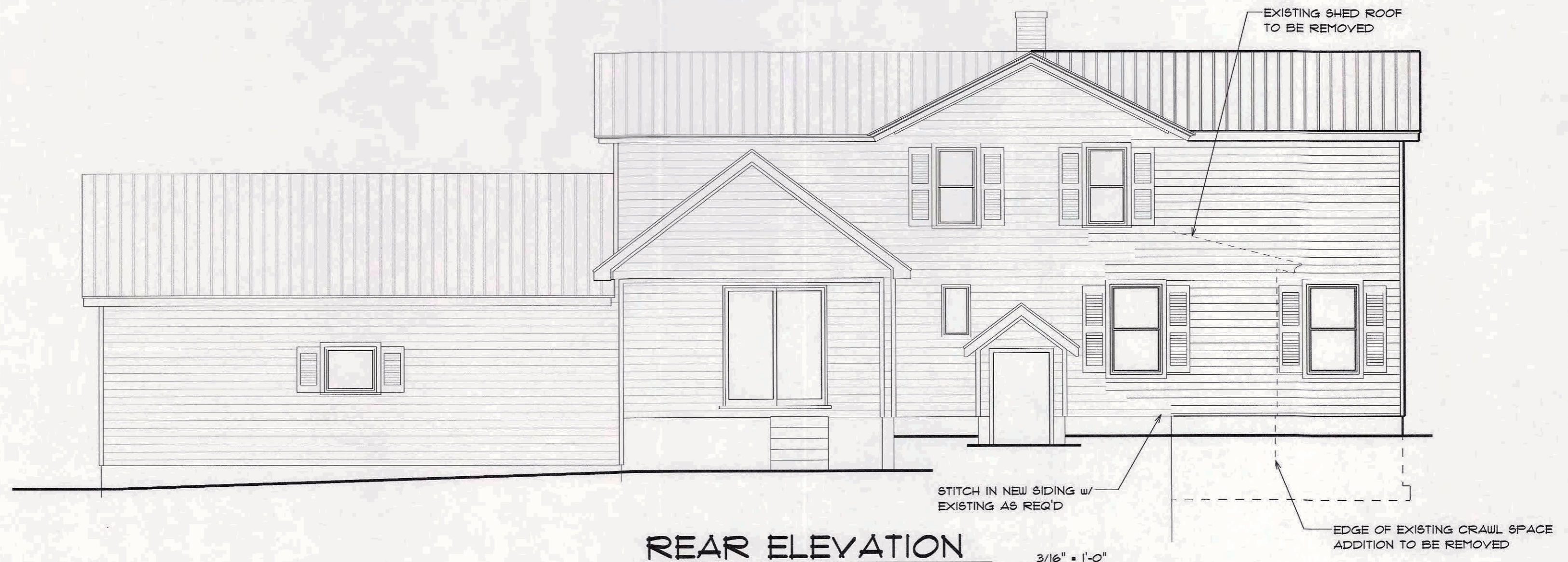




**FIRST FLOOR PLAN**

1/4" = 1'-0"

EXISTING CEILING HEIGHT 8'-0" +/-  
 ADDITION CEILING HEIGHT 1'-10" +/- ALIGN w/ EXISTING SECOND FLOOR



**REAR ELEVATION**

3/16" = 1'-0"



TO THE BEST OF MY PROFESSIONAL EVALUATION, THESE DRAWINGS MEET OR EXCEED THE 2020 ENERGY CONSERVATION CONSTRUCTION OF NEW YORK STATE CODE REQUIREMENTS WITH NY6 AMENDMENTS AS OF MAY 2020.

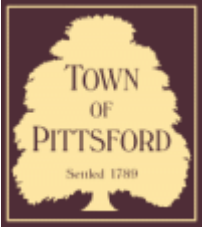
AN ADDITION AND RENOVATION WORK TO THE:

**MATHER RESIDENCE**  
 164 KNICKERBOCKER RD. PITTSFORD, NY

DRAFTING SERVICES AND CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED AND PROVIDED BY:  
**MIKE GULLACE** 585-261-2596

DATE	3/09/2023
DRAWN BY	MGG
CHECKED BY	AKH
REV.	
REV.	
SHEET No.	A-2 OF 3





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
S23-000006

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3130 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-6

**Zoning District:** C Commercial

**Owner:** 3130 Monroe Ave Assoc. LLC

**Applicant:** 3130 Monroe Ave Assoc. LLC

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)           | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input checked="" type="checkbox"/> Commercial Design Review<br>§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                             | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197          | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                     |   |

**Project Description:** Applicant is requesting design review for the addition of an approximately 36 SF sign for a smoke shop.

