#### Design Review & Historic Preservation Board Agenda August 11, 2022

#### HISTORIC PRESERVATION DISCUSSION

#### **BUILDING INSPECTOR REMARKS**

#### RESIDENTIAL APPLICATION FOR REVIEW

#### • 1 Morningside Park

The Applicant is requesting design review for the construction of an approximately 360 SF garage addition, remove and replace existing garage per the stamped drawings including roofing and electrical.

#### 10 Burncoat Way

The Applicant is requesting design review for an addition of a 517 SF addition above an existing garage.

#### PUBLIC HEARING FOR A CERTIFICATE OF APPROPRIATENESS

#### 315 Thornell Road

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for replacement of windows. This property is zoned (RN) Residential Neighborhood and is designated historic.

### PUBLIC HEARING FOR DEMOLITION AND RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

#### • 4000 East Avenue

In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 4000 East Avenue is requesting approval from the Design Review and Historic Preservation Board to demolish the existing "Caretaker home" and rebuild a new guest house on the same footprint. Tax Parcel No. 151.06-2-45. This property is Zoned Residential Neighborhood (RN).

#### 93 Kilbourn Road

In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 93 Kilbourn Road is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 2,220 +/- square foot home at 93 Kilbourn Road and rebuild a new 5,400 +/- square foot single family home on the property. Tax Parcel No. 138.13-3-8. This property is Zoned Residential Neighborhood (RN).

#### Design Review and Historic Preservation Board Minutes July 28, 2022

#### **PRESENT**

Dirk Schneider, Chairman; Bonnie Salem, Kathleen Cristman, John Mitchell

#### **ALSO PRESENT**

Robert Koegel, Town Attorney; Anthony Caruso, Building Inspector; Susan Donnelly, Secretary to the Board

#### **ABSENT**

Jim Vekasy, David Wigg, Vice Chairman; Paul Whitbeck

#### HISTORIC PRESERVATION DISCUSSION

It was reported the marker at the East Street Burying Ground is up. The Board would like David Wigg to move the wooden sign to the rear of the cemetery.

Bonnie Salem volunteered to contact the Town Communications Director to pursue putting content regarding designated homes on the Town Website.

#### RESIDENTIAL APPLICATION FOR REVIEW

#### 29 Kirklees Road

The Applicant is requesting design review for an addition of a 244 sf garage and the repurposing the old garage bay to create a mudroom for a total of 1127 sf of existing renovations.

The homeowner, Timothy Crumb, was present to discuss this application with the Board.

Mr. Crumb indicated that siding will be white and eventually will all be replaced. The garage door will be white or black. The Board recommended windows for the garage doors.

Dirk Schneider moved to approve the application as submitted with the condition that when the project is completed all siding will match.

John Mitchell seconded.

All Ayes.

#### 22 Greythorne Hill

The Applicant is requesting design review for the construction of an approximately 20 x 16 covered porch addition off the back of the house.

Terry Masci was present to discuss the application with the Board.

The project is a covered porch addition, the posts will be trimmed out to match the existing home. The stone at the base of the column will be cultured stone.

Bonnie Salem moved to accept the application as submitted.

Kathleen Cristman seconded.

All Ayes.

#### 47 Railroad Mills Road

The Applicant is requesting design review for a 195 sf addition and demolition of the existing greenhouse off the back of the house.

Christine Buongiorne of Life by Design was present to discuss the application with the Board.

The proposal is to remove an existing greenhouse and build an addition in its place. A gliding window in the dining room will removed and replaced by a patio door. All siding and wood trim will match the existing on the home.

John Mitchell moved to approve the application as submitted with the condition that the door height will match the height of the existing windows on the north elevation.

Kathleen Cristman seconded.

All Ayes.

#### • 354 Canfield Road

The Applicant is requesting design review for the construction of a 1472 SF oversized over height accessory structure/Garage.

The homeowner, Dean Smith, was present. Rose McKuen was also present.

Mr. Smith reviewed the plans for a needed garage/carport and indicated he would like the garage to complement the home. He reviewed the exterior siding materials to be used and discussed the timber beams to be incorporated. He indicated that the color of the stone elements, number of windows and garage doors have not been decided upon yet.

The Board felt that a structural support post should be added under the timber beam gable.

Upon further discussion, the Board determined that in order to make a final approval that revised drawings with a higher level of detail should be submitted by the applicant indicating final decisions on materials, window placements and reflecting the recommended structural support under the gable.

The Applicant was agreeable to this.

This application is held open.

#### **RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

#### • 12 Black Wood Circle

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2182 square feet and will be located in the Wilshire Hills Subdivision.

Bill Arieno representing Pride Mark Homes was present.

The Board reviewed this application and noted that his structure features three textures.

With no further discussion, Kathleen Cristman moved to accept the application as submitted.

Bonnie Salem seconded.

All Ayes.

#### **COMMERCIAL APPLICATION FOR REVIEW - COMMERCIAL**

#### 957 Panorama Landing - Novanta

The Applicant is requesting design review for the addition of an approximately 15.35 sf sign located on the front facing portion of the building similar to the signs other businesses located in same building.

No representative was present to discuss this application.

The Board felt comfortable going forward with the review.

The logo will be affixed to the existing white square on the building and will not be lit.

Dirk Schneider moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

#### • 4000 East Avenue

This application was withdrawn from the agenda by the Applicant and will be reviewed at a future meeting.

#### **REVIEW OF MINUTES OF JULY 14, 2022 MEETING**

Dirk Schneider moved to accept the minutes of the July 14, 2022 meeting as written.

Bonnie Salem seconded.

All Ayes.

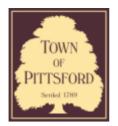
#### **ADJOURNMENT**

Dirk Schneider moved to close the meeting at 7:00 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly Secretary to the Design Review and Historic Preservation Board



#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000120

Phone: 585-248-6250 FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

| Property Address: 1 Morningside | PITTSFORD, | NY 14534 |  |
|---------------------------------|------------|----------|--|

**Tax ID Number:** 191.01-1-7 **Zoning District:** RRSP Rural Residential South Pittsford

Owner: Bellenger, Neil W Applicant: Bellenger, Neil W

#### **Application Type:**

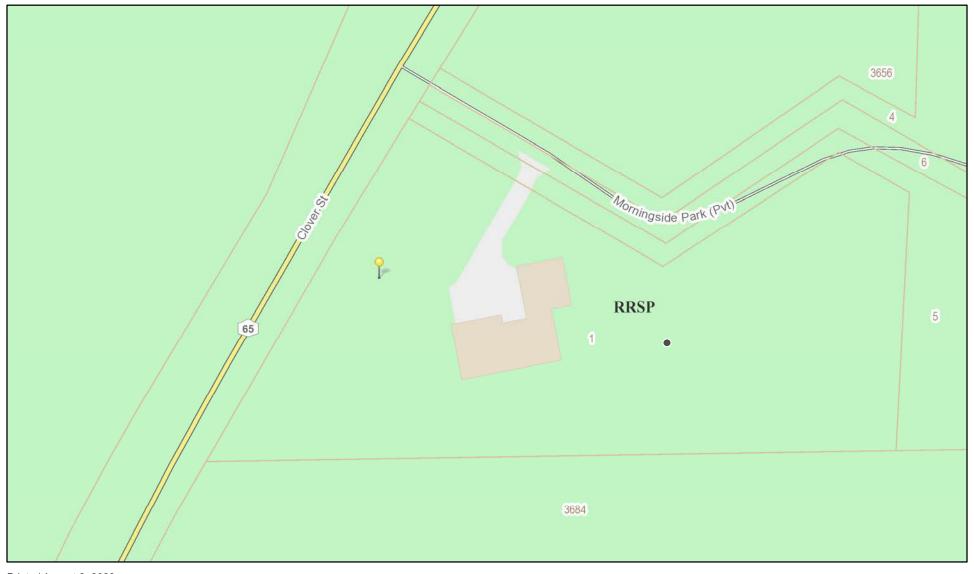
| <b>~</b> | Residential Design Review      | Build to Line Adjustment          |
|----------|--------------------------------|-----------------------------------|
|          | §185-205 (B)                   | §185-17 (B) (2)                   |
|          | Commercial Design Review       | Building Height Above 30 Feet     |
|          | §185-205 (B)                   | §185-17 (M)                       |
|          | Signage                        | Corner Lot Orientation            |
|          | §185-205 (C)                   | §185-17 (K) (3)                   |
|          | Certificate of Appropriateness | Flag Lot Building Line Location   |
|          | §185-197                       | §185-17 (L) (1) (c)               |
|          | Landmark Designation           | Undeveloped Flag Lot Requirements |
|          | §185-195 (2)                   | §185-17 (L) (2)                   |
|          | Informal Review                |                                   |

**Project Description:** Applicant is requesting design review for the construction of an approximately 360 SF Garage Addition, remove and replace existing garage per the stamped drawings including roofing and electrical.

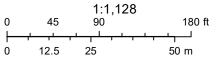
Meeting Date: August 11, 2022



### RN Residential Neighborhood Zoning



Printed August 2, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



#### ABBREVIATIONS:

BRG BRK

BTM BTWN

CRPT

CLKG CMU

CONST

DBL DEPT

EMER ENCL

EXT EXC

E.I.F.S.

FIXT FL

FTG FURR

HDWR HGT

BASEMENT

BOTTOM BETWEEN

CANTILEVERED CATCH BASIN

CAULKING CONCRETEN

CLEANOUT

CONSTRUCTION

COUNTER SINK

DOUBLE DEPARTMENT

DIAMETER

EACH

EXPANSION JOINT

EMERGENCY ENCLOSURE ENTRANCE

EQUIPMENT

ETCETRA EACHWAY

FACTORY FLOOR DRAIN FIRE EXTINGUISH

FLASHING

FOOTING FURRING

GLUE & SCREW

HEAVY DUTY

HEATING, VENTILATING & AIR

FLANGE FLUORESCENT

ELECTRICAPANE

COURSES

CENTERTO CENTER

| AAT            | ACCESSIBLE COUSTICATILE          | IDIA<br>INCL | INSIDE DIAMETER<br>INCLUDE | VERT<br>VEST | VERTICAL<br>VESTIBULE         |
|----------------|----------------------------------|--------------|----------------------------|--------------|-------------------------------|
| AB<br>ABV      | ANCHOR BOLT<br>ABOVE             | INSUL        | INSULATION                 | VIF          | VERIFY IN FIELD               |
| ACST           | ACOUSTICAL                       | INT<br>INV   | INTERIOR<br>INVERT         | VRT          | VINYL REINFORCED TILE         |
| ADJ<br>A.F.F.  | ADJACENT<br>ABOVE FINISHED FLOOR | JT           | JOINT                      | vs           | VENT STACK                    |
| ALUM           | ALUMINUM                         |              |                            | VP           | VENT PIPE                     |
| ANOD<br>APPROX | ANODIZED<br>APPROXIMATE          | KIT          | KITCHEN                    | w            | WIDE                          |
| APPRVD<br>ARCH | APPROVED<br>ARCHITECT            | LAM          | LAMINATE                   | w/<br>WAINS  | WITH FABRIC WAINSCOT          |
| ASPH           | ASPHALT                          | LAV<br>LB    | LAVATORY<br>POUND          | wc           | WALL COVERING                 |
| ATT            | ATTACHED                         | LG           | LONG                       | WD<br>WF     | WOOD<br>WIDE FLANGE           |
| B. BD          | BULLETIN BOARD                   | LH           | LEFTHAND                   | WH           | WATER HEATER                  |
| BD             | BOARD                            | LLH<br>LLV   | LONG LEG HORIZONTAL        | W/O          | WITHOUT                       |
| BITUM          | BITUMINOUS                       |              | LONG LEG VERTICAL          | WP<br>WR     | WATERPROOF<br>WATER RESISTANT |
| BLDG<br>BLK    | BUILDING<br>BLOCK                | LOC          | LOCATION                   | WT           | WEIGHT                        |
| BM             | BEAM                             | LOUV<br>LT   | LOUVER<br>LIGHT            | WWF          | WOVEN WIRE                    |
| B.O.F.         | BOTTOM OF FOOTING                | LVL          | LEVEL                      |              |                               |
| B.O.H.         | BOTTOM OF HEADER                 | LW           | LIGHT WEIGHT               | YD           | YARD                          |
| BRG<br>BRK     | BEARING<br>BRICK                 |              |                            |              |                               |

MANUFACTURER MANHOLE

MONUMENT

MULLION

NUMBER

OVERALL

ONCENTER

PLYWOOD

POINT PARTITION

PAVEMENT

ROOF DRAIN RECESSED

RESILIENT ROOFING

REMOVE & REPLACE

STRUCTURAL GLAZED UNIT

SOLID CORE SCHEDULE

SIDELIGHT

SIMILAR SLATE

SQUARE

STEEL

SPACE SPECIFICATIONS

TRENCH DRAIN

TEMPERED TERRAZZO

THICK THRESHOLD

TYPICAL

VENT

VARIES VINYL BASE VINYL COMPOS

UNITHEATER

PAINT& PRIME PAIR

PRESSURE TREATED

POLYVINYL CHLORIDE

PIPE SLEEVE POUNDS PER SQUARE INCH

NOT APPLICABLE

NOW HEALING NOTIN CONTRACT

NOMINAL NOT TO SCALE

OUTSIDE TO OUTSIDE

MECH MEMB

MFR MH

MULL

N.H. N.I.C.

NOM NTS

ODIA OPG

OPP OV

PL P-LAM

PLAS PLS

PLWD

P & P PR

PT PTN

P.V.C.

PVMT

RD REC

RH R.O.

R.O.W. R & R

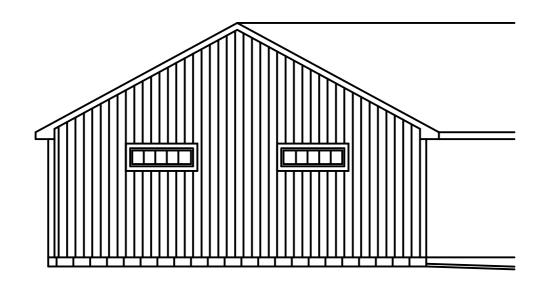
SD SECT

SS STD

STL

TEMP TERR

### BELLENGER RESIDENCE



#### **DRAWINGS:**

C1 TITLE SHEET

ELEVATION VIEWS

FOUNDATION PLAN

A3 FLOOR PLAN

A4 SECTION VIEW

#### SYMBOLS KEY:



NORTH ARROW



DETAIL MARKER



WALLTAG



WINDOW TAG

REVISION TAG



DOOR TAG

#### STRUCTURAL MATERIAL SPECIFICATIONS:

WIREMESH ASTM A-185, 6x6-10/10 W.W.M. ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ECT. TO BE #2 GRADE LUMBER(DOUGLAS FIR, LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN, FIBER STRESS OF 850 PSI UNLESS LUMBER

PLYWOOD LVL, PSL, LSL CDX,PANEL INDEX

ASTM C90, GRADE N-1 Fm=1350 PSI GROUT Fc=2000 PSI ASTM C476

<u>DESIGNCRITERIA:</u> (FOR GREATER ROCHESTER AREA AND ADJACENT COUNTIES)

LOCAL JURIDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO 1ST & 2ND FLOOR LIVING AREA LIVE LOAD

SLEEPING & ATTIC AREA LIVE LOAD 30P.S.F. 15 P.S.F GROUND SNOW LOAD 40 P.S.F. ROOF DEAD LOAD 10 P.S.F. ALLOWABLE SOIL BEARING 42" BELOW FINISHED GRADE 2500 P.S.F. AT MINIMUM

CATEGORY B WINTER DESIGN TEMPERATURE 1 DEGREE ICE SHIELD UNDERLAYMENT

EXTERIOR WALL LINE AND ON ROOFS WITH SLOPES OF 8/12 AND STEEPER 36" MIN. ALONG THE ROOF SLOPE & EAVR EDGE

115MPH, EXPOSURE B

R802.11, BASED UPON SPECIFIC ROOF DESIGN

#### **GENERAL NOTES:**

THESE PLANS COMPLY WITH 2020 NEW YORK STATE RESIDENTIAL BUILDING & ENERGY CONSERVATION CONSTRUCTION CODES. AND 2017 NEC ELECTRICAL CODE

COMPLIANCE METHOD RESCHECK CERTIFICATE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR BUILDER OR OWNER OF THE BUILDING TO NOTIFY THE DESIGNER OF ANY DEVIATION FROM THESE DRAWINGS

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPT AND THAT DEPT'S INTERPRETATION OF THE

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NYS EXIT

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR/SUB-THE EVENT OF ANT DESCRETATIONS BETWEEN TEATHS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR SHALL CONTACT THE DESIGNER BEFORE CONSTRUCTION FOR CLARIFICATION. IF THE DESIGNER IS NOT CONTACTED, THE CONTRACTOR/SUB-CONTRACTOR WILL ASSUME FULL

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS / PROGRAM IN CONNECTION WITH THE WORK

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS, USE DMENSIONS GIVEN

THE CONTRACTOR/OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO DIGGING

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNERS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERNCE ONLY, ELECTRICAL, MECHANICAL AND OTHER

 $R806.2\,MINIMUM\,VENT\,AREA.\,\,THE\,MINIMUM\,NET\,FREE\,VENTILATION\,AREA\,SHALL\,BE\,1/150\,OF\,THE\,AREA\,OF\,THE\,VENTED$ 

#### SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 NYS RESIDENTIAL BLDG CODE TO SUIT A CENTRAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/OWNER CONTRACTUAL AGREEMENT, CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTE THE STRUCTURAL INTEGRITY OF THE

CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 PSF AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATION

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY THE DESIGNER OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATIONAL, DRAINAGE, OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS. UNSTABLE SOIL CONDITIONS, AND HIGH GROUND WATER TABLE

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTORS TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPARTMENT

#### **FOUNDATION:**

ALL FOOTINGS TO REST ON (ORIGINAL) UNDISTURBED SOIL. ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS

BASEMENT/CELLAR WALL AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH SHOULD SATURATED CONDITIONS BE ENCOUNTERED. OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS

CONTRACTOR ASSUMES FULL RESPONSIBILITIES FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED

POSITIVE DRAINAGE SHOULD BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALL AND

CONTINUOUS FABRIC WRAPPED 4" PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALL WHICH DRAINS TO THE SUMP PUMP A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE

 ${\tt CONCRETE\ AND\ MASONARY\ FOUNDATION\ WALLS\ SHALL\ BE\ CONSTRUCTED\ AS\ SET\ FORTH\ AS\ PER\ REINFORCEMENT}$ 

#### **FIREPLACES**

DIRECT VENT GAS FIREPLACE UNITS TO BE SELECTED BY THE OWNER AND INSTALLED ACCORDING TO THE MANUFACTURERS

NEW WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTINH FLU DAMPERS OR DOORS AND OUTDOOR NEW WOOD BURNING FIREPLACES SHALL HAVE TIGHT IT HIND FLU DAWLESS OR DOORS AND OUTDOOK COMBUSTION AIR WHERE USING TIGHT FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127. FIREPLACES. THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

#### FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN INCLUDING SPACING OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENCED IN THE COVERING

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION

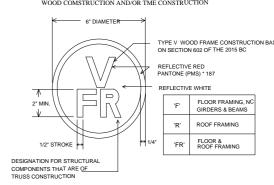
UNDER ALL CONCEALED WOOD BEARING POSTS PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR OIST SPACE UNDER POST TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH A MINIMUM OF 3-2x6 OR 2-2x8 HEADER UNLESS NOTED OTHERWISE

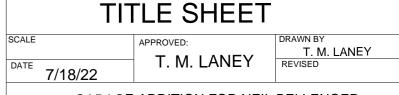
BUILDER ASSUMES FULL RESPONSIBILITY FOR MAITENANCE AND STRUCTURAL INTEGRITY OF JOIST, BEAMS, OR STUDS

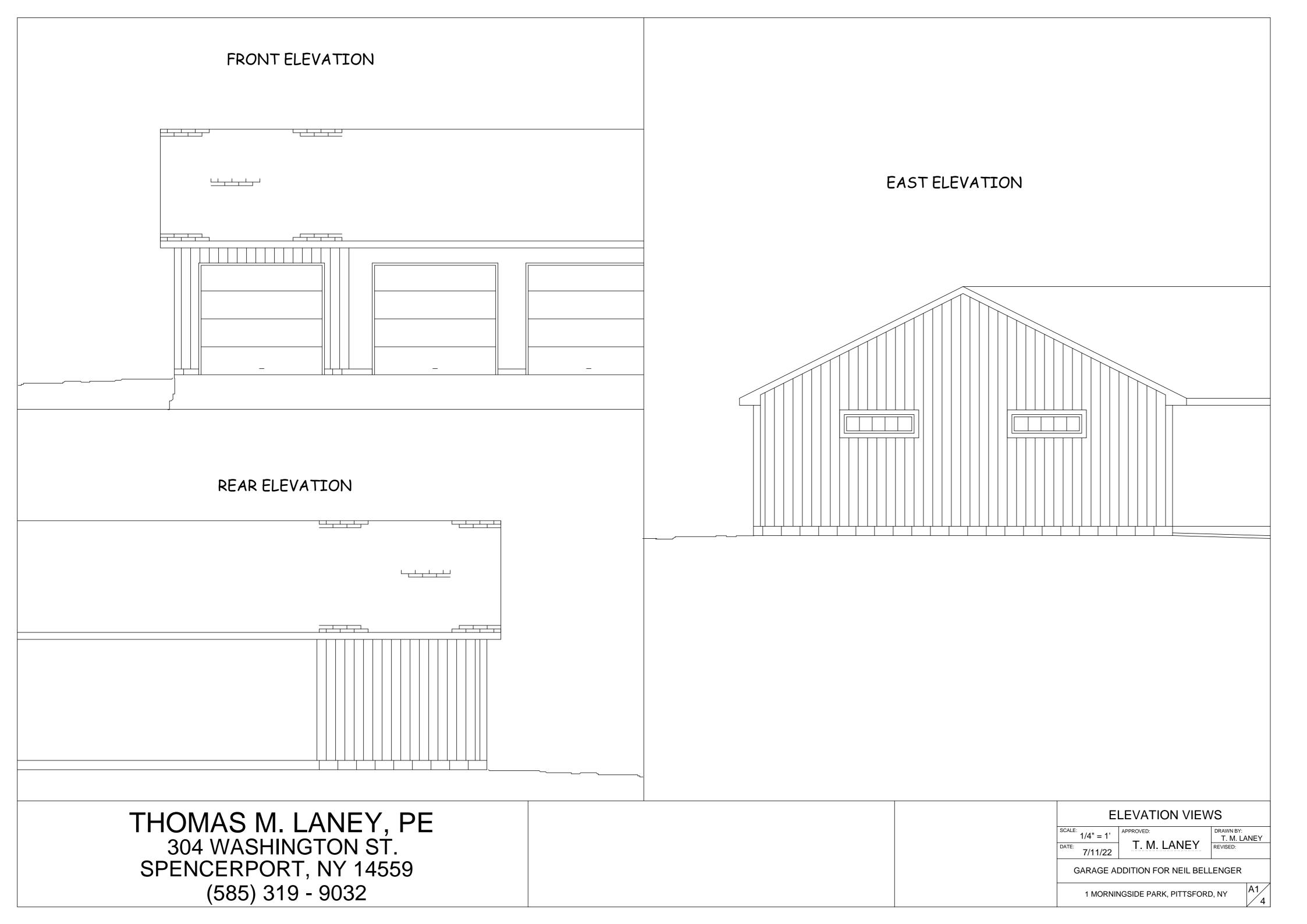
ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHERING HANDLING, STORAGE, RESALING OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION

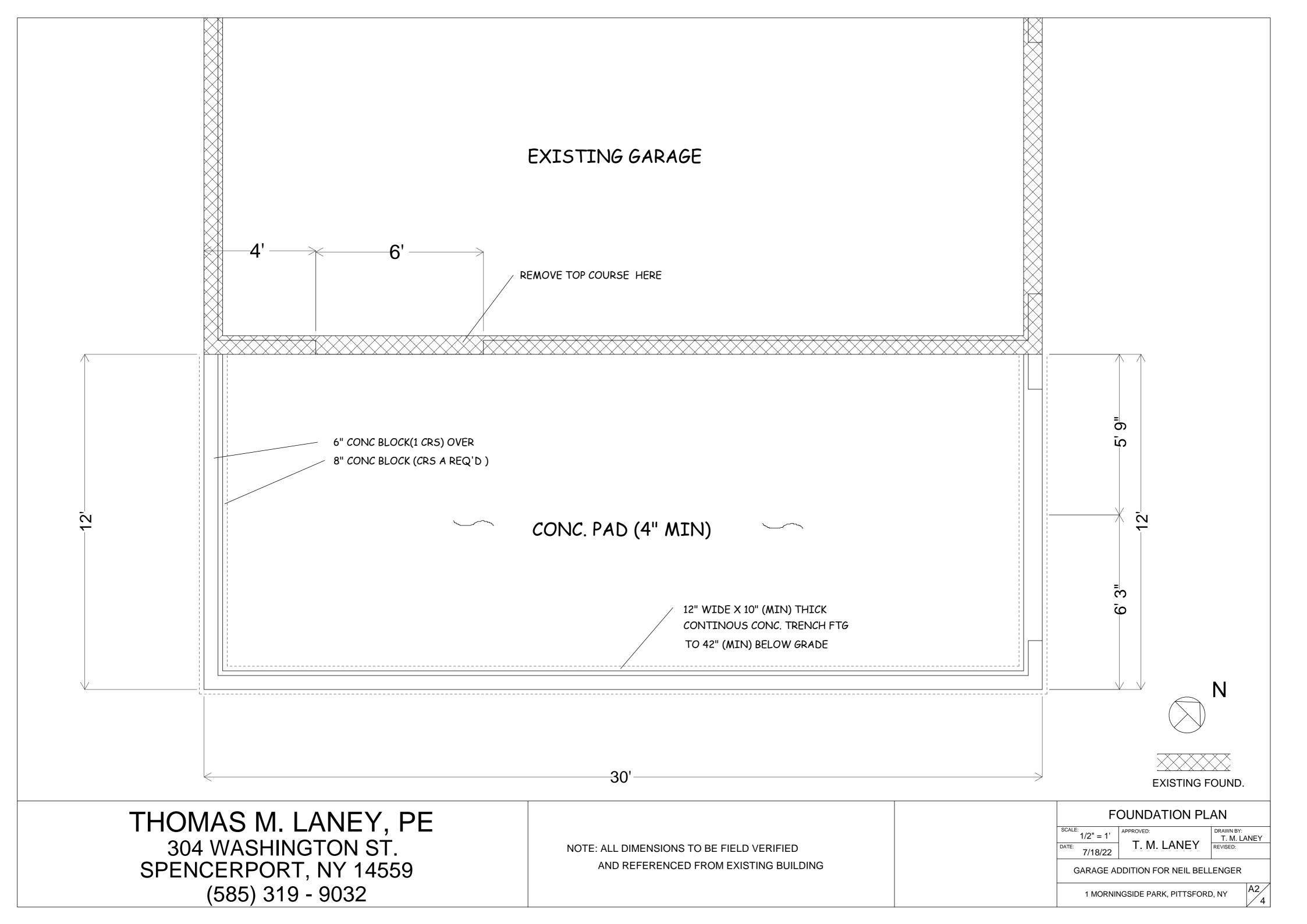
#### TRUSS IDENTIFICATION:

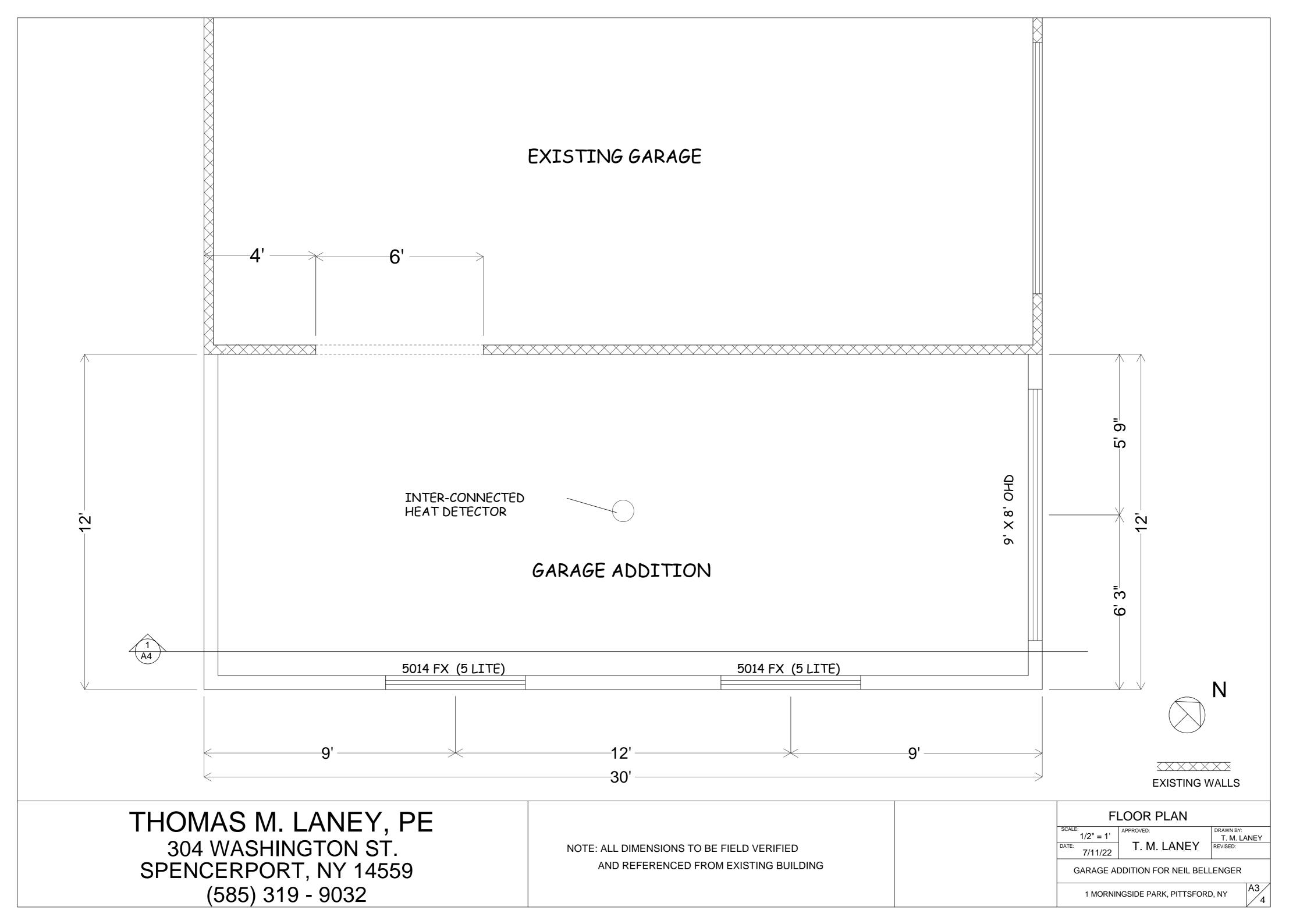


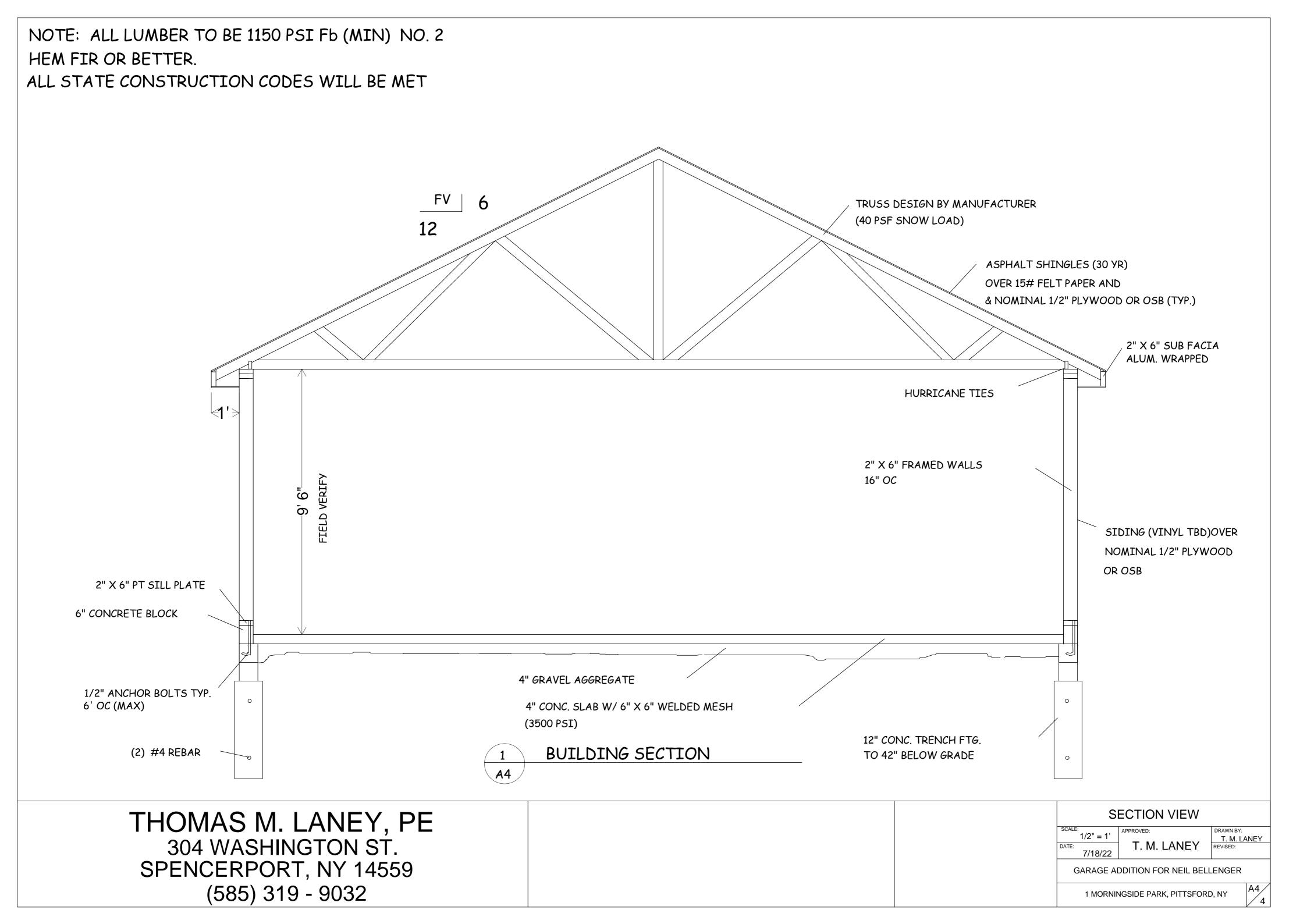
### THOMAS M. LANEY, PE 304 WASHINGTON ST SPENCERPORT, NY 14559 (585)-319-9032











### INSTRUMENT LOCATION MAP

#### NO. 1 MORNINGSIDE PARK

KNOWN AS LOT R-2 OF A RESUBDIVISON OF LOT NOS. 1 & 2 OF THE FRANK SUBDIVISION

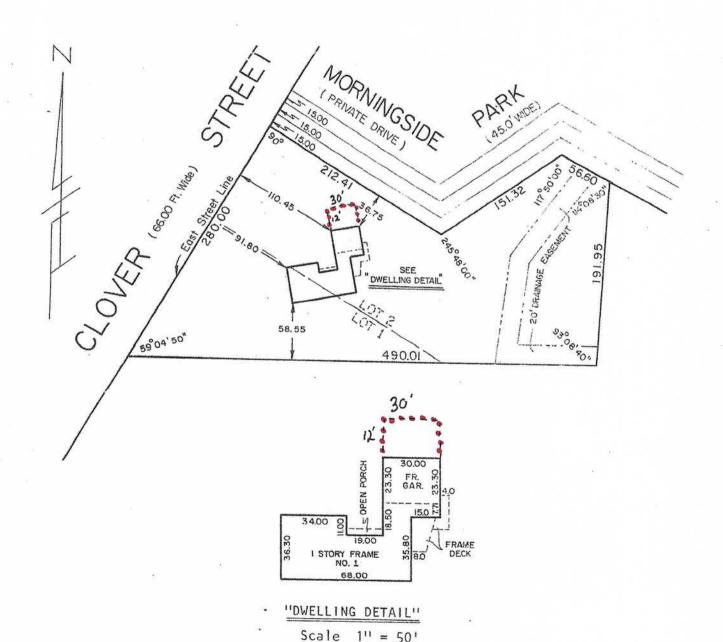
TOWN OF PITTSFORD

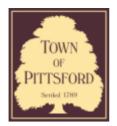
COUNTY OF MONROE

STATE OF NEW YORK

Scale 1" = 100'

PROFESSIONAL LAND SURVEYOR 165 HIGH POINT TRAIL ROCHESTER, NEW YORK 14609 (716) 288-2584 March 12, 1985





#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000122

Phone: 585-248-6250 FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

| Property Address: | 10 Burncoat Way | PITTSFORD, | NY 14534 |
|-------------------|-----------------|------------|----------|
|                   |                 |            |          |

**Tax ID Number:** 164.15-1-3

Zoning District: RN Residential Neighborhood

Owner: Paul Wilmot Applicant: Paul Wilmot

| _      |      | 4.    | _   |    |
|--------|------|-------|-----|----|
| Λn     | nlic | ation | Tyn | ο. |
| $\neg$ | DIIL | auvi  |     | ◡. |

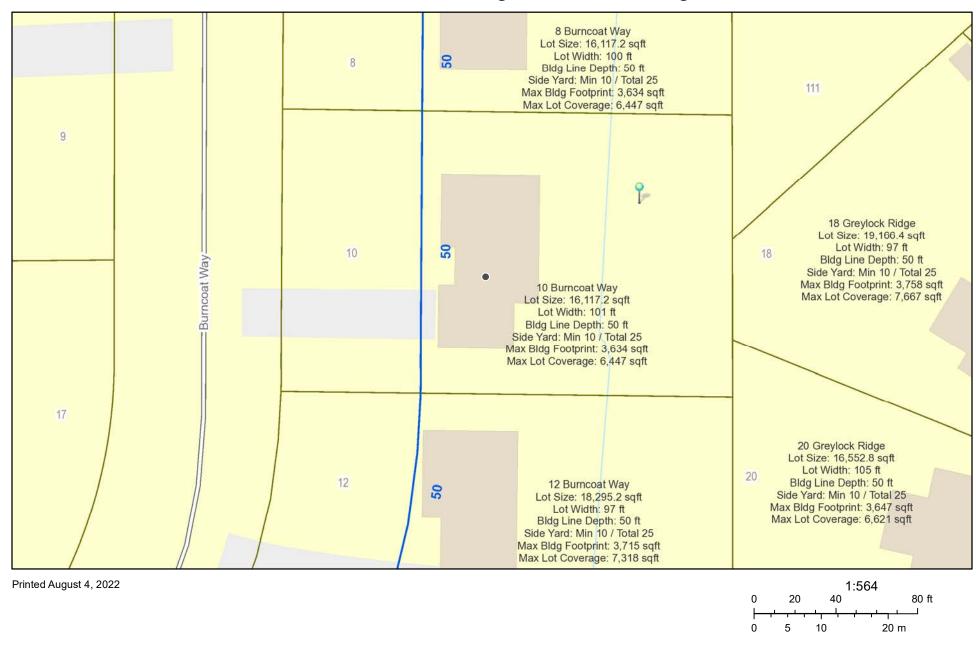
| <b>✓</b> | Residential Design Review §185-205 (B)     | Build to Line Adjustment<br>§185-17 (B) (2)            |
|----------|--|--|
|          | Commercial Design Review<br>§185-205 (B)   | Building Height Above 30 Feet §185-17 (M)              |
|          | Signage<br>§185-205 (C)                    | Corner Lot Orientation<br>§185-17 (K) (3)              |
|          | Certificate of Appropriateness<br>§185-197 | Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
|          | Landmark Designation<br>§185-195 (2)       | Undeveloped Flag Lot Requirements §185-17 (L) (2)      |
|          | Informal Review                            |  |

**Project Description:** The applicant is requesting design review for an addition of a 517 SF addition above an existing garage

Meeting Date: August 11, 2022



### RN Residential Neighborhood Zoning



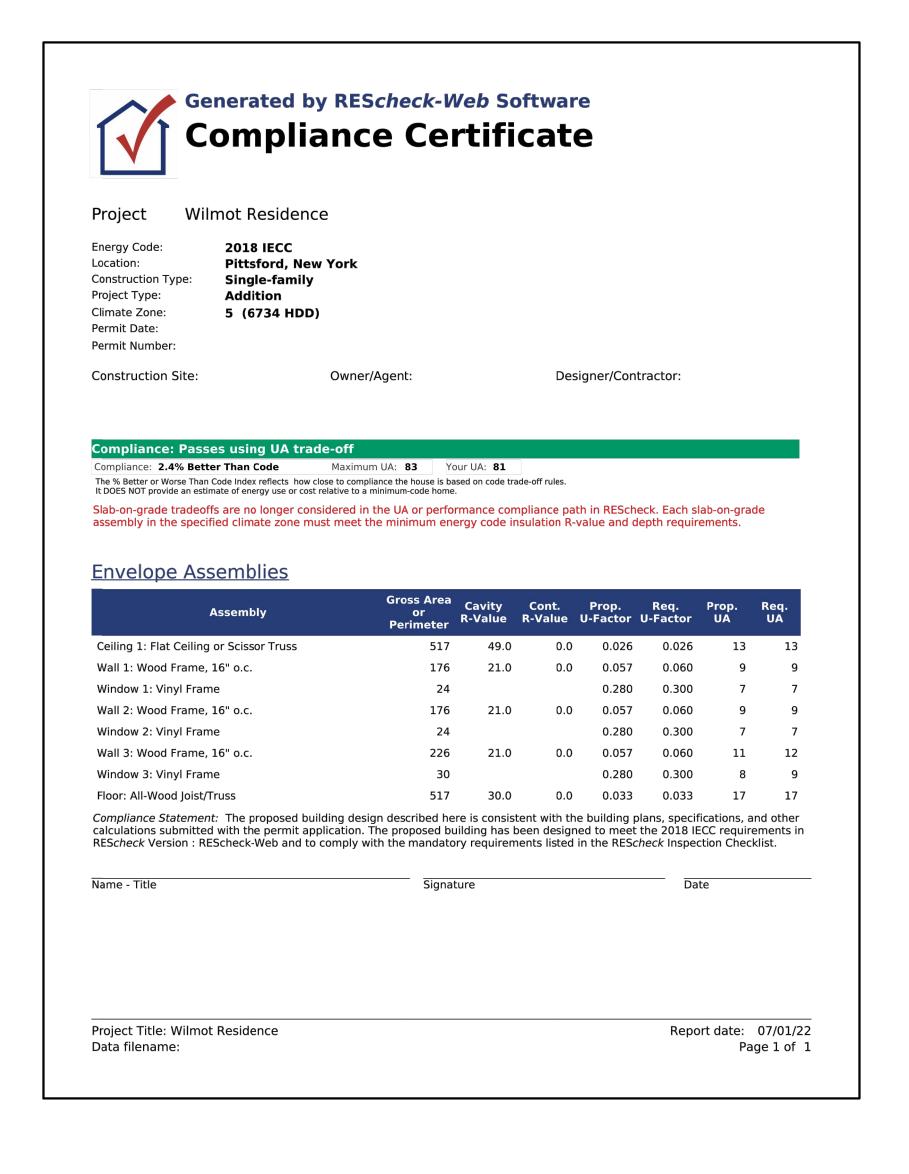
Town of Pittsford GIS



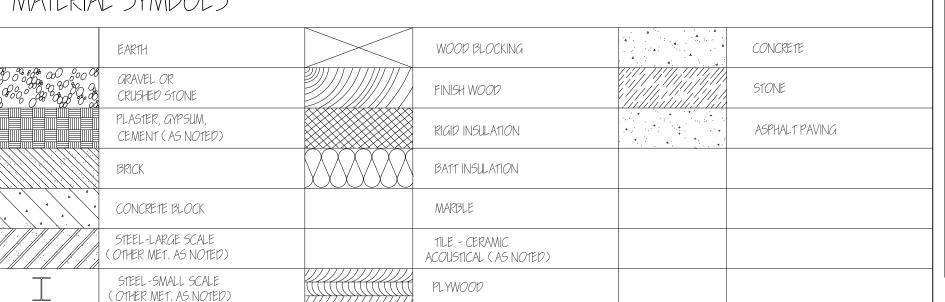
## ADDITIONS AND RENOVATIONS TO THE

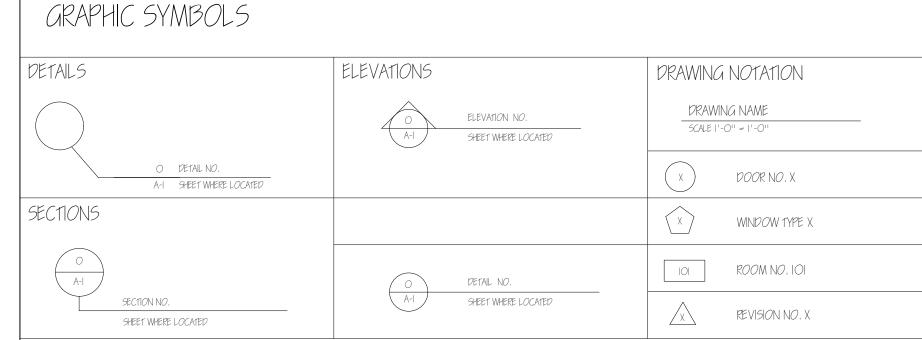
# WILMOT RESIDENCE

10 BURNCOAT WAY, PITTSFORD, NY 14534



#### LIST OF ABBREVIATIONS TACKSTRIP ABOVE FINI FI NOT IN CONTRACT ACOUS ACOUSTICAL NOMINAL 1HICK(NESS) AD, JACENT TONGLE AND GROOVE FINISHED AIR CONDITIONING TOP & BOTTOM FIRE EXTINGUISH, CAB TOP OF STEEL FLOOR ON CENTER FLOOR DRAIN OUTSIDE DIAMETER THRESHOLD FOUNDATION GALVANIZED VARNISH VERTICAL GENERAL CONTRACTOR BLOCKING PARTICLE BOARD VERIFY IN FIELD BOTTOM GLAZED CMU PARTITION VERTICAL GRAIN **GLAZES STRUCT. TILE** PAVEMENT GYPSUM BOARD PERFORATED VINYL ASBESTOS TILE PLASTIC LAMINATE PLYWOOD POUNDS PER SOLIARE F CEM PLAS CEMENT PLASTER HTG/VENTING/A/C WITHOUT WATER CLOSET WELDED WIRE FABRIC CERAMIC TILE HEIGHT POUNDS PER SQUARE IN. HOLLOW CORE WELDED WIRE MESH HOLLOW METAL WIRED GLASS HORIZONTAL WATERPROOFING CONCRETE WASTE RECEPTACLE CONC. MASONRY UNIT REFERENCE CONNECTION INSIDE DIAMETER INTERIOR REINFORCEMENT INVERT INSIDE PIPE SIZE REVISION ROOF DRAIN ROOM ROUGH OPENING RESILIENT VINYL 11L LAMINATED SIMILAR SOLID CORE SPEAKER DOWN SPOUT MASONRY OPENING SPECIFICATION DRAWING DECOR STAINLESS STEE STRUCTURAL MOP RECEPTOR MANUFACTURED MATERIAL SYMBOLS WOOD BLOCKING CONCRETE





