

Design Review & Historic Preservation Board
AGENDA
November 9, 2023

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, November 9, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

15 Ryder Cup Circle

Applicant is requesting design review for a 144 square foot three-season room off the rear of the home.

27 North Country Club Drive

Applicant is requesting design review for the renovation of multiple windows in several areas of the home.

3 Surrey Lane

Applicant is requesting design review for an approximately 247 square foot sunroom off the rear of the home.

19 Arbor Creek Drive

Applicant is requesting design review for the addition of a 90 square foot dormer to the 2nd story of the home.

4 Knowlton Lane

Applicant is requesting design review for a 455 square foot second floor addition above the existing garage.

RESIDENTIAL APPLICATIONS: NEW HOMES

11 Bridleridge Farms

Applicant is requesting design review for a 3,332 square foot single-family home in the Bridleridge Farms Subdivision.

DEMOLITION APPLICATIONS: PRELIMINARY

78 State Street

Applicant is requesting approval for the demolition of a 100-year-old detached garage, with the intent to build a new detached garage on the property. This property is zoned Residential Neighborhood (RN).

COMMERCIAL APPLICATIONS: SIGNS

3349 Monroe Avenue – Rochester Regional Health

Applicant is requesting design review for signage for Rochester Regional Health at Pittsford Plaza.

COMMERCIAL APPLICATIONS: NEW CONSTRUCTION

961 Panorama Trail South – Panorama Landing Building D

Applicant is requesting design review for a new, 24,000 square foot commercial building in Panorama Landing (shell only).

DEMOLITION APPLICATIONS: PUBLIC HEARING

105 Ellingwood Drive

Applicant is requesting approval to demolish the existing 1,729+/- square foot home, with exception of the garage, and rebuild a new 3,650+/- square foot home on the property. This property is zoned Residential Neighborhood (RN).

**TOWN OF PITTSFORD
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
MINUTES
OCTOBER 25, 2023**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on October 25, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dirk Schneider, Chairman; Jim Vekasy; John Mitchell; Bonnie Salem; Kathleen Cristman; Paul Whitbeck

ABSENT: Dave Wigg, Vice Chairman

ALSO PRESENT: Anthony Caruso, Building Inspector; Robert Koegel, Town Attorney; Meghan Brooks, Building Department Assistant; Cathy Koshykar, Town Board Liaison

ATTENDANCE: There were 15 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

DRHPB Chairman Dirk Schneider confirmed that Wayne Goodman will be attending. DRHPB Member Salem confirmed with the Building Department Assistant, Meghan Brooks, that the reception invite letters will be sent out by November 1, 2023. Board Member Salem asked the Board for their thoughts on inviting other interested parties to the reception, eg. Town Board members, the Town Historian, etc. She also stated that invitations have been sent out to two owners of designated homes; one has confirmed, and the other will be receiving a letter this week. She is requesting an RSVP from attendees by November 27, 2023, and hopes that in the next meeting the Board can decide on specific refreshments for the event.

Chairman Schneider stated that Mr. Goodman had asked him what he would be talking about, and whether he would need a slideshow. The Board agreed that a more informal talk would be appropriate, with standard slideshow going on behind it.

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

4 Knowlton Lane

Applicant is requesting design review for a 455 square foot second floor addition above the existing garage.

The applicant was not present to introduce this application. The application will be held to the following meeting on November 9, 2023.

4048 East Avenue

Applicant is requesting design review for an 80 square foot porch addition to the front of the home.

Chuck Smith of Design Works Architecture introduced the application. There was a brief discussion on the number of homes that are designated within the Town. Mr. Smith stated that they will be adding a porch to the front door of this property. The home currently has a 30-inch deep stoop but no cover, and they would like to cover the stoop and, in doing so, extend it. The fascias will match the main roof of the house.

Chairman Schneider asked if the columns would be fluted or solid. Mr. Smith said that they will not be fluted. Board Member Salem confirmed with Mr. Smith that all the brick shown in the design is currently there.

DRHPB Member Bonnie Salem motioned to approve the 80 square foot porch addition to the front of the home as submitted. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

77 Coventry Ridge

Applicant is requesting design review for an approximately 450 square foot pavilion off the rear of the home.

Brandon Smith of Cadre Curbing LLC introduced the application. Mr. Smith stated that they will be adding a composite deck with a covered structure to the rear of the home. The structure will be 14 feet by 17 feet, and the finishings and design will match the new home, including the shingles.

DRHPB Member Jim Vekasy asked if there would be a veneered stone wall as shown in the plans. Mr. Smith replied that the owner decided not to add that element in the final design.

DRHPB Chairman Dirk Schneider motioned to approve the approximately 450 square foot pavilion off the rear of the home, with the condition that no stone veneer would not be added to the back wall, as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES

9 Bridleridge Farms

Applicant is requesting design review for a new, 3,005 square foot, single-family home in the Bridleridge Farms Subdivision.

Austin Miller of Bridleridge Construction Corporation introduced the application. Mr. Miller stated that they will be building a 3,005 square foot home in the new subdivision. He briefly described the exterior materials of the home, including the fact that while paint colors have not been decided, the shakes and clapboard would likely be painted the same color.

Board Member Salem stated that she feels that this plan seems complementary to the previous two Bridleridge Farms homes that came before the DRHPB, and appreciates that they all have side load garages. Chairman Schneider added that, in the future, the Board would like to see images of the other homes in the packets, to avoid having anything too similar right next door.

Board Member Salem noted that there are a number of materials used, including stone, shake, and clapboard, but the Board as a whole expressed that they like that the shakes and clapboard would have different textures but be painted the same color.

DRHPB Member Kathleen Cristman motioned to approve the new, 3,005 square foot single-family home in the Bridleridge Farms Subdivision as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATE OF APPROPRIATENESS

17 Country Club Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the demolition of a pool on a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Chairman Schneider opened the public hearing.

Micky Suri of 17 Country Club Road introduced the application. Ms. Suri stated that she is hoping to remove the pool and return the area to a landscaped yard.

Chairman Schneider asked if there is a pool house and, if so, would it be removed as well. Ms. Suri stated that the pool house would stay as storage and is not part of the demolition. Board Member Salem asked if shrubs will be coming out as well. Ms. Suri stated that unfortunately they had to as a part of the process.

Chairman Schneider opened the podium to members of the public. Chuck Smith of Design Works Architecture asked if the property is in a historic district. Board Member Salem stated that it is not.

DRHPB Chairman Dirk Schneider moved to close the public hearing. All approved, none opposed. The resolution for a Certificate of Appropriateness was read and passed (attached).

DEMOLITION APPLICATIONS

78 State Street

Applicant is requesting approval for the demolition of a 100-year-old detached garage, with the intent to build a new detached garage on the property. This property is zoned Residential Neighborhood (RN).

Keith Gardner of Gardner Construction & Development introduced the application with the homeowner Steven Goldberg. Mr. Gardner stated that the homeowner is proposing to demo the garage because it is structurally unsound and does not meet current setback requirements, with

the intent to then build a new detached garage that meets current zoning and is set back behind the house.

Chairman Schneider asked about the garage's structural deficits. Mr. Gardner confirmed that it is structurally unsound and that it looks like one good snowstorm could take it down. Mr. Goldberg added that there are a lot of gaps and holes in the sidings, as well as rot in the beams.

The Town Attorney Robert Koegel stated that the purpose of this meeting is to act as a discretionary hearing for the Board to decide whether or not they feel that the garage contributes to the existing character of the neighborhood by virtue of the structure's architectural or historic nature. If they do not feel that it does so, the Board can then move to exempt the garage demolition from the full review process.

DRHPB Member Kathleen Cristman asked if they are planning on replacing the new garage on top of the old footprint. Building Department Assistant Meghan Brooks stated that the existing garage's location does not meet the current zoning code and confirmed that the DRHPB cannot ask the homeowner to build the new one there. Mr. Gardner confirmed that they do not yet have plans for the new garage, but that it will match many of the details of the home.

Board Member Salem confirmed with Mr. Koegel that the Board can withhold its decision if they feel something is missing.

Chairman Schneider noted that, from the photos, it looks like the garage was expanded over time and improperly done. Board Member Salem stated that while it looks like it came about after the home was built and the property is not designated, she feels it is important to keep in mind that the home is adjacent to Pittsford Village, which is a historic district.

Board Member Vekasy stated that he feels that the garage is not adding any historical or architectural significance to the original home. DRHPB Members John Mitchell and Paul Whitbeck agreed, though Board Member Whitbeck added that he wished that the Board had been provided a few photos of the issues on the inside.

Board Members Salem and Christman stated that they feel uncomfortable exempting the application from the review process without knowing what will replace it. Chairman Schneider asked Mr. Gardner if there was any plan concept, and Mr. Gardner responded that the current idea is a single-story garage with a loft area for storage.

After some discussion, the DRHPB requested that the applicant bring supplemental materials to the next meeting before voting on the demolition process. These materials should include preliminary plans, elevations from the front and side showing a scaled relationship to the house, and confirmation that the new garage will have two single doors.

COMMERCIAL APPLICATIONS: SIGNS

3349 Monroe Avenue – Apple Cinemas

Applicant is requesting design review for 45 square feet of signage for Apple Cinemas in Pittsford Plaza.

No applicant was present to introduce the application. Chairman Schneider confirmed with Building Inspector Anthony Caruso that the size meets Town code and asked if the Board had

any comments. The Board expressed a generally positive sentiment towards the new signage, though Board Member Christman stated that she hopes that the applicant knows that they have maxed out on signage and would not be able to add show listings.

DRHPB Chairman Schneider motioned to approve the 45 square feet of signage at 3349 Monroe for Apple Cinemas in Pittsford Plaza as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

3350 Monroe Avenue – Sercu Law

Applicant is requesting design review for an approximately 30 square foot sign for a new business.

Larry Wells with Rotolite Elliott introduced the application. Mr. Wells stated the project is a channel letter sign for Sercu Law anchored onto trusses on the fascia. It would utilize LED lights and be front-lit. It is replacing a structure that was bracketed up on the front of the building by the previous property owner.

Board Member Whitbeck confirmed with Building Inspector Anthony Caruso that it meets Town code. Chairman Schneider asked why they had chosen that color; Mr. Wells responded that it is the brand color.

Board Member Mitchell asked if the pictures were to scale and if the raceway would be white. Mr. Wells confirmed that they were to scale, and that the raceway would be white to match the fascia.

DRHPB Member John Mitchell motioned to approve the approximately 30 square foot sign for Sercu Law as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

3240 Monroe Avenue – Ethan Allen

Applicant is requesting design review for an approximately 63 square foot sign for Ethan Allen in Pittsford Square.

Jared Roth, the owner of Ethan Allen in Victor, introduced the application with Kirk Wright with Sign and Lighting Services. Mr. Roth and Mr. Wright proposed an illuminated sign of white channel letters flush mounted to the brick.

Board Member Vekasy asked how deep the letters are. Mr. Wright stated that they are 3 inches deep. Board Member Salem asked if this sign would be similar to the one in Victor, and Mr. Roth stated that while it would be similar, the letters would be skinnier and more congruent with the branded lettering. Board Member Salem expressed that it looks very sharp.

DRHPB Member Bonnie Salem motioned to approve the approximately 63 square foot sign for Ethan Allen in Pittsford Square as submitted. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

INFORMAL DISCUSSION

145 Kilbourn Road - Oak Hill Country Club Clubhouse

The DRHPB expressed a general sentiment that it is difficult to comment on these plans without having a better idea of what Oak Hill's master plan for the renovation of the clubhouse, including if there will be any future additions. Chairman Schneider stated that he is appreciative that the country club is on the national and state registers and is concerned that the original structure's integrity might be destroyed if they continue to add on.

OTHER DISCUSSION

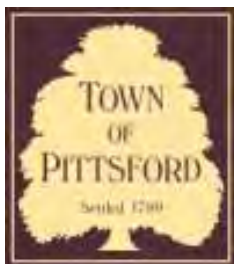
The minutes of October 12, 2023, were approved following a motion by DRHPB Member John Mitchell. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 7:18PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000135

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 15 Ryder Cup Circle PITTSFORD, NY 14534

Tax ID Number: 163.07-1-52

Zoning District: RN Residential Neighborhood

Owner: Turner, Bradley M

Applicant: Great Day Improvements, LLC

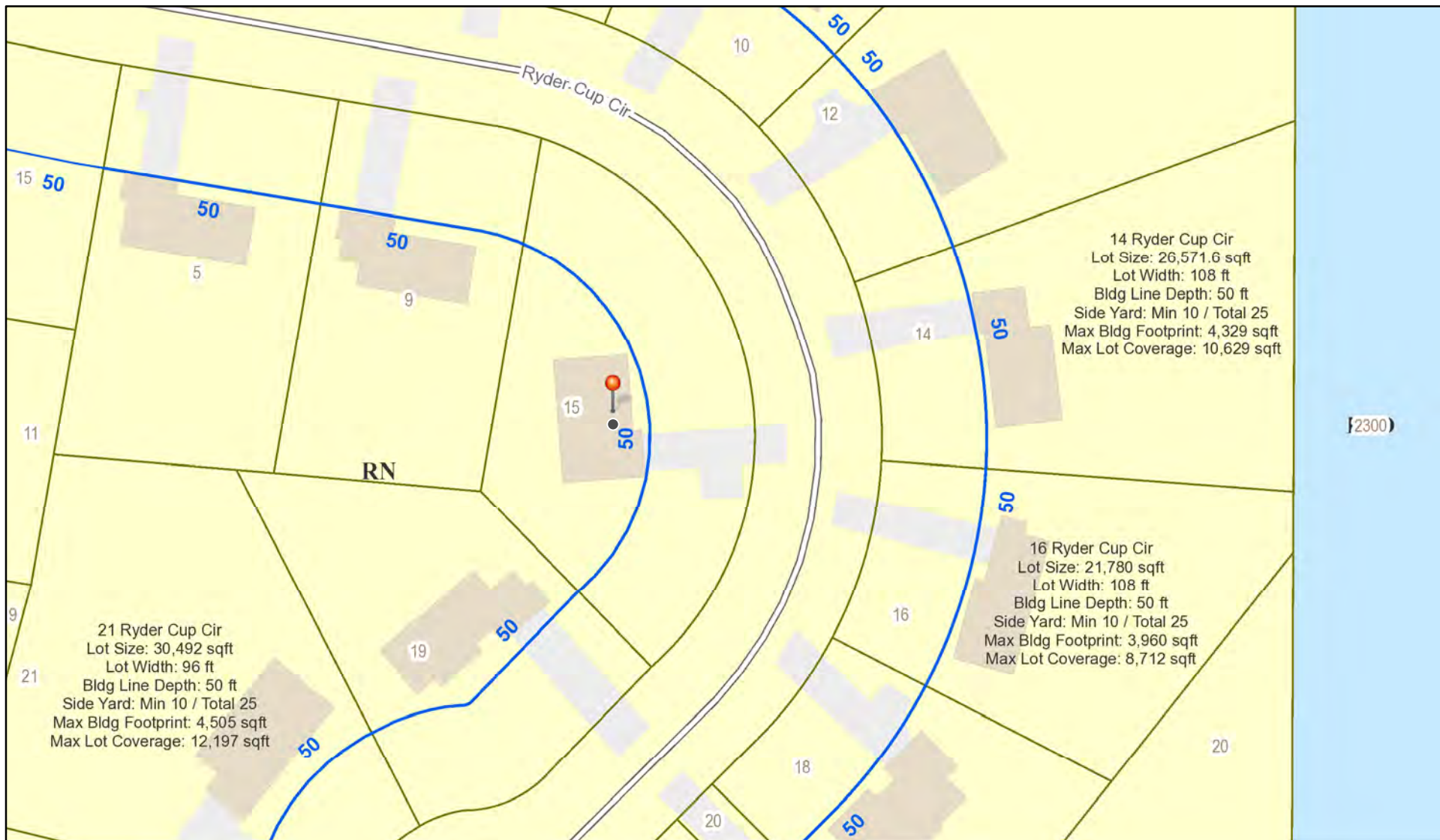
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

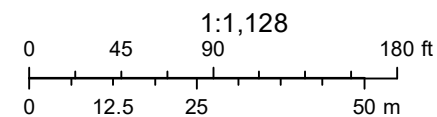
Project Description: Applicant is requesting design review for an approximately 144 square foot three-season room off the rear of the home.

Meeting Date: November 09, 2023

RN Residential Neighborhood Zoning

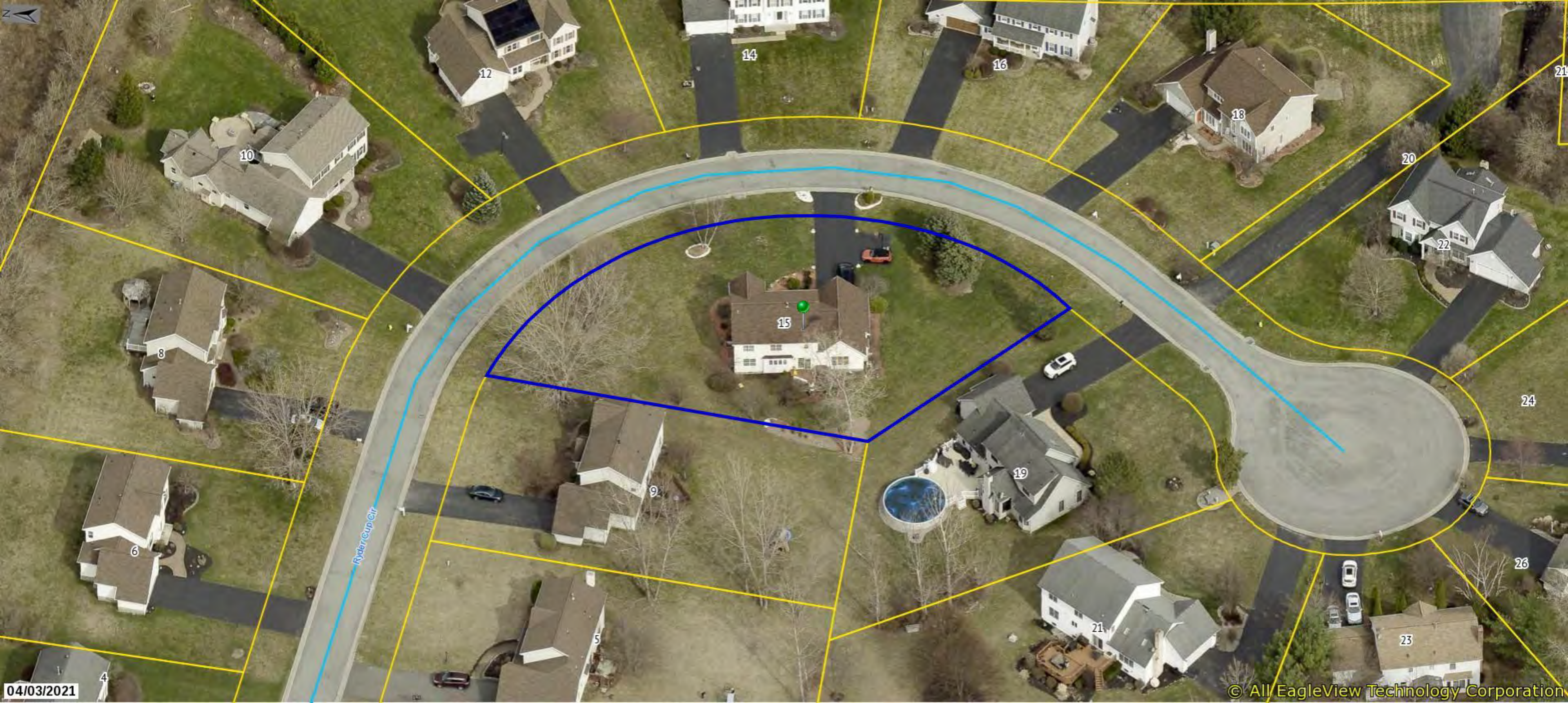


Printed November 2, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



04/03/2021

© All EagleView Technology Corporation

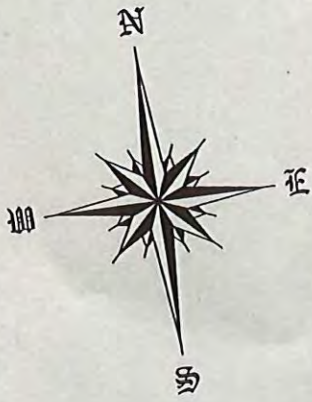
LOT 53

RYDER

CUP CIRCLE (60' ROW)

EASEMENT
Liber 7269 of Deeds Page 75
To Pittsford Sewer Dist.

L=305.78'
R=150.00'
Δ=166.4753"



TELBOX CB EBOX

S 09°13'45" W 163.45'

L.7269 D. 94 = Easement to
Pittsford Sewer District.

LOT 51

DECLARATIONS
Liber 7383 of Deeds Page 177

Note: The use of this map in conjunction with an affidavit of no changes releases the surveyor of all responsibility.
Stake(s) Note: No stakes were set at the time of this survey. Existing stakes may be shown. Call us for a quote to set lot stakes.

COPYRIGHT © by McMahon LaRue Associates P.C. SEPTEMBER 2018
I hereby certify to the parties listed hereunder that this map was made using the reference material listed hereon and the notes of an instrument survey performed in accordance with the current standards of the New York State Association of Professional Land Surveyors completed on SEPTEMBER 11, 2018

BRADLEY TURNER AND STELLA KING
HARRIS BEACH PLLC
WELLS FARGO BANK, N.A., its successors and/or assigns
UNDERBERG & KESSLER LLP
STEWART TITLE INSURANCE COMPANY

Alfred I. LaRue, N.Y.S.P.L.S # 046558

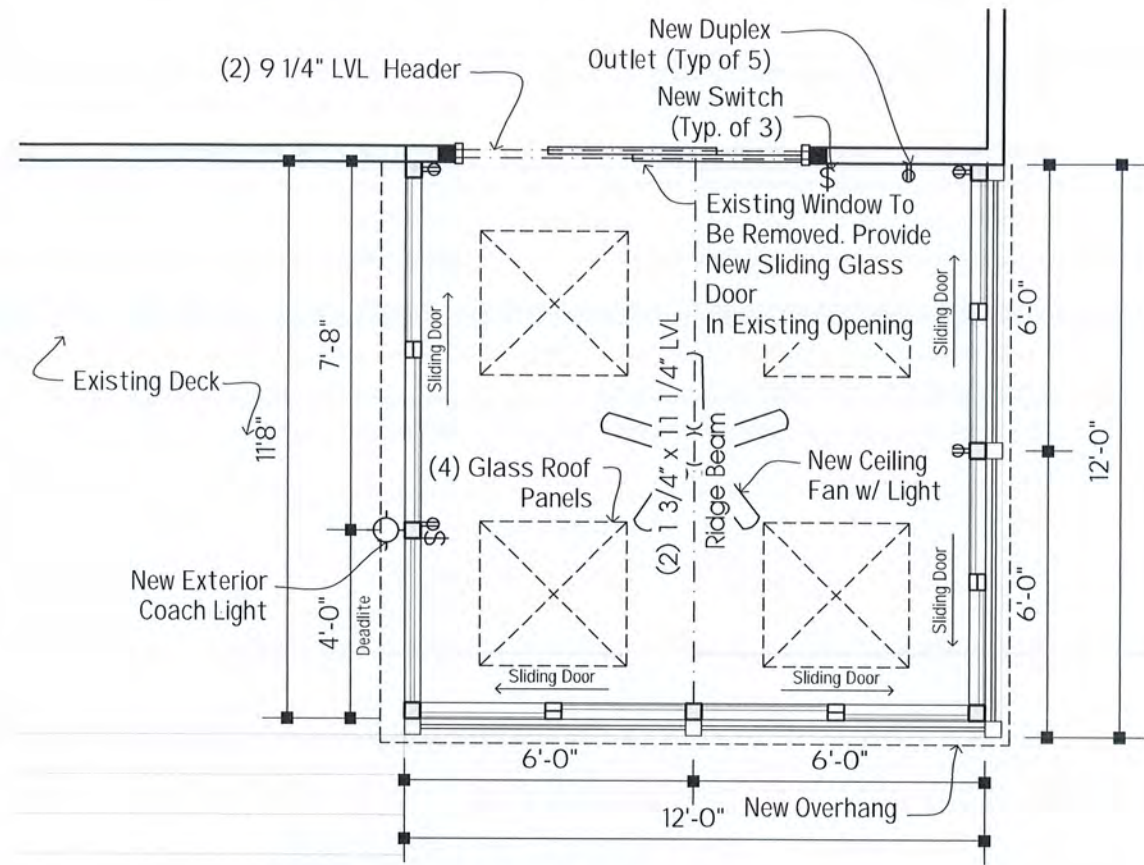
Note: Ties are not taken to foundation unless specified
Field work to obtain ties was performed at a 1: 10000 or better precision
This is not a true valid copy without the land surveyors inked signature and embossed seal.

2018-105

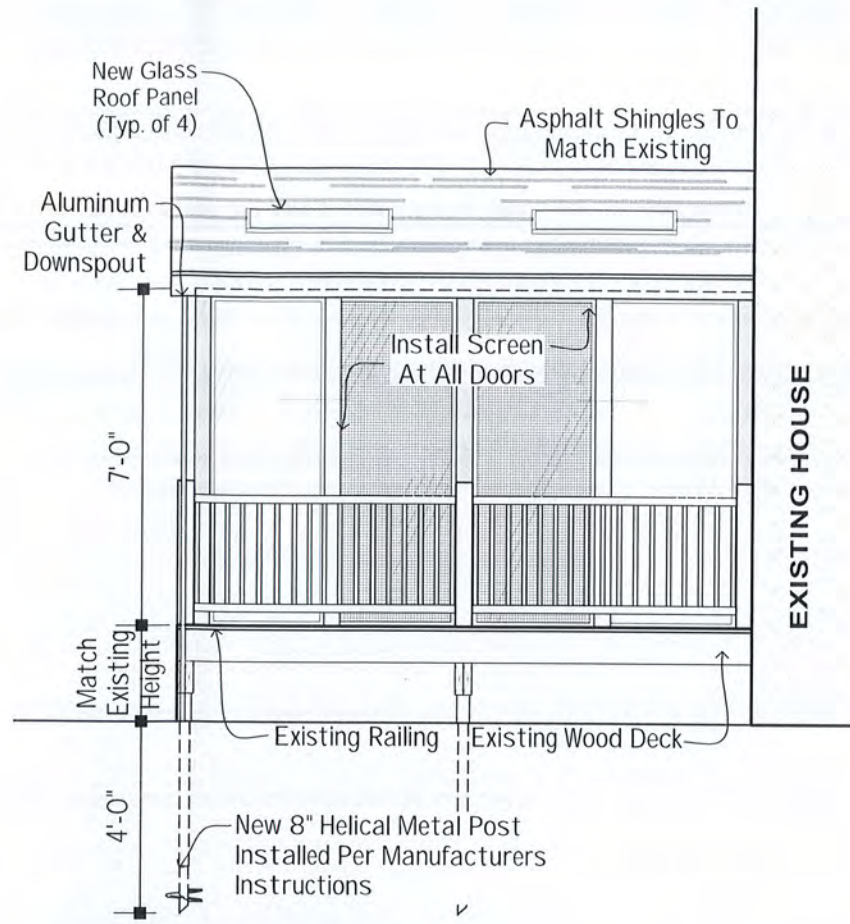
INSTRUMENT SURVEY

McMahon LaRue
Associates, P. C.
Engineers & Surveyors

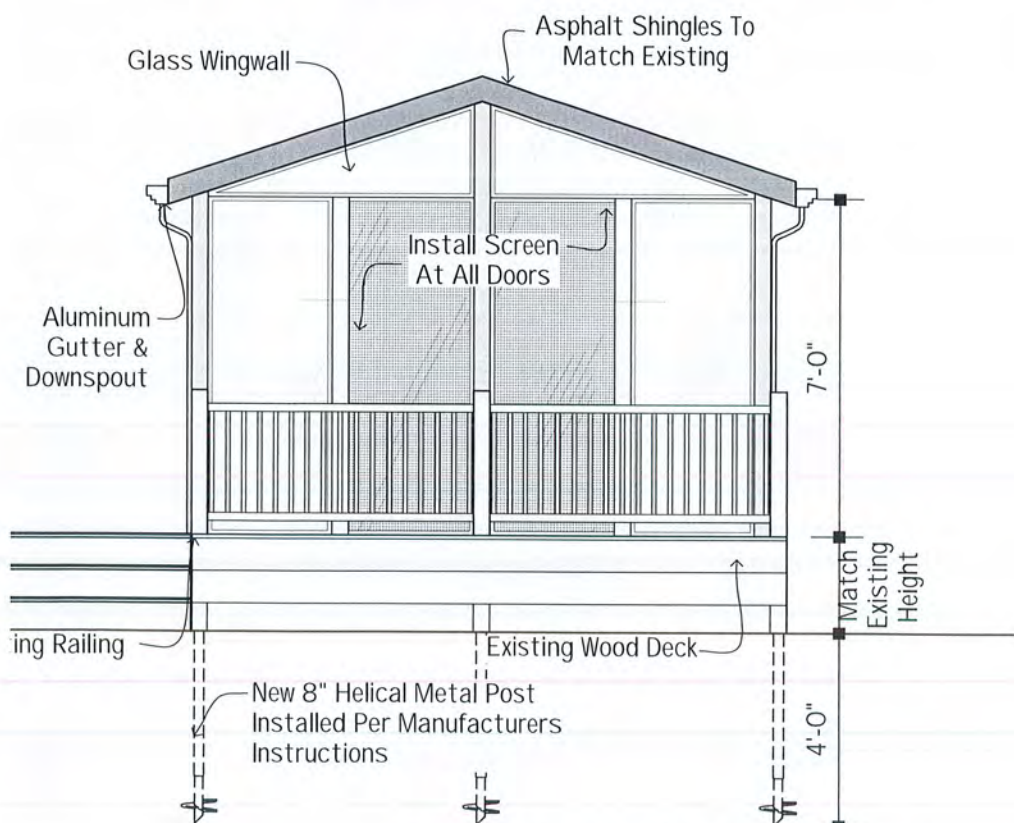
Address 15 RYDER CUP CIRCLE Town of PITTSFORD
Lot No. 52
Reference Data Subdivision FAIRWAY CROSSING
Liber 250



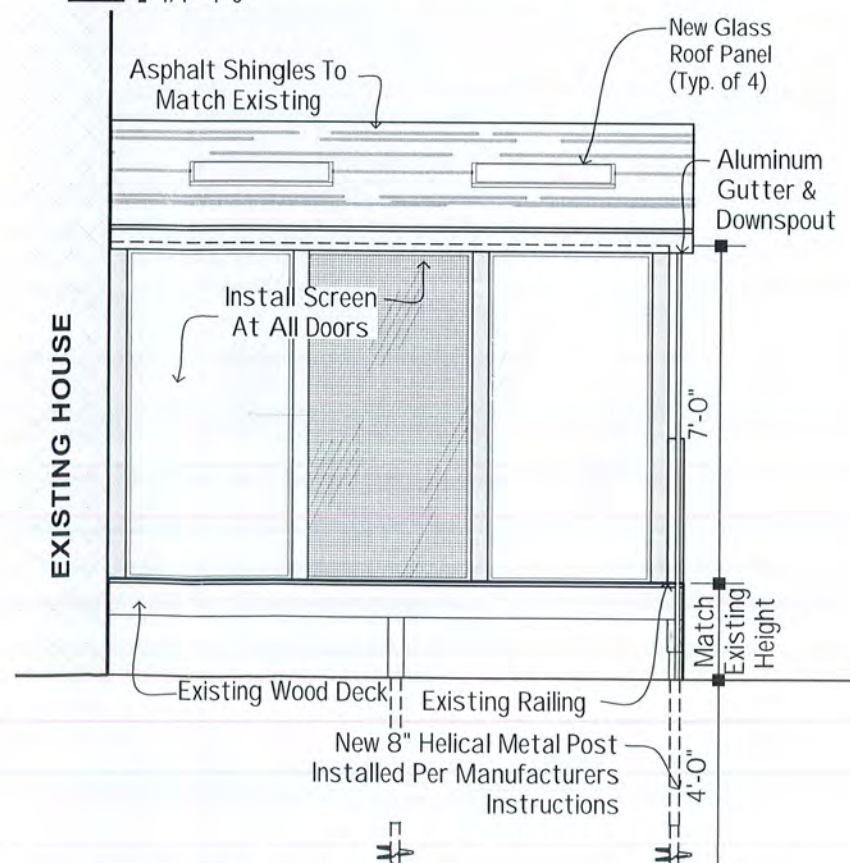
1 FLOOR PLAN
1/4"=1'-0"



2 ELEVATION
1/4"=1'-0"



3 ELEVATION
1/4"=1'-0"



4 ELEVATION
1/4"=1'-0"

General Notes:

1. All Wood in Direct Contact With Concrete Must Be EPA Approved Preservative Treated Per Code, & Designated As "Ground Contact"
2. All Connections To Existing House Shall Be Done In Accordance With Sound Construction Practices. Particular Attention Must Be Given To Ensure A Proper Load Path From The Sunroom To The Existing House Framing & To The Sunroom Foundation
3. All Wood Member Connections Shall Be Rigid & Secure Or Simpson Strong-Tie Or Equivalent Where Applicable
4. When Using EPA Approved Preservative Treated Lumber In Contact With Aluminum, First Isolate Wood From Aluminum With Either Of The Following: 15 Lb Roof Felt, Or 10 Mil Plastic Sheeting Prior To Installation Of Aluminum. All Fasteners In Direct Contact With Preservative Treated Wood Shall Be Hot-Dipped Galvanized Per ASTM A153, Or Other Approved Protective Coating Trim Coil To Be Attached To Isolated Wood Post Using Stainless Steel Nails. Lags Onto Decks Must Penetrate Center Of Header Or Joist Board, Or Provide Solid Blocking For Lag Embedment.
5. Wedge Bolts Shall Have Empigard "Tri-Coat Coating" & Shall Be Installed Per Manufacturers Recommendations.
6. All Windows, Doors, & Glass Wing Panels Shall Be Tempered Insulated Glass Or Annealed Insulated Laminated Glass If Height Above Grade Equals 12 Feet Or More
7. Registered Professional Stamping These Details Cannot Be Responsible For Soil Bearing Analysis Or Adequacy Of Existing Structures, Or Proposed Work Performed Or Coordinated By Owner

Note:

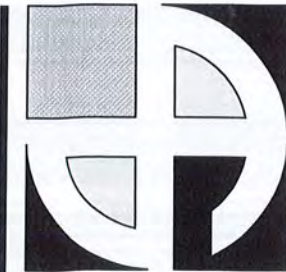
1. This Is A 3 Season, Unheated, Non-Habitable Space Exempt From NYS Energy Code.
2. Either The Contractor Or The Owner Shall Install Smoke Detectors Throughout Existing Structure Per RCNYS 313
3. All Dimensions Are Nominal, Installed On New Or Existing Concrete Foundation

I Certify That When This Pre Engineered Structure By "Patio Enclosures, Inc." Is Assembled With The Manufacturers Directions It Meets The Design Load Requirements Of RCNYS: Snow: 55 Pst Wind: 115 Mph

Notes:

1. All Lumber To Be S-P-F#2 Or Better
2. All Lumber In Contact w/ Concrete To Be Pressure Treated
3. All Lumber Closer Than 18" To Ground To Be Pressure Treated
4. New 16" Dia Piers Calculated To Support Roof & Floor Loading

Design Loads:
Snow- 55 PSF
Wind- 115 MPH
Live- 50 PSF
Dead- 10 PSF
Seismic- D



D·E·A·N
ARCHITECTS

www.deanarchitects.com



23-334



GREAT DAY
IMPROVEMENTS, LLC

2620 North America Dr.
West Seneca, NY 14224
(716) 674-6446

Turner
Residence
15 Ryder Cup Cir.
Pittsford, NY 14534

No.	Description	Date	By

DATE:

8-29-2023

DRAWN BY:

T. Lidlow

CHECKED BY:

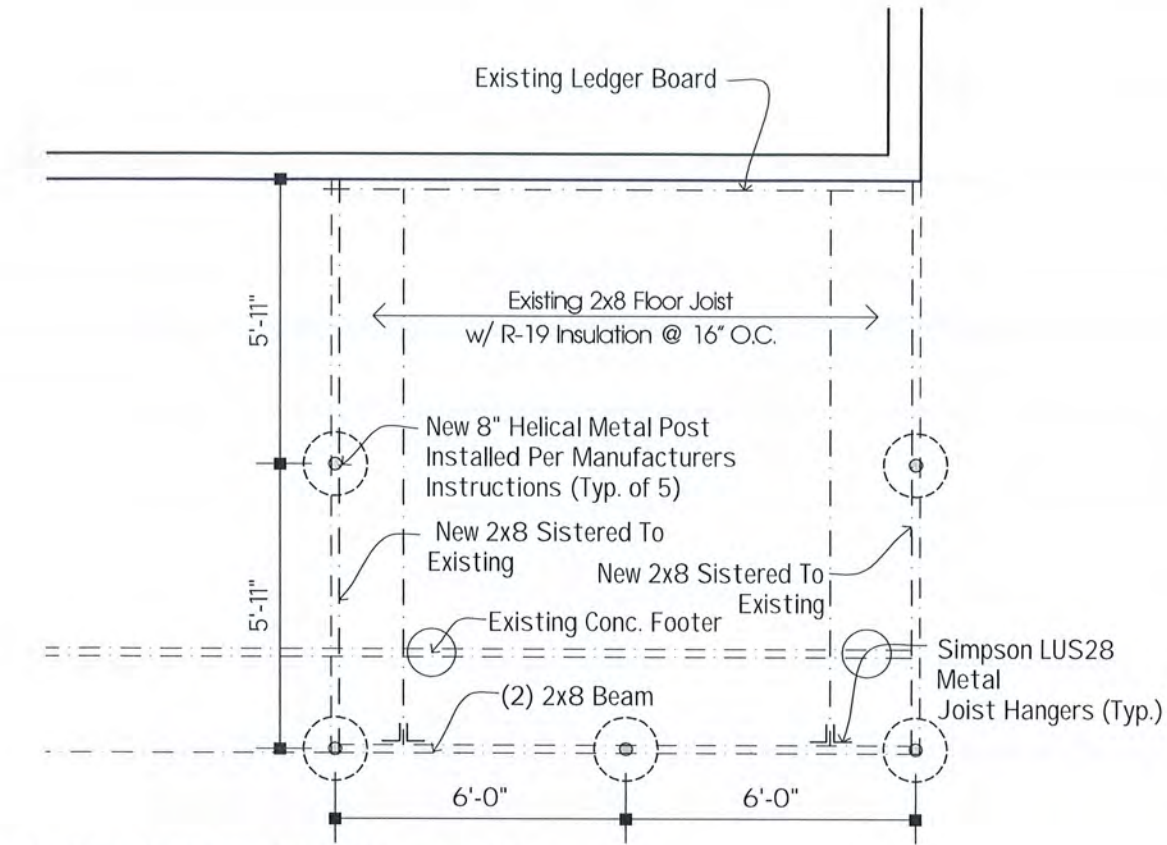
M. Dean

SCALE:

1/4"= 1'-0"

Plans & Elevations

A1



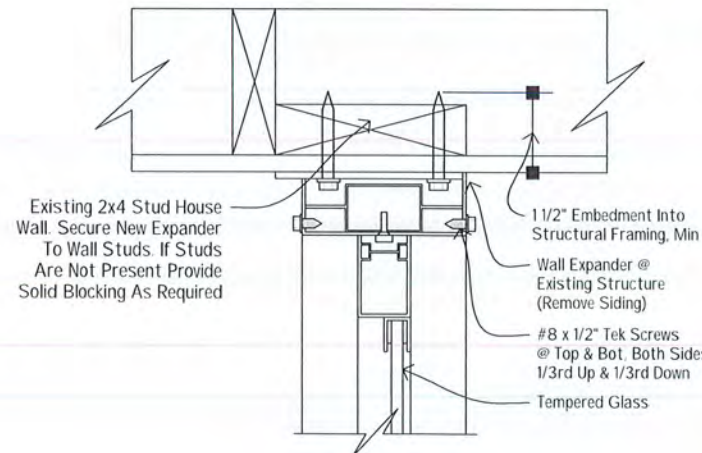
1 FOUNDATION PLAN

1/4"=1'-0"

Attaching Sunroom Wall Expander To Existing Structure:
Wood Framed Structures & Wood Framing w/ Brick Veneer Use 1/4 Inch Diameter Galvanized Lags & Washers Providing A Minimum 1 1/2" Inch Embedment Into Wood Framing Or Wood Blocking Installed & Nailed To Wood Framing At All Locations Noted Below.

Bearing Walls:
Locate (2) Fasteners Near Floor Level, (2) At Kneewall Of Railing Height, (2) At Transom, & (2) Near Header Height. Install Single Fasteners Located @ 16" O.C. Vertically & Staggered Along The Expander Height Between Double Fastener Locations Typical.

Non-Bearing Walls:
Locate (2) Fasteners Near Floor, (2) At Kneewall Or Railing Height, (2) At Transom Height, (2) At H. & (2) Near Top End Of Expander. Install Single Fasteners Located At 16" O.C. Vertically & Staggered Along The Expander Height Between Double Fasteners Locations (Typ.)

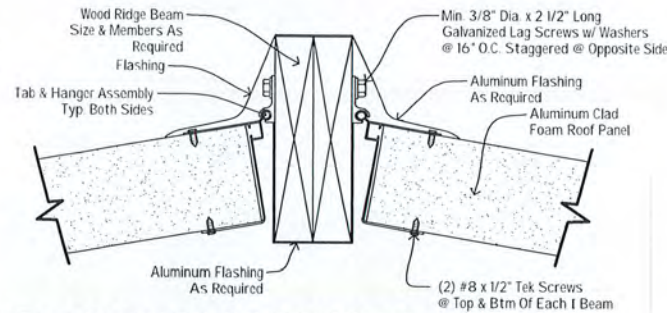


2 CONNECTION @ HOUSE

NTS

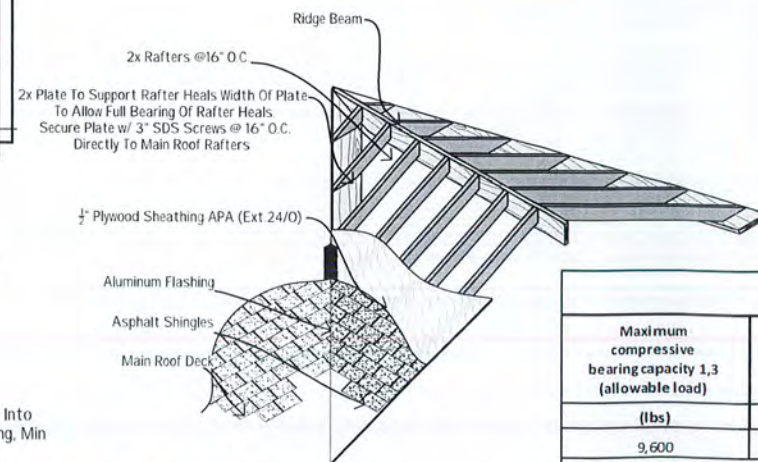
Mounting To Existing Structures:
Remove Existing Siding & Any Compressible Sheathing At Connection Points Of Enclosure To House. Lags Must Be Securely Anchored To Structural Framing Or Install Blocking Securely To Structural Framing To Provide Minimum 1 1/2" Embedment For Mounting Fasteners.

Mounting Note:
The Quality & Size of Fasteners Required Varies By Application. A Ledger w/ Lags Adequately Fastened To The Existing Structure, Or A Support Beam Mounted On Support Posts At The Face Of The Existing Structure May Be Required Under Heavy Loads.



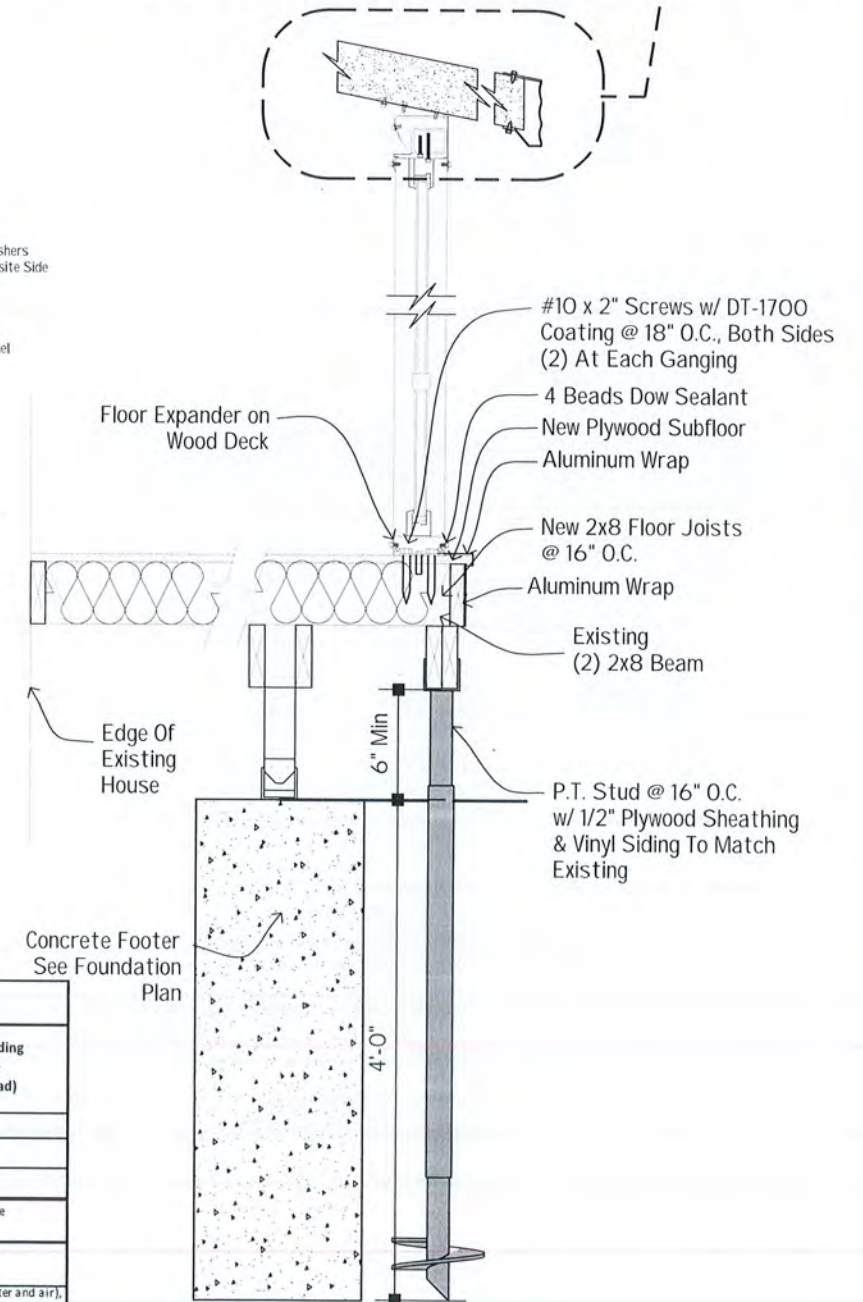
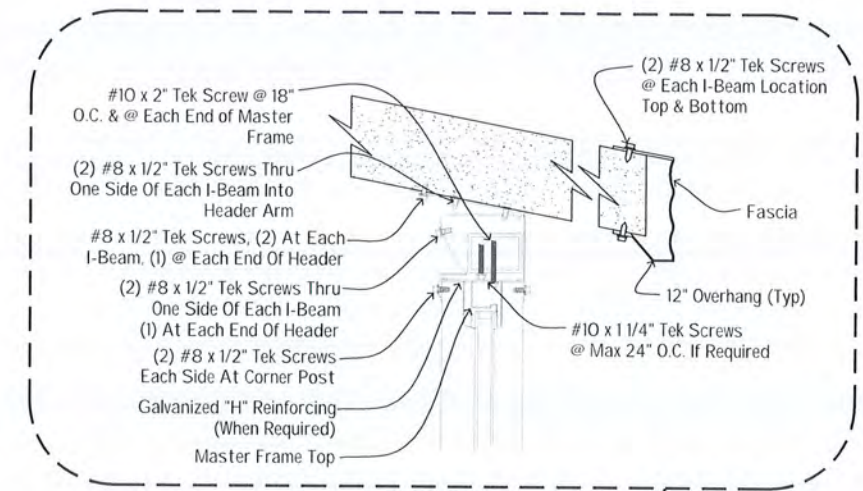
3 ROOF MOUNT DETAIL

NTS



4 OVERLAY DETAIL

NTS



5 WALL SECTION

NTS

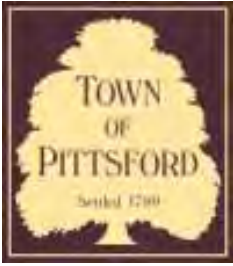
Load Capacity		
Maximum compressive bearing capacity 1,3 (allowable load)	Lateral bearing capacity 2,4 (allowable load)	Factored bending resistance (ultimate load)
(lbs)	(lbs)	(lbs.ft)
9,600	450	1,785

NOTES:

- The maximum tensile load capacity can be obtained, conservatively, by having the values of the bearing capacity in compression shown in the selection table.
- The lateral capacity depends on the density of soil (to validate consult technical department of Techno Metal Post.)
- When the pile is laterally unsupported (soil very loose/soft, liquefiable soils, water and air), the structural strength of the pile must be approved by the technical department of Techno Metal Post.
- The values of lateral capacity are average values and can be modified, more or less, depending on the characteristics of the existing soil.
- If required, piles may be field welded with extensions to achieve greater loading capacities in poor soil conditions.
- If required, the helical pile and the supporting plate can be galvanized in compliance with standard ASTM A123

No.	Description	Date	By

DATE: 8-29-2023
DRAWN BY: T. Lidlow
CHECKED BY: M. Dean
SCALE: AS NOTED



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000142

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 27 North Country Club Drive ROCHESTER, NY 14618

Tax ID Number: 151.06-1-48

Zoning District: RN Residential Neighborhood

Owner: O'Neil, Timothy B

Applicant: Premier Home Solution

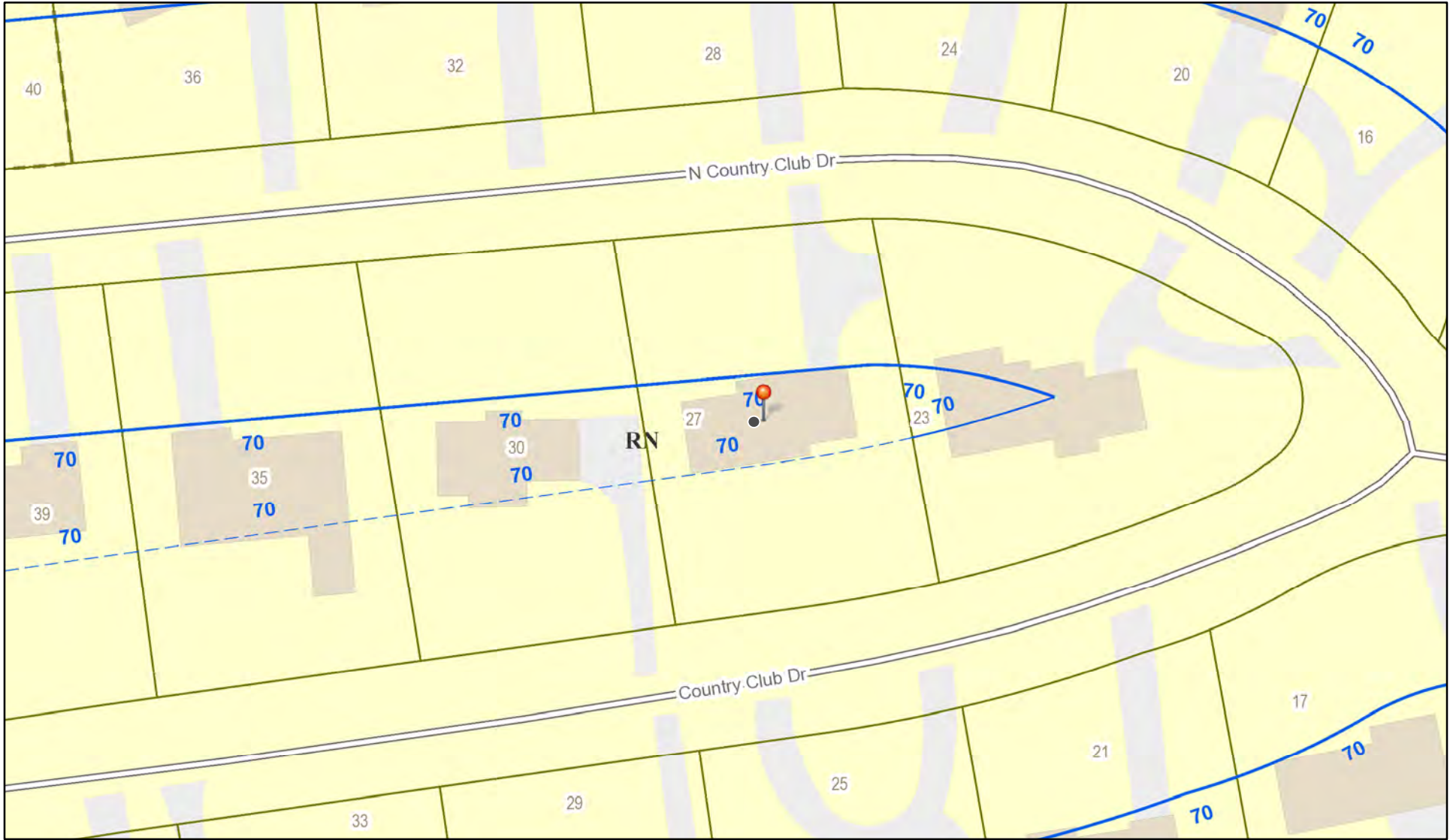
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

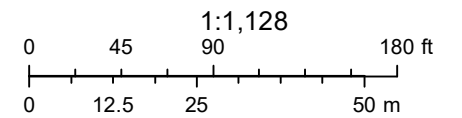
Project Description: Applicant is requesting design review for the renovation of multiple windows in several areas of the home.

