

**Town of Pittsford Design Review & Historic Preservation Board
AGENDA**

February 8, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, February 8, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RETURNING

800 Allens Creek Road

Applicant is requesting design review for a 240 square foot storage addition off the side of the home.

18 Amber Hill Drive

Applicant is requesting design review for a 1,560-square-foot, three-story addition to the rear of the home.

COMMERCIAL APPLICATIONS: RETURNING

3330 Monroe Avenue – Community Bank N.A. (Returning)

Applicant is requesting design review for the exterior renovation of a commercial buildout. This property is zoned Commercial (C).

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

16 Ravenna Crescent

Applicant is requesting design review for a 308-square-foot garage addition to the south side of the home.

RESIDENTIAL APPLICATIONS: NEW HOMES

3 Old Homestead Road

Applicant is requesting design review for a 2,981-square-foot, two-story home in the Country Pointe Subdivision.

COMMERCIAL APPLICATIONS: ADDITIONS & RENOVATIONS

3349 Monroe Avenue – Shell Space

Applicant is requesting design review for a new storefront entry to the exterior of a commercial shell space whose use is changing from one tenant to two.

**TOWN OF PITTSFORD
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
JANUARY 25, 2024**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, January 25, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Jim Vekasy; Bonnie Salem; Paul Whitbeck; John Mitchell; Kathleen Cristman

ABSENT: None

ALSO PRESENT: Bill Zink, Building Inspector; Meghan Brooks, Building Department Assistant; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 18 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

The Board discussed following up with the 2023 Reception for the Owners of Inventoried Homes attendees in the coming month. DRHPB Member Bonnie Salem confirmed with Building Department Assistant Meghan Brooks that she has the contact list on file.

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

3 Tor Hill

Applicant is requesting design review for a 196-square-foot covered deck off the rear of the home.

Paul Morabito of Morabito Architects introduced the application. Mr. Morabito gave a brief description of the project and stated that the footprint of the current deck would not be changing.

DRHPB Chairman Schneider asked why they had added the shelf detail in the porch gable. Mr. Morabito stated that it was a detail brought around from the front of the house. Siding will travel down the base of the addition, as well as the gable. Overhang details will match the rest of the house.

DRHPB Vice Chairman Dave Wigg motioned to approve the 196-square-foot covered deck off the rear of the home as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

18 Amber Hill Drive

Applicant is requesting design review for a 1,560-square-foot, three-story addition to the rear of the home.

Jenna Evans of Pardi Partnership Architects introduced the application. Ms. Evans stated that they are proposing a rear addition to the house, which will be three stories because of the nature of the lot and because the project focus was the master bedroom on the top floor. The lowest level is a basement. The finishings of the addition will match the current exterior.

Board Member Salem confirmed with Ms. Evans that the existing deck will be shrunk down from its current size. DRHPB Member Paul Whitbeck asked if there are any plans to utilize the basement addition as a bedroom. Ms. Evans stated that part of the reason for the addition is to avoid putting a bedroom in the basement level.

Chairman Schneider asked why the west elevation of the addition has no windows. Ms. Evans stated that this feature is driven largely by the function of the interior of the home. That area on the top floor has the bathroom and on the middle floor has the kitchen pantry, neither of which require or benefit from a window. Chairman Schneider replied that, while he understands the reason, he does not like how large the expanse of solid wall appears. Board Member Salem agreed. DRHPB Vice Chairman Dave Wigg asked if the homeowners would consider adding a frieze or another decorative element. Ms. Evans stated that they tried to maximize the windows where appropriate.

Board Member Salem suggested that perhaps putting windows in the lower level might assist in breaking up the wall. Ms. Evans stated that right now that area is a storage room and adding windows is not necessarily the most practical solution.

Following an extensive discussion between the Board and Ms. Evans regarding the west elevation, Chairman Schneider confirmed with the rest of the Board that, apart from the western elevation, no one has any other concerns about the design.

The Design Review & Historic Preservation Board has asked the applicant to return to the Board with design changes to the west elevation.

105 Ellingwood Drive

Applicant is requesting design review for a 1,150-square-foot addition, plus porch, off the side of the home.

Dan Pieters, AIA, introduced the application with homeowner Dave Finger. Mr. Pieters described the approximately 1,100-square-foot addition being proposed for the home and stated that it was adjusted to complement the proportions of the home. The materials will match the current structure. A dormer was added to the design for egress from the bedroom on the second story.

Chairman Schneider asked if the garage will have a new metal roof as well. Mr. Pieters stated that they might not remove the asphalt, but certainly would incorporate the metal whether on top or in replacement of the current roof.

Board Member Salem noted that she likes the features that are being added to the house and thinks that it fits well into the existing structure and the neighborhood.

Vice Chairman Wigg asked if Douglas fir would be used in the wood detailing. Mr. Pieters stated that it would.

DRHPB Member Paul Whitbeck motioned to approve the 1,150-square-foot addition, plus porch, off the side of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: OVERSIZED STRUCTURES

78 State Street

Applicant is requesting design review for a 648-square-foot detached garage behind the home.

Keith Gardner of Gardner Construction & Development introduced the application. Mr. Gardner gave an overview of details that have been added to the design since it was last in front of the Board, including Hardie board siding in "Light Mist" and decorative corbels. He stated that the homeowners are eventually hoping to re-side the house in the same material and color so that the home and the garage will match. The dividing board and corner boards will be white.

After some discussion on colors and siding, the Board agreed that the proposed project has the right intentions in preserving its appearance.

DRHPB Chairman Dirk Schneider motioned to approve the 648-square-foot detached garage behind the home as submitted, with clarification that the siding color is to be "Light Mist." This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

74 Coventry Ridge

Applicant is requesting design review for a 3,332-square-foot, single-family home in the Coventry Ridge Subdivision.

Jim Connaughton of Spall Homes introduced the application. Mr. Connaughton stated that this house, while similar to many of the homes in the neighborhood, is a little different because it is a walkout lot. There is a mature stand of trees between the proposed home and the existing neighbor that they will be doing their best to maintain.

Chairman Schneider asked how far the fireplace bump will protrude from the wall. Mr. Connaughton stated it will be 5½ inches.

DRHPB Member Bonnie Salem motioned to approve the 3,332-square-foot, single-family home in the Coventry Ridge Subdivision as submitted. This motion was seconded by DRHPB Chairman Dirk Schneider. Following a unanimous voice vote, the application was approved, none opposed.

69 Coventry Ridge

Applicant is requesting design review for a 3,337-square-foot, single-family home in the Coventry Ridge Subdivision.

Jim Connaughton of Spall Homes introduced the application. Mr. Connaughton stated that this home is kitty-cornered across the street from 74 Coventry Ridge and so they designed it to be complementary.

Chairman Schneider commented on the variety of second story windows, particularly the barrel vault over the window to the left of the front door. Mr. Connaughton stated that it could be changed to match the second story window to the right of the front door should they prefer. Board members agreed that this would look less busy.

DRHPB Member Kathleen Cristman motioned to approve the 3,337-square-foot, single-family home in the Coventry Ridge Subdivision as submitted, with the condition that the barrel vault on the second-story window to the left of the front door be removed. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

717 Stone Road

Applicant is requesting design review for a 2,895-square-foot, single-family home (with finished basement) on the property.

Bill Zink stated that this application and the one following (3092 Clover Street) are before the Board for their proposed location, which is set back from the 70-foot building line, in addition to the design.

Patrick Morabito of Morabito Architects introduced the application. Mr. Morabito clarified that the square footage has been changed from the originally proposed 4,450 square feet to 2,895 square feet. Though smaller, they have maintained the exterior look of the home.

Chairman Schneider asked if the dormers will be real, as there is no second story. Mr. Morabito stated that they will be fake, with black-painted panels of plywood to be secured behind them. DRHPB Member John Mitchell confirmed that Mr. Morabito has utilized this technique before.

Board Member Salem asked what will be happening with the basement level. Mr. Morabito described the plan to create a French drain to allow the basement to have egress windows in the bedrooms down there, as well as to provide drainage.

Vice Chairman Wigg asked about the siding and trim. Mr. Morabito stated that the siding will be white Hardie board and the trim will be white PVC. The shutters will be black. The roof will be charcoal gray. There will be a reddish brick veneer at the basement level.

DRHPB Member Kathleen Cristman suggested the Board review the location. Chairman Schneider noted that it would be coming into relative alignment with the neighboring home.

Homeowner Kevin Canaan asked if the Board would be open to giving a little flexibility on the distance from the road. Chairman Schneider suggested giving it a scope of ten feet from the garage at 725 Stone Road (either aligned with it or up to 10 feet behind it).

DRHPB Chairman Dirk Schneider motioned to approve the 2,895-square-foot, single-family home (with finished basement) on the property as submitted, with the following condition: that the front of the house aligns with 725 Stone Rd, or up to 10 feet behind. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

3092 Clover Street

Applicant is requesting design review for a 2,799-square-foot, single-family home on the property.

John Antetomaso of Antetomaso Homes introduced the application with owner Rama Gupta. Mr. Antetomaso stated that they are proposing to build a 2,800-square-foot home and are in the process of moving the rear lot line of the property. The home is on a private drive.

Chairman Schneider if there is a particular reason why the home is canted. Ms. Gupta stated that all four of the nearby homes are also canted. There was further discussion by the Board about the lot size and site placement, and Chairman Schneider remarked that, while the proposed location is slightly behind the home to the south, it is at least consistent.

There was significant confusion regarding the inconsistencies between the site plan and the elevations, primarily in the reversal of the garage placement. Ms. Gupta stated that plans had changed since files had been submitted and that the plan was mirrored. Board Member Salem stated that she felt uncomfortable making a decision on inaccurate elevations. Following further debate, Ms. Gupta stated that it was the site plan was incorrect, not the elevations, and presented an updated site plan to the Board that matched the submitted elevations.

DRHPB Chairman Dirk Schneider motioned to approve the 2,799-square-foot, single-family home on the property as submitted, with clarification that the site plan submitted is correct. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: ADDITIONS & RENOVATIONS

3330 Monroe Avenue – Community Bank N.A.

Applicant is requesting design review for the exterior renovation of a commercial buildout. This property is zoned Commercial (C).

Albert Giannino of Community Bank N.A. introduced the application with Doug Templeton of Hanlon Architects and Andrew Gearhart of Community Bank N.A. Mr. Giannino stated that, in the past year, Community Bank started to expand into Rochester and decided that Pittsford would be perfect for both the corporate headquarters and the local branch. He brought Hanlon Architects onto the project to design something that would fit into the community.

Mr. Templeton stated that the building at 3330 Monroe Avenue has been a bank for several years. They are now seeking to modernize the building, clean it up, and integrate the bank's architectural branding. In the design, they opted to keep the gabled roof but construct facade walls around the front and side elevations conceal the imposing size of the gable. They will be using high quality materials such as stone and wood while complementing the more geometric aesthetics of the nearby buildings in its design.

Vice Chairman Wigg asked how deep the facade would be. Mr. Templeton said it is 1'-1'8" deep. DRHPB Member Whitbeck asked how much it would be coming towards the street. Templeton said it is staying within the same footprint. It is just the facade that will be built in front of the existing walls. DRHPB Member Cristman asked for clarification on why it looks like there is a second floor. Mr. Templeton gave a more in-depth description of the roofing and the façade tie-in and noted that they are primarily focusing on the side that is facing Monroe. The backside will still have the gable and be repainted.

Board Member Salem asked what elements of the design are compatible with the community. Mr. Templeton responded that it is a more modern design, but by using the stone and wood it will fit in with the blend of traditional and modern, rather than working solely in modern materials such as metal.

Chairman Schneider stated that the southwest and southeast elevations are quite nice, but that the northeast elevation that is seen from 3300 Monroe Avenue is not as good. After some discussion, Board suggested potentially bringing the wood facade further along the northeast elevation to the same point as the other side. This would make the façade more of a C-shape than an L-shape and create a stronger presence from that view.

Mr. Giannino asked what the Board thinks about the back of the building. Chairman Schneider asked about the detailing in the gable, to which Mr. Giannino responded that it is an already existing architectural detail. Chairman Schneider suggested painting it the same color as the rest of the elevation so that it is not highlighted. Board Member Mitchell asked if that side is all mechanical. Mr. Templeton confirmed that it is and that there will be a new screen fence installed, with the goal of making all the mechanicals and utilities blend in. Vice Chairman Wigg asked what the material of the fence will be; Mr. Giannino stated that it will likely be metal, as he does not want PVC.

Board Member Salem stated that she is struggling to wrap her head around the concept of having a thin layer over an existing building and cannot help but wonder if it will look cheap. Mr. Giannino stated that this project has been a struggle to balance design and utility with the existing structure. Mr. Gearhart added that it is a common practice in the shopping center industry to do this sort of façade because it allows a lot of flexibility with tenants. Board Member Cristman asked if the structure is removable, and Mr. Gearhart stated that it is relatively removable, but they intend to be in the space for a long while.

The Design Review & Historic Preservation Board has asked the applicant to return to the Board with design changes to the northeast elevation, as well as an aerial view of the roof and samples of the spandrel glazing and aluminum.

145 Kilbourn Road– Oak Hill Country Club

Applicant is requesting design review for a 20,200-square-foot addition, plus an 11,000-square-foot terrace, to the south and east sides of the clubhouse. This property is zoned Suburban Residential (SRAA).

Jim Vekasy recused himself from this application.

Eric Reynolds of SWPR introduced the application with Jim Durfee of Oak Hill Country Club. Mr. Reynolds stated that the clubhouse is a historically- and architecturally-significant building in a Tudor revival style. They did their best to incorporate existing details into the addition: eve

detailing, brick and half-timbering, masonry, some cast stone elements on significant pieces, etc. He then gave an overview of the site plan and where the additions are located in relation to the existing structure, and gave an extensive description of the proposed additions and their purpose.

Vice Chairman Wigg asked if they will be using open valley copper gutters; Mr. Reynolds stated that they will. Chairman Schneider pointed out a section that looks like it has a modern K gutter. Mr. Reynolds said that the image shows a gutter that was put in in the 1970's and is not consistent with the rest of them; they are proposing copper gutters in the additions, along with copper flashings. He noted that they are not replacing current features that are non-historic at this time, but that the club is fixing deferred maintenance issues systematically as they come up.

Mr. Durfee added that all the tent structures that are currently being utilized for adding space to the facility are not pretty to look at and do not match the overall look of Oak Hill; however, they do represent the activities presented there, and their intent with the additions is to align the function of the clubhouse with its appearance. They are unlikely to have significant other additions anytime soon, as they are constrained by the golf course and the national register.

Board Member Salem noted that many elements of the design appear to respect the historic nature of the property and asked if any of the timbering is real timber. Mr. Reynolds stated that at this point it is not. They are currently intending to use a fiber cement Board. The existing building does have wood timbers. Board Member Salem asked whether anything that is going to be removed to allow for the additions is of particular historic significance. Mr. Reynolds answered that most of the work will be done on the additions that were added in the 1970's, which are often viewed as not being on the mark in terms of their outcome. The chimney that is being added is not meant to be a true replication of the existing chimney, but they have incorporated many of the details to complement it. Board Member Salem stated that she is glad to hear that they will not be losing any historically-significant pieces to the additions, and noted that the intention to do the right thing is there.

While Board Member Whitbeck noted his disappointment that they will not be using wood timber, overall, the Board expressed that the massing of the additions look good and details and materials are in keeping with the character of the structure.

DRHPB Chairman Dirk Schneider motioned to approve the 20,200-square-foot addition, plus an 11,000-square-foot terrace, to the south and east sides of the clubhouse as submitted, with the condition that no storefront glazing system be used. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

300 Tobey Village Road - Pittsford Oaks Apartments

The Town Board is requesting Board feedback for the proposed Pittsford Oaks Apartments complex.

A memorandum regarding the Pittsford Oaks project was drafted by the Board and the final draft, dated January 25, 2024, was put to a vote. DRHPB Chairman Dirk Schneider motioned to approve the memorandum as final and ready for submission to the Town Board. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the memorandum was approved, none opposed. Memorandum attached.

01/11/2024 MEETING MINUTES REVIEW

The minutes of January 11, 2024, were approved following a motion by DRHPB Chairman Dirk Schneider. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the minutes were approved, none opposed.

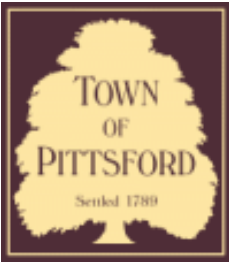
OTHER DISCUSSION

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 8:55PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000132

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 800 Allens Creek Road ROCHESTER, NY 14618

Tax ID Number: 138.13-1-41

Zoning District: RN Residential Neighborhood

Owner: DiCesare, Brandon

Applicant: DiCesare, Brandon

Application Type:

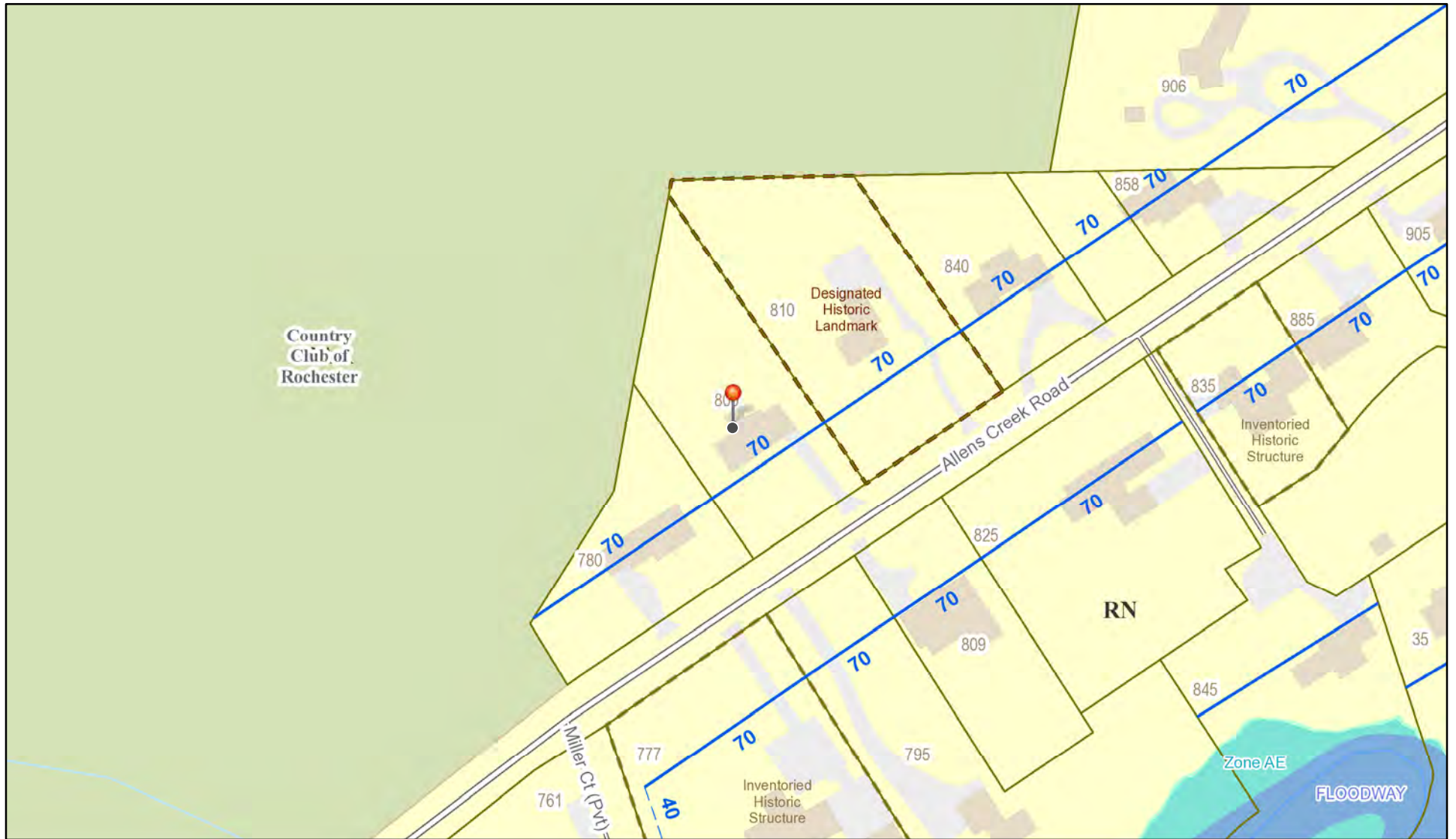
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 240 square foot storage addition off the side of the home.

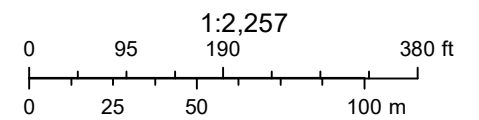
Meeting Date: February 8, 2024



RN Residential Neighborhood Zoning

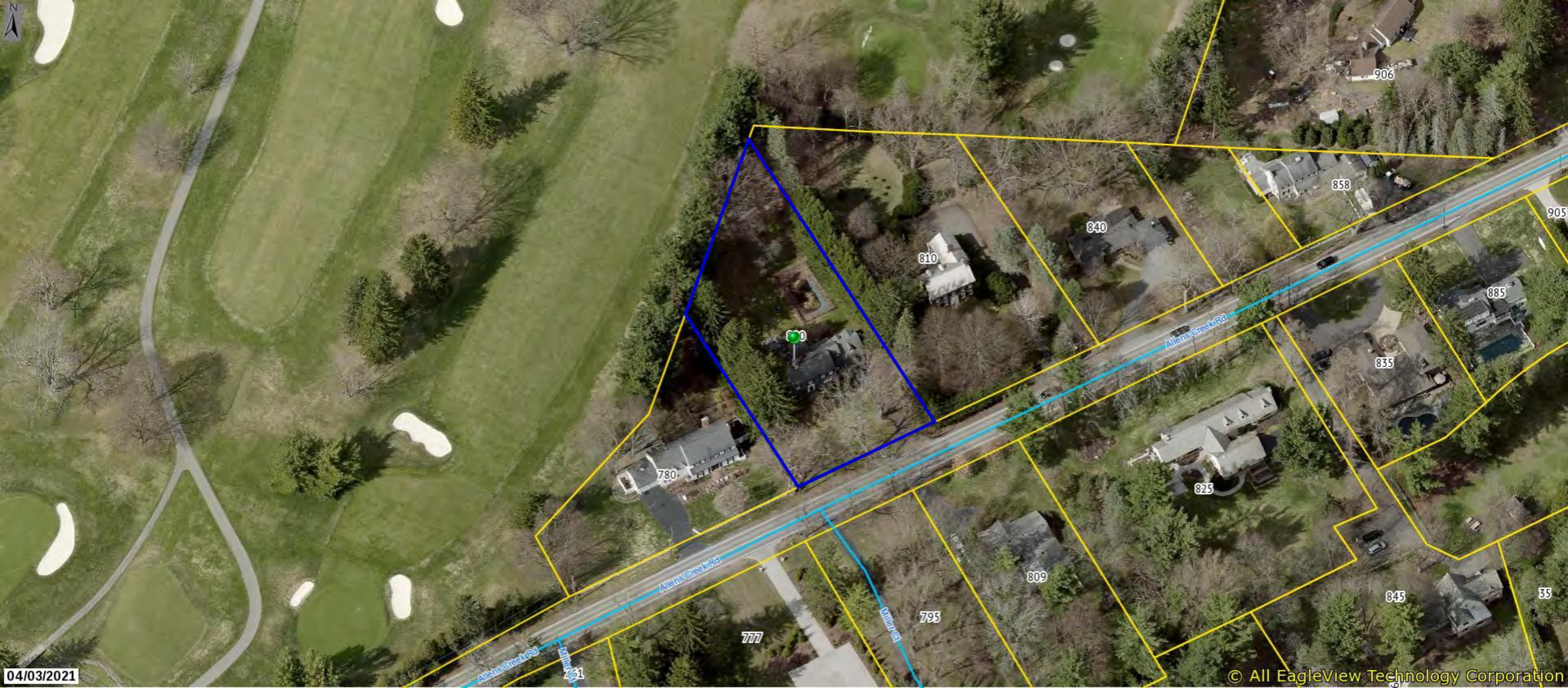


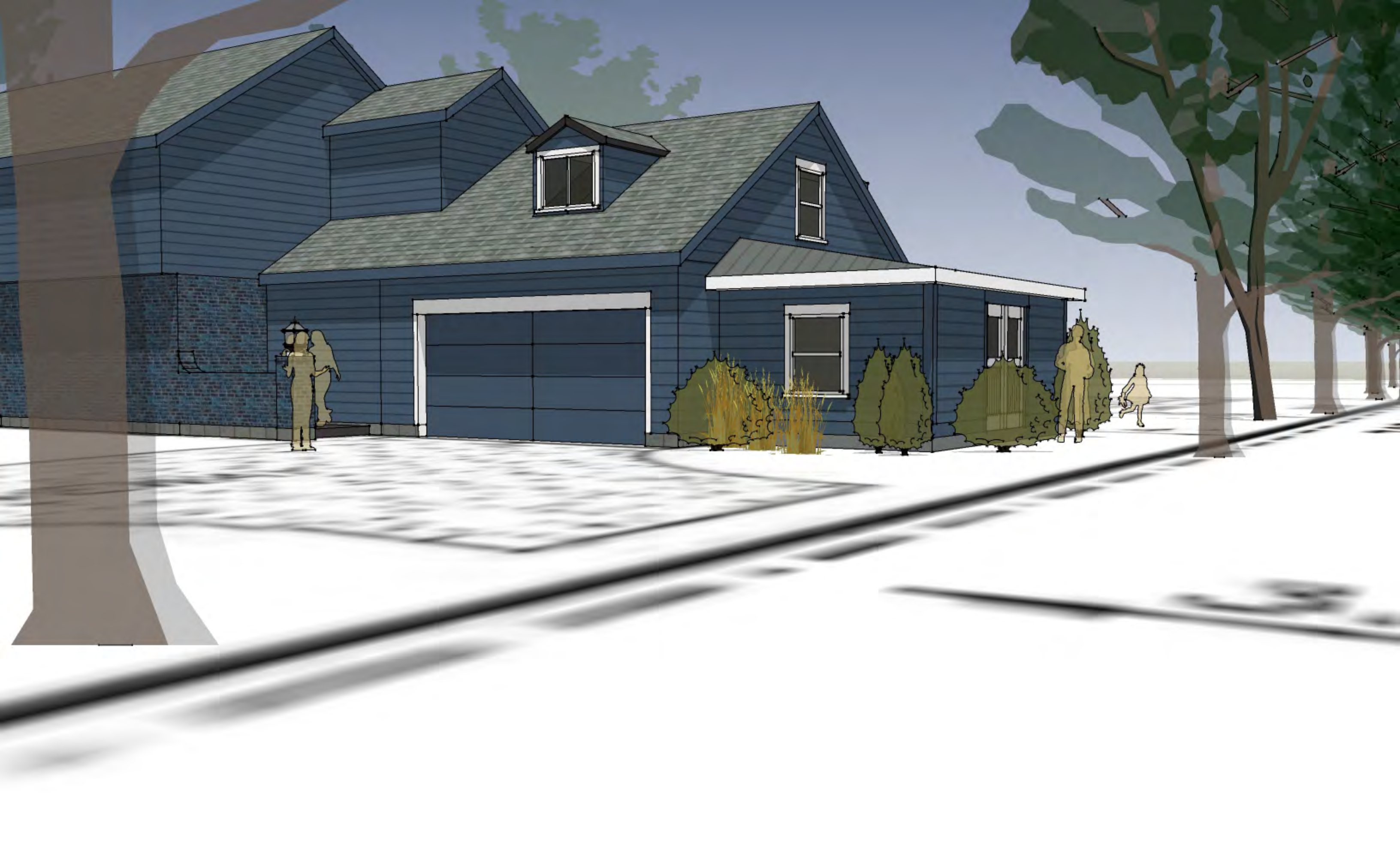
Printed November 21, 2023



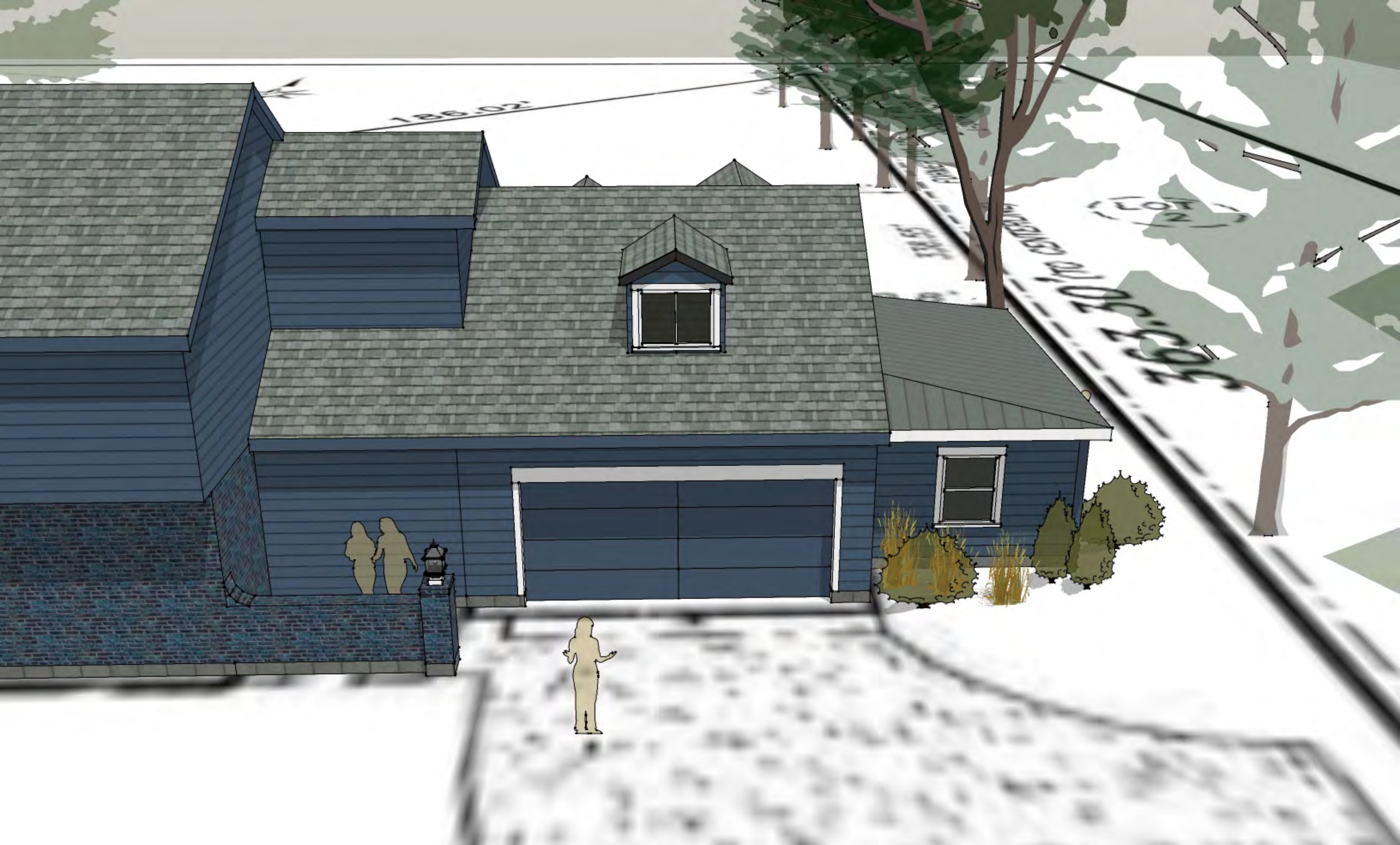
Town of Pittsford GIS

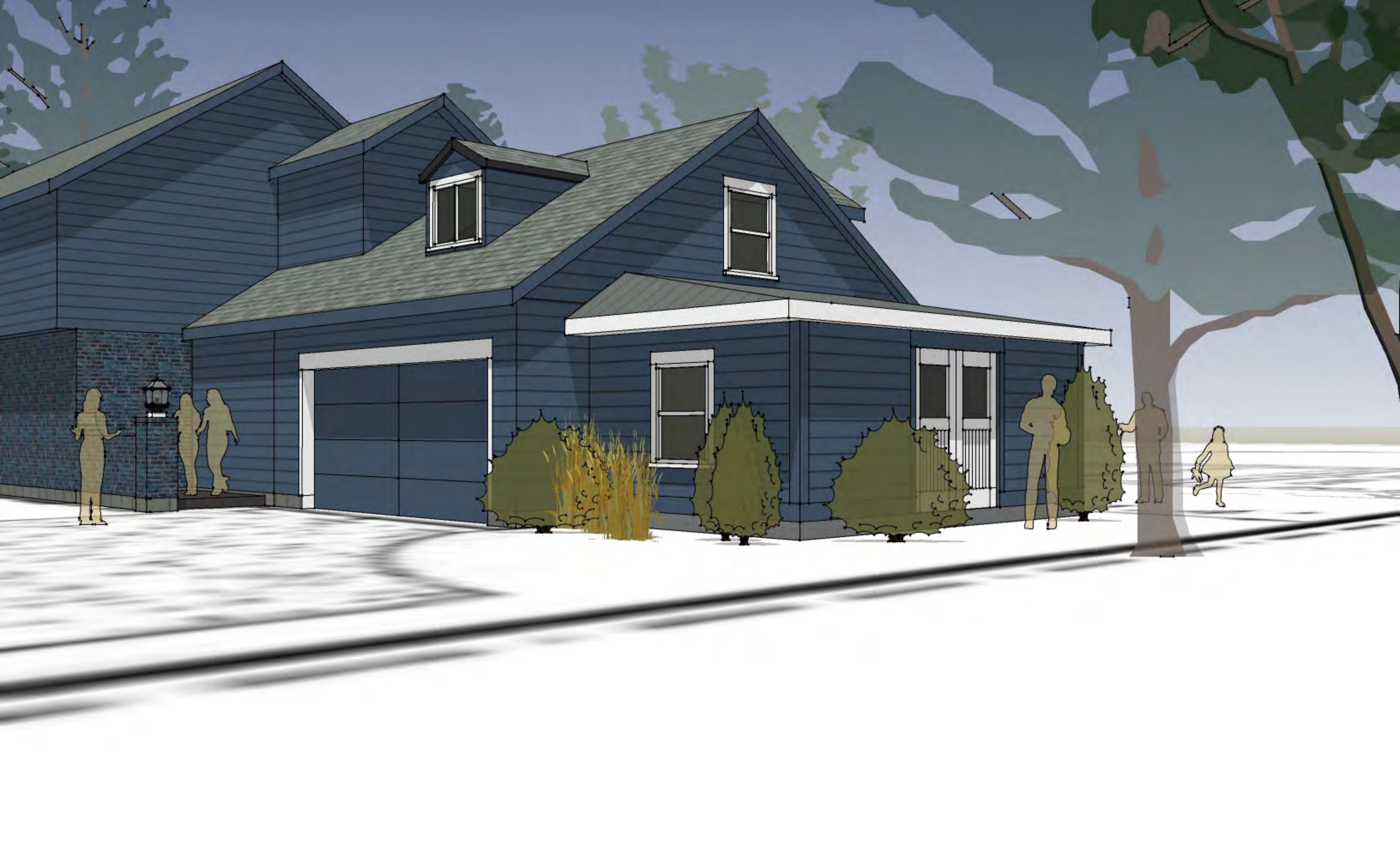
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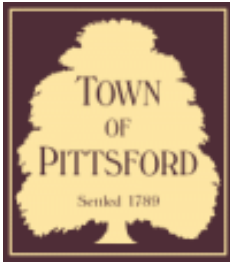












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000004

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 18 Amber Hill Drive PITTSFORD, NY 14534

Tax ID Number: 177.04-2-52

Zoning District: RN Residential Neighborhood

Owner: Friedman, Scott

Applicant: Friedman, Scott

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

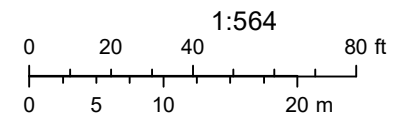
Project Description: Applicant is requesting design review for a 1,560-square-foot, three-story addition to the rear of the home.

