

# Copper Beech Park Expansion

10 North Main Street  
Pittsford, New York 14534

Prepared For:  
Town of Pittsford  
Department of Public Works  
10 South Main Street  
Pittsford, New York 14564

## BID DOCUMENTS

Issued: April 18, 2024  
Revisions:

### PROJECT SCOPE / DESCRIPTION

**THE PROJECT INCLUDES THE FOLLOWING:**

1. REMOVE EXISTING ASPHALT PAVEMENT, CURBING, AND LAWN.
2. INSTALLATION NEW CONCRETE PAVEMENT, SALVAGED GRANITE CURB, PLANTING SOIL, PLANTINGS AND RETRACTABLE BOLLARDS.

**ADD ALTERNATE NO 1: PERGOLA INSTALLATION**

Installation of custom wood pergola and associated footings as specified in the Contract Drawings.

**ADD ALTERNATE NO 2: WATER SERVICE**

Installation of water service and yard hydrants as specified in the contract drawings (Contractor shall use existing tap).

**ADD ALTERNATE NO 3: IRRIGATION**

Installation of irrigation system for all new planting beds, system to be connected to water supply within Copper Beech Park.

**WORK BY OTHERS:**

1. **SITE PREPARATION / REMOVALS** - THE TOWN OF PITTSFORD WILL REMOVE THE EXISTING VEGETATION (TREES AND SHRUBS), BURIED CONCRETE HOUSE FOUNDATION AND EXISTING COPPER BEECH TREE. EXCLUDES SITE RESTORATION
2. **DISPOSAL** - THE TOWN OF PITTSFORD WILL ACCEPT ALL MATERIALS FOR DISPOSAL AT NO COST TO THE CONTRACTOR. MATERIALS WILL BE ACCEPTED AT THE TOWN OF PITTSFORD HIGHWAY DEPARTMENT LOCATED AT 60 GOLF AVENUE IN PITTSFORD (±0.75MILES FROM PROJECT SITE).
3. **PARKING AREA PAVEMENT MARKINGS** - THE TOWN OF PITTSFORD WILL INSTALL PARKING SIGNS AND APPLY PAVEMENT MARKINGS FOR STANDARD PARKING SPACES AND ACCESSIBLE PARKING SPACES.

### DRAWING INDEX

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L-03	Layout Plan
L-04	Grading and Drainage Plan
L-05	Planting Plan
L-06	Lighting and Utilities Plan
L-07	Construction Details
L-08	Construction Details
L-09	Construction Details

### PREPARED BY

Sue  
Steele  
Landscape  
Architecture  
PLLC

770 Ayrault Road #1108  
Fairport, New York 14450  
(516) 747-9996  
steele.la

### PROJECT SUBMITTAL CHECKLIST

**GENERAL:**

- CONTRACTOR CONSTRUCTION SCHEDULE

**CONCRETE FOUNDATIONS:**

- LOCATION, FIELD VERIFICATION
- CONCRETE DESIGN MIX AND MATERIALS (FROM READY-MIX PROVIDER)
- REINFORCING MATERIALS PRODUCT

**CONCRETE PAVEMENT:**

- CONCRETE DESIGN MIX AND MATERIALS (FROM READY-MIX PROVIDER)
- SUBBASE STONE MATERIALS DATA AND SIEVE ANALYSIS
- REINFORCING MATERIALS PRODUCT
- EXPOSED AGGREGATE CHEMICAL RETARDER PRODUCT
- CONCRETE SEALER PRODUCT
- EXPANSION JOINT MATERIAL
- PHYSICAL MOCK-UP, APPROVAL BY OWNERS REP.
- CONTROL JOINT LAYOUT FIELD VERIFICATION
- SAWCUT DEPTH FIELD VERIFICATION

**STONE CURBING**

- CURB MATERIAL PRODUCT
- CURB BACKING CONCRETE MIX (DRY MIX & WET MIX )

**UNIT PAVERS (RESET EXISTING)**

- CONCRETE SAND SETTING BED MATERIALS

PROVIDE ALL MATERIALS FOR REVIEW PRIOR TO ACQUISITION, PURCHASE, AND/OR DELIVERY TO THE PROJECT SITE. SUBMITTALS WILL BE REJECTED IF THEY DO NOT MEET THE CONTRACT DOCUMENT SPECIFICATIONS.

**PLANTINGS & SOIL MATERIALS**

- PLANT SPECIES ACQUISITION LIST, INCLUDING PROPOSED SUBSTITUTIONS (NOTE: PLANT SUBSTITUTIONS WILL BE INVESTIGATED AND DETERMINED TO BE NOT AVAILABLE THROUGH GROWER NETWORKS BEFORE ANY SUBSTITUTIONS WILL BE APPROVED BY THE LANDSCAPE ARCHITECT. IF AVAILABLE THE SUBSTITUTION WILL NOT BE APPROVED.)
- RECENT (<6 MONTHS) TOPSOIL MATERIALS TEST DATA, USING MODIFIED MORGAN PROCESS, INCLUDING: TEXTURE, pH, NUTRIENT ANALYSIS, AND SOLUBLE SALTS.
- RECENT (<6 MONTHS) COMPOST ANALYSIS TESTING / MATERIALS DATA, INCLUDING SOURCE, pH, % ORGANIC MATTER BY DRY WEIGHT.
- HARDWOOD DOUBLE-GROUND BARK MULCH MATERIALS
- TOPSOIL (IMPORTED / PLANTING SOIL (1 GAL MIN.)

**LANDSCAPE BOULDERS:**

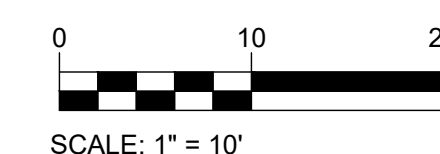
- STONE BOULDER SAMPLE (PHOTO)
- MATERIAL SOURCE INFORMATION
- LAYOUT FIELD VERIFICATION

**SITE FURNISHINGS**

- RETRACTABLE BOLLARD PRODUCT INFORMATION
- **ADD ALT NO 1:** PERGOLA PRODUCT INFORMATION AND ENGINEERED FABRICATION DRAWINGS.

**LIGHTING & UTILITIES**

- **ADD ALT NO 2:** IRRIGATION SYSTEM PRODUCT AND MATERIALS DATA AND IRRIGATION PLAN
- WATER SERVICE AND HARD HYDRANT PRODUCT INFORMATION.
- LIGHT FIXTURE PRODUCT AND LIGHTING SYSTEM ASSEMBLY PRODUCT INFORMATION, DUPLEX RECEPTACLE OUTLET PRODUCT INFORMATION.





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**BID DOCUMENTS NOT FOR CONSTRUCTION**

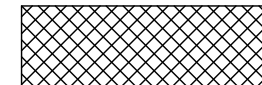

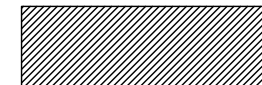


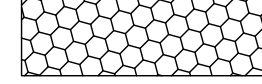
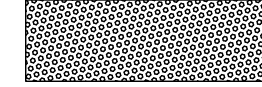
Issue Date  
04-18-2024

No.	Date	Revision

Drawing Title  
**Existing Conditions and Site Preparation Plan**

**L-01**

**DEMOLITION LEGEND**

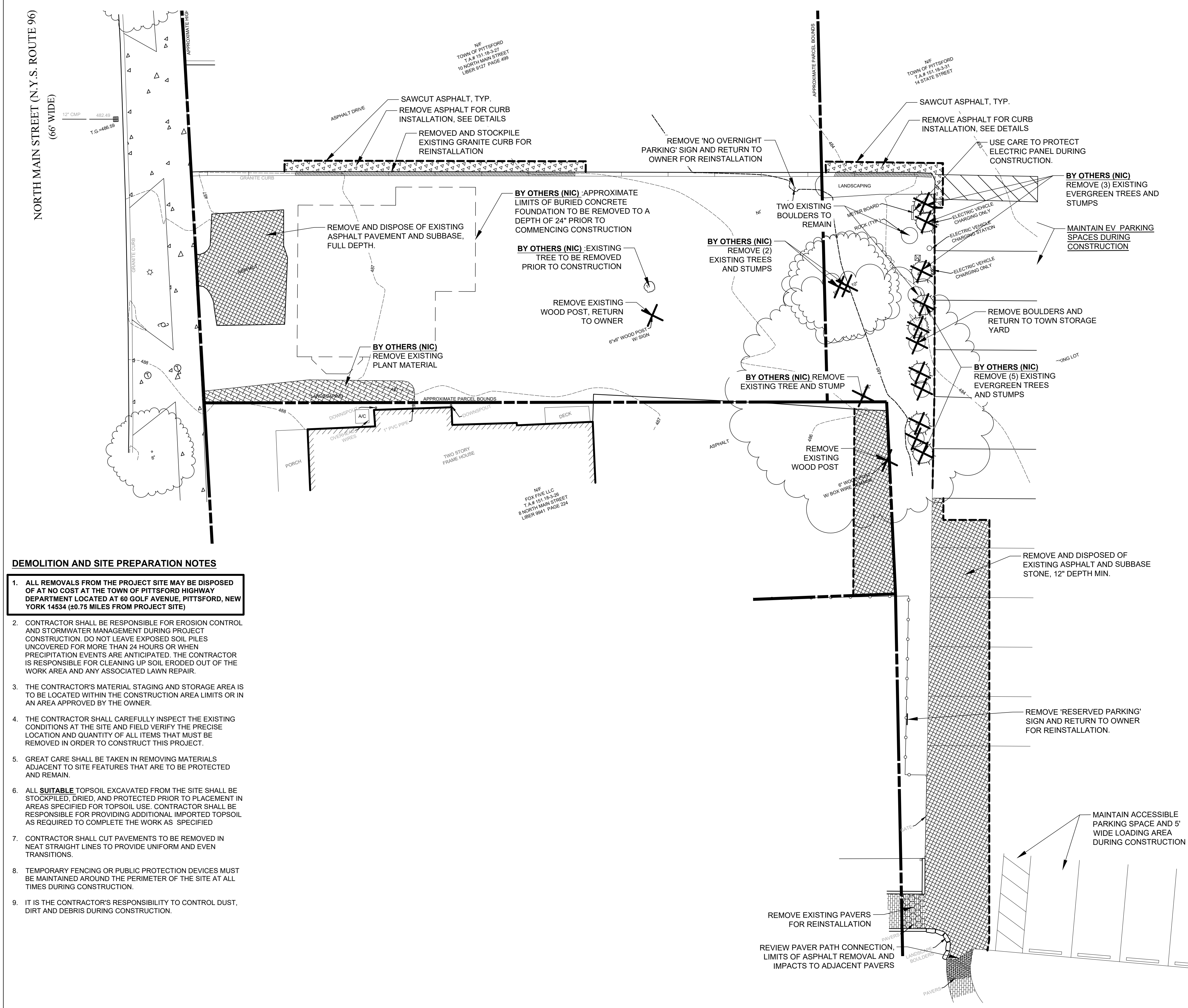
-  REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT AND SUBBASE, FULL DEPTH.
-  REMOVE ASPHALT PAVEMENT AND PREPARE FOR CURB INSTALLATION, SEE DETAILS L-07
-  REMOVED AND STOCKPILE EXISTING GRANITE CURB FOR REINSTALLATION
-  **BY OTHERS (NIC)** REMOVE EXISTING PLANT MATERIAL
-  SAWCUT EXISTING ASPHALT PAVEMENT
-  REMOVE AND STOCKPILE PAVERS FOR REUSE.
-  REMOVE AND PAVERS AND RETURN TO OWNER

**GENERAL NOTES**

- EXISTING CONDITIONS SHOWN ON THIS PLAN WERE TAKEN FROM A SURVEY PREPARED BY COSTICH ENGINEERING ON 7/19/2021. SUE STEELE LANDSCAPE ARCHITECTURE, PLLC ASSUMES NO RESPONSIBILITY FOR, AND MAKES NO WARRANTY AS TO, THE COMPLETENESS AND ACCURACY OF THE EXISTING CONDITIONS SURVEY INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING SUBSURFACE UTILITIES AND FEATURES.
- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 7/19/2021 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYS DOT CORRS NETWORK REFERENCED TO THE FOLLOWING MONUMENT:  
  
PITTSFORD CORRS STATION  
NAD 83 (CORRS) LATITUDE: 43-05-35.48461 (N) / LONGITUDE: 077-31-31.11244 (W)  
NAVD 88 (CORRS) ELLIP HEIGHT: 113.481 METERS
- CALL DIGSAFE TO LOCATE EXISTING UTILITIES PRIOR TO ANY EXCAVATION. PROTECT EXISTING UTILITIES TO REMAIN THROUGHOUT THE CONSTRUCTION PROCESS AND REPAIR ANY DAMAGE DONE TO THESE AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY RUNS AND ARRANGING FOR UTILITY AGENCY SUPERVISION, IF NECESSARY, PRIOR TO PERFORMING THE DEMOLITION WORK. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PAVEMENT, STEPS, PLANTINGS, UTILITIES AND ANY OTHER EXISTING SITE FEATURES PROPOSED TO REMAIN, AS CAUSED BY CONSTRUCTION OR OTHER RELATED OPERATIONS. ALL SUCH DAMAGE SHALL BE REPLACED IN-KIND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING TREES, SHRUBS, AND VEGETATION WITHIN AND ADJACENT TO THE PROJECT SITE EXCEPT FOR THOSE SPECIFICALLY IDENTIFIED ON THE PLANS AND ARE APPROVED FOR REMOVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN A SAFE AND ORDERLY CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- EMERGENCY ACCESS TO THE SITE SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

**MAINTENANCE & PROTECTION OF TRAFFIC NOTES**

- THE CONTRACTOR SHALL MAINTAIN, AT ALL TIMES, AT LEAST ONE MARKED, CONVENIENT, SAFE, ACCESSIBLE PEDESTRIAN ROUTE ALONG NORTH MAIN STREET.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES SAFE AND ADEQUATE INGRESS AND EGRESS TO AND FROM INTERSECTING STREETS, DRIVEWAYS AND BUSINESSES.
- THE CONTRACTOR SHALL FURNISH AND ERECT, MAINTAIN, MOVE AND REMOVE AS REQUIRED AND AS DIRECTED BY THE OWNER, CONSTRUCTION SIGNS, FLAGGERS AND TRAFFIC CONTROL DEVICES TO ADEQUATELY AND SAFELY ALL SIGNS AND TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONTRACT.
- ALL SIGNS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONSTRUCTED AND INSTALLED PER THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) WITH NEW YORK STATE SUPPLEMENT.
- THE CONTRACTOR SHALL USE CONES, BARRELS, BARRICADES AND PROTECTIVE FENCING AS NECESSARY AND AS ORDERED BY THE OWNER TO PROTECT AND MAINTAIN BOTH PEDESTRIAN AND TRAFFIC FLOW WITHIN THE PROJECT AREA.
- VEHICLES BELONGING TO THE CONTRACTOR OR THEIR EMPLOYEES SHALL NOT BE PARKED ON THE PAVEMENT OR SHOULDERS ALONG A ROADWAY BEING USED BY THE GENERAL PUBLIC WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL NOT PARK EQUIPMENT OVER NIGHT WHERE IT IS DEEMED A SAFETY HAZARD TO TRAFFIC.
- "SIDEWALK CLOSED" SIGNS SHALL BE PLACED WHEN A USABLE TRAVEL PATH IS CLOSED TO PEDESTRIAN TRAFFIC. ADDITIONAL SIGNS SHALL BE PLACED TO DIRECT PEDESTRIANS TO AN ALTERNATE ACCESSIBLE ROUTE.