### LIST OF DRAWINGS

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| A-4      | SPECS                                       |



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PROJECT & CLIENT

ADDITIONS AND RENOVATIONS TO THE

WILMOT RESIDENCE

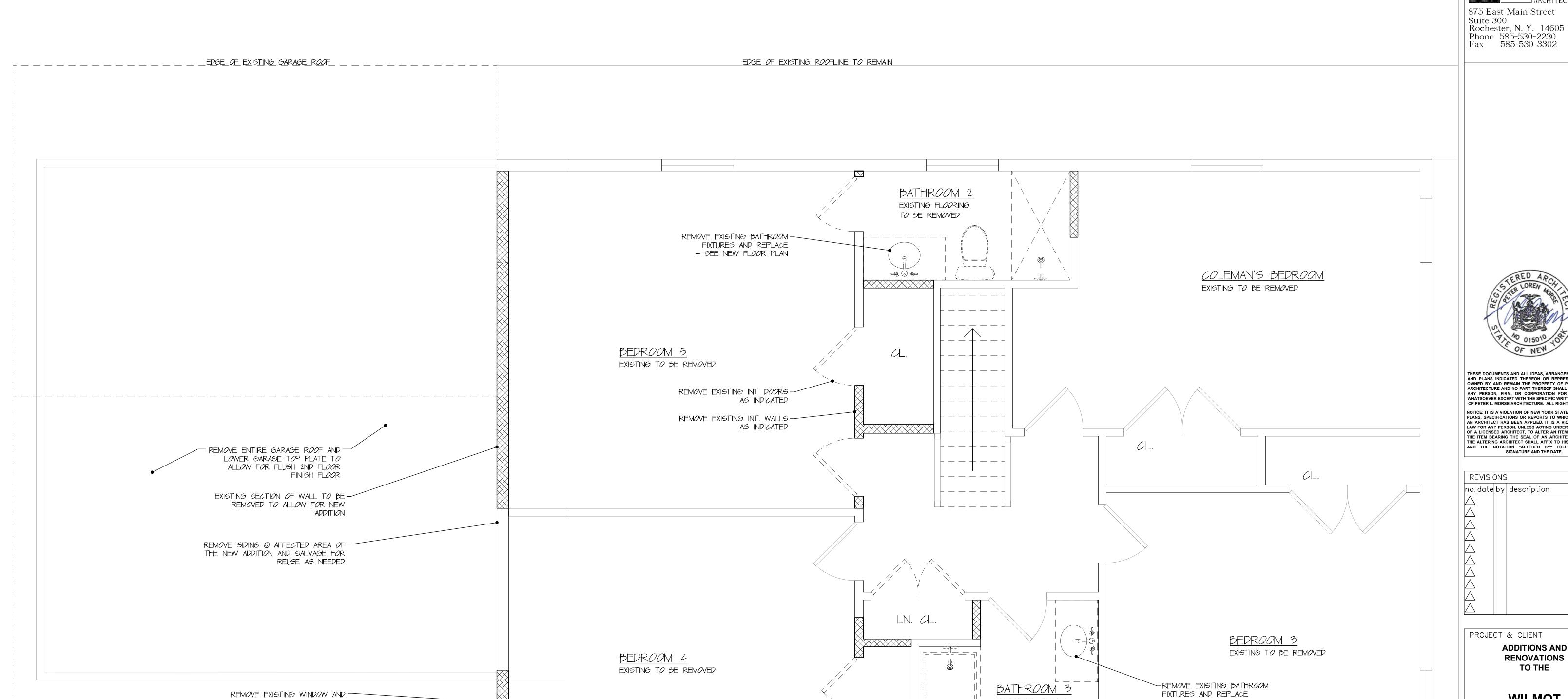
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TITLE SHEET

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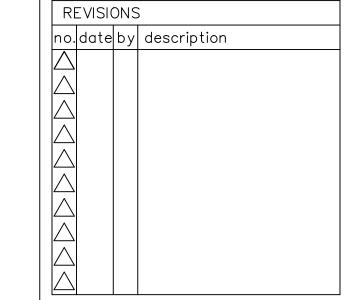
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**ADDITIONS AND RENOVATIONS** TO THE

**WILMOT RESIDENCE** 

10 BURNCOAT WAY, PITTSFORD, NY 14534

DRAWING TITLE

**EXISTING/DEMO 2ND FLOOR PLAN** 

DRAWING NO.

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ISSUE DATE

EXISTING/DEMO 2ND FLOOR PLAN

EXISTING FLOORING

TO BE REMOVED

- SEE NEW FLOOR PLAN

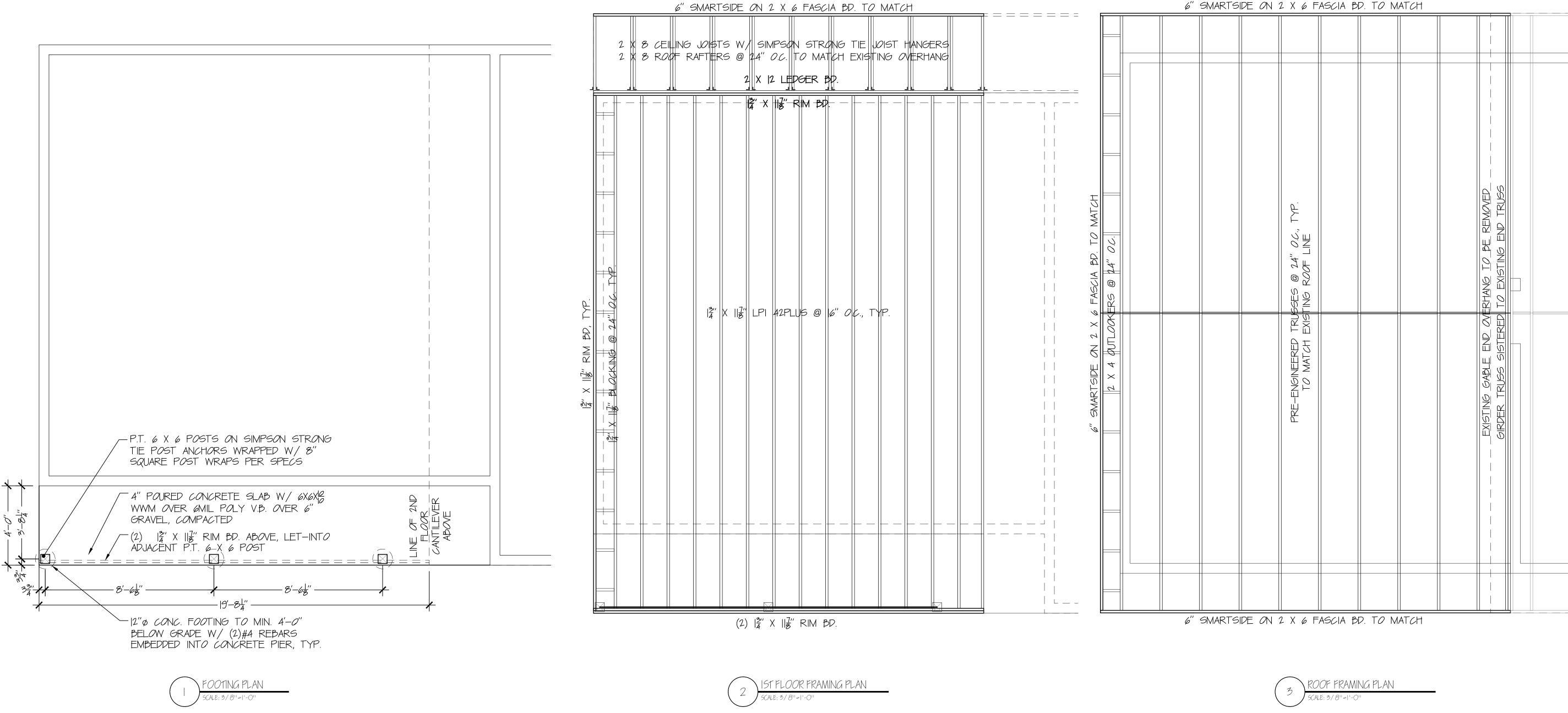
REMOVE EXISTING WINDOW AND -

SECTION OF EXIST. EXT. WALL TO -BE REMOVED FOR NEW WINDOW, SIZES PER NEW FLOOR PLAN

WALL ASSEMBLY

IN-FILL OPENING TO MATCH EXISTING

EDGE OF EXISTING GARAGE ROOF



### REINFORCED CONCRETE AND MASONRY(A) FOUNDATION WALLS PARTIAL TABLE R404.1.(3)

| VERTICAL REINFORCE<br>FOR 12" NOM                                | MAXIMUM  | MAXIMUM  |                   |        |
|--|--|--|-------------------|--------|
| <u>501</u>   | UNBALANCED<br>BACKFILL HT  | WALL<br>HEIGHT   |                   |        |
| SC, MH, ML-CL AND INORGANIC CL SOILS                             | 6W, CG, SM, SM—<br>SC AND ML SOILS                               | <u>6W, 6P, SW</u><br><u>AND SP SOILS</u>                         | <u>(E) (FEET)</u> | (FEET) |
| #4 @ 72" O.C.<br>#4 @ 72" O.C.<br>#4 @ 48" O.C.<br>#4 @ 56" O.C. | #4 @ 72" O.C.<br>#4 @ 72" O.C.<br>#4 @ 48" O.C.<br>#4 @ 56" O.C. | #4 @ 72" O.C.<br>#4 @ 72" O.C.<br>#4 @ 48" O.C.<br>#4 @ 56" O.C. | 4<br>5<br>6<br>7  | 7      |

- A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND. B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS -SECTIONAL AREA OF REINFORCEMENT PER LINEAR FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72 INCHES.
- C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75 INCHES.
- D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.
- E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT OF THE EXTERIOR AND INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB IS PROVIDED, THE UNBALANCED BACKFILL HEIGHT SHALL BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB.

### CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA

FOR MONDROE COUNTY - TABLE RR301.2(1)

|   | <u>GR<i>O</i>UND</u> | WIND                  | <u>SEISMIC</u>                   | <u>5</u> U        | BJECT TO DAI        | MAGE FR <i>O</i> M    | WINTER       | ICE SHIELD                    |                          |                          |
|---|----------------------|-----------------------|----------------------------------|-------------------|---------------------|-----------------------|--------------|-------------------------------|--------------------------|--------------------------|
|   | <u>SNOW</u><br>LOAD  | <u>SPEED</u><br>(MPH) | <u>DESIGN</u><br><u>CATEGORY</u> | <u>WEATHERING</u> | FROST<br>LINE DEPTH | TERMITES              | <u>DECAY</u> | <u>DESIGN</u><br><u>TEMP.</u> | UNDERLAYMENT<br>REQUIRED | FL <i>OO</i> D<br>HAZARD |
| - | 50                   | 90                    | ₿                                | SEVERE            | 42''                | SLIGHT TO<br>MEDERATE |              | -3F                           | ₿                        |                          |

Architecture

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**ADDITIONS AND RENOVATIONS** TO THE

**WILMOT** RESIDENCE

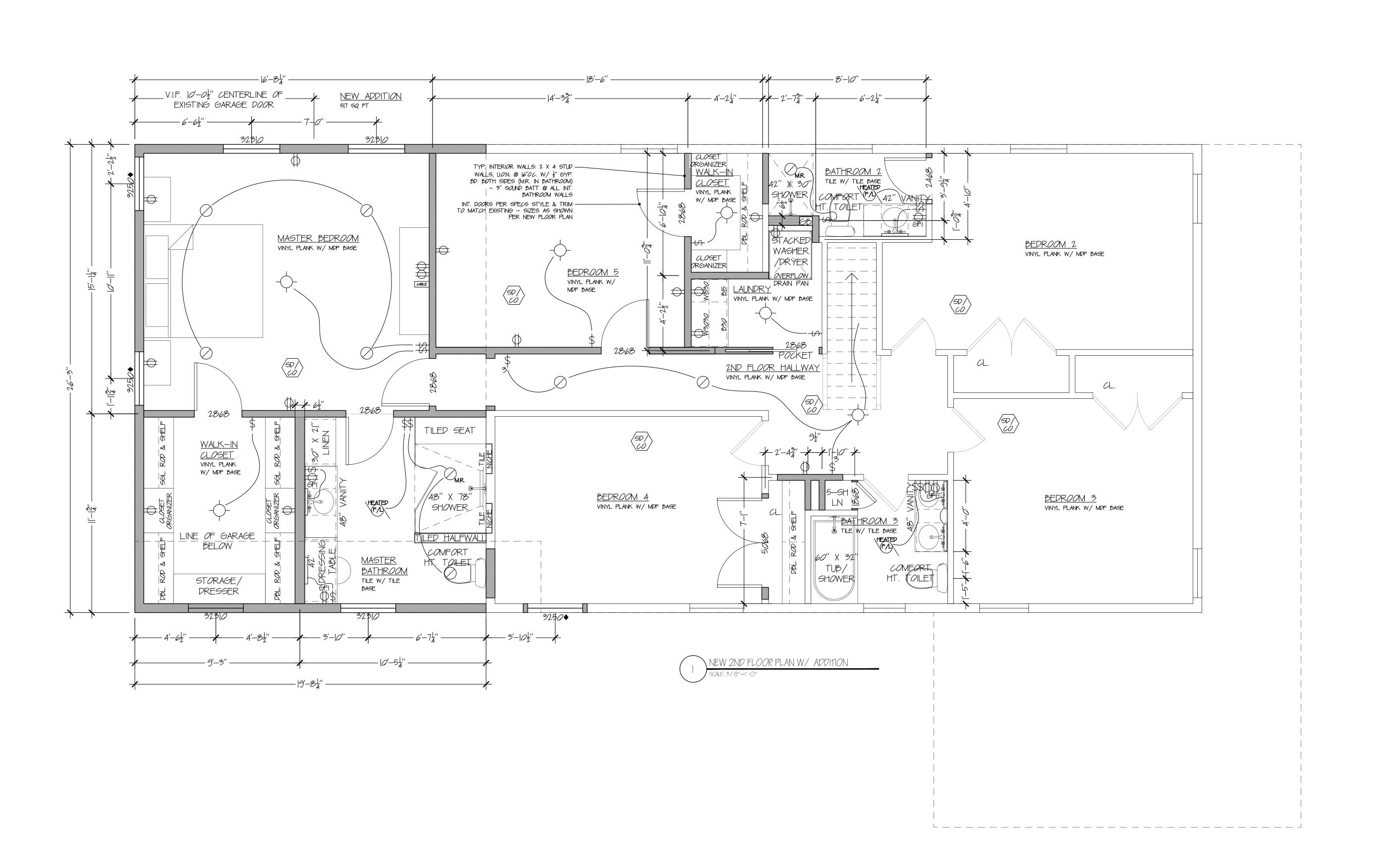
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DRAWING TITLE

**FOOTING AND FOUNDATION** PLAN AND 1ST FLOOR FRAMING PLAN

DRAWING NO.

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10 BURNCOAT WAY, PITTSFORD, NY 14534

DRAWING TITLE

2ND FLOOR PLAN

DRAWING NO.

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Peter L.
Morse

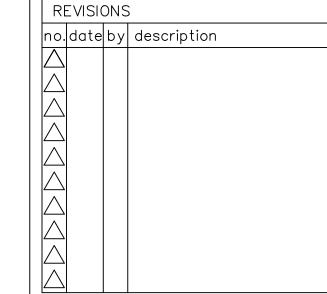
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ARCHITECT A. I. A.

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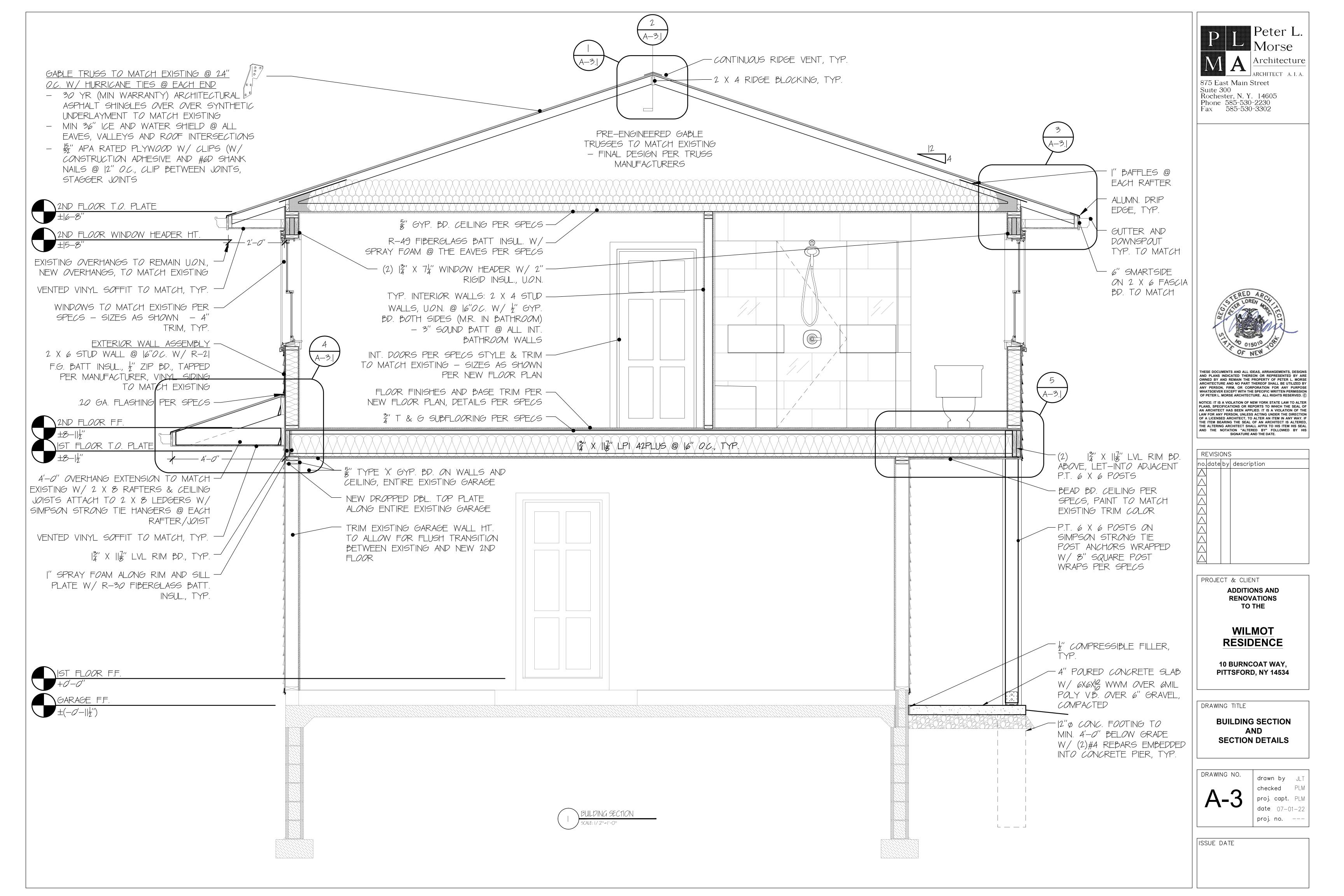
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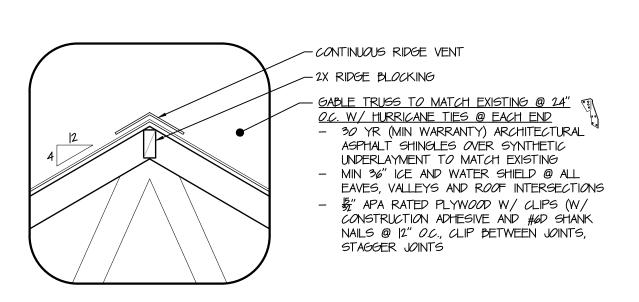
**EXTERIOR ELEVATIONS** 

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A-2

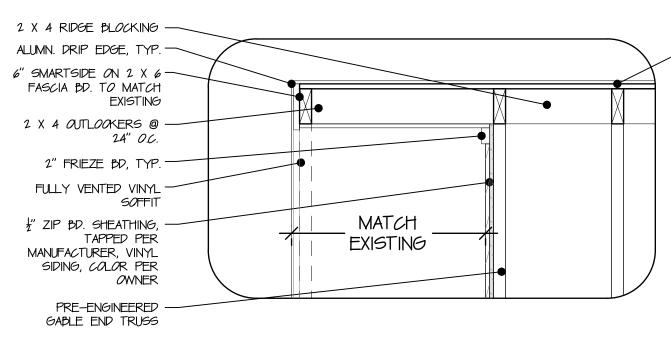
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SECTION DETAIL

SCALE: I"=1'-0"



EXISTING

- MIN 36" ICE AND WATER
SHIELD @ ALL EAVES,
VALLEYS AND ROOF
INTERSECTIONS

- 5" APA RATED PLYWOOD
W/ CLIPS (W/
CONSTRUCTION ADHESIVE
AND #6D SHANK NAILS @
12" OC., CLIP BETWEEN
JOINTS, STAGGER JOINTS

GABLE TRUSS TO MATCH

HURRICANE TIES @ EACH END

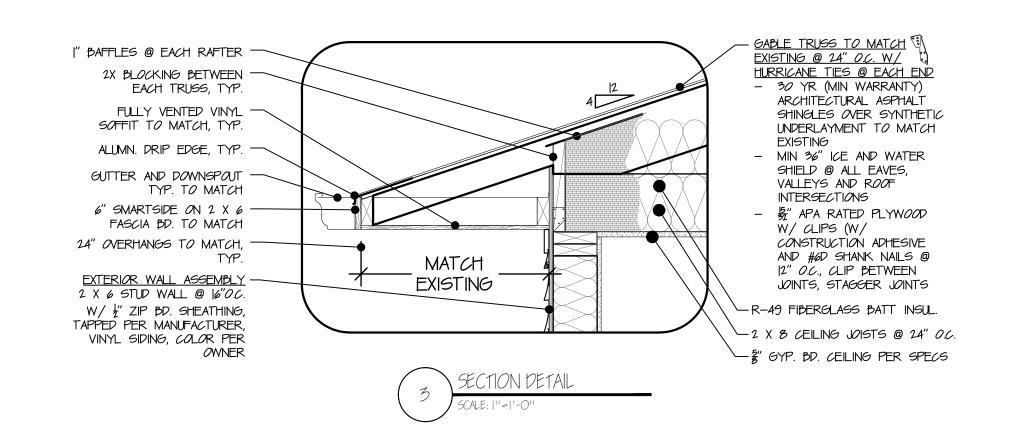
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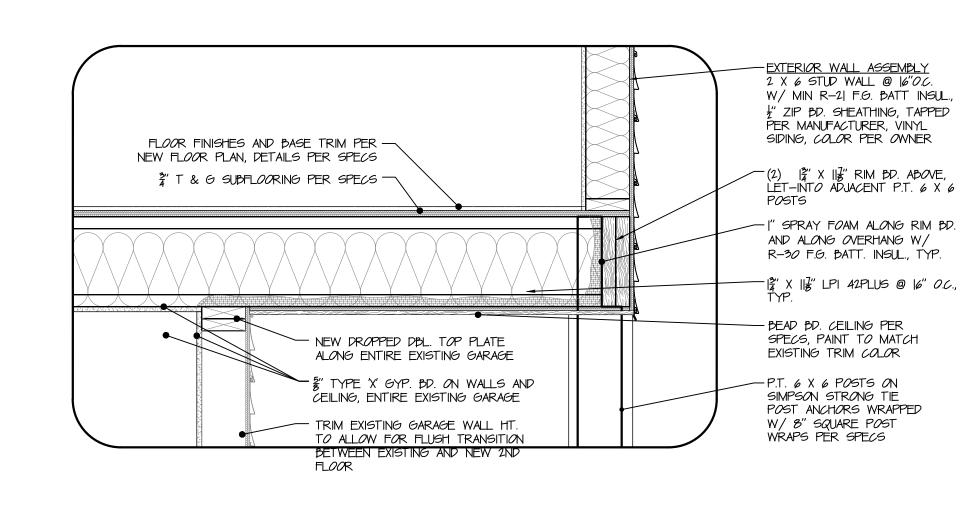
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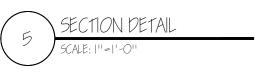
UNDERLAYMENT TO MATCH

