

# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #  
B22-000075**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3 Northstone PITTSFORD, NY 14534

**Tax ID Number:** 164.15-1-68

**Zoning District:** RN Residential Neighborhood

**Owner:** Scheider, Kenneth

**Applicant:** Scheider, Kenneth

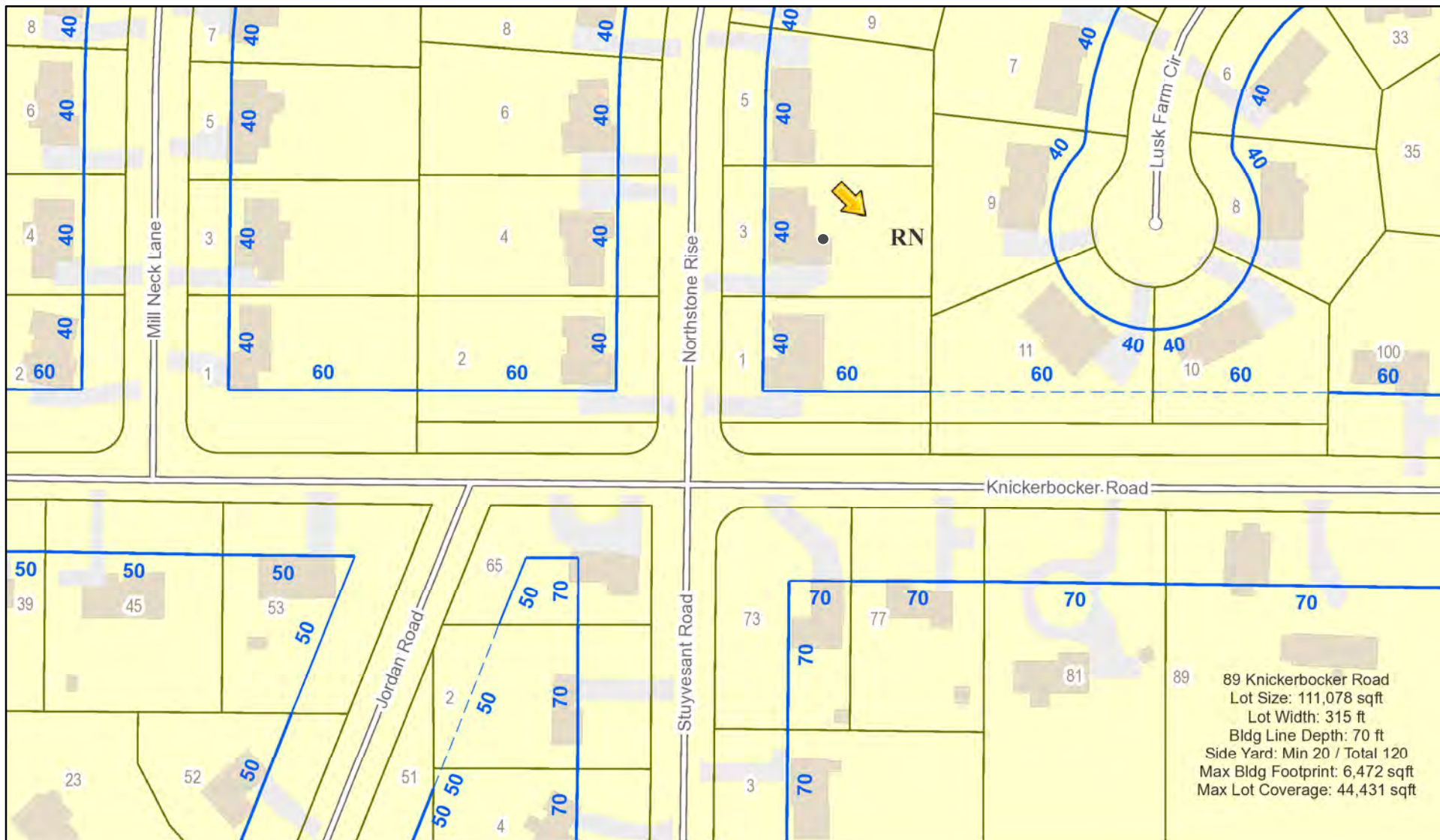
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

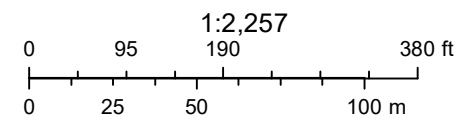
**Project Description:** The Applicant is requesting design review for an addition of a covered patio behind the back of the house.

