

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000007

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 14 Landsdowne Lane ROCHESTER, NY 14618

Tax ID Number: 151.11-1-6.12

Zoning District: RN Residential Neighborhood

Owner: Daniel Wilmot

Applicant: Daniel Wilmot

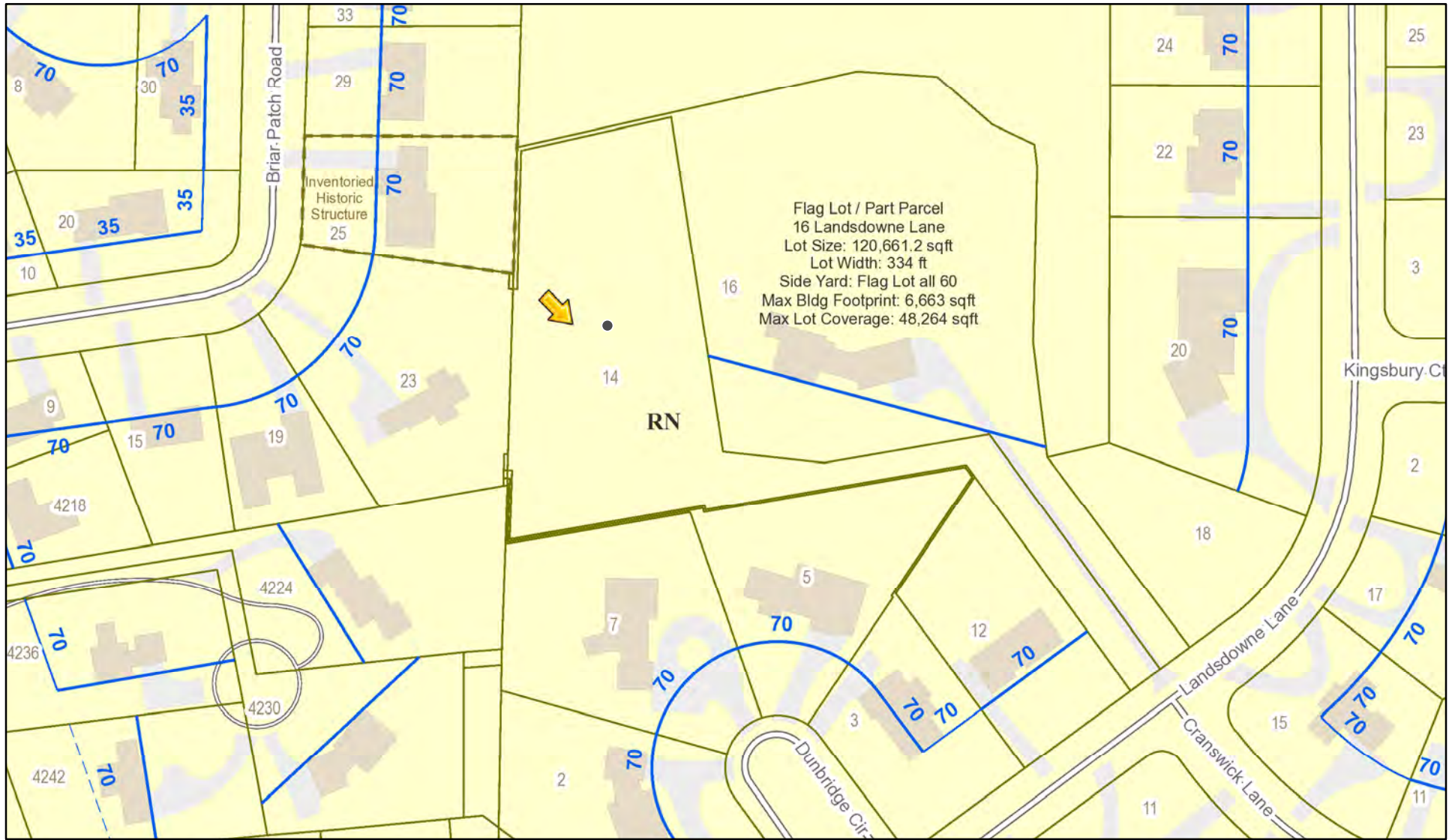
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

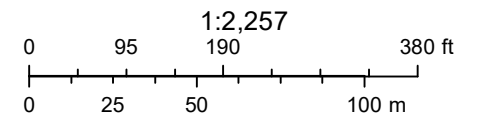
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 4504 square feet.

Meeting Date: January 27, 2022

RN Residential Neighborhood Zoning



Printed January 20, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Wilmot Residence
14 Landsdowne Lane
Pittsford, NY

Front Elevation



James Fahy Design Associates
Architecture & Engineering P.C.
Rochester, NY

WILMOT RESIDENCE

14 LANDSDOWNE LANE
PITTSFORD, NEW YORK



CLIENT:

DAN & MEREDITH WILMOT

ARCHITECT:

JAMES FAHY DESIGN ASSOCIATES
ARCHITECTURE & ENGINEERING P.C.
2024 W. HENRIETTA RD. SUITE 3K
ROCHESTER, NY 14623
TEL. (585) 272-1650
E-MAIL: info@jamesfahy.com
WEBSITE: www.jamesfahy.com

CIVIL ENGINEER:

PARRONE ENGINEERING
349 WEST COMMERCIAL ST. SUITE 3200
EAST ROCHESTER, NY 14445
TEL. (585) 586-0200
E-MAIL: www.parroneeng.com

CONTRACTOR:

BOWERING HOMES, INC.
1303 MARSH RD.
PITTSFORD, NY 14534
TEL. (585) 381-3376
WEBSITE: www.boweringhomes.com

KITCHEN & BATH DESIGNER:

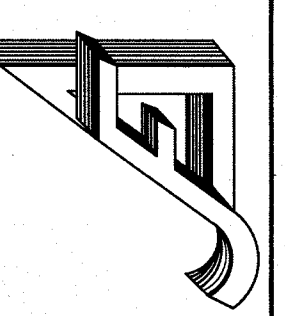
CUSTOM KITCHENS BY MARTIN & CO. INC.
1368 PITTSFORD MENDON RD.
MENDON, NY 14506
TEL. (585) 624-1880
WEBSITE: www.customkitchensbymartin.com

