

**Town of Pittsford Design Review & Historic Preservation Board  
AGENDA**

**February 29, 2024**

*This agenda is subject to change.*

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, February 29, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

**HISTORIC PRESERVATION DISCUSSION**

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**RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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**38 Jordan Road**

Applicant is requesting design review for a 432-square-foot addition off the rear of the home.

**25 Barrington Hills**

Applicant is requesting design review for a 252-square-foot addition to the front of the home, as well as new windows and siding to the existing structure.

**11 Smead Road**

Applicant is requesting design review for a 126-square-foot addition to the rear of the home, as well as new windows, doors, and siding to the existing structure.

**COMMERCIAL APPLICATIONS: SIGNAGE**

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**3349 Monroe Avenue**

Applicant is requesting design review for a 22.4-square-foot sign for Body Fuel at Pittsford Plaza.

**TOWN OF PITTSFORD  
DESIGN REVIEW & HISTORIC PRESERVATION BOARD  
MINUTES  
FEBRUARY 8, 2024**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, February 8, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

**PRESENT:** Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Jim Vekasy; Bonnie Salem; John Mitchell; Kathleen Cristman

**ABSENT:** Paul Whitbeck

**ALSO PRESENT:** Bill Zink, Building Inspector; Meghan Brooks, Building Department Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board Liaison

**ATTENDANCE:** There were 14 members of the public present.

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The Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

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**HISTORIC PRESERVATION DISCUSSION**

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DRHPB Member Bonnie Salem stated the Board's intention to reach back out to some of the attendees of the Reception for Owners of Inventoried Homes held back in November of 2023. She suggested sending emails instead of letters, as it would make the contact more personal. Several Board members volunteered to contact specific homes.

DRHPB Chairman Dirk Schneider and DRHPB Member Kathleen Cristman suggested having a first paragraph that has been formalized through the Town. Board Member Salem agreed to write it.

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**RESIDENTIAL APPLICATIONS: RETURNING**

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**800 Allens Creek Road**

*Applicant is requesting design review for a 240 square foot storage addition off the side of the home.*

Brandon DiCesare of 800 Allens Creek Road introduced the application. Mr. DiCesare restated his family's need for storage and noted the changes made to the design since the application had previously come to the Board. He stated that they added a window and tried to match the gable without losing the necessary egress from the window above. They have chosen to use a metal roof because of the amount of debris that comes off nearby trees.

Chairman Schneider confirmed with Mr. DiCesare that the roof color will match existing shingle roof. DRHPB Vice Chairman Dave Wigg asked what material will be used for the siding. Mr. DiCesare responded that he is not entirely sure, but likely some sort of shake vinyl. Vice Chairman Wigg strongly suggested adding a corner board.

DRHPB Chairman Dirk Schneider motioned to approve the 240-square-foot storage addition off the side of the home as submitted, with the condition that the trim and siding color and style match the existing home. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

### **18 Amber Hill Drive**

*Applicant is requesting design review for a 1,560-square-foot, three-story addition to the rear of the home.*

Jenna Evans of Pardi Partnership Architects introduced the application. Ms. Evans stated that the application has returned with revised elevations which include additional windows to the west and south elevations.

The Board expressed its appreciation that the west elevation had been improved.

DRHPB Member Bonnie Salem motioned to approve the 1,560-square-foot, three-story addition to the rear of the home as submitted, with the condition that the siding line will follow grade over the CMU. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

## **COMMERCIAL APPLICATIONS: RETURNING**

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### **3330 Monroe Avenue – Community Bank N.A.**

*Applicant is requesting design review for the exterior renovation of a commercial buildout. This property is zoned Commercial (C).*

Doug Templeton of Hanlon Architects introduced the application with Albert Giannino of Community Bank N.A. Mr. Templeton restated the project and noted that, per the Board's request, the façade is now carried further onto the northwest elevation. They also provided roof plans in the updated submittal.

Board Member Salem stated that she had driven by the existing building and now, seeing the new elevations, she feels that the design is a marked improvement to the current structure. DRHPB Member Jim Vekasy added that the façade looks more complete and overall has a nice depth and thickness to it. Chairman Schneider confirmed with Mr. Giannino that he is happy with the changes the Board had requested.

DRHPB Member John Mitchell motioned to approve the exterior renovation of the commercial buildout of Community Bank N.A as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

## **RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS**

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### **16 Ravenna Crescent**

*Applicant is requesting design review for a 308-square-foot garage addition to the south side of the home.*

Jim Beswick, contractor, introduced the application.

Chairman Schneider asked if the driveway will be expanding to three lanes. Mr. Beswick stated that it will be flared out to meet the new door, but that the paving would be the homeowner's responsibility. Chairman Schneider confirmed with Mr. Beswick that the expanded pavement would not go all the way to the road and require a curb cut.

Board Member Salem stated that she liked that the garage addition is set back and that the exposed wall has a window and door.

DRHPB Member Kathleen Cristman motioned to approve the 308-square-foot garage addition to the south side of the home as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

## **RESIDENTIAL APPLICATIONS: NEW HOMES**

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### **3 Old Homestead Road**

*Applicant is requesting design review for a 2,981-square-foot, two-story home in the Country Pointe Subdivision.*

Lou Masi of Mascot Inc. introduced the application. Mr. Masi stated that the stone is wrapped around the corners of this design.

Vice Chairman Wigg asked if the lumber will be kept natural or if it will be painted. Mr. Masi stated that it will be painted but the homeowners have not yet chosen a color.

There was some discussion about the location and angle of the home in relation to others in the area. Mr. Masi confirmed that this home will face West Bloomfield.

DRHPB Vice Chairman Dave Wigg motioned to approve the 2,981-square-foot, two-story home in the Country Pointe Subdivision as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

## **COMMERCIAL APPLICATIONS: ADDITIONS & RENOVATIONS**

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### **3349 Monroe Avenue - Shell Space**

*Applicant is requesting design review for a new storefront entry to the exterior of a commercial shell space whose use is changing from one tenant to two.*

Eric Wright of Wilmorite Construction introduced the application. Mr. Wright stated that the current Citizens Bank is looking to downsize and, as such, they are proposing to divide the

building into two spaces. They will fill in some areas of the exterior and add another storefront facing Pittsford Plaza to create a shell space for a future tenant.

Chairman Schneider confirmed that Citizens Bank's signage application will be coming in separately. He also inquired about the ATM canopy. Mr. Wright stated that it would remain as a functioning ATM.

Board Member Cristman and Chairman Schneider both expressed their appreciation that the Plaza and Citizens Bank are rethinking building uses rather than leaving Town and creating empty storefronts.

DRHPB Chairman Dirk Schneider motioned to approve the new storefront entry to the exterior of a commercial shell space as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

### **01/11/2024 MEETING MINUTES REVIEW**

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The minutes of January 25, 2024, were approved following a motion by DRHPB Chairman Dirk Schneider. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the minutes were approved, none opposed.

### **OTHER DISCUSSION**

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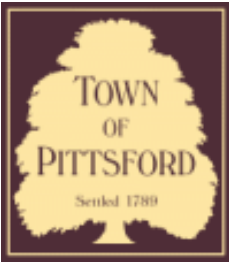
Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 6:46PM.

Respectfully submitted,

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Meghan Brooks  
*Building Department Assistant*

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING  
DEPARTMENT



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B24-000020**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 38 Jordan Road PITTSFORD, NY 14534

**Tax ID Number:** 164.18-1-52

**Zoning District:** RN Residential Neighborhood

**Owner:** Schirmer, June E

**Applicant:** Brian Hartman

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for a 432-square-foot addition off the rear of the home.

**Meeting Date:** February 29, 2024



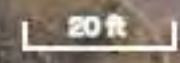






Fri Apr 14 2023

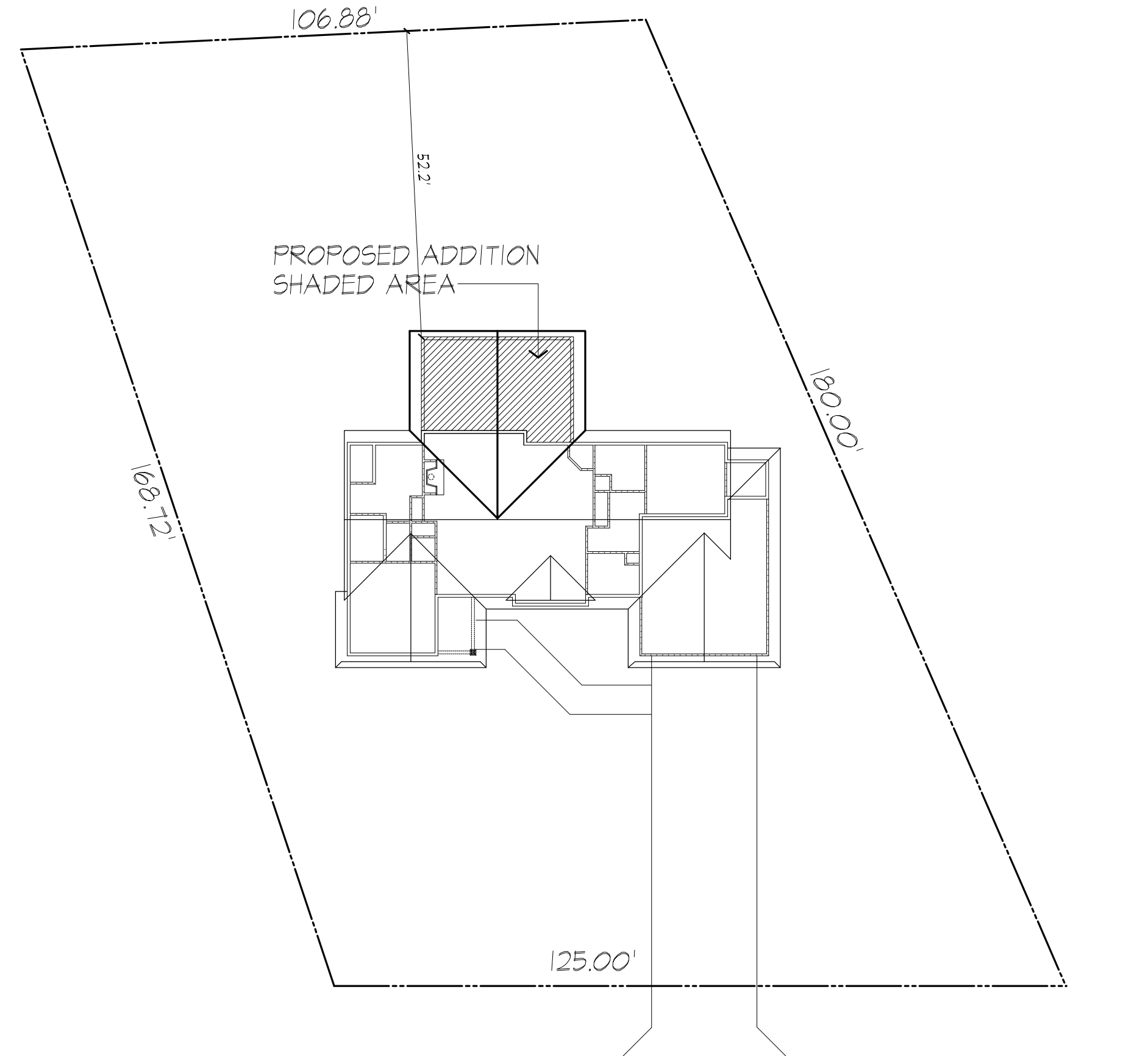
Imagery © 2024 Nearmap, HERE



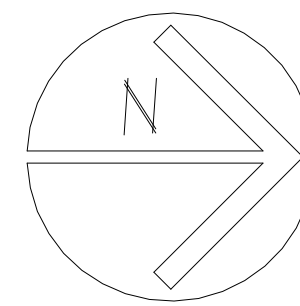
nearmap

# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS, WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZES ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING CAPACITY TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR. PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH: 2500 PSI FOOTINGS
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- N/A
- MINIMUM FIBER STRESS IN BENDINGS (F<sub>B</sub>) FOR ALL FRAMING LUMBER TO BE 1500 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGINGS/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOBALSATS OR MGLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020):  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, IT WILL BE REMOVED AS REQUIRED.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R314.3 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R315.3 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



JORDAN ROAD



## PLOT PLAN

SCALE: 1"=20'

\* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

## PROPOSED ADDITION

## SCHIRMER RESIDENCE

38 JORDAN RD PITTSFORD NY

# DRAWING INDEX

1	TITLE PAGE
2	ELEVATIONS 1
3	ELEVATIONS 2
4	FOUNDATION PLAN- proposed
5	FLOOR PLAN- proposed
6	ROOF PLAN
7	BUILDING SECTIONS/TYPICAL NOTES

## ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS  
R402.1.2 (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	.49	R-.49
3. WOOD FRAMED WALL R-VALUE	20 OR 13+5	R-21
4. FLOOR R-VALUE	.30	.30

## 2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- REGRESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.11
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.9
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION M507.3.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH EXPOSURE B R301.2 (1)
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1002
- ROOF TIE DOWN REQUIREMENTS R802.11



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### PROJECT:

PROPOSED ADDITION  
38 JORDAN RD PITTSFORD NY

### CLIENT:

JUNE SCHIRMER

### DRAWING:

TITLE PAGE

### DRAWN:

PAUL MORABITO

### DATE:

FEBRUARY 2024

### SCALE:

1/4"=1'-0"

### JOB NO.:

23M4380

### SHEET:

1

OF 7 SHEETS





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 Pittsford, NY 14534

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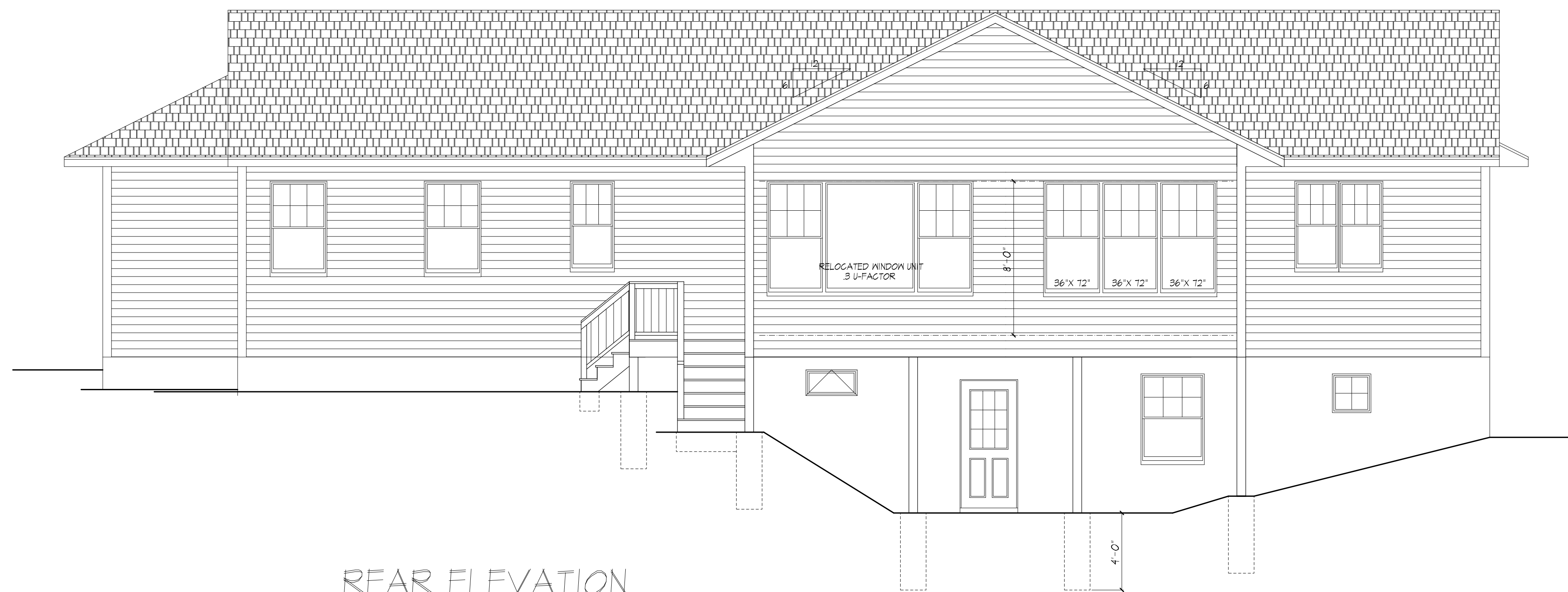
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REAR ELEVATION  
 EXISTING WITH REMOVALS SHOWN