**Meeting Date:** May 12, 2022

# RN Residential Neighborhood Zoning

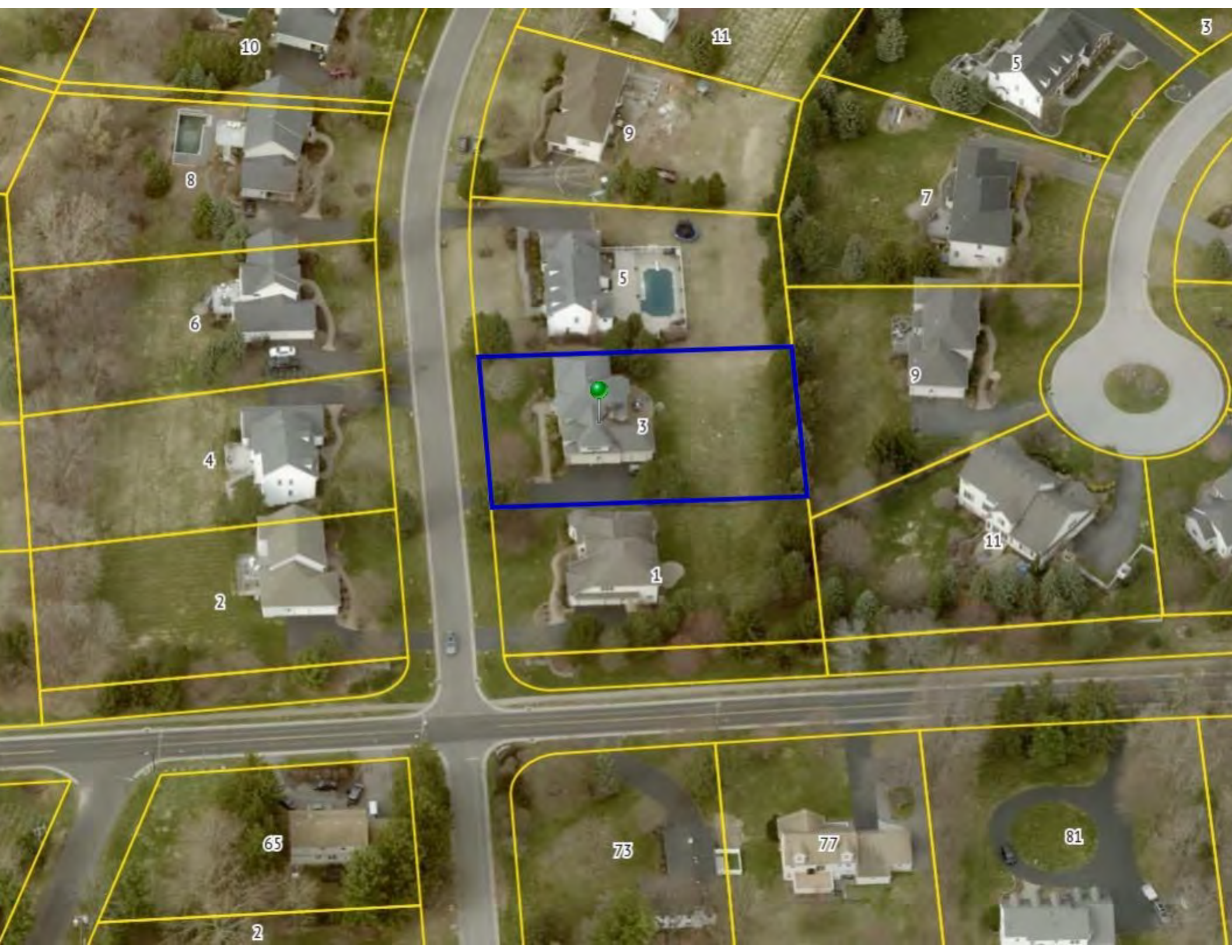


Printed May 3, 2022



Town of Pittsford GIS

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# SCHEIDER PORCH ADDITION

3 NORTHSTONE RISE  
PITTSFORD, NEW YORK



## CLIENT:

KEN & JANINE SCHEIDER

## ARCHITECT:

JAMES FAHY DESIGN ASSOCIATES  
ARCHITECTURE & ENGINEERING P.C.  
2024 W. HENRIETTA RD., SUITE 3K  
ROCHESTER, NY 14623  
TEL. (585) 272-1650  
E-MAIL: INFO@JAMESFAHY.COM  
WEBSITE: WWW.JAMESFAHY.COM

## DRAWING INDEX:

### ARCHITECTURAL:

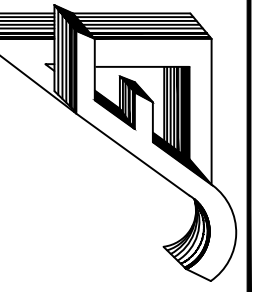
- T1.0 TITLE SHEET
- T2.0 MATERIAL & GUIDE SPECIFICATIONS
- T3.0 ARCHITECTURAL ABBREVIATION  
& SYMBOL INDEXES
- A1.0 EAST & NORTH ELEVATIONS
- A2.0 FOUNDATION PLAN
- A3.0 FLOOR PLAN
- A4.0 DETAILS

### STRUCTURAL:

- S1.0 ROOF FRAMING PLAN

James Fahy Design Associates  
Architecture & Engineering P.C.

2024 W. Henrietta Rd., Suite 3K  
Rochester, New York 14623  
e-mail: info@jamesfahy.com  
website: www.jamesfahy.com



SCHEIDER PORCH ADDITION  
3 NORTHSTONE RISE  
PITTSFORD, NEW YORK

KEN & JANINE SCHEIDER

PROJECT:

CLIENT:

REVISIONS:  
NO. DATE

JOB NO.  
A21-145

PROJECT NO.  
ADDITION

PHASE:  
CONSTRUCTION  
DOCUMENTS

DATE:  
04-22-2022

DRAWING NO.  
T1.0



**ARCHITECTURAL ABBREVIATION INDEX**

Table listing architectural abbreviations and their corresponding full names. Columns include abbreviations like ABV., A.F.F., A.P., ACOUS., A.C.T., ADJ., etc., and their full names such as ABOVE, ABOVE FINISHED FLOOR, ACCESS PANEL, ACOUSTICAL, etc.

Continuation of architectural abbreviations and full names. Columns include abbreviations like H.R., HGR., HD.BD., HDWR., HDWD., HDR., HVAC, etc., and their full names such as HAND RAIL, HANGER, HARD BOARD, etc.

Continuation of architectural abbreviations and full names. Columns include abbreviations like NAT., NOM., N, N.I.C., N.T.S., NO., O.C., OPNG., etc., and their full names such as NATURAL, NOMINAL, NORTH, etc.

Continuation of architectural abbreviations and full names. Columns include abbreviations like SCH. SECT., S.C., SHT., S.M., SH., SHR., S.L., SIM., S.L., S.GD., S.D., SOF., S.C., S, SPEC., SL, SQ., S.F., STD., ST., S.S., STL., STOR., STRUCT., STYRO., SUSP., TEL., TV., TEMP., THK., T&G, T.O.BLK., T.O.FND., T.O.PLT., T.O.S., T.B., TR., TYP., U.A., U.L., UNFIN., U.O.N., VAN., VAULT., V.I.F., VERT., VEST., WAINS., W.I.C., W.O., WASH., W.C., W.H., W.P., W.S., WT., W.W.M., W, W., WDW., W, W/O, WD, W.I., YD., etc., and their full names such as SCHEDULE, SECTION, SELF CLOSING, etc.

**ARCHITECTURAL SYMBOLS INDEX**

Table listing architectural symbols and their corresponding descriptions. Columns include symbols like hatched boxes for brick, concrete, earth, insulation, metal, steel, wood, etc., and their descriptions such as BRICK, CONCRETE MASONRY UNIT, EARTH, etc.

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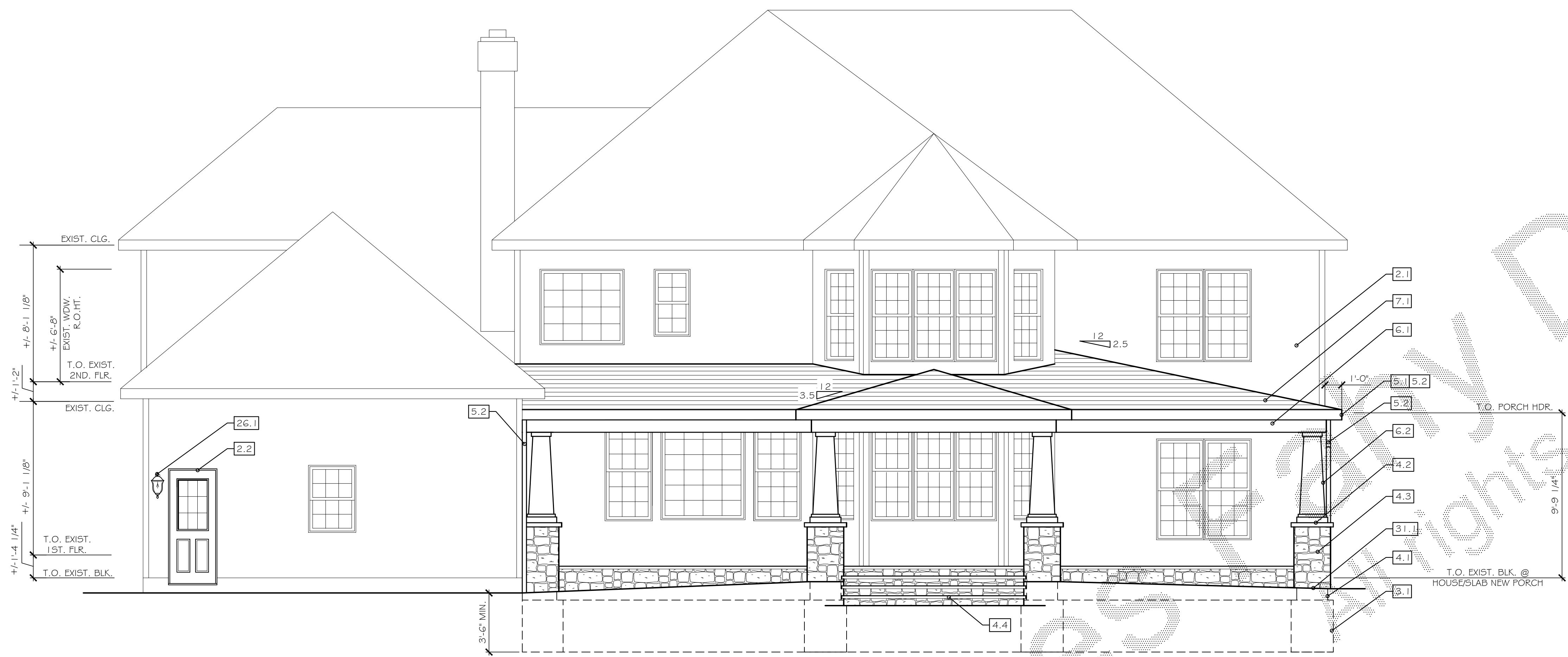
CLIENT: SCHEIDER RESIDENCE PORCH ADDITION 3 NORTHSTONE RISE PITTSFORD, NEW YORK