- 30 YR (MIN WARRANTY)

<u> EXISTING @ 24" O.C. W/</u>









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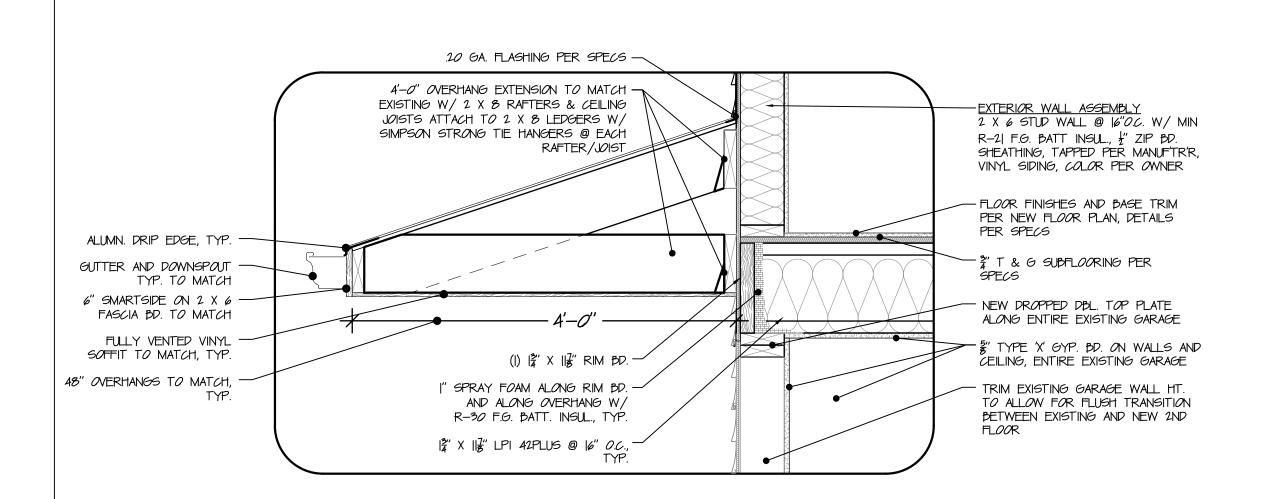
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SECTION DETAILS

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SECTION DET/ 5CALE: |"=|'-0"

### **CONSTRUCTION SPECIFICATIONS** 10 Burncoat Way, Pittsford, NY 14534

#### **GENERAL NOTES**

- ) The Contractor shall verify all existing conditions and familiarize himself with the work pertaining to their trade. Contractor shall verify existing conditions of footings, grounds, and layout, etc. for the work involved. Contractor shall field review drawings, and immediately report any discrepancies to the Architect.
- Contractor shall keep grounds free from debris, dust, or other hazardous conditions during construction.
- Contractor shall notify Town of Pittsford for completion of each phase of the work for approvals. Framing, Insulation, Electrical, Plumbing and final for the Certificate of Occupancy.
- Contractor shall be responsible for bracing wood framing and masonry wall construction at all times during construction.
- All General Construction, Plumbing, Mechanical, and Electrical work shall be provided in accordance with the New York State Building Code, and all other agencies having jurisdiction. Contractor shall review Owner requirements and coordinate work among the various trades for compliance.

### Design loads: General

- Concrete strength: 2,500 psi
- Concrete Floors/ walks: 3,500 psi
- Rebar Reinforcement: grade 60 Welded wire mesh: 6 x 6 x 10/10
- Dur-o-wall reinf. 9 ga., galvanized.
- Structural steel: A36 (A990)
- Concrete block: 3,500 psi (normal weight)
- Roof loads: 50 psf snow loads.

### **General Construction**

#### 1) WOOD FRAMING -GENERAL

- Framing lumber: AWPA Hem-fir # 2 grade or better. Exterior walls are 2 x 6 studs at 16" o.c. Bottom plate shall be pressure treated on continuous sill sealer
- A. Interior partitions: 2 x 4's at 16" o.c. (insulated at bathroom). Exterior walls shall be 2 x 6 at 16" o.c.
- B. All framed openings shall have structural wood headers as indicated on plans. Note: Provide (3) 2 x 8's above each window/ door opening.
- C. 1-3/4" X 11-7/8" LPI 42Plus floor joists @ 16" o.c.
- D. Double floor joists under all interior partitions.
- E. Provide 2" x 2" wood cross bracing at floor joists. F. Provide Louisiana Pacific LVL glue laminated beams where
- indicated on plans.
- G. Hurricane Connectors: H1 Simpson Strong Tie. One per
- H. ¾" sub- flooring for all wood floors. OSB Board Advan-tec by Huber, or equal. Glued and nailed. 1/4" luan underlayment at all floors.
- I. All exterior sheathing shall be ½" OSB board equal to Huber Green Zip System. Use manufacturer's tape at all joints.
- J. Roof sheathing: 7/16 "CDX OSB Board. Provide ply-clips (or ship lap joints) at non-supported areas of sheathing.
- K. Roof trusses: 50 lbs. total load. Provide outrigger framing on gable ends.

### 2. EXTERIOR ROUGH CARPENTRY

- Include in base price all necessary demolition required to complete the Work.
- Lumber standards: S4S standard grade Douglas fir, Eastern Spruce, or # 2 Southern Pine.
- Provide AWPA Wolmanized UC4A pressure treated lumber for all structural lumber. (Non-ground contact rated PT
- Provide double dipped galvanized nails and Simpson Strong
- Tie fasteners and post bases for all connectors as shown. Provide aluminum flashing as necessary at wall/ roof exterior at all joints. Caulk with clear silicone.
- 6. Lumber standards: S4S standard grade Douglas fir, Eastern Spruce, or # 2 Southern Pine.
- Fasten ledger board to residence using approved ledger screws. Screws shall be equal to FastenMaster "Ledger Lok". Length 5" min. Install at 16" o.c. as noted on plans.

### 2.a EXTERIOR FINISH CARPENTRY

- A. Specialty wood products: LP Smart Side exterior trim boards, and with solid sheets for all fascia, window, and soffit. Paint all surfaces to match windows. B. Around new door frame: 1 x 4 wood trim. LP "Smartside"
- flashing (if not already installed) above new door. Caulk all around.

trim. Paint semi-gloss. (white). Install 20 ga. alum. top

- C. Areas around vinyl siding: 1 x 3 vinyl trim (white) by siding manufacturer
- D. Lightly sand and ease edges of all exposed wood.

### 2.b INTERIOR TRIM

A. Interior running and standing trim: Base shall be MDF (as noted) to match house trim. Paint white. Base shall be Colonial Moldings Style. Window frames shall be painted. Color: white. Door casings: MDF or finger jointed pine. Style: Colonial.

#### 4. ROOFING:

- A. Roofing shall be Architectural Roofing. GAF or equal (to match house). 30 year warranty. Install per manufacturers instructions. Unless otherwise noted. all roof / wall intersections shall have aluminum flashing placed behind walls no less than 8" into wall and roof areas affected.
  - 1. All new roof eaves and valleys shall have complete Ice and water shield sheathing installed. Water shield equal to Grace self adhering. Install 15 lb. Base felt over entire roof. All metal flashings are to be concealed unless otherwise noted.
    - a. Attic vents: Provide and install attic vents on roof area as shown. Vents shall be 8" x 8" equal GAF/Elk Model SSB960A. Color Black.
  - 2. All exposed aluminum shall have color to match
  - 3. All ridge vents shall be "Shingle Type" equal to
  - Cobra II. (over bedroom areas only). Vent cap on end of residence.
  - Exposed metal trim, and drip edges shall match roofing. Sheet metal flashings shall be 25 ga. Min.
  - All windows and doors shall have 25 ga. aluminum flashings 8" counterflashed above door and window
  - Gutters and downspouts: Seamless "K" type aluminum. Color: white. Provide and install splash block at grade.
  - Plumbing Vents: Oakey Aluminum flashings, and rubber gasketed vents - paint exposed PVC vents
- Vented Eave vents: Full perforated vinyl equal to Norandex. Color: White. Exterior air/ vapor barrier: DuPont "Tyvek" air barrier housewrap over all exterior wall surfaces. Install per manufacturer's directions
- Gable end vent. Equal to Ply Gem. 18" x 24". Provide screen at rear of vent. Color: White.

### 5. INSULATION:

- A. Make weather tight all work along the perimeter of the exterior. Use Owens Corning Sill Sealer at all Masonry/ Wood frame junctions.
- B. Walls, floors and ceilings at exterior perimeter: Kraft faced Fiberglass Kraft faced insulation equal to Owens Corning. R-21 sidewalls. R-49 in attic space.. Floor wall intersection shall have loose batt insulation 2'-0" inserted around the perimeter.
- C. Insulation baffles: at all perimeter rafter tails: Amerimax Home Products 41 in. x 22 in. Accuvent Vinyl Attic Airway and Soffit Vent in Black

### 6. EXTERIOR SIDING

- A. Equal to: CertainTeed vinyl siding Monogram style profile and color to match existing (for residence addition) or equal. Color and style: by Homeowner Follow strict guidelines for installation. Use ½" x 1" trim at trim intersections. Caulk all joints with matching sealant.
- 7. GYPSUM BOARD ASSEMBLIES: unless otherwise noted, all interior walls and ceilings throughout shall be 1/2" gypsum board assemblies on all walls and ceilings.
  - a. Bathrooms and wet areas shall be 1/2" type "MR" gypsum board.
  - b. Ceilings and all interior walls in garage shall be 1 layer 5/8" Gyp. Bd. (type X)
  - c. ½" Cement board shall be used in wall areas at shower. James Hardie 500 series.
  - d. 1/4" Cement board for all thin set tile areas.

### 8 WINDOWS

- B. Addition: Windows equal to: Andersen 200 Series Clad windows. Exterior cladding shall be white.
- C. All glazing shall be double pane U27 Min. and SHGC..32 clear rated low "E" type.
- D. All windows shall be installed on firm grounds, caulked and checked prior to acceptance. Coordinate all custom jamb extensions, and trim prior to installation.
- **9. DOORS:** Review styles and installation prior to installation. A. Interior doors shall be equal to: Jeld - Wen wood 6 panel solid core panel doors. Doors shall be 1-3/8" nominal thickness for all doors. Contractor to provide all hardware groups, and shop drawings with Owner.
- B. Closet doors: shall be equal to matching Jeld-Wen 6 panel doors. Paint: White. Door Frame: Colonial style. Painted white.
- **9a.** DOOR HARDWARE: two hinges per door (all doors). a. Interior doors: Kwikset Kwikset Signature Series Tustin
- Privacy Door Leverset Model: 730TNL-15. b. Doors. Provide privacy thumb latch at bathroom. Satin finish.
- c. Door hinges/ Interior: Equal to Stanley residential line: Finish by homeowner. 3 hinges per door.
- d. Bedroom closet doors: Equal to Stanley Hardware.

### 10. SPECIALTIES:

- A. Plumbing access door: Acudor, or equal. Plastic 14" x 29" plumbing drywall access door. Painted to match surrounding walls.
- Plate Glass Mirror: 1/4" glass (unframed) glue to wall.
- 30 x 84" x 21" linen closet Smart Cabinetry or equal.
- Bathroom Vanity unit: Smart Cabinetry or equal. Sizes as Shown.
- 1. Countertop to be shop fabricated Corian with 6" deep bowls. Bowls shall be white
- Bathroom Vanity Faucet: 8" equal to: MOEN, Model # 84778MSRN Ashville 8 in. Widespread 2-Handle Bathroom Faucet with Microban Protection in Spot Resist
- Toilet paper holder: Surface mounted. Equal to: Moen "Method" Model: YB2408BN. Color: Brushed Nickel.
- G. Towel ring: equal to: Moen Preston spot resist brushed nickel wall mount towel ring. Model: DN8486BNLocation as shown.
- H. Closet Rods & shelves: Johnson hardware Co. L.E. Johnson Products, Inc. 2100 Sterling Avenue Elkhart, IN 46516, USA Tel. 1-800-837-5664. 1. Shelf Rod Bracket (3 reg'd) Knape and Vogt - Model
- VM1195CR 12 1/2" bracket. Color: Crème. 2. Closet Rod: Epco Model 890-41 - 1/16" round 48"
- polished chrome rod. 3. Rod supports: (2 req'd) Epco Model EPC -850-SS Open flange. Secure at ends of closet. Closet rod
- 4. Shelf: ¾" CDX Plywood shelf. Edge band the exposed surface support shelf with 1" x 2" perimeter wood supports – full length of closet. Paint: Acrylic gloss white.
- Shower Door: 3/8 \* tempered glass door with chrome pull, and hinges. Hardware. Chrome finish. Screw apply to hinges.

### 11. PAINTING

- A. Paint walls equal to: Sherwin Williams. All interior painting shall be one coat primer, and two finish coats. Paint for trim frames shall be semi-gloss finish. Allow one color for touch up painting for bidding purposes (not including white for ceilings). Touch up walls to match existing only.
- B. Ceiling Primer Paint: Paint entire bathroom ceiling. Primer Shall be equal KILZ 2 interior latex primer
- White" mold and mildew proof ceiling paint. Egg Shell finish. Color: White.

Bathroom Ceiling Paint: Equal to Zinssner. "Perma-

- C. Caulk all around shower/ wall / ceiling/ floor intersections with mold and mildew resistant caulk equal to: GE Silicone II. M90007-30. Color: White.
- D. Interior Gypsum Board: Latex Satin finish one base coat and two finish coats. Allow three colors in base bid. Colors: Sherwin Williams. Allow three colors for bidding.
- Colors: By homeowner.

B. FLOOR TILE – Bathroom.

### 12. FLOORING:

- A. All flooring in bedroom equal to Tarkett Luxury Vinyl Clicklock flooring. Floating floor. Provide all transition strips between rooms. Colors by Homeowner.
- Floor tile in Bathroom: Equal to: Crossville Bluestone
- model AV 203. Porcelain tile. Size 12 x 12
- Tile joint sizes: 3/16" Color: by Homeowner.
- Pattern: As shown.
- Floor waterproof grout: equal to: 1. Epoxy grout – Litokol Starlike Evo.
  - 2. Use in entire bathroom.
- C. Grout. Thin-set grout equal to: Maipei Ultracolor Plus FA

### 13. MATERIALS

- A. Underlayment and crack prevention membrane. Roll apply waterproof underlayment on entire bathroom floor and 6" up all sides of the wall equal to:
  - 1, Redgard, by Custom Building Products LQWAAF3.
  - 2. Roll apply t one layer and 6" up the walls in all directions. 3. Apply tile underlayment membrane under entire bathroom equal to:
  - a. Wedi Systems. Subliner Dry membrane.

### 14. WALL TILE

- A. Ceramic Wall Tile Equal to: Crossville. American series. Model: color by numbers series. WT 17. Size: by Homeowner.
  - Tile joint: 1/8" Provide perimeter tile base as shown all around the

Stack bond pattern.

- entire bathroom (not in shower area).
- Color: By Homeowner. Tile Grout color: shall be equal to Hydroment H 138
- Color: "Champagne." Recessed shampoo / soap holder. (in tile walls)
- B. Caulking: Caulk all around shower/ wall / ceiling/ floor intersections with mold and mildew resistant caulk equal to: GE Silicone II. M90007-30. Color: White.

- **15. PLUMBING**: Water supply: PECS. Drainage system: schedule 40 PVC.
- a) Water supply: PVC. Drainage system: schedule 40 PVC. Trap and vent all fixtures per NYS Residential Code. Contractor's Plumber to include all accessories, mixing valves, and plumbing access doors.
- b) touch clean feature. c) Standard shower trim
- 1. Hand held shower: Equal to: Delta Faucet Universal Showering components, In2ition Monitor 17 Series with two-in-one shower, Model 172939D-1 "Carlisle". Chrome
- Add vertical Alsons slide/ grab bar.
- d) Toilet: American Standard 2403.813.020 White Cadet 3 compact elongated one-piece toilet with "EverClean "surface and right Height Bowl with Slow-Close Seat – Right mounted tank lever.
- e) Faucet/ Trim: American Standard "Seva" single lever faucet in spot resist brushed nickel.

### 16. LAUNDRY HOOK UP INSTALLATION.

- A. Gray Box: LSP Co. 3689 Arrowhead Dr., Carson City, Calif. Ph. (800) 854-3215. ASME 112.18.1, or approved equal. Provide and install new wall mounted plastic one piece laundry box laundry outlet in new laundry room. Provide hot and cold hookups with water hammer arrestor. Provide and install shut off valves.
- B. Water Supply Valve and Test Cap Installation. Valve equal to Oatev "Quadtro". Single lever valve. www.oatey.com. ASME A112.18.1/ Water Hammer Arrestors shall meet ASSE1010
- C. Washer floor tray: Provide and install washer floor tray equal to E L Mustee "Durapan" Model # 99 Washer pan (30" x 32") with 2" center drain. Connect to house plumbing drain lines.
- A. Install Trap Guard Model TG22P (2" drain line) connecting washer floor tray pan to plumbing sanitary line. www.trapguard.com, 800-262-5355. (SBCCI PST & ESI Listing # 2218) Install floor firestopping by ProSet systems Co. Firestop Systems all around the floor/ pipe joint.
- B. Water supply: Schedule 40 PVC or Pex. Drainage system: schedule 40 PVC. Make special provisions for connections to existing copper connections and cast iron drain lines. Trap and vent all fixtures per NYSPC. Contractor's Plumber to include all accessories, mixing valves, and plumbing access doors.
- C. New gas line (for gas dryer): Provide new ½" Schedule 40 IPS Cast Iron pipe to new dryer location. Provide approved pipe hangers. Provide gas shut-off valve at 38" a.f.f. Provide ½" GSST Flex gas line connection to dryer. (or approved gas line kit). Follow Gas Company's guidelines and NFPA-54 rules for installation. Pressure test and inspect new line upon completion
- D. Electric outlet (for electric dryer). Hubbell Wiring Device -Kellems - Model L14-30, Manuf, Model No. HBL2710SR or approved equal. Surface Mounted Twist Lock Appliance Receptacle Outlet 3-Pole, 4-Wire, 50A-125-250V NEMA 14-50R Grounding Type for 4 prong/ 4wire
- GFCI outlet. Mount 42" a.f.f. E. Electric outlet for washer. GFCI 30 amp convenience
- outlet. Mount 42" a.f.f. F. Dryer Vent: Semi rigid vent duct tubing. Maytag, Amana or equal. 4" dia. with exhaust opening plate, and c-
- clamps for connections. G. Dryer Wall cap: Equal to Imperial dryer vent- Model VTL 0015. Caulk all around.
- H. Laundry Sink: Equal to ASB Model 102085 "Esquire" 25 3/4" x 20 1/2" Polypropylene laundry sink, with pullout faucet. Provide P trap (by plumber). Color: White. Install hot/cold shut-off valve at water supply

### 17. HVAC

new roof line.

convenience outlets bathroom

- Provide split HVAC /heating ductless electrical systems on the wall and attic spaces as noted. Units equal to Mitsubishi Carrier- 24,000 BTU Outdoor - 12k + 12k Indoor - 20.3 SEER in the new bedrooms. Mount condenser on rear of residence. See drawings for clarification.
  - 1. Provide and install. LG 24k BTU Cooling + Heating ceiling mounted Air Conditioning System - 21.5 SEER. Model: LS243HLV in bedrooms. Ceiling
- cassette style 2. Provide and install lines for units.

### **ELECTRICAL**: Install per the NYSRC 2020 Edition.

A. Provide convenience outlets shown on drawings. (Lutron dimmers).

B. GFCI outlets at bathroom. Arc-fault circuit for all outlets in the

- C. Provide hard-wired smoke detection system shown on drawings for new bedroom. Wiring shall be #14 ga. Min. Hard wired smoke and carbon monoxide detectors: Kidde – model KN-
- OSM-1B, with battery backup. D. Provide exhaust fan/ light/ heater/ night lite in bathroom equal to NuTone Model QTXN-1 10 HL. Provide alum. roof cap to
- E. Light switches: Switch shall be equal to Lutron general purpose 15 amp light switch. F. Provide Arc-fault circuit for entire new addition, with arc-fault

- 18a. Light fixtures: All lights shall be LED energy efficient fixtures a). Recessed cans Recessed Down Light for New Construction: LIGHTOLIER 6 in LED, IC Rated, 13.3 Max Wattage, 2,700,
- 3,000, 4,000., Mfr. Model # FD6R4CCT. drywall mounted. b) BathroomLight bar: Surface mounted: equal to: Possini Euro Double Drum 18" Wide White Ceiling Light. Style #
- P0197.www.Lampsplus.com. d) Laundry area: Equal to Columbia 4' LED florescent strip lights
- e) Bathroom exhaust fan: Provide exhaust fan/ light/ heater/ night lite in bathroom. Nutone Model 765HFLHeater/Fan/Light. 1500W heater, with 27W fluorescent light, 100 CFM; Ventilation fans. Provide and install 4" metal duct to exterior. Provide alum. wall cap at exterior wall.
- F). Bathroom (above mirror): Light Bar-Bathroom: Mencino-Opal Collection. Style 5Y947. www.Lampsplus.com

### 8b) SMOKE DETECTORS

- A) Provide hard-wired smoke detection system shown on drawings. Wiring shall be #14 ga. Min. Hard wired smoke and carbon monoxide detectors: Kidde - model KN-OSM-1B, with battery backup.
- 13c) Security System: ADT, Casco, or equal. Connect to existing house.
- 16d) Audio system: (ALTERNATE) sound system hard wiring only. Voice box standard PA system included, by Sonance.com. Mount speakers as per homeowner.
- 16e) Cable TV: Local supplier. Final locations by homeowner. Provide 2 jacks at locations determined by homeowner.

End.