**Meeting Date:** April 27, 2023



STAR NAIL SALON

pittsfordoptical

381-9999

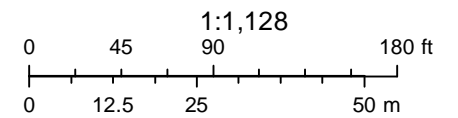




# RN Residential Neighborhood Zoning



Printed April 12, 2023



Town of Pittsford GIS

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04/03/2021

© All EagleView Technology Corporation



18w'

2h' **Magic**  **SMOKE SHOP**

18w'

2h' **Magic**  **SMOKE SHOP**







NAILSCAPE



300





NAIL SCAP





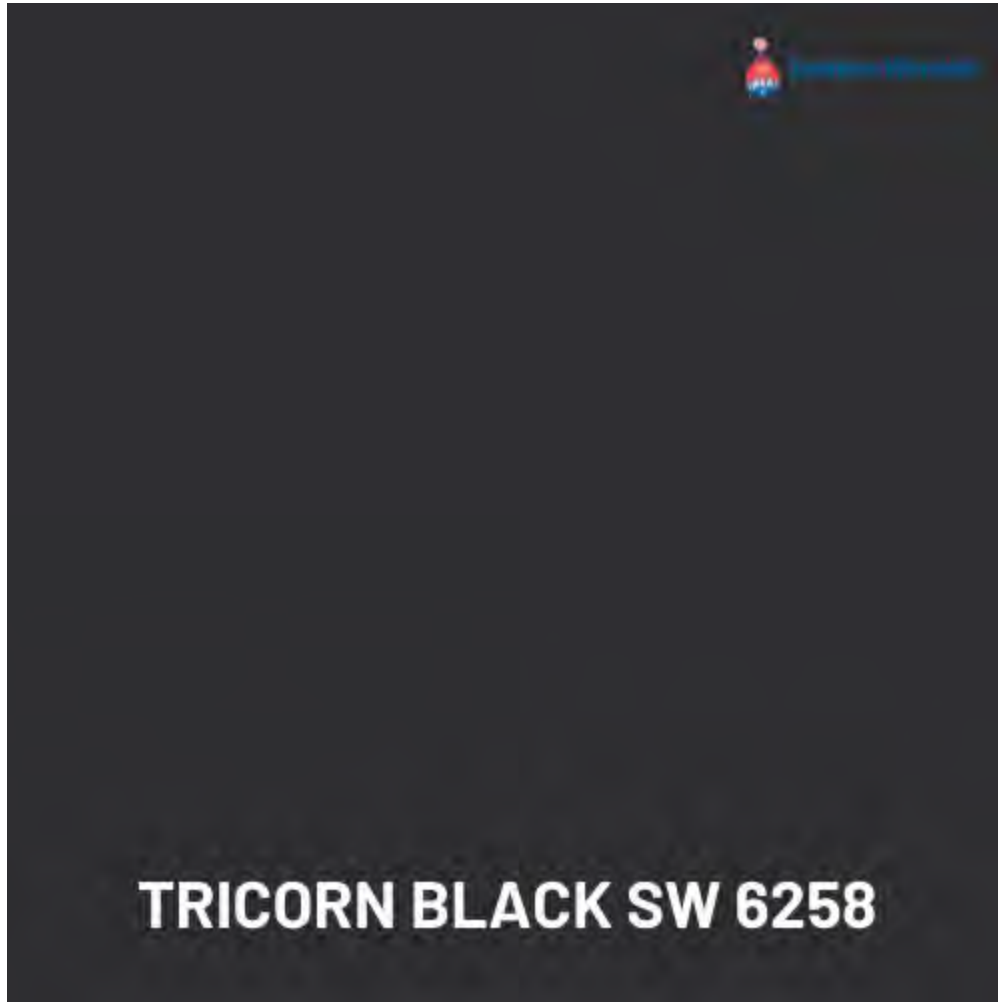
**3130 Monroe Ave Color Samples: Sherwin-Williams**

**Extra White SW7006:**

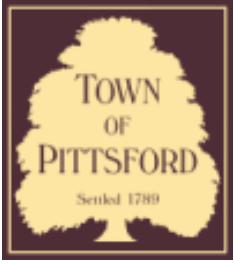
SW 7006  
Extra White



*Tricorn Black SW6258:*







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**CA23-000002**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 215 Monroe Avenue ,

**Tax ID Number:**

**Zoning District:**

**Owner:**

**Applicant:** Lynne Tempest

### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                    | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

**Project Description:** Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for replacement of windows. This property is zoned (RN) Residential Neighborhood and is designated historic.

