

# 7RZQ RI 3LWWVIRUG

'HSDUWPHQW RI 3XEOLF :RUNV

6RXWK 0DLQ 6WUHHW 3HUPLW  
3LWWVIRUG 1HZ <RUN 5\$

3KRQH

)\$;

'(6,\*1 5(9,( : \$1' +,6725,& 35(6(59\$7,21 %2\$5'  
5()(55\$/ 2) \$33/,&\$7,21

3URSHUW\ \$GGUERU FUHHN

7D[ , ' 1XPEHU

=RQLQJ 'LVWULFW

2ZQHU

\$SSOLFDRQK /DZQ &DUH /DQGVFDSLQJ &R

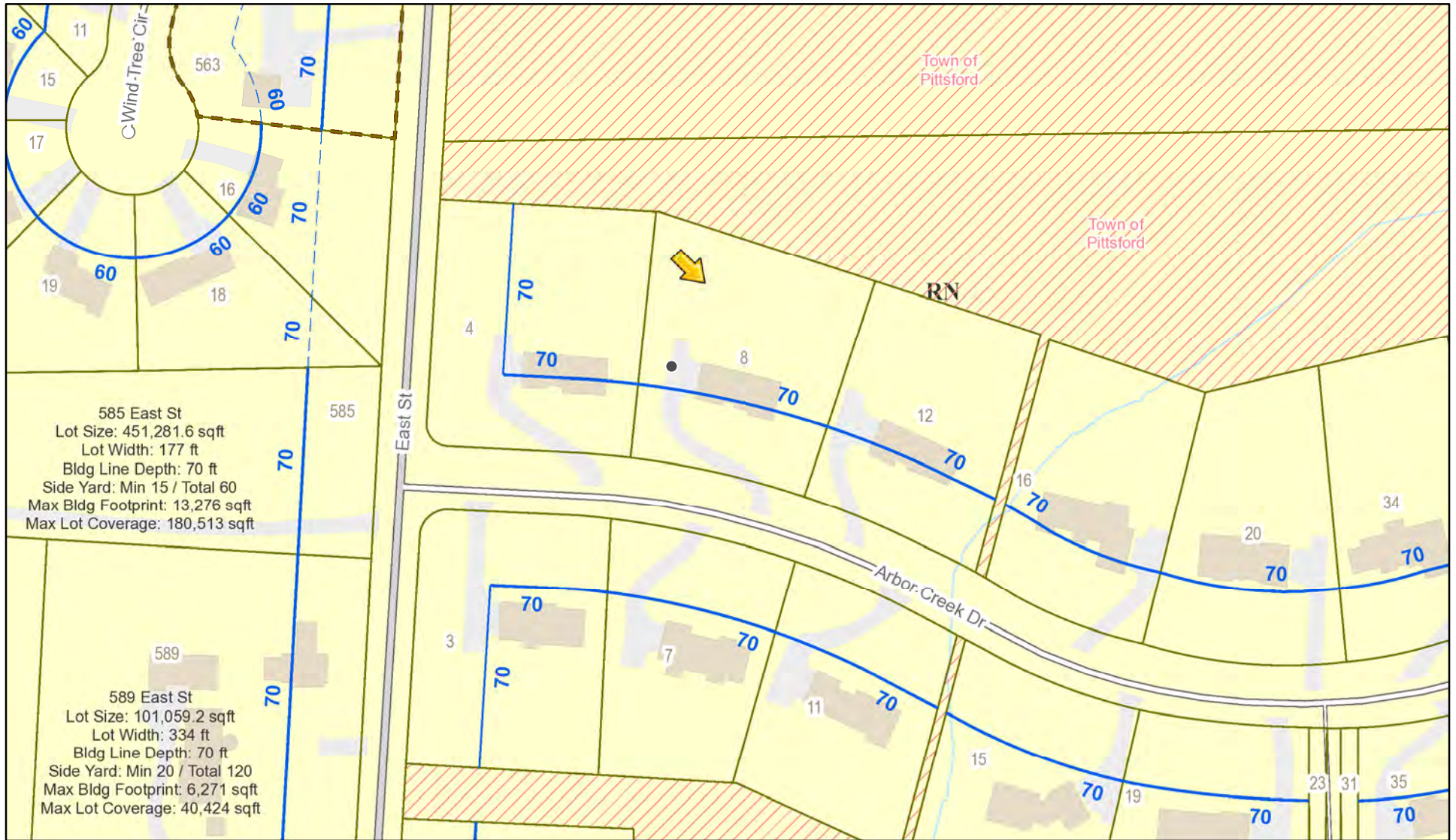
\$SSOLFDWLRQ 7\SH

- 5HVLGHQWLDO 'HVLJQ 5HYLHZ %XLOG WR /LQH \$GMXVWPHC  
† %  † %
- &RPPHUFLDO 'HVLJQ 5HYLHZ %XLOGLQJ +HLJKW \$ERYH  
† %  † 0
- 6LJQDJH &RUQHU /RW 2ULHQWDWLRQ  
† &  † .
- &HUWLILFDWH RI \$SSURSULDW)HOOH)RW %XLOGLQJ /LQH /F  