DRAWING TITLE: ARCHITECTURAL ABBREVIATION & SYMBOL INDEXES

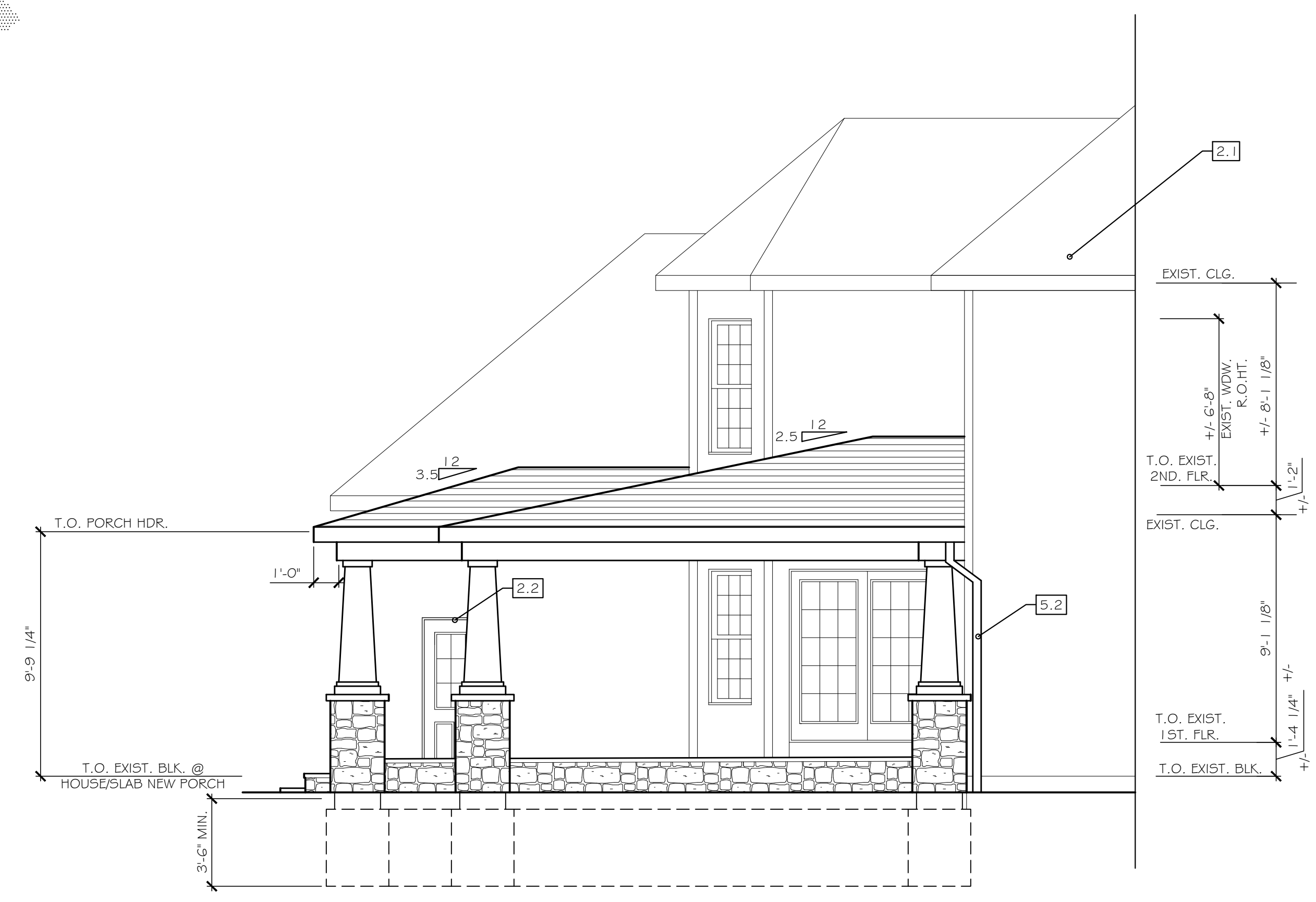
PHASE: CONSTRUCTION DOCUMENTS

Table with project details including JOB NO. (A21-145), PROJECT NO. (ADDITION), DRAWN BY (CME), DRAWING NO. (T3.0), CHECKED BY (JRF), and DATE (04-22-2022).

James Fahy Design logo and contact information: 2024 W. Hennetta Rd., Suite 3K Rochester, New York 14623. Includes phone number (585-272-1650), email (info@jamesfahy.com), and website (www.jamesfahy.com).



EAST ELEVATION  
SCALE: 1/4"=1'-0"



NORTH ELEVATION  
SCALE: 1/4"=1'-0"

- ELEVATION SPECIFICATION NOTES:**
- 2.0 EXISTING CONDITIONS
    - 2.1 EXISTING HOUSE
    - 2.2 EXISTING DOOR TO BE REMOVED & RELOCATED AS SHOWN
  - 3.0 CONCRETE
    - 3.1 CONCRETE TRENCH FOOTING. REFER TO FOUNDATION PLAN FOR SIZING
  - 4.0 MASONRY
    - 4.1 CONCRETE BLOCK FOUNDATION STEM WALL
    - 4.2 LIMESTONE CAP
    - 4.3 THIN CUT WEST COAST LESTONESTONE AS SELECTED
    - 4.4 STEPS TO GRADE BY OTHERS
  - 5.0 METALS
    - 5.1 5/4" x 8" AZEK FASCIA WITH METAL DRIP EDGE
    - 5.2 6" ALUMINUM GUTTER WITH 3"x4" DOWNSPOUTS. FINAL LOCATION BY CONTRACTOR IN FIELD.
  - 6.0 WOOD ELASTICS & COMPOSITES
    - 6.1 1 5/8" x 8" AZEK WRAPPED BOX BEAM
    - 6.2 5/4" AZEK WRAPPED 1 8" BATTERED POST W/ BASE & CAP
  - 7.0 THERMAL & MOISTURE PROTECTION
    - 7.1 ARCHITECTURAL FIBERGLASS / ASPHALT SHINGLES. MATCH EXISTING
  - 26.0 ELECTRICAL
    - 26.1 PROVIDE WALL OR CEILING MOUNTED LIGHTING AT ENTRY DOORS
  - 31.0 EARTHWORK
    - 31.1 GRADE VARIES (REFER TO SITE ENGINEERS GRADING PLAN)

