

**Design Review & Historic Preservation Board
AGENDA
August 24, 2023**

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, August 24, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATIONS: NEW HOMES

16 Aden Hill

Applicant is requesting design review for the construction of a one-story single-family home. The home will have approximately 1800 SF of livable area and is located in the Wilshire Hill Subdivision.

62 & 64 Skylight Trail

Applicant is requesting design review for two new attached single-family townhomes in the Alpine Ridge Subdivision. 62 Skylight Trail is approximately 2700 SF and 64 Skylight Trail is approximately 1529 SF.

RESIDENTIAL APPLICATIONS: ADDITIONS & RENOVATIONS

6 Rosewood Drive

Applicant is requesting design review for a front addition to include a porch, foyer and second floor living space.

18 Buttermilk Hill Road

Applicant is requesting design review for a 252 SF garage renovation including a bonus room.

41 Carriage Court

Applicant is requesting design review for an approximately 838 SF addition off the rear of the home.

57 Shire Oaks Drive

Applicant is requesting design review for the construction of an 83 SF Master bath addition of the back of the home.

32 Stoneleigh Court

Applicant is requesting design review to convert a front stoop to a covered porch.

28 Whitestone Lane

The applicant is requesting design review for a proposed new three car garage.

CERTIFICATE OF APPROPRIATENESS

55 Mitchell Road

Applicant is requesting a Certificate of Appropriateness pursuant to Town Code Section 185-196 for the replacement of the front porch on a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

COMMERCIAL APPLICATIONS: RENOVATIONS

3350 Monroe Avenue

Applicant is requesting design review to add windows to the building.

**TOWN OF PITTSFORD
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
AUGUST 10, 2023**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on August 10, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dave Wigg, Vice Chairman; Jim Vekasy; Paul Whitbeck; John Mitchell

ABSENT: Dirk Schneider, Chairman; Bonnie Salem; Kathleen Cristman

ALSO PRESENT: Anthony Caruso, Building Inspector; Meghan Brooks, Building Department Assistant

ATTENDANCE: There were 7 members of the public present.

Design Review and Historic Preservation Board (DRHPB) Vice Chairman Dave Wigg called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION

No discussion was held by the Board at this time.

RESIDENTIAL APPLICATIONS: ACCESSORY STRUCTURES

43 Musket Lane

Applicant is requesting design review for the addition of a 288 square foot accessory shed structure.

Sean Mulvey of 43 Musket Lane introduced the application. Mr. Mulvey stated that he had been before the Zoning Board of Appeals on July 17th, 2023, and received the variance for the size and location of his shed. The structure is pre-built and will be delivered to the lot; the color and siding will match the picture submitted in the application.

Board Member Paul Whitbeck asked about the location of the new shed. Mr. Mulvey stated that it would be in approximately the same area as the old one, which has since been removed, but that it would shift further towards the center of the lot to preserve an existing tree. Fencing along the back and side property lines will mitigate sightline infringement for the neighboring properties.

DRHPB Member Paul Whitbeck motioned to approve the addition of the 288 square foot accessory shed structure as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

RESIDENTIAL APPLICATIONS: ADDITIONS**16 Winding Road**

Applicant is requesting design review for a garage expansion in the front of the home, along with two additions at the back and side of the home.

Paul Morabito of Morabito Architects introduced the application. Mr. Morabito stated that the homeowners had already received a variance from the Zoning Board of Appeals on July 17th, 2023, and were now seeking approval from the DRHPB for the exterior of the additions. He submitted updated exterior plans to the Board that showed the materials to be used on the home, including shaker, stone, and vertical sidings. The shingles will match the existing roof.

Board Member Whitbeck inquired how far the face of the garage would be from the house and the road. Mr. Morabito answered that the garage is about seven feet forward from the porch, almost in line with the front steps, and that it is forty-five feet from the front property line. Vice Chairman Dave Wigg asked if the overhangs would match the existing structure; Mr. Morabito confirmed that they would. Board Member Whitbeck also noted that, while the plan utilizes a lot of textures, it makes sense for this particular house.

DRHPB Vice Chairman Dave Wigg motioned to approve the garage expansion in the front of the home, along with the two additions at the back and side of the home, with the condition that the sidings match those shown in the revised plans submitted August 10, 2023 (*Revised plans on file with the Building Department*). This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

32 Stoneleigh Court

Applicant is requesting design review for an approximately 500 square foot addition on the rear of the house.

Kip Finley of Victory Hill Land Company introduced the application. Mr. Finley stated that the homeowners would like to build a rear addition to their home, leaving a space between the addition and the existing structure on which to construct a patio. The addition would be raised to allow for a finished basement. An egress window would be placed on the side of the addition.

Building Inspector Anthony Caruso noted that current building code does not allow concrete masonry units (CMU) to be built more than six inches above grade on new units; on additions, the CMU line would have to match the line on the existing structure. Mr. Finley stated that they would modify the plans accordingly.

Board Member Jim Vekasy asked if the roof would match the current roofing. Mr. Finley stated that the entire home would be reroofed and resided.

DRHPB Member Jim Vekasy motioned to approve an approximately 500 square foot addition on the rear of the house as submitted, with the condition that the CMU match the CMU line of the existing structure. This motion was seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved.

26 Bromley Road

Applicant is requesting design review for the renovation and expansion of a 208 square foot screen porch off the rear of the home.

Kip Finley of Victory Hill Land Company introduced the application. Mr. Finley stated that the existing screened porch will be expanded and that two-foot overhangs would be added to shelter the structure from weather.

Vice Chairman Wigg asked what the vertical siding material was composed of. Mr. Finley answered that it would be a vinyl siding with white PVC trim around the windows to keep it weather-proof. The soffits would also be vinyl.

DRHPB Vice Chairman Dave Wigg motioned to approve the renovation and expansion of the 208 square foot screen porch off the rear of the home as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved.

RESIDENTIAL APPLICATIONS: NEW HOMES**61 Coventry Ridge**

Applicant is requesting design review for the construction of a two-story single-family home. The home will have approximately 2,926 square feet of livable area and is located in the Coventry Ridge Subdivision.

Austin Miller and Jim Connaughton of Spall Homes introduced the application. Mr. Miller detailed the home's exterior construction, including the brick veneer and horizontal siding.

Vice Chairman Wigg confirmed with Mr. Miller that the trim would be 1"x8". He also asked what the trim and corner board would be used. Mr. Connaughton stated that the trim and corner board would be pre-primed wood. Mr. Miller added that the brick would wrap around the corner of the front of the home and that the trim on the back of the home would be four inches.

DRHPB Member John Mitchell motioned to approve the construction of a two-story, 2,926 square foot, single-family home as submitted. This motion was seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved.

59 Coventry Ridge

Applicant is requesting design review for the construction of a two-story single-family home. The home will have approximately 3,760 square feet of livable area and is located in the Coventry Ridge Subdivision.

Jim Connaughton of Spall Homes introduced the application. Mr. Connaughton stated that the proposed house plan is the latest version of their most popular home design. He submitted several examples of the model to demonstrate how each one varies slightly.

Board Member Whitbeck asked how far from this address those homes are located. Mr. Connaughton answered that the nearest ones are likely 1/4- to 1/2- mile away and not immediately next door to the property.

Vice Chairman Wigg asked how high the ridge of the home would be. Mr. Connaughton stated that it will be 31-32½ feet high.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of a two-story, 3,760 square foot, single-family home as submitted. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved.

4 Black Wood Circle

Applicant is requesting design review for the construction of a one-story single-family home. The home will have approximately 2,827 square feet of livable area and is located in the Wilshire Hill Subdivision.

Bill Arieno of Pride Mark Homes introduced the application. Mr. Arieno stated that this house plan was the latest iteration of one of their most popular designs and is in keeping with the style of homes in the rest of the subdivision. The Board held a brief discussion on the type of windows and materials to be used in the new home.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of a one-story, 2,827 square foot, single-family home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

151 Sylvania Road

Applicant is requesting design review for a 4,732 square foot new home between 155 and 141 Sylvania Road.

Kim Bailey of Stahl Properties introduced the application. Ms. Bailey stated that the property owners are proposing to build a modern farmhouse style home on the vacant, narrow lot. Materials would include black windows, an asphalt roof, and board and batten siding. The front two gables would utilize Hardie board material. She also noted that there will be 5-inch corner boards that are missing from the current renderings.

Vice Chairman Wigg asked if there would be an open porch off the back of the home; Ms. Bailey confirmed that there would be and that an actual roof would be used, not an awning.

DRHPB Member Paul Whitbeck motioned to approve the construction of a 4,732 square foot single-family home as submitted, with the condition that the 5-inch corner boards not shown in the plans be added. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

OTHER DISCUSSION

The minutes of July 13, 2023, were approved following a motion by DRHPB Vice Chairman Dave Wigg. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the minutes were approved, none opposed.

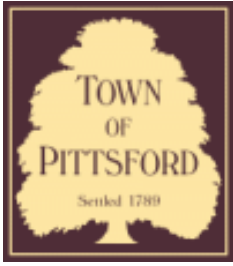
Design Review and Historic Preservation Board Chairman Schneider closed the meeting at 7:07PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000103

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 16 Aden Hill PITTSFORD, NY 14534

Tax ID Number: 178.03-4-59

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Pride Mark Homes

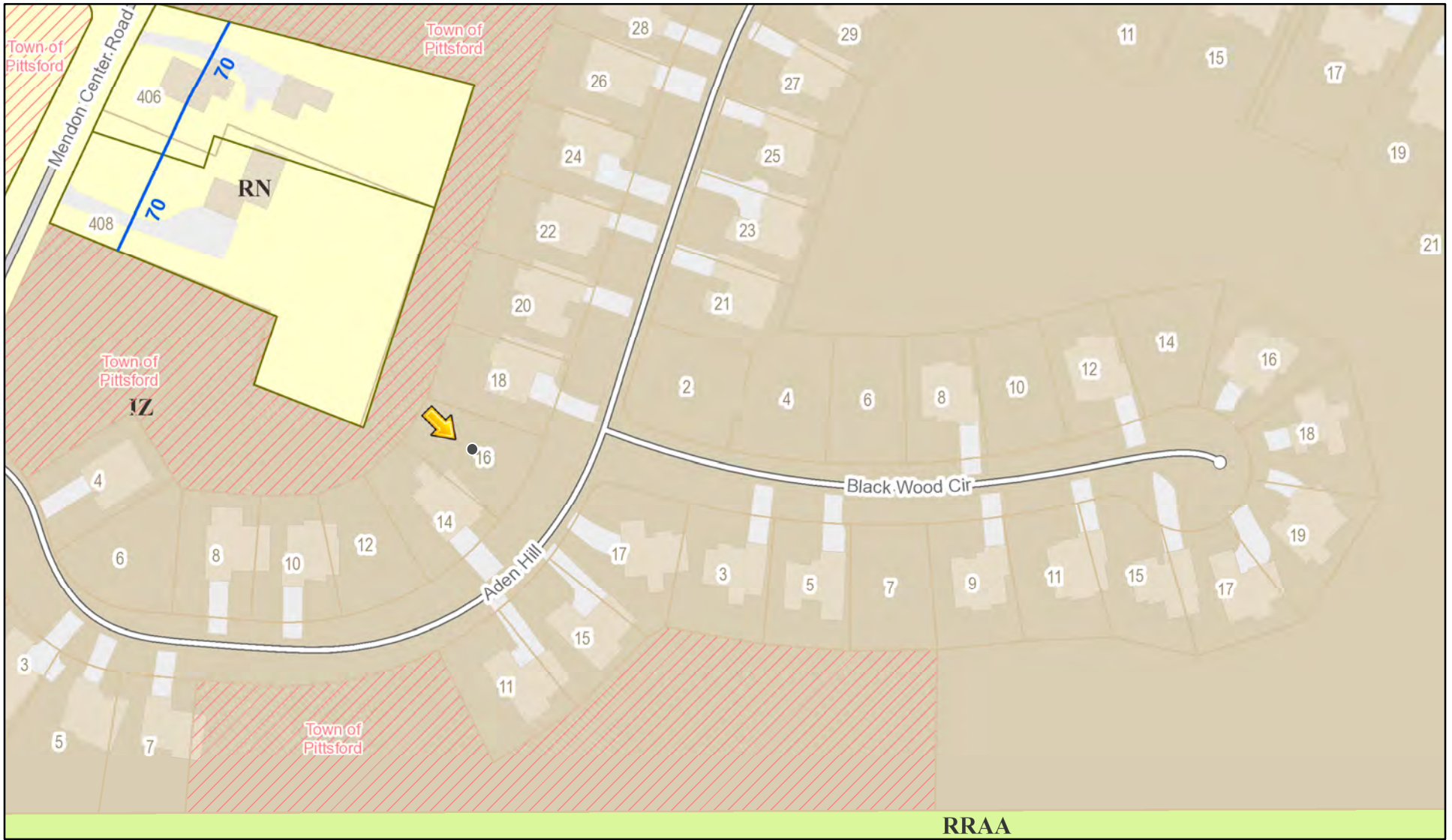
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

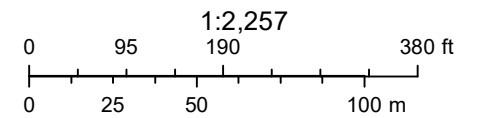
Project Description: Applicant is requesting design review for the construction of a one-story single family home. The home will have approximately 1800 square feet of livable area and is located in the Wilshire Hill Subdivision.

Meeting Date: August 24, 2023

RN Residential Neighborhood Zoning



Printed August 16, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

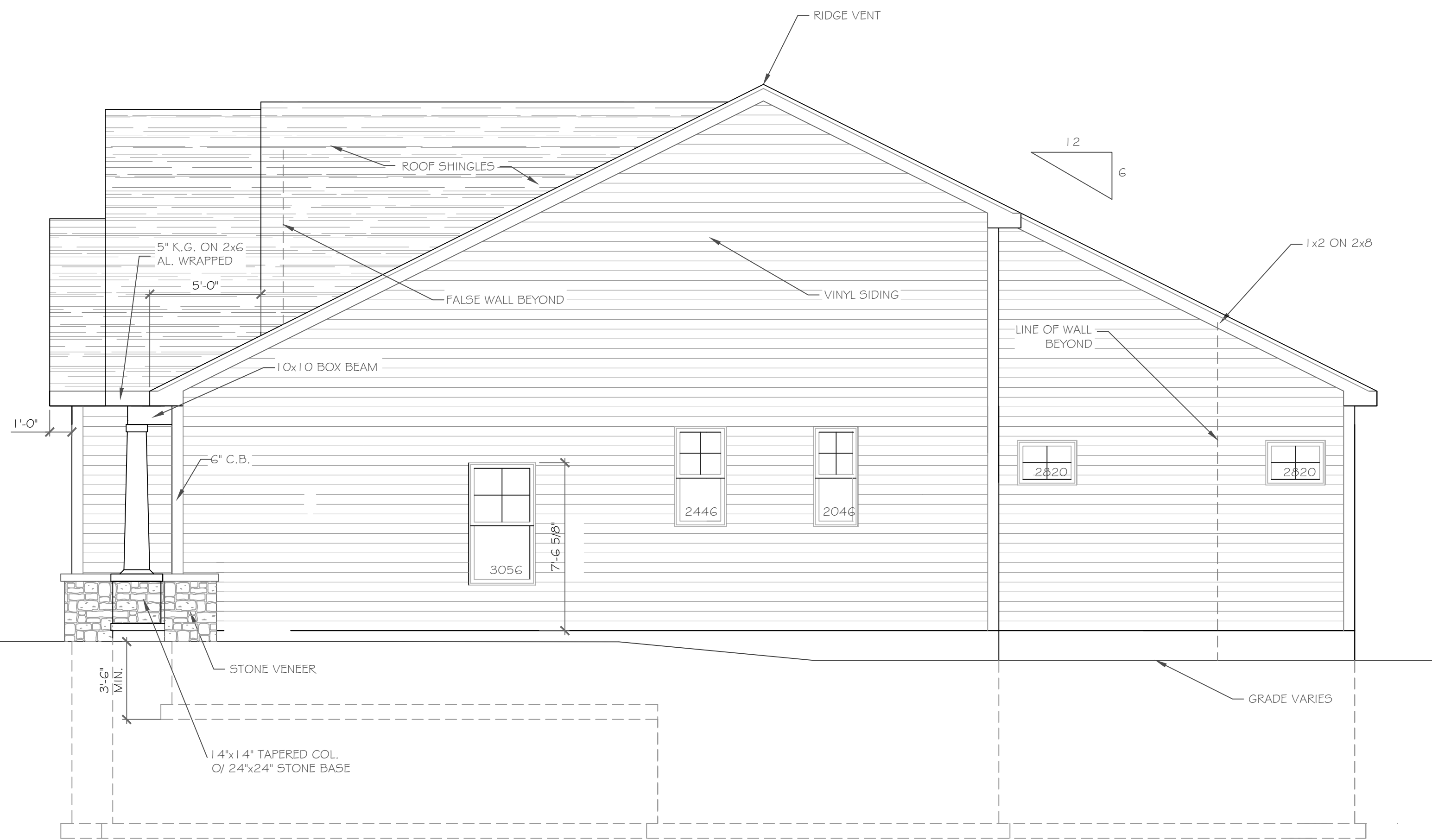
1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 1796 S.F.

1/4" = 1'-0"

- NOTE:
- WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R301.0 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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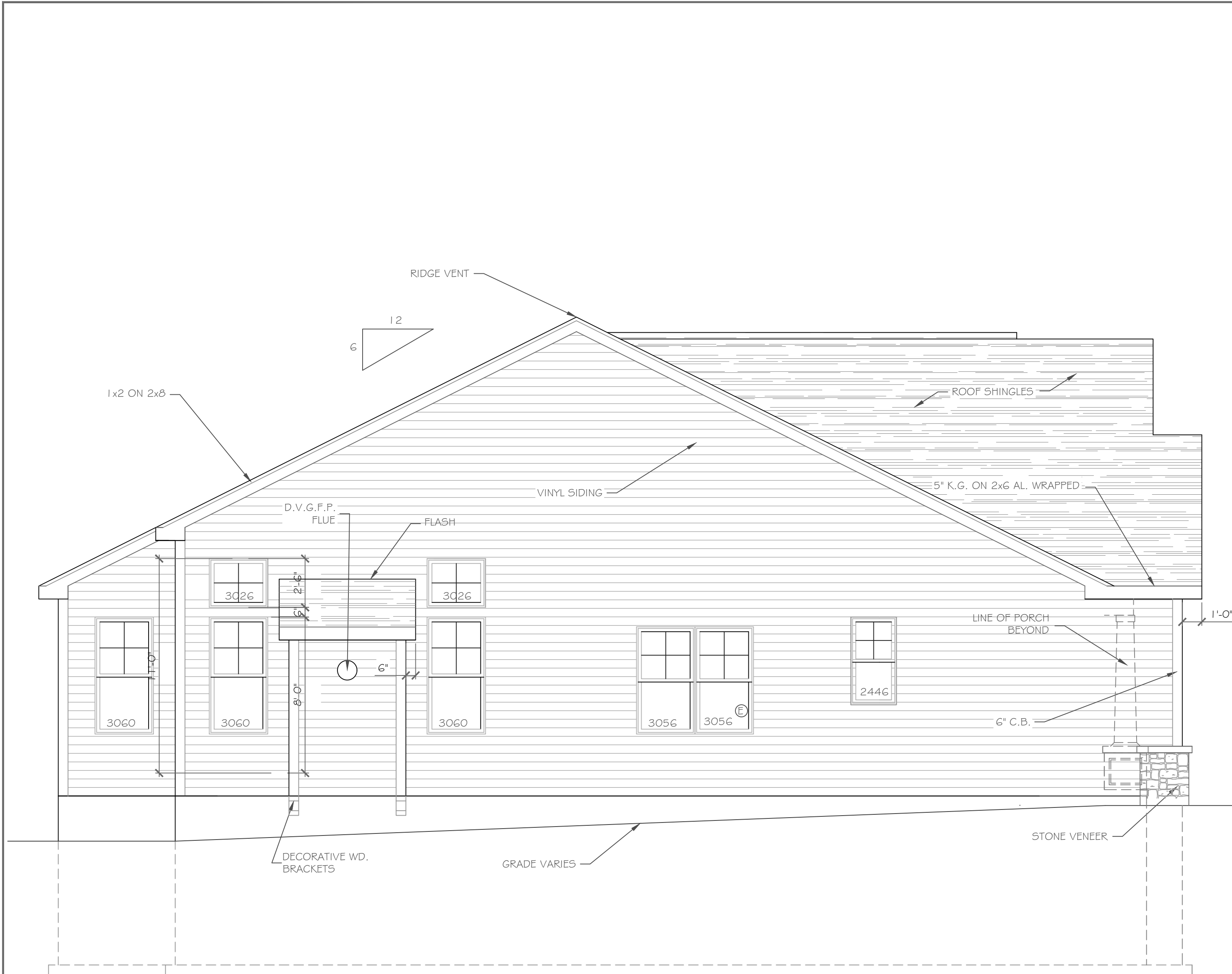
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	Elevations
PROJECT-	Lot 7C, Wishure Hill Pittsford, N.Y.
CLIENT-	Pride Mark Homes, Inc.
JOB NO.-	A23-039
DATE-	August 4, 2023
PHASE-	Construction Documents

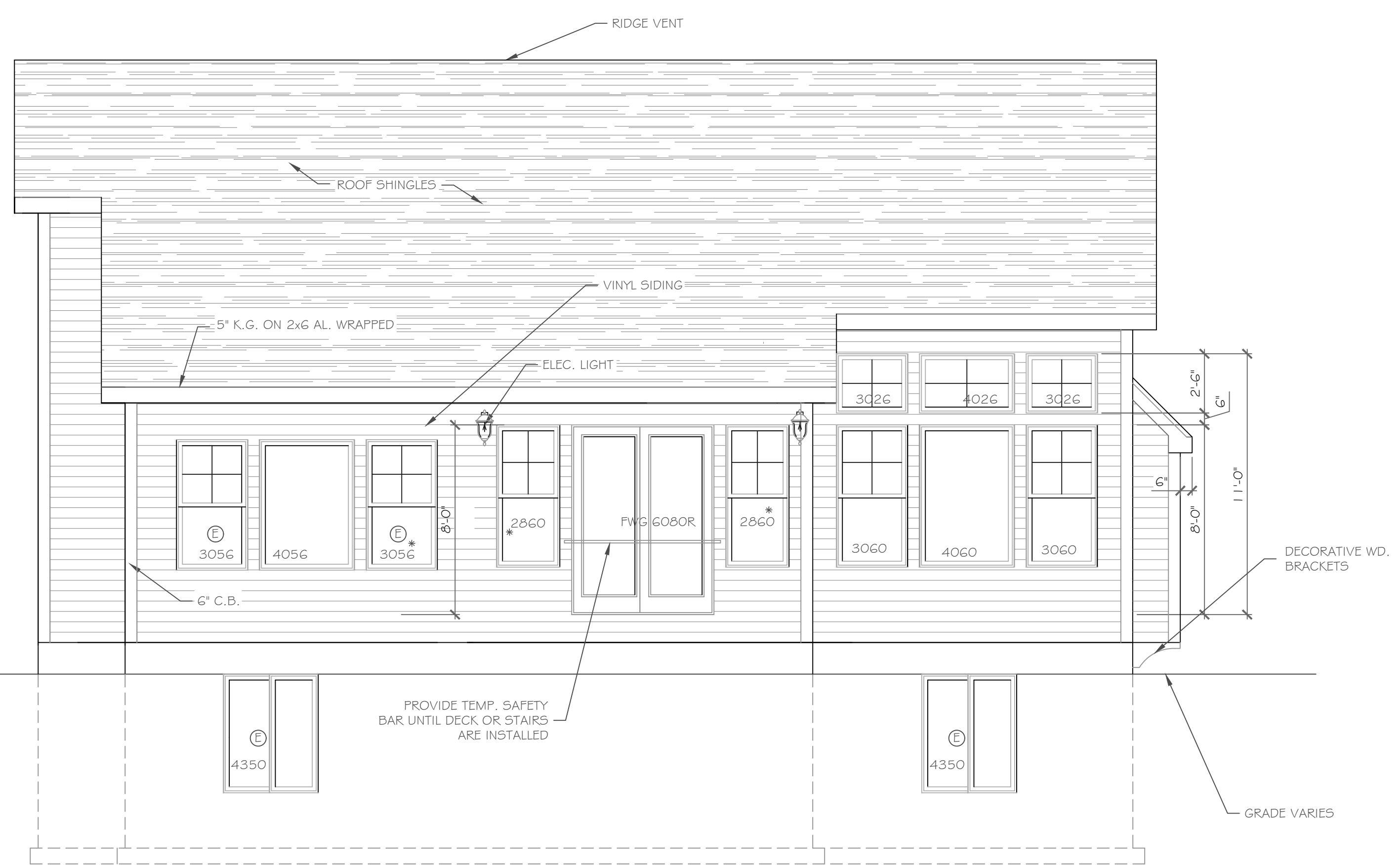
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PHASE-	Construction Documents

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DRAWING NO. -
A-1



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



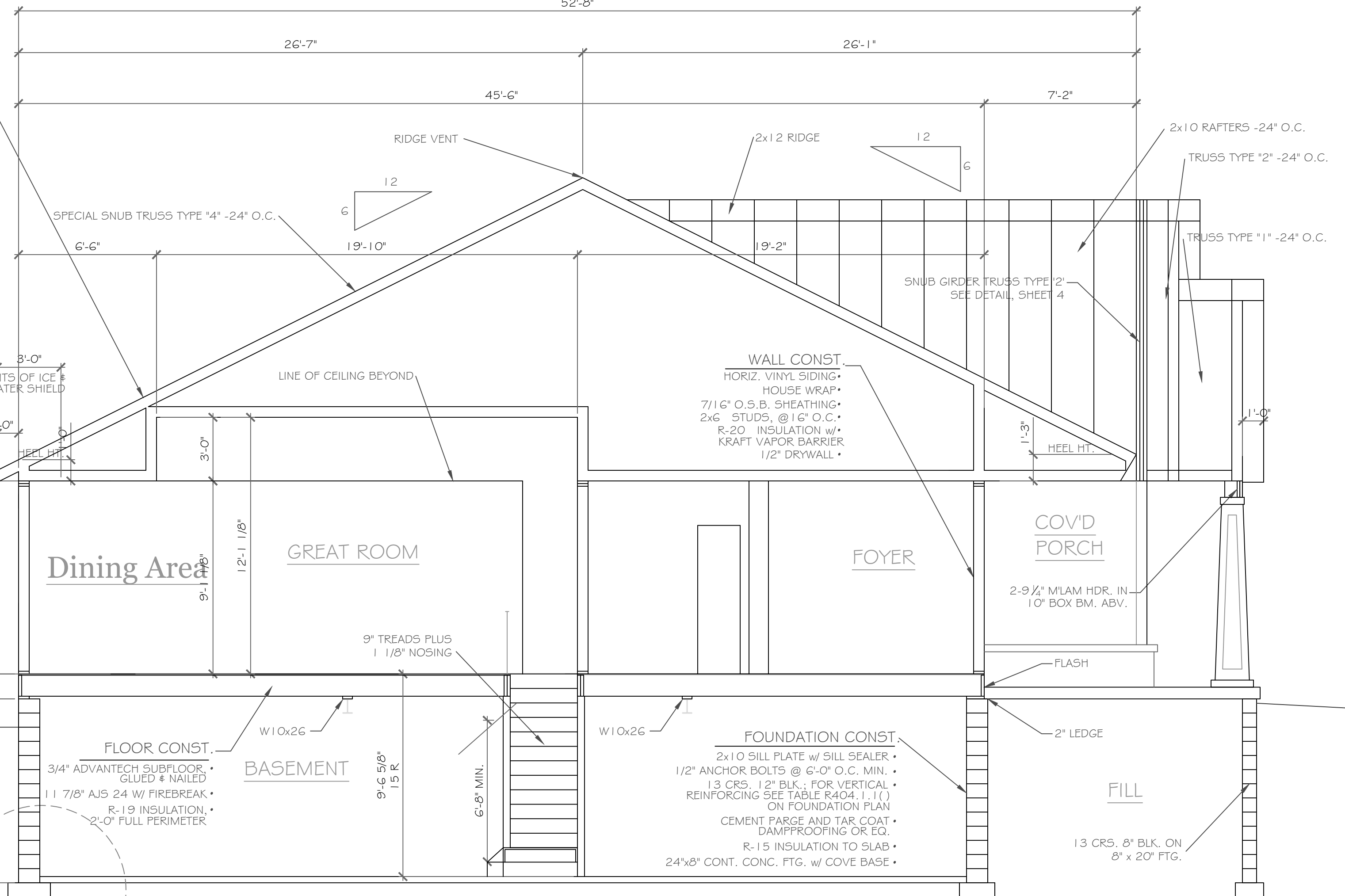
REAR ELEVATION
SCALE: 1/4" = 1'-0"

ROOF CONSTRUCTION
 ROOF SHINGLES w/ ICE BARRIER •
 AT EAVE w/ 1/2" FELT
 7/16" O.S.B. SHEATHING •
 TRUSSES OR RAFTS, PER. PLAN •
 (FINAL DESIGN BY MFR.)
 R-49 INSULATION, ROOF VENTS •
 AND INSULATION BAFFLES AS
 REQD. TO MAINTAIN 1" AIRSPACE
 1/2" DRYWALL CEILING •

EAVE CONST.
 5" K.G. ON 1x8 ON 2x6 •
 MTL. DRIP EDGE •
 SOFFIT w/ VENTS •

LIMITS OF ICE & WATER SHIELD
 3'-0" •
 1'-0" •
 1'-0" •

WALL CONST.
 HORIZ. VINYL SIDING •
 HOUSE WRAP •
 7/16" O.S.B. SHEATHING •
 2x6 STUDS @ 16" O.C. •
 R-20 INSULATION w/ •
 KRAFT VAPOR BARRIER •
 1/2" DRYWALL •



SECTION 'A'
1/4" = 1'-0"

FLOOR CONST.
 3/4" ADVANTECH SUBFLOOR •
 GULFED & NAILLED •
 11 7/8" AIS 24 W/ FIREBREAK •
 R-19 INSULATION •
 2" FULL PERIMETER •

FOUNDATION CONST.
 2x10 SILL PLATE w/ SILL SEALER •
 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN. •
 13 CRS. 12" BLK. FOR VERTICAL •
 REINFORCING SEE TABLE RA04.1.17.1 •
 ON FOUNDATION PLAN •
 CEMENT FARGE AND TAR COAT •
 DAMPPROOFING OR EQ. •
 R-15 INSULATION TO SLAB •
 24"x8" CONT. CONC. FTG. w/ COVE BASE •

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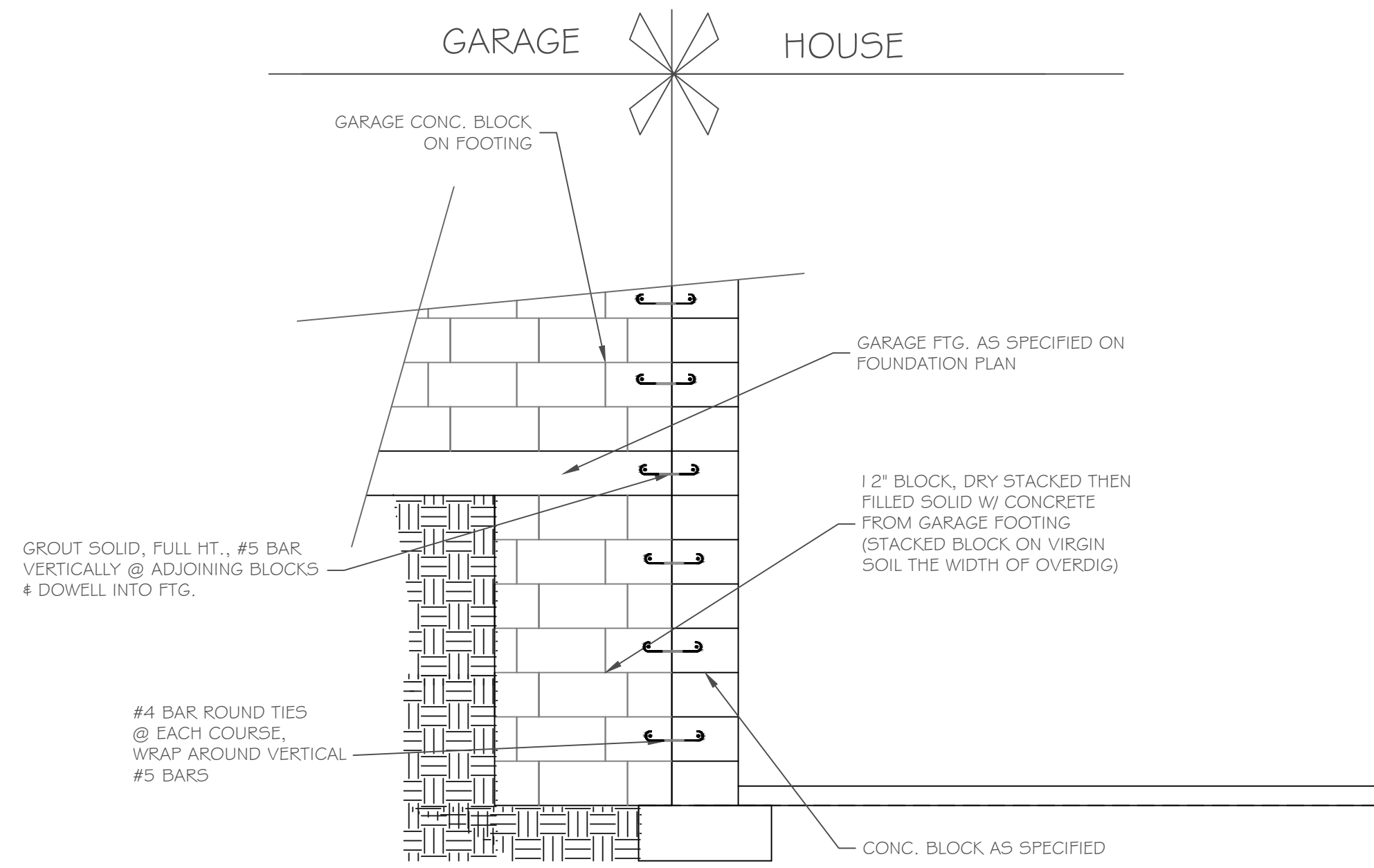
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	Elevations
PROJECT-	Lot 7C, Wishure Hill Pittsford, N.Y.
CLIENT-	Pride Mark Homes, Inc.
JOB NO. -	A23-039
DATE-	August 4, 2023
PHASE-	Construction Documents

