

**TOWN OF PITTSFORD  
ZONING BOARD OF APPEALS  
AGENDA  
July 15, 2019**

**PUBLIC HEARING FOR AN RV SPECIAL PERMIT - RETURNING**

- 1 Sassafra Lane, Tax # 179.09-1-11, Applicant is requesting a special permit pursuant to §148-9 C to allow the storage of a 30' long 10' 6" high recreational vehicle to be located on the side of the garage. The recreational vehicle is proposed to be stored at the property from April 30 to October 30. Property zoned RN – Residential Neighborhood District

**PUBLIC HEARING FOR AN AREA VARIANCE – RETURNING**

- 160 Mill Road, Tax # 178.04-1-72, Applicant is requesting relief from Town Codes §185 – 121 A to construct a 6 foot tall fence forward of the front wall of the home on the north and south property lines. Town Code limits the height of fences to 3 feet when placed forward of the front of a home. This property is zoned RN-Residential Neighborhood.

**PUBLIC HEARING FOR AN AREA VARIANCE - NEW**

- 21 Merry Hill Lane, Tax # 163.16-2-1, Applicant is requesting relief from Town Code §185-113 B (6) & 185 – 17 E to allow the placement of a 8' x 14' garden shed approximately 4 feet from the right side property line. Property zoned RN – Residential Neighborhood District
- 1762 Calkins Road, Tax # 163.03-1-68, Applicant is requesting relief from Town Codes §185 – 121 A; §185 - 113 B (1) & (2) to construct an 8' 4" tall gated driveway entry fence forward of the front wall of the home approximately 43' 2" from the edge of the road and to relocate an existing 420 Sq. Ft. 14' tall accessory structure to the rear yard. Town Code limits the height of fences to 3 feet when placed forward of the front of a home. This property is zoned RRAA-Rural Residential District.
- 305 W. Bloomfield Road, Tax # 192.01-1-29.1, Applicant is requesting relief from Town Code §185-113 B (1) & (2) for the construction of a Residential Storage Building approximately 40' x 60' with a 12' x 60' covered open area (3120 Sq. Ft.) located in the rear yard. The building is proposed to be approximately 25' tall at the cupola. Property is zoned RN – Residential Neighborhood District.
- 39 Van Voorhis Road, Tax # 192.02-1-19, Applicant is requesting relief from Town Code §185-113 B (1) & (2) construction of a Residential Storage Building of approximately 512 Sq. Ft. located in the rear yard. The oversized accessory structure will be constructed to a height of approximately 17'. Property is zoned RN – Residential Neighborhood District.
- 36 Founders Green, Tax # 164.03-5-17, Applicant is requesting relief from Town Code §185 – 113 B (3) to place a hot tub located forward of the rear wall of the home. Town Code requires accessory structures to be located behind the rear wall of the home. This property is zoned RN – Residential Neighborhood District.

**OTHER**

- Review and Approval of the June 17, 2019 Minutes

*draft*  
**TOWN OF PITTSFORD  
ZONING BOARD OF APPEALS  
MINUTES  
June 17, 2019**

**PRESENT**

George Dounce, Chairperson; Mary Ellen Spennacchio-Wagner, Phil Castleberry, Mike Rose, David Rowe, Barbara Servé, Jaime Waldman

**ALSO PRESENT**

Stephanie Townsend, Town Board Liaison; Mark Lenzi, Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Robert Koegel, Town Attorney

George Dounce, Chairperson, called the regularly scheduled meeting of the Zoning Board of Appeals to order at 7:00 pm.

Mark Lenzi indicated that the applications before the Board this evening are Type II Actions under 6-NYCRR §617.5(c) (7) or (12) & (13) and, therefore, are not subject to Environmental Review under SEQRA. This application is exempt from review by the Monroe County Planning Department based on an agreement with Monroe County dated October 7, 2008.

**PUBLIC HEARING FOR AN AREA VARIANCE**

- 25 Harwood Lane, Tax # 138.19-1-3, Applicant is requesting relief from Town Code §185-113 B (1), (2) & (6) and §185 – 17 E to allow construction of an addition of approximately 500 ft<sup>2</sup> attached to an existing 400 ft<sup>2</sup> detached garage. The oversized accessory structure will be constructed to a height of approximately 14 feet at the front and approximately 20 feet at the rear. The addition will encroach into the side setback approximately 11 feet. Property is zoned RN – Residential Neighborhood District.

Mark Lenzi announced that the Applicant withdrew this application prior to the Public Hearing.

**PUBLIC HEARING FOR A RV SPECIAL PERMIT**

- 1 Sassafras Lane, Tax # 179.09-1-11, Applicant is requesting a special permit pursuant to §148-9 C to allow the storage of a 30' long 10' 6" high recreational vehicle to be located on the side of the garage. The recreational vehicle is proposed to be stored at the property from April 30 to October 30. Property zoned RN – Residential Neighborhood District

Chairman George Dounce opened the Public Hearing.

The homeowner, Doug Hannie, was present.

Mr. Hannie indicated that the recreational vehicle will be located behind the home and they have cut down bushes and trees to accommodate pulling the RV farther forward. He indicated that there are 3 large trees and 20 bushes behind the home. Only two neighbors can now see the vehicle. He also indicated that they are willing to change the length of time the RV will be stored from the end of June until the end of September. He estimated the RV will be gone about 45 days of that time due to family commitments and loaning the vehicle to friends. Mr. Hannie showed views from across the

street from 47 Burr Oak and indicated that this neighbor's dining room is directly in view of the RV and they have no problem with it. He stated that he was willing to plant more trees so that the neighbor at 3 Sassafras Lane has more buffering.

The Chairman called for public comment.

Susan Neal of 44 Burr Oak Drive is the neighbor across the street on Burr Oak. She indicates she is in support of this RV as it promotes the well-being of the family.

Cassie Hanley of 47 Burr Oak Drive indicated her full support of the RV.

Bill Balderston of 5 Sassafras Lane stated that the RV is not in keeping with the area and changes the flavor of the cul de sac.

Sara Malgieri of 3 Sassafras Lane feels that the RV infringes on the natural environment of the area. Ms. Malgieri is the most affected neighbor and has concerns about, emissions, noise and refuse matters. She states safety concerns as there are propane tanks associated with the RV and there are sometimes fireworks and a fire pit on the owner's property. She would have to tolerate the loading and unloading of the RV and feels that an RV would affect her property value. She feels the Board should set boundaries and require the owner to store the RV elsewhere. She referenced the petition that went out to neighbors in support of the application but she felt the neighbors were provided with limited information. When asked if a shorter time limit would help the situation she responded that she does not want the RV there at all. Mr. Hannie stated that the petition referenced that the RV would be there from May 1<sup>st</sup> to October 1<sup>st</sup>.

Barbara Serve asked if foliage could shield or camouflage the RV from her view. Ms. Malgieri feels that bushes do not address this.

Mike Rose asked how she is affected as her garage is on the side closest to 1 Sassafras Lane. She feels that the enjoyment of the office space, mudroom and bathroom of her home are affected.

David Rowe indicated he would like to see the new placement of the RV.

David Rowe moved to close the Public Hearing. Mary Ellen Spennacchio-Wagner seconded.

All Ayes.

Discussion from the Board drew additional comment from the public so George Dounce moved to reopen the Public Hearing. Mike Rose seconded.

All Ayes.

The Board decided they would like to go to the site or see pictures of the new placement. The Applicant and homeowner at 3 Sassafras Lane agreed to have pictures taken from each of their views. Mr. Hannie invited the Board to visit his property when the RV was there.

The result was to delay the decision until more information could be gathered.

George Dounce moved to close the Public Hearing. David Rowe seconded.

## **PUBLIC HEARING FOR AN AREA VARIANCE**

- 160 Mill Road, Tax # 178.04-1-72, Applicant is requesting relief from Town Codes §185 – 121 A to construct a 6 foot tall fence forward of the front wall of the home on the north and south property lines. Town Code limits the height of fences to 3 feet when placed forward of the front of a home. This property is zoned RN-Residential Neighborhood.

Chairman George Dounce opened the Public Hearing.

Eric Geoca was the representative for this application. The property owner was not present.

Mr. Geoca explained that the application is amended to the construction of a 6 foot tall fence forward of the front wall of the home on the north end only. The fence will be wooden to blend into the background.

Board members inquired about the following :

Why can't the fence cannot be within code? Mr. Geoca responded that this fence is intended to be a privacy fence.

How many trees will be taken down? 8-10 dead trees will be removed.

Will the rock wall stay? Yes.

Public Comment was heard.

Evan and Monique Spindelman of 4 Cedarwood Circle expressed their concerns. A new fence is entirely visible and they feel their property would be negatively impacted. Mr. Spindeleman indicated that he would prefer to look at a hedgerow instead of a fence.

Steve Freiga of 6 Cedarwood Circle discussed how he feels the fence infringes on the character of the neighborhood.

Paul Zachman of 166 Mill Road feels that the fence is out of character for the neighborhood.

Andrew Kane of 155 Mill Road expressed that he doesn't like fences and is happy that the south fence was reduced.

The Board moved to leave the hearing open.

Barb Serve abstained due to a conflict of interest.

Jamie Waldman voted no to leaving the hearing open.

All other Board members voted to leave the hearing open.

The Board asked to see the following information:

1. Where the house will be staked out.
2. What style is the proposed fence.

Mark Lenzi announced that the next meeting is July 15, the meeting is held open and no further notification will be made to the public.

- 1 Glencannon Trail, Tax # 164.07-2-7.1, Applicant is requesting relief from Town Code §185-17 I to locate an accessory structures (Hot tub) in the rear setback of the property at approximately 5 feet from the property line. Town Code requires a 20 foot rear setback. This Property is located on the corner of two streets and is zoned RN – Residential Neighborhood District

Chairman George Dounce opened the Public Hearing.

The homeowner, Evan Selinger, was present.

He discussed how he reviewed the plan with his neighbor at 5419 Palmyra Road and he had no objection.

There was no public comment.

Mary Ellen Spennacchio-Wagner moved to close the Public Hearing and Barbara Servé seconded.

All Ayes.

- 153 Mendon Center Road, Tax # 178.05-1-87, Applicant is requesting relief from Town Code §185-17 B (1); §185 – 113 B (3); §185 – 119 A (1) §185 – 121 A. to construct an in-ground swimming pool located forward of the rear wall of the home and forward of the building line. The pool filter and heater will be located forward of the rear wall of the home and the swimming pool area will be enclosed by a 4 foot high fence. The fence will be located forward of the front of the home. This property is zoned RN – Residential Neighborhood District.

Chairman George Dounce opened the Public Hearing.

The homeowner, Lauren Lilly, was present. She explained that her property was extended 25 ft. by a Monroe County agreement. She is replacing an older pool with a new better looking one. The proposed location is the only location the pool can be placed due to the septic placement on the property.

The neighbors at 148 and 156 Mendon Center Road cannot see the pool and have no objections.

There was no public comment.

Jaime Waldman moved to close the Public hearing and Mike Rose seconded.

All Ayes.

**DECISION FOR 1 GLENCANNON TRAIL – AREA VARIANCE**

A written Resolution to grant the area variance for 1 Glencannon Trail was moved by David Rowe and seconded by Mary Ellen Spennacchio-Wagner.

Chairman George Dounce called for a roll call vote.

Michael Rose voted	aye
Barbara Servé voted	aye
Jaime Waldman voted	aye
David Rowe voted	aye
Mary Ellen Spennacchio-Wagner voted	aye
George Dounce voted	aye
Phil Castleberry voted	aye

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated 5/13/2019.

2. Installation is to be completed by December 31, 2020.

## **DECISION FOR 153 MENDON CENTER ROAD – AREA VARIANCE**

A written Resolution to grant the area variance for 153 Mendon Center Road was moved by Jaime Waldman and seconded by Georg Dounce.

Chairman George Dounce called for a roll call vote.

Michael Rose voted	aye
Barbara Servé voted	aye
Jaime Waldman voted	aye
David Rowe voted	aye
Mary Ellen Spennacchio-Wagner voted	aye
George Dounce voted	aye
Phil Castleberry voted	aye

The approved Resolution contains the following Specific Conditions:

1. This variance is granted only for the plans submitted and prepared by the Applicant dated May 13, 2019.
2. All construction to be completed by 12/31/2021.

## **APPROVAL OF THE MEETING MINUTES OF MAY 20, 2019**

George Dounce moved to accept the minutes of May 20, 2019 with a correction.

VOICE VOTE: Ayes – All

## **OTHER – Point Persons for July 15 meeting**

21 Merry Hill Lane – Mary Ellen Spennacchio-Wagner

305 West Bloomfield Road - Barbara Servé

39 Van Voorhis – David Rowe

36 Founders Green – David Rowe

1762 Calkins Road – George Dounce

## **MEETING ADJOURNMENT**

George Dounce moved to adjourn the meeting at 9:07 pm.

VOICE VOTE: Ayes – All

Respectfully submitted,

Susan Donnelly  
Secretary to the Zoning Board of Appeals

# Zoning Board of Appeals Referral Form Information

**Property Address:**

1 Sassafras Lane PITTSFORD, NY 14534

**Property Owner:**

Hannie, Douglas D  
1 Sassafras Ln  
Pittsford, NY 14534

**Applicant or Agent:**

Hannie, Douglas D  
1 Sassafras Ln  
Pittsford, NY 14534

**Present Zoning of Property:** RN Residential Neighborhood  
Special Permit - Recreational Vehicle Storage

<b>Town Code Requirement is:</b>		<b>Proposed Conditions:</b>		<b>Resulting in the Following Variance:</b>	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

**Code Section(s):** 148-9

Description: Returning RV Special Permit. Application held open on June 17, 2019

July 03, 2019



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Date

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Mark Lenzi - Building Inspector CEO

# Zoning Board of Appeals Referral Form Information

**Property Address:**

1 Sassafras Lane PITTSFORD, NY 14534

**Property Owner:**

Hannie, Douglas D  
1 Sassafras Ln  
Pittsford, NY 14534

**Applicant or Agent:**

Hannie, Douglas D  
1 Sassafras Ln  
Pittsford, NY 14534

**Present Zoning of Property:** RN Residential Neighborhood  
Special Permit - Recreational Vehicle Storage

<b>Town Code Requirement is:</b>	<b>Proposed Conditions:</b>	<b>Resulting in the Following Variance:</b>
Right Lot Line: 0	Right Lot Line: 0	Right Lot Line: 0.0
Left Lot Line: 0	Left Lot Line: 0	Left Lot Line: 0.0
Front Setback: 0	Front Setback: 0	Front Setback: 0.0
Rear Setback: 0	Rear Setback: 0	Rear Setback: 0.0
Height: 0	Height: 0	Height: 0.0
Size: 0	Size: 0	Size: 0.0

**Code Section(s):** 148-9

Description: Applicant is requesting a special permit pursuant to §148-9 C to allow the storage of a 30' long 10' 6" high recreational vehicle to be located on the side of the garage. The recreational vehicle is proposed to be stored at the property from April 30 to October 30.

June 05, 2019



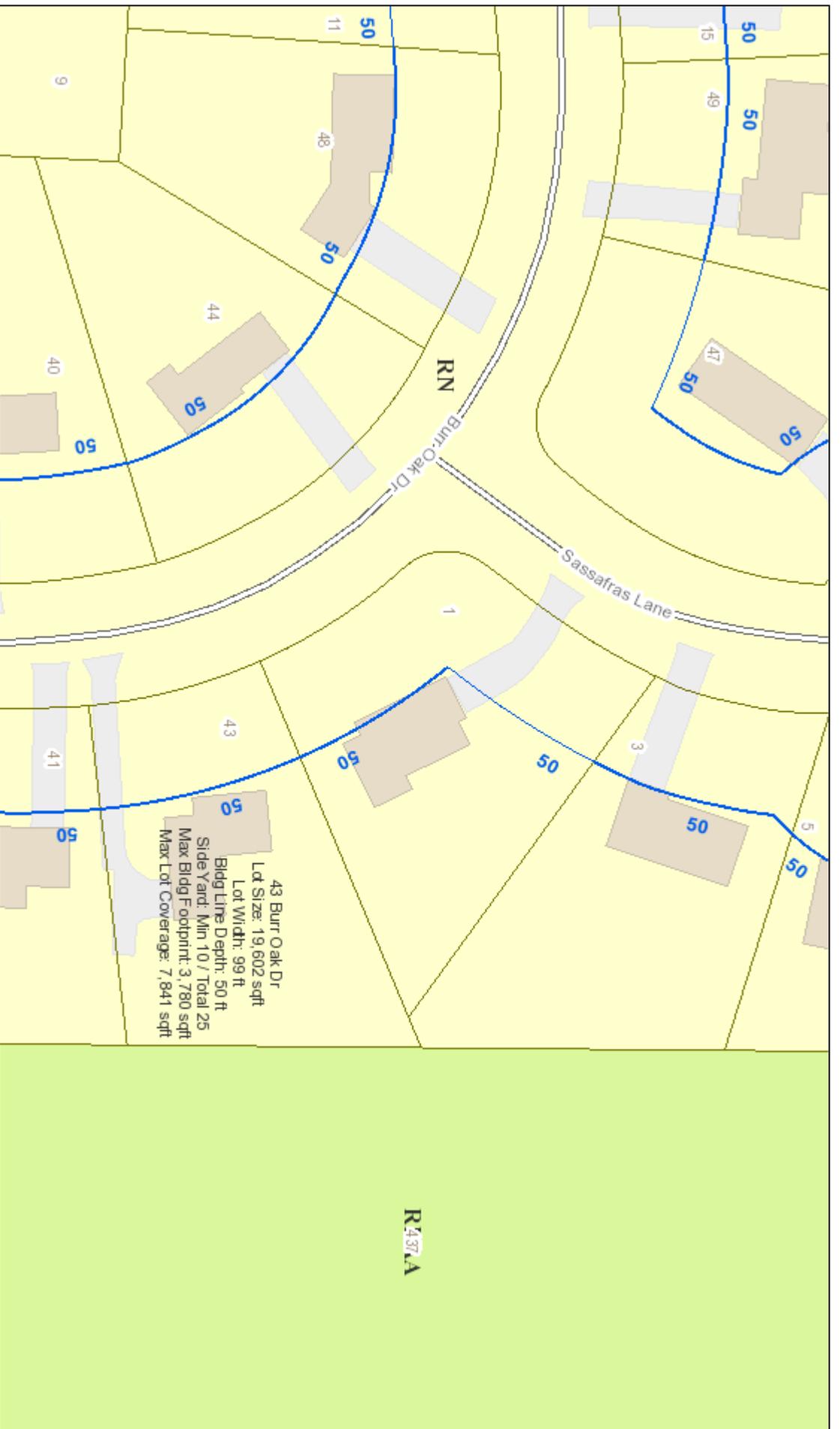
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Date

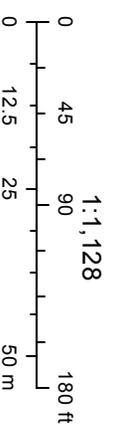
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Mark Lenzi - Building Inspector CEO

# RN Residential Neighborhood Zoning



Printed June 5, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



49

47

Burr Oak Drive

Sassafas Lane

Burr Oak Drive

44

48

40

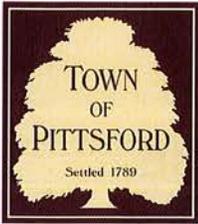
43

1

3

437

5



NOTE: All application materials will be available for public review.

# TOWN OF PITTSFORD

## RECREATIONAL VEHICLE STORAGE SPECIAL PERMIT APPLICATION FORM

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

OWNER: DOUG HANNIE APPLICANT: \_\_\_\_\_  
 ADDRESS: 1 SASSAFRAS LANE ADDRESS: \_\_\_\_\_  
 CITY, ST. ZIP: PITTSFORD, NY 14534 CITY, ST. ZIP: \_\_\_\_\_  
 PHONE: 585-662-3266 PHONE: \_\_\_\_\_  
 FAX: \_\_\_\_\_ FAX: \_\_\_\_\_  
 E-MAIL: HANNIE.INSURANCE@gmail.com E-MAIL: \_\_\_\_\_

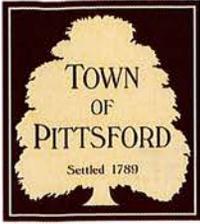
AGENT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, ST. ZIP: \_\_\_\_\_  
 PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_  
 E-MAIL: \_\_\_\_\_

### DESCRIPTION OF PROPERTY FOR WHICH SPECIAL PERMIT APPROVAL IS SOUGHT

Address: 1 SASSAFRAS LANE, PITTSFORD, NY 14534  
 Present zoning of the property: RESIDENTIAL  
 Tax parcel number: 179-090-01-011  
 Size of parcel in acres / square feet (specify): .49 ACRES  
 Distance and direction to nearest major intersection: 1/2 MILE, THURNELL + OAK LEAF  
 If this parcel is within 500' of a municipal boundary, please specify: NO

(Municipality)

RV. LENGTH 30'  
 HEIGHT 10'6"



# TOWN OF PITTSFORD

## RECREATIONAL VEHICLE STORAGE SPECIAL PERMIT APPLICATION FORM CHECK LIST

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

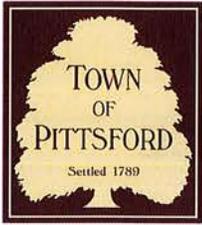
**CHECKLIST:** Please check your paperwork against the following list prior to submitting it to the Zoning Board of Appeals Secretary. These documents should be collated into packets no larger than 8 ½" by 11" in size so they are readily mailable.

- 1. Zoning Board of Appeals application form.
- 2. ~~Authorization to make application.~~
- 3. ~~Proof of contractual relationship.~~
- 4. Instrument survey map.
- 5. Sketch. *of RV (or pix) measurements*
- 6. Photographs. *of property in every direction of where RV will be parked.*
- 7. Registration.
- 8. Additional materials, such as maps, landscape plans, specifications, details, etc. which would further clarify the application.
- 9. Factors questionnaire.
- 10. Disclosure Form E.
- 11. Check made out to "Town of Pittsford" for application fee.

**RECEIVED FROM APPLICANT:**

- 1 complete set of application materials
- Fee Payment

Date of Public Hearing: \_\_\_\_\_



# TOWN OF PITTSFORD

## FACTORS QUESTIONNAIRE RECREATIONAL VEHICLE STORAGE SPECIAL PERMIT APPLICATION

1. Reasons why no undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the requested Special Permit.

THE RV WILL BE HIDDEN BEHIND THREE LARGE TREES AND A COUPLE BUSHES. THE REQUEST IS FOR APRIL 30 - OCTOBER 30 WHEN THE FOLIAGE IS PRESENT SO THE RV WILL BE MUCH LESS OBSERVABLE. WE CUT DOWN A 40' PINE TREE TO ALLOW THE RV TO BE MOVED ~~BE~~ OUTSIDE OF OBSERVABLE VISION, ~~AND~~ ~~BE~~

2. Reasons why the Special Permit is needed and there is no reasonable alternative to the proposed Recreational Vehicle storage location.

SPECIAL PERMIT IS REQUIRED BY TOWN OF PITTSFORD.

DURING THE SUMMER THE RV WILL BE USED MANY OF THE SUMMER DAYS AND WON'T BE PRESENT ON THE PROPERTY. WE STORE THE RV IN CANANDAIGUA DURING THE WINTER MONTHS, BUT WOULD LIKE TO HAVE ACCESS TO IT DURING THE SUMMER.

3. Proposed and/or existing fencing and/or vegetative screening.

CURRENTLY TREES AND BUSHES WILL SCREEN THE RV AND WE CUT DOWN ONE LARGE TREE TO MAKE ROOM FOR THE RV BEHIND THE HOUSE.