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REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:  
SCHEIDER RESIDENCE  
PORCH ADDITION  
3 NORTHSTONE RISE  
PITTSFORD, NEW YORK

CLIENT:  
KEN & JANINE SCHEIDER

DRAWING TITLE:  
EAST & NORTH ELEVATIONS

PHASE:  
CONSTRUCTION DOCUMENTS

JOB NO. A21-145	PROJECT NO. ADDITION
DRAWN BY: CME	DRAWING NO. A1.0
CHECKED BY: JRF	
DATE: 04-22-2022	

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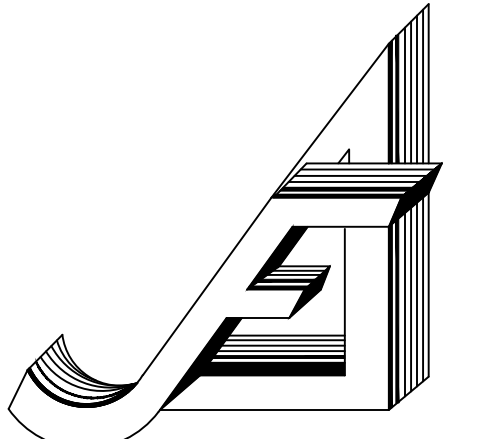
PROJECT:  
 SCHEIDER RESIDENCE  
 PORCH ADDITION  
 3 NORTHSTONE RISE  
 PITTSFORD, NEW YORK

CLIENT:  
 KEN & JANINE SCHEIDER

DRAWING TITLE:  
 FOUNDATION PLAN

PHASE:  
 CONSTRUCTION DOCUMENTS

JOB NO. A21-145	PROJECT NO. ADDITION
DRAWN BY: CME	DRAWING NO. A2.0
CHECKED BY: JRF	DATE: 04-22-2022



**James Fahy Design**  
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 e-mail: info@jamesfahy.com  
 website: www.jamesfahy.com

**GENERAL CONSTRUCTION NOTES:**

- A. Construction shall conform to the 2020 International Residential code of New York State.
- B. Comply with all local, state and federal codes and regulations.
- C. General Contractor is responsible for all materials, construction methods and Craftsmanship.
- D. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- E. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
- F. Contractors are responsible for coordinating work with other trades wherever they overlap.
- G. When materials and/or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces, unless otherwise noted.
- H. Provide all blocking, turning and shimming as necessary for installation and completion of the work.
- I. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
- J. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- K. All dimensions are face of wall to face of wall (rough).
- L. No site visits will be made by the Architect. Contractor shall assume all responsibility for changes to these drawings.
- M. Coordinate wood trim and finishes, and exterior finish materials (siding, roofing, etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
- N. Call UFPO before you dig: 1-800-962-7962
- O. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar.
- P. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- Q. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
- R. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

**GENERAL DEMOLITION NOTES:**

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all finishes not shown to remain.
- D. Trench wall openings are required and patch surfaces to match adjacent existing.
- E. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- F. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- G. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- H. Storage for contractor's equipment and debris must be kept inside the contract area.
- I. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.

**GENERAL NOTES: FOUNDATION (UNLESS OTHERWISE NOTED)**

- CONSTRUCTION NOTES:**
- ALL DIMENSIONS BASED ON EXISTING CONDITIONS ARE ± AND MUST BE FIELD VERIFIED BEFORE STARTING WORK.
  - CONTRACTOR TO CONTACT ARCHITECT IF EXISTING FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON CONSTRUCTION DOCUMENTS.
  - NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS.
  - NEW FOOTINGS TO BEAR ON FIRM UNDISTURBED NATIVE SOILS 3'-6" MIN. BELOW ADJACENT GRADE. VERIFY IN FIELD. REFER TO DET. 1.0 SHT. A7.0 FOR STEPPED FOOTING REQUIREMENTS.
  - INTERIOR SLABS SHALL BE 2500 PSI MIN. AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
  - SPREAD FOOTINGS TO BE 3000 PSI MIN. W/ REINFORCING AS NOTED AND SHALL BE AIR ENTRAINED IF SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION.
  - ALL SLABS TO BE REINFORCED WITH WIRE MESH AS NOTED.
  - INSTALL 1" DEEP x 1/4" WIDE CONTROL JOINTS IN SLAB EVERY 300 S.F. ±
  - GROUT CORES SOLID @ ALL 4" x 6" BLK. LOCATIONS AND IN THE STARTING COURSE ON FOUNDATION WHERE ADJACENT CELLS OR CAVITIES ARE TO BE GROUTED.
  - GROUT CORES SOLID AT ALL LOCATIONS RECEIVING VERTICAL REINFORCING.
  - CONCRETE MASONRY SHALL CONFORM TO THE REQUIREMENTS OF ACI AND 2020 RCNYS CHAPTER 4.
  - CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90 TYPE I, GRADE N, MOISTURE CONTROLLED UNITS. MORTAR SHALL BE TYPE M OR S.
  - GROUT SHALL CONFORM TO ASTM C476 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. GROUT SHALL BE PLACED IN LIFTS NOT EXCEEDING 7 COURSES IN HEIGHT UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
  - COORDINATE LOCATION OF ALL MASONRY WALLS, PARTITIONS AND OPENINGS WITH ARCHITECTURAL DRAWINGS.
  - ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL. (SEE NOTE BELOW)
  - ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3 INCHES. FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM.
  - PROVIDE CHEMICAL HARDENER AND SEALER TO ALL TROWEL FINISHED INTERIOR FLOORS WHICH ARE TO BE LEFT EXPOSED.

