Design Review & Historic Preservation Board Agenda September 24, 2020

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

2 Harwood Lane

The Applicant is returning to request design review for the construction of a new single-family one story home. The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.

66 Ellingwood Drive

The Applicant is returning to request design review for a garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.

RESIDENTIAL APPLICATION FOR REVIEW

3 Skytop Lane

The Applicant is requesting design review for the living room and three-season room additions. Both additions will be to the rear of the home with the living room addition being approximately 484 square feet and the three-season room will be 120 square feet.

35 Trowbridge Trail

The Applicant is requesting design review for the addition of a three-season room. The room will be approximately 160 square feet and will be located to the rear of the home.

11 Random Woods

The Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 144 square feet and will be located to the rear of the property.

• 319 East Street

The Applicant is requesting design review for the addition of a dormer. The dormer will be located on the northeast corner of the home and will match the existing dormer on the southeast corner.

RESIDENTIAL APPLICATION FOR REVIEW - NEW

20 Lexton Way

The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2199 square feet and will be located in the Wilshire Hills Subdivision.

COMMERCIAL APPLICATION FOR REVIEW

• 3077 Monroe Avenue

The Applicant is requesting design review for the proposed placement of a business identification sign for Tire Choice. The size and location has been approved by the Planning Board on 9/14/2020.

OTHER - REVIEW OF 9/10/2020 MINUTES

DRHPB Meeting Agenda September 24, 2020 Page 2 of 2

How to view the meeting:

1. Zoom

- In your web browser, go to https://townofpittsford.zoom.us/j/89334684321?pwd=emtVQzZ5Qit4R0RDZ2M0TkdENkJPQT09
- You will be connected to the meeting.

2. Telephone

• You can access the meeting by phone. Use any of the phone numbers below, then enter the meeting ID when prompted. The Meeting ID is 893 3468 4321. No password is necessary.

(929) 205-6099	(312) 626-6799
(253) 215-8782	(301) 715-8592
(346) 248-7799	(669) 900-6833

Draft

Design Review and Historic Preservation Board Minutes September 10, 2020

PRESENT

Dirk Schneider, Chairman; Paul Whitbeck, Bonnie Salem, John Mitchell, Leticia Fornataro, Kathleen Cristman

ALSO PRESENT

Robert Koegel, Town Attorney; Mark Lenzi, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

David Wigg

Proceedings of a regular meeting of the Pittsford Design Review and Historic Preservation Board were held on Thursday, September 10 at 6:00 P.M. local time. The meeting took place with Board members and applicants participating remotely using Zoom.

Chairman Dirk Schneider opened the meeting at 6:00 pm.

HISTORIC PRESERVATION DISCUSSION

The Board discussed the reception for inventoried homeowners that was proposed to be held in the fall of 2020. Bonnie Salem and Dirk Schneider expressed that a better idea would be to wait until the spring of 2021 tentatively during May which is Historic Preservation Month. The Board discussed brainstorming some ideas for engaging homeowners during this time of partial shutdown. Paul Whitbeck suggested notifying the invited speaker Wayne Goodman of this change and soliciting any ideas from him. Bonnie Salem indicated the application for the designation of 25 Briar Patch Road is temporarily delayed but will be submitted.

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

76 Knollwood Drive

The Applicant is returning for design review for the additions to an existing garage. The additions will be located on the front and side of the garage and will be a total of approximately 248 square feet.

The homeowner, Sara Odenbach, was present to discuss the application with the Board. She provided additional information on the materials and the garage doors. The Board received dimensions with this submission.

There were no further questions from the Board.

Leticia Fornataro moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

55 N. Country Club Drive

The Applicant is returning for design review for the addition of a single car garage with storage. The addition will be approximately 336 square feet with storage space above and the addition of three dormers.

Aaron Wolfe, the contractor, was present.

He indicated the entire house would be re-sided in a new color. The peaks will align. Dirk Schneider and Paul Whitbeck indicated they appreciated the small dormers.

Dirk Schneider suggested an optional dormer in the back of the structure.

Paul Whitbeck moved to accept the application as submitted.

Dirk Schneider seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW

66 Ellingwood Drive

The Applicant is requesting design review for the garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.

No representative was present for this application.

The Board as a whole had many questions which they felt were unanswered by the submission. They did not feel they could approve the application without further information.

Robert Koegel suggested that the Board list their concerns and detail what they needed to see to make a determination on this application.

Leticia Fornataro spoke on behalf of the Board and listed the following:

- 1. More information is needed on the dimensions on the renderings.
- 2. More information is needed on the materials to be used.
- 3. Information needs to be provided on the finishes.

Dirk Schneider indicated that this application is to be held over so that more information may be provided by the Applicant.

25 Hawkstone Way

The Applicant is requesting design review for the addition of a covered porch. The porch will be approximately 210 square feet and will be located to the rear of the home.

The homeowner, Kellie Anderson, was present.

She discussed the project with the Board as a covered deck with a patio to the left and a patio and fire pit to the right. The Hardi board skirting will be painted to match the house. The railings and spindles will be metal. The decking will be composite.

John Mitchell moved to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW - NEW

42 Coventry Ridge

The Applicant is requesting design review for the construction of a two story single family home. The home will have 1581 square feet on the first floor and 1589 square feet on the second floor. The home will be located in the Coventry Ridge Subdivision.

Jim Connaughton was present representing Coventry Ridge Building Corporation. He discussed that this home is following the current trend of utilizing board and batten for materials.

Dirk Schneider and John Mitchell agreed that this design looks good and is not an overuse of the material.

Mr. Connaughton discussed that the three shed roofs will be black metal roof and the overall roof will be black asphalt. A pedestrian door will be the same color as the garage doors with taller trim to match the garage.

Bonnie Salem moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

9 Rockdale Meadows

The Applicant is requesting design review for the proposed construction of a 2224 Sq. Ft. one-story home.

Jim Connaughton of Rockdale Meadows Corporation was present to discuss the application with the Board. He indicated this is a patio home.

The Board had no questions regarding this application.

Kathleen Cristman moved to accept the application as submitted.

Leticia Fornataro seconded.

All Ayes.

2 Harwood Lane

The Applicant is requesting design review for the construction of a new single family one story home. The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.

The homeowner, Vicki Argento, and architect, Al Arilotta, were present to discuss the application with the Board.

Paul Whitbeck disclosed that he is acquainted with Ms. Argento.

The home will be set back from Route 31F as the same level as the home at 200 Fairport Road. The garage will be angled towards the corner of Route 31F and Harwood Lane. There will be a front porch and a private porch on the rear of the home. There will be the removal of some of the wooded area for a future pool. There will be two false chimneys.

The Board discussed their questions and concerns.

Dirk Schneider discussed the garage is a prominent feature and Bonnie Salem pointed out it is the first thing residents of Harwood Lane will see as they turn down the street. It was discussed that a more straight on design from Harwood Lane be considered. The homeowner stated that she wants the angled design to balance the house.

The Board discussed the multiple textures on the house. Some members had concerns with the combination of shake, vinyl siding and cultured stone. Other Board members stated they are comfortable with this combination if the colors were of the same or similar colors. The homeowner wishes to have different shadow colors on the textures.

Dirk Schneider suggested wrapping the corner with cultured stone on the west elevation to provide continuity. Paul Whitbeck agreed.

A discussion was held on ways to bring down the elevation of the garage to make it less prominent and more subservient to the home structure. It was discussed about bringing the ridge of the house down. The Board felt that in order to visualize this and make any decision they would need to see drawings of any proposed changes.

Dirk Schneider announced that this application would be held over for further input.

• 30 Escena Rise

The Applicant is requesting design review for the proposed construction of a 2949 Sq. Ft. 2 story dwelling with a 348 Sq. Ft. bonus room.

Jeff Brokaw of Morrell Builders was present to discuss the application with the Board. This home will have a three-car garage with 2 side load bays and 1 front load bay.

Dirk Schneider commented on the front elevation. He felt that the squared out posts did not really go with the cedar shakes style wise. Paul Whitbeck asked if there was possibility of reducing the three textures on the front elevation to two. Jeff Brokaw explained that this is the look the customer has chosen and the colors will be complementary. Kathleen Cristman stated that she preferred the look where the shake gables and the clapboard siding will be the same color. Jeff Brokaw agreed that the cedar shake and the clapboard siding would be the same color.

Dirk Schneider moved to accept the application as submitted with the condition that the clapboard siding and the cedar shakes will be the same color.

Leticia Fornataro seconded.

All Ayes.

INFORMAL REVIEW

65 Pickwick Drive

The owner of 65 Pickwick Drive has applied for a demolition permit to allow the demolition of a single family dwelling at 65 Pickwick Drive. This property is Zoned Residential Neighborhood (RN). The demolition permit is to be issued on or after October 16, 2020. Said structure is over 50 years old.

The owner was not present.

The proposed demolition of the structure at 65 Pickwick Drive was discussed. Paul Whitbeck inquired as to why this home is proposed to be demolished. Mark Lenzi indicated that the home does not meet the owner's needs. Dirk Schneider expressed concern regarding the size of any new proposed structure and its potential impact on the neighborhood. He stated that it is important that what is proposed to be cohesive with the neighborhood. The demolition code was discussed. Bonnie Salem

noted that this home does not have architectural or historical significance. John Mitchell stated that he had no issue with this structure coming down.

OTHER - REVIEW OF 8/27/2020 MINUTES

Bonnie Salem moved to accept the minutes of 8/27/2020 with one change.

Dirk Schneider seconded.

All Ayes.

The meeting adjourned at 7:50 pm.

Respectfully submitted,

Susan Donnelly Secretary to the Board





Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B20-000144

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

	REFERRAL OF APPLICATION	
Property Address: 2 Harwoo	d Lane,	
Tax ID Number: 151.07-1-11		

Application Type:

Zoning District:

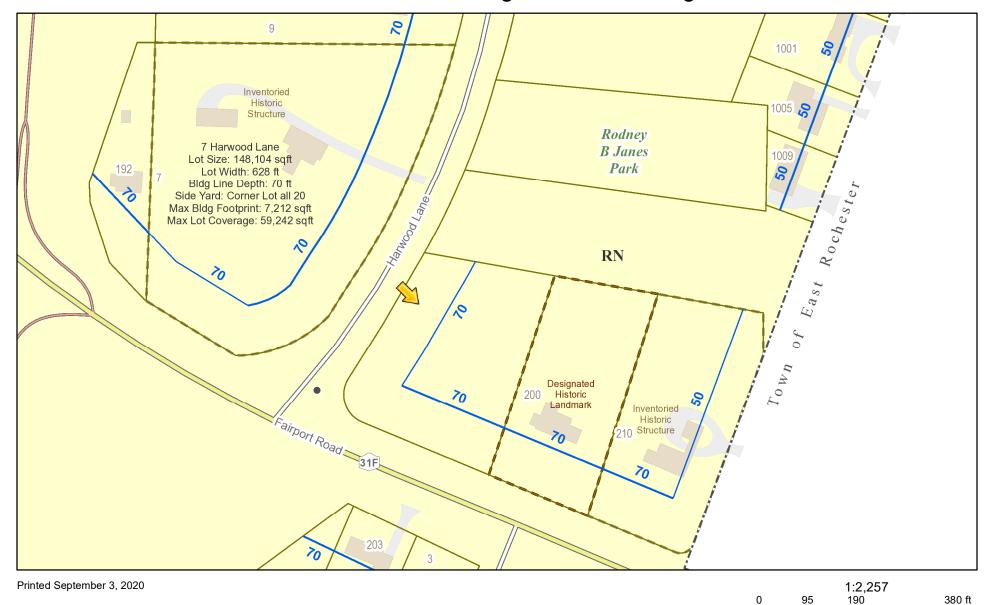
Owner: Castellano, Lawrence Applicant: Al Arilotta (Architect)

~	Residential Design Review	Build to Line Adjustment
<u> </u>	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

Project Description: Applicant is returning to request design review for the construction of a new single family one story home. The new home will be approximately 3100 square feet and located on a vacant lot on Harwood Lane.

Meeting Date: September 24, 2020

RN Residential Neighborhood Zoning

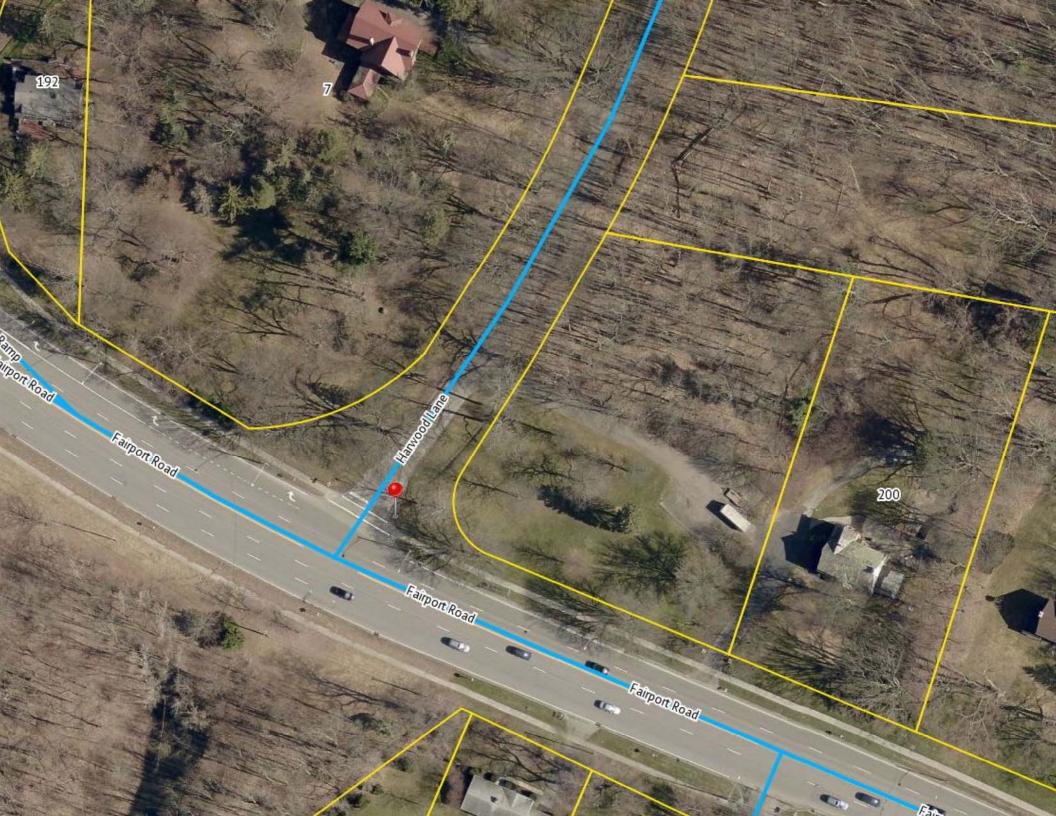


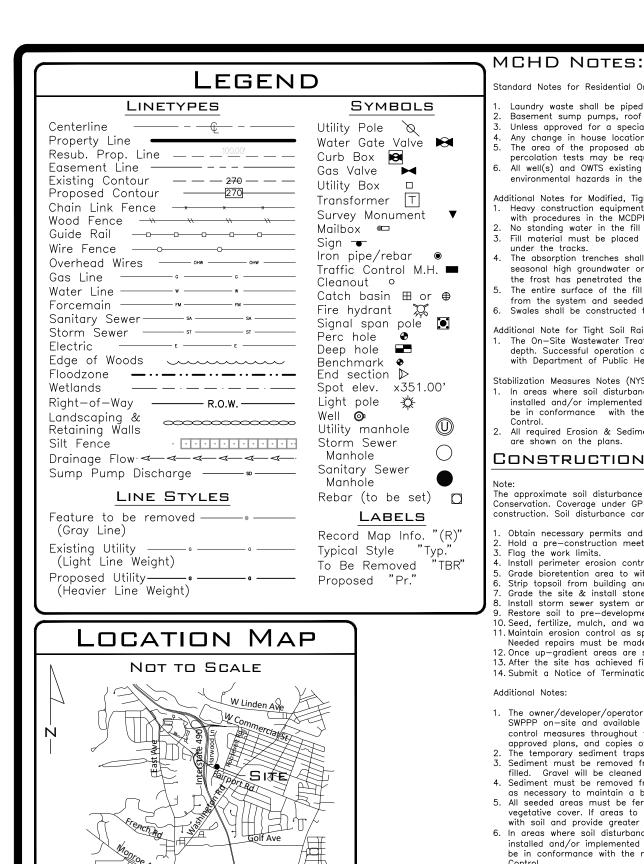
Town of Pittsford GIS

25

50

100 m





TOWN OF PITTSFORD

. This project is located in Lot 6 of the Blake Tract, Town Lot 30, Township 12, Range 5, of the

6. This project is located within Other Areas—Zone X (Areas determined to be outside the 0.2% annual

chance floodplain) according to Flood Insurance Rate Map Number 36055C0357G, dated August 28,

The contractor shall be responsible for all damages and repairs to all existing facilities, public and

private, including but not limited to: utilities, roadways, sidewalks, structures, and signs resulting

). Underground utility locations are approximate. All utilities shall be field staked before commencing

1. Proposed water services to be 1" copper from the main to the right-of-way and 2" polyethylene

13. House numbers shall be placed in a position that is plainly legible and visible from the road

It is the Contractor's responsibility to verify location and elevation existing utilities PRIOR to the

Any discrepancies between mapping and field conditions shall be brought to LandTech's attention as

This topographic survey was prepared from notes of an Instrument Survey completed on June 19,

3,040 sq.ft.

Public Health Engineer

Existing 60,984 sqft

work. Contractor is cautioned to notify Central Stakeout (1-800-962-7962) for the location of

Phelps and Gorham Purchase, Town of Pittsford, County of Monroe, State of New York.

3. Approval is for only those items identified as "new" or "proposed" as shown on the Plans.

'. Existing utilities were plotted from referenced survey and record maps.

GENERAL NOTES

2. Owner: R. Hal Kemp

3. Site address: Fairport Road

. Tax Account Number: 151.07-1-11

underground utilities prior to construction.

12. Roof leaders shall discharge on splash blocks.

2020 by Landtech Surveying & Planning, PLLC.

2. Site benchmark: Fire Hydrant North Bonnet Bolt Elevation = 438.27

from the right-of-way to the house.

fronting the property.

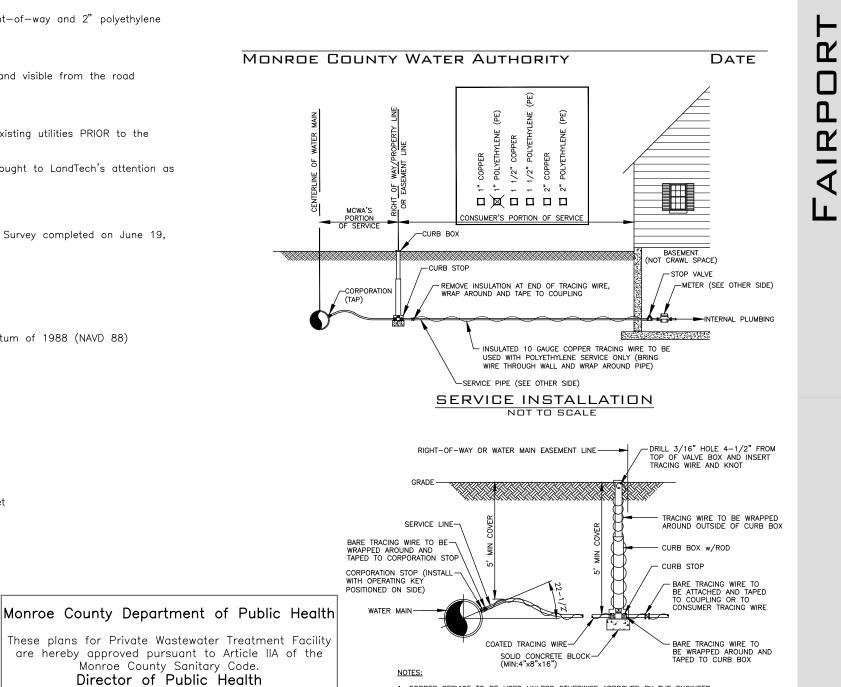
start of construction.

soon as possible.

- . Water service lines (laterals) shall be constructed in accordance with the regulations and specifications of the Monroe County Water Authority.

+. Water service lines shall be lacitthed as:				
DESCRIPTION	LOT	SIZE (a)	MATERIAL ^(b)	TYPE ^(c)
MCWA Portion=from the water main to and including the control valve on the ROW/Property/Easement line	#13	1"	Type K Copper	DS
PRIVATE Portion=from the control valve to the meter	#13	1"	PE	DS

- (b) Acceptable material for private portion is either Type "K" Copper OR Polyethylene plastic (PE) #4710, SDR 9, ASTM 2737, NSF-PW, 250psi (CTS OD.)
- 5. The Water Authority's portion of the service line shall be installed after the private portion of service is



1. COPPER SERVICE TO BE USED UNLESS OTHERWISE APPROVED BY THE ENGINEER.

SERVICE INSTALLATION

NOT TO SCALE

2. TRACING WIRE TO BE USED WITH POLYETHYLENE SERVICE ONLY.

Inderground Facilities Protective Organization Utility Coordinating Commitee. 7 Harwood Ln SAVE BIG, CALL I BEFORE YOU DIG Tax Map# 151.07-1-2 Macaluso, Michael Jr A PAN Dorothy Macaluso 1-800-962-7962 (now/formerly) - "Stop"cSign & HARWOOD LANE (70') (TOWN ROAD) "No Outlet" Sign TG=435.42 BENCH MARK N. BONNET BOLT ELEVATION=438.27 211.03 Δ=9°56′47" - 30" Locust> Harwood Ln Tax Map# 151.07-1-10 Town Of Pittsford (now/formerly) Garage 20.0' - ∞ Fairport Rd Tax Map# $FF = 446.0 \pm 3$ 151.07-1-11 Kemp, R. Hal TG=436.21 (now/formerly) 80.₁₆₇₀,, Found Pin & Cap — 200 Fairport Rd Tax Map# 151.07-1-12 O'Hara, Kyle Patricia Petrone (now/formerly) SEEDING NOTES 1. All pervious areas (lawn & landscaped areas) must be restored to pre-development conditions in accordance with the Soil Restoration TOWN APPROVALS Requirements, which are listed in the appendix of the Stormwater Pollution Prevention Plan. 2. Lawn areas are to be seeded with a mix of Kentucky bluegrass (40%), Pennlawn red fescue (35%), and Pennfine perennial rye grass (25%) at a Date Planning Board Chair rate of 250 lbs/acre. Paper mulch to be applied at 1350 lbs/acre with a tackifier at 60 lbs/acre. A balanced fertilizer must be applied at 250 Commissioner of Public Works Date 3. All seeded areas must be watered, fertilized, re-seeded as necessary, and mulched according to manufacturer's specifications to maintain a vigorous, dense vegetative cover. Town Engineer Date 4. If temporary vegetative cover is to be used, a mix of Annual ryegrass (50%) and Perennial ryegrass (50%) must be applied at a rate of 65 lbs/acre with paper mulch at 1200 lbs/acre and a tackifier at 60 SHEET 1 OF 3

lbs/acre.

Pittsford Sewer Department

Date

SURVEY REFERENCES 3. Liber 11555 of Deeds, Page 137. 4. Liber 54 of Maps, Page 12. 5. The vertical datum is referenced to The North American Vertical Datum of 1988 (NAVD 88) ZONING NOTES RN Residential Neighborhood Zoning District

Min lot width 364 feet Min front setback Min corner setback Min side setback 20 feet Min rear setback 20 feet 5,470 sqft Max building footprint 40% 24,394 sqft Max lot coverage Max building height MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL IS GRANTED ON CONDITION THAT:

The proposed facilities for sewage disposal are installed in conformity with A copy of the plans approved this date shall be filed in the Office of the No lot or remaining land (if applicable) shall be subdivided without plans for such re-subdivision being submitted to and approved by the Monroe County Department of Public Health.