Meeting Date: February 8, 2024

RN Residential Neighborhood Zoning



Printed January 16, 2024



Town of Pittsford GIS

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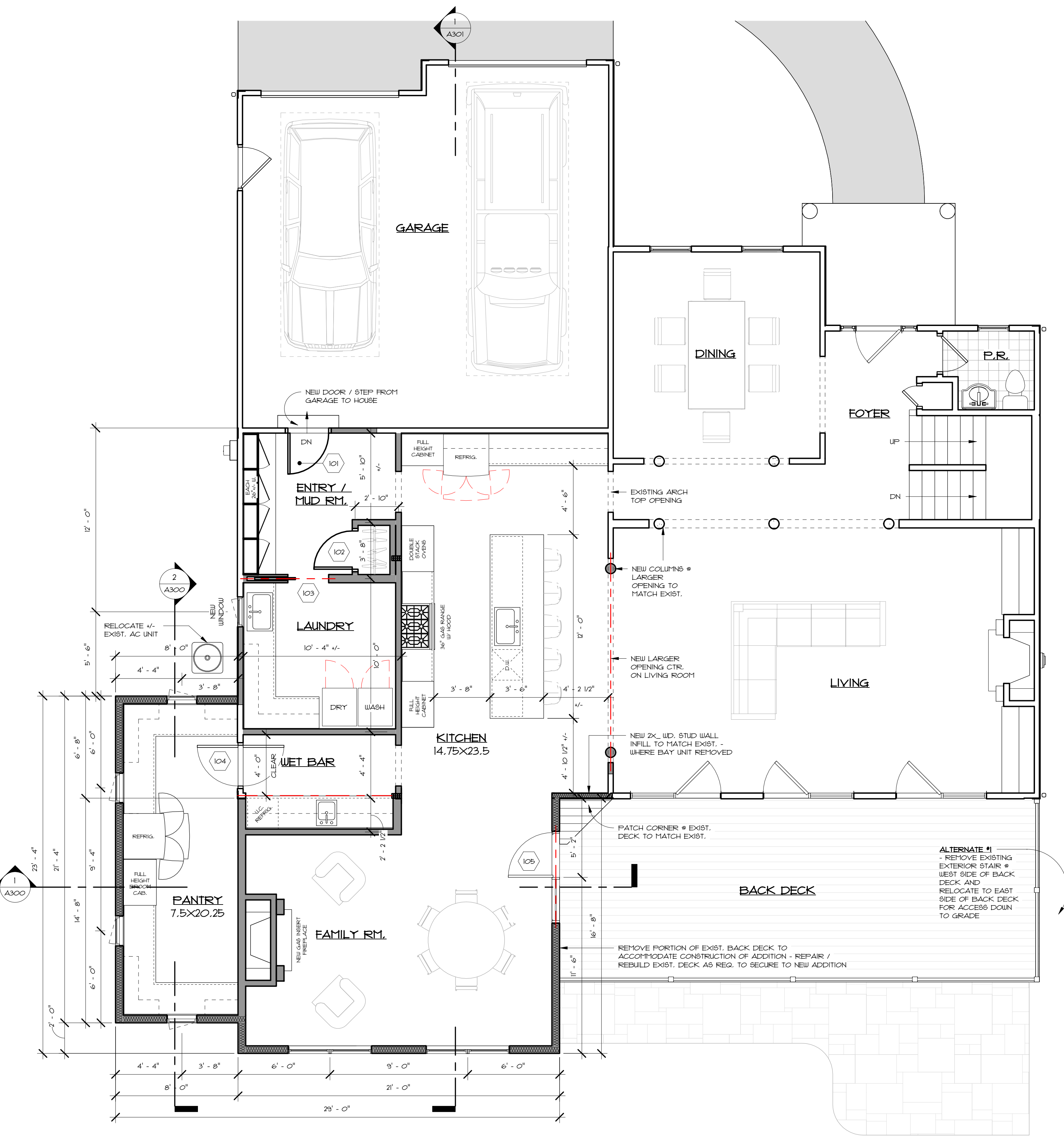












1 1ST FLOOR PLAN - NEW
 SCALE: 1/4" = 1'-0"
 NEW ADDITION = 520 SF
 INTERIOR RENOVATIONS = 560 SF

ELECTRICAL / LIGHTING LEGEND:

- SCHEMATIC LAYOUTS SHOWN - CONTRACTOR TO DO FINAL COORDINATION W/ OWNER
- ⬆ LIGHT SWITCH (3 + 3 WAY) / (F + FAN) / (L + LIGHT) / (D + DIMMABLE)
- ⊕ DUPLEX OUTLET
- ⊕ GFI + GROUND FAULT CIRCUIT INTERRUPTERS
- • • INCHES A.F.F.
- AC + ABOVE COUNTER
- ⊕ SURFACE MOUNTED / PENDANT LIGHT
- ⊕ WALL MOUNTED LIGHT - COORD. HEIGHT W/ APPROPRIATE FIXTURES / EQUIPMENT / DOORS / WINDOWS / CEILING / ETC.
- ⊕ CL = WALL MOUNTED LIGHT, MOUNTED ABOVE HEAD OF CLOSET DOOR, W/ MOTION SENSOR INTEGRAL TO FIXTURE
- ⊕ RECESSED LIGHT
- NYS ENERGY CODE R402.4.5 - SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED & UNCONDITIONED SPACES...
- ⊕ COMBO LIGHT W/ EXHAUST FAN (DIRECT VENT TO EXTERIOR)
- ⊕ COMBO LIGHT / CEILING FAN

- COORD. ANY TIMER / DIMMING REQUIREMENTS W/ OWNER
 - COORD. ANY CABLE / DATA REQUIREMENTS W/ OWNER

GENERAL NOTES - REFLECTED CEILING PLAN:

TYPICAL 1/2" GYPSUM WALL BOARD CEILING THROUGHOUT (MOISTURE RESISTANT IN BATHROOM & LAUNDRY ROOM)
 COORDINATE HEIGHT OF WALL MOUNTED LIGHTS WITH APPROPRIATE FIXTURES / EQUIPMENT / DOORS / WINDOWS / ETC.
 FINAL LIGHT FIXTURE SELECTION BY OWNER - ALL NEW LIGHTS TO BE LED
 ATTIC ACCESS - MIN. 22"x30" W/ MIN. 30" HEADROOM @ ATTIC ABOVE

SMOKE ALARM & C.O. DETECTOR NOTES:

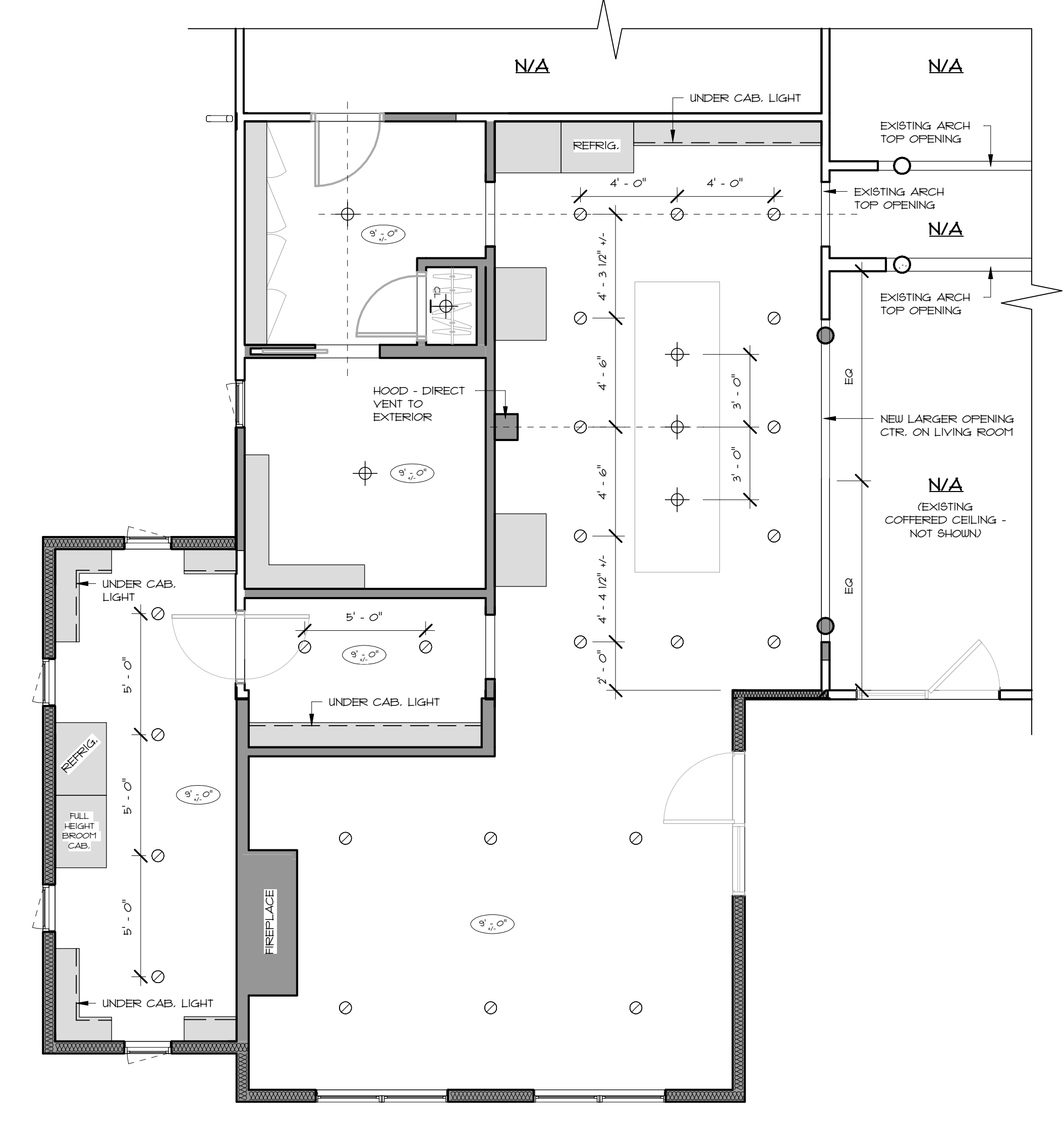
- SMOKE ALARMS / HEAT DETECTION SHALL BE INSTALLED ACCORDING TO SECTION R304 OF THE NYS RESIDENTIAL BUILDING CODE
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED ACCORDING TO SECTION R305 OF THE NYS RESIDENTIAL BUILDING CODE
- R314.5 COMBINATION SMOKE & CARBON MONOXIDE ALARMS SHALL BE PERMITTED

⊕(C) SMOKE / CARBON MONOXIDE ALARM
 ⊕(H) HEAT DETECTOR

PARDI PARTNERSHIP ARCHITECTS P.C.

25 CIRCLE STREET, SUITE 101
 ROCHESTER, NEW YORK 14607
 TEL: (585) 454-4670
 office@pardiarchs.com

REVISION: IF IN VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER IN ANY WAY THE PLANS SPECIFICATIONS OR PERMITS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL APPLY TO THE BOARD THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A BRIEF DESCRIPTION OF THE ALTERATION.
 REFERENCE STATE OF NEW YORK EDUCATION LAW PART 405 - ARCHITECTURE EXERCISE TITLE
 WHEN THESE PLANS BEAR THE SEAL AND SIGNATURE OF A LICENSED PROFESSIONAL OF THIS OFFICE TO THE BEST OF THEIR PROFESSIONAL KNOWLEDGE, JUDGMENT AND BELIEF, THESE PLANS SHALL HAVE BEEN PREPARED IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE ENERGY CONSERVATION AND CONSTRUCTION CODE OF NEW YORK STATE IN EFFECT AT THE DATE OF ISSUANCE.
 NYS ARCHITECTURE LICENSE EXPIRATION DATES:
 SOUTH - FRANK - 01/31/2024
 JASON H. DODSON - 02/09/2024
 JERINA N. EDWARDS - 2/22/24



2 1ST FLOOR - REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

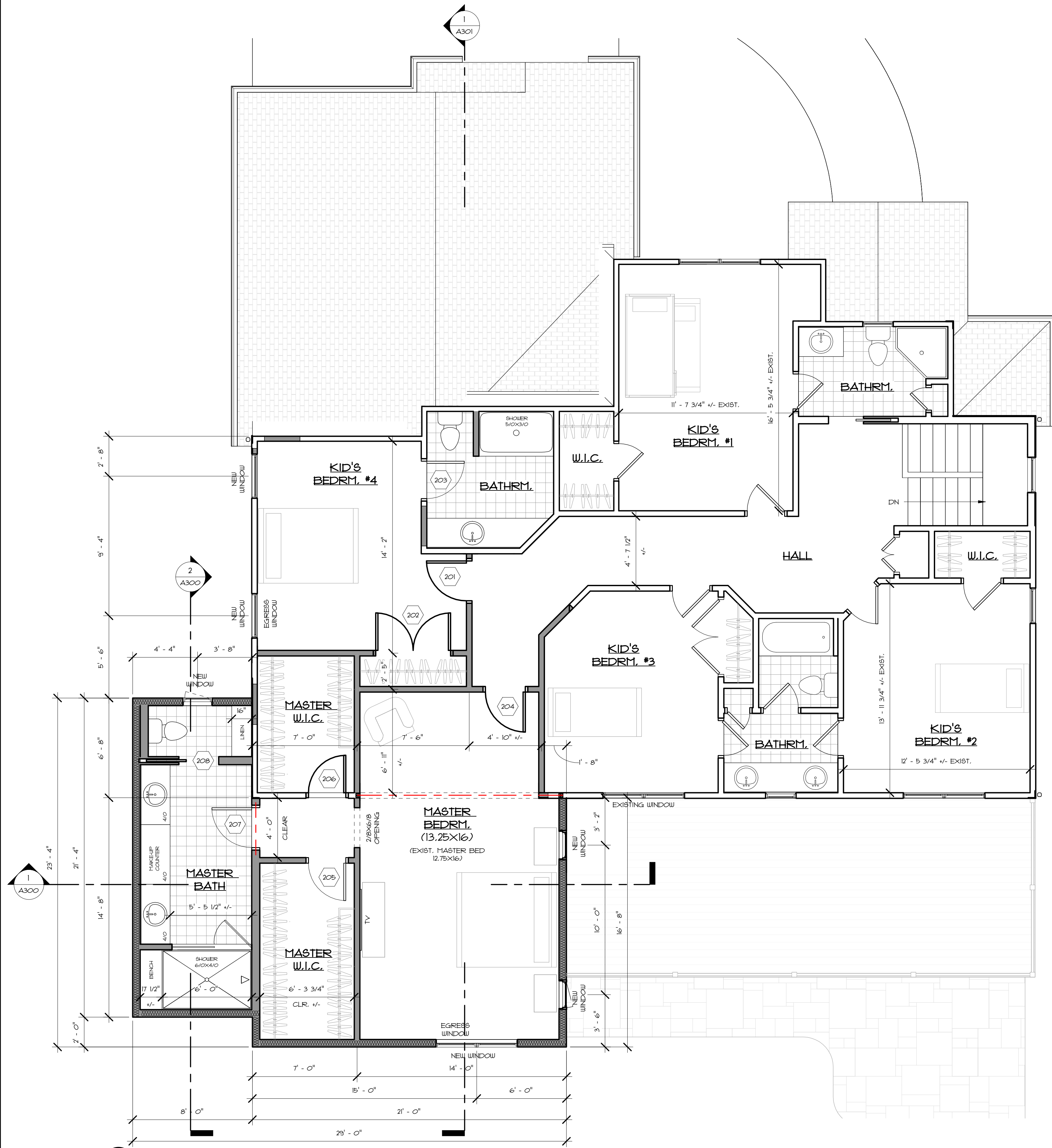
FRIEDMAN ADDITION
 18 AMBER HILL DRIVE
 PITTSFORD, NY 14534

PROJECT NO.:	220045
ISSUE DATE:	01/31/2024
PLOT DATE:	1/31/2024 10:24:51 AM
SCALE:	1/4" = 1'-0"
DRAWN BY:	JNE

REVISIONS		
NO.	DATE	DESCRIPTION

DRAWING TITLE:
1ST FLOOR - NEW FLOOR PLAN

DRAWING NUMBER:
A101



1 2ND FLOOR PLAN - NEW
 SCALE: 1/4" = 1'-0"
 NEW ADDITION = 520 SF
 INTERIOR RENOVATIONS = 525 SF

ELECTRICAL / LIGHTING LEGEND:

- SCHEMATIC LAYOUTS SHOWN - CONTRACTOR TO DO FINAL COORDINATION W/ OWNER
- ⬇ LIGHT SWITCH
(3 + 3 WAY) / (F + FAN) / (L + LIGHT) / (D = DIMMABLE)
- ⊕ DUPLEX OUTLET
GFI = GROUND FAULT CIRCUIT INTERRUPTERS
••• = INCHES A.F.F.
AC = ABOVE COUNTER
- ⊕ SURFACE MOUNTED / PENDANT LIGHT
- ⊕ WALL MOUNTED LIGHT -
COORD. HEIGHT W/ APPROPRIATE FIXTURES / EQUIPMENT / DOORS / WINDOWS / CEILING / ETC.
CL = WALL MOUNTED LIGHT, MOUNTED ABOVE HEAD OF CLOSET DOOR, W/ MOTION SENSOR INTEGRAL TO FIXTURE
- ⊙ RECESSED LIGHT
• NYS ENERGY CODE R402.4.5 - SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED & UNCONDITIONED SPACES...
- ⊕ COMBO LIGHT W/ EXHAUST FAN (DIRECT VENT TO EXTERIOR)
- ⊕ COMBO LIGHT / CEILING FAN

- COORD. ANY TIMER / DIMMING REQUIREMENTS W/ OWNER
 - COORD. ANY CABLE / DATA REQUIREMENTS W/ OWNER

GENERAL NOTES - REFLECTED CEILING PLAN:

TYPICAL 1/2" GYPSUM WALL BOARD CEILING THROUGHOUT (MOISTURE RESISTANT IN BATHROOM & LAUNDRY ROOM)

COORDINATE HEIGHT OF WALL MOUNTED LIGHTS WITH APPROPRIATE FIXTURES / EQUIPMENT / DOORS / WINDOWS / ETC.

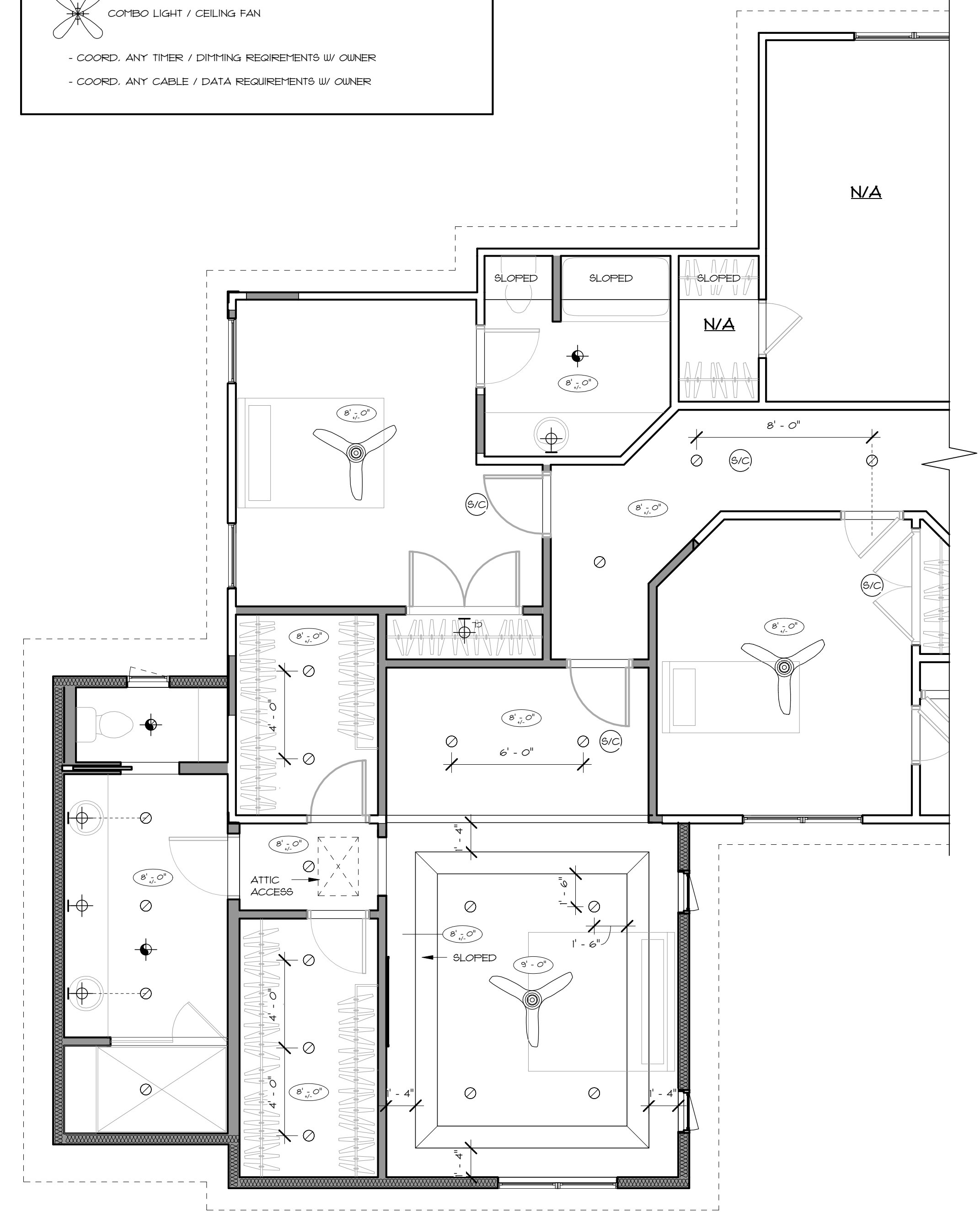
FINAL LIGHT FIXTURE SELECTION BY OWNER - ALL NEW LIGHTS TO BE LED

ATTIC ACCESS - MIN. 22"x30" W/ MIN. 30" HEADROOM • ATTIC ABOVE

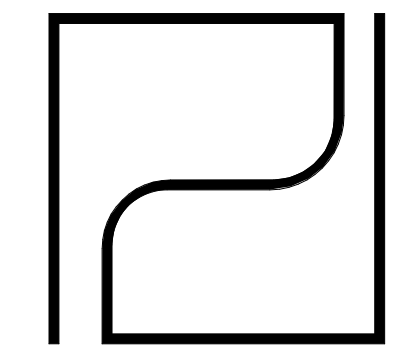
SMOKE ALARM & C.O. DETECTOR NOTES:

- SMOKE ALARMS / HEAT DETECTION SHALL BE INSTALLED ACCORDING TO SECTION R314 OF THE NYS RESIDENTIAL BUILDING CODE
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED ACCORDING TO SECTION R315 OF THE NYS RESIDENTIAL BUILDING CODE
- R314.5 COMBINATION SMOKE & CARBON MONOXIDE ALARMS SHALL BE PERMITTED

⊕ SMOKE / CARBON MONOXIDE ALARM
 ⊕ HEAT DETECTOR



2 2ND FLOOR - REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



PARDI PARTNERSHIP ARCHITECTS P.C.

25 CIRCLE STREET, SUITE 101
 ROCHESTER, NEW YORK 14607
 TEL: (585) 454-4670
 office@pardiarchs.com

REGISTERED IN VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER IN ANY WAY ANY PLAN SPECIFICATIONS OR PERIODS TO WHICH THE SEAL OF AN ARCHITECT HAS BEEN APPLIED. IF AN ARCHITECT'S SEAL OF AN ARCHITECT IS ALTERED, THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SEAL AND THE NOTATION "ALTERED" FOLLOWED BY THE SIGNATURE AND THE DATE OF SUCH ALTERATION AND A BRIEF DESCRIPTION OF THE ALTERATION.

REFERENCE STATE OF NEW YORK EDUCATION LAW PART 65 - ARCHITECTURE ARTICLE 1364

WHEN THESE PLANS BEAR THE SEAL AND SIGNATURE OF A LICENSED PROFESSIONAL OF THIS OFFICE TO THE BEST OF HIS PROFESSIONAL KNOWLEDGE, JUDGMENT AND BELIEF, THESE PLANS SHALL HAVE BEEN PREPARED IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE ENERGY CONSERVATION AND CONSTRUCTION CODE OF NEW YORK STATE IN EFFECT AT THE DATE OF SIGNATURE.

NYS ARCHITECTURE LICENSE EXPIRATION DATES:
 SCOTT L. PARDI - 01/31/2024
 JASON H. DODSON - 03/31/2025
 JERINA N. EDWARDS - 2/29/24

PRELIMINARY
 NOT FOR CONSTRUCTION

FRIEDMAN ADDITION
 18 AMBER HILL DRIVE
 PITTSFORD, NY 14534

PROJECT NO.:	220045
ISSUE DATE:	01/31/2024
PLOT DATE:	1/31/2024 10:24:52 AM
SCALE:	1/4" = 1'-0"
DRAWN BY:	JNE

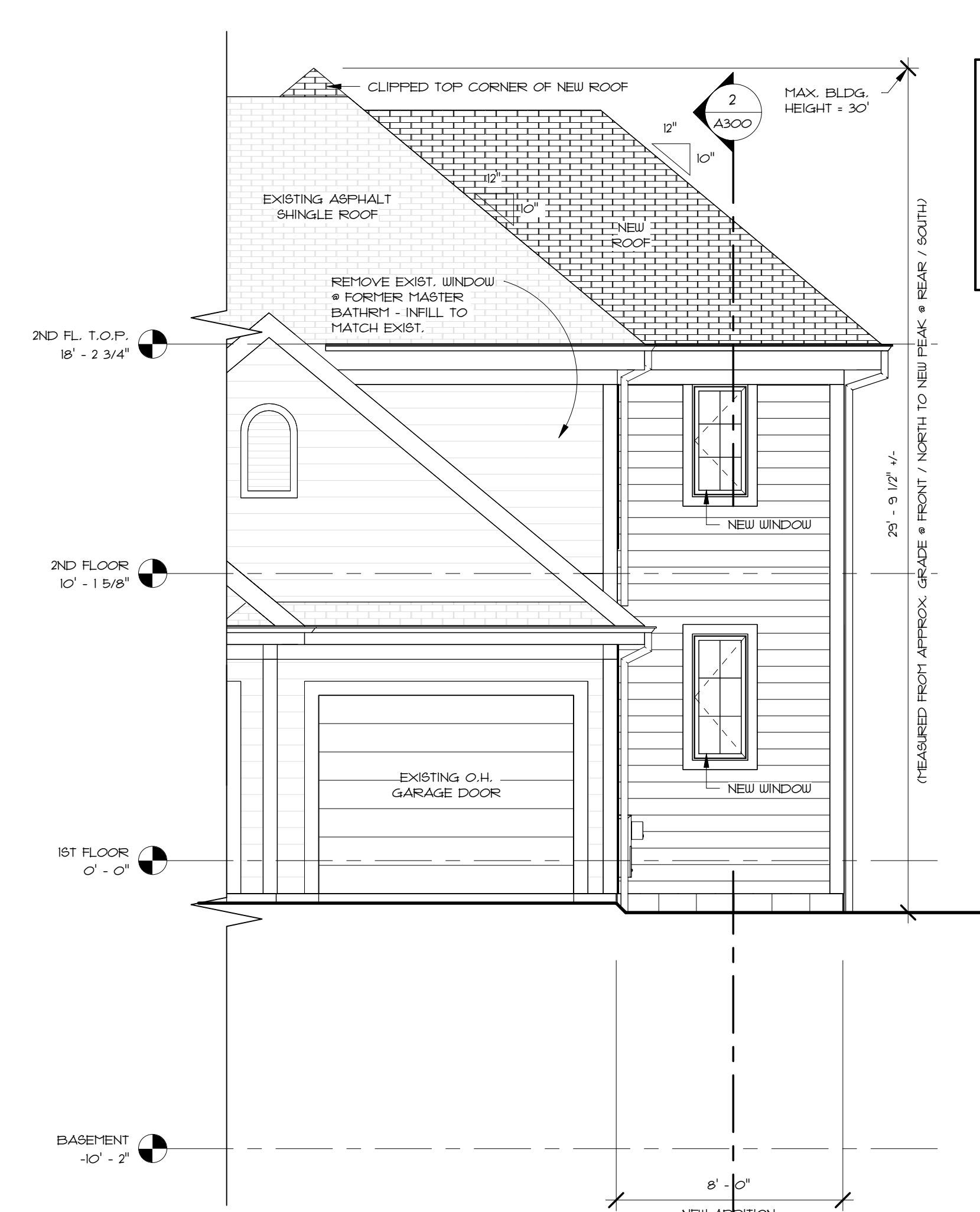
REVISIONS		
NO.	DATE	DESCRIPTION

DRAWING TITLE:
2ND FLOOR - NEW FLOOR PLAN

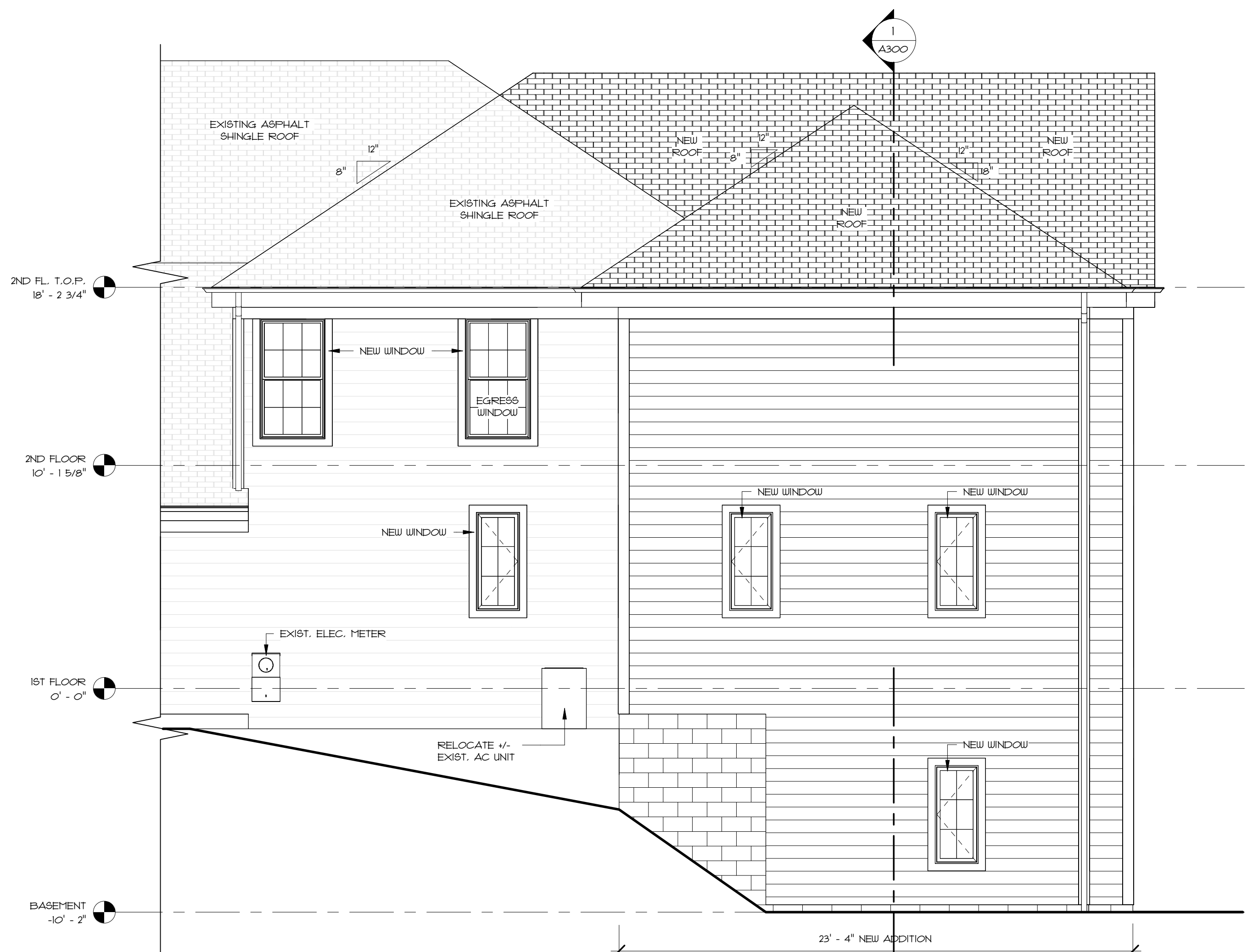
DRAWING NUMBER:
A102



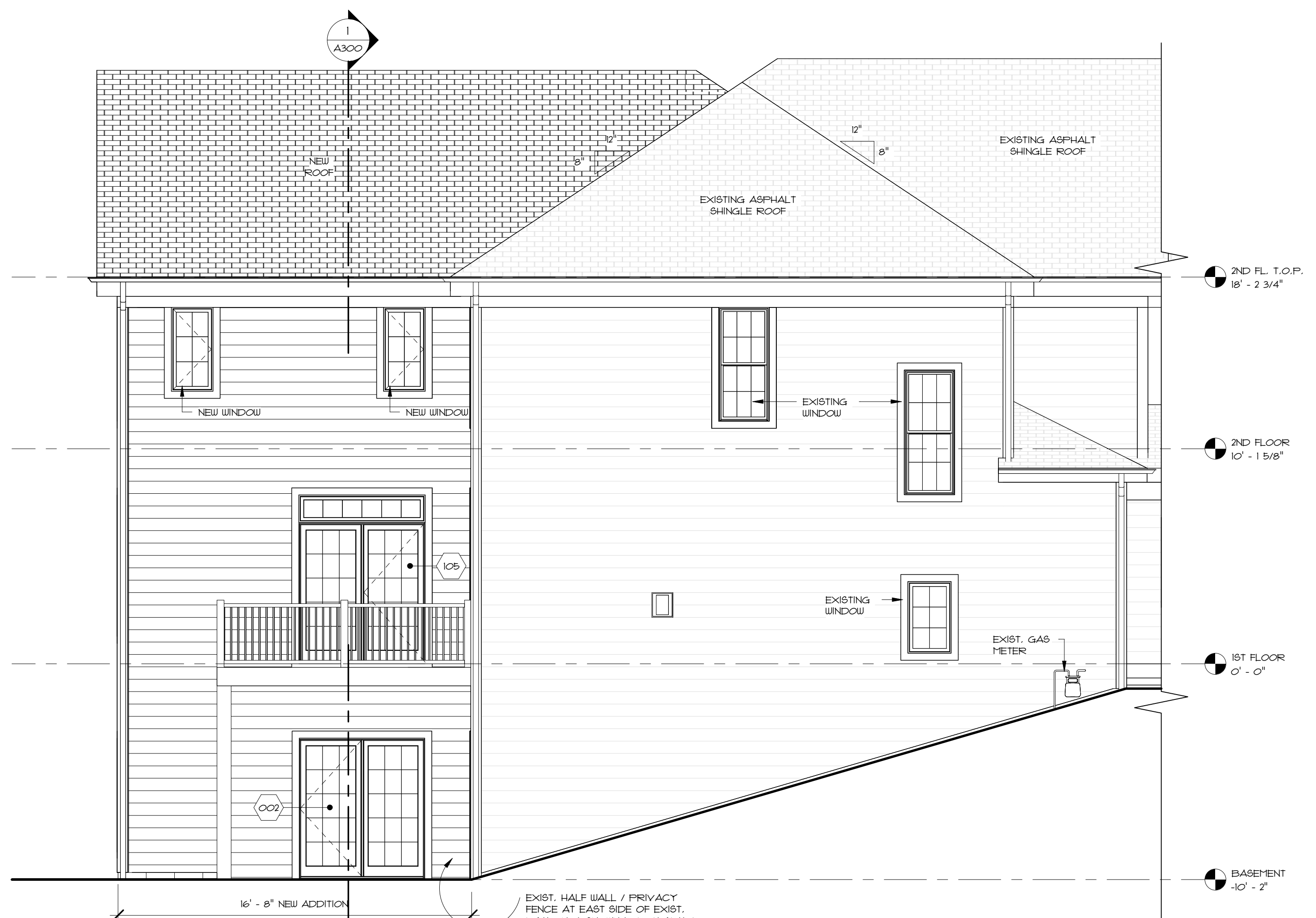
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

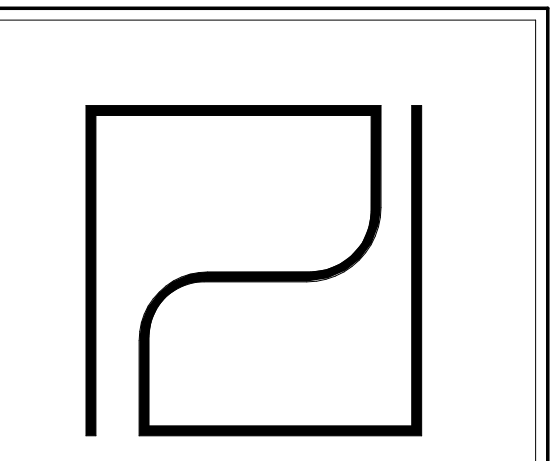


2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR MATERIAL NOTES:
SIDING:
 - NEW HORIZONTAL VINYL SIDING TO MATCH EXISTING COLOR & EXPOSURE
 - NEW TRIM AT WINDOWS, DOORS, CORNERS, FRIEZE, EAVE, ETC. TO MATCH EXISTING MATERIAL, COLOR, & PROFILE
ROOF:
 - NEW ASPHALT SINGLES TO MATCH EXISTING
 - NEW GUTTERS & DOWN SPOUTS TO MATCH EXISTING



PARDI PARTNERSHIP ARCHITECTS P.C.
 25 CIRCLE STREET, SUITE 101
 ROCHESTER, NEW YORK 14607
 TEL: (585) 454-4670
 office@pardiarchs.com

DESIGNER'S NOTE: THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT. THE ARCHITECT DOES NOT PROVIDE ENGINEERING, SURVEYING, OR OTHER PROFESSIONAL SERVICES UNLESS SPECIFICALLY NOTED OTHERWISE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT. THE ARCHITECT DOES NOT PROVIDE ENGINEERING, SURVEYING, OR OTHER PROFESSIONAL SERVICES UNLESS SPECIFICALLY NOTED OTHERWISE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT. THE ARCHITECT DOES NOT PROVIDE ENGINEERING, SURVEYING, OR OTHER PROFESSIONAL SERVICES UNLESS SPECIFICALLY NOTED OTHERWISE.