DRAWING INDEX:

ARCHITECTURAL:

- T1.0 TITLE SHEET
- A1.0 SOUTH & EAST ELEVATIONS
- A1.1 NORTH & WEST ELEVATIONS
- A2.0 FINISHED LOWER LEVEL PLAN
- A3.0 FIRST FLOOR PLAN
- A4.0 SECOND FLOOR PLAN
- A5.0 ROOF PLAN & TYPICAL WALL SECTION

James Fahy Design Associates
Architecture & Engineering P.C.
2024 W. Henrietta Rd. Suite 3K
Rochester, NY 14623
Tel: (585) 272-1650
E-mail: info@jamesfahy.com
Website: www.jamesfahy.com



WILMOT RESIDENCE
14 LANDSDOWNE LANE
PITTSFORD, NEW YORK
DAN & MEREDITH WILMOT

PROJECT: CLIENT:

REVISIONS	NO.	DATE

JOB NO.
A21-085

PROJECT NO.
15-2992-3

PHASE:
PRELIMINARY

DATE:
8-27-2021

DRAWING NO.
T1.0

- ELEVATION SPECIFICATION NOTES:**
- 3.0 CONCRETE**
 3.1 CAST-IN-PLACE CONCRETE FOUNDATION & FOOTING
- 4.0 MASONRY**
 4.1 TRIM-CUT QUARRIED STONE VENEER, CHAMPLAIN STONE, LTD. OR EQUAL STYLE & COLOR (T.D.D.)
 4.2 PRECAST STONE CAP
 4.3 BLUESTONE FLOOR
 4.4 STONE SILL
 4.5 STONE MANTLE
- 5.0 METALS**
 5.1 22 GA. STANDING SEAM METAL ROOF
 5.2 6" ALUMINUM K' GUTTER WITH 3"x4" DOWNSPOUTS; FINAL LOCATION BY CONTRACTOR IN FIELD.
- 6.0 WOOD, PLASTICS & COMPOSITES**
 6.1 1 1/2" x 2" x 12' W. TIMBER BEAM
 6.2 5/4" x 6" AZEK FASCIA
 6.3 1" x 2" AZEK ON 5/4" x 6" AZEK RAKE
 6.4 1" x 6" AZEK
 6.5 1" x 6" AZEK
 6.6 1" x 4" AZEK
 6.7 DECORATIVE AZEK RAILING
 6.8 4" W. x 26" H. x 24" D. TIMBER BRACKET
 6.9 1 3/4" SQ. FIN. DOUGLAS FIR WRAPPED POST
 6.10 1 1" SQ. TIMBER POST
 6.11 HARDIE-PANEL SIERRA & VERTICAL SIDING
 6.12 1/2" COMPPOSITE DECKING
 6.13 1/4 x ON 1 x 10 AZEK SKIRT BD.
 6.14 1/4" AZEK CORNER BOARD
 6.15 1 0" H. x 1 1/4" W. DOUGLAS FIR WRAPPED BOX BEAM
 6.16 4" W. x 4" DP. TIMBER BRACKET
- 7.0 THERMAL & MOISTURE PROTECTION**
 7.1 RIDGE VENTS
 7.2 GAF OR EQ. ASPHALT ROOF SHINGLES
 7.3 HARDIE VERTICAL BOARD & BATTEN SIDING
- 8.0 OPENINGS**
 8.1 ANDERSEN 100-SERIES SINGLE-HUNG WINDOWS
 8.2 ANDERSEN 100-SERIES TRANSOM WINDOW
 8.3 ANDERSEN 100-SERIES 8/0 x 8/0 GLIDING PATIO DOOR
 8.4 ANDERSEN 240 x 8/0 GLIDING PATIO DOORS
 8.5 ANDERSEN 100-SERIES CASEMENT WINDOW
 8.6 THERMA-TRU DOOR, CLASSIC - CRAFT CANVAS COLLECTION AS SELECTED, SIZE PER PLAN
 8.7 WAYNE DALTON OR EQ. 9/0 x 8/0 INSULATED WOOD-FACED CARRIAGE STYLE OVERHEAD GARAGE DOORS WITH WINDOWS
 8.8 CUSTOM SOLID WOOD ENTRY DOOR WITH SIDELIGHTS; SPECIES & MFR. TO BE DETERMINED
 8.9 ANDERSEN 3 COURSE SASH
 ALL ANDERSEN DOORS & WINDOWS W/ DOUBLE PANE, LOW-E GLASS & BETWEEN-THE-GLASS GRILLES AS SHOWN; BLACK EXTERIOR
- 10.0 SPECIALTIES**
 10.1 TRANIGM RETRACTABLE SCREEN
 10.2 CABLE RAIL BY YEENEY; 36" MIN. HT.
 10.3 OUTDOOR RATED ZERO CLEARANCE WOOD BURNING FIREPLACE
- 26.0 ELECTRICAL**
 26.1 PROVIDE WALL OR CEILING MOUNTED LIGHTING AT ENTRY DOORS AND OVERHEAD GARAGE DOOR LOCATIONS; LIGHT FIXTURES TO BE WHITE AND AS SELECTED
- 31.0 EARTHWORK**
 31.1 GRADE VARIES (REFER TO SITE ENGINEER'S GRADING PLAN)

REVISIONS:

NO.	DATE	BY	DESCRIPTION

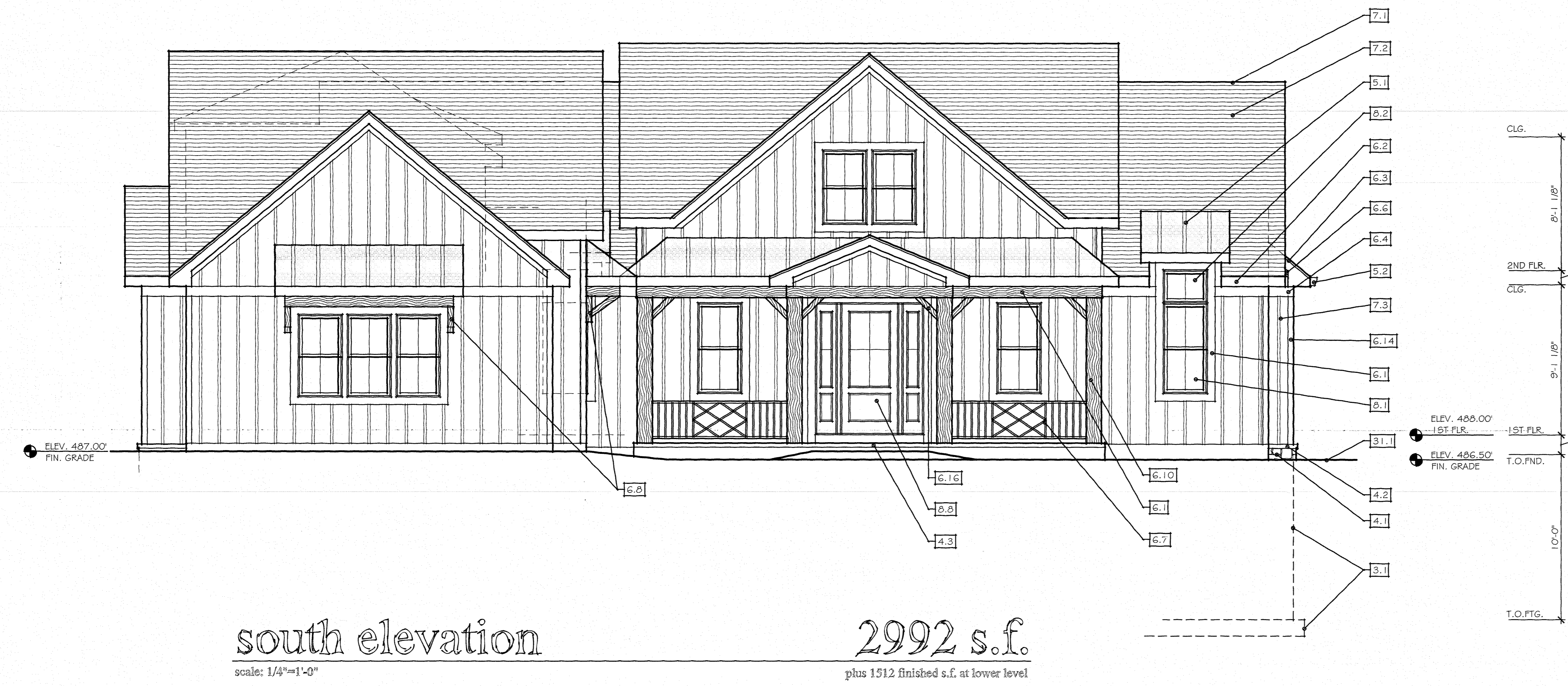
PROJECT:
 WILMOT RESIDENCE
 14 LANDSDOWNE LANE
 PITTSFORD, NEW YORK

CLIENT:
 DAN & MEREDITH WILMOT

DRAWING TITLE:
 SOUTH & EAST ELEVATIONS

PHASE:
 PRELIMINARY

JOB NO. A21-085	PROJECT NO. 15-2992-3
DRAWN BY: CNS	DRAWING NO: A1.0
CHECKED BY: JRF	DATE: 8-27-2021



south elevation
 scale: 1/4"=1'-0"

2992 s.f.
 plus 1512 finished s.f. at lower level



east elevation
 scale: 1/4"=1'-0"

NO.	DATE	BY	DESCRIPTION

PROJECT:
WILMOT RESIDENCE
 14 LANDSDOWNE LANE
 PITTSFORD, NEW YORK

CLIENT:
DAN & MEREDITH WILMOT

DRAWING TITLE:
NORTH & WEST ELEVATIONS

PHASE:
PRELIMINARY

JOB NO. A21-085	PROJECT NO. 15-2992-3
DRAWN BY: CNS	DRAWING NO. A1.1
CHECKED BY: JRF	
DATE: 8-27-2021	

ELEVATION SPECIFICATION NOTES:

3.0 CONCRETE
 3.1 CAST-IN-PLACE CONCRETE FOUNDATION & FOOTING

4.0 MASONRY
 4.1 TRIM-CUT QUARRIED STONE VENEER, 'CHAMPLAIN STONE, LTD' OR EQUAL (STYLE & COLOR T.B.D.)
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 6.9 1.3" SQ. FIN. DOUGLAS FIR WRAPPED POST
 6.10 1 1/2" SQ. TIMBER POST
 6.11 HARDIE PANEL SIERRA 8 VERTICAL SIDING
 6.12 T&G COMPOSITE DECKING
 6.13 1x4 ON 1x10 AZEK SKIRT BD.
 6.14 1x4 AZEK CORNER BOARD
 6.15 10" H. x 14" W. DOUGLAS FIR WRAPPED BOX BEAM
 6.16 4" W. x 4" DP. TIMBER BRACKET

