Design Review & Historic Preservation Board Agenda May 26, 2022

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW

• 21 Warder Drive

The Applicant is requesting design review for the construction of an approximately 156 SF new addition to the garage off the front of the house and raise the front porch overhang from the first floor to the second floor.

• 37 Briar Patch Road

The Applicant is requesting design review for the construction of an approximately 116 SF addition to the first floor in the rear of the house and to raise the second floor roof for additional living space.

516 Canfield Road

The Applicant is requesting design review for the construction of a new front overhang entryway including new steps and landing with improved lighting fixtures.

RESIDENTIAL APPLICATION FOR REVIEW - NEW HOMES

• 33 Aden Hill

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2069 square feet and will be located in the Wilshire Hills Subdivison.

• 4000 East Avenue

The Applicant is requesting design review for the demolition of a two-story guest home and the construction of a new one bedroom, 2-story guesthouse. The house will be approximately 1488 square feet and will have an enlarged shed and attach the shed to the home with a walled patio.

93 Kilbourn Road

The Applicant is requesting design review for the demolition of the existing home and construction of an approximately 4210 SF ranch style new home with a three-car garage.

COMMERCIAL APPLICATION FOR REVIEW - NEW

3280 Monroe Avenue – McDonald's

The Applicant is requesting design review for the addition of two identification signs for McDonalds. The signs will be approximately 14 square feet and 33 square feet.

• 3349 Monroe Avenue - Rosie's Nepalese and Indian Cuisine

The Applicant is requesting design review for the addition of an approximately 17 SF sign for a new restaurant.

Design Review and Historic Preservation Board Minutes May 12, 2022

PRESENT

Dirk Schneider, Chairman; David Wigg, Vice Chairman; John Mitchell, Jim Vekasy, Paul Whitbeck

ALSO PRESENT

Robert Koegel, Town Attorney; Anthony Caruso, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Kathleen Cristman, Bonnie Salem

HISTORIC PRESERVATION DISCUSSION

Installation of the sign at the East Street Burying Ground was discussed. Dirk Schneider discussed having an event in June and inviting the Town Board members after installation.

RESIDENTIAL APPLICATION FOR REVIEW

8 Langley Rise

The Applicant is requesting design review for the construction of an oversized accessory structure for a pool house.

This application is going to the Zoning Board of Appeals for an accessory structure that is oversized.

The homeowner Michael Vornovitsky and contractor Vince D'Angelo were present. Mr. Vornovitsky indicated that the siding will be similar in color to the existing home.

The Board had many questions due to the insufficient drawings and information that were presented.

After discussion, Dirk Schneider made a motion to approve the application as submitted with the following conditions:

- 1. The approval is conditional to approval of the oversized accessory structure by the Zoning Board of Appeals.
- 2. The shingles on the shed will match the architectural shingles on the existing home.
- 3. The vinyl siding on the shed will be the same color and exposure of the existing home.
- 4. Vinyl 3' x 3' sliding windows will be on the right side elevation.
- 5. Side walls will be the height of 8'
- 6. There will be an overhang of 8" at the gable to match the garage gable.
- 7. There will be an overhang of a minimum of 12" over the side walls.

David Wigg seconded.

All Ayes.

18 E. Park Road

The Applicant is requesting design review for the construction of an approximately 100 SF mudroom entryway off the back of the house.

The homeowner, Richard Mendolia, was present.

Mr. Mendolia indicated that all materials including siding and trim would match the existing on the home.

The roof will be flat to tie into the existing flat roof.

With no further discussion, John Mitchell moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

3 Northstone Rise

The Applicant is requesting design review for an addition of a covered patio behind the back of the house.

The contractor, Jason Antinoro, was present. Architect Dominick Caroselli was also present.

The stone detailing and tapered and square columns were pointed out by the Board as not really jelling with the rest of the home's architecture but it was determined that since it is in the back of the home and will not be seen so they could accept it. The recommendation was made to utilize more appropriate brick materials instead of stone detailing.

In lieu of further discussion, David Wigg moved to accept the application as submitted.

Jim Vekasy seconded.

All Ayes.

103 Knickerbocker Road

The Applicant is returning to request design review for the construction of approximately a 660 SF garage. As this is an oversized/over height accessory structure, the Zoning Board of Appeals approved the size and location at the 10/18/21 meeting.

The homeowner, Blake Henderson was present. This application has been approved by the Zoning Board of Appeals for an oversized accessory structure.

Mr. Henderson indicated that a change in the plans would reflect the materials for the siding would be board and batten as opposed to the materials noted on the renderings.

Dirk Schneider moved to accept the application as submitted with the condition that the siding be wooden board and batten.

John Mitchell seconded.

All Ayes.

32 Rosewood Drive

The Applicant is requesting design review for the construction of a covered porch off the front of the house.

This application was withdrawn by the Applicant prior to the meeting.

.

RESIDENTIAL APPLICATION FOR REVIEW - NEW HOMES

52 Coventry Ridge

The Applicant is requesting design review for the construction of a two story single family home. The home will have a total living area of approximately 3585 square feet and is located in the Coventry Ridge Subdivision.

Jim Connaughton and Austin Miller were present to represent Coventry Ridge Building Corporation.

This home will mirror another home in the development that is 3/10 of a mile away on a different street.

The materials will be horizontal vinyl siding and cultured stone. Returns from the front elevation were discussed with Mr. Connaughton.

David Wigg moved to accept the application as submitted with the following conditions:

1. There will be stone returns from the front elevation at the garage corners and return to the left elevation 2 ft. from grade

John Mitchell seconded.

All Ayes.

3590 Clover Street

The Applicant is requesting design review for the construction of a new single family home. The home will be approximately 3070 sq. ft. of livable space and will be located on a vacant lot on Clover Street.

Daniel Visco of Stonewall Construction were present to discuss the application with the Board.

Mr. Visco stated the siding materials will be earth tones and roofing will be dark tones.

There will be three textures of materials – stone, vinyl cedar shakes and vinyl siding with natural looking timer work.

The Board discussed the cedar shake finishing above the front porch. The Board and contractor agreed that a better look would be to keep the shake finishing in the gable, include a frieze board at the base of the gable and continue with the lap siding from the second floor to the porch roof.

Dirk Schneider moved to accept the application as submitted with the condition that a frieze board will be installed at the base of the gable above the front porch and the materials in this gable will be vinyl shake siding with horizontal lap siding below to continue to front porch roof.

John Mitchell seconded.

All Ayes.

16 Black Wood Circle

The Applicant is requesting design review for the construction of an approximately 2062 SF new single story family home in the Wilshire Hill subdivision.

Bill Arieno representing Pride Mark Homes was present.

This ranch design home will feature stone, cedar shake and vinyl materials on the front elevation.

Some Board members commented that this combination appears busy but it was noted that it is consistent with this neighborhood.

John Mitchell moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

5 & 7 Skylight Trail

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 48 (5 Skylight Trail) will be approximately 2000 sq. ft. and Lot 47 (7 Skylight Trail) will be 1852 sq. ft. The town homes will be located in the new Alpine Ridge development.

Bill Arieno representing Morrell Builders was present.

Mr. Arieno presented the Board with a color palette for this submission.

This is the last submission of Section 1 in Alpine Ridge.

Mr. Arieno indicated a change in the plans where 5 Skylight Trail (Lot 48) will feature a side load garage as opposed to a front load and two windows will be added on the front elevation where the original proposed garage doors were similar to other side load garage designs in the development.

New drawings will need to be sent to the Town building department prior to the issue of a building permit.

It was noted that brackets needed to be added under the fireplace.

Dirk Schneider move to accept the application as submitted with the condition that the applicant resubmit drawings to the Town of Pittsford with the changes as discussed on May 12, 2022.

Paul Whitbeck seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW - NEW

3280 Monroe Avenue – McDonald's

The Applicant is requesting design review for the addition of two identification signs for McDonalds. The signs will be approximately 14 square feet and 33 square feet.

There was no representative present to discuss this application with the Board.

The Board wished to see a rendering of how the signs would look on the elevations.

This application was held over.

REVIEW OF MINUTES OF APRIL 28, 2022 MEETING

David Wigg moved to accept the minutes of the April 28, 2022 meeting as written.

John Mitchell seconded.

All Ayes.

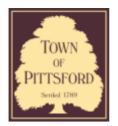
ADJOURNMENT

Dirk Schneider moved to close the meeting at 7:37 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000077

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 21 Warder Drive	PITTSFORD, NY 14534
Tax ID Number: 178.06-3-37	

Zoning District: RN Residential Neighborhood

Owner: Hossain, Monir Applicant: Hossain, Monir

_		4.	_	
Λn	nlic	atio	n Tv	no:
$\Delta \mathbf{p}$	DIIC	auvi	11 I V	DE.

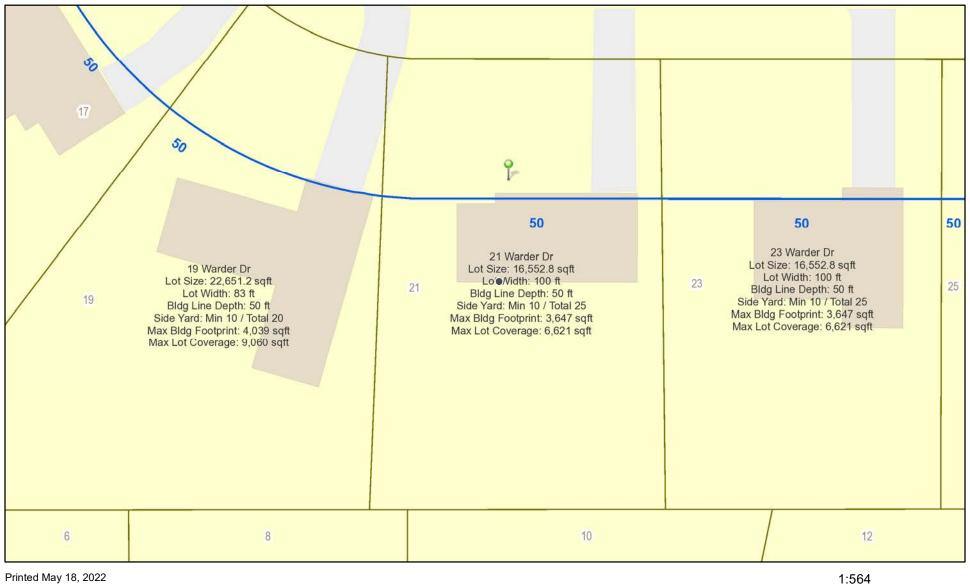
• •	Desidential Design Deview	Duild to Line Adiostroped
✓	Residential Design Review	Build to Line Adjustment
	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for the construction of a approx. 156 SF new addition to the garage off the front of the house and raise the front porch overhang from the first floor to the second floor.

Meeting Date: May 26, 2022



RN Residential Neighborhood Zoning



1:564
0 20 40 80 ft

Town of Pittsford GIS

10

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

20 m



INSTRUMENT SURVEY
ROBERT B. RESAVAGE
Professional Land Surveyor 174 Troutbeck Lane Rochester, New York 14626 585-453-9862

REFERENCES:

- 1. LIBER 170 OF MAPS, PAGES 27 **AND 28**
- 2. STEWART TITLE INSURANCE COMPANY ABSTRACT OF TITLE NO. 193238, DATED APRIL 26, 2019
- 3. LIBER 3703 OF DEEDS, PAGE 124, PERPETUAL EASEMENT AND ROAD DEDICATION
- 4. LIBER 3746 OF DEEDS, PAGE 376, EASEMENT
- LIBER 3746 OF DEEDS, PAGE 378, EASEMENT
- 6. LIBER 9206 OF DEEDS, PAGE 126

CERTIFICATION TO:

- MONIR HOSSAIN AND SHAZEDA CHOWDHURY
- 2. STEWART TITLE INSURANCE COMPANY
- 3. ROBERT P. FREDRICK, ESQ.
- 4. KENYON AND KENYON

WARDER DRIVE

(60' WIDE))



I, Robert B. Resavage hereby certify that this map was prepared from references listed hereon and notes of an instrument survey completed on

MAY 16, 2019

This parcel is subject to any easements or encumbrances

of record Robert B. Resavage, NYSLS No. 050055 SCALE

1'' = 30'

DATE

MAY 21, 2019

"If the surveyor's signature is not colored red, the plan is a copy that should be assumed to contain unauthorized alterations. The certification on this plan shall not apply to any copies.

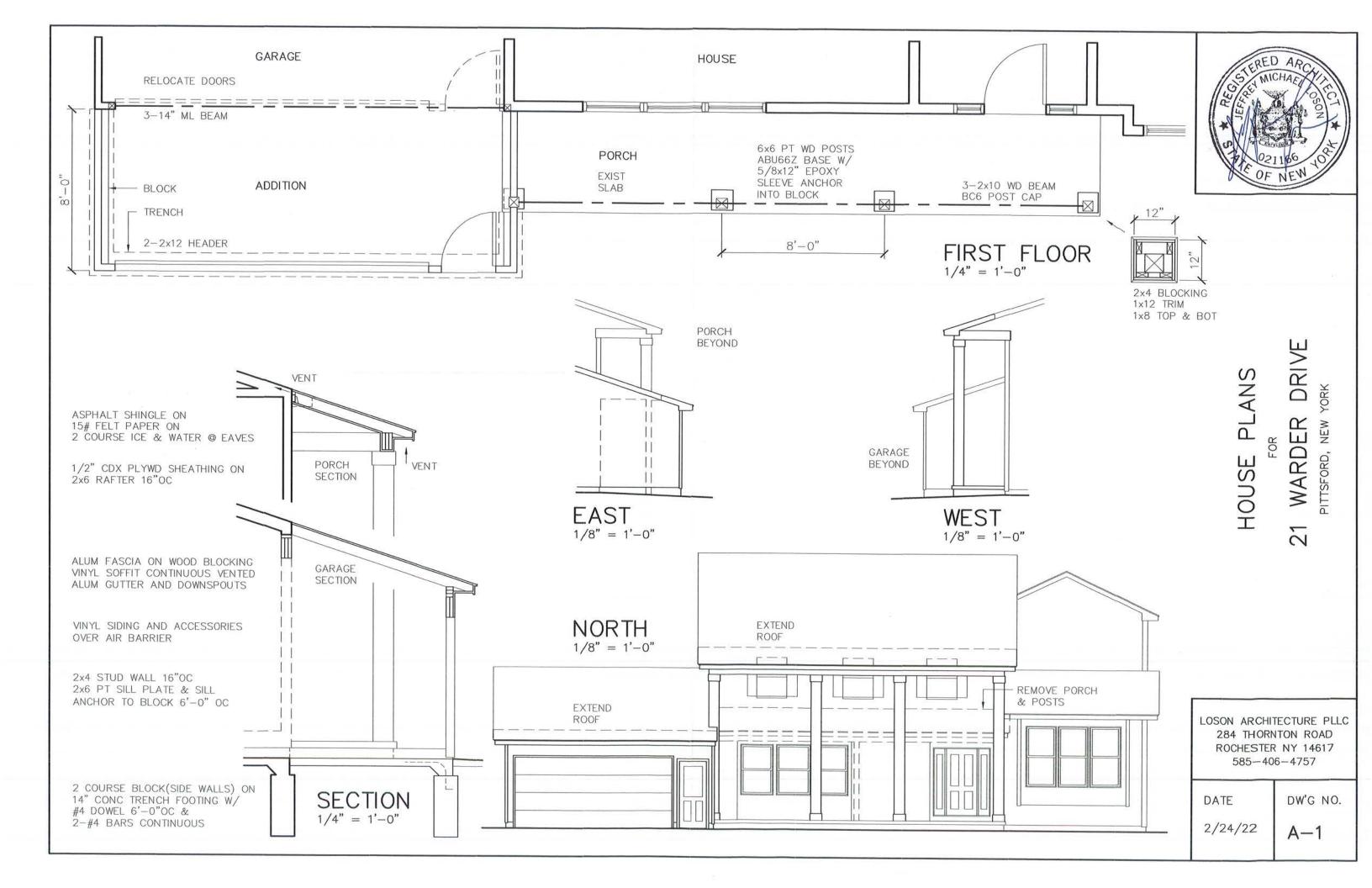
21 WARDER DRIVE

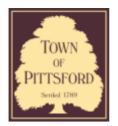
LOT 203 BOCKER FARM SUBDIVISION, SECTION 4

TOWN OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK

Copyright © 2019 Robert B. Resavage, PLS, All Rights Reserved

"Certifications indicated hereon signify that this survey was prepared in accordance with the Code of Practice for Land Surveys adopted by the New York. State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person for whom the survey is prepared and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners and do not extend to underground improvements or encroachments. Only copies from the original of this survey marked with an original of the land surveyor's inked or embossed seal shall be considered to be valid true copies. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law."





Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000085

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 37 Briar Patch Road ROCHESTER, NY 14618	
Tax ID Number: 151.10-1-22	

Zoning District: RN Residential Neighborhood

Owner: Chase, Ann E Applicant: Chase, Ann E

_		4.	_	
Λn	nlic	atio	n Tv	no:
$\Delta \mathbf{p}$	DIIC	auvi	11 I V	DE.

✓	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Áppropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for the construction of an approximately 116 SF addition to the first floor in the rear of the house and to raise the second floor roof for additional living space.

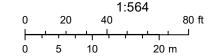
Meeting Date: May 26, 2022



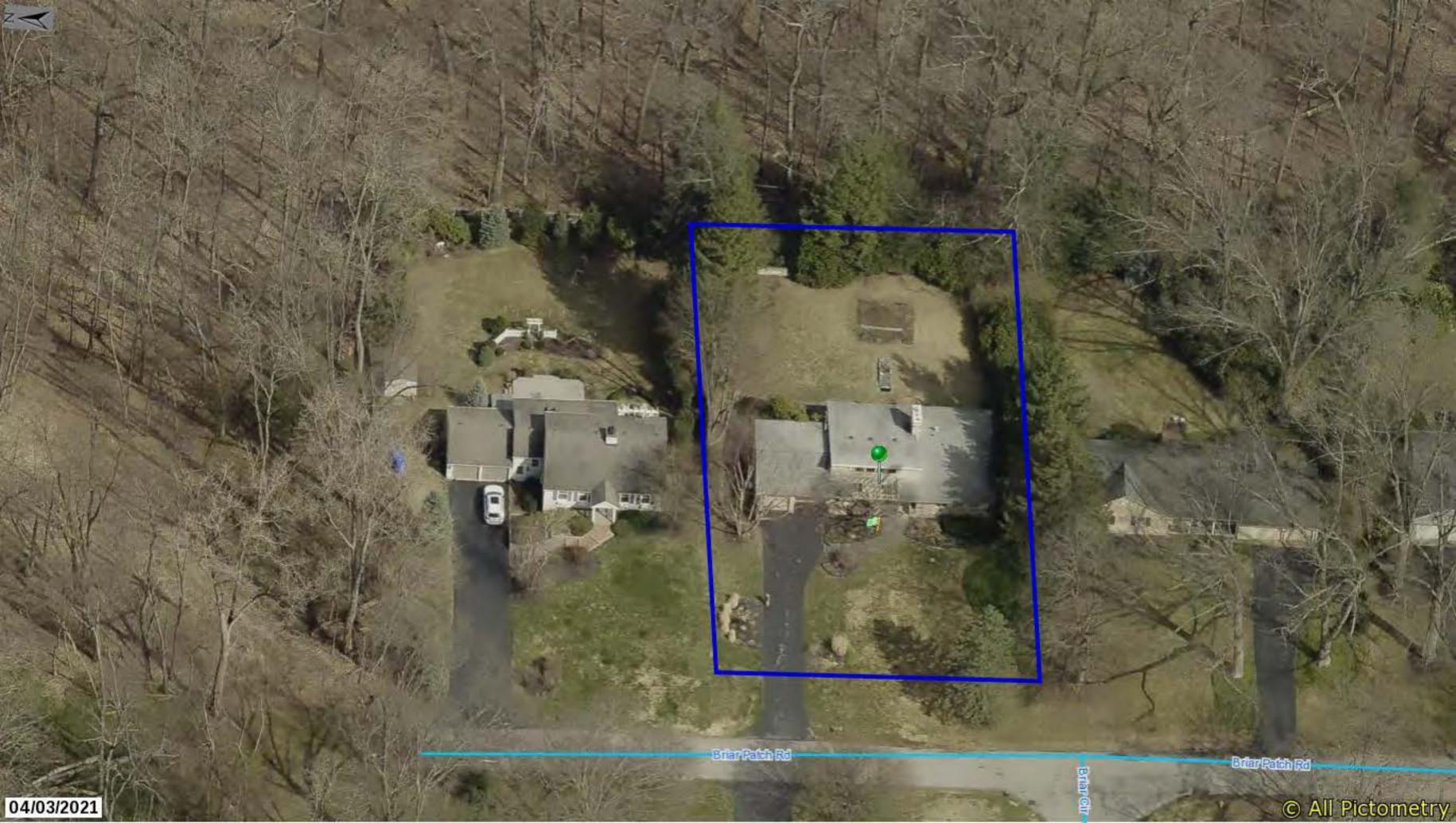
RN Residential Neighborhood Zoning



Printed May 18, 2022



Town of Pittsford GIS



PROJECT INFORMATION

OWNER(S): ANN CHASE & ROBERT KATZ ADDRESS: 37 BRIAR PATCH RD, ROCHESTER, NY 14618 EMAIL: reno37bp@gmail.com **TOWN: PITTSFORD COUNTY: MONROE**

ZONING CODE

ZONING: RN FRONT SETBACK: AVERAGE, PER TOWN SIDE SETBACK: 25' TOTAL (10' MIN EA. SIDE) REAR BUFFER: 20' HEIGHT LIMIT: 30' MAX. FOOTPRINT: $3,800 \text{ SF} + (0.09 \times 996) = 3,890 \text{ S.F.}$ MAX. LOT COVERAGE: 40%

SCOPE OF WORK:

This project consists of a 119 S.F. first floor addition, raising a portion of roof to convert 2nd floor finished storage space into a 308 S.F. bedroom/home office, and a full interior remodel. The remodel will convert this 2-bedroom, 1 1/2 bathroom home into a 3-bedroom, 2 bathroom home. Exterior additions are to match in style the existing midcentury home. All siding and windows to be replaced.

AREA CALCS:

FOOTPRINT (BUILDING COVERAGE): Existing/Proposed (to remain unchanged): 2,625 S.F. Footprint (3,890 S.F. = max allowable) Lot Area: 20,996 S.F. Existing Building Coverage: 12.5%

LOT COVERAGE:

Proposed:

3,367 S.F. Roofed Structures and Patio 1,146 S.F. Asphalt Driveway 185 S.F. Walkways & Landscape Stairs

4,698 S.F. Total Proposed Lot Coverage Lot Area: 20,996 S.F. 22.4% Proposed Lot Coverage (40% = max allowable)

LIVABLE FLOOR AREA:

Existing:

1,582 S.F. First Floor Area 184 S.F. Second Floor Area (CH: 5'0"+ only)

1,766 S.F. Total Existing Livable Floor Area

Proposed:

1,698 S.F. First Floor Area 308 S.F. Second Floor Area

2,006 S.F. Total Proposed Livable Floor Area

ABBREVIATIONS:

(N) = NEW(E) = EXISTING (R) = REPLACE EXISTING PL = PROPERTY LINE TYP. = TYPICAL S.S.D. = SEE STRUCTURAL DRAWINGS V.I.F. = VERIFY IN FIELD V.W.O. = VERIFY WITH OWNER T.B.D = TO BE DETERMINED G.W.B. = GYPSUM WALL BOARD F.O.S. = FACE OF STUD F.O.F. = FACE OF FINISH RS = ROUGH SAWN RWL = RAIN WATER LEADER PTGR = PAINT GRADE O.C. = ON CENTER F.F. = FINISHED FLOOR A.F.F. = ABOVE FINISHED FLOOR FG = FINISHED GRADE

EXT. = EXTERIOR TBD = TO BE DETERMINED H.F. = HEM FIR ICF = INSULATED CONCRETE FORMS U.O.N. = UNLESS OTHERWISE NOTED STL = STEEL COL = COLUMN CONC. = CONCRETE W/ = WITHW/O = WITHOUT W/I = WITHIN EA. = EACH T.O.B. = TOP OF BEAM REQ'D = REQUIRED HT = HEAVY TIMBER MANUF = MANUFACTURER CANT. = CANTILEVERED CONN. = CONNECTOR STD - STANDARD DIA = DIAMETER PL = PLATEFTG = FOOTING THK = THICK MIN = MINIMUM VERT = VERTICAL MAX = MAXIMUM

CMU = CONCRETE MASONRY UNIT

SH = SILL HEIGHT

HH = HEAD HEIGHT

CH = CEILING HEIGHT

WH = WALL HEIGHT

GENERAL NOTES:

the capacity to heat the addition.

1. Code references included in this document refer to the 2020 Residential Code of New York State.

2. Existing spaces, rooms, exits and building systems that were not altered as part of this project were

3. All electrical work shall comply with Appendix J of the 2020 Residential Code of New York State. Provide building department with final electrical inspection approval.

4. All plumbing shall be installed by a Town of Pittsford licensed plumber or the homeowner. Work shall comply with Appendix J of the 2020 Residential Code of New York State.

5. Owner to provide a statement from the heating contractor indicating that the existing furnace has

6. Smoke detectors shall be installed as required by Appendix J of the 2020 Residential Code of New York State in the following locations: - In each sleeping room; - In hallways adjacent to sleeping rooms; - At least one on each story including basement. Where wall and/or ceiling finishes are removed to expose the structure, detectors shall be hard-wired. Other detectors may be battery operated. Hard-wired detectors shall be interconnected such that if one activates, all will activate. Detectors shall be listed and installed in accordance with NFPA-72 and Appendix J of the Residential Code. Listed

combination smoke/carbon monoxide alarm may be used in lieu of smoke alarms.