PROJECT-	Lot 7C, Wishure Hill Pittsford, N.Y.
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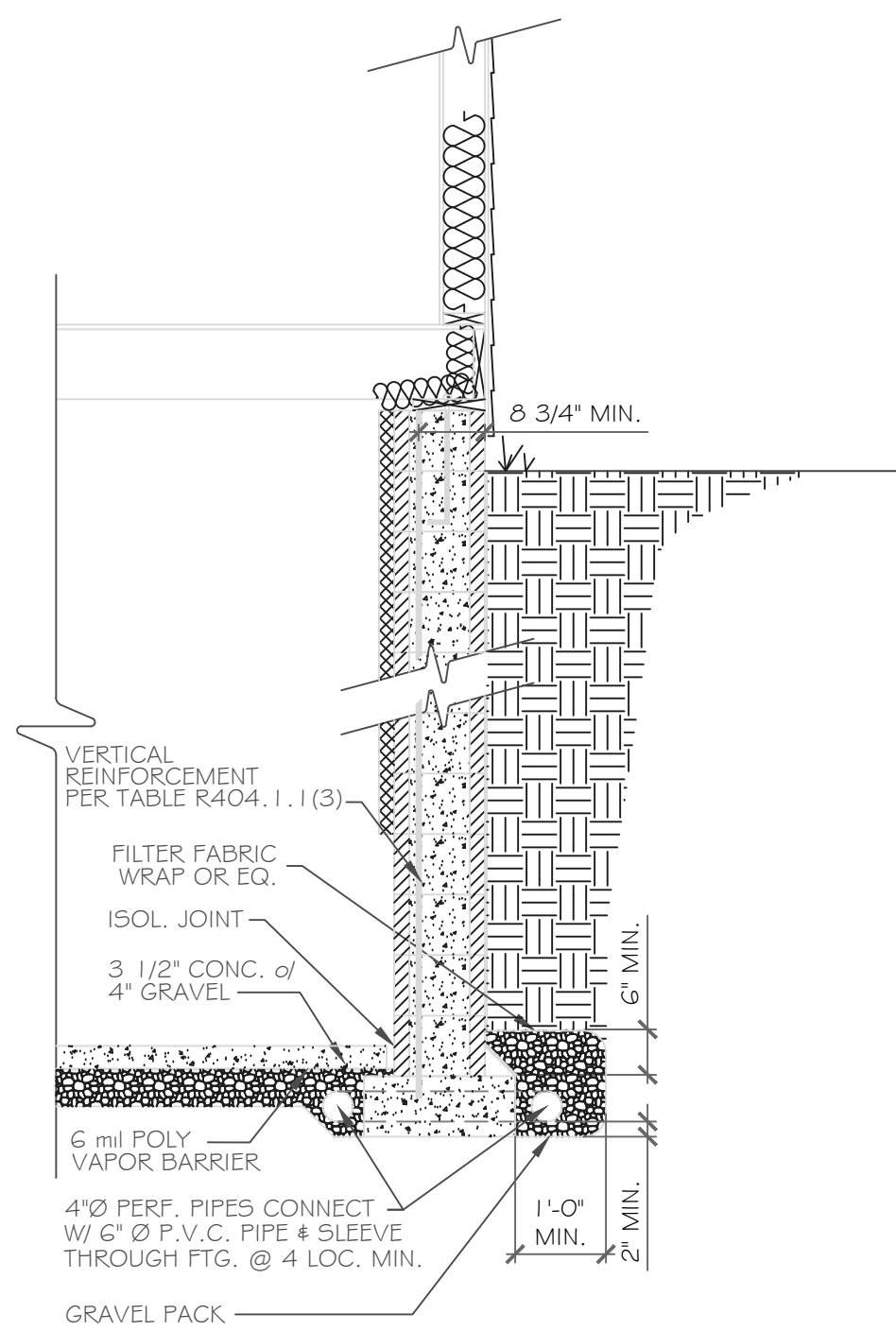
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DRAWING NO. -
A-5



BASEMENT/GARAGE CONNECTION DETAIL

SCALE: 1/2" = 1'-0"



FOUNDATION WALL DETAIL

SCALE: 1/2" = 1'-0"

RCMY
NOTE:
EXTERIOR DRAIN TILE IS OPTIONAL
IF THE FOUNDATION SOILS ARE WELL
DRAINED ACCORDING TO THE UNIFIED
SOIL CLASSIFICATION SYSTEM, GROUP I
SOILS PER TABLE R405.1

PARTIAL TABLE R404.1.1(3)
REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	Soil classes(d)			
		GM, GP, SW and SP soils	GM, GC, SM, SM-SC and ML, SC, MH, ML-CL and inorganic CL soils	#4 at 72" o.c.	#4 at 72" o.c.
9	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.
	6	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 64" o.c.	#5 at 64" o.c.
	7	#4 at 56" o.c.	#4 at 40" o.c.	#6 at 64" o.c.	#6 at 64" o.c.
	8	#5 at 64" o.c.	#6 at 64" o.c.	#6 at 48" o.c.	#6 at 48" o.c.
	9	#5 at 56" o.c.	#7 at 72" o.c.	#6 at 40" o.c.	#6 at 40" o.c.

a. Mortar shall be Type M or S and masonry shall be laid in running bond.
b. Alternative reinforcing bar sizes and spacings having an equivalent cross-sectional area of reinforcement per linear foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches.
c. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 8.75 inches.
d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.
e. Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

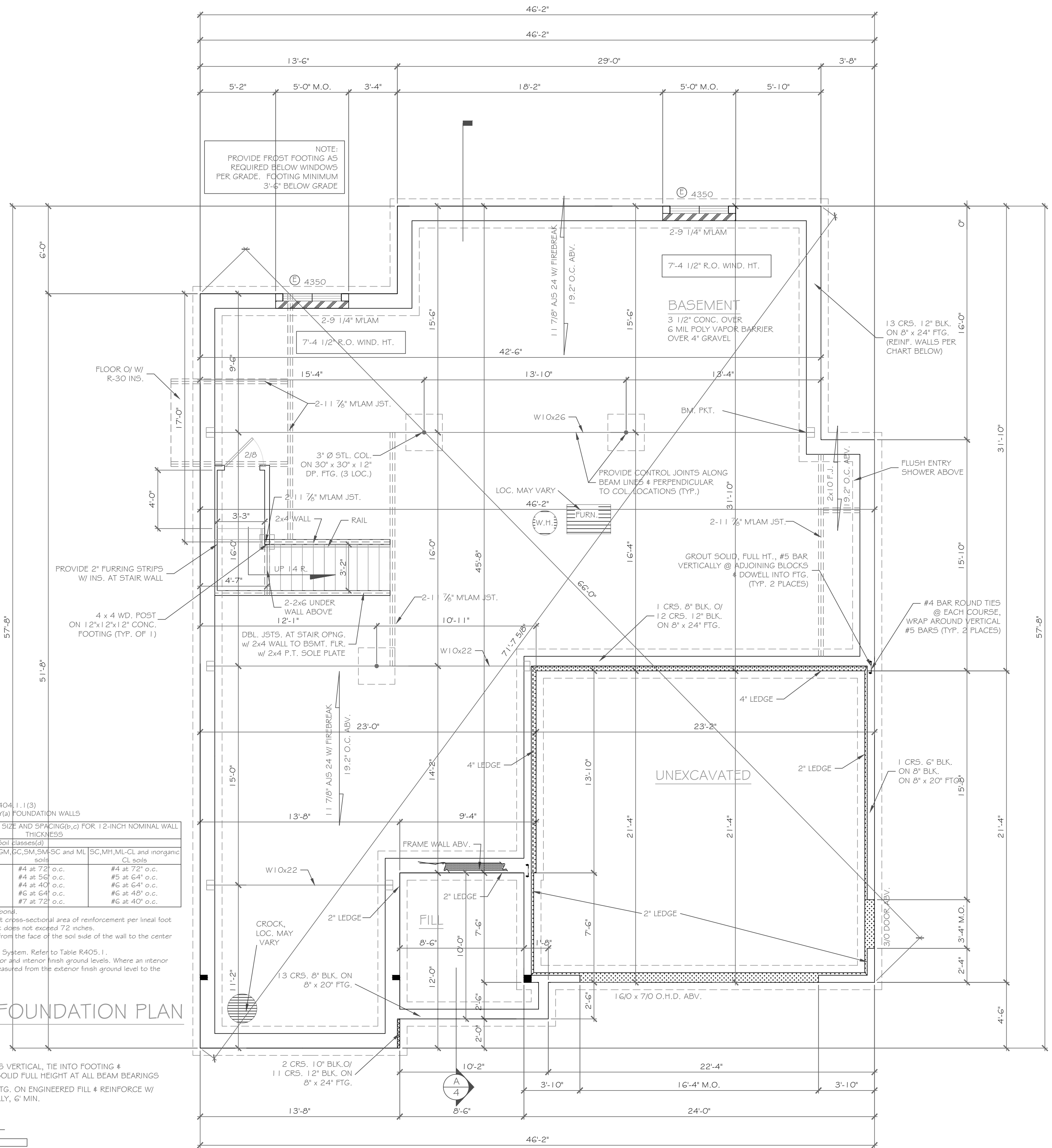
BASEMENT & FOUNDATION PLAN

1/4" = 1'-0"

NOTE: - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING & GROUT BLOCK CORES SOLID FULL HEIGHT AT ALL BEAM BEARINGS
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

ELEV. = 0' : [Pattern] -1 CRS.
ELEV. = 0 - 8' : [Pattern] -2 CRS.
ELEV. = (-) 1'-4' : [Pattern] -11 CRS.
ELEV. = (-) 7'-4' : [Pattern] -11 CRS.



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REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan

PROJECT:
Lot 7C, Wishure Hill
Pittsford, N.Y.

CLIENT:
Pride Mark Homes, Inc.

PHASE:
Construction Documents

DATE:
August 4, 2023

JOB NO. -
A23-039

PHONE: (585) 249-1334
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e-mail: CKHennessey@frontnet.net

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DRAWING NO. -
A-2

FIRST FLOOR PLAN 1796 s.f.

1/4" = 1'-0"

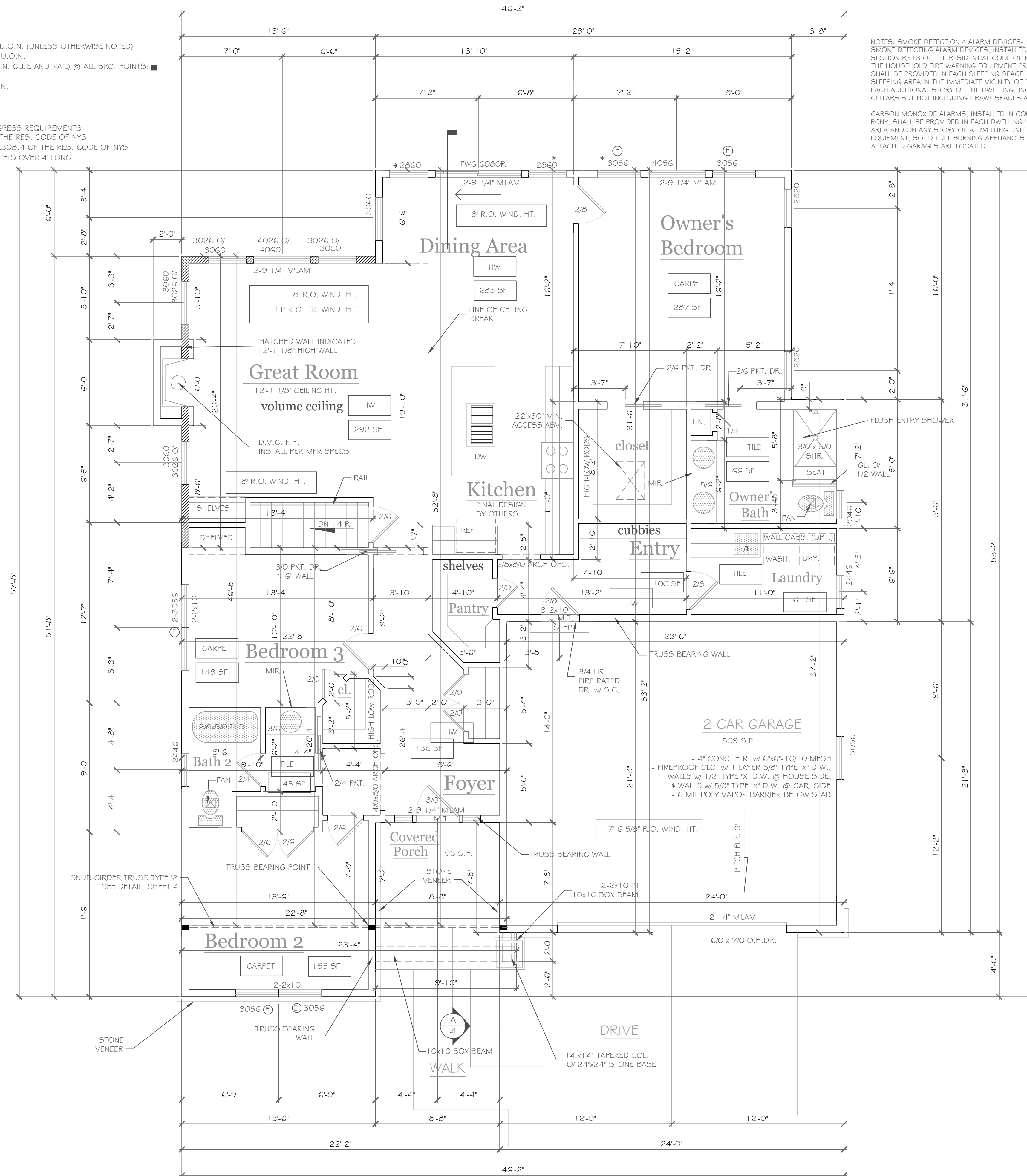
NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS: ■
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1 1/8" U.O.N.
- ANGLES TO BE 1/2" U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
- Ⓢ: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES:

SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



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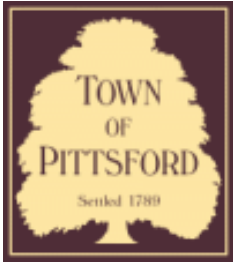
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	First Floor Plan
	PHASE- Construction Documents

PROJECT-	Lot 7C, Wishure Hill Pittsford, N.Y.
CLIENT-	Pride Mark Homes, Inc.
JOB NO. -	A23-039
DATE-	August 4, 2023

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e-mail: CKHennessey@frontiernet.net

DRAWING NO. -
A-3



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000106 & B23-000107

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 62 & 64 Skylight Trail ,

Tax ID Number: 192.06-2-7 & 192.06-2-8

Zoning District:

Owner:

Applicant: S & J Morrell

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

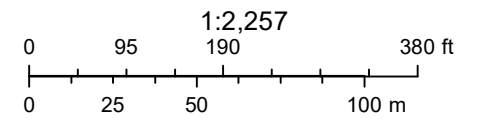
Project Description: Applicant is requesting design review for two new attached single-family townhomes in the Alpine Ridge Subdivision. 62 Skylight Trail is approximately 2700 SF and 64 Skylight Trail is approximately 1529 SF.

Meeting Date: August 24, 2023

RN Residential Neighborhood Zoning

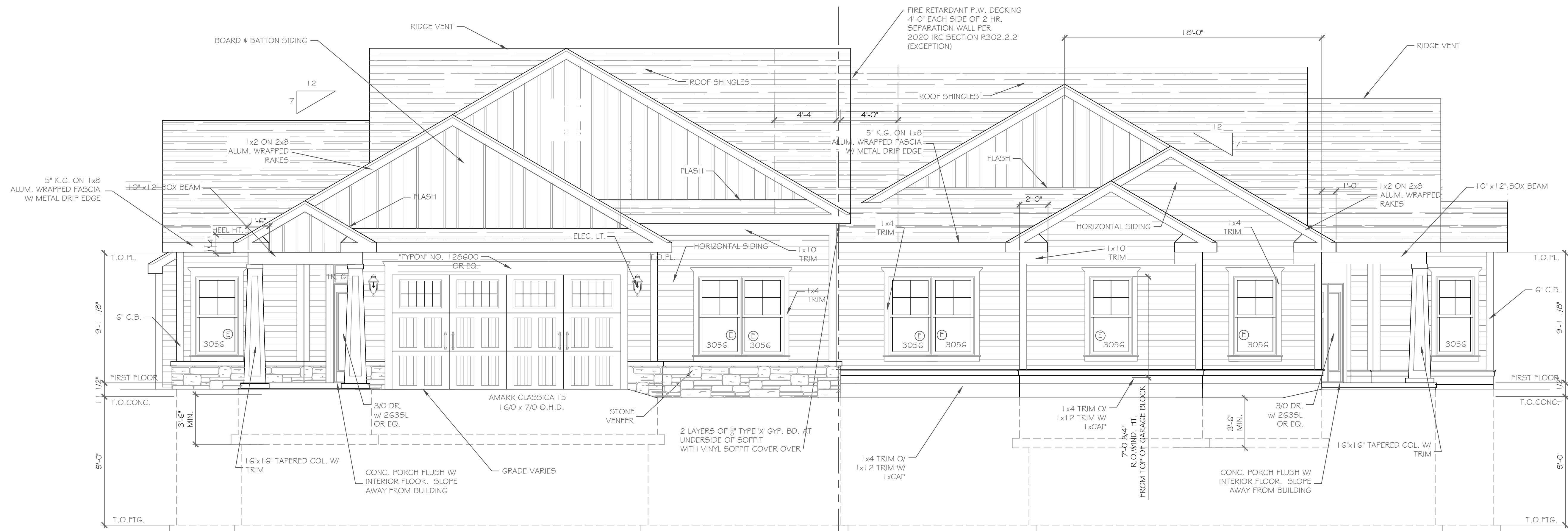


Printed August 17, 2023



Town of Pittsford GIS

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FRONT ELEVATION - LOT 17

2024 S.F.

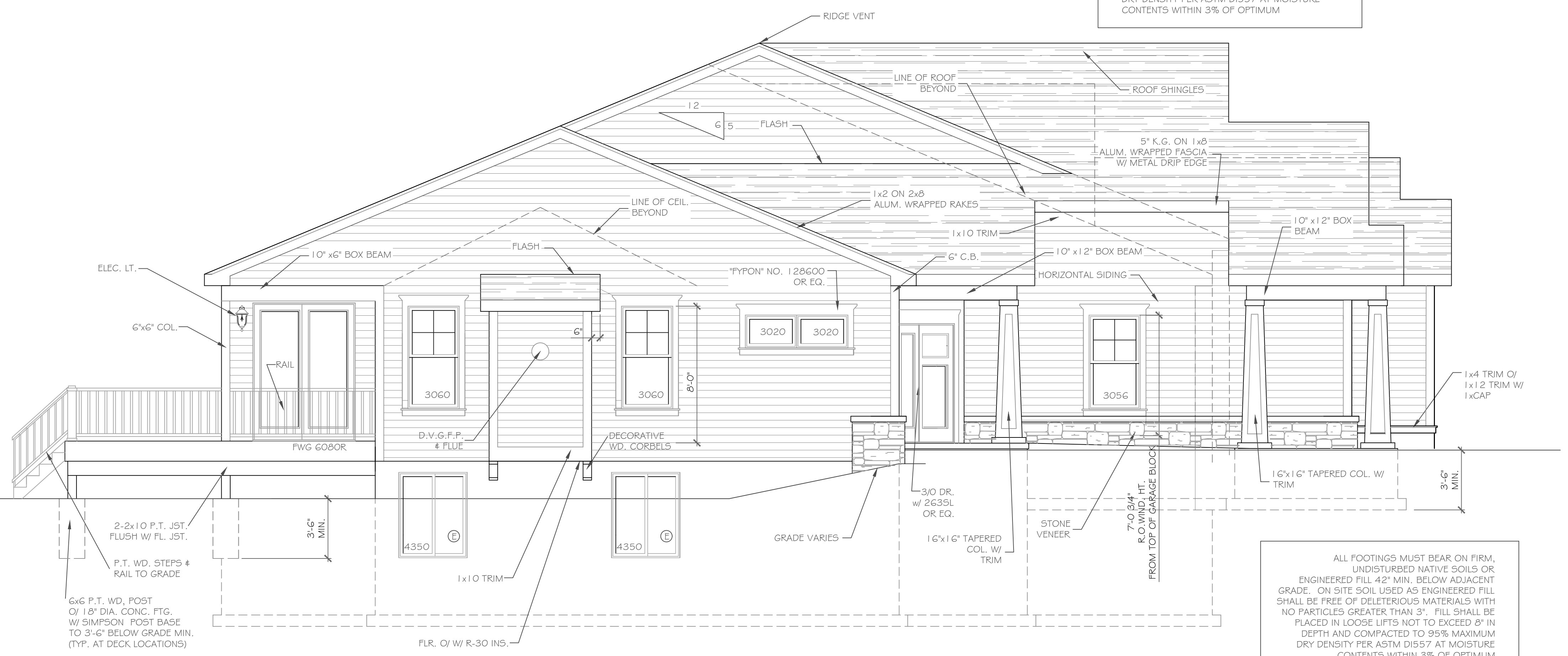
FRONT ELEVATION - LOT 18

1884 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 6" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION - LOT 17

1/4" = 1'-0"

HANDRAIL NOTES:
 - HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR
 - HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 6" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Elevations
Units 17 & 18

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 17 & 18

CLIENT:
 xxx Skylight Tr. Pittsford, N.Y.

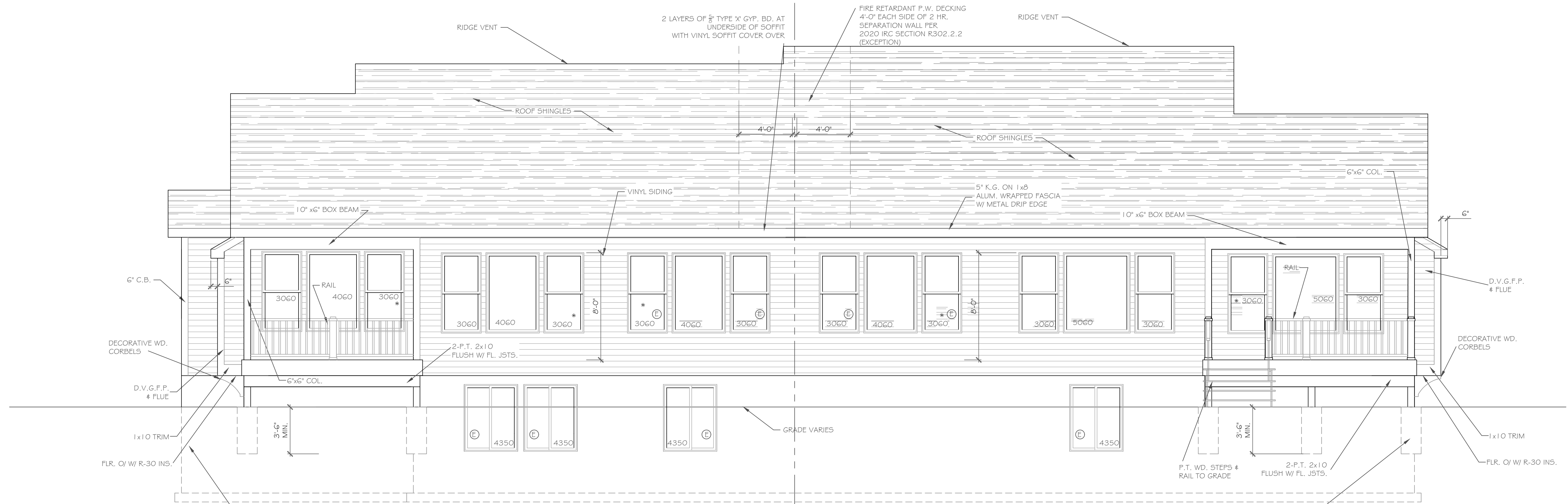
CLIENT:
 Morrell Builders

JOB NO. -
 A23-044

DATE:
 August 2023

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontnet.net

DRAWING NO. -
A-1



REAR ELEVATION - LOT 18

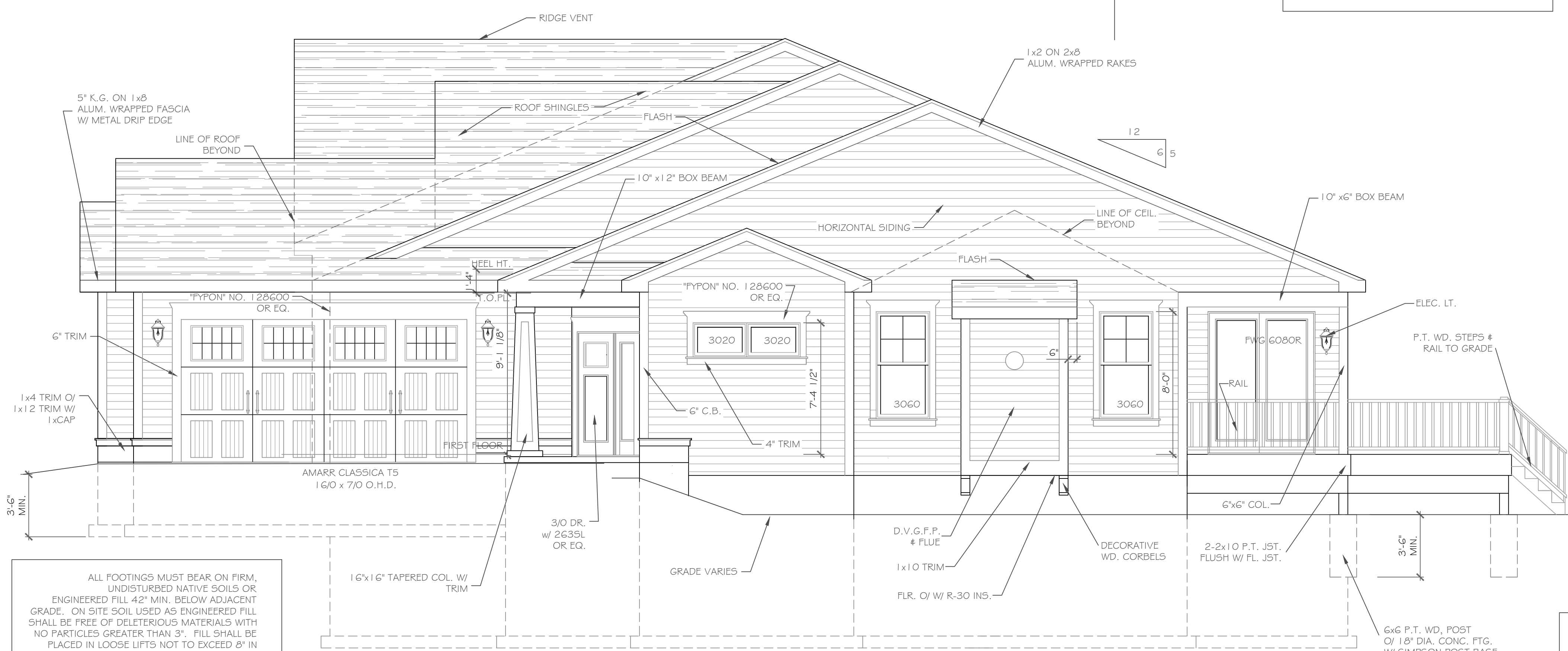
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

REAR ELEVATION - LOT 17

1/4" = 1'-0"

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1



RIGHT SIDE ELEVATION - LOT 18

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
**Elevations
Units 17 & 18**

PHASE:
Construction Documents

PROJECT:
**Alpine Ridge - Units 17 & 18
Pittsford, N.Y.**

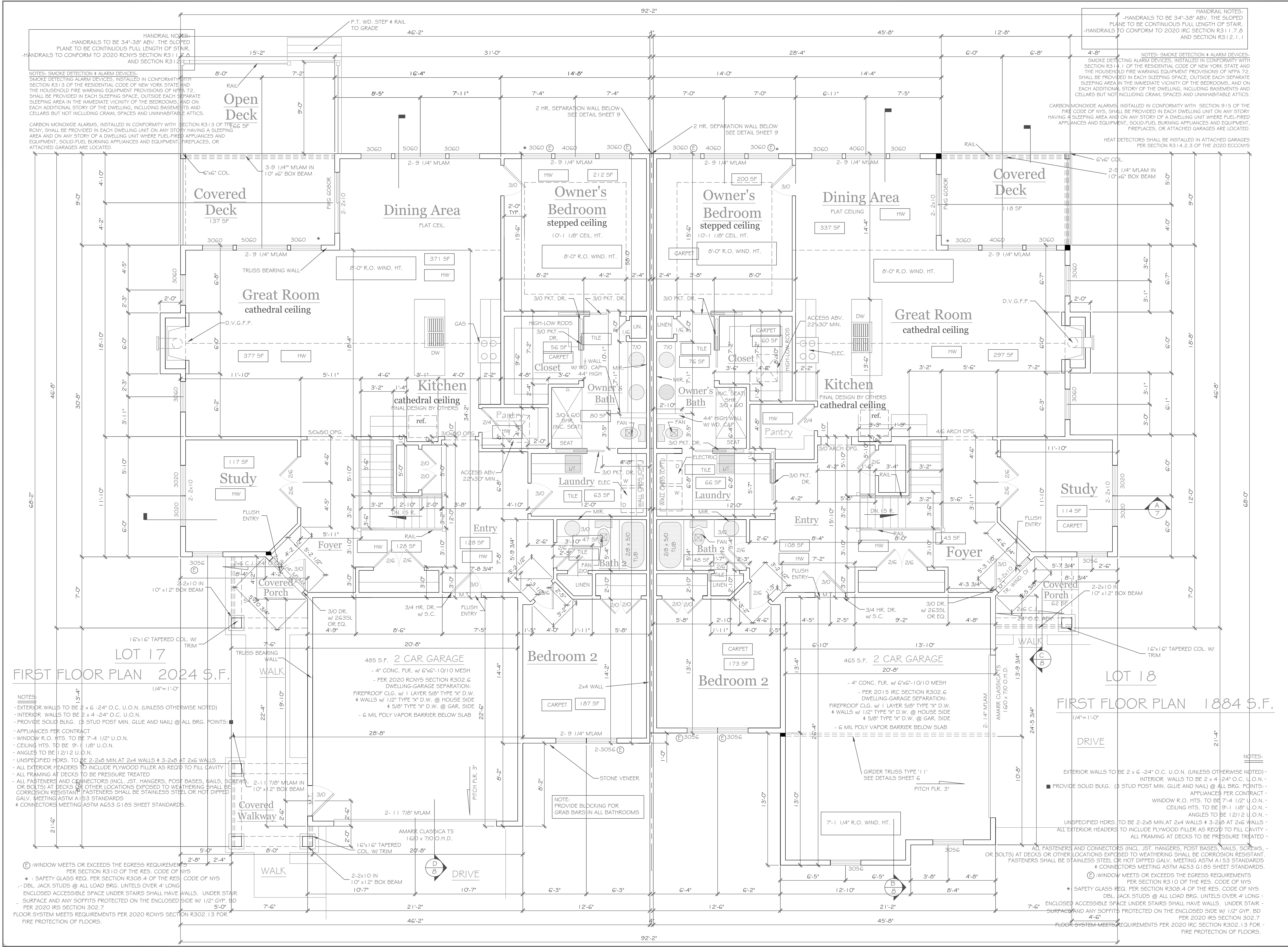
CLIENT:
Morrell Builders

JOB NO. -
A23-044

DATE:
August 2023

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone-(585)249-1334
e-mail-CKHennessey@frontier.net

DRAWING NO. -
A-2



LOT 17
FIRST FLOOR PLAN 2024 S.F.

LOT 18
FIRST FLOOR PLAN 1884 S.F.

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
- PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS:
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
- ANGLES TO BE 12/12 U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS # 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCL. JST, HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
- * CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

- * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 RCNYS SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

NOTES:

- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
- PROVIDE SOLID BULK. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS:
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
- ANGLES TO BE 12/12 U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS # 3-2x8 AT 2x6 WALLS
- ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
- ALL FRAMING AT DECKS TO BE PRESSURE TREATED
- ALL FASTENERS AND CONNECTORS (INCL. JST, HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS
- * CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

- * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
- FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.