**DEMOLITION AND SITE PREPARATION NOTES**

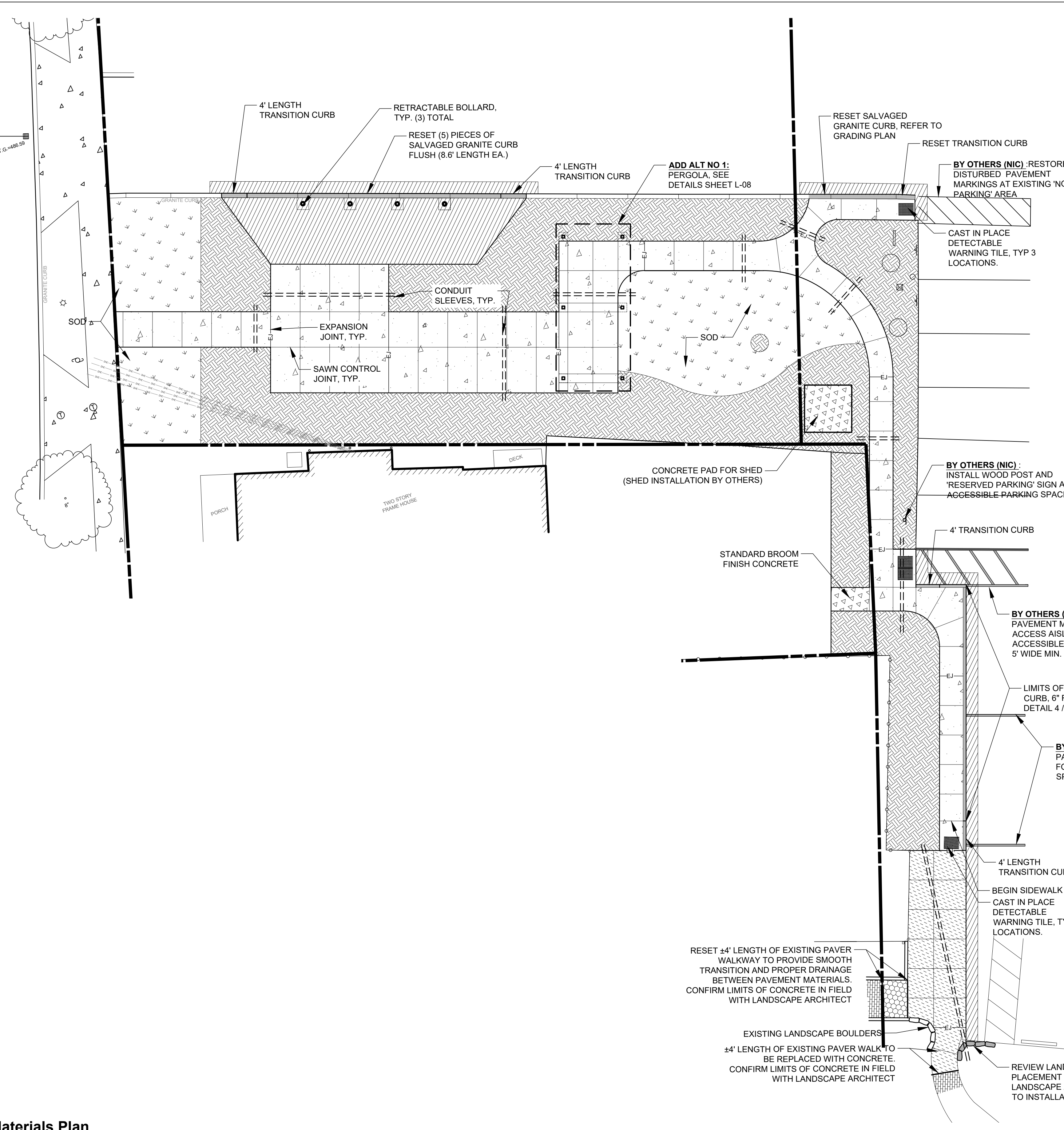
- ALL REMOVALS FROM THE PROJECT SITE MAY BE DISPOSED OF AT NO COST AT THE TOWN OF PITTSFORD HIGHWAY DEPARTMENT LOCATED AT 60 GOLF AVENUE, PITTSFORD, NEW YORK 14534 (40.75 MILES FROM PROJECT SITE)
- CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL AND STORMWATER MANAGEMENT DURING PROJECT CONSTRUCTION. DO NOT LEAVE EXPOSED SOIL PILES UNCOVERED FOR MORE THAN 24 HOURS OR WHEN PRECIPITATION EVENTS ARE ANTICIPATED. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING UP SOIL ERODED OUT OF THE WORK AREA AND ANY ASSOCIATED LAWN REPAIR.
- THE CONTRACTOR'S MATERIAL STAGING AND STORAGE AREA IS TO BE LOCATED WITHIN THE CONSTRUCTION AREA LIMITS OR IN AN AREA APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL CAREFULLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND FIELD VERIFY THE PRECISE LOCATION AND QUANTITY OF ALL ITEMS THAT MUST BE REMOVED IN ORDER TO CONSTRUCT THIS PROJECT.
- GREAT CARE SHALL BE TAKEN IN REMOVING MATERIALS ADJACENT TO SITE FEATURES THAT ARE TO BE PROTECTED AND REMAIN.
- ALL **SUITABLE** TOPSOIL EXCAVATED FROM THE SITE SHALL BE STOCKPILED, DRIED, AND PROTECTED PRIOR TO PLACEMENT IN AREAS SPECIFIED FOR TOPSOIL USE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL IMPORTED TOPSOIL AS REQUIRED TO COMPLETE THE WORK AS SPECIFIED
- CONTRACTOR SHALL CUT PAVEMENTS TO BE REMOVED IN NEAT STRAIGHT LINES TO PROVIDE UNIFORM AND EVEN TRANSITIONS.
- TEMPORARY FENCING OR PUBLIC PROTECTION DEVICES MUST BE MAINTAINED AROUND THE PERIMETER OF THE SITE AT ALL TIMES DURING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST, DIRT AND DEBRIS DURING CONSTRUCTION.

**1 Existing Conditions and Site Preparation Plan**

L-02 1" = 10'



NORTH MAIN STREET (N.Y.S. ROUTE 96)  
(66' WIDE)



**MATERIALS LEGEND**

3 L-07		HOT MIX ASPHALT (HMA) PAVING
1 L-07		PEDESTRIAN GRADE CONCRETE PAVEMENT WITH EXPOSED AGGREGATE FINISH
2 L-07		VEHICULAR GRADE CONCRETE PAVEMENT WITH EXPOSED AGGREGATE FINISH
4&5 L-07		STANDARD CONCRETE, BROOM FINISH
4&5 L-07		RESET EXISTING CONCRETE PAVERS
4&5 L-07		GRANITE CURB
6 L-07		SOD / SEED
6 L-07		PLANTING BED
6 L-07		LANDSCAPE BOULDERS
6 L-07		RETRACTABLE BOLLARD
6 L-07		CAST IN PLACE DETECTABLE WARNING MATS
6 L-07		CONDUIT SLEEVES
6 L-07		CONTROL JOINT
6 L-07		EXPANSION JOINT

**MATERIAL SELECTION / SPEC.**

SEE DETAILS
5" THICK, EXPOSED AGGREGATE FINISH CONCRETE
7" THICK, EXPOSED AGGREGATE FINISH CONCRETE
5" THICK, STANDARD CONCRETE WITH BROOM FINISH
EXISTING CONCRETE PAVERS, 1" MAX CONCRETE SAND SETTING BED, SUPPLEMENT EXISTING STONE SUBBASE AS NEEDED
SEE DETAILS FOR FLUSH AND 6" REVEAL CURBING
SEE LAWN ESTABLISHMENT NOTES, L-05
SEE PLANTING BED PREPARATION NOTES, L-05
NATURAL STONE BOULDERS TO MATCH EXISTING, EMBER 6" MIN BELOW FINISHED PAVEMENT ELEVATION
SEE DETAILS
24" X 30" CAST IN PLACE CAST IRON DETECTABLE WARNING MAT, AS MANUF. BY ADVANTAGE TACTILE SYSTEMS (advantagetactile.com), OR APPROVED EQUAL.
TWO 2" DIA SCHEDULE 40 PVC CONDUIT SLEEVES IN EACH LOCATION, MARK INSTALLED LOCATION AND CAP END
SAWN CONTROL JOINTS AS SHOWN, MAX SPACING 5'
EXPANSION JOINTS AS SHOWN, SEE DETAIL L-07

**Sue Steele Landscape Architecture**  
PLLC

770 Ayrault Road #1108  
Fairport, New York 14450  
(585) 747-9996  
steelle.la

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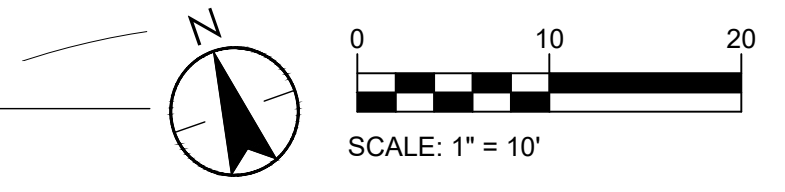
Project Name and Address  
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**BID DOCUMENTS NOT FOR CONSTRUCTION**

Issue Date	04-18-2024	
No.	Date	Revision

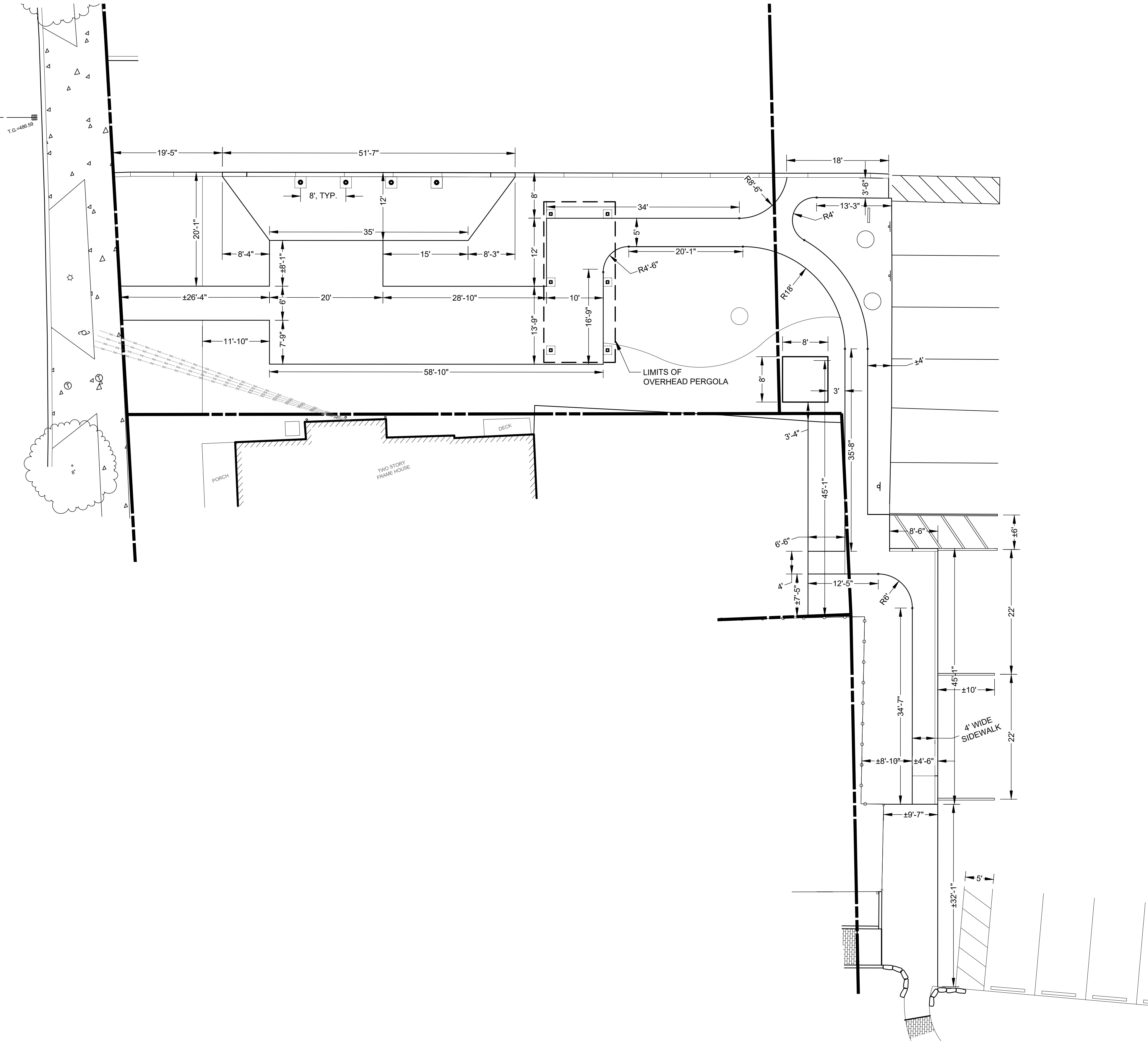
Drawing Title  
**Site and Materials Plan**

1 | **Materials Plan**  
L-03 | 1" = 10'



**L-02**

NORTH MAIN STREET (N.Y.S. ROUTE 96)  
(66' WIDE)



**LAYOUT AND MATERIAL NOTES**

1. CONTRACTOR SHALL ADHERE TO WRITTEN DIMENSIONS ON ALL PLANS AND SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THE WRITTEN DIMENSIONS CONFLICT WITH THE FIELD CONDITIONS.
2. CONTRACTOR SHALL FIELD VERIFY ALL LAYOUT DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
3. THE CONTRACTOR SHALL REFER ANY QUESTIONS REGARDING MATERIALS, FINISHES, LABOR, AND/OR PRODUCTS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIALS OR STARTING WORK.
4. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE SHOWN.
5. ALL MEASUREMENTS AT CURBING ARE TAKEN FROM FACE OF CURB UNLESS OTHERWISE NOTED.
6. FIELD MEASUREMENTS: TAKE ACCURATE FIELD MEASUREMENTS BEFORE PREPARATION OF SHOP DRAWINGS AND FABRICATION.