7. Carbon monoxide alarms shall be installed as required by Section 915 of the 2020 Fire Code of NYS in the following locations: - In any room containing a fuel burning appliance and within 10 feet of any sleeping area. - On any story where fuel-fired appliances or equipment, solid-fuel burning appliances and equipment, fireplaces or attached garages are located. Where wall and/or ceiling finishes are removed to expose the structure, alarms shall be hard-wired. Other alarms may be battery operated. Hard-wired alarms shall be interconnected such that if one activates, all will activate. Alarms shall be listed and labeled in accordance with UL 2034. Combination carbon monoxide and smoke alarms shall be listed in accordance with UL 2034 and UL 217 and shall be installed in accordance with manufacturer's

8. Foam plastic insulation on basement (and crawl space) walls shall be covered with gypsum board or have a flame-spread index not greater than 75 with an accompanying smoke-developed index not to exceed 450 when tested in accordance with ASTM 84.

9. Flashing is required in the following locations: at wall and roof intersections and projecting wood trim, top of all exterior windows and door openings; chimneys; under and at ends of masonry, wood or metal copings and sills; and where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction. Flashings shall be provided as required to comply with all of Section R703.4 of the 2020 Residential Code of New York State.

10. Where roof slope is from 2 in 12 to 4 in 12, TWO layers of underlayment shall be applied in accordance with Section R905.1.1 of the 2020 Residential Code.

11. Where existing windows and/or doors are removed, the infill construction shall be fully insulated with insulation having a minimum R value of R-3 per inch.

12. To provide compliance with the 2020 Code, the installed insulation values shall meet or exceed the values shown in the REScheck provided for this project.

13. The addition envelope air tightness and insulation installation shall be demonstrated to comply with

Section R502 of the 2020 Energy Conservation Code.

14. Duct insulation and duct tightness shall be demonstrated to comply with Section R403.3 of the 2020 Energy Conservation Code.

15. Clothes dryers shall be exhausted in accordance with the manufacturer's instructions. Dryer exhaust systems shall be independent of all other systems and shall convey the moisture and any products of combustion to the outside of the building. The maximum length of a clothes dryer exhaust duct shall not exceed 35 feet from the dryer location to the outlet terminal. The maximum length of the duct shall be reduced for each 45 degree bend and for each 90 degree bend as per Table1502.4.5.1 of the 2020

16. Dryer exhaust ducts shall have a smooth interior finish and be constructed of metal having a minimum thickness of 0.0157 inches (No. 28 gage), and shall be 4 inches nominal in diameter. Exhaust ducts shall terminate on the outside of the building as per manufacturer's installation instructions, but not less than 3 feet in any direction from openings into buildings. They shall be secured in place and supported at intervals not to exceed 12 feet.

17. Gas piping shall be installed in accordance with Part VI of the 2020 Residential Code. A shutoff valve shall be provided ahead of every gas appliance or outlet for a gas connection. Valves shall be located in the same room as, and within 6 feet of the appliance, except that valves for vented gas fireplaces, inserts, logs and room heaters may be remote from the appliance where provided with ready access. Such valves shall be permanently identified and serve no other equipment. Shutoff valves shall be installed in accordance with Section G2420 of the Residential Code and shall comply with required standards as indicated in Section G2420.1.1.

18. A gas piping system that contains any corrugated stainless steel tubing (CSST) shall be electrically continuous and shall be bonded to the electrical service grounding electrode system. No portion of the gas piping system shall be used as, or considered to be, a grounding electrode or a grounding electrode conductor. CSST shall be installed and bonded in accordance with Section 2411.2 of the 2020 Residential Code of NYS and the stricter of: (a) the requirements set forth in the CSST manufacturer's installation instructions, or (b) the requirements set forth in §RG2411, and §RG2415.7.

19. CSST shall not be supported on or by other electrically conductive systems including copper water pipe, electric power cables, air conditioning and heating ducts, communication cables and structural steel beams. Electrical wiring, including the bonding jumper, shall be supported and secured independently of the CJ-CSST so that it does not come in contact with the CJ-CSST.

20. All equipment and appliances shall be installed in accordance with the manufacturer's installation instructions and the requirements of the 2020 Residential Code of NYS.

21. All work shall comply with local Codes, New York State Codes, Amendments, Rules, Regulations, Ordinances, Laws, Orders, Approvals, etc. that are required by Governing Authorities. In the event of conflict, the most stringent requirements shall apply.

22. Contractor shall examine and verify conditions of the job site. Any discrepancy between drawings and existing conditions should be recorded in writing and reported to the Architect for resolution prior to commencement of work.

23. All dimensions are face of finish dimensions unless otherwise noted. Notify Architect of any discrepancies or conflict between architectural drawings, specifications or schedules prior to subsequent work. Additionally, notify Architect of any discrepancies or conflict between architectural drawings and consultant drawings, specifications or schedules prior to subsequent work.

24. Any changes to framing and engineered connections shall be approved by the Architect prior to

25. The coordination and documentation of any Special Inspections required by governing authorities is the responsibility of the Contractor. The Contractor must request special inspections by qualified professionals at the appropriate time during the construction process, and document their execution. The Architect will NOT write any Letters of Special Inspection Compliance at the conclusion of the job, without this prior written documentation. In the event that required Special Inspection areas of the Work are "covered" without such documented inspection, the contractor shall provide all labor and materials required to access, inspect and repair such work at his or her own expense.

26. All Change Orders shall be written and shall be approved by Architect and Owner prior to execution

27. All building materials are to be stored appropriately and protected from damage.

28. Owner is responsible for the accuracy of information provided to the Architect by any previous architect(s), engineers, surveyors, designers or other consultants.

30. Contractor shall provide and maintain a job phone on site for the duration of the construction

31. Material choices, fixtures, adhesives, and finishes not specified on drawings, specifications, or schedules shall be pre-approved by Owner and/or Architect prior to purchase and installation.

but prior to insulating. Additionally, Contractor must schedule a walkthrough with Architect at substantial completion.

29. Contractor must schedule a walkthrough with Architect after rough electrical and rough plumbing

process. Contractor must maintain a copy of the latest version of the plans, specifications, schedules, details and revisions at the job site at all times.

32. Contractor to maintain quality and cleanliness of vegetation and grounds throughout construction. Contractor to clean up job site at the end of every working day, isolate construction area from other interior living space, and minimize dust as best as possible.

CONSULTANTS

ARCHITECT:

Amanda Everson Costanza, RA, AIA, LEED AP Christopher Costanza, RA, AIA, LEED AP 9x30 Design, Architecture, PLLC (585) 242-0501 amanda@9x30.com

STRUCTURAL ENGINEER: Jason Vigil, PE, SE Jensen/BRV Engineering, PLLC (585) 482-8130 office jasonv@jensenbrv.com

PHOTOS

VIEW FROM STREET (SUMMER)

VIEW FROM DRIVEWAY (WINTER)

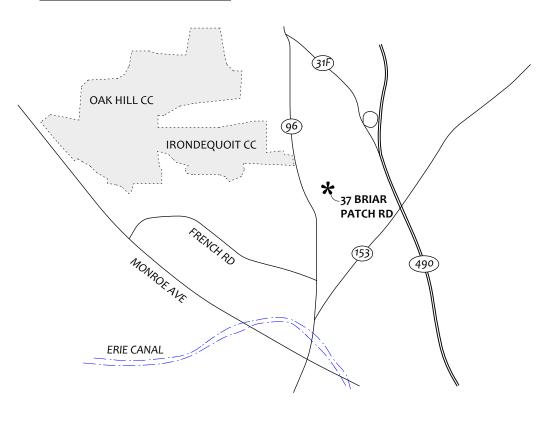
LOCATION OF FIRST FLOOR ADDITION -

VIEW FROM BACKYARD (WINTER)

LOCATION OF SECOND FLOOR ADDITION

(UNDER EXISTING PORCH ROOF)

VICINITY MAP



Climate Zone: 5 Fenestration U-Factor: 0.30 Skylight U-Factor: 0.55 Ceiling Insulation: R-49

SHEET INDEX

A3.0 NEW ELEVATIONS

E1.0 ELECTRICAL PLANS

S2.0 ROOF FRAMING PLAN

A4.0 SECTIONS & SCHEDULES

Basement Wall Insulation: R-15 Continuous; R-19 Cavity Concrete Slab Insulation: R-10, depth 2'

ENERGY CONSERVATION CODE REQUIREMENTS:

Ao.o PROJECT INFORMATION & SITE PLAN

A2.0 NEW BASEMENT & FIRST FLOOR PLAN

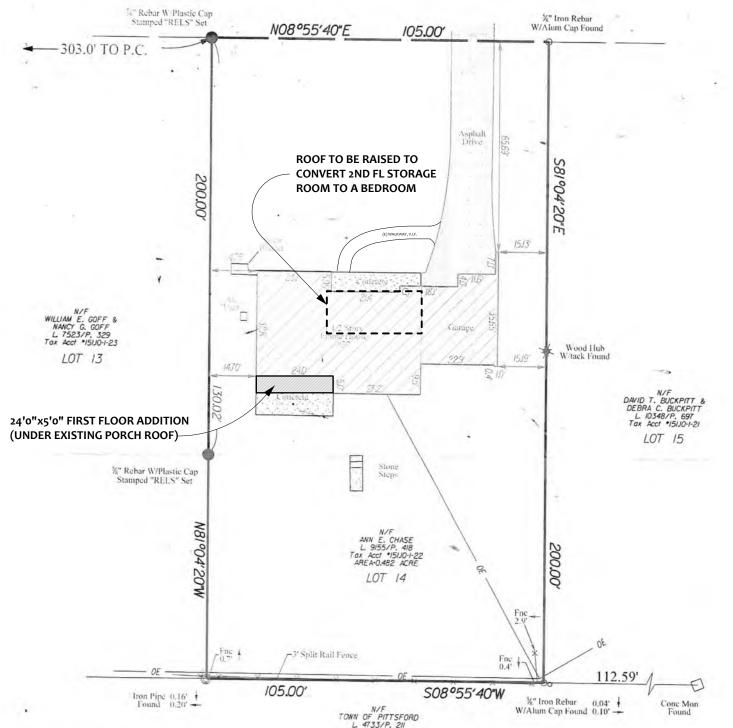
A2.1 NEW SECOND FLOOR PLAN & ROOF PLAN

S1.0 FOUNDATION & FLOOR FRAMING PLANS

A1.0 EXISTING PLANS & ELEVATIONS

Wood Framed Wall Insulation: R-20, or R-13 + R5 Mass Wall Insulation: R-13 (or R-17 when more than 1/2 of insulation is on interior) Floor Insulation: R-30 Crawl Space Wall Insulation: R-15 Continuous; R-19 Cavity

BRIAR PATCH ROAD



REFERENCES: 1. No Abstract available for review. 2. Warranty deed: Liber 9155 Page 418. Map entitled "Map Of Bramble Woods For Clarke W. O'Brien. Dated 10/5/49 and filed in the Monroe County Clerks Office in Liber 106 of Maps. Page 36.

We, Ravi Engineering and Land Surveying, hereby certify that this map was completed on February 6, 2014 from an instrument survey completed on February 5, 2014.

ASAVI ENGINEER A LAND SURVEYING PIL T INF SITE

REVISIONS

It is a violation of New York State Education Law Article 145, Section 7 for any person, unless acting under the direction of a licensed archite professional engineer or leand surveyor to alter any item on this docum in any way. Any licensece who alters this document is required by law affix their seal and the notation "ALTERED BY" followed by their signa and the date of such alteration, and a spectific description of the alteral

314 Hollywood Avenue

Rochester, NY 14618

(ph) 585.242.0501

info@9x30.com

w w w , 9 x 3 0 . c o m

U

ш

SID

S

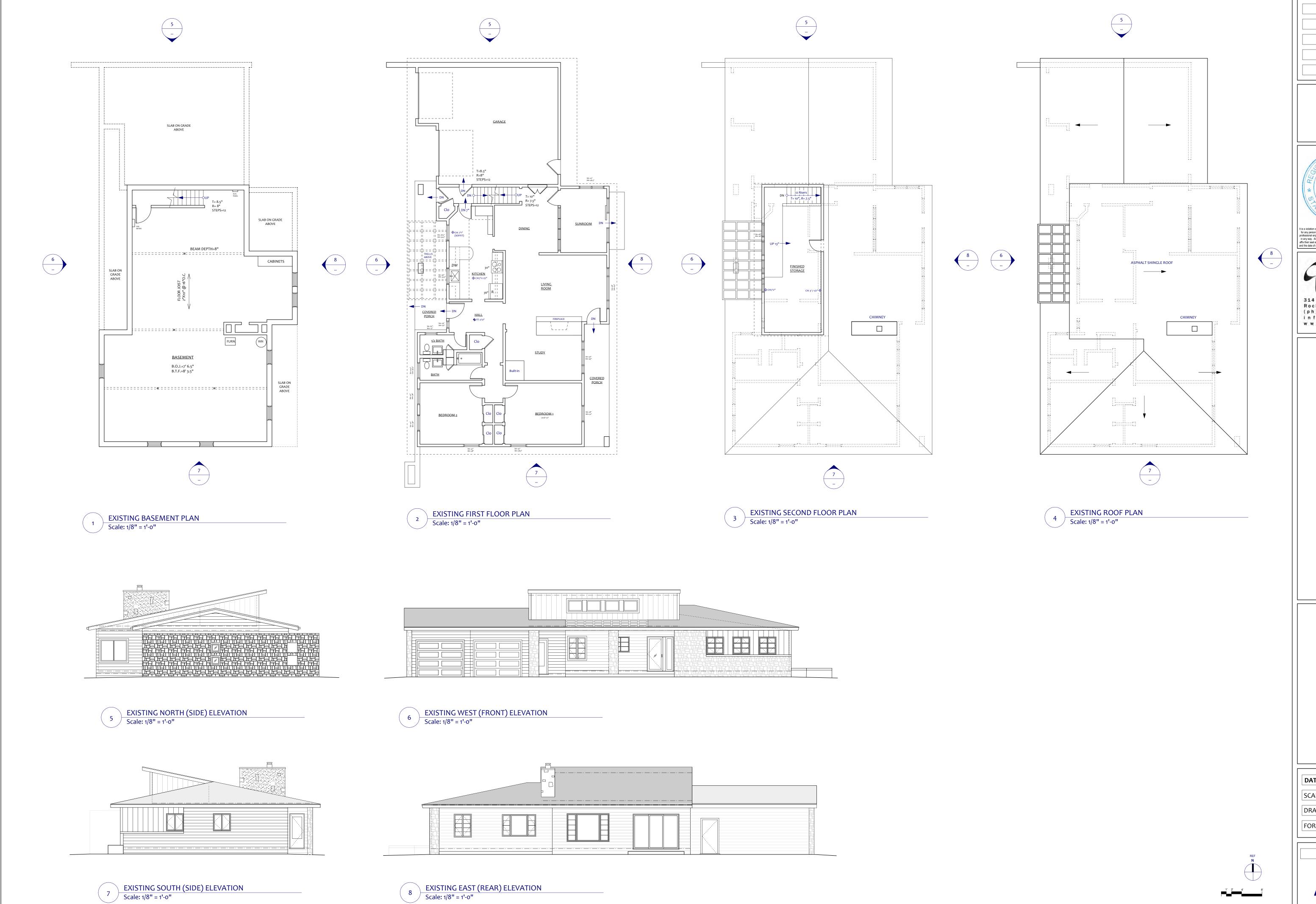
CH

37 BRIAR F ROCHESTI

DATE: 5.11.22

SCALE: AS INDICATED DRAWN BY: AEC

FOR BUILDING PERMIT



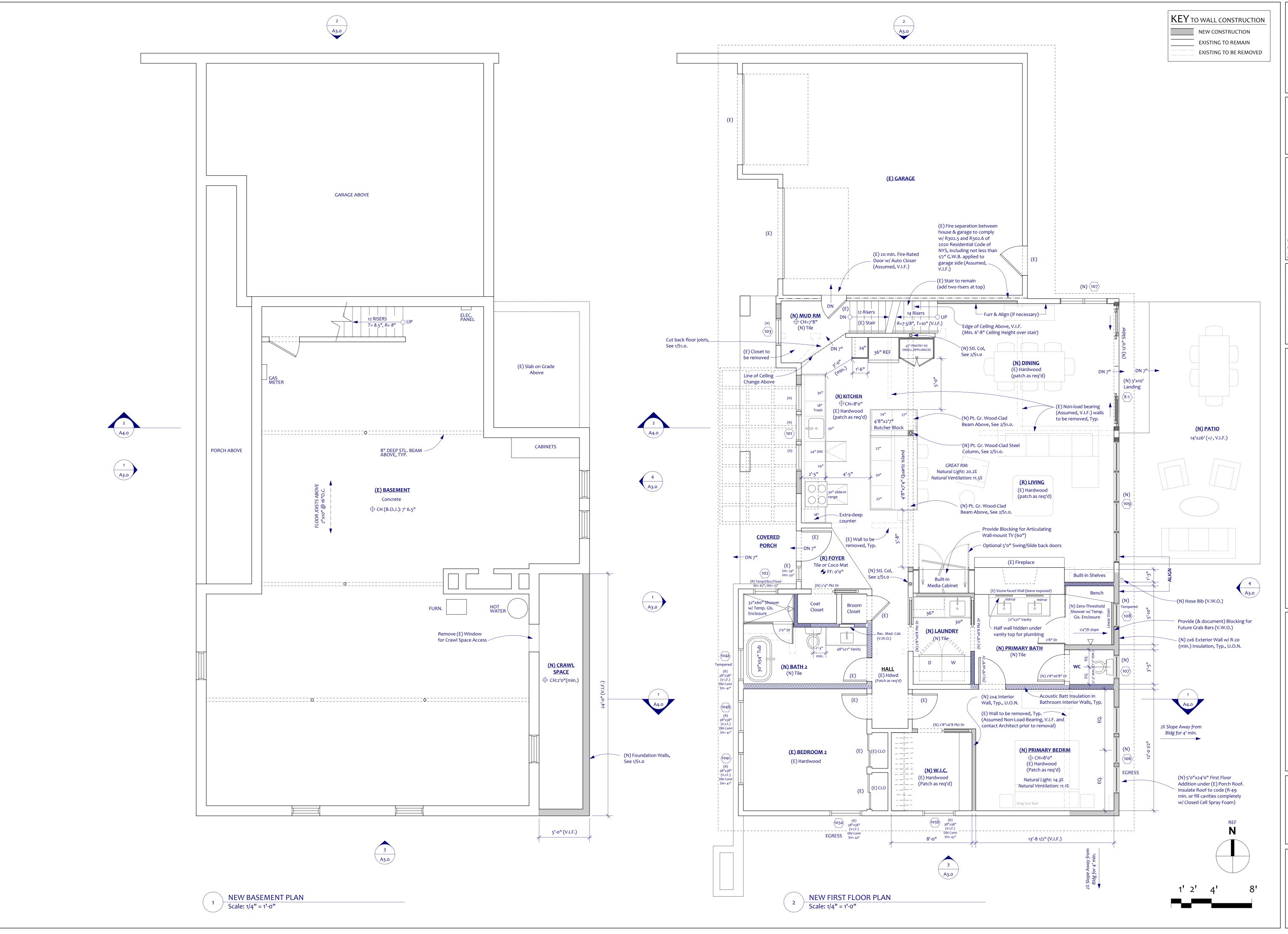


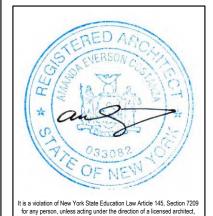
9x30 Design

314 Hollywood Avenue Rochester, NY 14618 (ph) 585.242.0501 info@9x30.com www.9x30.com

EXISTING PLANS & ELEVATIONS

DATE: 5.11.22 SCALE: AS INDICATED DRAWN BY: AEC FOR BUILDING PERMIT





professional engineer of hearth surveyor to after any term for its occurring in any way. Any licensee who afters this occurrent is required by law to affix their seal and the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific description of the alteration.

9x30 Design
architecture

9x30 Design architecture 314 Hollywood Avenue Rochester, NY 14618 (ph) 585.242.0501 in fo@9x30.com www.9x30.com

