

**Design Review & Historic Preservation Board**  
**Agenda**  
**February 28, 2019**

**HISTORIC PRESERVATION DISCUSSION**

**CERTIFICATE OF APPROPRIATENESS**

- **3577 Monroe Avenue**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, to replace windows on the second floor of the dwelling. This property is zoned MATZ (Monroe Avenue Transitional Zone) and is designated historic.

**RESIDENTIAL APPLICATIONS FOR REVIEW**

- **155 West Jefferson Road**

The Applicant is requesting design review for the renovation to an existing porch. The existing porch is approximately 96 sq. ft. and is located to the front of the home. The porch will be framed in, new windows will be added and the exterior will be finished with cedar to blend with the existing architecture of the home.

- **52 Reitz Parkway**

The Applicant is requesting design review for a kitchen, bedroom and front porch addition. The additions will total approximately 609 sq. ft. and includes new vinyl siding, board and batten shutters and a new gable roof in the front.

- **507 Allens Creek Road**

The Applicant is requesting design review for the addition of an exercise room. The addition will be approximately 503 sq. ft. and will be located to the rear of the garage.

**COMMERCIAL APPLICATION FOR REVIEW**

- **3300 Monroe Avenue**

The Applicant is requesting design review for a new business identification sign. The sign will be approximately 35.7 sq. ft. with a white acrylic face, black aluminum return and LED lighting on a silver color raceway.

**OTHER – REVIEW OF 2/14/2019 MINUTES**

**Draft**  
**Design Review and Historic Preservation Board**  
**Minutes**  
**February 14, 2019**

**PRESENT**

Dirk Schneider, Chairman; Leticia Fornataro, Bonnie Salem, John Mitchell, Kathleen Cristman

**ALSO PRESENT**

Stephanie Townsend, Town Board liaison; Allen Reitz, Assistant Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

David Wigg; Vice Chairman, Paul Whitbeck, Robert Koegel, Town Attorney

**HISTORIC PRESERVATION DISCUSSION**

Bonnie Salem discussed the letters that will be sent to homeowners of inventoried residences.

The reception for inventoried homeowners was also discussed. The month of May is being targeted to hold this gathering. Leticia Fornataro will check the availability of rooms at the Spiegel Community Center. Dirk Schneider will reach out to the Landmark Society for potential speakers and contact businesses for food donations. Bonnie Salem will identify homeowners of designated homes to attend and target a listing of other invitees.

**RESIDENTIAL APPLICATIONS FOR REVIEW**

- **52 Wren Field Lane**

The Applicant is requesting design review for the addition of a 319 sq. ft. three-season room with a storage area beneath and located to the rear of the property.

Al Polesseni, contractor for the project, was present.

Mr. Polesseni indicated that the siding and window patterns would match the current home. The doors below will be steel and this area on the first story will be used for cold storage.

Siding will be replaced below. This is contrary to what is indicated on the drawing. The corner board will be a minimum of 10" wide.

Bonnie Salem moved to accept the application as submitted with the inclusion of the comments made on the siding, corner board and windows. Dirk Schneider seconded.

All Ayes.

- **3 & 5 Greenpoint Trail**

The Applicant is requesting design review for the proposed construction of a new townhome dwelling. The Design Review Board has given the Greenpoint Trail development a blanket approval for the remaining townhomes if the submitted layout of townhomes is followed. The proposed building will consist of 2 attached single family dwellings sharing a common wall.

Lot 33 (#5 Greenpoint) will be 1893 sq. ft. and Lot 34 (#3 Greenpoint) will be 1907 sq. ft. The developer would like to modify the townhome to meet the needs of the new owner. The color will remain the same as detailed on the spreadsheet submitted to the Town.

Greer Lova, of Morrell Builders, was present to discuss the application.

The remaining units to be built had a prior blanket approval from the Board but the developer would like to modify the plan to meet the needs of the client. The client is requesting the study room be removed and a larger great room created resulting in a shorter unit.

The side dormers will be removed in this design. The Board recommended that the middle dormer should be removed.

Kathleen Cristman moved to accept the application as submitted with the recommendation to remove the middle dormer. John Mitchell seconded.

All Ayes.

- **259 Tobey Road**

The Applicant is requesting design review for the construction of a 1959 sq. ft. one-story single family home.

John Graziouse, representing Gerber Homes, was present.

The proposed construction is on a flag lot behind an inventoried home which was part of the Tobey Babcock farm. The Board felt the small home would not overpower the current structure and there is still a large parcel of land surrounding this homestead.

The colors for the home will be a Cyprus (tan) color with gray shingles.

Leticia Fornataro moved to approve the application as submitted. Dirk Schneider seconded.

All Ayes.

#### **COMMERCIAL APPLICATION FOR REVIEW**

- **957 Panorama Trail South**

The Applicant is requesting design review for the addition of a business identification sign. The sign will be a 16 sq. ft. brushed aluminum frame with white acrylic inserts and will identify the "Harris Insights & Analytics LLC" business.

Kurt Sertl of Gallina Development was present.

The proposed sign will have no lighting and will be placed on the brick next to the right hand side of the tenant's door. The suite number is separate and will be vinyl on glass over the door.

John Mitchell moved to accept the application as submitted. Leticia Fornataro seconded.

All Ayes.

#### **OTHER – REVIEW OF 1/25/2019 MINUTES**

Bonnie Salem moved to accept the minutes of the January 25, 2019 meeting as submitted. Kathleen Cristman seconded.

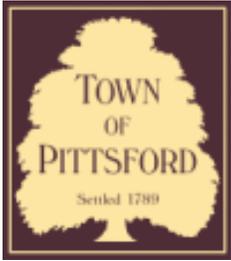
All Ayes.

The meeting adjourned at 7:45 pm.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

DRAFT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**CA19-000002**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3577 Monroe Avenue PITTSFORD, NY 14534

**Tax ID Number:** 151.13-1-32

**Zoning District:** MATZ Monroe Avenue Transitional Zone

**Owner:** Reddington, John D

**Applicant:** Reddington, John D

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, to replace windows on the second floor of the dwelling. This property is zoned MATZ (Monroe Avenue Transitional Zone) and is designated historic.

**Meeting Date:** February 28, 2019



February 4, 2019

Allen Reitz, *Assistant Building Inspector*  
Town of Pittsford Building Department  
11 S. Main Street  
Pittsford, NY 14534

**RE: 3577 Monroe Avenue,  
Parcel Tax ID #151.13-1-32  
2<sup>nd</sup> Story Window Replacement**

Dear Allen;

As discussed with you via e-mail May 23, 2018, our home address is 3577 Monroe Avenue in the Town of Pittsford, and is designated historic. Virginia Searl from Bero Architecture prepared the "Report of Architectural Consultation", a portion of which is attached for reference.

We wish to renovate the interior, second floor attic space in our home and make it habitable for year-round occupancy. Currently there is an office space on the west wing that is partially finished. The windows for the second floor require significant attention due to weathered casings, inoperable hinges, missing storms, etc. Ms. Searl's recommendation for "Window Repair Assistance" is highlighted in the attached Bero document. We contacted the recommended party (Steve Jordan, *Pain in the Glass*) for consultation with the hopes of hiring him to make the necessary restorations. He visited our home and provided the attached summary of his visit. In short, he indicated he is not interested to do a restoration on our windows. He recommended possible candidates for carpentry work; we also brought in David Young and he was also not interested in performing the restoration, indicating the windows were beyond repair.

We are submitting the attached support materials, in addition to the Town's Certificate of Appropriateness application:

1. Application for Certificate of Appropriateness.
2. Map of Survey for Parcel Tax ID #151.13-1-32, prepared by O'Neill Rodak.
3. Report of Architectural Consultation, prepared by Bero Architecture (Virginia Searl); partial document- full document is on file with Historic Pittsford, or available upon request.
4. Letter from Steve Jordan assessing the window conditions and his non-interest in taking on the project.
5. Document "Work Description" which provides a rough scope of work for the replacement windows.
6. Cut sheets from Andersen Windows with the window types, dimensions and exterior color.

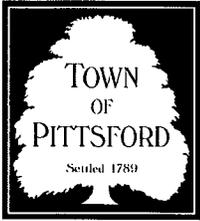
We wish to have the application considered for approval and placed on the next available Town of Pittsford Design Review and Historic Preservation Board meeting agenda, if necessary.

As mentioned, I sit on the Town of Pittsford Parks and Recreation Board, and both my wife Nicole and I are landscape architects, so we respect the DRHPD's mission and process.

Sincerely,



John Reddington, RLA



# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 3577 Monroe Ave., Pittsford, NY 14534

2. Tax Account Number: 151.13-1-32

3. Applicant's Name: John and Nicole Reddington

Address: 3577 Monroe Ave., Phone: (585) 310-7247  
*Street*  
Pittsford, NY 14534 E-mail: jdredd31@gmail.com  
*City State Zip Code*

4. Applicant's Interest in Property:  
Owner:  Lessee:  Holding Purchase Offer:   
Other (explain): \_\_\_\_\_

5. Owner (if other than above): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
*City State Zip Code*

Has the Owner been contacted by the Applicant? Yes  No

6. Application prepared by: John Reddington, RLA

Address: 3577 Monroe Ave., Phone: (585) 200-1690  
*Street*  
Pittsford, NY 14534 E-mail: jdredd31@gmail.com  
*City State Zip Code*

7. Project Design Professional (if Available): (SAME)

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
*City State Zip Code*



B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

None

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

N/A

16. Additional materials submitted with this application (if available):

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Parcel map      | <input type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs     | <input type="checkbox"/> Architectural plans      |
| <input checked="" type="checkbox"/> Other materials | _____ window cut sheets, letter                   |

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

 \_\_\_\_\_ 2.9.19  
Date

**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes  No

If Yes, owner's signature: \_\_\_\_\_

**BERO ARCHITECTURE PLLC**  
ARCHITECTURE SUSTAINABILITY PRESERVATION

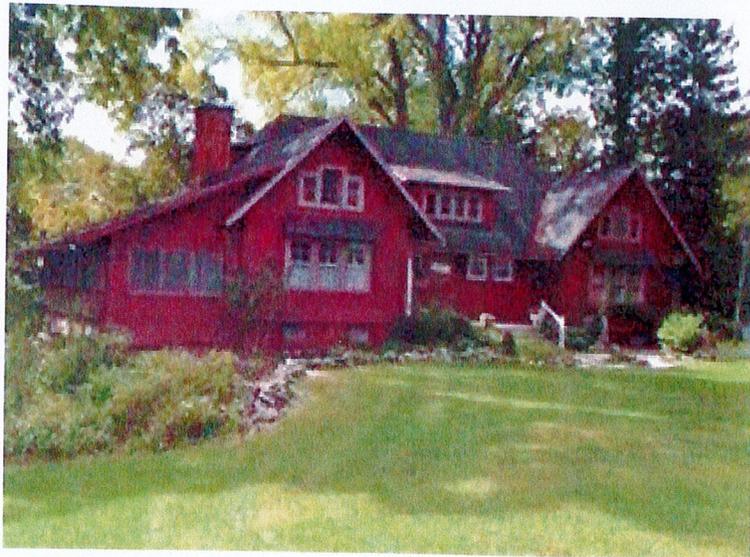
Thirty Two Winthrop Street, Rochester, New York 14607  
585-262-2035 (phone) • 585-262-2054 (fax) • [contact@beroarchitecture.com](mailto:contact@beroarchitecture.com) (email)

Report of Architectural Consultation

**HISTORIC PITTSFORD PROJECT**

To: Nicole and John Reddington  
3577 Monroe Avenue  
Pittsford, New York 14534

RE: Site Visit, April 4, 2015  
3577 Monroe Avenue



Date: April 28, 2015

- Attachments:
1. Town of Pittsford Zoning Map
  2. Secretary of the Interiors *Standards for Rehabilitation*
  3. Excerpts from "An Architectural and Historical Survey Report of 126 Selected Properties in the Town of Pittsford, Monroe County, New York". "Long Meadow Bungalow Sites" included.
  4. Town of Pittsford Residential Styles Guide
  5. Sole Practitioners
  6. "Some Thoughts on Hiring an Architect"
  7. Town of Pittsford Residential Design Standards and Guidelines

Copies: (1) Bonnie Salem, Historic Pittsford

roof form or stair configuration a solution is not immediately obvious. I suggest you contact an architect who can prepare measured drawings, sketch building sections both ways through this area and determine how or if the stairway can be modified to provide code compliant access. It may be possible to lower the landing, turning the stairs at a lower elevation and avoid the conflicting rafter. The existing hallway and probably the closet in the next bedroom will be affected but the degree and use of remaining space cannot be determined without a study of the area. The stairs are steep compared to current code requirements. Replacing them will require meeting current code requirements but should improve the safety and comfort of the stairs. Attachment 5 is a list of qualified architects, familiar with historic buildings, who are sole practitioners. Attachment 6, "Some Thoughts on Hiring an Architect", may be useful in your decision making if you choose to move forward with an architect.

There are a variety of window types and sizes in the attic. The Residential Code of New York State requires that sleeping rooms must have an emergency escape and rescue window with a minimum net clear opening of 5.7 sq ft, a minimum net clear opening height of 24", minimum net clear width of 20", and a maximum sill height above finished floor of 44". I did not measure any of the window openings but they may meet these requirements without modification. If they do not, you should have a discussion with the Town of Pittsford's Code Enforcement Officer to discuss whether they can be used as pre-existing, non-conforming, "grandfathered", for the new use. If they do not, I recommend you consider configuring new space with a bedroom with new conforming windows on the rear elevation to maintain the architectural integrity of the house on the visible elevations.

#### **Window Repair Assistance**

The windows in your house are probably original and appear to be in good condition. They are character-defining features and should be retained. Some need new sash cord and others are painted shut but since they are wood they are repairable and can be restored to a "like new" condition. The existing attic windows need paint and glazing compound but otherwise also seem to be in good condition. Adding weatherstripping would be a good idea for all windows which currently have none. We usually recommend [Steve Jordan, Pain in the Glass](mailto:Steve.Jordan@PainintheGlass.com), for window repair and restoration. He can be reached at 585.235.8828 or [www.painintheglass.info](http://www.painintheglass.info).

The attic casement windows have a unique storm/screen hardware configuration which I have not seen before. The system allows for changing from storms to screens and back seasonally quite easily from the inside. This system should be maintained for you own ease.

#### **Exterior Paint Color**

The current exterior color scheme is not appropriate for the style of your home and you would like to change it. I agree that this would be an improvement. A brief on line review of the town code seems to indicate that a change in exterior paint color will require a Certificate of Appropriateness from the Design Review and Historic Preservation Board. It is not clear that there is a recommended or required color palette as you suggested however. The Town's Residential Design Standards and Guidelines are included as Attachment 7.

You asked specifically about natural color stained or clear finished shingles. I believe this was common for bungalow/arts and crafts style homes. There are two homes in the Village of Pittsford with bungalow style influence, one on Lincoln Avenue (used as an illustration in the town's style guide) and one on Rand Place with dark natural colored single siding and yellow trim. It was a common color for siding at the time your home was built certainly. Otherwise, most paint manufacturer's have historic color palettes, sometimes by architectural style, you can choose from.

Paint schemes with three colors were common; body, trim, and window sash in separate, complementary colors. Window sash were often painted a dark color to recede and enlarge the apparent window opening.

**Steve Jordan**  
**185 David Avenue**  
**Rochester, NY 14620**  
**(585) 427-8556**  
**[painintheglass@frontiernet.net](mailto:painintheglass@frontiernet.net)**

January 23, 2018

John and Nicole Reddington  
3577 Monroe Avenue  
Pittsford, NY 14534

Phone: 200-1690  
Email: [jdredd31@gmail.com](mailto:jdredd31@gmail.com)

**RE:** Attic (second floor) windows

**Note:** I provide this detailed information because it is preservation issue and because my involvement was initiated by Bero Architecture where I formerly worked.

### **Existing Conditions**

The owners desire to finish the spacious attic into a living space possibly reusing the casement windows. The in-opening, multi-paned sashes are in very good condition and the openings are equipped with separate out-opening (hinged) storm and screen sashes. The window jambs and sills are mostly in good condition although I saw some that were warped at the vertical sides. The sashes do not have weather-seals. Because this was an attic, the sashes were hung with the cheapest possible hardware and some of the sashes do not fit the jambs appropriately.

### **Options for Repair**

Casement windows can be a problem to weatherproof because, over time, the sashes tend to sag at the latch side. In this case, the small size and muntined construction diminishes this problem. In general and in our climate, most casement windows were equipped with durable, proprietary zinc weather-seals either at the sash mill or upon initial installation. These windows have no weather seals but quality seals can be installed to work efficiently – either bronze metal strips or resilient bulbs installed in corner kerfs. Below I list the minimum scope of work needed make these windows satisfactory for future use *as I see them*:

- Sashes are inspected for warp\* and condition (if warped – evaluate for repair or replace)
- All hardware is removed and new mortise hinges are installed
- Latching hardware that works with new interior trim is installed
- Casement stays are installed to hold the windows open
- Frames are repaired or shimmed to fit sashes
- Broken panes of glass are replaced
- Any excessive paint that prevents sashes from working appropriately is removed
- Glazing as necessary, painting, and interior finishing

### **Storms and Screens**

The wood framed storm and screen sashes were designed to be switched between seasons and appear to be in reasonably good condition. Another solution with the in-opening casements is to convert the existing storms into single-light, permanently installed units with storm and screen panels that are removable from the inside.

February 4, 2019  
Work Description  
Second-Story attic window  
replacement  
3577 Monroe Avenue



*Northwest and northeast  
gable windows*

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color

Replace (1) 40.5"x 25" casement windows and storms

with: 400 Series, double-hung window

by Andersen  
(or approved equal)

Replace (2) 31.5" x 18" windows and storms with :  
400 Series, casement windows  
by Andersen  
(or approved equal)



*North- center replacement windows*

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

Replace (4) 31.5" x 18" windows and storms with : 400 Series, casement windows by Andersen (or approved equal)

No. 3577

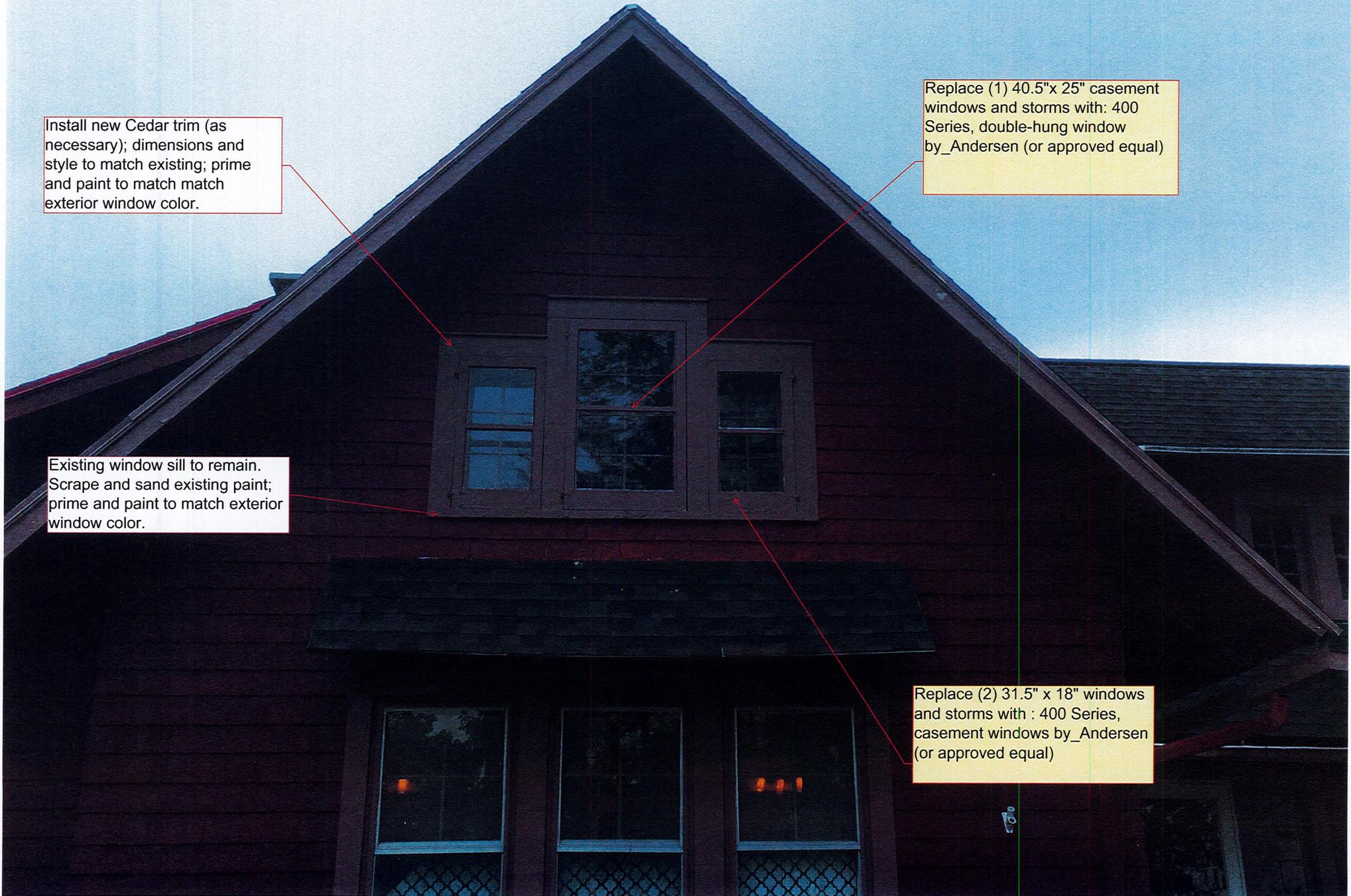
*Northwest and northeast  
gable windows*

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

Replace (1) 40.5" x 25" casement windows and storms with: 400 Series, double-hung window by Andersen (or approved equal)

Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

Replace (2) 31.5" x 18" windows and storms with: 400 Series, casement windows by Andersen (or approved equal)

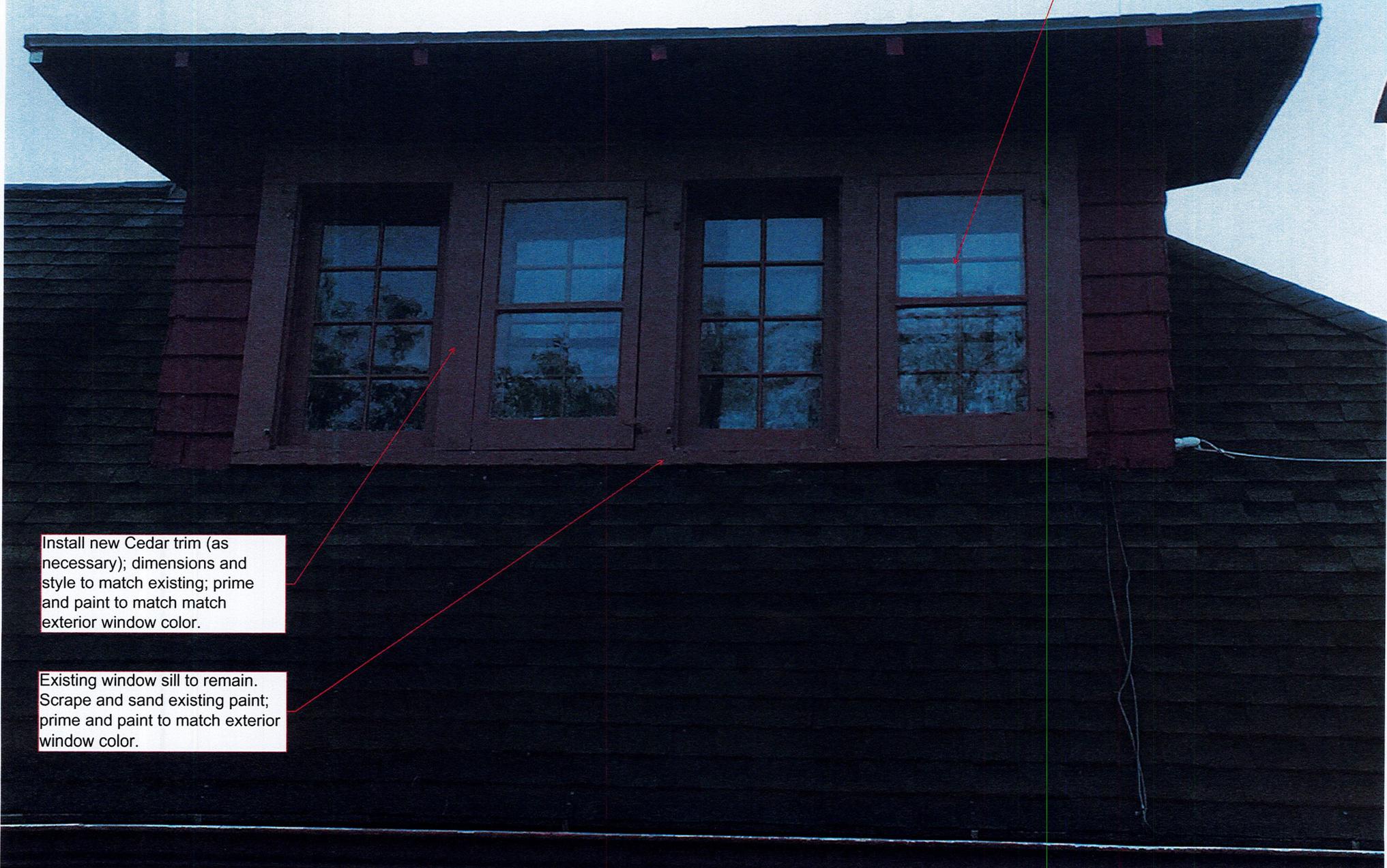


*West windows*

Replace (4) 31.5" x 18" windows and storms with : 400 Series, casement windows by Andersen (or approved equal)