IF THE TOWN DEEMS IT NECESSARY WE WILL PLANT MORE TREES/BUSHES.

**NOTE: Please give detailed explanations for the above Factors that the Zoning Board of Appeals will consider when reviewing Recreational Vehicle storage Special Permit applications.**

# Disclosure Form E

STATE OF NEW YORK  
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

(Project Name)

The undersigned, being the applicant to the Town of Pittsford Zoning Board of Appeals for a Special Permit for the storage of Recreational Vehicles, pursuant to the provisions of the Pittsford Municipal Code, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name

Address

DOUG HANNIB

1 SASSAFRAS LANE

PITTSFORD, NY 14534

*Doug Hannib*

Signature of Applicant

4/10/19

Dated

1 SASSAFRAS LANE

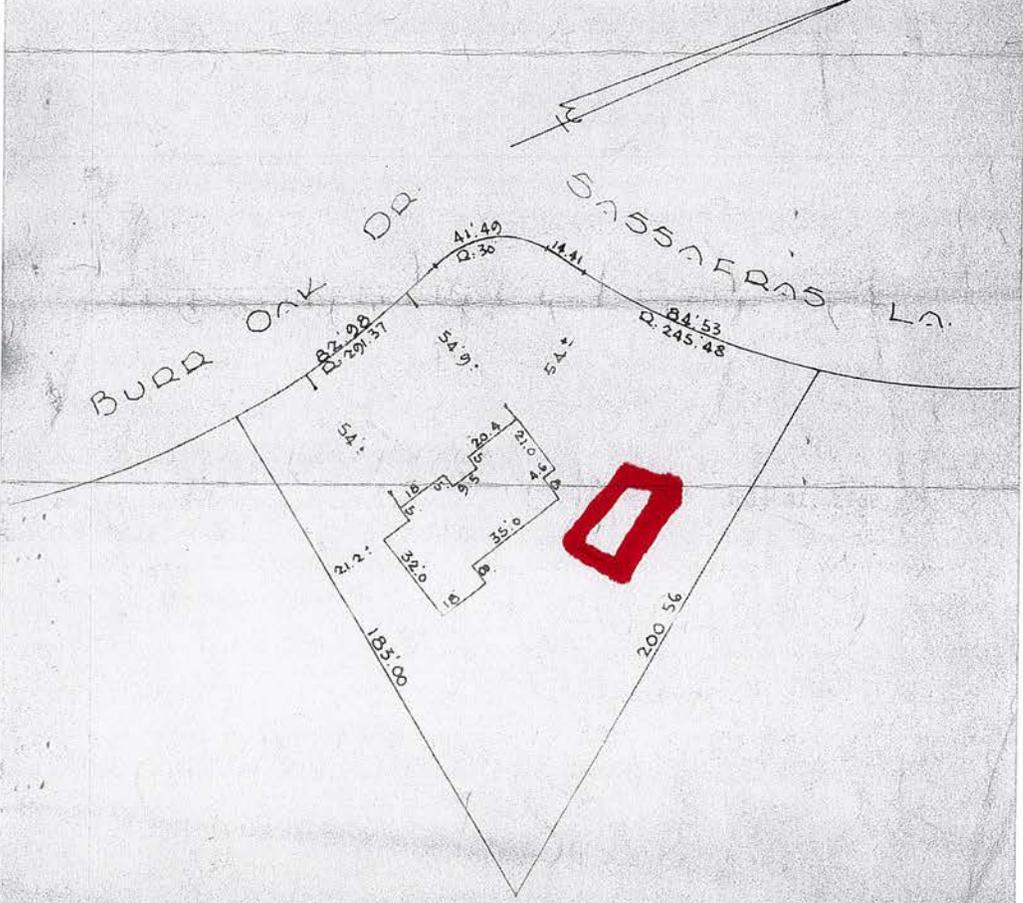
Street Address

PITTSFORD, NY 14534

City/Town, State, Zip Code

STANDARD TAPE LOCATION MAP

NAME \_\_\_\_\_  
STREET Burr Oak Dr OFFY TOWN PITTSFORD N.Y.  
LOT NO. 156 SUBDIVISION MILL VALLEY EST.  
REFERENCE DATA, LIBER \_\_\_\_\_ OF MAPS PAGE \_\_\_\_\_ LIBER \_\_\_\_\_ OF DEEDS, PAGE \_\_\_\_\_  
SHOWING FA 2 STORY DWELLING; GARAGE (~~NOT~~) ATTACHED  
DISTANCE AS SHOWN FROM ALL PROPERTY LINE ACTUALLY MEASURED.  
MONUMENTS USED: YES NO  
ALL BUILDINGS ON PREMISES AND ANY APPARENT ENCROACHMENT BY OR ON PREMISES ARE SHOWN  
MAIN FRONT WALL IS (~~IS~~ NOT) ON APPARENT UNIFORM SET-BACK LINE.



SCALE 1" = 40'

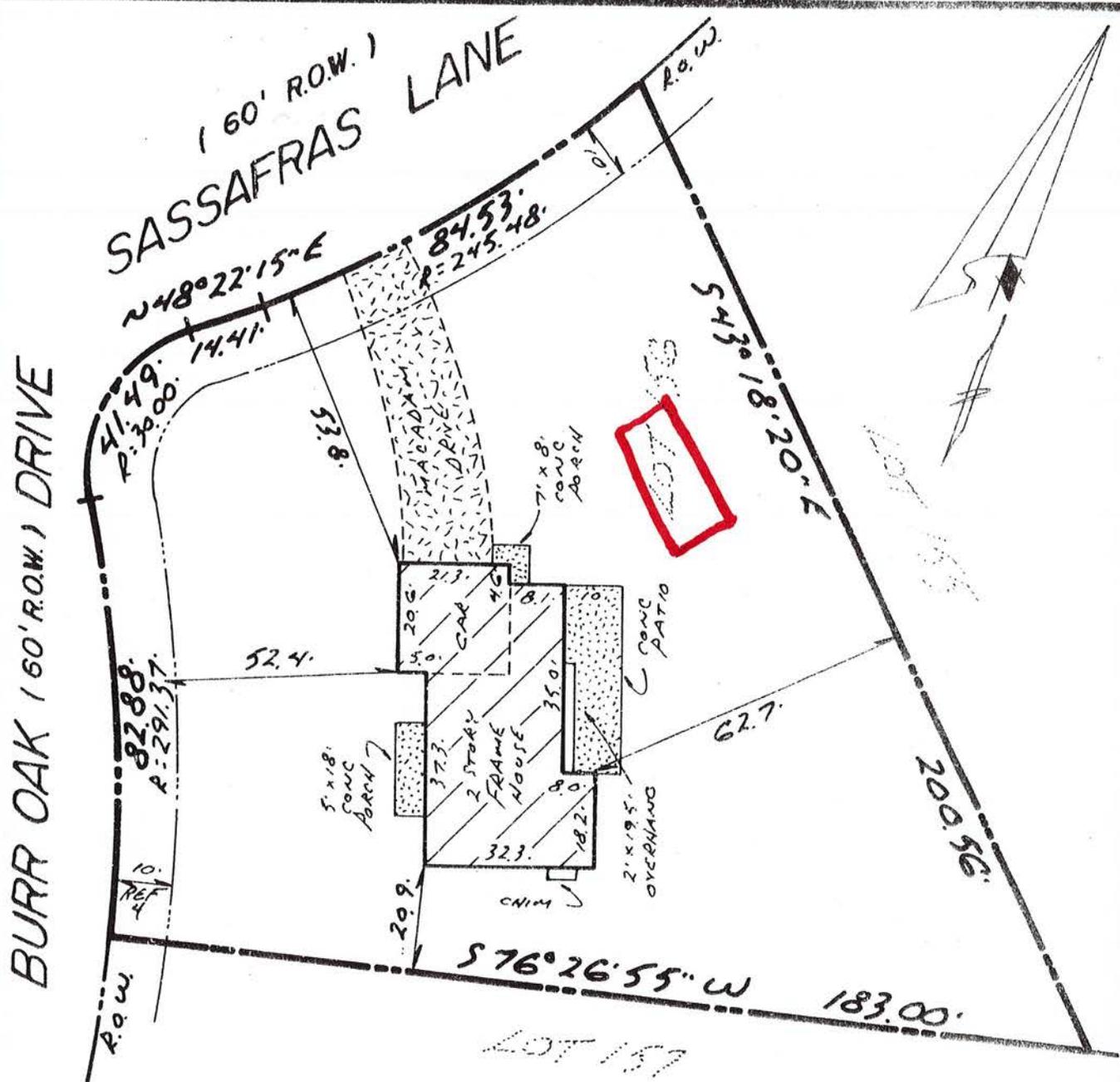
DATE APRIL 18, 1960

REMARKS THIS INFORMATION IS FOR CHARLES DYE & SONS  
THIS IS NOT AN INSTRUMENT SURVEY AND INFORMATION SHOWN SHOULD NOT BE USED  
FOR BUILDING PURPOSES OR EXACT LOCATION OF PROPERTY LINES

98 WEST MAIN STREET  
ROCHESTER N.Y. 14614  
(716) 545-1393

DENLUCK, THOMAS, McGRAIL & ASSOCIATES  
SURVEYORS

82 1/2 MAIN STREET  
GENESCO, N.Y. 14454  
(716) 243-2240



- REFERENCES:
- 1) ABSTRACT OF TITLE No. 66690 SEC. 6/156. (STEWART. 6/6/2013)
  - 2) LIBER 179 OF MAPS, PAGE 70- MILL VALLEY ESTATES, SECT. 6
  - 3) LIBER 10535 OF DEEDS, PAGE 682
  - 4) EASEMENT TO R.G.F.E., R.T.C. LIBER 3950 OF DEEDS, PAGE 471



**CERTIFICATION:**

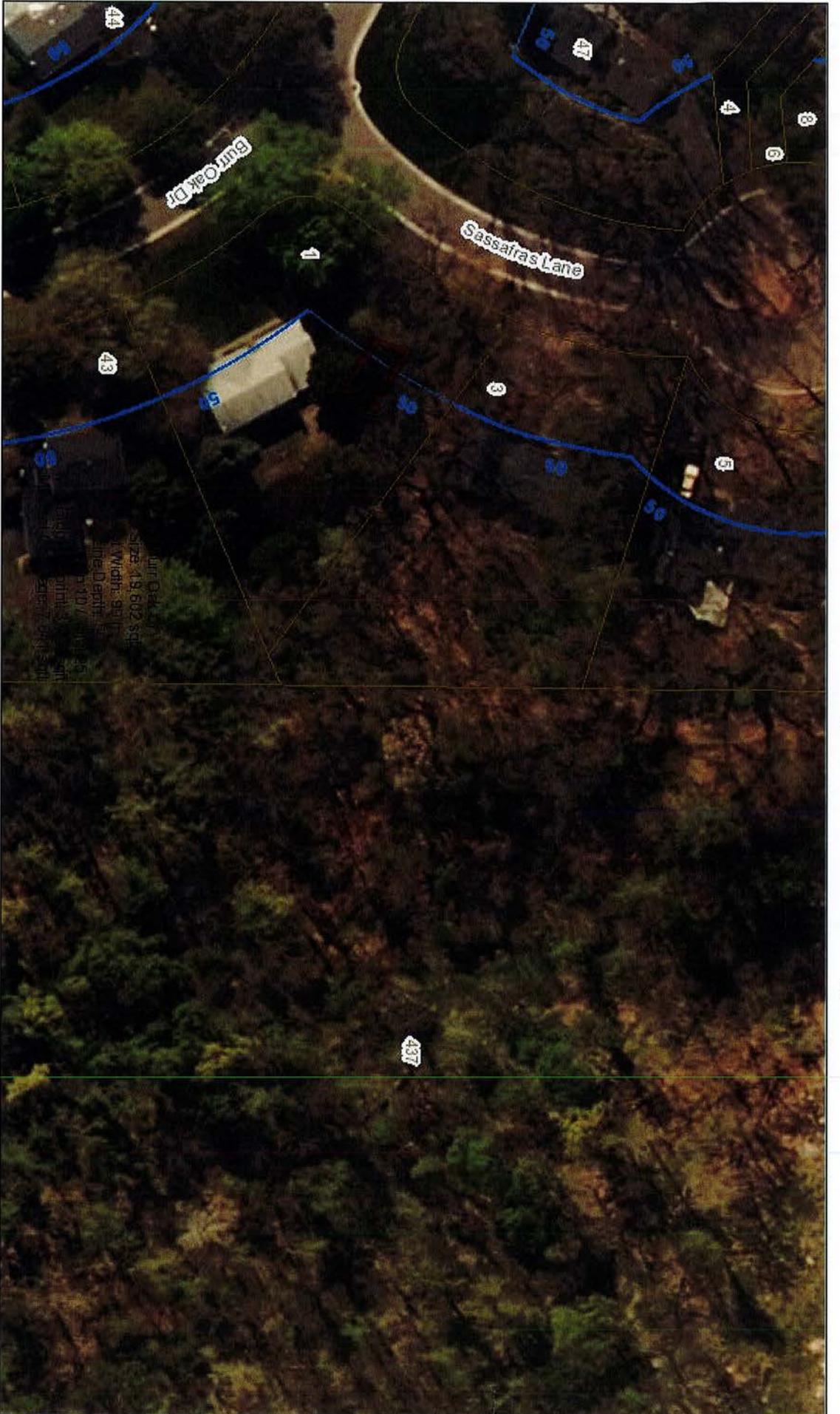
I hereby certify to: PITTSFORD FEDERAL CREDIT UNION, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR  
 FRANK FERRIS, ESQ.  
 VASILE LAW GROUP, PLLC  
 TITLE INSURANCE COMPANY INSURING THE MORTGAGE  
 DOUGLAS D. HANNIE

that this map was made JUNE 21, 2013 from notes of an Instrument Survey completed JUNE 20, 2013 and from references listed hereon.

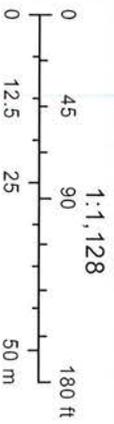
*James M. Leowan*  
 JAMES M. LEOWAN, L.S. # 49772

NOTE: Property corners should only be set by a licensed, registered land surveyor.

# RN Residential Neighborhood Zoning



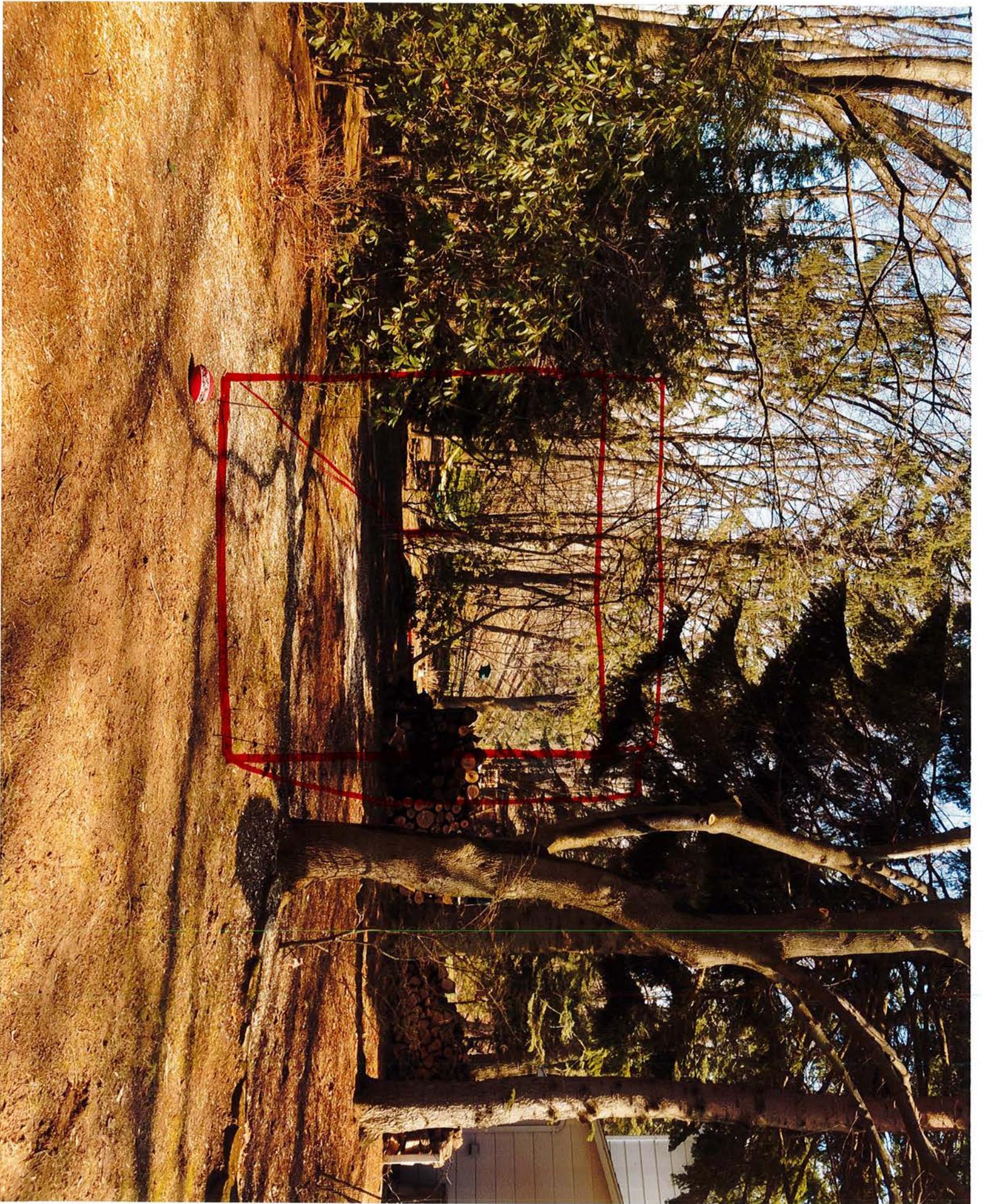
Printed April 2, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.









**DON'T PEEL STICKER FROM FRONT - SEE BACK!**

**Keep this document to show to the police and courts.**



NY-638TR (2/18) **NEW YORK STATE REGISTRATION DOCUMENT**

HC127858



06/27/20

1FDX E4FS9JDC L5348  
201 JAYCO E/WH  
EXPIR 671 PAS 5 G

**20**



G PAS  
HXM6671  
2019 JAYCO NONTRANSFERABLE  
H/WH WH 1FDXE4FS9JDC15348  
012766 G10 HC127867 JUN 28 2018  
Wt/Seats Fuel/Cyl TLH RCH640  
BLOCH, SUSAN, HANNIE Expires 06/27/20  
HANNIE, DOUGLAS, D  
10 NEW ENGLAND DR 70.00  
ROCHESTER NY 14618

ANNUAL CHG  
NY FID (NCT, ADP, CIG)

HC127858 VOID IF ALTERED EXCEPT FOR ADDRESS 240.00





# Zoning Board of Appeals Referral Form Information

**Property Address:**

21 Merryhill Lane PITTSFORD, NY 14534

**Property Owner:**

Daniele, Danny J  
21 Merryhill Ln  
Pittsford, NY 14534

**Applicant or Agent:**

Daniele, Danny J  
21 Merryhill Ln  
Pittsford, NY 14534

**Present Zoning of Property:** RN Residential Neighborhood  
Area Variance - Residential and Non-Profit

<b>Town Code Requirement is:</b>		<b>Proposed Conditions:</b>		<b>Resulting in the Following Variance:</b>	
Right Lot Line:	20	Right Lot Line:	4	Right Lot Line:	16.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

**Code Section(s):** 185-113 B (6) & 185-17E

Description: Applicant is requesting relief from Town Code §185-113 B (6) & 185 – 17 E to allow the placement of a 8' x 14' garden shed approximately 4 feet from the right side property line.

June 28, 2019



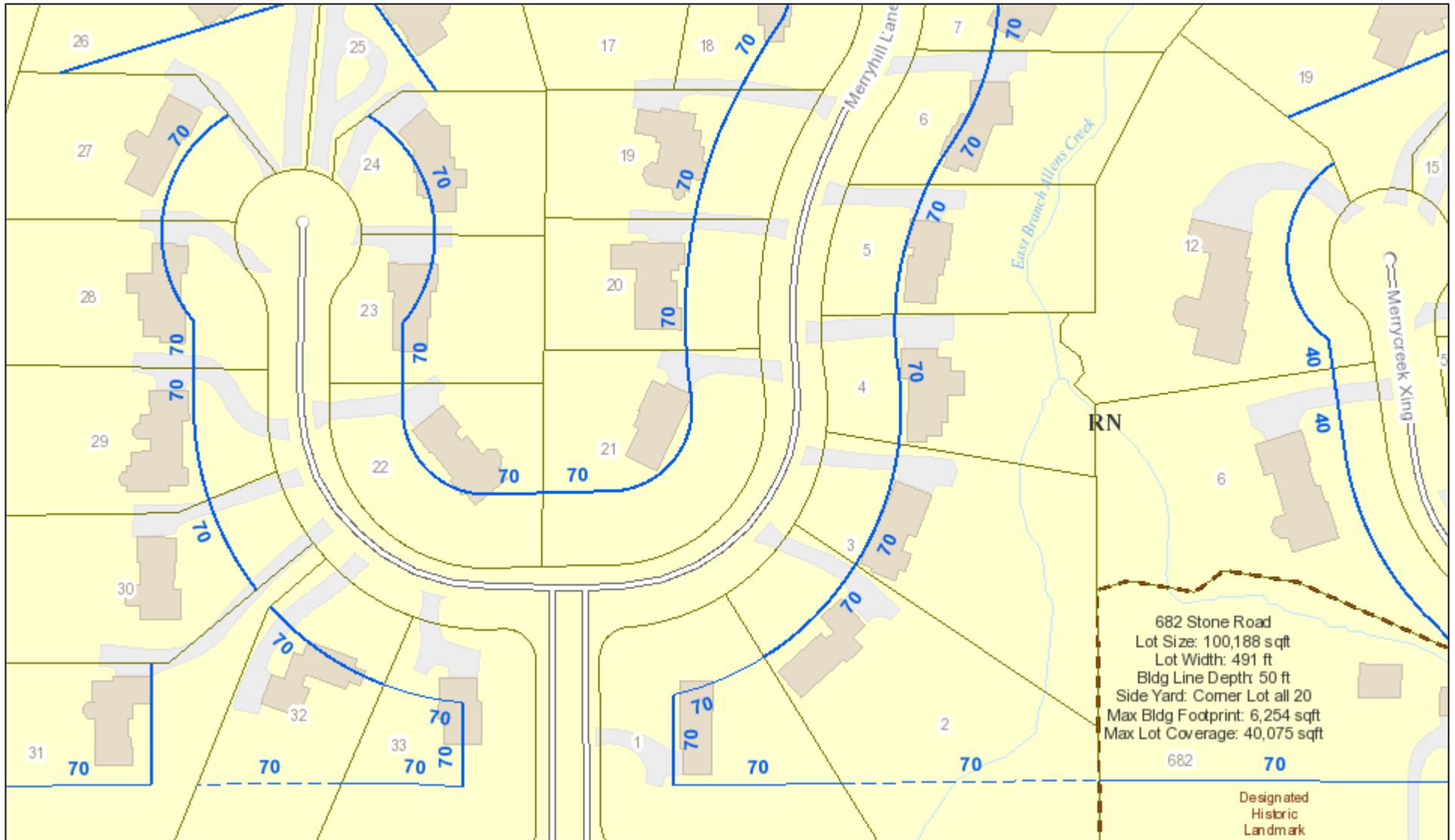
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Date