This certificate is granted with the understanding that the approved plans are subject to review and reapproval after two years from date of approval, if installation is not completed by that time. Adequate erosion/siltation control measures shall be employed prior to and

45, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW

during construction. If the project will result in the disturbance of one acre or more, coverage under the NYSDEC SPDES General Permit GP-0-20-001 for Stormwater Discharges for Construction Activities will be

obtained.

Private wells and private sewage disposal systems shall no longer be constructed or used after public facilities become available.

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A ENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS A VIOLATION OF ARTICLE

dditional Notes for Modified, Tight Soil or Marginal Soil Raised Fill Systems with procedures in the MCDPH OWTS Design and Construction Standards. The soil must not be wet when plowed. Fill material must be placed on the edge of the prepared base and pushed into place by a bulldozer while maintaining at least six (6) inches of fill The absorption trenches shall be constructed in the fill material. To maintain the required 24—inch vertical separation between trench bottoms and

The area of the proposed absorption field should be staked out to prevent vehicles and materials from entering. If this area is disturbed, new

All well(s) and OWTS existing or approved within 200 feet of the proposed well(s) and OWTS shall be shown on this plan along with any other

Laundry waste shall be piped to the septic tank. The line shall have a check valve if the wastewater is pumped to the system.

Unless approved for a special system design, no earthwork (cutting or filling) shall be allowed in the septic system area. Any change in house location and/or OWTS location or elevation shall require additional review and re-approval from the MCDPH

environmental hazards in the area that may affect the design and functional ability of the OWTS and well(s).

seasonal high groundwater or impervious soil, trenches must not be deeper than twelve (12) inches in the fill. Trenches shall not be constructed i the frost has penetrated the fill more than three (3) inches. The entire surface of the fill system, except the taper, shall be covered with a minimum of six (6) inches of topsoil mounded to enhance runoff from the system and seeded to grass. Tapers shall be covered with three (3) to six (6) inches of topsoil.

dditional Note for Tight Soil Raised Fill Systems The On-Site Wastewater Treatment System is designed for use in soils having a percolation rate of greater than 60 min/inch at the conventional depth. Successful operation of this system depends on exact conformance with the approved plans and construction and maintenance in accordance with Department of Public Health standards. System components are to be 100 feet from any property line.

In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment

All required Erosion & Sediment Control and Storm Water Pollution Prevention Water Quality & Quantity Control structures, permanent and temporary,

CONSTRUCTION SEQUENCE & SWPPP SPECIFICATIONS:

Swales shall be constructed to divert surface water around the system and provide drainage away from the system.

The approximate soil disturbance is 0.6 acres. Therefore, a NYSDEC GP-0-20-001 permit is NOT required from the New York State Department of nservation. Coverage under GP-0-20-001 and applicable Town, County and State of New York permits must be obtained prior to the start of onstruction. Soil disturbance cannot exceed 5 acres at any given time unless prior consent is given from the Building Inspector and NYSDEC.

Obtain necessary permits and contact Dig Safely New York 811 at least 3 business days prior to construction for a utility stakeout. Hold a pre—construction meeting prior to commencement of construction.

Flag the work limits.

Install perimeter erosion control and the stabilized construction entrance as specified on the plans. Grade bioretention area to within 12" of bottom elevations and utilize as sedimentation basin during construction. Strip topsoil from building and pavement areas and stockpile as shown. Topsoil to be used as fill in lawn areas.

andard Notes for Residential On—Site Wastewater Treatment System (OWTS)

percolation tests may be required and septic system approval may be revoked.

Basement sump pumps, roof drains and footing drains shall not be connected to the OWTS.

Grade the site & install stone pavement base. . Grade the site & listed stole povernment base. . Install storm sewer system and utility services. Install stone pavement base over the remaining parking area. . Restore soil to pre—development conditions in accordance with the Soil Restoration Requirements, which are included in the SWPPP 10. Seed, fertilize, mulch, and water lawn areas in accordance with supplier's specifications. 1. Maintain erosion control as specified on plans. All erosion and sediment control practices must be inspected weekly by a qualified professional.

Needed repairs must be made immediately.

2. Once up—gradient areas are stabilized, excavate sediment and complete installation of bioretention area. 13. After the site has achieved final stabilization and all stormwater management practices are installed, remove all temporary erosion control measures.

14. Submit a Notice of Termination (NOT) to the New York State Department of Environmental Conservation.

1. The owner/developer/operator is responsible for complying with the NYSDEC GP-0-20-001 permit. This includes, but is not limited to, keeping the SWPPP on—site and available for review, posting the NOI in a publicly—accessible location, completion of inspection reports, and maintaining erosion control measures throughout the construction phase. The SWPPP includes this plan, the Notice of Intent (NOI), all correspondence with NYSDEC, the

approved plans, and copies of all GP-0-20-001 inspection reports. The temporary sediment traps must be cleaned out when the level of sediment reaches 8 inchs. 5. Sediment must be removed from the check dams and block and gravel inlet protection devices when storage capacity has been approximately 50% filled. Gravel will be cleaned or replaced when the sediment pool no longer drains properly. 4. Sediment must be removed from behind the sediment fence when it becomes about 0.5 ft deep at the fence. The sediment fence must be repaired as necessary to maintain a barrier between disturbance and down—slope areas.

5. All seeded areas must be fertilized, re-seeded as necessary, and mulched according to manufacturer's specifications to maintain a vigorous, dense vegetative cover. If areas to be seeded have been compacted they should be disked or raked prior to placement of seed to allow greater contact with soil and provide greater opportunity for growth. 6. In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment

TOPSOIL MANAGEMENT . Strip topsoil and stockpile where shown. Install silt fencing along backside of stockpile and allow for access on the front side. Once topsoil restoration is complete onsite, remove remaining topsoil from site.

2. All topsoil under building and pavement shall be removed and replaced with structural fill compacted to 95% MDD per Modified Proctor Test.

MONROE COUNTY WATER AUTHORITY

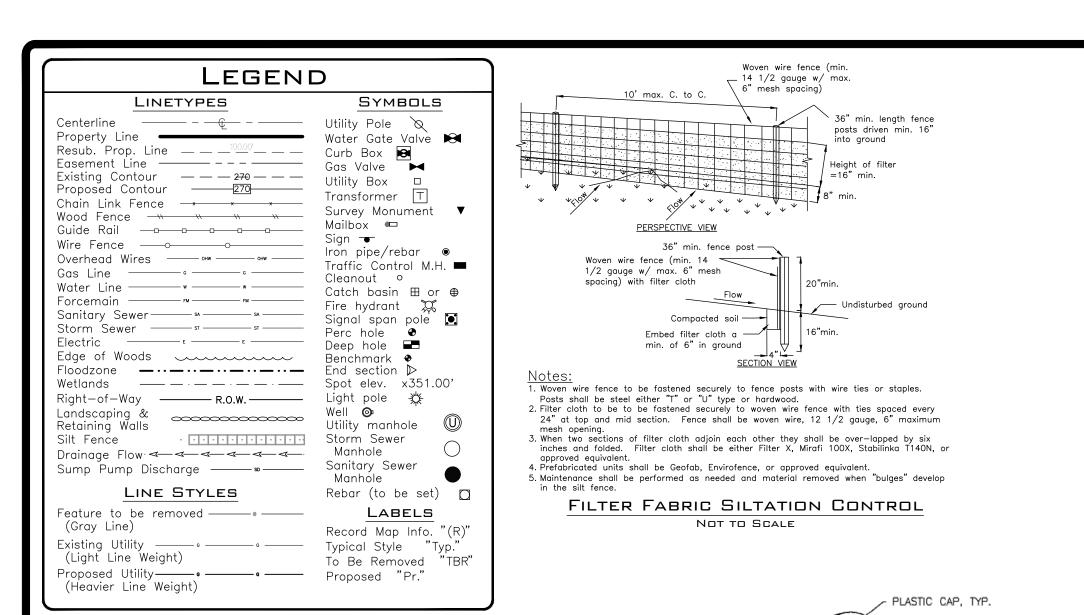
2. Water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and six feet of cover from finished grade in paved areas.

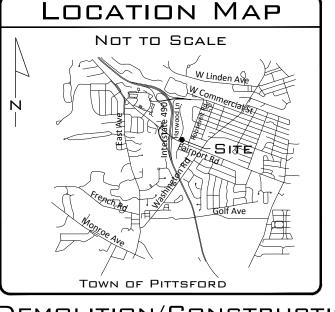
3. Water service lines shall be separated by at least ten feet, measured from the outside of the pipes, from

4. Water service lines shall be identified as:				
DESCRIPTION	LOT	SIZE (a)	MATERIAL ^(b)	TYPE ^(c)
MCWA Portion=from the water main to and including the control valve on the ROW/Property/Easement line	#13	1"	Type K Copper	DS
PRIVATE Portion=from the control valve to the meter	#13	1"	PE	DS

(c) Service type include: Domestic=DS, Fire=FS, or Combined=CMB

6. Water meter(s) to be located on the interior of exterior wall(s) immediately upon service entrance into the building(s), or in a meter tile when conditions warrant. A by-pass assembly is not required around the installation of 5/8—inch through 1—inch meters. Meter installations greater than 1—inch may require a by-pass assembly around the meter.





DEMOLITION/CONSTRUCTION NOTES

Obtain all necessary permits from the Town and/or other agencies prior to the start of work.

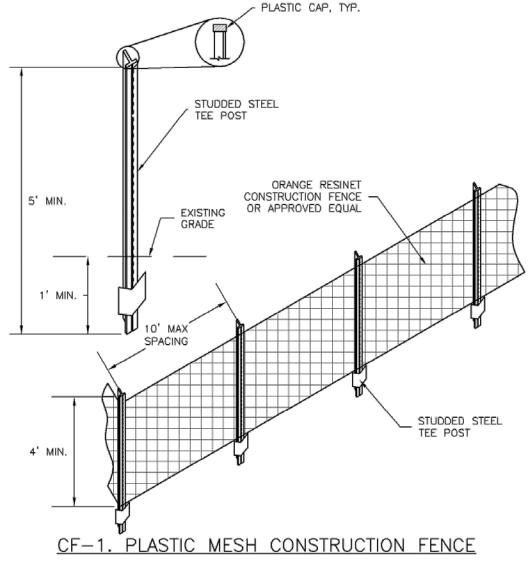
- The approximate soil disturbance is 0.6 acres. Therefore, a NYSDEC GP-0-20-001 permit is NOT required from the New York State Department of Conservation.
- Contact all utility companies to ensure that all services have been properly disconnected and/or shut off. Contact UFPO for a utility stake—out at least 48 hours before
- commencement of demolition activities for a utility stake-out. Install perimeter erosion control as shown and orange construction fence around trees that will remain. The contractor/owner is responsible for any damage to trees not designated for removal. Trees shall be pruned,

watered, and fertilized prior to, during and after construction. Materials

and equipment storage shall not be allowed in fenced areas. Commence demolition and removal of specified trees. Demolition debris must be removed from the site and disposed of in accordance with State and local regulations. Utilize stockpile/staging location as shown. No existing construction materials (concrete or other) shall remain on-site. The grade within the demolished footprint shall be restored to match adjoining, undisturbed grades. Backfill shall shall be suitable construction fill (subsoil free of organic material, or other structural fill acceptable to the Town) and compacted to at least 70% maximum density (Proctor). Completion of demolition area must be graded and seeded with with a

mix of Kentucky bluegrass (40%), Pennlawn red fescue (35%), and

- Pennfine perennial rye grass (25%) at a rate of 250 lbs/acre. Rough grading for preparation of house construction must utilize the
- temporary soil stockpile location as shown on plan. Stockpile to be surrounded by silt fence for erosion control.
- Excess soil to be transported off-site in a manner compliant with Code/Requirements. Stockpile area to be utilized for staging of construction materials.
- Contractor to take precautions to prevent the discharge of petroleum and . Whether during demolition or construction, all disturbed areas shall be protected from erosion either by mulch or temporary seeding within two
- weeks of disturbance. Should excavation disturb any apparently archaeologically sensitive areas, or any environmental conditions or issues not previously identified, there shall be immediate cessation of work and notification to the Town, the Monroe County Department of Health, and the New York State Department
- of Environmental Conservation. Any excess spoil material not required for re-grading of the site must be removed from the site.

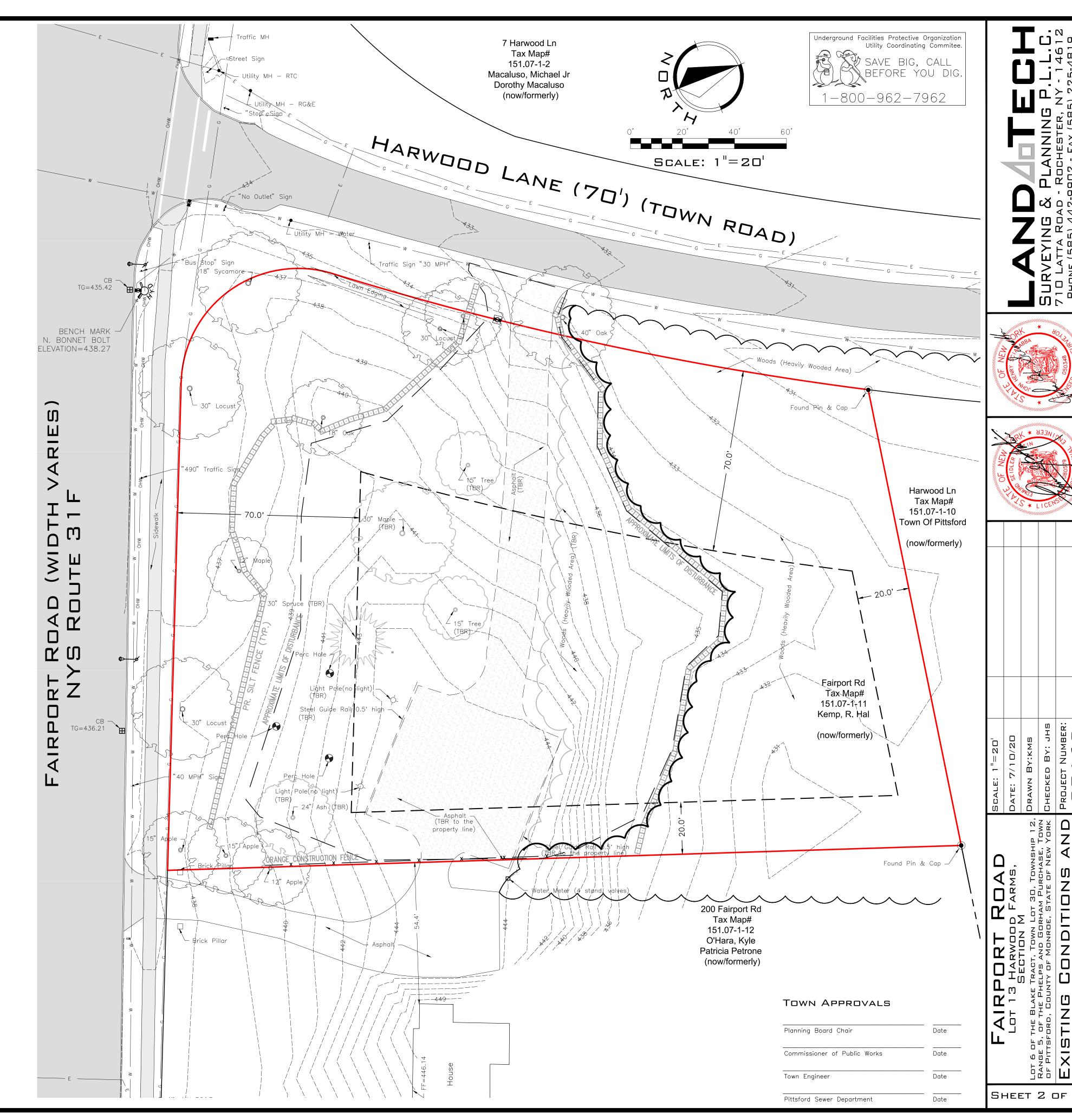


CONSTRUCTION FENCE INSTALLATION NOTES

SEE PLAN VIEW FOR:
 -LOCATION OF CONSTRUCTION FENCE.

2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING

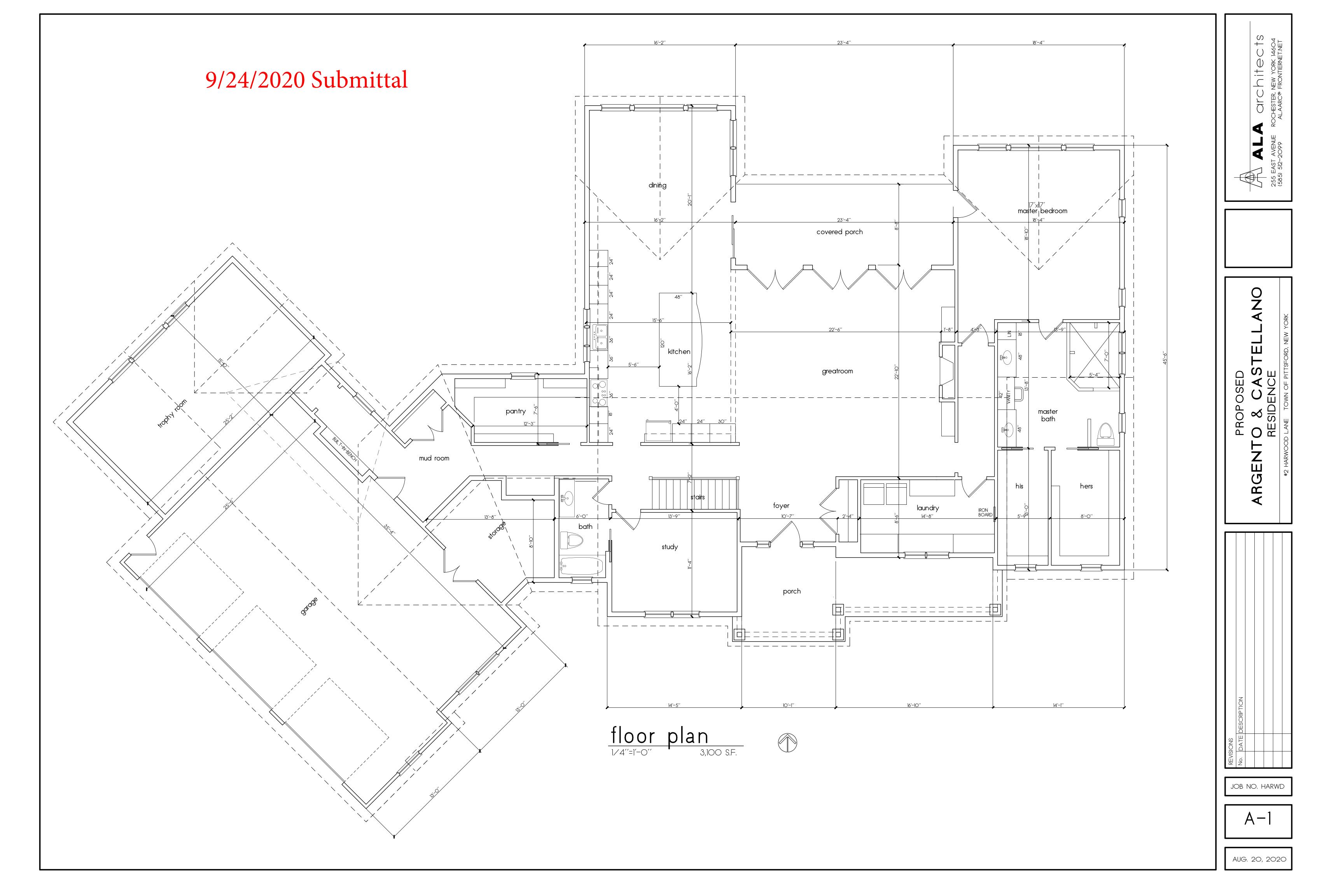
3. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH, METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY. 4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'. 5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.



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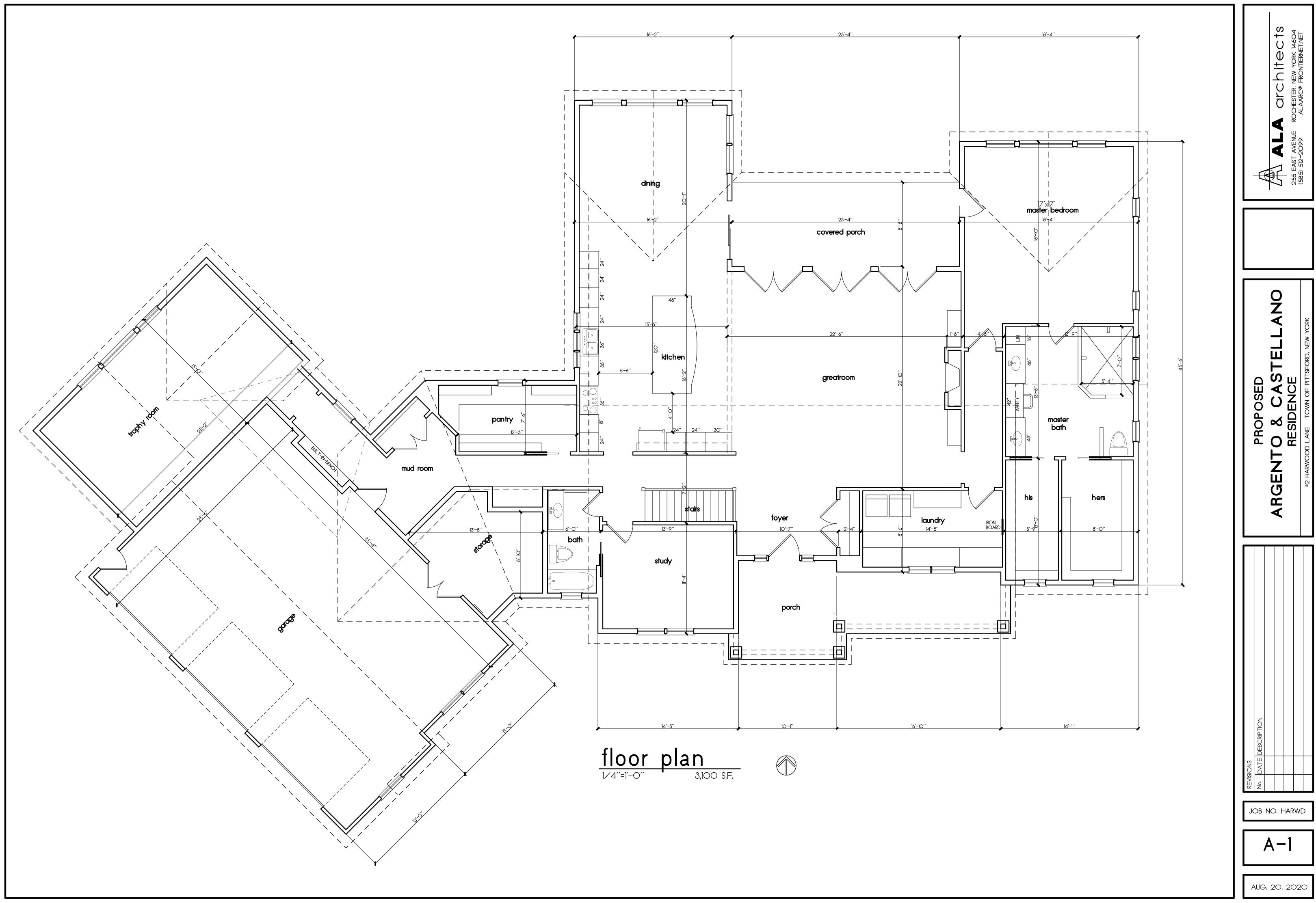
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UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A censed professional engineer or land surveyor is a violation of Article 45, SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW











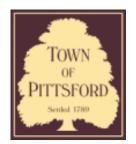












Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B20-000130

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 66 Ellingwood Drive ROCHESTER, NY 14618

Tax ID Number: 138.18-1-83

Zoning District: RN Residential Neighborhood

Owner: Salafia, Nunzio Applicant: Salafia, Nunzio

Applic	cation	Type	
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ıpp	iication Type.	
✓	Residential Design Review	Build to Line Adjustment
	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

Project Description: Applicant is returning to request design review for the garage addition and porch extension. The garage addition will be approximately 280 square feet and the porch extension will be approximately 100 square feet.