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Landscape  
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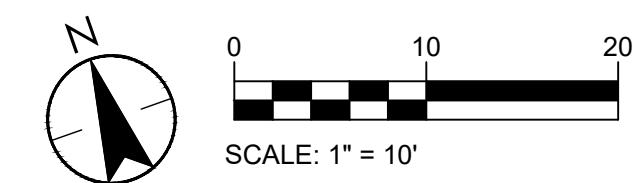
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No.	Date	Revision

Drawing Title

Layout Plan

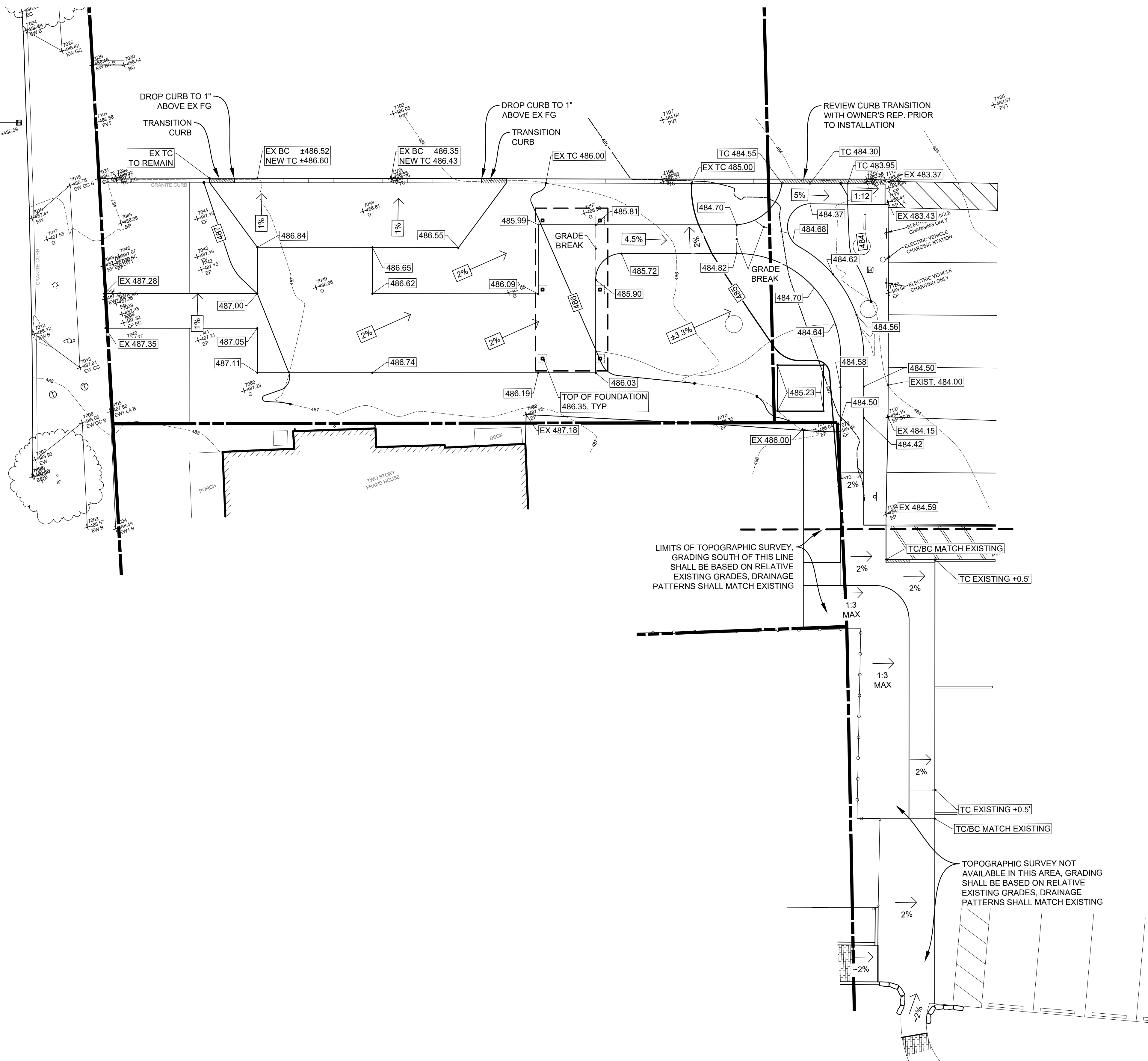
**1** | **Layout Plan**  
L-04 | 1" = 10'



**L-03**



NORTH MAIN STREET (N.Y.S. ROUTE 96)  
(66' WIDE)



**GRADING LEGEND**

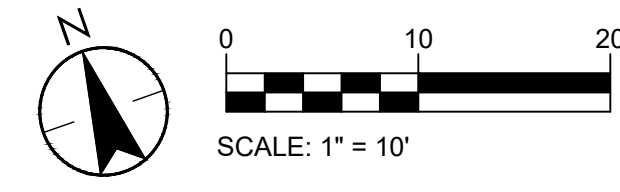
- 900 --- EXISTING MAJOR CONTOUR
- 901 --- EXISTING MINOR CONTOUR
- 900 --- PROPOSED MAJOR CONTOUR
- 901 --- PROPOSED MINOR CONTOUR
- XXX.XX SPOT ELEVATION
- TC XXX.XX TOP OF CURB ELEVATION
- BC XXX.XX BOTTOM OF CURB ELEVATION
- EX XXX.XX EXISTING SPOT ELEVATION
- ← X% SLOPE

**GRADING NOTES**

1. ANY DISCREPANCIES IN PROPOSED ELEVATIONS NOTED BY THE CONTRACTOR DURING CONSTRUCTION PROCESS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
2. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY UNEXPECTED SUBSURFACE CONDITIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE IN ALL AREAS. ALL NEWLY GRADED SURFACES SHALL BE FINISHED TO UNIFORM GRADES AND SLOPED IN SUCH A MANNER AS TO DRAIN PROPERLY AND BE FREE OF DEPRESSIONS THAT CAUSE AREAS OF STANDING WATER. THE CONTRACTOR SHALL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO FINAL GRADING OPERATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL CUT AND FILL OPERATIONS AND MATERIALS NECESSARY TO ACHIEVE THE ELEVATIONS SPECIFIED ON THIS PLAN, INCLUDING THE OFF SITE DISPOSAL OF ANY EXCESS MATERIALS IN A LEGAL MANNER.
5. ALL FILL AND BACKFILL MATERIALS MUST BE THOROUGHLY COMPACTED AS THEY ARE PLACED.
6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DISTURBANCE OF, OR DAMAGE TO, EXISTING PLANTS AND SITE FEATURES TO REMAIN.

LIMITS OF TOPOGRAPHIC SURVEY, GRADING SOUTH OF THIS LINE SHALL BE BASED ON RELATIVE EXISTING GRADES, DRAINAGE PATTERNS SHALL MATCH EXISTING

TOPOGRAPHIC SURVEY NOT AVAILABLE IN THIS AREA, GRADING SHALL BE BASED ON RELATIVE EXISTING GRADES, DRAINAGE PATTERNS SHALL MATCH EXISTING



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Drawing Title

**Grading and Drainage Plan**

**1 Grading and Drainage Plan**

L-05 1" = 10'

**L-04**







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Drawing Title

Lighting and Utilities Plan

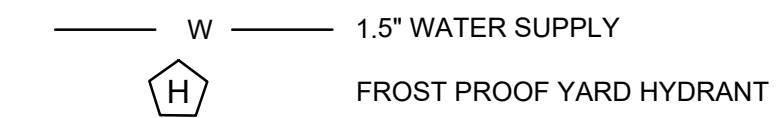
LIGHT FIXTURE SCHEDULE

SYMBOL	DESCRIPTION MODEL	WATTS	MANUF.	ACCESSORIES	QUANTITY
☉	<b>PEDESTRIAN LIGHT</b> 4500 DECATOUR SERIES STRAIGHT FLUTED POLE WITH A850SRLED OLD TOWN LUMINAIRE  MODEL #: PT-A850SRLED-992-32L27T3-MDL016-A-G/ 4512FP4-.188/GFI-IUC/BKT	134	STERNBERG LIGHTING	GFI (POLE) PHOTOCELL	2

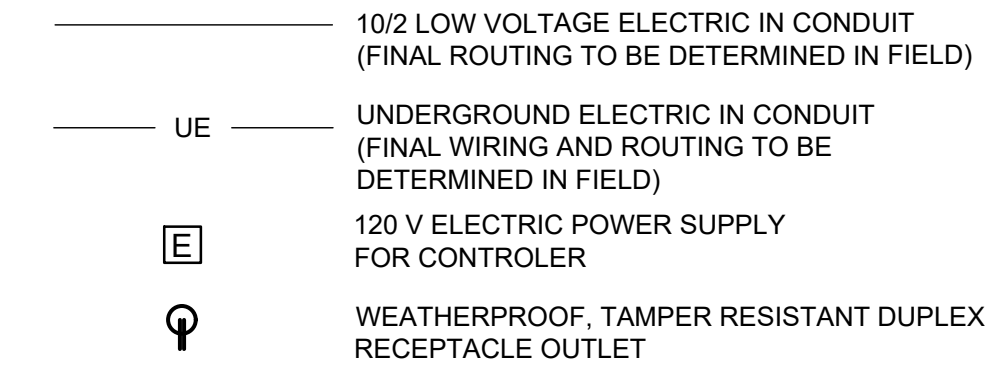
SYMBOL	DESCRIPTION MODEL	WATTS	MANUF.	ACCESSORIES	QUANTITY
☉	<b>ILLUMINATED BOLLARD</b> 4555LED PARKSIDE SERIES COLOR: TEXTURED BLACK MODEL #: 4555LED-42-IL-27-TS-MDL07-PCD-BKT	30	STERNBERG LIGHTING	PHOTOCELL	5

ALL LIGHTING PRODUCTS ARE AS MANUFACTURED BY STERNBERG LIGHTING (STERNBERGLIGHTING.COM) OR APPROVED EQUAL. ALL LIGHTING SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

WATER SERVICE LEGEND



LIGHTING AND ELECTRICAL LEGEND



LIGHTING NOTES

- SCHEMATIC LIGHTING PLAN ILLUSTRATES TYPE OF FIXTURE, AND APPROXIMATE LOCATION. THE CONTRACTOR SHALL FIELD VERIFY THE ACTUAL PLACEMENT OF EACH FIXTURE WITH LANDSCAPE ARCHITECT.
- ALL CIRCUITING DESIGN SHALL BE COMPLETED BY THE ELECTRICAL CONTRACTOR.
- FINAL ELECTRIC DESIGN, TRANSFORMER SELECTION, SIZING OF WIRE, AND CONNECTIONS ARE TO BE DETERMINED BY THE CONTRACTOR AT TIME OF CONSTRUCTION AND SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- ELECTRICAL CONTRACTOR SHALL CALCULATE VOLTAGE DROP ON ALL CIRCUITS AND SHALL DELIVER APPROPRIATE VOLTS TO EACH FIXTURE.
- ALL WIRE SHALL BE INSTALLED IN CONDUIT TO PROTECT WIRE FROM DAMAGE. ADDITIONAL WIRE SHALL BE INSTALLED AT EACH FIXTURE TO ALLOW FOR FUTURE FIXTURE ADJUSTMENTS.
- CONTRACTOR RESPONSIBLE FOR PROVIDING ALL ELECTRICAL COMPONENTS TO INSTALL THE FIXTURES, INCLUDING PULL BOXES, MOUNTING STAKES, MOUNTING BRACKETS, TRANSFORMERS, PHOTOCELLS, AND ANY OTHER COMPONENTS REQUIRED TO COMPLETE THE FULL LIGHTING SYSTEM WITH CONTROLS AS DESIRED BY OWNER.
- LIGHTING CONTROLS SHALL MATCH EXISTING LIGHTS WITH A TIMER AND MANUAL OVERRIDE. CONTROLS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY UNEXPECTED CONDITIONS.

ADD ALT. NO. 2: PLUMBING NOTES

- THE PLUMBING CONTRACTOR SHALL COORDINATE ALL EQUIPMENT AND PIPING LOCATIONS WITH OTHER TRADES AND STRUCTURES.
- THESE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC ONLY. THE LOCATION AND ELEVATION OF EXISTING VALVE AND PIPING INDICATED ON THE DRAWINGS HAS BEEN TAKEN FROM AVAILABLE DRAWINGS AND/OR FIELD SURVEYS, BUT MAY VARY SLIGHTLY FROM ACTUAL CONDITIONS. THE PLUMBING CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF PIPING IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL FEES FOR PERMITS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION AND WITH THE PROVISIONS OF ALL LOCAL AND STATE CODES AND LAWS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE AND APPROVED POTABLE WATER SERVICE FROM STREET. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY COMPONENTS, PIPING, WATER METER(S), AND BACKFLOW PREVENTION. THE CONTRACTOR SHALL CONSULT WITH LOCAL AUTHORITIES HAVING JURISDICTION TO MAKE ALL NECESSARY ARRANGEMENTS, BEARING ALL COSTS AND FEES SOLELY FOR THE COMPLETE INSTALLATION OF THE WATER SERVICE(S) AT NO ADDITIONAL COST TO THE OWNER.