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

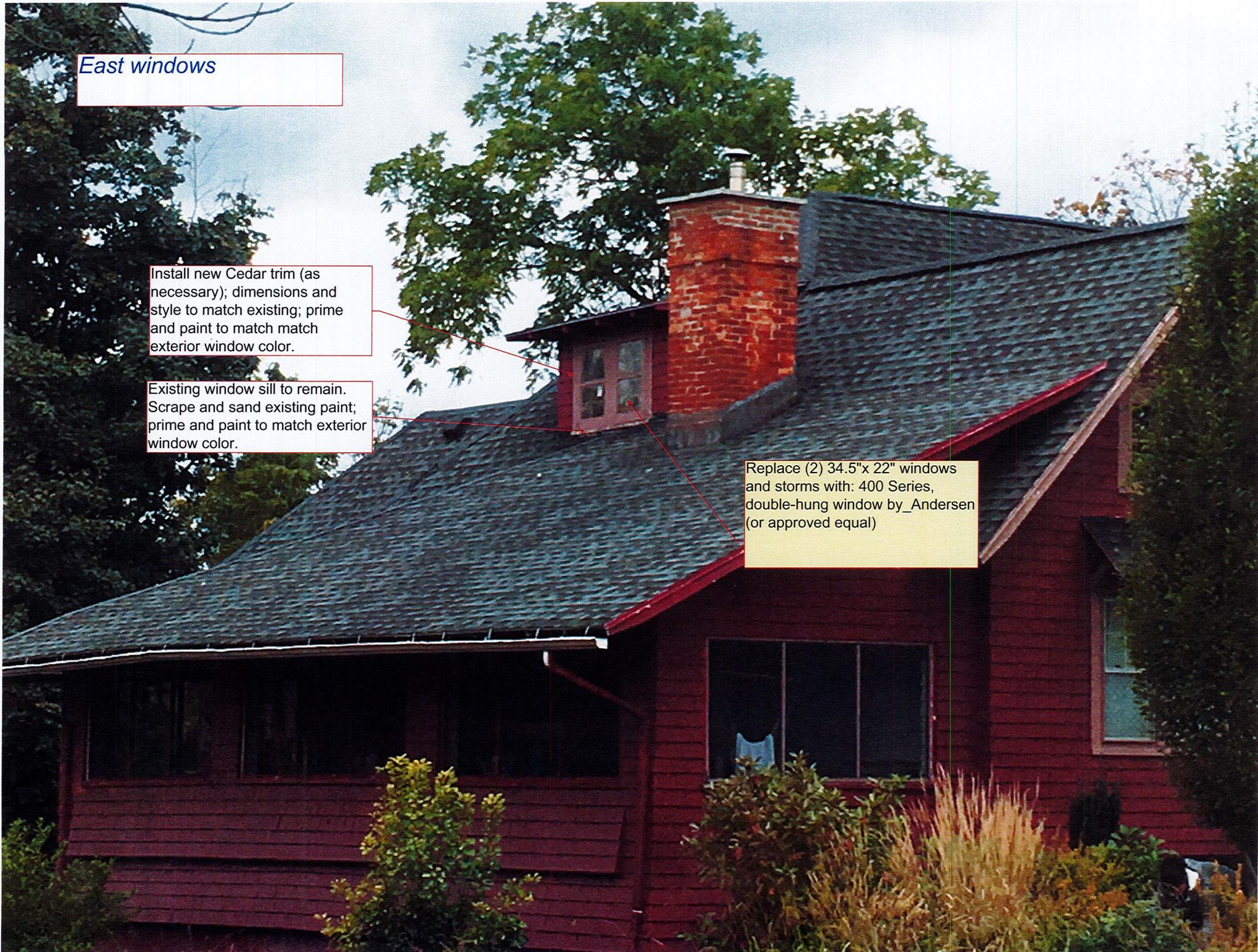


*East windows*

Install new Cedar trim (as necessary); dimensions and style to match existing; prime and paint to match exterior window color.

Existing window sill to remain. Scrape and sand existing paint; prime and paint to match exterior window color.

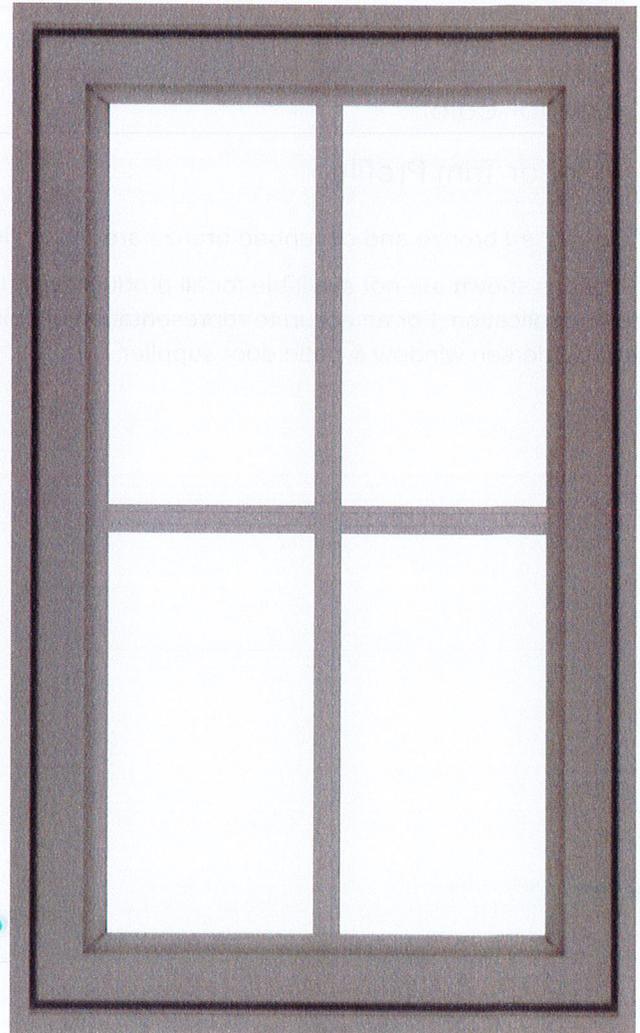
Replace (2) 34.5"x 22" windows and storms with: 400 Series, double-hung window by Andersen (or approved equal)



## 400 Series Casement Window



**Interior**



**Exterior**

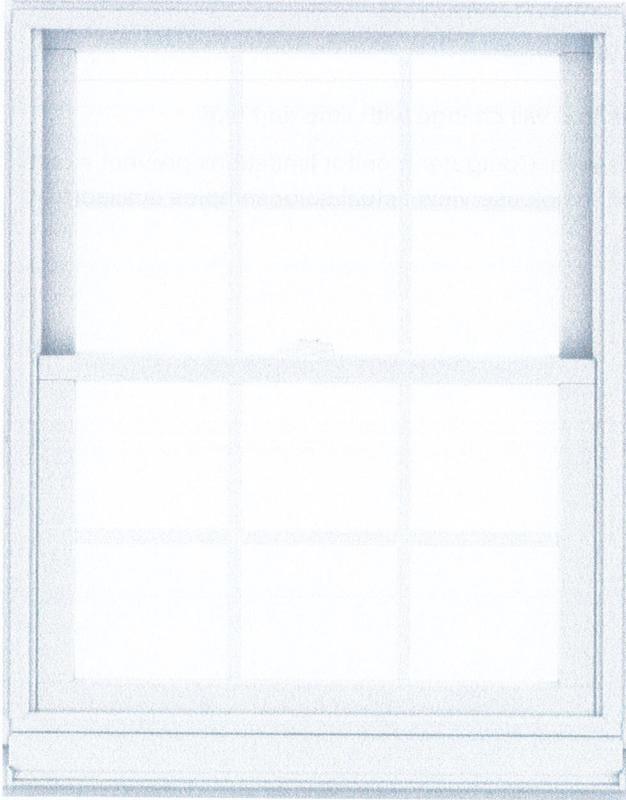
### SUMMARY

To purchase this product or customize it further, take this summary to your Andersen dealer.

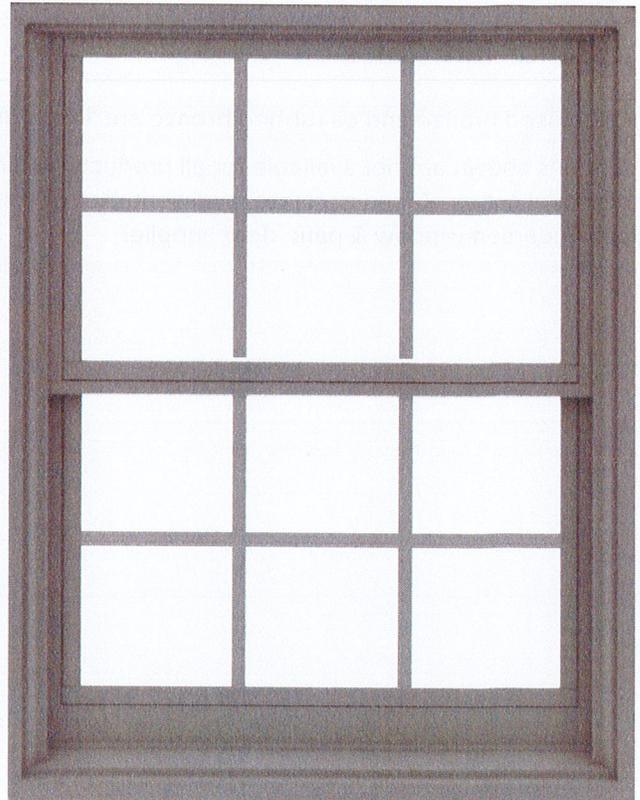
Product Name	400 Series Casement Window
Product ID#	CR125
Unit Width	17"



## 400 Series Double-Hung Window



**Interior**



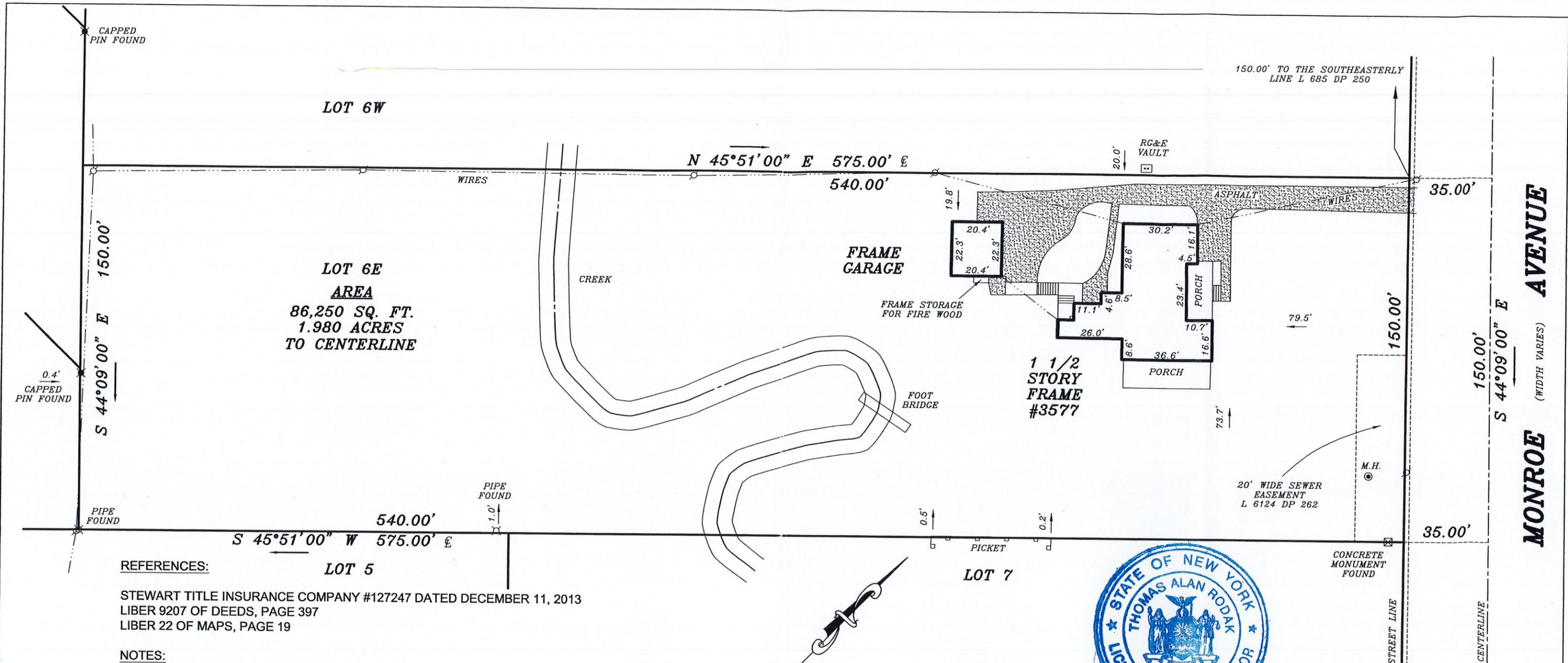
**Exterior**

### SUMMARY

To purchase this product or customize it further, take this summary to your Andersen dealer.

Product Name	400 Series Double-Hung Window
Product ID#	TW2632
Unit Width	31 5/8"
Unit Height	40 7/8"
Interior Color	White
Glass	Low-E4® Glass





**REFERENCES:**

STEWART TITLE INSURANCE COMPANY #127247 DATED DECEMBER 11, 2013  
 LIBER 9207 OF DEEDS, PAGE 397  
 LIBER 22 OF MAPS, PAGE 19

**NOTES:**

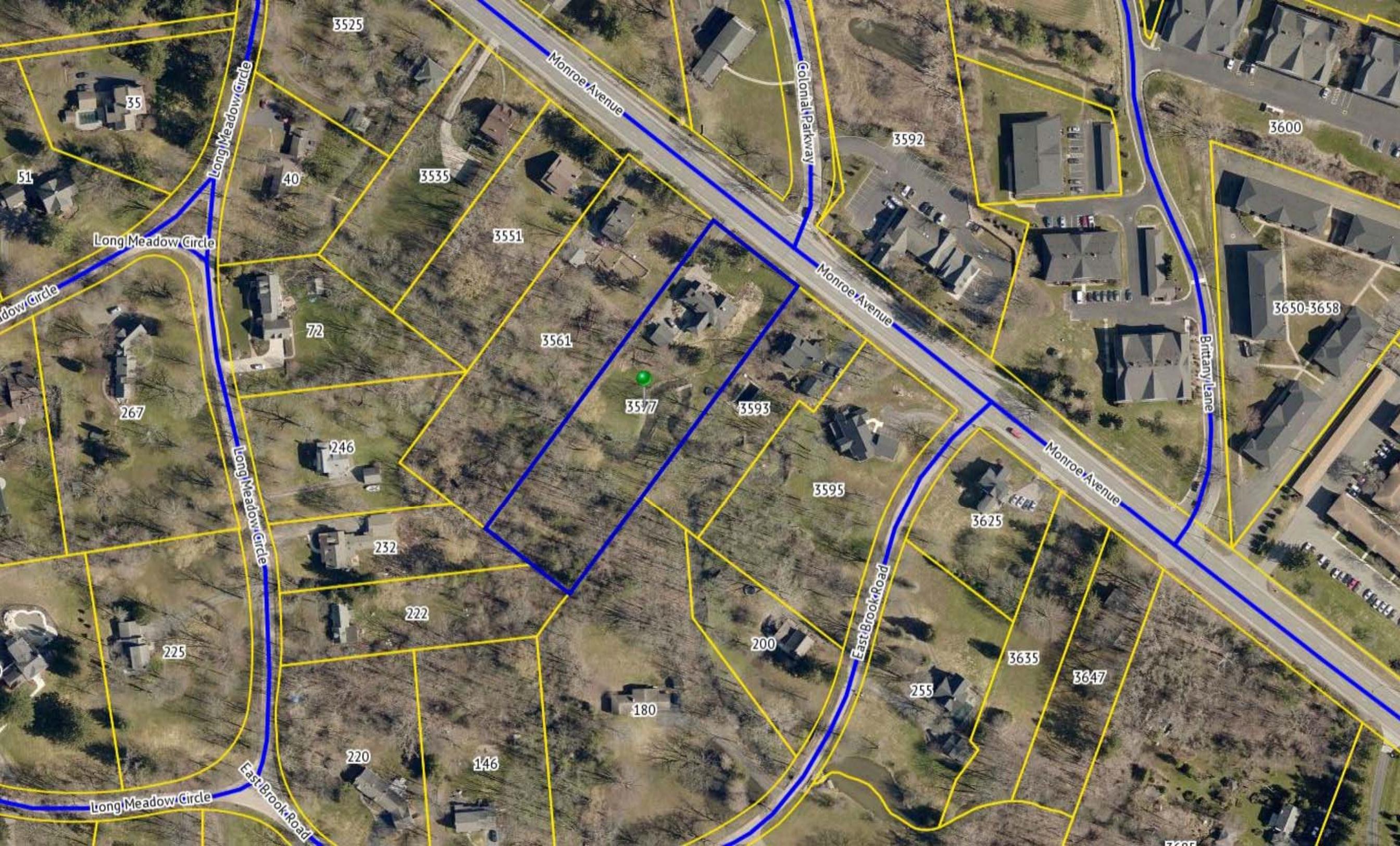
- PARCEL IS SUBJECT TO AN EASEMENT GRANTED TO DESPATCH HEAT, LIGHT AND POWER CO. FOR FIXTURES AS SET FORTH IN LIBER 767 OF DEEDS, PAGE 413.
- PARCEL IS SUBJECT TO RESTRICTIONS AS SET FORTH IN LIBER 1282 OF DEEDS, PAGE 101.
- SURVEY WAS PERFORMED UNDER SNOW COVER.
- PARCEL TAX ID #151.13-1-32

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO FIRST NIAGARA BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS; STEWART TITLE INSURANCE COMPANY; SCHELL LAW, P.C.; JOHN D. REDDINGTON; NICOLE H. REDDINGTON AND RAYMOND B. O'NEILL, JR., ESQ. THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED JANUARY 9, 2014.

*Thomas A. Rodak*  
 THOMAS A. RODAK, P.L.S. #050246



 <p><b>O'NEILL-RODAK</b>          LAND SURVEYING ASSOCIATES, P.C.          LAND SURVEYORS - PLANNERS          BOUNDARY CONSULTANTS          FLOOD ZONE DETERMINATIONS          ALTA/ACSM SURVEYS</p>	MAP OF A SURVEY LOT 6E LONG MEADOW TRACT TOWN OF PITTSFORD MONROE COUNTY, NEW YORK		
	CLIENT: WOODS OVIATT GILMAN LLP		
5 SOUTH FITZHUGH STREET ROCHESTER, NY 14614 PHONE (585) 325-7520 FAX (585) 325-1708 e-mail oneillrodak@frontiernet.net	SCALE 1" = 40'	DATE 01/27/2014	PROJECT NO. 2013-1022



3525

Monroe Avenue

Colonial Parkway

3592

3600

Long Meadow Circle

35

51

40

3535

3551

Long Meadow Circle

72

3561

Monroe Avenue

3650-3658

Brittany Lane

3577

3593

Monroe Avenue

267

246

3595

3625

Long Meadow Circle

232

Monroe Avenue

222

East Brook Road

200

3635

3647

225

220

146

255

180

Long Meadow Circle

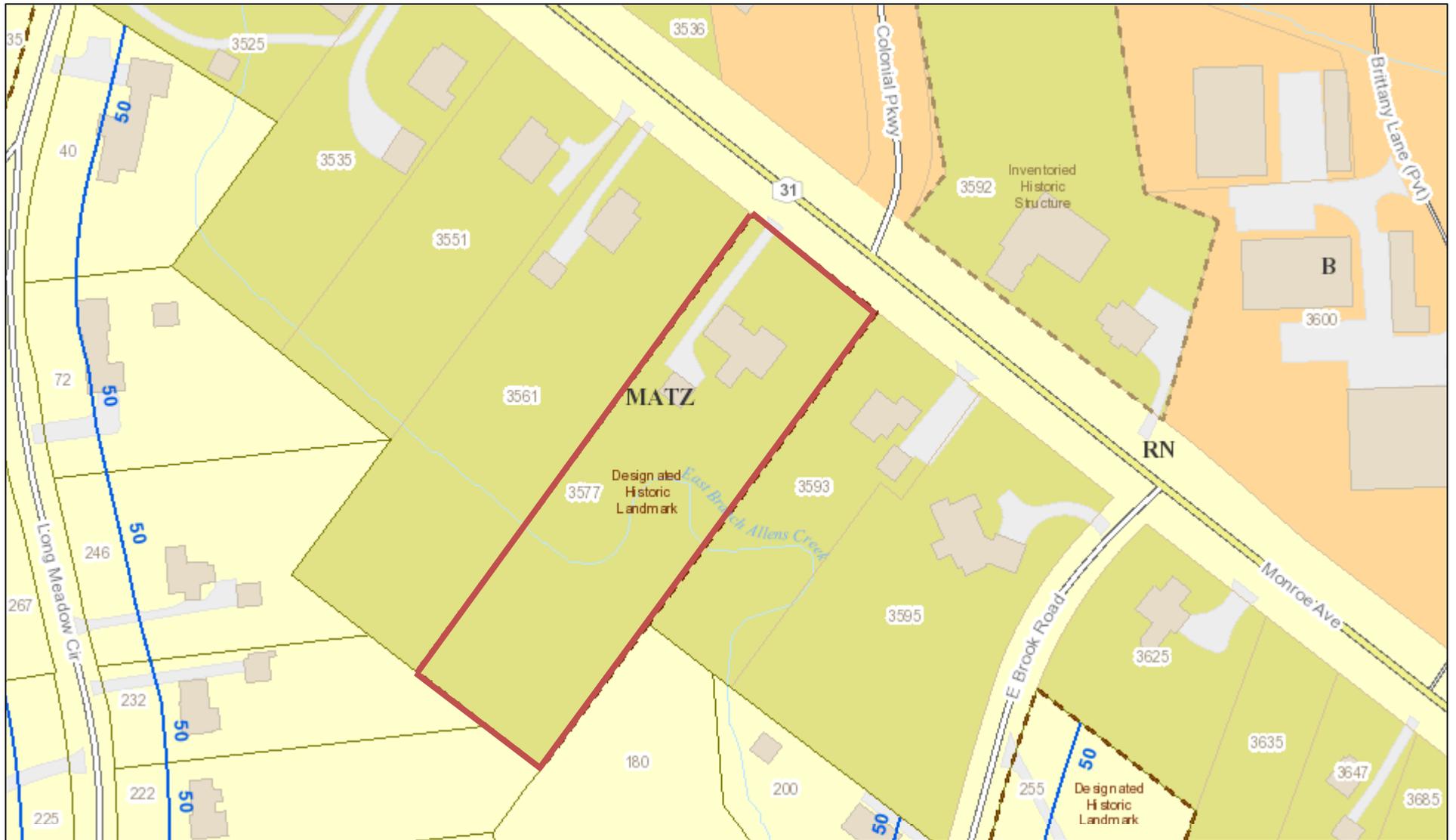
East Brook Road

3605

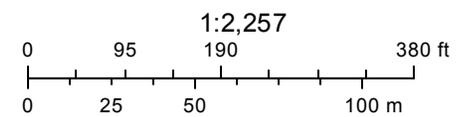
3608

3609

# RN Residential Neighborhood Zoning



Printed February 20, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



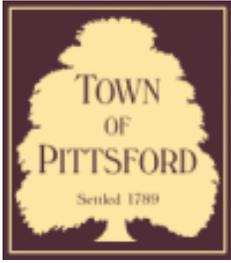


3561

3561







## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000024**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 155 West Jefferson Road PITTSFORD, NY 14534