875 East Main Street Suite 300 Rochester, N. Y. 14605 Phone 585-530-2230 Fax 585-530-3302



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REVISIONS no.dateby description

PROJECT & CLIENT

**ADDITIONS AND RENOVATIONS** TO THE

WILMOT **RESIDENCE** 

10 BURNCOAT WAY.

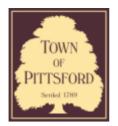
PITTSFORD, NY 14534

DRAWING TITLE

**SPECS** 

DRAWING NO.

drawn by JLT checked PLM proj. capt. PLM date 07-01-22 proj. no. ---



#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # CA22-000002

Phone: 585-248-6250 FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

| Property Address: 315 | Thornell Road | PITTSFORD, | NY 14534 |  |
|-----------------------|---------------|------------|----------|--|

**Tax ID Number:** 178.16-1-11

Zoning District: RN Residential Neighborhood

Owner: Morgenstern, Jordan Applicant: Morgenstern, Jordan

#### **Application Type:**

|          | Residential Design Review<br>§185-205 (B)  | Build to Line Adjustment<br>§185-17 (B) (2)            |
|----------|--|--|
|          | Commercial Design Review<br>§185-205 (B)   | Building Height Above 30 Feet<br>§185-17 (M)           |
|          | Signage<br>§185-205 (C)                    | Corner Lot Orientation<br>§185-17 (K) (3)              |
| <b>✓</b> | Certificate of Appropriateness<br>§185-197 | Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
|          | Landmark Designation<br>§185-195 (2)       | Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
|          | Informal Review                            |  |

**Project Description:** Applicant is returning to request a Certificate of Appropriateness, pursuant to Code Section 185-196, for replacement of windows. This property is zoned (RN) Residential Neighborhood and is designated historic.

Meeting Date: August 11, 2022



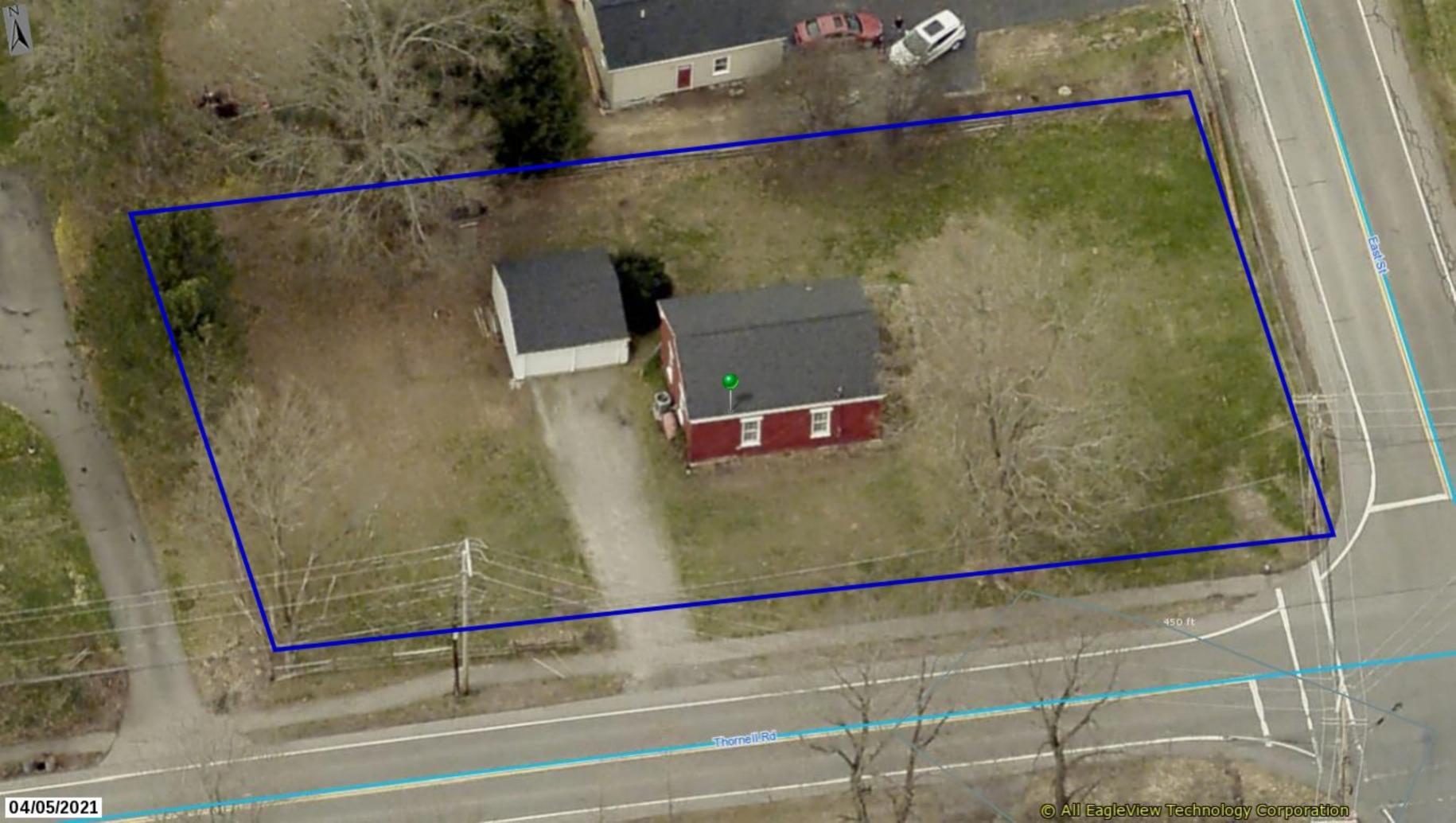


### RN Residential Neighborhood Zoning



Town of Pittsford GIS

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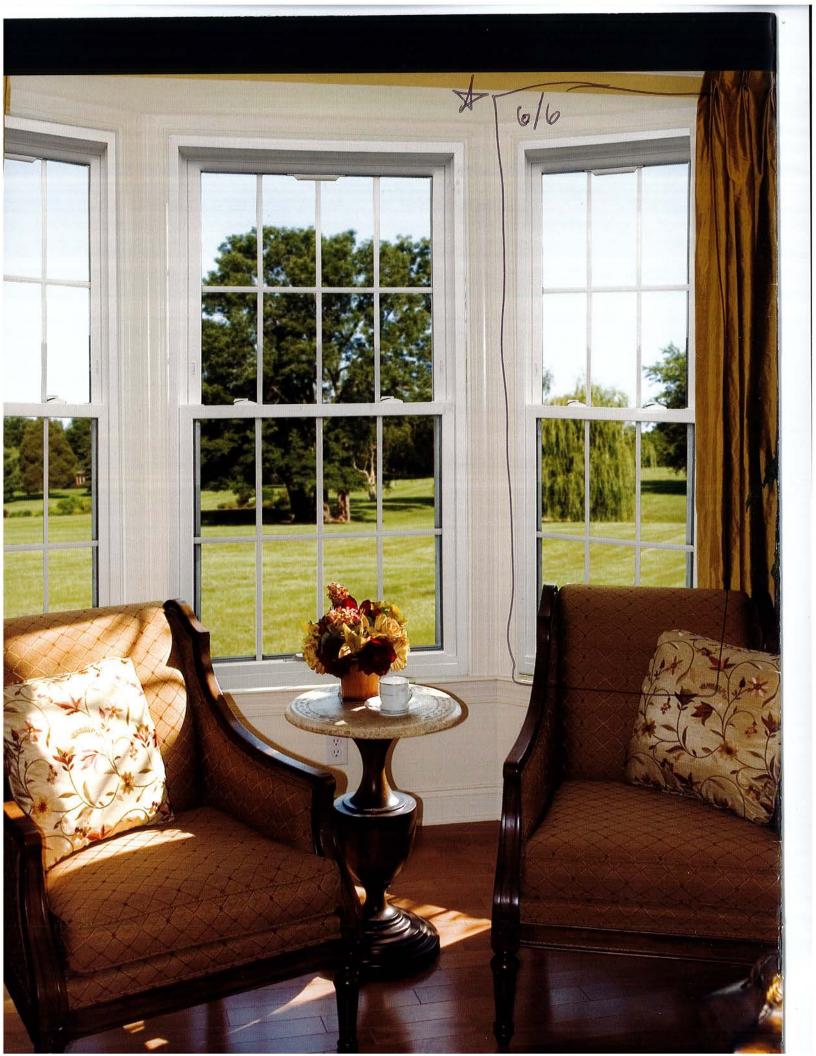
### **TOWN OF PITTSFORD**

# Design Review & Historic Preservation Board Application for Certificate of Appropriateness

|    | Case #   |  |
|----|--|--|
| 1. | Property Address: 315 Thornell Road                |  |
| 2. | Tax Account Number: 198.16-1-11                    |  |
| 3. | Street 1   | Phone: (585) 317-0002<br>E-mail: Jordon & Morgde |
| 4. | Applicant's Interest in Property:                  | $\omega_{\eta}$                                  |
|    | Owner: Lessee: Hol                                 | ding Purchase Offer:                             |
|    | Other (explain):                                   |  |
| 5. | Owner (if other than above):                       |  |
|    | Address:   | Phone:   |
|    | Street  City State Zip Code                        | E-mail:  |
|    | Has the Owner been contacted by the Applicant? Yes | □ No □   |
| 6. | Application prepared by:Applicant                  |  |
|    | Address:   | Phone:   |
|    | City State Zip Code                                | E-mail:  |
| 7. | Project Design Professional (if Available):        |  |
|    | Address:   | Phone:   |
|    | Street   | Phone:   |
|    | City State Zip Code                                | E-mail:  |
|    | State ZID Gode                                     |  |

| 8.  | Project Contractor (if Available): Wonder Windows  |  |  |  |  |
|-----|--|--|--|--|--|
|     | Address: U34 WUTH AVENUE Phone: U54-7000   |  |  |  |  |
|     | Rochester nu 14620 E-mail:   |  |  |  |  |
|     | City State Zip Code  |  |  |  |  |
| 9.  | Present use of Property: 51791e family home  |  |  |  |  |
| 10. | Zoning District of Property:   |  |  |  |  |
| 11. | Is the property located in a Town Designated Historic District?  Yes No □  |  |  |  |  |
| 12. | Is the property listed on the National Registry of Historic Places?  Yes   No  |  |  |  |  |
| 13. | Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  Yes \( \sum \) No \( \sum \) If Yes, please explain: |  |  |  |  |
|     |  |  |  |  |  |
| 14. | Proposed Exterior Improvements:  A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):               |  |  |  |  |
|     | Replacement of all windows with similar aluminum double pane windows. Existing windows are in poor shape, rotted in some areas and cracked.  |  |  |  |  |
|     |  |  |  |  |  |

|      | В.           |  | iping, significant p<br>rdscape materials | ments proposed with this polant material alterations, as such as driveways and re | and other improvements                                 |
|------|--------------|--|---|---|--|
|      |              |  |   |   |  |
| 15.  | If the impro | structure is a Comn                                    | nercial Property c<br>at the project site | open to the Public, please of (attach additional sheets i                         | describe all interior<br>f necessary).                 |
| 16.  | Additi       | onal materials subm                                    | nitted with this ap                       | plication (if available):   |  |
|      |              | Parcel map   | П   | Architectural elevations  |  |
|      |              | Photographs  |   | Architectural plans   |  |
|      |              | Other materials  |   |   |  |
| АррI | I certif     | Certification:  y to the best of my lete and accurate. | knowledge that th                         | ne information supplied on  | this application is $\mathcal{F}(\mathcal{X})$ . Where |
| -    |              |  | Signature of applicant                    |   | Date   |
| Dwn  | er Con       | isent:   |   |   |  |
|      | Yes          |  | o 🗆                                       | es the owner concur with th   | nis application?                                       |



## **DOUBLE HUNG • 800 SERIES**

Full 3 1/4" Depth Welded Mainframe. The elegant, beveled profile of our 800 Series will enhance the beauty of your home's exterior by giving it the traditional look and feel of wood windows with the performance and ease of maintenance you can only get with vinyl windows. The 800 Series can also be painted to match any exterior. (1)

Heatseal® warm edge spacer system is used for excellent thermal efficiency and drastic reduction in the possibility of condensation on the inside of the window.

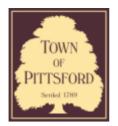
Full integral interlock with double weather-stripping.

Constructed to represent a traditional wood window style. The smallest details, such as the rounded beveled edges of the glazing bead, are a nod to the classic. (2)

A variety of hardware options fits harmoniously into any décor. (3)

Vent latches allow for ventilation with an added measure of security while you are at home. Both sashes can remain partially open and the latches help prevent the window from being opened more than five inches. (4)





#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B22-000089

Phone: 585-248-6250 FAX: 585-248-6262

# DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4000 East Avenue ROCHESTER, NY 14618

**Tax ID Number:** 151.06-2-45

**Zoning District:** RN Residential Neighborhood **Owner:** Kevin Surace and Erica Rogers **Applicant:** Kevin Surace and Erica Rogers

**Application Type:** 

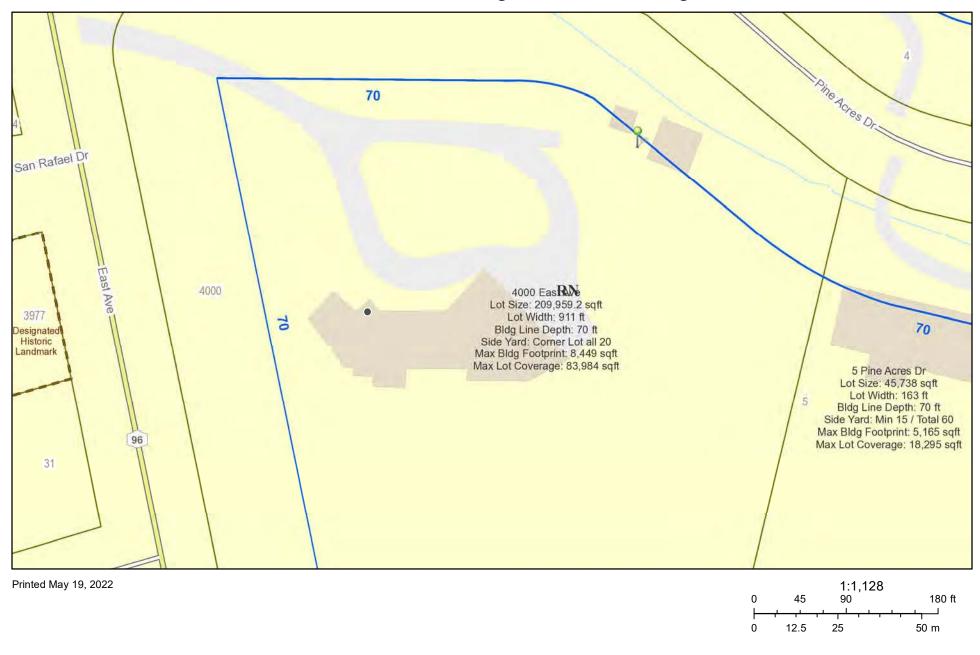
| <b>~</b> | Residential Design Review      | Build to Line Adjustment          |
|----------|--------------------------------|-----------------------------------|
| ~        | §185-205 (B)                   | §185-17 (B) (2)                   |
|          | Commercial Design Review       | Building Height Above 30 Feet     |
|          | §185-205 (B)                   | §185-17 (M)                       |
|          | Signage                        | Corner Lot Orientation            |
|          | §185-205 (C)                   | §185-17 (K) (3)                   |
|          | Certificate of Appropriateness | Flag Lot Building Line Location   |
|          | §185-197                       | §185-17 (L) (1) (c)               |
|          | Landmark Designation           | Undeveloped Flag Lot Requirements |
|          | §185-195 (2)                   | §185-17 (L) (2)                   |
|          | Informal Review                |                                   |

**Project Description:** • In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 4000 East Avenue is requesting approval from the Design Review and Historic Preservation Board to demolish the existing "Caretaker home" and rebuild a new guest house on the same footprint. Tax Parcel No. 151.06-2-45. This property is Zoned Residential Neighborhood (RN).

Meeting Date: July 28, 2022



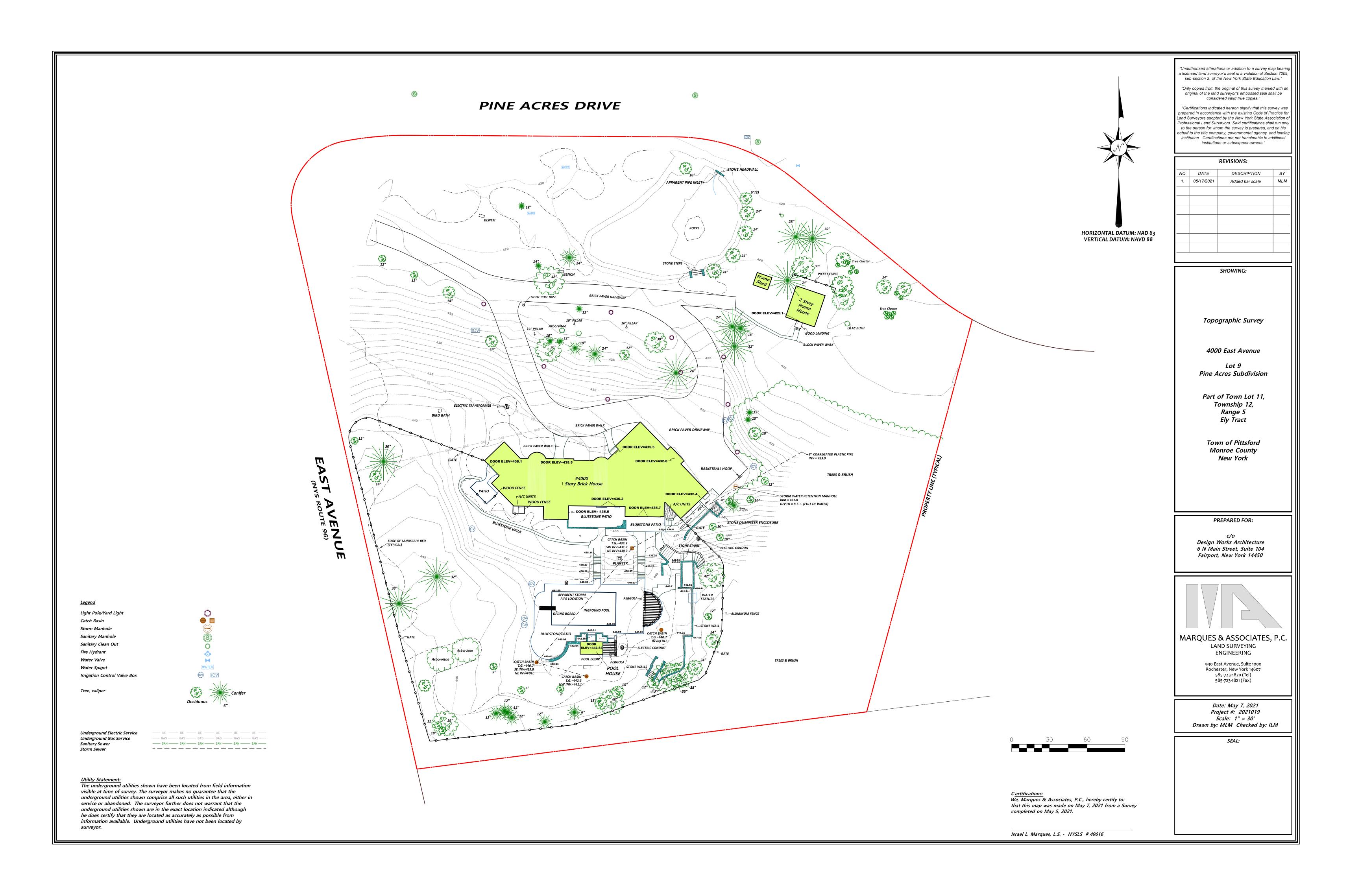
# RN Residential Neighborhood Zoning



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or its ure or its use.













**North Elevation** 



## FOUNDATION NOTES:

- 1. ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
- 2. THE HEIGHT OF BACK FILL SHALL NOT EXCEED 8 FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
- 3. FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6 BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
- 4. TOP OF WALL TO EXTEND A MIN. OF 8" ABOVE FINISHED GRADE.
- 5. BASEMENT SLAB IS A MINIMUM OF 4" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED. BASEMENT SLAB SHALL BE 3,500 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 10/10 WELDED WIRE MESH REINFORCING.
- 6. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6x6 19/10 WELDED WIRE MESH REINFORCING.
- 7. CRAWL SPACE SLAB IS A MINIMUM OF 2" THICK OVER 10 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" CRUSHED STONE. TOP OF SLAB ELEVATION TO BE AS NOTED.
- 8. UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (1) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST 1 VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
- 9. REQUIRED ACCESS TO CRAWL SPACES IS 18"x24" WHEN IN THE FLOOR AND 16"x24" WHEN ACCESS IS THROUGH THE PERIMETER WALL.
- 10. PROVIDE PERIMETER FOUNDATION DRAINPIPE PITCHED AT 1/8" IN 12" TO DAYLIGHT OR A PREPARED 1'-O" DEEP, 2'-O" DIAMETER GRAVEL BED OR EXTERIOR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED WITH HOLES ORIENTED DOWNWARD. "SUPERIOR WALL FOUNDATION SYSTEMS SHALL PLACE 4" DIA. PVC SLEEVES AT FOOTING CORNERS TO DRAIN THE INTERIOR CRUSHED STONE.

- 1. BEFORE PLACING CONCRETE REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BLOCKOUTS
- 2. CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4"x 45 DEGREES UNLESS OTHERWISE NOTED.

AND EMBEDDED ITEMS.

CAST-IN-PLACE CONCRETE AND

REINFORCING:

- 3. ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE AND NOT FROM GROUT.
- 4. ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
- 5. WELDING OF REINFORCING STEEL IS NOT PERMITTED.
- 6. THE USE OF DEFORMED REINFORCING STEEL OR ANCHORS ON EMBEDDED ITEMS IS NOT PERMITTED.
- 7. SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6X6 W2.9xW2.9 WELDED WIRE MESH.
- 8. THE FOLLOWING MINIMUM PROTECTION OF REINFORCING SHALL BE MAINTAINED. FOOTINGS • CONCRETE EXPOSED TO EARTH OR WEATHER

  - WALLS SLABS

- 11. CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
- 12. PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
- 13. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- 14. IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB, FOR FUTURE CONNECTION IF NECESSARY.
- 15. ALL COMPACTED SOIL TO BE COMPACTED
- 16. 2X PRESSURE TREATED SILL PLATES ARE TO RUN FLUSH WITH EXTERIOR EDGE OF FOUNDATION, AND BE SECURED WITH ANCHOR BOLTS (MIN. 1/2" DIA.) SPACED AT 6'-0" O.C. MAXIMUM. ANCHOR BOLTS SHALL EXTEND A MIN. OF 7" INTO MASONRY AND BE LOCATED WITHIN 12" FROM THE END OF EACH PLATE SECTION. SILL PLATES ARE TO BE PLACED OVER CLOSED CELL FOAM SILL SEALER.
- 17. CMU FOUNDATION WALL SYSTEM SEE CMU NOTES & TYPICAL DETAILS.
- 18. PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- 19. SEALABLE COVER SUMP IS NEEDED IF SOIL OTHER THAN GROUP 1 (TABLE 405.1). SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE
- 20. EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE, SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINIOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
- 21. BUILDER TO VERIFY ALL SOIL CONDITIONS BEFORE CONSTRUCTING FOUNDATION. IF POOR CONDITIONS ARE DISCOVERED CONTACT DESIGN WORKS ARCHITECTURE.
- 22. BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.
- 23. MASONRY VENEER MUST BE ANCHORED TO BACK-UP CONSTRUCTION WITH GALVANIZED CORRUGATED METAL TIES SPACED 16" O.C. HORIZONTALLY AND 24" VERTICALLY. INSTALL CONTINUOUS APPROVED FLASHING AND COTTON CORD WEEPS AT 48" O.C. WITHIN FIRST EXPOSED COURSE OF MASONRY VENEER ABOVE

# C.M.U. NOTES:

- CONCRETE MASONRY UNITS HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"X16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
- 2. MORTAR MORTAR SHALL BE TYPE N. 3. TRUSSED HORIZONTAL REINFORCING
- SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
- 4. BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF 3/8" UNIFORM THICKNESS.
- 5. WHERE VERTICAL REINFORCING IS CALLED FOR ON PLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
- 6. ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM GROUT.