HANDRAIL NOTES:

- HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
- HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION # ALARM DEVICES - SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R314.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION 915 OF THE FIRE CODE OF NYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HEAT DETECTORS: SHALL BE INSTALLED IN ATTACHED GARAGES PER SECTION R314.2.3 OF THE 2020 EBCOYS

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor Plans
Units 17 & 18

PHASE:
Construction Documents

PROJECT:
Alpine Ridge - Units 17 & 18
Pittsford, N.Y.

CLIENT:
Morrell Builders

DATE:
August 2023

JOB NO.:
A23-044

CKH architecture

1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
A-4

ALPINE RIDGE
A MORRELL COMMUNITY

No development agricultural zone



Across from SUBJECT
Lot 19-67 Skylight Trail
Lot 20- 65 Skylight Trail

Left of SUBJECT
Lot 15-56 Skylight Trail
Lot 16- 58 Skylight Trail

SUBJECT
Lot 17-62 Skylight Trail
Lot 18-64 Skylight Trail

● = Side Load Garage

X = Stone Siding

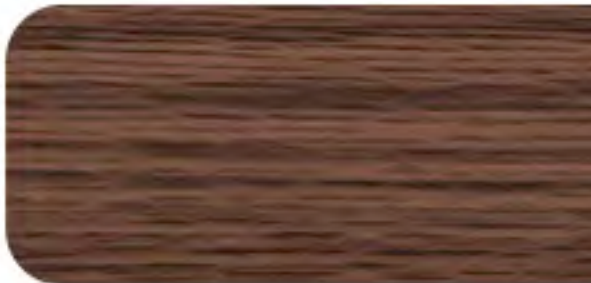
	Monterey Sand	Cape Cod Gray	Almond	Pebble	Harbor Blue
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)

SUBJECT Lot 17- 62 Skylight Trail and Lot 18- 64 Skylight Trail

Siding: Pebble

Front Door: Driftwood

Garage Door: Dark Oak



Dark Oak

Left of SUBJECT Lot 15- 56 Skylight Trail and Lot 16- 58 Skylight Trail

Siding: Almond

Front Door: New Earth

Garage Door: Mahogany



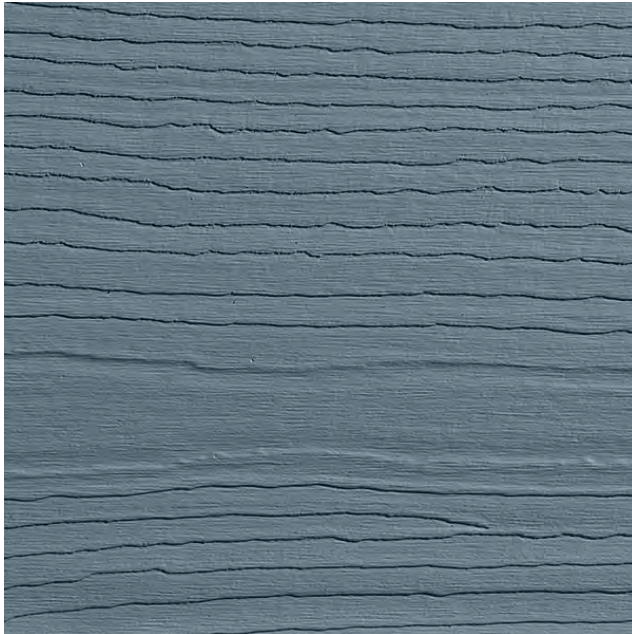
Mahogany

Across from SUBJECT Lot 19-67 Skylight Trail and Lot 20- 65 Skylight Trail

Siding: Harbor Blue

Front Door: New Earth

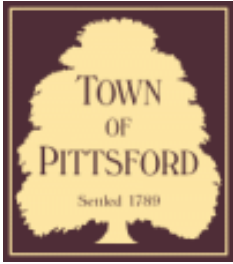
Garage Door: Mahogany



New Earth



Mahogany



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000097

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 6 Rosewood Drive PITTSFORD, NY 14534

Tax ID Number: 178.16-2-61

Zoning District: RN Residential Neighborhood

Owner: Crain, William C

Applicant: Crain, William C

Application Type:

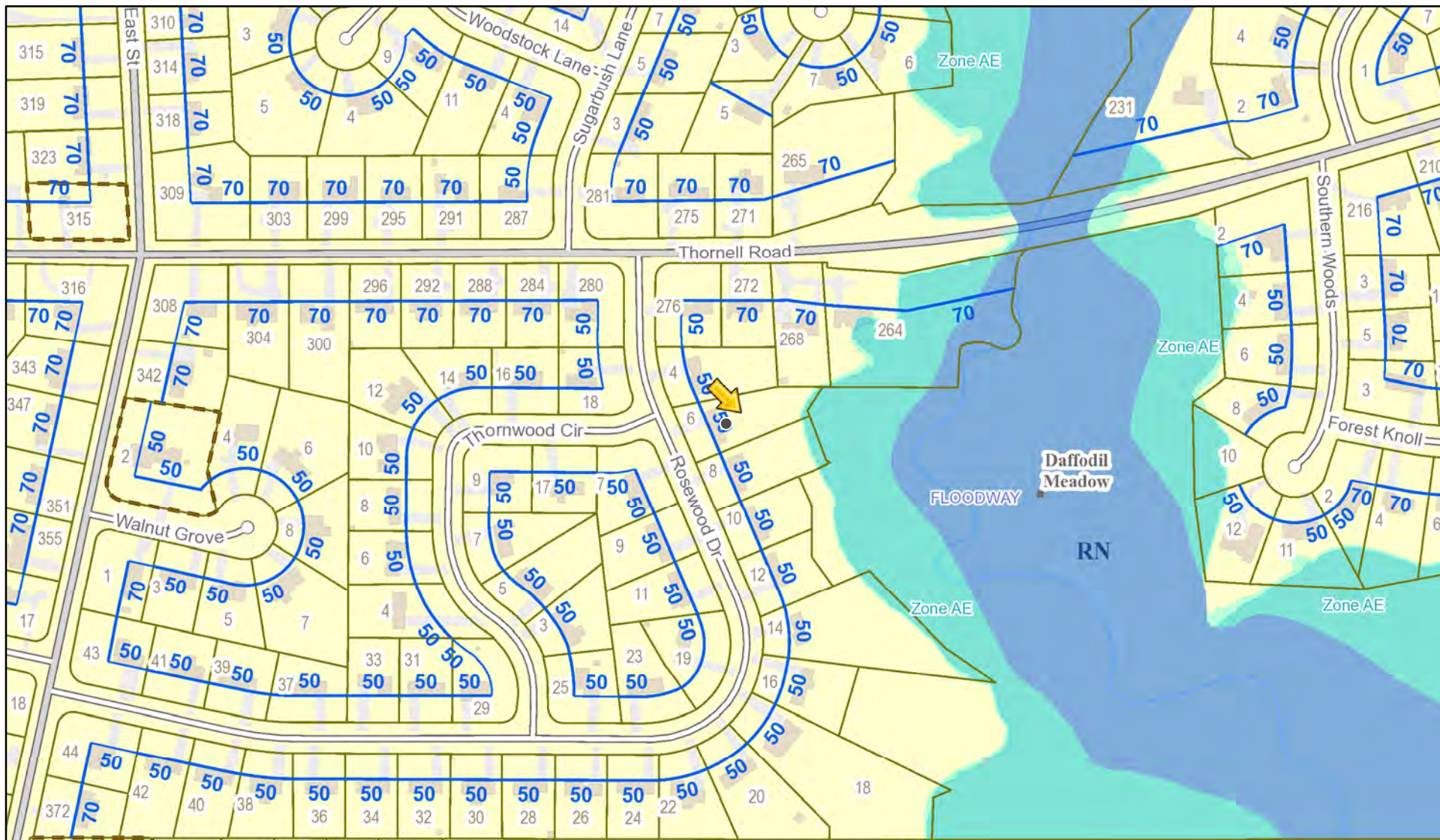
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for a front addition to include a porch, foyer and second floor living space.

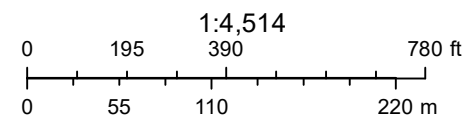
Meeting Date: August 24, 2023



RN Residential Neighborhood Zoning



Printed June 23, 2023



Town of Pittsford GIS

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264

268

272

276

280

281

4

6

7

8

9

10

12

11

14

18

AE

6'14" W

450 ft

04/03/2021

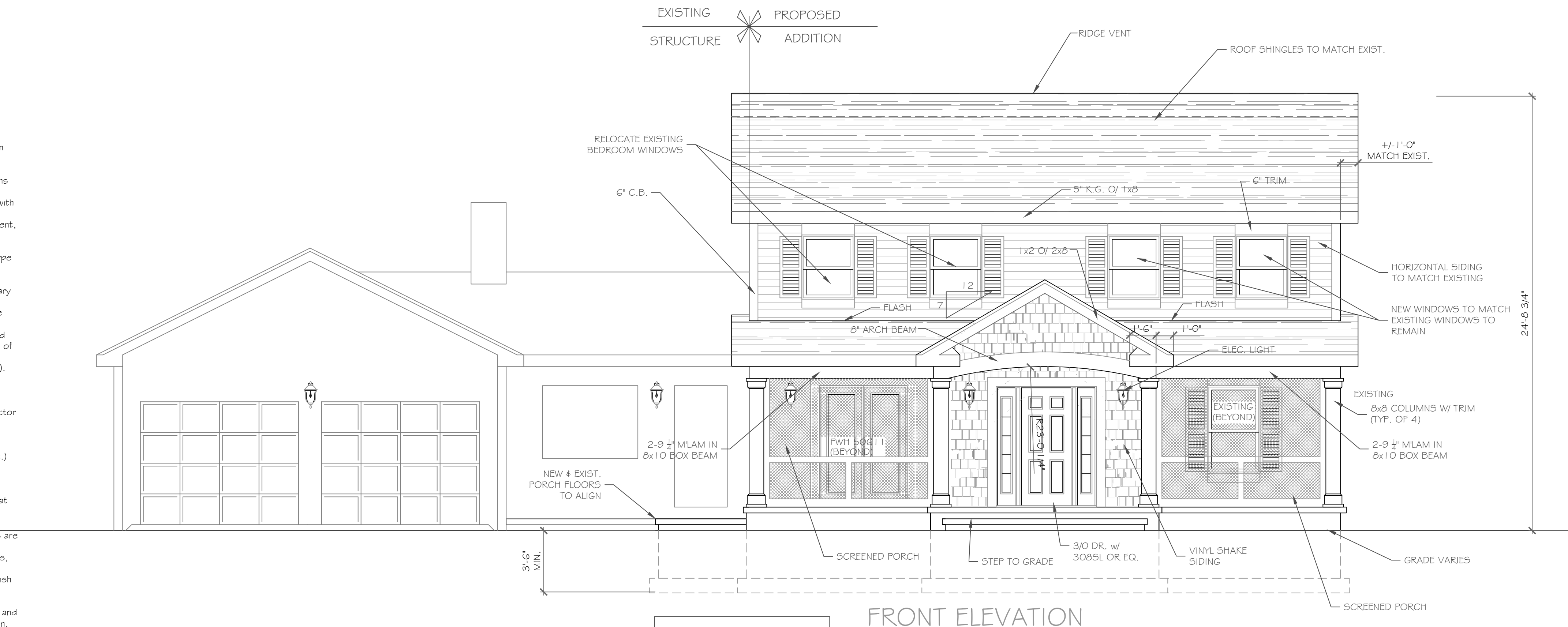
© All EagleView Technology Corporation

DEMOLITION NOTES:

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping. cap at nearest active main or riser.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- H. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- I. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- J. The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- K. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- L. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- M. Storage for contractor's equipment and debris must be kept inside the contract area.
- N. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- O. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

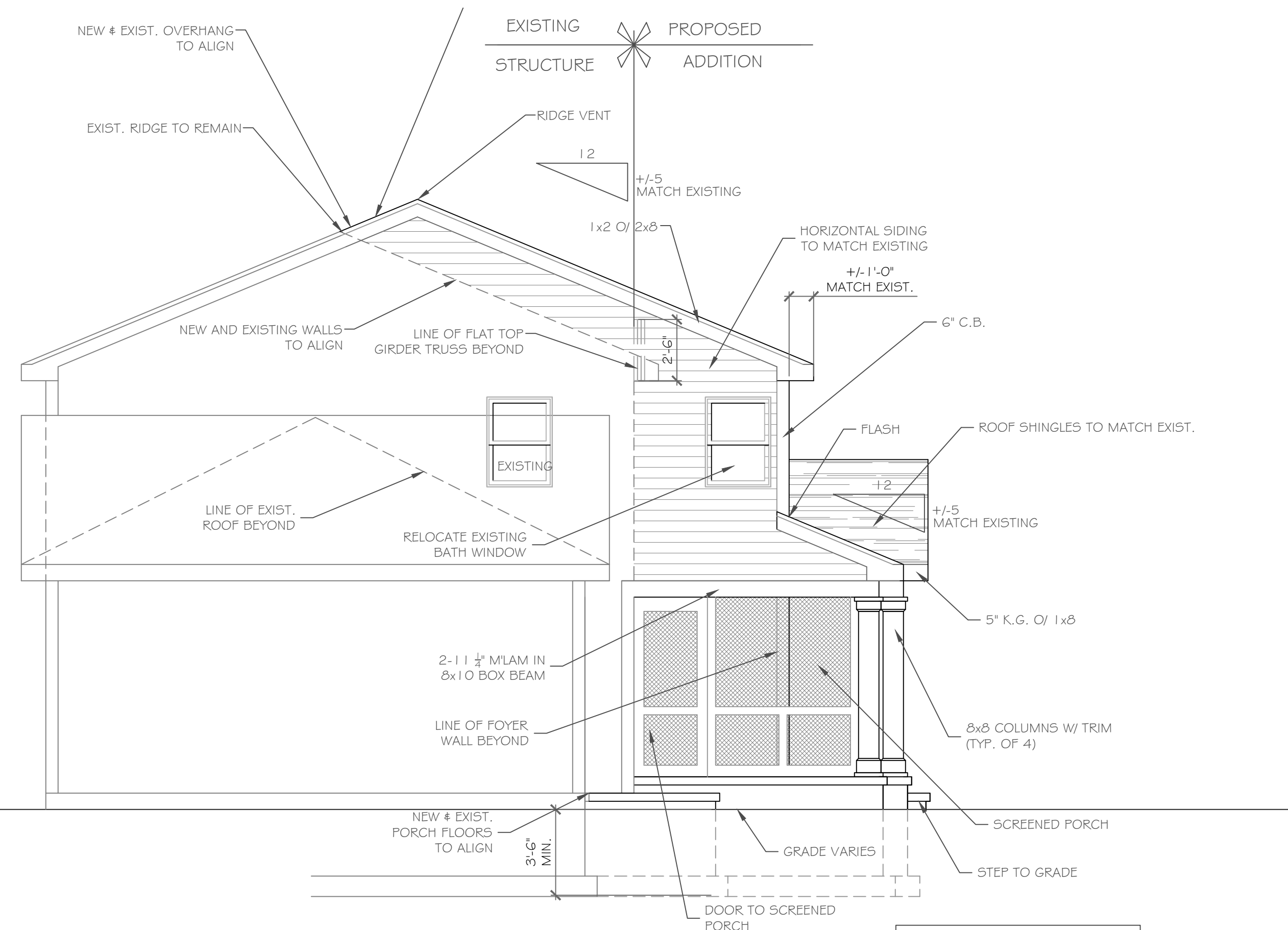
CONSTRUCTION NOTES:

1. Construction shall conform to the residential code of New York State.
2. Comply with all local, state and federal codes and regulations.
3. General Contractor is responsible for all materials, construction methods and craftsmanship.
4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
11. All dimensions are face of wall to face of wall (rough).
12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
13. No site visits will be made by this Architect, contractor shall assume all responsibility for changes to these drawings.
14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
15. Call UFPO before you dig. 1-800-962-7962
16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



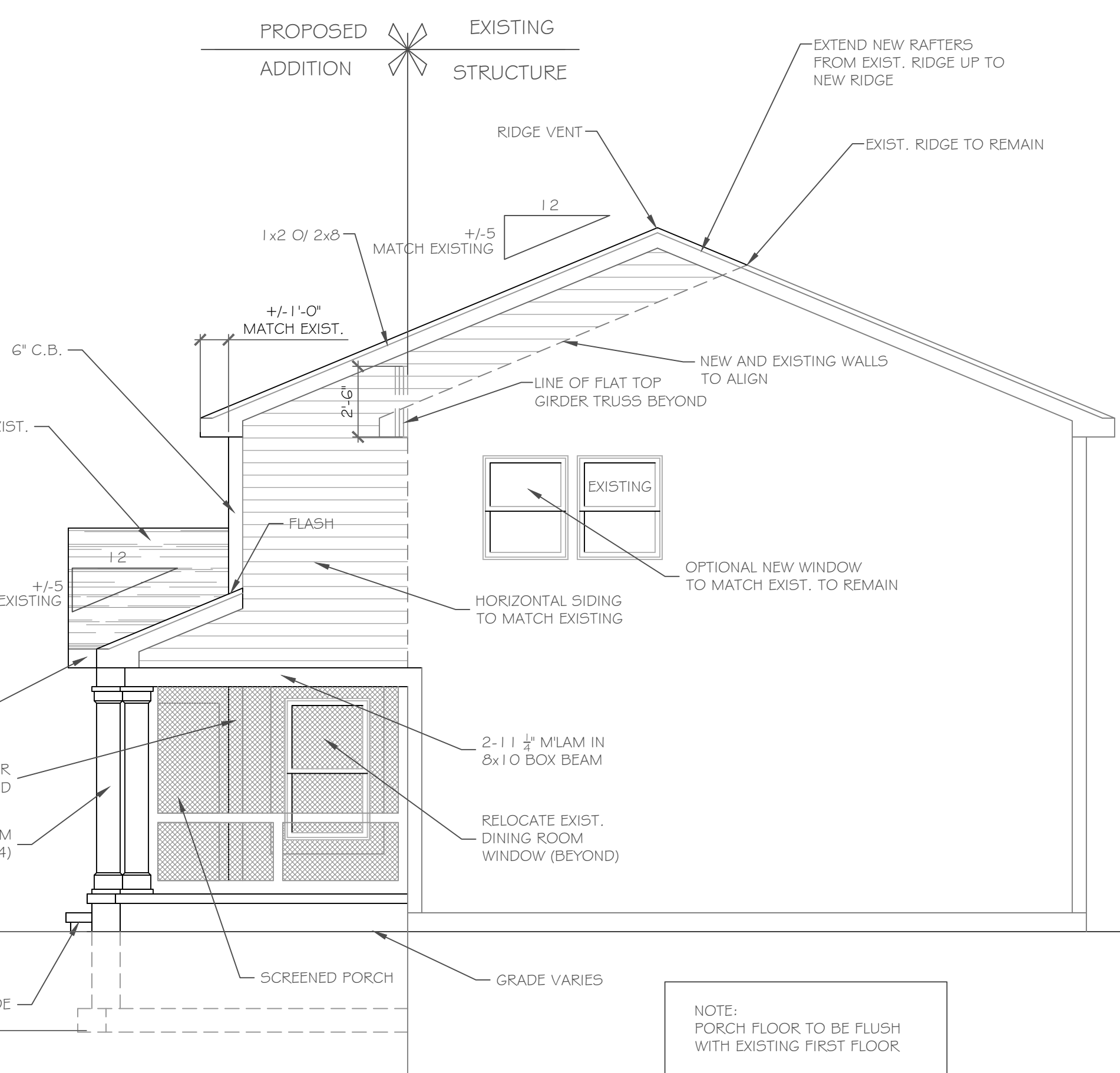
FRONT ELEVATION
1/4" = 1'-0"
293 square feet addition
282 square feet Porch addition

NOTE: - WINDOWS TO BE "ANDERSEN 200 SERIES" (1P LOW-E) DOUBLE-HUNG (OR EQUAL)
- DOORS TO BE "ANDERSEN" (OR EQUAL)
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



Left Side Elevation
1/4" = 1'-0"

NOTE: PORCH FLOOR TO BE FLUSH WITH EXISTING FIRST FLOOR



Right Side Elevation
1/4" = 1'-0"

NOTE: PORCH FLOOR TO BE FLUSH WITH EXISTING FIRST FLOOR

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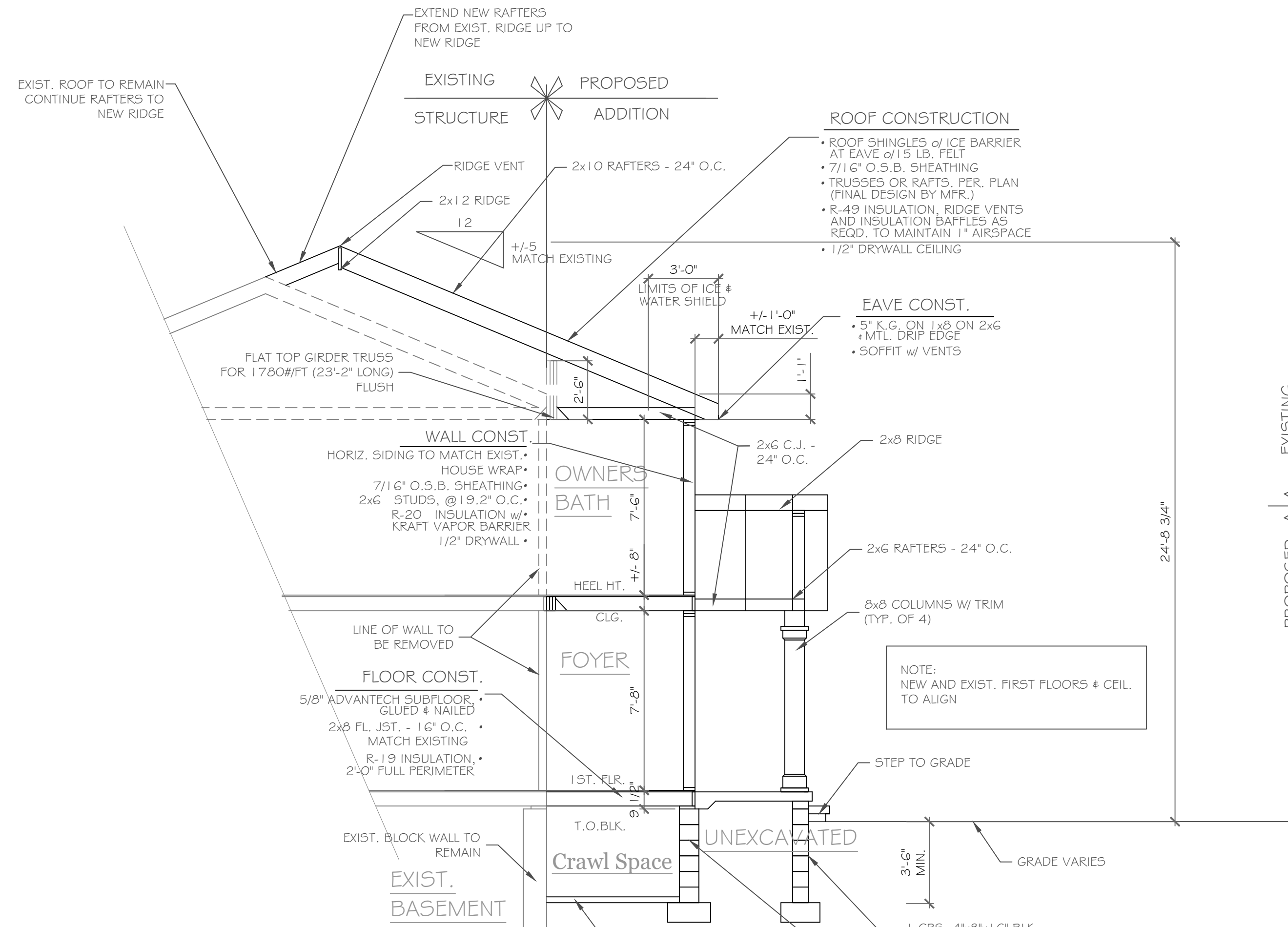
REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT - Additions & Renovations to: 6 Rosewood Drive Pittsford, New York	CLIENT - Will & Michele Crain	DRAWING TITLE - Elevations	PHASE - Construction Documents
		DATE - June 5, 2023	

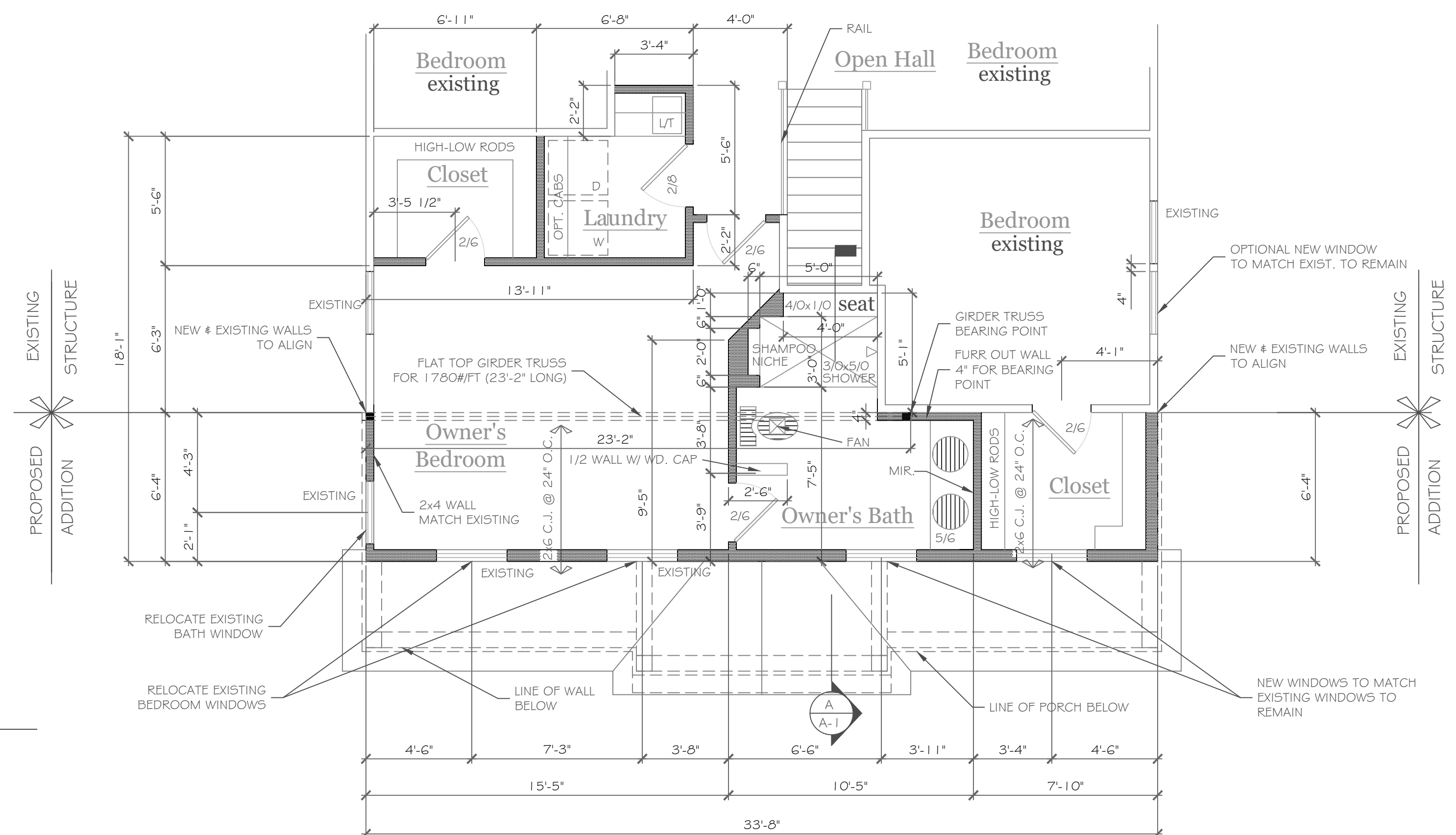
JOB NO. - A23-004	DATE - June 5, 2023

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO. - **A-1**



A CROSS SECTION
1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

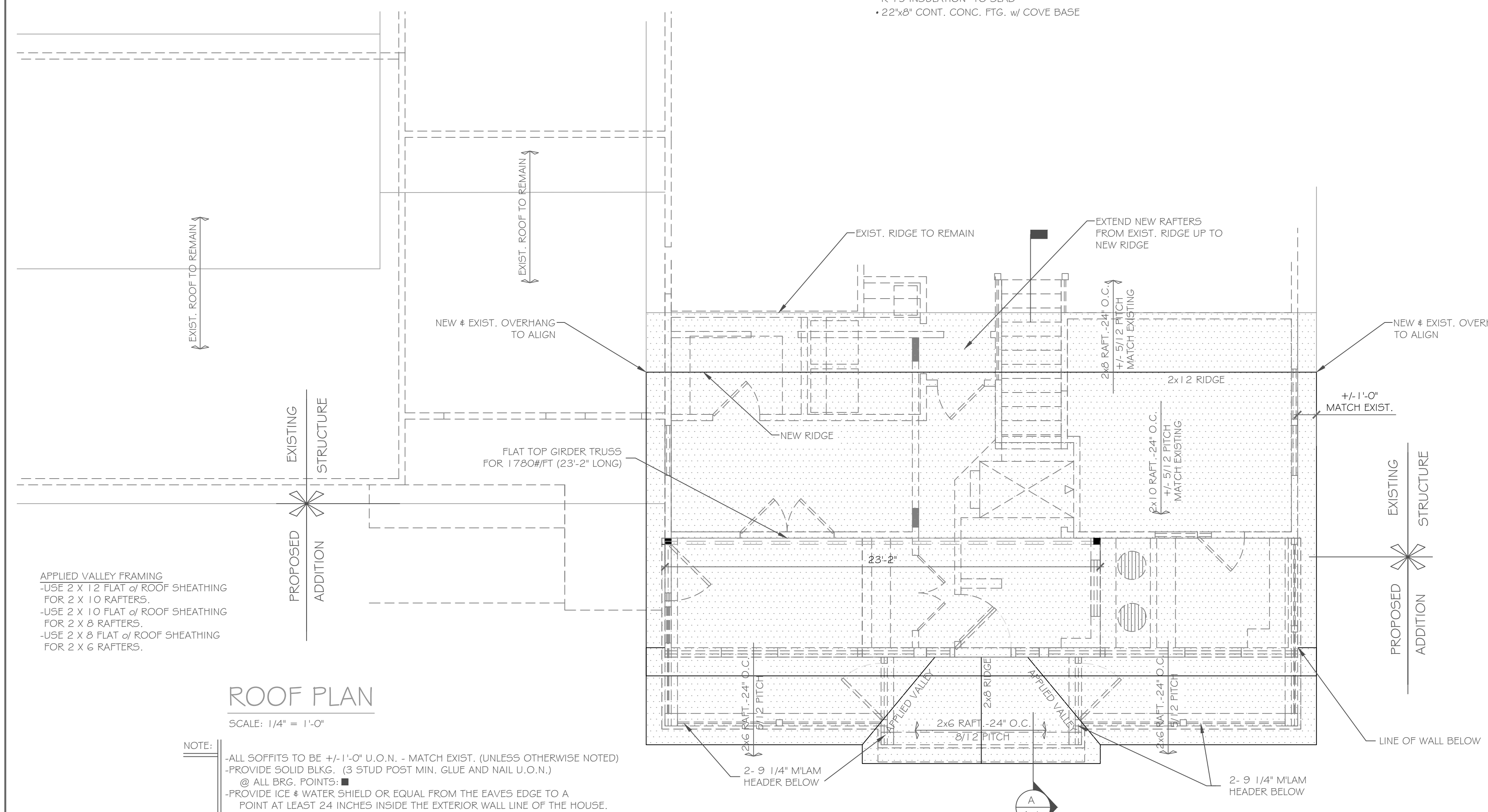
213 square feet addition

WALL KEY & NOTES

EXIST. 2 x FRAME WALL
NEW 2 x STUDS @ 16" O.C.

ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.