**Tax ID Number:** 164.05-2-1

**Zoning District:** RN Residential Neighborhood

**Owner:** Sylvestri, Paul D

**Applicant:** P.J.L Contracting

#### Application Type:

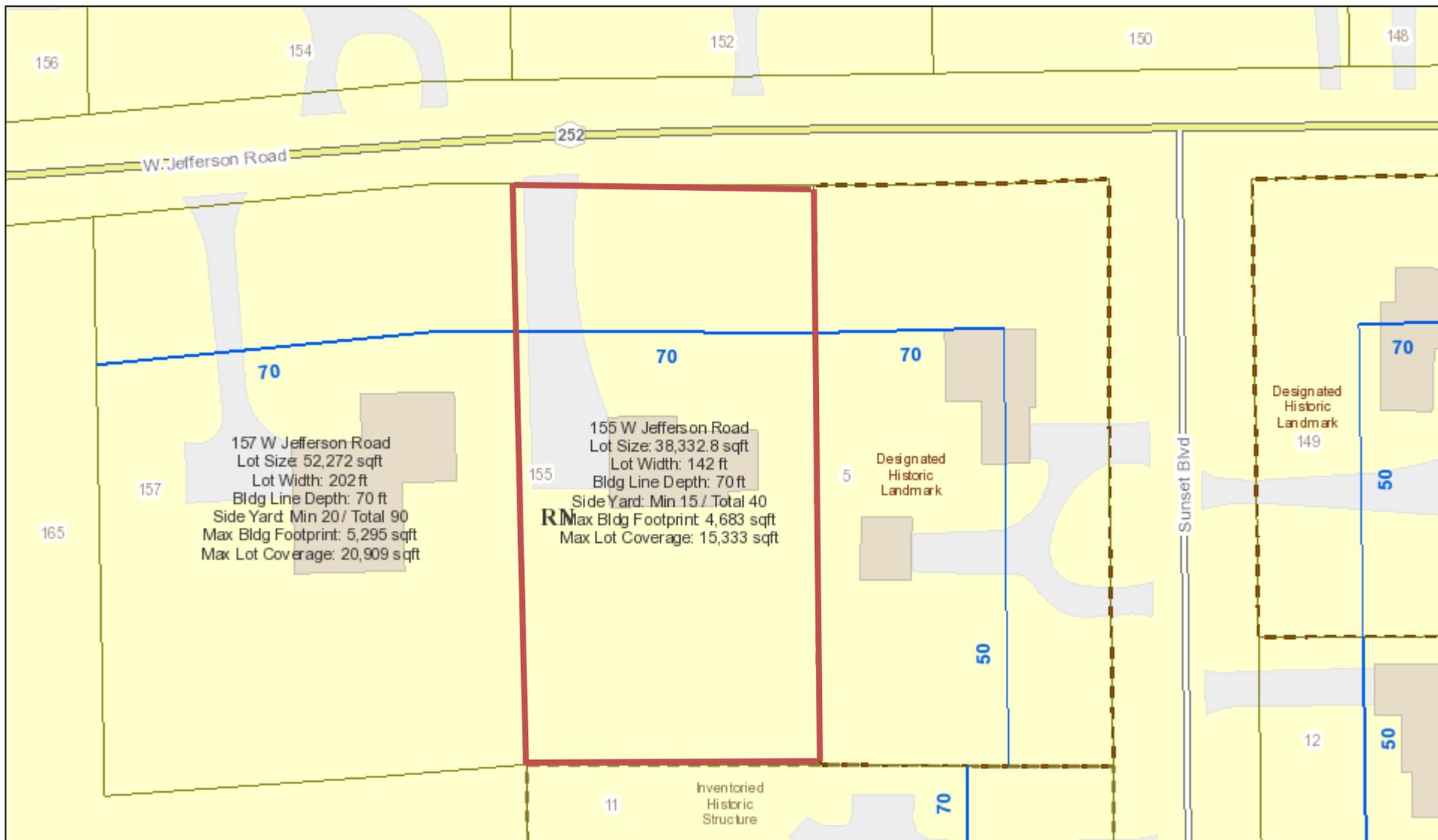
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the renovation to an existing porch. The existing porch is approximately 96 sq. ft. and is located to the front of the home. The porch will be framed in, new windows will be added and the exterior will be finished with cedar to blend with the existing architecture of the home.

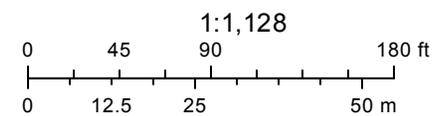
**Meeting Date:** February 28, 2019



# RN Residential Neighborhood Zoning

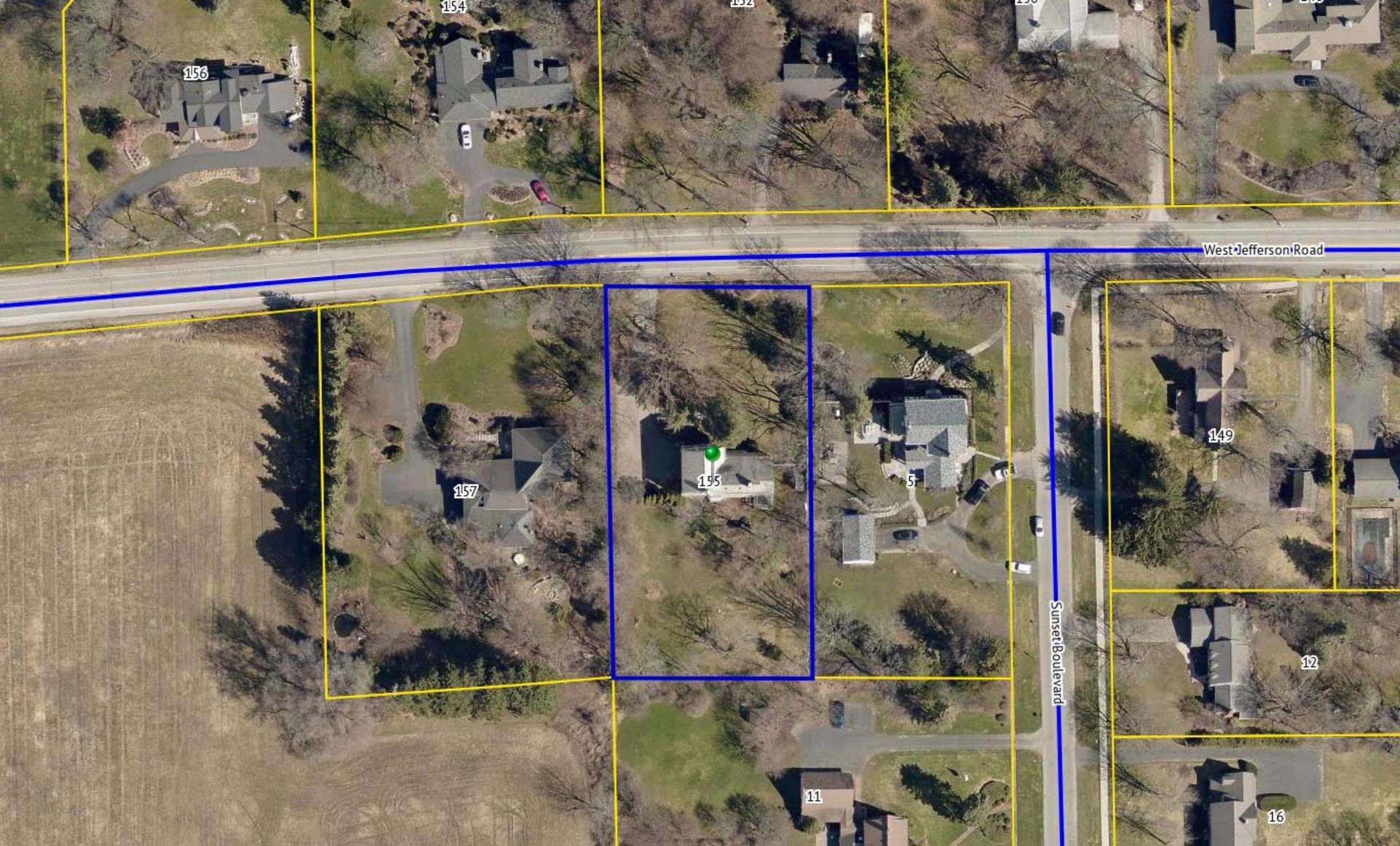


Printed February 20, 2019



Town of Pittsford GIS

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156

154

152

150

148

West Jefferson Road

157

155

15

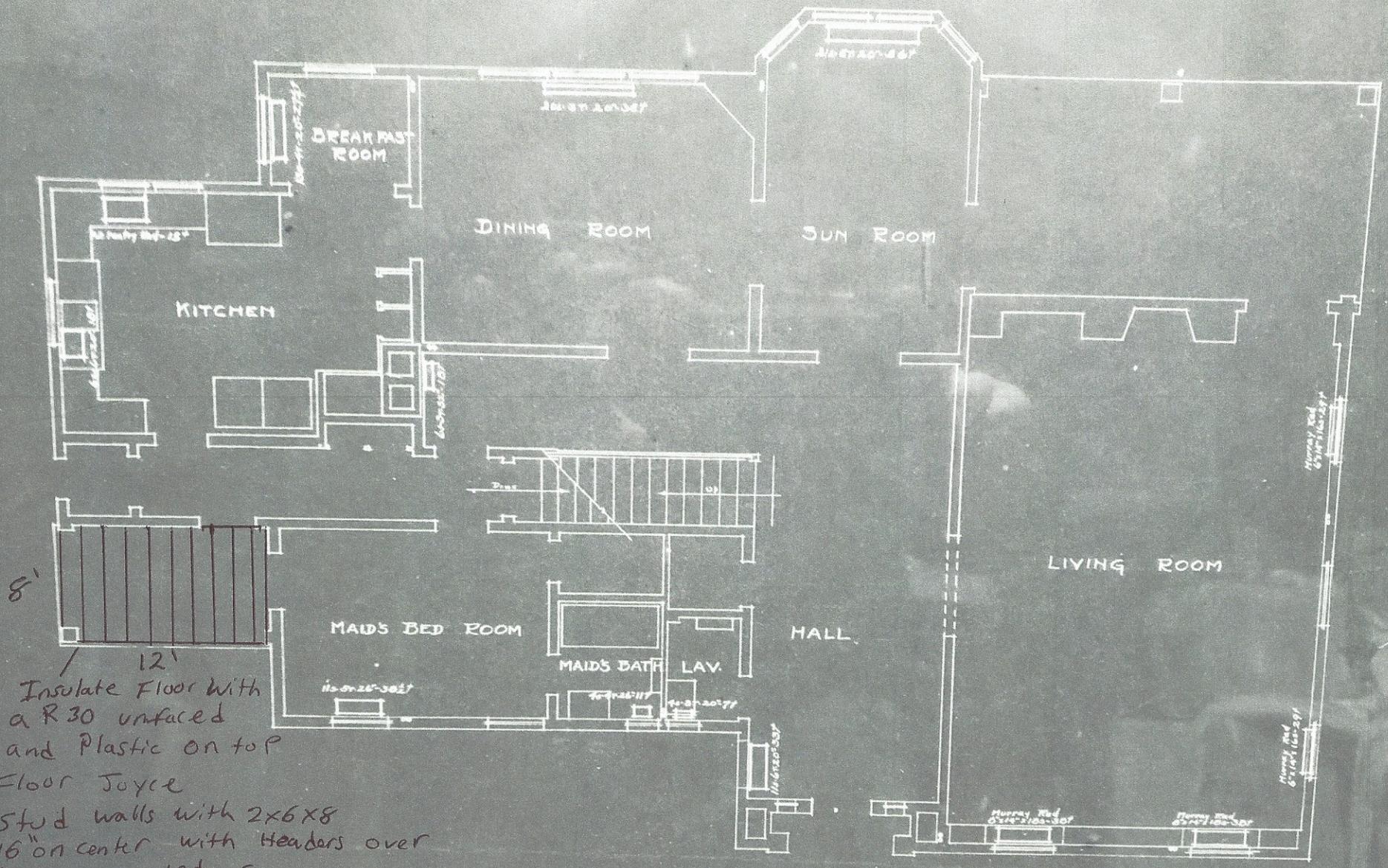
149

12

Sunset Boulevard

11

16



FIRST FLOOR PLAN  
Scale  $\frac{1}{4}'' = 1'-0''$

8'  
12'  
Insulate Floor with  
a R30 unfaced  
and Plastic on top  
Floor Joist  
Stud walls with 2x6x8  
16" on center with Headers over  
the new windows  
Insulate walls with R19  
7/16 OSB on outside with  
Felt Paper outer wrap  
Before Finish



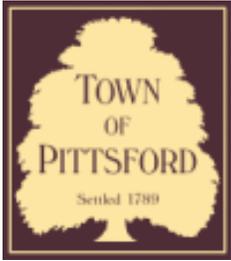












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000025**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 52 Reitz PITTSFORD, NY 14534

**Tax ID Number:** 164.10-2-13

**Zoning District:** RN Residential Neighborhood

**Owner:** Thomas, Edward

**Applicant:** Barone Homes Inc.

### Application Type:

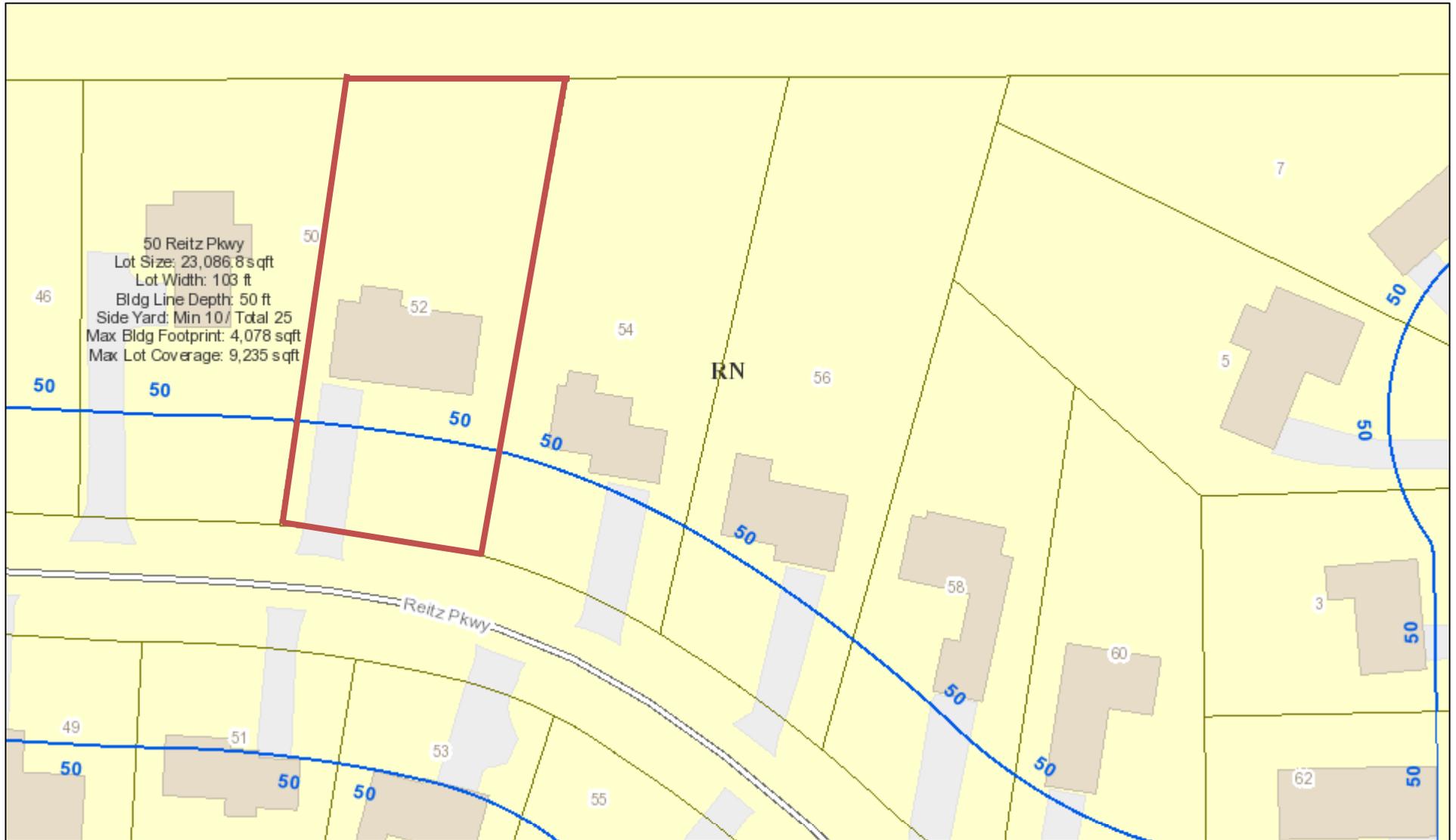
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for a kitchen, bedroom and front porch addition. The additions will total approximately 609 sq. ft. and include new vinyl siding, board and batten shutters and a new gable roof in the front.

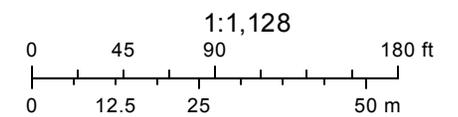
**Meeting Date:** February 21, 2019



# RN Residential Neighborhood Zoning

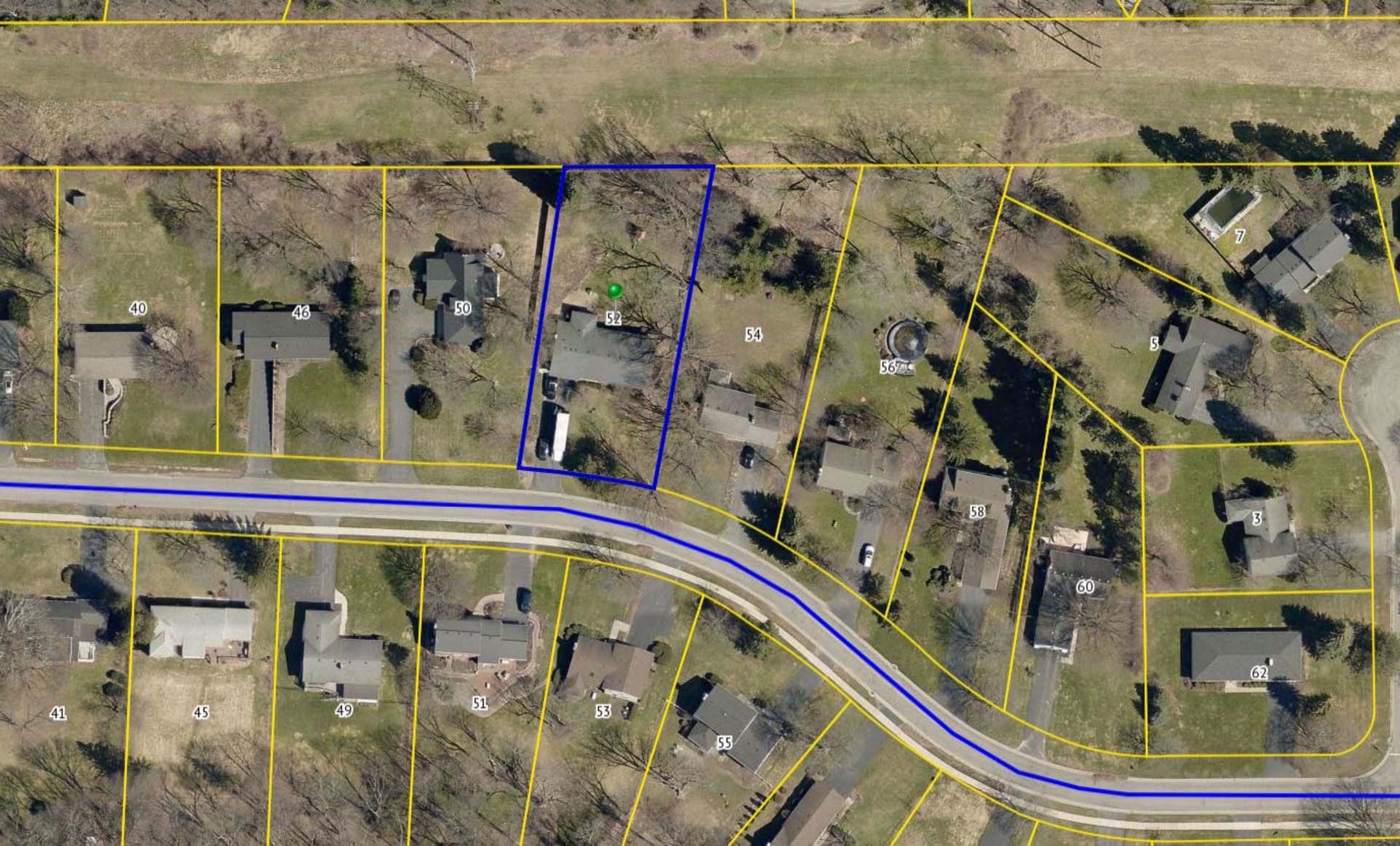


Printed February 20, 2019



Town of Pittsford GIS

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40

46

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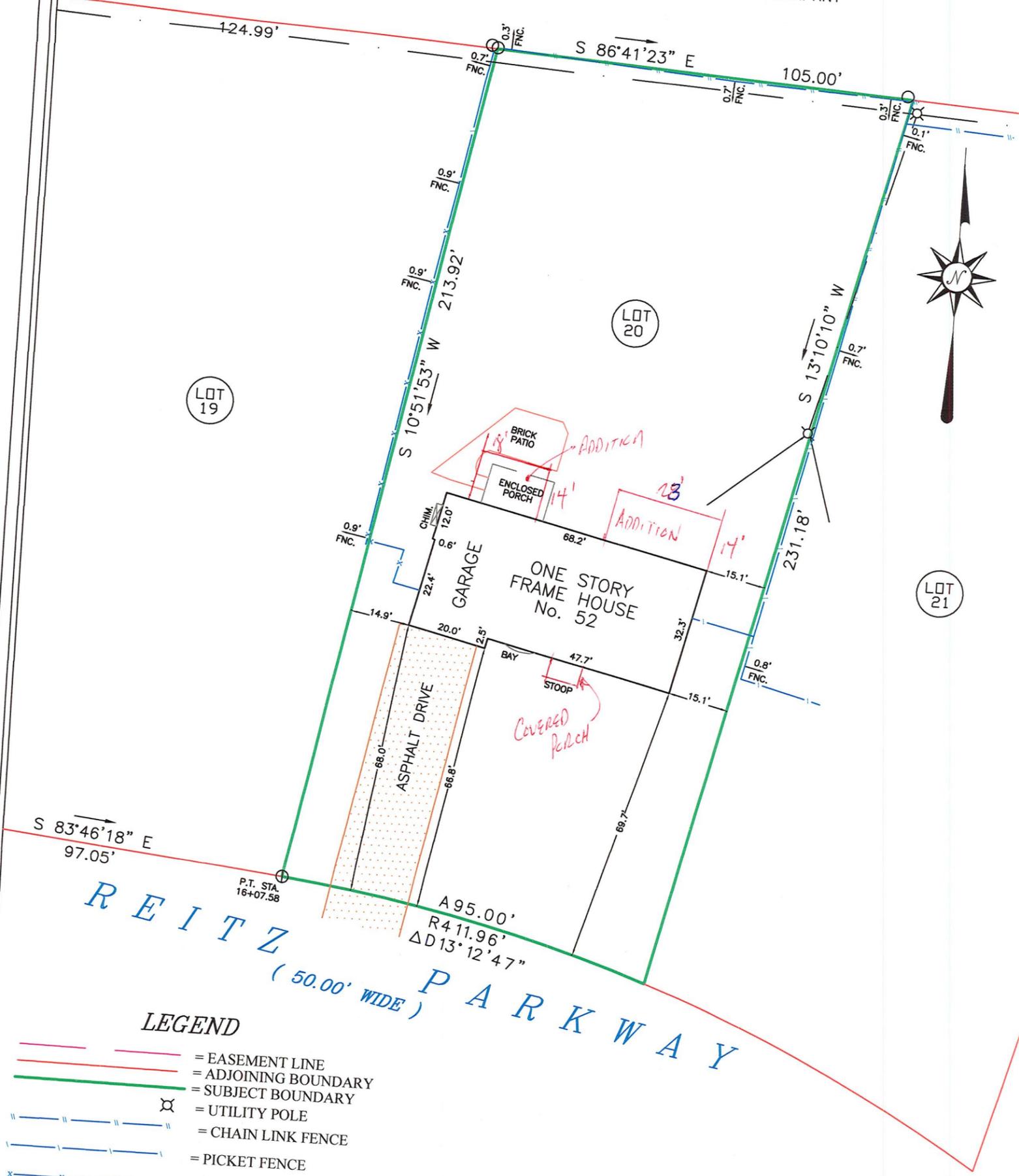
49