REAR ELEVATION  
 PROPOSED

**PROJECT:**  
 PROPOSED ADDITION  
 88 JORDAN RD PITTSFORD NY

**CLIENT:**  
 JUNE SCHIRMER

**DRAWING:**  
 ELEVATIONS I

**DRAWN:**  
 PAUL MORABITO

**DATE:** FEBRUARY 2024

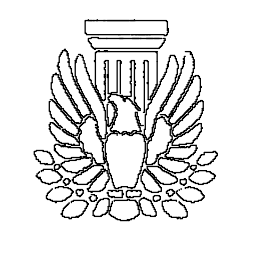
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**JOB NO.:** 23M4380

**SHEET:**

2

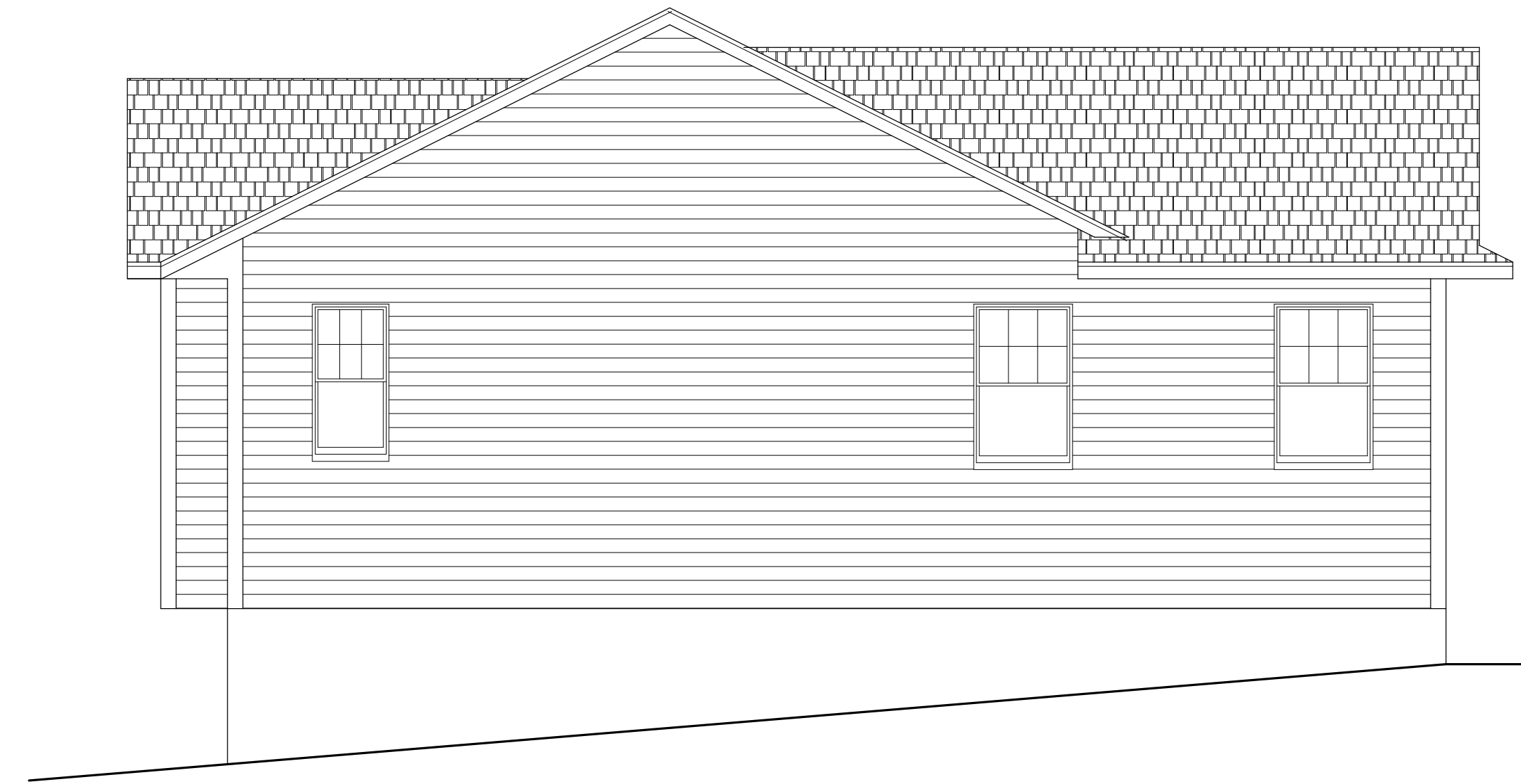
OF 7 SHEETS





RIGHT SIDE ELEVATION

EXISTING



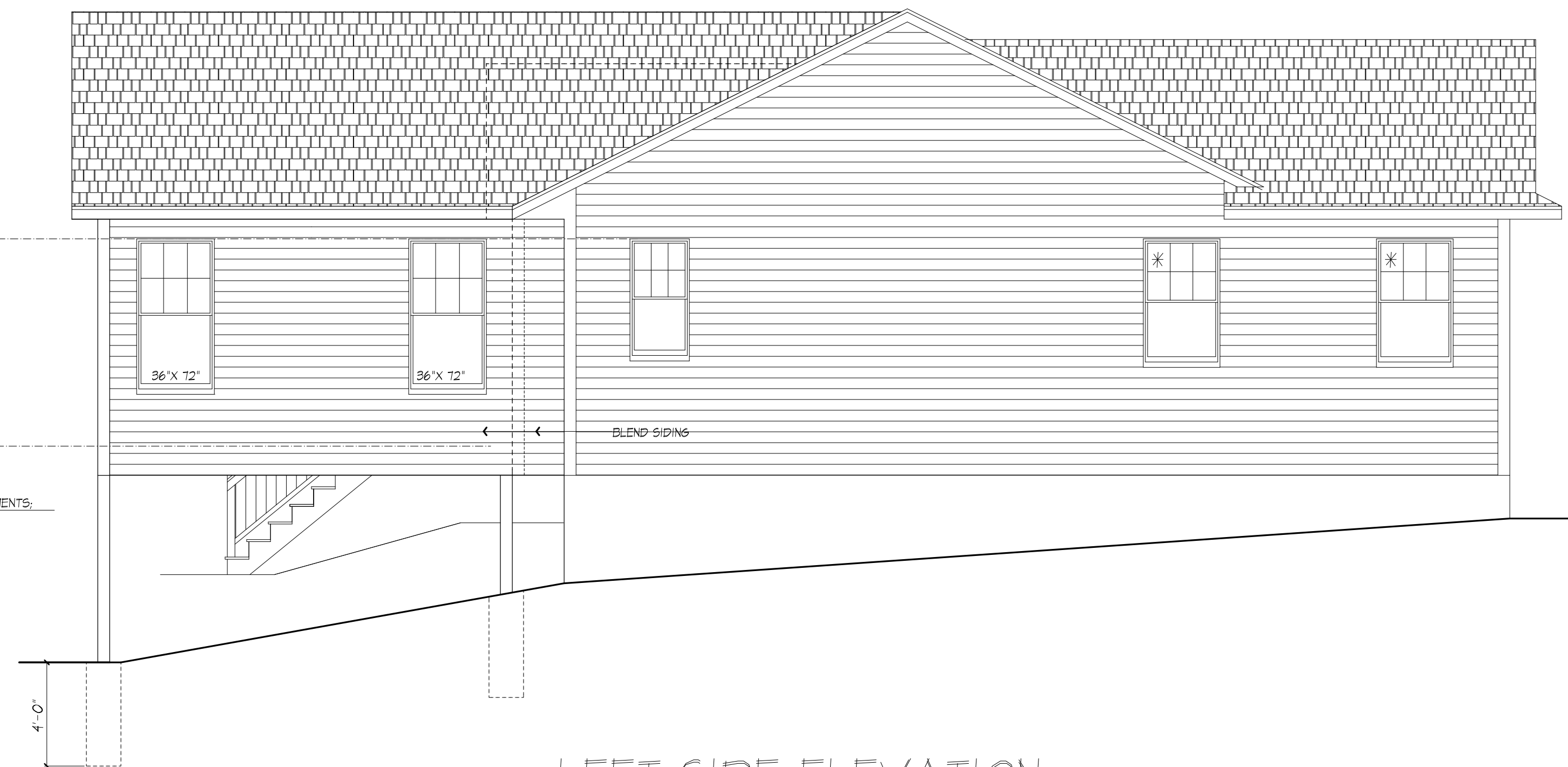
LEFT SIDE ELEVATION

EXISTING



RIGHT SIDE ELEVATION

PROPOSED



LEFT SIDE ELEVATION

PROPOSED



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**PROJECT:**  
PROPOSED ADDITION  
88 JORDAN RD PITTSFORD NY

**CLIENT:**  
JUNE SCHIRMER

**DRAWING:**  
ELEVATIONS 2

**DRAWN:**  
PAUL MORABITO

**DATE:** FEBRUARY 2024

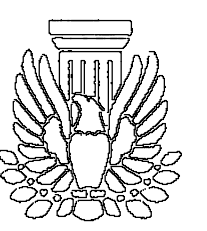
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4380

**SHEET:**

**3**

OF 7 SHEETS







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**PROJECT:**  
PROPOSED ADDITION  
88 JORDAN RD PITTSFORD NY

**CLIENT:**  
JUNE SCHIRMER

**DRAWING:**  
FLOOR PLAN - PROPOSED

**DRAWN:**  
PAUL MORABITO

**DATE:** FEBRUARY 2024

**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4380

**SHEET:**

**5**

OF 7 SHEETS



**WINDOW FALL PROTECTION**  
R312.2

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS IN DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

**WINDOW GLAZING**  
R308

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION

- EXCEPTIONS:
1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS
  2. DECORATIVE GLAZING

R308.4.1 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION

- EXCEPTIONS:
1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 36" ABOVE THE WALKING SURFACE
  2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**  
R314.R315

R314.3 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS 3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315 REQUIRED LOCATIONS CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

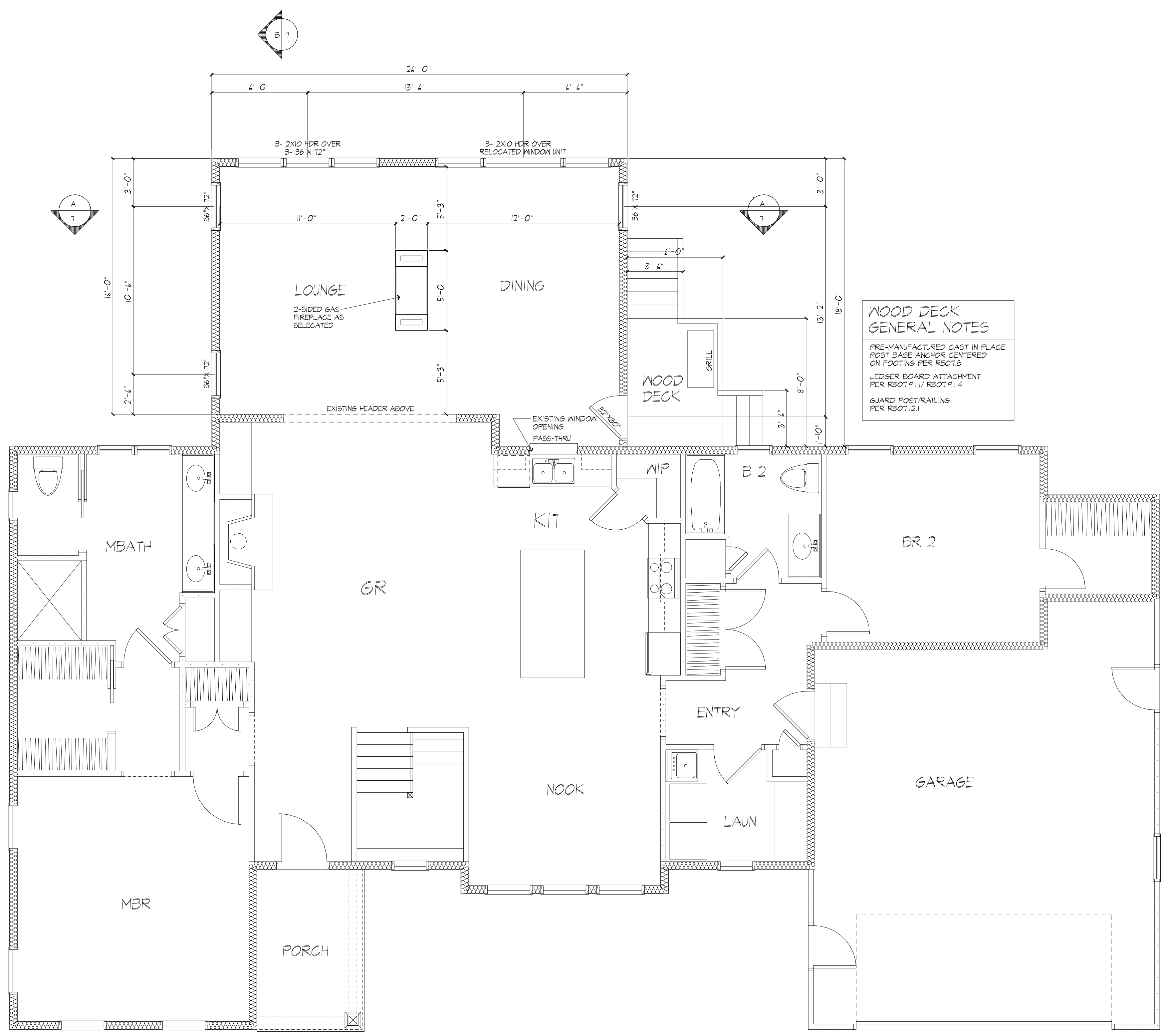
**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENING	2X6 MALL
UP TO 5'-0"	(3) 2X8
UP TO 8'-0"	(3) 2X10

PROVIDE (2) 1/2" FLY. ND. GUSSETS - 2X6 MALL  
PROVIDE (1) 1/2" FLY. ND. GUSSETS - 2X4 MALL  
GLUE AND NAIL ALL HEADERS

**WALL LEGEND**

	2X6 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.
	2X4 STUDS @ 16" O.C.