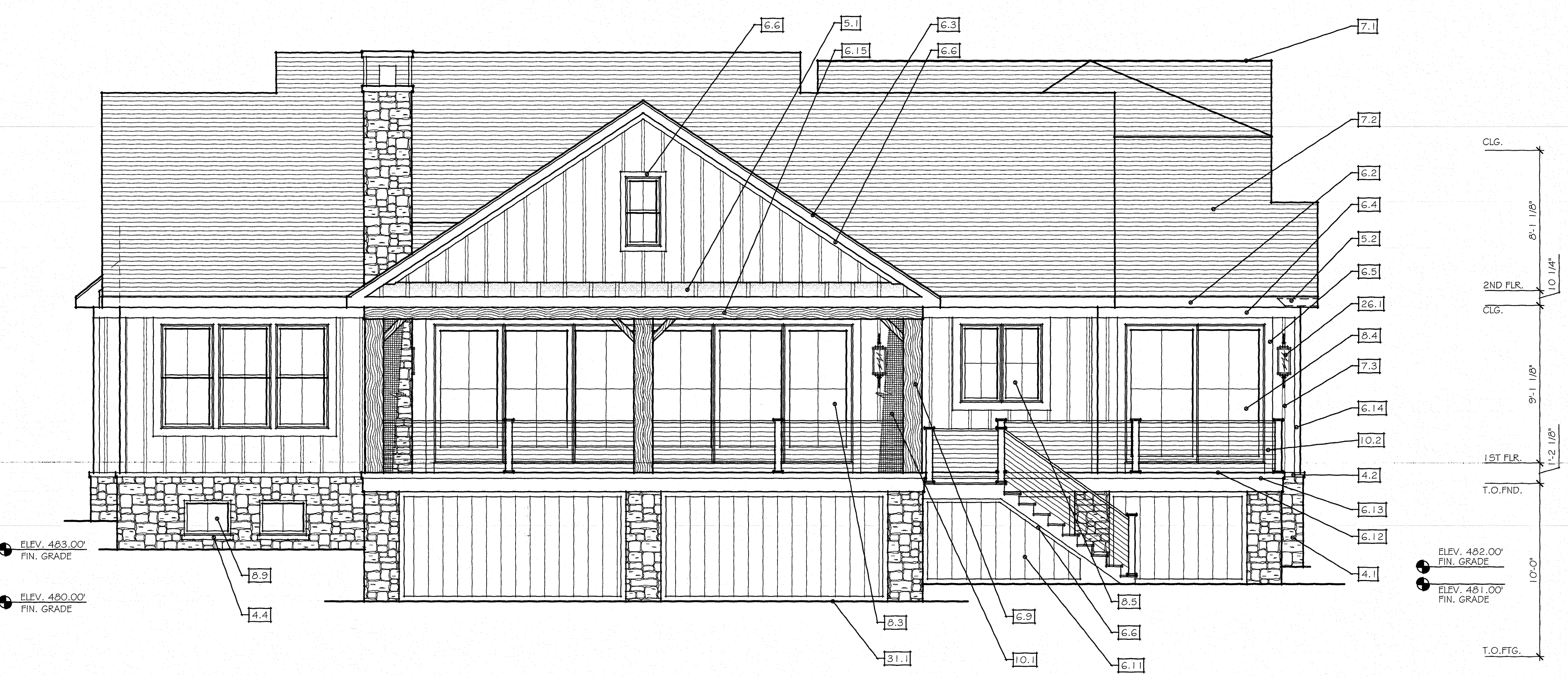
7.0 THERMAL & MOISTURE PROTECTION
 7.1 RIDGE VENTS
 7.2 GAF OR EQ. ASPHALT ROOF SHINGLES
 7.3 HARDIE VERTICAL BOARD & BATTEN SIDING

8.0 OPENINGS
 8.1 ANDERSEN 100-SERIES SINGLE-HUNG WINDOWS
 8.2 ANDERSEN 100-SERIES TRANSOM WINDOW
 8.3 ANDERSEN 100-SERIES 80" x 80" GLIDING PATIO DOOR
 8.4 ANDERSEN 240" x 80" GLIDING PATIO DOORS
 8.5 ANDERSEN 100-SERIES CASEMENT WINDOW
 8.6 THERMA-TRU DOOR, CLASSIC - CRAFT CANVAS COLLECTION AS SELECTED; SIZE PER PLAN
 8.7 WAYNE DALTON OR EQ. 80" x 80" INSULATED WOOD-FACED CARRIAGE STYLE OVERHEAD GARAGE DOORS WITH WINDOWS
 8.8 CUSTOM SOLID WOOD ENTRY DOOR WITH SIDELIGHTS; SPECIES & MFR. TO BE DETERMINED
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 26.1 PROVIDE WALL OR CEILING MOUNTED LIGHTING AT ENTRY DOORS AND OVERHEAD GARAGE DOOR LOCATIONS. LIGHT FIXTURES TO BE WHITE AND AS SELECTED

31.0 EARTHWORK
 31.1 GRADE VARIES (REFER TO SITE ENGINEER'S GRADING PLAN)



north elevation
 scale: 1/4"=1'-0"



west elevation
 scale: 1/4"=1'-0"

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REVISIONS:

NO.	DATE	BY	DESCRIPTION

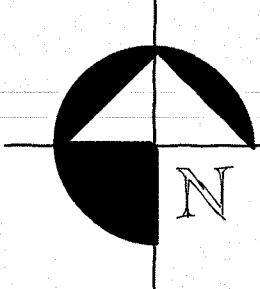
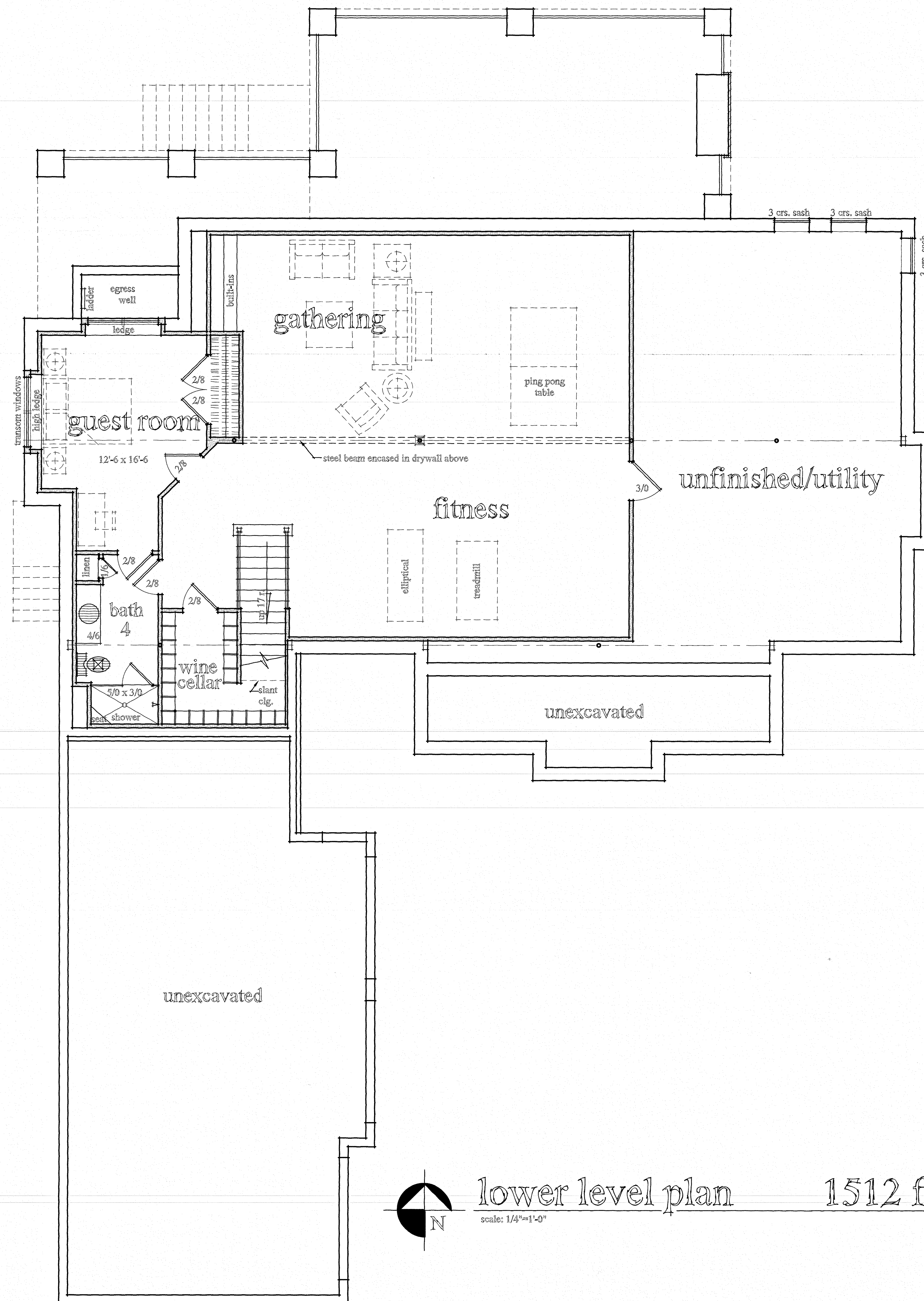
PROJECT:
 WILMOT RESIDENCE
 14 LANDSDOWNE LANE
 PITTSFORD, NEW YORK

CLIENT:
 DAN & MEREDITH WILMOT

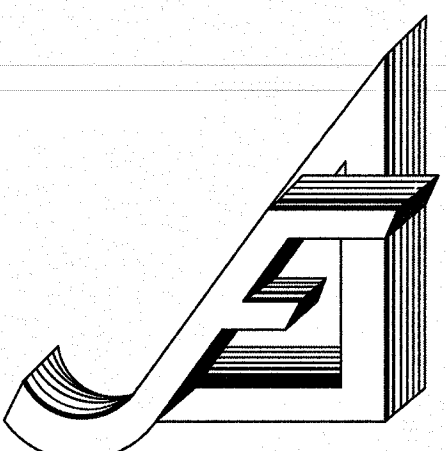
DRAWING TITLE:
 LOWER LEVEL PLAN

PHASE:
 PRELIMINARY

JOB NO. A21-085	PROJECT NO. 15-2992-3
DRAWN BY: CNS	DRAWING NO. A2.0
CHECKED BY: JRF	
DATE: 8-27-2021	



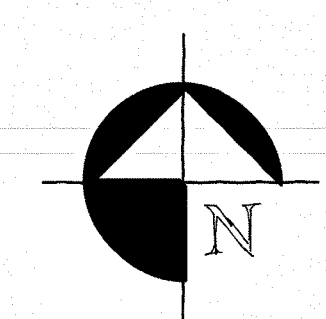
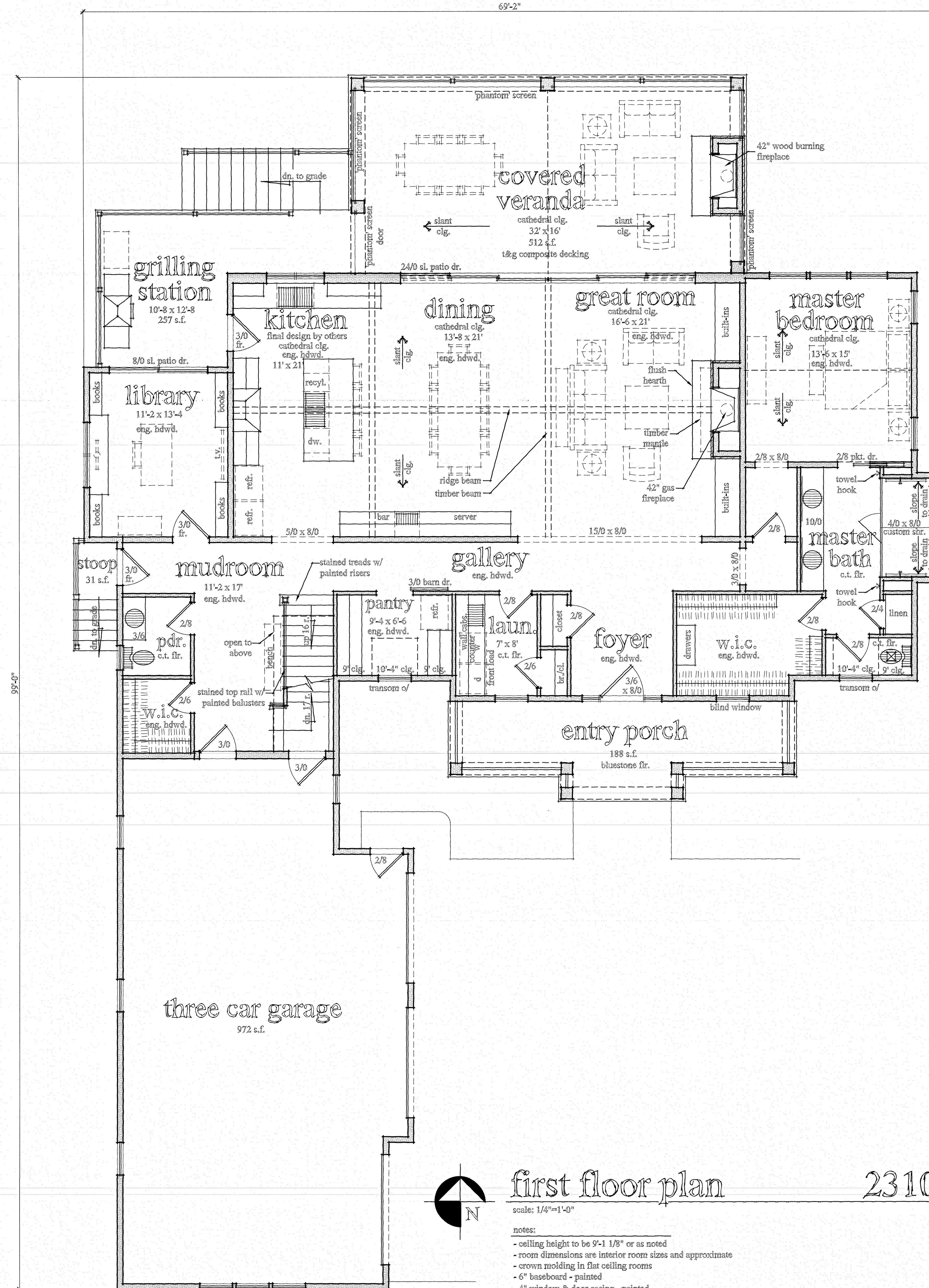
lower level plan 1512 finished s.f.
 scale: 1/4"=1'-0"