51

53

55

N/F NIAGARA, ONTARIO & LOCKPORT POWER COMPANY



REITZ PARKWAY  
(50.00' WIDE)

**LEGEND**

- = EASEMENT LINE
- = ADJOINING BOUNDARY
- = SUBJECT BOUNDARY
- ⊗ = UTILITY POLE
- — — — — = CHAIN LINK FENCE
- | — | — | — | — = PICKET FENCE
- x — x — x — x — = BOARD FENCE

MAP OF AN INSTRUMENT SURVEY OF  
**No. 52 REITZ PARKWAY**  
BEING  
**PART OF LOT No. 20 of the PARKER FARM ADDITION**

SITUATE IN THE  
TOWN OF PITTSFORD  
COUNTY OF MONROE  
SCALE 1 INCH = 30 FEET  
STATE OF NEW YORK  
DATE: APRIL 18, 2018

JAME BATES & ASSOCIATES  
406 WEST SPRUCE STREET  
EAST ROCHESTER, NEW YORK  
585-381-0021

UNAUTHORIZED ALTERATION OR ADDITION TO  
A SURVEY MAP BEARING A LICENSED LAND  
SURVEYOR'S SEAL IS A VIOLATION OF SECTION  
7209, SUBDIVISION 2, OF THE NEW YORK STATE  
EDUCATION LAW.

CERTIFICATIONS LISTED HEREON SIGNIFY THAT THIS  
SURVEY WAS PREPARED IN ACCORDANCE WITH THE  
EXISTING CODE OF PRACTICE FOR LAND SURVEYS  
ADOPTED BY THE G.V.L.S.A. AND THE MONROE  
COUNTY BAR ASSOCIATION.

**REFERENCES:**

1. STEWART TITLE INSURANCE COMPANY ABSTRACT  
No. 102952 LAST DATED MARCH 2, 2016.
2. LIBER 11137 OF DEEDS, PAGE 126.
3. MAP OF THE PARKER FARM ADDITION AS FILED IN THE MONROE  
COUNTY CLERK'S OFFICE IN LIBER 147 OF MAPS, PAGE 65.
4. SUBJECT TO AN EASEMENT TO R.G. & E. AND R.T.C.  
PER LIBER 3263 OF DEEDS, PAGE 93.  
(ALONG THE SIDE & REAR BOUNDARIES)
5. SUBJECT TO AN EASEMENT TO R.G. & E. PER LIBER 3263 OF DEEDS,  
PAGE 92. (THROUGH, UNDER AND ACROSS THE STREETS)
6. TIMES SQUARE ABSTRACT SEARCH No. 2018-7436, LAST DATED FEB. 27, 2018.
7. TAX ACCOUNT No. 164.10-2-13.
8. LIBER 11680 OF DEEDS, PAGE 156.

WE, JAMES BATES & ASSOCIATES DO HEREBY CERTIFY TO THE FOLLOWING;  
1. CHICAGO TITLE INSURANCE COMPANY;  
2. MARILEE G. SERCU, ESQ.; and  
3. EDWARD R. THOMAS,  
THAT THIS MAP WAS MADE FROM NOTES OF AN  
INSTRUMENT SURVEY COMPLETED ON MARCH 9, 2016  
AND RE-DATED ON APRIL 9, 2018.

*James E. Bates, Jr.*  
JAMES E. BATES, Jr. LICENSE No. 49464



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The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any added data by others. Our liability is limited to the amount of the fee paid.

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The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.

These plans comply with the 2015 IRC  
© COPYRIGHT 2018

Revisions

Project  
ADDITION / REMODEL

Client  
ED & RACHEL THOMAS

Job Location  
52 REITZ PARKWAY  
PITTSFORD, NEW YORK

Drawing Title  
COVER SHEET & NOTES

Drawn  
SMK Checked By  
SLC

Date  
NOVEMBER, 2018

Job No.  
37956

Sheet  
1 of 5

**NOTES**

- (1) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- (2) THE 2015 INTERNATIONAL RESIDENTIAL CODE WITH THE NYS BUILDING STANDARDS & CODES JULY 2017 UNIFORM CODE SUPPLEMENT (NYBCS) PUBLICATION DATE: AUGUST, 2016 SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (3) THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (4) BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.
- (5) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER. (MFR)
- (6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- (7) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS IF ANY ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.
- (8) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.
- (9) ALLOWABLE STRESSES OF MATERIALS:
  - A) CONCRETE (R402.2) - MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI = - FOOTINGS: 2500 PSI  
- BASEMENT SLAB: 2500 PSI (W/ FIBER REINF. ADDITIVE, OPTIONAL)  
- GARAGE & PORCH SLABS: 3000 PSI (AIR-ENTRAINED)  
- BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED WHERE EXPOSED TO WEATHER)
  - B) STRUCTURAL STEEL TO BE ASTM - A36
  - C) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FB) WITH REPETITIVE MEMBER USE OF 1150 P.S.I. (HEM FIR #2 OR BETTER).
- (10) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R1001-R1066 AS APPLICABLE.
- (11) SETTING THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R403.1.1.3 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE
- (12) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS.
- (13) GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R 308.1. DECORATIVE GLASS IS EXEMPT IN SHOWER DOORS AND SIDELIGHTS (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS)
- (14) DESIGN CRITERIA:
  - A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
  - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
  - C) GROUND SNOW LOAD = 40 PSF (NYBCS)
  - D) WIND SPEED = 15 MPH FOR ULTIMATE STRESS DESIGN - 24 MPH (PER TABLE 301.2.1.3) FOR ALLOWABLE STRESS DESIGN (ASD)
  - E) SEISMIC DESIGN CATEGORY - A OR B - R301.2(2)
  - F) WEATHERING - SEVERE
  - G) FROST LINE DEPTH - 42"
  - H) TERMITE DAMAGE - NONE TO SLIGHT
  - I) DECAY DAMAGE - NONE TO SLIGHT
  - J) WINTER DESIGN TEMPERATURE - (1) DEGREE
  - K) ICE BARRIER IS REQUIRED
  - L) ROOF TIE-DOWN REQUIREMENTS - R402.11 (BASED UPON SPECIFIC ROOF DESIGN)
  - M) ENERGY COMPLIANCE DETAILS AND PATH - N101.13
- (15) FOOTINGS TO BEAR ON FIRM, LEVEL, UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL.
- (16) DRAWING ALTERATION: THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 148, SECTION 1202 AND APPLIES TO THESE DRAWINGS. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."
- (17) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE.
- (18) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M 1507 OF THE 2015 I.E.C.

**2015 INTERNATIONAL ENERGY CONSERVATION CODE NOTES:**

1. A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION R404.
2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION R402.4.5
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION R403.1.1
4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION R403.3.2 OF THE INTERNATIONAL RESIDENTIAL CODE
5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-3. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION R403.5
6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION R402.2.4
7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURER INSTRUCTIONS AND CRITERIA LISTED IN SECTION R402.4.1.1
8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. CONDUCT TEST ACCORDING TO ASTM E 119 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. COMPLY WITH R402.4.1 OF IECC

**ADDITION / REMODEL**  
52 REITZ PARKWAY, PITTSFORD, NEW YORK

**MR. & MRS. EDWARD THOMAS, HOMEOWNERS**

**ENERGY CODE COMPLIANCE PATH:**

THIS PROJECT IS DESIGNED TO COMPLY WITH THE "PRESCRIPTIVE" ENERGY CODE COMPLIANCE REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND COMPONENTS NECESSARY AND IN A MANNER TO COMPLY WITH THE "PRESCRIPTIVE" REQUIREMENTS SECTION 402 OF THE 2015 INTERNATIONAL ENERGY CODE.

CLIMATE ZONE 5A	MINIMUM R - MAXIMUM U VALUES FROM TABLE 402.1.2
PENETRATION	MAX U VALUE = 0.22
SKYLIGHTS	MAX U VALUE = 0.55
CEILING	MIN R VALUE = 44
WOOD FRAMED WALLS	MIN R VALUE = 20
FLOOR	MIN R VALUE = 30
BASEMENT WALLS	MIN R VALUE = 15 (CONTINUOUS)
CLIMATE ZONE 5A	EQUIVALENT U-FACTORS FROM TABLE 402.1.4
CEILING	U-FACTOR = 0.26 OR MIN R VALUE = 38
U-VALUE & R-VALUE CONVERSION (U=1/R) AND (R=1/U)	
R402.2.1 CEILING WITH ATTIC SPACES: WHERE SECTION R402.1.2 WOULD REQUIRE R-44 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5.	

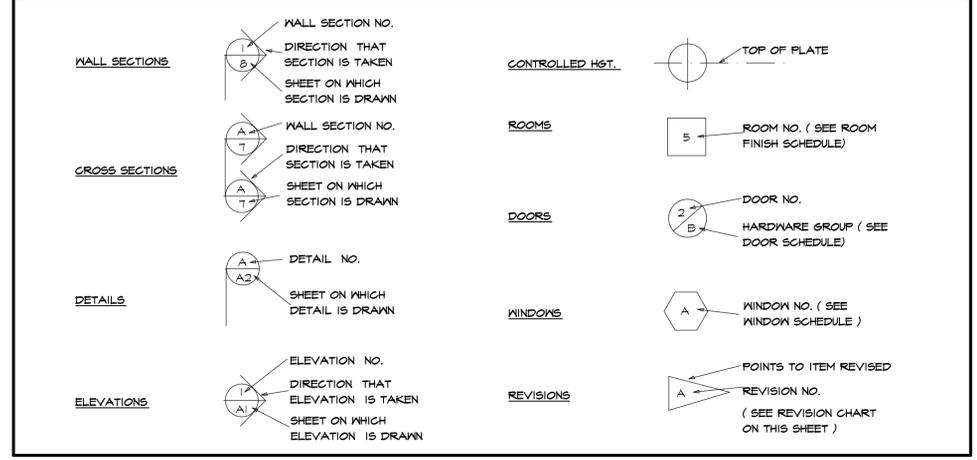
**GENERAL NOTES**

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES WHICH PERTAIN TO THE CONSTRUCTION OF THIS STRUCTURE
- CONTRACTOR SHALL VERIFY EXISTING STRUCTURAL CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION AND / OR CONSTRUCTION
- CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACING, TEMPORARY FRAMING SUPPORTS (SHORING), AND UNDERPINNING OF EXISTING STRUCTURE AS REQUIRED
- CONTRACTOR SHALL CO-ORDINATE THE INSTALLATION OF NEW AND / OR USE OF RELOCATED DOORS, AND WINDOWS WITH HOMEOWNER
- CONTRACTOR SHALL (WHERE POSSIBLE) MATCH PLATE HEIGHTS TO MAINTAIN CONTINUITY
- WHERE POSSIBLE - MATCH CONCRETE BLOCK COURSES AT NEW AND EXISTING FOUNDATION WALLS
- MINIMUM GRADE COVER AT ALL CONCRETE FOOTINGS SHALL BE 3'-6"
- INFILL EXISTING EXPOSED EXTERIOR FRAMING CAVITIES FULL WITH INSULATION

**TABLE OF CONTENTS**

- 1 COVER SHEET
- 2 ELEVATIONS
- 3 BASEMENT PLAN
- 4 FLOOR PLAN
- 4.1 DEMOLITION PLAN
- 5 ROOF PLAN & SECTIONS

**SYMBOLS**



**ABBREVIATIONS**

APPROX	-APPROXIMATE	FT (')	-FOOT	OPNG	-OPENING
#	-AND	FTS	-FOOTING	O/A	-OVERALL
@	-AT	FDN	-FOUNDATION	O/H D	-OVERHEAD DOOR
BM	-BEAM	GYP	-GYPSUM	O/ HANG	-OVERHANG
BLK	-BLOCK	HND'CP	-HANDICAP	O/	-OVER
BD	-BOARD	HST	-HEIGHT	OPT	-OPTIONAL
BLDG	-BUILDING	HW	-HOT WATER	P.D.R	-POWDER ROOM
BTR	-BETTER	HDR	-HEADER	PSF	-POUNDS PER SQ. FT.
CLG	-CEILING	IN (')	-INCH	PSI	-POUNDS PER SQ. IN.
CL	-CENTERLINE	INCL	-INCLUDE	P.T.	-PRESSURE TREATED
COL	-COLUMN	INFO	-INFORMATION	PLYWD	-PLYWOOD
CONC	-CONCRETE	ID	-INSIDE DIAMETER	REQ'D	-REQUIRED
CONT	-CONTINUOUS	INSUL	-INSULATION	RM	-ROOM
COMM	-COMMERCIAL	INT	-INTERIOR	RES	-RESIDENTIAL
CRS	-COURSES	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	RS	-RISERS
DL	-DEAD LOAD	IRC	-INTERNATIONAL RESIDENTIAL CODE	RD & SH	-ROD & SHELF
DIA	-DIAMETER	JRC	-JOINT	S	-SOUTH
DBL	-DOUBLE	JT	-JOIST	SKY'LT	-SKYLIGHT
DN	-DOWN	JSTS	-JOISTS	SH	-SHELF
DWS	-DRAWING	LT	-LIGHT	SH'S	-SHELVES
DIM	-DIMENSION	LL	-LIVE LOAD	STOR	-STORAGE
ELEC	-ELECTRIC	MFR	-MANUFACTURER	STL	-STEEL
EXP	-EXPANSION	MAX	-MAXIMUM	SUSP	-SUSPENDED
EXT	-EXTERIOR	MECH	-MECHANICAL	SYN	-SYNTHETIC
FT (')	-FEET	MTL	-METAL	TS	-TREADS
FIN	-FINISH	MIN	-MINIMUM	(TYP)	-TYPICAL
FLR	-FLOOR	MISC	-MISCELLANEOUS	T&G	-TONGUE & GROOVE
I ST	-FIRST	N	-NORTH	W	-WITH
FLUOR	-FLUORESCENT	NTS	-NOT TO SCALE	W/O	-WITHOUT
		NO	-NUMBER		

**TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing or continuous insulation installed on the underside of floor framing, and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class 1 vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Narrow cavities		
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC 400.





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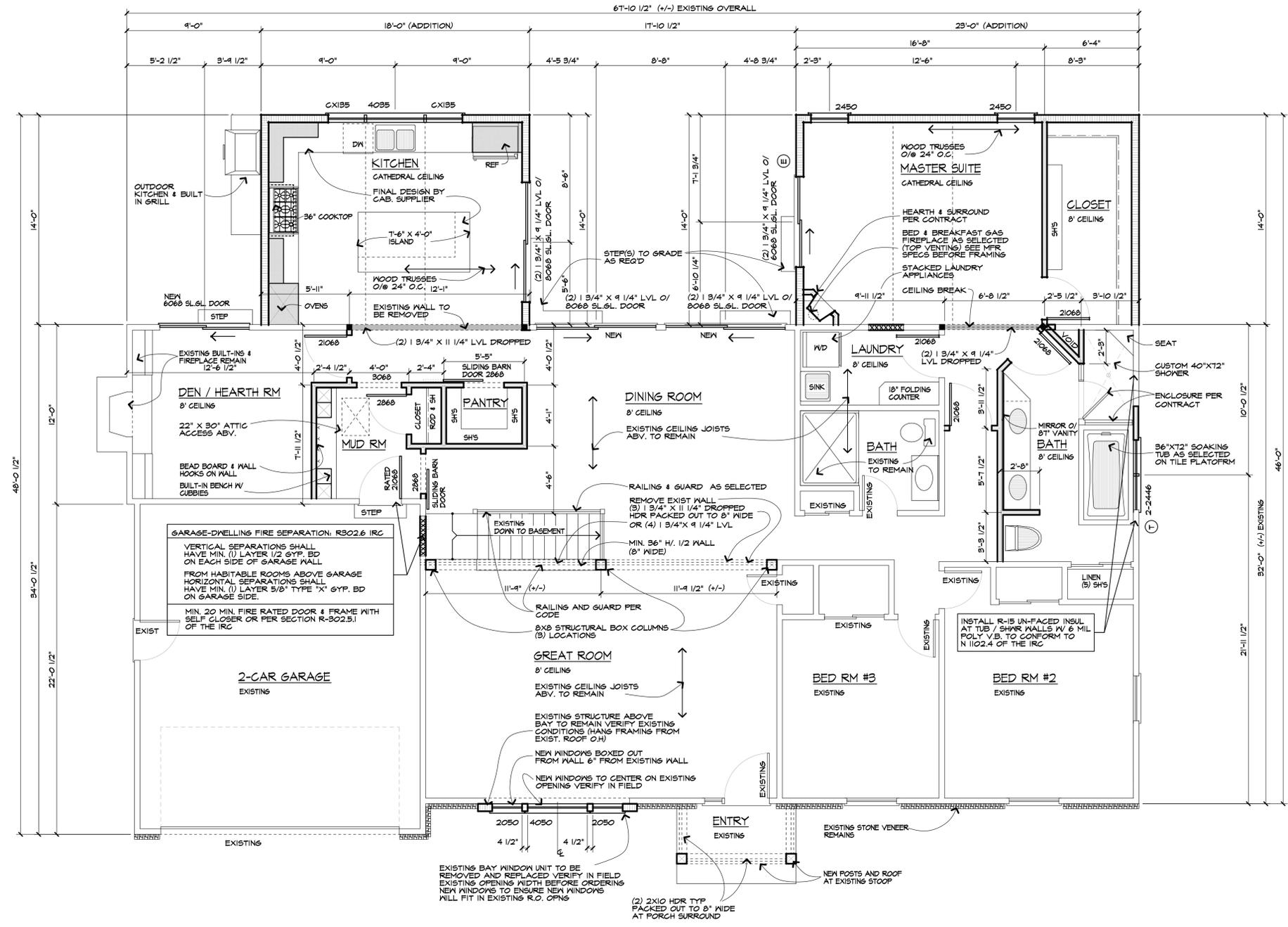
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- UNLESS OTHERWISE NOTED ON PLAN, FIRST FLOOR PLATE HEIGHT SHALL BE 8'-1 1/8" ABOVE TOP OF SUBFLOOR.
- UNLESS OTHERWISE NOTED ON PLAN, EXISTING FIRST FLOOR PLATE HEIGHT IS 8'-0 1/2" (+/-) ABOVE TOP OF SUBFLOOR.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER.
- CONTRACTOR SHALL INSTALL SMOKE & CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT INTERNATIONAL RESIDENTIAL CODES.
- ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DURAPLY (OR EQUAL) FINISH AT UNDERSIDE, FULL DEPTH RIM JOIST, AND SOLID BLOCKING AT SUPPORT WALL.
- INSTALL MID-SPAN CROSS BRIDGINGS AT FLOOR JOIST SPANS UP TO 14'-0" & INSTALL CROSS BRIDGINGS AT 1/3 POINTS FOR SPANS OVER 14'-0"
- INSTALL HANDRAIL & GUARDS AT STAIR PER SECTIONS R311.7.8-R311.12.2 AND R-312 OF THE IRC.
- LVL AND TJI PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2,000,000)
- T 3/4" MAX STEP AT EGRESS DOOR(S) ON THE EXTERIOR SIDE FROM THE THRESHOLD TO THE LANDING OR FLOOR PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
- PER EXCEPTION SECTION R311.3.1 OF THE IRC & T 3/4" MAX STEP FROM THRESHOLD TO THE LANDING OR FLOOR ON ALL OTHER EXTERIOR DOORS PER SECTION R311.3.2 OF THE IRC.
- PER R312 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2. WINDOW MANUFACTURER/SUPPLIER & CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMITY.

- GENERAL NOTES**
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES WHICH PERTAIN TO THE CONSTRUCTION OF THIS STRUCTURE.
  - CONTRACTOR SHALL VERIFY EXISTING STRUCTURAL CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION AND / OR CONSTRUCTION.
  - CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACING, TEMPORARY FRAMING SUPPORTS (SHORING), AND UNDERPINNING OF EXISTING STRUCTURE AS REQUIRED.
  - CONTRACTOR SHALL CO-ORDINATE THE INSTALLATION OF NEW AND / OR USE OF RELOCATED DOORS, AND WINDOWS WITH HOMEOWNER.
  - CONTRACTOR SHALL (WHERE POSSIBLE) MATCH PLATE HEIGHTS, SUBFLOORS, AND WINDOW ROUGH OPENING HEIGHTS TO MAINTAIN CONTINUITY.
  - WHERE POSSIBLE - MATCH CONCRETE BLOCK COURSES AT NEW AND EXISTING FOUNDATION WALLS.
  - MINIMUM GRADE COVER AT ALL CONCRETE FOOTINGS SHALL BE 3'-6"
  - INFILL EXISTING EXPOSED EXTERIOR FRAMING CAVITIES FULL WITH INSULATION.

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

NOTE:  
PROVIDE (2) 1/2" PLYWD GUSSETS - 2X6 WALL  
PROVIDE (1) 1/2" PLYWD GUSSET-2X4 WALL

**MALL LEGEND**

- 2X4 STUDS AT 16" O.C.
- 2X6 STUDS AT 16" O.C.
- EXISTING WALLS TO REMAIN
- EXISTING WALLS & WINDOWS AND DOORS TO BE REMOVED
- INFILL OPENING TO MATCH EXISTING ADJACENT ASSEMBLY
- — PROVIDE (3) STUDS SOLID WHERE SHOWN W/ SOLID BLK'S TO BELOW

WINDOW SUPPLIER TO VERIFY WINDOW WILL MEET THE FOLLOWING CRITERIA:  
CLEAR OPENING WIDTH SHALL BE 20" OR GREATER, CLEAR OPENING HEIGHT SHALL BE 24" OR GREATER, AND NET CLEAR OPENING SHALL BE 3.7 SQ. FT OR GREATER.  
THE BOTTOM EDGE OF THE CLEAR OPENING SHALL BE NOT GREATER THAN 44" MEASURED FROM THE FLOOR.