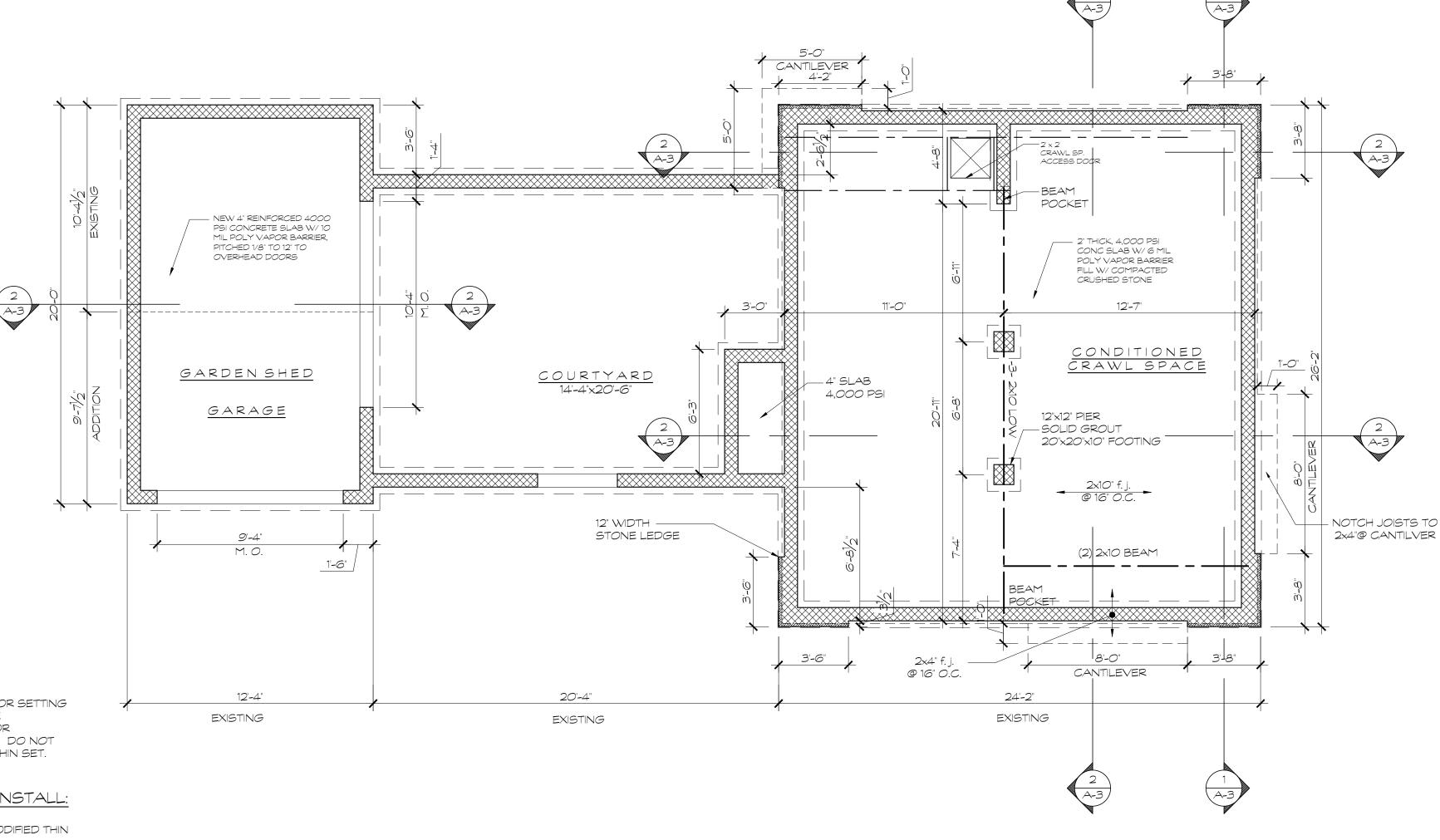
# TILE SPECIFICATION:

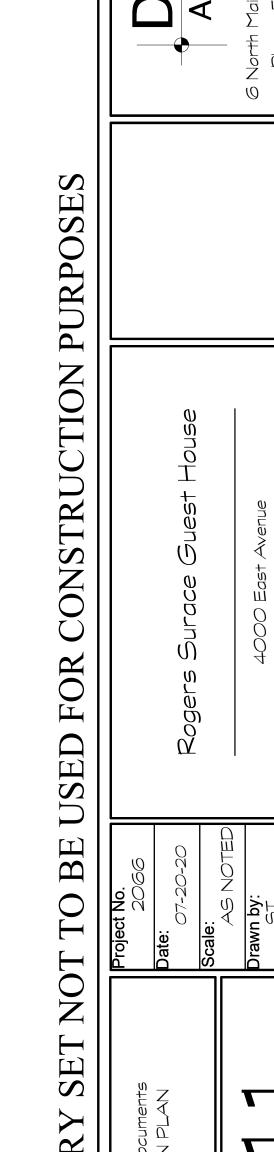
1. USE UNMODIFIED MORTAR FOR SETTING TILE OVER AN IMPERMEABLE WATERPROOF MEMBRANE OR ANTI-FRACTURE MEMBRANE. DO NOT USE A POLYMER MODIFIED THIN SET.

# THIN STONE/STUCCO INSTALL:

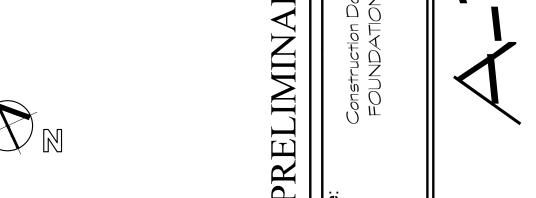
1. DO NOT USE A POLYMER MODIFIED THIN SET MORTAR.

- 2. ADD 3/16" GAP BEHIND STUCCO/THIN STONE LAYER AND IN FRONT OF WRB -WATER RESISTIVE BARRIER. PROVIDE A RAINSCREEN SYSTEM, MTI SURE CAVITY OR APPROVED EQUAL AS A DRAINAGE MEDIUM IN THE GAP BETWEEN THE WRB LAYER AND THE EXTERIOR SURFACE.
- 3. PROVIDE A VENTILATED WEEP SCREED (MTI L\$R WEEP SCREED OR APPROVED EQUAL) AT THE BASE OF ALL WALLS FOR VENTILATION. WRB MUST BE LAPPED OVER THE WEEP SCREED.
- 4. PROVIDE A MOISTURE DIVERTER AT THE HEAD OF ALL WINDOWS AND DOORS EXTENDING 4" BEYOND EITHER SIDE OF THE OPENING TO DIVERT MOISTURE TO THE DRAINAGE SYSTEM. (MTI MOISTURE DIVERTER OR APPROVED EQUAL).
- 5. PROVIDE A WINDOW DRAINAGE PLANE AT THE SILL OF ALL WINDOWS TO PREVENT ENTRAPPED MOISTURE. (MTI DRAINAGE PLANE OR APPROVED EQUAL).









## FLOOR PLAN NOTES:

- 1. ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER
- SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER

  2. ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER LINE TO
- 3. ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)

CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE).

- 4. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- 5. ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED (U.N.O.)
- 6. DOUBLE TRIMMERS AT ALL 4'-O" OPENINGS AND LARGER.
- 7. ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4"
- FROM ADJACENT WALL (U.N.O.)
- 8. ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
- 9. INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.)
- 10. REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES.
- 11. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- 12. CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- 13. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
- 14. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450.
- 15. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- 16. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN. OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- 17. RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

# ROOF & ATTIC NOTES:

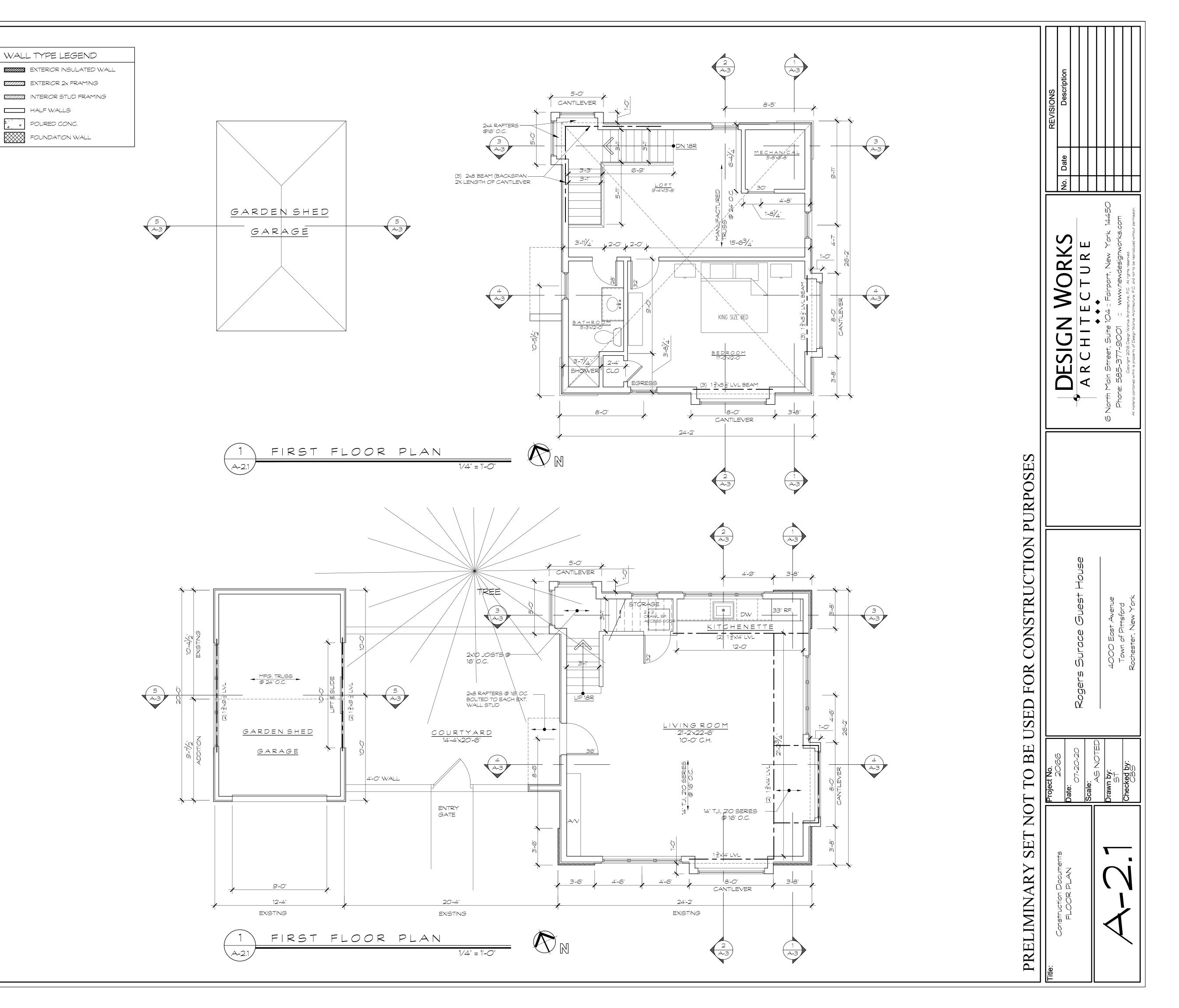
1. APPROVED BITUTHANE WATER SHIELD PRODUCT (ie. GRACE ICE AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS.

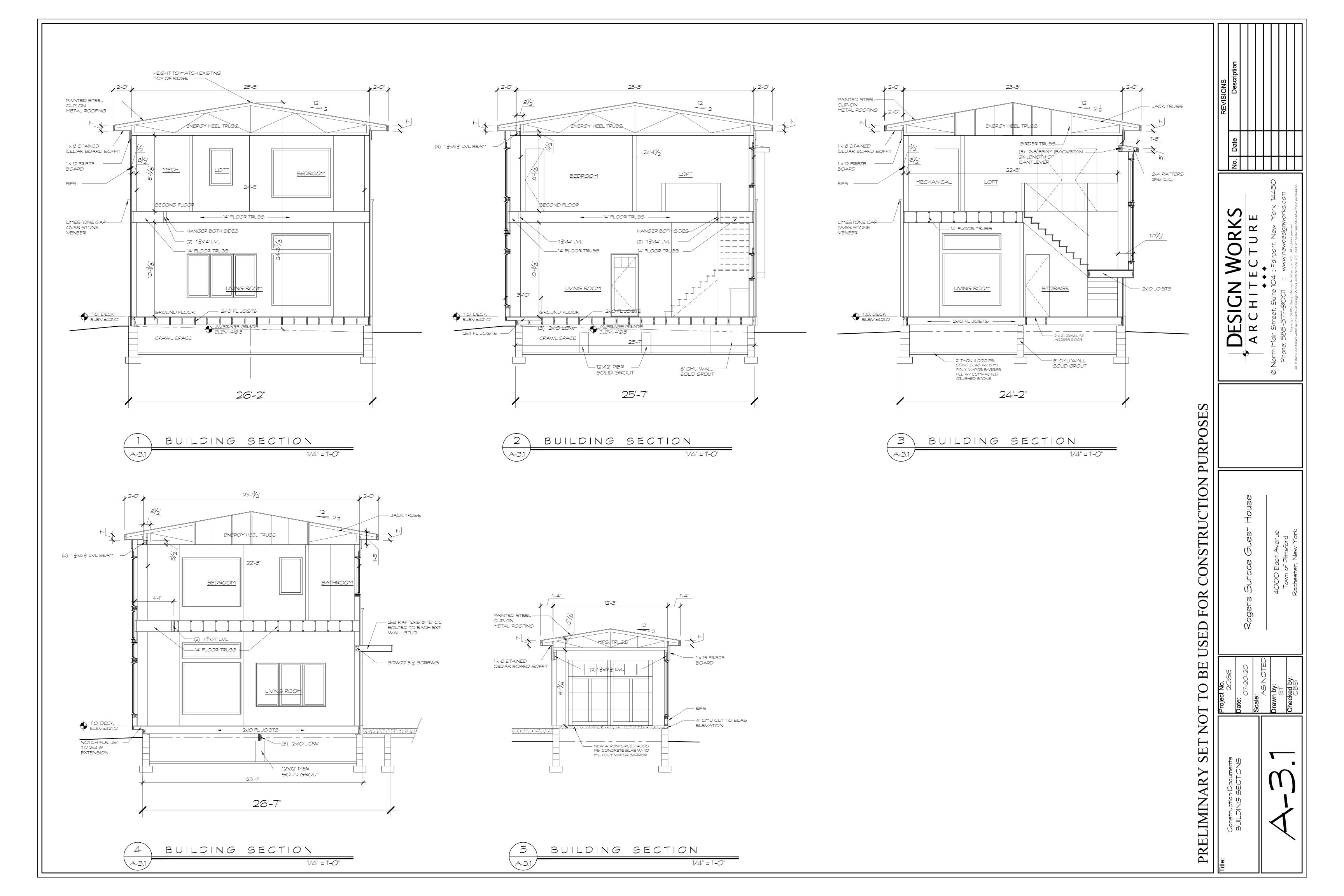
| ROOF PITCH   | 3:12 OR LESS | 3:12 - 6:12 | 6:12 OR GREATER |  |
|--|--------------|-------------|-----------------|--|
| WATER SHEILD *                                       | ENTIRE ROOF  | 5'-0"       | 3'-0"           |  |
| * DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE |              |             |                 |  |

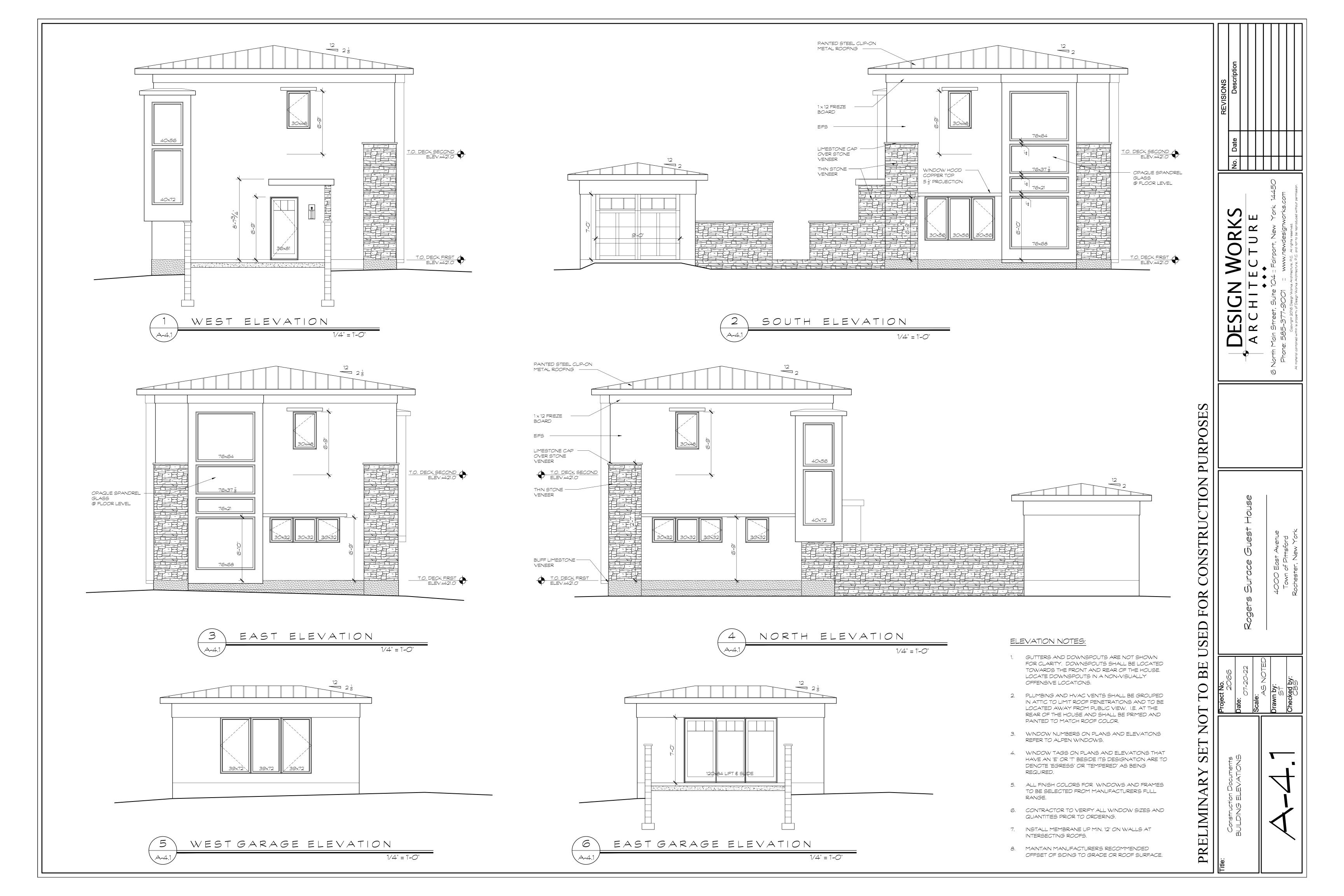
- 1. USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12.
- 2. 30# FELT RECOMMENDED UNDER METAL ROOF (IF APPLICABLE).
- 3. ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF 1/150 OF THE AREA OF VENTED SPACE. WITH THE EXCEPTION OF 1/1500 BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS 1 OR 11 VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC
- 4. ROOF CAVITIES THAT EXCEED 30 SF, REQUIRE ACCESS OF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION (R-807).
- 5. PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL.
- 6. FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER.
- 7. BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS IN ALL RAFTER BAYS.
- 8. FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR EMPTY ONTO SPLASHBLOCKS.
- TRUSSES (IF APPLICABLE TO PROJECT)

OR RAFTER SPACE (R806.2).

- 9. TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY.
- 10. TRUSSES TO BE ENGINEERED AND SUPPLIED BY CERTIFIED TRUSS MANUFACTURER.
- 11. FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION.
- 12. PROVIDE HURRICANE TIE FOR EACH TRUSS. USE SIMPSON H2.5 UNLESS NOTED OTHERWISE.







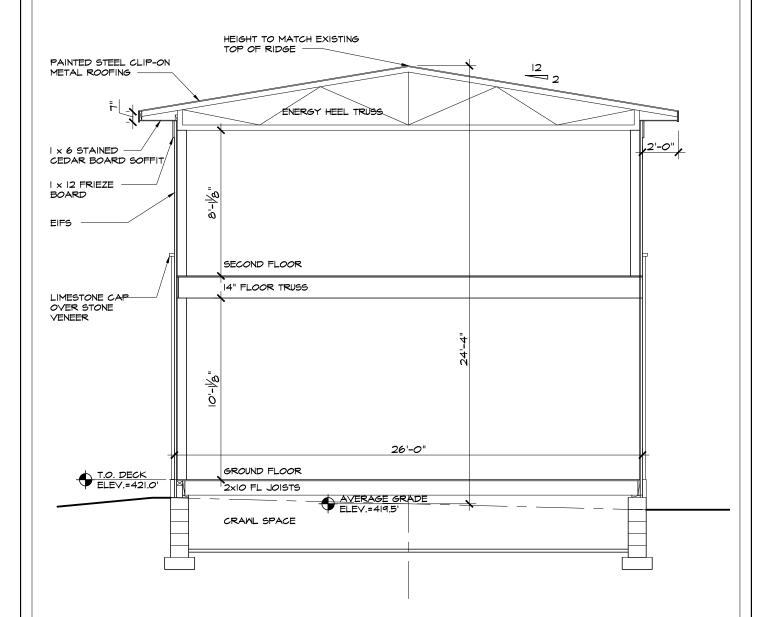
# 4000 EAST AVENUE



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CROSS SECTION

SCALE:  $\frac{3}{16}$ " = 1'- $\emptyset$ "

GUEST RESIDENCE

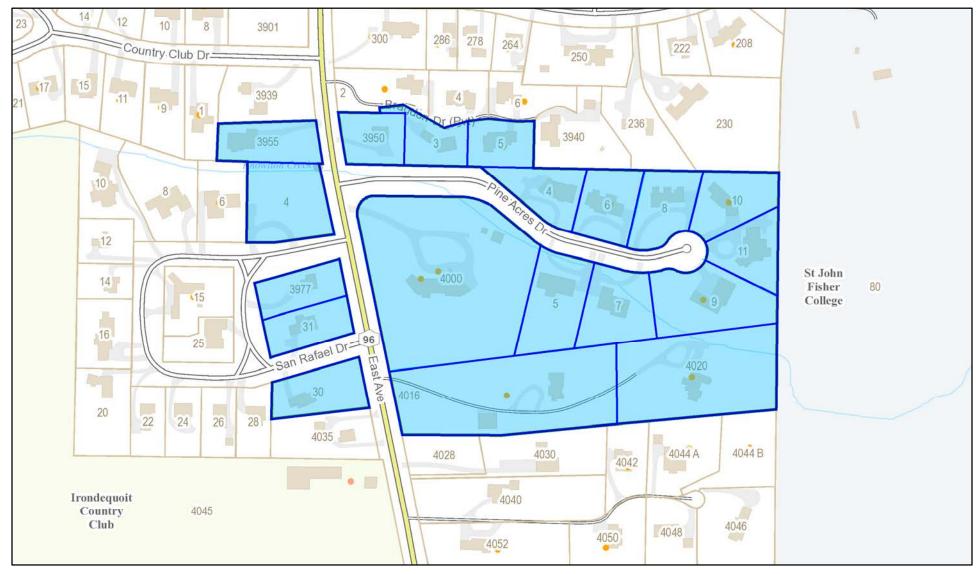
MAY 18, 2022

SCHEMATIC DESIGN

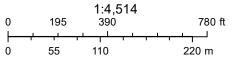




### **Public Notification**

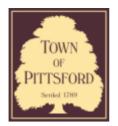


Printed June 7, 2022



Town of Pittsford GIS

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#### **Town of Pittsford**

Department of Public Works 11 South Main Street Pittsford. New York 14534

Permit # B22-000084

Phone: 585-248-6250 FAX: 585-248-6262

# DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 93 Kilbourn Road ROCHESTER, NY 14618

**Tax ID Number:** 138.13-3-8

Zoning District: RN Residential Neighborhood

Owner: Christine Giangreco
Applicant: Christine Giangreco

| _                   |       | 4.    | _      |    |
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| <b>/</b> | Residential Design Review<br>§185-205 (B)  | Build to Line Adjustment<br>§185-17 (B) (2)            |
|----------|--|--|
|          | Commercial Design Review<br>§185-205 (B)   | Building Height Above 30 Feet<br>§185-17 (M)           |
|          | Signage<br>§185-205 (C)                    | Corner Lot Orientation<br>§185-17 (K) (3)              |
|          | Certificate of Áppropriateness<br>§185-197 | Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
|          | Landmark Designation<br>§185-195 (2)       | Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
|          | Informal Review                            |  |

**Project Description:** • In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 93 Kilbourn Road is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 2,220 +/- square foot home at 93 Kilbourn Road and rebuild a new 4210 +/- square foot single family home on the property. Tax Parcel No. 138.13-3-8. This property is Zoned Residential Neighborhood (RN).