†  † / F
- /DQGPDUN 'HVLJQDWLRQ  8QGHHORSHG )ODJ /RW 5H  
†  † /
- ,QIRUPDO 5HYLHZ

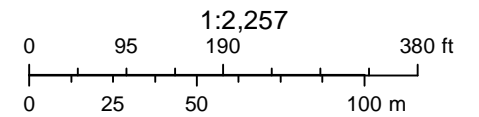
3URMHFW 'HVLJQDWLRQ LV UHTXHVWLQJ GHVLJQ UHYLHZ IR  
VWUXFWXUH SDYLOLRQ

0HHWLQJ -DQKDU\

# RN Residential Neighborhood Zoning



Printed January 13, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



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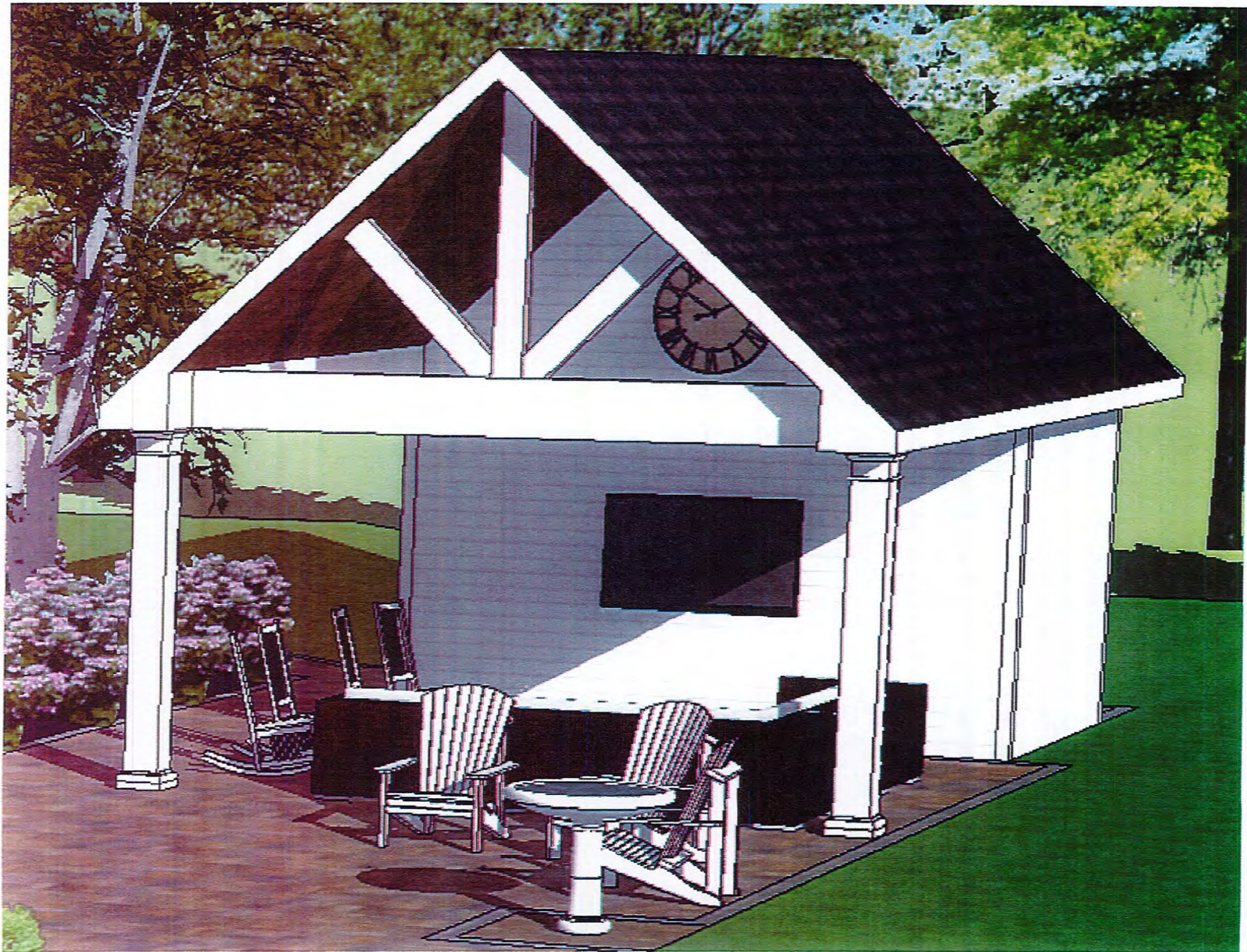
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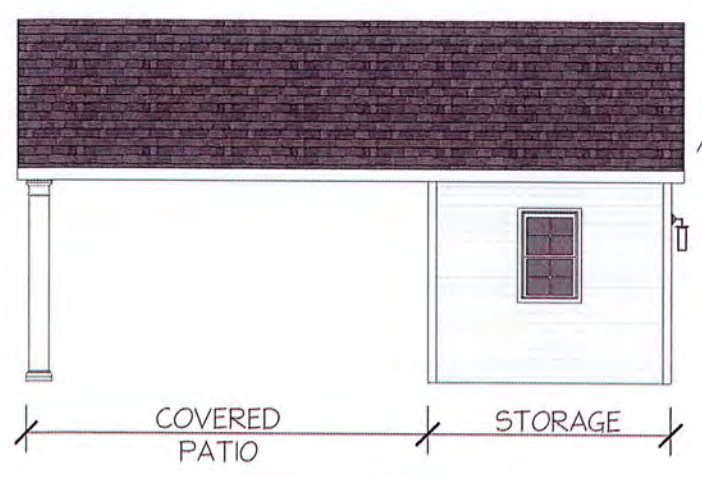
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©