**WOOD DECK GENERAL NOTES**  
PRE-MANUFACTURED CAST IN PLACE POST BASE ANCHOR CENTERED ON FOOTING PER R507.8  
LEDGER BOARD ATTACHMENT PER R507.9.1.1/ R507.9.1.4  
GUARD POST/RAILING PER R507.12.1

**FLOOR PLAN**  
AREA: 1780 SQ FT EXISTING  
432 SQ FT ADDITION  
2212 SQ FT PROPOSED TOTAL AREA



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**PROJECT:**  
PROPOSED ADDITION  
88 JORDAN RD PITTSFORD NY

**CLIENT:**  
JUNE SCHIRMER

**DRAWING:**  
ROOF PLAN - PROPOSED

**DRAWN:**  
PAUL MORABITO

**DATE:** FEBRUARY 2024

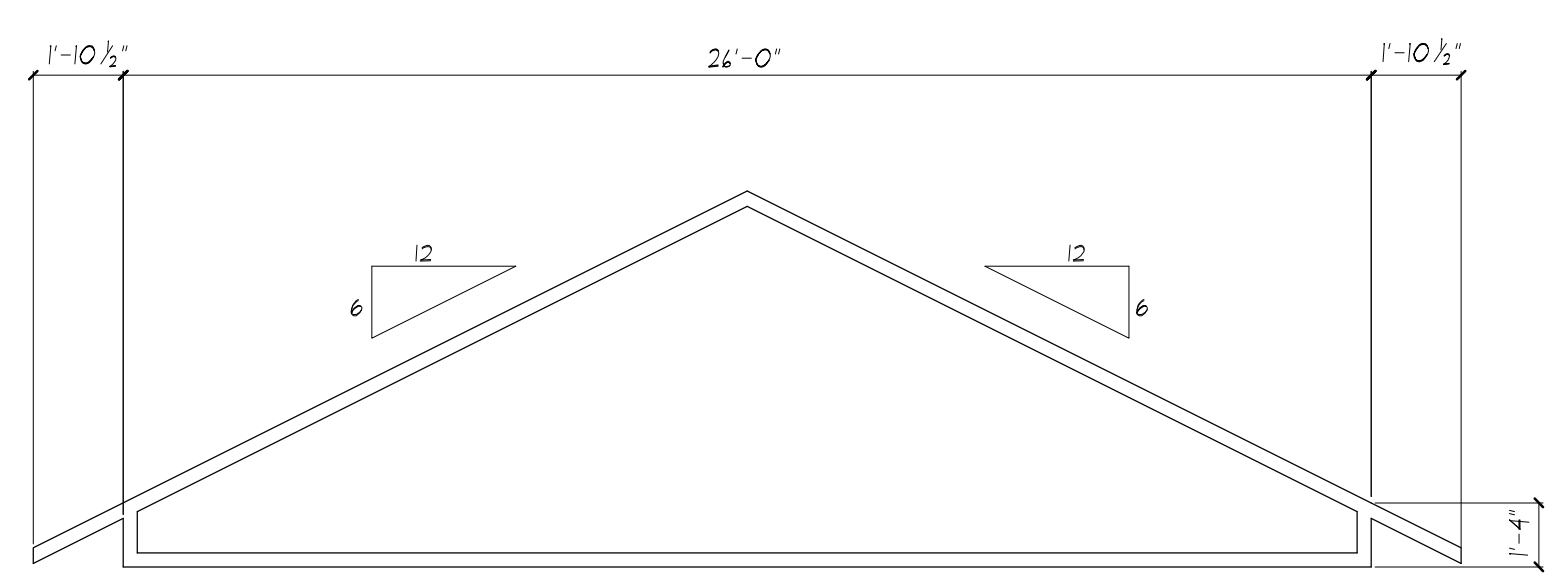
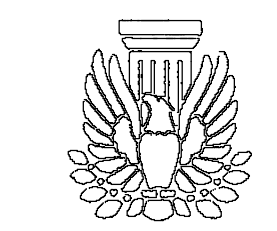
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**JOB NO.:** 23M4380

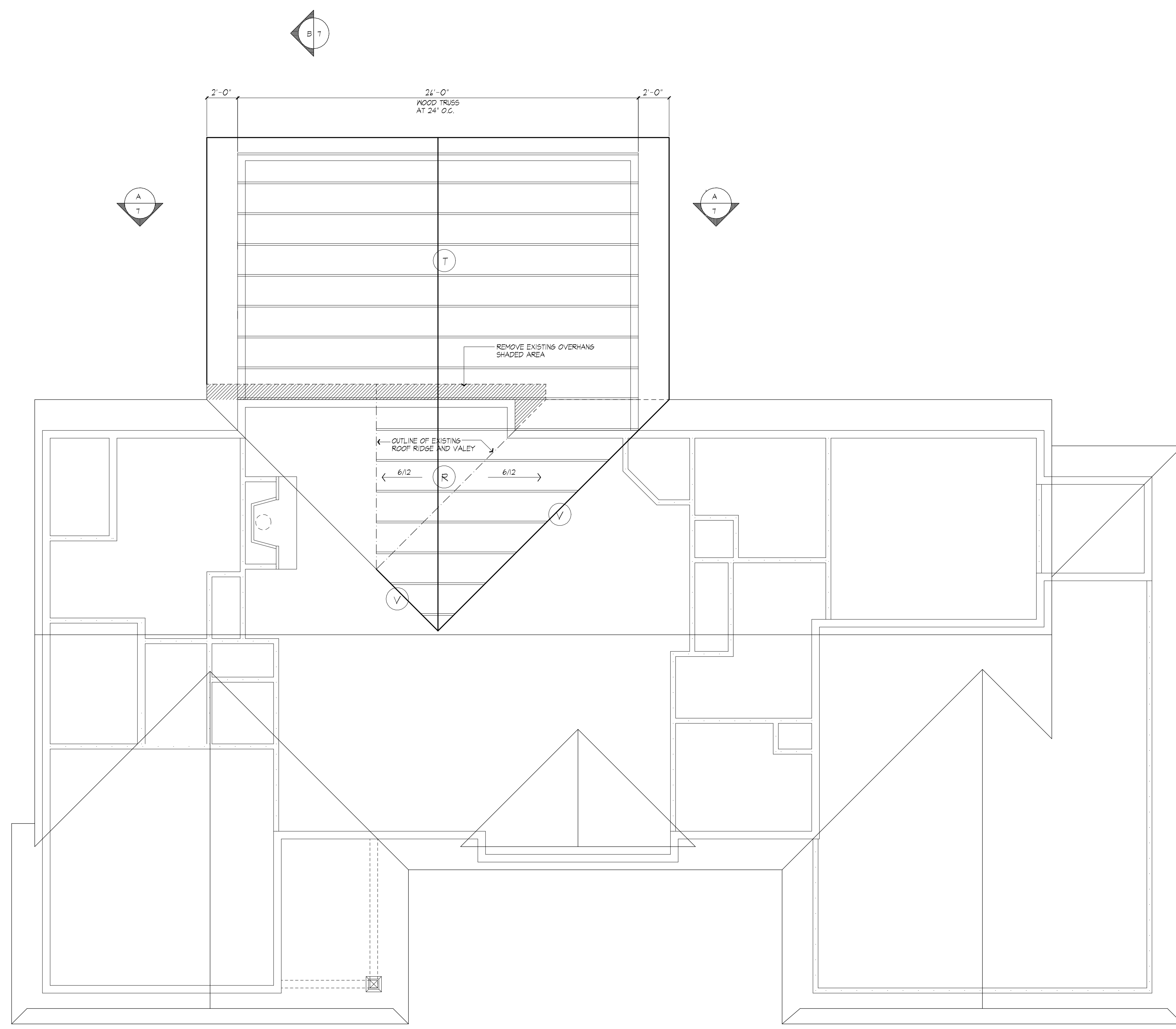
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OF 7 SHEETS

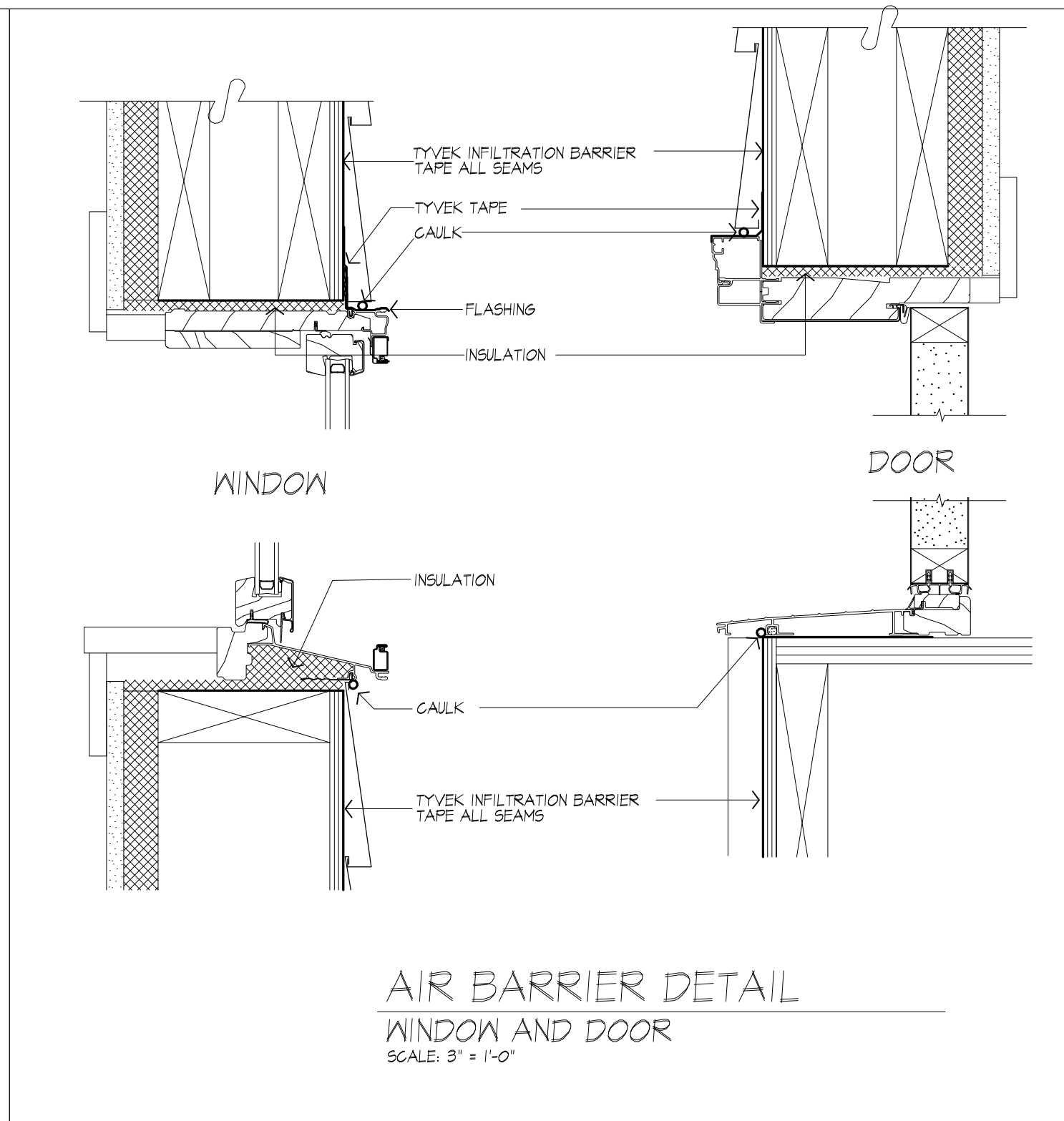
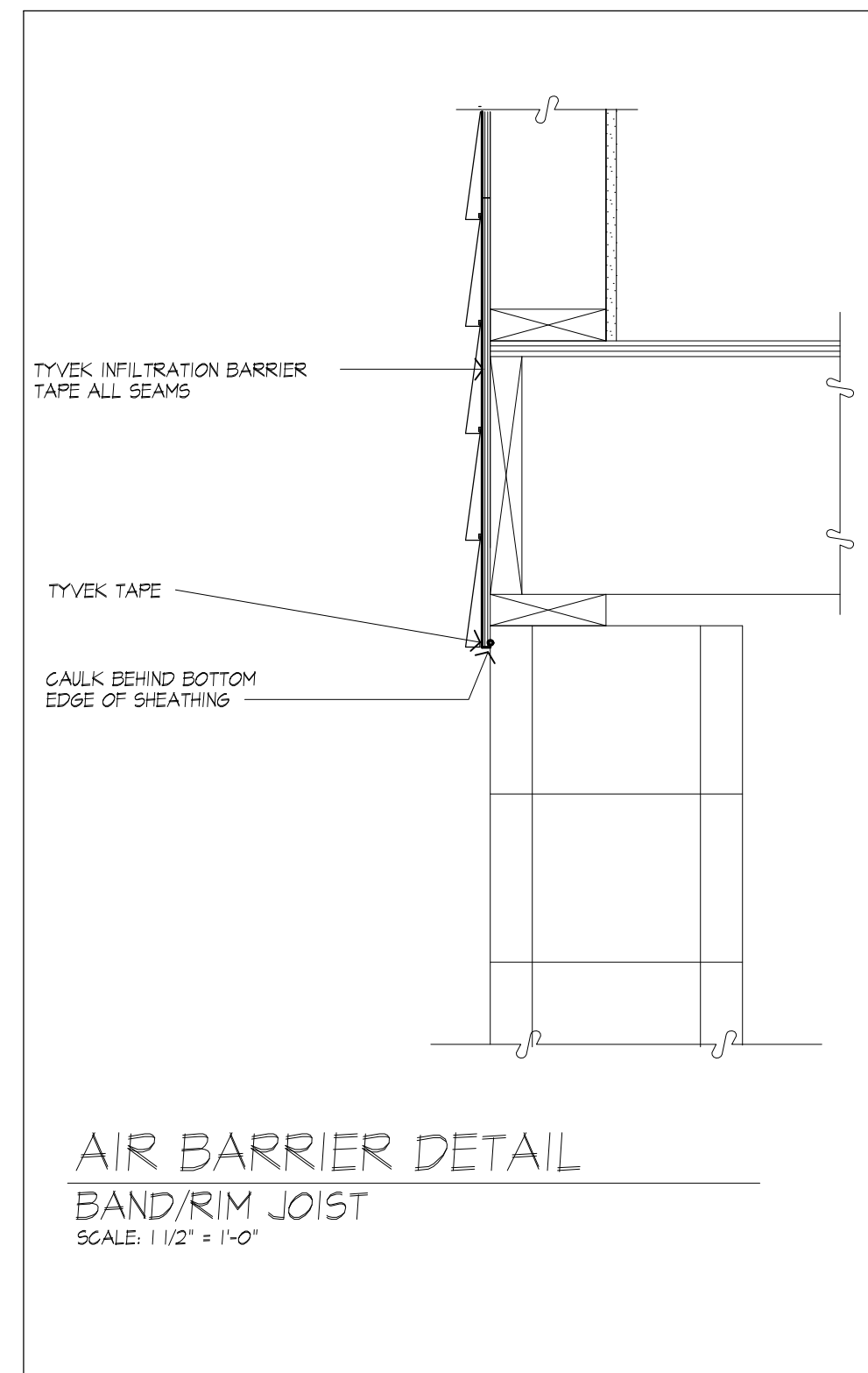


**TRUSS DIAGRAM**  
FINAL DESIGN BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.



**ROOF FRAMING PLAN**

ROOF LEGEND	
← TRUSS →	WOOD TRUSSES AT 24" O.C.
← 6/12 →	2X8 RAFTERS AT 24" O.C. 6/12 PITCH NOTED
(R)	2X12 RIDGE BOARD
(T)	TRUSS RIDGE
(V)	APPLIED VALLEY - SEE DETAIL BELOW
<p>APPLIED ROOF SCALE: 3/4" = 1'-0"</p>	
<p><b>*NOTE:</b> PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER 805.2.1 (RESIDENTIAL CODE OF NEW YORK)</p> <p>PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R801.1 LOCATION TO BE DETERMINED BY BUILDER/OWNER</p>	