**REINFORCING:**

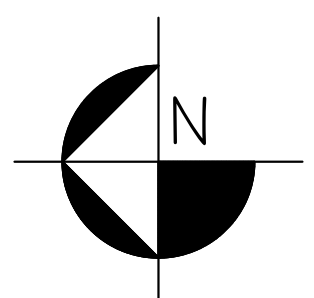
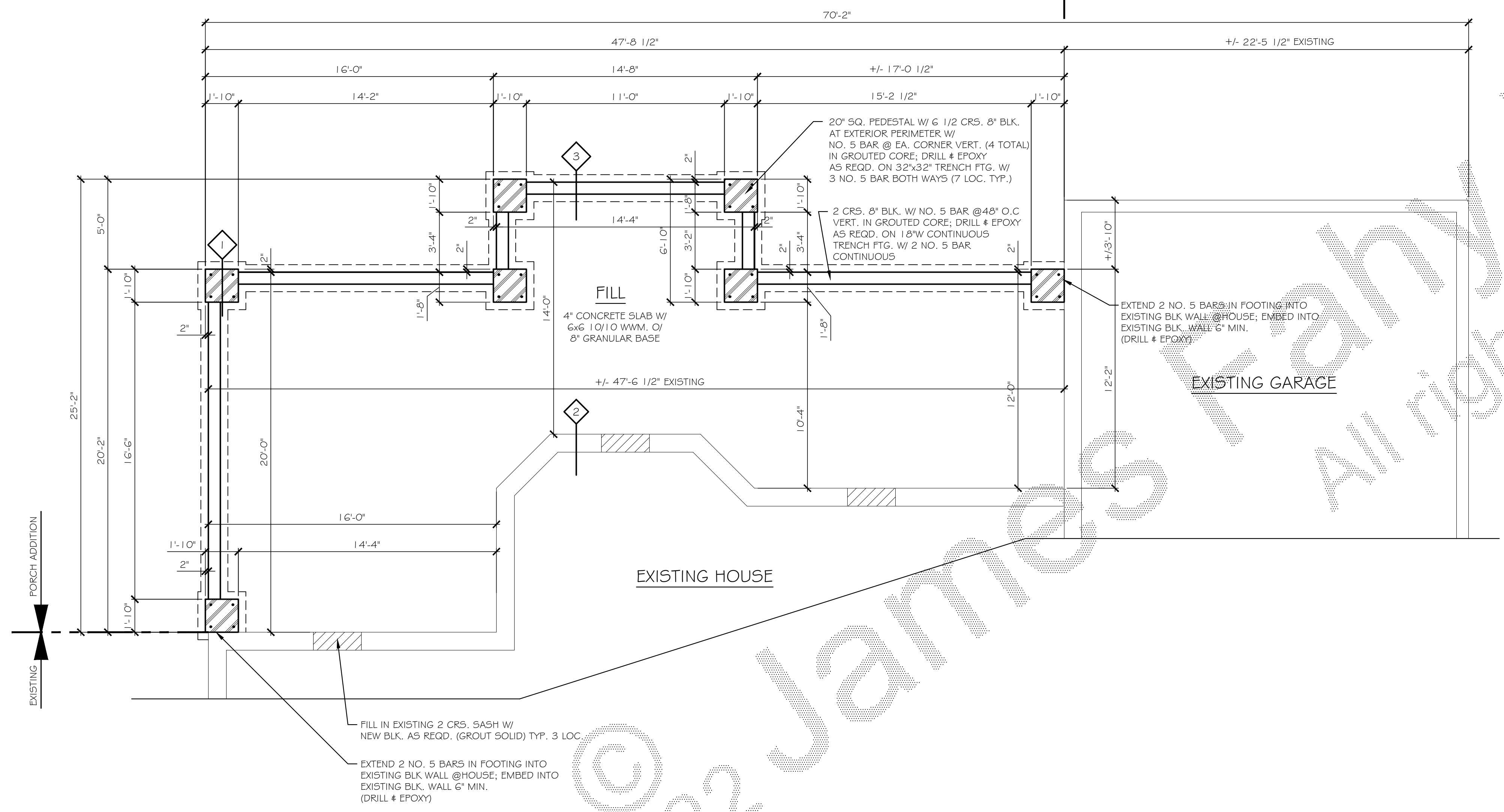
- AS NOTED ON FOUNDATION PLAN & ON DETAILS SHT. A4.0

- LEGEND:**
- CONSTRUCTION DETAIL SHOWN ON SHEET A4.0
  - EXISTING CONSTRUCTION TO REMAIN
  - EXISTING CONSTRUCTION TO BE FILLED IN
  - NEW CONSTRUCTION

**FOUNDATION ELEVATION LEGEND:**

- ELEV. = +28' (+6 1/2 CRS. of TRENCH FTG.)
- ELEV. = 0' (T.O. EXISTING BLK. @ HOUSE/SLAB)

PORCH ADDITION ← EXISTING



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

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REVISIONS:

NO.	DATE	BY	DESCRIPTION

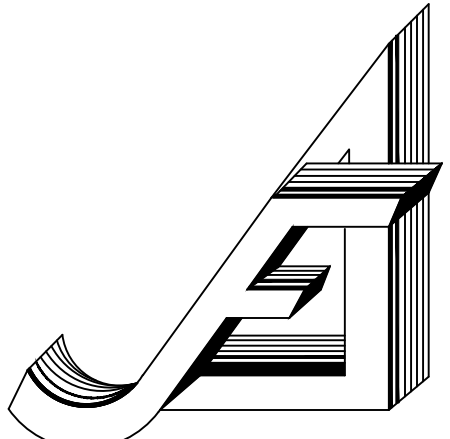
PROJECT:  
**SCHEIDER RESIDENCE PORCH ADDITION**  
**3 NORTHSTONE RISE PITTSFORD, NEW YORK**

CLIENT:  
**KEN & JANINE SCHEIDER**

DRAWING TITLE:  
**FLOOR PLAN**

PHASE:  
**CONSTRUCTION DOCUMENTS**

JOB NO. A21-145	PROJECT NO. ADDITION
DRAWN BY: CME	DRAWING NO. A3.0
CHECKED BY: JRF	
DATE: 04-22-2022	



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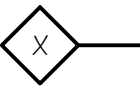
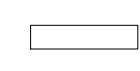

- GENERAL CONSTRUCTION NOTES:**
- A. Construction shall conform to the 2020 International Residential code of New York State.
  - B. Comply with all local, state and federal codes and regulations.
  - C. General Contractor is responsible for all materials, construction methods and craftsmanship.
  - D. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
  - E. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
  - F. Contractors are responsible for coordinating work with other trades wherever they overlap.
  - G. When materials and/or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, priming and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
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  - I. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
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  - K. All dimensions are face of wall to face of wall (rough).
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  - M. Coordinate wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
  - N. Call UFPO before you dig. 1-800-962-7962
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  - Q. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
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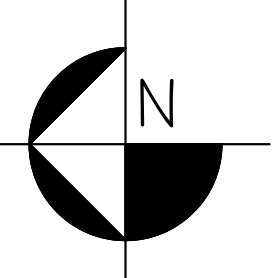
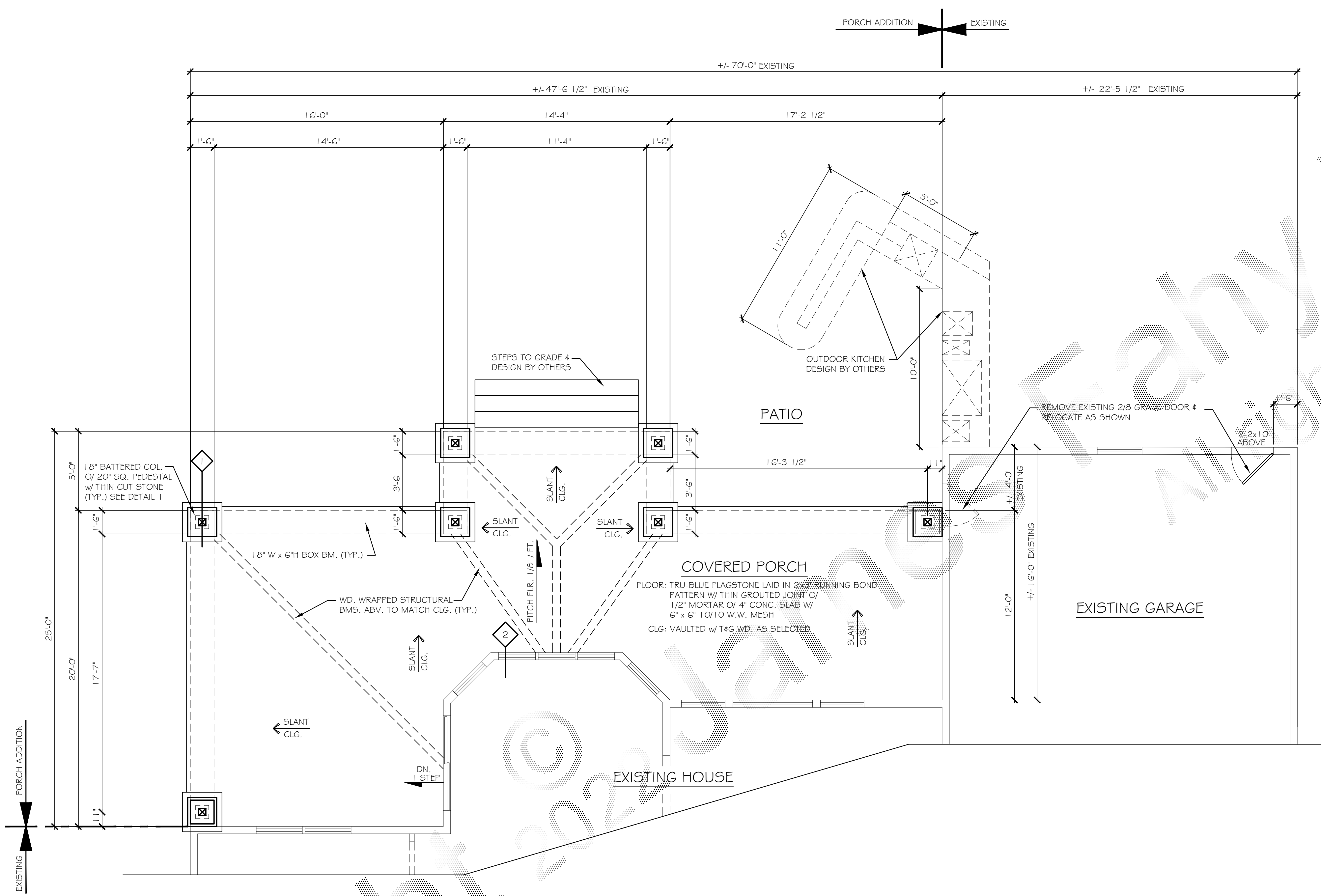
- GENERAL DEMOLITION NOTES:**
- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
  - B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
  - C. Contractor to remove all finishes not shown to remain.
  - D. Infill wall openings as required and patch surfaces to match adjacent existing.
  - E. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
  - F. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
  - G. Storage for contractor's equipment and debris must be kept inside the contract area.
  - H. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.