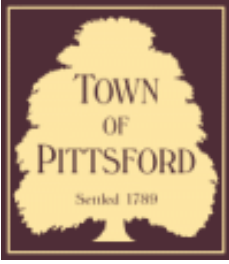
PRELIMINARY
NOT FOR CONSTRUCTION

FRIEDMAN ADDITION
 18 AMBER HILL DRIVE
 PITTSFORD, NY 14534

PROJECT NO.:	220045	
ISSUE DATE:	01/31/2024	
PLOT DATE:	1/31/2024 11:02:37 AM	
SCALE:	1/4" = 1'-0"	
DRAWN BY:	JNE	
REVISIONS		
NO.	DATE	DESCRIPTION

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING NUMBER:
A200



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C24-000006

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3330 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-16

Zoning District: C Commercial

Owner: 3330 Monroe Ave LLC

Applicant: Hanlon Architects

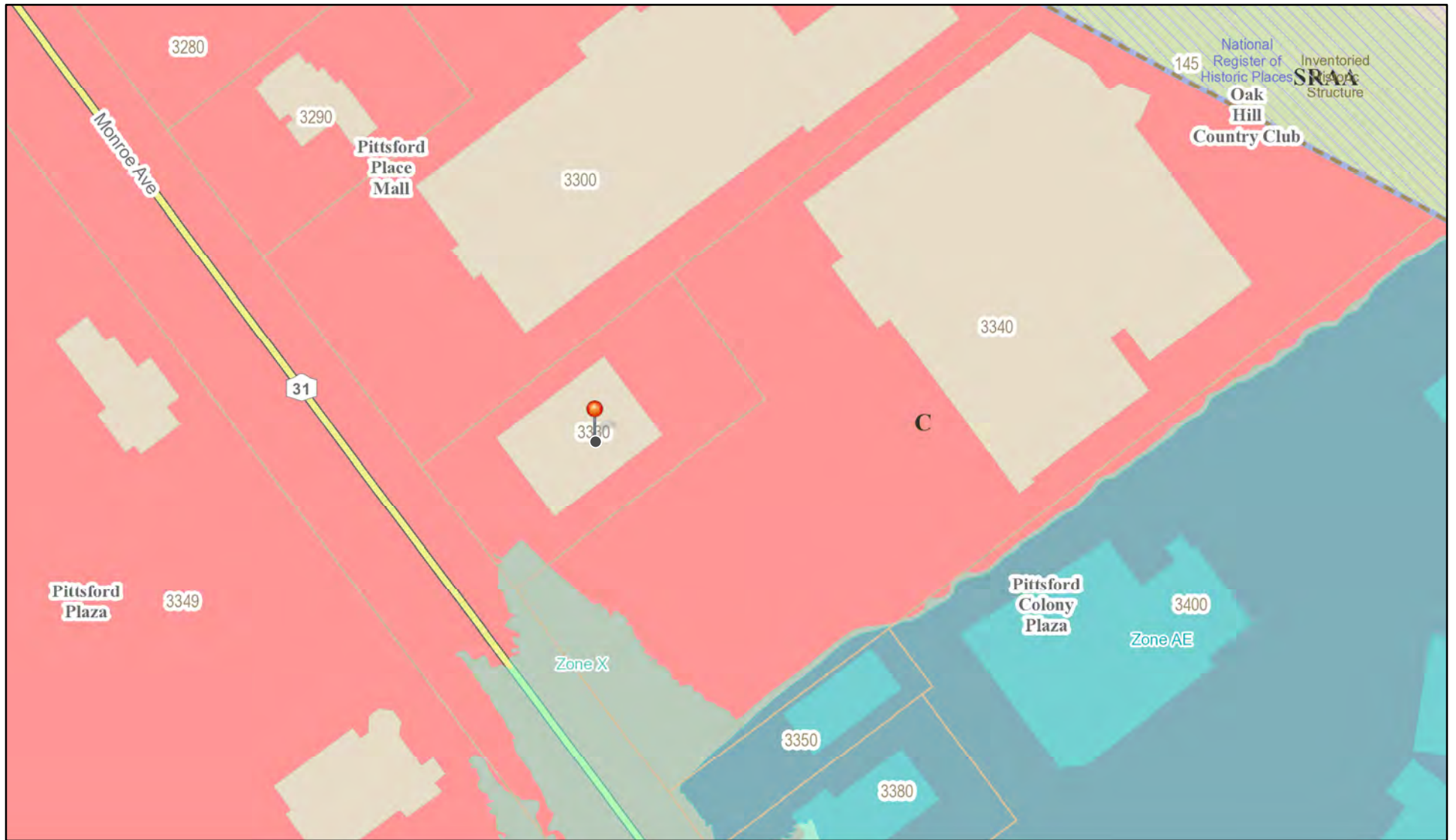
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

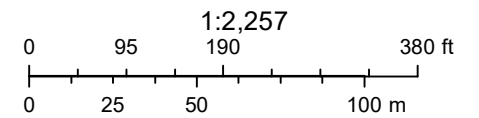
Project Description: Applicant is requesting design review for the exterior renovation of a commercial buildout. This property is zoned Commercial (C).

Meeting Date: February 8, 2024

RN Residential Neighborhood Zoning



Printed January 17, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



145

3300

3340

3400

3380

3350

3330

4173

4174

3280

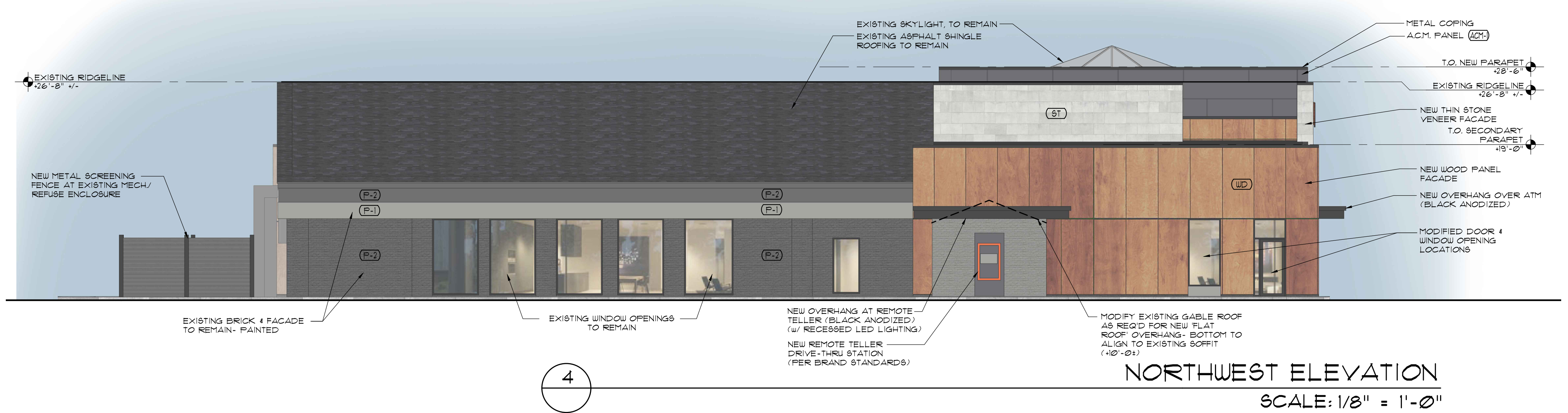
3290

3349

3240-3246

04/03/2021

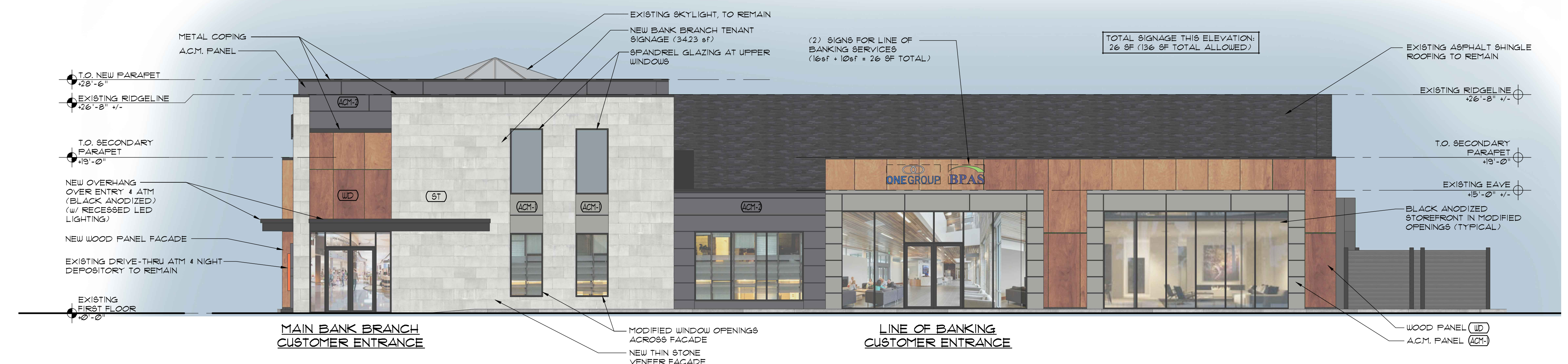
© All EagleView Technology Corporation



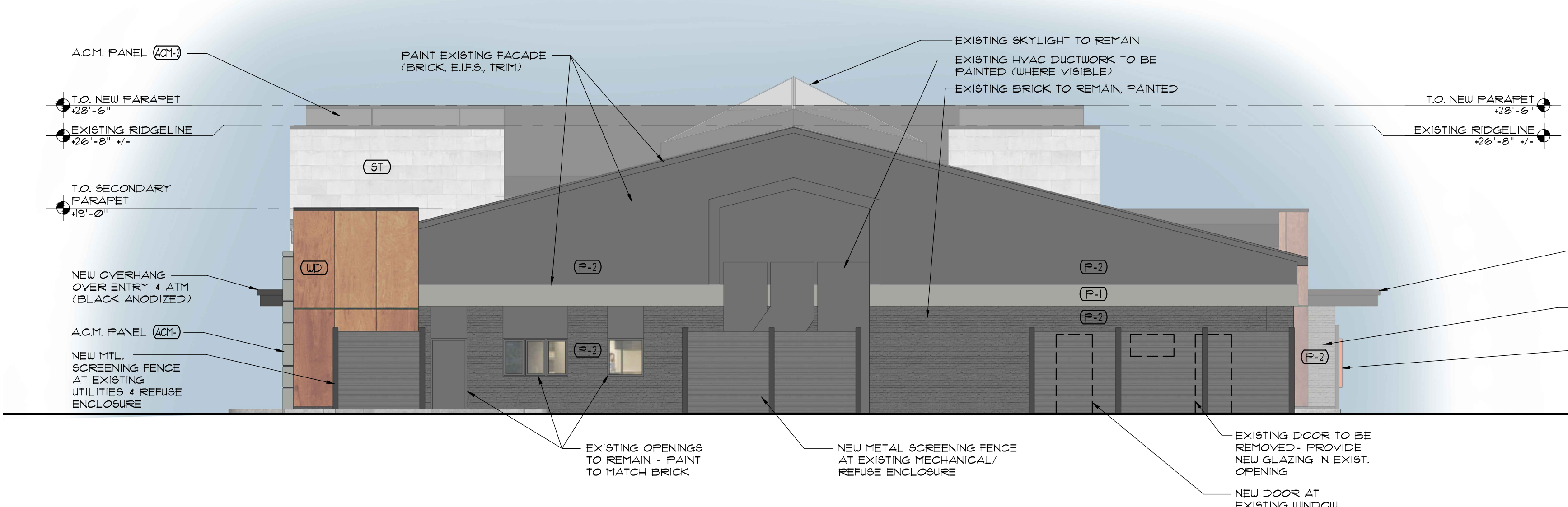
NORTHWEST ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND:

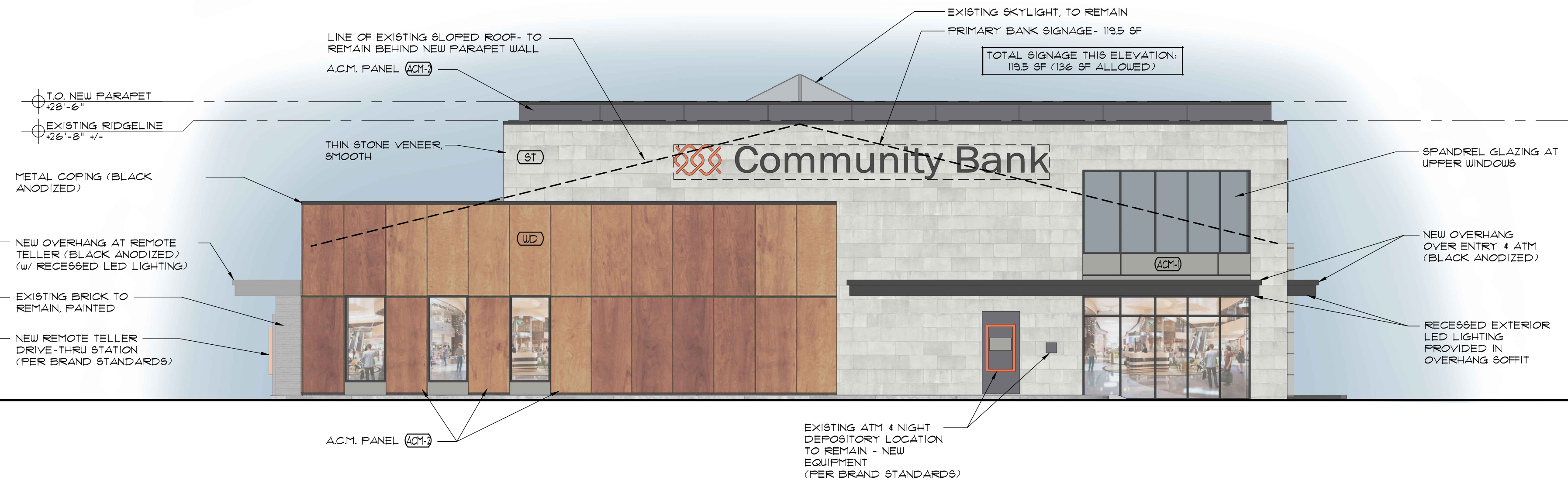
(ACM1)	ALUCOBOND ACM PANEL (OR EQ.) - COLOR: BEACHSTONE GRAY METALLIC
(ACM2)	ALUCOBOND ACM PANEL (OR EQ.) - COLOR: FOCUS BLACK II
(WP)	WOOD PANEL - PARKLEX (OR EQ.) - COLOR: RUSTIK
(ST)	THIN STONE VENEER - ROCKCAST OR EQ., 12"x24" - COLOR: CRYSTAL WHITE
(P1)	PAINT ON EXISTING FACADE - COLOR: 8U109 - GAUNTLET GRAY
(P2)	PAINT ON EXISTING FACADE - COLOR: 8U954 - CAVIAR
	ALUMINUM COPING / FRAMES: BLACK ANODIZED



SOUTHEAST (PARKING LOT) ELEVATION
 SCALE: 1/8" = 1'-0"



NORTHEAST (REAR PARKING LOT) ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTHWEST (MONROE AVENUE) ELEVATION
 SCALE: 1/8" = 1'-0"

ROCKCAST THIN VENEER -
SMOOTH - CRYSTAL WHITE

ST



SPANDREL GLAZING
AT UPPER LEVEL - CHARCOAL



ALUCOBOND - FOCUS BLACK II



(A.C.M.-2)

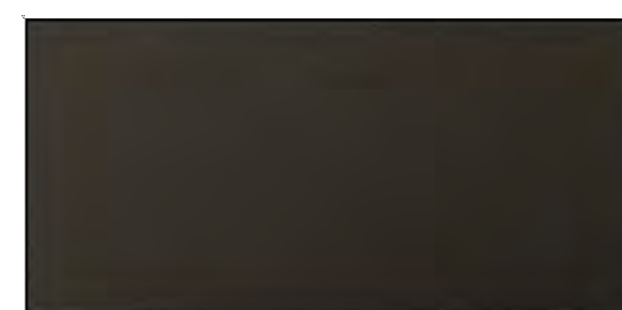


PARKLEX PANEL - RUSTIK

WD



BRAKE METAL/ A.C.M. FRAMES:
(MATCH EXISTING)
DARK BRONZE ANODIZED



ALUCOBOND - BEACHSTONE
GRAY METALLIC



(A.C.M.-1)

COMMUNITY BANK N.A.
3330 MONROE AVENUE

ROCKCAST THIN VENEER -
SMOOTH - CRYSTAL WHITE

ST



ALUCOBOND - FOCUS BLACK II



ACM-2

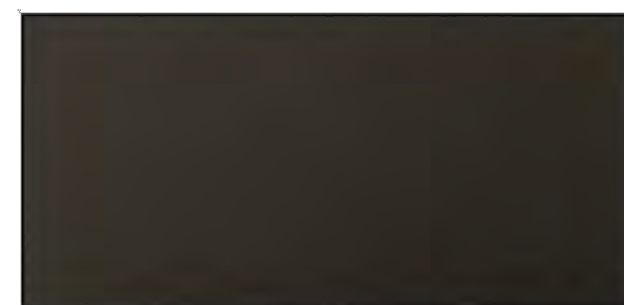
PARKLEX PANEL - RUSTIK



WD



BRAKE METAL/ A.C.M. FRAMES:
(MATCH EXISTING)
DARK BRONZE ANODIZED



SPANDREL GLAZING
AT UPPER LEVEL - CHARCOAL



ALUCOBOND - BEACHSTONE
GRAY METALLIC



ACM-1

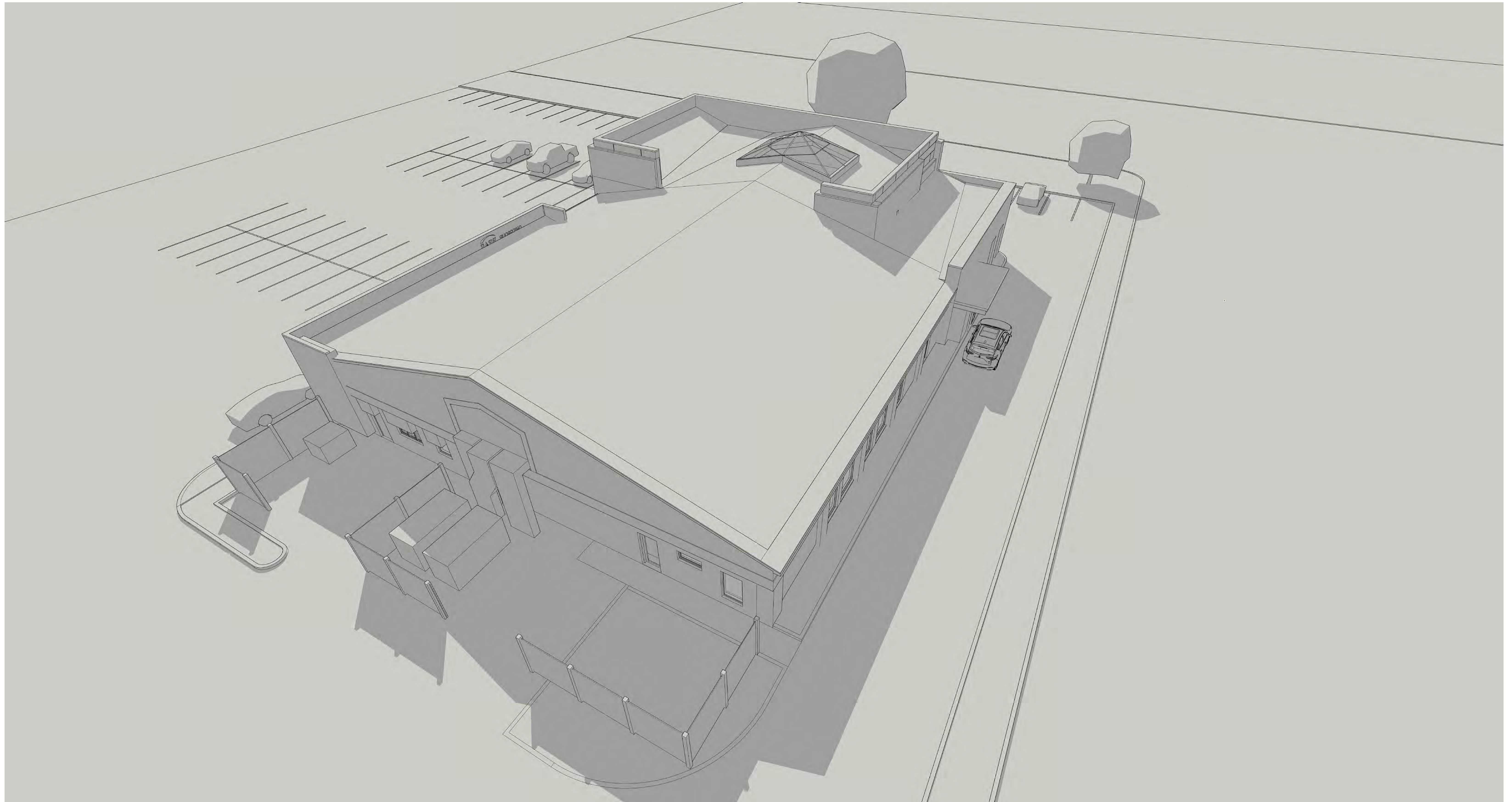
COMMUNITY BANK N.A.
3330 MONROE AVENUE



LEARNING
PREMIER
KITCHENS &
BATHS

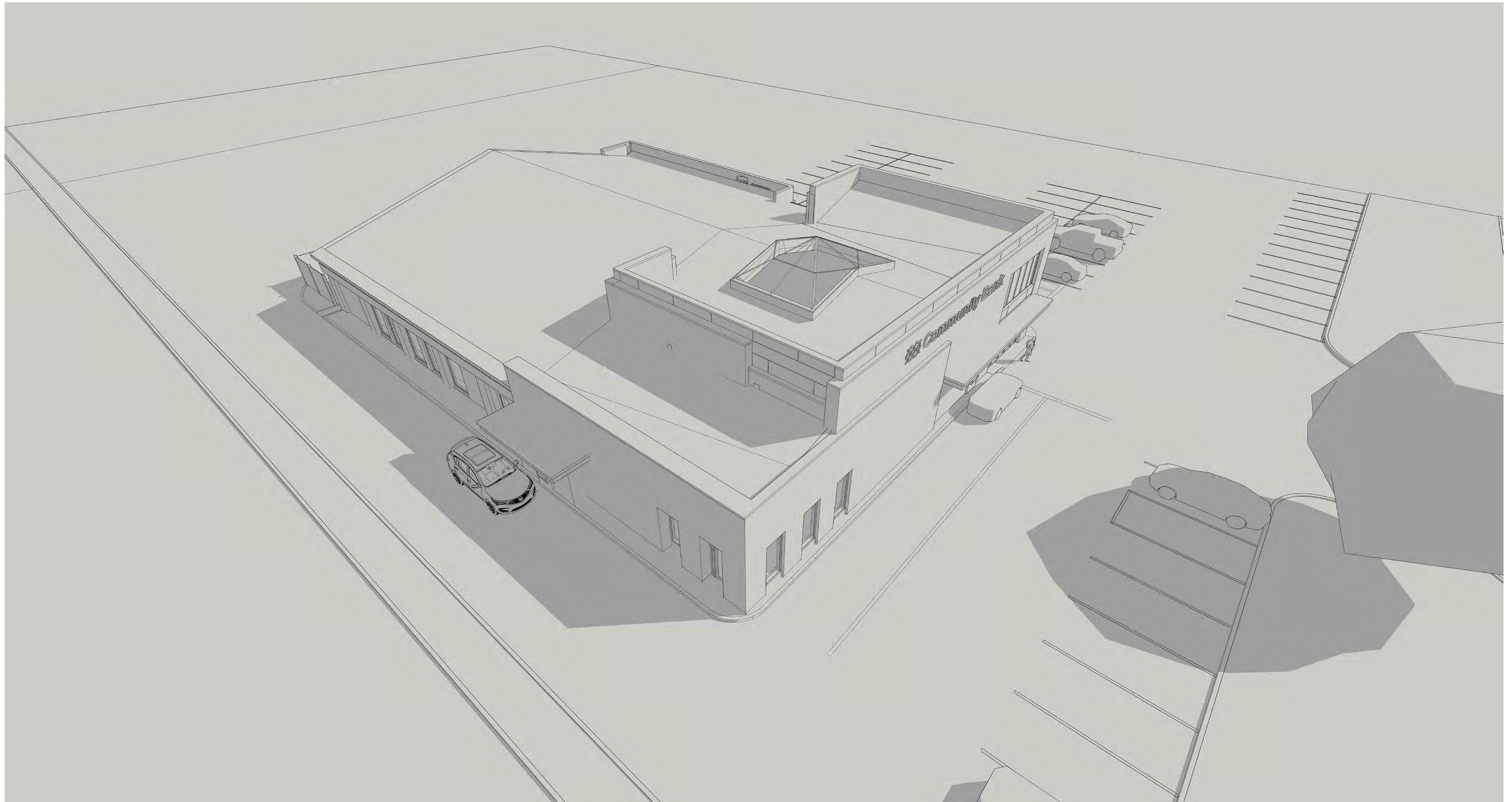
HOME
STOVE

Community Bank



BIRD'S-EYE VIEW 1

COMMUNITY BANK N.A.
3330 MONROE AVENUE



BIRD'S-EYE VIEW 2

COMMUNITY BANK N.A.
3330 MONROE AVENUE

NO. 1000 UNIVERSITY AVENUE
ROCHESTER, NY 14620
WWW.HANLONARCHITECTS.COM

NO. 1000 UNIVERSITY AVENUE
ROCHESTER, NY 14620
WWW.HANLONARCHITECTS.COM

Site plan sketch is only intended to locate graphically illustrate alterations to existing site and building. This is not to be substituted for a certified instrument survey of existing or proposed conditions.

Site plan information taken from instrument surveys by Denluck Hyde Engineering and Surveying Associates, P.C., (LS 045372), dated February 9, 1987. Existing layout taken from survey information.

Proposed site and building alterations & detail updated by Hanlon Architects.



1

SITE LAYOUT SKETCH
SCALE: 1" = 30'-0"

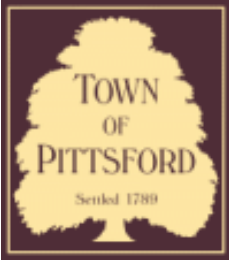


HANLON
ARCHITECTS

1000 UNIVERSITY AVENUE
ROCHESTER, NY 14620
WWW.HANLONARCHITECTS.COM

COMMUNITY BANK N.A.
3330 MONROE AVENUE
ROCHESTER, NEW YORK

REVISED:	
DATE:	1-17-24
DRAWING TITLE:	SITE LAYOUT SKETCH
SHEET NO.:	PB-1
PROJECT NO.:	23-191



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000005

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 16 Ravenna PITTSFORD, NY 14534

Tax ID Number: 177.03-5-29

Zoning District: IZ Incentive Zoning

Owner: Gu, Yang

Applicant: James Beswick Contractor

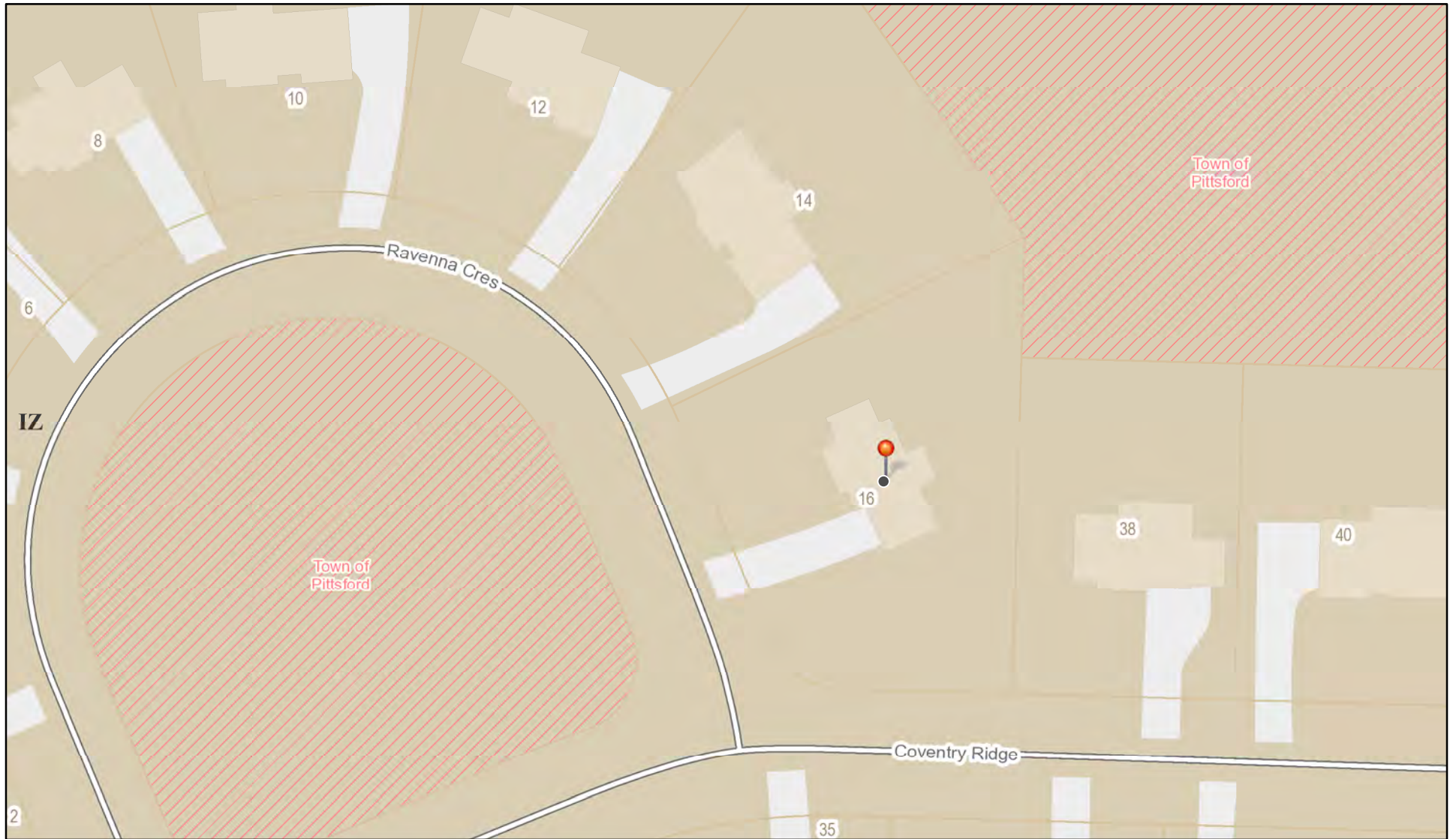
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
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- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

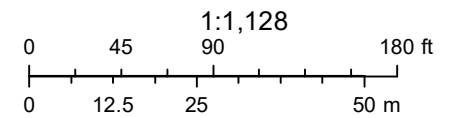
Project Description: Applicant is requesting design review for a 308-square-foot garage addition to the south side of the home.

Meeting Date: February 08, 2024

RN Residential Neighborhood Zoning



Printed February 1, 2024



Town of Pittsford GIS

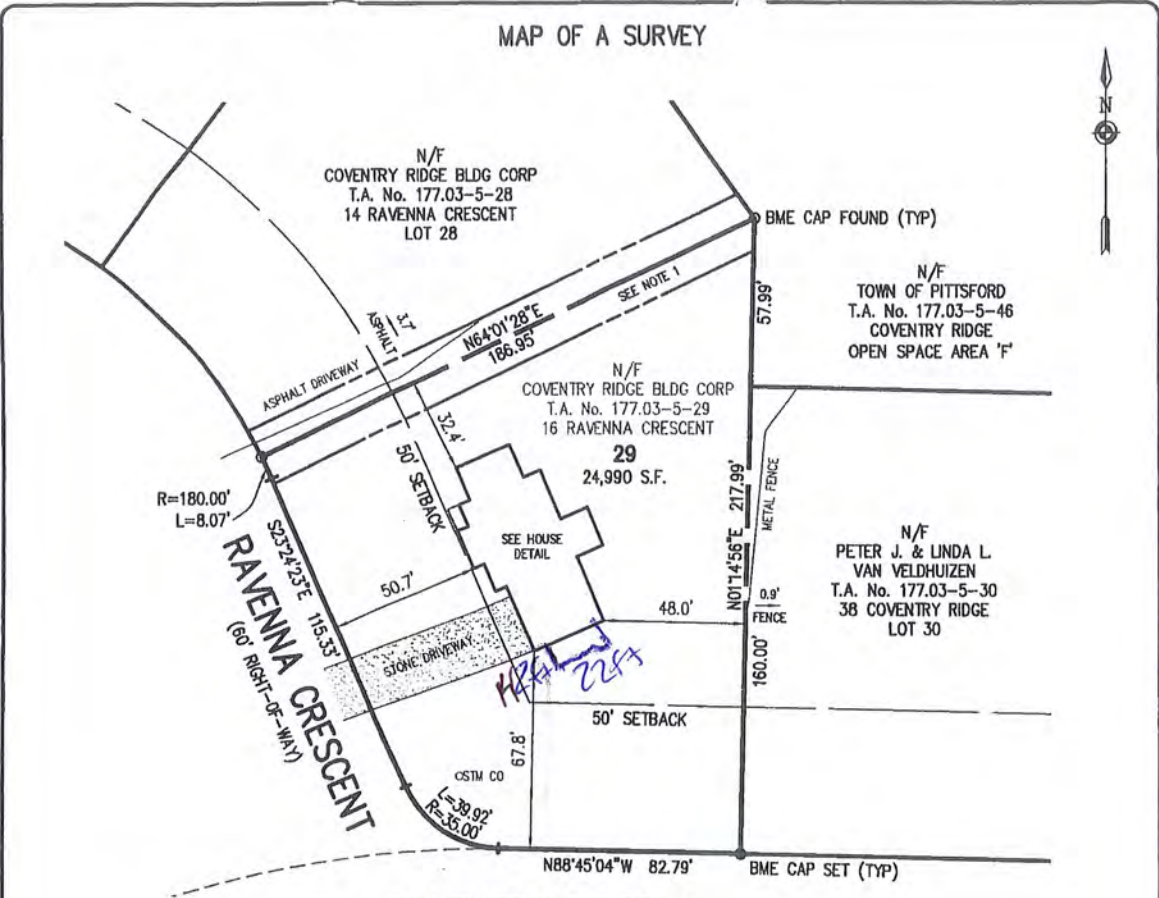
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04/05/2021

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MAP OF A SURVEY



COVENTRY RIDGE
(60' RIGHT-OF-WAY)

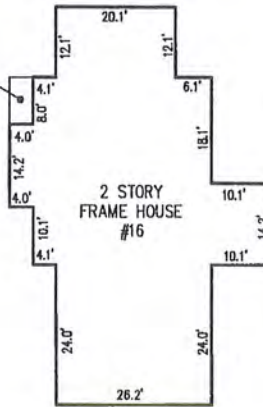
REFERENCES:

1. A PLAN PREPARED BY BME ASSOCIATES ENTITLED "COVENTRY RIDGE, SECTION 2, FINAL SUBDIVISION PLAT" AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 349 OF MAPS, PAGE 77.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. PARCEL SUBJECT TO A SANITARY EASEMENT TO THE TOWN OF PITTSFORD PER LIBER 11532 OF DEEDS, PAGE 54.
2. SETBACK REQUIREMENTS:
FRONT YARD: 50'
SIDE YARD: 10'
REAR YARD: 10'

4.0'x8.0' COVERED CONCRETE PORCH



HOUSE DETAIL
(NOT TO SCALE)

WE: BME ASSOCIATES, CERTIFY TO: SPALL HOMES, THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON OCTOBER 16, 2020 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: *Gregory B. Bell*
GREGORY B. BELL, NYSPLS NO. 050661

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46

CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHANGE." BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY, OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHANGE," OR SIMILAR INSTRUMENT.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW.