G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: WINDOW R.O. HTS. TO BE +/- 6'-10 1/2" (MATCH EXISTING) CLG. HTS. TO BE +/- 8'-0" (NEW & EXIST. FLOOR & CEIL. LEVELS TO ALIGN) ALL ANGLES TO BE 1/2 1/2 U.O.N. REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS. WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG



ROOF PLAN
SCALE: 1/4" = 1'-0"

FLAT TOP GIRDER TRUSS
SCALE: 1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Roof Plan, Second Floor Plan & Section

PHASE:
Construction Documents

PROJECT:
Additions & Renovations to:
6 Rosewood Drive
Pittsford, New York

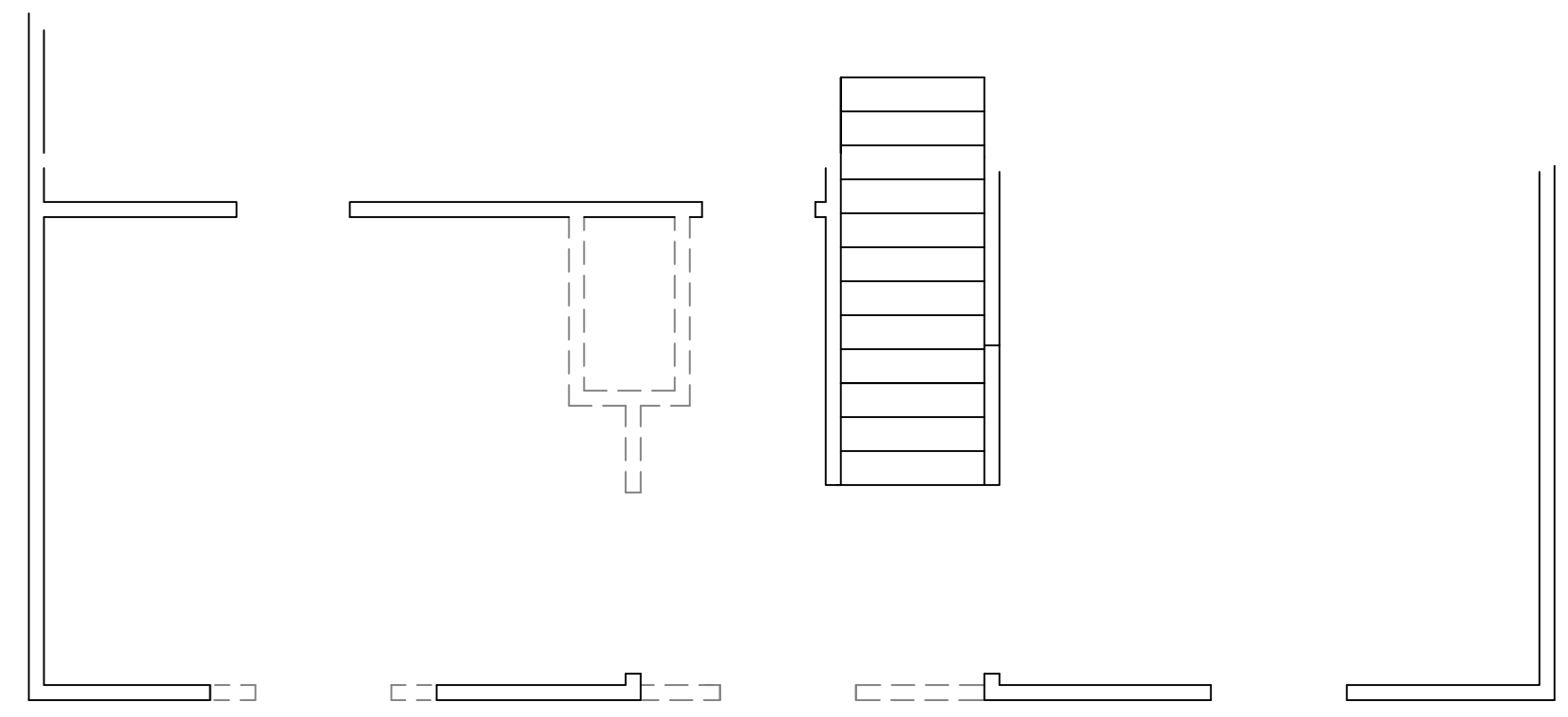
CLIENT:
Will & Michele Crain

JOB NO.:
A23-004

DATE:
June 2023

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

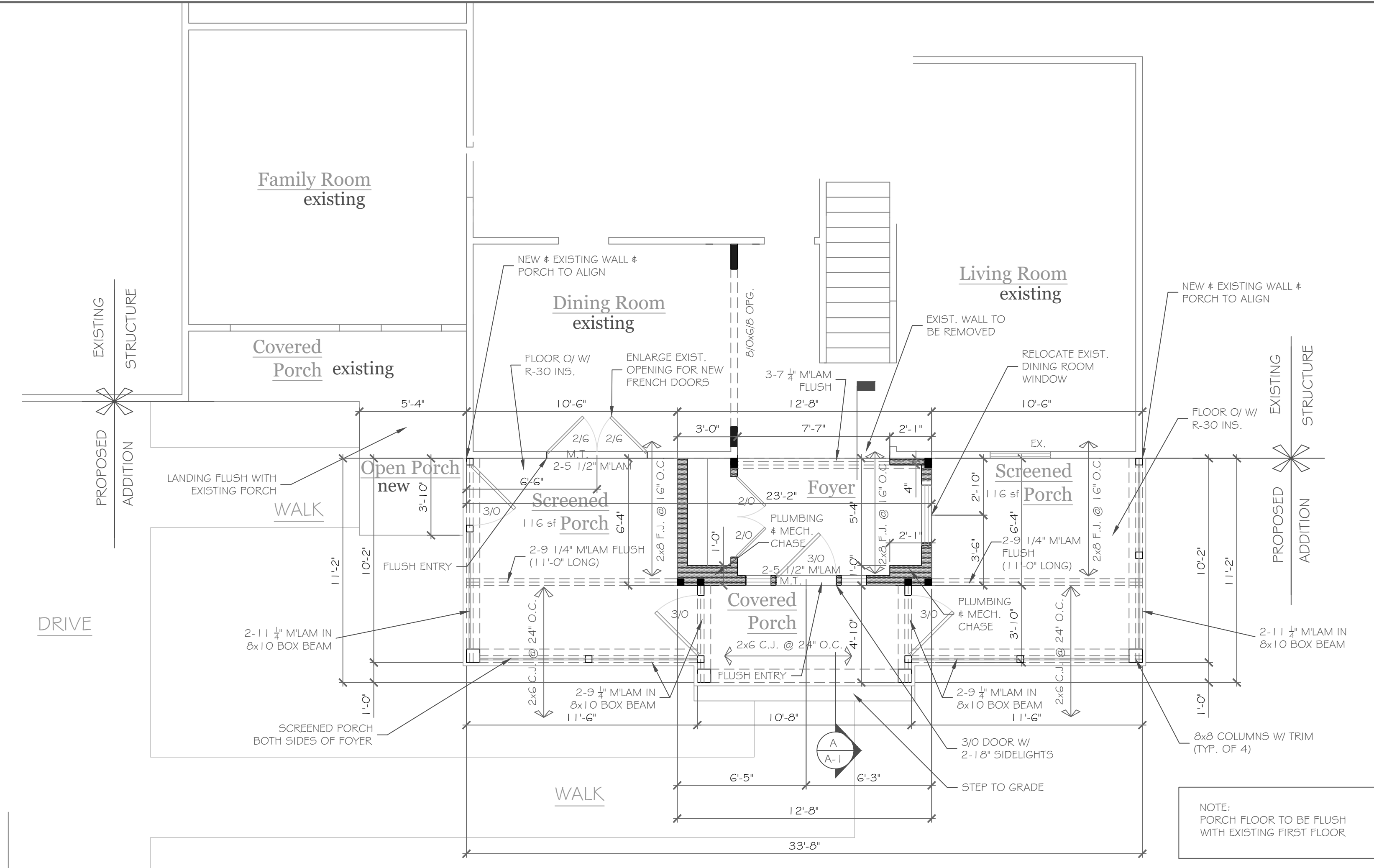
DRAWING NO.:
A-3



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

WALL KEY & NOTES

- : EXIST. 2 x FRAME WALL TO REMAIN
- : EXIST. 2 x FRAME WALL TO BE REMOVED



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

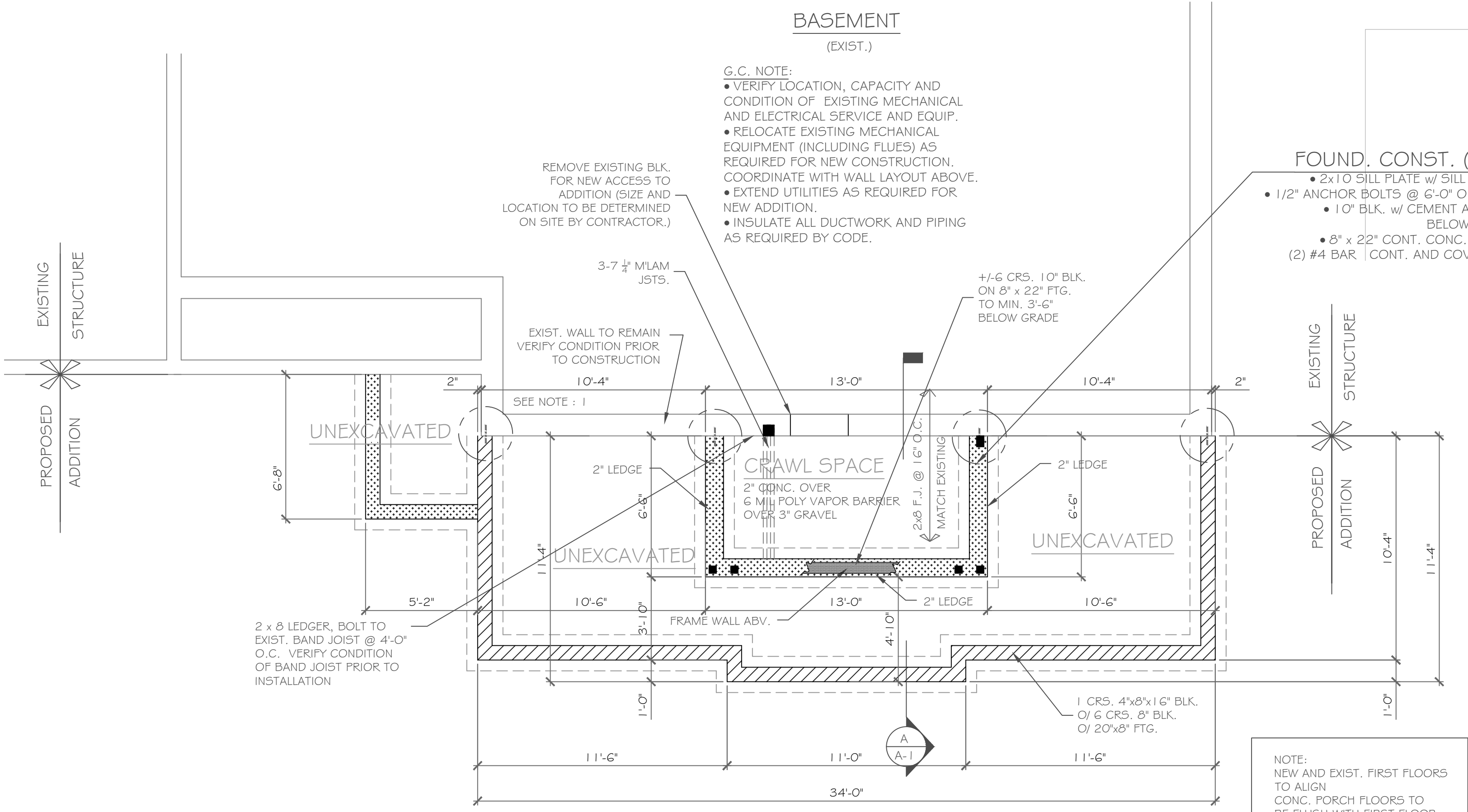
80 square feet addition
282 square feet Porch addition

WALL KEY & NOTES

- : EXIST. 2 x FRAME WALL
- : NEW 2 X STUDS @ 16" O.C.
- ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
- G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■
- WINDOW R.O. HTS. TO BE +/- 6'-10 1/2" (U.O.N.)
- CLG. HTS. TO BE +/- 8'-0" (NEW & EXIST. FLOOR & CEIL. LEVELS TO ALIGN)
- ALL ANGLES TO BE 1/2 1/2 U.O.N.
- REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
- Ⓢ: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS: INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

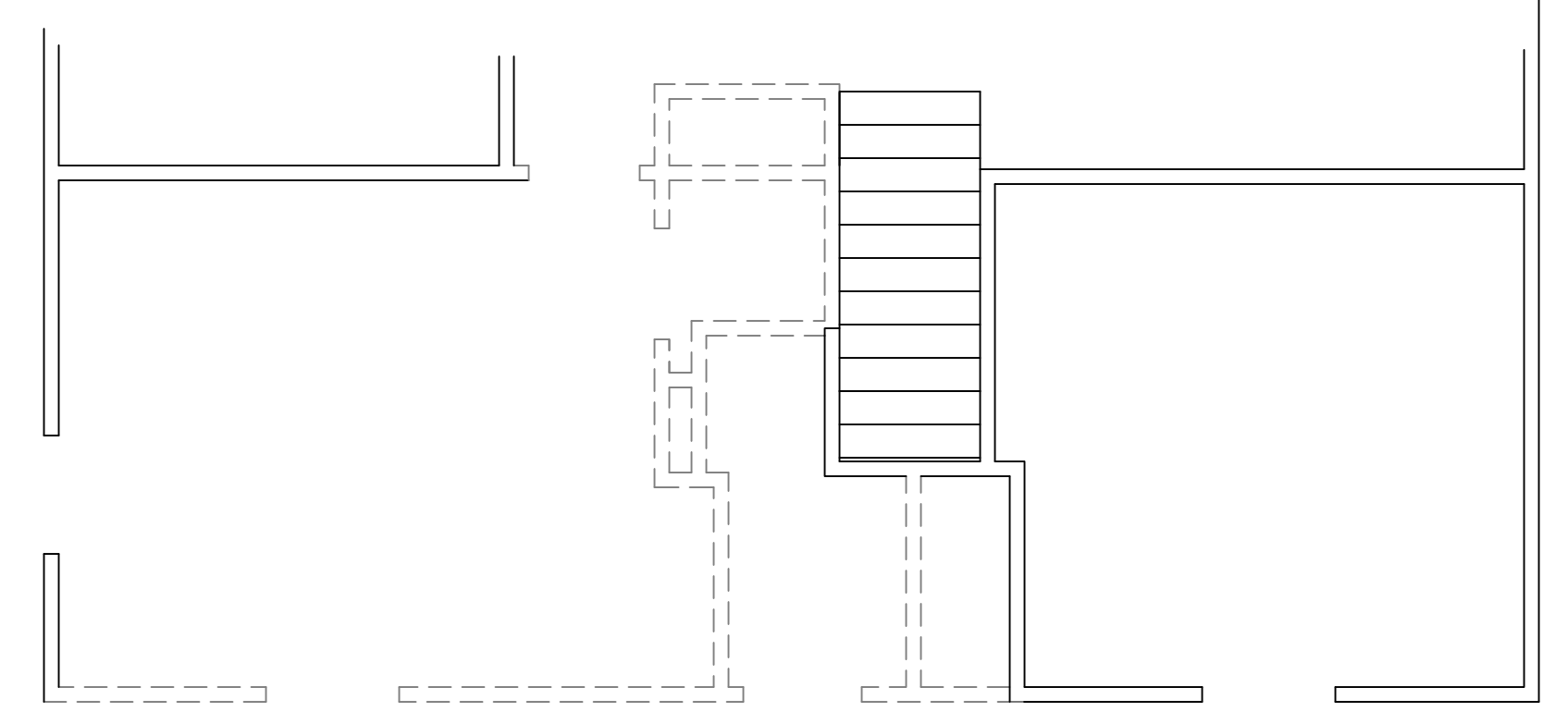
NOTE:

- 1: PROVIDE 12" LONG NO. 5 BAR EVERY 2ND, CRS. @ NEW AND EXISTING BLK. JOINT GROUT CORES SOLID FULL HEIGHT.
2. GROUT CORES SOLID FULL HEIGHT AT ALL BEAM BEARING LOCATIONS
3. USE SIMPSON (OR EQUAL) JOIST HANGERS AT ALL HEADER CONNECTIONS.
4. NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS
5. NEW & EXIST. FIRST FLOORS TO ALIGN
6. VERIFY DEPTH OF EXIST. FL. JST. IN FIELD PRIOR TO CONSTRUCTION

CONC. BLK. LEGEND:

- NEW C.M.U.-ELEV. = 0'
- NEW C.M.U.-ELEV. = +4' (+) 1/2 CRS.
- EXIST. FOUND. WALL-ELEV. = 0'
- BRG. POINT ABV. W/ FULL SUPPORT TO SOLID BEARING OR MASONRY (GROUT SOLID)

NOTE: NEW AND EXIST. FIRST FLOORS TO ALIGN
CONC. PORCH FLOORS TO BE FLUSH WITH FIRST FLOOR
ADJUST BLOCK AS REQUIRED



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

WALL KEY & NOTES

- : EXIST. 2 x FRAME WALL TO REMAIN
- : EXIST. 2 x FRAME WALL TO BE REMOVED

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Foundation Plan & First Floor Plan

PHASE:
Construction Documents

PROJECT:
**Additions & Renovations to:
6 Rosewood Drive
Pittsford, New York**

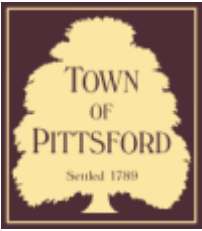
CLIENT:
Will & Michele Crain

JOB NO. -
A23-004

DATE:
June 5, 2023

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO. -
A-2



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000096

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 18 Buttermilk Hill Road PITTSFORD, NY 14534

Tax ID Number: 164.09-3-9

Zoning District: RN Residential Neighborhood

Owner: Fernaays, Debra

Applicant: Fernaays, Debra

Application Type:

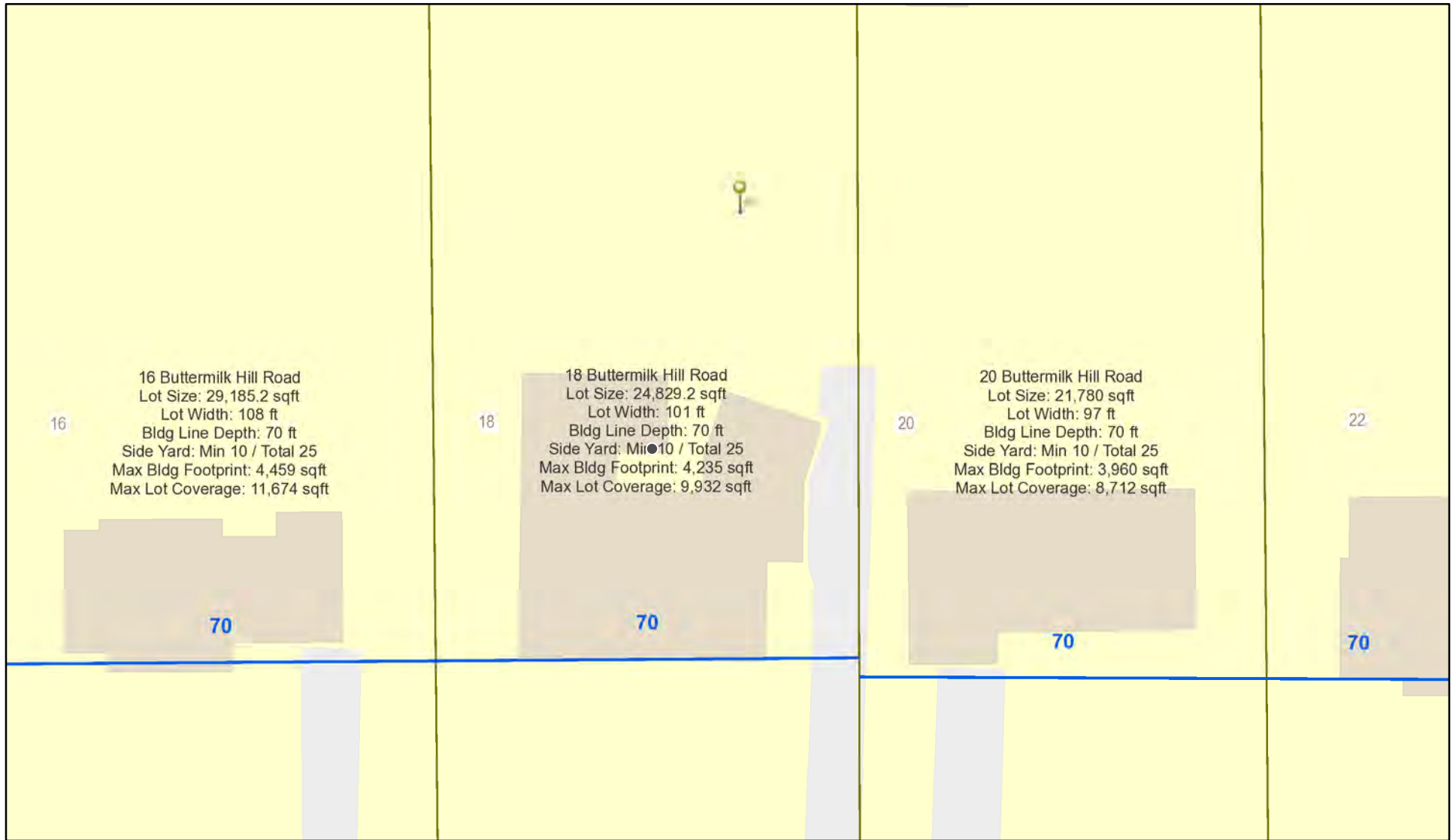
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: The applicant is requesting design review for a 252 SF garage renovation including a bonus room

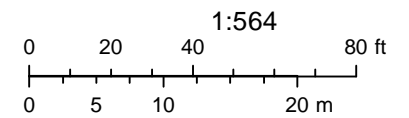
Meeting Date: August 24, 2023



RN Residential Neighborhood Zoning



Printed August 16, 2023



Town of Pittsford GIS

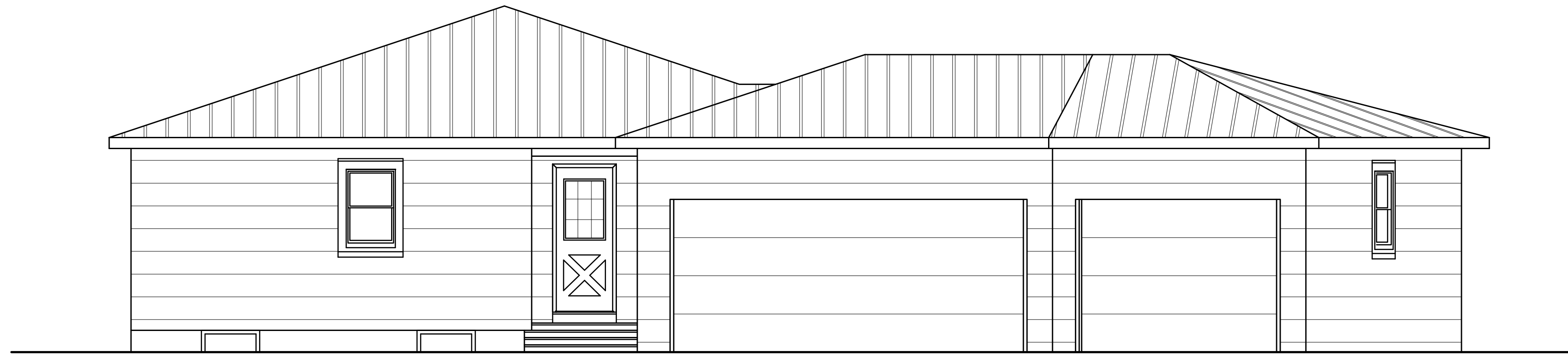
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



04/03/2021

Buttermilk Hill Rd

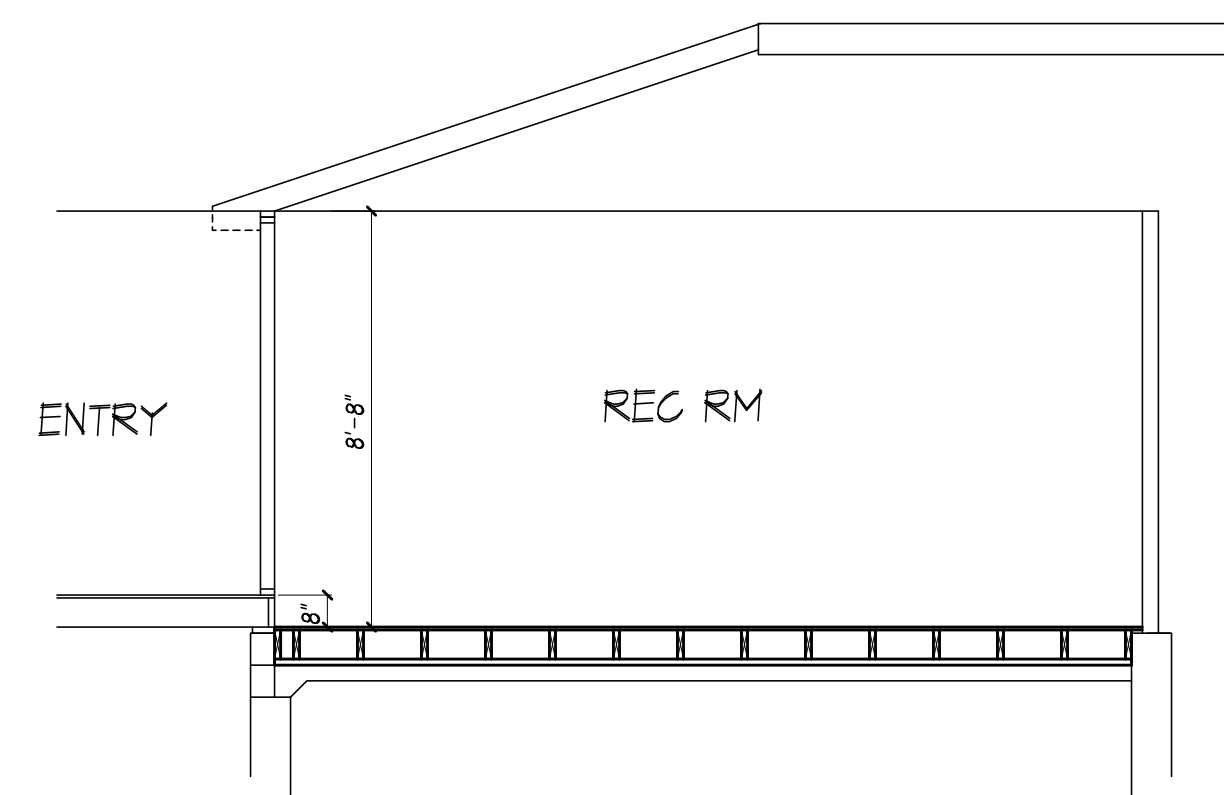
© All EagleView Technology Corporation



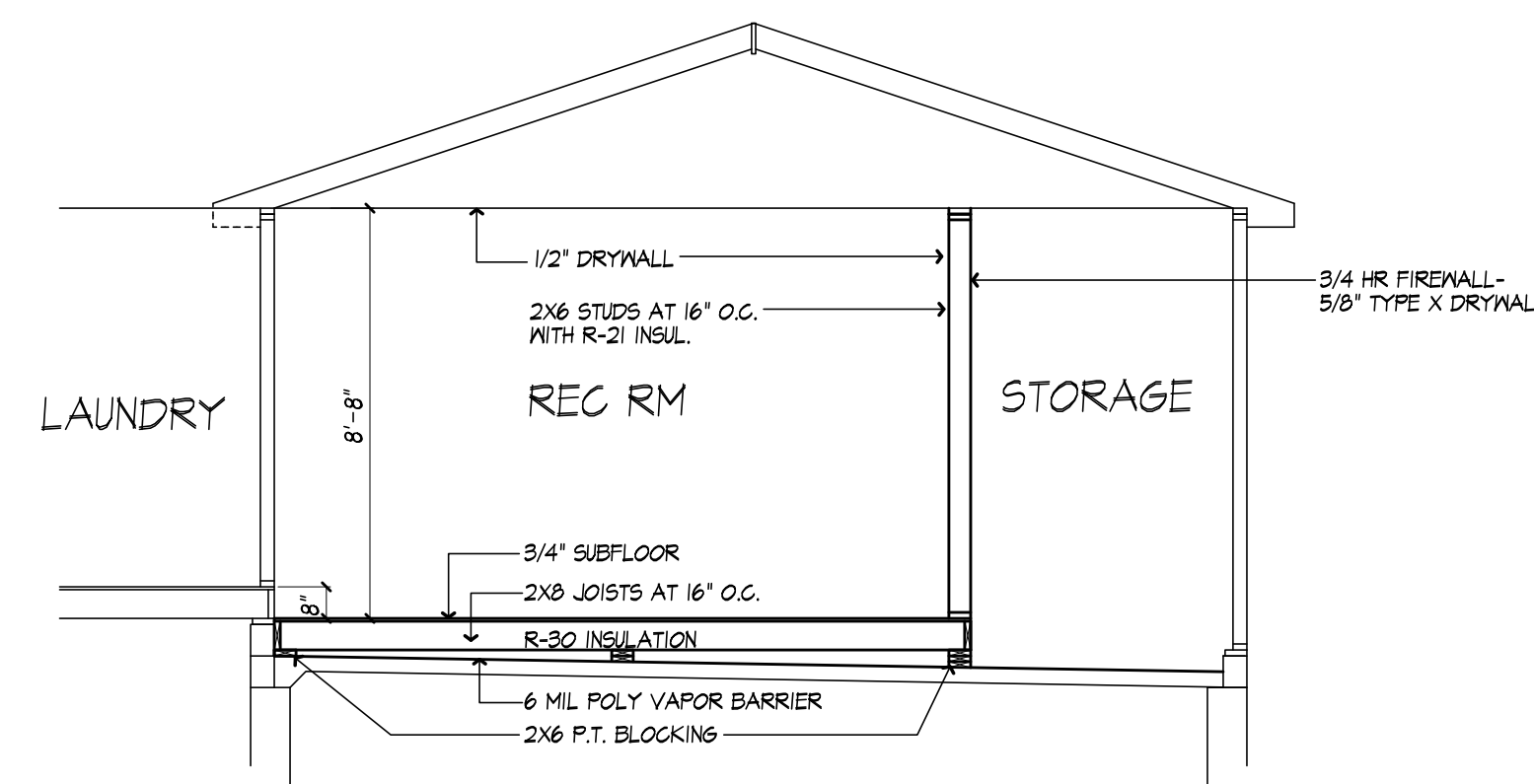
RIGHT SIDE ELEVATION - EXISTING



RIGHT SIDE ELEVATION - PROPOSED



SECTION A



SECTION B



**MORABITO
ARCHITECTS**

LICENSED IN CO, MA, ME, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

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PROJECT:

18 BUTTERMILK HILL

CLIENT:

STEVEN CAVATAGGI

DRAWING:

ELEVATIONS & BUILDING SECTIONS

DRAWN:

PAUL MORABITO

DATE: AUGUST 2023

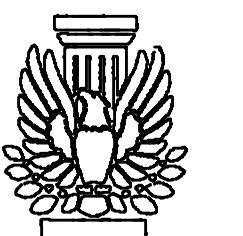
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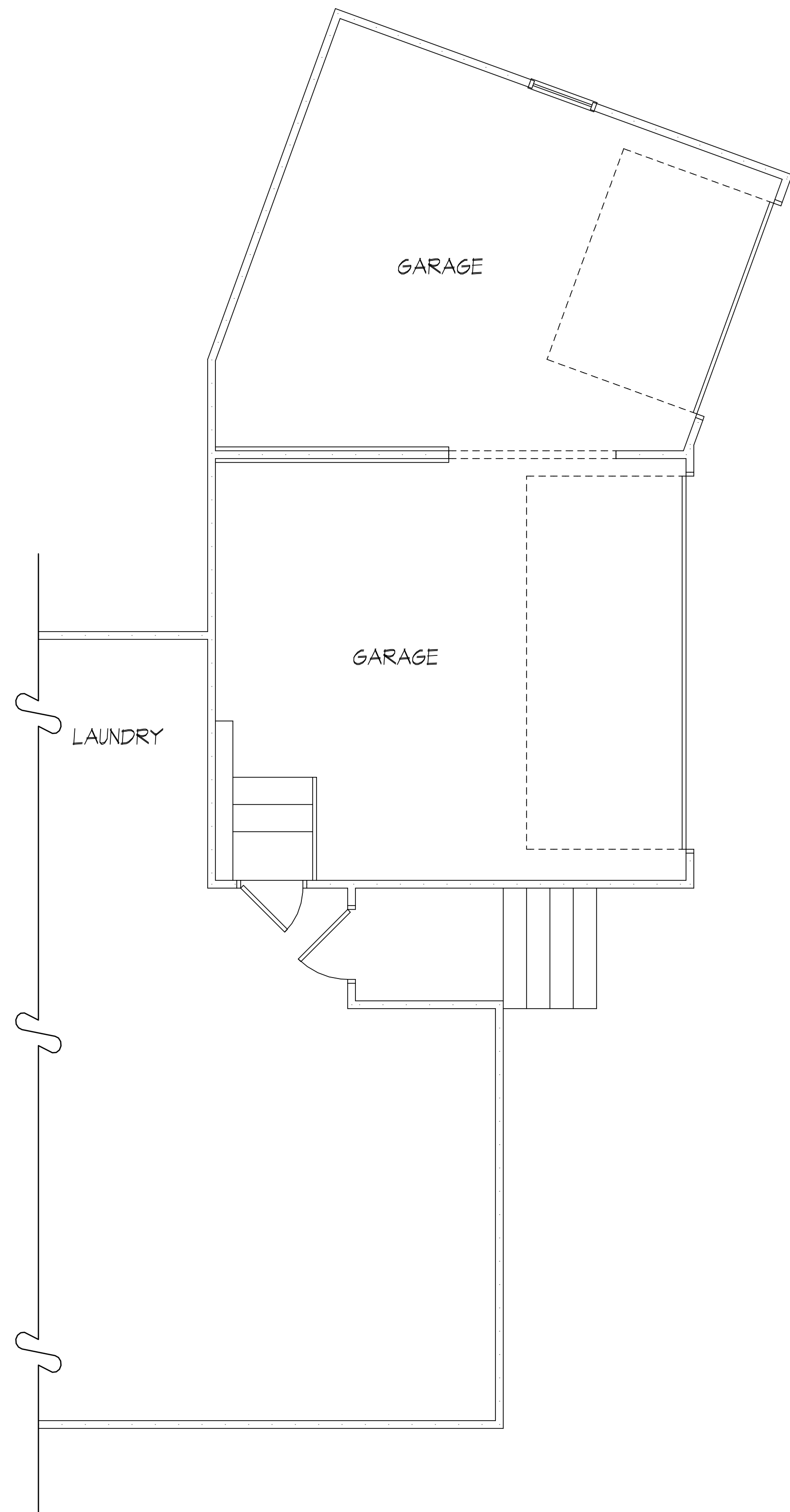
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SHEET:

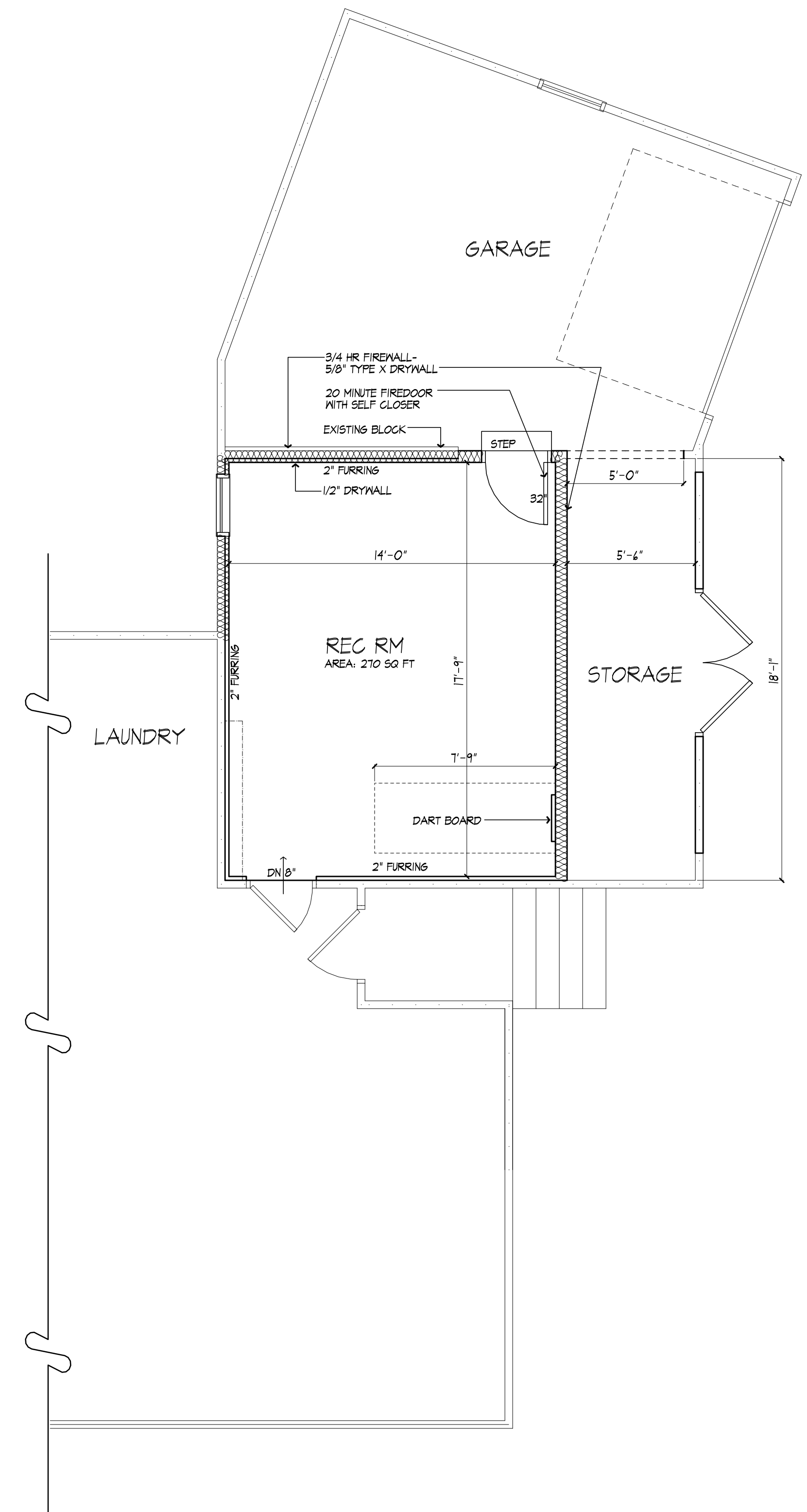
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OF 2 SHEETS

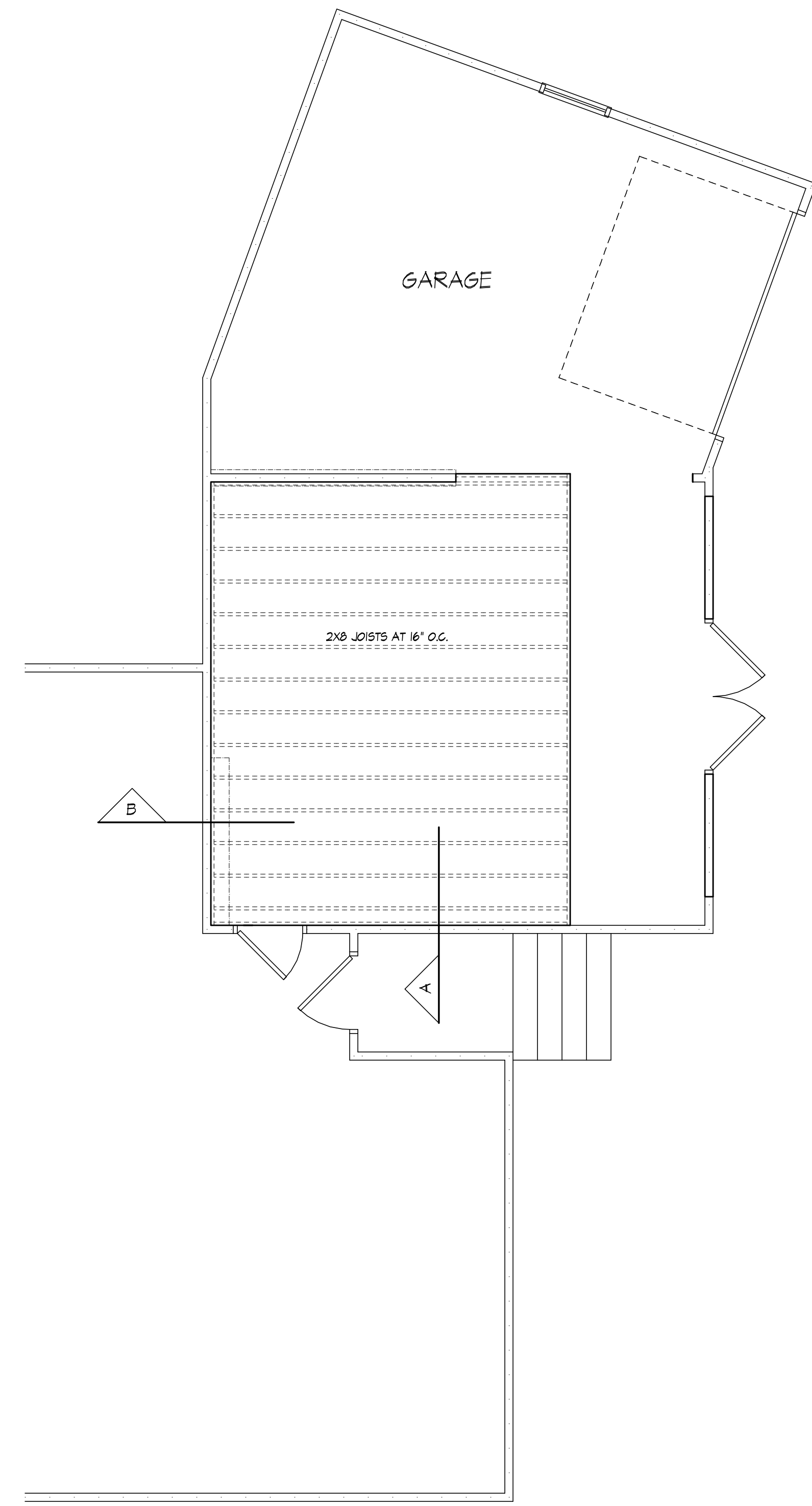




PLAN VIEW - EXISTING



PLAN VIEW - PROPOSED



FLOOR FRAMING



MORABITO ARCHITECTS
 LICENSED IN CO, MA, ME, NY, PA, SC

121 Sully's Trail
 Pittsford, NY 14534

(585) 264-1330
 (585) 264-1333 Fax

www.MorabitoArchitects.com

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PROJECT:
 18 BUTTERMILK HILL

CLIENT:
 STEVEN CAVATAGGI

DRAWING:
 PLAN VIEWS

DRAWN:
 PAUL MORABITO

DATE: AUGUST 2023

SCALE: 1/4"=1'-0"

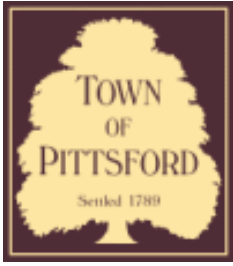
JOB NO.: XX

SHEET:

2

OF 2 SHEETS





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000098

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 41 Carriage Court PITTSFORD, NY 14534

Tax ID Number: 192.08-1-78

Zoning District: RN Residential Neighborhood

Owner: Ensenat, Stephanie N

Applicant: Ensenat, Stephanie N

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

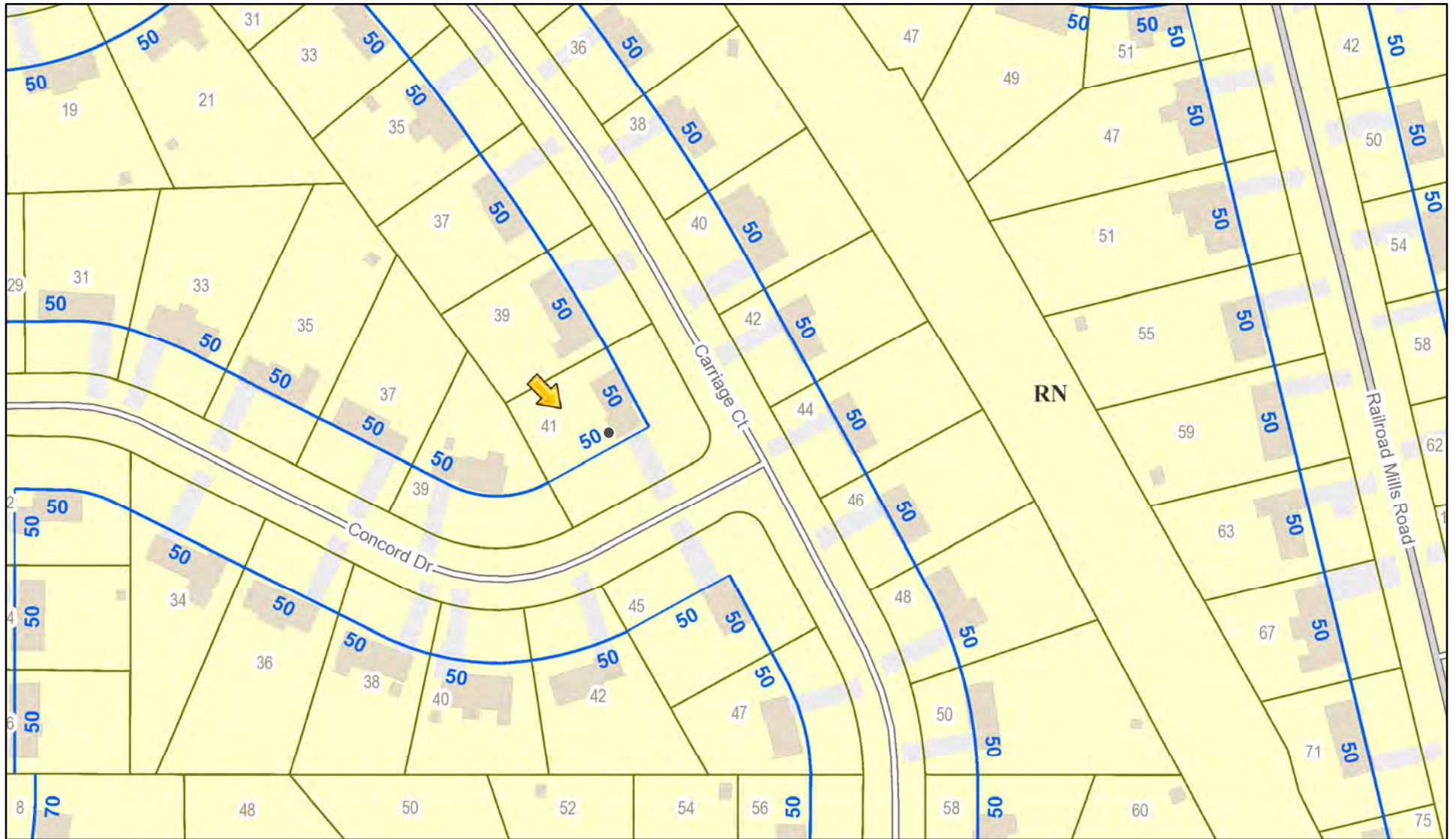
Project Description: Applicant is requesting design review for an approximately 838 SF addition off the rear of the home.

Meeting Date: August 24, 2023

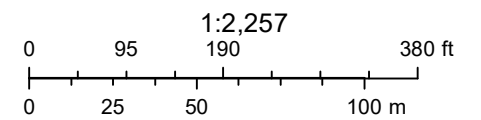




RN Residential Neighborhood Zoning



Printed August 16, 2023



Town of Pittsford GIS

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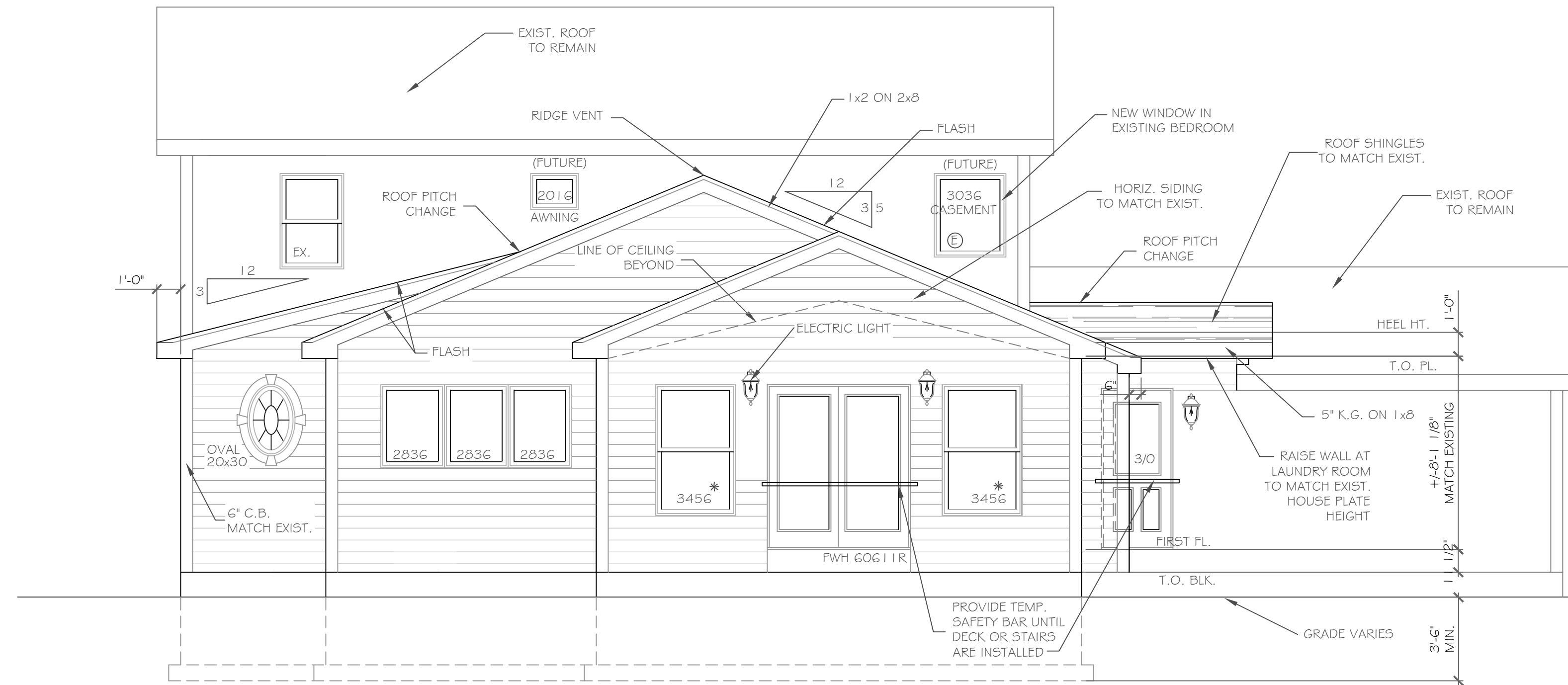


DEMOLITION NOTES:

- A. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
- B. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
- C. Contractor to remove all existing walls, doors, and finishes not shown to remain. Infill wall openings as required and patch surfaces to match adjacent existing.
- D. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
- E. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or riser.
- F. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associated power and plumbing services with other trades.
- G. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
- H. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
- I. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
- J. The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
- K. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
- L. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
- M. Storage for contractor's equipment and debris must be kept inside the contract area.
- N. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
- O. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

CONSTRUCTION NOTES:

- 1. Construction shall conform to the residential code of New York State.
- 2. Comply with all local, state and federal codes and regulations.
- 3. General Contractor is responsible for all materials, construction methods and craftsmanship.
- 4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
- 5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
- 6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
- 7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
- 8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
- 9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
- 10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
- 11. All dimensions are face of wall to face of wall (rough).
- 12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
- 13. No site visits will be made by this Architect. contractor shall assume all responsibility for changes to these drawings.
- 14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
- 15. Call UFPO before you dig. 1-800-962-7962
- 16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar.
- 17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
- 18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
- 19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
- 20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
- 21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.



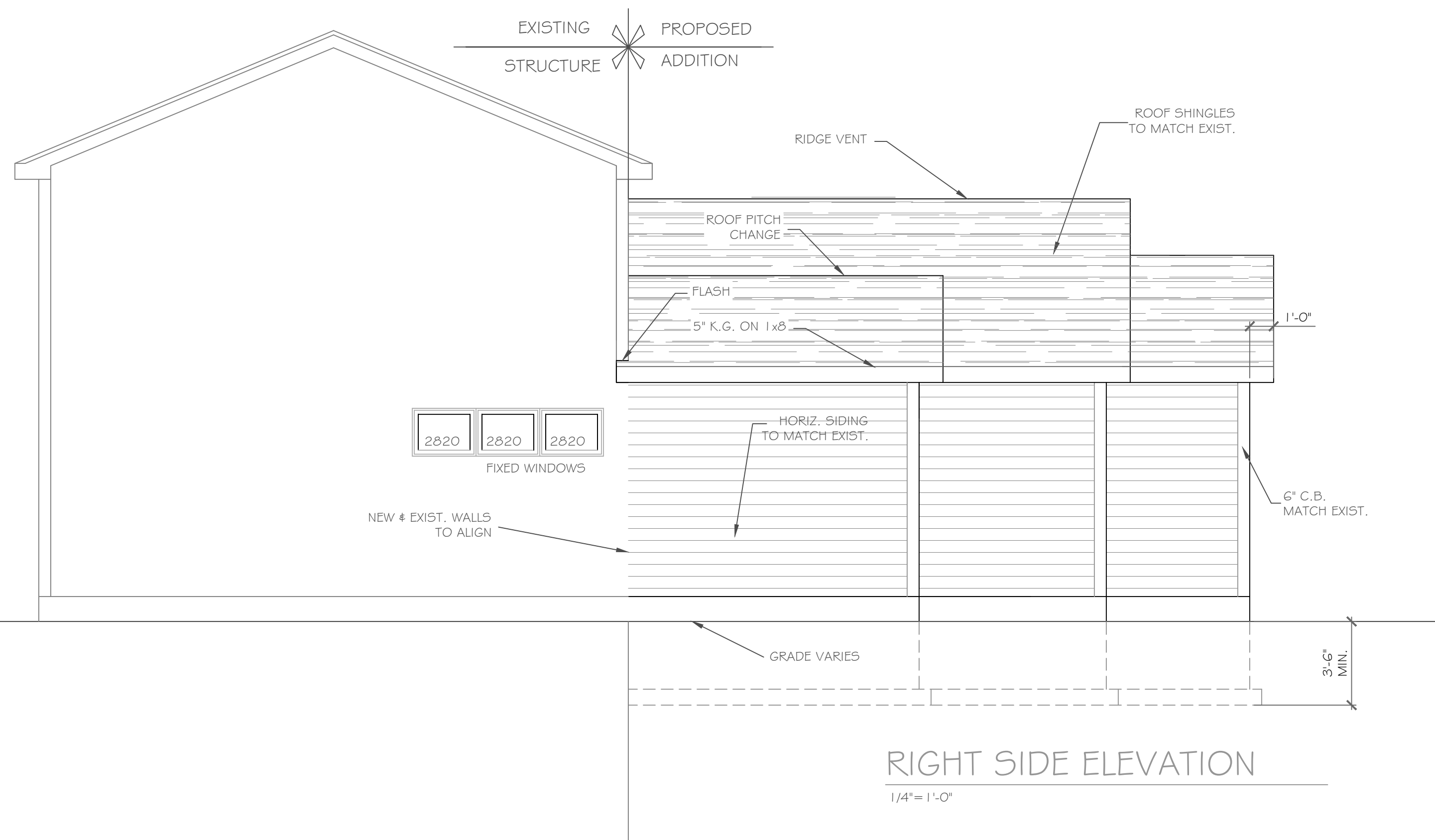
REAR ELEVATION

1/4" = 1'-0"

838 square feet total

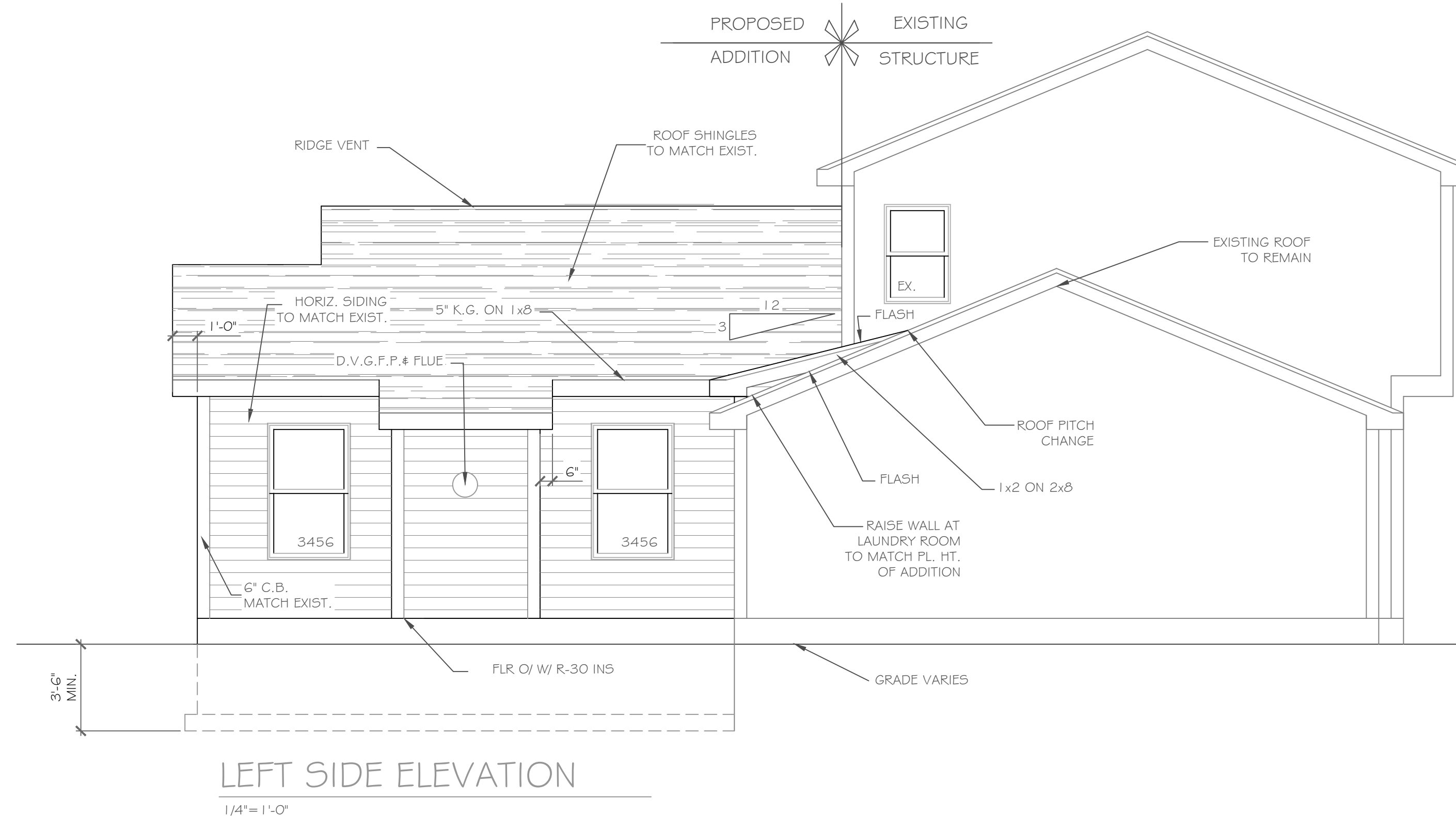
- NOTE: - WINDOWS TO BE "GREAT LAKES" (HP LOW-E) DOUBLE-HUNG (OR EQUAL)
- DOORS TO BE "ANDERSEN" (OR EQUAL)
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS

NOTE:
NEW AND EXIST. FIRST FLOORS TO ALIGN. ADJUST BLOCK HT. AS REQD. FOR NEW FLOOR JOIST TO BE FLUSH W/ EXIST. FIRST FLOOR



RIGHT SIDE ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

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NO.	DATE	DESCRIPTION

DRAWING TITLE:	PHASE:
Elevations & Notes	Construction Documents

PROJECT: Additions & Renovations to: 41 Carriage Court Pittsford, New York	CLIENT: Jonathon & Stephanie Thomas
DATE: July 10, 2023	JOB NO.: A22-029

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO. -
A-1

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan
First & Second Floor Demolition Plans

PHASE:
 Construction Documents

PROJECT: Additions & Renovations to:
41 Carriage Court
Pittsford, New York

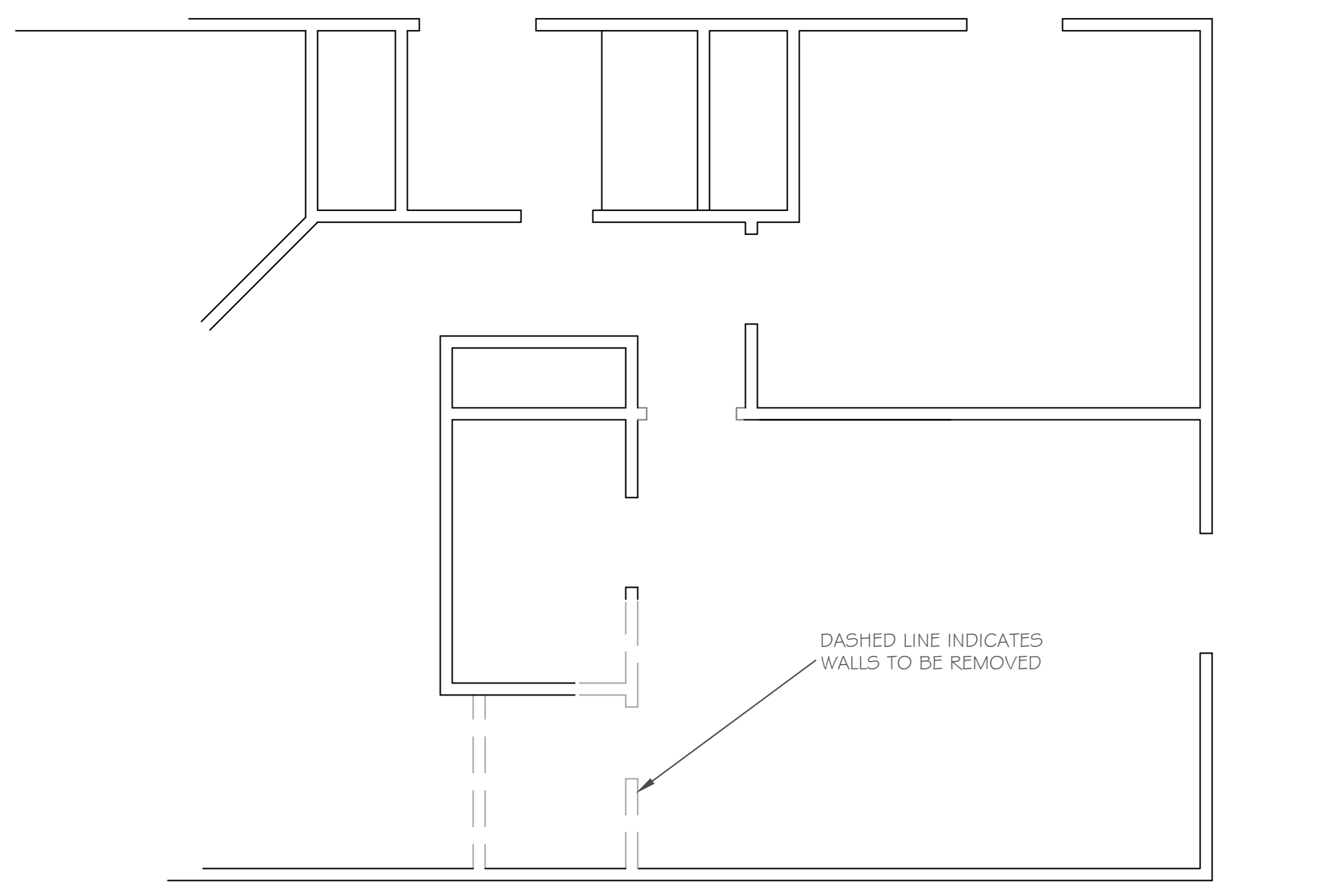
CLIENT:
Jonathon & Stephanie Thomas

JOB NO.:
 A22-029

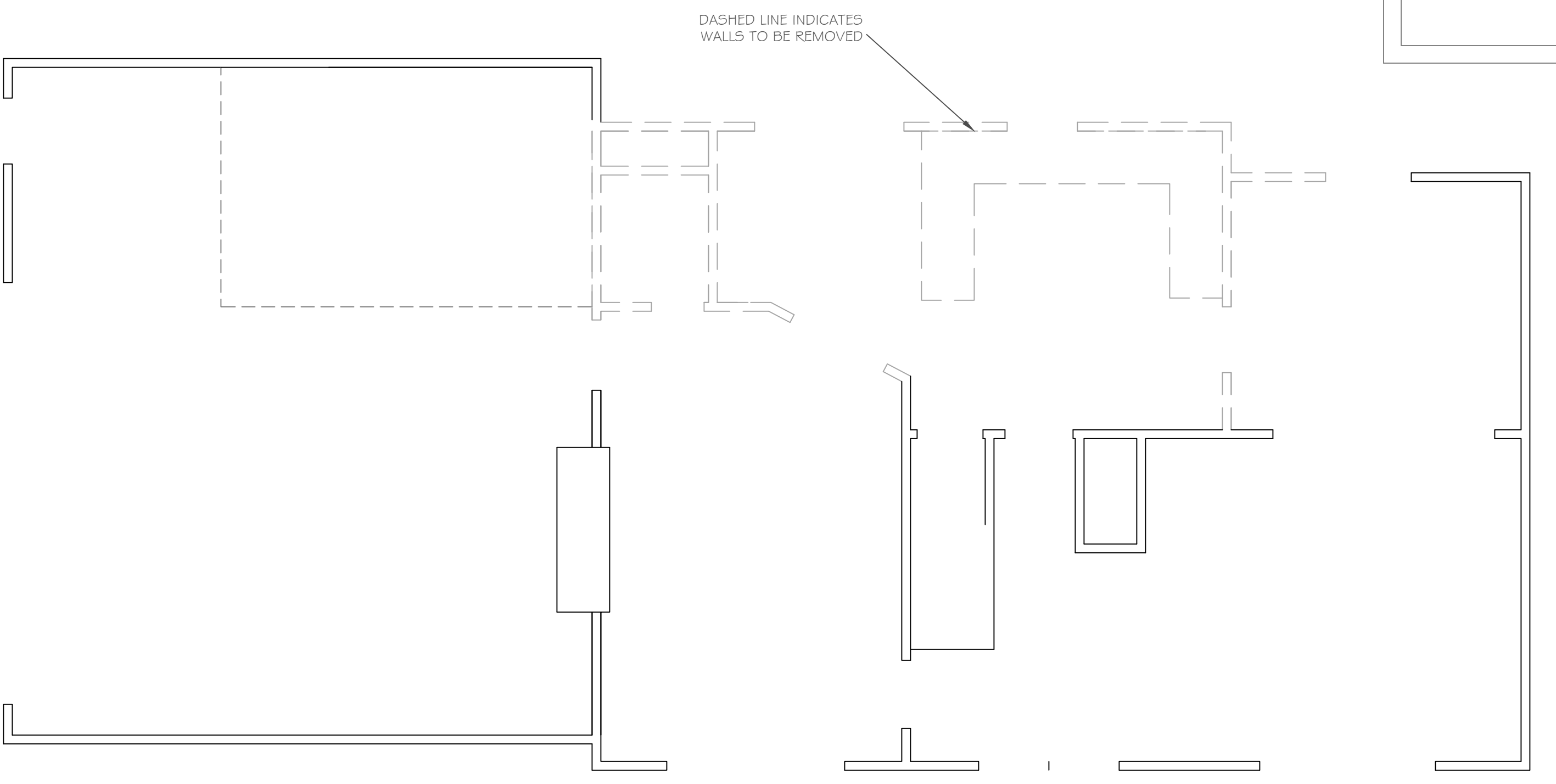
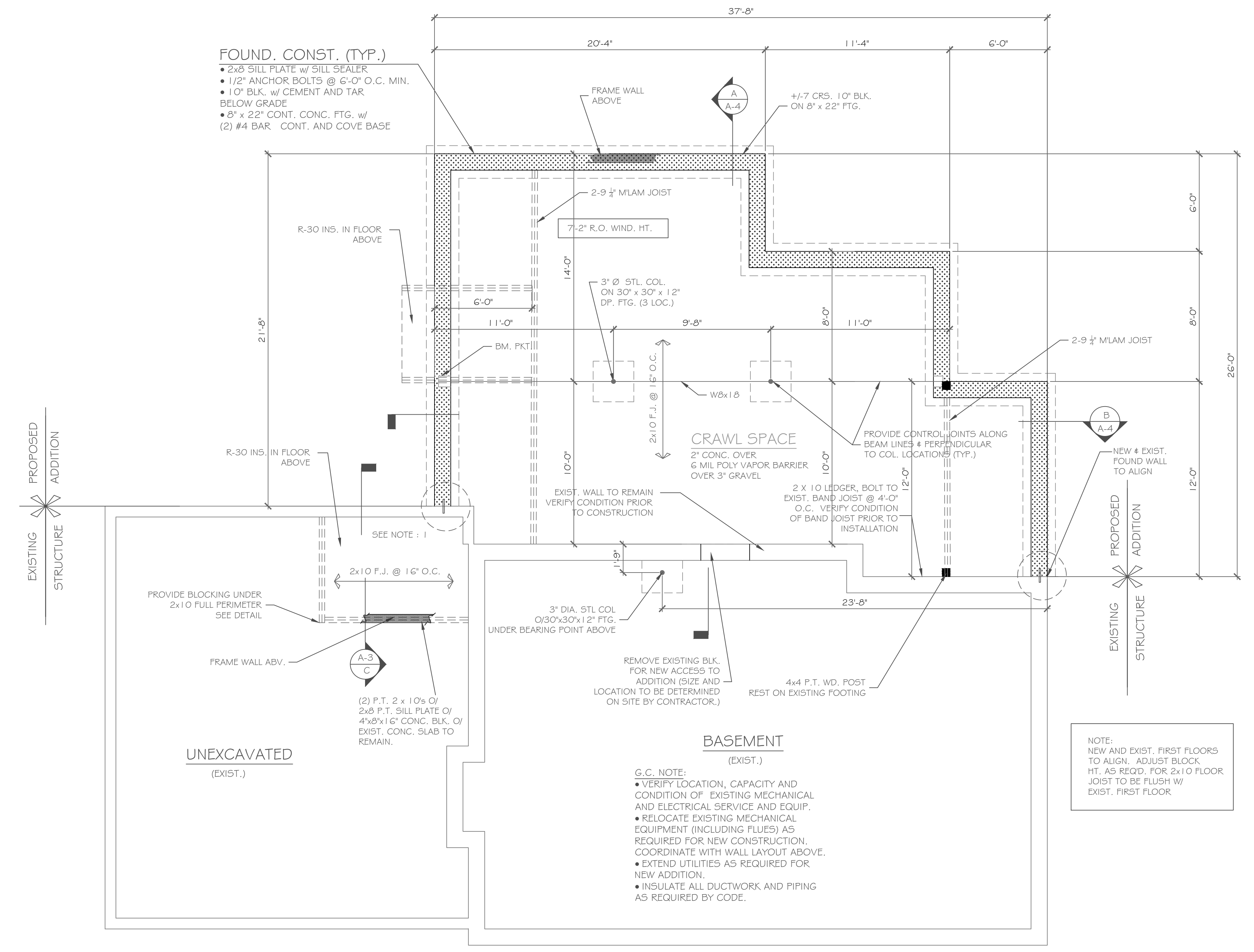
DATE:
 July 10, 2023

CKH
architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
A-2



Second Floor Plan
 Demolition Plan
 1/4" = 1'-0"



First Floor Plan
 Demolition Plan
 1/4" = 1'-0"

FOUND. CONST. (TYP.)
 • 2x8 SILL PLATE w/ SILL SEALER
 • 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
 • 10" BLK. w/ CEMENT AND TAR BELOW GRADE
 • 8" x 22" CONT. CONC. FTG. w/ (2) #4 BAR CONT. AND COVE BASE

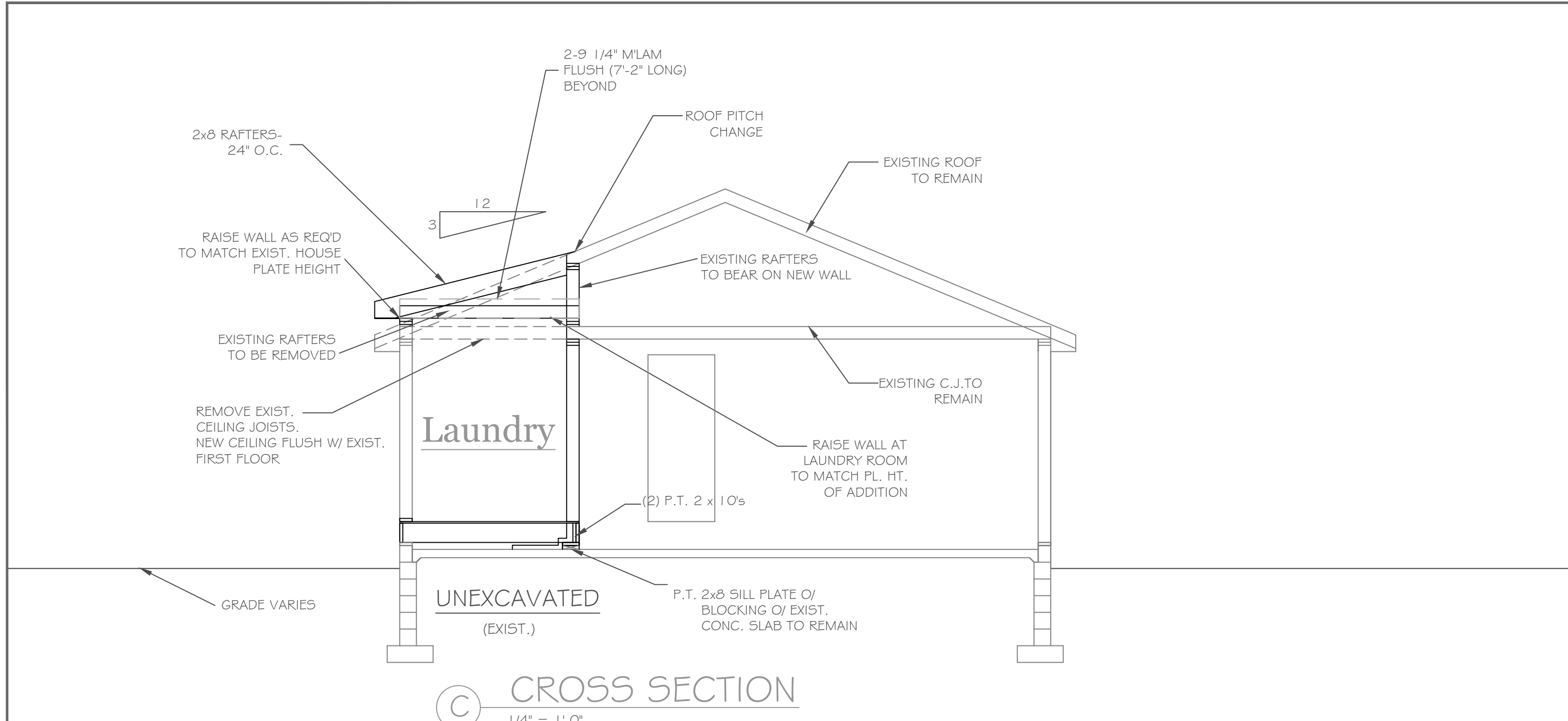
G.C. NOTE:
 • VERIFY LOCATION, CAPACITY AND CONDITION OF EXISTING MECHANICAL AND ELECTRICAL SERVICE AND EQUIP.
 • RELOCATE EXISTING MECHANICAL EQUIPMENT (INCLUDING FLUES) AS REQUIRED FOR NEW CONSTRUCTION. COORDINATE WITH WALL LAYOUT ABOVE.
 • EXTEND UTILITIES AS REQUIRED FOR NEW ADDITION.
 • INSULATE ALL DUCTWORK AND PIPING AS REQUIRED BY CODE.

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

- NOTE:**
1. PROVIDE 12" LONG NO. 5 BAR EVERY 2ND, CRS. @ NEW AND EXISTING BLK. JOINT GROUT CORES SOLID FULL HEIGHT.
 2. GROUT CORES SOLID FULL HEIGHT AT ALL BEAM BEARING LOCATIONS
 3. USE SIMPSON (OR EQUAL) JOIST HANGERS AT ALL HEADER CONNECTIONS.
 4. NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS
 5. NEW & EXIST. FIRST FLOORS TO ALIGN
 6. VERIFY DEPTH OF EXIST. FL. JST. IN FIELD PRIOR TO CONSTRUCTION

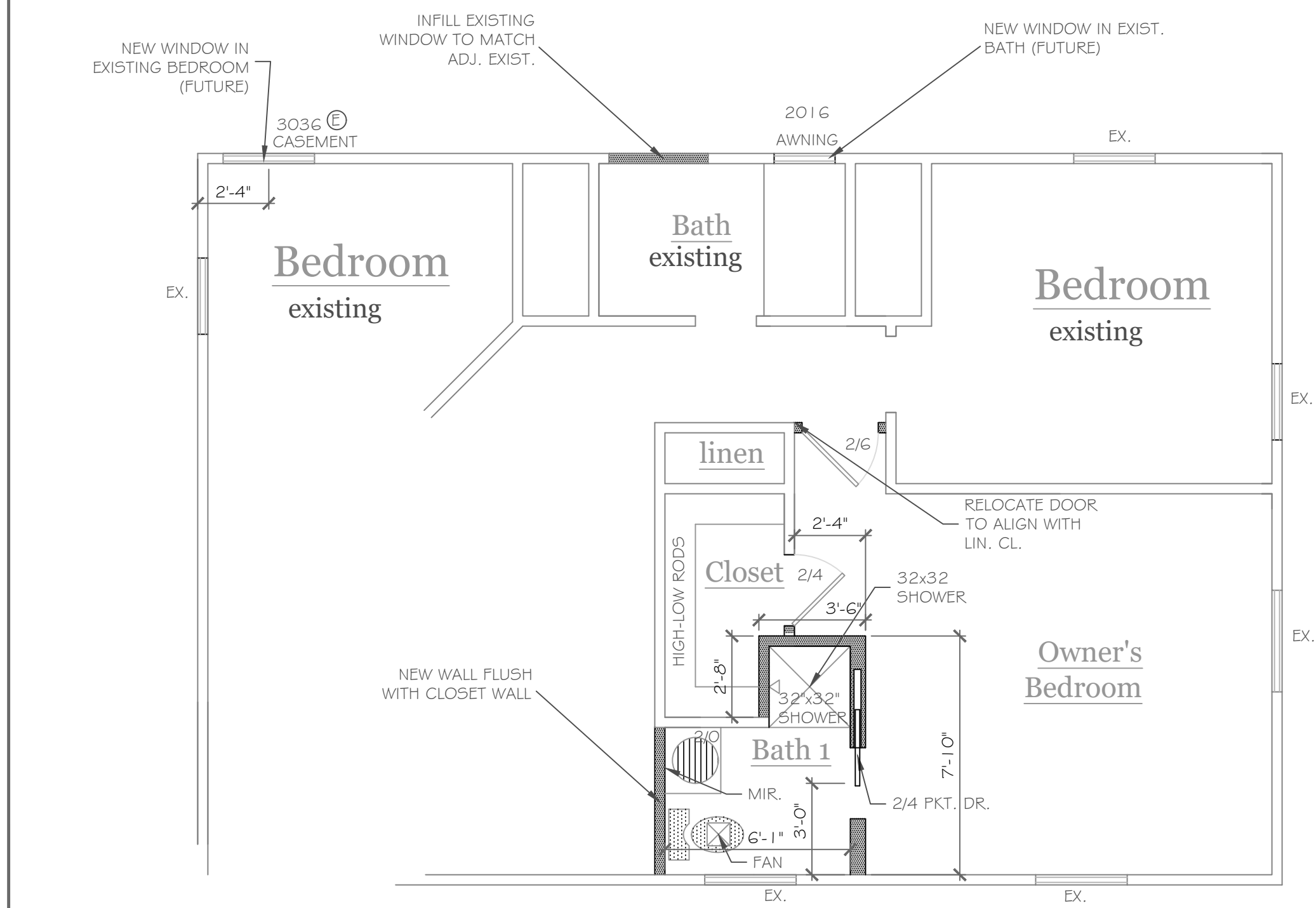
CONC. BLK. LEGEND:
 NEW C.M.U.-ELEV. = 0'
 EXIST. FOUND. WALL
 BRG. POINT ABV. W/ FULL SUPPORT TO SOLID BEARING OR MASONRY (GROUT SOLID)

NOTE:
 NEW AND EXIST. FIRST FLOORS TO ALIGN. ADJUST BLOCK HT. AS REQD. FOR 2x10 FLOOR JOIST TO BE FLUSH W/ EXIST. FIRST FLOOR



C CROSS SECTION
1/4" = 1'-0"

NOTE: NEW AND EXIST. FIRST FLOOR & CEILING TO ALIGN



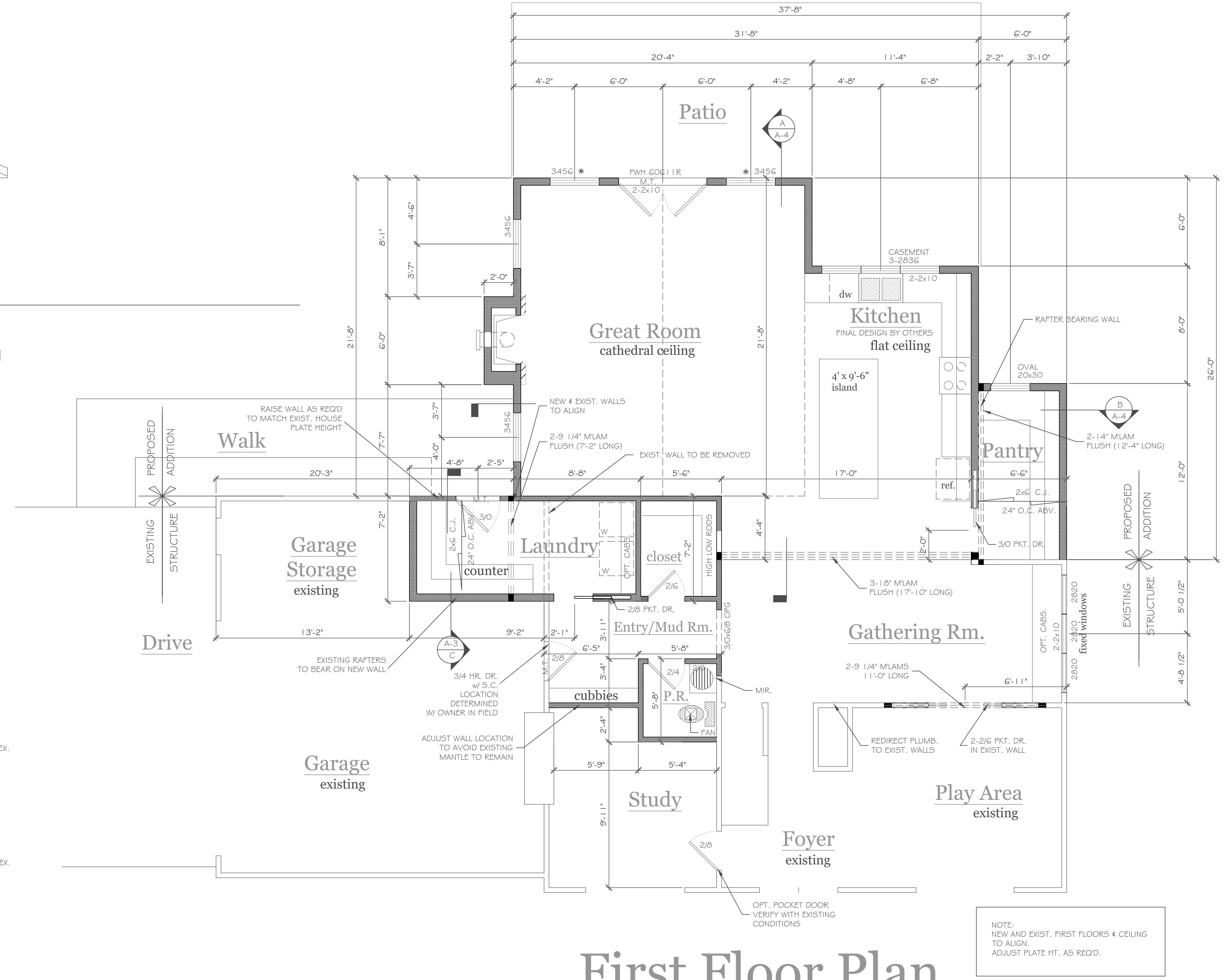
SECOND FLOOR PLAN
1/4" = 1'-0"

WALL KEY & NOTES

- : EXIST. 2 x FRAME WALL
 - : NEW 2 x STUDS @ 16" O.C.
 - ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
- G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■ WINDOW R.O. HTS. TO BE +/- 6'-10 1/2" (U.O.N.) CLG. HTS. TO BE +/- 8'-1 1/8" ALL ANGLES TO BE 1/2/1/2 U.O.N. REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
- Ⓞ: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



NOTE: NEW AND EXIST. FIRST FLOORS & CEILING TO ALIGN, ADJUST PLATE HT. AS REQ'D.

First Floor Plan

838 square feet Addition

1/4" = 1'-0"

WALL KEY & NOTES

- : EXIST. 2 x FRAME WALL
 - : NEW 2 x STUDS @ 16" O.C.
 - ALL EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - ALL INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
- G.C. NOTE: THE SYMBOL +/- INDICATES A DIMENSION TO BE VERIFIED IN FIELD PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS: ■ WINDOW R.O. HTS. TO BE +/- 6'-8" (U.O.N.) CLG. HTS. TO BE +/- 8'-0" (NEW & EXIST. FIRST FLOOR TO ALIGN) ALL ANGLES TO BE 1/2/1/2 U.O.N. REFER TO SPEC. SHEET FOR ALL UNSPECIFIED HDRS.
- Ⓞ: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
First & Second Floor Plans

PHASE:
Construction Documents

PROJECT: Additions & Renovations to:
**41 Carriage Court
Pittsford, New York**

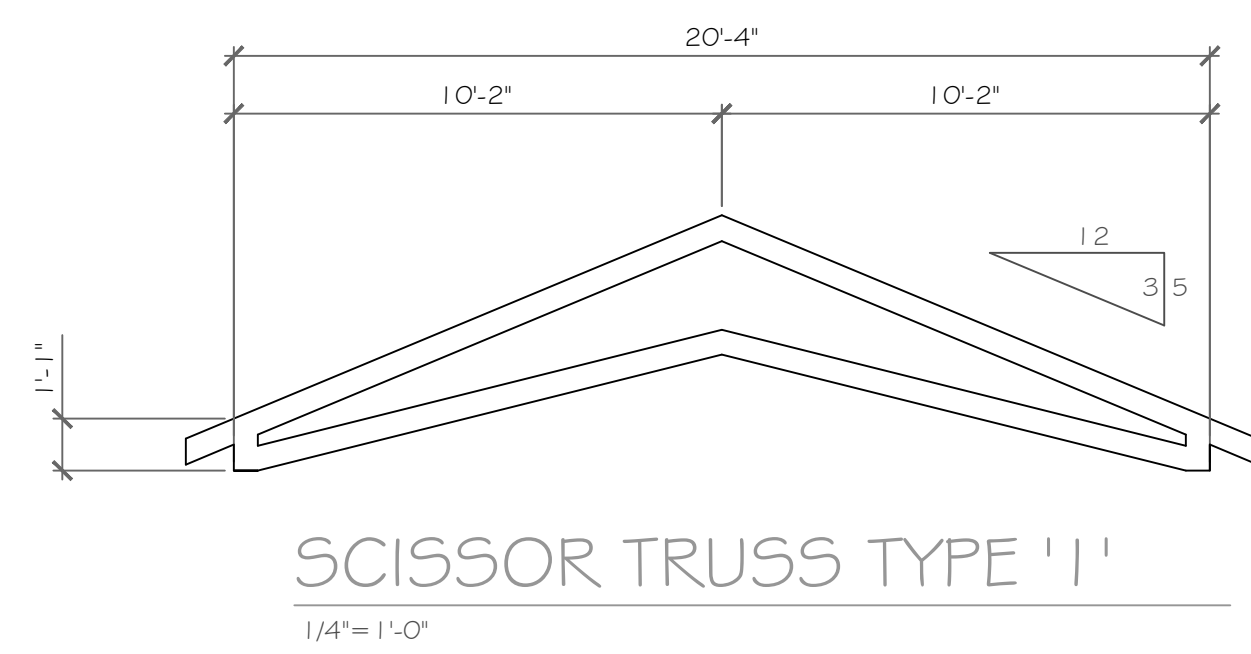
CLIENT:
Jonathon & Stephanie Thomas

JOB NO.:
A22-029

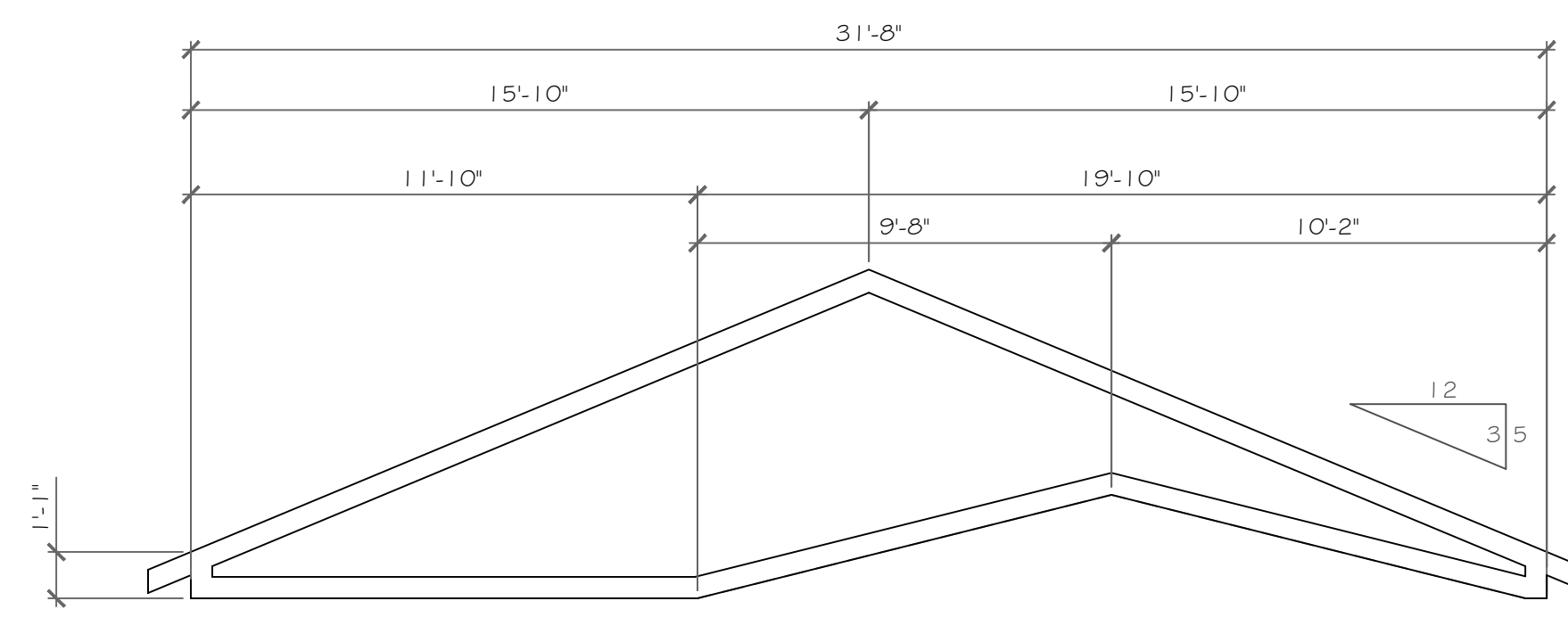
DATE:
July 10, 2023

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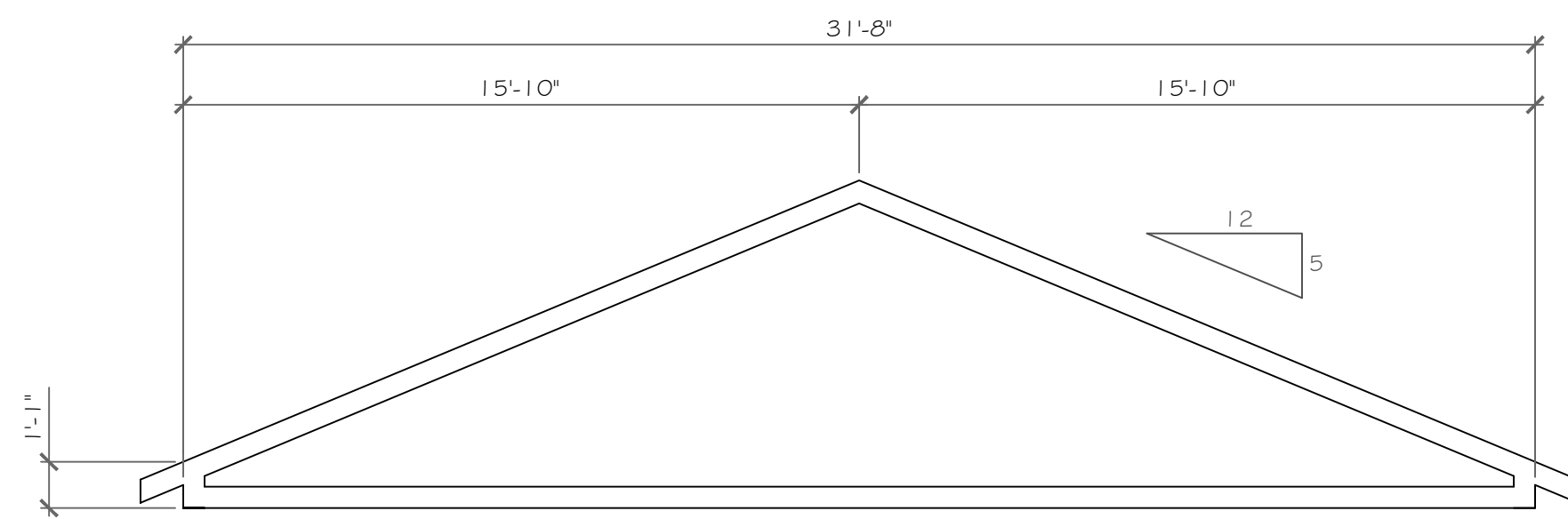
DRAWING NO. -
A-3



SCISSOR TRUSS TYPE '1'
1/4" = 1'-0"



SCISSOR TRUSS TYPE '2'
1/4" = 1'-0"

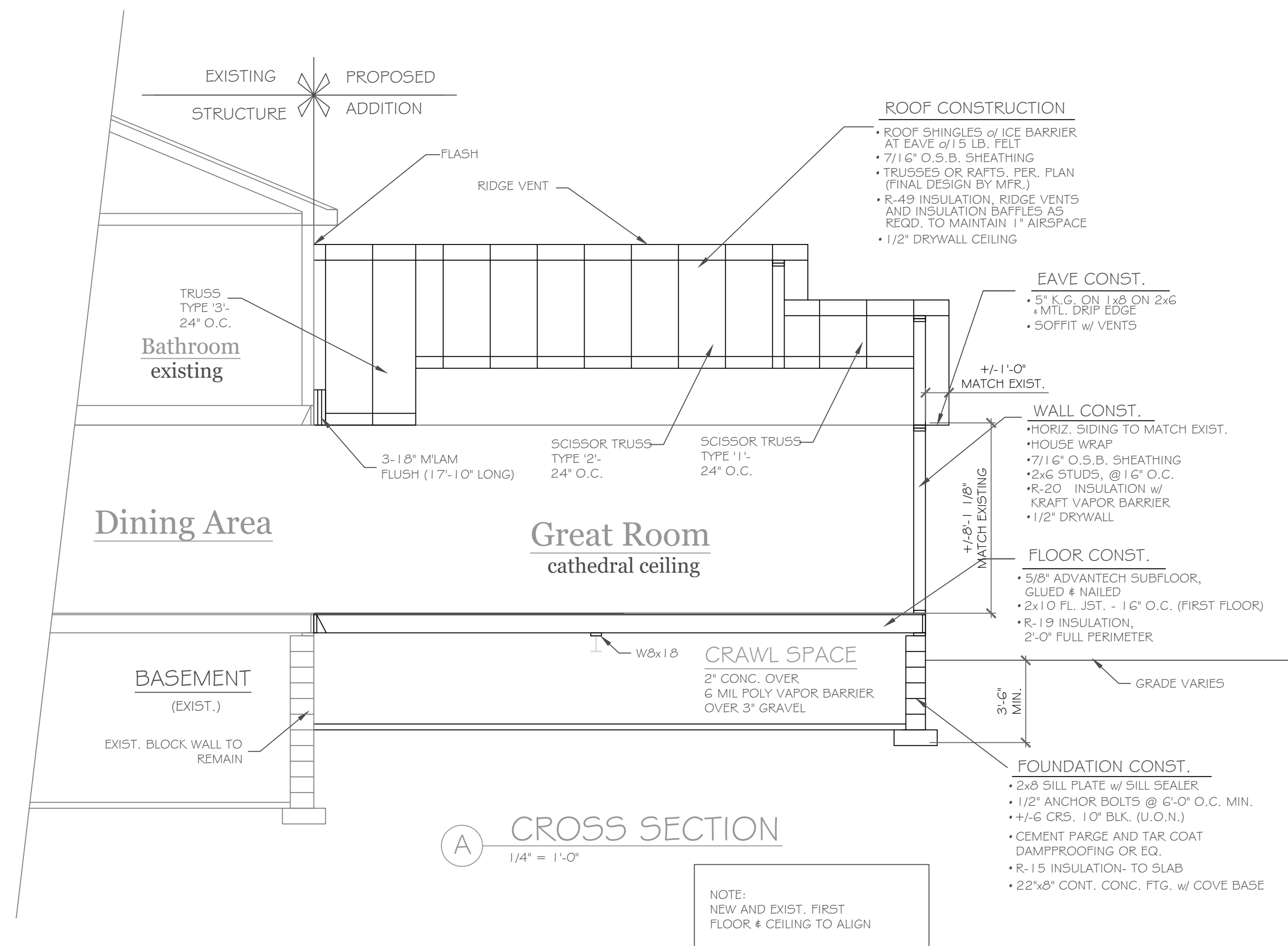
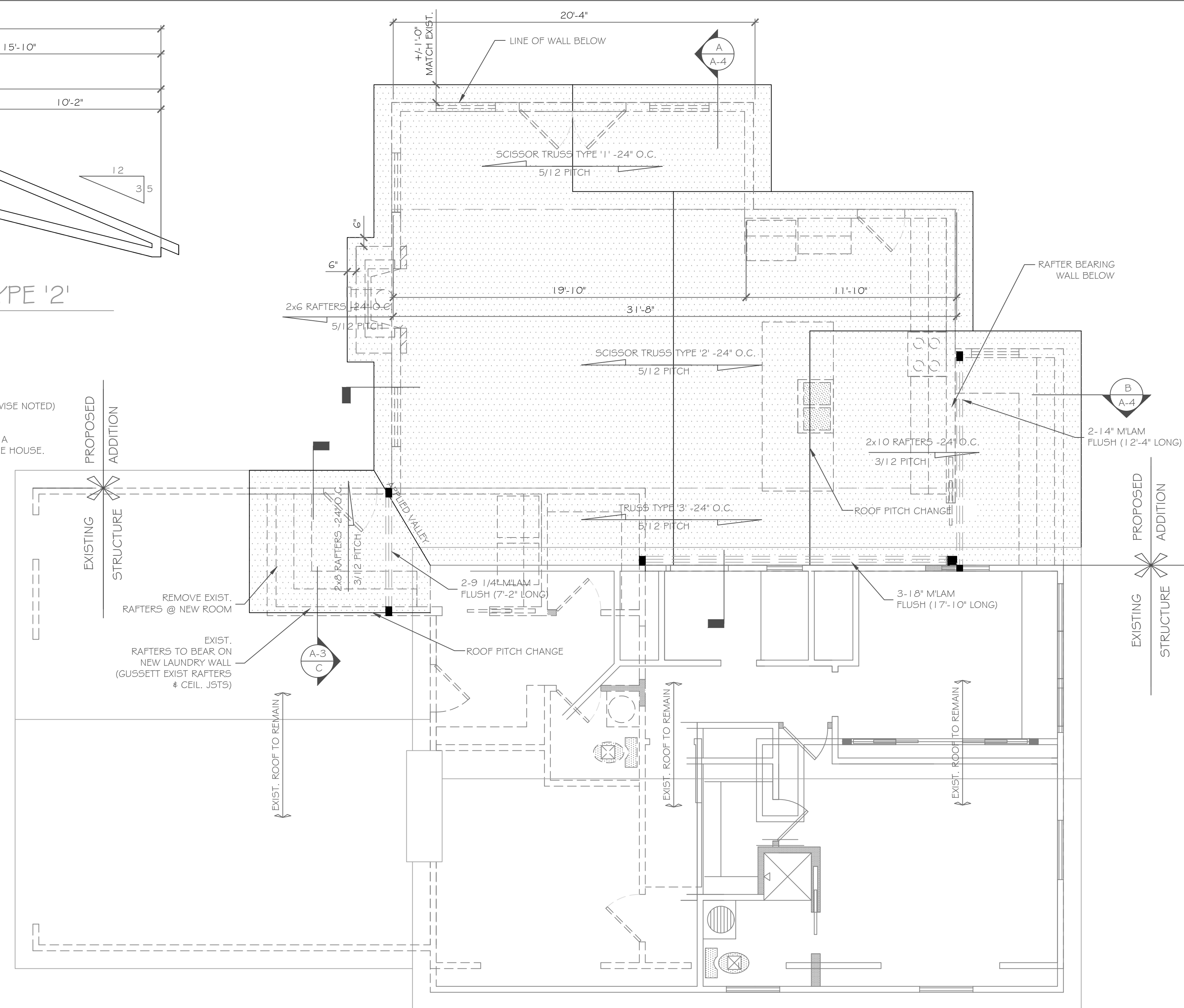