> CHASE-KATZ RESIDENCE 37 BRIAR PATCH ROAD ROCHESTER, NY 14618

> > NEW BASEMENT & FIRST FLOOR PLANS

DATE: 5.11.22

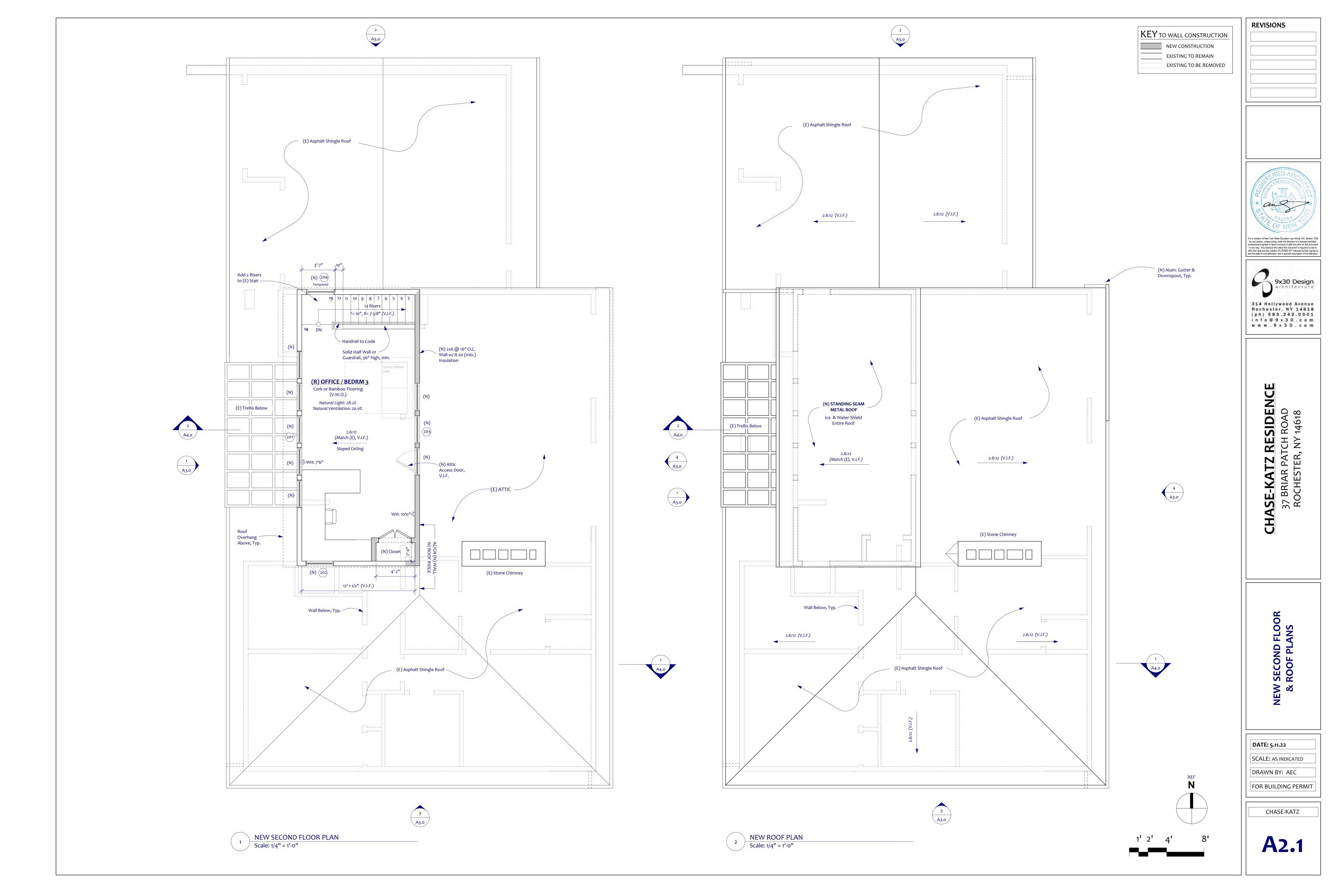
SCALE: AS INDICATED

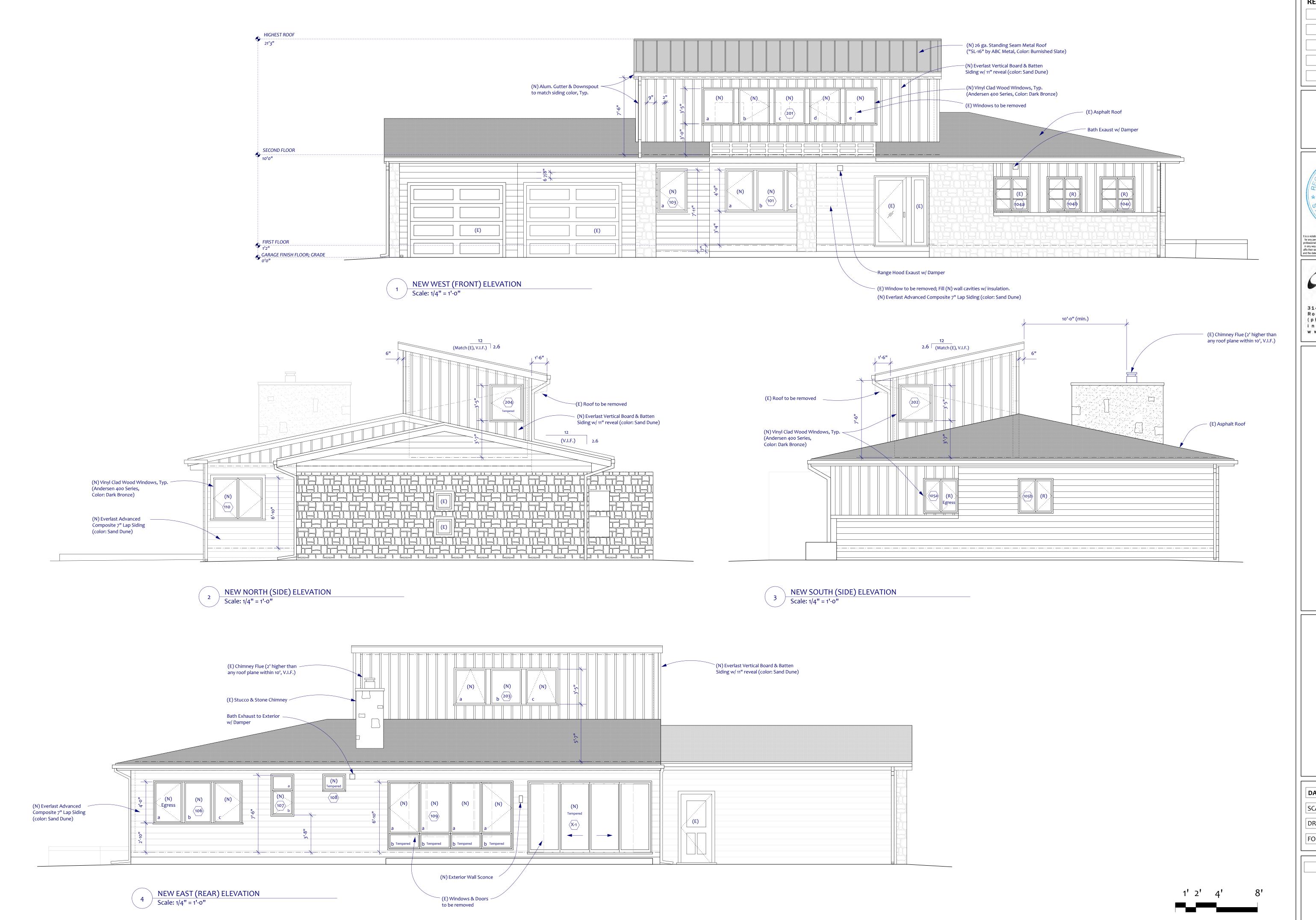
DRAWN BY: AEC

FOR BUILDING PERMIT

CHASE-KATZ

A2.0









CHASE-KATZ RESIDENCE
37 BRIAR PATCH ROAD
ROCHESTER, NY 14618

NEW ELEVATIONS

DATE: 5.11.22

SCALE: AS INDICATED

DRAWN BY: AEC

FOR BUILDING PERMIT

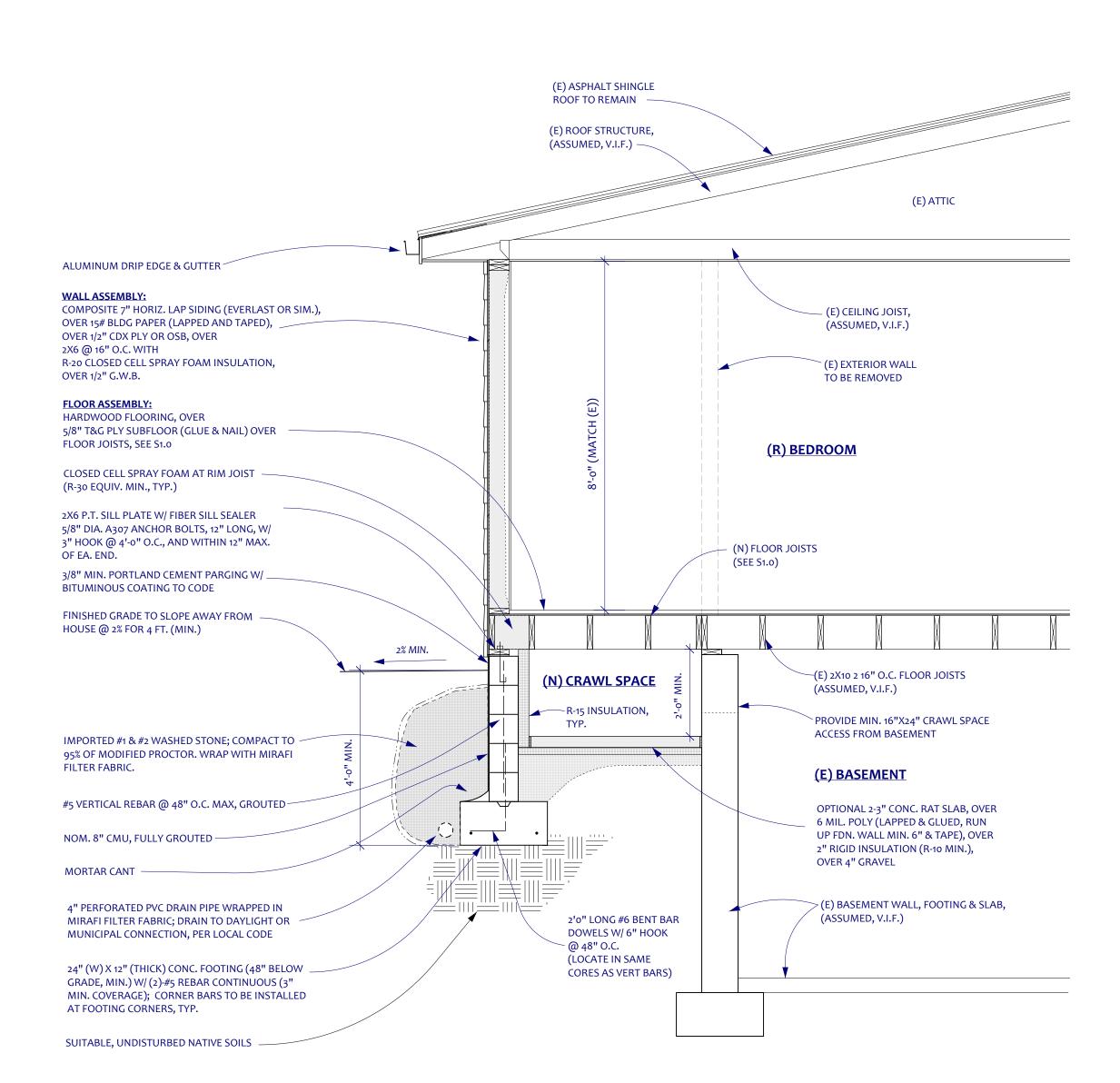
CHASE-KATZ

A3.0

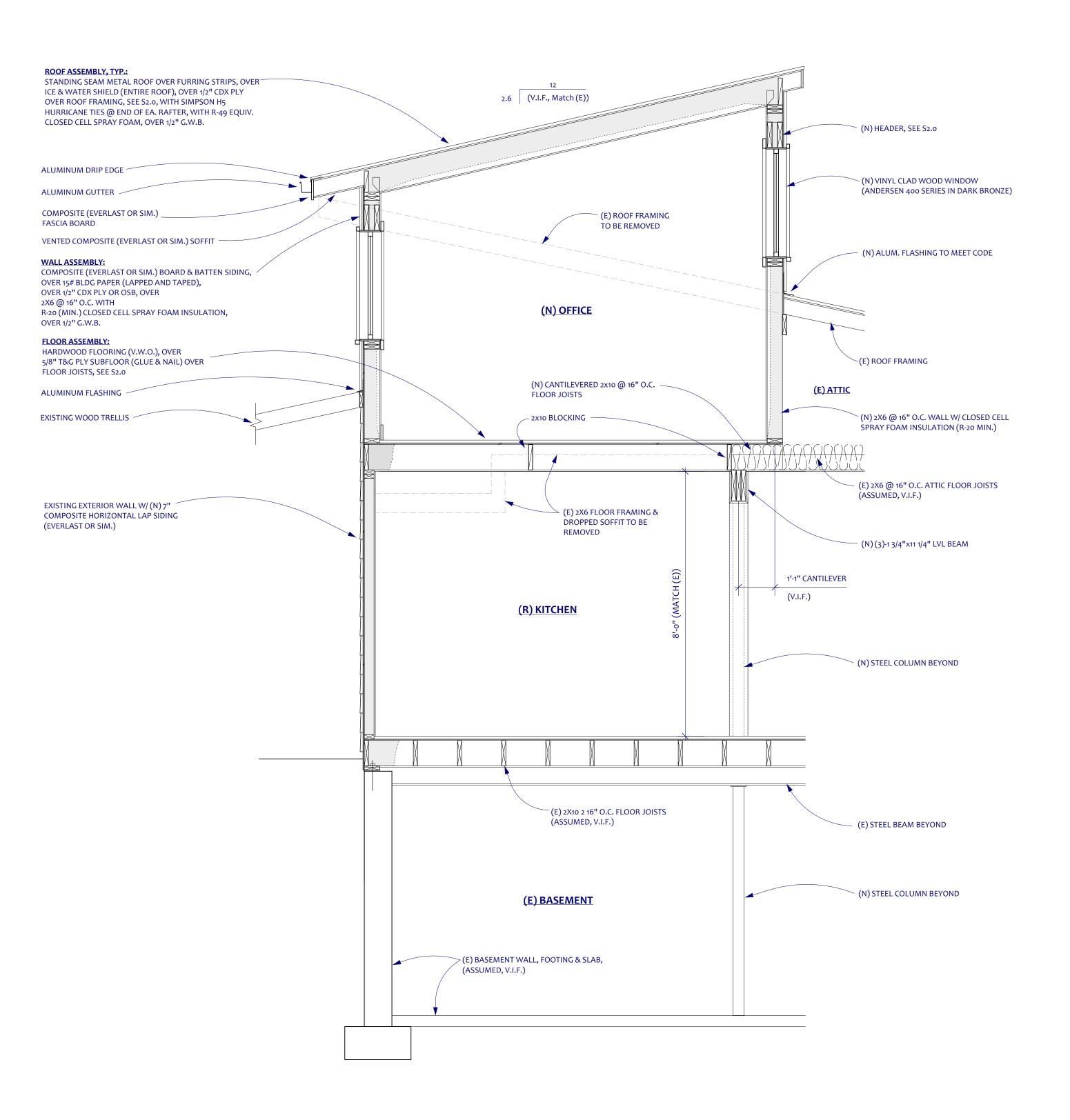
		linge side as v	iewed from Ext	erior, Typ.)		_			***
ID#	Quantity	Manuf	Call No.	Rough Opening (ea.)	Туре	Hinge	Glazing	Head	Remarks
X-1	1	Andersen 200	NLGD120611	-411'-93/4" x 6'-11"	4-Panel Narrowline Gliding Patio Drs		Tempered	1 - 5	w/ insect screens
Wind	ows: (W	indow Hinge s	ide as viewed	from Exterior, Typ.)					
ID#	Quantity	Manuf	Call No.	Rough Opening (ea.)	Туре	Hinge	Glazing	Head	Remarks
101	1 .	100000000000000000000000000000000000000		Tot off all a size	In (n) 10 (n)	I. 7. 76		Ter in	Te many
101	3	Andersen 400	CX14	2'-8" x 4'-0 1/2"	Casement/Fixed Casement/Casement	L//R		7'4"	3 mulled units
102	1	Andersen 400	CVII	2'-5" x 1'-1" (V.I.F.)	Fixed Shower Replacement **	None	Tempered, Obsc.	Existing	Waterproof (in shower)
103	1	Andersen 400	CX14	2'-8" × 4'-0 1/2"	Casement	Both	-	7'11"	10511
104a	_	Andersen 400		3'-2" x 3'-2" (V.I.F.)	French Casement Replacement **\	Both	Tempered	Existing	w/ S.D.L. (see elevation)
104b	11	Andersen 400		3'-2" x 3'-2" (V.I.F.)	French Casement Replacement **	Both		Existing	w/ S.D.L. (see elevation)
104c		Andersen 400		3'-2" x 3'-2" (V.I.F.)	French Casement Replacement **	Both	13	Existing	w/ S.D.L. (see elevation)
105a		Andersen 400		3'-2" x 3'-2" (V.I.F.)	French Casement Replacement **	Both		Existing	Egress
105b		Andersen 400	CVA	3'-2" x 3'-2" (V.I.F.)	French Casement Replacement **	Both		Existing	
106	3	Andersen 400	CX14	2'-8" x 4'-0 1/2"	Casement/Fixed Casement/Casement	L//R		6'10"	3 mulled units; Egress
107а 107Ь		Andersen 400	AR21	2'-0 5/8" x 1'-5 1/2"	Fixed Awning	None	-	7'6"	2 mulled units
	-	Andersen 400	C125	2'-0 5/8" x 2'-4 7/8"	Casement	R	7	71211	
108	1	Andersen 400	AR21	2'-0 5/8" x 1'-5 1/2"	Fixed Awning	None	Tempered	7'6" 6'10"	Waterproof (in shower)
109a		Andersen 400	CXW15	3'-0 1/2" x 5'-0 3/8"	Casement (Oper/Fix/Fix/Oper)	L/-/-/R	Tarana	10.10	8 mulled units
109b 110	4	Andersen 400	AR31		Fixed Awning	D. Al	Tempered	6'10"	Casement over Awning
110	1	Andersen 400	CW24	4'-9" x 4'-0 1/2"	French Casement	Both		10.10	
201	5	Andersen 400	CXW135	3'-0 1/2" x 3'-5 3/8"	Casements (Fix/Oper/Fix/Oper/Fix)	(-/R/-/L/-)		6'5"	5 Single Units, Not mulled
202	1	Andersen 400	CXW135	3'-0 1/2" x 3'-5 3/8"	Casement	R		7'0"	
203	3	Andersen 400	A335		Awnings (Oper/Fix/Oper)	(T/-/T)		9'0"	3 Single Units, Not mulled
204	1	Andersen 400	CXW135	3'-0 1/2" x 3'-5 3/8"	Casement	IL .	Tempered (stair)	-	n 2nd floor level)

* New windows to be Vinyl "Dark Bronze" Exterior, Wood Interior, double pane, low E w/ argon, Andersen 400 Series.

**NOTE: Some windows are replacement windows (indicated above); Shower windows shall have vinyl interior, V.W.O.







SECTION THROUGH SECOND FLOOR ADDITION

REVISIONS

It is a violation of New York State Education Law Article 145, Section 7209 for any person, unless acting under the direction of a licensed architect, professional engineer or leand surveyor to alter any item on this document in any way. Any licensee who alters this document is required by law to affits their seal and the notation "ALTERED By" followed by their signature and the date of such alteration, and a specific description of the alteration.

9x30 Design architecture

314 Hollywood Avenue Rochester, NY 14618 (ph) 585.242.0501 in fo@ 9 x 3 0 . c o m w w w . 9 x 3 0 . c o m

CHASE-KATZ RESIDENCE
37 BRIAR PATCH ROAD
ROCHESTER, NY 14618

SECTIONS & SCHEDULES

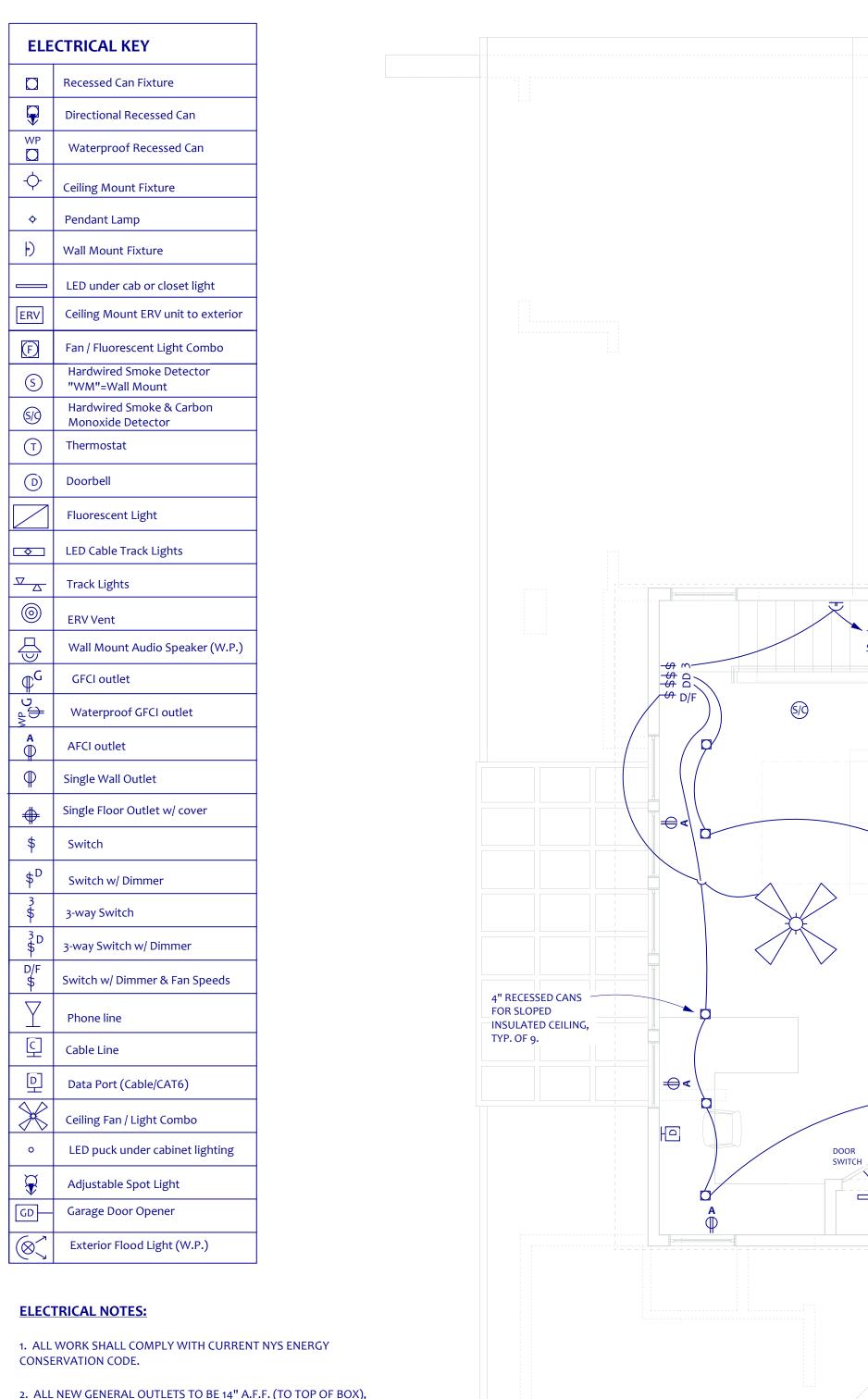
DATE: 5.11.22

SCALE: AS INDICATED

DRAWN BY: AEC

FOR BUILDING PERMIT

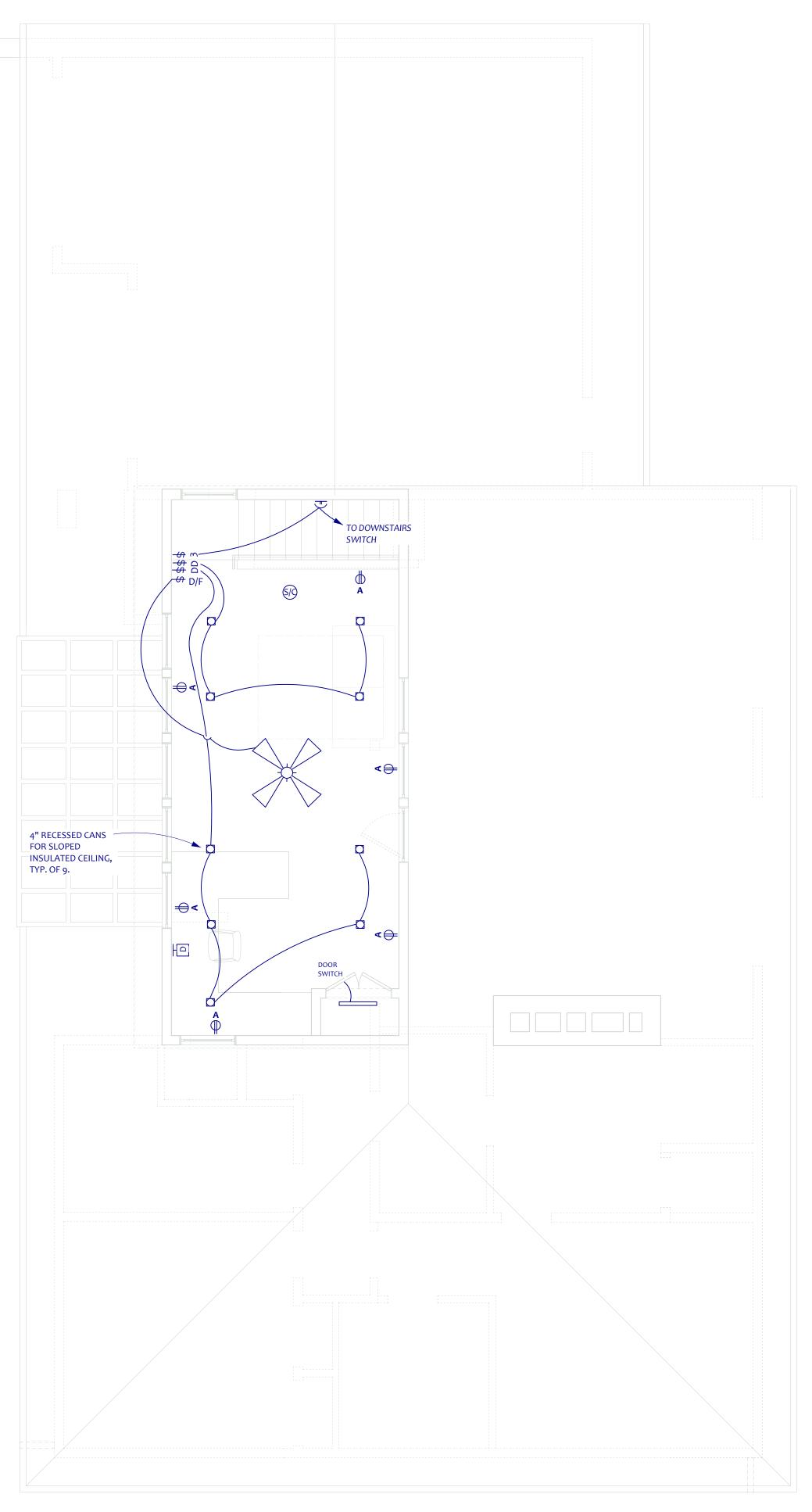
A4.0



- 2. ALL NEW GENERAL OUTLETS TO BE 14" A.F.F. (TO TOP OF BOX), UNLESS OTHERWISE NOTED. ALL NEW ABOVE COUNTER OUTLETS IN KITCHEN TO BE INSTALLED ACCORDING TO INTERIOR ELEVATIONS. ALL NEW SWITCHES TO BE 48" A.F.F. (TO TOP OF BOX).
- 3. ONLY ONE GFCI OUTLET PER CIRCUIT.
- 4. VERIFY ALL FIXTURE TYPES & LOCATIONS W/ OWNER. CONTRACTOR TO DISCUSS ELECTRICAL WITH OWNER TO DETERMINE ADDITIONAL NEEDS, SUCH AS CABLE, TELEPHONE, A/V EQUIPMENT, ETC.
- 5. ALL OUTLETS & ELECTRICAL HOOKUPS FOR APPLIANCES TO BE LOCATED & INSTALLED ACCORDING TO MANUFACTURER INSTALLATION
- 6. ALL APPLIANCES (REFRIGERATOR, RANGE, HOOD, DISHWASHER) TO BE PROVIDED BY OWNER.
- 7. ALL ELECTRICAL OUTLETS TO BE WHITE, RECTANGULAR STYLE, TAMPER RESISTANT 15 AMP DUPLEX OUTLETS, UNLESS OTHERWISE NOTED. COVER PLATES TO BE WHITE TO MATCH. SEE PLAN FOR AFCI AND GFCI REQUIRED LOCATIONS.
- 8. ALL SWITCHES TO BE WHITE ROCKER STYLE. DIMMER SWITCHES TO BE LUTRON "DIVA" PRESET DIMMER OR EQUAL. VERIFY WITH OWNER.

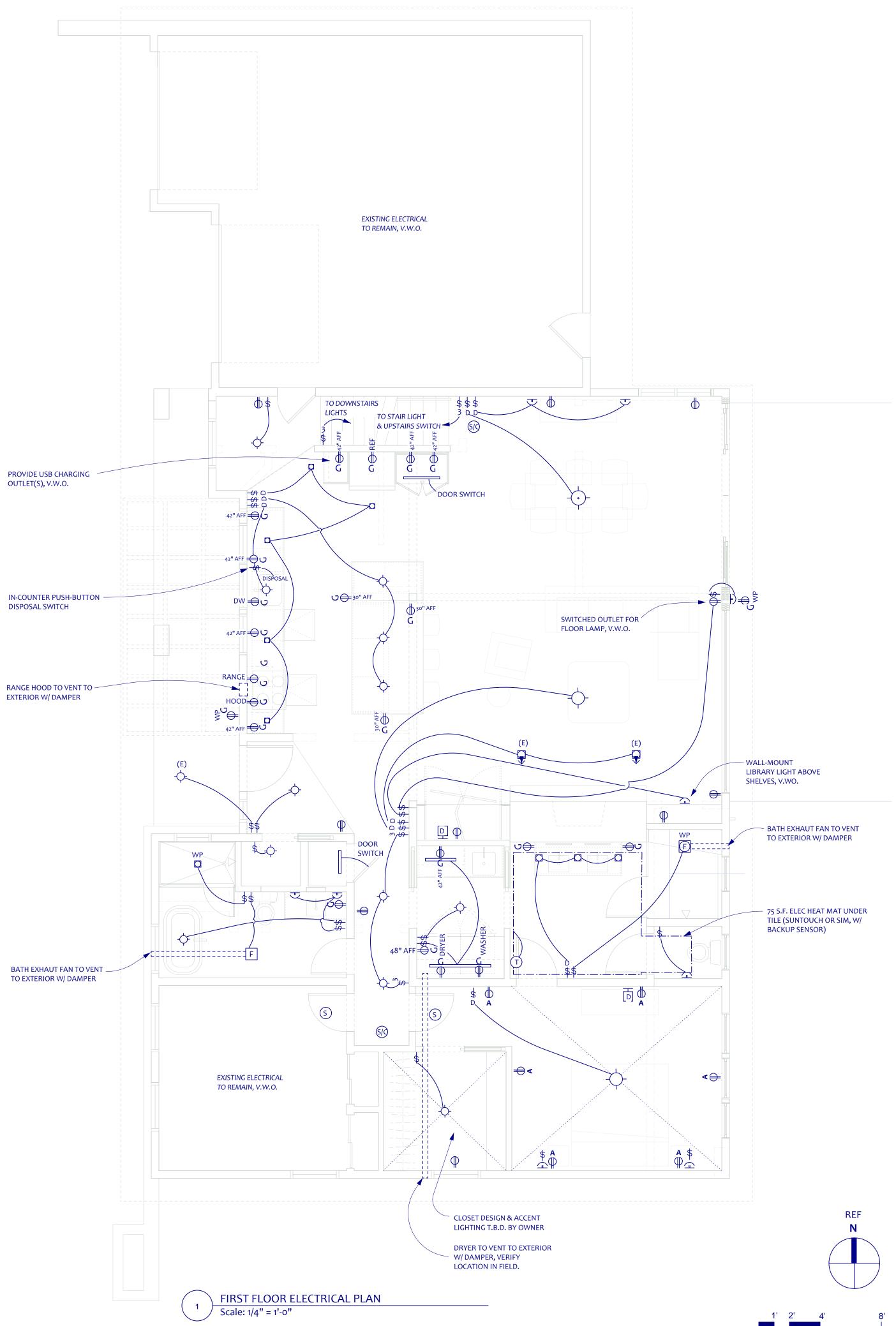
MECHANICAL & PLUMBING NOTES:

- 1. ALL EQUIPMENT TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS WITH ACCESS & CLEARANCES TO MEET
- 2. HVAC CONTRACTOR TO DETERMINE WHETHER EXISTING FURNACE HAS CAPACITY TO HEAT/COOL ADDITIONAL FLOOR AREA. ADDITIONAL FURNACE OR ELECTRIC MINI-SPLIT UNIT TO BE INSTALLED IF NECESSARY.