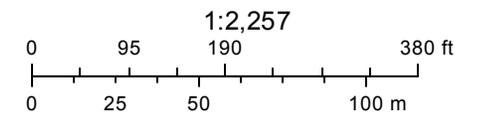
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Mark Lenzi - Building Inspector CEO

# RN Residential Neighborhood Zoning

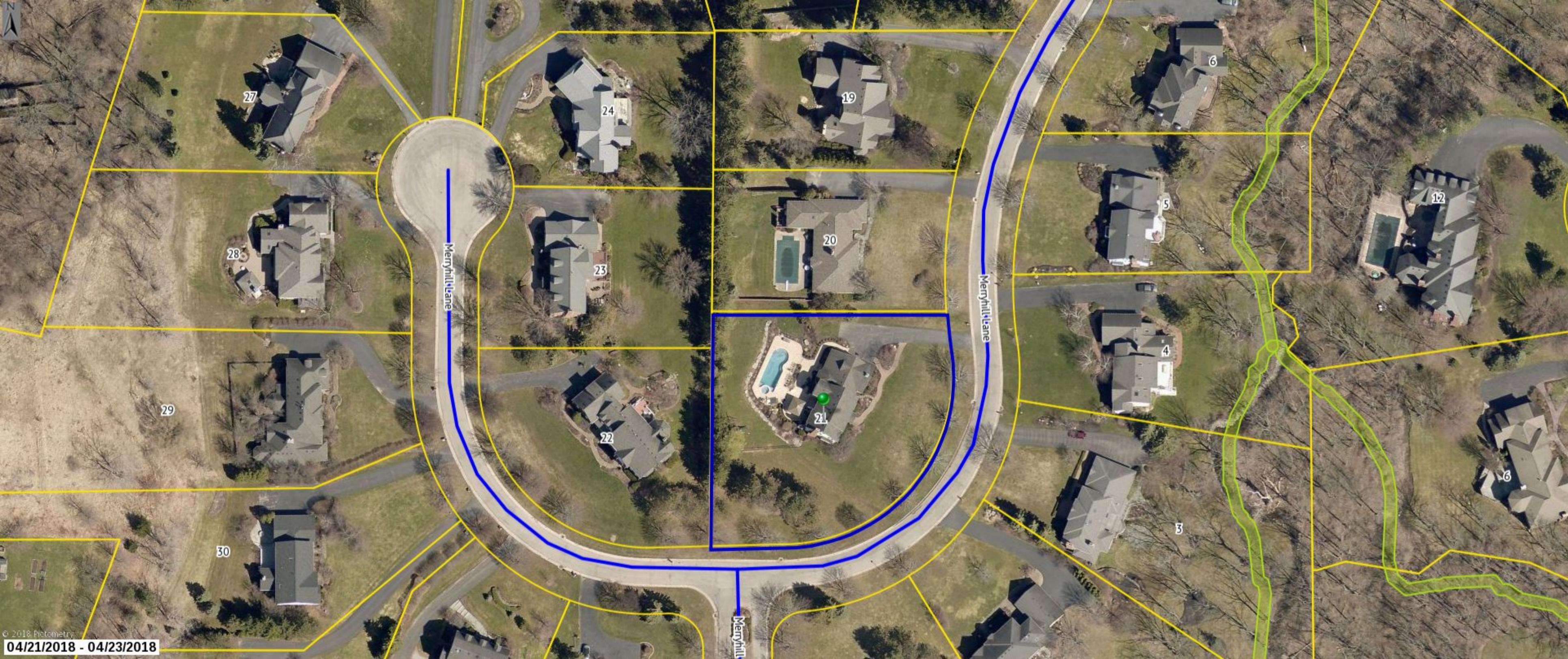


Printed June 28, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





# TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: \_\_\_\_\_ Hearing Date: \_\_\_\_\_

Applicant: DANNY J. DANIELE

Address: 21 Merrimill Lane, 14534

Phone: 585-703-3849 E-Mail: djd@danielefamily.com

Agent: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Property Owner: SAME  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**(If applicant is not the property owner please complete the Authorization to Make Application Form.)**

Property Location: 21 Merrimill Lane Current Zoning: Residential

Tax Map Number: 163.16-2-1

Application For:  Residential  Commercial  Other

Please describe, in detail, the proposed project:

Construct small 8' x 14' shed behind house.

**SWORN STATEMENT:** As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

*Danny J. Daniele*  
*(Owner or Applicant Signature)*

5/20/2019  
*(Date)*



# NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

## TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

*(Please answer the following questions to the best of your knowledge)*

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The location of the shed was chosen based on how to minimize the impact to our neighbors and the neighborhood. By placing the shed closer to the driveway area it is much more shielded by the large pine trees and bushes, rather than placing it up on the hill where it would be seen by the road, and more importantly by our neighbors.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

By placing the shed up on the hill within the zoned area, it would be approximately 23' feet higher, and would become much more of an eye catcher to our neighbors.

### TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

The request is minimal in nature, as it only requires an allowance for the shed to be slightly outside the approved zoned area.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

By placing this shed under the pine trees and behind the bushes, it is very difficult to even see the shed.

● **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

No, the topography and the steep slope hill behind the house is not self-created.

# Disclosure Form E

STATE OF NEW YORK  
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

21 Maryhill Lane - Shed  
(Project Name)

The undersigned, being the applicant(s) to the...

Town Board     Zoning Board of Appeals     Planning Board     Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning     special permit     building permit     permit     amendment  
 variance     approval of a plat     exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Jimmy J. [Signature]

(Signature of Applicant)

5/20/2019

(Dated)

21 Maryhill Lane

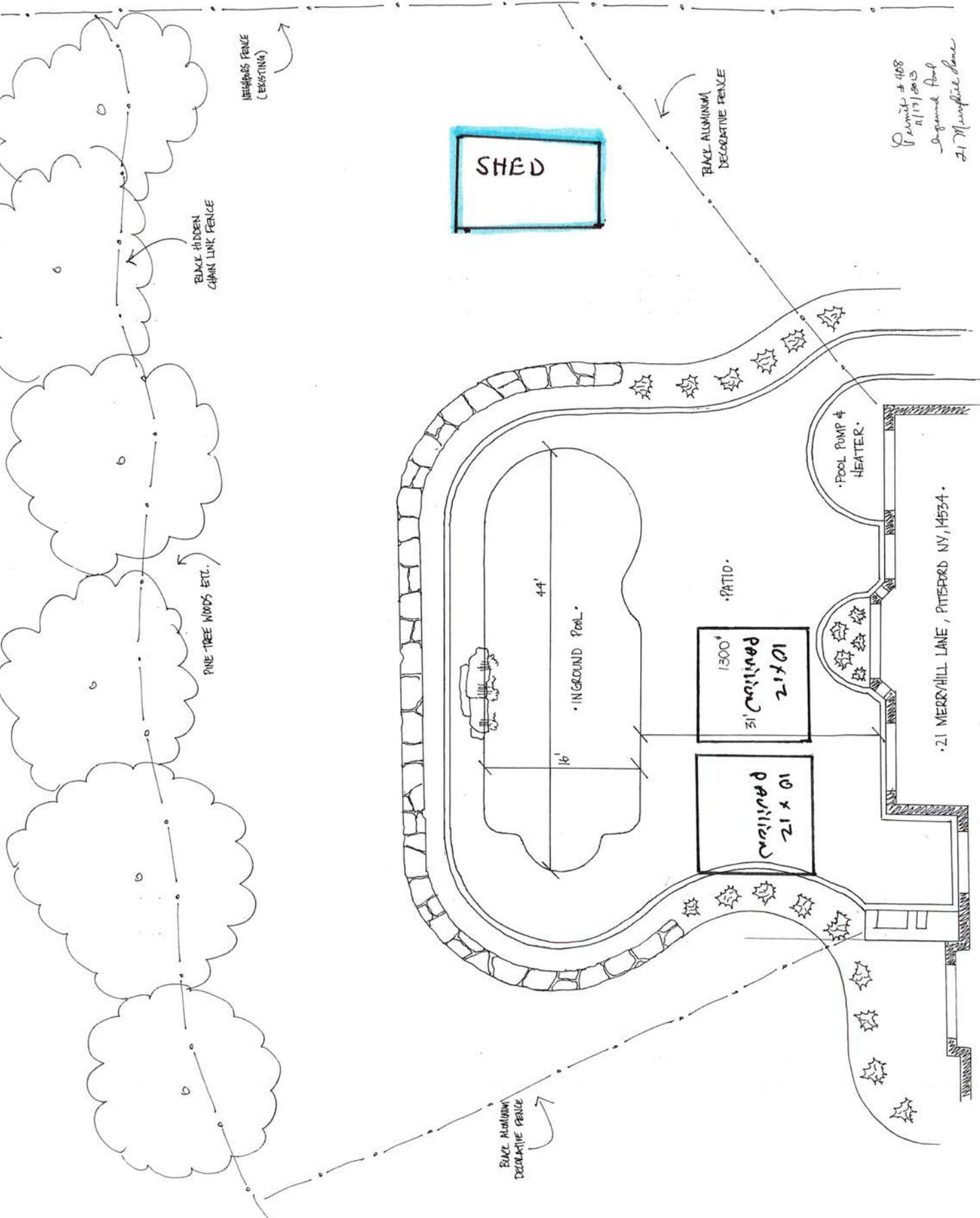
(Street Address)

Pittsford NY 14534

(City/Town) State, Zip Code

21 MERRYHILL LANE, PITTSFORD, N.Y.

Project # 498  
11/17/2013  
Superior Pool  
21 Merryhill Lane



SHED

BLACK HIDDEN CHAIN LINK FENCE

BLACK FENCE (EXISTING)

BLACK ALUMINUM DECORATIVE FENCE

PINE TREE WOODS, ETC.

44'  
16'  
INGROUND POOL

PATIO

10' x 12' Pavilion

10' x 12' Pavilion

POOL PUMP & HEATER

21 MERRYHILL LANE, PITTSFORD, NY, 14534

BLACK ALUMINUM DECORATIVE FENCE

...any! Your subscription is active.

ane





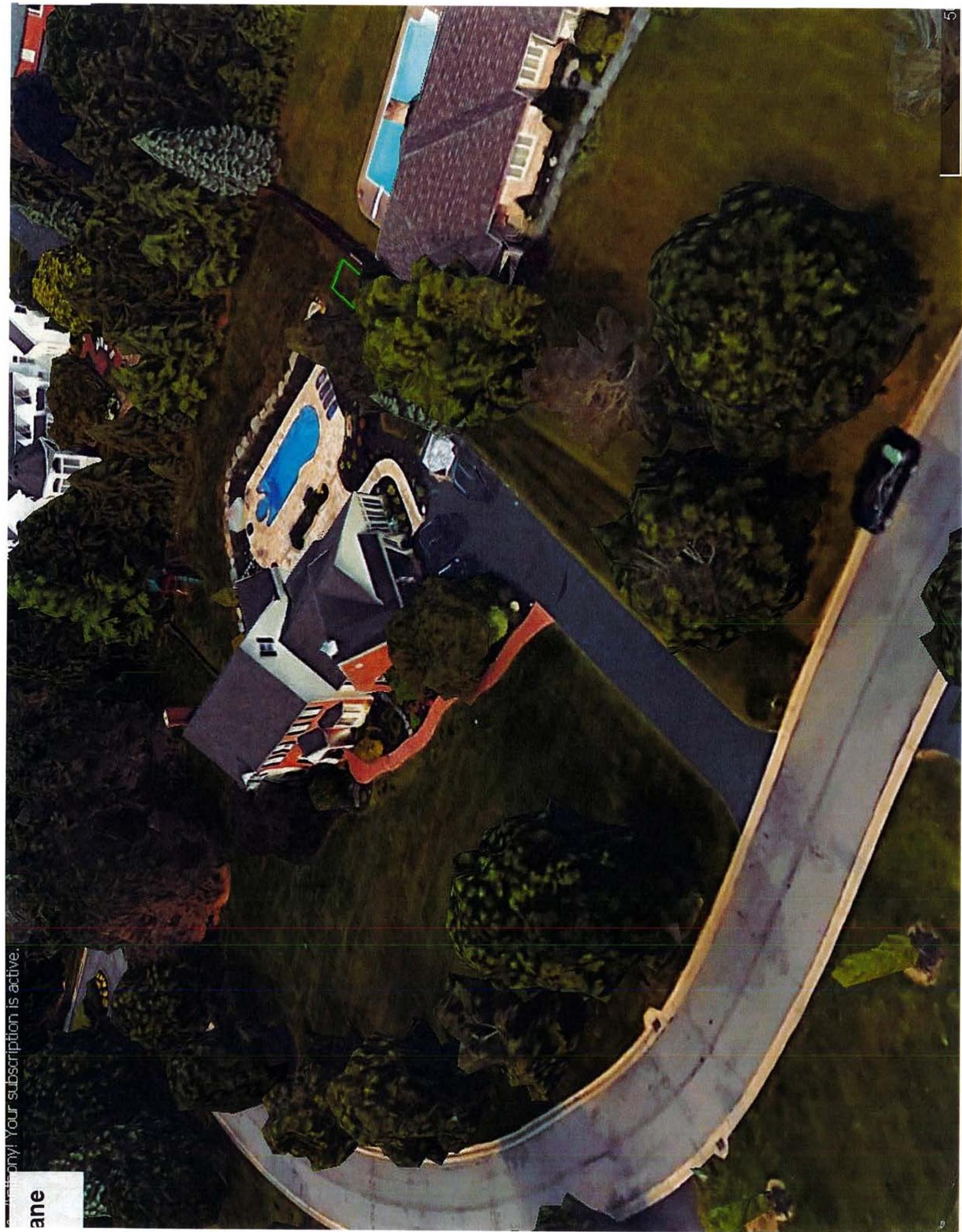


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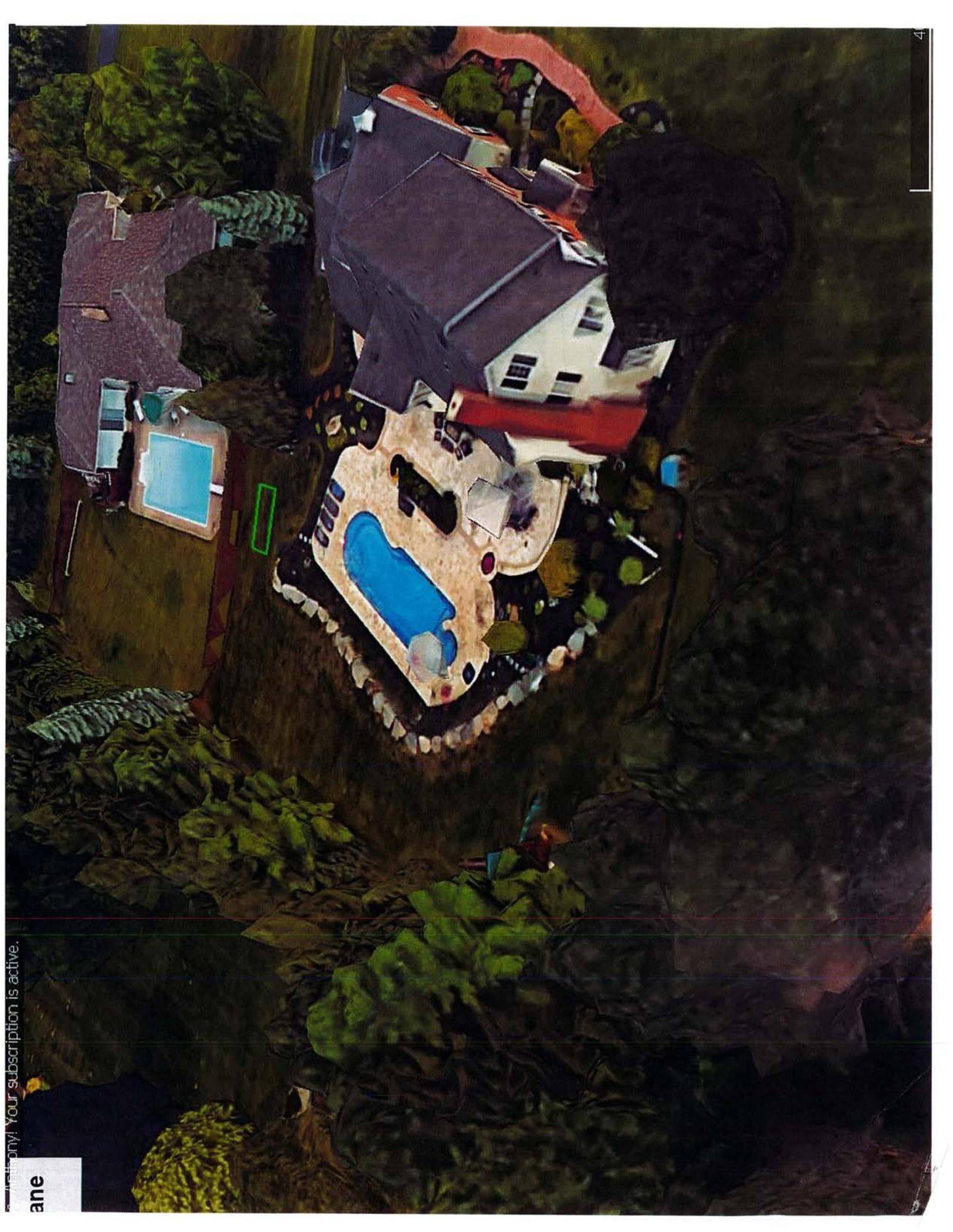
ane



...only! Your subscription is active.

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# Zoning Board of Appeals Referral Form Information

**Property Address:**

1762 Calkins Road PITTSFORD, NY 14534

**Property Owner:**

Spiliotis, Tracie L  
2587 Lehigh Station Rd  
Pittsford, NY 14534

**Applicant or Agent:**

Spiliotis, Tracie L  
2587 Lehigh Station Rd  
Pittsford, NY 14534

**Present Zoning of Property:** RRAA Rural Residential  
Area Variance - Residential and Non-Profit

<b>Town Code Requirement is:</b>		<b>Proposed Conditions:</b>		<b>Resulting in the Following Variance:</b>	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	3	Height:	8.25	Height:	-5.25
Size:	420	Size:	0	Size:	420.0

**Code Section(s):** 185-121A 185-113 B (1)-(3)

Description: Applicant is requesting relief from Town Codes §185 – 121 A; §185 - 113 B (1) & (2) to construct an 8' 4" tall gated driveway entry fence forward of the front wall of the home approximately 43' 2" from the edge of the road and to relocate an existing 420 Sq. Ft. 14' tall accessory structure to the rear yard. Town Code limits the height of fences to 3 feet when placed forward of the front of a home.

July 02, 2019



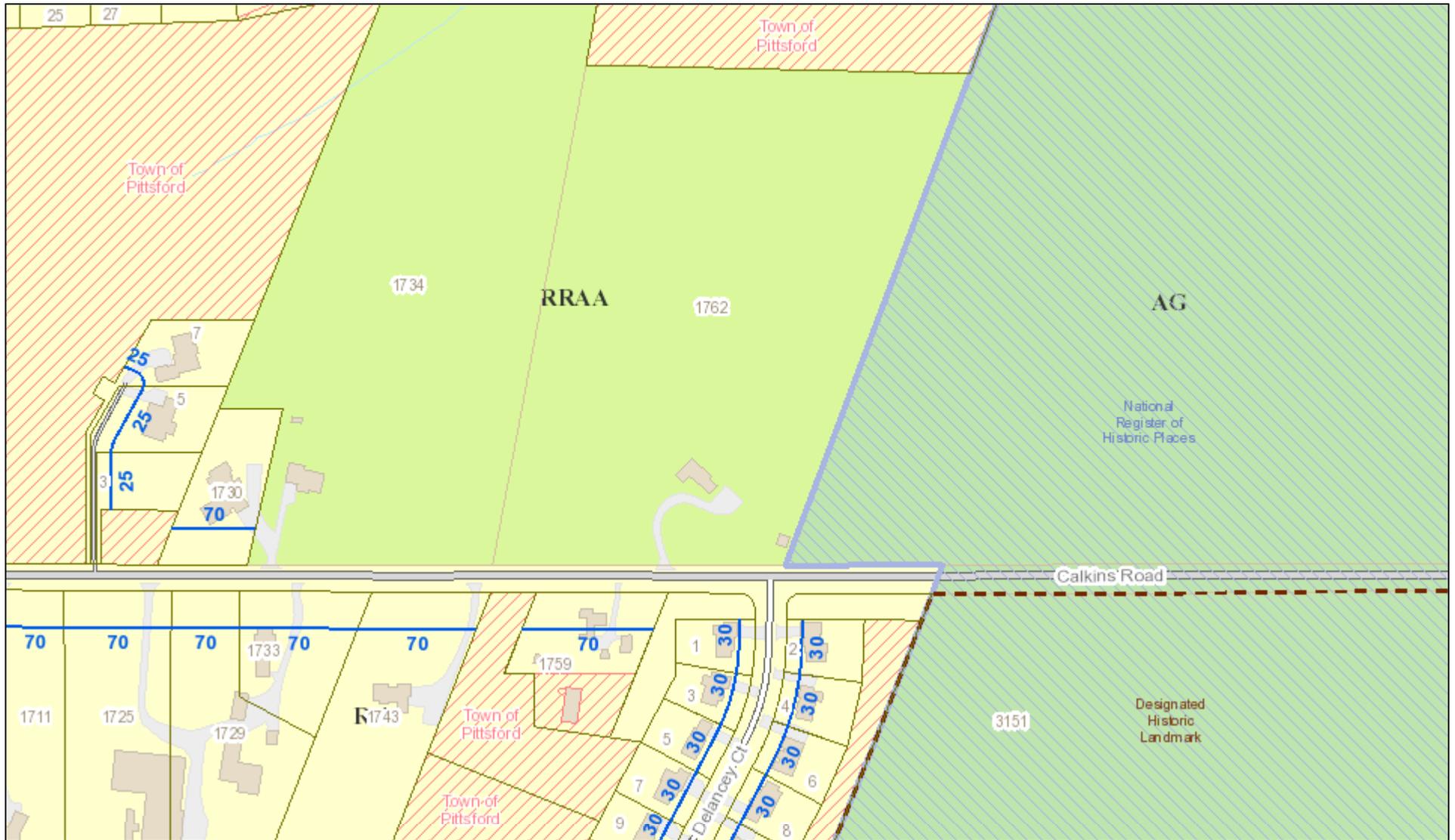
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Date

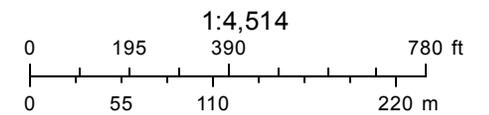
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Mark Lenzi - Building Inspector CEO

# RN Residential Neighborhood Zoning



Printed July 2, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



1762

1734

1730

7

5

3

Goodway Drive

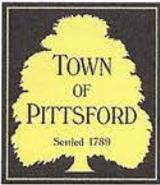
ney County

Galkins Road

Galkins Road

Covington Woods

Galkins R



# TOWN OF PITTSFORD

## AREA VARIANCE APPLICATION FORM CHECK LIST

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

**CHECKLIST:** Please check your paperwork against the following list prior to submitting it to the Zoning Board of Appeals Secretary. These documents should be collated into packets no larger than 8 ½" by 11" in size so they are readily available.