ELECTRICAL NOTES

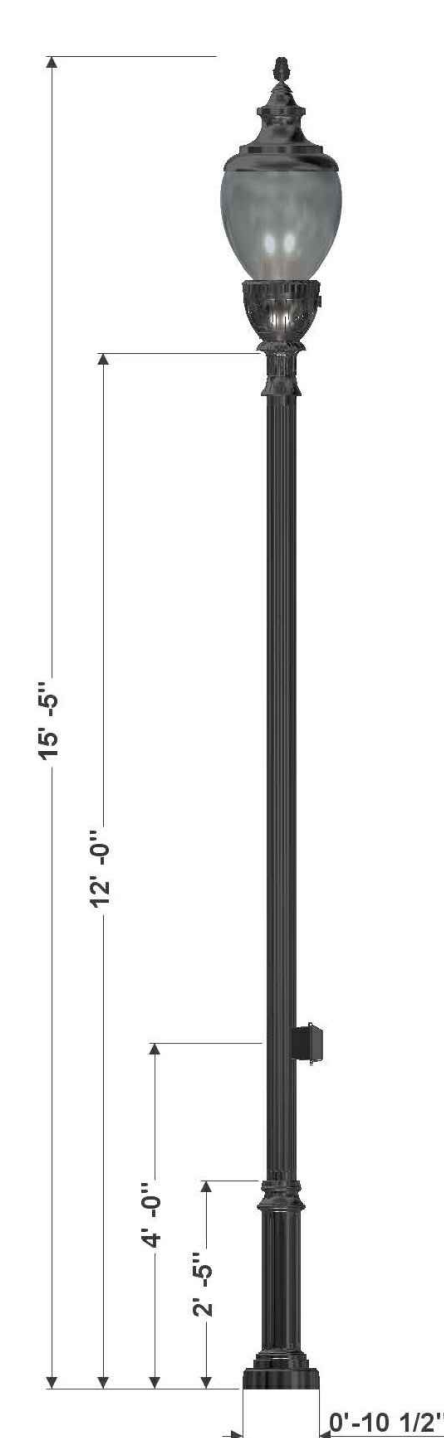
- SCHEMATIC ELECTRICAL PLAN ILLUSTRATES APPROXIMATE LOCATION, OF RECEPTACLE OUTLETS. FINAL ELECTRIC DESIGN AND SIZING OF WIRE ARE TO BE DETERMINED BY THE CONTRACTOR AT TIME OF CONSTRUCTION AND SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL WIRE SHALL BE INSTALLED IN CONDUIT TO PROTECT WIRE FROM DAMAGE.
- CONTRACTOR RESPONSIBLE FOR PROVIDING ALL ELECTRICAL COMPONENTS TO INSTALL THE OUTLET RECEPTACLES, INCLUDING PULL BOXES, MOUNTING STAKES, MOUNTING BRACKETS, AND ANY OTHER COMPONENTS REQUIRED.
- RECEPTACLE OUTLETS SHALL BE MOUNTED AT HEIGHTS TO COMPLY WITH THE LATEST EDITION OF THE AMERICANS WITH DISABILITIES ACT (ADA), THE APPLICABLE STATE AND LOCAL BUILDING CODES, AND PER ALL AUTHORITIES HAVING JURISDICTION.
- LOCATIONS OF HARDWARE (PULL BOXES, JUNCTION BOXES, ETC.) AS THEY RELATE TO FINISHED SURFACE CONDITIONS SHALL BE REVIEWED WITH THE LANDSCAPE ARCHITECT.
- CONTRACTOR IS TO PLACE THIS HARDWARE AS REQUIRED TO SERVE ITS FUNCTION WITHOUT CONFLICTS WITH OTHER PIPES AND CONDUITS. LOCATIONS ARE TO BE DETERMINED BY THE CONTRACTOR AS FOLLOWS:
  - STAY WITHIN PATHS AND PAVED AREAS, AND AVOID LANDSCAPED AREAS, UNLESS OTHERWISE INDICATED;
  - ALL JUNCTION BOXES, PULL BOXES, ETC. ARE TO BE LOCATED IN THE PLANTING AREAS UNLESS OTHERWISE INDICATED;
  - CLEARANCES BETWEEN PIPE AND CONDUIT RUNS ARE TO ADHERE TO ALL CODES AND STANDARD PRACTICES.
  - THE ARCHITECT SHALL APPROVE ALL CONDUIT, PIPE AND HARDWARE LOCATIONS AS THEY RELATE TO FINISH SURFACE CONDITIONS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY UNEXPECTED CONDITIONS.

ADD ALT. NO. 3: IRRIGATION NOTES

- IRRIGATION PLAN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN THE FIELD BY THE IRRIGATION INSTALLER.
- IRRIGATION INSTALLER SHALL LAYOUT AND STAKE ALL IRRIGATION EQUIPMENT IN THE FIELD PRIOR TO INSTALLATION. LOCATIONS SHALL BE APPROVED BY THE IRRIGATION CONSULTANT AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL VALVE BOXES ARE TO BE INSTALLED IN PLANT BEDS.
- COORDINATE IRRIGATION WORK WITH PLANTING WORK.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH OTHER TRADES.
- IRRIGATION SYSTEM REQUIREMENTS: 100 GPM @ 75 PSI
- IRRIGATION PIPING DEPTH REQUIREMENTS: MAIN LINE PIPE - 24" OF COVER  
CONDUIT FOR CONTROL WIRE - 24" OF COVER  
LATERAL LINE PIPE - 12" OF COVER  
DRIP IRRIGATION TUBING - 2" OF COVER (EXCLUDING MULCH)
- CONTRACTOR IS TO PROGRAM AND MAINTAIN CONTROLLER UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- CONTRACTOR TO MAINTAIN EXISTING IRRIGATION FOR THE ENTIRE DURATION OF CONSTRUCTION INCLUDING SPRING START UP AND WINTERIZATION.

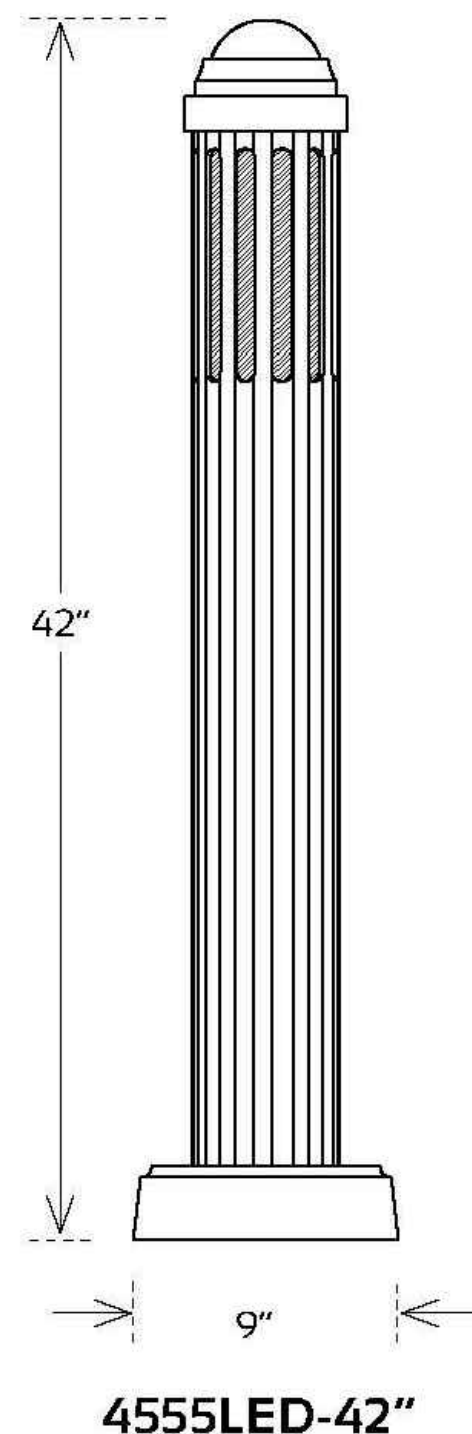
1 Lighting Plan

L-06 1" = 10'



PEDESTRIAN LIGHT NOTES:

- ALL LIGHTING PRODUCTS ARE AS MANUFACTURED BY STERNBERG LIGHTING (STERNBERGLIGHTING.COM) OR APPROVED EQUAL. ALL LIGHTING SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
- INSTALL POLE ON PRECAST CONCRETE LIGHTPOLE BASE.
- CONCRETE BASE SHALL BE 12" DIA X 6" HEIGHT.
- TOP ELEVATION OF CONCRETE BASE SHALL BE MAX. 2" ABOVE ADJACENT FINISH GRADE ELEVATION.
- SUBMIT PRODUCT INFORMATION FOR APPROVAL.



PEDESTRIAN LIGHT NOTES:

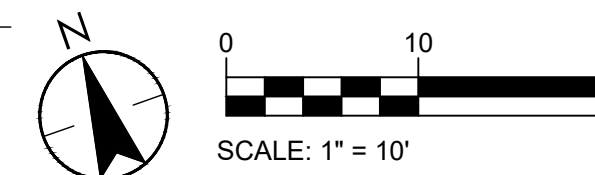
- ALL LIGHTING PRODUCTS ARE AS MANUFACTURED BY STERNBERG LIGHTING (STERNBERGLIGHTING.COM) OR APPROVED EQUAL. ALL LIGHTING SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
- INSTALL BOLLARD ON CONCRETE BASE.
- CONCRETE BASE SHALL BE 10" DIA X 4" HEIGHT.
- TOP ELEVATION OF CONCRETE BASE SHALL BE FLUSH WITH ADJACENT FINISH GRADE ELEVATION.
- SUBMIT PRODUCT INFORMATION FOR APPROVAL.

2 Pedestrian Light - Detail

L-06 NTS

3 Illuminated Bollard - Detail

L-06 NTS





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Project Name and Address

**Copper Beech Park Expansion**  
10 North Main Street  
Pittsford, New York 14560

**BID DOCUMENTS  
NOT FOR  
CONSTRUCTION**

Issue Date  
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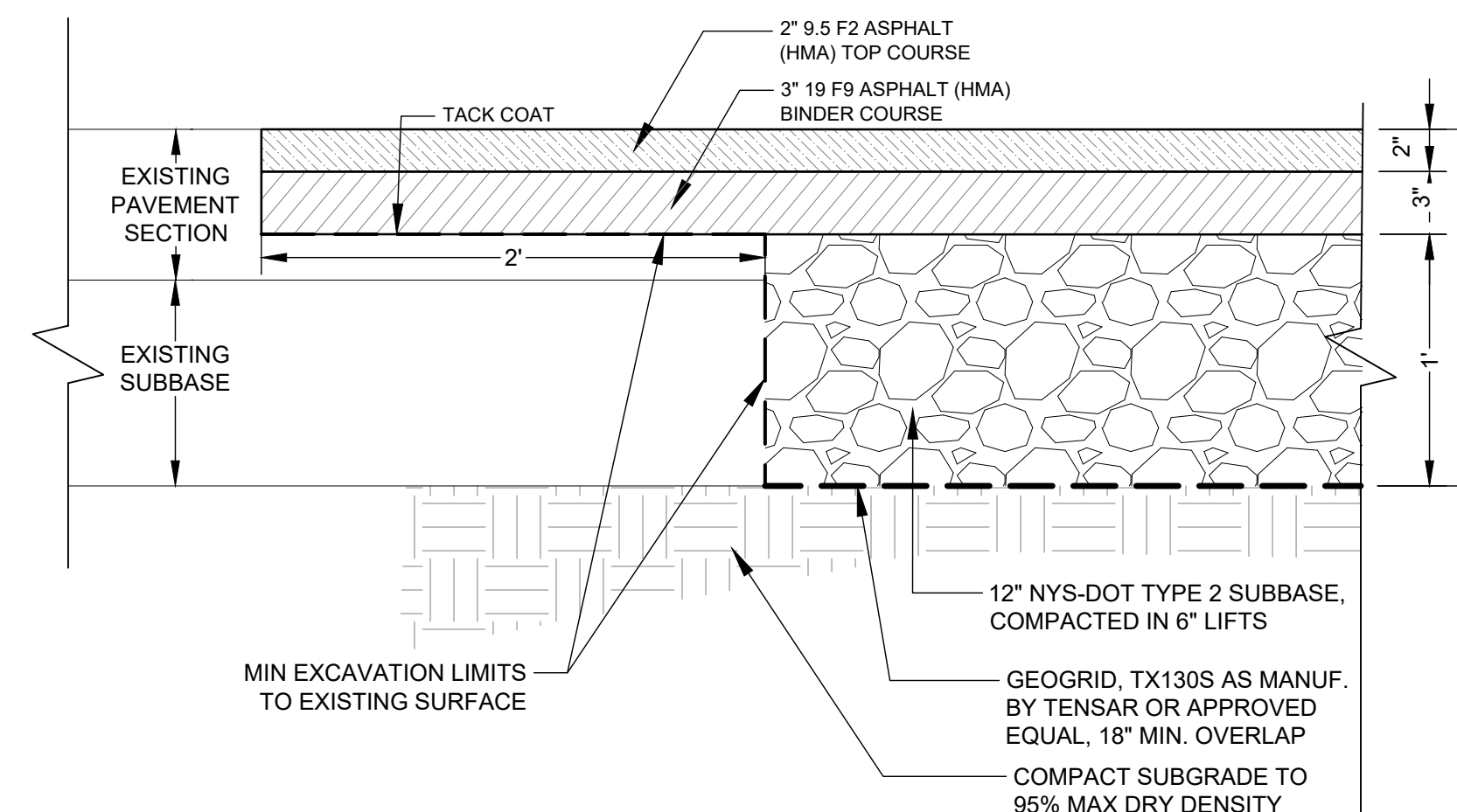
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Details