SECOND FLOOR ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



REVISIONS

9x30 Design

314 Hollywood Avenue

Rochester, NY 14618 (ph) 585.242.0501 info@9x30.com

www.9x30.com

SIDENC H ROAD 7 14618

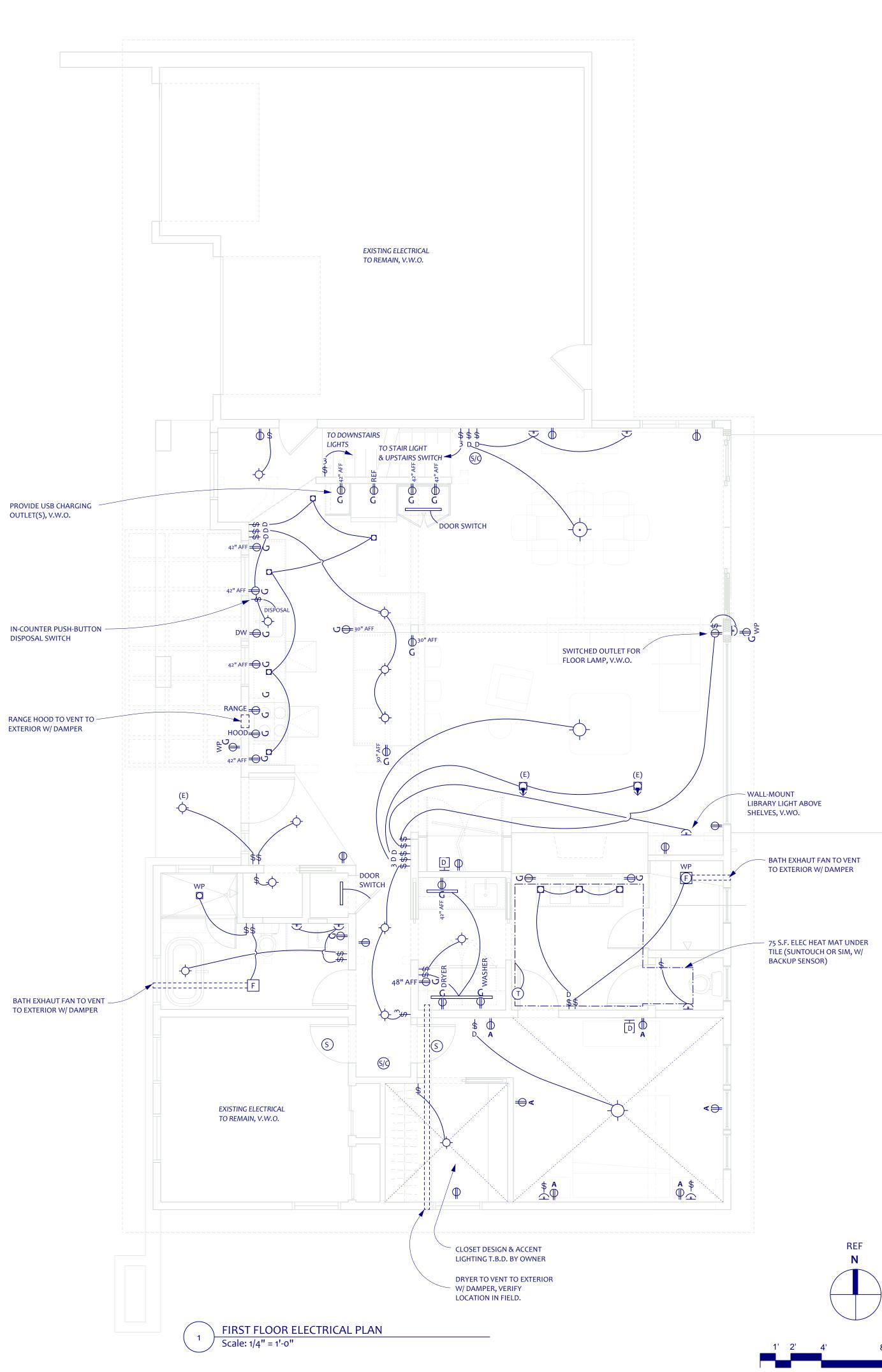
ASE-KAT 37 BRIAR F ROCHESTE

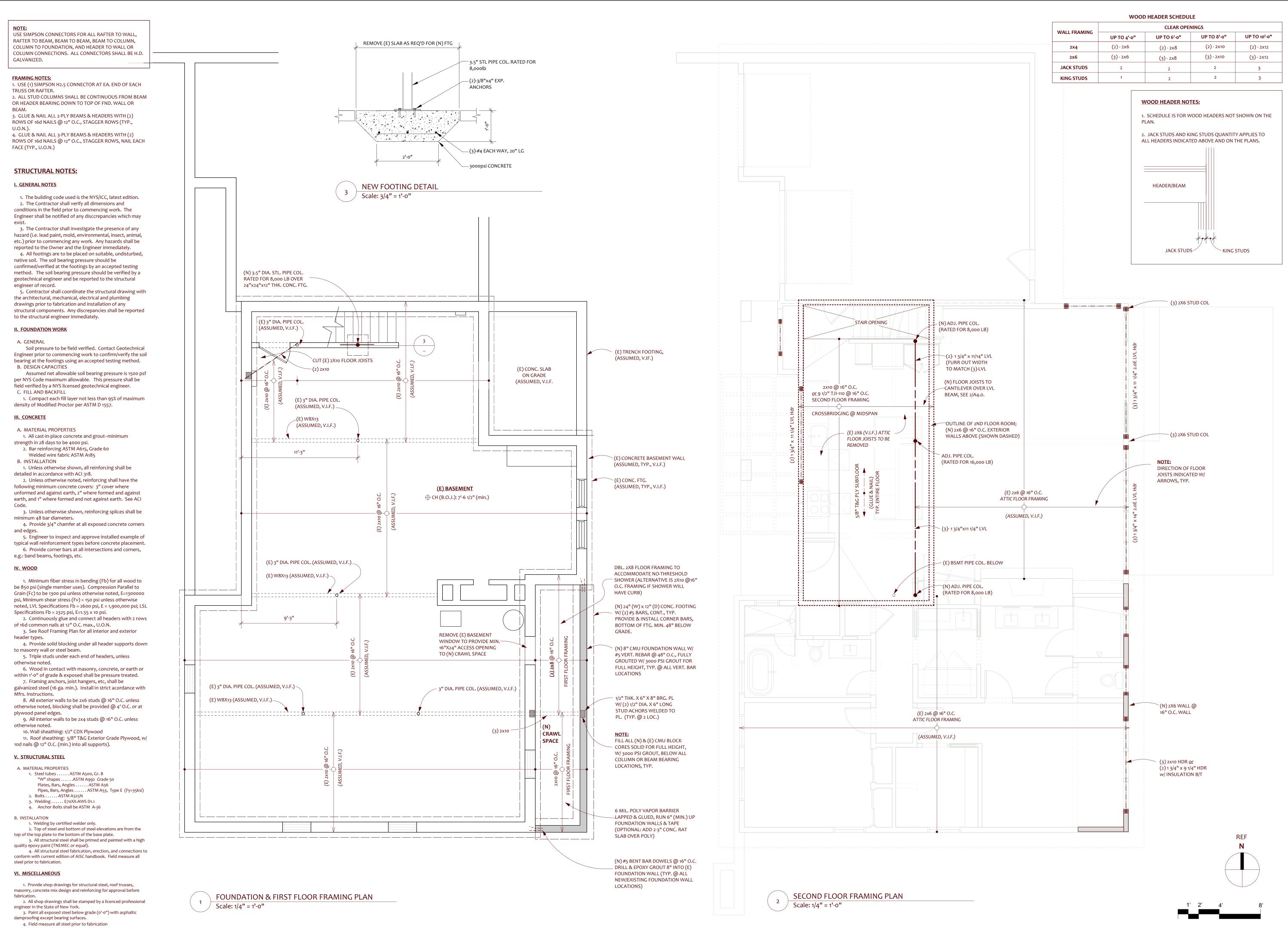
DATE: 5.11.22

SCALE: AS INDICATED

DRAWN BY: AEC

FOR BUILDING PERMIT





protessional engineer or leand surveyor to alter any item on this docum in any way. Any licensce who alters this document is required by law t affix their seal and the notation "ALTERED BY" followed by their signatu and the date of such alteration, and a spectific description of the alteration

9x30 Design 314 Hollywood Avenue

Rochester, NY 14618 (ph) 585.242.0501 info@9x30.com www.9x30.com

SIDEI ROAD '14618 ~ SE-KAT 37 BRIAR F ROCHEST

> FLO ANS UNDATION ?

DATE: 5.11.22 SCALE: AS INDICATED DRAWN BY: AEC FOR BUILDING PERMIT

NOTE:

USE SIMPSON CONNECTORS FOR ALL RAFTER TO WALL, RAFTER TO BEAM, BEAM TO BEAM, BEAM TO COLUMN, COLUMN TO FOUNDATION, AND HEADER TO WALL OR COLUMN CONNECTIONS. ALL CONNECTORS SHALL BE H.D. GALVANIZED.

FRAMING NOTES:

 USE (1) SIMPSON H2.5 CONNECTOR AT EA. END OF EACH TRUSS OR RAFTER.
 ALL STUD COLUMNS SHALL BE CONTINUOUS FROM BEAM OR HEADER BEARING DOWN TO TOP OF FND. WALL OR

BEAM.
3. GLUE & NAIL ALL 2-PLY BEAMS & HEADERS WITH (2)
ROWS OF 16d NAILS @ 12" O.C., STAGGER ROWS (TYP.,

U.O.N.).
4. GLUE & NAIL ALL 3-PLY BEAMS & HEADERS WITH (2)
ROWS OF 16d NAILS @ 12" O.C., STAGGER ROWS, NAIL EACH
FACE (TYP., U.O.N.)

STRUCTURAL NOTES:

I. GENERAL NOTES

The building code used is the NYS/ICC, latest edition.
 The Contractor shall verify all dimensions and conditions in the field prior to commencing work. The Engineer shall be notified of any disccrepancies which may

3. The Contractor shall investigate the presence of any hazard (i.e. lead paint, mold, environmental, insect, animal, etc.) prior to commencing any work. Any hazards shall be reported to the Owner and the Engineer immediately.
4. All footings are to be placed on suitable, undisturbed, native soil. The soil bearing pressure should be confirmed/verified at the footings by an accepted testing method. The soil bearing pressure should be verified by a

geotechnical engineer and be reported to the structural

engineer of record.
5. Contractor shall coordinate the structural drawing with the architectural, mechanical, electrical and plumbing drawings prior to fabrication and installation of any structural components. Any discrepancies shall be reported to the structural engineer immediately.

II. FOUNDATION WORK

A. GENERAL

Soil pressure to be field verified. Contact Geotechnical Engineer prior to commencing work to confirm/verify the soil bearing at the footings using an accepted testing method.

B. DESIGN CAPACITIES

Assumed net allowable soil bearing pressure is 1500 psf per NYS Code maximum allowable. This pressure shall be field verified by a NYS licensed geotechnical engineer.

C. FILL AND BACKFILL

1. Compact each fill layer not less than 95% of maximum density of Modified Proctor per ASTM D 1557.

III. CONCRETE

A. MATERIAL PROPERTIES

 All cast-in-place concrete and grout-minimum strength in 28 days to be 4000 psi.
 Bar reinforcing ASTM A615, Grade 60 Welded wire fabric ASTM A185

B. INSTALLATION

1. Unless otherwise shown, all reinforcing shall be

detailed in accordance with ACI 318.

2. Unless otherwise noted, reinforcing shall have the following minimum concrete covers: 3" cover where unformed and against earth, 2" where formed and against earth, and 1" where formed and not against earth. See ACI

3. Unless otherwise shown, reinforcing splices shall be minimum 48 bar diameters.

4. Provide 3/4" chamfer at all exposed concrete corners and edges.

and edges.
5. Engineer to inspect and approve installed example of typical wall reinforcement types before concrete placement.
6. Provide corner bars at all intersections and corners,
e.g.: band beams, footings, etc.

IV. WOOD

1. Minimum fiber stress in bending (Fb) for all wood to be 850 psi (single member uses). Compression Parallel to Grain (Fc) to be 1300 psi unless otherwise noted, E=1300000 psi, Minimum shear stress (Fv) = 150 psi unless otherwise noted, LVL Specifications Fb = 2600 psi, E = 1,900,000 psi; LSL Specifications Fb = 2325 psi, E=1.55 x 10 psi.

Continuously glue and connect all headers with 2 rows of 16d common nails at 12" O.C. max., U.O.N.
 See Roof Framing Plan for all interior and exterior

header types.

4. Provide solid blocking under all header supports down to masonry wall or steel beam.

5. Triple studs under each end of headers, unless otherwise noted.

otherwise noted.
6. Wood in contact with masonry, concrete, or earth or within 1'-o" of grade & exposed shall be pressure treated.
7. Framing anchors, joist hangers, etc, shall be

Mfrs. Instructions.

8. All exterior walls to be 2x6 studs @ 16" O.C. unless otherwise noted, blocking shall be provided @ 4' O.C. or at

galvanized steel (16 ga. min.). Install in strict acordance with

plywood panel edges.
9. All interior walls to be 2x4 studs @ 16" O.C. unless otherwise noted.

10. Wall sheathing: 1/2" CDX Plywood

11. Roof sheathing: 5/8" T&G Exterior Grade Plywood, w/ 10d nails @ 12" O.C. (min.) into all supports).

V. STRUCTURAL STEEL

A. MATERIAL PROPERTIES

1. Steel tubes ASTM A500, Gr. B

"W" shapes ASTM A992 Grade 50

Plates, Bars, Angles ASTM A36

Pipes, Bars, Angles ASTM A53, Type E (Fy=35ksi)

2. Bolts ASTM A325N

3. Welding E70XX-AWS D1.1

4. Anchor Bolts shall be ASTM A-36

B. INSTALLATION

Welding by certified welder only.
 Top of steel and bottom of steel elevations are from the top of the top plate to the bottom of the base plate.
 All structural steel shall be primed and painted with a high quality epoxy paint (TNEMEC or equal).
 All structural steel fabrication, erection, and connections to

conform with current edition of AISC handbook. Field measure all

steel prior to fabrication. VI. MISCELLANEOUS

Provide shop drawings for structural steel, roof trusses, masonry, concrete mix design and reinforcing for approval before fabrication.

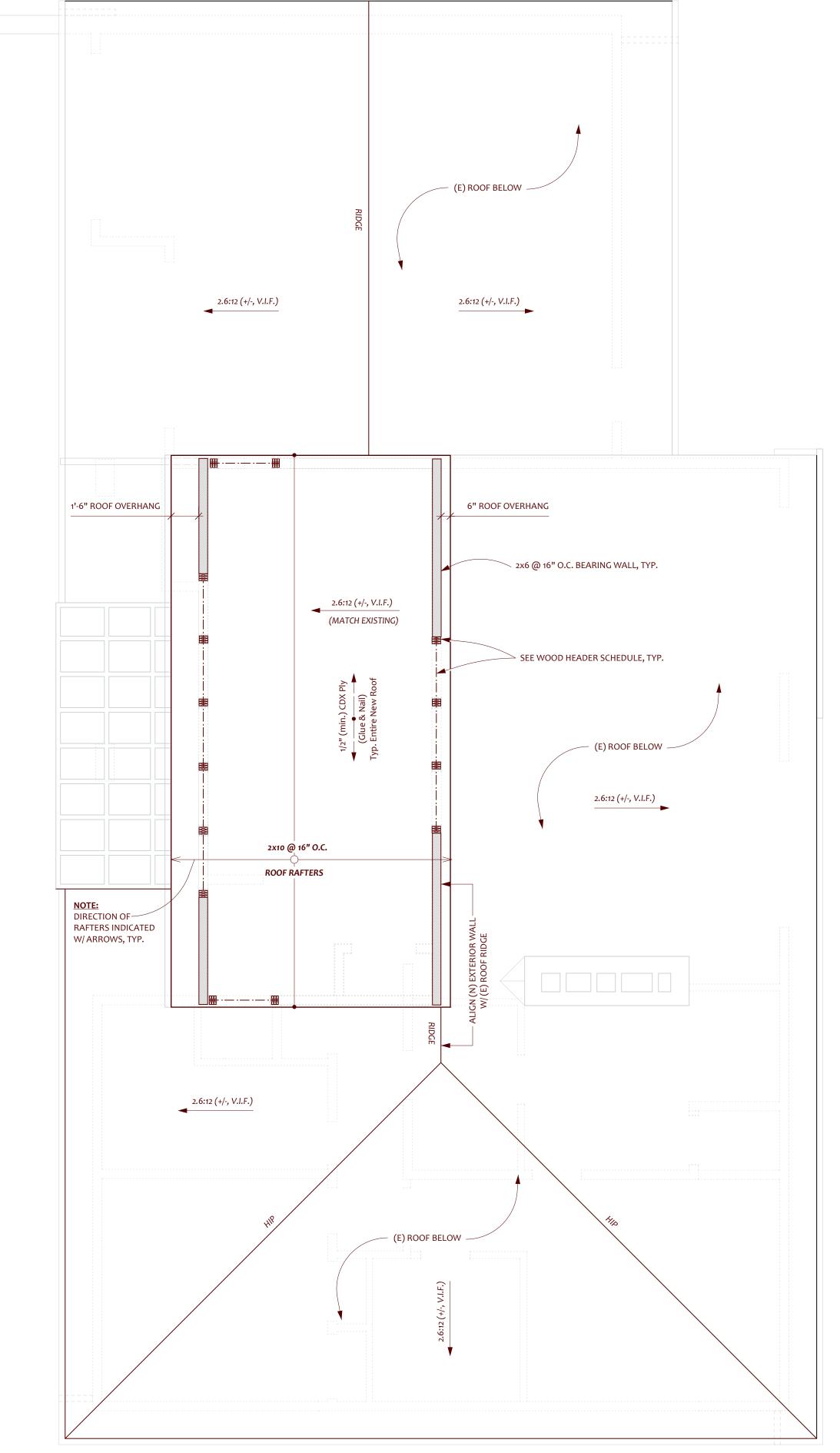
All shop drawings shall be stamped by a licenced professional engineer in the State of New York.
 Paint all exposed steel below grade (o'-o") with asphaltic damproofing except bearing surfaces.

4. Field measure all steel prior to fabrication

WOOD HEADER SCHEDULE

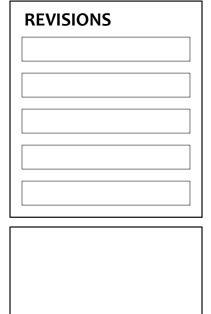
VALL FRAMING	CLEAR OPENINGS						
VALL FRAMING	UP TO 4'-0"		UP TO 8'-o"	UP TO 10'-0"			
2X4	(2) - 2x6	(2) - 2x8	(2) - 2X10	(2) - 2X12			
2x6	2x6 (3) - 2x6		(3) - 2x10	(3) - 2x12			
JACK STUDS	2	2	2	3			
KING STUDS	1	2	2	3			

WOOD HEADER NOTES: 1. SCHEDULE IS FOR WOOD HEADERS NOT SHOWN ON THE PLAN. 2. JACK STUDS AND KING STUDS QUANTITY APPLIES TO ALL HEADERS INDICATED ABOVE AND ON THE PLANS. HEADER/BEAM JACK STUDS KING STUDS



Scale: 1/4" = 1'-0"









CHASE-KATZ RESIDEN
37 BRIAR PATCH ROAD
ROCHESTER, NY 14618

ROOF FRAMING PLAN

DATE: 5.11.22

SCALE: AS INDICATED

DRAWN BY: AEC

FOR BUILDING PERMIT

CHASE-KATZ

__⁸ S2.0



200 SERIES Patio Doors





DESIGN AND EFFICIENCY

200 Series products deliver Andersen quality at an uncommon value. Built with the right materials in the right places, they offer durability, long-term beauty and options to fit your project needs. And like all Andersen products, they are supported by over 115 years of commitment to quality and service that can only come from one of the most trusted names in the industry.



- · Weather-resistant construction for greater comfort and energy efficiency
- Variety of Low-E glass options available to help control heating and cooling in any climate
- Narroline gliding patio doors combine the beauty of natural wood with our Perma-Shield cladding on the exterior that offers superior weather resistance and is virtually maintenance free
- Perma-Shield gliding patio doors are protected inside and out with rigid vinyl cladding to give your home a contemporary look and energy-saving performance
- Gliding doors feature a reach-out lock that seals the panel tight against the frame and adjustable rollers for smooth operation
- Blinds-between-the-glass on Perma-Shield gliding patio doors offer privacy and convenience
- Hinged patio doors offer traditional styling and adjustable hinges that help provide a weathertight seal and smooth operation

PRODUCT TYPES

- · Narroline gliding patio doors
- Perma-Shield gliding patio doors
- · Hinged inswing patio doors



200 SERIES Patio Doors

PRODUCT OPTIONS

GLASS OPTIONS

All patio doors feature tempered glass.

- Low-E glass
- · Low-E with HeatLock Technology
- Low-E SmartSun[™] glass
- · Low-E SmartSun glass with HeatLock Technology

Additional glass options, including blindsbetween-the-glass, are available. Contact your Andersen supplier for availability.



EXTERIOR COLORS



Hinged inswing patio doors are only available with white, Sandtone or Terratone exteriors.

INTERIOR OPTIONS



Choose unfinished pine or white for Narroline' patio doors.

Perma-Shield' gliding patio doors interiors match the exterior color selected.

Hinged inswing patio doors are only available with a white interior.

ASK ABOUT ENERGY STAR

HARDWARE OPTIONS





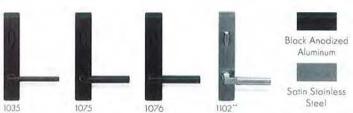




Bold name denotes finish shown

FSB HARDWARE

FSB hardware available in a black anodized aluminum or satin stainless steel finish.



HARDWARE FINISHES





For more information, visit andersenwindows.com/200series

*Hardware is sold separately.

**FSB style 1102 is not available in black analized aluminum.

Tribeca and Albany hardware are zinc die cast with powder-coat durable finish.

Yuma, Encino, Newbury and Anvers are solid forged brass. FSB is stainless steel or aluminum.

Distressed branze and oil rubbed branze are "living" finishes that will change with time and use.

Bright brass and softn nickel finishes on patio door hardware feature a 10-year limited warranty.

Matching hinges available in most finishes for inswing patio doors, excludes FSB.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

Andersen and all other marks where denoted are trademarks of Andersen Corporation. ©2022 Andersen Corporation. All rights reserved, 03/22



400 SERIES



2021-22 PRODUCT GUIDE FOR PROFESSIONALS





CASEMENT & AWNING WINDOWS

FEATURES

FRAME

- A seamless one-piece, rigid vinyl frame cover is secured to the exterior of the frame to protect the wood frame from moisture and maintain an attractive appearance while minimizing maintenance.
- 1 The seamless rigid vinyl cover extends 1 3/a" (35) around the perimeter of the unit, creating a flange to help seal the unit to the structure.
- Wood frame members are treated with a water-repellent preservative for lang-lasting protection and performance.
- Interior stops are unfinished pine. Low-maintenance prefinished white, dark bronze and black" interiors are also available

SASH

- **3** Rigid vinyl encases the entire sash - a vinyl weld protects each sash corner for superior weathertightness. It maintains an attractive appearance and minimizes maintenance.
- **6** Wood core members provide excellent structural stability and energy efficiency.
- **6** Vinyl closed-cell foam weatherstrip is factory installed on the perimeter of the sash.

GLASS

- 1 In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.
- A glazing bead and silicone provide superior weathertightness and durability.
- High-Performance options include:
- · Low-E4® glass
- · Low-E4 HearLock® glass
- · Low-E4 SmartSun" alass
- · Low-E4 SmartSun HeatLock glass
- · Low-E4 Sun glass

Tempered and other glass aptions are available. Contact your Andersen

A removable translucent film helps shield the alass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned Glass

Patterned glass options are available. See page 12 for more details.



HARDWARE

Smooth Control Hardware System



The smooth control hardware system employs a worm gear drive for easy. operation. Units with a wash mode have hinges that move the sash away from the frame to provide easier glass

cleaning, CXW15, CXW155, CXW16 and CXW25 sizes not available with wash mode. Hardware option and finish must be specified. Operator handle and cover sold separately.

Single-Actuation Casement Lock



On casement windows, a singleactuation lock easily releases all locking points on the casement sash while the reach-out action eliminates binding when closing. The lock handle is offered in finishes that coordinate with your specified hardware option.