- 1. Zoning Board of Appeals application form (pg. 5) **12 copies**
- 2. Authorization to make application (pg. 6) **12 copies (when applicable)**
- 3. Instrument survey map, **12 copies**
- 4. Scaled sketch, **12 copies**
- 5. Elevations, **12 copies**
- 6. Any other materials, such as photographs, maps, landscape plans, specifications, details, etc. which would further clarify the application, **12 copies**
- 7. Tests (written response to each) for granting area variances (pg. 7) **12 copies**
- 8. Disclosure Form E (pg. 8) **12 copies**
- 9. Check made out to "Town of Pittsford" for application fee.

### GIVEN TO APPLICANT:

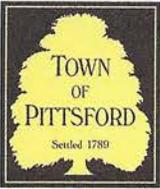
- Referral form
- Applicable Code Sections
- Application Packet

### RECEIVED FROM APPLICANT:

- 12 complete sets of application materials
- Fee Payment

Date of Public Hearing: \_\_\_\_\_

**NOTE: All application materials will be available for public review.**



# TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: June 14, 2019 Hearing Date: July 15, 2019

Applicant: Meagher Engineering

Address: 2024 West Henrietta Rd Suite 2C, Rochester, NY 14623

Phone: (585) 924-7430 E-Mail: justin@meagherengineering.com

Agent: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Property Owner: Pano Spiliotis  
*(if different than Applicant)*

Address: 1762 Calkins Rd

Phone: (585) 305-4183 E-Mail: \_\_\_\_\_

**(If applicant is not the property owner please complete the Authorization to Make Application Form.)**

Property Location: 1762 Calkins Rd Current Zoning: RRAA

Tax Map Number: 163.03-1-68

Application For:  Residential  Commercial  Other

Please describe, in detail, the proposed project:

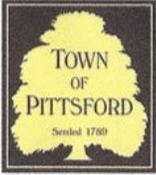
Relocation of an existing framed garage to be used as a pool house. Garage will require no exterior modifications. Existing garage has a height of 14 ft where the maximum allowed for an accessory structure is 12 ft.

Construction of a new driveway entry gate and fence. The highest point of the gate is 8'-4" tall where a maximum of 3' is allowed. The fence is under the allowed 3' height.

**SWORN STATEMENT:** As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

(Owner or Applicant Signature)

6/13/19  
(Date)



# TOWN OF PITTSFORD

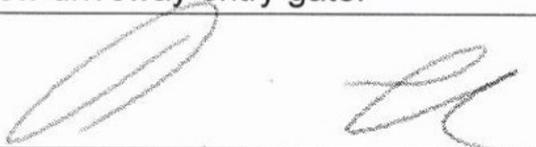
## AREA VARIANCE AUTHORIZATION TO MAKE APPLICATION

Zoning Board of Appeals – 11 S. Main Street – Pittsford, 14534 – 248-6260

*If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.*

I, Pano Spiliotis, the owner of the property located at:  
1762 Calkins Road, Pittsford, NY 14534  
(Street) (Town) (Zip)

Tax Parcel # 163.03-1-68 do hereby authorize  
Meagher Engineering to make application to the  
Town of Pittsford Zoning Board of Appeals, 11 South Main Street, Pittsford, NY 14534 for the purpose(s) of \_\_\_\_\_  
area variances for relocated pool house and new driveway entry gate.

  
(Signature of Owner)  
6/13/19  
(Date)



# NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

## TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

*(Please answer the following questions to the best of your knowledge)*

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

Pool House Height Variance: The proposed pool house is actually a re-purposed detached garage that currently exists on the site. The existing garage is currently located very close to the property lines at the south eastern corner of the lot (with non-conforming setbacks). We are proposing to relocate the garage and convert it into a pool house at a location centered on the site and approximately 195 ft from the southerly property line.

Entry Gate Height Variance: The proposed gate is located far enough back from the roadway that large vehicles or trailers will not impede traffic on Calkins Rd while they wait for the gate to open. This also means vehicles' sight distances will not be affected when they are leaving the driveway. The height of the gate was chosen by landscape designers to match the proposed landscaping and berms along the southerly property line. The entire gate and fence structure is located entirely on the subject parcel, outside of the MCWA easement.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Pool House Height Variance: The proposed pool house is already existing onsite and just needs to be relocated to the pool area. This is far more economical than constructing a new structure. Constructing a new pool house would also leave the non-conforming garage in a location with non-conforming setbacks.

Entry Gate Height Variance: The applicant wishes to screen their property from the south for privacy. Screening is accomplished adjacent to the entry gate via landscape berms and plantings. A 3' high gate would not provide adequate screening and would provide no benefit to the owner.

## TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

Pool House Height Variance: The garage is currently existing onsite with a height greater than the allowed 12'. Our request would pose no change to this existing condition, and is therefore a minimal request.

Entry Gate Height Variance: The requested variance pertains only to the gated portion of the driveway entrance structure. The fence portion of the structure is under the 3' height requirement. The property has approximately 550' of road frontage, of which only 30' will be non-conforming. The request is therefore minimal.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

Pool House Height Variance: The existing detached garage is located in plain sight close to Calkins Road. We are proposing to relocate the garage far back from Calkins Rd and away from the side property lines where it will barely be seen. The request is therefore improving on the physical condition of the neighborhood.

Entry Gate Height Variance: The entry gate structure will be located far enough back from Calkins Rd to not impact vehicle or pedestrian traffic. The subject parcel is also large and adjacent to agriculture land, so there are no neighbors nearby that would be affected by the entry gate. The request would therefore have no adverse effects on the physical character of the neighborhood.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Pool House Height Variance: No, the proposed pool house is simply a relocated detached garage which already exists onsite. The garage was built by a previous owner of the property and happens to be taller than current regulations allow.

Entry Gate Height Variance: No, the high volume of traffic on Calkins Rd warrants screening for residents. The property owner respects the need for regulations of fence heights, and is therefore proposing landscaping and natural features to provide screening for most of the property frontage. These methods of screening aren't feasible across the driveway, and therefore requires an entry gate. The gate was sized by the same landscape designer who designed the rest of the landscape screening, so the gate is designed to match the landscape screening.

# Disclosure Form E

STATE OF NEW YORK  
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

1762 Calkins Road

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board     Zoning Board of Appeals     Planning Board     Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning     special permit     building permit     permit     amendment  
 variance     approval of a plat     exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

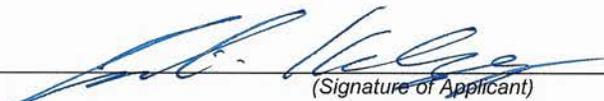
Address(es)

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(Signature of Applicant)

6/13/19  
(Dated)

2024 West Henrietta Rd, Suite 2C  
(Street Address)

Rochester, NY 14623  
(City/Town, State, Zip Code)



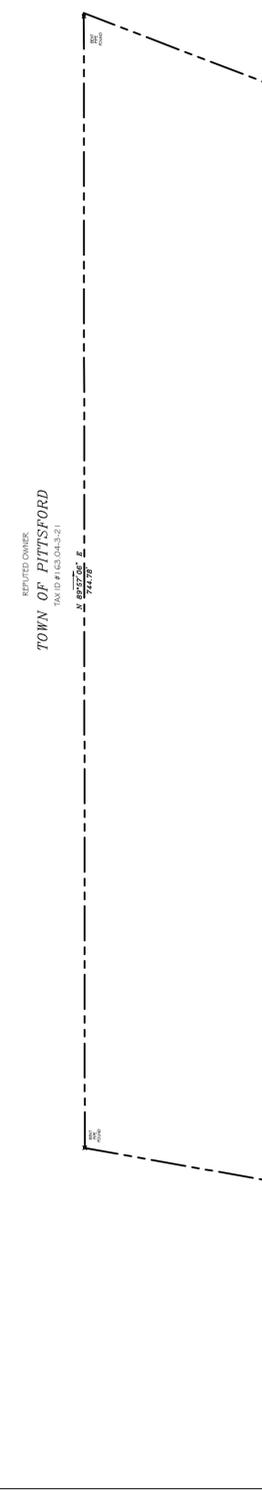
**TOWN OF PITTSFORD SOIL NOTES**

SOIL DISTURBANCE WITHIN THE VICINITY OF AGRICULTURAL FIELDS SHALL BE COORDINATED WITH THE LOCAL FARMER TO MINIMIZE DISTURBANCE TO AGRICULTURAL PRODUCTION. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A COORDINATION MEETING WITH THE TOWN AND FARMER PRIOR TO COMMENCING CONSTRUCTION.

TOPSOIL RESOURCES WITHIN THE UTILITY TRENCH WIDTH AND ADJACENT TRENCH-SPOIL STORAGE ZONES SHALL BE STRIPPED DOWN TO THE TOP OF THE UNDERLYING SUBSOIL. THE STRIPPED TOPSOIL SHALL BE SEPARATED FROM ALL OTHER MATERIALS IN A SEPARATE STOCKPILE AT THE EDGE OF THE CONSTRUCTION TRENCH. AT LEAST TWO FEET OF OPEN BUFFER SHALL BE MAINTAINED BETWEEN THE RESPECTIVE TOE OF THE TOPSOIL STOCKPILE AND THE UTILITY TRENCH.

3. ONCE THE PIPE UTILITY HAS BEEN BEDDED APPROPRIATELY WITHIN THE REQUIRED STONE CRADLE, THE UTILITY TRENCH MAY BE BACK-FILLED WITH NATIVE SUBGRADE SOILS TAKEN FROM THE INITIAL TRENCH EXCAVATION TO A DEPTH NO GREATER THAN THE ADJOINING TOPSOIL. AFTER BACKFILLING THE TRENCH WITH THE SPOIL MATERIALS TO BOTTOM OF THE NATIVE TOPSOIL DEPTH, THE REMAINING TRENCH MAY BE BACKFILLED USING THE STRIPPED TOPSOIL. THE SOIL'S ORIGINAL SOIL PROFILE SHALL BE RESTORED DURING THE TRENCH BACKFILLING PROCESS.

4. CARE SHALL BE TAKEN TO AVOID CONSTRUCTION EQUIPMENT RUTTING, EXCESSIVE COMPACTION, AND DAMAGE TO THE TOPSOIL AND UPPER SUBSOILS. CONSTRUCTION EQUIPMENT OPERATING ON AGRICULTURAL LAND SHOULD BE MINIMIZED AND NOT SCHEDULED DURING SEASONABLY WET SOIL CONDITIONS IN EARLY SPRING OR LATE FALL. DURING THE PERIOD OF UTILITY TRENCH CONSTRUCTION AND RESTORATION, THE MOVEMENT OF PROJECT VEHICLES AND EQUIPMENT SHALL BE MINIMIZED TO OR HALTED THROUGH PERIODS OF SOIL SATURATION FROM RAINFALL. UNTIL THE SOILS ARE DRAINED SUFFICIENTLY TO AVOID RUTTING, CARE SHALL BE TAKEN TO AVOID EXCESS COMPACTION.

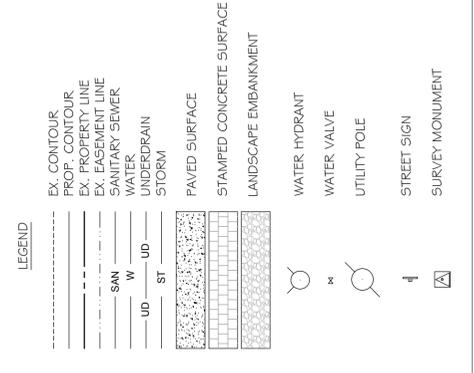


**LOCATION PLAN**  
SCALE: N.T.S.

**SITE DATA:**

- 1763 CALKINS ROAD  
PITTSFORD, NY 14534  
ZONING: RRA4 - RURAL RESIDENTIAL
- MINIMUM SIDE SETBACK = 20.00 FT
- PROPOSED SIDE SETBACK = 123.00 FT
- MINIMUM REAR SETBACK = 10.00 FT
- PROPOSED REAR SETBACK = 685.69 FT
- MINIMUM FRONT SETBACK = 70.00 FT
- PROPOSED FRONT SETBACK = 165.96 FT
- EXISTING IMP. SURFACE = 8,625 SF
- PROPOSED IMP. SURFACE = 21,650 SF

BUILDING PLANS APPROVED BY DESIGN REVIEW & HISTORIC PRESERVATION BOARD 6/28/2018.  
BUILDING HEIGHT LIMITED TO 40 FT.



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

LATEST REVISION:  
5/30/19

DRAWING NO. **C1**  
SHT 1 OF 4

REPORTED OWNER  
**TOWN OF PITTSFORD**  
TAX ID #143,043-321

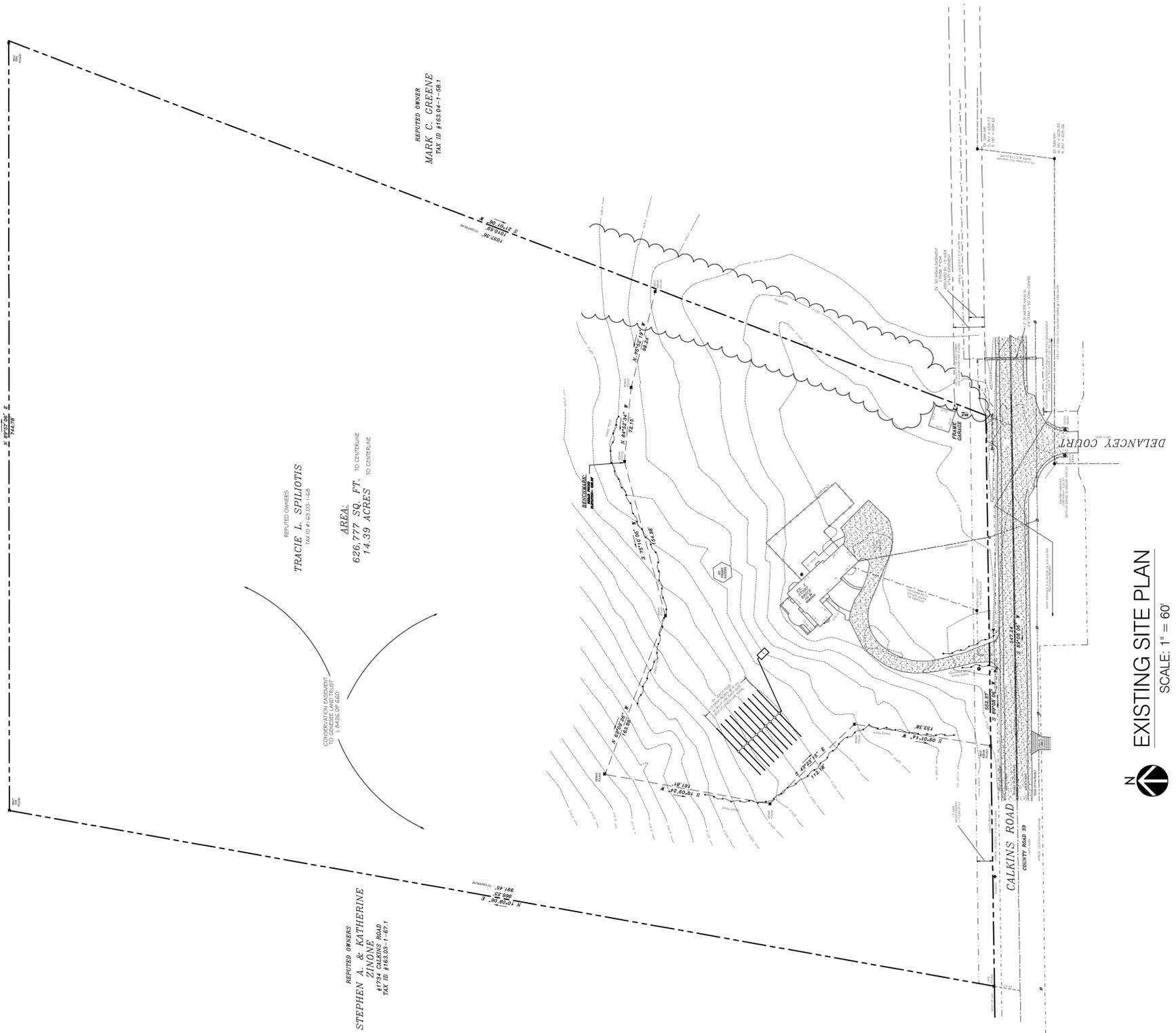
REPORTED OWNERS  
**TRACIE L. SPILLIOTIS**  
TAX ID #143,035-145

AREA:  
**626,777 SQ. FT.** TO CENTRIQUE  
**14.39 ACRES**

REPORTED OWNER  
**MARK C. GREENE**  
TAX ID #163,041-561

REPORTED OWNERS  
**STEPHEN A. & KATHERINE ZINGONE**  
17705 CALKINS ROAD  
TAX ID #143,045-1401

EXISTING SITE PLAN  
SCALE: 1" = 60'



NO.	DESCRIPTION	DATE
A	EX. WATER MAIN	9/05/18
B		
C		
D		
E		
F		

REVISIONS:	JOB NO. 18915
DRAWN: JWK	DATE: 8/21/2018
CHECKED: WLM	DATE: 8/21/2018
SCALE: AS NOTED	

**MEAGHER ENGINEERING**  
CIVIL / STRUCTURAL ENGINEERING  
PO Box 76  
Pittsford, NY 14534  
PH: 585-924-7430 FAX: 585-924-7457

CLIENT:	PANO & TRACIE SPILLIOTIS 2687 LEHIGH STATION ROAD PITTSFORD, NY 14534
PROJECT:	SPILLIOTIS SITE PLAN 1762 CALKINS ROAD PITTSFORD, NY 14534
DRAWING:	EXISTING SITE PLAN

DATE	DESCRIPTION	NO.	REVISIONS:
8/27/18	PURE WATERS COMMENTS	1	
8/25/18	PRIVATE SEWER NOTE	2	
5/30/19	POOL HOUSE/ENTRY GATE	3	
6/11/19		4	

NOTICE: UNAUTHORIZED REVISIONS OR ADDITIONS TO THIS DRAWING ARE VIOLATIONS OF THE NYS EDUC. LAW, ARTICLE 147 SECTION 2205. CHECKED: JWK DATE: 8/21/2018 DRAWN: ESH DATE: 8/21/2018 SCALE: AS NOTED JOB NO. 18915

NOTICE: UNAUTHORIZED REVISIONS OR ADDITIONS TO THIS DRAWING ARE VIOLATIONS OF THE NYS EDUC. LAW, ARTICLE 147 SECTION 2205. CHECKED: JWK DATE: 8/21/2018 DRAWN: ESH DATE: 8/21/2018 SCALE: AS NOTED JOB NO. 18915

CLIENT: PANO & TRACIE SPILLOTTIS  
2887 LEHIGH STATION ROAD  
PITTSFORD, NY 14534

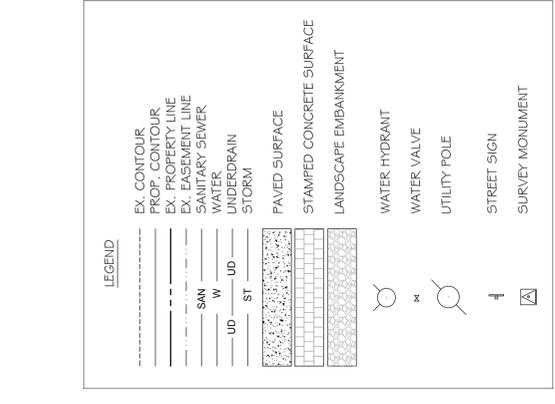
PROJECT: SPILLOTTIS SITE PLAN  
1762 CALKINS ROAD  
PITTSFORD, NY 14534

DRAWING NO. C2  
SHT 2 OF 4

DRAWING NO. C2  
SHT 2 OF 4



**LOCATION PLAN**  
SCALE: N.T.S.



**SEPTIC SYSTEM ABANDONMENT TANKS:**

- A LICENSED SEPTIC WASTE HAULER SHALL PUMP AND FLUSH ALL CONTENTS FROM ALL TANKS AND DISTRIBUTION BOXES WITHIN THE SYSTEM.
- REMOVE SEPTIC TANKS AND DISTRIBUTION BOXES IN TOTAL OR PUNCTURE THE TANK BOTTOM AND CRUSH THE TANK COVER INTO THE SYSTEM.
- BACKFILL WITH SELECTED GRANULAR FILL CONCRETE OR SOIL THAT WHEN COMPACTED WILL LIMIT SETTLEMENT. PROPERLY GRADE AND ESTABLISH VEGETATIVE COVER.
- ABSORPTION FIELD:
  - THE COMPONENTS OF THE ABSORPTION FIELD MAY BE LEFT INTACT, IF THERE ARE NO PLANS TO USE THE AREA FOR OTHER PURPOSES.
  - IF THE EFFLUENT HAS SURFACED, COVER THOSE AREAS WITH HYDRATED LIME, FOLLOWED BY TOPSOIL AND ESTABLISH VEGETATIVE COVER.
  - IF COMPONENTS OF THE ABSORPTION FIELD ARE TO BE REMOVED:
    - ALLOW SUFFICIENT TIME AFTER THE SYSTEM IS TAKEN OUT OF SERVICE AND THE TANKS PUMPED TO MAKE SURE THE ENTIRE ABSORPTION FIELD IS DRY.
    - HAVE A LICENSED SEPTIC WASTE HAULER PUMP ALL CONTENTS FROM ALL DISTRIBUTION BOXES AND TANKS.
    - HAVE A CONTRACTOR REMOVE THE DISTRIBUTION NETWORK, AGGREGATE, AND SAND IF ANY FROM THE SITE.
    - CONTRACTOR MUST DISPOSE OF THE MATERIALS AT A LICENSED LANDFILL.