**LIGHTING FIXTURE SCHEDULE**

DINING ROOM: MINIMUM (1) 120 WATT FIXTURE  
ALL OTHER FIRST FLOOR ROOMS (EACH): MINIMUM (1) 120 WATT FIXTURE

**TYPICAL NOTES**

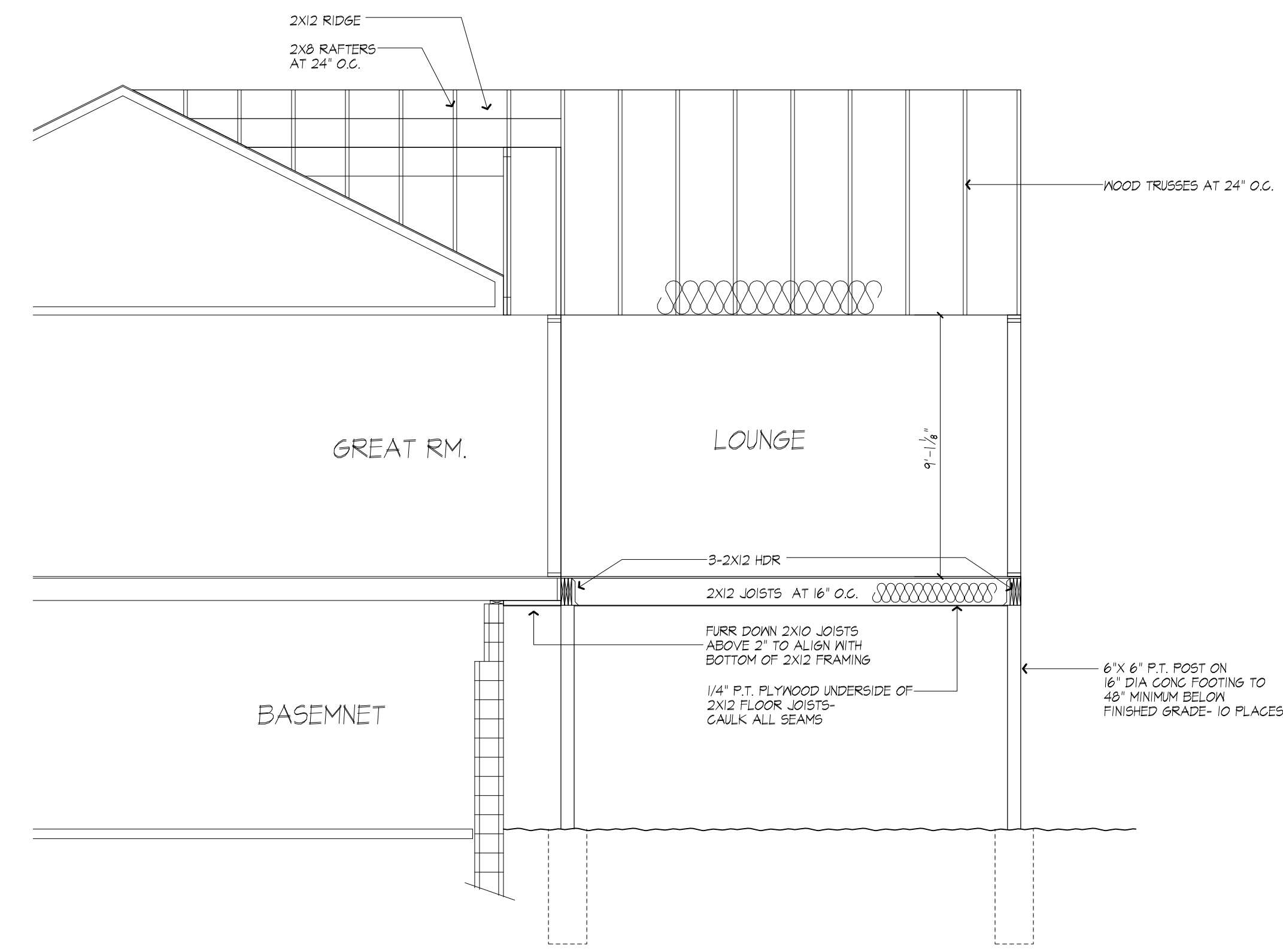
- 1) DOOR MANUFACTURER: VMD  
SLIDING: 0.10 CFM  
INSWING: HINGED 0.15 CFM  
PELLA ENTRY DOORS: 0.30 CFM OR LESS
- 2) WINDOW AIR INFILTRATION VMD  
DOUBLE HUNG: 0.30 CFM  
CASEMENT, AWNING, FIXED: 0.05 CFM
- 3) GAS FIREPLACE(S):
  - TIGHT FITTING NON-COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE.
- 4) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
- 5) CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS: RIGID POLYISOCYANURATE FOAM-FOIL BOARD  
CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS: KRAFT BATTS
- 6) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.
- 7) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- 8) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
- 9) THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 408.2.2 OF THE 2018 ENERGY CONSERVATION CODE.
- 10) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
- 11) THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS.

**UTILIZATION OF TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IN RESIDENTIAL STRUCTURES**

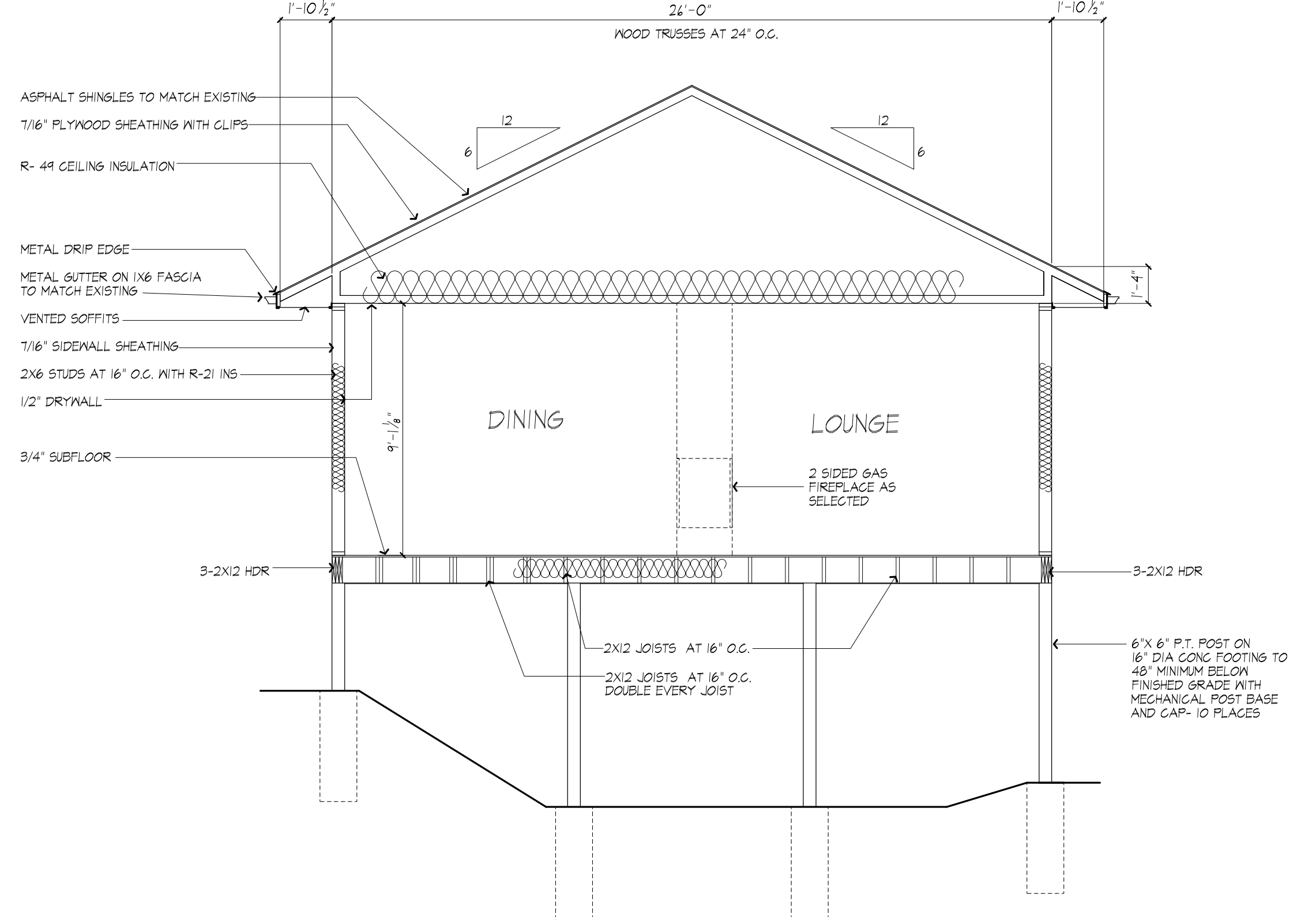
WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IS TO BE UTILIZED IN THE CONSTRUCTION OF A NEW RESIDENTIAL STRUCTURE, OR IN AN ADDITION TO OR REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, THE OWNER OF SUCH STRUCTURE, OR THE OWNERS DULY AUTHORIZED REPRESENTATIVE, SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION OF THAT FACT. SUCH NOTICE SHALL BE IN WRITING AND SHALL BE PROVIDED TO THE AUTHORITY HAVING JURISDICTION PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLETION FOR SUCH PROJECT. THE SIGN SHALL BE AFFIXED TO THE ELECTRICAL BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE. IN THE INSTANCE WHERE THE ELECTRICAL SERVICE DOES NOT ALLOW FOR THE SIGN, OR IS NOT PRESENT ON THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, THE SIGN SHALL BE LOCATED IN A PLACE THAT IS LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS. THE LOCATION SHALL BE APPROVED BY THE BUILDING INSPECTOR OR THE FIRE MARSHAL. THE MAINTENANCE OF THIS SIGN AND THE AREA ADJACENT TO IT, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. AN EXAMPLE OF THE SIGN CAN BE SEEN BELOW.

**DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS TYPE CONSTRUCTION**

12\"/>	12\"/>
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**BUILDING SECTION**  
B  
7



**BUILDING SECTION**  
A  
7

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**PROJECT:**  
PROPOSED ADDITION  
88 JORDAN RD PITTSFORD NY

**CLIENT:**  
JUNE SCHIRMER

**DRAWING:**  
BUILDING SECTIONS

**DRAWN:**  
PAUL MORABITO

**DATE:** FEBRUARY 2024

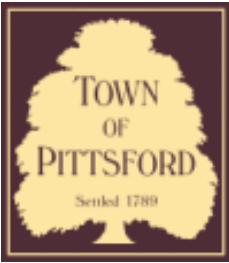
**SCALE:** 1/4"=1'-0"

**JOB NO.:** 23M4380

**SHEET:**

**7**  
OF 7 SHEETS





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B24-000023**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 25 Barrington Hills PITTSFORD, NY 14534

**Tax ID Number:** 177.08-1-11

**Zoning District:** RN Residential Neighborhood

**Owner:** Rowden, Reginald

**Applicant:** Rowden, Reginald

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for a 252-square-foot addition to the front of the home, as well as new windows and siding to the existing structure.

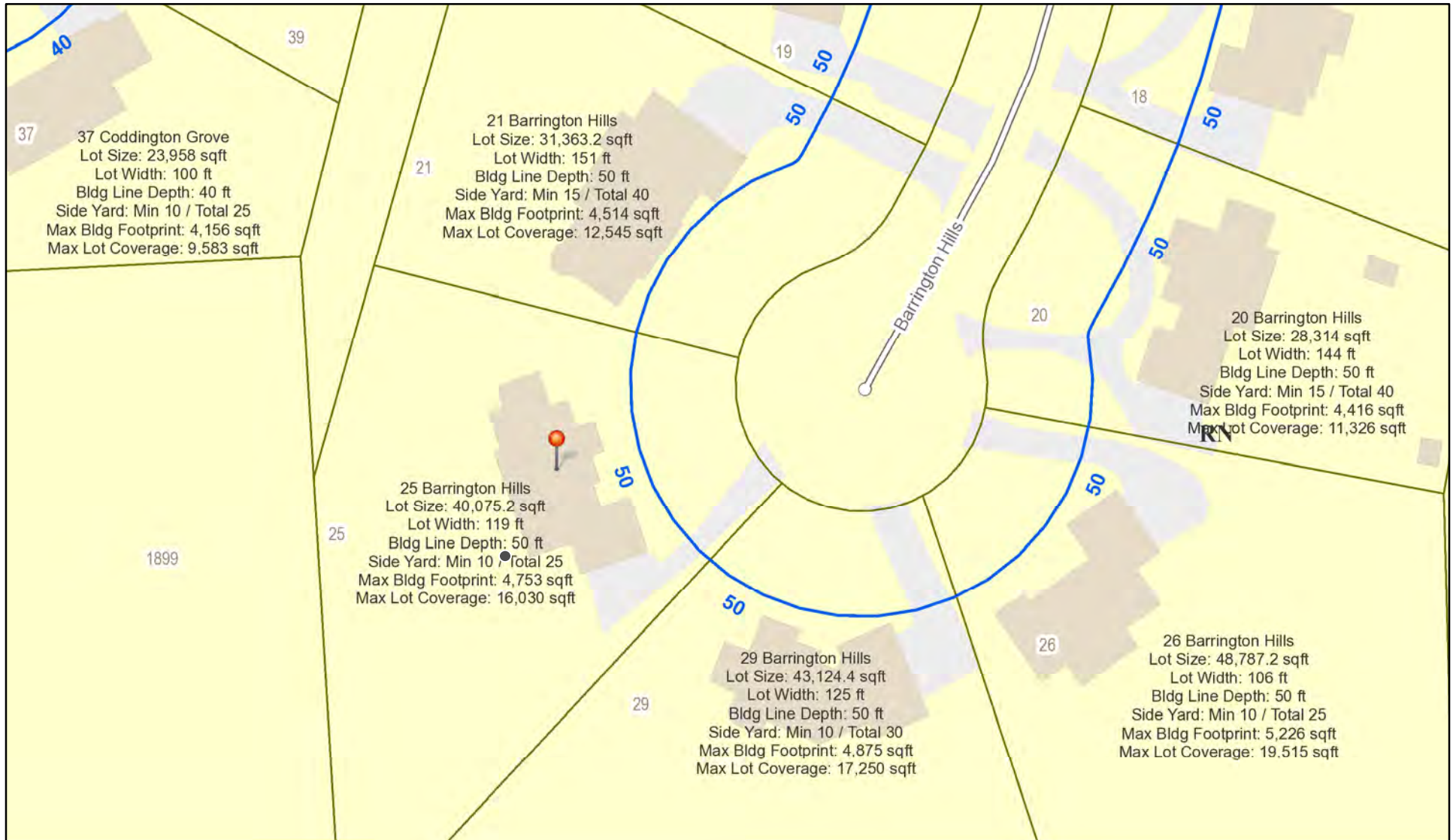
**Meeting Date:** February 29, 2024



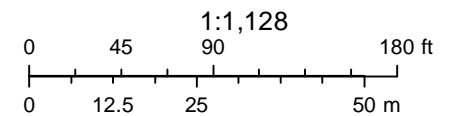
25

RECYCLING

# RN Residential Neighborhood Zoning



Printed February 20, 2024



Town of Pittsford GIS

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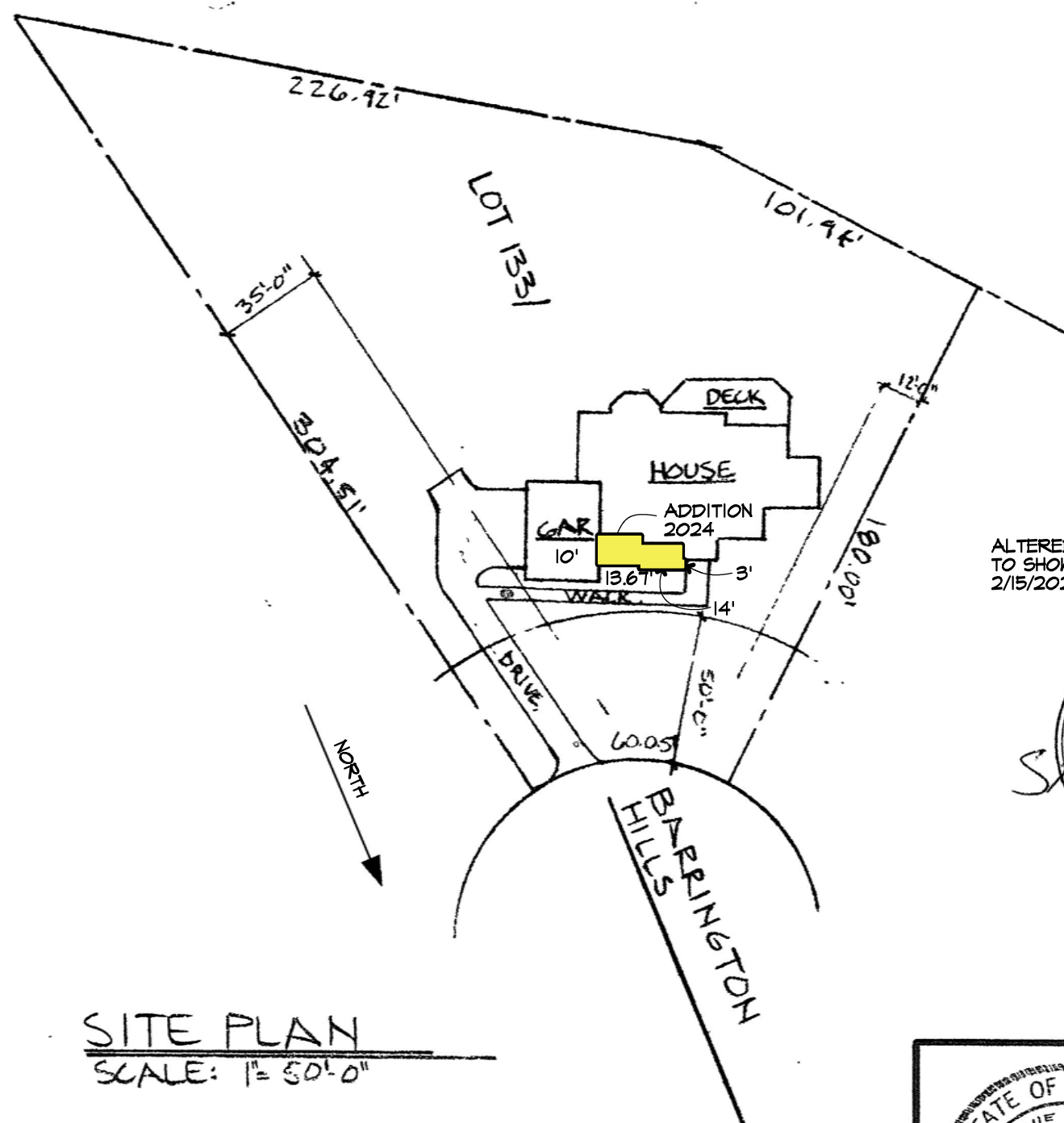


Fri Apr 14 2023

Imagery © 2024 Nearmap, HERE

20 ft

nearmap



ALTERED BY STEVEN L. CARINI, P.E.  
TO SHOW 2024 ADDITION  
2/15/2024



SITE PLAN  
SCALE: 1" = 50'-0"

- ALL INTERIOR WALLS TO BE BRICK OR CLAD
- ALL INTERIOR WALLS TO BE R.O.C. BOARD
- 12' 0" 0" LIVING ROOM
- 12' 0" 0" KITCHEN
- CARPET ALLOWANCE AS PER CONTRACT
- HARD CLAY TILE
- ONE PINE WALK AS PER CONTRACT
- KITCHEN SINK ALLOWANCE AS PER CONTRACT
- 3 CATV/3 TELEPHONE OUTLETS ALLOWED
- PREWIRE CONDUIT FOR WIRELESS SECURITY

<p>These plans were prepared under the technical supervision of a N.Y. licensed Professional Engineer and comply with the N.Y. Building Code and Energy Code</p> <p>Unauthorized alterations to these plans is a violation of the New York State Education Law, Section 7209</p> <p>Patrick J. Morabito, Designer 945 East Henrietta Road Rochester, New York 14623</p>	Project	LOT 133/ BARRINGTON HILLS MARSHALL RESIDENCE
	Client	CAROSELLI/SPALL
	Drawing	ELEVATIONS
	Drawn	MG / CHK: RHM
	Date	MAY - 27
	Scale	1/4" = 1'-0"
Sheet	1 of 7	



PROPOSED  
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



PROPOSED  
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



PROPOSED  
**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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DESIGNS, P.C.