Awning Sash Locks



Awning sash locks provide an added measure of security and weathertightness. Hardware style and finish options are compatible with Andersen" casement windows to ensure consistency in appearance when used in window combination designs.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Storm WATCH

400 Series casement and awning windows are available with Stormwatch® Protection. For more details, visit andersenwindows.com/coastal.

Performance Grade (PG) Upgrades

Performance upgrades are available for select sizes of standard, non-impact casement and awning windows,

allowing these units to achieve higher performance ratings. Performance Grade (PG) ratings are more comprehensive than Design Pressure (DP) ratings for measuring product performance. Visit andersenwindows.com for up-ta-date performance information of individual products. Contact your Andersen supplier for availability.

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



HARDWARE OPTIONS Sold Separately



CONTEMPORARY FOLDING

Black | Bright Brass | Gold Dust Oil Rubbed Bronze | Satin Nickel Stone | White



TRADITIONAL FOLDING

Antique Brass | Black | Bright Brass Distressed Bronze | Distressed Nickel Gold Dust | Oil Rubbed Bronze Satin Nickel | Stone | White

Folding handles avoid interference with window treatments.



Stone | White

Bold name denotes finish shown.



ESTATE"

Antique Brass | Bright Brass Brushed Chrome | Distressed Bronze Distressed Nickel | Oil Rubbed Bronze Polished Chrome | Satin Nickel

HARDWARE FINISHES



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified. Distressed bronze and all rubbed bronze are "living" finishes that will change with time and use.

^{*}Visit andersenwindows.com/warranty for details.

^{**}Products with dark bronze and black interiors have matching exteriors.



ACCESSORIES Sold Separately

FRAME

Extension Jambs



Standard jamb depth is 21/4" (73). Extension jambs are available in unfinished pine or prefinished white, dark bronze and black. Some sizes may be veneered.

Factory-applied and non-applied interior extension jambs are available in V_{16} " (1.5) increments between $4\,\%_{16}$ " (116) and $7\,\%_{1}$ " (118). Extension jambs can be factory applied to either three sides (stool and apron application) or four sides (picture frame casing).

Thick Replacement Extension Jambs

To help preserve original alignment of trim and paint lines in replacement situations, special 11½" (29) thick replacement extension jambs are available. Factory-applied and non-applied extension jambs are available in 1½" (1.5) increments between 4½" (116) and 7½" (181). Non-applied extension jambs are available in 12" (3658) lineals. Detail on page 34.

Drywall Return Bead



A drywall return bead is available in a narrow or wide dimension with unfinished pine or prefinished white, dark bronze and black interiors. Can be ardered factory applied or in non-applied lineals. Detail on page 34.

HARDWARE

Corrosion-Resistant Components



Corrosion-resistant hinge and operator arm hardware is designed for applications in harsh and corrosive environments such as heavy industrial or coastal areas."

Window Opening Control Device



A window opening control device is available, which limits sash travel to less than 4" (102) when the window is first opened. Available factory applied, or as a field-applied kit in white, stone and black.

Power Operator for Awning Windows



Awning windows can be ordered with an operator enhanced by PowerAssist technology that opens and closes the window with the touch of a button. Easy to install, the 24-volt system features a concealed window power drive, battery backup in case of a power outage and a moisture sensor that automatically closes the window when it rains. A wireless remote control is available (sold separately).

The PowerAssist system is controlled by a wall-mounted console, which includes a power bax, battery, touch pad and mounting bracket. Windows can be ordered factory prepped to save time, or they can be ordered as a field kit. Power driver requires field installation. PowerAssist technology eliminates the need for sash locks. Available for windows up to 5' (1524) wide. Not available for units with Stormwatch® Protection or performance upgrades.

SPECIAL USE OPERATOR HANDLES

Available in Classic Series™ design only.

Compact Operator Handle



Specially designed for use in situations where blinds or other window treatments interfere with standard operator handle. Available in white or stone finish.

Easy-Grip Handle

Larger knob makes it easier to grip and operate. Available in white or stone finish.

Operator Spline Cover



An operator spline cover is an attractive cap that covers the roto operator stud when the handle has been removed to control access or operation of the window. The operator spline cover should not be used on any window designated or intended for emergency escape or rescue, Please consult your local building code official for local egress code requirements.

Metal T-Handle





Our smallest operator handle, the metal T-handle, may make it more difficult for young children (5 and under) to open the window. For more information on child safety, write;

Andersen Corporation
LookOut For Kids® Program
100 Fourth Avenue North
Bayport, MN 55003
Call 800-313-8889 or email
lofk@andersencorp.com.

GLASS

Andersen® Art Glass

Andersen art glass panels come in a variety of original patterns. See art glass section starting on page 173 for more information or visit andersenwindows.com/artglass.

INSECT SCREENS

TruScene® Insect Screens



Andersen TruScene insect screens let in over 25% more fresh air and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects. For casement and awning windows, frames are available in white, stone, dark bronze and black, or with pine veneer frame interiors to blend with the wood interior of the window.

Conventional Insect Screens

Conventional insect screens have charcoal powder-coated aluminum screen mesh. Available with frames in white, stone, dark bronze and black.

GRILLES

Grilles are available in a variety of configurations and widths. For casement and awning window grille patterns, see page 34.

EXTERIOR TRIM

Available with Andersen exterior trim. See exterior trim section starting on page 175.

CAUTION

- Painting and staining may cause damage to rigid vinyl.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- Do not paint 400 Series windows in white, carivas, Sandtone, dark bronzo, forest green at black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces
- For viryl painting instructions and preparation contact your Anderson supplier
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners as solutions containing corrosive solvents should not be used on Andersen products

^{*}Visit andersenwindows.com/warranty for details.

^{**}TruScene insect screens let in over 25% more fresh oir than standard Andersen fiberglass insect screens.

Dimensions in parentheses are in millimeters.



SL-16® is a sleek and rich looking, contemporary standing seam, hidden fastener panel system ideal for residential applications. SL-16® panels are formed from high tensile strength, using 29- and 26-gauge steel, which is protected with a Galvalume® coating. Our state of the art Signature® 200 paint system is then applied, providing years of warranted protection including Energy Star Compliance, Class A UL Fire Rated, and UL 2218 Class 4 rated for impact resistance.

Product Specifications

Applications: Roof Coverage Widths: 16"

Rib Height: 1" Minimum Slope: 3:12

Panel Attachment: Concealed Fastening System

Gauges: 29 (standard); 26 (optional)

Finishes: Striations (standard); Minor Rib Striations (optional) Coatings: Galvalume Plus®, Signature® 200, Signature® 300,

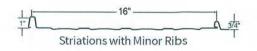
Signature® 300 Metallic

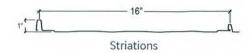
Features and Benefits

UL 580 ratings are available, as well as UL 790, Class A for external fire, roof assembly for UL 263 for internal fire and the UL 2218 Class 4 impact rating.

SL-16 carries Florida approval.







SL-16®



CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
ENVIRONMENTAL	Impact Resistance	UL 2218	Determines Impact Resistance of prepared Roof Covering Materials	Class 4 Rating
	Room Fire Performance	UL 790	Standard for Standard Test Methods for Fire Tests of Roof Coverings	See Class A Fire Rating Data Sheet
FIRE RESISTANCE	Room Fire Performance	UL 263	Standard for Fire Tests of Building Construction and Materials	For use in Design Nos. P225, P227, P230, P237, P265, P268, P508, P510, P512, P701, P711, P720, P722, P726, P731, P734, P801, P815, P819.
STRUCTURAL	Uplift Resistance	ASTM E 1592	Provides a standard procedure to evaluate or confirm structural performance under uniform static air pressure difference	See Load Chart Section
	Gravity Loads	AIS/ \$100	North American Specification for the Design of Cold-Formed Steel Structural Members	See Section Properties and Allowable Load Table Section
	Roof Performance Underwriters Laboratories	UL 580	Determines the uplift resistance of roof assemblies consisting of the roof and roof coverings materials	Class 90 Rating - Construction Number 529
ROOF LISTINGS	Roof Performance - Florida Approval	UL 580 UL 1897 UL 790	Florida product approval is the approval of products and systems, which comprise the building envelope and structural frame, for compliance with the structural requirements of the Florida Building Code.	See FL# 11903.4
	Roof Performance - Texas Department of Insurance	UL 580 UL 1897	TWIA provides windstorm and hail insurance in areas exposed to hurricanes and currently provides windstorm and hail coverage in the following 14 "first tier" Texas coastal counties: Aransas, Brazoria, Calhoun, Cameron, Chambers, Galveston, Jefferson, Kenedy, Kleberg, Matagorda, Nueces, Refugio, San Patricio and Willacy.	See RC-357

For a complete line of trim and accessories, as well as available colors, please visit our website at ABCMetalRoofing.com.

abcmetalroofing.com | shop.abcmetalroofing.com





Warranty Options

Premium

Gauge

29

Substrate

Galvalume

Paint System

Signature Series Valspar Weather Siliconized Polyester 18 Colors

Warranty

40-Year Film Integrity 30-Year Chalk & Fade 25-Year Substrate

Gauge

29

Substrate

Galvalume

Paint System

Signature Series Valspar Weather Siliconized Polyester 12 Colors

Warranty

40-Year Film Integrity 30-Year Chalk & Fade

Econo 20

Gauge

29

Substrate

Various

Paint System

Signature Series Valspar Weather Siliconized Polyester 10 Colors

Warranty

20-Year Film Integrity 15-Year Chalk & Fade

-	Buckskin 727				
	Burgundy 717	0			
	Burnished Slate 212	0			0
	Charcoal Gray 219		0	0	0
-	Clay 238	0			
	Coal Black 203	D		0	
	Cobalt Blue 209	0			
	Desert Sand 217	0		0	
	Evergreen 234	D			
	Galvalume Plus® 018	0			
100	Galvanized 001	D			
	Gray 725	0	0	D	0
	Hawaiian Blue 204	0			
	lvy Green 712	0	D	0	0
	Koko Brown 215	D	0	0	0
	Light Stone 206	0	0	0	0
	Polar White 202	D		0	0
	Radiant Red 730	0			
	Regal White 702	0	0	0	0
	Rustic Red 207	O	0	0	0
	Saddle Tan 221	D	0	0	0
	Vintage White 230	0			

AREMUM SCHALURE DO

29-GAJGE

LUNAU GALGE

Paint Finishes

Signature 200 & 300

ABC's Signature paint systems utilize an SMP (siliconmodified polyester) finish available in a number of high-end colors.

Kynar 500

ABC also provides several custom, special order colors in KYNAR 500, PVDF resin-based coating or finish.

"Signature is a registered trademark of the NCI group, Inc. KYNAR 500 is a registered trademark of Arkema, Inc.

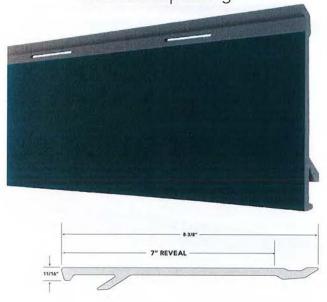
Digital Imaging and Roof Estimating

At ABC we've designed residential solutions with you in mind. Whether you're interested in satellite mapping of your roof, a digital measurement of your roof area and lines, or a consultation on what panel type and color would be best suited for your home, ABC is here to help.

LAP SIDING

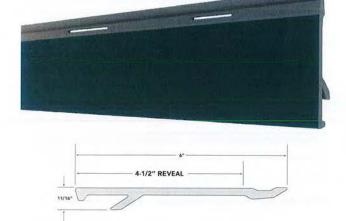
TWO REVEALS AVAILABLE FOR YOUR IDEAL HOME







Narrow Lap Siding





Everlast® Lap Siding Sand Dune

Everlast® Lap Siding

Sand Dune

Unlike real wood, engineered wood, and fiber cement siding:



Everlast siding forever eliminates painting and caulking



Everlast siding is virtually impervious to water



Everlast siding is highly resistant to fading and discoloration



Everlast siding never bows, warps, splits, or swells



Everlast siding is insect-resistant



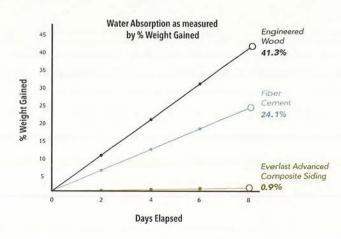
Everlast siding is ideal for wet and harsh climates

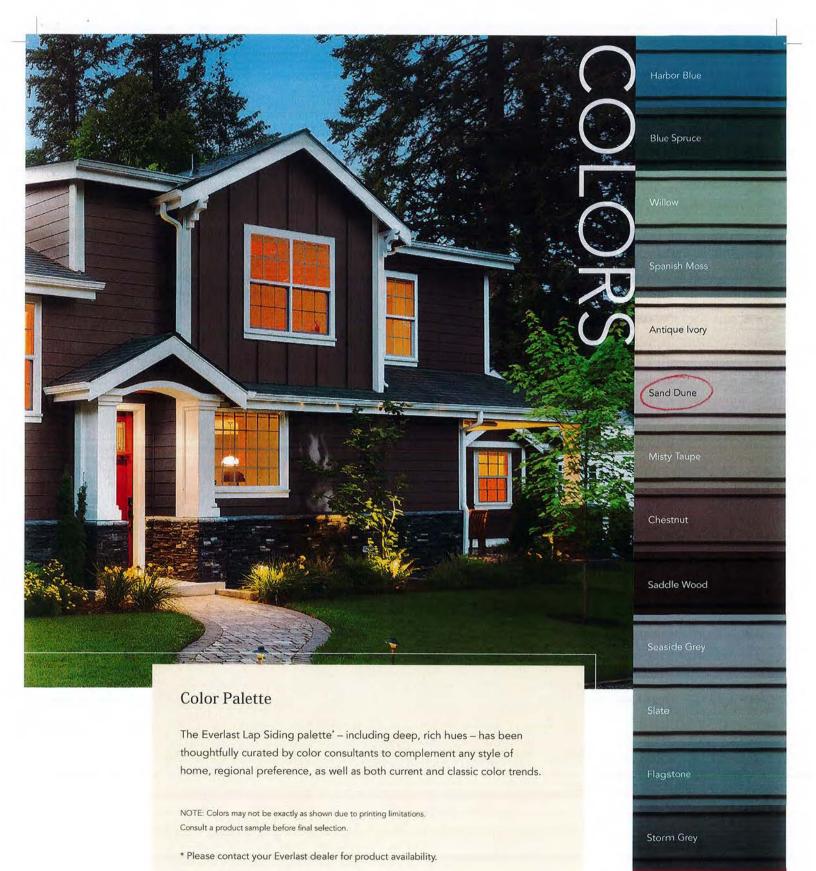


Everlast® Lap Siding Flagstone

Siding's #1 Enemy is Simply No Match For Everlast

Testing to compare Everlast siding's water absorption rate compared to engineered wood and fiber cement reveals a dramatic difference. Everlast's absorption rate is negligible, while engineered wood and fiber cement require diligent maintenance to achieve effective moisture protection.





Cabemerk

Natural White



Contemporary Rustic Charm

Choose Everlast Board & Batten to give your home rustic, yet highly contemporary, appearance. Use Everlast Board & Batten exclusively, or combine with Everlast Lap Siding.





1 SIDING





Efficient One-Piece Design

Unlike other board and batten siding products that require two pieces – both a board and a batten – Everlast Board & Batten combines these two pieces into one, to eliminate unsightly fasteners and to help ensure top quality installation.

Color Palette

The Everlast Board & Batten palette' features many of the same hues as Everlast Lap Siding and complements any style of home, regional preference, as well as both current and classic color trends.

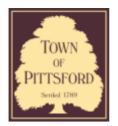
NOTE: Colors may not be exactly as shown due to printing limitations. Consult a product sample before final selection.

* Please contact your Everlast dealer for product availability.



Natural White





Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000086

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 516 Canfield Road F	PITTSFORD, NY 14534
---------------------------------------	---------------------

Tax ID Number: 192.03-2-3

Zoning District: RRSP Rural Residential South Pittsford

Owner: Constantine, Adam
Applicant: Constantine, Adam

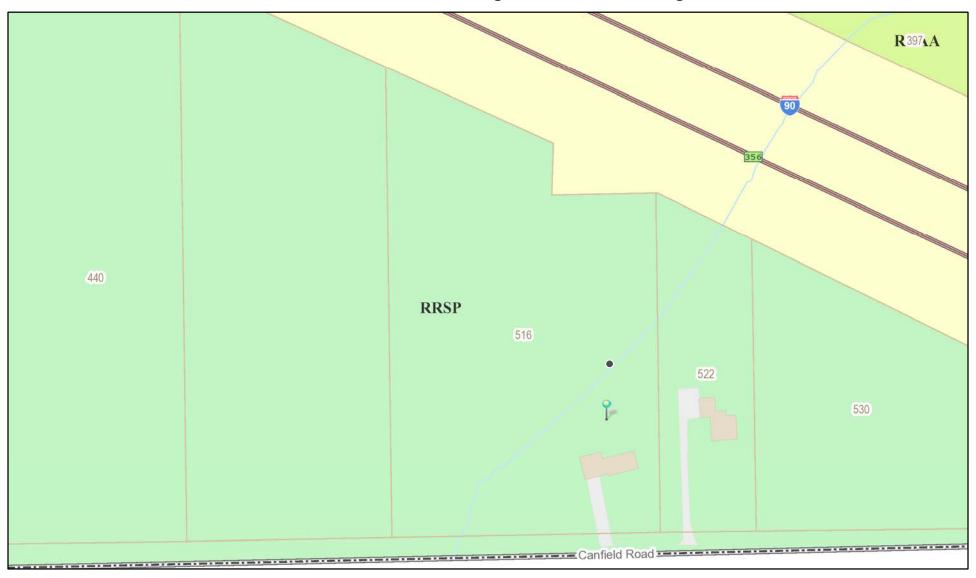
Application Type:

	Residential Design Review	Build to Line Adjustment
✓	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

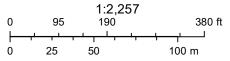
Project Description: Applicant is requesting design review for the construction of a new front overhang entryway including new steps and landing with improved lighting fixtures.



RN Residential Neighborhood Zoning



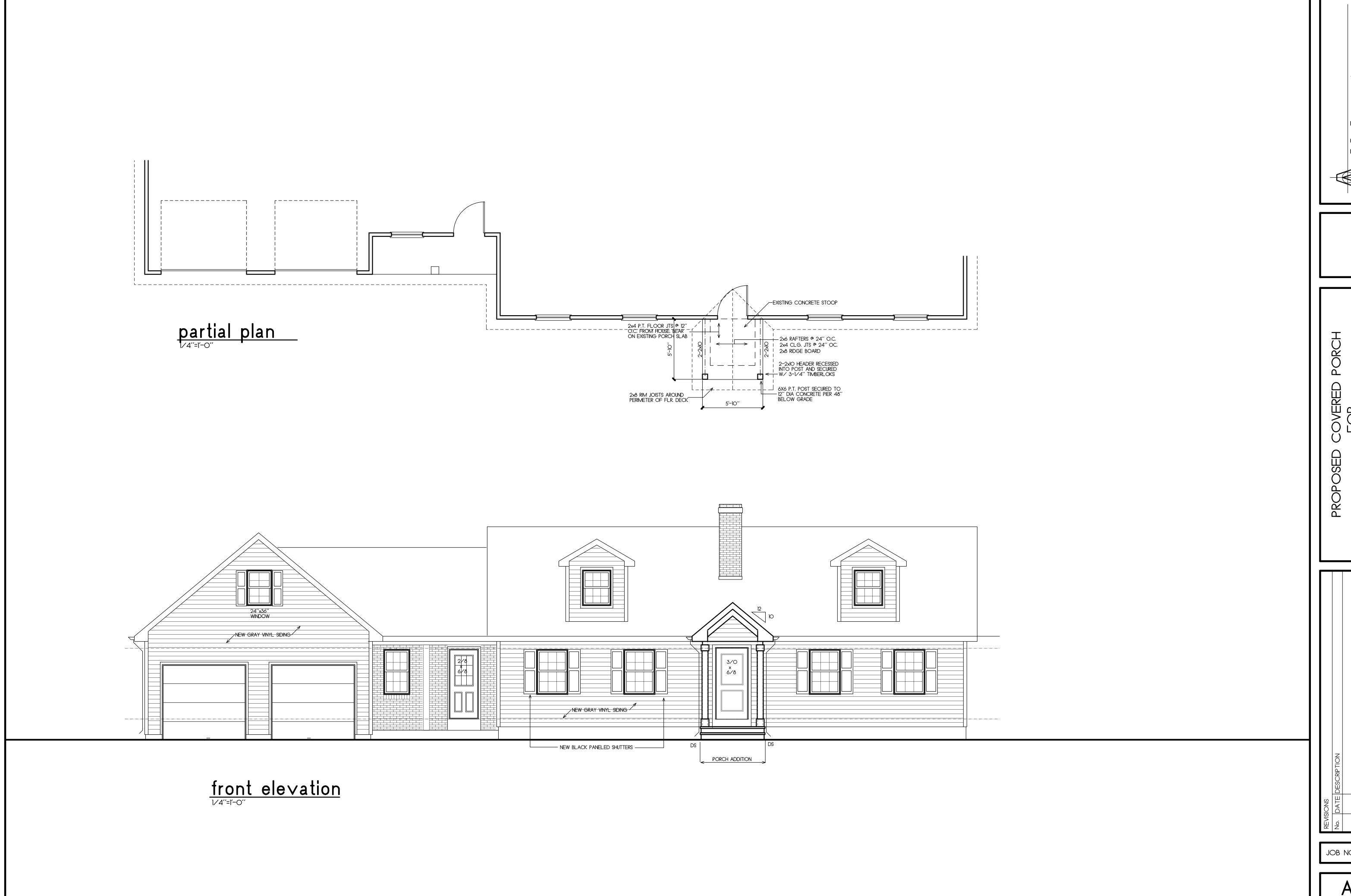
Printed May 18, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



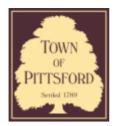


51

JOB NO. # 516

A-1

MAY 2, 2022



Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000088

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD DEEEDDAL OF ADDLICATION

REFERRAL OF APPLICATION	
Property Address: 33 Aden Hill PITTSFORD, NY 14534	
Tax ID Number: 178.03-4-70	

Zoning District: IZ Incentive Zoning

Owner:

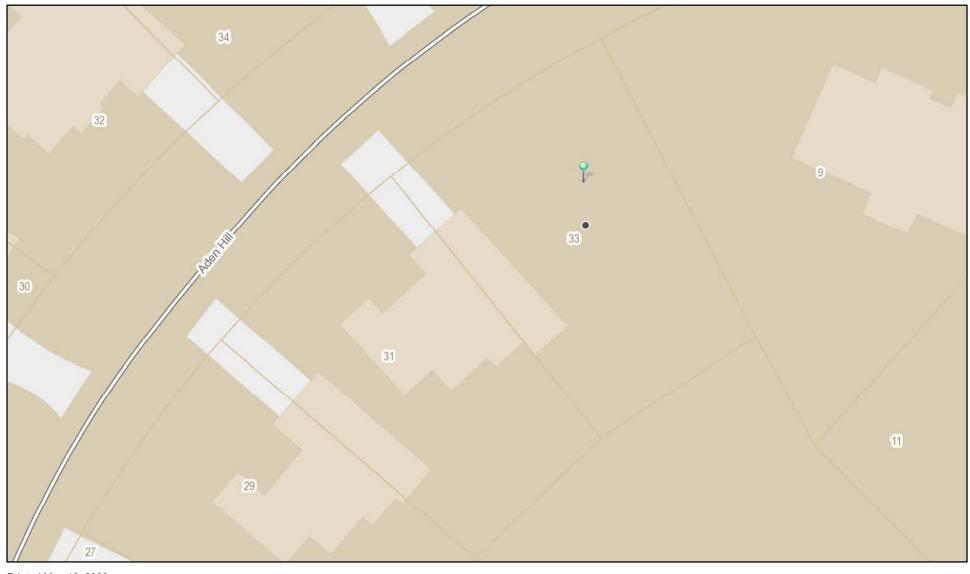
Applicant: TBD

Αp	plication	Type:
	P	.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,

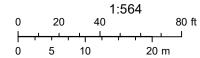
~	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2069 square feet and will be located in the Whilshire Hills Subdivison.