**Meeting Date:** April 27, 2023

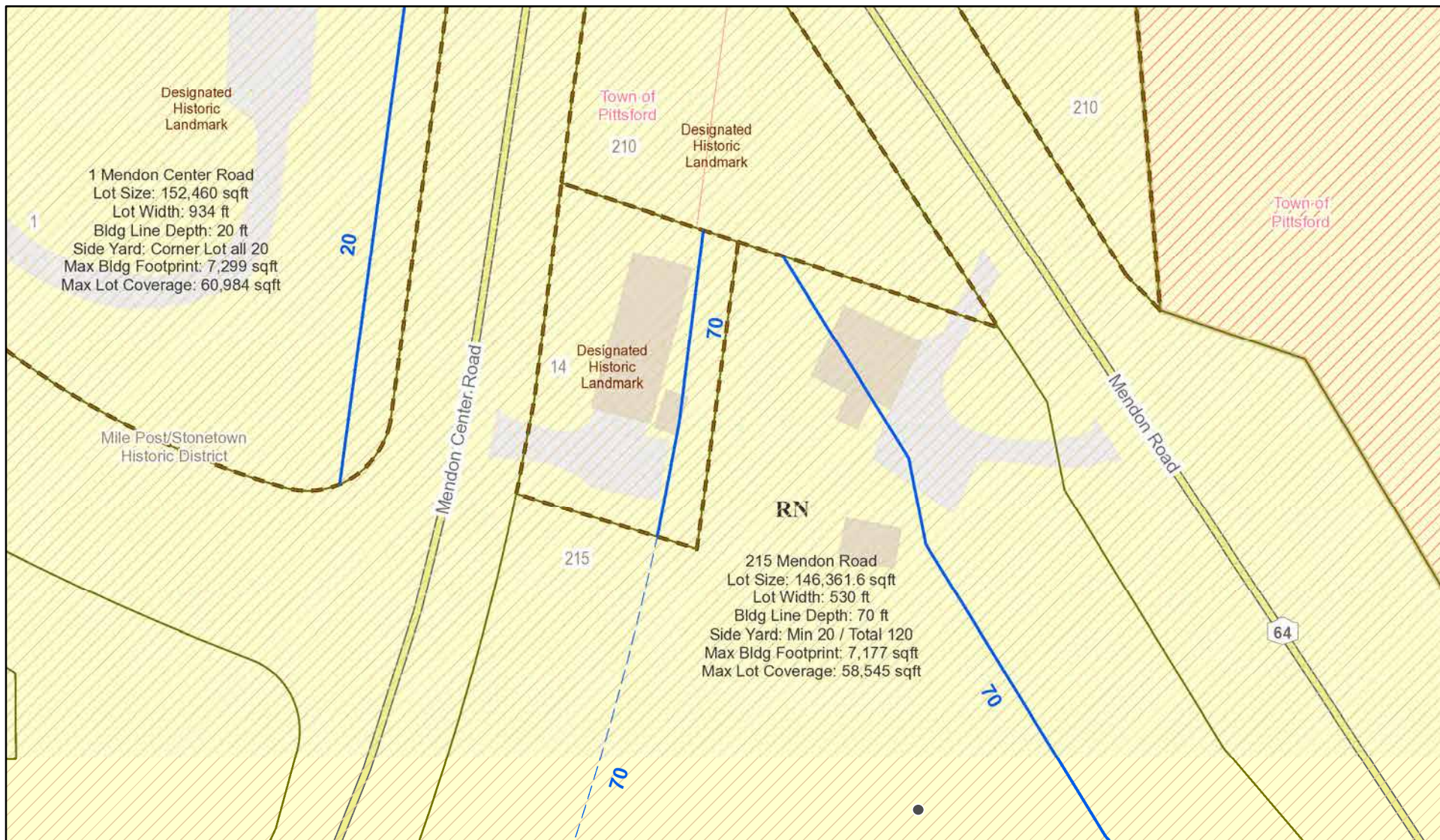




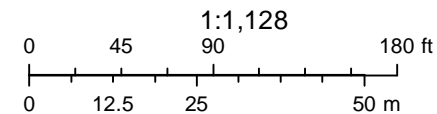
2  
1  
5



# RN Residential Neighborhood Zoning



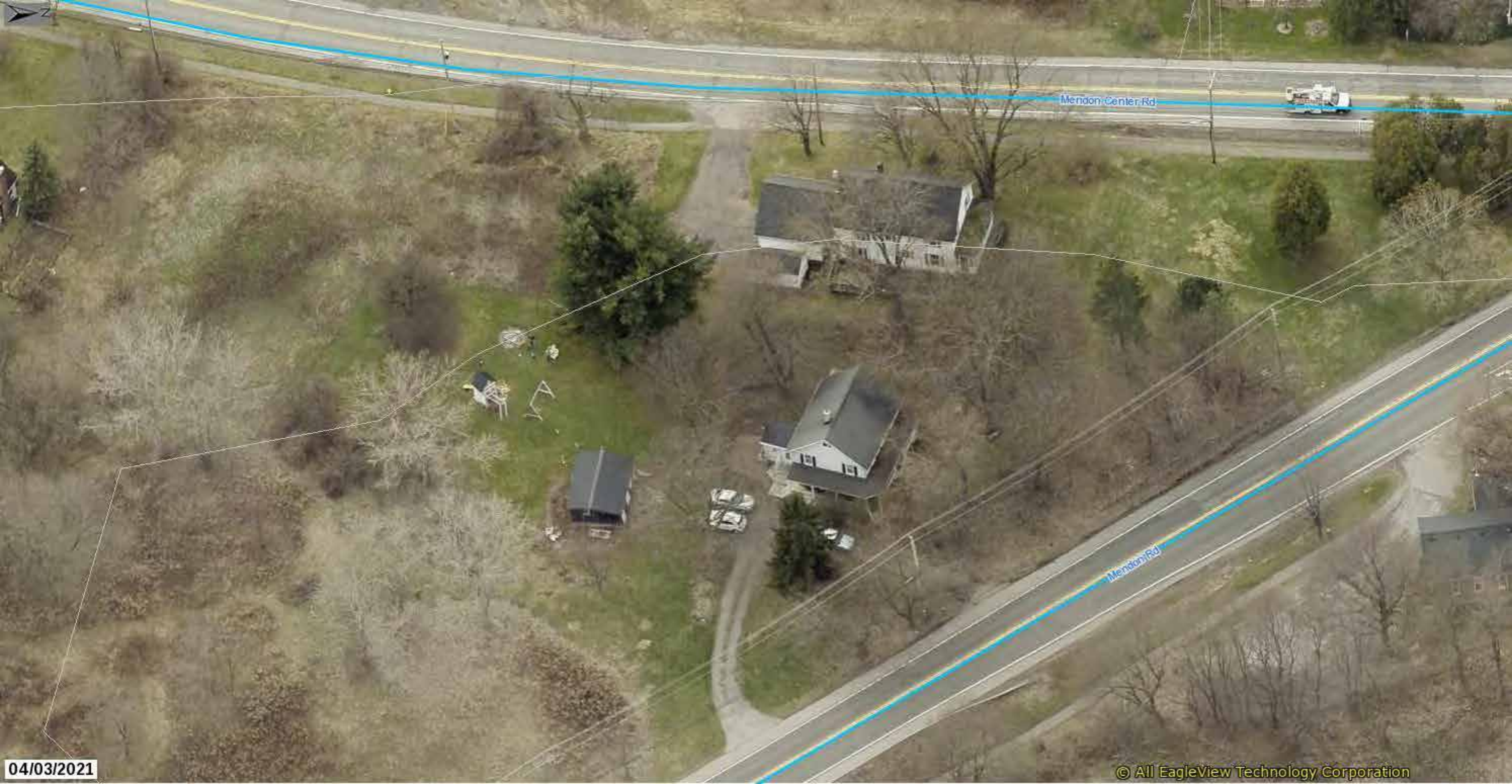
Printed April 11, 2023



Town of Pittsford GIS

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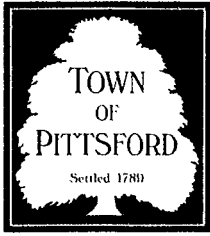
Mendon Center Rd