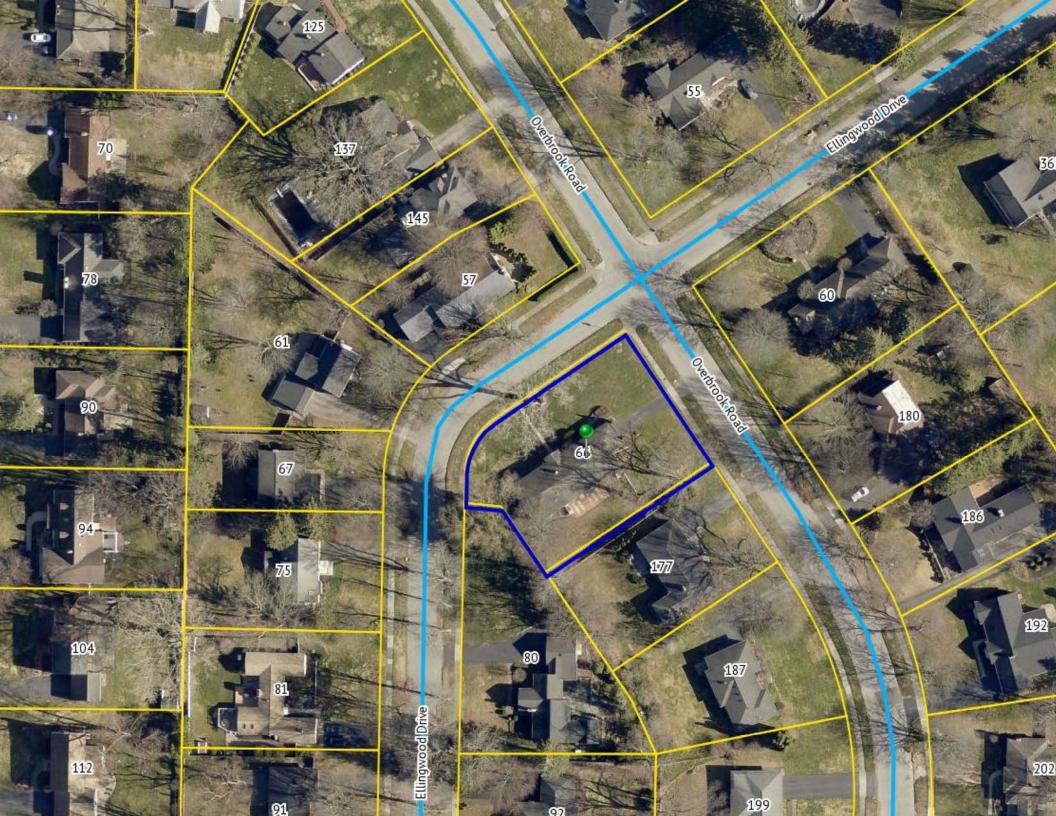
Meeting Date: September 24, 2020

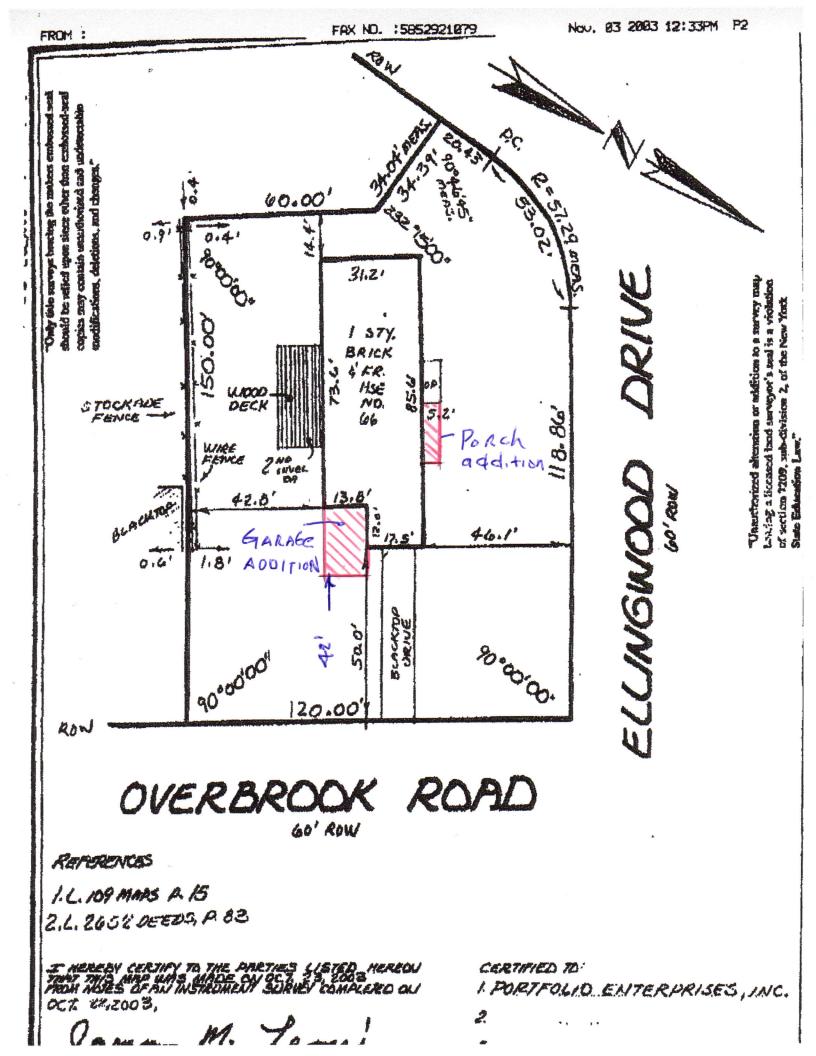


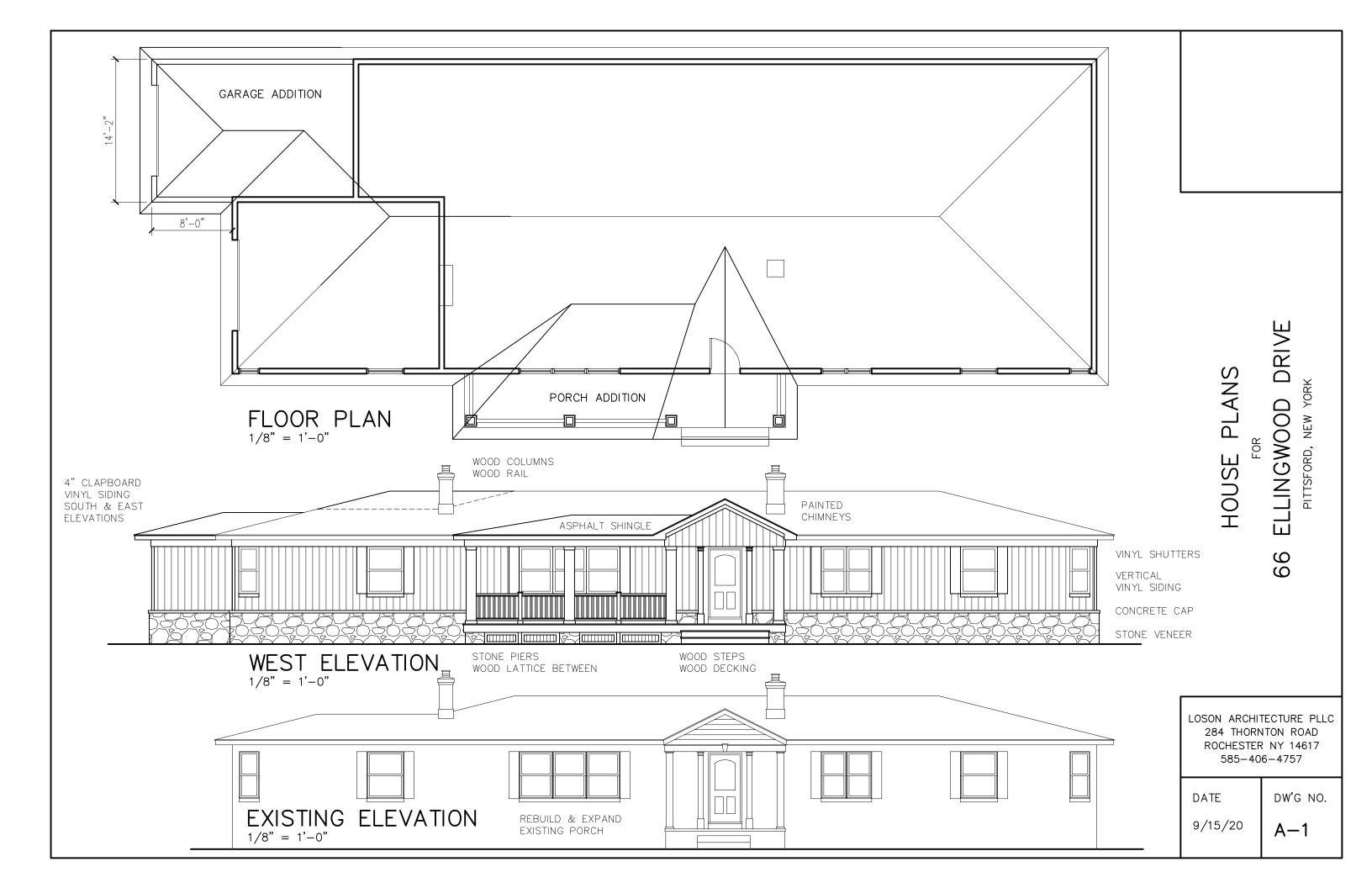
RN Residential Neighborhood Zoning

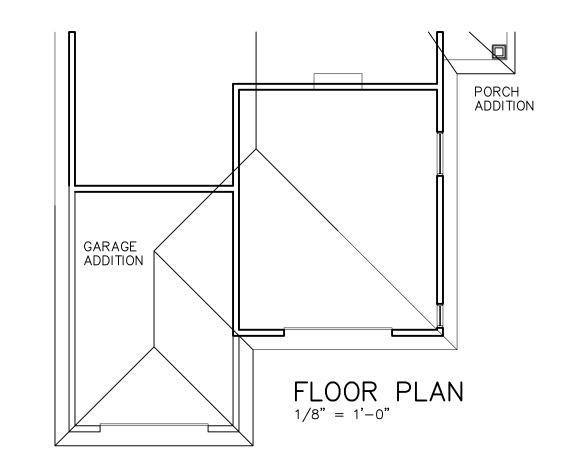


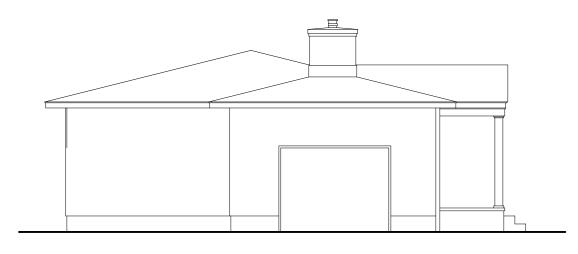
Town of Pittsford GIS



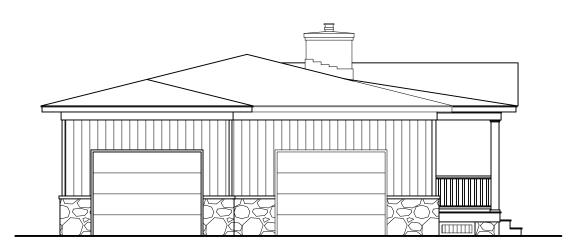








EXISTING ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

HOUSE PLANS

ELLINGWOOD DRIVE

99

PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC 284 THORNTON ROAD ROCHESTER NY 14617 585-406-4757

DATE

9/15/20

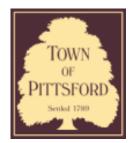
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DW'G NO.









Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B20-000153

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Skytop Lane PITTSFORD, NY 14534

Tax ID Number: 164.09-2-20

Zoning District: RN Residential Neighborhood

Owner: Jeffries, Edwin R

Applicant: Charles Smith (Architect)

Application Type:

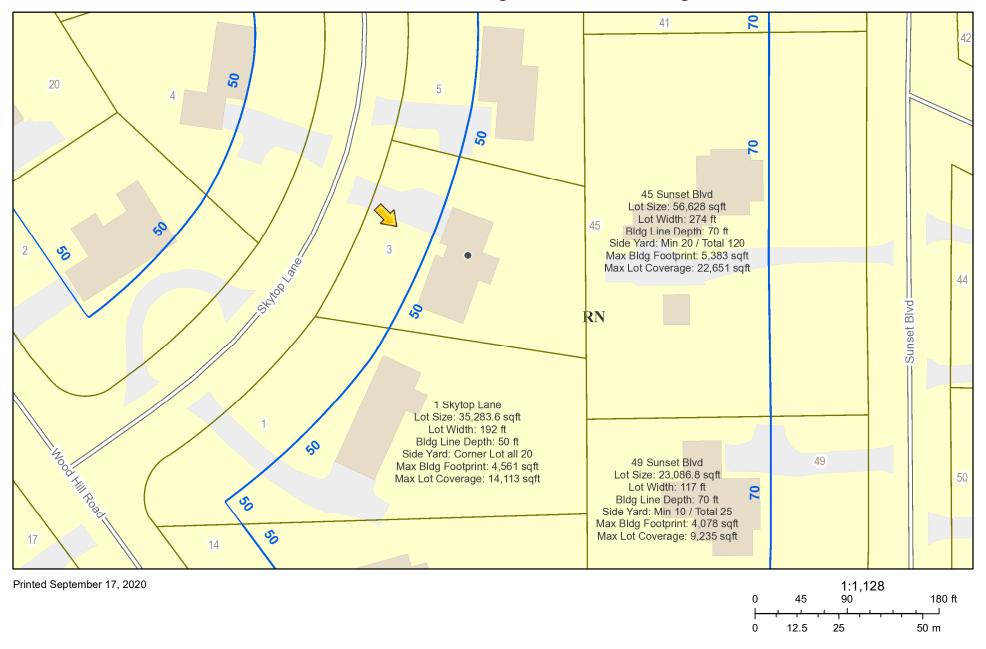
ıpp	iication Type.	
✓	Residential Design Review	Build to Line Adjustment
	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for the living room and three season room additions. Both additions will be to the rear of the home with the living room addition being approximately 484 square feet and the three season room 120 square feet.

Meeting Date: September 24, 2020



RN Residential Neighborhood Zoning



Town of Pittsford GIS



Jeffries Addition: 3 Skytop Lane, Town of Pittsford
Rear of existing house, showing living room addition location:





Rear of existing garage: location for 3 season room addition:



Jeffries Residence

Town of Pittsford, New York

STRUCTURAL LOADING DESIGN CRITERIA: ALL LOADS IN POLINDS PER SOLIARE FOOT

- ALL LOADS IN POUNDS PER SO	QUARE FO	ООТ	
LOCATION	LIVE	DEAD	LIMIT
IST FLOOR	40	15	L/360
2ND FLOOR (SLEEPING)	3 <i>0</i>	10	L/360
2ND FLOOR (NON-SLEEPING)	40	10	L/360
ATTIC (NO STORAGE)	10	5	L/240
ATTIC (LIGHT STORAGE)	20	10	L/240
ROOF (W/ FINISHED CLNG.)		20	L/240
ROOF (W/ NO FINISHED CLNG.)		15	L/180
			1010

NOTE: ASSUMED SAFE SOIL BEARING CAPACITY IS 2,000 PSF AT MIN. FROST DEPTH. VALUES MAY BE INCREASED IF SITE SPECIFIC SOIL CLASSIFICATION OR LOAD BEARING TEST DATA IS

INSULATION AND FENESTRATION REQUIREMENTS

-TABLE NIIO2.12 2020 RESIDENTIAL CODE

-TABLE R301.2(1) 2020 RESIDENTIAL CODE

CLIMATIC	\$ GEOGRAPHICAL	DESIGN	CRITERIA:

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	MOOD FRAME MALL R-VALUE	MASS MALL R-VALUE	FL <i>OO</i> R R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE DEPTH	CRAML SPACE MALL R-VALUE
5	0.30	0.55	NR	49	20 OR 13 + 5	13 /17	30	15 / 19	IO / 2 ft HEATED SLAB 5	15 / 19

ELECTRICAL/ MECHANICAL/ PLUMBING:

SMOKE/CARBON MONOXIDE ALARMS:

NSPECTED DURING CONSTRUCTION.

ELECTRIC AND PLUMBING LAYOUT SHALL MEET OR

NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN

IAZARDOUS LOCATIONS AND PRIVATE GARAGES.

NSTALLED WITH A MINIMUM CLEARANCE OF 6 FEET

FOR NEW CONSTRUCTION SMOKE DETECTING ALARM

SECTION R314 OF THE RESIDENTIAL CODE OF NYS.

· OUTSIDE EACH SEPARATE SLEEPING AREA IN THE

IMMEDIATE VICINITY OF THE BEDROOMS

ON EACH ADDITIONAL STORY OF THE DWELLIING,

. SHALL NOT BE INSTALLED LESS THAN 3 FEET

FOR NEW CONSTRUCTION CARBON MONOXIDE

INCLUDING BASEMENTS AND HABITABLE ATTICS AND

NOT INCLUDING CRAWL SPACES AND UNINHABITABLE

BATHROOM THAT CONTAINS A BATHRUB OR SHOWER

NSTALLED AND CONFORM TO SECTION RSIS OF THE

ON EACH FLOOR AND ON EACH FLOOR THAT HAS A CARBON MONOXIDE SOURCE.

DEVICES SHALL BE DIRECT WIRED AND CONFORM TO

ABOVE THE FLOOR OR PROVIDE PROTECTION FROM

2. EQUIPMENT AND APPLIANCES HAVING AN IGNITION

EXCEED LOCAL & NATIONAL CODES AND SHALL BE

SOURCE SHALL BE ELEVATED SUCH THAT THE IGNITION IS

APPLIANCES LOCATED IN PRIVATE GARAGES SHALL BE

MOTOR VEHICLE IMPACT. PER SECTION 62408 (305) OF

THE RESIDENTIAL CODE OF THE STATE OF NEW YORK.

GROUND	MIND	SEISMIC	9	BUBJECT TO DAMA	GE FROM		ICE SHIELD	
SNOW LOAD	SPEED (mph)	DESIGN CATEGORY	MEATHERING	FROST LINE DEPTH	TERMITE	DECAY	UNDERLAYMENT REQUIRED	FLOOD HAZARDS
40	115	В	SEVERE	42"	SLIGHT TO MODERATE	NONE TO SLIGHT	YES	NO

NOTES & CODE GENERAL

<u>GENERAL NOTES:</u>

OF THE ARCHITECT.

- THIS SET OF PLANS HAS BEEN DESIGNED AND SHALL BE BUILT TO COMPLY WITH THE RESIDENTIAL CODE OF NYS AND MEETS OR EXCEEDS THE NYS ENERGY CONSERVATION CONSTRUCTION CODE. IN ADDITION
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS REFERENCE TO THE CONSTRUCTION CONTRACT.
- 3. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS PRIOR TO START OF CONSTRUCTION, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION
- 4. GENERAL CONTRACTOR TO PROVIDE ADEQUATE SUPPORT OF EXISTING FOUNDATION WALLS, LOAD BEARING WALLS AND PARTITIONS DURING DEMOLITION (IF APPLICABLE TO PROJECT) AND CONSTRUCTION.
- 5. ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING/BRACING TO BE CERTIFIED BY THE
- 6. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH OTHER TRADES WHEREVER THEY OVERLAP.
- 7. WHEN MATERIALS AND/OR FINISHES ARE FOUND TO BE ABSENT, OR WHEN EXISTING CONSTRUCTION IS REMOVED. DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING AND PAINTING WITH MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH ADJACENT EXISTING SURFACES UNLESS
- 8. PROVIDE ALL BLOCKING, FURRING AND SHIMMING AS NECESSARY FOR INSTALLATION AND COMPLETION OF

ADDITIONS & RENOVATIONS:

- I. FOR ADDITIONS AND RENOVATIONS: SMOKE DETECTORS SHALL CONFORM TO SECTION R313.1 \$ R313.2 OF THE RESIDENTIAL CODE OF NYS WHICH STATES EXISTING DWELLINGS UNDERGOING REPAIR. ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION SHALL BE PROVIDED WITH MOKE ALARMS AND CARBON MONOXIDE ALARMS AS REQUIRED BY APPENDIX J. SMOKE DETECTING ALARM DEVICES - CAN BE BATTERY OPERATED IN AREAS THAT ARE NOT NEW CONSTRUCTION.
- 2. FOR ADDITIONS AND RENOVATIONS REFER TO NYS RESIDENTIAL CODE - RIO2.7.1: WHICH STATES THAT ADDITIONS, ALTERATIONS OR REPAIRS TO ANY REQUIREMENTS OF A NEW STRUCTURE WITHOUT REQUIRING THE EXISTING STRUCTURE TO COMPLY WITH ALL OF THE REQUIREMENTS OF THIS CODE, UNLESS OTHERWISE STATED. ADDITIONS, ALTERATIONS OR REPAIRS AND RELOCATIONS SHALL NOT CAUSE AN EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.
- 3. ENERGY EFFICIENCY CHAPTER JIO4.1 ADDITIONS AND ALTERATIONS—LEVEL 2. ADDITIONS AND SUBSTANTIAL RENOVATIONS SHALL CONFORM WITH SECTIONS NIIOI.3.1 AND NIIOI.3.2.
- 4. ENERGY EFFICIENCY FOR ADDITIONS, ALTERATIONS, OR RENOVATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CHAPTER, NIIOI.3.1 OF THE NYS RESIDENTIAL CODE

ALL NEW WORK SHALL BE PLUMB, LEVEL AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING (IF APPLICABLE TO PROJECT).

- CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

 IO. ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY OWNER AND ARCHITECT IF SO. COORDINATE INTERIOR DOORS/HARDWARE, WOOD TRIM
 - AND FINISHES, AND EXTERIOR FINISH MATERIALS (SIDING, ROOFING, ETC.) TO MATCH EXISTING (IF APPLICABLE TO PROJECT). FINAL SELECTIONS BY OWNER AND GENERAL CONTRACTOR, UNLESS OTHERWISE 12. COORDINATE THE INSTALLATION OF CONTINUOUS
 - EXISTING (IF APPLICABLE TO PROJECT). DOWNSPOUTS NOT LOCATED ON DRAWINGS ARE TO BE LOCATED IN FIELD AND APPROVED BY OWNER. ALL DOWNSPOUTS ARE TO RUN TO PRECAST CONCRETE SPASHBLOCKS, OR UNDERGROUND CONDUCTORS PER LOCAL CODE.
 - 13. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SITEMORK, INCLUDING FINISH
 - 4. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ELECTRIC, PLUMBING AND HVAC SYSTEM INSTALLATION. VERIFY CAPACITY AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION (IF APPLICABLE TO PROJECT).
 - THESE DOCUMENTS DO NOT PURPORT TO SHOW ALL MEANS AND METHODS REQUIRED FOR A COMPLETE GENERAL SCOPE FOR THE PROJECT. IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION.

AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION(S) OF THE EXISTING BUILDING OR BUILDING SYSTEM TO BE DEEMED TO COMPLY WITH THIS CHAPTER IF HE ADDITION ALONE COMPLIES OR IF THE EXISTING BUILDING AND ADDITION COMPLY WITH VESTIBULE THAT SEPARATES A CONDITIONED THIS CHAPTER AS A SINGLE BUILDING. ADDITIONS, ALTERATIONS, OR RENOVATIONS SHALL NOT

- CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS. EXCEPTION: THE FOLLOWING NEED NOT COMPLY PROVIDED THE ENERGY USE OF THE BUILDING IS
- STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION. GLASS ONLY REPLACEMENTS IN AN EXISTING SASH AND FRAME, PROVIDED THE U-FACTOR AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) WILL BE EQUAL TO OR LOWER THAN BEFORE THE GLASS REPLACEMENT. ALTERATIONS, RENOVATIONS OR REPAIRS TO ROOF/CEILING, WALL OR FLOOR CAVITIES WHICH ARE INSULATED TO FULL DEPTH WITH INSULATION HAVING A MINIMAL NOMINAL VALUE
- ALTERATIONS, RENOVATIONS OR REPAIRS TO MALLS AND FLOORS, WHERE THE EXISTING STRUCTURE IS WITHOUT FRAMING CAVITIES AND NO NEW FRAMING CAVITIES ARE CREATED.
- REROOFING WHERE NEITHER THE SHEATHING NOR THE INSULATION IS EXPOSED. ROOFS WITHOUT INSULATION IN THE CAVITY AND WHERE THE SHEATHING OR INSULATION IS EXPOSED DURING REROOFING SHALL BE INSULATED

CODE REQUIREMENTS:

STAIR TO HAVE HEIGHTS FIELD VERIFIED AND SHOP

- DRAWINGS APPROVED PRIOR TO FABRICATION. STAIR CONSTRUCTION SHALL CONSIST OF STRINGERS, 3/4" THICK TREADS AND 34" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.
- 2. STAIRWELLS TO BE A MIN. OF 36" IN WIDTH AND HAVE A CONSISTENT HEAD HEIGHT TO FINISHED CEILING OF 6'-8" FROM THE TREAD NOSING.
- 3. CLOSED RISERS WITH I" NOSING UNLESS NOTED OTHERNISE, MAX. RISER HEIGHT OF 7.34° AND MIN. TREAD DEPTH OF IO" (9" MIN. RUN DEPTH).
- 4. A LANDING IS NOT REQUIRED AT TOP OF INTERIOR STAIRS PROVIDED A DOOR DOES NOT SWING OVER
- HANDRAILS: PER IRC R311.7.8 HANDRAILS ARE REQUIRED ON AT LEAST ONE (I) SIDE
- OF STAIRWAYS FOR (4) OR MORE RISERS. 2. HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
- 3. THE HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION.
- 4. HANDRAILS PROJECTING FROM A WALL SHALL HAVE AT LEAST | 1/2" BETWEEN THE WALL AND THE HANDRAIL. ENDS OF THE HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATION OR BENDS.

EITHER ABOVE OR BELOW THE SHEATHING. REPLACEMENT OF EXISTING DOORS THAT SEPARATE CONDITIONED SPACE FROM THE EXTERIOR SHALL NOT REQUIRE THE INSTALLATION OF A VESTIBULE OR REVOLVING DOOR, PROVIDED, HOWEVER, THAT AN EXISTING

- SPACE FROM THE EXTERIOR SHALL NOT BE AN ALTERATIONS THAT REPLACES LESS THAN 50 PERCENT OF THE LUMINAIRES IN A SPACE, PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING
- AN ALTERATION THAT REPLACES ONLY THE BULB AND BALLAST WITHIN THE EXISTING LUMINAIRES IN A SPACE, PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER.
- 6. NIIOI.3.2 CHANGE IN OCCUPANCY OR USE, SPACES UNDERGOING A CHANGE IN OCCUPANCY THAT WOULD RESULT IN AN INCREASE IN DEMAND FOR EITHER FOSSIL FUEL OR ELECTRICAL ENERGY SHALL COMPLY WITH THIS CODE. WHERE THE USE IN 505.5.2 TO ANOTHER USE IN TABLE 505.5.2, THE INSTALLED LIGHTING WATTAGE SHALL COMPLY

GUARDRAILS: PER IRC R312.1

- PORCHES, BALCONIES, AND RAISED FLOORS GREATER THAN 30" ABV. FLR. OR GRADE SHALL HAVE A HALF
- 2. ON OPEN STAIRWAYS SHALL HAVE A GUARDRAIL HEIGHT OF 34" TO 38" ABOVE NOSING OF TREADS AND BE
- OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".
- I. GLAZING TO BE TEMPERED WHEN CONSIDERED A HAZARDOUS LOCATION AS DEFINED IN R308.4 OF THE RESIDENTIAL CODE OF NYS SUCH AS:
- · GLAZING IN DOORS · GLAZING ADJACENT TO DOORS - WITHIN 24" OF A DOOR, WHEN BOTTOM EDGE IS LESS THAN 60" AFF. . GLAZING IN WINDOWS - WHEN INDIVIDUAL PANE IS GREATER THAN 9 SF. BOTTOM EDGE IS LESS THAN 18 AFF, TOP EDGE IS GREATER THAN 36" AFF, AND WALKING SURFACE IS WITHIN 36".
- GLAZING & WET SURFACES ANY GLAZING IN WALLS SURROUNDING TUBS, SHOWERS, SAUNAS WHERE BOTTOM EDGE IS LESS THAN 60" AFF
- GLAZING ADJACENT TO STAIRWAYS AND RAMPS -BOTTOM EDGE OF GLAZING IS LESS THAN 60" AFF.

ENERGY CONSERVATION STATEMENT

I. THE PROPOSED BUILDING HAS BEEN DESIGNED TO COMPLY WITH SECTION R402 OF THE RESIDENTIAL ENERGY CONSERVATION CODE. INSULATION WILL BE UTILIZED TO SEAL THE BUILDING ENVELOPE. INCLUDING BUT NOT LIMITED TO WALLS ROOF RIM JOIST, ABOVE GARAGE FLOORS, CANTILEVERED SPACES AND ALL PERFORATIONS INTO INCONDITIONED SPACE. BREAKS AND JOINTS IN THE AIR BARRIER WILL BE SEALED WITH FOAM OR CAULK. A VENTILATION CONTROL SYSTEM WILL BE UTILIZED TO PROVIDE THE REQUIRED AIR

LIST OF DRAWINGS:

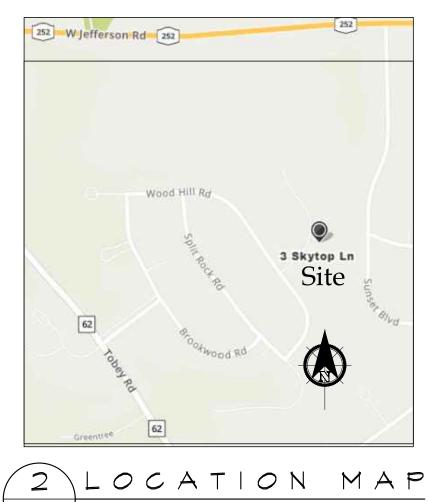
Cover Sheet

Demolition Plan & Foundation Plan

A-2.1Floor Plan & Roof Plan

Building Sections & Standard Details

Exterior Elevations A-4.1



20 FT

ZONING INFORMATION:

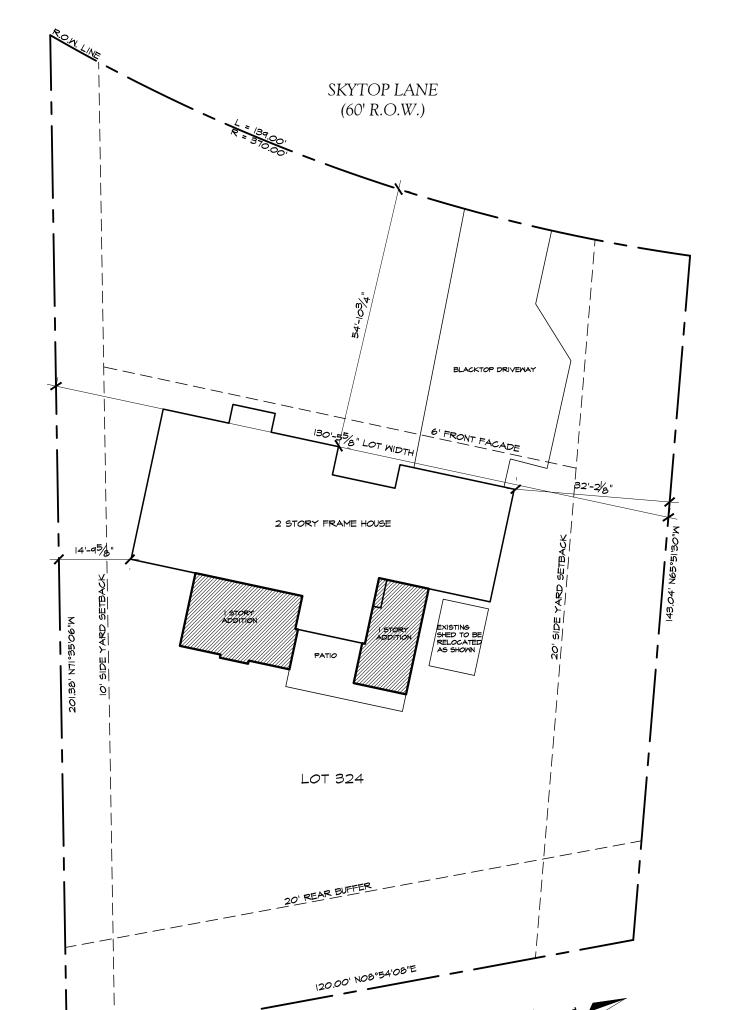
FACADE AREA = 10% OF FRONT YARD OR 6' MIN.

SIDE YARD = 10 FT MIN./30 FT TOTAL

LOT WIDTH: 121-140 FT

REAR BUFFER

RN: RESIDENTIAL NEIGHBORHOOD			
	<u>A</u>	LLOWED	PROVIDED
LOT AREA: 20,001-25,000 MAXIMUM BUILDING FOOTPRINT = 3,800 + 9% MAXIMUM LOT COVERAGE = 40% OF LOT MAXIMUM BUILDING HEIGHT:	8,	,942 SF ,633 SF O FT	21,582 SF WITH ADDITION 2,869 SF 4,256 SF ADDITION = 13'
MINIMUM SETBACKS:			





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FOUNDATION NOTES:

- ALL CONCRETE TO BE A MIN. OF 3,000 PSI (UNLESS OTHERWISE NOTED).
- 2. THE HEIGHT OF BACK FILL SHALL NOT EXCEED & FEET. BACK FILL MATERIAL SHALL BE CLEAN, FREE OF DEBRIS, WELL DRAINED MATERIAL.
- 3. FINAL FOOTING DEPTHS AND CONFIGURATIONS ARE SUBJECT TO SUBSURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY OF 2,000 PSF. ALL FOOTINGS ARE TO EXTEND BELOW THE FROST LINE- MIN. 3'-6" BELOW FINISHED GRADE. PROVIDE STEPPED FOOTINGS WHERE REQUIRED.
- 4. TOP OF WALL TO EXTEND A MIN. OF 8"
 ABOVE FINISHED GRADE.
- 5. BASEMENT SLAB IS A MINIMUM OF 4"
 THICK OVER IO MIL. POLYETHYLENE
 VAPOR BARRIER OVER 4" CRUSHED
 STONE. TOP OF SLAB ELEVATION TO BE
 AS NOTED. BASEMENT SLAB SHALL BE
 3,500 P.S.I. (28 DAY COMPRESSIVE
 STRENGTH) CONCRETE W/ 6×6 1%
 WELDED WIRE MESH REINFORCING.
- 6. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER AND GARAGE SLABS SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE W/ 6×6 1% WELDED WIRE MESH REINFORCING.
- 7. CRAWL SPACE SLAB IS A MINIMUM OF 2"
 THICK OVER IO MIL. POLYETHYLENE
 VAPOR BARRIER OVER 4" CRUSHED
 STONE. TOP OF SLAB ELEVATION TO BE
 AS NOTED.
- 8. UNCONDITIONED CRAWL MUST HAVE VENTILATION OPENINGS COVERED WITH HARDWARE CLOTH OR MESH. ONE (I) SF OF VENTING FOR EVERY 150 SF OF CRAWL SPACE (AT LEAST I VENT OPENING MUST BE WITHIN THREE (3) FEET OF EACH CORNER).
- 9. REQUIRED ACCESS TO CRAWL SPACES
 15 18"x24" WHEN IN THE FLOOR AND
 16"x24" WHEN ACCESS IS THROUGH THE
 PERIMETER WALL.
- IO. PROVIDE PERIMETER FOUNDATION
 DRAINPIPE PITCHED AT I/8" IN 12" TO
 DAYLIGHT OR A PREPARED I'-0" DEEP,
 2'-0" DIAMETER GRAVEL BED OR
 EXTERIOR SUMP PUMP AS REQUIRED BY
 OWNER. DRAINPIPE TO BE 4"
 PERFORATED WITH HOLES ORIENTED
 DOWNWARD. **SUPERIOR WALL
 FOUNDATION SYSTEMS SHALL PLACE 4"
 DIA. PVC SLEEVES AT FOOTING
 CORNERS TO DRAIN THE INTERIOR
 CRUSHED STONE.

- II. CONTROL JOINTS TO BE PROVIDED FOR AT ALL CONCRETE SLABS OVER 400 SQUARE FEET.
- 12. PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS
- 13. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- 14. IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE THE SLAB, FOR FUTURE CONNECTION IF NECESSARY.
- 15. ALL COMPACTED SOIL TO BE COMPACTED IN 6" LIFTS.
- I6. 2X PRESSURE TREATED SILL PLATES
 ARE TO RUN FLUSH WITH EXTERIOR EDGE
 OF FOUNDATION, AND BE SECURED WITH
 ANCHOR BOLTS (MIN. ½" DIA.) SPACED
 AT 6'-O" O.C. MAXIMUM. ANCHOR BOLTS
 SHALL EXTEND A MIN. OF 7" INTO
 MASONRY AND BE LOCATED WITHIN 12"
 FROM THE END OF EACH PLATE
 SECTION. SILL PLATES ARE TO BE
 PLACED OVER CLOSED CELL FOAM SILL
 SEALER.
- 17. CMU FOUNDATION WALL SYSTEM SEE CMU NOTES & TYPICAL DETAILS.
- 18. PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- 19. SEALABLE COVER SUMP IS NEEDED IF SOIL OTHER THAN GROUP I (TABLE 405.1). SUMP TO BE 24" BELOW THE BOTTOM OF THE BASEMENT FLOOR. SUMP TO DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
- 20. EXCEPT WHERE REQUIRED TO BE WATERPROOFED BY SECTION R406.2, FOUNDATION WALLS THAT RETAIN EARTH AND USABLE SPACE, SHALL BE DAMPROOFED FROM TOP OF FOOTING TO FINISHED GRADE WITH A BITUMINIOUS-BASED COATING OR OTHER APPROVED DAMPROOFING MATERIAL.
- 21. BUILDER TO VERIFY ALL SOIL
 CONDITIONS BEFORE CONSTRUCTING
 FOUNDATION. IF POOR CONDITIONS ARE
 DISCOVERED CONTACT DESIGN WORKS
 ARCHITECTURE.
- 22. BUILDER TO VERIFY FOUNDATION DETAILS W/ LOCAL BUILDING CODES.

DEMOLITION NOTES:

- I. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL THE DETAILS INVOLVED IN THE SELECTIVE DEMOLITION, SPECIFIC INSTRUCTIONS ON EACH ITEM WILL NOT BE GIVEN.
- 2. ALL PLUMBING, ELECTRICAL AND HVAC FIXTURES, DOORS, TRIM AND ANY OTHER ITEMS WHICH THE OWNER INDICATES THEY WANT TO SAVE SHALL BE REMOVED BY THE CONTRACTOR, STORED AND MAINTAINED IN GOOD CONDITION PER THE OWNER'S DIRECTIONS FOR FUTURE REUSE. THE OWNER SHALL PROVIDE THE CONTRACTOR WITH THE LIST OF ALL SUCH ITEMS.
- 3. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING WALLS, DOORS AND FINISHES NOT SHOWN TO REMAIN, INFILL WALL OPENINGS AS REQUIRED AND PATCH SURFACES TO MATCH ADJACENT EXISTING CONDITIONS.
- 4. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING LIGHTING, WIRING AND DEVICES AS REQUIRED TO COMPLETE WORK, REMOVE ALL ABANDONED CONDUIT AND WIRE, AND TERMINATE AT NEAREST ACTIVE PANEL.
- 5. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING WATER, SEWER, STORM AND VENT PIPING AS REQUIRED TO COMPLETE WORK, REMOVE ALL ABANDONED PIPING, AND CAP AT NEAREST ACTIVE MAIN OR RISER.
- 6. THE GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING DUCTWORK, PIPING AND RELATED HVAC SYSTEMS AS REQUIRED TO COMPLETE WORK, CAP ALL DUCTWORK AND PIPING AT NEAREST ACTIVE MAIN RISER, COORDINATE REMOVAL OF ALL ASSOCIATE POWER AND PLUMBING SERVICES WITH OTHER TRADES.
- 7. ON ITEMS 4, 5, \$ 6, GENERAL CONTRACTOR MAY BE REQUIRED TO GO BEYOND THE CONTRACT AREA TO REACH THE FIRST SHUTOFF VALVE, MAIN OR ELECTRICAL PANEL. WHEN THIS HAPPENS, THE CONTRACTOR SHALL REMOVE AND REPAIR EXISTING FINISH SURFACES AS REQUIRED.
- 8. ALL EXISTING FLOOR, WALL AND CEILING FINISHES IN AREAS TO BE RENOVATED SHALL BE REMOVED DOWN TO SUBFLOOR/ROUGH FRAMING AS REQUIRED. PREPARE EXISTING SURFACES TO RECEIVE NEW FINISH MATERIALS.
- 9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SALVAGE OF EXISTING MATERIALS AS REQUIRED FOR PATCHING EXISTING AREAS TO REMAIN. WHEREVER REMOVALS OCCUR, DISTURBED SURFACES SHOULD BE PATCHED TO MATCH ADJACENT EXISTING CONDITIONS.
- IO. THE GENERAL CONTRACTOR SHALL COORDINATE THE DEMOLITION WORK WITH THE OWNER'S USE OF THE PREMISES. ALL WORK TO BE SCHEDULED AND COORDINATED WITH THE OWNER.
- II. THE GENERAL CONTRACTOR SHALL PROVIDE DUSTPROOF PARTITIONS AROUND THE CONSTRUCTION AREA DURING ALL DEMOLITION AND CONSTRUCTION WORK.
- 12. THE GENERAL CONTRACTOR SHALL MAINTAIN SAFE ACCESS TO ALL DESIGNATED EXITS FOR THE BUILDING OCCUPANTS DURING CONSTRUCTION.
- 13. STORAGE FOR CONTRACTOR'S EQUIPMENT AND DEBRIS MUST BE KEPT INSIDE THE CONTRACT AREA.
- 14. DUMPSTERS FOR CONSTRUCTION DEBRIS ARE TO BE PROVIDED BY THE CONTRACTOR.
 ALL DEBRIS TO BE HAULED OFF SITE UPON REMOVAL BY CONTRACTOR.
- 15. IF MATERIALS ARE SUSPECTED TO CONTAIN ASBESTOS, THE GENERAL CONTRACTOR IS TO IMMEDIATELY INFORM THE OWNER AND ARCHITECT. ALL EXISTING MATERIALS KNOWN TO CONTAIN ASBESTOS THAT ARE TO BE REMOVED SHOULD BE DONE SO IN ACCORDANCE WITH ESTABLISHED NEW YORK STATE ASBESTOS LAW (INDUSTRIAL CODE RULE 56). HOMEOWNERS ARE ALLOWED TO REMOVE ASBESTOS FROM THEIR SINGLE FAMILY DWELLING.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING STRUCTURAL AND WEATHER TIGHT INTEGRITY OF EXISTING STRUCTURE DURING THE CONSTRUCTION.

CAST-IN-PLACE CONCRETE AND REINFORCING:

- BEFORE PLACING CONCRETE REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BLOCKOUTS AND EMBEDDED ITEMS.
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4"x 45 DEGREES UNLESS OTHERWISE NOTED.
- 3. ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE AND NOT FROM GROUT.
- 4. ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
- 5. WELDING OF REINFORCING STEEL IS NOT PERMITTED.
- 6. THE USE OF DEFORMED REINFORCING STEEL OR ANCHORS ON EMBEDDED ITEMS IS NOT PERMITTED.
- 7. SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6X6 W2.9xW2.9 WELDED WIRE MESH.
- 8. THE FOLLOWING MINIMUM PROTECTION OF REINFORCING SHALL BE MAINTAINED.