RN Residential Neighborhood Zoning

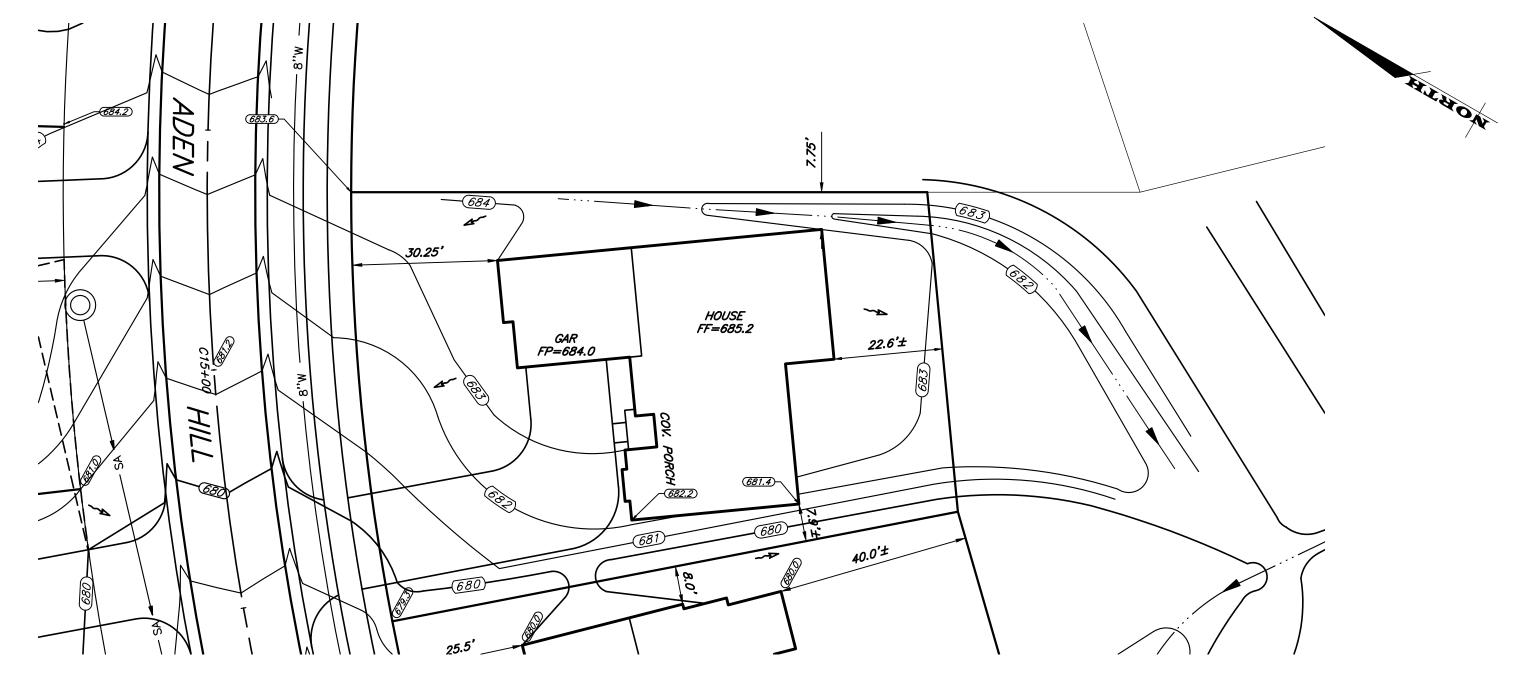


Printed May 18, 2022



Town of Pittsford GIS







39 CASCADE DRIVE ROCHESTER, NY 14614 PHONE 585-458-7770 www.marathoneng.com

 JOB NO:
 0423-13

 SCALE:
 1" = 20'

 DRAWN:
 RJT

 DESIGNED:
 RJT

 DATE:
 5/6/22

SETBACK	REQUIRED	PROVIDED
FRONT	30'	30.25'
SIDE	7.5'	7.75'
REAR	20'	22.6'±

PLOT PLAN - LOT C18

WILSHIRE HILL - SECTION 2

NEW YORK

TITLE:

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

IST \$ 2ND FLOOR LIVING AREA LIVE LOAD 40 PSF SLEEPING AND ATTIC AREA LIVE LOAD 30 PSF FLOOR DEAD LOAD 15 PSF GROUND SNOW LOAD 40 PSF ROOF DEAD LOAD 10 PSF

2500 PSF AT MINIMUM ALLOWABLE SOIL BEARING 42" BELOW FINISHED GRADE

115 MPH, EXPOSURE B WIND SPEED

CATEGORY B SEISMIC DESIGN SEVERE WEATHERING FROST DEPTH LINE 42 INCHES

TERMITE DAMAGE SLIGHT TO MODERATE

DECAY DAMAGE NONE TO SLIGHT

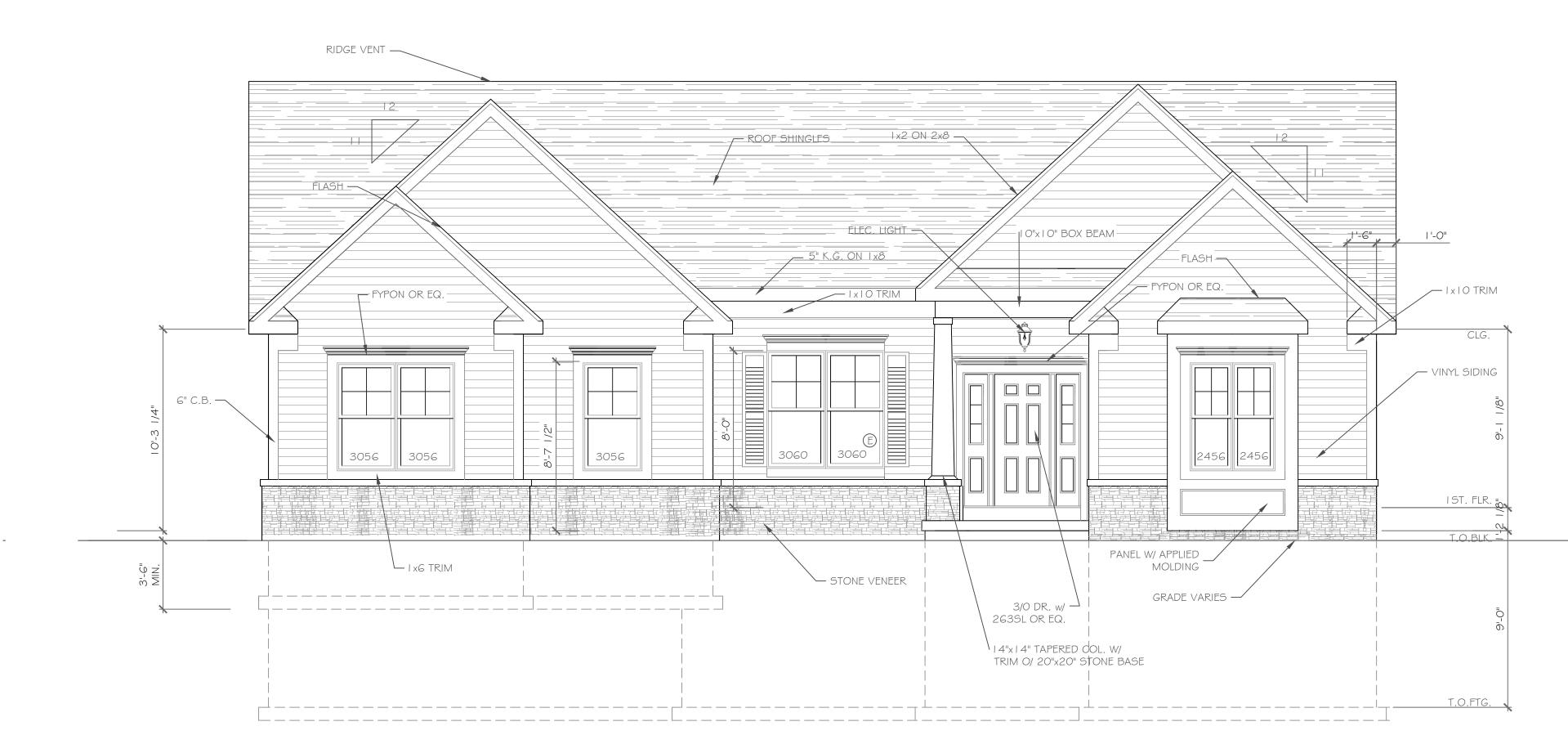
I DEGREE WINTER DESIGN TEMPERATURE

ICE SHIELD UNDERLAYMENT REQUIRED 24" INSIDE OF EXTERIOR WALL LINE

FLOOD HAZARD FIRM - 1992

ROOF TIE DOWN REQUIREMENTS R802.11, BASED UPON SPECIFIC ROOF DESIGN

1/4"= | '-0"



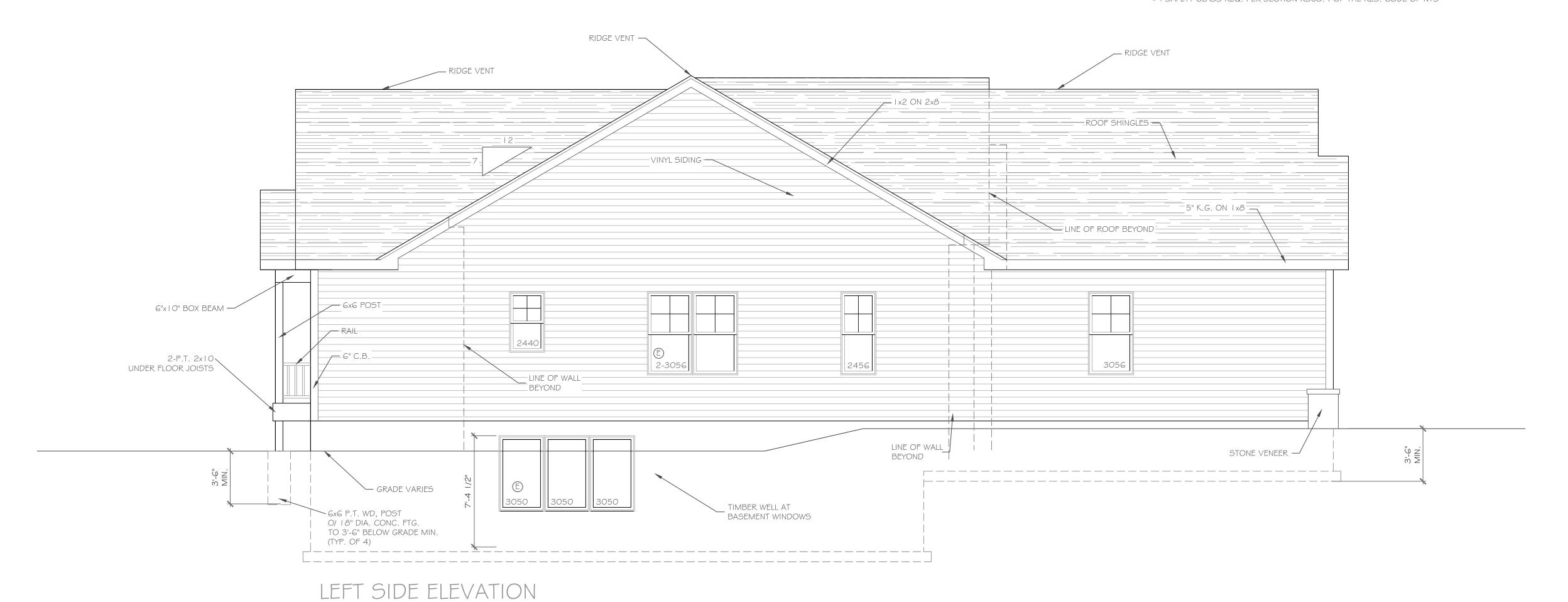
FRONT ELEVATION

2069 S.F.

1/4"= | '-0"

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG - DOORS TO BE "THERMA-TRU" OR EQ.

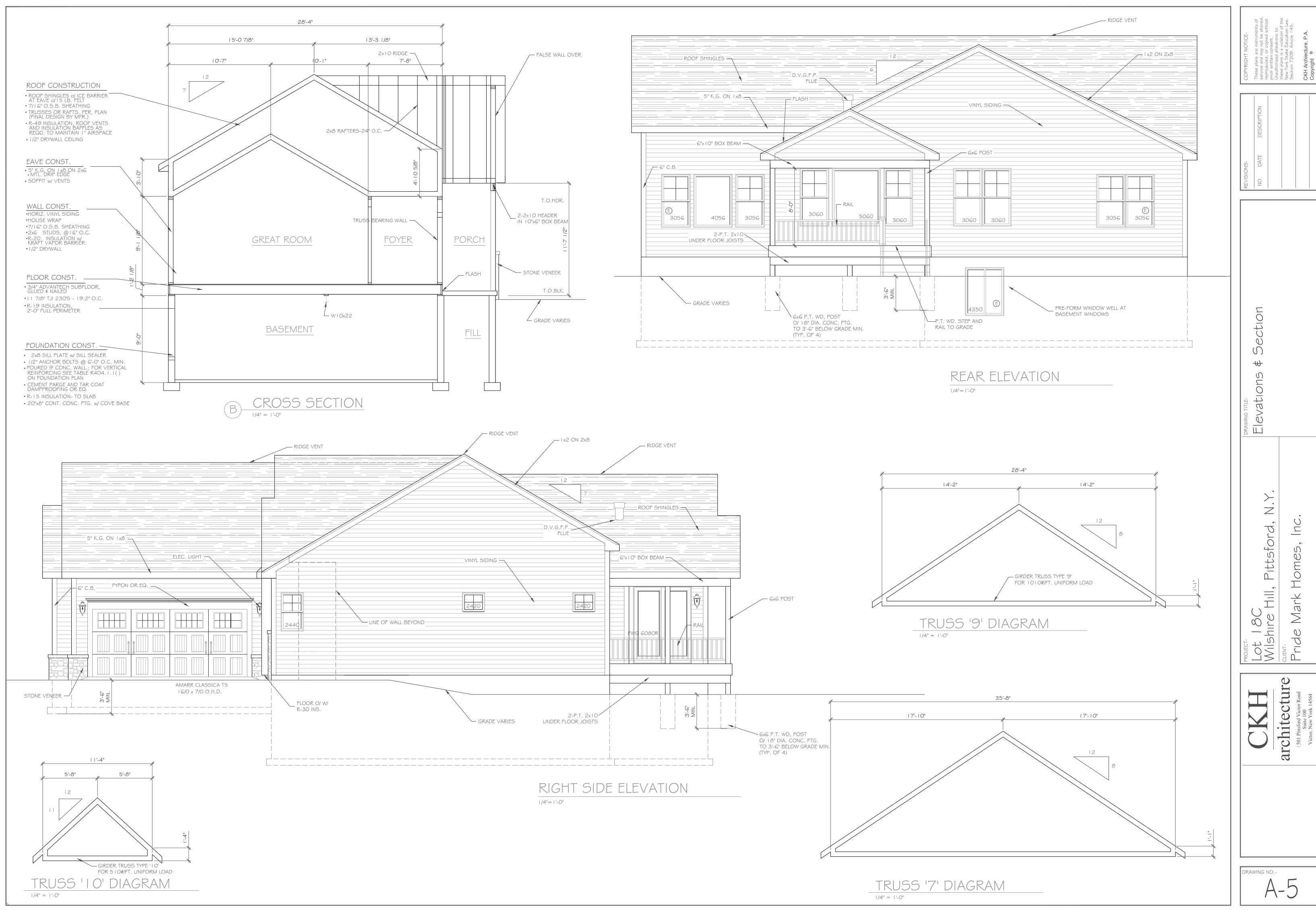
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD -(E): WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
- PER SECTION R3 I O OF THE RES. CODE OF NYS - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

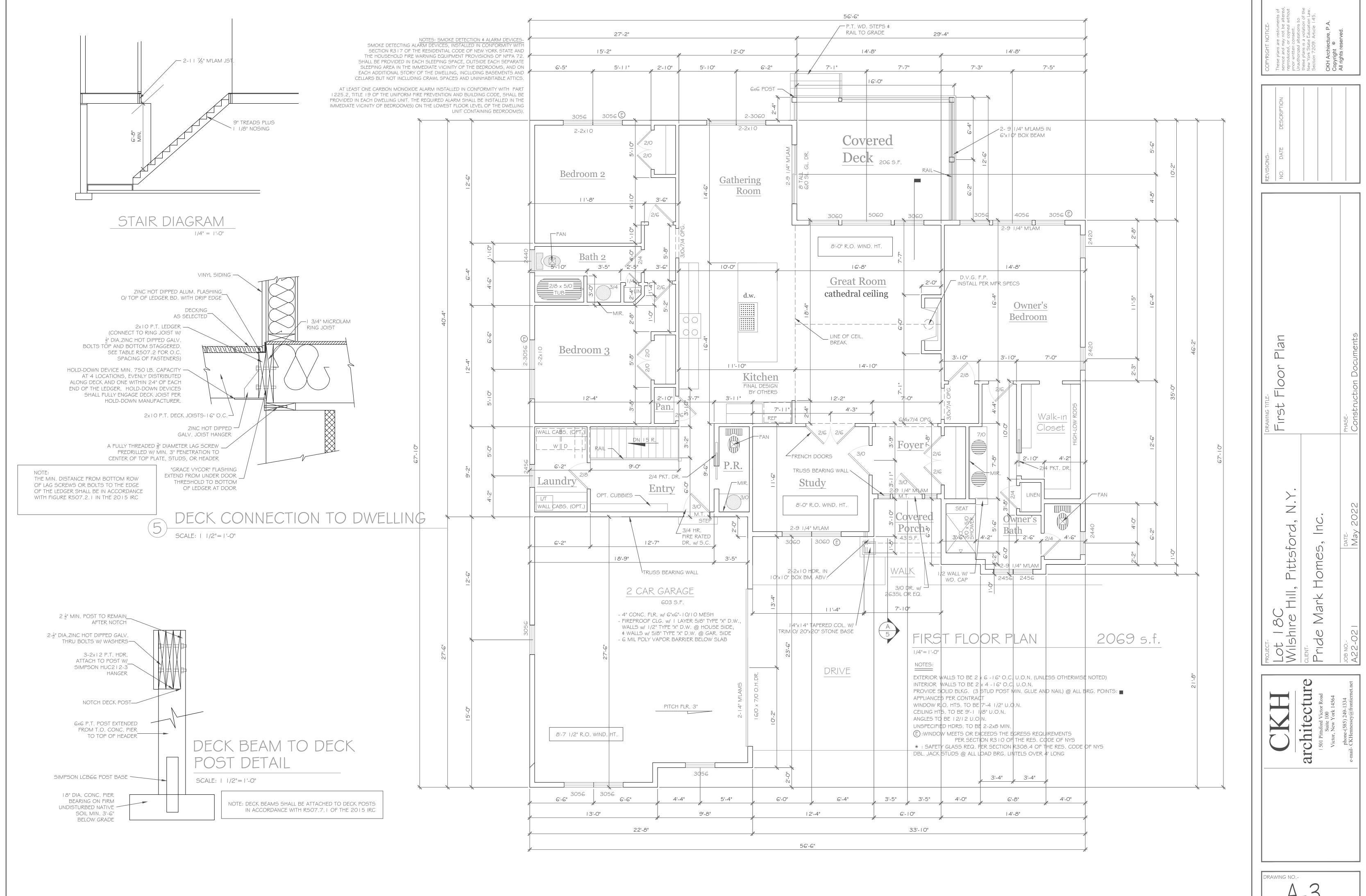


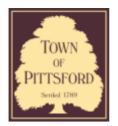
ations

Pittsford,

DRAWING NO.-







Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000089

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4000 East Avenue ROCHESTER, NY 14618

Tax ID Number: 151.06-2-45

Zoning District: RN Residential Neighborhood **Owner:** Kevin Surace and Erica Rogers **Applicant:** Kevin Surace and Erica Rogers

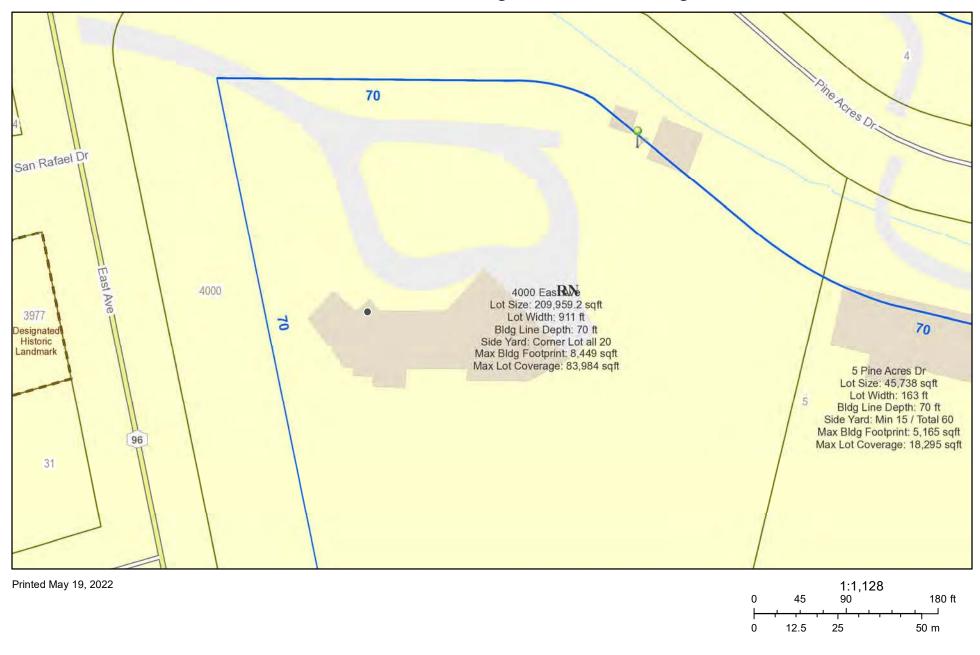
_		4.	_	
Λn	nlics	ation	Tyn	ο.
Δ	บแบ	auvii	IVN	຺ᠸ຺

/	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Áppropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	. , , ,

Project Description: Applicant is requesting design review for the demolition of a two story guest home and the construction of a new 1 bedroom, 2 story guest house. The house will be approximately 1488 square feet and will have an enlarged shed and attach the shed to the home with a walled patio.



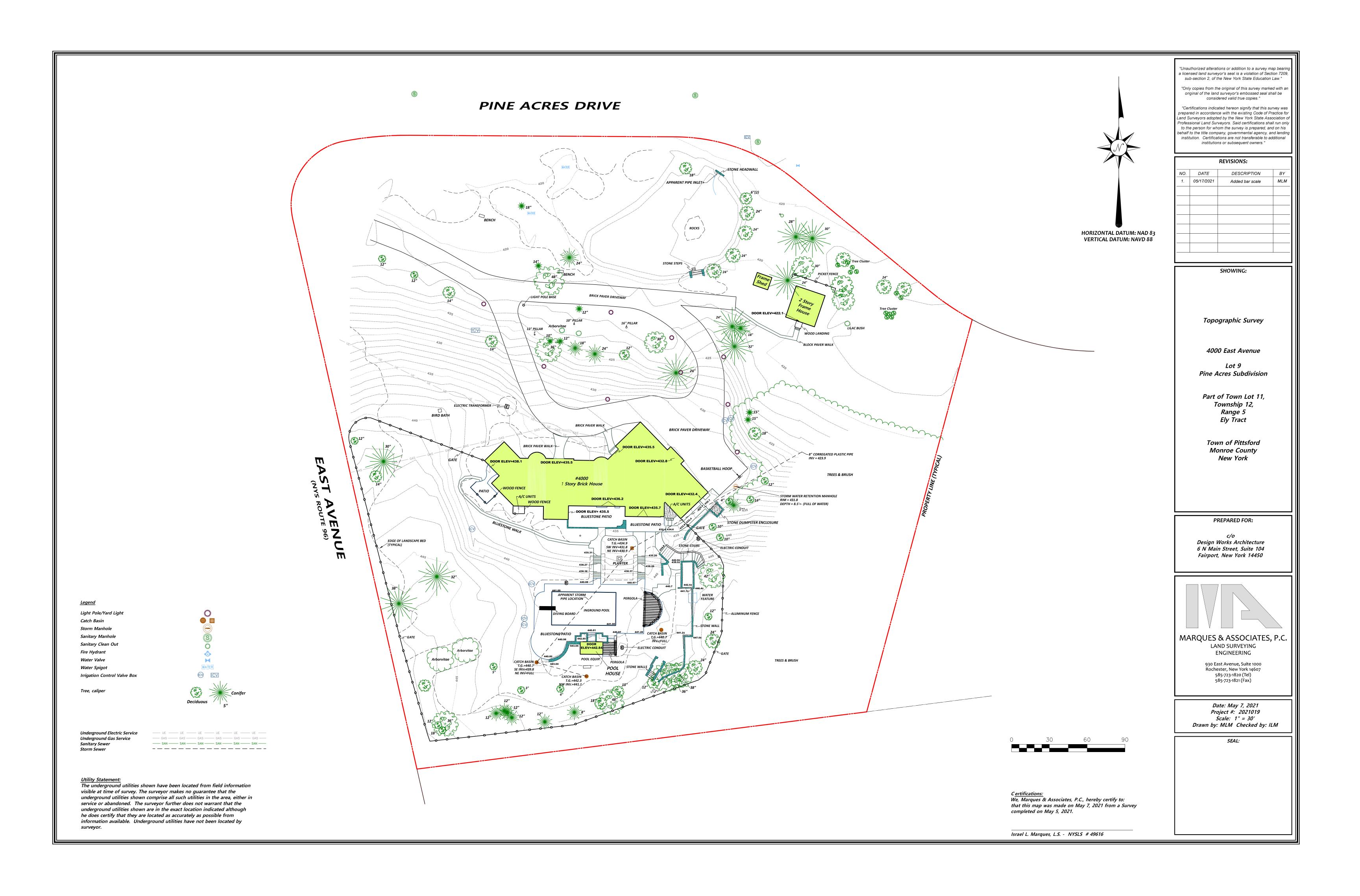
RN Residential Neighborhood Zoning



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or its user or its user













North Elevation



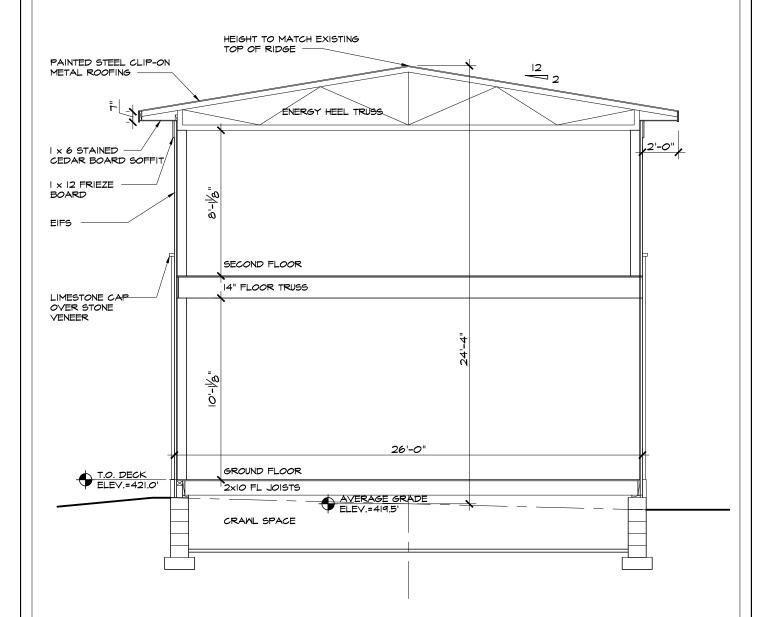
4000 EAST AVENUE



6 North Main Street, Suite 104, Fairport, New York 14450 Phone: 585-377-9001 :: www.newdesignworks.com

Copyright 2022 Design Works Architecture, P.C. All rights reserved.