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

19 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-377-7360

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BME Associates

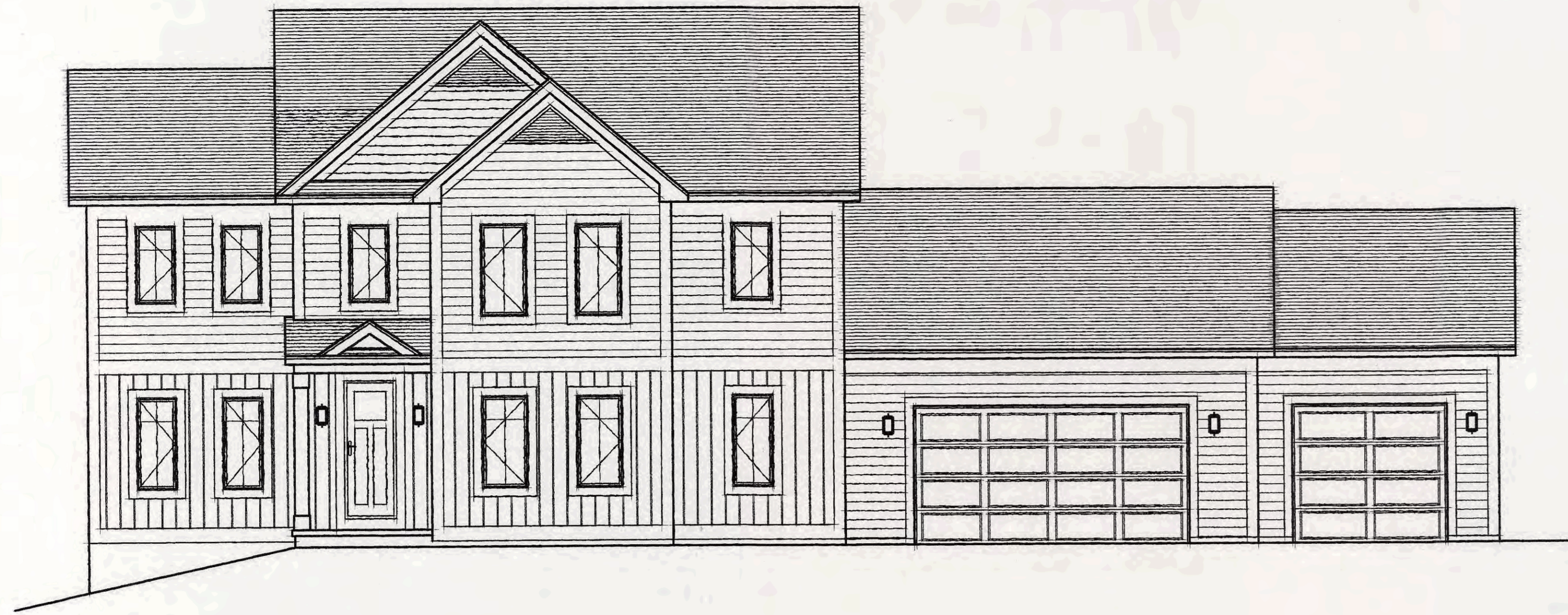


LOT 29 COVENTRY RIDGE SUB. SEC. 2
TOWN OF PITTSFORD MONROE COUNTY NEW YORK

DRAWN BY: CMM
DATE: 11-04-20

SCALE: 1"=50'
DWG NO: 9502E-52

Gregory B. Bell



YANG GU GARAGE ADDITION

LOT 29 COVENTRY RIDGE
PITTSFORD, NY
BUILDER : JIM BESWICK
PROJECT 6777

SHEET INDEX

- C-1 COVER SHEET
- 1/2 ELEVATIONS
- 2/2 FOUNDATION, FLOOR PLAN & SECTIONS

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS)

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS.

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE. GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED.

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION WHERE REQUIRED BY THE CODE OFFICIAL. AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 l/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (7.5 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50.

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8, WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS.

R403.6 (ECCC) MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT COMPLIES WITH THE REQUIREMENTS OF THE RCNYS OR MCONYS, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.6.1 (ECCC) WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G243.1.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE LOCATED BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ⁻⁶ = 1.9 Fc ¹ = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

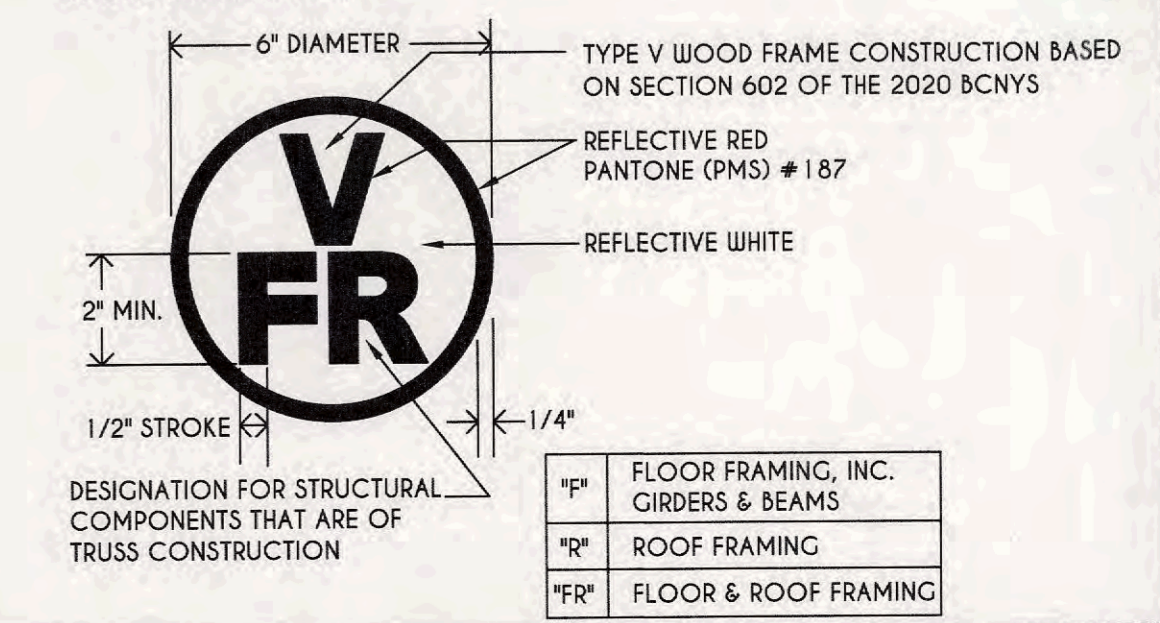
DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

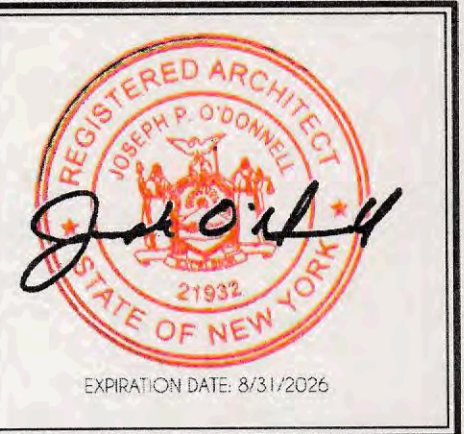
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



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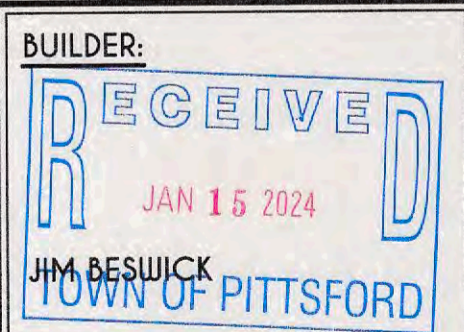


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REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

YANG GU ADDITION
LOT 29 COVENTRY RIDGE
PITTSFORD, NY



COVER PAGE

GARAGE ADDITION

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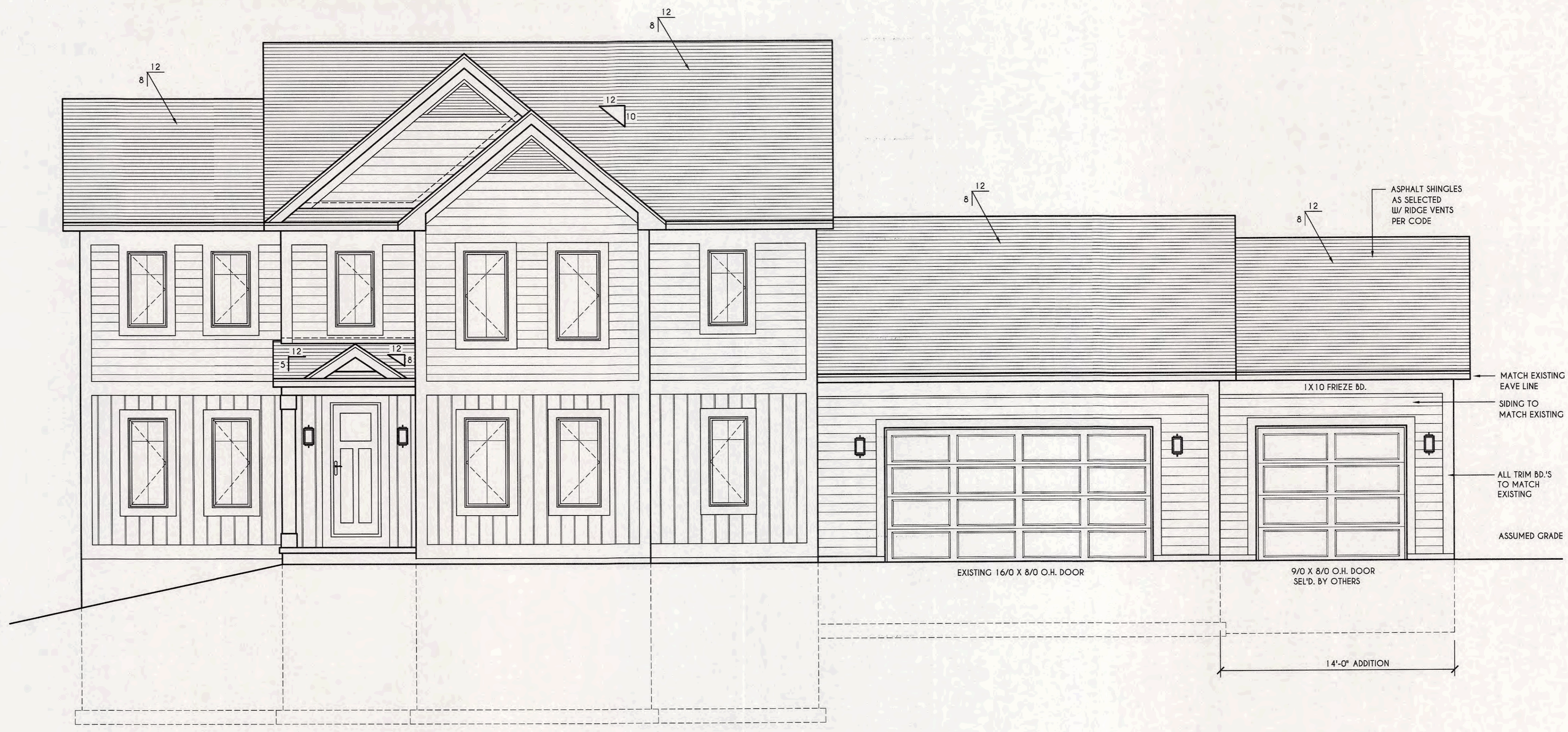
CLIENT/LOCATION:
 YANG GU ADDITION
 LOT 29 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 JIM BESWICK

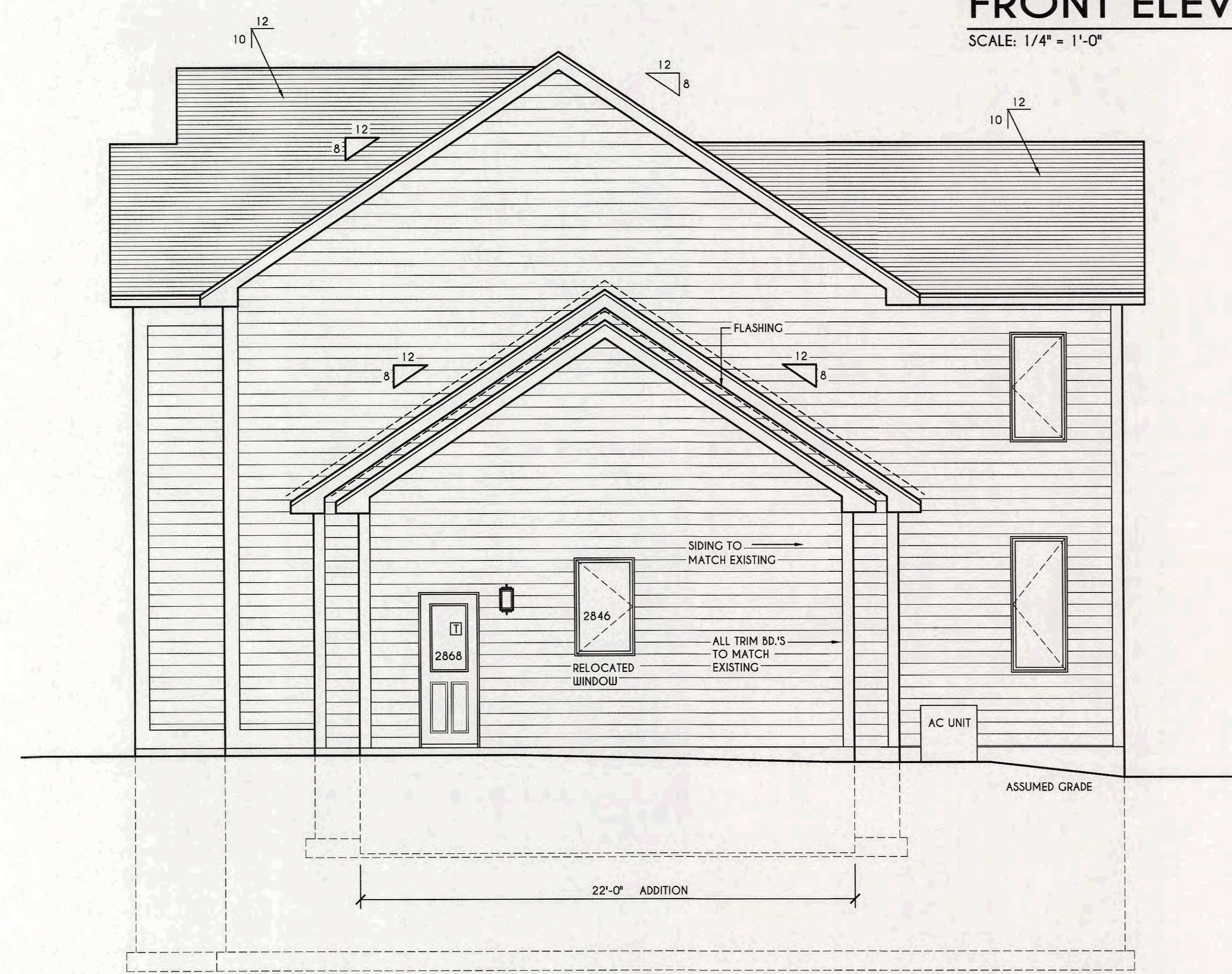
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GARAGE ADDITION

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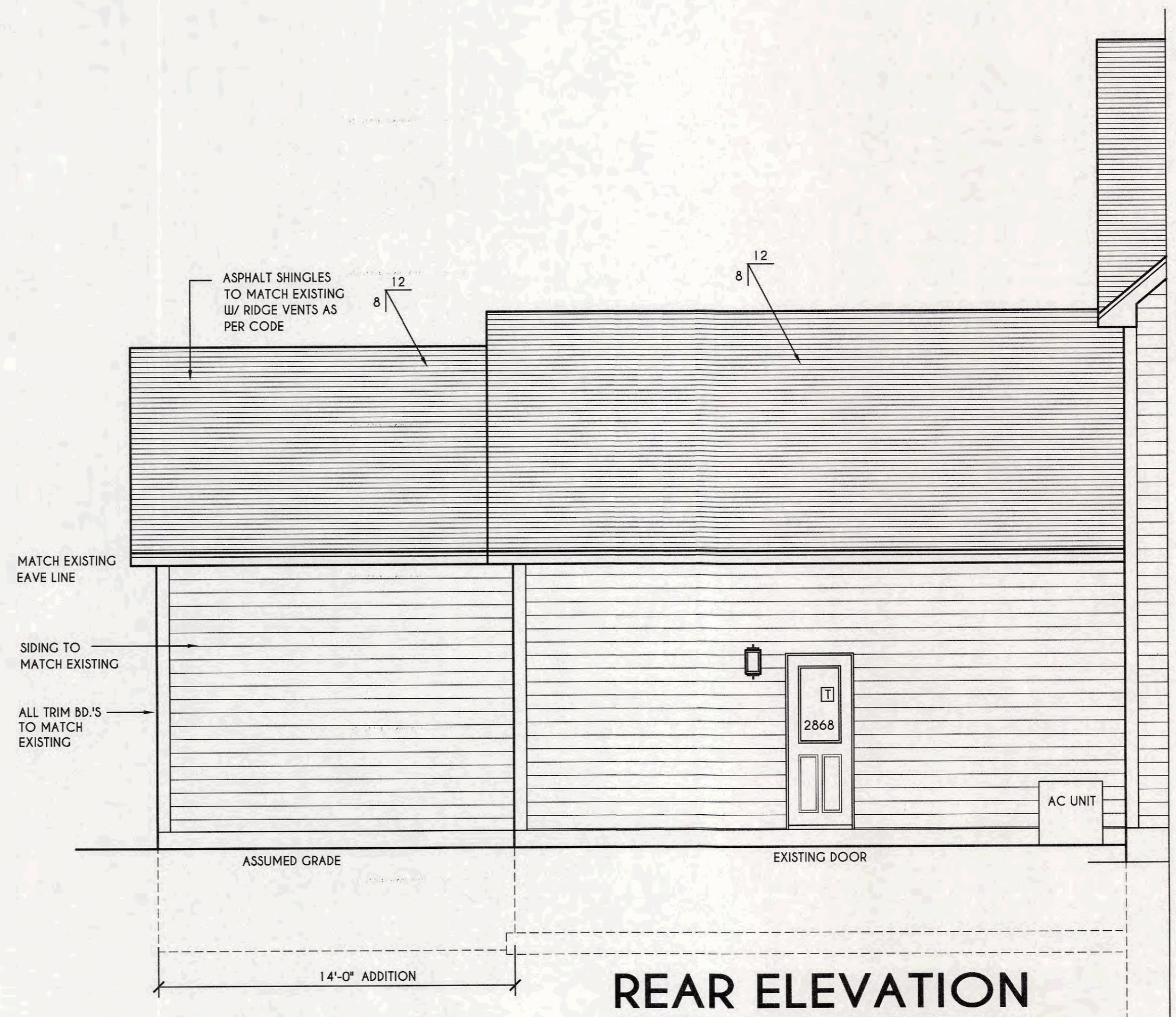
GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.
 CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITION DIMENSIONS AND REPORT VARIANCES THAT MAY IMPACT STRUCTURE AND / OR CLEARANCE REQUIREMENTS
 ALL NEW CONSTRUCTION FINISHED MATERIALS TO MATCH EXISTING UNLESS NOTED OTHERWISE
 BUILDER TO CONFIRM FINISHED FLOOR HEIGHT RELATIVE TO ADDITION. ADJUST FOUNDATION AS REQUIRED
 FINAL CRAWLSPACE COURSING AND / OR FOOTING DEPTH SHALL BE DETERMINED BY FINISHED GRADE



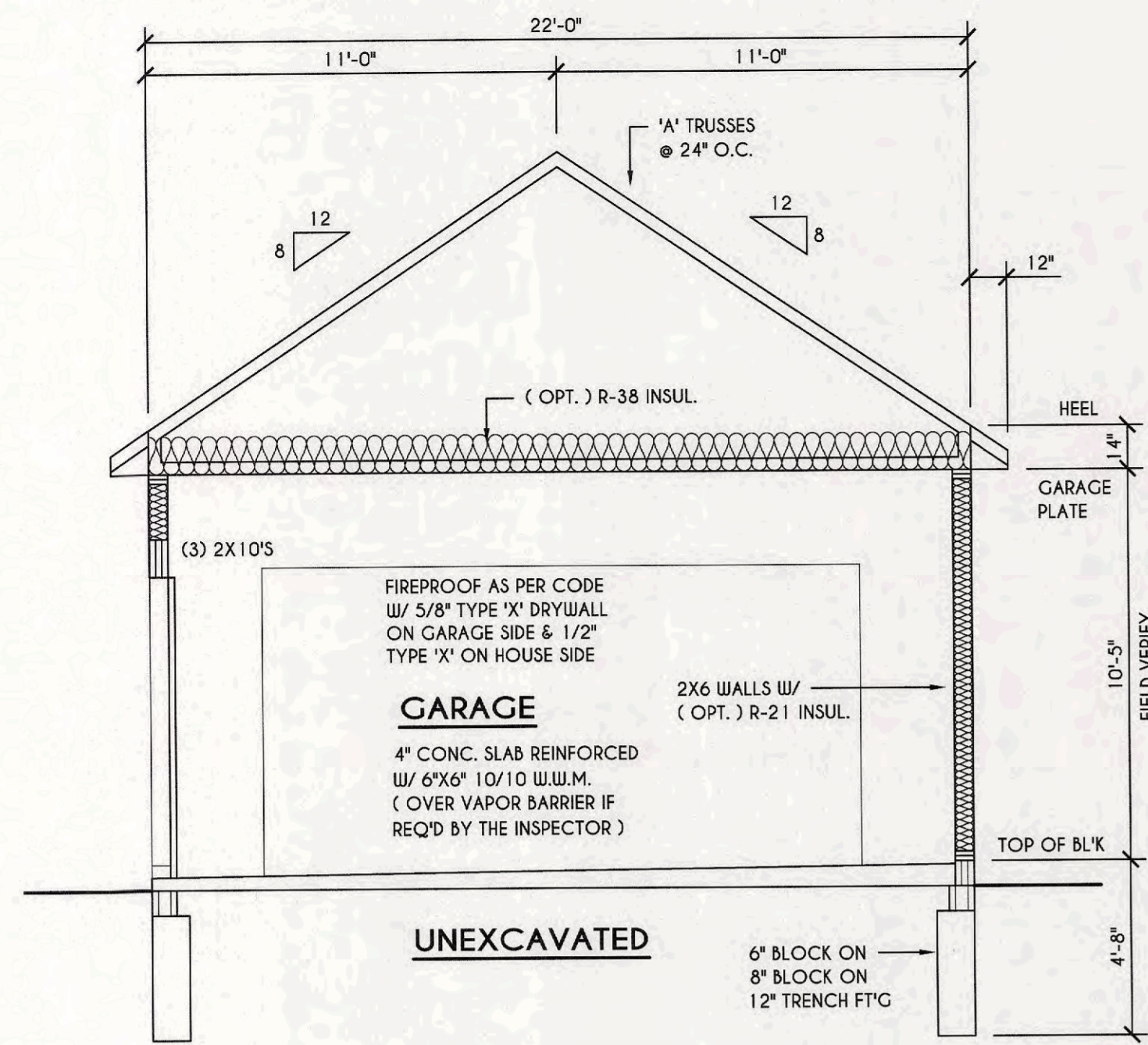
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

GARAGE FLOOR PLAN

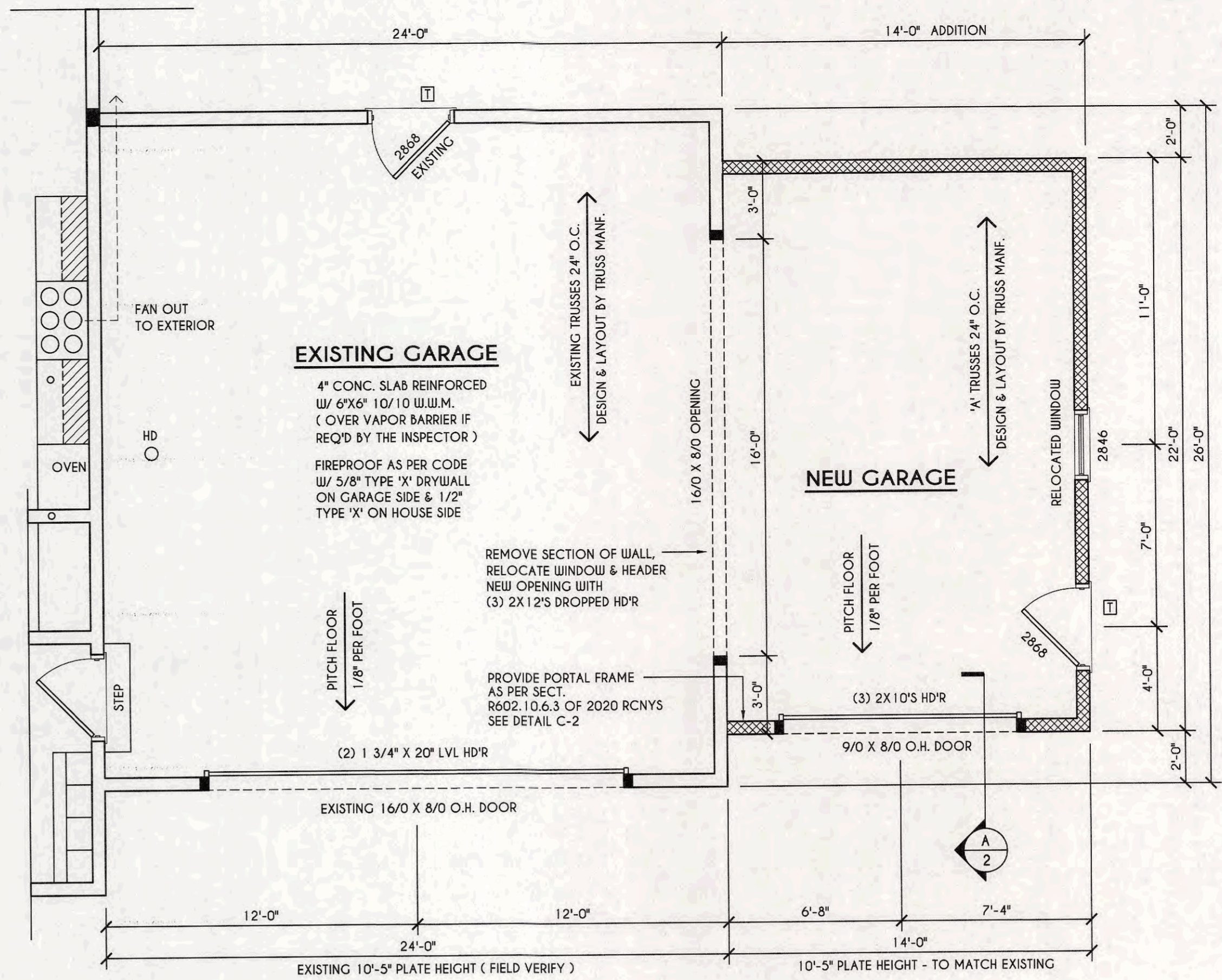
SCALE: 1/4" = 1'-0"
GENERAL FIRST FLOOR PLAN NOTES:
 GARAGE PLATE HGT TO BE 9'-7" TO MATCH EXISTING (FIELD VERIFY)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325

FRAMING LEGEND:

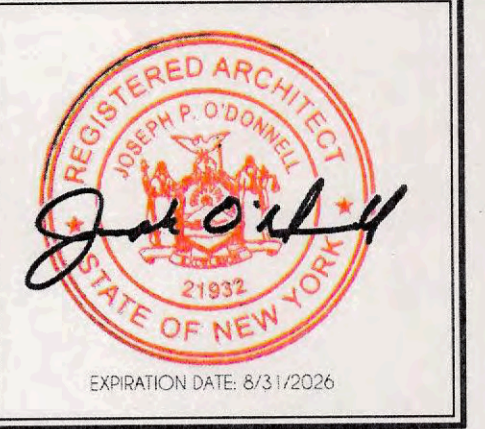
- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- NEW 2X6 STUDS @ 16" O.C.
- EXISTING HOUSE WALLS

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



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3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

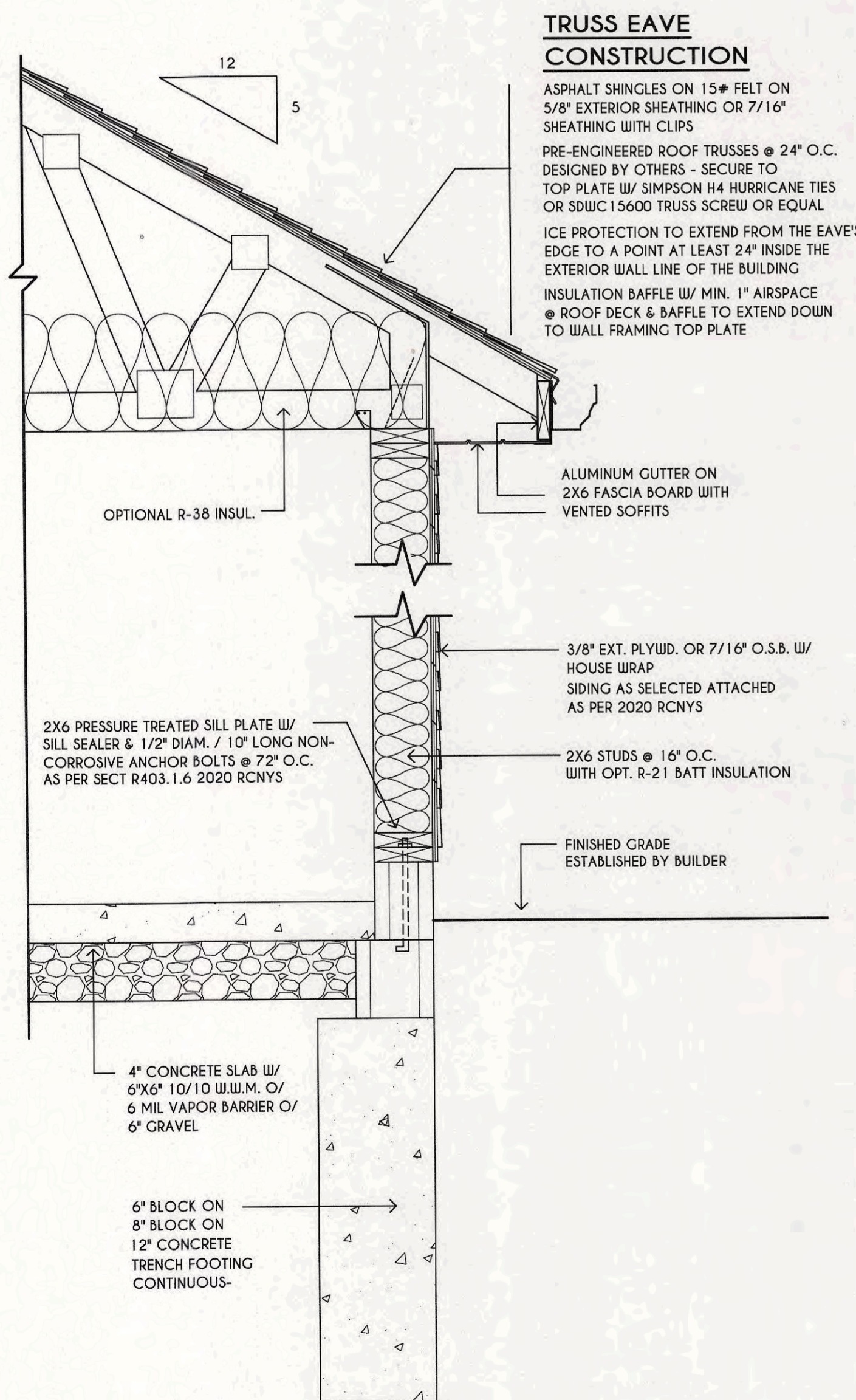
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 YANG GU ADDITION
 LOT 29 COVENTRY RIDGE
 PITTSFORD, NY

BUILDER:
 JIM BESWICK

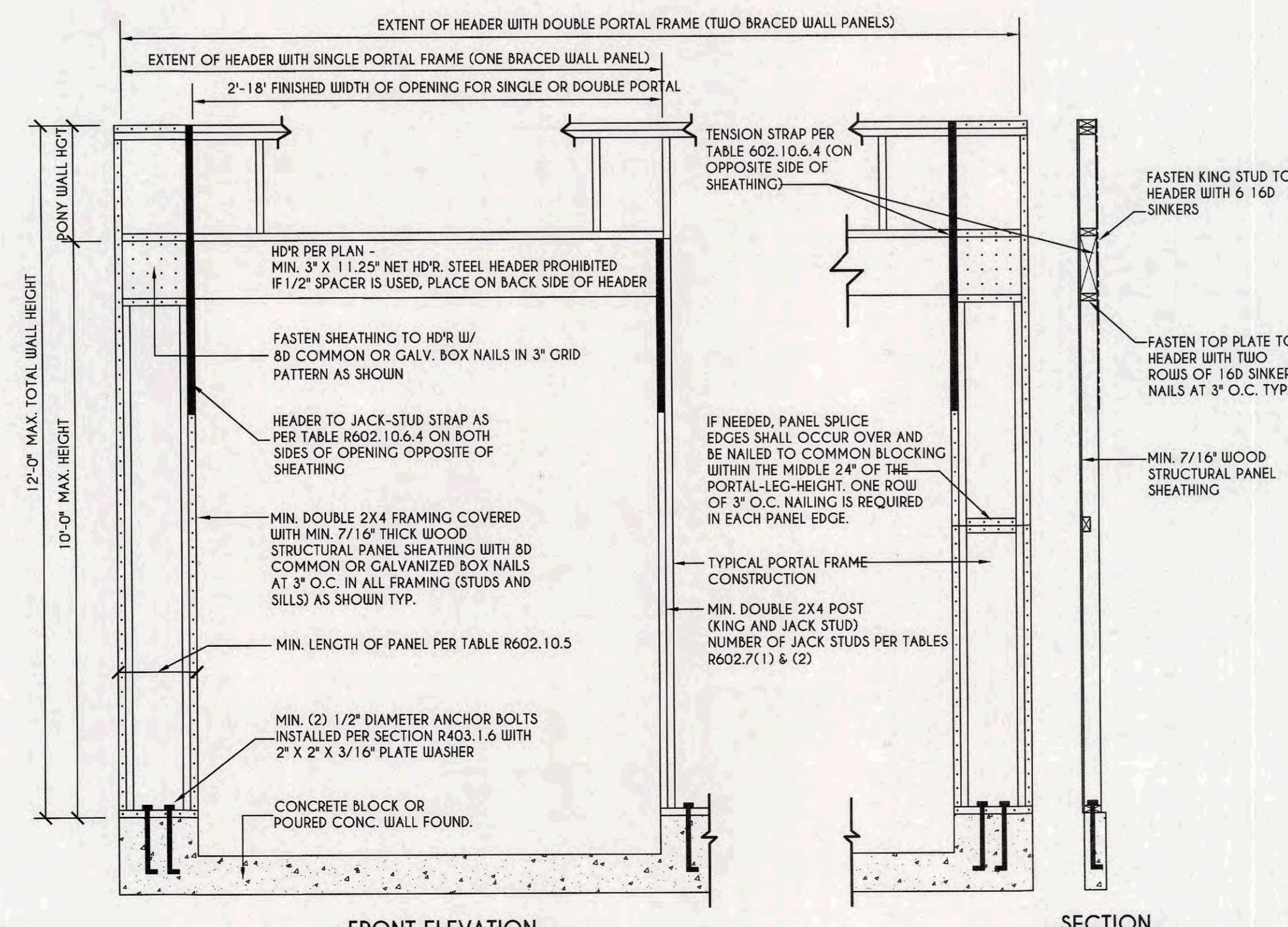
FOUNDATION PLAN
GARAGE ADDITION

drawn: CDK	checked: CSB
scale: AS NOTED	date: 1 / 24
PROJECT: 6777	sheet: 2 / 2



TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDWIC 15600 TRUSS SCREW OR EQUAL
 ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE

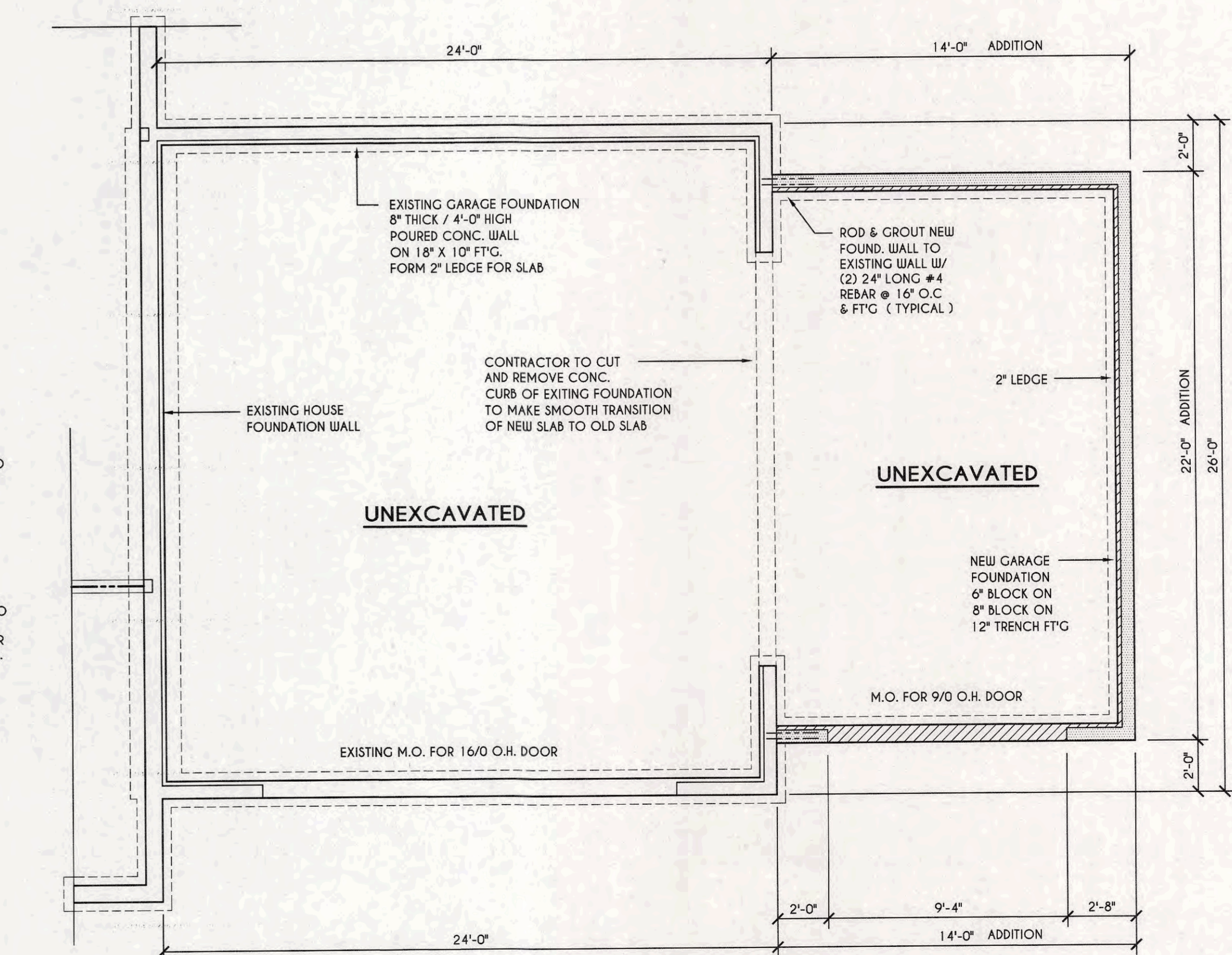


FRONT ELEVATION

SECTION

C PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S. FIGURE R602.10.6.3



GARAGE FOUNDATION PLAN

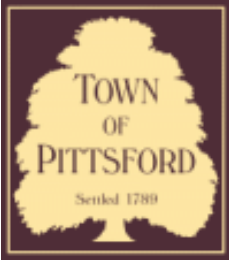
SCALE: 1/4" = 1'-0"
GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

FRAMING LEGEND:

- EXISTING FOUNDATION
- NEW FOUNDATION WALLS

B BUILDING SECTION
SCALE: 1" = 1'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B24-000006

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Old Homestead Road PITTSFORD, NY 14534

Tax ID Number: 192.01-3-21

Zoning District: RN Residential Neighborhood

Owner: Masi Enterprises Inc.