Meeting Date: November 09, 2023

RN Residential Neighborhood Zoning

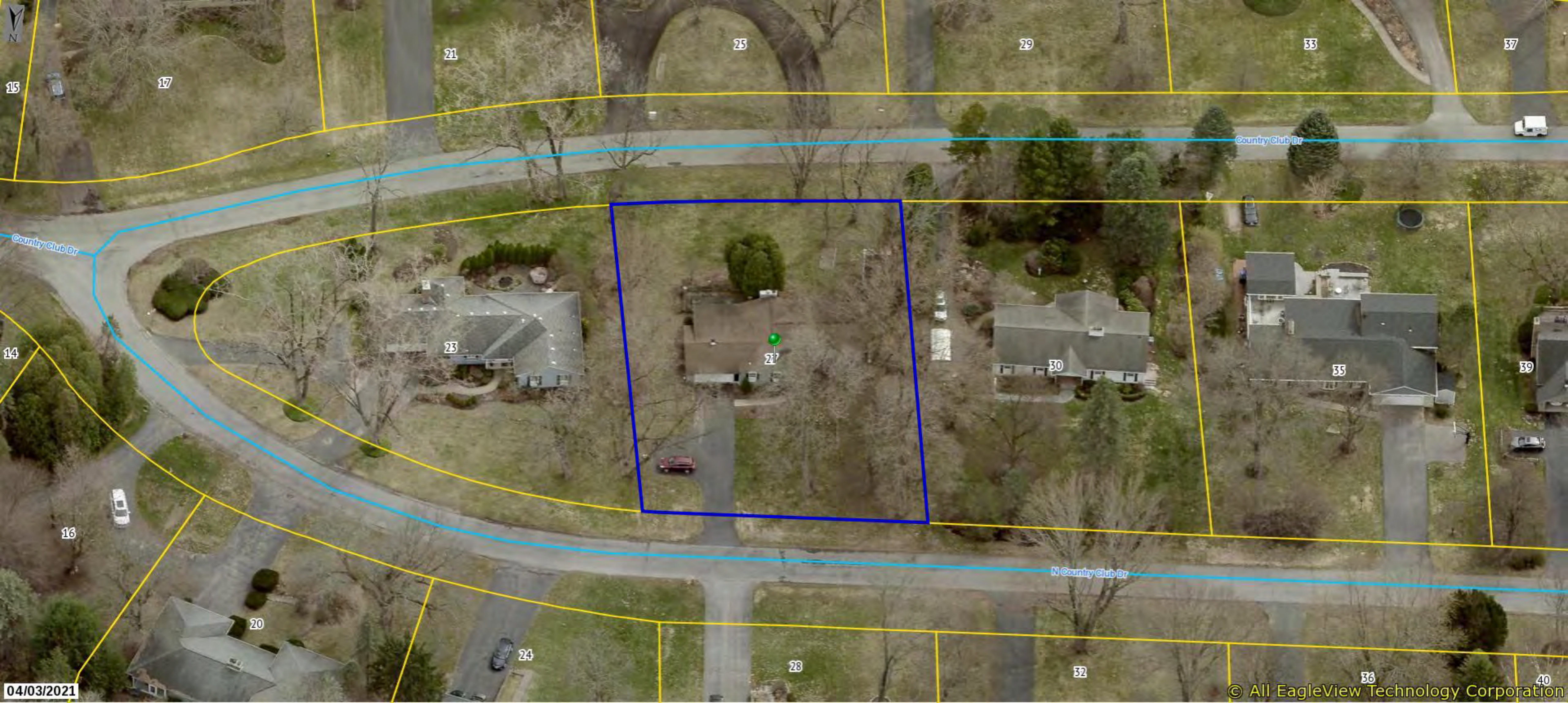


Printed November 2, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



15

17

21

25

29

33

37

14

16

23

27

30

35

39

20

24

28

32

36

40

04/03/2021

© All EagleView Technology Corporation

Country Club Dr

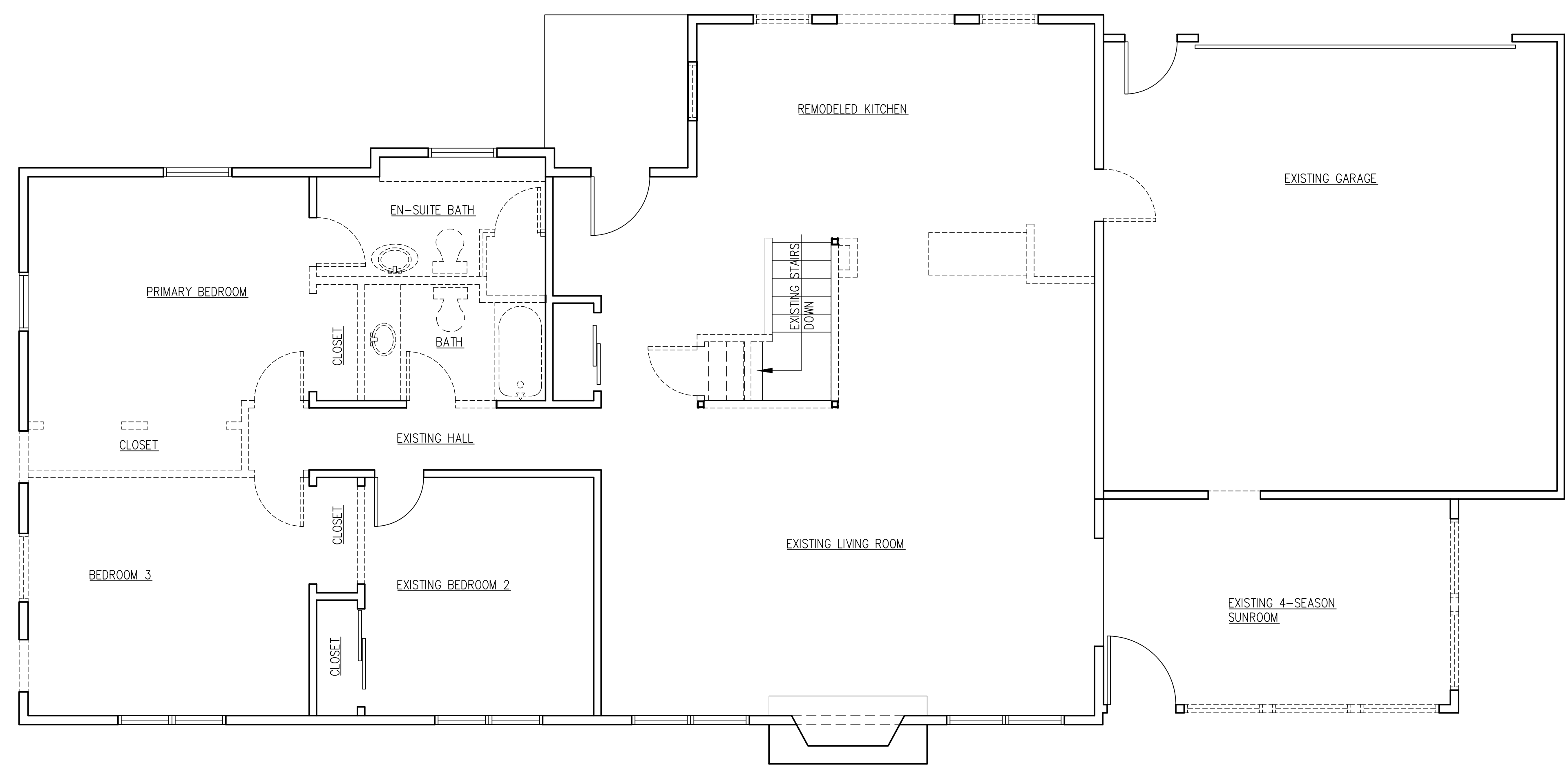
Country Club Dr

N Country Club Dr



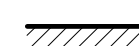
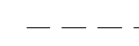



James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490



1
 A1 FIRST FLOOR EXISTING CONDITIONS AND DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

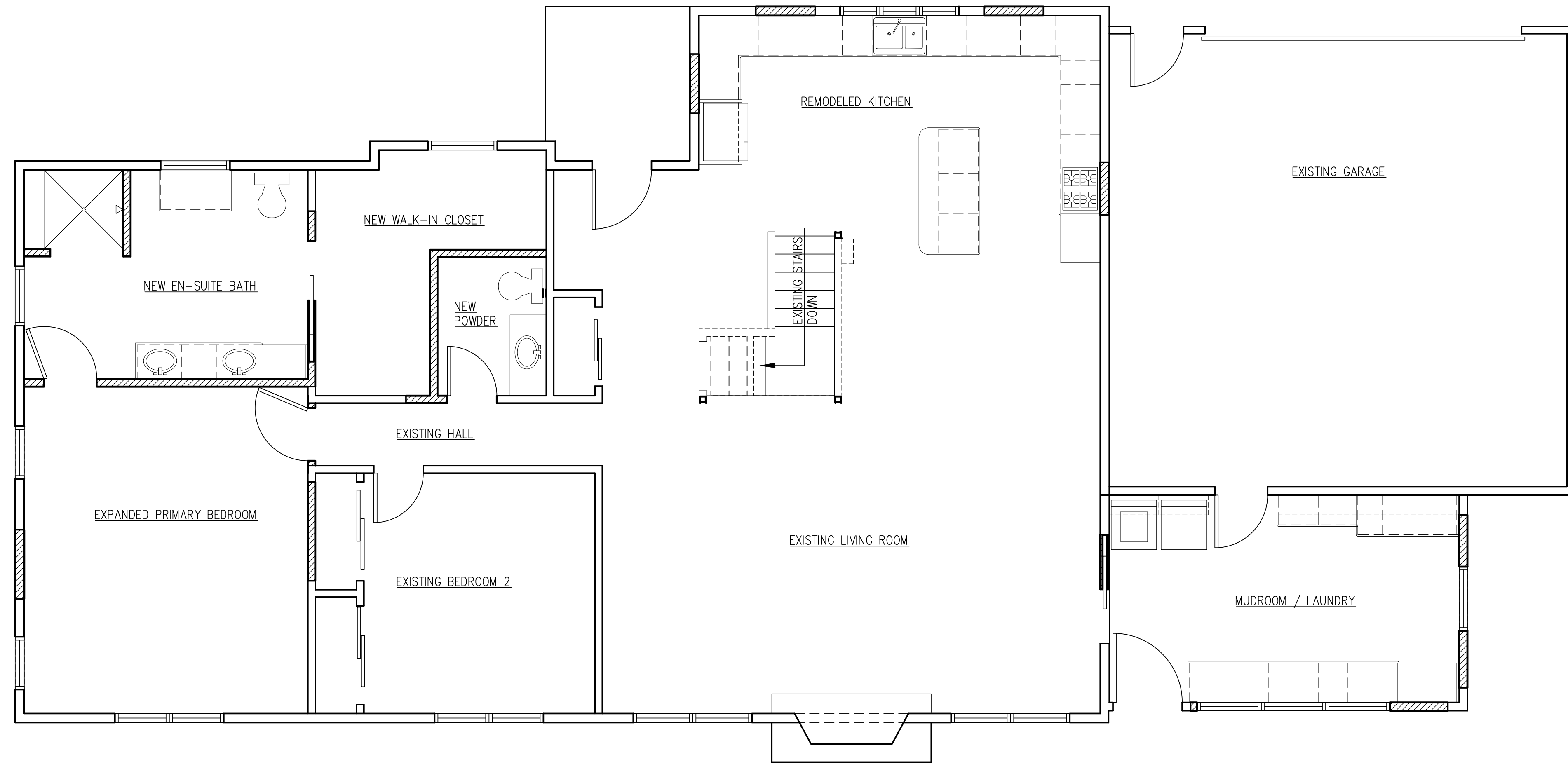
LEGEND:

-  NEW WALL
-  DEMOLISHED WALL
-  EXISTING WALL TO REMAIN

NO.	DATE	BY	REVISIONS
4			
3			
2			
1			

PROJECT NUMBER 1455	DATE 11/01/2023	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Curwin Residence 27 No. Country Club Drive, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING FIRST FLOOR EXISTING CONDITIONS AND DEMOLITION PLAN			
DWG. NO. A1			

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490



1
 A2 FIRST FLOOR PLAN
 NEW CONSTRUCTION
 SCALE: 1/4" = 1'-0"

LEGEND:

- NEW WALL
- DEMOLISHED WALL
- EXISTING WALL TO REMAIN

NO.	DATE	BY	REVISIONS
4			
3			
2			
1			

PROJECT NUMBER 1455	DATE 11/01/2023	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Curwin Residence 27 No. Country Club Drive, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING FIRST FLOOR PLAN NEW CONSTRUCTION			

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490



1 FRONT (NORTH) ELEVATION -- EXISTING CONDITIONS
 A3 SCALE: 1/4" = 1'-0"



2 FRONT (NORTH) ELEVATION -- NEW CONSTRUCTION
 A3 SCALE: 1/4" = 1'-0"

NO.	DATE	BY	REVISIONS
4			
3			
2			
1			

SCALE AS NOTED

DRAWN BY JIM BRASLEY

DATE 11/01/2023

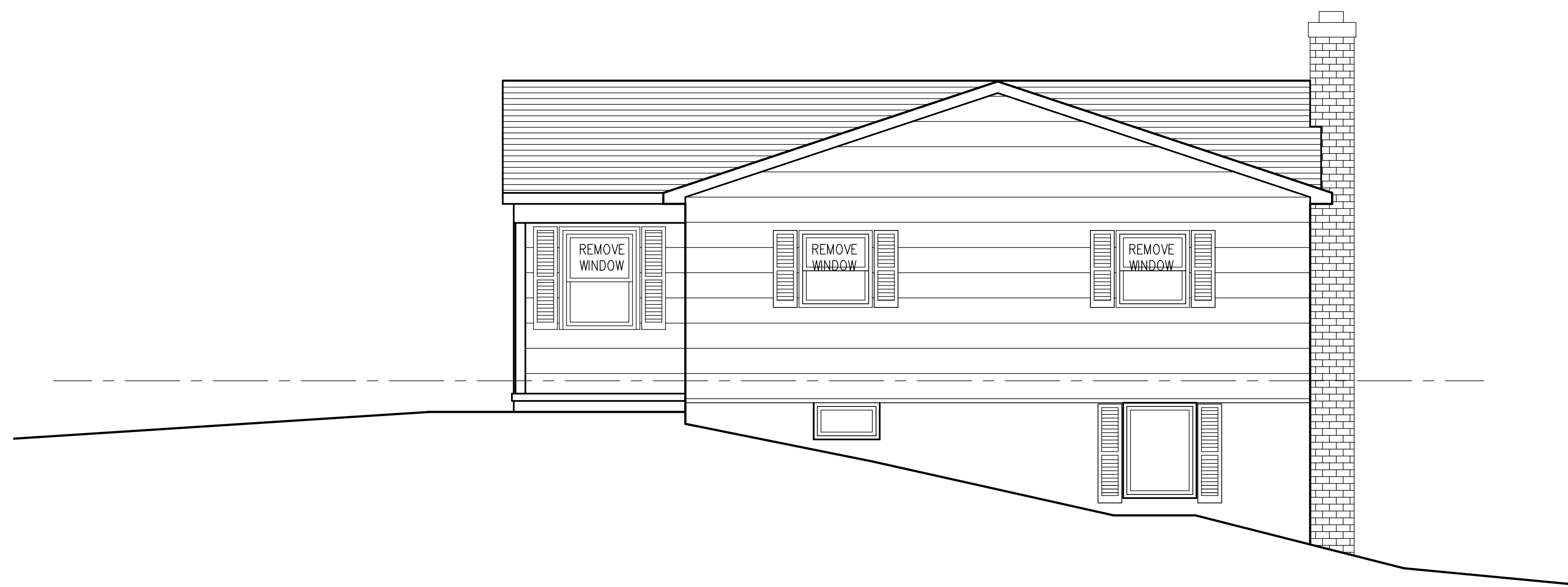
PROJECT NUMBER 1455

PROJECT
 Curwin Residence
 27 No. Country Club Drive, Rochester NY 14618
 (Town of Pittsford, Monroe County)

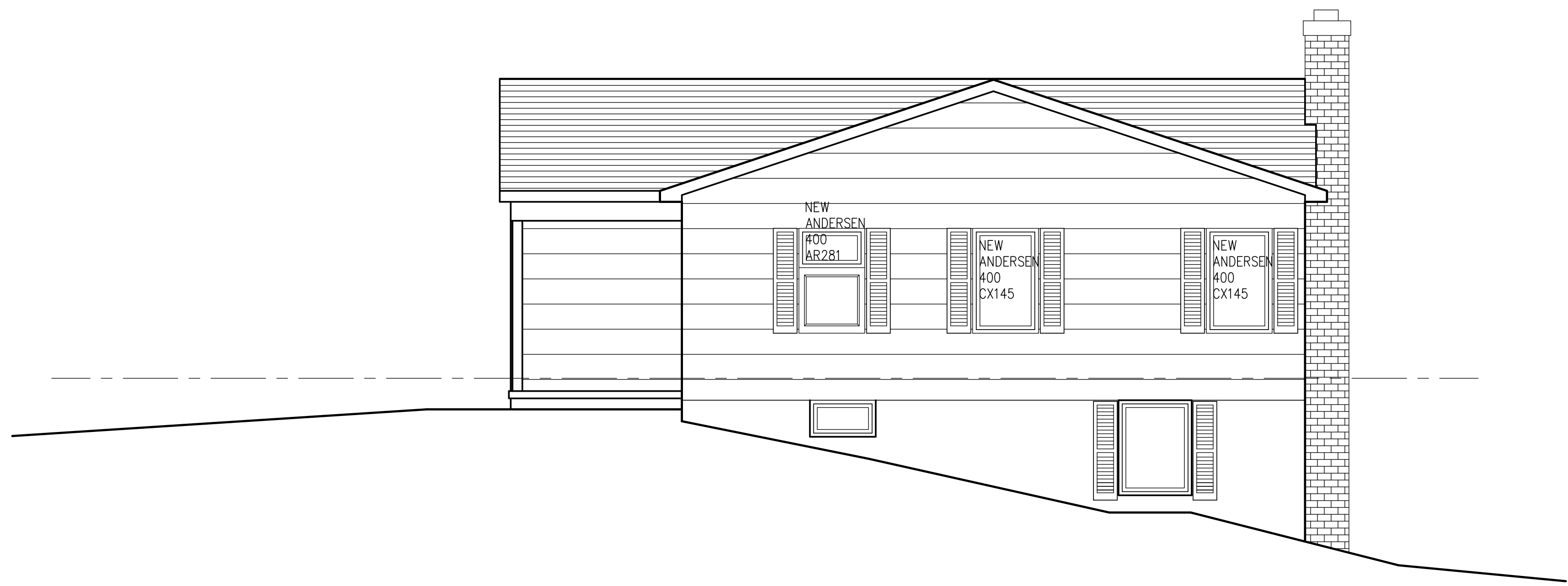
DWG. NO.
A3

TITLE OF DRAWING FRONT (NORTH) ELEVATION

James P. Brasley
10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



1 RIGHT SIDE (WEST) ELEVATION -- EXISTING CONDITIONS
A4 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE (WEST) ELEVATION -- NEW CONSTRUCTION
A4 SCALE: 1/4" = 1'-0"

NO.	DATE	BY	REVISIONS
4			
3			
2			
1			

SCALE
AS NOTED

DRAWN BY
JIM BRASLEY

DATE
11/01/2023

PROJECT NUMBER
1455

PROJECT
Curwin Residence
27 No. Country Club Drive, Rochester NY 14618
(Town of Pittsford, Monroe County)

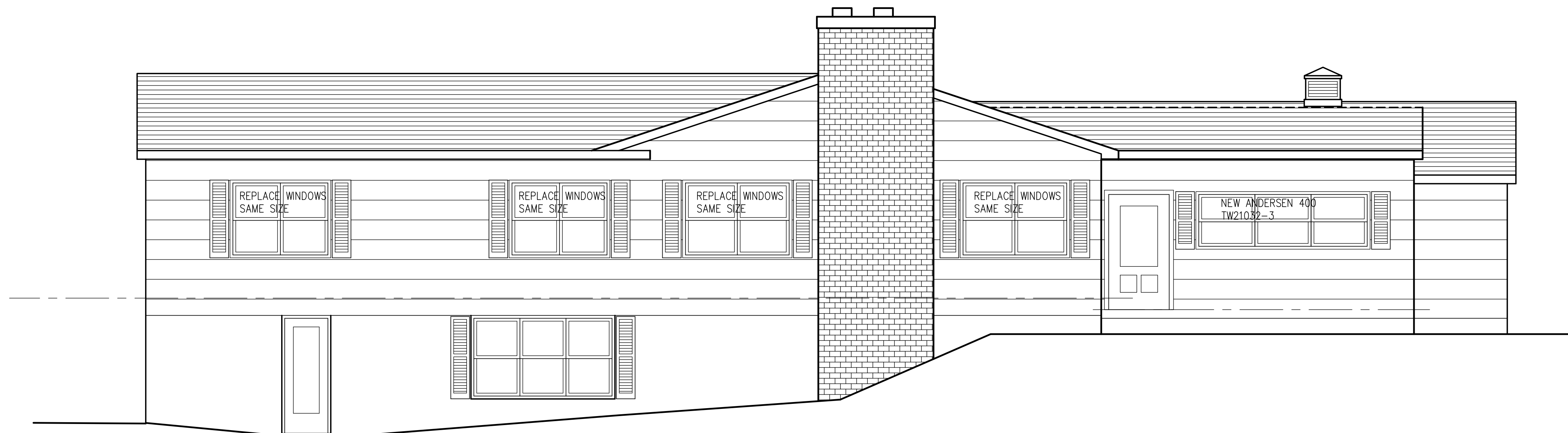
DWG. NO.
A4

TITLE OF DRAWING
RIGHT SIDE (WEST) ELEVATION

James P. Brasley
 10 Cambridge Court
 Fairport, NY 14450
 (585) 377-9490



1 REAR (SOUTH) ELEVATION -- EXISTING CONDITIONS
 A5 SCALE: 1/4" = 1'-0"

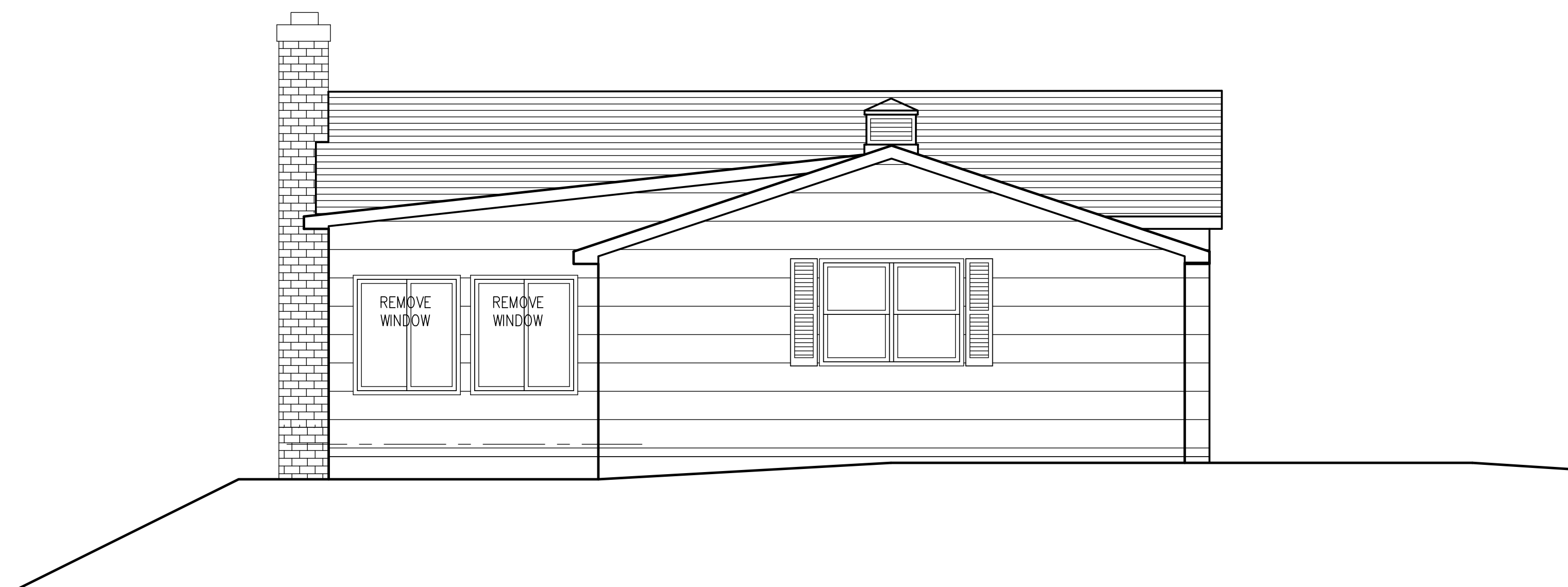


2 REAR (SOUTH) ELEVATION -- EXISTING CONDITIONS
 A5 SCALE: 1/4" = 1'-0"

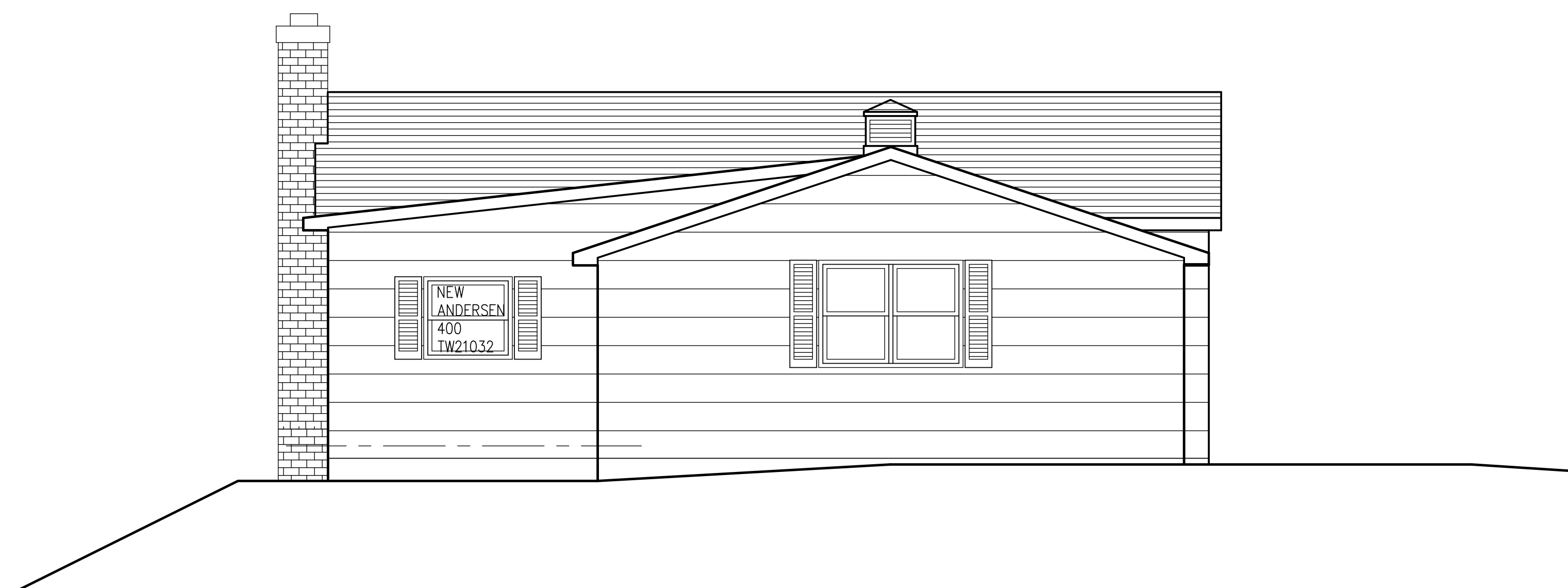
NO.	REVISIONS	DATE	BY
4			
3			
2			
1			

PROJECT NUMBER 1455	DATE 11/01/2023	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Curwin Residence 27 No. Country Club Drive, Rochester NY 14618 (Town of Pittsford, Monroe County)			
TITLE OF DRAWING REAR (SOUTH) ELEVATION			
DWG. NO. A5			

James P. Brasley
10 Cambridge Court
Fairport, NY 14450
(585) 377-9490



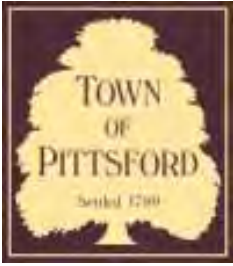
1 LEFT SIDE (EAST) ELEVATION -- EXISTING CONDITIONS
A6 SCALE: 1/4" = 1'-0"



2 LEFT SIDE (EAST) ELEVATION -- NEW CONSTRUCTION
A6 SCALE: 1/4" = 1'-0"

NO.	DATE	BY	REVISIONS
4			
3			
2			
1			

PROJECT NUMBER 1455	DATE 11/01/2023	DRAWN BY JIM BRASLEY	SCALE AS NOTED
PROJECT Curwin Residence 27 No. Country Club Drive, Rochester NY 14618 (Town of Pittsford, Monroe County)			TITLE OF DRAWING LEFT SIDE (EAST) ELEVATION
DWG. NO. A6			



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000140

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Surrey Lane PITTSFORD, NY 14534

Tax ID Number: 178.20-1-15

Zoning District: RN Residential Neighborhood

Owner: Hirst, Arthur R

Applicant: Hirst, Arthur R

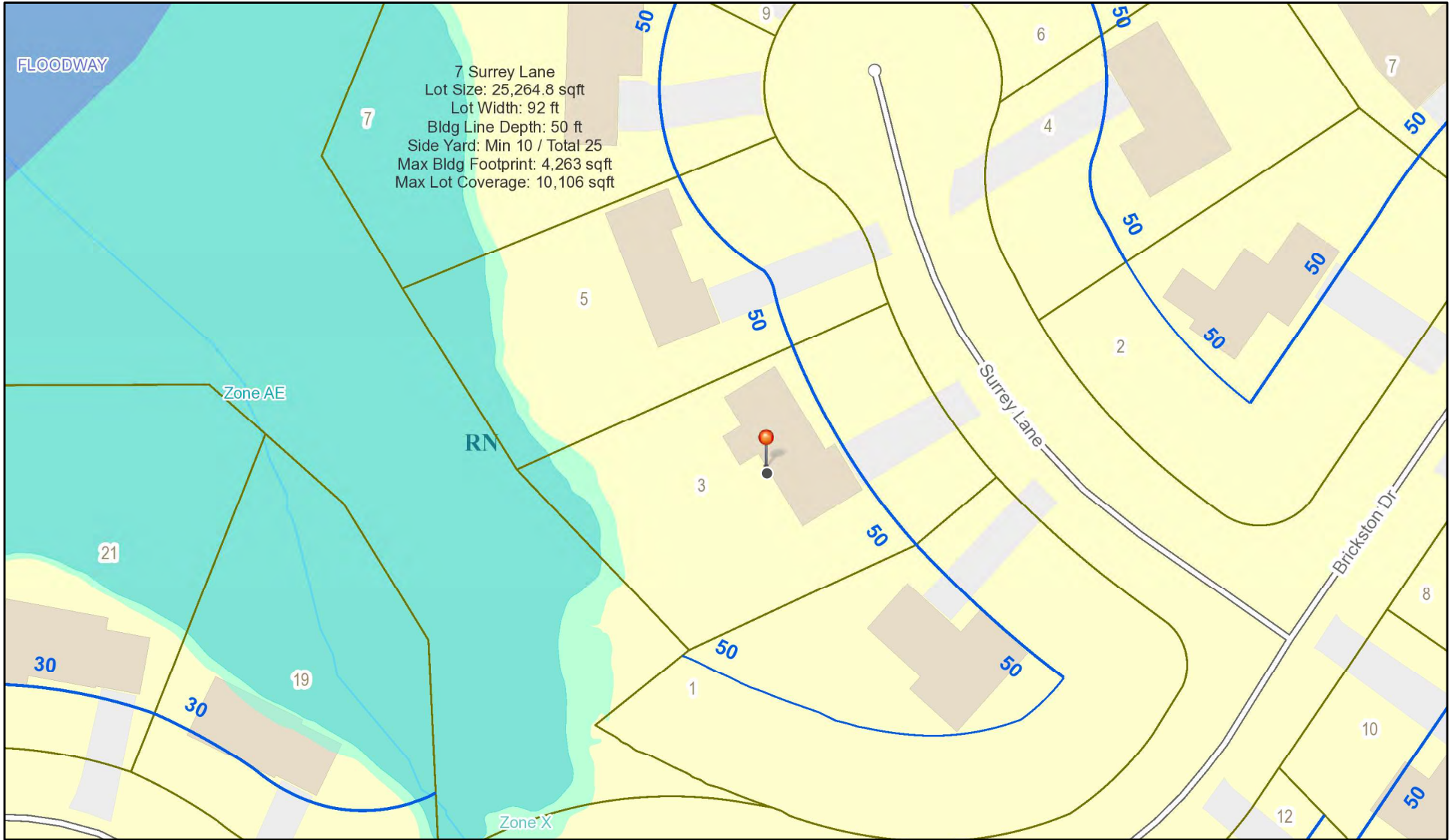
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

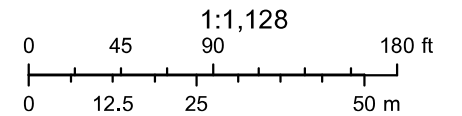
Project Description: Applicant is requesting design review for an approximately 247 square foot sunroom off the rear of the home.

Meeting Date: November 09, 2023

RN Residential Neighborhood Zoning



Printed November 2, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



2

4

6

12

14

8

Surrey Ln

1

Brickston Dr

3

434.4

9

5

436

7

18

04/03/2021

19

© All EagleView Technology Corporation





ART & Barb Hirst (w/ Kelly daughter)
 #3 Surry Lane
 Pittsford, N.Y. 14534.
 Garage

8" Metal Sliding Revers

Kitchen

Dining Room

Create Saddle VALLEY

BAY WINDOW

EXISTING 12" O.H.

13'-6" 19' x 13' Sunroom

2'-9" Add 4" to Deck

19'-0"

10'-5"

Move 2 FLAGSTONES

- A. Modify Deck & Upgrade.
- B. BAY Window - Extend Walls up to Sunroom ceiling above.
- C. Demo two (2) sections of Deck.
- D. Relocate Stones - to New Door Location
- E. Hand digging - remove dirt
- F. Heat & Cooling - important - Sanyo P-tac.
- G. Architectural Design of Home
- H. Glass Kicks - view of Yard important.
- I. GET More Light, Less Framing.
- J. March (late) to November (early).
- K. Will deck structure support Sunroom? Concrete Patio underneath Deck. Flooring cannot be viewed.
- L. West Side: Add 4" to Deck for Flush Wall

LEAN TO ROOF ABOVE

13'-0" FING-BOSS

Chimney

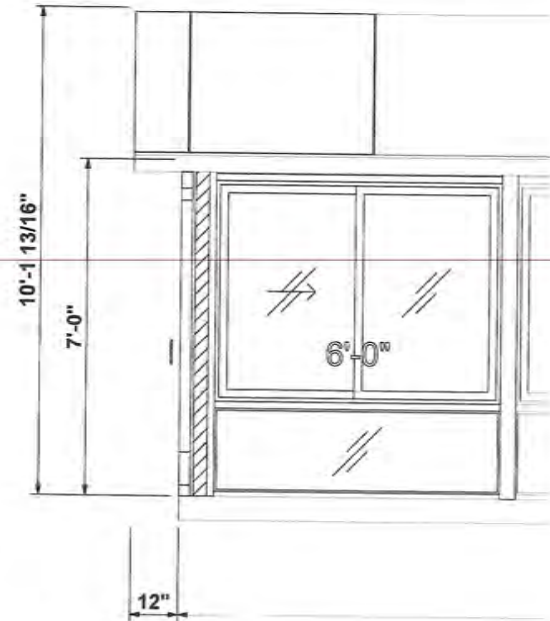
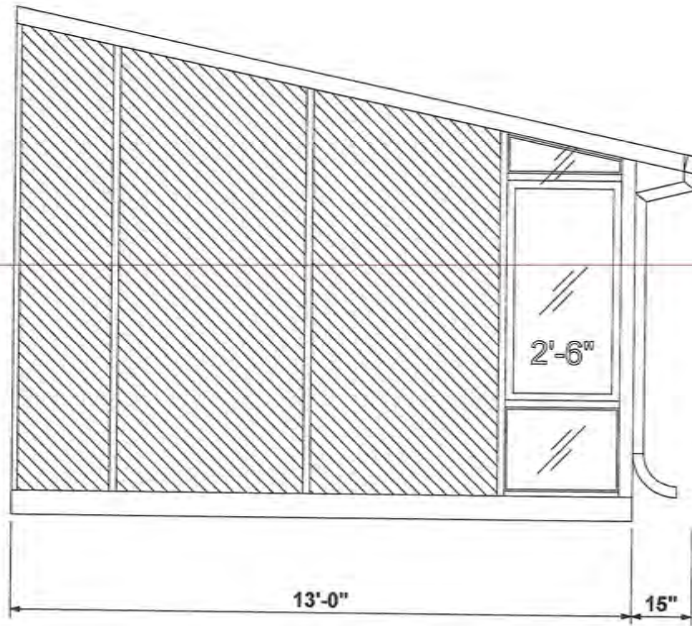
14 1/2 FF off wall

$$\begin{array}{r} 13' \\ \times 3' \\ \hline 39 \approx 3'-3" \\ + 7' \\ \hline 10'-3" \pm \end{array}$$

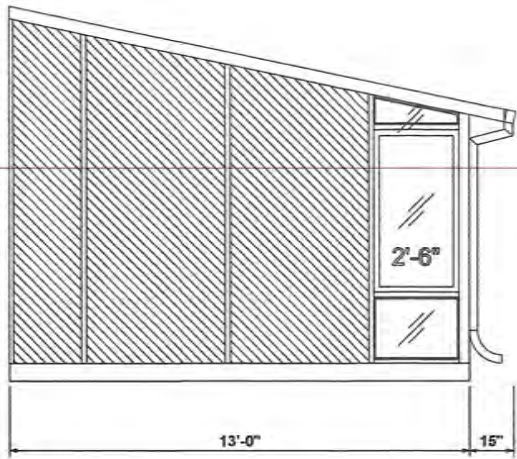
$$\begin{array}{r} 13' \\ 19' \\ 11 \\ \hline 33 \times 7 = 231 \\ 21 \times 14 = 294 \\ \hline 525 \end{array}$$

- 230 Alumim - Base Price
- Hybrid \$4400
- Velux Skylights VSE
- Drywall Back Walls & Paint.

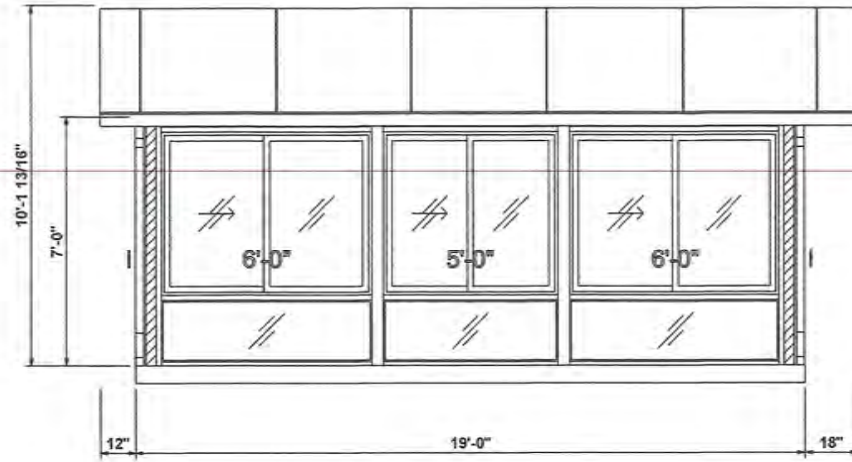
Hirst



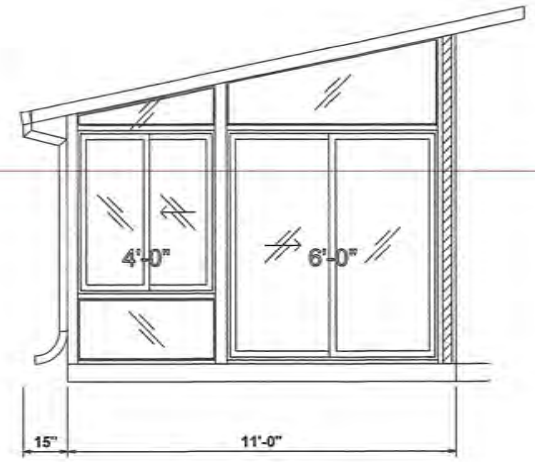
1/4" = 1'-0"



Left Elevation

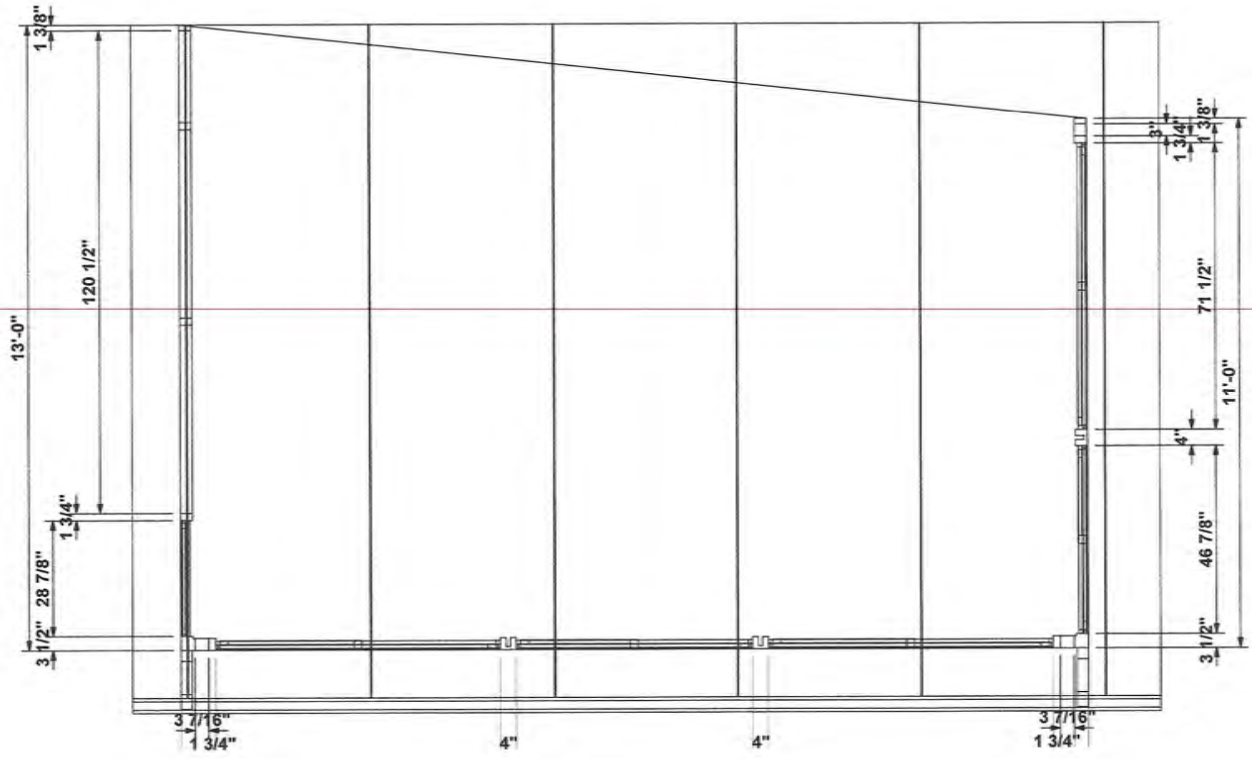


Front Elevation



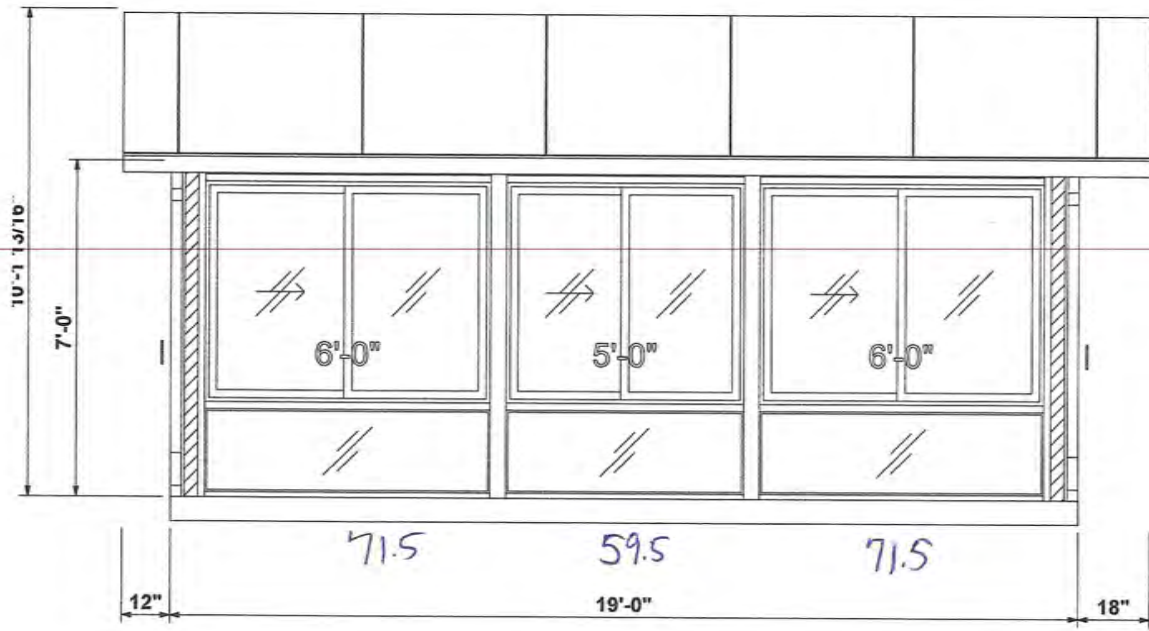
Right Elevation

Hurst

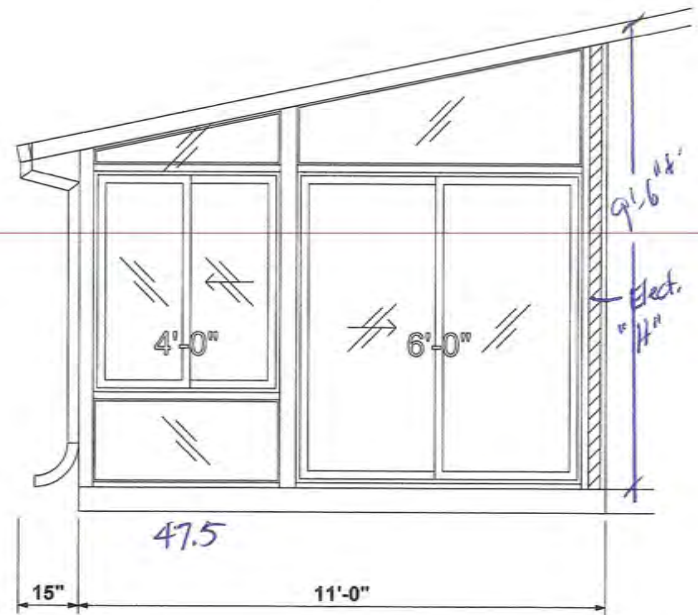


1/4" = 1'-0"

first



Front Elevation

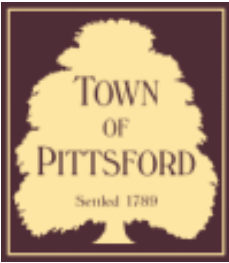


Right Elevation

71.5
 71.5
 59.5

 avg 67.5 width

1/4" = 1'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000145

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 19 Arbor Creek Drive PITTSFORD, NY 14534

Tax ID Number: 192.12-2-18

Zoning District: RN Residential Neighborhood

Owner: Kreiner, Britton C

Applicant: Hometown Design-Build

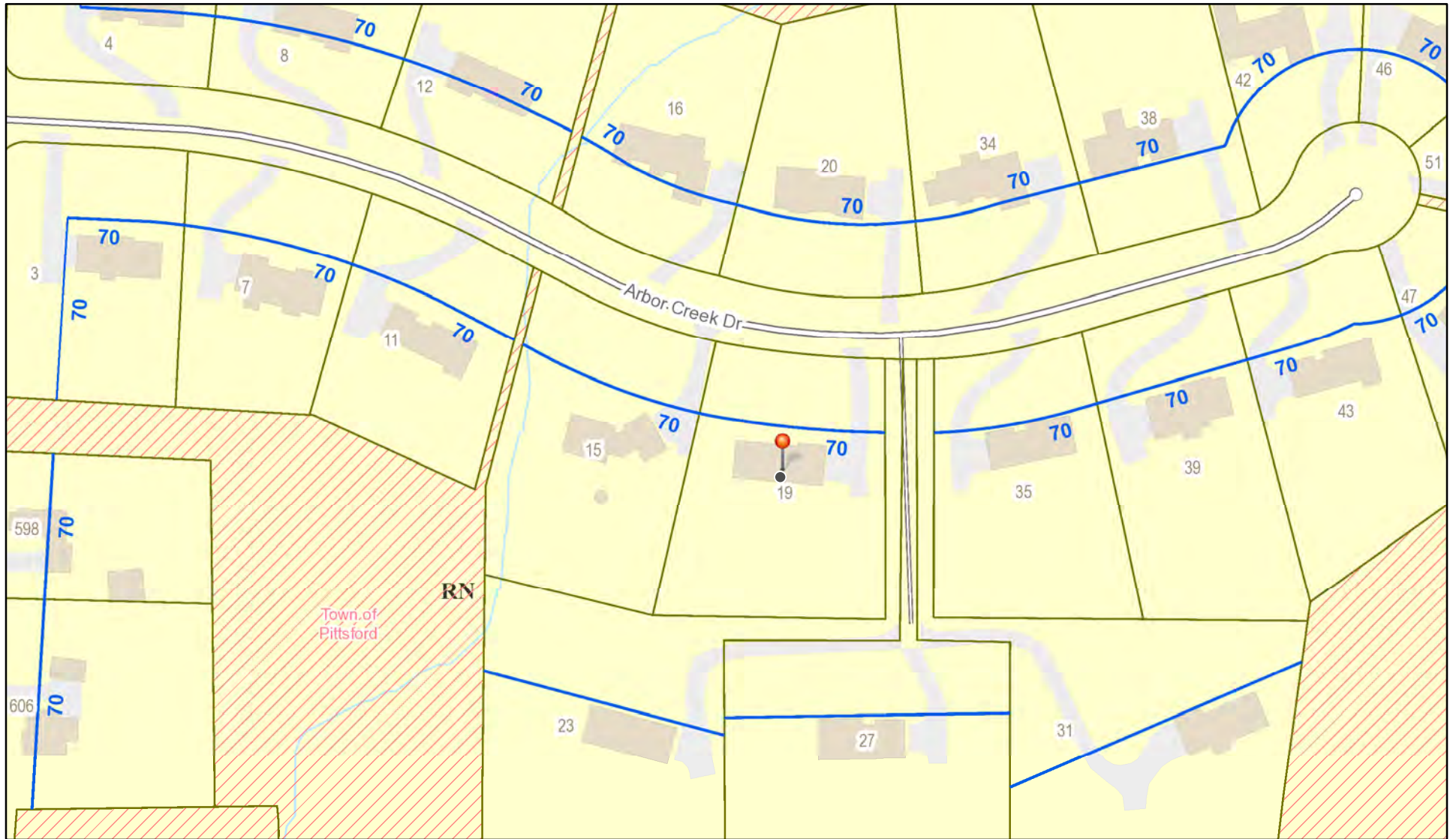
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

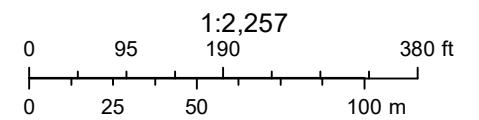
Project Description: Applicant is requesting design review for the addition of a 90 square foot dormer to the 2nd story of the home.