Revisions

Project: ADDITION / REMODEL

Client: ED & RACHEL THOMAS

Job Location: 52 REITZ PARKWAY PITTSFORD, NEW YORK

Drawing Title: FIRST FLOOR PLAN

Drawn: SMK Checked by: SLG

Date: NOVEMBER, 2018

Job No: 37956

Sheet: 4 of 5



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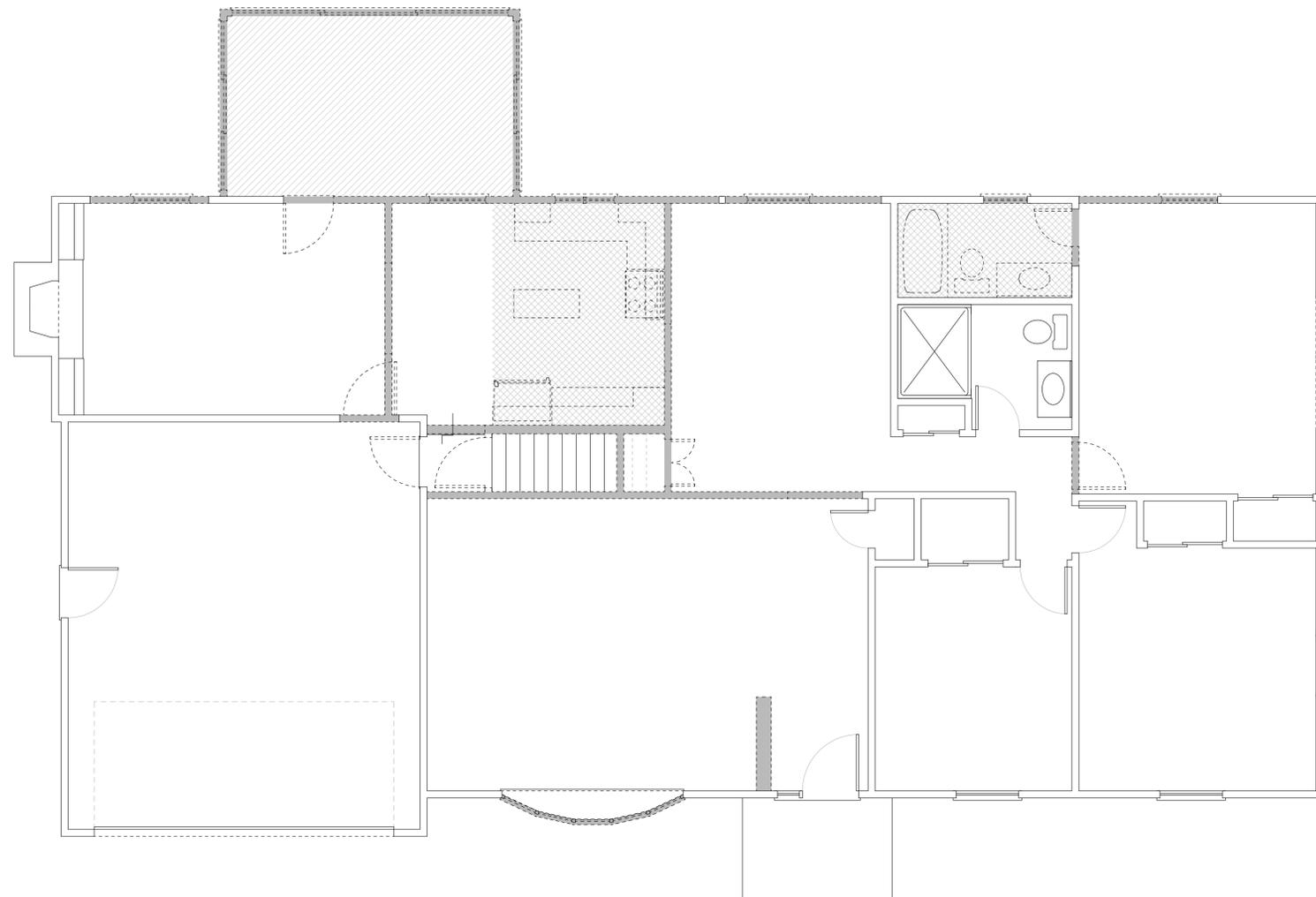
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WALL SCHEDULE UNLESS OTHERWISE NOTED	
	-EXISTING WALLS TO REMAIN
	-EXISTING WALLS TO BE REMOVED
	-EXISTING FIXTURES TO BE REMOVED
	-EXISTING ROOF AND WALL STRUCTURE TO BE REMOVED

DEMOLITION  
**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

Revisions

Project

ADDITION / REMODEL

Client

ED & RACHEL THOMAS

Job Location

52 REITZ PARKWAY  
PITTSFORD, NEW YORK

Drawing Title

FIRST FLOOR PLAN  
DEMOLITION PLAN

Drawn

SMK

Checked By

SLC

Date

NOVEMBER, 2018

Job No.

37956

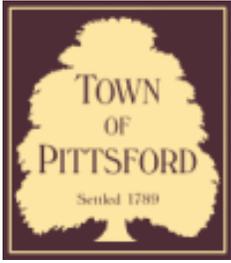
Sheet

4.1 of 5









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B19-000018**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 507 Allens Creek Road ROCHESTER, NY 14618

**Tax ID Number:** 137.20-2-6.21

**Zoning District:** RN Residential Neighborhood

**Owner:** Ricotta, Ron

**Applicant:** Ketmar Development Corp

#### Application Type:

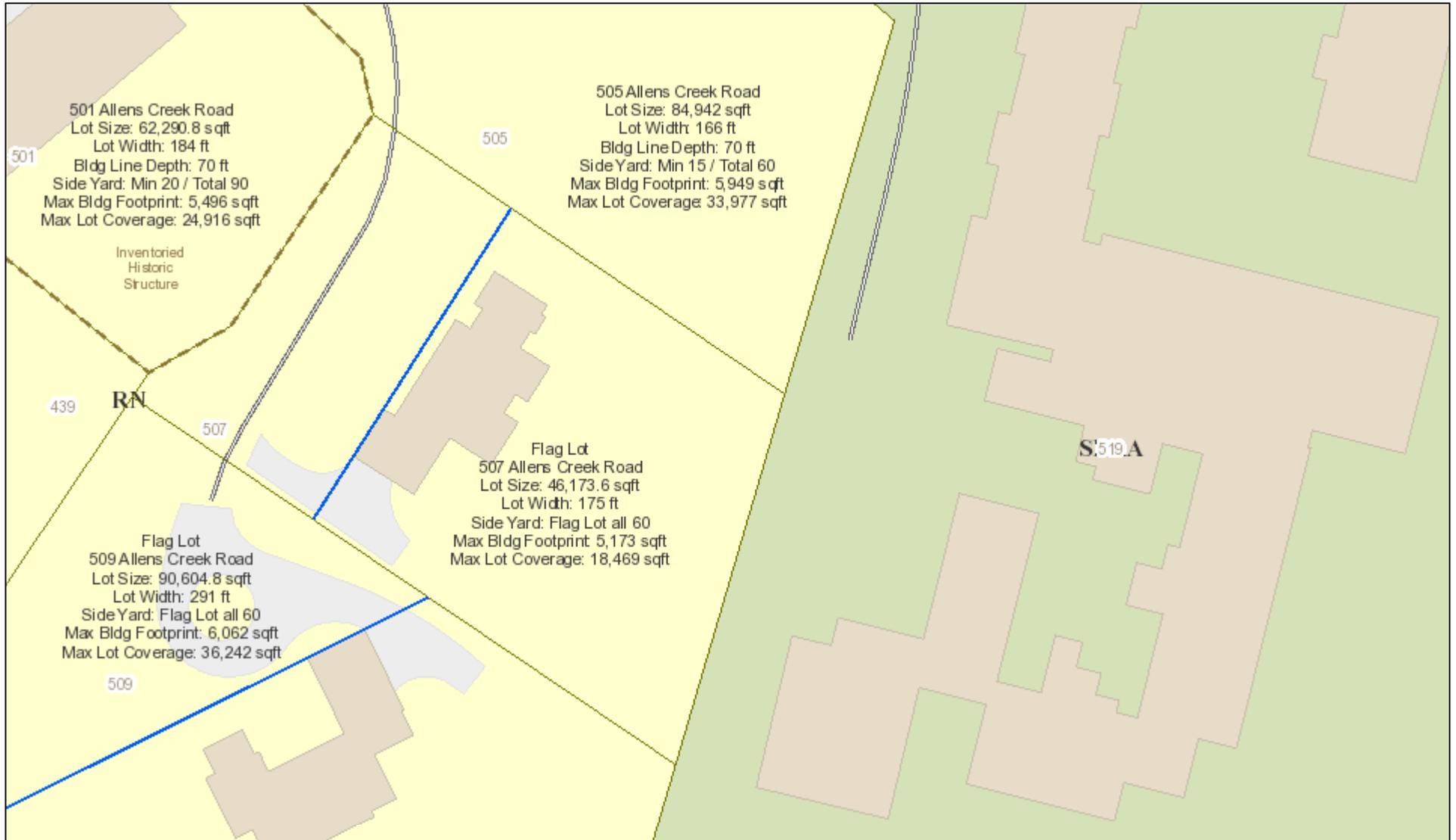
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the addition of an exercise room. The addition will be approximately 503 sq. ft. and will be located to the rear of the garage.

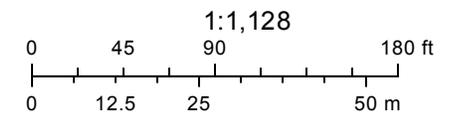
**Meeting Date:** February 28, 2019



# RN Residential Neighborhood Zoning

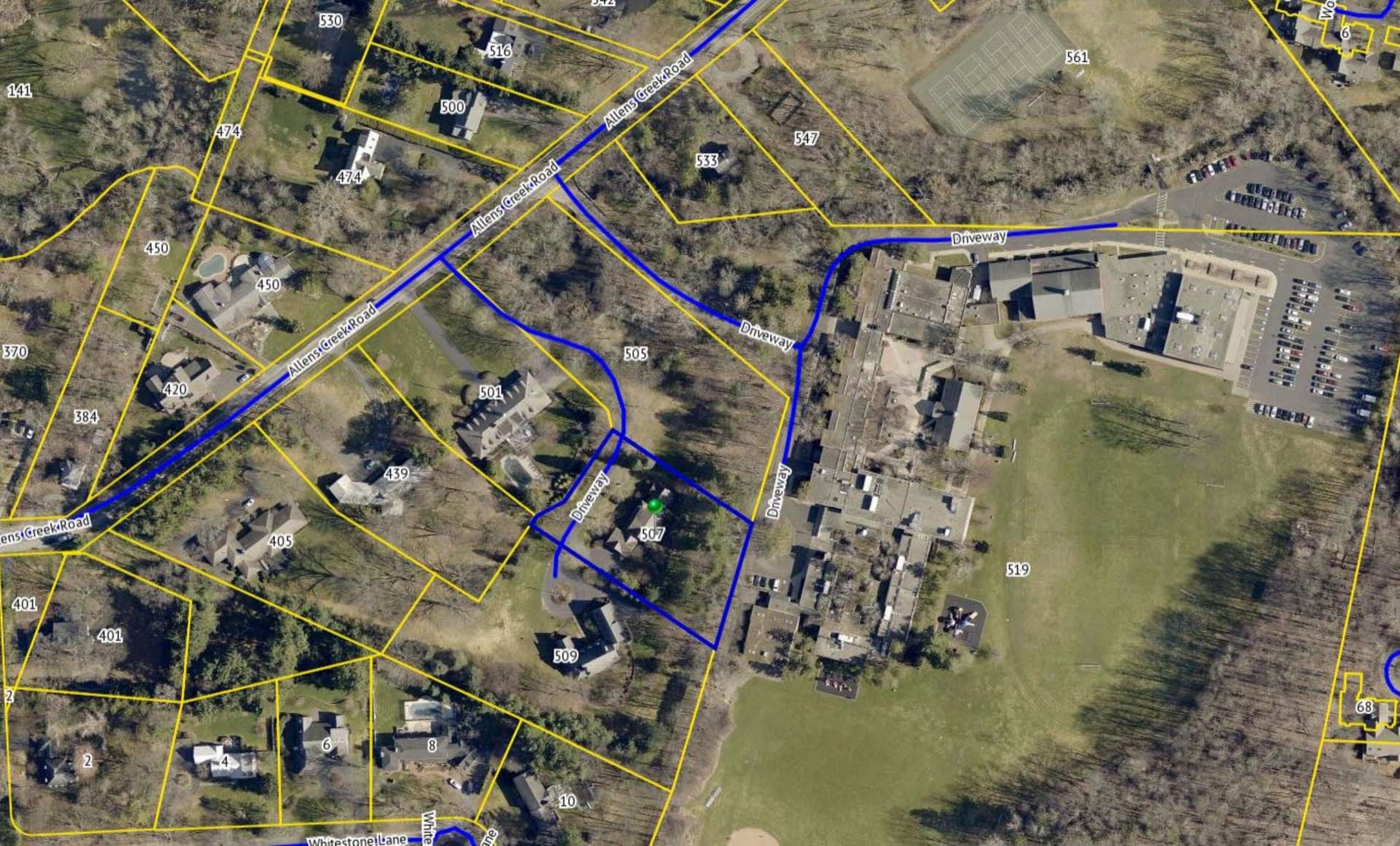


Printed February 21, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



530

516

500

474

533

547

561

474

450

450

420

505

501

439

Driveway

507

Driveway

509

519

141

370

384

401

401

2

2

4

6

8

10

68

Wo

6

Allens Creek Road

Allens Creek Road

Allens Creek Road

ens Creek Road

Driveway

Driveway

Driveway

Driveway

Whitstone Lane

White

ane



# RICOTTA RESIDENCE

## Project Information:

RICOTTA RESIDENCE  
 RON & KELLY RICOTTA  
 507 ALLENS CREEK -  
 ROCHESTER, NY 14618

## Architect Information:

METHOD ARCHITECTURE STUDIO  
 Peter Heintzelman, AIA, LEED G.A.  
 p: 440.590.2817  
 e: pete@methodarch.com

## Sheet Index:

Sheet No.	Sheet Name	Sheet No.	Sheet Name
A-0.0	COVER SHEET	A-1.3	UPPER LEVEL FRAMING PLAN
A-0.1	GENERAL NOTES	A-1.4	UPPER LEVEL PLAN
A-0.2	SITE PLAN	A-1.5	ROOF PLAN
A-0.3	DEMO PLANS	A-2.0	BUILDING ELEVATIONS
A-1.0	FOUNDATION PLAN	A-2.1	BUILDING ELEVATIONS
A-1.1	MAIN LEVEL FRAMING PLAN	A-3.0	BUILDING SECTIONS
A-1.2	MAIN LEVEL PLAN		

## Area Calculations:

Name	Type	Area
Additional Cond. Space	Living Space	503 SF
Main Level (Existing)	Living Space	3079 SF
Upper Level (Existing)	Living Space	1326 SF
		<hr/> 4909 SF
Garage (Existing)	Auxiliary Space	743 SF
Porch (Existing)	Auxiliary Space	283 SF
		<hr/> 1026 SF
		<hr/> 5935 SF

**GENERAL ROOF & ATTICS:**

- Approved bituthane water shield product (ie. Grace Ice and Water Shield) to be applied to all eaves and valleys. Amount applied to eaves according to chart below:

Roof Pitch	3:12 or less	3:12 - 6:12	6:12 or greater
Water Shield	8'-0"	5'-0"	3'-0"

- Use a rubber membrane roof on all roofs with a pitch of 3:12 or less.
- Unconditioned attic spaces must have ventilation openings covered with hardware cloth or mesh. One (1) square foot of venting area for every 150 square feet of crawl space.
- Required access to attic spaces is 22" x 30" with headroom above the opening of at least 30" and must be located in a hallway or other readily accessible location [R-807]
- Provide required flashing to meet or exceed common building practice where required and at roof changes, projections, valleys, etc.

**CLIMATIC & GEOGRAPHICAL DESIGN CRITERIA:**

- Table R301.2(1) -

Ground Snow Load	Wind Speed (mph)	Seismic Design Category	Subject to Damage From				Winter Design Temp.	Ice Shield Underlayment Req'd	Flood Hazards
			Weathering	Frost Depth	Termite	Decay			
40	115	B	Severe	42"	Moderate to Heavy	Slight to Moderate	+ 5 F	Yes	No

**STRUCTURAL LOADING DESIGN CRITERIA:**

- all loads in pounds per square foot -

Location	Live	Dead	Limit
1st Floor	40	15	L/360
2nd Floor (sleeping)	30	10	L/360
2nd Floor (non-sleeping)	40	10	L/360
Attic (no storage)	10	5	L/240
Attic (light storage)	20	10	L/240
Roof (with finished clg.)*	40	20	L/240
Roof (no finished clg.)*	30	15	L/180
Decks	40	10	L/360

\*Roof live loads based on 40 psf ground snow load w/ reduction factors per ASCE 7 for sloped roofs.

Note: Assumed safe soil bearing capacity is 2,000 psf at min. frost depth. Values may be increased if site specific soil classification or load bearing test data is available.

**Handrails:**

- Handrails are required on each side of stairways. Stairways less than 44" wide serving one dwelling unit may have on handrail (if not open on both sides)
- Handrails and extensions shall be 34" to 38" above nosing of treads and be continuous.
- The handgrip portion of all handrails shall be not less than 1-1/4" nor more than 2" in cross-sectional dimension. Handrails projecting from wall shall have at least 1-1/2" between the wall and the handrail. Ends of the handrails shall be returned or shall have rounded termination or bends.

**Guardrails:**

- On landings shall have a height of 36" off finish floor.
- On open stairways shall have a height of 34" to 38" above nosing of treads and be continuous
- Openings between railings shall be less than 4". The triangular openings formed by the riser, tread and bottom element of a guardrail at a stair shall be less than 6".
- Porches, balconies and raised floors greater than 30" above the finish floor or grade shall have a half wall or guardrail of 36" height.

**Stairs:**

- Stairwells to be a minimum of 36" in width and have a consistent head height to finished ceiling of 6'-8" from the tread nosing.
- Closed risers with 1" nosing unless noted otherwise maximum height of 7-3/4".
- A landing is not required at top of interior stairs provided a door does not swing over stair.

**ELECTRICAL:**

Kitchens and dining areas of dwelling units receptacle outlet shall be installed at each counter space wider than 12". Receptacles shall be installed so that no point along the wall line is more than 24" measured horizontally from a receptacle outlet in that space. Island and peninsular countertops 12" to 24" long (or greater) shall have at least one receptacle. Counter top spaces separated by range tops, refrigerators or sinks shall be considered as separate counter top spaces.

Bathroom receptacle outlets shall be supplied by a minimum of one 20-ampere branch circuit. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. NEC Art. 210-52(d).

- Electrical layout should meet or exceed local and national codes and shall be inspected during construction.
- A permanent "Energy Standards Certificate" shall be posted on or in the electrical distribution panel. The certificate shall list the required R-Values of insulation installed and the type and efficiency of heating, cooling and service water heating equipment.

**GLAZING:**

The following locations should be of safety glazing material in accordance with section 2406.4 (see exceptions)

- Doors and enclosures for hot tubs, whirl pools, saunas, steam rooms, bathtubs and showers and in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above a standing surface and drain inlet.
- Fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc, of either vertical edge of the door in a closed position. And where the bottom exposed edge of the glazing is less than 60 inches above the walking surface.

**SMOKE ALARMS:**

R314.3 Location. Smoke alarms shall be installed in the following locations: 1. In each sleeping room. 2. Outside each separate sleeping area in the immediate vicinity of the bedrooms. 3. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics [...] 4. Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower...

F915.2.3.1.1.1 A carbon monoxide alarm shall be provided on each story containing a sleeping area, within 15 feet of the sleeping area [...] and] a carbon monoxide alarm shall be provided on each story that contains a carbon monoxide source.

**SPRINKLER SYSTEM:**

If required for this project contractor is to provide complete submittal for system as required by the Victor, NY Building Department and Victor, NY Fire Protection District. Scope of work is submitted under a separate permit.

**MECHANICAL, ELECTRICAL & PLUMBING:**

NR404.1 Lighting equipment. Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 % of the permanently installed lighting fixtures shall contain only high-efficacy lamps. Exception: Low-voltage lighting.

NR404.1.1 Lighting equipment. Fuel gas lighting systems shall not have continuously burning pilot lights.

NR402.2.4 Access hatches and doors. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A wood-framed or equivalent baffle or retainer is required to be provided when loose-fill insulation is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation.

NR403.1.1 Programmable thermostat. The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).

NR403.5.1 Sealing (Mandatory). Ducts, air handlers and filter boxes shall be sealed.

NR403.5.1 Heated water circulation and temperature maintenance systems (Mandatory). Heated water circulation systems shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.

**DECK FRAMING:**

R317.1.2 Ground contact. All wood in contact with the ground, embedded in concrete in direct contact with the ground or embedded in concrete exposed to the weather that supports permanent structures intended for human occupancy shall be approved pressure-preservative-treated wood suitable for ground contact use, except that untreated wood used entirely below ground/water level or continuously submerged in fresh water shall not be required to be pressure-preservative treated.

**ATTIC ACCESS:**

R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that have a vertical height of 30 inches or greater over an area of not less than 30 square feet...The rough-framed opening shall be not less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location. Where located in a wall, the opening shall be not less than 22 inches wide by 30 inches high. Where the access is located in a ceiling, minimum unobstructed headroom in the attic space shall be 30 inches at some point above the access measured vertically from the bottom of ceiling framing members

**CONSTRUCTION NOTES:**

- Construction shall conform to the residential code of New York State.
- Comply with all local, state and federal codes and regulations.
- General Contractor is responsible for all materials, construction methods and craftsmanship.
- General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- General Contractor to provide adequate support of existing foundations walls, load bearing walls and partitions during demolition and construction (if applicable to project).
- All pre-engineered roof & floor systems and their blocking/bracing to be certified by the manufacturer.
- Contractor is responsible for coordinating work with other trades wherever they overlap.
- When materials and/or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- All new work shall be plumb, level and square. Scribe and make fit all new work to existing (if applicable to project).
- All detail: are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing, etc.) to match existing (if applicable to project). Final selections by owner and General Contractor, unless otherwise specified.
- All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar, unless otherwise specified.
- Coordinate the installation of continuous aluminum gutters and downspouts to match existing (if applicable to project). Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- Design and coordination of all sitework, including finish grading and hydroseeding. General Contractor.
- Design and coordination of electric, plumbing and HVAC system installation by General Contractor. Verify capacity and location of existing utilities/services prior to construction (if applicable to project).
- All areas of habitable space will be provided with openings for emergency egress of 5 square feet at first floor and 5.7 square feet at second floor. All sills to be within 44" of finish floor.
- Beams to foundation pockets shall have 1/2" clearance from masonry - (1/2" airspace three (3) sides w/ steel shims and solid CMU cores at bearing).
- These documents do not purport to show all means and methods required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

**DEMOLITION NOTES (if applicable):**

- It is the General Contractor's responsibility to familiarize themselves with all details involved in the selective demolition. Specific instructions on each item will not be given.
- All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- The General Contractor is to remove all existing walls, doors and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing conditions.
- The General Contractor is to remove all existing lighting, wiring and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- The General Contractor is to remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping. Cap at nearest active main or riser.
- The General Contractor is to remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- On items 4,5 and 6 General Contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- The General Contractor shall be responsible for the salvage for existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing conditions.
- The General Contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- The General Contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- The General Contractor shall maintain safe access to all designated exits for the building occupants during construction.
- Storage for contractor's equipment and debris must be kept inside the contract area.
- Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- If materials are suspected to contain asbestos, the General Contractor is to immediately inform the owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

**GENERAL FOUNDATIONS:**

- All concrete to be minimum 3,000 psi (unless otherwise noted)
- Bottom of footer to be minimum frost depth below finished grade and rest on undisturbed soil.
- Top of wall to extend minimum of 8" above finished grade.
- A perimeter perforated pipe shall be placed along the outside of the footer below the finished slab height. Pipe to be laid in well draining gravel on all sides and discharge by gravity.
- Damproofing of a bituminous-based coating or another approved damproofing material is to be applied to the outside of block face from the top of footer to finish grade.
- Unconditioned crawl spaces must have ventilation openings covered with hardware cloth or mesh. One (1) square foot of venting area for every 150 square feet of crawl space. [at least 1 vent opening must be within three (3) feet of each corner].
- Required access to crawl spaces is 18" x 24" when in the floor and 16" x 24" when access is through the perimeter wall.
- Control joints to be provided for all concrete slabs over 400 square feet.
- It is recommended that radon mitigation piping be placed under slab to an elbow above the slab for future connection if necessary.
- 2x sill plates to be of pressure treated material.
- Porches, carport slabs and steps exposed to weather and garage slabs shall be minimum 3,500 psi (28 days compressive strength) concrete w/ 6x6 welded wire mesh.
- Provide deep score control joints at midpoints of all garage slabs (both directions) and provide 1/2" expansion joints between all concrete slabs and abutting concrete walls occurring in exterior or un-conditioned interior areas.