**L-07**

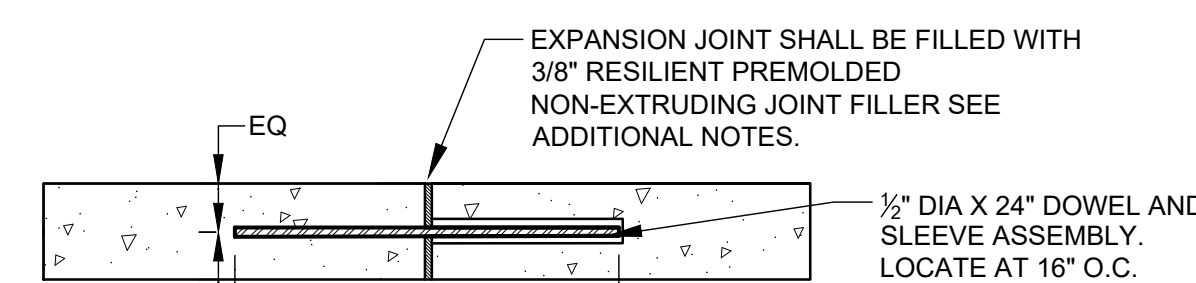
**CONCRETE NOTES:**

- SUBMIT MIX DESIGN AND MATERIALS DATA FOR ALL PRODUCTS REQUIRED TO PERFORM THE WORK TO LANDSCAPE ARCHITECT FOR REVIEW.
- SPECIALTY FINISH TO BE EXPOSED AGGREGATE:
  - EXPOSED AGGREGATE MATERIAL: SELECTED, HARD, AND DURABLE, WASHED NATURAL AGGREGATE, FREE OF MATERIALS WITH DELETERIOUS REACTIVITY TO CEMENT OR THAT CAUSE STAINING; FROM A SINGLE SOURCE, WITH GAP-GRADED AGGREGATES (3/8" TO 5/8" NOMINAL)
  - CHEMICAL SURFACE RETARDER: WATER SOLUBLE, LIQUID, SET RETARDER WITH COLOR DYE, FOR HORIZONTAL CONCRETE SURFACE APPLICATION, CAPABLE OF TEMPORARILY DELAYING THE FINAL HARDENING OF A CONCRETE TO A DEPTH OF 1/8 TO 1/4 INCH.
    - PRODUCT: DAYTON SUPERIOR CORPORATION; TOP CAST GRADE 25, OR APPROVED EQUAL.
- FINISHED CONCRETE TO BE SEALED WITH EUCLID CHEMICAL DIAMOND CLEAR VOX OR EQUAL.
- CONDUCT PRE-INSTALLATION MEETING WITH LANDSCAPE ARCHITECT
- FORMWORK TO BE INSPECTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONCRETE POUR.
- PROVIDE SAWN CONTROL JOINTS TO DEPTH OF MIN. 25% SLAB THICKNESS (1-1/4") AT SPACING TO BE DETERMINED BY LANDSCAPE ARCHITECT, MAX 8' O.C.
- SAWN JOINTS SHALL BE COMPLETED NO MORE THAN 24 HOURS AFTER INITIAL SET OF THE CONCRETE.
- GUARANTEE: ANY MATERIAL OR WORKMANSHIP FOUND TO BE DEFECTIVE FOR UP TO ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY OWNER SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. UPON NOTIFICATION OF DEFECTIVE MATERIAL OR WORKMANSHIP, THE CONTRACTOR SHALL IMMEDIATELY REPLACE SUCH DEFECTIVE AREAS.



**3 Asphalt Pavement - Detail**

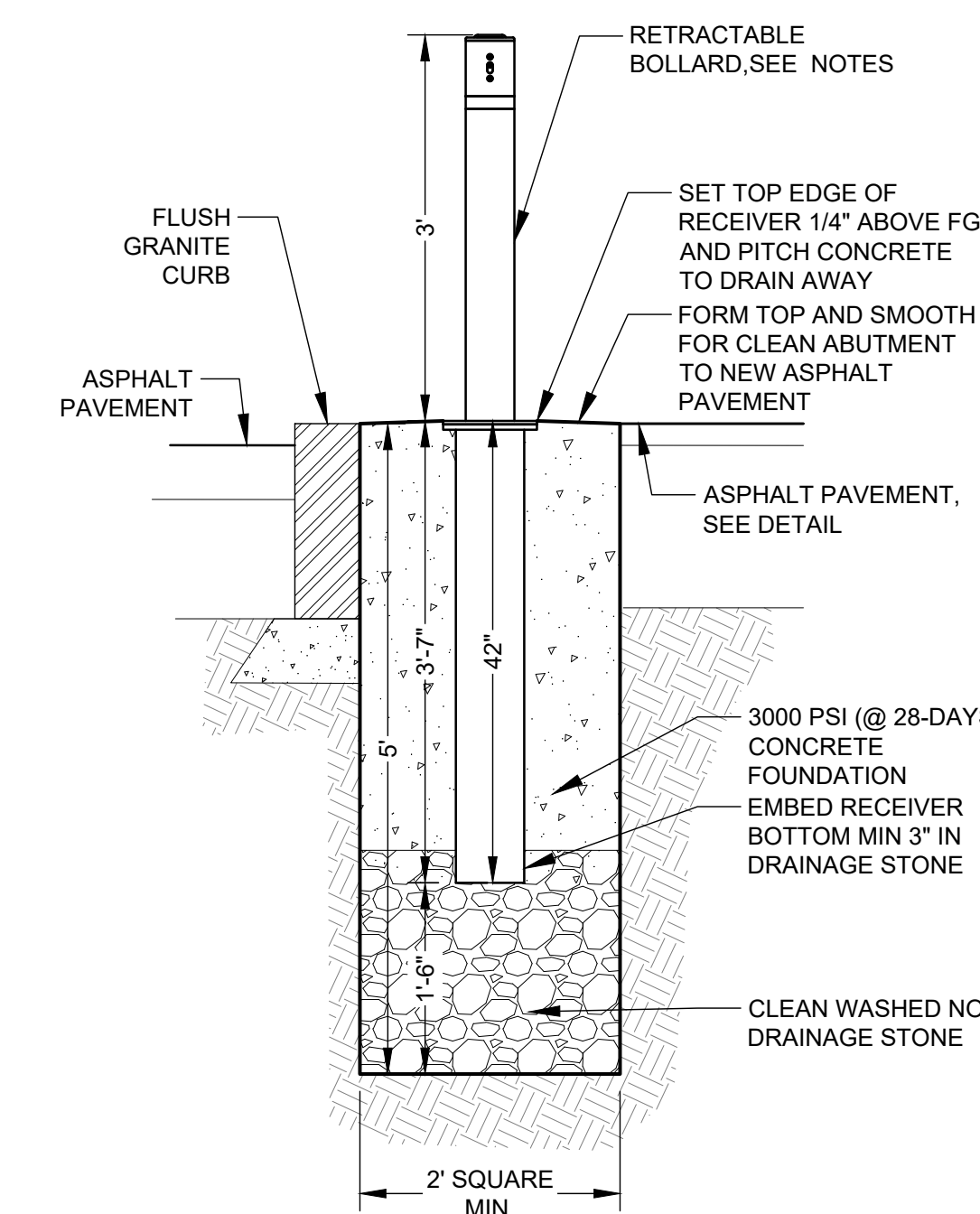
L-07 NTS



- NOTES:
- EXPANSION JOINTS RECESS SHALL BE FORMED WITH AN EXTRUDED PVC CAP WITH REMOVABLE TOP TO RECEIVE SELF LEVELING JOINT SEALANT. S.L. SEALANT COLOR TO MATCH CONCRETE PAVEMENT.
  - EXPANSION JOINTS SHALL BE PLACED 1 PER 30 LF OF CONCRETE, OR AS INDICATED ON THE LAYOUT PLAN.

**7 Expansion Joint - Detail**

L-07 NTS

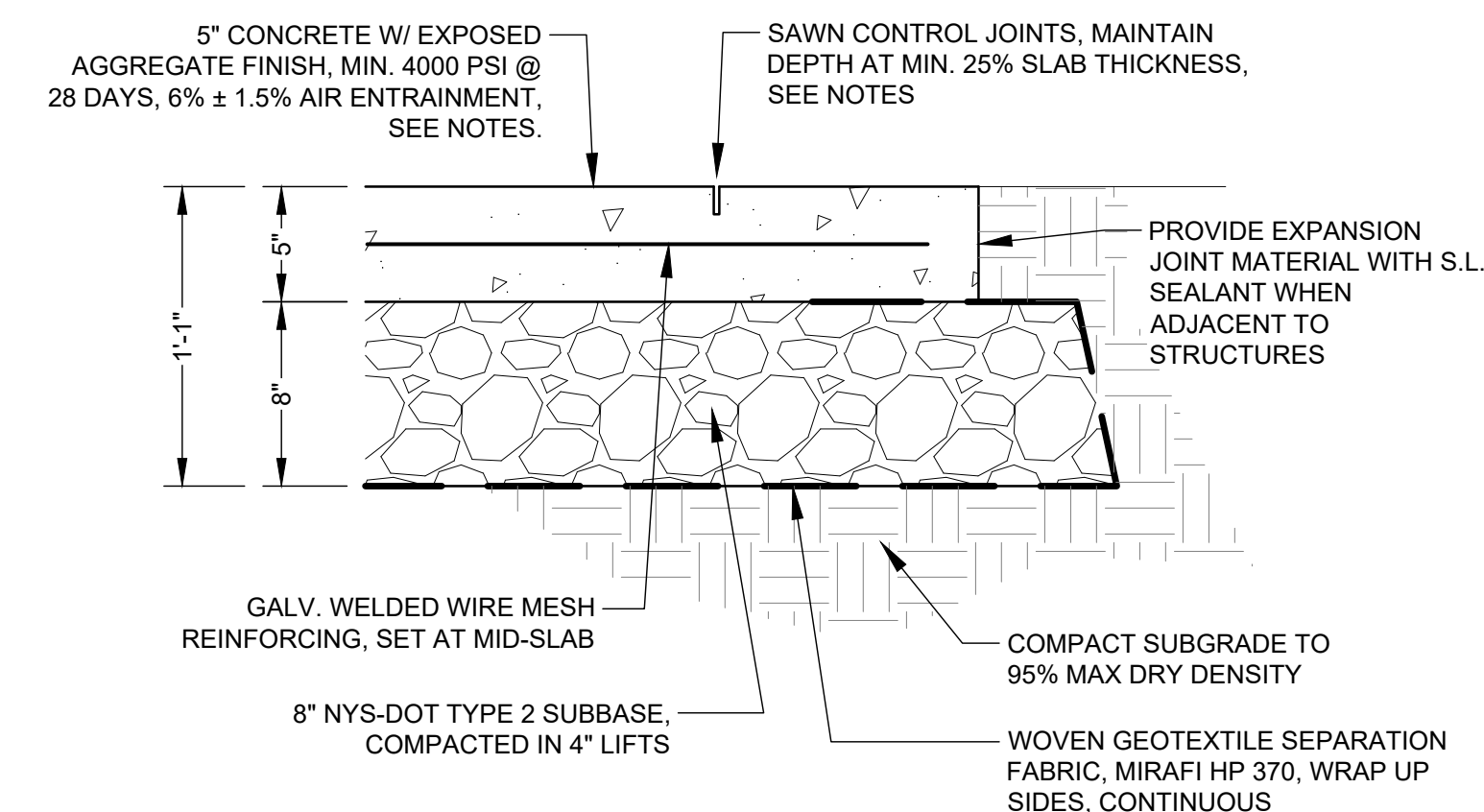


**BOLLARDS NOTES:**

- RETRACTABLE BOLLARD SHALL BE AS MANUFACTURED BY RELIANCE FOUNDRY (RELIANCE-FOUNDRY.COM) OR APPROVED EQUAL:
  - MODEL: R-8471-RA (LOCKABLE IN RAISED/KEY TO LOWER)
  - MATERIAL: STAINLESS STEEL 316
  - COLOR: BLACK POWDER COAT WITH IRON ARMOR AND YELLOW REFLECTOR
- INSTALL PER MANUFACTURER INSTRUCTIONS.
- PROVIDE 5 YEAR PRODUCT AND POWDER COATING WARRANTY