Mendon Rd

04/03/2021

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# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 215 Mendon Rd

2. Tax Account Number: 264689-164-030-0001-033-000

3. Applicant's Name: Eric Geoca & Lynne Tempest

Address: 43A Rand Pl Phone: (908) 705-2100

Pittsford NY 14523 E-mail: geoca.lynne@gmail.com  
*City State Zip Code*

4. Applicant's Interest in Property:

Owner:  Lessee:  Holding Purchase Offer:

Other (explain): \_\_\_\_\_

5. Owner (if other than above): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Street  
City State Zip Code

E-mail: \_\_\_\_\_

Has the Owner been contacted by the Applicant? Yes  No

6. Application prepared by: Lynne Tempest & Eric Geoca

Address: 43A Rand Place Phone: 9087052100

Pittsford NY 14534 E-mail: geoca.lynne@gmail.com  
*City State Zip Code*

7. Project Design Professional (if Available): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Street  
City State Zip Code

E-mail: \_\_\_\_\_



8. Project Contractor (if Available): Geoca Homes, LLC  
Address: 19 Apollonia Drive Phone: (585) 733-7303  
Fairport NY 14450 E-mail: dgeoca@gmail.com  
*City State Zip Code*

9. Present use of Property: Single Family Residence

10. Zoning District of Property: Mile Post Historic Distric, Residential

11. Is the property located in a Town Designated Historic District?  
Yes  No

12. Is the property listed on the National Registry of Historic Places?  
Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  
Yes  No

If Yes, please explain:

.....

.....

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

The house needs new windows. Please see attached for the proposed style which complies with the common characteristics of homes built between 1855 and 1880, per the Town of Pittsford's "Residential Styles Guides". The proposed windows are double-hung, 2-over-2, which is listed as a common characteristic in this guide for the style of house (Italianate) built during this time period. The window trim from the existing windows will be maintained.



- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

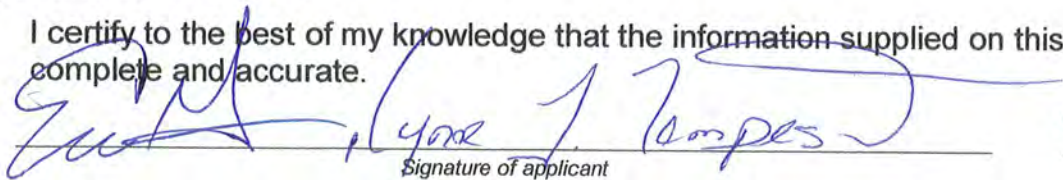
15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Parcel map  | <input type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans      |
| <input type="checkbox"/> Other materials        |   |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.



Signature of applicant

03/13/2023

Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes  No

If Yes, owner's signature: \_\_\_\_\_



215 PITTSFORD-MENDON ROAD: CURRENT WINDOWS





215 PITTSFORD-MENDON ROAD: CURRENT WINDOWS





















PROPOSED WINDOW DESIGN: Proposed color is black. Willing to discuss white.