Meeting Date: November 09, 2023

RN Residential Neighborhood Zoning



Printed November 2, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



31

23

35

15

Marc

39

27

31

Arbor Creek Dr

34

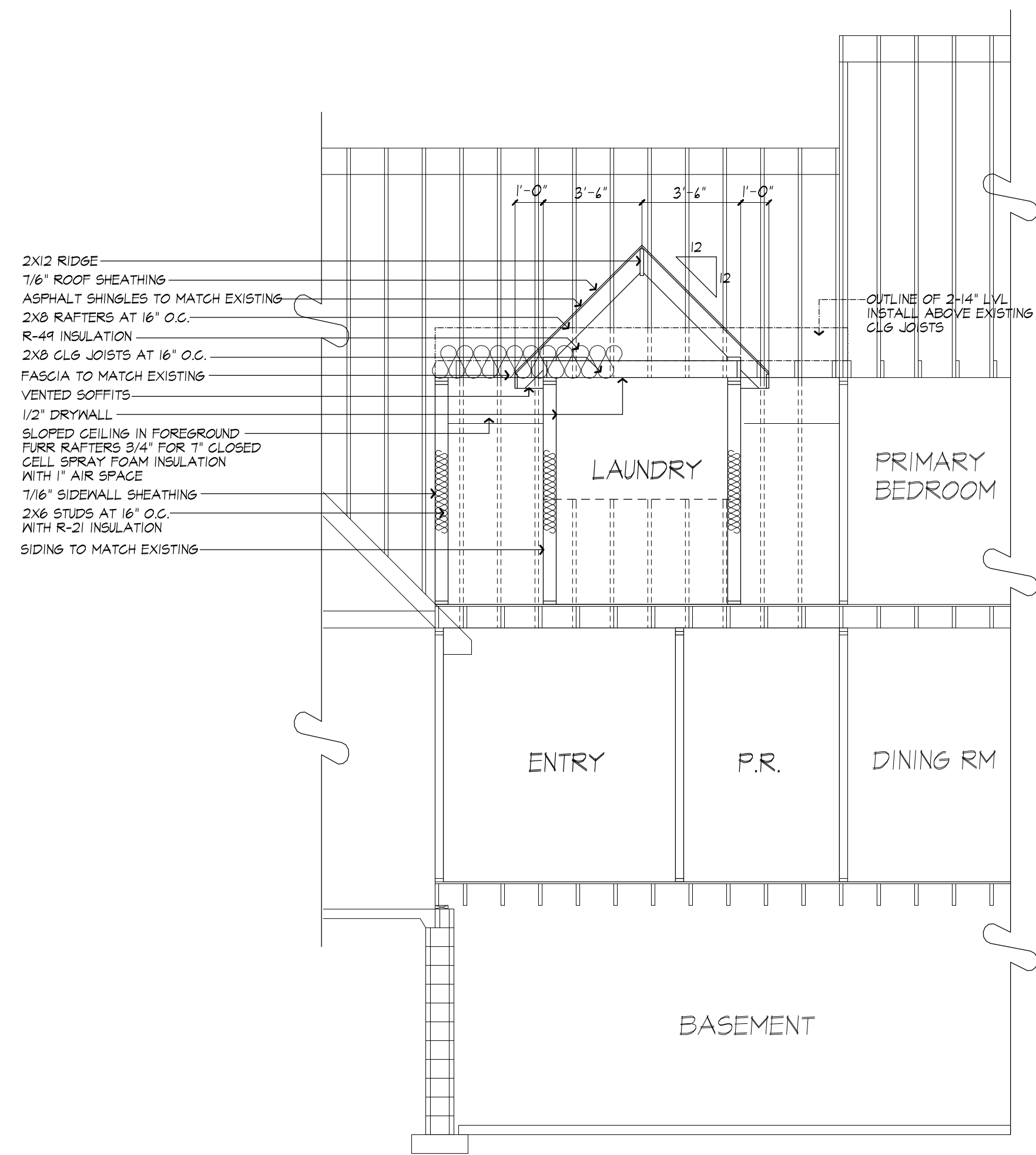
20

16

04/03/2021

© All EagleView Technology Corporation



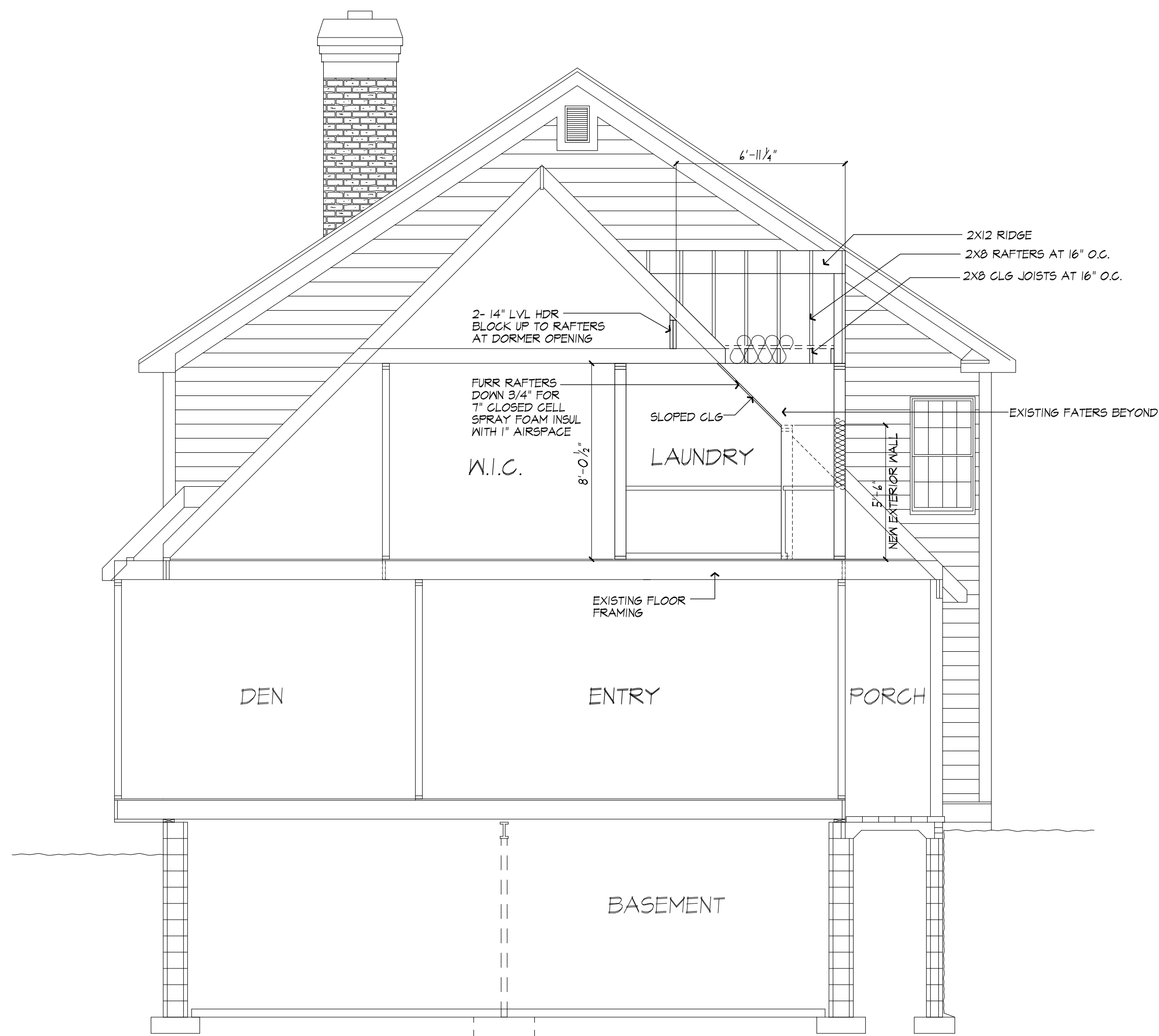


SECTION A - PROPOSED

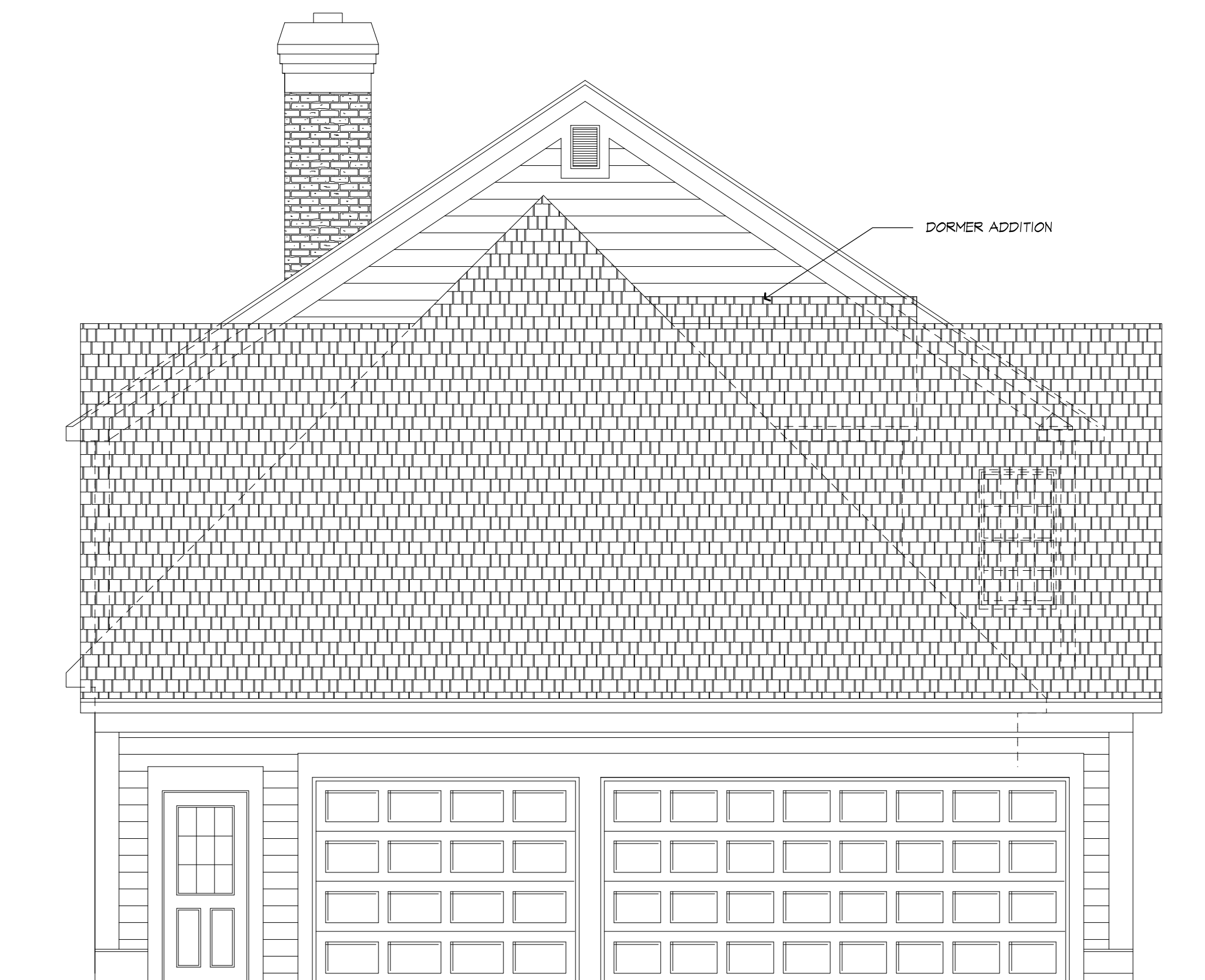


PROPOSED FRONT ELEVATION

EXISTING AREA: 3304 SQ FT
104 SQ FT PROPOSED ADDITIONAL SQ FT



SECTION B - PROPOSED



PROPOSED LEFT SIDE ELEVATION



**MORABITO
ARCHITECTS**

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NY, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.

THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN.

UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A. ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

COPYRIGHT 2023
PATRICK J. MORABITO, A.I.A. ARCHITECT P.C.

PROJECT:
ADDITION/RENOVATION
18 ARBOR CREEK
PITTSFORD, NY

CLIENT:
GRAHAM AND EMILY CORNELL

DRAWING:
ELEVATIONS &
BUILDING SECTIONS

DRAWN:
JTL/PM

DATE: OCTOBER 2023

SCALE: 1/4" = 1'-0"

JOB NO.: 23M4374

SHEET:

2

OF 4 SHEETS





MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NY, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

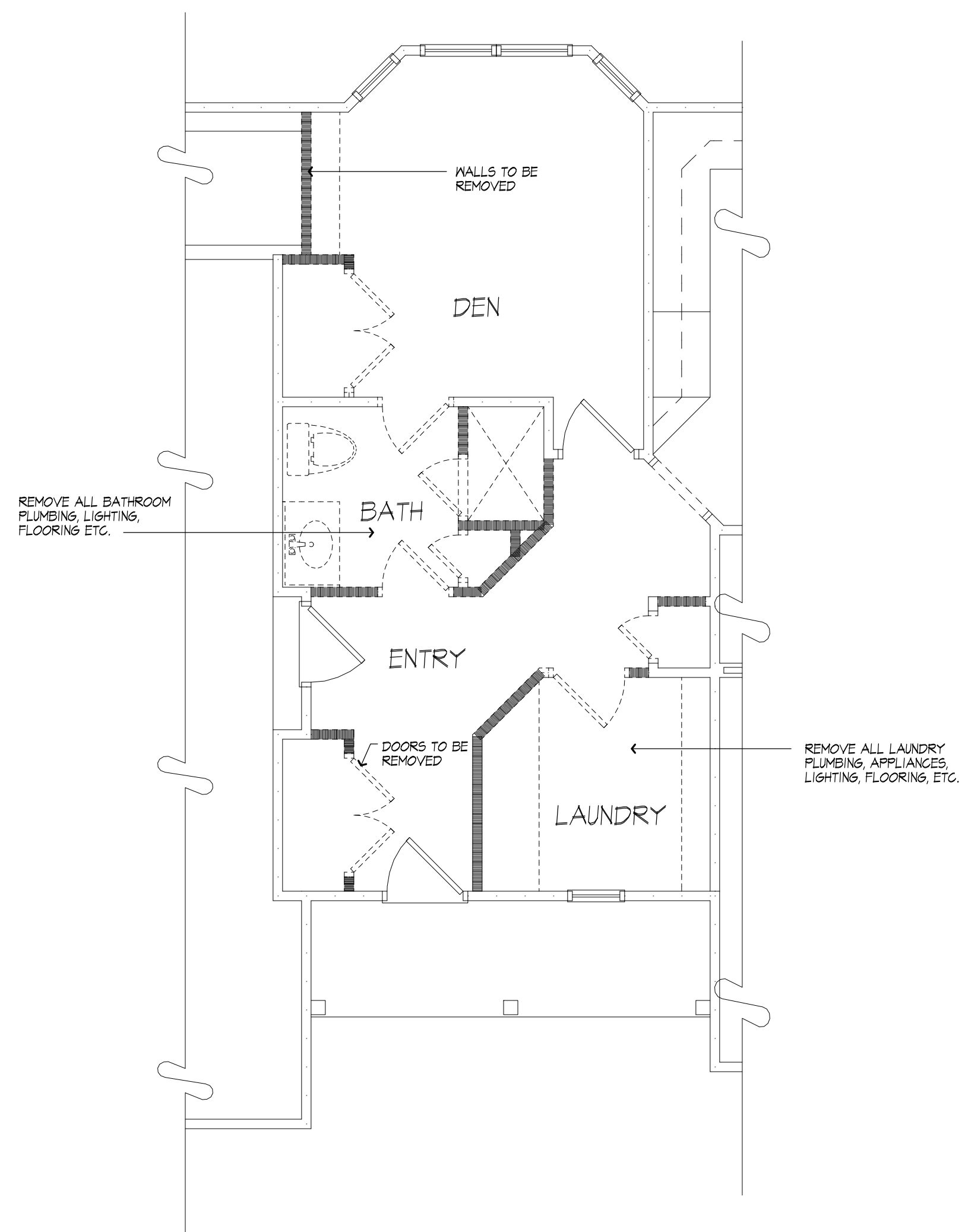
NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS. THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES, BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREIN, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A., ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A., ARCHITECT P.C. COPYRIGHT 2023 PATRICK J. MORABITO, A.I.A., ARCHITECT P.C.

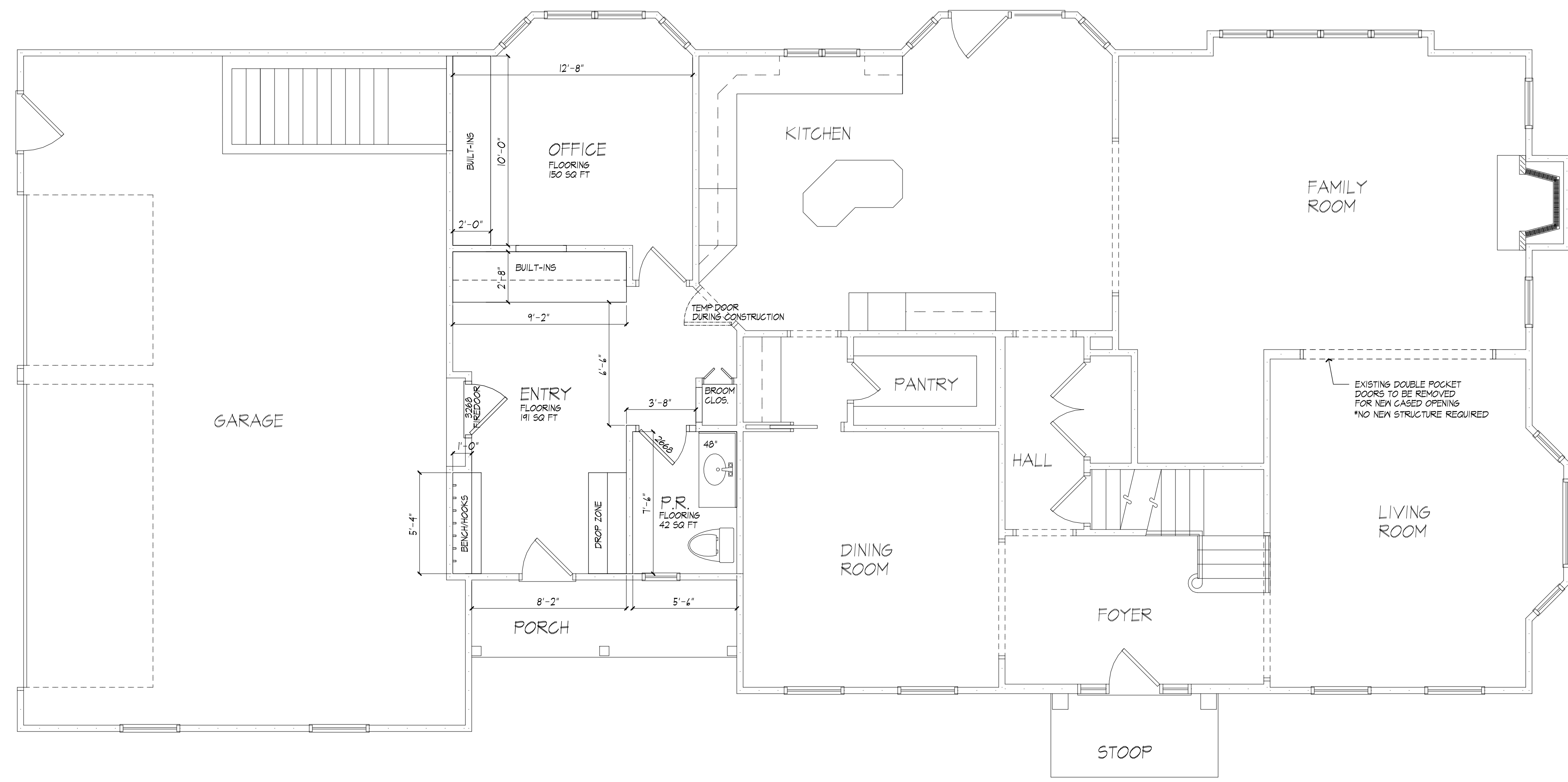
EXHAUST DUCTS AND EXHAUST OPENINGS. M 1506.2 DUCT LENGTH. TABLE M 1506.2 - DUCT LENGTH. DUCT TYPE, FLEX DUCT, SMOOTH WALL DUCT. FAN AIRFLOW RATING CFM @ 0.25 INCH WG. DIAMETER INCHES. MAXIMUM LENGTH G.R.E. FEET.

SMOKE & CARBON MONOXIDE ALARM LOCATIONS. R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

HEADER SCHEDULE UNLESS OTHERWISE NOTED. OPENING, 2X6 WALL, 2X4 WALL. WALL LEGEND. 2X6 STUDS AT 16" O.C. W/ INSULATION. 2X6 STUDS AT 16" O.C. (INTERIOR WALL). 2X4 STUDS @ 16" O.C.



EXISTING PARTIAL FIRST FLOOR PLAN WITH REMOVALS SHOWN



PROPOSED FIRST FLOOR PLAN

EXISTING AREA: 1912 SQ FT
160 SQ FT PROPOSED SUNROOM

PROJECT: ADDITION/RENOVATION 18 ARBOR CREEK, PITTSFORD, NY

CLIENT: GRAHAM AND EMILY CORNELL

DRAWING: EXISTING PARTIAL FIRST FLOOR PLAN PROPOSED FIRST FLOOR PLAN

DRAWN: JTL/PM

DATE: OCTOBER 2023

SCALE: 1/4" = 1'-0"

JOB NO.: 23M4374

SHEET:

3 OF 4 SHEETS





MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

NOTICE:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO FIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS. THESE DRAWINGS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES, BUT IS NOT LIMITED TO, THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE DRAWINGS OR WORK REPRESENTED HEREON, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO PATRICK J. MORABITO, A.I.A., ARCHITECT P.C. NO FURTHER USE OR DISTRIBUTION IS ALLOWED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF PATRICK J. MORABITO, A.I.A., ARCHITECT P.C. COPYRIGHT 2023 PATRICK J. MORABITO, A.I.A., ARCHITECT P.C.

PROJECT:
ADDITION/RENOVATION
18 ARBOR CREEK
PITTSFORD, NY

CLIENT:
GRAHAM AND EMILY CORNELL

DRAWING:
EXISTING PARTIAL SECOND FLOOR PLAN
PROPOSED SECOND FLOOR PLAN

DRAWN:
JTL/PM

DATE: OCTOBER 2023

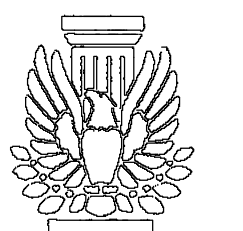
SCALE: 1/4" = 1'-0"

JOB NO.: 23M4374

SHEET:

4

OF 4 SHEETS



EXHAUST DUCTS AND EXHAUST OPENINGS

M 1506.2 DUCT LENGTH
THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1506.2
EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M 1506.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	50	80	100	125	150	200	250	300	50	80	100	125	150	200	250	300				
FAN AIRFLOW RATING CFM @ 0.25 INCH WG																				
DIAMETER " (INCHES)	MAXIMUM LENGTH FEET																			
3	X	X	X	X	X	X	X	X	X	X	5	X	X	X	X	X	X			
4	56	4	X	X	X	X	X	X	104	31	10	X	X	X	X	X				
5	NL	NL	42	16	2	X	X	X	NL	152	41	31	28	4	X	X				
6	NL	NL	58	41	55	15	1	X	NL	NL	168	112	53	25	4					
7	NL	NL	NL	NL	161	78	40	14	NL	NL	NL	NL	148	86	54					
8 AND ABOVE	NL	NL	NL	NL	NL	184	111	64	NL	NL	NL	NL	NL	NL	165	58				

FOR SI: 1 FOOT = 304.8 MM
A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/ASHRAE 20-ANSI/ASHRAE 5
B. FOR NON-ROUND DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER
C. THE TABLE ASSUMES THAT ELBOWS ARE NOT USED; FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH ELBOW INSTALLED IN THE DUCT RUN
D. NL = NO LIST ON DUCT LENGTH OF THIS SIZE
E. X = NOT ALLOWED; ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

SMOKE & CARBON MONOXIDE ALARM LOCATIONS
R314/R315

R314.3 LOCATION: SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315 REQUIRED LOCATIONS: CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE
UNLESS OTHERWISE NOTED

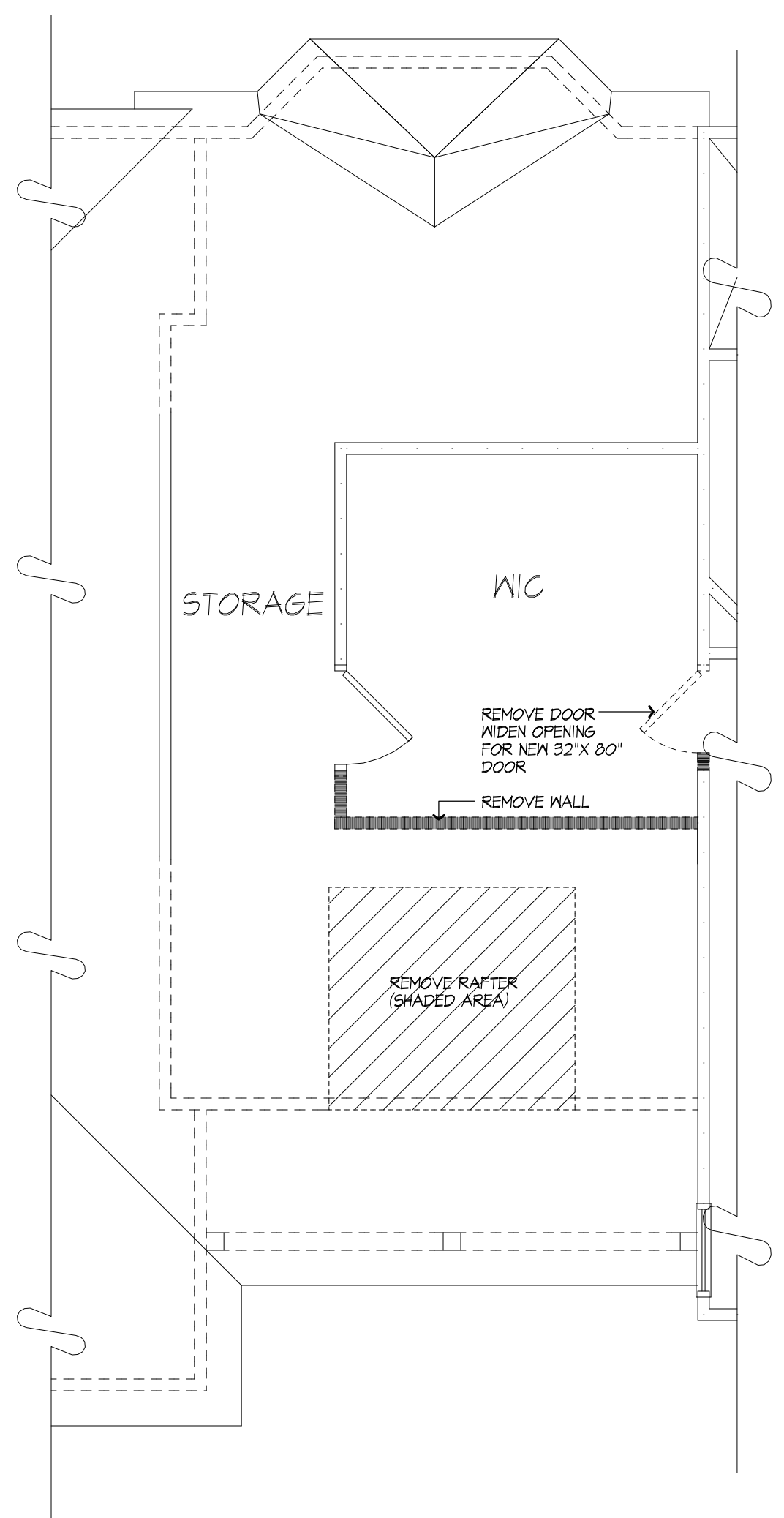
OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 WALL
PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 WALL
GLUE AND NAIL ALL HEADERS

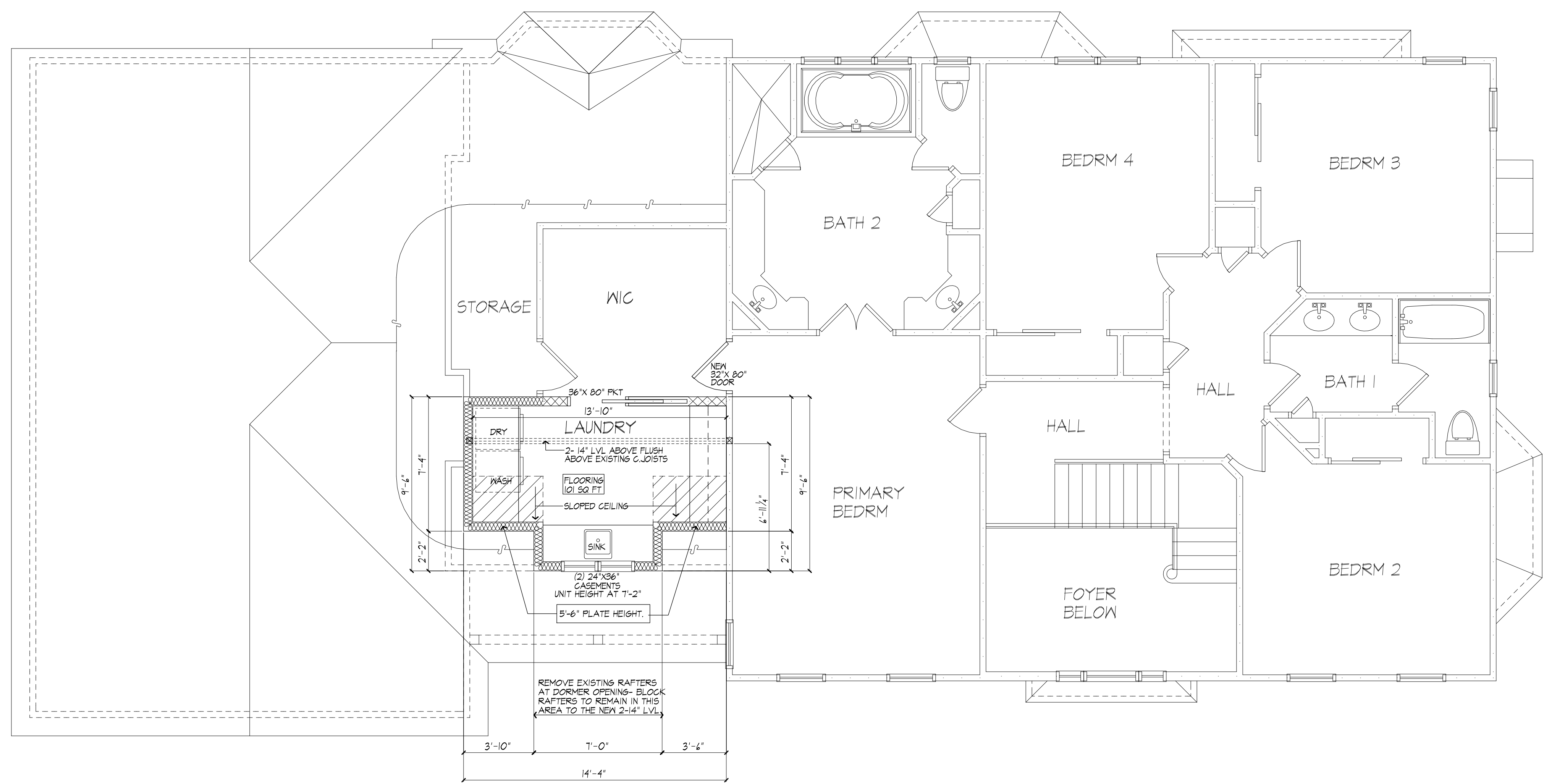
WALL LEGEND

	2X6 STUDS AT 16' OC W/ INSULATION		(3) STUDS GLUE AND NAIL WITH SOLID BEARINGS BELOW
	2X4 STUDS @ 16' O.C.		

USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS



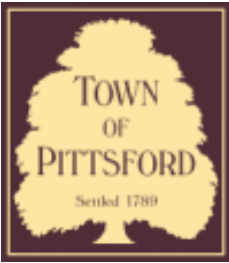
EXISTING PARTIAL SECOND FLOOR PLAN WITH REMOVALS SHOWN



PROPOSED SECOND FLOOR PLAN

EXISTING AREA: 1392 SQ FT
104 SQ FT PROPOSED EXPANSION

PLUMBING NOTE:
THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000119

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4 Knowlton Lane ROCHESTER, NY 14618

Tax ID Number: 151.06-1-54.11

Zoning District: RN Residential Neighborhood

Owner: Condon, James T

Applicant: Stahl Property Associates

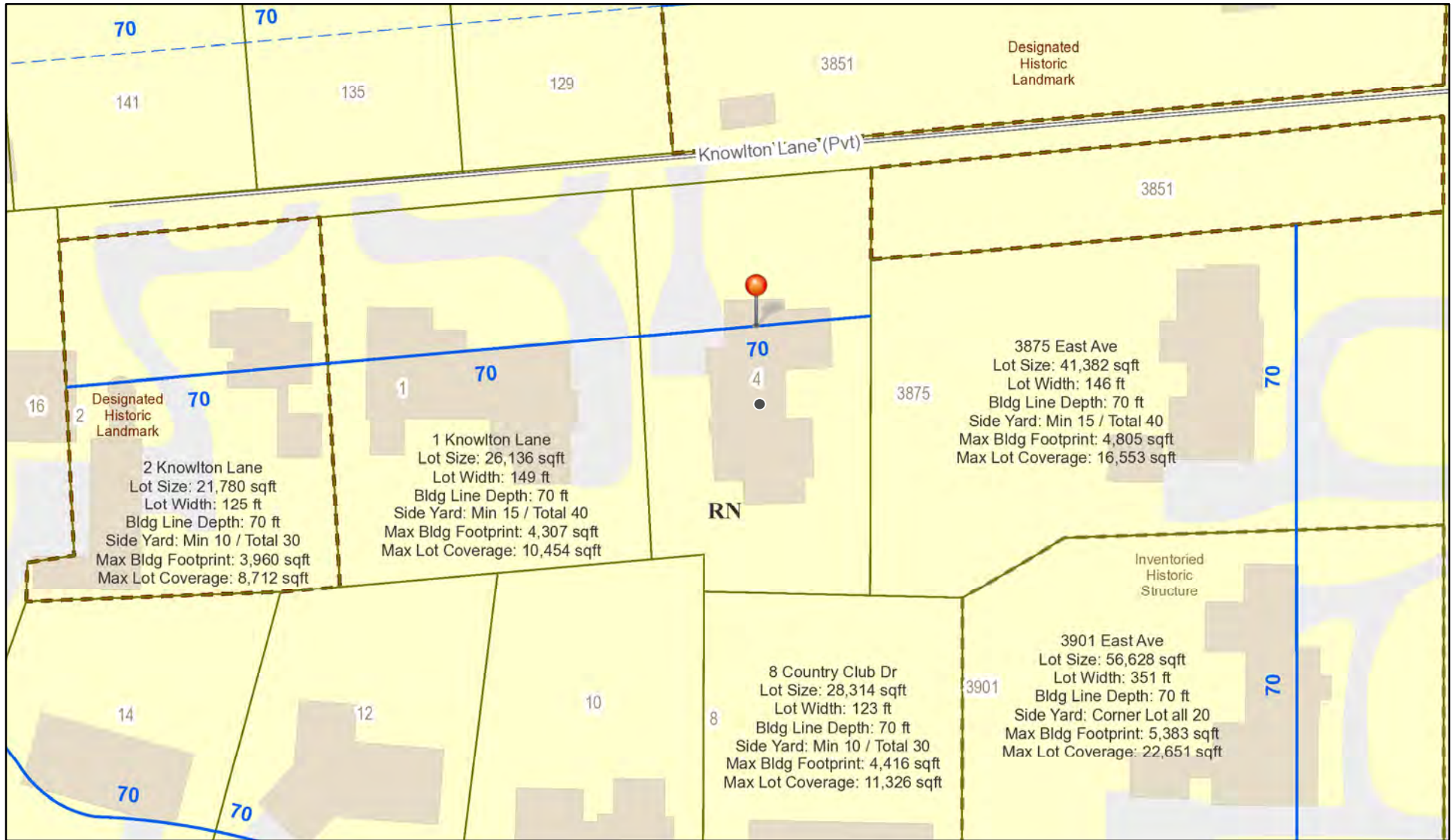
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

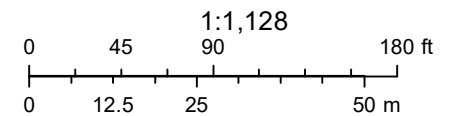
Project Description: Applicant is requesting design review for a 455 square foot second floor addition above the existing garage.

Meeting Date: October 25, 2023

RN Residential Neighborhood Zoning

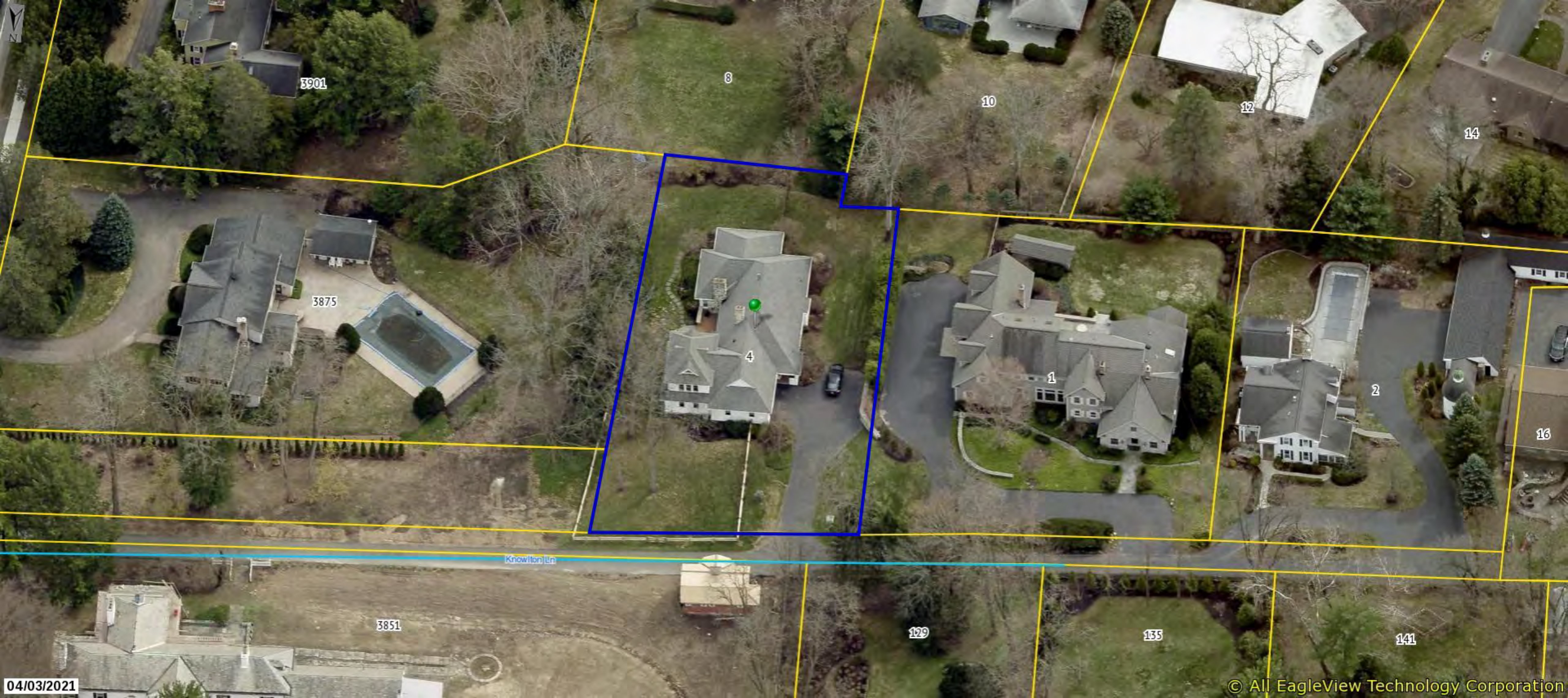


Printed October 18, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



3901

8

10

12

14

3875

4

1

2

16

Knowlton Ln

3851

129

135

141

04/03/2021

© All EagleView Technology Corporation

231017v23_4SPK_WORKINGMODEL_UpdatedforViewer_JDB.rvt



1 FRONT ELEVATION EXISTING - Design Review
1/8" = 1'-0"

EXISTING IMAGE:



2 FRONT ELEVATION NEW - Design Review
1/8" = 1'-0"

design
plan
live

4SPK
4 Knowlton Ln
Rochester, NY14618

STAHL PROPERTY
ASSOCIATES



DEVELOPER



buildhappy

Design • Plan • Live.

Digital Design + Construction

DESIGN REVIEW

DR01-100

Front Elevation

231017v23_4SPK_WORKINGMODEL_UpdatedforViewer_JDB.rvt



1 RIGHT ELEVATION EXISTING - Design Review
1/8" = 1'-0"



2 RIGHT ELEVATION NEW - Design Review
1/8" = 1'-0"

EXISTING IMAGES:



design
plan
live

4SPK
4 Knowlton Ln
Rochester, NY14618

STAHL PROPERTY
ASSOCIATES



DEVELOPER



buildhappy

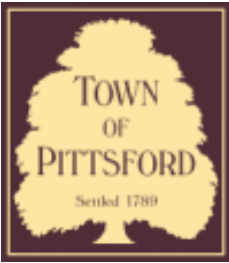
Design • Plan • Live.

Digital Design + Construction

DESIGN REVIEW

DR01-101

Side Elevation



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000146

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 11 Bridleridge Farms PITTSFORD, NY 14534

Tax ID Number: 191.01-1-79

Zoning District:

Owner:

Applicant: Bridleridge Building Corp

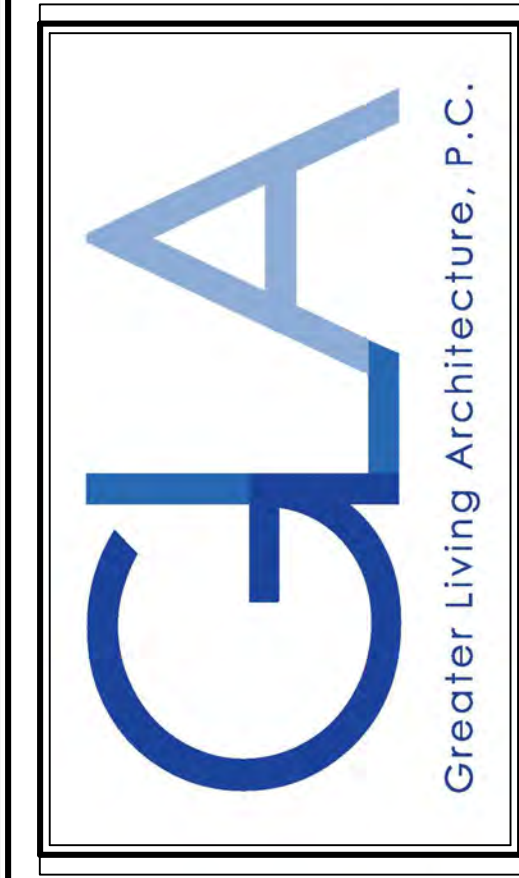
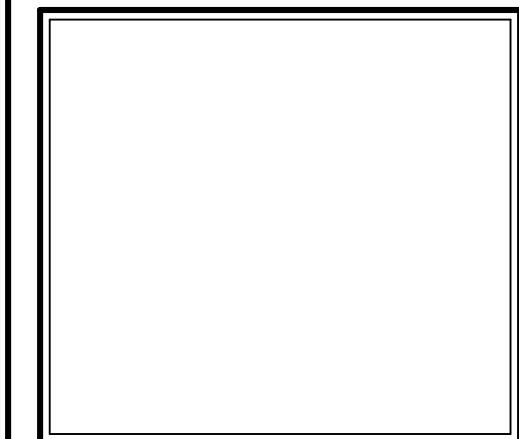
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a 3,332 square foot single-family home in the Bridleridge Farms Subdivision.

Meeting Date: November 09, 2023

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatrliving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

 SPEC HOME
 LOT 4 BRIDLERIDGE FARMS
 PITTSFORD, NY

BUILDER:

 COVENTRY RIDGE
 BUILDING CORP.