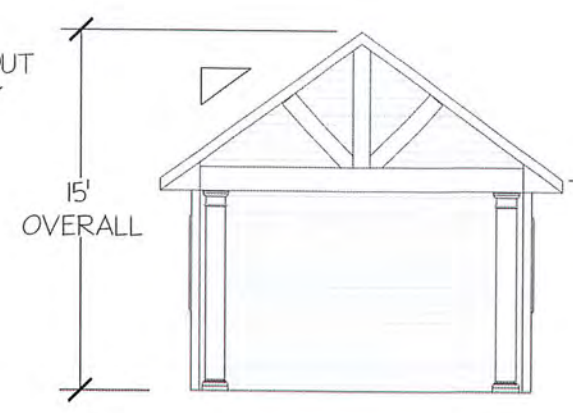






**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-00"

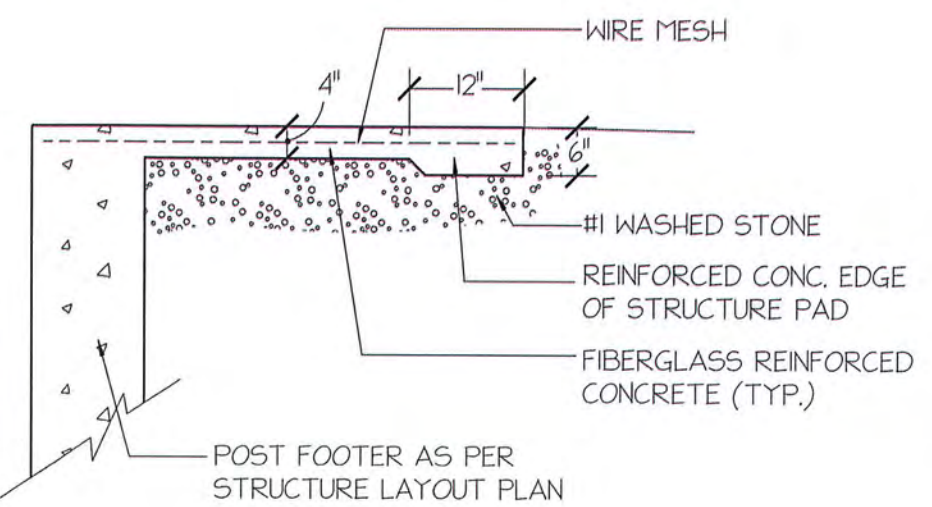
NOTE: NORTH ELEVATION MIRRORS SOUTH.



