

**Design Review & Historic Preservation Board
AGENDA
October 12, 2023**

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, October 12, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

6 Malm Lane

Applicant is requesting design review for a 600 square foot covered deck off the southeast corner of their home.

67 Crestview Drive

Applicant is requesting design review for a 500 square foot covered patio off the rear of the home.

RESIDENTIAL APPLICATIONS: NEW HOMES

5 Bridleridge Farms

Applicant is requesting design review for a two-story, 2,810 square foot single-family home in the Bridleridge Subdivision.

7 Bridleridge Farms

Applicant is requesting design review for a two-story, 3,088 square foot single-family home in the Bridleridge Subdivision.

41 & 43 Skylight Trail

Applicant is requesting design review for a one-story, two unit townhome in the Alpine Ridge Subdivision. The units are 2,780 and 2,014 square feet respectively.

20 Kerrygold Way

Applicant is requesting design review for a one-story, 5,048 square foot single-family home in the Clover Estates neighborhood.

CERTIFICATE OF APPROPRIATENESS

35 Long Meadow Circle

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the exterior painting of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

DEMOLITION APPLICATIONS

105 Ellingwood Drive

Applicant is requesting approval for complete demolition of their home, with the exception of the garage, with the intent to rebuild a larger home on the property.

**TOWN OF PITTSFORD
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
SEPTEMBER 28, 2023**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on September 28, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Jim Vekasy; John Mitchell; Bonnie Salem; Kathleen Cristman

ABSENT: Dirk Schneider, Chairman; Dave Wigg, Vice Chairman; Paul Whitbeck

ALSO PRESENT: Anthony Caruso, Building Inspector; Meghan Brooks, Building Department Assistant

ATTENDANCE: There were 5 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Member Jim Vekasy called the meeting to order at 6:02PM.

HISTORIC PRESERVATION DISCUSSION

DRHPB Member Bonnie Salem gave a brief update on the planning progress for the 2023 Reception for Owners of Inventoried Homes. She stated that the DRHPB is currently waiting on confirmation from Chairman Dirk Schneider for the name of the speaker before letters can be sent out. The draft letter and homeowners list has been approved. The reception is scheduled for November 30.

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

52 Turning Leaf Drive

Applicant is requesting design review for an addition off the rear of the home.

Tim Smith with Woodstone Custom Homes introduced the application. Mr. Smith briefly described the scope of the project, which includes a dining room addition and a new deck. Roofing and siding will match the existing home and the landscaping will be restored.

The Board asked Mr. Smith for details about the plans, including the stone fireplace wall and the stairs. Mr. Smith confirmed that the stairs will lead off of the dining room and not the deck, and that the corner of the stone wall will be capped rather than turning the corner.

DRHPB Member Jim Vekasy motioned to approve the approximately 400 square foot addition and the 330 square foot deck off the rear of the home, finishes matching the existing home, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

RESIDENTIAL APPLICATIONS: NEW HOMES**12 Aden Hill**

Applicant is requesting design review for a 1,756 square foot, one-story, single-family home in the Wilshire Hill subdivision.

Bill Arieno of Pride Mark Homes introduced the application. Mr. Arieno stated that this will be the third to last home in the subdivision. This design has been utilized on multiple sites in Wilshire Hill because it fits well within the pie-shaped lots that taper in the back. He noted that there has been a lot of good feedback about the design from the previous buyers.

Board Member Salem asked if the house is set farther forward because of the lot shape and asked about the square footage. Mr. Arieno stated that it would follow the same building line as the rest of the homes and that the home has 1,756 square feet of livable space. The garage and porch square footage brings the number to 2,406.

DRHPB Member John Mitchell motioned to approve the 1,756 square foot, one-story, single-family home in the Wilshire Hill subdivision as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATE OF APPROPRIATENESS**35 Long Meadow Circle**

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the exterior painting of a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

The applicant was not present to introduce the application. DRHPB Member Jim Vekasy opened the public hearing. He asked if anyone in the audience wished to opine on the application. No one from the public came to the podium. The Board decided to wait on a resolution until the applicant can be present.

The public hearing remains open until the following meeting on October 12.

COMMERCIAL APPLICATIONS: ACCESSORY STRUCTURES**507 Thornell Road - Northfield Church**

Applicant is requesting design review for an oversized storage structure of approximately 280 square feet on a commercial property. This property is zoned Residential Neighborhood (RN).

Reynold Bailey of the Northfield Church introduced the application. Mr. Bailey gave a brief overview of the 14'X20' storage shed that the Church is hoping to set in the back of the property. It would be primarily used for chair racks, as well as ladders, hoses, etc.

Board Member Salem asked if the shed is considered oversized in height or in size. Building Inspector Anthony Caruso confirmed that it is only considered oversized in size, not in height.

DRHPB Member Kathleen Cristman motioned to approve the oversized storage structure of approximately 280 square feet, on a commercial property, as submitted. This motion was seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNAGE

3349 Monroe Avenue - Restore Hyper Wellness

Applicant is requesting design review of an approximately 31 square foot sign for Restore Hyper Wellness in Pittsford Plaza.

Maggie Geraci of Restore Hyper Wellness introduced the application. Ms. Geraci stated that the store is new to Pittsford Plaza and they hope to be open in mid-November. They are seeking approval for their corporate-mandated sign.

DRHPB Member Kathleen Cristman asked if the colors in the sign are corporate branding. Ms. Geraci confirmed that they are and gave a summary of how they will be lit. Upon inquiry from Board Member Vekasy, Ms. Geraci also stated that the sign will be composed of individually mounted letters.

DRHPB Member Jim Vekasy motioned to approve an approximately 31 square foot sign for Restore Hyper Wellness in Pittsford Plaza as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

OTHER DISCUSSION

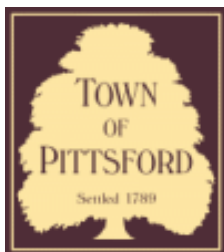
The minutes of September 14, 2023, were approved following a motion by DRHPB Member Jim Vekasy. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Member Jim Vekasy closed the meeting at 6:24PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA23-000197

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 6 Malm Lane ROCHESTER, NY 14618

Tax ID Number: 150.08-1-1.3

Zoning District: RN Residential Neighborhood

Owner: Convery, Matthew

Applicant: Convery, Matthew

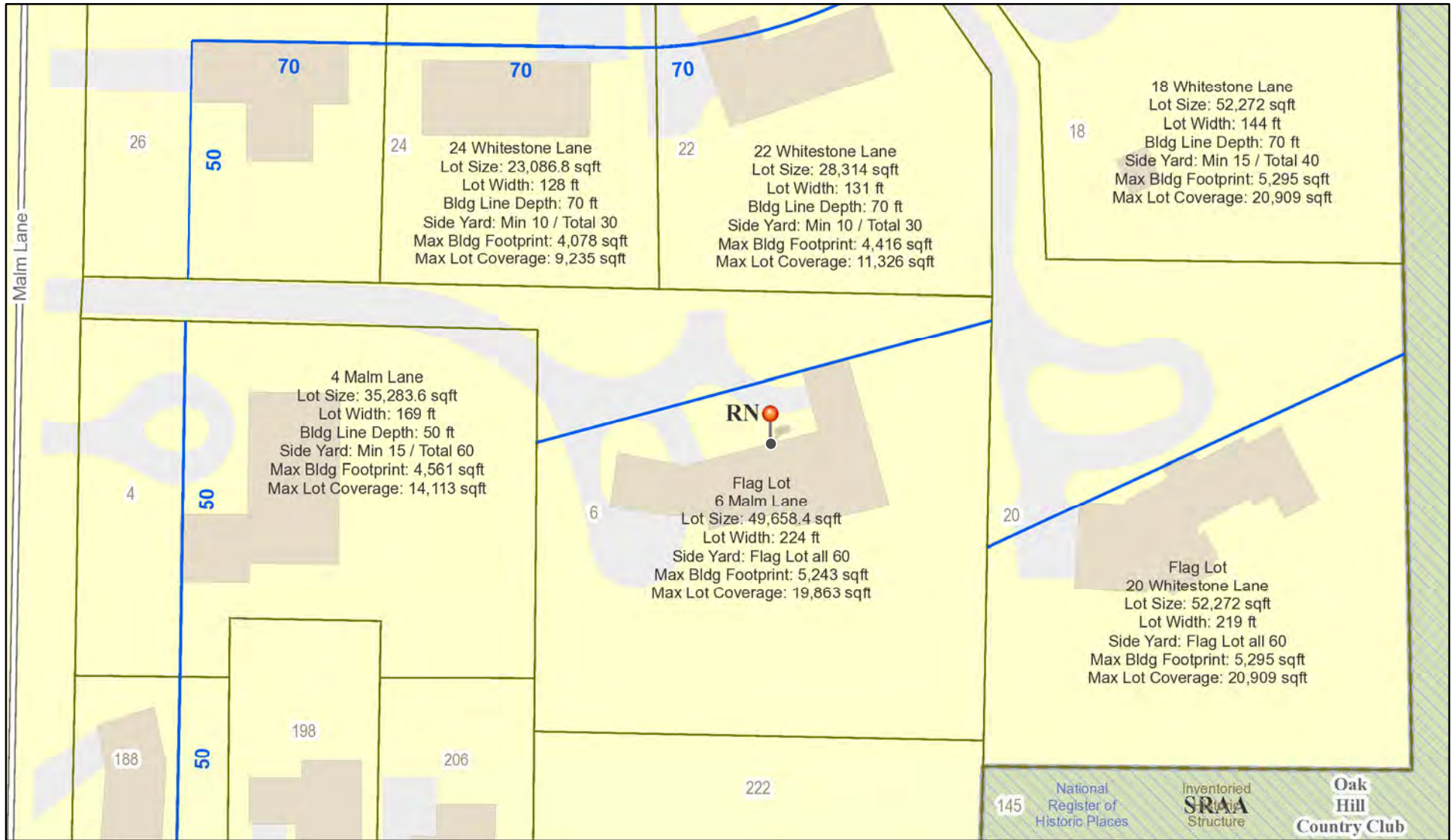
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

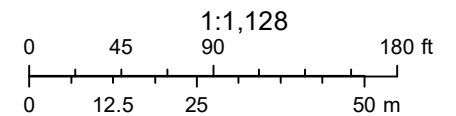
Project Description: Applicant is requesting design review for a 600 square foot covered deck off the southeast corner of their home.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning

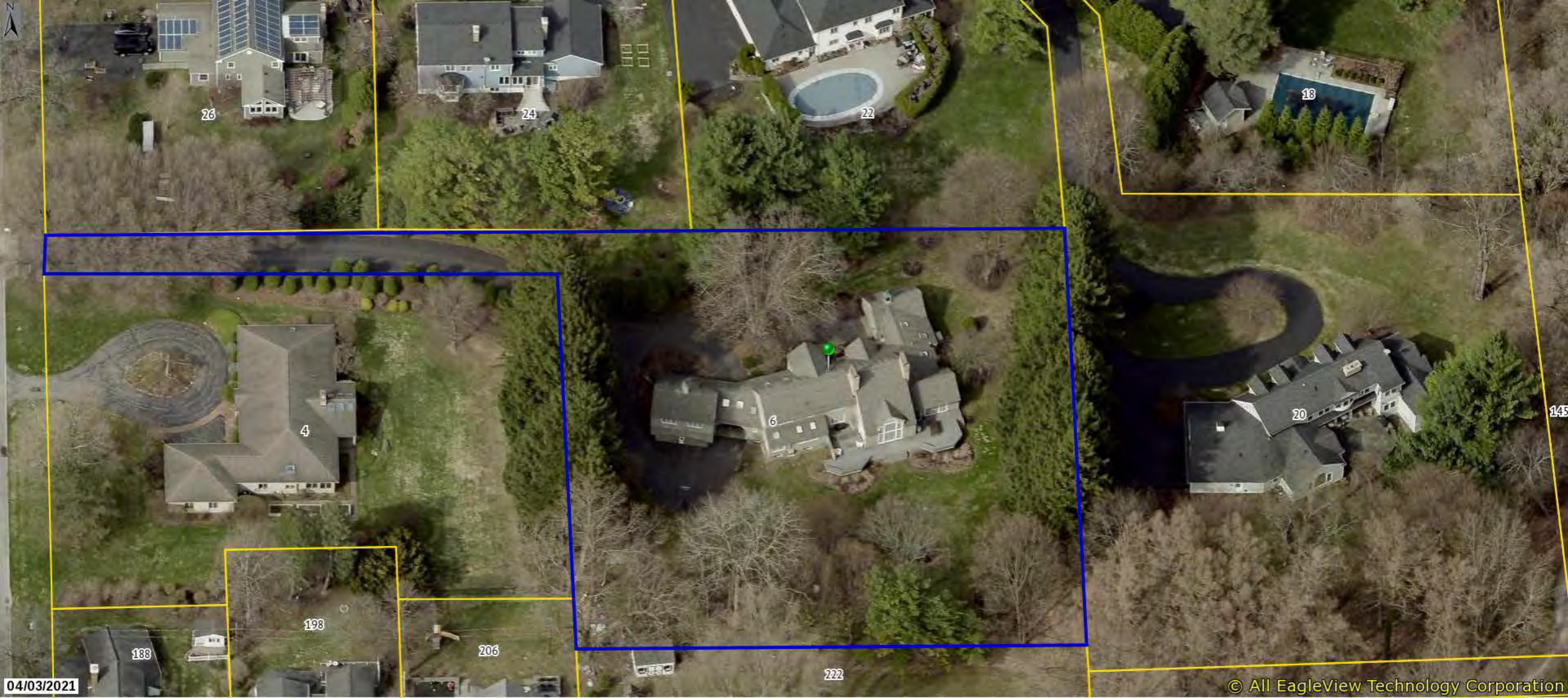


Printed October 5, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



26

24

22

18

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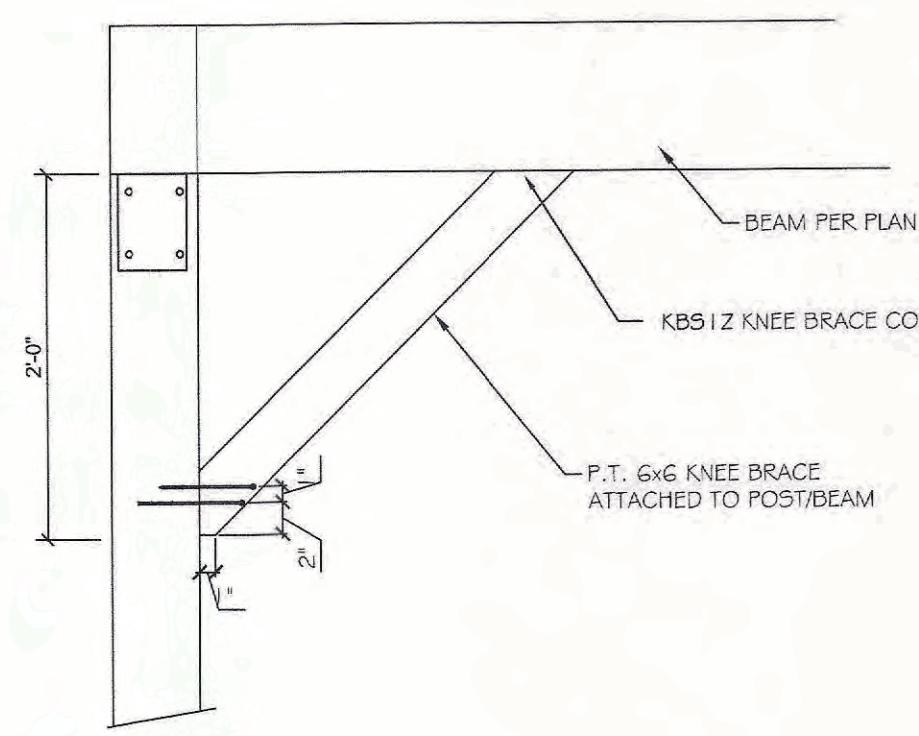
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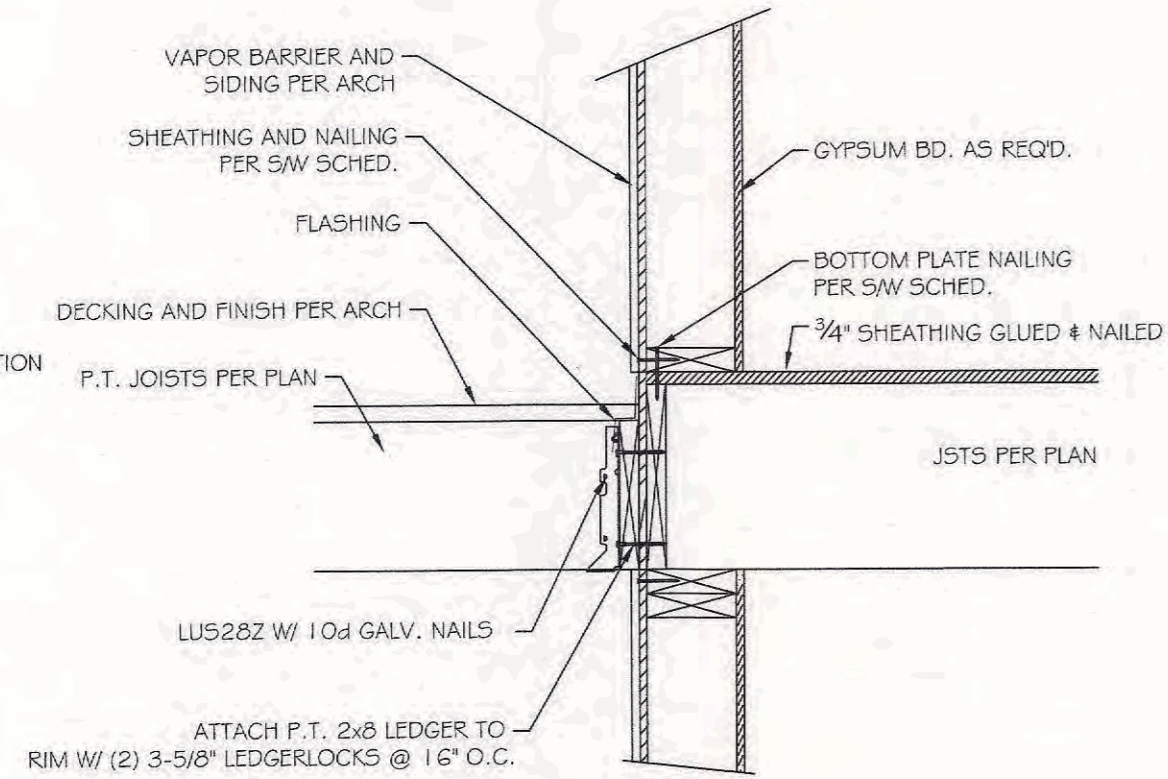
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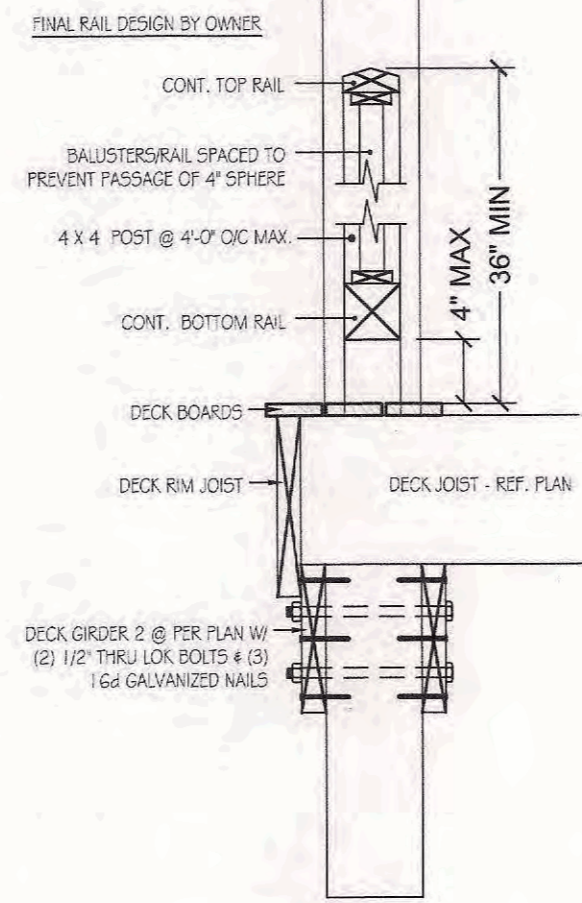
6



6 KNEE BRACE DETAIL
A100 SCALE: 1 = 1'-0"

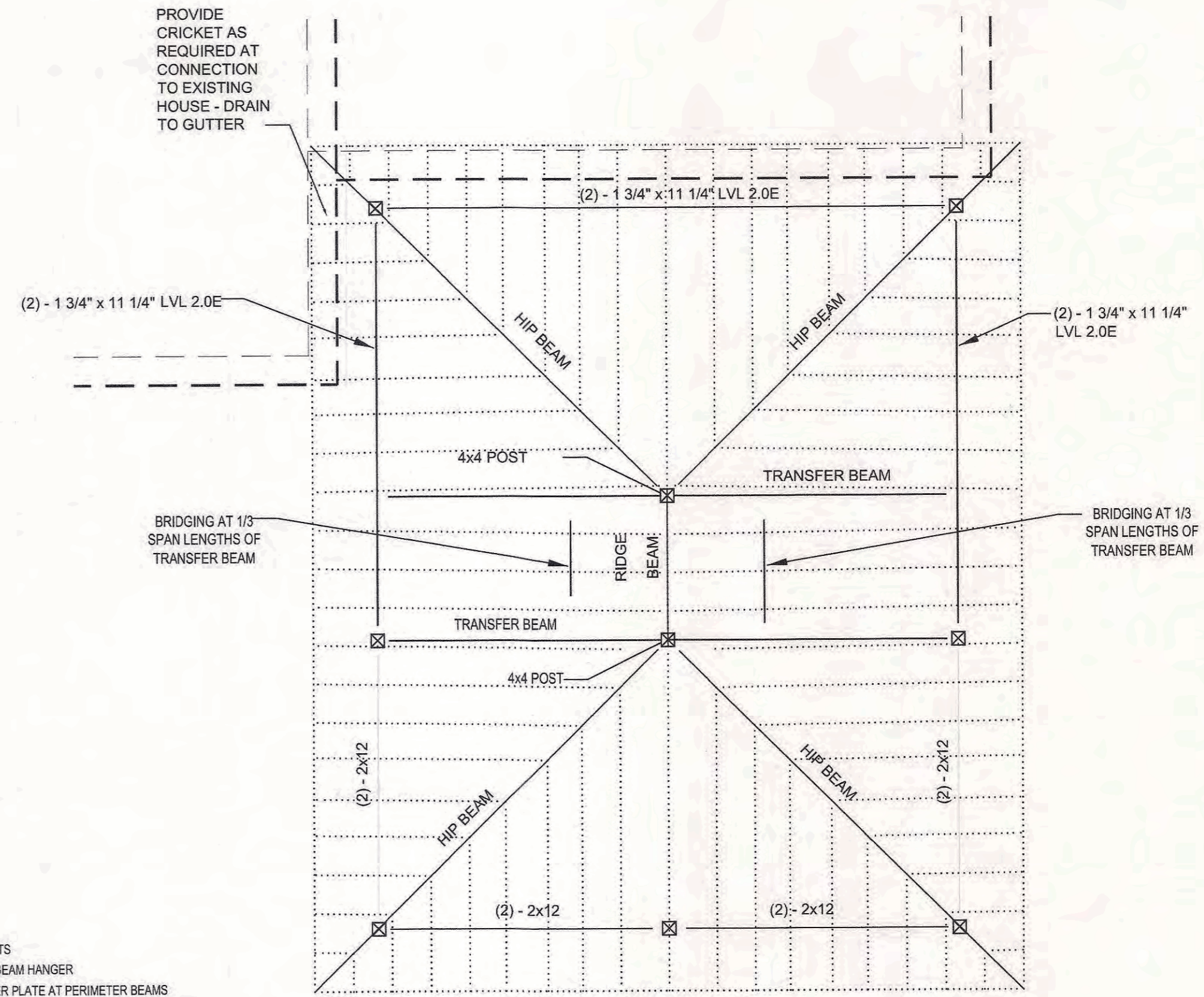


5 DECK AT HOUSE CONNECTION
A100 SCALE: 1 = 1'-0"

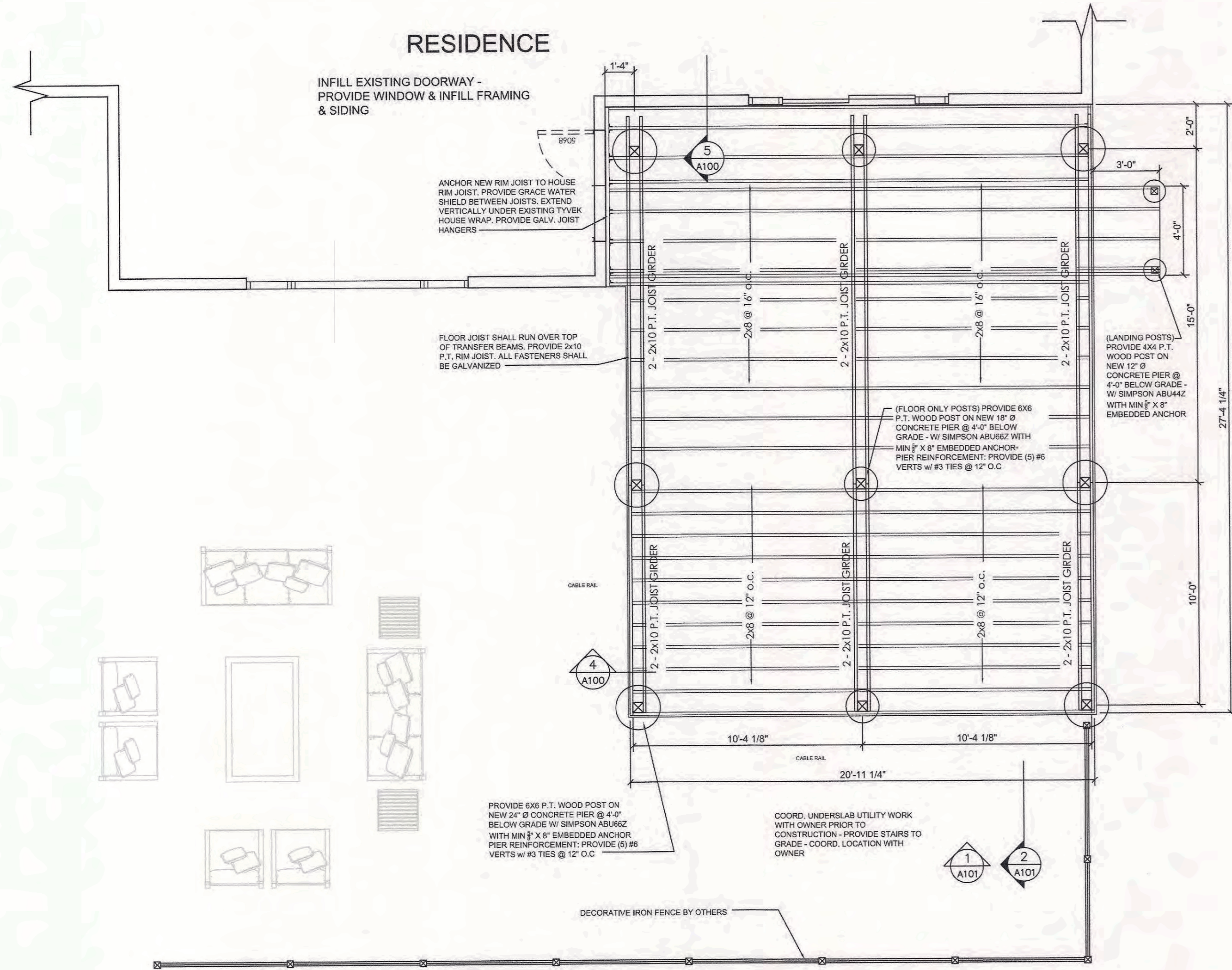


4 EDGE OF DECK @ RAILING
A100 SCALE: 1 = 1'-0"

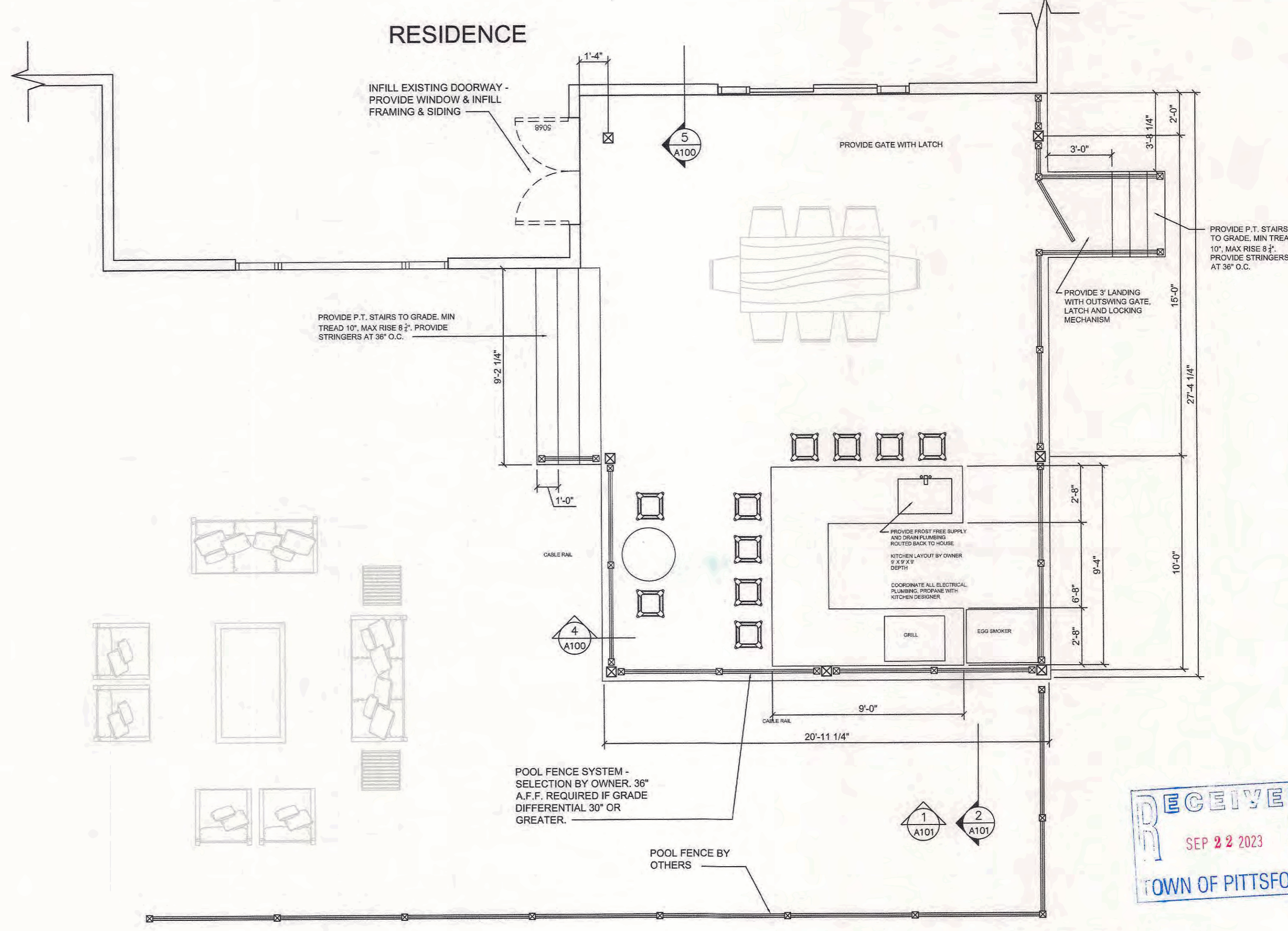
ALL DIMENSION LUMBER = DF No. 1, Unless Noted
 RAFTERS = 2x8 @ 24" O.C. Or 2x6 @ 18" O.C.
 HP BEAMS = (2) - 2x12
 RIDGE BEAM = (2) - 2x12
 TRANSFER BEAMS = (3) - 1 3/4" x 11 1/4" LVL 2.0E
 MAIN COLUMNS = 6x8 PRESSURE TREATED WOOD POSTS
 HIP-TO-RIDGE CONNECTORS = SIMPSON HRR22 HIP BEAM HANGER
 HIP-TO-CORNER CONNECTORS = SIMPSON HCP CORNER PLATE AT PERIMETER BEAMS
 RIDGE-TO-POST & POST-TO-TRANSFER BEAM CONNECTORS = SIMPSON BCS POST CAP & BC POST BASE
 PERIMETER BEAM-TO-MAIN COLUMN CONNECTIONS = SIMPSON CCT AND ECCL COLUMN CAPS
 TRANSFER BEAM-TO-PERIMETER BEAM CONNECTIONS = SIMPSON HB HANGERS



3 PROPOSED ROOF & FRAMING PLAN
A100 SCALE: 1/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
A100 SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN
A100 SCALE: 1/4" = 1'-0"

SUPERSTRUCT
 BUILDING ON EXISTING FOUNDATIONS
 Drawn By SK Checked By SK
 Print Date 7.25.23 Proj # 23011
 WWW.SUPERSTRUCT-NY.COM 685-944-8269



CONVEYER PATIO
 6 MALM LANE
 ROCHESTER, NY 14618

Revisions

No	Date	By	Description

Drawing issued For
PERMIT DOCUMENTS

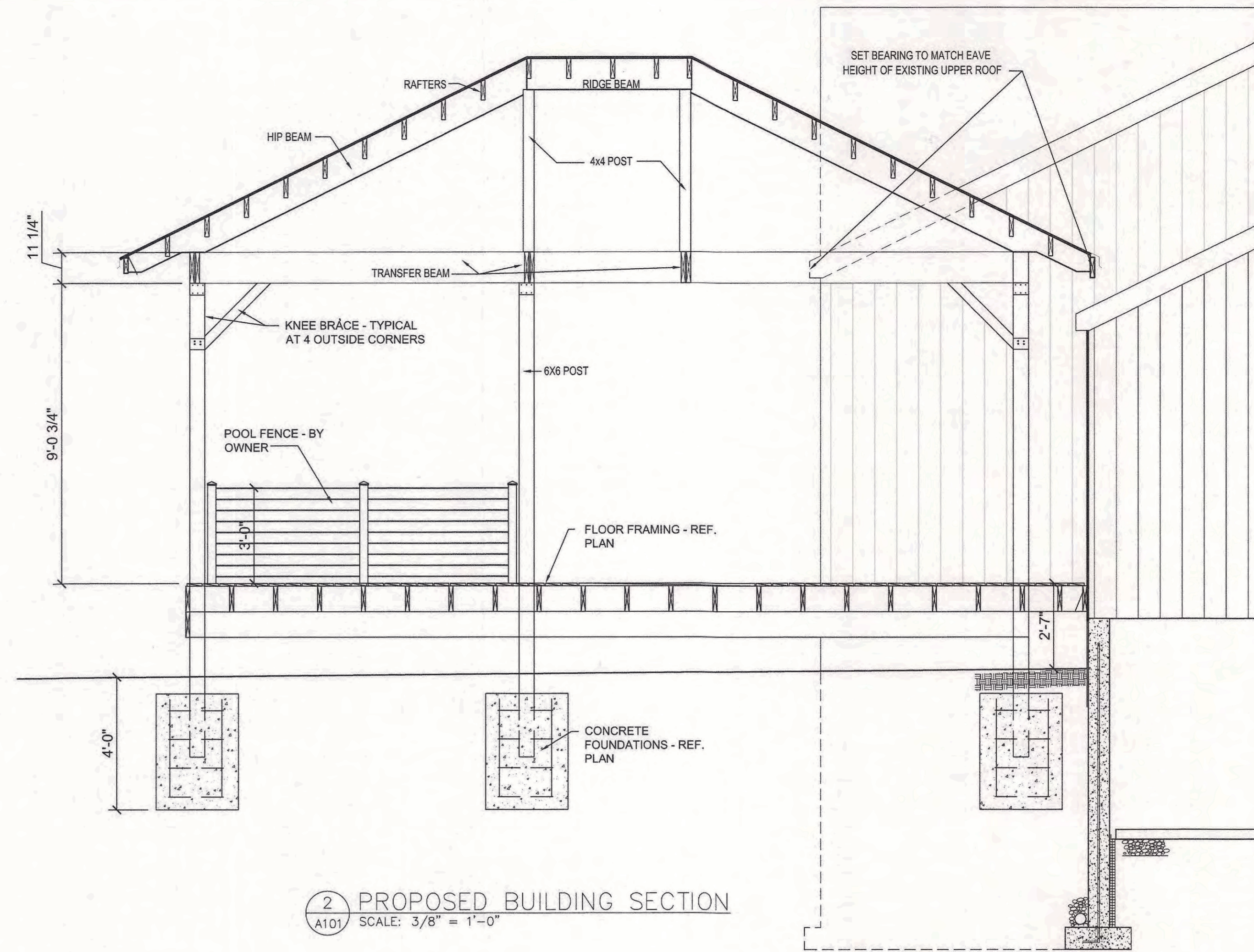
Drawing Issue Date
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Sheet Title
PROPOSED FLOOR PLANS

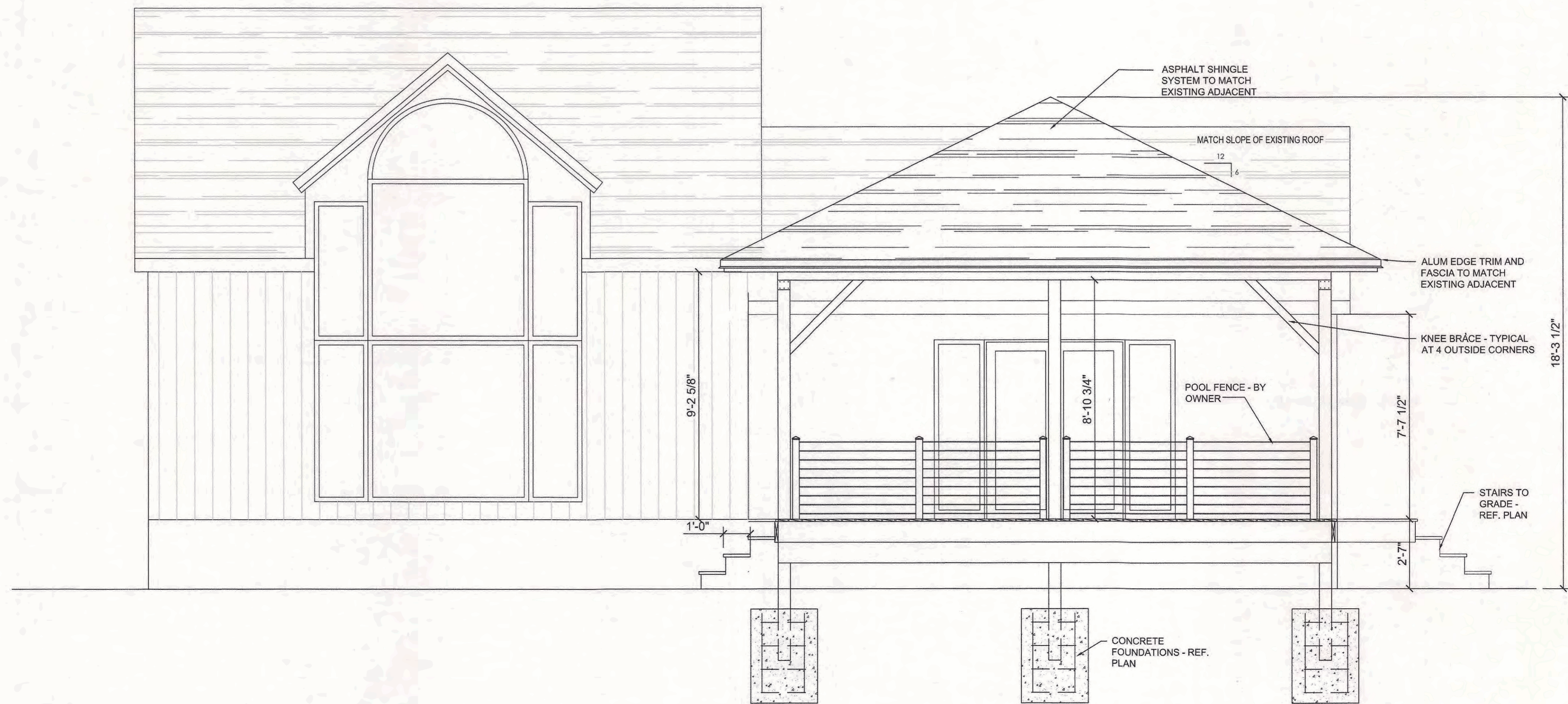
Sheet Number
A100



THESE DRAWINGS ARE A SINGLE PART OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS. INTERPRETATION OF INFORMATION AS PRESENTED IS TO BE BASED ON THE ENTIRE SET OF DOCUMENTS.



2 PROPOSED BUILDING SECTION
A101 SCALE: 3/8" = 1'-0"



1 PROPOSED SIDE ELEVATION
A101 SCALE: 3/8" = 1'-0"

SUPERSTRUCT
BUILDING ON EXISTING FOUNDATIONS
Drawn By SK Checked By SK
Print Date 7.25.23 Proj # 23011
WWW.SUPERSTRUCT-NY.COM 585-944-8269

Architect/Engineering Stamps



CONVERY PATIO
6 MALM LANE
ROCHESTER, NY 14618

Revisions

No	Date	By	Description

Drawing Issued For
PERMIT DOCUMENTS

Drawing Issue Date
7.25.23

Sheet Title
PROPOSED ELEVATIONS

Sheet Number
A101

THESE DRAWINGS ARE A SINGLE PART OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS. INTERPRETATION OF INFORMATION AS PRESENTED IS TO BE BASED ON THE ENTIRE SET OF DOCUMENTS.



Home > Products > Decking > TimberTech Advanced PVC > Vintage Collection®



TIMBERTECH ADVANCED PVC

Vintage Collection®

Exotic Hardwood Aesthetic

Get the sought-after look of premium hardwoods such as ipe, mahogany, and teak, without the rigorous maintenance of wood. Our capped polymer decking features proprietary materials technology that delivers sophisticated, real wood aesthetics you'll never have to sand, stain, or seal.

COLOR ENGLISH WALNUT



SAMPLE SIZE

1' Sample

FREE \$0.00

\$0.00

- 1 +

ADD TO CART



FREE SAMPLES

CALCULATE COST

WHERE TO BUY

FIND A CONTRACTOR

Color Selection

Available in these premium colors:

ArrowLine Shake, ArrowLine Slate (Solid Colors)



Sandtone ●□ Cedar ●□



Pewter ●□ T-Tone ●□



Copper ●□ Classic Blue ●□



Charcoal Gray ●■ Royal Brown ●■



Statuary Bronze ●■ Classic Red ●■



Hartford Green ●■ Stone ■○



Zn90 (Premium) ○□

● Std. Shake - 30ga
(these colors also available
in 28ga as special order)

○ Sp. Shake - 28ga

◎ Prem. Shake - 28ga

■ Std. Slate - 28ga

□ Sp. Slate - 28ga

EDCO solid roofing colors meet or exceed ENERGY STAR® standards, which can reduce your energy costs.

Note: All colors shown are as accurate as possible. Please refer to actual color chip samples before making your final color selection.

Arrowline Enhanced Slate (28ga)



Stone Blend T-Tone Blend Classic Red Blend Charcoal Gray Blend



Royal Brown Blend Statuary Bronze Blend

Arrowline Enhanced Shake (30ga Std, 28ga Spec)



Hartford Green Blend Charcoal Gray Blend T-Tone Blend Classic Red Blend



Royal Brown Blend Statuary Bronze Blend

Infiniti Thermal-Fused Shake (28ga)



Aged Bronze Chestnut Brown Granite Gray Obsidian Roadhouse



Aged Bronze Enhanced Chestnut Brown Enhanced Granite Gray Enhanced Weathered Wood Enhanced

Generations HD Shake (28ga)



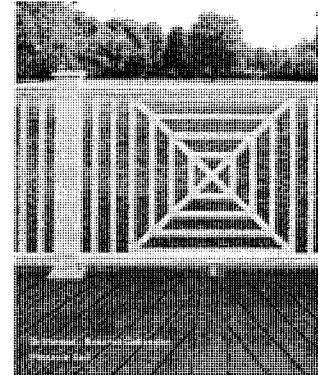
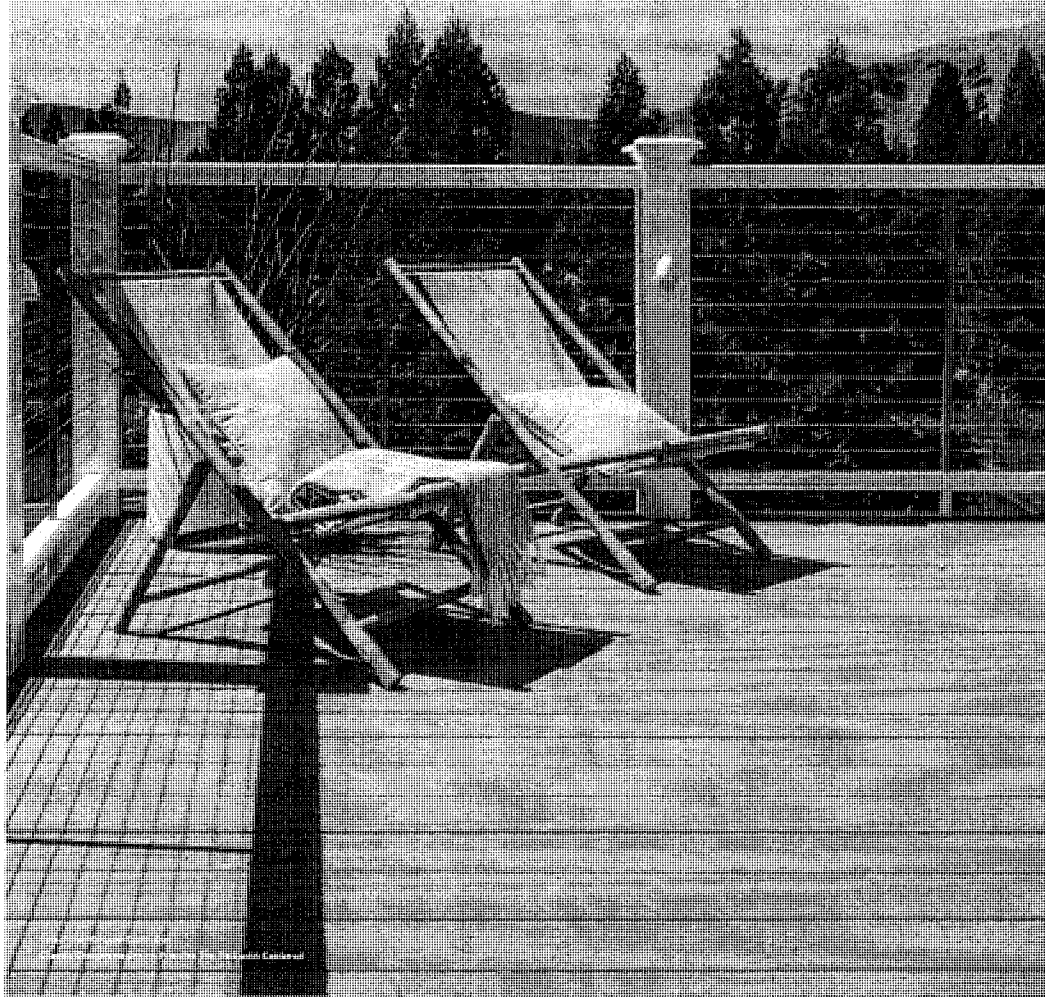
Copper HD T-Tone HD Sandtone HD Royal Brown HD Pewter HD



Cedar HD Charcoal Gray HD Hartford Green HD Classic Red HD

TimberTech
RAILING
BY AZEK

THREE DURABLE MATERIALS,
ENDLESS STYLE OPTIONS



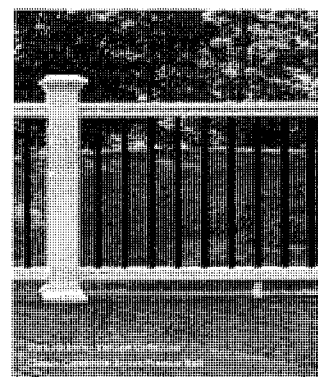
PVC

\$558

Extruded PVC material with aluminum reinforcement for exceptional performance, this collection has elevated design.

- Best moisture resistance & durability. Won't absorb, rot, or split.
- Lifetime warranty for color protection.
- Lightweight for easy handling.
- Paintable for a custom look, but not required for protection.
- 100% wood-grained design.
- Elevated design. Clean corners, tight, close lines.

OK



COMPOSITE

\$3-355

A mix of high-performance polymers and recycled wood fibers for impressive durability, this collection offers the most customization and style options.

- Highly durable. Resists cracking, splitting, and splintering.
- Moisture-resistant. Protected from mold, rot, and UV.
- Recreates the look of painted wood.
- Premium Merkle values protected by 20-year Limited Finish & Stain Warranty.
- Never needs painting or staining for protection.
- Made from up to 50% recycled material.
- Offers the most customization & style options from modern to traditional.



METAL

\$5

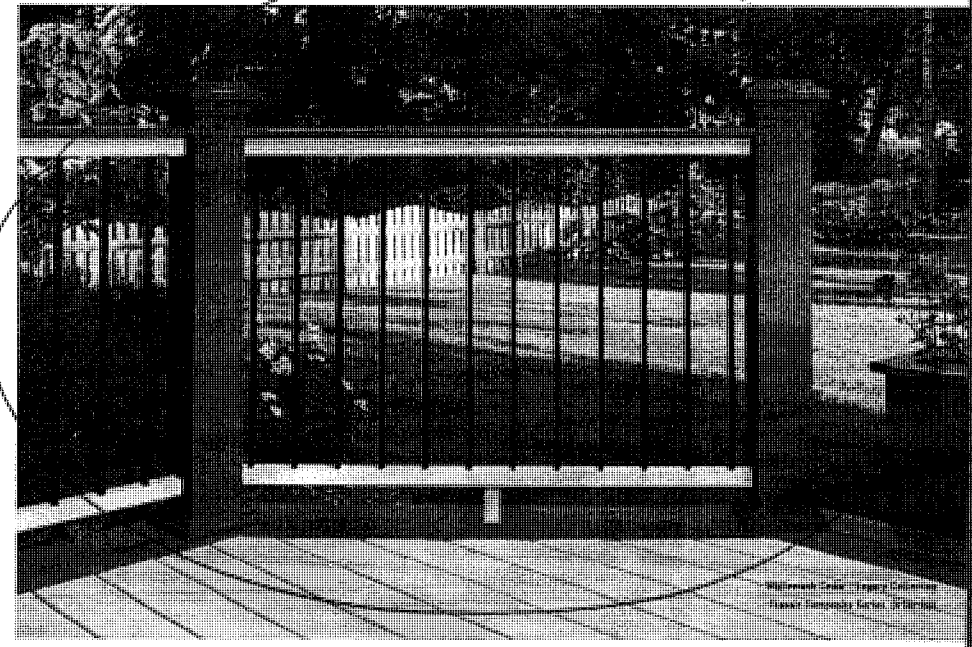
Powder-coated aluminum for high performance and corrosion resistance, the panelized railing system in this collection makes it easy to install.

- Superior durability. Resists fading, staining, and scratching.
- Moisture-resistant. Resists rotting and warping.
- Premium finishes for a low-maintenance look for up to 20% less than competitors.
- Panelized railing system is a great first step for a variety of railing systems.
- Weight varies by panel thickness.
- Built top rail system with no visible hardware.

INFILLS

PRODUCT DESCRIPTION	TimberTech Item Number				
	WHITE	BLACK	MATTE WHITE	MATTE ESPRESSO	MATTE BLACK
COMPOSITE BALUSTERS - 18/Pack					
29" Square Composite Balusters for 36" railing height and stairs	AZT29BALW	AZT29BALB	AZT29BALMW	AZT29BALME	AZT29BALMB
31" Square Composite Balusters for stairs	AZT31BALW	AZT31BALB	AZT31BALMW	AZT31BALME	AZT31BALMB
35" Square Composite Balusters for 42" railing height and stairs	AZT35BALW	AZT35BALB	AZT35BALMW	AZT35BALME	AZT35BALMB
37" Square Composite Balusters for stairs	AZT37BALW	AZT37BALB	AZT37BALMW	AZT37BALME	AZT37BALMB
CABLERAIL KITS BY FEENEY*					
36" CableRail Hardware Kit - 9 Quick-Connect fittings, 9 Quick-Connect swivel fittings, 18 Hanger Bolts, 9 Lock Nuts					AZTCR36HWKIT
42" CableRail Hardware Kit - 11 Quick-Connect fittings, 11 Quick-Connect swivel fittings, 22 Hanger Bolts, 11 Lock Nuts					AZTCR42HWKIT
36" CableRail Intermediate Baluster - 9-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR36BAL
42" CableRail Intermediate Baluster - 11-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR42BAL
36" CableRail Stair Intermediate Baluster - Angled 9-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR36STAIRBAL
42" CableRail Stair Intermediate Baluster - Angled 11-Hole Baluster, Intermediate Base Plate, #10X2" Pan Head Screw, (3) #10X1" Flat Head Screws					AZTCR42STAIRBAL
CableRail 100' Stainless Steel Cable					AZTCR100CABLE
CableRail 500' Stainless Steel Cable					AZTCR500CABLE
CableRail Accessory Kit					AZTCRACCKIT
CableRail Cutter					AZTCRCUTTER
CableRail Protector Sleeves (20/pack)					AZTCRSLLEEVE
CableRail SteelRenewal® SteelProtect® Combo					AZTCR5RS5PC
GLASS CHANNEL KITS *Glass infills are not compatible with Drink Rail top rail option.					
6" Glass Channel Kit White - Glass Panel Sourced Locally					AZTGLASS6W
6" Glass Channel Kit Black - Glass Panel Sourced Locally					AZTGLASS6B
ALUMINUM BALUSTERS - 20/Pack					
29" Aluminum Baluster for 36" rail height	AZT29RABALB		AZT29SA-BALB		
31" Aluminum Baluster for 36" rail height and stairs	AZT31RABALB	AZT31RASTAIRBALB	AZT31SA-BALB	AZT31SASTAIRBALB	
35" Aluminum Baluster for 42" rail height	AZT35RABALB		AZT35SA-BALB		
37" Aluminum Baluster for 42" rail height and stairs	AZT37RABALB	AZT37RASTAIRBALB	AZT37SA-BALB	AZT37SASTAIRBALB	

Required number of Balusters for Composite: 23 per 10' section, 18 per 8' section, 13 per 6' section.
 Required number of Balusters for Aluminum: 25 per 10' section, 20 per 8' section, 15 per 6' section.



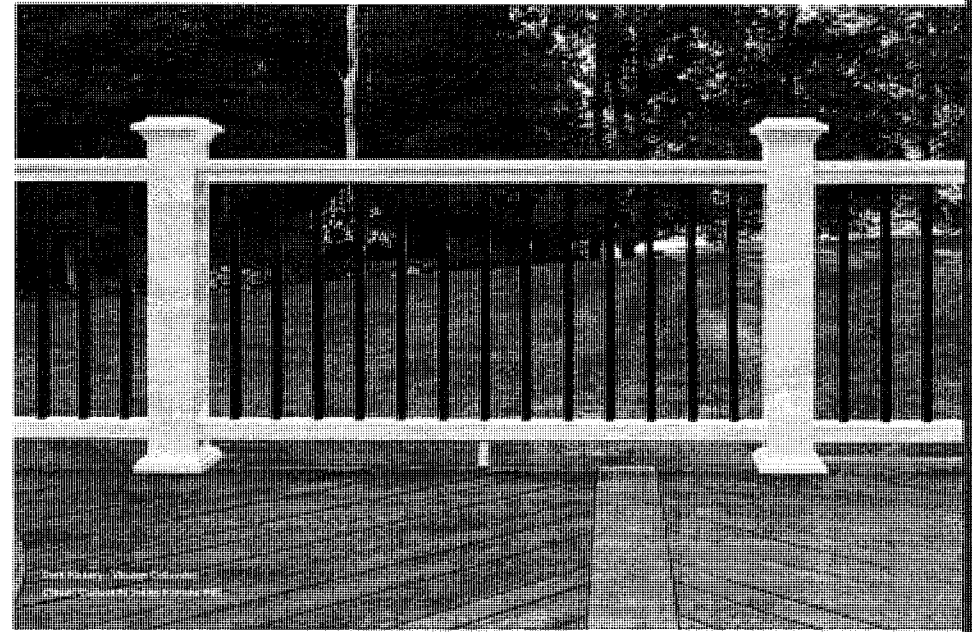
POST SLEEVES, CAPS, SKIRTS

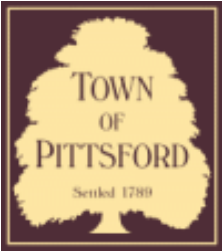
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POST SLEEVES					
4" x 4" x 39" Post Sleeve	AZT4X4PCV39W	AZT4X4PCV39B	AZT4X4PCV39MW	AZT4X4PCV39ME	AZT4X4PCV39MB
4" x 4" x 96" Post Sleeve	AZT4X4PCV96W	AZT4X4PCV96B	AZT4X4PCV96MW	AZT4X4PCV96ME	AZT4X4PCV96MB
5" x 5" x 42" Post Sleeve	TSX5PCV42W	TSX5PCV42B	TSX5PCV42MW	TSX5PCV42ME	TSX5PCV42MB
5" x 5" x 144" Post Sleeve	TSX5PCV144W	TSX5PCV144B	TSX5PCV144MW	TSX5PCV144ME	TSX5PCV144MB
5.5" x 5.5" x 39" Post Sleeve	A5X55PCV39W	A5X55PCV39B	A5X55PCV39MW	A5X55PCV39ME	A5X55PCV39MB
5.5" x 5.5" x 54" Post Sleeve	A5X55PCV54W	A5X55PCV54B	A5X55PCV54MW	A5X55PCV54ME	A5X55PCV54MB
5.5" x 5.5" x 144" Post Sleeve	A5X55PCV144W	A5X55PCV144B	A5X55PCV144MW	A5X55PCV144ME	A5X55PCV144MB
POST CAPS AND SKIRTS					
4" x 4" Post Cap	TX4X4PCAPW	TX4X4PCAPB	TX4X4PCAPMW	TX4X4PCAPME	TX4X4PCAPMB
4" x 4" Island Cap	TX4X4ICAPW	TX4X4ICAPB	TX4X4ICAPMW	TX4X4ICAPME	TX4X4ICAPMB
4" x 4" Post Skirt	AZT4X4PSKIRTW	AZT4X4PSKIRTB	AZT4X4PSKIRTMW	AZT4X4PSKIRTIME	AZT4X4PSKIRTMB
5" x 5" Post Cap	TSX5PCAPW	TSX5PCAPB	TSX5PCAPMW	TSX5PCAPME	TSX5PCAPMB
5" x 5" Post Skirt	TSX5PSKIRTW	TSX5PSKIRTB	TSX5PSKIRTMW	TSX5PSKIRTIME	TSX5PSKIRTMB
5.5" x 5.5" Pyramid Cap	A5X55PCAPW	A5X55PCAPB	A5X55PCAPMW	A5X55PCAPME	A5X55PCAPMB
5.5" x 5.5" Island Cap	A5X55ICAPW	A5X55ICAPB	A5X55ICAPMW	A5X55ICAPME	A5X55ICAPMB
5.5" x 5.5" Post Skirt	A5X55PSKIRTW	A5X55PSKIRTB	A5X55PSKIRTMW	A5X55PSKIRTIME	A5X55PSKIRTMB

A 5.5" x 5.5" post sleeve is required for applications with 45° or other angled cuts.

SUPPORT RAILS

PRODUCT DESCRIPTION	TimberTech Item Number			
	WHITE	BLACK	MATTE ESPRESSO	MATTE BLACK
CUSTOM SUPPORT RAILS - Laser-Etched for Aluminum Balusters				
8" Custom Support Rails	AZTBULKSR8W	AZTBULKSR8B	AZTBULKSR8ME	
CUSTOM SUPPORT RAILS - Blank for 10" Bottom Support Rails				
10" Custom Support Rails	AZTBULKDSR10W	AZTBULKDSR10B		
ALUMINUM SUPPORT RAILS - Drilled for Composite Balusters				
10" Aluminum Support Rails	AZTBULKSRI0W	AZTBULKSRI0B		
CUSTOM ALUMINUM SUPPORT RAILS - Marked for Aluminum Balusters				
10" Custom Aluminum Support Rails	AZTBULKUSTSR10W	AZTBULKUSTSR10B		





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000125

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 67 Crestview Drive PITTSFORD, NY 14534

Tax ID Number: 164.11-2-41

Zoning District: RN Residential Neighborhood

Owner: Gmerek, Ronald

Applicant: Gmerek, Ronald

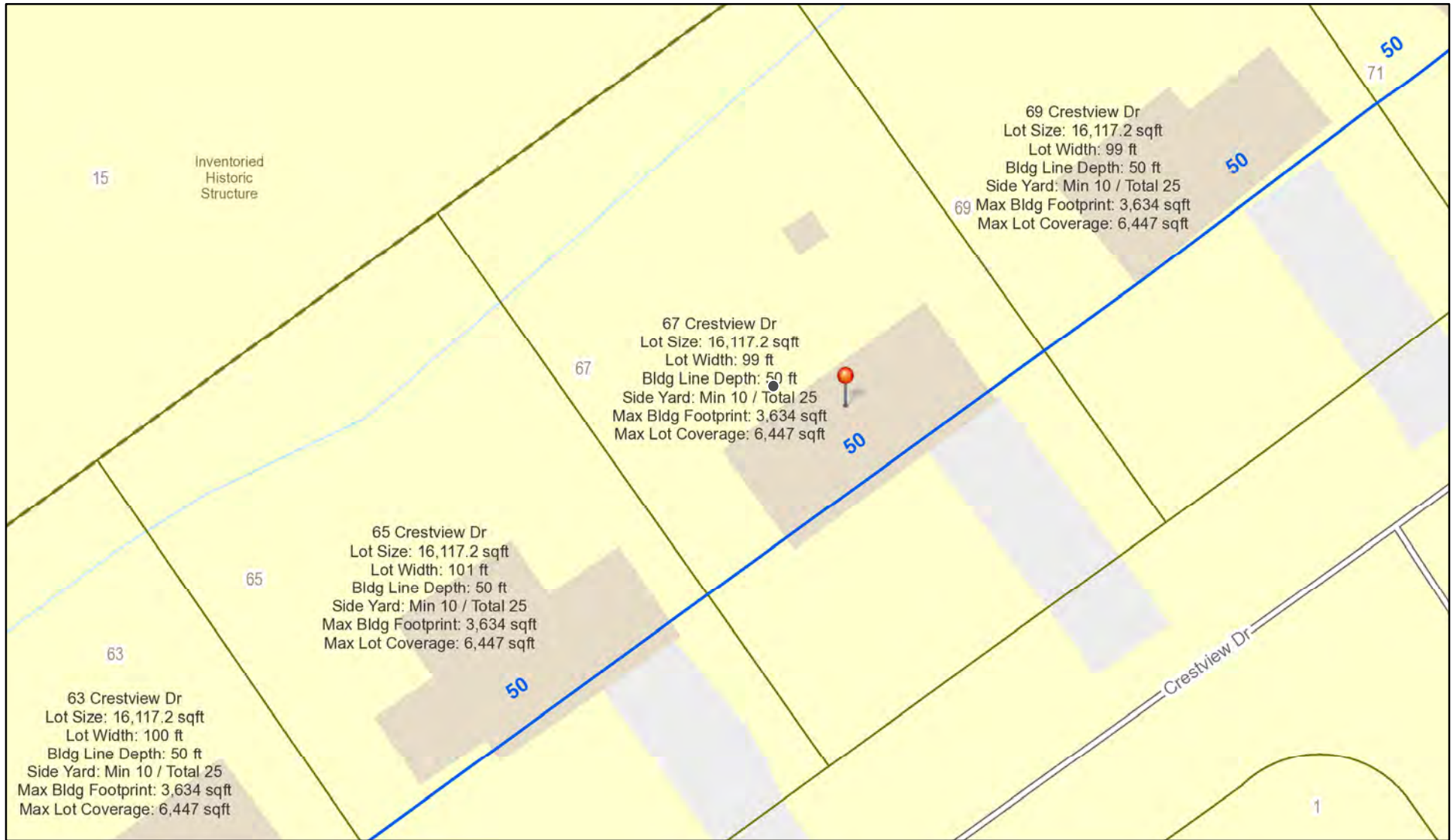
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

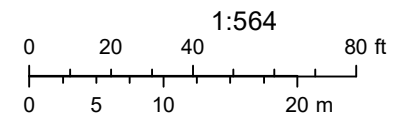
Project Description: Applicant is requesting design review for a 500 square foot covered patio off the rear of the home.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

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1

63

65

67

69

15

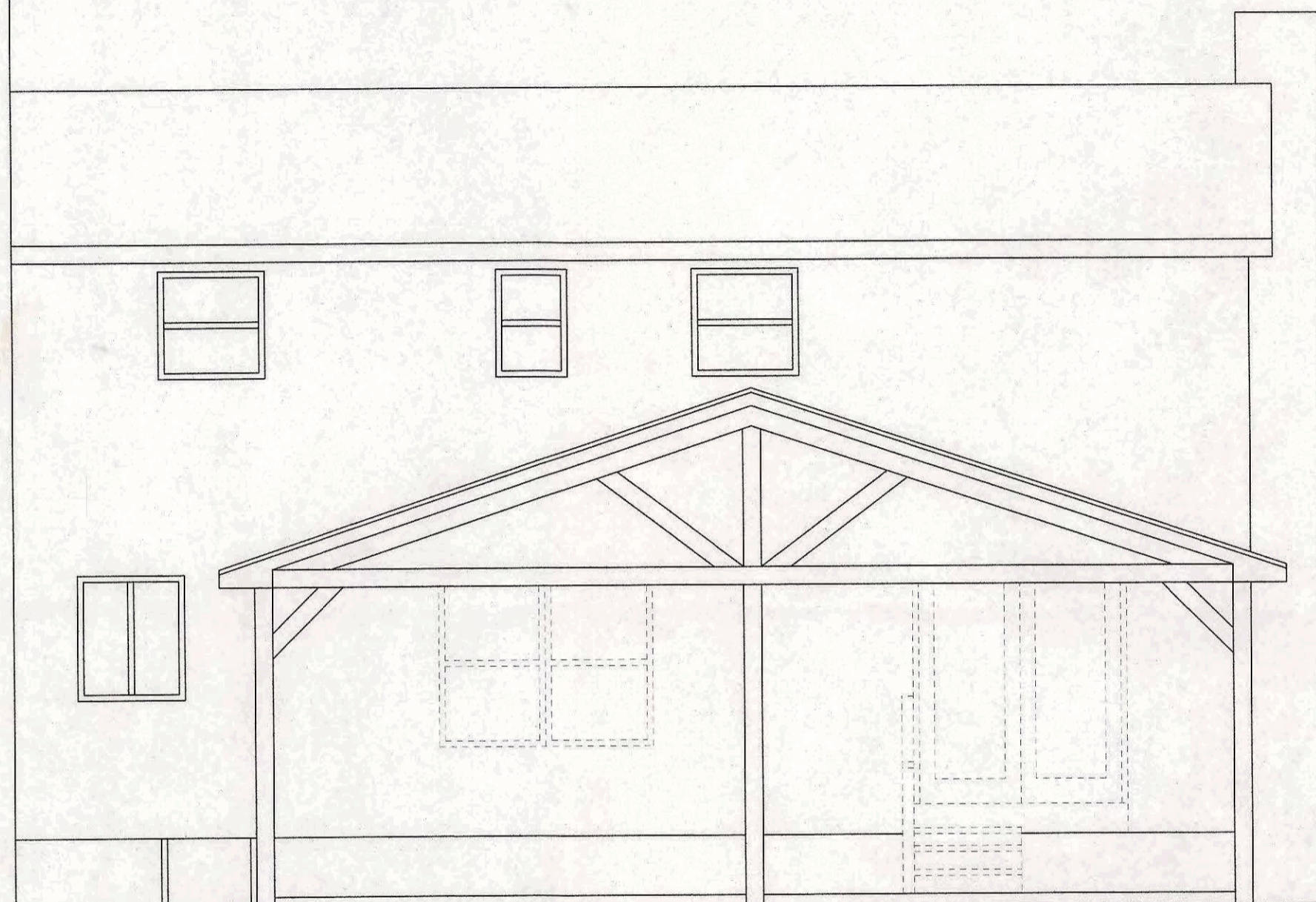
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04/03/2021

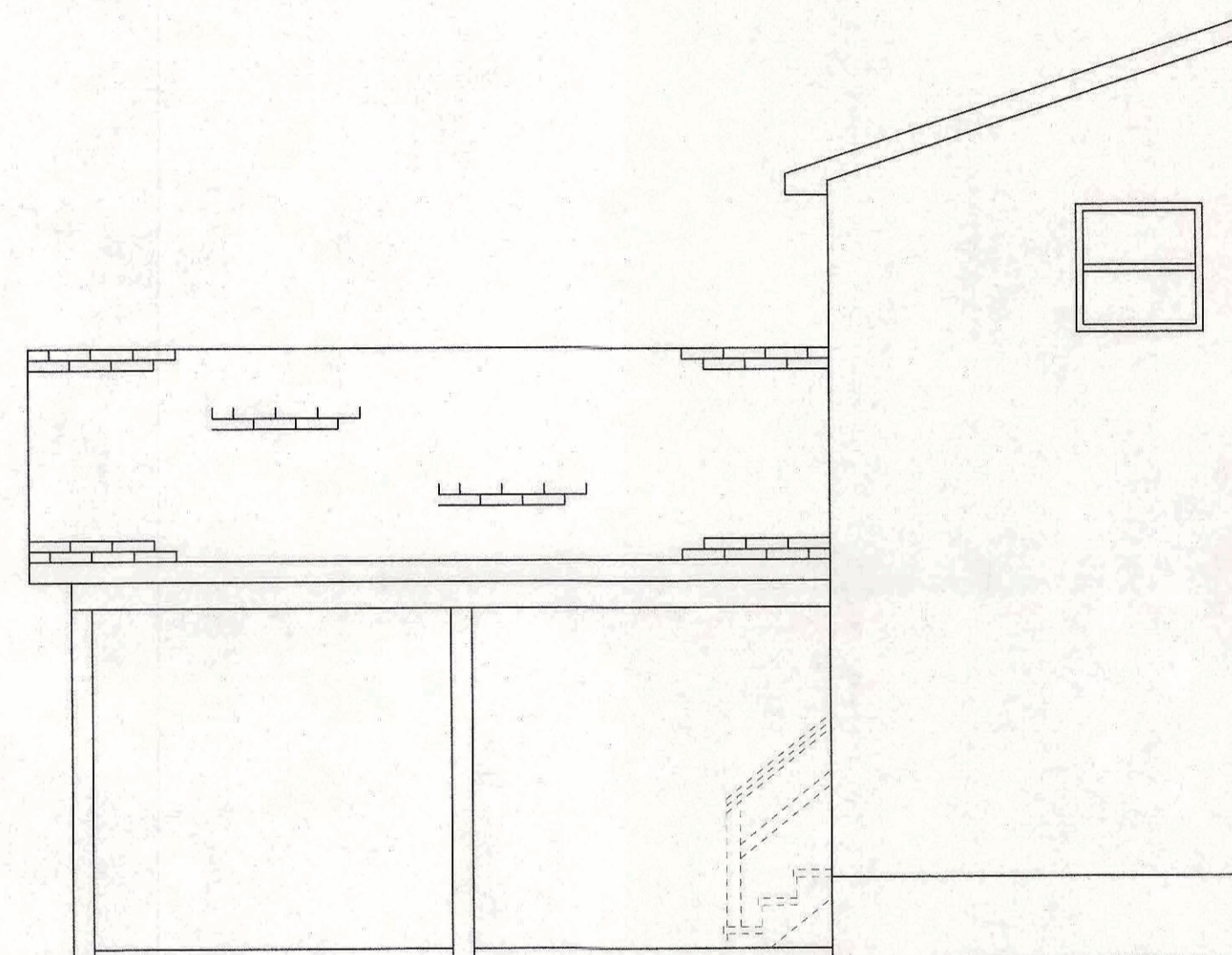
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RECEIVED
OCT 2 2023
TOWN OF PITTSFORD

REAR ELEVATION

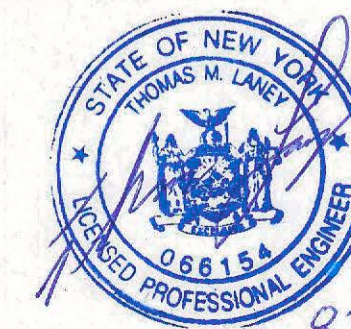


WEST ELEVATION



Quiet Dawn Marie

THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032



ELEVATION VIEWS

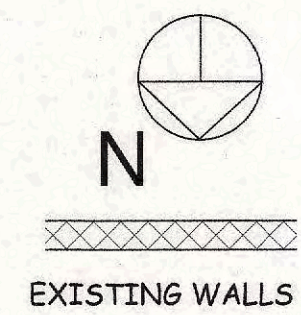
SCALE: 1/4" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 8/7/23		REVISED:

PATIO COVER FOR DAWN-MARIE GMERK

67 66 CRESTVIEW DR, PITTSFORD, NY

A1
3

EXISTING SINGLE FAMILY RESIDENCE



2 JACK STUDS UNDER HEADER & RIDGE BEAM IN EXIST. WALL HERE

HEADER NOTCHED INTO EXIST. CORNER POST FRAMING

A

A

(2) 1-3/4" X 16" LVL RIDGE BEAM

(2) 2 X 12 HEADERS ABOVE (TYP) NOTCHED & SCREWED INTO POSTS, (3) 3/8" X 5-1/8" GRK RSS (ALUM. OR VINYL WRAPPED)

PROPOSED PATIO

CUSTOM TIMBER GABLE TRUSS CEDAR 6 X 6 OR (3) 2 X 6 WRAPPED WITH 1" CEDAR OR PRIMED PINE

22" DIA CONC. PIER FTG HERE

16" DIA CONC. PIER FTG TO MIN. 42" BELOW GRADE & UNDESTRUCTURED SOIL (ALUM. WRAP POSTS - OPTIONAL)

14'

14'

28'

8'9"

18'

9'3"

THOMAS M. LANEY, PE
304 WASHINGTON ST.
SPENCERPORT, NY 14559
(585) 319 - 9032

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED AND REFERENCED FROM EXISTING BUILDING



FLOOR / FOUNDATION PLAN

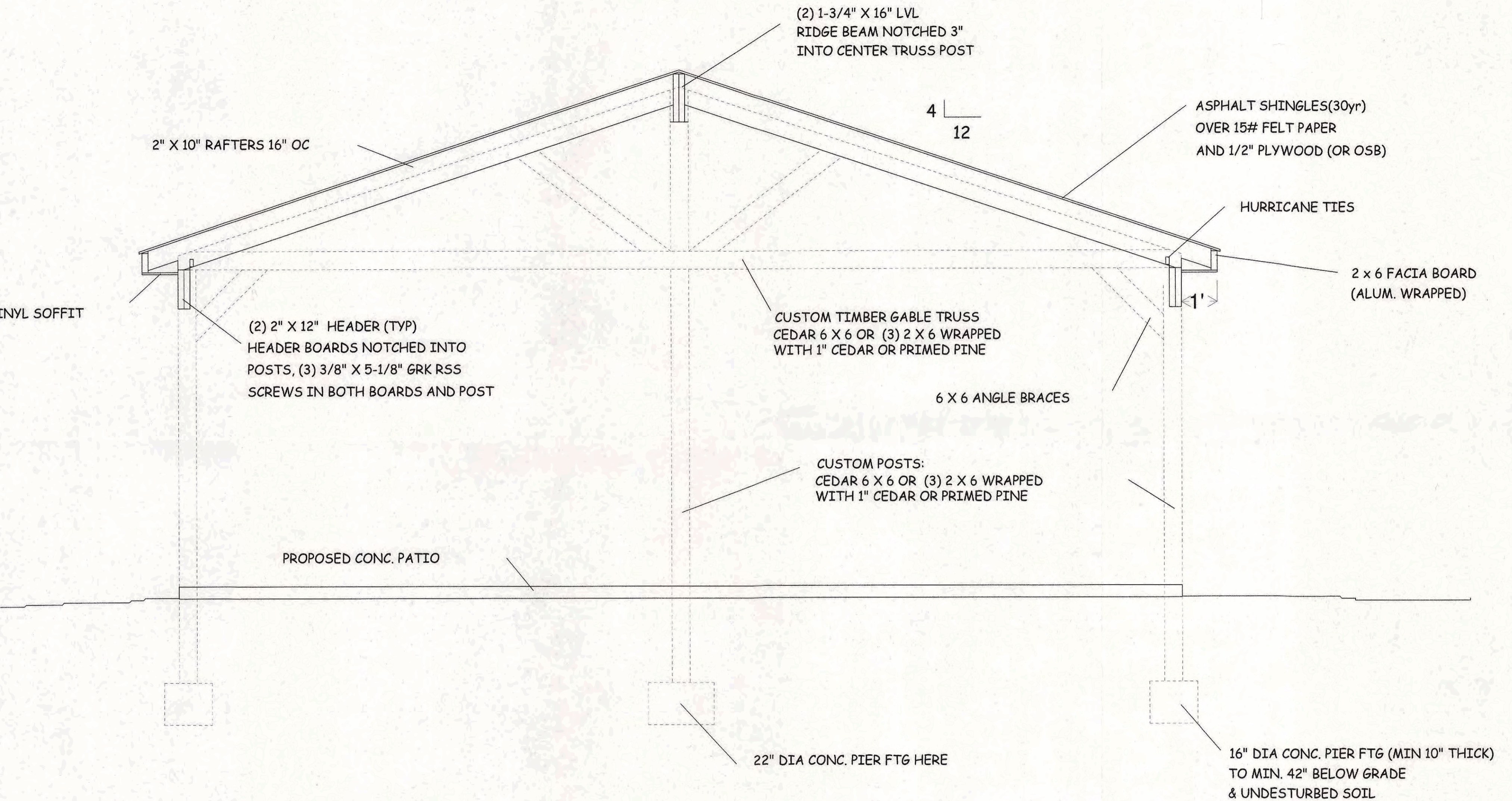
SCALE: 1/2" = 1'
DATE: 8/7/23
APPROVED: T. M. LANEY
DRAWN BY: T. M. LANEY
REVISED:

PATIO COVER FOR DAWN-MARIE GMERK

67 68 CRESTVIEW DR, PITTSFORD, NY

A2
3

NOTE: ALL LUMBER TO BE 1150 PSI Fb (MIN) NO. 2
 EM FIR OR BETTER.
 ALL STATE CONSTRUCTION CODES TO BE FOLLOWED

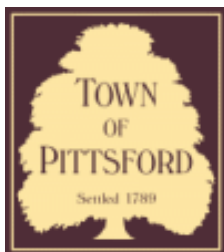


SECTION A-A

THOMAS M. LANEY, PE
 304 WASHINGTON ST.
 SPENCERPORT, NY 14559
 (585) 319 - 9032



SECTION VIEW		
SCALE: 1/2" = 1'	APPROVED: T. M. LANEY	DRAWN BY: T. M. LANEY
DATE: 8/7/23		REVISED:
PATIO COVER FOR DAWN-MARIE GMEREK		
67 68' CRESTVIEW DR, PITTSFORD, NY		A3 3



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000126

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5 Bridleridge Farms Pittsford, NY 14534

Tax ID Number: 191.01-1-82

Zoning District:

Owner:

Applicant: Bridleridge Building Corp

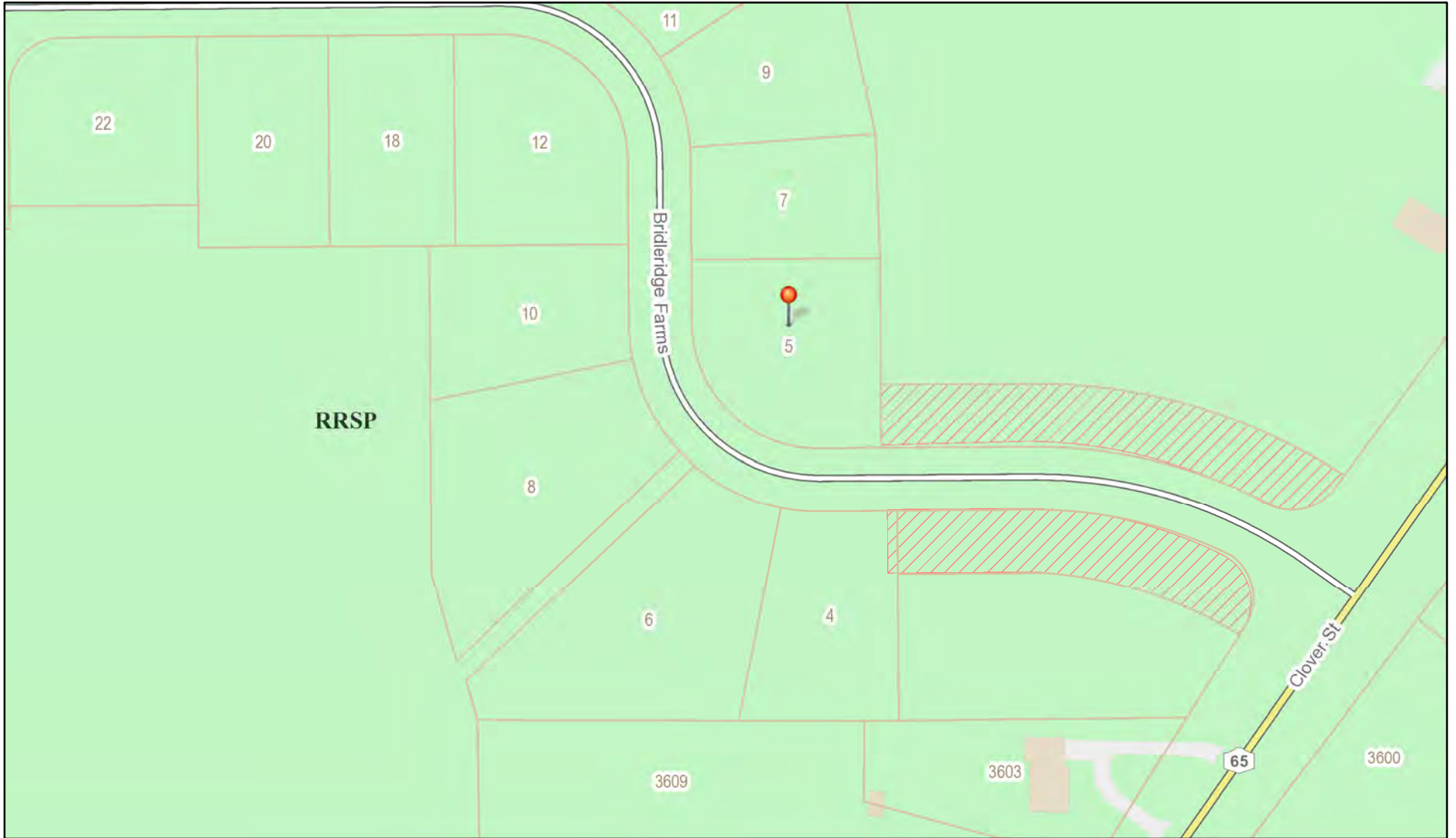
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
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- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

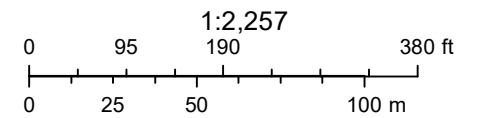
Project Description: Applicant is requesting design review for a two-story, 2,810 square foot single-family home in the Bridleridge Subdivision.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

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REVISIONS:

DATE	BY	DESCRIPTION

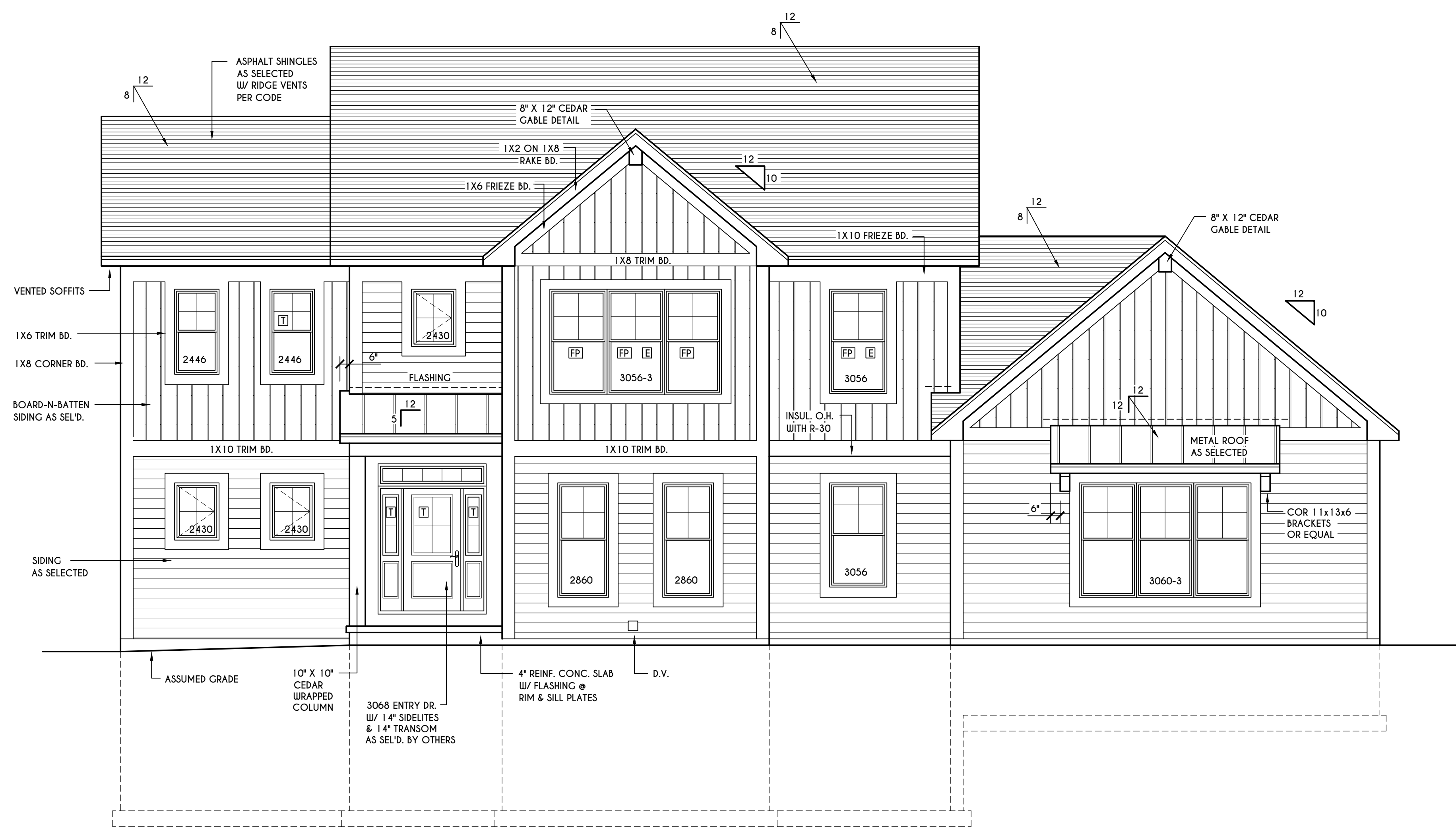
CLIENT/LOCATION:
 THE NEWPORT - SPEC
 LOT 1 BRIDLEDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 1 / 6



FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 FIRST FLOOR LIVING AREA = 1396 SQ.FT.
 SECOND FLOOR LIVING AREA = 1414 SQ.FT.
 TOTAL LIVING AREA = 2810 SQ.FT.
 TOTAL CONDITIONED VOLUME = 38,224 CU.FT.

TABLE M1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS ^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

^a For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
^b Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

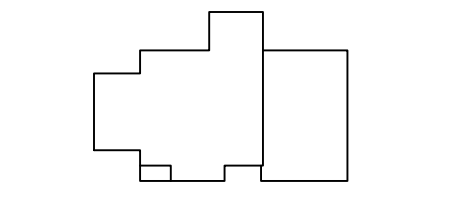
WINDOWS: WVD 210C DH SOLAR GAIN W/ ARGON
 U-FACTOR 0.30
 SHGC 0.54

DOORS: SELECTION BY OWNER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

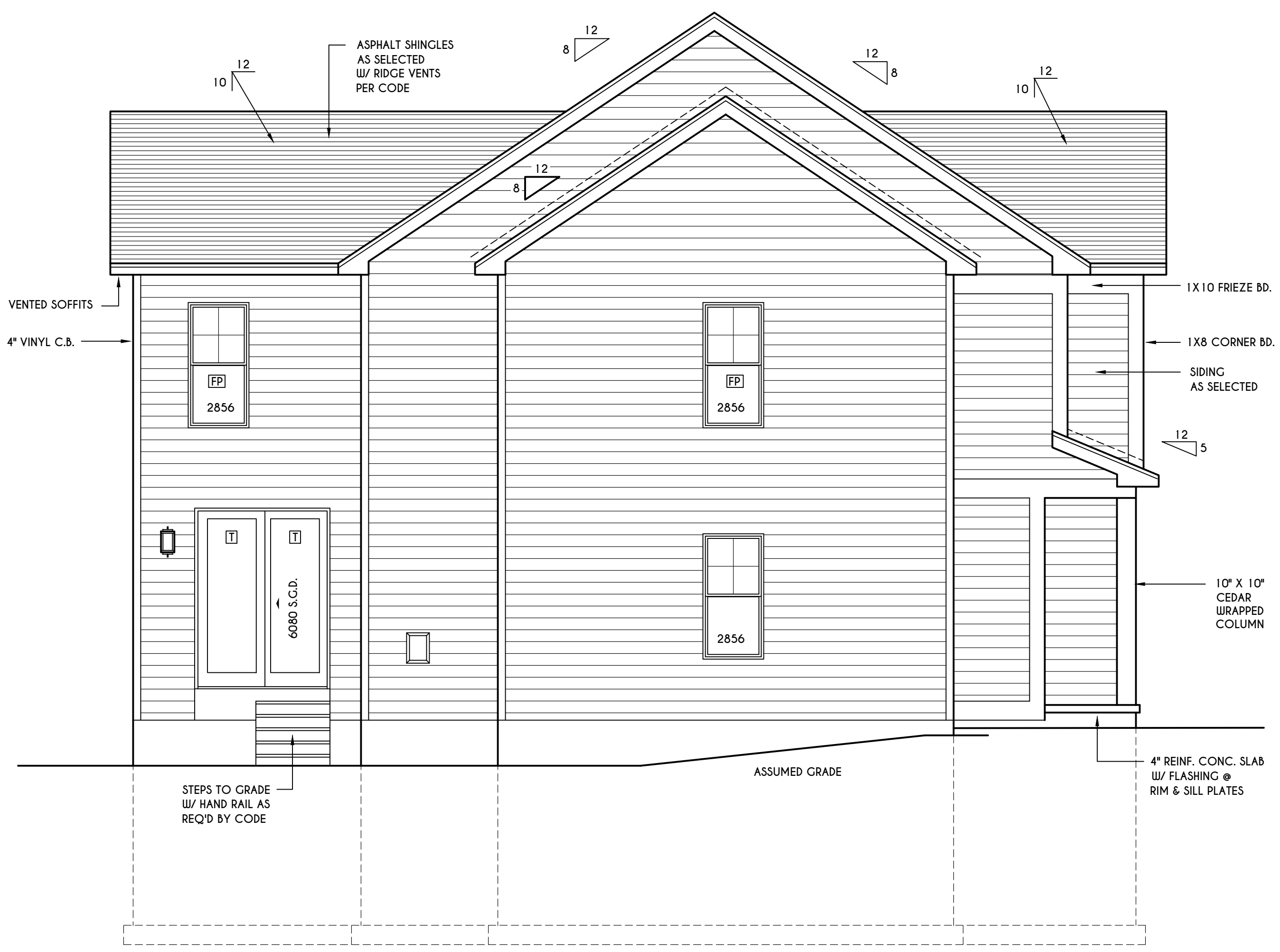
WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS
 SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)



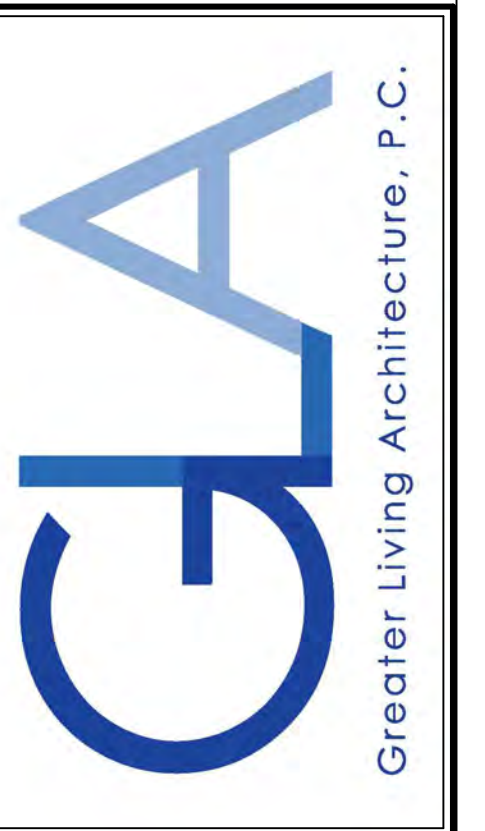
HOUSE FOOTPRINT
 SCALE: 1" = 50'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:
 THE NEUPORT - SPEC
 LOT 1 BRIDLERIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

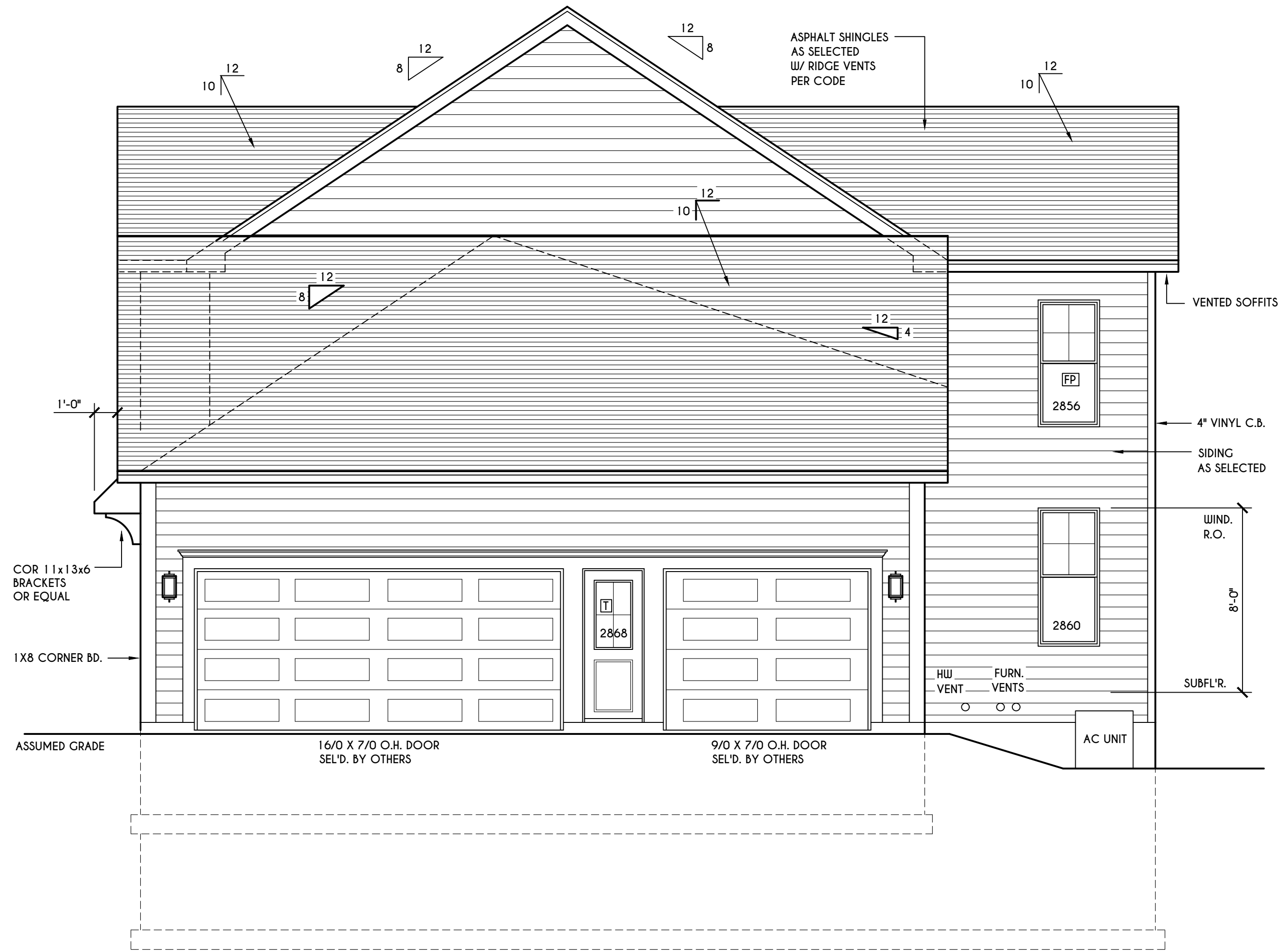
GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 2 / 6



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

TABLE M1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m². 1 cubic foot per min=0.0004719 m³/s

TABLE M1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.

WINDOWS: VWD 210C DH SOLAR GAIN W/ ARGON
 U-FACTOR 0.30
 SHGC 0.54

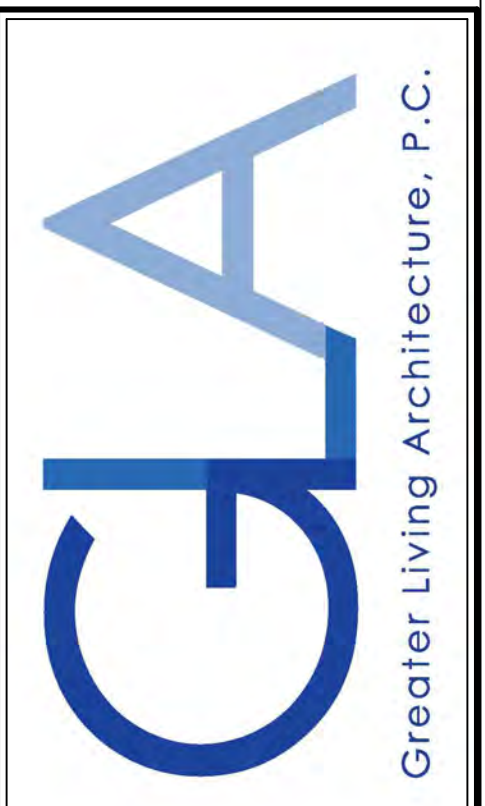
DOORS: SELECTION BY OWNER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
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 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT
 CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 75 cfm. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS
 SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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REVISIONS:

DATE	BY	DESCRIPTION

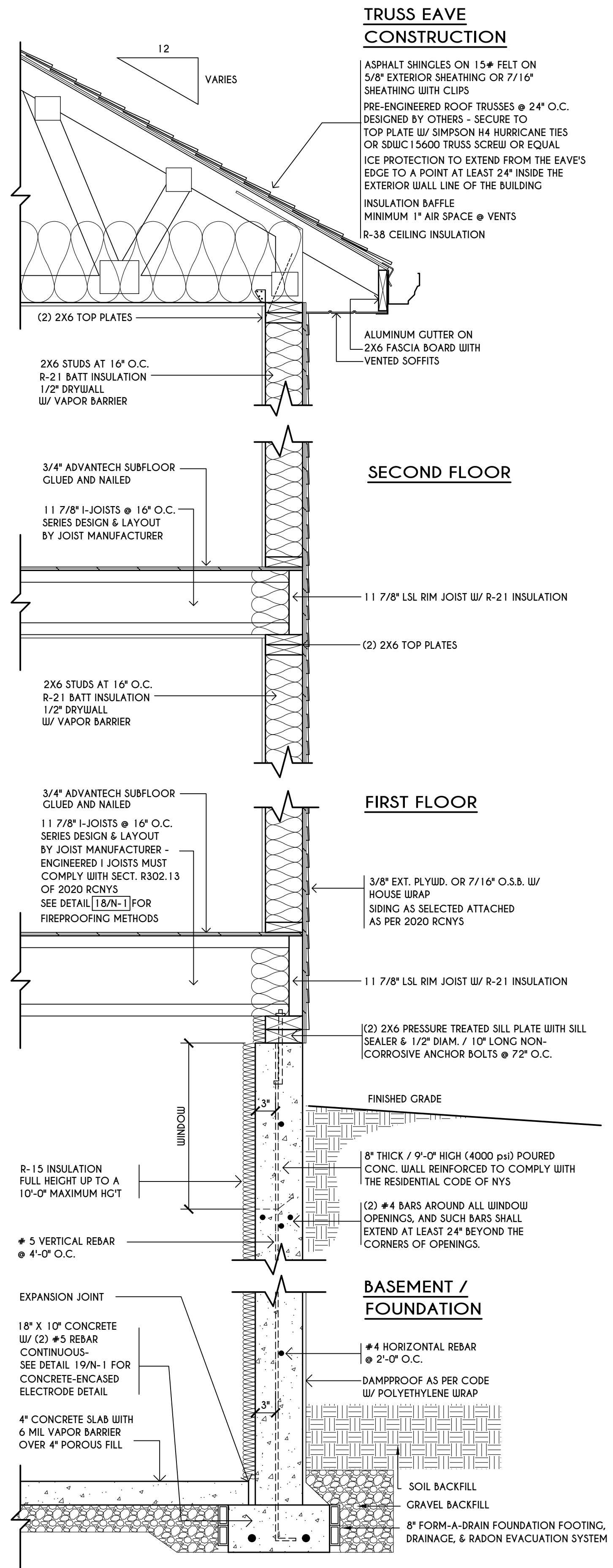
CLIENT/LOCATION:
 THE NEWPORT - SPEC
 LOT 1 BRIDLERIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

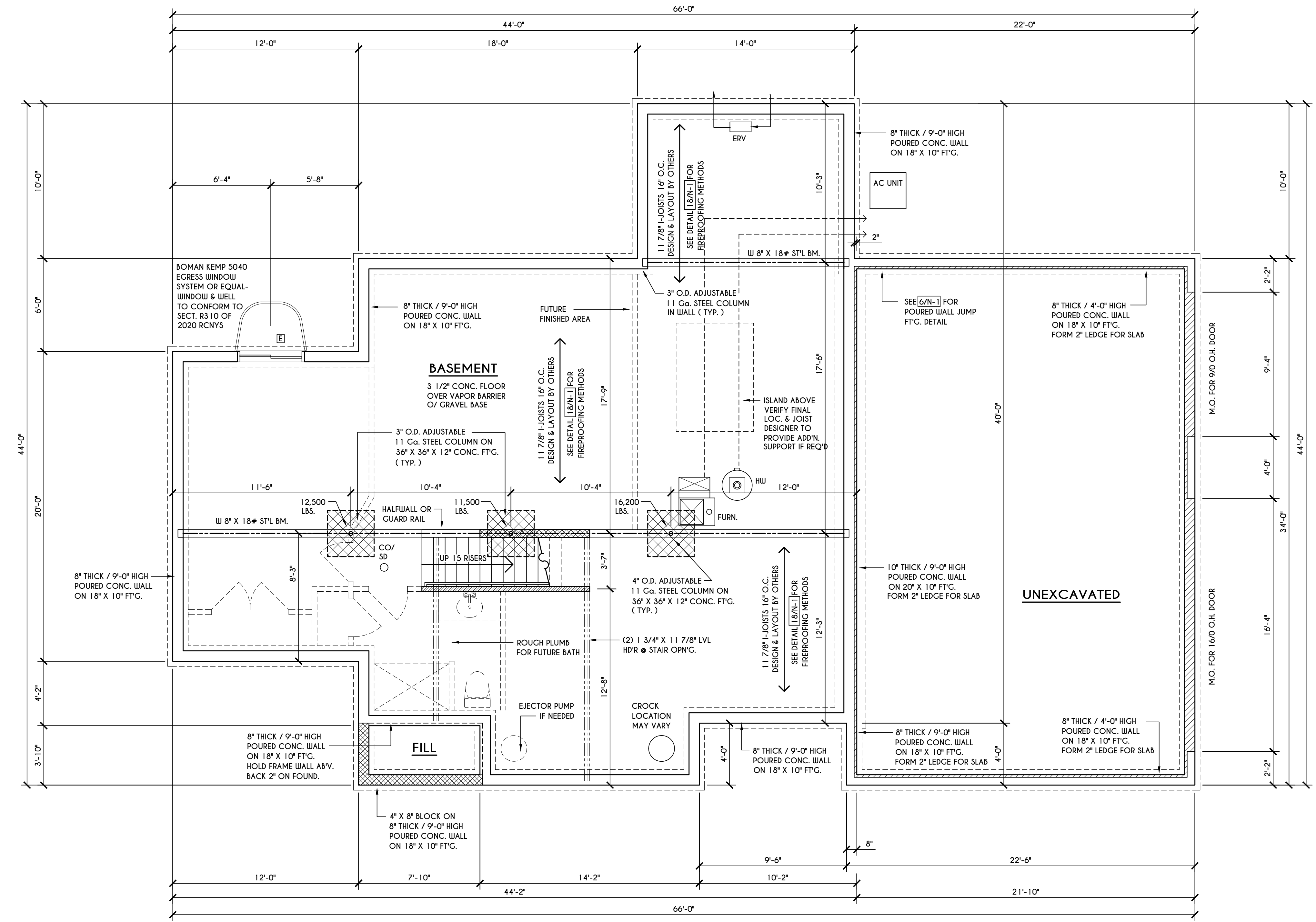
FOUNDATION PLAN

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 3 / 6

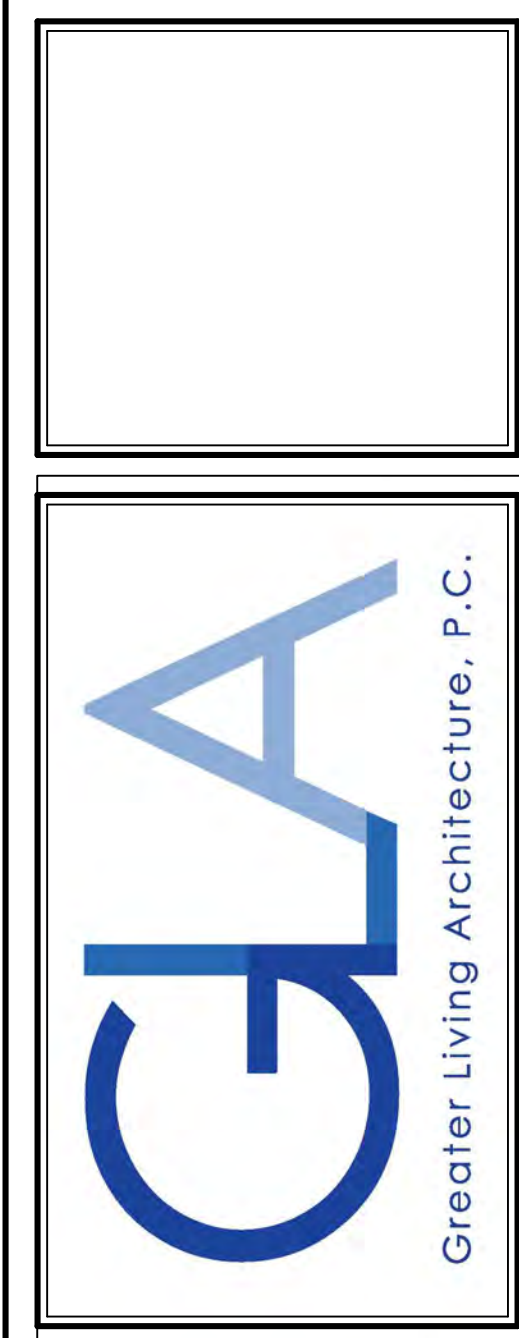


TYPICAL WALL SECTION
 SCALE: 1" = 1'-0"



BASEMENT & FOUNDATION PLAN

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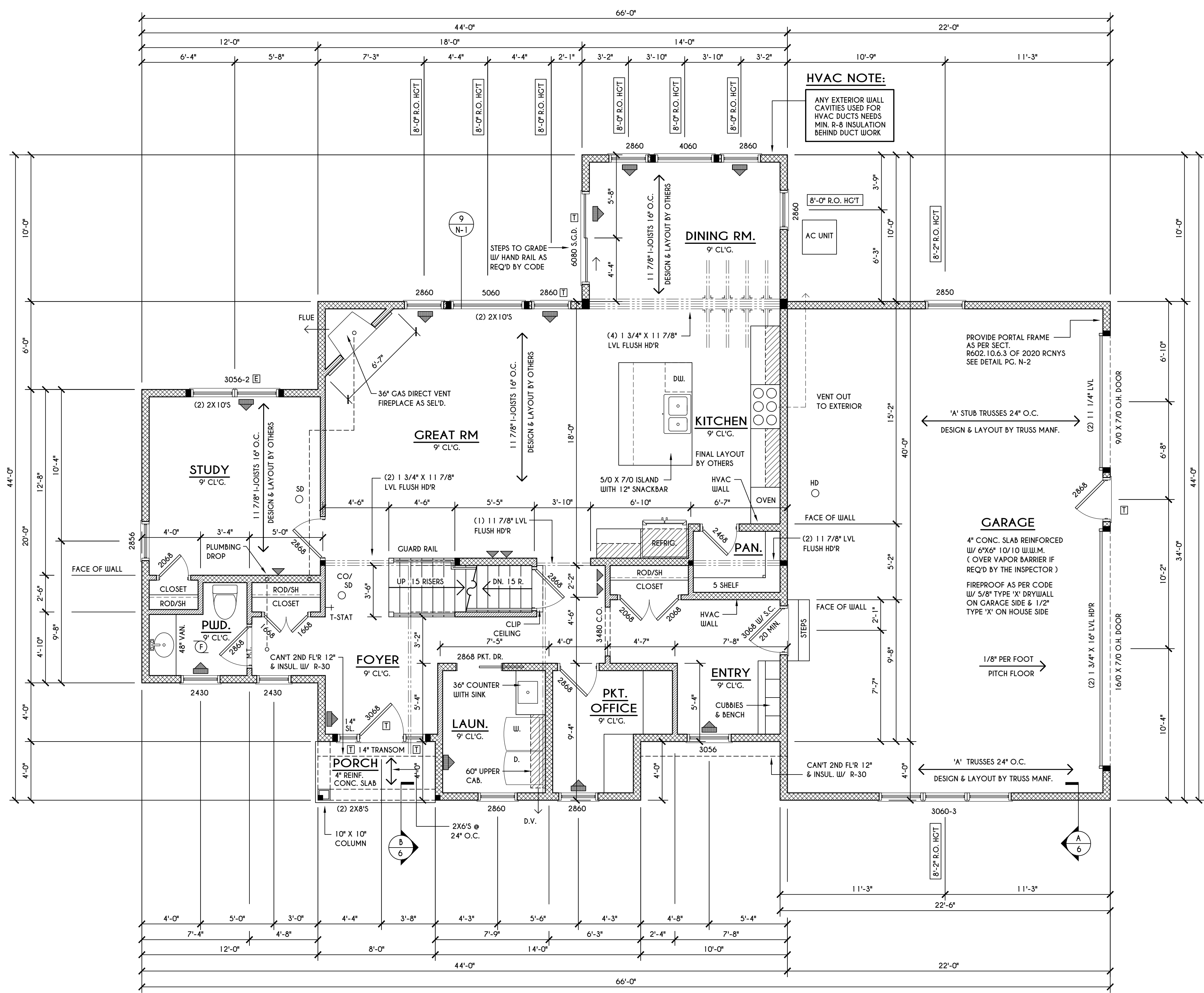
CLIENT/LOCATION:
 THE NEWPORT - SPEC
 LOT 1 BRIDLERIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 4 / 6



HVAC NOTE:
 ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-8 INSULATION BEHIND DUCT WORK

PROVIDE PORTAL FRAME AS PER SECT. R602.10.6.3 OF 2020 RCNYS SEE DETAIL PG. N-2

GARAGE
 4" CONC. SLAB REINFORCED W/ 6"X6" 10/10 W.W.M. (OVER VAPOR BARRIER IF REQ'D BY THE INSPECTOR)
 FIREPROOF AS PER CODE W/ 5/8" TYPE 'X' DRYWALL ON GARAGE SIDE & 1/2" TYPE 'X' ON HOUSE SIDE

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

1396 SQ. FT.

ENGINEERED FL'R JOIST NOTE:
 ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

FRAMING LEGEND:

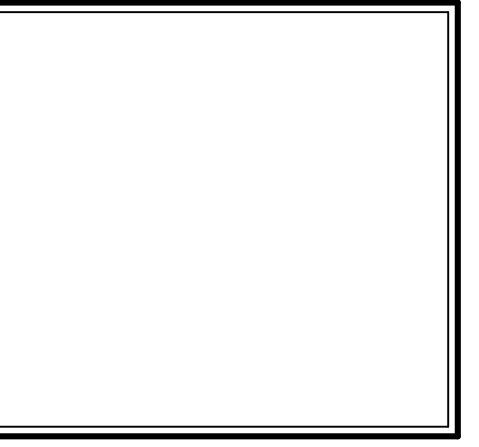
	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

GENERAL FIRST FLOOR PLAN NOTES:
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HCTS TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPERATOR IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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REVISIONS:

DATE	BY	DESCRIPTION

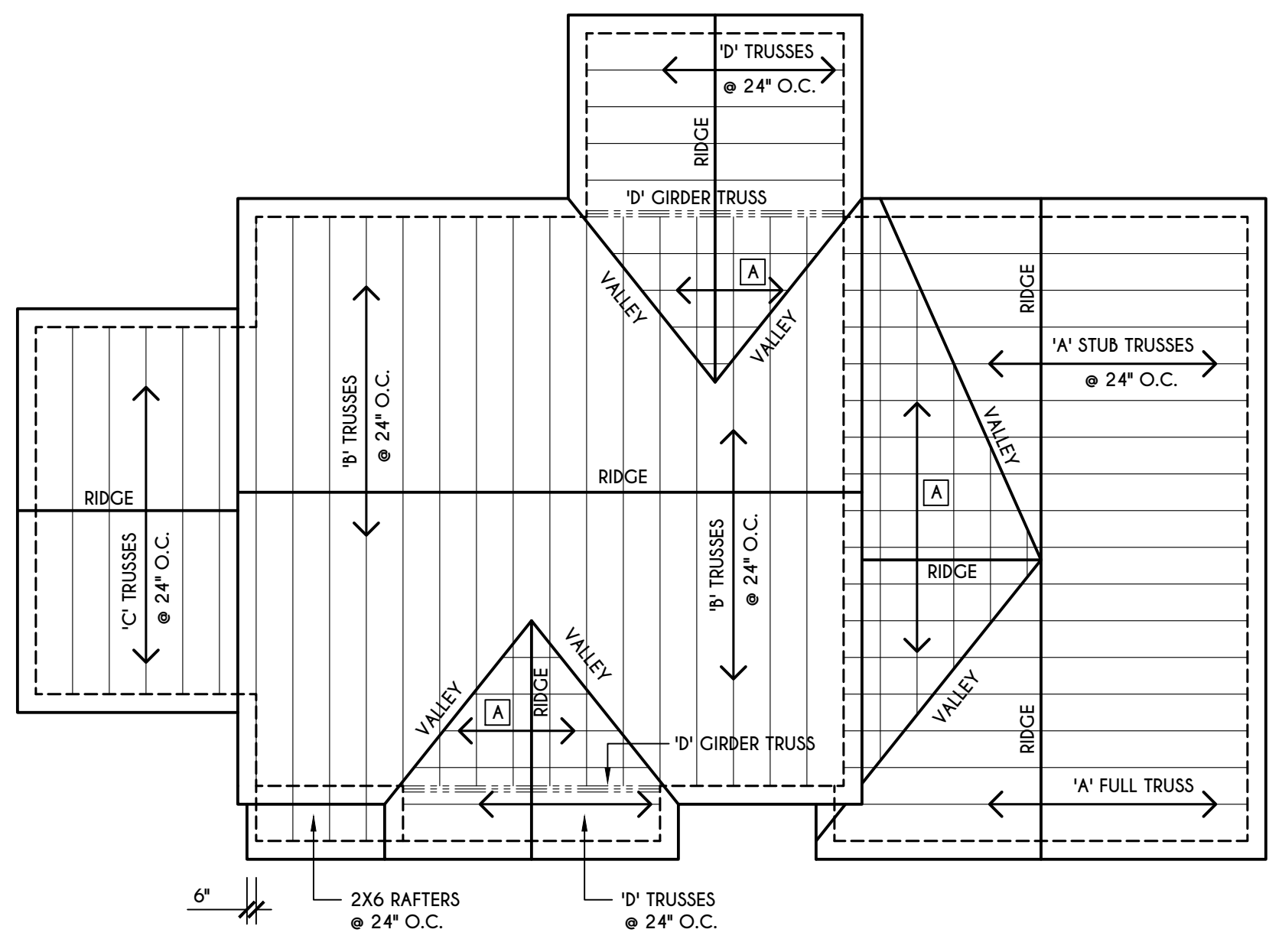
CLIENT/LOCATION:
 THE NEWPORT - SPEC
 LOT 1 BRIDLERIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 2810

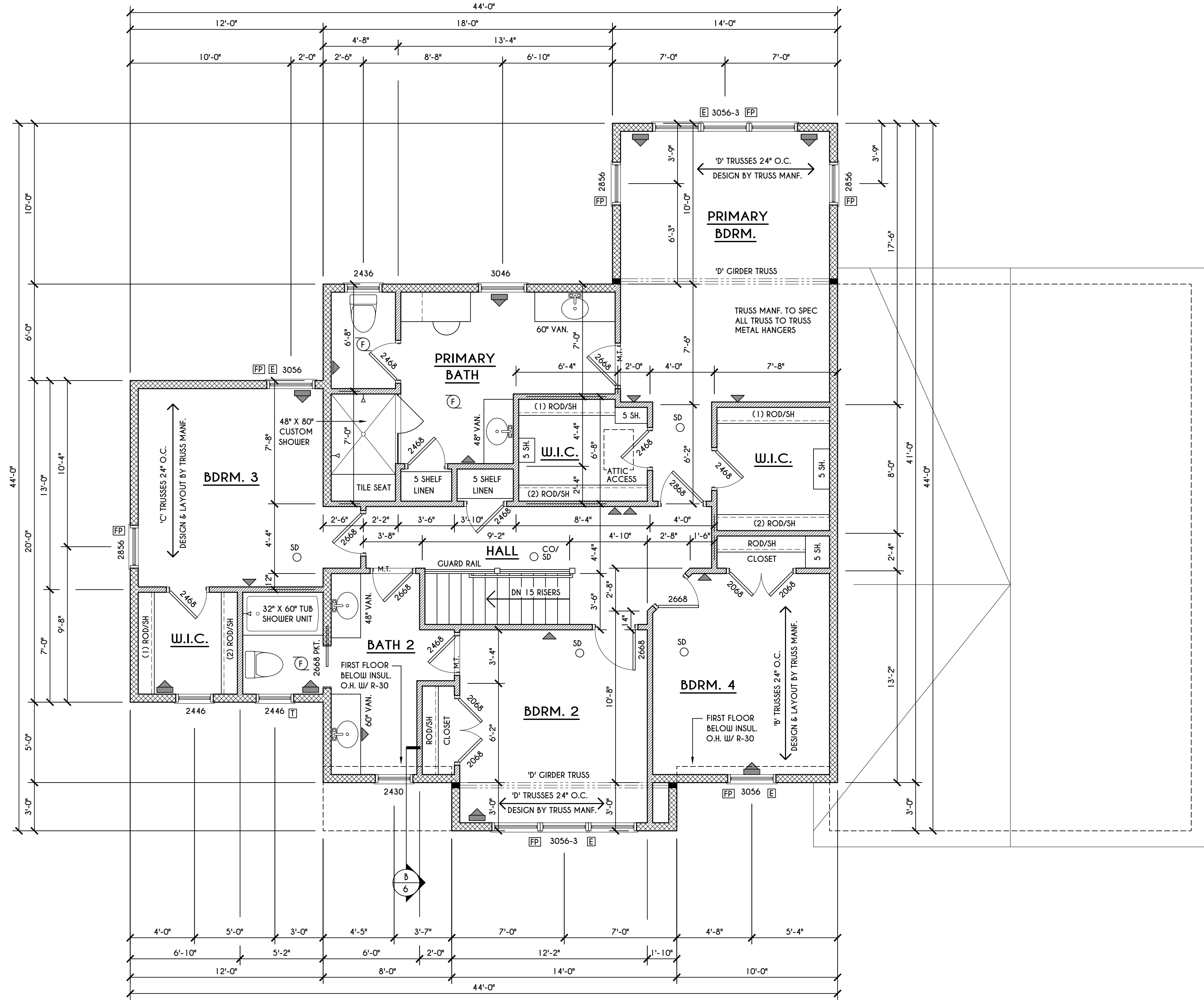
drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 5 6



GENERAL ROOF NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

ROOF PLAN
 SCALE: 1/8" = 1'-0"

A - 2X8 LAYOVER RAFTERS 24" O.C.



SECOND FLOOR PLAN
 1414 SQ.FT.
 SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

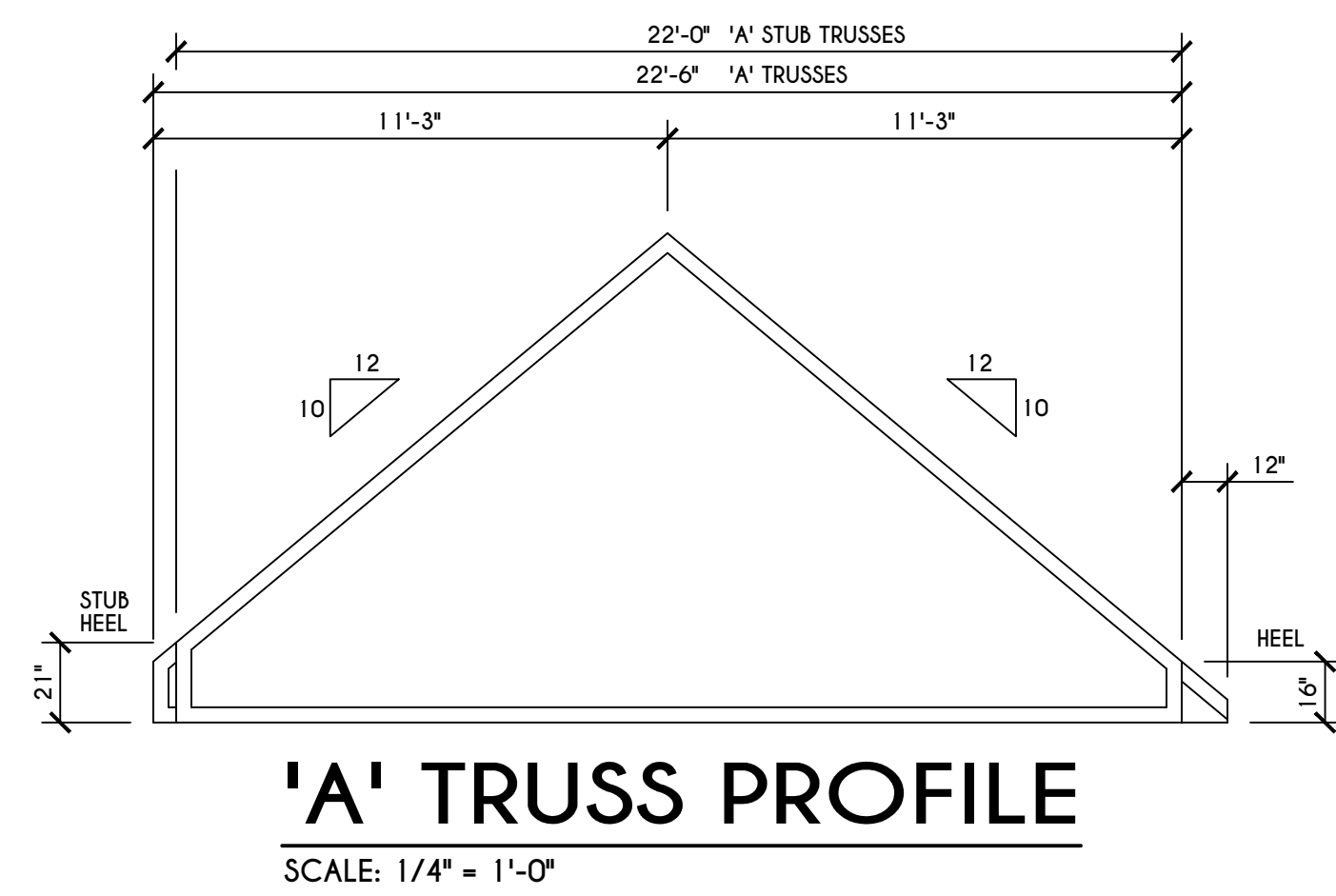
	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:
 SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7'-4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HDD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

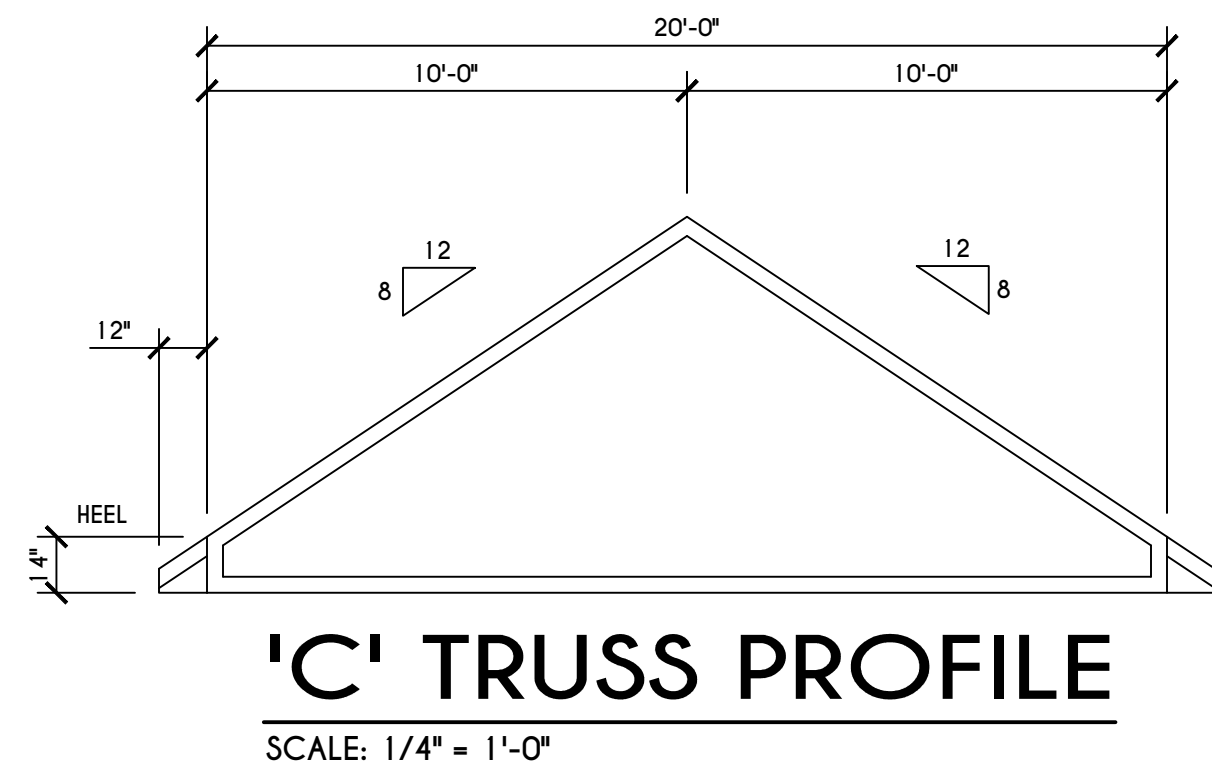
WINDOW / DOOR LEGEND:

	MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

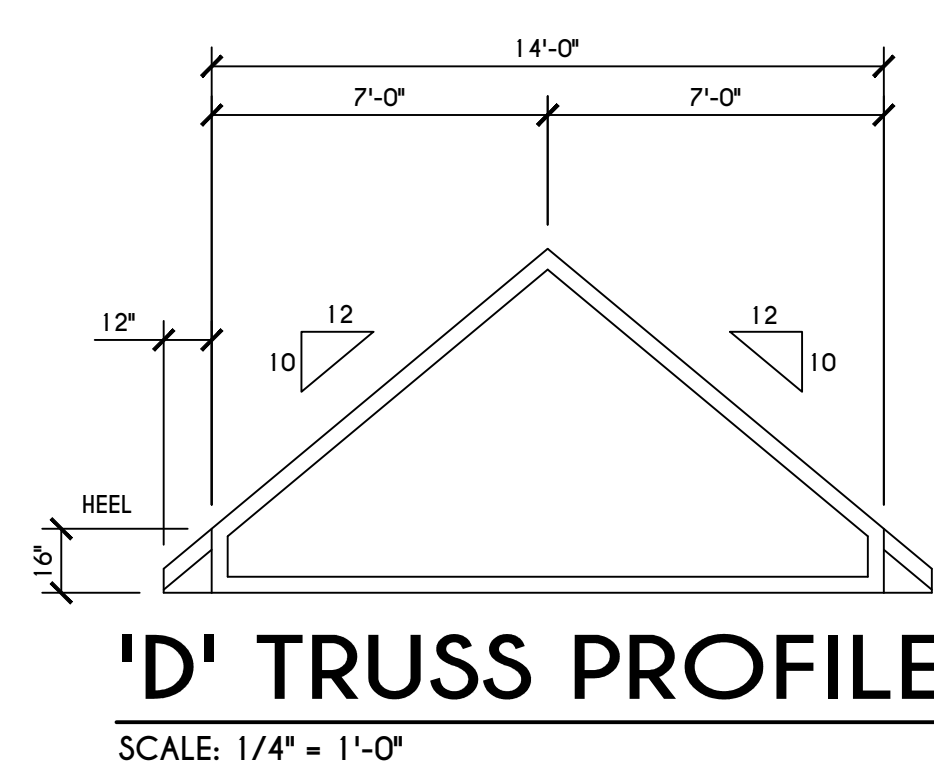
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'A' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



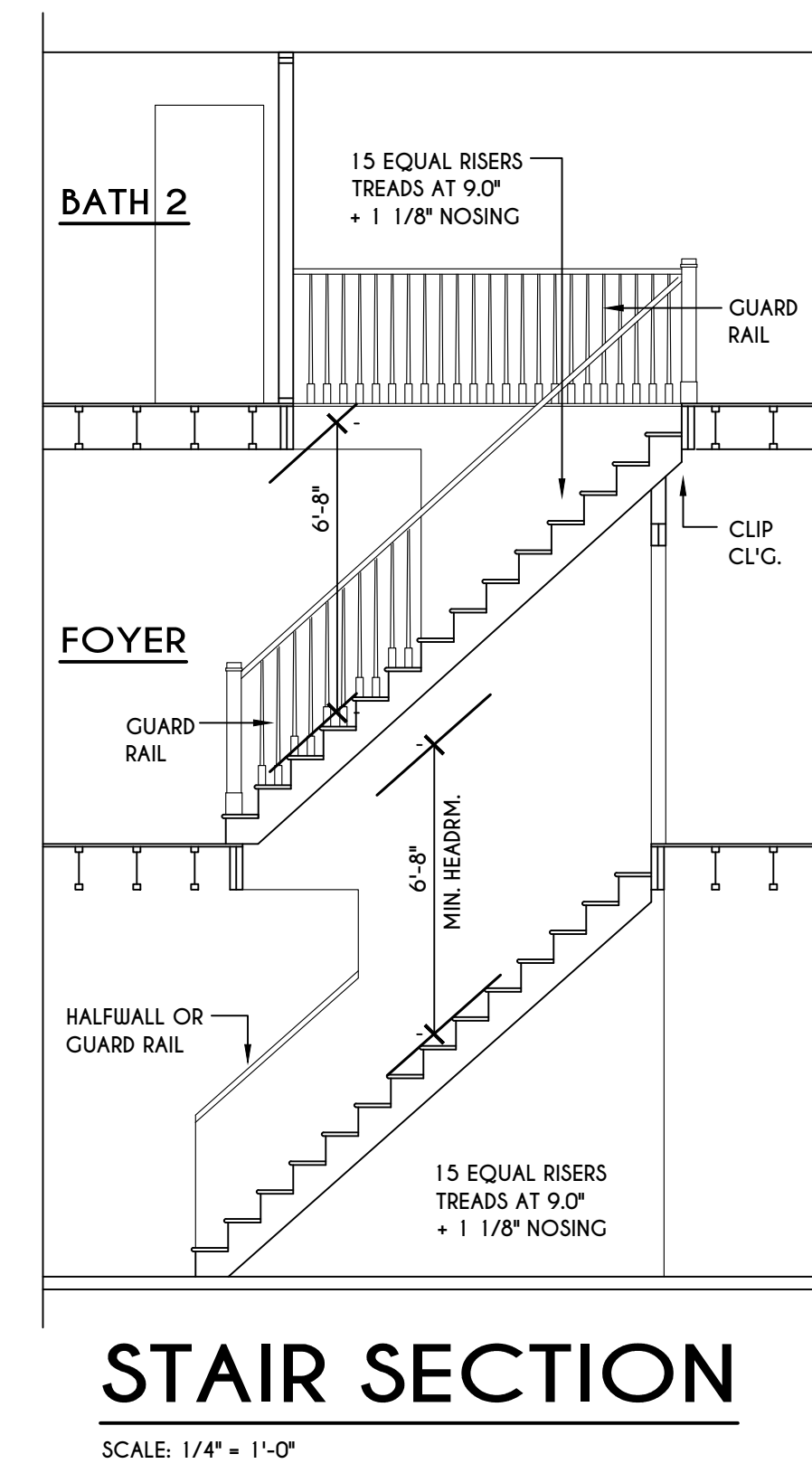
'C' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"



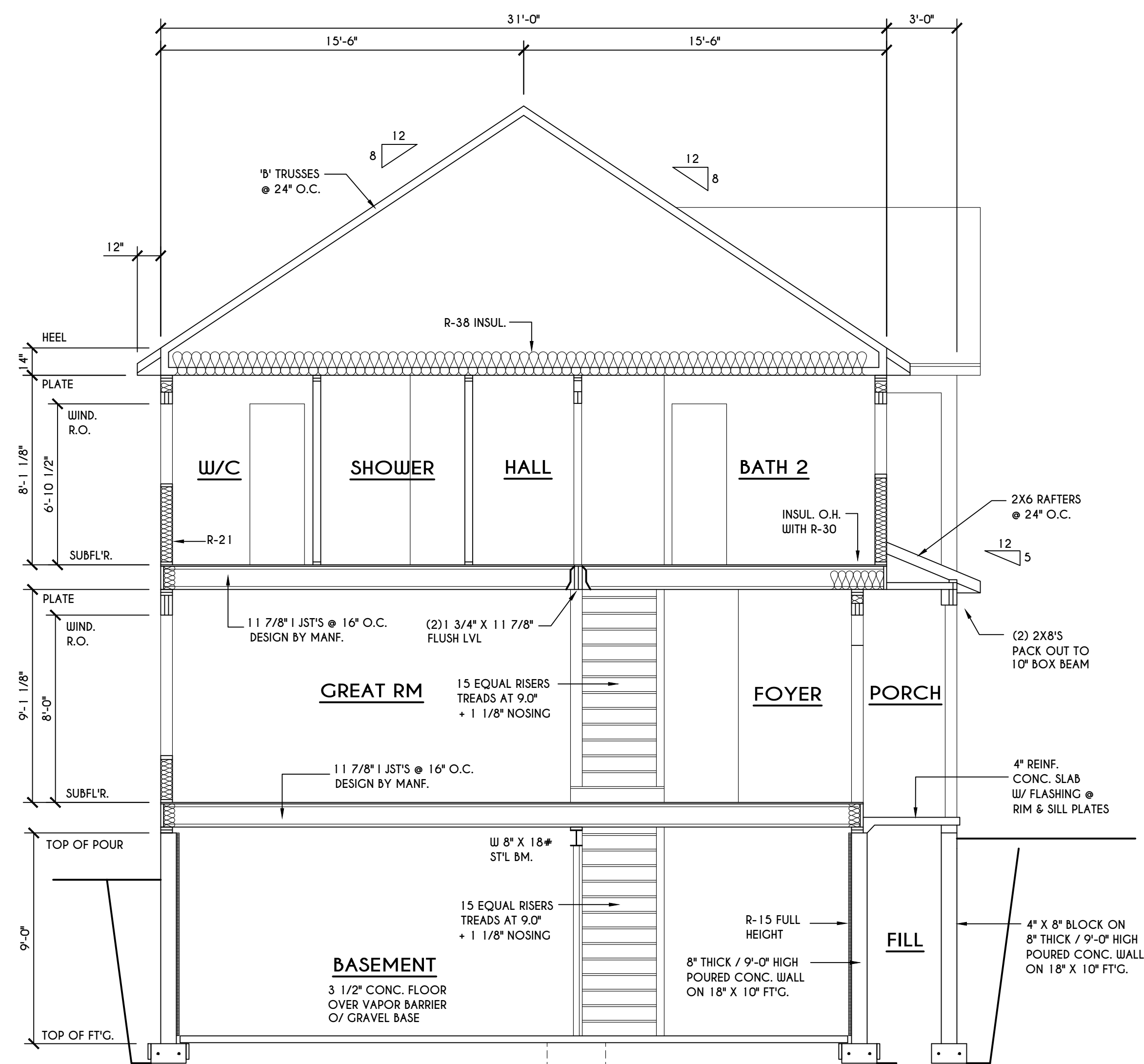
'D' TRUSS PROFILE
 SCALE: 1/4" = 1'-0"

TRUSS NOTES:

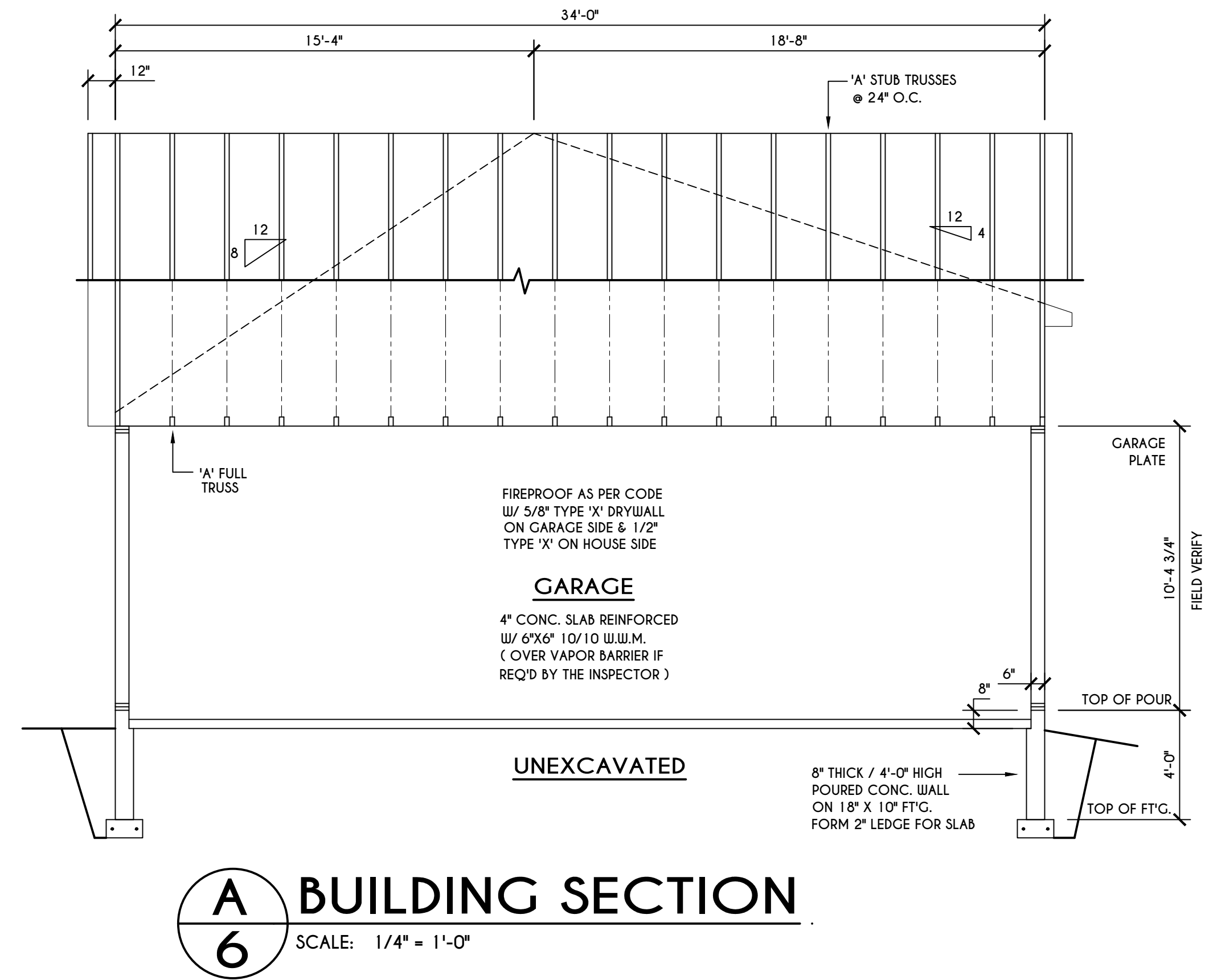
TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



STAIR SECTION
 SCALE: 1/4" = 1'-0"



B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



A BUILDING SECTION
 SCALE: 1/4" = 1'-0"

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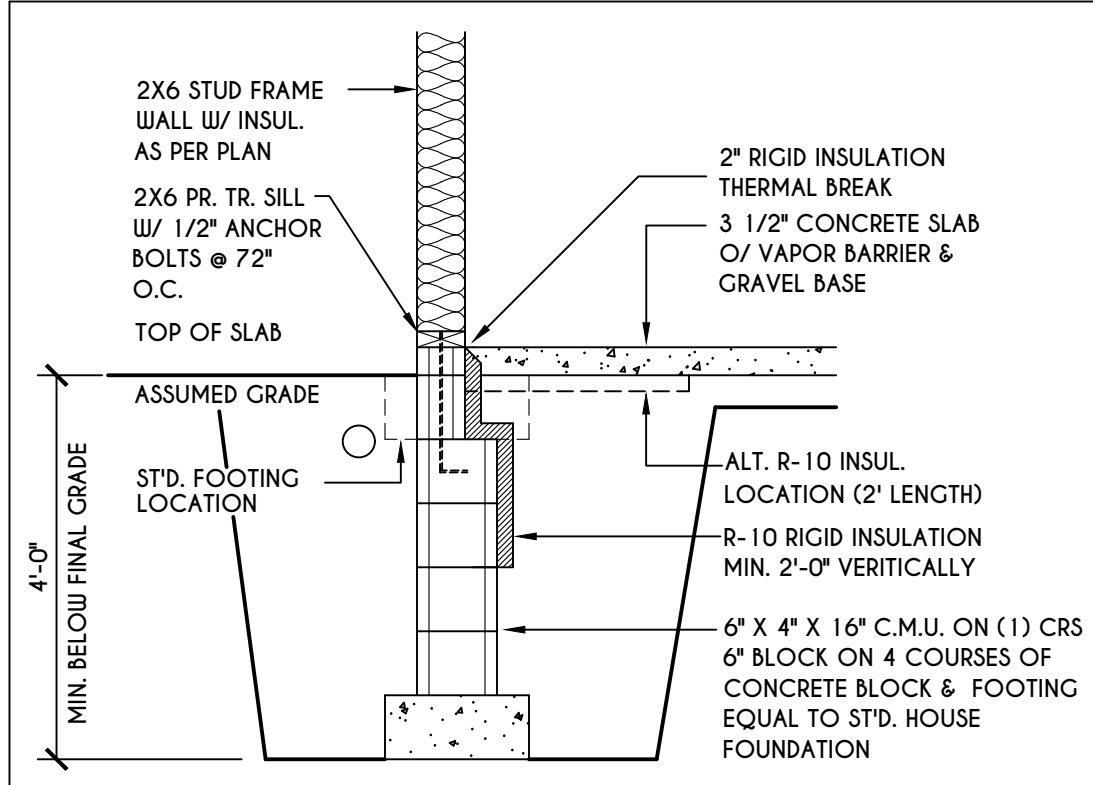
CLIENT/LOCATION:
 THE NEWPORT - SPEC
 LOT 1 BRIDLERIDGE
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

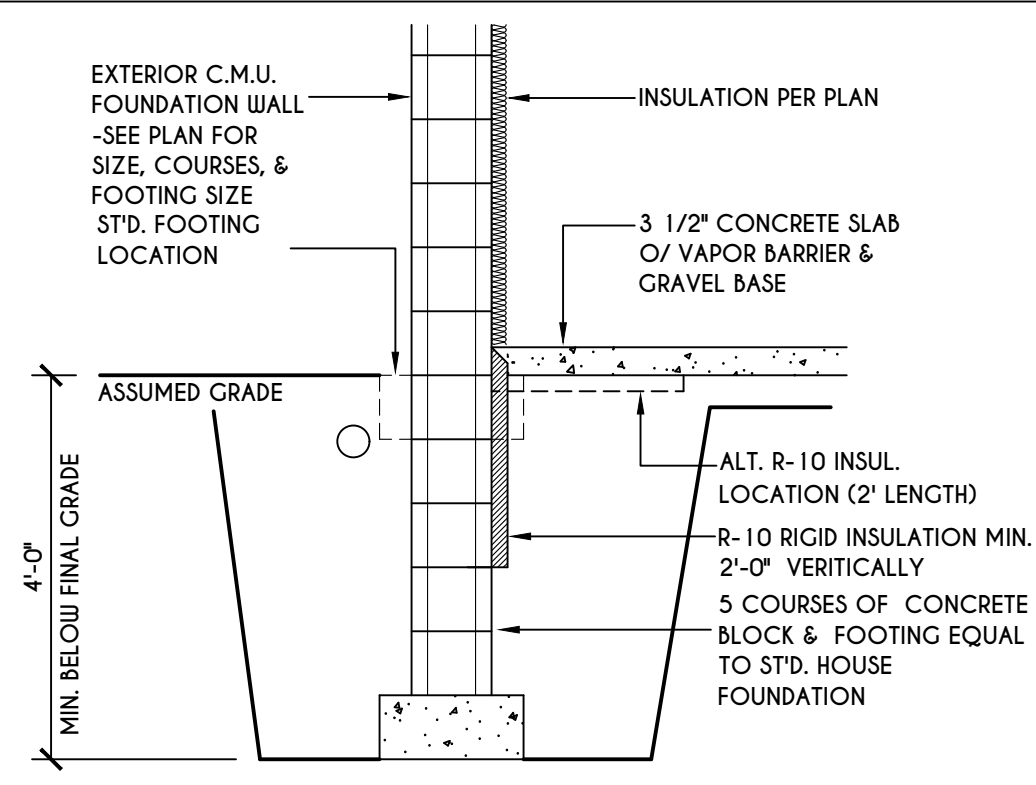
SECTIONS
 GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: 6 / 6

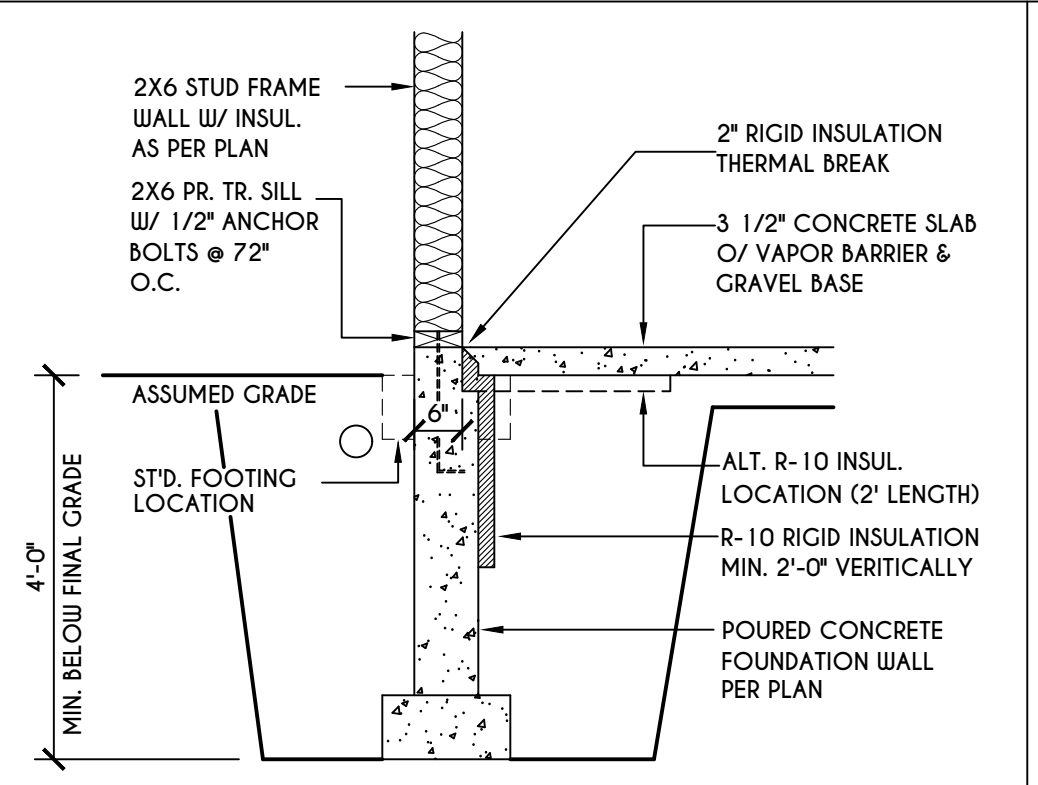




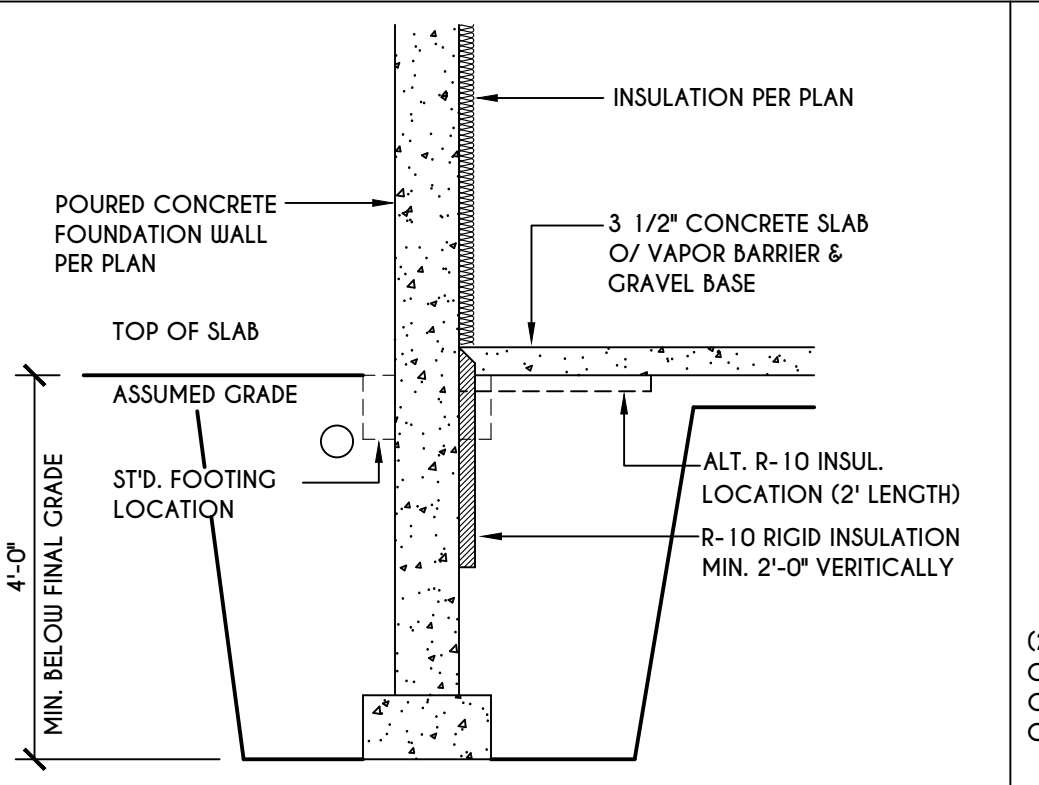
1
N-1
2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



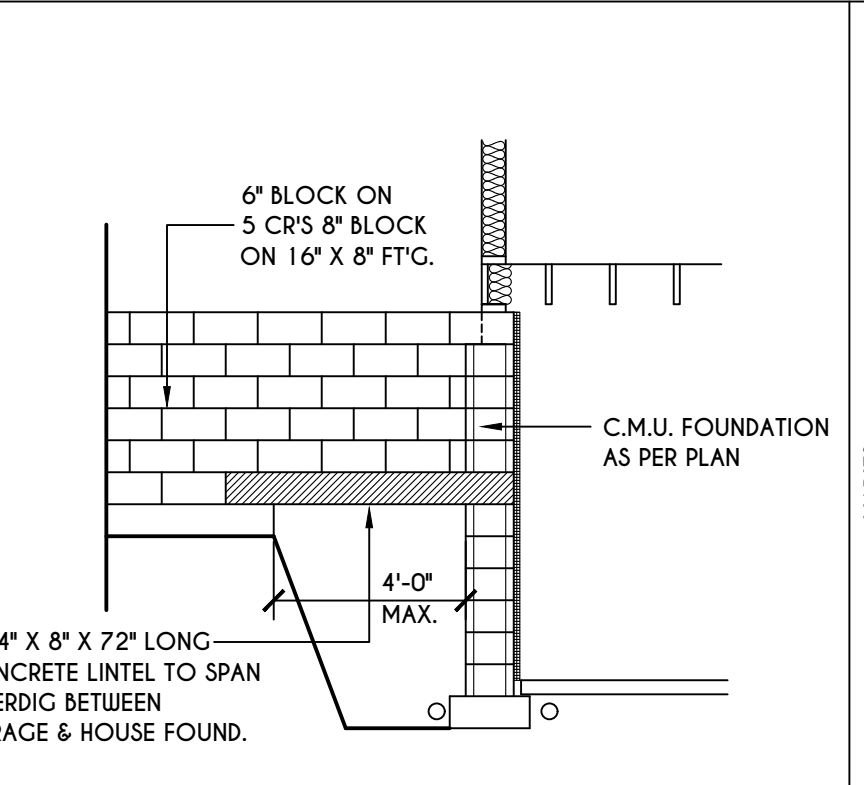
2
N-1
C.M.U. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



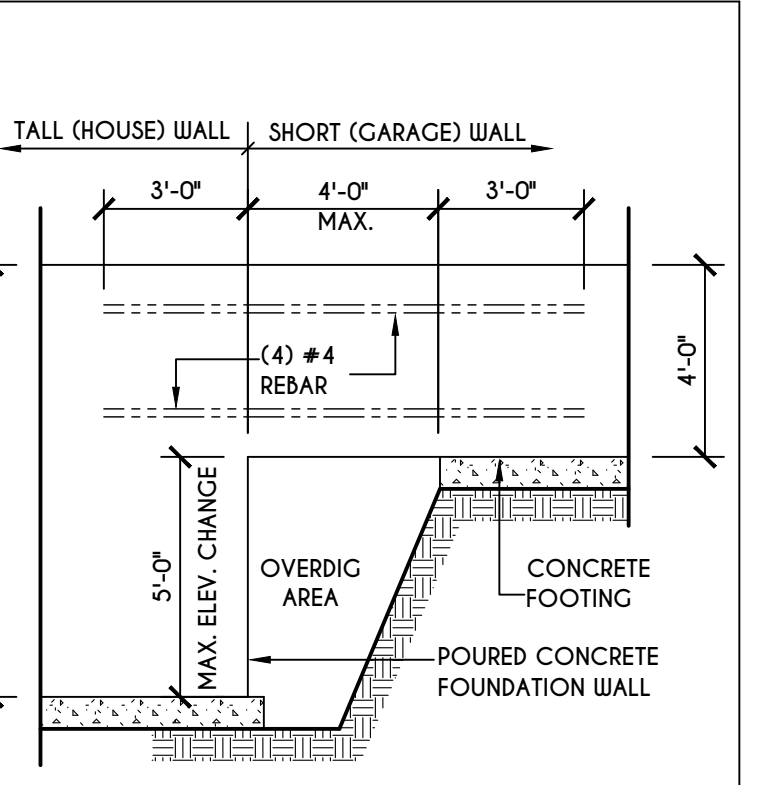
3
N-1
2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



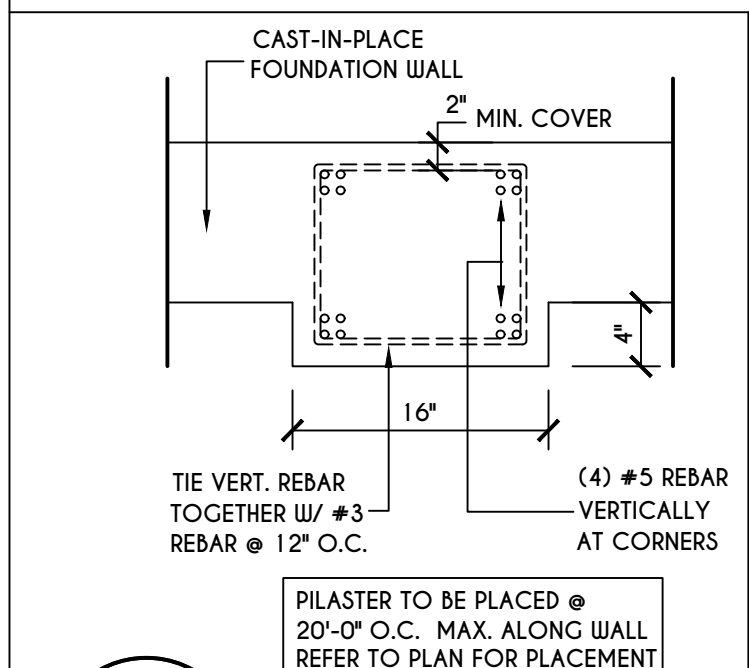
4
N-1
POURED CONC. WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



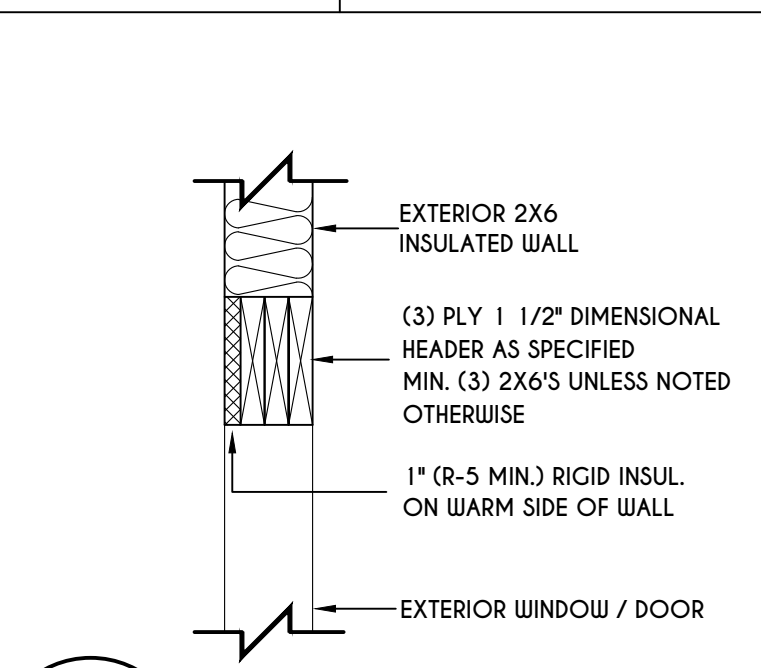
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



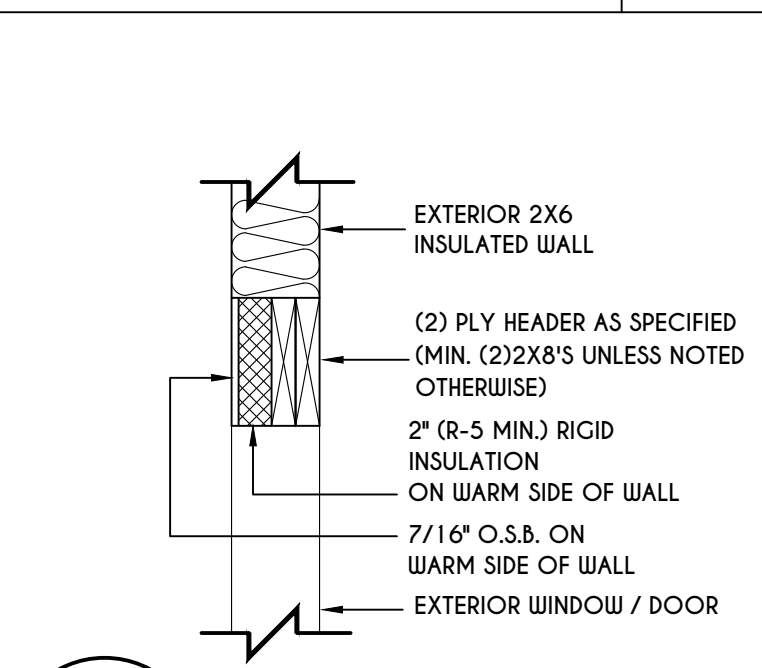
6
N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



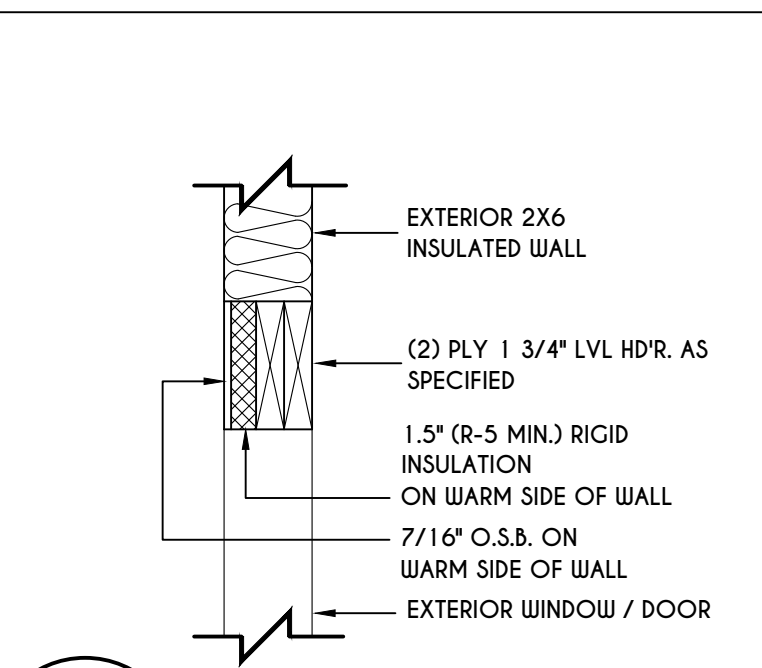
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



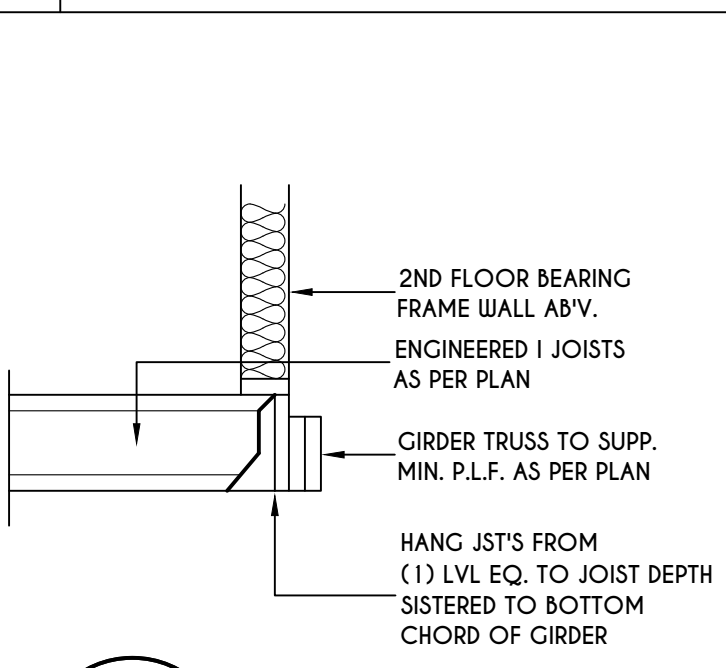
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



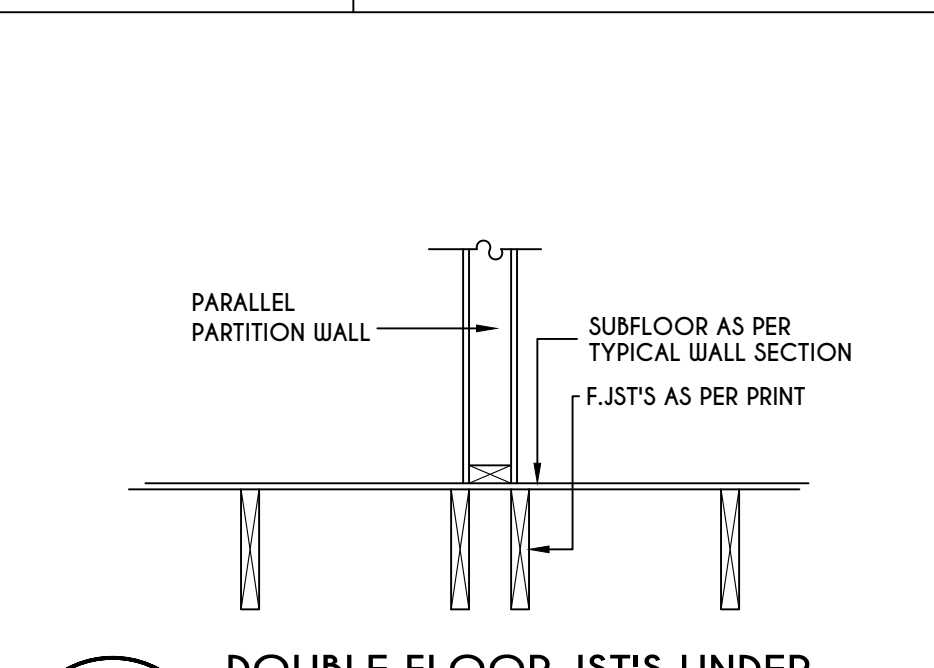
9
N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



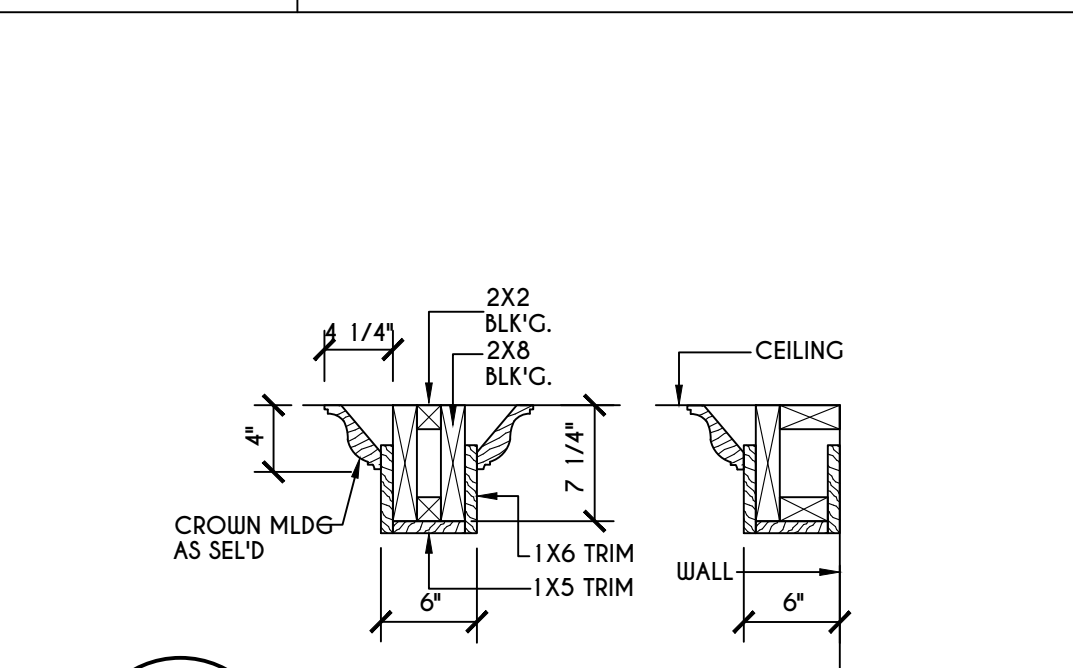
10
N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



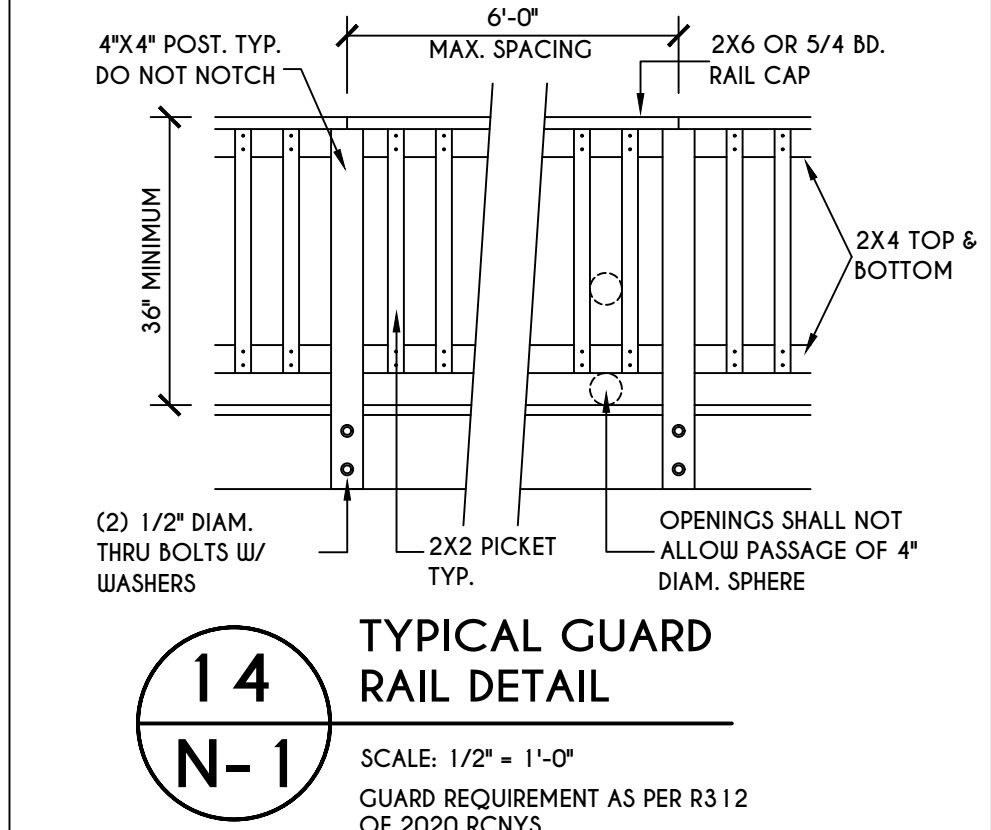
11
N-1
I JOIST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



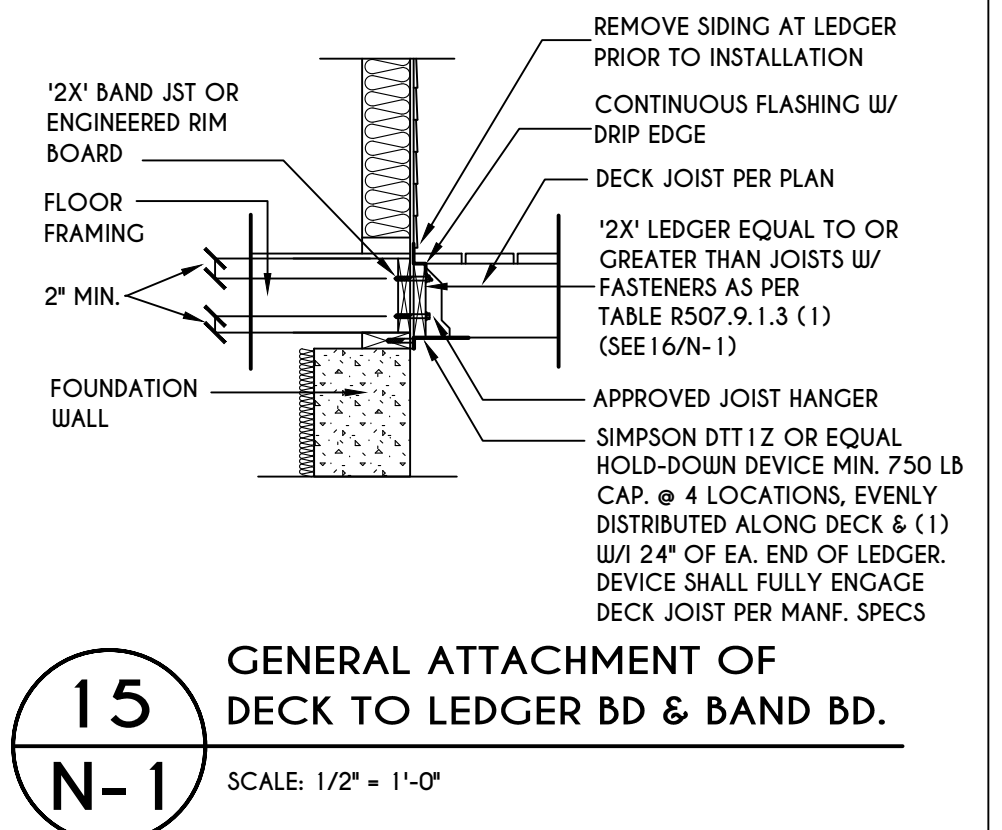
12
N-1
DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



13
N-1
COFFERED BEAM DETAIL
N.T.S.



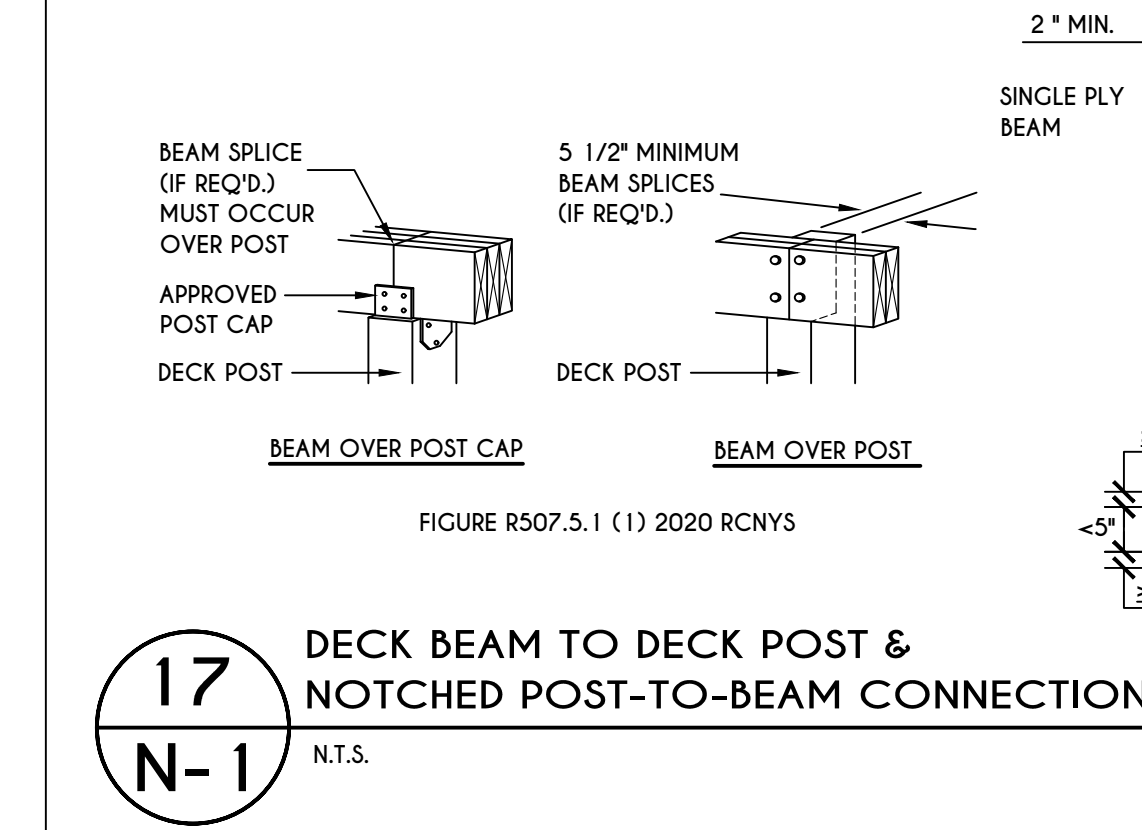
14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"



15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"

16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNVS
N.T.S.

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

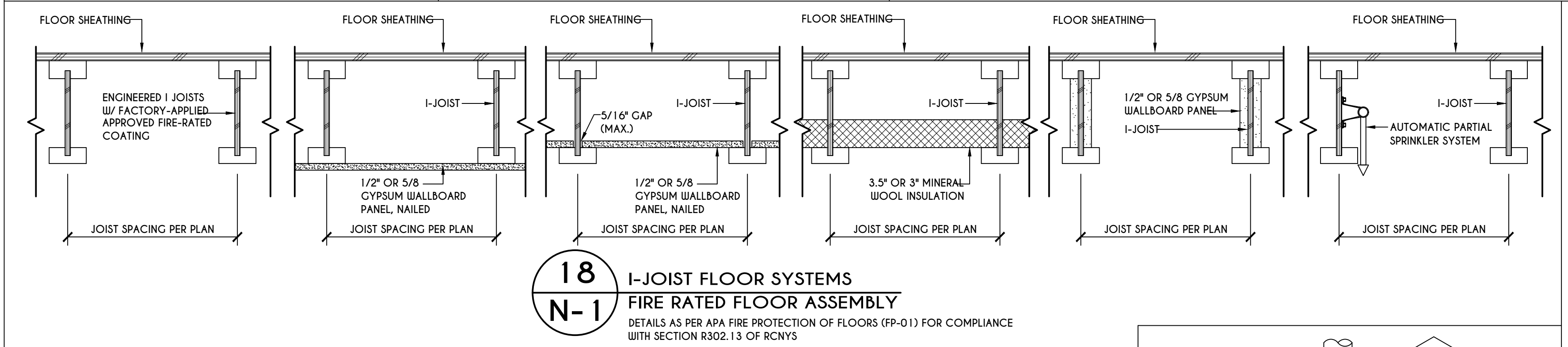


17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

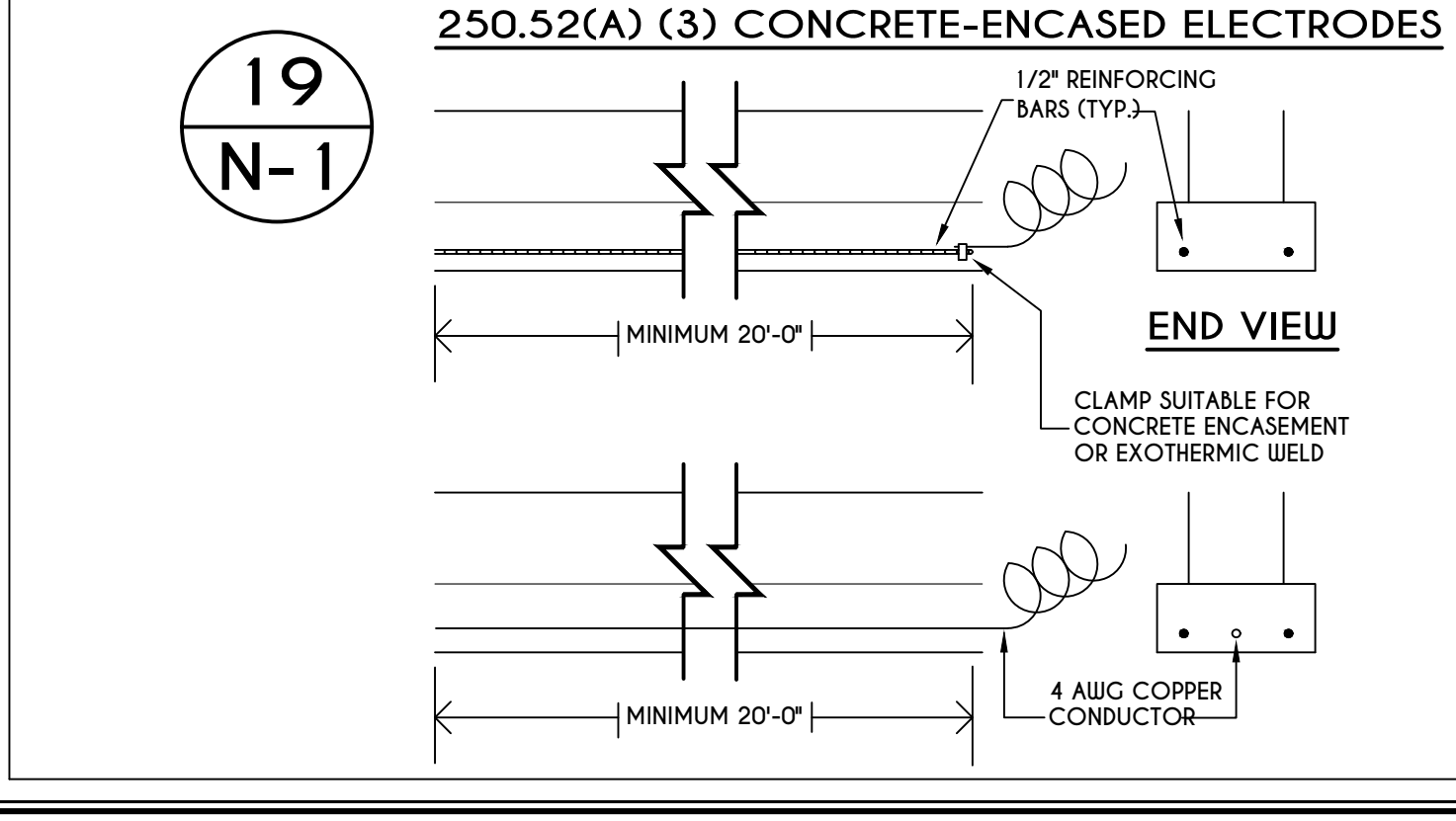
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 x 4	6'-9"
4 x 6	8'
6 x 6	14'
8 x 8	14'

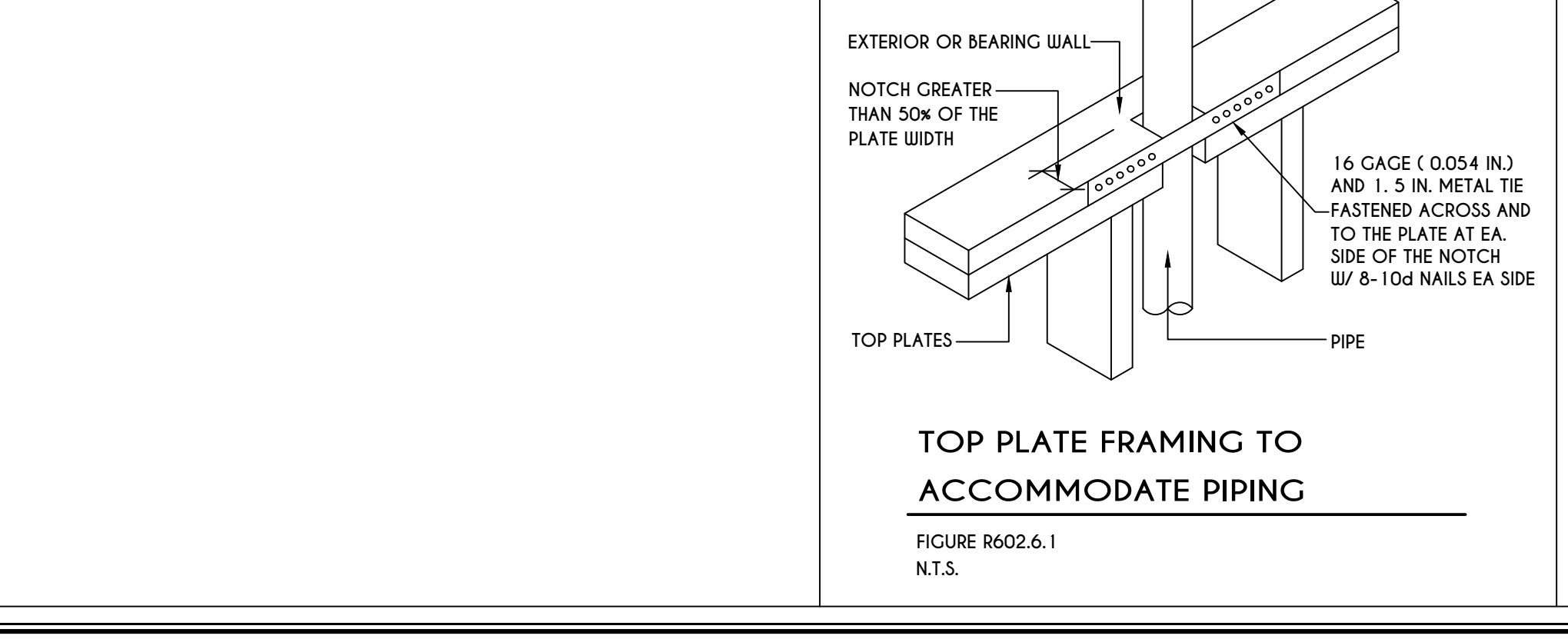
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



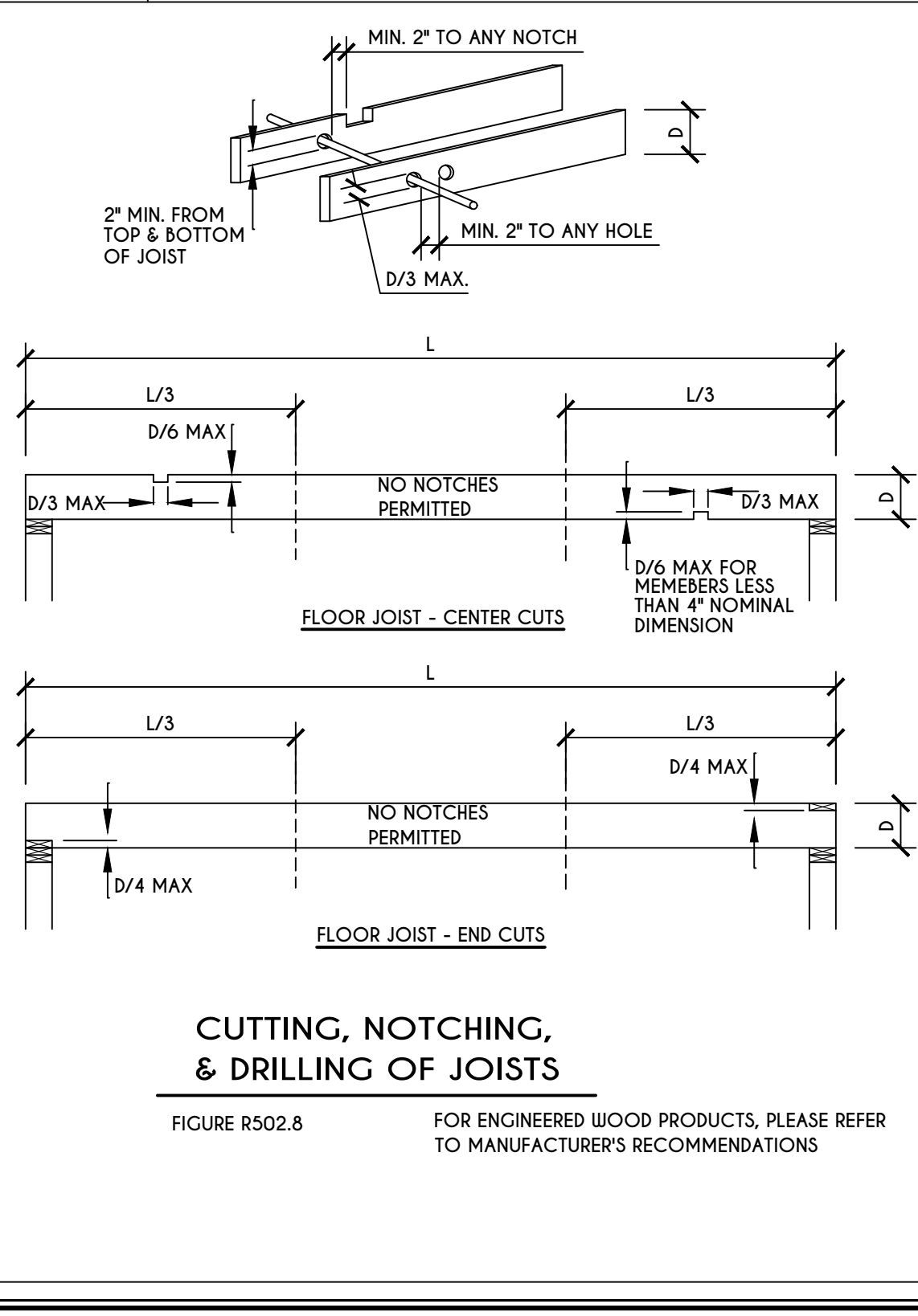
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNVS



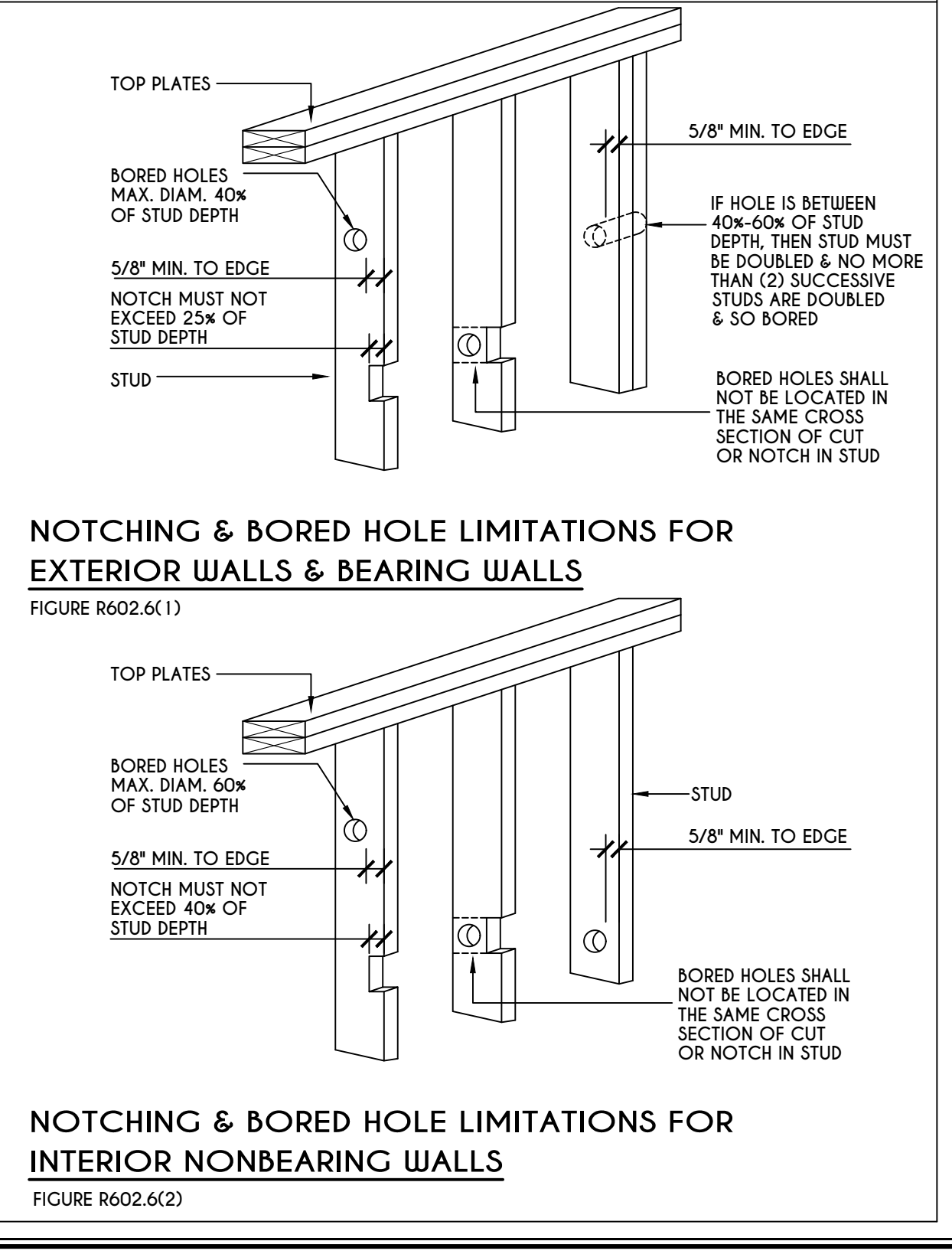
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
END VIEW
CLAMP SUITABLE FOR CONCRETE ENCASEMENT OR EXOTHERMIC WELD
4 AWG COPPER CONDUCTOR
MINIMUM 20'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

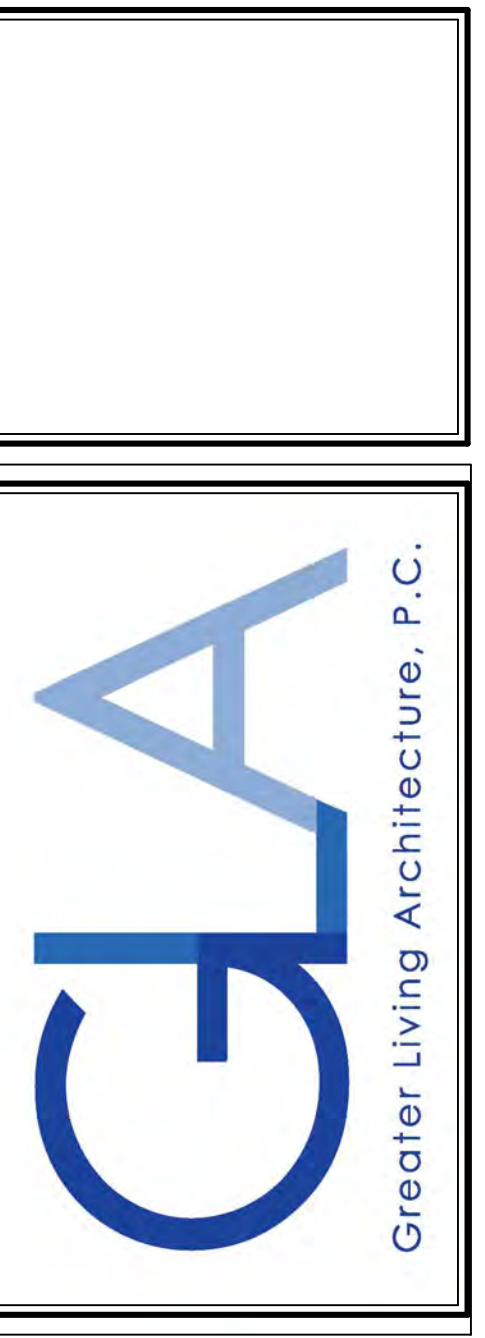


CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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DATE	BY	DESCRIPTION

CLIENT/LOCATION:

THE NEWPORT - SPEC
LOT 1 BRIDLERIDGE
PITTSFORD, NY

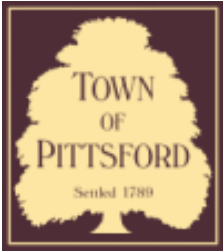
BUILDER:

COVENTRY RIDGE
BUILDING CORP.

DETAILS

GLA PLAN 2810

drawn: CDK	checked: CSB
scale: AS NOTED	date: 10 / 23
PROJECT: 15420J	sheet: N 1



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000130

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 7 Bridleridge Farms Pittsford, NY 14534

Tax ID Number: 191.01-1-81

Zoning District:

Owner:

Applicant: Bridleridge Building Corp

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

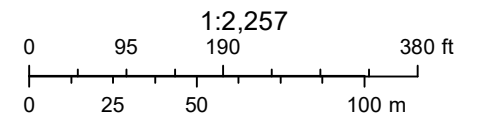
Project Description: Applicant is requesting design review for a two-story, 3,088 square foot single-family home in the Bridleridge Subdivision.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning

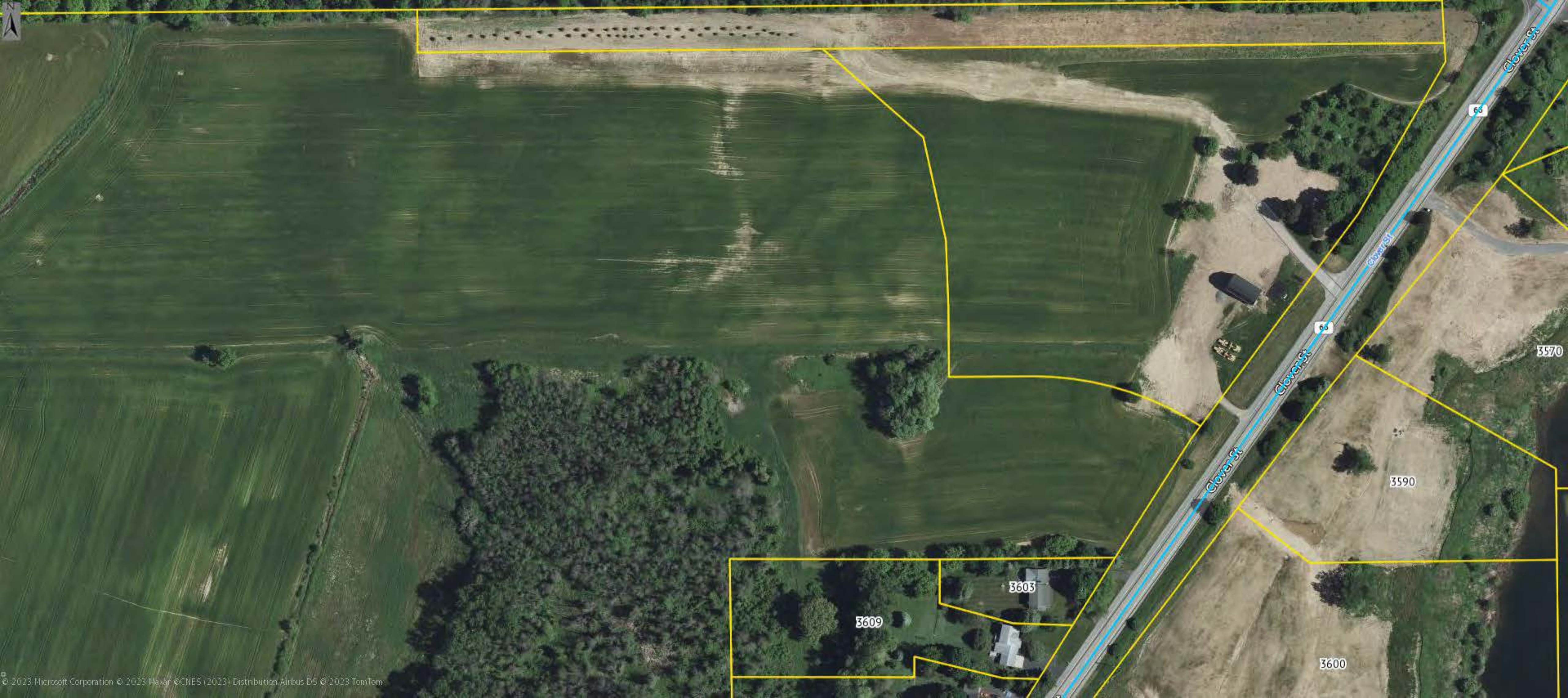


Printed October 5, 2023

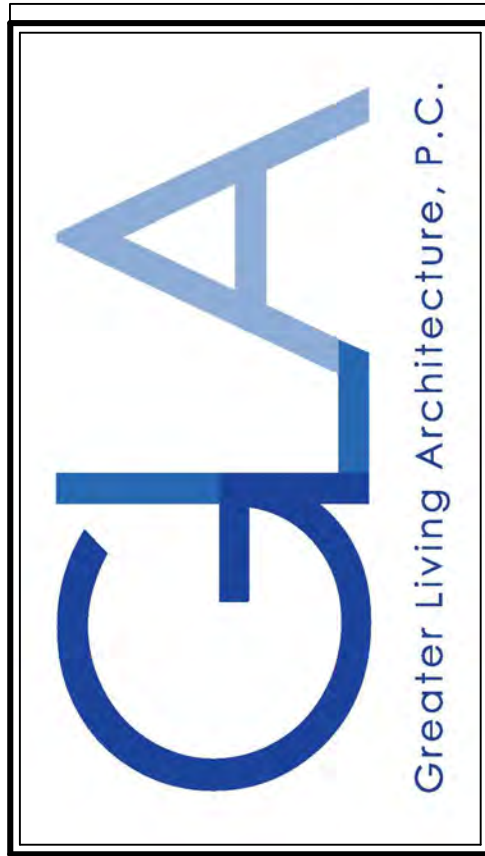


Town of Pittsford GIS

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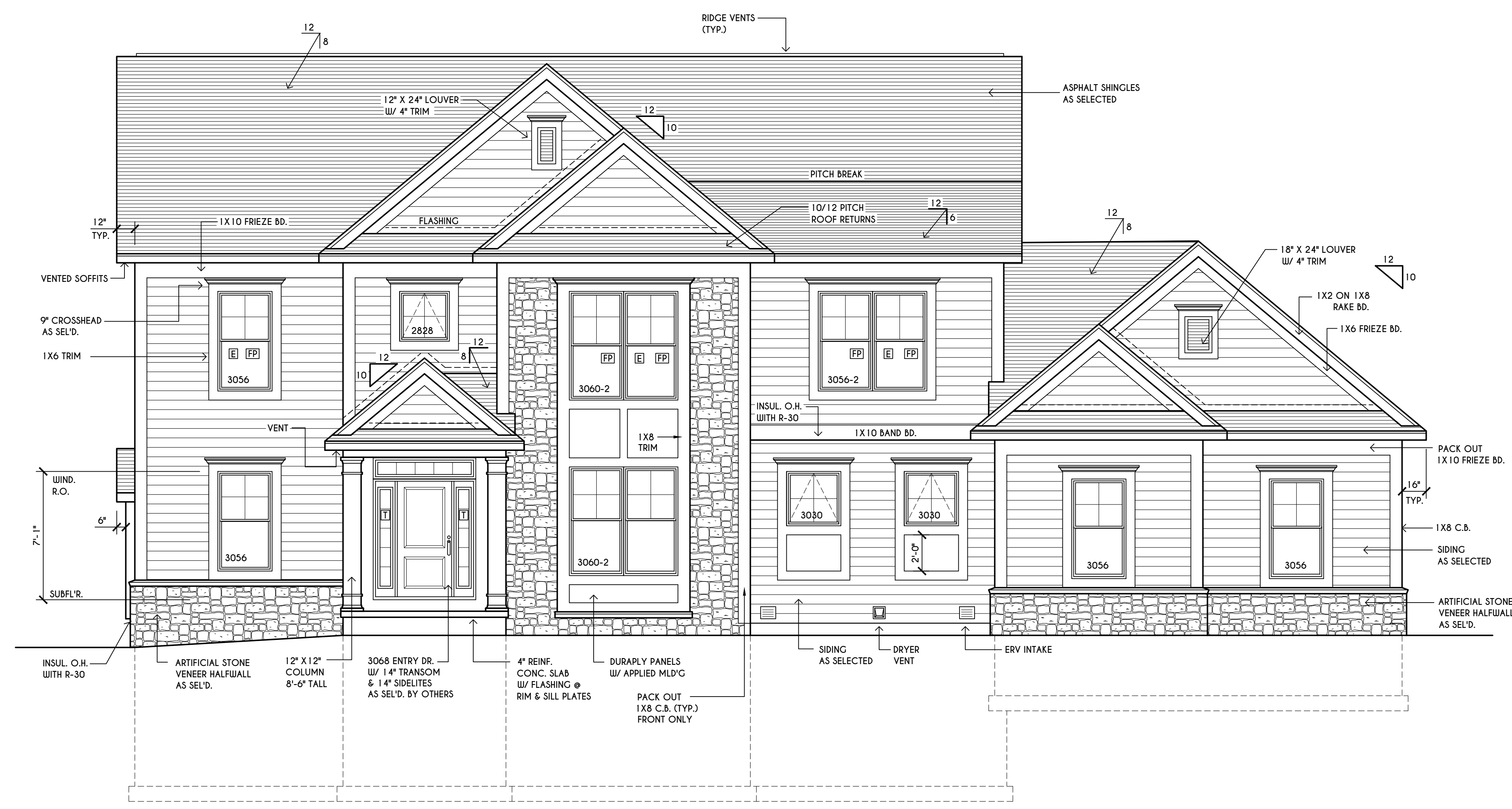
CLIENT/LOCATION:
 LOT 2
 BRIDLERIDGE FARMS
 PITTSFORD, NY

BUILDER:
 COVENTRY RIDGE
 BUILDING CORP.

ELEVATIONS

GLA PLAN 3084

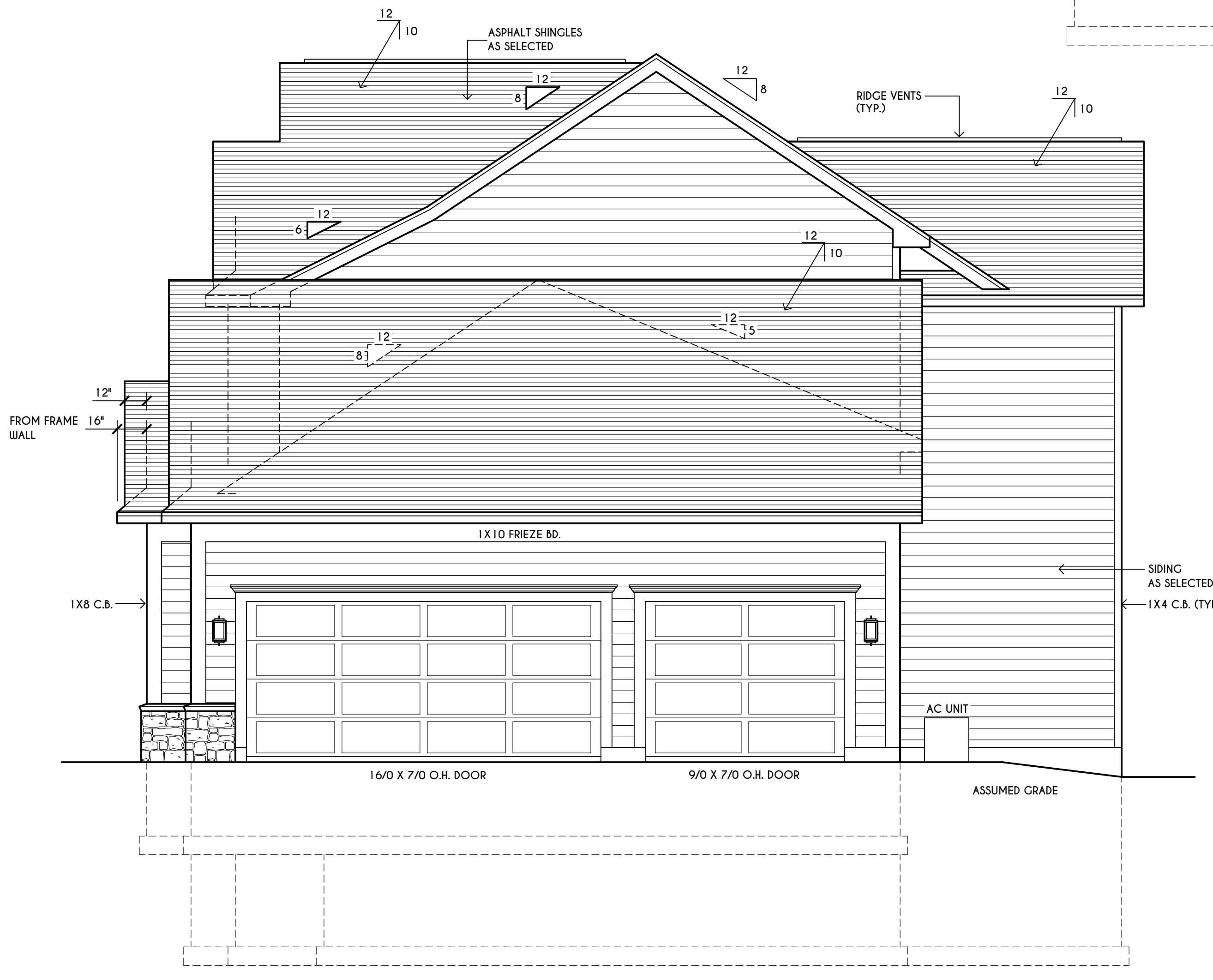
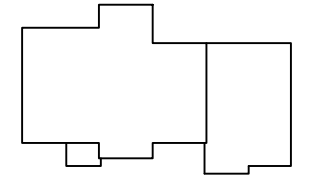
drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	6 / 20
PROJECT:	sheet:
15381 C	1 / 6



FRONT ELEVATION

FIRST FLOOR LIVING AREA = 1524 SQ.FT.
 SECOND FLOOR LIVING AREA = 1560 SQ.FT.
 TOTAL LIVING AREA = 3084 SQ.FT.
 TOTAL CONDITIONED VOLUME = 41,988 CU.FT.

HOUSE FOOTPRINT
 SCALE: 1" = 50'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

TABLE M 1505.4.3 (1)
 CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M 1505.4.3 (2)
 INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
 b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s

WINDOWS: VWD SOLAR GAIN GLASS W/ ARGON
 U-FACTOR 0.30
 SHGC 0.54

DOORS: SELECTION BY OWNER
 AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

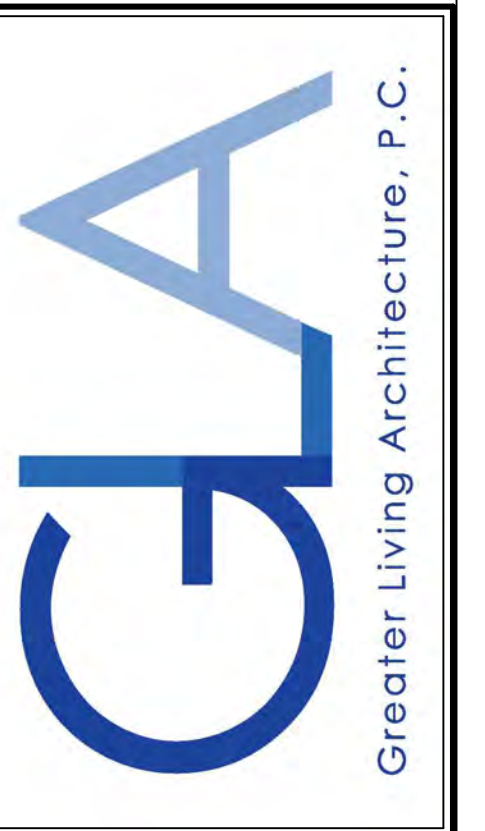
WINDOW / DOOR LEGEND:
 [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
 [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
 [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:
 THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 (PAGE 1)

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DATE	BY	DESCRIPTION

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 PITTSFORD, NY

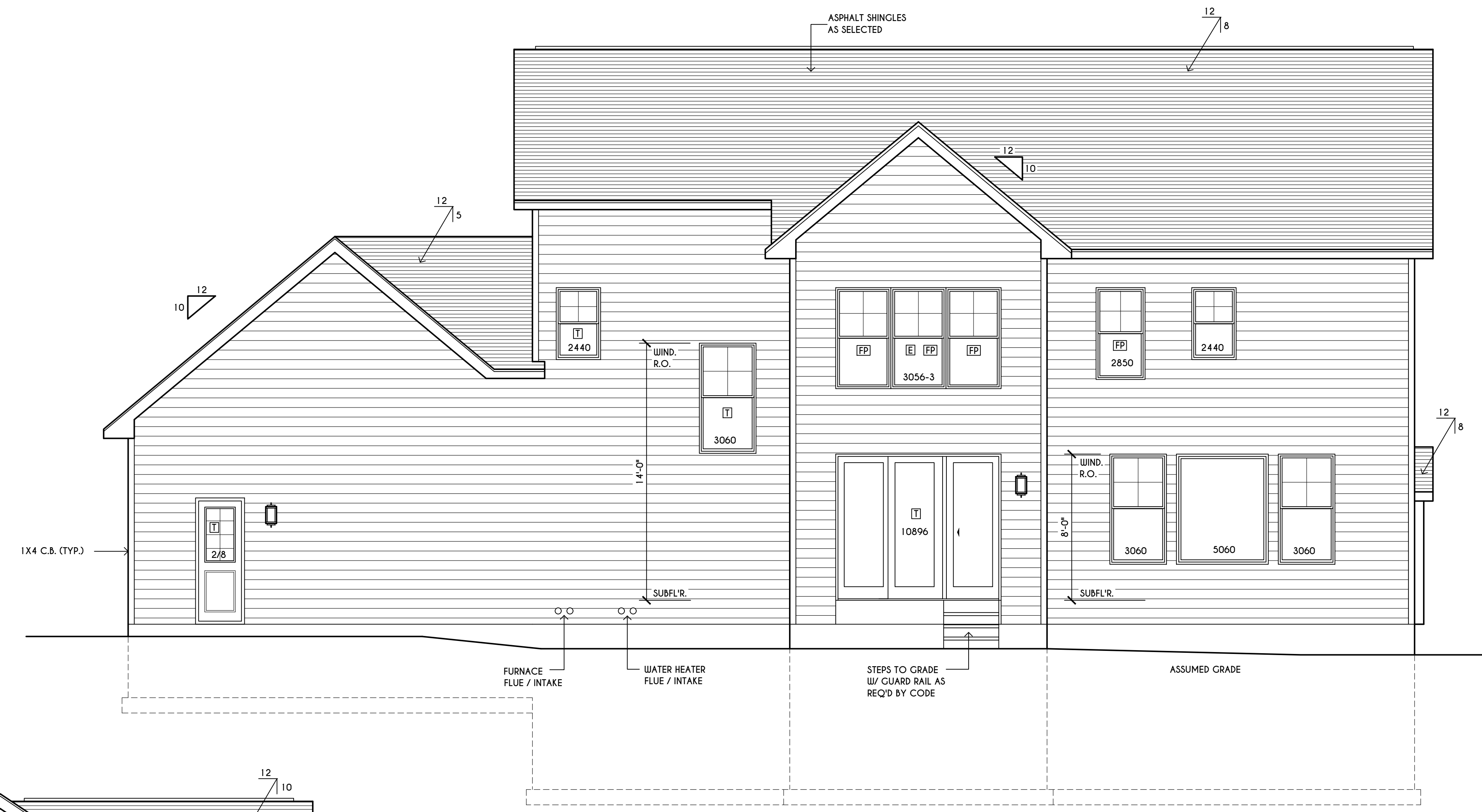
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

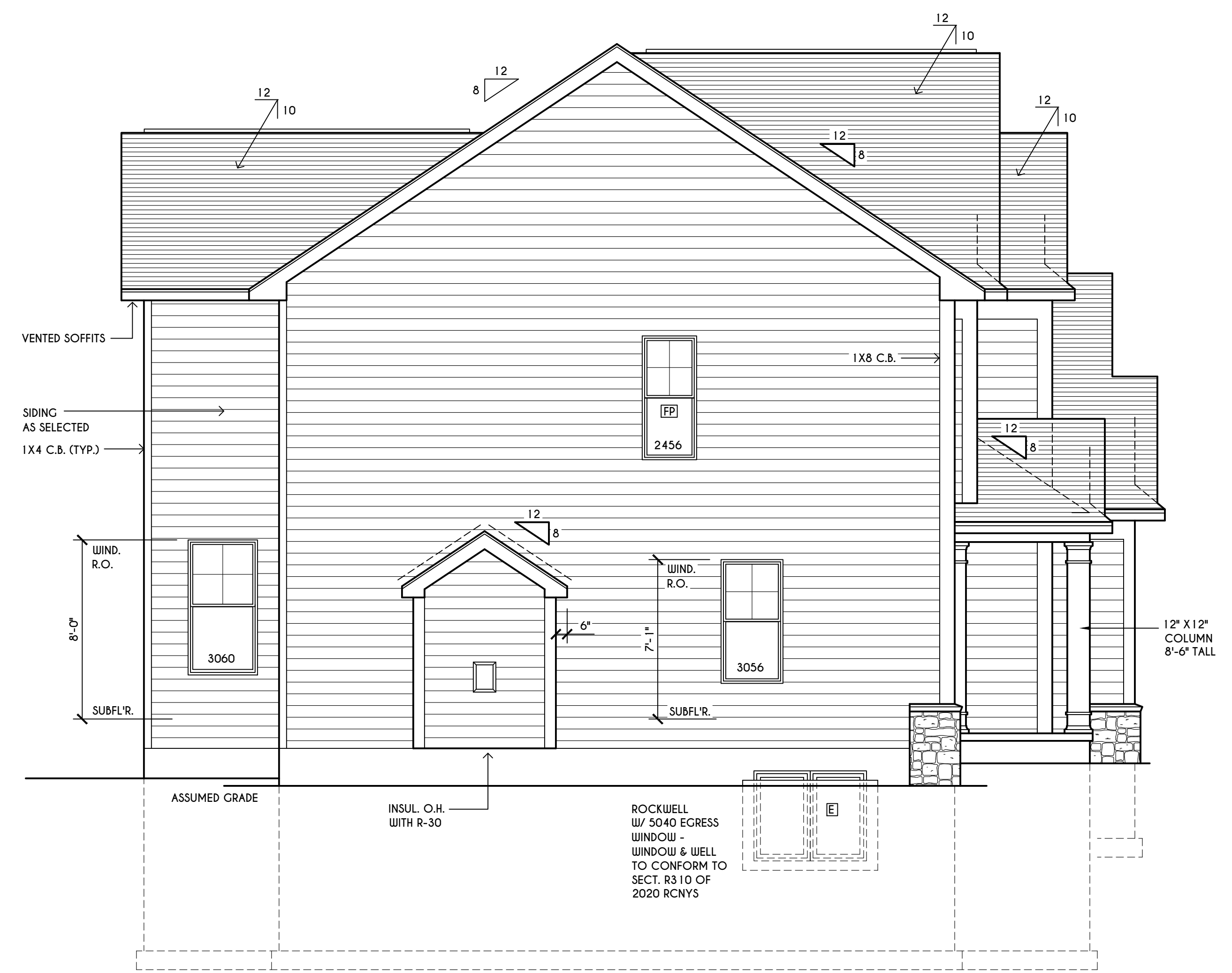
ELEVATIONS

GLA PLAN 3084

drawn: CDK	checked: CSB
scale: AS NOTED	date: 6 / 20
PROJECT: 15381 C	sheet: 2 / 6

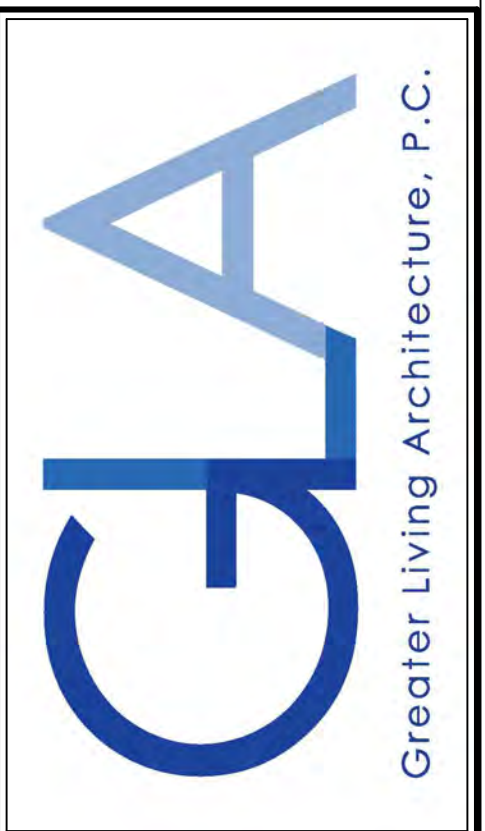


REAR ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

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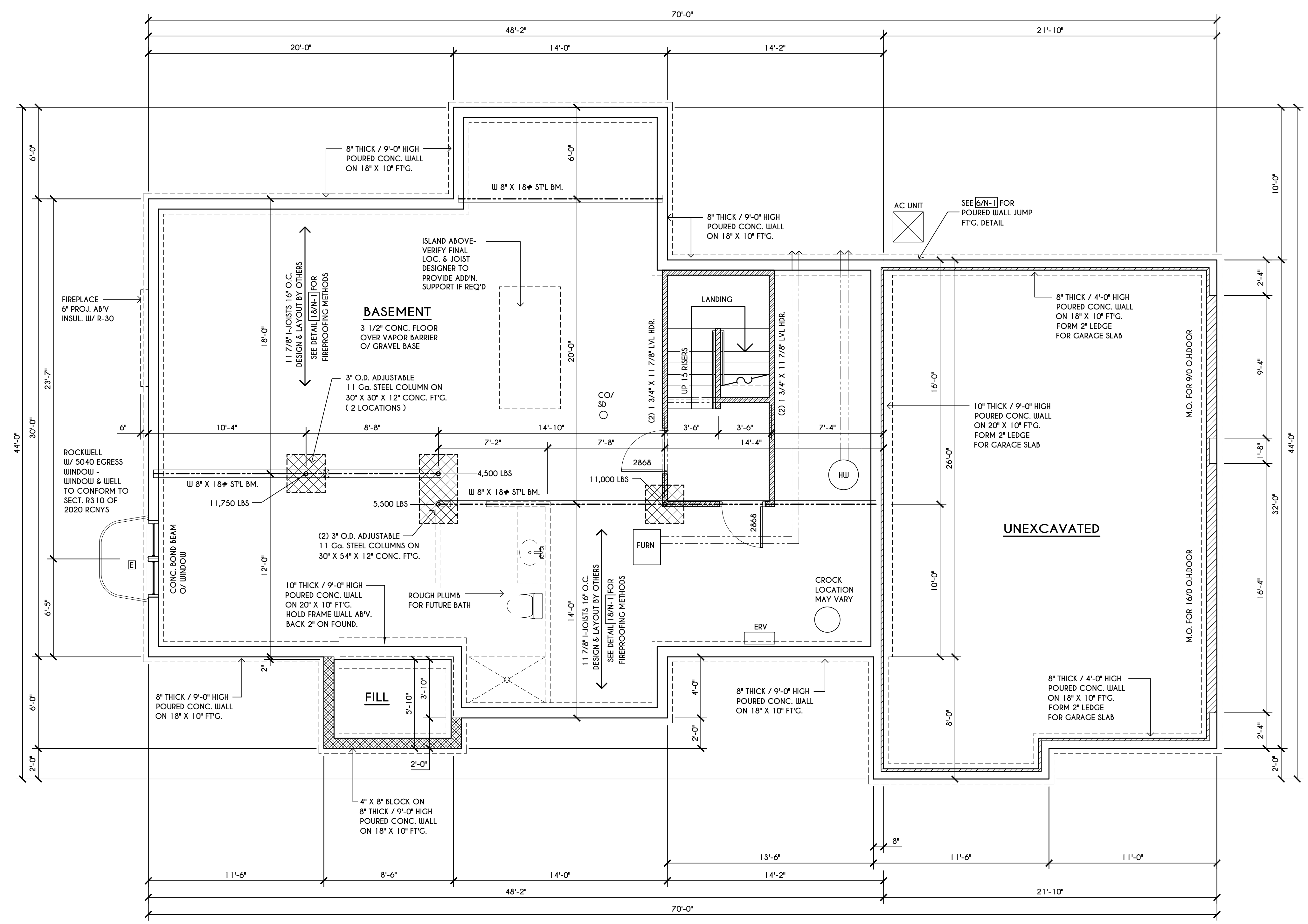
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

FOUNDATION PLAN

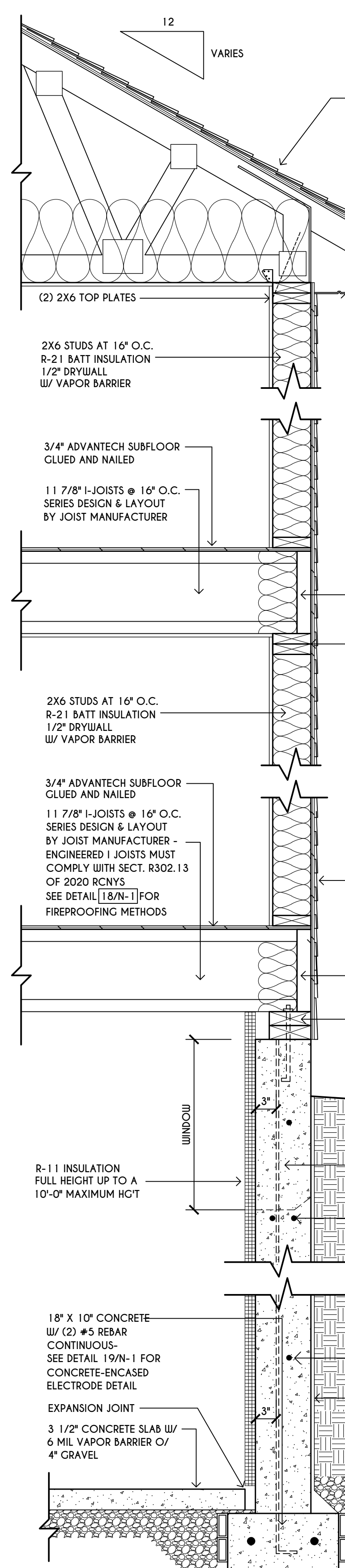
GLA PLAN 3084

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scale: AS NOTED	date: 6 / 20
PROJECT: 15381 C	sheet: 3 / 6



TRUSS EAVE CONSTRUCTION

ASPHALT SHINGLES ON 15" FELT ON 5/8" EXTERIOR SHEATHING OR 7/16" SHEATHING WITH CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON 144 HURRICANE TIES OR SDWC 15600 TRUSS SCREW OR EQUAL
 ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & BAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 R-38 CEILING INSULATION



ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD
 ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS
 SEE DETAIL [18/N-1] FOR FIREPROOFING METHODS

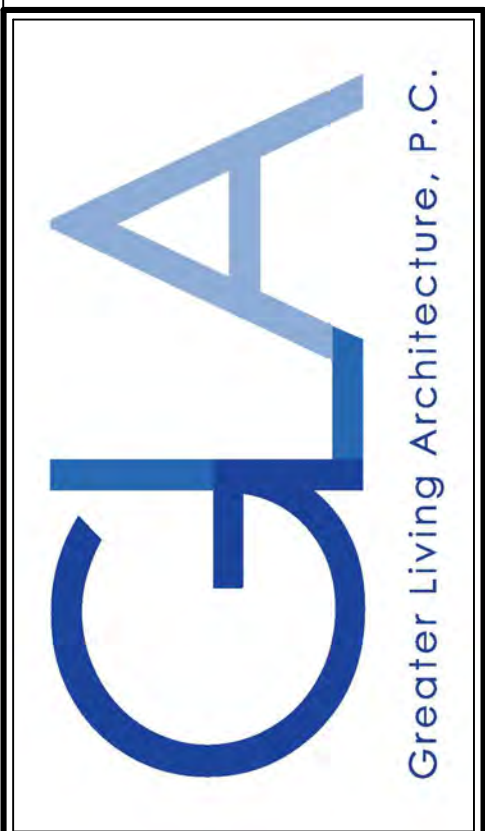
FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [P] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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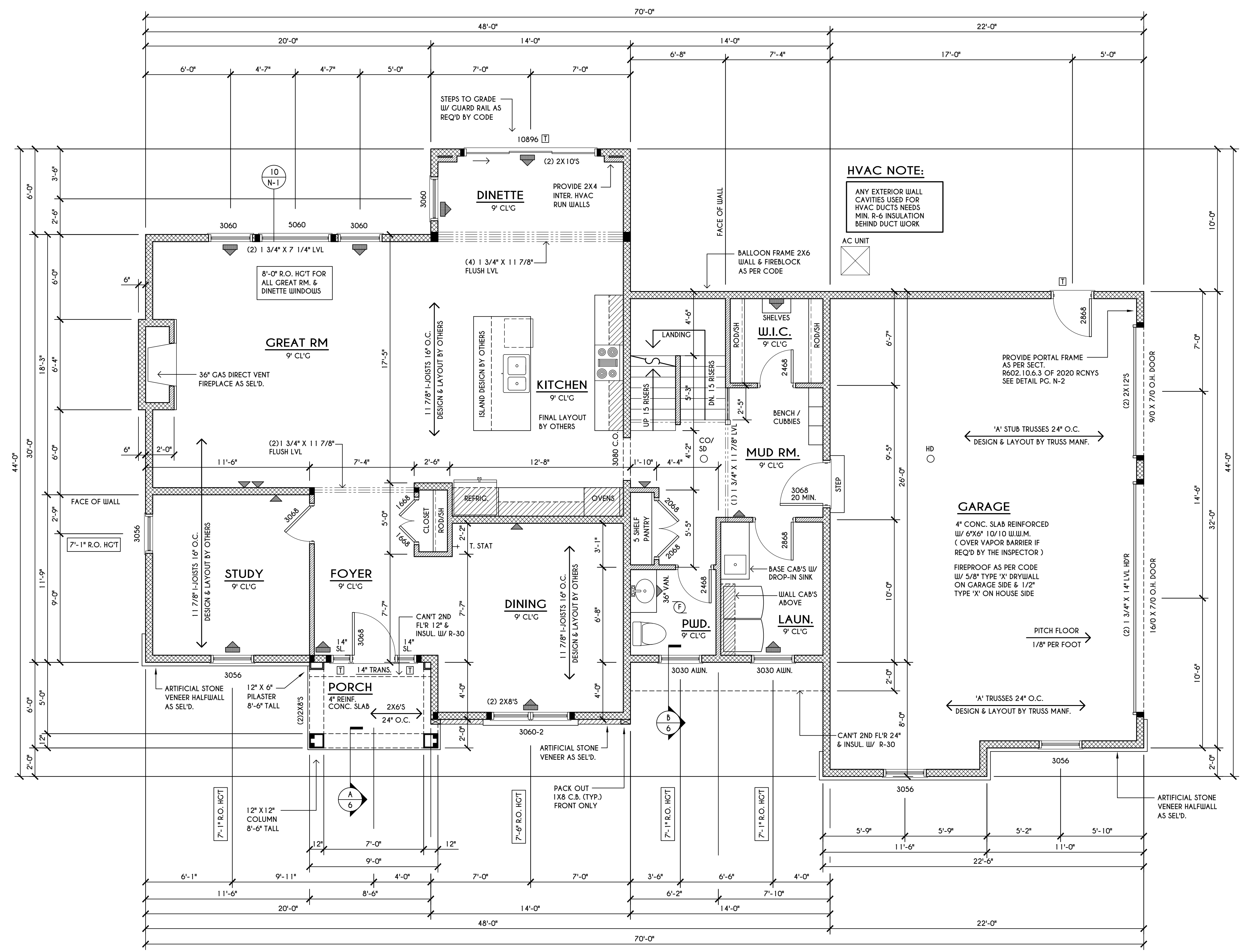
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3084

drawn: CDK	checked: CSB
scale: AS NOTED	date: 6 / 20
PROJECT: 15381 C	sheet: 4 / 6



HVAC NOTE:
 ANY EXTERIOR WALL CAVITIES USED FOR HVAC DUCTS NEEDS MIN. R-6 INSULATION BEHIND DUCT WORK

GARAGE
 4" CONC. SLAB REINFORCED W/ 6"x6" 10/10 W.U.M. (OVER VAPOR BARRIER IF REQ'D BY THE INSPECTOR)
 FIREPROOF AS PER CODE W/ 5/8" TYPE 'X' DRYWALL ON GARAGE SIDE & 1/2" TYPE 'X' ON HOUSE SIDE

FRAMING LEGEND:

	PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
	DROPPED HEADER
	FLUSH HEADER
	2X4 STUDS @ 16" O.C.
	2X6 STUDS @ 16" O.C.

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:
 ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
 ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

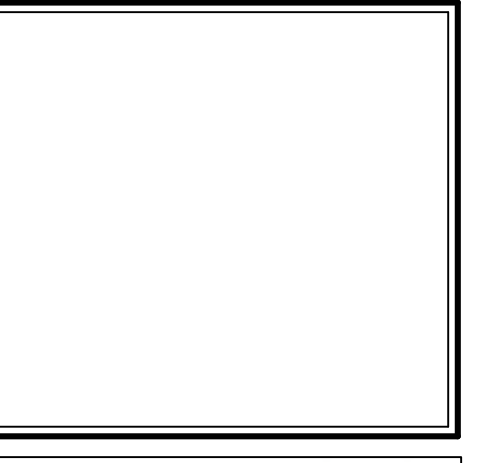
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
 1524 SQ. FT.
GENERAL FIRST FLOOR PLAN NOTES:
 FIRST FLOOR PLATE HGT TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 8'-0" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE D/NL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

	= MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
	= SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
	= SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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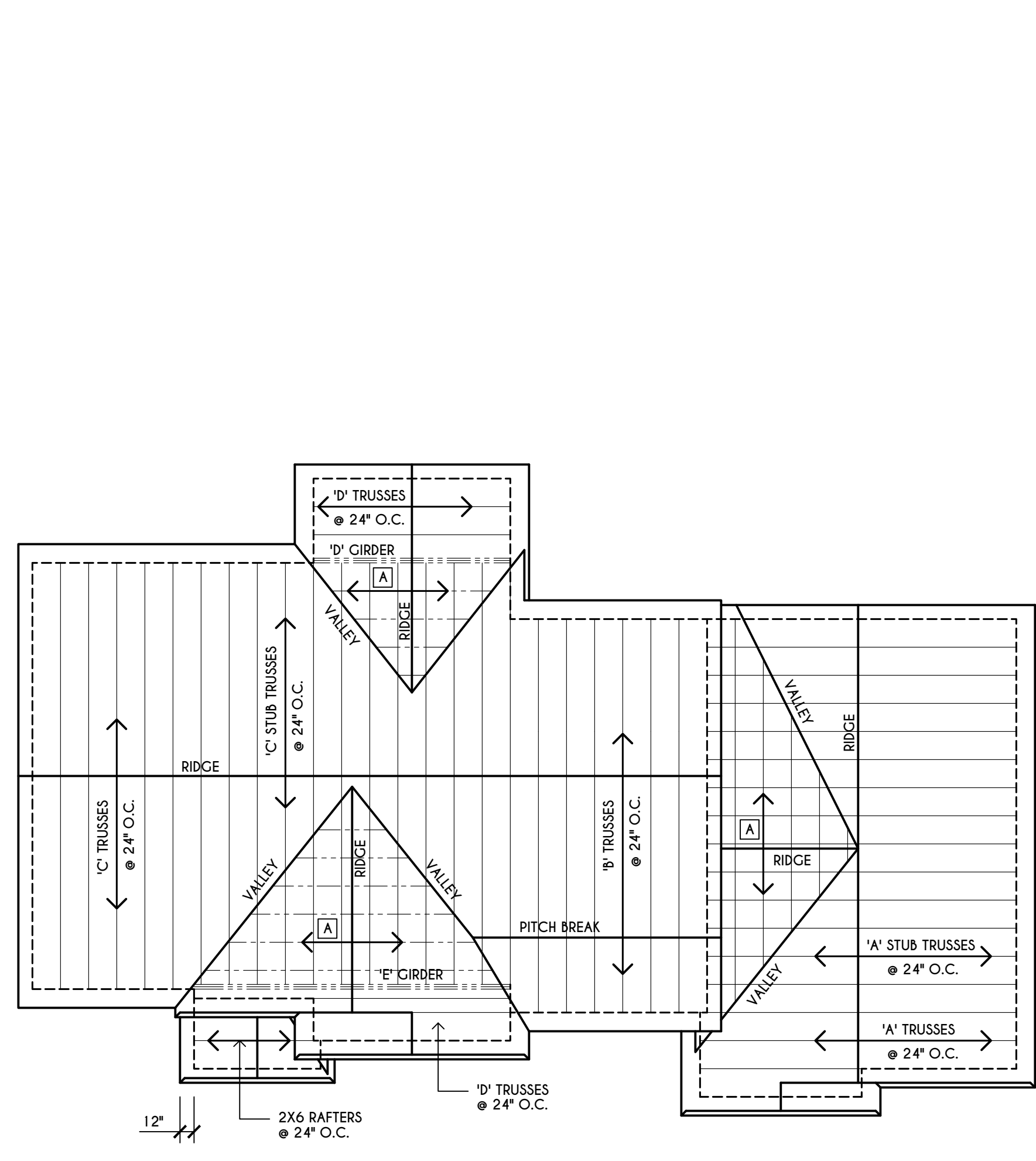
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3084

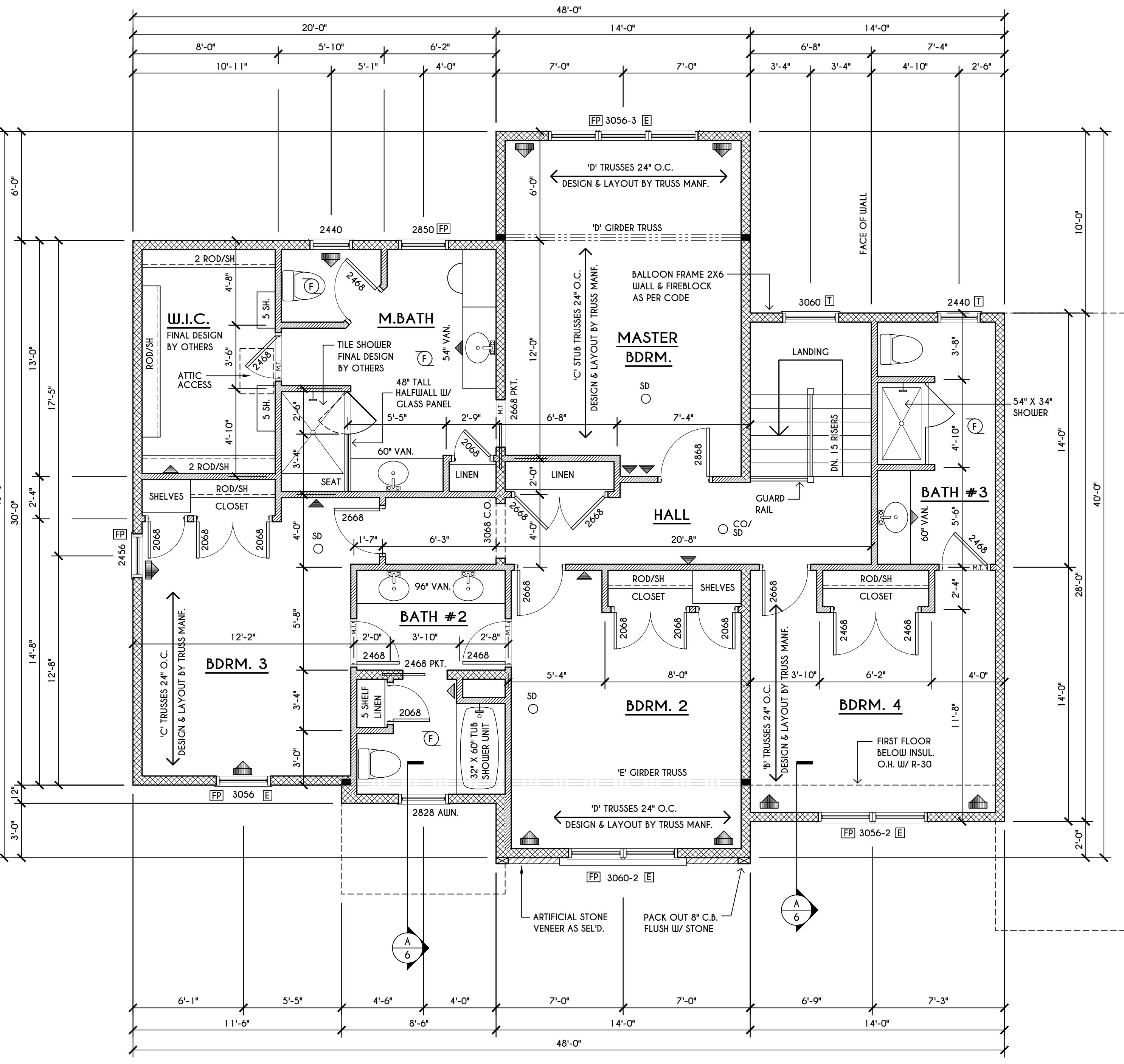
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scale: AS NOTED	date: 6 / 20
PROJECT: 1538 C	sheet: 5 6



ALL RAKES TO BE 12° & ALL OVERHANGS TO BE 16" FROM FRAME WALLS UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS



FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED, UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

SECOND FLOOR PLAN
 1560 SQ.FT.
 SCALE: 1/4" = 1'-0"

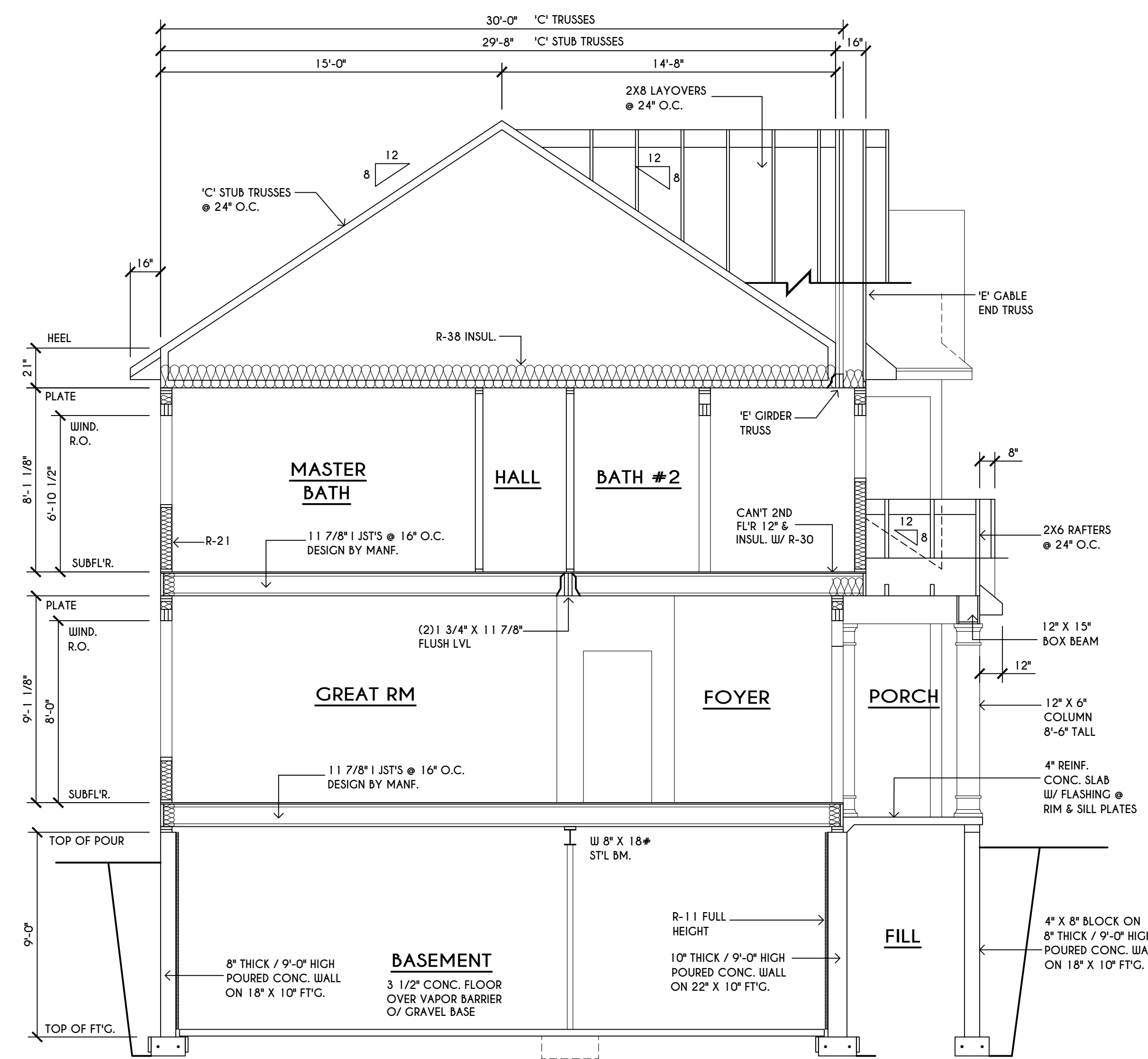
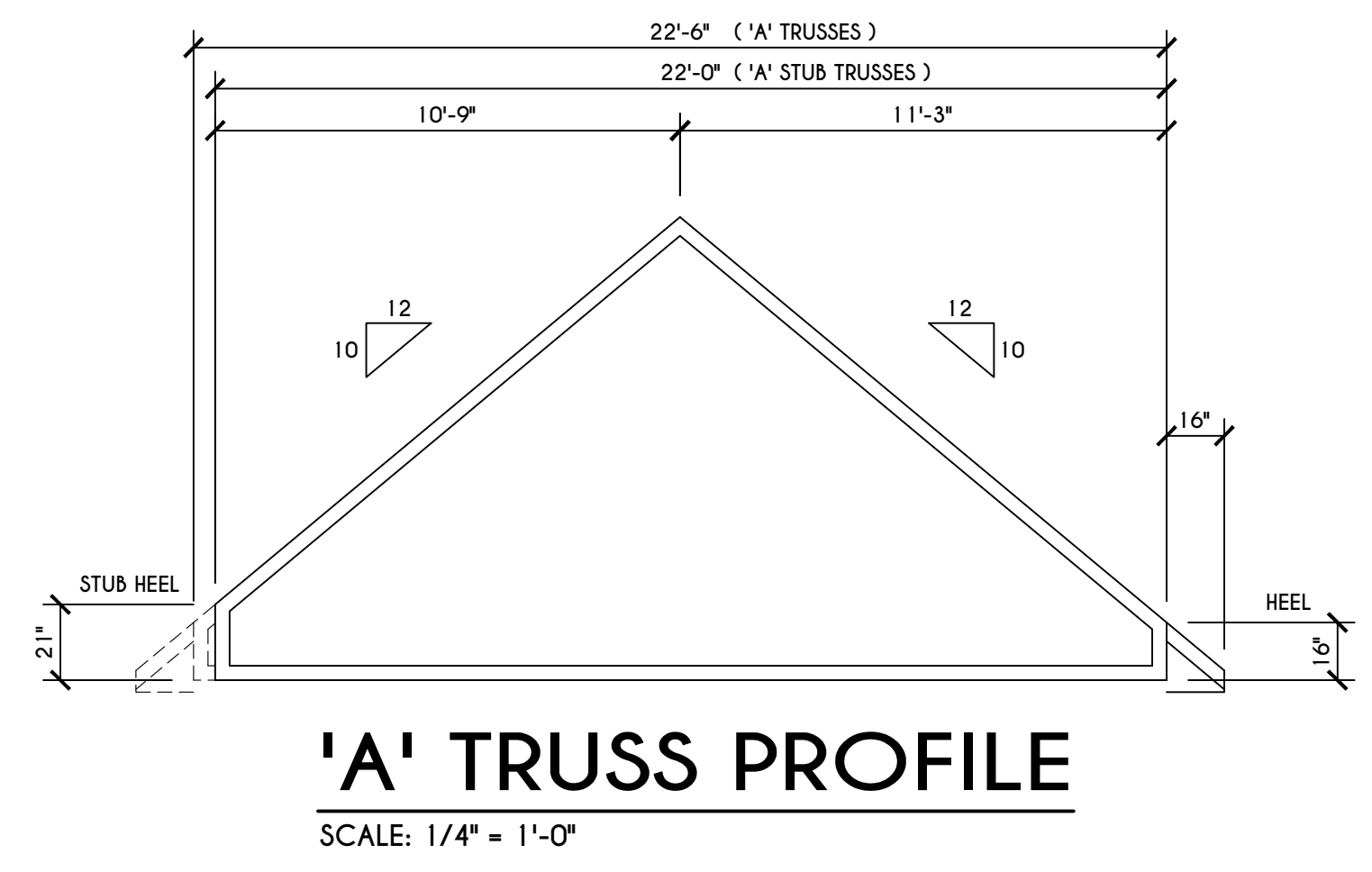
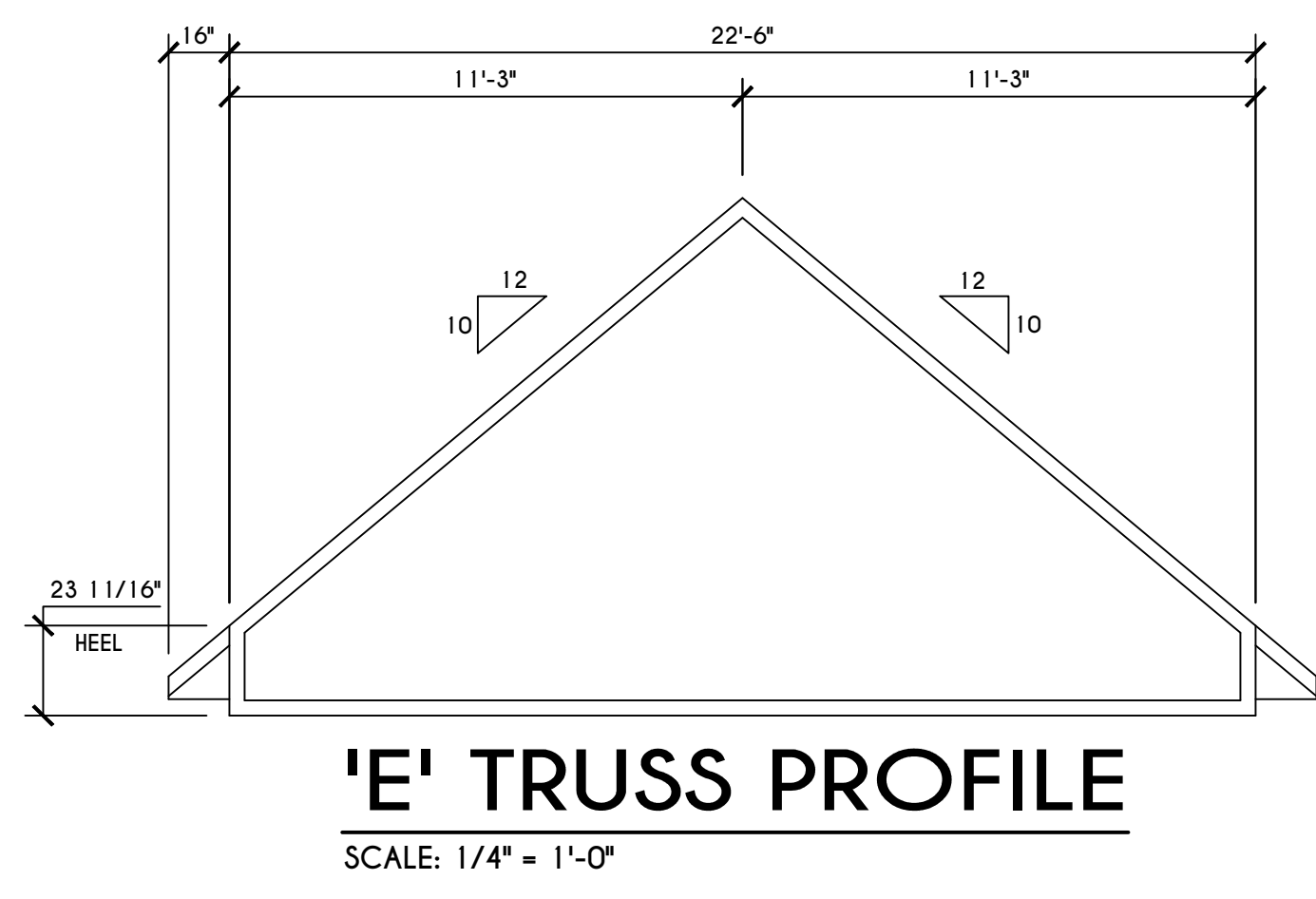
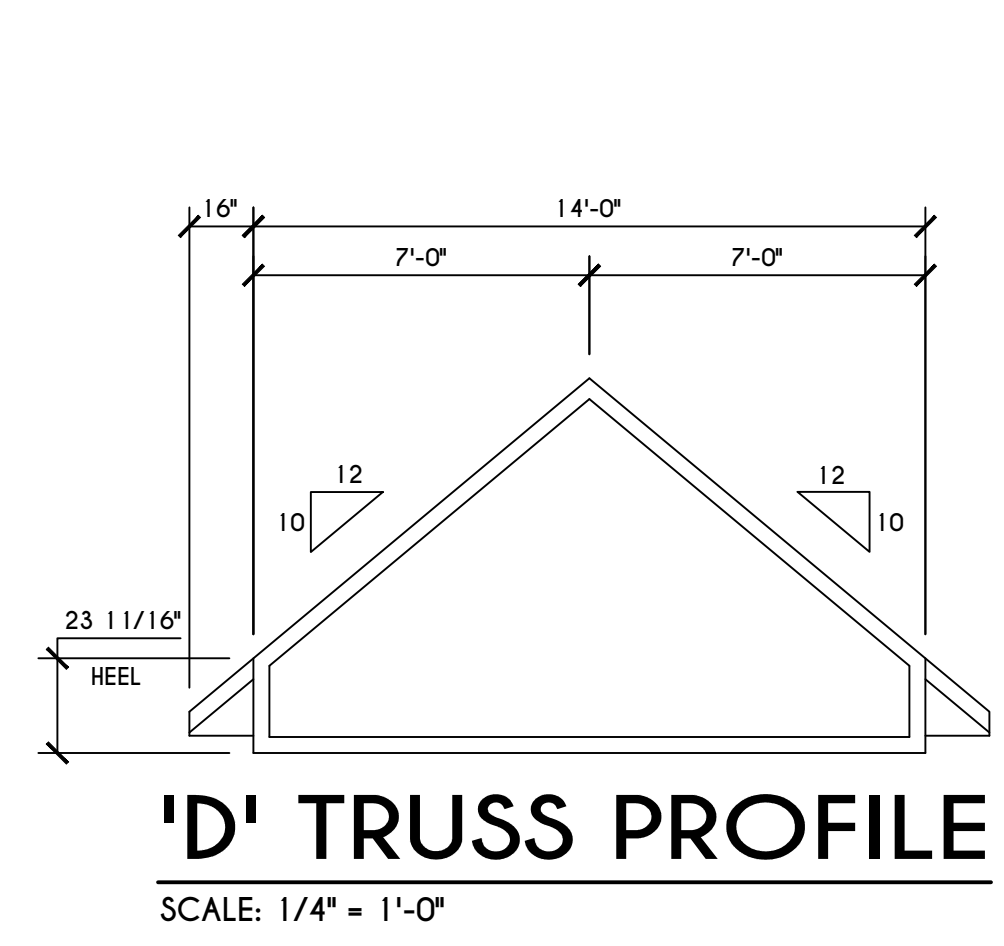
GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 7' - 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R3 14 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

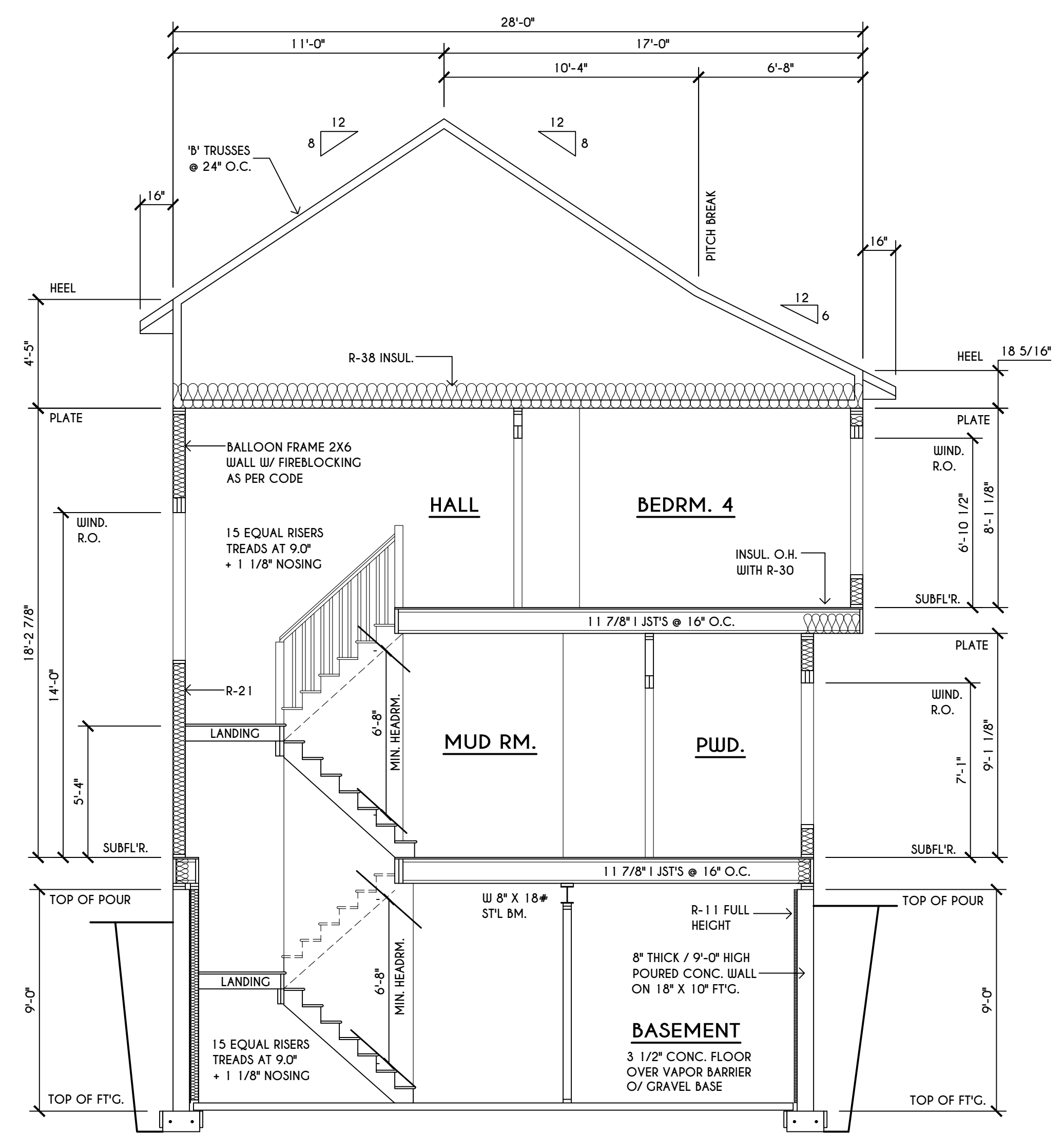
WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24" PER SECT. R3 10.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R3 12.2 OF 2020 RCNYS

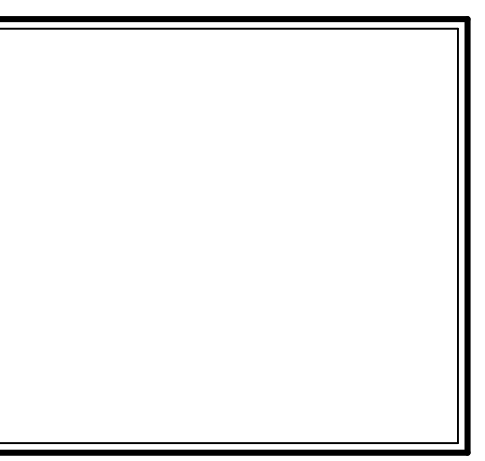
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A BUILDING SECTION
 SCALE: 1/4" = 1'-0"



B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



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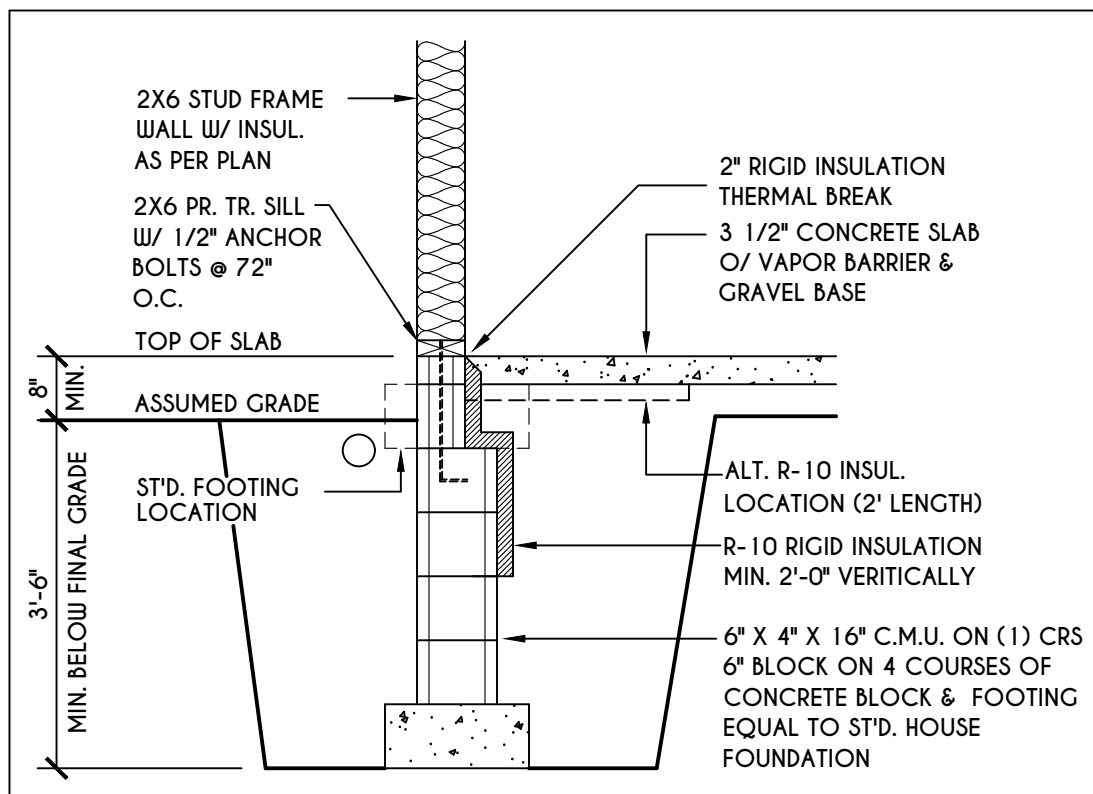
BUILDER:

COVENTRY RIDGE
 BUILDING CORP.

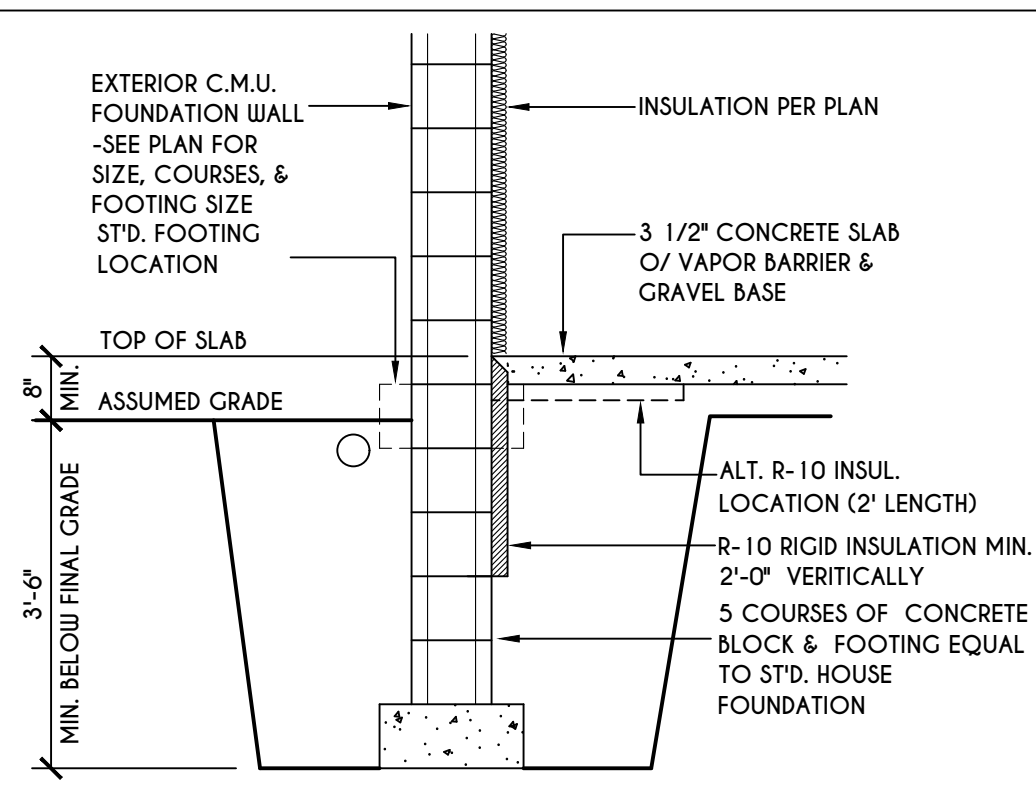
SECTIONS

GLA PLAN 3084

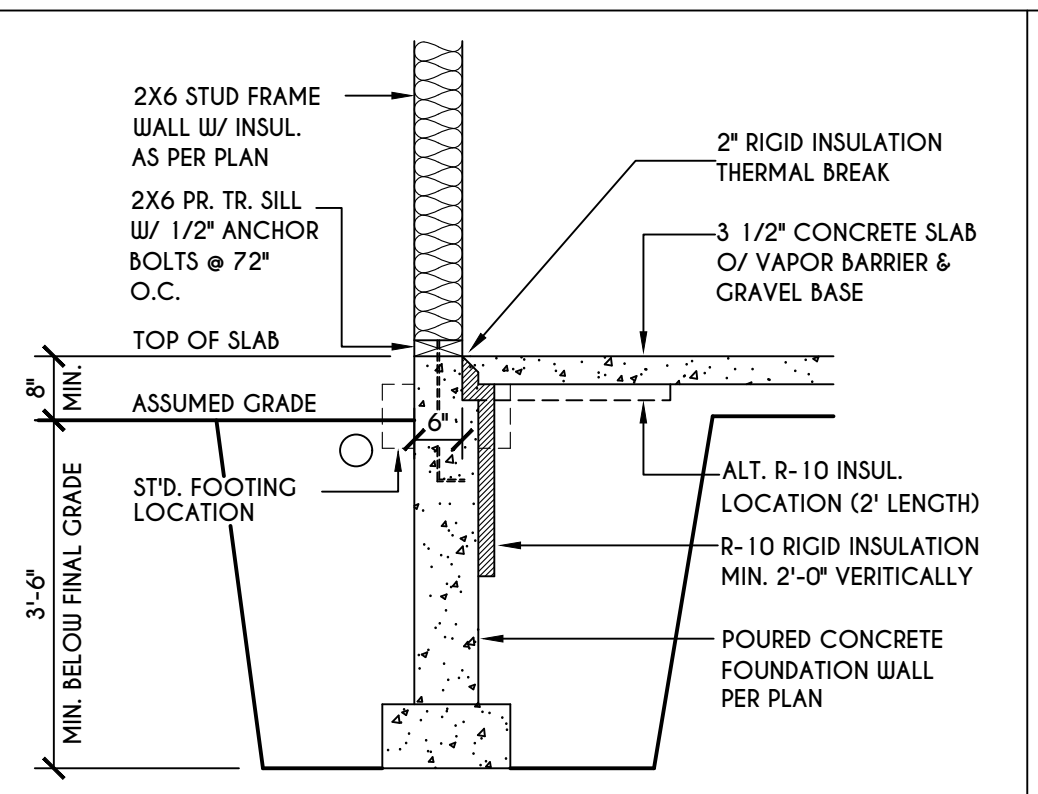
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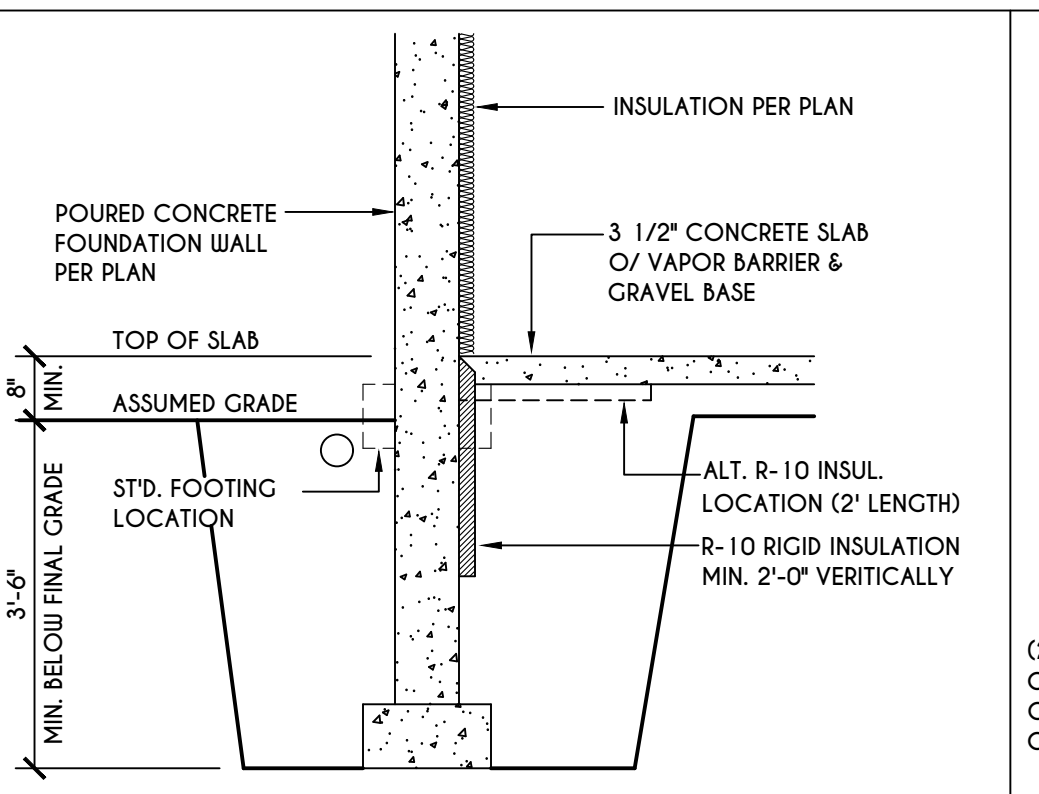
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



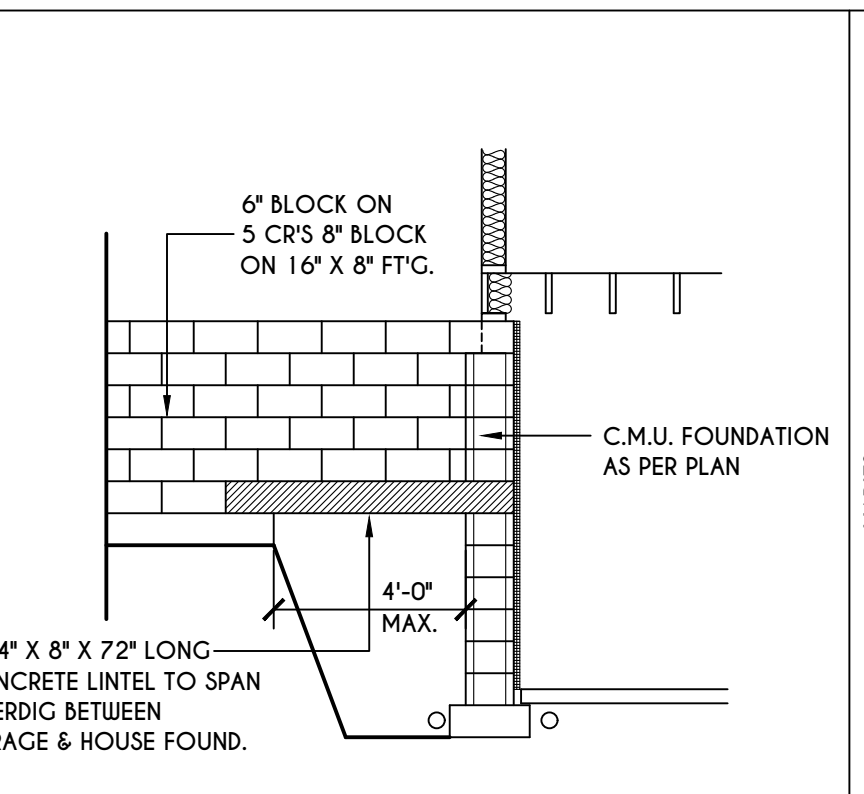
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



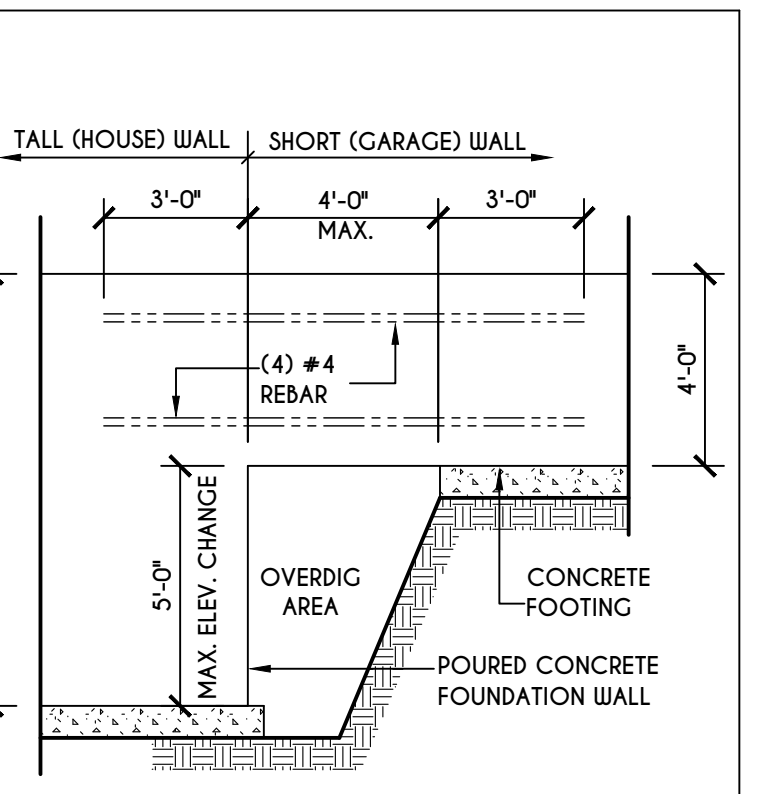
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



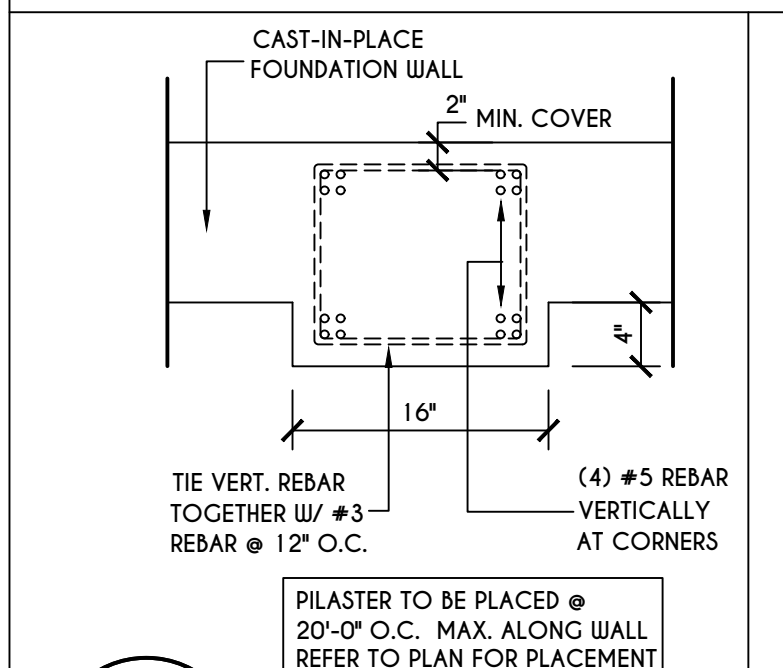
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



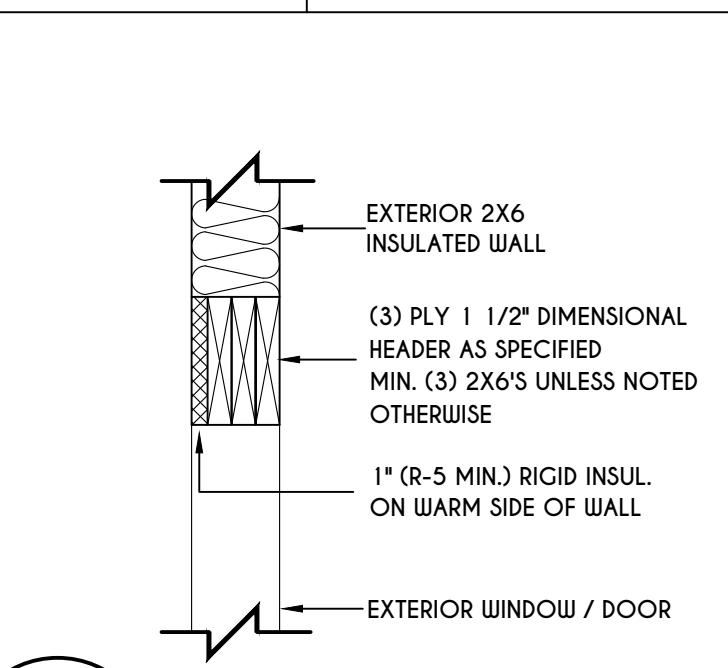
5
N-1
C.M.U. JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



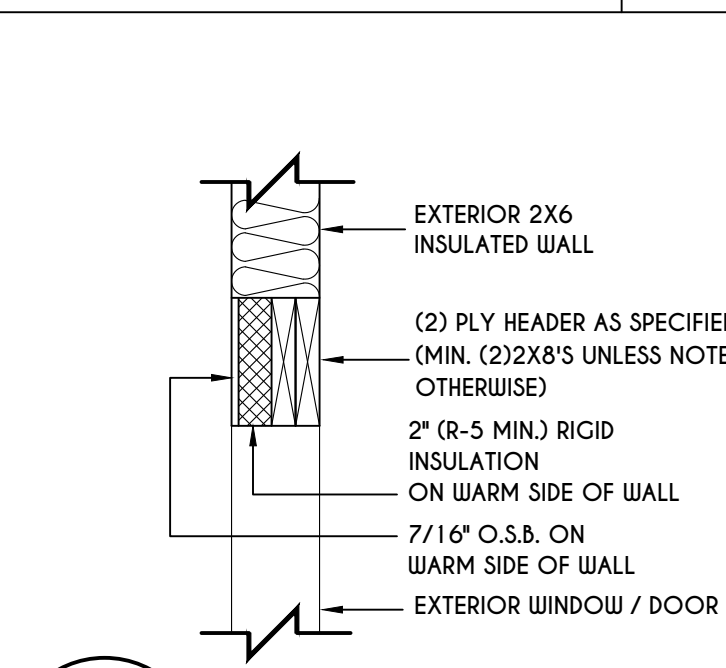
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N-1
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/4" = 1'-0"



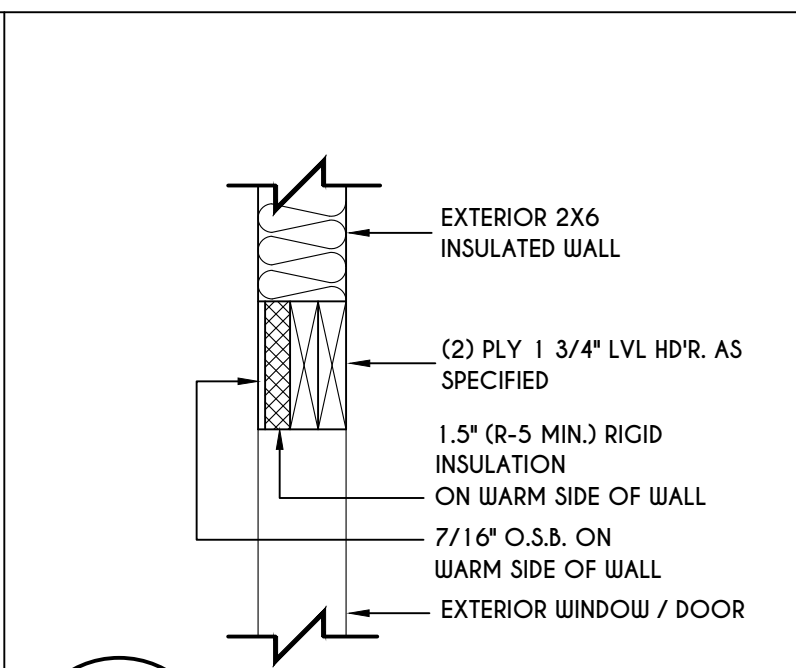
7
N-1
POURED WALL PILASTER DETAIL
SCALE: 1" = 1'-0"



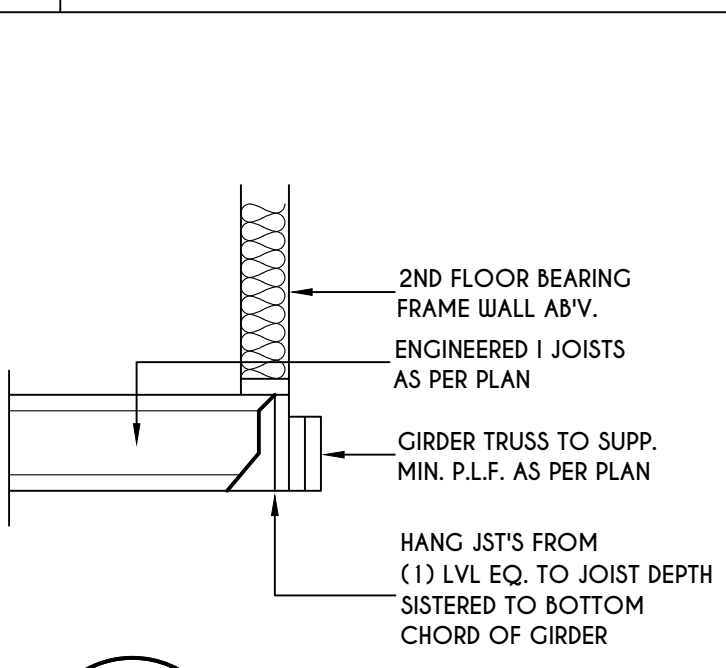
8
N-1
EXTERIOR INSULATED 3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



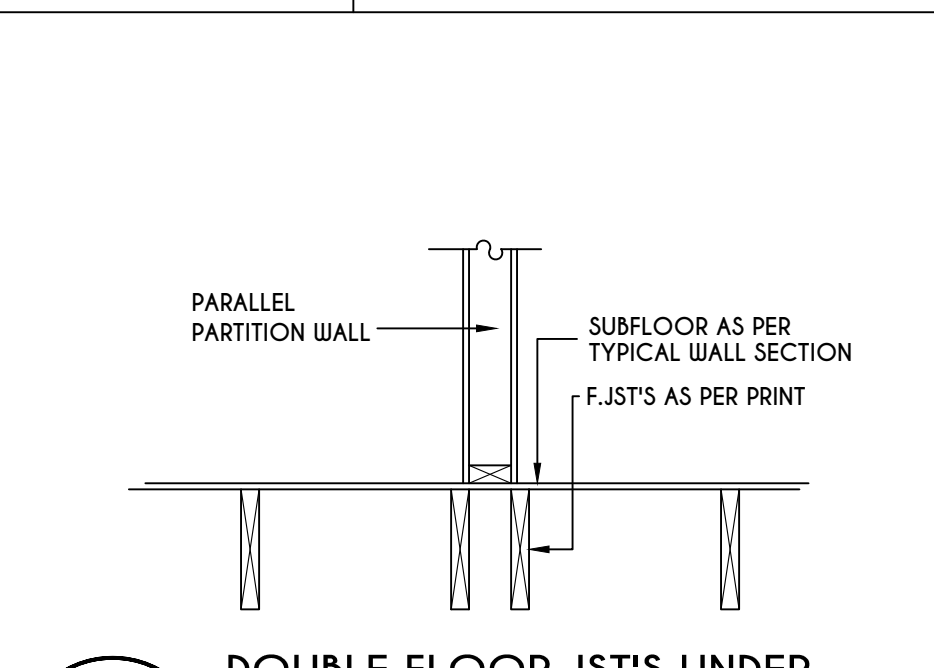
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N-1
EXTERIOR INSULATED 2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



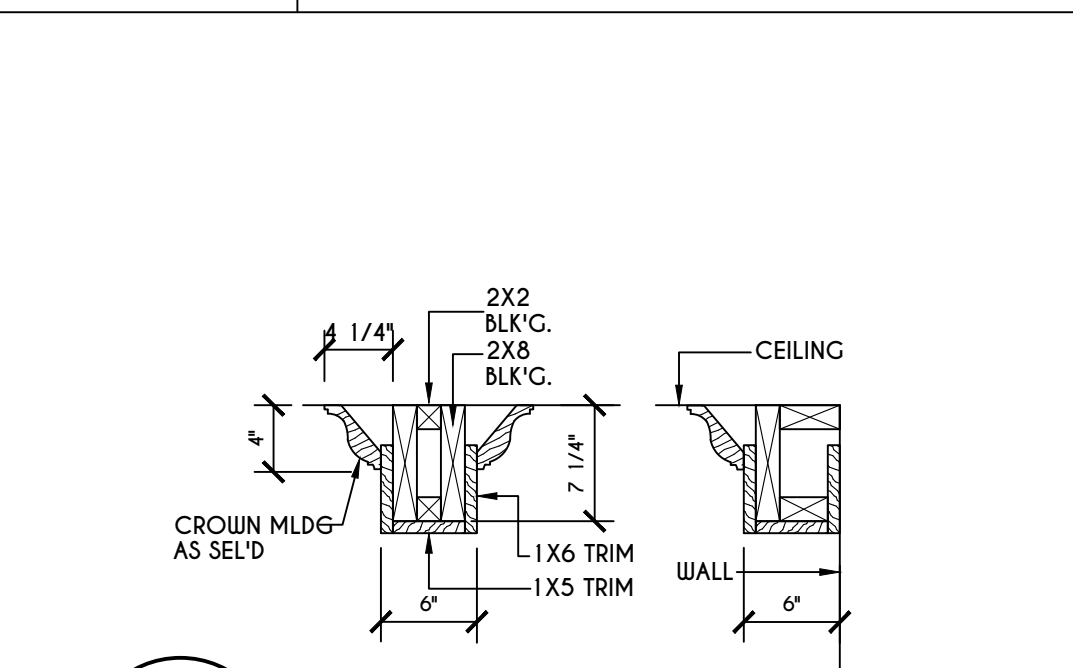
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N-1
EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



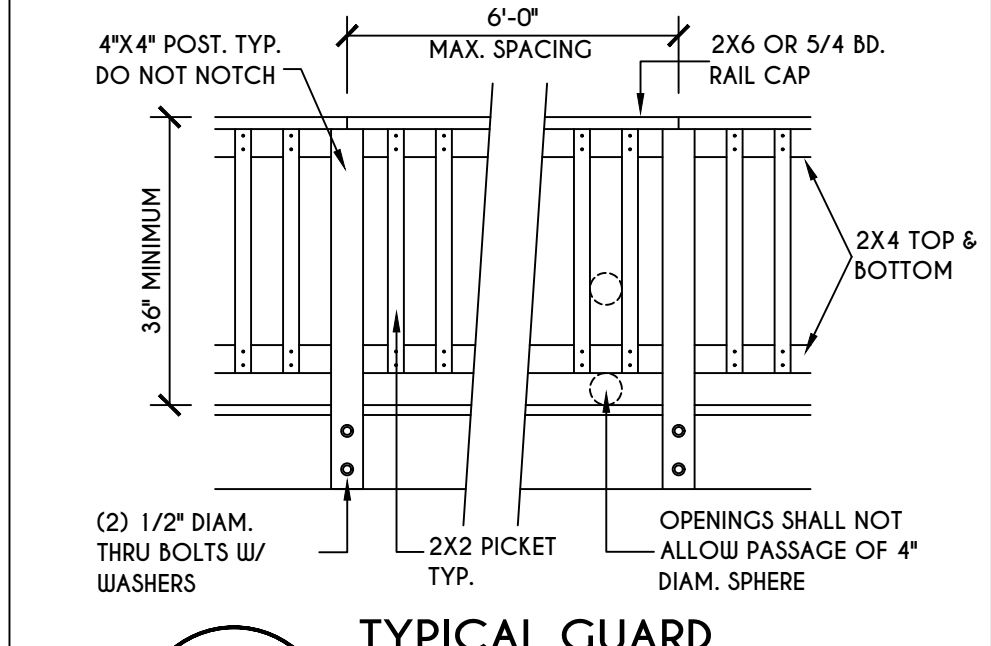
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



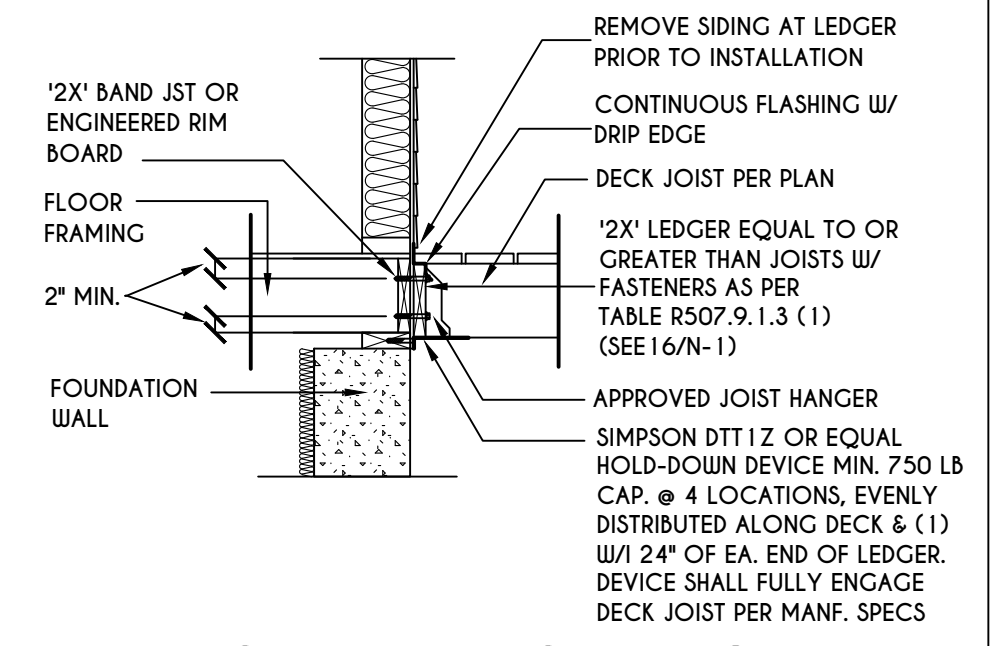
12
N-1
DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL
N.T.S.



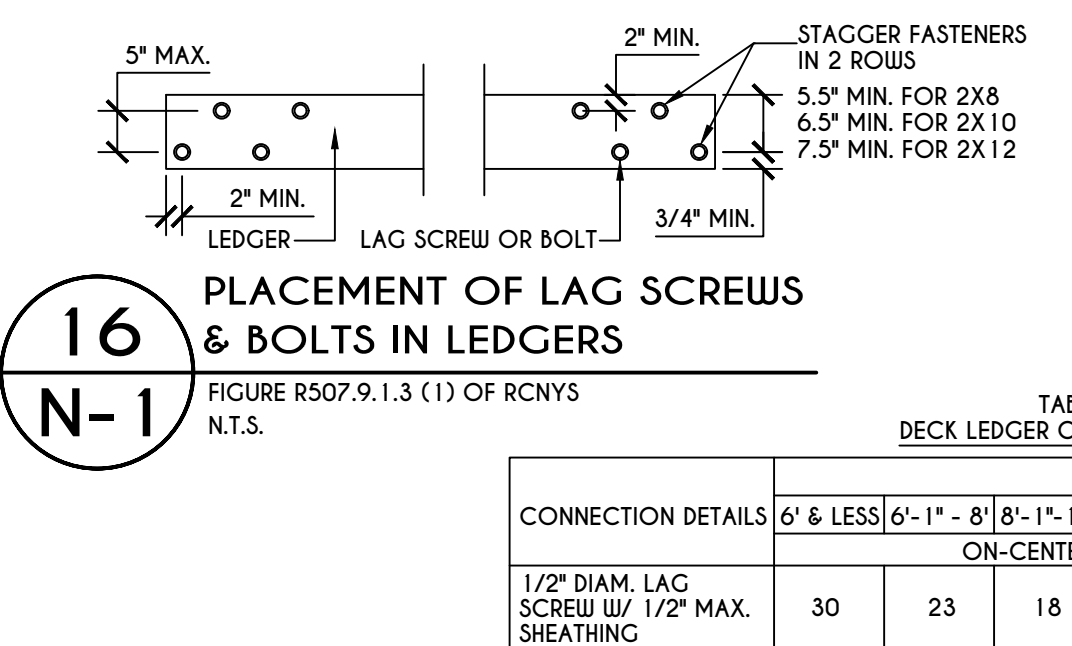
13
N-1
COFFERED BEAM DETAIL
N.T.S.



14
N-1
TYPICAL GUARD RAIL DETAIL
SCALE: 1/2" = 1'-0"



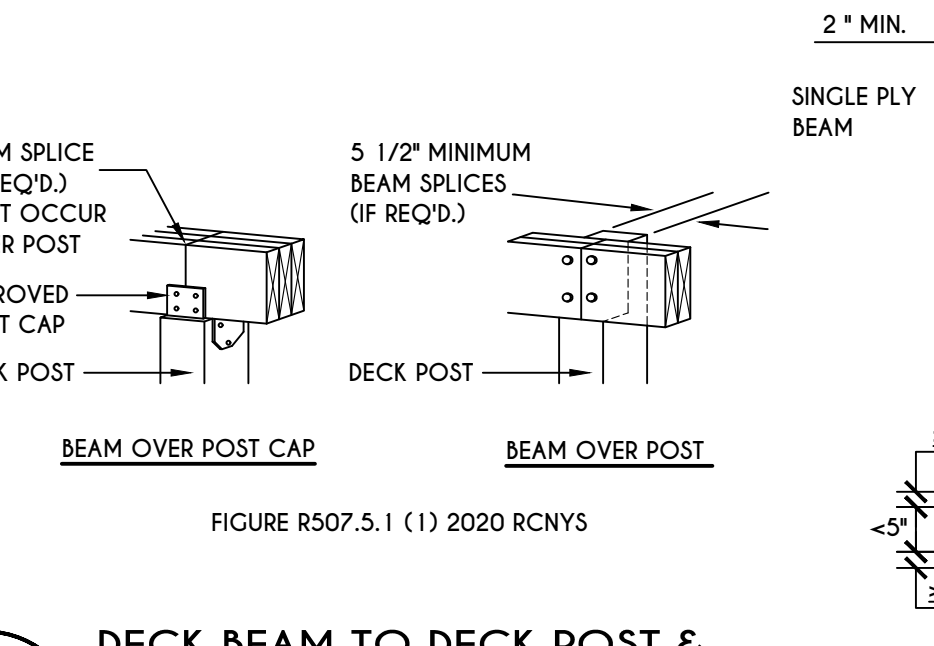
15
N-1
GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"



16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
SCALE: 1/2" = 1'-0"

TABLE R507.9.1.3 (1) DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN					
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18

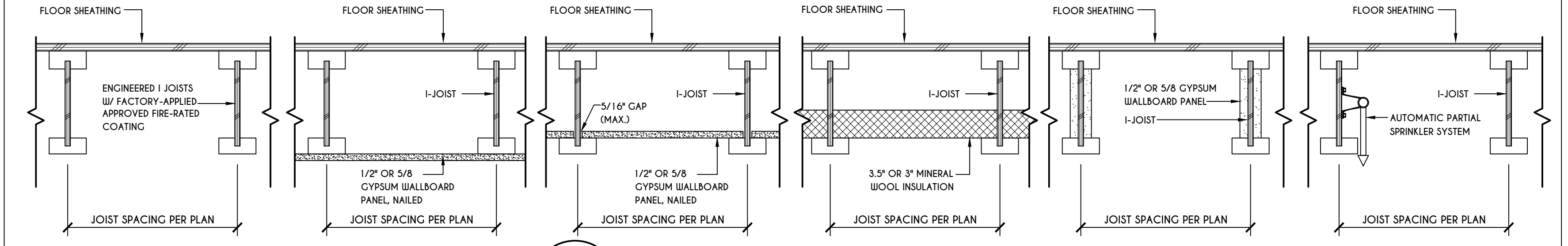


17
N-1
DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

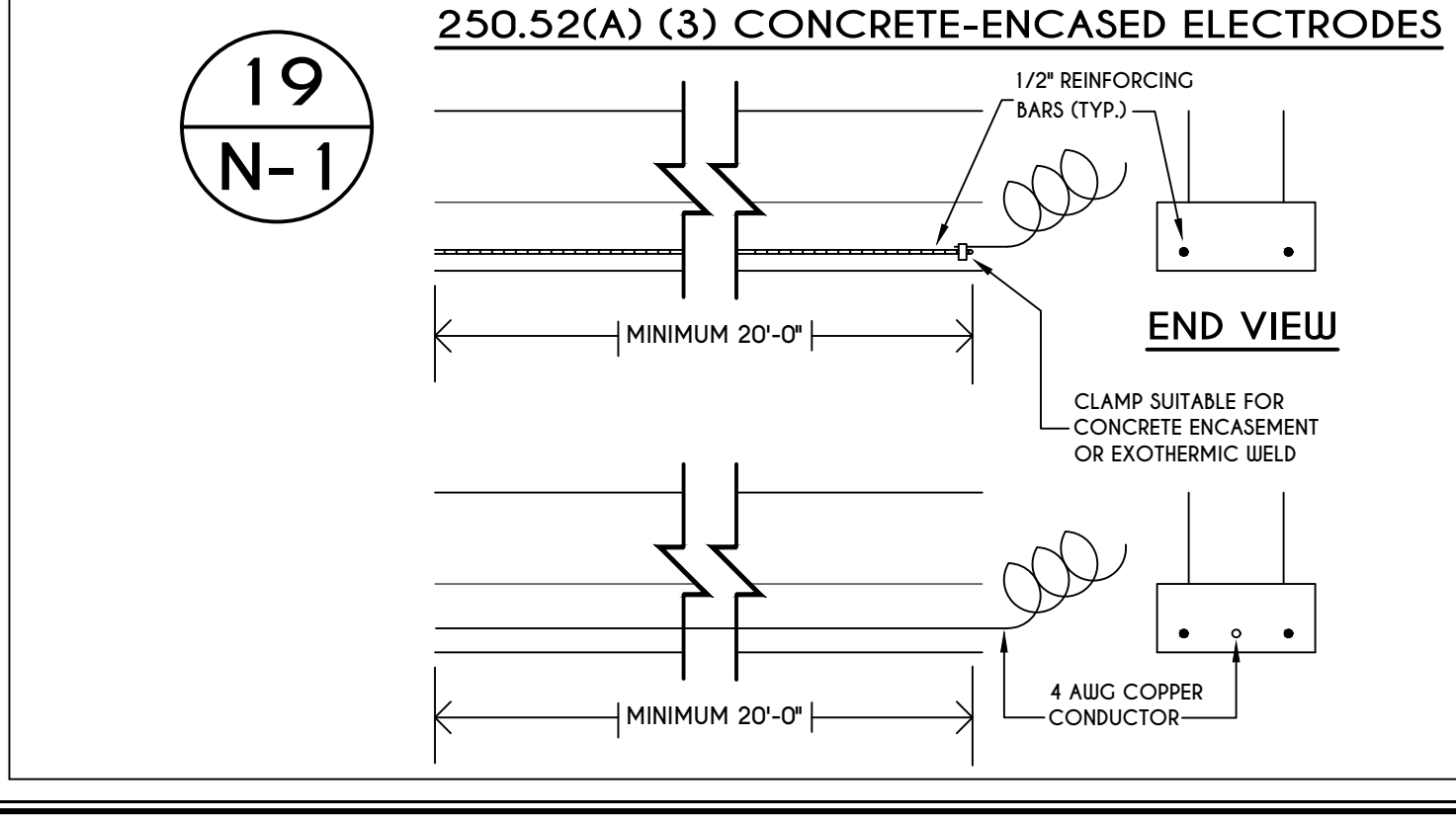
TABLE R507.4 DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 x 4	6'-9"
4 x 6	8'
6 x 6	14'
8 x 8	14'

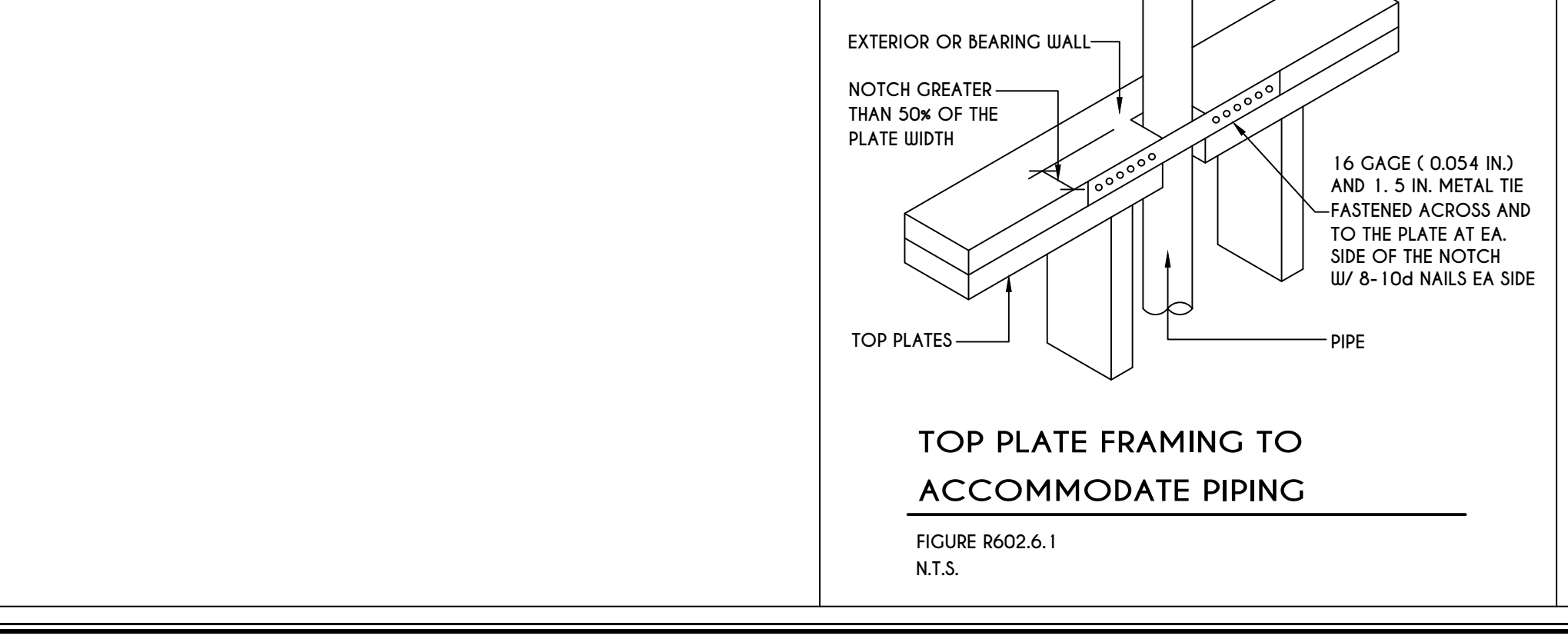
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



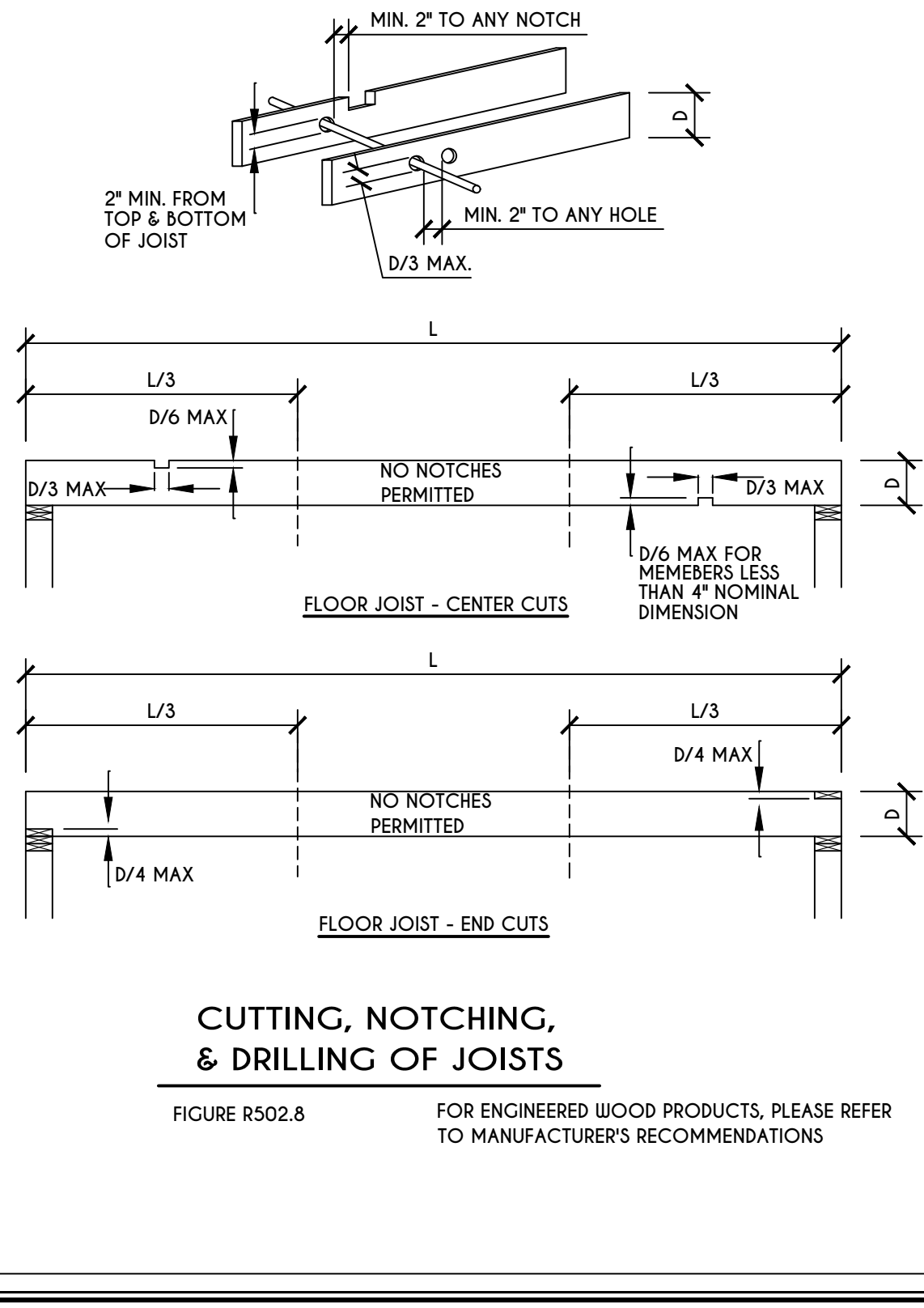
18
N-1
I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER AIA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



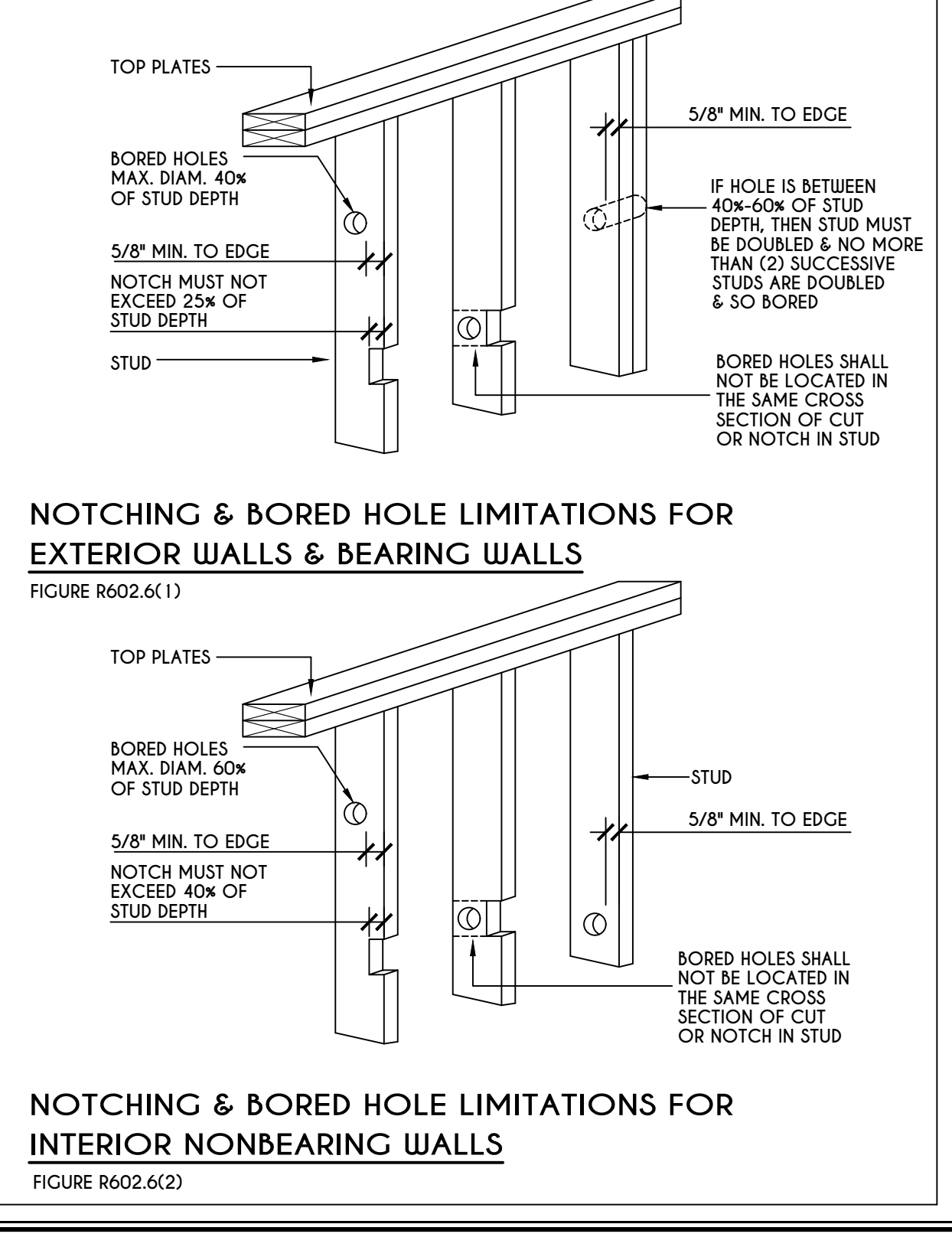
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
SCALE: 1/2" = 1'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

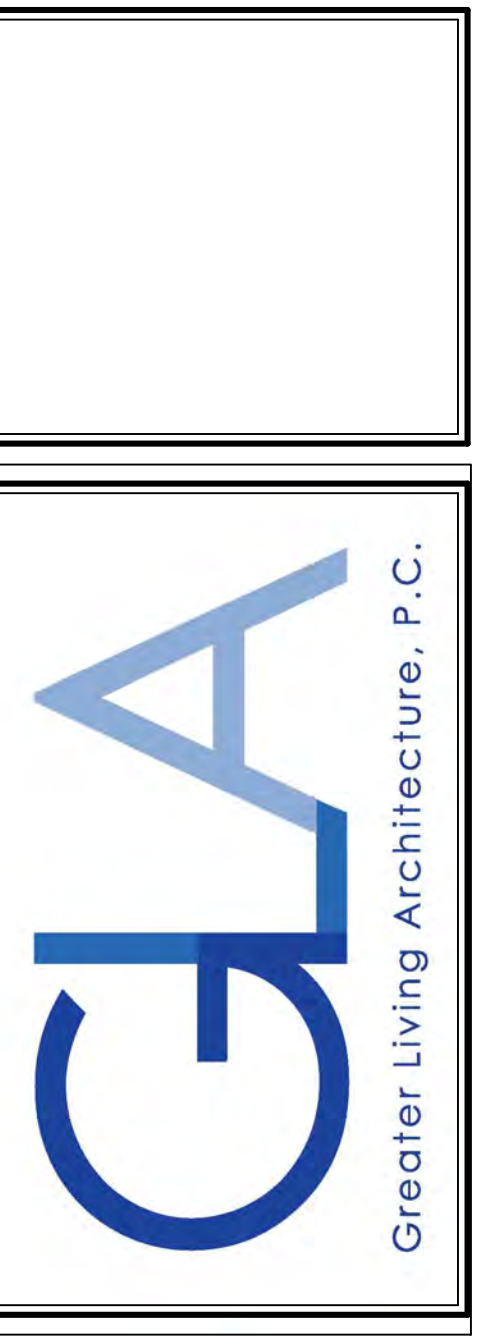


CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greatliving.com

REVISIONS:

DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 2 BRIDLERIDGE FARMS
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

DETAILS
GLA PLAN 3084

drawn: CDK	checked: CSB
scale: AS NOTED	date: 6 / 20
PROJECT: 15381 C	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES. Table with columns for wall height, height of unbalanced backfill, and soil classes with lateral soil load.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES. Table with columns for wall height, height of unbalanced backfill, and soil classes with lateral soil load.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES. Table with columns for wall height, height of unbalanced backfill, and soil classes with lateral soil load.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS. Table with columns for wall height, maximum unbalanced backfill height, and soil classes with reinforcement bar size and spacing.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL...
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM...
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM...
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING...
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL...
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM...
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM...
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING...
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b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL...
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM...
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM...
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING...
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

- a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM...
b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI...
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM...
d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED...
e. ALLOWABLE DEFLECTION CRITERION IS 1/240...
f. INTERPOLATION IS NOT PERMITTED...
g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL...
h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES...
i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL...
j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE...
k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH...
l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES...
m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED...
n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS...
o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

Table with 3 columns: COMPONENT, AIR BARRIER CRITERIA, and INSULATION INSTALLATION CRITERIA. Rows include GENERAL REQUIREMENTS, CEILING / ATTIC, WALLS, WINDOWS, SKYLIGHTS AND DOORS, RIM JOISTS, FLOORS, CRACK SPACE WALLS, SHAFTS, PENETRATIONS, NARROW CAVITIES, GARAGE SEPARATION, RECESSED LIGHTING, PLUMBING AND WIRING, SHOWER / TUB ON EXTERIOR WALL, ELECTRICAL / PHONE BOX ON EXTERIOR WALLS, HVAC REGISTER BOOTS, and CONCEALED SPRINKLERS.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

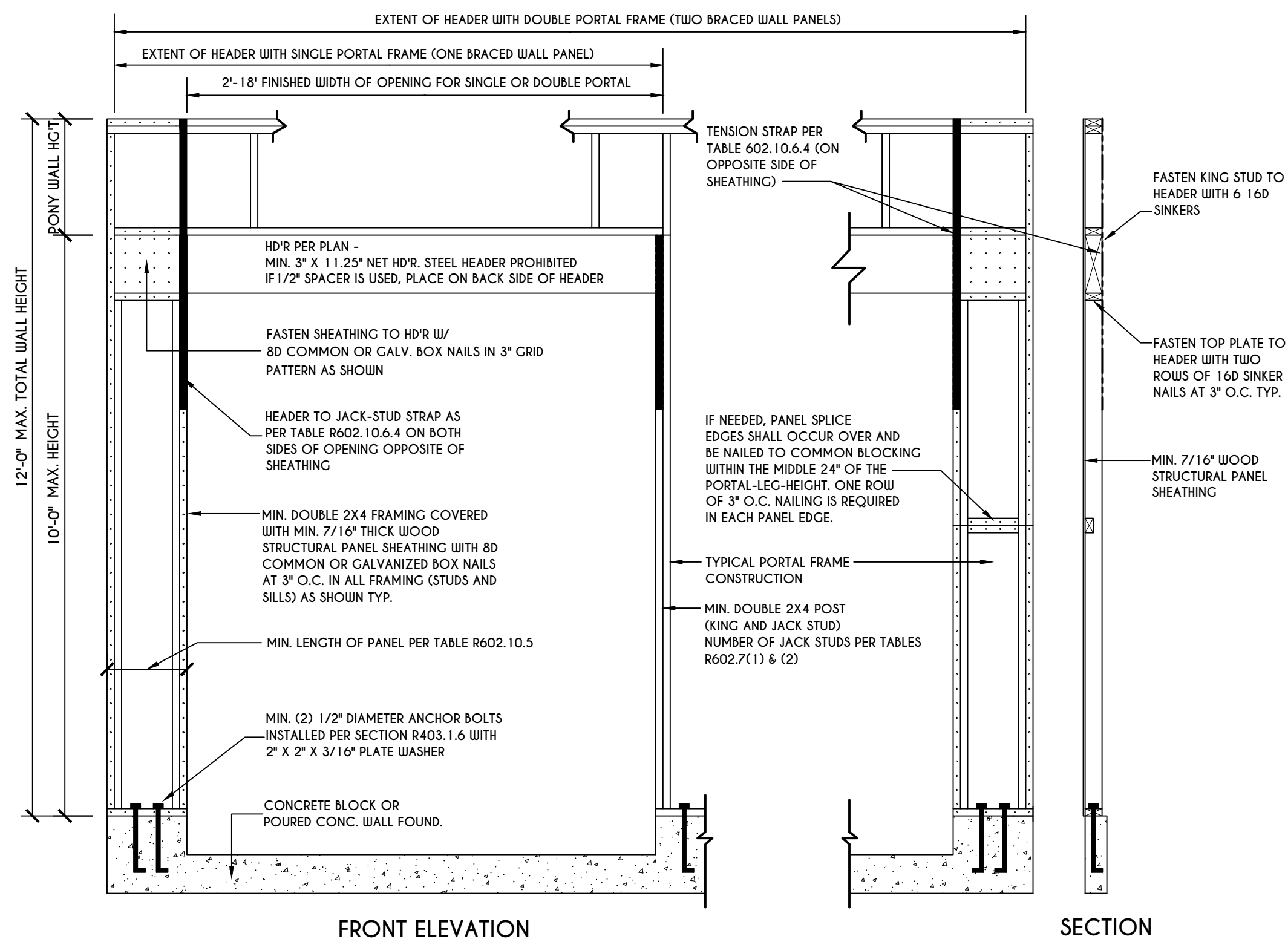
TABLE R401.4.1 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

Table with 2 columns: CLASS OF MATERIALS and LOAD-BEARING PRESSURE (pounds per square foot). Rows include CRYSTALLINE BEDROCK, SEDIMENTARY & FOLIATED ROCK, SANDY GRAVEL AND/OR GRAVEL, SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL, CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT, CL, ML, MH, & CH.

- a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

Table with 2 columns: UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL and SOIL DESCRIPTION. Rows include GW, GP, SW, SP, GM, SM, GC, SC, MC, CL, CH, MH, OL, OH, PT.



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C. SCALE: N.T.S. FIGURE R602.10.6.3

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Table with 3 columns: REVISIONS, DATE, BY, DESCRIPTION. It is currently empty.

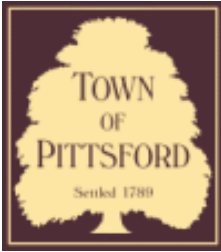
CLIENT/LOCATION: LOT 2 BRIDLERIDGE FARMS PITTSFORD, NY

BUILDER: COVENTRY RIDGE BUILDING CORP.

REINFORCING NOTES

GLA PLAN 3084

Table with 2 columns: drawn/checked, scale/date, PROJECT/sheet. drawn: CDK, checked: CSB, scale: AS NOTED, date: 6 / 20, PROJECT: 15381 C, sheet: N/2.



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000128

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 41 Skylight Trail Pittsford, NY 14534

Tax ID Number: 192.06-2-22

Zoning District:

Owner:

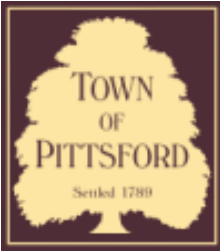
Applicant: S & J Morrell

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a one-story, 2,780 square foot single family townhome in the Alpine Ridge Subdivision.

Meeting Date: October 12, 2023



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000129

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 43 Skylight Trail Pittsford, NY 14534

Tax ID Number: 192.06-2-21

Zoning District:

Owner:

Applicant: S & J Morrell

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

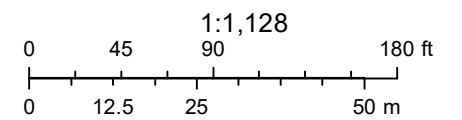
Project Description: Applicant is requesting design review for a one-story, 2,014 square foot single family townhome in the Alpine Ridge Subdivision.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning

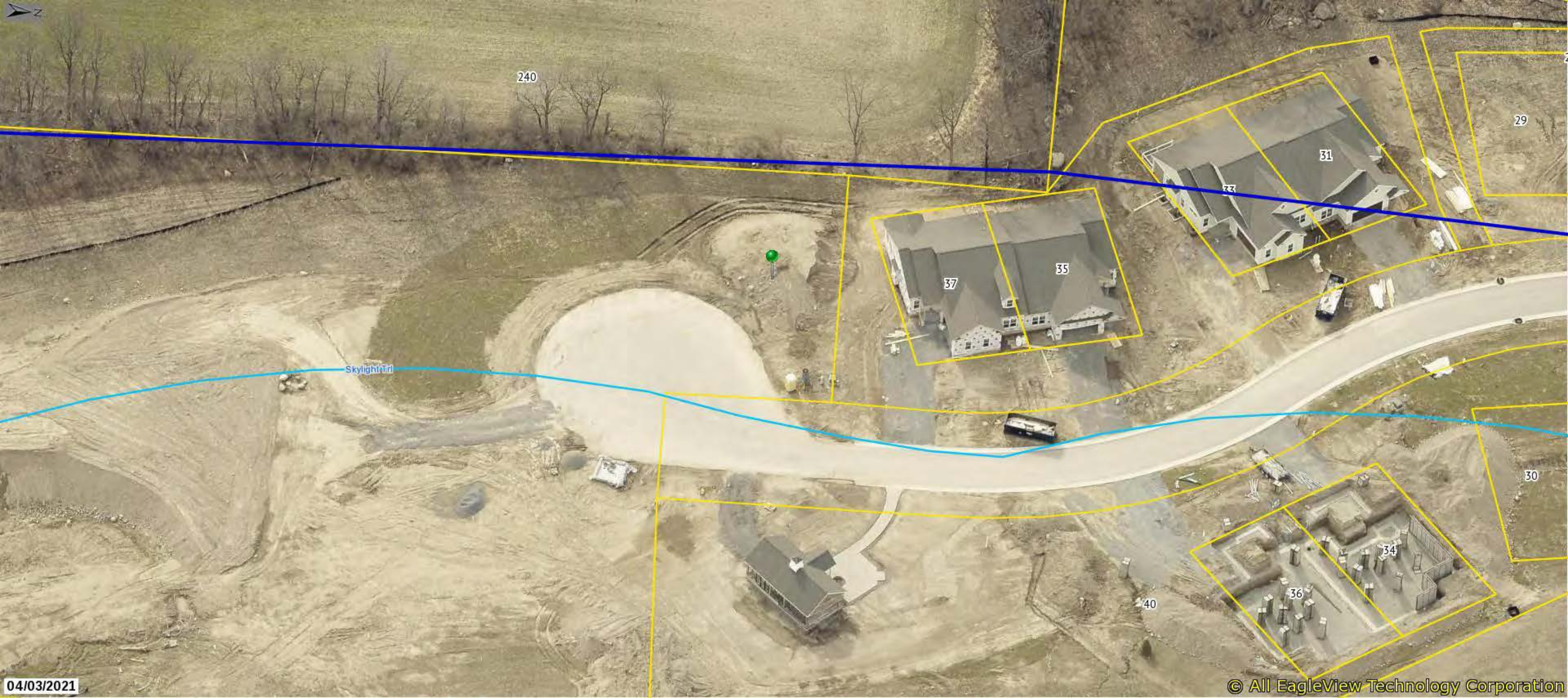


Printed October 5, 2023



Town of Pittsford GIS

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240

29

31

33

37

35

Skylight Trl

30

34

36

40

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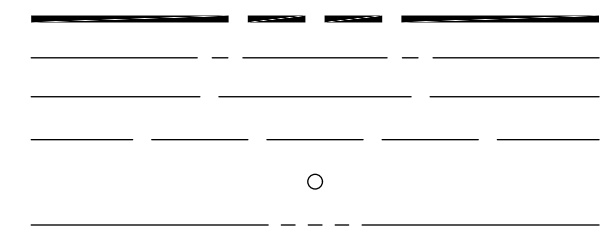
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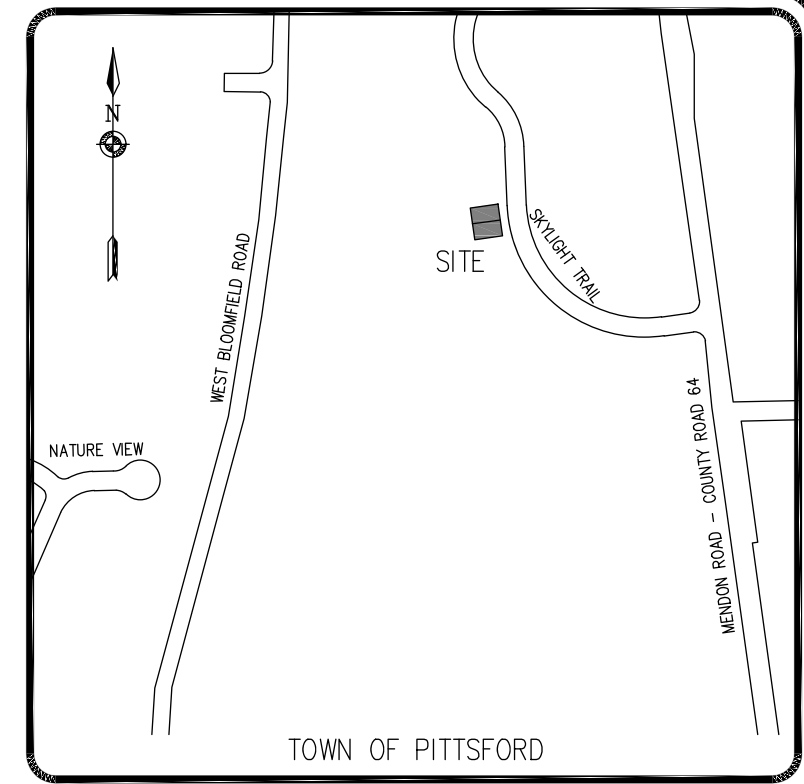
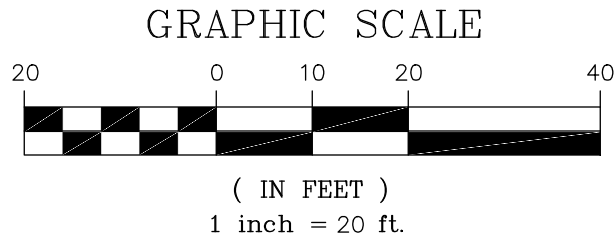
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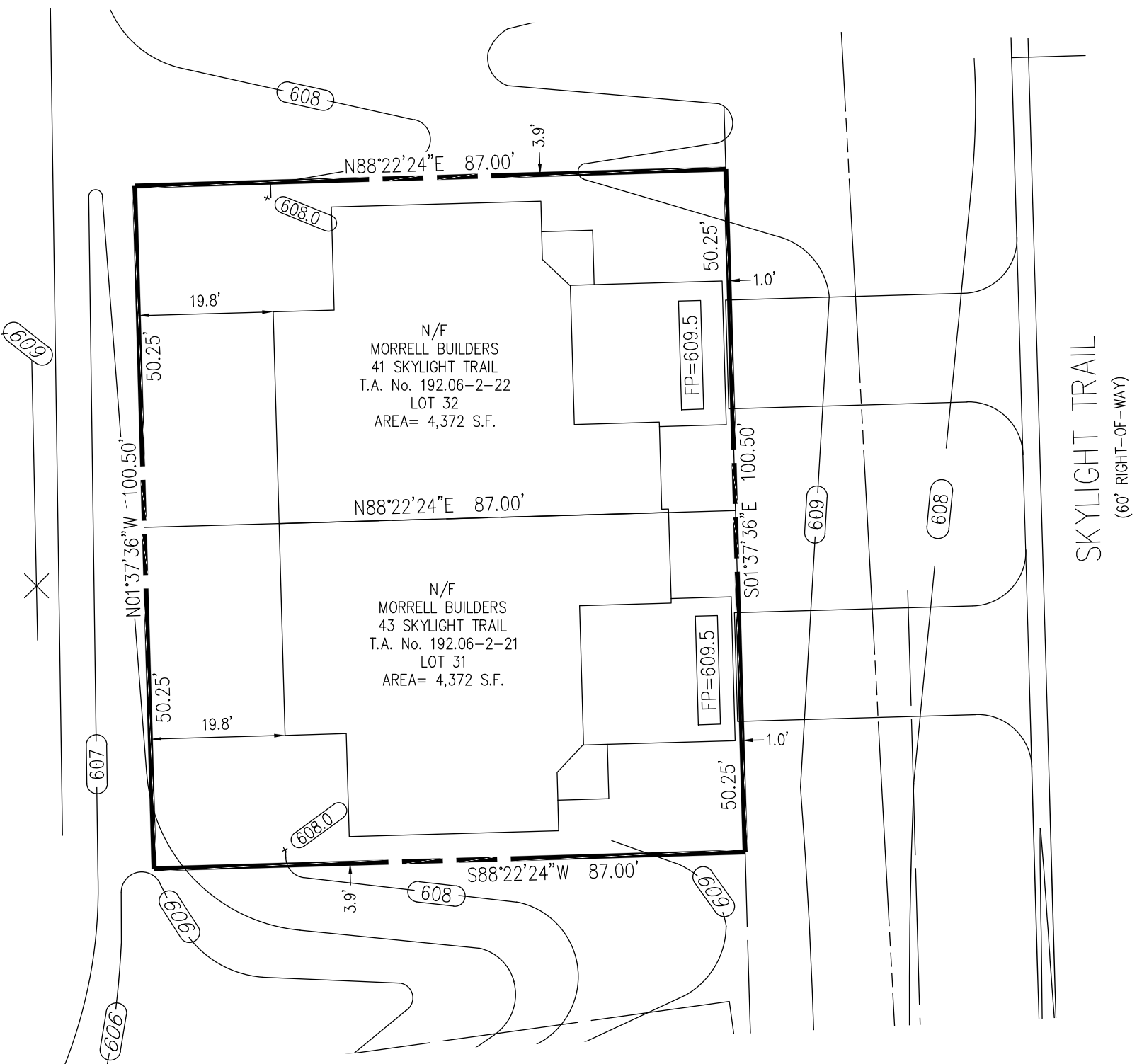
LEGEND



BOUNDARY LINE
CENTERLINE
ADJOINER/R.O.W. LINE
SETBACK LINE
PROPERTY MARKER FOUND
EXISTING EASEMENT LINE



LOCATION MAP
NOT TO SCALE



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
2. A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN," PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED SEPTEMBER 17, 2021
3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
FRONT 0' (LOT) 25' (R.O.W.)
SIDE 0'
REAR 0'
3. GRADING SHOW HEREON WAS TAKEN FROM REFERENCE 2.

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 6, TAX ACCOUNT No.'S 192.06-2-20 & 192.06-2-19

P:\2688\Instrument Surveys\2688 Lot 31-32 Plot Plan.dwg

PROJECT	ALPINE RIDGE SUBDIVISION SECTION 2
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD-VICTOR ROAD VICTOR, NEW YORK, 14564
DRAWING TITLE	PLOT PLAN OF LOTS 31 & 32
PROJECT NO.	2688
DATE ISSUED	OCTOBER 4, 2023
SCALE	1"=20'
DRAWN BY	GD BELL
PROJECT SURVEYOR	GD BELL
PROJECT MANAGER	GD BELL
DRAWING NO.	51

PROJECT	ALPINE RIDGE SUBDIVISION SECTION 2
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD-VICTOR ROAD VICTOR, NEW YORK, 14564
DRAWING TITLE	PLOT PLAN OF LOTS 31 & 32
PROJECT NO.	2688
DATE ISSUED	OCTOBER 4, 2023
SCALE	1"=20'
DRAWN BY	GD BELL
PROJECT SURVEYOR	GD BELL
PROJECT MANAGER	GD BELL
DRAWING NO.	51



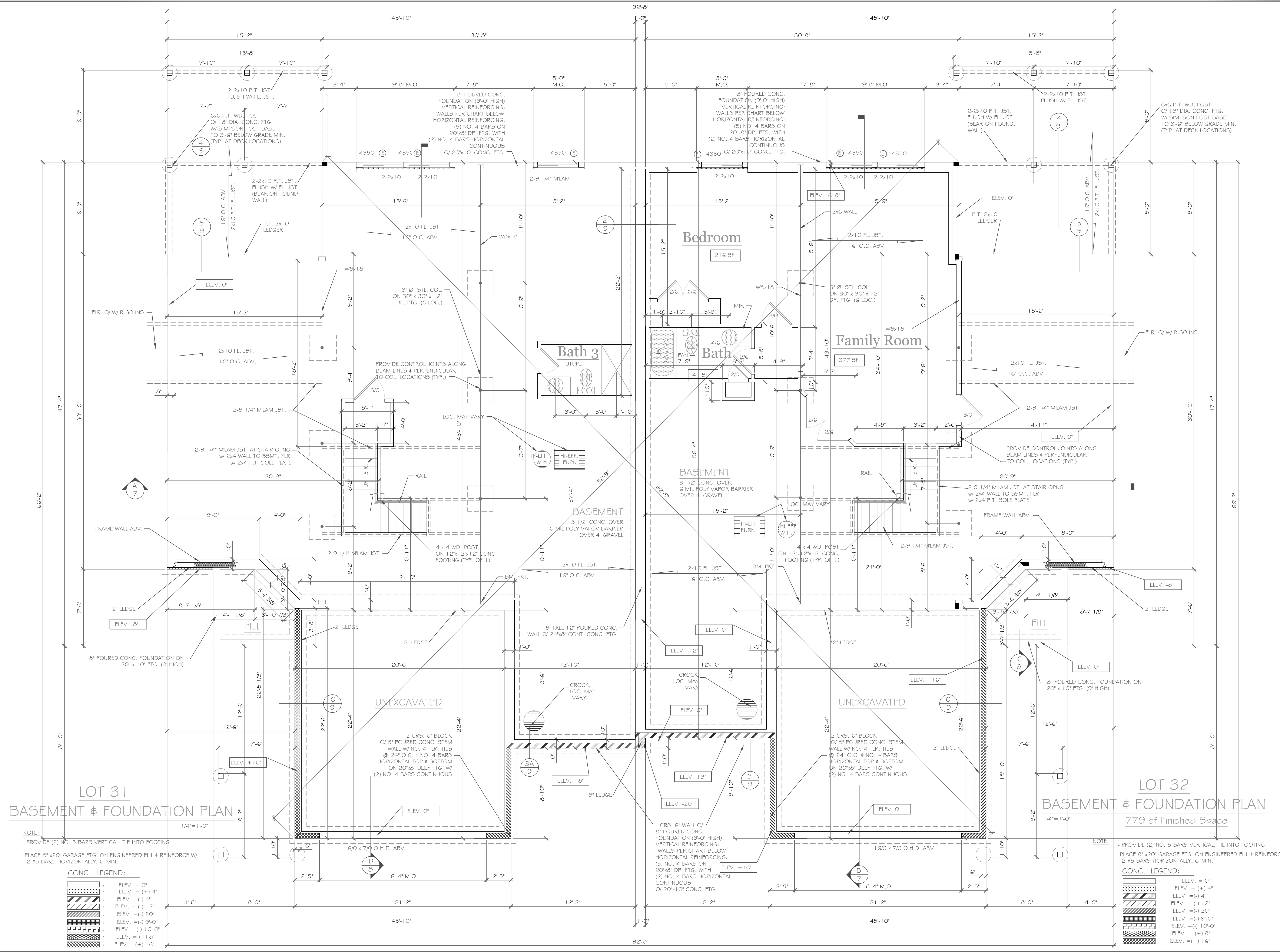
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10 LIFTBRIDGE LANE EAST
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NO.	REVISIONS	DATE	BY
7			
6			
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4			
3			
2			
1			

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NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 31 & 32
 Pittsford, New York

CLIENT:
 Morrell Builders

DATE:
 August 25, 2023

JOB NO.:
 A23-047

CKH
 architecture

1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO.:
A-3

NOTE:
 - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Pattern]	ELEV. = 0"
[Pattern]	ELEV. = (+) 4"
[Pattern]	ELEV. = (-) 4"
[Pattern]	ELEV. = (-) 12"
[Pattern]	ELEV. = (-) 20"
[Pattern]	ELEV. = (-) 9'-0"
[Pattern]	ELEV. = (-) 10'-0"
[Pattern]	ELEV. = (+) 8"
[Pattern]	ELEV. = (+) 16"

NOTE:
 - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Pattern]	ELEV. = 0"
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[Pattern]	ELEV. = (-) 9'-0"
[Pattern]	ELEV. = (-) 10'-0"
[Pattern]	ELEV. = (+) 8"
[Pattern]	ELEV. = (+) 16"

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

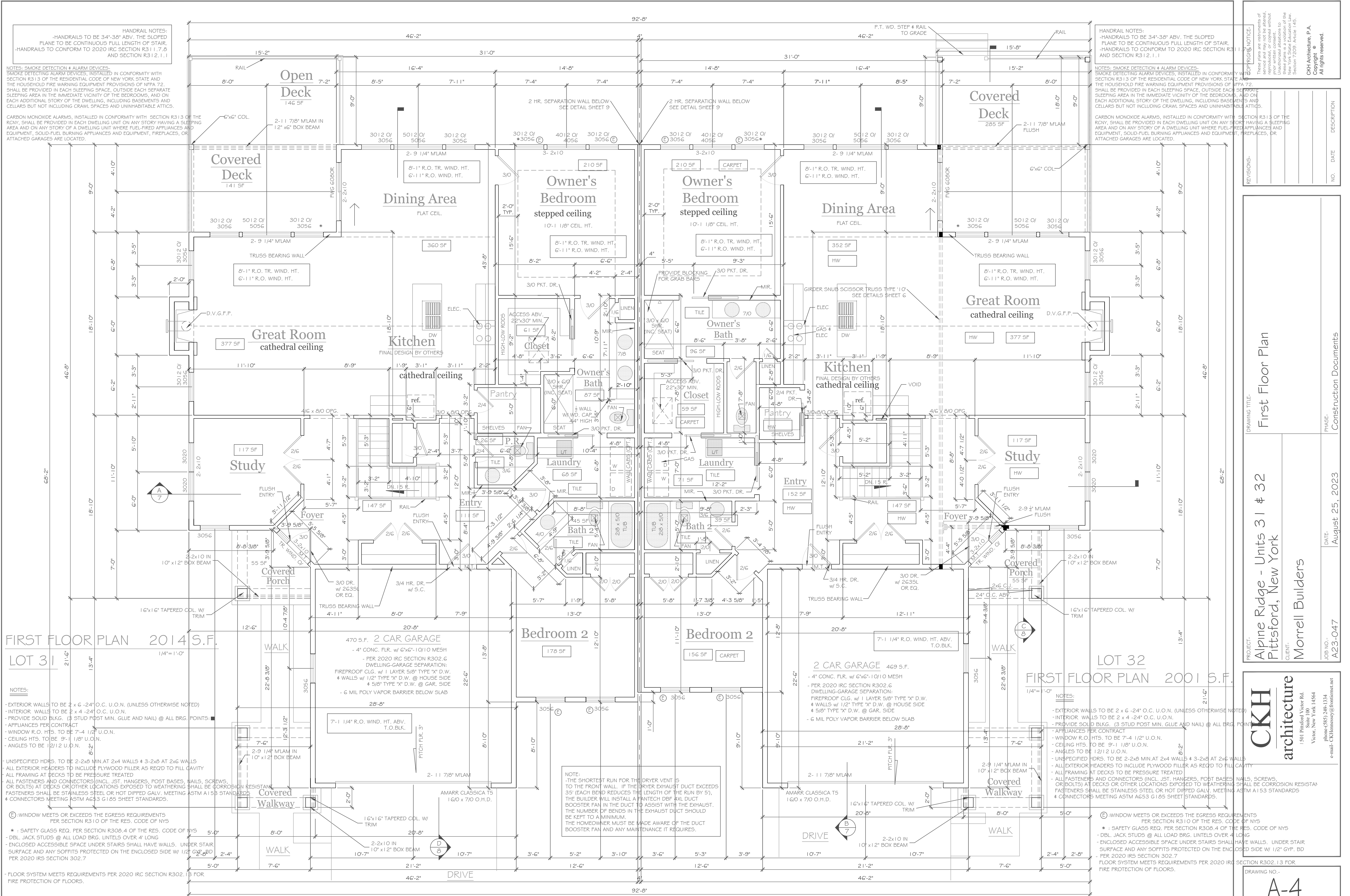
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NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

REVISIONS:

NO.	DATE	DESCRIPTION



FIRST FLOOR PLAN 2014 S.F.
 LOT 31

FIRST FLOOR PLAN 2001 S.F.
 LOT 32

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 1/2" U.O.N.

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1 1/8" U.O.N.
 - ANGLES TO BE 1/2" U.O.N.

- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL GAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT
 - FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL GAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT
 - FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
 - CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

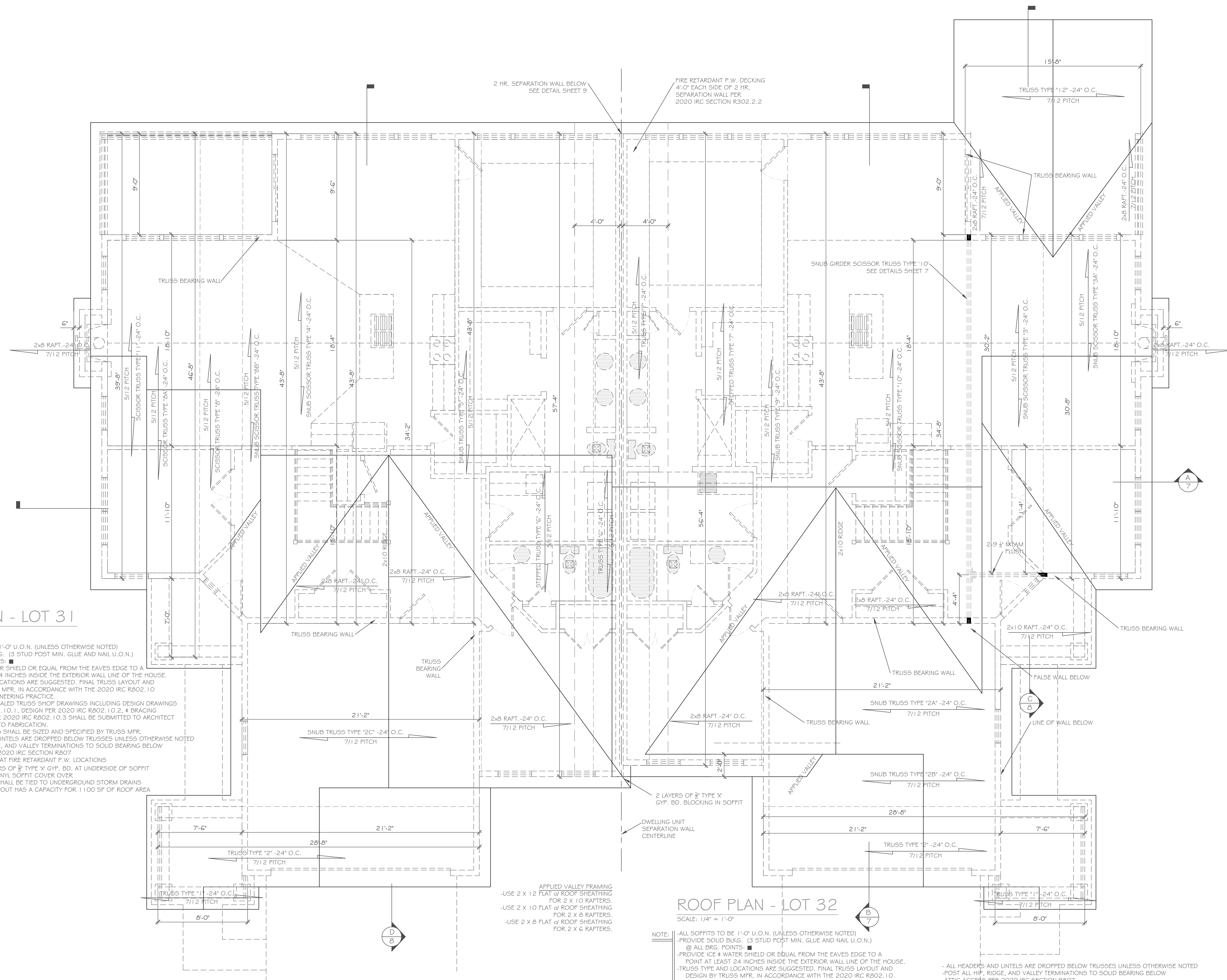
PROJECT: Alpine Ridge - Units 31 & 32
CLIENT: Morrell Builders
DRAWING TITLE: First Floor Plan
PHASE: Construction Documents
DATE: August 25, 2023
JOB NO.: A23-047

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 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

ROOF PLAN - LOT 31

SCALE: 1/4" = 1'-0"

- NOTE:**
- ALL SOFFITS TO BE 1'-0" U.O.N. (UNLESS OTHERWISE NOTED)
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■
 - PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.
 - TRUSS TYPE AND LOCATIONS ARE SUGGESTED. FINAL TRUSS LAYOUT AND DESIGN BY TRUSS MFR. IN ACCORDANCE WITH THE 2020 IRC R802.10 & ACCEPTED ENGINEERING PRACTICE.
 - PROFESSIONALLY SEALED TRUSS SHOP DRAWINGS INCLUDING DESIGN DRAWINGS PER 2020 IRC R802.10.1, DESIGN PER 2020 IRC R802.10.2, & BRACING SPECIFICATIONS PER 2020 IRC R802.10.3 SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
 - ALL TRUSS HANGERS SHALL BE SIZED AND SPECIFIED BY TRUSS MFR.
 - ALL HEADERS AND LINTELS ARE DROPPED BELOW TRUSSES UNLESS OTHERWISE NOTED
 - POST ALL HIP, RIDGE, AND VALLEY TERMINATIONS TO SOLID BEARING BELOW
 - ATTIC ACCESS PER 2020 IRC SECTION R807
 - RIDGE VENT, BREAK AT FIRE RETARDANT P.W. LOCATIONS
 - 2 LAYERS OF 5/8" TYPE 'X' GYP. BD. AT UNDERSIDE OF SOFFIT WITH VINYL SOFFIT COVER OVER
 - ALL DOWNSPOUTS SHALL BE TIED TO UNDERGROUND STORM DRAINS
 - EACH 3"x4" DOWNSPOUT HAS A CAPACITY FOR 1 100 SF OF ROOF AREA



2 HR. SEPARATION WALL BELOW
SEE DETAIL SHEET 9

FIRE RETARDANT P.W. DECKING
4'-0" EACH SIDE OF 2 HR.
SEPARATION WALL PER
2020 IRC SECTION R302.2.2

ROOF PLAN - LOT 32

SCALE: 1/4" = 1'-0"

- NOTE:**
- ALL SOFFITS TO BE 1'-0" U.O.N. (UNLESS OTHERWISE NOTED)
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■
 - PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.
 - TRUSS TYPE AND LOCATIONS ARE SUGGESTED. FINAL TRUSS LAYOUT AND DESIGN BY TRUSS MFR. IN ACCORDANCE WITH THE 2020 IRC R802.10 & ACCEPTED ENGINEERING PRACTICE.
 - PROFESSIONALLY SEALED TRUSS SHOP DRAWINGS INCLUDING DESIGN DRAWINGS PER 2020 IRC R802.10.1, DESIGN PER 2020 IRC R802.10.2, & BRACING SPECIFICATIONS PER 2020 IRC R802.10.3 SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
 - ALL TRUSS HANGERS SHALL BE SIZED AND SPECIFIED BY TRUSS MFR.
 - ALL HEADERS AND LINTELS ARE DROPPED BELOW TRUSSES UNLESS OTHERWISE NOTED
 - POST ALL HIP, RIDGE, AND VALLEY TERMINATIONS TO SOLID BEARING BELOW
 - ATTIC ACCESS PER 2020 IRC SECTION R807
 - RIDGE VENT, BREAK AT FIRE RETARDANT P.W. LOCATIONS
 - 2 LAYERS OF 5/8" TYPE 'X' GYP. BD. AT UNDERSIDE OF SOFFIT WITH VINYL SOFFIT COVER OVER
 - ALL DOWNSPOUTS SHALL BE TIED TO UNDERGROUND STORM DRAINS
 - EACH 3"x4" DOWNSPOUT HAS A CAPACITY FOR 1 100 SF OF ROOF AREA

APPLIED VALLEY FRAMING
-USE 2 X 12 FLAT OF ROOF SHEATHING FOR 2 X 10 RAFTERS.
-USE 2 X 10 FLAT OF ROOF SHEATHING FOR 2 X 8 RAFTERS.
-USE 2 X 8 FLAT OF ROOF SHEATHING FOR 2 X 6 RAFTERS.

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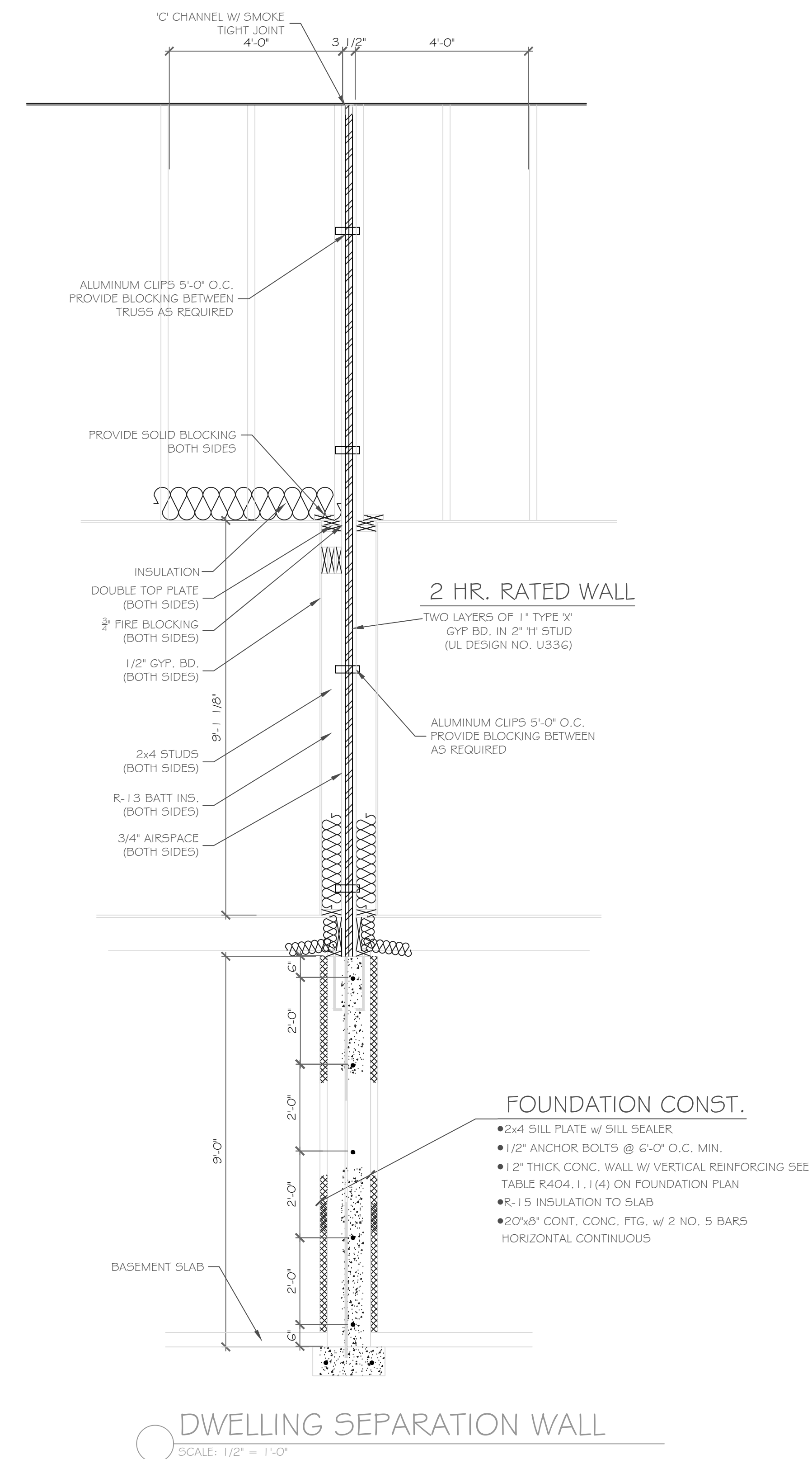
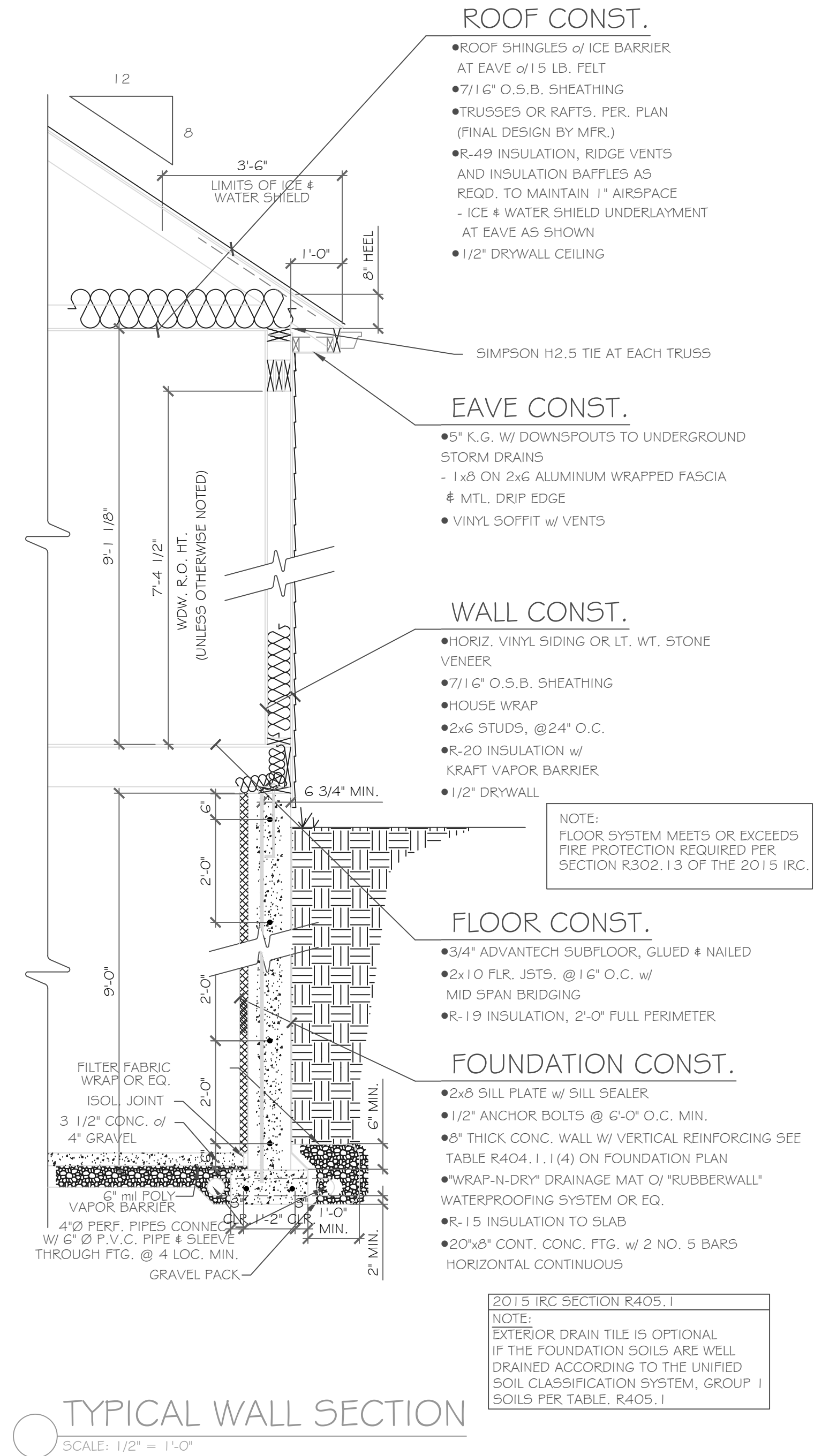
REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT-	Alpine Ridge - Units 31 & 32 Pittsford, New York
CLIENT-	Morrell Builders
JOB NO. -	A23-047
DATE -	August 25, 2023
PHASE -	Construction Documents
DRAWING TITLE -	Roof Plan

PROJECT-	Alpine Ridge - Units 31 & 32 Pittsford, New York
CLIENT-	Morrell Builders
JOB NO. -	A23-047
DATE -	August 25, 2023
PHASE -	Construction Documents
DRAWING TITLE -	Roof Plan

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DRAWING NO. -	A-5
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NO.	DATE	DESCRIPTION

DRAWING TITLE -
Details

PHASE -
Construction Documents

PROJECT -
Alpine Ridge - Lot 31 & 32
Pittsford, N.Y.

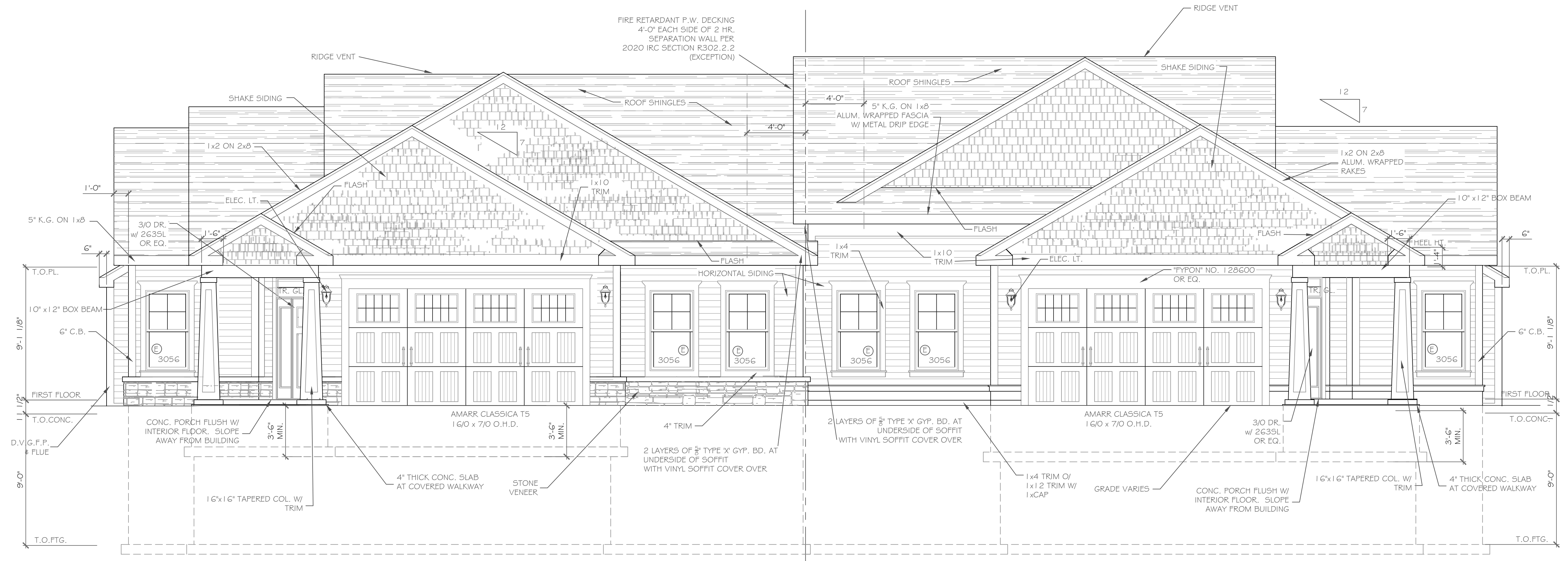
CLIENT -
Morrell Builders

JOB NO. -
A23-047

DATE -
August 25, 2023

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DRAWING NO. -
A-10



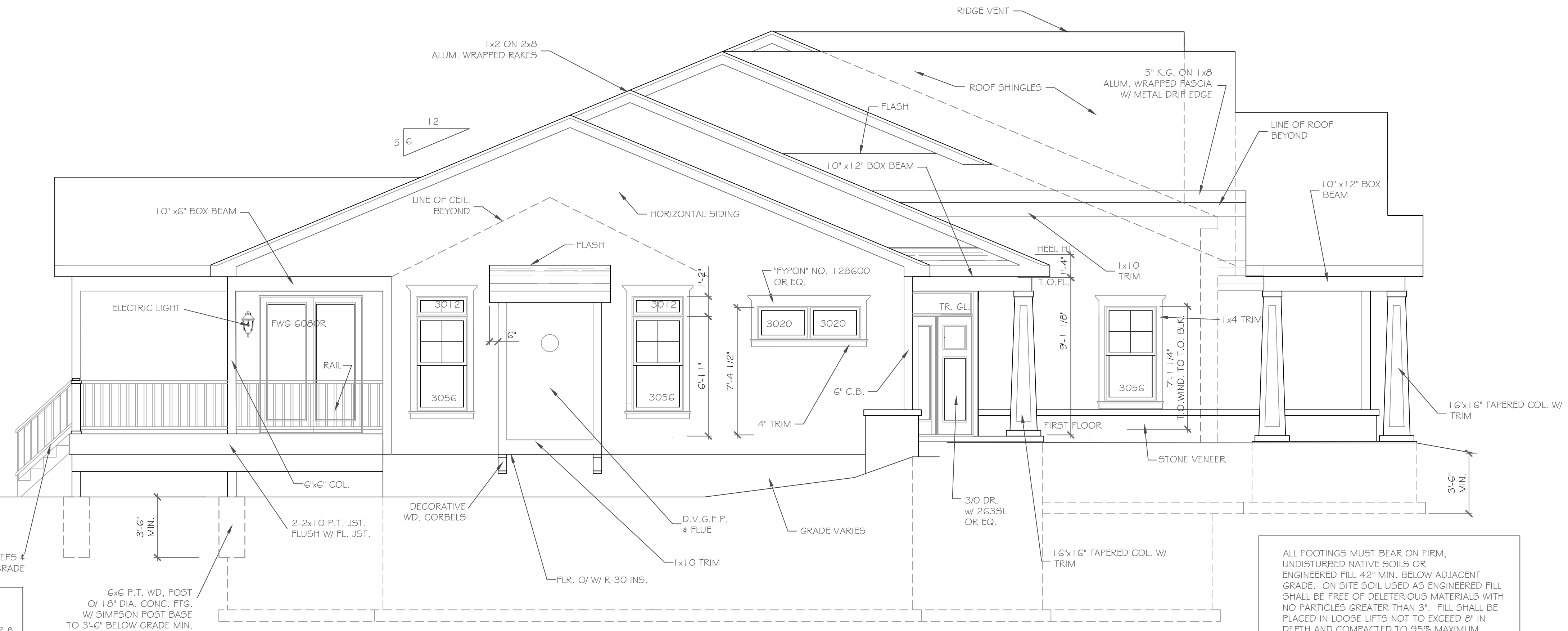
FRONT ELEVATION - LOT 31 2014 S.F.
1/4" = 1'-0"

FRONT ELEVATION - LOT 32 2001 S.F.
1/4" = 1'-0"

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
⊙ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
⊙ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM



LEFT SIDE ELEVATION - LOT 31
1/4" = 1'-0"

HANDRAIL NOTES:
- HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
- HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.5 AND SECTION R312.1.1

6x6 P.T. WD. POST
Ø 1/8" DIA. CONC. FTG.
W/ SIMPSON POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LOCATIONS)

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE -
Elevations

PHASE -
Construction Documents

PROJECT -
**Alpine Ridge - Units 31 & 32
Pittsford, New York**

CLIENT -
Morrell Builders

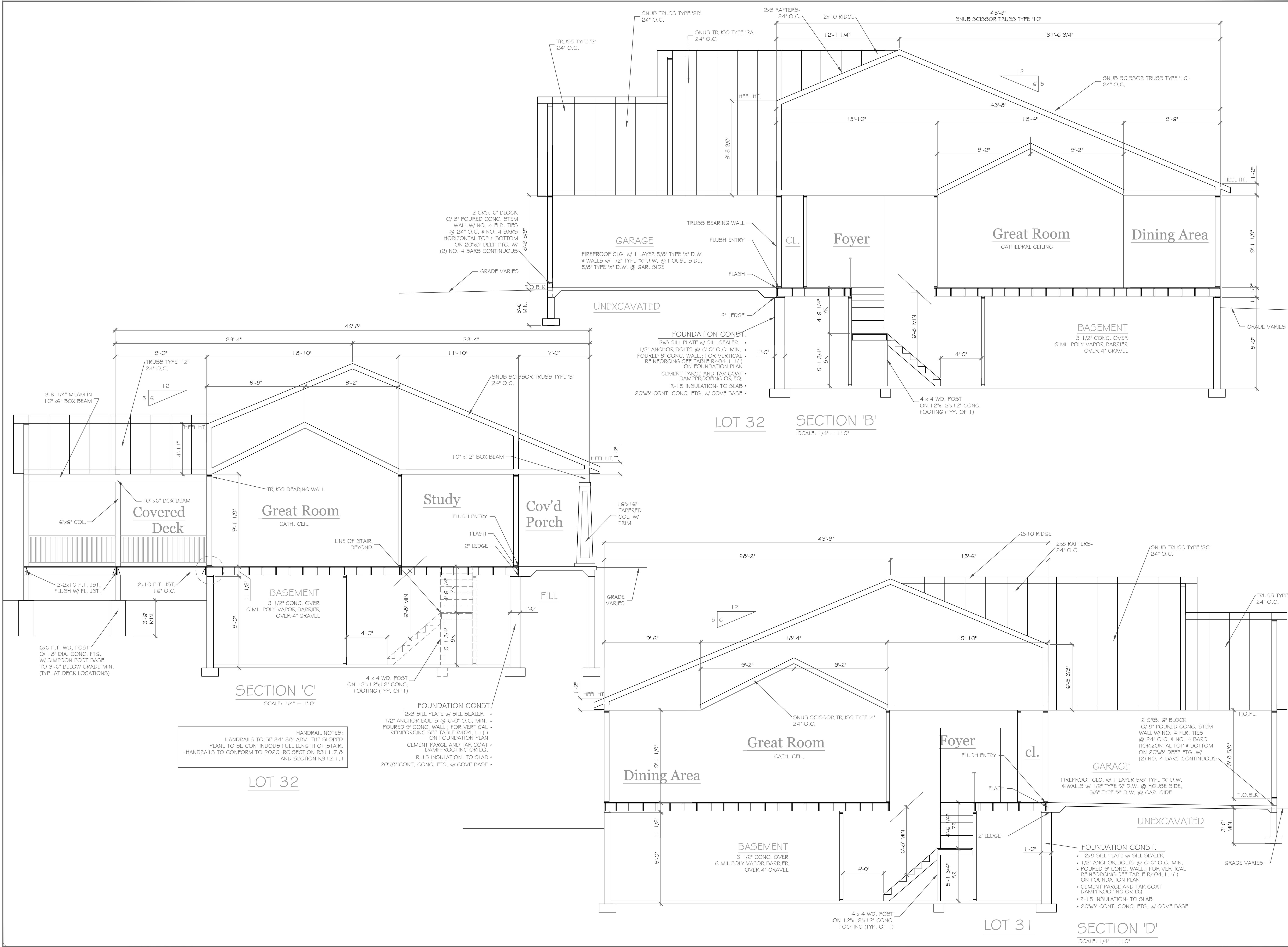
JOB NO. -
A23-047

DATE -
August 25, 2023

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REVISIONS- NO.	DATE	DESCRIPTION

DRAWING TITLE:
 Sections

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Lots 31 & 32
 Pittsford, N.Y.

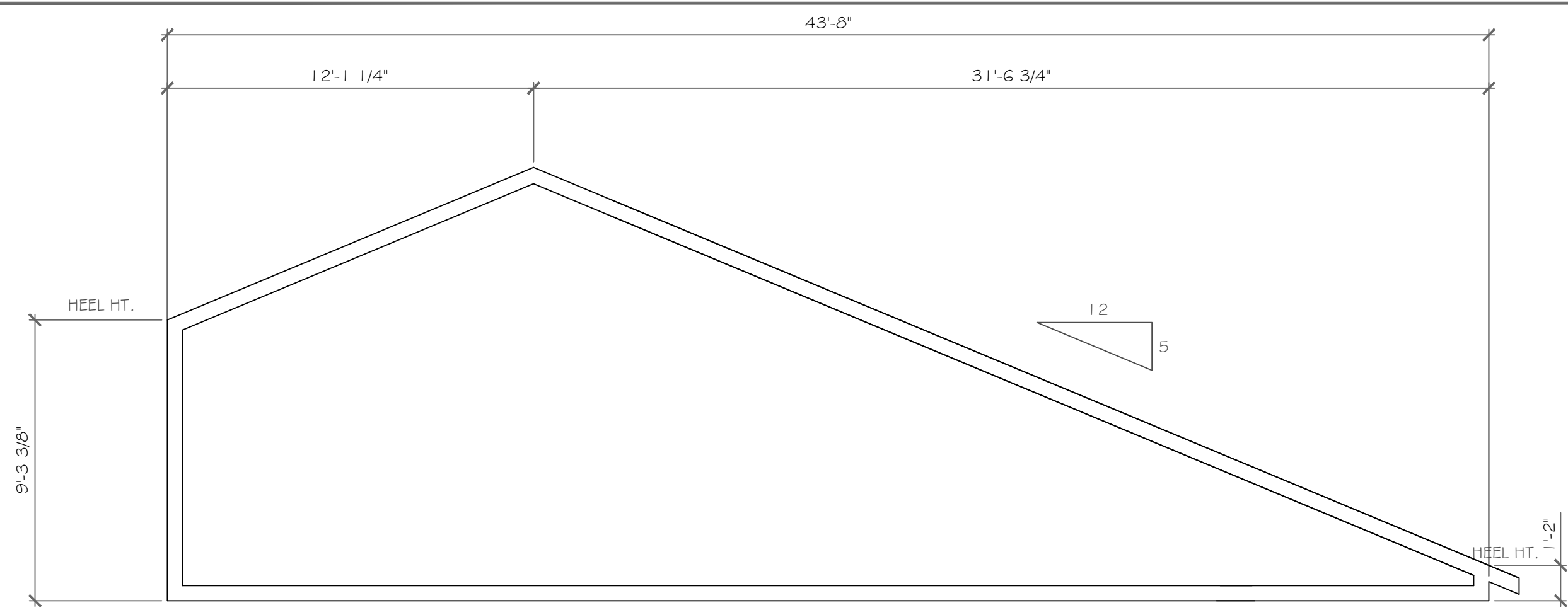
CLIENT:
 Morrell Builders

JOB NO.:
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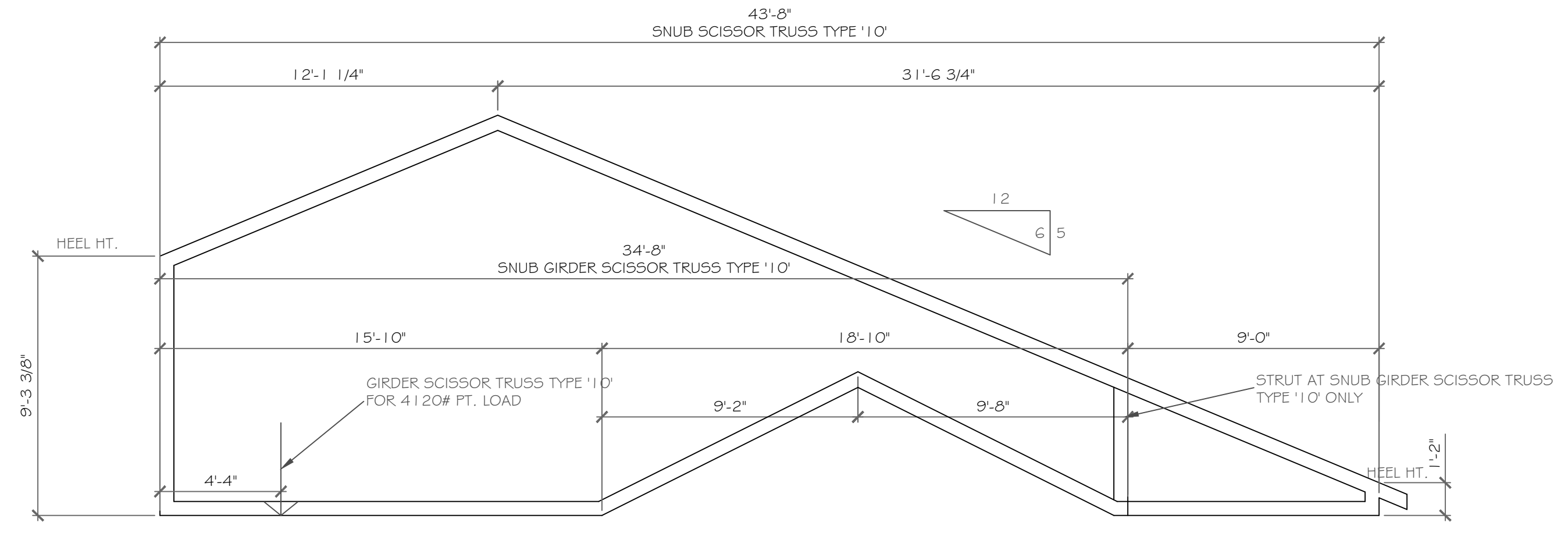
DATE:
 August 25, 2023

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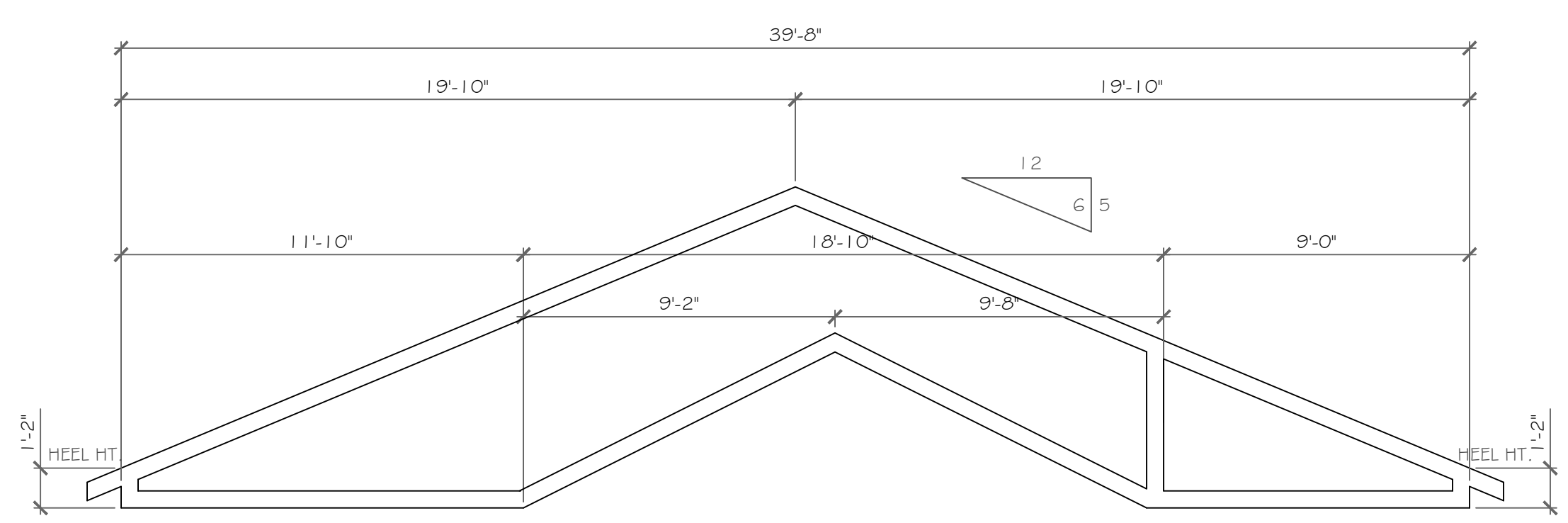
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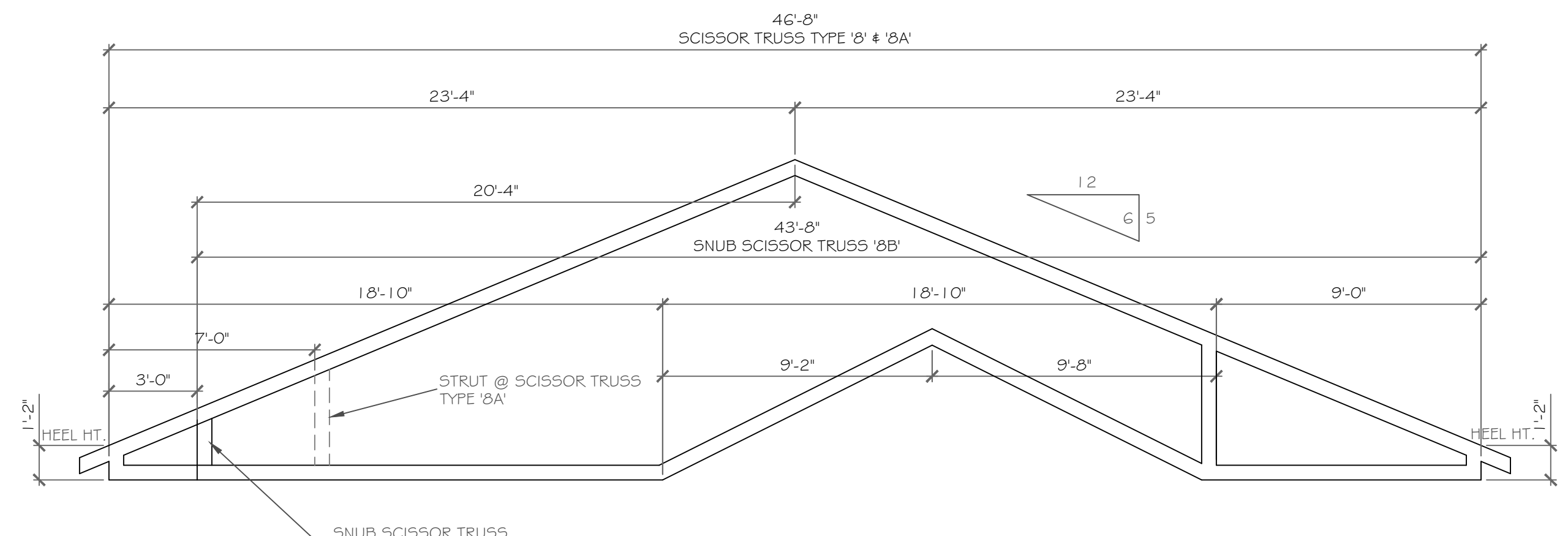
SNUB TRUSS TYPE '9'
1/4" = 1'-0"



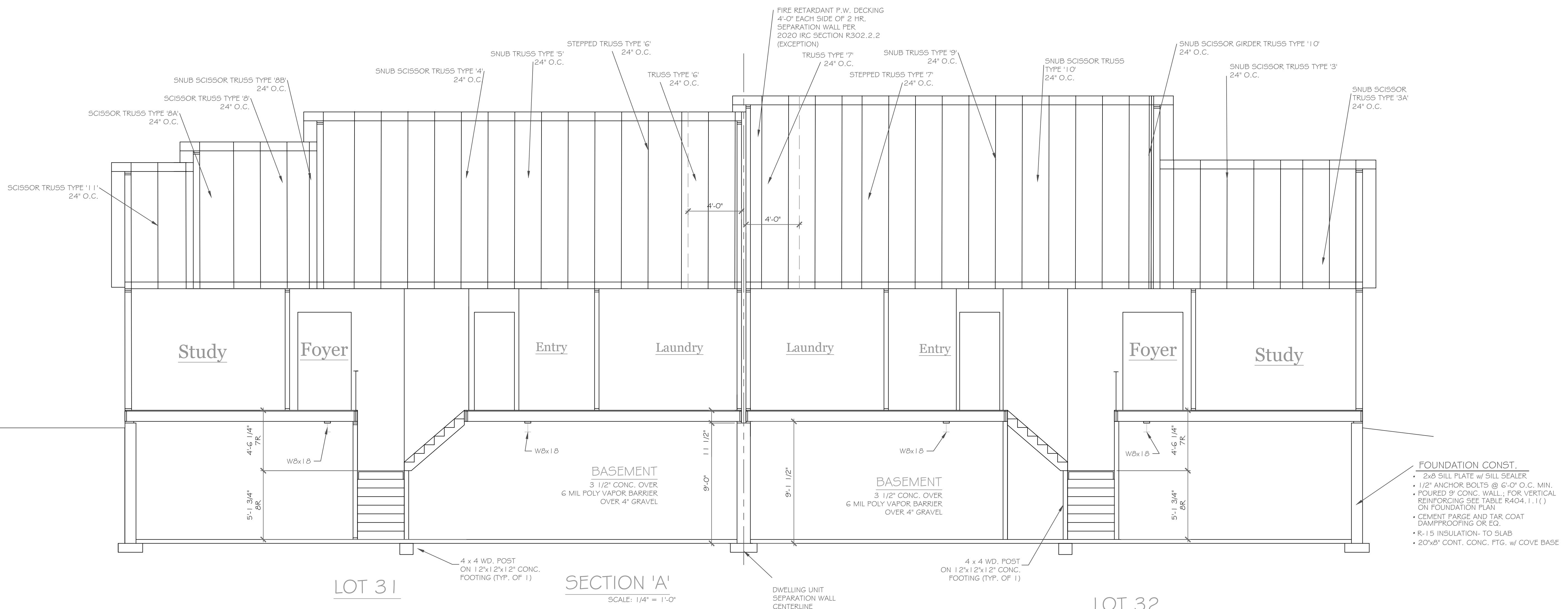
SNUB SCISSOR TRUSS TYPE '10' & SNUB GIRDER SCISSOR TRUSS TYPE '10'
1/4" = 1'-0"



SCISSOR TRUSS TYPE '11'
1/4" = 1'-0"



SCISSOR TRUSS TYPE '8' & '8A' & SNUB SCISSOR TRUSS '8B'
1/4" = 1'-0"



SECTION 'A'
SCALE: 1/4" = 1'-0"

- FOUNDATION CONST.**
- 2x8 SILL PLATE w/ SILL SEALER
 - 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
 - POURED 9" CONG. WALL, FOR VERTICAL REINFORCING SEE TABLE R404.1.1(1) ON FOUNDATION PLAN
 - CEMENT PARGE AND TAR COAT DAMPPROOFING OR EQ.
 - R-15 INSULATION TO SLAB
 - 20"x6" CONT. CONG. FTG. w/ COVE BASE

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NO.	DATE	DESCRIPTION

DRAWING TITLE:
Truss Diagrams & Section

PHASE:
Construction Documents

PROJECT:
Alpine Ridge - Lots 31 & 32
Pittsford, N.Y.

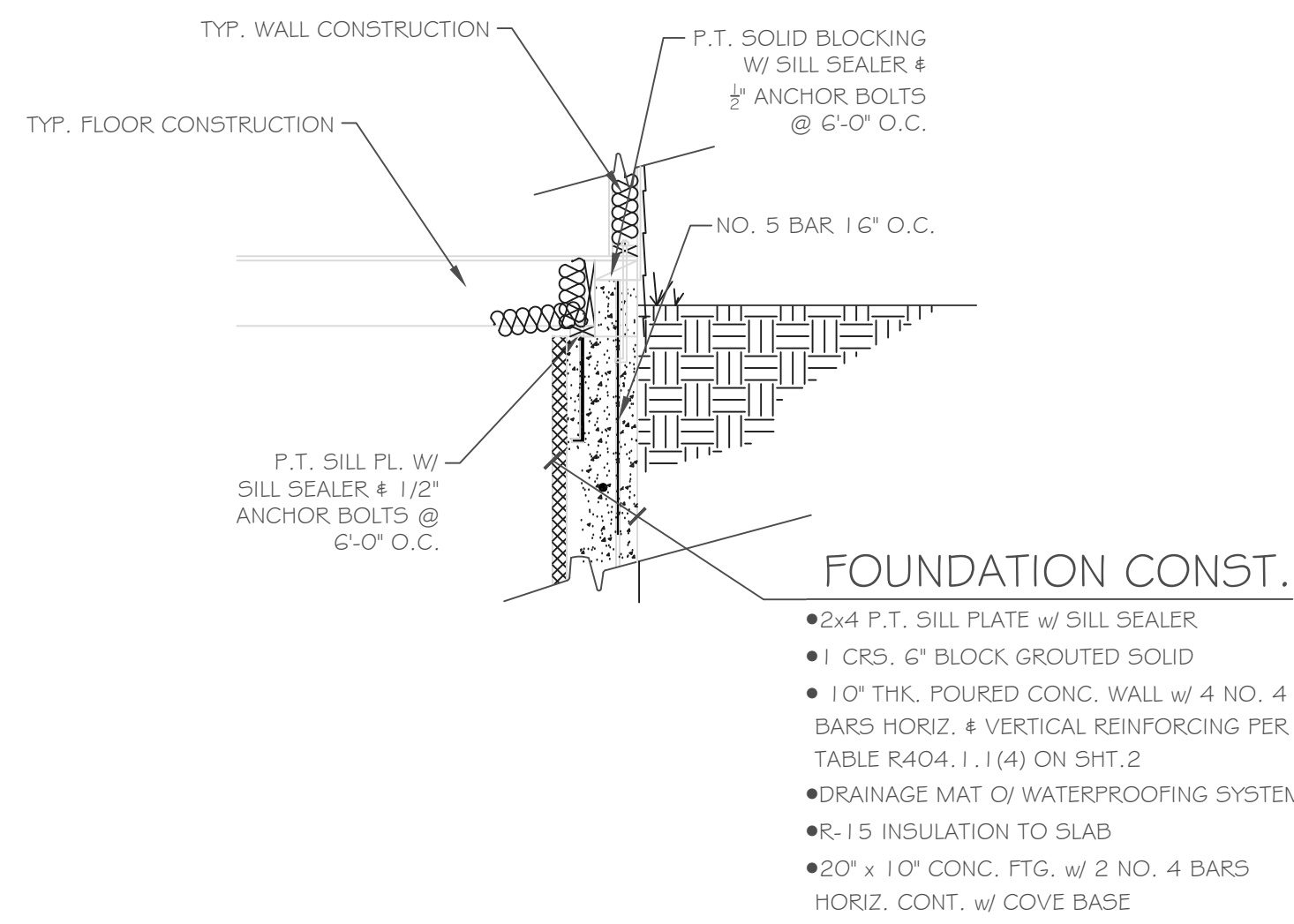
CLIENT:
Morrell Builders

JOB NO.:
A23-047

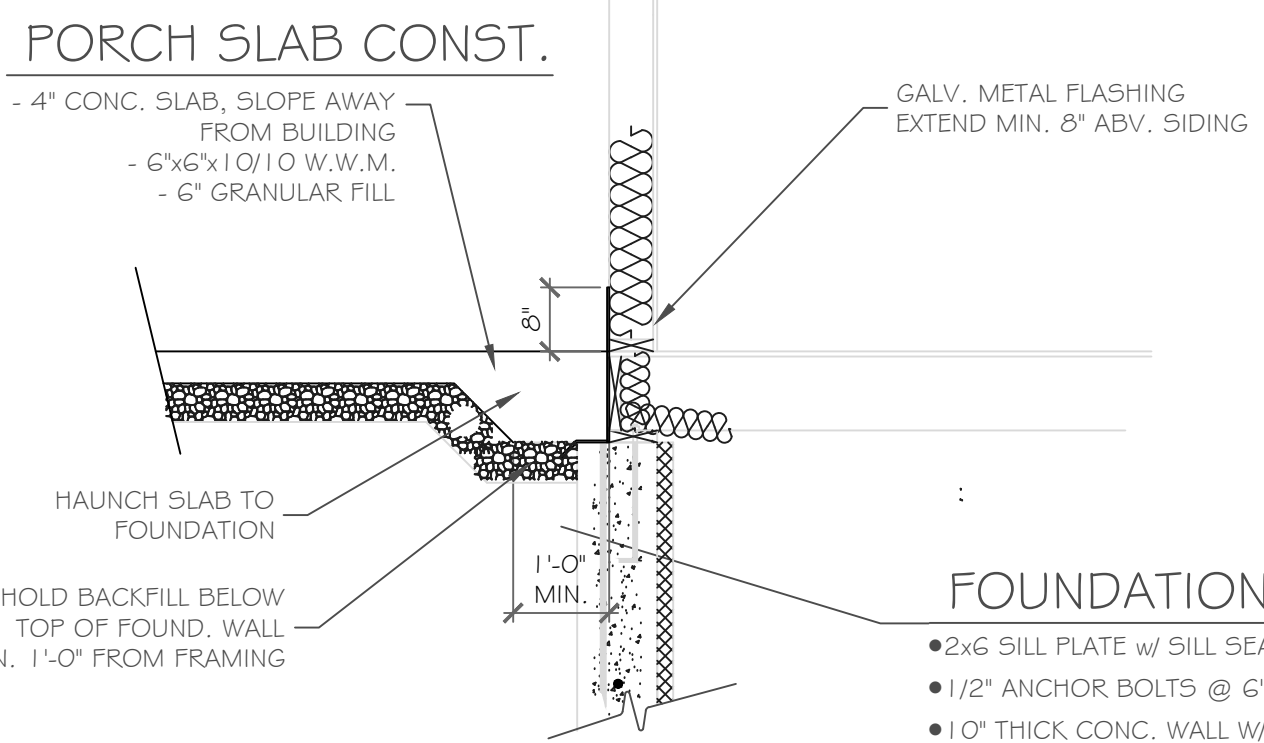
DATE:
August 25, 2023

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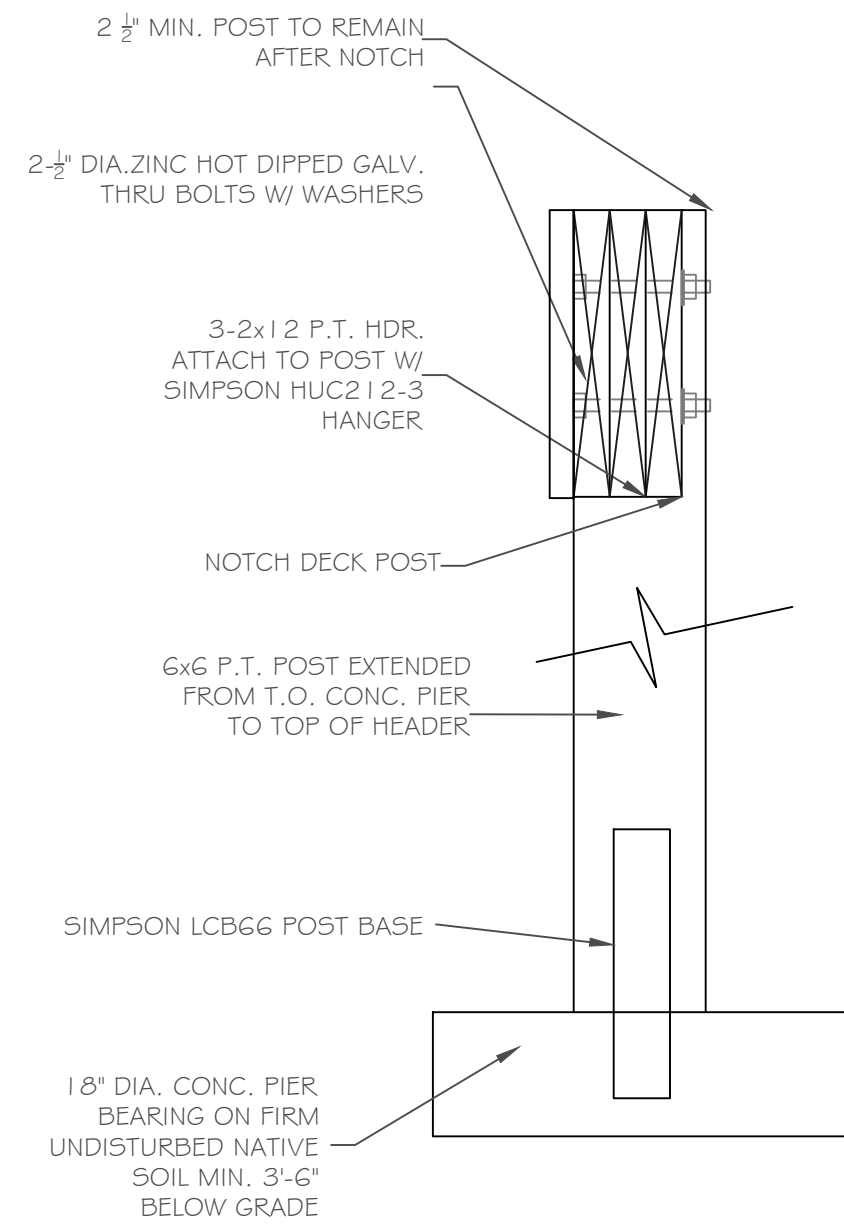
DRAWING NO.:
A-7



3 FOUNDATION AT RAISED GRADE
SCALE: 1/2" = 1'-0"

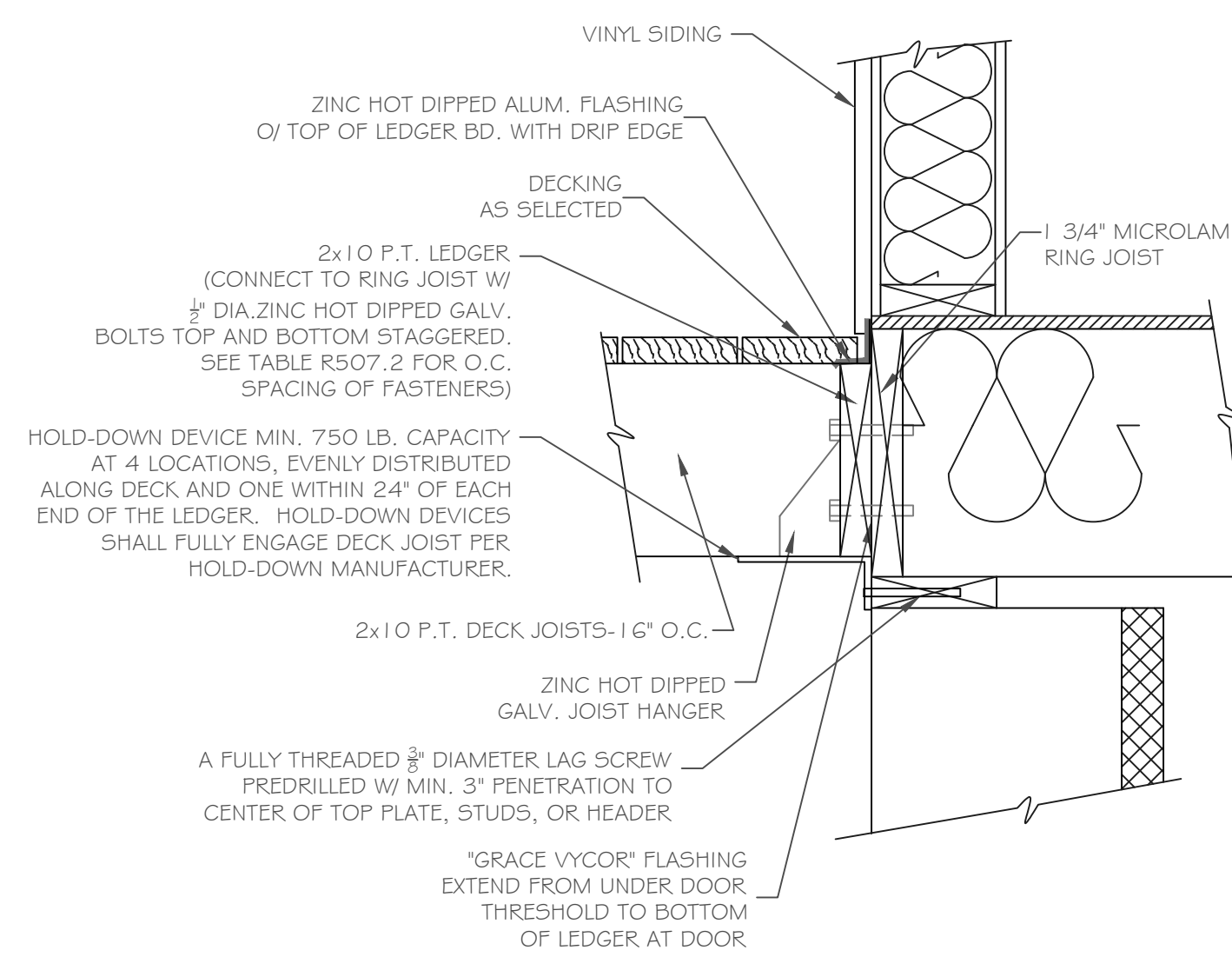


FLUSH ENTRY DETAIL
SCALE: 1/2" = 1'-0"



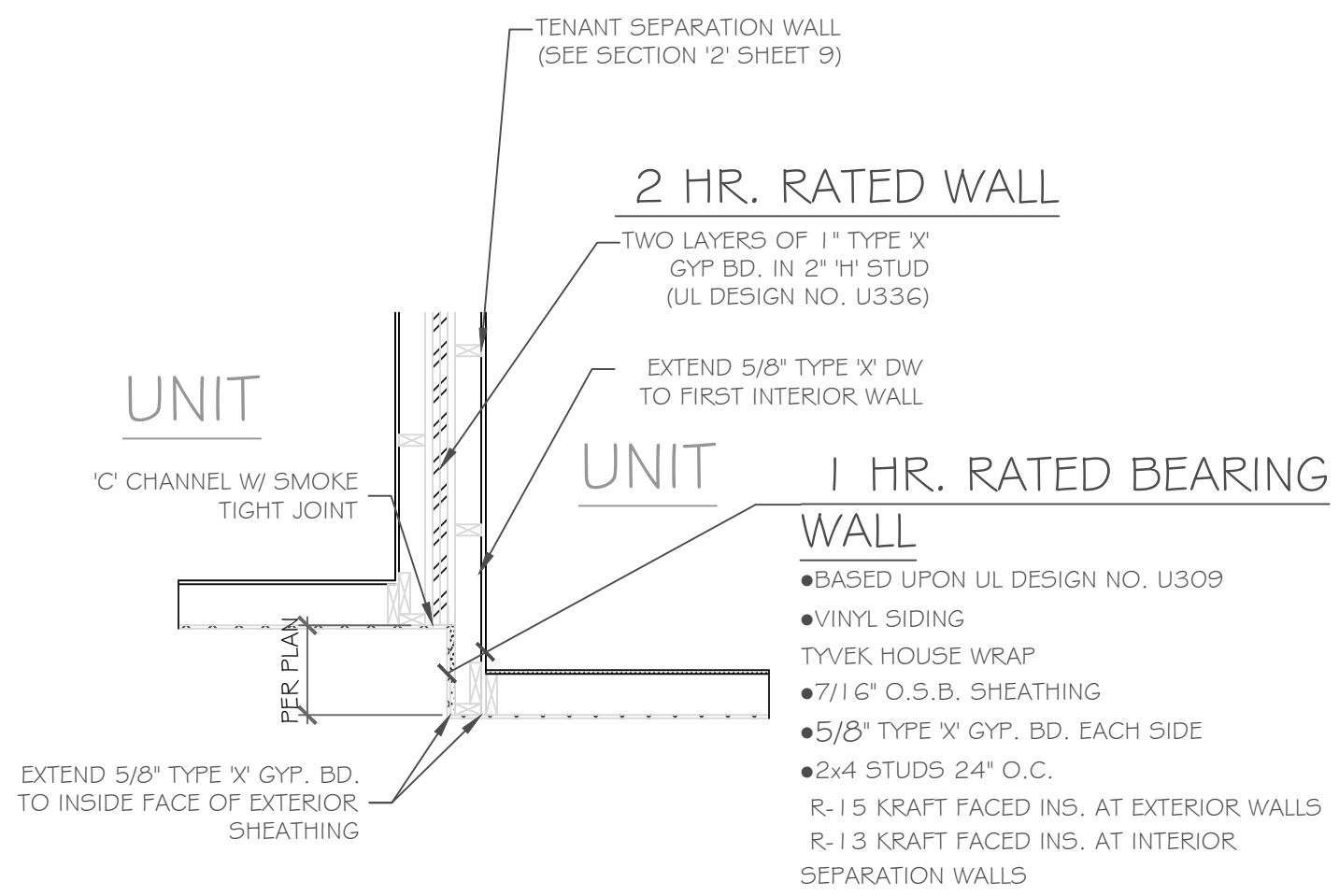
4 DECK BEAM TO DECK POST DETAIL
SCALE: 1/2" = 1'-0"

NOTE: DECK BEAMS SHALL BE ATTACHED TO DECK POSTS IN ACCORDANCE WITH R507.7.1 OF THE 2015 IRC

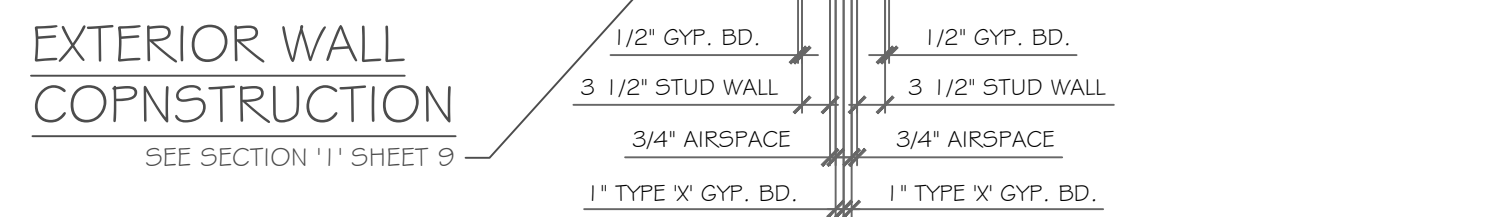


5 DECK CONNECTION TO DWELLING
SCALE: 1/2" = 1'-0"

NOTE: THE MIN. DISTANCE FROM BOTTOM ROW OF LAG SCREWS OR BOLTS TO THE EDGE OF THE LEDGER SHALL BE IN ACCORDANCE WITH FIGURE R507.2.1 IN THE 2015 IRC

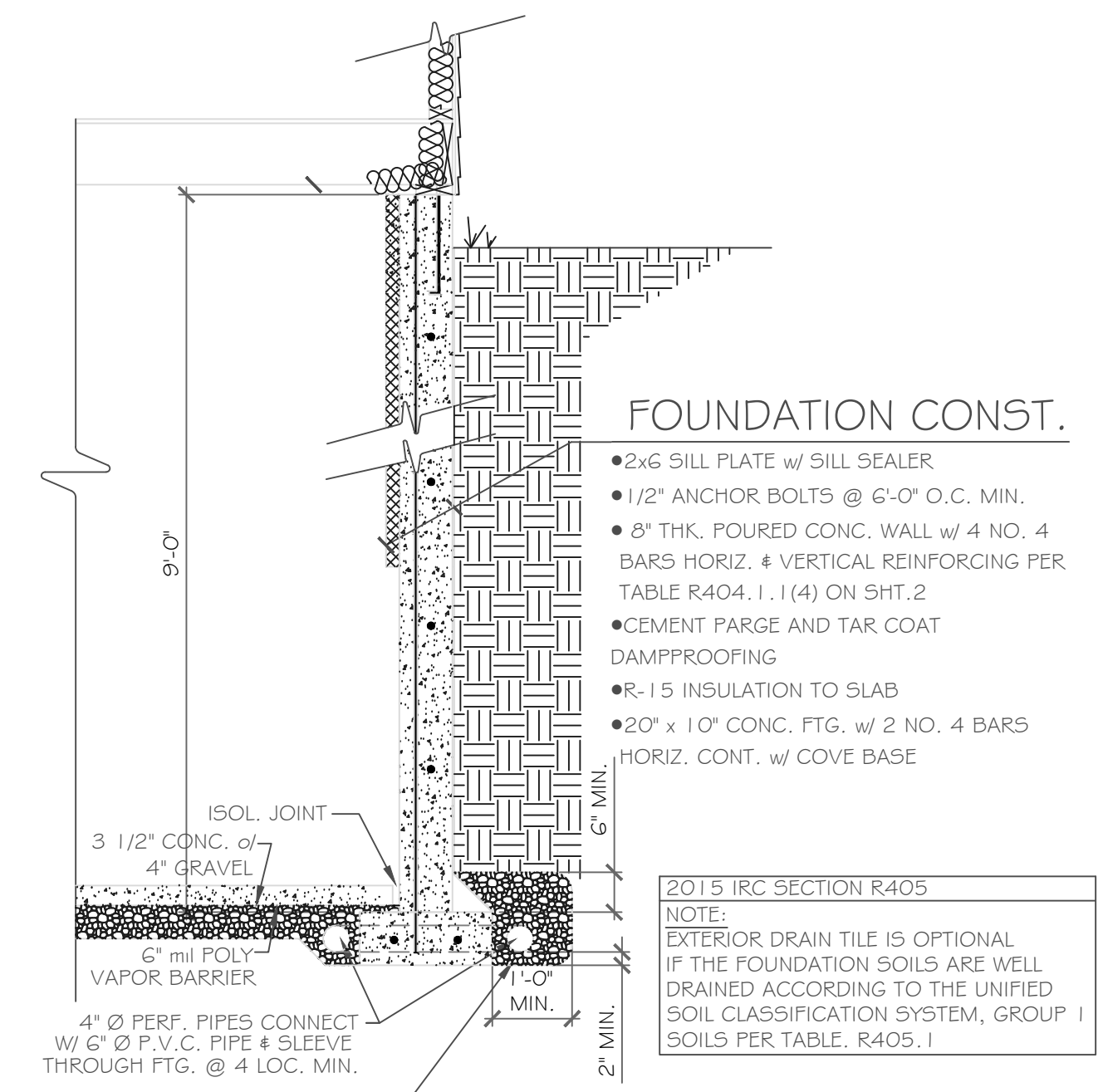


1 ONE HOUR RATED WALL EXTENTION
SCALE: 1/2" = 1'-0"

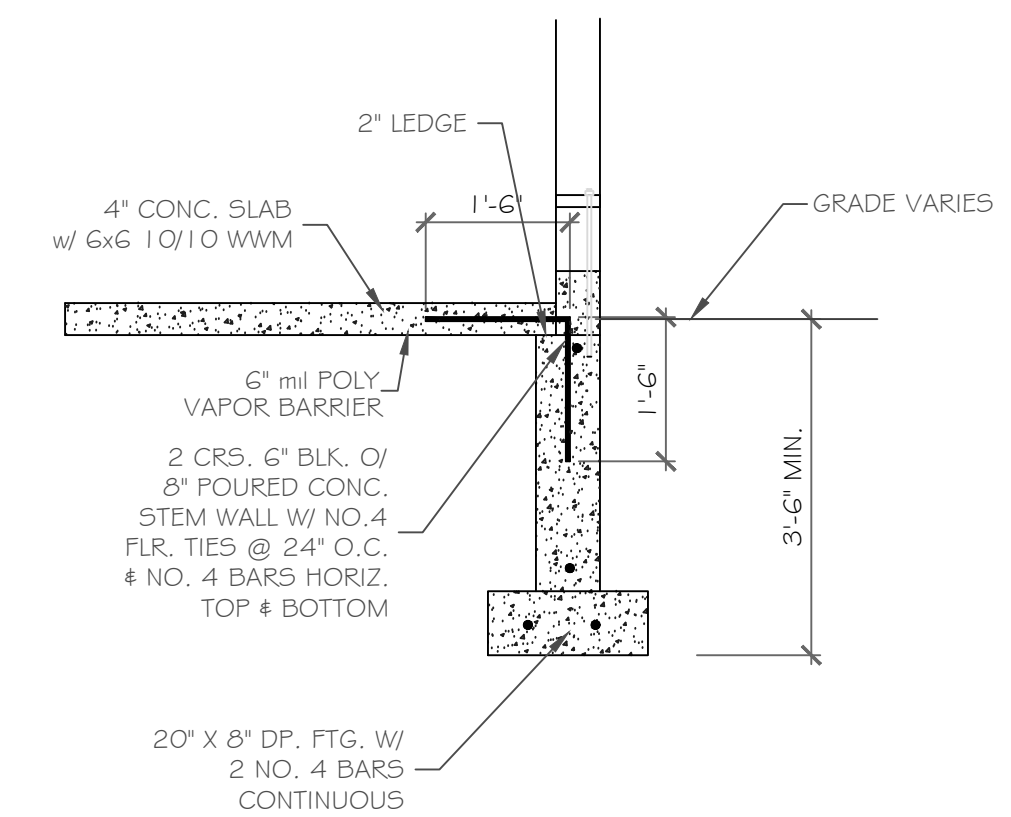


2 SEPARATION WALL
SCALE: 1/2" = 1'-0"

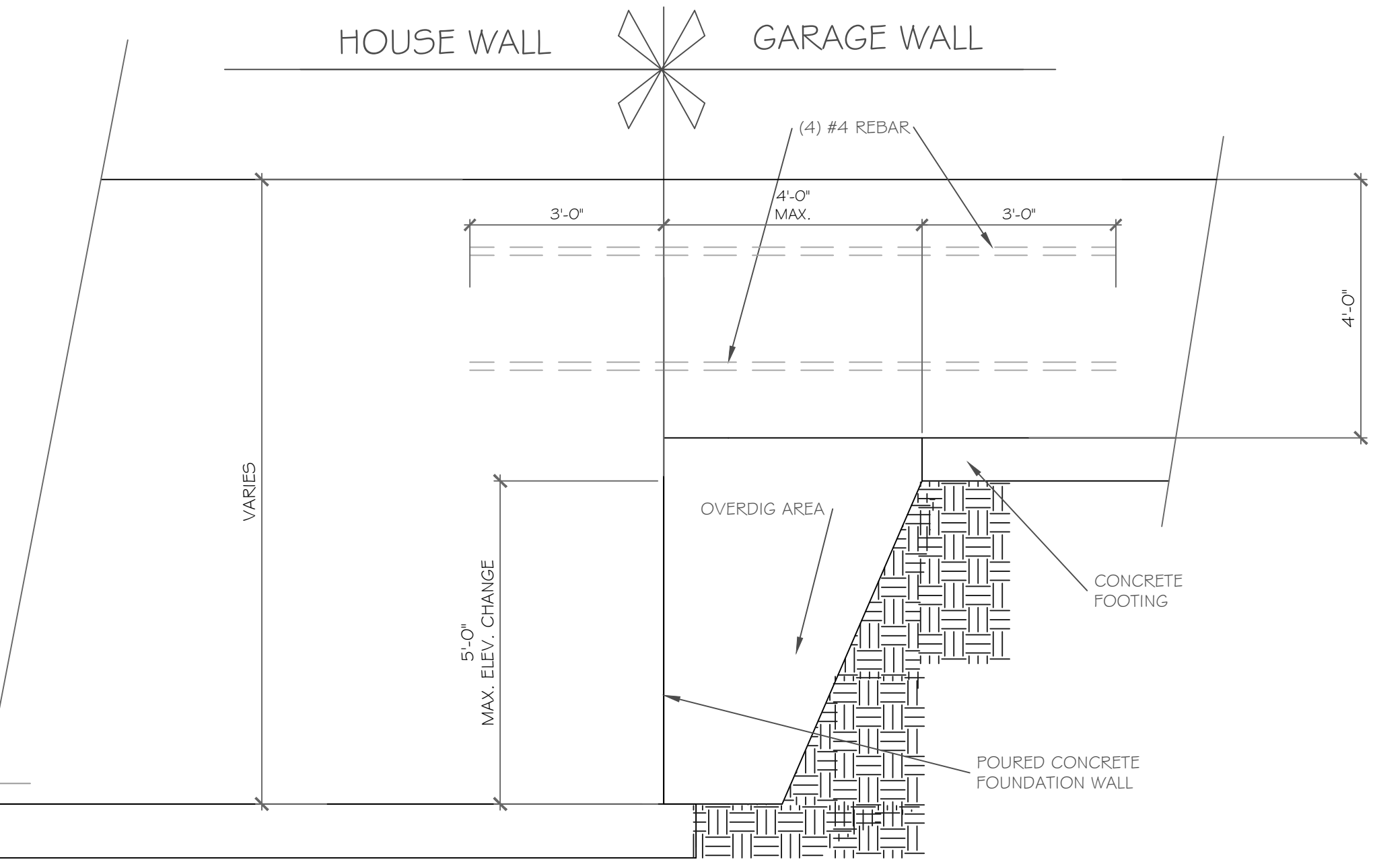
FLUSH TERMINATION AT UNITS



TYPICAL POURED WALL DETAILS
SCALE: 1/2" = 1'-0"



6 GARAGE WALL DETAIL
SCALE: 1/2" = 1'-0"



8 POURED WALL JUMP FOOTING DETAIL
SCALE: 1/2" = 1'-0"

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PROJECT: Alpine Ridge - Lot 31 & 32
Pittsford, N.Y.

CLIENT: Morrell Builders

PHASE: Construction Documents

DATE: August 25, 2023

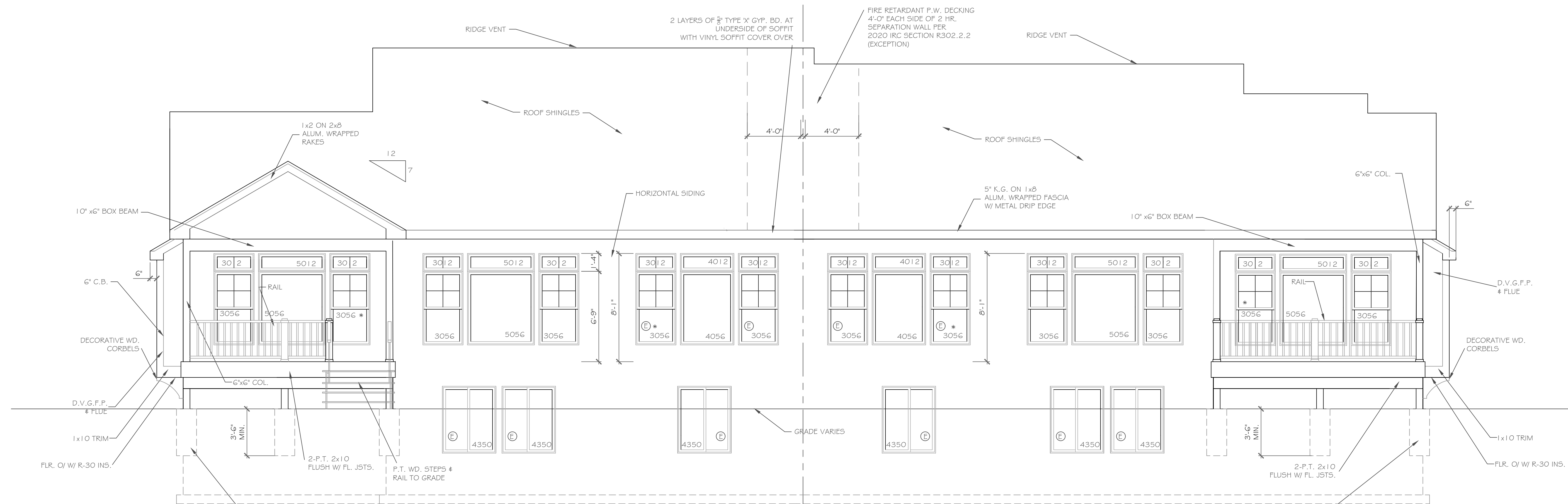
JOB NO.: A23-047

DRAWING NO.: A-9

REVISIONS:

NO.	DATE	DESCRIPTION

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REAR ELEVATION - LOT 32

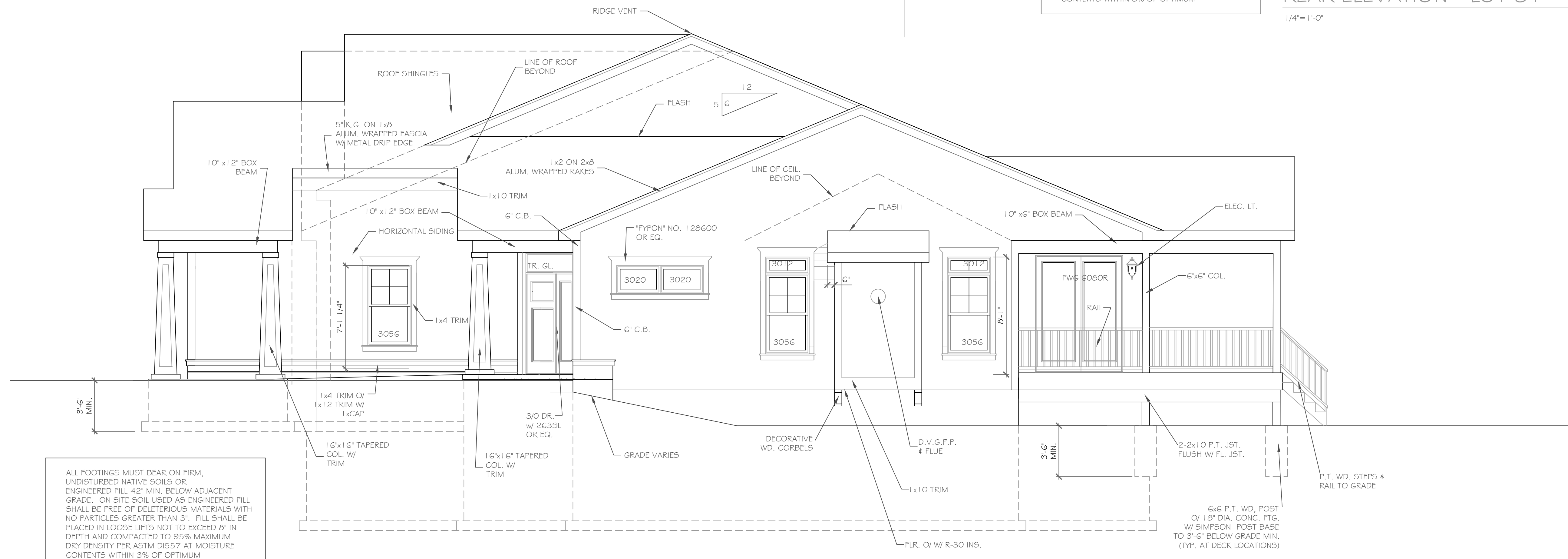
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

REAR ELEVATION - LOT 31

1/4" = 1'-0"

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1



RIGHT SIDE ELEVATION - LOT 32

1/4" = 1'-0"

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Elevations

PHASE:
Construction Documents

PROJECT:
Alpine Ridge - Units 31 & 32
Pittsford, New York

CLIENT:
Morrell Builders

JOB NO. -
A23-047

DATE:
August 25, 2023

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DRAWING NO. -
A-2

To the best of my knowledge, belief, and professional judgement, these drawings are in compliance with these requirements and the Energy Code.

R103.2 Information on construction documents. Construction documents shall be drawn to scale upon suitable material.

Electronic media documents are permitted to be submitted where approved by the code official. Construction documents shall be of sufficient clarity to indicate the location, nature and extent of the work proposed, and show in sufficient detail pertinent data and features of the building, systems and equipment as herein governed. Details shall include, but are not limited to, the following as applicable:

- Mechanical system design criteria.
- Mechanical and service water-heating system and equipment types, sizes and efficiencies.
- Equipment and system controls.
- Duct sealing, duct and pipe insulation and location.

M/E/P contractors are required to prepare and submit mechanical, lighting and service water heating system and equipment data to demonstrate full Energy Code compliance.

R302.7 Under-Stair Protection
Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board

R302.11 Fireblocking
In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

R311.3 Floors and Landings at Exterior Doors
There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Every landing shall have a dimension of not less than 36 inches (914 mm) measured in the direction of travel. The slope at exterior landings shall not exceed 1/4 unit vertical in 12 units horizontal (2 percent).

Exception: Exterior balconies less than 60 square feet (5.6 m²) and only accessible from a door are permitted to have a landing less than 36 inches (914 mm) measured in the direction of travel.

R311.3.1 Floor Elevations at the Required Egress Doors
Landings or finished floors at the required egress door shall be not more than 1 1/2 inches (38 mm) lower than the top of the threshold.

Exception: The landing or floor on the exterior side shall be not more than 7/34 inches (196 mm) below the top of the threshold provided the door does not swing over the landing or floor.

R401.3 Certificate (Mandatory). A permanent certificate shall be completed by the builder or registered design professional and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired unvented room heater, electric furnace or baseboard electric heater is installed in the residence, the certificate shall list "gas-fired unvented room heater," "electric furnace" or "baseboard electric heater," as appropriate. An efficiency shall not be listed for gas-fired unvented room heaters, electric furnaces or electric baseboard heaters.

R402.2.4 Access hatches and doors. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A woodframed or equivalent baffle or retainer is required to be provided when loose-fill insulation is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation. Exception: Vertical doors that provide access from conditioned to unconditioned spaces shall be permitted to meet the fenestration requirements of Table R402.1.2 based on the applicable climate zone specified in Chapter 3.

R402.4.3 Fenestration air leakage. Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m²), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m²), when tested according to NFRC 400 or AAMA/WDMA/CSA 101/1.5.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer. Exception: Site-built windows, skylights and doors.

R402.4.4 Rooms containing fuel-burning appliances. In Climate Zones 3 through 8, where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening shall be located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms shall be sealed and insulated in accordance with the envelope requirements of Table R402.1.2, where the walls, floors and ceilings shall meet not less than the basement wall R-value requirement. The door into the room shall be fully gasketed and any water lines and ducts in the room insulated in accordance with Section R403. The combustion air duct shall be insulated where it passes through conditioned space to a minimum of R-8. Exceptions:
1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside.
2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the International Residential Code.

R402.4.5 Recessed lighting. Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

R403.1 Controls (Mandatory). At least one thermostat shall be provided for each separate heating and cooling system. R403.1.1 Programmable thermostat. The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21 °C) and a cooling temperature set point no lower than 78°F (26°C).

R403.3.2 Sealing (Mandatory). Ducts, air handlers and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code, as applicable.

R403.3.5 Building cavities (Mandatory). Building framing cavities shall not be used as ducts or plenums.

R403.3.3 Duct testing (Mandatory). Ducts shall be pressure tested to determine air leakage by one of the following methods:
1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
2. Postconstruction test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test. Exception: A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope

The ductwork is within the thermal envelope.

R403.5.1 Heated water circulation and temperature maintenance systems (Mandatory). Heated water circulation systems shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.

R403.6 Mechanical ventilation (Mandatory). The building shall be provided with ventilation that meets the requirements of the International Residential Code or International Mechanical Code, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. R403.6.1 Whole-house mechanical ventilation system fan efficacy. Mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.1. Exception: Where mechanical ventilation fans are integral to tested and listed HVAC equipment, they shall be powered by an electronically commutated motor.

TABLE R403.6.1
MECHANICAL VENTILATION SYSTEM FAN EFFICACY
For 5l: 1 cfm = 28.3 l/min.
FAN LOCATION AIR FLOW RATE MINIMUM (CFM)
MINIMUM EFFICACY (CFM/WATT)
AIR FLOW RATE MAXIMUM (CFM)
Range hoods Any 2.8 cfm/watt Any
In-line fan Any 2.8 cfm/watt Any
Bathroom, utility room 10 1.4 cfm/watt < 90
Bathroom, utility room 90 2.8 cfm/watt Any

Refer to Table R402.1.2 for all Insulation and Fenestration Requirements by Component. This project is located in climate zone 5 and has a fenestration U-factor of .32. There is no requirement for SHGC in this climate zone.

ELECTRICAL POWER AND LIGHTING SYSTEMS
R404.1 Lighting equipment (Mandatory). Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.
Exception: Low-voltage lighting.
R404.1.1 Lighting equipment (Mandatory). Fuel gas lighting systems shall not have continuously burning pilot lights.

DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

1ST # 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

ENERGY EFFICIENCY:

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2 AND R402.4.1.2 THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1 AS APPLICABLE TO THE METHOD OF CONSTRUCTION WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND 3 AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E779 OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASICALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING:

- EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED BUT NOT SEALED BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE TURNED OFF.
- SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE FULLY OPEN. A MINIMUM OF 75 % OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS PER SECTION R404.1 OF THE 2015 IECC.

ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED, AND LATCHED PER R402.2.4 OF THE 2015 NY IECC.

SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. ALL OTHER DUCTS SHALL BE INSULATED TO A MIN. OF R-6, WITH THE EXCEPTION OF DUCTS OR A PORTION THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE AS PER SECTION 403.3.1 OF THE IECC.

MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3 AS PER SECTION 403.4 OF THE IECC.

OUTDOOR AIR INTAKE AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION IS NOT OPERATING AS PER SECTION 403.6 OF THE 2015 IECC.

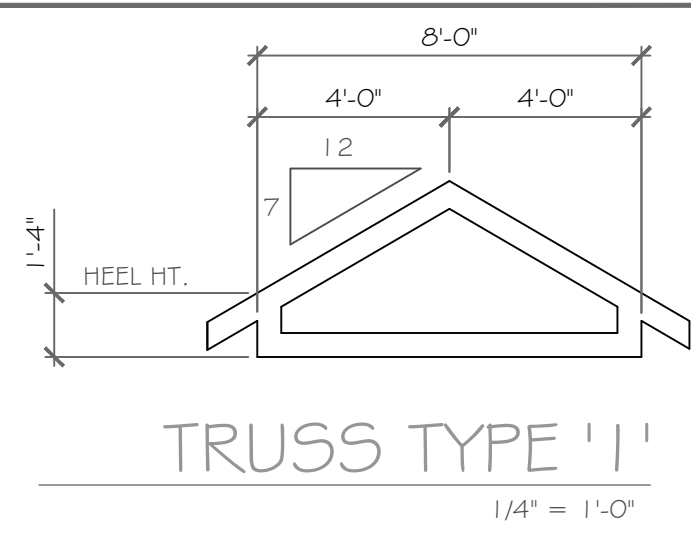
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NO.	DATE	DESCRIPTION

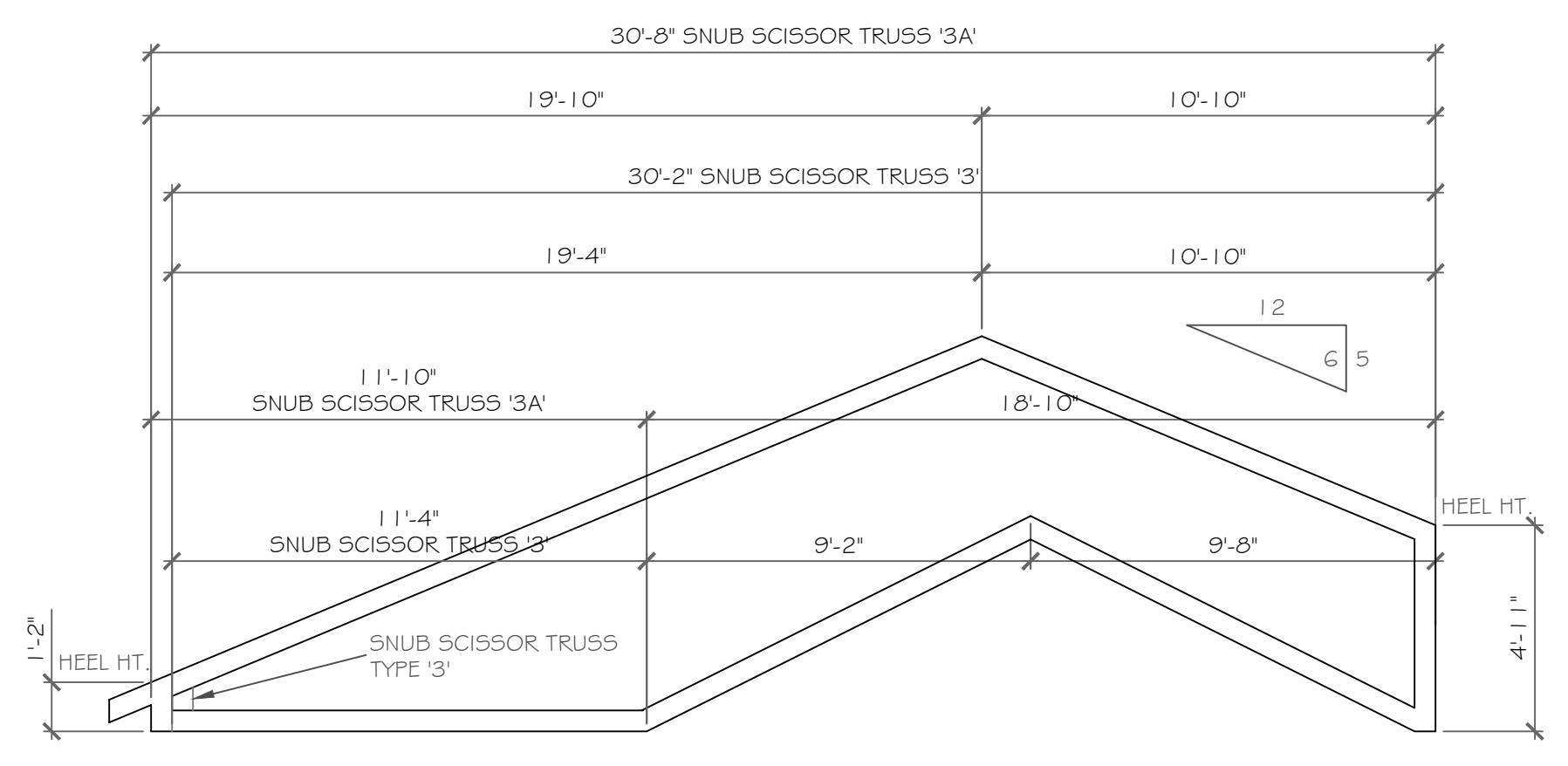
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		PROJECT - Alpine Ridge - Lot 31 & 32 Pittsford, N.Y.	CLIENT - Morrell Builders

DRAWING NO. -
A-12

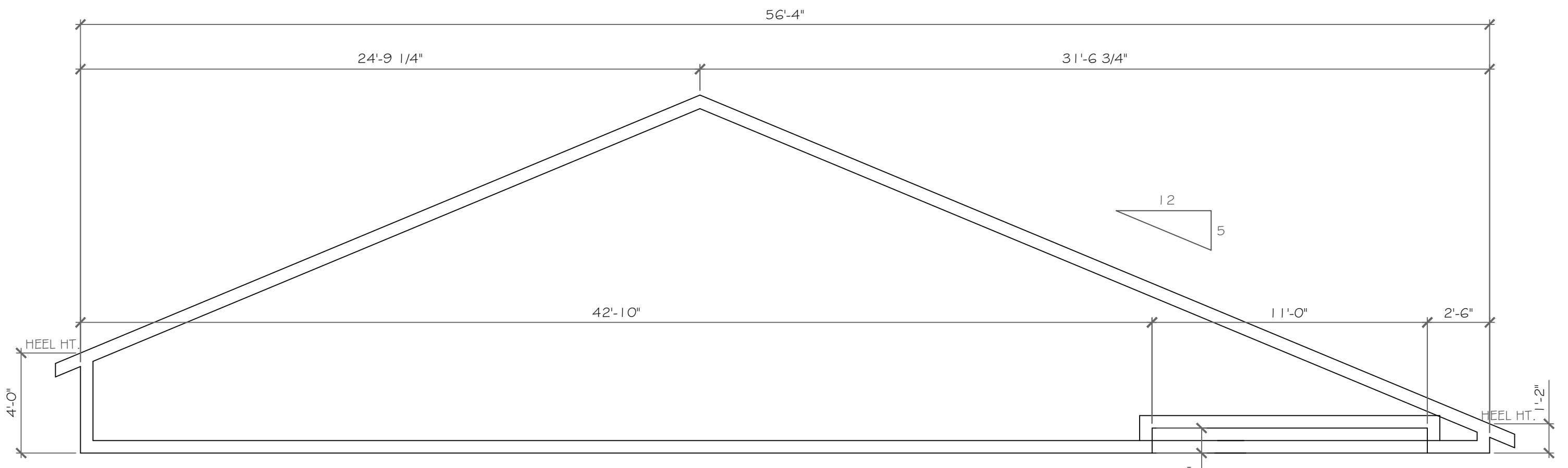
CKH
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1501 Pittsford Victor Road
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phone-(585)249-1334
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email-CKHennessey@frontiernet.net



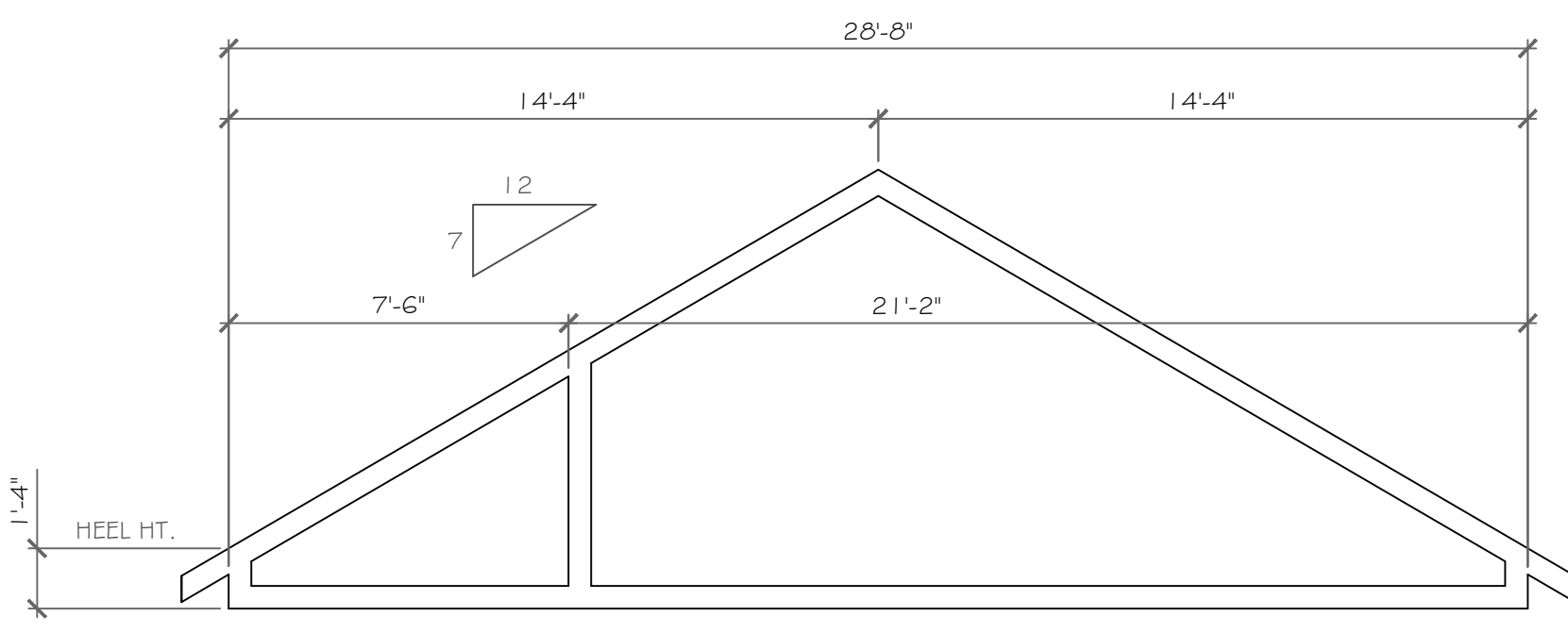
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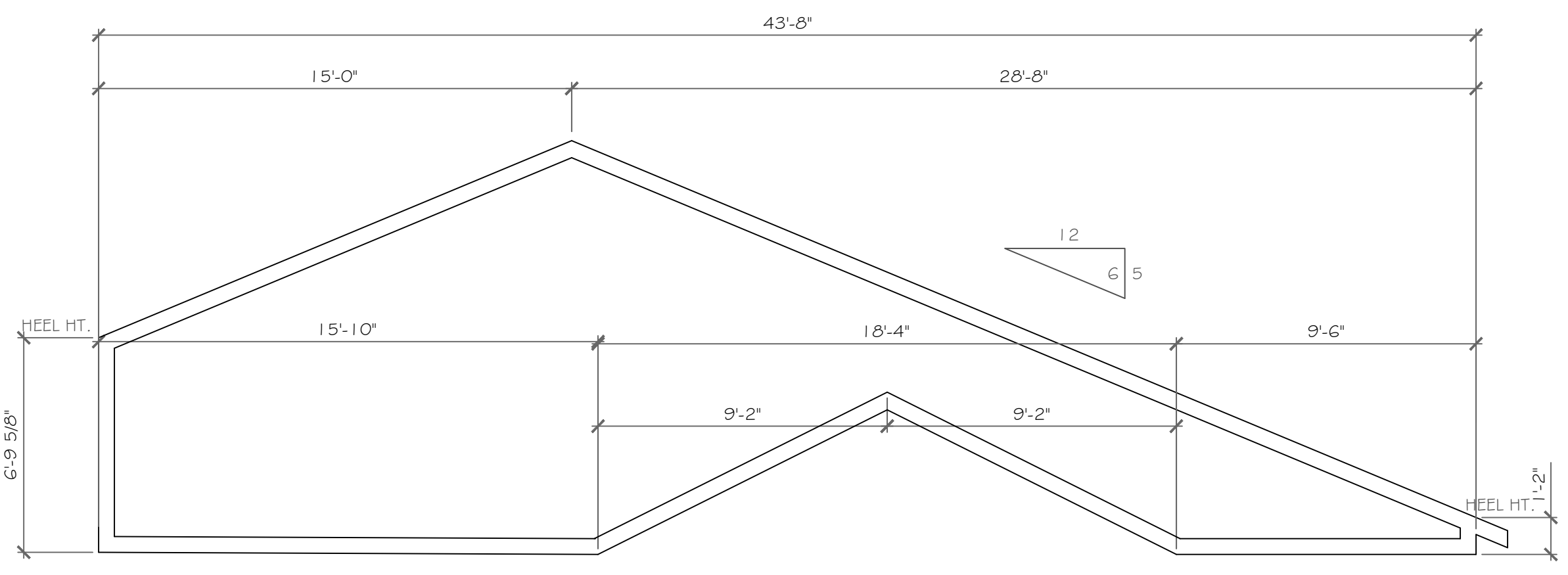
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1/4" = 1'-0"



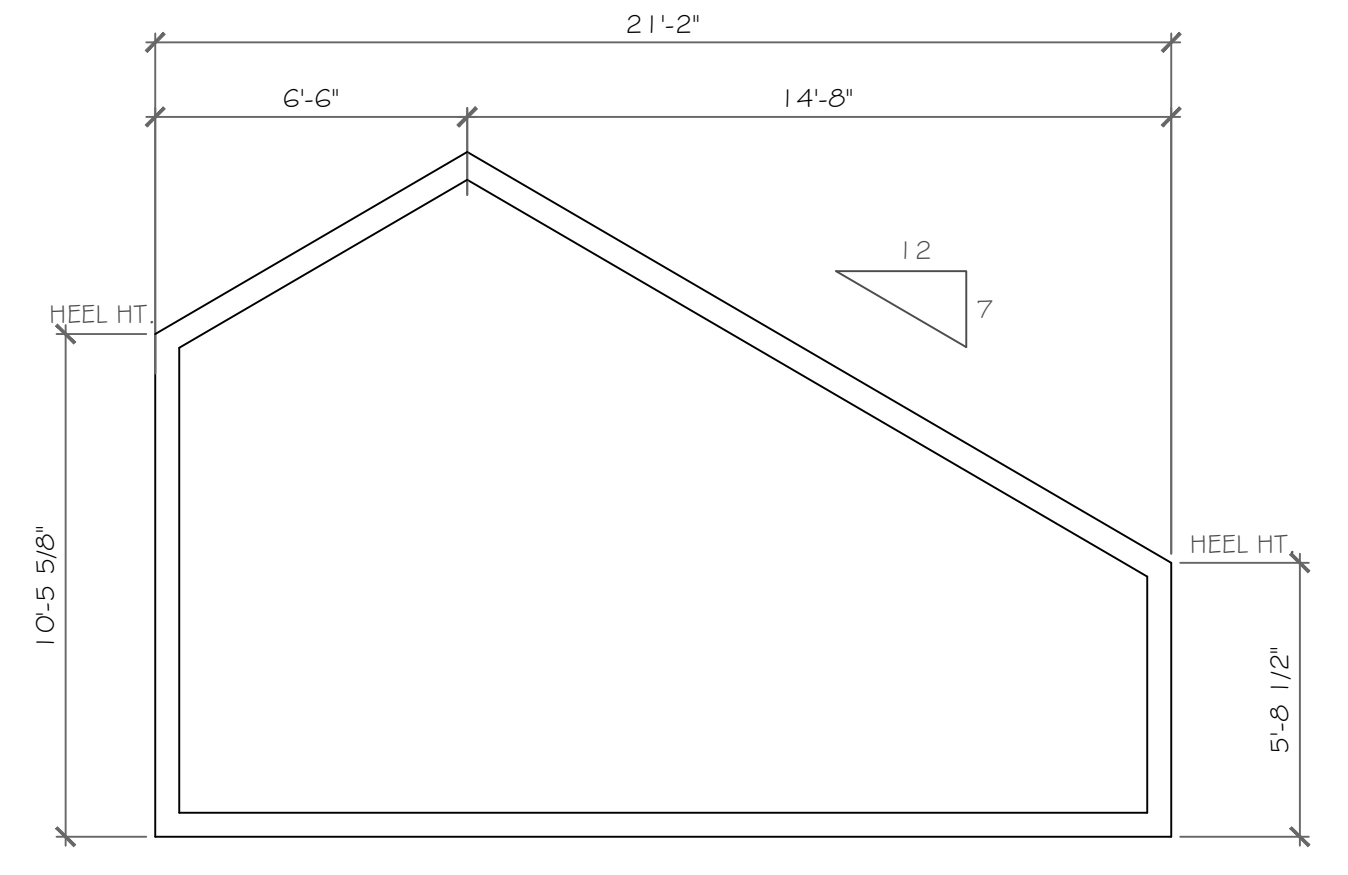
TRUSS TYPE '7' & STEPPED TRUSS TYPE '7'
1/4" = 1'-0"



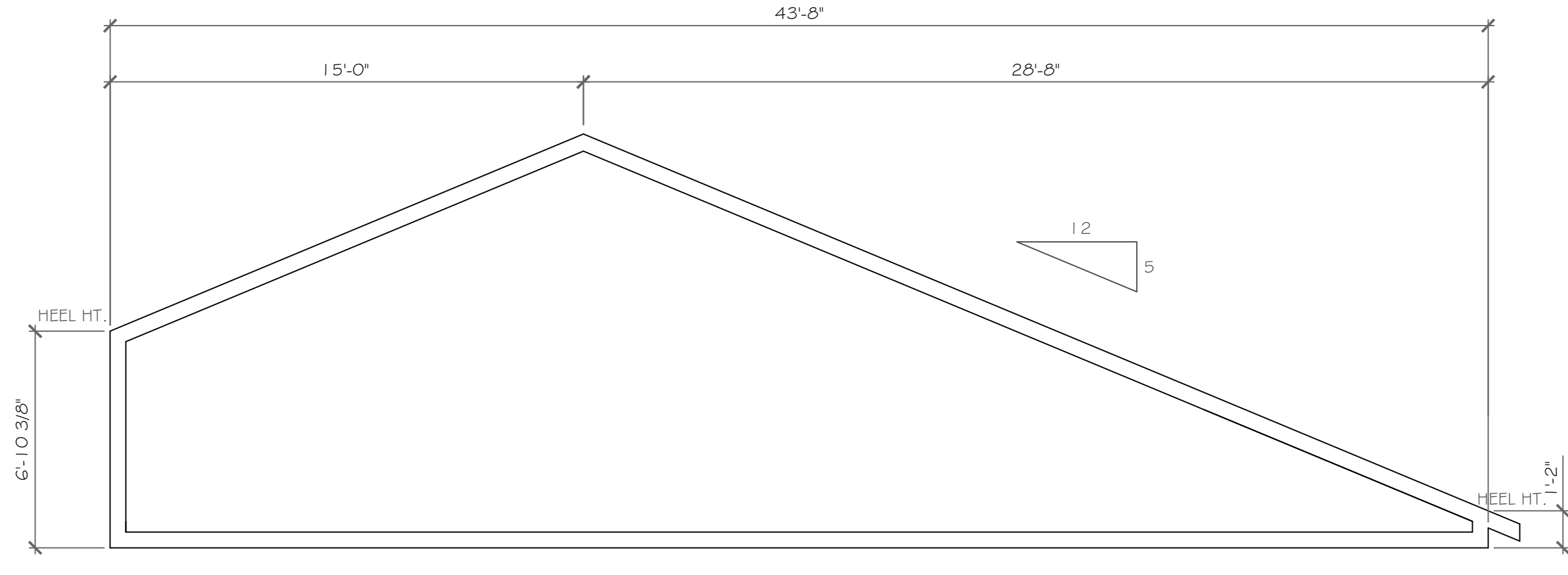
TRUSS TYPE '2'
1/4" = 1'-0"



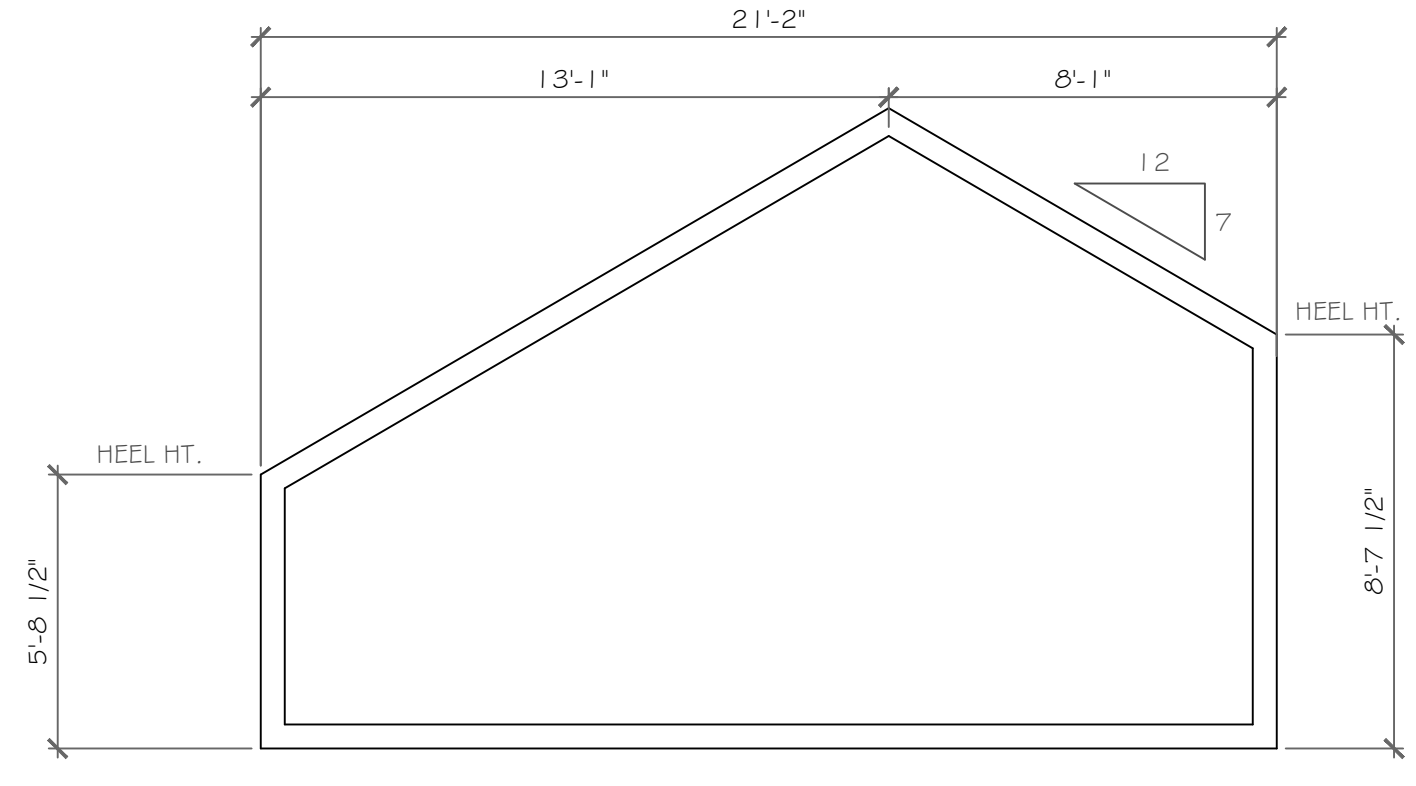
SNUB SCISSOR TRUSS TYPE '4'
1/4" = 1'-0"



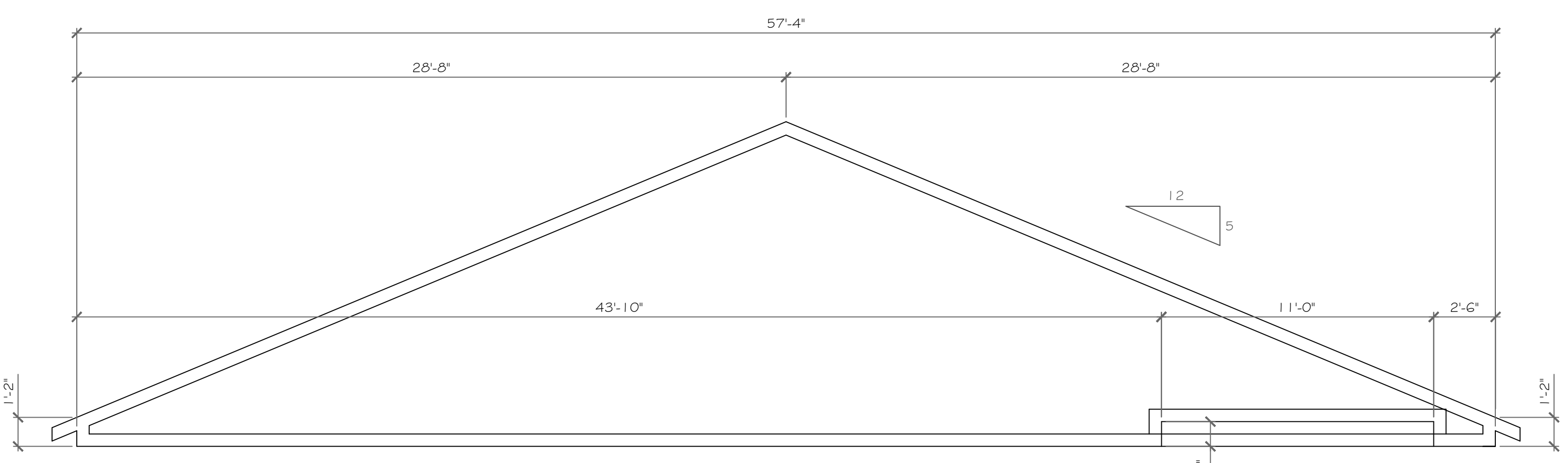
SNUB TRUSS TYPE '2A'
1/4" = 1'-0"



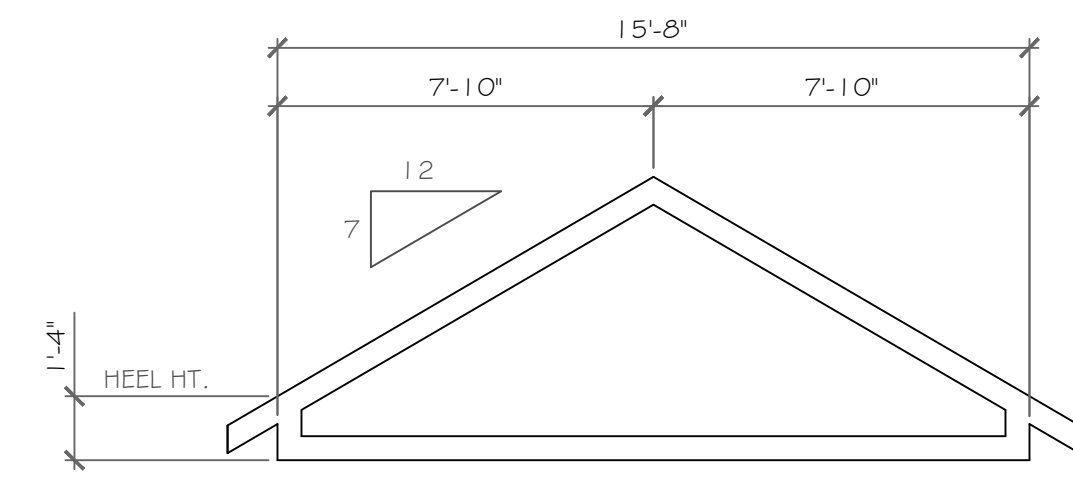
SNUB TRUSS TYPE '5'
1/4" = 1'-0"



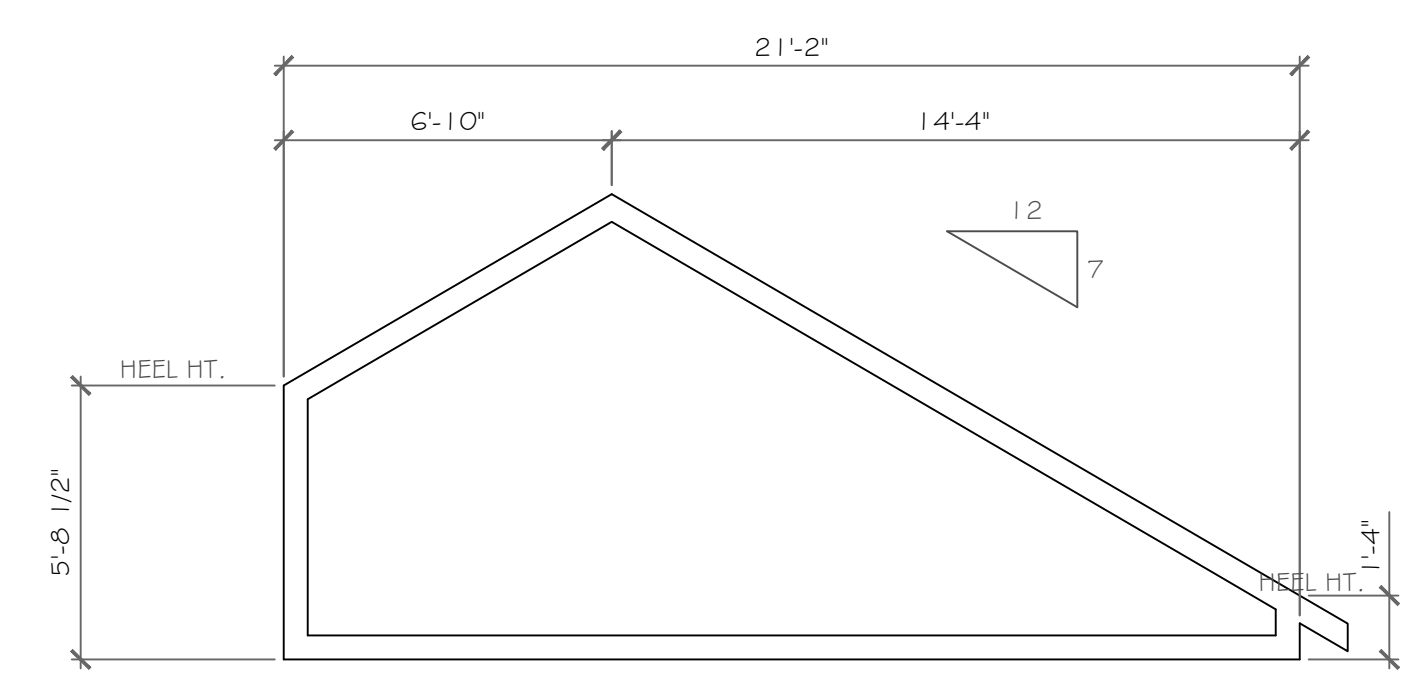
SNUB TRUSS TYPE '2C'
1/4" = 1'-0"



TRUSS TYPE '6' & STEPPED TRUSS TYPE '6'
1/4" = 1'-0"



TRUSS TYPE '12'
1/4" = 1'-0"



SNUB TRUSS TYPE '2B'
1/4" = 1'-0"

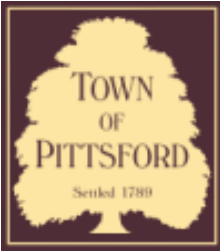
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REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT: Alpine Ridge - Lots 31 & 32 Pittsford, N.Y.	CLIENT: Morrell Builders	DRAWING TITLE: Truss Diagrams	PHASE: Construction Documents
		DATE: August 25, 2023	JOB NO. - A23-047

PROJECT: Alpine Ridge - Lots 31 & 32 Pittsford, N.Y.	CLIENT: Morrell Builders	DRAWING TITLE: Truss Diagrams	PHASE: Construction Documents
		DATE: August 25, 2023	JOB NO. - A23-047

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Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000127

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 20 Kerrygold Way PITTSFORD, NY 14534

Tax ID Number: 163.02-5-40

Zoning District: PUD Planned Unit Development

Owner: Rubens, Jack

Applicant: Rubens, Jack

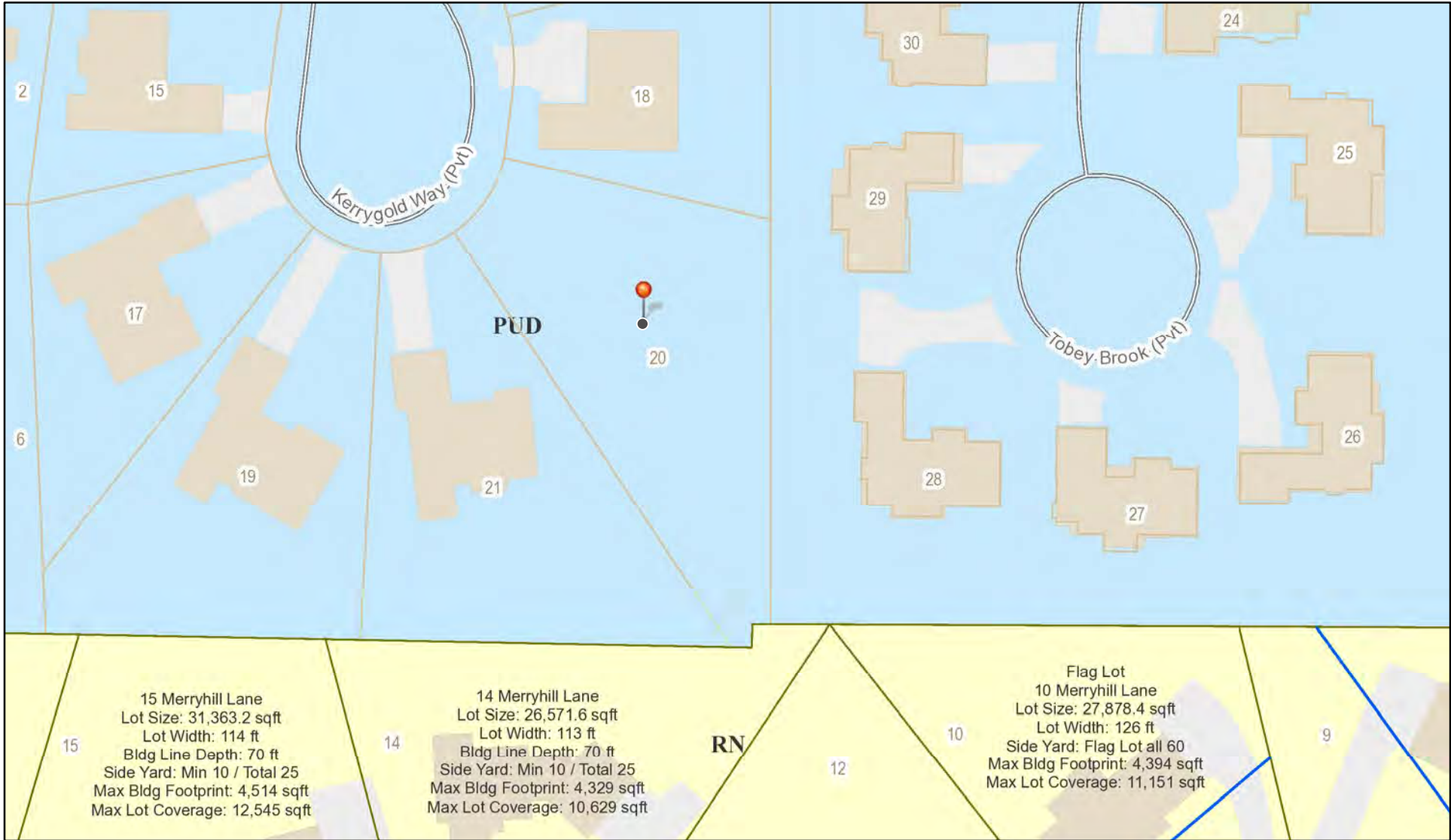
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

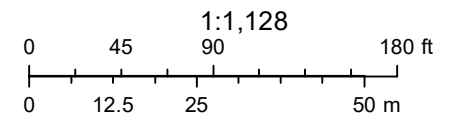
Project Description: Applicant is requesting design review for a one-story, 5,048 square foot single-family home in the Clover Estates neighborhood.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

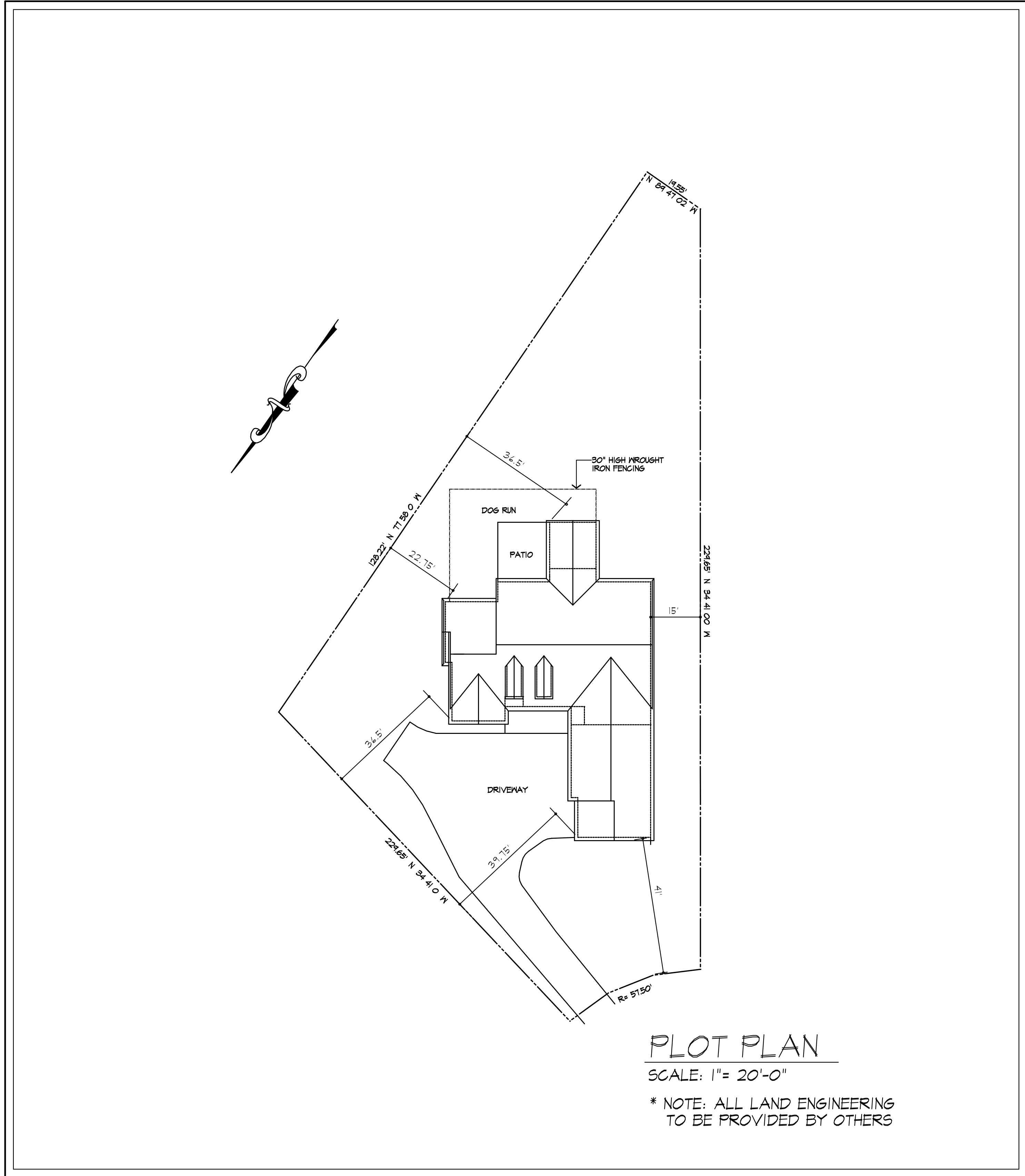
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES; STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SANDY GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
2500 PSI FOOTINGS
3500 PSI FLOOR SLABS
3500 PSI PORCH
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE 5 - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-86. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGING/BRACING.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN. APA RATED SHEATHING EXP-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020).
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF
SLEEPING AREAS (2ND FLOOR) 30 PSF
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S NET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R804.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



LEBEAU RESIDENCE LOT 10 CLOVER ESTATES

DRAWING INDEX

1	TITLE PAGE
2	FRONT/LEFT SIDE ELEVATIONS
3	REAR/RIGHT SIDE ELEVATIONS
4	BASEMENT/FOUNDATION PLAN
5	1ST FLOOR PLAN
6	ROOF PLAN
7	TRUSS DIAGRAMS
8	BUILDING SECTIONS
9	WALL SECTIONS

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS
(2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5


COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.30	.30
2. CEILING R-FACTOR	44	44
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 2I 2I/BAND JSTS
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.1.1
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.5
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.9.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.1 REQUIREMENTS.

BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R802.11.1



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09/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
M/M JIM LEBEAU

DRAWING:
TITLE PAGE

DRAWN: MGM	CHECKED: FJM
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DATE: SEPTEMBER 2023


SCALE: 1/4"=1'-0"

JOB NO.: 23M494B

SHEET:

1

OF **9** SHEETS





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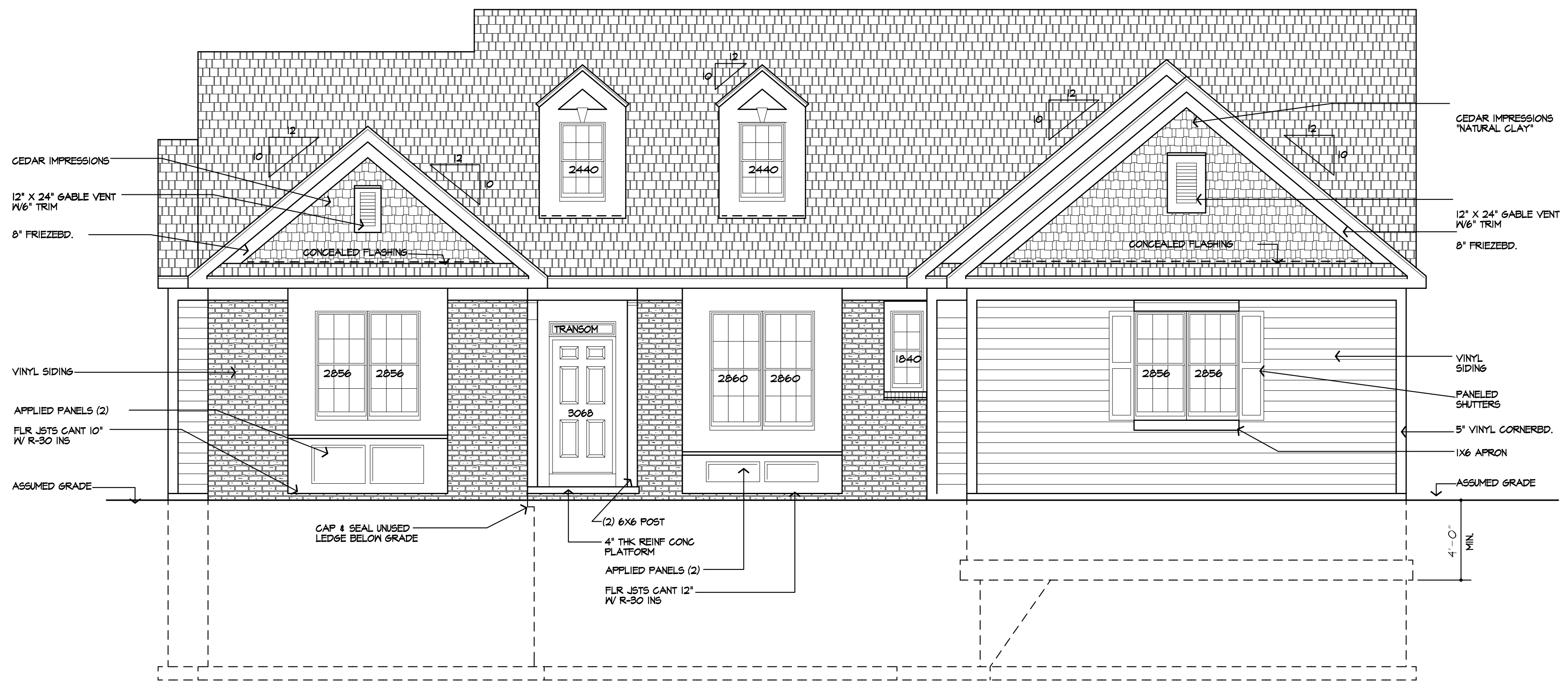
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- ROOFING: 30 YEAR ROOF SHINGLES
- ROOF VENTING: "SHINGLEVENT" RIDGE VENT
- FASCIAS: 8" ALUMN
- FRIEZEBDS: 8" VINYL
- CORNERBDS: 5" VINYL
- CASINGS: 6" VINYL
- SIDING: HORIZONTAL AS SELECTED
- OVERHANGS: 12"
- RAKE OVERHANGS: 12"
- MIN FTG. DEPTH: 4'-0"
- CLG HT. 1ST FLOOR: 4'-1 1/8"
- WINDOW UNIT HT 1ST FLOOR: 8'-0"
- WINDOW MFR: ANDERSEN OR EQUAL (PROVIDE SAFETY GLAZING PER R.308.4)

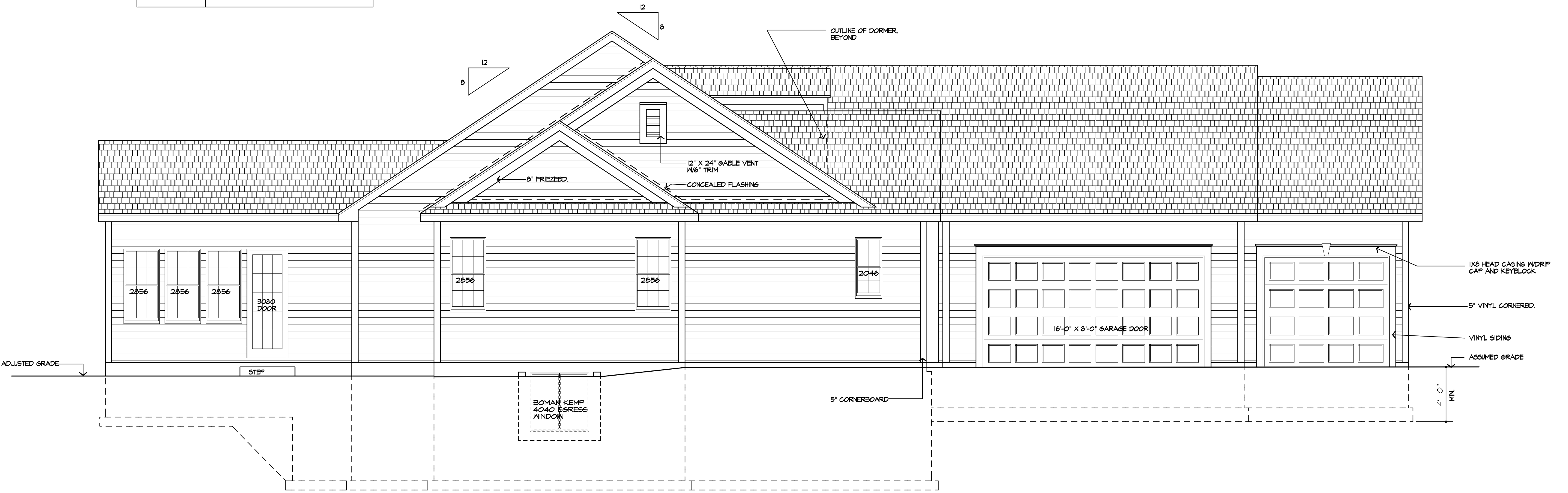
EXTERIOR COLOR SCHEDULE

ROOFING	ELK 'WEATHERWOOD'
SIDING	VYTEC EMINENCE COLOR: TBD
SHINGLES	'CEDAR IMPRESSIONS' PERFECTION SHINGLES, COLOR: TBD
TRIM	WHITE
SHUTTERS	AS SELECTED
BRICK	CHEROKEE SANFORD BRICK #11 SILAS LUCAS, OR STONE (SEE BELOW)
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE CSV-2040
FRONT DOOR	THERMA-TRU FIBERGLASS + SL.
HARDWARE	SCHLAGE # PLYMOUTH HANDSET



FRONT ELEVATION

AREA: 2622 S.F.



LEFT SIDE ELEVATION

09/21/2023

PROJECT:
 LOT 10 CLOVER ESTATES
 LEBEAU RESIDENCE

CLIENT:
 M/M JIM LEBEAU

DRAWING:
 FRONT / LEFT SIDE ELEVATIONS

DRAWN: MSM
CHECKED: PJM

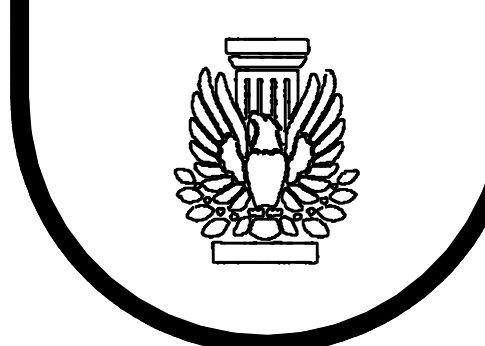
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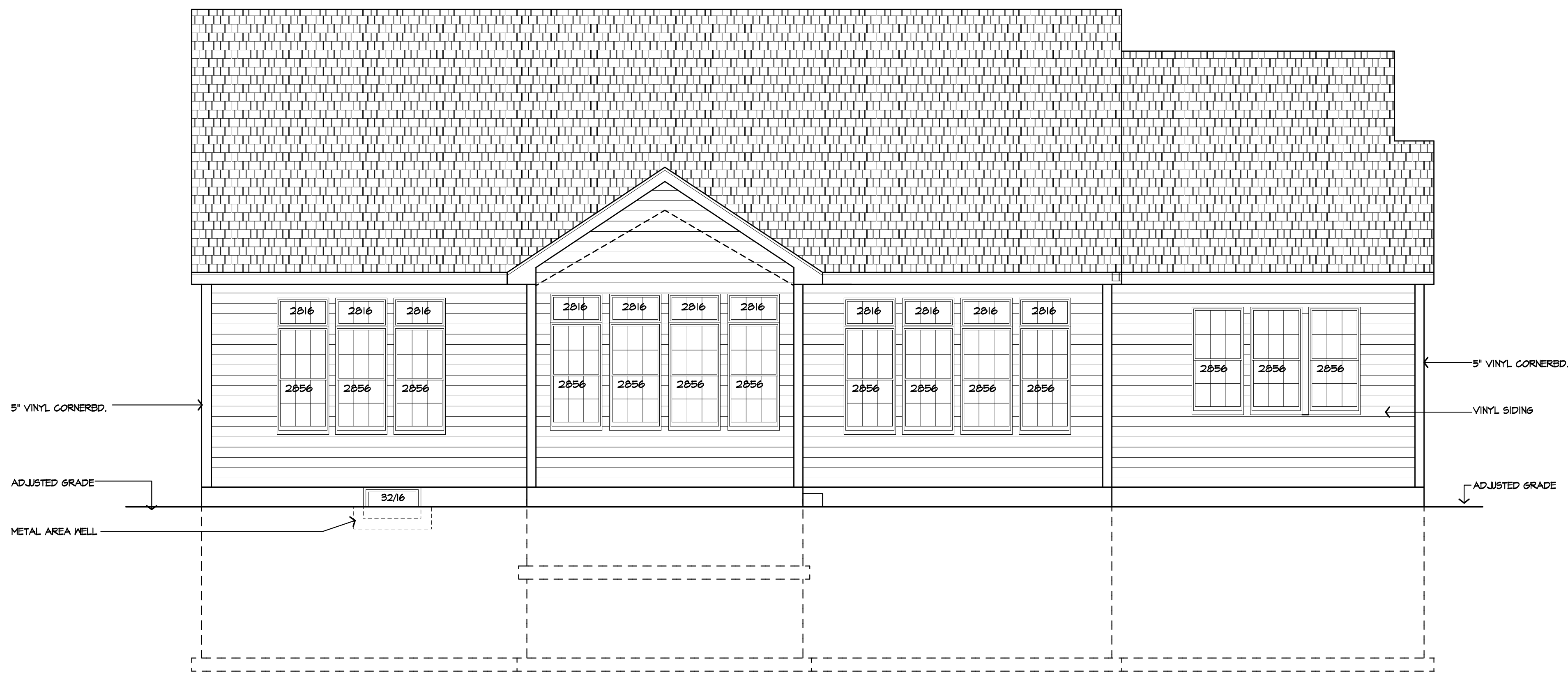
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JOB NO.: 23M494B

SHEET:

2
 OF 9 SHEETS





REAR ELEVATION

UNLESS OTHERWISE NOTED

ROOFING: 30 YEAR ROOF SHINGLES
 ROOF VENTING: "SHINGLEVENT" RIDGE VENT
 FASCIAS: 8" ALUMN
 FRIEZEBDS: 8" VINYL
 CORNERBDS: 5" VINYL
 CASINGS: 6" VINYL
 SIDING: HORIZONTAL AS SELECTED
 OVERHANGS: 12"
 RAKE OVERHANGS: 12"
 MIN FTG. DEPTH: 4'-0"

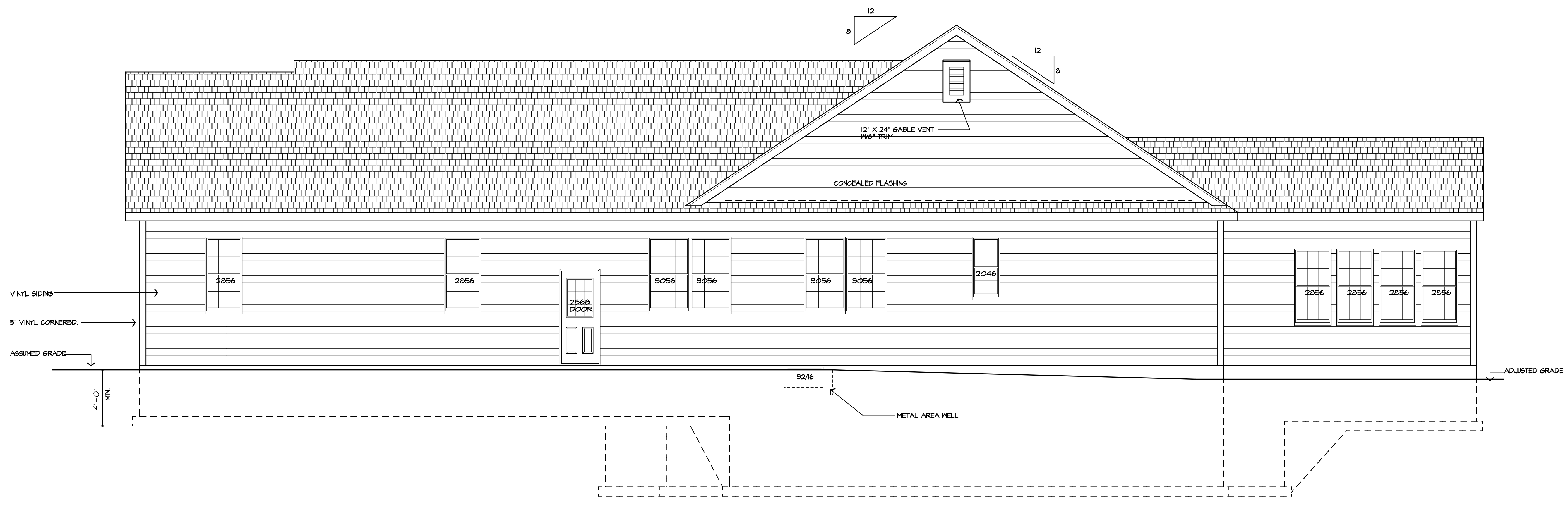
CLG HT.
 1ST FLOOR: 9'-1 1/8"

WINDOW UNIT HT
 1ST FLOOR: 8'-0"

WINDOW MFR: ANDERSEN OR EQUAL
 (PROVIDE SAFETY GLAZING PER R.308.4)

EXTERIOR COLOR SCHEDULE

ROOFING	ELK "WEATHERWOOD"
SIDING	VYTEC EMINENCE COLOR: TBD
SHINGLES	"CEDAR IMPRESSIONS" PERFECTION SHINGLES, COLOR: TBD
TRIM	WHITE
SHUTTERS	AS SELECTED
BRICK	CHEROKEE SANFORD BRICK #11 SILAS LUCAS, OR STONE (SEE BELOW)
STONE	CULTURED STONE ASPEN PRESSED FIELDSTONE GSV-2040
FRONT DOOR	THERMA-TRU FIBERGLASS + SL.
HARDWARE	SCHLAGE # PLYMOUTH HANDSET



RIGHT SIDE ELEVATION



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09/21/2023

PROJECT:
 LOT 10 CLOVER ESTATES
 LEBEAU RESIDENCE

CLIENT:
 M/M JIM LEBEAU

DRAWING:
 REAR / RIGHT SIDE ELEVATIONS

DRAWN: MSM	CHECKED: FJM
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DATE: SEPTEMBER 2023


SCALE: 1/4"=1'-0"

JOB NO.: 23M494B

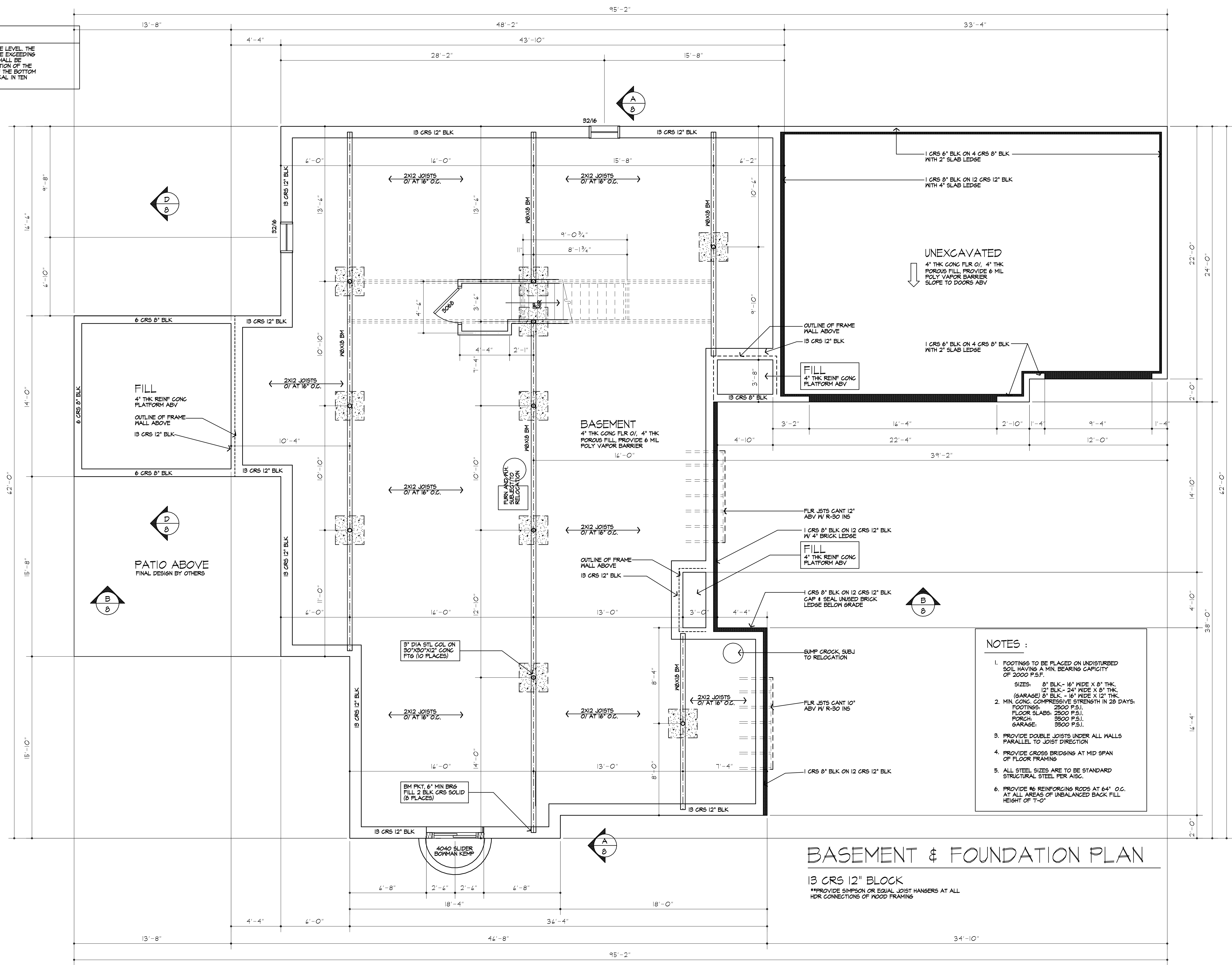
SHEET:

3

OF 9 SHEETS



STEPPED FOOTING NOTE;
 R402.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10% SLOPE)



- NOTES :**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.
 SIZES: 8" BLK - 16" WIDE X 8" THK.
 12" BLK - 24" WIDE X 8" THK.
 (GARAGE) 8" BLK - 16" WIDE X 12" THK.
 - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:
 FOOTINGS: 2500 P.S.I.
 FLOOR SLABS: 2500 P.S.I.
 PORCH: 2500 P.S.I.
 GARAGE: 3500 P.S.I.
 - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
 - PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
 - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
 - PROVIDE #6 REINFORCING RODS AT 64" O.C. AT ALL AREAS OF UNBALANCED BACK FILL HEIGHT OF 7'-0"

BASEMENT & FOUNDATION PLAN

13 CRS 12" BLOCK
 **PROVIDE SIMPSON OR EQUAL JOIST HANGERS AT ALL HDR CONNECTIONS OF WOOD FRAMING



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09/21/2023

PROJECT:
 LOT 10 CLOVER ESTATES
 LEBEAU RESIDENCE

CLIENT:
 M/M JIM LEBEAU

DRAWING:
 BASEMENT / FOUNDATION PLAN

DRAWN: M/M
CHECKED: P/JM

DATE: SEPTEMBER 2023

SCALE: 1/4"=1'-0"

JOB NO.: 23M4945

SHEET:

4
 OF 9 SHEETS





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09/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
1ST FLOOR PLAN

DRAWN: MCM
CHECKED: FJM

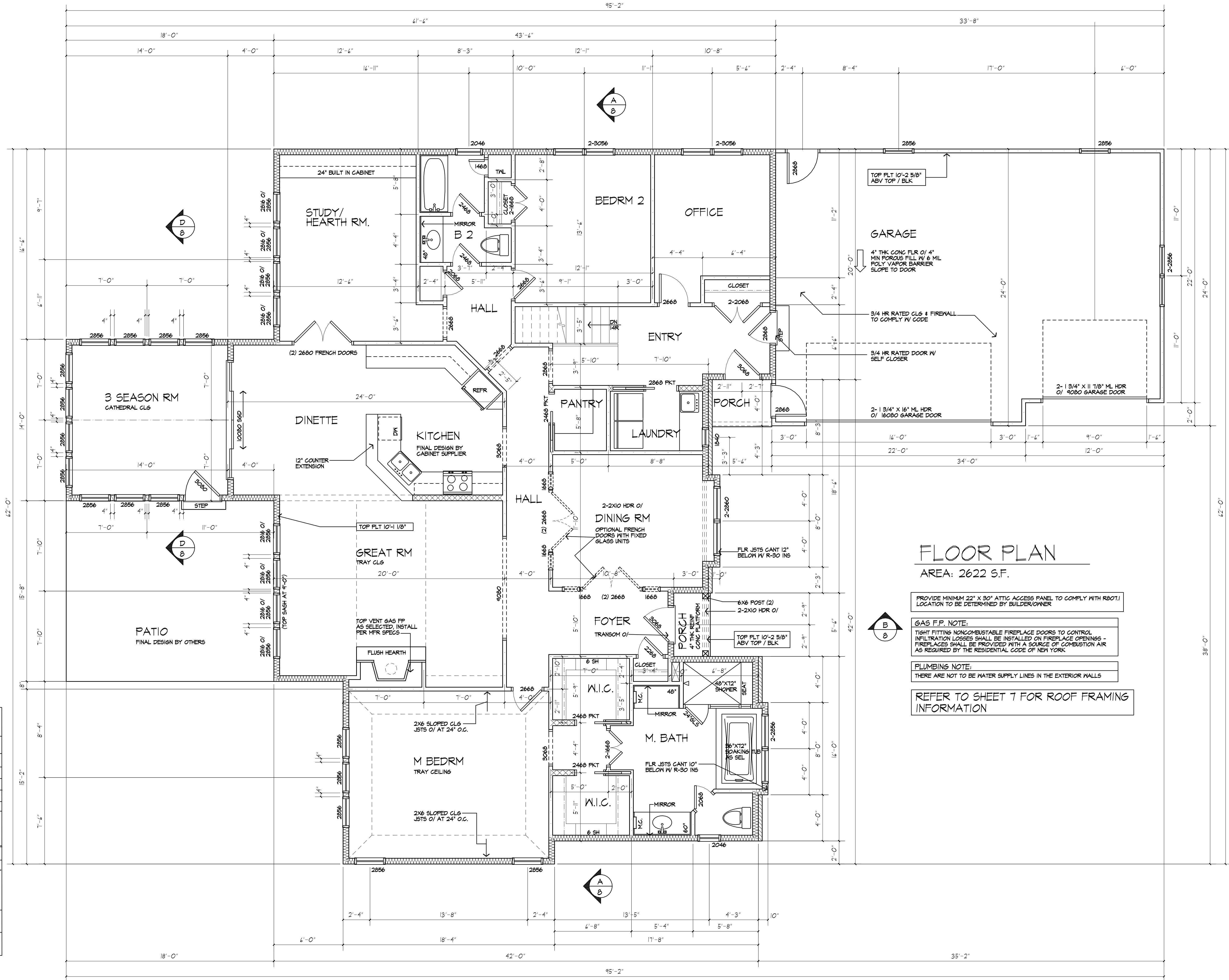
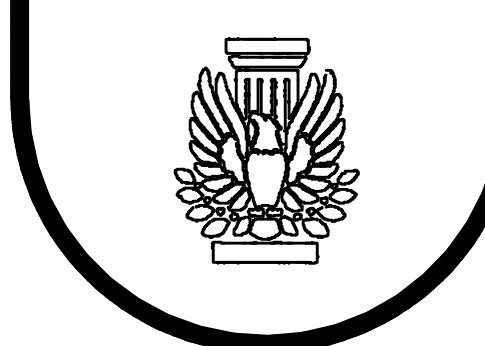
DATE: SEPTEMBER 2023

SCALE: 1/4"=1'-0"

JOB NO.: 23M4945

SHEET:

5
OF 9 SHEETS



FLOOR PLAN
AREA: 2622 S.F.

- PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R207.1. LOCATION TO BE DETERMINED BY BUILDER/OWNER
- GAS F.P. NOTE:**
TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK.
- PLUMBING NOTE:**
THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS
- REFER TO SHEET 7 FOR ROOF FRAMING INFORMATION

HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENINGS	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 WALL
PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 WALL
GLUE AND NAIL ALL HEADERS

WALL LEGEND

- 2X6 STUDS AT 16" O.C. w/ INSULATION
- 2X6 STUDS AT 16" O.C. (INTERIOR WALL)
- 2X4 STUDS @ 16" O.C.
- (3) STUDS GLUE AND NAIL WITH SOLID BEARINGS BELOW - OMIT TOP PLTS
- PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'-0"
- CUSTOM WINDOW SIZES ARE TO BE VERIFIED BY FIELD MEASUREMENTS.
- USE SIMPSON OR EQUAL METAL HANSERS AT ALL HDR CONNECTIONS

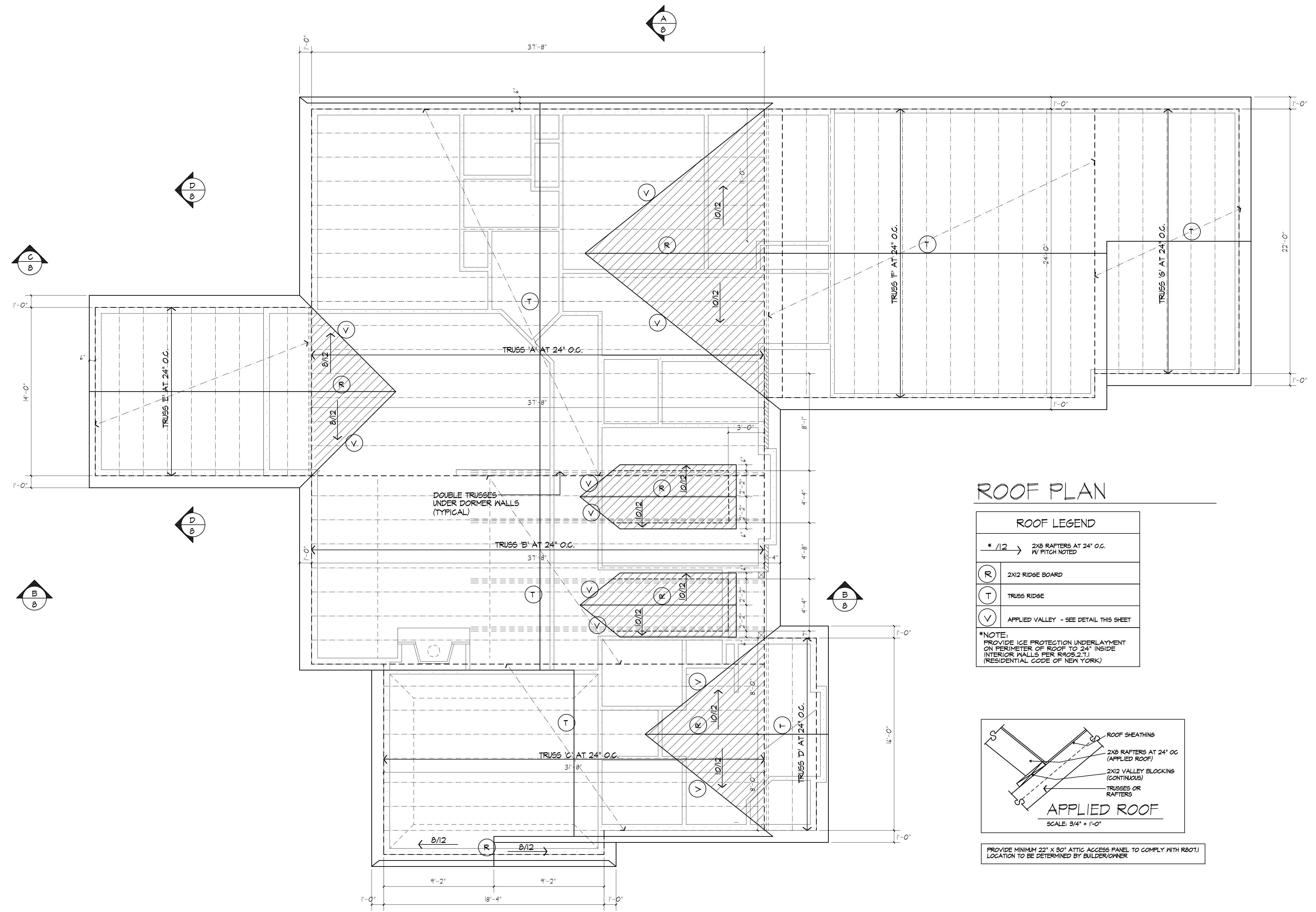


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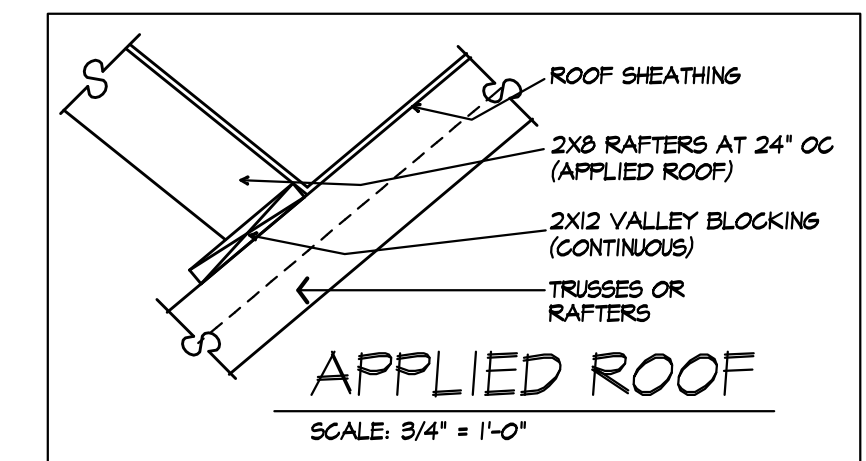
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ROOF PLAN

ROOF LEGEND	
* /12	2x8 RAFTERS AT 24" O.C. IN FITCH NOTED
(R)	2x12 RIDGE BOARD
(T)	TRUSS RIDGE
(V)	APPLIED VALLEY - SEE DETAIL THIS SHEET

***NOTE:**
PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER R905.2.1 (RESIDENTIAL CODE OF NEW YORK)



PROVIDE MINIMUM 22" X 30" ATTIC ACCESS PANEL TO COMPLY WITH R801.1 LOCATION TO BE DETERMINED BY BUILDER/OWNER

09/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
MM JIM LEBEAU

DRAWING:
ROOF PLAN

DRAWN: MM	CHECKED: PJM
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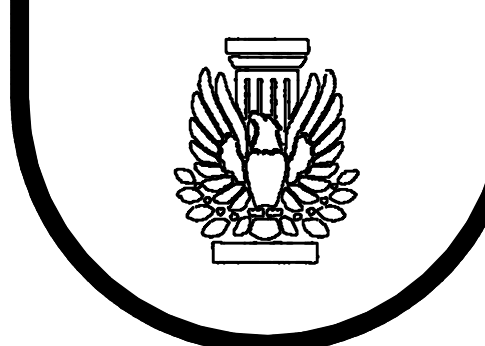
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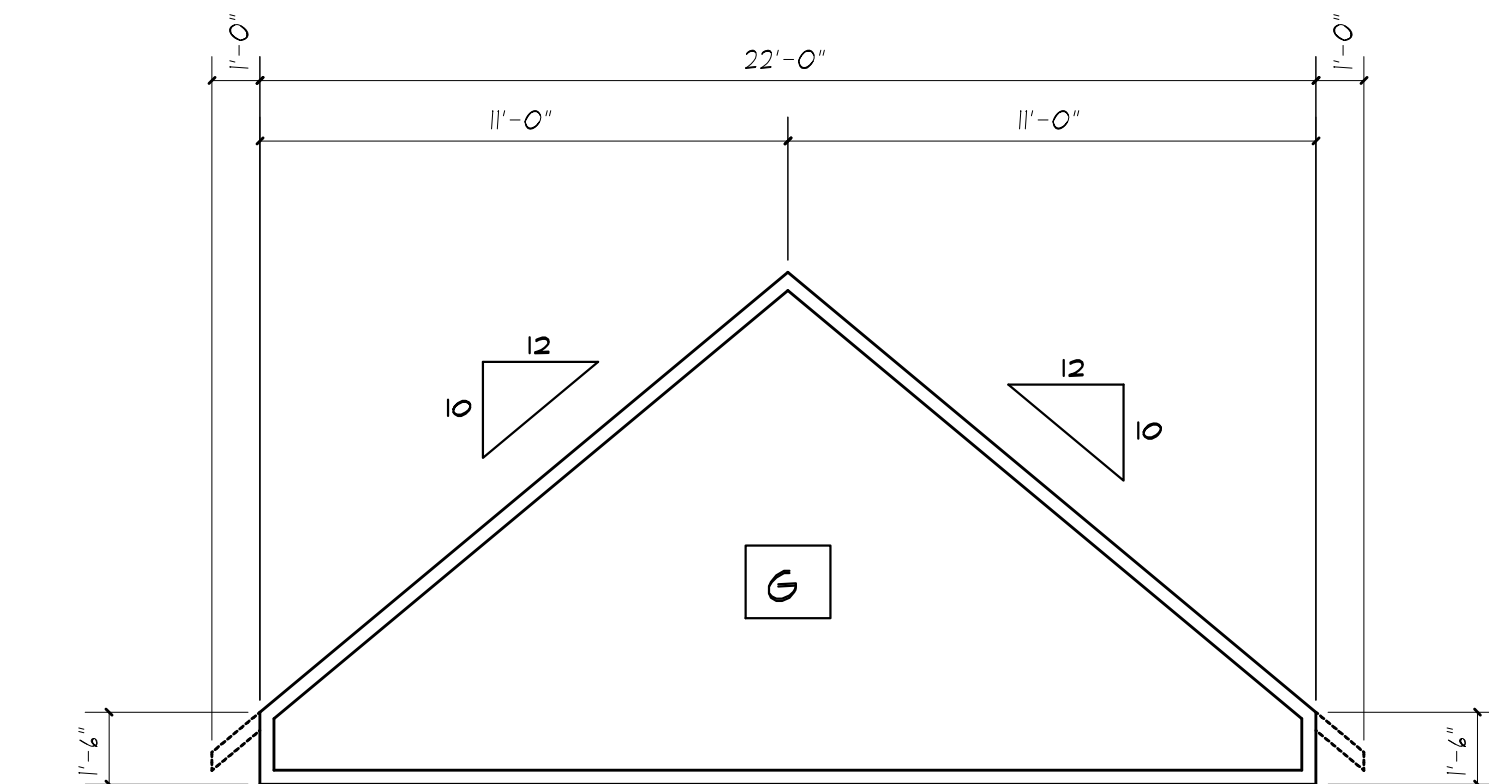
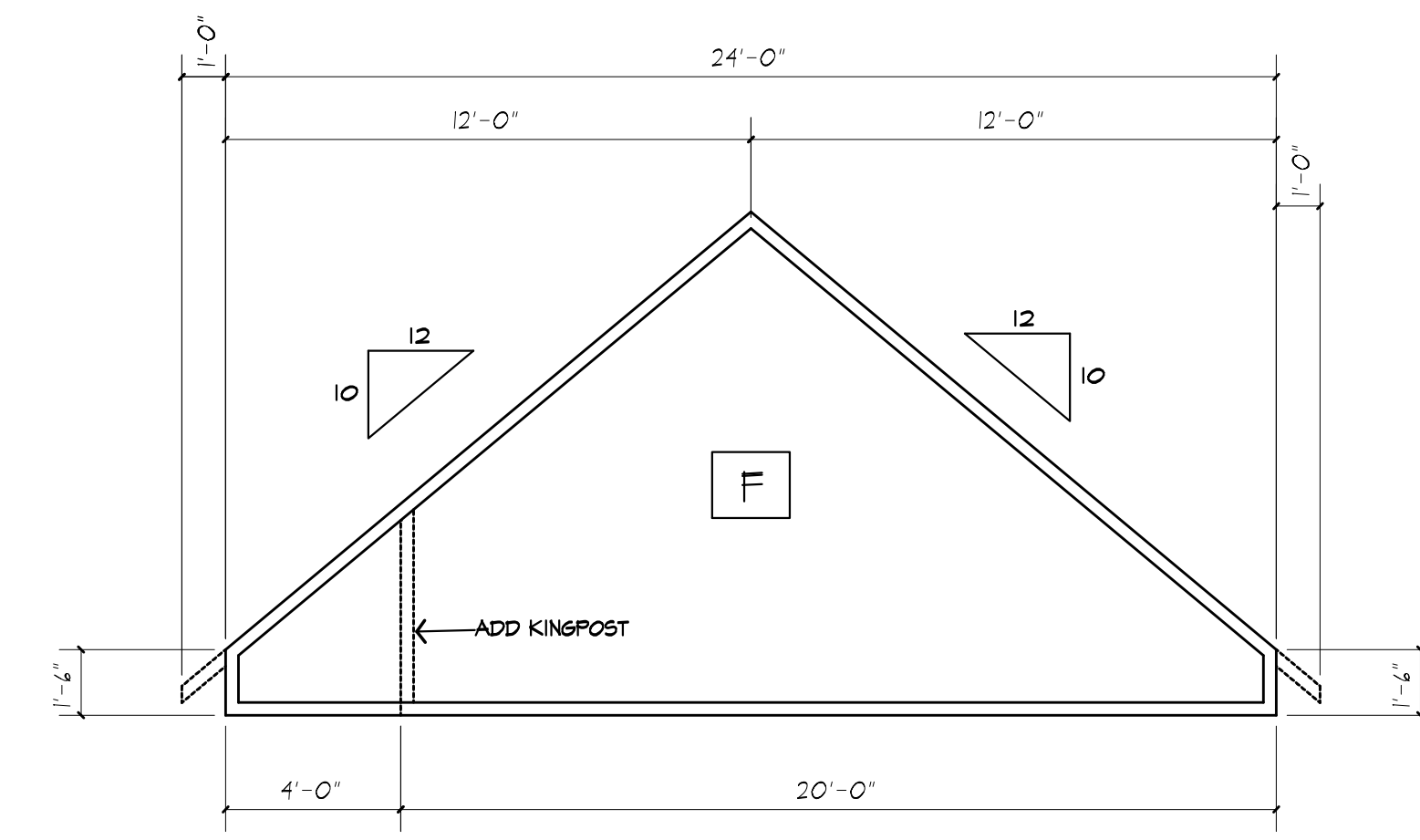
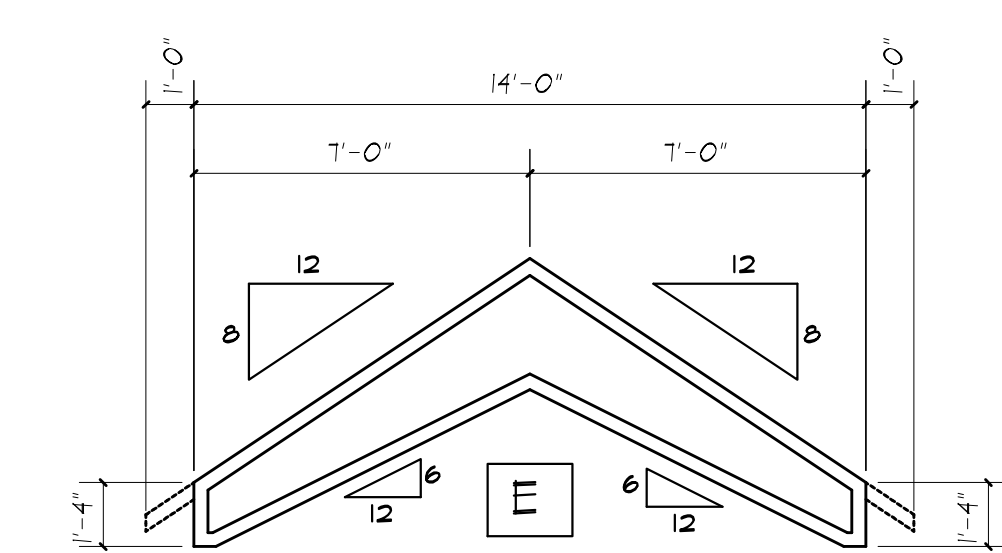
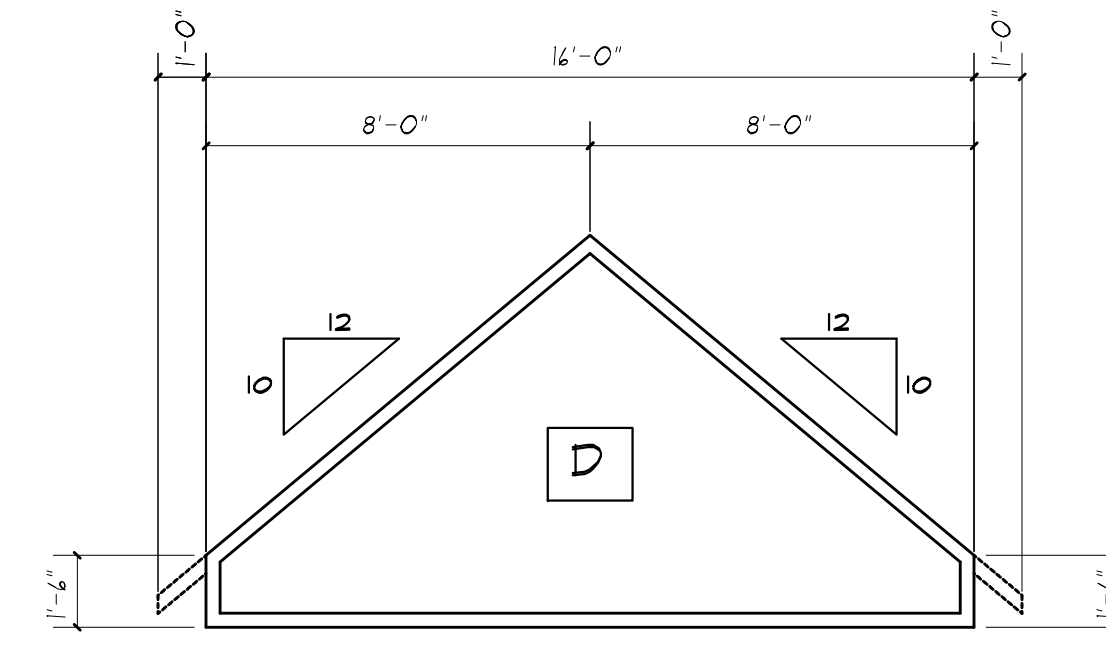
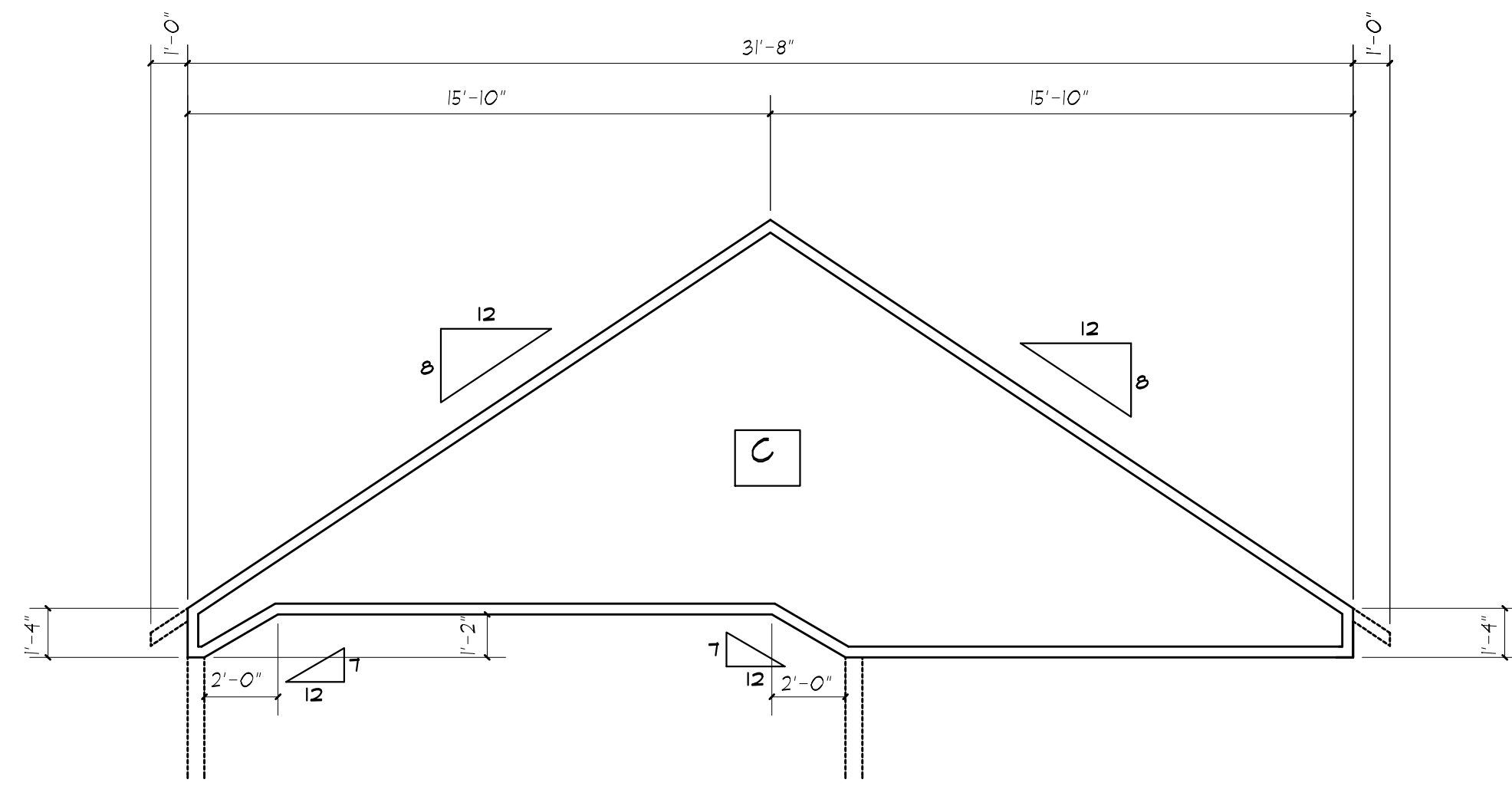
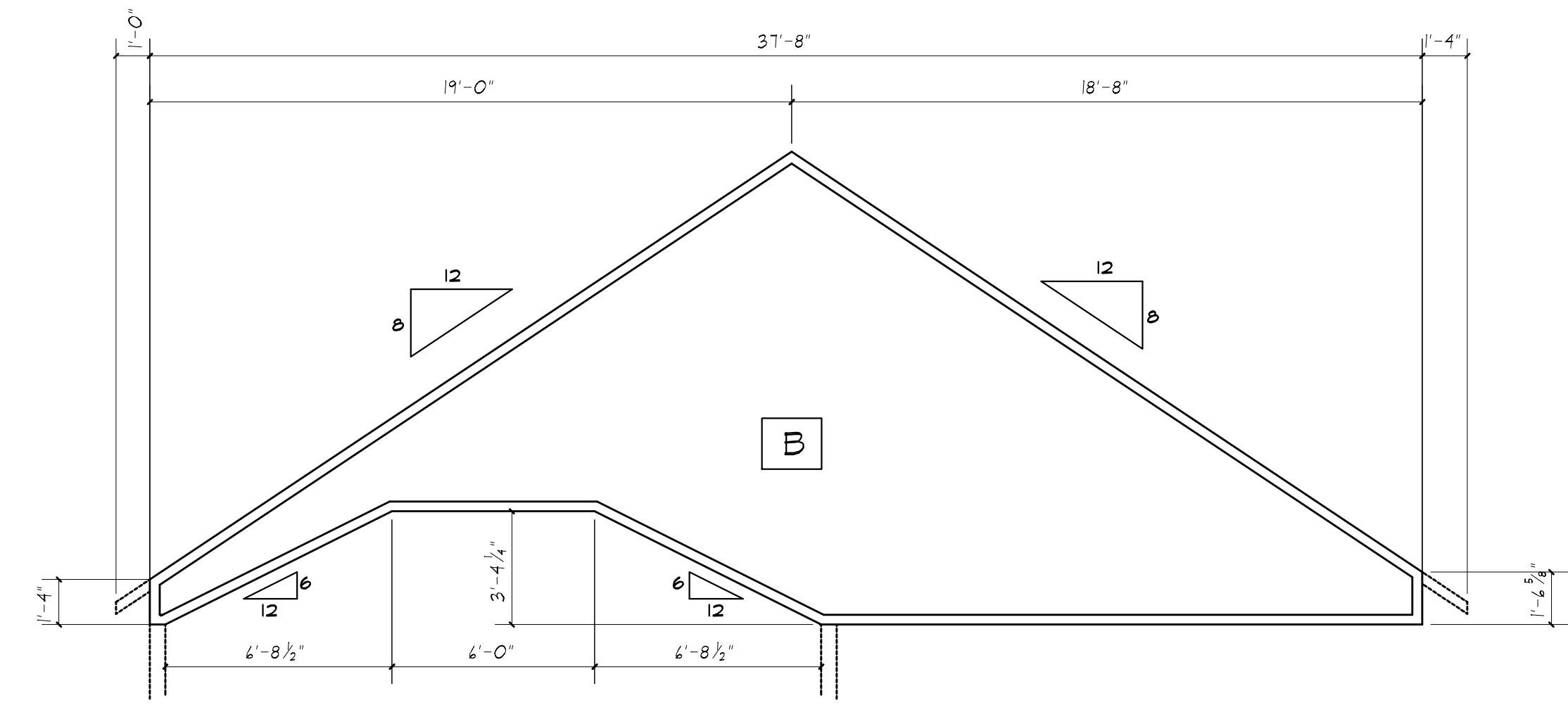
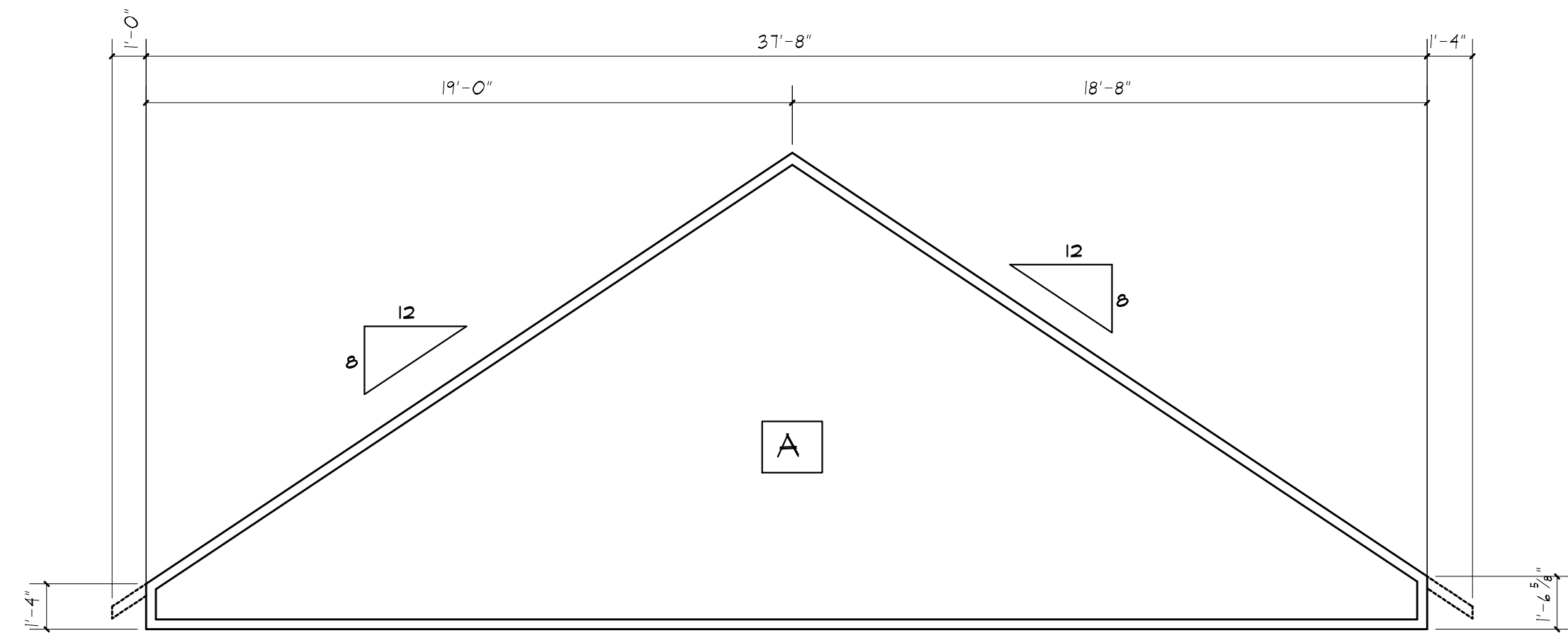
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JOB NO.: 23M4945

SHEET:

6
OF 9 SHEETS





TRUSS DIAGRAMS

FINAL DESIGN BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO START OF CONSTRUCTION.



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09/21/2023

PROJECT:
 LOT 10 CLOVER ESTATES
 LEBEAU RESIDENCE

CLIENT:
 M/M JIM LEBEAU

DRAWING:
 TRUSS DIAGRAMS

DRAWN: MM	CHECKED: PJM
---------------------	------------------------

DATE: SEPTEMBER 2023

SCALE: 1/4"=1'-0"

JOB NO.: 23M494B

SHEET:

7
 OF 9 SHEETS





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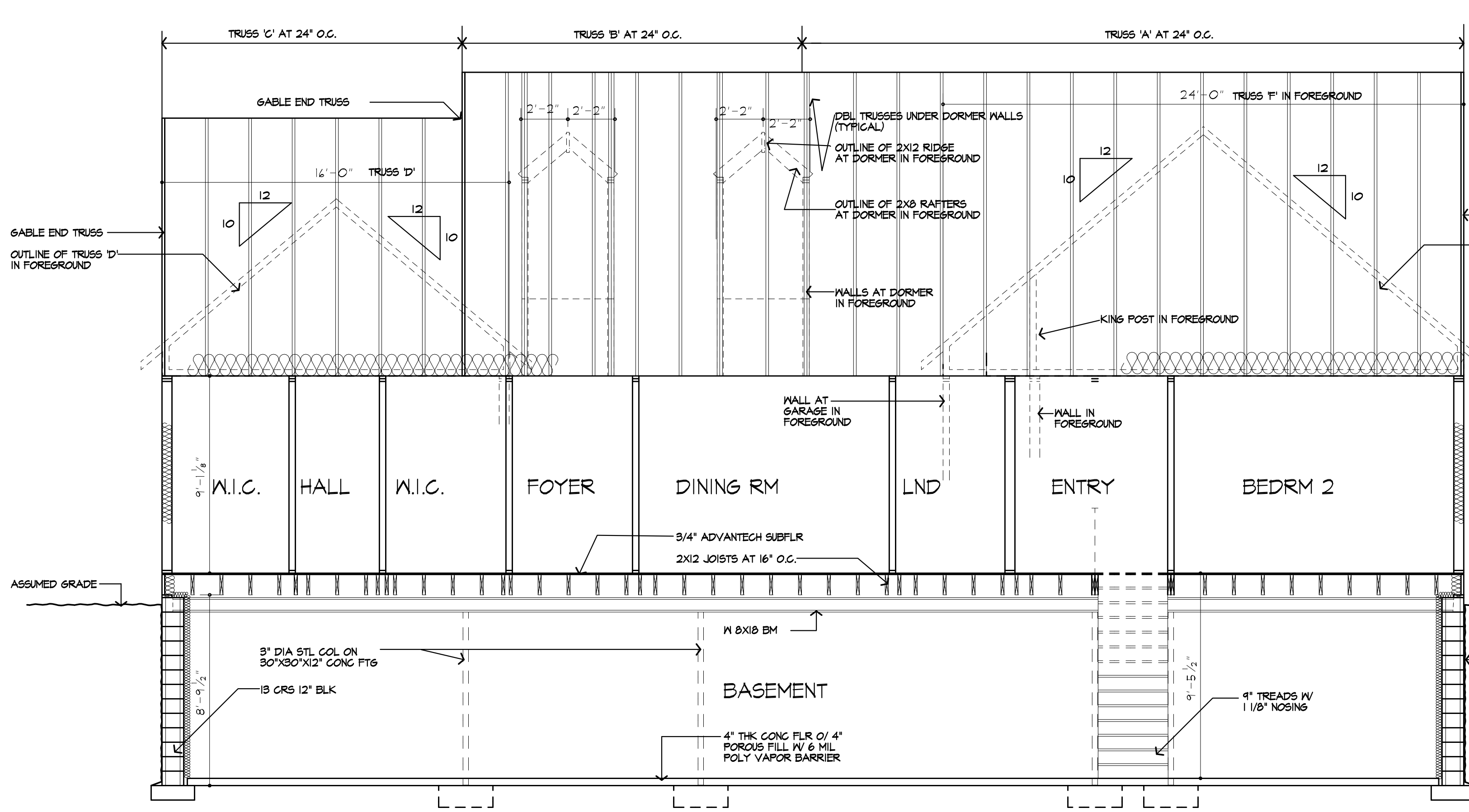
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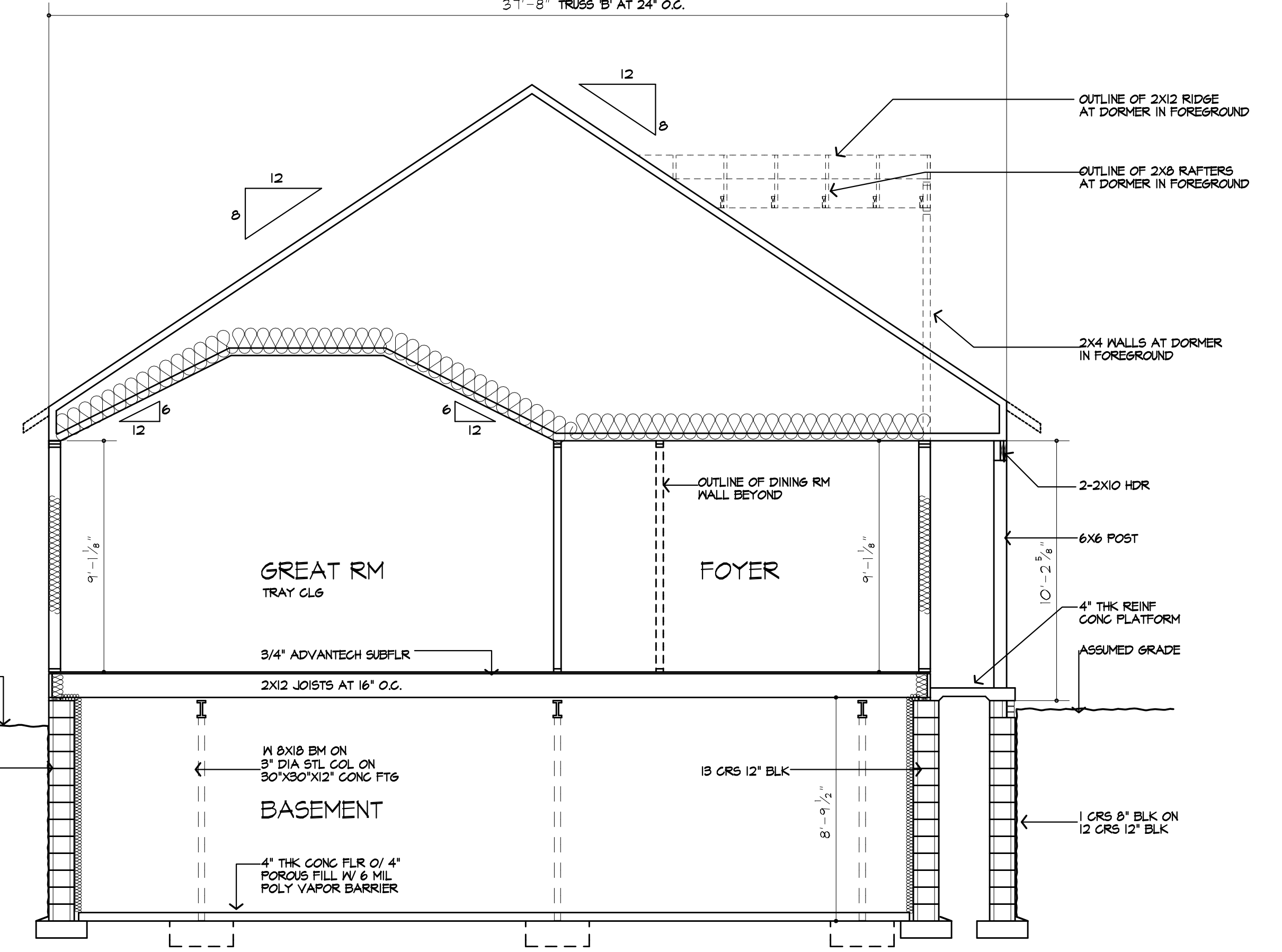
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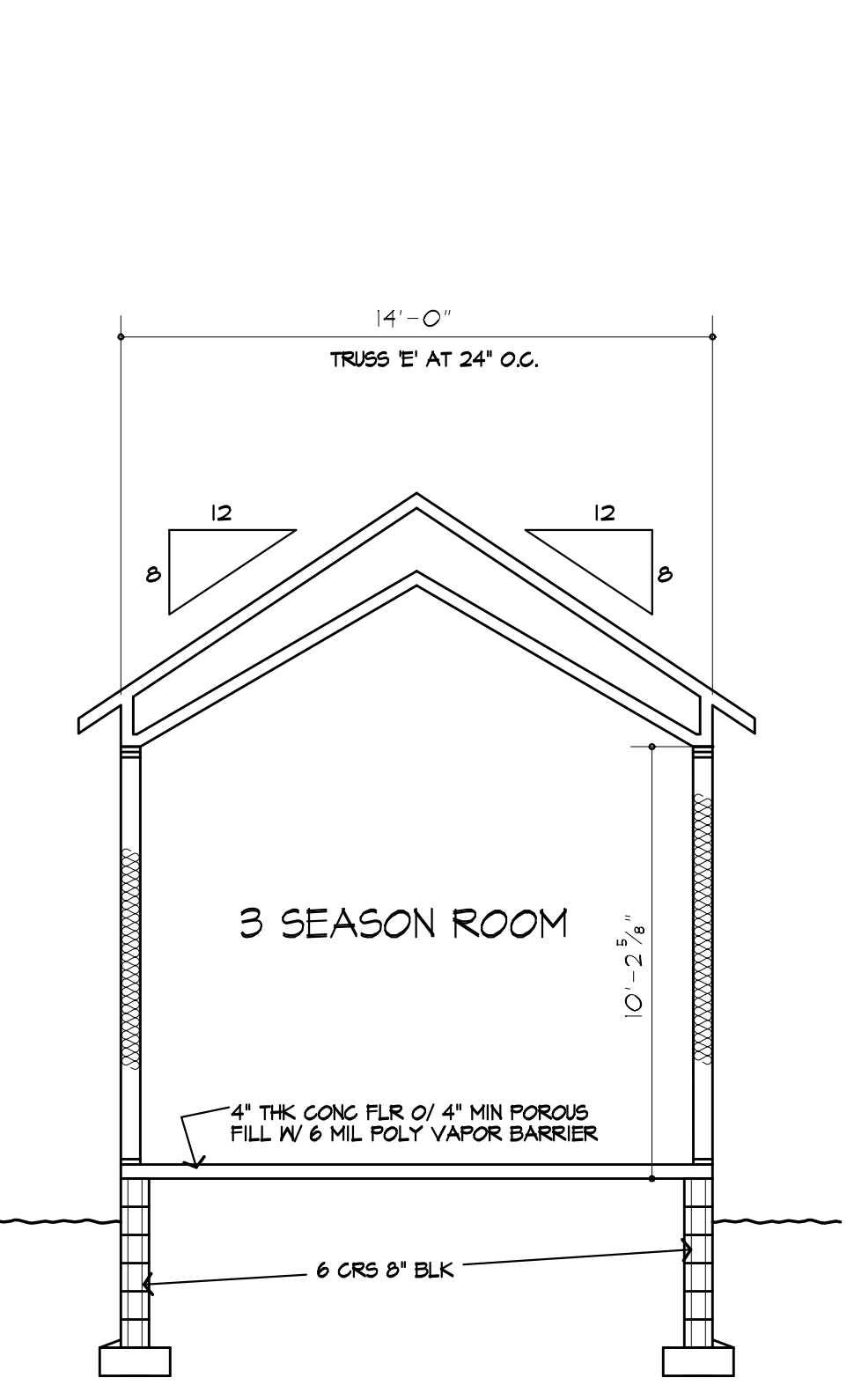
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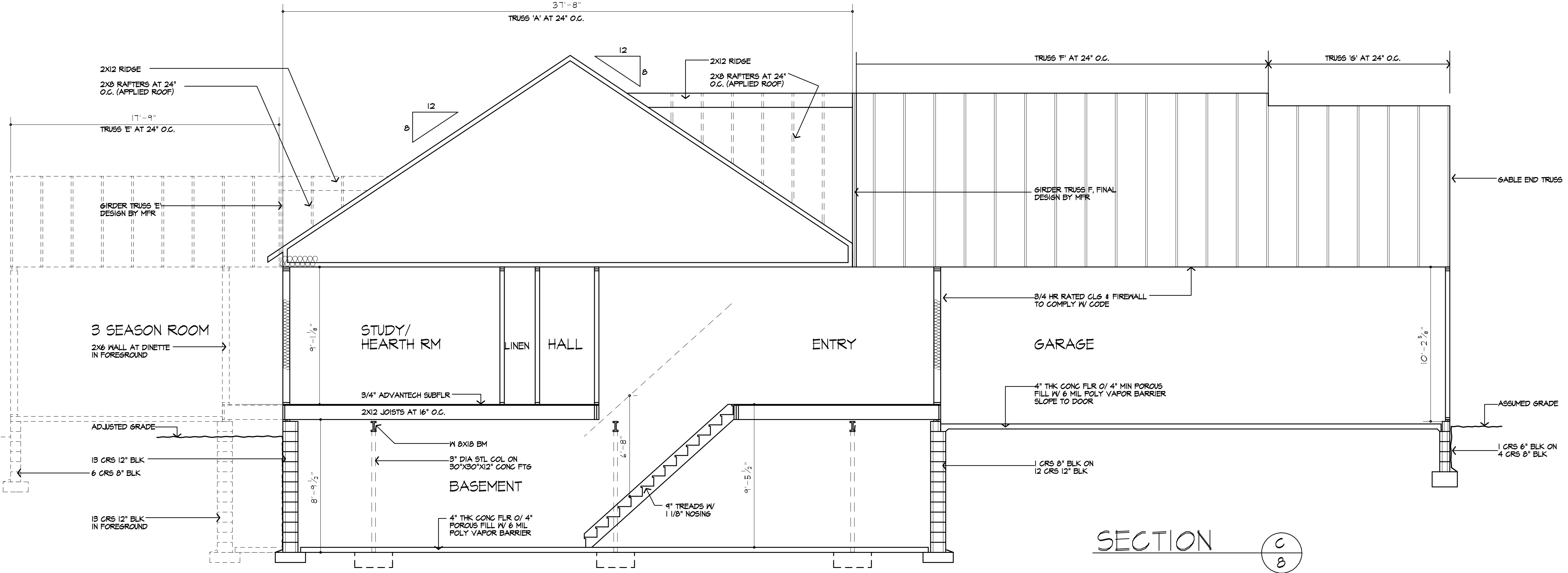
SECTION A



SECTION B



SECTION D



SECTION C

09/21/2023

PROJECT:
LOT 10 CLOVER ESTATES
LEBEAU RESIDENCE

CLIENT:
M/M JIM LEBEAU

DRAWING:
BUILDING SECTIONS

DRAWN: M/M
CHECKED: FJM

DATE: SEPTEMBER 2023

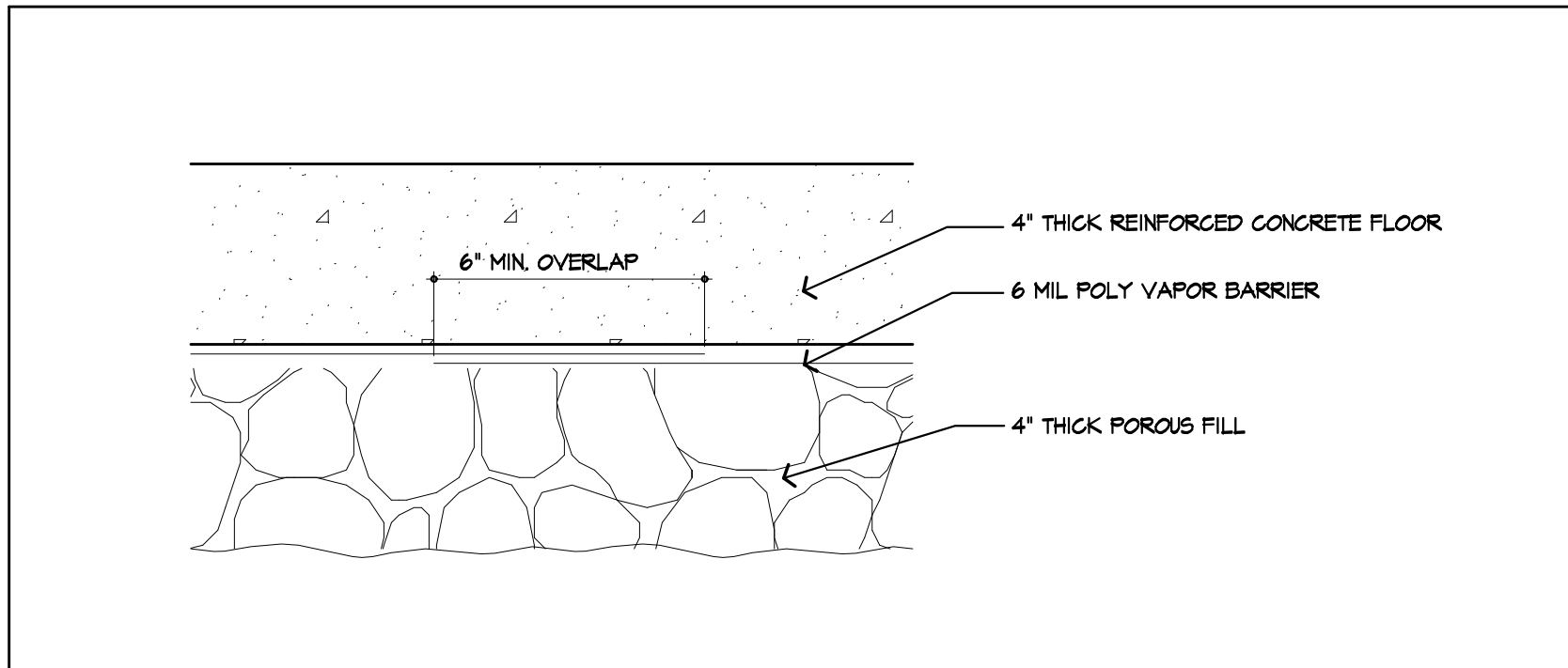
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JOB NO.: 23M494B

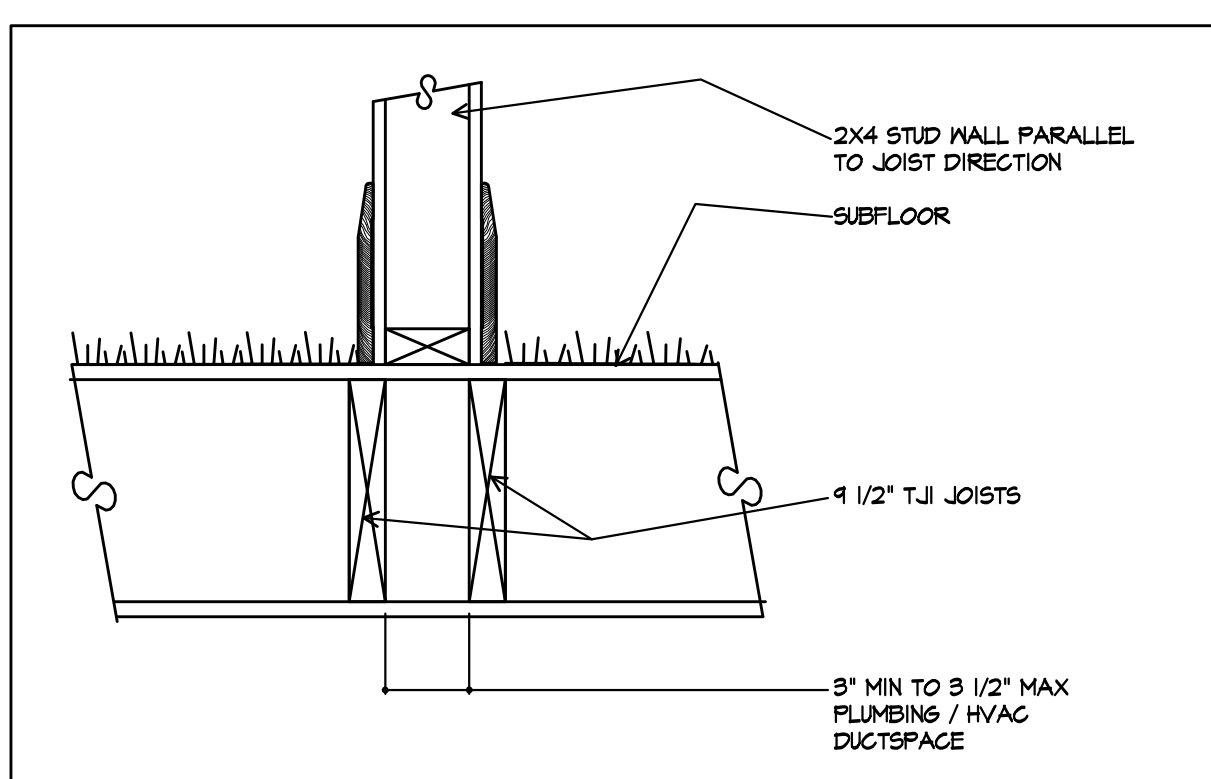
SHEET:

8
OF 9 SHEETS

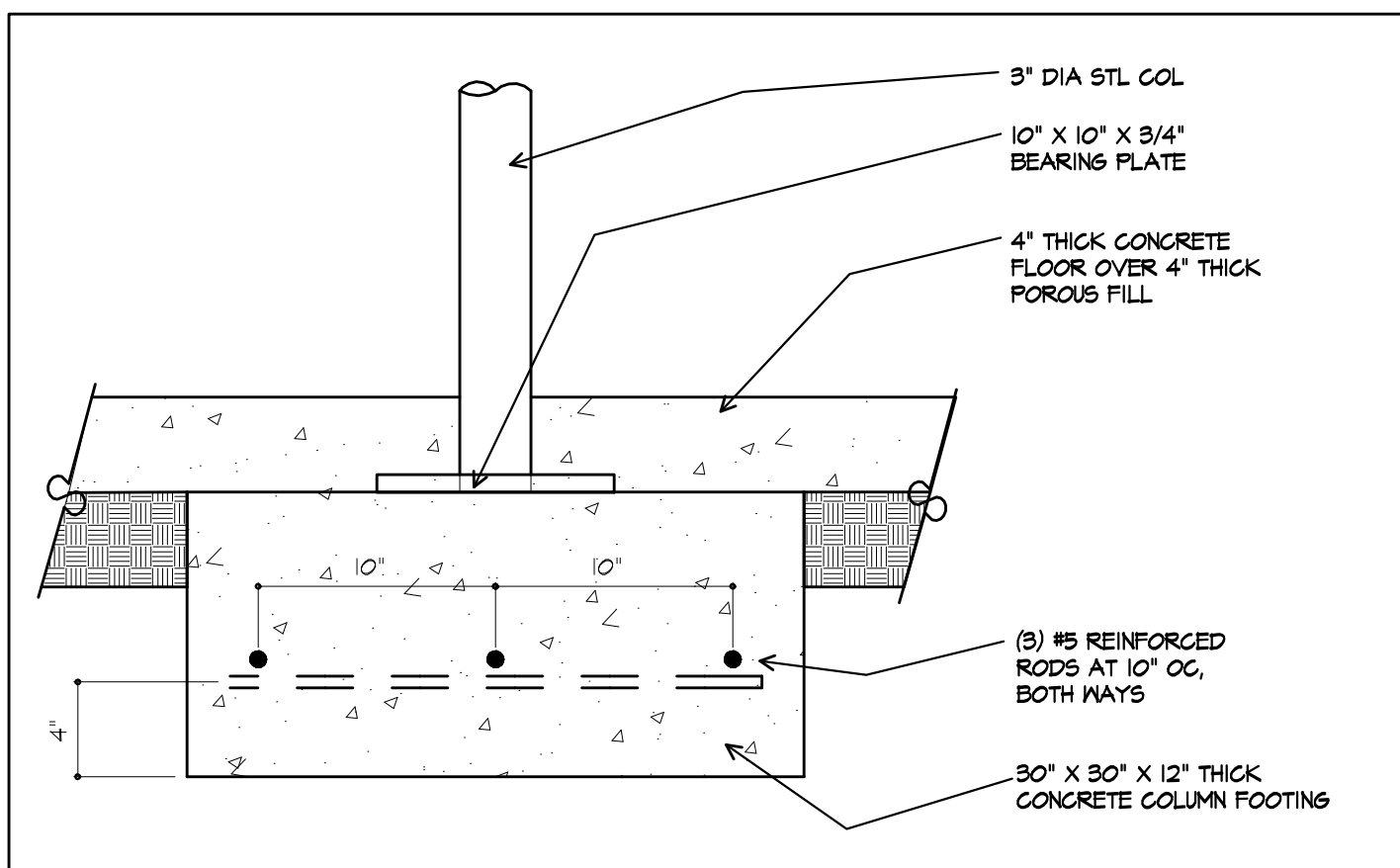




3
9
VAPOR RETARDER @ BASEMENT FLOORS & ATTACHED GARAGES
SCALE: 3" = 1'-0"



1
9
DOUBLE JOISTS
SCALE: 1/2" = 1'-0"



2
9
COL. FOOTING
SCALE: 1/2" = 1'-0"

- ### TYPICAL NOTES
- DOOR MANUFACTURER: PELLA ENCOMPASS SLIDING 0.10 CFM IN-SWING HINGED 0.15 CFM PELLA ENTRY DOORS: 0.50 CFM OR LESS
 - WINDOW AIR INFILTRATION PELLA 250 SERIES PELLA ENCOMPASS DOUBLE HUNG 0.30 CFM CASEMENT, AWNING, FIXED 0.05 CFM
 - GAS FIREPLACES: HEAT-N-SLO SLIMLINE 750 NS (SL-750TR)
 - TIGHT FITTINGS NON-COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS. FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE.
 - JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
 - CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS. RIGID POLYISOCYANURATE FOAM-FOIL BOARD CLASS II VAPOR RETARDER ON INTERIOR OF CEILING AND 2X6 FRAMED WALLS. KRATZ BATS
 - MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 50F SHALL BE INSULATED TO A MINIMUM OF R-3
 - JELOW CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
 - DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
 - THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 903.2.2 OF THE 2019 ENERGY CONSERVATION CODE.
 - ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
 - THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

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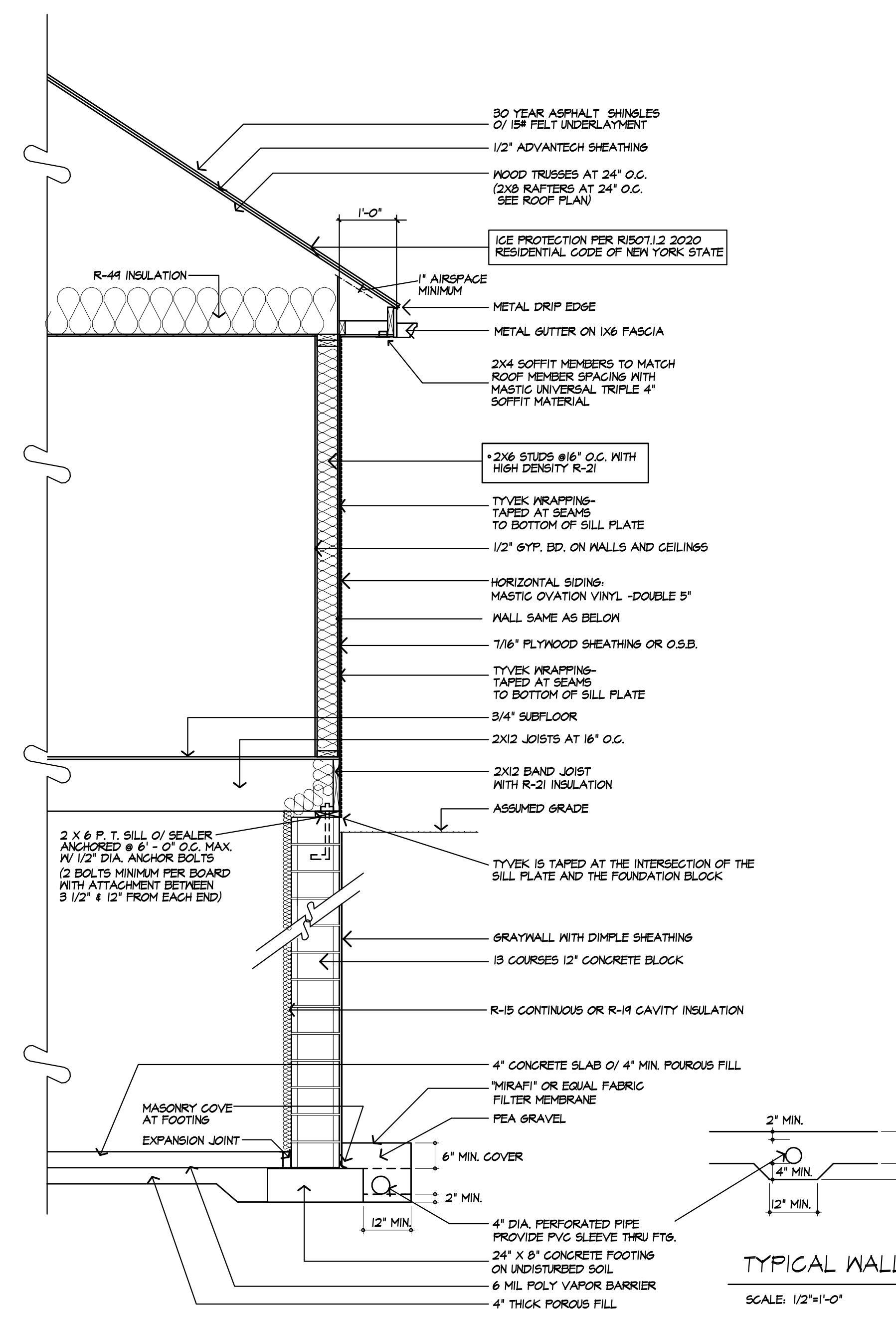


TABLE R404.1.1(1) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D = 8.75 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)		
		SM GR, SH AND SP SOILS	SM GC, SM SH-SC AND M. SOILS	SG, ML-CL AND MORGANIC CL SOILS
		30	45	60
6'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-8"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
7'-4"	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
	7'-4"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
8'-0"	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
	7'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
	8'-0"	#5 AT 12" O.C.	#6 AT 12" O.C.	#6 AT 64" O.C.
8'-8"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#5 AT 12" O.C.
	7'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
9'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#5 AT 12" O.C.
	7'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
10'-0"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#5 AT 12" O.C.
	7'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
10'-0"	8'-0"	#5 AT 12" O.C.	#6 AT 12" O.C.	#6 AT 48" O.C.
	9'-4"	#6 AT 12" O.C.	#6 AT 48" O.C.	#6 AT 40" O.C.
	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
10'-0"	6'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#5 AT 12" O.C.
	7'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
	8'-0"	#5 AT 12" O.C.	#6 AT 12" O.C.	#6 AT 48" O.C.
	9'-0"	#6 AT 12" O.C.	#6 AT 48" O.C.	#6 AT 40" O.C.
10'-0"	10'-0"	#6 AT 64" O.C.	#6 AT 40" O.C.	#6 AT 32" O.C.

FOR 5H: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM.

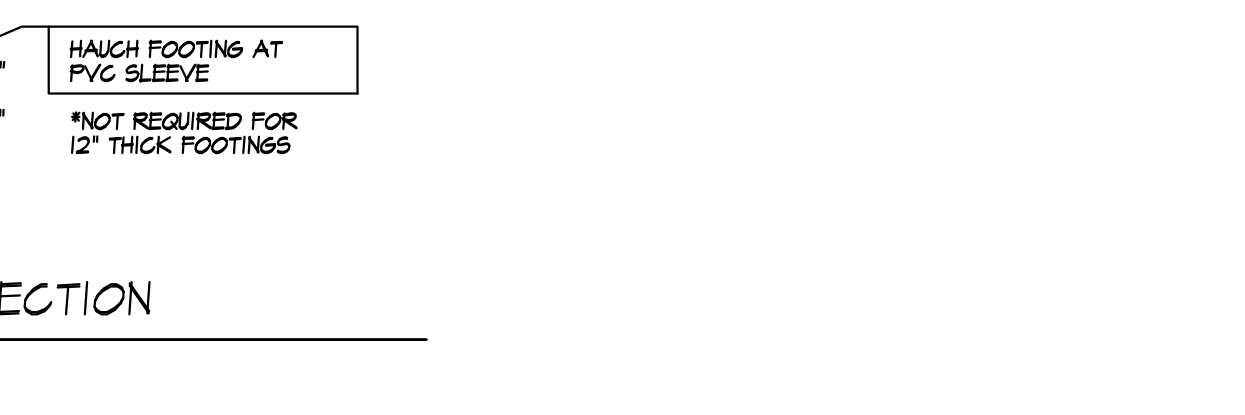
A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.

C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 8.75 INCHES.

D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTINGS THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.



FIRE PROTECTION REQUIREMENTS PER R302.13

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

EXCEPTIONS:

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION F2404, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
 - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M2) PER STORY.
 - FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
- WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY (51-MM) NOMINAL DIMENSION OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

LIGHTING FIXTURE SCHEDULE

OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE
BASEMENT MINIMUM (5) 60 WATT FIXTURE
STAIRWAYS MINIMUM (1) 60 WATT FIXTURE
HALLWAYS MINIMUM (1) 120 WATT FIXTURE
GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE
LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE
WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE
POWDER ROOM MINIMUM (1) 120 WATT FIXTURE
BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE
KITCHEN MINIMUM (1) 120 WATT FIXTURE
DINING ROOM MINIMUM (1) 120 WATT FIXTURE
ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE
ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE
ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE
GARAGE MINIMUM (2) 60 WATT FIXTURE

LIGHTING FIXTURE CONTROL NARRATIVE

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL. LIGHTING OUTLET SHALL BE INSTALLED TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

EXHAUST DUCTS AND EXHAUST OPENINGS

M 1504.2 DUCT LENGTH

THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1506.2

EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	30	80	100	125	150	200	250	300	350	400	60	80	100	125	150	200	250	300		
FAN AIRFLOW RATING CFM @ 0.25 INCH WG Δ																				
DIAMETER (INCHES)	MAXIMUM LENGTH (FEET)																			
3	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		
4	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		
5	NL	81	42	16	2	X	X	X	NL	52	19	12	4	X	X	X	X			
6	NL	NL	56	19	5	5	1	X	NL	NL	140	12	5	2	X	X	X			
7	NL	NL	NL	NL	75	40	17	4	NL	NL	NL	NL	140	55	28	4	X			
8 AND ABOVE	NL	NL	NL	NL	NL	54	11	6	NL	NL	NL	NL	NL	NL	NL	NL	15			

FOR 8: 1 FOOT = 304.8 MM
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/ASHRAE 200-ANNUAL/RAE 51
 B. FOR IRREGULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER
 C. THE TABLE ASSUMES THAT ELBOWS ARE NOT USED. 10 FEET FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH ELBOW INSTALLED IN THE DUCT RUN
 D. X = NO LIMIT ON DUCT LENGTH OF THIS SIZE
 E. X = NOT ALLOWED; ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

WINDOW FALL PROTECTION

R312.2 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

- OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION
- OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090
- OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2

R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE WINDOW, SHALL ALLOW THE WINDOW TO FULLY OPEN. SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

WINDOW GLAZING

R308 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS. GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. EXCEPTIONS:

- GLAZED OPENINGS OF A SIZE THROUGH WHICH A 9" DIA SPHERE IS UNABLE TO PASS
- DECORATIVE GLAZING

R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 96" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. EXCEPTIONS:

- WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE
- GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

R314.3.15 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. IN EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ANY WALL MOUNTED ALARM IN SUCH A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

PROJECT: LOT 10 CLOVER ESTATES LEBEAU RESIDENCE

CLIENT: M/M JIM LEBEAU

DRAWING: WALL SECTIONS

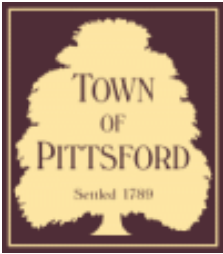
DRAWN: M/M
CHECKED: FJM

DATE: SEPTEMBER 2023

SCALE: 1/4" = 1'-0"

JOB NO.: 23M4945

SHEET: 9 OF 9 SHEETS



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA23-000004

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 35 Long Meadow Circle PITTSFORD, NY 14534

Tax ID Number: 150.16-2-24

Zoning District: RN Residential Neighborhood

Owner: Andrews, George W Jr.

Applicant: Andrews, George W Jr.

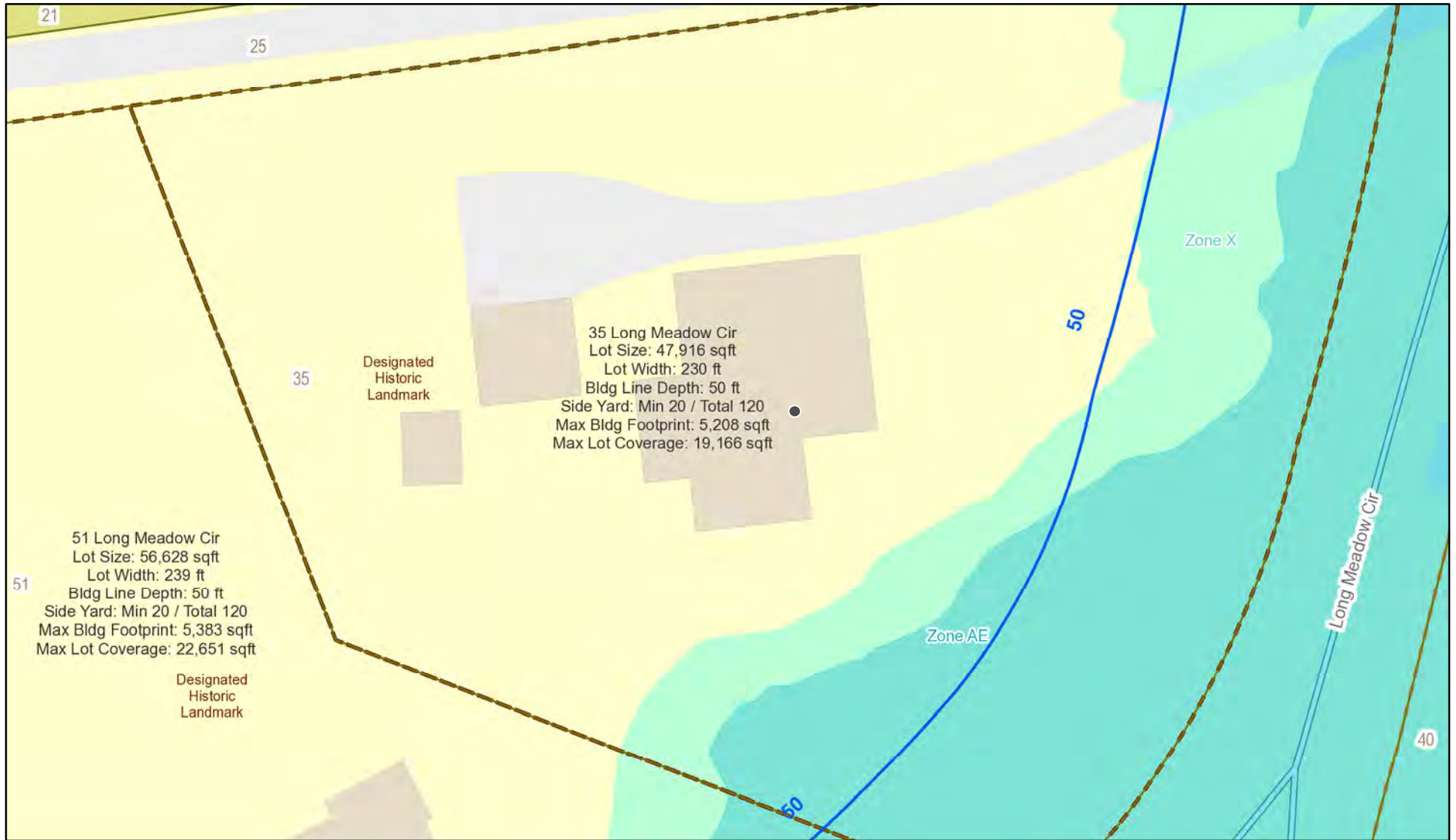
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

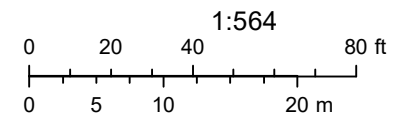
Project Description: Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the exterior painting of their home, which is a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Meeting Date: September 28, 2023

RN Residential Neighborhood Zoning



Printed September 6, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



79

311

80

51

25

21

35

267

Long Meadow Cir

Long Meadow Cir

Long Meadow Cir

Long Meadow Cir

Long Meadow Cir

418

419

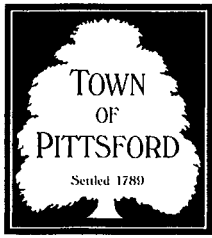
420

72

40

04/03/2021

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TOWN OF PITTSFORD

Design Review & Historic Preservation Board Application for Certificate of Appropriateness

Case # _____

1. Property Address: 35 Long Meadow Circle Pittsford, NY 1453

2. Tax Account Number: 33,9531

3. Applicant's Name: Judith Andrews

Address: 35 Long Meadow Circle Phone: 585-755-3447
Street

Pittsford NY 14534 E-mail: judyandrews10@gmail.com
City State Zip Code

4. Applicant's Interest in Property:

Owner: Lessee: Holding Purchase Offer:

Other (explain): _____

5. Owner (if other than above): _____

Address: _____ Phone: _____
Street

_____ E-mail: _____
City State Zip Code

Has the Owner been contacted by the Applicant? Yes No

6. Application prepared by: owner - Judith Andrews

Address: _____ Phone: _____
Street

_____ E-mail: _____
City State Zip Code

7. Project Design Professional (if Available): _____

Address: _____ Phone: _____
Street

_____ E-mail: _____
City State Zip Code

8. Project Contractor (if Available): Painter - Joe Frongetta
Address: _____ Phone: 585-730-9883
Street

City State Zip Code E-mail: _____

9. Present use of Property: residential

10. Zoning District of Property: Town of Pittsford

11. Is the property located in a Town Designated Historic District?

Yes No

12. Is the property listed on the National Registry of Historic Places?

Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?

Yes No

If Yes, please explain:

Tax Credit application

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

Painting house including trim, metal roof above porch and dormer caps on front of house.

House shingles - Benjamin Moore - Low luster exterior color Tate Olive (HC-112)

Trim - Benjamin Moore - soft gloss exterior color - soft chamois (OC-13)

Roof above porch and caps on dormers (metal) - Benjamin Moore low luster paint for metal - color Bronze Tone

- B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

NA

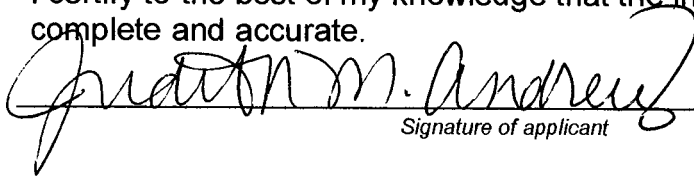
15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

- | | |
|---|---|
| <input type="checkbox"/> Parcel map | <input type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans |
| <input type="checkbox"/> Other materials | |
-

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.


Signature of applicant

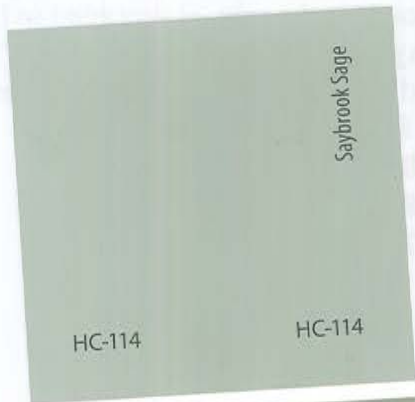
8/30/23
Date

Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

Yes No

If Yes, owner's signature: _____



HC  Benjamin Moore HC



OC  Benjamin Moore OC



35



NEW PROPOSED



**NEW
PROPOSED**





NEW PROPOSED





**NEW
PROPOSED**



35 Long Meadow Cir.
Pittsford



Paint for flat metal
w/ w/ & caps

COMMAND®

WATERBORNE ACRYLIC URETHANE
SATIN CV392

Features

- For light-to-moderate industrial, commercial and select residential use
- Interior/Exterior use
- Low temperature application
- Block resistant
- Multi-surface application
- Fast return-to-service
- Satin finish

General Description

Corotech® COMMAND® is an extremely durable, single-component, multi-substrate solution to help you save time and tackle multiple jobs with confidence. This interior/exterior, UV-resistant acrylic urethane enamel provides superior adhesion and abrasion resistance on a variety of substrates and is ideal for facility maintenance and property management applications where minimal maintenance disruptions and quick returns to service are required.

Recommended For

Galvanized and other non-ferrous metals, concrete, masonry, wood, fiberglass, in addition to properly prepared ferrous metals, drywall and plaster. Corotech® COMMAND® is designed for use on handrails, shelving, doors, floors, stairs, ramps, safety markers, curbs, cabinets, awnings, shutters, molding, piping, and more.

Limitations

- Do not apply if material, substrate or ambient temperature is below 35 °F (1.7 °C). Relative humidity should be below 90%
- Not intended as a whole house exterior paint over wood
- Not for immersion service
- Not recommended for coating over Kyna® or similar finishes
- When applying over caulk, test a small area for compatibility

Product Information

<p>Colors — Standard: White (01), Bronzestone (62), Black (80)</p>	<p>Technical Data Base 1</p>				
<p>— Tint Bases: Benjamin Moore® Gennex® bases 1X, 2X, 3X & 4X</p>	<p>Vehicle Type Acrylic Urethane</p>				
<p>— Special Colors: Contact your retailer</p>	<p>Pigment Type Titanium Dioxide</p>				
<p>Certification & Qualifications: VOC compliant in all regulated areas</p> <p>Eligible for LEED® v4 Credit Qualifies for CHPS low emitting credit (Collaborative for High Performance Schools) CDPH v1 Emission Certified Masters Painters Institute MPI # 161</p>	<p>Volume Solids 41.4 ± 1.0%</p>				
<p>Technical Assistance: Available through your local authorized independent Benjamin Moore retailer. For the location of the retailer nearest you, call 1-866-708-9180 or visit www.benjaminmoore.com</p>	<p>Coverage per Gallon at Recommended Film Thickness 350 – 450 Sq. Ft.</p>				
	<p>Recommended Film Thickness</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 60%;">– Wet</td> <td style="width: 40%; text-align: right;">3.6 – 4.6 mils</td> </tr> <tr> <td>– Dry</td> <td style="text-align: right;">1.5 – 1.9 mils</td> </tr> </table>	– Wet	3.6 – 4.6 mils	– Dry	1.5 – 1.9 mils
– Wet	3.6 – 4.6 mils				
– Dry	1.5 – 1.9 mils				
	<p>Depending on surface texture and porosity</p>				
	<p>– Tack Free 15 Minutes</p>				
	<p>Dry Time @ 77 °F (25 °C) @ 50% RH</p>				
	<p>– Block-Resistant 1 Hour</p>				
	<p>– To Recoat 1 Hour</p>				
	<p>– Return to Service 24 Hours</p>				
	<p>High humidity and cool temperatures will result in longer dry, recoat and service times.</p>				
	<p>Dries By Evaporation</p>				
	<p>Viscosity 87 ± 3 KU</p>				
	<p>Flash Point 200 °F or Greater (TT-P-141, Method 4293)</p>				
	<p>Gloss / Sheen Satin (15 – 30 @ 60°)</p>				
	<p>Surface Temperature at Application</p>				
	<p>– Min. 35 °F</p>				
	<p>– Max. 100 °F</p>				
	<p>Thin With Water</p>				
	<p>Clean Up Thinner Warm, Soapy Water</p>				
	<p>Weight Per Gallon 10.5 lbs.</p>				
	<p>Storage Temperature</p>				
	<p>– Min. 40 °F</p>				
	<p>– Max. 95 °F</p>				
	<p>Volatile Organic Compounds (VOC)</p>				
	<p>47.5 Grams/Liter 0.39 Lbs./Gallon</p>				

◇ Reported values are for Base 1.

COMMAND® Waterborne Acrylic Urethane Satin CV392

Surface Preparation

Prior to painting any surface, remove all grease, dirt and other surface contamination by applying a solution of Corotech® Oil & Grease Emulsifier V600. Remove all remaining loose paint, rust and mill scale via Hand Tool Cleaning (SSPC-SP2) or Power Tool cleaning (SSPC-SP3). Fill holes and cracks and sand smooth. Glossy surfaces must be fully deglossed. Moderate to heavily rusted areas must be thoroughly prepared and active rust should be properly removed. When using COMMAND® over caulk, test a small area and check after approximately 30 minutes for compatibility before painting the entire surface.

Ferrous Metal: Remove any active rusted areas according to the surface preparation instructions. Apply one coat of Corotech® Acrylic Metal Primer V110 prior to top coating.

Non-Ferrous Metal (Galvanized & Aluminum): Galvanized steel normally comes from the mill chemically treated or passivated, to prevent white rusting or oxidation of the galvanized surface during the time it is being stored or shipped to the job site. Due to this, the surface must be thoroughly cleaned with Corotech® Oil & Grease Emulsifier V600 or solvent wiping in accordance with SSPC-SP1 prior to coating. Prime properly prepared surfaces with Acrylic Metal Primer V110, Waterborne Bonding Primer V175 or apply 1-2 coats of COMMAND® direct.

Wood Surfaces: For best results, prime bare spots and new wood with a quality acrylic primer. Apply one or two finish coats of COMMAND® as needed. COMMAND® can also be used as a self-sealing topcoat, however may dry to an uneven finish on some species of wood.

Dry Wall and Plaster: Prime new drywall and fully cured plaster with a quality acrylic primer. Apply one or two finish coats as needed.

Concrete Surfaces: Allow new concrete to age for a minimum of 30 days. New or old unpainted concrete should be etched with a concrete etch solution and then rinsed thoroughly with water. Be sure to follow the manufacturer's instructions when mixing and using solution. (Protect skin and eyes by wearing rubber gloves and goggles.) Rinse surface thoroughly with clean water. Allow surface to dry completely before coating. Old painted concrete should be fully cleaned and sanded if necessary.

Glossy Surfaces: Glossy surfaces must be deglossed to obtain a surface profile prior to coating. The preferred method is thoroughly sanding the surface area. Areas that cannot be properly deglossed should be primed with Corotech® Waterborne Bonding Primer V175 prior to finish coating.

WARNING! If you scrape, sand, or remove old paint, you may release lead dust. LEAD IS TOXIC. EXPOSURE TO LEAD DUST CAN CAUSE SERIOUS ILLNESS, SUCH AS BRAIN DAMAGE, ESPECIALLY IN CHILDREN. PREGNANT WOMEN SHOULD ALSO AVOID EXPOSURE. Wear a NIOSH approved respirator to control lead exposure. Clean up carefully with a HEPA vacuum and a wet mop. Before you start, find out how to protect yourself and your family by contacting the National Lead Informational Hotline at 1-800-424-LEAD or log on to www.epa.gov/lead

Application

Mixing of Paint: Stir thoroughly before and occasionally during use. For best application results, apply generously going from unpainted into painted areas.

Thin with sparingly with water if needed.

Airless Spray:

Tip range between .015 and .019.

Total fluid output pressure at tip should not be less than 2400 psi.

Air Spray (Pressure Pot):

DeVilbiss MBC or JGA gun, with 704 or 765 air cap and Fluid Tip E.

Brush: Synthetic Bristle only.

Roller: ½" nap or finer for smooth surfaces.

NOTE: Do not allow material to remain in hoses, gun or spray equipment. Thoroughly flush all equipment with recommended thinner. Do not apply if material, substrate or ambient temperature is below 35 °F (1.7 °C). Relative humidity should be below 90%. Do not apply if within 5 degrees of dew point or if rain is expected within 4 hours of application.

Clean Up

Clean with warm, soapy water.

USE COMPLETELY OR DISPOSE OF PROPERLY. Dry empty containers may be recycled in a can recycling program. **Local disposal requirements vary; consult your sanitation department or state-designated environmental agency on disposal options.**

Environmental Health & Safety Information

CAUTION: All floor coatings may become slippery when wet. Where non-skid characteristics are desired, use an appropriate anti-slip aggregate.

Possible birth defect hazard. Contains, **Carbamic acid, 1H-benzimidazol-2-yl-, methyl ester**, which may cause birth defects based on animal data.

Use only with adequate ventilation. Do not breathe vapors, spray mist or sanding dust. Ensure fresh air entry during application and drying. Avoid contact with eyes and prolonged or repeated contact with skin. May cause allergic skin reaction. Avoid exposure to dust and spray mist by wearing a NIOSH approved respirator during application, sanding and clean up. Follow respirator manufacturer's directions for respirator use. Close container after each use. Wash thoroughly after handling.



WARNING: Cancer and Reproductive Harm
www.P65warnings.ca.gov

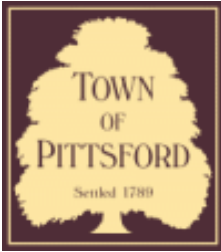
WARNING: This product contains isothiazolinone compounds at levels of <0.1%. These substances are biocides commonly found in most paints and a variety of personal care products as a preservative. Certain individuals may be sensitive or allergic to these substances, even at low levels.

FIRST AID: In case of eye contact, flush immediately with plenty of water for at least 15 minutes; for skin, wash thoroughly with soap and water. If symptoms persist, seek medical attention. If you experience difficulty breathing, leave the area to obtain fresh air. If continued difficulty is experienced, get medical attention immediately.

IN CASE OF SPILL – Absorb with inert material and dispose of as specified under "Clean Up".

**KEEP OUT OF REACH OF CHILDREN
PROTECT FROM FREEZING**

**Refer to Safety Data Sheet for additional
health and safety information.**



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
D23-000007

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 105 Ellingwood Drive ROCHESTER, NY 14618

Tax ID Number: 138.18-1-55

Zoning District: RN Residential Neighborhood

Owner: Finger, David B Jr.

Applicant: Finger, David B Jr.

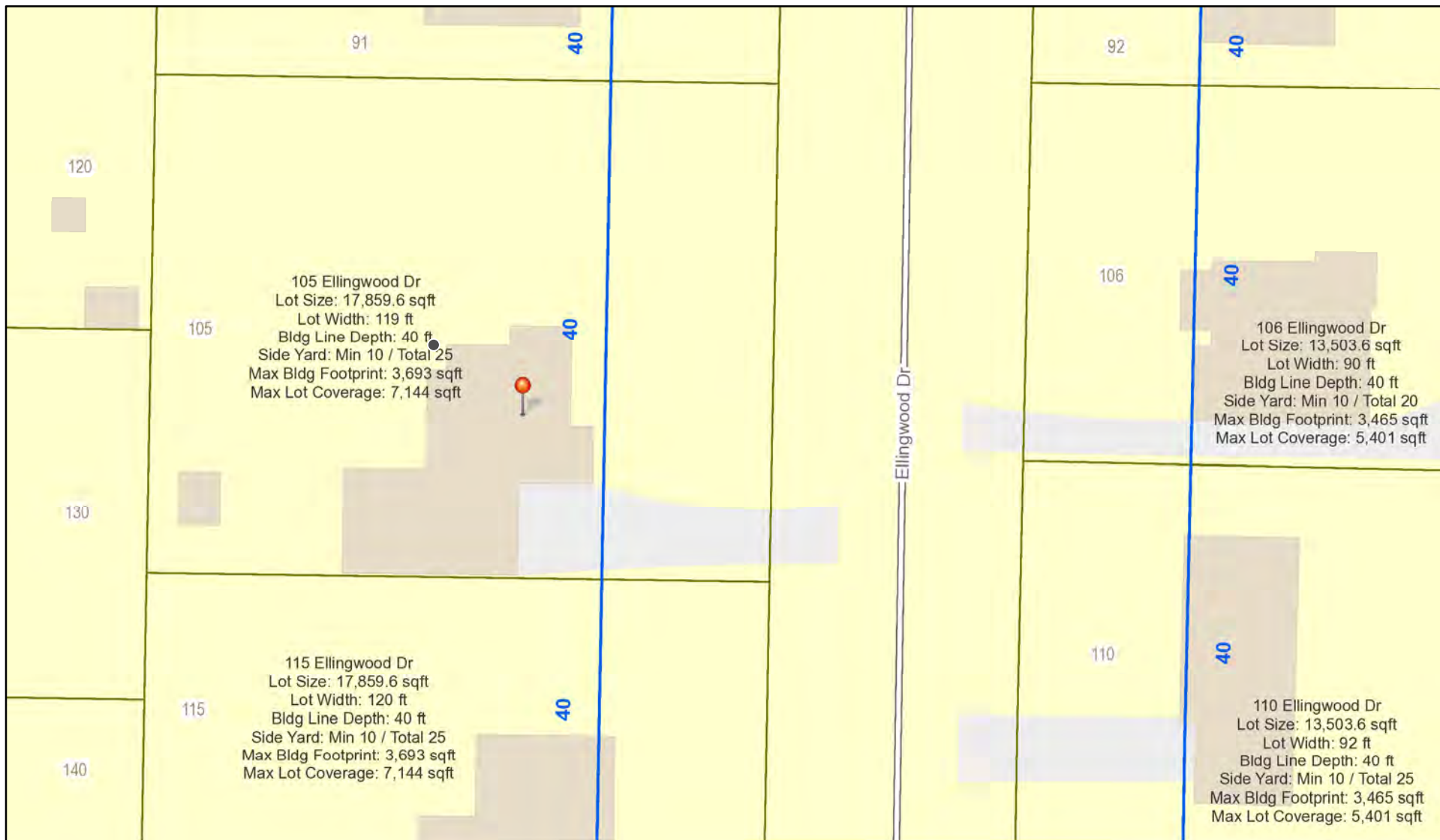
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

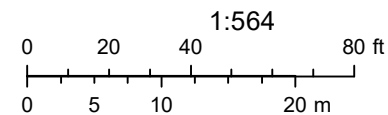
Project Description: Applicant is requesting approval for complete demolition of their home, with the exception of the garage, with the intent to rebuild a larger home on the property.

Meeting Date: October 12, 2023

RN Residential Neighborhood Zoning



Printed October 5, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



East Elevation 1



East Elevation 2



North Elevation



West Elevation



September 24, 2023

To Whom It May Concern:

Our names are Dave and Julie Finger, and we reside at 105 Ellingwood Drive. We moved to the neighborhood in 2014 and fell in love with it right away. Since moving in, we have completed many improvements to the property, including a rather large project of turning the detached, one-car garage into a new attached, four-car garage, which you previously reviewed and approved. While choosing the look and style of the garage, we took special care in keeping with the look and style of the house while also making sure we kept with the feel of the neighborhood. We believe we succeeded in doing this, as we have received many compliments from neighbors and strangers alike.

Built in 1947 by a father and son as a basic Sears Kit home, our small cape has been an amazing little home to start our family. We have tried our best to make the house meet our needs, but as our family has grown, we've completely run out of space. The house is small and cramped, and we desperately need more space and an open floor plan. Initially, we thought our only option would be to relocate to another house. Our daughter is a 2nd grader at Allen Creek Elementary, so the thought of relocation is not ideal. Also, as mentioned earlier, we love our neighborhood, location, and proximity to things and our property. Therefore, after careful consideration, we decided to pursue a partial teardown and addition. We plan to keep our beautiful new garage and build a larger craftsman-style home with similar character, hardy board siding, and finishes as the current home and new garage.

We realize that this is no small undertaking. Because of this, we have hired the same architect who designed our new garage and the same contractor who built it, so they are very familiar with the style we are trying to achieve and have a history of working with the town. We have ensured that the plans adhere to the town's guidelines regarding zoning, setbacks, height, footprint, and lot coverage. The plans do not include any variances. The proposed addition is a very reasonable size in comparison to neighboring houses. The style of the house is one that can be seen throughout the neighborhood, with styling identical to many of the new builds or renovations on neighboring streets.

We are very excited about the prospect of our new house. We have put a lot of thought, time, and money into ensuring the integrity of style of the current house and those in the neighborhood. We hope this land and updated house can continue to be our home for years to come. We appreciate your time and consideration and look forward to your response.

If you have any questions or concerns, please feel free to reach out.

Dave & Julie Finger

dave@breakfreegraphics.com

585-709-1245

October 2, 2023

Mr. David Finger
105 Ellingwood Drive
Rochester, NY 14618

email: dave@breakfreegraphics.com
phone: 585.709.1245 **cell**

**RE: DESIGN CONSIDERATIONS FOR THE HOUSE ADDITION PLANNED @
105 ELLINGWOOD DRIVE, ROCHESTER, NY. 14618**

Dear David:

Please find this letter as an understanding around the Design Considerations utilized as part of the house addition layout and massing. As part of the new layout, my focus was to provide recommendations for appropriately connecting into the existing recently constructed garage while safely allowing being the removal of the older existing portion of the house being replaced. Connection into the existing higher garage foundation/footing system needed to allow that to occur while planning for a newer lower basement level under the planned portion of the new house design. Also, it was important to stay with-in the confines of the adopted in place zoning code bulk requirements for the property. The below list describes those:

1. Context around the character is that the house fits with-in the surrounding neighborhood and compliments the adjacent houses. The scale and mass of the proposed house addition is with-in the masses of the neighboring houses and the detailing fits the vernacular of what you would expect. The house doesn't scream "look at me" but is an enhancement to the street context and shouldn't be considered out of place or an odd design.
2. The bulk requirements and set-backs established for this zoning district **RN – Residential Neighborhood** are **ALL** meant based on the Town Zoning Code. See attached required and proposed distances.
3. The new proposed house addition is planned to be roughly 4'-6" further back off from the front property line than the current existing house was.
4. See planned exterior elevations furthered developed, showing material call outs and hatching. Also colored elevations are provided with actual colors on the drawings called as well for you.
5. Bulk Requirements Chart Below:

BULK REQUIREMENTS:

105 ELLINGWOOD DRIVE
TOWN OF PITTSFORD, NY 14618
EXISTING SITE WIDTH IS **120'**.

1. EXISTING ZONING: **RN - RESIDENTIAL NEIGHBORHOOD**

2. BUILDING HEIGHT:

	<u>ALLOWABLE:</u>	<u>PROVIDED:</u>
2.1. PRIMARY MAXIMUM	30'	29'-11"

3. LOT REQUIREMENTS (ALSO PERTAINS TO ACCESSORY STRUCTURES).
THIS PROJECT IS A PARTIAL DEMOLITION AND NEW HOUSE ADDITION.

	<u>REQUIRED:</u>	<u>PROVIDED:</u>
3.1. ACTUAL LOT AREA:	18,000 SF	18,000 SF
3.2. ACTUAL LOT WIDTH:	120'	120'
3.3. MIN. FRONT SETBACK:	additions not permitted past bldg. line	48'-10"
3.4. MIN. ONE SIDE SETBACK:	10' (one side)	25'-1" NORTH & 5'-1" SOUTH
3.4. MIN. BOTH SIDE SETBACK:	25' (two sides)	30'-2"
3.5. REAR BUFFER:	20' (no structures)	44'-1" from addition to lot line
3.6. MAX BLDG. FOOTPRINT	3,675SF + 5% OVER 17,500SF 3,700SF ALLOWED	3,542 SF with addition 3,684 SF with front patio/porch
3.7. MAX. LOT COVERAGE	40% or 7,200 SF	5,442 SF approximately w/patio/porch/shed/drive/walk

If you should have any questions, please do not hesitate to contact me.

Very truly yours,



Daniel A. Pieters, Architect, AIA,
NYS License No.: **032927**

APPLICATION FOR PERMIT NO. 34

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD,
VILLAGE OF PITTSFORD, N. Y.

Fee Paid \$ 30.00

GENTLEMEN:

The undersigned respectfully petition for a per-

mit to (alter) a wooden frame building on lot number 170 + N 1/2 17 house number 105
on the west side of Elmwood Dr Street, in the Entire Estate tract of
Town of Pittsford, N. Y. This lot is 90 feet wide in the front and 20 feet wide in
the rear and 150 feet deep, and is classified as follows:

ZONE residential CLASS A

Below is sketch showing lot lines in relation to existing highways and direction of north.

The main building of 1 1/2 stories is to be erected, of the following dimensions: 37 feet wide
and 40 feet deep and has a wing on the — side which is — feet wide and —
feet deep, the whole occupying a total area of 1150 square feet. The building is to be set back 59 45
feet from the front lot line; 26 feet from the south side lot line and 27 feet from the west side
lot line. It is to be used as a residence and erected at an estimated cost of 15,000 dollars.

A separate garage is to be erected of the following dimensions: 12 feet wide and 22
feet deep, located 10 feet from the south side lot line; 40 feet from the rear lot line and 4
feet from the main building, with a capacity of 1 cars at a cost of 1500 dollars.

As part of this application there is attached hereto the plans of said buildings. All work is to be done
in accordance with this application and plans, and no material change therein or in any part of said buildings
shall be made without the written consent of the Town Board through its authorized agent.

The undersigned represents that said buildings will be constructed and used in accordance with all
ordinances of the Town of Pittsford and statutes of the State of New York, and that the plans annexed hereto are
the plans relating to the buildings described herein and no other, and, that this property is owned by the under-
signed.

Yours respectfully,

Howard J. Squires
Owner.
69 Elmwood Dr, Rochester
Address.

STATE OF NEW YORK, } ss:
County of Monroe,

Howard J. Squires, being duly sworn, deposes and

says that he is the owner of the above described premises; that no other person except
have any ownership interest in said property; that he has read the foregoing application for a permit and knows
the contents thereof; that the same is true to his own knowledge. That if said application is approved he will
comply with all the terms and conditions respecting the issuance of said permit and that said buildings will be
erected in accordance with the plans attached to this application; that it will cost not less than the amount set
forth herein and that he will comply with all ordinances of the Town of Pittsford and all the statutes of the State
of New York, in connection with the construction, erection, alterations or use of said buildings.

Howard J. Squires

SWORN to before me, this
day of JUN 14 1947 19

L. P. Curtis
Notary Public, Commissioner of Deeds.

OK. W. R. Crofts
June 21 1947

N



SKETCH

REPORT OF PLANNING BOARD

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD:

The Planning Board of the Town of Pittsford, Monroe County, N. Y., to which was referred the application of.....to (erect) buildings together with the proper fees and (alter) plans therefor, does hereby (approve) said application and recommends that a permit be granted therefor upon (disapprove) the following terms and conditions:—

1. That the Town Board, its agents and employees, may at any time enter upon said premises and inspect said buildings to determine whether the same are being erected or have been erected in accordance with the plans submitted with said application for a permit.
2. That the Town Board may at any time upon notice, revoke said permit for failure to execute the plans.
3. That the said buildings shall be set back and built upon the building line established by the Town Board for the district where such property is located and where such building is to be erected or altered.
4. That the buildings mentioned in said application and plans shall be erected in accordance therewith and shall be used for no other purposes than those specified in said application and plans.
5. That any garage erected upon the premises shall be used solely for private garage purposes and shall not at any time be used for a residence or any other purpose upon said lot.
6. Reasons for disapproval are as follows:

PITTSFORD PLANNING BOARD,

By.....
Secretary.

PERMIT NO. 34

Permission is hereby granted to.....
~~denied~~

H. J. Squires....., owner to Erach.....the structures described in the application herein referred to and no other upon the terms and conditions set forth in the recommendation of the Planning Board of the Town of Pittsford, N. Y., and the Zoning Ordinance.

JUL - 5 1947

J. H. Curtis.....
Town Clerk.

FINGER

NEW RESIDENCE ADDITION BUILDING

REVISIONS	NO.	DATE	BY	CHKD	DESCRIPTION

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FINGER
NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
TITLE SHEET		

PROJECT NUMBER
T1
DRAWING NUMBER

105 ELLINGWOOD DRIVE
 ROCHESTER, NEW YORK 14618

DRAWING LIST:

- T1 TITLE SHEET AND SYMBOLS
- S1 SITE PLAN, BULK REQUIREMENTS AND SPECIFICATIONS
- A0 FOUNDATION PLAN & DETAILS
- A1 FLOOR PLAN
- A2 ROOF PLAN
- A3 EAST & NORTH EXTERIOR ELEVATIONS
- A4 SOUTH & WEST EXTERIOR ELEVATIONS

ARCHITECT CERTIFICATION:

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE STATE ENERGY CONSTRUCTION CODE.

LIST OF ABBREVIATIONS

AFF ABOVE FINISHED FLOOR	CM CONSTRUCTION MANAGER	ENTR ENTRANCE	HORZ HORIZONTAL	MEZZ MEZZANINE	QTB QUARRY TILE BASE	T&G TONGUE & GROOVE
AP ACCESS PANEL	CW COLD WATER	EQ EQUIP	HB HOSE BIBB	MM MILLIMETER	RAD RADIUS	T&B TOP & BOTTOM
ACOUS ADJACENT	CFMF COLD FORMED MET FRAMING	EST ESTIMATE(D)	HW HOT WATER	MIN MINIMUM	RECP RECEPTACLE	TOEA TOP OF EDGE ANGLE
ADJ ADJACENT	CMU CONCRETE MASONRY UNIT	EXST EXISTING	HR HOUR	MISC MISCELLANEOUS	REF REFERENCE	TOS TOP OF SLAB/STEEL
ACT ACUSTICAL CEILING TILE	COL COLUMN	EXST EXISTING	INCAND INCANDESCENT	MR MOISTURE RESISTANT	REFR REFRIGERATOR	TOW TOP OF WALL
AMP ACUSTICAL WALL PANEL	CONC CONCRETE	EXP EXPANSION	IN INCH	MTD MOUNTED	REFR REFER TO	TREAD TREAD
A/C AIR CONDITIONING	COND CONDUCTOR	EXP EXPANSION	INCL INCLUDING	NA NOT APPLICABLE	REINFORCED(NG) REINFORCED(NG)	TD TRENCH DRAIN
ALT ALTERNATE	CONN CONNECTION	EXP JT EXPANSION JOINT	ID INSIDE DIAMETER	NAT NATURAL	REQ'D REQUIRED	TYP TYPICAL
ALUM ALUMINUM	CONST CONSTRUCTION	ETR EXISTING TO REMAIN	INSUL INSULATION	NRC NOISE REDUCTION COEF.	RVT RESILIENT VINYL TILE	UL UNFINISHED
AB ANCHOR BOLT	CJT CONSTRUCTION JOINT		INT INTERIOR	NOM NOMINAL	REV REVISED	UNFIN UNFINISHED
< ANGLE	CONT CONTINUOUS	F FABRIC	INTERM INTERMEDIATE	N NORTH	RGWB REINFORCED GYPSUM WALL BOARD	U UNLESS NOTED OTHERWISE
ANOD ANODIZED	CUNTR CONTRACTOR	FAB FABRICATE	INV INVERT	NIC NOT IN CONTRACT	RH RIGHT HAND	VEND VENDER
APPROX APPROXIMATE	CONTR CONTROL JOINT	FT FEET	IP IRON PIPE	NTS NOT TO SCALE	R RISER	VEN VENEER
ARCH ARCHITECT, ARCHITECTURAL	CORR CORRUGATED	FIG FIGURE	JAN JANITOR	OC ON CENTER	RD ROOF DRAIN	VF VERIFY IN FIELD
AD AREA DRAIN	CORR CORRUGATED	FIN FINISH	JS JANITOR SINK	OPNG OPENING	RM ROOM	VERT VERTICAL
@ AT	CFT CUBIC FOOT	FF FINISHED FLOOR	JT JOINT	RO ROUGH OPENING	RO ROOF	VEST VESTIBULE
AUTO AUTOMATIC	CYD CUBIC YARD	FEC FIRE EXTINGUISHER AND CABINET		ROB RUN-OF-BANK	RW RESCUE WINDOW	VIN VINYL
		FL, FLR FLOOR	KW KILOWATT	OD OVERHEAD	SALV SALVAGE	VB VINYL BASE
BSMT BASEMENT	DL DEAD LOAD	FL, FLR FLOOR	KWH KILOWATT HOUR	OH OVERHEAD	SAN SANITARY	VCT VINYL COMPOSITION TILE
BM BEARING PLATE	DB DECIBEL	FLUOR FLUORESCENT	K KIP	PTD PAINTED	SCHED SCHEDULE	VF VINYL FABRIC
BM BENCH MARK	DEMO DEMOLISH	FT FOOT	KIT KITCHEN	PR PAIR	SEC SECOND	VINYL WALL COVERING
BITUM BITUMINOUS	DEPT DEPARTMENT	FTG FOOTING	LBL LABEL	PTR PAPER TOWEL RECEPTOR	SECT SECTION	VT VINYL TILE
BLKG BLOCKING	DET,DTL DETAIL	FND FOUNDATION	LAB LABORATORY	PKG PARKING	SHT SHEET	VOL VINYL
BLK BLOCK	DIA DIAMETER	FS FULL SIZE	LAM LAMINATE(ED)	PART BO PARTIAL BOARD	SM SIMILAR	WH WALL HUNG
BD BOARD	DISP DISPENSER	FUT FUTURE	LAV LAVATORY	PART PARTITION	SC SOUND CORE	W WATER
BD BY OWNER	DSP DISPOSAL	GALV GALVANIZED	LVR LAYER	PVMT PAVEMENT	SCS SOUND TRANSMISSION COEFFICIENT	WC WATER CLOSET
BOT BOTTOM	DO DOOR	G GAS	LDR LEADER	PLAM PLASTIC LAMINATE	S SOUTH	WR WATER RESILIENT/RESISTANT
BRK BRICK	DR DOOR, REPEAT, SAME	GA GAUGE	LH LEFT HAND	PL PLATE	SCS SPECIAL COATING SYSTEM	WT WEIGHT
BLDG BUILDING	DBL DOUBLE	GEN GENERAL	LIB LIBRARY	PLBG PLUMBING	SPC SPECIFICATION	WMF WELDED WIRE FABRIC
BN BULLNOSE	DN DOWN	GC GENERAL CONTRACTOR	LT LIGHT	PLYMD PLYWOOD	SQ SQUARE	WM WIDTH
CAB CABINET	DS DOWNSPOUT	GL GLASS, GLAZING	LW LIGHT WEIGHT	PVC POLYVINYL CHLORIDE	SS STAINLESS STEEL	WIND WINDOW
C CAST IRON	DR DRAIN TILE	GB GRAB BAR	LL LIVE LOAD	LB POUND	STD STANDARD	W/ WITH
CPT CARPET(ED)	DWR DRAWER	GR GRADE, GRADING	MACH MACHINE	PCF POUNDS PER CUBIC FOOT	STL STEEL	W/O WITHOUT
CSMT CASEMENT	DWC DRAWING	GSF GROSS SQUARE FOOT	MHC MAN HOLE COVER	PLF POUNDS PER LINEAR FOOT	STOR STORAGE	WD WOOD
CB CATCH BASIN	DF DRINKING FOUNTAIN	GYP GYPSUM	MFR MANUFACTURER	PSF POUNDS PER SQUARE FOOT	STRUT STRUCTURAL	WI WROUGHT IRON
CLG CEILING	DWC DRYWALL CHANNEL	GWB GYPSUM BOARD	MFR MANUFACTURER	PSI POUNDS PER SQUARE INCH	STGLT STRUCTURAL GLAZED GLAZING TILE	YD YARD
CLG HT CEILING HEIGHT	EA EACH	HWDR HARDWARE	MFR MANUFACTURER	PRE CONC PRECAST CONCRETE	SUSP SUSPENDED	
CEM CEMENT	EAC EACH FACE	HWDR HARDWOOD	MFR MANUFACTURER	PRE FAB PREFABRICATED	SAT SUSPENDED ACoustical TILE	
CL CENTER LINE	EW EACH WAY	HVAC HEATING, VENTILATING & AIR CONDITIONING	MFR MANUFACTURER	PT, PTD PAINT, PAINTED		
CM CENTIMETER	E EAST	HT, HGT HEIGHT	MO MASONRY OPENING	PTD PRESSURE TREATED		
CER CERAMIC	ELEC ELECTRICAL	HEX HEXAGONAL	MAT MATERIALS	PL PROPERTY LINE		
CB CERAMIC TILE	ELEV ELEVATION	HWY HIGHWAY	MAX MAXIMUM	PS CONC PRESTRESSED CONCRETE		
CT CHALK BOARD	EMER EMERGENCY	HM HOLLOW METAL	MET MECHANICAL			
CR COMPROMISE	ENCL ENCLOSURE		M METER			
CD CLEAN OUT						
CLR CLEAR						
CLOS CLOSET						



MATERIAL SYMBOLS

	EARTH		BRICK		GROUT/MORTAR
	ROCK		STEEL/MISC. METAL		NON-FERROUS (TYPE AS NOTED)
	GRAVEL TYPE 1 (ENGINEERED FILL)		STONE		ROUGH WOOD / BLOCKING
	PRECAST CONCRETE		TERRAZZO		WOOD, FINISHED WOODWORK
	CRUSHED STONE		MARBLE		PLYWOOD (LARGE SCALE)
	CONCRETE MASONRY UNIT		CERAMIC TILE		GYPSUM BOARD

GRAPHIC SYMBOLS

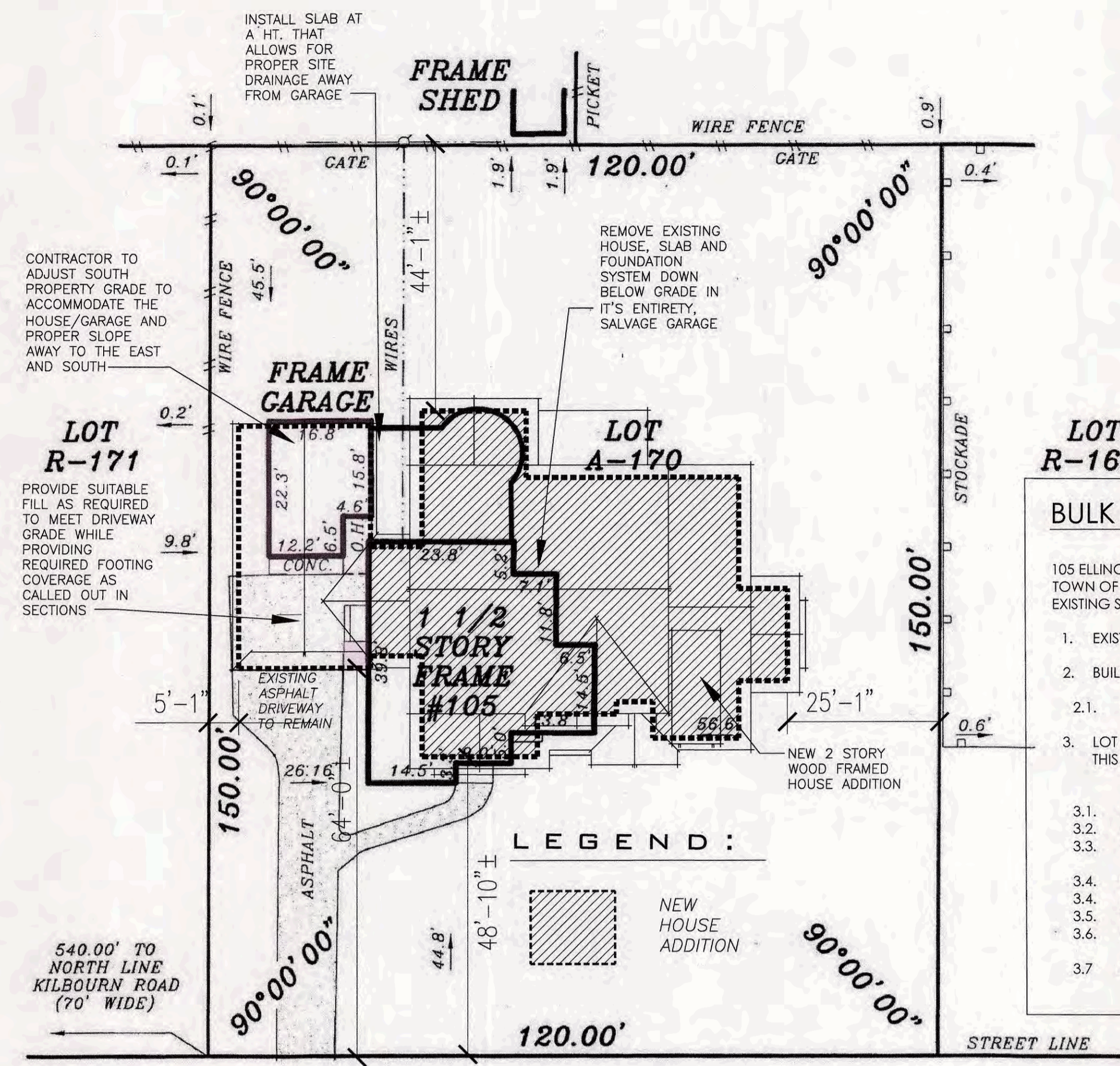
	COLUMN CENTERLINE A		PARTITION TYPE 3(1 HR RATED)		PROPERTY LINE
	DETAIL #3 ON SHEET A201		REVISION NO. 1		FENCE
	BUILDING SECTION (NO. 109 WALL SECTION (LETTER) ON SHEET A201)		EXISTING SPOT ELEVATION +100.75		EXISTING TREE TO REMAIN
	ROOM NUMBER 109		FINISHED SPOT ELEVATION +100.75		EXISTING TREE TO BE REMOVED
	ELEVATION #2, 4 ON SHEET A201		EXISTING CONTOURS 100		BENCHMARKS, FLOOR ELEV., OR OTHER VERTICAL ELEV.
	DOOR NUMBER 109		FINISHED CONTOURS 100		KEYNOTE SYMBOL - DEMOLITION AND NEW CONSTRUCTION

	STORM SEWER		FURNITURE SYMBOL (NUMBER)
	SANITARY SEWER		WINDOW TYPE (LETTER)
	WATER LINE		ACCESSORIES SYMBOL (LETTER)
	GAS LINE		EQUIPMENT SYMBOL (NUMBER)

SPECIFICATIONS/GENERAL NOTES:

- IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
- ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ALTERATIONS.
- TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE DRAWINGS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
Daniel A. Pieters
Daniel A. Pieters Date: 09/30/2023
- COPYRIGHTS: THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE DETAILS OF THE BUILDING SHOWN AVAILABLE TO THE CLIENT AND TO THE CONTRACTOR CONSTRUCTING THIS PROJECT. ANY REPRODUCTION OF THIS DESIGN, IN WHOLE OR IN PART, IS PROHIBITED BY THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.
- DESIGN LOADS:**
FLOOR: 50 P.S.F. LIVE LOAD 20 P.S.F. DEAD LOAD ROOF: 50 P.S.F. LIVE LOAD 20 P.S.F. DEAD LOAD
- SOIL PRESSURE:** ASSUMED TO BE 3000 P.S.F. (GEOTECH. DATA NOT THE RESPONSIBILITY OF THE ARCHITECT). FINAL SELECTED SITE IS UNKNOWN BY THIS ARCHITECT.
- CONCRETE (ONCE FINAL SITE IS SELECTED):**
 - UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE 3500 P.S.I. CONCRETE SLAB (28 DAY COMPRESSIVE STRENGTH) OVER A 6 MIL. POLYETHYLENE VAPOR BARRIER ON 8" POROUS GRAVEL REINFORCING SHALL BE 6X6 - W1.4 X W1.4 WELDED WIRE MESH.
 - PROVIDE #5 BAR @ 4'-0" O.C. BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN ALL LOCATIONS EXTERIOR OR UNHEATED INTERIOR SPACES. PROVIDE 7" OF RIGID INSULATION UNDER SLAB AND 2'-0" DOWN FOUNDATION WALL.
- FOUNDATIONS (ONCE FINAL SITE IS SELECTED):**
 - FOUNDATION FOOTINGS SHALL REST UPON UNDISTURBED (ORIGINAL) SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. MINIMUM TOP OF FOOTING COVERAGE IS 4'-0".
 - CONCRETE BLOCK WALLS (CMU) SHALL BE CONSTRUCTED WITH:
 - GRADE 'N' TYPE I, HOLLOW LOAD BEARING CONCRETE MASONRY UNITS WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 1900 P.S.I.
 - TYPE 'S' MORTAR.
 - HORIZONTAL RE-INFORCING: "DUR-O-WAL" TRUSS TYPE RE-INFORCING, CONTINUOUS THROUGHOUT EVERY OTHER BLOCK COURSE.
 - VERTICAL RE-INFORCING: RE-INFORCE WALLS OF EXCAVATED AREA WITH NO. 7 VERTICAL REBARS AT 4'-0" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF ANY OPENINGS IN THE FOUNDATION WALL(S).
 - PLACE 5/8" DIAMETER BY 16" LONG SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 32" O.C. AND AT EACH CORNER AND AT BOTH SIDES OF OPENINGS IN THE FOUNDATION WALL(S).
 - WATERPROOF WALLS OF EXCAVATED AREAS WITH TROWLED ON CEMENT, TWO COATS OF TROWLED ON ASPHALTIC BASE WATERPROOFING AND "WRAP AND DRAIN" WATERPROOFING SYSTEM.
 - PROVIDE 4" DIAMETER PERFORATED DRAINAGE TILE AT THE PERIMETER OF ALL FOUNDATION FOOTINGS IN EXCAVATED AREAS. COVER THE JOINTS IN THE DRAIN TILE WITH GEOTEXTILE FABRIC. COVER THE JOINTS IN THE DRAIN TILE WITH A MINIMUM OF 18" POROUS GRAVEL FILL. WRAP THE ENTIRE TILE/FILL ASSEMBLY IN GEOTEXTILE FABRIC WITH LAP SEAMS A MINIMUM OF 8".
- STRUCTURAL STEEL:**
 - ALL STRUCTURAL STEEL SHALL COMPLY WITH ASTM SPECIFICATION A-36.
 - UNLESS OTHERWISE NOTED, PROVIDE A P.T. 2 BY PLATE BOLTED TO THE TOP FLANGE OF ALL BEAMS WITH 1/2" DIA. ANCHOR BOLTS STAGGERED AT 2'-0" O.C. RIGIDLY FASTEN ALL CONNECTING RAFTERS/JOISTS A MINIMUM OF 8".
- CARPENTRY:**
 - UNLESS OTHERWISE NOTED, FRAMING LUMBER SHALL BE DOUG-FIR, CONSTRUCTION GRADE. BEAMS, HEADERS AND FLOOR JOISTS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200 P.S.I.
 - UNLESS OTHERWISE NOTED PROVIDE:
 - DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.

- DOUBLE FLOOR JOISTS (TJI'S) UNDER ALL PARTITIONS RUNNING PARALLEL TO THE DIRECTION OF THE FLOOR FRAMING AND UNDER TUB, SHOWER AND TOILET.
- TRIPLE 2 X 10 HEADERS WITH 1/2" HIGH 'R' BETWEEN ALL DOOR AND WINDOW OPENINGS. TRIPLE 2 X 12 @ 6'-0"+ WINDOWS.
- TWO ROWS OF SOLID TJI HT. BLOCK BRIDGING PER JOIST SPAN.
- FLOOR CONSTRUCTION: 23/32" TONGUE AND GROOVE ADVANTECH SHEATHING. GLUE AND SCREW ADVANTECH TO FLOOR JOISTS.
- USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILINGS IN ALL BATH AND TOILET AREAS, AND USE MARINE GRADE PLYWOOD IN THESE AREAS.
- EXTERIOR WALL SHEATHING: 7/16" X 48" X 96" EXTERIOR GRADE OSB.
- ALL INTERIOR WALLS AND CEILINGS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. PROVIDE METAL CORNER RE-INFORCING AT ALL EXTERIOR CORNERS. TAPE, FLOAT AND SAND A MINIMUM OF THREE COATS.
- WOOD TRUSSES SHALL BE DESIGNED BY AN ARCHITECT OR ENGINEER, OTHER THAN LICENSEE OF THESE DRAWINGS, LICENSED TO PRACTICE WITHIN THE STATE OF NEW YORK. STRUCTURAL AND INSTALLATION BRACING SHALL BE DESIGNED BY THE MANUFACTURER OF THE TRUSSES.
- INTERIOR TRIM AND FINISHES ARE SELECTED BY THE OWNER AND PROVIDED BY THE CONTRACTOR AS PART OF THESE DOCUMENTS.
- MISCELLANEOUS:** UNLESS OTHERWISE NOTED, PROVIDE:
 - R-21 FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, R-30 FIBERGLASS BATT INSULATION IN ALL FLOORS AND R-38 BATT FIBERGLASS INSULATION IN ALL CEILINGS, ROOFS OR TRUSSES ADJACENT TO THE EXTERIOR OR UNHEATED INTERIOR SPACES. SPRAYED FOAM INSULATION MAY ALSO BE USED PER MANUF. RECOM.
 - 1" OF RIGID INSULATION SHELTER-SHEATH AGAINST THE INTERIOR SIDE OF THE EXTERIOR CONCRETE BLOCK WALLS ALLOWING 1/2" OF AIR SPACE BETWEEN CMU AND RIGID INSUL., TAPE ALL SEAMS FOR VAPOR BARRIER.
 - PROVIDE KRAFT FACE INSULATION FOR ALL BATT INSULATION TO ASSIST AS A VAPOR BARRIER ON THE INTERIOR SIDE OF ALL THERMAL INSULATION, PRIOR TO APPLYING FINISH.
 - INSULATING GLAZING AT ALL EXTERIOR GLASS AREAS AND TEMPERED GLAZING IN ALL GLAZED OPENINGS LESS THAN 30" ABOVE FINISH FLOOR.
 - CAULKING AT ALL PERIMETERS OF WINDOWS, DOORS AND BOTTOM PLATES.
 - PROVIDE WEATHER SHIELD LOW 'I' INSULATED CASEMENT WINDOWS FOR ALL PUNCHED OPENINGS EXTERIOR/INTERIOR DOORS AND FINISHES AS SELECTED BY OWNER. TEMPORARY COLLECTION WINDOWS TO BE PROVIDED.
 - PROVIDE ANDERSEN SERIES 200 FOR THE WINDOWS, WHITE INSIDE/OUTSIDE.
- SITE INSPECTIONS SHALL BE MADE BY THIS ARCHITECT. ALTHOUGH THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL MATERIALS AND WORKMANSHIP, MATERIAL SUBSTITUTIONS SHALL BE MADE ONLY IF APPROVED BY THE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL CODES THAT GOVERN CONSTRUCTION AND VARIATIONS FROM THESE PLANS. CONTRACTOR RESPONSIBLE FOR PERMITTING.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS PROJECT.
- THE CONTRACTOR/OWNER SHALL PERFORM EXPLORATORY EXCAVATION AND DEMOLITION AS REQUIRED TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY AFFECT THE OUTCOME OF THE PROJECT. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP THE NECESSARY FOUNDATION SOIL REQUIRED TO SUSTAIN THE LOADS OF THE DESIGN OF THE 2.5 TONS PER SQUARE FOOT AND TO HIRE A SOILS ENGINEER TO IMPACT AND VERIFY SOIL CONDITIONS PRIOR TO THE POURING OF FOUNDATIONS.
- THE CONTRACTOR SHALL REQUEST THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF ALL CONSTRUCTION INCLUDING SEPTIC SYSTEM.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND THE OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY AND ALL CLAIMS ARISING FROM INJURY DURING CONSTRUCTION, INCLUDING FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH "OSHA" STANDARDS.
- THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING AND OTHER BUILDING SYSTEMS, ARE TO BE CODE PROVIDED AS CODE COMPLIANT BY THE CONTRACTOR AS PART OF CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR ADEQUATE SIZING AND FOR HEATING, COOLING & VENTILATION.
- DECK FRAMING, GUARD POSTS, RAILINGS & GUARDS SHALL BE PROVIDED PER THE 2013 AMERICAN WOOD COUNCIL DCA-9 PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE.
- SMOKE AND CARBON MONOXIDE ALARMS ARE TO BE PROVIDED PER SECTION J802 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE OF NEW YORK STATE.



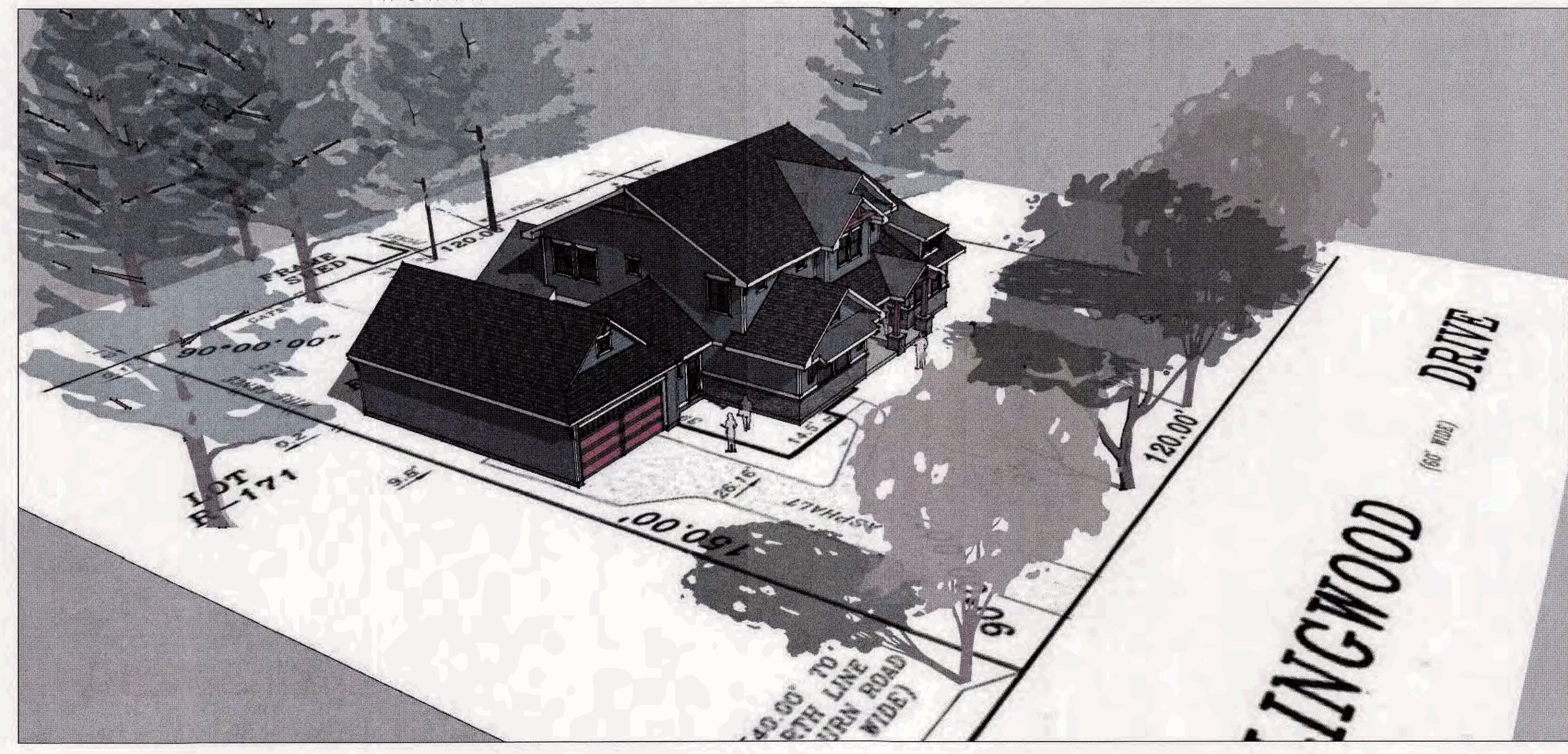
105 ELLINGWOOD DRIVE

ELLINGWOOD (60' WIDE) DRIVE

1 SITE PLAN
S1 SCALE: 1/16" = 1'-0"



THIS SURVEY WAS PROVIDED BY THE PROPERTY OWNER DAVID B. FINGER. SURVEY WAS PERFORMED BY THOMAS A. RODAK OF O'NEILL-RODAK LAND SURVEYING, P.C. SURVEY COMPLETED ON AUGUST 12, 2014.



16 NYCRR PART 753
REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK.

Dig Safely.
New York
www.digsafelynewyork.com
1-800-962-7962

BULK REQUIREMENTS:

105 ELLINGWOOD DRIVE
TOWN OF PITTSFORD, NY 14618
EXISTING SITE WIDTH IS 120'.

1. EXISTING ZONING:	RN - RESIDENTIAL NEIGHBORHOOD	
2. BUILDING HEIGHT:	ALLOWABLE:	PROVIDED:
2.1. PRIMARY MAXIMUM	30'	29'-11"
3. LOT REQUIREMENTS (ALSO PERTAINS TO ACCESSORY STRUCTURES). THIS PROJECT IS A PARTIAL DEMOLITION AND NEW HOUSE ADDITION.		
3.1. ACTUAL LOT AREA:	REQUIRED: 18,000 SF	PROVIDED: 18,000 SF
3.2. ACTUAL LOT WIDTH:	120'	120'
3.3. MIN. FRONT SETBACK:	additions not permitted past bldg. line	48'-10"
3.4. MIN. ONE SIDE SETBACK:	10' (one side)	25'-1" NORTH & 5'-1" SOUTH
3.4. MIN. BOTH SIDE SETBACK:	25' (two sides)	30'-2"
3.5. REAR BUFFER:	20' (no structures)	44'-1" from addition to lot line
3.6. MAX BLDG. FOOTPRINT:	3,675SF + 5% COVER 17,500SF	3,542 SF with addition
3.7. MAX. LOT COVERAGE:	3,700SF ALLOWED	3,484 SF with front patio/porch
	40% or 7,200 SF	5,442 SF approximately w/patio/porch/shed/drive/walk

NO.	REVISIONS	DATE	BY	CHECKED	DESCRIPTION

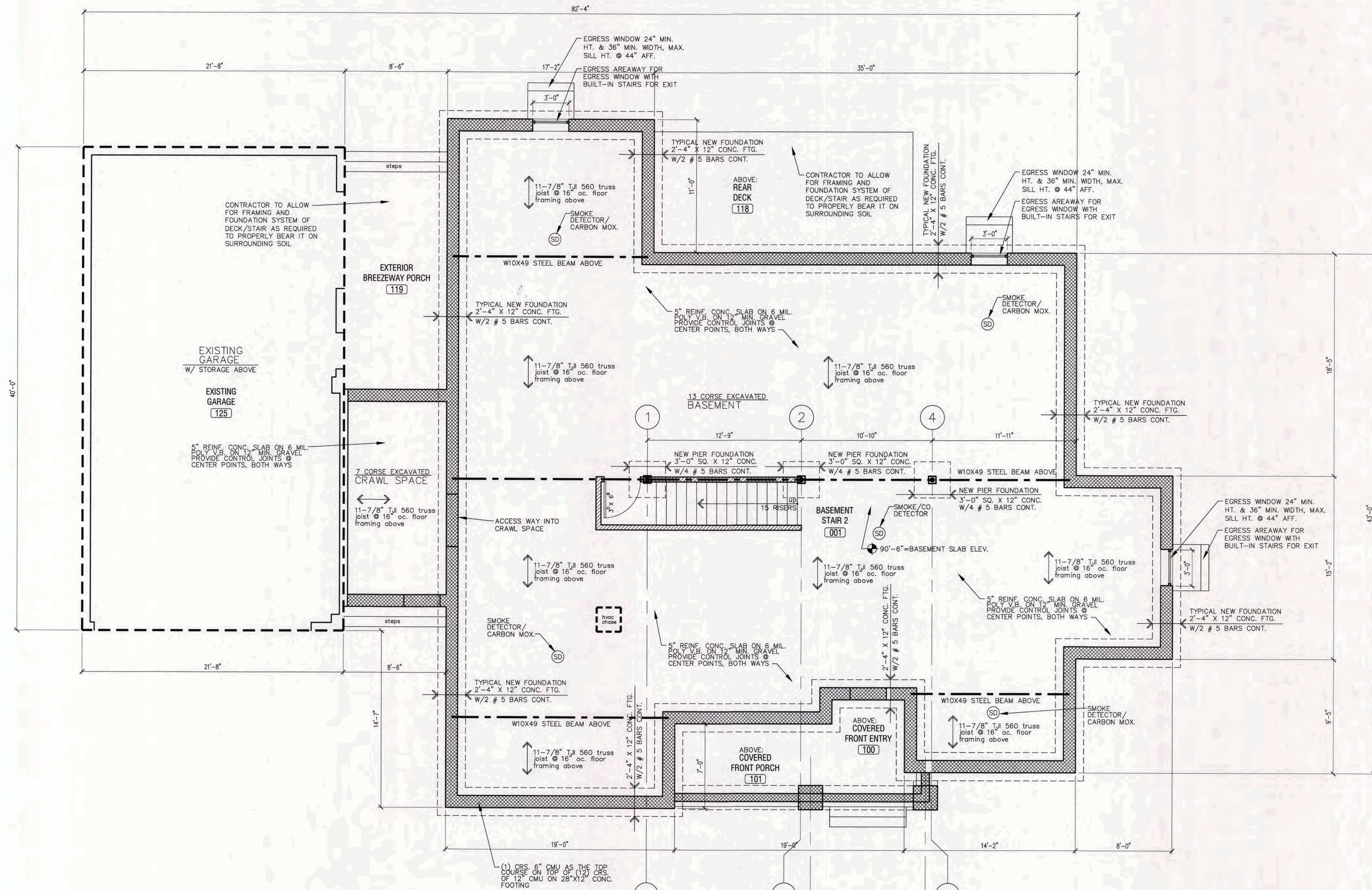
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FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
SITE PLAN, BULK REQUIREMENTS AND SPECIFICATIONS		

PROJECT NUMBER
S1
DRAWING NUMBER



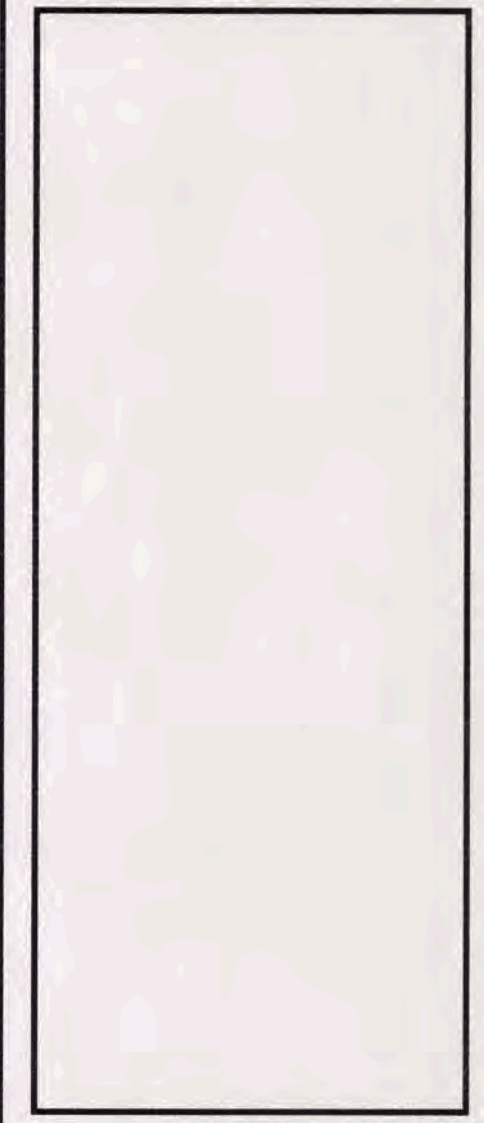
FOUNDATION / BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NOTE: (unless otherwise noted)
 TYPICAL NEW EXTERIOR WALL IS 7" THICK - 2x6

- : NEW WOOD STUD WALLS
- : NEW MASONRY WALLS

NOTE:
 ALL EXTERIOR HOUSE WALLS ARE CONSTRUCTED OF 2x6 @ 16" OC WOOD STUD WALLS WITH P1 SILL PLATE AND 5/8" TYPE 'X' GYP. BD. ON THE FINISHED SIDES OF THE ROOM WHERE RATING IS REQUIRED & 1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF THE ROOM @ NON-RATED LOCATIONS. PRIME AND PAINT.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

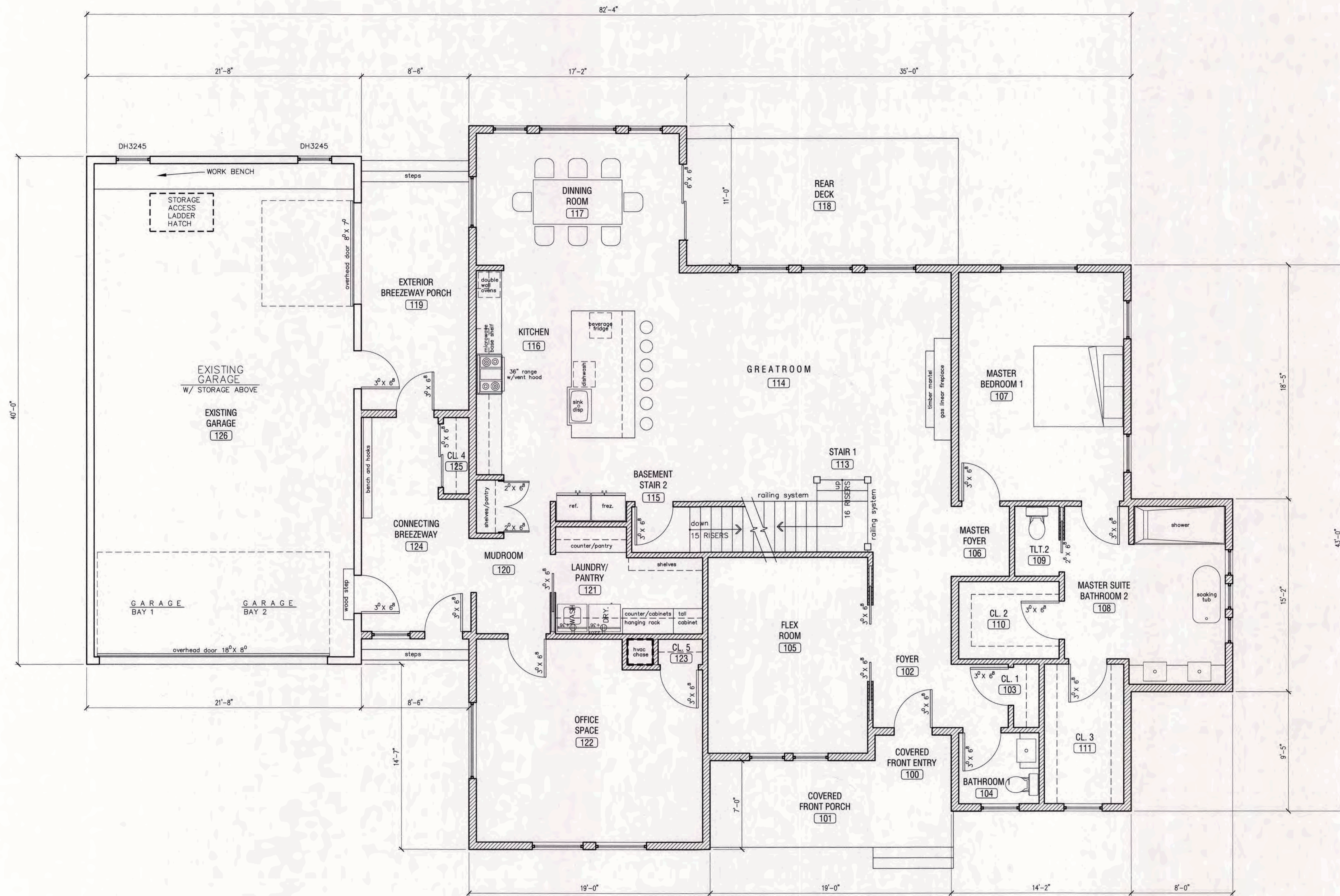


FINGER
 NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP

SCALE AS NOTED
 SHEET TITLE
 BASEMENT / FOUNDATION PLAN & DETAILS

PROJECT NUMBER
 A0
 DRAWING NUMBER



NORTH

1 FIRST FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"

NOTE: (unless otherwise noted)
TYPICAL NEW EXTERIOR WALL IS 7" THICK - 2x6

- : NEW WOOD STUD WALLS
- : NEW MASONRY WALLS

NOTE:
ALL EXTERIOR HOUSE WALLS ARE CONSTRUCTED OF
2X6 @ 16"OC WOOD STUD WALLS WITH PT SILL PLATE AND 5/8" TYPE 'X'
GYP. BD. ON THE FINISHED SIDES OF THE ROOM WHERE RATING IS REQUIRED &
1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF THE ROOM @ NON-RATED
LOCATIONS. PRIME AND PAINT.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP

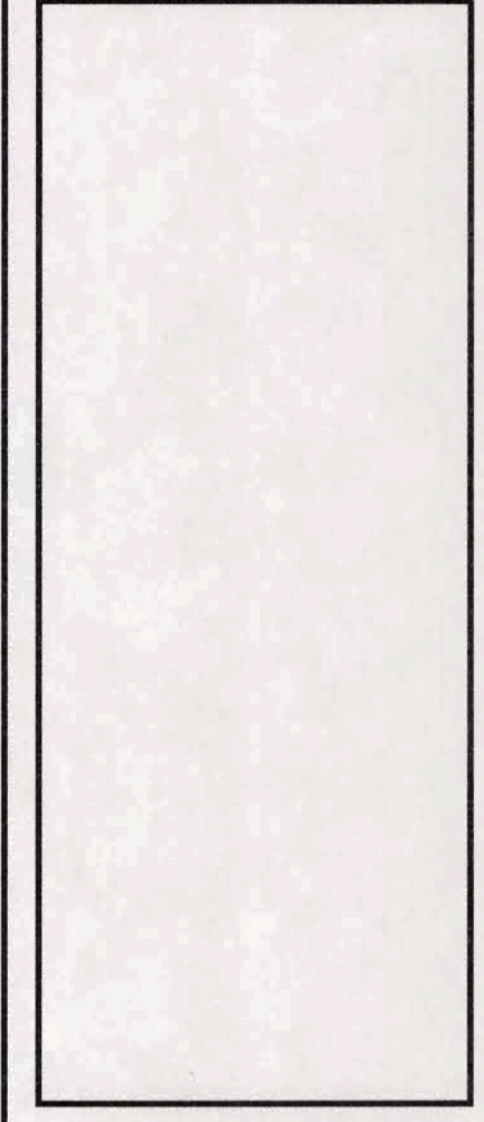
SCALE AS NOTED
SHEET TITLE
FIRST FLOOR PLAN

PROJECT NUMBER

A1

DRAWING NUMBER

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

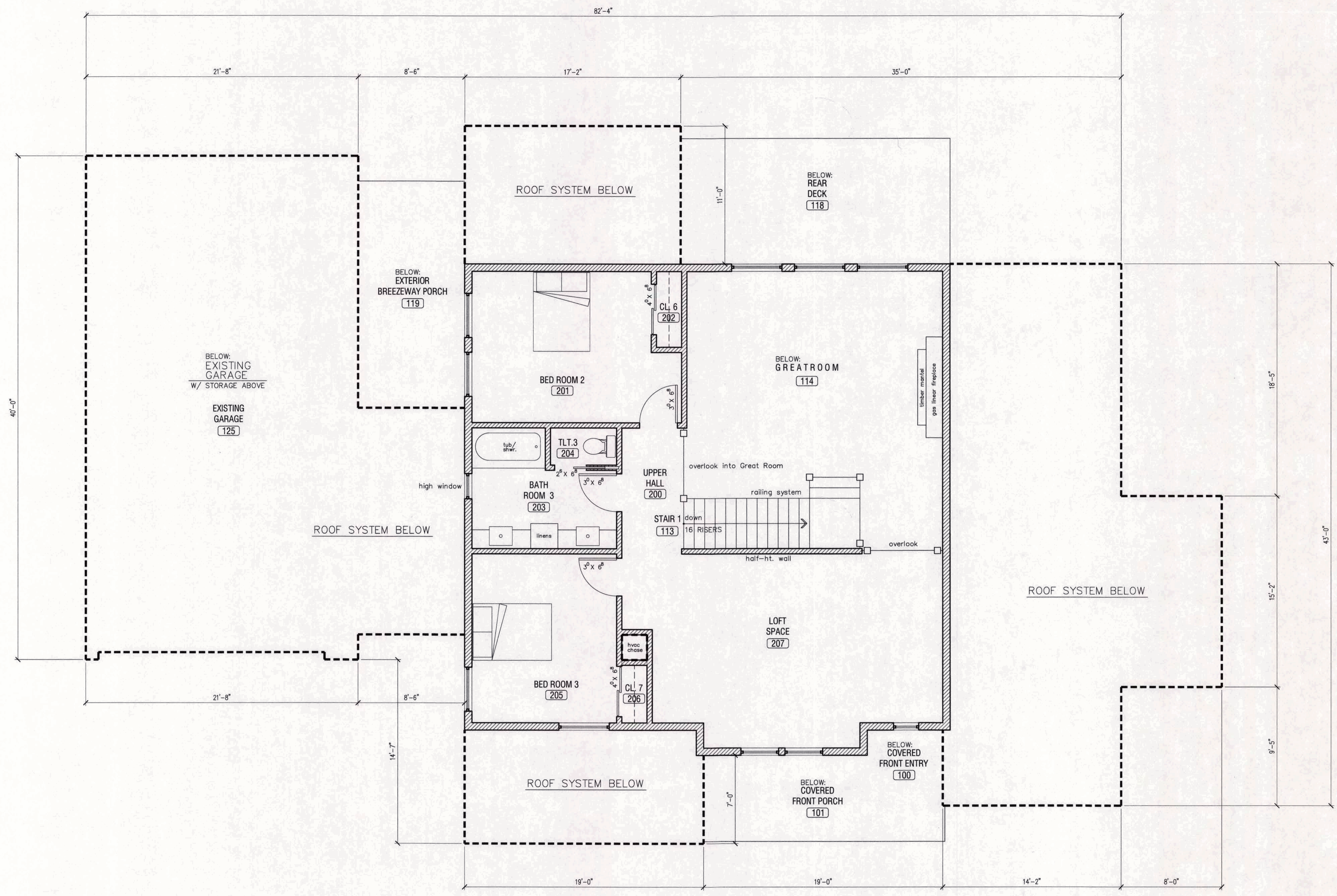
DATE	DRAWN	CHECKED
09/30/23	DAP	DAP

SCALE AS NOTED

SHEET TITLE
 SECOND FLOOR PLAN

PROJECT NUMBER
A2

DRAWING NUMBER

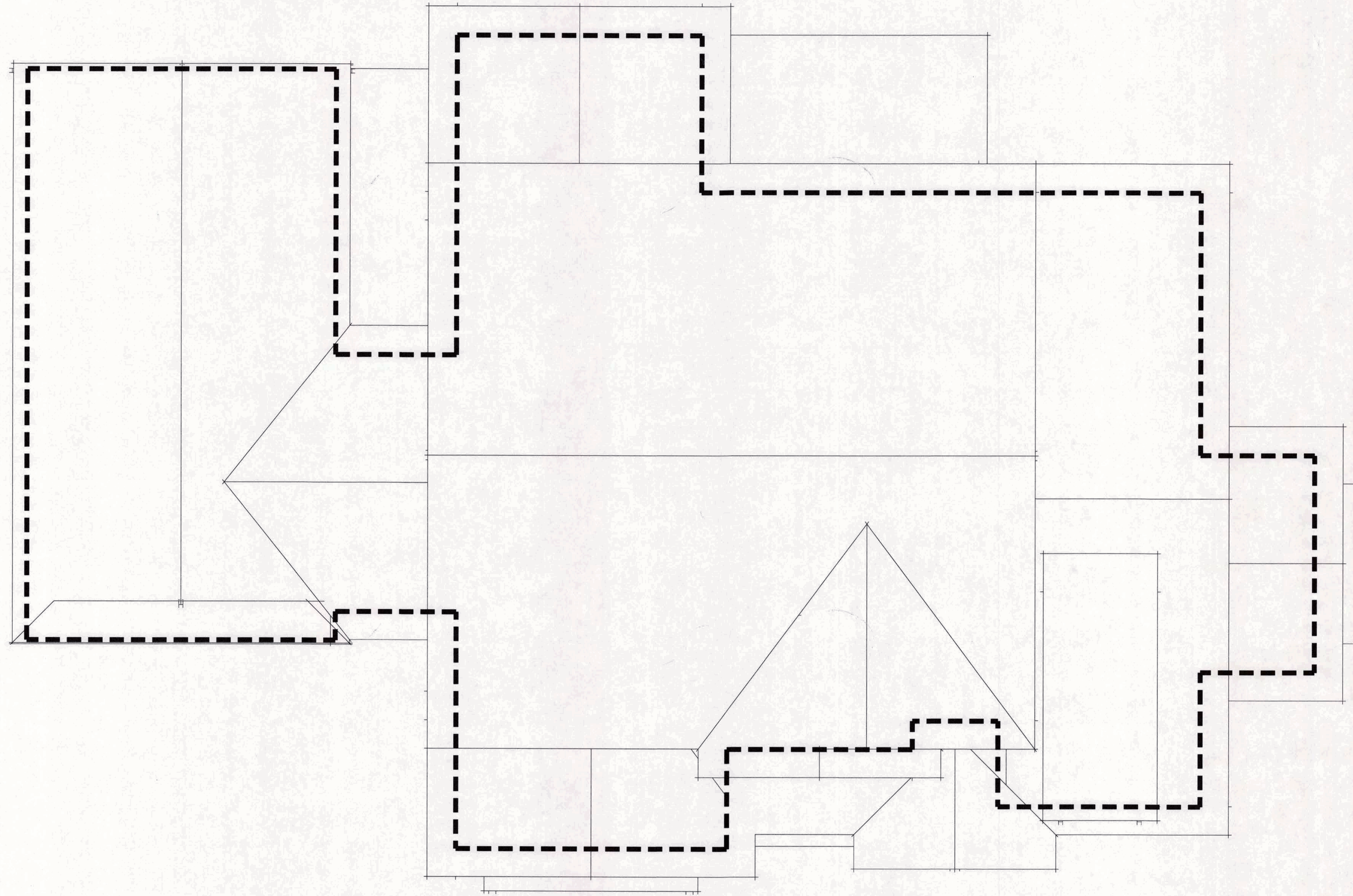


1 SECOND FLOOR PLAN
A2
 SCALE: 1/4" = 1'-0"

NOTE: (unless otherwise noted)
 TYPICAL NEW EXTERIOR WALL IS 7" THICK - 2x6

- : NEW WOOD STUD WALLS
- : NEW MASONRY WALLS

NOTE:
 ALL EXTERIOR HOUSE WALLS ARE CONSTRUCTED OF 2x6 @ 16"OC WOOD STUD WALLS WITH PT SILL PLATE AND 5/8" TYPE 'X' GYP. BD. ON THE FINISHED SIDES OF THE ROOM WHERE RATING IS REQUIRED & 1/2" NON-RATED GYP. BD. ON THE FINISHED SIDES OF THE ROOM @ NON-RATED LOCATIONS. PRIME AND PAINT.



1 ROOF PLAN
A2 SCALE: 1/4" = 1'-0"

ROOFING NOTES: UNLESS OTHERWISE NOTED

1. PROVIDE ICE AND WATER SHEILD ON ROOF TO COMPLY WITH SECTION 905.2.7.1 OF THE NYS BUILDING CODE. ICE AND WATER SHEILD SHOULD BE A MINIMUM OF 6'-0" UP THE ROOF PITCH FROM THE EAVE EDGE.
2. PROVIDE COLLAR TIES AT ALL RAFTER LOCATIONS. COLLAR TIES SHOULD BE THROUGH BOLTED TO THE ADJOINING RAFTER.
3. PROVIDE NEW 30 YEAR ARCHITECTURAL ROOFING SYSTEM ON THE ENTIRE NEW BUILDING ADDITION ONLY. REMOVE EXISTING ROOFING TO ACCOMMODATE OVERFRAMING OVERLAY. PROVIDE NEW SHEATHING WHERE DAMAGED.
4. ROUTE ALL 6" GUTTERS & DOWNSPOUTS TO THE UNDERGROUND PIPING SYSTEM IF POSSIBLE. IF STORM DOES NOT EXIST, ROUTE PIPING TO DAYLIGHT IN 4" PERFORATED DRAIN TILE TOWARDS THE EAST/STREET.

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP

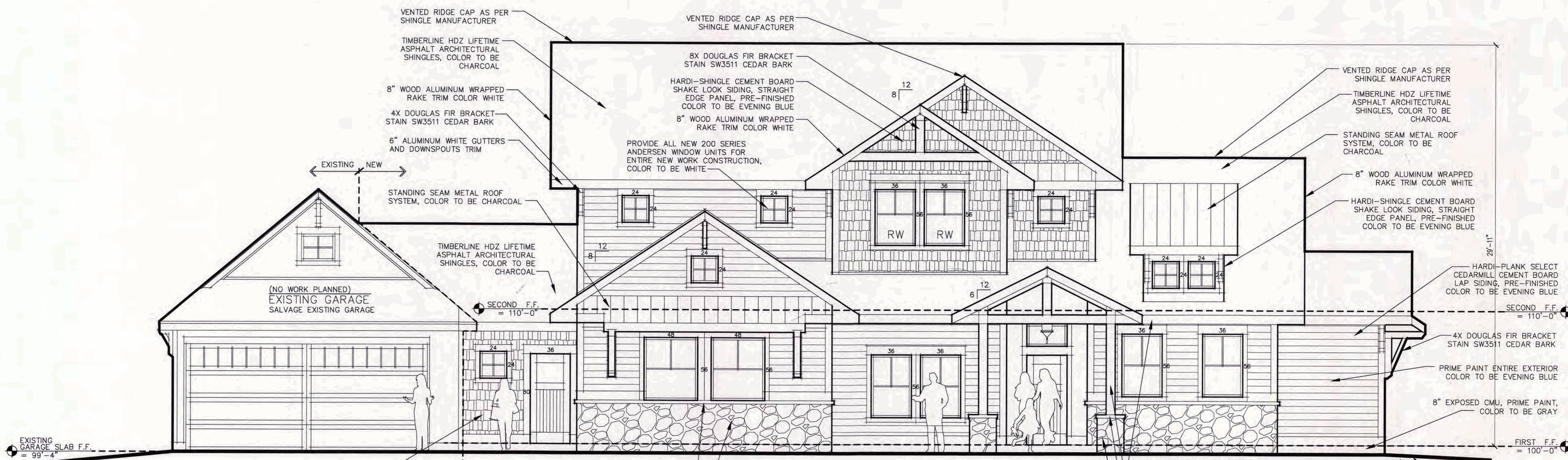
SCALE AS NOTED

SHEET TITLE

ROOF PLAN

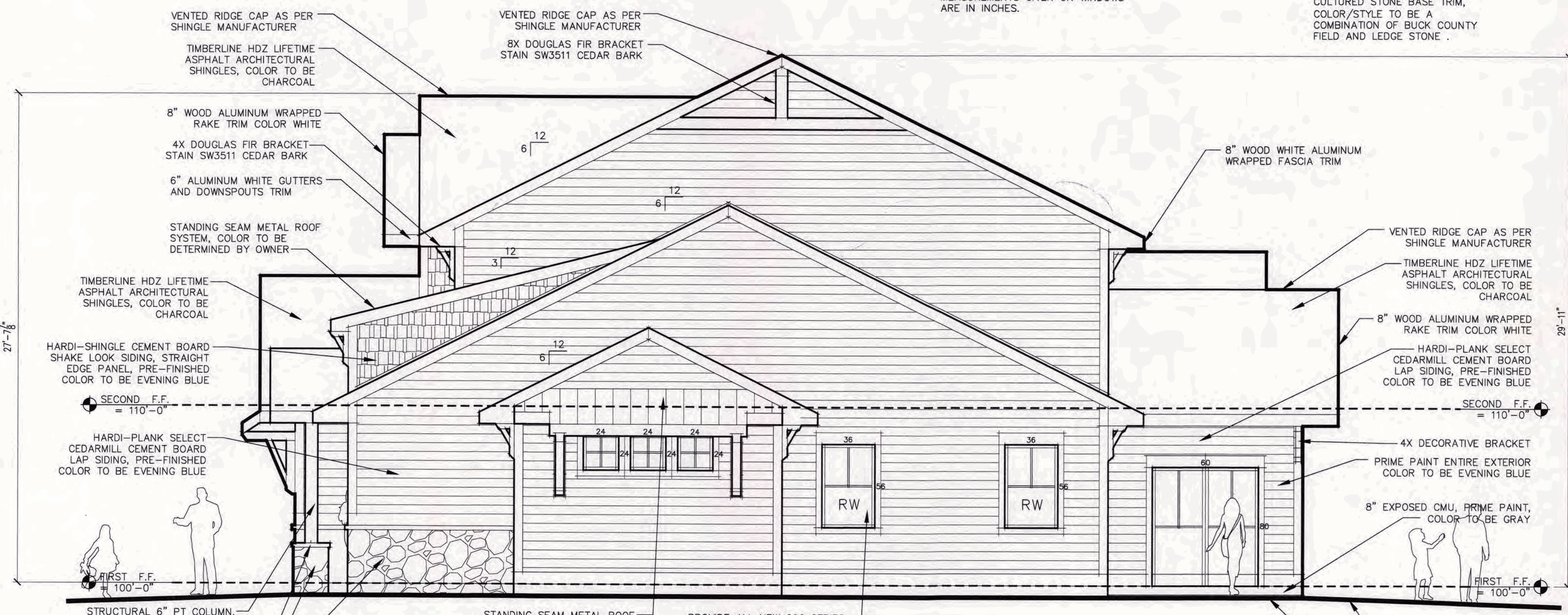
PROJECT NUMBER

A3
DRAWING NUMBER



1 EAST ELEVATION
 A3 SCALE: 1/4" = 1'-0"

RW: RESCUE WINDOW
 ALL ANDERSEN RESCUE WINDOWS NEED TO MEET THE CLEAR OPEN REQUIREMENTS. PROVIDE AN ANDERSEN 244DH3049 OR LARGER THAT MEETS OR EXCEEDS A CLEAR OPENING AREA OF 5.7 SF., 20" MIN WIDTH AND 24" MIN HEIGHT. MEASUREMENTS GIVEN ON WINDOWS ARE IN INCHES.



2 NORTH ELEVATION
 A3 SCALE: 1/4" = 1'-0"

RW: RESCUE WINDOW
 ALL ANDERSEN RESCUE WINDOWS NEED TO MEET THE CLEAR OPEN REQUIREMENTS. PROVIDE AN ANDERSEN 244DH3049 OR LARGER THAT MEETS OR EXCEEDS A CLEAR OPENING AREA OF 5.7 SF., 20" MIN WIDTH AND 24" MIN HEIGHT. MEASUREMENTS GIVEN ON WINDOWS ARE IN INCHES.

NO.	DATE	BY	CHECKED	DESCRIPTION

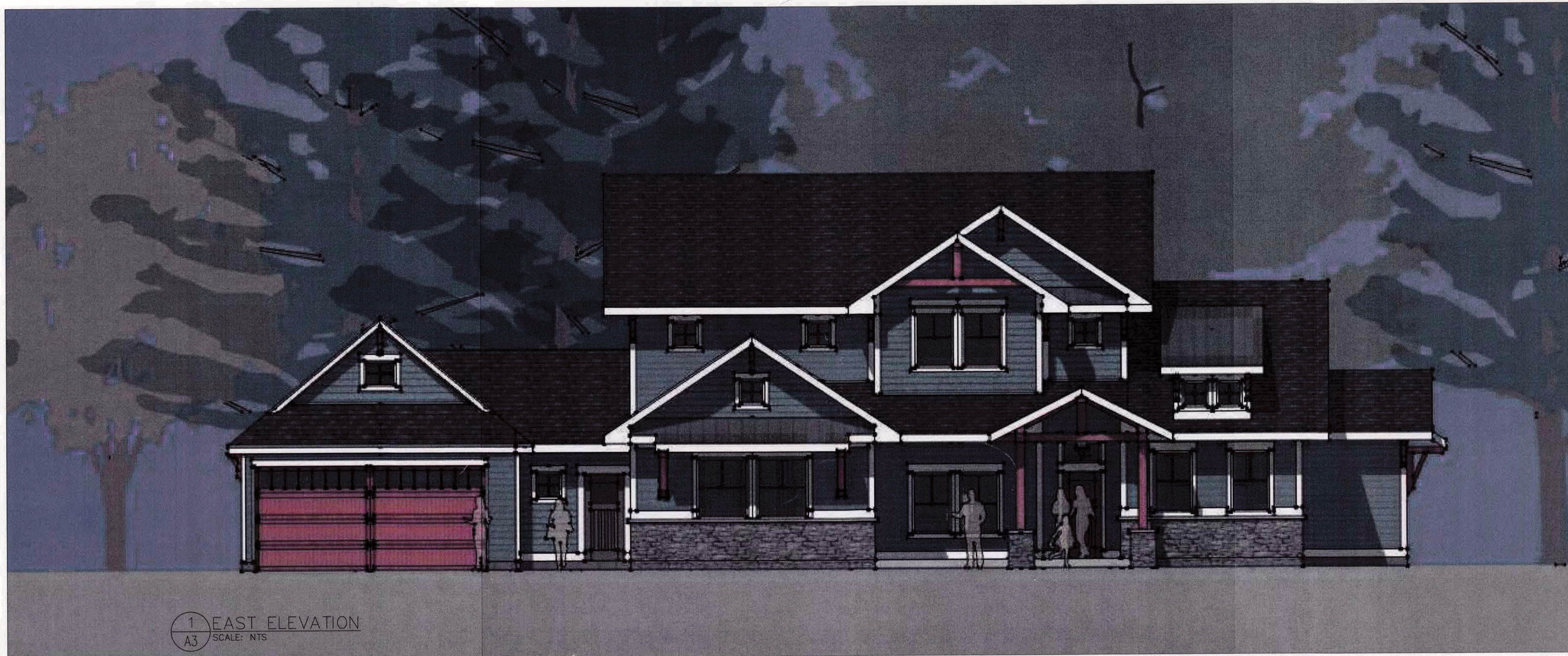
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FINGER
 NEW RESIDENCE ADDITION
 105 ELLINGWOOD DRIVE
 ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP
SCALE AS NOTED		
SHEET TITLE		
EAST & NORTH EXTERIOR ELEVATIONS		

PROJECT NUMBER
 A4
 DRAWING NUMBER

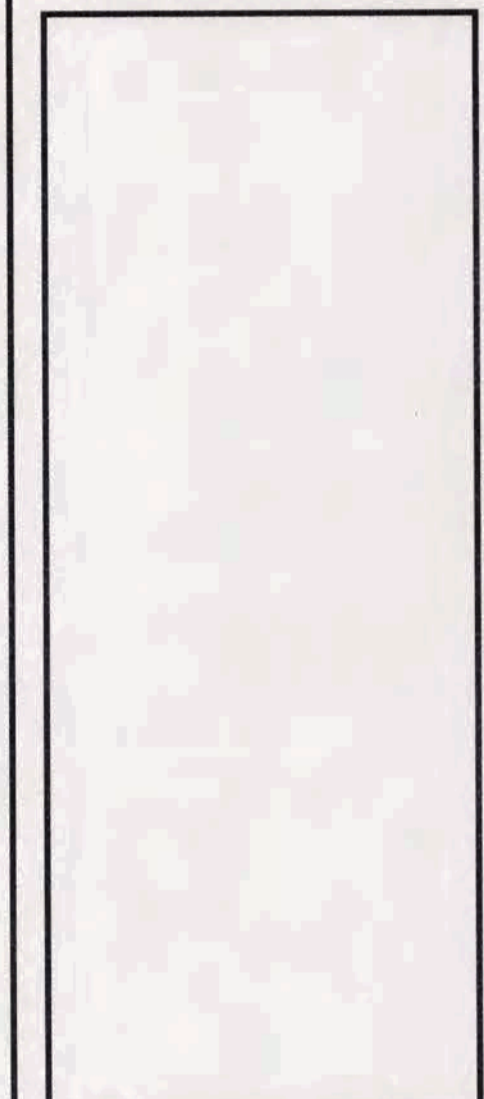


1 EAST ELEVATION
A3 SCALE: NTS



2 NORTH ELEVATION
A3 SCALE: NTS

REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION



FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP

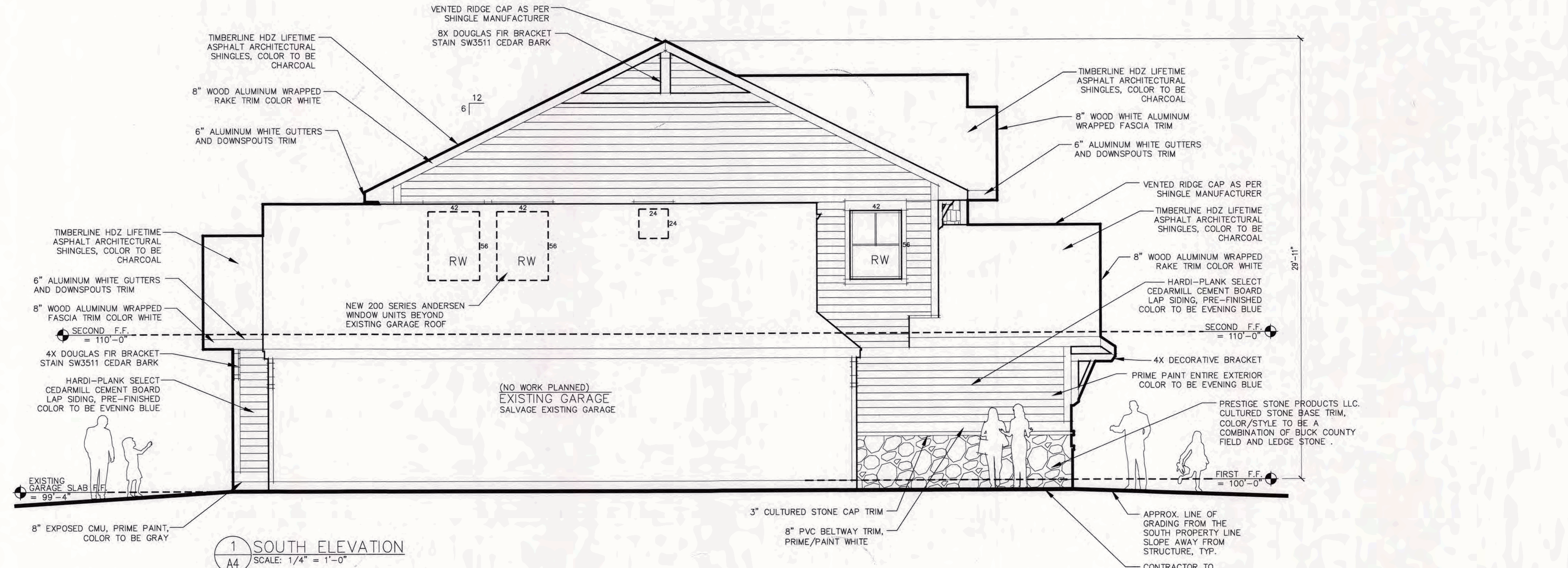
SCALE: AS NOTED

SHEET TITLE
EAST & NORTH
COLORED EXTERIOR
ELEVATIONS

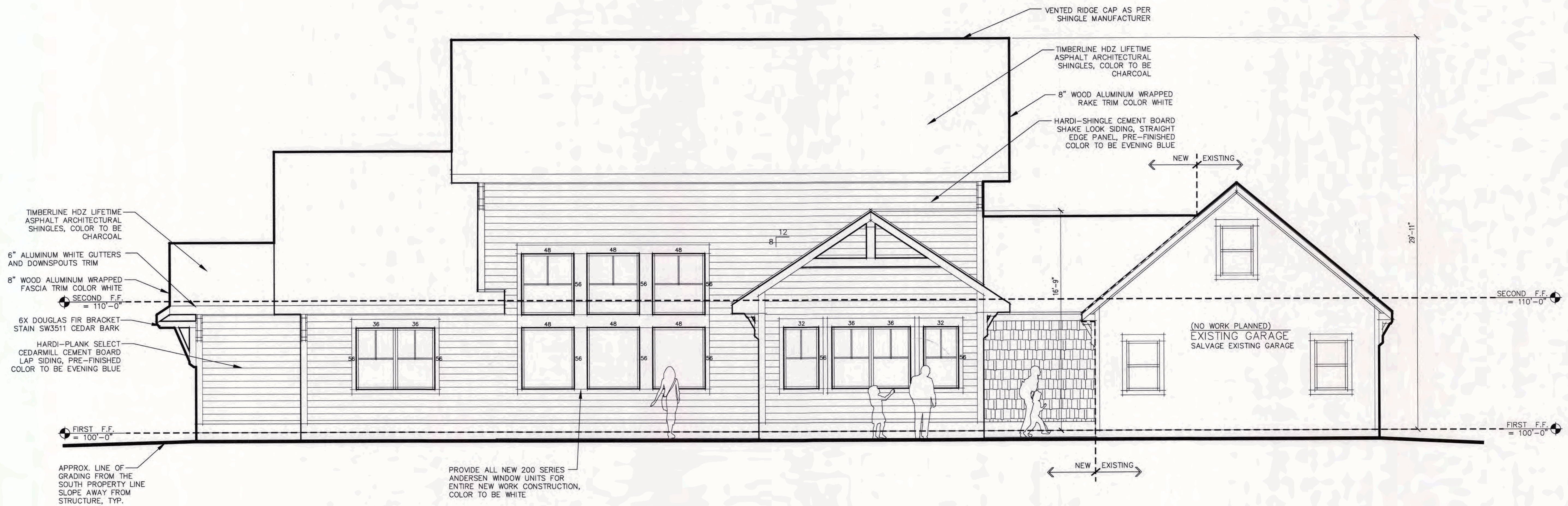
PROJECT NUMBER

A4

DRAWING NUMBER



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

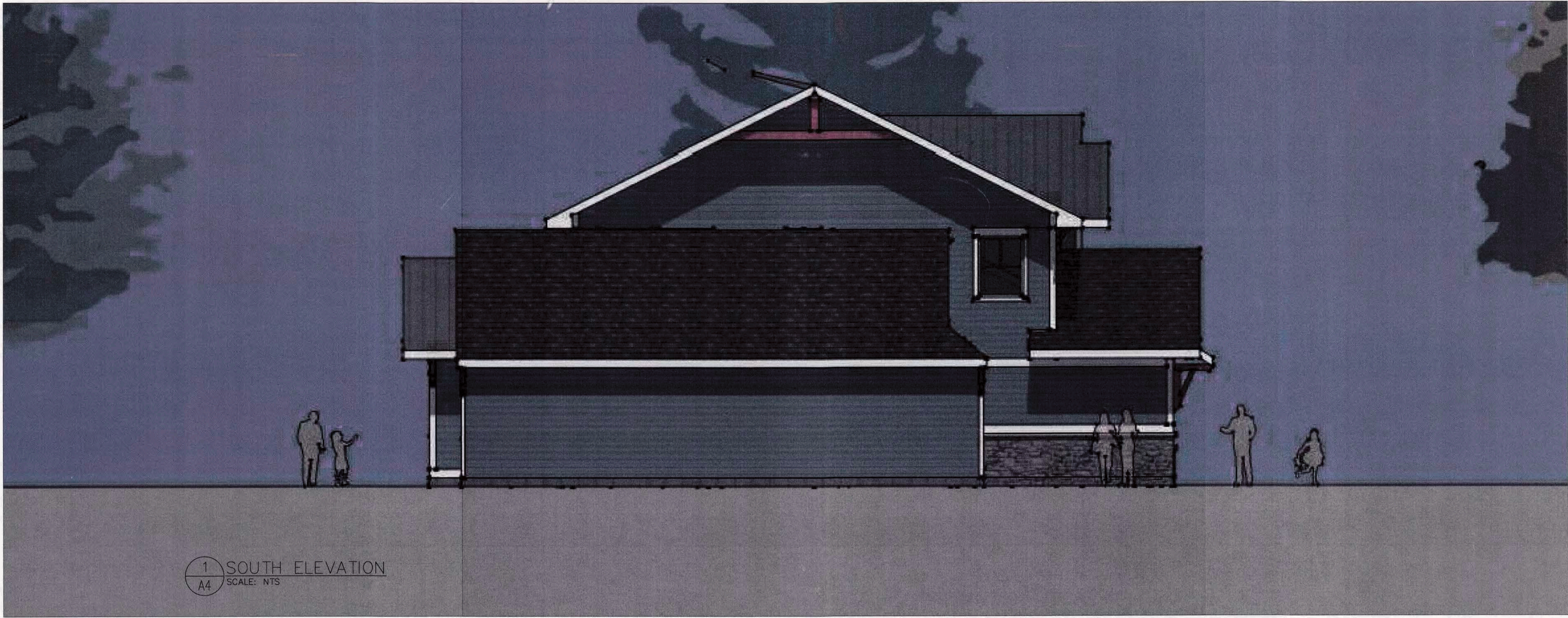
REVISIONS NO.	DATE	BY	CHECKED	DESCRIPTION

FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE	DRAWN	CHECKED
09/30/23	DAP	DAP

SCALE: AS NOTED
SHEET TITLE
SOUTH & WEST EXTERIOR ELEVATIONS

PROJECT NUMBER
A5
DRAWING NUMBER



1 SOUTH ELEVATION
A4 SCALE: NTS



2 WEST ELEVATION
A4 SCALE: NTS

REVISIONS		BY	CHECKED	DESCRIPTION
NO.	DATE			

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FINGER
NEW RESIDENCE ADDITION
105 ELLINGWOOD DRIVE
ROCHESTER, NY 14618

DATE 09/30/23	DRAWN DAP	CHECKED DAP
SCALE AS NOTED		
SHEET TITLE SOUTH & WEST COLORED EXTERIOR ELEVATIONS		

PROJECT NUMBER

A5
DRAWING NUMBER