**SITE DATA:**  
1762 CALKINS ROAD  
PITTSFORD, NY 14534  
ZONING: RRA4 - RURAL RESIDENTIAL

MINIMUM SIDE SETBACK = 20.00 FT  
PROPOSED SIDE SETBACK = 123.00 FT

MINIMUM REAR SETBACK = 10.00 FT  
PROPOSED REAR SETBACK = 635.69 FT

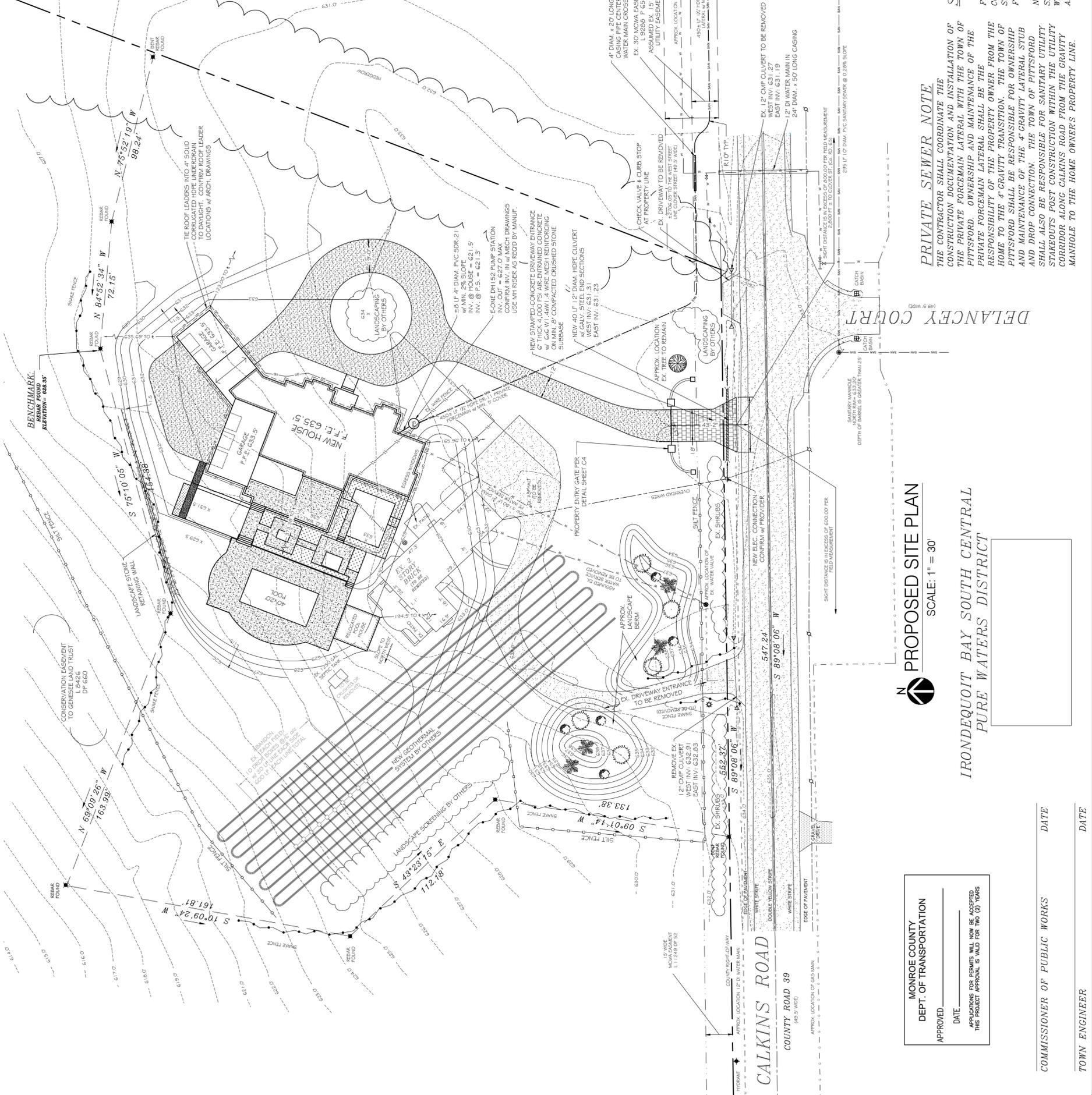
MINIMUM FRONT SETBACK = 70.00 FT  
PROPOSED FRONT SETBACK = 165.86 FT

MAXIMUM HOUSE HEIGHT = 12.00 FT  
PROPERTY POOL HOUSE HEIGHT = 14.00 FT

MAXIMUM ENTRY GATE HEIGHT = 3.00 FT  
PROPERTY ENTRY GATE HEIGHT = 8.33 FT

EXISTING IMP. SURFACE = 8,625 SF  
PROPOSED IMP. SURFACE = 27,650 SF

BUILDING PLANS APPROVED BY DESIGN REVIEW & HISTORIC PRESERVATION BOARD 6/28/2018.  
BUILDING HEIGHT LIMITED TO 40 FT.  
PROPOSED HOUSE: 5 BDRMS



**PROPOSED SITE PLAN**  
SCALE: 1" = 30"

IRONDEQUOIT BAY SOUTH CENTRAL  
PURE WATERS DISTRICT

MONROE COUNTY  
DEPT. OF TRANSPORTATION

APPROVED: \_\_\_\_\_  
DATE: \_\_\_\_\_  
APPLICATIONS FOR PERMITS WILL NOW BE ACCEPTED.  
THIS PROJECT APPROVAL IS VALID FOR TWO (2) YEARS.

COMMISSIONER OF PUBLIC WORKS \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**SEWER USE LAW NOTE**

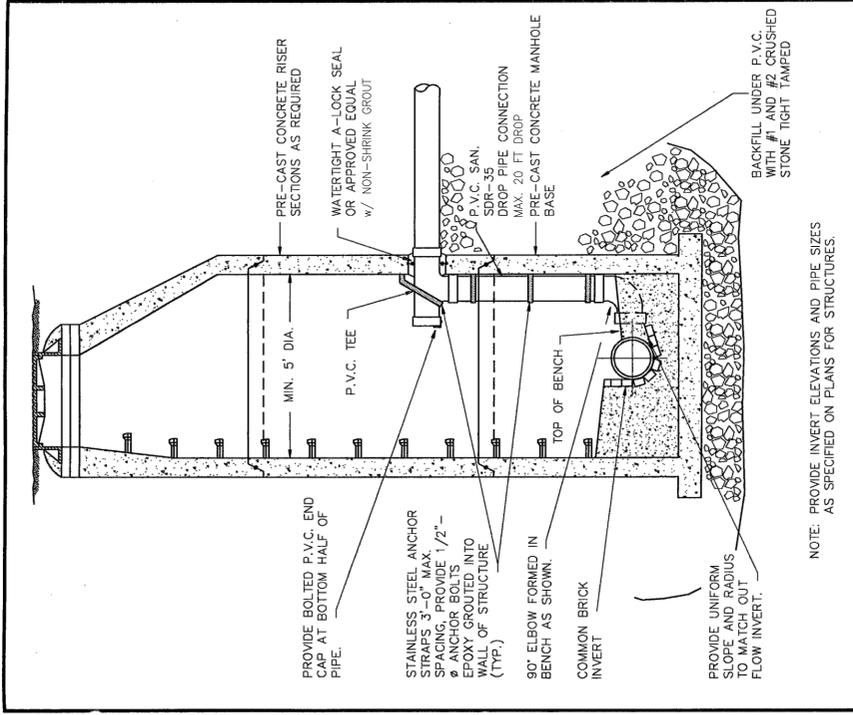
FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

**PRIVATE SEWER NOTE**

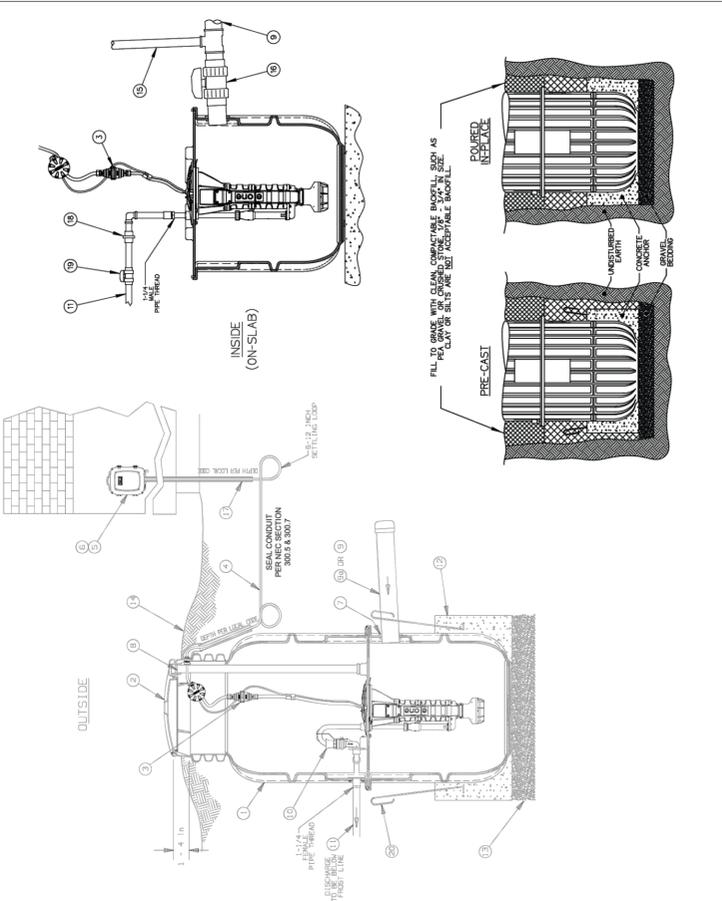
THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE PRIVATE FORCE MAIN LATERAL WITH THE TOWN OF PITTSFORD. OWNERSHIP AND MAINTENANCE OF THE PRIVATE FORCE MAIN LATERAL SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER FROM THE HOME TO THE 4" GRAVITY TRANSITION. THE TOWN OF PITTSFORD SHALL BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF THE 4" GRAVITY LATERAL STUB AND DROP CONNECTION. THE TOWN OF PITTSFORD SHALL ALSO BE RESPONSIBLE FOR SANITARY UTILITY STAKEOUTS POST CONSTRUCTION WITHIN THE UTILITY CORRIDOR ALONG CALKINS ROAD FROM THE GRAVITY MANHOLE TO THE HOME OWNERS PROPERTY LINE.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



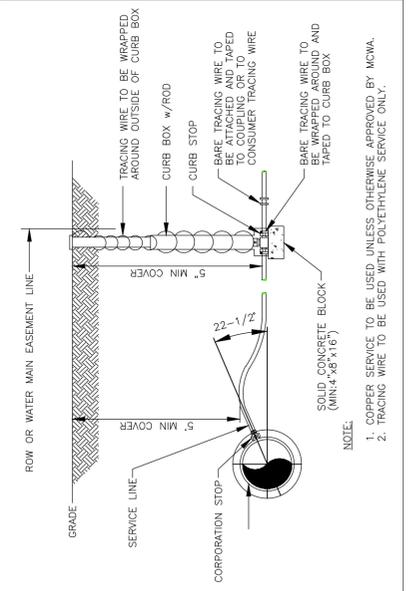
DETAIL NO.	S-6
REVISIONS	
N.T.S.	

NOTE: PROVIDE INVERT ELEVATIONS AND PIPE SIZES AS SPECIFIED ON PLANS FOR STRUCTURES.



**PUMP STATION DETAILS**

FROM E/ONE TYP. INSTALLATION INSTRUCTIONS  
SCALE: NOT TO SCALE



**WATER SERVICE INSTALLATION**

SCALE: NOT TO SCALE

- NOTE: COPPER SERVICE TO BE USED UNLESS OTHERWISE APPROVED BY MOWA.  
1. TRACING WIRE TO BE USED WITH POLYETHYLENE SERVICE ONLY.

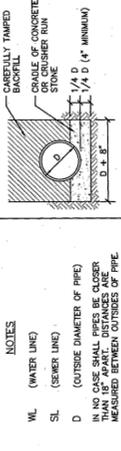
**PUMP STATION FEATURES**

- GRINDER PUMP BASIN
- ACCESSWAY COVER
- ELECTRICAL QUICK DISCONNECT (EQD)
- POWER AND ALARM CABLE
- ALARM PANEL
- ALARM DEVICE
- INLET
- WET WELL VENT
- GRAVITY SERVICE LINE
- DISCHARGE VALVE
- DISCHARGE LINE
- 6.1 CF CONCRETE BALLAST w/ ANCHORS PER MANUF.
- 6\"/>

**WATER/SEWER CROSSING**

SCALE: NOT TO SCALE

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SEWER LINE WITH STEEL CASING SHALL BE INSTALLED WITH STEEL CASING BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE 10 FT. EACH SIDE OF CROSSING. B) SLEW SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CHAIRS OF CONCRETE OR CRUSHER RUN STONE (SEE DETAIL) BETWEEN WATER LINE FOR 10 FT. EACH SIDE OF CROSSING.



NOTES:  
WL (WATER LINE)  
SL (SEWER LINE)  
D (OUTSIDE DIAMETER OF PIPE)  
IN NO CASE SHALL PIPES BE CLOSER THAN 18\"/>

DATE	8/27/18
DESCRIPTION	PURE WATERS COMMENTS
NO.	A
REVISIONS:	T C D B
JOB NO.	18915
SCALE:	AS NOTED
DATE:	8/21/2018
CHECKED:	WLM
DATE:	8/21/2018
DRAWN:	JWK
NOTICE:	UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING ARE VIOLATIONS OF THE NYS EDUC. LAW, ARTICLE 147 SECTION 7205. NO REVISIONS ARE PERMITTED UNLESS AUTHORIZED BY THE ENGINEER OF RECORD.

**MEAGHER ENGINEERING**  
CIVIL / STRUCTURAL ENGINEERING  
PO Box 76  
1762 CALKINS ROAD  
PITTSFORD, NY 14534  
PH 585-924-7430 FAX 585-924-7457

CLIENT: PANO & TRACE SPLITOTS  
2887 LEHIGH STATION ROAD  
PITTSFORD, NY 14534  
PROJECT: SPLITOTS SITE PLAN  
1762 CALKINS ROAD  
PITTSFORD, NY 14534  
DRAWING NO. UTILITY DETAILS

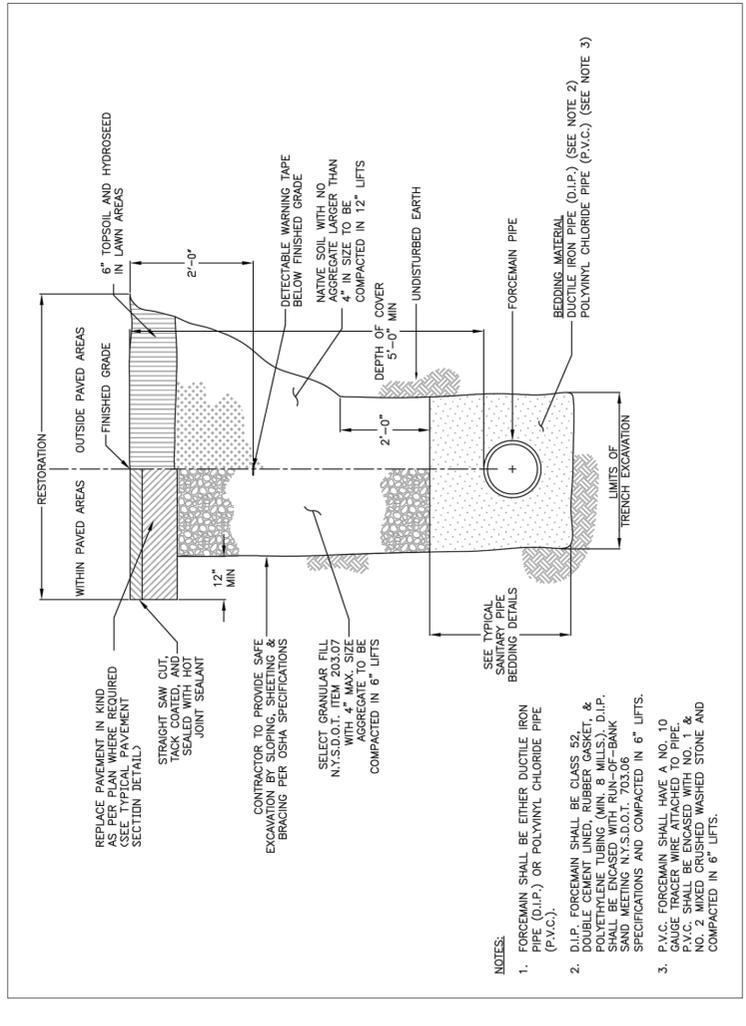
DRAWING NO. **C3**  
SHT 3 OF 4

**PRELIMINARY NOT FOR CONSTRUCTION**

**SEWER USE LAW NOTE**

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.  
NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

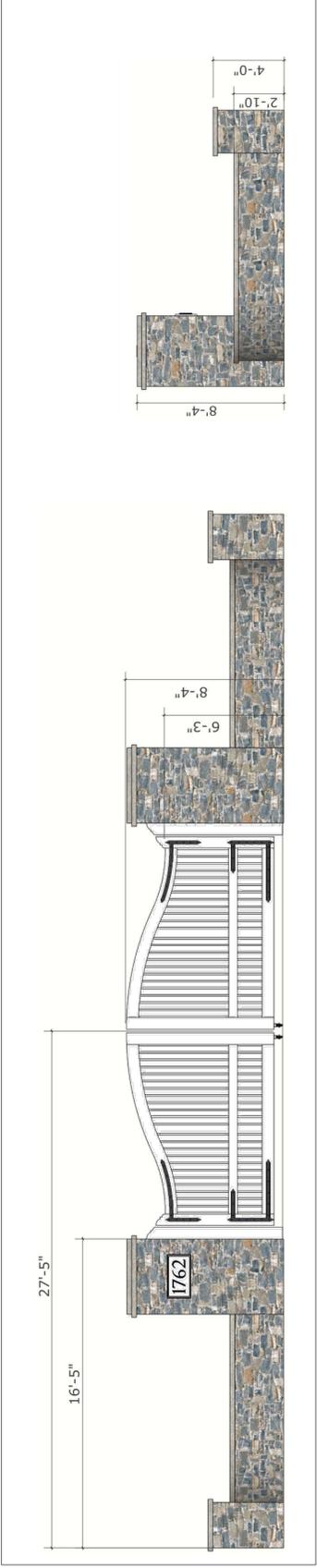
- GENERAL & UTILITY NOTES**
- ALL MOVEMENTS TO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF PITTSFORD CONSTRUCTION SPECIFICATIONS.
  - COUNTY AND TOWN OF PITTSFORD HEALTH DEPARTMENTS A FINANCIAL GUARANTEE IS REQUIRED FOR RESTORATION OF OFFSITE WORK.
  - DEVELOPER SHALL PROVIDE FOR EROSION CONTROL BARRIERS WHERE NEEDED DURING CONSTRUCTION. EROSION CONTROL SHALL NOT BE REMOVED UNTIL APPROVAL HAS BEEN GRANTED BY THE TOWN OF PITTSFORD.
  - CALKINS ROAD TO BE KEPT FREE OF MUD DEBRIS BY THE CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, CLOSELY PARALLEL TO, OR UNDER THE PROPOSED UTILITIES. THE COST OF REPAIRING DAMAGED UTILITIES SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL CONFIRM PLACEMENT OF UNDERGROUND UTILITIES BY CONTACTING THE UTILITY COORDINATING COMMITTEE (1-800-982-7962) FOR A UTILITY STAKEOUT AND FIELD INVESTIGATION PRIOR TO COMMENCING CONSTRUCTION.
  - THE ACCURACY OF EXISTING UTILITIES SHOWN HEREON IS NOT GUARANTEED. EXISTING UTILITIES SHOWN ARE PLOTTED FROM FIELD SURVEY DATA AND COORDINATE SYSTEMS. THE CONTRACTOR SHALL MAKE THE NECESSARY CHECKS FOR ALL EXISTING UTILITIES.
  - DRAINAGE SWALES TO BE INSTALLED AND OPERATIONAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT ALL SURVEY MONUMENTATION.
  - PROPOSED SLOPES SHALL NOT EXCEED 1 ON 3.
  - FILL AREAS TO BE IMMEDIATELY SEEDED TO PREVENT EROSION.
  - SAFE AND CONTINUOUS TRAFFIC AND INGRESS AND EGRESS FOR ADJACENT OWNER DRIVEWAYS, SERVICE AND PUBLIC ROADS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION.
  - ALL TOPSOIL STRIPPED SHALL BE STOCKPILED AND REMAIN ONSITE UNTIL PROJECT IS COMPLETED OR UNTIL INSURANCE OF A MINIMUM SEEDBED OF 6 INCHES OF TOPSOIL IS PROVIDED.
  - MATERIAL BROUGHT TO THE SITE SHALL BE CLEAN FILL, FREE OF ORGANICS, WASTES AND FROZEN MATERIAL.
  - CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT EROSION AND TO PROTECT EXISTING UTILITIES.
  - CHECK SERVICE CUT SWALES BEFORE TRENCHING TO INSURE THAT ALL INSTALLED WATERMAINS WILL HAVE THE REQUIRED COVER AS WELL AS PROPER CROSSING AND SEPARATION REQUIREMENTS BETWEEN ALL WATER AND SEWER SERVICES.
  - THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES PRIOR TO COMMENCING EARTHWORK OPERATIONS.
  - ALL CONSTRUCTION SHALL CONFORM WITH ALL FEDERAL, STATE, AND LOCAL CONSTRUCTION STANDARDS.
  - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVENTY(70) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - ANY CELLAR INFILTRATION DISCHARGE SHALL BE PUMPED TO STORM SEWERS, ROAD SIDE SWALE, OR EXISTING STORM SYSTEM.
  - ALL PROPOSED ROOF LEADERS SHALL BE INTO A CONDUCTOR SYSTEM AND BE DIRECTED TO DAYLIGHT A MINIMUM OF 20 FT FROM THE PROPOSED HOUSE.
  - THE CONDUCTOR SYSTEM SHALL DAYLIGHT TO THREE (3) 8" x 16" CONCRETE PATIO BLOCKS PLACED AT THE PIPES OUTFALL IN A SHALLOW TRAPEZOIDAL SHAPED SWALE TO PREVENT EROSION AND VEGETATIVE CLOSING.
  - SANITARY LATERAL INSTALLATION & CONNECTION SHALL BE INSPECTED BY PITTSFORD SEWER DEPT.
  - DRIVEWAY SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 12' AND MIN. UNOBSTRUCTED HEIGHT OF 13'-6".
  - A ROAD CLOSURE PERMIT MUST BE OBTAINED FROM THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION.
  - CONTRACTOR SHALL MAINTAIN A MINIMUM 10' CLEARANCE FROM ALL HIGHWAYS.
  - HIGHWAY RIGHT-OF-WAY ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL GRADING IN THE COUNTY RIGHT-OF-WAY.
  - IN THE MCDOT APPROVE THIS PROJECT, A 136 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION WHEN INSTALLED.
  - ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MCDOT STANDARDS AND DETAILS IN EFFECT AT THE TIME OF INSTALLATION.
  - FINAL GRADING IS SUBJECT TO INSPECTION AND APPROVAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE HOME.
  - NO ACTIVE FARMLANDS SHALL BE DISTURBED FROM THIS PROJECT.



**SANITARY FORCEMAIN TRENCH**

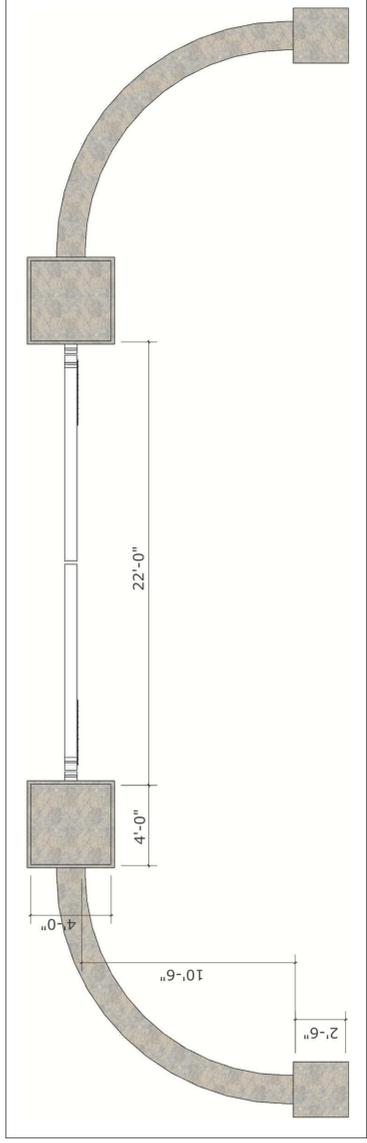
SCALE: NOT TO SCALE

- NOTES:
- FORCEMAIN SHALL BE EITHER DUCTILE IRON PIPE (D.I.P.) OR POLYVINYL CHLORIDE PIPE (P.V.C.).
  - D.I.P. FORCEMAIN SHALL BE CLASS 52, DOUBLE CEMENT LINED, RUBBER GASKET, & SOLVENT CEMENT LINED (M.W. 8 MILLS). D.I.P. SHALL BE ENCASED IN SAND. SAND MEETING N.Y.S.D.O.T. 703.06 SPECIFICATIONS AND COMPACTED IN 6' LIFTS.
  - P.V.C. FORCEMAIN SHALL HAVE A NO. 10 GAUGE TRACER WIRE ATTACHED TO PIPE. P.V.C. SHALL BE ENCASED WITH NO. 1 & NO. 2 MIXED CRUSHED WASHED STONE AND COMPACTED IN 6' LIFTS.