COVER PAGE	
GLA PLAN 3332	
drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: C 1

SPEC HOME

LOT 4 BRIDLERIDGE FARMS PITTSFORD, NY COVENTRY RIDGE BUILDING CORP. PLAN 3332 / PROJECT 15475 B

SHEET INDEX

- C-1 COVER SHEET
- 1/6 FRONT & RIGHT ELEVATIONS
- 2/6 REAR & LEFT ELEVATIONS
- 3/6 FOUNDATION PLAN
- 4/6 FIRST FLOOR PLAN
- 5/6 SECOND FLOOR & ROOF PLAN
- 6/6 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).
 COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.
 THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

- DURING TESTING:
- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND BROWN ROOF SHIMS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
 - DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
 - INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
 - EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
 - HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
 - SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m. (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC- RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

- ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
 R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DUELLING UNIT.
- PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED IN PIPING.
- SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.
 CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.
 CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAULING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORTCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN QUITCHES. FLASHINGS SHALL BE PROVIDED AS REQ'D, TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4" HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ³ = 1.9 Fc = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

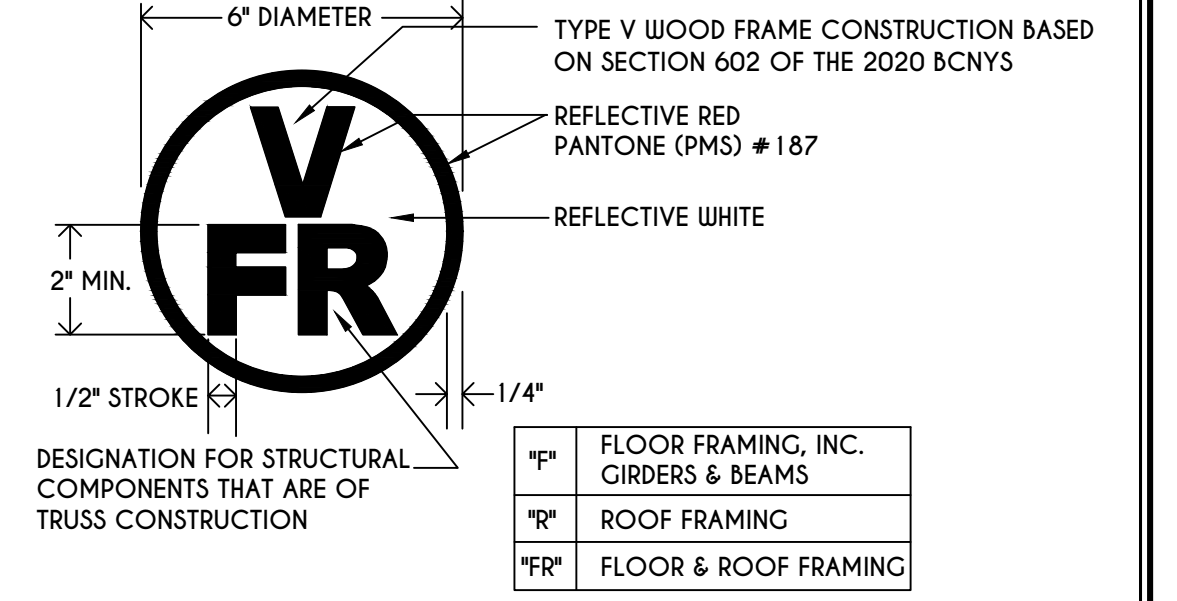
DESIGN CRITERIA:

(FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

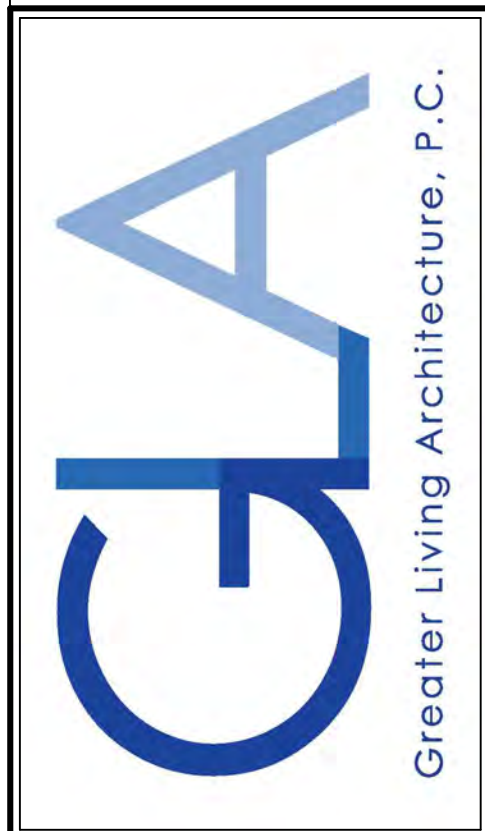
LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
 LOT 4 BRIDLERIDGE FARMS
 PITTSFORD, NY

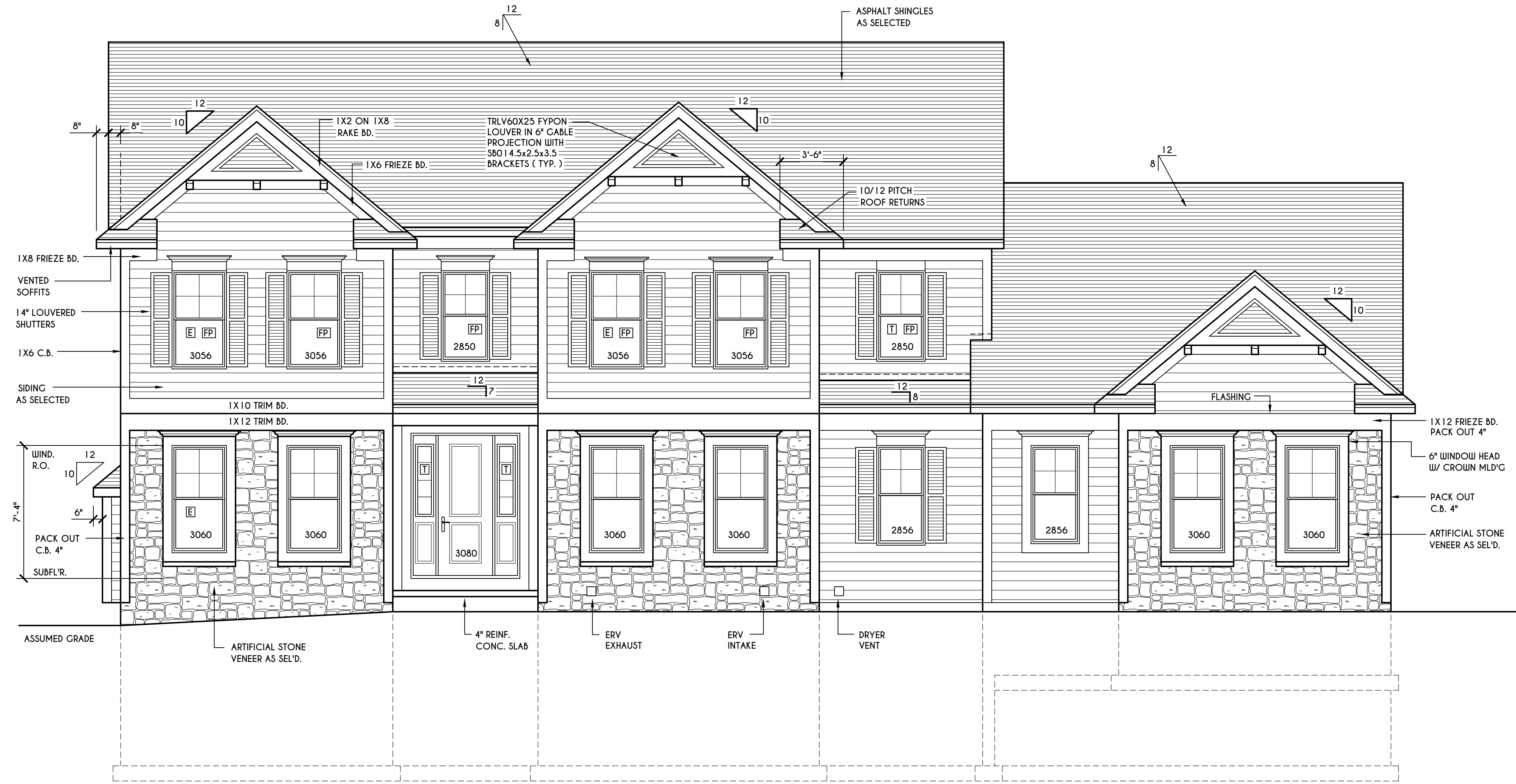
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 3332

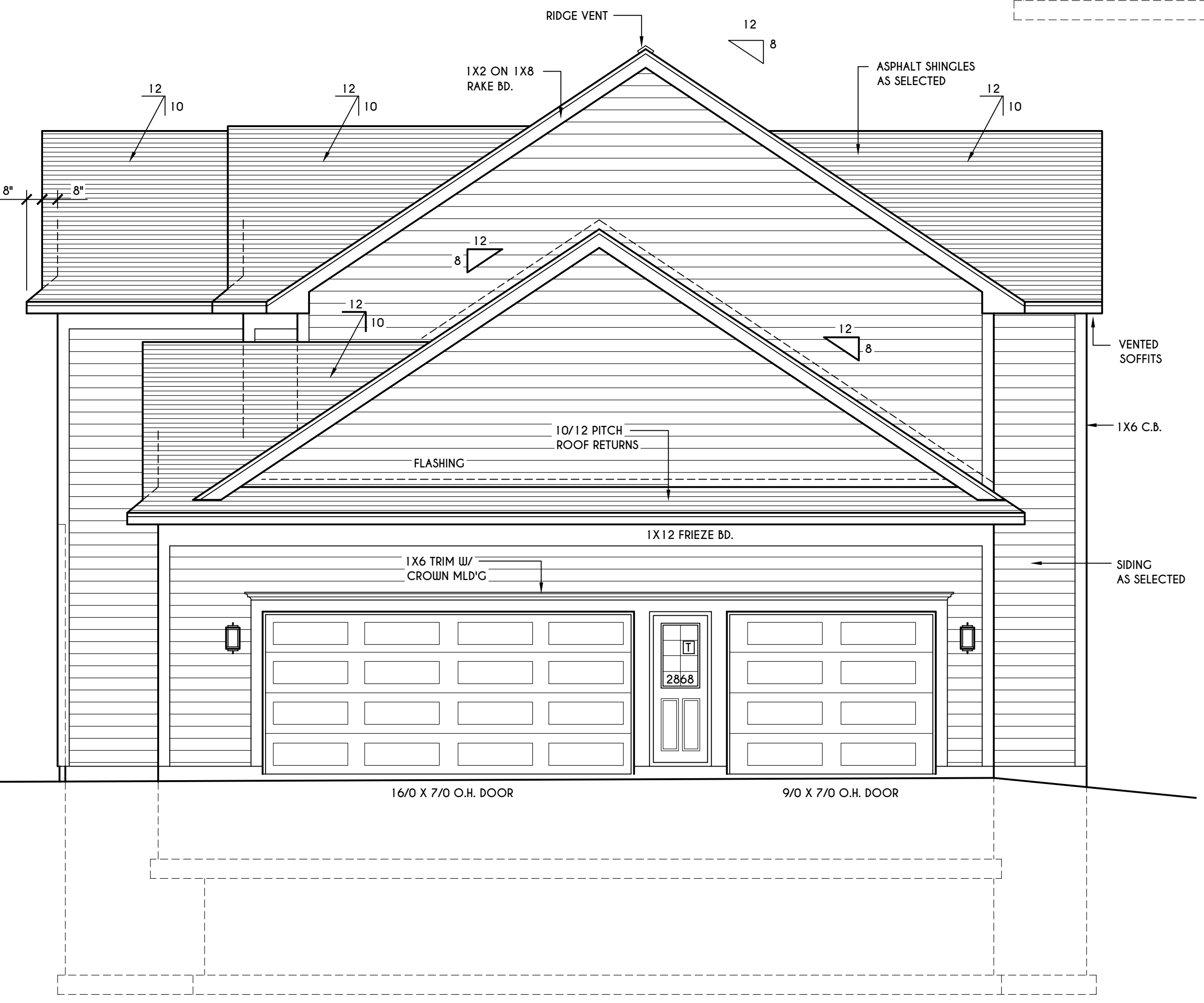
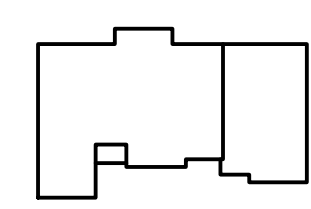
drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: 1 / 6



FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 FIRST FLOOR LIVING AREA = 1649 SQ.FT.
 SECOND FLOOR LIVING AREA = 1683 SQ.FT.
 TOTAL LIVING AREA = 3332 SQ.FT.
 TOTAL CONDITIONED VOLUME = 45,803 CU.FT.

HOUSE FOOTPRINT
 SCALE: 1" = 50'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: VUID SOLAR GAIN GLASS W/ ARGON
 U-FACTOR 0.30
 SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/ft. & SLIDING DOORS NO MORE THAN 0.5 cfm/ft. AS PER SECT. R402.4.3 OF 2020 ECCCNS

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES ARE 8" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

^a For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
^b Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m3/s.

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED
 GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
 LOT 4 BRIDLERIDGE FARMS
 PITTSFORD, NY

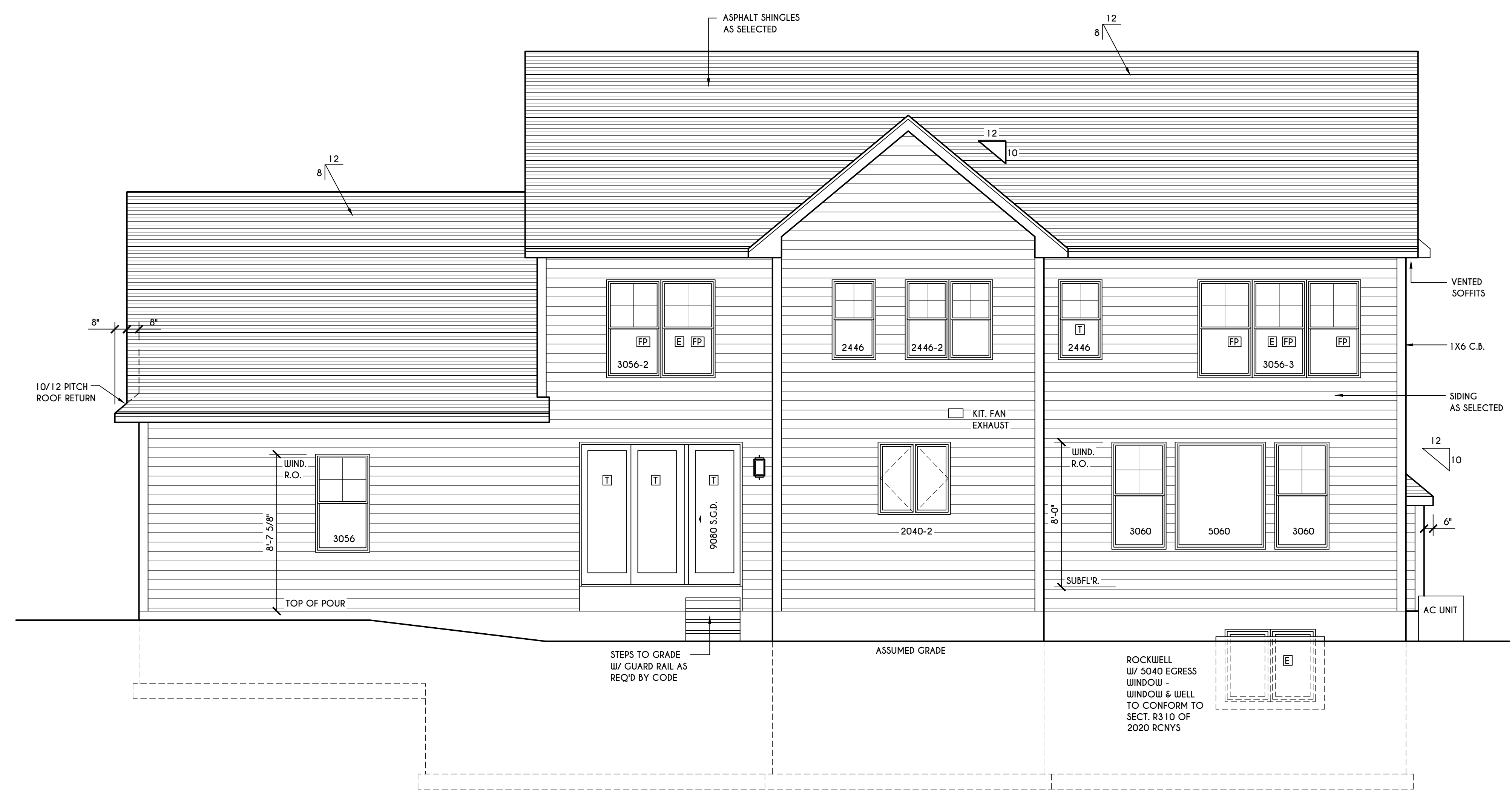
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

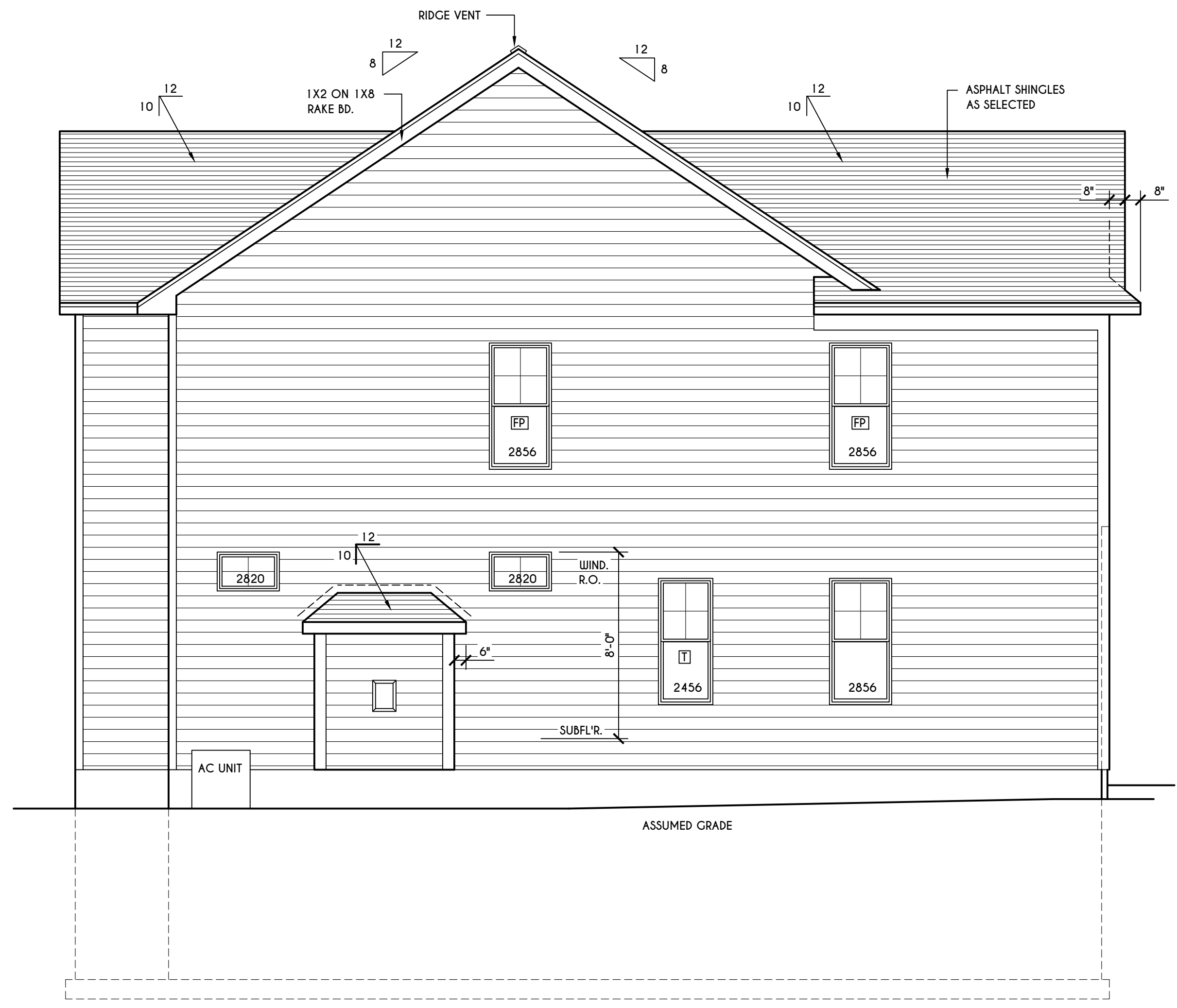
ELEVATIONS

GLA PLAN 3332

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: 2 / 6



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

WINDOWS: VIVID SOLAR GAIN GLASS W/ ARGON
 U-FACTOR 0.30
 SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf, & SLIDING DOORS NO MORE THAN 0.5 cfm/sf, AS PER SECT. R402.4.3 OF 2020 ECCCNY

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES ARE 6" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE - THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 C.F.M. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 SPEC HOME
 LOT 4 BRIDLERIDGE FARMS
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

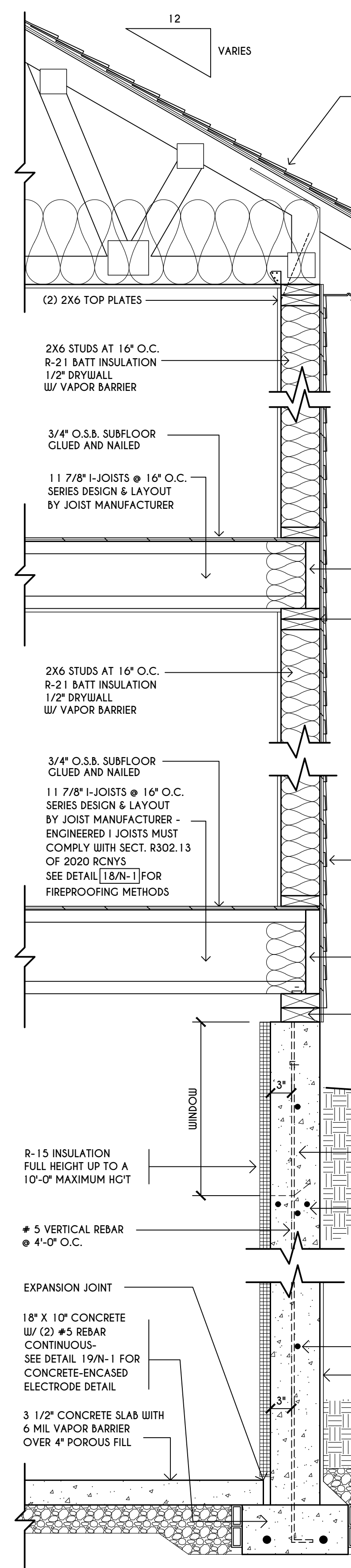
FOUNDATION PLAN

GLA PLAN 3332

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: 3 / 6

TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15# FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDC15 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC
 R-38 CEILING INSULATION

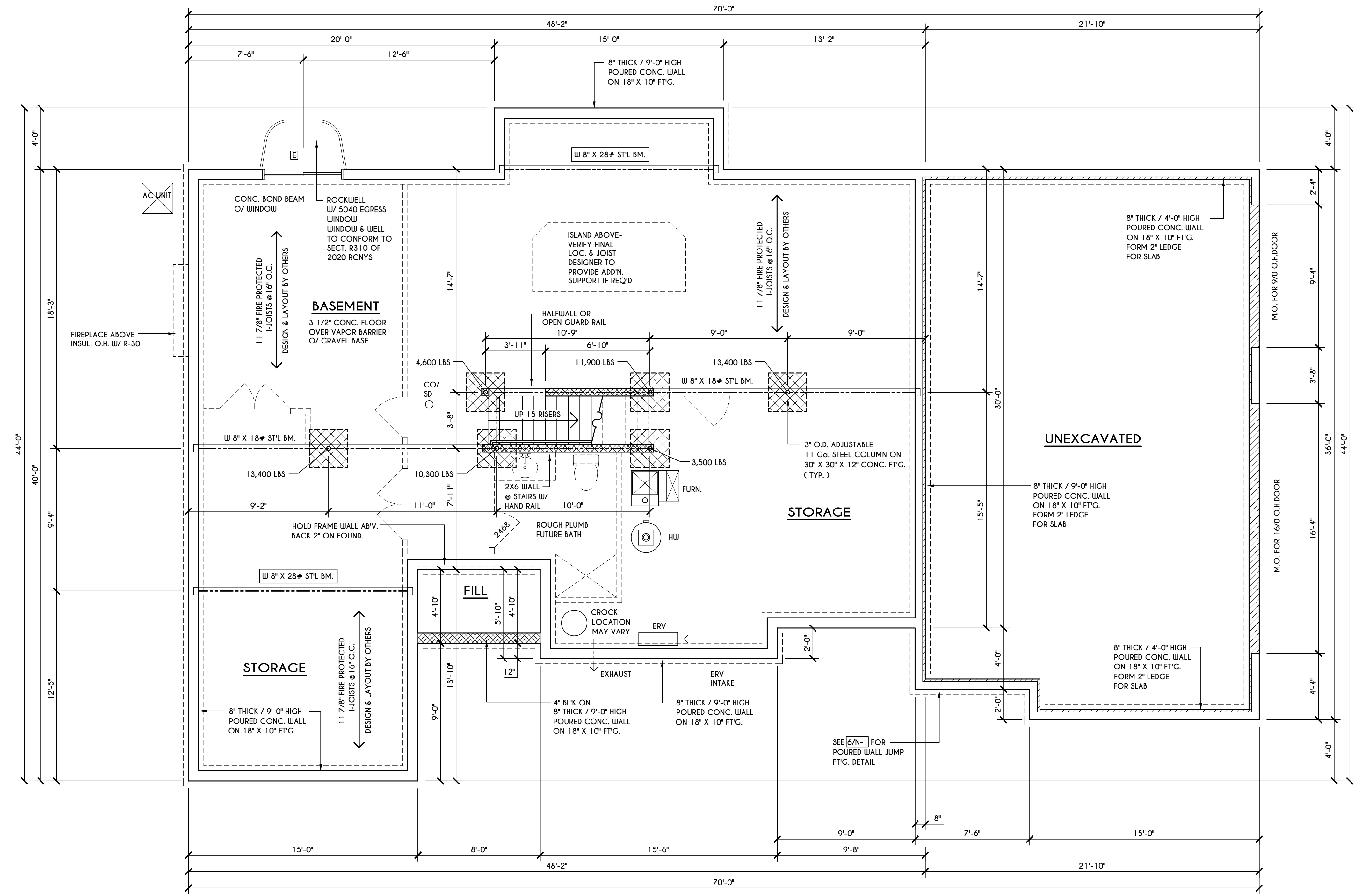


(2) 2X6 TOP PLATES
 ALUMINUM CUTTER ON 2X6 FASCIA BOARD WITH VENTED SOFFITS
 2X6 STUDS AT 16" O.C. R-21 BATT INSULATION 1/2" DRYWALL W/ VAPOR BARRIER
 3/4" O.S.B. SUBFLOOR GLUED AND NAILED
 11 7/8" I-JOISTS @ 16" O.C. SERIES DESIGN & LAYOUT BY JOIST MANUFACTURER
 11 7/8" LSL RIM JOIST W/ R-21 INSULATION
 (2) 2X6 TOP PLATES
 2X6 STUDS AT 16" O.C. R-21 BATT INSULATION 1/2" DRYWALL W/ VAPOR BARRIER
 3/4" O.S.B. SUBFLOOR GLUED AND NAILED
 11 7/8" I-JOISTS @ 16" O.C. SERIES DESIGN & LAYOUT BY JOIST MANUFACTURER - ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS. SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS
 3/8" EXT. PLYWD. OR 7/16" O.S.B. W/ HOUSE WRAP SIDING AS SELECTED ATTACHED AS PER 2020 RCNYS
 11 7/8" LSL RIM JOIST W/ R-21 INSULATION
 (2) 2X6 PRESSURE TREATED SILL PLATE WITH SILL SEALER & 1/2" DIAM. / 10" LONG NON-CORROSIVE ANCHOR BOLTS @ 72" O.C.
 FINISHED GRADE
 8" THICK / 9'-0" HIGH (4000 PSI) POURED CONC. WALL REINFORCED TO COMPLY WITH THE RESIDENTIAL CODE OF NYS
 (2) #4 BARS AROUND ALL WINDOW OPENINGS, AND SUCH BARS SHALL EXTEND AT LEAST 24" BEYOND THE CORNERS OF OPENINGS.

FIRST FLOOR

BASEMENT / FOUNDATION

#5 VERTICAL REBAR @ 4'-0" O.C.
 EXPANSION JOINT
 18" X 10" CONCRETE W/ (2) #5 REBAR CONTINUOUS - SEE DETAIL 19/N-1 FOR CONCRETE-ENCASED ELECTRODE DETAIL
 3 1/2" CONCRETE SLAB WITH 6 MIL VAPOR BARRIER OVER 4" POROUS FILL
 #4 HORIZONTAL REBAR @ 2'-0" O.C.
 DAMPPROOF AS PER CODE W/ POLYETHYLENE WRAP
 SOIL BACKFILL
 GRAVEL BACKFILL
 8" FORM-A-DRAIN FOUNDATION FOOTING, DRAINAGE, & RADON EVACUATION SYSTEM



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0" 938 SQ. FT. OPT. FINISHED TERRACE LEVEL AREA

GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND / OR STRUCTURE NOTED
 ALL WINDOW R.O. HGT'S TO BE 6'-10" 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
- PER SECT. R310.2.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

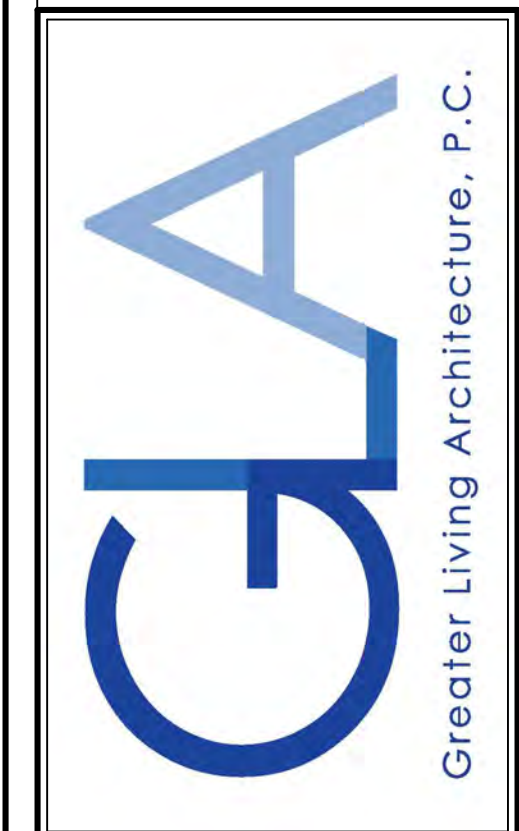
FRAMING LEGEND:

- [Hatched] - PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- [Dashed] - DROPPED HEADER
- [Dotted] - FLUSH HEADER
- [Hatched] - 2X4 STUDS @ 16" O.C.
- [Hatched] - 2X6 STUDS @ 16" O.C.

TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

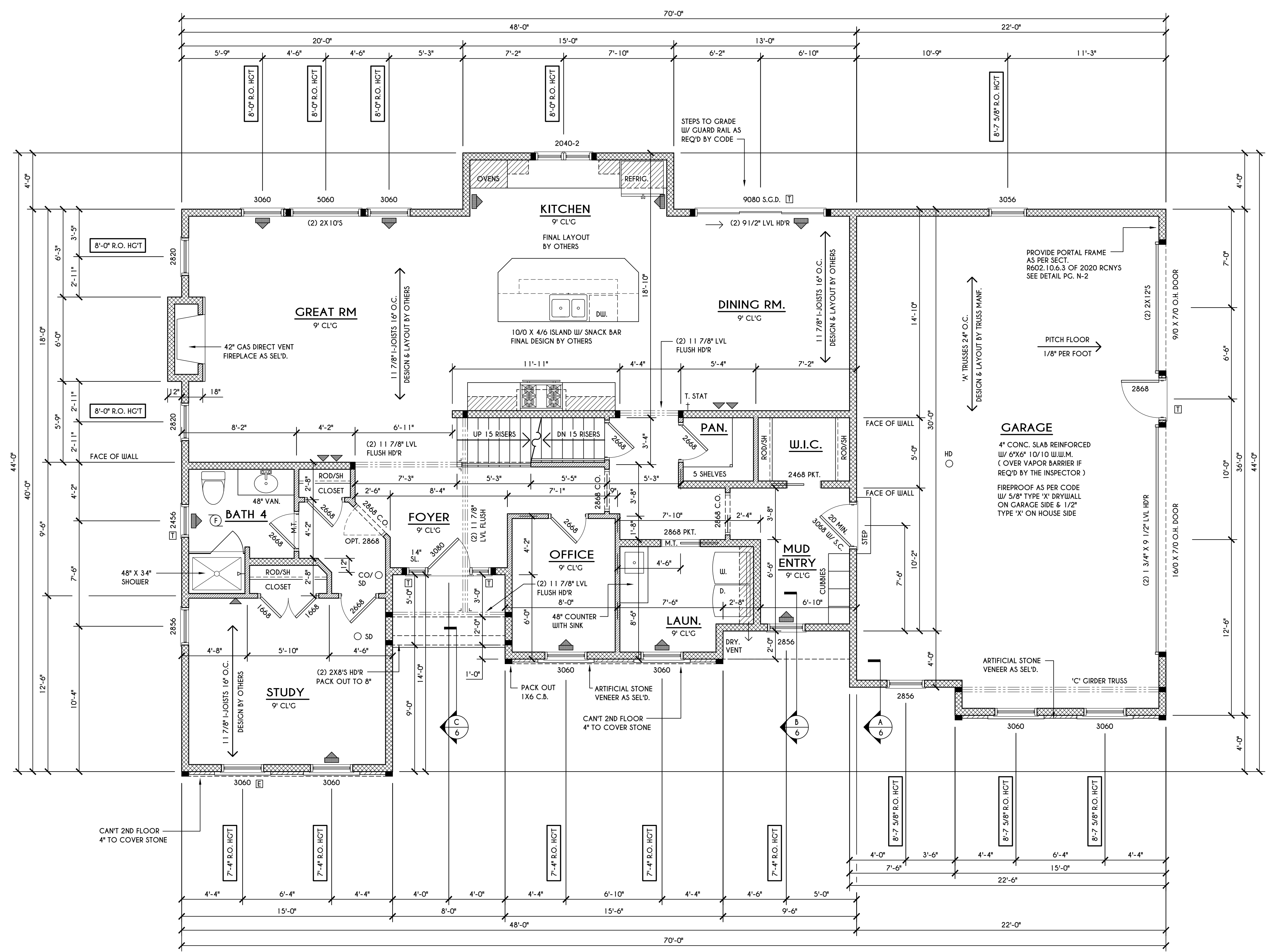
CLIENT/LOCATION:
 SPEC HOME
 LOT 4 BRIDLERIDGE FARMS
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3332

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: 4 / 6



FIRST FLOOR PLAN

1649 SQ. FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HCT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE D&L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4' = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ U/L 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

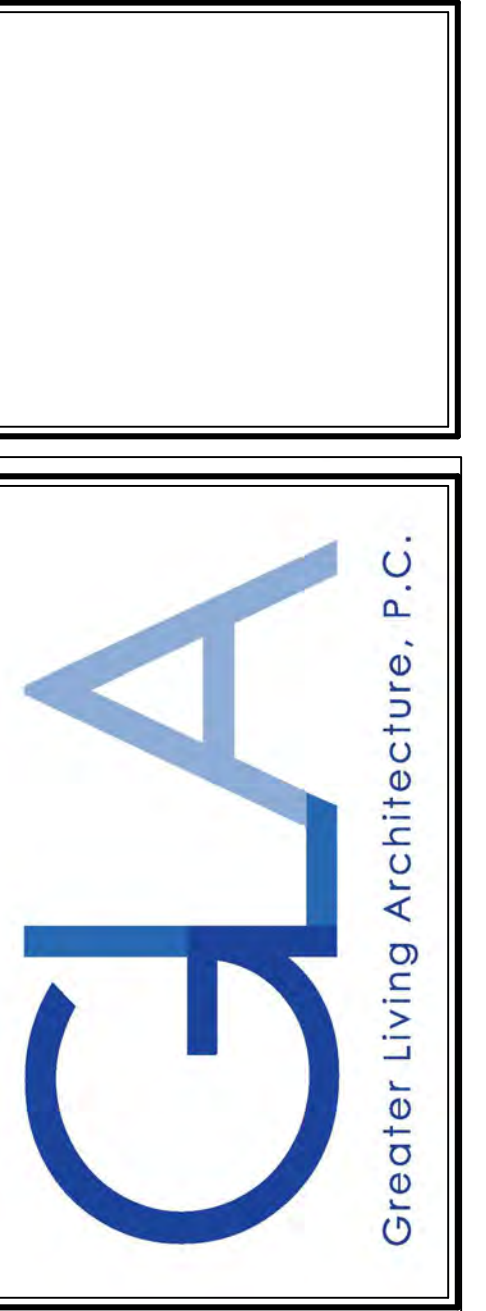
WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

COPYRIGHT NOTICE :
 THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
 COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greaterliving.com

REVISIONS:

DATE	BY	DESCRIPTION

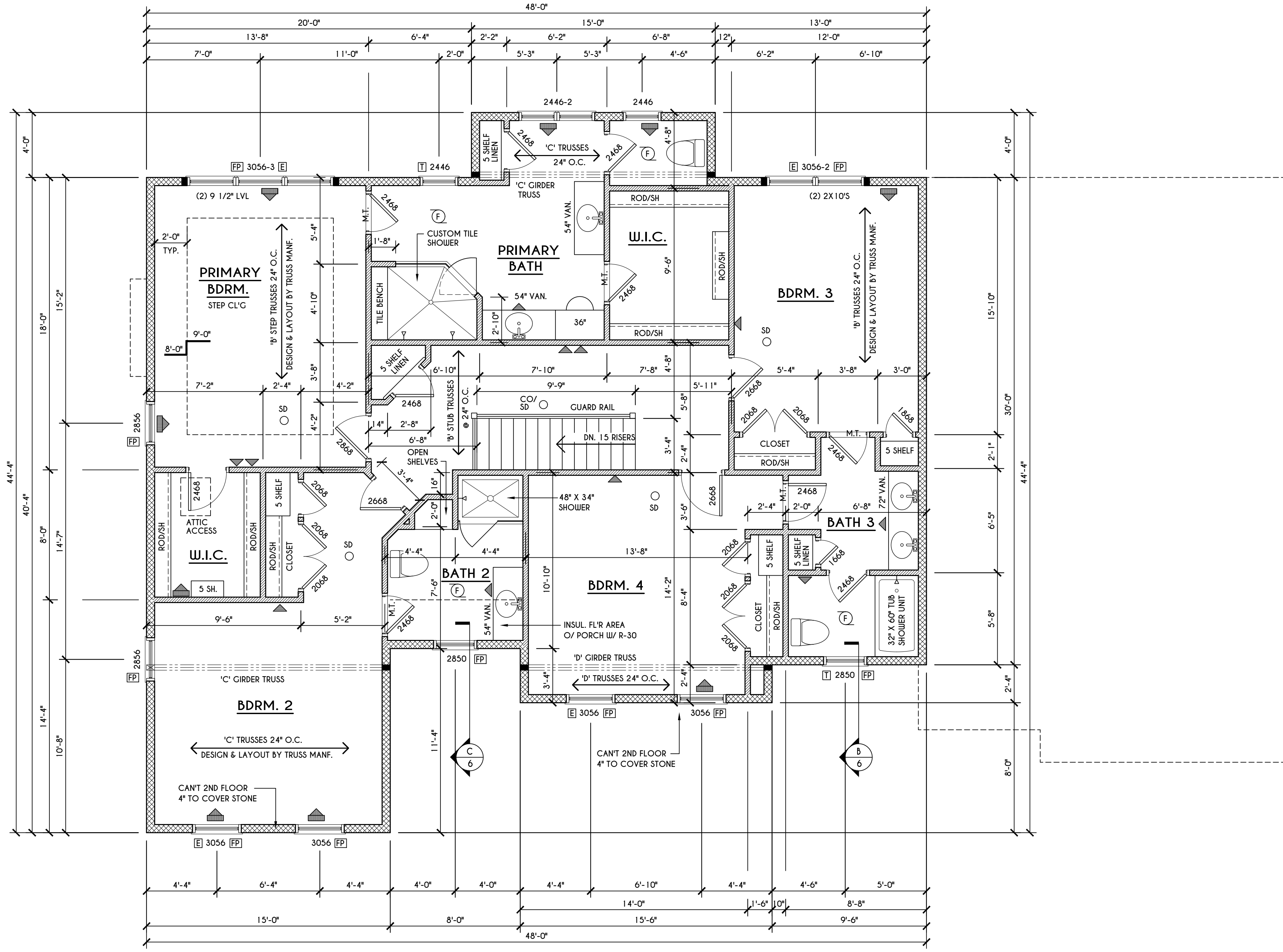
CLIENT/LOCATION:
 SPEC HOME
 LOT 4 BRIDLERIDGE FARMS
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3332

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475B	sheet: 5 6



SECOND FLOOR PLAN

1683 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

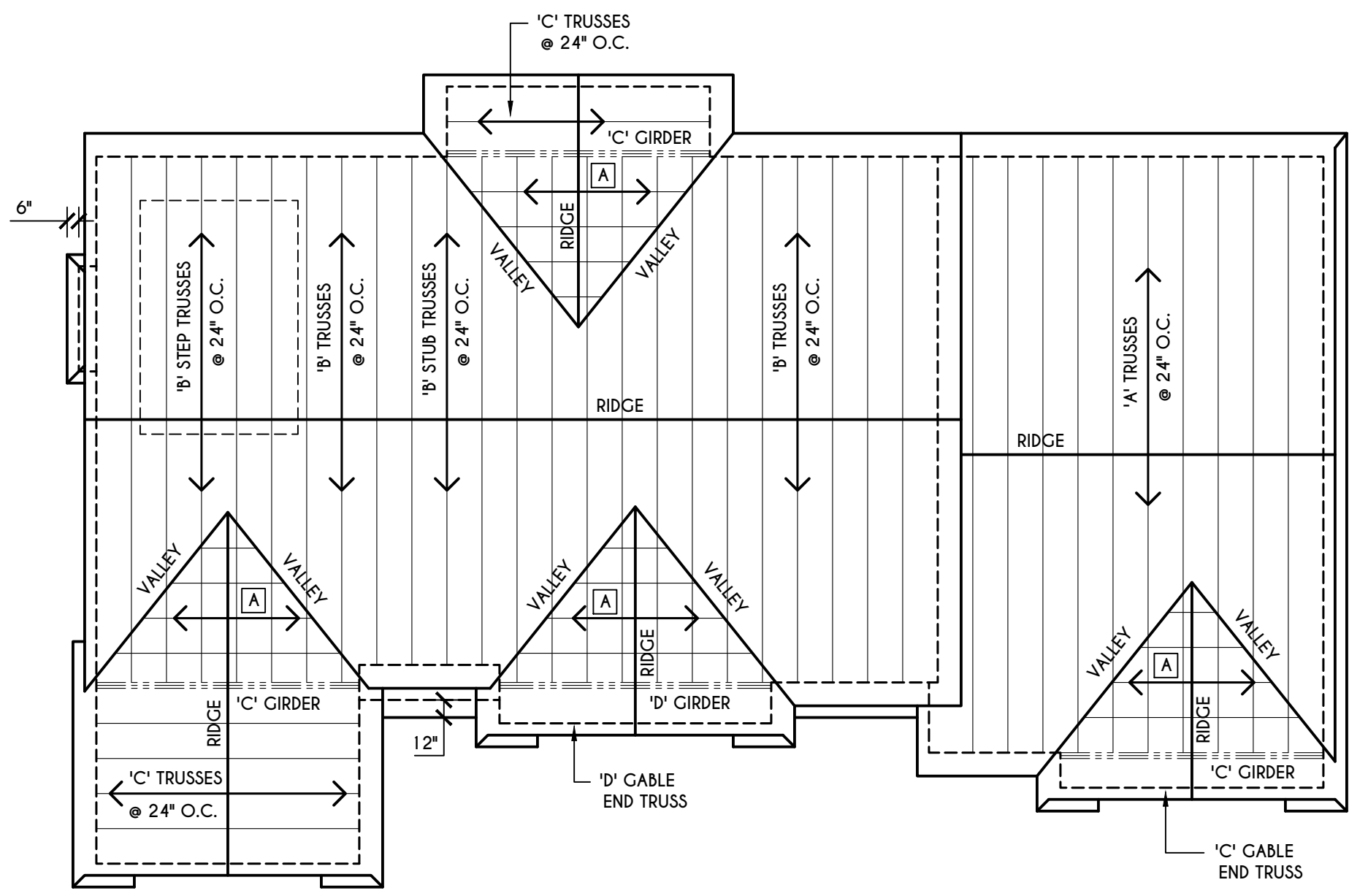
- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / - 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS



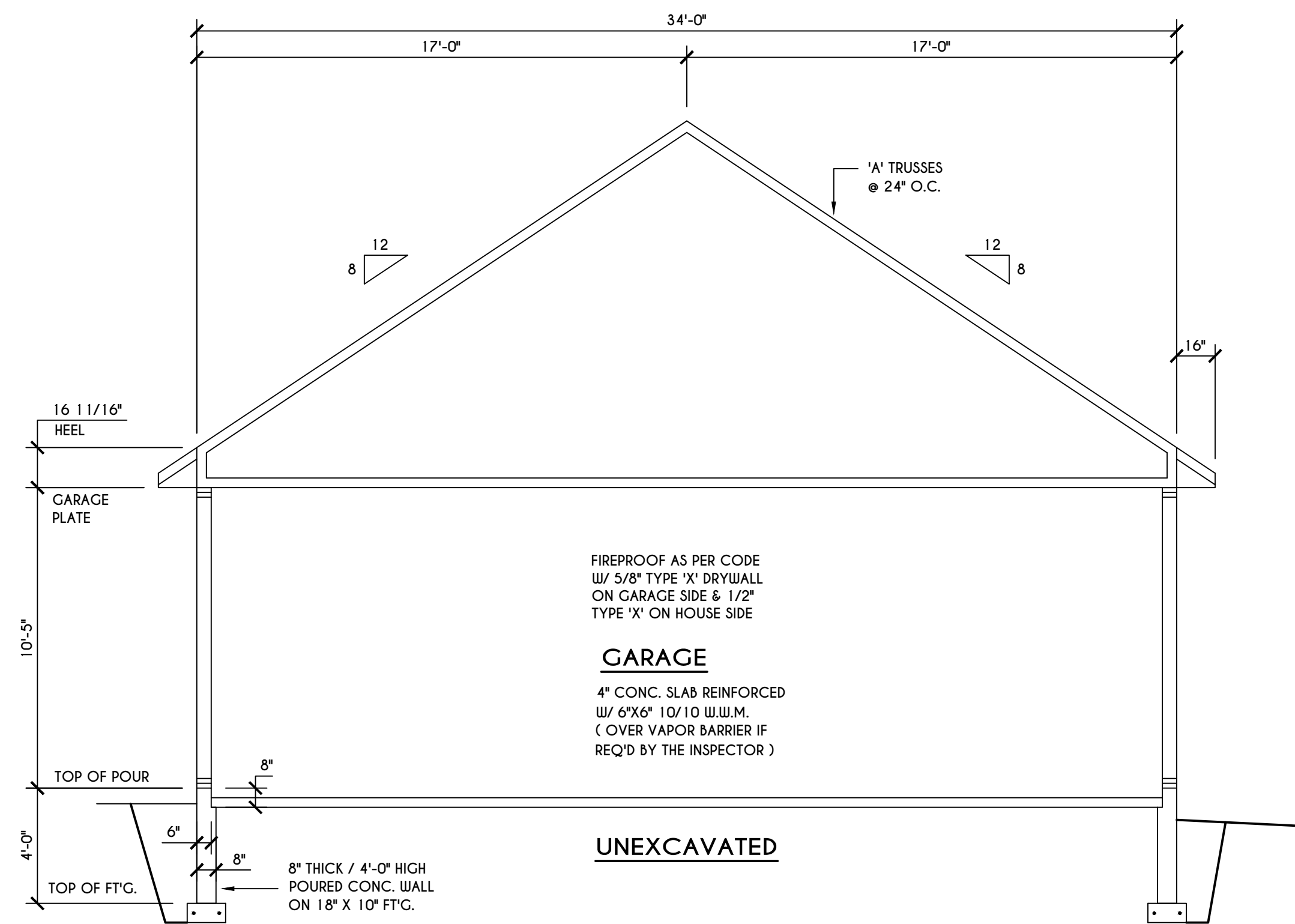
ROOF PLAN

SCALE: 1/8" = 1'-0"

2X6 LAYOVER RAFTERS 24" O.C.