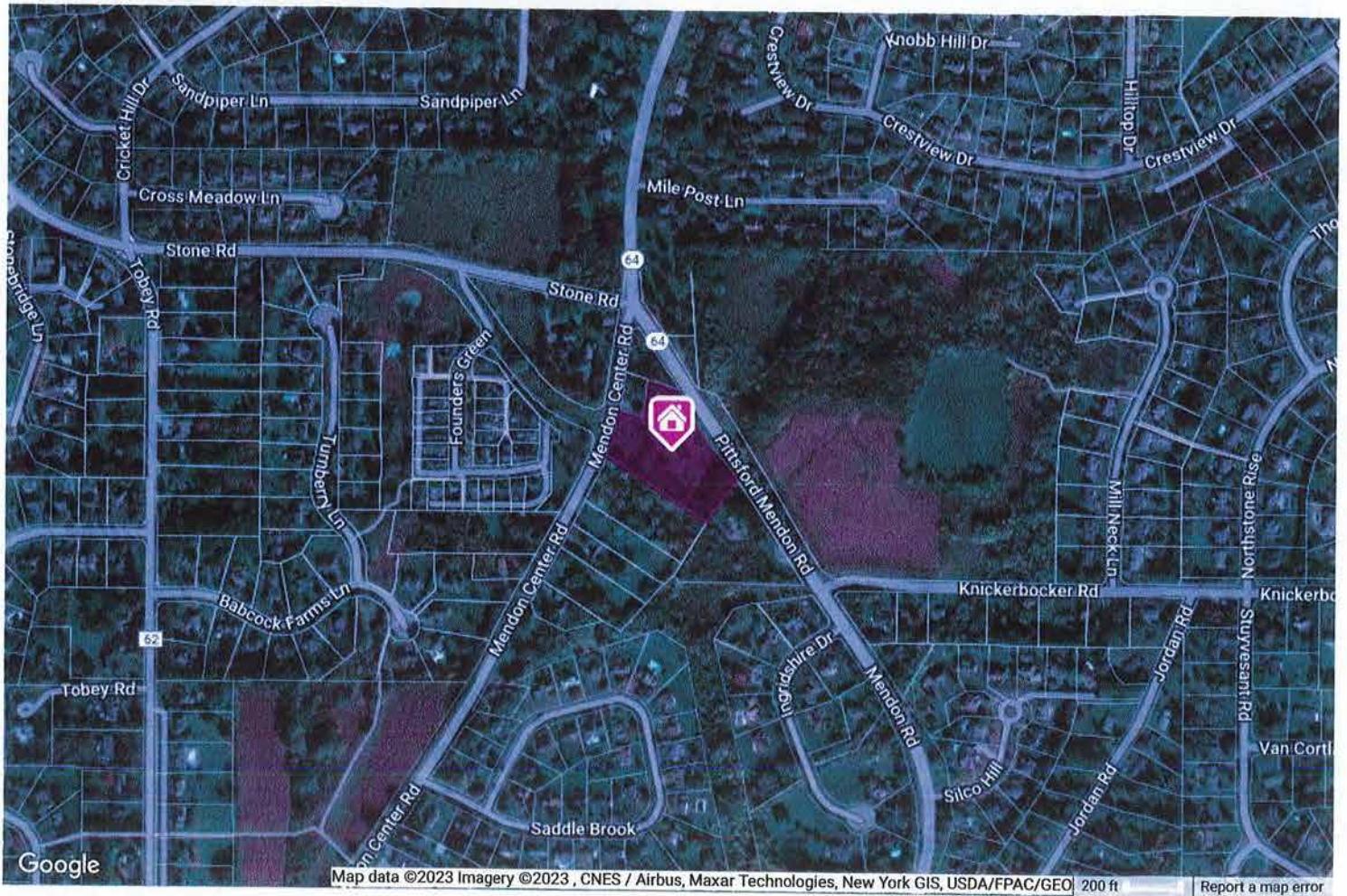




### Cross Property 360 Property View

## 215 Mendon Road, Pittsford-264689, NY 14534

Parcel Map





**Window Information**

**Name:** Eric Geoca; Lynne Tempest

**Address:** 215 Mendon Rd

**City:** Pittsford

**State:** NY

[Dgeoca@aol.com](mailto:Dgeoca@aol.com)

585-733-7303

[Geoca.lynne@gmail.com](mailto:Geoca.lynne@gmail.com)

908-705-2100

**OAKNA 500 SERIES:** 22 Replacement windows

Remove 22 existing windows and replace with Okna 500 series (20 double hung & 2 awning style) vinyl replacement windows. Contoured grids, double pane insulated glass, LowE, and Argon energy star rated.

All windows to be insulated around perimeter, reinstall existing stops, install new stops where needed, and apply caulking on interior. Install exterior aluminum stop wrap to cover where storm windows were fastened, apply caulk where needed.

**Product Description:** Double Hung: Insul-Tec 500

- uPVC fusion welded beveled frame & sash for strength and durability.
- HeatSeal® warm edge spacer system for excellent thermal efficiency and drastic reduction in the possibility of condensation on the inside of the window.
- Full integral interlock with double weather-stripping. Heavy gauge fully extruded handle on bottom sash.
- Grilles consist of aluminum bars sealed in the insulation airspace between the two panes of glass.





Contour Grid



Full 3 1/4" depth welded mainframe with beveled colonial exterior features curves that are not only beautiful, but also allow for maximum weld surface resulting in strength and years of long-lasting performance.

Proposed Pattern and Color for Grids