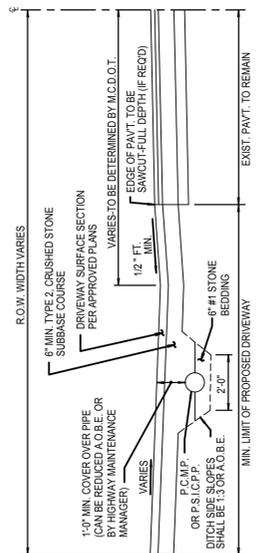
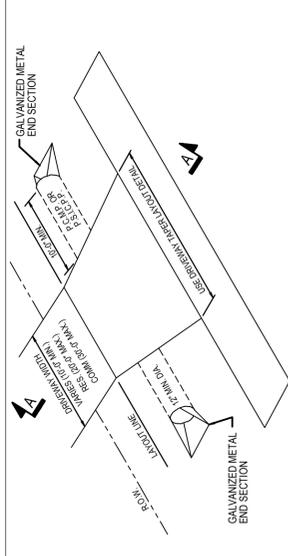
**ENTRANCE FENCE ELEVATION**

SCALE: N.T.S.



**ENTRANCE FENCE PLANE VIEW**

SCALE: N.T.S.



**DRIVEWAY SECTION**

SCALE: N.T.S.

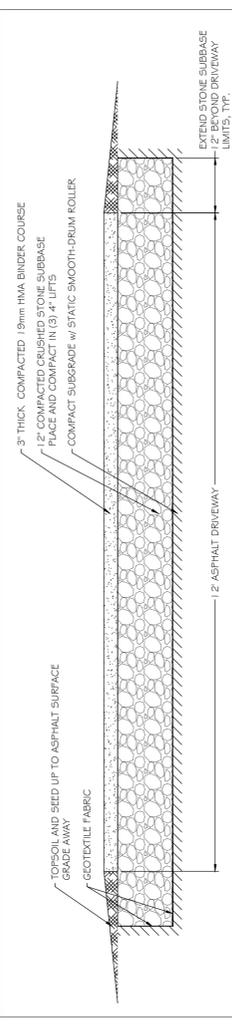
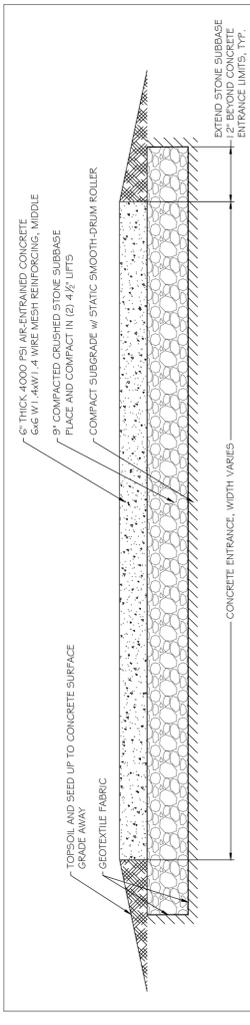
- MONROE COUNTY HIGHWAY NOTES**
- HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE OWNER WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE AND SIZE DETERMINED BY THE MONROE COUNTY DIRECTOR OF TRANSPORTATION.
  - ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY, IF APPLICABLE.
  - AFTER MCDOT APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND A 239F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
  - ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MCDOT STANDARDS AND DETAILS IN EFFECT WHEN INSTALLED.
  - THE PERMITTEE AGREES THAT IF THE ROADWAY IS OVERLAID, THE PERMITTEE IS RESPONSIBLE FOR MAKING ANY ADJUSTMENTS FOR THE JOINT BETWEEN THE NEW ASPHALT AND THE PROPOSED CONCRETE PAVEMENT DRIVEWAY. THE NEW OVERLAY WILL BEGIN WHERE THE CONCRETE PAVEMENT DRIVEWAY BEGINS.

**DRIVEWAY WITH CULVERT**

SCALE: N.T.S.

**CONCRETE ENTRANCE SECTION**

SCALE: N.T.S.



**DRIVEWAY SECTION**

SCALE: N.T.S.

- MONROE COUNTY HIGHWAY NOTES**
- HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE OWNER WILL PLACE A CULVERT AND/OR STORM SEWER OF A TYPE AND SIZE DETERMINED BY THE MONROE COUNTY DIRECTOR OF TRANSPORTATION.
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  - THE PERMITTEE AGREES THAT IF THE ROADWAY IS OVERLAID, THE PERMITTEE IS RESPONSIBLE FOR MAKING ANY ADJUSTMENTS FOR THE JOINT BETWEEN THE NEW ASPHALT AND THE PROPOSED CONCRETE PAVEMENT DRIVEWAY. THE NEW OVERLAY WILL BEGIN WHERE THE CONCRETE PAVEMENT DRIVEWAY BEGINS.

**DRIVEWAY TAPER LAYOUT**

SCALE: N.T.S.

VALID FOR RESIDENTIAL OR MINOR COMMERCIAL DRIVEWAYS (FOR THE VALUE OF T, SEE TABLE 1)

NOT TO SCALE

DATE	DESCRIPTION	NO.	SCALE:
5/30/2019	ENTRY GATE DETAILS	A B C D E F	AS NOTED
			DATE: 8/21/2018
			CHECKED: JWK
			DATE: 8/21/2018
			DRAWN: ESH
			JOB NO. 18915
REVISIONS:			

**MEAGHER ENGINEERING**  
 CIVIL / STRUCTURAL ENGINEERING  
 PO Box 76  
 1762 CALKINS ROAD  
 PITTSFORD, NY 14534  
 PH: 585-924-7430 FAX: 585-924-7457

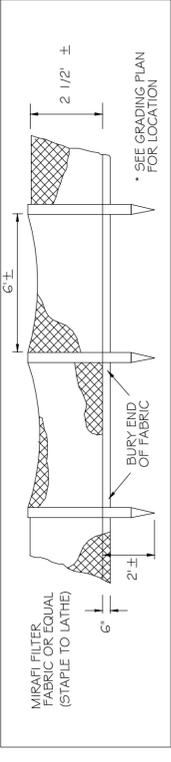
STATE OF NEW YORK  
 Licensed Professional Engineer  
 No. 097659

**CLIENT:** PANO & TRACE SPLITOTS  
 2587 LEHIGH STATION ROAD  
 PITTSFORD, NY 14534

**PROJECT:** SPLITOTS SITE PLAN  
 1762 CALKINS ROAD  
 PITTSFORD, NY 14534

**DRAWING:** DRIVEWAY DETAILS

**DRAWING NO. C4**  
 SHT 4 OF 4



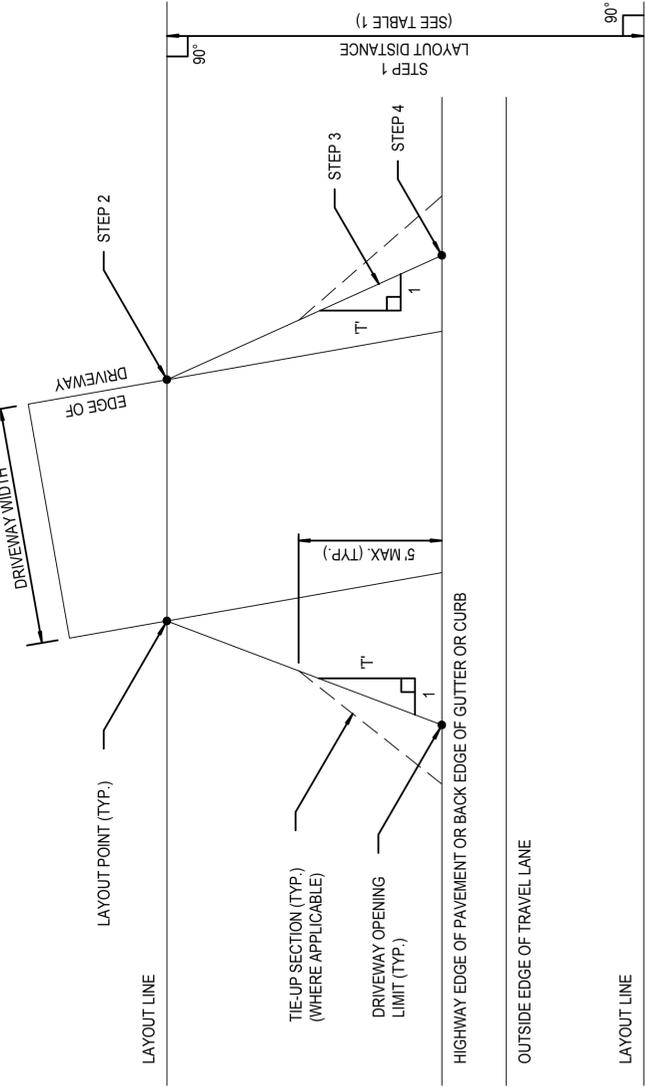
**SILT FENCE DETAIL**

SCALE: NOT TO SCALE

**TAPER METHOD OF LAYOUT**

TAPER METHOD OF LAYOUT IS NOT RECOMMENDED WITH CORNER ANGLES LESS THAN 80° OR GREATER THAN 100°. NOR IS IT RECOMMENDED FOR DRIVEWAYS WITH A DRIVEWAY OFFSET (OUTER TRAVEL LANE + PAVED SHOULDER) LESS THAN 16'. UNLESS IT CAN BE FIELD VERIFIED THAT THE DRIVEWAY ENTRANCE WIDTH WILL ACCOMMODATE THE VEHICLES THAT USE THE DRIVEWAY ON A REGULAR BASIS.

- STEP 1 - SCRIBE A LINE (LAYOUT LINE) OFFSET THE APPROPRIATE LAYOUT DISTANCE (SEE TABLE 1) FROM THE INSIDE EDGE OF THE OUTERMOST OF TRAVEL LANE.
- STEP 2 - LOCATE THE TAPER LAYOUT POINT, WHICH IS AT THE INTERSECTION OF THE EDGE OF DRIVEWAY AND THE LAYOUT LINE.
- STEP 3 - SCRIBE A 1:"T" (SEE TABLE 1) TAPER FROM THE LAYOUT POINT TO THE EDGE OF PAVEMENT (WITH "T" BEING PERPENDICULAR TO THE EDGE OF TRAVEL LANE).
- STEP 4 - FIND THE DRIVEWAY OPENING LIMIT POINT WHICH IS WHERE THE TAPER INTERSECTS THE EDGE OF PAVEMENT.
- STEP 5 - REPEAT STEPS 1 - 4 FOR THE OTHER SIDE OF THE DRIVEWAY OPENING.



**TABLE 1**  
**TAPER METHOD VALUES**

DRIVEWAY CLASSIFICATION	DRIVEWAY TAPER (1:"T") (SEE NOTE 1)	LAYOUT DISTANCE (SEE NOTE 2)
RESIDENTIAL	1:2	28 FT.
MINOR COMMERCIAL	1:1-1/2	41 FT.

**NOTES:**

- HEADER CURB FOR RESIDENTIAL DRIVEWAYS SHOULD NOT EXCEED 24" UNLESS MATCHING EXISTING OPENING WIDTH (UP TO 30").
- LAYOUT DISTANCE IS MEASURED FROM THE INSIDE EDGE OF OUTERMOST TRAVEL LANE (FOR A MULTI-LANE ROADWAY), OR FROM THE CENTERLINE OF A TWO-LANE ROADWAY.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

# Zoning Board of Appeals Referral Form Information

**Property Address:**

305 West Bloomfield Road PITTSFORD, NY 14534

**Property Owner:**

E. Michael Krenzer  
305 West Bloomfield Rd  
Pittsford, NY 14534

**Applicant or Agent:**

E. Michael Krenzer  
305 West Bloomfield Rd  
Pittsford, NY 14534

**Present Zoning of Property:** RN Residential Neighborhood  
Area Variance - Residential and Non-Profit

<b>Town Code Requirement is:</b>		<b>Proposed Conditions:</b>		<b>Resulting in the Following Variance:</b>	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	12	Height:	25	Height:	-13.0
Size:	180	Size:	3120	Size:	-2940.0

**Code Section(s):** 185-113 B (1) (2)

Description: Applicant is requesting relief from Town Code §185-113 B (1) & (2) for the construction of a Residential Storage Building approximately 40' x 60' with a 12' x 60' covered open area (3120 Sq. Ft.) located in the rear yard. The building is proposed to be approximately 25' tall at the cupola.

July 01, 2019



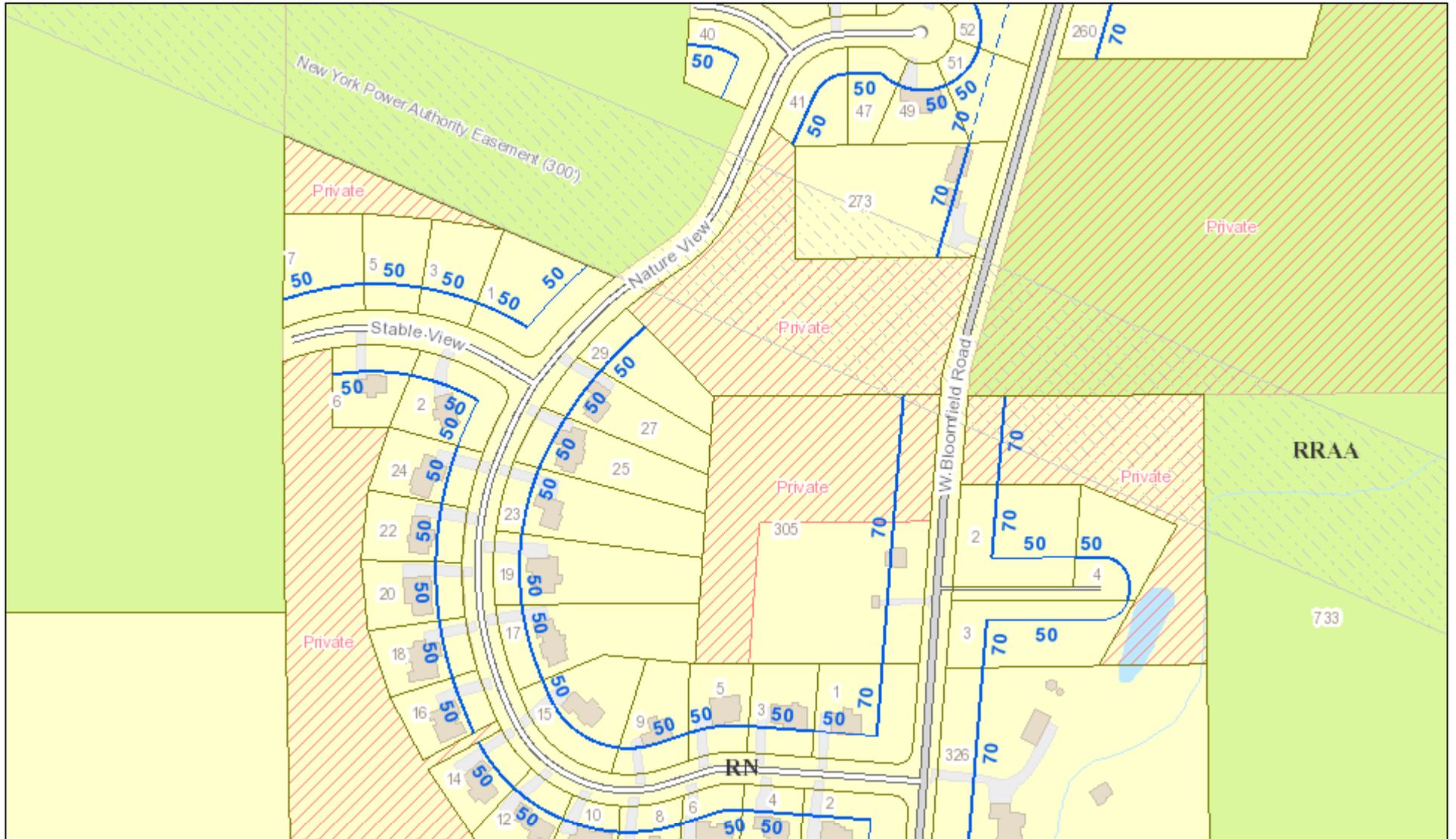
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Date

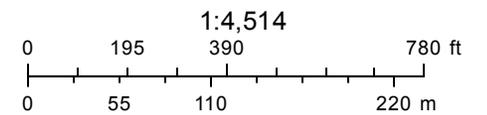
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Mark Lenzi - Building Inspector CEO

# RN Residential Neighborhood Zoning

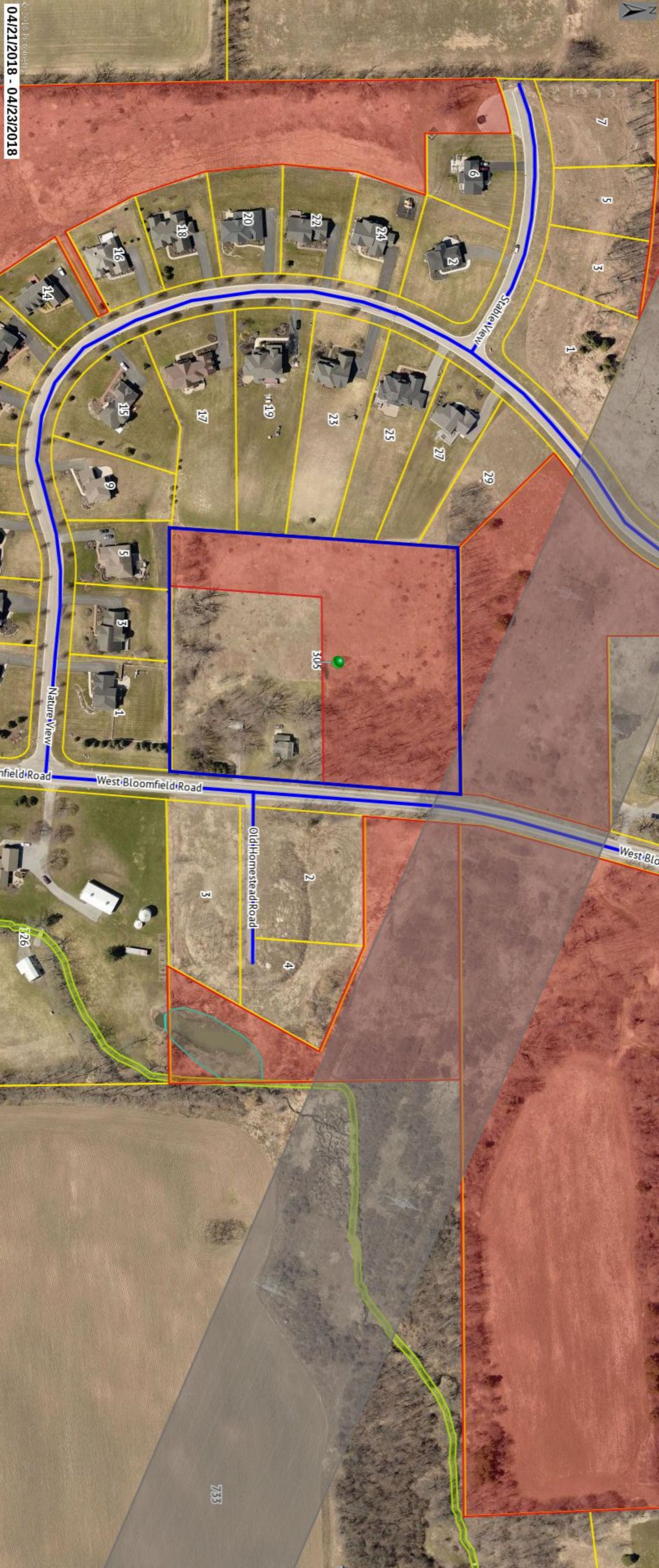


Printed July 1, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



7

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15

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733

Stable View

Nature View

West Bloomfield Road

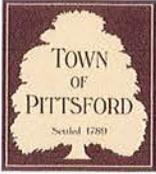
Old Homestead Road

West Blo

nfield Road

326

04/21/2018 - 04/23/2018



# TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: \_\_\_\_\_ Hearing Date: \_\_\_\_\_

Applicant: E. Michael Krenzer

Address: 305 W. Bloomfield Rd Pittsford, NY 14534

Phone: 585-315-0169 E-Mail: mike.krenzer@gmail.com

Agent: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Property Owner: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**(If applicant is not the property owner please complete the Authorization to Make Application Form.)**

Property Location: 305 W. Bloomfield Rd 14534 Current Zoning: Rural-Residential

Tax Map Number: 264689 192.01-1-29.1

Application For:  Residential  Commercial  Other

Please describe, in detail, the proposed project:

A 40'x60'x25' pole barn with a 12'x60' overhang. To be located approximately 90' from the lot line of the neighbor to the south and several hundred feet from the lot line to the neighbors to the west. It will sit to the south and behind the house located on the property as shown on the site map.

**SWORN STATEMENT:** As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

\_\_\_\_\_  
*(Owner or Applicant Signature)*

6-4-19

\_\_\_\_\_  
*(Date)*



# NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

## TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

*(Please answer the following questions to the best of your knowledge)*

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

The pole barn will sit on 5 acres of land and there are pole barns located across the street, also situated on a large parcel of land. In addition, vehicles and lawn maintenance equipment will be kept out of sight.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

There are no out buildings located on the property to store equipment in. Storage is required for the equipment needed to maintain the property including, snow blowers, lawn mowers, garden tools, roto tiller as well as storage for vintage vehicles and a vintage snow mobile collection.

## TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

It is substantial, however, it is mitigated by the fact there are 5 acres of land surrounding it as well as the rural setting which decreases the impact. There are numerous trees around the property lessening the visual impact. There was a garage in the same area that was 26'x14' which was removed before the house was closed on.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

The structure will sit a good distance away from all surrounding properties and will be the only out building on the property. The barn on the southside would be 90 feet from the neighbors property line and 200 feet from the house itself. To the west, the structure would be approximately 300' from the property line and an additional 270' from the houses.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes, however, there are no structures that allow for the storage of vehicles, lawn maintenance equipment, and yard tools. The property would be much cleaner with the aforementioned items being in a building creating a more aesthetically pleasing appearance in keeping with the neighborhood. We feel that the barn will blend in with the rural feeling of the area as well.