 FOOTINGS

 CONCRETE EXPOSED TO EARTH OR WEATHER

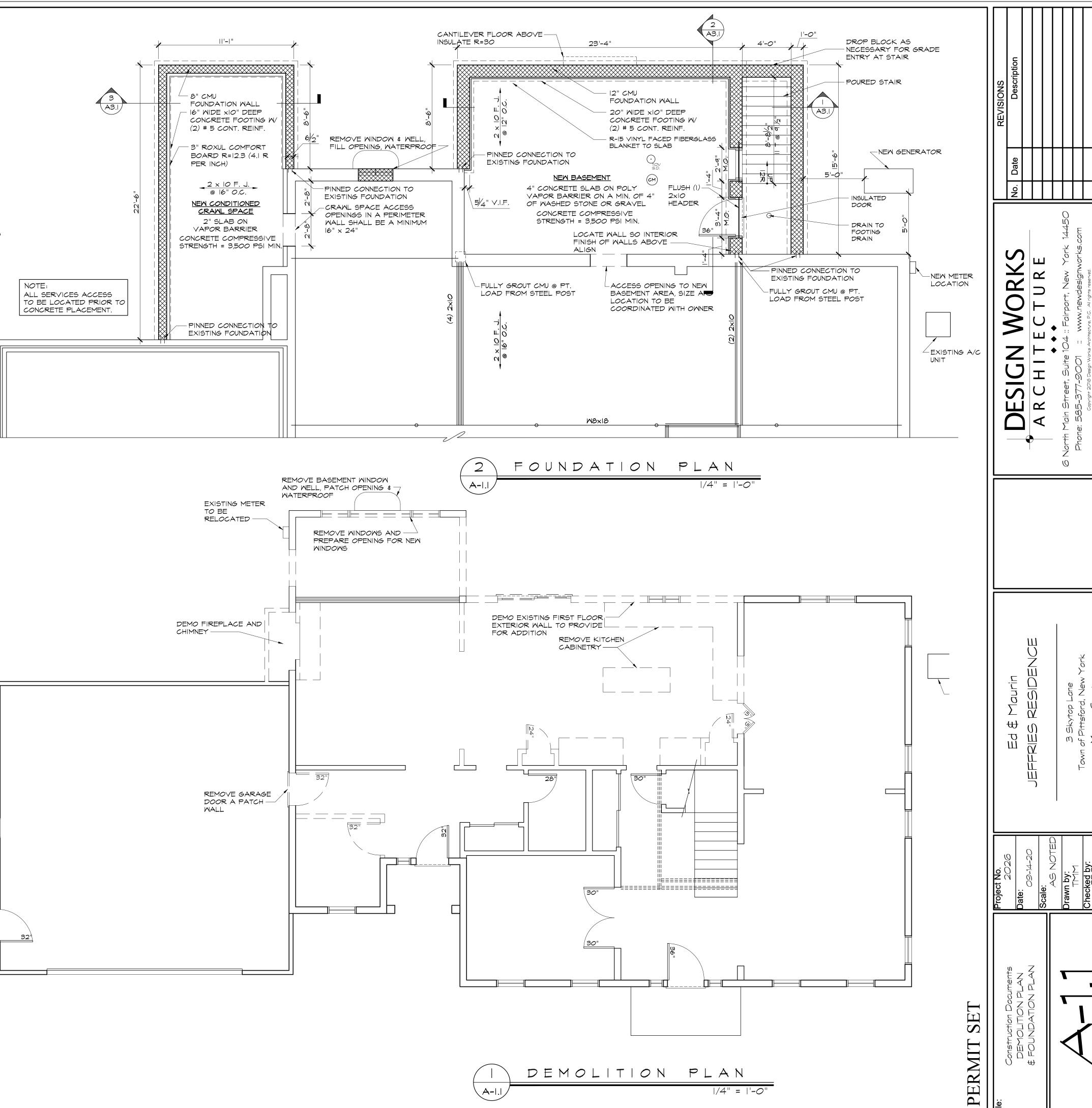
 2"

C.M.U. NOTES:

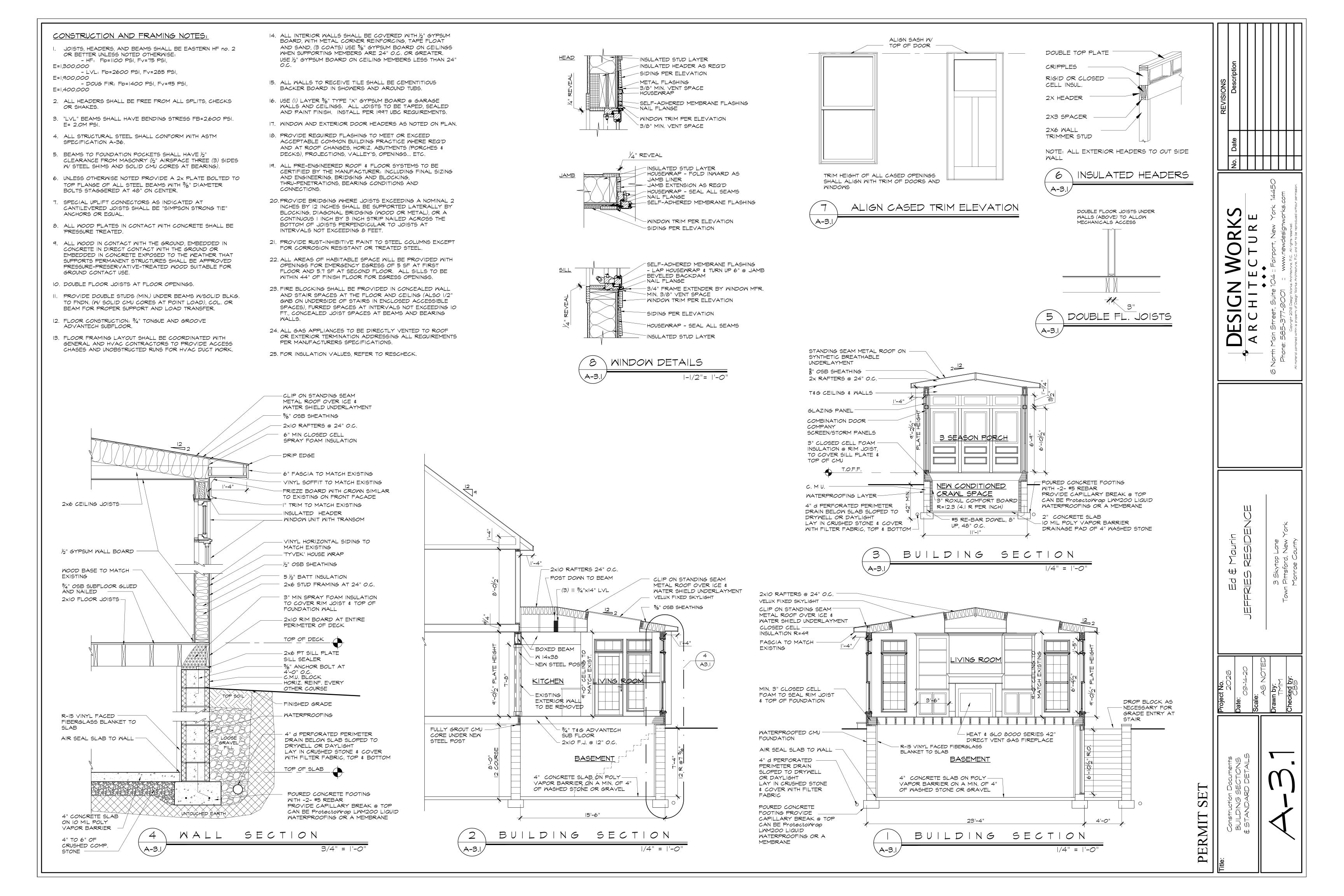
WALLS

SLABS

- I. CONCRETE MASONRY UNITS HOLLOW LOAD BEARING CONCRETE BLOCK SHALL BE 8"X16" NOMINAL FACE WITH THICKNESS AS SHOWN ON DRAWINGS.
- 2. MORTAR MORTAR SHALL BE TYPE N.
- 3. TRUSSED HORIZONTAL REINFORCING— SHALL BE PROVIDED AT 16" O.C. HORIZONTALLY.
- 4. BLOCKS SHALL BE LAID IN REGULAR BOND PATTERN WITH JOINTS OF 3/6" UNIFORM THICKNESS.
- 5. WHERE VERTICAL REINFORCING IS CALLED FOR ON PLANS FILL CELLS FULL HEIGHT WITH CONCRETE OF SPECIFIED STRENGTH.
- 6. ALL ANCHOR BOLTS TO BE SET IN MASONRY SHALL BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS SHOWN OR NOTED ON DRAWINGS SHALL BE MEASURED FROM TOP OF BLOCK AND NOT FROM



(2) SIMPSON -(2) SIMPSON HIP CORNER PLATES, ROOF & ATTIC NOTES: HCP4 (I) INSIDE, (I) OUTSIDE APPROVED BITUTHANE WATER SHIELD PRODUCT (ie. GRACE ICE VELUX FIXED AND WATER SHIELD) TO BE APPLIED TO ALL EAVES AND VALLEYS. | SKYLIGHT F&M | ROOF PITCH 3:12 OR LESS | 3:12 - 6:12 6:12 OR GREATER WATER SHEILD * ENTIRE ROOF 5'-0" 2x10 RAFTERS * DIMENSION FROM EXTERIOR FACE OF WALL UP ROOF SLOPE USE A RUBBER MEMBRANE ROOF ON ALL ROOFS WITH A PITCH OF LESS THAN 3:12. 2. 30# FELT RECOMMENDED UNDER METAL ROOF (IF APPLICABLE). (3) | 3/4"x14" LIVL, TAPÈRITOP OF BEAM AT ROOF LINE 3. ENCLOSED ATTIC SPACES MUST HAVE A MIN. NET FREE VENTILATING AREA OF 150 OF THE AREA OF VENTED SPACE. -CRICKET POST DOWN TO WITH THE EXCEPTION OF 1300 BEING ALLOWED IN CLIMATE ZONES 6, 7 OR 8 WHEN A CLASS | OR | VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE (R806.2). 4. ROOF CAVITIES THAT EXCEED 30 SF, REQUIRE ACCESS OF CRICK#T EXISTING ROOF 22"x30" WITH HEADROOM ABOVE THE OPENING OF AT LEAST 30" MUST BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION (R-807). . PROVIDE REQUIRED FLASHING TO MEET OR EXCEED COMMON BUILDING PRACTICE WHERE REQUIRED AND AT ROOF CHANGES, PROJECTIONS, VALLEYS, ETC. INSTALL DIVERTER FLASHING AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL. 6. FINAL ON CENTER ROOF RAFTER LAYOUT BY BUILDER. 7. BUILDER TO MAINTAIN PROPER VENTILATION GAP PER DETAILS ROOF PLAN IN ALL RAFTER BAYS. 8. FINAL GUTTER AND DOWNSPOUT SIZES AND LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR. DOWNSPOUTS SHALL BE TIED INTO STORM WATER SYSTEM IF AVAILABLE OR MALL TYPE LEGEND EMPTY ONTO SPLASHBLOCKS. COMBINATION DOOR ⊓3'-4³⁄4" COMPANY DOOR EXTERIOR INSULATED WALL TRUSSES (IF APPLICABLE TO PROJECT) SCREEN/STORM PANELS FRAMED IN PLACE TYP. EXTERIOR 2x FRAMING 9. TRUSSES SHOWN AS CONCEPTUAL DESIGN ONLY. 3'-0" 10. TRUSSES TO BE ENGINEERED AND SUPPLIED BY CERTIFIED TRUSS INTERIOR STUD FRAMING TOTAL ADDITION = 604 SF MANUFACTURER. HALF WALLS BUILT-IN II. FINAL DESIGN BY TRUSS MANUFACTURER TO BE APPROVED BY OWNER PRIOR TO FABRICATION. POURED CONC. REAR VENT GASFIRE 12. PROVIDE HURRICANE TIE FOR EACH TRUSS. USE SIMPSON H2.5 FOUNDATION MALL PLACE UNLESS NOTED OTHERWISE. 3 SÉASON PÓRCH <u>LIVING ROOM</u> 4'-57/8" 4'-57/8" 10'-0"× 10'-4" 22'-3"x 28'-8" 9'-0" CEILING TO VAULTED T&G CEILING FLOOR PLAN NOTES: MATCH EXISTING VELUX FIXED ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE EDGE SKYLIGHT FCM OF SHEATHING OR CENTERLINE OF STRUCTURAL MEMBER 5'-6/2" -NEW GENERATOR ALL INTERIOR STUD DIMENSIONS ARE FROM CENTER 36"[®]SINK LINE TO CENTER LINE OF STUDS (U.N.O. - UNLESS NOTED OTHERWISE). - 27*00*# ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. KITCHEN EXISTING SHED BOXED BEAM - MSULATED NSULATED DOOR CM 14'-2"×9'-8" TO BE 14'-0"× 20'-0" RELOCATED AS SHOWN 4. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.) MUDROOM (3) EXISTING 14" MICRO LAM FLUSH 10'x110'-10" 5. ALL EXTERIOR HEADERS TO BE (2) 2x6 INSULATED −3½" Ф STEEL COL. TO (U.N.O.) 83/4" FULLY GROUTED CMU LOCATION BELOW BOTH ENDS 5'x9' ISLAND 6. DOUBLE TRIMMERS AT ALL 4'-O" OPENINGS AND W HOOD 7. ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.) LOCKERS DINING Θ 8. ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM - EXISTING A/C OF MAIN LEVEL SUB-FLOOR (U.N.O.) $III \ \sigma$ 20 MIN. FIRE RATED 36" REF. 9. INDICATES (3) STUD POST, GLUED AND NAILED (U.N.O.) DOOR & FRAME W/ SELF CLOSING HARDWARE -IO. REFER TO EXTERIOR ELEVATION FOR WINDOW SIZES. REFRAME %" TYPE 'X' FIRE RATED GYPSUM BOARD BETWEEN 4 OPENING 7 II. COORDINATE LOCATION OF UTILITY METERS WITH SITE 32" barn dr 1/3'-6" HOUSE AND GARAGE ON PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL GARAGE SIDE- PROVIDE IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS I/2" TYPE 'X' FIRE RATED POSSIBLE. GYPSUM BOARD ON THE PANTRY HOUSE SIDE OF WALL -2'-11"x8'-11 12. CONTRACTOR TO COORDINATE ALL CLOSET SHELVING AND CABINETRY REQUIREMENTS. CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATION, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. LAUNDRY OVERALL FLUE HEIGHT SHALL BE COORDINATED TO 6 - 11 × 7'-11 !!E=====|======= MATCH HEIGHT SHOWN ON PLANS, AND SHALL NOT ══╃╫╫╒╒╒╒╒┋ EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DENSITY RATING LESS THAN 450. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO SE THE OUTSIDE WITH A MINIMUM OF A 70 CFM FAN. OR WITH A WHOLE HOUSE VENTILATION HEAT RECOVERY SYSTEM. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE. 17. RANGE HOODS WITH A CFM OF 400 OR GREATER SHALL BE PROVIDED WITH MAKEUP AIR FROM EXTERIOR FIRST FLOOR PLAN TO MAINTAIN NEUTRAL INTERIOR AIR PRESSURE.

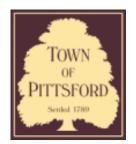












Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B20-000151

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 35 Trowbridge Trail PITTSFORD, NY 14534

Tax ID Number: 151.15-3-11

Zoning District: RN Residential Neighborhood

Owner: Lake, Matthew C

Applicant: Great Day Improvements LLC

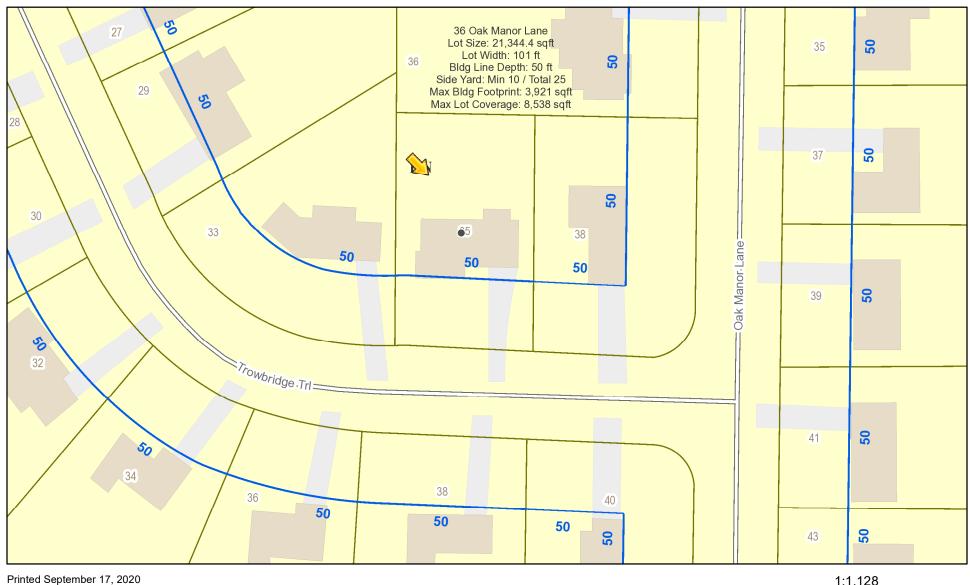
Application Type:

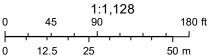
-P P		
✓	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for the addition of a three season room. The room will be approximately 160 square feet and will be located to the rear of the home.

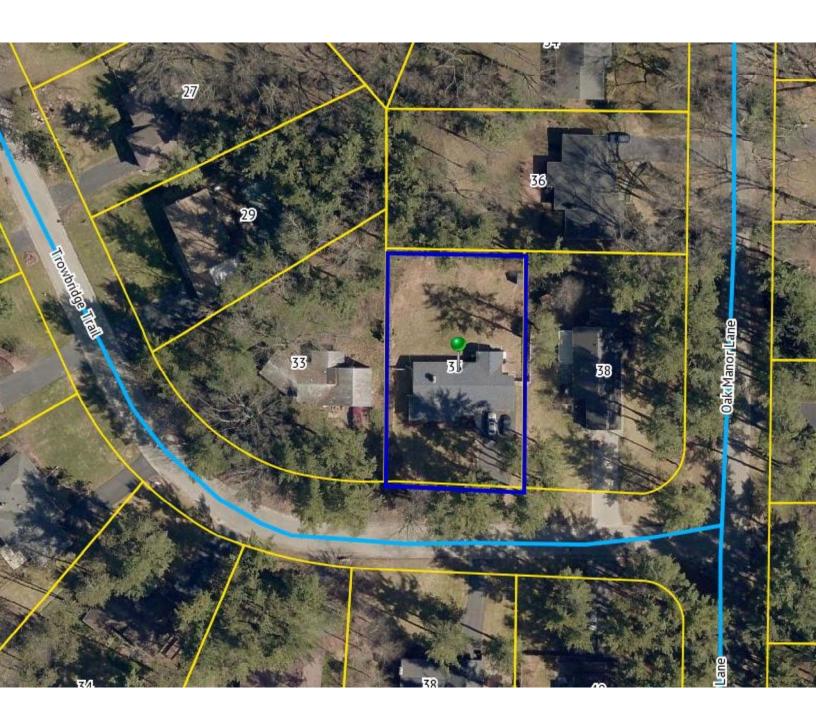
Meeting Date: September 24, 2020

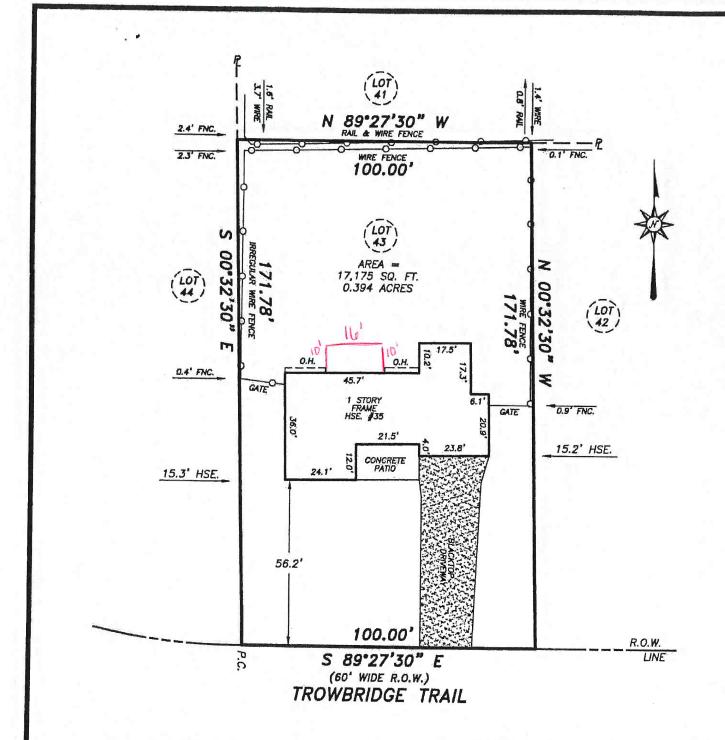
RN Residential Neighborhood Zoning





Town of Pittsford GIS





CERTIFICATION:

- I, ANDREW M. HODGE, HEREBY CERTIFY TO:
- -MATTEW C. & JENNIFER E. LAKE
- -SOVEREIGN BANK ITS SUCCESSORS AND/OR ASSIGNS

- -CREARY & FARTY THERNEYS
 -MONROE HE CONSUMENCE ORI 2009

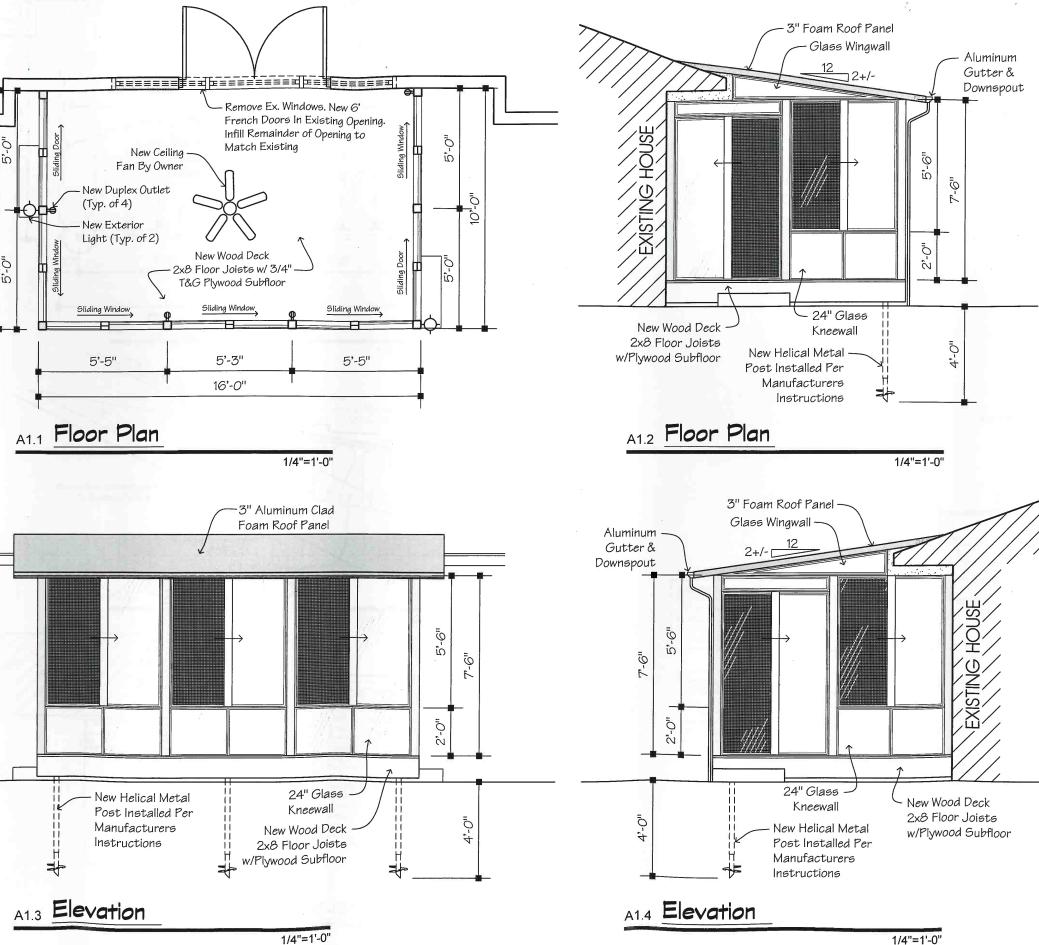
DATE

REFERENCES:

- 1.) LIBER 129 OF MAPS, PAGE 80.
- 2.) LIBER 9,915 OF DEEDS, PAGE 516.
- 3.) ABSTRACT OF TITLE No. 161515 (MONROE).