**GENERAL BUILDING:**

- Use one (1) layer 5/8" type 'X' gyp. brd. @ garage walls and ceilings. All joints to be taped, sealed and paint finish. Install per 1997 UBC requirements.
- Provide built up platform to be minimum 18" above slab of finished floor to allow for placement of hot water (LPG) & forced air unit (LPG).
- Electric and plumbing layout shall meet or exceed local and national codes and shall be inspected during construction per county building department.
- Provide rust-inhibitive paint to steel columns except for corrosion resistant or treated steel per R-407 of the Residential Code.
- Carbon Monoxide detectors (battery operated or direct wired) shall be installed in the immediate vicinity of bedroom(s) on the lowest floor of the dwelling unit.
- Fireblocking shall be installed per sections R-314.8, R-602 & R-1001.16 of the Residential Code - Fireblocking shall be provided in concealed wall and stair spaces at the floor and ceiling (also 1/2" gyp. brd. on underside of stairs in enclosed accessible spaces). Horizontal furred spaces at intervals no exceeding 10'-0" feet, concealed joist spaces at beams and bearing walls.
- All gas appliances to be directly vented to roof or exterior termination addressing all requirements per MFR specifications.
- Provide gas sensor/alarm at all appliances and lowest point of floor area, and provide at sub-floor, wire to audible alarm system.
- All egress windows may exceed the following dimensions: Clear openable area of 5.7 square feet. Clear width of 20" minimum and clear height of 24" minimum. Not to exceed 44" above finished floor.
- General Contractor will be responsible for all means, methods, techniques, sequence and safety issues to the construction contract.
- This set of plans has been designed and shall be built to comply w/ the IRC (International Residential Code) and meets or exceeds the energy conservation construction code.



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REVISIONS:

SIGN & SEAL:

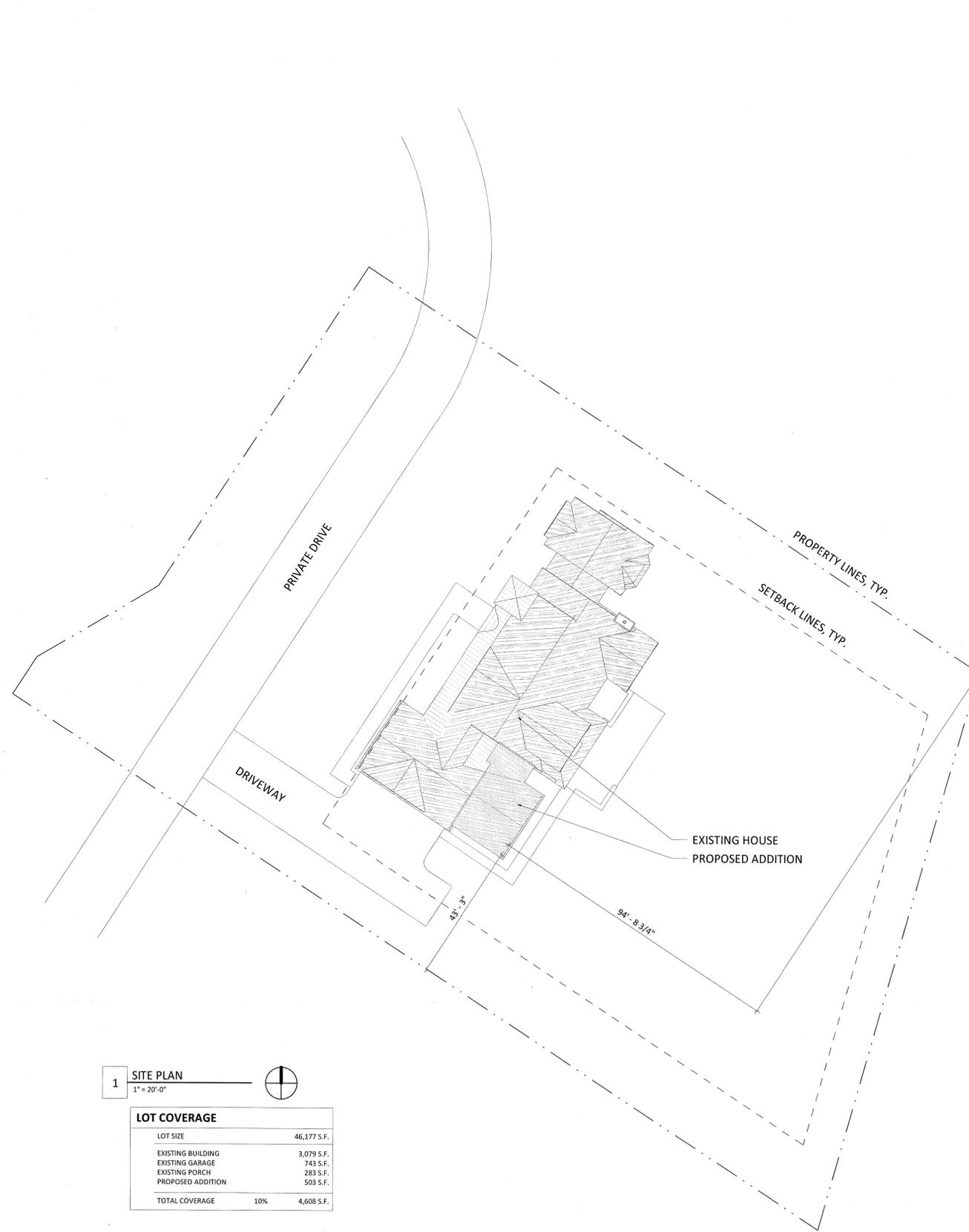


GENERAL NOTES  
**RICOTTA RESIDENCE**  
 507 ALLENS CREEK - ROCHESTER, NY 14618  
 RON & KELLY RICOTTA

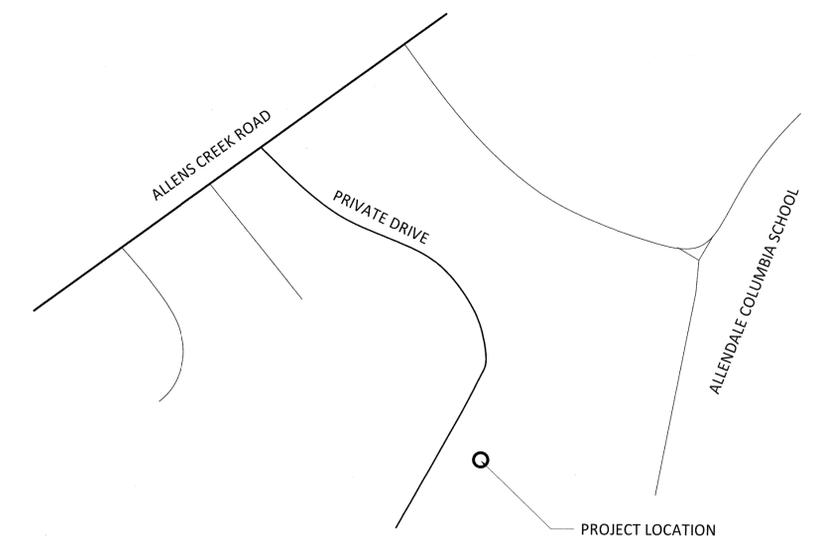
DATE: 02.19.19  
DRAWN BY: PH

SHEET:  
**A-0.1**

PERMIT SET (FOR CONSTRUCTION)



### VICINITY MAP



**1 SITE PLAN**  
1" = 20'-0"

LOT COVERAGE	
LOT SIZE	46,177 S.F.
EXISTING BUILDING	3,079 S.F.
EXISTING GARAGE	743 S.F.
EXISTING PORCH	283 S.F.
PROPOSED ADDITION	503 S.F.
<b>TOTAL COVERAGE</b>	<b>10% 4,608 S.F.</b>

**METHOD**  
ARCHITECTURE STUDIO  
architecture + planning + interiors  
PETE HEINTZELMAN, AIA, LEED, G.A.  
p: 440.590.2817 -- e: pete@methodarch.com

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REVISIONS:

SIGN & SEAL:



**SITE PLAN**  
**RICOTTA RESIDENCE**  
507 ALLENS CREEK - ROCHESTER, NY 14618  
RON & KELLY RICOTTA

PERMIT SET (FOR CONSTRUCTION)

DRAWING: DATE: 02.19.19  
DRAWN BY: PH

SHEET: A-0.2

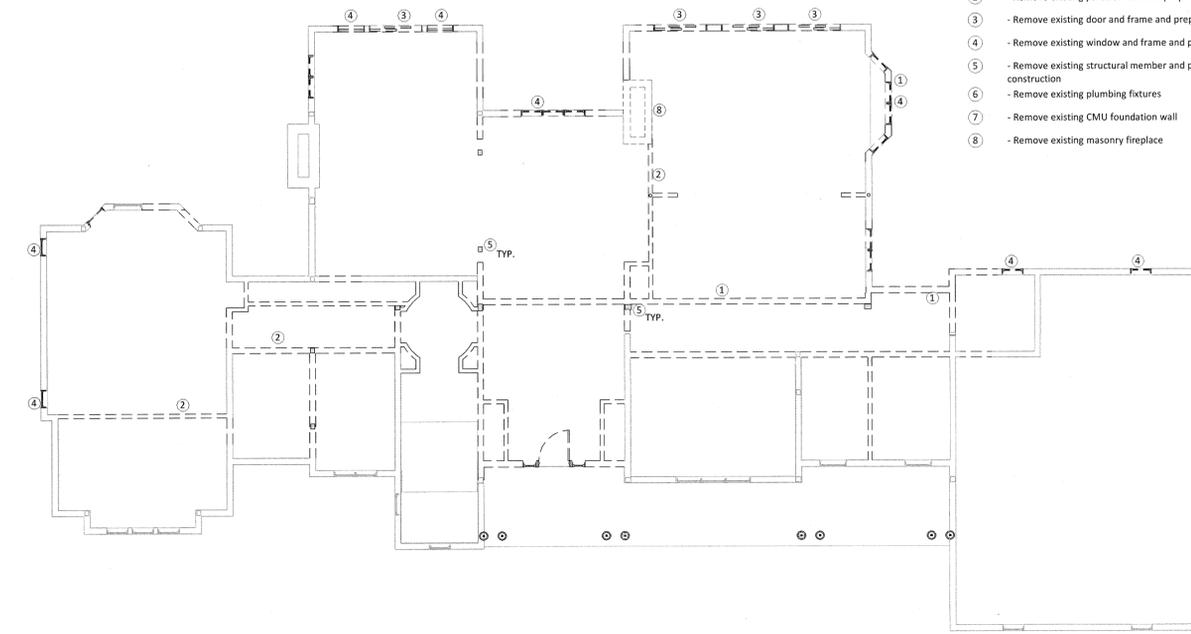
METHOD ARCHITECTURE STUDIO HEREBY  
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 AND OTHER PROPERTY RIGHTS IN THESE  
 PLANS, IDEAS AND DESIGNS. THESE PLANS,  
 IDEAS AND DESIGNS ARE NOT TO BE  
 REPRODUCED, CHANGED OR ASSIGNED TO  
 ANY THIRD PARTY, WITHOUT FIRST  
 OBTAINING WRITTEN PERMISSION FROM  
 METHOD ARCHITECTURE STUDIO.

**TYPICAL DEMOLITION WALL LEGEND:**

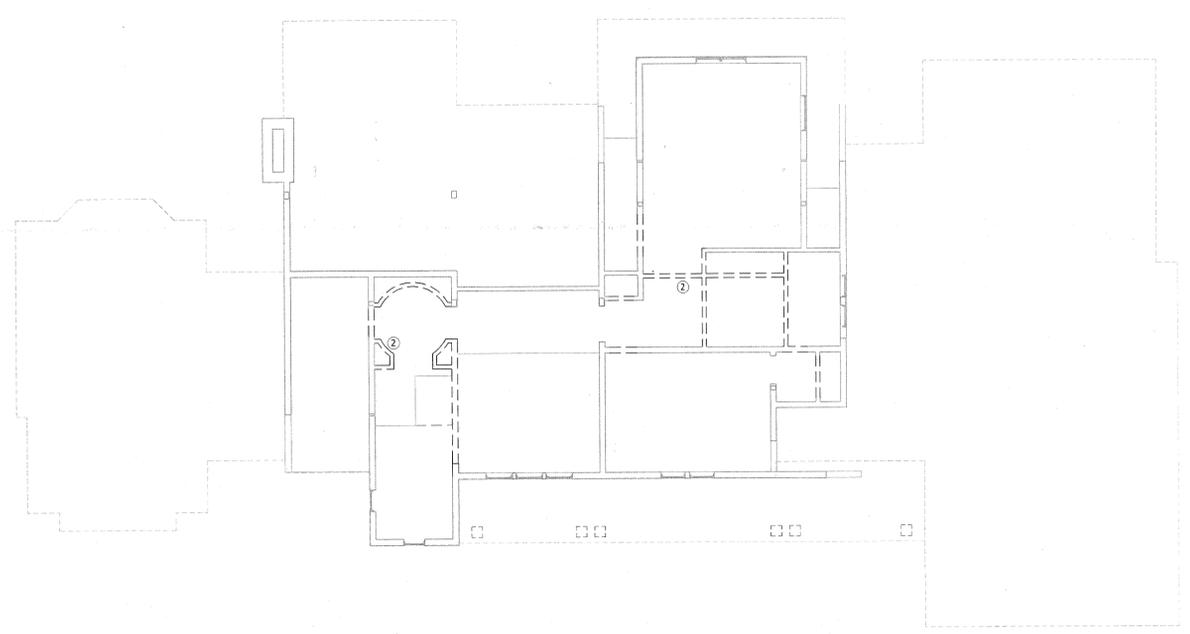


**DEMOLITION LEGEND:**

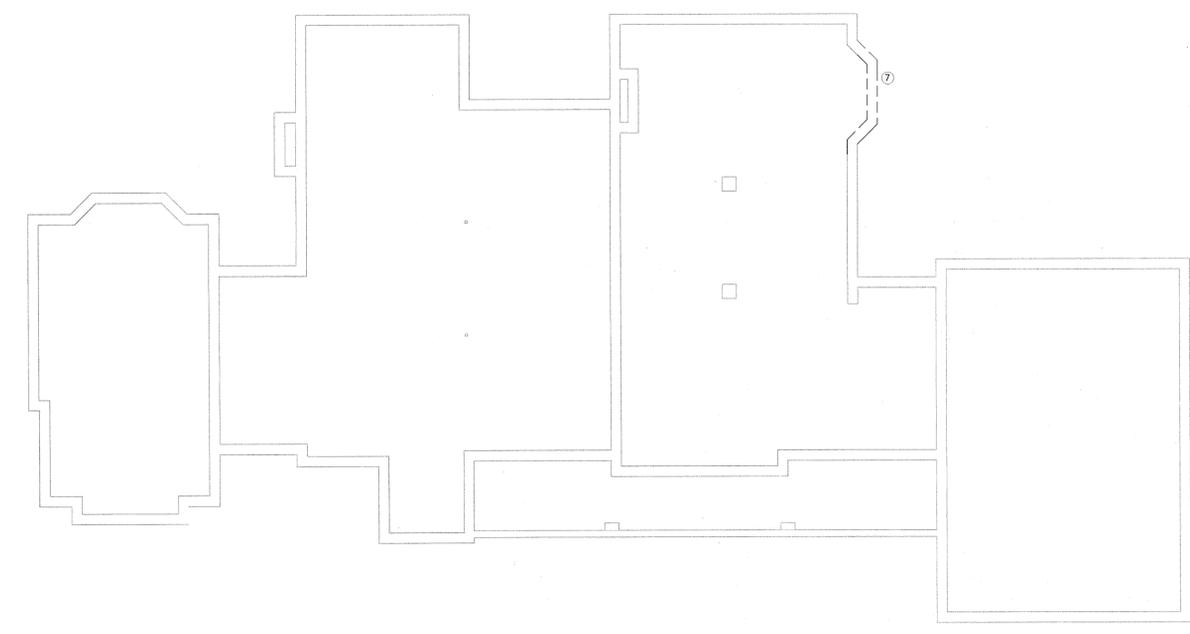
- ① - Remove existing bearing wall and prepare for new construction
- ② - Remove existing partition wall and prepare for new construction
- ③ - Remove existing door and frame and prepare for new construction
- ④ - Remove existing window and frame and prepare for new construction
- ⑤ - Remove existing structural member and prepare for new construction
- ⑥ - Remove existing plumbing fixtures
- ⑦ - Remove existing CMU foundation wall
- ⑧ - Remove existing masonry fireplace



**2 MAIN LEVEL DEMO PLAN**  
 1/8" = 1'-0"



**3 UPPER LEVEL DEMO PLAN**  
 1/8" = 1'-0"



**1 FOUNDATION DEMO PLAN**  
 1/8" = 1'-0"

REVISIONS:

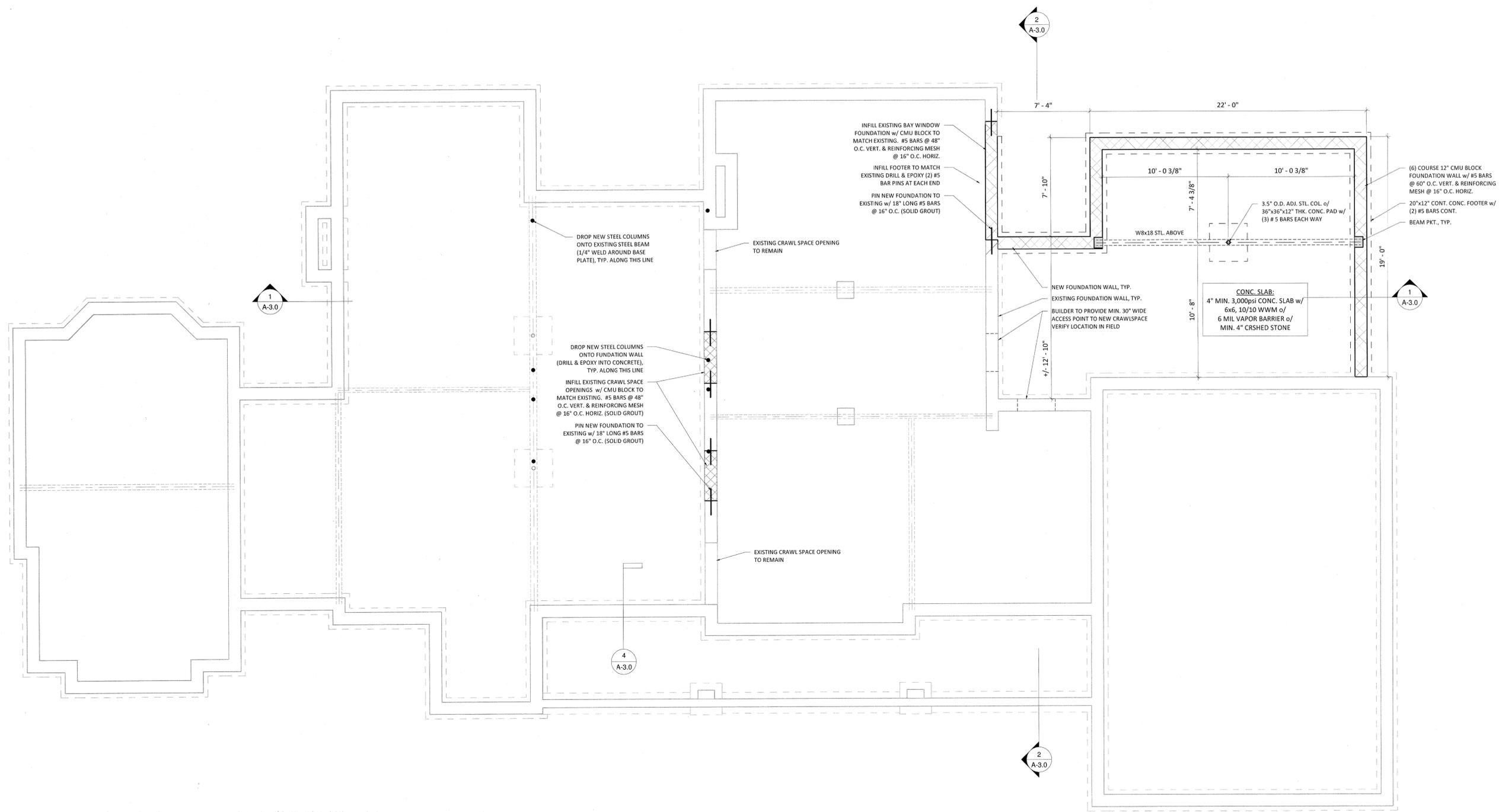
SIGN & SEAL:



PERMIT SET (FOR CONSTRUCTION)

**DEMO PLANS**  
**RICOTTA RESIDENCE**  
 507 ALLENS CREEK - ROCHESTER, NY 14618  
 DRAWING: \_\_\_\_\_  
 JOB: \_\_\_\_\_  
 DATE: 02.19.19  
 DRAWN BY: Author  
 RON & KELLY RICOTTA

SHEET:  
**A-0.3**



1 FOUNDATION PLAN  
1/4" = 1'-0"

- FOUNDATION & SLAB NOTES (SUPERIOR WALL):**
- FINAL FOOTING DEPTHS & CONFIGURATIONS ARE SUBJECT TO CHANGE PER SUB-SURFACE CONDITIONS. ALL FOOTINGS TO REST ON UNDISTURBED SOIL AND MAINTAIN FROST DEPTHS PER CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE ON A-0.2. A PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF HAS BEEN ASSUMED IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION.
  - ALL CONCRETE FOUNDATION WALLS, FOOTERS, PADS, SLABS, ETC. ARE TO BE MIN. 3000 PSI, U.N.O.
  - PROVIDE PERIMETER FOUNDATION DRAIN PIPE PITCHED @ 1/8"-12" TO DAYLIGHT OR A PREPARED 1'-0" DEEP, 2'-0" DIAMETER GRAVEL BED OR SUMP PUMP AS REQUIRED BY OWNER. DRAINPIPE TO BE 4" PERFORATED PIPE W/ HOLES ORIENTED DOWNWARD.
  - CONTROL JOINTS TO BE PROVIDED FOR ALL CONCRETE SLABS OVER 900 S.F.
  - IT IS RECOMMENDED THAT RADON MITIGATION PIPING BE PLACED UNDER SLAB TO AN ELBOW ABOVE SLAB. PROVIDE PVC VENT PIPE TO EXTERIOR. VERIFY INSTALLATION W/ OWNER.
  - ALL SUBBASE TO BE COMPACTED IN 6" LIFTS.
  - PROVIDE CLOSED CELL FOAM SILL SEALER & 2x PRESSURE TREATED SILL PLATE FLUSH TO EXTERIOR EDGE OF ALL FOUNDATION WALLS. SECURE W/ ANCHOR BOLTS PER PLAN.
  - PROVIDE (2) PRESSURE TREATED 2x4 @ PERIMETER OF WINDOW & DOOR ROUGH OPENINGS IN FOUNDATION WALLS.
  - PROVIDE (1) PRESSURE TREATED 2x ON TOP OF STEEL BEAMS.
  - FINAL SPECIFICATIONS, DIMENSIONS, DEPTHS, CONFIGURATIONS AND REQUIREMENTS OF PRE-MANUFACTURED FOUNDATION WALLS TO BE APPROVED BY CONTRACTOR/OWNER. METHOD ARCHITECTURE STUDIO IS NOT RESPONSIBLE FOR APPROVAL OF MANUFACTURERS' SHOP DRAWINGS.
  - DO NOT BACKFILL FOUNDATION WALLS UNTIL FIRST FLOOR FRAMING IS IN PLACE
  - ALL BACKFILL TO BE COMPACTED IN MAX. 8" LIFTS TO 95% COMPACTION
  - IN LIEU OF A GEOTECHNICAL EVALUATION, CONTRACTOR SHALL BRING ANY CONCERNS ABOUT THE ACTUAL SOIL CONDITIONS TO THE ATTENTION OF THE OWNER. IT IS RECOMMENDED THAT A GEOTECHNICAL ENGINEER REVIEW ALL SUCH CONCERNS