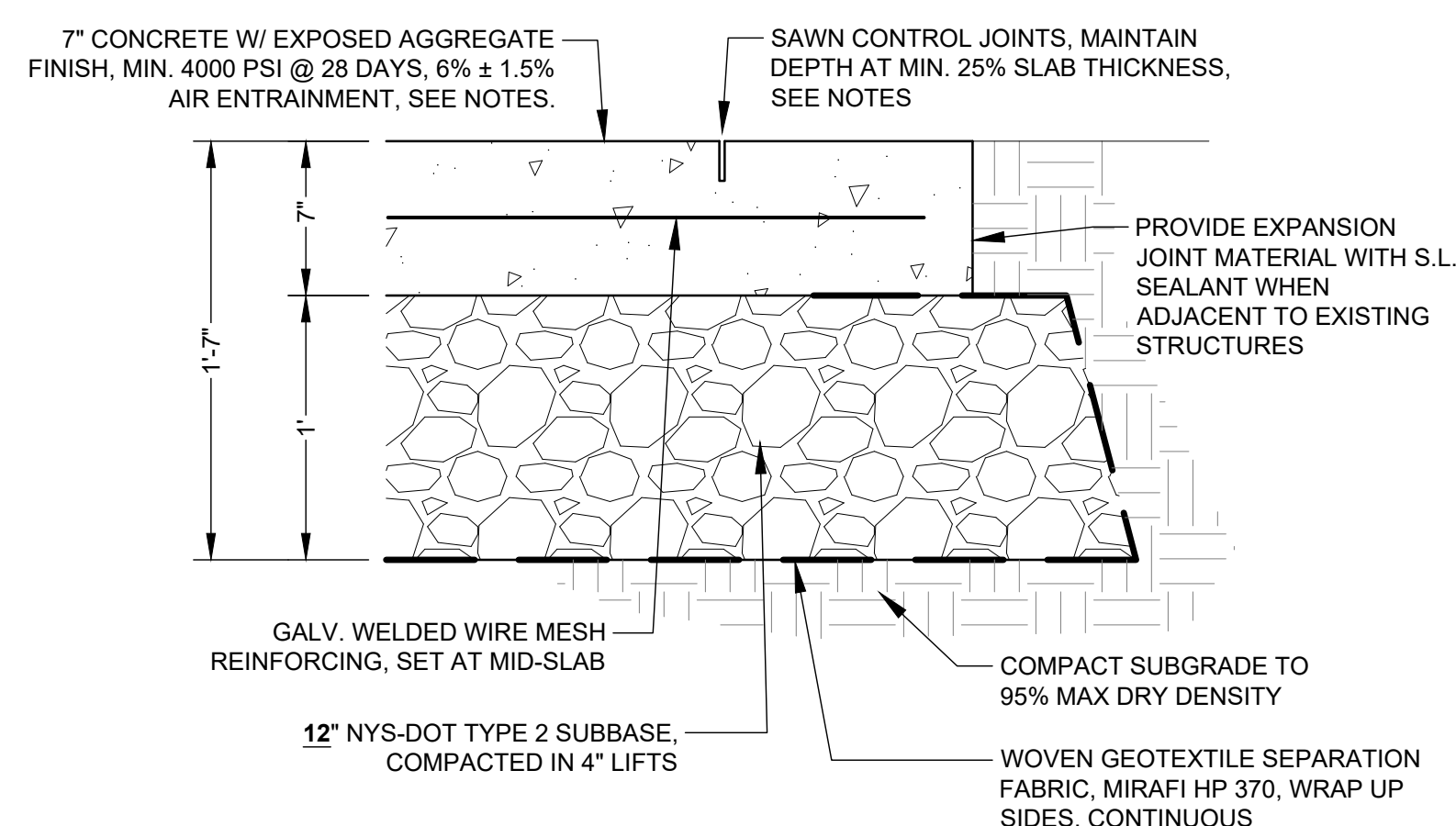
**6 Retractable Bollard - Detail**

L-07 NTS



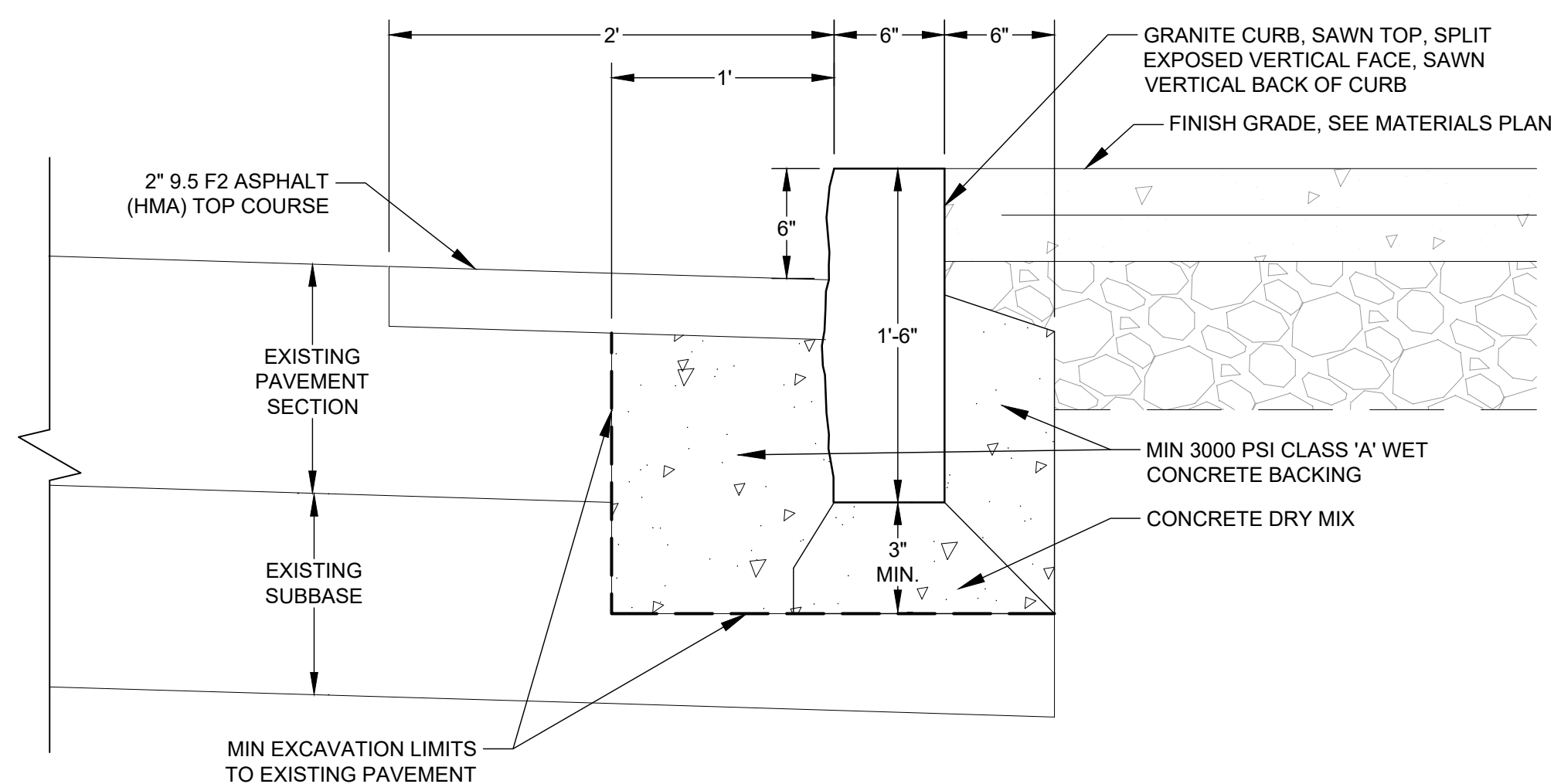
**1 Pedestrian (5") Concrete Pavement with Exposed Aggregate Finish - Detail**

L-07 NTS



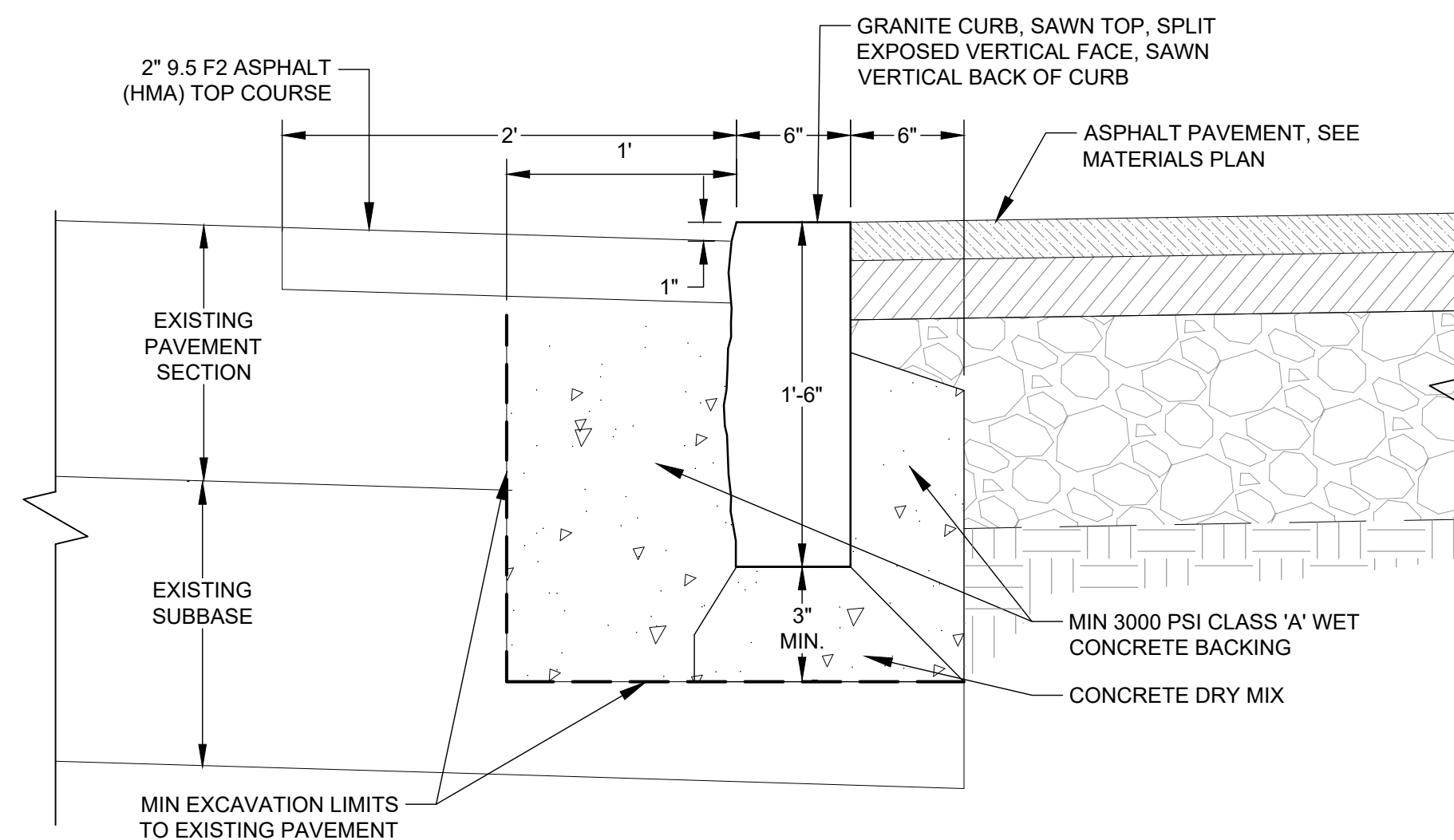
**2 Vehicular Grade (7") Concrete Pavement with Exposed Aggregate Finish - Detail**

L-07 NTS



**4 Granite Curb with Reveal - Detail**

L-07 NTS



**5 Flush Granite Curb - Detail**

L-07 NTS



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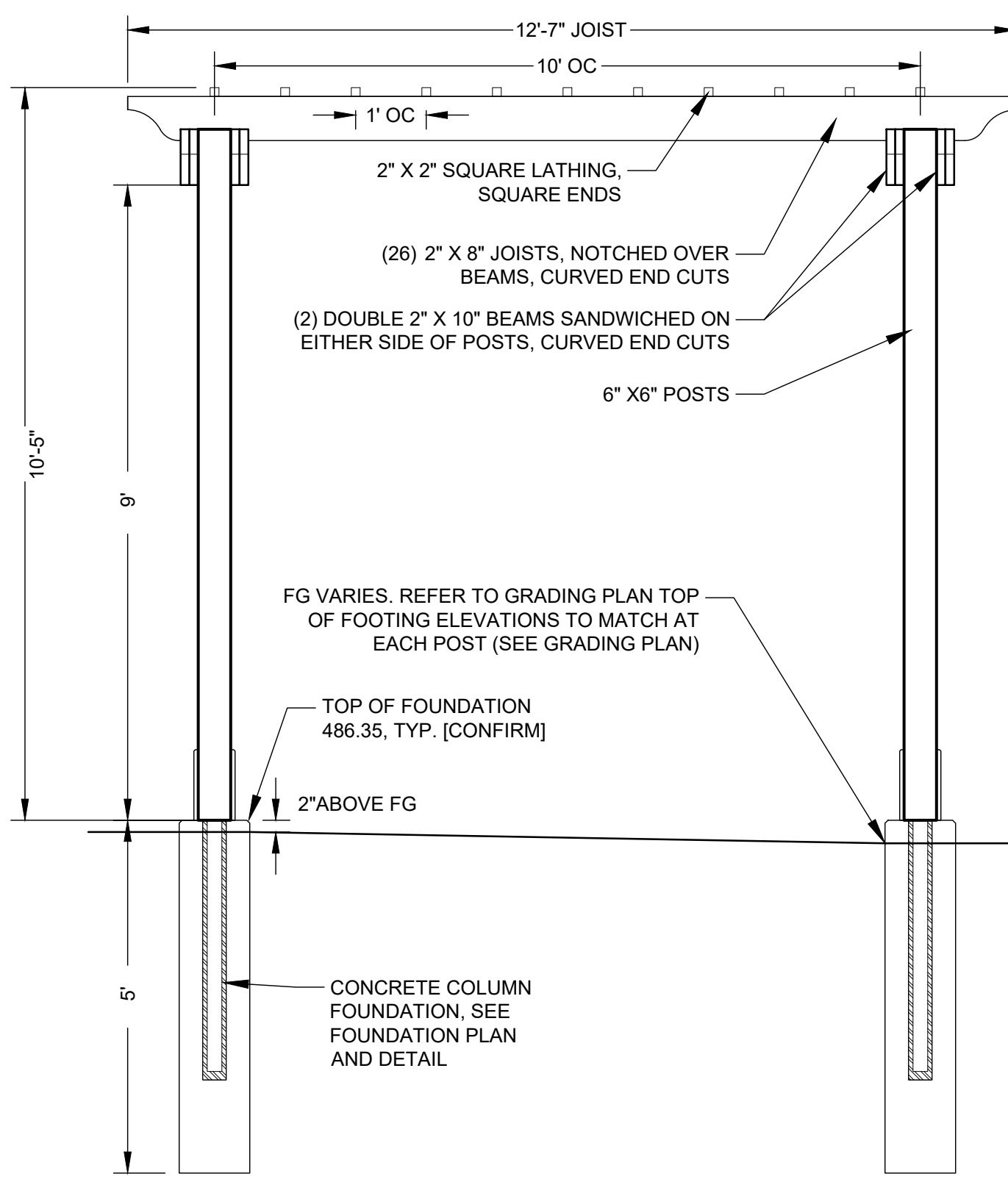
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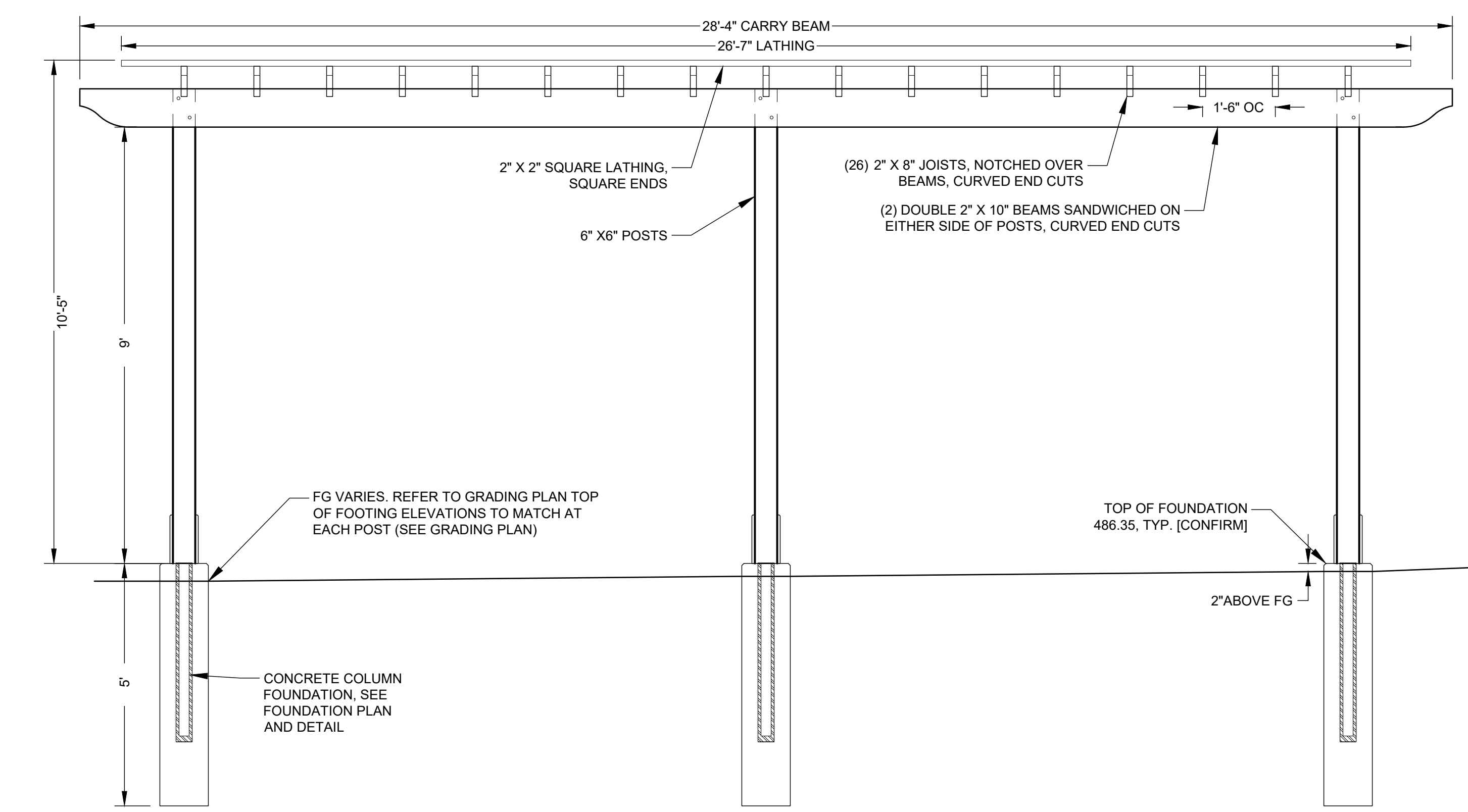
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**PERGOLA DESIGN NOTES**