General Notes:

- 1. All Wood in Direct Contact With Concrete Must Be EPA Approved Preservative Treated Per Code, & Designated As "Ground Contact"
- 2. All Connections To Existing House Shall Be Done In Accordance With Sound Construction Practices, Particular Attention Must Be Given To Ensure A Proper Load Path From The Sunroom To The Existing House Framing & To The Sunroom Foundation
- 3. All Wood Member Connections Shall Be Rigid & Secure Or Simpson Strong-Tie Or Equivalent Where Applicable
- 4. When Using EPA Approved Preservative Treated Lumber In Contact With Aluminum, First Isolate Wood From Aluminum With Either Of The Following: 15 Lb Roof Felt, Or 10 Mil Plastic Sheeting Prior To Installation Of Aluminum. All Fasteners In Direct Contact With Preservative Treated Wood Shall Be Hot-Dipped Galvanized Per ASTM A153, Or Other Approved Protective Coating Trim Coil To Be Attached to Isolated Wood Post Using Stainless Steel Nails. Lags Onto Decks Must Penetrate Center Of Header Or Joist Board, Or Provide Solid Blocking For Lag Embedment.
- 5. Wedge Bolts Shall Have Empigard "Tri-Coat Coating" & Shall Be Installed Per Manufacturers Recommendations.
- 6. All Windows, Doors, & Glass Wing Panels Shall Be Tempered Insulated Glass. Roof Panels Are Tempered Insulated Glass Or Annealed Insulated Laminated Glass If Height Above Grade Equals 12 Feet Or More
- 7. Registered Proffesional Stamping These Details Cannot Be Responsible For Soil Bearing Analysis Or Adequacy Of Existing Structures, Or Proposed Work Performed Or Coordinated By Owner

- Note:

 1. This is A 3 Season, Unheated, Non-Habitable

 1. This is A 3 Season, Unheated, Non-Habitable
- 2. Either The Contractor Or The Owner Shall Install Smoke Detectors Throughout Existing Structure Per RCNYS 313
- 3. All Dimensions Are Nominal, Installed On New Or Existing Concrete Foundation

Certify That When This Pre Engineered Structure By "Patio Enclosures, Inc." Is Assembled With The Manufacturers Directions It Meets The Design Load Requirements Of RCNYS: Snow: 55 Psf Wind: 115 Mph

Notes:

1. All Lumber To Be S-P-F#2 Or Better

- All Lumber In Contact w/ Concrete
 To Be Pressure Treated
 All Lumber Closer Than 18" To Ground To Be Pressure Treated
- 4. New 16"Dia Piers Calculated To Support Roof & Floor Loading

Design Loads: Snow- 50 PSF Wind- 115 MPH Live- 50 PSF Dead- 10 PSF

All Concrete Shall Be Min. 3500 PSI With 5 - 7% Air Entrainmat w/ Assumed Soil Bearing Capasity Of 1500 PSF





2620 North America Dr. West Seneca, NY 14224 (716) 674-6446

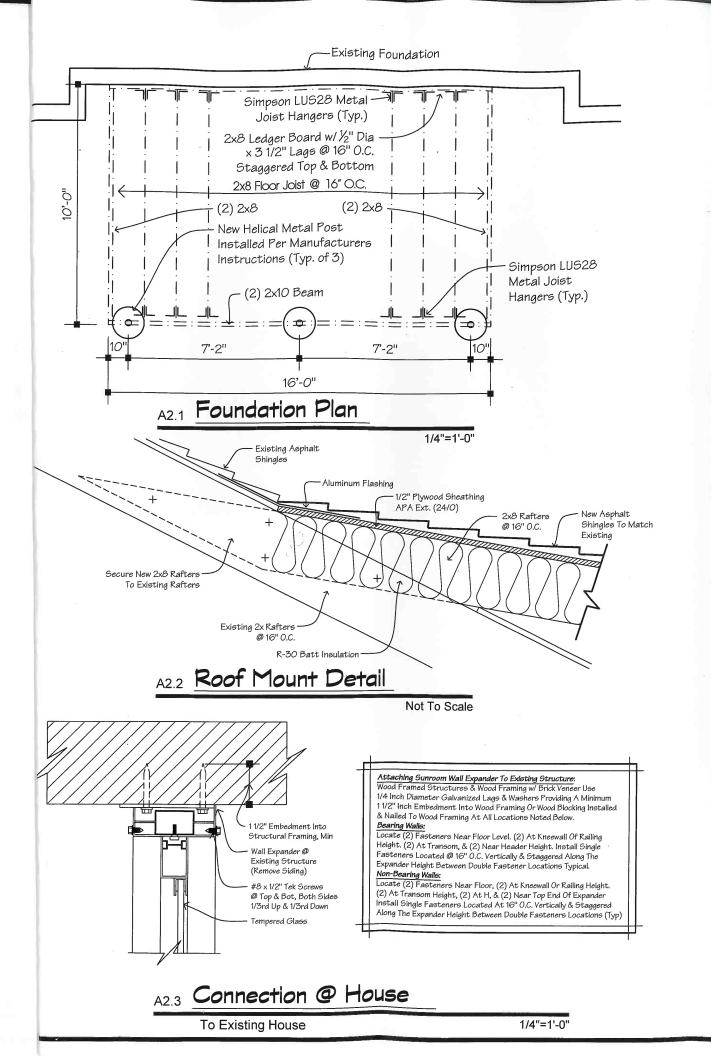
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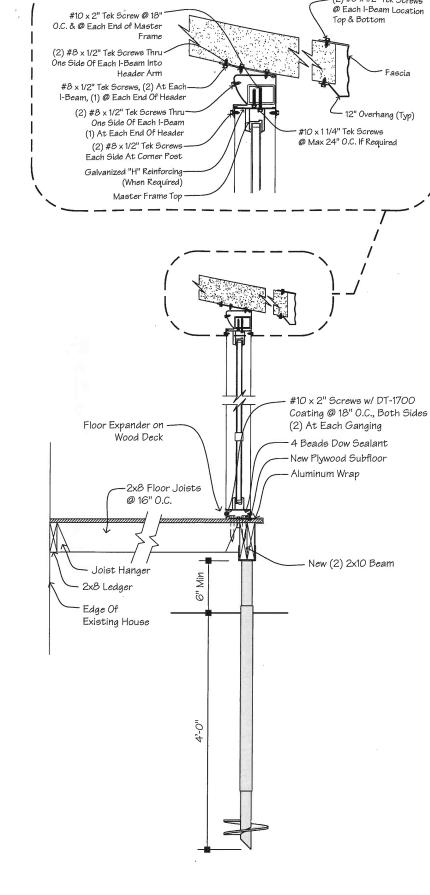
No.	Description	Date	Ву
1	Construction Documents	9-4-18	AE
Т			Т
Т			Т
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DATE:			
7-3	0-20		
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D. Wzientek M. Dean SCALE: 1/4"= 1'-0"

Plans & Elevations

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A2.4 Wall Section

Mounting To Existing Structures:
Remove Existing Siding & Any Compressible Sheathing

At Connection Points Of Enclosure To House, Lags Must

Mounting Note:
The Quality & Size of Fasteners Required Varies By

Application. A Ledger w/ Lags Adequately Fastened

To The Existing Structure, Or A Support Beam Mounted On Support Posts At The Face Of The Existing Structure

1/2" Embedment For Mounting Fasteners.

May Be Required Under Heavy Loads.

Be Securely Anchored To Structural Framing Or Install Blocking Securely To Structural Framing To Provide Minimum

Not To Scale



(2) #8 x 1/2" Tek Screws

20-273



2620 North America Dr. West Seneca, NY 14224 (716) 674-6446

Residence
35 Trowbridge Trail

No.	Descript	ion	Date	Ву
1 Construction Documents			9-4-18	ΑE
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AS NOTED

Foundation Details

A2

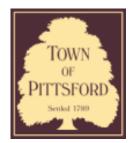
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Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B20-000150

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 11 Random Woods PITTSFORD, NY 14534

Tax ID Number: 151.15-2-27

Zoning District: RN Residential Neighborhood

Owner: Weinstein, Ronald B

Applicant: David Burrows (Architect)

	Αpi	plica	ation	Tvi	oe:
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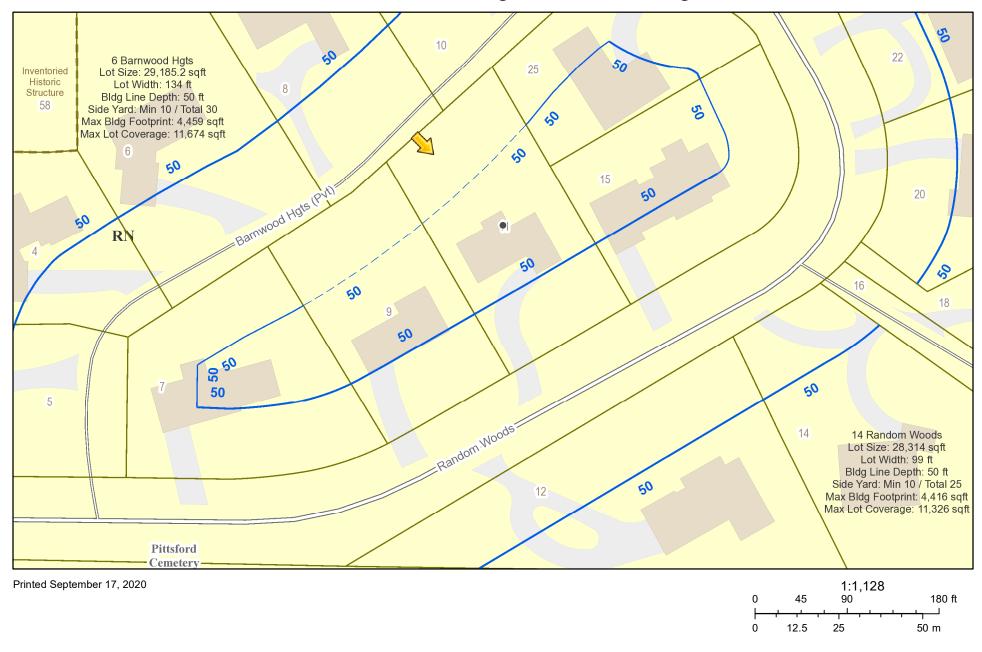
hh	iication Type.	
	Residential Design Review	Build to Line Adjustment
	§185-205 (B)	§185-17 (B) (2)
	Commercial Design Review	Building Height Above 30 Feet
	§185-205 (B)	§185-17 (M)
	Signage	Corner Lot Orientation
	§185-205 (C)	§185-17 (K) (3)
	Certificate of Appropriateness	Flag Lot Building Line Location
	§185-197	§185-17 (L) (1) (c)
	Landmark Designation	Undeveloped Flag Lot Requirements
	§185-195 (2)	§185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for the addition of a screened porch. The porch will be approximately 144 square feet and will be located to the rear of the property.

Meeting Date: September 24, 2020

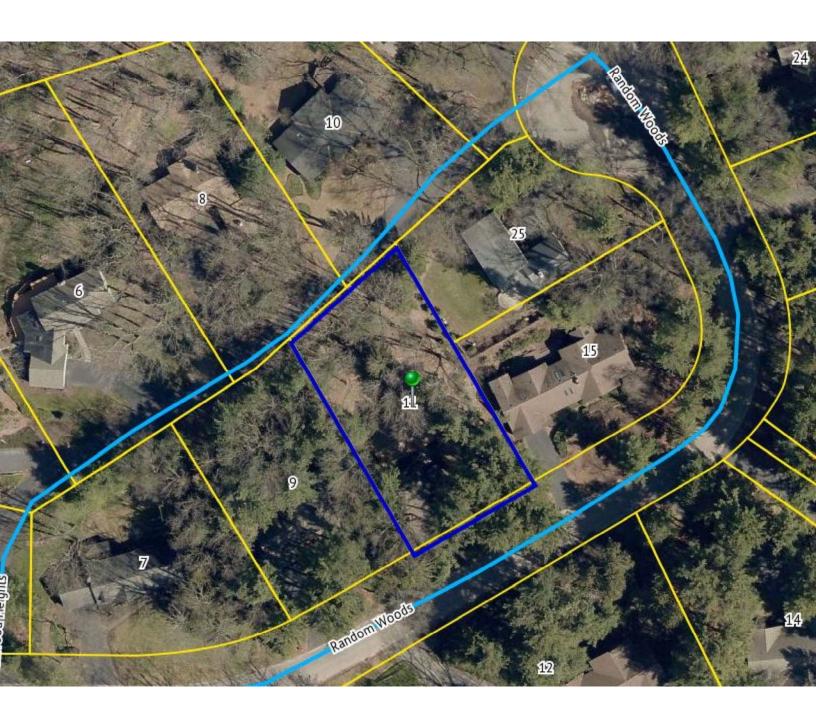


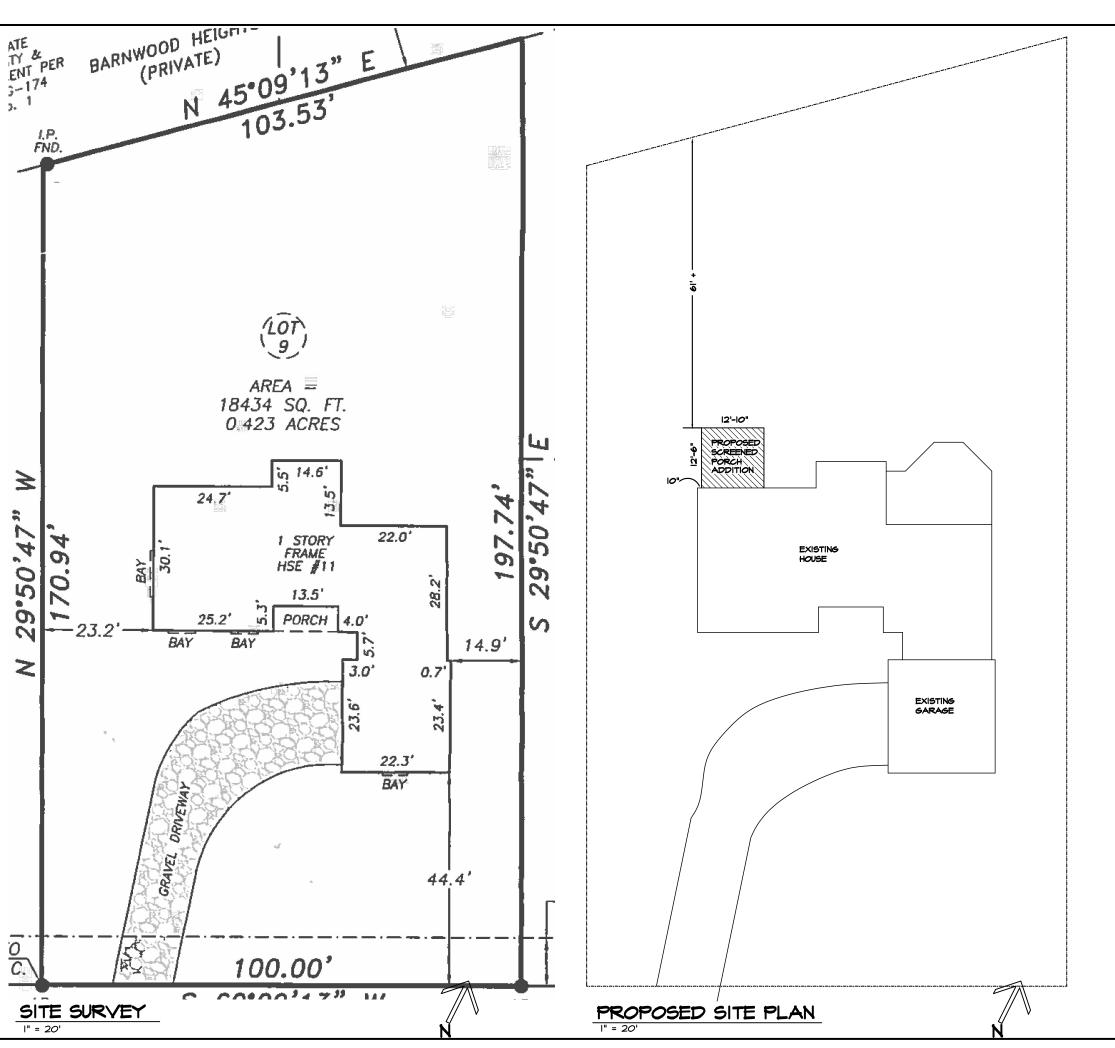
RN Residential Neighborhood Zoning



Town of Pittsford GIS

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These plans are instruments of service and may not be altered, reporduced, or copied without prior written approval.

Unauthorized alterations to these plans is a violation of the New York State Education Law, Section 7209, Article 145.

Contractor to verify all notes and dimensions before starting construction and be responsible for errors and/or omissions.

Contractor shall be responsible for construction means, methods, techniques, sequences or procedures, and safety precautions and programs in connection with the work.

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DAVID M. BURROWS, ARCHITECT

ZONING RN

LOT SIZE 18,434 SF

PER 185-17 (G) TABLE II
MAXIMUM FOOTPRINT = 3,722 SF
PROPOSED FOOTPRINT = 2,581 SF

PER 185-17 (H)

MAX LOT COVERAGE = 1,314 SF PROPOSED LOT COVERAGE = 4,091 SF

A-I COVER, SURVEY, SITE PLAN

A-2 FLOOR PLAN

A-3 EXTERIOR ELEVATIONS

A-4 FRAMING PLANS

A-5 BUILDING SECTIONS

INDEX TO DRAWINGS

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(585) 766-8220
burrowsarchitect@yahoo.com

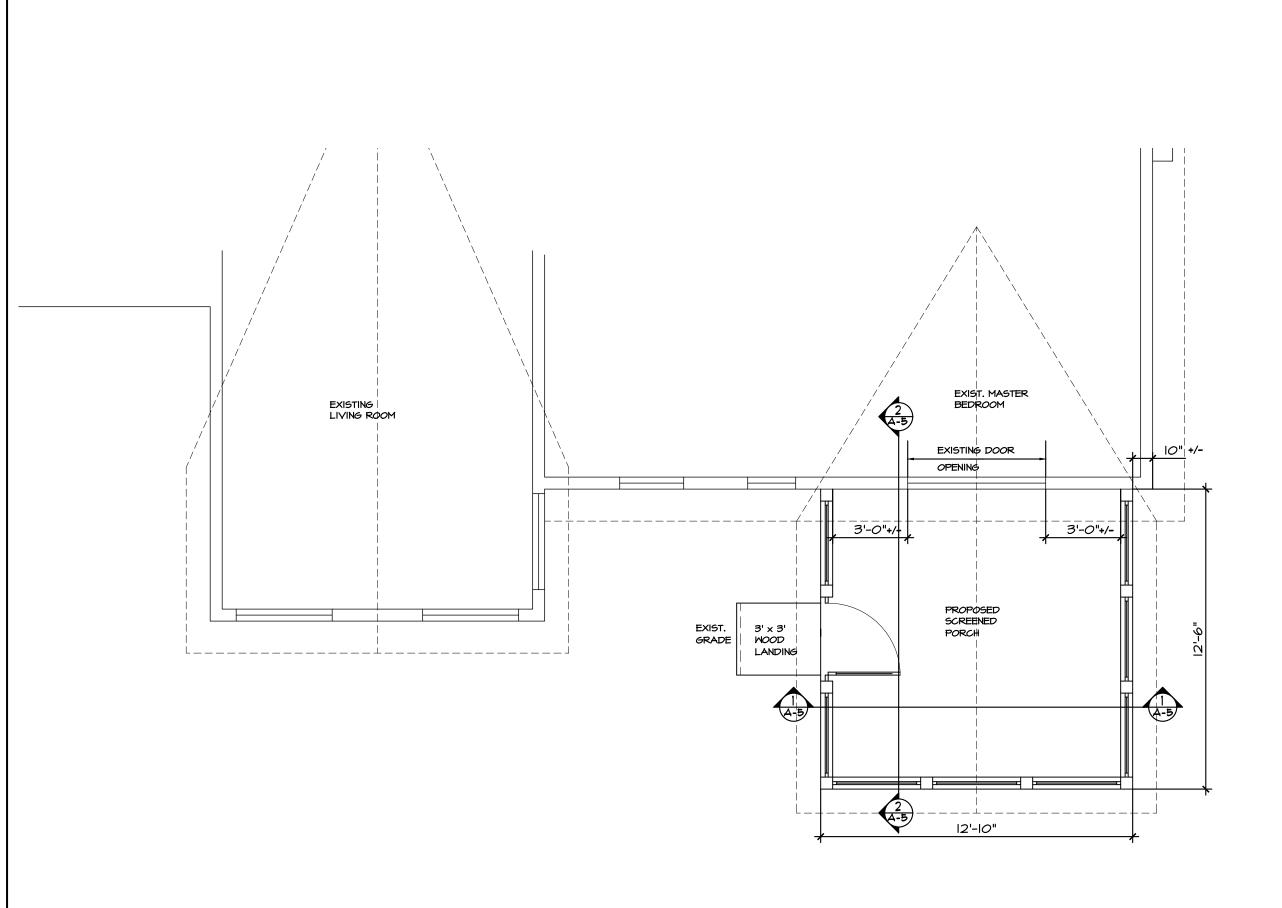
SCREENED PORCH FOR Lloyd THEISS and Ron WEINSTEIN 11 RANDOM WOODS PITTSFORD, NEW YORK 14534

> 09/09/20 REVISIONS

> > 2016

A-1

OF 5



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SCREENED PORCH FOR
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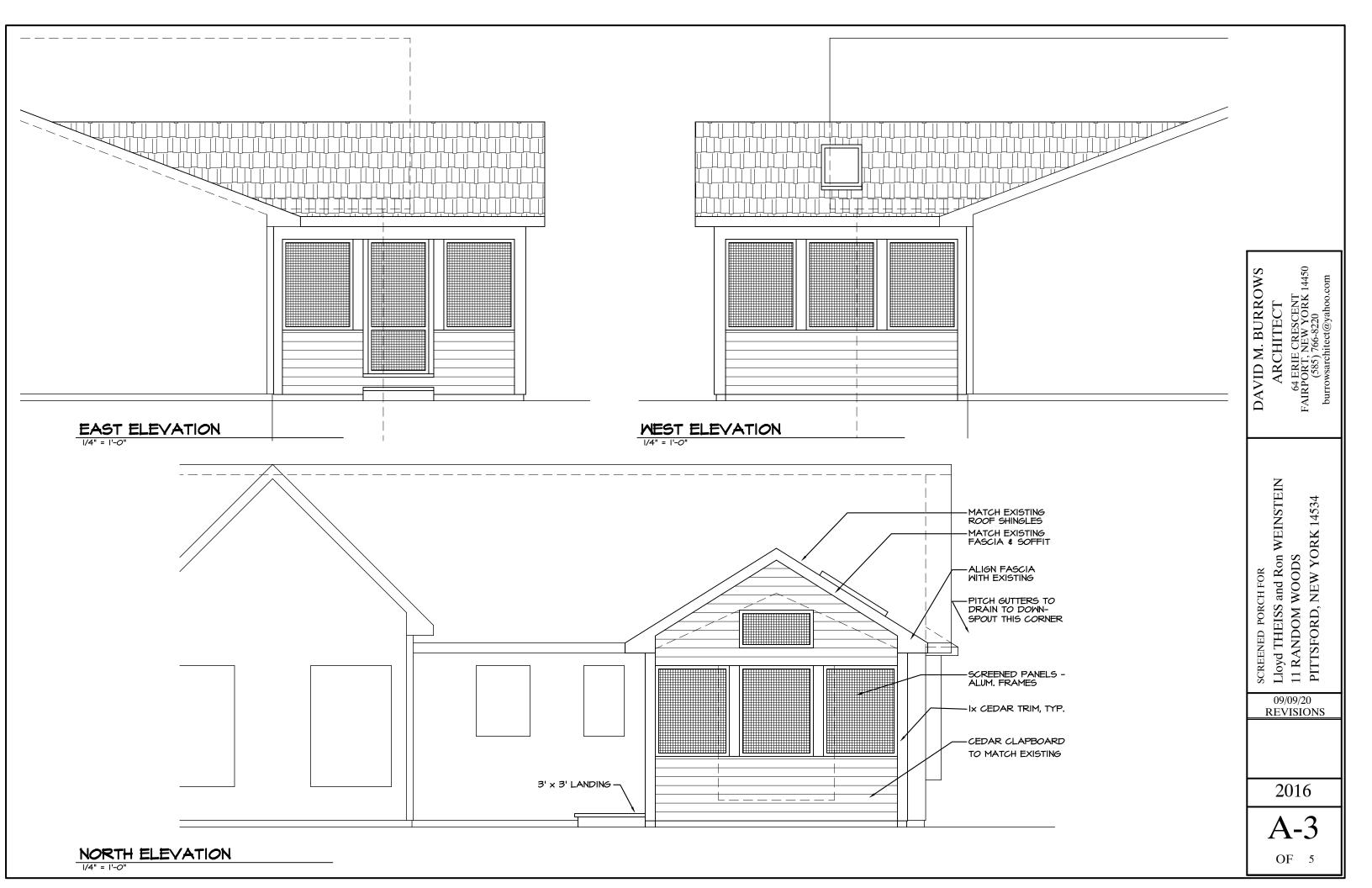
09/09/20 REVISIONS