STEVEN L. CARINI, P.E.

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These plans comply with the 2020 code.

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Revisions:

REVISED 6/23/23 - TJM

Project:

RESIDENTIAL ADDITION / REMODEL

Client:

REG & TINA RONDEN

Job Location:

25 BARRINGTON HILLS  
PITTSFORD, NEW YORK

Drawing Title:

ELEVATIONS

Drawn: TJM

Checked By:

Date: JUNE, 2023

Job No. 38752

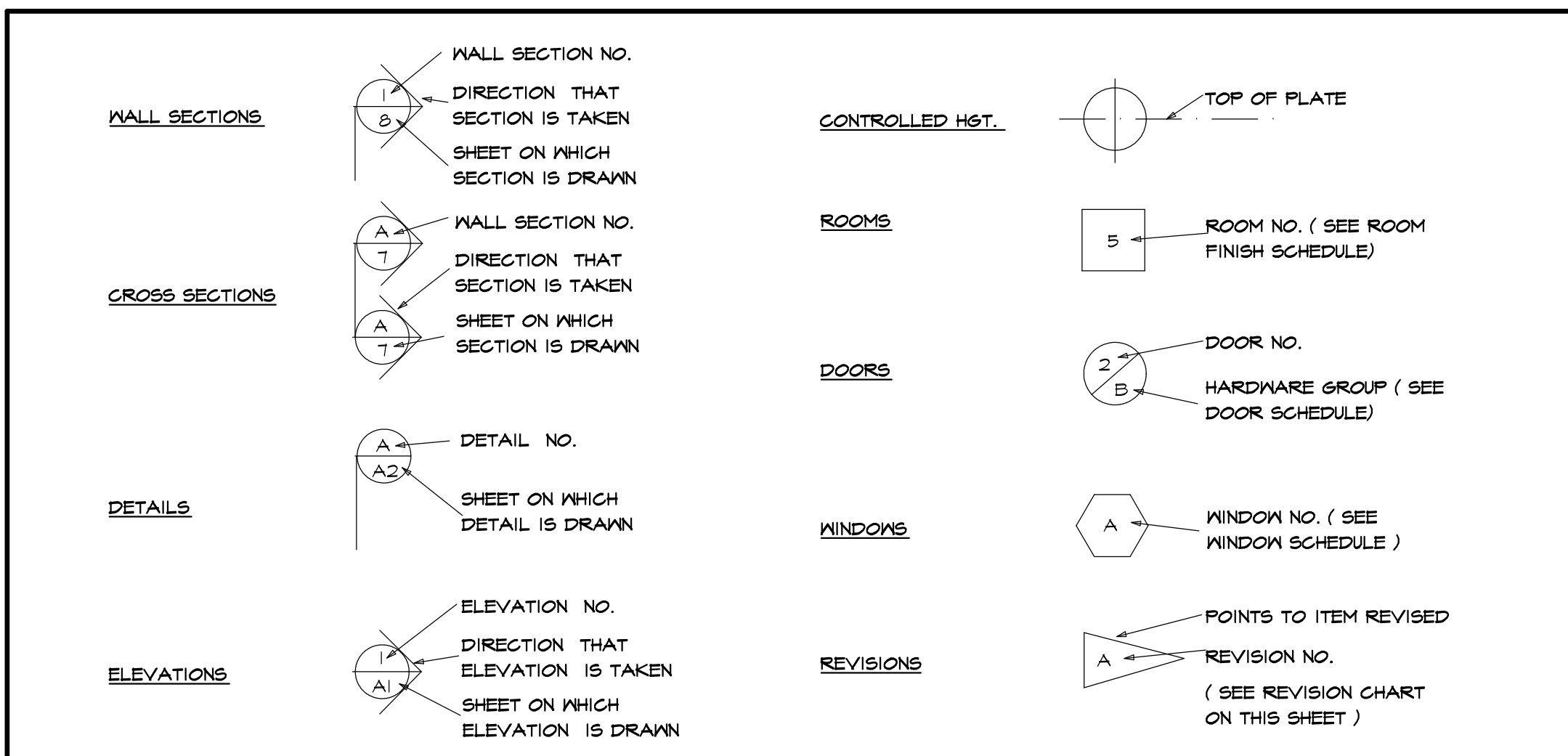
Sheet

1 of 3

**NOTES** (GENERAL NOTES TO BE APPLIED AS NEEDED TO THIS REMODELING PROJECT)

- (1) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- (2) THE 2020 CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (3) THE 2020 ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (4) BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.
- (5) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER. (MFR)
- (6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- (7) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND OTHER BUILDING SYSTEMS IF ANY, ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.
- (8) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.
- (9) ALLOWABLE STRESSES OF MATERIALS: (A.S.D. THEORY AND METHODS HAVE BEEN USED IN THE STRUCTURAL DESIGN OF THE MASONRY STEEL AND WOOD FRAMING OF THIS BUILDING.) (THE WEATHERING POTENTIAL FOR CONCRETE IS ASSUMED TO BE SEVERE. SEE FIGURE R301.2(4))
  - A) CONCRETE (R402.2) - MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI =
    - FOOTINGS: 2500 PSI
    - BASEMENT SLAB: 2500 PSI (W/ FIBER REIN. ADDITIVE, OPTIONAL)
    - GARAGE & PORCH SLABS: 3500 PSI (AIR-ENTRAINED)
    - BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED WHERE EXPOSED TO WEATHER)
 FOUNDED CONC. SHALL BE PROTECTED FROM FREEZE/THAW DURING CONSTRUCTION, OR AIR ENTRAINED CONC. MUST BE USED. (TABLE R402.2, NOTE 2.)
  - B) STRUCTURAL STEEL TO BE ASTM - A36
  - C) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (F<sub>b</sub>) WITH REPETITIVE MEMBER USE OF 1150 P.S.I. (HEM FIR #2 OR BETTER).
- (10) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT, DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R1001-R1066 AS APPLICABLE.
- (11) SETTING THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R403.1.1.3 OF THE CODE.
- (12) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS. (SEE SECTION R314.)
- (13) SLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE 2020 CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R 308.6. DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELIGHTS (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS).
- (14) DESIGN CRITERIA:
  - A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
  - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
  - C) GROUND SNOW LOAD = 40 PSF (FIG R301.2(6))
  - D) WIND SPEED - 115 MPH ULTIMATE, 84 MPH ASD, EXP. B WIND SPEED CONVERSION PER TABLE R301.2(1.3)
  - E) SEISMIC DESIGN CATEGORY - A OR B - R301.2(2)
  - F) WEATHERING - SEVERE
  - G) FROST LINE DEPTH - 42"
  - H) TERMITES DAMAGE - CONTACT LOCAL JURISDICTION
  - I) DECAY DAMAGE - NONE TO SLIGHT
  - J) WINTER DESIGN TEMPERATURE - (-1) DEGREE
  - K) ICE BARRIER IS REQUIRED
  - L) ROOF TIE-DOWN REQUIREMENTS - R302.11 (BASED UPON SPECIFIC ROOF DESIGN)
  - M) ENERGY COMPLIANCE DETAILS AND PATH - N101.1.3
- (15) FOOTINGS TO BEAR ON FIRM, LEVEL, UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL.
- (16) DRAWING ALTERATION: THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 145, SECTION 1204 AND APPLIES TO THESE DRAWINGS. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."
- (17) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M107 OF THE CODE.
- (18) "CODE" SHALL MEAN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, "ENERGY CONSERVATION CODE" OR "ENERGY CODE" SHALL MEAN CHAPTER II OF THE CODE.
- (19) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.

**SYMBOLS**



**ABBREVIATIONS**

APPROX	-APPROXIMATE	FT (')	-FOOT	OPNG	-OPENING
#	-AND	FTS	-FOOTING	O/A	-OVERALL
@	-AT	FDN	-FOUNDATION	O/H.D	-OVERHEAD DOOR
BM	-BEAM	GYP	-GYPSUM	O/H HANG	-OVERHANG
BLK	-BLOCK	HND/CP	-HANDICAP	O/	-OVER
BD	-BOARD	HST	-HEIGHT	OPT	-OPTIONAL
BLDG	-BUILDING	HM	-HOT WATER	P.D.R	-POUNDER ROOM
BTR	-BETTER	HP	-HEADER	PSF	-POUNDS PER SQ. FT.
CLS	-CELLING	IN (")	-INCH	PSI	-POUNDS PER SQ. IN.
CL	-CENTERLINE	INCL	-INCLUDE	P.T.	-PRESSURE TREATED
COL	-COLUMN	INFO	-INFORMATION	PLYWD	-PLYWOOD TREATED
CONC	-CONCRETE	ID	-INSIDE DIAMETER	REQ'D	-REQUIRED
CONT	-CONTINUOUS	INSUL	-INSULATION	RM	-ROOM
COMM	-COMMERCIAL	INT	-INTERIOR	RES	-RESIDENTIAL
CRS	-COURSES	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	RISERS	-RISERS
DL	-DEAD LOAD	JECC	-INTERNATIONAL ENERGY CONSERVATION CODE	RD & SH	-ROD & SHELF
DIA	-DIAMETER	JT	-JOINT	S	-SOUTH
DBL	-DOUBLE	JSTS	-JOISTS	SKYLT	-SKYLIGHT
DN	-DOWN	LT	-LIGHT	SH	-SHELF
DWG	-DRAWING	LL	-LIVE LOAD	SH'S	-SHELVES
DIM	-DIMENSION	MFR	-MANUFACTURER	STOR	-STORAGE
ELEC	-ELECTRIC	MAX	-MAXIMUM	STL	-STEEL
EXP	-EXPANSION	MECH	-MECHANICAL	SUSP	-SUSPENDED
EXT	-EXTERIOR	MTL	-METAL	SYN	-SYNTHETIC
FT (')	-FEET	MIN	-MINIMUM	TS	-TREADS
FIN	-FINISH	MISC	-MISCELLANEOUS	(TYP)	-TYPICAL
FLR	-FLOOR	N	-NORTH	T&G	-TONGUE & GROOVE
1ST	-FIRST	NTS	-NOT TO SCALE	W/	-WITH
FLUOR	-FLUORESCENT	NO	-NUMBER	W/O	-WITHOUT

- ENERGY CONSERVATION, CHAPTER II, ENERGY EFFICIENCY**
1. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION N101.4
  2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION N102.4.5
  3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION N103.1.1
  4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION N103.3.2
  5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-3. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION N103.5
  6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION N102.2.4
  7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND CRITERIA LISTED IN SECTIONS N102.4.1 THROUGH N102.4.6.
  8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR, CONDUCT TEST ACCORDING TO ASTM E114 OR ASTM E1827 OR NET/ICC 380 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. COMPLY WITH N102.4.1.2.
  9. THE CONTRACTORS AND SUB-CONTRACTORS SHALL BE FAMILIAR WITH THE ENERGY CODE AND EXPERIENCED IN PERFORMING WORK THAT COMPLIES WITH ALL ASPECTS OF THE ENERGY CODE. THESE NOTES ARE NOT INTENDED TO BE ALL INCLUSIVE.

**TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.	
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC 400.

**ENERGY CODE COMPLIANCE PATH:**  
 SEE ATTACHED RES CHECK COMPLIANCE CERTIFICATE

**GENERAL NOTES**

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES WHICH PERTAIN TO THE CONSTRUCTION OF THIS STRUCTURE
- CONTRACTOR SHALL VERIFY EXISTING STRUCTURAL CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION AND / OR CONSTRUCTION
- CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACINGS, TEMPORARY FRAMING SUPPORTS (SHORING), AND UNDERPINNINGS OF EXISTING STRUCTURE AS REQUIRED
- CONTRACTOR SHALL CO-ORDINATE THE INSTALLATION OF NEW AND / OR USE OF RELOCATED DOORS, AND WINDOWS WITH HOMEOWNER
- CONTRACTOR SHALL (WHERE POSSIBLE) MATCH PLATE HEIGHTS, SUBFLOORS, AND WINDOW ROUGH OPENING HEIGHTS TO MAINTAIN CONTINUITY
- WHERE POSSIBLE - MATCH CONCRETE BLOCK COURSES AT NEW AND EXISTING FOUNDATION WALLS
- MINIMUM GRADE COVER AT ALL CONCRETE FOOTINGS SHALL BE 3'-6"
- INFILL EXISTING EXPOSED EXTERIOR FRAMING CAVITIES FULL WITH INSULATION
- CONTRACTOR NOTE: IF EXISTING CONDITIONS DIFFER FROM PLANS CONTRACTOR IS TO CONTACT CARINI ENGINEERING DESIGNS, P.C.
- PLAN REFERENCE: MORABITO PATRICK J MORABITO DESIGNER PLAN # R-462, DATE: MAY-07

**CARINI ENGINEERING DESIGNS, P.C.**  
 STEVEN L. CARINI, P.E.  
 1387 FAIRPORT ROAD SUITE #660 FAIRPORT, NY 14450-2002  
 PH. (585) 223-6420  
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**Also doing business as DWELL @theFingerLakes**  
 LIVE WELL. DO WELL.  
 61 NORTH MAIN STREET CANANDAIGUA, NY 14424  
 PH. 585-223-6422

**ADDITION**  
 25 BARRINGTON HILLS, PITTSFORD, NEW YORK  
**REG & TINA ROWDEN, HOMEOWNERS**

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**Revisions:**  
 ISSUED FOR TOWN REVIEW 02/15/24

**Client:**  
 REG & TINA ROWDEN

**Job Location:**  
 25 BARRINGTON HILLS PITTSFORD, NEW YORK

**Drawing Title:**  
 COVER SHEET & NOTES

**Drawn:** SMK **Checked By:** SLC

**Date:** FEBRUARY, 2024

**Job No.:** 38752

**Sheet:** 1 of 6



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These plans comply with the 2020 code.