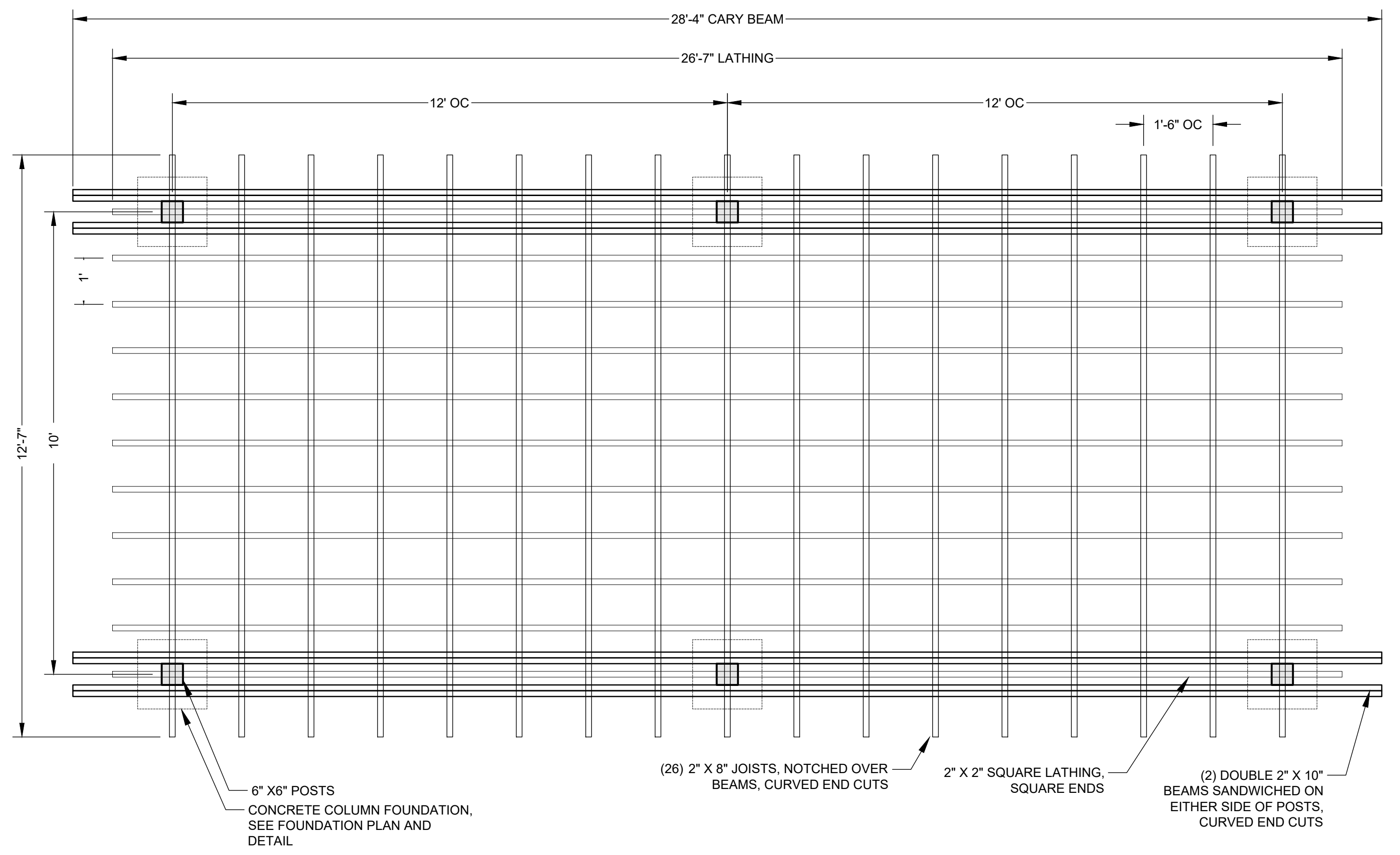
1. PREFABRICATED PERGOLA SHALL BE AS MANUFACTURED BY: WALPOLE OUTDOORS 973-539-3555 WALPOLEOUTDOORS.COM OR APPROVED EQUAL.
2. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING FINAL ENGINEERING DRAWINGS FOR THE PERGOLA AND FOUNDATIONS. FABRICATION DRAWINGS, MUST BE STAMPED BY A LICENSED ENGINEER IN THE STATE OF NEW YORK.
3. ENGINEERED FABRICATION DRAWINGS SHALL MATCH DIMENSIONS AS SHOWN, PROPOSED MODIFICATIONS MUST BE APPROVED.
4. WOOD MATERIALS SPECIFICATIONS:
  - 4.1. SPECIES: WRCLA WESTERN RED CEDAR
  - 4.2. SURFACE: SURFACED FOUR SIDES (S4S)
  - 4.3. SIZE: AS SPECIFIED
  - 4.4. GRADE: NO.2 CLEAR OR UPGRADED FOR APPEARANCE QUALITIES
5. HARDWARE SHALL BE 316 STAINLESS STEEL
6. CONTRACTOR SHALL PROVIDE WARRANTY ON ALL WALPOLE OUTDOOR PRODUCTS AND WORKMANSHIP FOR ONE YEAR FROM THE DATE OF INSTALLATION.