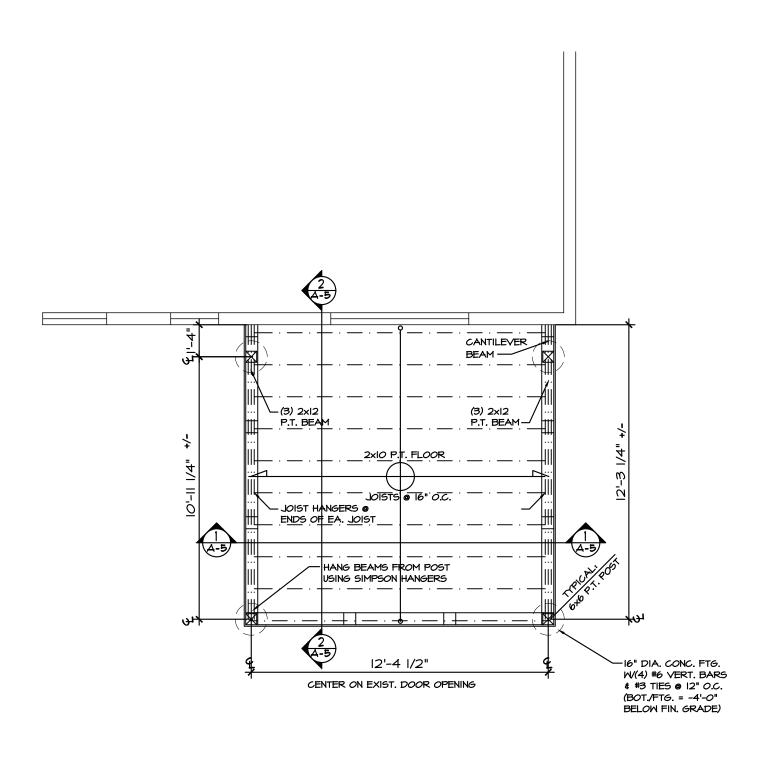
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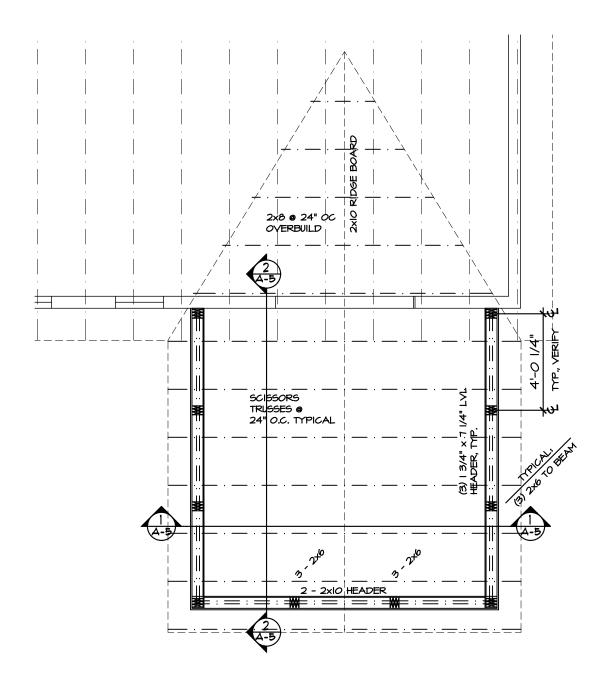
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OF 5

PLAN1/4" = 1'-0"







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SCREENED PORCH FOR
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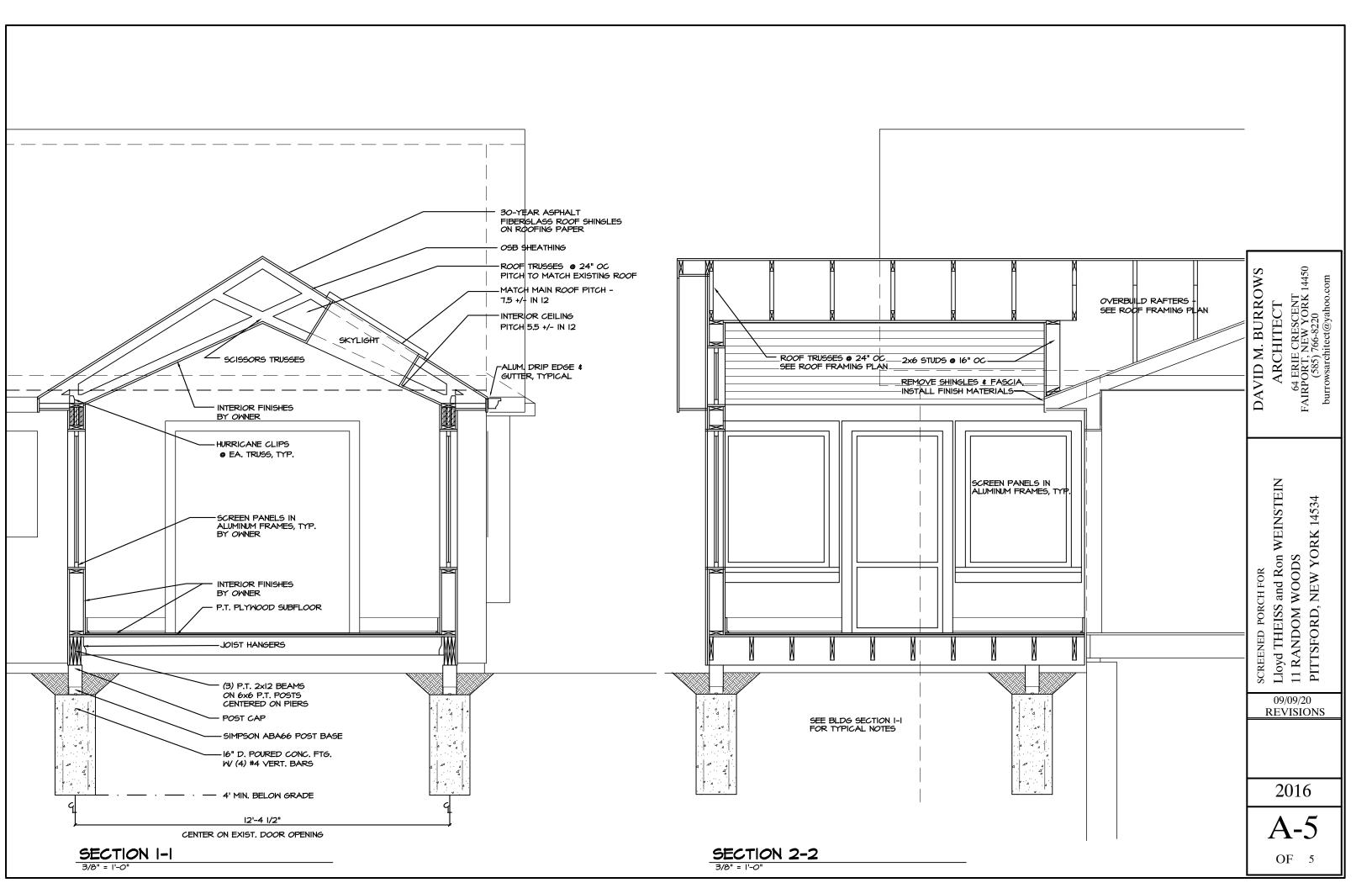
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2016

A-4OF 5

ROOF FRAMING PLAN

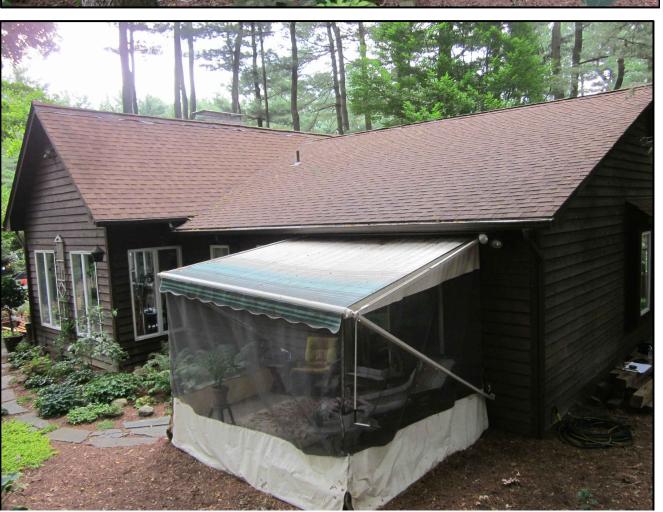
FOUNDATION & FIRST FLOOR FRAMING PLAN











EXISTING CONDITIONS PHOTOS

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burrowsarchitect@yahoo.com

SCREENED PORCH FOR Lloyd THEISS and Ron WEINSTEIN 11 RANDOM WOODS PITTSFORD, NEW YORK 14534

> 09/09/20 REVISIONS

> > 2016

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OF 1









Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B20-000152

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 319 East Street PITTSFORD, NY 14534

Tax ID Number: 178.16-1-8

Zoning District: RN Residential Neighborhood

Owner: Sass, Byron

Applicant: Rochester Flooring

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Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Ábove 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

Project Description: Applicant is requesting design review for the addition of a dormer. The dormer will be located on the northeast corner of the home and will match the existing dormer on the south east corner.

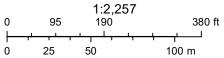
Meeting Date: September 24, 2020



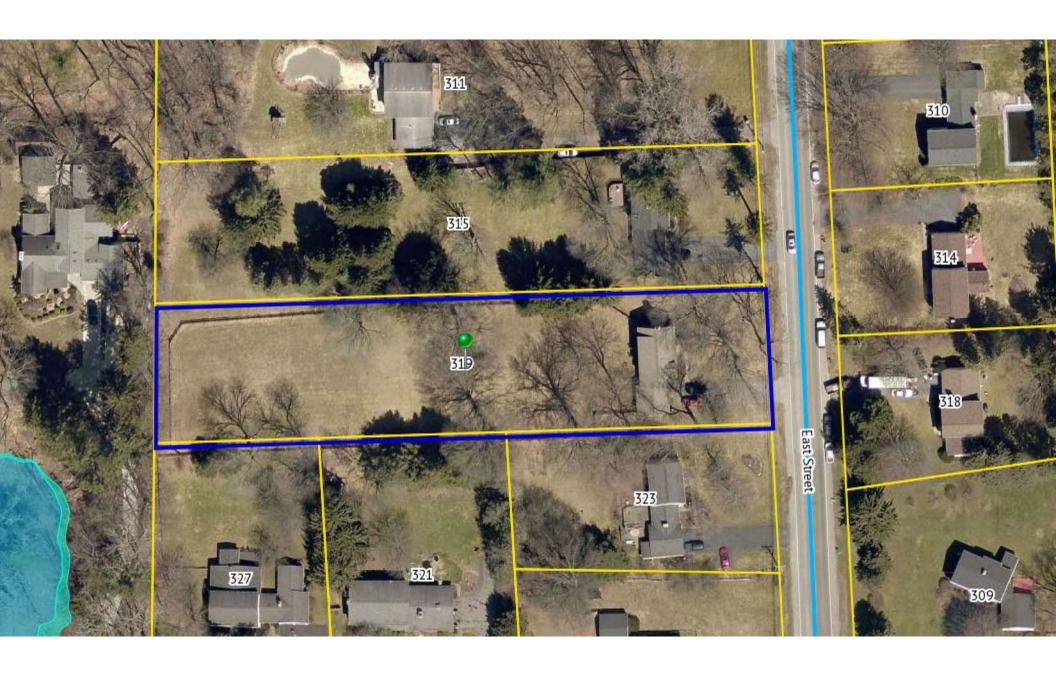
RN Residential Neighborhood Zoning

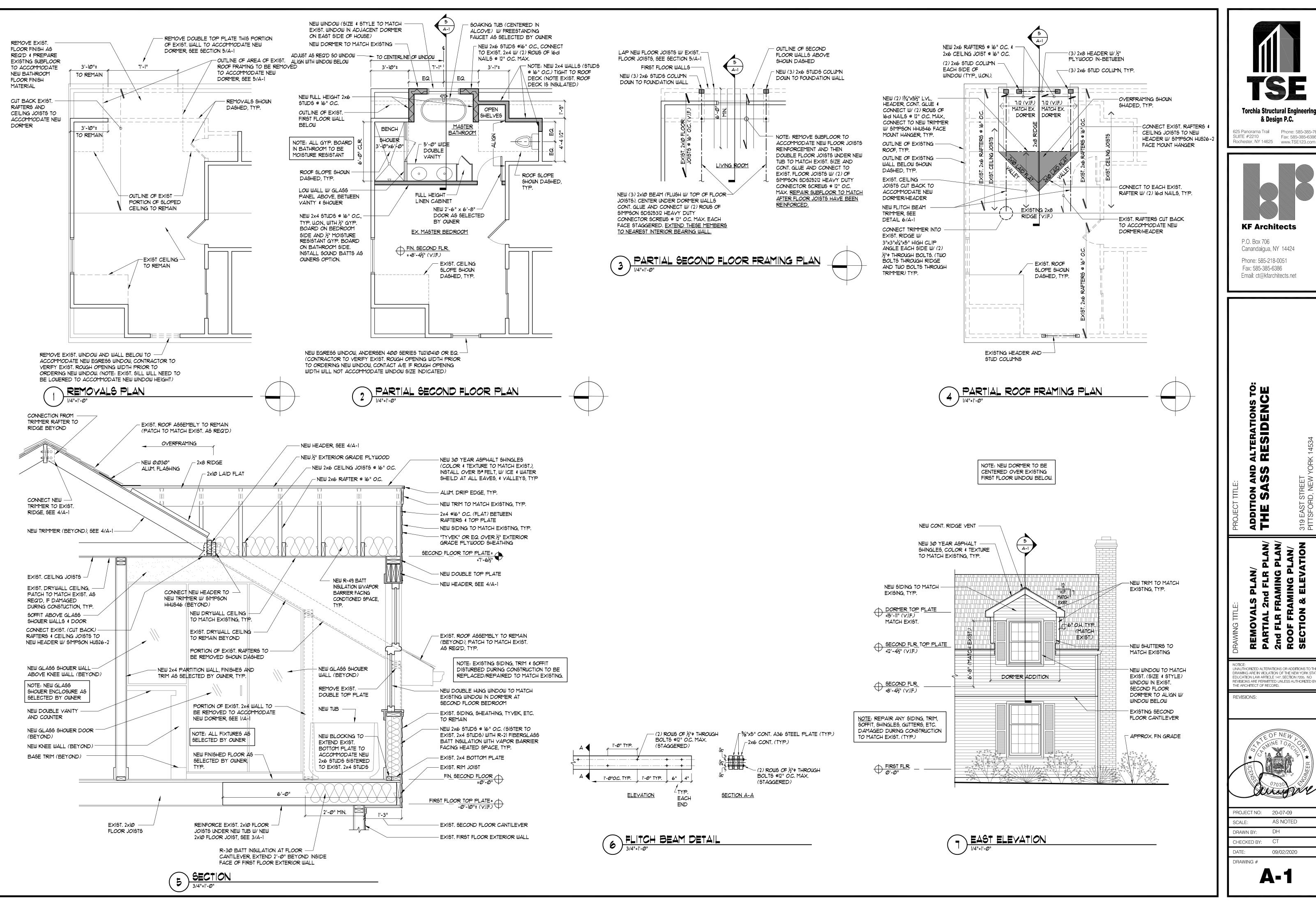


Printed September 17, 2020

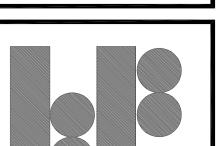


Town of Pittsford GIS









Fax: 585-385-6386

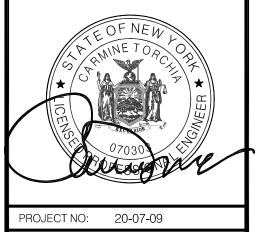
KF Architects P.O. Box 706 Canandaigua, NY 14424 Phone: 585-218-0051

Fax: 585-385-6386 Email: ct@kfarchitects.net

FERATIONS TO: ΕШ 4 1 AN ō ഗ

INAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DUCATION LAW ARTICLE 147, SECTION 7205. NO REVISIONS ARE PERMITTED UNLESS AUTHORIZED BY THE ARCHITECT OF RECORD.

REVISIONS:

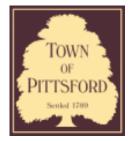


AS NOTED DRAWN BY: DH HECKED BY: CT 09/02/2020 RAWING #









Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B20-000154

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Lexton Way PITTSFORD, NY 14534

Tax ID Number: 178.03-5-9

Zoning District: IZ Incentive Zoning

Owner: S & J Morrell Builders Applicant: S & J Morrell Builders

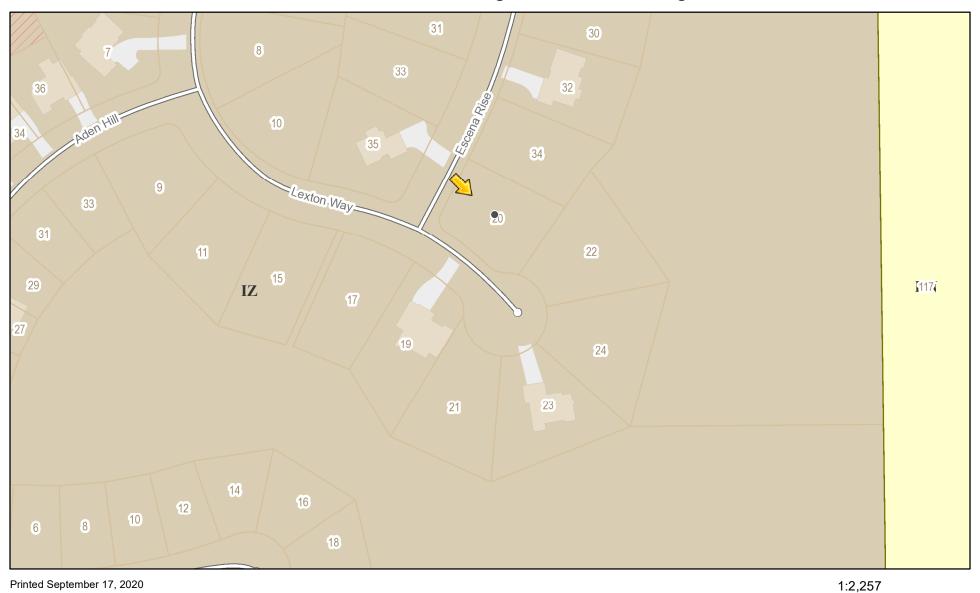
Application Type:

approducti Typot	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2199 square feet and located in the Wilshire Hills Subdivision.

Meeting Date: September 24, 2020

RN Residential Neighborhood Zoning



Town of Pittsford GIS

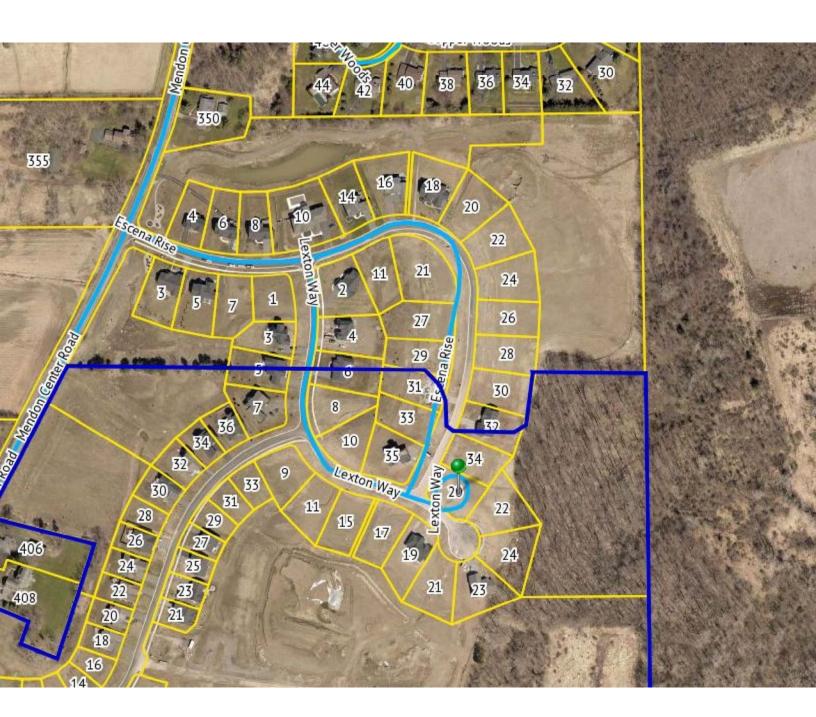
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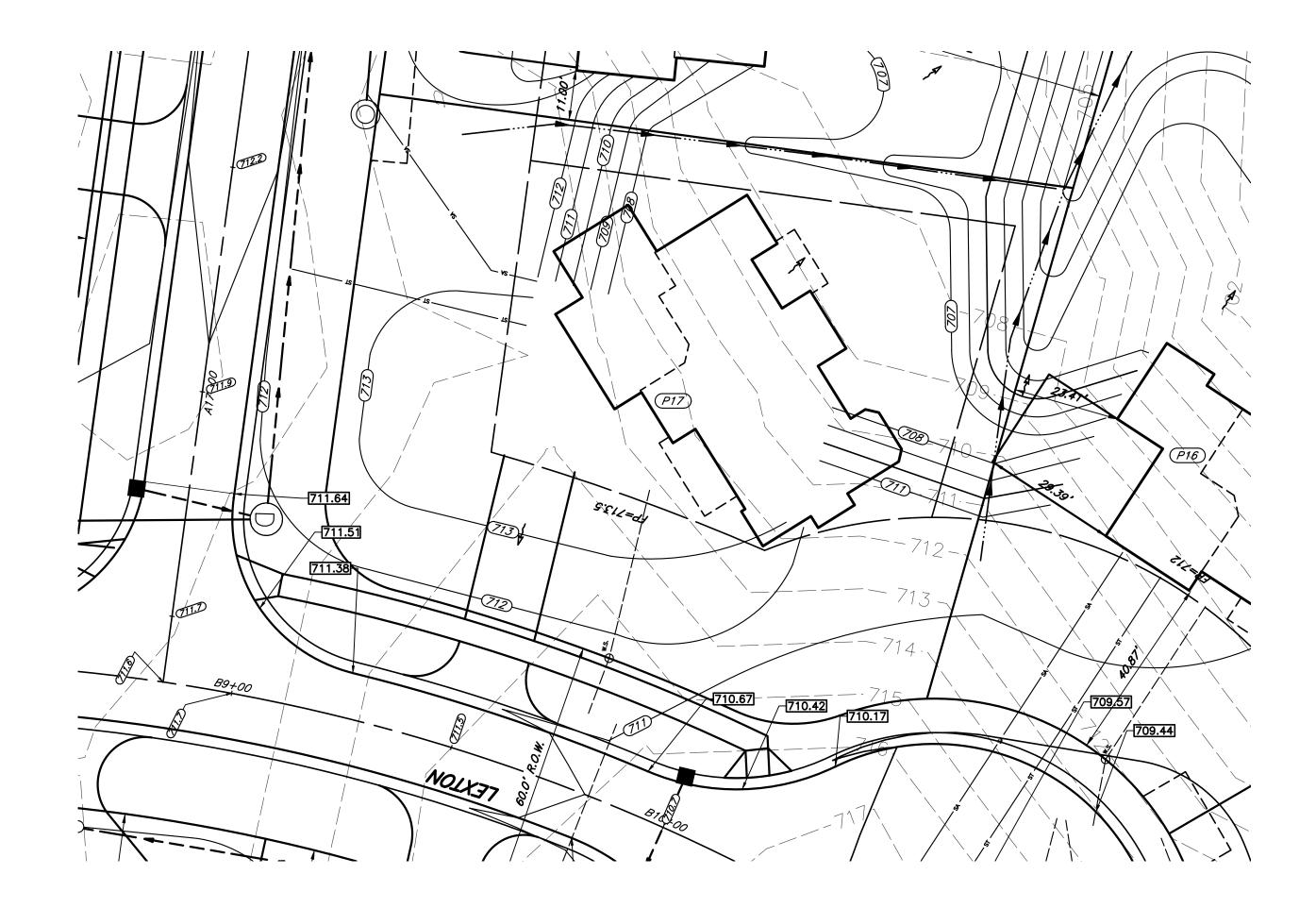
190