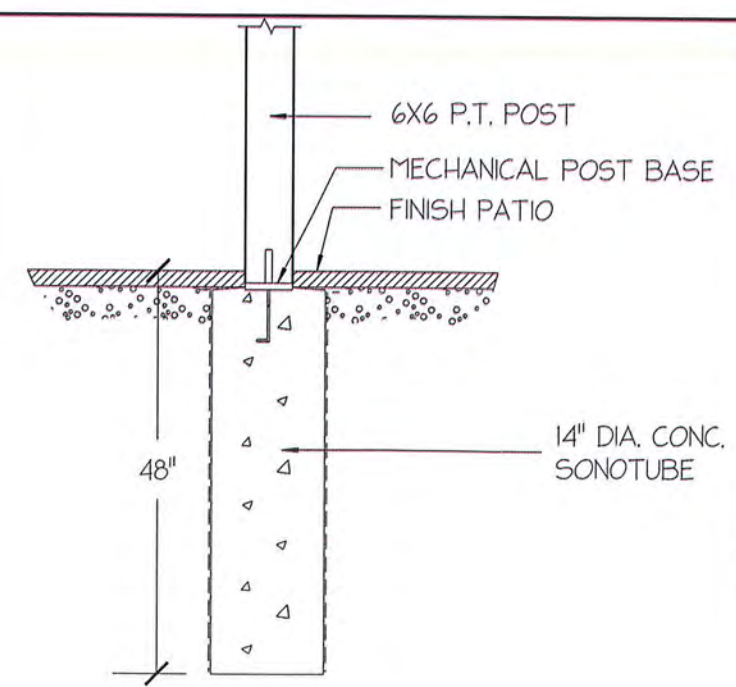
**WEST ELEVATION**  
SCALE: 1/8" = 1'-00"



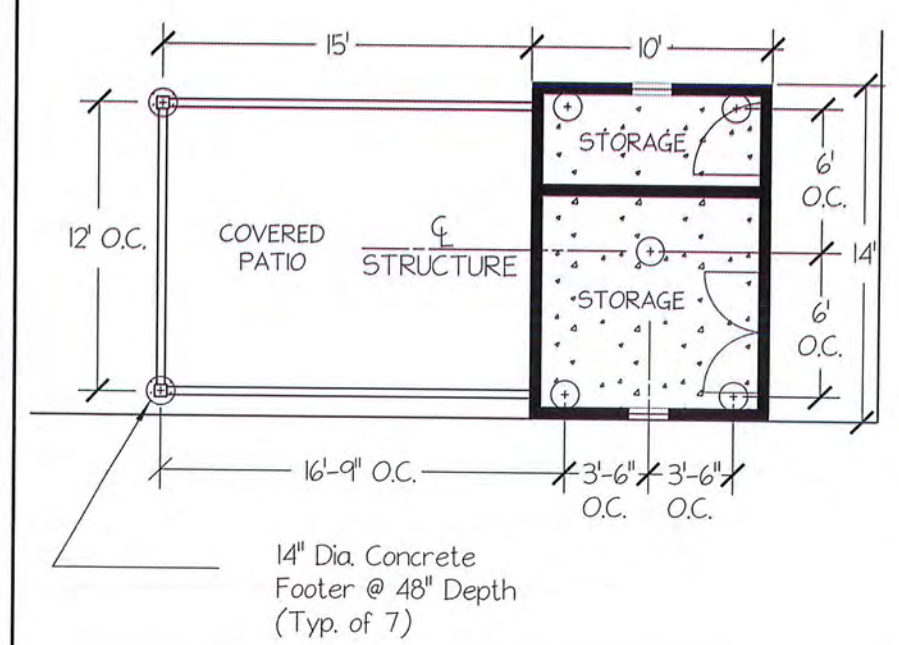
**EAST ELEVATION**  
SCALE: 1/8" = 1'-00"