**GENERAL NOTES: FIRST FLOOR (UNLESS OTHERWISE NOTED)**

- ALL P.L.T. HEIGHTS TO BE AS NOTED ON ELEVATIONS & DETAILS
- REFER TO SHEET S1.0 FOR ALL HEADERS FRAMING

**LEGEND:**

-  CONSTRUCTION DETAIL  
ALL DETAILS SHOWN ON SHEET A4.0
-  EXISTING CONSTRUCTION TO REMAIN
-  6" x 6" P.T. POST



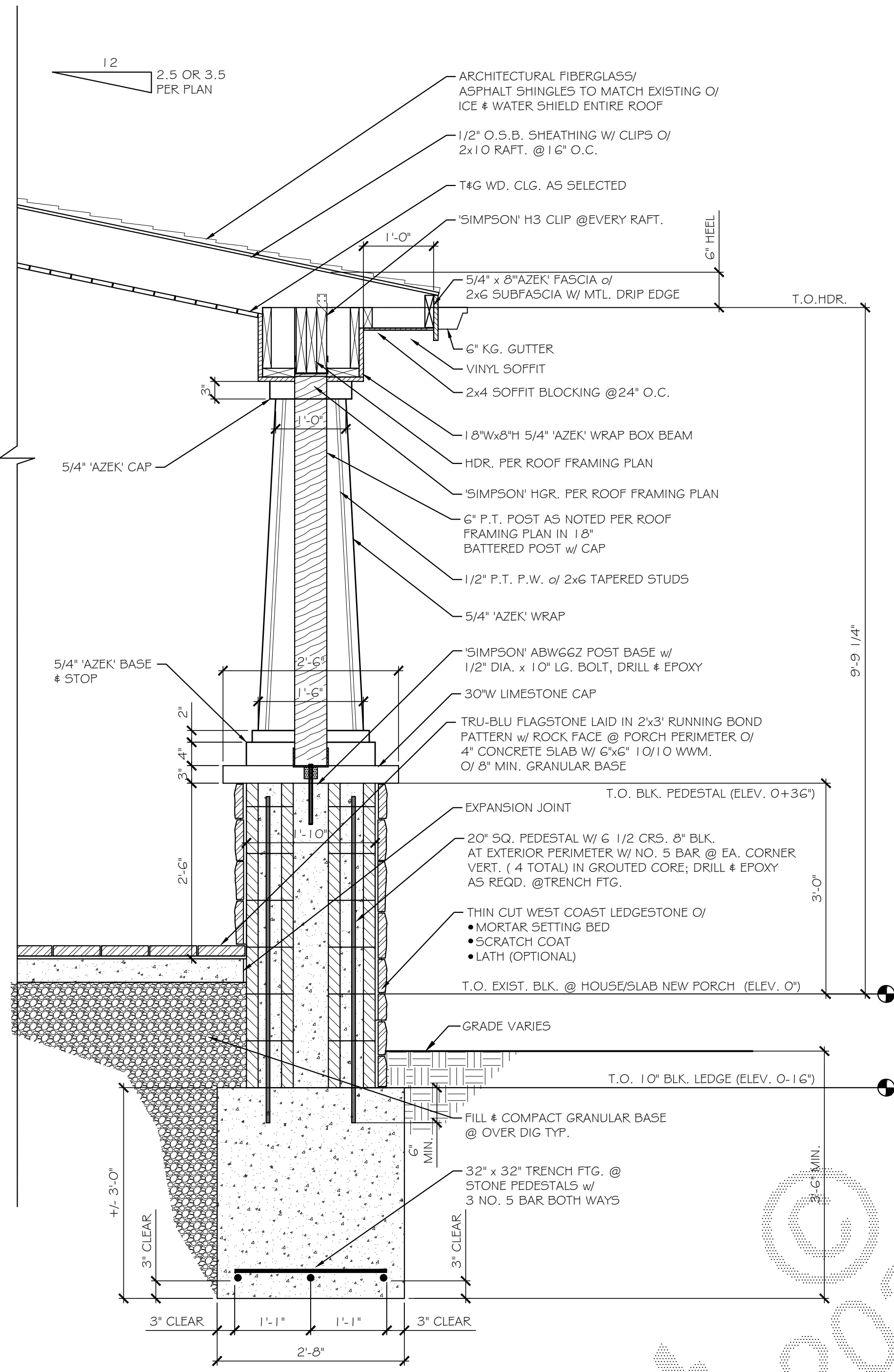
**FLOOR PLAN**      736 S.F.  
 SCALE: 1/4" = 1'-0"