**ELEVATION B-B'**

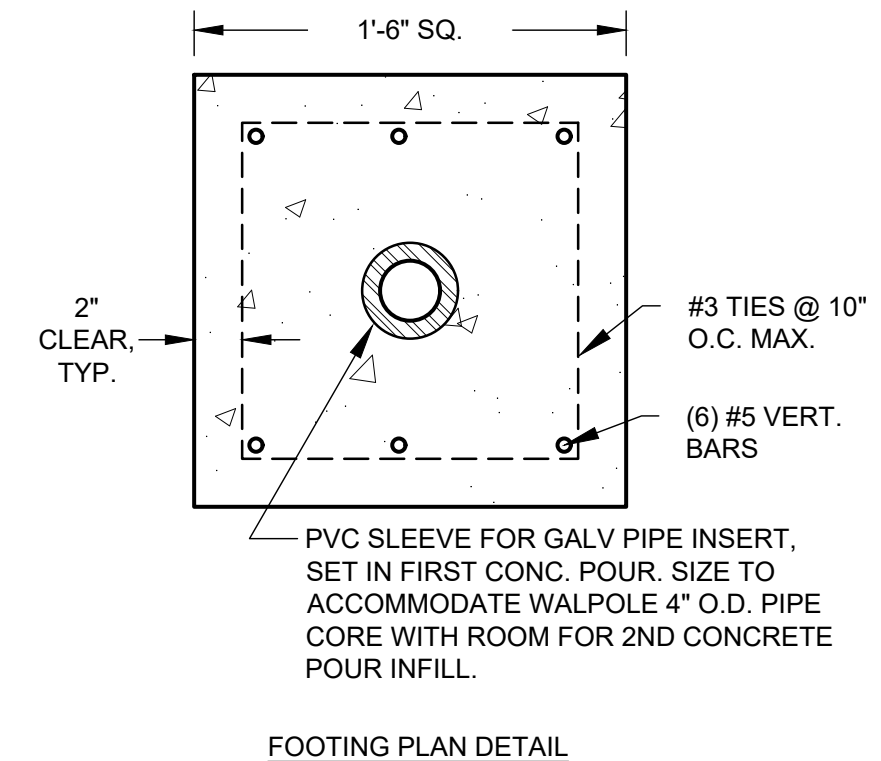


**ELEVATION A-A'**

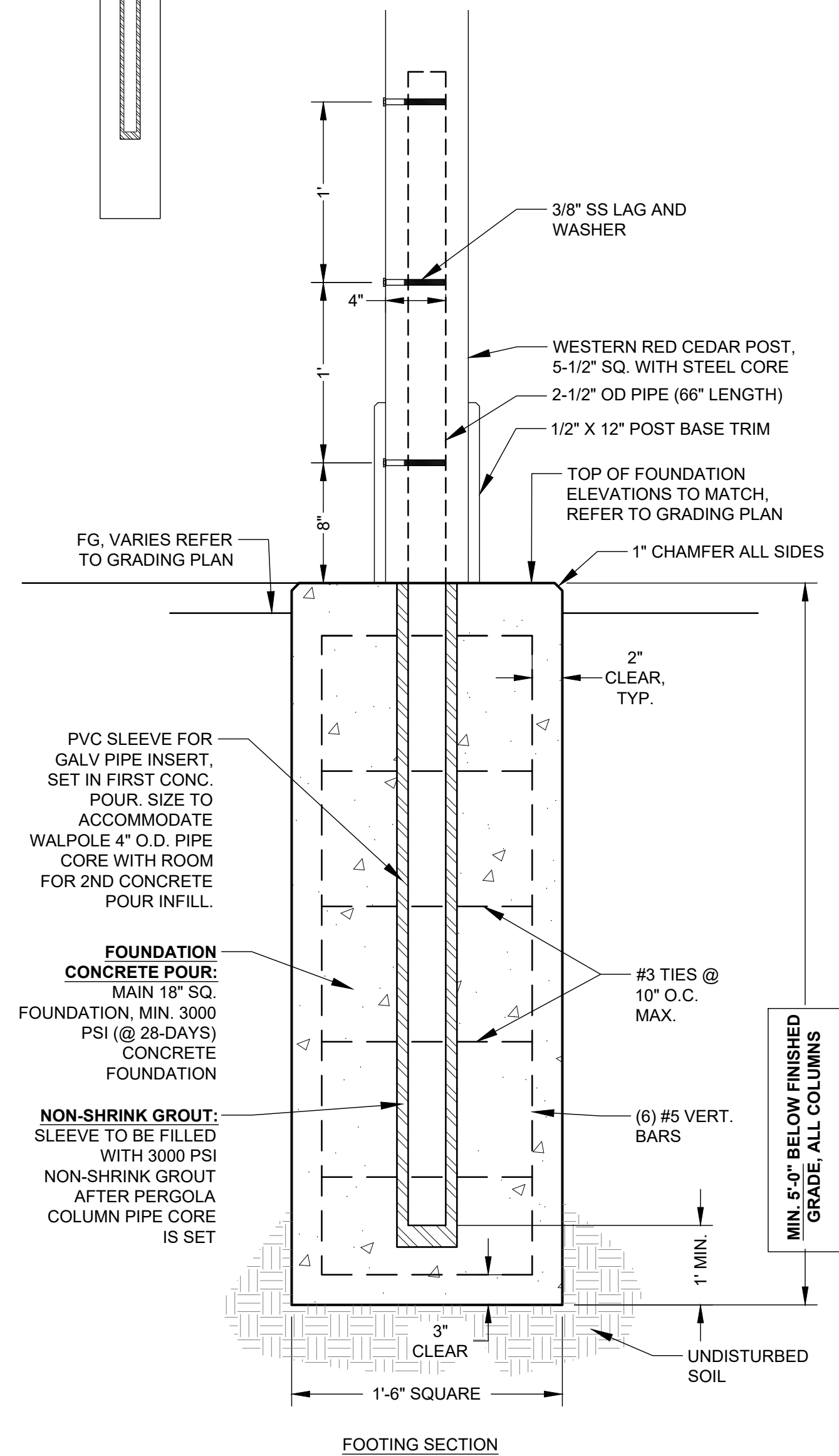


**PLAN**

1 | **ADD ALT NO 1: Pergola - Details**  
L-08 | NTS



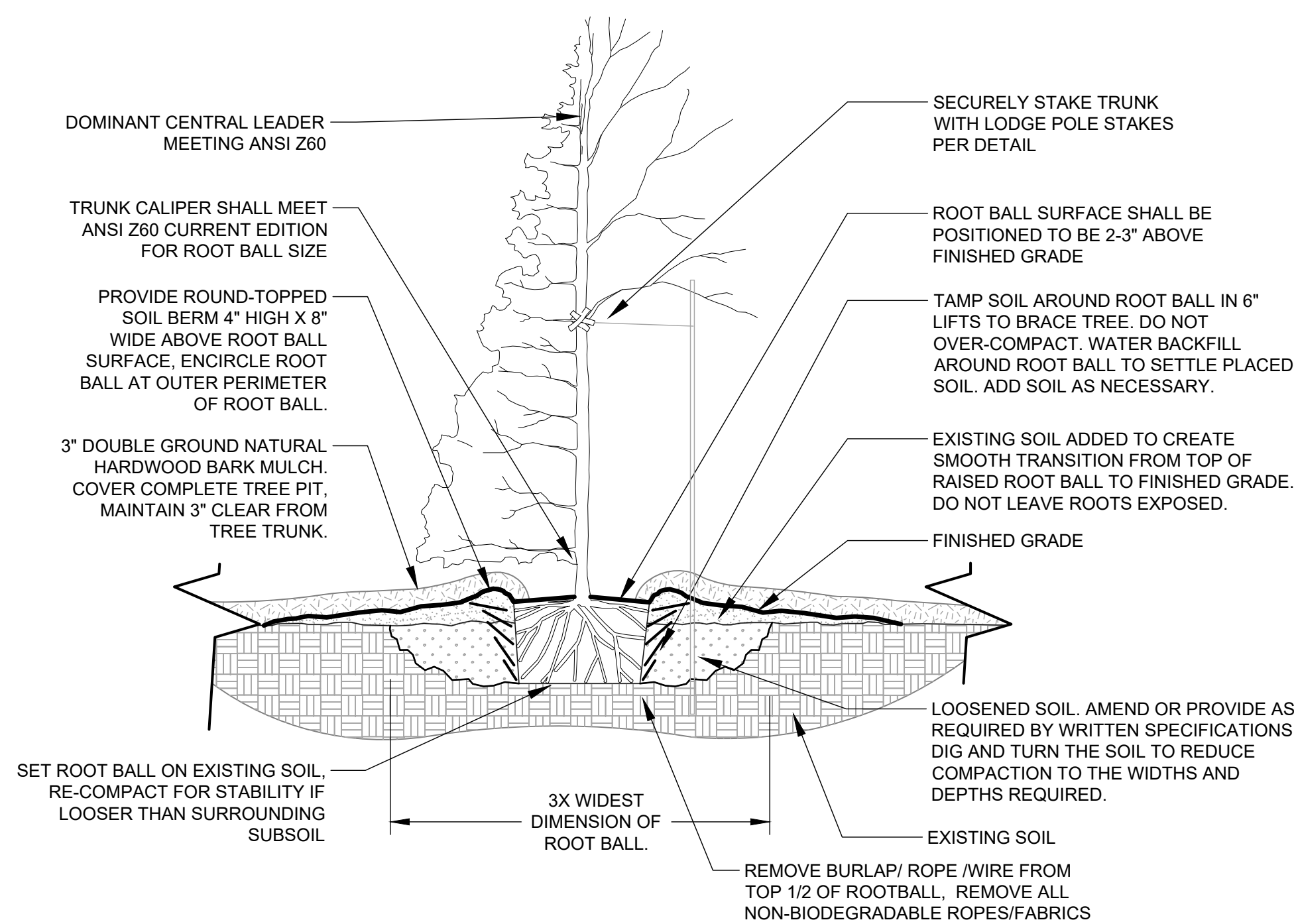
**FOOTING PLAN DETAIL**



**FOOTING SECTION**

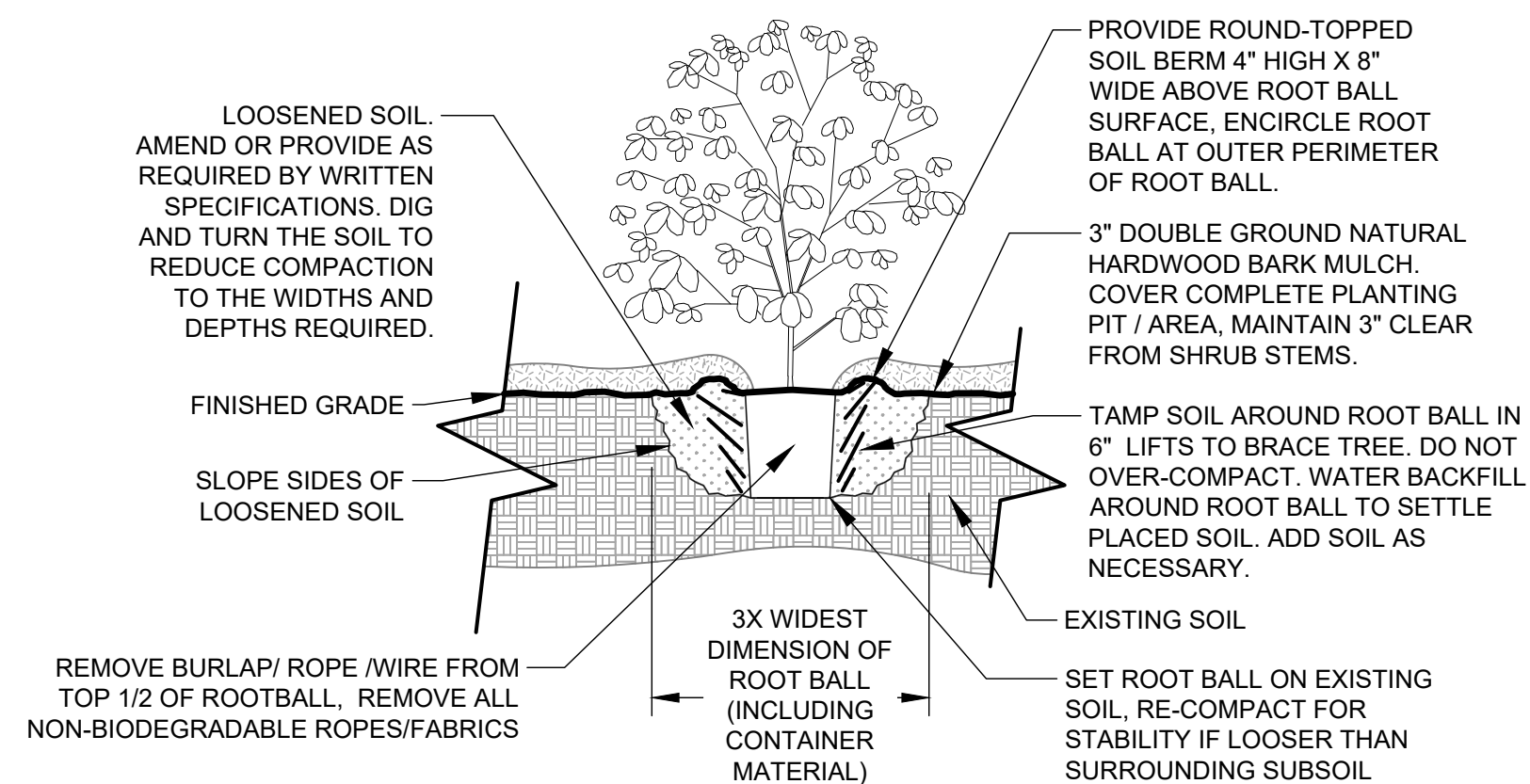
**PERGOLA POST FOUNDATION**





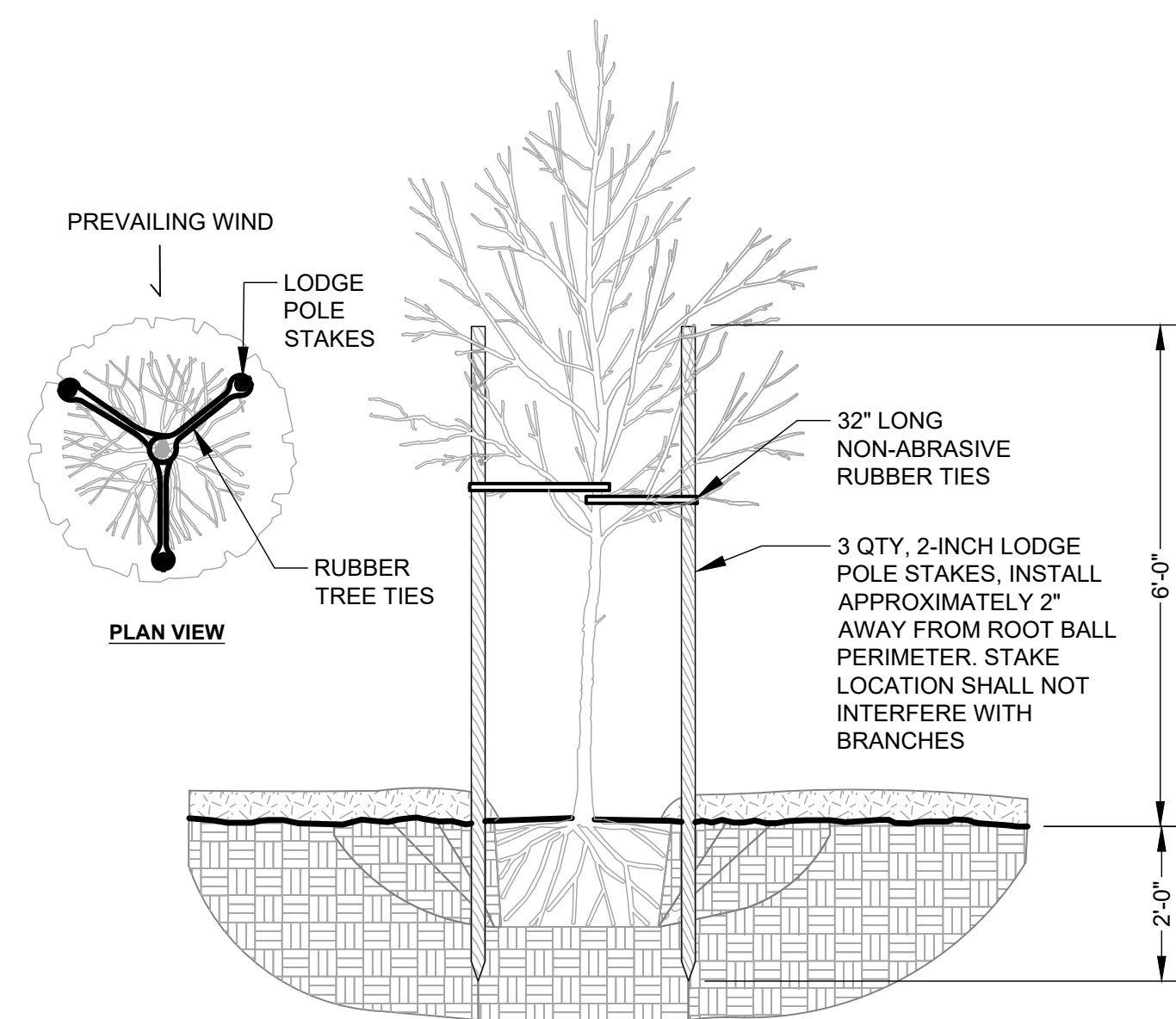
**1** Tree Planting - Detail

L-09 NTS



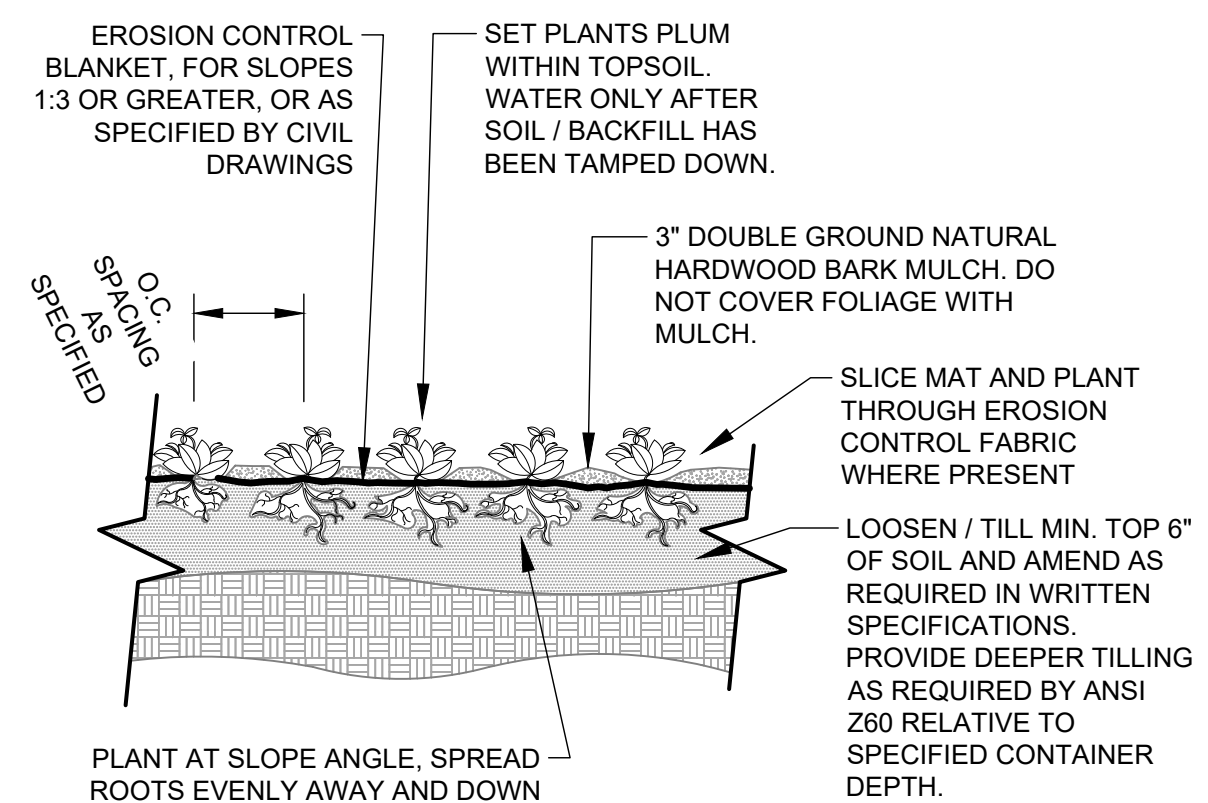
**2** Shrub Planting - Detail

L-09 NTS



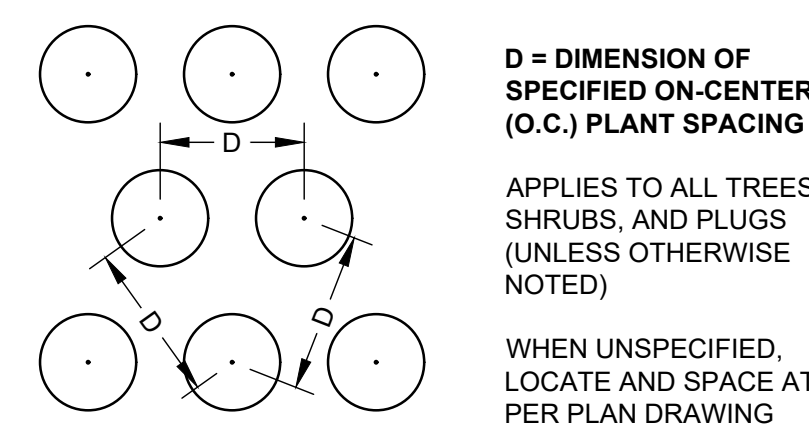
**3** Tree Staking - Detail

L-09 NTS



**4** Container Planting - Detail

L-09 NTS



**5** Plant Spacing Layout - Detail

L-09 NTS

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