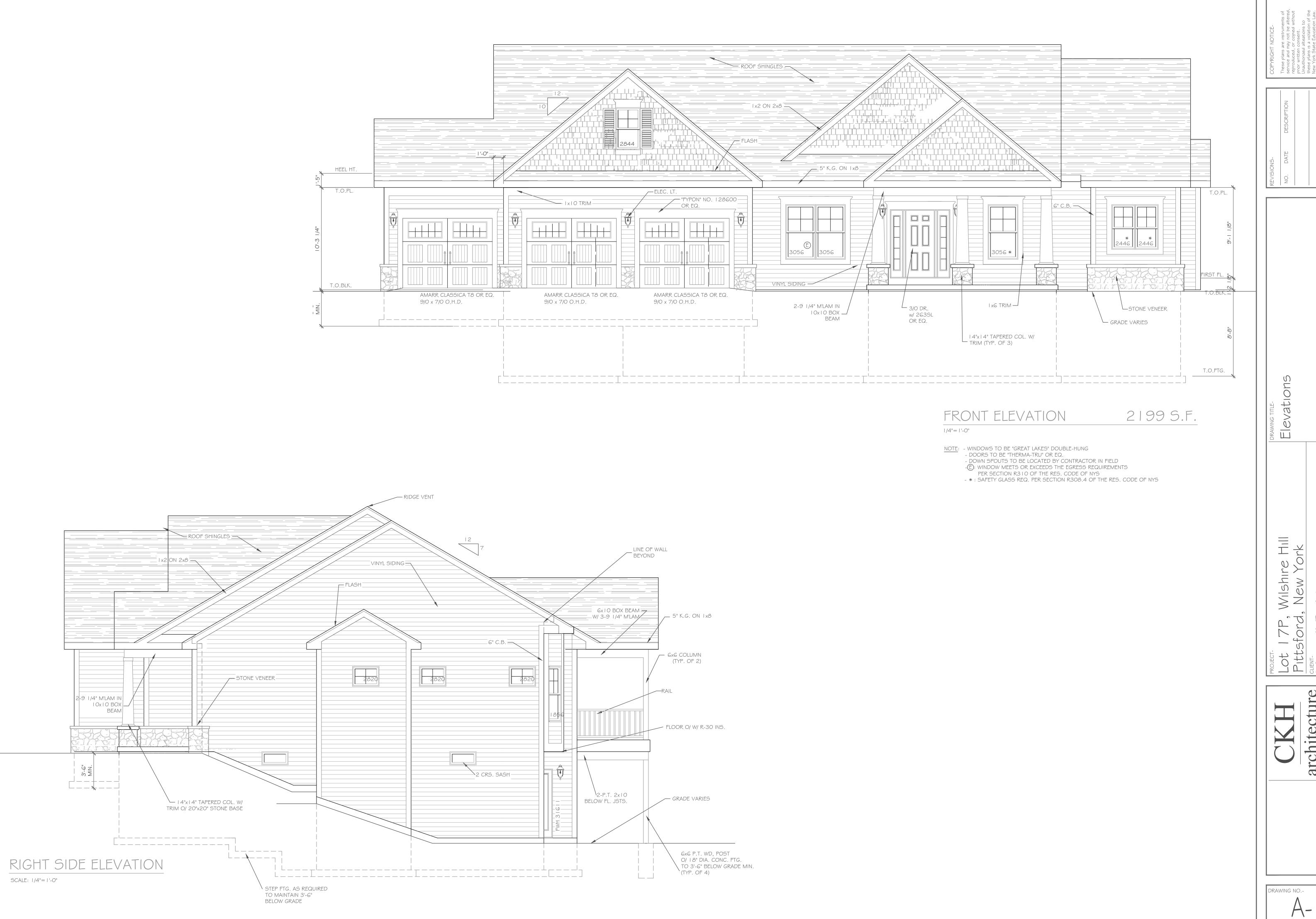
50

380 ft

100 m







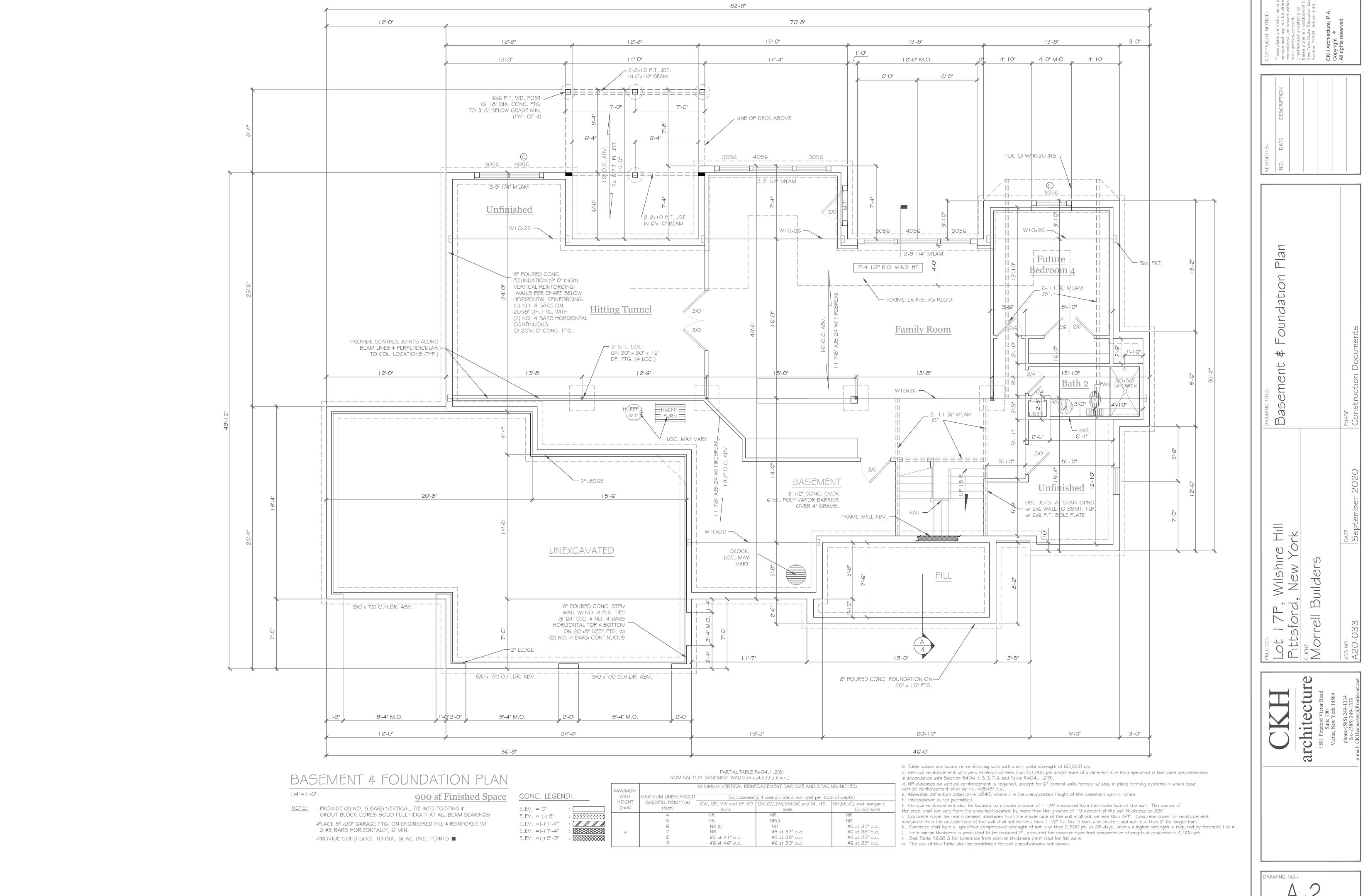
	DESCRIPTION			
-SNC	DATE			
REVISIONS-	ON			

		nts	
Elevations		PHASE- Construction Documents	
shire Hill w York	0 L S	DATE- September 2020	
Lot 17P, Wilshire Hil Pittsford, New York	Morrell Builders	JOB NO A20-033	



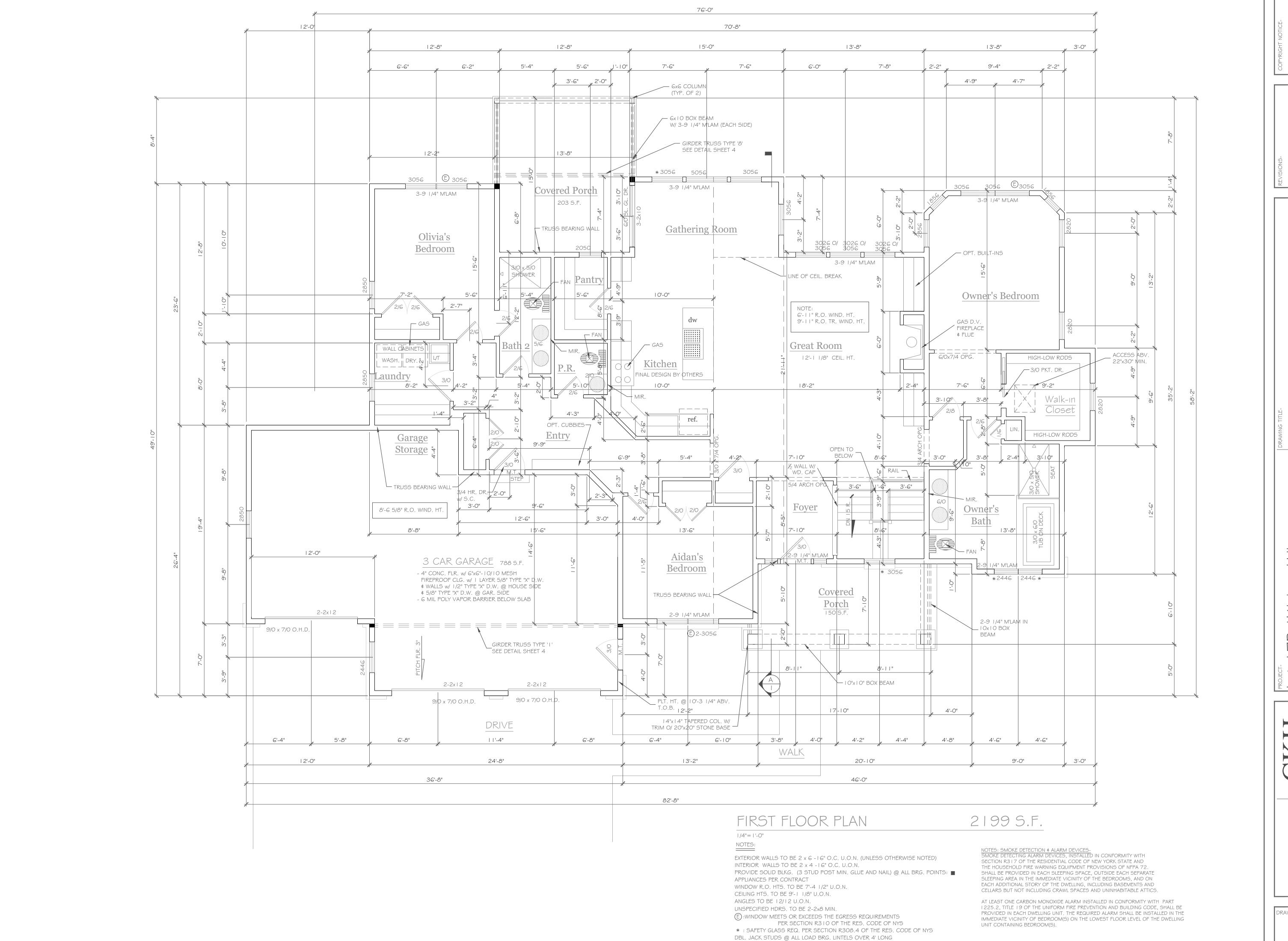






REVISIONS- NO. DATE		DESCRIPTION			
0.0.	-SN0	DATE			
	REVISIO	O Z			

ot 17P, Wilshire Hil		Basement & Foundation Plan
rittstora, New York Morrell Builders	<u>~</u>	
OB NO	DATE- September 2020	PHASE- Construction Documents



Wilshire Hill New York

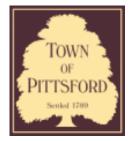
architectur

DRAWING NO.-









Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # S20-000014

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3077 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-67 Zoning District: C Commercial

Owner: Leicht, Gerald E Applicant: Leicht, Gerald E

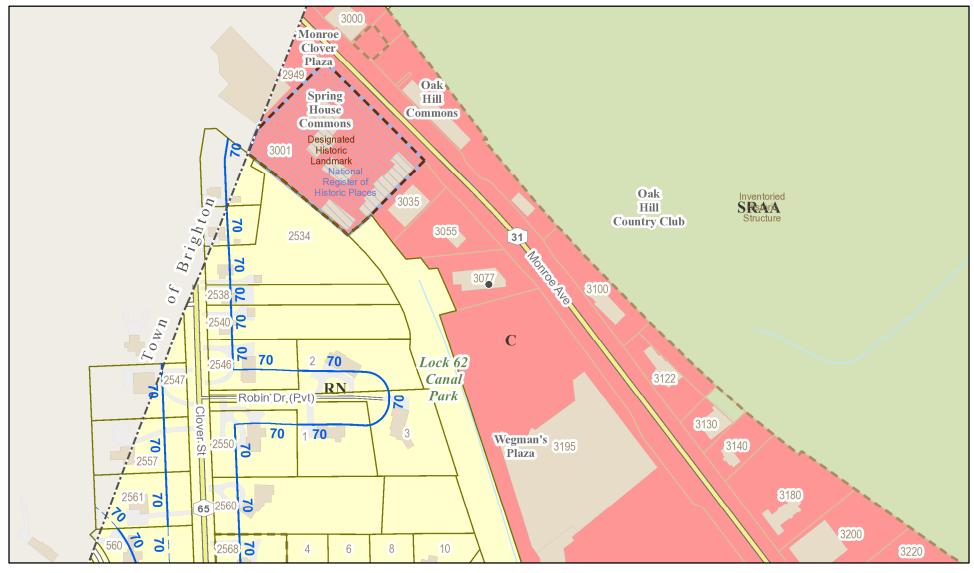
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	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
✓	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

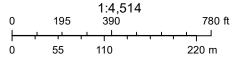
Project Description: The applicant is requesting Design Review for the proposed placement of Business Identification Sign for Tire Choice. The size and location has been approved by the Planning Board on 9/14/2020.

Meeting Date: September 24, 2020

RN Residential Neighborhood Zoning

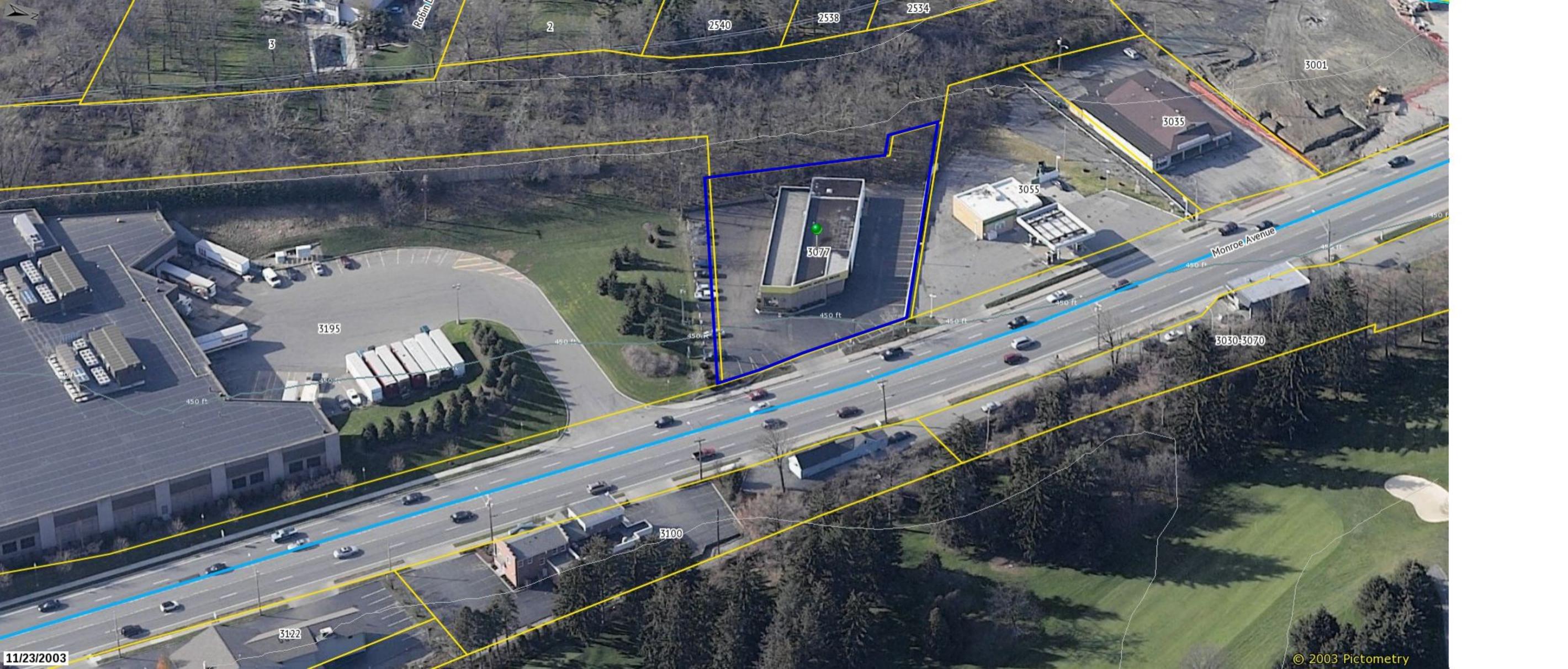


Printed September 17, 2020



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Tire Choice 0004 3077 Monroe Ave Pittsford, NY

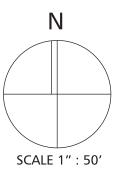
APPROVAL:	
DATE:	



SIGN PACKAGE REV 2

REV#	REV. DESCRIPTION HISTORY	REQUESTED BY	CSC DESIGNER	DATE
0	Tire Choice 0004 3077 Monroe Ave Pittsford NY Rev 0	Scott Buckley	James Brooks	8/20/19
1	Removed corrugated band	Scott Buckley	James Brooks	8/20/20
2	Revised side elevation	Scott Buckley	James Brooks	8/24/20





2B WALL SIGN



FRONT ELEVATION EXISTING S

SCALE 1/16": 1'



FRONT ELEVATION W/NEW SIGNAGE

SCALE 1/16": 1'







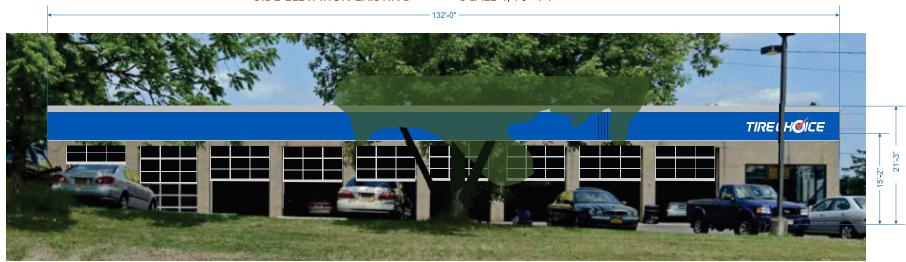
PAINT BAY DOOR
PROTECTION
SW 4084 SAFETY YELLOW

SIGN TYPE SPECIFICATIONS COLORS SIGN SURVEY ARTWORK RACEWAY CHANNEL LETTERS SINGLE FACE **▼** FACE TRIMS ✓ PROVIDED **CUSTOM** Full Service Sign Company ☐ WHITE - .040" ALUMINUM SIDES AND BACKS FINISHED CHEVRON BLUE FOR "TIRE CHOICE" - RED ■ PMS 2935 BLUE ☑ REQUIRED FOR REMAINING COPY ■ ILLUMINATED ■ PMS WARM RED ✓ RADIUS DIM. If required, customer to - 1/8" ACRYLIC FACES WITH FLAT DECORATED GRAPHICS ☑ BUILDING DIM. provide Custom Sign - 1" INTENSE BLUE TRIM CAP FOR "TIRE CHOICE" - RED FOR REMAINING COPY Center, Inc. with camera - LED ILLUMINATION WALL ready or appropriate digital file. Please contact your - FABRICATED METAL RACEWAY FINISHED MONRO BLUE ✓ OTHER salesperson or Design Staff for appropriate file types. Columbus, OH 43204 3200 Valleyview Drive This original design and all information herein are the property of Approval Signatures Required to insure that all FILENAME: Tire Choice 0004 3077 Monroe Ave Pittsford NY REV#1 **SCALE:** 1/16": 1' CUSTOMER: LANDLORD:_ Custom Sign Center, Inc. Artwork is subject to return if not purchased. spelling, colors, and specifications for sign(s) rendered **DATE:** 8/6/20 REV.DATE: 8/20/20 DGNR: JLB SALES: JS DATE: DATE: Any unauthorized use is forbidden. © Copyright 2007 All rights res meets customer & landlord approvals.



SIDE ELEVATION EXISTING

SCALE 1/16": 1'



SIDE ELEVATION W/NEW SIGNAGE

SCALE 1/16": 1'

36.3 sq. ft.

SIGN TYPE SPECIFICATIONS COLORS SIGN SURVEY ARTWORK RACEWAY CHANNEL LETTERS SINGLE FACE ✓ PROVIDED ✓ FACE TRIMS **CUSTOM** Full Service Sign Company □ WHITE - .040" ALUMINUM SIDES AND BACKS FINISHED CHEVRON BLUE FOR "TIRE CHOICE" - RED ✓ REQUIRED ■ PMS 2935 BLUE FOR REMAINING COPY ■ ILLUMINATED ✓ RADIUS DIM. PMS WARM RED If required, customer to - 1/8" ACRYLIC FACES WITH FLAT DECORATED GRAPHICS - 1" INTENSE BLUE TRIM CAP FOR "TIRE CHOICE" - RED FOR REMAINING COPY ☑ BUILDING DIM. provide Custom Sign Center, Inc. with camera - LED ILLUMINATION WALL ready or appropriate digital file. Please contact your ✓ OTHER - FABRICATED METAL RACEWAY FINISHED MONRO BLUE salesperson or Design Staff for appropriate file types. Columbus, OH 43204 FX: 614-279-7525 3200 Valleyview Drive PH: 614-279-6700 This original design and all information herein are the property of spelling, colors, and specifications for sign(s) rendered meets customer & landlard appears. LANDLORD:_ FILENAME: Tire Choice 0004 3077 Monroe Ave Pittsford NY REV#1 **SCALE:** 1/16": 1' Custom Sign Center, Inc. Artwork is subject to return if not purchased. **DATE:** 8/6/20 REV.DATE:8/20/20 DGNR: JLB SALES: JS DATE: Any unauthorized use is forbidden. C Copyright 2007 All rights re meets customer & landlord approvals.





ALL WIRING MEETS NEC 2017 SPECIFICATIONS. SIGN TO BE WIRED TO A STANDARD 120 VOLT / 20 AMP CIRCUIT. SIGN IS A U.L. LABELED PRODUCT

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SIGN TYPE	SPECIFICATIONS		COLORS	SIGN SURVEY	ARTWORK		
■ SINGLE FACE	RACEWAY CHANNEL LETTERS040" ALUMINUM SIDES AND BACKS FINISHED CHEVRO	ON DIVIE FOR WEIGH GUIGHGEW DED	☐ WHITE PMS 2935 BLUE	✓ FACE TRIMS✓ FASCIA COLOR	✓ PROVIDED✓ REQUIRED	Cus	Stom Full Service Sign Company
■ ILLUMINATED	FOR REMAINING COPY - 1/8" ACRYLIC FACES WITH FLAT DECORATED GRAPHICS		PMS WARM RED	☑ RADIUS DIM.	If required, customer to		CN
	- 1" INTENSE BLUE TRIM CAP FOR "TIRE CHOICE" - RED I - LED ILLUMINATION			☑ BUILDING DIM. ☑ FACADE ANGLE	provide Custom Sign Center, Inc. with camera ready or appropriate digital	3	
WALL	- FABRICATED METAL RACEWAY FINISHED MONRO BLUE			✓ OTHER	file. Please contact your salesperson or Design Staff		enter, Inc.
					for appropriate file types.	3200 Va ll eyview Drive PH: 614-279-6700	Columbus, OH 43204 FX: 614-279-7525
	3077 Monroe Ave Pittsford NY REV#1 SCALE: 3/32": 1' DATE:8/20/20 DGNR: JLB SALES: JS	Approval Signatures Required to insure that a spelling, colors, and specifications for sign(s) rendermets customer & landlord approvals.		LANDLO	ORD:		rmation herein are the property of rk is subject to return if not purchased. den. © Copyright 2007 All rights reserved