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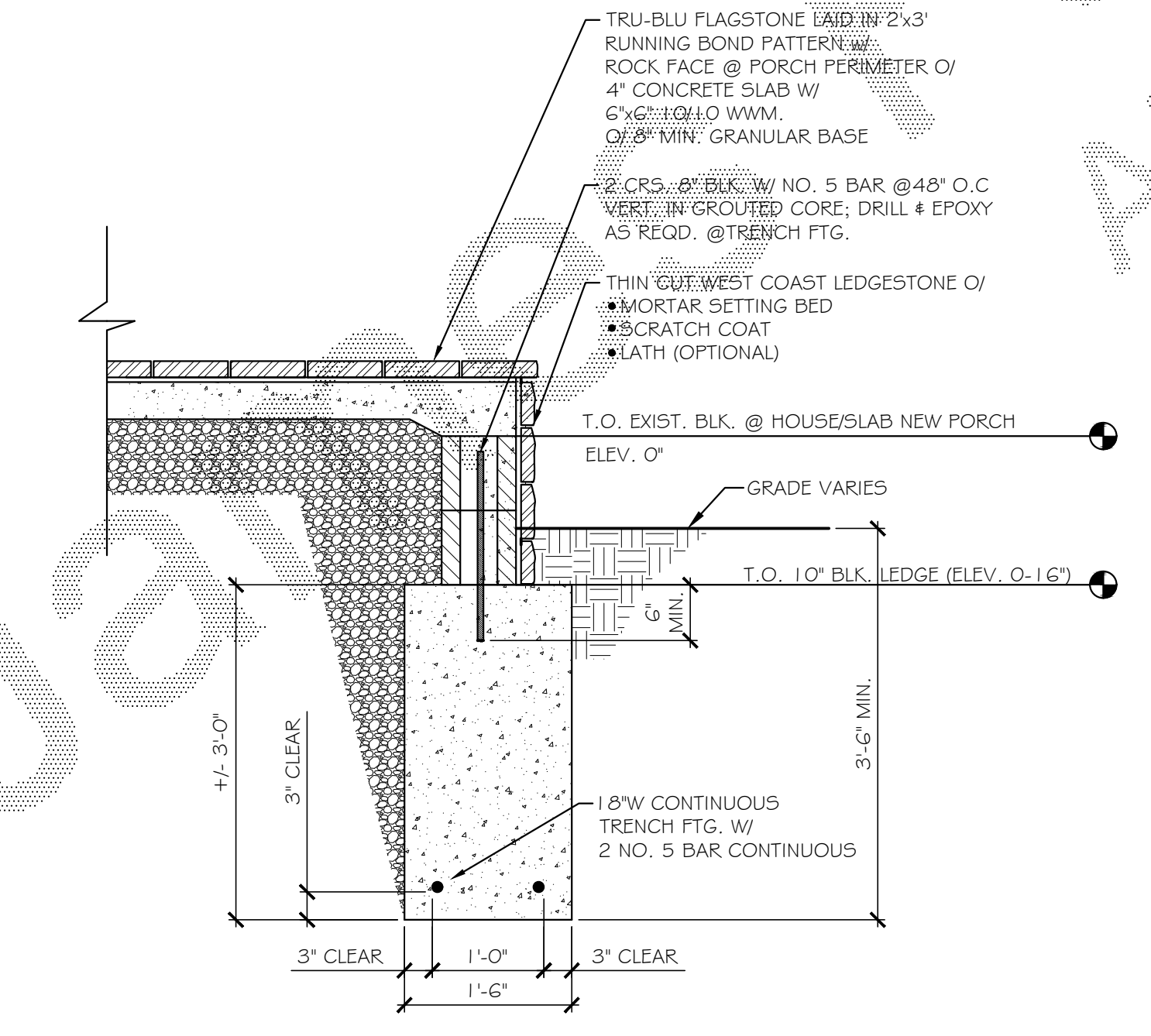
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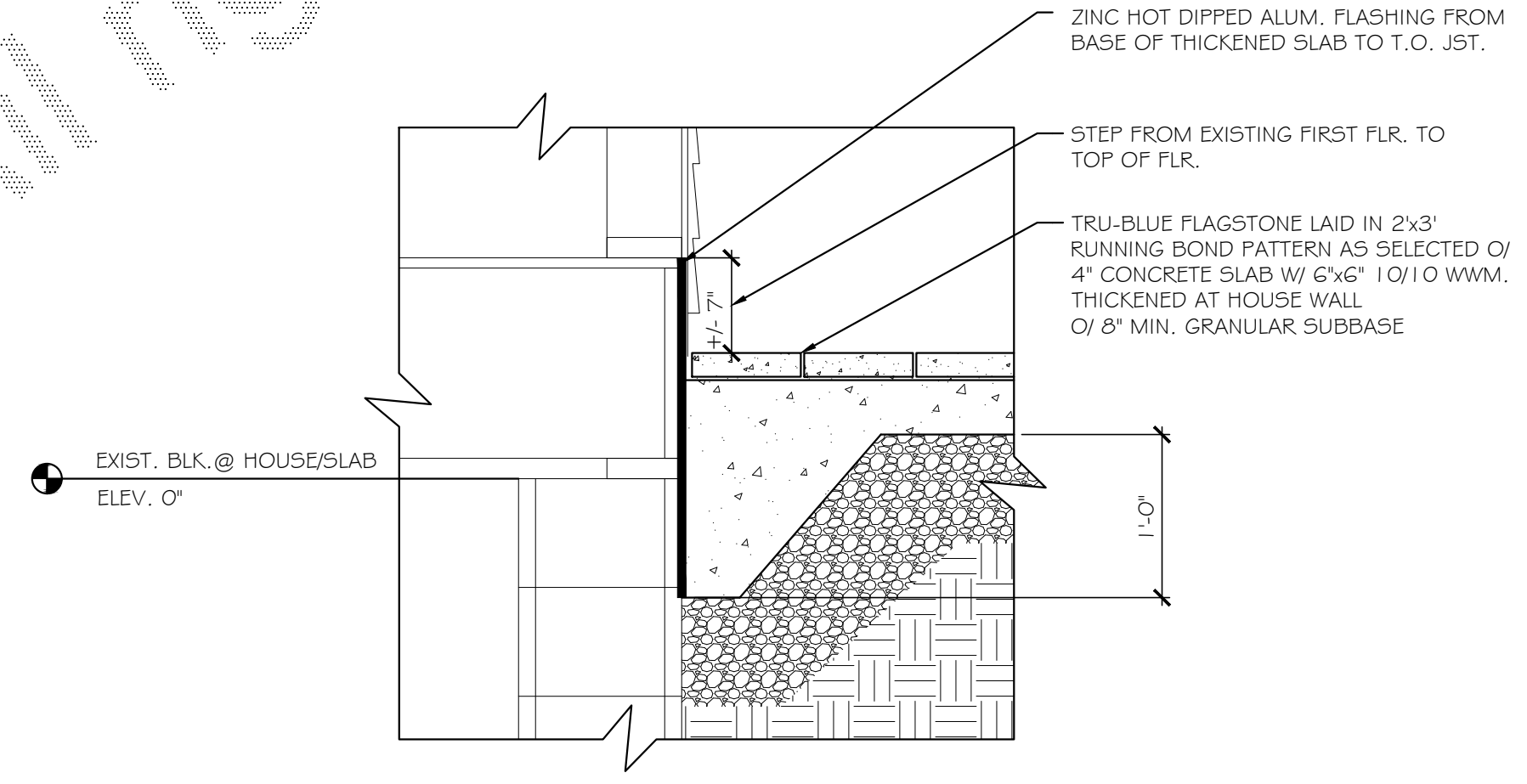
REVISIONS:			
NO.	DATE	BY	DESCRIPTION