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Revisions:  
ISSUED FOR TOWN REVIEW  
02/15/24

Project:  
RESIDENTIAL ADDITION / REMODEL

Client:  
REG & TINA ROYDEN

Job Location:  
25 BARRINGTON HILLS  
PITTSFORD, NEW YORK

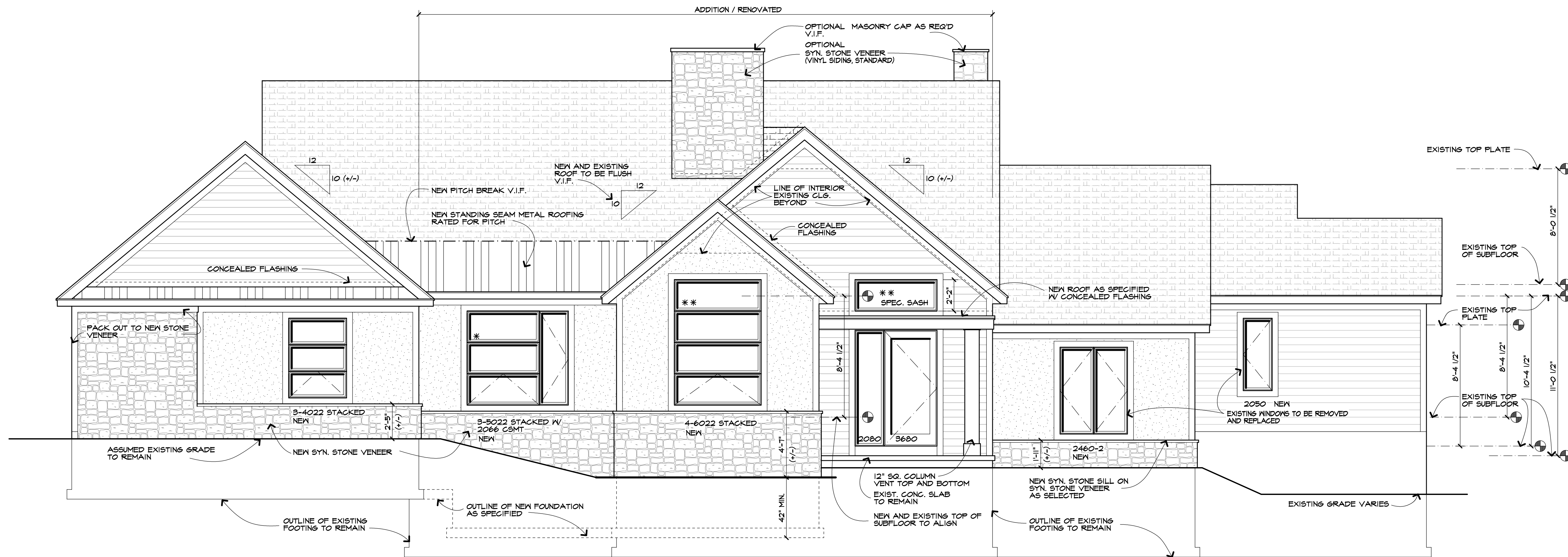
Drawing Title:  
ELEVATIONS

Drawn: SMK Checked By: SLG

Date: FEBRUARY, 2024

Job No: 38752

Sheet: 2 of 6



ADDITION / RENOVATED  
**FRONT ELEVATION**

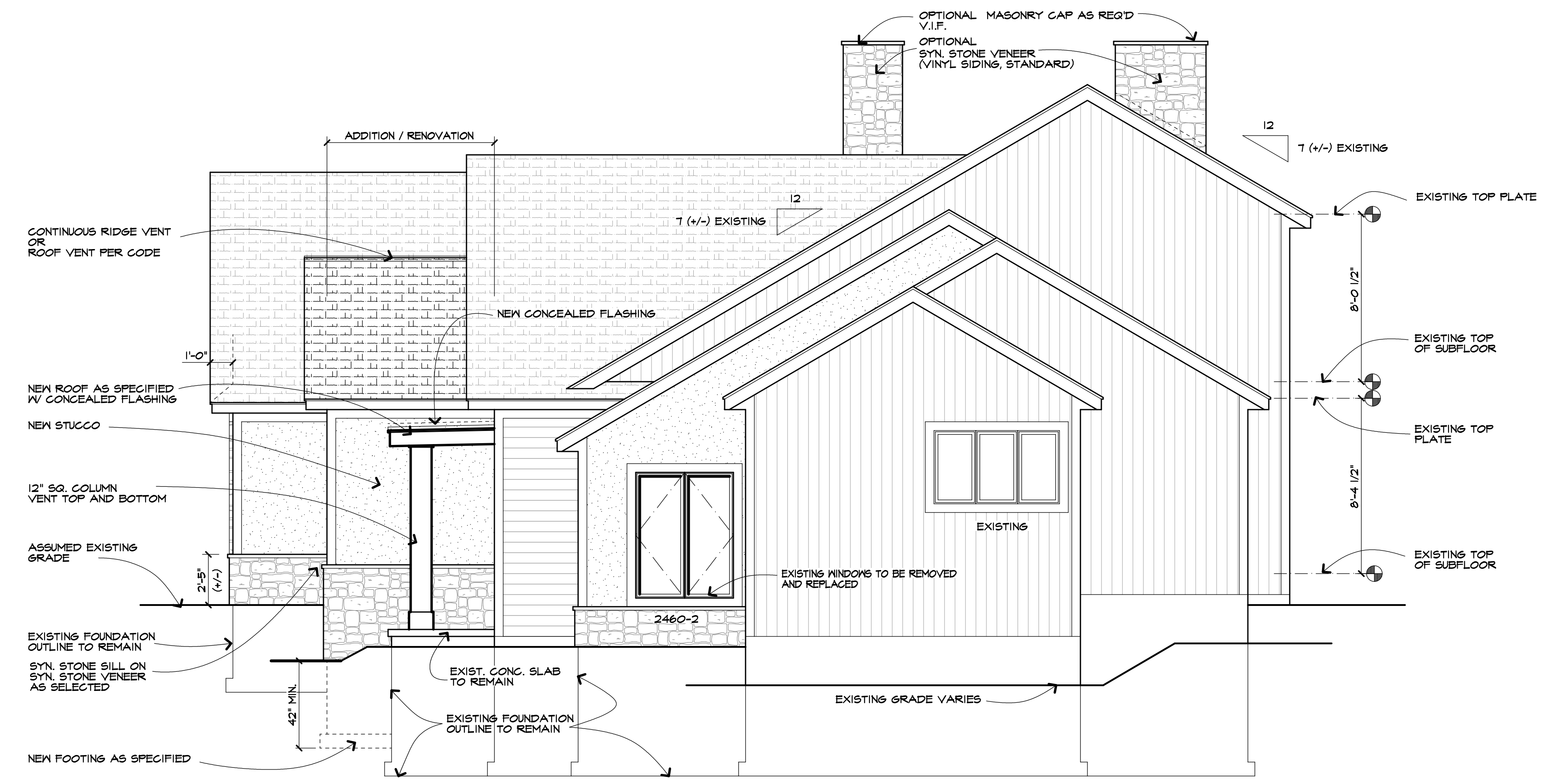
SCALE: 1/4" = 1'-0"

- (\*) DENOTES WINDOW ROUGH OPENING HEIGHT AT 7'-4 1/4" ABOVE SUBFLOOR
- (\*\*) DENOTES WINDOW ROUGH OPENING HEIGHT AT 9'-6 1/4" ABOVE SUBFLOOR

**UNLESS OTHERWISE NOTED**

ROOFING:	ASPHALT / FIBERGLASS SHINGLES AS SELTD
ROOF VENTING:	ONE SQ.FT NET PER 300 SQ. FT. ATTIC SPACE (PER EXCEPTION IN R006.2 OF THE CODE)
FACIA:	ALUM WRAP 2X6
FRIEZEBOARDS:	6"
CORNERBOARDS:	6"
CASINGS:	6"
SIDING:	VINYL AS SELTD & "STUCCO / DRYVIT" AS SELECTED INSTALL PER MFR SPEC'S MATCH COLOR AND TEXTURE OF EXISTING STUCCO
EAVE O/HANGS:	1'-0"
RAKE O/HANGS:	1'-0"
FOOTING DEPTH:	3'-6" BELOW GRADE
PLATE HEIGHT:	FIRST FLOOR: 8'-4 1/2" (+/-) VARIES SECOND FLOOR: 8'-0 1/2" (+/-) VARIES
WINDOW R.O. HEIGHT:	FIRST FLOOR: 6'-10 1/2" SECOND FLOOR: 6'-10 1/2"
WINDOW MFR:	"MARVIN" MODERN LOW E

NOTE:  
INSTALL SYNTHETIC STONE VENEER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PRODUCT LITERATURE.



ADDITION / RENOVATED  
**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"







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Revisions:  
ISSUED FOR TOWN REVIEW  
02/15/24

Project:

RESIDENTIAL ADDITION / REMODEL

Client:

REG & TINA ROYDEN

Job Location:

25 BARRINGTON HILLS  
PITTSFORD, NEW YORK

Drawing Title:

FIRST FLOOR PLAN

Drawn By:

SMK

Date:

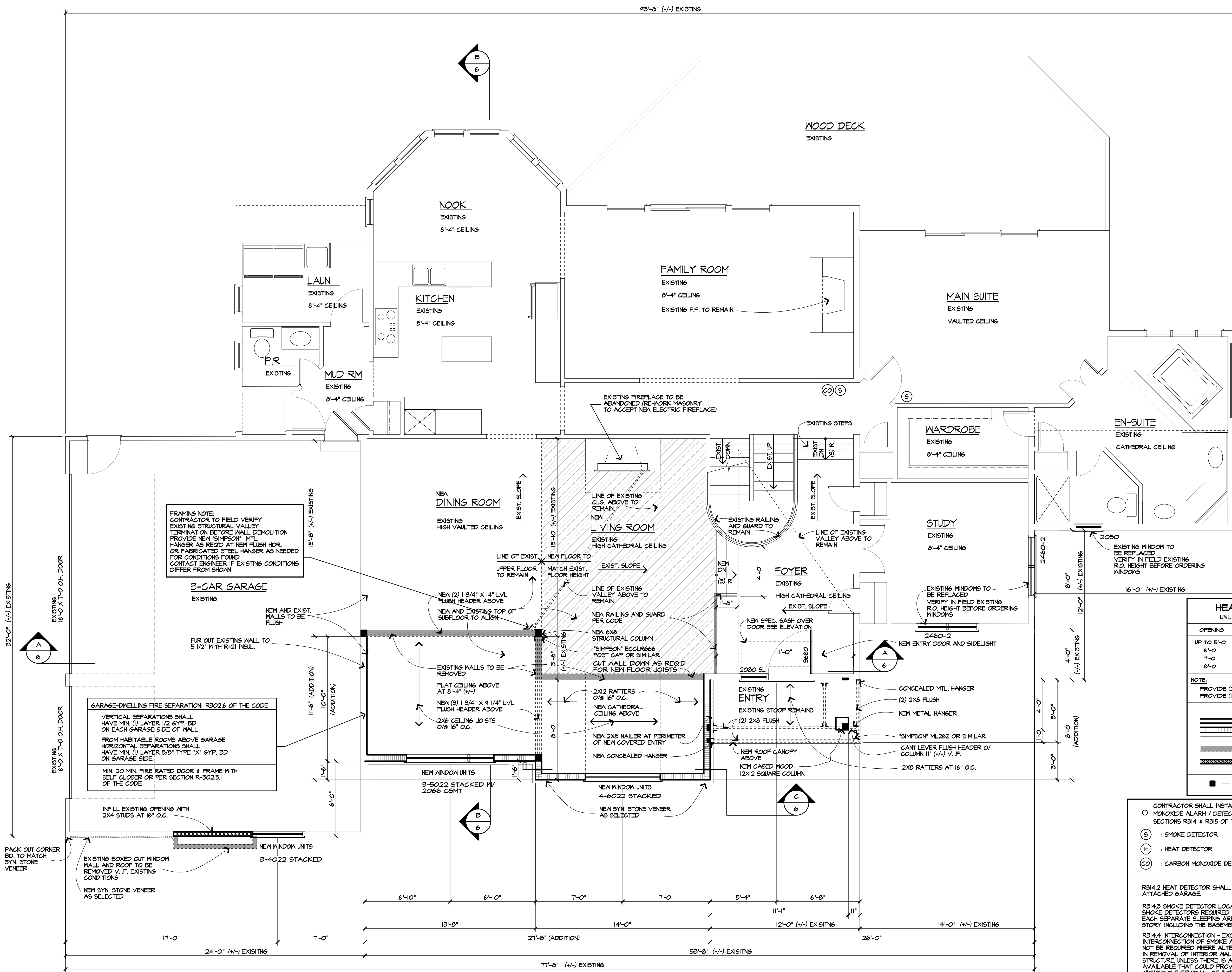
FEBRUARY, 2024

Job No.:

38752

Sheet:

4 of 6



- UNLESS OTHERWISE NOTED ON PLAN, FIRST FLOOR PLATE HEIGHT SHALL BE 8'-4 1/2" (+/-) ABOVE TOP OF SUBFLOOR, V.I.F.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER
- CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES
- ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DURAPLY (OR EQUAL) FINISH AT UNDERSIDE, FULL DEPTH RIM JOIST, AND SOLID BLOCKING AT SUPPORT WALL.
- INSTALL MID-SPAN CROSS BRIDGING AT FLOOR JOIST SPANS UP TO 14'-0" & INSTALL CROSS BRIDGING AT 1/3 POINTS FOR SPANS OVER 14'-0"
- INSTALL HANDRAIL & GUARDS AT STAIR PER SECTIONS R311.7.8-R311.2.2 AND R-312 OF THE CODE
- LVL AND TJI PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2,000,000)
- 8 1/4" MAX STEP AT EGRESS DOOR(S) ON THE EXTERIOR SIDE FROM THE THRESHOLD TO THE LANDING OR FLOOR PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR PER EXCEPTION SECTION R311.3.1 OF THE CODE & 7 3/4" MAX STEP FROM THRESHOLD TO THE LANDING OR FLOOR ON ALL OTHER EXTERIOR DOORS PER SECTION R311.3.2 OF THE CODE
- PER R312 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2. WINDOW MANUFACTURER/SUPPLIER & CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMITY

**GARAGE-DWELLING FIRE SEPARATION: R302.6 OF THE CODE**

VERTICAL SEPARATIONS SHALL HAVE MIN. (1) LAYER 1/2 GYP. BD ON EACH GARAGE SIDE OF WALL

HORIZONTAL SEPARATIONS SHALL HAVE MIN. (1) LAYER 5/8" TYPE 'X' GYP. BD ON GARAGE SIDE.

MIN. 20 MIN. FIRE RATED DOOR & FRAME WITH SELF CLOSER OR PER SECTION R-302.5.1 OF THE CODE

**FRAMING NOTE:**  
CONTRACTOR TO FIELD VERIFY EXISTING STRUCTURAL VALLEY TERMINATION BEFORE WALL DEMOLITION PROVIDE NEW "SIMPSON" MTL HANGER AS REQ'D AT NEW FLUSH HDR OR FABRICATED STEEL HANGER AS NEEDED FOR CONDITIONS FOUND CONTACT ENGINEER IF EXISTING CONDITIONS DIFFER FROM SHOWN

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED

OPENINGS	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X6	(2) 2X4
6'-0"	(2) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

**NOTE:**  
PROVIDE (2) 1/2" FLYING GUSSETS - 2X6 WALL  
PROVIDE (1) 1/2" FLYING GUSSET-2X4 WALL

**WALL LEGEND**

- 2X4 STUDS AT 16" O.C.
- 2X6 STUDS AT 16" O.C.
- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO BE REMOVED
- INFILL TO MATCH EXISTING ADJACENT ASSEMBLY
- PROVIDE (3) STUDS SOLID WHERE SHOWN

- CONTRACTOR SHALL INSTALL SMOKE, HEAT & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 915 OF THE FIRE CODE.
- (S) : SMOKE DETECTOR
- (H) : HEAT DETECTOR
- (CO) : CARBON MONOXIDE DETECTOR

R314.2 HEAT DETECTOR SHALL BE LOCATED CENTRALLY IN THE ATTACHED GARAGE.