James Fahy Design
 2024 W. Hennetta Rd, Suite 3K
 Rochester, New York 14623
 tel: 585-272-1650
 e-mail: info@jamesfahy.com
 website: www.jamesfahy.com

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first floor plan 2310 s.f.

scale: 1/4"=1'-0"

- notes:
- ceiling height to be 9'-1 1/8" or as noted
 - room dimensions are interior room sizes and approximate
 - crown molding in flat ceiling rooms
 - 6" baseboard - painted
 - 4" window & door casing - painted
 - 1 3/4" x 7' ht. solid core masonite interior doors
 - 'tertek' lever style hardware

NO.	DATE	BY	DESCRIPTION

PROJECT:
 WILMOT RESIDENCE
 14 LANDSDOWNE LANE
 PITTSFORD, NEW YORK

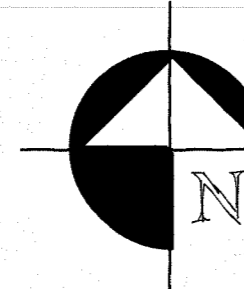
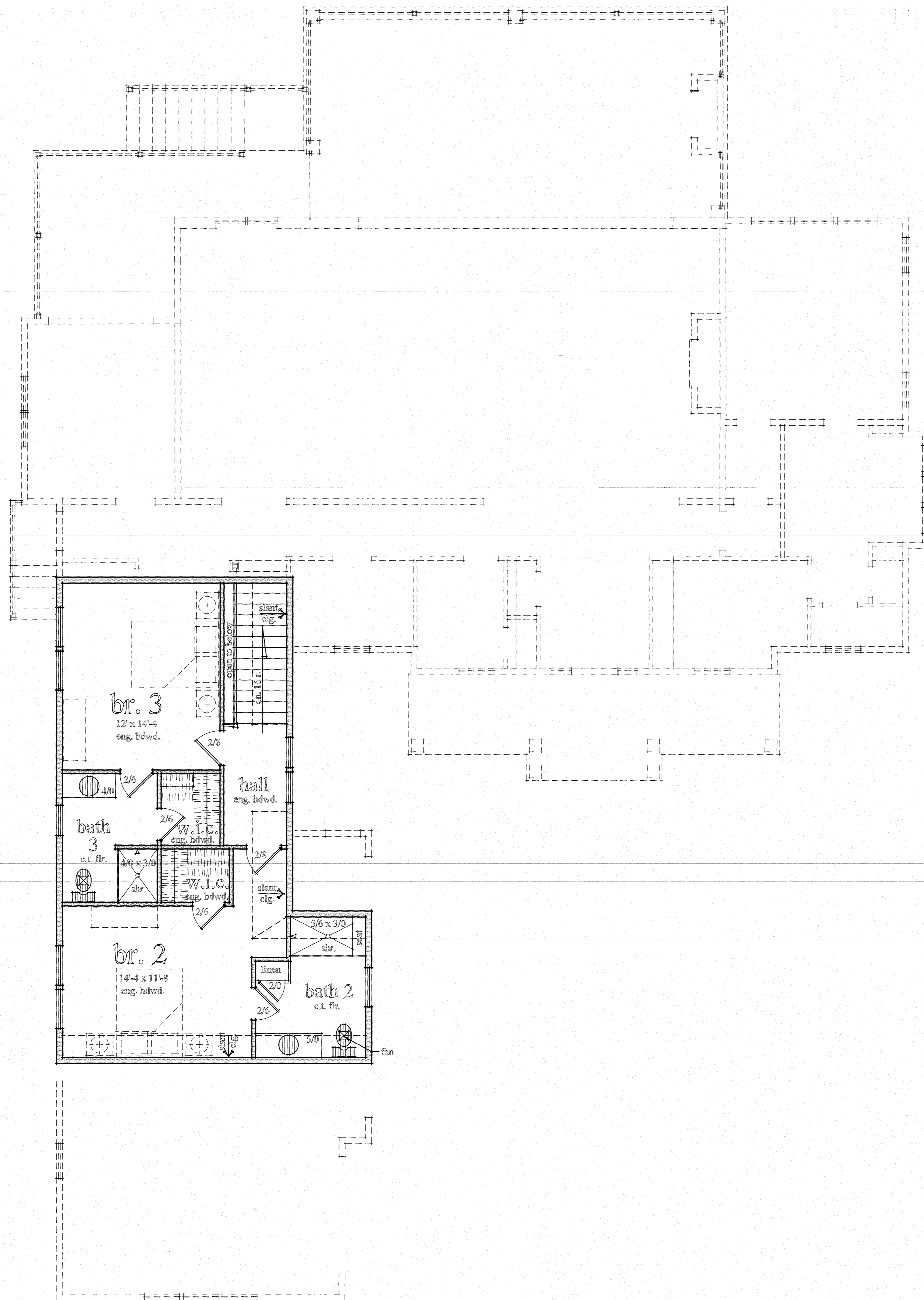
CLIENT:
 DAN & MEREDITH WILMOT