1 DETAIL @ STONE PIER  
 SCALE: 3/4" = 1'-0"



2 DETAIL @ PORCH PERIMETER  
 SCALE: 3/4" = 1'-0"



3 CONCRETE SLAB @ EXISTING HOUSE  
 SCALE: 1" = 1'-0"

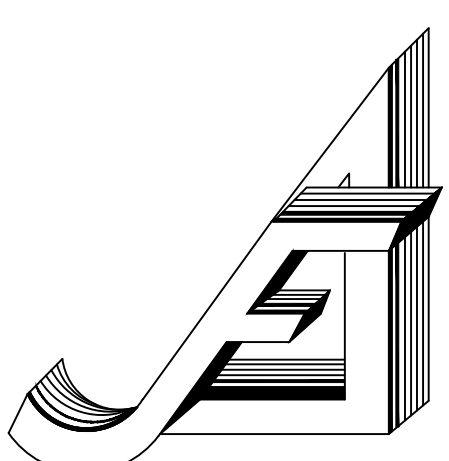
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 SCHEIDER RESIDENCE  
 PORCH ADDITION  
 3 NORTHSTONE RISE  
 PITTSFORD, NEW YORK

CLIENT:  
 KEN & JANINE SCHEIDER

DRAWING TITLE:  
 DETAILS

PHASE:  
 CONSTRUCTION DOCUMENTS

JOB NO. A21-145	PROJECT NO. ADDITION
DRAWN BY: CME	DRAWING NO. A4.0
CHECKED BY: JRF	
DATE: 04-22-2022	



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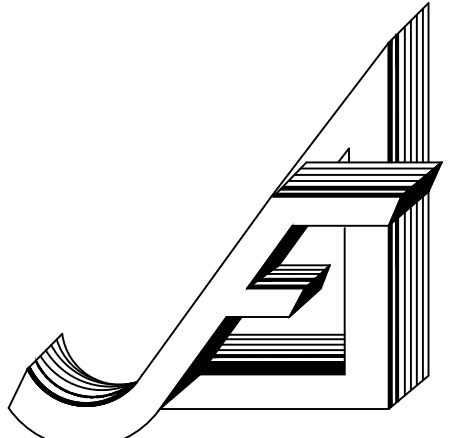
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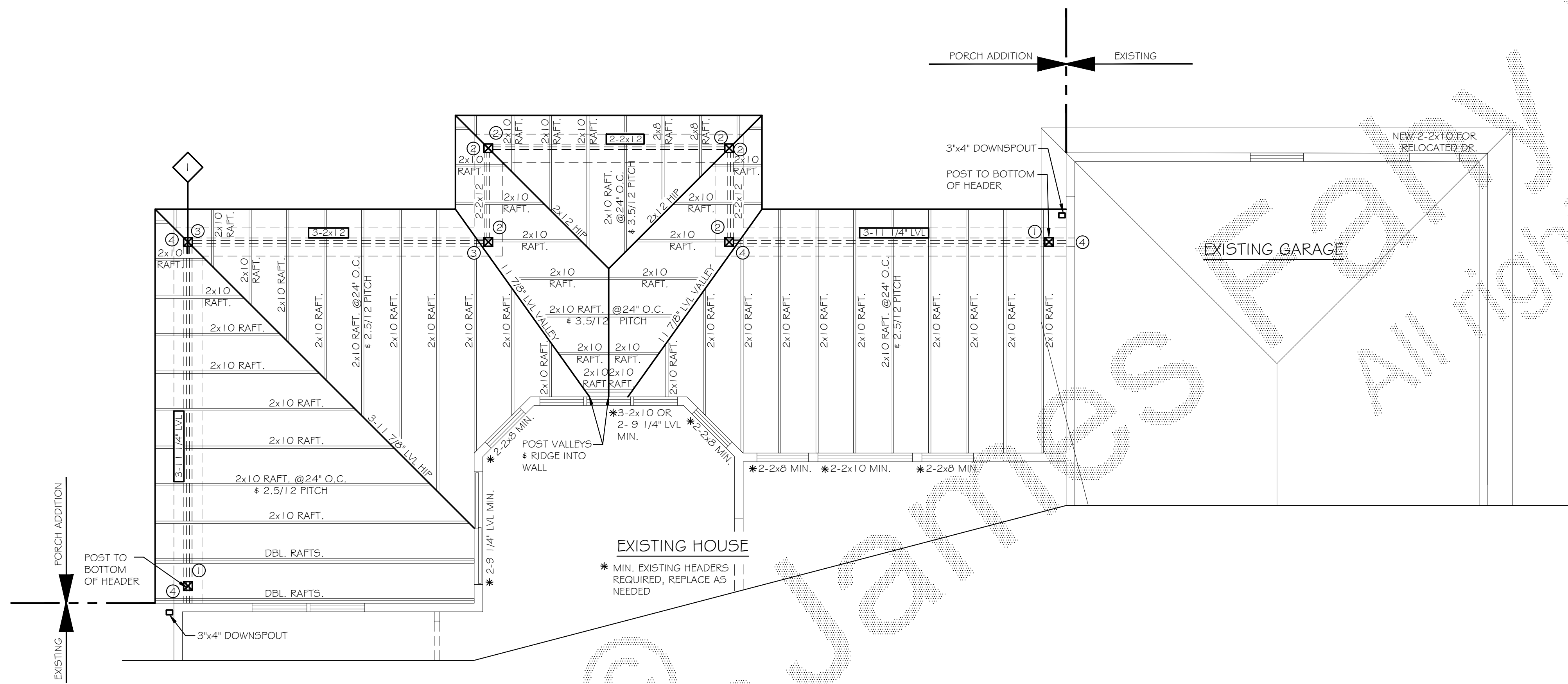
DRAWING TITLE:  
 ROOF FRAMING PLAN

PHASE:  
 CONSTRUCTION DOCUMENTS

JOB NO. A21-145	PROJECT NO. ADDITION
DRAWN BY: CME	DRAWING NO. SI.0
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**CONSTRUCTION NOTES:**

- ALL SLOPES TO BE T-O' (UNLESS OTHERWISE NOTED)
- POST ALL HIP, RIDGE & VALLEY TERMINATIONS TO SOLID BRG. BELOW
- A.V.: APPLIED VALLEY
- AT ALL HEADER TO WALL CONNECTIONS, PROVIDE SOLID BEARING IN WALL FOR CONNECTION
- ICE & WATER SHIELD ENTIRE ROOF.

**APPLIED VALLEY FRAMING**

- USE 2x12 FLAT OVER ROOF SHEATHING FOR 2x10 RAFTERS
- USE 2x10 FLAT OVER ROOF SHEATHING FOR 2x8 RAFTERS
- USE 2x8 FLAT OVER ROOF SHEATHING FOR 2x6 RAFTERS

**LEGEND:**

- : LINE OF WALL & ROOF BELOW
- (X) : CONSTRUCTION DETAIL ALL DETAILS SHOWN ON SHEET A4.0
- ☒ : 6" x 6" P.T. POST (ALL CORNER POST TO BE FULL HT.)

**SIMPSON (OR EQUAL) POST CAP & HANGER CONNECTIONS**

- ①: CCG5-GSD52.5
- ②: HUC 212-2 (FOR 2-2x12)
- ③: HUC 212-3 (FOR 3-2x12)
- ④: HUCG12 (FOR 3-11 1/4" LVL)

 **ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"