

**AGENDA
TOWN OF PITTSFORD
PLANNING BOARD
NOVEMBER 13, 2023**

This agenda is subject to change.

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, November 13, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

NEW HEARINGS

Bergmann Associates, Oak Hill Country Club (145 Kilbourn Road) Clubhouse Renovations
Preliminary/Final Site Plan and Special Use Permit

Victorian Estates Resubdivision (3096/3092 Clover Street)
Preliminary/Final Subdivision

OTHER BUSINESS

Approval of Minutes

TABLED TOPIC

McMahon LaRue Associates, Geoca Subdivision
Concept Subdivision

The next scheduled meeting is for Monday, November 27, 2023.



Town of Pittsford
11 South Main Street
Pittsford, New York 14534

October 4, 2023

Attn: Doug DeRue

Re: Site Plan Review and Special Permit
Clubhouse Expansion
Oak Hill Country Club
145 Kilbourn Road
Rochester, NY 14618

Dear Doug;

On behalf of Oak Hill Country Club, we are submitting the following materials for Site Plan and Special Permit review and approval clubhouse expansion and outdoor patio areas:

- Check for \$400.00 (application fee for Site Plan)
- Check for \$175.00 (application fee for Special Permit)
- Planning Board application packet with the Short Form EAF
- 20 copies of the project site drawings
- 20 color prints of the building elevations
- 2 copies of the Engineering Technical Memo with figures

Oak Hill is proposing a one-story expansion to the southern and eastern portions of the clubhouse which will replace the temporary tent structures installed each year. The expansion will provide a seamless integration with the existing structure matching the style, materials, and colors. The addition will consist of approximately 12,500 square feet. Additionally, new patio areas will be constructed at the south and east sides of the clubhouse and will be used by members for outdoor experiences.

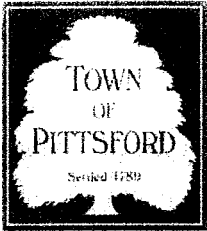
Construction is anticipated to commence in the Fall of 2024.

If all is in order, please place our application on the Planning Board's November 13, 2023 agenda for Site Plan and Special Use consideration. Should you have any questions or need additional information, please do not hesitate to contact me at 585-498-7782 or bburri@bergmannpc.com. Thanks Doug.

Sincerely,

BERGMANN ASSOCIATES

Brian J. Burri
Sr. Project Manager
Civil/Site



TOWN OF PITTSFORD SITE PLAN APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: Oak Hill CC Clubhouse Expansion

LOCATION: 145 Kilbourn Road

TAX ACCOUNT NO: 138.17-1-13.111

OWNER: Oak Hill CC - Chad Ellis APPLICANT: same

ADDRESS: 145 Kilbourn Road ADDRESS: _____

CITY, ST ZIP: Rochester, NY 14618 CITY, ST ZIP: _____

PHONE: (585) 586-1660 PHONE: _____

FAX: _____ FAX: _____

E-MAIL: chadellis@oakhillcc.com E-MAIL: _____

AGENT: Bergmann - Brian Burri

ADDRESS: 280 East Broad Street, Suite 200

CITY, ST ZIP: Rochester, NY 14604

PHONE: (585) 498-7782 FAX: _____

E-MAIL: brian.burri@collierseng.com

BRIEF DESCRIPTION OF PROJECT: Expansion to Clubhouse and outdoor patio area. The expansion will take the place of the current tent structures.

REQUEST FOR: Concept Subdivision
(Please check all applicable) Preliminary Subdivision
 Final Subdivision

HEARING DATE REQUESTED: 10/23/2023

Special Permit
 Preliminary Site Plan
 Final Site Plan

Square Footage of Building: _____

Total Acreage of Disturbance: 1.0+/-

ZONING CLASSIFICATION: SRAA SIZE OF PARCEL: 327+/-

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? NO YES (Please specify)

The flood plain districts, agricultural district, and wetlands are shown with a hatched pattern on the zoning map. The agricultural districts with letters A through J are shown with a hatched pattern. The flood plain districts are shown with a hatched pattern.

If this parcel is within 500' of a municipal boundary, please specify: No
Municipality: _____

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

Oak Hill CC Clubhouse Expansion

(Project Name)

The undersigned, being the applicant(s) to the...

Town Board *Zoning Board of Appeals* *Planning Board* *Design Review Board*

...of the Town of Pittsford, for a...

change of zoning *special permit* *building permit* *permit* *amendment*

variance *approval of a plat* *exemption from a plat or official map*

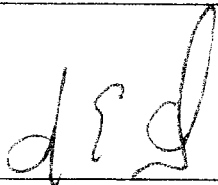
...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

Address(es)

<u>Name(s)</u>	<u>Address(es)</u>



Signature of Applicant

8-29-23

Dated

145 Kilbourn Road

Street Address

Rochester, NY 14618

City/Town, State, Zip Code



TOWN OF PITTSFORD

LISTING OF ABUTTERS

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

The undersigned, being an Applicant for approval of...

site plan

special permit

subdivision

...for property at: 145 Kilbourn Road, Rochester, NY 14618

Tax Parcel # 1337.17-1-13.111 submits the following list of names and addresses of all owners of properties which either directly abut or are located across the street from the property lines of the subject property.

If there are other properties in close proximity which might be effected by this proposal, please include the names and addresses of those properties as well.

Signature of Applicant

8-29-23

Date

LIST OF PROPERTIES ABUTTING OR ACROSS THE STREET FROM SUBJECT PROPERTY

Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:

Oak Hill CC Clubhouse Expansion

Project Location (describe, and attach a location map):

145 Kilbourn Road, Rochester, NY 14618

Brief Description of Proposed Action:

Clubhouse expansion to the south and east as well as patio addition. Expansion of Clubhouse will replace the current tent structures.

Name of Applicant or Sponsor:

Oak Hill CC - Chad Ellis

Telephone:

E-Mail: cnadellis@oakhillcc.com

Address:

145 Kilbourn Road

City/PO:

ROchester

State:

NY

Zip Code:

14618

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?

NO YES

If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.

2. Does the proposed action require a permit, approval or funding from any other governmental Agency?

NO YES

If Yes, list agency(s) name and permit or approval:

3.a. Total acreage of the site of the proposed action?

327+- acres

b. Total acreage to be physically disturbed?

1.0+- acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?

327+- acres

4. Check all land uses that occur on, adjoining and near the proposed action.

- Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)
 Forest Agriculture Aquatic Other (specify): _____
 Parkland

	NO	YES	N/A
5. Is the proposed action:			
a. a permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	
additional impervious areas will be directed to drywells, for infiltration			

18. Does the proposed action include construction or other activities that result in the impounding of water or other liquids (e.g. retention pond, waste lagoons, dam)? NO YES
 If Yes, explain purpose and size:

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? NO YES
 If Yes, describe:

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? NO YES
 If Yes, describe:

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant sponsor name: CHAO JELLS Date: 8-29-23
 Signature: [Signature]

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No. or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: <ul style="list-style-type: none"> a. public private water supplies? b. public private wastewater treatment utilities? 	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

No. or small impact may occur	Moderate to large impact may occur
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10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?

11. Will the proposed action create a hazard to environmental resources or human health?

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

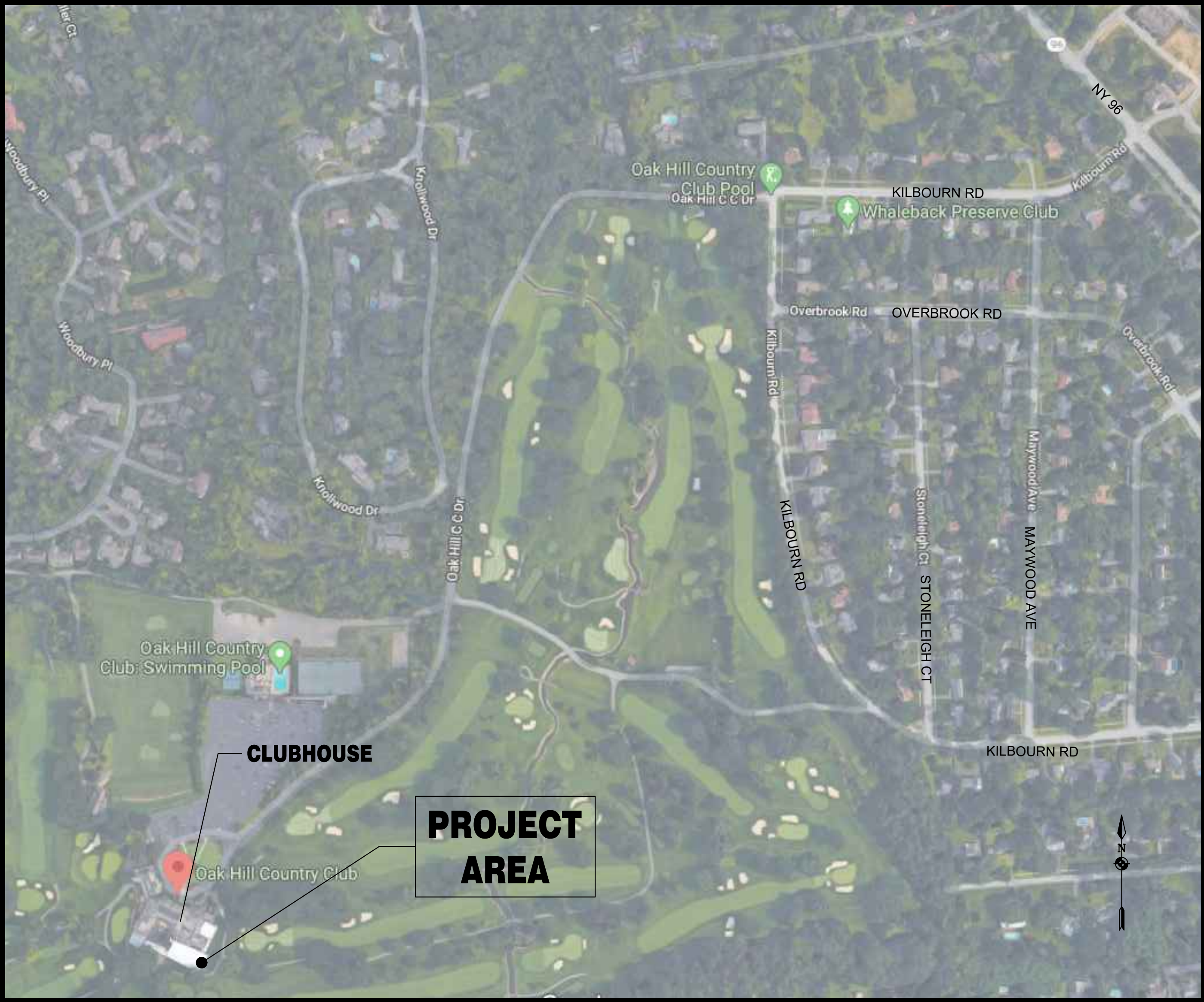
Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

OAK HILL COUNTRY CLUB CLUBHOUSE EXPANSION

**Oak Hill Country Club
145 Kilbourn Road
Rochester, NY 14618**



LOCATION MAP
NOT TO SCALE

PREPARED FOR
Oak Hill Country Club
145 Kilbourn Road
Rochester, NY 14618
585-586-1660

INDEX OF DRAWINGS		
DRAWING NUMBER	DRAWING NAME	SHEET NUMBER
CV1	COVER SHEET	1 of 10
EX-1	EXISTING CONDITIONS	2 of 10
C001	GENERAL NOTES	3 of 10
C010	DEMOLITION PLAN	4 of 10
C100	SITE PLAN	5 of 10
C110	UTILITY PLAN	6 of 10
C120	GRADING AND EROSION CONTROL PLAN	7 of 10
C500	MISCELLANEOUS DETAILS	8 of 10
C501	MISCELLANEOUS DETAILS	9 of 10
C502	MISCELLANEOUS DETAILS	10 of 10
<u>LANDSCAPE PLANS BY SWBR</u>		
L-000	OVERALL SITE KEY PLAN	
L-101	OUTDOOR PATIO SITE PLAN	
L-102	SERVICE AREA SITE PLAN OPTIONS	
L-401	PLANTING PLANS	
L-501	LANDSCAPE DETAILS	

PREPARED BY:



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Suite 200
Rochester, NY 14604
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www.bergmannpc.com

Oak Hill Clubhouse Expansion

145 Kilbourn Road
Town of Pittsford

Oak Hill Country Club

145 Kilbourn Road
Rochester, NY 14618



Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
280 East Broad Street
Suite 200
Rochester, NY 14604

office: 585.232.5135
fax: 585.232.4652

www.bergmannpc.com

REVISIONS

NO.	DATE	DESCRIPTION	REV.	CK'D

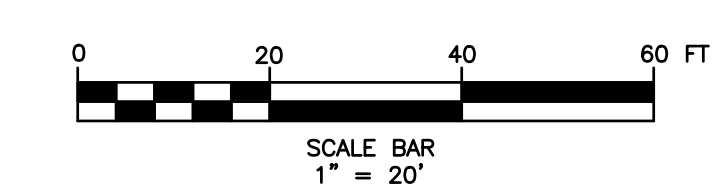


SITE LOCATION MAP
NOT TO SCALE



NOTES:

- 1) THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON AN INSTRUMENT LOCATION OF THE ABOVE GROUND FEATURES (MANHOLES, VALVES, HYDRANTS, ETC.) ALONG WITH RECORD UTILITY PLANS AND STAKEOUT IN THE FIELD BY THEIR RESPECTIVE COMPANIES. UNDERGROUND UTILITIES ARE NOT CERTIFIED TO THEIR LOCATION OR COMPLETENESS.
- 2) NO ABSTRACT OF TITLE PROVIDED. PROPERTY IS SUBJECT TO ANY EASEMENTS, ENCUMBRANCES OR RESTRICTIONS THAT AN ABSTRACT OF TITLE WOULD SHOW.
- 3) THE HORIZONTAL DATUM IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, WEST ZONE (NAD 83) THROUGH GPS OBSERVATIONS.
- 4) THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) THROUGH GPS OBSERVATIONS.



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EXISTING CONDITIONS SURVEY (CLUBHOUSE)

Drawing Number: **EX-1**

GENERAL NOTES:

1. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
2. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION(OSHA).
3. HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
4. REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
5. THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
6. IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE. USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
7. IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE MONROE COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
8. EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
9. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN A MINIMUM OF 2' OF COVER OVER ALL EXISTING AND NEW STORM AND SANITARY PIPES DURING CONSTRUCTION.
10. ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE. (NO SEPARATE PAYMENT).
11. AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE.
12. UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED MAY 1, 2008 AND ANY SUBSEQUENT APPENDICES.

STANDARD SANITARY SEWER EXTENSION NOTES:

1. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86 ENTITLED PRACTICE FOR LOW-PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES. SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION - TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (LATEST REVISION).
2. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER. NOTE: FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES FROM THE FLOOR DRAINS TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE MONROE COUNTY SEWER USE LAW.
3. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
4. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN PIPE SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PIPELINE PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS PIPES AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.

SANITARY SEWER NOTES:

1. ONLY DOMESTIC WASTE FROM THE PROJECT SHALL BE DISCHARGED INTO THE SANITARY SEWER.
2. ALL SANITARY LATERALS SHALL BE 4" PVC SDR-21 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
3. A MINIMUM OF 4 FEET OF COVER SHALL BE PROVIDED OVER ENTIRE LENGTH OF ALL SANITARY LATERALS.
4. SANITARY SEWER LATERAL (S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE TOWN OF PITTSFORD.
5. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
6. MAXIMUM SPACING BETWEEN CLEANOUTS ON SANITARY LATERALS MAY NOT EXCEED SEVENTY-FIVE (75) FEET.
7. MAXIMUM SPACING BETWEEN SANITARY MANHOLES MAY NOT EXCEED THREE-HUNDRED (300) FEET.
8. EXFILTRATION AND/OR INFILTRATION FOR SANITARY SEWERS SHALL BE LIMITED TO 100 GALLONS PER DAY, PER MILE OF PIPE, PER INCH DIAMETER, AND SHALL BE PERFORMED IN ACCORDANCE WITH DISTRICT PROCEDURES. AIR TESTS, INCLUDING VACUUM TESTS, SHALL NOT BE ALLOWED ON SANITARY MANHOLES.
9. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER ALL FINAL BACKFILL HAS BEEN IN PLACE AT LEAST THIRTY (30) DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF FIVE PERCENT (5%). IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A MINIMUM DIAMETER EQUAL TO NINETY-FIVE PERCENT (95%) OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
10. ALL MANHOLES SHALL BE 4' DIAMETER UNLESS OTHERWISE SPECIFIED ON PLANS.

STORM SEWER:

1. PLACE RIP-RAP AROUND ALL END SECTIONS.
3. IN INSTANCES WHERE THE STORM SEWER CROSSES THE SANITARY SEWER A CRUSHED STONE ENCASEMENT SHALL BE PROVIDED AROUND THE SANITARY SEWER UP TO THE STORM SEWER-COMPACT WITH APPROVED EQUIPMENT
4. ALL CATCH BASINS AND STORM MANHOLES WITHIN PAVEMENT TO BE CONSTRUCTED TO WITHSTAND H-20 LOADING.

GRADING NOTES:

1. REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 6" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEEDDED AS DIRECTED BY THE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS, INCLUDING SILT SINK AND SILT FENCE. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
3. ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
5. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, MONROE COUNTY HEALTH DEPARTMENT, AND THE TOWN OF PITTSFORD REQUIREMENTS.
6. ALL INLETS TO THE STORM SEWER SHALL HAVE STONE DROP INLET PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES (BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
7. SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
8. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
9. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.

SEQUENCE OF CONSTRUCTION:

1. PRE-CONSTRUCTION MEETING HELD BY PROJECT MANAGER AND THE OPERATOR'S ENGINEER PRIOR TO LAND DISTURBING ACTIVITIES.
2. CONSTRUCT TEMPORARY CONSTRUCTION EXITS AT LOCATIONS SHOWN ON THE GRADING AND EROSION CONTROL PLAN SHEET.
4. INSTALL PERIMETER SILT FENCES AND TEMPORARY SEDIMENT BASIN IN THE LOCATIONS SHOWN ON THE GRADING AND EROSION CONTROL PLAN SHEET.
5. INSTALL INTERCEPTOR SWALES IF NECESSARY.
6. BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE BUILDING IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
7. COMMENCE SITE GRADING.
8. INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES GREATER THAN 3:1.
9. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
10. INSTALL INLET/OUTLET PROTECTION AT THE LOCATIONS OF ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.
11. CONSTRUCT ALL CURB, GUTTER INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIP RAP AT LOCATIONS SHOWN ON THE PLANS.
12. REMOVE INLET PROTECTION AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
13. INSTALL BASE MATERIAL AS REQUIRED FOR PAVEMENT.
14. CARRY OUT FINAL GRADING AND SEEDING AND PLANTING.
15. REMOVE SILT FENCING ONLY AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES ARE STABILIZED.
16. REMOVE TEMPORARY CONSTRUCTION EXITS ONLY PRIOR TO PAVEMENT CONSTRUCTION IN THESE AREAS (THESE AREAS ARE TO BE PAVED LAST).

Oak Hill Clubhouse Expansion

145 Kilbourn Road
Town of Pittsford

Oak Hill Country Club

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10/04/23	PB SUBMISSION

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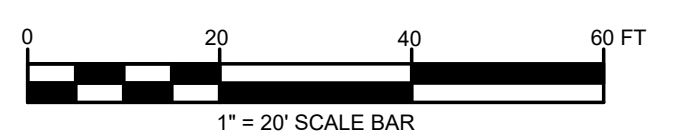
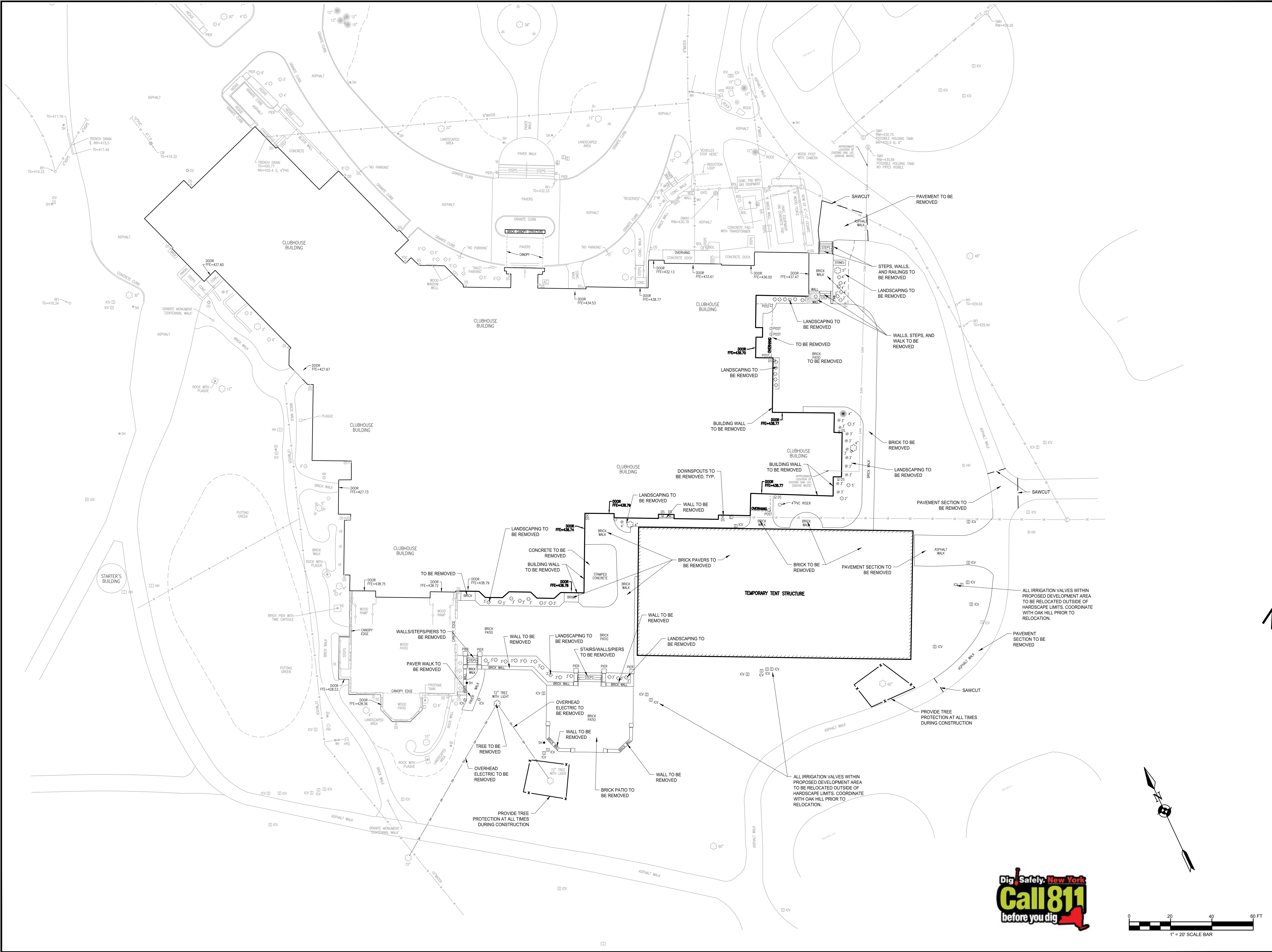
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Project Manager: B. BURRI	Checked By: K. HURLEY
Designed By: T. BOLT	Drawn By: T. BOLT
Date Issued: 08/23/23	Project Number: 16154.00

GENERAL NOTES

Grading Number

C001



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APPROVED BY: _____
PITTSFORD DPW

DATE: _____

APPROVED BY: _____
TOWN ENGINEER

DATE: _____

APPROVED BY: _____
PLANNING BOARD CHAIRPERSON

DATE: _____

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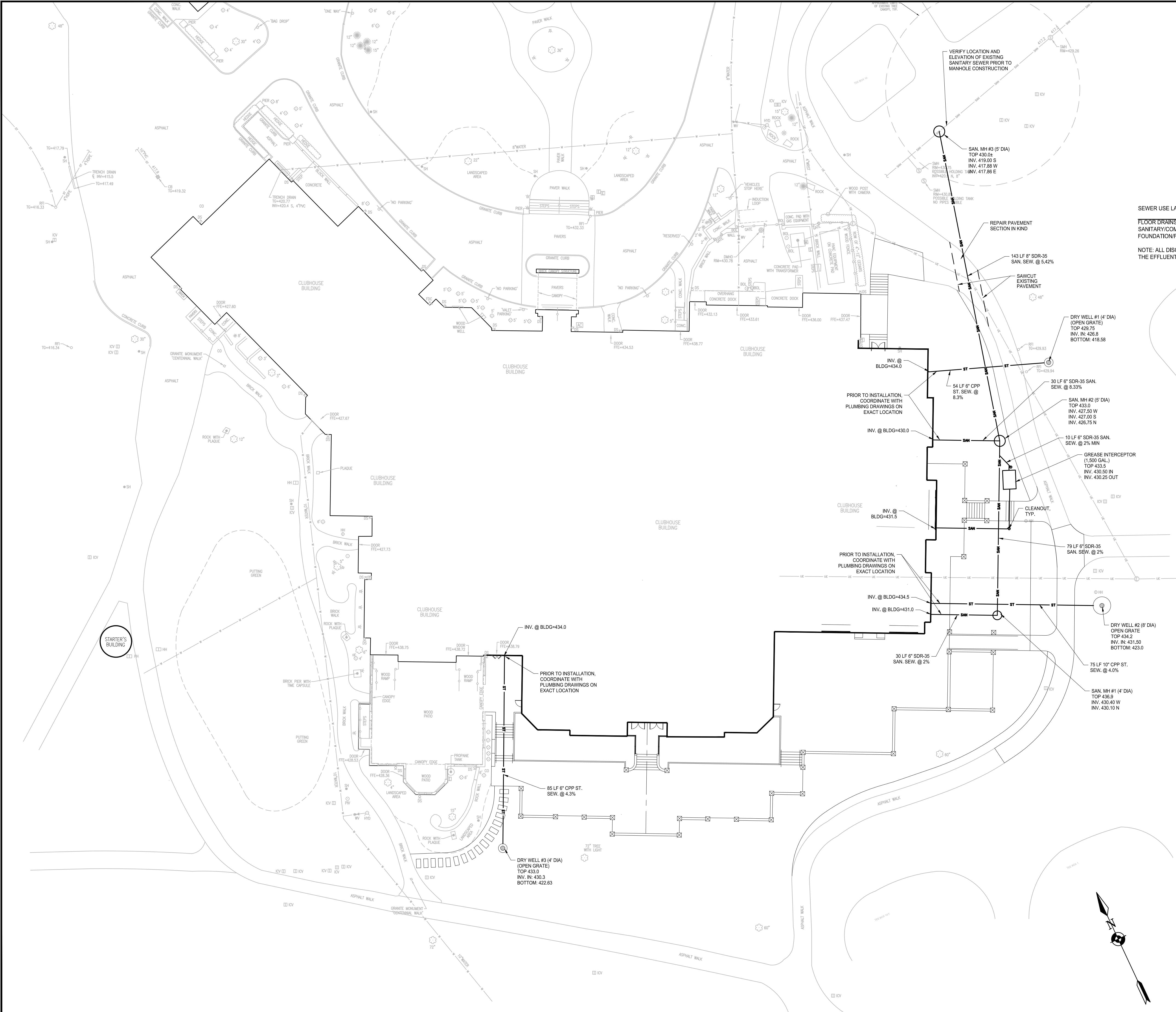
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Designed By: T. BOLT	Drawn By: T. BOLT
Date Issued: 08/23/23	Project Number: 16154.00

DEMOLITION PLAN

Drawing Number

C010



MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

THESE PLANS FOR PUBLIC SANITARY SEWER SYSTEM EXTENSION/IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.

DIRECTOR OF PUBLIC HEALTH

BY _____ PUBLIC HEALTH ENGINEER DATE _____

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION/IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO 10NYCRRS OF THE STATE SANITARY CODE SUBJECT TO CONDITIONS OF APPROVAL.

DIRECTOR OF PUBLIC HEALTH

BY _____ PUBLIC HEALTH ENGINEER DATE _____

SEWER USE LAW NOTE:

FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS.

NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND OR MONROE COUNTY SEWER USE LAW.

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DATE: _____

APPROVED BY:

TOWN ENGINEER

DATE: _____

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PLANNING BOARD CHAIRPERSON

DATE: _____

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Designed By: T. BOLT	Drawn By: T. BOLT
Date Issued: 08/23/23	Project Number: 16154.00

0 20 40 60 FT
1" = 20' SCALE BAR

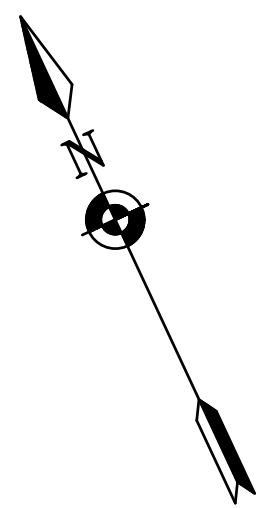
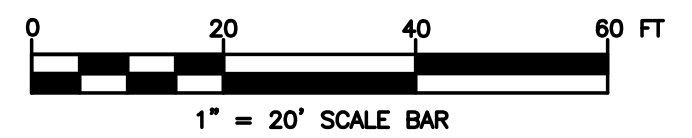
UTILITY PLAN

C110



LEGEND

	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED SILT FENCE
	TOP OF PAVEMENT ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	FINISH GRAE ELEVATION
	SPOT ELEVATION



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DATE:	_____
APPROVED BY:	_____
	TOWN ENGINEER
DATE:	_____
APPROVED BY:	_____
	PLANNING BOARD CHAIRPERSON
DATE:	_____

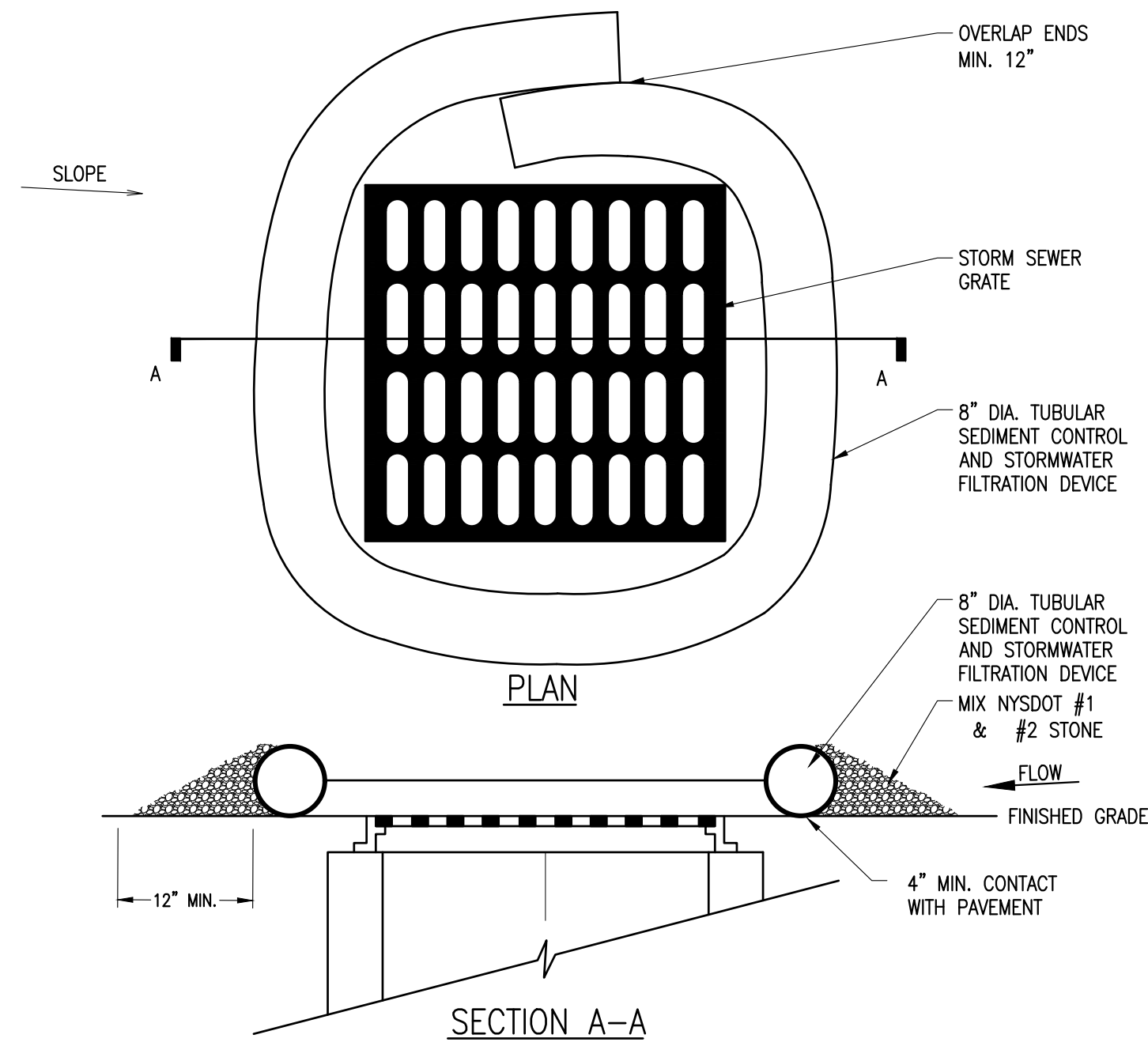
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GRADING AND EROSION CONTROL PLAN

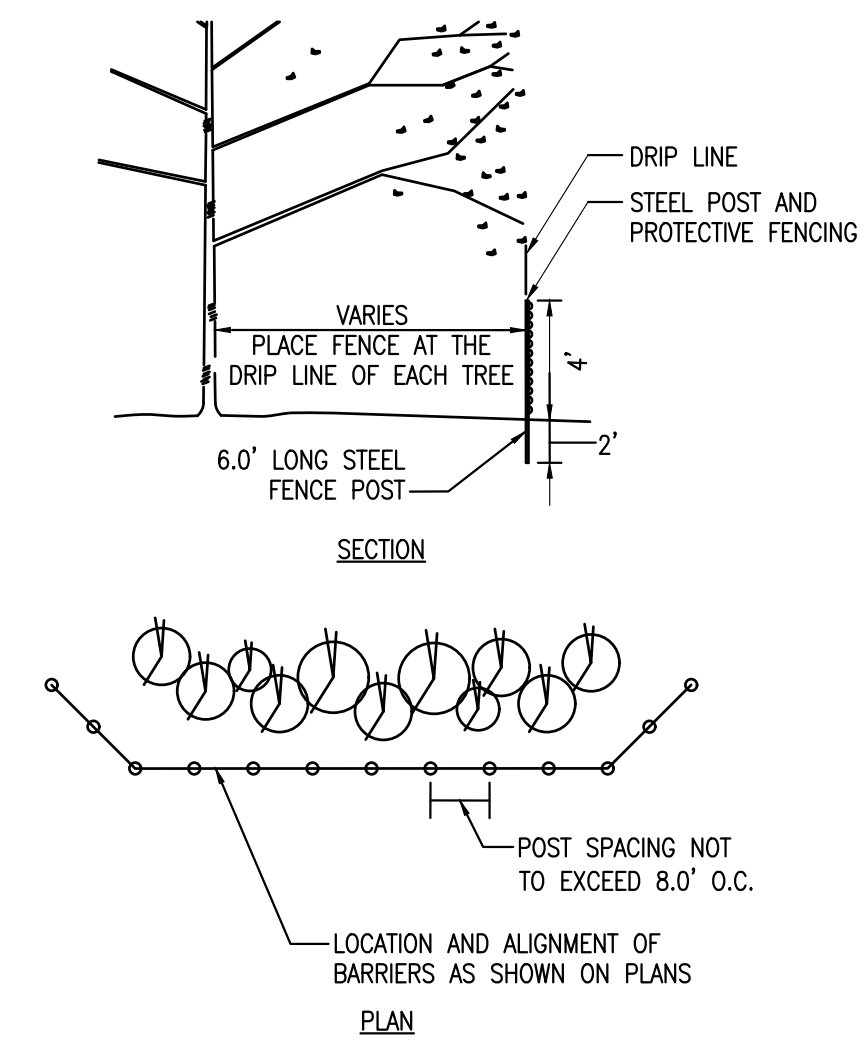
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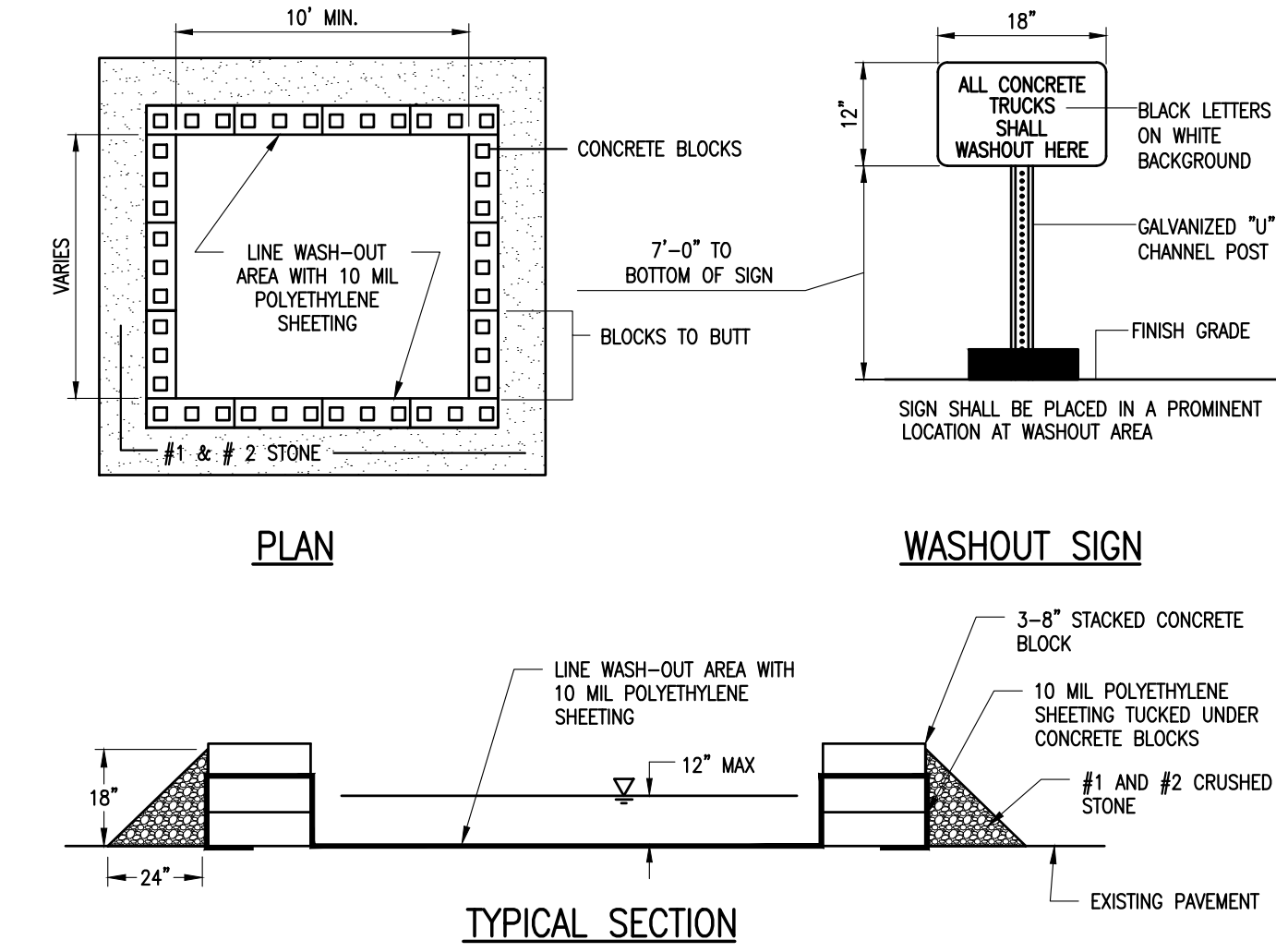


- NOTES:**
- TUBULAR SEDIMENT CONTROL AND STORMWATER FILTRATION DEVICES SHALL BE FILTREXX FILTERSOXX, OR EQUIVALENT.
 - REPLACE AND DISPOSE OF PER MANUFACTURERS SPECIFICATIONS.
 - THIS PRACTICE INCLUDES SANDBAGS, COMPOST FILTER SOCKS, GEO-TUBES FILLED WITH BALLAST, AND MANUFACTURED SURFACE BARRIERS. PEA GRAVEL CAN ALSO BE USED IN CONJUNCTION WITH THESE PRACTICES TO IMPROVE PERFORMANCE. WHEN INLET IS NOT AT A LOW POINT, AND IS OFF-SET FROM THE PAVEMENT OR GUTTER LINE, PROTECTION SHOULD BE SELECTED AND INSTALLED SO THAT FLOWS ARE NOT DIVERTED AROUND INLET.
 - THE DRAINAGE AREA SHOULD BE LIMITED TO 1 ACRE AT THE DRAINAGE INLET. ALL PRACTICES WILL BE PLACED AT THE INLET PERIMETER OR BEYOND TO MAXIMIZE THE FLOW CAPACITY OF THE INLET. PRACTICES SHALL BE WEIGHTED, BRACED, TIED, OR OTHERWISE ANCHORED TO PREVENT MOVEMENT OR SHIFTING OF LOCATION ON PAVED SURFACES. TRAFFIC SAFETY SHALL BE INTEGRATED WITH THE USE OF THIS PRACTICE. ALL PRACTICES SHOULD BE MARKED WITH TRAFFIC SAFETY CONES AS APPROPRIATE. STRUCTURE HEIGHT SHALL NOT CAUSE FLOODING OR BY-PASS FLOW THAT WOULD CAUSE ADDITIONAL EROSION. THE STRUCTURE SHOULD BE INSPECTED AFTER EVERY STORM EVENT. ANY SEDIMENT SHOULD BE REMOVED AND DISPOSED OF ON THE SITE. ANY BROKEN OR DAMAGED COMPONENTS SHOULD BE REPLACED. CHECK ALL MATERIALS FOR PROPER ANCHORING AND SECURE AS NECESSARY.
 - IF USING THE COMPOST FILTER SOCK, THE COMPOST INFILL SHALL BE WELL DECOMPOSED (MATURED AT LEAST 3 MONTHS), WEED-FREE, ORGANIC MATTER. IT SHALL BE AEROBICALLY COMPOSTED, POSSESS NO OBJECTIONABLE ODORS, AND CONTAIN LESS THAN 1% BY DRY WEIGHT, OF MANMADE FOREIGN MATTER. WHEN USING COMPOST FILTER SOCKS ADJACENT TO SURFACE WATER, THE COMPOST SHOULD HAVE LOW NUTRIENT VALUE.

PAVED SURFACE INLET PROTECTION DETAIL
 N.T.S.

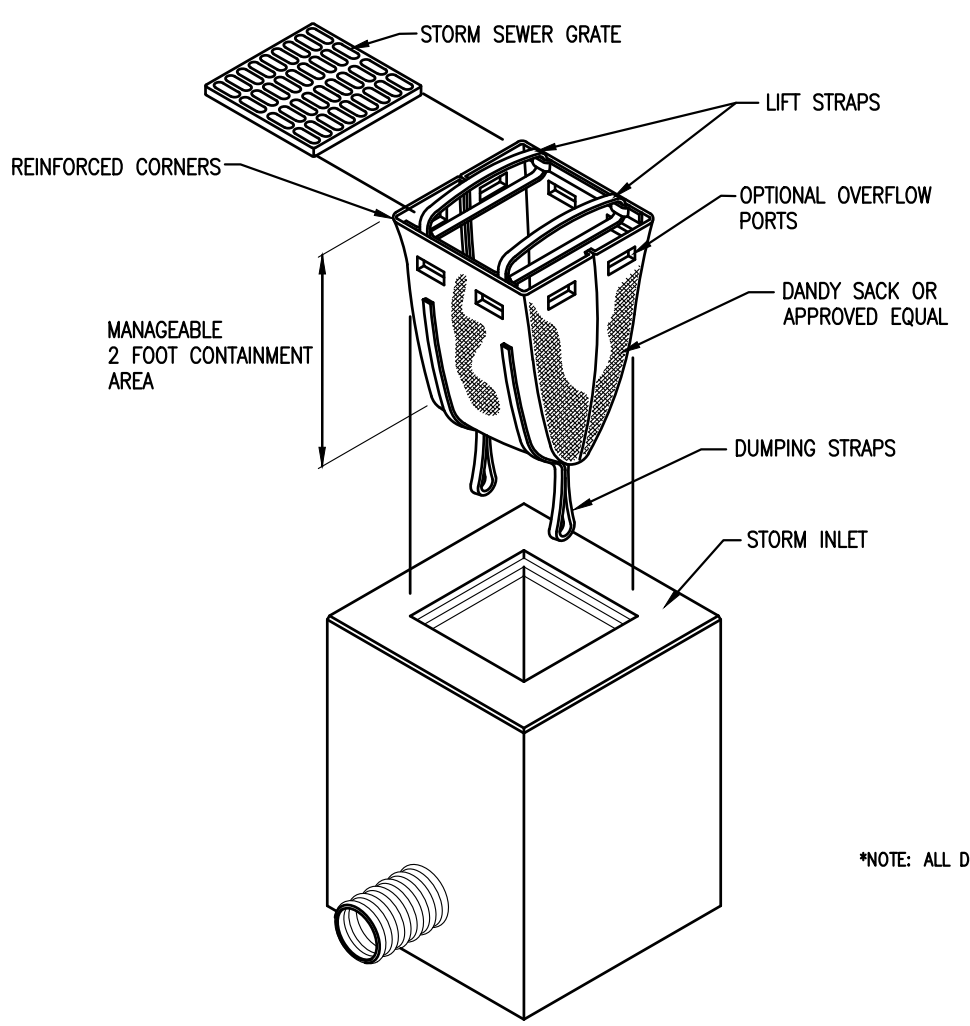


VEGETATION PROTECTION BARRIER DETAIL
 N.T.S.



- NOTES:**
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 1/2 FULL.
 - WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 - INSTALL CONCRETE BLOCKS IN A SINGLE ROW AROUND THE PERIMETER OF THE WASH-OUT AREA WITH ENDS OF ADJACENT BLOCKS ABUTTING.

CONCRETE WASHOUT AREA ON PAVEMENT
 N.T.S.

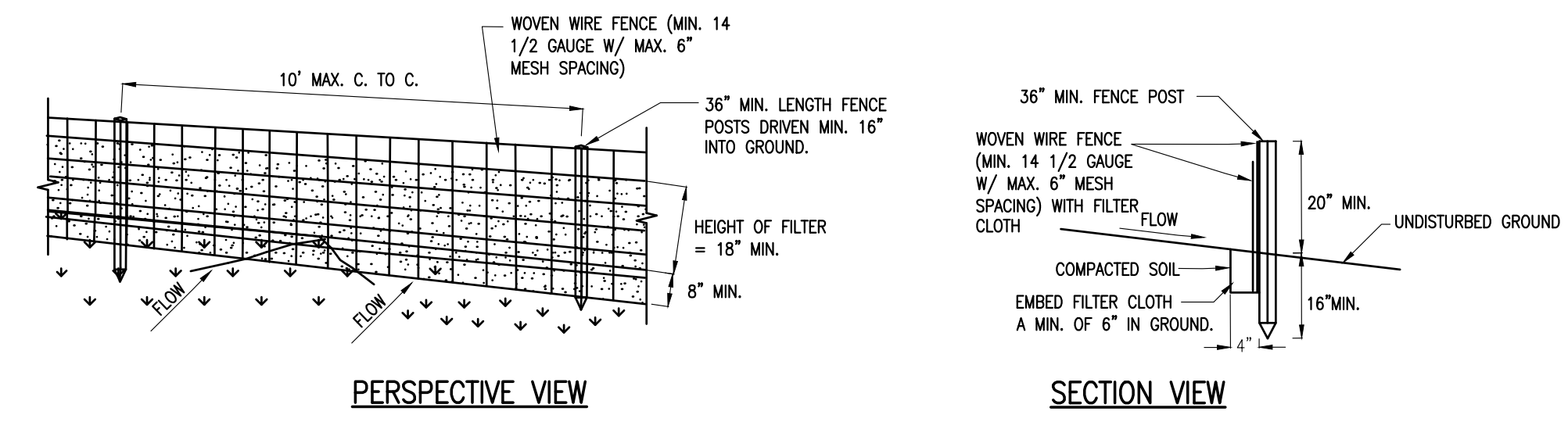


REGULAR FLOW DANDY SACK™ (BLACK)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
GRAB TENSILE ELONGATION	ASTM D 4632	%	15 x 15
PUNCTURE STRENGTH	ASTM D 4833	kN (lbs)	0.67 (150)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	5506 (800)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	l/min/m ² (gal/min/ft ²)	2852 (70)
PERMITTIVITY	ASTM D 4491	Sec ⁻¹	0.90

*NOTE: ALL DANDY SACKS™ CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PILLOWS

FILTER SACK INLET PROTECTION
 N.T.S.



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAF 100X, STABILINA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE INSTALLATION DETAIL
 N.T.S.

Oak Hill Clubhouse Expansion

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Designed By: T. BOLT	Drawn By: T. BOLT
Date Issued: 08/23/23	Project Number: 16154.00

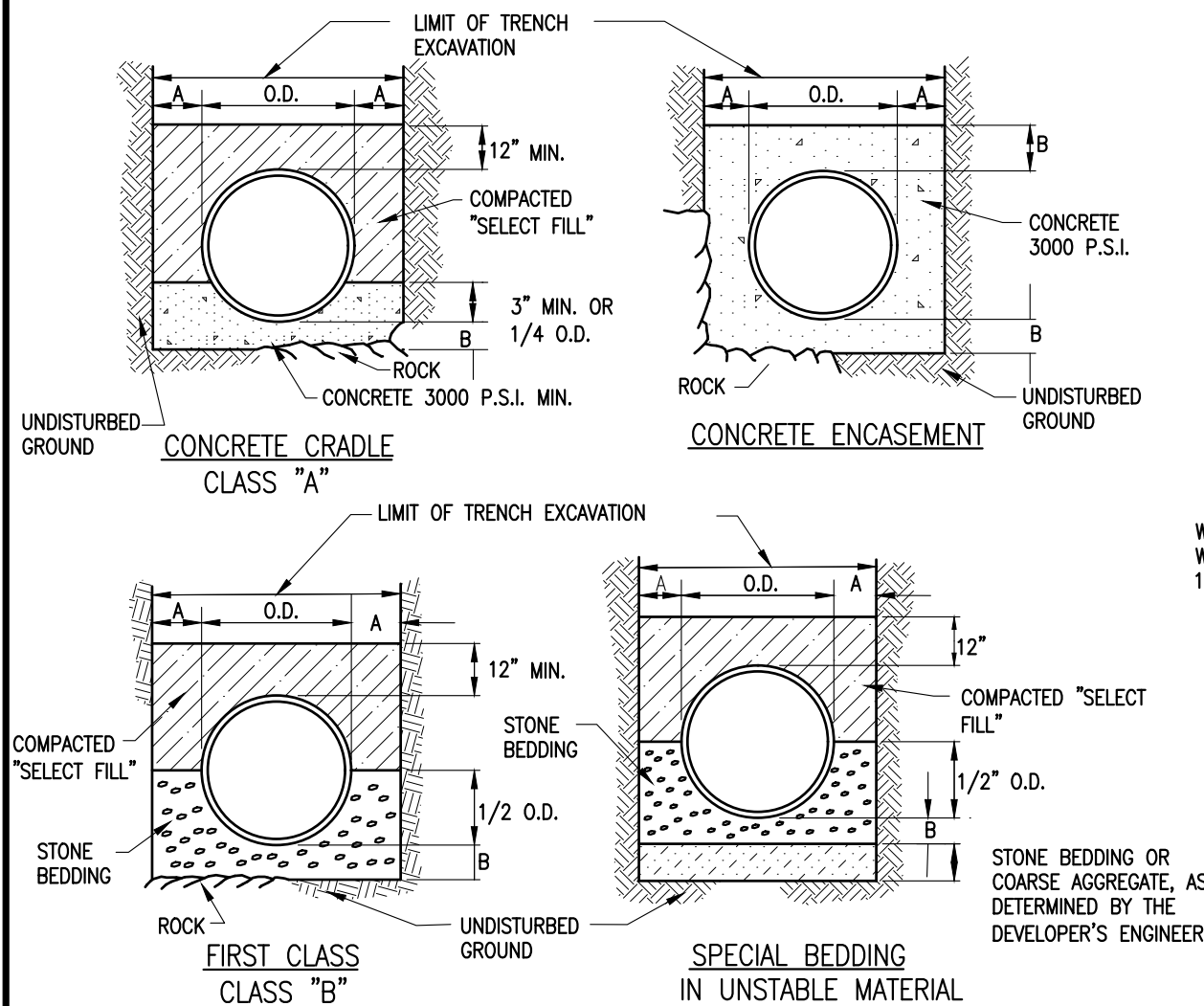
MISCELLANEOUS DETAILS

Drawing Number

C500

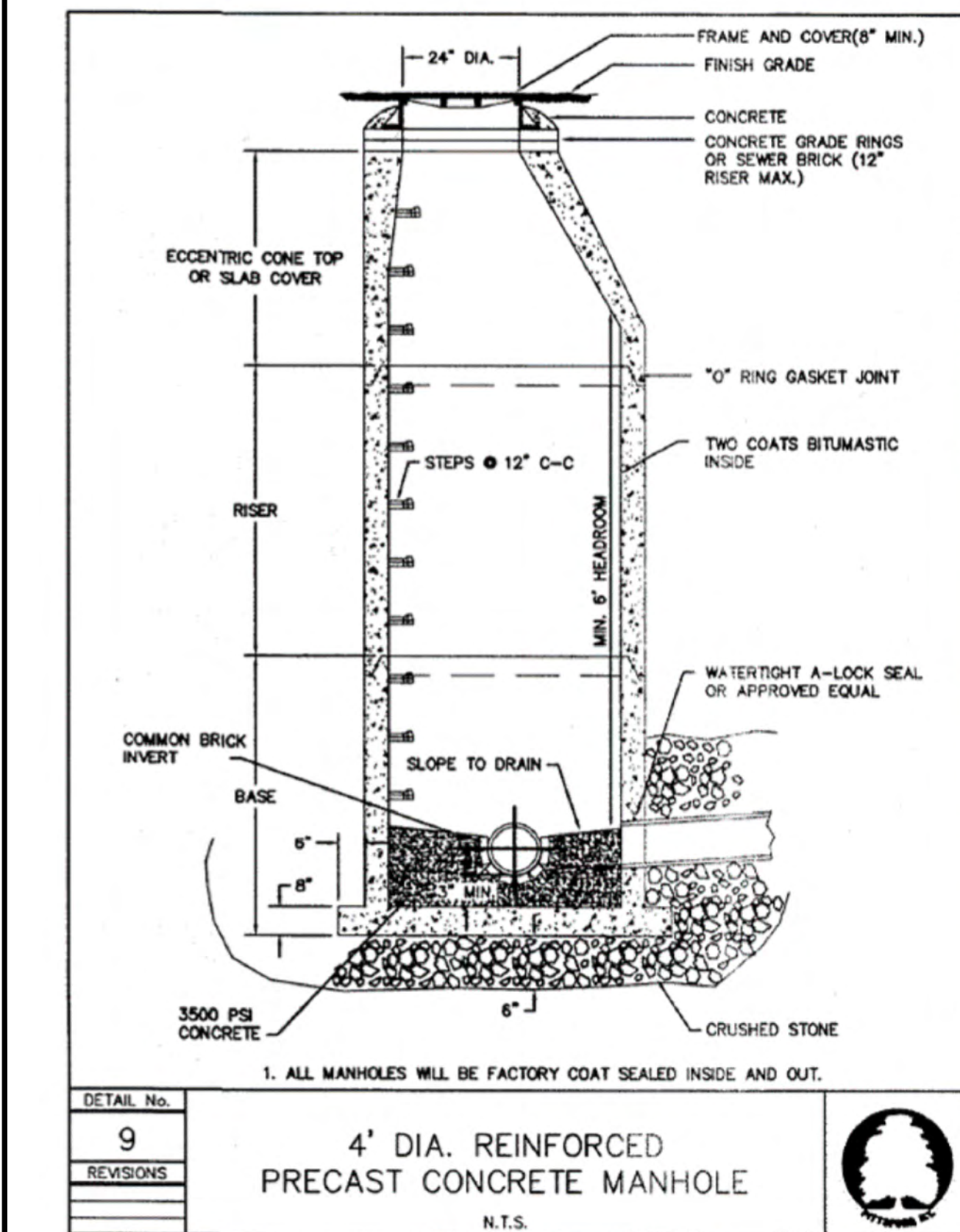
NOTES:

1. SELECT FILL SHALL BE SAND, GRAVEL, AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION BUT NONE OVER TWO INCHES IN GREATEST DIMENSION, MEETING ASTM 1A, B, OR II.
2. STONE BEDDING SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION, MAY, 2008 EDITION, AS REVISED, SUBSECTION 703-01 "FINE AGGREGATE". PRIMARY SIZE 1 OR A MIXTURE OF PRIMARY SIZES 1 AND 2. OR ASTM CLASS 1A.
3. COARSE AGGREGATE SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION, MAY, 2008 EDITION, AS REVISED, SUBSECTION 703-02 "COARSE AGGREGATE". PRIMARY SIZE 3 AND/OR 4.
4. THIS FIGURE APPLIES TO SANITARY, STORM AND COMBINED MAINLINE AND LATERAL PIPE INSTALLATIONS AS WELL AS FORCE MAINS.
5. FIRST CLASS BEDDING SHALL BE USED UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.

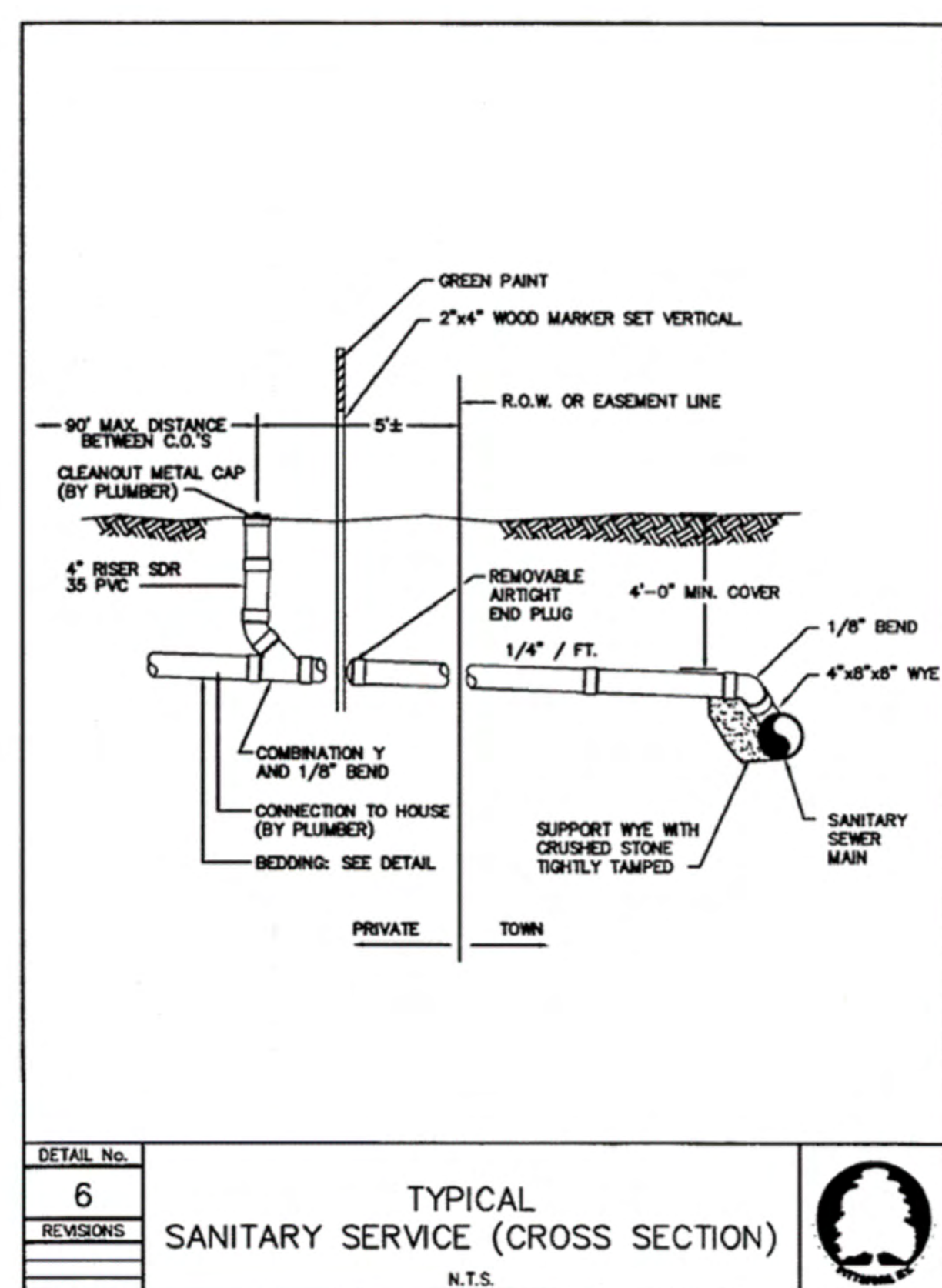


PIPE DIA.	DM. A	DM. B
UP TO 18"	1.0'	6"
21" TO 36"	1.5'	9"
OVER 36"	1.5'	12"

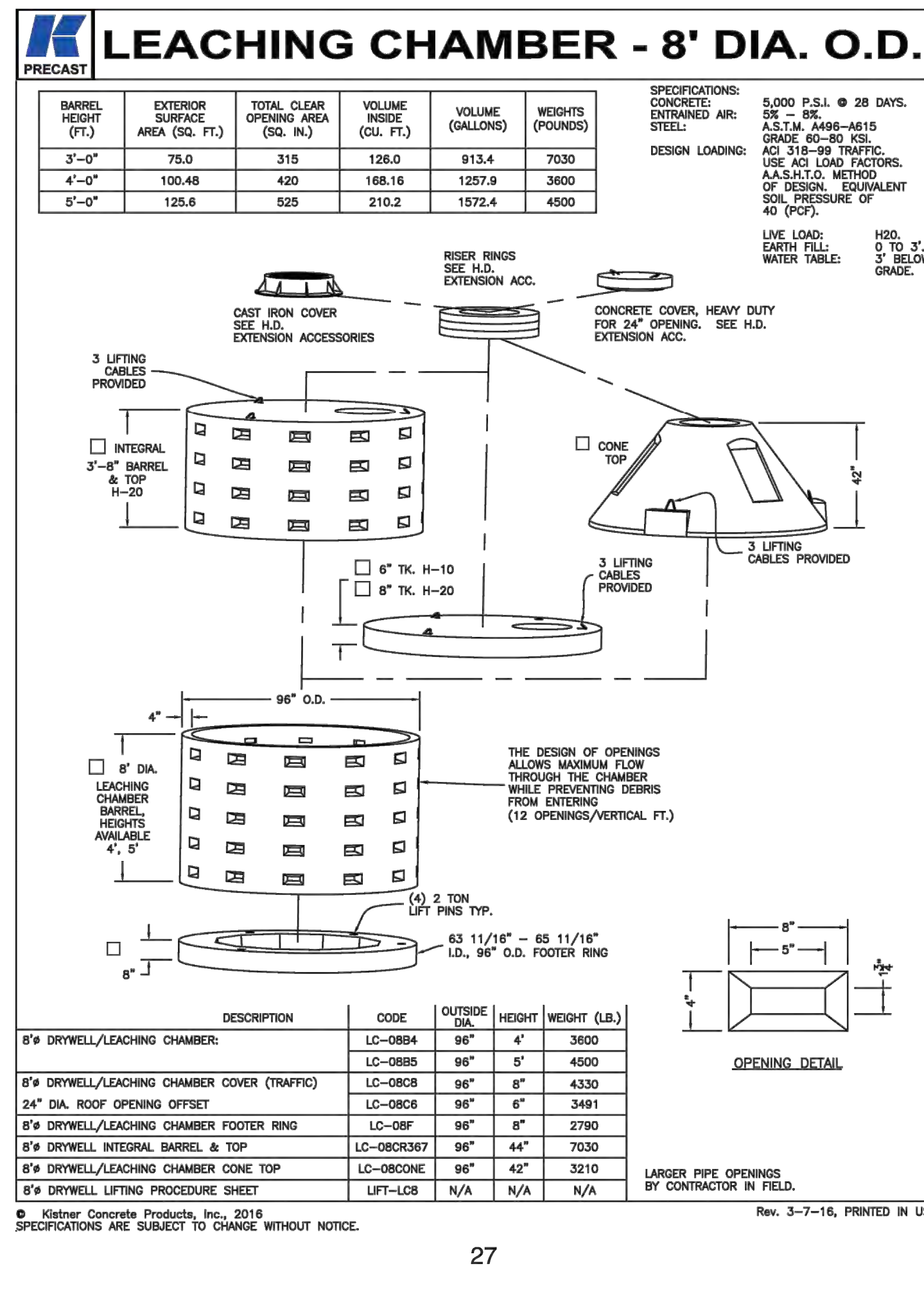
UTILITY BEDDING MATERIAL DETAIL N.T.S.



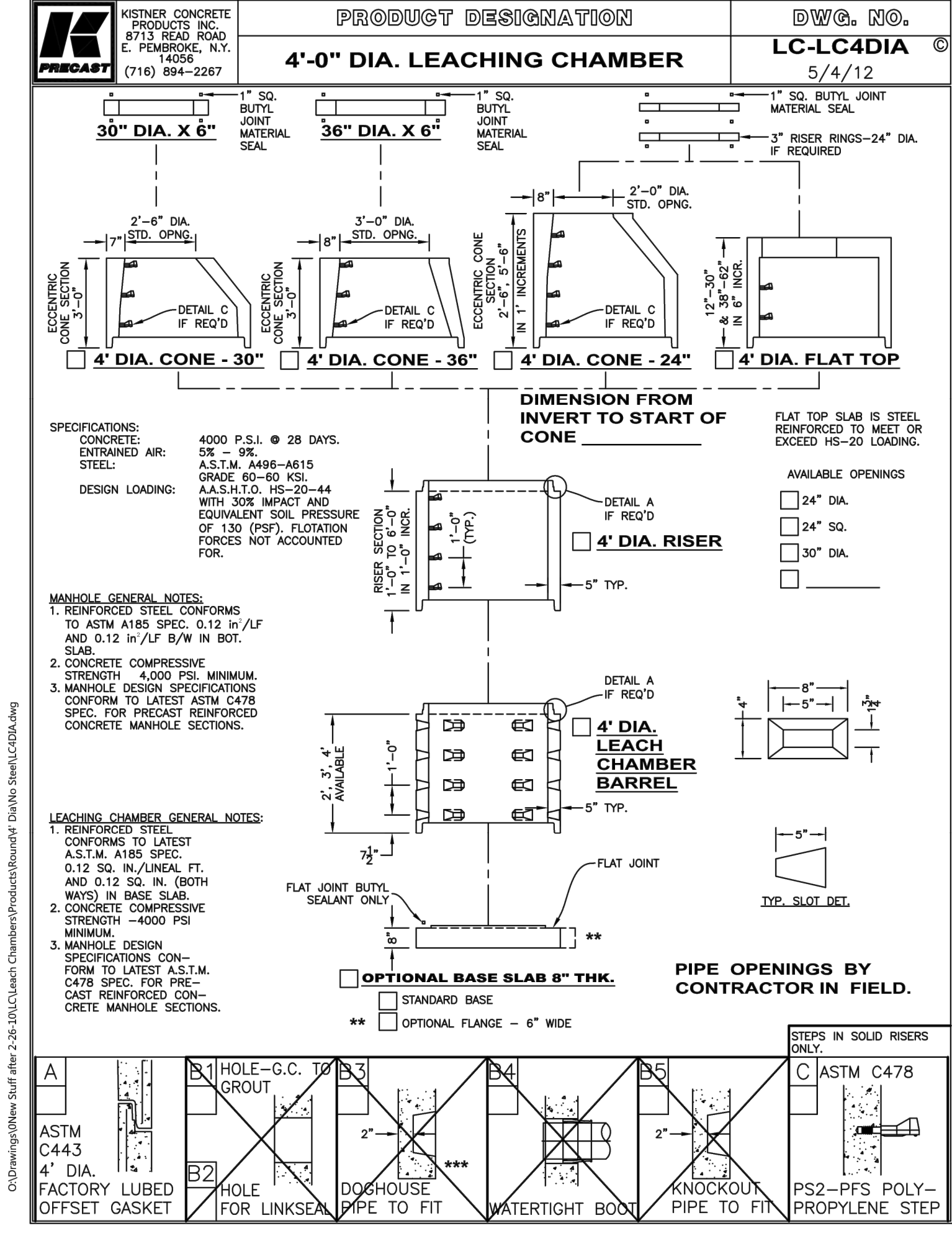
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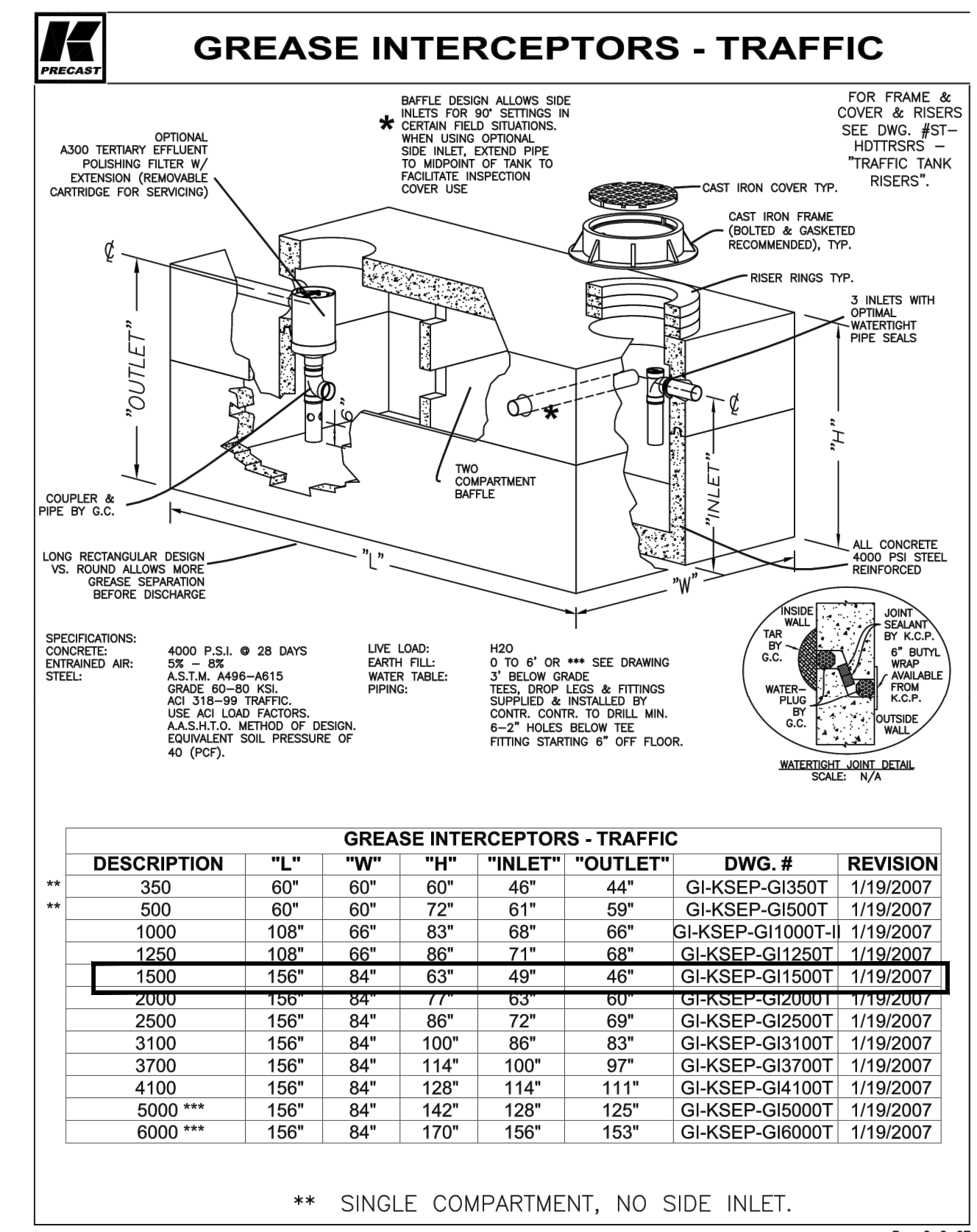
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REVISIONS	



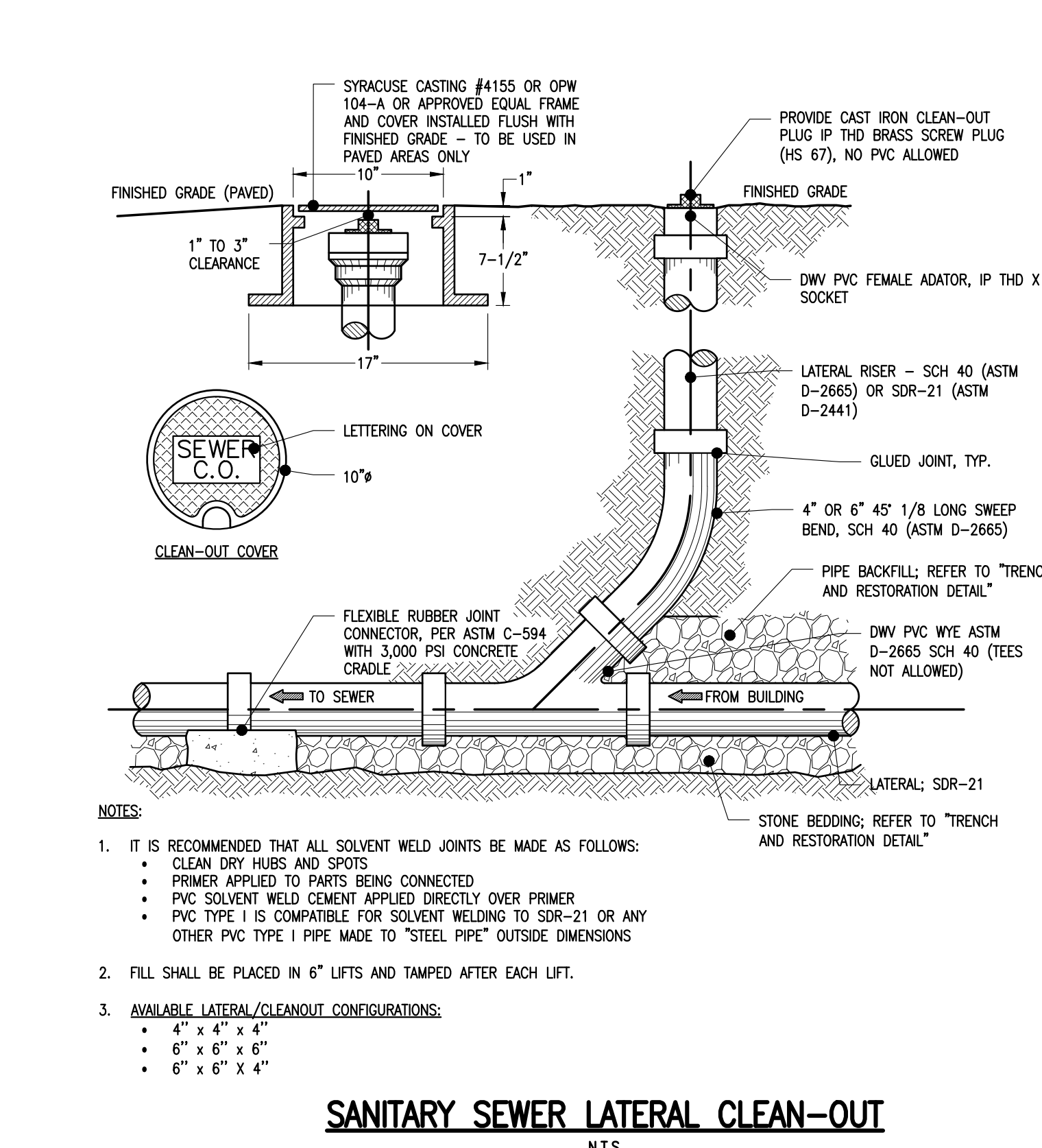
LEACHING CHAMBER - 8' DIA. O.D. N.T.S.



4'-0" DIA. LEACHING CHAMBER LC-LC4DIA 5/4/12 N.T.S.



GREASE INTERCEPTORS - TRAFFIC N.T.S.



SANITARY SEWER LATERAL CLEAN-OUT N.T.S.

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BERGMANN ARCHITECTS ENGINEERS PLANNERS

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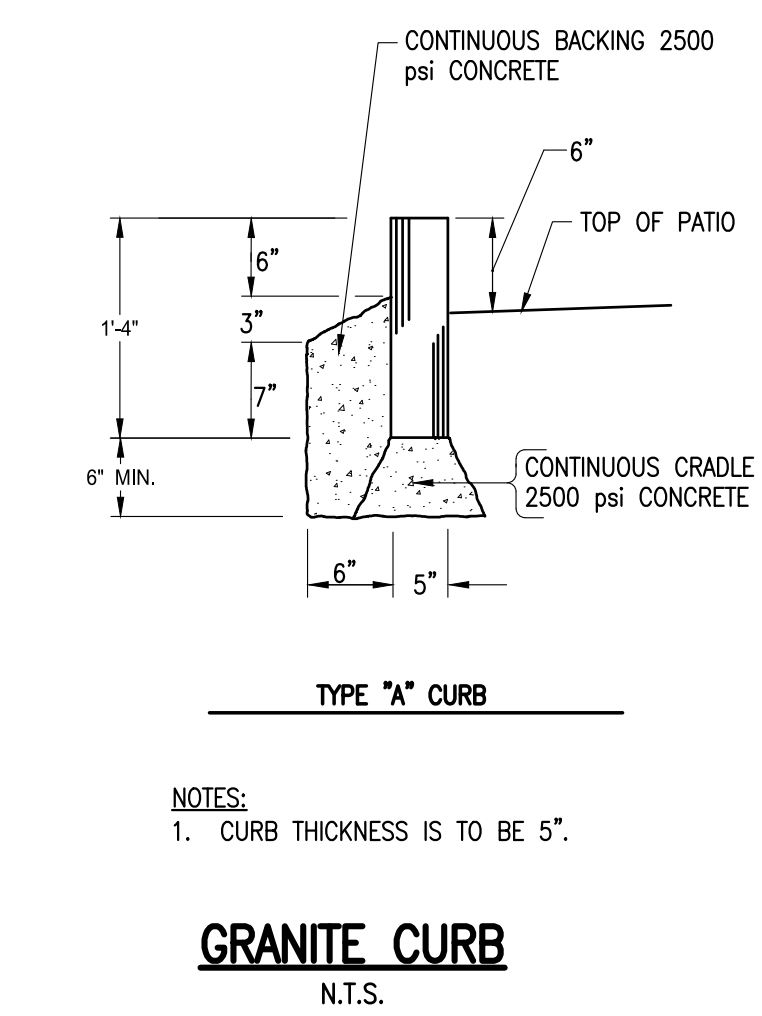
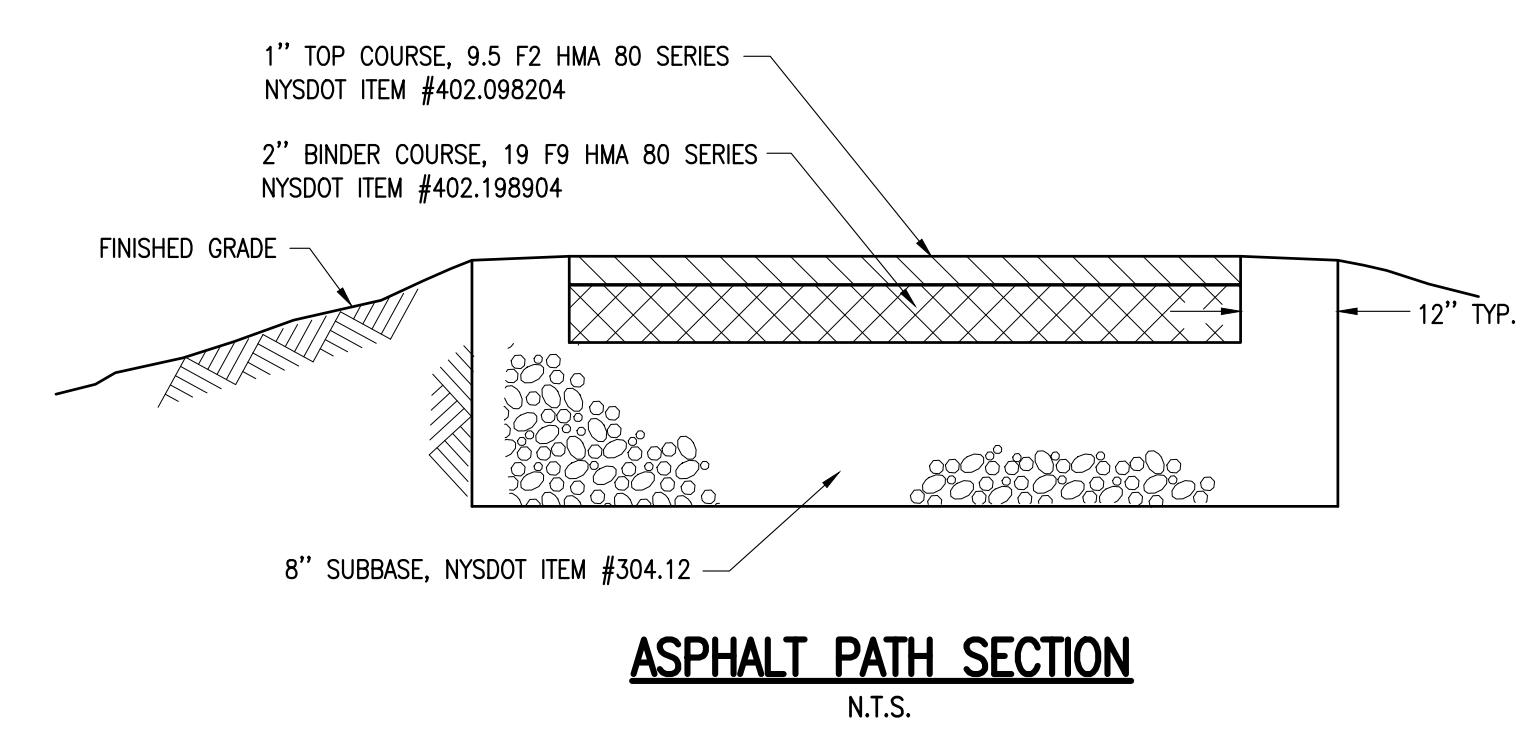
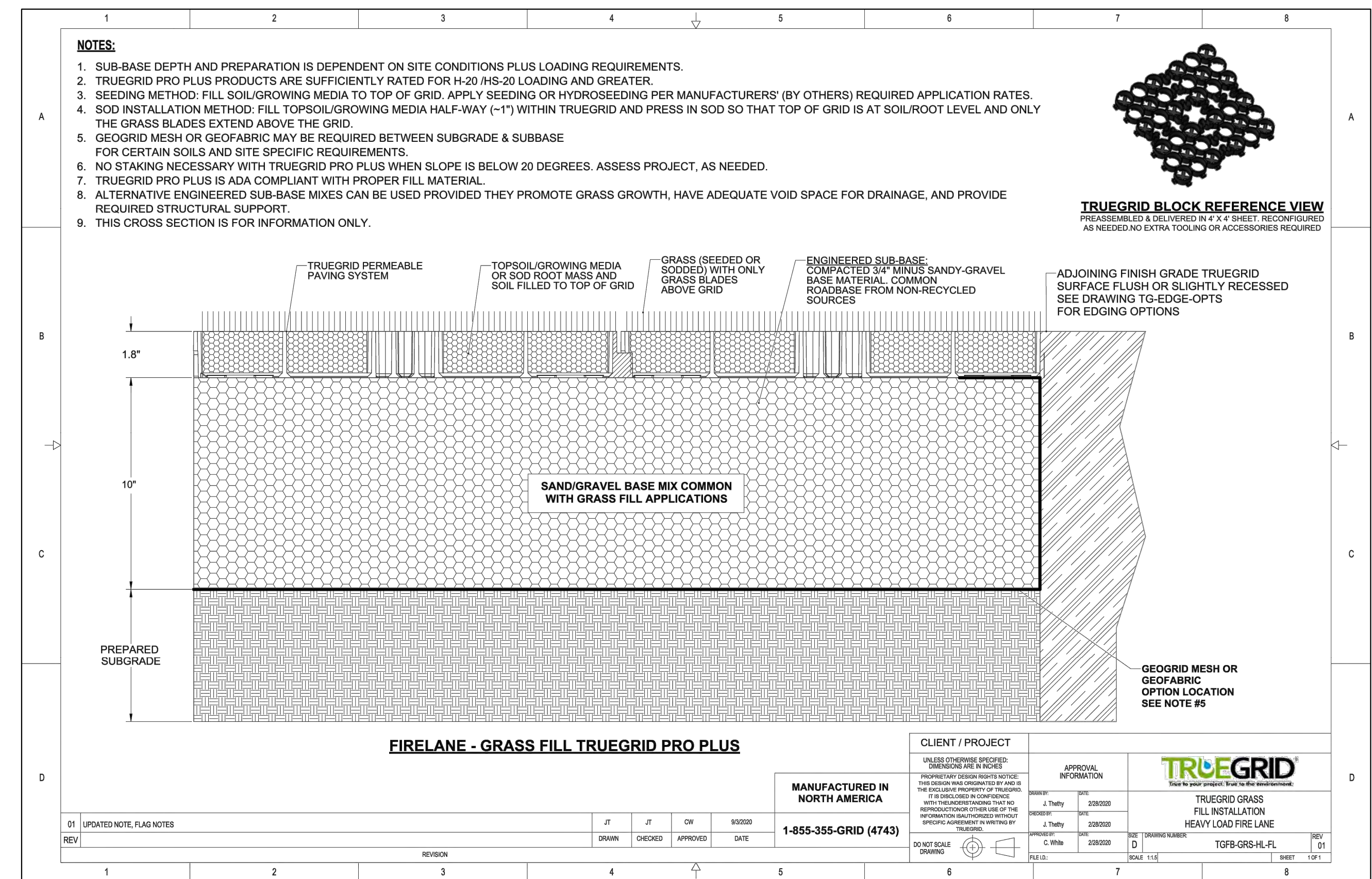
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Designed By: T. BOLT	Drawn By: T. BOLT
Date Issued: 06/23/23	Project Number: 16154.00

MISCELLANEOUS DETAILS

Drawing Number

C502



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TOWN ENGINEER

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PLANNING BOARD CHAIRPERSON

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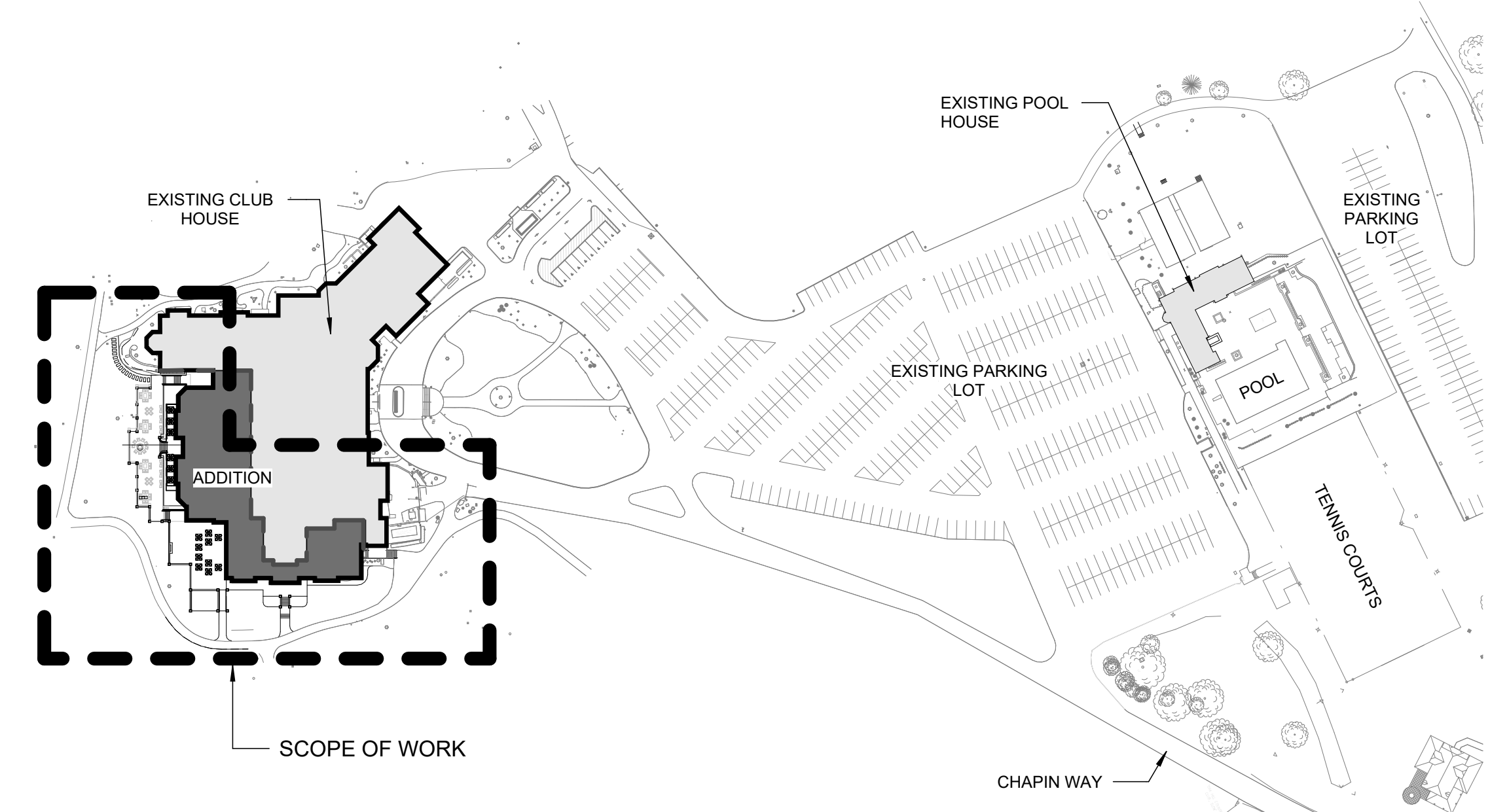
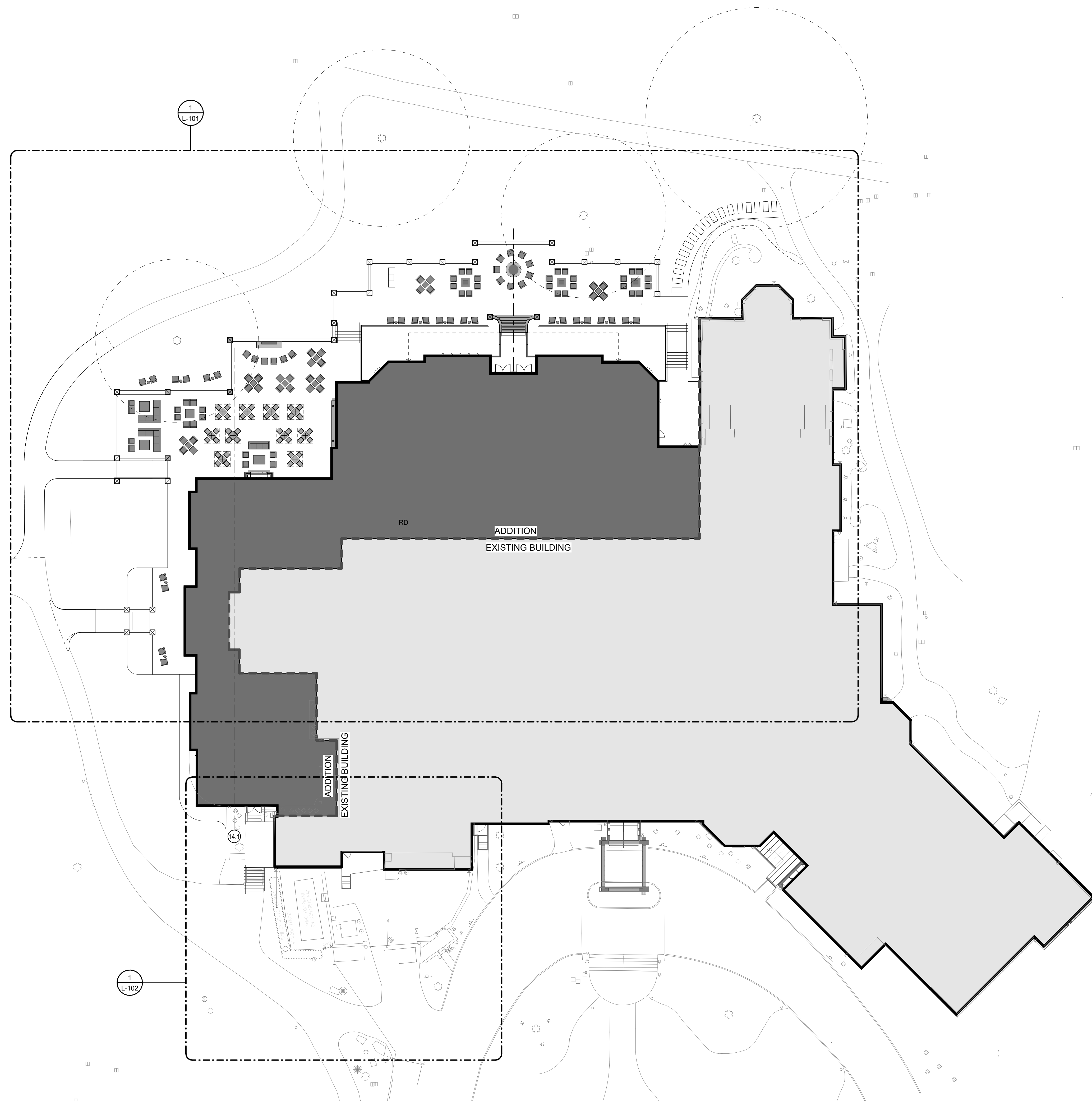
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MISCELLANEOUS DETAILS

Drawing Number

C501



2 CLUB HOUSE SITE KEY PLAN
1" = 20'-0"

1 SITE CONTEXT DIAGRAM
1" = 120'-0"

Drawn By: BMM
 Checked By: MMB
 Project Manager: ESR

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Revisions



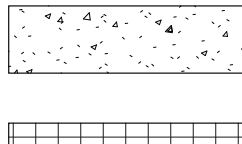
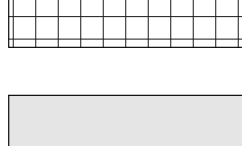
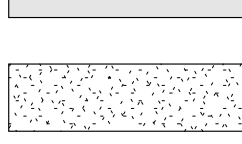
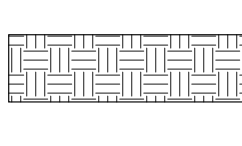
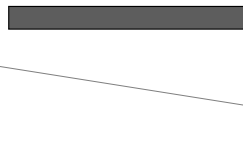
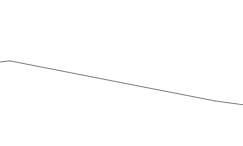
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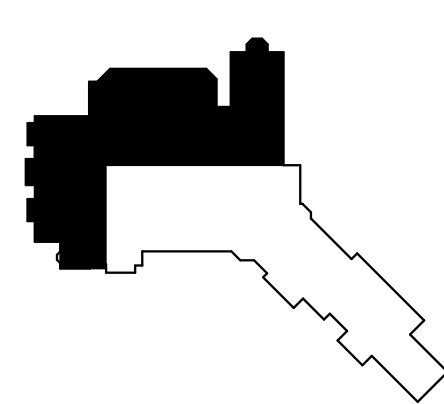
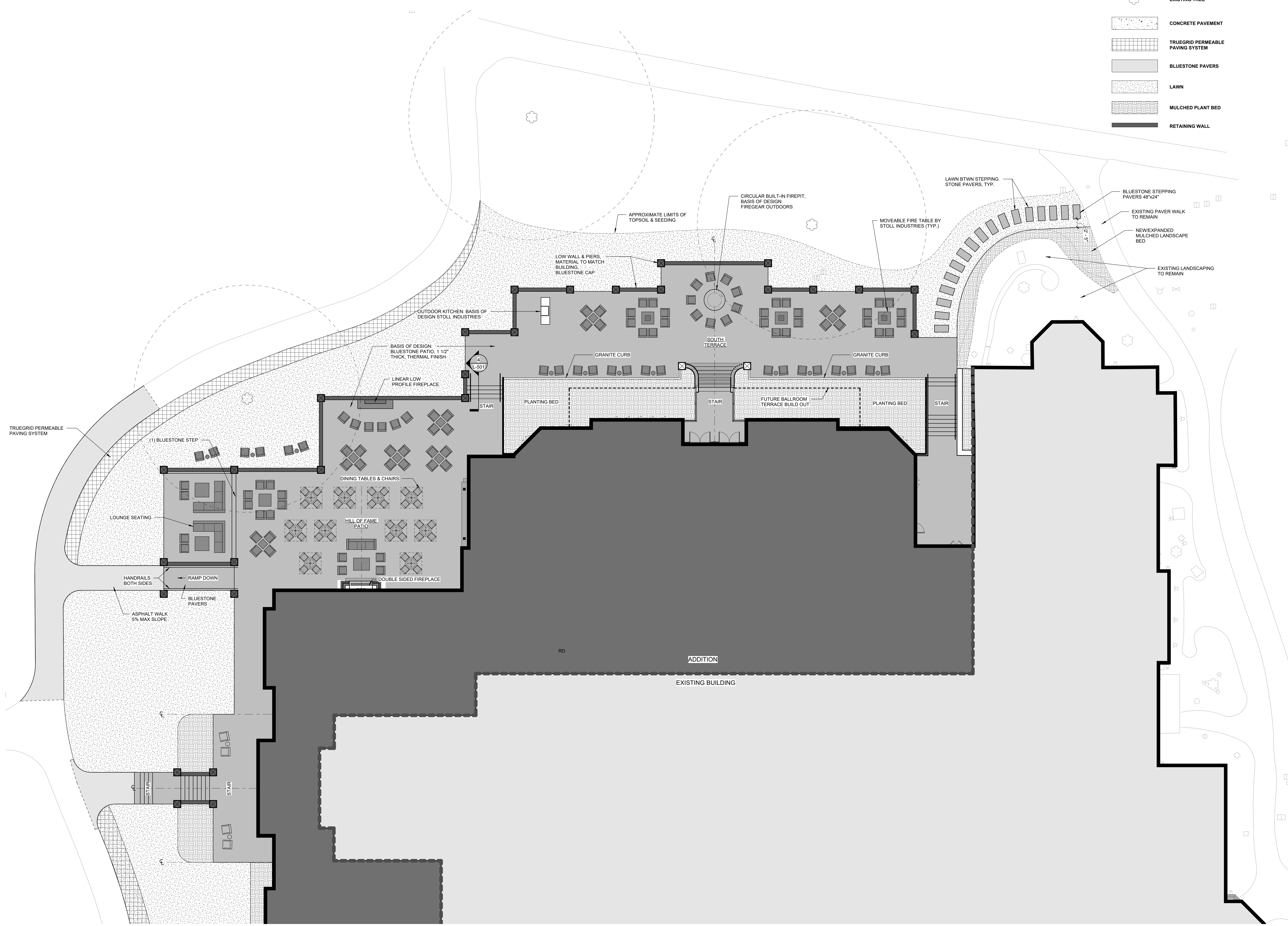
Oak Hill Renovations
 145 Kilbourn Rd
 Rochester, NY 14618
 SWBR Project Number 22071.00

Oak Hill Country Club
 145 Kilbourn Rd
 Rochester, NY 14618

L-000
Overall Site Key Plan

LEGEND

-  PROPERTY LINE
-  EXISTING TREE
-  CONCRETE PAVEMENT
-  TRUEGRID PERMEABLE PAVING SYSTEM
-  BLUESTONE PAVERS
-  LAWN
-  MULCHED PLANT BED
-  RETAINING WALL



Drawn By: BMM
 Checked By: MMB
 Project Manager: ESR

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Revisions

No.	Description

Oak Hill Renovations
 145 Kilbourn Rd
 Rochester, NY 14618
 SWBR Project Number 22071.00

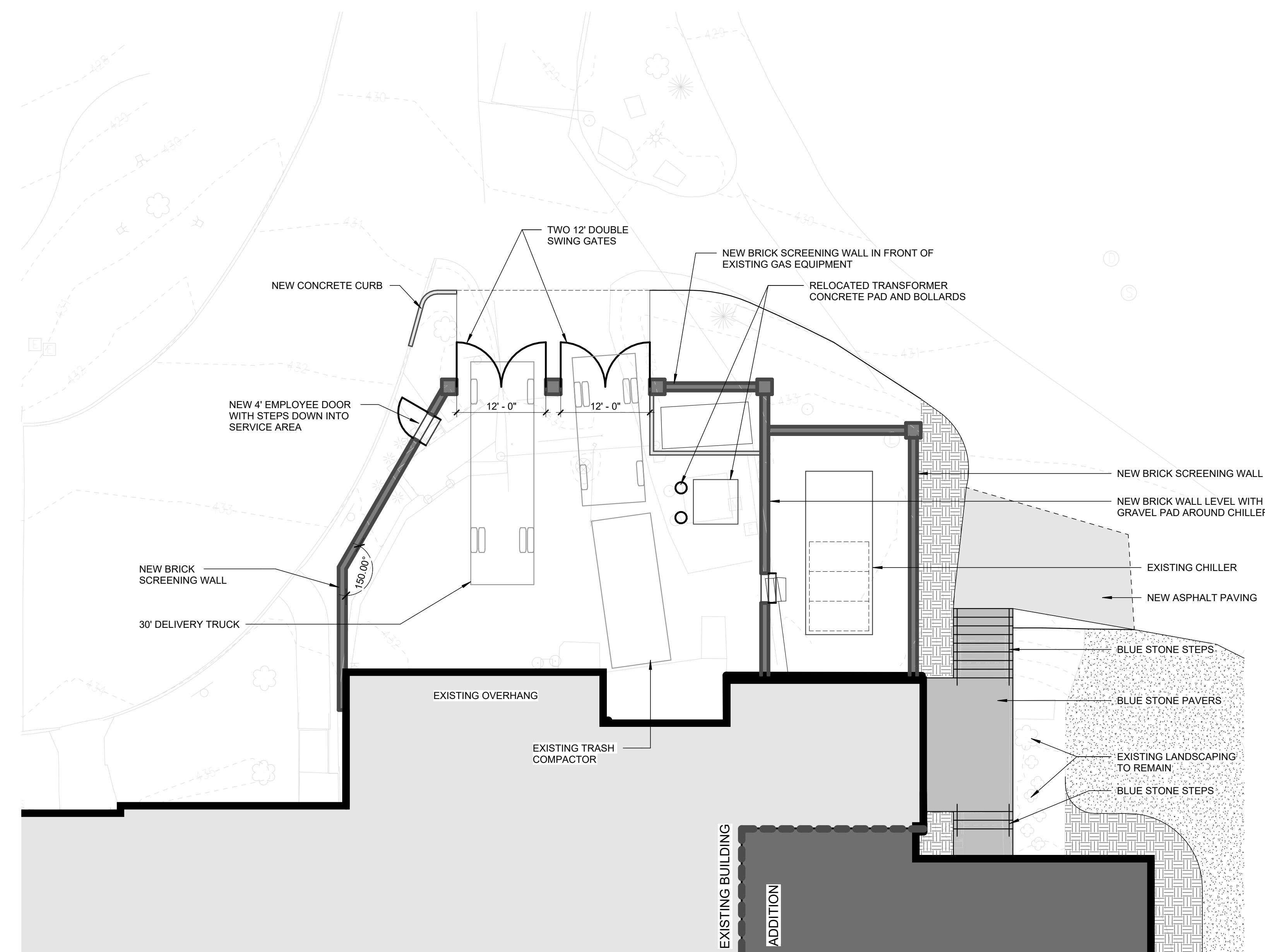
Oak Hill Country Club
 145 Kilbourn Rd
 Rochester, NY 14618

L-101
 Outdoor Patio Site Plan

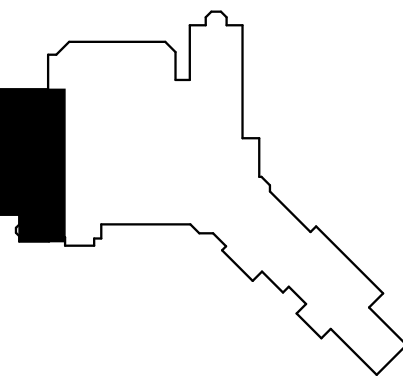
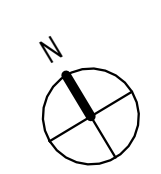
1 CLUB HOUSE OUTDOOR PATIO SITE PLAN
 1" = 10'-0"

LEGEND

- PROPERTY LINE
- ☼ EXISTING TREE
- CONCRETE PAVEMENT
- TRUEGRID PERMEABLE PAVING SYSTEM
- BLUESTONE PAVERS
- LAWN
- MULCHED PLANT BED
- RETAINING WALL



1 SERVICE AREA SITE PLAN
1" = 10'-0"



Drawn By: BMM
 Checked By: MMB
 Project Manager: ESR

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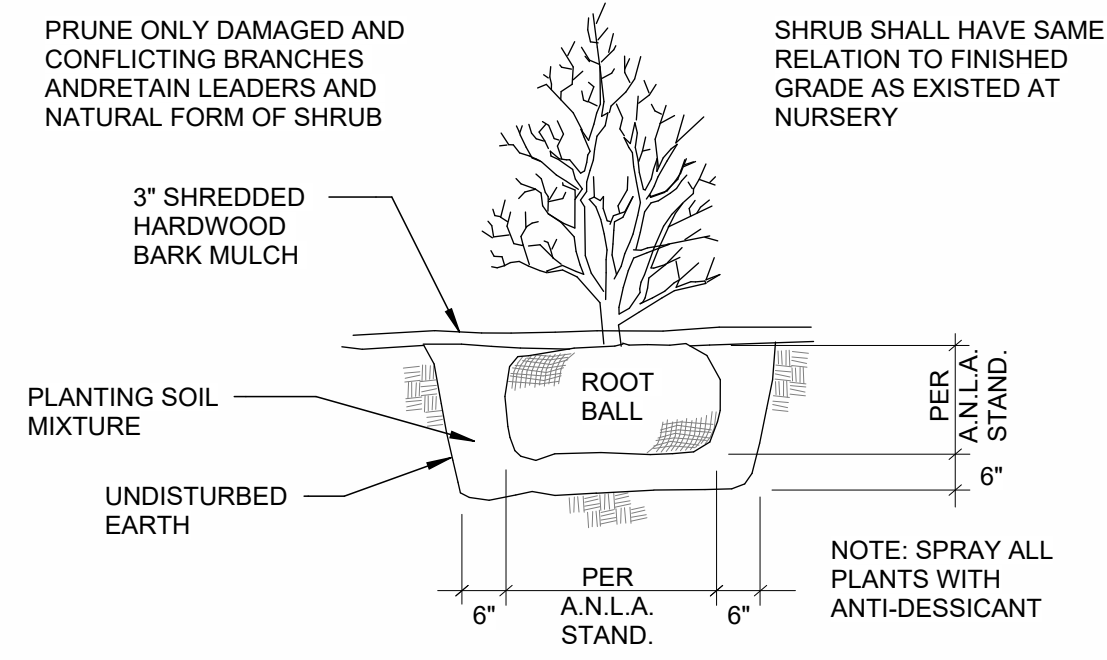
Revisions

No.	Description

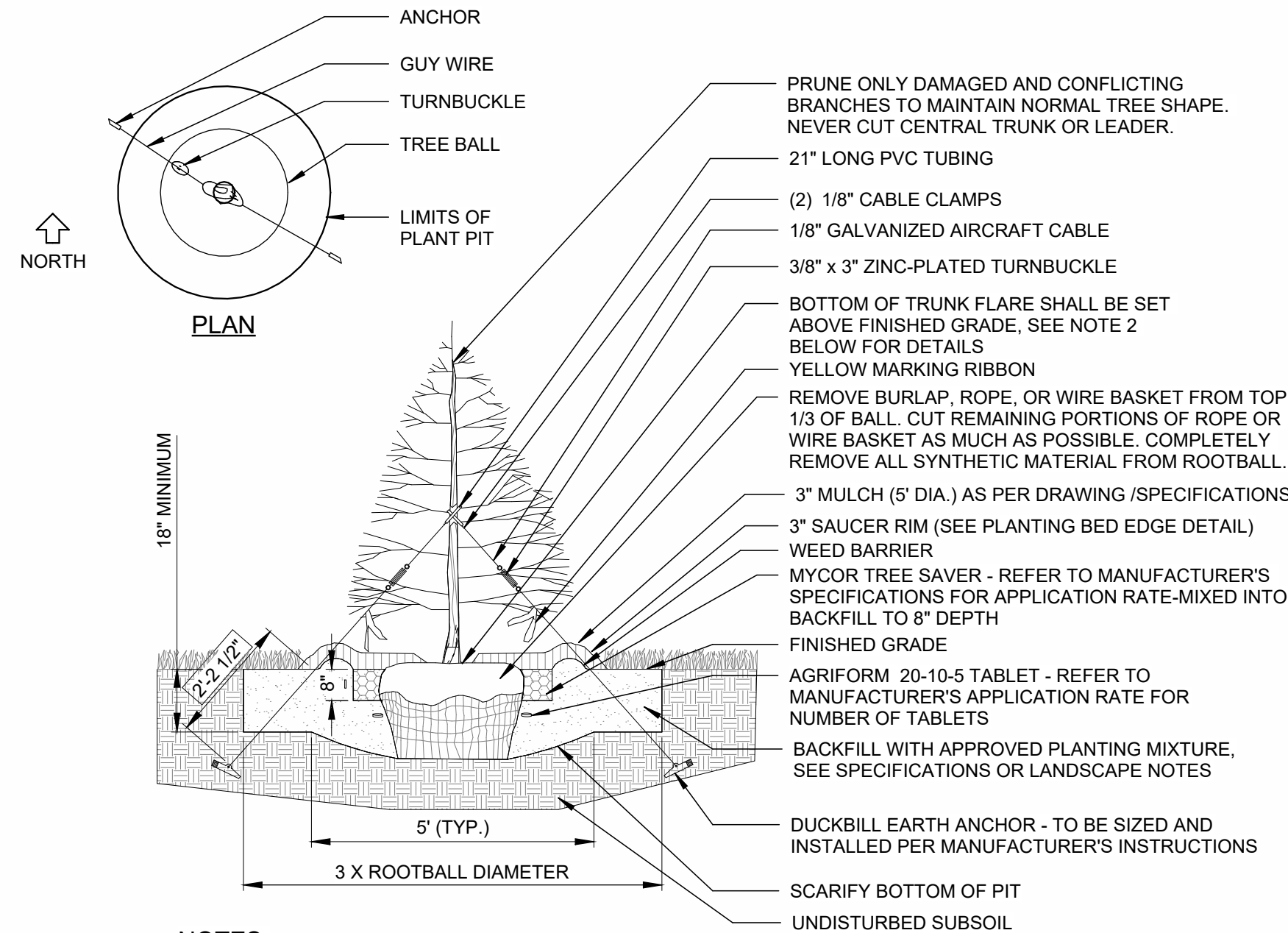
Oak Hill Renovations
 145 Kilbourn Rd
 Rochester, NY 14618
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Oak Hill Country Club
 145 Kilbourn Rd
 Rochester, NY 14618

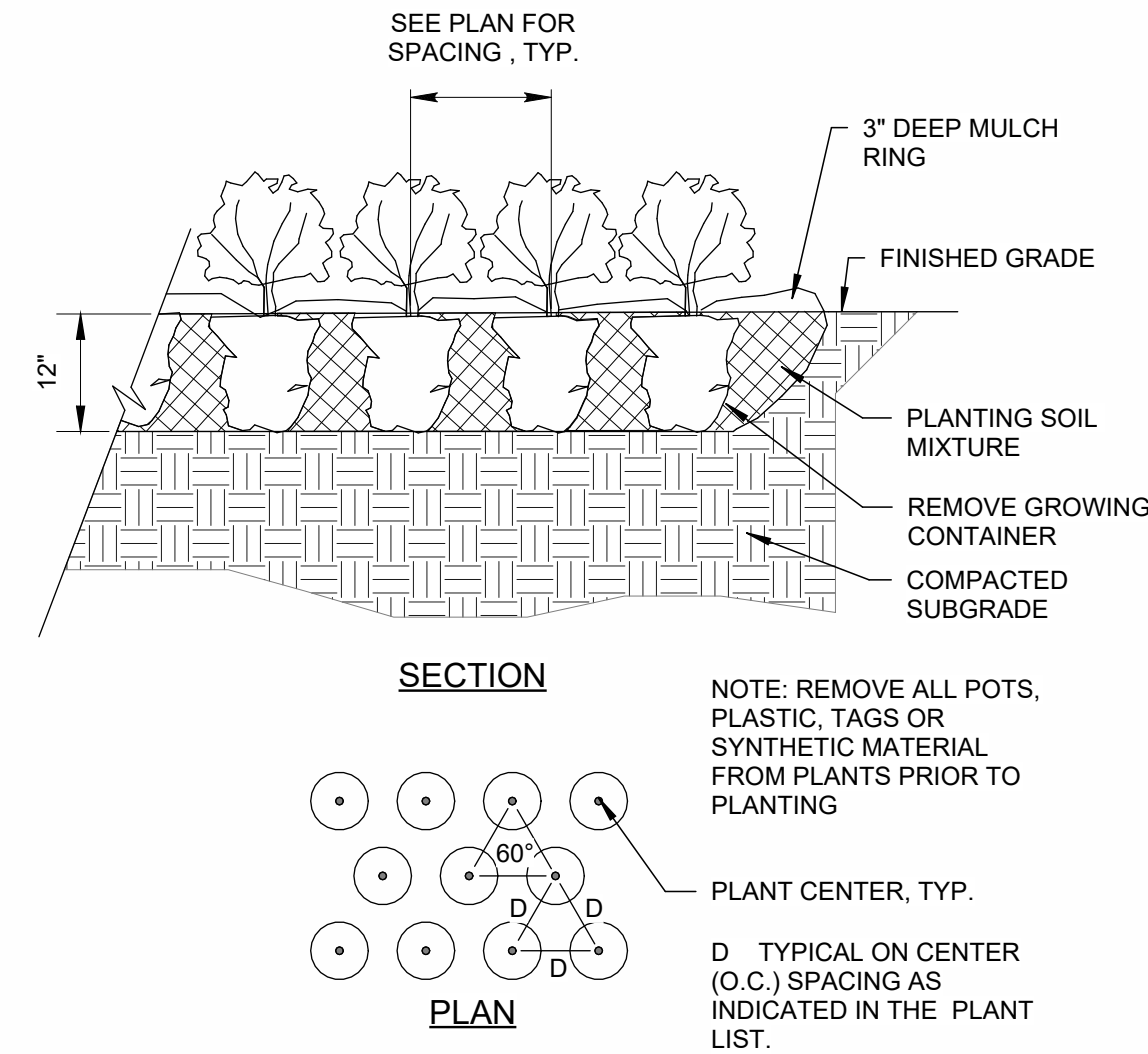
L-102
 Service Area Site
 Plan Options



4 SHRUB PLANTING DETAIL
1" = 1'-0"



- NOTES:**
1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
 2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE FINISHED GRADE SHALL BE AS FOLLOWS:
FOR SANDY OR LOAMY SOILS: 1"
FOR CLAY OR POORLY DRAINED SOILS: 3"
THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.



5 PERENNIAL & ORNAMENTAL GRASS PLANTING DETAIL
1" = 1'-0"

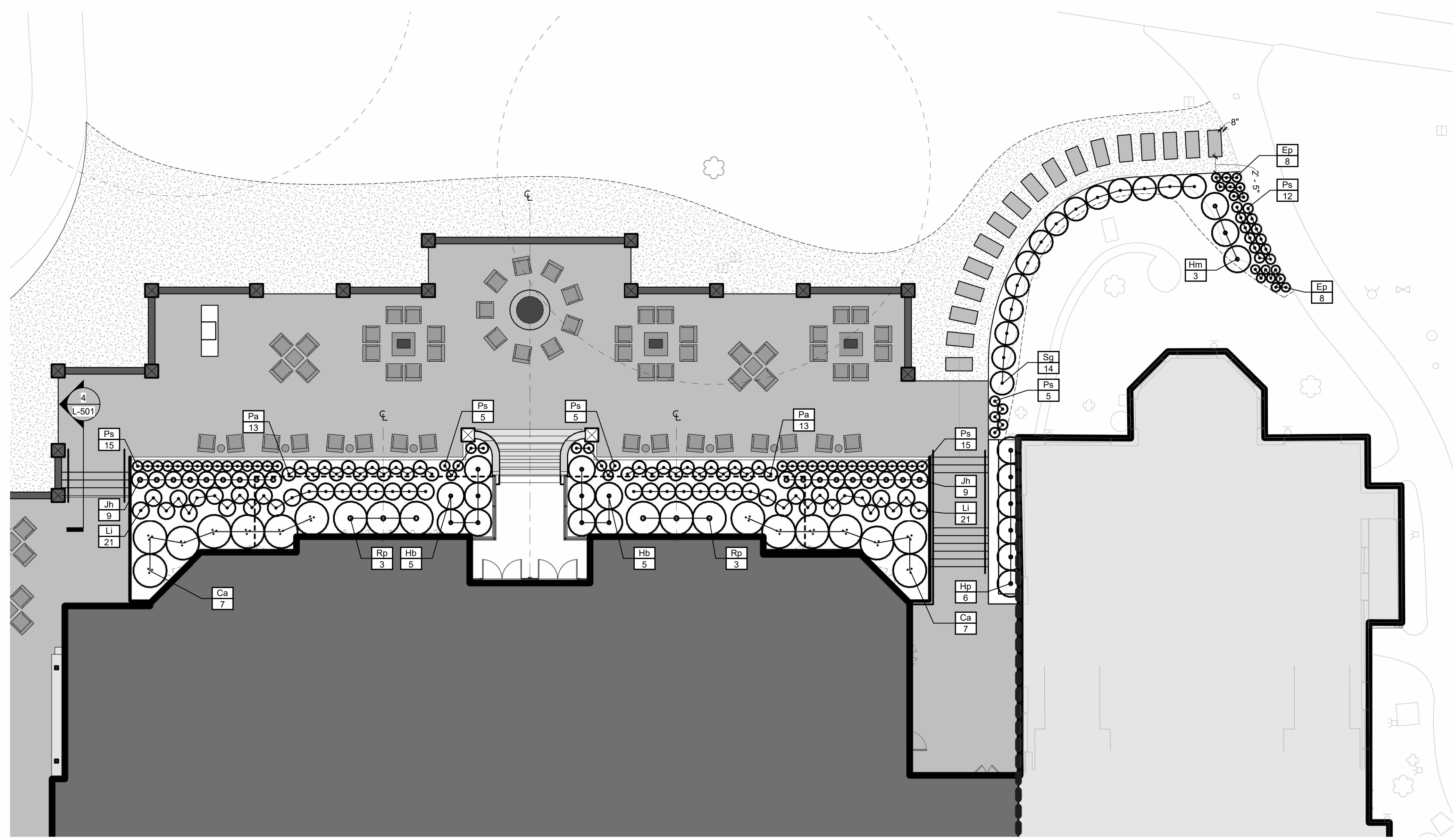
3 EVERGREEN TREE PLANTING
1" = 1'-0"

EVERGREEN TREES						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
To	8	Thuja occidentalis 'Smaragd'	Eastern arborvitae (emerald green arborvitae)	BB		

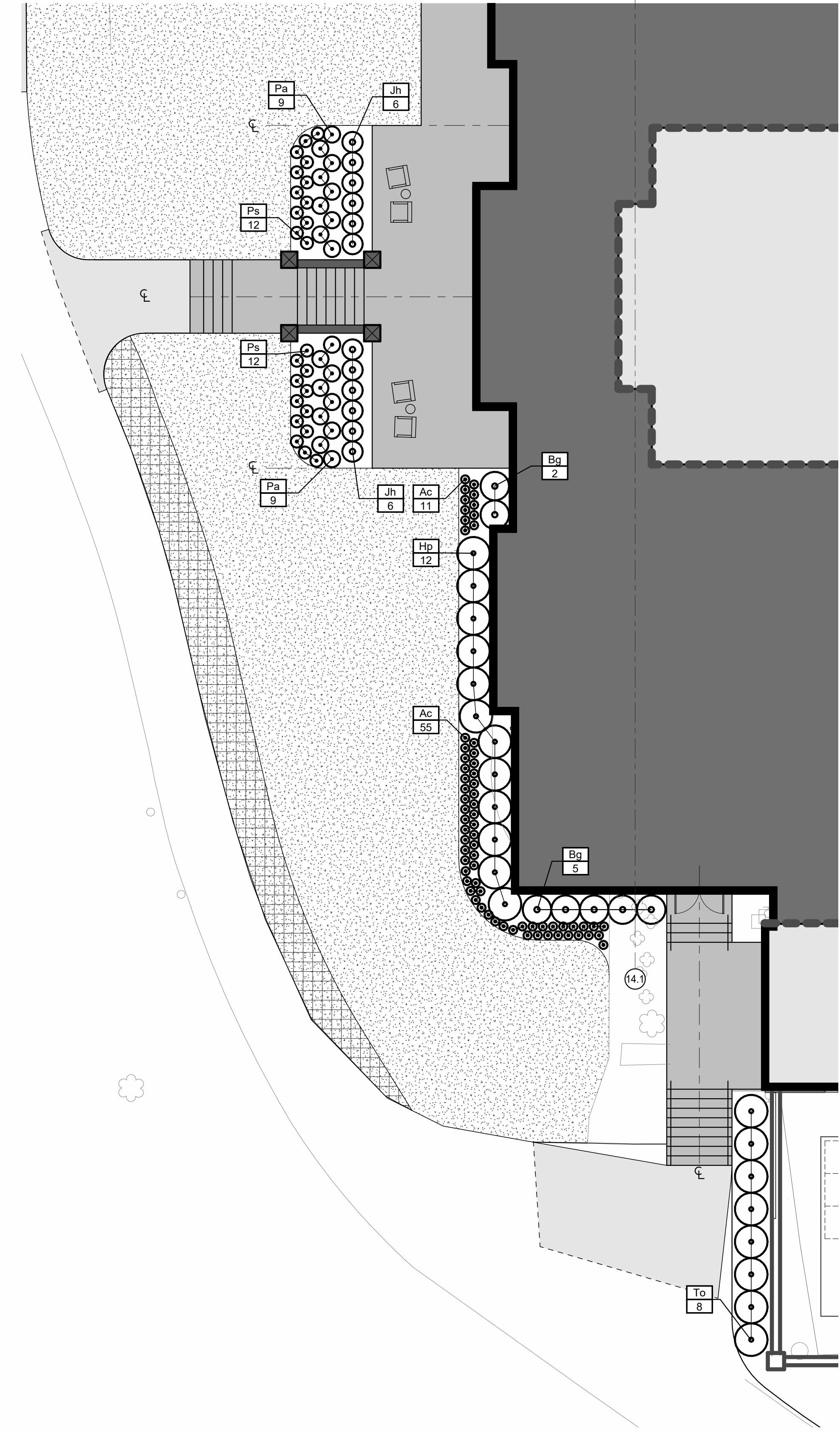
SHRUBS						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
Bg	7	Buxus 'Green Gem'	'Green Gem' Boxwood	#5 Cont.	3'-4" spread	24" spacing
Ca	14	Cornus alba 'Bailehale'	Ivory halo dogwood	#3 Cont.	4'-6" spread	6" spacing
Hm	3	Hydrangea macrophylla 'Pia'	'Pia' Bigleaf hydrangea	#2 Cont.	2'-3" spread	4" spacing
Hb	10	Hydrangea paniculata 'Bailpanone'	'Little Hottie' Panicle hydrangea	#2 Cont.	3'-5" spread	6" spacing
Hp	18	Hydrangea paniculata 'Little Lime'	'Little Lime' Panicle hydrangea	#2 Cont.	3'-5" spread	6" spacing
Jh	30	Juniperus horizontalis 'Limeglow'	'Limeglow' Juniper	#2 Cont.	2'-3" spread	36" spacing
Rp	6	Rhododendron (PJM Group)	Rhododendron	#5 Cont.	5'-6" spread	5'-6" spacing

ORNAMENTAL GRASSES						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
Pa	44	Pennisetum alopecuroides 'Hameln'	'Hameln' Dwarf fountain grass	#1 Cont.	18-30" spread	36" spacing

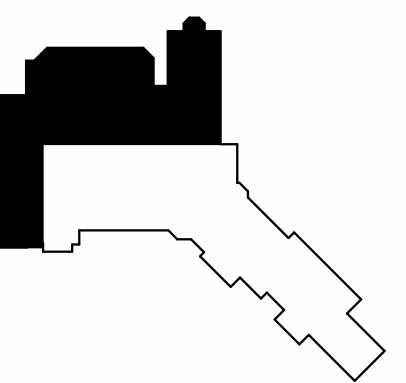
PERENNIALS						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
Ac	66	Astilbe chinensis var. pumila	Chinese astilbe	#1 Cont.	9-12" spread	1.5' spacing
Ep	16	Euphorbia polychroma	Cushion spurge	#1 Cont.	15" spread	20" spacing
Sg	14	Hosta x 'Stained Glass'	'Stained Glass' Hosta	#2 Cont.	3'-4" spread	42" spacing
Li	42	Lavandula x intermedia 'Provence'	'Provence' Phenomenal lavender	#2 Cont.	30" spread	3" spacing
Ps	81	Phlox subulata 'Drummond's Pink'	'Drummond's Pink' Creeping phlox	Qt.	1'-2" spread	15" spacing



2 PLANTING PLAN - SOUTH TERRACE
1" = 10'-0"



1 PLANTING PLAN - DONALD ROSS PUB
1" = 10'-0"



Drawn By: BMM
Checked By: MMB
Project Manager: ESR

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Revisions

No.	Description

Oak Hill Renovations
145 Kilbourn Rd
Rochester, NY 14618
SWBR Project Number: 22071.00

Oak Hill Country Club
145 Kilbourn Rd
Rochester, NY 14618

L-401
Planting Plans

Outdoor Kitchen Kit | Standard Sizes

4-6 week production time
92" Island
36w x 36.5h x 36d
75lb 3000 BTU Pro LP
Up to 30" with Fridge Option
55lb Assembly - Receiver Country Fee

Grill Cutout
Must provide spec sheet

Outlets: Left Center Right

Kitchen Base
Standard Finishes \$2467
Premium Finishes \$2880

Countertop
Standard Finishes \$1394
Premium Finishes \$1711
Brushed Stainless \$3027

Top Kick
 Top Kick \$500

Finishes	
Base	Component
Chromagrape	<input type="checkbox"/> \$150 each
Chromagray	<input type="checkbox"/> \$150 each
Chromagreen	<input type="checkbox"/> \$150 each
Chromablue	<input type="checkbox"/> \$150 each
Chromablack	<input type="checkbox"/> \$150 each
Chromawhite	<input type="checkbox"/> \$150 each
Chromaclear	<input type="checkbox"/> \$150 each
Chromagold	<input type="checkbox"/> \$150 each
Chromacopper	<input type="checkbox"/> \$150 each
Chromabronze	<input type="checkbox"/> \$150 each

Components
Section 1 (left) SA3DR1520
Section 2 (center) SAAD3620
Section 3 (right) SADR1526

Dealer Info
Address: _____
City: _____ State: _____ Zip: _____
PO/Customer: _____

Stoll Outdoor Kitchen Components

Large Drawers
SA4207E \$650
SA4209E \$740
SA4209E \$770

Double Dry Storage
SA420R300 \$1310
SA420R300 \$1385

Single Dry Storage
SA420R100 \$1015
SA420R126 \$1075

Access Doors
SA440R200 \$455
SA440R200 \$505
SA440R200 \$550
SA440R200 \$600

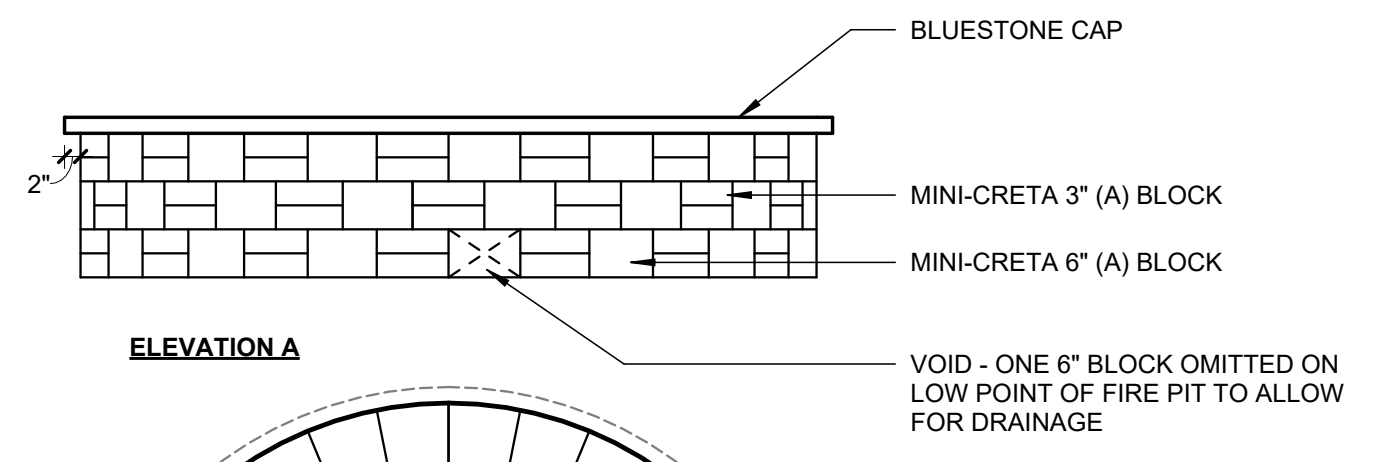
Open Shelving
SA405R \$535
SA405R \$575
SA405R \$615

Features
• Aluminum & Stainless Construction
• Stainless or Powdercoat Finishes

Sizes & Item Codes
The last 4 numbers of each item code are the width and height. Example: SA420R300 x 36" x 30". An "L" or "R" at the end of an item code determines if the door hinges on the right or left. Example: SA420R300-R = Hinge on Right

STOLL INDUSTRIES OUTDOOR KITCHEN

34" 1'-0"



Fire Tables | Standard Traditional Square

In Stock Sizes
 Square - 36w x 36d x 24h SA7732347 \$2515
Includes 20" x 20" Burner #FP-2055047-P
**In Stock Sizes are finished in Graphite

Standard Sizes
4 week production time
 Square - 36w x 36d x 18h SA7732348 \$1779
 Square - 36w x 36d x 24h SA7732349 \$1879
 Square - 42w x 42d x 18h SA7732350 \$1879
 Square - 42w x 42d x 24h SA7732351 \$1979

Slatted Panels
 Slatted Panel Design - \$125

Burner Kit
All burner kits ship as LP. Conversion Kit available below.
All burner kits come with Lava Rocks

3rd Party Burner Must provide spec sheet
Burner must be at least 3" smaller than base per side

Natural Gas Conversion Kit - \$125

Burner Lid
20" x 20" \$250
24" x 24" \$300

Wind Shield

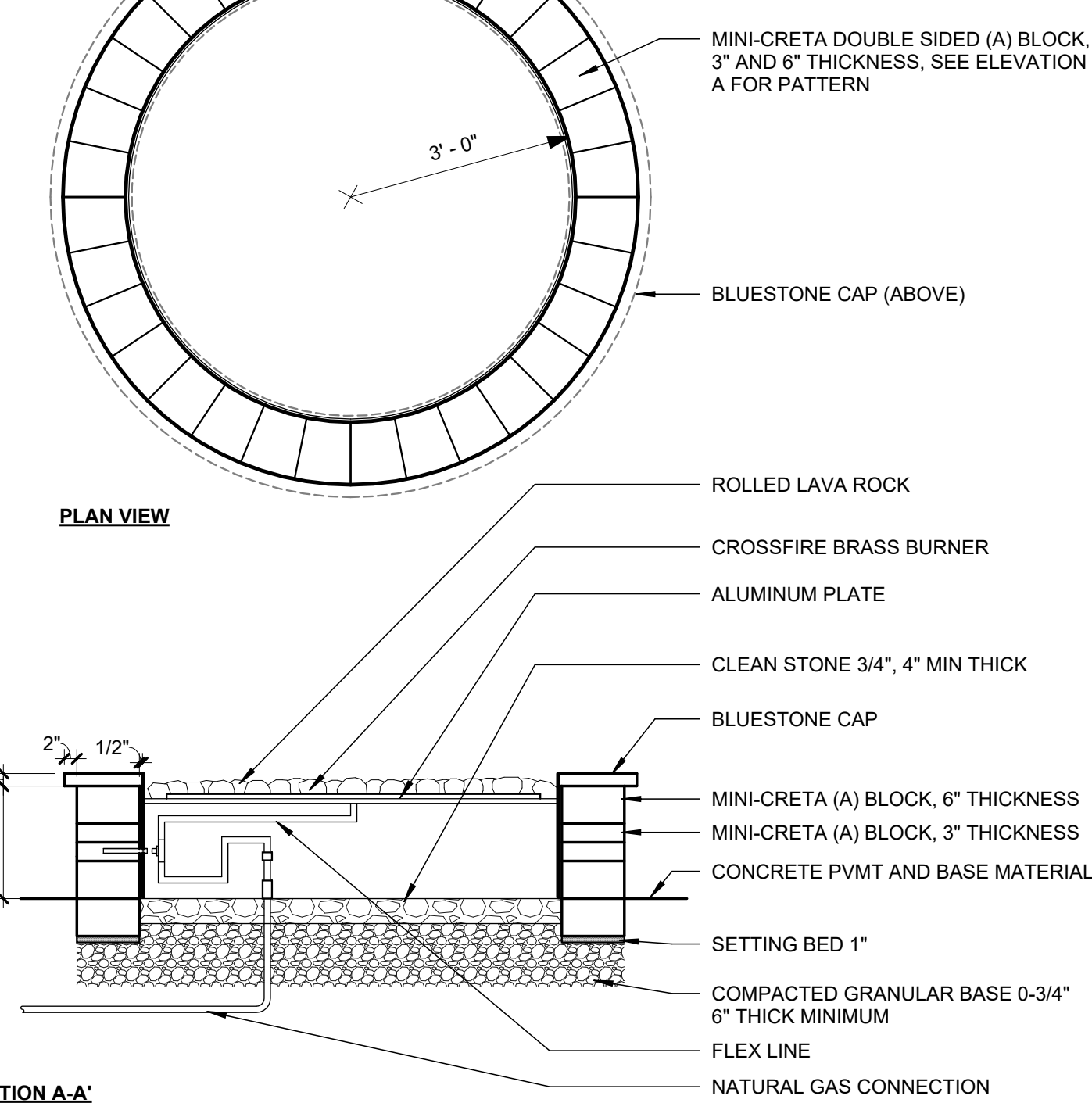
Dealer Info
Address: _____
City: _____ State: _____ Zip: _____
PO/Customer: _____ Salesman: _____

STOLL INDUSTRIES FIRE TABLE

34" 1'-0"

CIRCULAR FIRE PIT

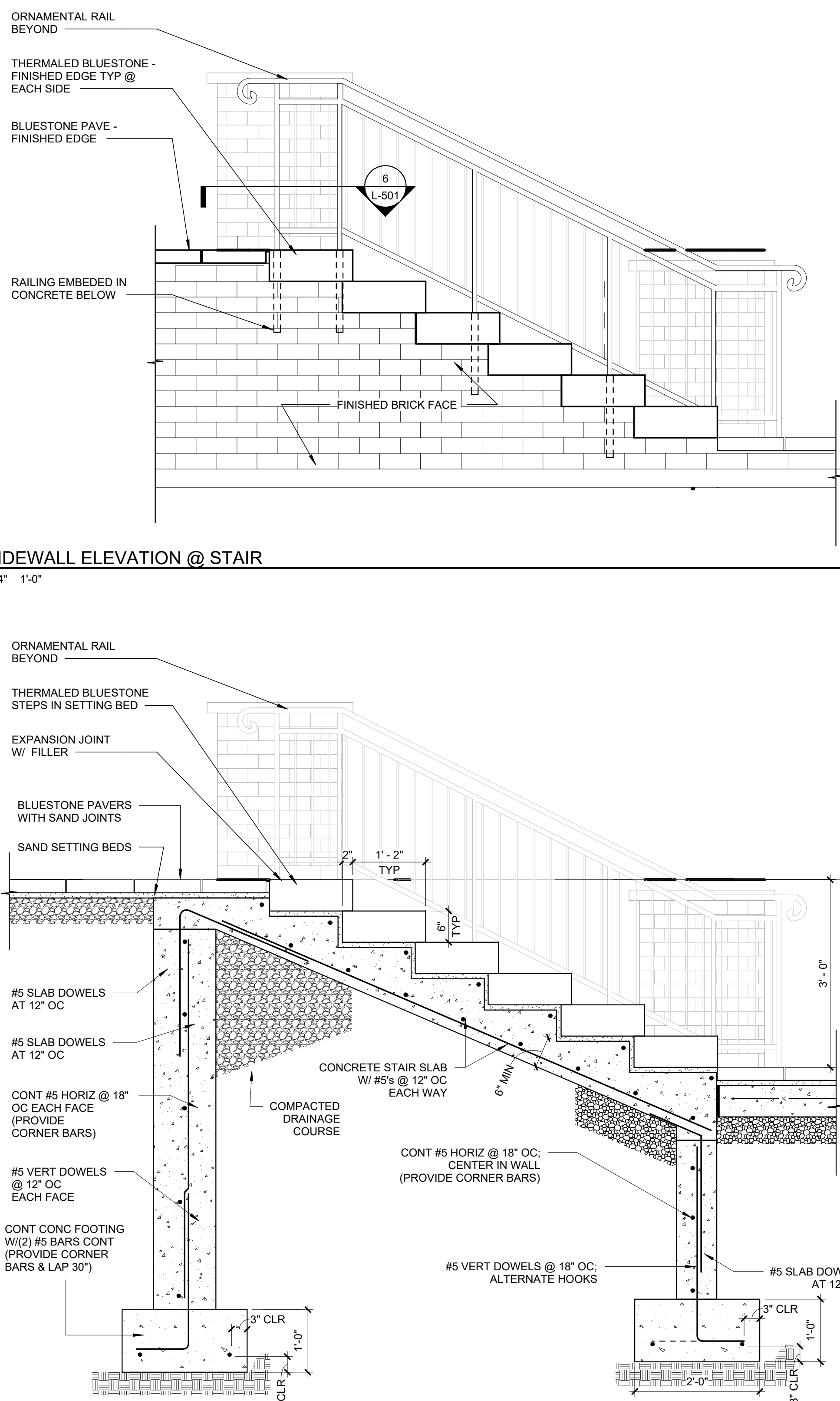
1/2" 1'-0"



- NOTES:
1. SECURE THE BLOCKS USING A HEAT RESISTANT CONCRETE ADHESIVE.
2. BASIS OF DESIGN - WARMING TRENDS CUSTOM NATURAL GAS PAVER KIT:
- CROSSFIRE BRASS BURNER - CFB450NG
- ALUMINUM PLATE, SIZED TO FIT FIRE PIT INSIDE DIAMETER
- FLEX LINE KIT
- UNIVERSAL FLEXIBLE INSTALLATION COLLARS
- STANDARD 24 VOLT IGNITION
- EMERGENCY STOP PUSH BUTTON
- PROVIDE DIAL TIMER WITH NEMA RATED ENCLOSURE
- PROVIDE REMOTE START ACCESSORY

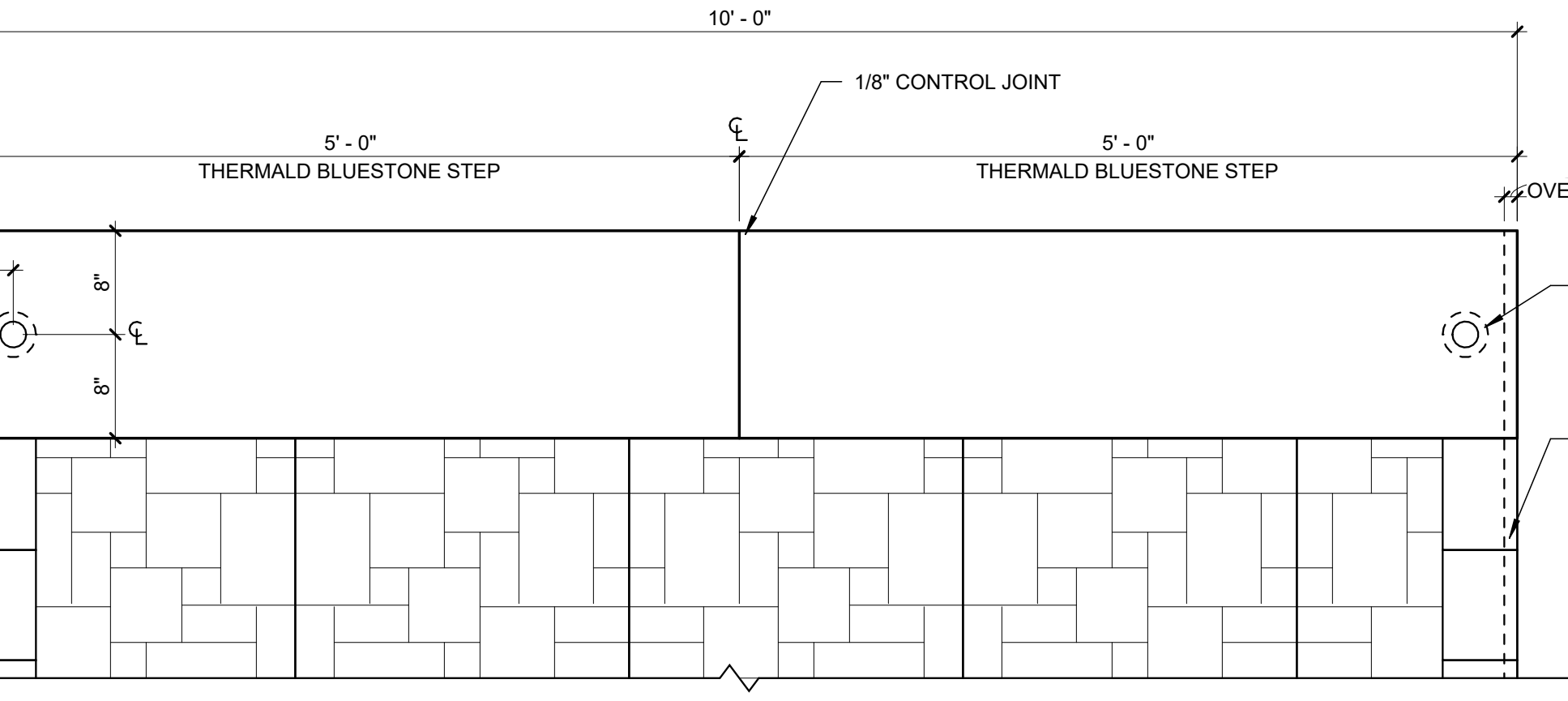
TYP STAIR SECTION @ BLUSTONE STAIR

3/4" 1'-0"



SIDEWALL ELEVATION @ STAIR

3/4" 1'-0"

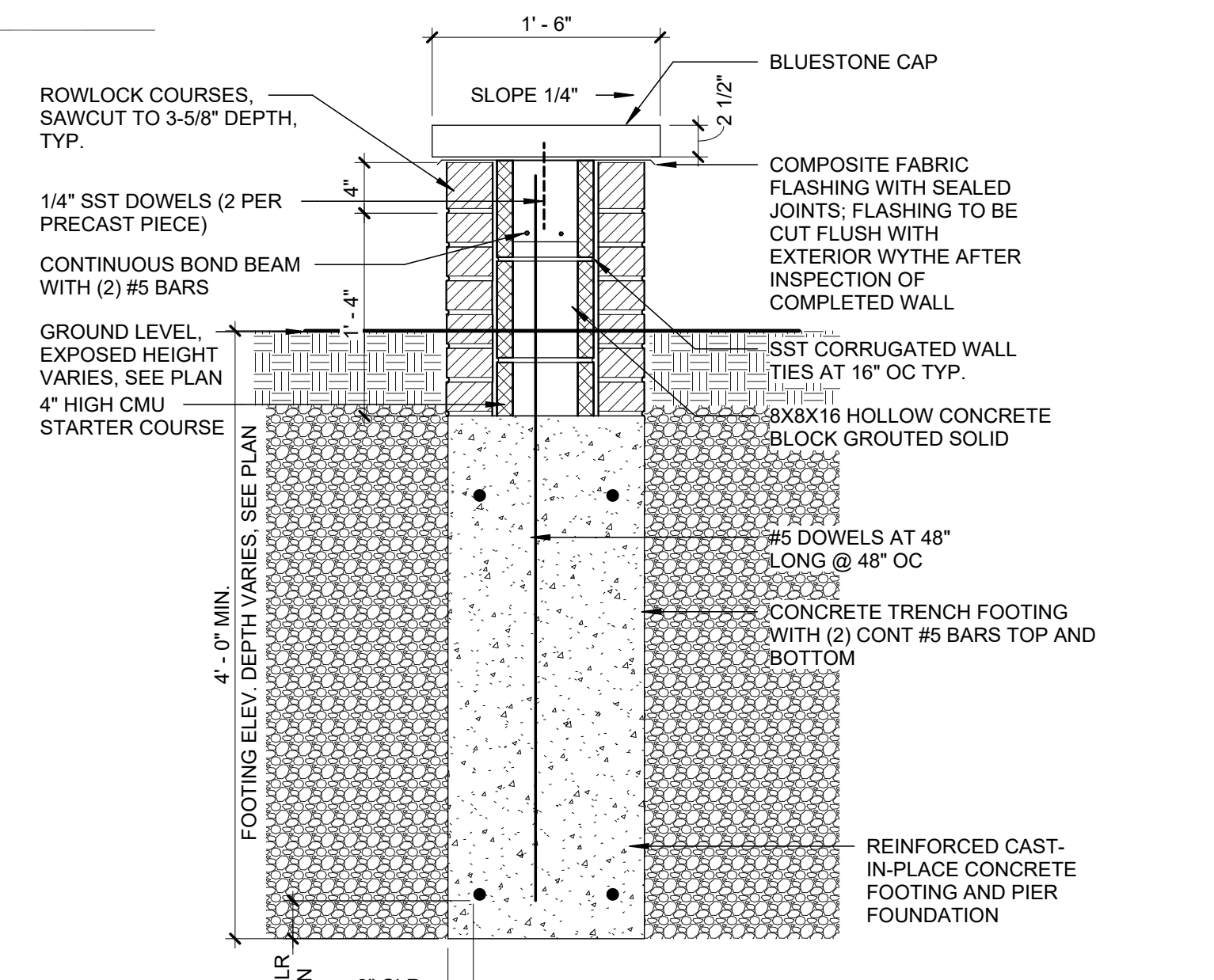


TOP VIEW OF TREAD

1" 1'-0"

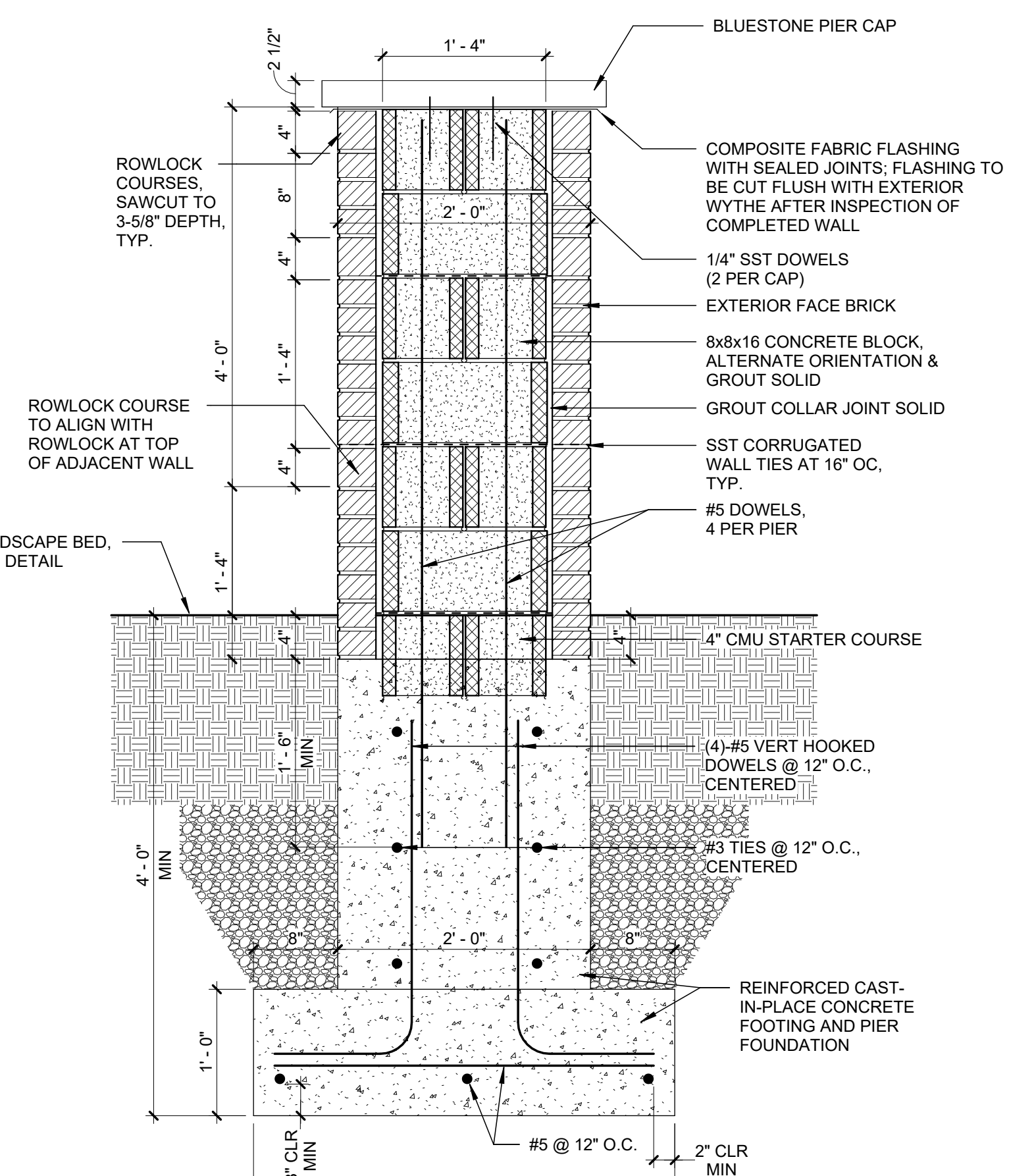
MASONRY PIER SECTION

1" 1'-0"



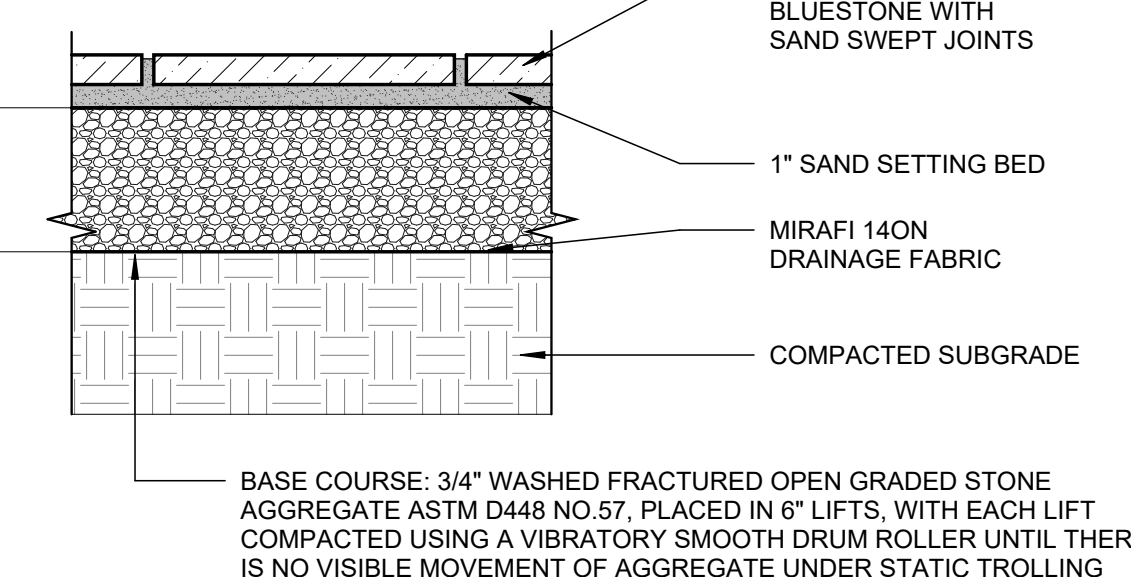
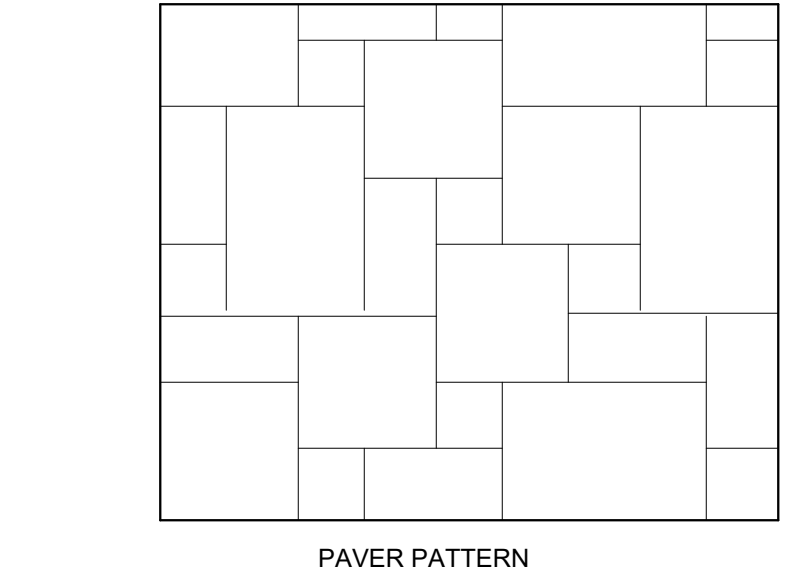
MASONRY WALL SECTION

1" 1'-0"



BLUSTONE PAVEMENT WITH SAND JOINT

1 1/2" 1'-0"



Drawn By: MMB
Checked By: Checker
Project Manager: ESR

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Revisions

No.	Description	Date

Oak Hill Renovations
145 Kilbourn Rd
Rochester, NY 14618
SWBR Project Number: 22071.00

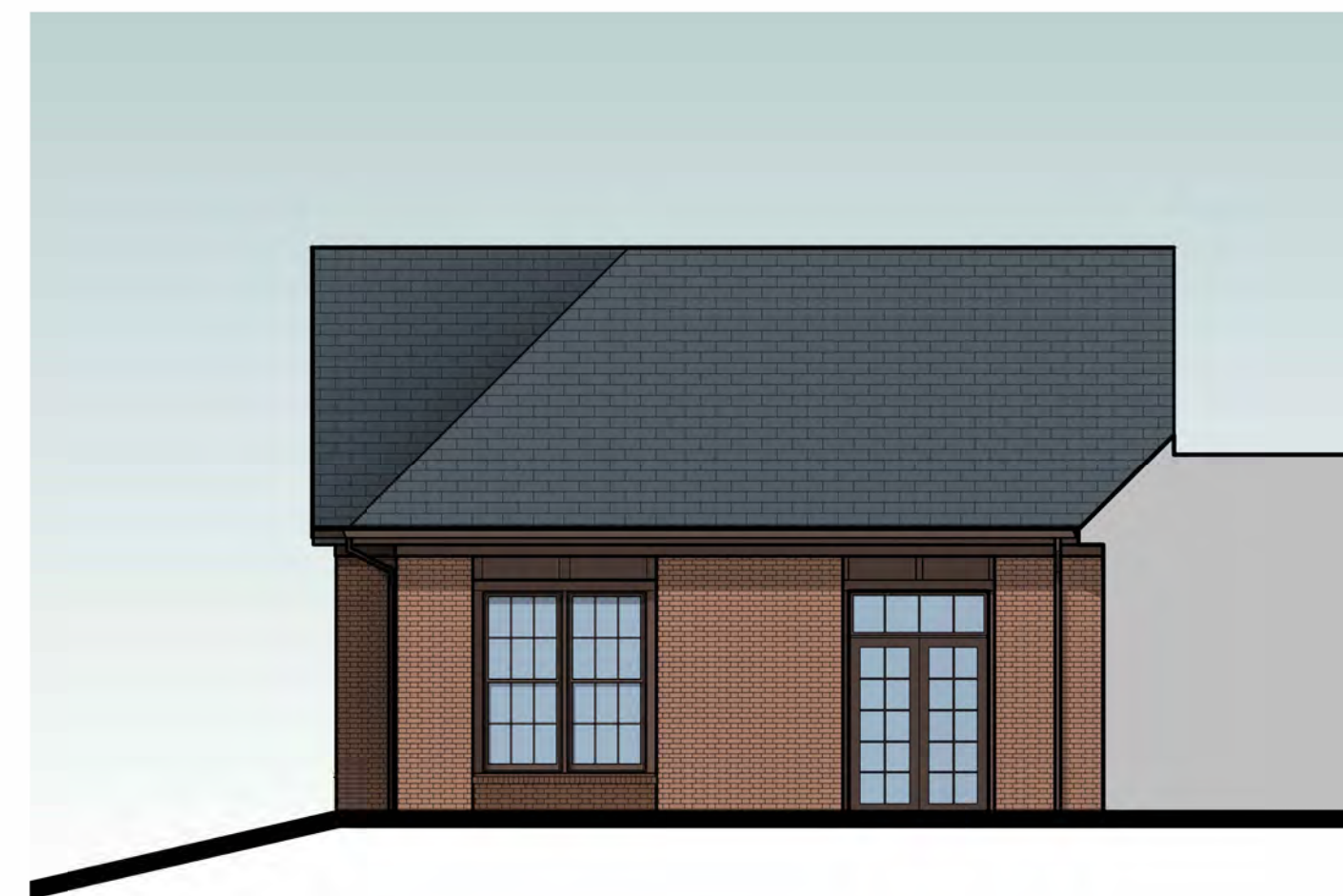
Oak Hill Country Club
145 Kilbourn Rd
Rochester, NY 14618

L-501

Landscape Details



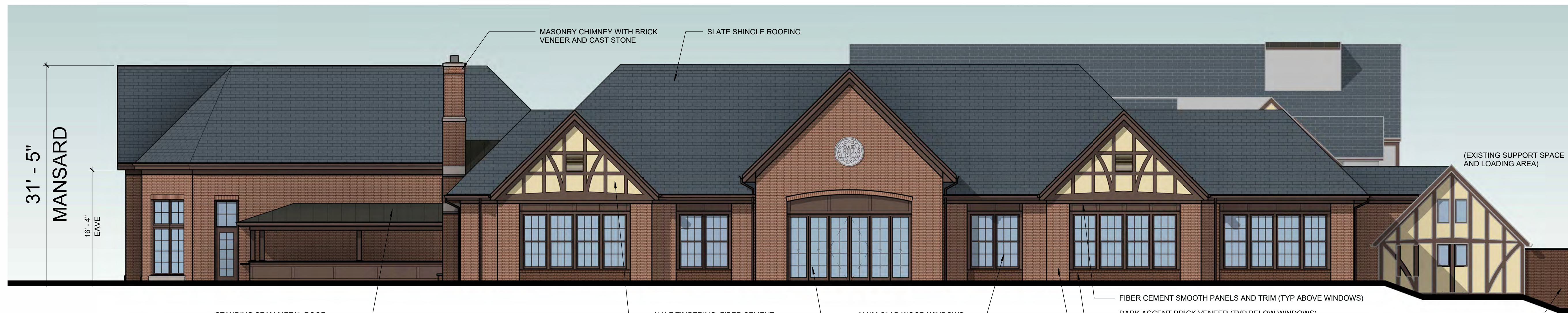
SOUTH ELEVATION - BALLROOM



NORTH ELEVATION - DONALD ROSS PUB



SOUTH ELEVATION - DONALD ROSS PUB



EAST ELEVATION - DONALD ROSS PUB

Drawn By: ESR
 Checked By: ESR
 Project Manager: ESR

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NO.	DESCRIPTION

Oak Hill Renovations
 SWBR Project Number 22071.00

Oak Hill Country Club
 145 Kilbourn Rd
 Rochester, NY 14618

A201

Exterior Elevations

TOWN OF PITTSFORD
DEVELOPMENT REVIEW COMMITTEE – Planning Comments
For Planning Board Meeting 11/13/23

SUBJECT: Oak Hill Country Club
Clubhouse Expansion
145 Kilbourn Rd
Tax Parcel #138.17-1-13.2

The Town of Pittsford Development Review Committee (DRC) has reviewed the subject application. The following points have been identified for Planning Board consideration:

A written response to these comments must be provided for Planning Board and DRC prior to a decision on this application. A digital copy of this document will be provided so that it may be incorporated into the response.

PLANNING AND ZONING ISSUES:

GENERAL

1. This application proposes a 12,500 square-foot one-story addition to the existing clubhouse, intended to replace the temporary seasonal tent structures. Additionally, new patio areas will be constructed at the south and east sides of the clubhouse and will be used by members for outdoor experiences. Accompanying landscaping and site work surrounding the addition is also proposed. This property is zoned Suburban Residential (SRAA). (DPW)
2. The applicant did not submit responses to Town Code Section 185-174 Determination of Impact. We expect responses to be submitted under separate cover. (DPW)
3. This is an Unlisted Action pursuant to SEQRA and a Part I Short EAF has been submitted by the applicant. (DPW)
4. Monroe County Department of Planning & Development has reviewed this application and has provided comments. The applicant has received a copy of this report and comments are incorporated herein. (DPW)

SANITARY SEWERS

5. Plans indicate a 1,500-gallon grease interceptor. Please provide sizing calculations for the proposed grease chamber. (TRE)
6. It appears that an existing holding tank (possibly an existing grease chamber) is located near the proposed sanitary sewer connection. Please provide additional information regarding this structure. If this is an existing tank to be abandoned, it will be required to be pumped out, have its top slab broken, and be filled with gravel, prior to abandonment. (TRE)
7. It is recommended that cleanouts be provided outside of the proposed building with an orientation to allow cleaning in a downstream direction. (TRE, PSD)

GRADING AND DRAINAGE

8. Please include on the plan the total area of disturbance, the area of existing impervious surface within the construction area, and the proposed impervious surfaces within the construction area. (TRE)
9. Page 1 of the submitted drainage calculations indicates that the existing impervious surfaces within the construction area is 20,500 SF. Please provide a breakdown of this existing impervious surface quantification. This existing area seems large; does this area include the temporary tent structure? It is recommended that this

temporary tent should not be included in the existing impervious surface total since the structure is temporary in nature. (TRE)

10. For drywell design, it is recommended that actual percolation rates be obtained through field investigation at the drywell sites, rather than utilizing estimated rates based on the soil characteristics. (TRE)
11. In order for us to better understand the storm water runoff, the drywell percolation volume, and the drywell summary calculations, please depict the formulas utilized for the calculations. Although the calculations state that a 5-minute time of concentration is being utilized, it appears the actual storm runoff volume calculations utilized a larger time of concentration value. (TRE)
12. It appears the drywell invert elevations on the drawings and the elevations presented in the calculations do not match. Please review and provide updated elevations. (TRE)
13. Please provide the location of the proposed topsoil pile on the grading and erosion control plan. Please include erosion and sediment control around the perimeter of the pile. (TRE)

LIGHTING AND LANDSCAPING

14. Lighting for the building is not identified on the plans. Any proposed lighting should be included on the plans, minimized, and light sources must be completely shielded from residential views. Plan must note that Town of Pittsford Code Enforcement Officers can require shielding of light sources that are visible from public ROWs or residential homes. (DPW)
15. Commercial site plans typically have a landscaping value requirement of 1% of the total project construction cost. Although golf courses and colleges are non-residential, they both require Special Use Permits, which allow the Planning Board to specifically address possible impacts to nearby residential properties or ROWs with buffering requirements that the Board feels is necessary. While landscaping enhances almost all projects, colleges and golf courses often have projects that are somewhat remote from residents or roads so landscaping requirements have been left at the Planning Boards discretion. (DPW)
16. Proposed foundation plantings for the building will soften its appearance, the Planning Board should consider if additional plantings are warranted. (DPW)
17. Plans show a “future ballroom terrace build-out” over proposed landscaping. Will this future build-out include removal of the planting bed? The Planning Board should consider if this future terrace warrants a Planning Board Application. (DPW)

FIRE SAFETY

18. It is recommended that the proposed expansion be reviewed by the Fire Marshal with regard to emergency access and existing hydrant locations. (TRE)
19. The site map shows fire apparatus access around the entire building, along with access points for an aerial truck to set up. The cart path will widen and will utilize H-20 block to increase the width of the cart path. There are no egress issues and the hydrants currently in place are adequate. There are some trees and tree limb issues regarding height that can be addressed later. At this time, there are no concerns from Pittsford Fire Department and the Fire Marshal based on what has been presented. (FM)
20. Proposed permeable pavement varies in width along the emergency access path. Please explain the discrepancy in total asphalt plus permeable pavement width. (DPW)
21. The patio plan depicts a number of gas fireplaces and firepits. Will these be fueled by natural gas or liquid propane? Will a new gas service be required for these, or will they be supplied by a pre-existing interior gas line? Gas fireplaces will require separate permits from the Town of Pittsford. (DPW, TRE)

22. Please include details for the “double-sided fireplace” and “linear low-profile fireplace” shown on Sheet L101. (DPW)
23. Please verify the location of emergency gas shut offs for proposed gas fireplaces. (DPW)
24. Site entrances and roadways may not be blocked to impede emergency access at any time during construction. The road base shall be suitable for emergency vehicles. A public safety plan should be included in the plan set. (DPW)

MISCELLANEOUS

25. Will the proposed expansion be served by the water service within the existing building, or will a new water service be required? (TRE)
26. A rendering was provided for the south and east building elevations. Please provide elevations that include the proposed patio/outdoor seating space. (DPW)
27. Oak Hill Country Club is designated as a national registered historic site, Care should be exercised to ensure that this local historic resource is not adversely impacted by this proposal. (MCDPD)
28. This application has been referred to the Design Review and Historic Preservation Board as an informal discussion. Preliminary comments do not raise concerns with massing and window openings shown on the 2D elevations submitted. More details and renderings will be required for final DRHPB approval. (DPW, DRHPB)
29. This application is subject to Design Review and Historic Preservation Board approval. (DPW)

NOTE: The letters in parenthesis following each comment identifies the DRC Member listed below making the comment.

DPW – Department of Public Works

PSD – Pittsford Sewer Department

EB – Environmental Board

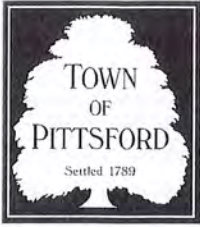
DRHPB – Design Review & Historic Preservation Board

TE – Town Engineer

FD – Fire Dept. (PFD – Pittsford, BFD – Brighton)

MCDPD – Monroe County Department of Planning & Development

FM – Fire Marshal



TOWN OF PITTSFORD SUBDIVISION AUTHORIZATION TO MAKE APPLICATION

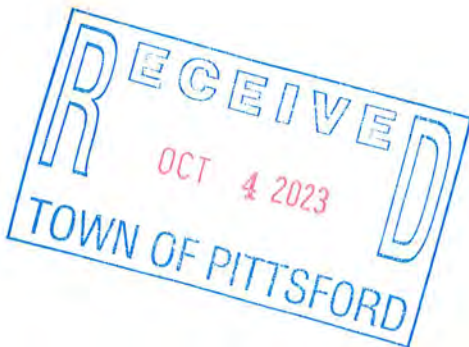
Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

If the applicant is not the owner of the subject property, this form must be completed and signed by the owner.

I, RAMA R GUPTA, the owner of the property located
at: 3096 CLOVER STREET PITTSFORD 14534
(Street) (Town) (Zip)

Tax Parcel # 163.04-1-39.1 do hereby authorize

_____ to make application to the
Town of Pittsford Planning Board, 11 South Main Street, Pittsford NY 14534 for the
purpose(s) of _____



Rama Gupta
Signature of Owner

10/04/2023
Date

PLANNING BOARD FILE

Hearing Date: 11/13/23
DRC Meeting Date: 10/31/23

Disclosure Form E

STATE OF NEW YORK
COUNTY OF MONROE

TOWN OF PITTSFORD

In the Matter of

3092 CLOVER STREET & 3096 CLOVER ST.
(Project Name)

The undersigned, being the applicant(s) to the...

Town Board Zoning Board of Appeals Planning Board Design Review Board

...of the Town of Pittsford, for a...

change of zoning special permit building permit permit amendment
 variance approval of a plat exemption from a plat or official map

...issued under the provisions of the Ordinances, Local Laws, Rule or Regulations constituting the zoning and planning ordinances regulations of the Town of Pittsford, do hereby certify that I have read the provisions of Section §809 of the General Municipal Law of the State of New York attached to this certificate.

I do further certify that there is no officer of the State of New York, the County of Monroe or of the Town of Pittsford or of any other municipality of which the Town of Pittsford is a part who is interested in the favorable exercise of discretion by said Board as to this application, except for those named below:

Name(s)

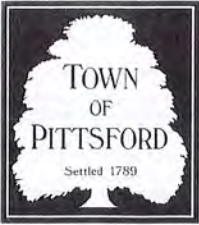
Address(es)

Ranea Cervlo
Signature of Applicant

10/4/2023
Dated

3096 CLOVER ST.
Street Address

PITTSFORD NY 14534
City/Town, State, Zip Code



TOWN OF PITTSFORD SUBDIVISION APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: _____

LOCATION: _____

TAX ACCOUNT NO: _____

OWNER: RAMA R GUPTA

APPLICANT: RAMA GUPTA

ADDRESS: 3096 CLOVER ST

ADDRESS: 3096 CLOVER ST.

CITY, ST ZIP: PITTSFORD, NY 14534

CITY, ST ZIP: PITTSFORD 14534

PHONE: 585-750-5121

PHONE: 585-750-5121

FAX: _____

FAX: _____

E-MAIL: _____

E-MAIL: ramargupta@gmail.com

AGENT: _____

ADDRESS: _____

CITY, ST ZIP: _____

PHONE: _____ FAX: _____

E-MAIL: _____

BRIEF DESCRIPTION OF PROJECT: MOVING LOT LINE

REQUEST FOR: Concept Subdivision
(Please check all applicable) Preliminary Subdivision
 Final Subdivision

HEARING DATE REQUESTED: _____

Special Permit
 Preliminary Site Plan
 Final Site Plan

Square Footage of Building: _____

Total Acreage of Disturbance: _____

ZONING CLASSIFICATION: RESIDENTIAL SIZE OF PARCEL: 4.96 ACRES

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? NO YES (Please specify)

If this parcel is within 500' of a municipal boundary, please specify: _____
(Municipality)

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
VICTORIAN ESTATES RESUB			
Name of Action or Project: RE SUBDIVIDE EXISTING LOTS 1 AND 3			
Project Location (describe, and attach a location map): 3096 CLOVER ST.			
Brief Description of Proposed Action: RESUBDIVIDING TO LOTS 1 AND 3 OF VICTORIA ESTATES SUB			
Name of Applicant or Sponsor: RAMA GUPTA		Telephone: 585 750-5121	
		E-Mail: RGUPTA@GMAIL.COM	
Address: 3096 CLOVER ST.			
City/PO: PITTSFORD		State: N.Y.	Zip Code: 14534
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.0 acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.9 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Rama Cereb Date: 10/4/23
 Signature: Rama Cereb RAMA GUPTA

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

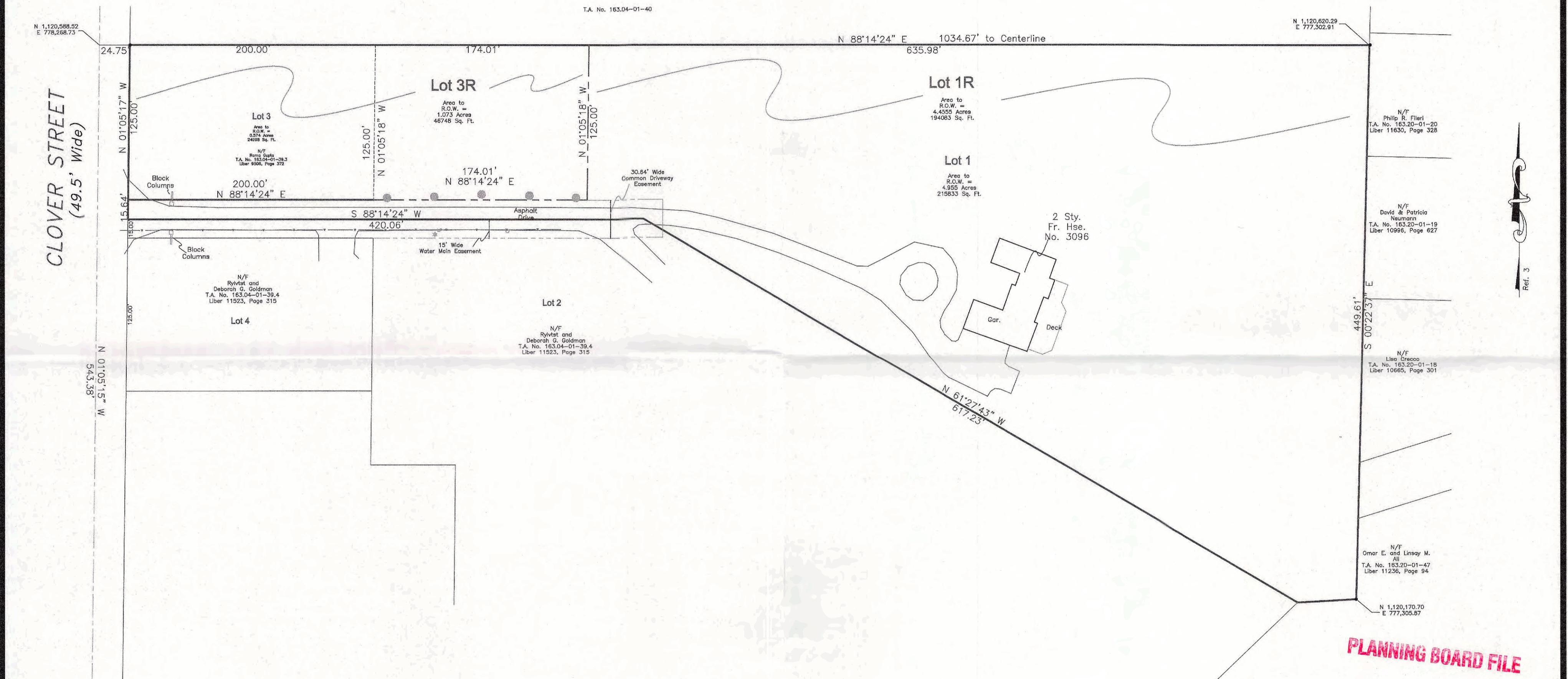
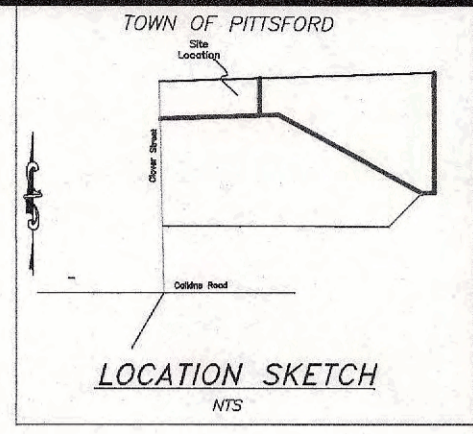
PRINT

RESET

Hearing Date: 11/13/23
 DRC Meeting Date: 10/31/23

VICTORIAN ESTATES RESUBDIVISION
 RESUBDIVISION OF LOT 1 AND LOT 3 OF VICTORIAN ESTATES
 being part of Town Lot 53, Township 12,
 Range 5, of the Phelps & Gorham Purchase,
 ~situate in~
 Town of Pittsford County of Monroe, State of New York

Scale 1 = 60 Date October 4, 2023



SITE DATA

EXISTING LOT 1	Proposed LOT 1R
Owner Rama Gupta Tax Account No. 163.04-01-39.1 3096 Clover Street Pittsford, N.Y. 14534 Zoning - RN Residential Neighborhood Area - 4.995 Acres (Proposed) 215833 Sq. Ft. Minimum Front Setback 70 feet Minimum Side Setback 10 feet Minimum Rear Setback 20 feet	Tax Account No. 163.04-01-39.3 3092 Clover Street Zoning RN Existing Area - 4.455 Acres 194063.4 Sq. Ft.
EXISTING LOT 3	Proposed LOT 3R
Tax Account No. 163.04-01-39.3 3092 Clover Street Zoning RN Existing Area - 0.574 Acres 2498 Sq. Ft.	Tax Account No. 163.04-01-39.3 3092 Clover Street Zoning RN Existing Area - 1.073 Acres 46748 Sq. Ft.

LEGEND

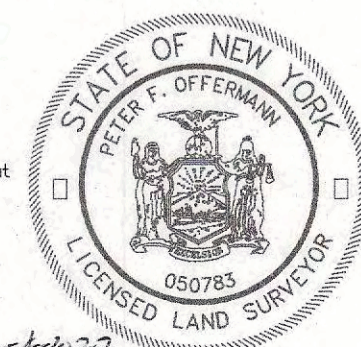
- Disjunctive Tree
- Rebar Found
- Light Pole

MONUMENT DATA

- Bearings shown hereon refer to grid north.
- Distances shown hereon are horizontal ground length.
- Perimeter survey and ties to geodetic monuments were accomplished using procedures necessary to achieve an accuracy of greater than 1 part in 20,000.
- Coordinates shown hereon are referenced to the New York State Transverse Mercator Projection Plane Coordinate System for the West Zone and were computed using an elevation factor of 0.9999742 and a grid factor of 0.9999899.
- Monuments used (N.A.D. 1927, N.G.V.D. 1929):
 MCGS 4303(1973) N 1,119,768.69 E 776,298.34
 MCGS 4304(1973) N 1,119,778.88 E 777,376.60

I, Peter F. Offermann P.L.S. do hereby certify that this map was completed from notes from an instrument survey completed on September 25, 2023.

 Peter F. Offermann PLS #050783 Date 10-4-2023



This plot is approved in accordance with the provisions of Section 239-f, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

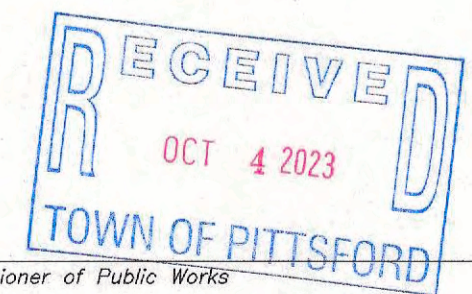
For the General Municipal Law: _____ Date _____

County Highway Superintendent

For the Monroe County Monumentation Law: _____ Date _____

Monroe County Surveyors Office

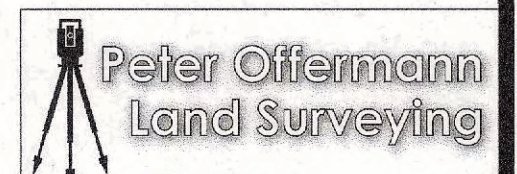
PLANNING BOARD FILE



Commissioner of Public Works _____ Date _____

Town Engineer _____ Date _____

Planning Board Chairperson _____ Date _____



Peter F. Offermann, P.L.S.
 4 Nyby Road, Rochester, New York 14624
 Phone (585) 235-4342 Cell (585) 831-9242
 Email surveyortemp@yahoo.com

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2, of the New York State Education Law.
 Only copies from the original of this survey marked with an original of the Licensed Surveyor's embossed seal shall be considered to be valid true copies.
 Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for land surveying adopted by the New York State Association of Professional Land Surveyors. Said certifications shall not apply to the person for whom the survey is prepared, and on behalf of the title company, governmental agency, and lending institutions listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.
 The certifications hereon are not transferable.
 The locations of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.

DATE: November 10, 2023

TOWN OF PITTSFORD
DEVELOPMENT REVIEW COMMITTEE – Planning Comments
For Planning Board Meeting 11/13/23

SUBJECT: Victorian Estates Resubdivision (3096 & 3092 Clover Street)
Preliminary/Final Subdivision
Tax Parcels # 163.04-1-39.1 & 163.04-1-39.3

The Town of Pittsford Development Review Committee (DRC) has reviewed the subject application. The following points have been identified for Planning Board consideration:

A written response to these comments must be provided for Planning Board and DRC prior to a decision on this application. A digital copy of this document will be provided so that it may be incorporated into the response.

PLANNING AND ZONING ISSUES:

GENERAL

1. This application proposes the transfer of 0.5 +/- acres from 3096 to 3092 Clover Street. Both properties are zoned Residential Neighborhood (RN).
2. This project is a Type II Action pursuant to SEQRA 617.5(c)(16) and requires no further environmental review under SEQRA. (DPW)
3. The submitted plan is a resubdivision map without the details that will be necessary to issue a building permit for a new home. It is presumed that the purpose of the application is to have an adjusted building lot and new home site approved. A site plan for the new home will need to be provided that includes home location with a driveway shown, grading, utility connections, and a possible septic with percolation hole data. This will need to be in a form that Monroe County Public Health can review and approve. Typically, if the home design has not been determined, a rectangle that indicates the anticipated garage and driveway location can be shown. (DPW)

SANITARY SEWERS

4. The affected lots were approved as part of the Victorian Estates Subdivision in 1983. Although lots were designed and approved with septic systems at the time, a new septic design must be submitted to MCPH for approval. Sanitary sewers have since been installed closer to the site, making a sewer connection possible. (DPW)
5. If the cost of connecting to the sanitary sewer is greater than 1.5 times the cost of installing a septic system, Monroe County Public Health would consider approval of a septic system. Following correspondence with MCPH, the department would prefer to tie into sewer but understand the constraints of the applicant. (DPW)
6. Town Code Section 121-18 Dry Sanitary Sewers may be applicable to this project if the home is not connected to public sewer. (DPW)
7. Please submit cost estimates to extend the public sanitary sewer main and to construct a septic system to serve this vacant parcel. Please contact the Town for details of how estimates will need to be prepared. (DPW)

8. It is recommended that the applicant contact neighbors at 3098, 3102, 3108, and 3114 Clover Street for interest in a possible sanitary sewer main extension. The Town can assist in this process. (DPW, PSD)
9. Sanitary sewer easements will be required for the extension of the sewer main to the vacant parcel as well as an easement within the vacant parcel for future sewer main extension. (DPW)
10. Properties proposed to connect to the sanitary sewer main will require a Pittsford Sewer District extension and an approved sewer design from the Pittsford Sewer Department. (DPW, PSD)

MISCELLANEOUS

11. The Town shall be copied on all correspondence with MCPH, MCWA, and RG&E in regard to the water, sewer, and gas utilities for the proposed home. (TE)
12. The Town's standard recreation fund fee is applicable for each new home. This fee is currently \$1,000.00 and is collected when a building permit is issued. (DPW)
13. All new homes are subject to review and approval by the Design Review and Historic Preservation Board. (DPW)
14. A building permit for the new home is subject to review and approval by the Town of Pittsford Building Department. (DPW)

NOTE: The letters in parenthesis following each comment identifies the DRC Member listed below making the comment:

DPW – Department of Public Works

EB – Environmental Board

PSD – Pittsford Sewer Department

PD – Parks Department

PRAB – Parks & Rec. Advisory Board

TRE – Town Review Engineer

FD – Fire Department (PFD – Pittsford, BFD – Brighton)

MCPD – Monroe County Planning Department

FM – Fire Marshal

**TOWN OF PITTSFORD
PLANNING BOARD
OCTOBER 23, 2023**

Minutes of the Town of Pittsford Planning Board meeting held on October 23, 2023 at 6:30PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Kevin Morabito, Hali Buckley, John Limbeck, Dave Jefferson, John Halldow, Paula Liebschutz, Paul Alguire

ABSENT:

ALSO PRESENT: Doug DeRue, Director of Planning, Zoning, and Development; Robert Koegel, Town Attorney; Evan Harkin, Student Member; April Zurowski, Planning Assistant

ATTENDANCE: There were 11 members of the public present.

Chairman John Limbeck made a motion to call the meeting to order, seconded by Board Member Dave Jefferson. Following a unanimous voice vote, the meeting opened at 6:30PM.

DECISION PENDING:

Panorama Landing Office Park – Phase 2
Amendment to Final Site Plan/Subdivision Approval

The applicant was not present.

Chairman Limbeck stated that this application is not subject to a public hearing.

Chairman Limbeck read the Amendment to Final Site Plan/Subdivision Approval resolution, which was unanimously approved.

NEW HEARING:

1 Sinclair Drive (Cloverwood Living Facility), Generator
Preliminary/Final Site Plan (Tobey PUD)

Mike Mantell, of Stantec, and as agent for Cloverwood Senior Living, introduced the application. He described that the existing patio homes and main building are serviced by two emergency back-up generators. The applicant is proposing to remove both of these generators and replace emergency service with one larger generator. The proposed generator will be located on the south side of the main building. The generator will be placed on a platform and will cause a reduction of three parking spaces. The site has existing vegetation and screening which will remain. The applicant expects up to three months of construction. The existing generators will be removed after the installation of the new generator. The manufacturer recommends weekly testing for 10-15 minutes. The New York State Department of Health requires a monthly test for 30-45 minutes. The decibel levels for the new generator will be equivalent to office background noise.

DRAFT MINUTES 102323

Board Member Alguire asked the specific number of decibels that the generator will produce. Mr. Mantell stated that the generator is calculated to produce 65 decibels of noise to the nearest home, similar to office background noise.

Board Member Jefferson asked the applicant why a diesel generator was selected. Mr. Mantell stated that the existing generators are diesel fueled. Chairman Limbeck asked if a fire suppression system will be installed, considering 5,200 gallons of fuel will be on site. Mr. Mantell stated that a suppression system is not required but other safety precautions will be maintained.

Board Member Alguire stated that the "vegetation and screening" explained in the introduction should not be considered as a mitigating measure. He asked Mr. Mantell to discuss sound levels with neighbors and consider additional plantings. Mr. Mantell stated that the sound omitted should not be substantial. Board Member Alguire asked if fencing is proposed. Mr. Mantell stated that the generator will be within a metal enclosure.

Board Member Liebschutz asked if the generator would produce any smell. Mr. Mantell stated that smell should not be an issue to neighbors or Cloverwood Senior Living residents. Mr. DeRue stated that the Town has not received complaints about smell or noise from the existing generators.

Chairman Limbeck motioned to open the public hearing, seconded by Board Member Buckley, none opposed. Chairman Limbeck asked for public comment. Hearing none, Chairman Limbeck motioned to close the public hearing, seconded by Board Member Morabito, none opposed.

Chairman Limbeck read the Preliminary/Final Site Plan resolution, which was unanimously approved.

OTHER DISCUSSION:

The minutes of September 11, 2023, were approved following a motion by Chairman Limbeck, seconded by Board Member Morabito. Following a unanimous voice vote, the minutes were approved, none opposed.

Chairman Limbeck motioned to close the meeting at 6:48PM, seconded by Vice Chairman Halldow, and was approved by a unanimous voice vote, none opposed.

Respectfully submitted,

April Zurowski
Planning Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE PLANNING
DEPARTMENT