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REVISIONS:

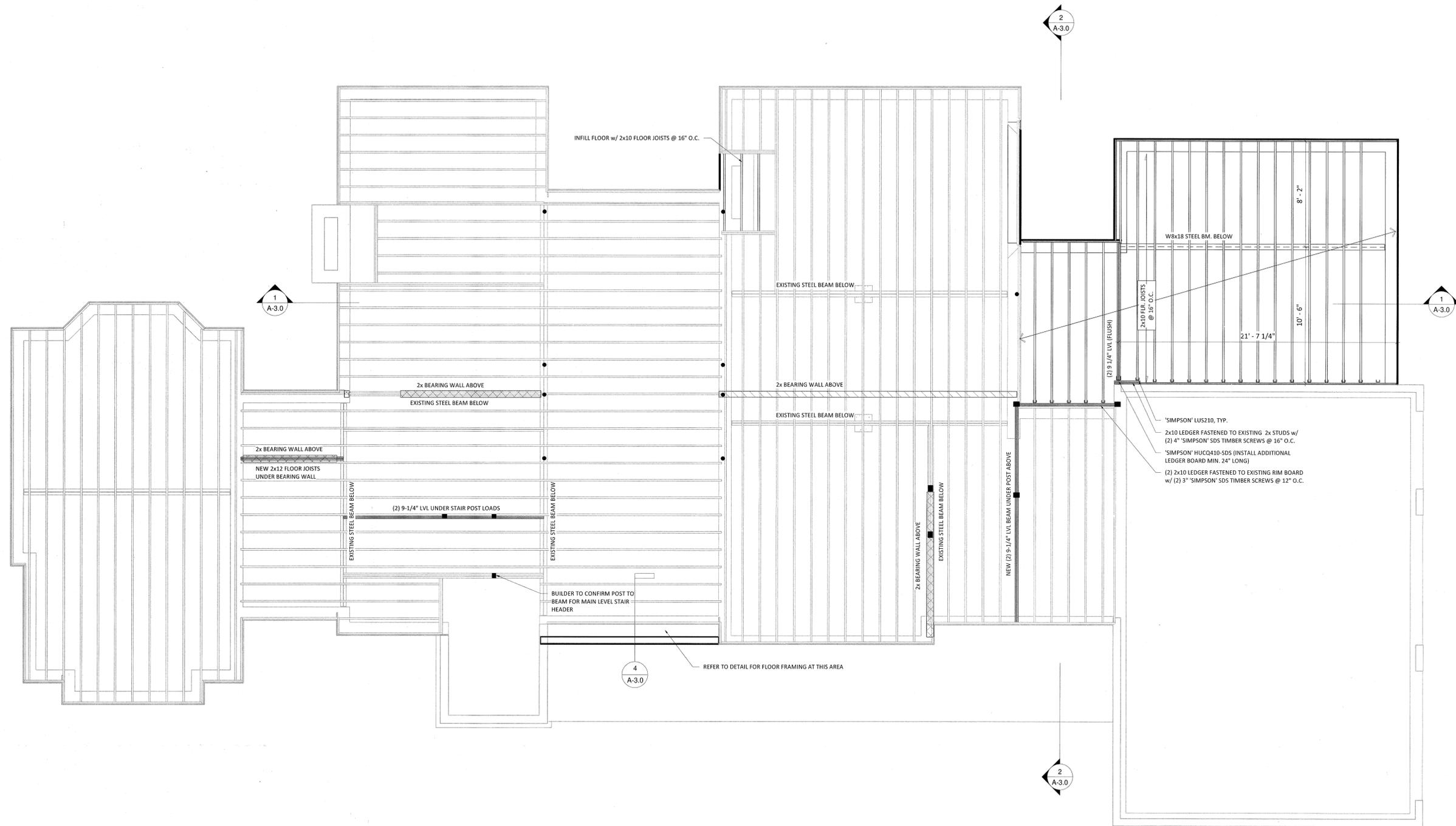


FOUNDATION PLAN  
RICOTTA RESIDENCE  
507 ALLENS CREEK - ROCHESTER, NY 14618

DRAWING:  
JOB:  
DATE: 02.19.19  
DRAWN BY: PH

SHEET:  
A-1.0

PERMIT SET (FOR CONSTRUCTION)



1 MAIN LEVEL FRAMING PLAN  
1/4" = 1'-0"

- FRAMING NOTES:**
1. FINAL SIZING AND ENGINEERING OF FLOOR SYSTEM BY CERTIFIED MANUFACTURER
  2. INSTALL BLOCKING AND BRIDGING PER MANUFACTURER SPECIFICATIONS
  3. BEARING CONDITIONS AND CONNECTIONS PER MANUFACTURER SPECIFICATIONS
  4. PROVIDE THRU-PENETRATIONS IN JOISTS, BEAMS & HEADERS PER MANUFACTURER SPECIFICATIONS
  5. INSTALL END-GRAIN BLOCKING AT ALL TIMBER POST LOCATIONS

- DECK NOTES:**
1. LIVE LOAD 40 PSF
  2. RAILINGS TO SUPPORT 200 # LATERAL POINT LOAD
  3. FLASH LEDGER AT HOUSE CONNECTION
  4. THRU-BOLT LEDGER CONNECTION TO RIM JOIST
  5. PROVIDE SOLID BLOCKING IN WALL @ LEDGER CONNECTION

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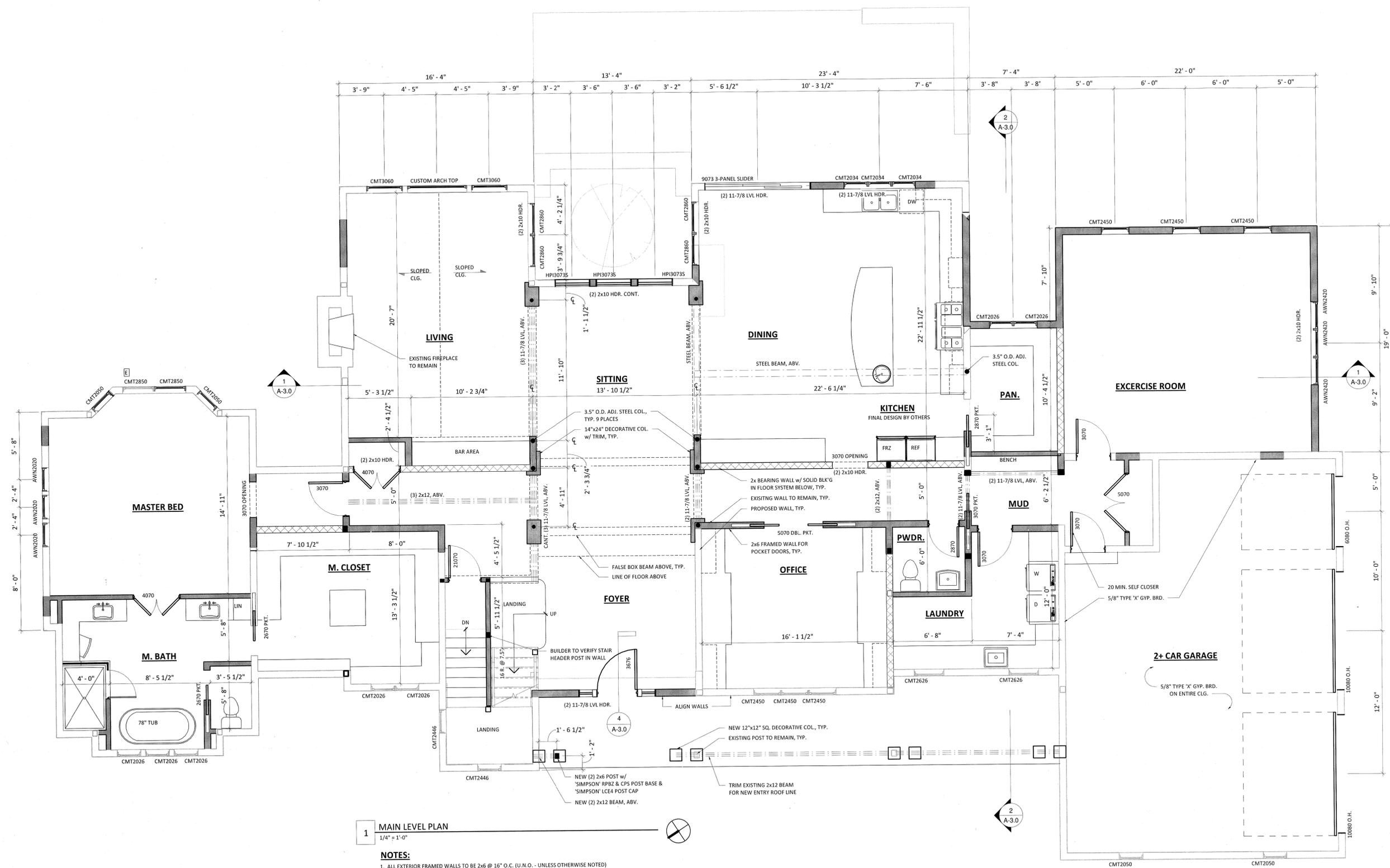
REVISIONS:

SIGN & SEAL:  


**MAIN LEVEL FRAMING PLAN**  
**RICOTTA RESIDENCE**  
 507 ALLENS CREEK - ROCHESTER, NY 14618  
 DRAWING: PH  
 JOB: RON & KELLY RICOTTA  
 DATE: 02.19.19  
 DRAWN BY: PH

PERMIT SET (FOR CONSTRUCTION)  
 SHEET: **A-1.1**

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**1 MAIN LEVEL PLAN**  
1/4" = 1'-0"

- NOTES:**
1. ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O. - UNLESS OTHERWISE NOTED)
  2. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
  3. ALL EXTERIOR HEADERS TO BE (2) 2x8 INSULATED (U.N.O.)
  4. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING, INTERIOR FACE OF 2x STUDS OR CENTERLINE OF STRUCTURAL MEMBER
  5. DOUBLE TRIMMERS AT ALL 4'-0" OPENINGS AND LARGER
  6. ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
  7. ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
  8. INDICATES (3) STUD POST, GLUED & NAILED (U.N.O.)

- GLAZING LEGEND:**
- E - INDICATES AN EGRESS WINDOW
  - T - INDICATES A TEMPERED WINDOW

**ENERGY CONSERVATION STATEMENT:**  
The proposed building has been designed to meet or exceed 2015 IECC requirements and comply with section R405.3 of the residential energy code. Spray foam insulation will be utilized to seal the building envelope, including but not limited to walls, roof, rim joist, above garage floors and all perforations into unconditioned space. Breaks and joints in the air barrier will be sealed with foam or caulk. A Honeywell V1850 ventilation control system will be utilized to provide the required air exchange.

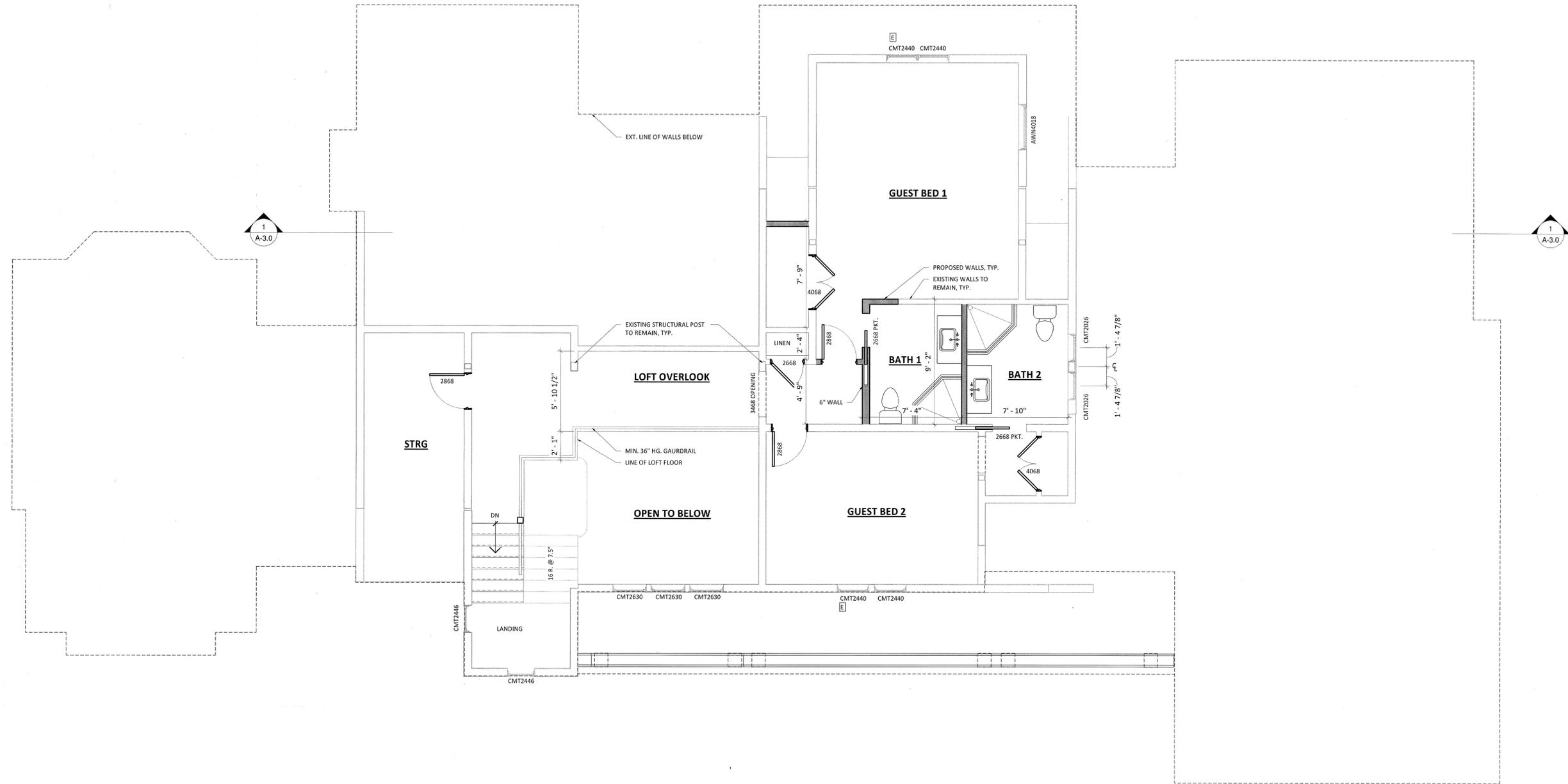
REVISIONS:



**MAIN LEVEL PLAN**  
**RICOTTA RESIDENCE**  
507 ALLENS CREEK - ROCHESTER, NY 14618  
DRAWING: PERMIT SET (FOR CONSTRUCTION)  
JOB: RON & KELLY RICOTTA  
DATE: 02.19.19  
DRAWN BY: PH  
SHEET: A-1.2



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**1 UPPER LEVEL PLAN**  
 1/4" = 1'-0"

- NOTES:**
1. ALL EXTERIOR FRAMED WALLS TO BE 2x6 @ 16" O.C. (U.N.O. - UNLESS OTHERWISE NOTED)
  2. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
  3. ALL EXTERIOR HEADERS TO BE (2) 2x8 INSULATED (U.N.O.)
  4. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF SHEATHING, INTERIOR FACE OF 2x STUDS OR CENTERLINE OF STRUCTURAL MEMBER
  5. DOUBLE TRIMMERS AT ALL 4'-0" OPENINGS AND LARGER
  6. ALL DOORS TO BE LOCATED IN CENTER OF OPENING OR MIN. 4" FROM ADJACENT WALL (U.N.O.)
  7. ALL SPOT ELEVATIONS ARE TAKEN FROM 0'-0" DATUM OF MAIN LEVEL SUB-FLOOR (U.N.O.)
  8. INDICATES (3) STUD POST, GLUED & NAILED (U.N.O.) ■

**GLAZING LEGEND:**  
 E - INDICATES AN EGRESS WINDOW  
 T - INDICATES A TEMPERED WINDOW

REVISIONS:

SIGN & SEAL:



UPPER LEVEL PLAN

RICOTTA RESIDENCE

507 ALLENS CREEK - ROCHESTER, NY 14618

RON & KELLY RICOTTA

DRAWING: DATE: 02.19.19  
 DRAWN BY: PH

SHEET:

A-1.4

PERMIT SET (FOR CONSTRUCTION)

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REVISIONS:

SIGN & SEAL:



REGISTERED ARCHITECT  
 STATE OF NEW YORK  
 19912

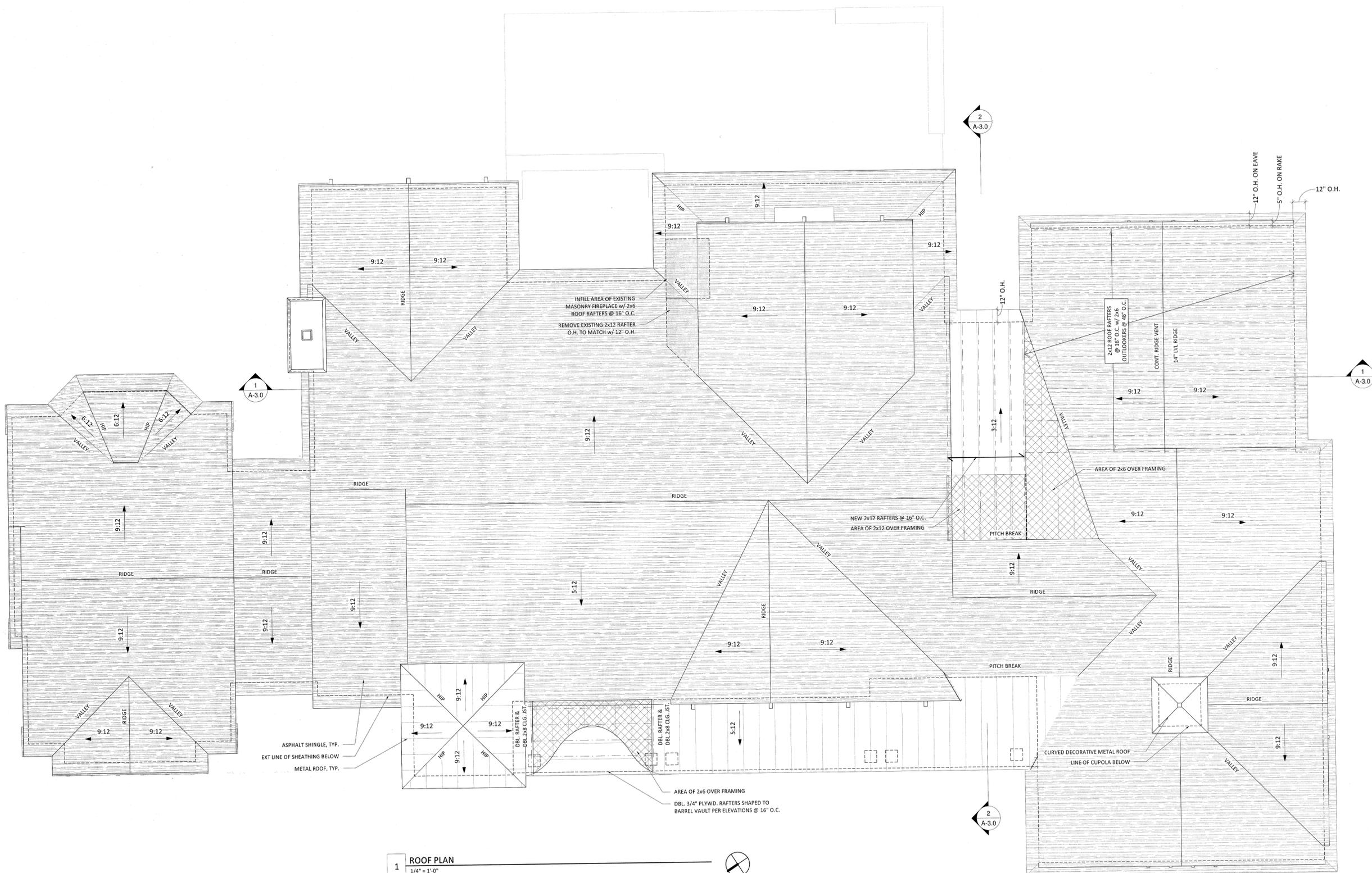
PERMIT SET (FOR CONSTRUCTION)

DRAWING:  
 JOB:

DATE: 02.19.19  
 DRAWN BY: PH

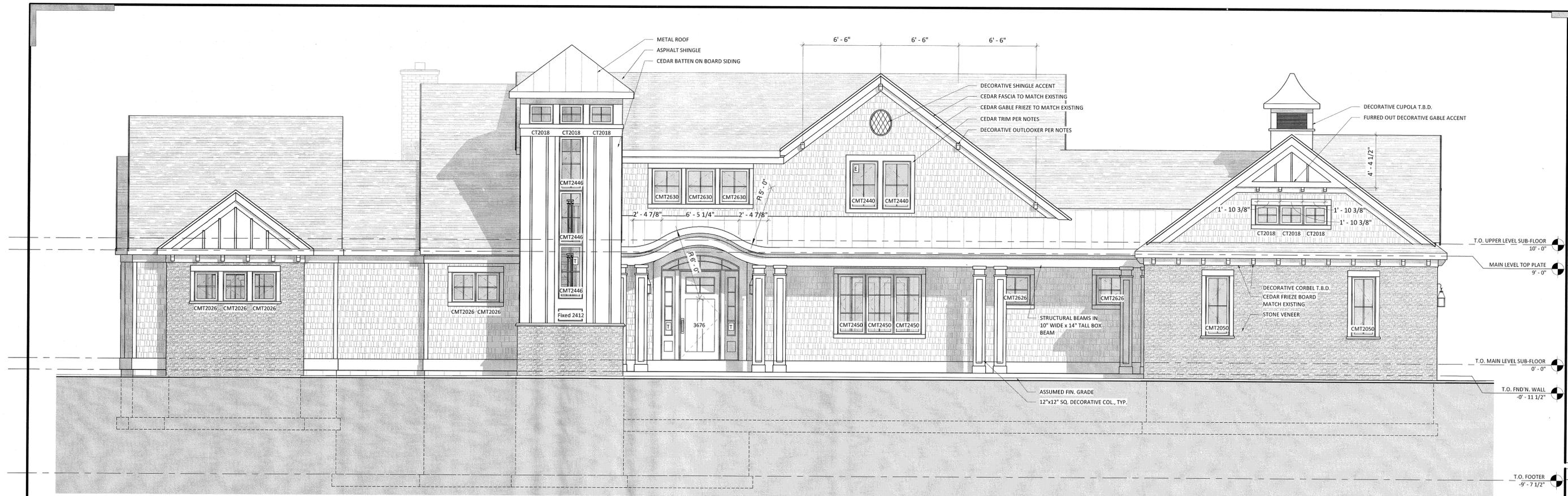
ROOF PLAN  
 RICOTTA RESIDENCE  
 507 ALLENS CREEK - ROCHESTER, NY 14618  
 RON & KELLY RICOTTA