Applicant: Mascot Inc.

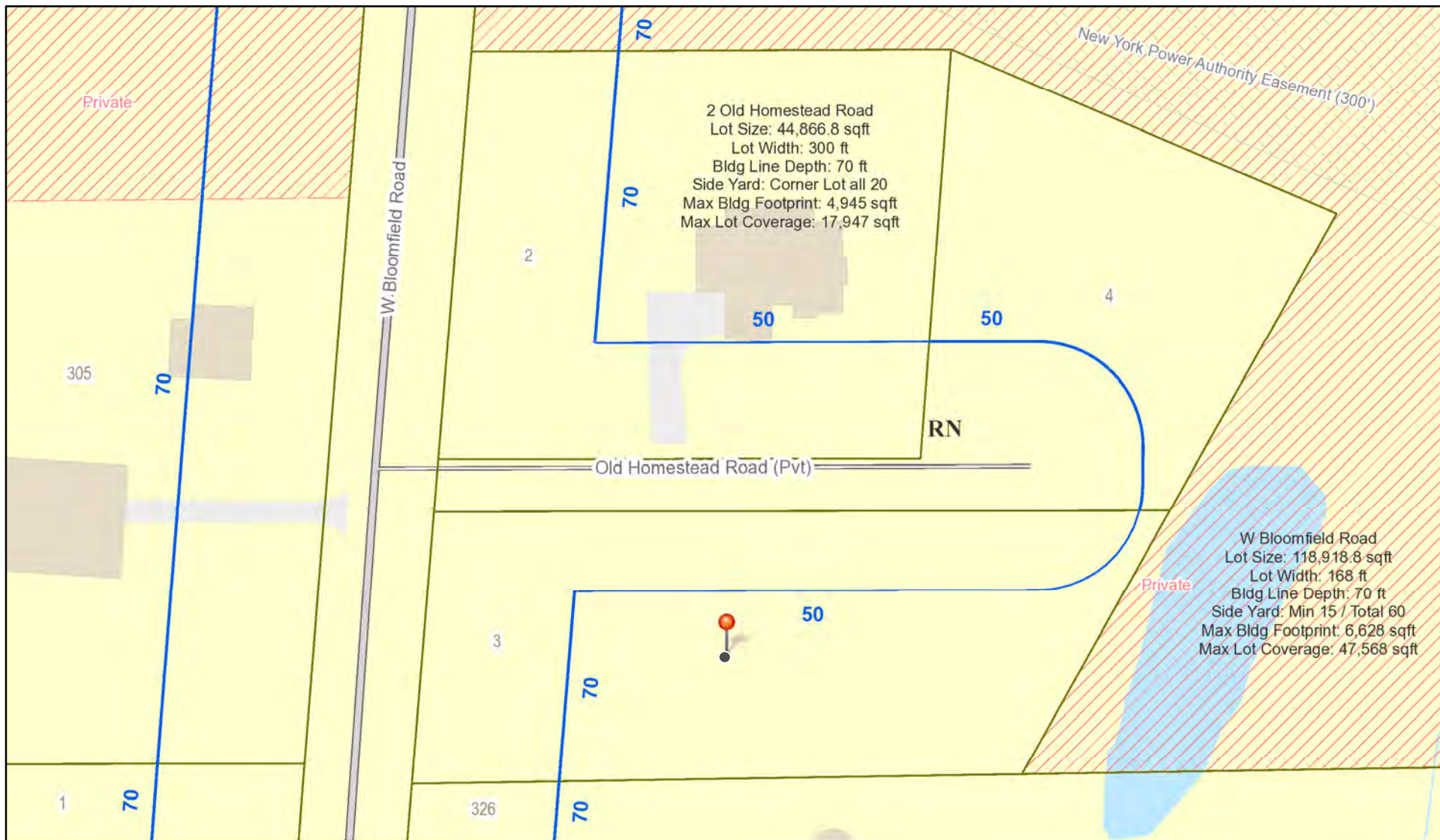
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

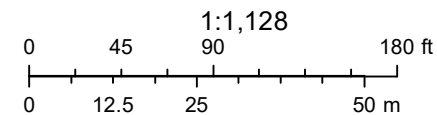
Project Description: Applicant is requesting design review for a 2,981-square-foot, two-story home in the Country Pointe Subdivision.

Meeting Date: February 08, 2024

RN Residential Neighborhood Zoning



Printed February 1, 2024



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{30}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH $w.g.$ (50 PASICALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH $w.g.$ (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH $w.g.$ (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 (ECCC) MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT COMPLIES WITH THE REQUIREMENTS OF THE RCNYS OR MCONYS, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 (ECCC) WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

BRIFKANI RESIDENCE

LOT 21 COUNTRY POINTE
PITTSFORD, NY
BUILDER : MASCOT INC.

PLAN 2981 / PROJECT 15445 D

SHEET INDEX

- C-1 COVER SHEET
- 1/6 FRONT & REAR ELEVATIONS
- 2/6 SIDE ELEVATIONS & ROOF PLAN
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE PUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAUNING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN QUITCHES. FLASHINGS SHALL BE PROVIDED AS REQD. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4" HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

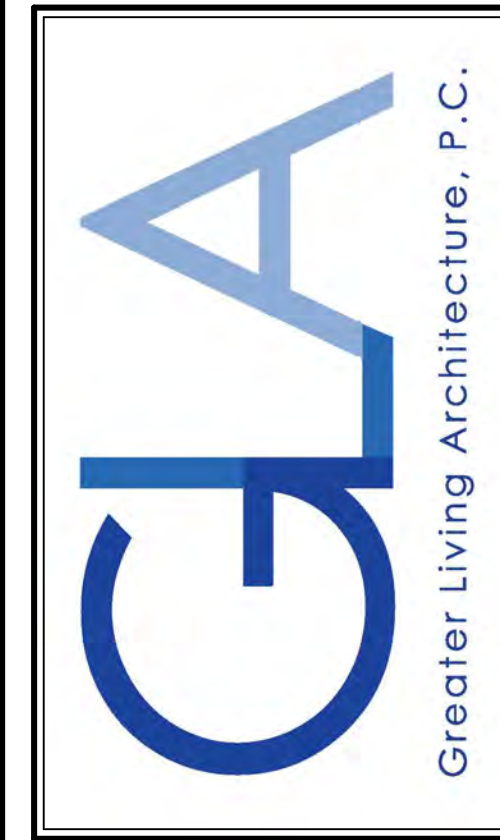
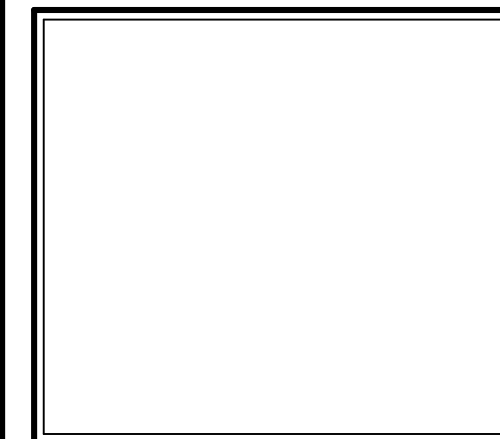
IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

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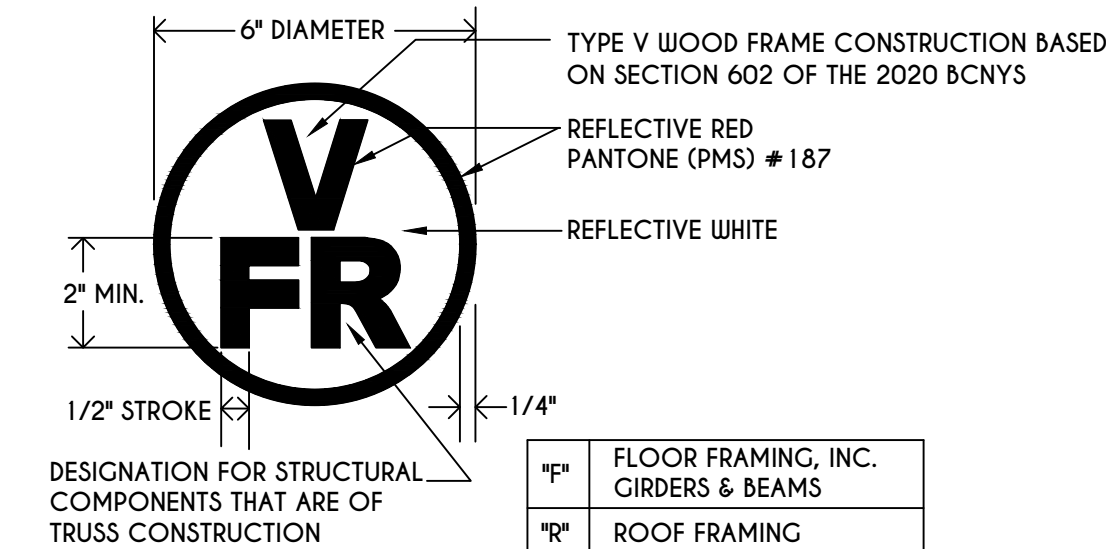
BRIFKANI RESIDENCE
LOT 21 COUNTRY POINTE
PITTSFORD, NY

BUILDER:

MASCOT INC.

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



COVER PAGE

GLA PLAN 2981

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ELEVATIONS

GLA PLAN 2981

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**TABLE M1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS**

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SL: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

**TABLE M1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS a,b**

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

**TABLE M1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS**

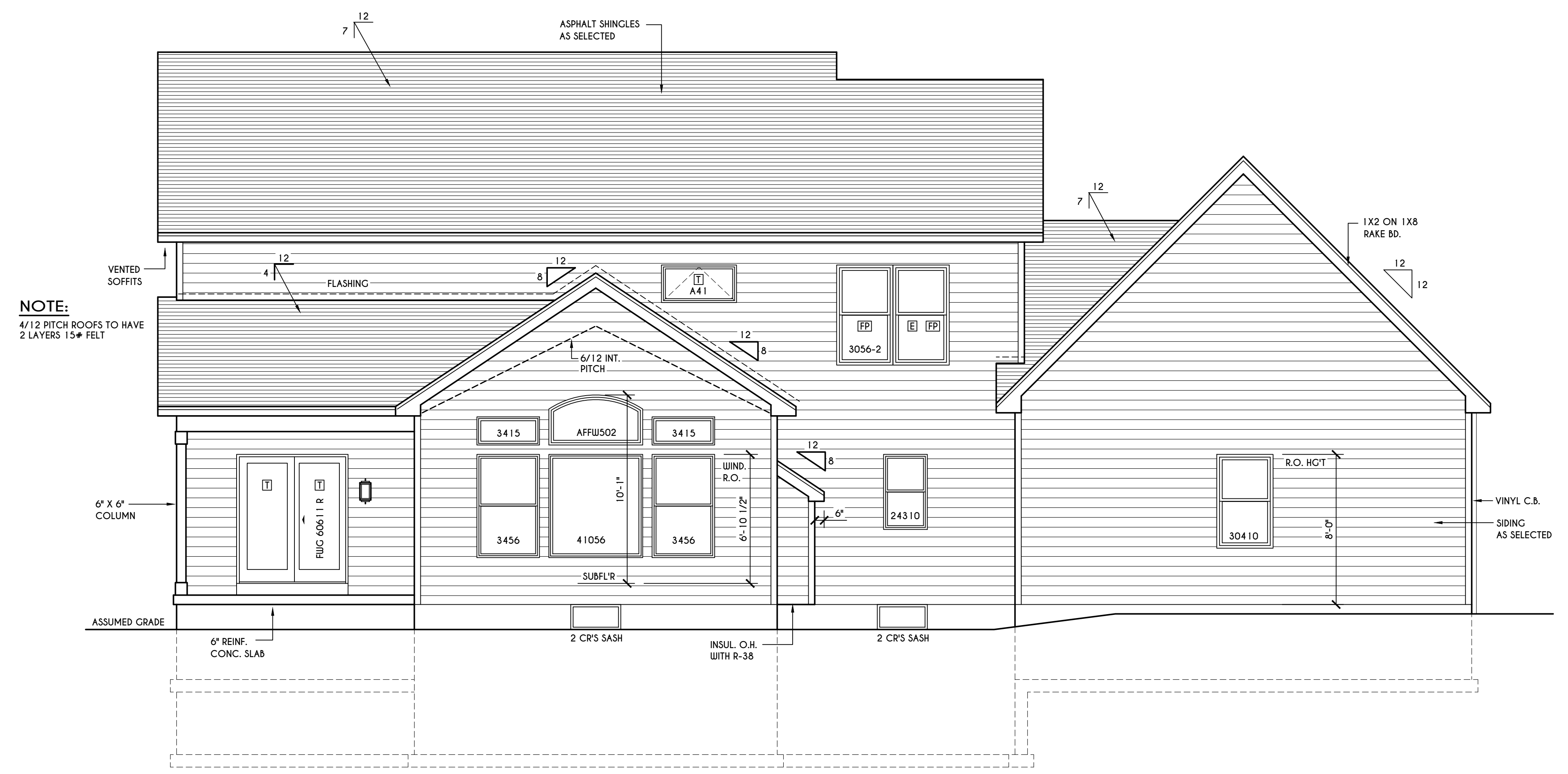
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SL: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 FIRST FLOOR LIVING AREA = 1643 SQ.FT.
 SECOND FLOOR LIVING AREA = 1338 SQ.FT.
 TOTAL LIVING AREA = 2981 SQ.FT.
 TOTAL CONDITIONED VOLUME = 46,748 CU.FT.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 4/12 PITCH ROOFS TO HAVE 2 LAYERS 15# FELT

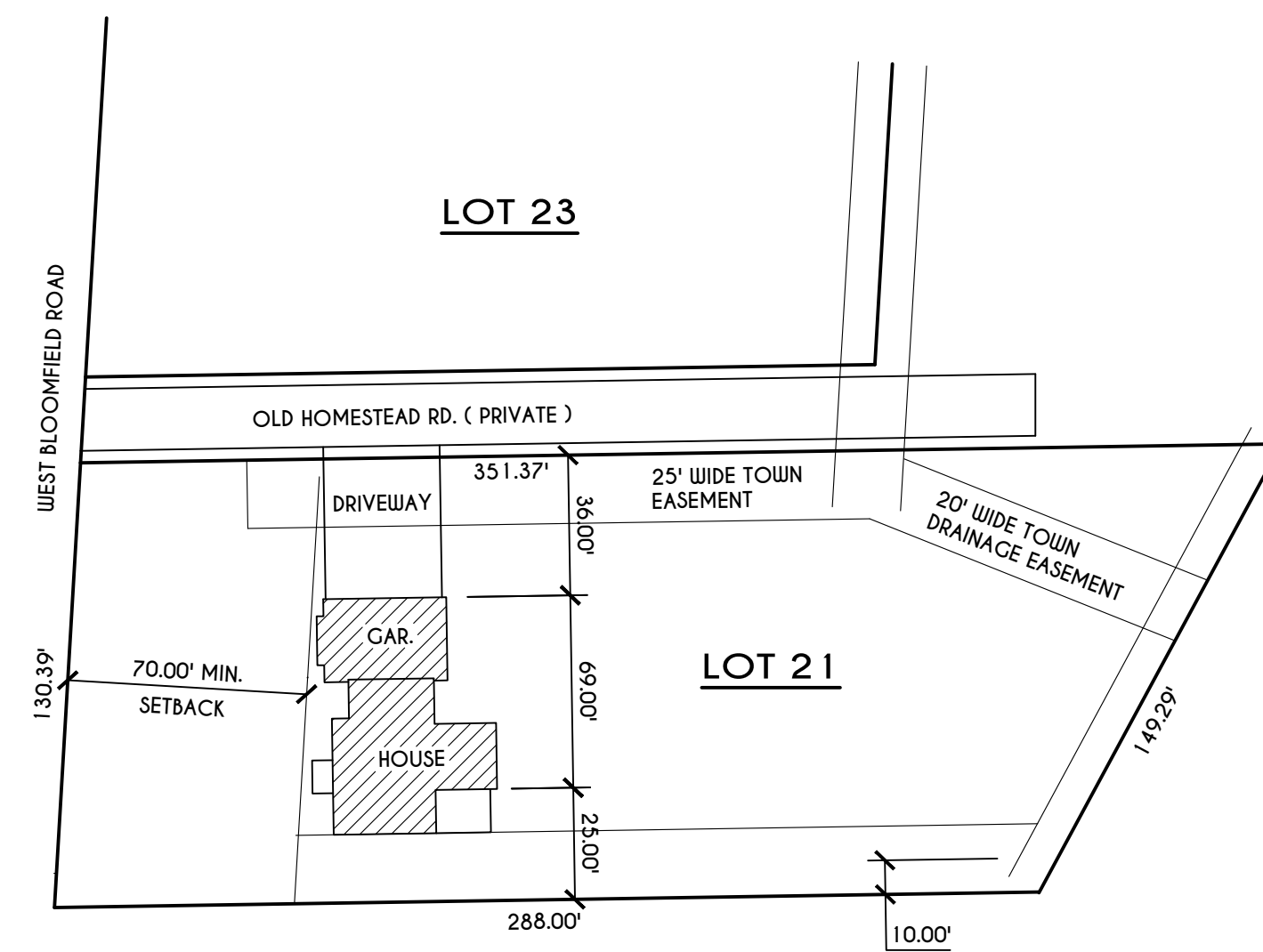
WINDOWS: ANDERSEN 400 OR EQUAL
 U-FACTOR 0.30
 SHGC 0.31

DOORS: SELECTION BY OWNER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SWING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCNYS

WINDOW / DOOR LEGEND:
 [E] - MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] - SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] - SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

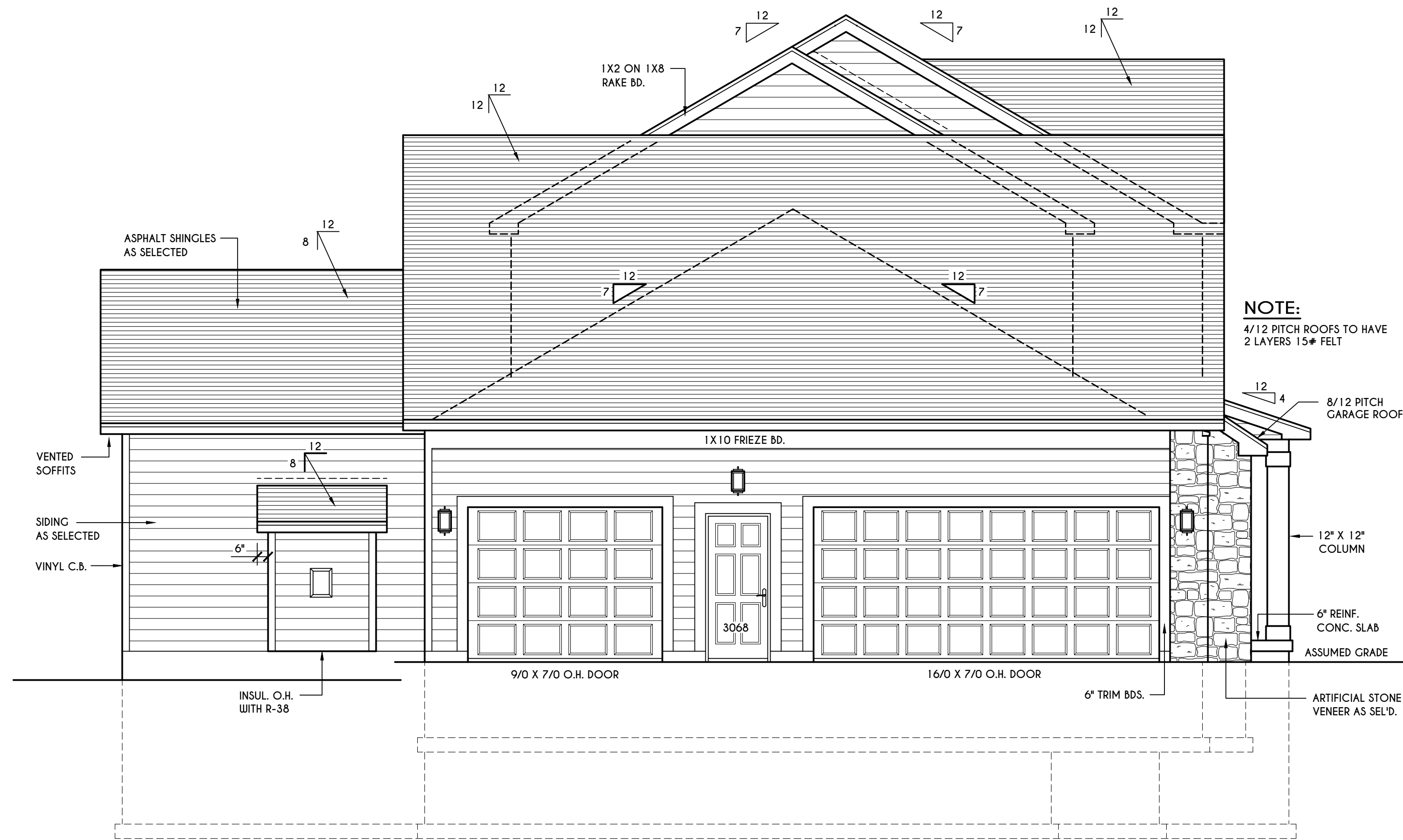
MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 cfm. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



PLOT PLAN

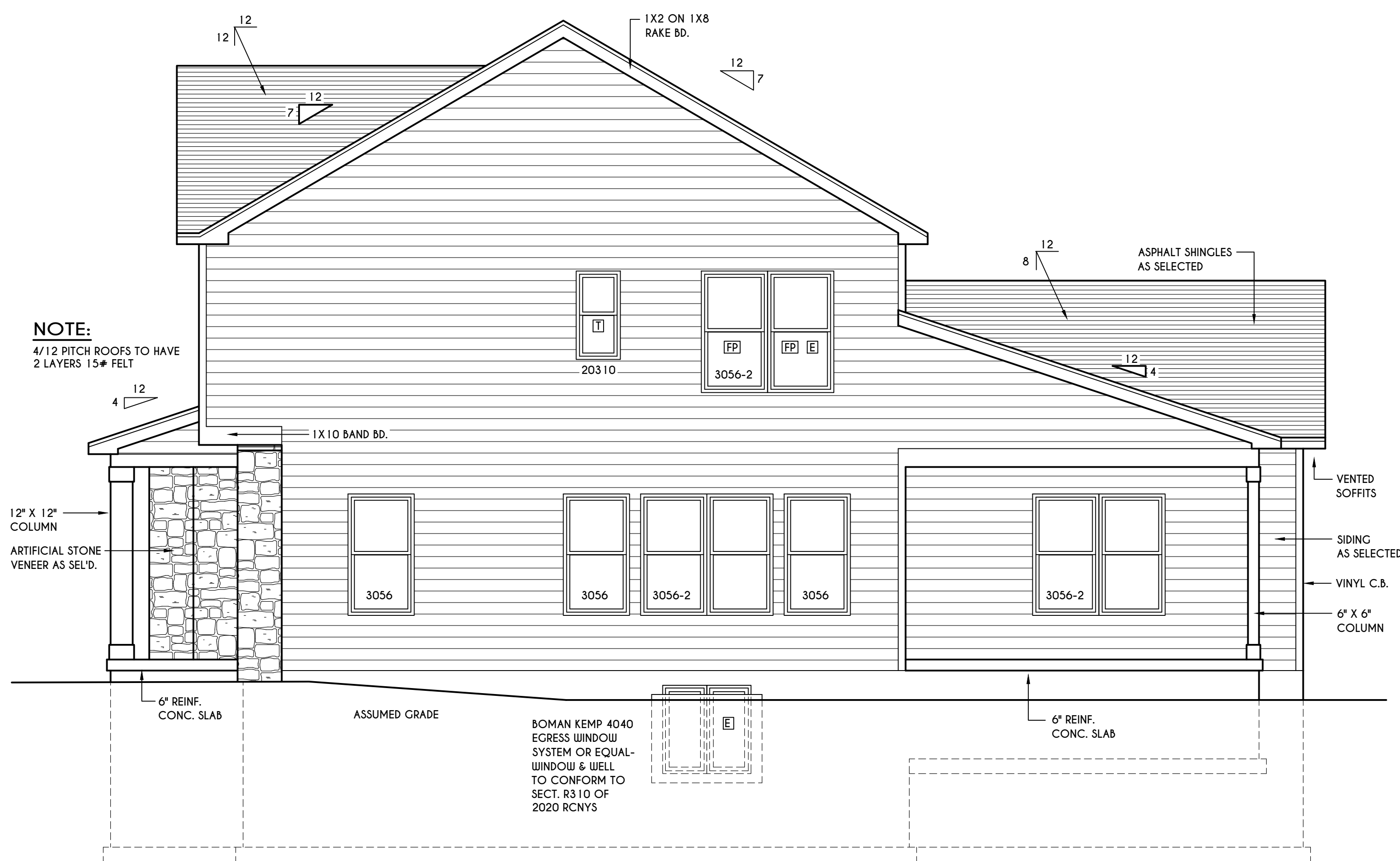
SCALE: 1" = 50'

LOT 21 COUNTRY POINTE



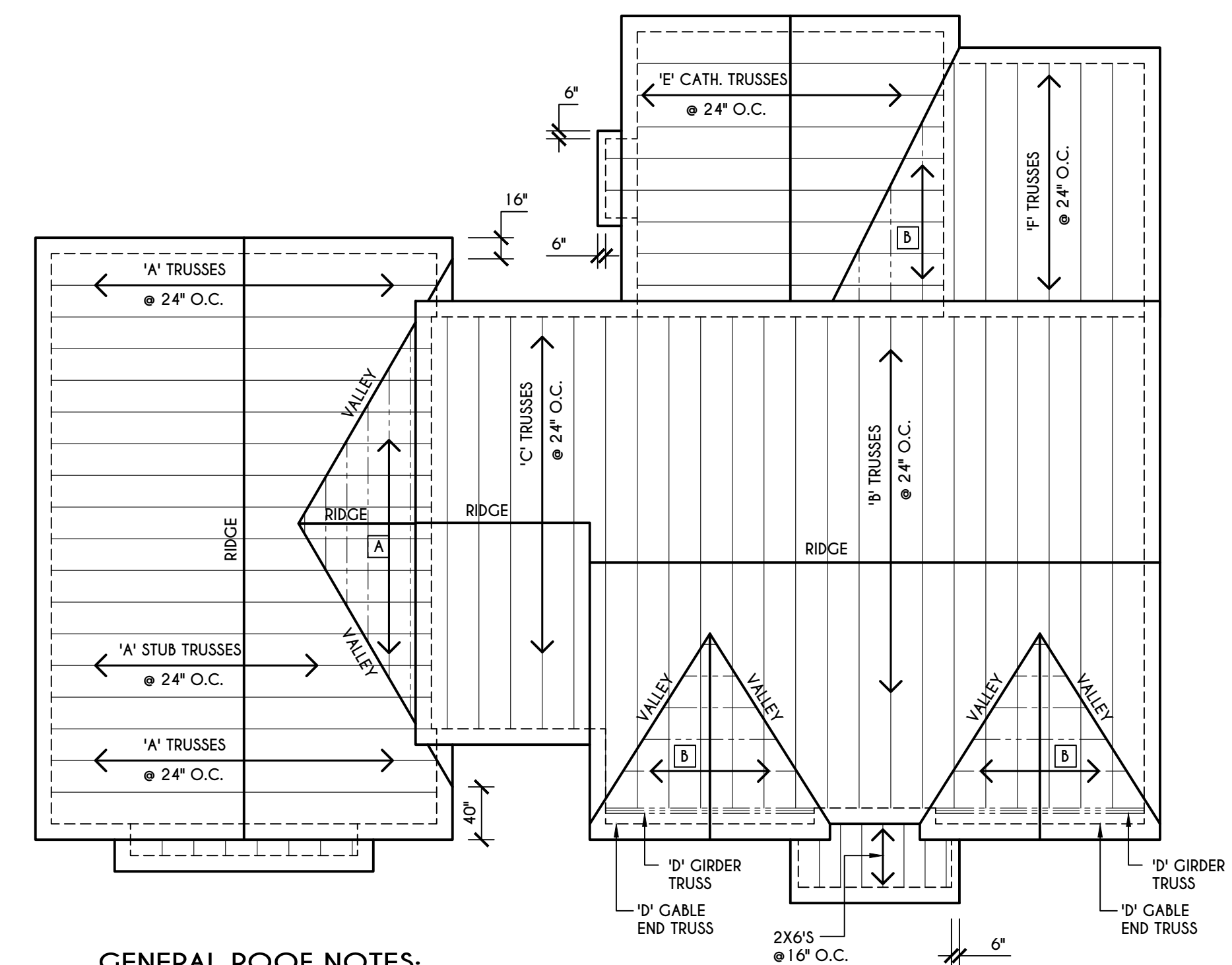
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL ROOF NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

ROOF PLAN

SCALE: 1/8" = 1'-0"

- [A] - 2X8 LAYOVER RAFTERS 16" O.C.
- [B] - 2X6 LAYOVER RAFTERS 24" O.C.