**SLAB FOOTER DETAIL**  
SCALE: 1/2" = 1'-00"



**POST FOOTER DETAIL**  
SCALE: 1/2" = 1'-00"



**STRUCTURE LAYOUT PLAN**  
SCALE: 1/8" = 1'-00"

CLIENT: \_\_\_\_\_  
SCALE: AS SHOWN  
ISSUE DATE: 12/16/2022  
DRAWN BY: DBC  
CHECKED BY: MV

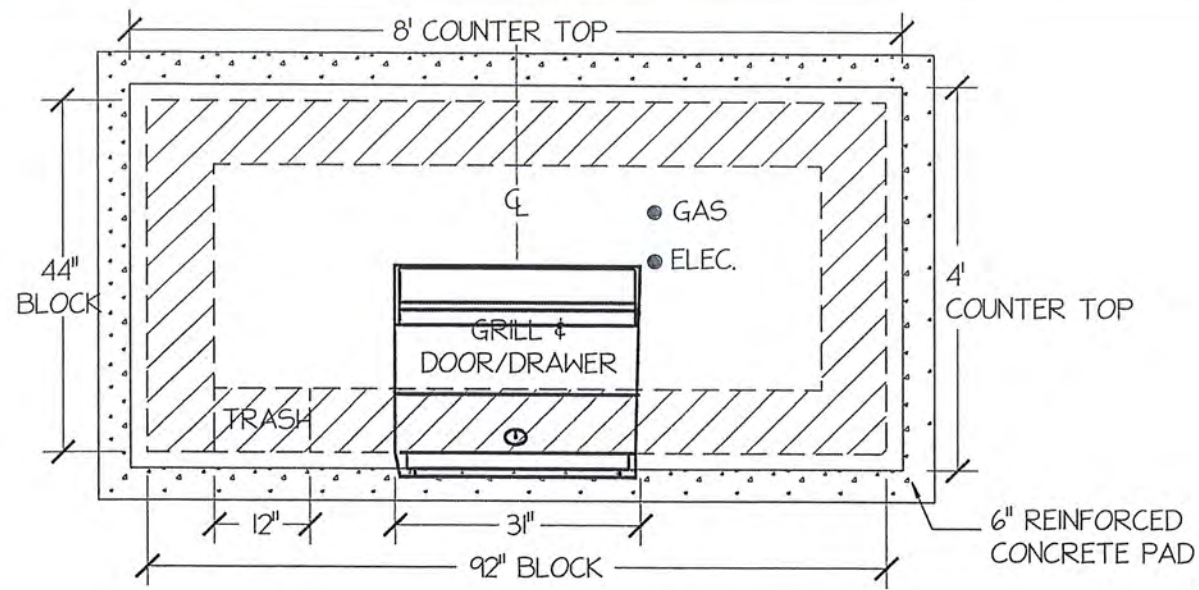
NORTH: \_\_\_\_\_

**STRUCTURE PLAN**

DRAWING NAME: \_\_\_\_\_

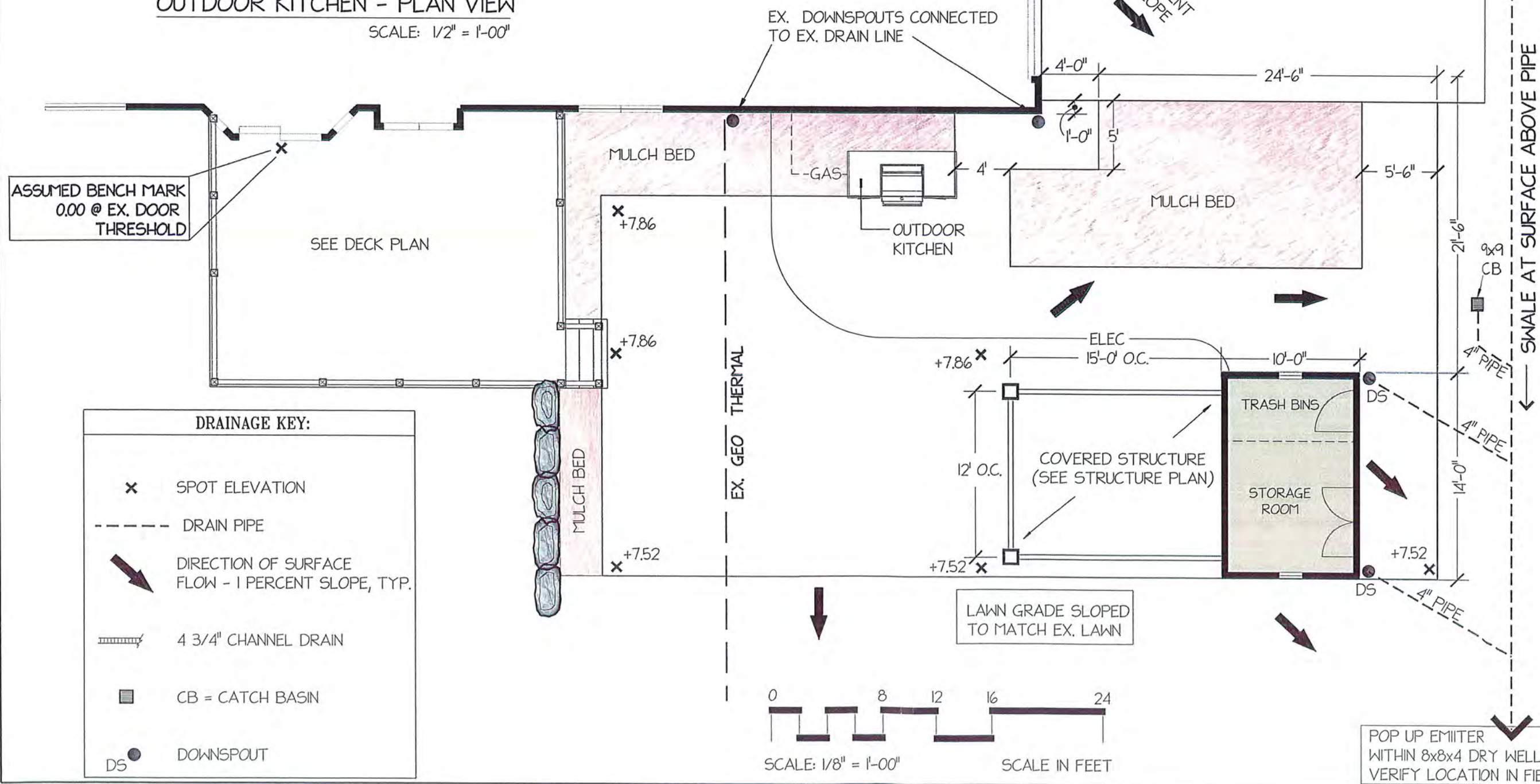


**DRAINAGE & UTILITY PLAN**



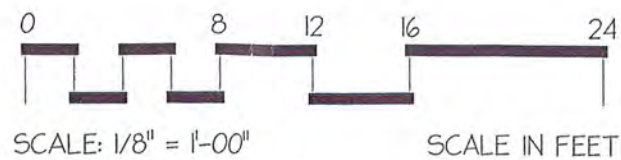
**OUTDOOR KITCHEN - PLAN VIEW**

SCALE: 1/2" = 1'-00"