All material contained within is property of Design Works Architecture, P.C. and not to be reproduced without permission.



CROSS SECTION

SCALE: $\frac{3}{16}$ " = 1'- \emptyset "

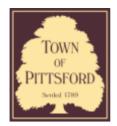
GUEST RESIDENCE

MAY 18, 2022

SCHEMATIC DESIGN







Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B22-000084

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 93 Kilbourn Road ROCHESTER, NY 14618

Tax ID Number: 138.13-3-8

Zoning District: RN Residential Neighborhood

Owner: Christine Giangreco
Applicant: Christine Giangreco

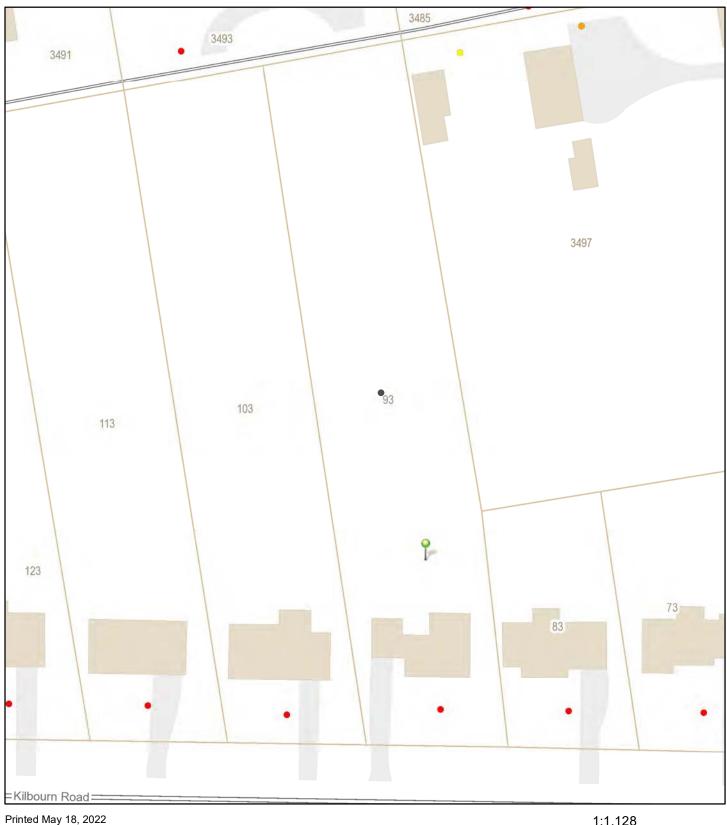
_			_	
Λn	nliz	`atic	n T	vpe:
$\boldsymbol{\neg}$	NIIV	Jauc	/II I	vvc.

~	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	- , , , ,

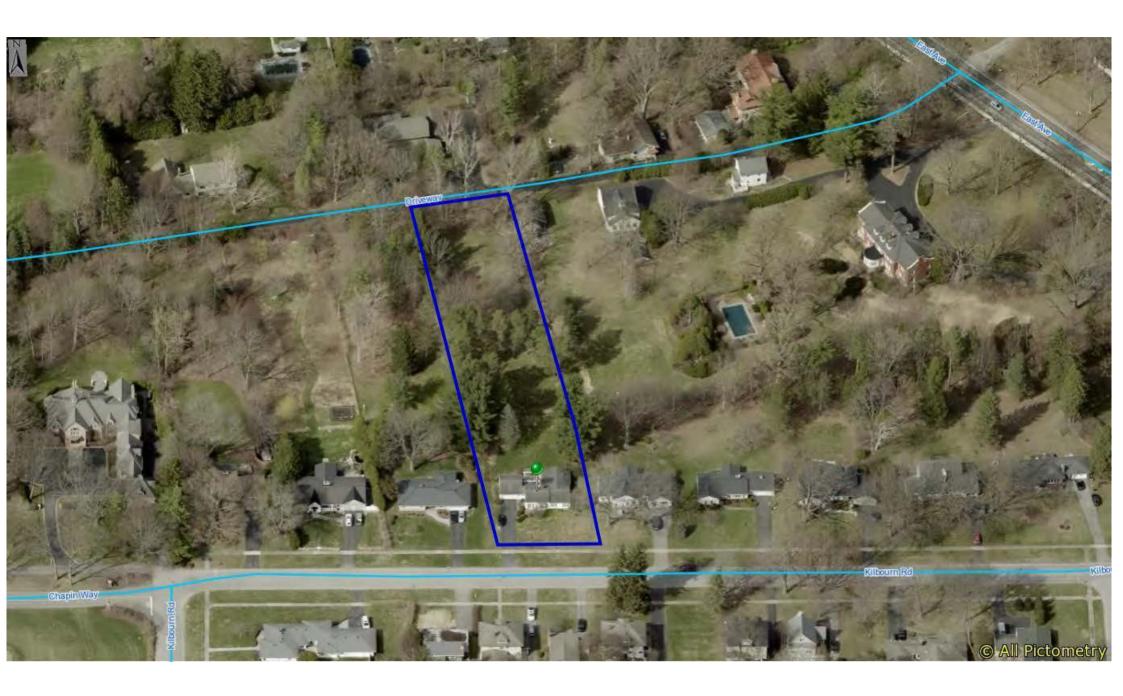
Project Description: Applicant is requesting design review for the demolition of the existing home and construction of an approximately 4210 SF ranch style new home with a 3 car garage.

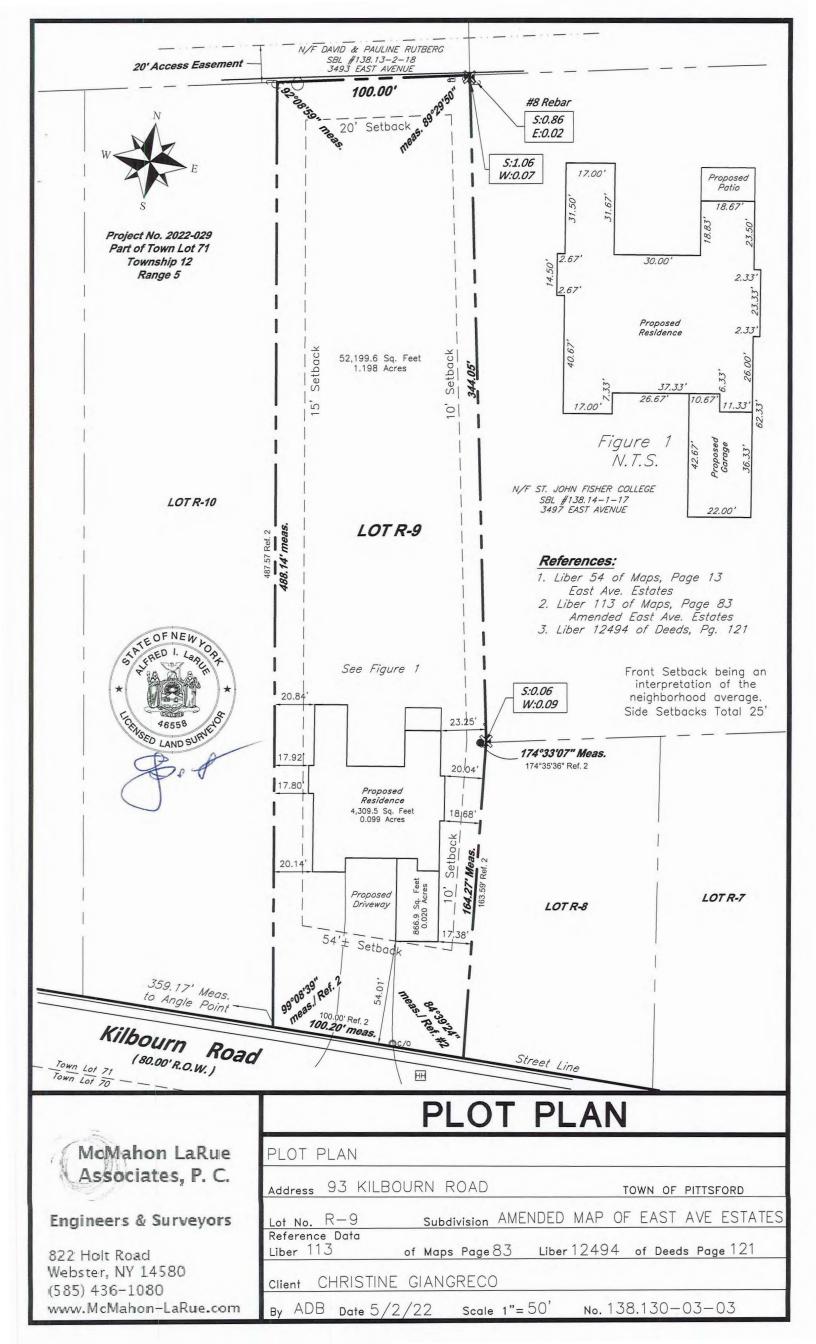


Property Pictures



Town of Pittsford GIS





STANDARD ENERGY NOTES:

CONTRACTOR SHALL POST THE ENERGY EFFICIENCY CERTIFICATE (FROM REZ. CHECK)
ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR
AN APPROVED LOCATION BY THE BUILDING INSPECTOR

A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER SECTION 1104.1 OF THE 2020 NY RESIDENTIAL CODE

RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINARES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 1.57PSF (7.5PA) PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0CFM OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY

PROGRAMABLE THERMOSTAT

CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1 OF THE 2020 N.Y. RESIDENTIAL CODE. EACH DWELLING UNIT SHALL HAVE AT LEAST ONE PROGRAMABLE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST HEATING OR COOLI NG ZONE AND CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILEY SCHEDULE TO MAINTAIN DIFFERENT TEMP. SET POINTS A DIFFERENT TIMES OF THE DAY, THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OT TEMP, OPERATE THE SYSTEM TO MAINTAIN ZONE TEMP, DOWN TO 55F OR UP TO 85F. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMP NO HIGHER THAN 70 F AND A COOLING SET POINT NO LOWER THAN 78 F.

SUPPLY DUCTS IN ATTIC SHALL BE INSULATED TO A MIN. OF R-8, ALL OTHER DUCTS SHALL BE INSULATED TO A MIN. OF R-6, UNLESS LOCATED INSIDE THE BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE VERIFIED BY VISUAL INSPECTION PER SECTION 1102.4.3.2 OF THE 2020 N.Y. RESIDENTIAL CODE.

IF ANY DUCT WORK IS WITHIN AN EXTERIOR WALL, THE SYSTEM SHALL BE PRESSURE TESTED DURING CONTRUCTION.
WITH AIR HANDLER INSTALLED: MAX 4CFM/100 S.F. OF OCCUPIED SPACE WITHOUT AIR HANDLER: MAX 3CFM/100 S.F. OF OCCUPIED SPACE

ALL JOINTS AND SEAMS OF AIR DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED TAPES AND MASTICS MUST BE LISTED TO UL 1818 BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS

AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ANY OUTDOOR AIR INTAKES OR EXHAUST SYSTEMS

THE HOME SHALL BE BLOWER DOOR TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE (3) AIR CHANGES PER HOUR. TESTING BY THIRD PARTY ONLY

VAPOR RETARDERS

CLASS 1 OR 11 (SHEET POLYETHEYENE, KRAFT FACE BATTS, OR LOW PERM PAINT) VAPOR RETARDERS ARE REQUIRED ON THE INSIDE OF FRAMED WALLS AND CEILINGS ABOVE GRADE WHERE THE CAVITY IS NOT VENTILATED TO ALLOW MOISTURE TO ESCAPE, (THIS DOES NOT INCLUDE BASEMENT WALLS)

GOODMAN OR EQUAL SINGLE STAGE GAS FIRED FURNACE 92% WITH STAINLESS STEEL HEAT EXCHANGER, SINGLE STAGE GAS VALVE, DIRECT VENT (2 PIPE) 1/2HP MOTOR 15 AMP IF THE FURNACE IS A OPEN COMBUSTION UNIT THE FURNACE ROOM MUST BE SEALED FROM THE REST OF THE HOUSE AND HAVE MAKEUP AIR TO IT. CONTRACTOR SHALL SUBMITT MANUFACTURERS FURNACE SUBMITTAL TO TOWN

RHEEM OR EQUAL 40 GALLON, .68 EFF. MIN RECOVERY: 36 GPH AT A 90 DEGREE RISE DIRECT VENT 2 PIPE SYSTEM. PROVIDE HEAT TRAP AND INSULATING BLANKET. ENERGY STAR RATED. CONTRACTOR SHALL SUBMITT MANUFACTURERS H.W. HEATER SUBMITTAL TO TOWN

WINDOWS AND DOORS

WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN .3 CFM PER SQUARE FOOT AND SWINGING DOORS NO MORE THAN WINDOW U-VALUE .30 OR LESS

SLIDING GLASS DOORS U-VALUE =.30 OR LESS

SOLID INSULATING DOOR-U VALUE = .142 OR LESS

KITCHEN EXHAUST HOODS

EXHAUST HOODS WITH CAPACITY GREATER THAN 400 CFM SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH AN EQUAL AMOUNT OF FRESH MAKE UP AIR. SYSTEMS SHALL BE PROVIDED WITH AT LEAST I DAMPER. DAMPERS SHALL BE GRAVITY DAMPERS OR ELECTRICALLY OPERATED DAMPERS THAT AUTOMATICALLY OPENS WHEN THE SYSTEM OPERATES.

MECHANICAL VENTILATION

WHOLE HOUSE MECHANICAL VENTILATION SHALL BE REQUIRED BY PROVIDING A METHOD OF SUPPLY AIR AND RETURN OR EXHAUST AIR. THE AMOUNT OF SUPPLY AIR SHOULD BE APPROX EQUAL TO THE EXHAUST RATE, OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION. A LOCAL EXHAUST FAN, SUCH AS A BATHROOM FAN MAY BE CONSIDERED AS EXHAUST MECHANICAL VENTILATION CAN ALSO BE PROVIDED BY THE INSTALLATION OF A HEAT RECOVERY MAKE UP AIR UNIT, INSTALLED PER CODE AND BY THE MANUFACTURES DIRECTION

BATH AND POWDER ROOM EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR AND BE INSTALLED WITH A PROGRAMMABLE DIGITAL CONTROL SWITCH PROVIDING A RUN TIME OF 15 MIN. PER HOUR AT A MIN. OF 50 CFM PER POWDER ROOM AND BATHROOM BATHROOMS AND POWDER ROOMS SHALL HAVE A MIN. EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

CONTINUOUS WHOLE HOUSE MECHANICAL VENTILATION RATES				
	NUMBER OF BEDROOMS			
DWELLING UNIT FLOOR AREA SF	0-1	2-3	4-5	6-7
	AIRFLOW IN CFM			
< 1,500	30	45	60	75
1,501-3,000	45	60	75	90
3,000-4,500	60	75	90	105

IF RUN TIME IS INTERMITENT AT 25% OF EACH 4-HOUR SEGMENT THE VENTILATION RATE ABOVE SHALL BE MULTIPLIED BY A FACTOR OF 4

TABLE R403.6.1. WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY						
FAN LOCATION	AIR FLOW RATE MIN. (CFM)	AIR FLOW RATE MAX.				
HRV OR ERV	ANY	12 CFM/WATT	ANY			
RANGE HOODS	ANY	2.8 CFM/WATT	ANY			
IN-LINE FANS	ANY	2.8 CFM/WATT	ANY			
BATHROOM, UTILITY	10	14 CFM/WATT	<90			
BATHROOM, UTILITY	90	2.8 CFM/WATT	ANY			

GENERAL NOTES:

DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER

IF FLUE LOCATION IS NOT SHOWN ON PLANS CONTR. SHALL PROVIDE A 90 AFUE FURNACE TO COMPLY WITH N.Y.S. ENERGY CODE

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY W/ MORE THAN 2 RISERS, HANDRAIL HGT. SHALL BE MEASURED ABOVE STIR TREAD NOSING AND SHALL BE BETWEEN 34"-38" HIGH, HANDRAILS ADJACENT TO THE WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL, HANDRAIL SHALL BE CONTINUOUS, GUARDS AT OPENSIDES OF STAIRWAYS SHALL BE 36" HIGH WITH VERTICAL RAILS THAT DO NOT ALLOW PASSAGE OF A 4" SPHERE.

GAS ZERO CLEARANCE MANUFACTURERS SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT

STAIRWAYS SHALL HAVE A CONTINUOUS RAILING 36" HIGH AND TERMINATE AT A WALL OR NEWEL POST.

SETTING THE BUILDING ELEVATION IS THE RESPONSIBILTY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH MUNICIPAL APPROVED SITE PLAN OR SURVEY

THE CONTRACTOR SHALL INSTALL 5" HIGH NUMBERS ON THE FRONT OF THE BUILDING TO IDENTIFY THE SITE ADDRESS.

GLAZING IN DOORS, STORM DOORS AND SIDELIGHTS IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE NEW YORK
STATE CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE
WITH SECTION R308.1 DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELIGHTS.

TJI INSTALLATION SHALL CONFORM TO ALL DETAILS AND SPECIFICATIONS OF THE MANUFACTURER, INSTALL ALL RECOMMENDED BAND JOISTS, SQUASH BLOCKS, SOLID BLOCKING ETC. IF NOT KNOWN CONTACT ARCHITECT.

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER WITH LICENSED N.Y.S. ENGINEER ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DRAPLY (OR EQUAL) FINISH AT UNDERSIDE, FULL DEPTH RIM JOIST AND SOLID BLOCKING AT SUPPORT WALL INSTALL MIN. R-30 KRAFT FACE BATTS UNLESS NOTED

BUILDER SHALL VERIFY WITH HOME OWNER ON LOCATION OF 24"x30" ATTIC ACCESS LOCATION

PROVIDE SLOTTED ROOF TRUSS CLIPS AT ALL INTERIOR PARTITIONS EQUAL TO SIMPSON STC CLIPS

INSTALL DRYWALL ON CEILINGS PER THE WOOD TRUSS COUNCIL OF AMERICA FOR PREVENTING PARTITION SEPARATION, REQUEST DETAILS FROM ARCHITECT IF NEEDED.

EXTERIOR BEARING WALL OPENING GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

INTERIOR BEARING WALL OPENINGS GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

ALL FRAMING ANGLES SHALL BE 45 DEG. UNLESS NOTED

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL

ALL WINDOW R.O. SHALL BE 6'-10 1/2" UNLESS NOTED PROVIDE A MIN. OF R-5 RIGID INSULATION WITHIN ALL EXTERIOR WINDOW AND DOOR HEADERS

ALL NEW ELECTRICAL WORK SHALL COMPLY WITH PART VIII OF THE RESIDENTIAL CODE OF NEW YORK STATE. PRODIE TOWN OFFICE WITH FINAL ELECTRICAL INSPECTION APPROVAL

IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILING COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION

INSULATION ON BASEMENT WALLS SHALL BE COVERED WITH GYPSUM BOARD OR HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450

FLASHING SHALL BE INSTALLED IN THE FOLLOWING AREA'S: TOP OF EXTERIOR WINDOWS AND DOORS; CHIMNEYS, UNDER AND AT END OF MASONRY, WOOD, METAL COPINGS AND SILLS; AND WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL ASSEMBLY.

SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING AREA'S
IN EACH SLEEPING ROOM, IN HALLWAYS ADJACENT TO SLEEPING ROOMS
AND AT LEAST ONE ON EACH STORY INCLUDING BASEMENT
ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED
ALARMS CAN BE INTERCONNECTED WIRELESSLY
LOCATE NOT LESS THAN 3' HORIZONTALLY FROM BATROOMS
WITH SHOWERS OR FROM CEILING FANS, CANNOT BE CLOSER
THAN 20' (IONIZATION) OR 6' (PHOTOFI ECTRIC) TO, COOKING THAN 20' (IONIZATION) OR 6' (PHOTOELECTRIC) TO COOKING

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: ON ANY STORY HAVING A SLEEPING AREA, ON ANY STORY WHERE FUEL-FIRED OR SOLID FUEL BURNING APPLIANCES, EQUIPMENT, FIRE LACES OR ATTACHED GARAGES ARE LOCATED
ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED

VINYL SIDING UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER'S INSTRUCTIONS SHALL BE FASTENED TO A MIN 1 1/4" NAILABLE SUBSTRATE WITH A .120-INCH SHANK DIA WITH A .313 HEAD OR A 16-GAGE STAPLE WITH A 3/8"-1/2" CROWN SPACING SHALL BE 16"

PROVIDE INTERCONNECTED HEAT DETECTOR IN GARAGE PER SECTION R314.2.3 OF THE NEW YORK STATE BLDG CODE 2020 ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE APPROVED PRESSURE TREATED WOOD SUITABLE FOR GROUND CONTACT USE

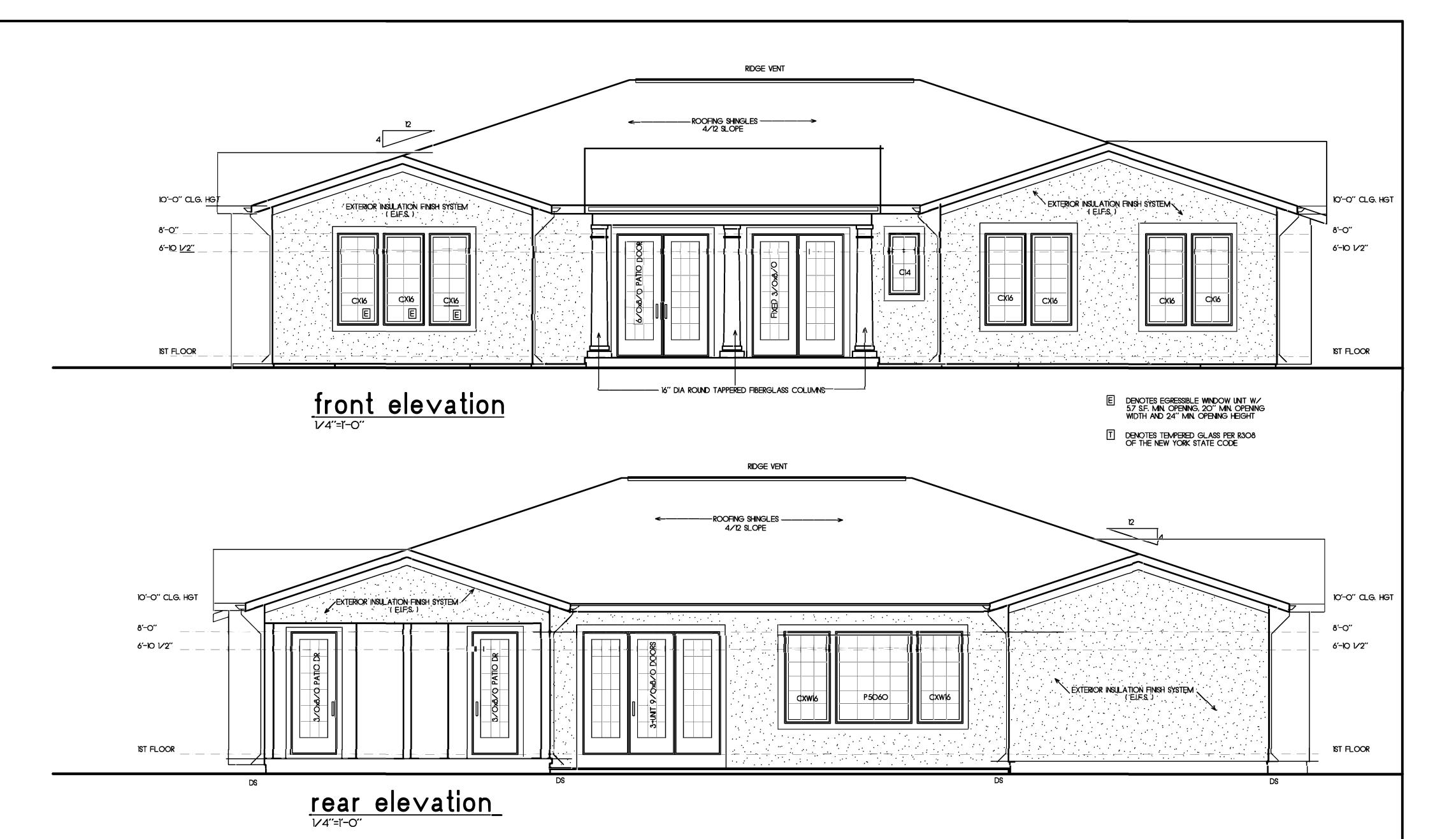
WIDTH 36" WIDE IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HGT. THE CLEAR WIDTH AT OR BELOW THE HANDRAIL HGT SHALL BE NOT LESS THAN 31 1/2" WHERE A RAILING IS ON ONE SIDE AND 27" WHERE RAILINGS ARE ON BOTH SIDES HEADROOM: SHALL BE NOT LESS THAN 6'-8"

RISERS: THE RISER HGT, SHALL BE A MAX. OF 8 1/4". AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30" ABOVE GRADE OR THE FLOOR BELOW SHALL NOT PERMIT THE PASSAGE OF A 4" NCH DIAMETER SPHERE.