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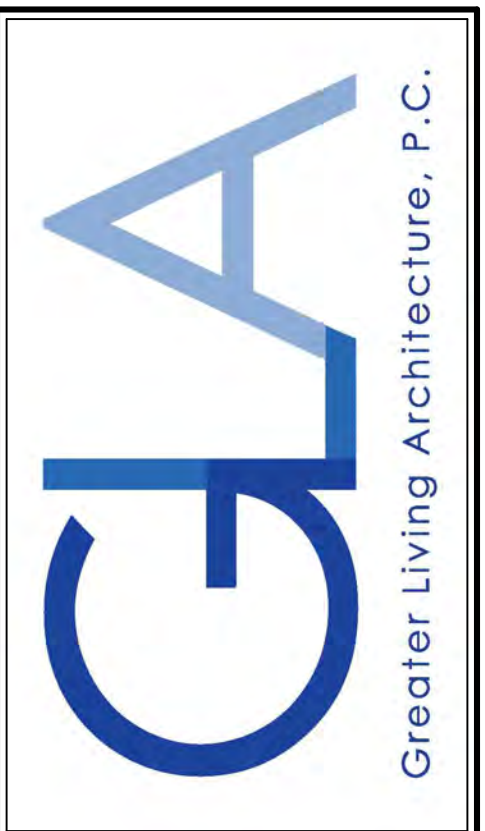
BUILDER:
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ELEVATIONS

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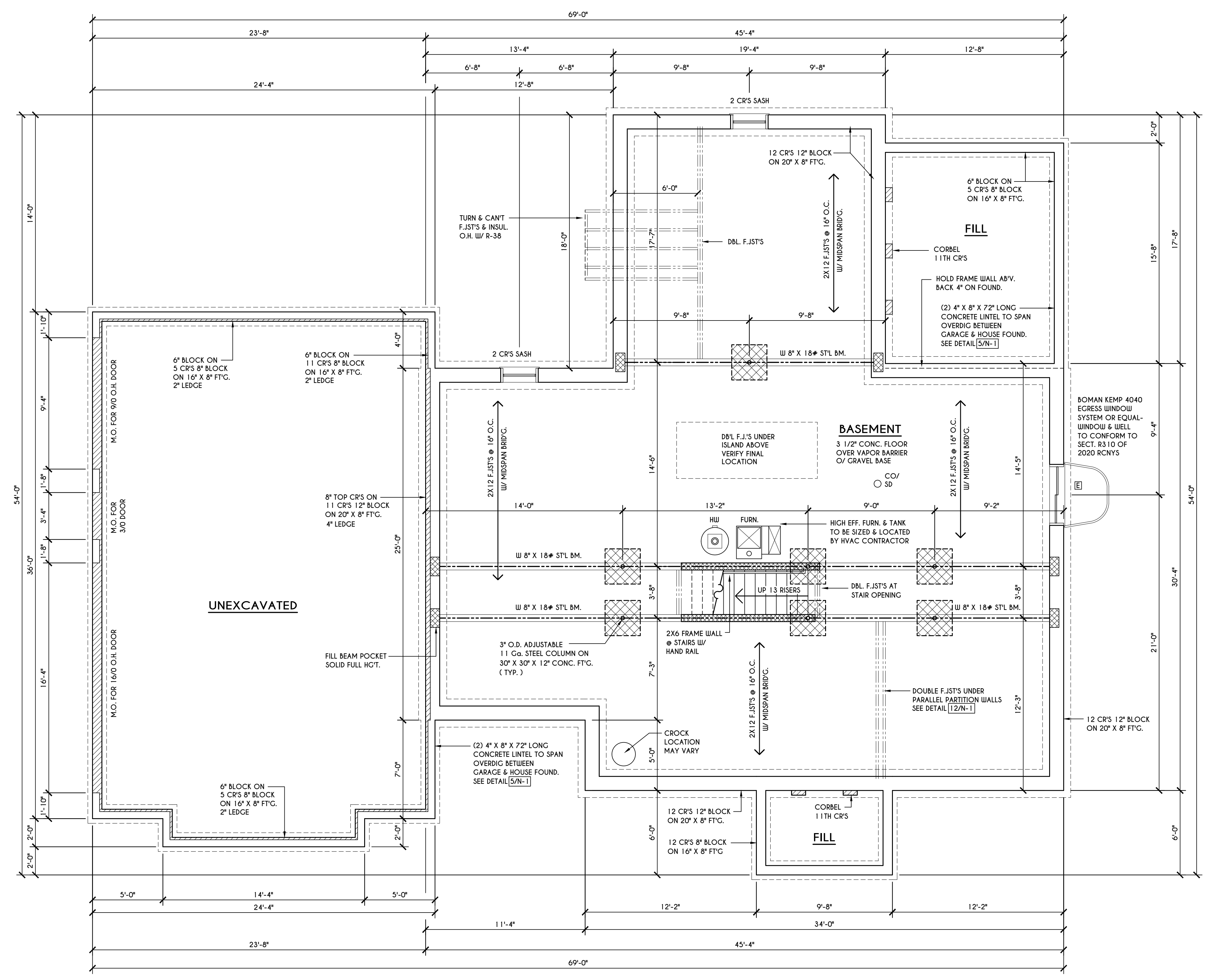
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FOUNDATION PLAN

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BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL FOUNDATION / BASEMENT NOTES:

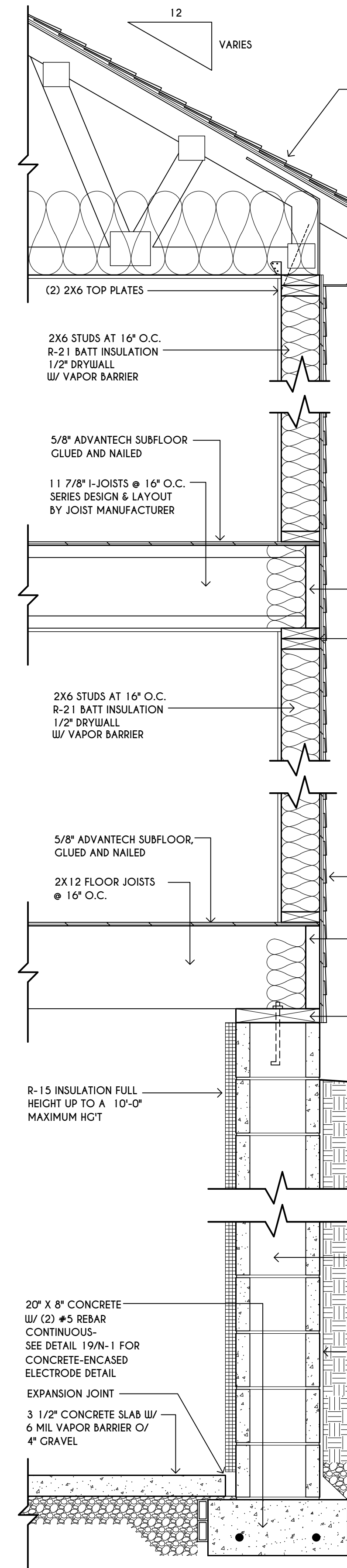
CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
 PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7' = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:

- = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

TRUSS EAVE CONSTRUCTION

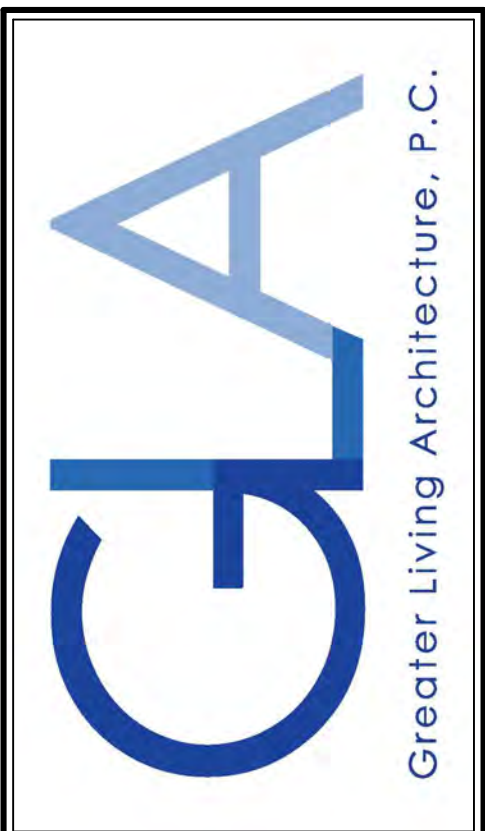
ASPHALT SHINGLES ON 15# FELT ON 7/16" O.S.B. EXTERIOR SHEATHING W/ CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDCU 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC R-38 CEILING INSULATION



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

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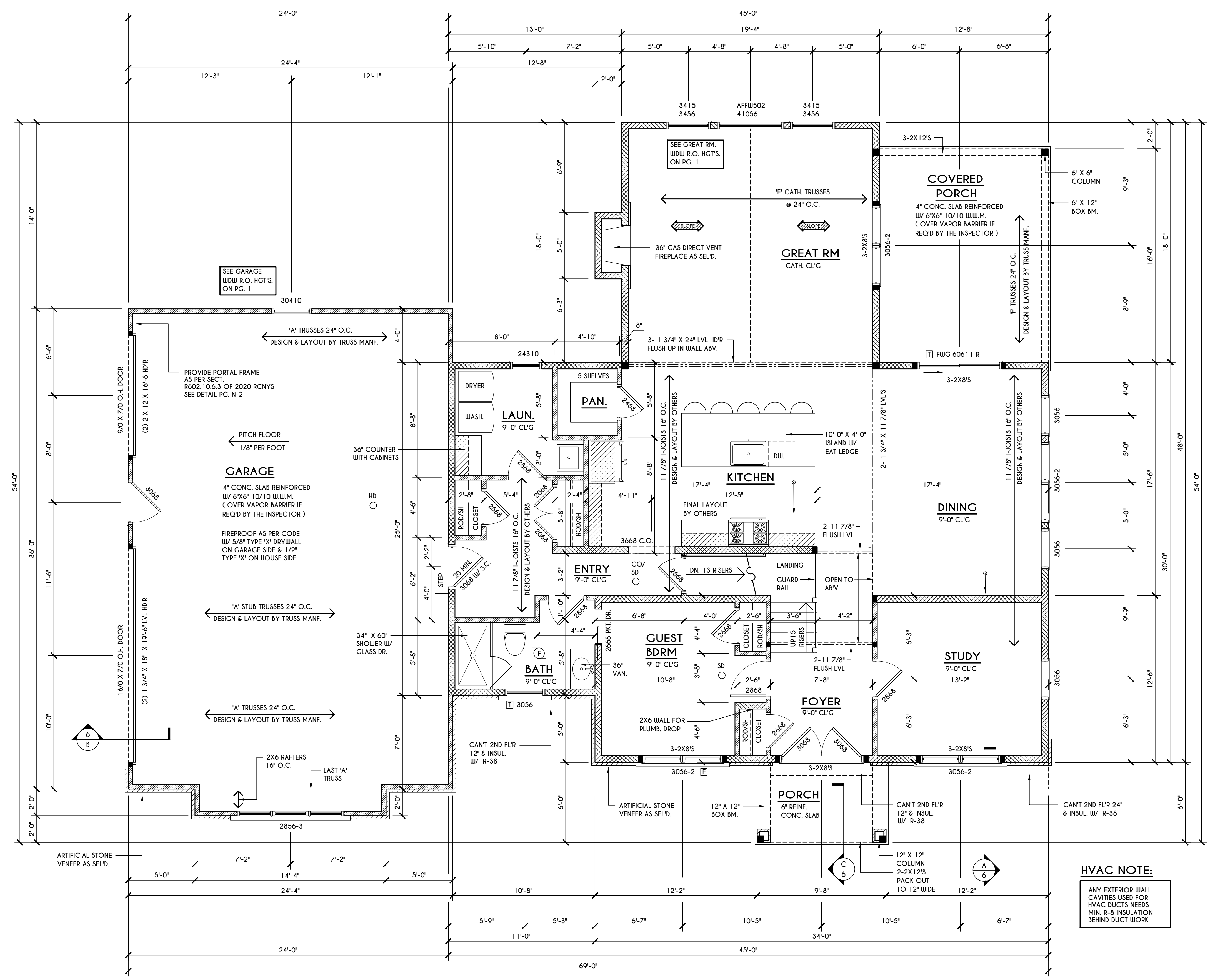
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BUILDER:
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FIRST FLOOR PLAN

1643 SQ. FT.

SCALE: 1/4" = 1'-0"

ENGINEERED FL'R JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FRAMING LEGEND:

	PROVIDE SOLID POSTING- CLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

GENERAL FIRST FLOOR PLAN NOTES:
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4" O"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOUIN TO BE BY QUINER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

HVAC NOTE:
 ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-8 INSULATION BEHIND DUCT WORK

FIRST FLOOR PLAN

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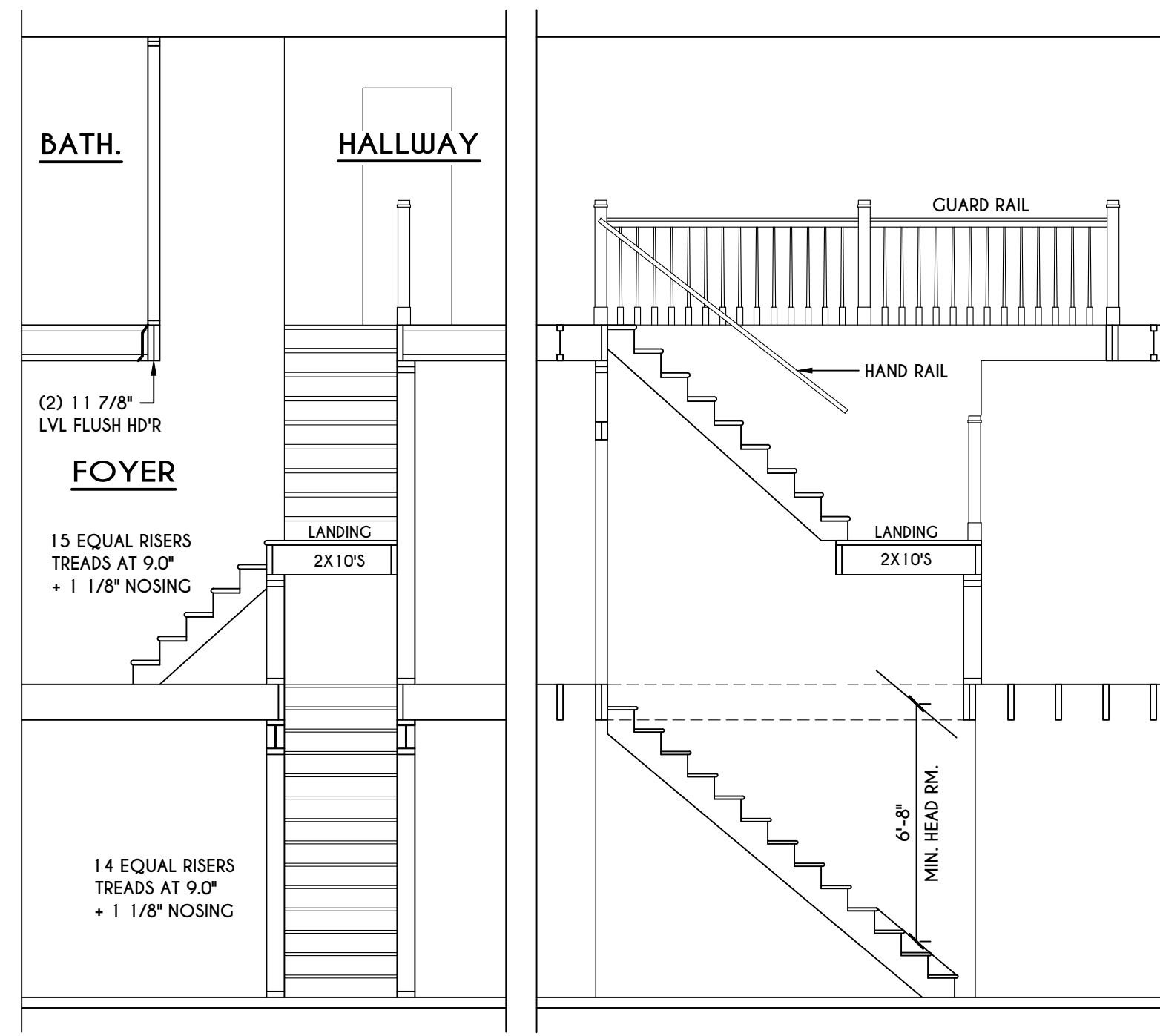
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SECOND FLOOR PLAN

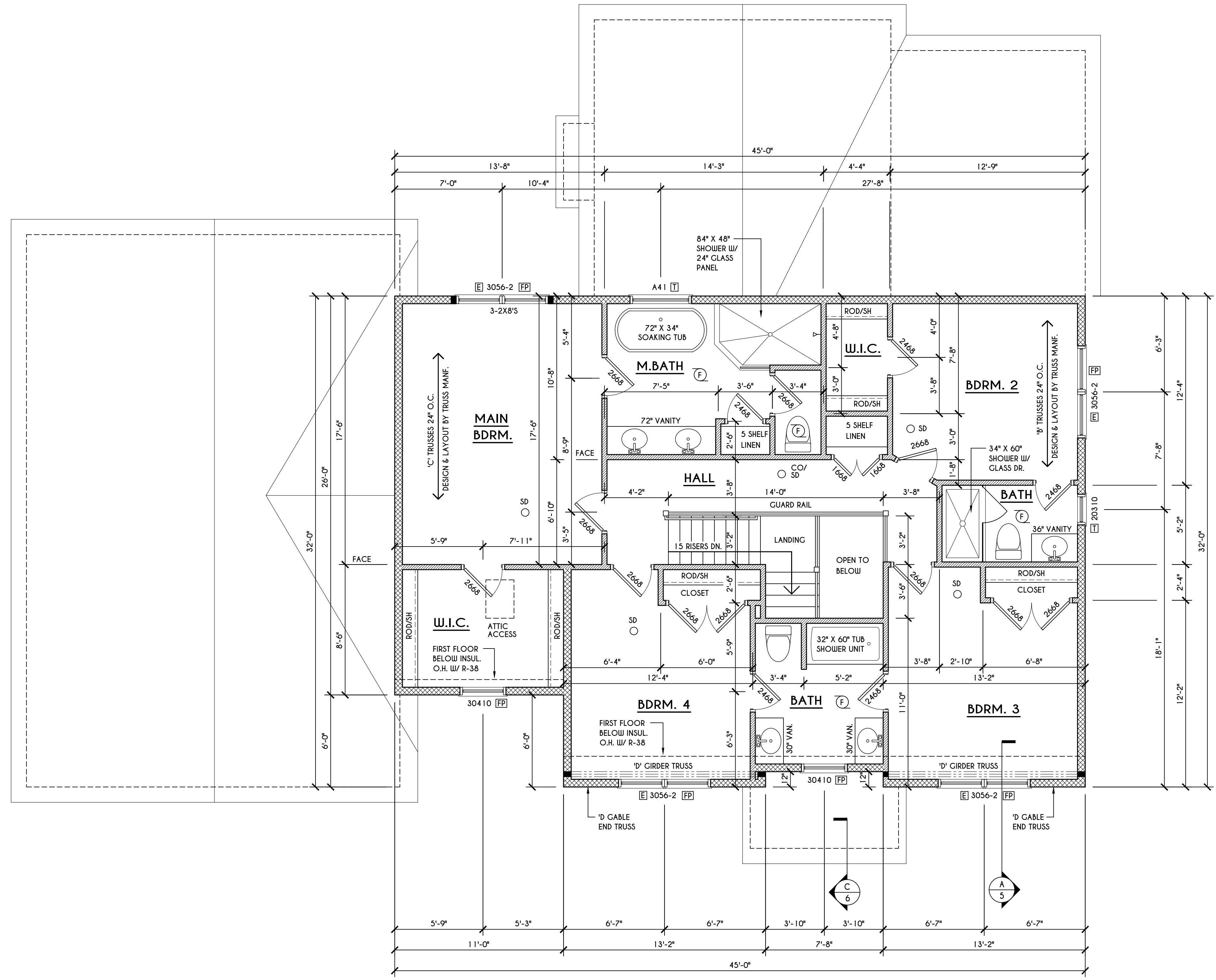
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STAIR SECTION

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

1338 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

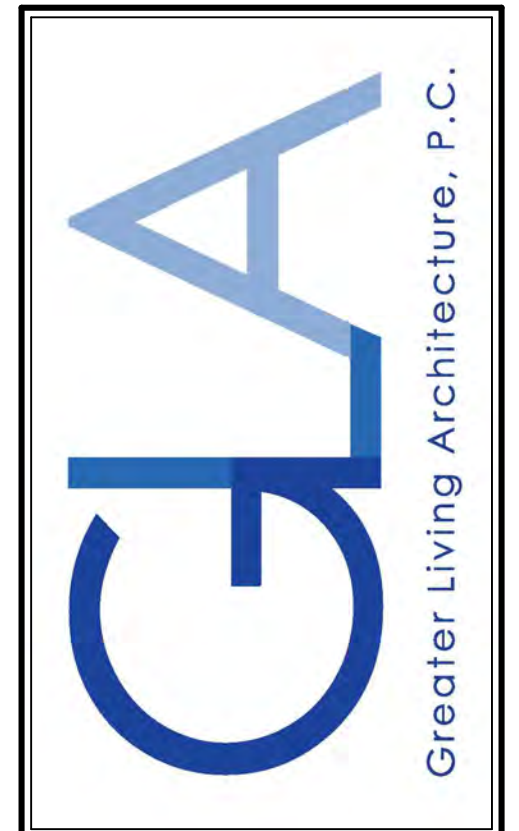
GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R808.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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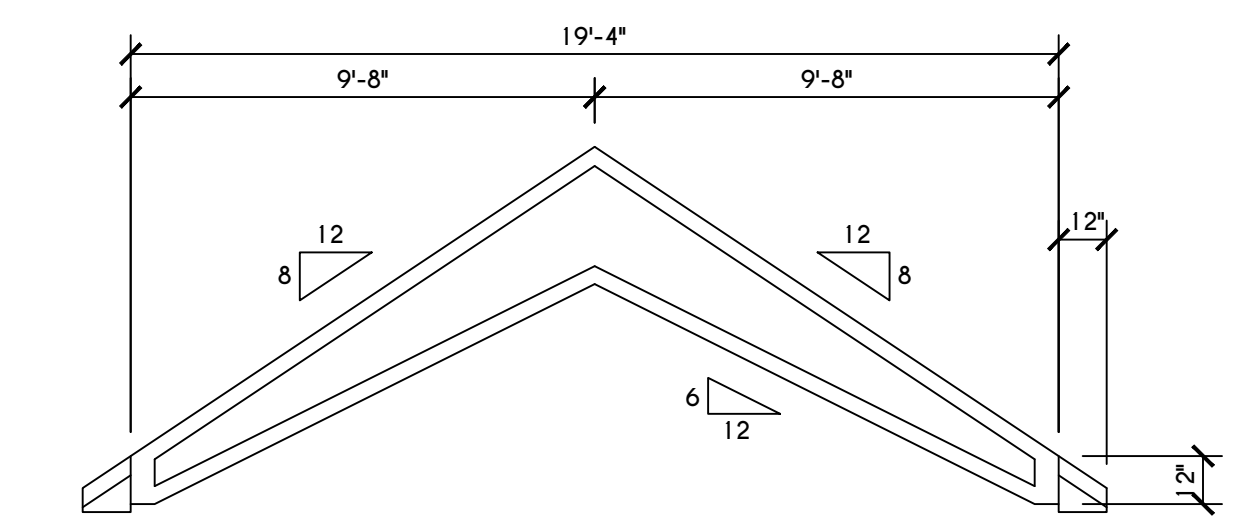
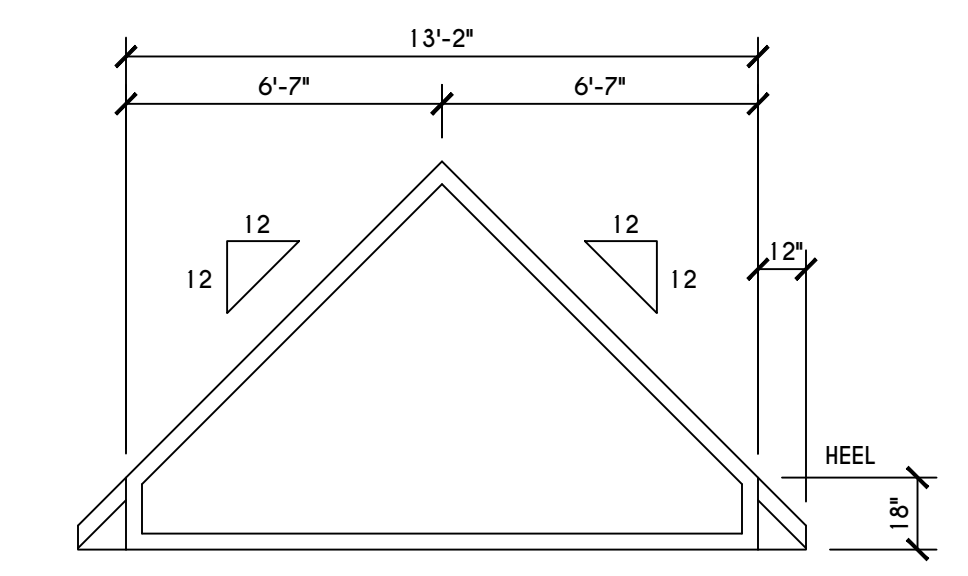
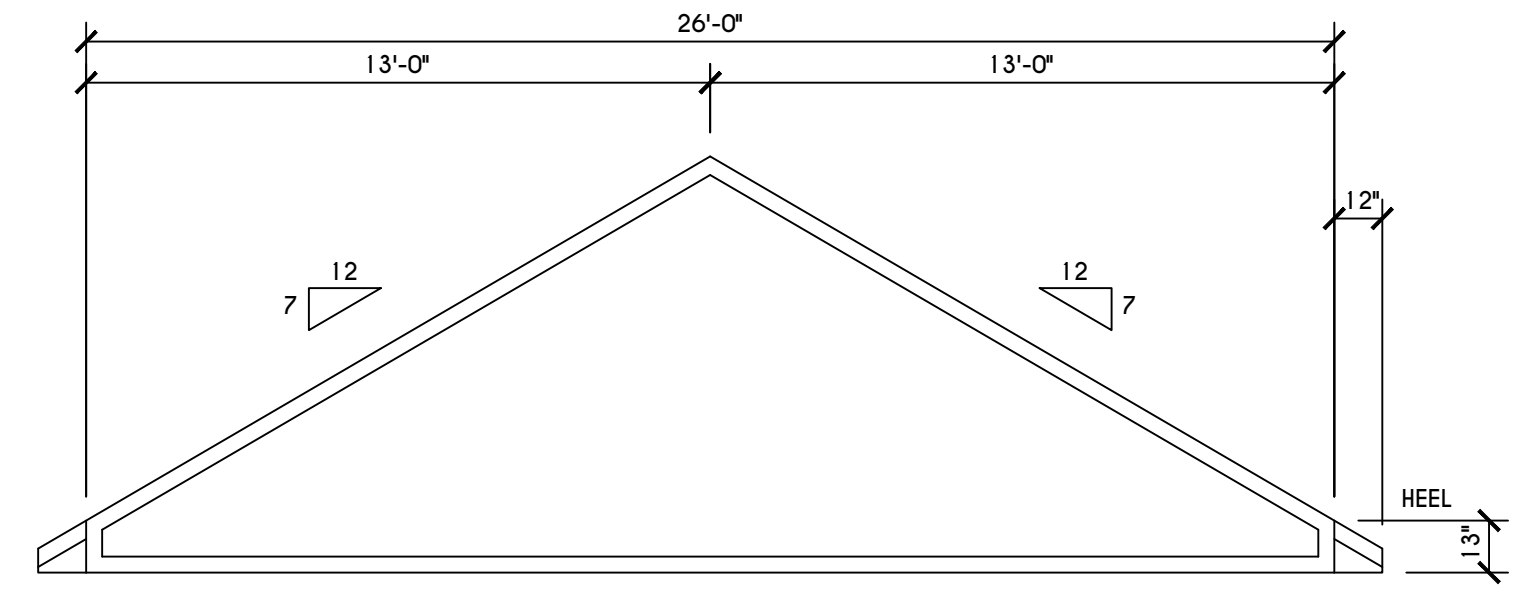
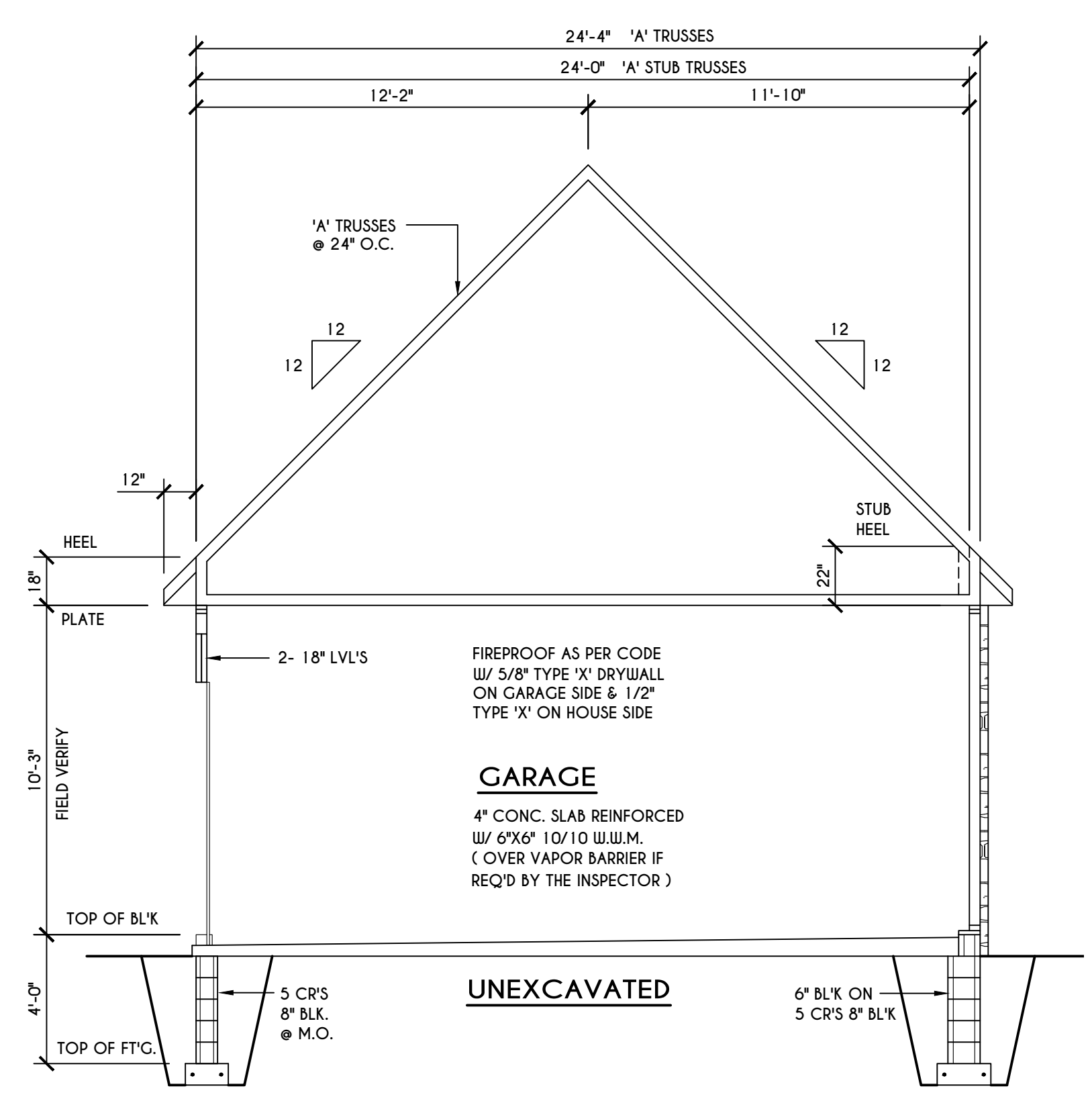
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 BRIFKANI RESIDENCE
 LOT 21 COUNTRY POINTE
 PITTSFORD, NY

BUILDER:
 MASCOT INC.

SECTIONS
 GLA PLAN 2981

drawn: CDK	checked: CSB
scale: AS NOTED	date: 12 / 23
PROJECT: 15445D	sheet: 6 / 6



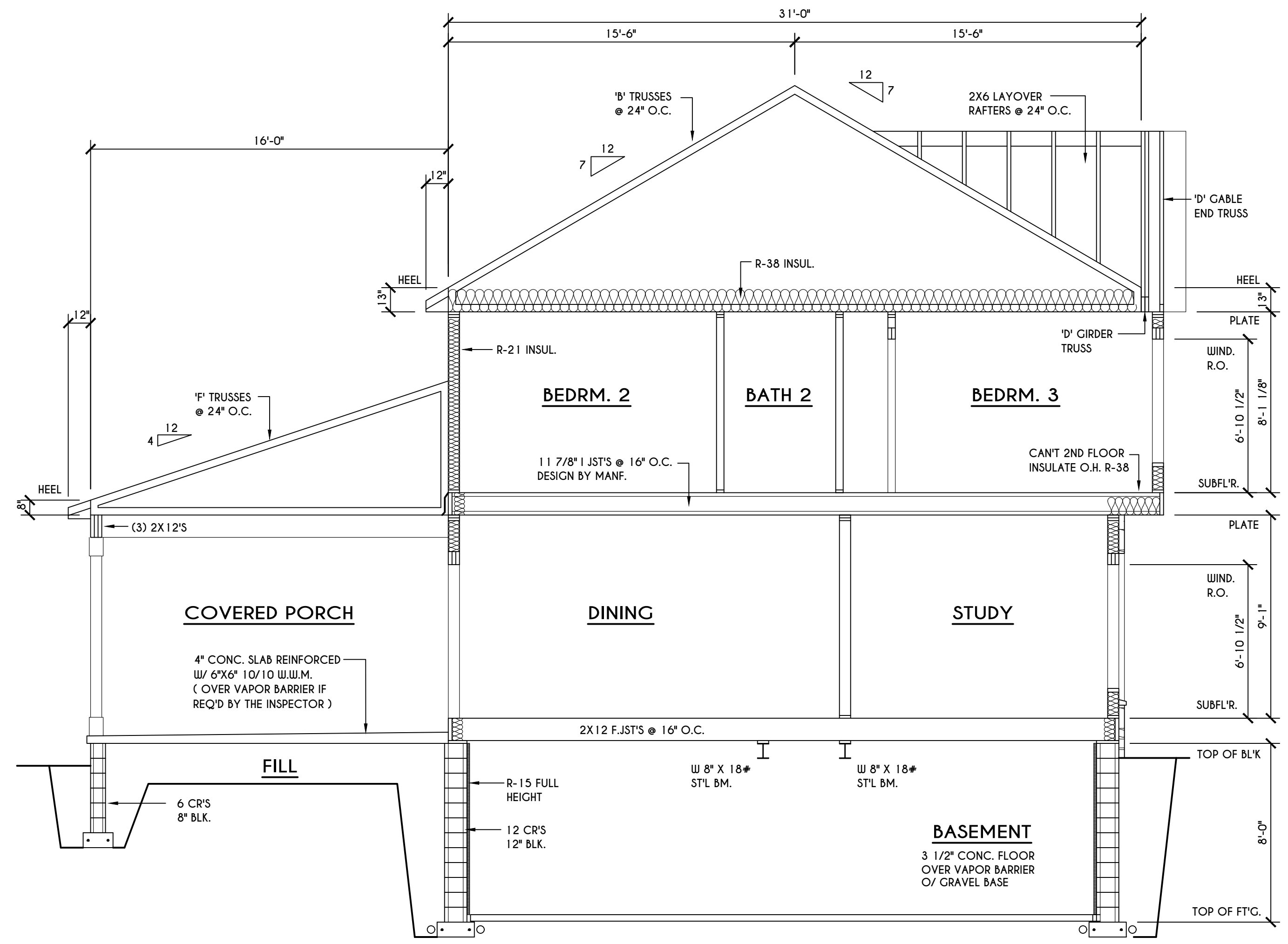
'C' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"

'D' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"

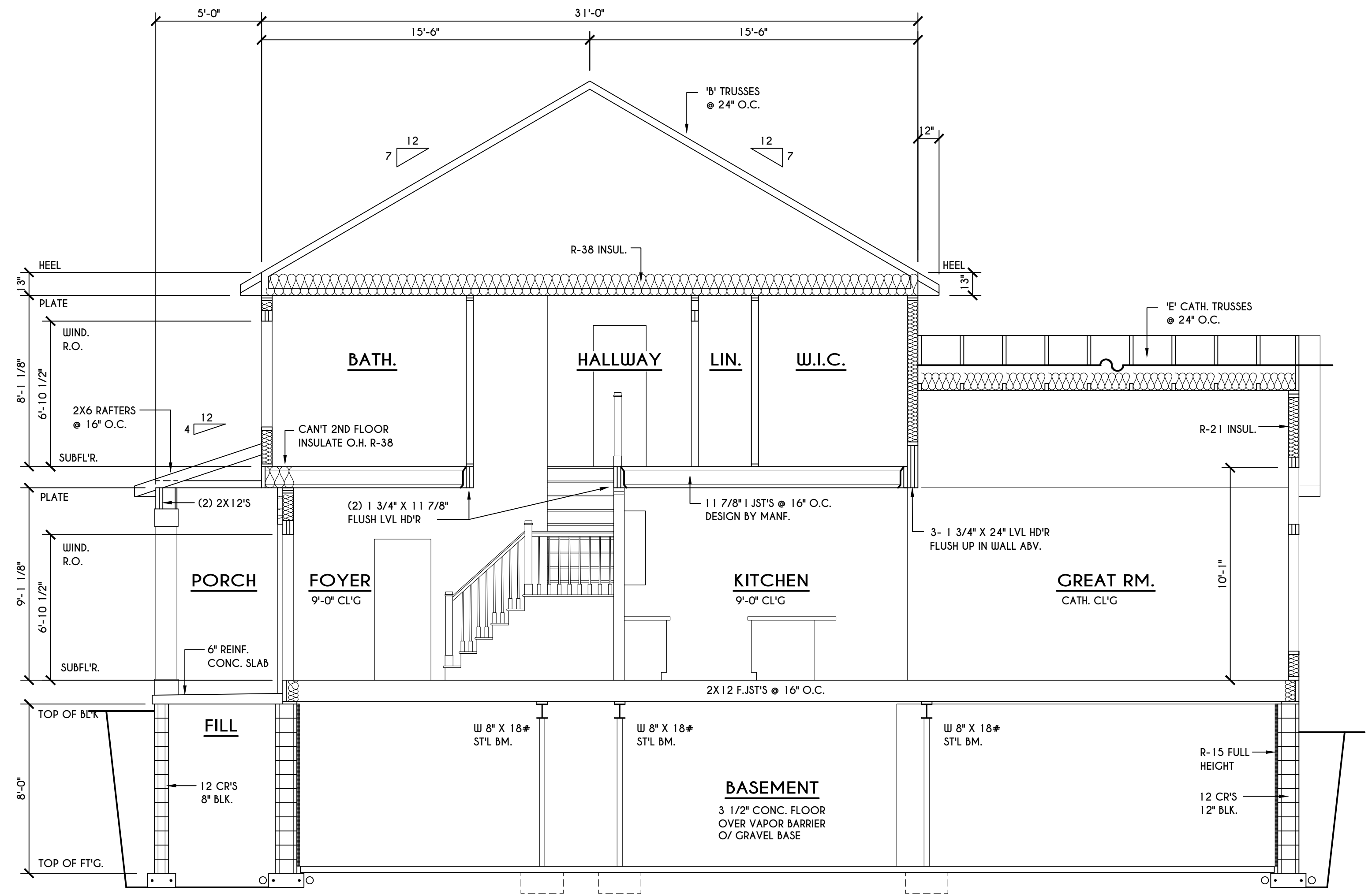
'E' CATH. TRUSS PROFILE
 SCALE: 1/4" = 1'-0"