R314.3 SMOKE DETECTOR LOCATION  
SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

R314.4 INTERCONNECTION - EXCEPTION:  
INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES

R315.3 CARBON MONOXIDE ALARM LOCATIONS  
OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM

R315.4 & R315.6.4 COMBINATION ALARMS, COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
ADDITION AREA = 252 SQ. FEET

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The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to the office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.

These plans comply with the 2020 code.

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Revisions:  
ISSUED FOR TOWN REVIEW  
02/15/24

Project:  
RESIDENTIAL ADDITION / REMODEL

Client:  
REG & TINA ROYDEN

Job Location:  
25 BARRINGTON HILLS  
PITTSFORD, NEW YORK

Drawing Title:  
SECOND FLOOR PLAN

Drawn: SMK  
Checked By: SLG

Date: FEBRUARY, 2024

Job No.: 38752

Sheet:  
5 of 6

CONTRACTOR SHALL INSTALL SMOKE, CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 915 OF THE FIRE CODE.

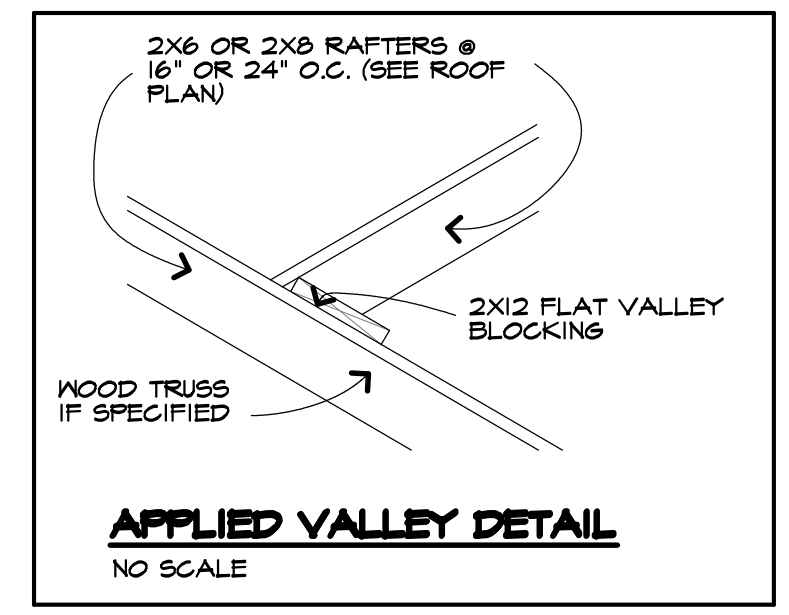
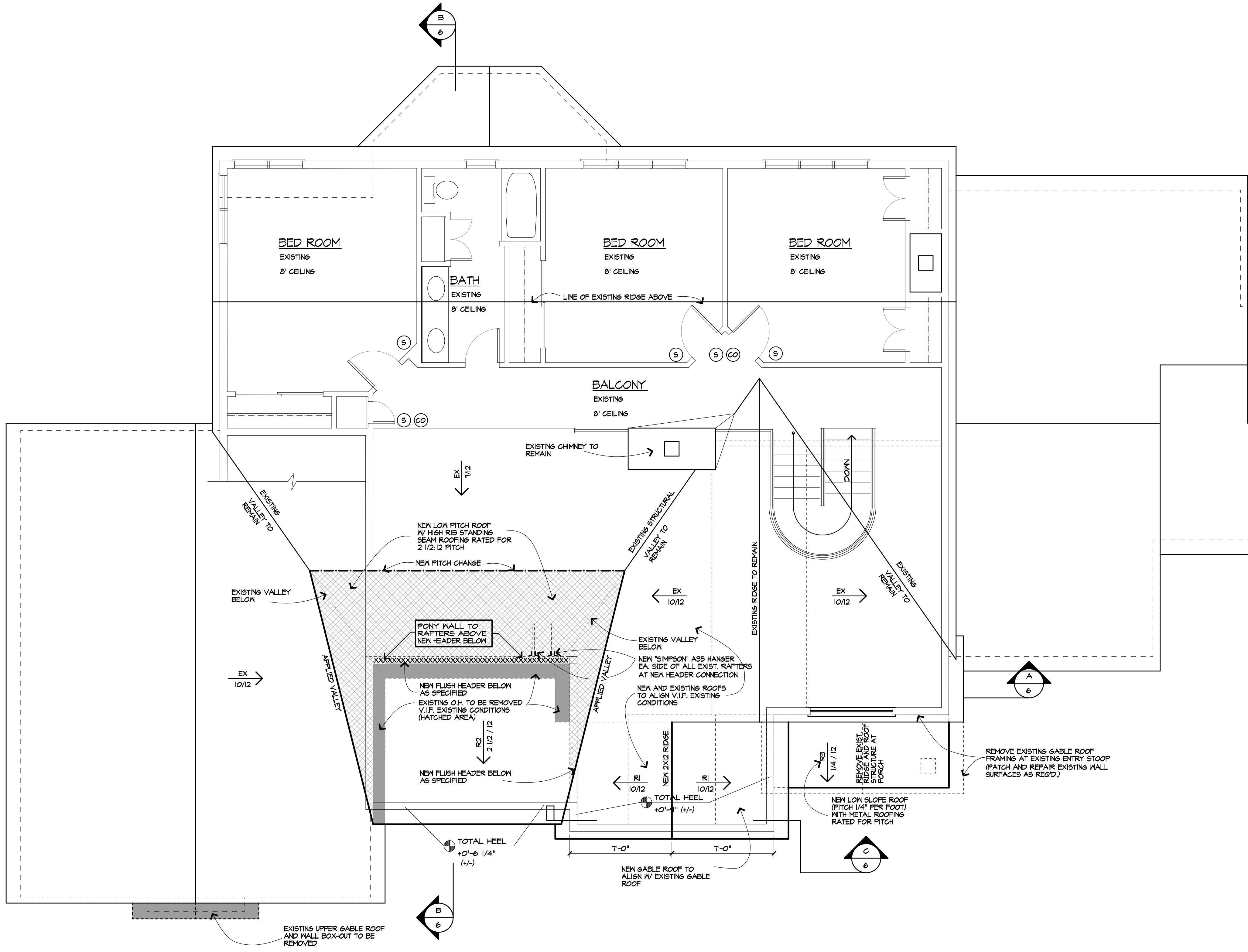
(S) : SMOKE DETECTOR  
(CO) : CARBON MONOXIDE DETECTOR

R314.3 SMOKE DETECTOR LOCATION  
SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

R314.4 INTERCONNECTION - EXCEPTION:  
INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES

R315.3 CARBON MONOXIDE ALARM LOCATIONS  
OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM

R315.4 & 315.6.4 COMBINATION ALARMS; COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.



**UNLESS NOTED OTHERWISE**

— R1 —> 2X12 RAFTERS @ 16" O.C. WITH PITCH NOTED  
— R2 —> 2X8 RAFTERS @ 16" O.C. WITH PITCH NOTED  
— R3 —> 2X6 RAFTERS @ 16" O.C. WITH PITCH NOTED  
— EX —> EXISTING RAFTERS WITH PITCH NOTED

EAVE OVERHANGS SHALL BE 1'-0"  
RAKE OVERHANGS SHALL BE 1'-0"

TRUSS LAYOUT, DESIGN, AND ENGINEERING TO BE PROVIDED BY TRUSS MFR

WOOD TRUSSES SHALL CONFORM TO R802.10 OF THE CODE

INSTALL ICE BARRIER ON ROOF TO COMPLY WITH SECTION R905.1.2 OF THE CODE

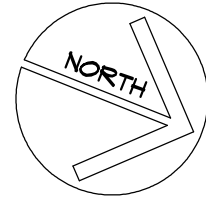
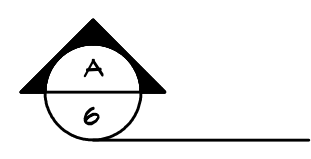
UNLESS OTHERWISE NOTED ON PLAN, EXISTING

- SECOND FLOOR PLATE HEIGHT AT 8'-0 1/2" (±) ABOVE TOP OF SUBFLOOR.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER
- CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES
- LVL AND TJI PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2,000,000)

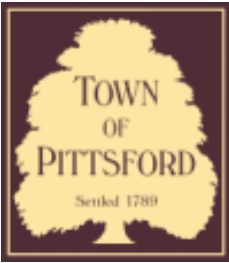
ADDITION ROOF FRAMING AND EXISING ROOF AND

**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B24-000024**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 11 Smead Road PITTSFORD, NY 14534

**Tax ID Number:** 150.20-2-59

**Zoning District:** RN Residential Neighborhood

**Owner:** Goforth, Gregory L

**Applicant:** Goforth, Gregory L

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant is requesting design review for a 126-square-foot addition to the rear of the home, as well as new windows, doors, and siding to the existing structure.

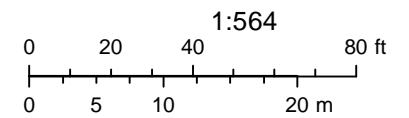
**Meeting Date:** February 29, 2024



# RN Residential Neighborhood Zoning



Printed February 21, 2024



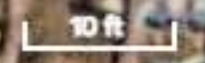
Town of Pittsford GIS

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Fri Apr 14 2023

Imagery © 2024 Nearmap, HERE



nearmap





1 | SITE PLAN - NEW (DR)  
1/16" = 1'-0"

11KGS

11 Smead Rd  
Pittsford, NY 14534

DRAWN BY: BuildHappy

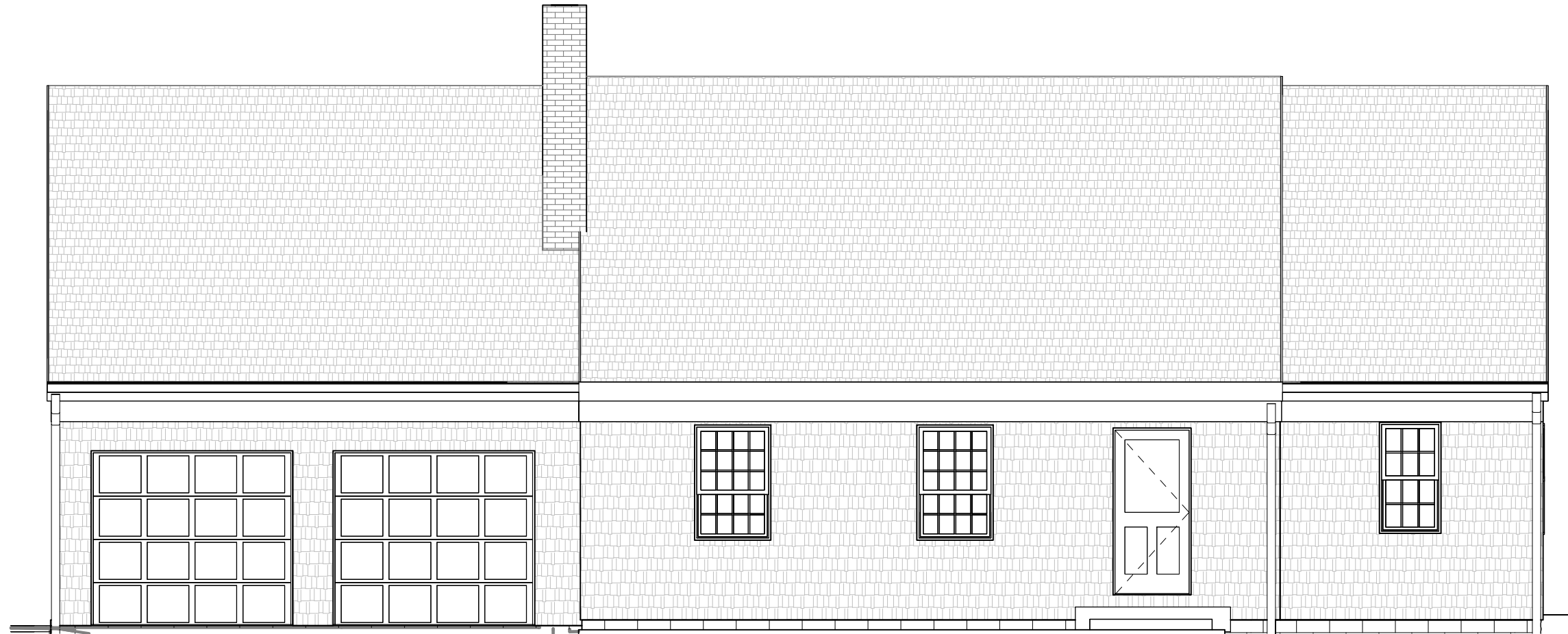
CHECKED BY: Checker

PROJECT STATUS: PLAN02

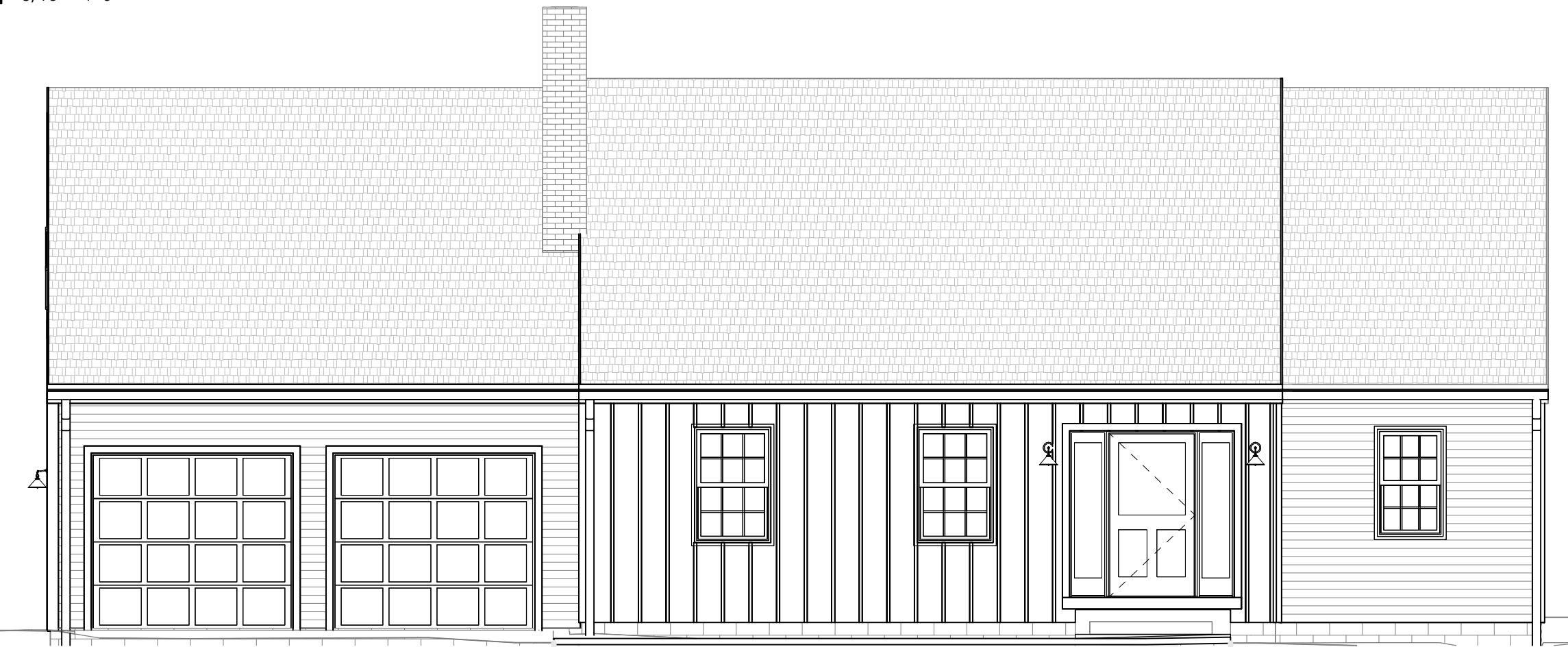


Digital Design + Construction

50 STATE ST BUILDING R  
PITTSFORD, NY 14534



1 | FRONT ELEVATION EXISTING - DESIGN REVIEW  
3/16" = 1'-0"



2 | FRONT ELEVATION NEW - DESIGN REVIEW  
3/16" = 1'-0"