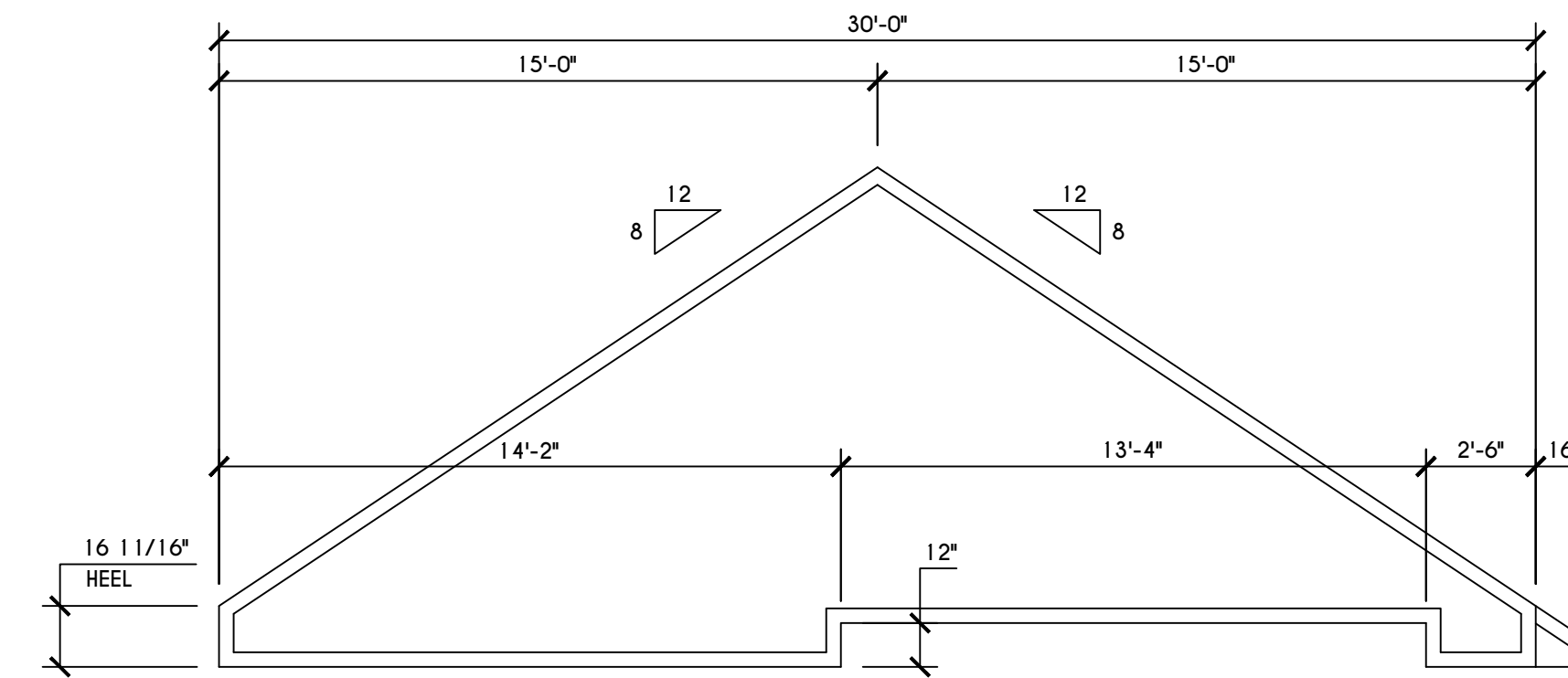
GENERAL ROOF NOTES:

ALL RAKES ARE 8" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

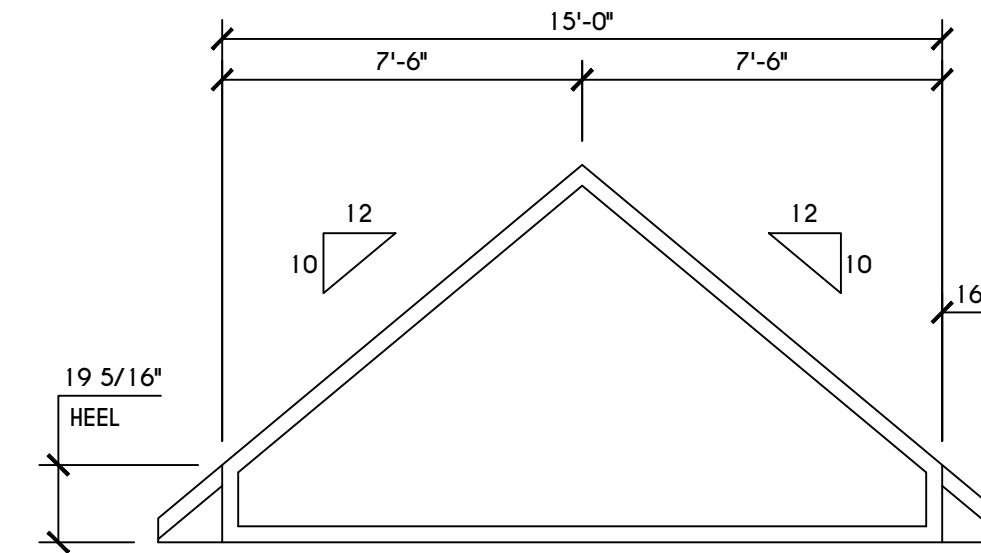


A
6 BUILDING SECTION
SCALE: 1/4" = 1'-0"

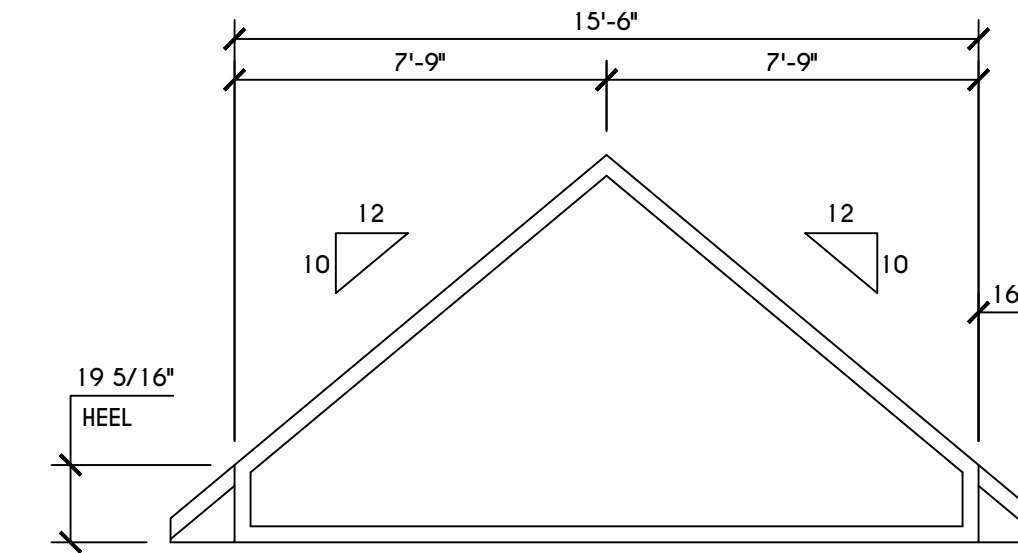
16 11/16"
TRUSS NOTES:
TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



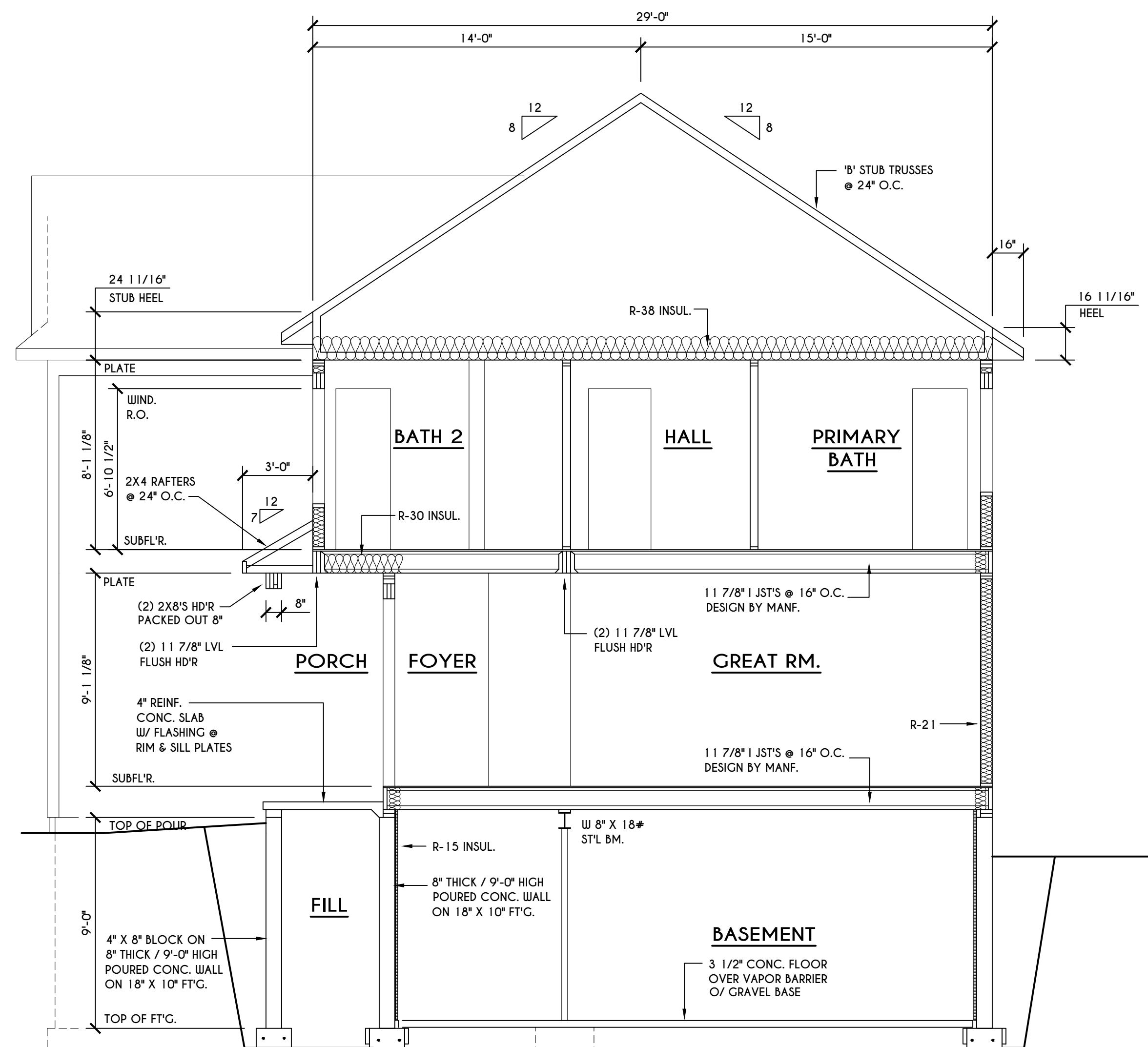
'B' STEP TRUSS PROFILE
SCALE: 1/4" = 1'-0"



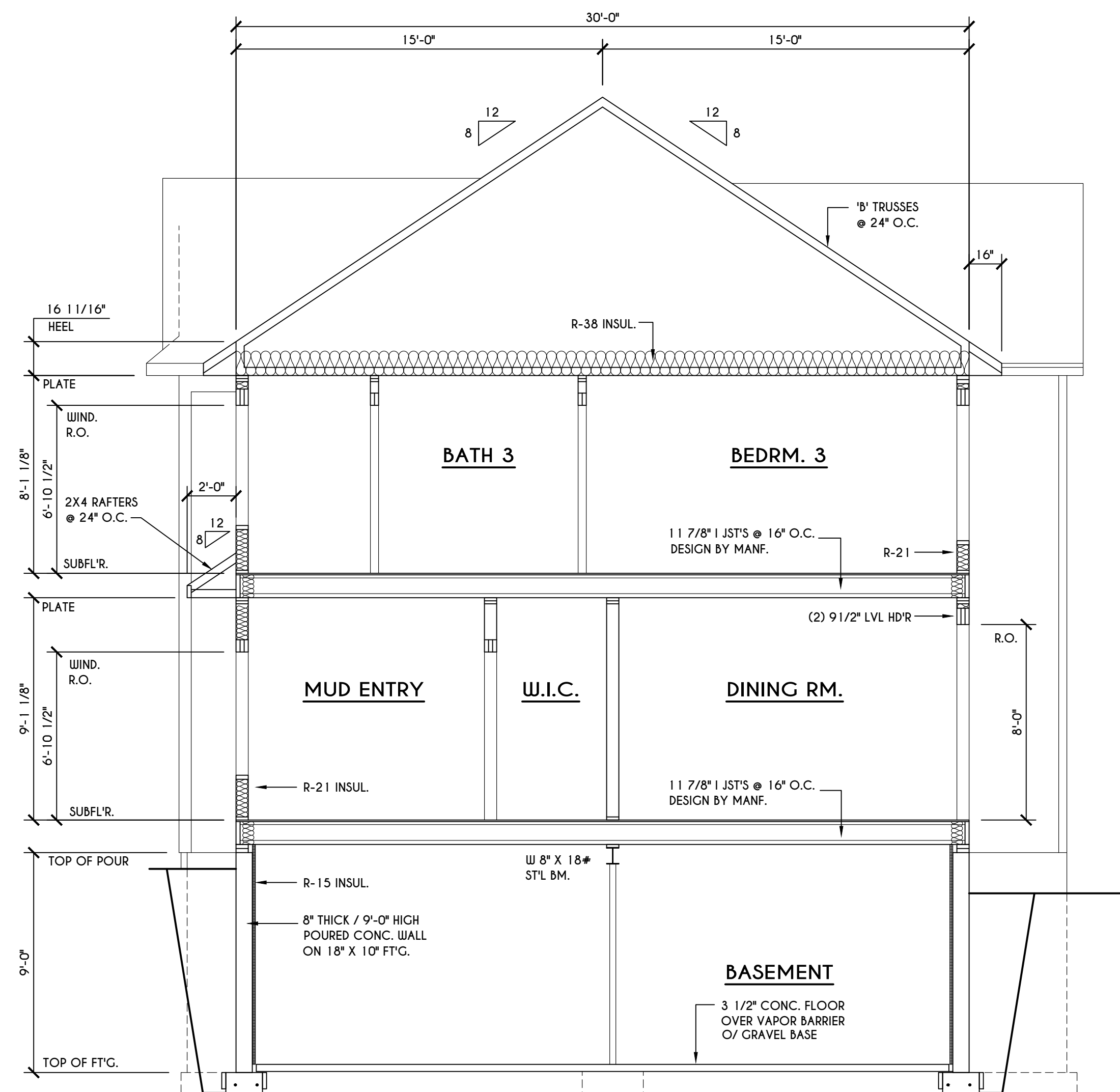
'C' TRUSS PROFILE
SCALE: 1/4" = 1'-0"



'D' TRUSS PROFILE
SCALE: 1/4" = 1'-0"



C
6 BUILDING SECTION
SCALE: 1/4" = 1'-0"



B
6 BUILDING SECTION
SCALE: 1/4" = 1'-0"

COPYRIGHT NOTICE :
THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209
COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greatertliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

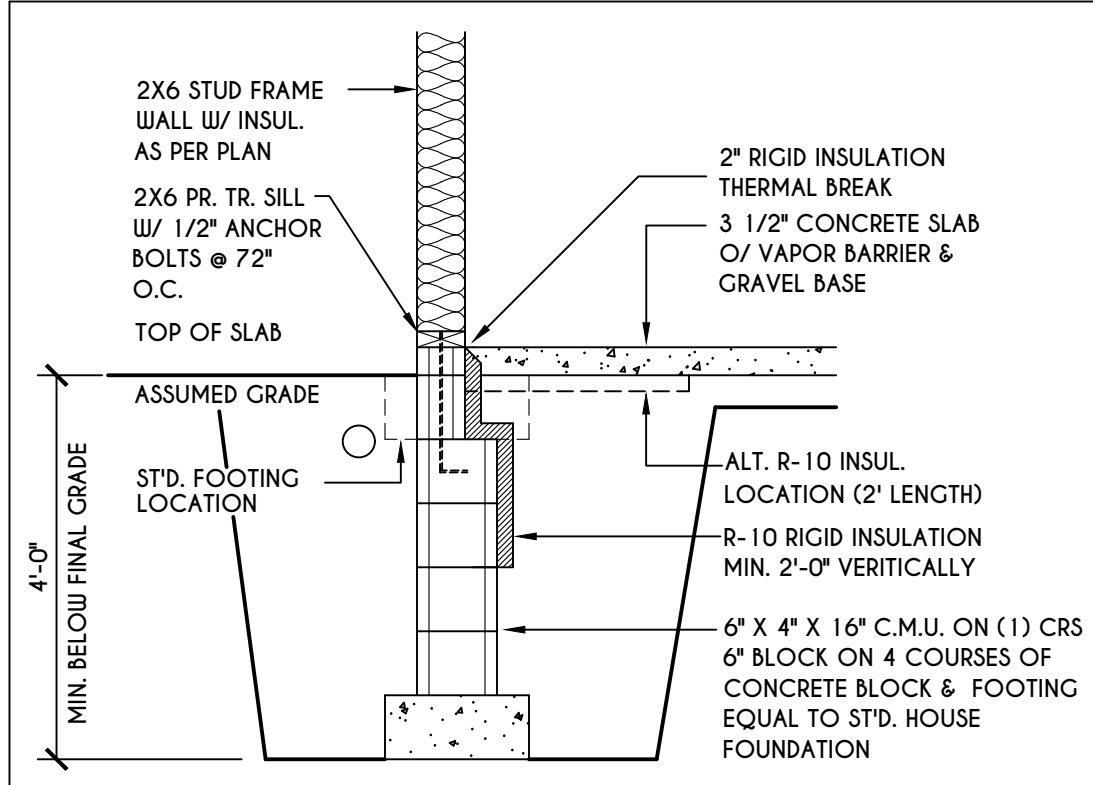
SPEC HOME
LOT 4 BRIDLERIDGE FARMS
PITTSFORD, NY

BUILDER:

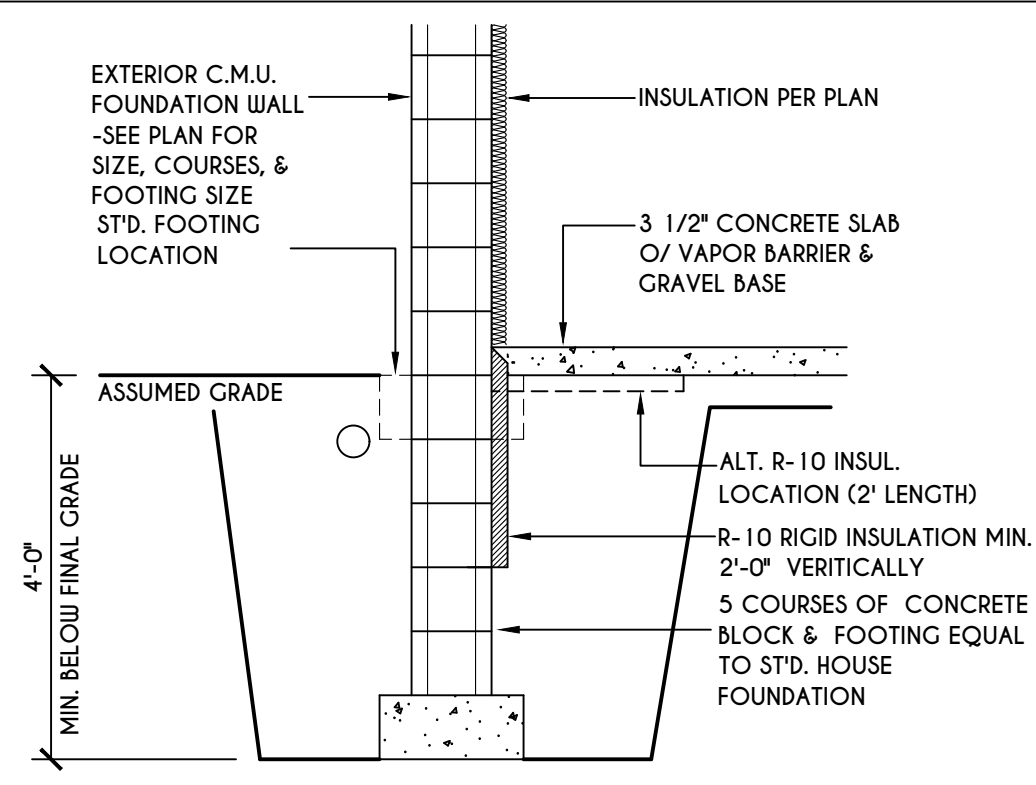
COVENTRY RIDGE
BUILDING CORP.

SECTIONS
GLA PLAN 3332

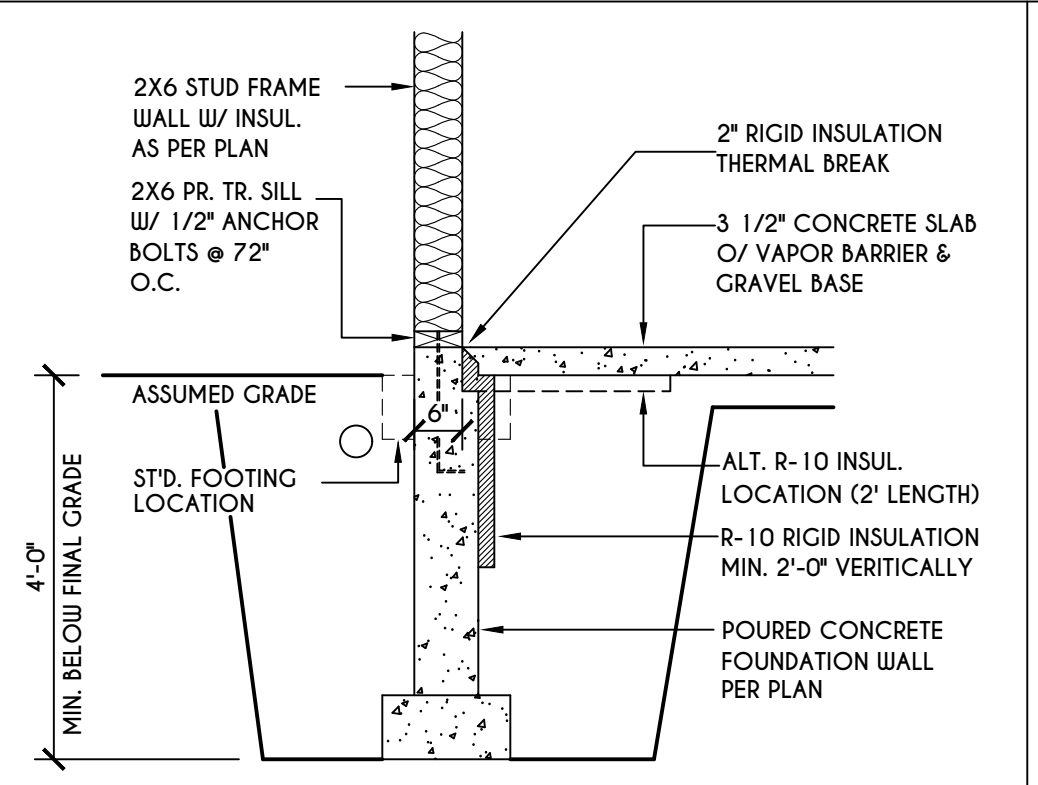
drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475b	sheet: 6 / 6



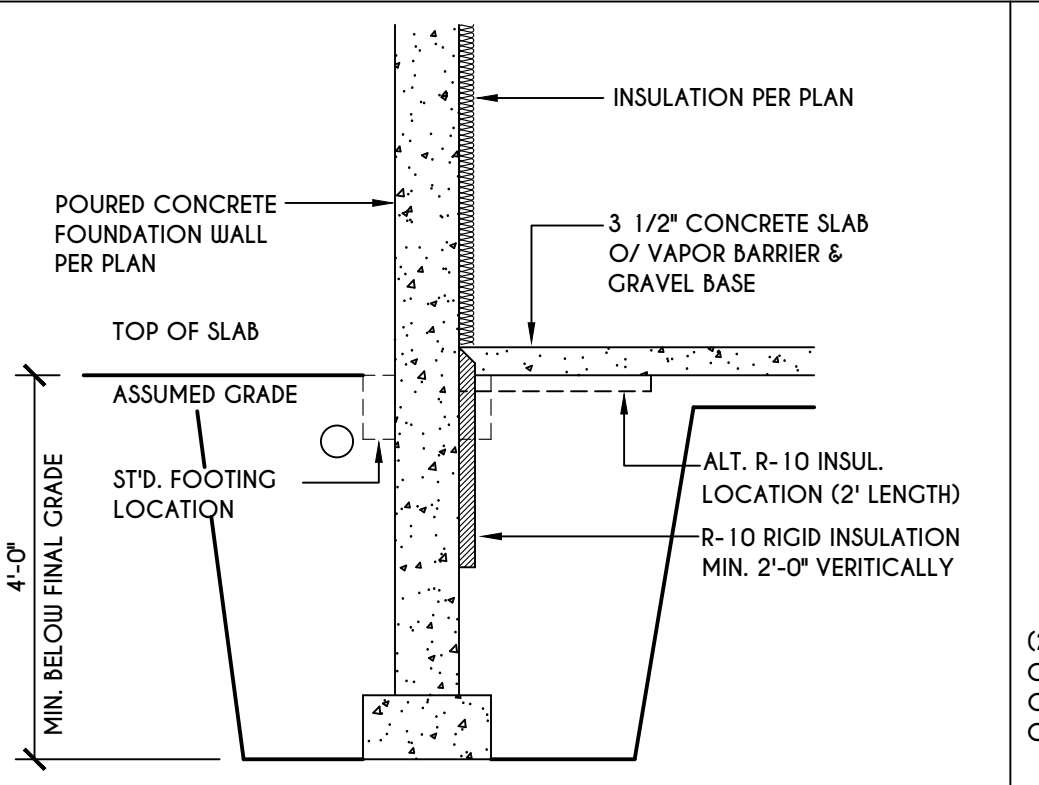
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



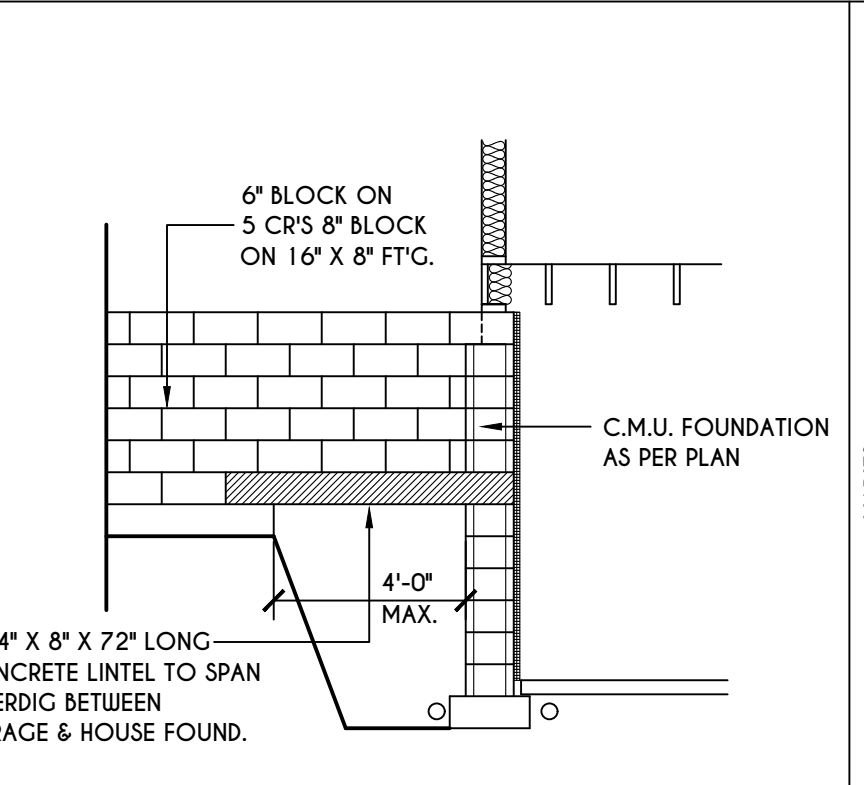
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



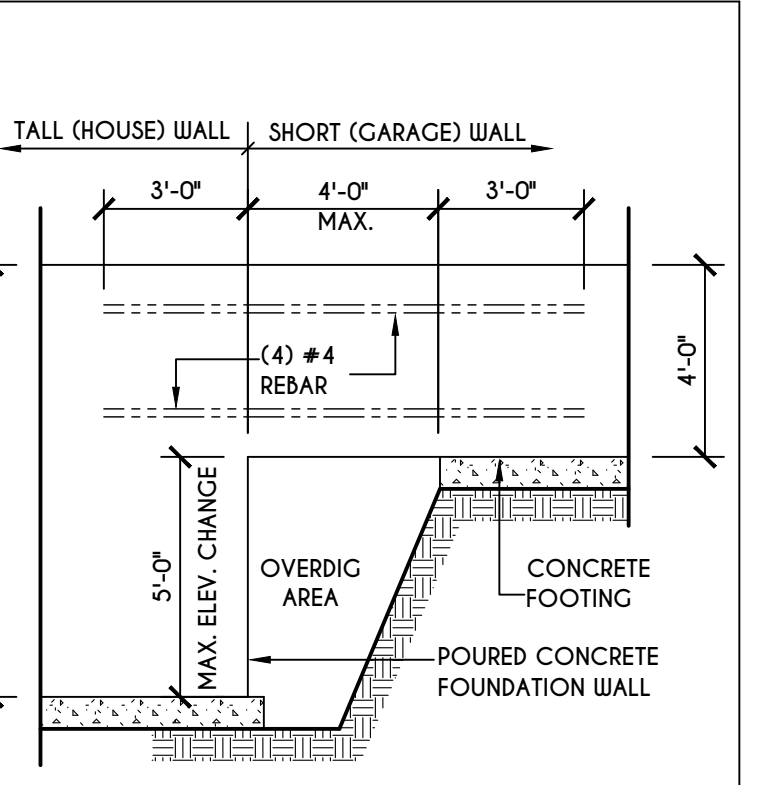
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



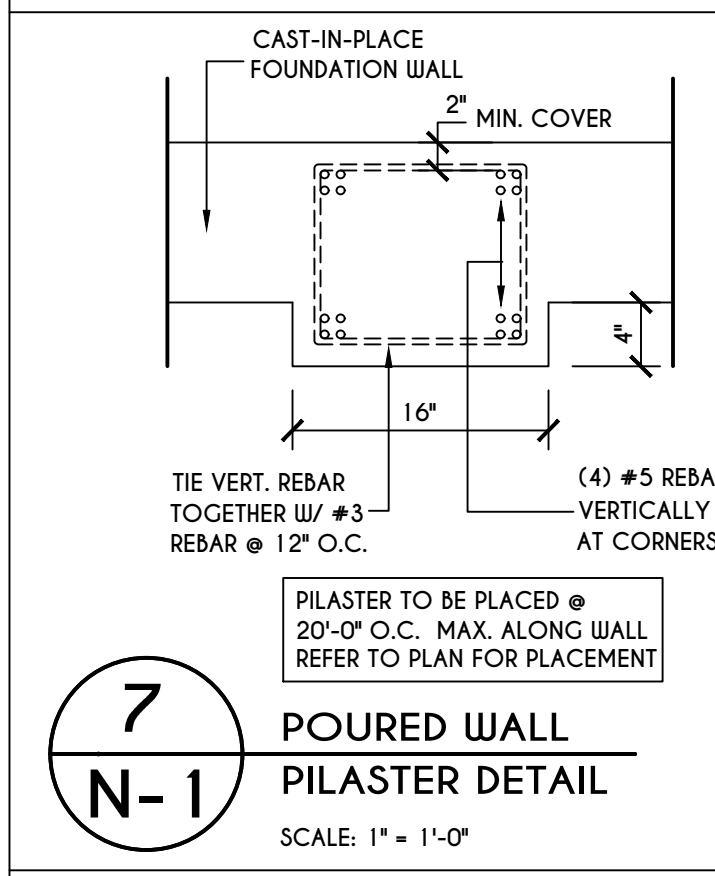
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



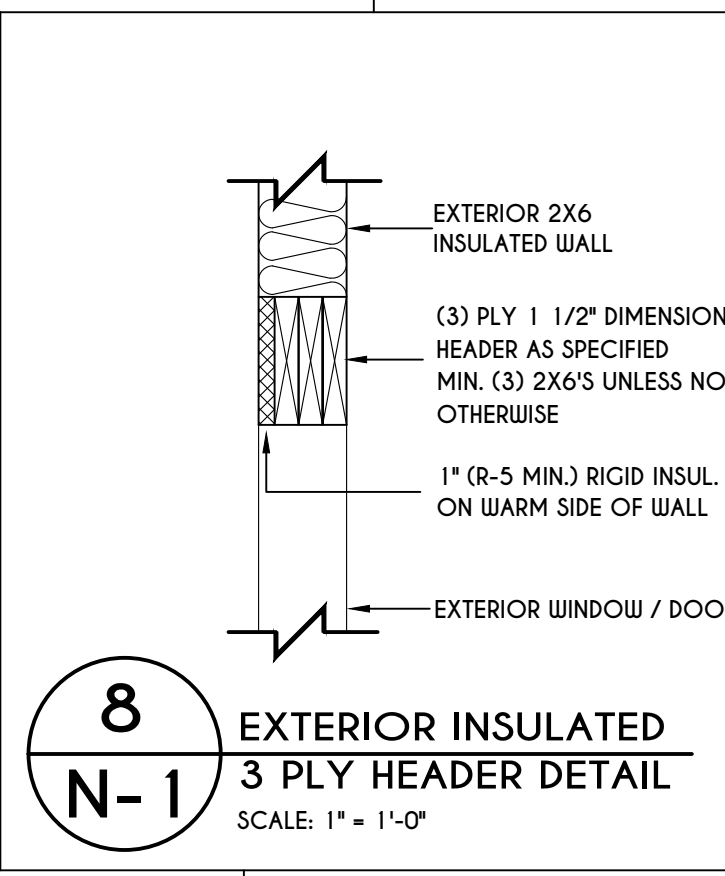
5
N-1
C.M.U. JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



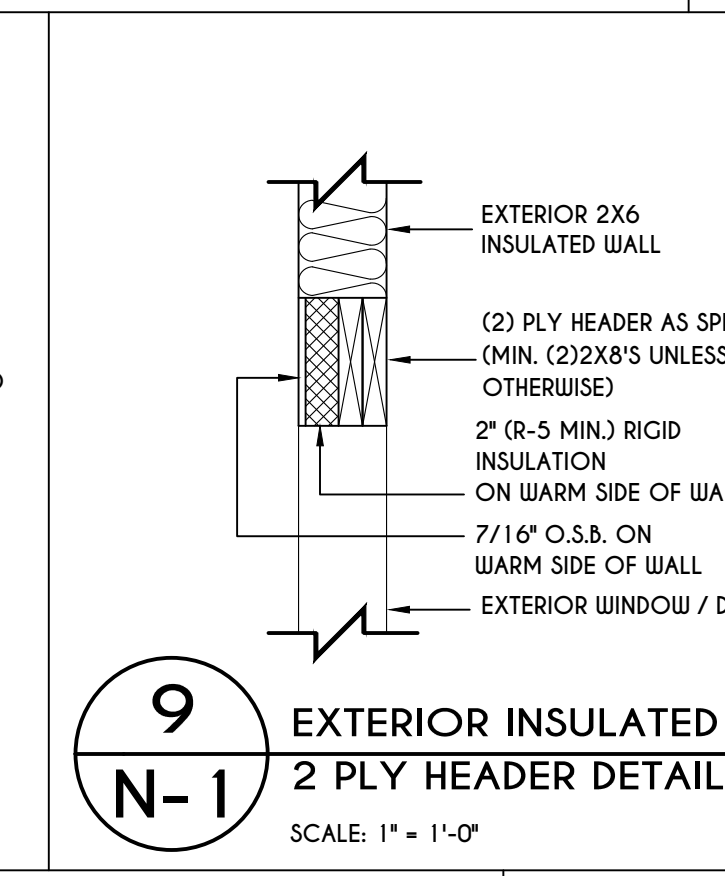
6
N-1
POURED WALL JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



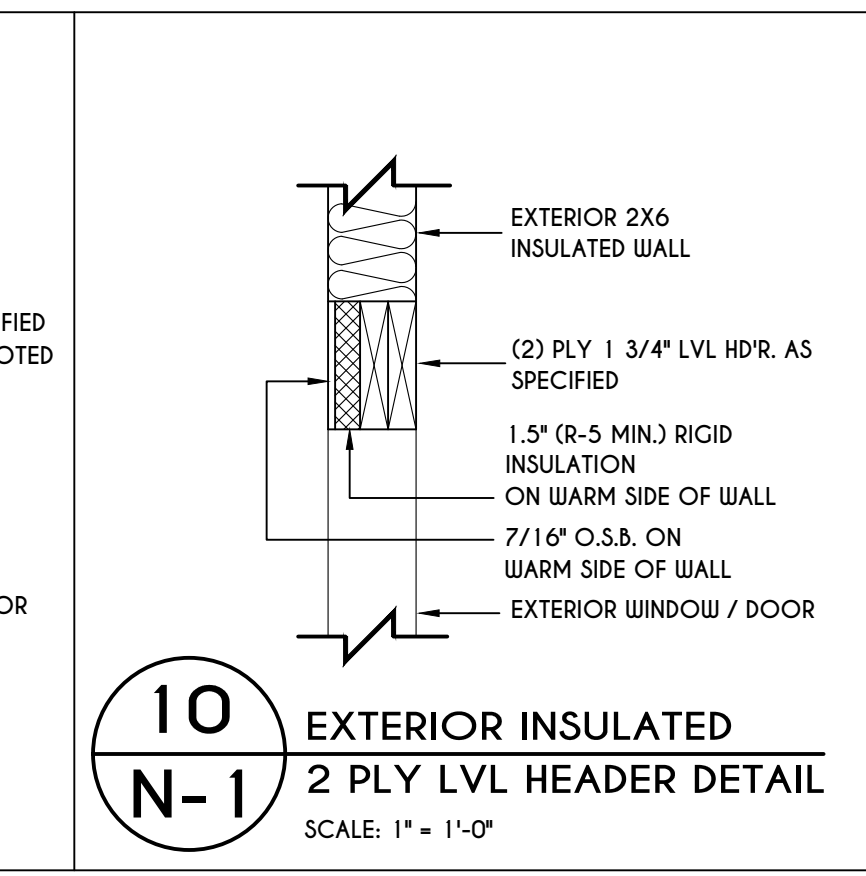
7
N-1
POURED WALL
PILASTER DETAIL
SCALE: 1" = 1'-0"



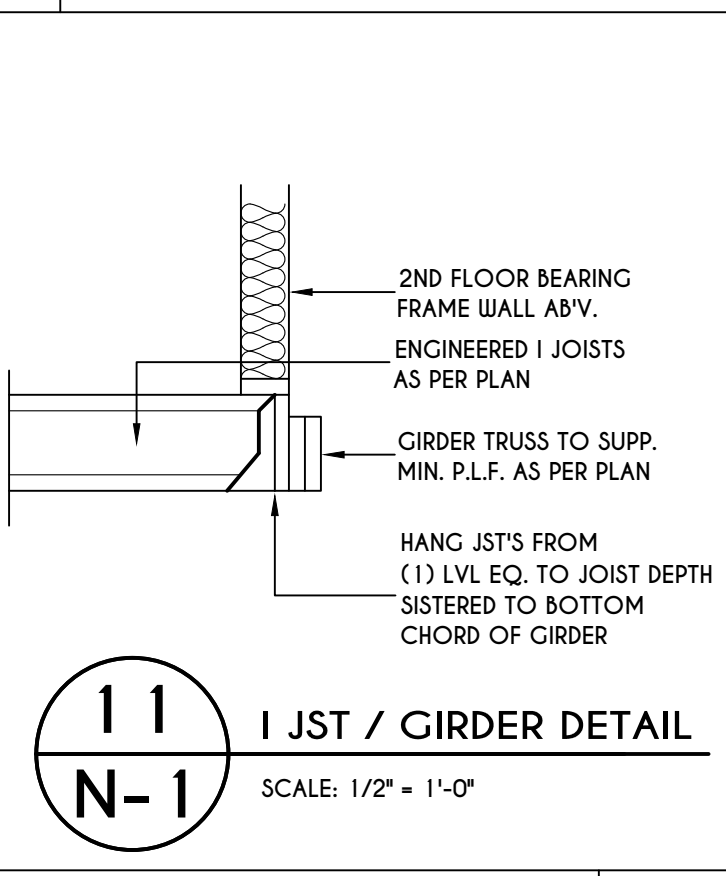
8
N-1
EXTERIOR INSULATED
3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



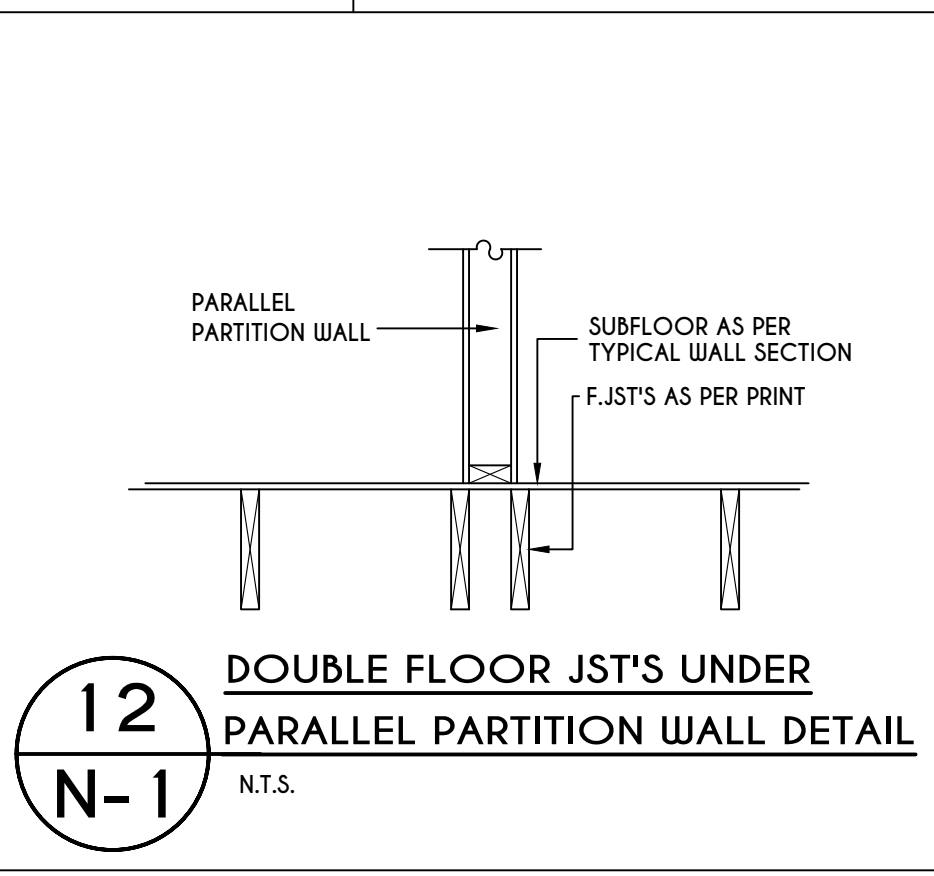
9
N-1
EXTERIOR INSULATED
2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



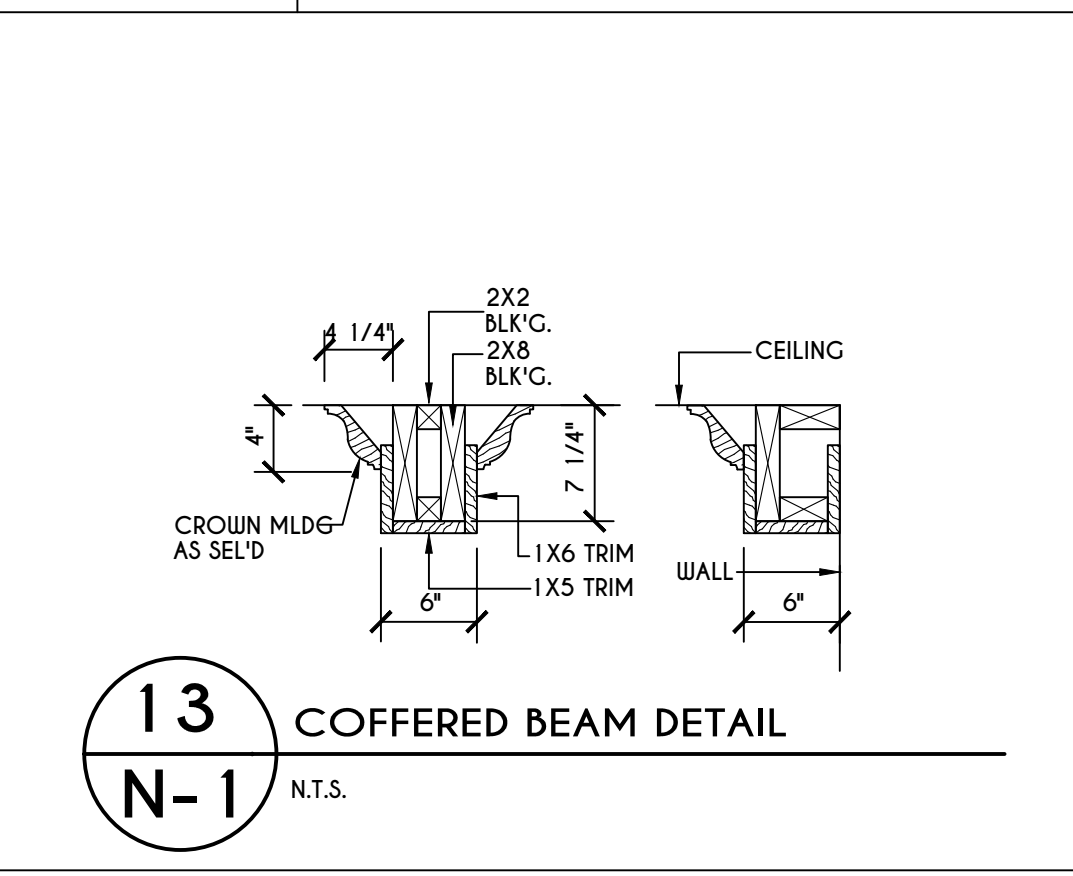
10
N-1
EXTERIOR INSULATED
2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



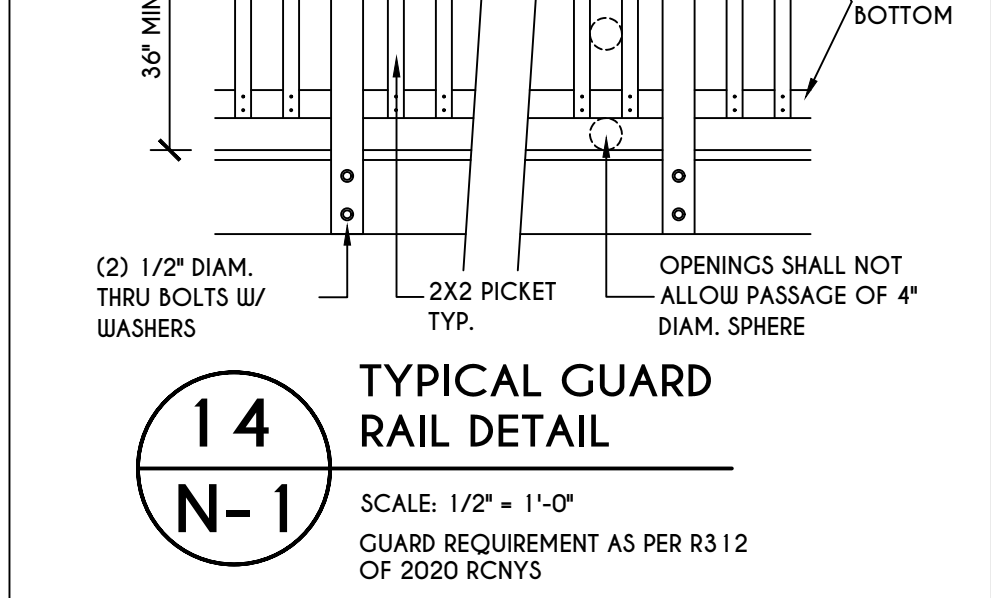
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



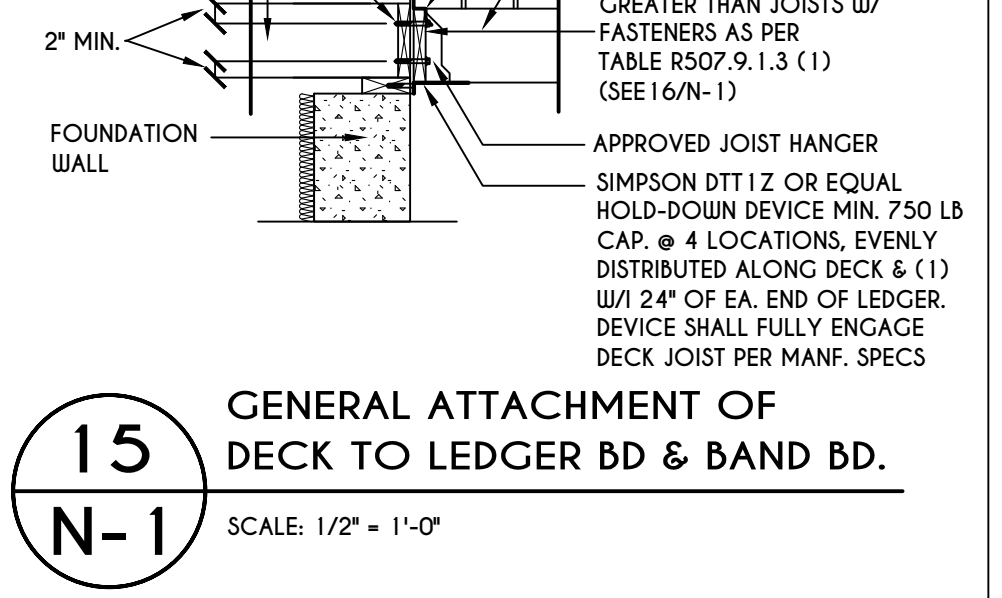
12
N-1
DOUBLE FLOOR JST'S UNDER
PARALLEL PARTITION WALL DETAIL
N.T.S.