Meeting Date: August 11, 2022



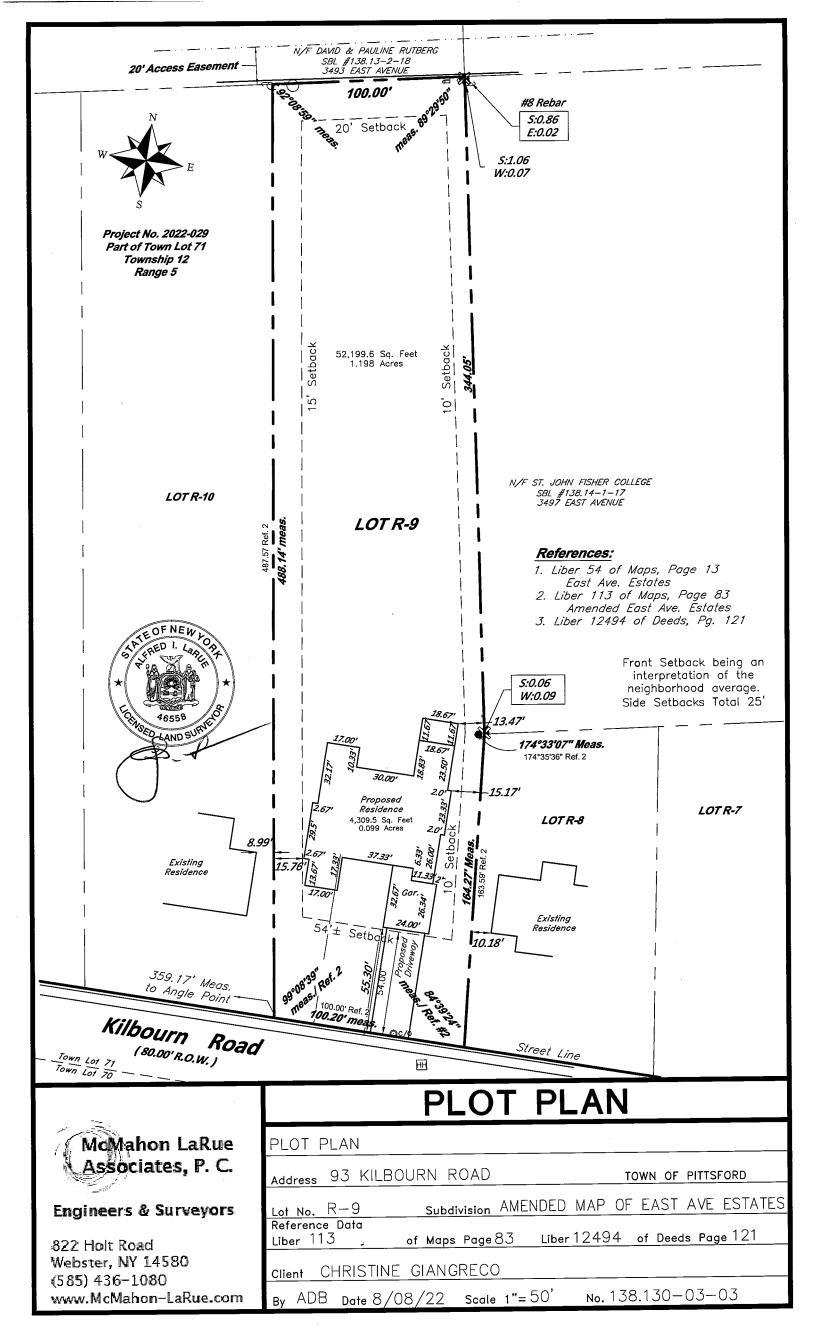
















### **Engineers & Surveyors**

822 Holt Road Webster, NY 14580 (585) 436-1080 www.McMahon-LaRue.com

# PLOT PLAN

Address 93 KILBOURN ROAD

Client CHRISTINE GIANGRECO

TOWN OF PITTSFORD

Lot No. R-9

PLOT PLAN

Subdivision AMENDED MAP OF EAST AVE ESTATES

Reference Data Liber 113 of Maps Page 83 Liber 12494 of Deeds Page 121

By ADB Date 8/08/22 Scale 1"= 50'

No. 138.130-03-03

#### STANDARD ENERGY NOTES:

CONTRACTOR SHALL POST THE ENERGY EFFICIENCY CERTIFICATE (FROM REZ CHECK) ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION BY THE BUILDING INSPECTOR

A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER SECTION 1104.1 OF THE 2020 NY RESIDENTIAL CODE RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINARES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 1.57PSF (75PA) PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0CFM OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY

#### PROGRAMABLE THERMOSTAT

CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1 OF THE 2020 N.Y. RESIDENTIAL CODE. EACH DWELLING UNIT SHALL HAVE AT LEAST ONE PROGRAMABLE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST HEATING OR COOLI NG ZONE AND CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILEY SCHEDULE TO MAINTAIN DIFFERENT TEMP. SET POINTS A DIFFERENT TIMES OF THE DAY, THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OT TEMP, OPERATE THE SYSTEM TO MAINTAIN ZONE TEMP. DOWN TO 55F OR UP TO 85F. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMP NO HIGHER THAN 70 F AND A COOLING SET POINT NO LOWER THAN 78 F.

SUPPLY DUCTS IN ATTIC SHALL BE INSULATED TO A MIN. OF R-8, ALL OTHER DUCTS SHALL BE INSULATED TO A MIN. OF R-6, UNLESS LOCATED INSIDE THE BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE VERIFIED BY VISUAL INSPECTION PER SECTION 1102.4.3.2 OF THE 2020 N.Y. RESIDENTIAL CODE.

IF ANY DUCT WORK IS WITHIN AN EXTERIOR WALL. THE SYSTEM SHALL BE PRESSURE TESTED DURING CONTRUCTION.

WITH AIR HANDLER INSTALLED: MAX 4CFM/100 S.F. OF OCCUPIED SPACE WITHOUT AIR HANDLER: MAX 3CFM/100 S.F. OF OCCUPIED SPACE

ALL JOINTS AND SEAMS OF AIR DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED TAPES AND MASTICS MUST BE LISTED TO UL 181B BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS

AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ANY OUTDOOR AIR INTAKES OR EXHAUST SYSTEMS

THE HOME SHALL BE BLOWER DOOR TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE (3) AIR CHANGES PER HOUR. TESTING BY THIRD PARTY ONLY

### VAPOR RETARDERS

CLASS 1 OR 11 ( SHEET POLYETHEYENE, KRAFT FACE BATTS, OR LOW PERM PAINT ) VAPOR RETARDERS ARE REQUIRED ON THE INSIDE OF FRAMED WALLS AND CEILINGS ABOVE GRADE WHERE THE CAVITY IS NOT VENTILATED TO ALLOW MOISTURE TO ESCAPE, (THIS DOES NOT INCLUDE BASEMENT WALLS)

GOODMAN OR EQUAL SINGLE STAGE GAS FIRED FURNACE 92% WITH STAINLESS STEEL HEAT EXCHANGER, SINGLE STAGE GAS VALVE, DIRECT VENT (2 PIPE) 1/2HP MOTOR 15 AMP IF THE FURNACE IS A OPEN COMBUSTION UNIT THE FURNACE ROOM MUST BE SEALED FROM THE REST OF THE HOUSE AND HAVE MAKEUP AIR TO IT. CONTRACTOR SHALL SUBMITT MANUFACTURERS FURNACE SUBMITTAL TO TOWN

RHEEM OR EQUAL 40 GALLON, .68 EFF. MIN RECOVERY: 36 GPH AT A 90 DEGREE RISE DIRECT VENT 2 PIPE SYSTEM. PROVIDE HEAT TRAP AND INSULATING BLANKET. ENERGY STAR RATED, CONTRACTOR SHALL SUBMITT MANUFACTURERS H.W. HEATER SUBMITTAL TO TOWN

# WINDOWS AND DOORS

WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN .3 CFM PER SQUARE FOOT AND SWINGING DOORS NO MORE THAN .5 CFM PER S.F. WINDOW U-VALUE .30 OR LESS

# SLIDING GLASS DOORS U-VALUE =.30 OR LESS

SOLID INSULATING DOOR-U VALUE = .142 OR LESS

### EXHAUST HOODS WITH CAPACITY GREATER THAN 400 CFM SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH AN EQUAL AMOUNT OF FRESH MAKE UP AIR. SYSTEMS SHALL BE PROVIDED WITH AT LEAST 1 DAMPER. DAMPERS SHALL BE GRAVITY DAMPERS OR ELECTRICALLY OPERATED DAMPERS THAT AUTOMATICALLY OPENS WHEN THE

# MECHANICAL VENTILATION

KITCHEN EXHAUST HOODS

WHOLE HOUSE MECHANICAL VENTILATION SHALL BE REQUIRED BY PROVIDING A METHOD OF SUPPLY AIR AND RETURN OR EXHAUST AIR. THE AMOUNT OF SUPPLY AIR SHOULD BE APPROX. EQUAL TO THE EXHAUST RATE. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION, A LOCAL EXHAUST FAN, SUCH AS A BATHROOM FAN MAY BE CONSIDERED AS EXHAUST MECHANICAL VENTILATION CAN ALSO BE PROVIDED BY THE INSTALLATION OF A HEAT RECOVERY MAKE UP AIR UNIT, INSTALLED PER CODE AND BY THE MANUFACTURES DIRECTION

BATH AND POWDER ROOM EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR AND BE INSTALLED WITH A PROGRAMMABLE DIGITAL CONTROL SWITCH PROVIDING A RUN TIME OF 15 MIN. PER HOUR AT A MIN. OF 50 CFM PER POWDER ROOM AND BATHROOM BATHROOMS AND POWDER ROOMS SHALL HAVE A MIN. EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

| CONTINUOUS WHOLE HOUSE MECHANICAL VENTILATION RATES |                    |     |     |     |  |  |
|---|--------------------|-----|-----|-----|--|--|
| DWELLING UNIT                                       | NUMBER OF BEDROOMS |     |     |     |  |  |
| FLOOR AREA SF                                       | 0-1                | 2-3 | 4-5 | 6-7 |  |  |
|   | AIRFLOW IN CFM     |     |     |     |  |  |
| < 1,500   | 30                 | 45  | 60  | 75  |  |  |
| 1,501-3,000   | 45                 | 60  | 75  | 90  |  |  |
| 3,000-4,500   | 60                 | 75  | 90  | 105 |  |  |

IF RUN TIME IS INTERMITENT AT 25% OF EACH 4-HOUR SEGMENT THE VENTILATION RATE ABOVE SHALL BE MULTIPLIED BY A FACTOR OF 4

| TABLE R403.6.1. WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY |                             |                             |                    |  |
|--|-----------------------------|-----------------------------|--------------------|--|
| FAN LOCATION   | AIR FLOW RATE MIN.<br>(CFM) | MIN. EFFICACY<br>CFM / WATT | AIR FLOW RATE MAX. |  |
| HRV OR ERV   | ANY                         | 1.2 CFM/WATT                | ANY                |  |
| RANGE HOODS  | ANY                         | 2.8 CFM/WATT                | ANY                |  |
| IN-LINE FANS   | ANY                         | 2.8 CFM/WATT                | ANY                |  |
| BATHROOM, UTILITY  | 10                          | 1.4 CFM/WATT                | <90                |  |
| BATHROOM, UTILITY  | 90                          | 2.8 CFM/WATT                | ANY                |  |

### GENERAL NOTES:

DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER

IF FLUE LOCATION IS NOT SHOWN ON PLANS CONTR. SHALL PROVIDE A 90 AFUE FURNACE TO COMPLY WITH N.Y.S.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY W/ MORE THAN 2 RISERS. HANDRAIL HGT. SHALL BE MEASURED ABOVE STIR TREAD NOSING AND SHALL BE BETWEEN 34"-38" HIGH. HANDRAILS ADJACENT TO THE WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL, HANDRAIL SHALL BE CONTINUOUS, GUARDS AT OPENSIDES OF STAIRWAYS SHALL BE 36" HIGH WITH VERTICAL RAILS THAT DO NOT ALLOW PASSAGE OF A 4" SPHERE.

GAS ZERO CLEARANCE MANUFACTURERS SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT

STAIRWAYS SHALL HAVE A CONTINUOUS RAILING 36" HIGH AND TERMINATE AT A WALL OR NEWEL POST.

SETTING THE BUILDING ELEVATION IS THE RESPONSIBILTY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH MUNICIPAL APPROVED SITE PLAN OR SURVEY

THE CONTRACTOR SHALL INSTALL 5" HIGH NUMBERS ON THE FRONT OF THE BUILDING TO IDENTIFY THE SITE ADDRESS. GLAZING IN DOORS, STORM DOORS AND SIDELIGHTS IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE NEW YORK STATE CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R308.1 DECORATIVE GLASS IS EXEMPT IN

TJI INSTALLATION SHALL CONFORM TO ALL DETAILS AND SPECIFICATIONS OF THE MANUFACTURER, INSTALL ALL RECOMMENDED BAND JOISTS, SQUASH BLOCKS, SOLID BLOCKING ETC. IF NOT KNOWN CONTACT ARCHITECT.

SWINGING DOORS AND SIDELIGHTS.

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER WITH LICENSED N.Y.S. ENGINEER ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DRAPLY ( OR EQUAL) FINISH AT UNDERSIDE, FULL DEPTH RIM JOIST AND SOLID BLOCKING AT SUPPORT WALL INSTALL MIN. R-30 KRAFT FACE BATTS UNLESS NOTED

BUILDER SHALL VERIFY WITH HOME OWNER ON LOCATION OF 24"x30" ATTIC ACCESS LOCATION

PROVIDE SLOTTED ROOF TRUSS CLIPS AT ALL INTERIOR PARTITIONS EQUAL TO SIMPSON STC CLIPS

INSTALL DRYWALL ON CEILINGS PER THE WOOD TRUSS COUNCIL OF AMERICA FOR PREVENTING PARTITION SEPARATION. REQUEST DETAILS FROM ARCHITECT IF NEEDED.

EXTERIOR BEARING WALL OPENING GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

INTERIOR BEARING WALL OPENINGS GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

DOWN TO FOUNDATION WALL

EXTERIOR WINDOW AND DOOR HEADERS

ALL FRAMING ANGLES SHALL BE 45 DEG. UNLESS NOTED PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS

ALL WINDOW R.O. SHALL BE 6'-10 1/2" UNLESS NOTED PROVIDE A MIN. OF R-5 RIGID INSULATION WITHIN ALL

ALL NEW ELECTRICAL WORK SHALL COMPLY WITH PART VIII OF THE RESIDENTIAL CODE OF NEW YORK STATE. PRODIE TOWN OFFICE WITH FINAL ELECTRICAL INSPECTION APPROVAL

IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILING COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF

INSULATION ON BASEMENT WALLS SHALL BE COVERED WITH GYPSUM BOARD OR HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 FLASHING SHALL BE INSTALLED IN THE FOLLOWING AREA'S: TOP OF EXTERIOR WINDOWS AND DOORS; CHIMNEYS, UNDER AND AT END OF MASONRY, WOOD, METAL COPINGS AND SILLS; AND WHERE EXTERIOR

SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING AREA'S IN EACH SLEEPING ROOM, IN HALL WAYS ADJACENT TO SLEEPING ROOMS
AND AT LEAST ONE ON EACH STORY INCLUDING BASEMENT
ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED
ALARMS CAN BE INTERCONNECTED WIRELESSLY LOCATE NOT LESS THAN 3' HORIZONTALLY FROM BATROOMS WITH SHOWERS OR FROM CEILING FANS. CANNOT BE CLOSER THAN 20' (IONIZATION) OR 6' (PHOTOELECTRIC) TO COOKING

PORCHES, DECKS OR STAIRS ATTACH TO A WALL ASSEMBLY.

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: ON ANY STORY HAVING A SLEEPING AREA, ON ANY STORY NHERE FUEL-FIRED OR SOLID FUEL BURNING APPLIANCÉS, EQUIPMENT, FIREPLACES OR ATTACHED GARAGES ARE LOCATED ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED

VINYL SIDING UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER'S INSTRUCTIONS SHALL BE FASTENED TO A MIN 1 1/4" NAILABLE SUBSTRATE WITH A .120-INCH SHANK DIA WITH A .313 HEAD OR A 16-GAGE STAPLE WITH A 3/8"-1/2" CROWN. SPACING SHALL BE 16"

PROVIDE INTERCONNECTED HEAT DETECTOR IN GARAGE PER SECTION R314.2.3 OF THE NEW YORK STATE BLDG CODE 2020 ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE APPROVED PRESSURE TREATED WOOD SUITABLE FOR GROUND CONTACT USE

# WIDTH: 36" WIDE IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HGT. THE CLEAR WIDTH AT OR BELOW THE HANDRAIL HGT SHALL BE NOT LESS THAN 31 1/2" WHERE A RAILING

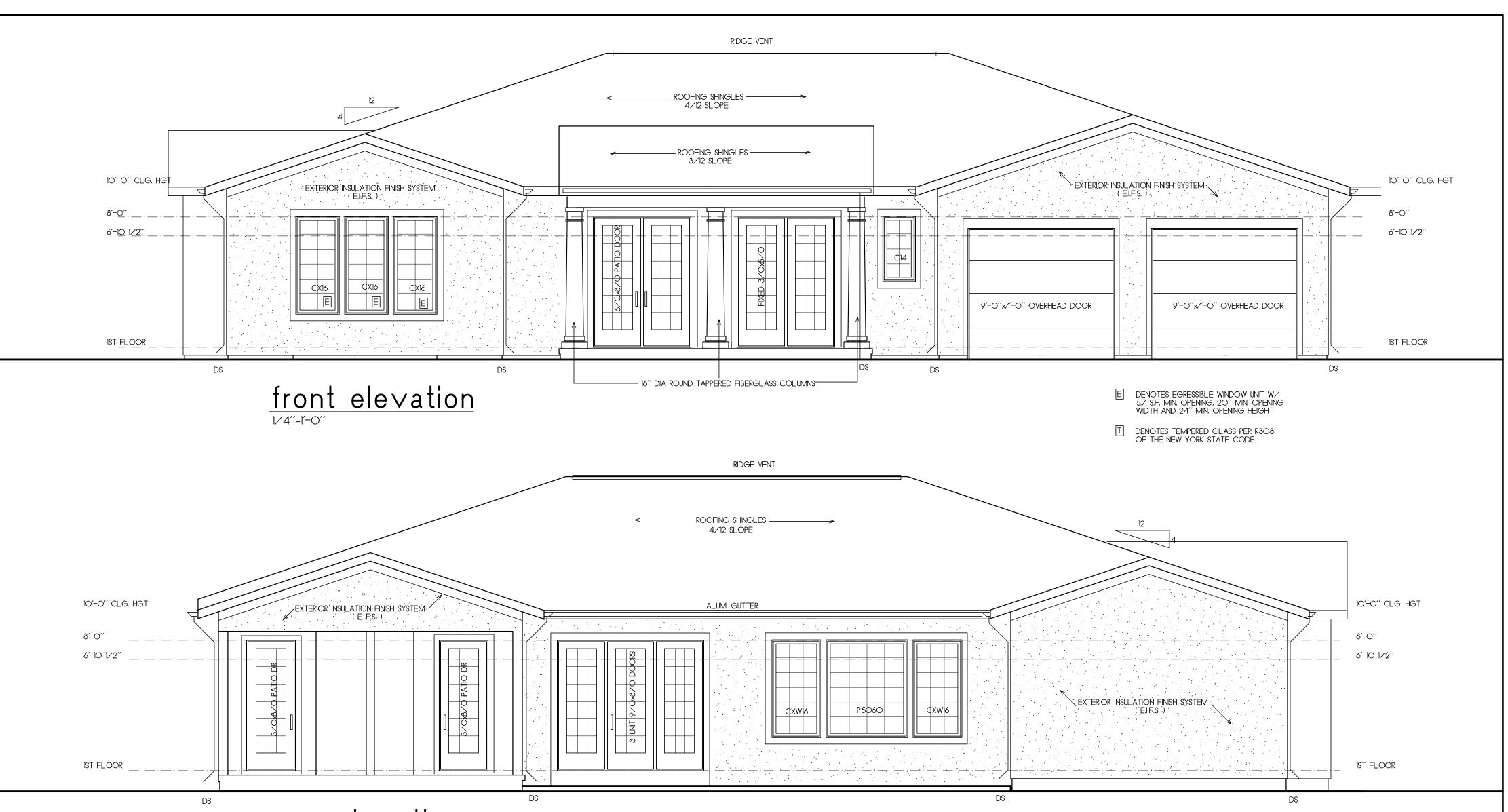
IS ON ONE SIDE AND 27" WHERE RAILINGS ARE ON BOTH SIDES HEADROOM: SHALL BE NOT LESS THAN 6'-8" RISERS: THE RISER HGT. SHALL BE A MAX. OF 8 1/4". AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30" ABOVE GRADE OR THE FLOOR BELOW SHALL NOT PERMIT THE PASSAGE OF A 4" INCH DIAMETER SPHERE.