PLAN SHEETS

DR01-100

Front Elevation - DRB - Back  
Addition

TKGS

11 Smead Rd  
Pittsford, NY 14534

DRAWN BY: BuildHappy

CHECKED BY: Checker

PROJECT STATUS: PLAN02



50 STATE ST BUILDING R  
PITTSFORD, NY 14534

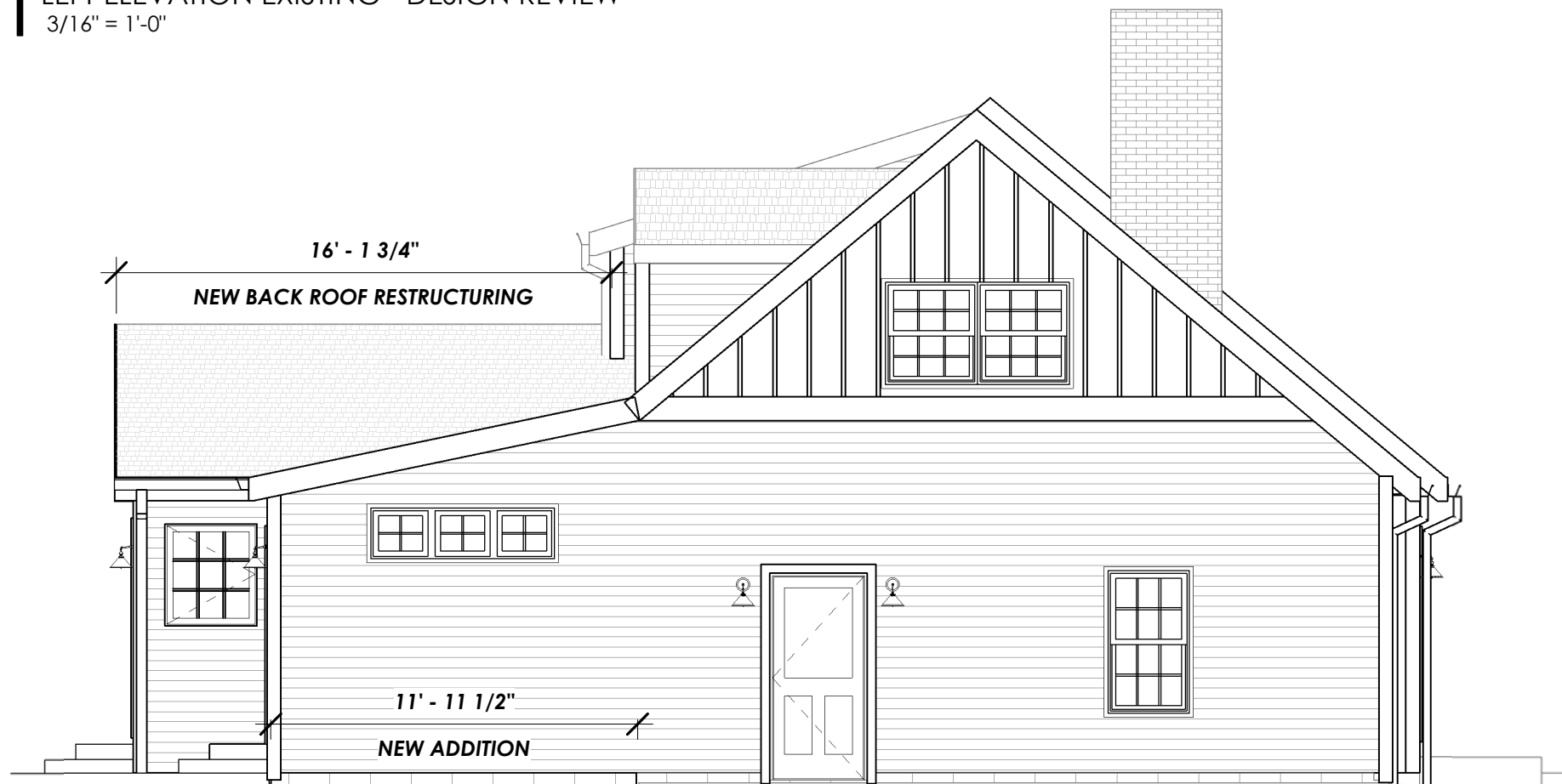
PLAN SHEETS

DR01-101

Left Elevation - DRB - Back  
Addition



1 | LEFT ELEVATION EXISTING - DESIGN REVIEW  
3/16" = 1'-0"



2 | LEFT ELEVATION NEW - DESIGN REVIEW  
3/16" = 1'-0"

11KGS

11 Smead Rd  
Pittsford, NY 14534

DRAWN BY: BuildHappy

CHECKED BY: Checker

PROJECT STATUS: PLAN02



Digital Design + Construction

50 STATE ST BUILDING R  
PITTSFORD, NY 14534

PLAN SHEETS

DR01-102

Back Elevation - DRB - Back  
Addition



1 | BACK ELEVATION EXISTING - DESIGN REVIEW  
3/16" = 1'-0"



2 | BACK ELEVATION NEW - DESIGN REVIEW  
3/16" = 1'-0"

TKGS

11 Smead Rd  
Pittsford, NY 14534

DRAWN BY: BuildHappy

CHECKED BY: Checker

PROJECT STATUS: PLAN02



Digital Design + Construction

50 STATE ST BUILDING R  
PITTSFORD, NY 14534



1 | RIGHT ELEVATION EXISTING - DESIGN REVIEW  
3/16" = 1'-0"

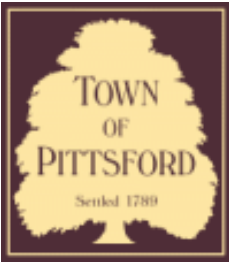


2 | RIGHT ELEVATION NEW - DESIGN REVIEW  
3/16" = 1'-0"

PLAN SHEETS

DR01-103

Right Elevation - DRB - Back  
Addition



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**S24-000002**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3349 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-18

**Zoning District:** C Commercial / MATZ Monroe Avenue Transitional Zone

**Owner:** Pittsford Plaza SPE, LLC

**Applicant:** Skylight Signs

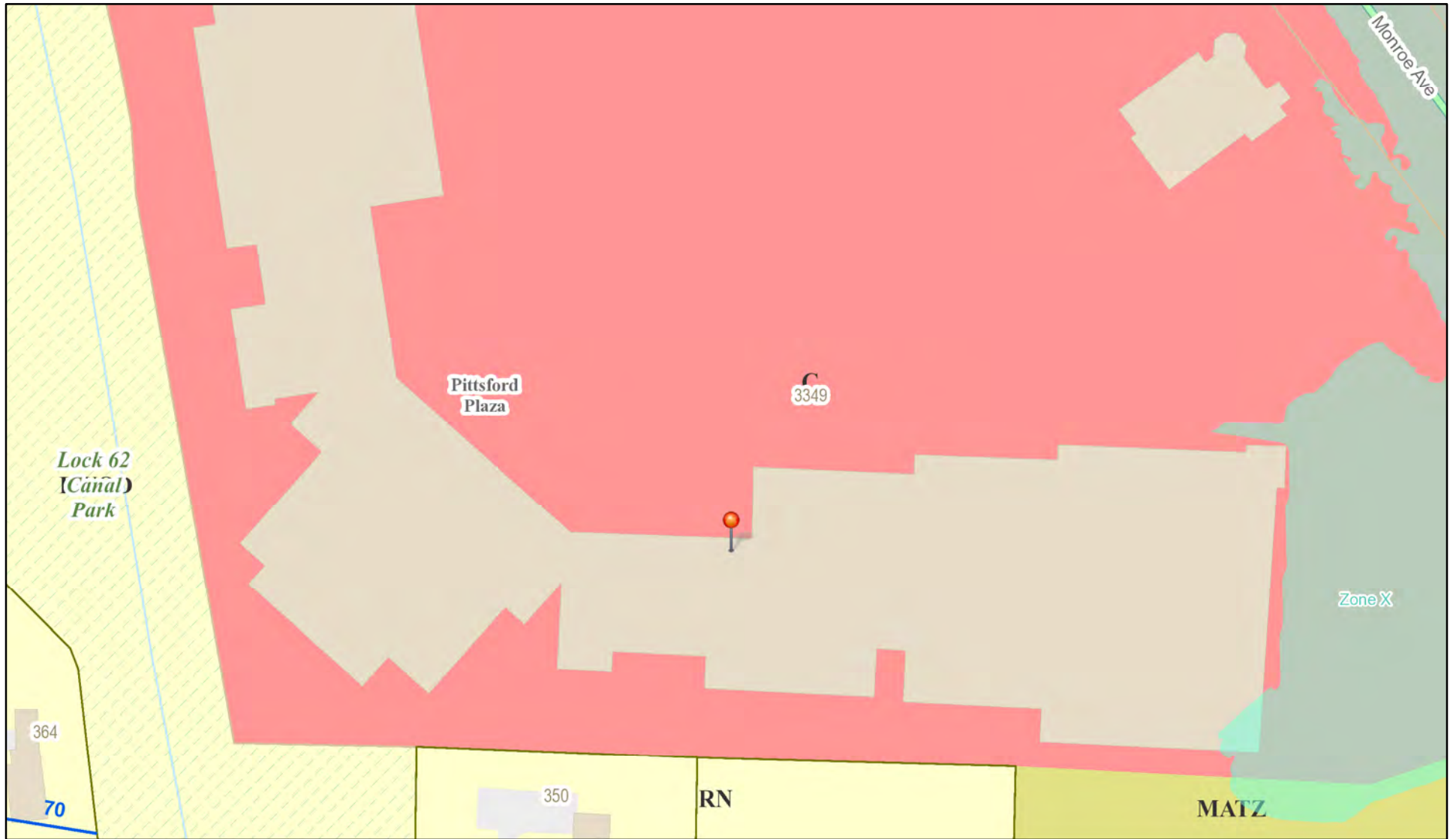
### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
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- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

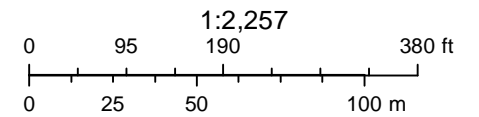
**Project Description:** Applicant is requesting design review for a 22.4-square-foot sign for Body Fuel at Pittsford Plaza.

**Meeting Date:** February 29, 2024

# RN Residential Neighborhood Zoning

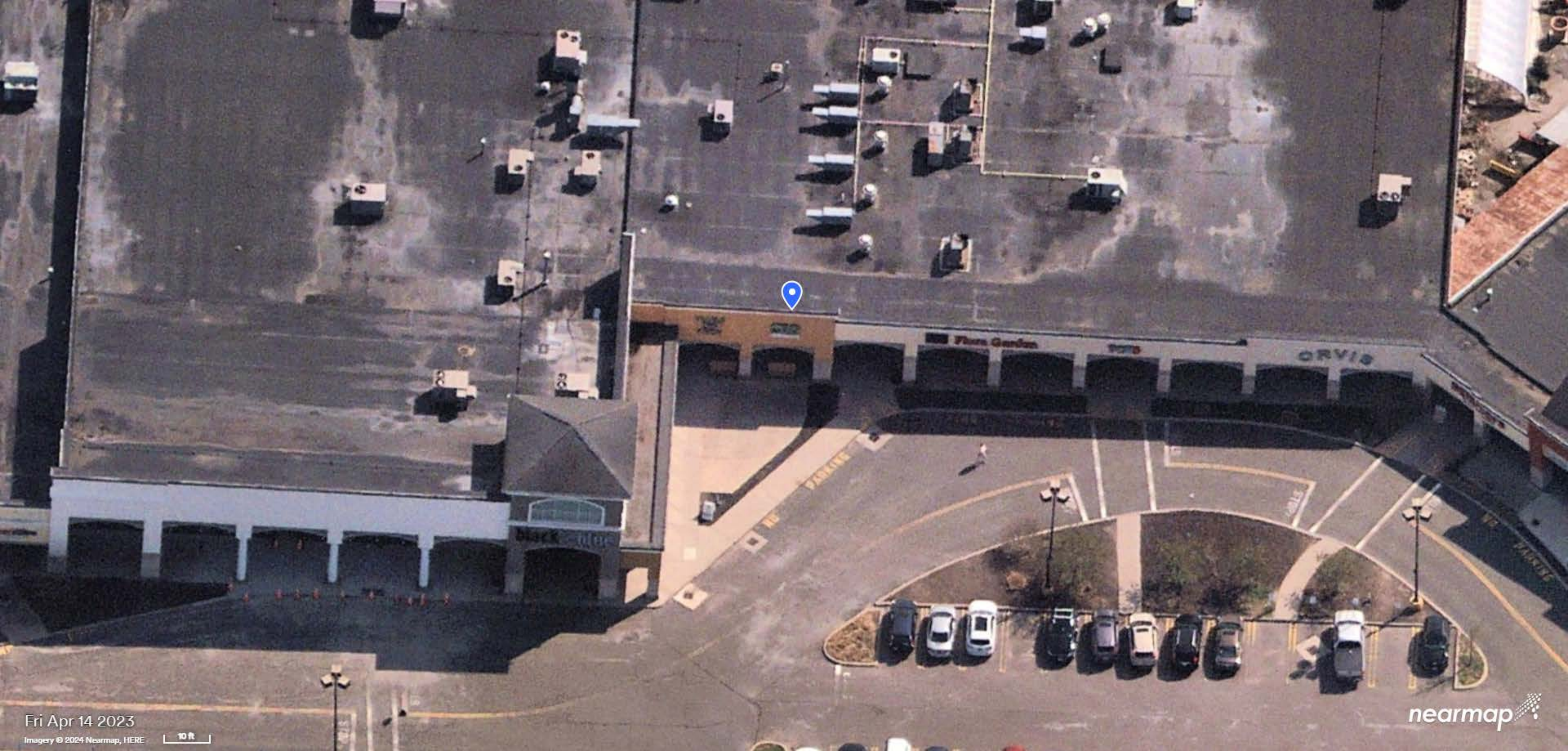


Printed February 21, 2024



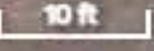
Town of Pittsford GIS

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Fri Apr 14 2023

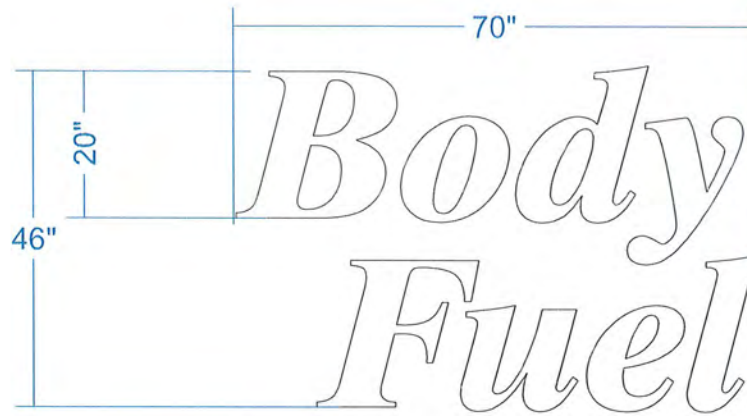
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nearmap



new



Sign is 22.4 Sq ft

**Description:**

(1) set of Internally illuminated channel LED flush mounted letters.

Letters to have aluminum returns with 1" trim cap and 3/16" acrylic faces.

Letters mounted directly to fascia.

*Letters to be centered on building fascia area*

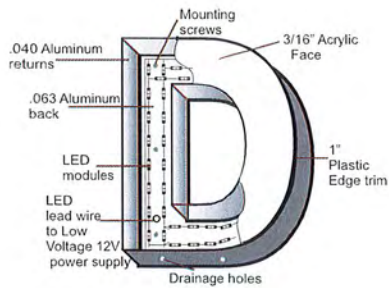
**Colors:**

Face Acrylic: 7328 White

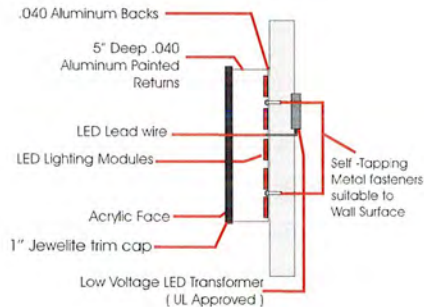
Returns: Black

Trim cap: White

LED: White



LED Flush Mount



2/1/24

Remove  
GETTING  
Pittsford  
Plaza



**Body Fuel**

**IVE**

Services

suga RUS