TRUSS TYPE '3'
1/4" = 1'-0"

ROOF PLAN
SCALE: 1/4" = 1'-0"

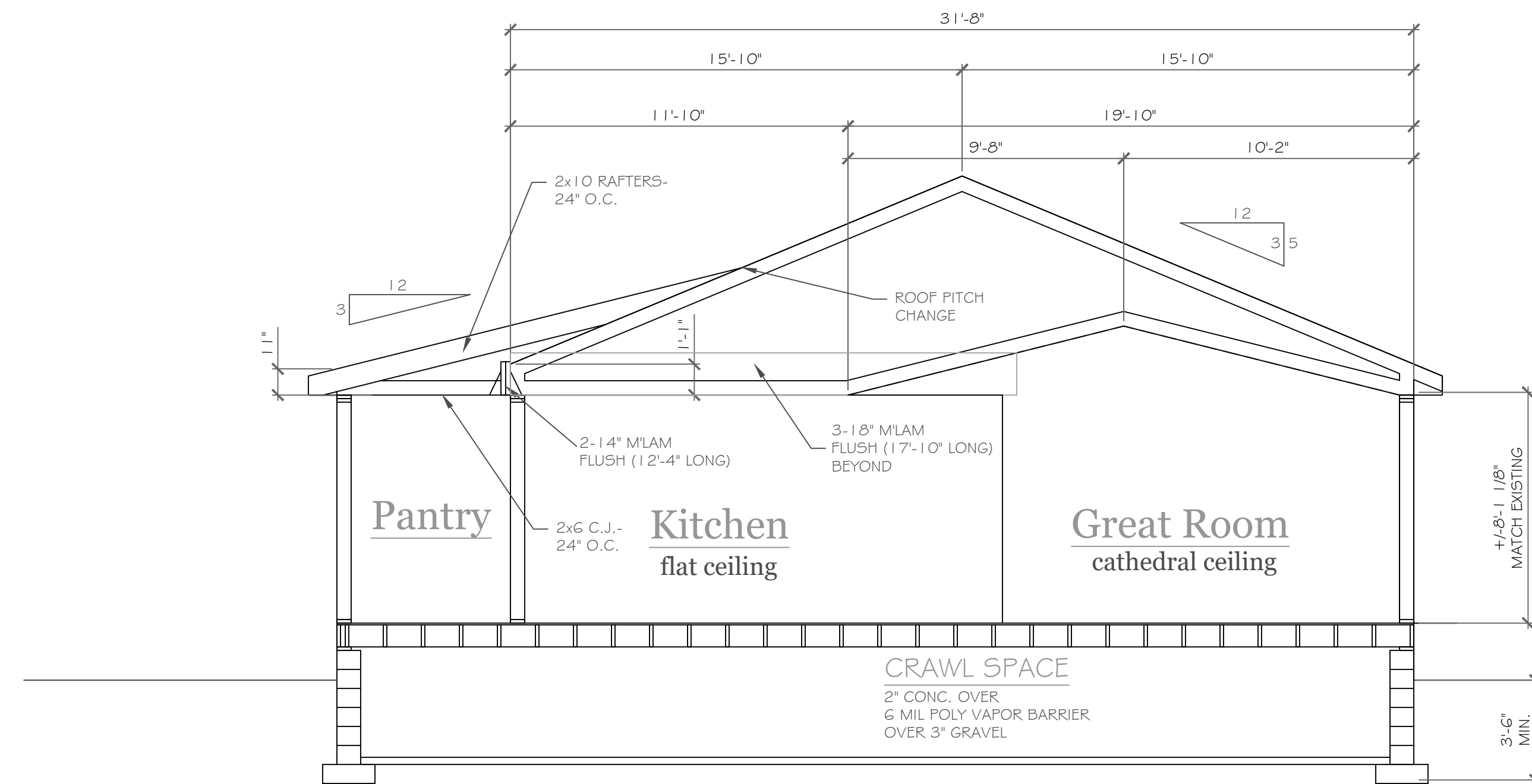
NOTE:
-ALL SOFFITS TO BE +/-1'-0" U.O.N. - MATCH EXIST. (UNLESS OTHERWISE NOTED)
-PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL U.O.N.) @ ALL BRG. POINTS
-PROVIDE ICE & WATER SHIELD OR EQUAL FROM THE EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE HOUSE.

APPLIED VALLEY FRAMING
-USE 2 X 12 FLAT OF ROOF SHEATHING FOR 2 X 10 RAFTERS
-USE 2 X 10 FLAT OF ROOF SHEATHING FOR 2 X 8 RAFTERS
-USE 2 X 8 FLAT OF ROOF SHEATHING FOR 2 X 6 RAFTERS.



CROSS SECTION A
1/4" = 1'-0"

NOTE:
NEW AND EXIST. FIRST FLOOR & CEILING TO ALIGN



CROSS SECTION A
1/4" = 1'-0"

NOTE:
NEW AND EXIST. FIRST FLOOR & CEILING TO ALIGN

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Roof Plan & Sections

PHASE:
Construction Documents

PROJECT: Additions & Renovations to:
**41 Carriage Court
Pittsford, New York**

CLIENT:
Stephanie Thomas

JOB NO.:
A22-029

DATE:
July 10, 2023

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DRAWING NO. -
A-4

To the best of my knowledge, belief, and professional judgement, these drawings are in compliance with these requirements and the Energy Code.

R103.2 Information on construction documents. Construction documents shall be drawn to scale upon suitable material.

Electronic media documents are permitted to be submitted where approved by the code official. Construction documents shall be of sufficient clarity to indicate the location, nature and extent of the work proposed, and show in sufficient detail pertinent data and features of the building, systems and equipment as herein governed. Details shall include, but are not limited to, the following as applicable:

1. Mechanical system design criteria.
2. Mechanical and service water-heating system and equipment types, sizes and efficiencies.
3. Equipment and system controls.
4. Duct sealing, duct and pipe insulation and location.

M/E/P contractors are required to prepare and submit mechanical, lighting and service water heating system and equipment data to demonstrate full Energy Code compliance.

R302.7 Under-Stair Protection

Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board

R302.11 Fireblocking

In combustible construction, fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

R311.3 Floors and Landings at Exterior Doors

There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Every landing shall have a dimension of not less than 36 inches (914 mm) measured in the direction of travel. The slope at exterior landings shall not exceed 1/4 unit vertical in 12 units horizontal (2 percent).

Exception: Exterior balconies less than 60 square feet (5.6 m2) and only accessible from a door are permitted to have a landing less than 36 inches (914 mm) measured in the direction of travel.

R311.3.1 Floor Elevations at the Required Egress Doors
Landings or finished floors at the required egress door shall be not more than 1 1/2 inches (38 mm) lower than the top of the threshold.

Exception: The landing or floor on the exterior side shall be not more than 7/4 inches (196 mm) below the top of the threshold provided the door does not swing over the landing or floor.

R401.3 Certificate (Mandatory). A permanent certificate shall be completed by the builder or registered design professional

and posted on a wall in the space where the furnace is located, a utility room or an approved location inside the building. Where located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels. The certificate shall list the predominant R-values of insulation installed in or on ceiling/roof, walls, foundation (slab, basement wall, crawlspace wall and floor) and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Where there is more than one value for each component, the certificate shall list the value covering the largest area. The certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. Where a gas-fired unvented room heater, electric furnace or baseboard electric heater is installed in the residence, the certificate shall list "gas-fired unvented room heater," "electric furnace" or "baseboard electric heater," as appropriate. An efficiency shall not be listed for gas-fired unvented room heaters, electric furnaces or electric baseboard heaters.

R402.2.4 Access hatches and doors. Access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A woodframed or equivalent baffle or retainer is required to be provided when loose-fill insulation is installed, the purpose of which is to prevent the loose-fill insulation from spilling into the living space when the attic access is opened, and to provide a permanent means of maintaining the installed R-value of the loose-fill insulation.

Exception: Vertical doors that provide access from conditioned to unconditioned spaces shall be permitted to meet the fenestration requirements of Table R402.1.2 based on the applicable climate zone specified in Chapter 3.

R402.4.3 Fenestration air leakage. Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m2), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m2), when tested according to NFRC 400 or AAMA/WDMA/CSA 1011.5.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer. Exception: Site-built windows, skylights and doors.

R402.4.4 Rooms containing fuel-burning appliances. In Climate Zones 3 through 8, where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening shall be located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms shall be sealed and insulated in accordance with the envelope requirements of Table R402.1.2, where the walls, floors and ceilings shall meet not less than the basement wall R-value requirement. The door into the room shall be fully gasketed and any water lines and ducts in the room insulated in accordance with Section R403. The combustion air duct shall be insulated where it passes through conditioned space to a minimum of R-8.

Exceptions:
1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside.
2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the International Residential Code.

R402.4.5 Recessed lighting. Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

R403.1 Controls (Mandatory). At least one thermostat shall be provided for each separate heating and cooling system. R403.1.1 Programmable thermostat. The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).

R403.3.2 Sealing (Mandatory). Ducts, air handlers and filter boxes shall be sealed. Joints and seams shall comply with either the International Mechanical Code or International Residential Code, as applicable.

R403.3.5 Building cavities (Mandatory). Building framing cavities shall not be used as ducts or plenums.

R403.3.3 Duct testing (Mandatory). Ducts shall be pressure tested to determine air leakage by one of the following methods:

1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
2. Postconstruction test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test. Exception: A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope

The ductwork is within the thermal envelope.

R403.5.1 Heated water circulation and temperature maintenance systems (Mandatory). Heated water circulation systems shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.

R403.6 Mechanical ventilation (Mandatory). The building shall be provided with ventilation that meets the requirements of the International Residential Code or International Mechanical Code, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.

R403.6.1 Whole-house mechanical ventilation system fan efficacy. Mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.1. Exception: Where mechanical ventilation fans are integral to tested and listed HVAC equipment, they shall be powered by an electronically commutated motor.

TABLE R403.6.1

MECHANICAL VENTILATION SYSTEM FAN EFFICACY

For SI: 1 cfm = 28.3 L/min.
FAN LOCATION AIR FLOW RATE MINIMUM (CFM)
MINIMUM EFFICACY (CFM/WATT)
AIR FLOW RATE MAXIMUM (CFM)
Range hoods Any 2.8 cfm/watt Any
In-line fan Any 2.8 cfm/watt Any
Bathroom, utility room 10 1.4 cfm/watt < 90
Bathroom, utility room 90 2.8 cfm/watt Any

Refer to Table R402.1.2 for all Insulation and Fenestration Requirements by Component. This project is located in climate zone 5 and has a fenestration U-factor of .32. There is no requirement for SHGC in this climate zone.

ELECTRICAL POWER AND LIGHTING SYSTEMS

R404.1 Lighting equipment (Mandatory). Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

Exception: Low-voltage lighting.
R404.1.1 Lighting equipment (Mandatory). Fuel gas lighting systems shall not have continuously burning pilot lights.

ENERGY EFFICIENCY:

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.2 THROUGH R402.4.4

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.2.2 AND R402.4.1.2 THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1 AS APPLICABLE TO THE METHOD OF CONSTRUCTION WHERE REQUIRED BY THE CODE OFFICIAL. AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR CHANGES PER HOUR IN CLIMATE ZONES 1 AND 2, AND 3 AIR CHANGES PER HOUR IN CLIMATE ZONES 3 THROUGH 8. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E779 OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED BUT NOT SEALED BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF TEST, SHALL BE FULLY OPEN. A MINIMUM OF 75 % OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS PER SECTION R404.1 OF THE 2015 IECC.

ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED, AND LATCHED PER R402.2.4 OF THE 2015 IECC.

SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. ALL OTHER DUCTS SHALL BE INSULATED TO A MIN. OF R-6, WITH THE EXCEPTION OF DUCTS OR A PORTION THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE AS PER SECTION 403.3.1 OF THE IECC.

MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3 AS PER SECTION 403.4 OF THE IECC.

OUTDOOR AIR INTAKE AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION IS NOT OPERATING AS PER SECTION 403.6 OF THE 2015 IECC.

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE- Specifications	PROJECT- Additions & Renovations to: 41 Carriage Court Pittsford, New York	CLIENT- Jonathon & Stephanie Thomas	PHASE- Construction Documents
			JOB NO - A22-029
			DATE- July 10, 2023

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DRAWING NO. -
A-6

GENERAL CONSTRUCTION NOTES:

1. Construction shall conform to the 2015 IRC as amended by the 2016 Uniform Code Supplement and the 2015 IECC as amended by the 2016 Supplement to the New York State Energy Conservation Construction Code (known as the New York State Uniform Fire Prevention and Building Code).
2. The Contractor shall comply with all applicable Building, Electrical, Mechanical, Sanitary and Energy Codes (local, state, and federal).
3. Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the latest edition of the Residential Code of New York State.
4. In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.
5. The Contractor shall be responsible for all construction means, methods, techniques, sequences, and safety precautions in connection with the work.
6. The Contractor shall verify all existing conditions, requirements, notes, and dimensions shown on Drawings or noted in Specifications. Any variances within Drawings and Specifications, or with conditions encountered at job site, shall be reported to Owner/Architect in writing before commencement of any work effected by such variance.
7. The Contractor shall rigidly adhere to all laws, codes, and ordinances which apply to this work. He shall notify and receive clarification from Owner/Architect in writing of any variances between contract documents and governing regulations.
8. The Contractor shall bring errors and omissions which may occur in Contract Documents to the attention of the Architect in writing and written instructions shall be obtained before proceeding with the work. The Contractor will be held responsible for the results of any errors, discrepancies, or omissions in the Contract Documents, of which the Contractor failed to notify the Architect before construction and/or fabrication of the work.
9. The Contractor shall be responsible for adapting these plans, if required, to suit the needs of the building on the site provided that the alterations do not violate the code or alter the structural integrity of the building. The Contractor shall make no structural changes without written approval of the Architect.

10. No site visits will be made by this Architect. Contractor shall assume all responsibility for changes to these drawings and specifications.

11. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals which meet applicable standards and specifications may be used.

12. Construction loads shall not overload structure nor shall they be in excess of design loadings indicated herein.

A. Provide temporary bracing, shoring, guying, or other means to avoid excessive stresses and to hold structural elements in place during construction.

B. Construction materials shall be spread out if placed on framed floors or roof. Loads shall not exceed the design live load per square foot.

13. Due to revisions made during the development of these drawings, they may not reflect the dimensions noted. Do not scale the drawings.

14. Call UFPO before you dig. 1-800-962-7962.

15. All dimensions are face of wall to face of wall (rough).

16. Contractors' are responsible for coordinating work with other trades wherever they overlap.

17. All details are subject to change due to existing field conditions. Contractors' must notify Owner/Architect of same.

18. Interior and exterior finish material selection (including, but not limited to, siding, roofing, wall, floor and ceiling finishes) by Owner and Contractor unless otherwise specified.

19. All subcontractors shall leave extra materials for patching and/or repair of all interior and exterior finish materials including, but not limited to, flooring, wall coverings, roofing, siding, etc. Coordinate exact list and quantity of materials required with owner.

20. Design of electric, plumbing, and HVAC systems by other consultants or contractors. Verify municipal requirements and location of existing utilities/services prior to construction. The Contractor shall be responsible for compliance with the Energy Conservation Construction Code for all HVAC equipment, and controls, Water heating equipment, pipe and duct insulation and fluorescent lamps and ballasts.

21. Where reference is made to various test standards for materials, such standards shall be the latest edition or addendum.

22. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope of the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction. No adjustment will be made to the contract sum or time of completion for failure to include any portion of the work where such inclusion may be reasonably inferred from the contract documents.

SITE WORK:

1. Site work shall include all site demolition, cleaning, excavation, filling, grading, drainage, and related items necessary to complete the work indicated on drawings.
2. Contractor shall investigate site during cleaning and earthwork operations for filled excavations or buried structures such as cess pools, cisterns, foundations, etc. If any such items are found, Owner/Architect shall be notified immediately.
3. Before commencing construction or excavation activities at the site, Contractor shall obtain geotechnical assistance of a registered soils testing laboratory. Testing laboratory shall make necessary borings, tests, and analysis of soils at locations and elevations pertinent to the project of preparations of a soils test and recommendations report.
4. It is assumed that the subsurface conditions will be earth or soil. If bedrock is encountered, removal will be considered an addition to the contract.
5. Contractor shall extend asphalt driveway and parking area to new addition. Driveway construction shall be in accordance with generally accepted industry standards.

CONCRETE:

1. GENERAL:
 - A. Footings may be poured neat against sides of excavations only if sloughing or raveling does not occur.
 - B. Contractor shall be responsible for support of all temporary embankments and excavations.
2. STRUCTURAL BACKFILL:
 - A. Structural backfill of well graded sand and gravel or crusher run stone shall be placed in 6-inch maximum lifts and compacted to a minimum density of 95% (under slabs-on-grade and building structure) and 90% (elsewhere) of maximum density at optimum moisture content as determined by ASTM D698.

CONCRETE: (Cont.)

- B. Backfill shall be free of excessive vegetation, debris or other deleterious materials and contain no particles larger than 3-inches in diameter and no more than 10% passing the #200 sieve.
 - C. Backfill shall not be placed against basement retaining walls until (1.) Concrete or masonry grout has reached its specified 28 days strength, and (2.) Structural floor framing (including plywood subfloor) required to stabilize walls is complete and fully nailed and anchored.
3. FOOTINGS:
 - A. Footings shown on drawings are sized for building design loads and an assumed soil bearing capacity of 1,500 psf. Verify actual soil bearing capacity on site and notify Owner/Architect in writing if less than 1,500 psf.
 - B. Footings shall be placed at a minimum depth of 42-inches below adjacent finished grade unless otherwise specified on the Contract Documents.
 - C. Final 3-inches of excavation shall be removed by hand tool operations in order to assure undisturbed bearing surfaces.
 - D. Footings shall be founded on firm, undisturbed, native soils free of frost and loose material. Footings may bear on properly engineered backfill provided settlement and/or consolidation tests performed indicate anticipated settlement will not exceed that allowed for the proposed structure. Conditions found to be otherwise shall be reported to Owner/Architect.
 - E. Bottom surface of footings shall not slope more than 1.0 vertical to 10.0 horizontal, except as shown otherwise of drawings.
 - F. No excavation shall be made lower and closer to any footing than 1.0 vertical to 3.0 horizontal, except as shown on drawings.
 - G. Footings and slabs-on-grade shall not be placed on muddy or frozen ground. Sub-grade for slabs-on-grade where vapor barrier is not required shall be damp at time of concrete placement.

4. CONCRETE:
A. All reinforced concrete shall be furnished and installed in accordance with the current ACI-318 "Building Code Requirements For Reinforced Concrete".

B. Concrete shall meet the requirements of ACI 301-72 with type II cement. Minimum 28 days compressive strength of 2,500 psi (footings) and/or 3,500 psi (slabs), unless otherwise specified. Max. slump 4 1/2" as determined by ASTM C143.

C. In on-grade concrete slabs the welded wire fabric reinforcement (when required) shall be located midway in the slab thickness.

D. All exterior concrete to be air-entrained.

E. Provide concrete reinforcing bars at footing locations where soil is engineered fill. Bars shall be 2#4, at the bottom with a minimum of 3" concrete cover, unless noted otherwise. Concrete reinforcing bars are not required at footings bearing on undisturbed soil with a bearing capacity of 2500 psf unless noted otherwise on the drawings.

F. Provisions must be taken to protect all concrete work from frost damage with special attention paid to footings and other on-grade construction prior to backfilling and enclosing the building.

G. Anchor bolts shall conform to ASTM A-307 and shall be 1/2" diameter minimum and 10" long. Placement of anchor bolts shall be: 12" from plate end, 6"-0" O.C. maximum intermediate spacing, minimum 2 bolts per bearing plate section.

H. Provide 6 mil polyethylene vapor barrier membrane complying with ASTM D 2103 where indicated on drawings.

5. MILD STEEL REINFORCEMENT FOR CONCRETE AND MASONRY:
A. Mild steel reinforcement for concrete and masonry construction shall conform to ASTM-A615 Grade 40. Ties, stirrups, and hoops shall conform to ASTM A615-87, Grade 40.

B. Welded wire fabric shall conform to ASTM A185 in as long lengths as practical.

C. PLACING:
1. Reinforcement shall be accurately placed and adequately supported by concrete, metal, or other approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement. Tack welding is not allowed.

2. Except where shown otherwise on structural drawings, reinforcement in concrete shall have concrete cover as follows:
a. Concrete deposited against earth.3"
b. Formed concrete against earth.2"
c. Exterior faces of walls.2"
d. Interior faces of walls.3/4"
e. To top of slabs-on-grade.3/4"

3. All mortar shall conform to ASTM C270, Type 5 with a minimum compressive strength of 1,800 PSI @28 days - 1 part portland cement, 1/4 part lime and 3 parts sand.

4. Grout for filling cmu cores shall conform to ASTM C476, coarse grout, with a minimum compressive strength of 2,500 PSI @ 28 days. Grout shall be placed in lifts not exceeding 4'-0" in height.

5. All masonry walls shall be laid in running bond.

6. All masonry walls shall be reinforced with # gauge horizontal truss-type wire reinforcing, placed in every second bed joint, unless otherwise noted.

7. Cold weather masonry practices shall be followed in accordance with ACI 530/ASCE 6.

MASONRY:

1. Concrete block shall conform to ASTM C90, N - 1. All units shall be 2 core, normal weight.

2. Wall reinforcing shall conform to ASTM A82.

3. All mortar shall conform to ASTM C270, Type 5 with a minimum compressive strength of 1,800 PSI @28 days - 1 part portland cement, 1/4 part lime and 3 parts sand.

4. Grout for filling cmu cores shall conform to ASTM C476, coarse grout, with a minimum compressive strength of 2,500 PSI @ 28 days. Grout shall be placed in lifts not exceeding 4'-0" in height.

5. All masonry walls shall be laid in running bond.

6. All masonry walls shall be reinforced with # gauge horizontal truss-type wire reinforcing, placed in every second bed joint, unless otherwise noted.

7. Cold weather masonry practices shall be followed in accordance with ACI 530/ASCE 6.

STEEL:

1. Provide steel beams, columns, plates, lintels, anchors and ties for the building structure and as part of the concrete and masonry work as shown on the drawings and required for complete installation of work.

STEEL: (Cont.)

2. Products:
 - A. Steel Plates, Shapes and Bars - ASTM A 36
 - B. Steel Pipe - ASTM A 53, Type E or S, Grade B. Steel columns shall be 1 1/2 gauge tubing with a .120 wall thickness and a minimum yield strength of 32,000 psi, unless otherwise indicated
 - C. Fasteners - High-strength bolts and nuts, ASTM A 325 or A 490.
 - D. Shop Paint - SSPC-Paint 2

3. Fabrication and installation per the latest edition of the AISC Manual and Specifications.

4. Use high-strength bolts for field connections. Wood plates bearing upon steel beams shall not be notched. Joists, except as above, may be notched no deeper than 1/4 the depth, at top edge only, provided such notch is located within 1/8 to 1/4 of span from face of support. Sawcuts for notches shall not overrun depth of notch. Holes in joists, beams, and girders shall not be larger in diameter than 1/10 the depth of member and shall be located within center half of the span. All holes shall be centered within depth of member. Holes and notches in studs shall be located within 1/3 of height from either top or bottom, but no closer than 8" from plates. Holes and notches in studs shall not exceed 1" in diameter or depth.

5. All structural steew W shapes shall conform to ASTM A992 or A572. Tube shapes shall conform to ASTM A500 GR 'B'.

6. All welds shall be made in accordance with the latest requirements of the AWS, using E70 electrodes. Provide field touch-up paint to match shop applied primer where paint has been burned off.

WOOD:

1. MATERIALS:
A. All woods and wood construction shall comply with specifications and codes with modifications as specified herein:

1. American Institute of Timber Construction: (Standards Manual).

2. National Forest Products Association: National Design Specifications for Wood Construction.

3. Southern Pine Inspection Bureau: Standard grading rules for Southern Pine Lumber.

4. Truss Plate Institute: Design Specifications for Light Metal Plate Connected Wood Trusses (TPI-71).

5. American Plywood Association: Guide to plywood for floors, plywood sheathings for walls and roofs.

6. American Wood-Preservers Association Standards.

B. All structural lumber shall be Mem-Fir #2 (minimum) stress grade lumber unless noted otherwise. Minimum Fiber Stress in Bending (FB) for all framing lumber to be 1,150 psi.

C. All structural lumber shall be stamped in accordance with the American Institute of Timber Constructors' "Construction Manual".

D. Grade loss resulting from effects of weathering, handling, storage, resawing or dividing lengths will be cause for rejection.

E. All plywood shall be identified by grade mark of an approved inspection agency and shall be Standard C-D, Flat Interior with ext. glue unless otherwise specified on Drawings.

F. Wood which is in contact with concrete, masonry, soil or within 1'-0" of grade or exposed to the exterior shall be pressure preservative treated.

G. All headers shall be as follows unless otherwise noted. Provide (1) 1/2" plywood gusset at 2 x 4 walls and (2) 1/2" plywood gussets @ 2 x 6 walls. All headers to be glued and nailed

Opening Size	Header (2 x 4 Wall)	Header (2 x 6 Wall)
up to 4'-0"	2 - 2 x 8	3 - 2 x 8
4'-0" to 6'-0"	2 - 2 x 10	3 - 2 x 10
6'-0" to 9'-0"	2 - 2 x 12	3 - 2 x 12

H. Locate double floor joist under all interior partitions running parallel to framing under plumbing fixtures and at floor openings. Provide 1 x 3 cross brdgng at all floor joist and spans.

I. Design of wood trusses by others. Manufacturer to have truss design reviewed and certified by an Architect or Professional Engineer licensed in the state of New York prior to fabrication. See Truss Manufacturers specification for details.

J. Roof sheathing shall be APA rated 32 / 1G, with minimum thickness of 15/32". Plywood shall be exterior grade. Panel clips shall be provided at all non-supported edges. Nailings shall be 6D nails at 6" O.C. at edges and 12" O.C. at interior supports.

K. Wall sheathing shall be APA rated 15/32" (minimum). Nailings shall be 6D nails @ 6" O.C. at edges and 12" O.C. at interior supports.

L. Floor sheathing shall be APA rated Stud-1-Floor, T/G, 1G' O.C., 21 / 32 (minimum) capable of supporting a minimum load of 85 PSF with a deflection limit of L/360 of the span. Plywood shall be glued and nailed, 8D nails @ 12" O.C. at each support (unless the nailing pattern is otherwise noted on the drawings)

M. Laminated veneer lumber (L.V.L.) shall be an engineered wood product as manufactured by Truss Joist MacMillan or equal. The material shall meet the following properties: Fb=2600 psi; Fv=285psi; E=1,900,000 psi

N. Multiple piece LVL beams shall be nailed together in accordance with the manufacturers recommended nailing detail. All LVL beams shall have 3" bearing unless otherwise noted.

O. Joist hangers for LVL members shall be those specifically manufactured for the type and size of member.

2. CONNECTIONS:
A. Nailing:
1. Contractor shall adhere to standard industry practices regarding the number and type of fasteners required at each connection including, but not limited to, joists, studs, plates, blocking, brdgng, laminated beams, headers and plywood sheathing.

C. All manufactured connection hardware designated on Drawings shall be galvanized steel or at least 1/8 gauge thickness. Install full nailed in strict conformance to manufacturer's instructions.

D. All steel connections assemblies detailed on Drawings shall be fabricated from ASTM A36 steel in conformance with applicable requirements of AISC "Specification for the Design Fabrication, and Erection of Structural Steel for Buildings". Welding shall conform to AWS D1.1 - 86.

E. Install lag screws in drilled lead holes with a diameter equal to 3/4 of the shank diameter (lag screws shall not be hammered in). Wax or soap lag screws. Provide washers under heads bearing on wood. Holes shall be properly aligned.

F. Bolt holes shall be drilled 1/16" larger than bolt diameter. Provide washers under all bolt heads and nuts bearing on wood. Holes shall be properly aligned.

G. In no case shall misalignment be allowed which prevents proper bearing or alignment of members. Oversize holes shall not be allowed. Bolts shall be ASTM A307 bolts. Nuts shall be tightened snug.

WOOD: (CONT.)

3. INSTALLATIONS:
A. All stud walls shown on Drawings shall have 2 x 4 studs (interior and exterior) placed at 16" O.C. except where shown otherwise.

B. Top plates shall be doubled on all stud walls.

C. Cnpples under headers shall be continuous to sole plate.

D. Block all stud walls as required for sheathing.

E. Beams, girders, and joists supporting bearing walls or other concentrated loads, shall not be notched. Joists, except as above, may be notched no deeper than 1/4 the depth, at top edge only, provided such notch is located within 1/8 to 1/4 of span from face of support. Sawcuts for notches shall not overrun depth of notch. Holes in joists, beams, and girders shall not be larger in diameter than 1/10 the depth of member and shall be located within center half of the span. All holes shall be centered within depth of member. Holes and notches in studs shall be located within 1/3 of height from either top or bottom, but no closer than 8" from plates. Holes and notches in studs shall not exceed 1" in diameter or depth.

F. Contractor shall pay strict adherence to Microlam manufacturers written directions for cutting, drilling, notching, joining and general installation of their products.

G. Joists, rafters, and decking shall not be cut and headed or displaced to provide for openings in roofs or floors, except as detailed on Drawings.

H. Install all horizontal members with crown up.

I. All members in bearing shall be accurately cut and aligned so that full bearing is provided without use of shims. Bearing posts shall have full blocking or support under.

J. All rafters shall be notched for full bearing at all supports.

K. All joists shall have a minimum of 2" bearing at supports.

L. All plywood wall sheathing shall be applied as follows: center vertical joints over studs. Nail top of panels to double top plate, and nail bottom of panels to anchored sill plate. Apply gypsum board so that end joints of adjacent courses do not occur over the same stud.

M. Plywood sub-floor and roof sheathing: Install with face grain at right angles to supports, continuously over two (2) or more spans. Allow minimum space 1/16" between end joints and 1/8" at edge joints for expansion and contraction of panels. Plywood decking shall also be continuously glued and nailed to all joists, rafters or trusses.

N. Underlayment shall not be less than 1/4" in thickness and shall be identified by grademark of an approved inspection agency. Underlayment shall be installed in accordance with code and as recommended by manufacturer. Lay underlayment on #6 Rosin sized sheathing paper.

THERMAL & MOISTURE PROTECTION

1. The following specification shall govern with modifications as specified herein: American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Handbook of Fundamentals.

2. Install flashing and sheet metal in compliance with "Architectural Sheet Metal Manual" by SMACNA.

3. Aluminum flashing shall conform to ASTM B 209, and be minimum 0.016" thick standard building sheet of plain finish. Provide 6" x 8" min. at all step flashing.

4. Backpaint flashings with bituminous paint, where expected to be in contact with cementitious materials or dissimilar metals.

5. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight/weatherproof performance as specified in section R703 & R903 of the RCMS.

6. Siding shall be installed according to manufacturer's printed instructions and shall include all accessories required for a complete installation. Manufacturer, style and color as selected by Owner.

7. Roof valley and eave flashing shall be provided of not less than 36" wide rolled material and shall extend at least 18" from the center line each way and shall have the flow line formed as part of the flashing. Sections of flashing shall have an end lap of not less than 4".