SHEET:  
**A-1.5**

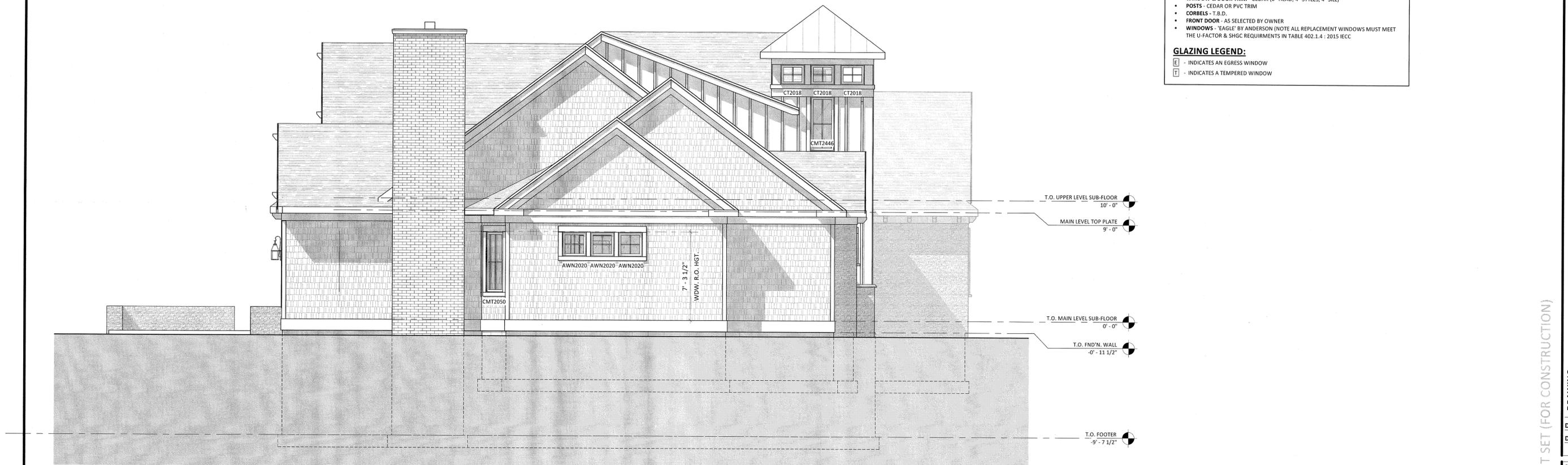


**1 ROOF PLAN**  
 1/4" = 1'-0"

- GENERAL NOTES:**
1. ICE & WATER SHIELD BROUGHT UP TO A MINIMUM OF 24" PAST EXTERIOR WALL LINE OF BUILDING
  2. (2) LAYERS OF 30# FELT RECOMMENDED FOR ENTIRE ROOF AREA WITH PITCHES 4:12 AND LESS
  3. SOLID BLOCKING BTWN. RAFTERS ATTACHED TO TOP PLATES W/ 8d @ 6" O.C. ALONG LENGTH OF BRACED WALL PANEL
  4. (2) 30# FELT RECOMMENDED UNDER METAL ROOF
  5. FINAL GUTTER AND DOWNSPOUT SIZES & LOCATIONS TBD BY SITE ENGINEER, OWNER, AND/OR CONTRACTOR
  6. TIE ALL DOWNSPOUTS INTO STORM WATER SYSTEM, CONTRACTOR TO VERIFY IN FIELD



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

- EXTERIOR MATERIALS:**
- ROOFING - ASPHALT SHINGLE & STANDING SEAM METAL
  - STONE VENEER - AS SELECTED BY OWNER
  - SHINGLE SIDING - HAND SPLIT CEDAR SHINGLE (MATCH EXISTING)
  - BATTEN ON BOARD - CEDAR w/ 2" BATTENS (16" O.C.)
  - CORNER BOARDS - 1x6 CEDAR (MATCH EXISTING)
  - FASCIA - 1x8 CEDAR (MATCH EXISTING)
  - FRIEZE - CEDAR (MATCH EXISTING SIZES)
  - GUTTERS & DOWN SPOUTS - 5" K-STYLE PER OWNER
  - WINDOW & DOOR TRIM - CEDAR (6" HEAD, 4" STYLES, 4" SILL)
  - POSTS - CEDAR OR PVC TRIM
  - CORBELS - T.B.D.
  - FRONT DOOR - AS SELECTED BY OWNER
  - WINDOWS - 'EAGLE' BY ANDERSON (NOTE ALL REPLACEMENT WINDOWS MUST MEET THE U-FACTOR & SHGC REQUIREMENTS IN TABLE 402.1.4 - 2015 IECC)
- GLAZING LEGEND:**
- ◻ - INDICATES AN EGRESS WINDOW
  - ◻ - INDICATES A TEMPERED WINDOW

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REVISIONS:

SIGN & SEAL:



PERMIT SET (FOR CONSTRUCTION)

**BUILDING ELEVATIONS**  
**RICOTTA RESIDENCE**  
507 ALLENS CREEK - ROCHESTER, NY 14618

**DRAWING:**  
**JOB:**  
**DATE:** 02.19.19  
**DRAWN BY:** PH  
**RON & KELLY RICOTTA**

**SHEET:**  
**A-2.0**



1 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

- EXTERIOR MATERIALS:**
- ROOFING - ASPHALT SHINGLE & STANDING SEAM METAL
  - STONE VENEER - AS SELECTED BY OWNER
  - SHINGLE SIDING - HAND SPLIT CEDAR SHINGLE (MATCH EXISTING)
  - BATTEN ON BOARD - CEDAR w/ 2" BATTENS (16" O.C.)
  - CORNER BOARDS - 1x6 CEDAR (MATCH EXISTING)
  - FASCIA - 1x8 CEDAR (MATCH EXISTING)
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  - GUTTERS & DOWN SPOUTS - 5" K-STYLE PER OWNER
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REVISIONS:

SIGN & SEAL:



**BUILDING ELEVATIONS**  
**RICOTTA RESIDENCE**  
507 ALLENS CREEK - ROCHESTER, NY 14618

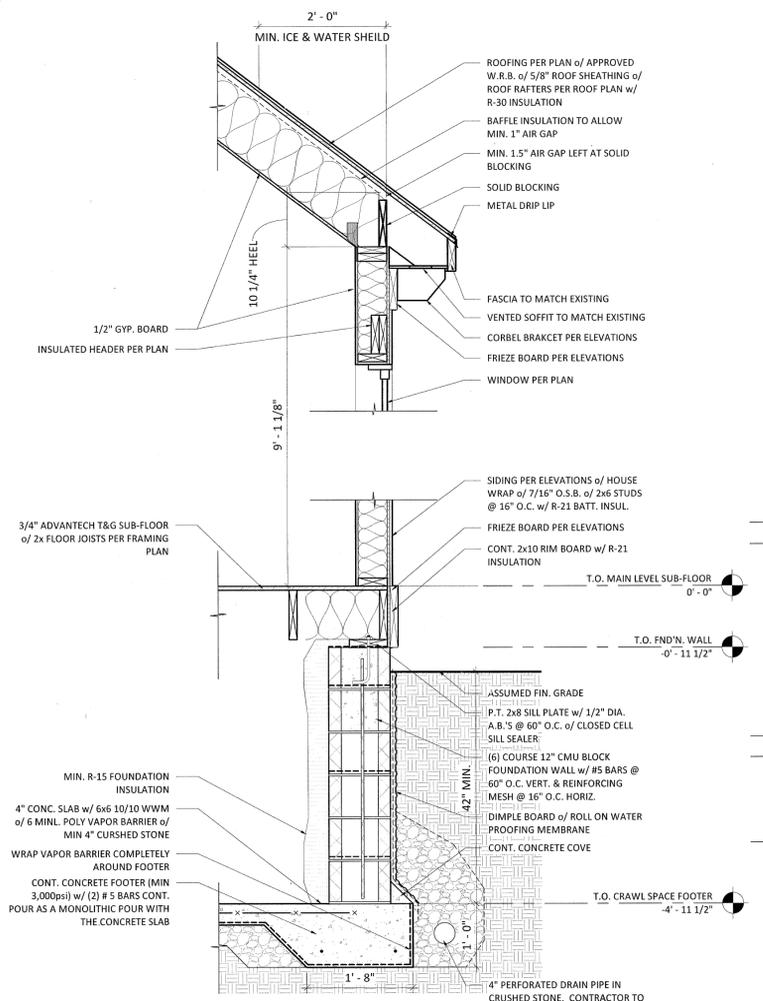
DRAWING: **RON & KELLY RICOTTA**  
JOB:  
DATE: 02.19.19  
DRAWN BY: PH

SHEET:  
**A-2.1**

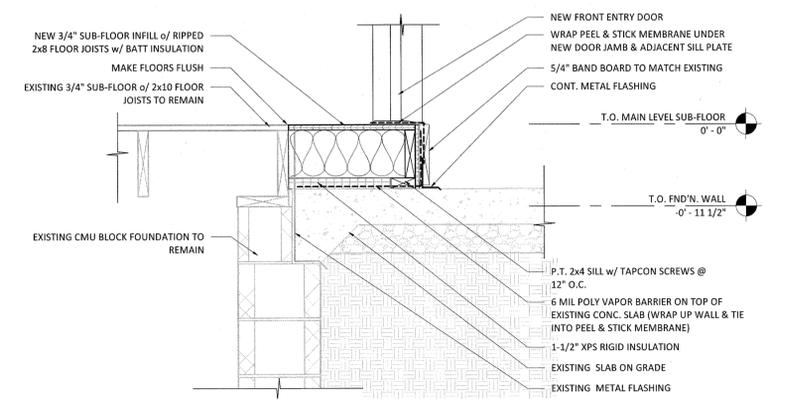
PERMIT SET (FOR CONSTRUCTION)



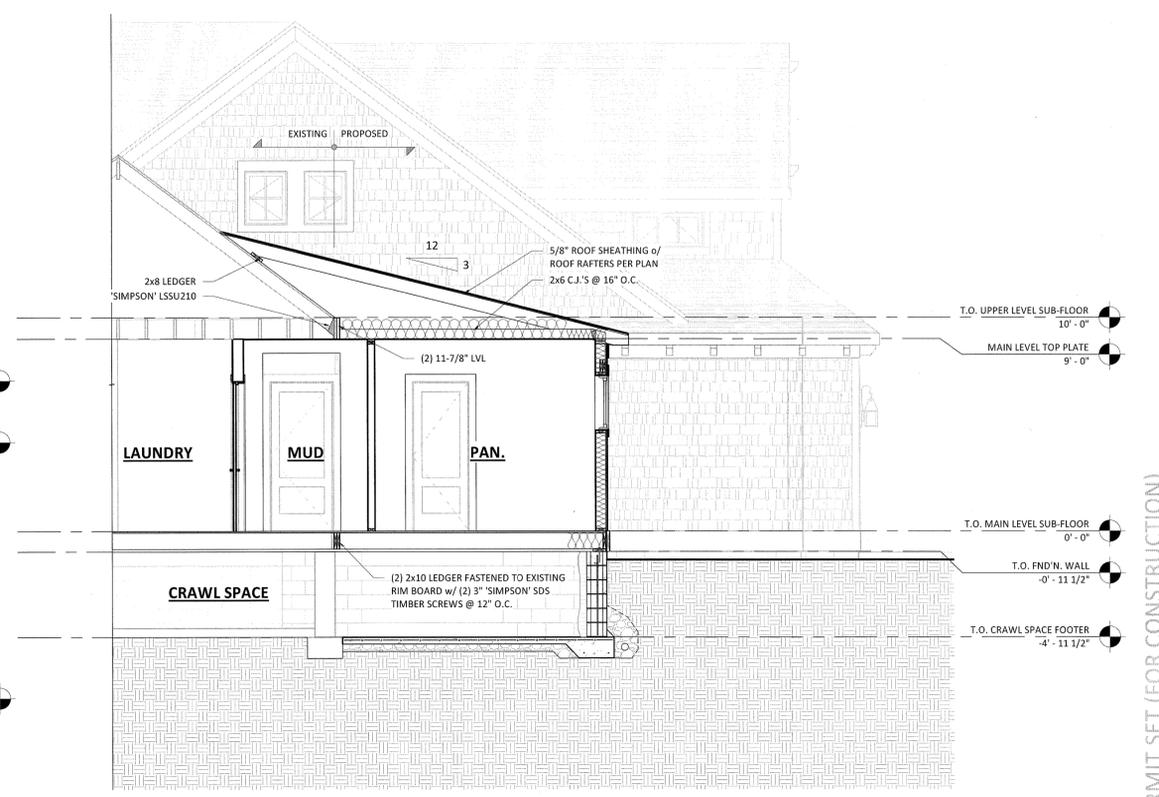
1 SECTION A  
1/4" = 1'-0"



3 WALL SECTION 1  
3/4" = 1'-0"



4 FRONT PORCH FLOOR INFILL  
1" = 1'-0"



2 SECTION B  
1/4" = 1'-0"

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REVISIONS:

SIGN & SEAL:



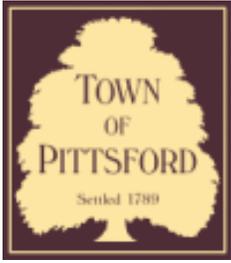
**BUILDING SECTIONS**  
**RICOTTA RESIDENCE**  
507 ALLENS CREEK - ROCHESTER, NY 14618

**DRAWING:** PERMIT SET (FOR CONSTRUCTION)  
**JOB:** RON & KELLY RICOTTA  
**DATE:** 02.19.19  
**DRAWN BY:** PH  
**SHEET:** A-3.0









## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S19-000003**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3300 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-15.11

**Zoning District:** C Commercial

**Owner:** Pittsford Place Assoc (Taichi Bubble Tea)

**Applicant:** Win Ying Trading Inc

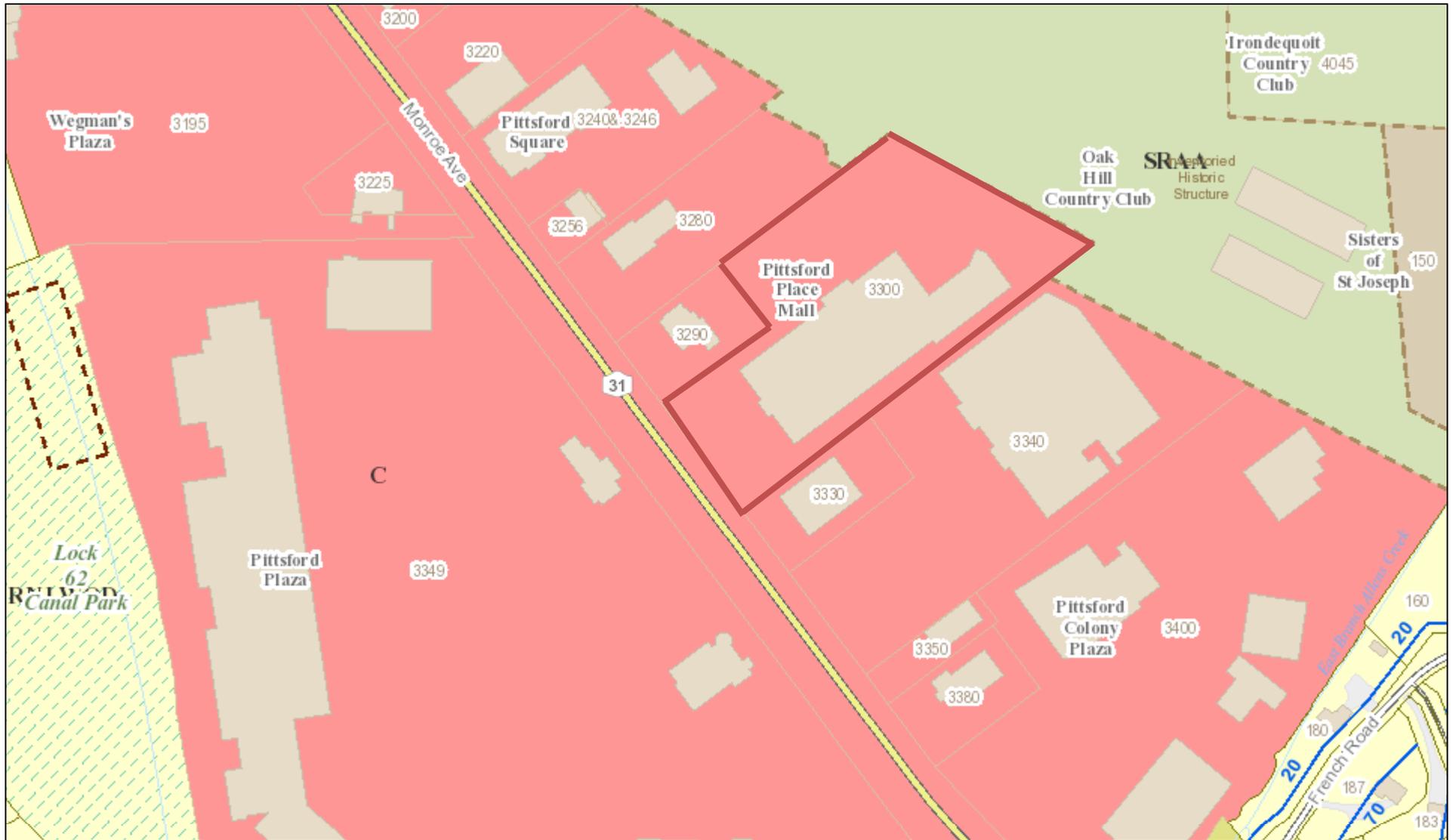
#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

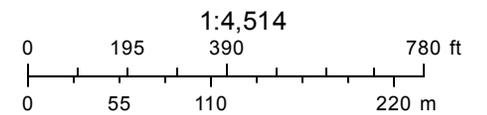
**Project Description:** Applicant is requesting design review for a new business identification sign. The sign will be approximately 35.7 sq. ft. with a white acrylic face, black aluminum return and LED lighting on a silver color raceway.

**Meeting Date:** February 28, 2019

# RN Residential Neighborhood Zoning

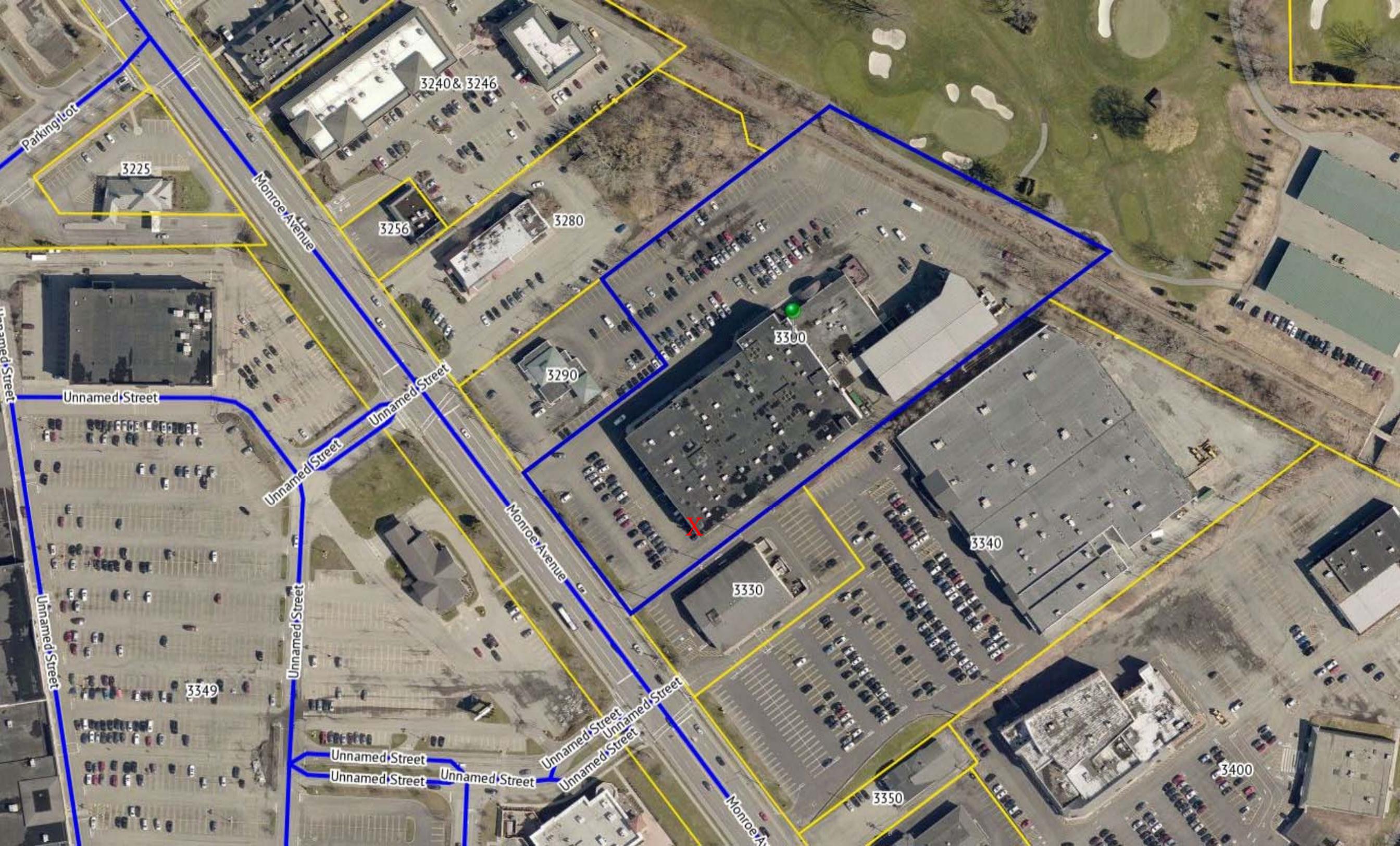


Printed February 20, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



3240 & 3246

3225

Monroe Avenue

3256

3280

3300

3290

Unnamed Street

Unnamed Street

Unnamed Street

Monroe Avenue

3340

3330

3349

Unnamed Street

Monroe Avenue

3350

3400

# 永楹

WIN YING  
TRADING INC

66 Allen Street. 1 Floor  
New York, N.Y. 10002

Tel: 212-777-3818

Fax: 212-777-3868

66winwin@gmail.com

PROJECT NUMBER:

PROJECT NAME:  
Taichi

CLIENT NAME:  
King

PHONE NO. :

DRAWN BY: JAY

APPROVAL BY:

APPROVAL DATE:

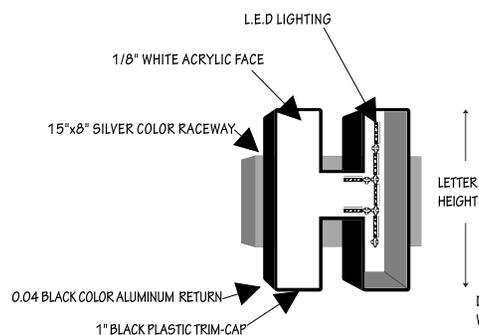


永楹微信二維碼

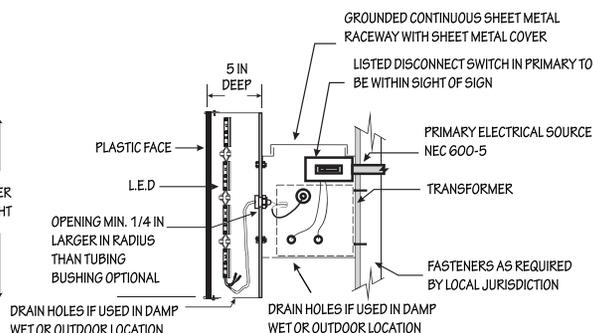


TOTAL SQUARE FEET: 35.77 FT2

### ILLUMINATED CHANNEL LETTER



### LETTER / RACEWAY INSTALLATION DETAIL



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

### SIGN PROPOSAL (N.T.S.)



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