DRAWING TITLE:
 FIRST FLOOR PLAN

PHASE:
 PRELIMINARY

JOB NO. A21-085	PROJECT NO. 15-2992-3
DRAWN BY: CNS	DRAWING NO. A3.0
CHECKED BY: JRF	DATE: 8-27-2021

James Fahy Design
 2024 W. Hennetta Rd. Suite 3K
 Rochester, New York 14623
 tel: 585-272-1650
 e-mail: info@jamesfahy.com
 website: www.jamesfahy.com



second floor plan 682 s.f.

scale: 1/4"=1'-0"

- notes:
- ceiling height to be 8'-1 1/8" or as noted
 - room dimensions are interior room sizes and approximate
 - crown molding in flat ceiling rooms
 - 6" baseboard - painted
 - 4" window & door casing - painted
 - 1 3/4" x 7 ft. solid core masonite interior doors
 - 'emtek' lever style hardware

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REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
 WILMOT RESIDENCE
 14 LANDSDOWNE LANE
 PITTSFORD, NEW YORK

CLIENT:
 DAN & MEREDITH WILMOT

DRAWING TITLE:
 SECOND FLOOR PLAN

PHASE:
 PRELIMINARY

JOB NO. A21-085	PROJECT NO. 15-2992-3
DRAWN BY: CNS	DRAWING NO.
CHECKED BY: JRF	A4.0
DATE: 8-27-2021	

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 2024 W. Henrietta Rd, Suite 3K
 Rochester, New York 14623
 tel: 585-272-1650
 e-mail: info@jamesfahy.com
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NO.	DATE	BY	DESCRIPTION