TRUSS NOTES:
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER

B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



A BUILDING SECTION
 SCALE: 1/4" = 1'-0"



C BUILDING SECTION
 SCALE: 1/4" = 1'-0"

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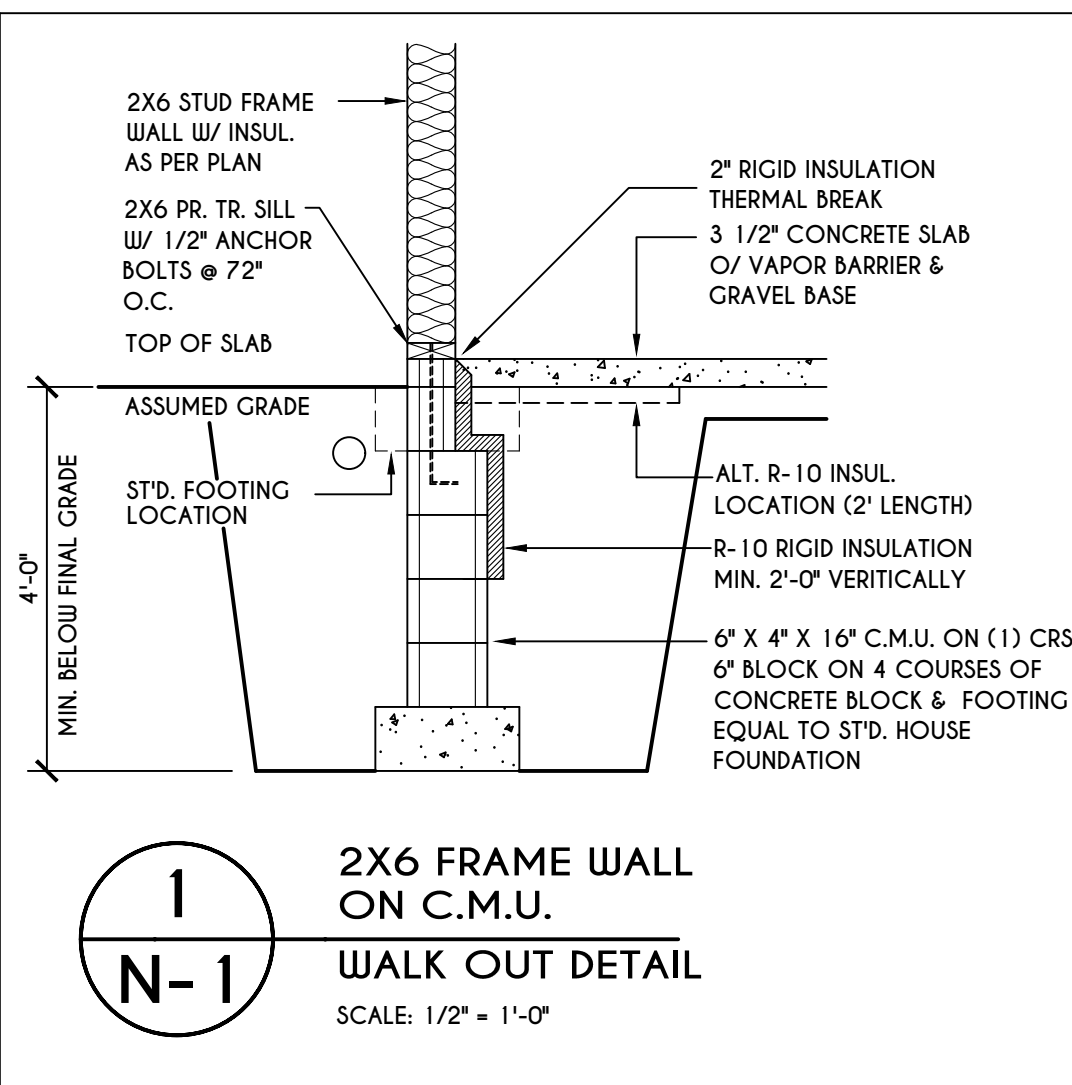
DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 BRIFKANI RESIDENCE
 LOT 21 COUNTRY POINTE
 PITTSFORD, NY

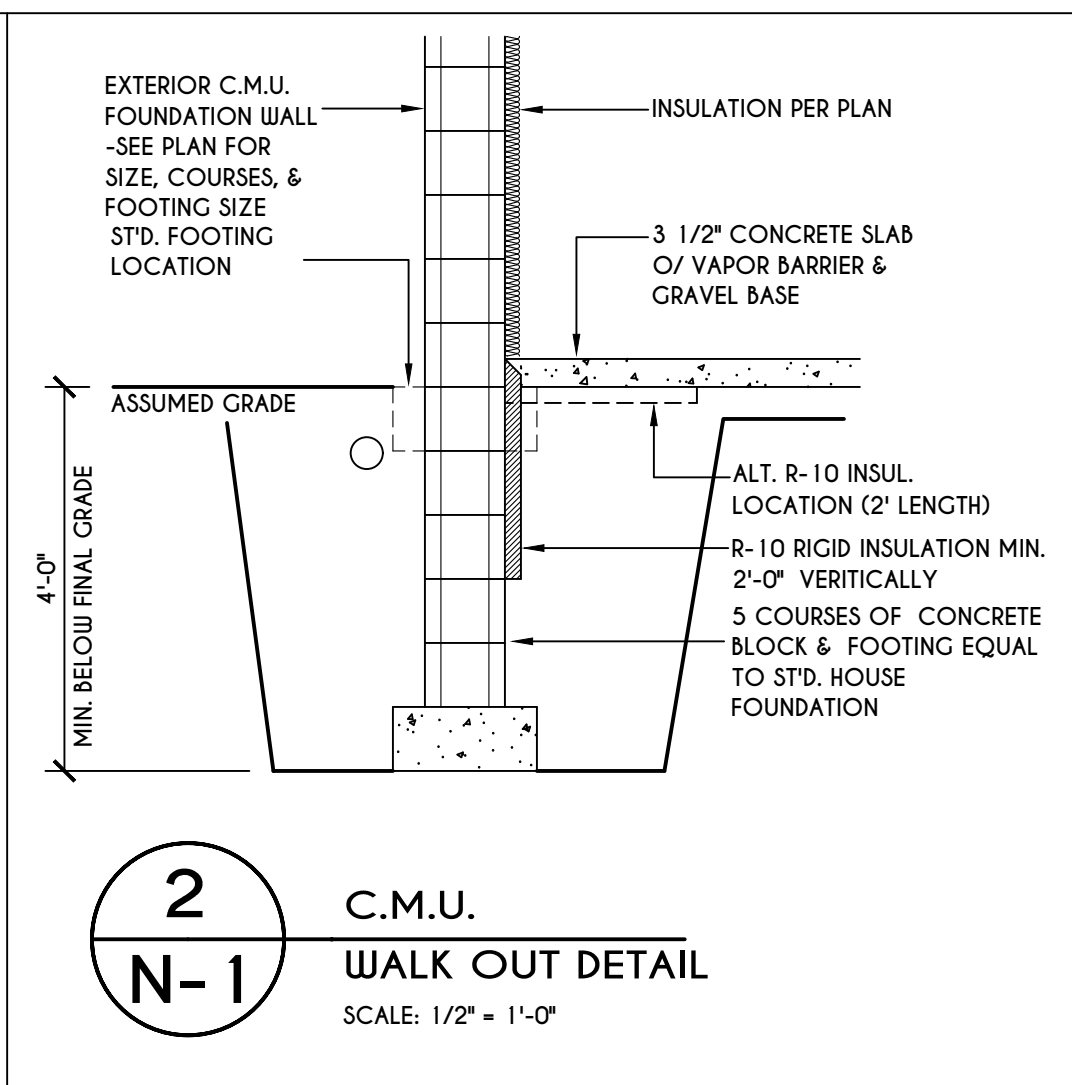
BUILDER:
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DETAILS
 GLA PLAN 2981

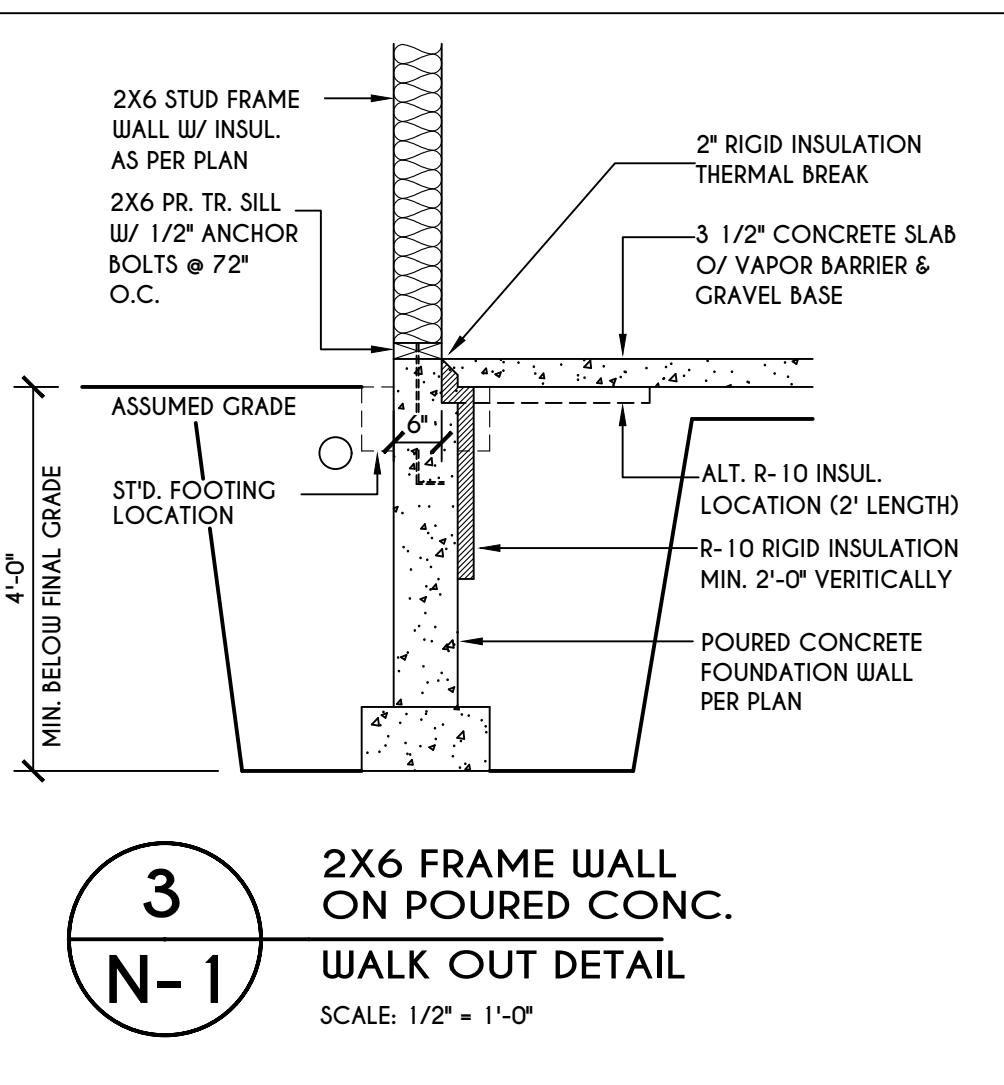
drawn: CDK	checked: CSB
scale: AS NOTED	date: 12 / 23
PROJECT: 15445D	sheet: N 1



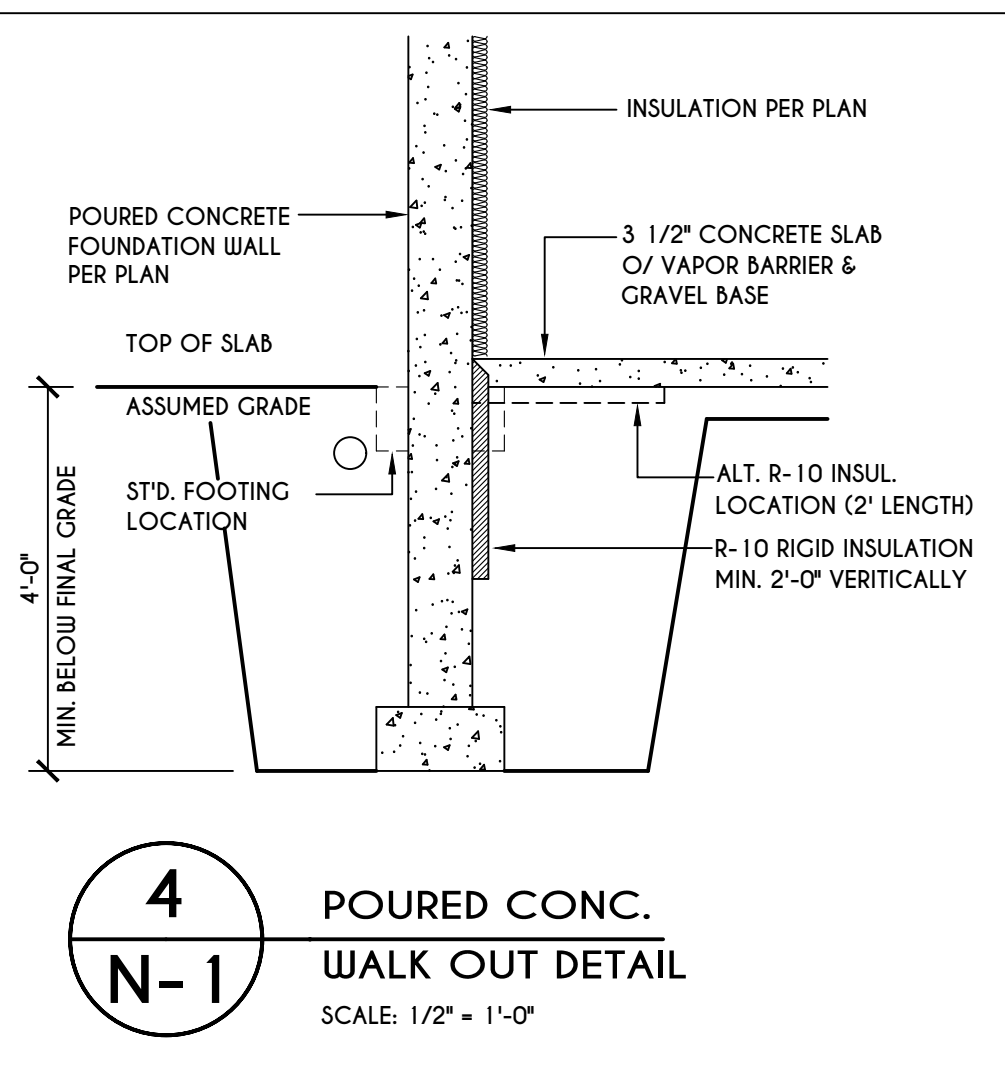
1
N-1
 2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
 SCALE: 1/2" = 1'-0"



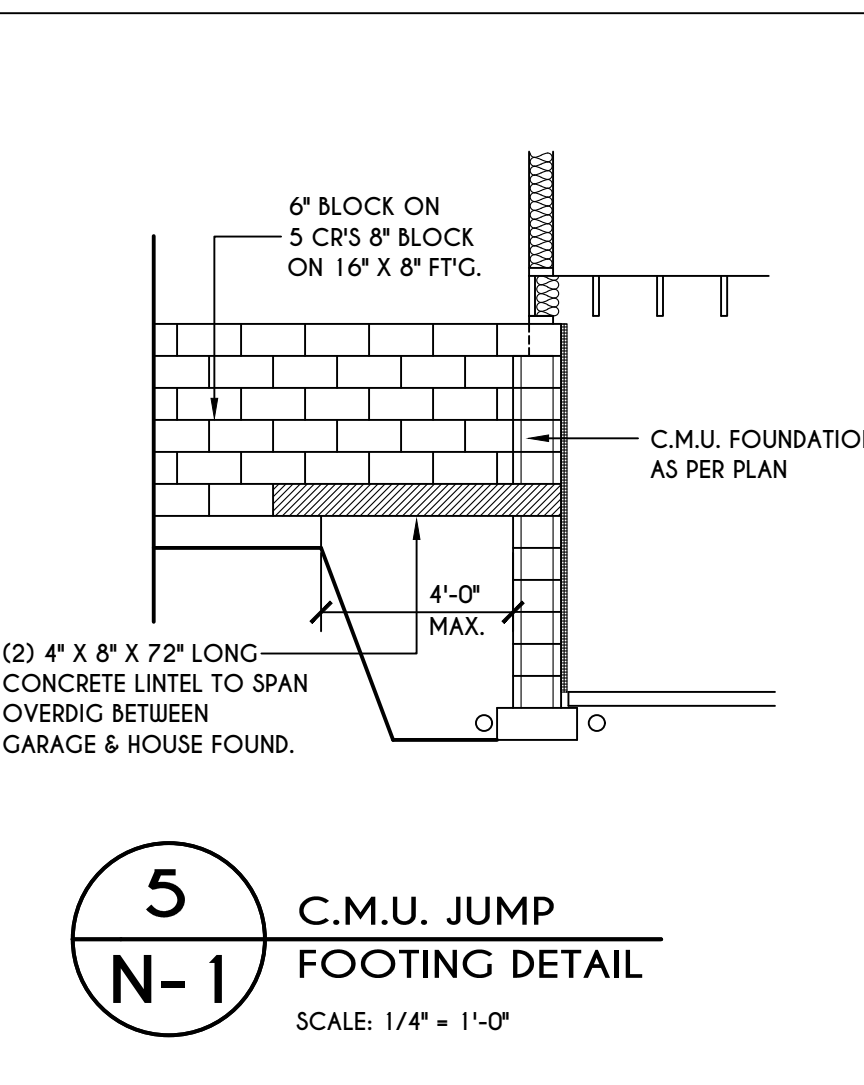
2
N-1
 C.M.U. WALK OUT DETAIL
 SCALE: 1/2" = 1'-0"



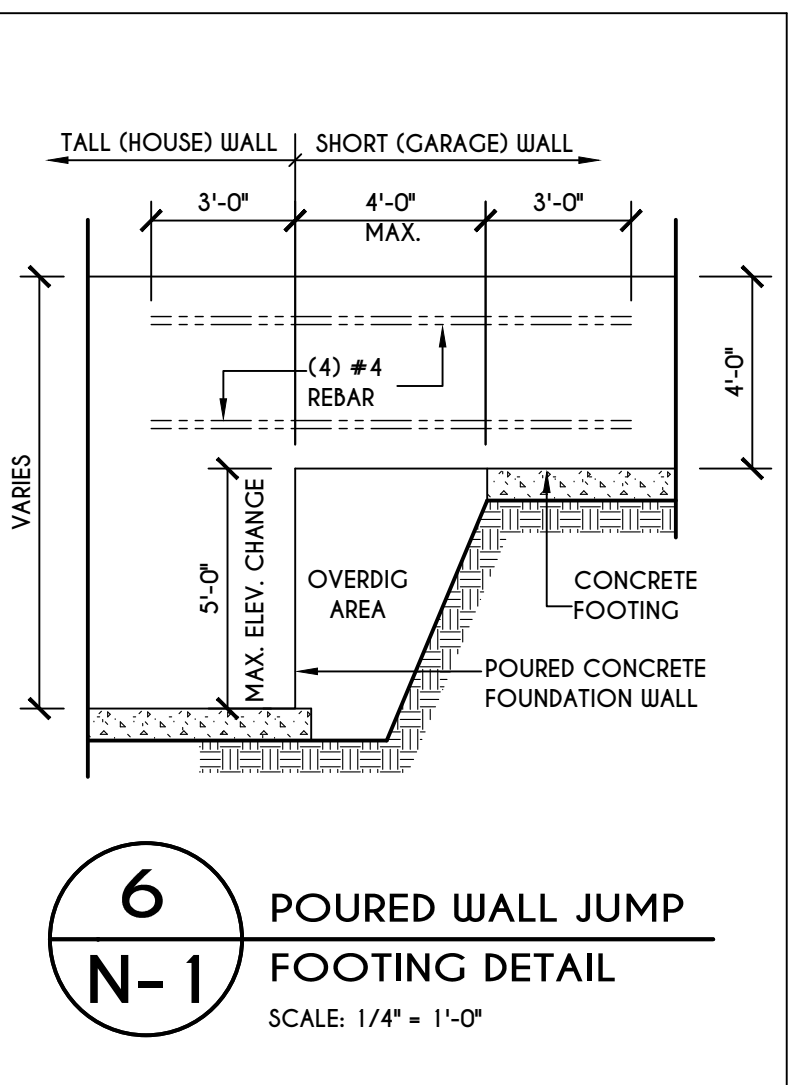
3
N-1
 2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
 SCALE: 1/2" = 1'-0"



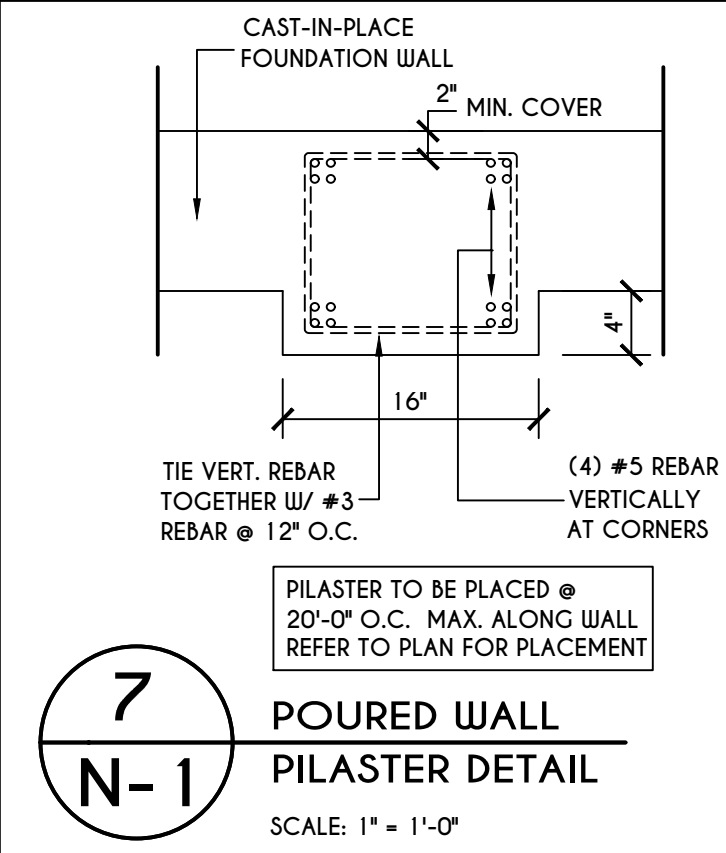
4
N-1
 POURED CONC. WALK OUT DETAIL
 SCALE: 1/2" = 1'-0"



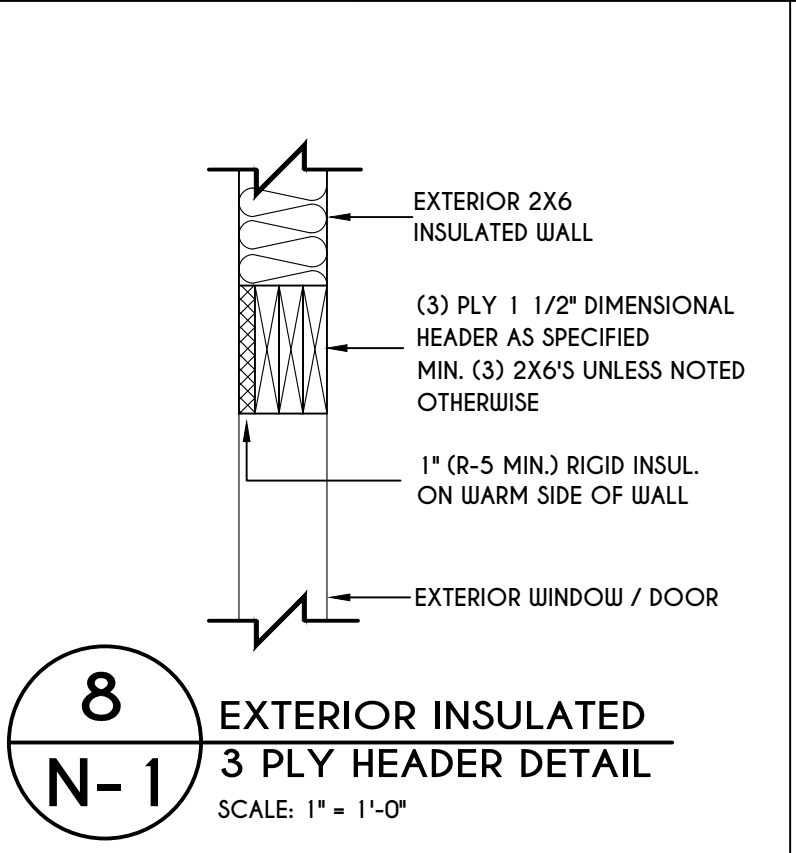
5
N-1
 C.M.U. JUMP FOOTING DETAIL
 SCALE: 1/4" = 1'-0"



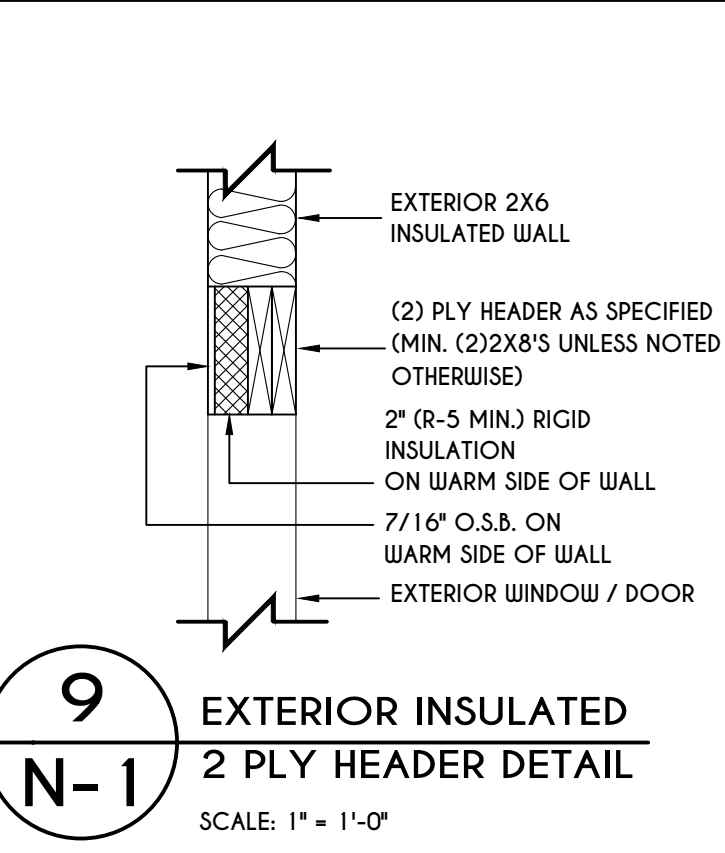
6
N-1
 POURED WALL JUMP FOOTING DETAIL
 SCALE: 1/4" = 1'-0"



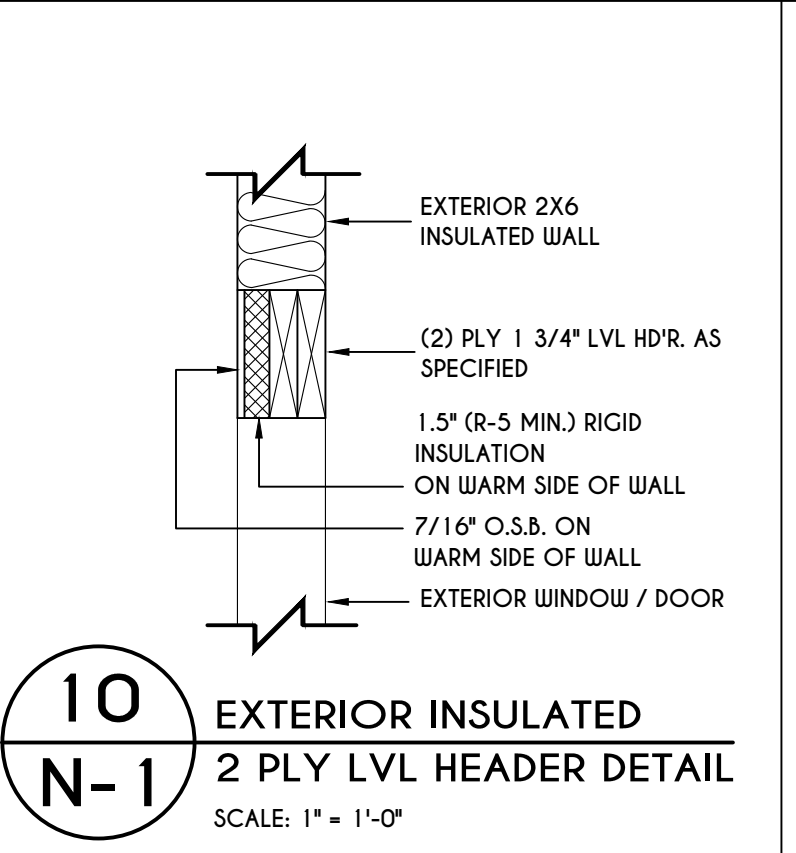
7
N-1
 POURED WALL PILASTER DETAIL
 SCALE: 1" = 1'-0"



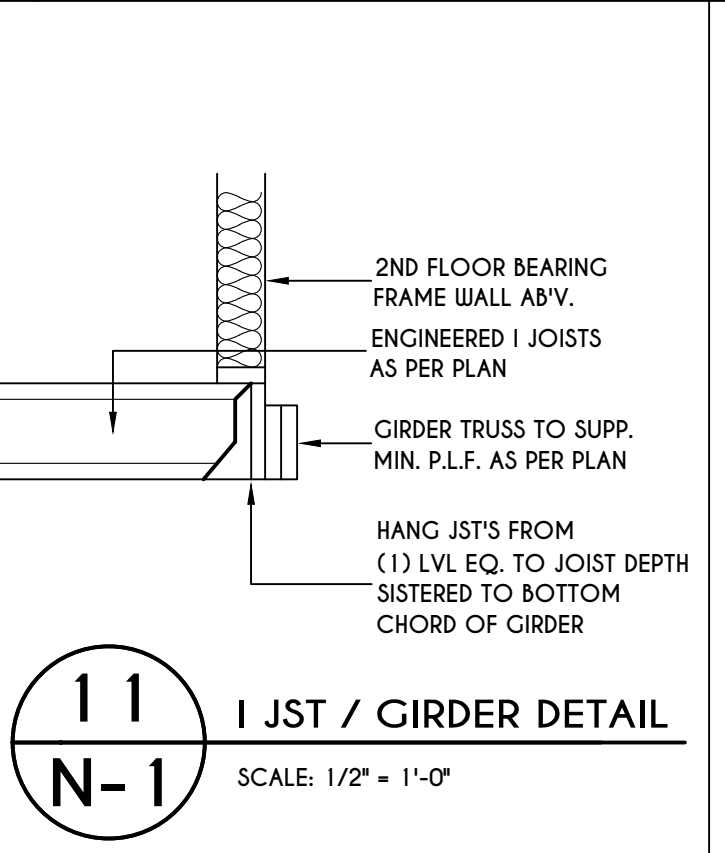
8
N-1
 EXTERIOR INSULATED 3 PLY HEADER DETAIL
 SCALE: 1" = 1'-0"



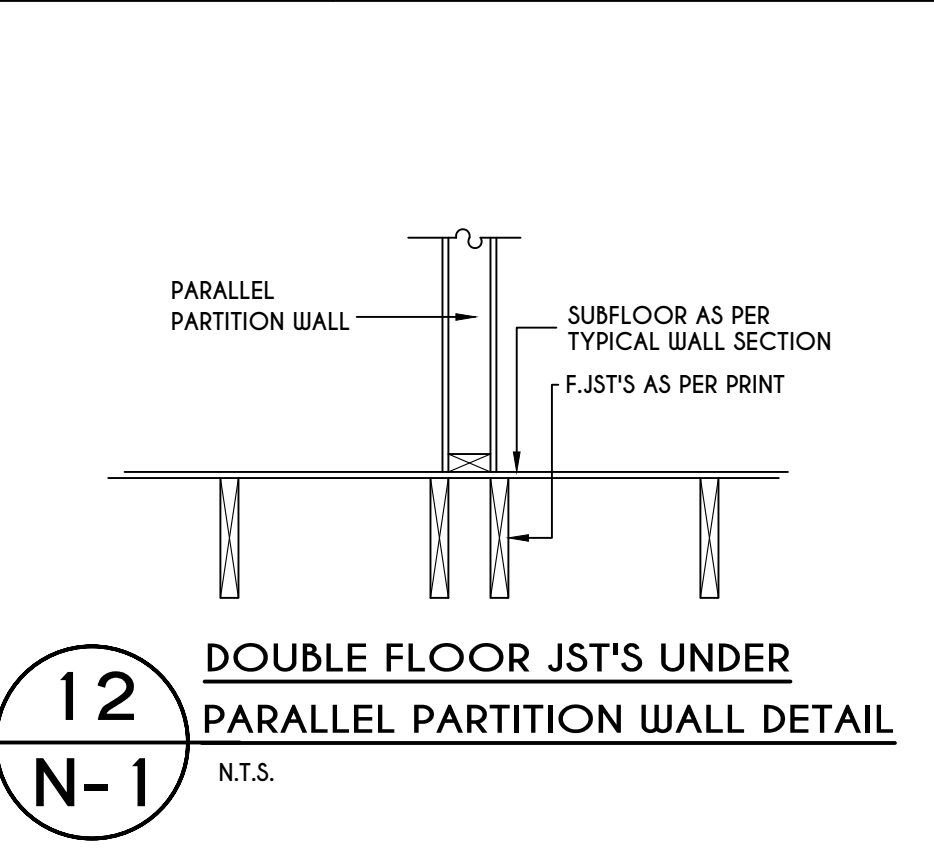
9
N-1
 EXTERIOR INSULATED 2 PLY HEADER DETAIL
 SCALE: 1" = 1'-0"