# Disclosure Form E

STATE OF NEW YORK  
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

E. Michael Krenzer

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board     Zoning Board of Appeals     Planning Board     Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning     special permit     building permit     permit     amendment

variance     approval of a plat     exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

N/A



(Signature of Applicant)

6-4-19

(Dated)

305 W. Bloomfield Rd

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)

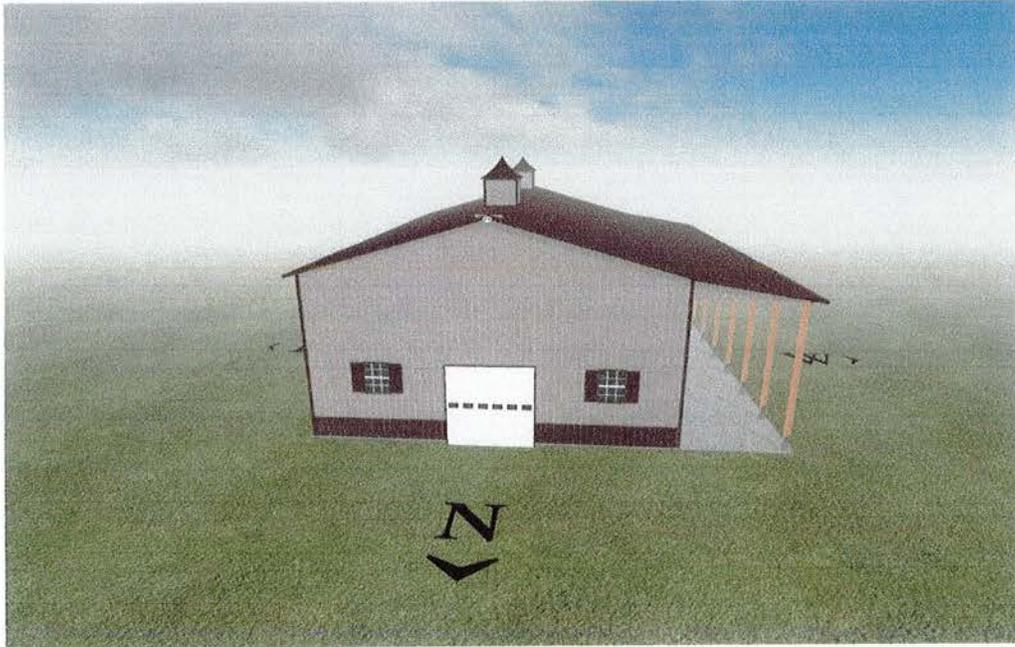


Proposed Area  
for 40x60 pole  
barn ~ 12' overhangs  
↓

305

04/21/2018 - 04/23/2018





### Building Specs

Width: 42'  
 Length: 64'  
 Height: 20'  
 Roof Type: Gabled  
 Roof Pitch: 3.5":12"

### Colors

Roof Color: Brandywine  
 Wall Color: Clay  
 Trim Color: Brandywine  
 Wainscot Color: Brandywine

### Wainscot:

Front: Yes  
 Right: Yes  
 Back: Yes  
 Left: Yes

### Building Extensions

Front Overhang: 1'  
 Back Overhang: 1'  
 Left Overhang: 1  
 Right Overhang: 1  
 4'x4' Cupola Qty: 2  
 Lean To (Right) 64'W x 20'H  
 Pitch 2:12

### Windows & Doors

Window (3x4) w/ Shutters Qty: 2  
 Walk Door 9-Lite Qty: 1  
 Overhead Window Door Qty: 2

Item Sizes:  
 Overhead Window Door: w10' x h10'  
 Window (3x4) w/ Shutters: w3' x h4'  
 Window (3x4) w/ Shutters: w3' x h4'  
 Overhead Window Door: w10' x h10'  
 Walk Door 9-Lite: w3.5' x h6.7'

[www.fbibuildings.com](http://www.fbibuildings.com)

800-552-2981



### Building Specs

Width: 42'  
Length: 64'  
Height: 20'  
Roof Type: Gabled  
Roof Pitch: 3.5":12"

### Colors

Roof Color: Brandywine  
Wall Color: Clay  
Trim Color: Brandywine  
Wainscot Color: Brandywine

### Wainscot:

Front: Yes  
Right: Yes  
Back: Yes  
Left: Yes

### Building Extensions

Front Overhang: 1'  
Back Overhang: 1'  
Left Overhang: 1  
Right Overhang: 1  
4'x4' Cupola Qty: 2  
Lean To (Right) 64'W x 20'H  
Pitch 2:12

### Windows & Doors

Window (3x4) w/ Shutters Qty:  
2  
Walk Door 9-Lite Qty: 1  
Overhead Window Door Qty:  
2

Item Sizes:  
Overhead Window Door: w10'  
x h10'  
Window (3x4) w/ Shutters: w3'  
x h4'  
Window (3x4) w/ Shutters: w3'  
x h4'  
Overhead Window Door: w10'  
x h10'  
Walk Door 9-Lite: w3.5' x h6.7'

[www.fbibuildings.com](http://www.fbibuildings.com)

800-552-2981

# FBI Buildings



## Building Specs

Width: 42'  
Length: 64'  
Height: 20'  
Roof Type: Gabled  
Roof Pitch: 3.5":12"

## Colors

Roof Color: Brandywine  
Wall Color: Clay  
Trim Color: Brandywine  
Wainscot Color: Brandywine

## Wainscot:

Front: Yes  
Right: Yes  
Back: Yes  
Left: Yes

## Building Extensions

Front Overhang: 1'  
Back Overhang: 1'  
Left Overhang: 1  
Right Overhang: 1  
4'x4' Cupola Qty: 2  
Lean To (Right) 64'W x 20'H  
Pitch 2:12

## Windows & Doors

Window (3x4) w/ Shutters Qty: 2  
Walk Door 9-Lite Qty: 1  
Overhead Window Door Qty: 2

### Item Sizes:

Overhead Window Door: w10' x h10'  
Window (3x4) w/ Shutters: w3' x h4'  
Window (3x4) w/ Shutters: w3' x h4'  
Overhead Window Door: w10' x h10'  
Walk Door 9-Lite: w3.5' x h6.7'

[www.fbibuildings.com](http://www.fbibuildings.com)

800-552-2981



### Building Specs

Width: 42'  
 Length: 64'  
 Height: 20'  
 Roof Type: Gabled  
 Roof Pitch: 3.5":12"

### Colors

Roof Color: Brandywine  
 Wall Color: Clay  
 Trim Color: Brandywine  
 Wainscot Color: Brandywine

### Wainscot:

Front: Yes  
 Right: Yes  
 Back: Yes  
 Left: Yes

### Building Extensions

Front Overhang: 1'  
 Back Overhang: 1'  
 Left Overhang: 1  
 Right Overhang: 1  
 4'x4' Cupola Qty: 2  
 Lean To (Right) 64'W x 20'H  
 Pitch 2:12

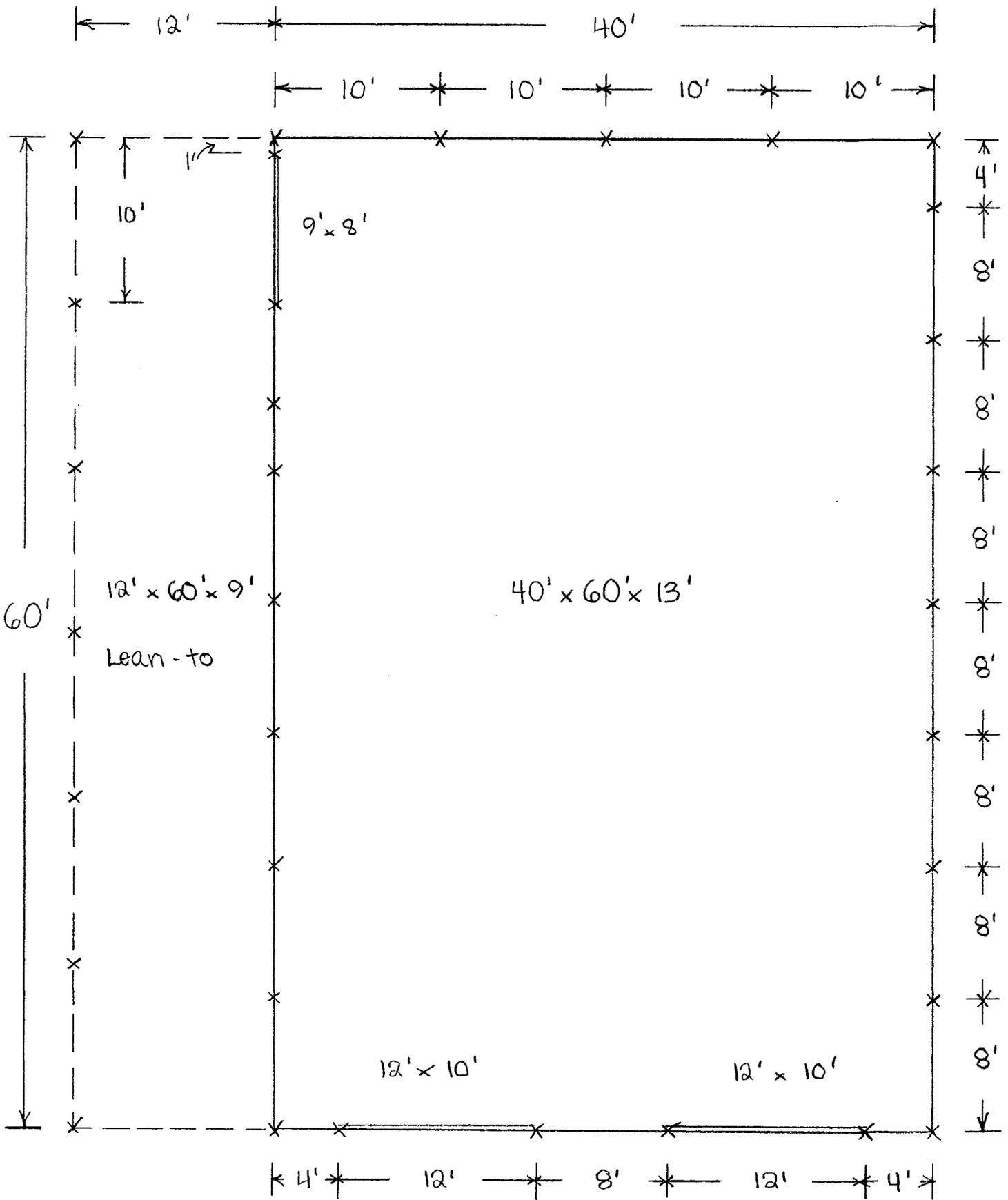
### Windows & Doors

Window (3x4) w/ Shutters Qty:  
 2  
 Walk Door 9-Lite Qty: 1  
 Overhead Window Door Qty:  
 2

Item Sizes:  
 Overhead Window Door: w10'  
 x h10'  
 Window (3x4) w/ Shutters: w3'  
 x h4'  
 Window (3x4) w/ Shutters: w3'  
 x h4'  
 Overhead Window Door: w10'  
 x h10'  
 Walk Door 9-Lite: w3.5' x h6.7'

[www.fbibuildings.com](http://www.fbibuildings.com)

800-552-2981



The lean to will be on the right side

# Zoning Board of Appeals Referral Form Information

**Property Address:**

39 Van Voorhis Road PITTSFORD, NY 14534

**Property Owner:**

Roes, Vicki  
39 Van Voorhis Rd  
Pittsford, NY 14534

**Applicant or Agent:**

Roes, Vicki  
39 Van Voorhis Rd  
Pittsford, NY 14534

**Present Zoning of Property:** RN Residential Neighborhood  
Area Variance - Residential and Non-Profit

<b>Town Code Requirement is:</b>		<b>Proposed Conditions:</b>		<b>Resulting in the Following Variance:</b>	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	12	Height:	17	Height:	-5.0
Size:	180	Size:	512	Size:	-332.0

**Code Section(s):** 185-113 B (1) & (2)

Description: Applicant is requesting relief from Town Code §185-113 B (1) & (2) construction of a Residential Storage Building of approximately 512 Sq. Ft. located in the rear yard. The oversized accessory structure will be constructed to a height of approximately 17'.

July 01, 2019



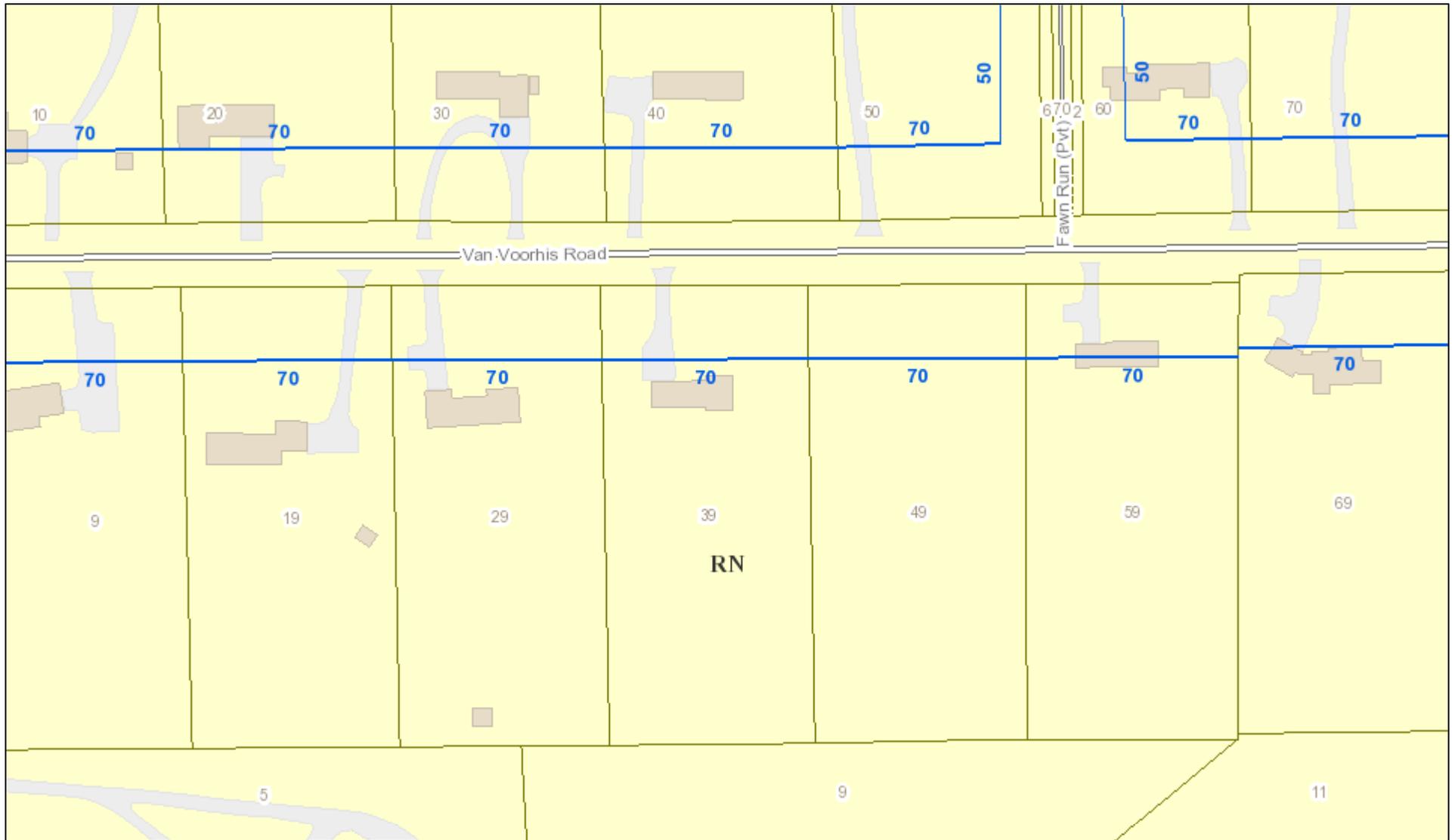
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Date

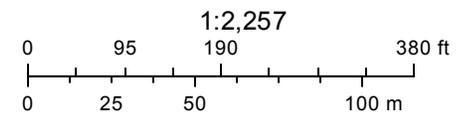
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Mark Lenzi - Building Inspector CEO

# RN Residential Neighborhood Zoning

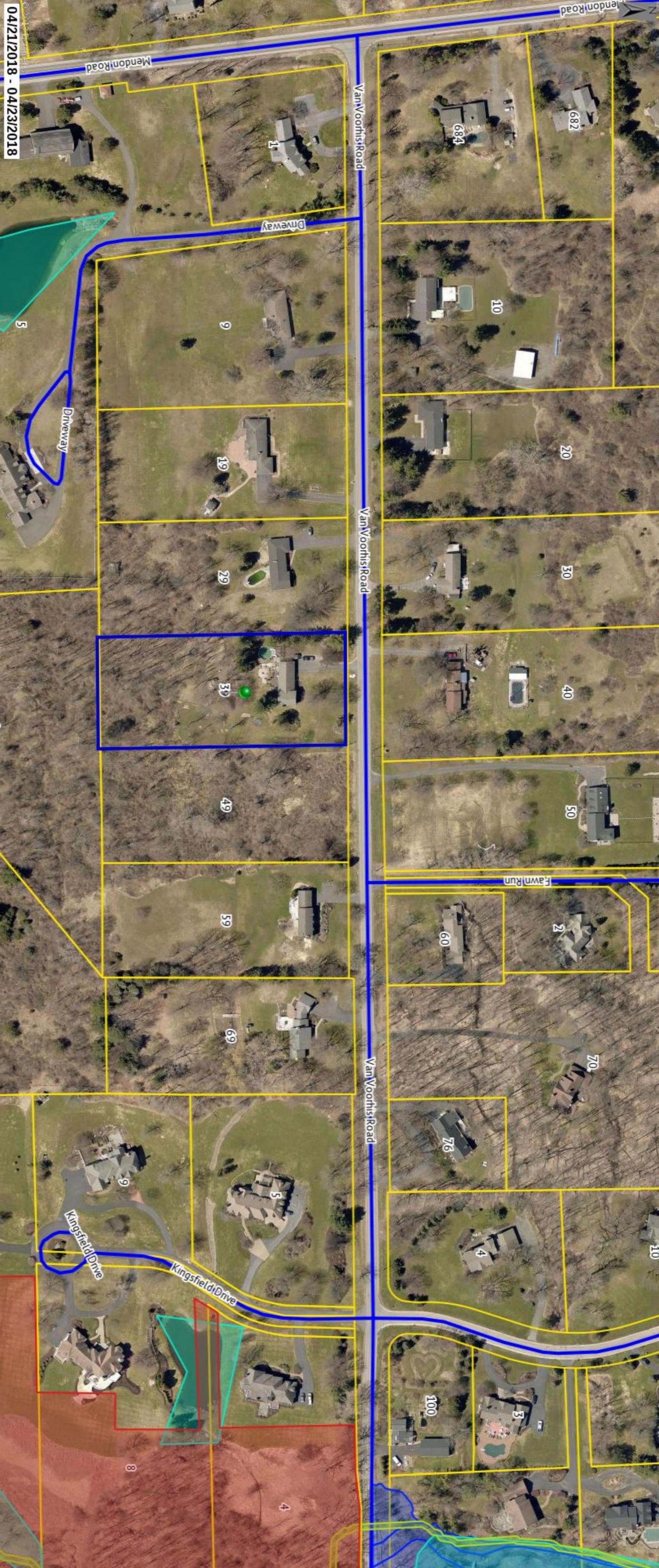


Printed July 1, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Mendon Road

Mendon Road

Van Voorhis Road

Driveway

Van Voorhis Road

Fawn Run

Van Voorhis Road

Kingsfield Drive

Kingsfield Drive

04/21/2018 - 04/23/2018

682

684

10

9

20

19

30

29

40

39

50

49

2

60

70

76

4

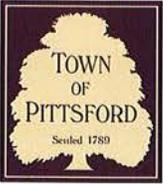
3

100

8

4

10



# TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: June 14, 2019 Hearing Date: July 15, 2019

Applicant: Brian S. and Vicki T. Roes

Address: 39 Van Voorhis Road

Phone: (585) 233-2934 E-Mail: bsroes@yahoo.com

Agent: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Property Owner: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**(If applicant is not the property owner please complete the Authorization to Make Application Form.)**

Property Location: 39 Van Voorhis Road Current Zoning: RN

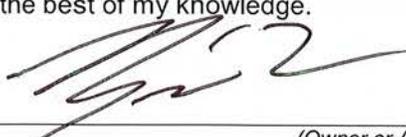
Tax Map Number: 192.02-1-19

Application For:  Residential  Commercial  Other

Please describe, in detail, the proposed project:

We would like to install a 16 foot wide by 32 foot long shed with a gambrel barn style roof in our backyard. The height is approximately 17 feet.

**SWORN STATEMENT:** As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

  
\_\_\_\_\_  
*(Owner or Applicant Signature)*

6-14-19  
\_\_\_\_\_  
*(Date)*



# NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

## TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

*(Please answer the following questions to the best of your knowledge)*

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

This 16 foot wide by 32 foot long by 17 foot high shed will be located near the back of our property 344 feet from the street. This location is likely out of view of all houses on our street. Given our large lot size (2 acres) this will fit in well without being a detriment to any nearby properties. There are a number of larger barns, sheds, and/or detached garages in our surrounding area that also fit in nicely. Our yard is 2 acres and the shed will be located 344 feet from the street and 35 feet to the closest property line. The shed will be installed in a mostly wooded area of our property and will be largely hidden from the road. The shed will be constructed offsite and brought in and placed in the desired location, which will limit or eliminate any construction disturbance. The purpose of the shed will be for storage of lawn mowing equipment, children's toys, tools, etc. We will not be building a driveway to the shed.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

Given our lot size (2 acres) we need a shed of this size in order to have enough space to store our lawn mowing equipment, snow removal equipment, outdoor furniture, swimming pool supplies, tools, kids toys, etc.

## TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

This requested variance is substantial. However, this shed will fit nicely on our property given the size of our property (2 acres) and the location on the property (toward the back in a mostly wooded area).

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

This should have no effect on the physical or environment condition in our neighborhood as it will be located on the back of our property out of sight of most (if not all) individuals. We will not be running electric to the shed and we will not be putting in a driveway to the shed so it should have no effect on the environmental condition of the property or any adjacent properties.

- **NOTE:** *Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;*

5. Is the alleged difficulty self-created?

Yes, this is self-created, however this shed will fit in within our neighborhood and is needed for storage.

# Disclosure Form E

STATE OF NEW YORK  
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Backyard shed

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board     Zoning Board of Appeals     Planning Board     Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning     special permit     building permit     permit     amendment

variance     approval of a plat     exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

NA



(Signature of Applicant)

6-14-19

(Dated)

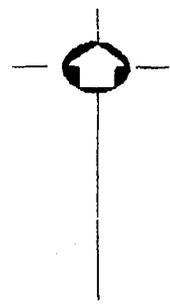
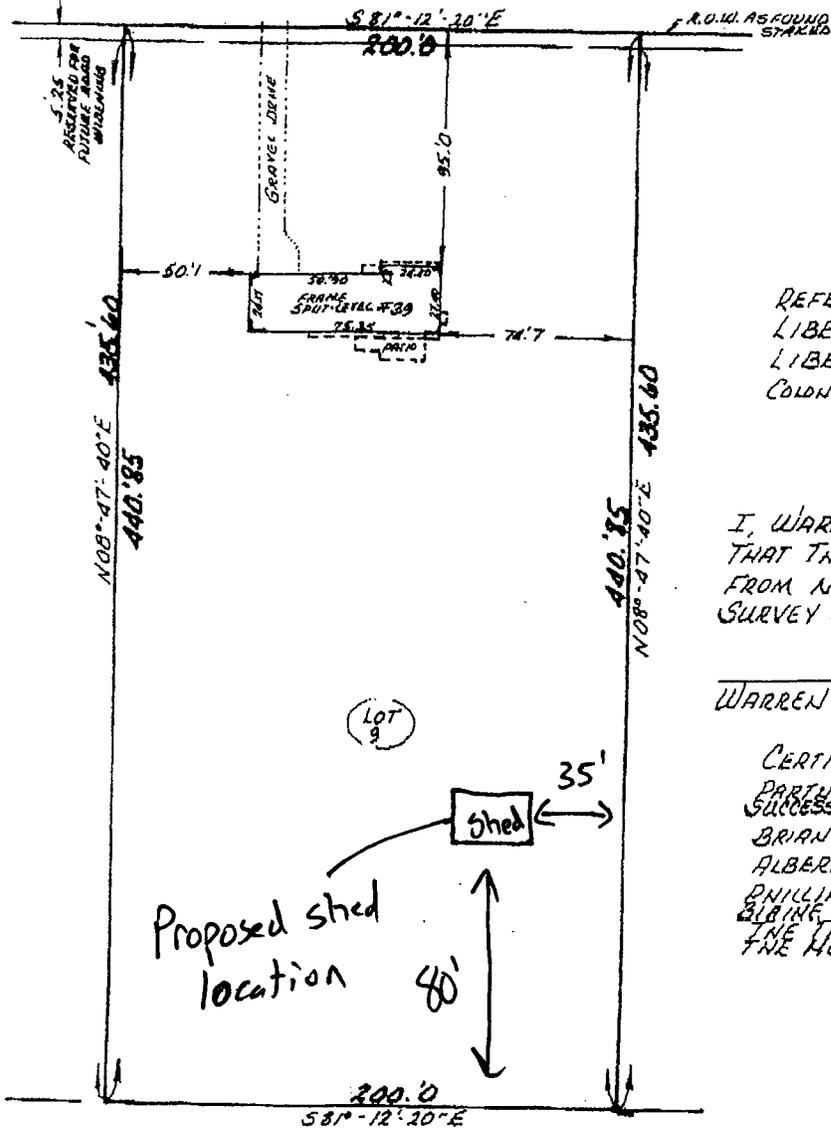
39 Van Voorhis Road

(Street Address)

Pittsford, NY 14534

(City/Town, State, Zip Code)

# VAN VOORHIS ROAD



REFERENCE:  
 LIBER 175 OF MAPS PG. 31  
 LIBER 4078 OF DEEDS PG. 486  
 COLDEN ABSTRACT SEARCH NO:  
 38755

I, WARREN R. McGRAIL CERTIFY  
 THAT THIS MAP WAS MADE  
 FROM NOTES OF AN INSTRUMENT  
 SURVEY DONE JUNE 29, 2005.