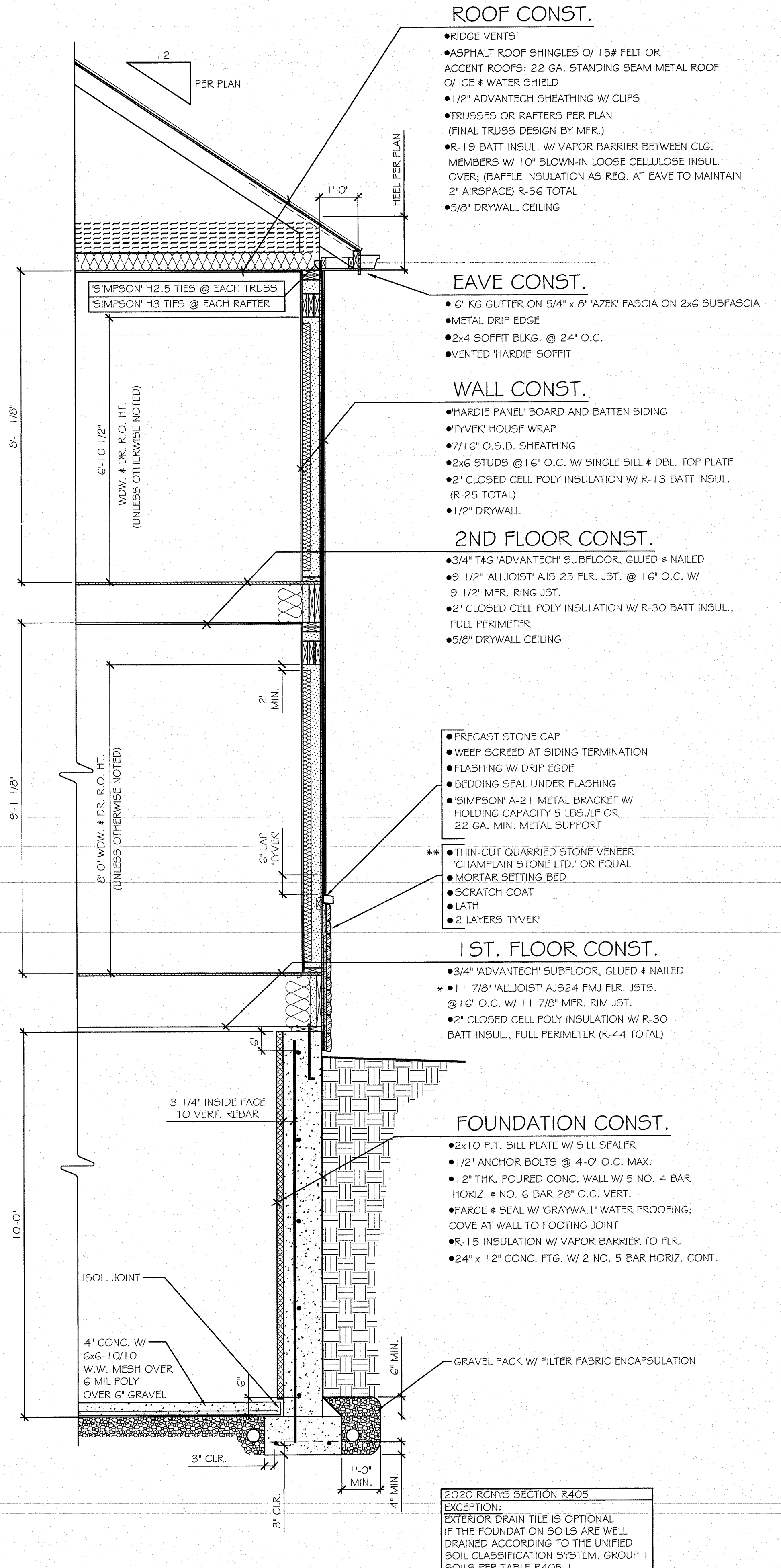
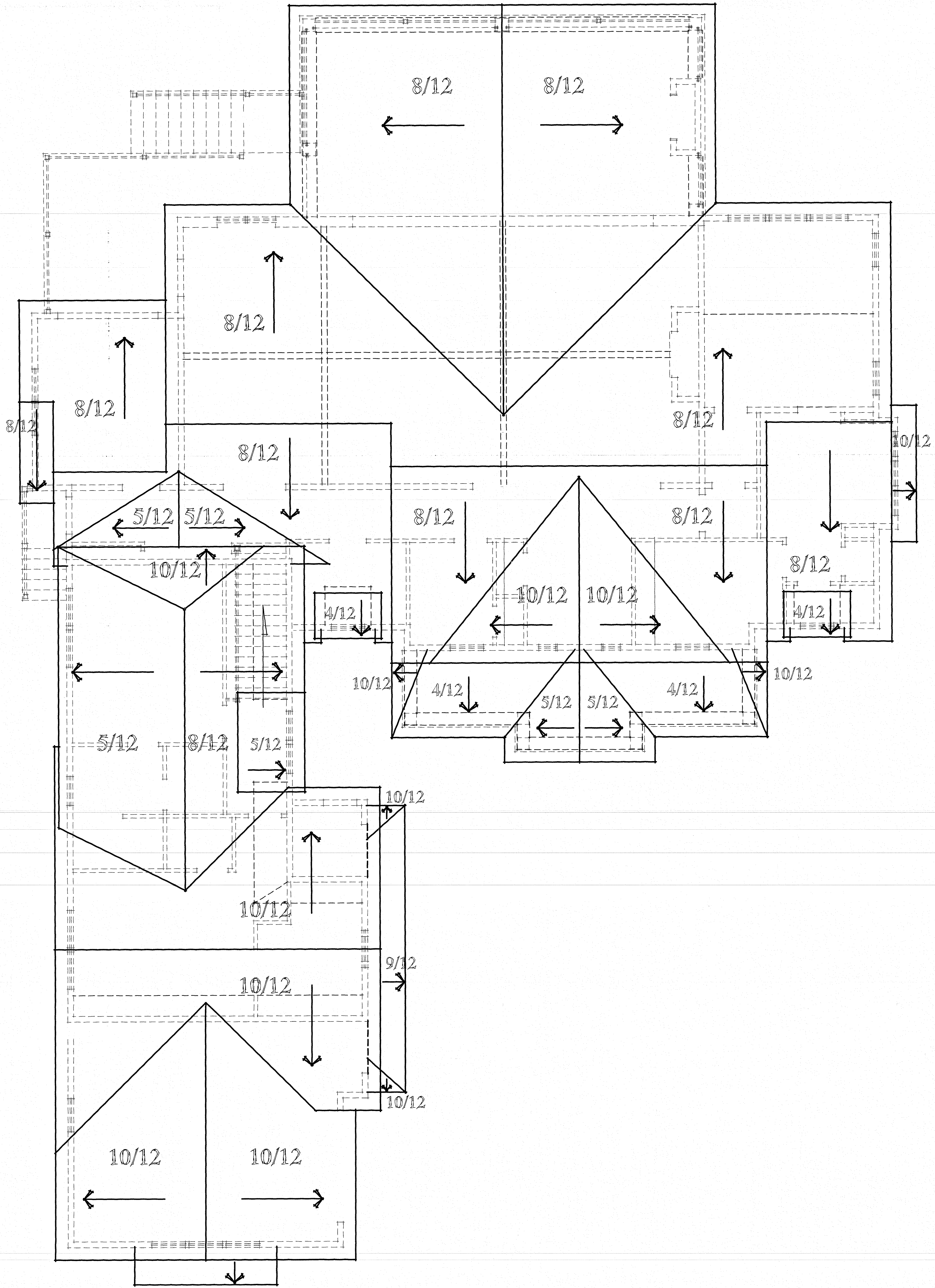
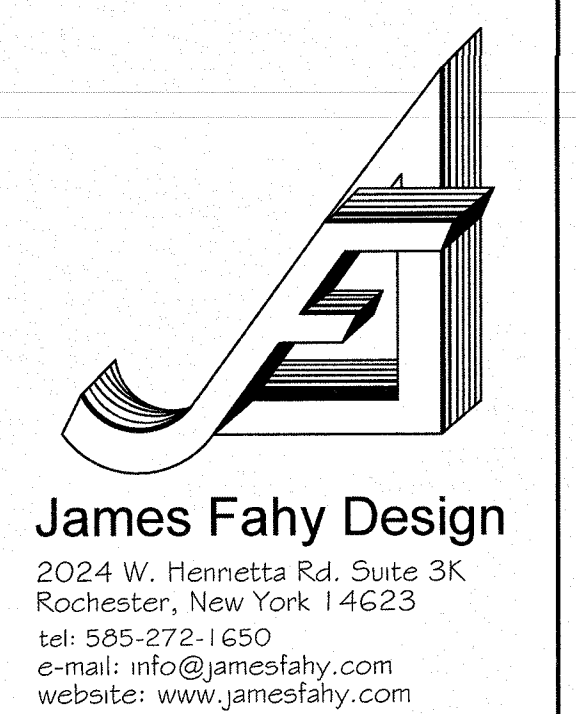
PROJECT:
WILMOT RESIDENCE
14 LANDSDOWNE LANE
PITTSFORD, NEW YORK

CLIENT:
DAN & MEREDITH WILMOT

DRAWING TITLE:
ROOF PLAN & TYPICAL WALL
SECTION

PHASE:
PRELIMINARY

JOB NO. A21-085	PROJECT NO. 15-2992-3
DRAWN BY: CNS	DRAWING NO: A5.0
CHECKED BY: JRF	DATE: 6-27-2021



1 WALL SECTION W/ TYPICAL NOTES
SCALE: 1/2" = 1'-0" AT 2 STORY AREAS

- FLOOR SYSTEM MEETS THE REQUIREMENTS PER 2020 RCNS SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.
- HOLD STONE VENEER ADV. FINISHED GRADE PER STONE SUPPLIERS RECOMMENDATION.