TREADS: THE TREAD DEPTH SHALL NOT BE LESS THAN 9" NOSINGS: NOSINGS PROJECTIONS SHALL BE 3/4"- 11/4" MAX. NOT REQUIRED ON TREAD DEPTH GREATER THAN II" HANDRAILS: SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACES OF HANDRAILS AND RAILINS SHALL BE BETWEEN 34"AND 38" ABOVE

WINDOW FALL PROTECTION

PROVIDE WINDOW OPENING CONTROL DEVICE TO PROHIBIT THE PASSAGE OF A 4" SPHERE ON WINDOWS IN WHICH THE SILL IS LESS THAN 24" FROM THE FLOOR AND THE EXTERIOR GRADE IS GREATER THAN 72" BELOW THE WINDOW CONTROL DEVICE AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENS OF THE WINDOW TO LESS THAN WHATS REQUIRED IN SECTION 310,2.1. 5.7 S.F. CLEAR OPENING (5 S.F. AT GRADE OR BELOW GRADE NET CLEAR HEIGHT OF 24" NET CLEAR WIDTH OF 20"



AIR BARRIER INSPE	ECTION LIST	
AIR BARRIER & THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER	
•	BREAK JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED	
	AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL	
	AIR PERMEABLE INSUALTION IS INSIDE OF AIR BARRIER	
CEILING ATTIC	AIR BARRIER IN ANY DROPPED CEILING/SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND GAPS ARE SEALED	
	ATTIC ACCESS (EXCEPT UNVENTED ATTIC), KNEE WALL OR STAIR ACCESS IS SEALED	
WALLS	CORNERS AND HEADERS ARE INSULATED	
	JUNCTIONS OF FOUNDATION AND SILL PLATE ARE SEALED	
WINDOWS AND DOORS	SPACE BETWEEN JAMBS AND FRAMING AREA SEALED RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER	
RIM JOISTS		
FLOORS (INCLUDING ABOVE GARAGES AND CANTILEVER FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECK	
AND CANTILEVER PLOORS	AIR BARRIER IS INSTALLED AT AND EXPOSED EDGE OF INSULATION	
CRAWL SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS	
	EXPOSED EARTH IN UNIVENTED CRAWL COVERED WITH CLASS 1 VAPOR BARRIEER, OVERLAP JOINTS & TAPE	
SHAFTS, PENATRATIONS	DUCT SHAFTS, UTILITY PENATRATIONS, KNEE WALLS AND FLUE SHAFTS ARE SEALED	
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR FILLED WITH SPRAY/BLOWN-IN	
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES	
RECESSED LIGHTING	RECESSED LIGHTS ARE AIR TIGHT, IC RATED AND SEALED TO DRYWALL. UNLESS IN CONDITIONED SPACE	
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES	
SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL		
ELECTRICAL/PHONE BOX ON EXT. WALL	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED TYPE BOXES ARE INSTALLED	
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN UNITS	
IVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENATRATE ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWAL	
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER	

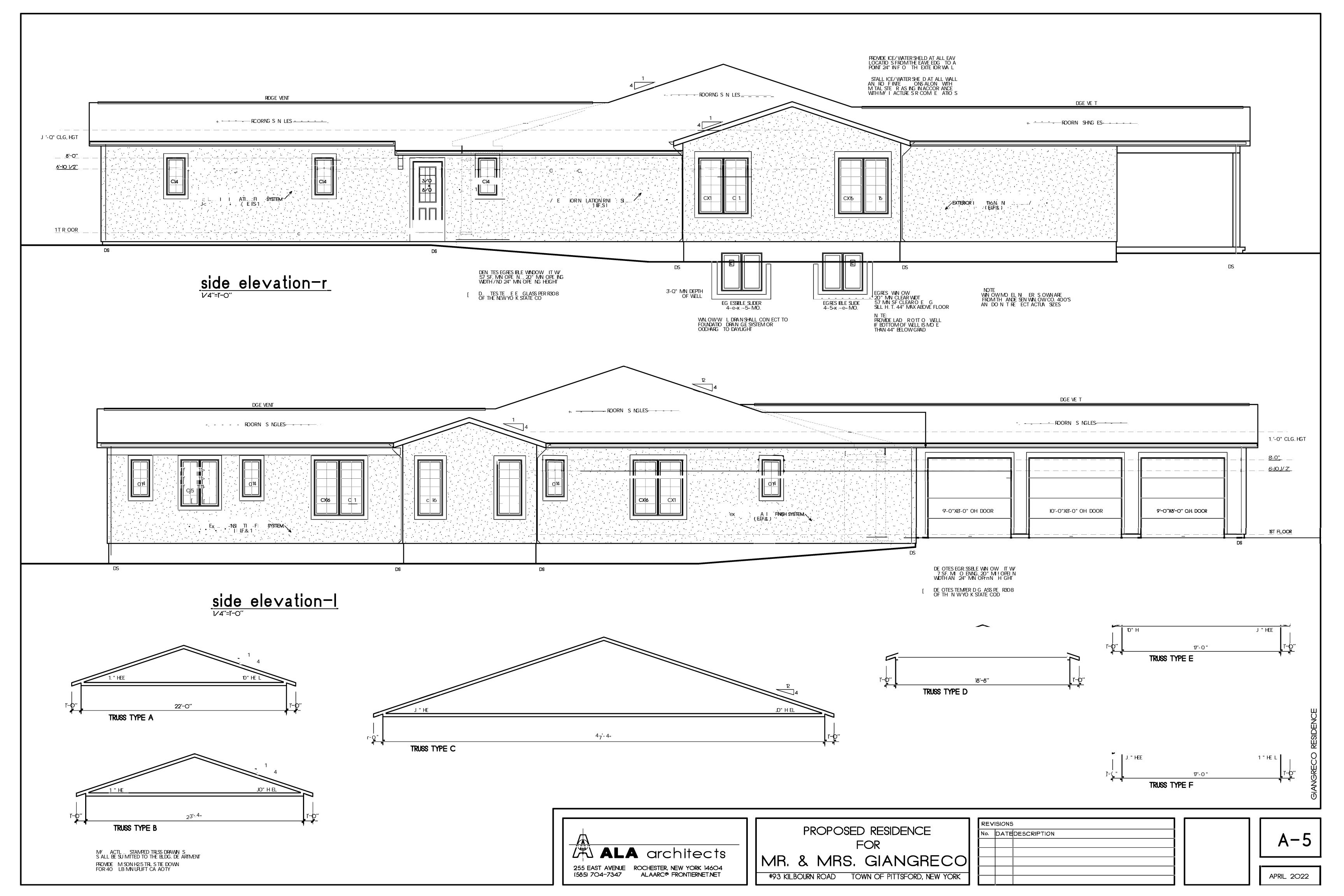


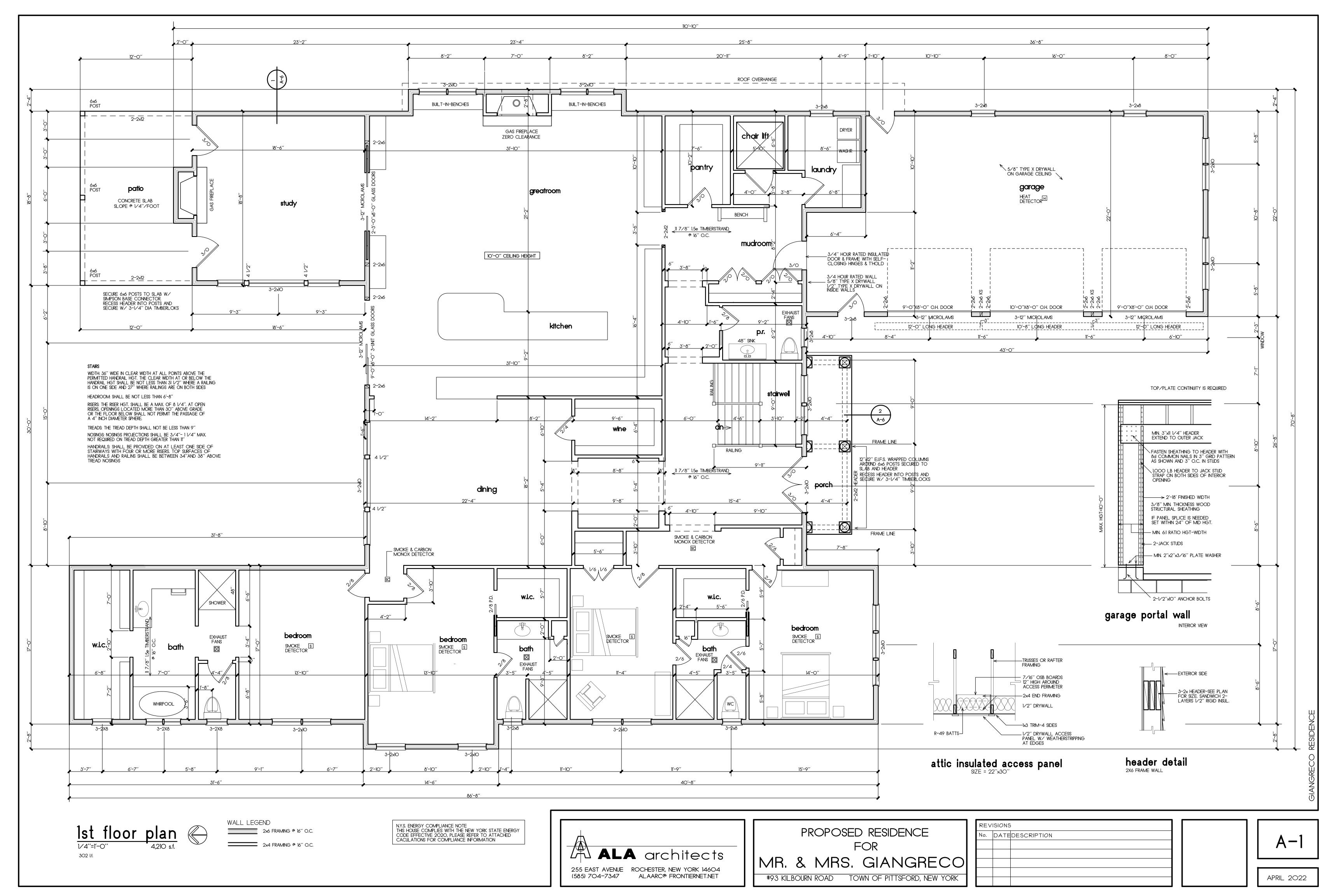
PROPOSED RESIDENCE MR. & MRS. GIANGRECO #93 KILBOURN ROAD TOWN OF PITTSFORD, NEW YORK

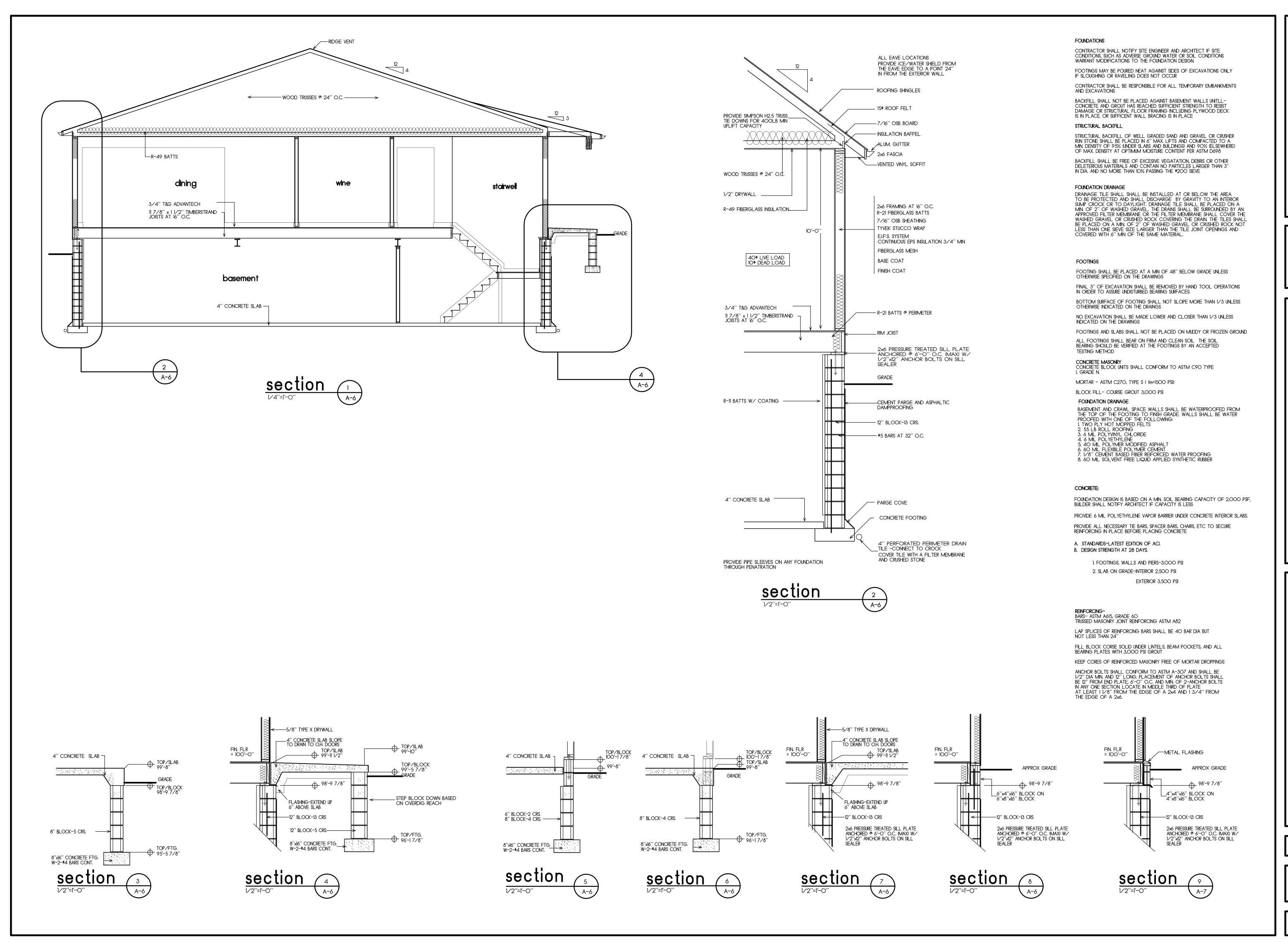
			 _
VISIONS			
DATEDESCRIPTION			

A-4

APRIL 2022







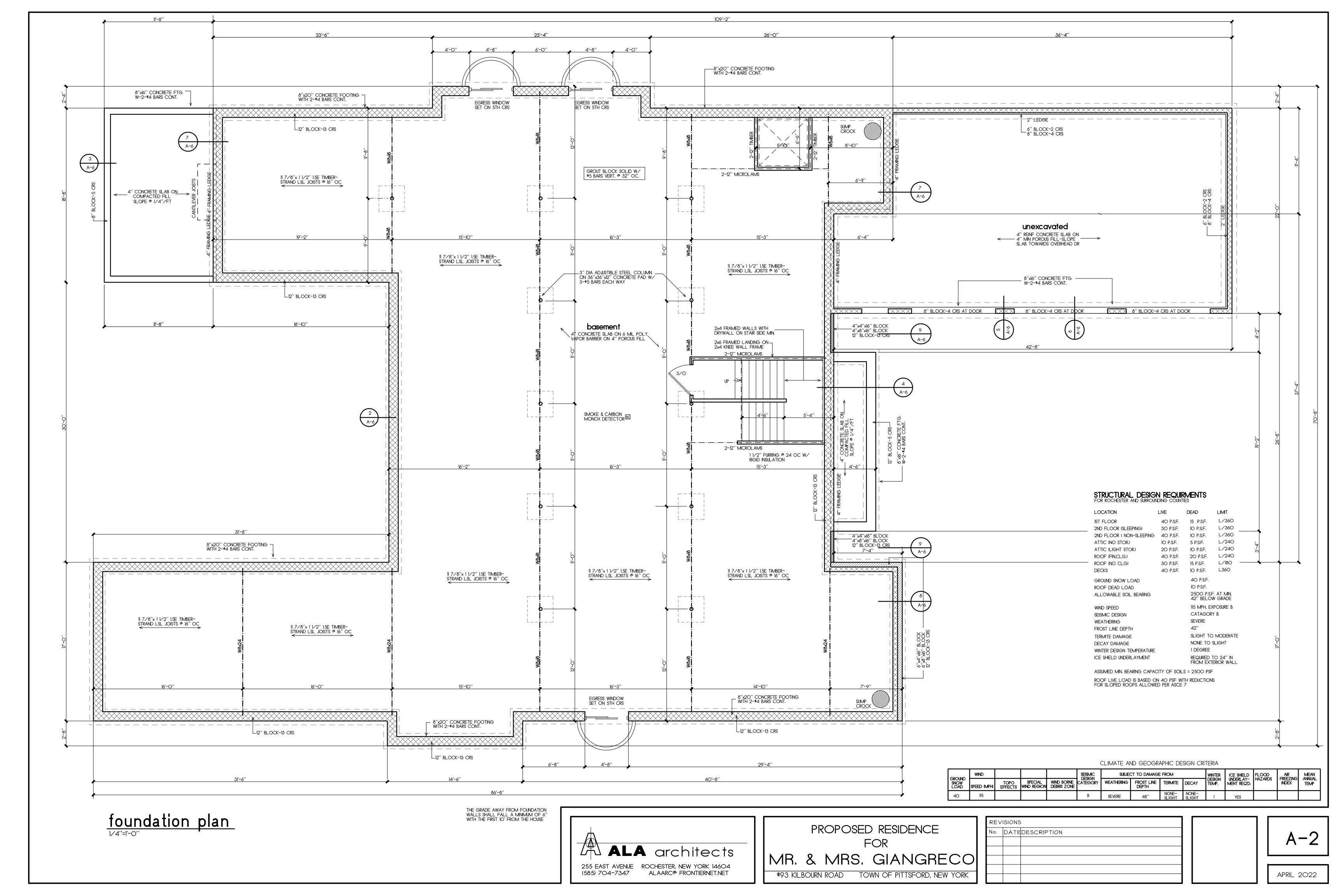
<u></u>

+

 ∞

JOB NO. GIANGRECO

FEB. 22, 2022

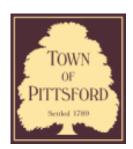








5/3/22, 9:38 AM Letter View



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # S22-000004

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3280 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-12
Zoning District: C Commercial
Owner: Mc Donald's Corp
Applicant: Mc Donald's Corp

Αı	lac	ica	tion	Type)
----	-----	-----	------	------	---

-PP	neamen Typer	
	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
✓	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: The Applicant is requesting design review for the addition of two identification signs for McDonalds. The signs will be approximately 14 square feet and 33 square feet.

Meeting Date: May 26, 2022

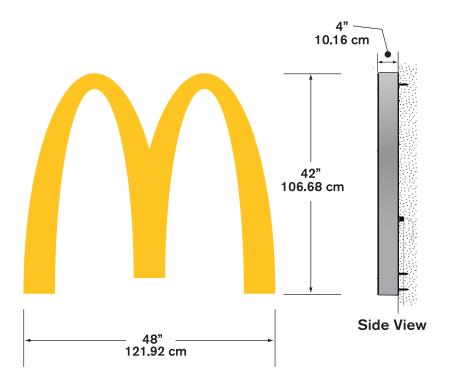


3280 MONROE AVENUE, ROCHESTER, NEW YORK TY-LININTERNATIONAL engineers | planners | scientists



Sign S9, 14.0 sq. ft.





Illumination: LED

Electrical: .35 AMPS

Ballast: (1) OSRAM OT75-120-277-24

Ship Weight:



Sign S10, 32.9 sq. ft.







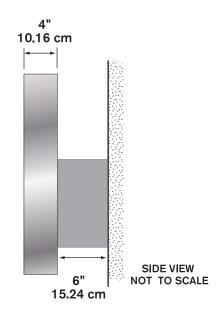
(1) Amperor ANP90-30P1

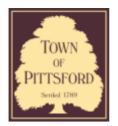
LED

Ship Weight:

Power Supply:

Illumination:





Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # S22-000006

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC Applicant: Pittsford Plaza SPE, LLC

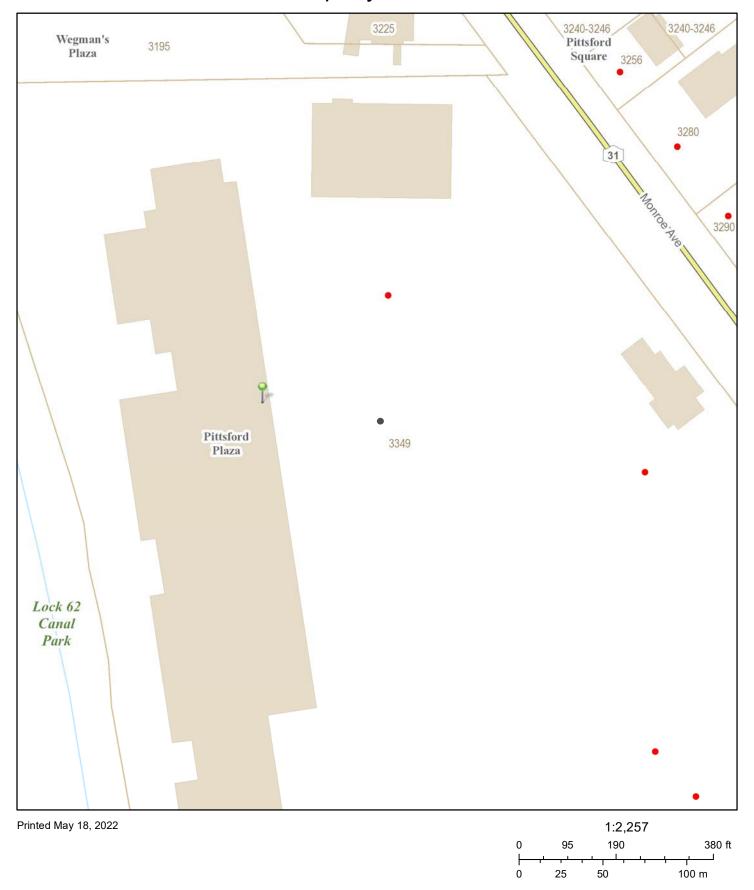
_		4.	_	
Λn	nlic	2tiAI	n Tyr	١α:
\neg v	บแบ	auvi	11 IV.	JC.

	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
✓	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for the addition of an approximately 17 SF sign for a new restaurant.

Meeting Date: May 26, 2022

Property Pictures



Town of Pittsford GIS

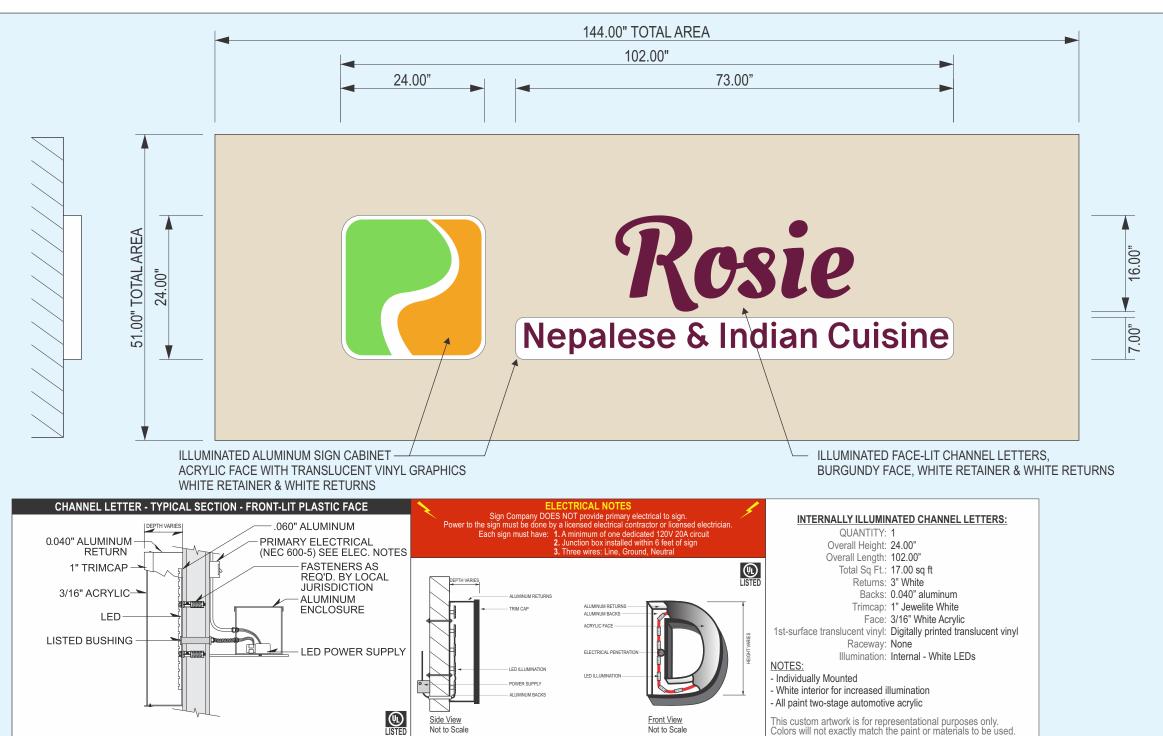


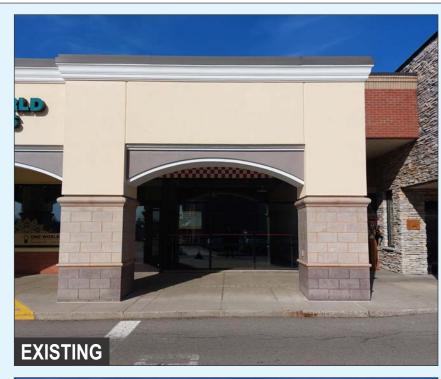




Rosie Govinda Giri: Exterior Sign Face-Lit Channel Letters









Date



JAMIE CATALANO - PROJECT MANAGER
585.787.4256
Email: jamie@vitalsignsroc.com

Client ROSIE GOVINDA GIRI

Job Address 3349 MONROE AVE ROCHESTER, NY 14618 Job No.

Drawing # V.2

Start Date 4/25/2022

Last Revision 5/18/2022

Page # 1 of 1

For proofing only. Colors are only representations of actual final colors. Graphic locations may need to be adjusted to fit actual vehicle or other substrate. Please proof thoroughly for spelling, colors, content, and placement. If revisions are needed please contact your project manager. Once this is signed you are responsible for any errors that were not addressed and may incur the cost of lost materials. If approved please sign and return the signed copy to your project manager.

X

Customer Approval

Amy C
Project Manager

Amy C

Sales Rep

Designer Kate H

COPYRIGHT 2022, BY VITAL SIGNS • ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF VITAL SIGNS, AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM VITAL SIGNS