WARREN R. McGRAIL LS. 42513.

CERTIFY TO:  
 PARTNERS TRUST BANK, ITS  
 SUCCESSORS & ASSIGNS.  
 BRIAN S. ROES  
 ALBERT S. KUSAK, ESQ.  
 PHILLIPS, LITTLE, MITCHCOCK,  
 BLAINE & KUBER LLP.  
 FINE TITLE COMPANY INSURING  
 FINE MORTGAGE.

EMSEMENTS TO  
 MCWA - L: 5767 D: 74  
 TORGE & RTC L: 2308 D: 331

The map is subject to any easements or encumbrances that an updated abstract of title may show. The word "certify" or "certification" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied. © Copyright. Updated abstract of title not provided.

This survey is certified to those named above during the period that the currently issued title insurance policy is in effect only. Certifications are not transferable to additional institution or subsequent owners. Copies of this survey map not bearing the land surveyors inked seal or embossed seal are not considered to be a true and valid copy. Unauthorized alteration or addition to this survey map is in violation of section 7208 of the New York State Education Law.

## MAP OF A SURVEY LOT 9, DEERFIELD SUBD. SECT. 1 TOWN OF PITTSFORD

MONROE COUNTY,

NEW YORK.

DATE JULY 6, 2005

SCALE 1" = 60 FT.

WARREN R. McGRAIL  
 LAND SURVEYOR  
 63 EMPIRE BOULEVARD  
 ROCHESTER, NEW YORK 14606  
 (585) 288-6120

FILE 21075-05-1

Front view.

11:35 [Facebook] [Shopping] [Profile] [Email] [Home] [Messages] [Messages] [Messages] [More] [Vibration] [Airplane] [4G LTE] [Signal] 100% [Battery]



side view.

11:35             100% 





View from Van Voorhis Rd.

Shed location - back woods - 344 feet from road.



view from our back yard. Shed location  
approximately 40' into woods.

# Zoning Board of Appeals Referral Form Information

**Property Address:**

36 Founders Green PITTSFORD, NY 14534

**Property Owner:**

Mary Sarkis  
36 Founders Grn  
Pittsford, NY 14534

**Applicant or Agent:**

Mary Sarkis  
36 Founders Grn  
Pittsford, NY 14534

**Present Zoning of Property:** RN Residential Neighborhood  
Area Variance - Residential and Non-Profit

<b>Town Code Requirement is:</b>		<b>Proposed Conditions:</b>		<b>Resulting in the Following Variance:</b>	
Right Lot Line:	0	Right Lot Line:	0	Right Lot Line:	0.0
Left Lot Line:	0	Left Lot Line:	0	Left Lot Line:	0.0
Front Setback:	0	Front Setback:	0	Front Setback:	0.0
Rear Setback:	0	Rear Setback:	0	Rear Setback:	0.0
Height:	0	Height:	0	Height:	0.0
Size:	0	Size:	0	Size:	0.0

**Code Section(s):** 185-113 B (3)

Description: Applicant is requesting relief from Town Code §185 – 113 B (3) to place a hot tub located forward of the rear wall of the home. Town Code requires accessory structures to be located behind the rear wall of the home.

July 02, 2019



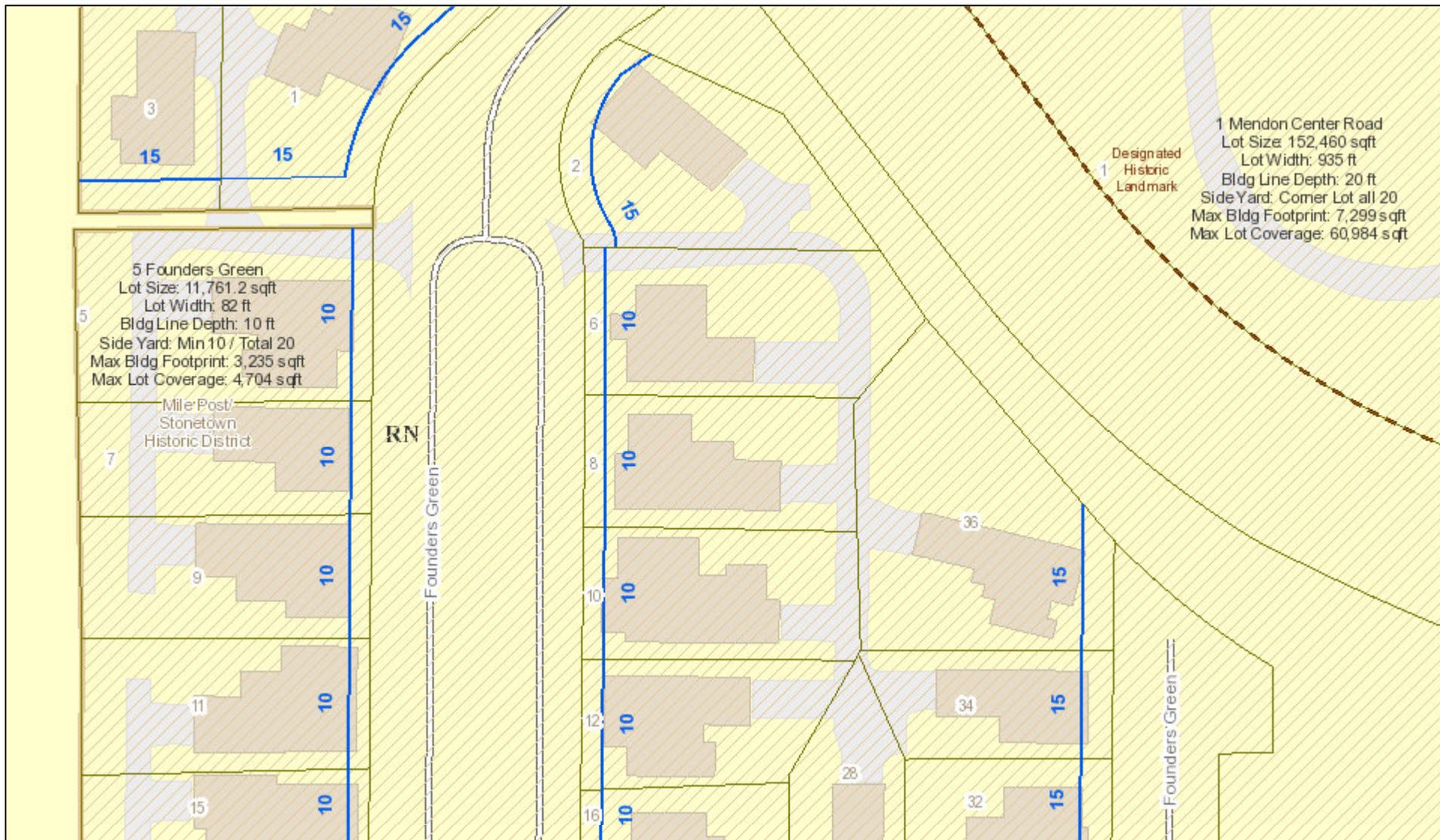
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Date

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Mark Lenzi - Building Inspector CEO

# RN Residential Neighborhood Zoning

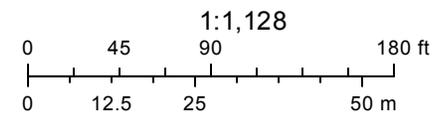


1 Mendon Center Road  
 Lot Size: 152,460 sqft  
 Lot Width: 935 ft  
 Bldg Line Depth: 20 ft  
 Side Yard: Corner Lot all 20  
 Max Bldg Footprint: 7,299 sqft  
 Max Lot Coverage: 60,984 sqft

5 Founders Green  
 Lot Size: 11,761.2 sqft  
 Lot Width: 82 ft  
 Bldg Line Depth: 10 ft  
 Side Yard: Min 10 / Total 20  
 Max Bldg Footprint: 3,235 sqft  
 Max Lot Coverage: 4,704 sqft

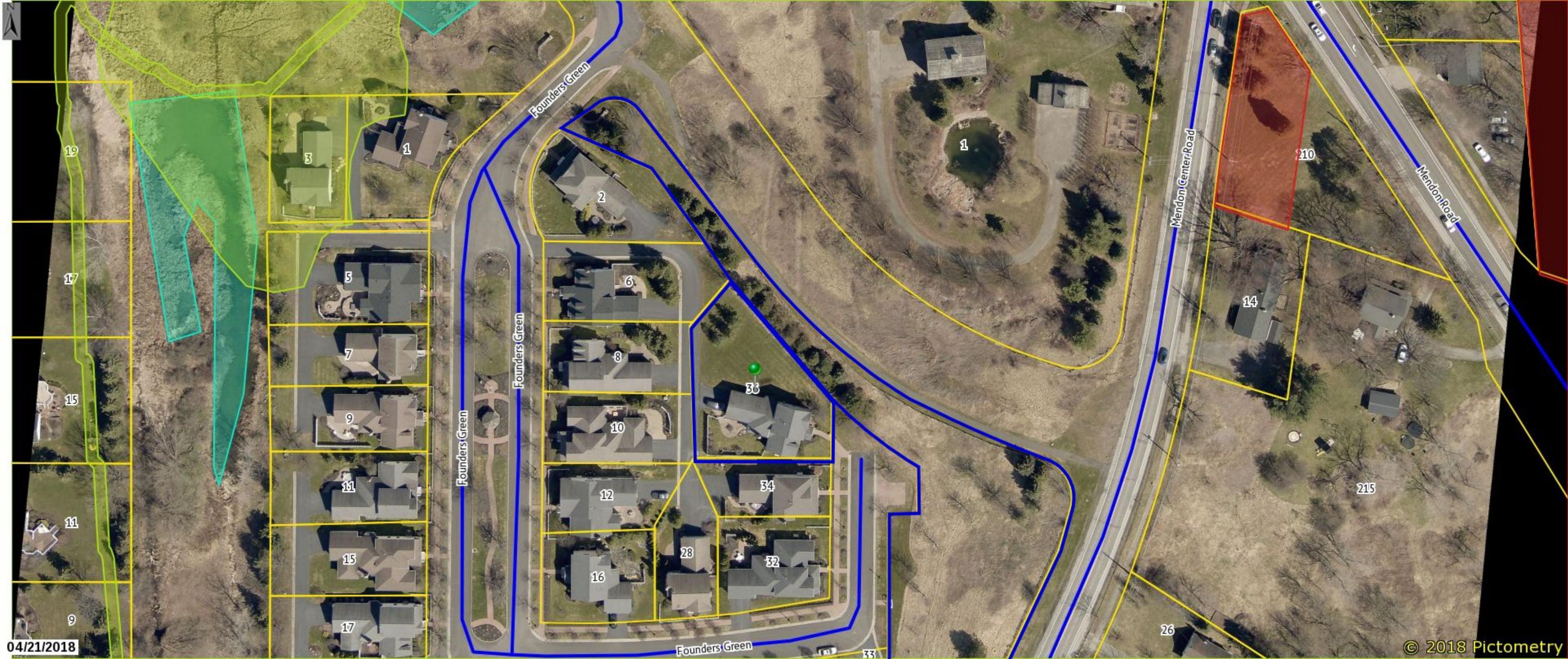
Mile Post/  
 Stonetown  
 Historic District

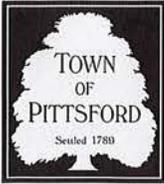
Printed July 2, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





# TOWN OF PITTSFORD ZONING BOARD OF APPEALS APPLICATION FOR AREA VARIANCE

Submission Date: \_\_\_\_\_ Hearing Date: 7/15/19

Applicant: Mary Sarkis

Address: 36 Founders Green

Phone: 585-678-7002 E-Mail: maryesarkis@gmail.com

Agent: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Property Owner: \_\_\_\_\_  
*(if different than Applicant)*

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_

**(If applicant is not the property owner please complete the Authorization to Make Application Form.)**

Property Location: \_\_\_\_\_ Current Zoning: RN

Tax Map Number: \_\_\_\_\_

Application For:  Residential  Commercial  Other

Please describe, in detail, the proposed project:

Patio, hot tub and enclosed fencing and landscaping on North <sup>rear</sup> side of house on the back side of garage. Fencing to be in accordance with neighborhood HOA as shown to match existing home and hamlet fencing. 6 ft privacy fence will enclose hot tub. Landscaping and trees, etc. to add privacy. Patio, fencing and landscaping to be done by Rochester Landscape Designs Inc.

**SWORN STATEMENT:** As applicant or legal agent for the above described property, I do hereby swear that all statements, descriptions, and signatures appearing on this form and all accompanying materials are true and accurate to the best of my knowledge.

Mary G. Sarkis  
*(Owner or Applicant Signature)*

6-13-2019  
*(Date)*



# NEW YORK STATE STANDARDS FOR THE GRANTING OF AREA VARIANCES TOWN LAW SECTION § 267-b-3(b).

## TESTS FOR GRANTING AREA VARIANCES

In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the board shall also consider the following:

*(Please answer the following questions to the best of your knowledge)*

1. Please explain why you feel the requested variance will not produce an undesirable change in the character of the neighborhood and why a detriment to nearby properties will not be created by the granting of this area variance:

We have taken careful steps to match proposed fencing to the existing fencing in the Stonetown Hamlet. There are several hot tubs in the Hamlet and this proposed hot tub will be very private and not visible from the main road or adjacent properties. The proposed site is on the rear north side of the property and there is not an adjoining property on that side of the home. It will be meticulously landscaped in keeping with the beauty of the neighborhood and all steps will be taken to minimize the noisiness of the site.

2. Please explain the reasons why the benefit sought by the owner/applicant cannot be achieved by some method other than an area variance:

The property is unique. The house lives front to back and is long, therefore placement of the patio in this case is the best choice. It is on the north side and there are no adjoining neighbors. On the south side there is a very small courtyard in the same placement on the home so to speak as the proposed patio/hot tub. It is very close to the next door neighbor and visible from an additional 4-6 neighbors. This would be the only other option and would impact the neighbors far more than placement on the North side.

## TESTS FOR GRANTING AREA VARIANCES (Continued)

3. Please explain whether the requested area variance is minimal or substantial:

I believe it's a little bit of both. The fencing is exactly what is currently in place in the Hamlet at many homes.

The patio and landscaping will enhance the north side of the house while being a substantial change to my property. The hot tub will not be visible to any of the neighbors or the road and the design ensures this, so I feel that is minimal.

4. Please explain why you feel the requested area variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or zoning district:

I feel that this patio/fence addition will enhance the property itself and will not adversely affect the neighborhood at all. In the proposed location, it will not be visible from the front of the home, it is not adjacent to any neighbors property and is not visible from the main road, as stated it will follow all HOA guidelines and be very private. There would be no detrimental environmental conditions, if anything the landscaping would add to that side of the home. We will follow all zoning and neighborhood guidelines and ensure a beautiful result.

- **NOTE:** Consideration of the following question shall be relevant to the decision of the Zoning Board of Appeals, but shall not necessarily preclude the granting of an area variance;

5. Is the alleged difficulty self-created?

Yes, it is self created. The lot is unusual as the house is long and sits at an angle on the lot. The north side of the house is protected by a hill and is not visible from the main road. There is a small courtyard area on the south side of the house but it is visible by the next door neighbor and multiple other neighbors to the west and south west. The north side of the home is not abutting any neighbors. There is a tree line to the NW rear of the property which also adds privacy from that side. This project would not be visible or have very little impact on the neighborhood. It seems a good choice for the placement of the patio and hot tub for those reasons.

# Disclosure Form E

STATE OF NEW YORK  
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

\_\_\_\_\_  
(Project Name)

The undersigned, being the applicant(s) to the...

Town Board     Zoning Board of Appeals     Planning Board     Architectural Review Board

...of the Town of Pittsford, for a...

change of zoning     special permit     building permit     permit     amendment  
 variance     approval of a plat     exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

NA

Mary E. Galis

(Signature of Applicant)

36 Founders Green

(Street Address)

Pittsford, N.Y. 14534

(City/Town, State, Zip Code)

6-13-2019

(Dated)



# NEW YORK STATE

## GENERAL MUNICIPAL LAW SECTION § 809

1. Every application, petition or request submitted for a variance, amendment, change of zoning, approval of a plat, exemption from a plat or official map, license or permit, pursuant to the provisions of any ordinance, local law, rule or regulation constituting the zoning and planning regulations of a municipality shall state the name, residence and the nature and extent of the interest of any state officer or any officer or employee of such municipality or of a municipality of which such municipality is a part, in the person, partnership or association making such application, petition or request (hereinafter called the applicant) to the extent known to such applicant.
2. For the purpose of this section an officer or employee shall be deemed to have an interest in the applicant when he, his spouse or their brothers, sisters, parents, children, grandchildren or the spouse of any of them...
  - a. is the applicant, or
  - b. is an officer, director, partner or employee of the applicant, or
  - c. legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association applicant, or
  - d. is a party to an agreement with such an applicant, express or implied, whereby he may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application, petition or request.
3. Ownership of less than five percent of the stock of a corporation whose stock is listed on the New York or American Stock Exchanges shall not constitute an interest for the purposes of this section.
4. A person who knowingly and intentionally violates this section shall be guilty of a misdemeanor.

Section eight hundred six of the General Municipal Law added by this act, shall apply only to application, petitions or requests as described therein which are submitted on or after the effective date of this act.

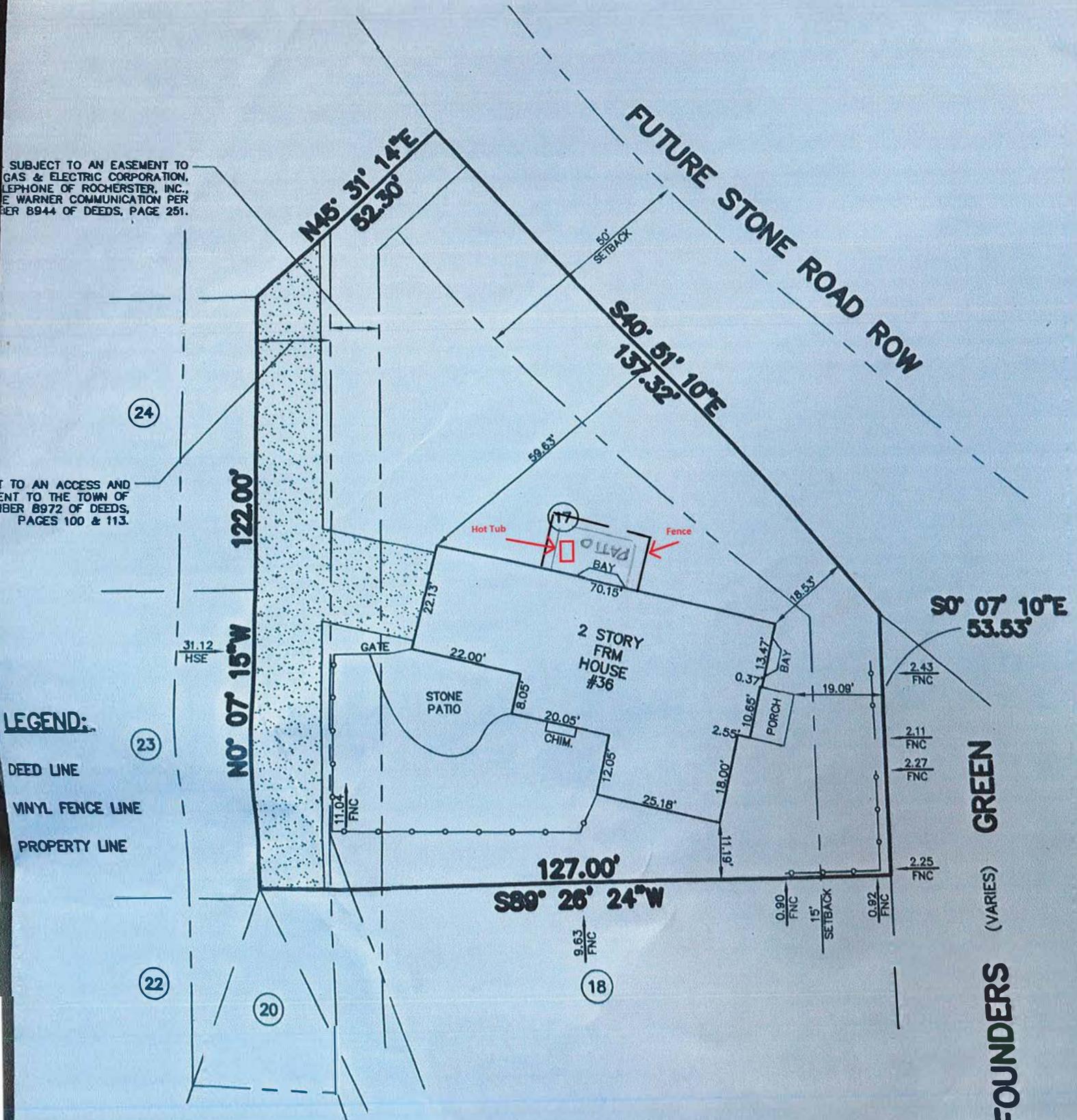
This act shall take effect September 1, 1969.

SUBJECT TO AN EASEMENT TO  
 GAS & ELECTRIC CORPORATION,  
 TELEPHONE OF ROCHESTER, INC.,  
 RE WARNER COMMUNICATION PER  
 DEED B944 OF DEEDS, PAGE 251.

RIGHT TO AN ACCESS AND  
 EASEMENT TO THE TOWN OF  
 ROCHESTER, DEED LIBER 8972 OF DEEDS,  
 PAGES 100 & 113.

**LEGEND:**

- DEED LINE
- VINYL FENCE LINE
- PROPERTY LINE



FOUNDERS (VARIES) GREEN