13
N-1
COFFERED BEAM DETAIL
N.T.S.



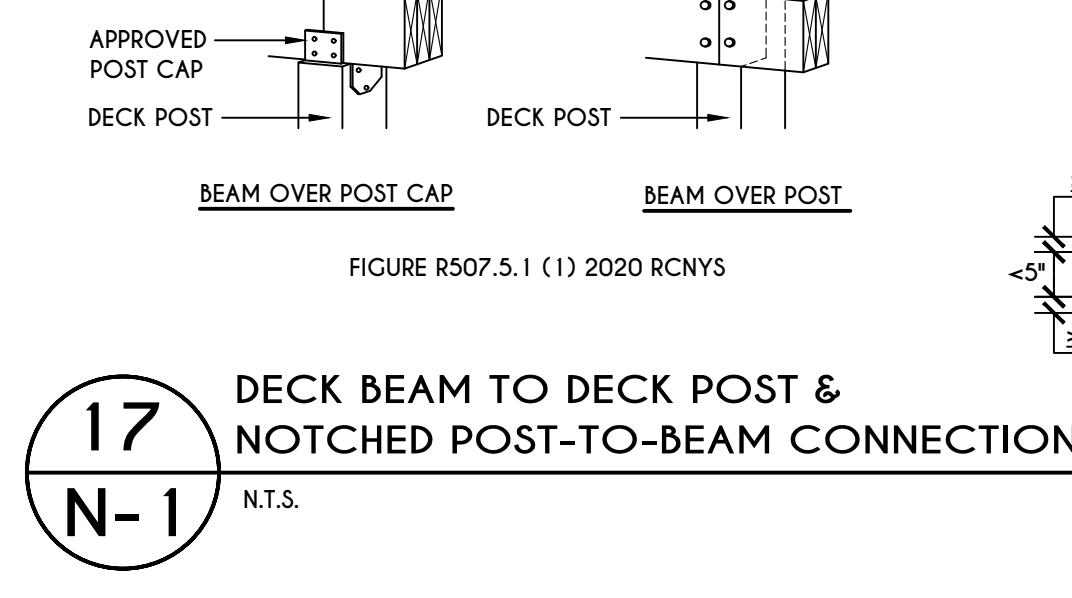
14
N-1
TYPICAL GUARD
RAIL DETAIL
SCALE: 1/2" = 1'-0"
GUARD REQUIREMENTS AS PER R3 12 OF 2020 RCNYS



15
N-1
GENERAL ATTACHMENT OF
DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"

16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

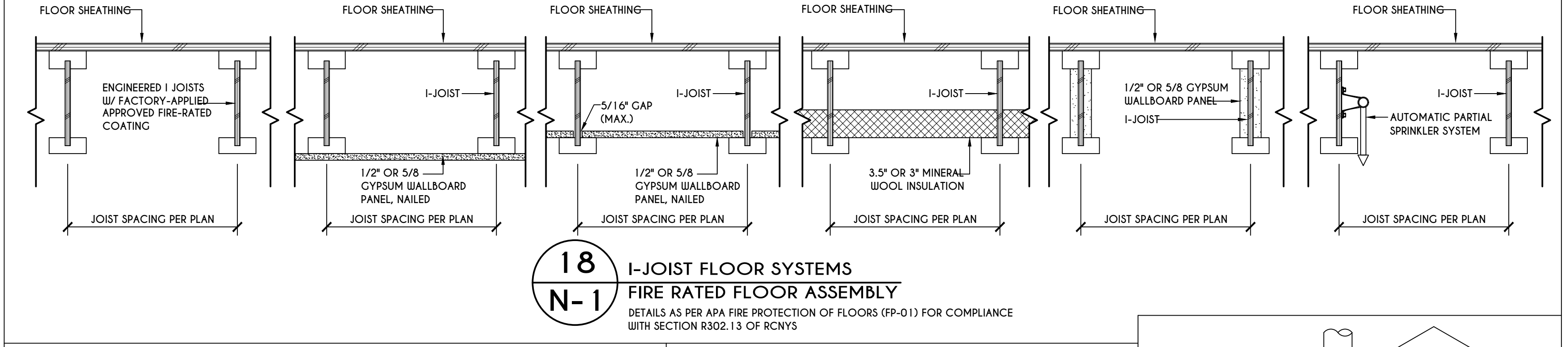


17
N-1
DECK BEAM TO DECK POST &
NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

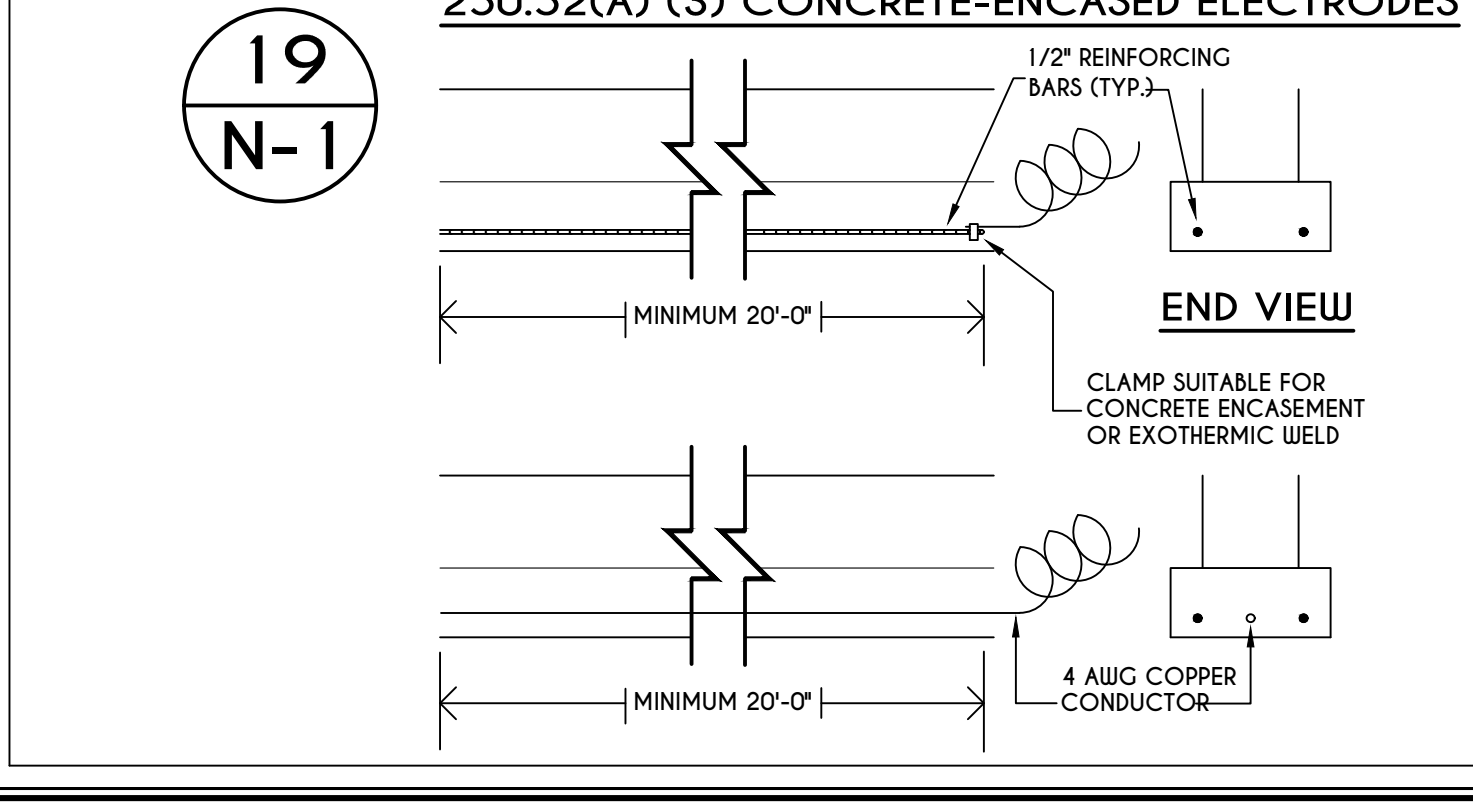
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 x 4	6'-9"
4 x 6	8'
6 x 6	14'
8 x 8	14'

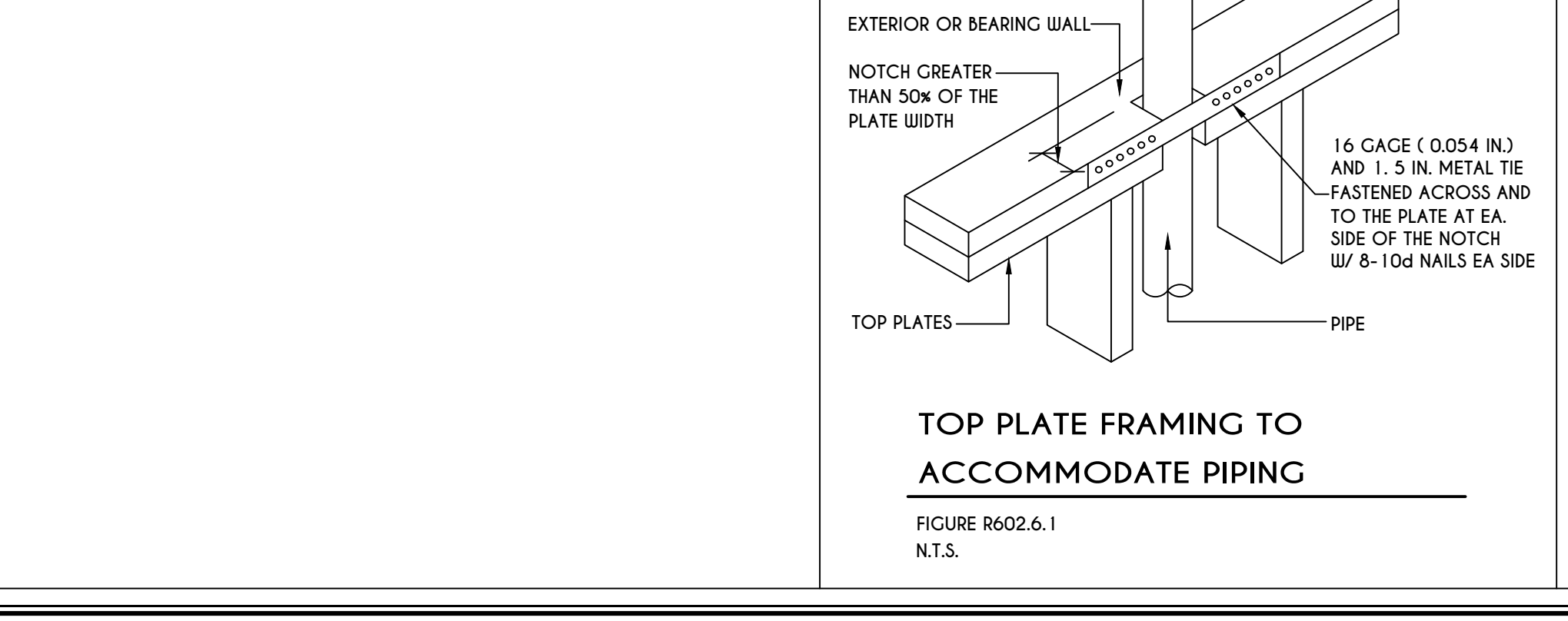
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



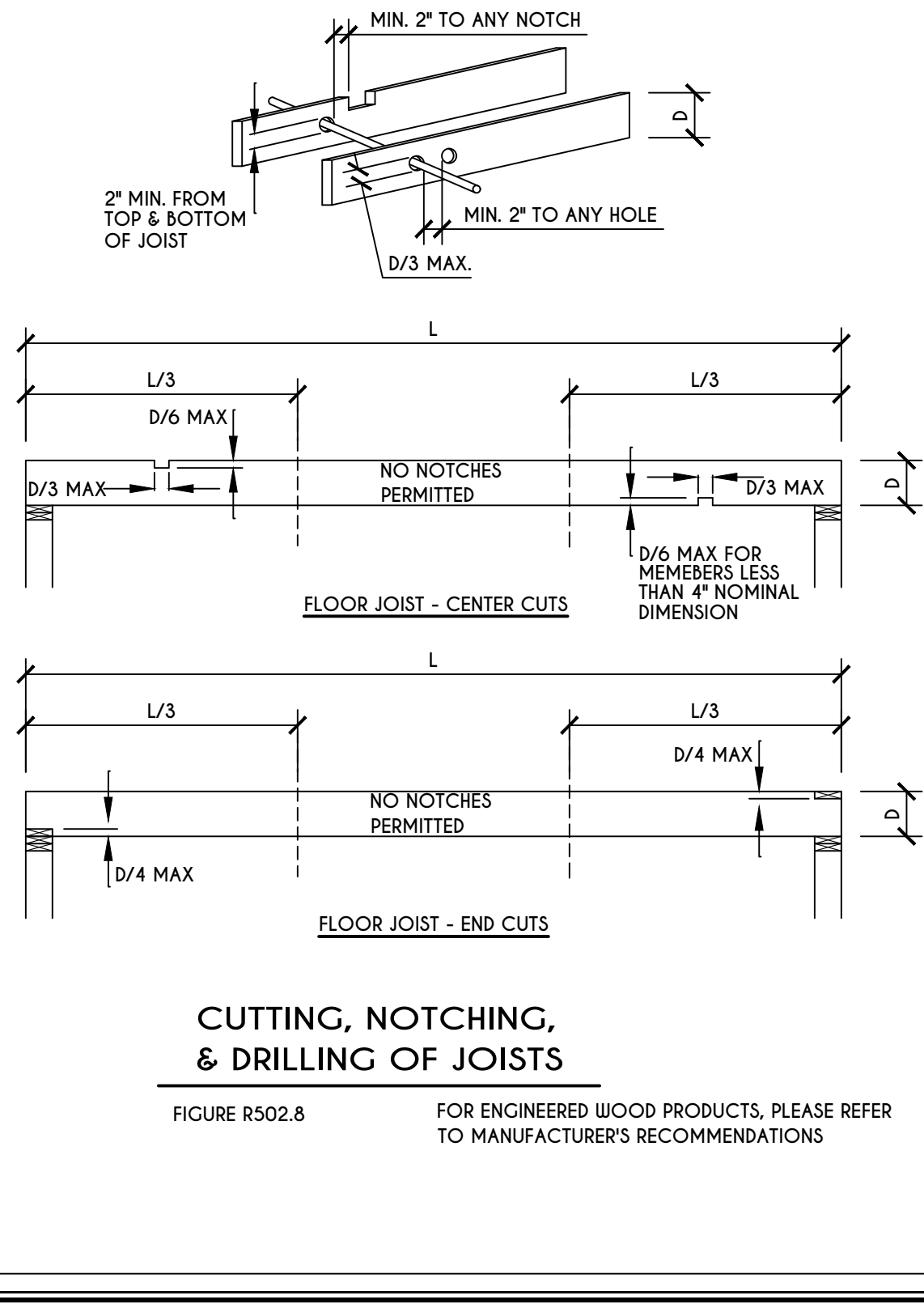
18
N-1
I-JOIST FLOOR SYSTEMS
FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



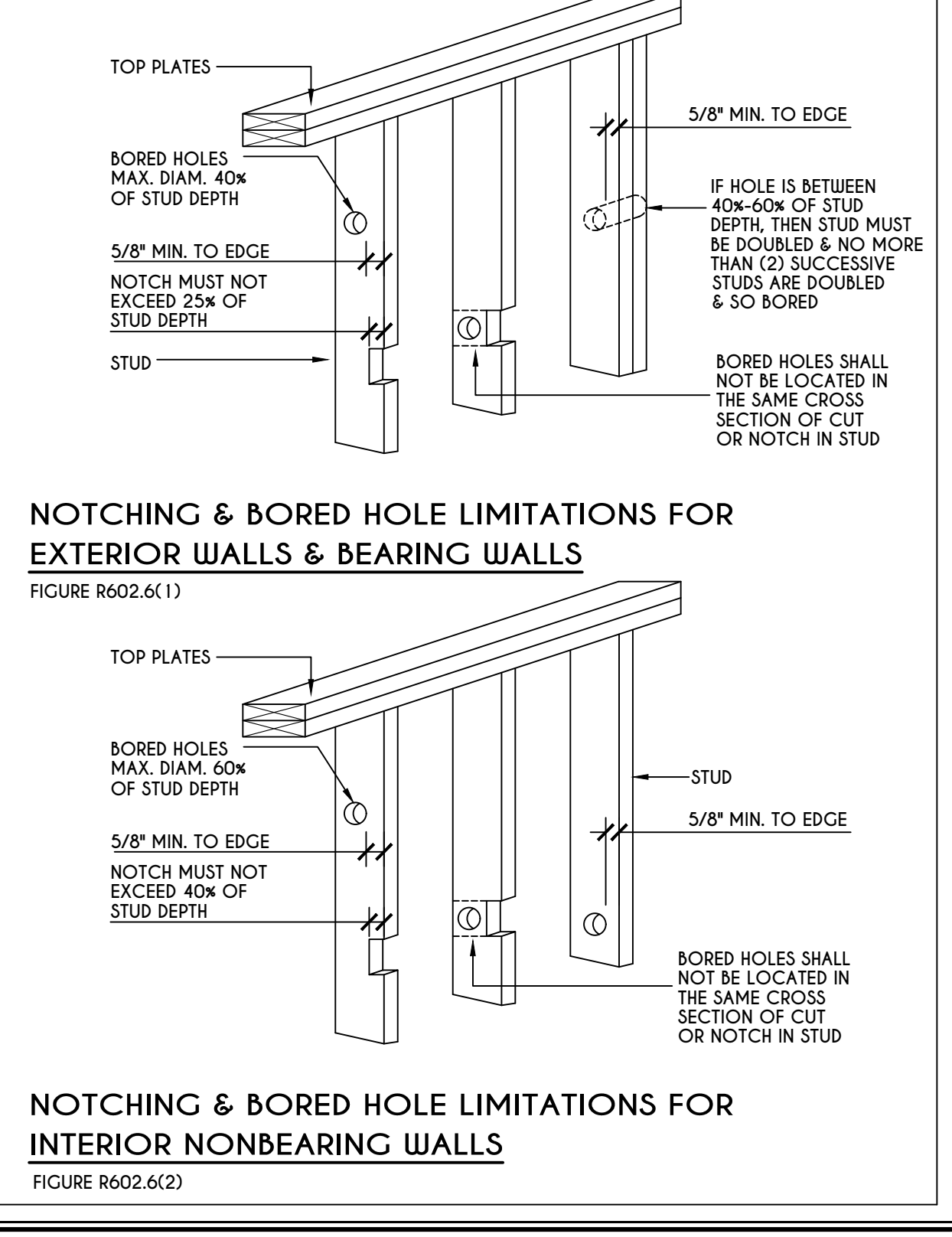
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
END VIEW
CLAMP SUITABLE FOR CONCRETE ENCASEMENT OR EXOTHERMIC WELD
4 AWG COPPER CONDUCTOR
MINIMUM 20'-0"



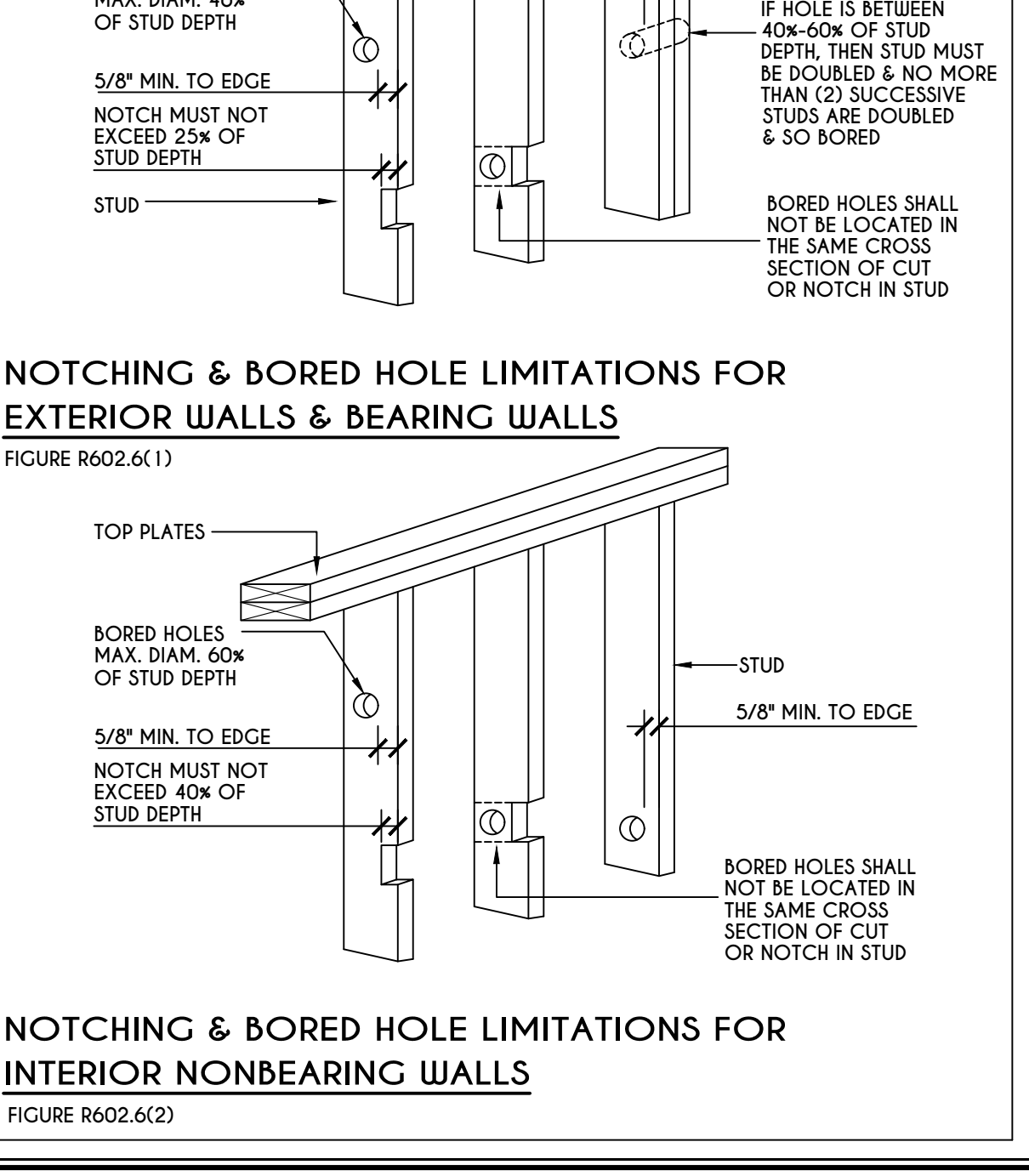
20
N-1
TOP PLATE FRAMING TO
ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.



21
N-1
CUTTING, NOTCHING,
& DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS

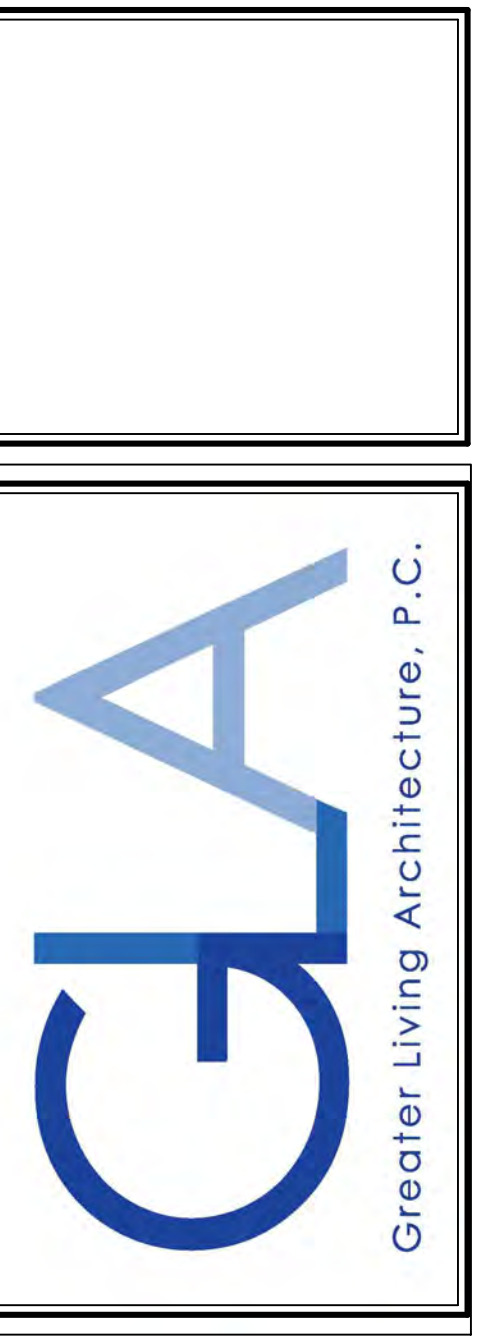


22
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR
EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)



23
N-1
NOTCHING & BORED HOLE LIMITATIONS FOR
INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

COPYRIGHT NOTICE :
THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209. COPYRIGHT © ALL RIGHTS RESERVED GREATER LIVING ARCHITECTURE, P.C.



3033 BRIGHTON-HENRIETTA
TOWNLINE RD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
LOT 4 BRIDLERIDGE FARMS
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

DETAILS
GLA PLAN 3332

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15475b	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 5$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, CP, SU, AND SP SOILS 30	GM, CS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, I AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, CP, SU, AND SP SOILS 30	GM, CS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, I AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 8.75$ INCHES ^{a, c, f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, CP, SU, AND SP SOILS 30	GM, CS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTS DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, I AND D2.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.
g. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b, c, d, e, f, h, k, n, o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, CP, SU, AND SP SOILS 30				GM, CS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	7	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	8	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	9	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
		NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
f. INTERPOLATION IS NOT PERMITTED.
g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
j. DR. MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR 1a.
l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSTALLED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRACK SPACE WALLS	EXPOSED EARTH IN UNVENTED CRACK SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRACKSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (CU & GU)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SU, SP, SM, SC, CM, & CC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

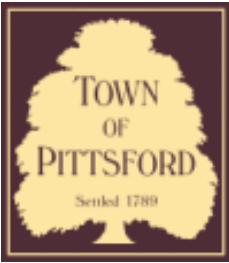


5 Bridleridge Farms



7 Bridleridge Farms





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
D23-000008

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 78 State Street PITTSFORD, NY 14534

Tax ID Number: 164.07-2-4

Zoning District: RN Residential Neighborhood

Owner: Nolan, Michael J

Applicant: Steven Goldberg

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting approval for the demolition of a 100-year-old detached garage, with the intent to build a new detached garage on the property. This property is zoned Residential Neighborhood (RN).

Meeting Date: November 09, 2023





04/03/2021

© All EagleView Technology Corporation











O'NEILL-RODAK
 LAND SURVEYING ASSOCIATES, P.C.
 LAND SURVEYORS - PLANNERS
 BOUNDARY CONSULTANTS
 FEMA ELEVATION CERTIFICATES
 ALTA/NSPS SURVEYS

5 SOUTH FITZHUGH STREET
 ROCHESTER, NY
 14614

PHONE (585) 325-7520 FAX (585) 325-1708
 e-mail surveyors@oneillrodak.com

MAP OF A SURVEY

PARCEL SITUATE IN TOWN LOT 21
 TOWNSHIP 21, RANGE 5

TOWN OF PITTSFORD

MONROE COUNTY, NEW YORK

CLIENT	MR. STEVEN GOLDBERG	
SCALE	DATE	PROJECT NO.
1" = 20'	08/15/2022	2022-1096

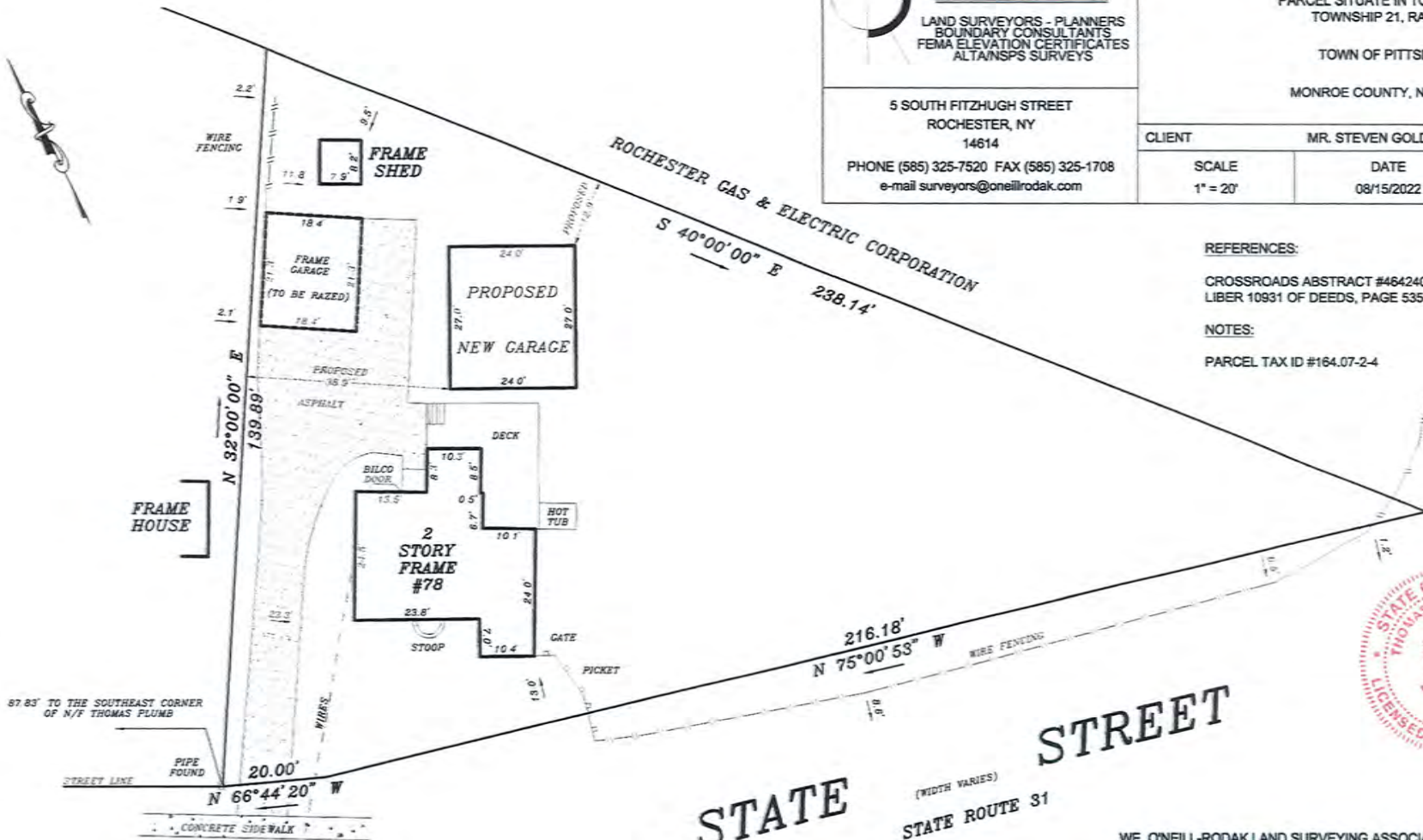
REVISED MAP 10/4/23 TAR

REFERENCES:

CROSSROADS ABSTRACT #464240 DATED JULY 19, 2022
 LIBER 10931 OF DEEDS, PAGE 535

NOTES:

PARCEL TAX ID #164.07-2-4

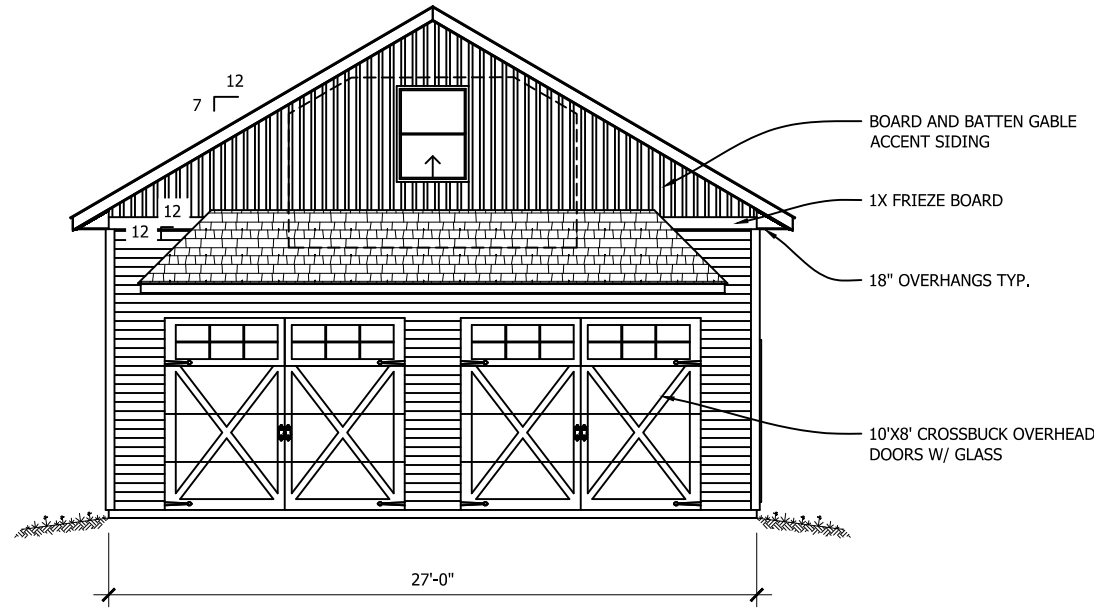


STATE STREET
 (WIDTH VARIES)
 STATE ROUTE 31

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO:
 1. STEVEN GOLDBERG & GAIL DOW-GOLDBERG
 THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY
 COMPLETED AUGUST 11, 2022.

Thomas A. Rodak
 THOMAS A. RODAK, P.L.S. #050246

"Unauthorized alteration of, or addition to, this survey map is a violation of section 7209 of the New York State Education Law"
 Copies of this survey map not bearing the land surveyor's linked or embossed seal shall not be considered to be a valid true copy.
 *Guarantees or certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his behalf to the title company,
 governmental agency and lending institution listed hereon, and to the assignees of the lending institution.
 Guarantees or certifications are not transferable to the institutions or subsequent owners"

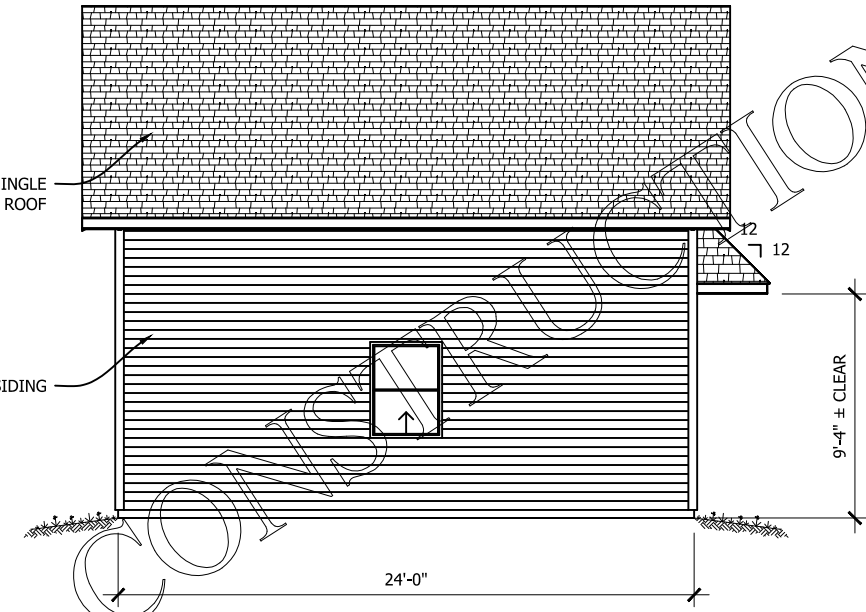


BOARD AND BATTEN GABLE
ACCENT SIDING

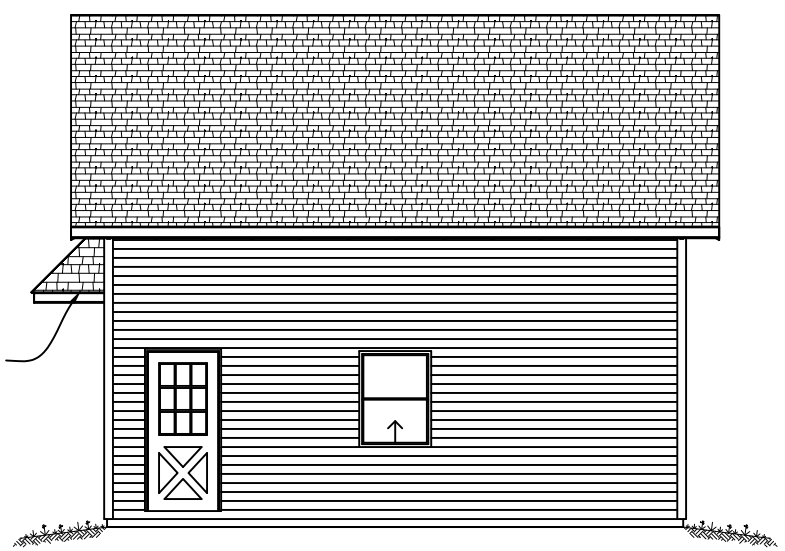
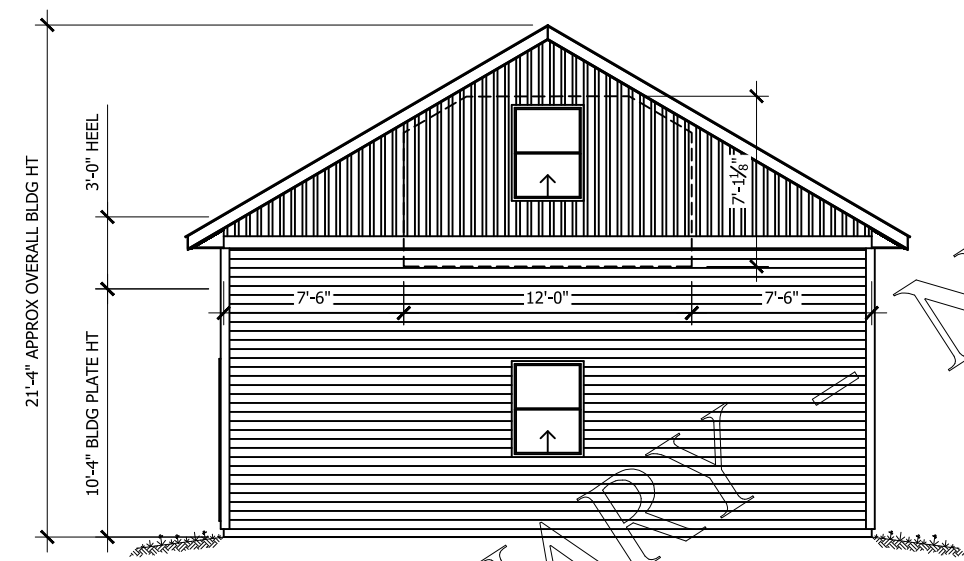
1X FRIEZE BOARD

18" OVERHANGS TYP.

10'X8' CROSSBUCK OVERHEAD
DOORS W/ GLASS



HORIZONTAL HARDIE SIDING



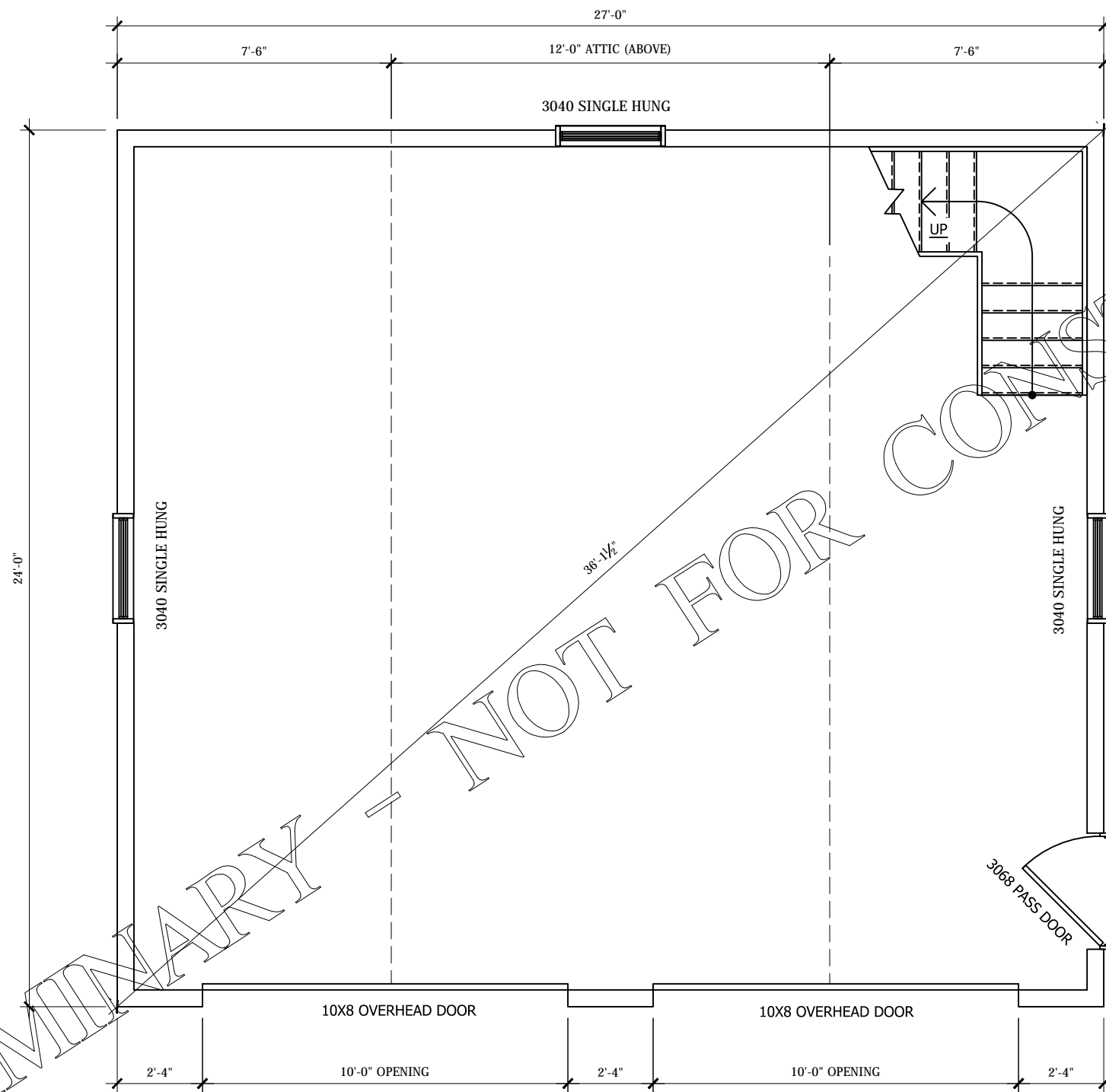
1 BUILDING ELEVATIONS
1/8" = 1'-0"

PRELIMINARY

NOT FOR

STEVEN AND GAIL GOLDBERG
78 STATE ST
PITTSFORD, NY 14534

DATE	10/27/23
DRAWN BY	PJP
SHEET No.	
COVER	



FLOOR PLAN

1/4" = 1'-0"



GARDNER

CONSTRUCTION & DEVELOPMENT, LLC

RESIDENTIAL • COMMERCIAL • AGRICULTURE

10-10-2023

MEGHAN BROOKS- ASSISTANT TO BUILDING
DEPT.
111 SOUTH MAIN STREET, PITTSFORD, NY 14534
585-248-6256

RE: STEVEN & GAIL GOLDBERG
78 STATE STREET
PITTSFORD, NY 14534
GARAGE DEMOLITION PERMIT

Hello Meghan,

I represent Gardner Construction & Development, LLC in regard to the garage structure at the residence in question. After a thorough inspection of the existing two car structure, it is deemed that due to several deficiencies with the Foundation, Structural Integrity, General Condition, and Plotted location it would serve the Owner's better to have it removed and construct a New 27'x24'x10' Two Car Garage properly located on the property in compliance with Town Set Back requirements in place. If any additional information is required contact me.

SINCERELY,
KEITH GARDNER

3878 PII GRIMPORT ROAD
LYONS, NY 14489
315-573 1474

WWW.GARDNERCONSTRUCTIONNY.COM

KEITH GARDNER
PRESIDENT
GCCKG@BQGMAIL.COM





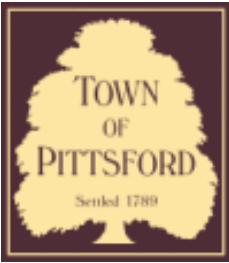












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S23-000019

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Pierrepont Visual Graphics

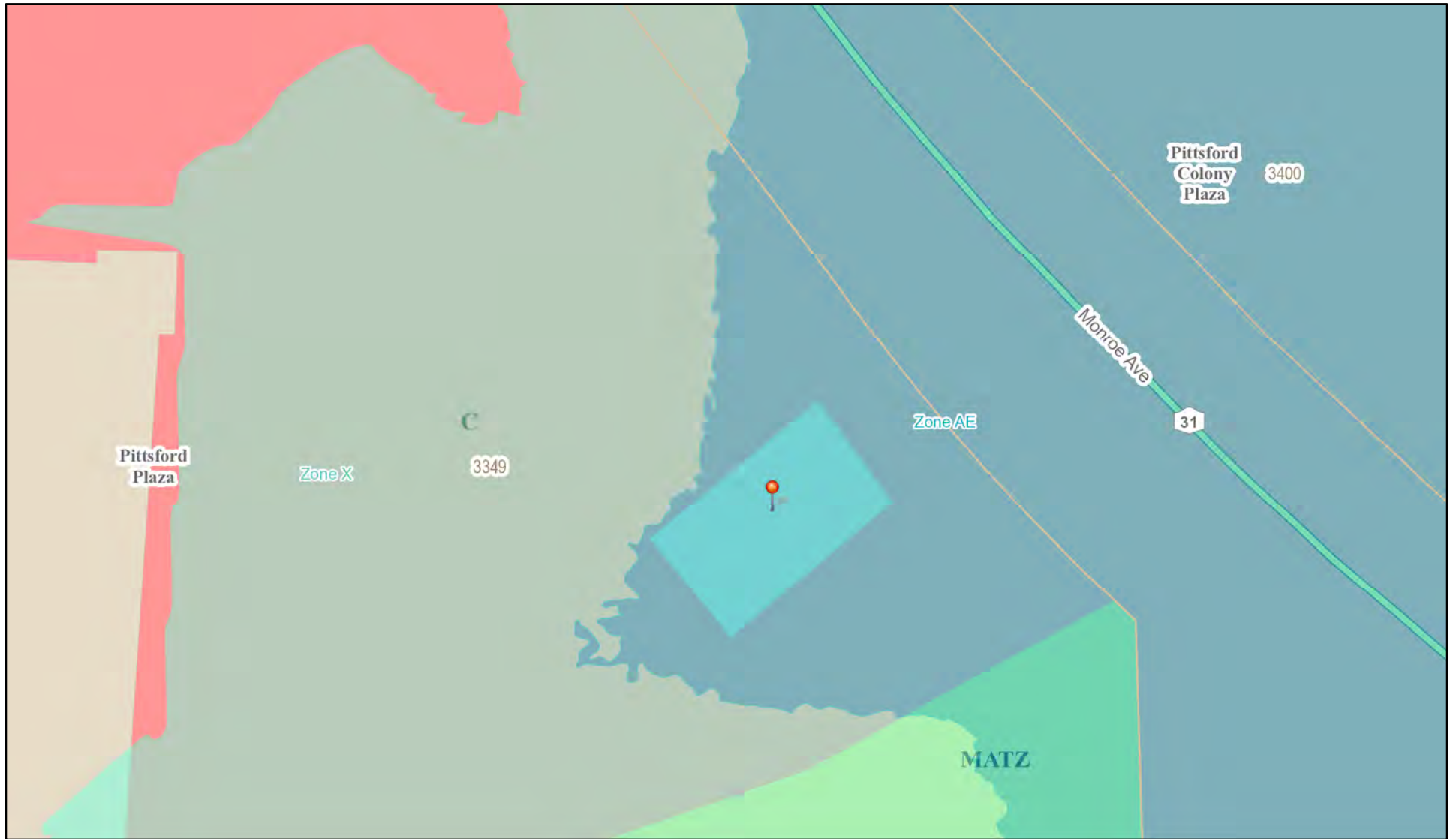
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

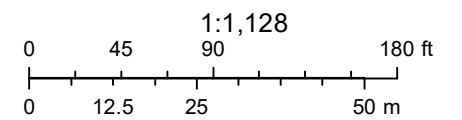
Project Description: Applicant is requesting design review for signage for Rochester Regional Health at Pittsford Plaza.

Meeting Date: November 09, 2023

RN Residential Neighborhood Zoning



Printed November 2, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Monroe Ave

3349

3400

4274

04/03/2021

© All EagleView Technology Corporation



3" deep channel letters on raceway (painted sw9101 tres naturale)

Letters- 3/16" Acrycast white plex face w/black perforated vinyl, black trim, black returns, white L.E.D.s



night view



"This is an original unpublished drawing created by **Pierrepoint Visual Graphics, Inc.** It is submitted for your personal use in connection with a project being prepared for you by **Pierrepoint Visual Graphics, Inc.** It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion."

This drawing is intended for representation purposes only. Colors represented may not exactly match colors of finished product.

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be made in writing and approved by both parties prior to production.

SIGNATURE: _____ DATE: _____



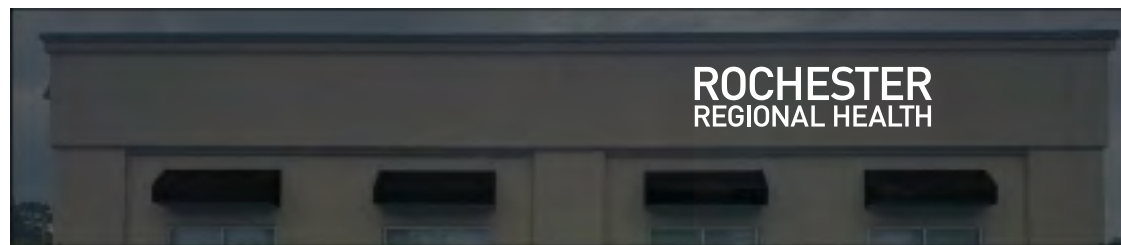


3" deep channel letters on raceway (painted sw9101 tres naturale)

Letters- 3/16" Acrycast white plex face w/black perforated vinyl, black trim, black returns, white L.E.D.s



night view



"This is an original unpublished drawing created by **Pierrepoint Visual Graphics, Inc.** It is submitted for your personal use in connection with a project being prepared for you by **Pierrepoint Visual Graphics, Inc.** It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion."

This drawing is intended for representation purposes only. Colors represented may not exactly match colors of finished product.

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be made in writing and approved by both parties prior to production.

SIGNATURE: _____ DATE: _____





3" deep channel letters on raceway (painted sw9101 tres naturale)

Letters- 3/16" Acrycast white plex face w/black perforated vinyl, black trim, black returns, white L.E.D.s



night view

"This is an original unpublished drawing created by **Pierrepoint Visual Graphics, Inc.** It is submitted for your personal use in connection with a project being prepared for you by **Pierrepoint Visual Graphics, Inc.** It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion."

This drawing is intended for representation purposes only. Colors represented may not exactly match colors of finished product.

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be made in writing and approved by both parties prior to production.

SIGNATURE: _____ DATE: _____





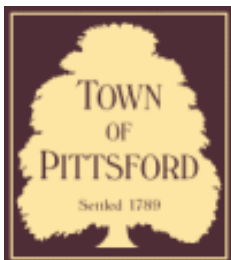
"This is an original unpublished drawing created by **Pierrepoint Visual Graphics, Inc.** It is submitted for your personal use in connection with a project being prepared for you by **Pierrepoint Visual Graphics, Inc.** It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion."

This drawing is intended for representation purposes only. Colors represented may not exactly match colors of finished product.

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be made in writing and approved by both parties prior to production.

SIGNATURE: _____ DATE: _____





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C23-000050

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 961 Panorama Trail S S ROCHESTER, NY 14625

Tax ID Number: 139.13-1-1.4

Zoning District: C-2 Commercial

Owner: Panorama Landing LLC

Applicant: Panorama Landing LLC

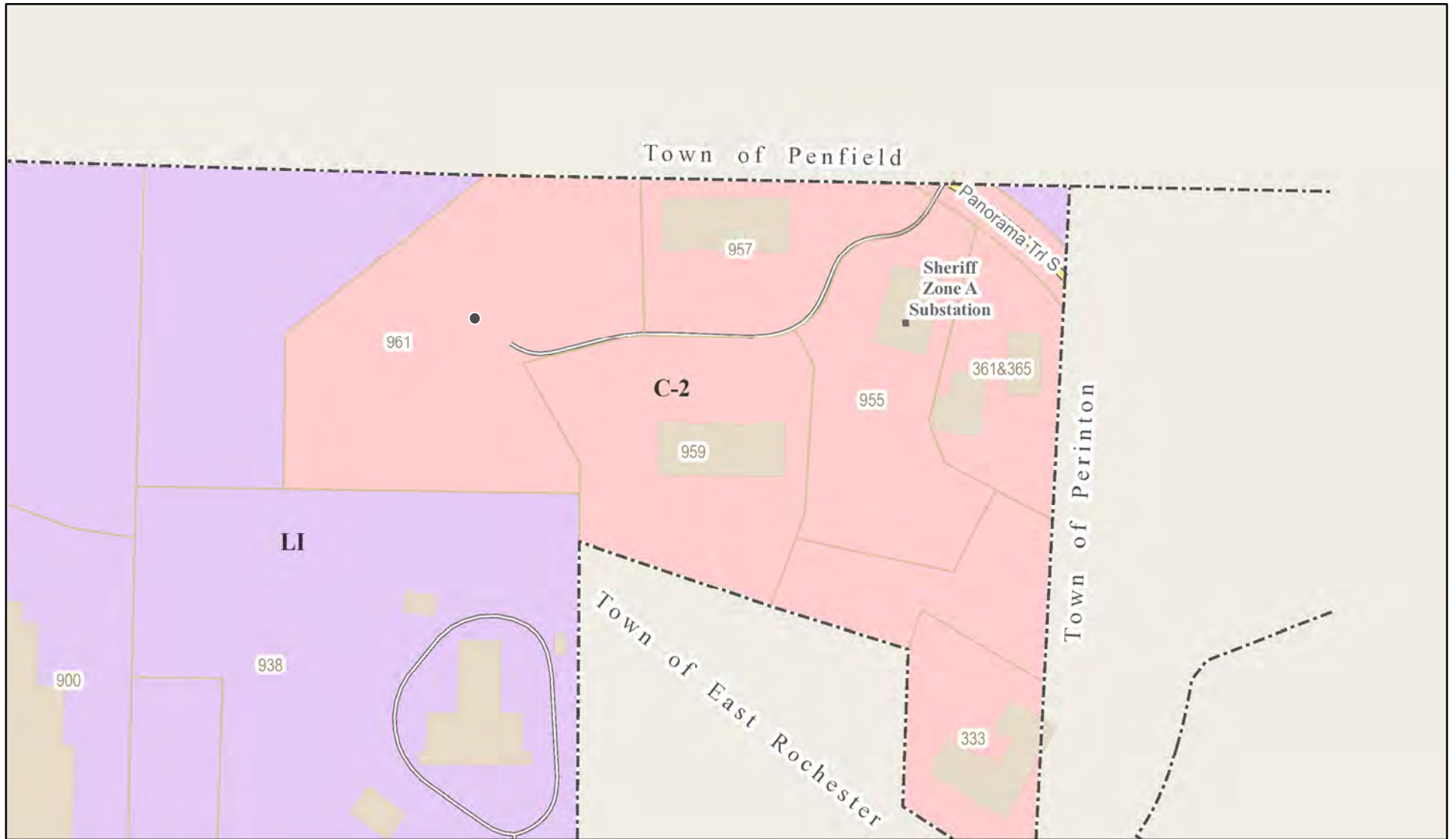
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

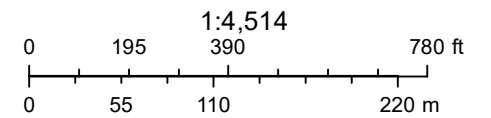
Project Description: Applicant is requesting design review for a new, 24,000 square foot commercial building in Panorama Landing (shell only).