TREADS: THE TREAD DEPTH SHALL NOT BE LESS THAN 9" NOSINGS: NOSINGS PROJECTIONS SHALL BE 3/4"- 1 1/4" MAX. NOT REQUIRED ON TREAD DEPTH GREATER THAN 11" HANDRAILS: SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACES OF HANDRAILS AND RAILINS SHALL BE BETWEEN 34"AND 38" ABOVE

# WINDOW FALL PROTECTION

PROVIDE WINDOW OPENING CONTROL DEVICE TO PROHIBIT THE PASSAGE OF A 4" SPHERE ON WINDOWS IN WHICH THE SILL IS LESS THAN 24" FROM THE FLOOR AND THE EXTERIOR GRADE IS GREATER THAN 72" BELOW

THE WINDOW CONTROL DEVICE AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW O FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPEING OF THE WINDOW TO LESS THAN WHATS REQUIRED 5.7 S.F. CLEAR OPENING (5 S.F. AT GRADE OR BELOW GRADE 'ET CLEAR HEIGHT OF 24" NET CLEAR WIDTH OF 20"



| AIR BARRIER INSPI                                     | ECTION LIST   |
|---|---|
| AIR BARRIER & THERMAL<br>BARRIER                      | EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER |
|   | BREAK JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED  |
|   | AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL  |
|   | AIR PERMEABLE INSUALTION IS INSIDE OF AIR BARRIER   |
| CEILING ATTIC   | AIR BARRIER IN ANY DROPPED CEILING/SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND GAPS ARE SEALED  |
|   | ATTIC ACCESS (EXCEPT UNVENTED ATTIC), KNEE WALL OR STAIR ACCESS IS SEALED   |
| WALLS   | CORNERS AND HEADERS ARE INSULATED   |
|   | JUNCTIONS OF FOUNDATION AND SILL PLATE ARE SEALED   |
| WINDOWS AND DOORS                                     | SPACE BETWEEN JAMBS AND FRAMING AREA SEALED   |
| RIM JOISTS  | RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER   |
| FLOORS (INCLUDING ABOVE GARAGES AND CANTILEVER FLOORS | INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECK   |
| AND CANTILEVER FLOORS                                 | AIR BARRIER IS INSTALLED AT AND EXPOSED EDGE OF INSULATION  |
| CRAWL SPACE WALLS                                     | INSULATION IS PERMANENTLY ATTACHED TO WALLS   |
|   | EXPOSED EARTH IN UNVENTED CRAWL COVERED WITH CLASS 1 VAPOR BARRIEER. OVERLAP JOINTS & TAPE  |
| SHAFTS, PENATRATIONS                                  | DUCT SHAFTS, UTILITY PENATRATIONS, KNEE WALLS AND FLUE SHAFTS ARE SEALED  |
| NARROW CAVITIES                                       | BATTS IN NARROW CAVITIES ARE CUT TO FIT OR FILLED WITH SPRAY/BLOWN-IN   |
| GARAGE SEPARATION                                     | AIR SEALING IS PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES   |
| RECESSED LIGHTING                                     | RECESSED LIGHTS ARE AIR TIGHT, IC RATED AND SEALED TO DRYWALL. UNLESS IN CONDITIONED SPACE  |
| PLUMBING AND WIRING                                   | INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES  |
| SHOWER/TUB ON EXTERIOR WALL                           | SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL  |
| ELECTRICAL/PHONE BOX ON EXT. WALL                     | AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED TYPE BOXES ARE INSTALLED   |
| COMMON WALL   | AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN UNITS   |
| HVAC REGISTER BOOTS                                   | HVAC REGISTER BOOTS THAT PENATRATE ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWAL  |
| FIREPLACE   | FIREPLACE WALLS INCLUDE AN AIR BARRIER  |

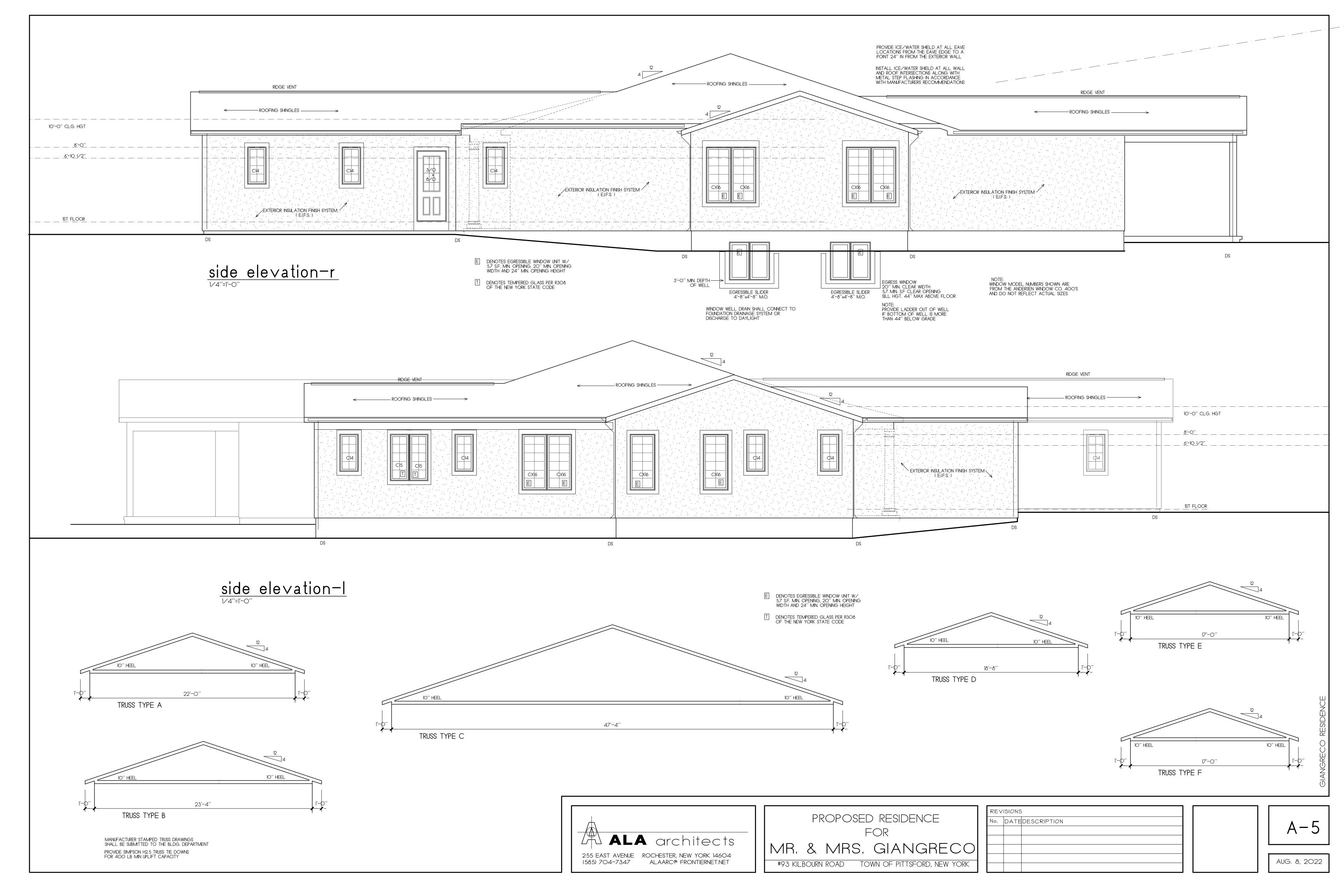
**ALA** architects 255 EAST AVENUE ROCHESTER, NEW YORK 14604 (585) 704-7347 ALAARC@ FRONTIERNET.NET

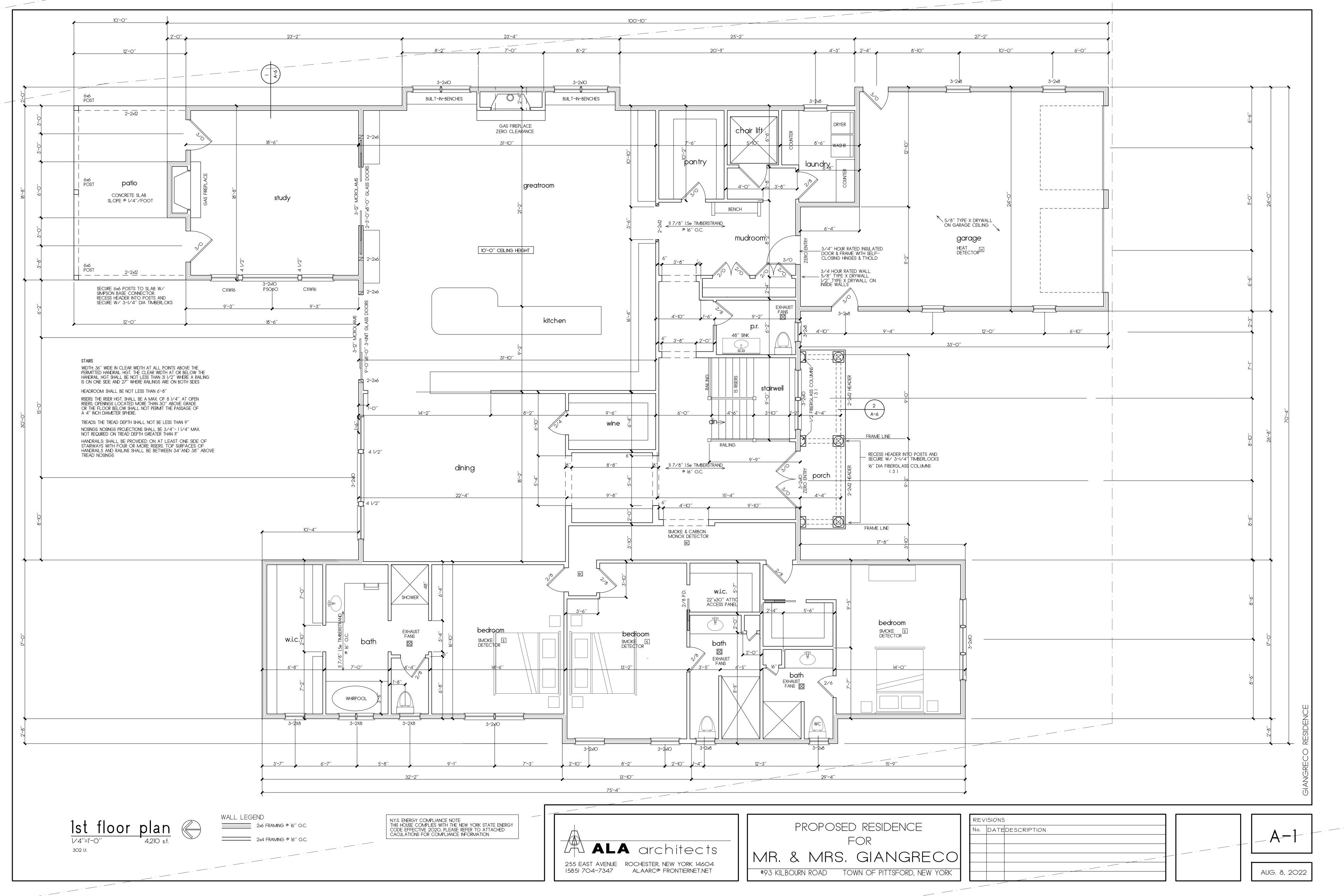
PROPOSED RESIDENCE MR. & MRS. GIANGRECO #93 KILBOURN ROAD TOWN OF PITTSFORD, NEW YORK

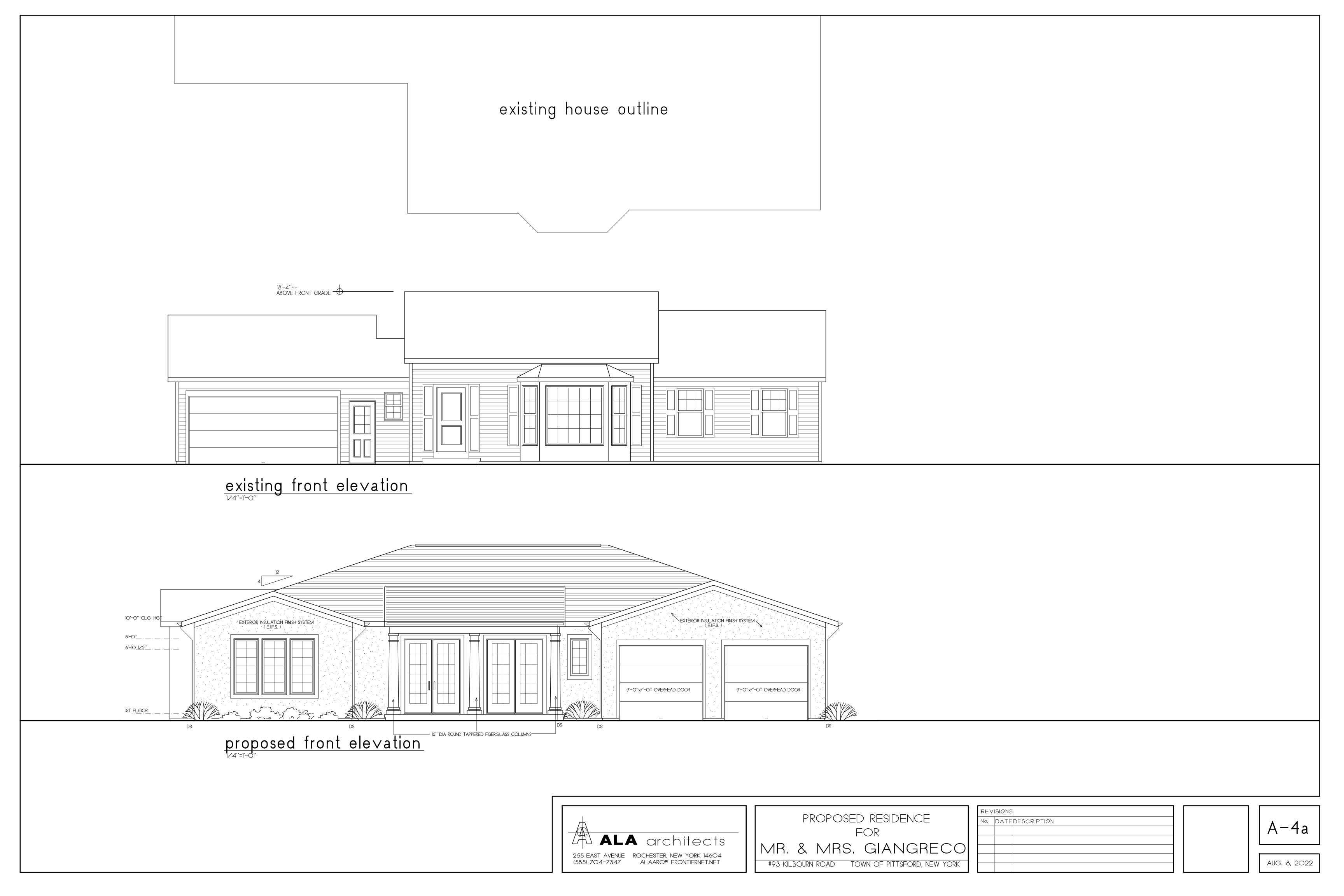
| REV | REVISIONS       |  |  |  |  |  |
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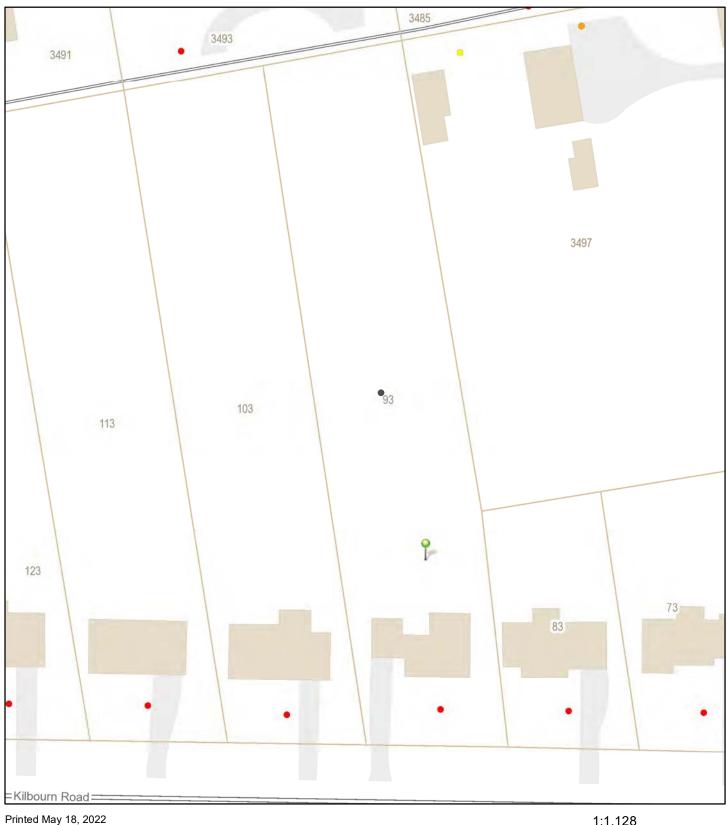
AUG. 8, 2022







# **Property Pictures**



Town of Pittsford GIS

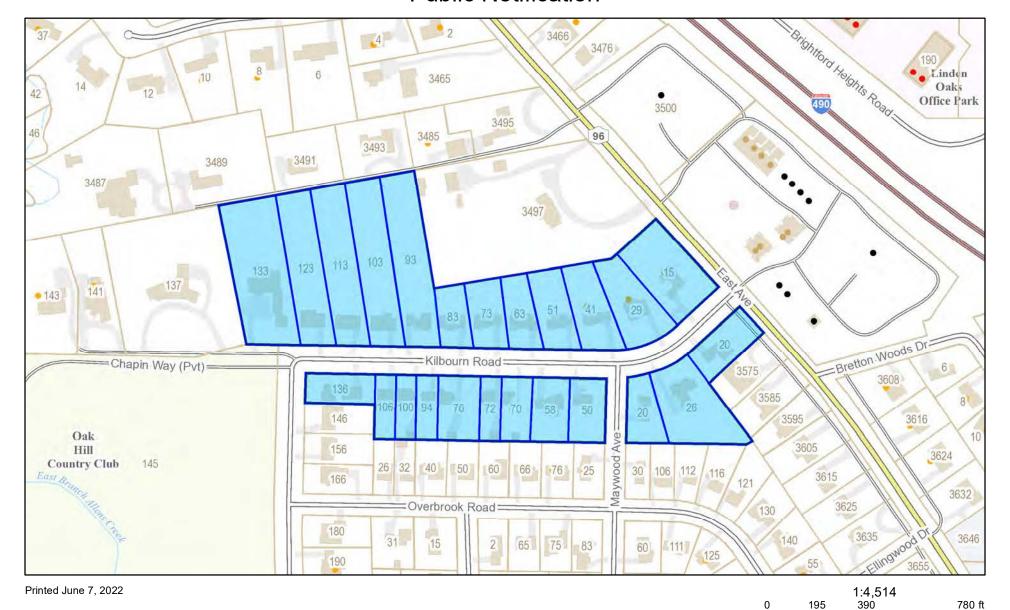








### **Public Notification**





The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or its ure or its use.

# APPLICATION FOR PERMIT

No. 98 Fee \$ 20.00

| To THE TOWN BOARD OF THE TOWN OF PITTSFORD, N. Y.  | of a second of the second of   |
|--|--|
|  | building on  |
|  | (frame, brick concrete block)  |
|  |  |
| CT TACE OF TOWER   |  |
|  |  |
| wide in the front and feet wide in the rear and Zone Classified as Zone Class  | A  |
| Classified as Zone Classified as NOTICE: A Plan, in duplicate, size 4½" x 7", must be furnished shown and shown and shown are the statement of same and shown as the statement of the statement o | wing the shape of the lot and all dimensions,  |
| with the proposed building see in,   | Family Dwelling  |
| with the proposed building set in, with all dimensions of same and the | with submitted:  |
| is to be erected of the following Wing on  | Side Width reet  |
|  | feet of side   |
| Depth 25 feet Wing on  | Side Width feet/6+ side Company  |
| The whole occupying a total area of  | Depon  |
| The whole occupying a total area of  | feet deep.   |
|  |  |
| and the second section of the section o | ected on the side of the   |
| (separate, attached)   |  |
| dwelling Jranul construction, of the fe  | ollowing dimensions:   |
| dwelling (concrete block, frame)  Stories, Width J feet, Depth J   | feet, Capacity cars.   |
| Located 10 + feet from the West Lot lin  | C.   |
| Located feet from the Lot lin  | e. Dwelling \$   |
| Located rom the  | Garage \$ 50   |
|  | Total: \$ 0,000 \$   |
| The undersigned hereby guarantees that said buildings will be ordinances of the TOWN OF PITTSFORD and statutes of the State are the PLANS RELATING TO THE BUILDINGS HEREIN DESproperty is owned by the undersigned.  All work is to be done in accordance with this application and play part of said buildings shall be made without the written consent of the NOTICE: Construction must be started within 20 days from date within 6 months from date of permit. No building to be used until an  | ans, and no material change therein or in any a Town Board through its authorized agent.  of permit. All construction must be completed a concupancy permit, has been issued |
| Architect: Jerone about Builder:   | 1- M. W. M. M. Yours respectfully,   |
| Arcmitect  | . M. Windson   |
| 3.7  | Owner  |
| 2-50   | Address  |
| YORK )   | Address  |
| county of Monroe  that he is the owner of the above described premises; that he has reknows the contents thereof; that the same is true to his own knowled knows the contents thereof; that the same is true to his own knowled comply with all the terms and conditions respecting the issuance of said in accordance with the plans attached to this application; that it will and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and that he will comply with all ordinances of the Town of Pittsford and the pitch of Pittsford and the pitch of Pittsford and Pittsfor | cost not less than the amount set forth herein and all the statutes of the State of New York   |
| and that he will comply with all ordinances of the Town of Fitts and in connection with the construction, erection, alterations or use of said in connection with the construction, erection, alterations or use of said in connection with the construction, erection, alterations or use of said in connection with the construction, erection, alterations or use of said in connection with the construction, erection, alterations or use of said in connection with the construction of the connection with the connection of the connection with the connection of the connection of the connection with the connection of the connecti | buildings.   |
| SWORN to before me, this day of 111 23 1951 19   | MI CONSTRUCTION  |
| Notary Public, Commissioner of Deeds   |  |
| Notary Public, Commissioner of Deeds  NOTICE: Before any excavation is made within Highway Lin- secure permission of Superintendent of Highways. Avoid violating po-   | es, Check Location of Public Utility Lines and ossible Deed or Tract restrictions.   |
| 36   | VIMILEY .  |
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| t. M. Merdes   | Early  |
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| The state of the s |  |
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# REPORT OF PLANNING BOARD

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD:

The Planning Board of the Town of Pittsford, Monroe County, N. Y., to which was referred the application of

to erect buildings together with the proper

fees and plans therefor, does hereby disapprove disapprove upon the following terms and conditions:

- 1. That the Town Board, its agents and employees, may at any time enter upon said premises and inspect said buildings to determine whether the same are being erected or have been erected in accordance with the plans submitted with said application for a permit.
  - 2. That the Town Board may at any time upon notice, revoke said permit for failure to execute the plans.
- 3. That the said buildings shall be set back and built upon the building line established by the Town Board for the district where such property is located and where such building is to be erected or altered.
- 4. That the buildings mentioned in said application and plans shall be erected in accordance therewith and shall be used for no other purposes than those specified in said application and plans.
- 5. That any garage erected upon the premises shall be used solely for private garage purposes and shall not at any time be used for a residence or any other purpose upon said lot.
  - 6. Reasons for disapproval are as follows:

TH. Hudson

PITTSFORD PLANNING BOARD

By

Secretary

| PEI    | KMI' | INUN | IBER | 70  | .A  |   |
|--------|------|------|------|-----|-----|---|
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owner to the structures described in the application herein referred to and no other upon the terms and conditions set forth in the recommendation of the Planning Board of the Town of Pittsford, N. Y., and the Zoning Ordinance.

JUL 27 1951

Town Clerk

House area garage 1732 syft total area 21-5 302-14 1× 25.31 14' 7 24-10" > 9 Kilbourn Re-Suls 100 ft