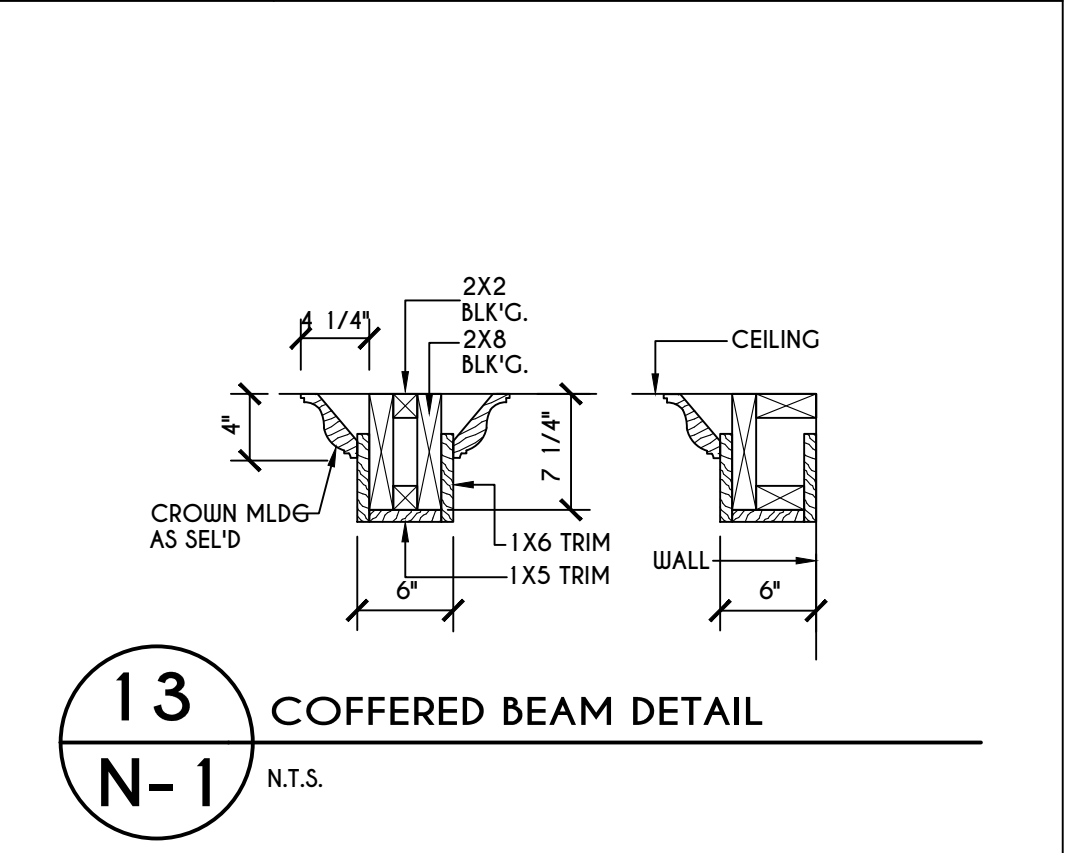
10
N-1
 EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
 SCALE: 1" = 1'-0"



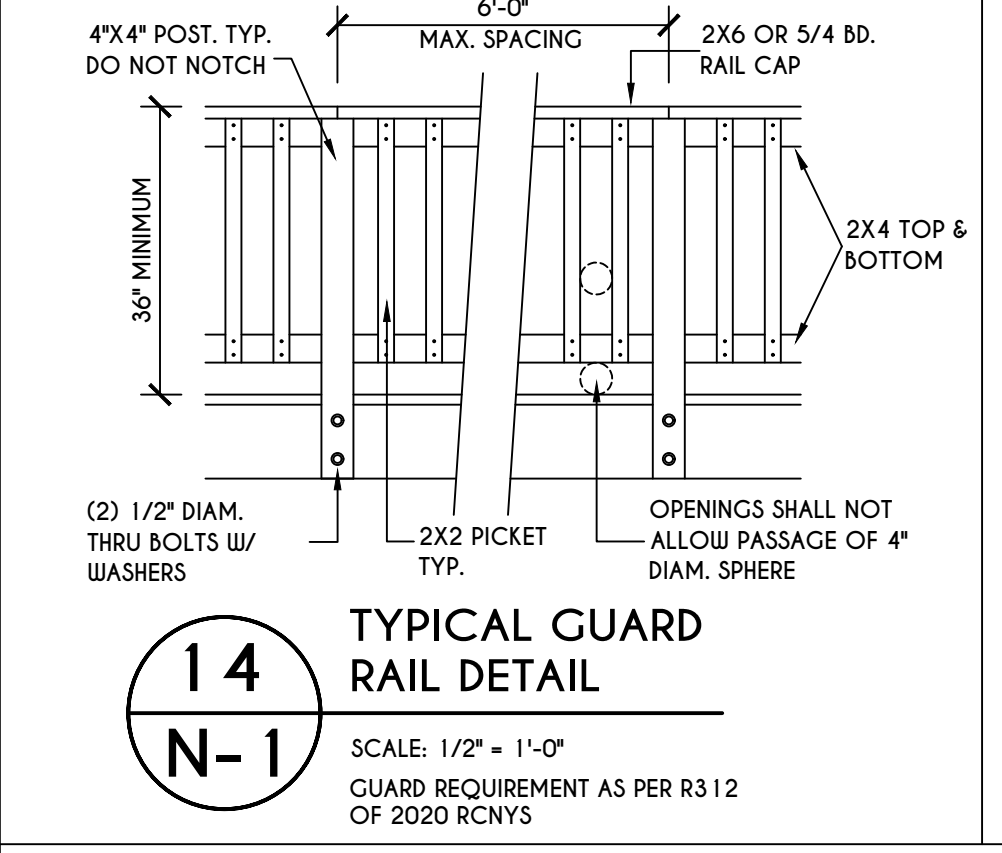
11
N-1
 I JST / GIRDER DETAIL
 SCALE: 1/2" = 1'-0"



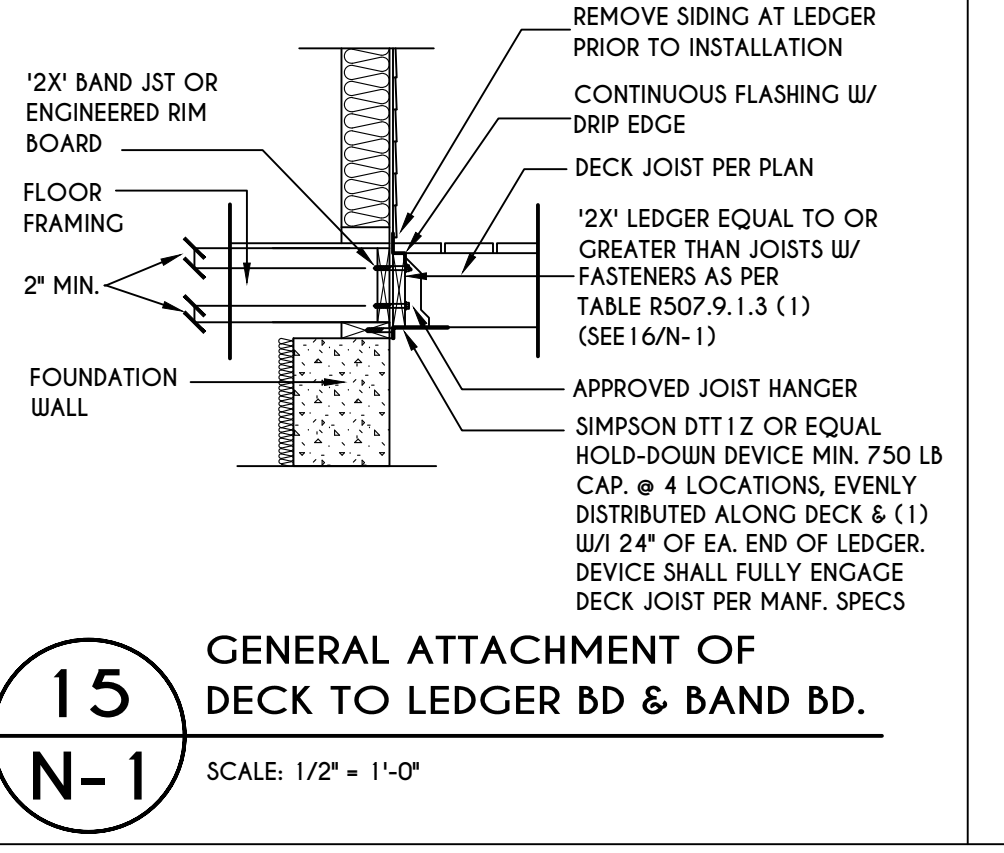
12
N-1
 DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
 N.T.S.



13
N-1
 COFFERED BEAM DETAIL
 N.T.S.



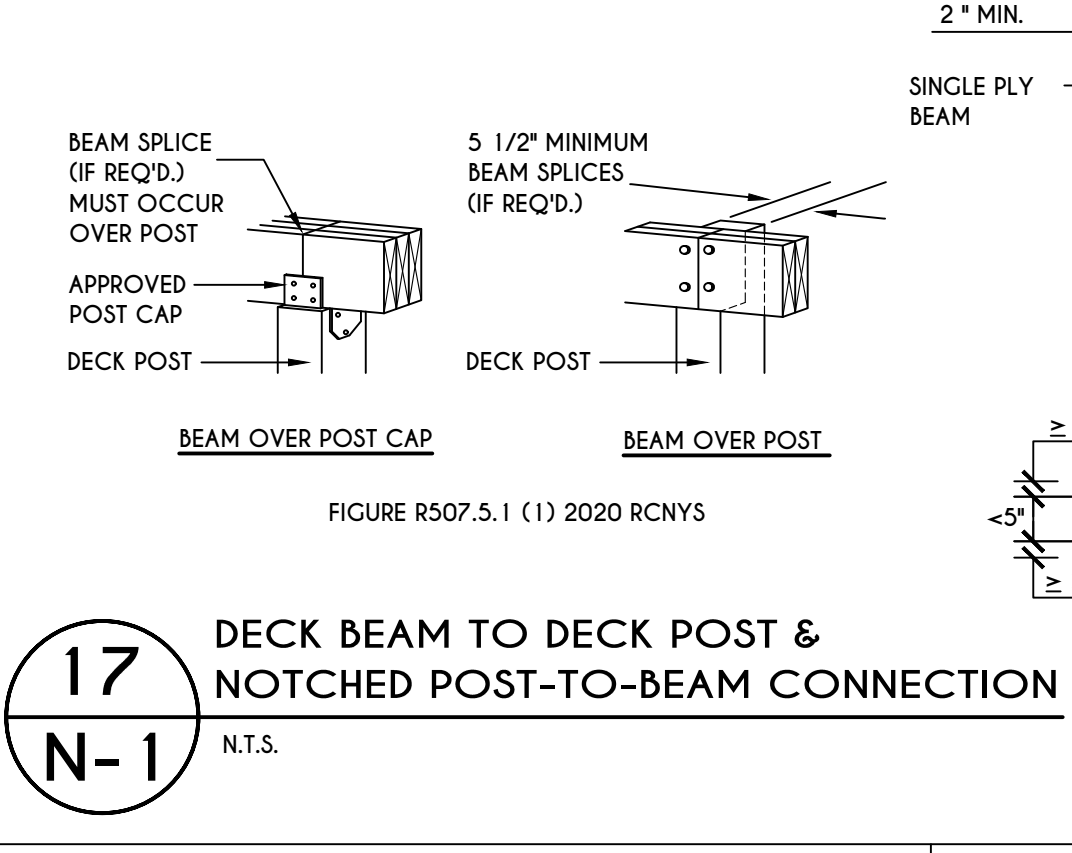
14
N-1
 TYPICAL GUARD RAIL DETAIL
 SCALE: 1/2" = 1'-0"
 GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS



15
N-1
 GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
 SCALE: 1/2" = 1'-0"

16
N-1
 PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
 FIGURE R507.9.1.3 (1) OF RCNYS N.T.S.

CONNECTION DETAILS	TABLE R507.9.1.3 (1) DECK LEDGER CONNECTION TO BAND JOIST						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

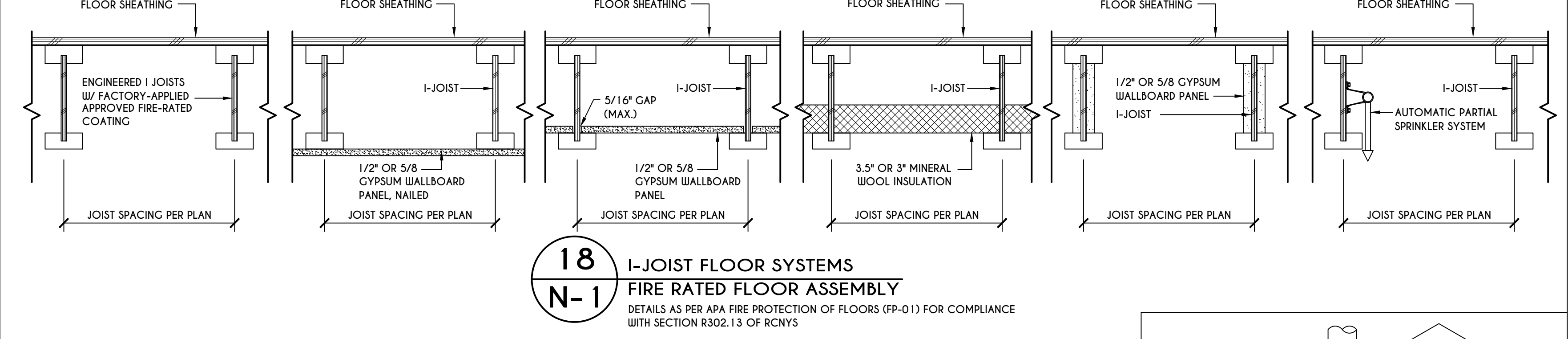


17
N-1
 DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
 N.T.S.

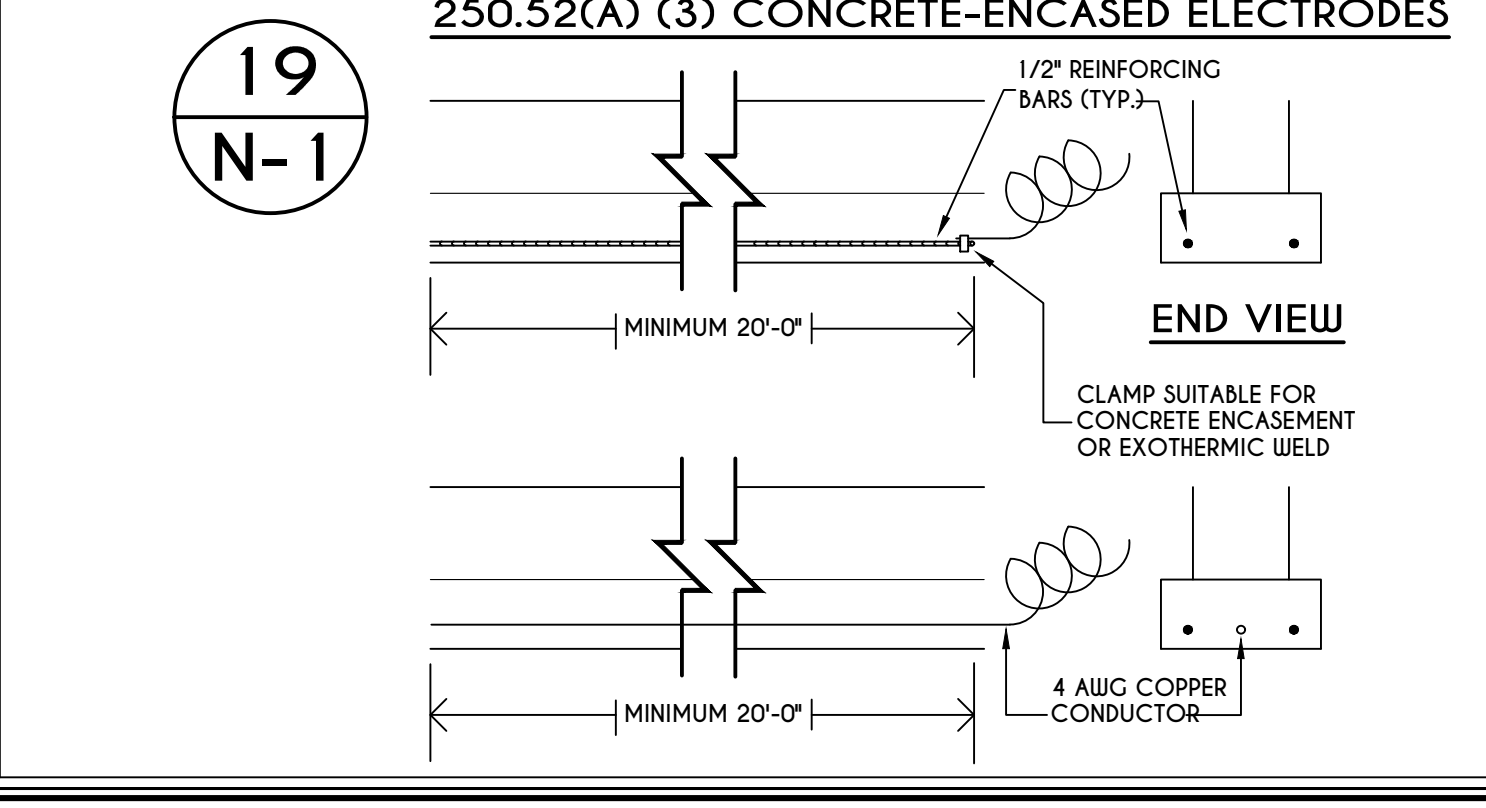
TABLE R507.4 DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 X 4	6-9 ^c
4 X 6	8'
6 X 6	14'
8 X 8	14'

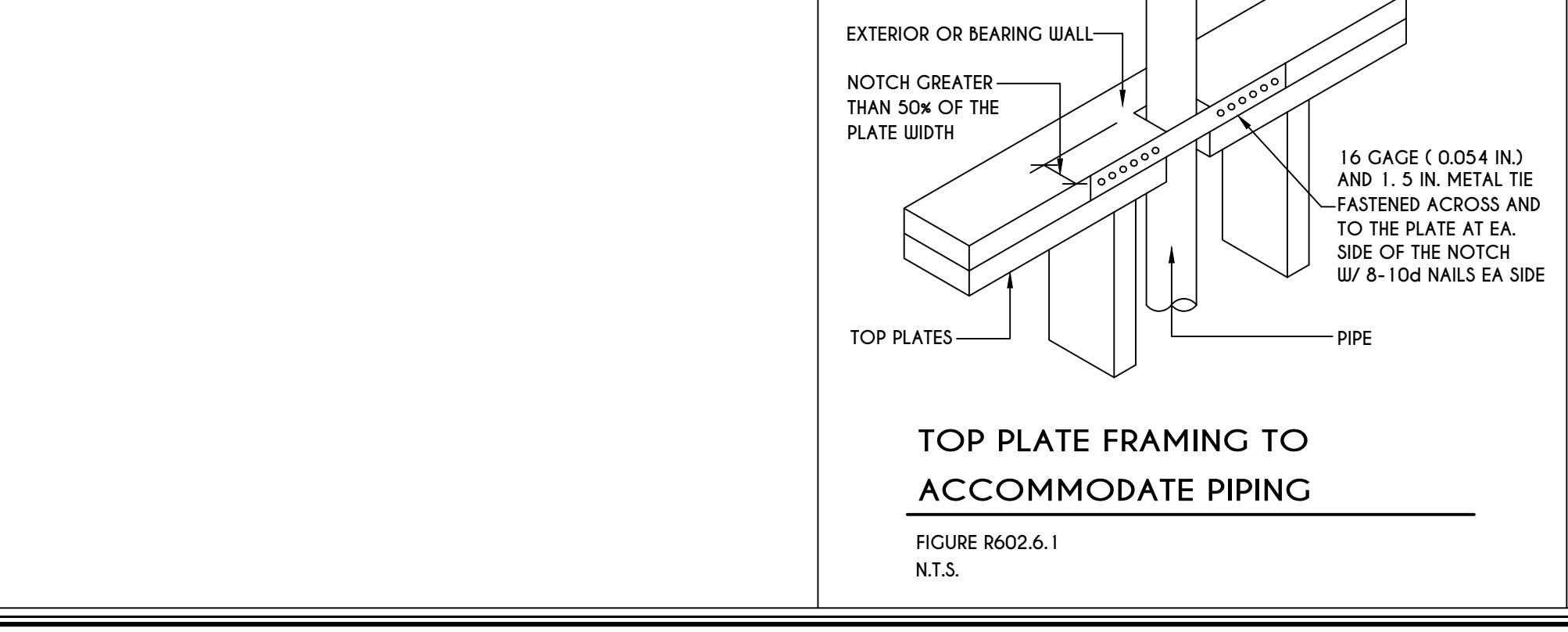
a. MEASURED TO UNDERSIDE OF BEAM
 b. BASED ON 40 psf LIVE LOAD
 c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



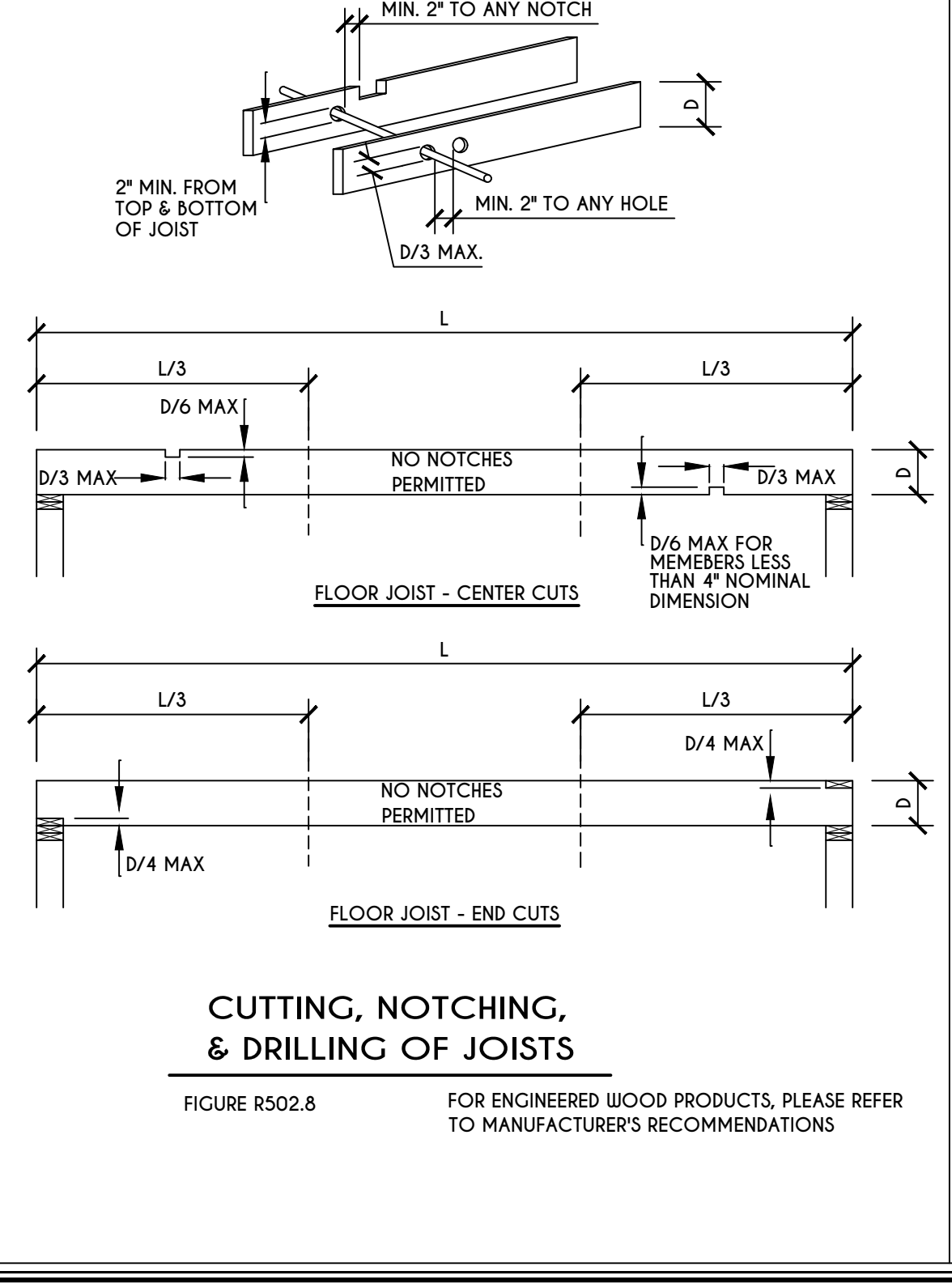
18
N-1
 I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
 DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



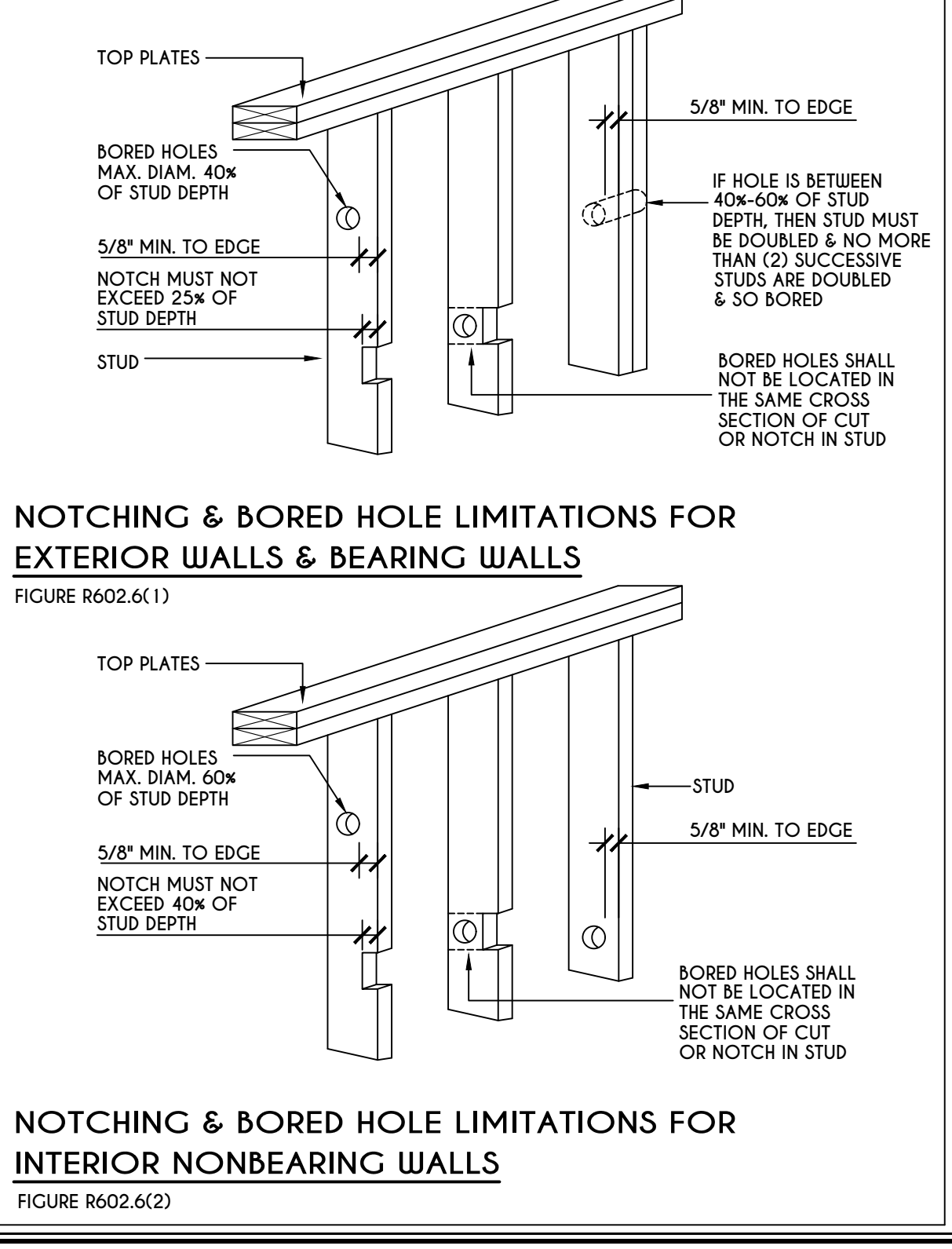
19
N-1
 250.52(A) (3) CONCRETE-ENCASED ELECTRODES



TOP PLATE FRAMING TO ACCOMMODATE PIPING
 FIGURE R602.6.1 N.T.S.



CUTTING, NOTCHING, & DRILLING OF JOISTS
 FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
 FIGURE R602.6(1)

NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
 FIGURE R602.6(2)

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 5$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MC, ML-CL AND INORGANIC CL SOILS 60	SC, MC, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MC, ML-CL AND INORGANIC CL SOILS 60	SC, MC, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 8.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MC, ML-CL AND INORGANIC CL SOILS 60	SC, MC, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MC, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
- e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
- b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E AND F.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
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- f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
- b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
- d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
- e. ALLOWABLE DEFLECTION CRITERION IS 1/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
- f. INTERPOLATION IS NOT PERMITTED.
- g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
- h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
- i. CONCRETE COVERS FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVERS FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
- l. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
- k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 1a.
- m. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
- n. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
- o. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
- p. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND WALL SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE PERMANENTLY FILLED WITH THE INSULATION HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.
RECESSED LIGHTING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
PLUMBING AND WIRING		
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CHALKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

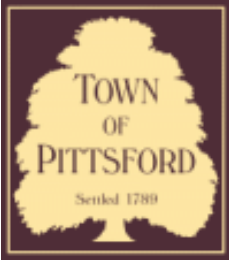
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GM & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^a

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
- b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GU	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SU	WELL-GRADED SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C24-000002

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Wilmorite Construction LLC

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a new storefront entry to the exterior of a commercial shell space whose use is changing from one tenant to two.

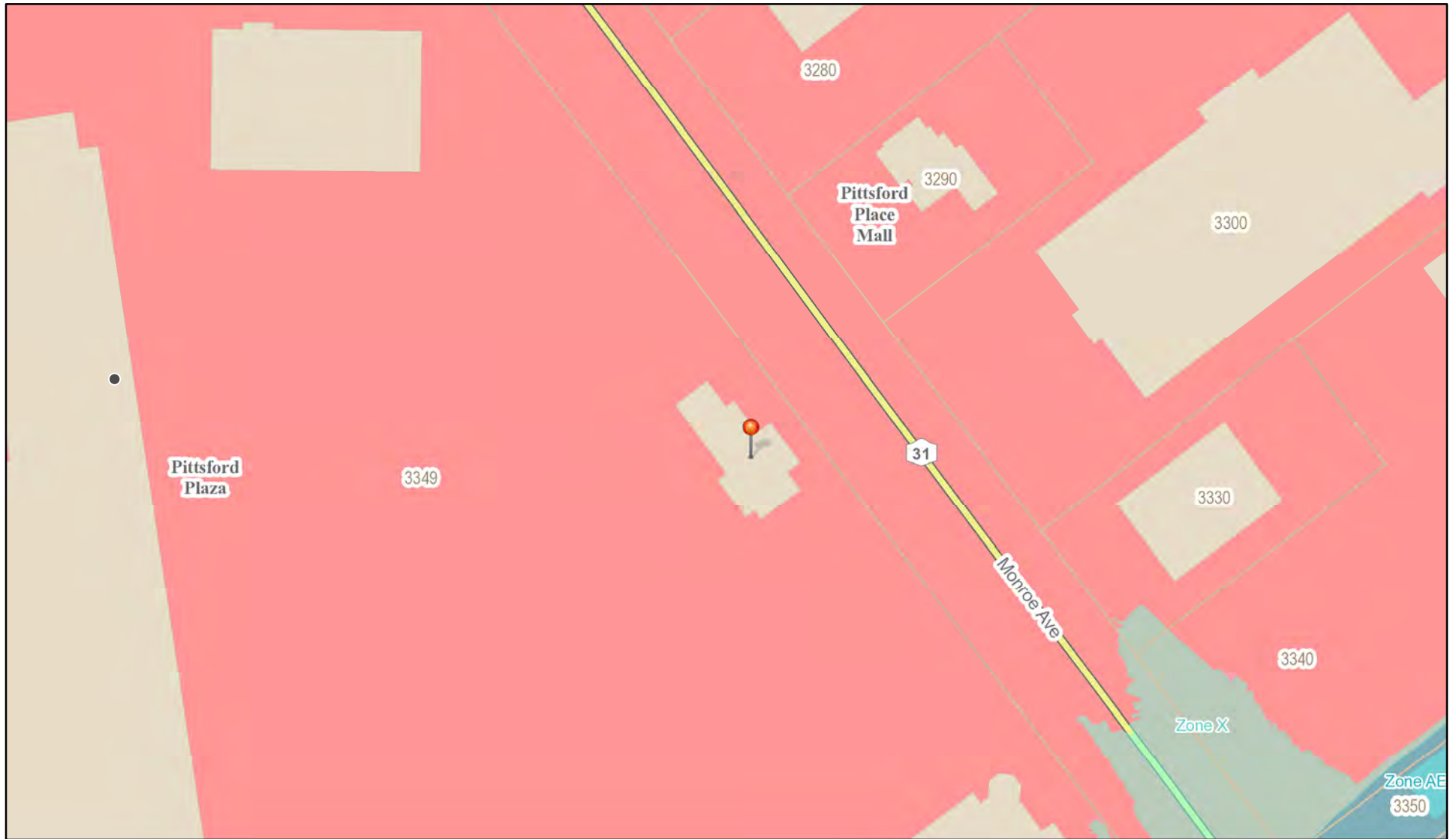
Meeting Date: February 08, 2024



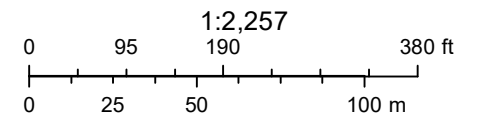
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RN Residential Neighborhood Zoning

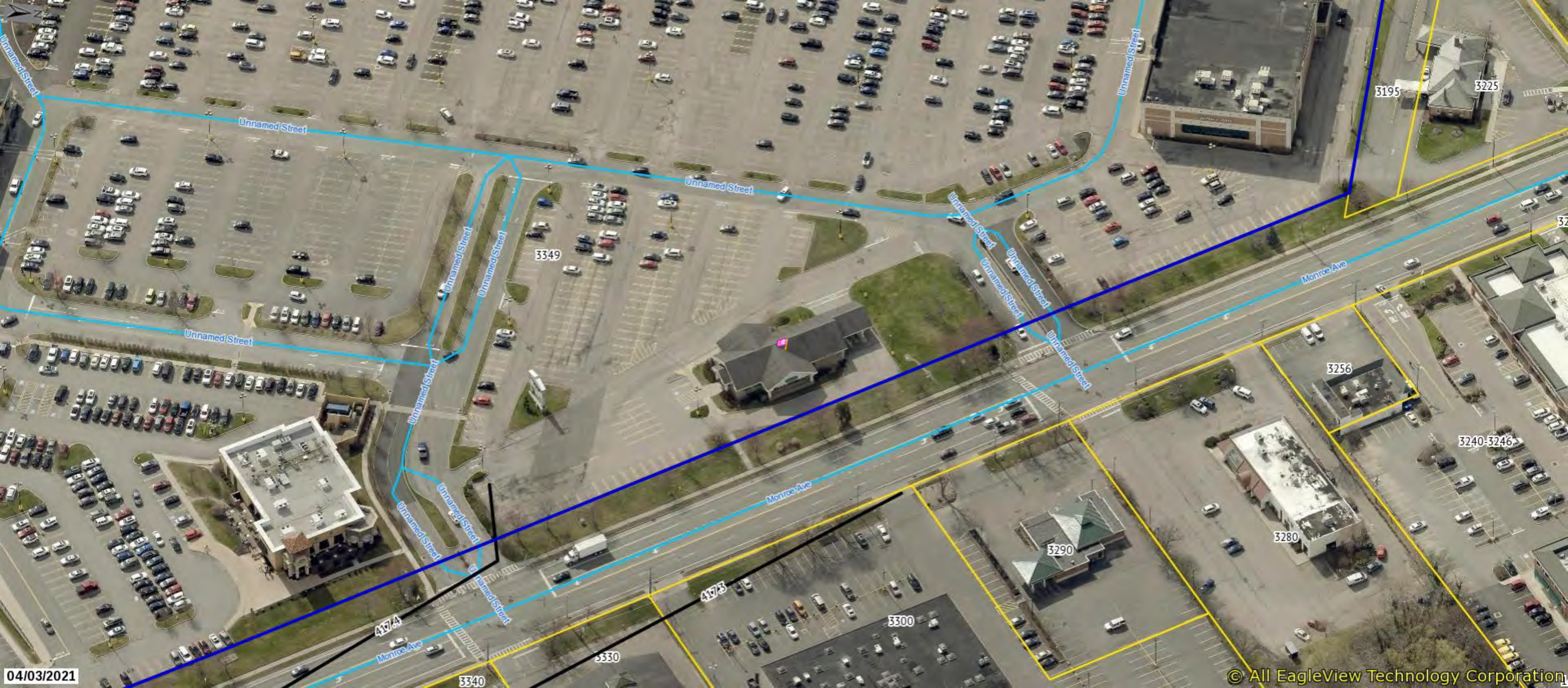


Printed February 1, 2024



Town of Pittsford GIS

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04/03/2021

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3195

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