Meeting Date: November 09, 2023

RN Residential Neighborhood Zoning



Printed November 2, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.







100
FITZSIMMONS,
NUNN & PLUKAS, LLP
ATTORNEYS
Mark R. Plukas
John R. Fitzsimmons
Joseph C. Nunn
Joseph R. Plukas
David M. Cooper
Richard J. Cooper

Fitzsimmons,
Nunn &
Plukas, LLP
Attorneys At Law

130
Novanta
Novanta

Novanta

110

120

130

140

150

160

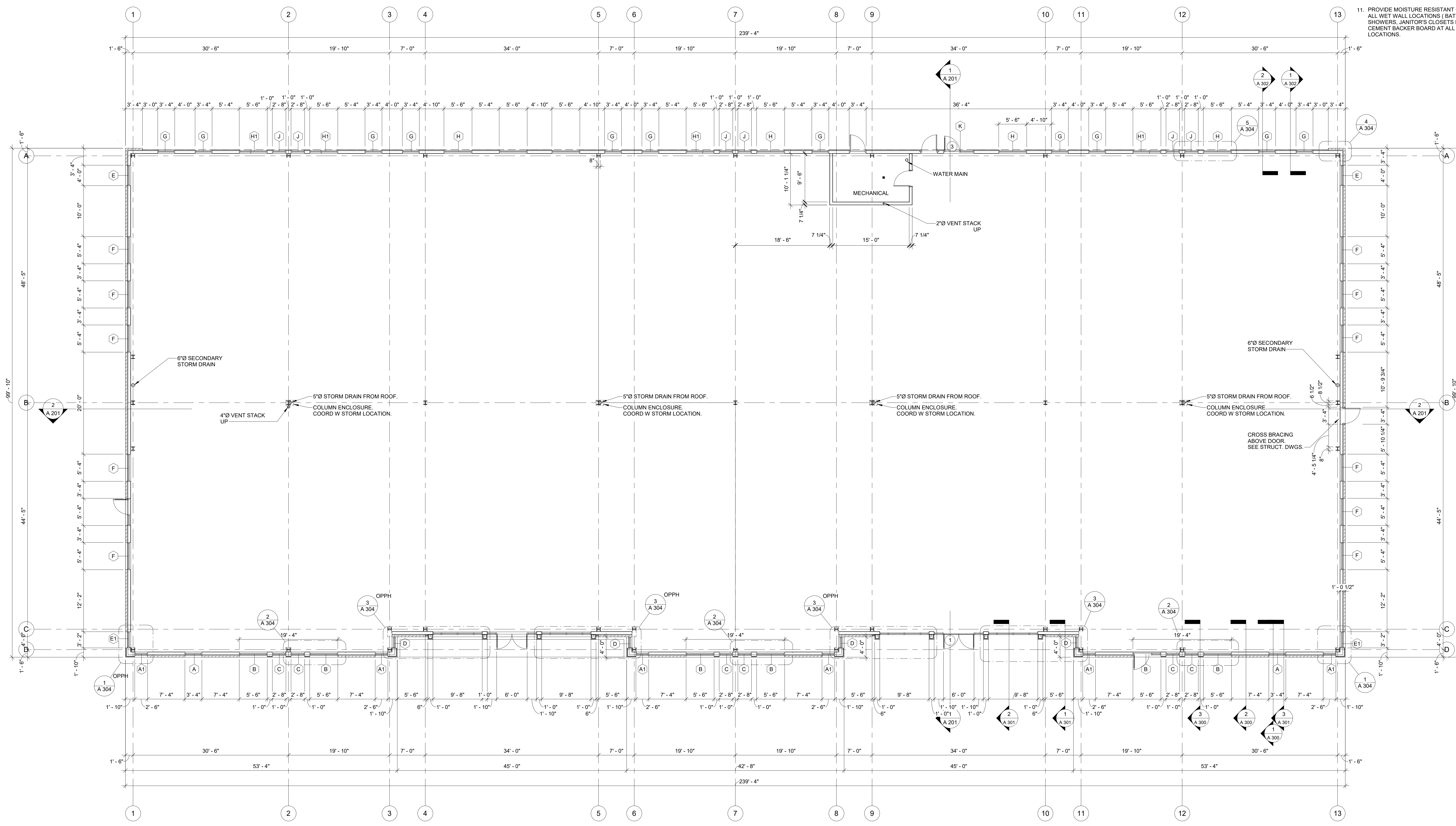
170

180



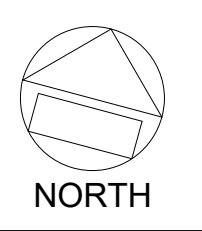


- FLOOR PLAN GENERAL NOTES:**
1. ALL DIMENSIONS ARE NOMINAL, TO FACE OF WALL.
 2. ALL INTERIOR PARTITIONS ARE TYPE 1A, UNLESS OTHERWISE NOTED.
 3. FINISHED FLOOR REFERENCE DATUM IS 0'-0" REFERENCE SITE/ CIVIL DRAWING FOR ACTUAL FLOOR ELEVATION AS RELATED TO SITE GRADING.
 4. REFER TO SITE DRAWINGS FOR CONFIGURATION AND CONSTRUCTION OF ALL SIDEWALKS AND DRIVE ASBLE LANES LEADING UP TO BUILDING.
 5. AT ALL CERAMIC FLOOR TILE LOCATIONS PROVIDE AN ANTI-FRACTURE MEMBRANE.
 6. ALL COLUMNS/ VERT. ROOF LEADERS TO BE WRAPPED W/ (1) LAYER 1/2" GYP BOARD & METAL STUD FRAMING TIGHT AS POSSIBLE, UNLESS OTHERWISE NOTED. COORDINATE WITH MEIP DRAWINGS AND CONTRACTOR FOR CLEAR DIMENSIONS REQUIRED WHEN CONDUITS/ PIPES AND CONNECTION ARE AT COLUMN LOCATIONS.
 7. PROVIDE 1/2" ASPHALT IMPREGNATED BOND BREAKER AT ALL EXTERIOR LOCATIONS WHERE CONCRETE SLAB ABUTS AN EXTERIOR WALL.
 8. ALL INTERIOR SWINGING DOORS TO BE SET 4" OFF WALL ON HINGED SIDE OF DOOR UNLESS OTHERWISE NOTED.
 9. ALL INTERIOR CASEWORK/ MILLWORK TO BE PROVIDED BY TENANT UNLESS OTHERWISE NOTED.
 10. ALL APPLIANCES TO BE PROVIDED BY TENANT.
 11. PROVIDE MOISTURE RESISTANT GYP BOARD AT ALL WET WALL LOCATIONS (BATHROOMS, SHOWERS, JANITOR'S CLOSETS ETC.). PROVIDE CEMENT BACKER BOARD AT ALL WALL TILE LOCATIONS.

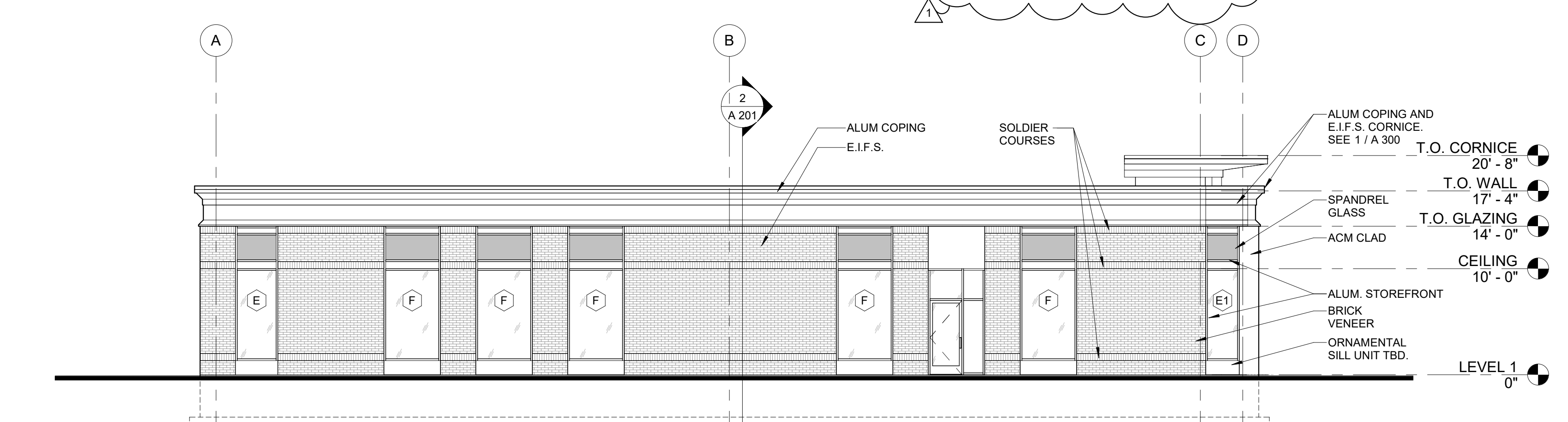
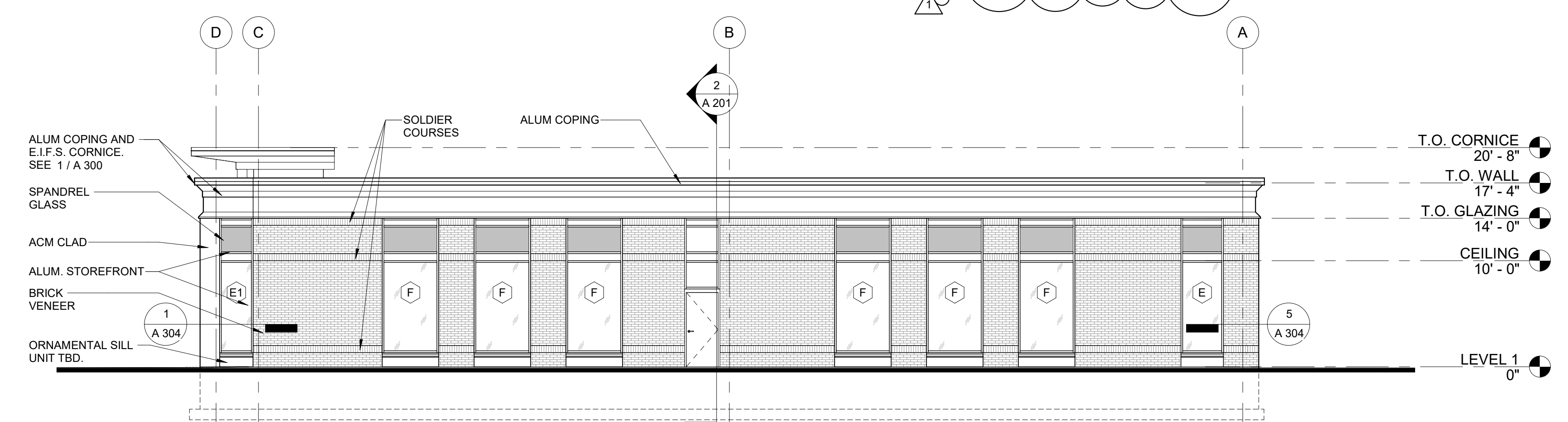
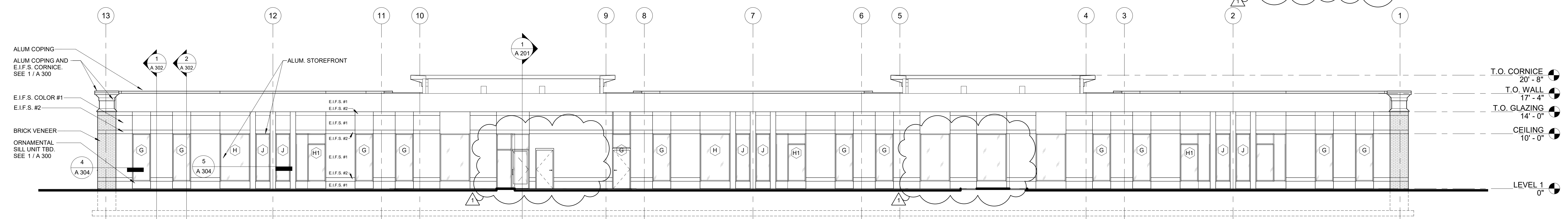
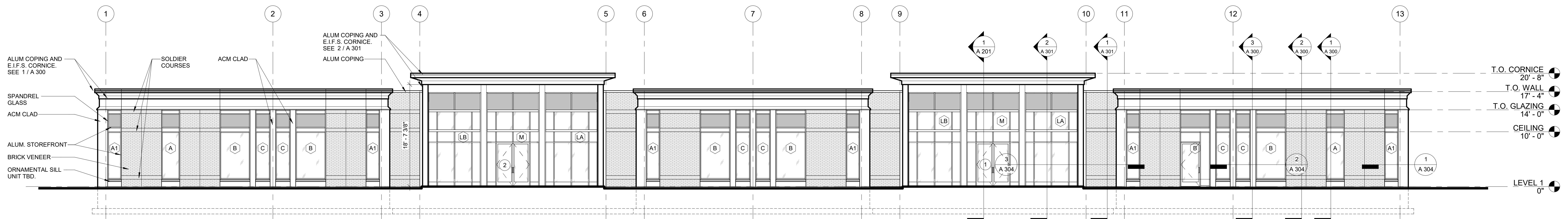


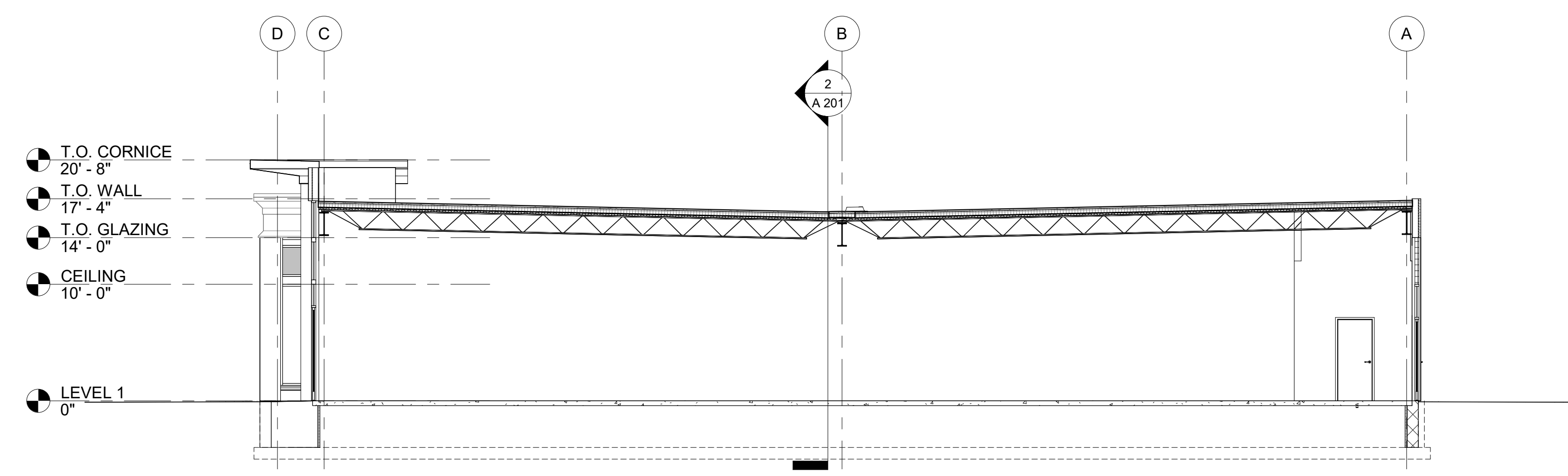
1

FLOOR PLAN
 SCALE: 1/8" = 1'-0"

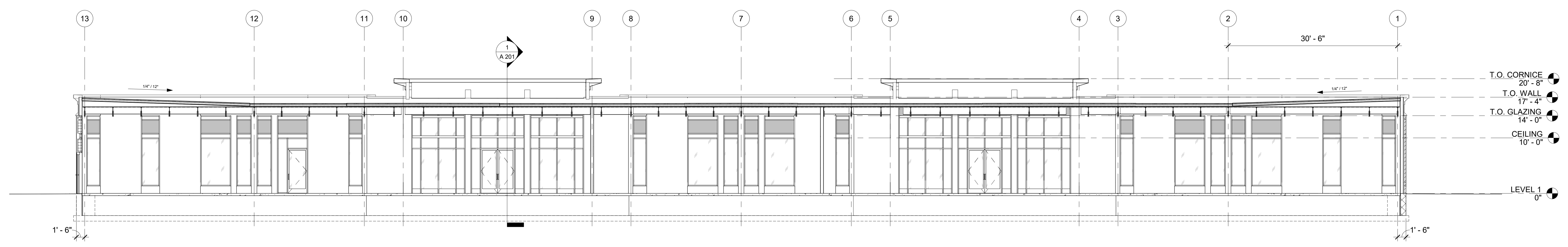


REVISION:	
DATE:	9-20-23
FLOOR PLAN	
DRAWING TITLE:	A 101
SHEET NO.:	
PROJECT NO.:	23-154

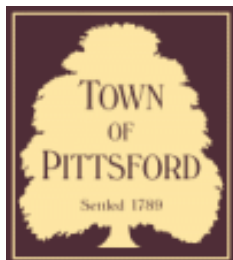




1 BUILDING SECTION 1
 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION 2
 SCALE: 1/8" = 1'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
D23-000007

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 105 Ellingwood Drive ROCHESTER, NY 14618

Tax ID Number: 138.18-1-55

Zoning District: RN Residential Neighborhood

Owner: Finger, David B Jr.

Applicant: Loyal Nine Development

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

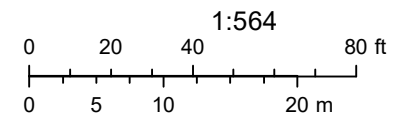
Project Description: Applicant is requesting approval to demolish the existing 1,729+/- square foot home, with exception of the garage, and rebuild a new 3,650+/- square foot home on the property. This property is zoned Residential Neighborhood (RN).

Meeting Date: November 09, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



East Elevation 1



East Elevation 2



North Elevation



West Elevation



September 24, 2023

To Whom It May Concern:

Our names are Dave and Julie Finger, and we reside at 105 Ellingwood Drive. We moved to the neighborhood in 2014 and fell in love with it right away. Since moving in, we have completed many improvements to the property, including a rather large project of turning the detached, one-car garage into a new attached, four-car garage, which you previously reviewed and approved. While choosing the look and style of the garage, we took special care in keeping with the look and style of the house while also making sure we kept with the feel of the neighborhood. We believe we succeeded in doing this, as we have received many compliments from neighbors and strangers alike.

Built in 1947 by a father and son as a basic Sears Kit home, our small cape has been an amazing little home to start our family. We have tried our best to make the house meet our needs, but as our family has grown, we've completely run out of space. The house is small and cramped, and we desperately need more space and an open floor plan. Initially, we thought our only option would be to relocate to another house. Our daughter is a 2nd grader at Allen Creek Elementary, so the thought of relocation is not ideal. Also, as mentioned earlier, we love our neighborhood, location, and proximity to things and our property. Therefore, after careful consideration, we decided to pursue a partial teardown and addition. We plan to keep our beautiful new garage and build a larger craftsman-style home with similar character, hardy board siding, and finishes as the current home and new garage.

We realize that this is no small undertaking. Because of this, we have hired the same architect who designed our new garage and the same contractor who built it, so they are very familiar with the style we are trying to achieve and have a history of working with the town. We have ensured that the plans adhere to the town's guidelines regarding zoning, setbacks, height, footprint, and lot coverage. The plans do not include any variances. The proposed addition is a very reasonable size in comparison to neighboring houses. The style of the house is one that can be seen throughout the neighborhood, with styling identical to many of the new builds or renovations on neighboring streets.

We are very excited about the prospect of our new house. We have put a lot of thought, time, and money into ensuring the integrity of style of the current house and those in the neighborhood. We hope this land and updated house can continue to be our home for years to come. We appreciate your time and consideration and look forward to your response.

If you have any questions or concerns, please feel free to reach out.

Dave & Julie Finger

dave@breakfreegraphics.com

585-709-1245

October 2, 2023

Mr. David Finger
105 Ellingwood Drive
Rochester, NY 14618

email: dave@breakfreegraphics.com
phone: 585.709.1245 **cell**

**RE: DESIGN CONSIDERATIONS FOR THE HOUSE ADDITION PLANNED @
105 ELLINGWOOD DRIVE, ROCHESTER, NY. 14618**

Dear David:

Please find this letter as an understanding around the Design Considerations utilized as part of the house addition layout and massing. As part of the new layout, my focus was to provide recommendations for appropriately connecting into the existing recently constructed garage while safely allowing being the removal of the older existing portion of the house being replaced. Connection into the existing higher garage foundation/footing system needed to allow that to occur while planning for a newer lower basement level under the planned portion of the new house design. Also, it was important to stay with-in the confines of the adopted in place zoning code bulk requirements for the property. The below list describes those:

1. Context around the character is that the house fits with-in the surrounding neighborhood and compliments the adjacent houses. The scale and mass of the proposed house addition is with-in the masses of the neighboring houses and the detailing fits the vernacular of what you would expect. The house doesn't scream "look at me" but is an enhancement to the street context and shouldn't be considered out of place or an odd design.
2. The bulk requirements and set-backs established for this zoning district **RN – Residential Neighborhood** are **ALL** meant based on the Town Zoning Code. See attached required and proposed distances.
3. The new proposed house addition is planned to be roughly 4'-6" further back off from the front property line than the current existing house was.
4. See planned exterior elevations furthered developed, showing material call outs and hatching. Also colored elevations are provided with actual colors on the drawings called as well for you.
5. Bulk Requirements Chart Below:

BULK REQUIREMENTS:

105 ELLINGWOOD DRIVE
TOWN OF PITTSFORD, NY 14618
EXISTING SITE WIDTH IS **120'**.

1. EXISTING ZONING: **RN - RESIDENTIAL NEIGHBORHOOD**

2. BUILDING HEIGHT:

	<u>ALLOWABLE:</u>	<u>PROVIDED:</u>
2.1. PRIMARY MAXIMUM	30'	29'-11"

3. LOT REQUIREMENTS (ALSO PERTAINS TO ACCESSORY STRUCTURES).
THIS PROJECT IS A PARTIAL DEMOLITION AND NEW HOUSE ADDITION.

	<u>REQUIRED:</u>	<u>PROVIDED:</u>
3.1. ACTUAL LOT AREA:	18,000 SF	18,000 SF
3.2. ACTUAL LOT WIDTH:	120'	120'
3.3. MIN. FRONT SETBACK:	additions not permitted past bldg. line	48'-10"
3.4. MIN. ONE SIDE SETBACK:	10' (one side)	25'-1" NORTH & 5'-1" SOUTH
3.4. MIN. BOTH SIDE SETBACK:	25' (two sides)	30'-2"
3.5. REAR BUFFER:	20' (no structures)	44'-1" from addition to lot line
3.6. MAX BLDG. FOOTPRINT	3,675SF + 5% OVER 17,500SF 3,700SF ALLOWED	3,542 SF with addition 3,684 SF with front patio/porch
3.7. MAX. LOT COVERAGE	40% or 7,200 SF	5,442 SF approximately w/patio/porch/shed/drive/walk

If you should have any questions, please do not hesitate to contact me.

Very truly yours,



Daniel A. Pieters, Architect, AIA,
NYS License No.: **032927**

APPLICATION FOR PERMIT NO. 34

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD,
VILLAGE OF PITTSFORD, N. Y.

Fee Paid \$ 30 00

GENTLEMEN:

The undersigned respectfully petition for a per-

mit to (alter) a wooden frame building on lot number 170 + N 1/2 17 house number 105
on the west side of Elmwood Dr Street, in the Entire Estate tract of
Town of Pittsford, N. Y. This lot is 90 feet wide in the front and 20 feet wide in
the rear and 150 feet deep, and is classified as follows:

ZONE residential CLASS A

Below is sketch showing lot lines in relation to existing highways and direction of north.

The main building of 1 1/2 stories is to be erected, of the following dimensions: 37 feet wide
and 40 feet deep and has a wing on the - side which is - feet wide and -
feet deep, the whole occupying a total area of 1150 square feet. The building is to be set back 59 45
feet from the front lot line; 26 feet from the south side lot line and 27 feet from the west side
lot line. It is to be used as a residence and erected at an estimated cost of 15000 dollars.

A separate garage is to be erected of the following dimensions: 12 feet wide and 22
feet deep, located 10 feet from the south side lot line; 40 feet from the rear lot line and 4
feet from the main building, with a capacity of 1 cars at a cost of 1500 dollars.

As part of this application there is attached hereto the plans of said buildings. All work is to be done
in accordance with this application and plans, and no material change therein or in any part of said buildings
shall be made without the written consent of the Town Board through its authorized agent.

The undersigned represents that said buildings will be constructed and used in accordance with all
ordinances of the Town of Pittsford and statutes of the State of New York, and that the plans annexed hereto are
the plans relating to the buildings described herein and no other, and, that this property is owned by the under-
signed.

Yours respectfully,

Howard J. Squires
Owner.
69 Elmwood Dr, Rochester
Address.

STATE OF NEW YORK, } ss:
County of Monroe,

Howard J. Squires, being duly sworn, deposes and

says that he is the owner of the above described premises; that no other person except
have any ownership interest in said property; that he has read the foregoing application for a permit and knows
the contents thereof; that the same is true to his own knowledge. That if said application is approved he will
comply with all the terms and conditions respecting the issuance of said permit and that said buildings will be
erected in accordance with the plans attached to this application; that it will cost not less than the amount set
forth herein and that he will comply with all ordinances of the Town of Pittsford and all the statutes of the State
of New York, in connection with the construction, erection, alterations or use of said buildings.

Howard J. Squires

SWORN to before me, this
day of JUN 14 1947 19

L. P. Curtis
Notary Public, Commissioner of Deeds.

OK. WRCrofts
June 21 1947

N



SKETCH

REPORT OF PLANNING BOARD

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD:

The Planning Board of the Town of Pittsford, Monroe County, N. Y., to which was referred the application of.....to (erect) buildings together with the proper fees and (alter) plans therefor, does hereby (approve) said application and recommends that a permit be granted therefor upon (disapprove) the following terms and conditions:—

1. That the Town Board, its agents and employees, may at any time enter upon said premises and inspect said buildings to determine whether the same are being erected or have been erected in accordance with the plans submitted with said application for a permit.
2. That the Town Board may at any time upon notice, revoke said permit for failure to execute the plans.
3. That the said buildings shall be set back and built upon the building line established by the Town Board for the district where such property is located and where such building is to be erected or altered.
4. That the buildings mentioned in said application and plans shall be erected in accordance therewith and shall be used for no other purposes than those specified in said application and plans.
5. That any garage erected upon the premises shall be used solely for private garage purposes and shall not at any time be used for a residence or any other purpose upon said lot.
6. Reasons for disapproval are as follows:

PITTSFORD PLANNING BOARD,

By.....
Secretary.

PERMIT NO. 34

Permission is hereby granted to.....
~~denied~~

A. J. Squires....., owner to Erach..... the structures described in the application herein referred to and no other upon the terms and conditions set forth in the recommendation of the Planning Board of the Town of Pittsford, N. Y., and the Zoning Ordinance.

JUL - 5 1947

J. J. Curtiss.....
Town Clerk.

FINGER

NEW RESIDENCE ADDITION BUILDING

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
 NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

SCALE AS NOTED

SHEET TITLE

TITLE SHEET

PROJECT NUMBER

T1

DRAWING NUMBER

105 ELLINGWOOD DRIVE
 ROCHESTER, NEW YORK 14618

DRAWING LIST:

- T1 TITLE SHEET AND SYMBOLS
- S1 SITE PLAN, BULK REQUIREMENTS AND SPECIFICATIONS
- D1 DETAILS
- A0 FOUNDATION PLAN & DETAILS
- A1 FIRST FLOOR PLAN
- A2 SECOND FLOOR PLAN
- A3 ROOF PLAN
- A4 EAST & NORTH EXTERIOR ELEVATIONS
- A5 SOUTH & WEST EXTERIOR ELEVATIONS
- A6 COLORED EAST & NORTH EXTERIOR ELEVATIONS
- A7 COLORED SOUTH & WEST EXTERIOR ELEVATIONS
- A8 EXTERIOR RENDERINGS

ARCHITECT CERTIFICATION:

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE STATE ENERGY CONSTRUCTION CODE.

LIST OF ABBREVIATIONS

ACFF ABOVE FINISHED FLOOR	CM CONSTRUCTION MANAGER	ENTR ENTRANCE	HORZ HORIZONTAL	MEZZ MEZZANINE	QTB QUARRY TILE BASE	T&G TONGUE & GROOVE
AP ACCESS PANEL	CW COLD WATER	EQ EQUIP	HW HOT WATER	MM MILLIMETER	REC RECEPTACLE	T&B TOP & BOTTOM
ACOUS ACoustICAL	CMF COLD FORMED MET FRAMING	EST ESTIMATE(D)	HR HOUR	MIN MINIMUM	REF REFERENCE	TOEA TOP OF EDGE ANGLE
ADJ ADJACENT	CMU CONCRETE MASONRY UNIT	EXST EXHAUST	HR INCANDESCENT	MISC MISCELLANEOUS	REFR REFRIGERATOR	TOS TOP OF SLAB/STEEL
ACT ACoustICAL CEILING TILE	COL COLUMN	EXST EXISTING	IN INCH	MR MOISTURE RESISTANT	REFR REFER TO	TOW TOP OF WALL
AMP ACoustICAL WALL PANEL	CONC CONCRETE	EXP EXPANSION	IN INCH	MTD MOUNTED	RE REINFORCED(ING)	TREAD TREAD
A/C AIR CONDITIONING	COND CONDUCTOR	EXP JT EXPANSION JOINT	INCL INCLUDING	NA NOT APPLICABLE	REQ REQ(ED)	TR TRENCH DRAIN
ALT ALTERNATE	CONN CONNECTION	ETR EXISTING TO REMAIN	ID INSIDE DIAMETER	NAT NATURAL	REVIS REVIS(D)	TYP TYPICAL
ALUM ALUMINUM	CONST CONSTRUCTION		INSUL INSULATION	NRC NOISE REDUCTION COEF.	UL UNDERWRITERS LAB	
AB ANCHOR BOLT	CONJT CONSTRUCTION JOINT		INT INTERIOR	NOM NOMINAL	UNFIN UNFINISHED	
< ANGLE	CONT CONTINUOUS		INTERM INTERMEDIATE	N NORTH	UNO UNLESS NOTED OTHERWISE	
ANOD ANODIZED	CONTR CONTRACTOR		INV INVERT	NIC NOT IN CONTRACT	U URINAL	
APPROX APPROXIMATE	CONTRJ CONTRACT JOINT		IP IRON PIPE	NTS NOT TO SCALE		
ARCH ARCHITECT, ARCHITECTURAL	CORR CORRUGATED		JAN JANITOR	NO, # NUMBER		
AD AREA DRAIN	COURSE COURSE		JS JANITOR SNK	OC ON CENTER		
@ AT	CFT CUBIC FOOT		JT JOINT	OPNG OPENING		
AUTO AUTOMATIC	CYD CUBIC YARD		KW KILOWATT	OD OUTSIDE DIAMETER		
			KWH KILOWATT HOUR	OH OVERHEAD		
BSMT BASEMENT	DP DAMP PROOFING		K KIP	PTD PAINTED		
BM BEAM	DL DEAD LOAD		KIT KITCHEN	PR PAIR		
BP BEARING PLATE	DB DECEBEL		LAB LABORATORY	PTR PAPER TOWEL RECEPTOR		
BM BENCH MARK	DEMO DEMOLISH		LAM LAMINATE(ED)	PKG PARKING		
BTUM BITUMINOUS	DEPT DEPARTMENT		LAV LAVATORY	PART PARTIAL BOARD		
BLKG BLOCKING	DET DETAIL		LAV LAVATORY	PART PARTITION		
BLK BLOCK	DIA DIAMETER		LAV LAVATORY	PVMT PAVEMENT		
BD BOARD	DIM DIMENSION		LDR LEADER	PLAM PLASTIC LAMINATE		
BO BY OWNER	DISP DISPENSER		LH LEFT HAND	PLC PLATE		
BOT BOTTOM	DSP DISPOSAL		LT LIGHT	PLYW PLYWOOD		
BRK BRICK	DO DITO, REPEAT, SAME		LW LIGHT WEIGHT	PVC POLYVINYL CHLORIDE		
BLDG BUILDING	DR DRAWING		LL LIVE LOAD	LB POUND		
BN BULLNOSE	DWG DRAWING			PCF POUNDS PER CUBIC FOOT		
CAB CABINET	DWF DRAWING			PLF POUNDS PER LINEAR FOOT		
CI CAST IRON	DWC DRAWING			PSF POUNDS PER SQUARE FOOT		
CPT CARPET(ED)	DRY DRAINAGE			PSI POUNDS PER SQUARE INCH		
CSMT CASEMENT	EA EACH			PRE CONC PRECAST CONCRETE		
CB CATCH BASIN	EACH EACH FACE			PRE FAB PREFABRICATED		
CLG CEILING	EW EACH WAY			PT, PTD PAINT, PAINTED		
CLG HT CEILING HEIGHT	E EAST			PT PRESSURE TREATED		
CEM CEMENT	ELEC ELECTRICAL			PL PROPERTY LINE		
CL CENTER LINE	ELEV ELEVATION			PS CONC PRESTRESSED CONCRETE		
CM CENTIMETER	ELV ELEV					
CER CERAMIC	EMER EMERGENCY					
CT CERAMIC TILE	ENCL ENCLOSURE					
CB CHALK BOARD						
CIRC CIRCUMFERENCE						
CO CLEAN OUT						
CLR CLEAR						
CLOS CLOSET						




MATERIAL SYMBOLS

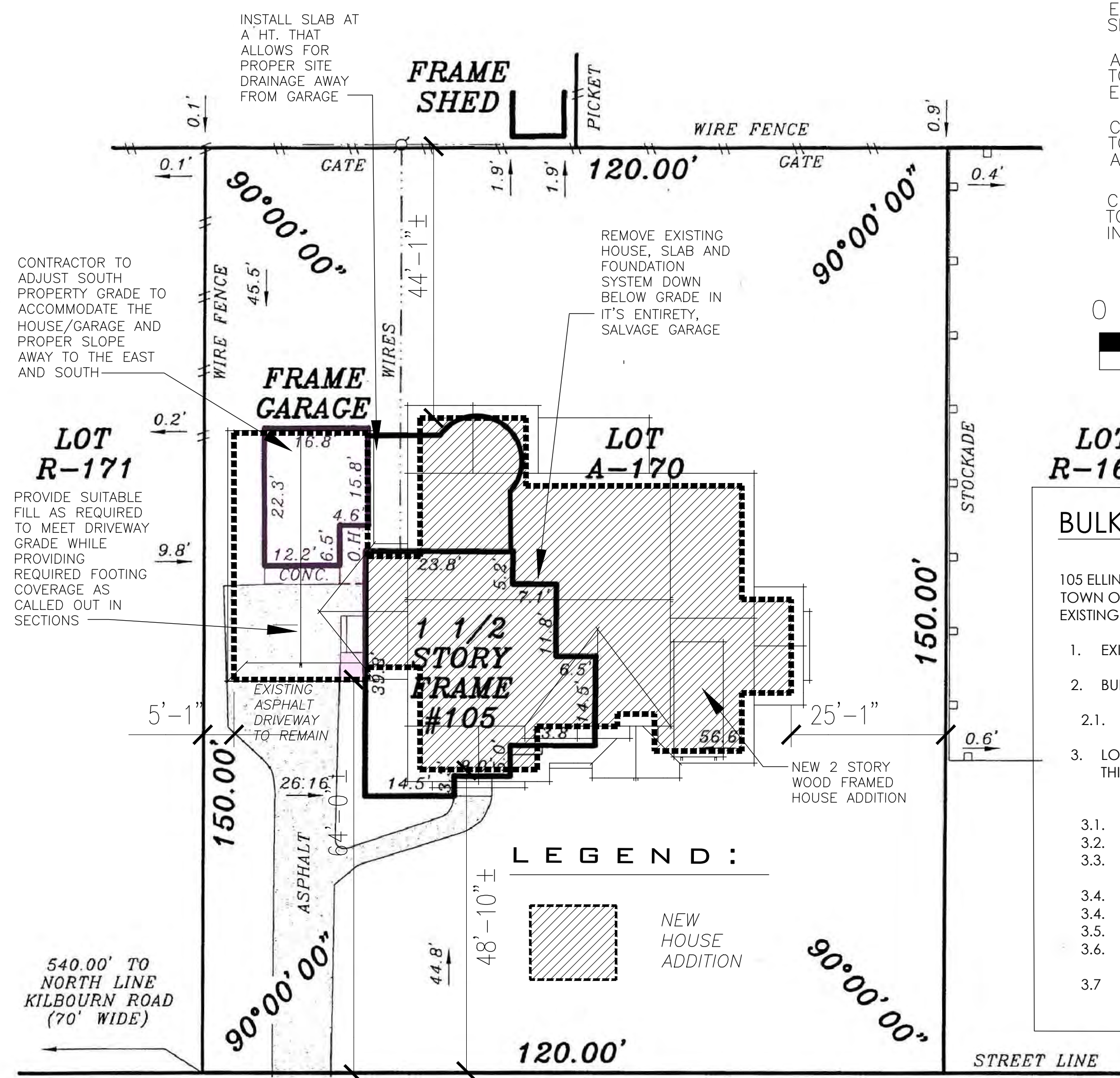
GRAPHIC SYMBOLS

	EARTH		BRICK		GROUT/MORTAR		○ A	COLUMN CENTERLINE A		1 HR	PARTITION TYPE 3(1 HR RATED)		- - -	PROPERTY LINE		— STS	STORM SEWER
	ROCK		STEEL, MISC. METAL		NON-FERROUS (TYPE AS NOTED)		1/2	DETAIL #3 ON SHEET A201		1	REVISION NO. 1		— X —	FENCE		— SAN	SANITARY SEWER
	GRAVEL TYPE 1 (ENGINEERED FILL)		STONE		ROUGH WOOD / BLOCKING		109.75	EXISTING SPOT ELEVATION		○ X	EXISTING TREE TO REMAIN		100	FURNITURE SYMBOL (NUMBER)		— W	WATER LINE
	PRECAST CONCRETE		TERRAZZO		WOOD, FINISHED WOODWORK		100.75	FINISHED SPOT ELEVATION		○ X	EXISTING TREE TO BE REMOVED		A	WINDOW TYPE (LETTER)		— G	GAS LINE
	CRUSHED STONE		MARBLE		PLYWOOD (LARGE SCALE)		100	EXISTING CONTOURS		○ X	BENCHMARKS, FLOOR ELEV, OR OTHER VERTICAL ELEV.		A=1	ACCESSORIES SYMBOL (LETTER) EQUIPMENT SYMBOL (NUMBER)			
	CONCRETE MASONRY UNIT		CERAMIC TILE		GYP SUM BOARD		109	DOOR NUMBER 109		100	FINISHED CONTOURS		1	KEYNOTE SYMBOL - DEMOLITION AND NEW CONSTRUCTION			

SPECIFICATIONS/GENERAL NOTES:

- IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
- ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.
- TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE DRAWINGS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

 Daniel A. Pieters Date: 10/23/2023
- COPYRIGHTS: THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE DETAILS OF THE BUILDING SHOWN AVAILABLE TO THE CLIENT AND TO THE CONTRACTOR CONSTRUCTING THIS PROJECT. ANY REPRODUCTION OF THIS DESIGN, IN WHOLE OR IN PART, IS PROHIBITED BY THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.
- DESIGN LOADS:
 FLOOR: 50 P.S.F. LIVE LOAD ROOF: 50 P.S.F. LIVE LOAD
 20 P.S.F. DEAD LOAD 20 P.S.F. DEAD LOAD
- SOIL PRESSURE: ASSUMED TO BE 3000 P.S.F. (GEOTECH. DATA NOT THE RESPONSIBILITY OF THE ARCHITECT). FINAL SELECTED SITE IS UNKNOWN BY THIS ARCHITECT.
- CONCRETE (ONCE FINAL SITE IS SELECTED):
 a. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3500 P.S.I. 5" CONCRETE SLAB (28 DAY COMPRESSIVE STRENGTH) OVER A 6 MIL. POLYETHYLENE VAPOR BARRIER ON 8" POROUS GRAVEL REINFORCING SHALL BE 6X6 - W/4" X W/4" WELDED WIRE MESH.
 b. PROVIDE #5 BAR @ 4'-0" O.C. BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN ALL LOCATIONS EXTERIOR OR UNHEATED INTERIOR SPACES. PROVIDE 2" OF RIGID INSULATION UNDER SLAB AND 2'-0" DOWN FOUNDATION WALL.
 c. FOUNDATIONS (ONCE FINAL SITE IS SELECTED):
 a. FOUNDATION FOOTINGS SHALL REST UPON UNDISTURBED (ORIGINAL) SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. MINIMUM TOP OF FOOTING COVERAGE IS 4'-0".
 b. CONCRETE BLOCK WALLS (CMU) SHALL BE CONSTRUCTED WITH:
 i. GRADE 'N', TYPE I, HOLLOW LOAD BEARING CONCRETE MASONRY UNITS WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1900 P.S.I.
 ii. TYPE 'S' MORTAR.
 iii. HORIZONTAL RE-INFORCING: "DUR-O-WAL" TRUSS TYPE RE-INFORCING, CONTINUOUS THROUGHOUT EVERY OTHER BLOCK COURSE.
 iv. VERTICAL RE-INFORCING: RE-INFORCE WALLS OF EXCAVATED AREA WITH NO. 7 VERTICAL REBARS AT 4'-0" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF ANY OPENINGS IN THE FOUNDATION WALL(S).
 v. PLACE 5/8" DIAMETER BY 16" LONG SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 32" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF OPENINGS IN THE FOUNDATION WALL(S).
 c. WATERPROOF WALLS OF EXCAVATED AREAS WITH TROWLED ON CEMENT, TWO COATS OF TROWLED ON ASPHALTIC BASE WATERPROOFING AND "WRAP AND DRAIN" WATERPROOFING SYSTEM.
 d. PROVIDE 4" DIAMETER PERFORATED DRAINAGE TILE AT THE PERIMETER OF ALL FOUNDATION FOOTINGS IN EXCAVATED AREAS. COVER THE JOINTS IN THE DRAIN TILE WITH GEOTEXTILE FABRIC. COVER THE JOINTS IN THE DRAIN TILE WITH A MINIMUM OF 18" POROUS GRAVEL FILL. WRAP THE ENTIRE TILE/FILL ASSEMBLY IN GEOTEXTILE FABRIC WITH LAP SEAMS A MINIMUM OF 8".
 e. STRUCTURAL STEEL:
 a. ALL STRUCTURAL STEEL SHALL COMPLY WITH ASTM SPECIFICATION A-36.
 b. UNLESS OTHERWISE NOTED, PROVIDE A P.T. 2 BY PLATE BOLTED TO THE TOP FLANGE OF ALL BEAMS WITH 1/2" DIA. ANCHOR BOLTS STAGGERED AT 2'-0" O.C. RIGIDLY FASTEN ALL CONNECTING RAFTERS/JOISTS A MINIMUM OF 8".
 f. CARPENTRY:
 a. UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE DOUG-FIR, CONSTRUCTION GRADE. BEAMS, HEADERS AND FLOOR JOISTS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200 P.S.I.
 b. UNLESS OTHERWISE NOTED PROVIDE:
 i. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.

- DOUBLE FLOOR JOISTS (TJI'S) UNDER ALL PARTITIONS RUNNING PARALLEL TO THE DIRECTION OF THE FLOOR FRAMING AND UNDER TUB, SHOWER AND TOILET.
- TRIPLE 2 X 10 HEADERS WITH 1/2" HIGH 'R' BETWEEN ALL DOOR AND WINDOW OPENINGS. TRIPLE 2 X 12 @ 6'-0" + WINDOWS.
- TWO ROWS OF SOLID TJI HT. BLOCK BRIDGING PER JOIST SPAN.
- FLOOR CONSTRUCTION: 23/32" TONGUE AND GROOVE ADVANTECH SHEATHING. GLUE AND SCREW ADVANTECH TO FLOOR JOISTS.
- USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILING IN ALL BATH AND TOILET AREAS, AND USE MARINE GRADE PLYWOOD IN THESE AREAS.
- EXTERIOR WALL SHEATHING: 7/16" X 48" X 96" EXTERIOR GRADE OSB.
- ALL INTERIOR WALLS AND CEILING SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. PROVIDE METAL CORNER RE-INFORCING AT ALL EXTERIOR CORNERS. TAPE, FLOAT AND SAND A MINIMUM OF THREE COATS.
- WOOD TRUSSES SHALL BE DESIGNED BY AN ARCHITECT OR ENGINEER, OTHER THAN LICENSEE OF THESE DRAWINGS, LICENSED TO PRACTICE WITHIN THE STATE OF NEW YORK. STRUCTURAL AND INSTALLATION BRACING SHALL BE DESIGNED BY THE MANUFACTURER OF THE TRUSSES.
- INTERIOR TRIM AND FINISHES ARE SELECTED BY THE OWNER AND PROVIDED BY THE CONTRACTOR AS PART OF THESE DOCUMENTS.
- MISCELLANEOUS: UNLESS OTHERWISE NOTED, PROVIDE:
 a. R-21 FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, R-30 FIBERGLASS BATT INSULATION IN ALL FLOORS AND R-38 BATT FIBERGLASS INSULATION IN ALL CEILING, ROOFS OR TRUSSES ADJACENT TO THE EXTERIOR OR UNHEATED INTERIOR SPACES. SPRAYED FOAM INSULATION MAY ALSO BE USED PER MANUF. RECOM.
 b. 1" OF RIGID INSULATION SHELTER-SHEATH AGAINST THE INTERIOR SIDE OF THE EXTERIOR CONCRETE BLOCK WALLS ALLOWING 1/2" OF AIR SPACE BETWEEN CMU AND RIGID INSUL., TAPE ALL SEAMS FOR VAPOR BARRIER.
 c. PROVIDE KRAFT FACE INSULATION FOR ALL BATT INSULATION TO ASSIST AS A VAPOR BARRIER ON THE INTERIOR SIDE OF ALL THERMAL INSULATION, PRIOR TO APPLYING FINISH.
 d. INSULATING GLAZING AT ALL EXTERIOR GLASS AREAS AND TEMPERED GLAZING IN ALL GLAZED OPENINGS LESS THAN 30" ABOVE FINISH FLOOR.
 e. CAULKING AT ALL PERIMETERS OF WINDOWS, DOORS AND BOTTOM PLATES.
 f. PROVIDE WEATHER SHIELD LOW 'E' INSULATED CASEMENT WINDOWS FOR ALL PUNCHED OPENINGS. EXTERIOR/INTERIOR COLORS AND FINISHES AS SELECTED BY OWNER. CONTEMPORARY COLLECTION WINDOWS TO BE PROVIDED.
 g. PROVIDE ANDERSEN SERIES 200 FOR THE WINDOWS, WHITE INSIDE/OUTSIDE.
 12. SITE INSPECTIONS SHALL BE MADE BY THIS ARCHITECT. ALTHOUGH THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL MATERIALS AND WORKMANSHIP. MATERIAL SUBSTITUTIONS SHALL BE MADE ONLY IF APPROVED BY THE ARCHITECT.
 13. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL CODES THAT GOVERN CONSTRUCTION AND VARIATIONS FROM THESE PLANS. CONTRACTOR RESPONSIBLE FOR PERMITTING.
 14. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS PRIOR TO THE START OF WORK.
 15. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS PROJECT.
 16. THE CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION AND DEMOLITION AS REQUIRED TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE PROJECT, PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP THE NECESSARY FOUNDATION SOIL REQUIRED TO SUSTAIN THE LOADS OF THE DESIGN OF THE 2.5 TONS PER SQUARE FOOT AND TO HIRE A SOILS ENGINEER TO IMPACT AND VERIFY SOIL CONDITIONS PRIOR TO THE POURING OF FOUNDATIONS.
 17. THE CONTRACTOR SHALL REQUEST THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ALL CONSTRUCTION INCLUDING SEPTIC SYSTEM.
 18. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND THE OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY AND ALL CLAIMS ARISING FROM INJURY DURING CONSTRUCTION, INCLUDING FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH "OSHA" STANDARDS.
 19. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND OTHER BUILDING SYSTEMS, ARE TO BE CODE PROVIDED AS CODE COMPLIANT BY THE CONTRACTOR AS PART OF CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR ADEQUATE SIZING AND FOR HEATING, COOLING & VENTILATION.
 20. DECK FRAMING, GUARD POSTS, RAILINGS & GUARDS SHALL BE PROVIDED PER THE 2013 AMERICAN WOOD COUNCIL DCA-9 PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE.
 21. SMOKE AND CARBON MONOXIDE ALARMS ARE TO BE PROVIDED PER SECTION U802 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE OF NEW YORK STATE.



105 ELLINGWOOD DRIVE
ELLINGWOOD DRIVE (60' WIDE)

1 SITE PLAN
 S1 SCALE: 1/16" = 1'-0"



THIS SURVEY WAS PROVIDED BY THE PROPERTY OWNER DAVID B. FINGER. SURVEY WAS PERFORMED BY THOMAS A. RODAK OF O'NEILL-RODAK LAND SURVEYING, P.C. SURVEY COMPLETED ON AUGUST 12, 2014.



NOTES:
 EXISTING SIDEWALKS/TREES/BUSHES NOT SHOWN FOR CLARITY.
 ALL DOWNSPOUTS ARE TO BE CONNECTED TO UNDERGROUND DRAINAGE ROUTED TO THE EAST OF THE PROPERTY TOWARDS THE ROAD.
 CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. RE-ROUTE AS REQUIRED TO ACCOMMODATE FOR NEW ADDITION/PATIO'S.
 CONTRACTOR TO ADJUST EXISTING GRADING AS REQUIRED TO ALLOW FOR PROPER CONNECTION TO GARAGE AND FLOW IN AND OUT OF EXISTING STRUCTURE FLOOR ELEVATION.

LOT R-168

BULK REQUIREMENTS:

105 ELLINGWOOD DRIVE
 TOWN OF PITTSFORD, NY 14618
 EXISTING SITE WIDTH IS 120'.

1. EXISTING ZONING:	RN - RESIDENTIAL NEIGHBORHOOD	
2. BUILDING HEIGHT:	ALLOWABLE:	PROVIDED:
2.1. PRIMARY MAXIMUM	30'	29'-11"
3. LOT REQUIREMENTS (ALSO PERTAINS TO ACCESSORY STRUCTURES). THIS PROJECT IS A PARTIAL DEMOLITION AND NEW HOUSE ADDITION.	REQUIRED:	PROVIDED:
3.1. ACTUAL LOT AREA:	18,000 SF	18,000 SF
3.2. ACTUAL LOT WIDTH:	120'	120'
3.3. MIN. FRONT SETBACK:	additions not permitted past bldg. line	48'-10"
3.4. MIN. ONE SIDE SETBACK:	10' (one side)	25'-1" NORTH & 5'-1" SOUTH
3.4. MIN. BOTH SIDE SETBACK:	25' (two sides)	30'-2"
3.5. REAR BUFFER:	20' (no structures)	44'-1" from addition to lot line
3.6. MAX BLDG. FOOTPRINT	3,675SF + 5% OVER 17,500SF 3,700SF ALLOWED	3,542 SF with addition 3,684 SF with front patio/porch 5,442 SF approximately w/patio/porch/shed/drive/walk
3.7. MAX. LOT COVERAGE	40% or 7,200 SF	

16 NYCRR PART 753
 REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK

Dig Safely. New York
 www.digsafelynewyork.com
 1-800-962-7962

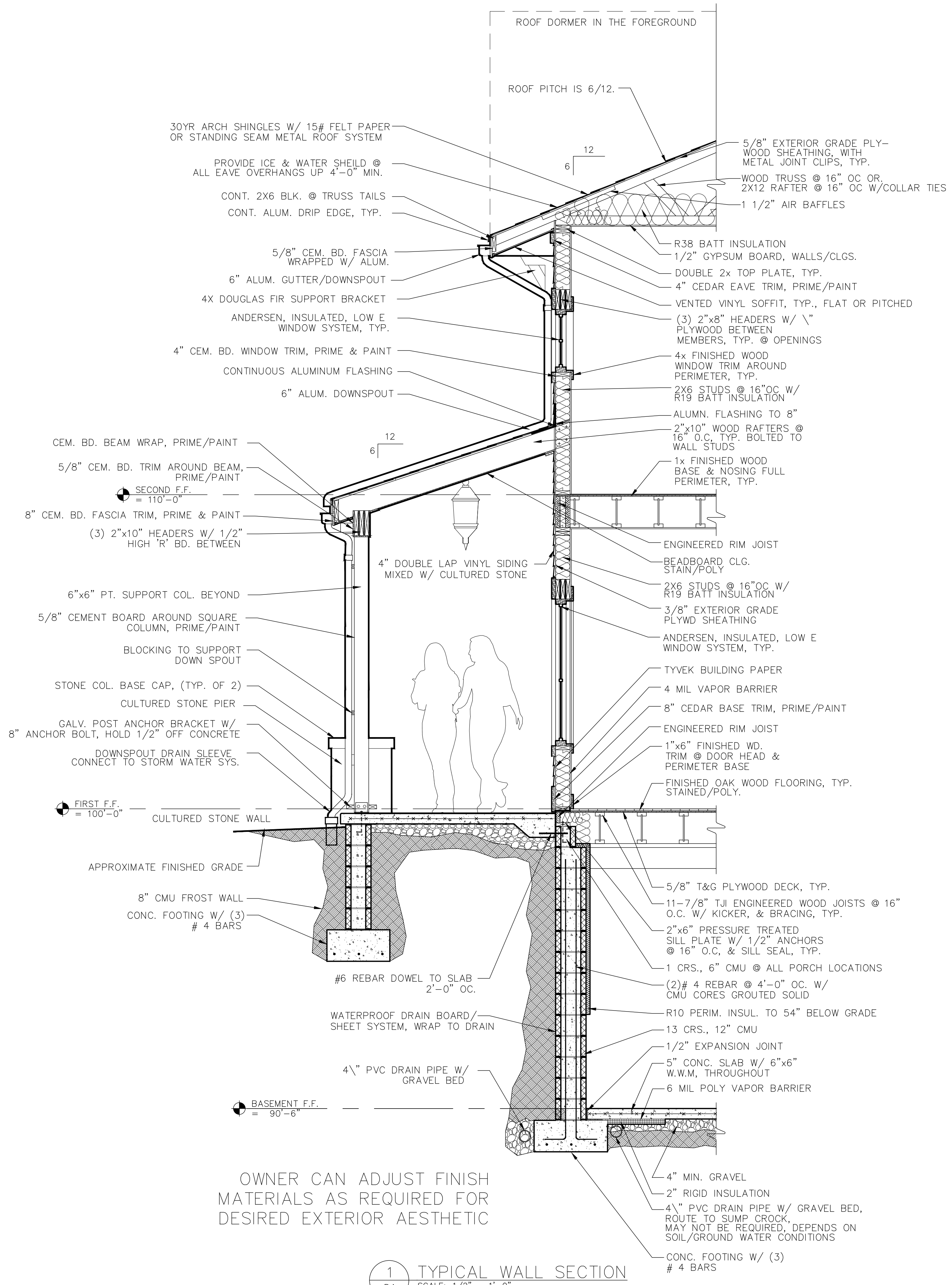
NO.	DATE	BY	CHKD	DESCRIPTION



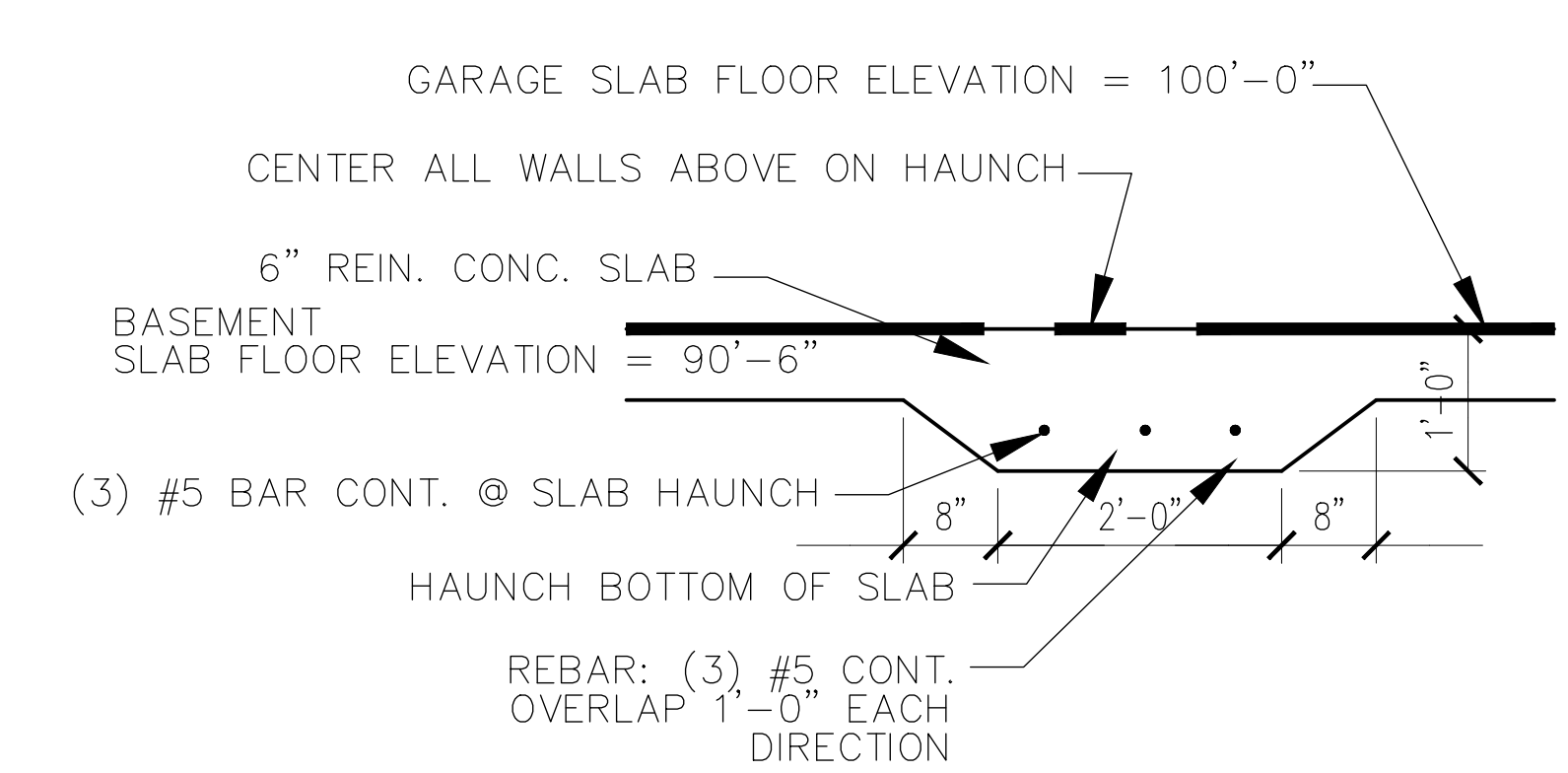
FINGER
 NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
SITE PLAN, BULK REQUIREMENTS AND SPECIFICATIONS		

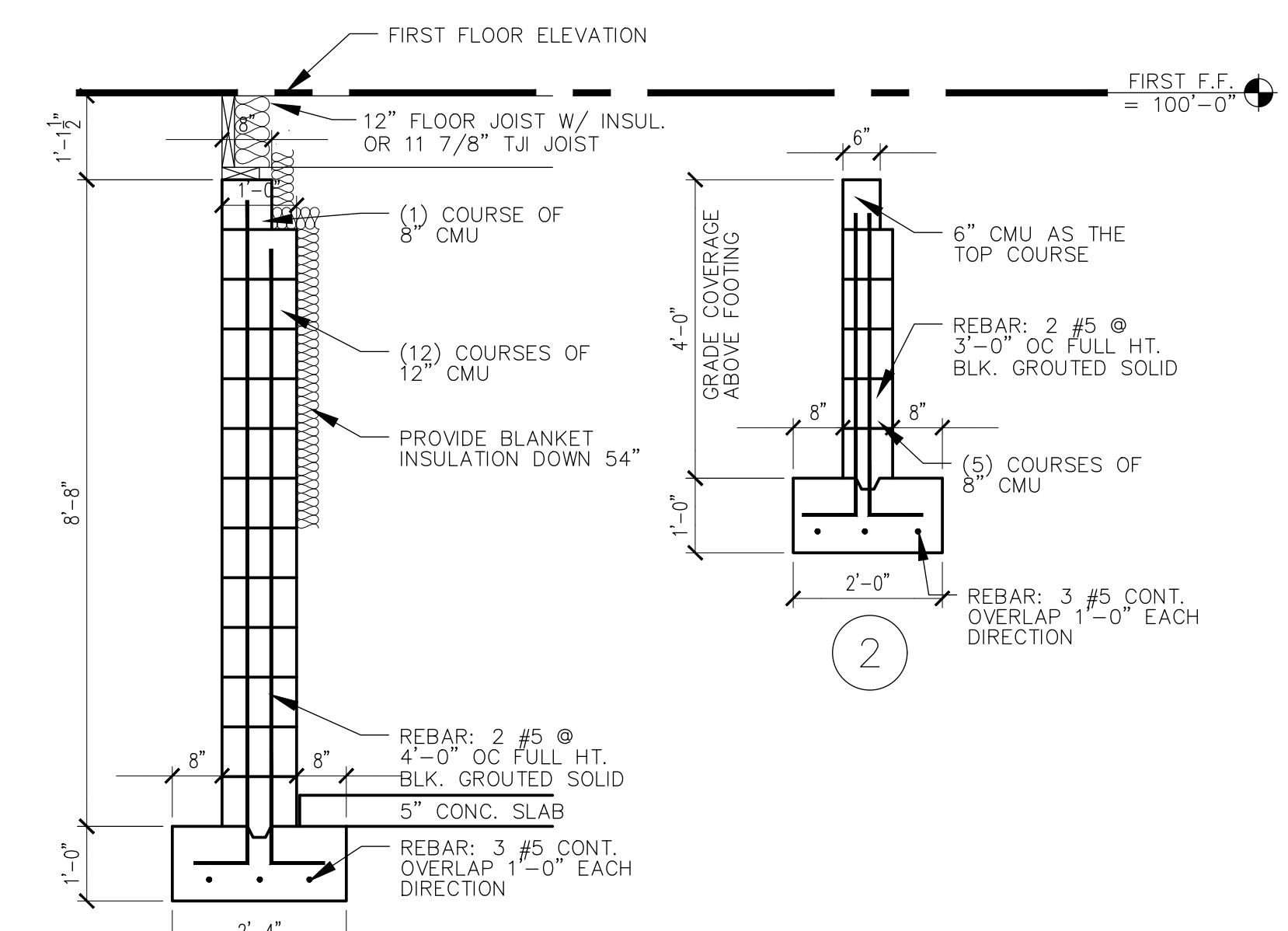
PROJECT NUMBER
 S1
 DRAWING NUMBER



1 TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"



HAUNCH SLAB IN BASEMENT @ PIER LOCATIONS
3 HAUNCH FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



2 FOUNDATION DETAILS
SCALE: 1/2" = 1'-0"

NO.	DATE	BY	CHECKED	DESCRIPTION

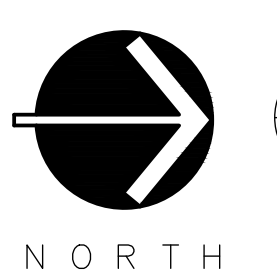
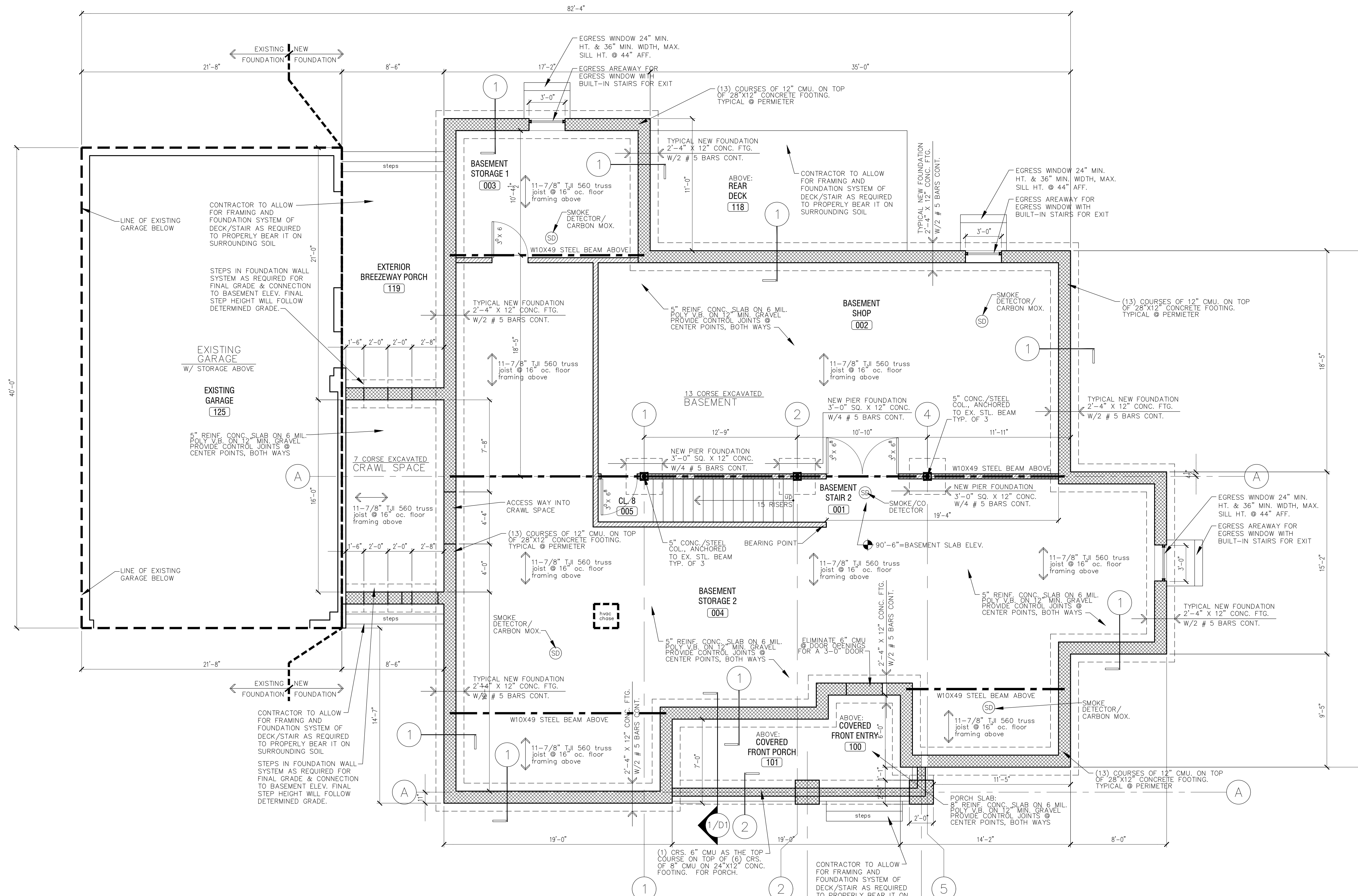


FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

SCALE AS NOTED
SHEET TITLE
DETAILS

PROJECT NUMBER
D1
DRAWING NUMBER



**FOUNDATION/
BASEMENT FLOOR PLAN**
SCALE: 1/4" = 1'-0"

NOTE: (unless otherwise noted)
TYPICAL NEW EXTERIOR WALL IS 7" THICK - 2x6

- : NEW WOOD STUD WALLS
- : NEW MASONRY WALLS

NOTE:
ALL EXTERIOR HOUSE WALLS ARE CONSTRUCTED OF
2X6 @ 16" OC WOOD STUD WALLS WITH P1 SILL PLATE AND 5/8" TYPE 'X'
GYP. BD. ON THE FINISHED SIDES OF THE ROOM WHERE RATING IS REQUIRED &
1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF THE ROOM @ NON-RATED
LOCATIONS. PRIME AND PAINT.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

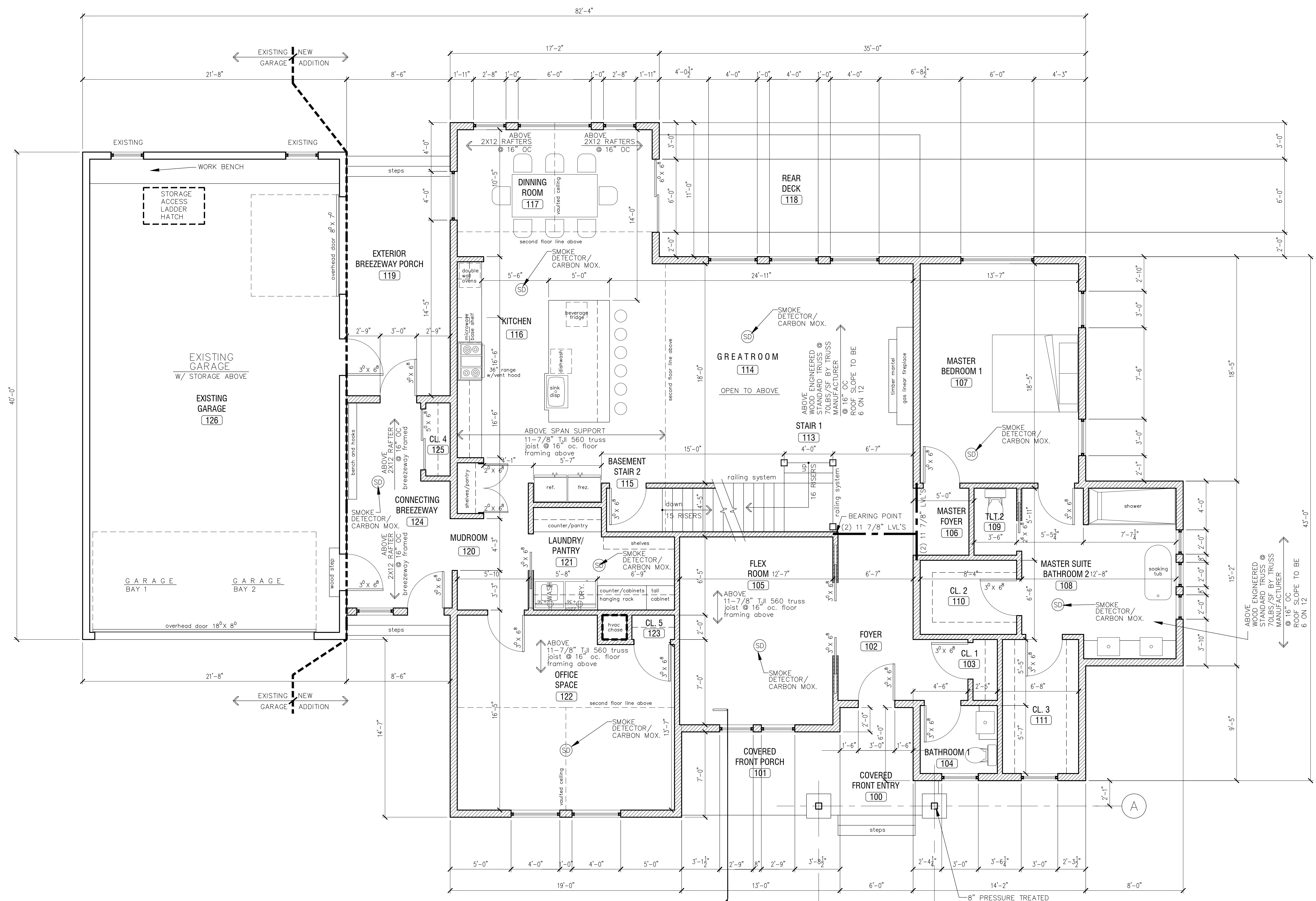


**FINGER
NEW RESIDENCE ADDITION**
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

SCALE AS NOTED
SHEET TITLE
BASEMENT /
FOUNDATION PLAN
& DETAILS

PROJECT NUMBER
A0
DRAWING NUMBER



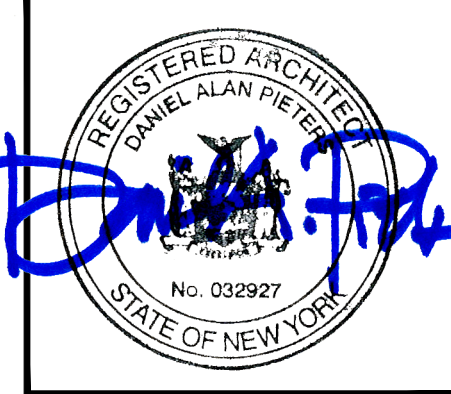
1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NOTE: (unless otherwise noted)
 TYPICAL NEW EXTERIOR WALL IS 7" THICK - 2x6

- : NEW WOOD STUD WALLS
- : NEW MASONRY WALLS

NOTE:
 ALL NEW ADDITION EXTERIOR HOUSE WALLS ARE CONSTRUCTED OF
 2X6 @ 16" OC WOOD STUD WALLS WITH PT SILL PLATE AND 5/8" TYPE 'X'
 GYP. BD. ON THE FINISHED SIDES OF THE ROOM 124 WHERE RATING IS REQUIRED &
 1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF THE ROOM @ NON-RATED
 LOCATIONS. PRIME AND PAINT.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

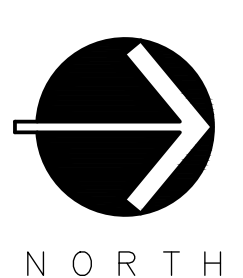
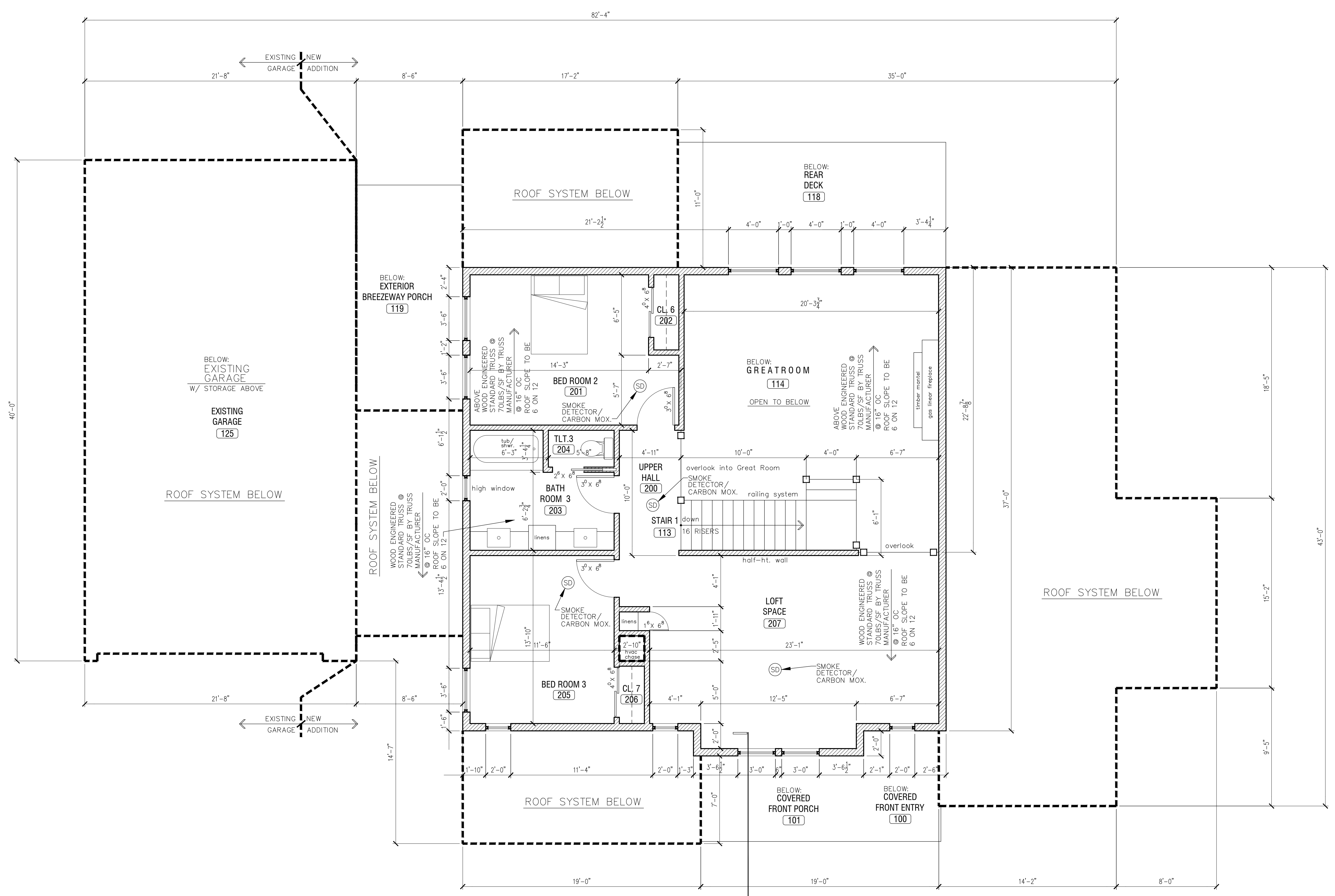
SCALE AS NOTED

SHEET TITLE
 FIRST FLOOR PLAN

PROJECT NUMBER

A1

DRAWING NUMBER



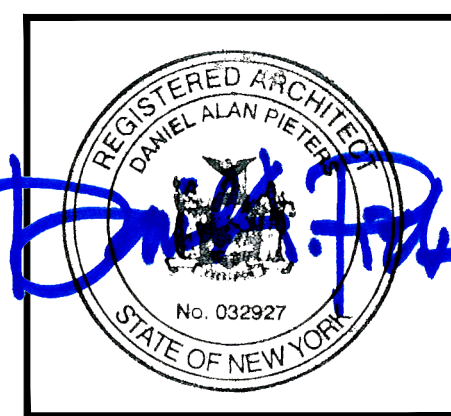
1 SECOND FLOOR PLAN
 A2 SCALE: 1/4" = 1'-0"

NOTE: (unless otherwise noted)
 TYPICAL NEW EXTERIOR WALL IS 7" THICK - 2x6

- : NEW WOOD STUD WALLS
- : NEW MASONRY WALLS

NOTE:
 ALL EXTERIOR HOUSE WALLS ARE CONSTRUCTED OF
 2x6 @ 16" OC WOOD STUD WALLS WITH PT SILL PLATE AND 5/8" TYPE 'X'
 GYP. BD. ON THE FINISHED SIDES OF THE ROOM WHERE RATING IS REQUIRED &
 1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF THE ROOM @ NON-RATED
 LOCATIONS. PRIME AND PAINT.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



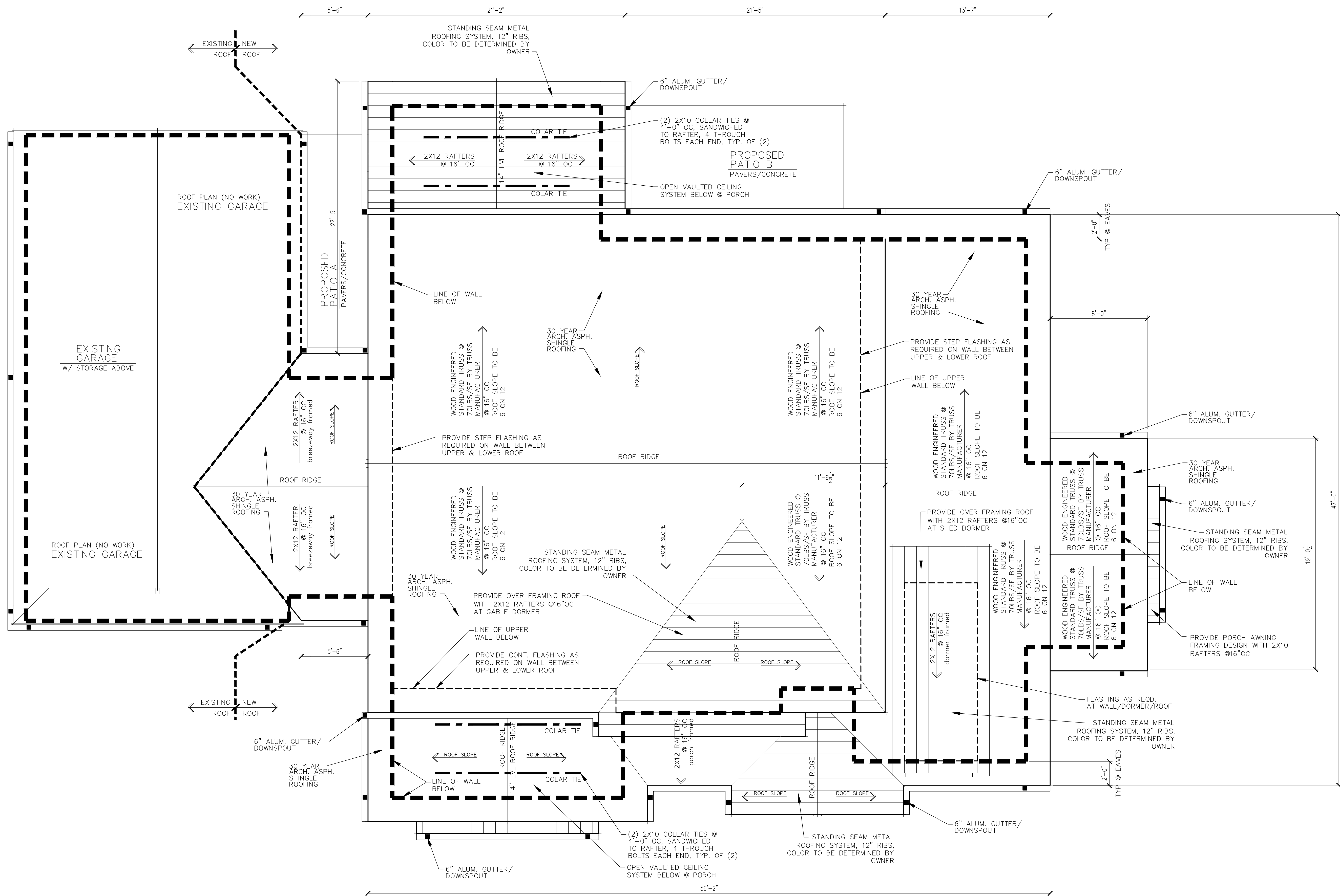
FINGER
 NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

SCALE AS NOTED

SHEET TITLE
 SECOND FLOOR PLAN

PROJECT NUMBER
 A2
 DRAWING NUMBER



1 ROOF PLAN
 A3 SCALE: 1/4" = 1'-0"
 NORTH

ROOFING NOTES: UNLESS OTHERWISE NOTED

1. PROVIDE ICE AND WATER SHIELD ON ENTIRE ROOF SHEATHING TO COMPLY WITH SECTION 905.2.7.1 OF THE NYS BUILDING CODE. ICE AND WATER SHIELD SHOULD BE INSTALLED AT ENTIRE ROOF PRIOR TO THE METAL ROOF. PROVIDE BAFFLES FOR VENTING AT EACH JOIST CAVITY ABOVE INSULATION.
2. PROVIDE PROPER FLASHING AT INSTALLATION OF METAL ROOFING. CONSULT WITH MANUFACTURER PRIOR TO INSTALLATION. FLASHING IS REQUIRED AT ALL ROOF TO WALL, ROOF TO DORMERS.
3. PROVIDE MIN. 30 YEAR ARCHITECTURAL ROOFING SYSTEM ON THE HOUSE WHERE RIBBED SEAM METAL IS SHOWN. COLOR FOR RIBBED ROOFING SYSTEM IS TO BE DETERMINED BY THE OWNER. ROOF SYSTEM TO BE VENTED.
4. ROUTE ALL 6" GUTTERS & DOWNSPOUTS TO THE UNDERGROUND PIPING SYSTEM IF POSSIBLE. IF STORM DOES NOT EXIST, ROUTE PIPING TO DAYLIGHT IN 4" PERFORATED DRAIN TILE TOWARDS THE LOW SITE/NORTH WEST.
5. ALL EAVE OVERHANGS ARE 2'-0" AND ALL RAKE OVERHANGS ARE 2'-0", UNLESS OTHERWISE NOTED.

REVISIONS NO.	DATE	BY	CHKD	DESCRIPTION

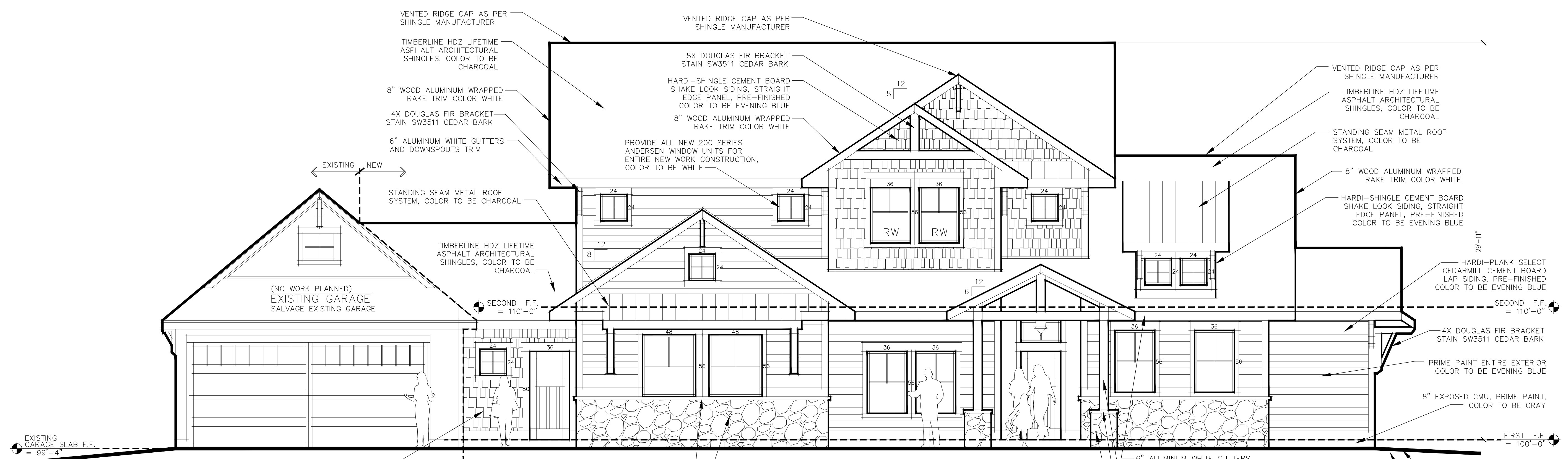


FINGER
 NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
ROOF PLAN		

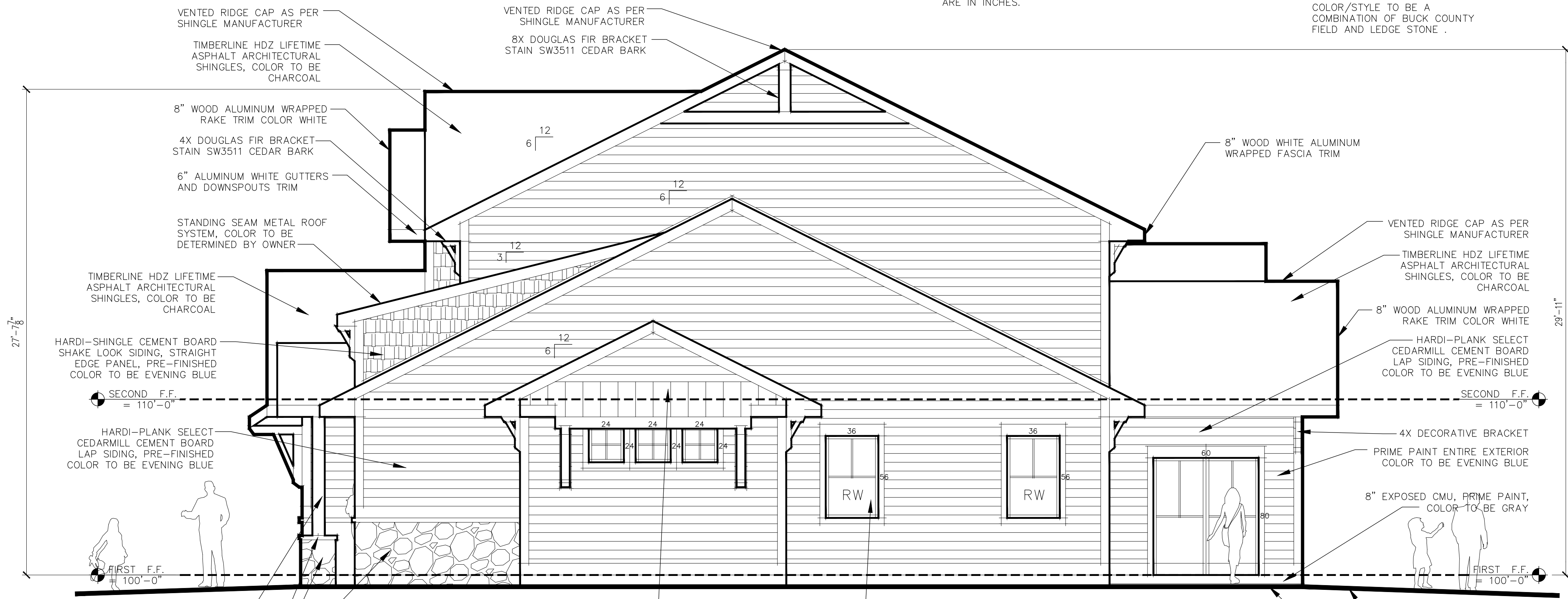
PROJECT NUMBER
 A3
 DRAWING NUMBER

NO.	DATE	BY	CHECKED	DESCRIPTION



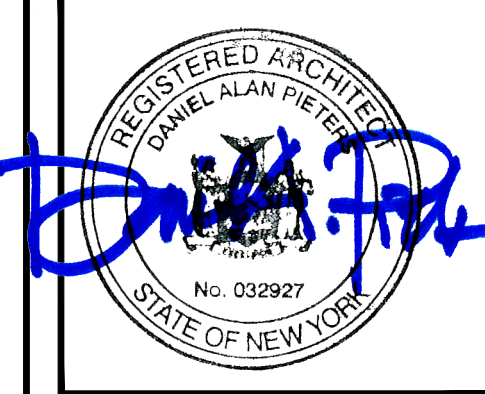
1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

RW: RESCUE WINDOW
 ALL ANDERSEN RESCUE WINDOWS NEED TO MEET THE CLEAR OPEN REQUIREMENTS. PROVIDE AN ANDERSEN 244DH3049 OR LARGER THAT MEETS OR EXCEEDS A CLEAR OPENING AREA OF 5.7 SF., 20" MIN WIDTH AND 24" MIN HEIGHT. MEASUREMENTS GIVEN ON WINDOWS ARE IN INCHES.



2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

RW: RESCUE WINDOW
 ALL ANDERSEN RESCUE WINDOWS NEED TO MEET THE CLEAR OPEN REQUIREMENTS. PROVIDE AN ANDERSEN 244DH3049 OR LARGER THAT MEETS OR EXCEEDS A CLEAR OPENING AREA OF 5.7 SF., 20" MIN WIDTH AND 24" MIN HEIGHT. MEASUREMENTS GIVEN ON WINDOWS ARE IN INCHES.



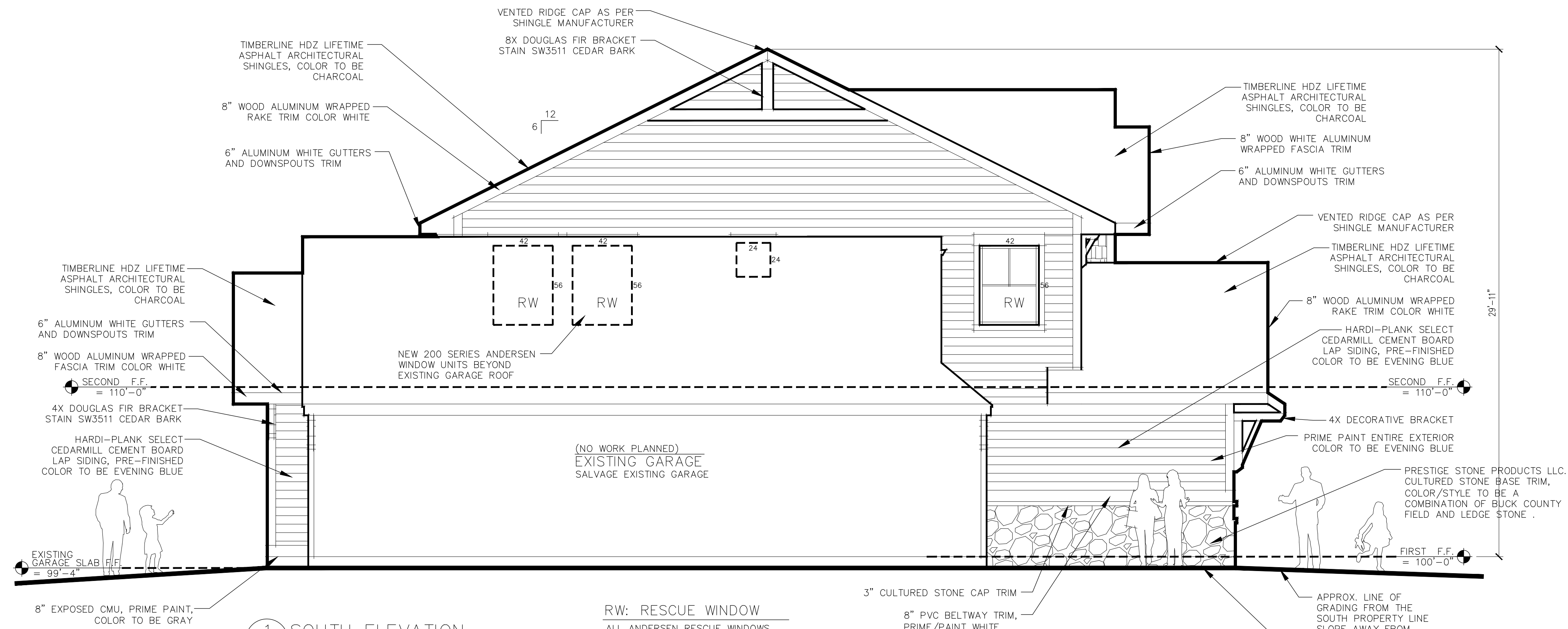
FINGER
NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

SCALE AS NOTED

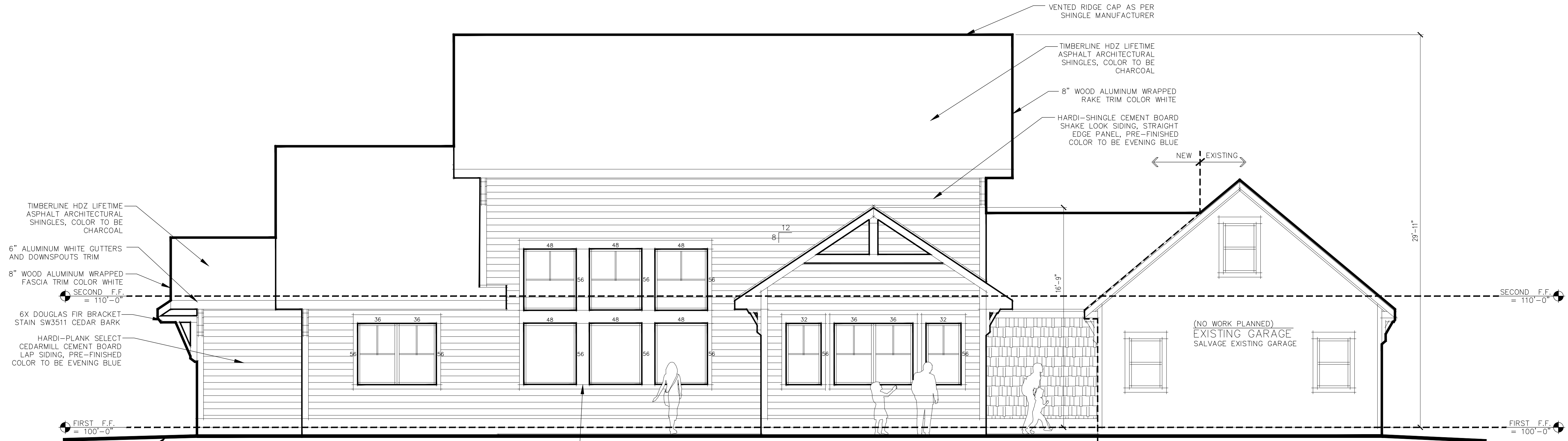
SHEET TITLE
 EAST & NORTH
 EXTERIOR
 ELEVATIONS

PROJECT NUMBER
 A4
 DRAWING NUMBER



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

RW: RESCUE WINDOW
ALL ANDERSEN RESCUE WINDOWS NEED TO MEET THE CLEAR OPEN REQUIREMENTS. PROVIDE AN ANDERSEN 244DH3049 OR LARGER THAT MEETS OR EXCEEDS A CLEAR OPENING AREA OF 5.7 SF. 20" MIN WIDTH AND 24" MIN HEIGHT. MEASUREMENTS GIVEN ON WINDOWS ARE IN INCHES.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS NO.	DATE	BY	CHKD	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
SOUTH & WEST EXTERIOR ELEVATIONS		

PROJECT NUMBER
A5
DRAWING NUMBER

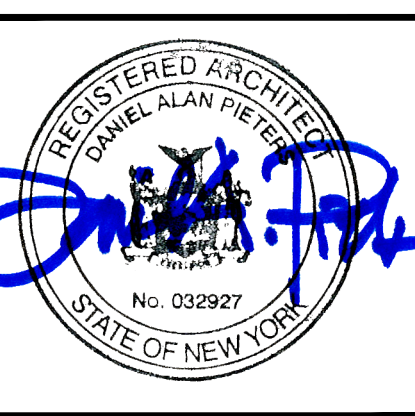


1 EAST ELEVATION
A6 SCALE: NTS



2 NORTH ELEVATION
A6 SCALE: NTS

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

SCALE AS NOTED
SHEET TITLE
EAST & NORTH
COLORED EXTERIOR
ELEVATIONS

PROJECT NUMBER

A6
DRAWING NUMBER

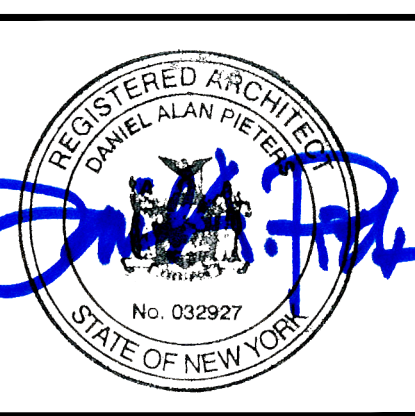


1 SOUTH ELEVATION
A7 SCALE: NTS



2 WEST ELEVATION
A7 SCALE: NTS

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
10/23/23	DAP	DAP

SCALE AS NOTED

SHEET TITLE
SOUTH & WEST
COLORED EXTERIOR
ELEVATIONS

PROJECT NUMBER
A7
DRAWING NUMBER



REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

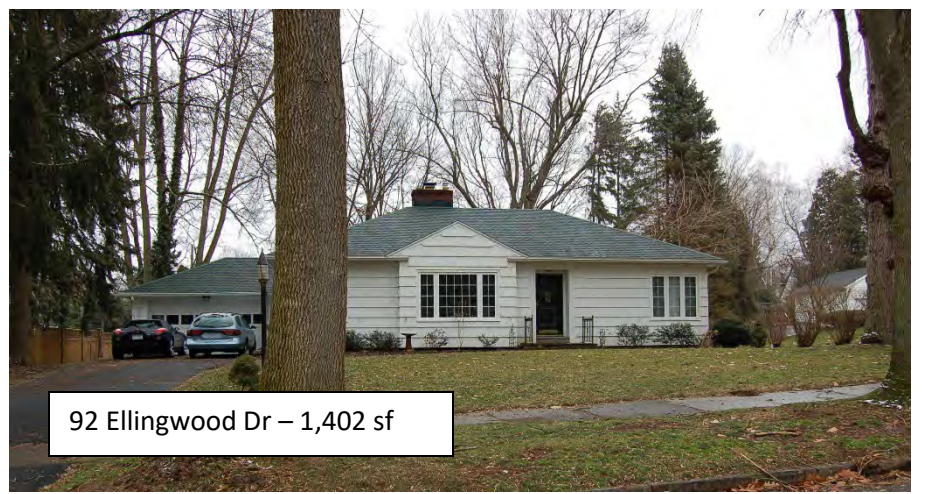
DATE	DRAWN	CHECKED
10/23/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
EXTERIOR RENDERINGS		

PROJECT NUMBER

A8
 DRAWING NUMBER



75 Ellingwood Dr – 2,028 sf



92 Ellingwood Dr – 1,402 sf



81 Ellingwood Dr – 1,757 sf



106 Ellingwood Dr – 2,474 sf



91 Ellingwood Dr – 1,358 sf



110 Ellingwood Dr – 1,807 sf



115 Ellingwood Dr – 2,551 sf



120 Ellingwood Dr – 2,287 sf



125 Ellingwood Dr – 2,424 sf



130 Ellingwood Dr – 2,289 sf



139 Ellingwood Dr – 2,654 sf

Neighboring Properties