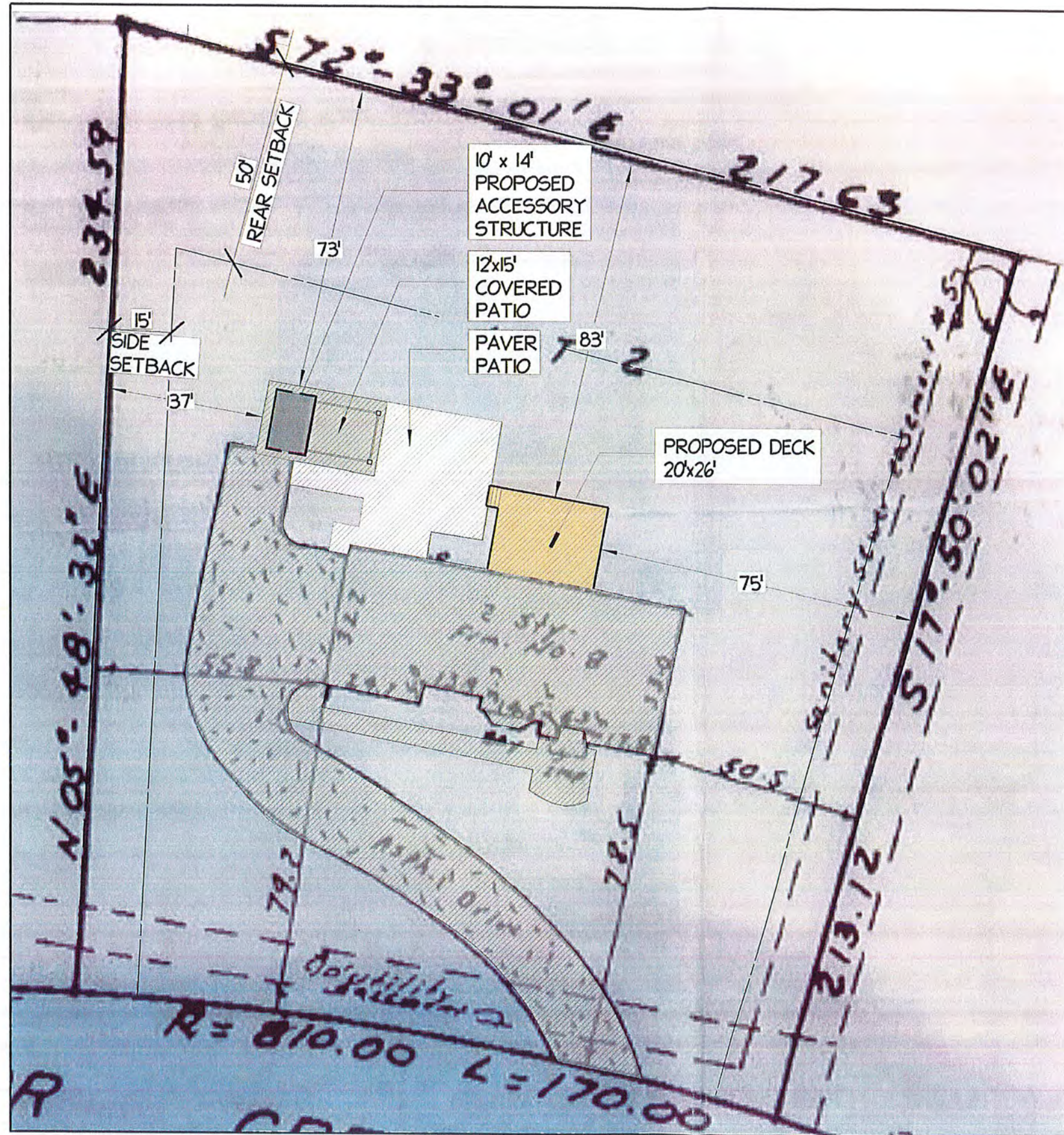


**DRAINAGE KEY:**

- ✕ SPOT ELEVATION
- - - DRAIN PIPE
- ➔ DIRECTION OF SURFACE FLOW - 1 PERCENT SLOPE, TYP.
- ▬ 4 3/4" CHANNEL DRAIN
- CB = CATCH BASIN
- DS DOWNSPOUT



POP UP EMIITER  
WITHIN 8x8x4 DRY WELL.  
VERIFY LOCATION IN FIELD.



LOT COVERAGE PLAN	
TOTAL LOT SIZE:	43,281 SF
IMPERVIOUS COVER:	9,384 SF
	21.68% IMP. COVER



JOSH LANDSCAPE CO.  
 106 WEST MAIN STREET  
 HONEOYE FALLS, NY  
 OFFICE: 585.582.1212  
 WWW.JOSHLANDSCAPE.COM

**SHEFFIELD**  
 8 ARBOR CREEK DR.  
 PITTSFORD NY

CLIENT:  
 SCALE: 1" = 30'  
 ISSUE DATE: 12/07/2022  
 DRAWN BY: DEC  
 CHECKED BY: MV

**SETBACK  
 &  
 LOT COVERAGE**

DRAWING NAME: