

**AGENDA
TOWN OF PITTSFORD
PLANNING BOARD
AUGUST 28, 2023**

This agenda is subject to change.

Please take notice that the Town of Pittsford Planning Board will hold the following meeting on Monday, August 28, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:30PM local time.

The Board will hold an agenda review session in the Second-Floor Meeting Room at 6:00PM.

PENDING DECISION

BME Associates, Coventry Ridge Subdivision Section 4
Final Subdivision

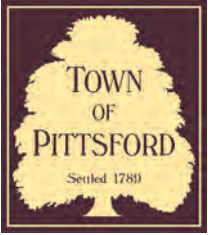
OTHER BUSINESS

Approval of Minutes

TABLED TOPIC

McMahon LaRue Associates, Geoca Subdivision
Concept Subdivision

The next scheduled meeting is for Monday, September 11, 2023.



TOWN OF PITTSFORD SUBDIVISION APPLICATION FORM

Planning Board – 11 S. Main Street – Pittsford, 14534 – 248-6260

PROJECT NAME: Coventry RidgeSubdivision, Section 4

LOCATION: Clover Street

TAX ACCOUNT NO.: 177.04-1-3.112 and 177.04-1-15.111

OWNER: Clover Street Development Corp. **APPLICANT:** Clover St. Development Corp.

ADDRESS: 30 Grove Street **ADDRESS:** 30 Grove Street

CITY, ST ZIP: Pittsford, NY 14534 **CITY, ST ZIP:** Pittsford, NY 14534

PHONE: (585) 586-4521 **PHONE:** (585) 586-4521

FAX: (585) 586-8656 **FAX:** (585) 586-8656

E-MAIL: jim@spallhomes.com **E-MAIL:** jim@spallhomes.com

AGENT: BME Associates / Peter G. Vars, P.E. and Fred Shelley, L.S.

ADDRESS: 10 Liftbridge Lane East

CITY, ST ZIP: Fairport, NY 14450

PHONE: (585) 377-7360 **FAX:** _____

E-MAIL: pvars@bmepc.com and fshelley@bmepc.com

BRIEF DESCRIPTION OF PROJECT: 14 lot single family residential development on 21.33 acres,
including +/- 12.19 acres of open space

REQUEST FOR: Concept Subdivision
(Please Preliminary Subdivision
check all Final Subdivision
applicable)

Special Permit
 Preliminary Site Plan
 Final Site Plan

HEARING DATE REQUESTED: 8/28/2023

Square Footage of Building: _____

Total Acreage of Disturbance: 10.1 acres

ZONING CLASSIFICATION: RN & IZ **SIZE OF PARCEL:** +/- 21.33 acres

Is this parcel in a flood plain, agricultural district, and/or wetlands, or does it contain features of archaeological or historical significance? NO YES (Please specify)

Federal Wetlands located on site - no disturbance / no Ag District, historical or archeological classifications

If this parcel is within 500' of a municipal boundary, please specify: N/A
(Municipality)



August 10, 2023

Planning Board
Town of Pittsford
11 S. Main Street
Pittsford, NY 14534

**Re: Coventry Ridge Section 4
Final Subdivision Application**

9502G

Dear Board Members:

On behalf of Clover Street Development Corporation, we submit the enclosed application for Coventry Ridge Subdivision Section 4 for final subdivision review and approval. We request to appear at your August 28, 2023 public hearing to present this application. For your consideration and review, we have included 14 copies (unless otherwise noted) of the following application materials:

- Letter of Intent
- Final Subdivision Plans (BME Drawing numbers 9502G-01 through 9502G-13)
- Planning Board Application Form
- Letter Addressing Preliminary Approval Resolution Conditions
- Engineer's Report (3 copies)

The following will be provided directly by the applicant under separate cover:

- Final Subdivision Application Fee of \$780 (\$500+\$20/lot @ 14 lots)

The Final Subdivision application maintains basic conformance with the Preliminary Subdivision Application Approval granted by the Town of Pittsford Planning Board on June 26, 2023, which granted preliminary approval of the proposed 14-lot subdivision on a dedicated public road. The final subdivision and development plans have been revised to address Planning Board preliminary approval conditions, comments received from the Town's DRC report, and layout/design revisions as coordinated with the Town Planning, Zoning, and Development Department staff. The project received a SEQRA negative declaration from the Planning Board on February 8, 1999 and the scope of the project is consistent with the SEQRA review, thus no further SEQRA procedures are required.

We look forward to presenting the application at the next available Planning Board meeting. Please review the enclosed materials and contact our office with any questions.

Sincerely,
BME ASSOCIATES

A handwritten signature in blue ink that reads 'Frederick A. Shelley'.

Frederick A. Shelley, LS

/FAS

Encl.

c: Clover Street Development Corp. w/1x enclosures
MRB Group, Dave Willard PE w/1x enclosures



August 9, 2023

Planning Board
Town of Pittsford
11 S. Main Street
Pittsford, NY 14534

**Re: Coventry Ridge Section 4
Preliminary Subdivision Conditions of Approval
Response to Comments**

9502G

Dear Board Members:

On behalf of Clover Street Development Corporation, we have reviewed the Resolution Conditions of Approval comments for the above-referenced project dated June 26, 2023, and we offer the following responses for the Town's consideration:

1. Subject to resolution to or compliance the Town's DRC report dated March 10, 2023, and the applicant's written response received March 24, 2023, unless specified otherwise herein.

Acknowledged. The application and development plans have been prepared to address DRC report comments, applicant responses, and further coordination with the Town Planning Board and Staff.

2. Final plans must include a note, "Trails are to be boxed out 6 feet wide and 6 inches in depth, with 4 inches of rough millings installed as a base and topped with 2 inches of fine millings." The trail detail will also need to be adjusted to reflect this requirement. The Town has free rough millings available for use. Trails in wooded areas will be field located and not require 6-inch boxing to preserve tree roots.

The requested note has been included within the Subdivision Plan Notes, the Note Sheet, and applicable plan details.

3. Final plans must include open space monuments shown on lot property corners.

The Subdivision Plan, BME Drawing Number 9502G-03, has been revised to include Open Space Monument locations, as requested.

4. Open space lands proposed to be dedicated to the Town of Pittsford will be subject to Town Board approval.

Acknowledged.

5. Access-ways to stormwater facilities/features and open space will be reviewed and approved as part of the Final Subdivision application.

Acknowledged. The referenced access ways proposed on the Final Subdivision development plan sets have been prepared based on coordination with Town staff.

6. Please include system and pump curve information for the Liberty Pumps, 1 HP simplex grinder pump for Town Sewer Department review.

The project design has been revised to preclude the necessity of the referenced grinder pump.

7. A project SWPPP shall be prepared for Coventry Ridge Section 4 as an addendum to the overall Coventry Ridge Subdivision SWPPP and shall reference the existing stormwater management facilities, sediment and erosion control practices, and post-construction practices proposed by this section.

The project SWPPP Addendum for this section will be prepared and provided to Town Staff for review upon Final Subdivision Application approval and any Final Plan revision coordination resulting from the application review by the Town.

8. The Town of Pittsford Sewer Department should be contacted for applicable sanitary sewer entrance and connection fees for the 14 lots. Entrance fees are generally collected at the time of Sewer Department final plan signature.

Acknowledged.

9. Vegetation clearing limits shall be staked/flagged and discussed with Town staff prior to any clearing.

Acknowledged.

10. All new homes are subject to review and approval by the Design Review and Historic Preservation Board.

Acknowledged.

11. Building permits are required from the Town of Pittsford Building Department prior to any construction of structures on the site.

Acknowledged.

12. The Town's standard recreation fund fee is applicable for each new home. This fee is currently \$1,000.00 and is collected upon the issuance of a building permit.

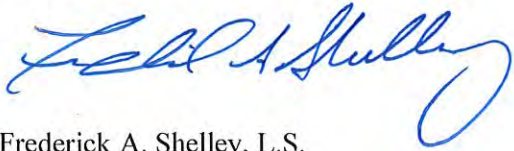
Acknowledged.

13. Final Subdivision application must include a written explanation of how the conditions of the Preliminary Subdivision approval have been addressed.

Acknowledged, comment responses are included above.

If you have any remaining questions or require additional information, please contact our office.

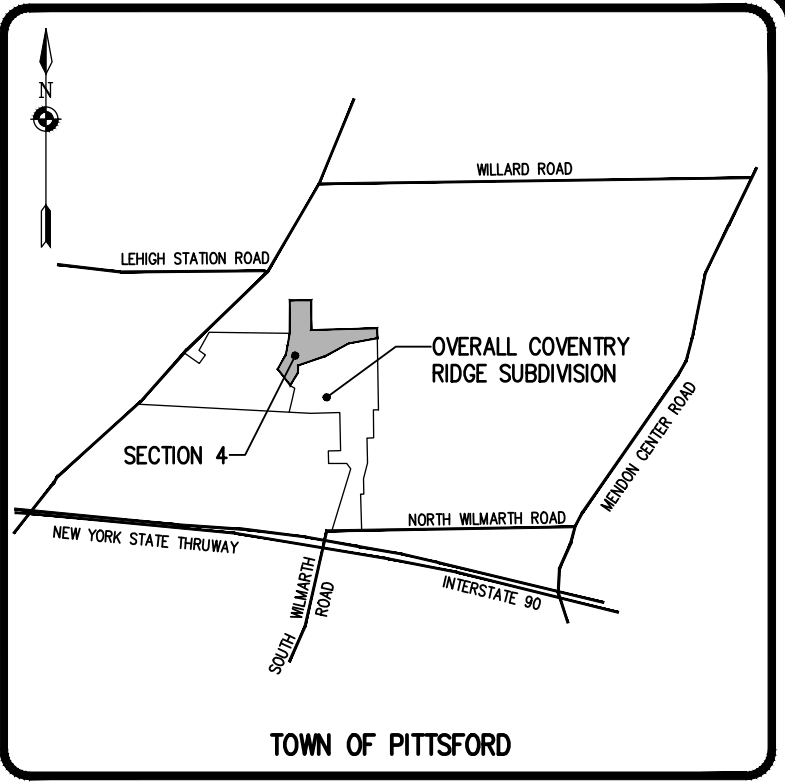
Sincerely,
BME ASSOCIATES



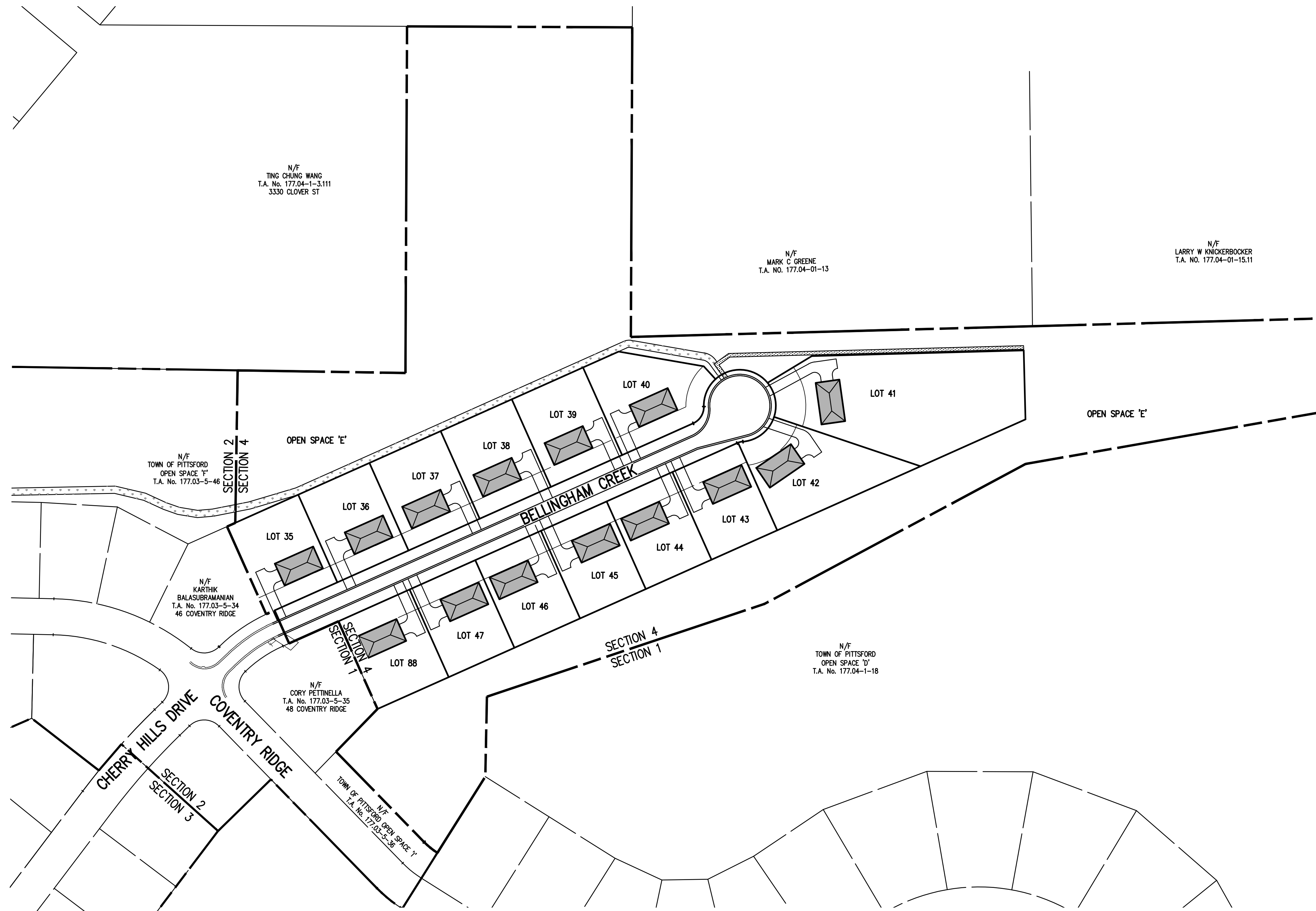
Frederick A. Shelley, L.S.

c: Clover Street Development Corp.

P:\9502G\Drawings\Final\9502G_Cover_Sheet.dwg



LOCATION MAP
NOT TO SCALE



COVENTRY RIDGE SUBDIVISION

SECTION 4

TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE

PREPARED FOR:
CLOVER STREET DEVELOPMENT CORPORATION

30 GROVE STREET
PITTSFORD, NY 14534

FINAL PLANS COVENTRY RIDGE SUBDIVISION

DWG NO.	TITLE
9502G-01	COVER SHEET
9502G-02	OVERALL SUBDIVISION PLAT
9502G-03	SUBDIVISION PLAT DETAIL
9502G-04	UTILITY PLAN
9502G-05	GRADING PLAN
9502G-06	CONSTRUCTION EROSION CONTROL PLAN
9502G-07	LATERAL PLAN
9502G-08	PROFILE SHEET
9502G-09	NOTE SHEET
9502G-10	DETAIL SHEET (SHEET 1 OF 4)
9502G-11	DETAIL SHEET (SHEET 2 OF 4)
9502G-12	DETAIL SHEET (SHEET 3 OF 4)
9502G-13	DETAIL SHEET (SHEET 4 OF 4)

SCALE: 1"=100'

DRAWING NUMBER: 9502G-01
DATED: FEBRUARY 1, 2023
LAST REVISED: 8/7/23

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST PHONE 585-377-7360
FAIRPORT, NEW YORK 14450 FAX 585-377-7309
WWW.BMEPC.COM

THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "AFFIDAVIT OF NO CHARGE" UNLESS BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "AFFIDAVIT OF NO CHARGE" OR SIMILAR INSTRUMENT.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

*UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW.

SUBDIVISION NOTES:

- EXISTING ZONING IS IZ - INCENTIVE ZONING AND RN- RESIDENTIAL NEIGHBORHOOD.
- TOTAL PROJECT AREA IS 130.765 ACRES CONTAINING 112 LOTS. SECTION 4 AREA IS 21.330 ACRES CONTAINING 14 LOTS AND 12.34 ACRES OF PARK DISTRICT/OPEN SPACE.
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL LOTS
- THIS SUBDIVISION IS APPROVED PURSUANT TO NEW YORK TOWN LAW SECTION 278 AND SECTION 25-405(C) OF THE TOWN OF PITTSFORD ZONING CODE AND REFLECTS IN TOTAL THE PERMITTED NUMBER OF BUILDING LOTS ALLOWED. NO FURTHER SUBDIVISION OF LOTS IS PERMITTED.
- APPLICATION SETBACKS/LOT STANDARDS ARE AS FOLLOWS:

MIN. LOT AREA	13,500 SF
FRONT YARD	30 FEET (LOTS 35-40)
	35 FEET (LOTS 43-47, 88)
	40 FEET (LOT 42)
	50 FEET (LOT 41)
SIDE YARD	10 FEET
REAR YARD	10 FEET
LOT WIDTH @ SETBACK	90 FEET
BUILDING HEIGHT	40 FEET (MAXIMUM)
IMPERVIOUS COVERAGE	33% (MAXIMUM)
- TOTAL OPEN SPACE AREAS PROVIDED:

PROPOSED SECTION 4:	
OPEN SPACE AREA "E"	12.322 ACRES
- TOTAL IMPERVIOUS AREA = 3.24 ACRES (BASED ON 33% MAXIMUM IMPERVIOUS LOT AREA)
TOTAL DISTURBED AREA = 10.02 ACRES
- THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS. APPROVALS UNDER SECTION 278 OF TOWN LAW OF THE TOWN OF PITTSFORD AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PITTSFORD, THE APPROPRIATE AGENCIES (IE, MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY GEODETIC SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENTS.
- REVIEW OF THE FEMA MAPS DOES NOT INDICATE THIS PROPERTY TO BE WITHIN A RECOGNIZED 100-YEAR FLOODPLAIN.
- WETLAND LIMITS WITHIN THE PROJECT AREA WERE DELINEATED BY BME ASSOCIATES AND APPROVED BY THE U.S. ARMY CORPS OF ENGINEERS. NO DISTURBANCE TO REGULATED WETLANDS PROPOSED.

SUBDIVISION NOTES CONTINUED:

- THIS PROPERTY MAY BORDER A FARM, AS DEFINED IN LOCAL LAW NO. 4-1992. RESIDENTS SHOULD BE AWARE THAT FARMERS HAVE THE RIGHT TO UNDERTAKE FARM PRACTICES WHICH MAY GENERATE DUST, ODOR, SMOKE, NOISE AND VIBRATION.
- AT EACH LOCATION WHERE TRAILS ARE PROPOSED TO RUN BETWEEN OR NEXT TO FUTURE LOTS, THE PLACEMENT OF A SIGN STATING - "FUTURE SITE OF TOWN OF PITTSFORD PUBLIC ACCESS WAY" IS REQUIRED. THE ADJACENT OWNERS/FUTURE OWNER MUST ALSO SIGN AN ACKNOWLEDGEMENT STATING THEY ARE AWARE OF THE PATH INSTALLATION, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE ACKNOWLEDGEMENT DOCUMENT FORM MAY BE OBTAINED FROM THE DPW.
- TEMPORARY ROAD SIGNS ARE TO BE PLACED FOR EMERGENCY IDENTIFICATION AS SOON AS CONSTRUCTION BEGINS. SITE ENTRANCES AND ROADWAYS MUST NOT BE BLOCKED TO IMPEDE EMERGENCY ACCESS AT ANY TIME DURING CONSTRUCTION.
- THE DEVELOPER SHALL INSTALL THE PROPOSED 6' WIDE ASPHALT MILLINGS TRAIL ALONG THE NORTH LINE OF LOT 41 UPON COMPLETION OF THE CONSTRUCTION OF THE HOME ON LOT 41. TRAILS ARE TO BE BOXED OUT 6 FEET WIDE AND 6 INCHES IN DEPTH, WITH 4 INCHES OF ROUGH MILLINGS INSTALLED AS A BASE AND TOPPED WITH 2 INCHES OF FINE MILLINGS
- DEVELOPER WILL INSTALL 4x4 PROPERTY MARKERS TO DELINEATE TOWN OWNED LANDS. THE TOWN WILL PURCHASE THE LUMBER, BEVEL, AND BRAND THE MARKERS, AND DELIVER THEM UPON REQUEST OF THE DEVELOPER.

LEGEND

BOUNDARY LINE
PROPOSED LOT LINE
ORIGINAL DATA AND LOT LINE
CENTERLINE
SETBACK LINE
PROPERTY MARKER FOUND
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE

REFERENCES:

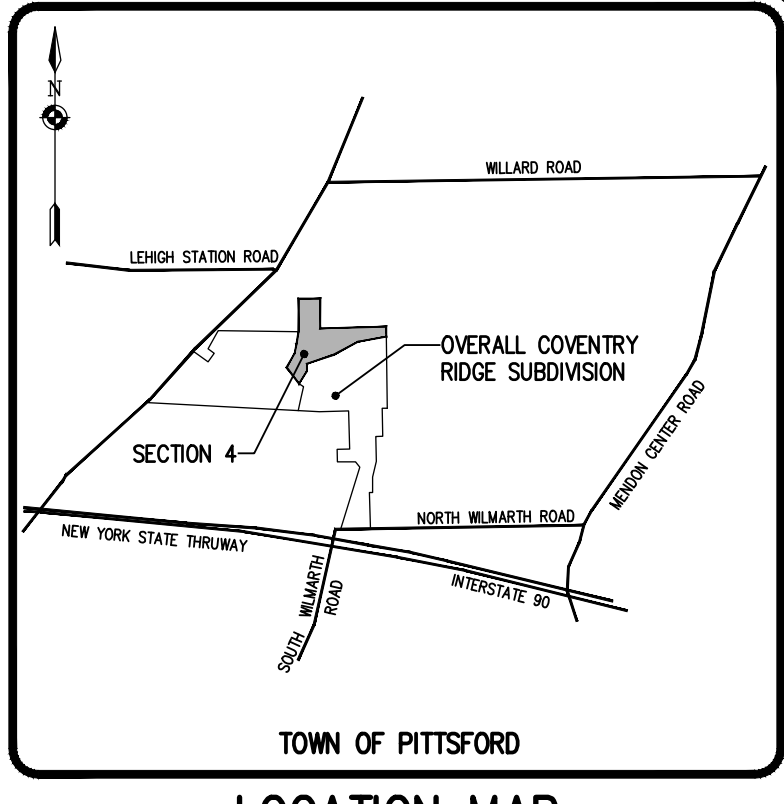
- A PLAN ENTITLED "FINAL SUBDIVISION PLAN FOR PHELPS SUBDIVISION" PREPARED BY D.J. PARRONE & ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERKS OFFICE IN LIBER 271 PAGE 34.
- A PLAN ENTITLED "COVENTRY RIDGE, SECTION 1, PHASE A, FINAL SUBDIVISION PLAT," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERKS OFFICE IN LIBER 341 OF MAPS, PAGE 94.
- A PLAN ENTITLED "COVENTRY RIDGE, SECTION 2, FINAL SUBDIVISION PLAT," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERKS OFFICE IN LIBER 349 OF MAPS, PAGE 76 & 77.
- A PLAN ENTITLED "COVENTRY RIDGE, SECTION 1, PHASE B," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERKS OFFICE IN LIBER 363, PAGE 1.
- A PLAN ENTITLED "FINAL SUBDIVISION PLAN FOR PHELPS SUBDIVISION," BY D.J. PARRONE & ASSOCIATES, P.C. AS FILED AT THE MONROE COUNTY CLERKS OFFICE IN LIBER 271 PAGE 34.
- THE FOLLOWING DEEDS FILED IN THE MONROE COUNTY CLERKS OFFICE:
LIBER 11486 PAGE 189
LIBER 11486 PAGE 196
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH REALTY SUBDIVISION APPROVAL

THIS IS TO CERTIFY THAT APPROVED PLANS FOR WATER SUPPLY AND SEWAGE TREATMENT FOR THIS PROJECT ARE ON FILE IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH. CONSENT IS HEREBY GIVEN FOR THE FILING OF THIS MAP IN THE MONROE COUNTY CLERK'S OFFICE IN ACCORDANCE WITH ARTICLE III OF THE MONROE COUNTY SANITARY CODE.

DIRECTOR OF PUBLIC HEALTH

BY: _____ DATE: _____



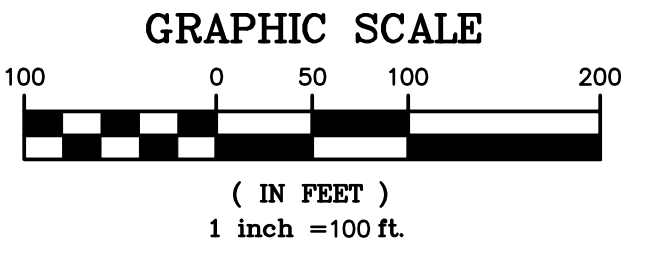
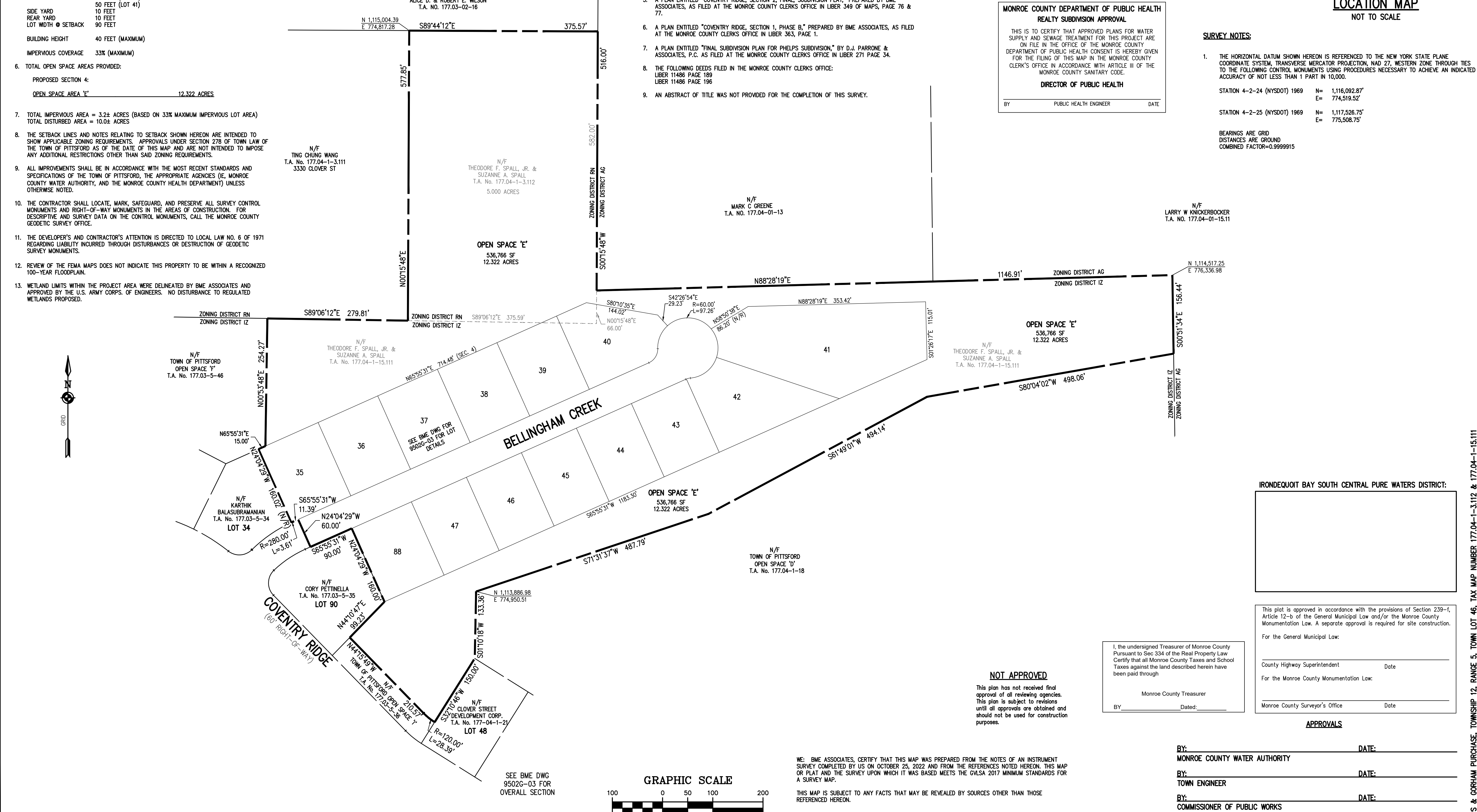
SURVEY NOTES:

- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, TRANSVERSE MERCATOR PROJECTION, NAD 27, WESTERN ZONE THROUGH TIES TO THE FOLLOWING CONTROL MONUMENTS USING PROCEDURES NECESSARY TO ACHIEVE AN INDICATED ACCURACY OF NOT LESS THAN 1 PART IN 10,000.

STATION 4-2-24 (NYSDOT) 1969	N= 1,116,092.87'	E= 774,519.52'
STATION 4-2-25 (NYSDOT) 1969	N= 1,117,526.75'	E= 775,508.75'

BEARINGS ARE GRID
DISTANCES ARE GROUND
COMBINED FACTOR=0.9999915

NO.	REVISION	DATE	BY
1	REVISED PER TOWN DRC COMMENTS	4/14/23	BC
2	REVISED PER PRELIMINARY APPROVAL	8/7/23	BC
3			
4			
5			
6			
7			



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BME Associates

WE, BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON OCTOBER 25, 2022 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVLISA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: *Gregory D. Bell*
GREGORY D. BELL, NYSPLS NO. 050661

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Monroe County Treasurer
BY: _____ Dated: _____

IRONDEQUOIT BAY SOUTH CENTRAL PURE WATERS DISTRICT:

This plat is approved in accordance with the provisions of Section 239-1, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For the General Municipal Law:
County Highway Superintendent _____ Date _____
For the Monroe County Monumentation Law:
Monroe County Surveyor's Office _____ Date _____

APPROVALS

BY: _____ DATE: _____
MONROE COUNTY WATER AUTHORITY

BY: _____ DATE: _____
TOWN ENGINEER

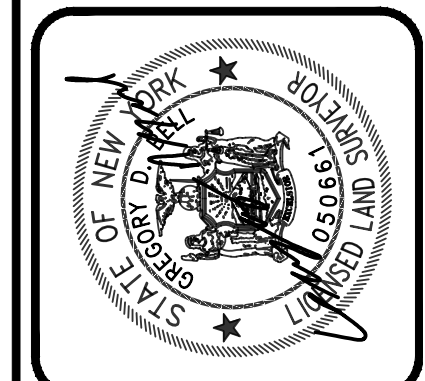
BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS

BY: _____ DATE: _____
CHAIRMAN OF THE PLANNING BOARD

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

PHONE 365-377-7340
FAX 365-377-7305

10 LIFT BRIDGE LANE EAST
PITTSFORD, NY 14540
WWW.BMEARC.COM



COVENTRY RIDGE SUBDIVISION
SECTION 4
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 LORRAINE STREET
PITTSFORD, NY 14534

FINAL SUBDIVISION PLAT

PROJECT: _____ DATE: _____
LOCATION: _____ DATE: _____
CLIENT: _____ DATE: _____
DRAWING TITLE: _____

PROJECT MANAGER DATE
P. VARS
PROJECT SURVEYOR DATE
GO BELL
DRAWN BY DATE
BC GOODING
SCALE DATE ISSUED
1"=100' FEBRUARY 1, 2023
PROJECT NO. 9502G
DRAWING NO. 02

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.04-1-3112 & 177.04-1-15.111

SUBDIVISION NOTES:

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 10 FEET
 10 FEET
 90 FEET
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 REAR YARD 10 FEET
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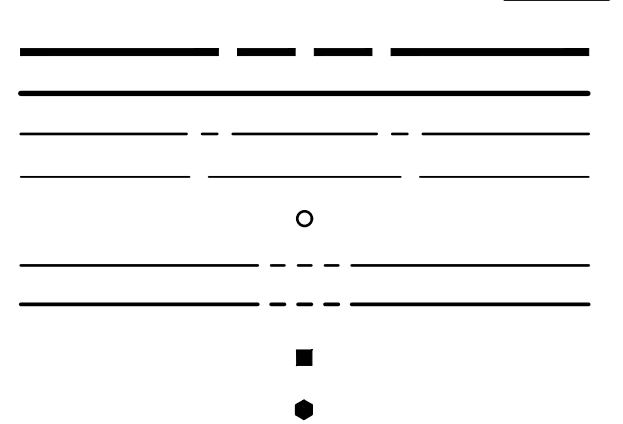
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 COMBINED FACTOR=0.9999915

LEGEND

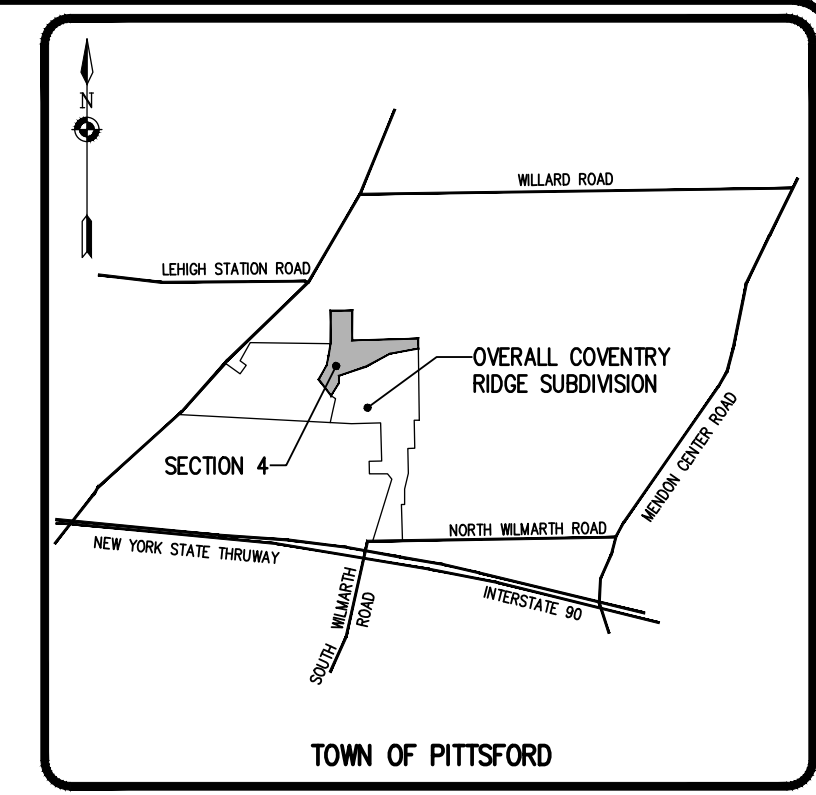


REFERENCES:

- A PLAN ENTITLED "COVENTRY RIDGE, SECTION 1, PHASE A, FINAL, SUBDIVISION PLAT, PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 341 OF MAPS, PAGE 94.
- A PLAN ENTITLED "COVENTRY RIDGE, SECTION 1, PHASE B," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 363, PAGE 1.
- A PLAN ENTITLED "COVENTRY RIDGE, SECTION 2, FINAL, SUBDIVISION PLAT," PREPARED BY BME ASSOCIATES, AS FILED AT THE MONROE COUNTY CLERK'S OFFICE IN LIBER 349 OF MAPS, PAGE 77.
- AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

MCDPH CONDITIONS OF APPROVAL FOR REALTY SUBDIVISIONS:

- MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL FOR THIS REALTY SUBDIVISION IS GRANTED ON CONDITION THAT:
- THE PROPOSED FACILITIES FOR WATER SUPPLY AND SEWAGE TREATMENT ARE INSTALLED IN CONFORMITY WITH THE APPROVED PLANS ON FILE WITH THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH (MCDPH).
 - AN ORIGINAL REALTY SUBDIVISION MAP APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY PRIOR TO OFFERING LOTS FOR SALE.
 - THE OWNER OF THE REALTY SUBDIVISION SHALL FURNISH EACH PURCHASER OF A LOT WITH A COPY OF THE APPROVED PLAN OR, IN THE CASE OF SALE OF DEVELOPED LOTS, THE OWNER OF THE REALTY SUBDIVISIONS SHALL FURNISH EACH PURCHASER WITH AN ACCURATE "AS-BUILT" PLAN DEPICTING ALL INSTALLED FACILITIES INCLUDING SEWAGE, STORM WATER AND WATER SUPPLY.
 - ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION. IF THE PROJECT WILL RESULT IN THE DISTURBANCE OF ONE ACRE OR MORE, COVERAGE UNDER THE NYSDEC SPDES GENERAL PERMIT GP-0-15-002 FOR STORMWATER DISCHARGES FOR CONSTRUCTION ACTIVITIES SHALL BE OBTAINED.
 - NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED AND APPROVED BY THE MCDPH.
 - PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY MCDPH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
 - PRIVATE WELLS AND PRIVATE ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED AFTER PUBLIC FACILITIES BECOME AVAILABLE.



**MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
 REALTY SUBDIVISION APPROVAL**

THIS IS TO CERTIFY THAT APPROVED PLANS FOR WATER SUPPLY AND SEWAGE TREATMENT FOR THIS PROJECT ARE ON FILE IN THE OFFICE OF THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH. CONSENT IS HEREBY GIVEN FOR THE FILING OF THIS MAP IN THE MONROE COUNTY CLERK'S OFFICE IN ACCORDANCE WITH ARTICLE III OF THE MONROE COUNTY SANITARY CODE.

DIRECTOR OF PUBLIC HEALTH

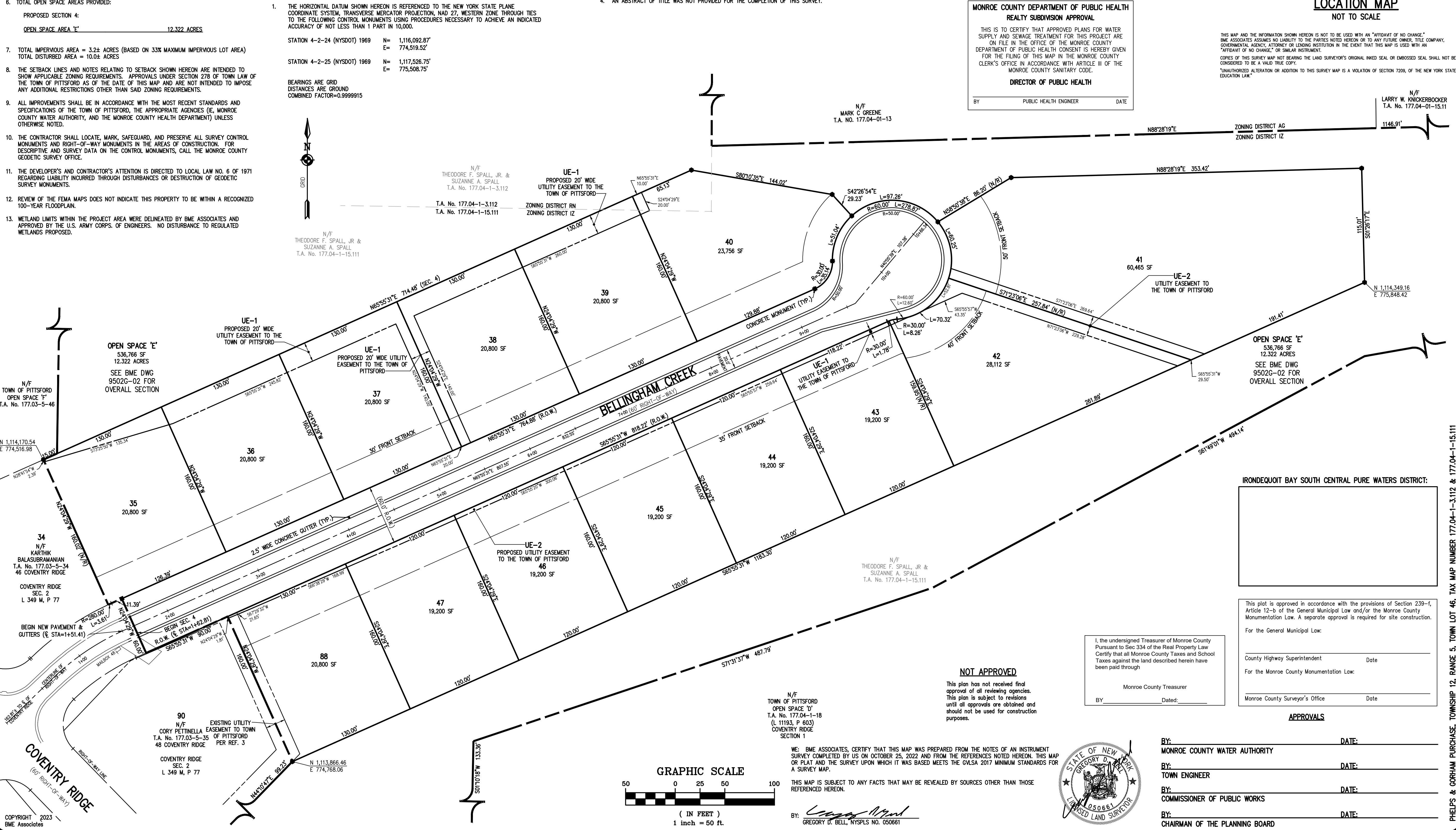
BY: PUBLIC HEALTH ENGINEER DATE: _____

THIS MAP AND THE INFORMATION SHOWN HEREON IS NOT TO BE USED WITH AN "INTENT OF NO CHANGE". BME ASSOCIATES ASSUMES NO LIABILITY TO THE PARTIES NOTED HEREON OR TO ANY FUTURE OWNER, TITLE COMPANY, GOVERNMENTAL AGENCY, ATTORNEY OR LENDING INSTITUTION IN THE EVENT THAT THIS MAP IS USED WITH AN "INTENT OF NO CHANGE" OR SIMILAR INSTRUMENT.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW.

NO.	REVISION	DATE	BY
7			
6			
5			
4	REVISED PER PRELIMINARY APPROVAL	8/7/23	BG
3	REVISED PER TOWN DRC COMMENTS	6/29/23	FAS
2	REVISED PER TOWN DRC COMMENTS	4/14/23	BG
1			



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

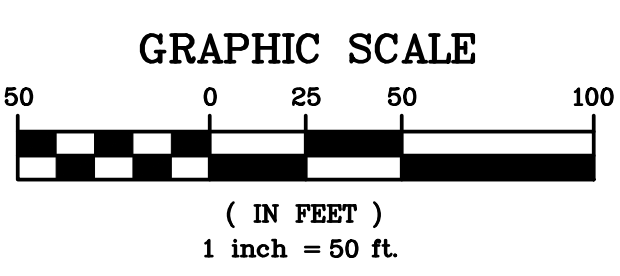
Monroe County Treasurer
 BY: _____ Dated: _____

IRONDEQUOIT BAY SOUTH CENTRAL PURE WATERS DISTRICT:

This plat is approved in accordance with the provisions of Section 239-f, Article 12-b of the General Municipal Law and/or the Monroe County Monumentation Law. A separate approval is required for site construction.

For the General Municipal Law:
 County Highway Superintendent Date _____

For the Monroe County Monumentation Law:
 Monroe County Surveyor's Office Date _____

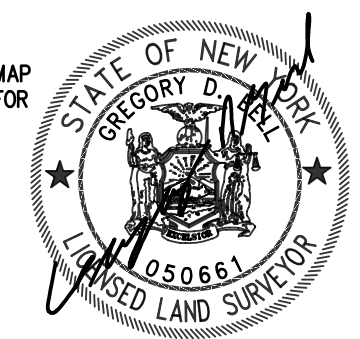


N/F TOWN OF PITTSFORD OPEN SPACE 'D' T.A. No. 177.04-1-18 (L 11193, P 603) COVENTRY RIDGE SECTION 1

WE: BME ASSOCIATES, CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF AN INSTRUMENT SURVEY COMPLETED BY US ON OCTOBER 25, 2022 AND FROM THE REFERENCES NOTED HEREON. THIS MAP OR PLAN AND THE SURVEY UPON WHICH IT WAS BASED MEETS THE GVLSA 2017 MINIMUM STANDARDS FOR A SURVEY MAP.

THIS MAP IS SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY SOURCES OTHER THAN THOSE REFERENCED HEREON.

BY: *Gregory D. Bell*
 GREGORY D. BELL, NYSPLS NO. 050661



APPROVALS

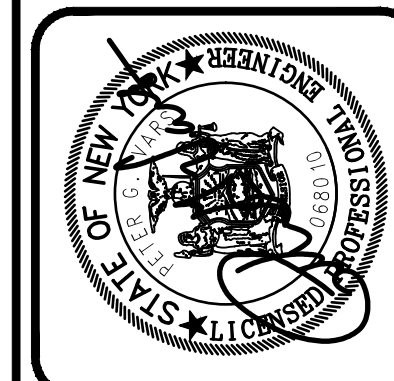
BY: MONROE COUNTY WATER AUTHORITY DATE: _____

BY: TOWN ENGINEER DATE: _____

BY: COMMISSIONER OF PUBLIC WORKS DATE: _____

BY: CHAIRMAN OF THE PLANNING BOARD DATE: _____

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 PHONE 365-377-7940
 10 JEFFERSON LANE EAST, SUITE 1440
 WWW.BMEARC.COM



COVENTRY RIDGE SUBDIVISION
 SECTION 4
 TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
 CLOVER STREET DEVELOPMENT CORPORATION
 50 BROOK STREET
 PITTSFORD, NY 14534

FINAL SUBDIVISION PLAT

PROJECT: COVENTRY RIDGE SUBDIVISION
 LOCATION: TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
 CLIENT: CLOVER STREET DEVELOPMENT CORPORATION
 DRAWING TITLE: FINAL SUBDIVISION PLAT

PROJECT MANAGER: P. VARS
 PROJECT SURVEYOR: GO BELL
 DRAWN BY: BC GOODING
 SCALE: 1"=50'
 DATE ISSUED: FEBRUARY 1, 2023
 PROJECT NO.: 9502G
 DRAWING NO.: 03

FROM	TO	SIZE (IN.)	LENGTH (FT)	SLOPE
DB-2.4B INV=642.30	DB-2.4A INV=642.19	12 PERF HDPE	22	0.50%
DB-2.4A INV=642.19	DB-2.4 INV=641.28	12 HDPE	11	8.61%
DB-2.3B INV=645.70	DB-2.3A INV=645.59	12 PERF HDPE	22	0.50%
DB-2.3A INV=645.59	EX. DB-2.3 INV=638.64	12 HDPE	12	59.45%
DD-2.5B INV=640.30	DB-2.5A INV=640.19	12 PERF HDPE	22	0.50%
DB-2.5A INV=640.19	DB-2.5 INV=640.13	12 HDPE	11	0.50%

WATERMAIN APPROVAL

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

THESE PLANS FOR PUBLIC WATER SYSTEM EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO 10NYCRRS OF THE STATE SANITARY CODE SUBJECT TO CONDITIONS OF APPROVAL.

DIRECTOR OF PUBLIC HEALTH

BY: PUBLIC HEALTH ENGINEER DATE:

SANITARY SEWER APPROVAL

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH

THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION / IMPROVEMENT ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.

DIRECTOR OF PUBLIC HEALTH

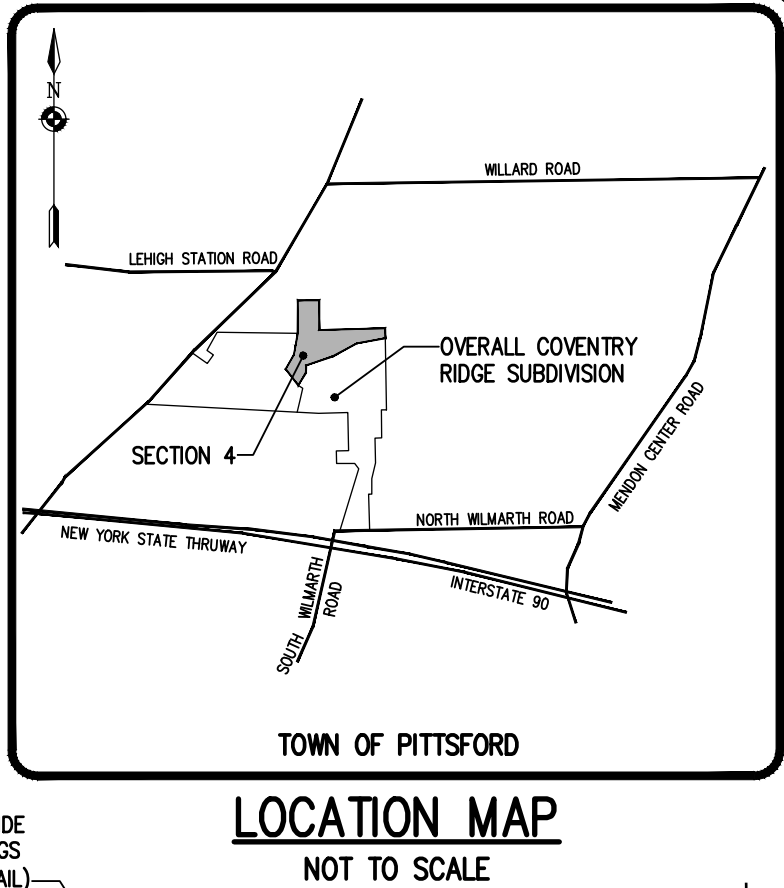
BY: PUBLIC HEALTH ENGINEER DATE:

Irondequoit Bay South Central Pure Waters District

Review Number _____

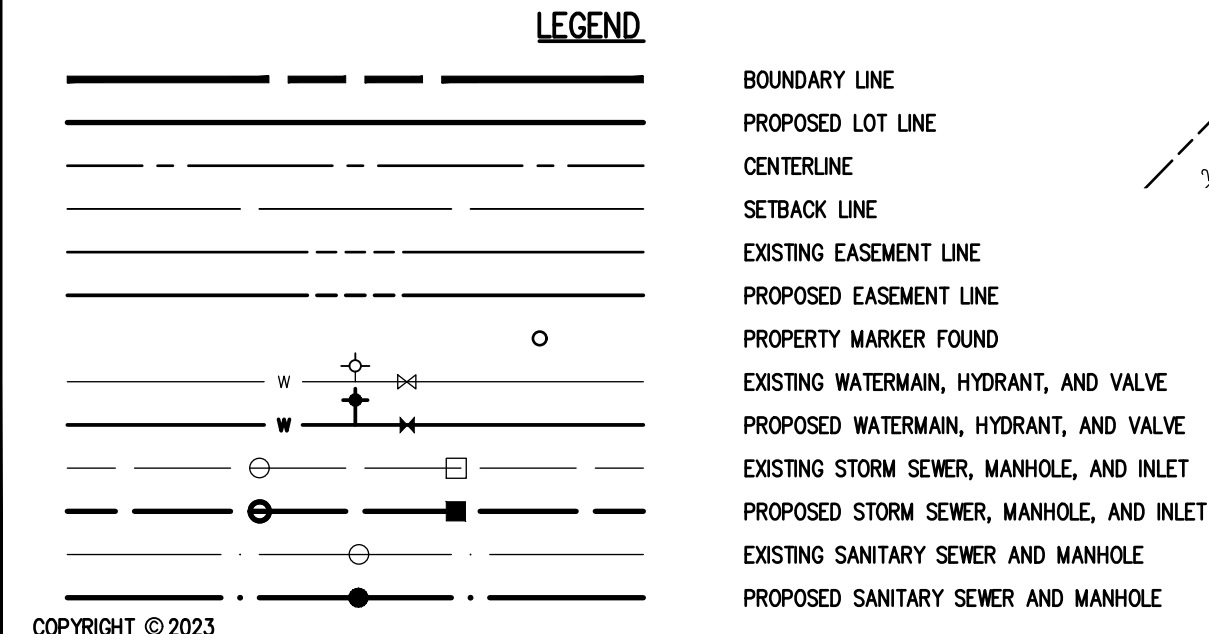
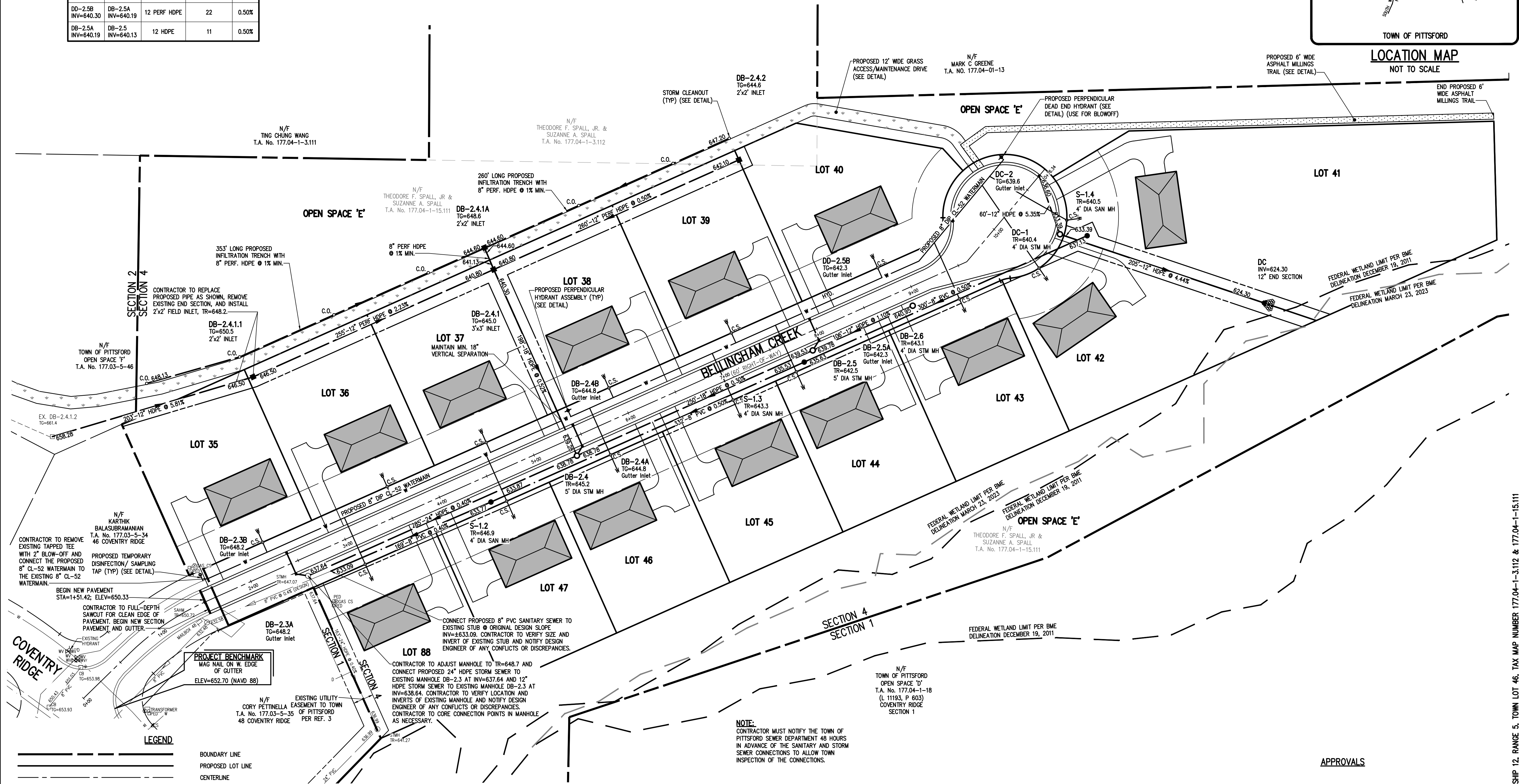
Confirms to Monroe County
Pure Waters Master Plan

Signature _____ Date _____

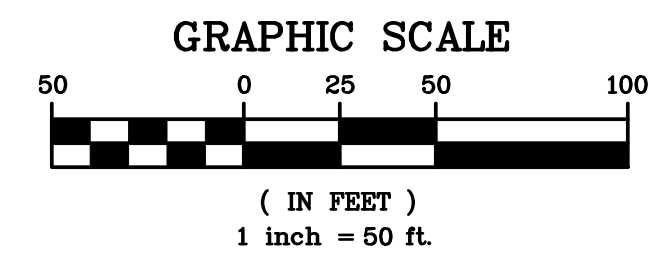


Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1	REVISED PER PRELIMINARY APPROVAL	6/7/23	



SEE NOTE SHEET (BME DRAWING #9502G-09) FOR UTILITY NOTES



NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: MONROE COUNTY WATER AUTHORITY DATE: _____

BY: TOWN ENGINEER DATE: _____

BY: COMMISSIONER OF PUBLIC WORKS DATE: _____

BY: CHAIRMAN OF THE PLANNING BOARD DATE: _____

BY: PITTSFORD SEWER DEPARTMENT DATE: _____

BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 DUFFYBRIDGE LANE EAST
PITTSFORD, NY 14504
PHONE: 315-377-7380
FAX: 315-377-7389
WWW.BMEARC.COM



COVENTRY RIDGE SUBDIVISION

SECTION 4

TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE

CLIENT: CLOVER STREET DEVELOPMENT CORPORATION

PROJECT LOCATION: 50 GROVE STREET, PITTSFORD, NY 14534

DRAWING TITLE: **UTILITY PLAN**

PROJECT MANAGER: P. VARS

PROJECT ENGINEER: F. SHELLEY

DRAWN BY: A. D'ANGELO

SCALE: 1" = 50'

DATE ISSUED: FEBRUARY 1, 2023

PROJECT NO. **9502G**

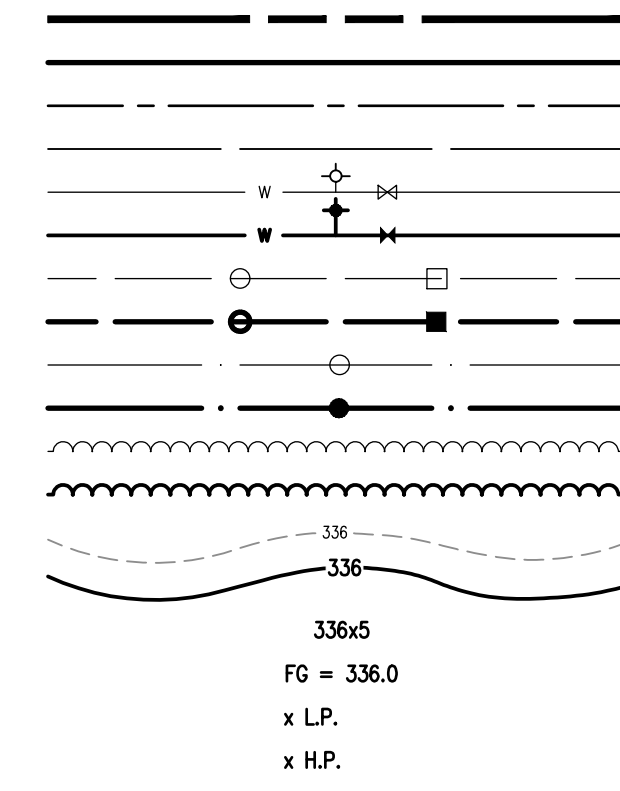
DRAWING NO. **04**

P:\9502G\Drawings\Final\9502G-Design_Base.dwg

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BME Associates

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.04-1-3112 & 177.04-1-15.111

LEGEND



- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- PROPOSED WATERMAIN, HYDRANT, AND VALVE
- EXISTING STORM SEWER, MANHOLE, AND INLET
- PROPOSED STORM SEWER, MANHOLE, AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING CONTOUR W/ ELEVATION
- PROPOSED CONTOUR W/ ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED LOW POINT OF ROAD
- PROPOSED HIGH POINT OF ROAD

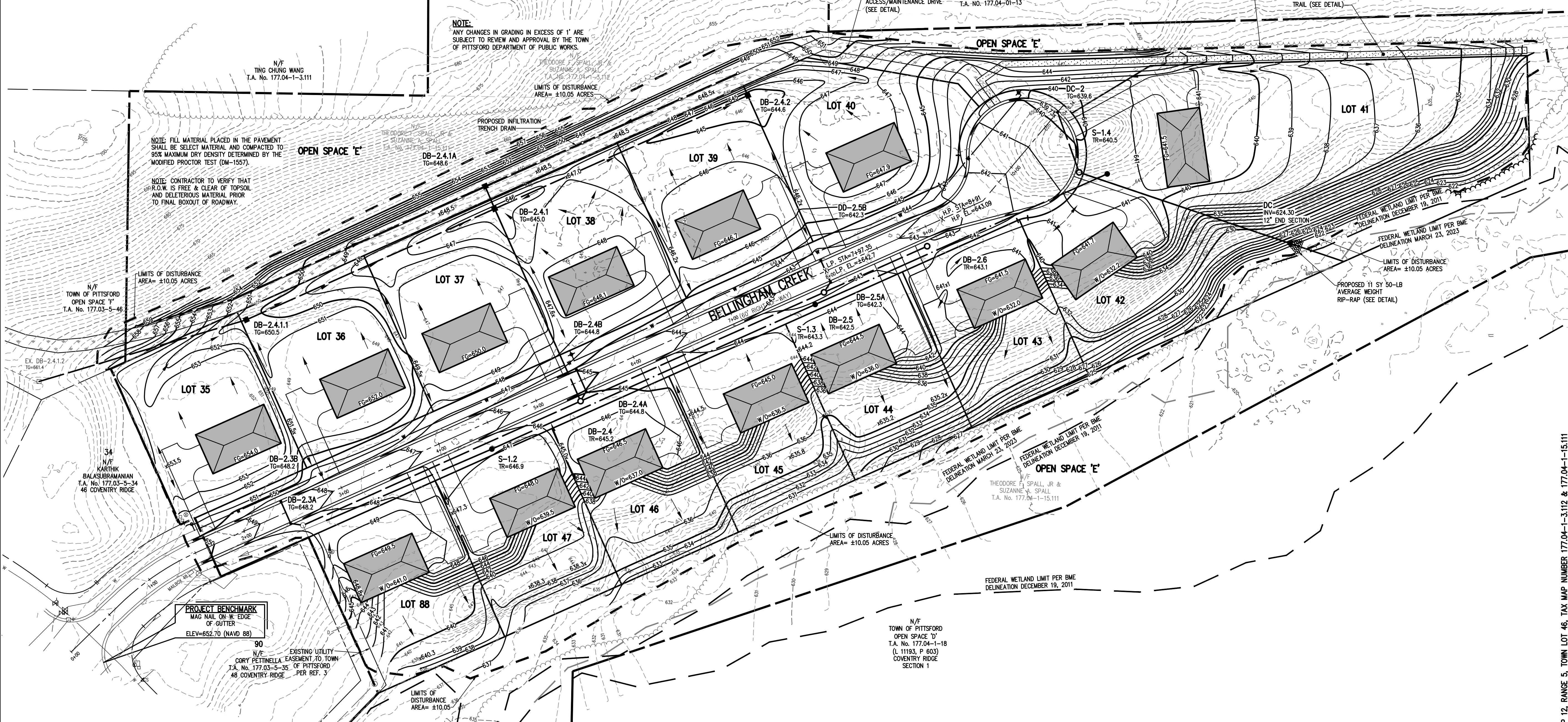
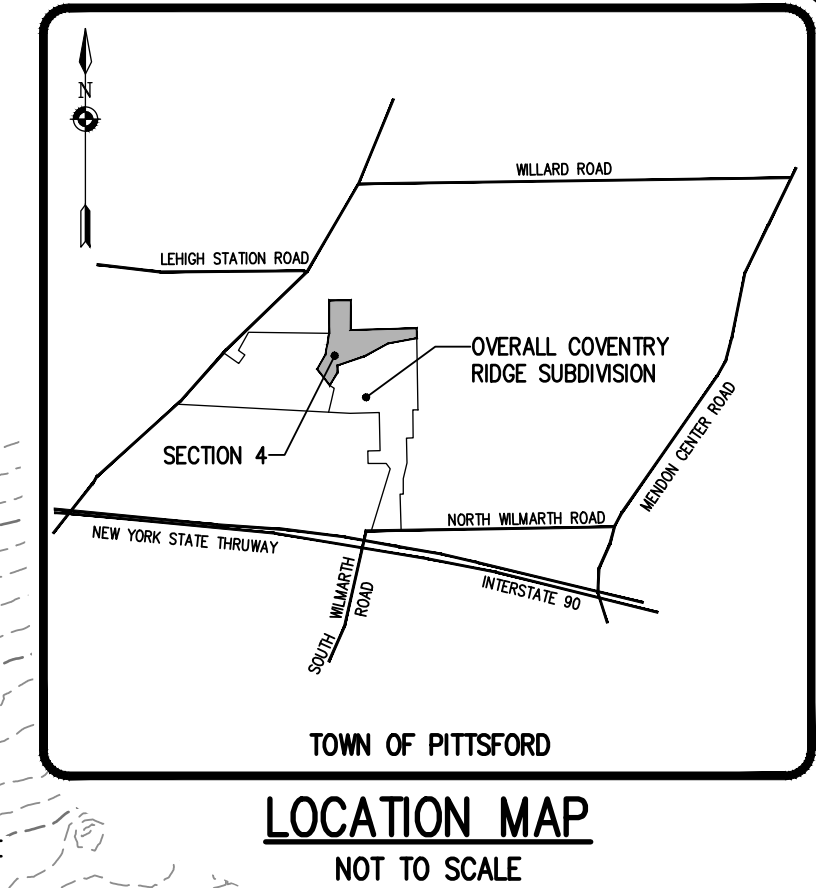
336x5
 FG = 336.0
 x L.P.
 x H.P.

NOTE:
 CLEARING LIMITS SHALL BE STAKED/FLAGGED IN ADVANCE AND AN ONSITE MEETING WITH A TOWN OF PITTSFORD REPRESENTATIVE MUST OCCUR PRIOR TO ANY CLEARING.

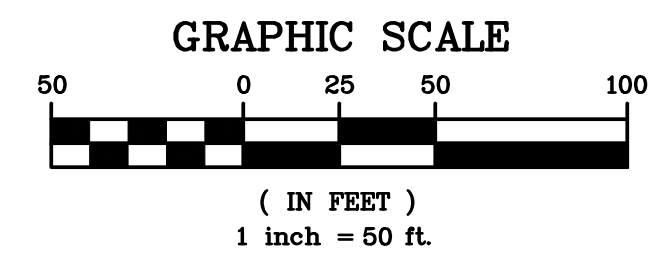
NOTE:
 ANY CHANGES IN GRADING IN EXCESS OF 1' ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN OF PITTSFORD DEPARTMENT OF PUBLIC WORKS.

NOTE: FILL MATERIAL PLACED IN THE PAVEMENT SHALL BE SELECT MATERIAL AND COMPACTED TO 95% MAXIMUM DRY DENSITY DETERMINED BY THE MODIFIED PROCTOR TEST (DM-1557).

NOTE: CONTRACTOR TO VERIFY THAT P.R.O.W. IS FREE & CLEAR OF TOPSOIL AND DELETERIOUS MATERIAL PRIOR TO FINAL BOXOUT OF ROADWAY.



PROJECT BENCHMARK
 MAG NAIL ON W. EDGE
 ELEV=652.70 (NAVD 88)



SEE NOTE SHEET (BME DRAWING #9502G-09) FOR GRADING NOTES

NOT APPROVED
 This plan is not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: _____ DATE: _____
 TOWN ENGINEER
 BY: _____ DATE: _____
 COMMISSIONER OF PUBLIC WORKS
 BY: _____ DATE: _____
 CHAIRMAN OF THE PLANNING BOARD

NO.	REVISIONS	DATE	BY
1	REVISED PER TOWN DRC COMMENTS	4/14/23	
2	REVISED PER PRELIMINARY APPROVAL	8/7/23	
3			
4			
5			
6			
7			

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 PITTSFORD, NY 14660
 WWW.BMEARC.COM
 PHONE 585-377-7880
 FAX 585-377-7885



COVENTRY RIDGE SUBDIVISION
 SECTION 4
 TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
 CLOVER STREET DEVELOPMENT CORPORATION
 50 GROVE STREET
 PITTSFORD, NY 14534

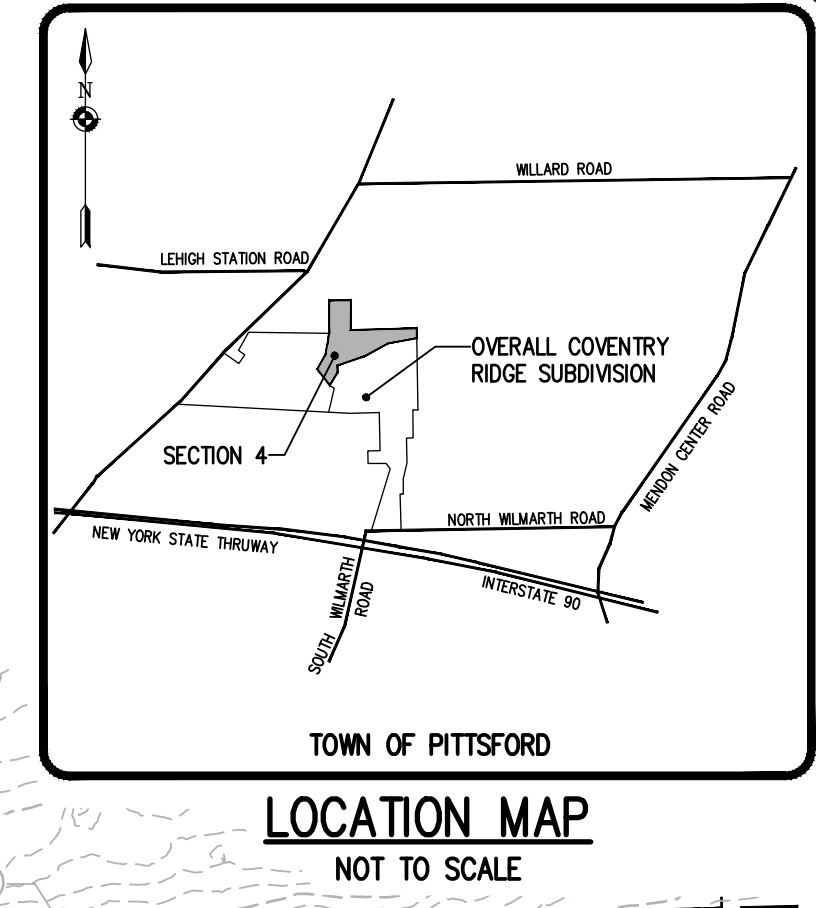
FINAL GRADING PLAN

PROJECT: _____
 LOCATION: _____
 CLIENT: _____
 DRAWING TITLE: _____

PROJECT MANAGER
 P. VARS
 PROJECT ENGINEER
 F. SHELLEY
 DRAWN BY
 A. D'ANGELO
 SCALE: 1" = 50'
 DATE ISSUED: FEBRUARY 1, 2023
 PROJECT NO.: 9502G
 DRAWING NO.: 05

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.04-1-3112 & 177.04-1-15.111

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation 'altered' followed by his signature and the date of such alteration, and a specific description of the alteration."



NO.	DATE	BY
7		
6		
5		
4		
3		
2		
1	6/7/23	REVISED PER PRELIMINARY APPROVAL

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PHONE 585-977-7360
FAX 585-977-7365
10 LUTHERBURGH LANE EAST
PITTSFORD, NY 14850
WWW.BMEARC.COM

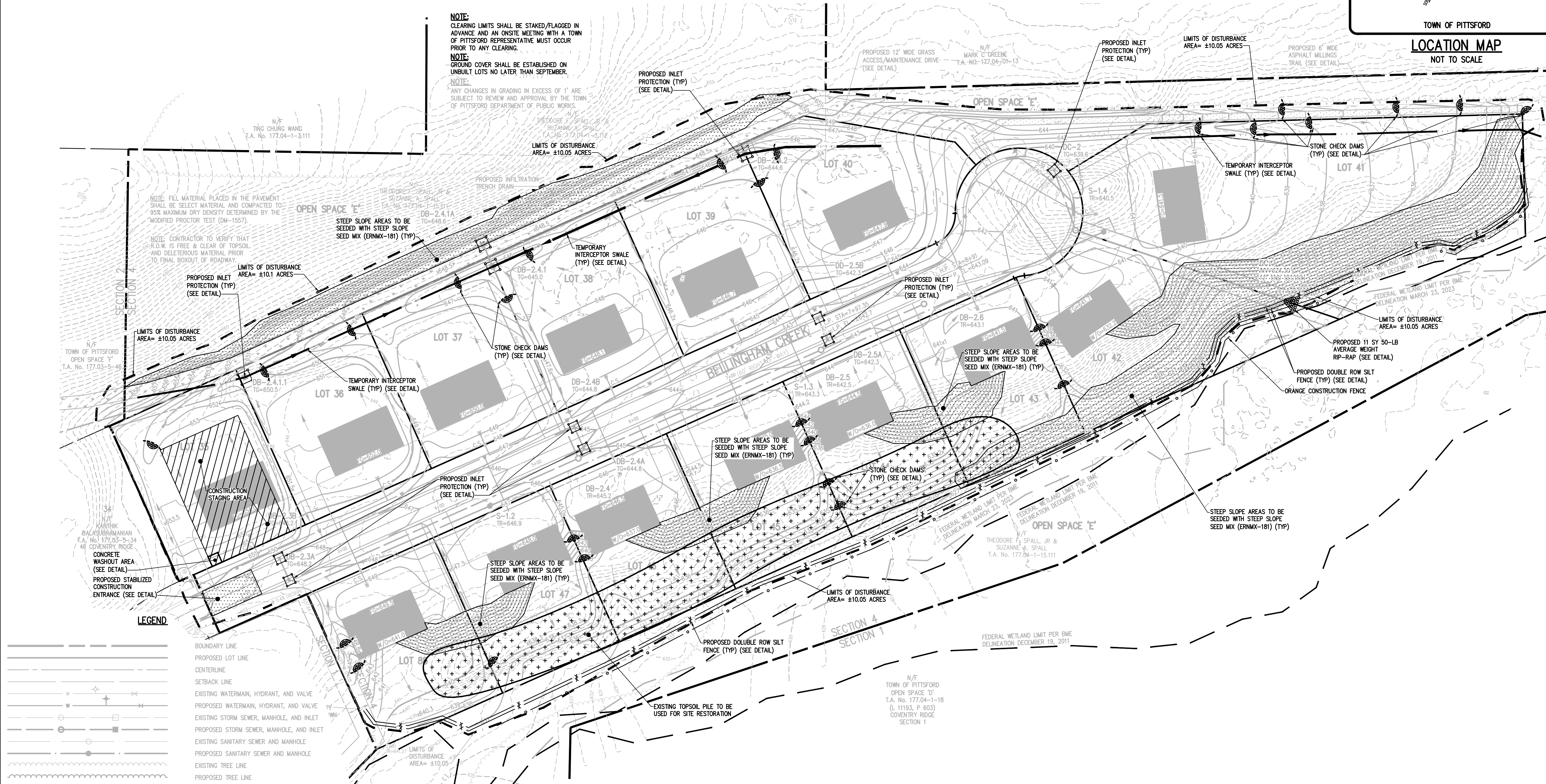


COVENTRY RIDGE SUBDIVISION
SECTION 4
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14834
CONSTRUCTION EROSION CONTROL PLAN

PROJECT	LOCATION	CLIENT	DRAWING TITLE
COVENTRY RIDGE SUBDIVISION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE	CLOVER STREET DEVELOPMENT CORPORATION	CONSTRUCTION EROSION CONTROL PLAN

PROJECT MANAGER	PROJECT ENGINEER	DRAWN BY	SCALE	DATE ISSUED
P. VARS	F. SHELLEY	A. D'ANGELO	1" = 50'	FEBRUARY 1, 2023
PROJECT NO. 9502G		DRAWING NO. 06		

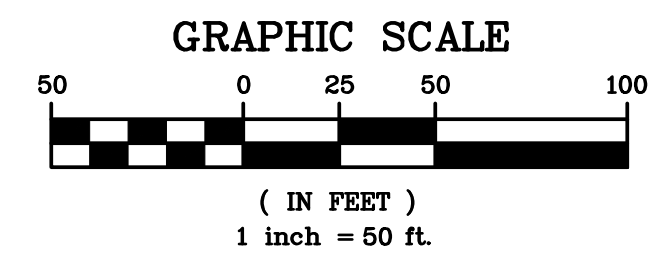
PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.04-1-3.112 & 177.04-1-15.111



LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- EXISTING WATERMAIN, HYDRANT, AND VALVE
- PROPOSED WATERMAIN, HYDRANT, AND VALVE
- EXISTING STORM SEWER, MANHOLE, AND INLET
- PROPOSED STORM SEWER, MANHOLE, AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING CONTOUR W/ ELEVATION
- PROPOSED CONTOUR W/ ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED FABRIC INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED TEMPORARY STONE CHECK DAM
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED TEMPORARY DIVERSION SWALE
- PROPOSED STEEP SLOPE SEED MIX
- APPROXIMATE LOCATION OF EXISTING TOPSOIL STOCKPILE

SEE NOTE SHEET (BME DRAWING #9502G-09) FOR CONSTRUCTION EROSION CONTROL NOTES AND SEQUENCE OF CONSTRUCTION.

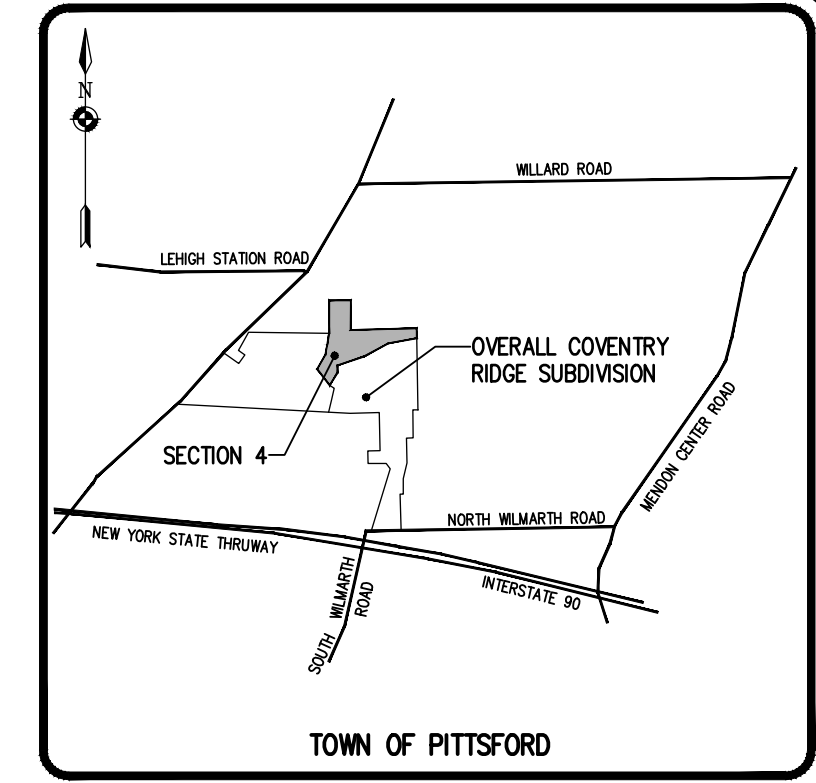


NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: TOWN ENGINEER	DATE: _____
BY: COMMISSIONER OF PUBLIC WORKS	DATE: _____
BY: CHAIRMAN OF THE PLANNING BOARD	DATE: _____

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the State a copy of the alteration, altered by followed by his signature and the date of such alteration, and a specific description of the alteration."

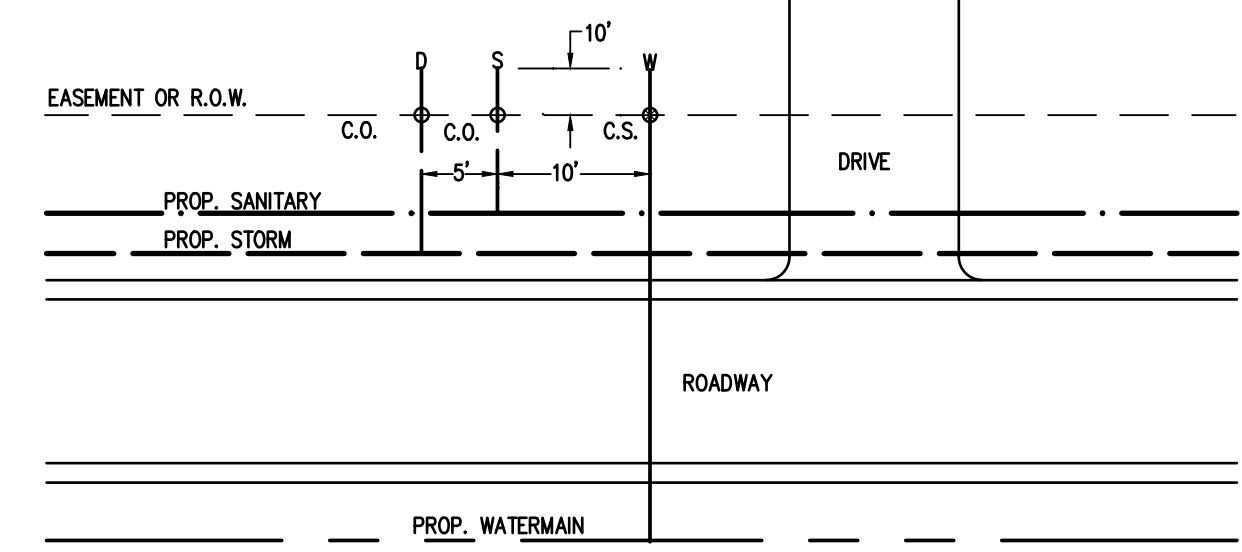
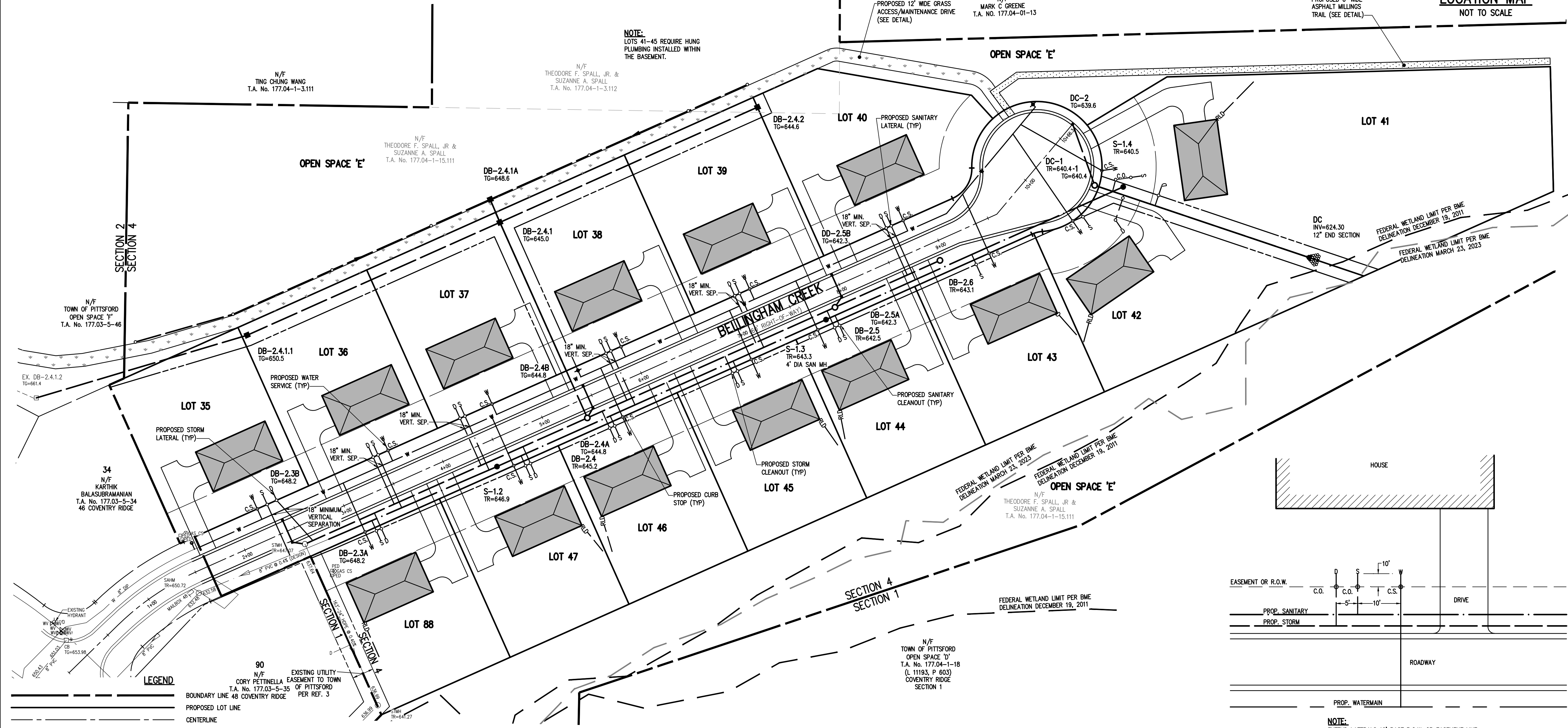


NOTE:
ON LOTS 35-40, FOUNDATION AND ROOFS TO CONNECT TO STORM SEWERS. ON LOT 43, FOUNDATION AND ROOFS TO DRAIN TO REAR YARD DISCONNECTS. ON LOTS 41, 42, 44-47, AND 88, FOUNDATION AND FRONT ROOF DRAINS TO CONNECT TO STORM SEWERS, WITH REAR ROOF DISCONNECTS. DOWNSPOUTS SHALL DISCHARGE ON COBBLESTONE SPLASH BLOCKS WHERE INDICATED (LOTS 41-47 & 88).

NOTE:
LOTS 41-45 REQUIRE HUNG PLUMBING INSTALLED WITHIN THE BASEMENT.

PROPOSED 12' WIDE GRASS ACCESS/MAINTENANCE DRIVE (SEE DETAIL)
N/F MARK C GREENE T.A. No. 177.04-01-13

PROPOSED 6' WIDE ASPHALT MILLINGS TRAIL (SEE DETAIL)

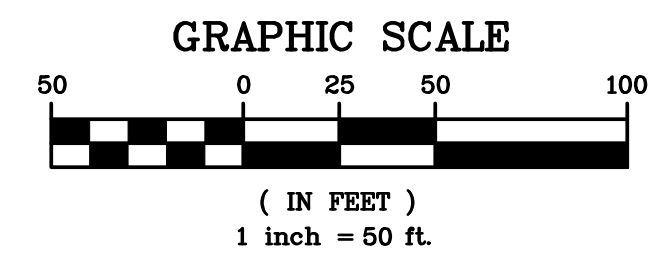


NOTE:
EXTEND LATERALS 10' PAST R.O.W. OR EASEMENT LINE.

TYPICAL LATERAL LAYOUT
N.T.S.

APPROVALS

BY: _____ DATE: _____
TOWN ENGINEER
BY: _____ DATE: _____
COMMISSIONER OF PUBLIC WORKS
BY: _____ DATE: _____
CHAIRMAN OF THE PLANNING BOARD



NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

SEE NOTE SHEET (BME DRAWING #9502G-09) FOR UTILITY NOTES

LEGEND

	BOUNDARY LINE 48 COVENTRY RIDGE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPERTY MARKER FOUND
	EXISTING WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATERMAIN, HYDRANT, AND VALVE
	PROPOSED WATER SERVICE AND CURBSTOP
	EXISTING STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER, MANHOLE, AND INLET
	PROPOSED STORM SEWER LATERAL AND CLEANOUT
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER LATERAL AND CLEANOUT
	REAR ROOF LEADER TO DISCHARGE TO STONE SPLASH PAD

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2	REVISED PER PRELIMINARY APPROVAL	6/7/23	
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 585-377-7360
FAX 585-377-7365
10 LITTLEFIELD LANE EAST
PITTSFORD, NY 14660
WWW.BMEARC.COM



COVENTRY RIDGE SUBDIVISION
SECTION 4
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14634

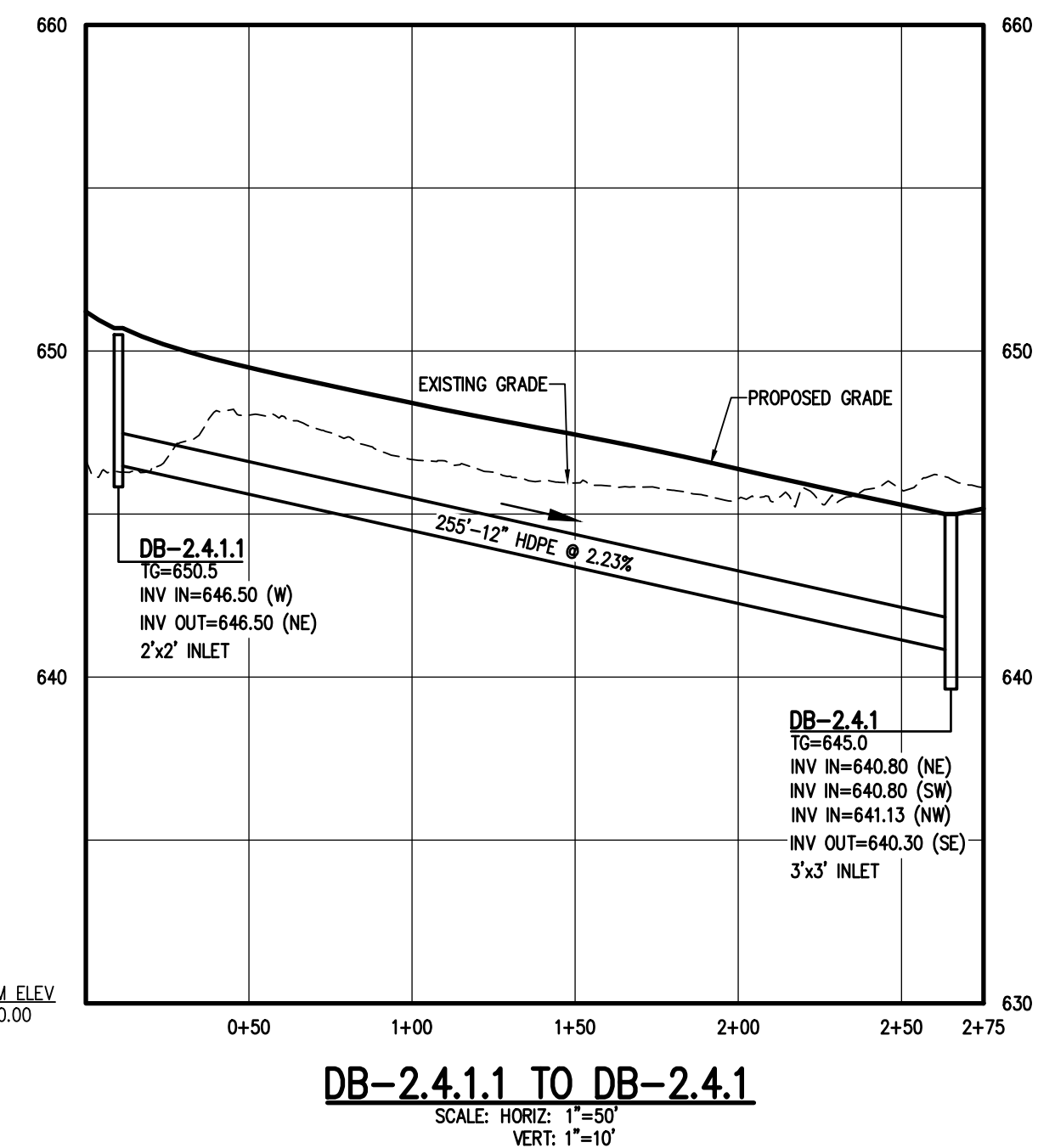
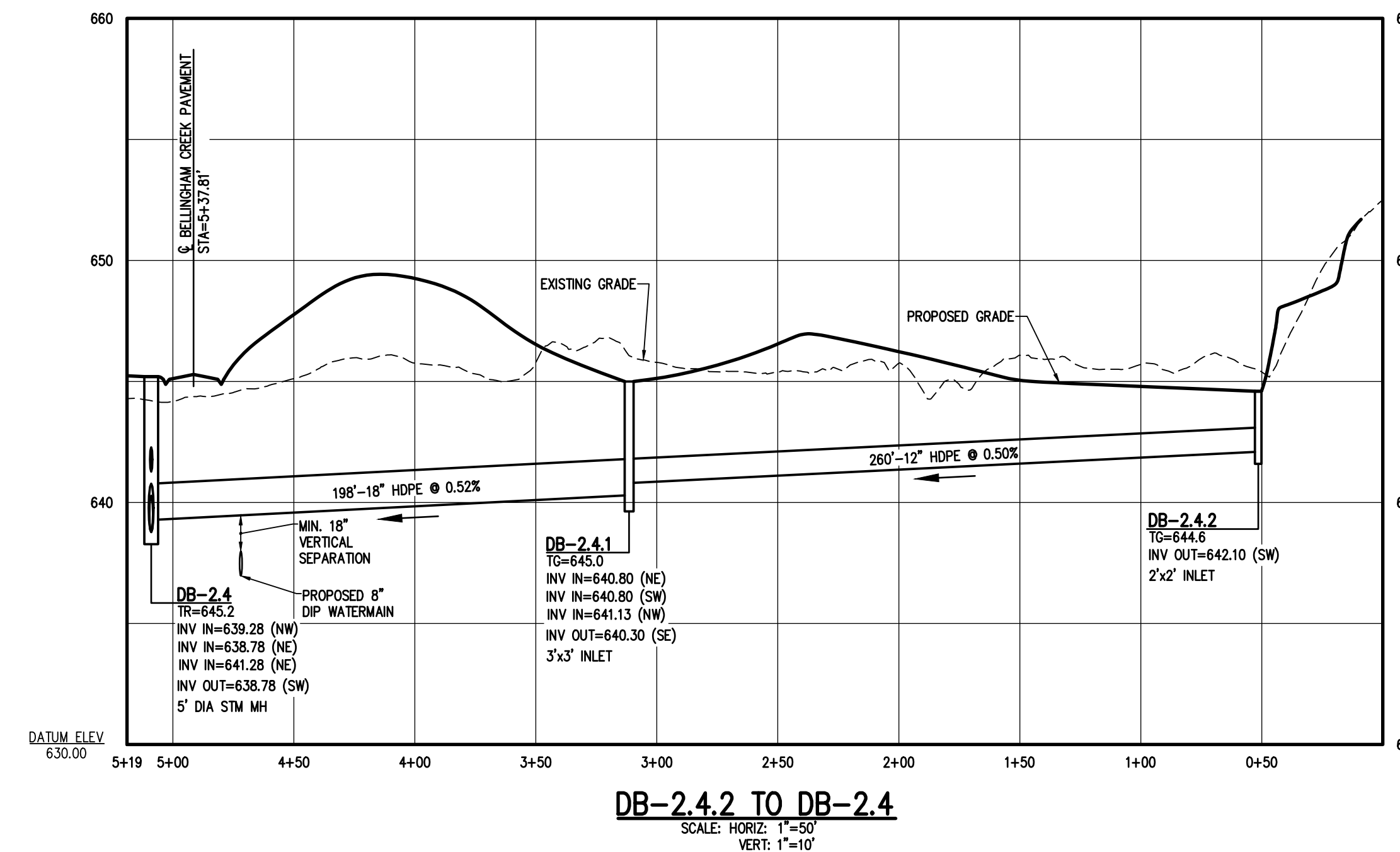
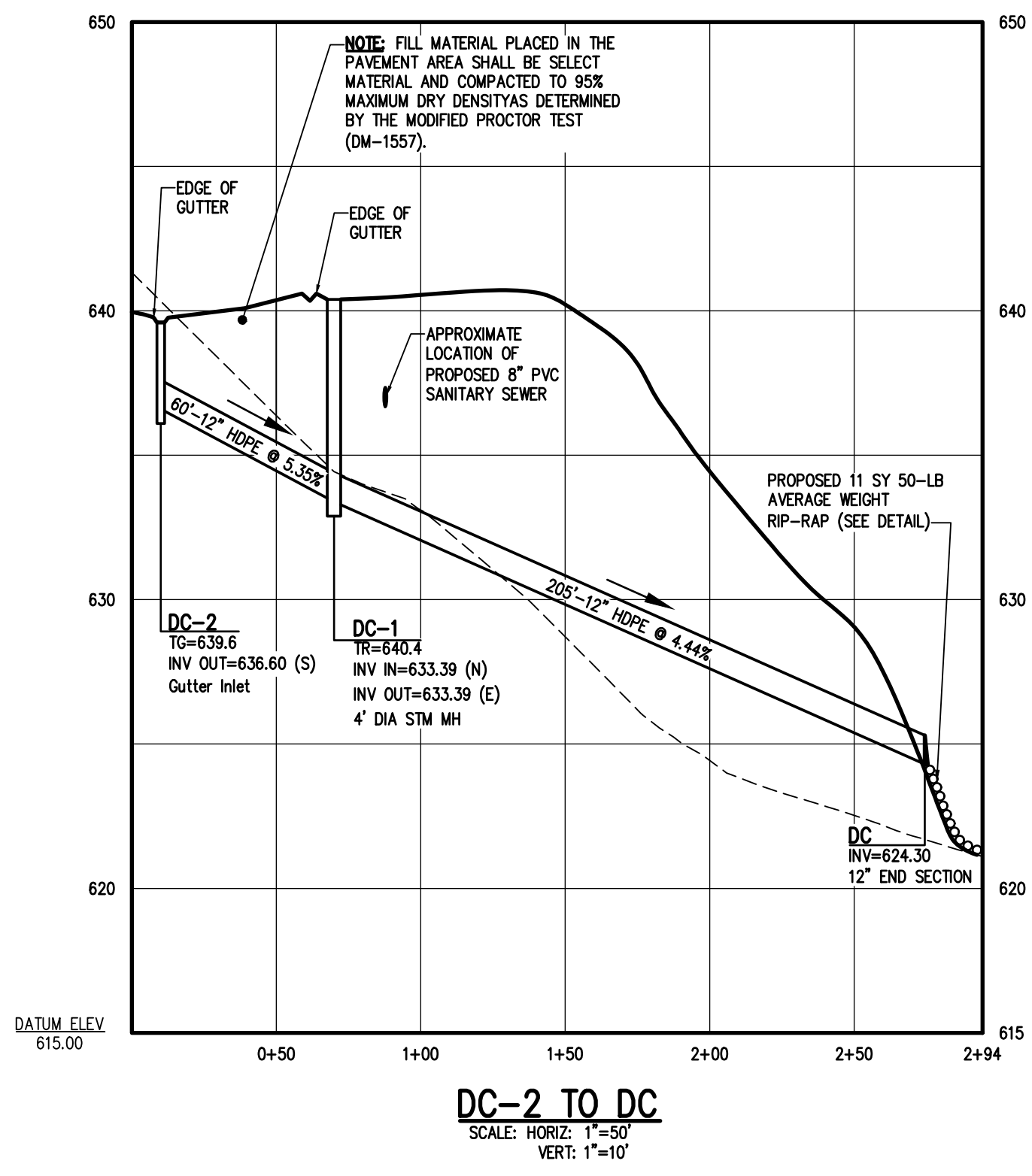
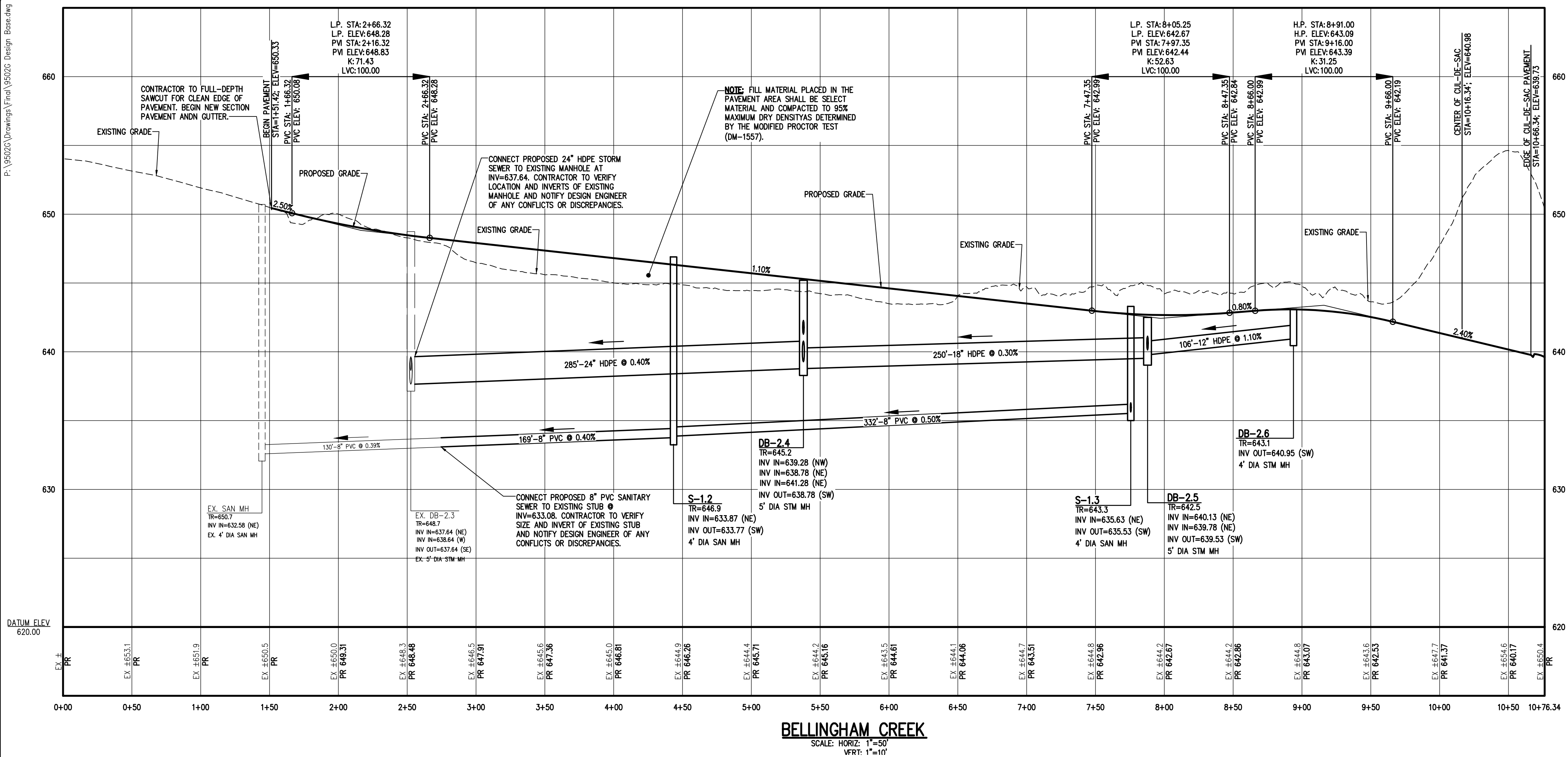
PROJECT LOCATION CLIENT DRAWING TITLE

FINAL LATERAL PLAN

PROJECT MANAGER
P. VARS
PROJECT ENGINEER
F. SHELLEY
DRAWN BY
A. D'ANGELO
SCALE DATE ISSUED
1" = 50' FEBRUARY 1, 2023
PROJECT NO. **9502G**
DRAWING NO. **07**

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.04-1-3.112 & 177.04-1-15.111

P:\9502G\Drawings\Final\9502G Design Base.dwg



NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

APPROVALS

BY: TOWN ENGINEER DATE: _____
BY: COMMISSIONER OF PUBLIC WORKS DATE: _____
BY: CHAIRMAN OF THE PLANNING BOARD DATE: _____

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2	REVISED PER PRELIMINARY APPROVAL	6/7/23	AND
1			

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20 DUTYFREE LANE EAST
SUITE 11450
WESTBURY, NY 11590



COVENTRY RIDGE SUBDIVISION
SECTION 4
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14834

PROJECT LOCATION CLIENT DRAWING TITLE

FINAL PROFILE SHEET

PROJECT MANAGER
P. VARS

PROJECT ENGINEER
F. SHELLEY

DRAWN BY
A. D'ANGELO

SCALE DATE ISSUED
AS SHOWN FEBRUARY 1, 2023

PROJECT NO.
9502G

DRAWING NO.
08

PHELPS & CORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 46, TAX MAP NUMBER 177.04-1-3.112 & 177.04-1-15.111

UTILITY NOTES:

- 1. THE SETBACK LINES AND NOTES RELATING TO SETBACK SHOWN ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS AND APPROVALS UNDER SECTION 27B OF TOWN LAW OF THE TOWN OF PITTSFORD AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.

WATERMAINS:

- 8. WATERMAINS AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY. (SEE MCWA PUBLIC WATER SYSTEM NOTES).

STORM SEWERS:

- 19. STORM SEWERS, HOUSE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED ACCORDING TO THE SPECIFICATIONS OF THE TOWN OF PITTSFORD.

LATERALS AND SERVICES:

- 24. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS: WATER - 1" INCH TYPE K COPPER FROM THE WATERMAIN TO THE CURB BOX

MONROE COUNTY DEPARTMENT OF HEALTH STANDARD WATER MAIN EXTENSION NOTES:

- 1. THE WATER MAIN PIPELINE SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.

MONROE COUNTY DEPARTMENT OF HEALTH STANDARD SANITARY SEWER EXTENSION NOTES:

- 1. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM DESIGNATION C828-86

MONROE COUNTY WATER AUTHORITY NOTES:

PUBLIC WATER SYSTEM NOTES:

WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY:

MATERIAL:

- 1. WATER MAIN(S) SHALL BE 8" INCH DUCTILE IRON CEMENT-LEADED CLASS 52.

TESTS:

- 5. SOIL TEST: THE CONTRACTOR SHALL PROVIDE A SOIL TEST EVALUATION TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT PER ANS/AWWS C105/A21.5-82 PRIOR TO WATER MAIN INSTALLATION.

INSTALLATION:

- 8. WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.

GRADING NOTES:

- 1. HOUSE PADS TO BE MASS GRADED TO 1.5' BELOW FINISH GRADE. ROAD BOX TO BE MASS GRADED 16.5" BELOW FINISH GRADE.

CONSTRUCTION EROSION CONTROL NOTES:

- 1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE TOWN OF PITTSFORD DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.

Table with 3 columns: LBS./ACRE, LBS./1000 SQ. FT., and % BY PURITY. Lists various grass types like Annual Ryegrass, Perennial Ryegrass, Oats, and White Clover.

Table with 4 columns: LBS./ACRE, % BY PURITY, % GERM, and SEEDING RATE. Lists grass types like Perennial Ryegrass, Red Fescue, and Kentucky Bluegrass.

Table with 3 columns: Native Steep Slope Mix with Annual Ryegrass - ERNMX-181, and lists various grass species like Sorghastrum nutans, Indiangrass, and Virginia Wildrye.

SEEDING RATE: 60 LBS PER ACRE OR 1 LB PER 1000 SF. INOCULANT: RATE AS RECOMMENDED BY THE MANUFACTURER (FOR HYDROSEEDING USE FOUR TIMES MANUFACTURER'S RECOMMENDED RATE)

- 17. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED.

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SEQUENCE OF CONSTRUCTION STEPS:

TOTAL DISTURBED ACREAGE = ±10.1 ACRES (SECTION 4)

STEP 1: (SITE PREPARATION)

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE(S) AND CONSTRUCTION STAGING AREA (SEE DETAIL).

STEP 2: (CONSTRUCTION ACTIVITY)

- STRIP AND STOCKPILE TOPSOIL: TOPSOIL TO BE STRIPPED FROM ALL PROPOSED PAVEMENT AND BUILDING AREAS AS NECESSARY AND STOCKPILED IN DESIGNATED AREA.

STEP 3: (STABILIZATION & MONITORING)

- SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED BY GP-0-20-001. SEED WITH A SEED MIX AS INDICATED IN CONSTRUCTION EROSION CONTROL NOTES, AND MULCH.

- 17. ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED AND RE-SEEDED.

APPROVALS

BY: TOWN ENGINEER DATE:
BY: COMMISSIONER OF PUBLIC WORKS DATE:
BY: CHAIRMAN OF THE PLANNING BOARD DATE:

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing.

Table with 7 columns: 1, 2, 3, 4, 5, 6, 7. Rows for REVISIONS, REVISED PER, PRELIMINARY APPROVAL, DATE, and BY.

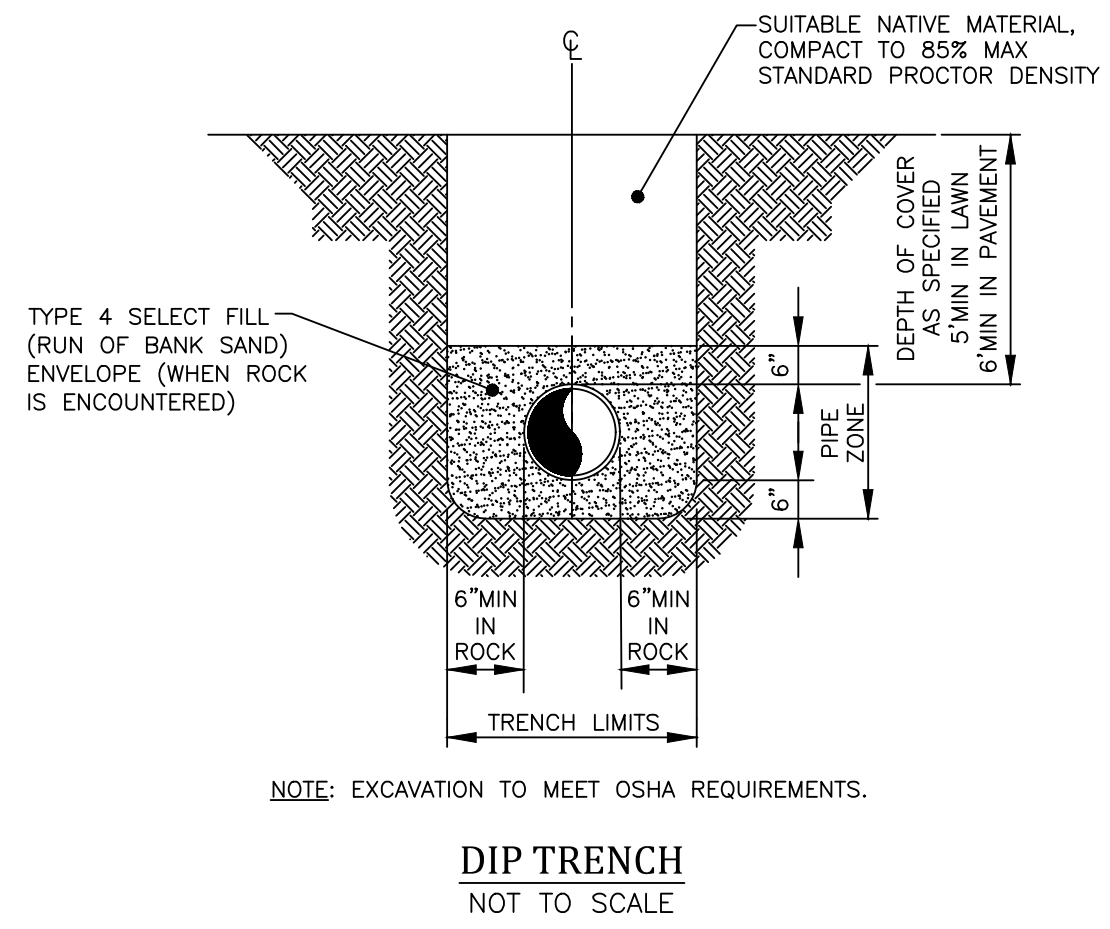
BME ASSOCIATES logo and contact information: ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS. PHONE: 365-977-7360. WWW.BMEARC.COM



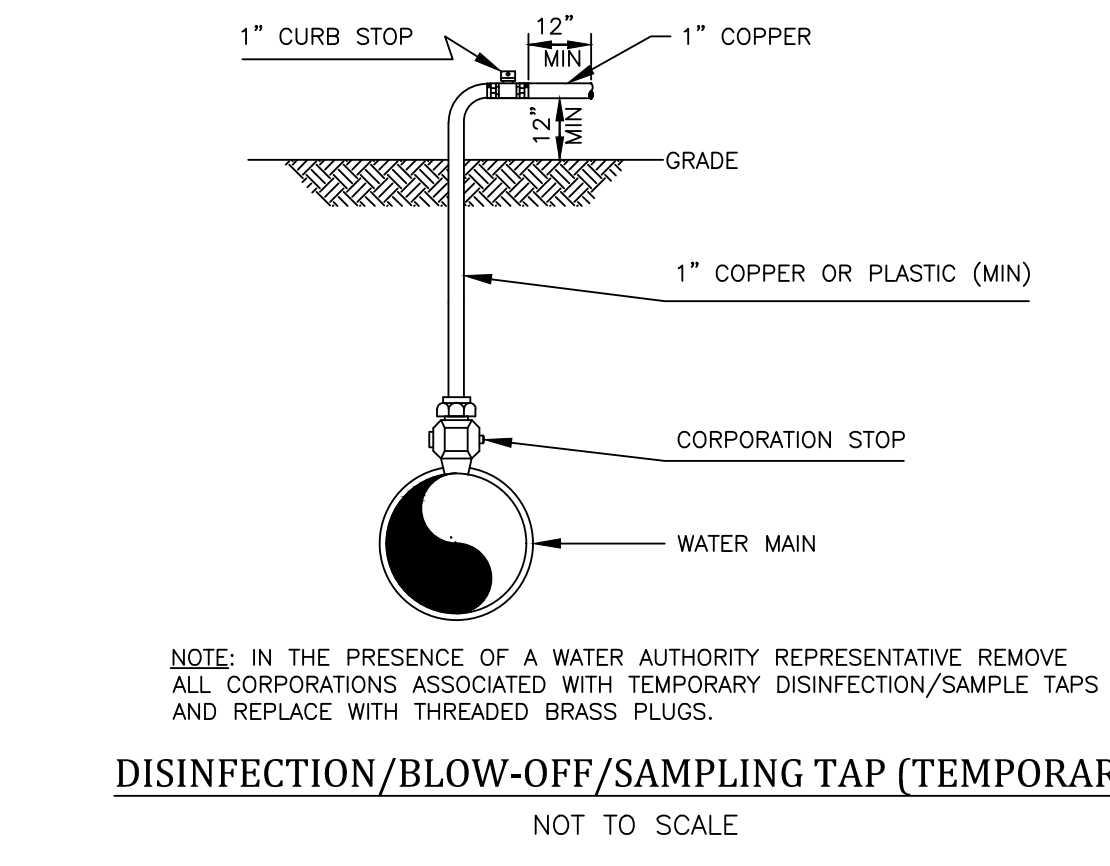
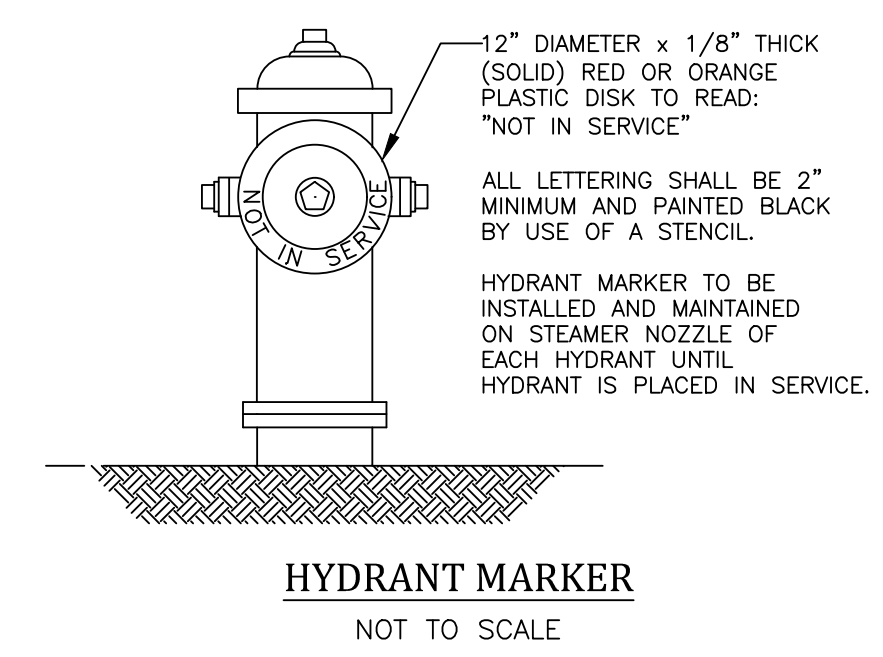
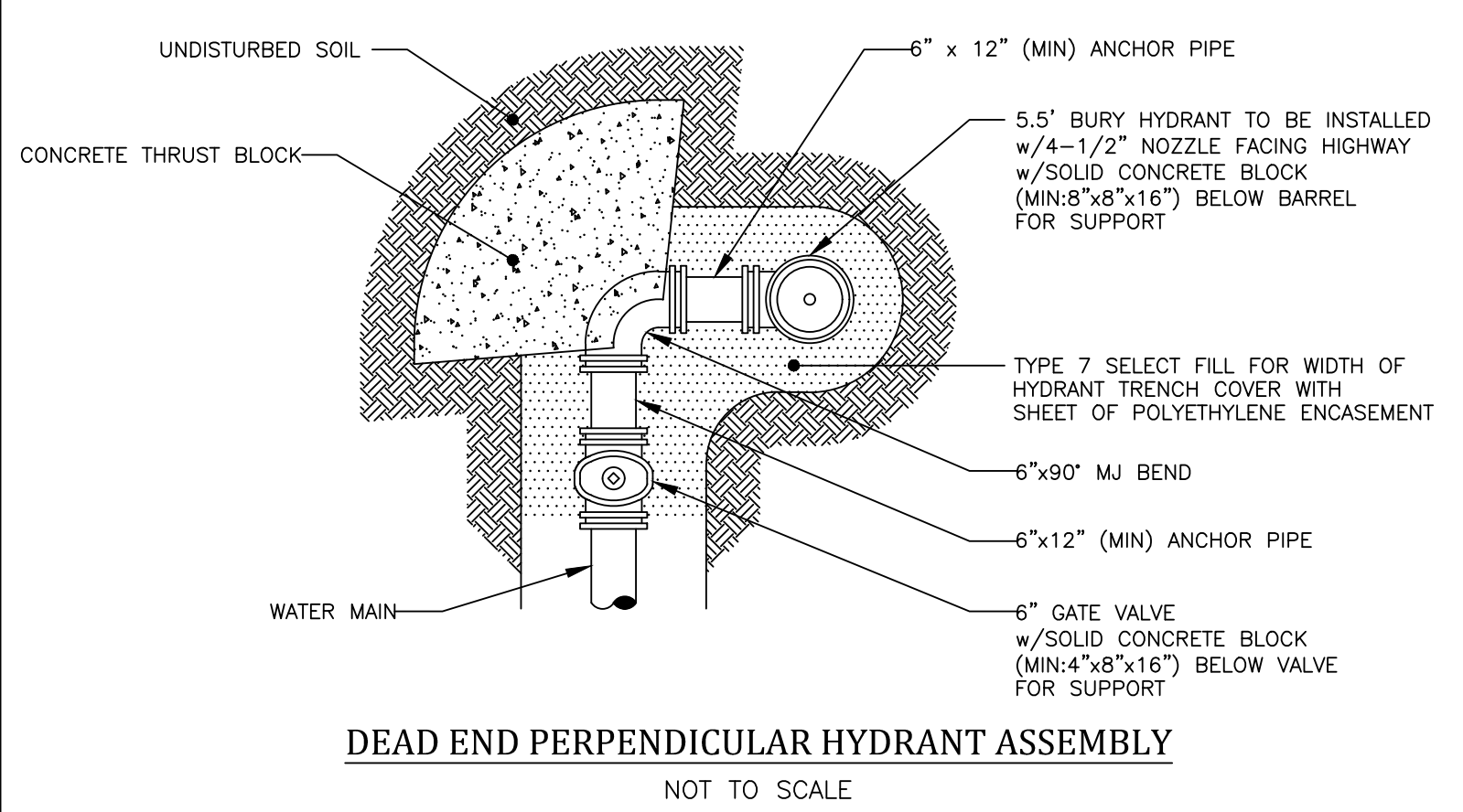
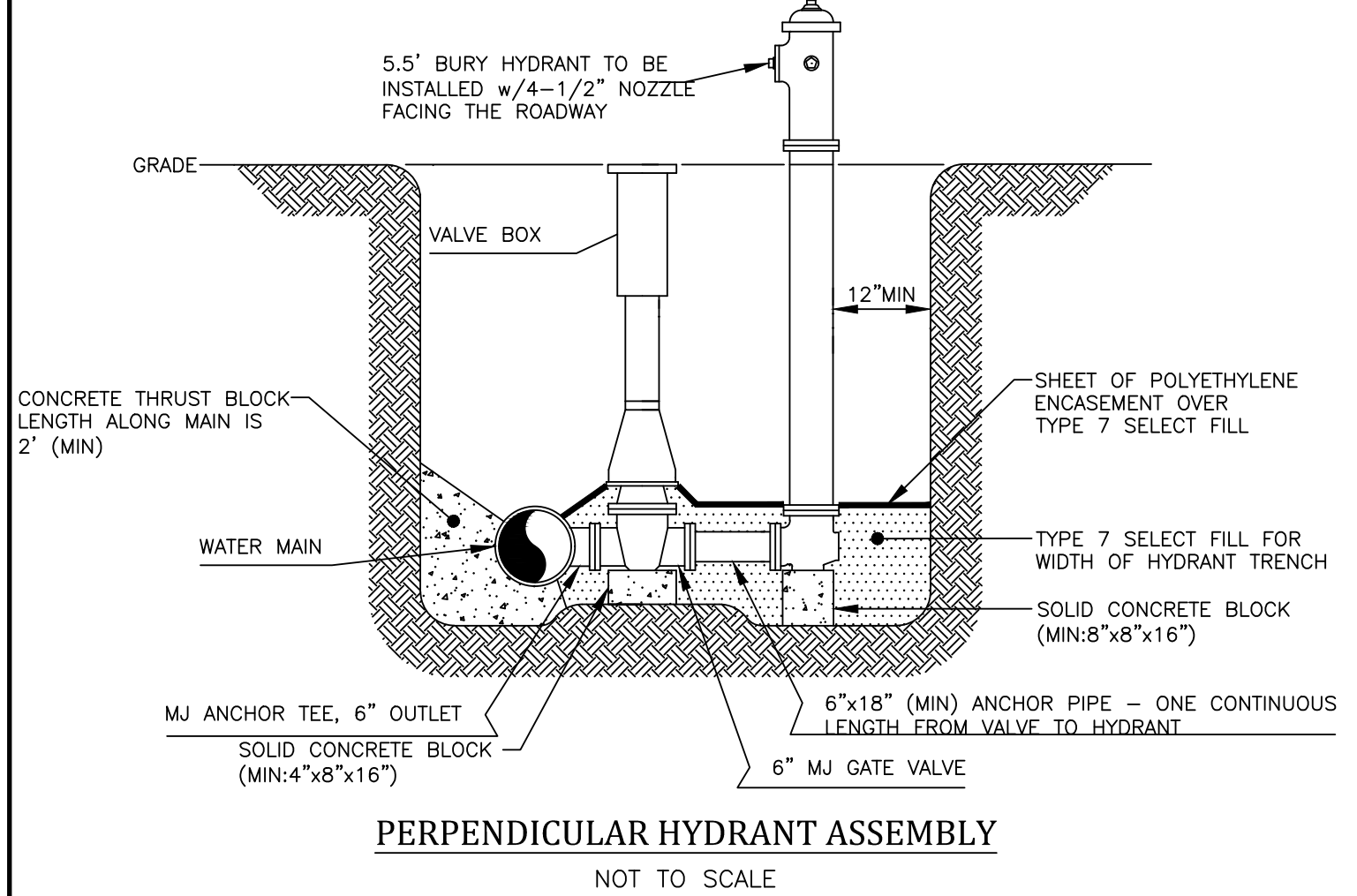
COVENTRY RIDGE SUBDIVISION SECTION 4. PROJECT LOCATION: CLOVER STREET DEVELOPMENT CORPORATION, 50 GROVE STREET, PITTSFORD, NY 14534. PROJECT CLIENT: DRAWING TITLE: FINAL NOTE SHEET.

PROJECT MANAGER: P. VARS. PROJECT ENGINEER: F. SHELLEY. DRAWN BY: A. D'ANGELO. SCALE: N/A. DATE ISSUED: FEBRUARY 1, 2023. PROJECT NO.: 9502G. DRAWING NO.: 09.

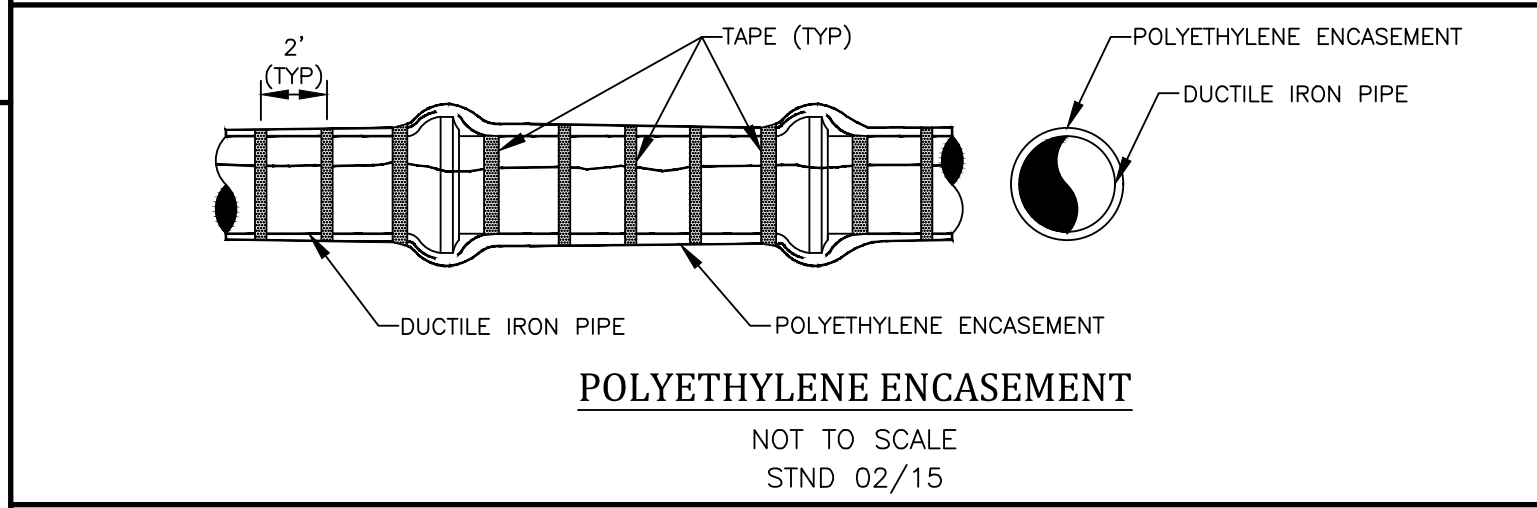
P: 195026 Drawings Vial 195026 Detail Base.dwg



NOTE: EXCAVATION TO MEET OSHA REQUIREMENTS.

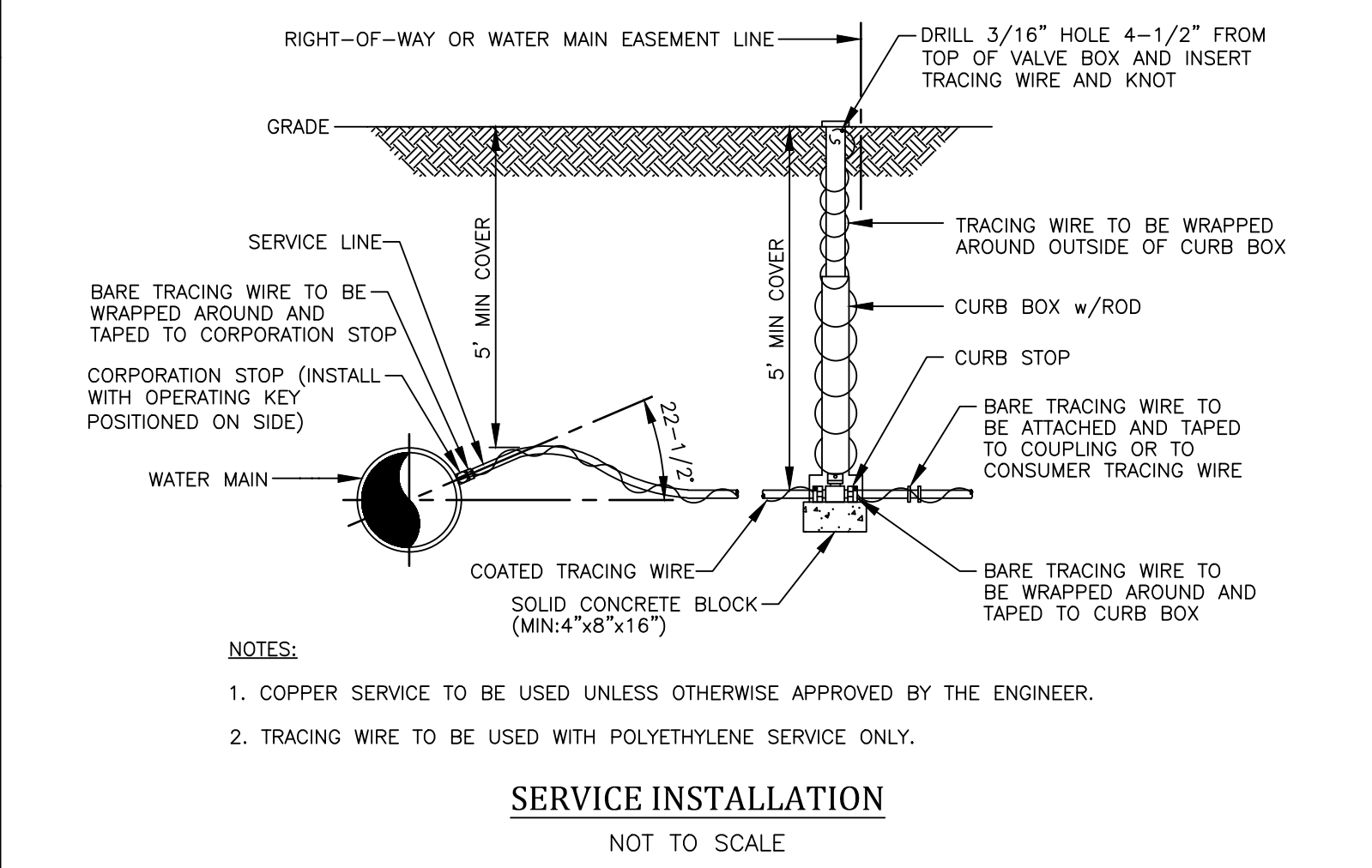
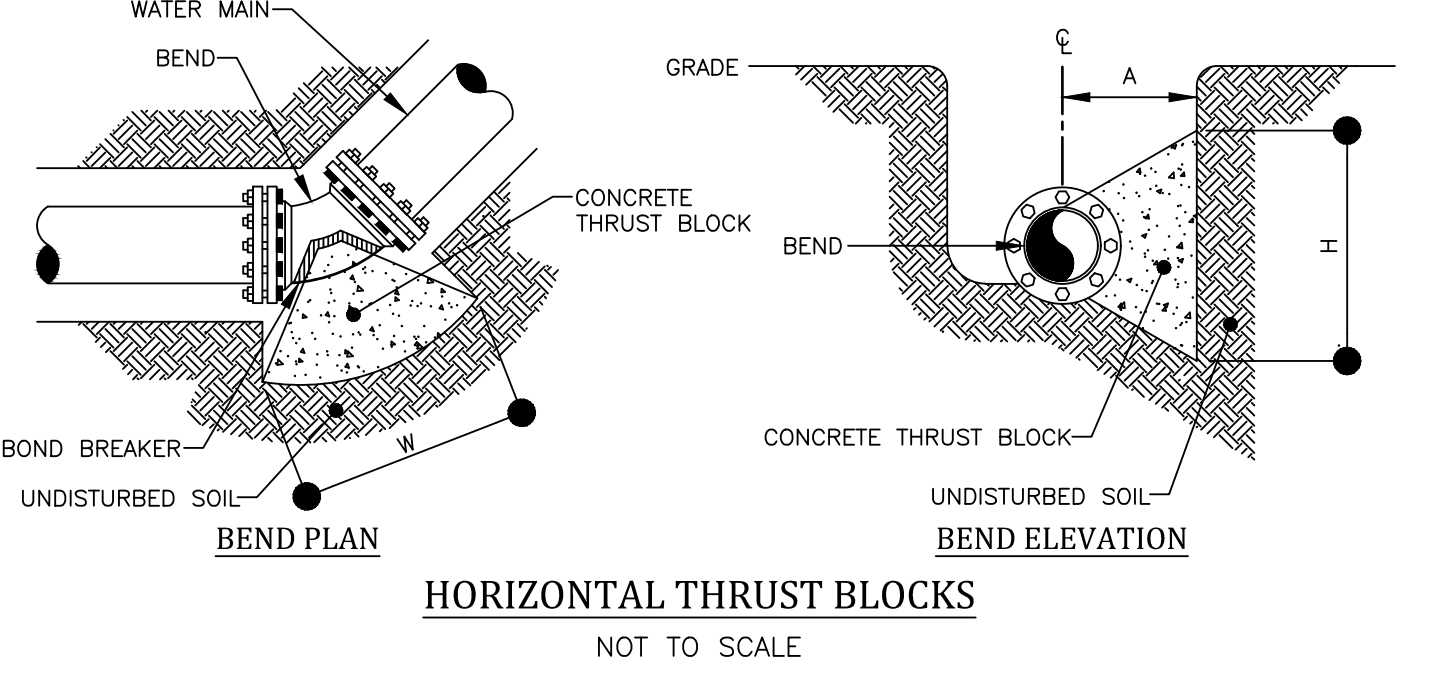
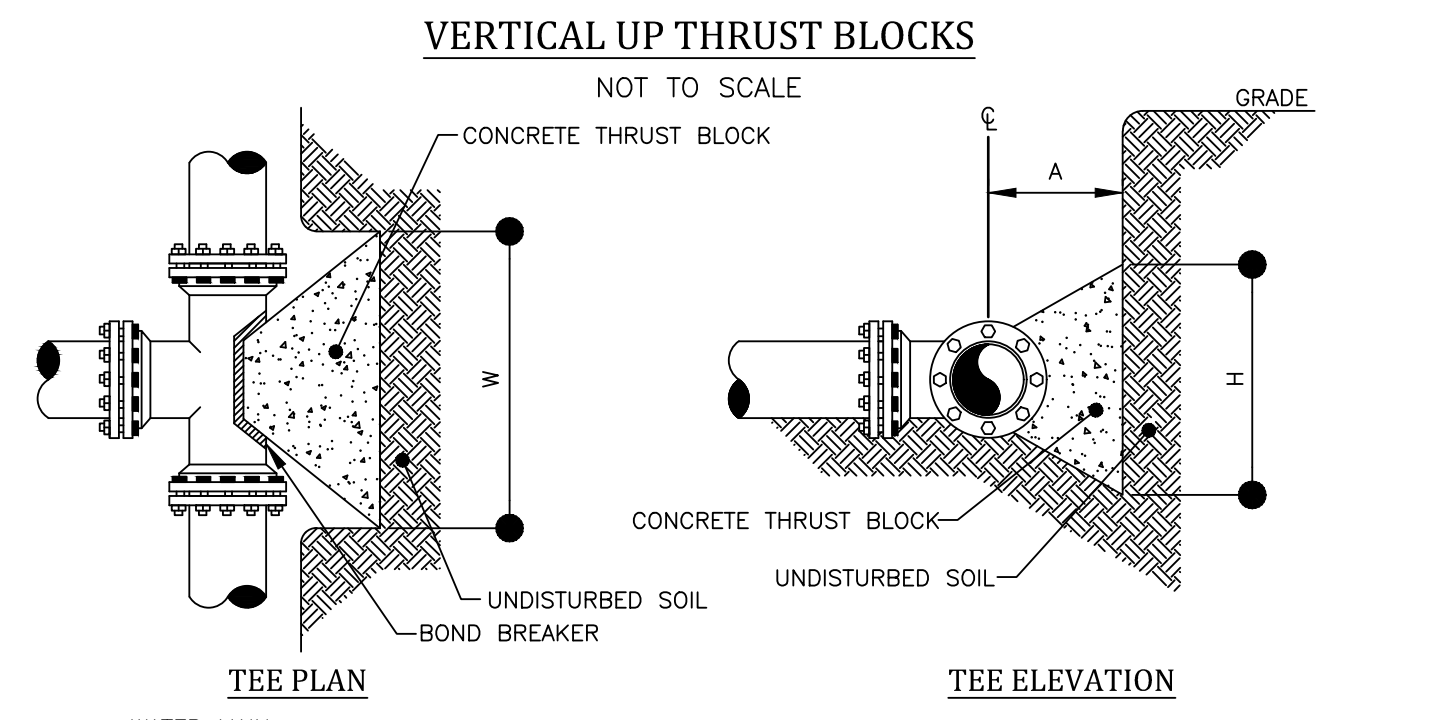
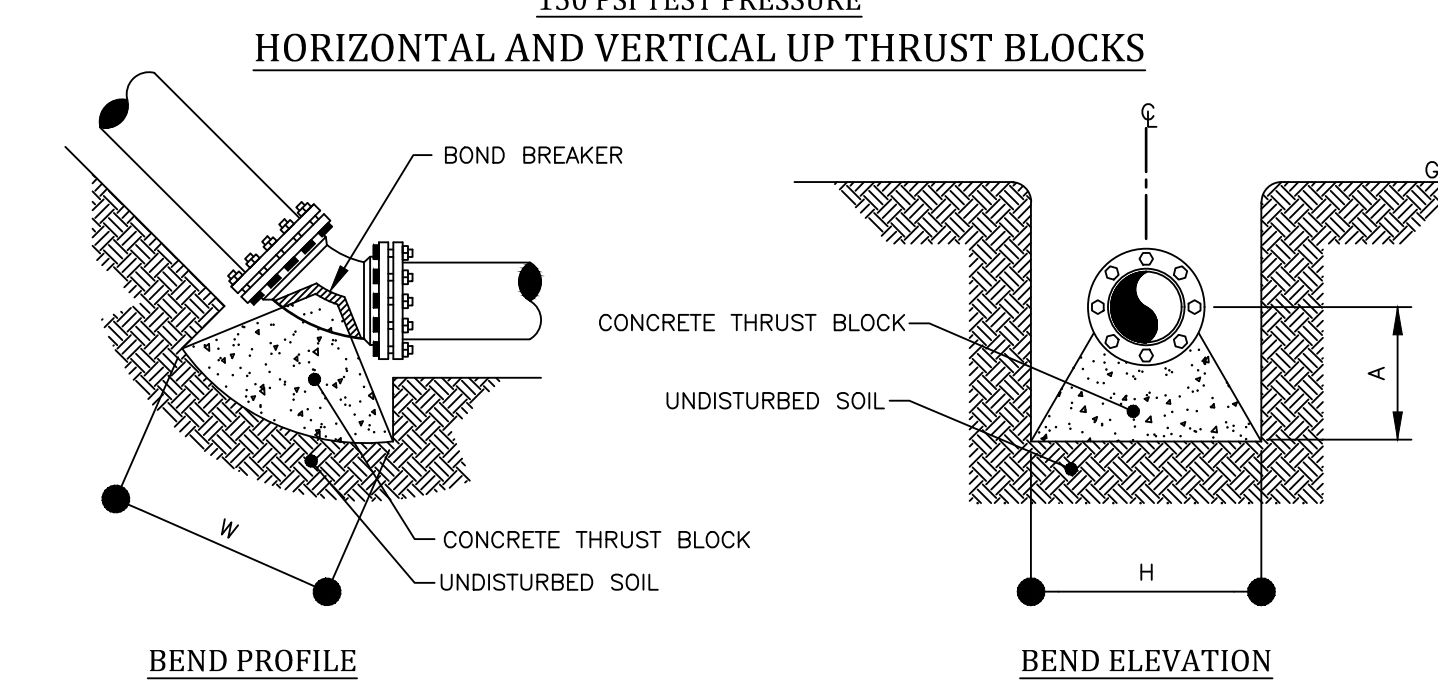


NOTE: IN THE PRESENCE OF A WATER AUTHORITY REPRESENTATIVE, REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY DISINFECTION/SAMPLE TAPS AND REPLACE WITH THREADED BRASS PLUGS.



PIPE DIAMETER	BEND OR FITTING																	
	1 1/4 DEGREE			2 1/2 DEGREE			45 DEGREE			90 DEGREE			TEE*, CAP OR PLUG					
	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)			
8"	1.0	1.0	1.5	1.0	1.5	1.5	2.0	1.5	2.0	2.5	1.5	2.5	1.5	2.5	1.0			

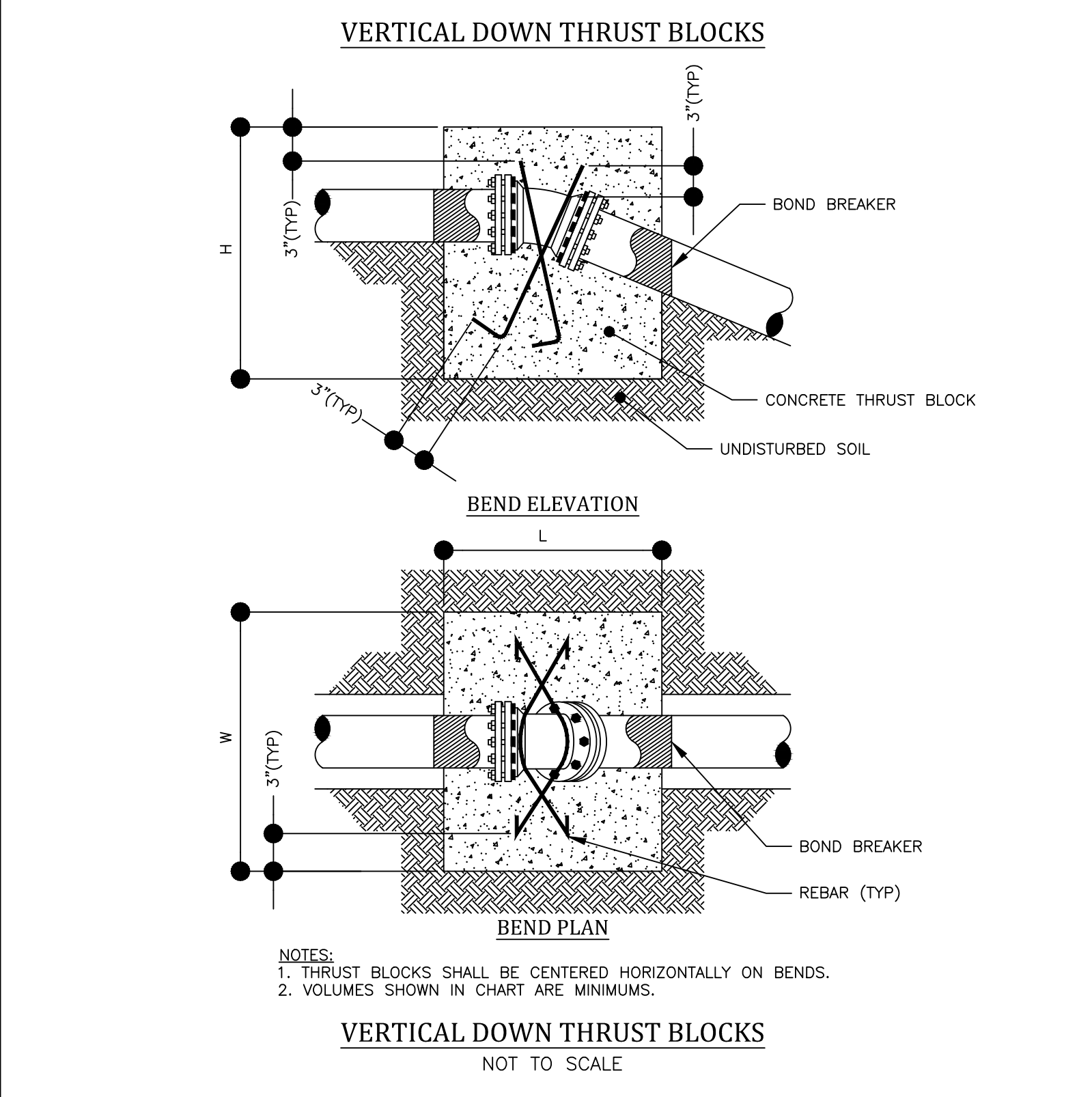
* SIZE BLOCK BASED ON BRANCH DIAMETER.
SOIL BEARING STRENGTH - 2000 PSF
150 PSI TEST PRESSURE



- NOTES:
1. COPPER SERVICE TO BE USED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
2. TRACING WIRE TO BE USED WITH POLYETHYLENE SERVICE ONLY.

PIPE DIAMETER	BEND											
	1 1/4 DEGREE			2 1/2 DEGREE			45 DEGREE			90 DEGREE		
	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)	L (FT)	W (FT)	H (FT)
8"	3.0	3.0	3.0	1.0	4.0	3.0	3.5	1.6	6.0	3.0	4.2	2.8

SOIL BEARING STRENGTH - 2000 PSF
150 PSI TEST PRESSURE



- NOTES:
1. THRUST BLOCKS SHALL BE CENTERED HORIZONTALLY ON BENDS.
2. VOLUMES SHOWN IN CHART ARE MINIMUMS.

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.

NOTES
(WATER LINE)
(SEWER LINE)
(OUTSIDE DIAMETER OF PIPE)
IN NO CASE SHALL PIPES BE CLOSER THAN 18" APART. DISTANCES ARE MEASURED BETWEEN OUTSIDES OF PIPE.

WATERMAIN/SEWER CROSSING DETAIL

NOT APPROVED
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NO.	REVISIONS	DATE	BY
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2			
1	REVISED PER PRELIMINARY APPROVAL	6/7/23	AND

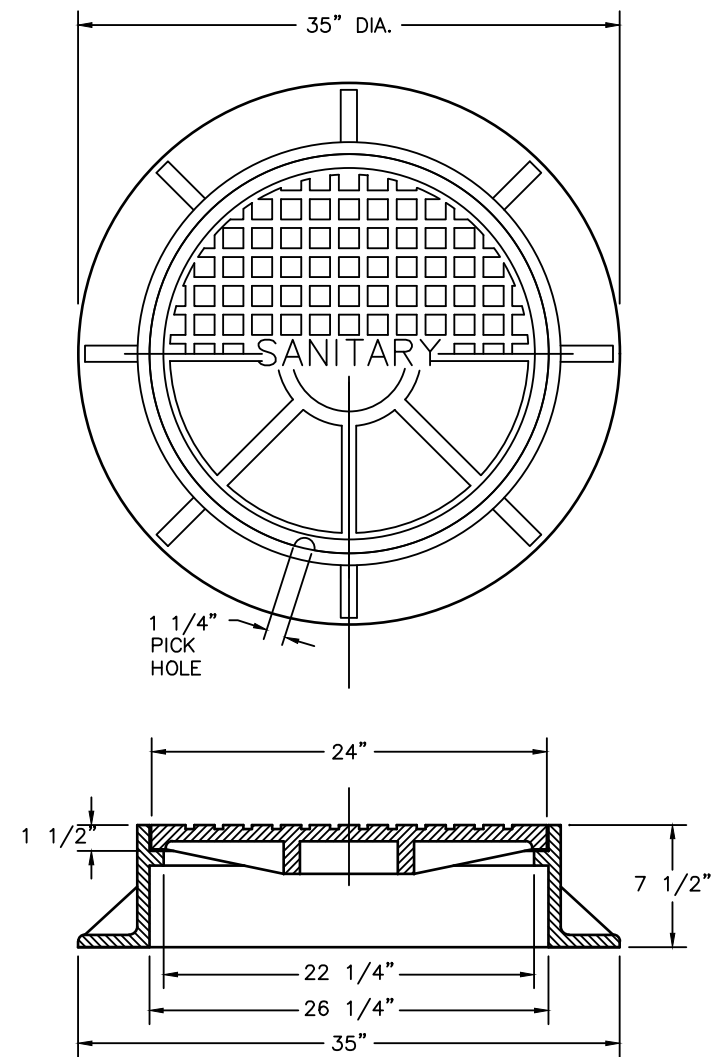
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ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 365-377-7360
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PITTSFORD, NEW YORK 14660
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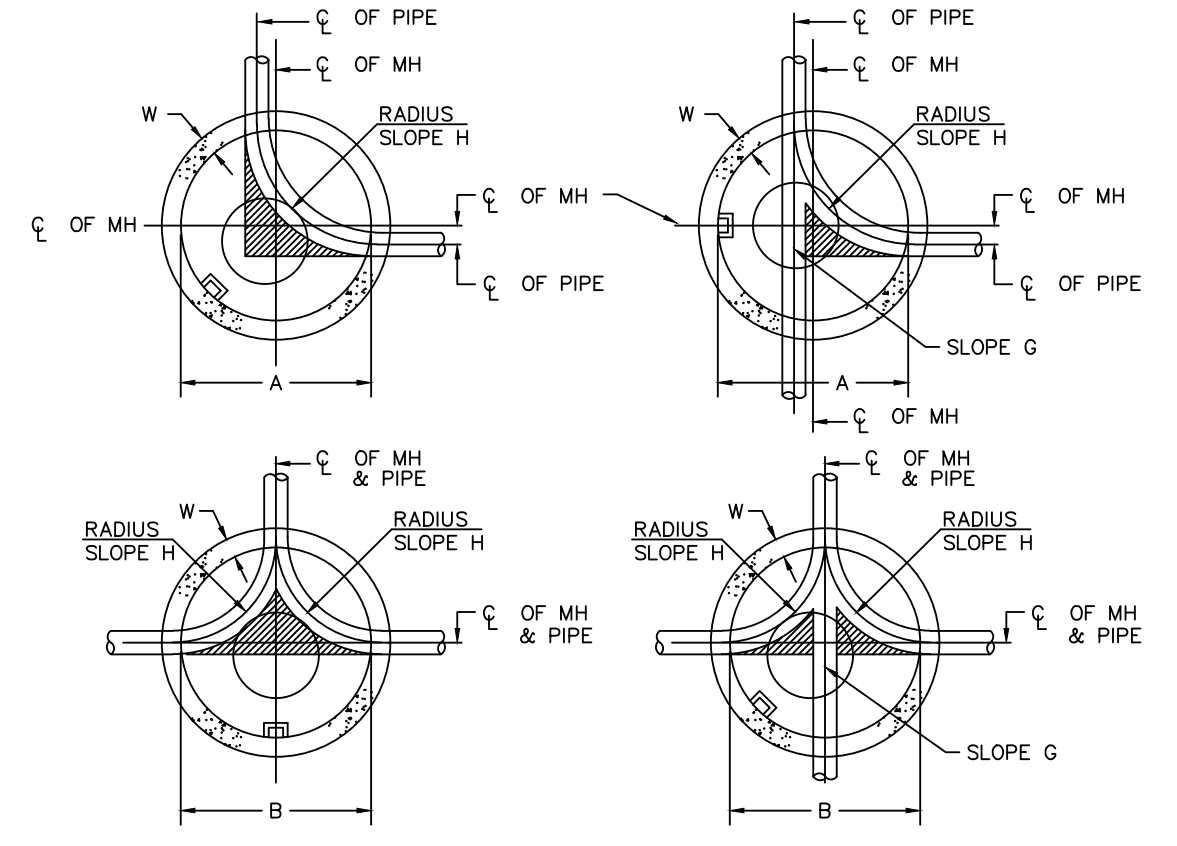
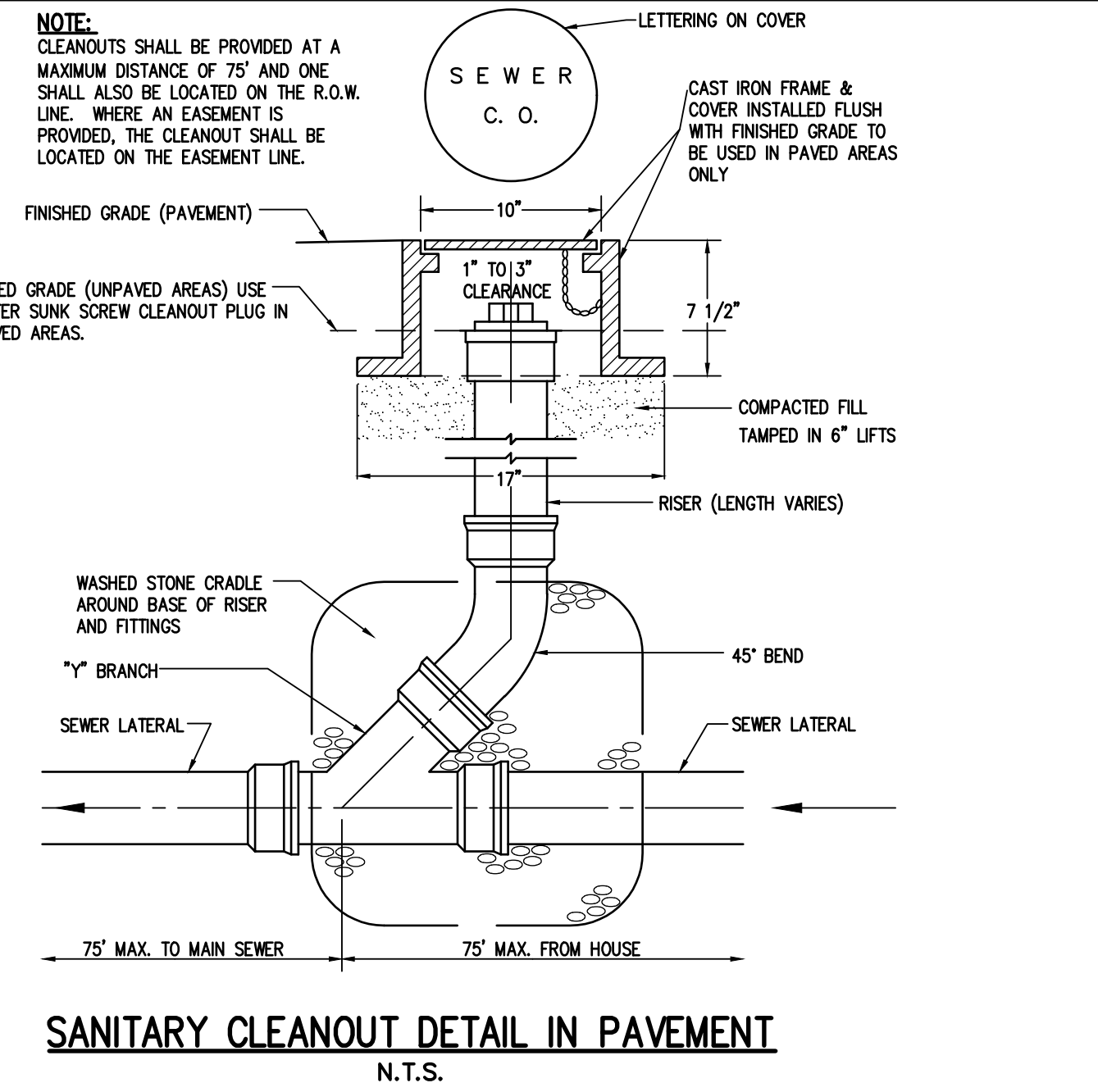
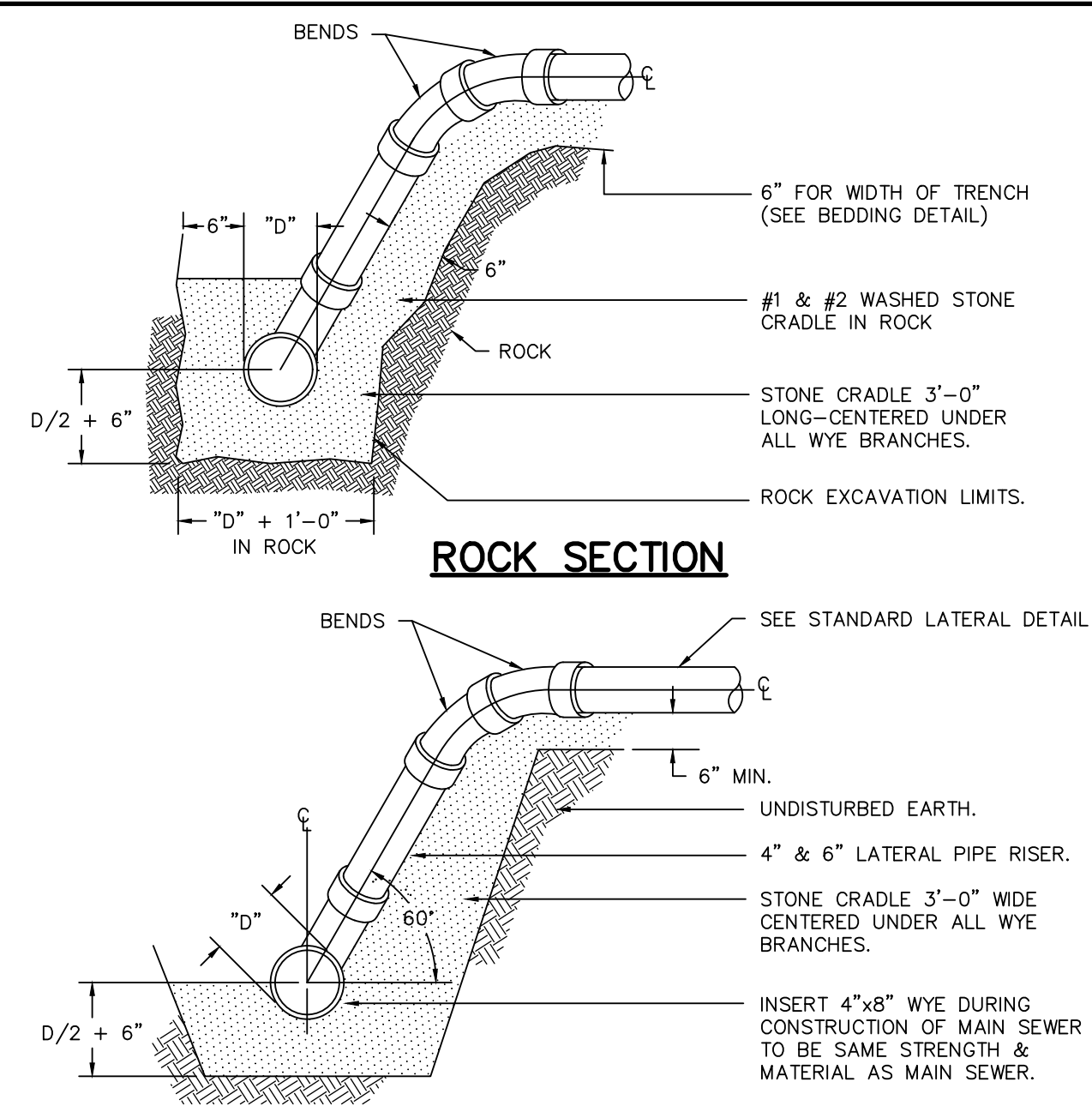
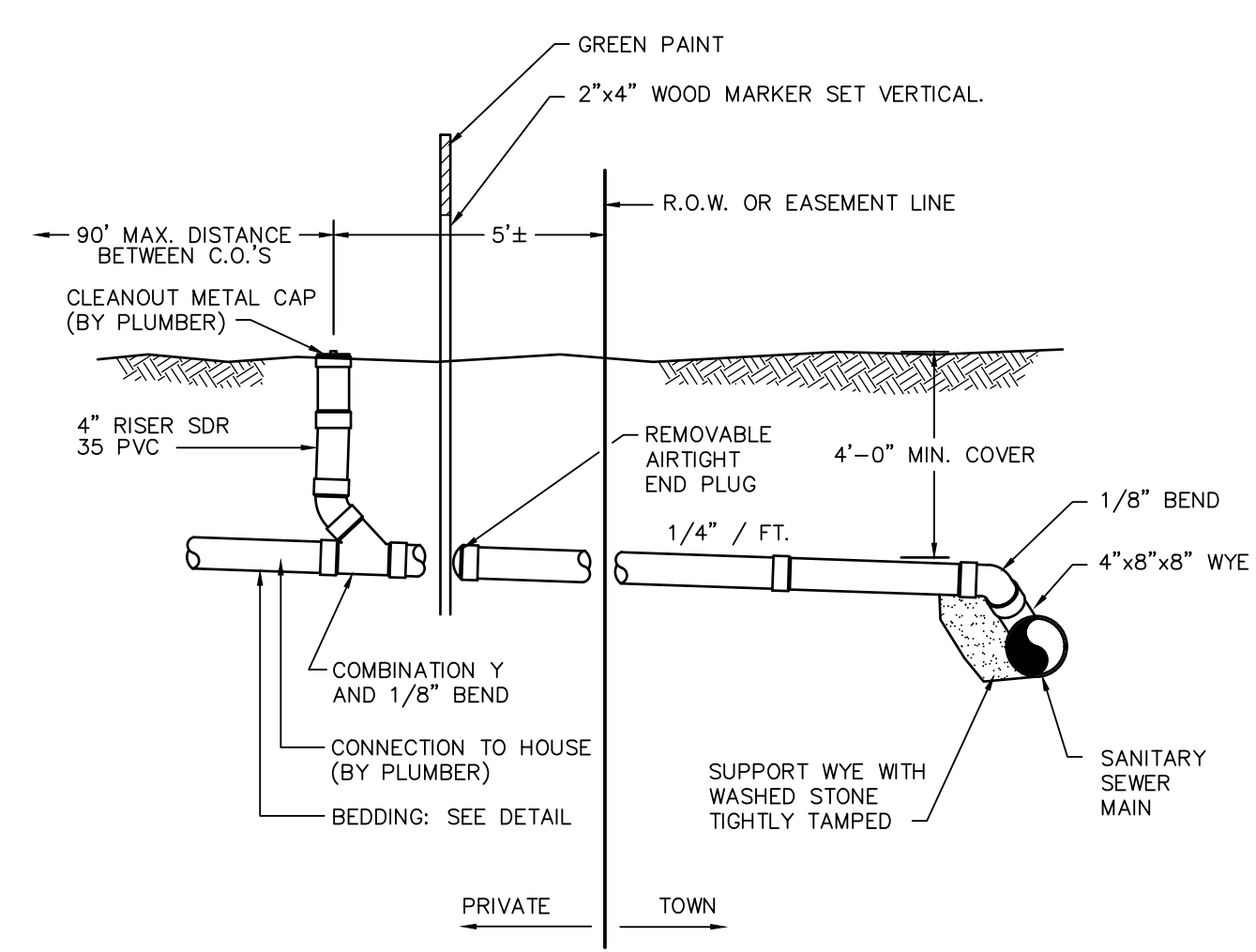
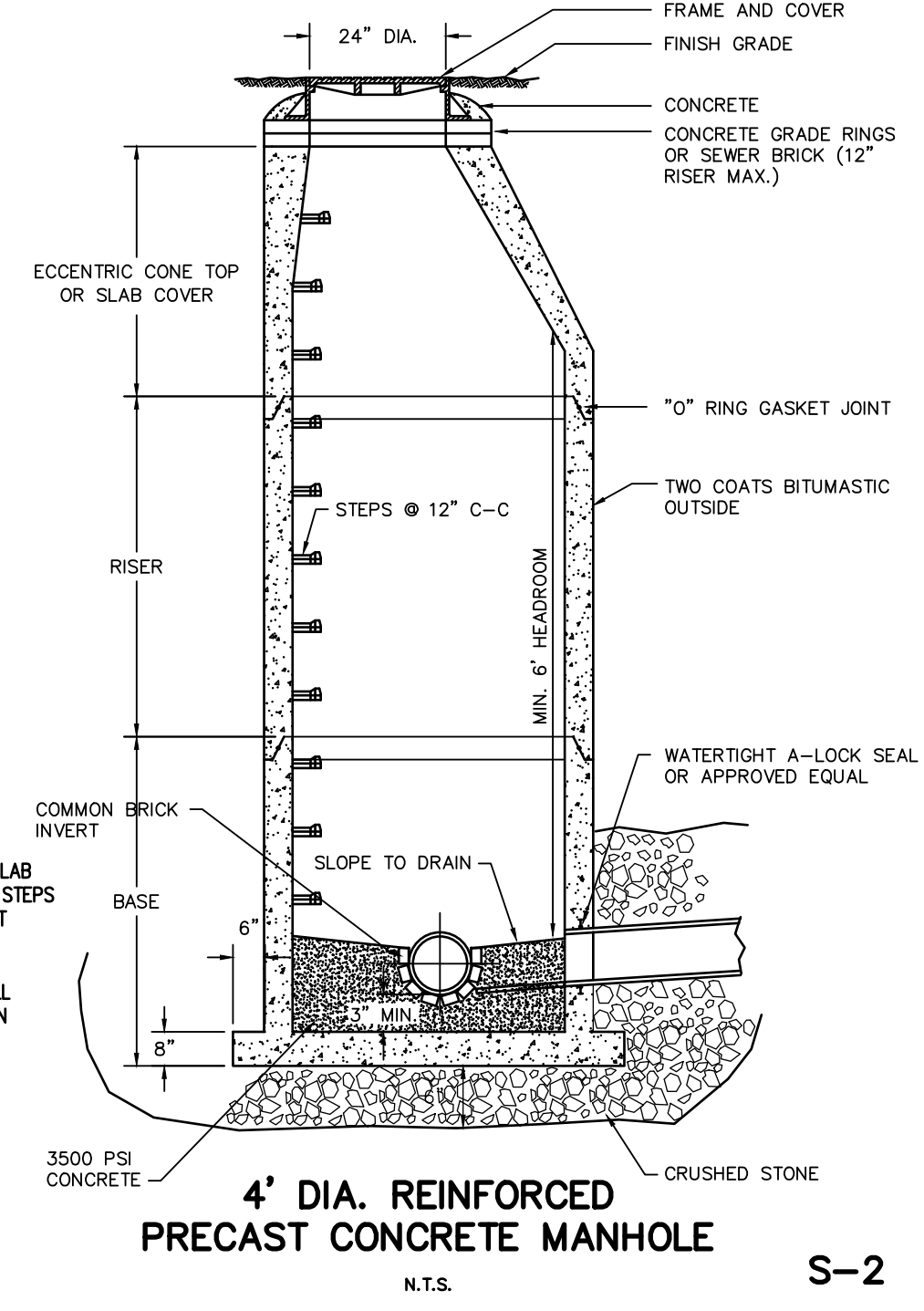
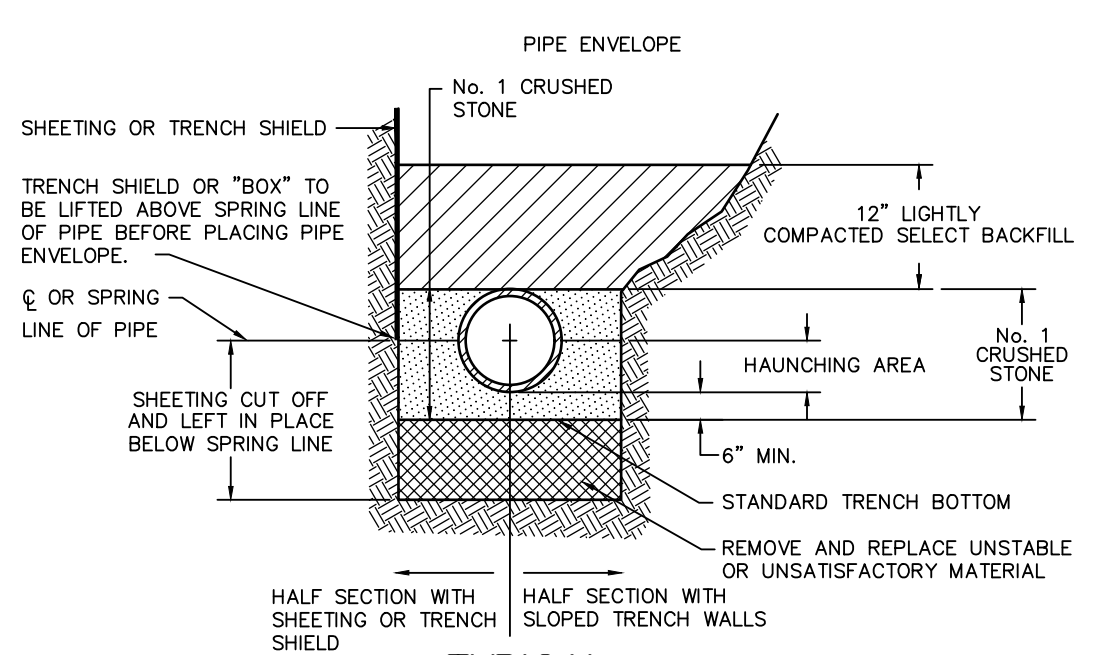
COVENTRY RIDGE SUBDIVISION
SECTION 4
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
PITTSFORD, NY 14534
PROJECT LOCATION CLIENT DRAWING TITLE
FINAL DETAIL SHEET

PROJECT MANAGER DATE
P. VARS
PROJECT ENGINEER DATE
F. SHELLEY
DRAWN BY DATE
A. D'ANGELO
SCALE DATE ISSUED
N.T.S. FEBRUARY 1, 2023
PROJECT NO. **95026**
DRAWING NO. **10**
(SHEET 1 OF 4)

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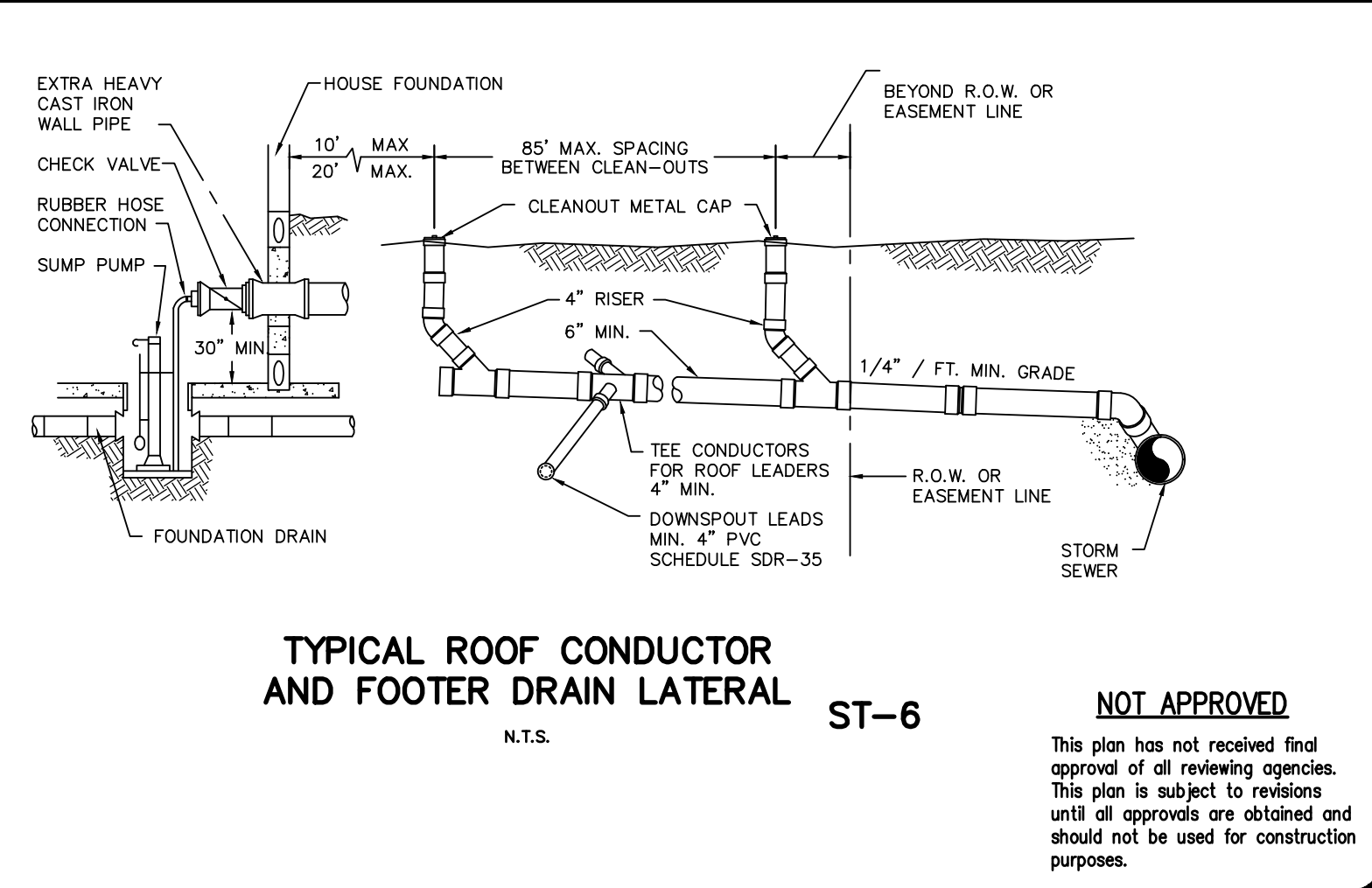
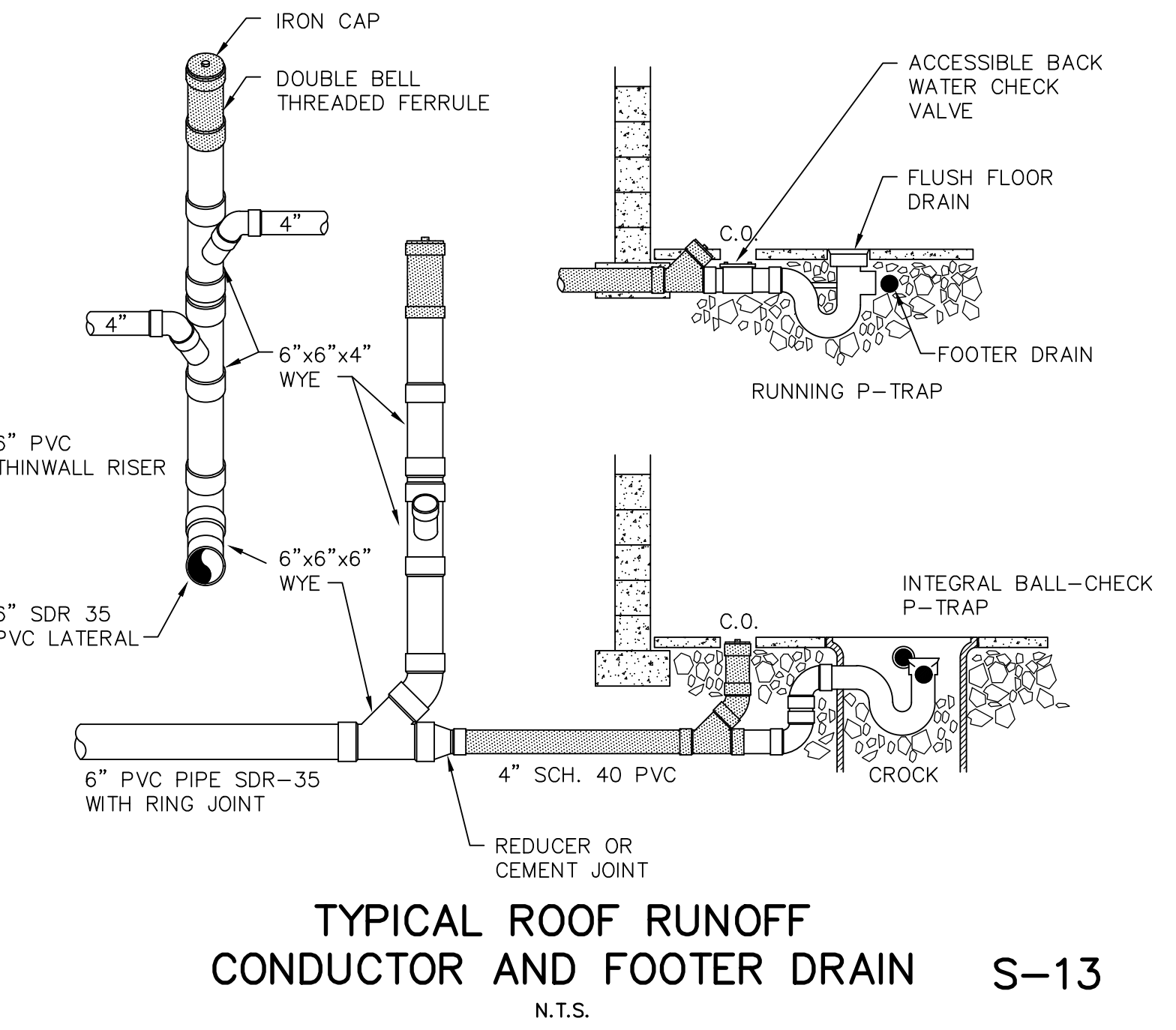
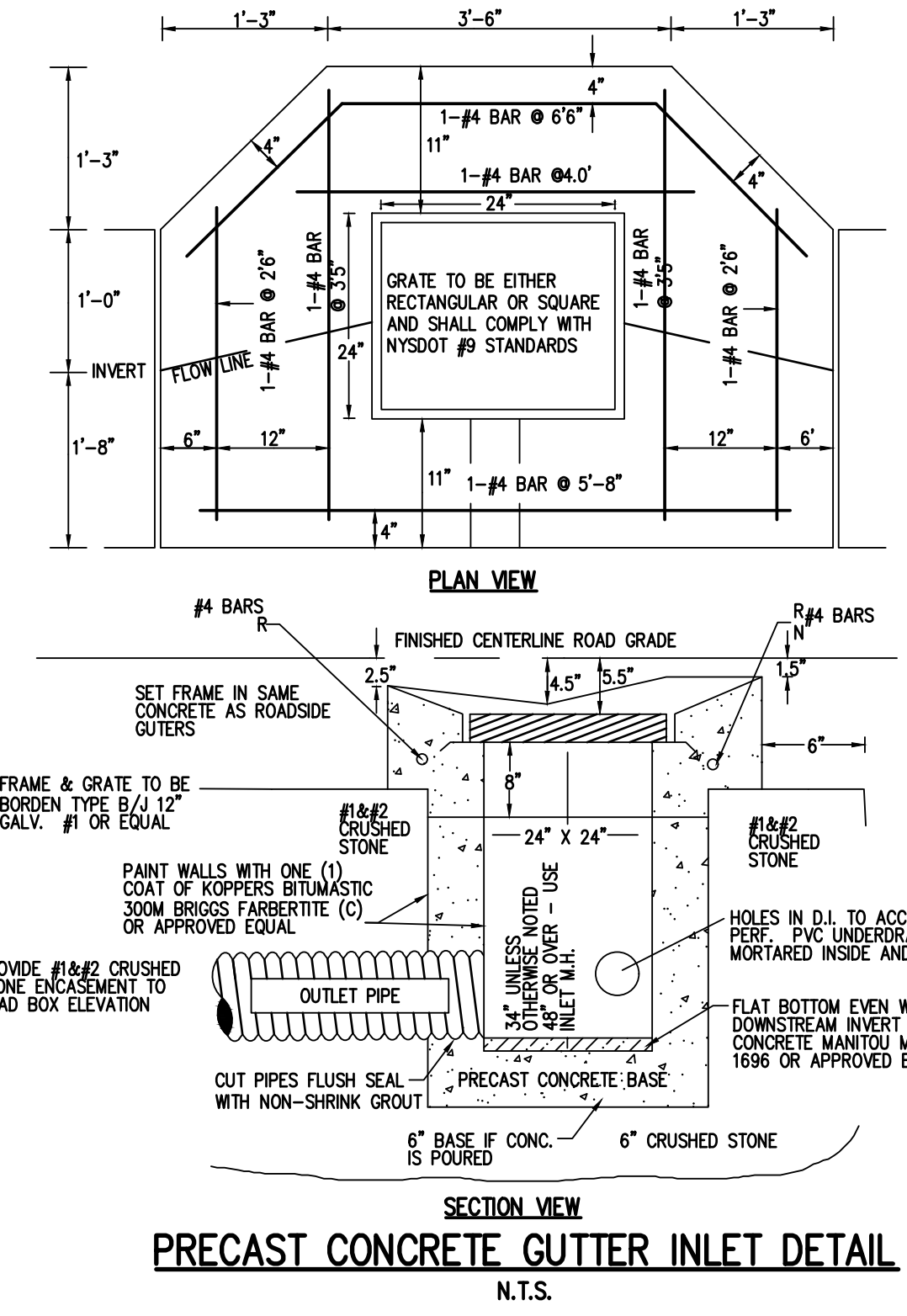
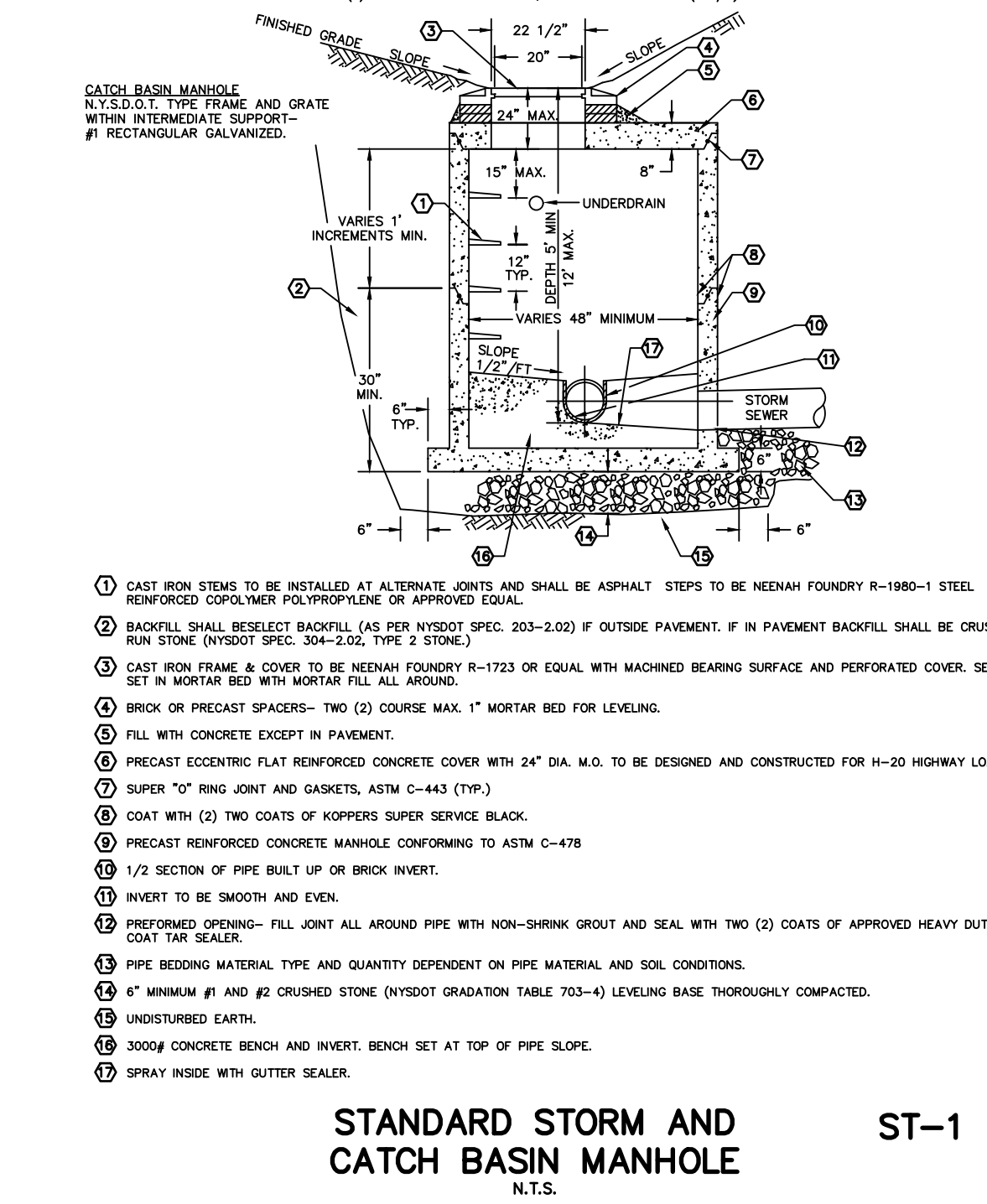


SANITARY SEWER MANHOLE COVER AND FRAME S-9
N.T.S.



SEWER PIPE DIA.	8"	10"	12"	15"	18"	MH BARREL WALL THICKNESS
MANHOLE DIA. A	4'-0"	4'-0"	4'-0"	5'-0"	5'-0"	A 4'-0" 5'-0"
B	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	B - 5'-0"
INVERT SLOPE G	0.1'	0.1'	0.1'	0.08'	0.05'	
H	0.3'	0.3'	0.2'	0.15'	0.2'	

STANDARD STORM AND CATCH BASIN MANHOLE ST-1
N.T.S.



Drawing Alteration

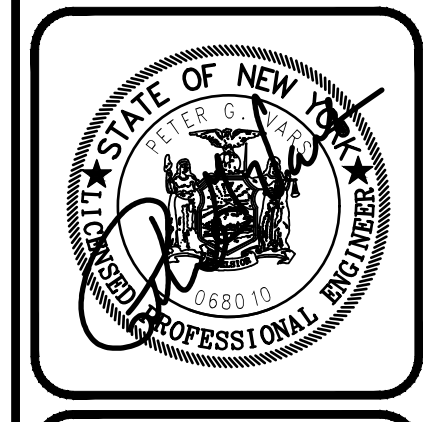
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NO.	DATE	BY
7		
6		
5		
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3		
2	6/7/23	AND
1		

REVISIONS

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
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10 LITTLEFIELD LANE EAST
PITTSFORD, NY 14850
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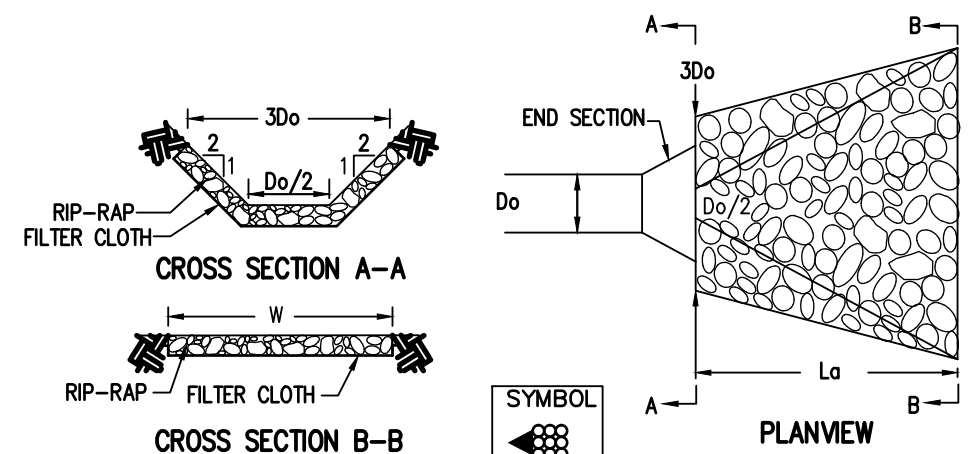
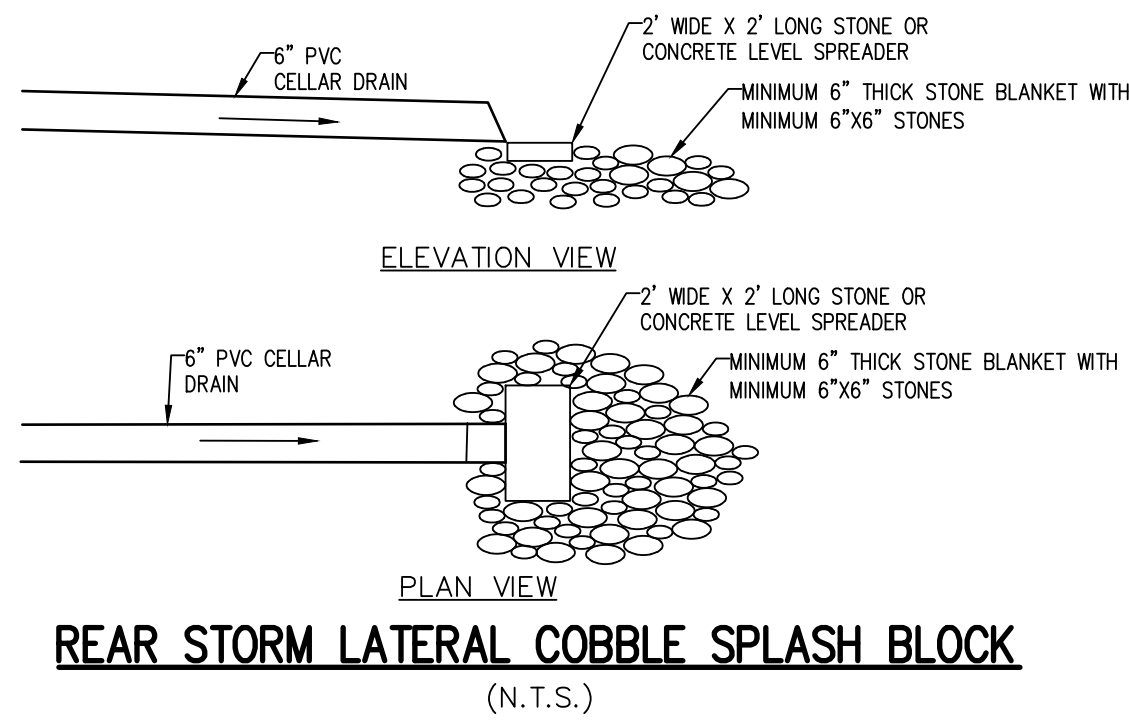
COVENTRY RIDGE SUBDIVISION
SECTION 4
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14854

PROJECT LOCATION CLIENT DRAWING TITLE

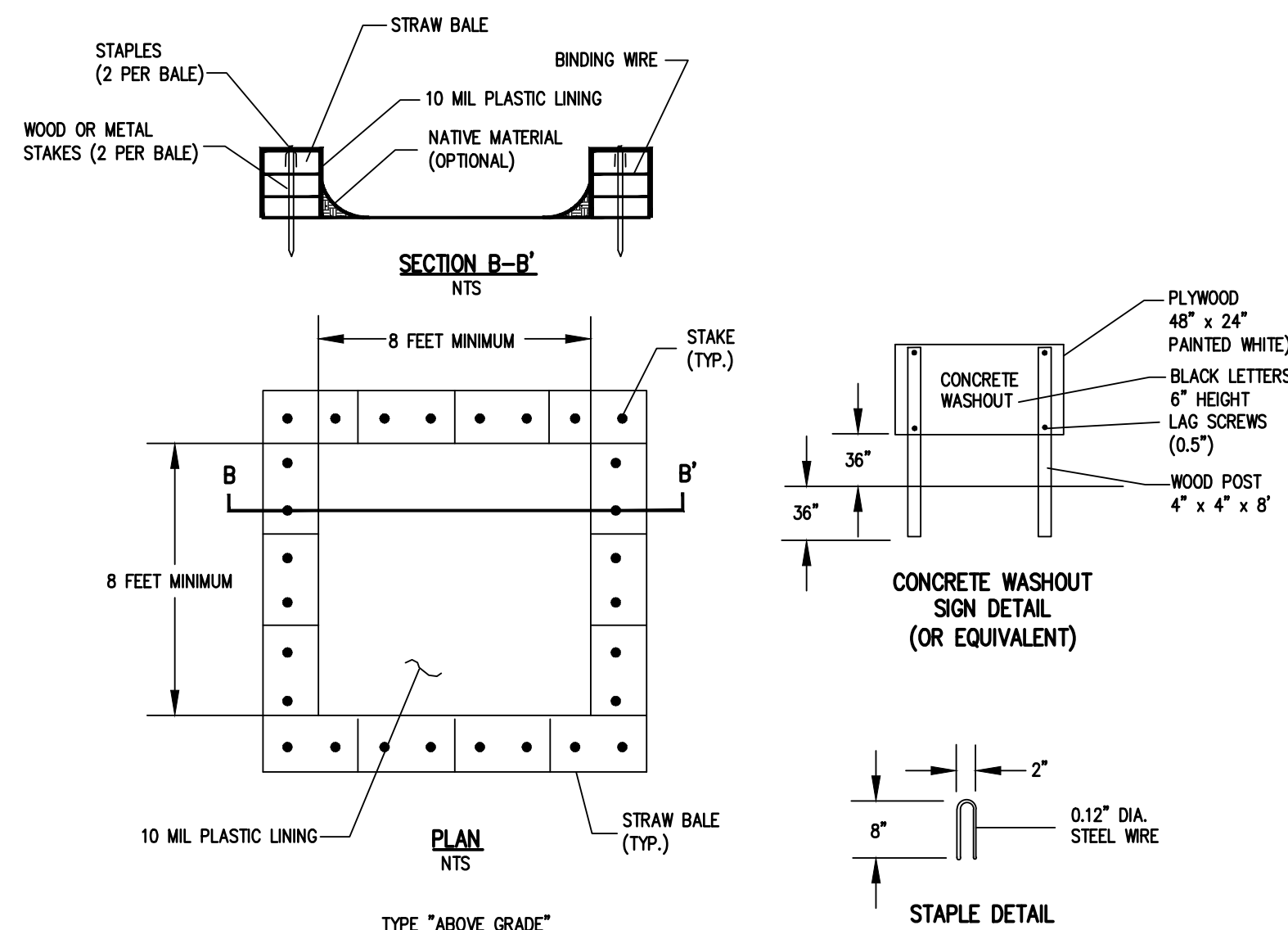
FINAL DETAIL SHEET

PROJECT MANAGER DATE
P. VARS
PROJECT ENGINEER DATE
F. SHELLEY
DRAWN BY DATE
A. D'ANGELO
SCALE DATE ISSUED
N.T.S. FEBRUARY 1, 2023
PROJECT NO. 9502G
DRAWING NO. 11
(SHEET 2 OF 4)

NOT APPROVED
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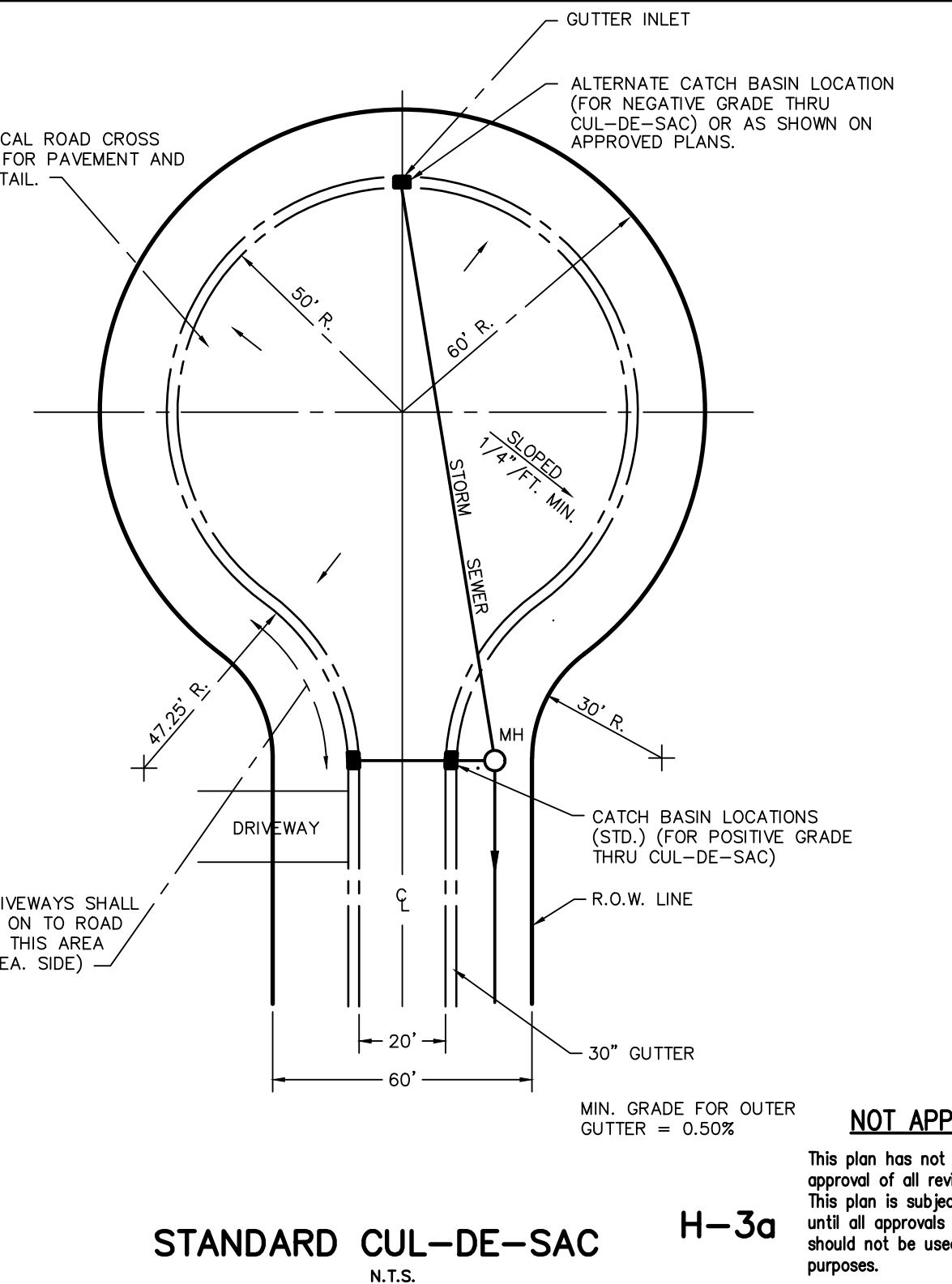
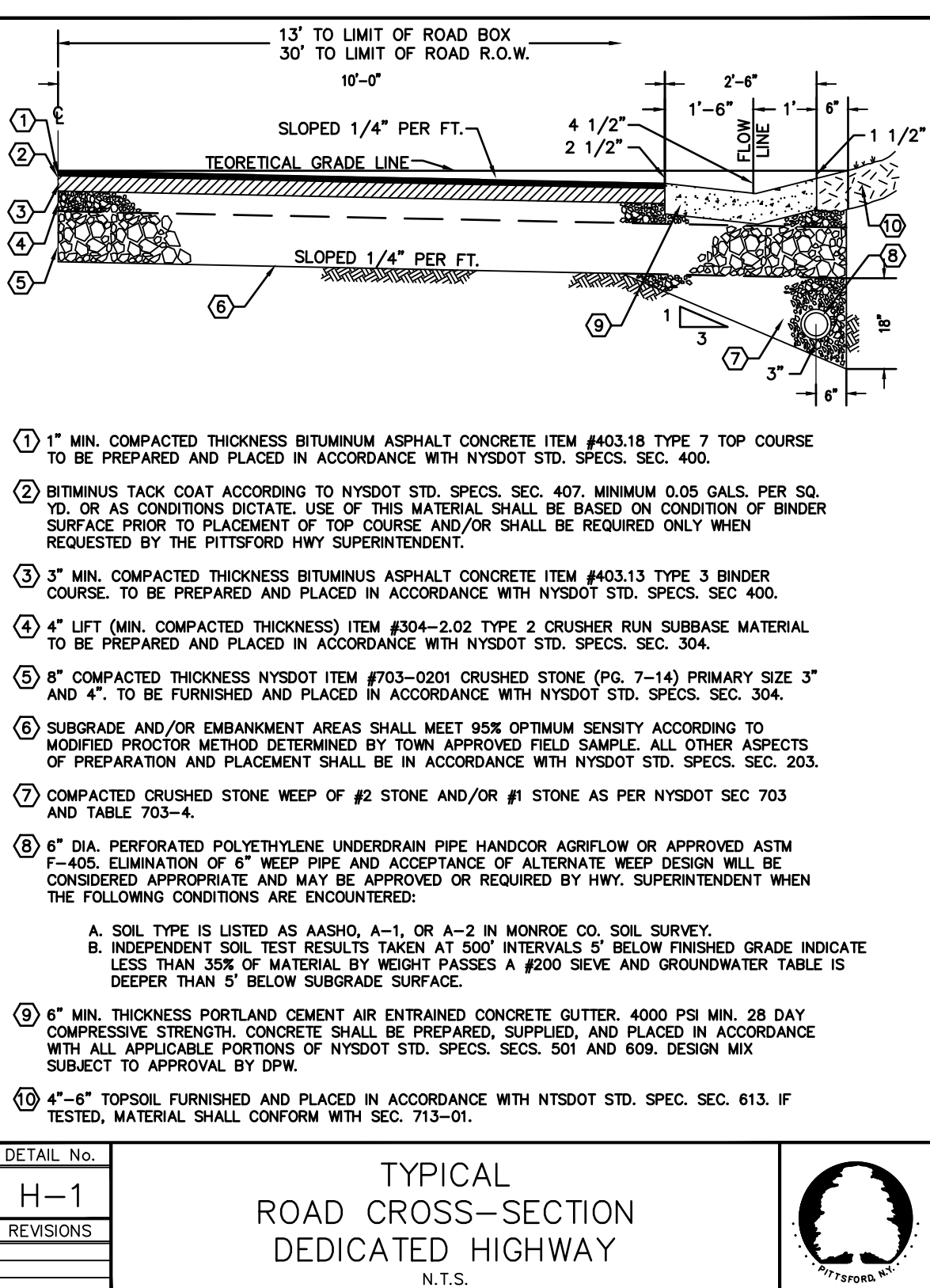
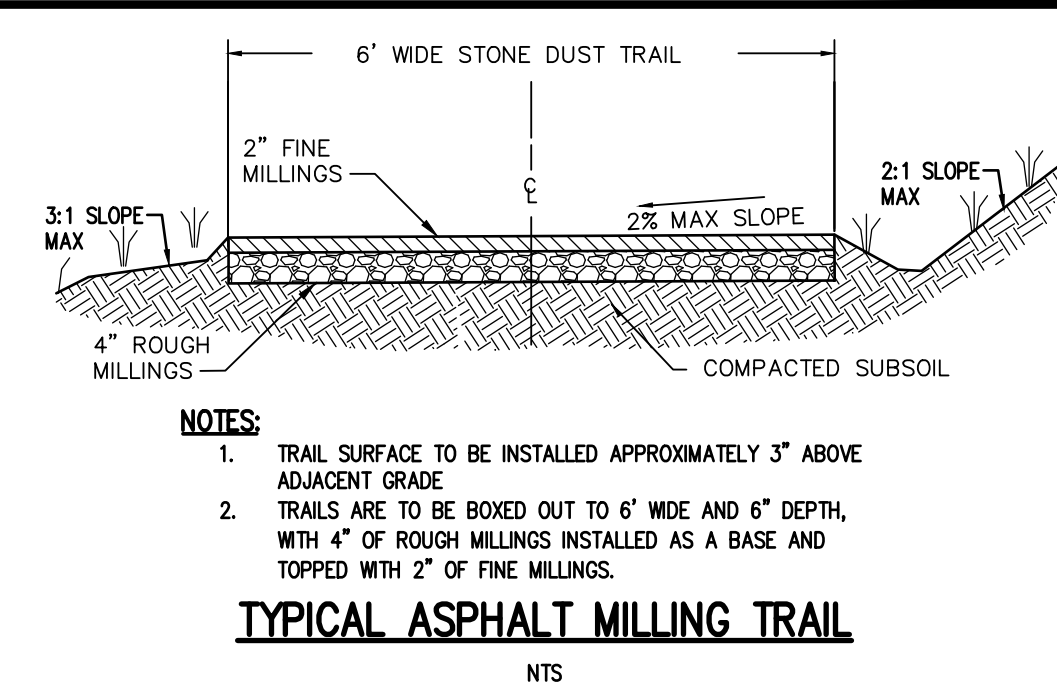
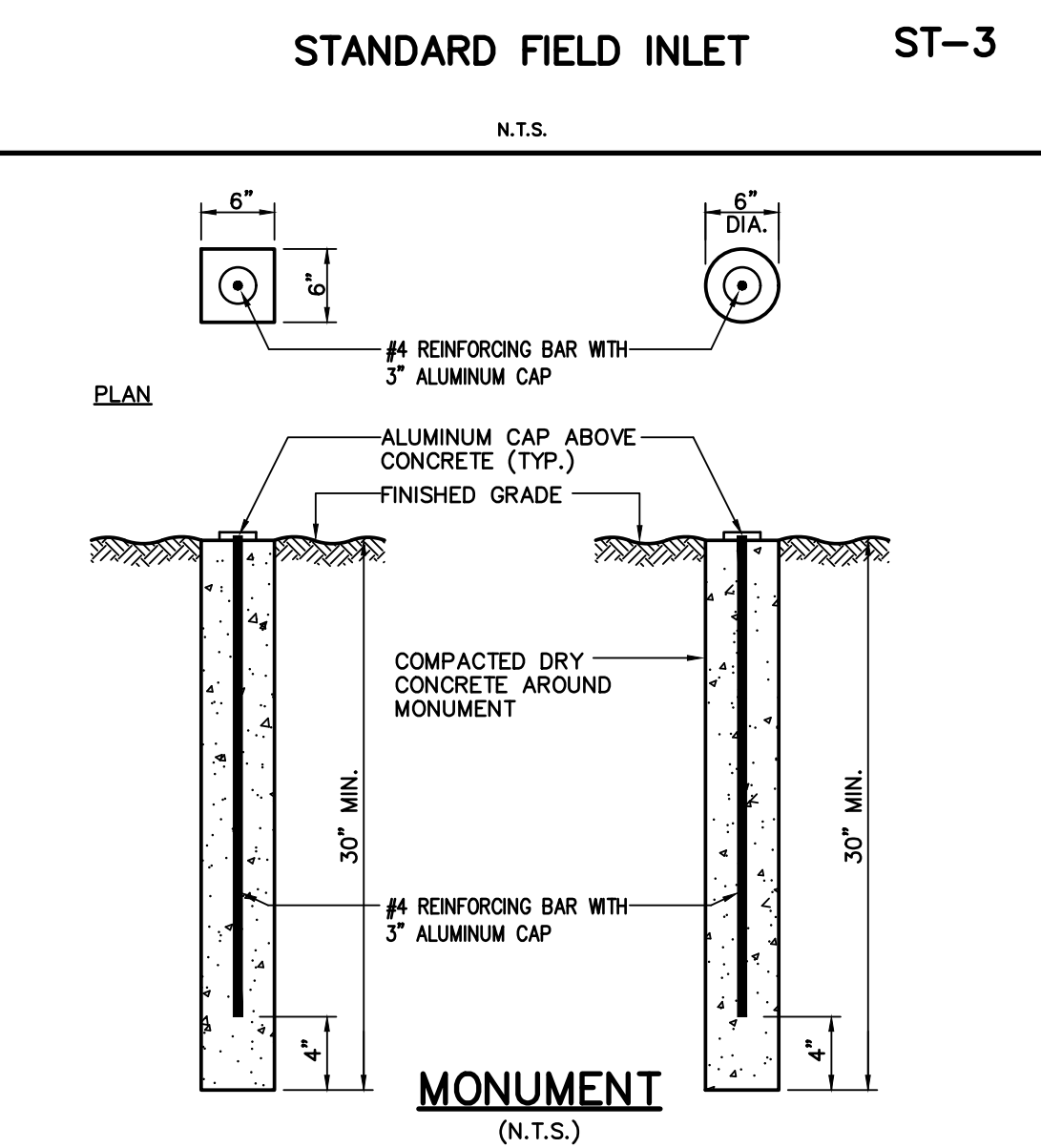
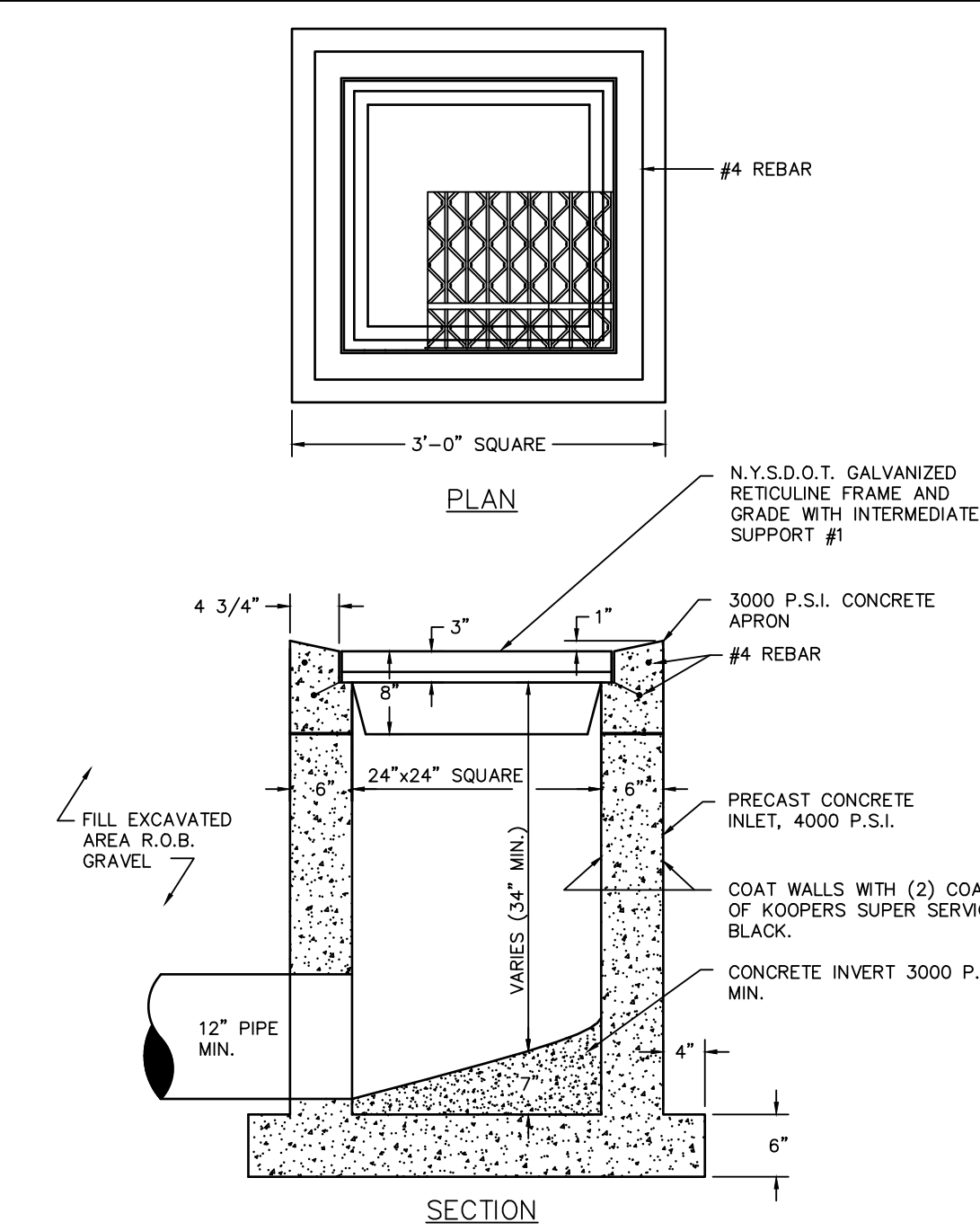
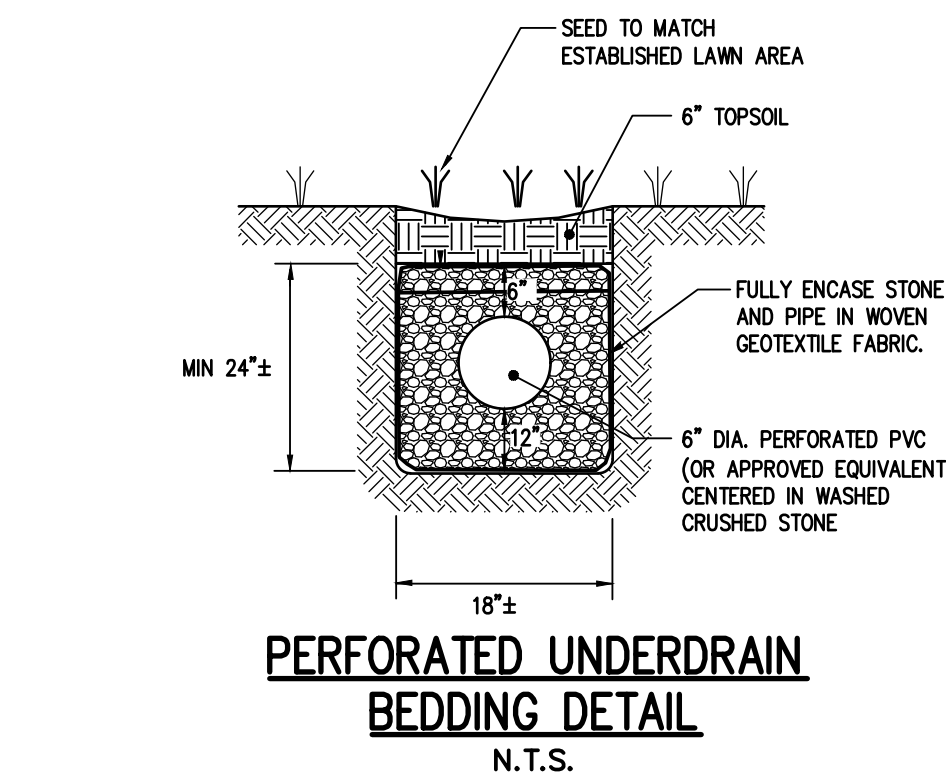
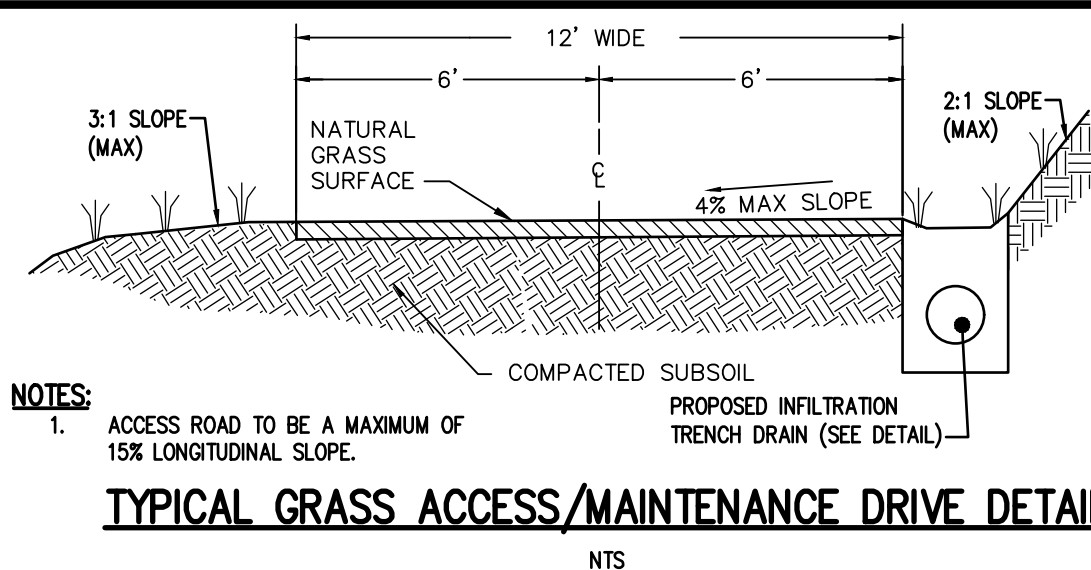


RIP-RAP OUTLET PROTECTION DETAIL TYPICAL
NTS



- NOTES:**
- ACTUAL LAYOUT DETERMINED IN THE FIELD. LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS.
 - THE MINIMUM SIZE SHALL BE 8 FEET BY 8 FEET AT THE BOTTOM AND 2 FEET DEEP. IF EXCAVATED, THE SIDE SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
 - WASHOUT STATION SHOULD BE CLEANED WHEN CONCRETE ACCUMULATES TO 75% OF THE STORAGE VOLUME. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - THE PLASTIC LINER SHALL BE REPLACED WHENEVER THE LINER IS TORN, PUNCTURED, OR THE WASHOUT IS EMPTIED.

CONCRETE WASHOUT DETAIL
(N.T.S.)



Drawing Alteration
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"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file with the item his seal and the notation altered by followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	DATE	BY	REVISIONS
7			
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2	6/7/23		REVISED PER PRELIMINARY APPROVAL
1			

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COVENTRY RIDGE SUBDIVISION
SECTION 4
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLOVER STREET DEVELOPMENT CORPORATION
50 GROVE STREET
PITTSFORD, NY 14834

FINAL DETAIL SHEET

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
P. VARS

PROJECT ENGINEER
F. SHELLEY

DRAWN BY
A. D'ANGELO

SCALE
N.T.S.

DATE ISSUED
FEBRUARY 1, 2023

PROJECT NO.
9502G

DRAWING NO.
12

(SHEET 3 OF 4)

SYMBOL

WOVEN WIRE FENCE (MIN. 14 GAUGE W/ MAX. 6" MESH SPACING) 10' MAX. C. TO C. 36" MIN. LENGTH FENCE POSTS DRIVEN MIN. 16" INTO GROUND. HEIGHT OF FILTER = 6" MIN.

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

SYMBOL

SPACING VARIES DEPENDING ON CHANNEL SLOPE. CUTOFF TRENCH 18" WIDE 6" DEEP. TOE SAME ELEVATION. CREST 24" MAX @ CENTER. PROFILE NOT TO SCALE. GROUND LINE. FILTER FABRIC. DITCH BOTTOM CUTOFF TRENCH DESIGN BOTTOM. SECTION A-A NOT TO SCALE. SECTION B-B NOT TO SCALE. FILTER FABRIC. 24" MAX @ CENTER.

CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STONE CHECK DAM

SYMBOL

2"x4" WOOD FRAME. 1.5" MAX. FABRIC. STAKE. BURIED FABRIC (12" BELOW GRADE). DROP INLET WITH GATE. FRAME. GATHER EXCESS AT CORNERS. DRIVE STAKES A MIN. OF 18" BELOW GRADE.

CONSTRUCTION SPECIFICATIONS

- FABRIC SHALL HAVE AN EOS OF 40-85, BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

FABRIC DROP INLET PROTECTION

SYMBOL

2"x12" WEIR - PRESSURE TREATED STAPLE IN PLACE. MATTING. BURIED EDGE. D = 6" MIN. DEPTH. 20' TRANSITION. CROSS SECTION NOT TO SCALE. PLAN VIEW NOT TO SCALE. LENGTH OF STABILIZED OUTLET.

Q(cfs)	E.W.(ft)	D(ft)	LENGTH(ft)
0-5	10	0.5	10
5-10	16	0.6	20
10-15	24	0.7	30

E.W. - ENTRANCE WIDTH
D - DEPTH

CONSTRUCTION SPECIFICATIONS

- THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 6 INCHES OVER THE WEIR AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOIL AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.
- ENSURE THAT THE WEIR IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
- THE WEIR SHALL BE PLACED IN UNDISTURBED SOIL NOT FILL.
- A 20 FOOT TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
- THE RUNOFF DISCHARGE WILL BE OUTLETED ONTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
- SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

FLOW SPREADER

SYMBOL

EXISTING GROUND. 50' MIN. 8" MIN. 3" 50' MIN. 10' MIN. 12' MIN. 12' MIN. 10' MIN. EXISTING PAVEMENT. PROFILE. PLAN VIEW. MOUNTABLE BERM (OPTIONAL).

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED CONSTRUCTION ACCESS

SYMBOL

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ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

FABRIC DROP INLET PROTECTION

NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- EXISTING DRAINAGE
- FINISHED DRAINAGE
- LIMITS OF GRADING
- STRAW BALES
- SILT FENCE
- VEGETATION SPECIFICATION
- TREE PRESERVATION
- STOCKPILED SOIL
- GRAVEL

NOTES:

- On moderate slopes, up to 8 percent, silt fence and straw bales may be used interchangeably.
- Slopes exceeding 25 percent shall have silt fence backed by straw bales for support.
- Use additional practices as required by the local plan approval authority to mitigate effects of post construction runoff.

Placed on the Contour

HOUSE GARAGE STABILIZED CONSTRUCTION ENTRANCE

STREET EXISTING CURB AND GUTTER

PROJECT LOCATION: _____ PROPERTY OWNER: _____
 ANTICIPATED STARTING DATE: _____ CONTRACTOR: _____
 ANTICIPATED COMPLETION DATE: _____ SOIL TYPE: _____ SLOPE: _____

NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

EROSION CONTROL PLAN LEGEND

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- EXISTING DRAINAGE
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Drawing Alteration
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NO.	REVISIONS	DATE	BY
7			
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1	REVISED PER PRELIMINARY APPROVAL	6/7/23	AND

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 50 GROVE STREET
 PITTSFORD, NY 14854

FINAL DETAIL SHEET

PROJECT LOCATION: _____ CLIENT: _____ DRAWING TITLE: _____

PROJECT MANAGER: P. VARS DATE: _____
 PROJECT ENGINEER: F. SHELLEY DATE: _____
 DRAWN BY: A. D'ANGELO DATE: _____
 SCALE: N.T.S. DATE ISSUED: FEBRUARY 1, 2023
 PROJECT NO.: 195026
 DRAWING NO.: 13
 (SHEET 4 OF 4)

NOT APPROVED
 This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.