A. Warm areas: Ice and Water Shield at all edge and valley conditions to 24" inside "heated wall".

B. Cold areas: 90 lbs. (mn.) unperforated asphalt felt.

C. All other areas: 15 lb. (mn.) unperforated asphalt felt.

8. Asphalt shingles shall be fastened according to manufacturer's printed instructions, but not less than two (2) nails per each shingle. Exposure 5" for 16" shingle, 5 1/2" for 18" shingle, and 7 1/2" for 24" shingles. Provide one layer of 15 lb. (mn.) building felt under shingles unless noted otherwise. Manufacturer, style and color as selected by Owner.

9. Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain. The net free ventilating area shall be not less than 2/3 of one percent (1%) of the horizontally projected roof area, or 1/3 of one percent (1%) if at least fifty percent (50%) of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. Provide continuous shingled ridge vents installed to manufacturers printed instructions. Manufacturer, style and color as selected by Owner.

10. Provide and install kraft faced glass fiber batt insulation with an insulation-only value of R-49 in roof or ceiling and kraft faced glass fiber batt insulation with an insulation-only value of R-20 in 2 x 6 exterior walls of heated space.

11. Provide and install batt insulation at window shim spaces.

12. Fit insulation tight within spaces and tight to and behind mechanical and electrical services within the plane of insulation. Leave no gaps or voids.

13. Provide and install a 6 mil polyethylene vapor barrier complying with AS17 D2103 at exterior walls, windows and doors of all heated spaces. Equal to Tyvek "House Wrap".

14. Caulk in joints around openings to provide a watertight and airtight seal. Clean joints thoroughly. Areas adjacent to joints shall be masked if necessary to obtain a neat sealer line, free of stains on adjacent surfaces. Joints greater than 3/8" in depth shall be filled with back-up material.

15. All locations indicated on Drawings and wherever air, water, or dust may infiltrate between construction members shall be caulked. Set exterior edges of all exterior thresholds in caulking to provide weather tight seal.

16. Provide seamless 5" K gutters and 2" x 3" downspouts connected to storm sewer system or to non-erosive splash blocks at grade. Include all accessories required for a complete installation. Verify location of downspouts in field with Owner.

DOORS AND WINDOWS

1. Reference standards for doors and windows shall be as follows:

A. Underwriter's Laboratories, Inc.: Building Material Directory

B. National Fire Protection Association: Pamphlet No. 80 - Standard for Fire Doors and Windows.

C. National Woodwork Manufacturers Association: I.S., 1078: Wood Flush Doors

D. ASTM E 283, ASTM E 331.

2. Glazing in locations which may be subject to human impact such as frameless glass doors, glass entrances and ext. doors, fixed glass panels, sliding glass doors, shower doors, tub enclosures, and storm doors shall meet the requirements set forth in the Residential Code of New York State and the Safety Standard for Architectural Glazing Material (16 CFR 1201). All glazed panels located within 12" of a door which may be mistaken for openings for human passage, unless such panels are provided with a horizontal member 1 1/2" minimum in width located between 24" and 36" above the walking surface, shall be tempered glass.

3. Interior doors shall be pre-hung, molded, style and rail door units by Jeld-Wen or equal. Doors shall match adjacent existing door units as closely as possible. Hardware style and finish/color as selected by Owner.

4. All window units shall be of high-performance, wood construction in standard casement, awning, and fixed unit sizes. Provide Insulating Low E II Glass/Argon, removable screens, and extension jamba as required (equal to Andersen vinyl-clad wood windows with a U-Factor of maximum 0.32).

5. Exterior doors shall be insulated fiberglass, pre-primed and pre-hung (Therma-Tru or equivalent). Final manufacturer, style, hardware style and finish/color as selected by Owner.

MECHANICAL

1. Contractor shall provide all labor, materials, and equipment necessary to install plumbing, related fixtures, ventilations, heating and air conditioning. All work shall comply with state and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup of all fixtures and tap in to all utilities is required. Contractor shall install and check all pressure reducing valves, pop off valves and other safety devices prior to operations of system.

ELECTRICAL

1. Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heat elements, and control. All work shall comply with National Electrical Code and the Provisions of Part VIII of the Residential Code of New York. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls.

2. Electrical system layouts, if included in construction documents, are generally diagrammatic, locations of outlets and equipment is approximate. Exact routing of wiring, locations of outlets shall be governed by structural conditions and obstructions. Wiring for equipment requiring maintenance and inspection shall be readily accessible.

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4. Siding shall be installed according to manufacturer's printed instructions and shall include all accessories required for a complete installation. Manufacturer, style and color as selected by Owner.

5. Provide and install flashing at all roof to wall conditions, projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide watertight/weatherproof performance as specified in section R703 & R903 of the RCMS.

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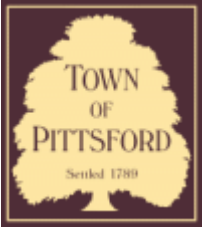
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12. Fit insulation tight within spaces and tight to and



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000099

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 57 Shire Oaks Drive PITTSFORD, NY 14534

Tax ID Number: 151.12-3-9

Zoning District: RN Residential Neighborhood

Owner: Lloyd, Kevin

Applicant: Lloyd, Kevin

Application Type:

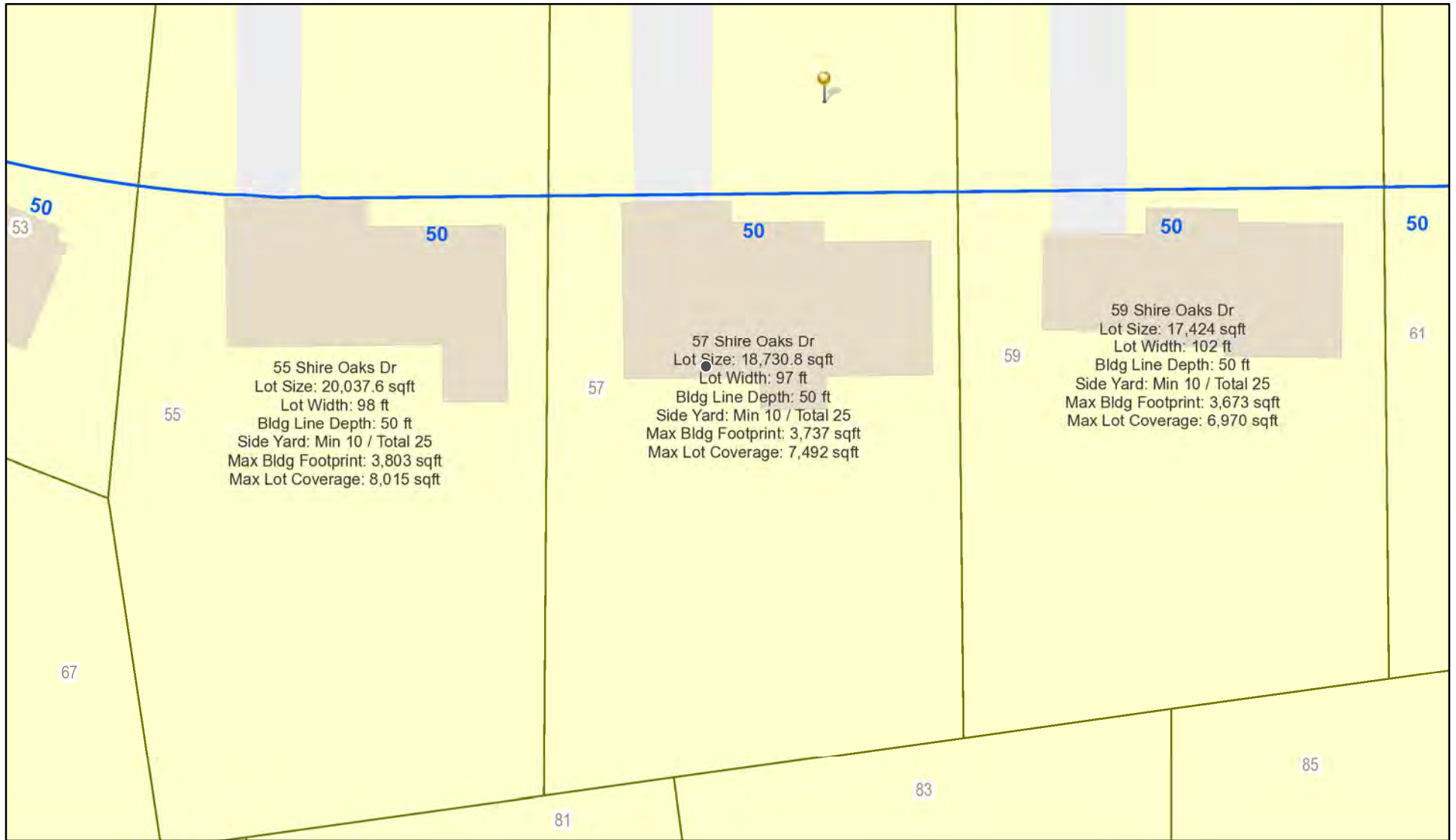
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of an 83 SF Master bath addition of the back of the home.

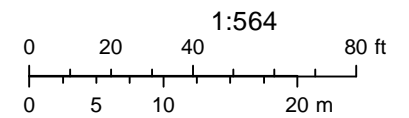
Meeting Date: August 24, 2023



RN Residential Neighborhood Zoning

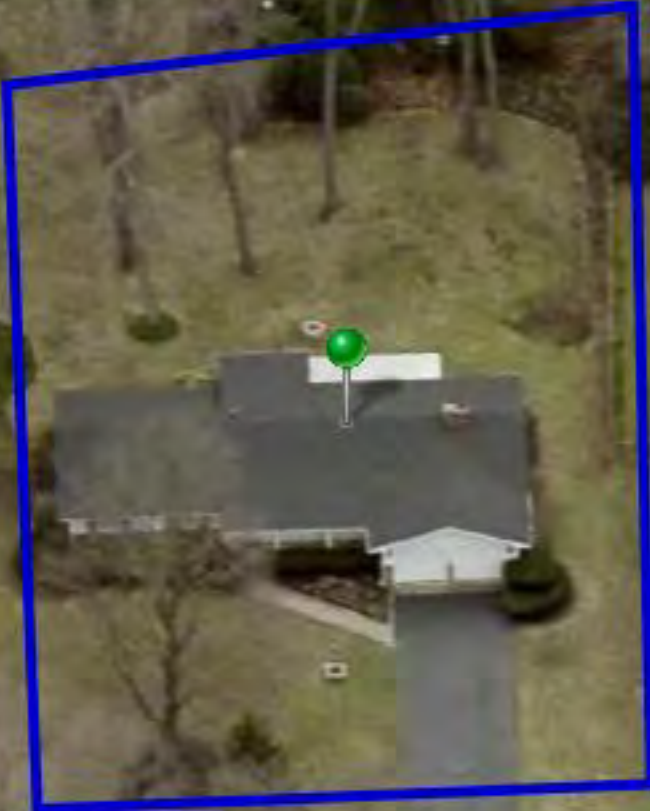


Printed August 16, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Shire Oaks Dr

Shire Oaks Dr

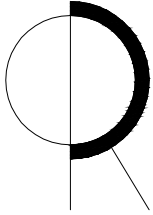
Callingham Rd

Shire Oaks Dr

Callingham Rd

04/03/2021

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O'NEILL-RODAK
 LAND SURVEYING ASSOCIATES, P.C.
 LAND SURVEYORS - PLANNERS
 BOUNDARY CONSULTANTS
 FEMA ELEVATION CERTIFICATES
 ALTA/NSPS SURVEYS

MAP OF A SURVEY

LOT 110
 EAST PITTSFORD MANOR, SECTION 1

TOWN OF PITTSFORD

MONROE COUNTY, NEW YORK

5 SOUTH FITZHUGH STREET
 ROCHESTER, NY
 14614

PHONE (585) 325-7520 FAX (585) 325-1708
 e-mail surveyors@oneillrodak.com

CLIENT

JOHN E. BERNACKI, JR., P.C

SCALE
 1" = 30'

DATE
 07/09/2019

PROJECT NO.
 2019-0945

REVISED TO PROPOSED ADDITION 8/4/23 TAR

NOTES:

PARCEL IS SUBJECT TO AN EASEMENT GRANTED TO ROCH. GAS & ELEC. CORP. AND ROCH. TELEPHONE CORP. FOR FIXTURES AS SET FORTH IN LIBER 3446 OF DEEDS, PAGE 334.

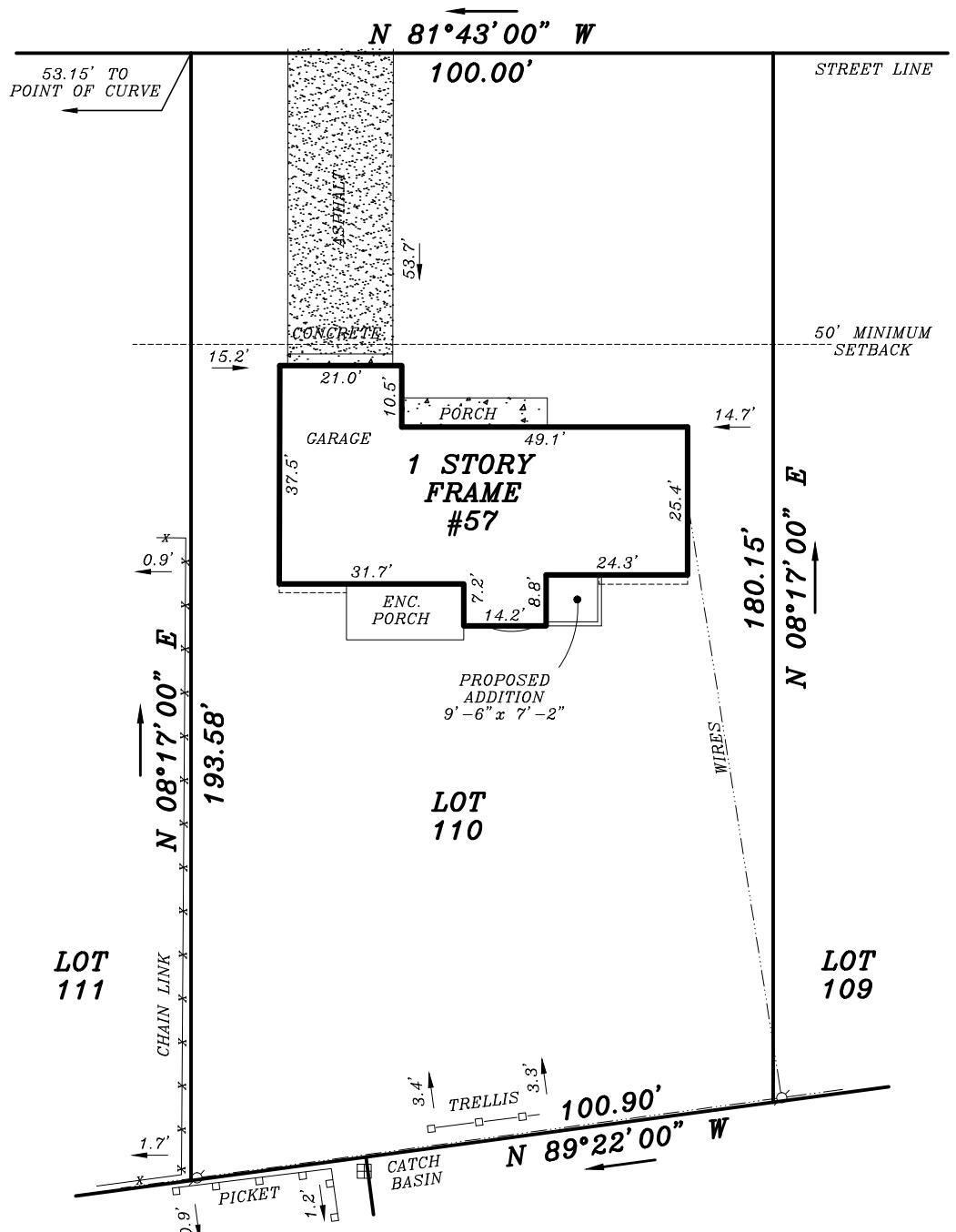
REFERENCE IS MADE TO A GAS MAIN EASEMENT GRANTED TO ROCH. GAS & ELEC. CORP. AS SET FORTH IN LIBER 3446 OF DEEDS, PAGE 335.

PARCEL TAX ID #151.12-3-9



SHIRE OAKS DRIVE

(60' WIDE)



REFERENCES:

CROSSROADS ABSTRACT #441540 DATED JUNE 12, 2019
 LIBER 11470 OF DEEDS, PAGE 118
 LIBER 156 OF MAPS, PAGE 59

"Unauthorized alteration of, or addition to, this survey map is a violation of section 7209 of the New York State Education Law"
 Copies of this survey map not bearing the land surveyor's inked or embossed seal shall not be considered to be a valid true copy.

"Guarantees or certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution.
 Guarantees or certifications are not transferable to the institutions or subsequent owners"

GENERAL NOTES

1. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2020 Residential Code of New York State AND THE 2020 Energy Conservation Construction Code of New York State (the 2020 ECCCOS). THE PATH TO ENERGY CODE COMPLIANCE FOR THIS PROJECT IS THE PRESCRIPTIVE CODE TABLE N1102.1.2 (INSULATION) AND PENETRATION REQUIREMENTS BY COMPONENT) SEE TABLE BELOW AND IN TYPICAL BUILDING SECTION

FOR SEALING OF GAPS, JOINTS, AND INSULATION FIT, SEE CODE TABLE N1102.4.1 (INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT) SEE TABLE THIS SHEET AND IN TYPICAL BUILDING SECTION. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THESE AFORESAID CODES REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS - NOTE THAT THERE MAY BE POSSIBLE MODIFICATIONS BY LOCAL CODE ADMINISTRATION

2. THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY - ELECTRICAL, MECHANICAL, SANITARY, GENERAL PLUMBING, HVAC, AND OTHER BUILDING SYSTEMS IF ANY ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS. VERIFY MUNICIPAL REQUIREMENTS AND LOCATION OF EXISTING UTILITIES/SERVICES PRIOR TO CONSTRUCTION.

3. CONSTRUCTION DOCUMENTS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL AND ENGINEERING PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE.

4. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

6. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, AND DIMENSIONS SHOWN ON DRAWINGS OR NOTED IN SPECIFICATIONS, ANY VARIANCES WITHIN DRAWINGS AND SPECIFICATIONS, OR WITH CONDITIONS ENCOUNTERED AT JOB SITE, SHALL BE REPORTED TO OWNER/ENGINEER IN WRITING BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.

7. THE CONTRACTOR SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES WHICH APPLY TO THIS WORK. HE SHALL NOTIFY AND RECEIVE CLARIFICATION FROM OWNER/ARCHITECT IN WRITING OF ANY VARIATIONS BETWEEN CONSTRUCTION DOCUMENTS AND GOVERNING REGULATIONS.

8. THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

9. N/A

10. NO SITE VISITS WILL BE MADE BY HUNT JGL ARCHITECTURE - CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND SPECIFICATIONS.

11. ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS AND PROVISIONS OF APPLICABLE INDUSTRY STANDARDS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.

12. GENERAL DESIGN CRITERIA

- A) WEATHERING ZONE - SEVERE
 - B) FROST LINE DEPTH - 42" BELOW GRADE
 - C) TERMITE DAMAGE - SLIGHT TO MODERATE
 - D) DECAY DAMAGE - NONE TO SLIGHT
 - E) WINTER DESIGN TEMP - (1) DEGREE
 - F) ICE SHIELD UNDERLAYMENT REQUIRED
 - G) ROOF TIE DOWN REQUIREMENTS - R804.3.6 (BASED ON SPECIFIC ROOF DESIGN)
 - H) ENERGY COMPLIANCE DETAILS AND PATH - N1102.4.1.1 FOR AIR BARRIER AND INSULATION INSTALLATION
 - I) FLOOD HAZARD - FIRM 1987
- 13. LOAD DESIGN CRITERIA**
- A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
 - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
 - C) GROUND SNOW LOAD = 50 PSF (REDUCTION FACTORS FOR SLOPED ROOFS MAY APPLY PER ASCE 7)
 - D) WIND SPEED - 115 MPH, EXPOSURE B
 - E) SEISMIC DESIGN CATEGORY - B
 - F) DEFLECTION LIMITS SHALL BE AS FOLLOWS: U/360 FOR ALL FLOORS AND EXTERIOR DECKS U/240 ATTIC FLOORS U/240 ROOF WITH FINISHED CEILING U/180 ROOF WITHOUT FINISHED CEILING

** ASSUMED SAFE SOIL BEARING CAPACITY = 2000 PSF AT BOTTOM OF FOOTINGS - ASSUMED BEARING CAPACITY VALUE MAY BE INCREASED IF SITE SPECIFIC SOIL CLASSIFICATION DATA OR LOAD BEARING TEST DATA IS AVAILABLE. IF LESS DESIRABLE SOIL CONDITIONS BECOME KNOWN DURING EXCAVATION OF SITE, NOTIFY ARCHITECT FOR POSSIBLE ALTERNATE FOUNDATION DESIGN

** CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADINGS INDICATED HEREIN.

** PROVIDE TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

** CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

14. DUE TO REVISIONS MADE DURING THE DEVELOPMENT OF THESE DRAWINGS, THEY MAY NOT REFLECT THE DIMENSIONS NOTED. DO NOT SCALE THE DRAWINGS.

15. N/A
16. CALL UPFO BEFORE YOU DIG. 1-800-962-7962.
17. ALL DIMENSIONS ARE ROUGH UNLESS NOTED OTHERWISE.
18. INTERIOR AND EXTERIOR FINISH MATERIAL SELECTION (INCLUDING, BUT NOT LIMITED TO, SIDING, ROOFING, WALL, FLOOR AND CEILING FINISHES) SHALL BE BY OWNER AND CONTRACTOR UNLESS OTHERWISE SPECIFIED.

19. ALL SUBCONTRACTORS SHALL LEAVE APPROXIMATELY 5% EXTRA MATERIALS FOR PATCHING AND/OR REPAIR OF ALL INTERIOR AND EXTERIOR FINISH MATERIALS INCLUDING, BUT NOT LIMITED TO, FLOORING, WALL COVERINGS, ROOFING, SIDING, ETC. COORDINATE EXACT LIST AND QUANTITY OR MATERIALS REQUIRED WITH OWNER.

20. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION OR ADDENDUM.

21. FOOTINGS SHALL BEAR ON FIRM, LEVEL UNDISTURBED NATURAL OR COMPACTED ENGINEERED SOIL, FREE FROM FROST, LOOSE MATERIAL, AND ORGANIC MATERIAL, BRUSH AND DEBRIS

22. GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE NEW YORK STATE RESIDENTIAL CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R308.1. DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELITES (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS)

23. WHERE ASPHALT SHINGLE ROOF SLOPE IS FROM 2 IN 12 TO 6 IN 12, TWO LAYERS OF UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH SECTION R905.1.1 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. (AS AN ALTERNATIVE, SELF-ADHERING POLYMER-MODIFIED BITUMEN UNDERLAYMENT COMPLYING WITH ASTM D1970 INSTALLED IN ACCORDANCE WITH BOTH THE UNDERLAYMENT MANUFACTURERS' AND ROOF COVERING MANUFACTURERS' INSTRUCTIONS FOR THE DECK MATERIAL, ROOF VENTILATION CONFIGURATION AND CLIMATE EXPOSURE FOR THE ROOF COVERING TO BE INSTALLED, SHALL BE PERMITTED.

24. PROVIDE HEADERS OVER ALL FRAMED OPENINGS, INCLUDING WINDOW AND DOOR OPENINGS. MINIMUM HEADER SIZE, AND NUMBER OF JACK STUDS TO MEET THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. (SEE HEADER NOTATION ON DRAWINGS)

25. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL AND ROOF INTERSECTIONS AND PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS; UNDER AND AT ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS; AND WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION, AND BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQUIRED TO COMPLY WITH ALL OF SECTION R703.6 OF THE 2020 RESIDENTIAL CODE OF NYS.

26. WHERE EXISTING EXTERIOR WINDOWS AND/OR DOORS ARE REMOVED, THE INFILL CONSTRUCTION SHALL BE INSULATED TO FULL DEPTH. THE INSULATION SHALL BE OF EQUAL OR GREATER R-VALUE THAN WHAT WAS REMOVED.

27. WHERE SPRAY FOAM INSULATION IS USED, A LETTER FROM THE FOAM INSULATION INSTALLER WILL BE REQUIRED TO CERTIFY THE INSTALLED DEPTH OF INSULATION AND THE EQUIVALENT R-VALUE. THE LETTER MUST BE ON THE INSTALLER'S LETTERHEAD WITH AN ORIGINAL SIGNATURE. THE INSTALLED VALUES MUST BE EQUAL TO, OR BETTER THAN THOSE SHOWN ON THE DRAWINGS PROVIDED FOR THIS PROJECT.

28. ICE BARRIER AT EAVE: IN ACCORDANCE WITH R905.1.2 ICE BARRIERS: IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACKUP OF WATER AS DESIGNATED IN TABLE R901.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 26 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN EIGHT UNITS VERTICAL IN 12 UNITS HORIZONTAL (67-PERCENT SLOPE), THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES (916 MM) MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.

TABLE N1102.4.2 AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air-permeable insulation is not used as a sealing material.
Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
Windows and doors	Space between window/door jambs and framing is sealed.
Rim joists	Rim joists are insulated and include an air barrier.
Floors (including above garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of floor.
Crawlspace walls	Insulation is permanently attached to walls. Exposed earth in unvented crawlspaces is covered with Class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed.
Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
Garage separation	Air sealing is provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures are airtight, IC rated and sealed to drywall. Exception--fixtures in conditioned space.
Plumbing and wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
Electrical/phone box on exterior wall	Air barrier extends behind boxes or air sealed type boxes are installed.
Common wall	Air barrier is installed in common wall between dwelling units.
HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
Fireplace	Fireplace walls include an air barrier.

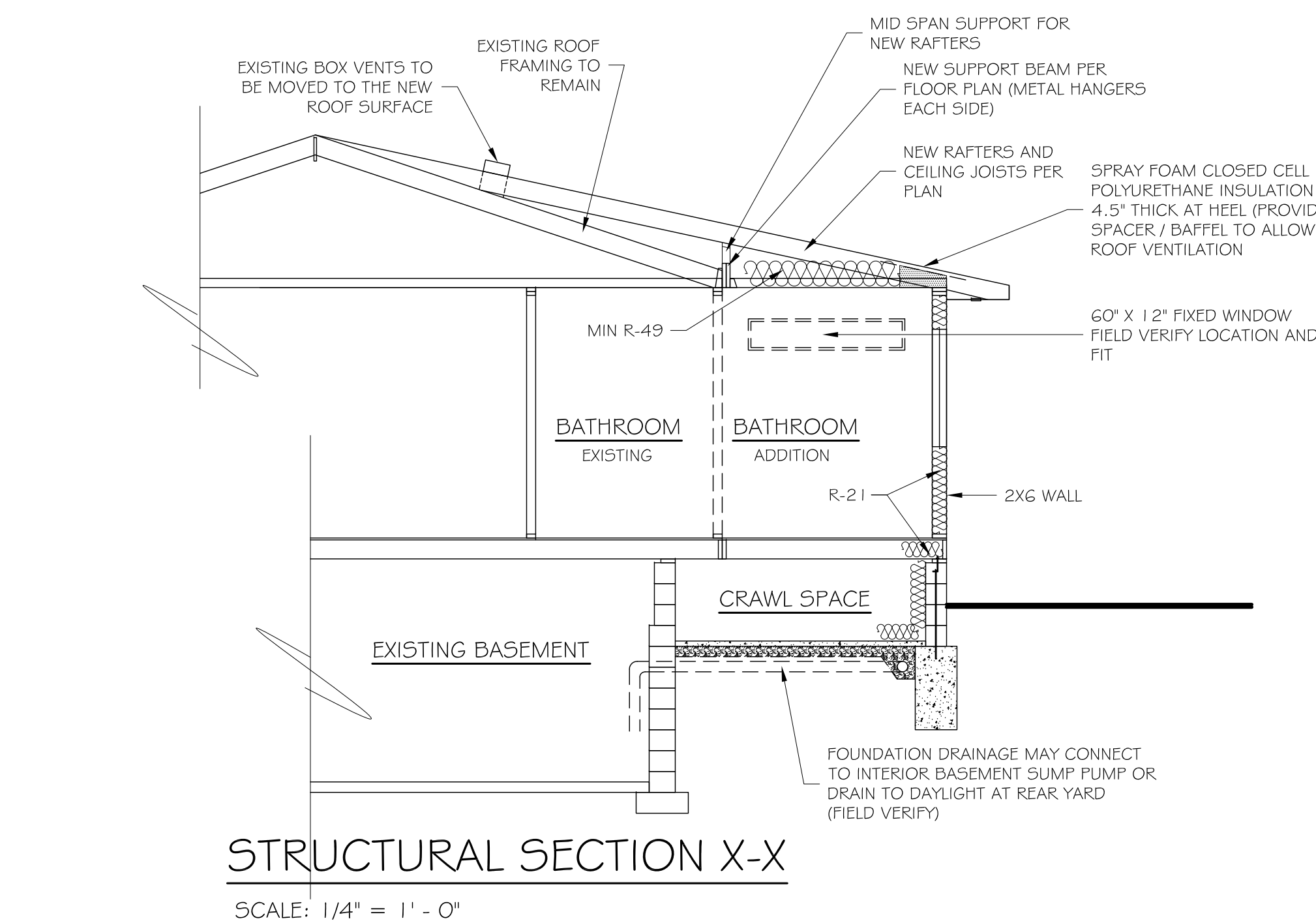
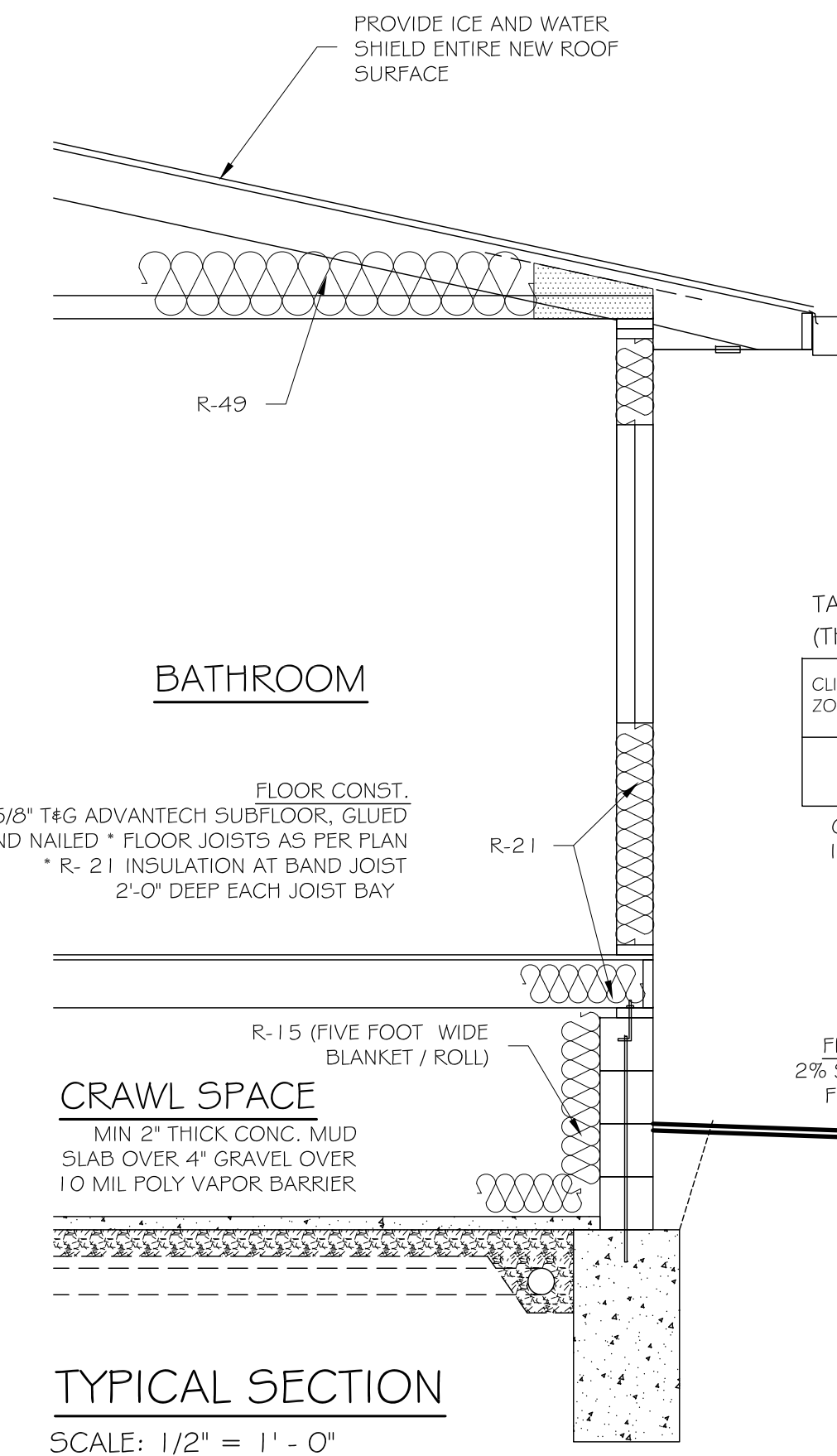
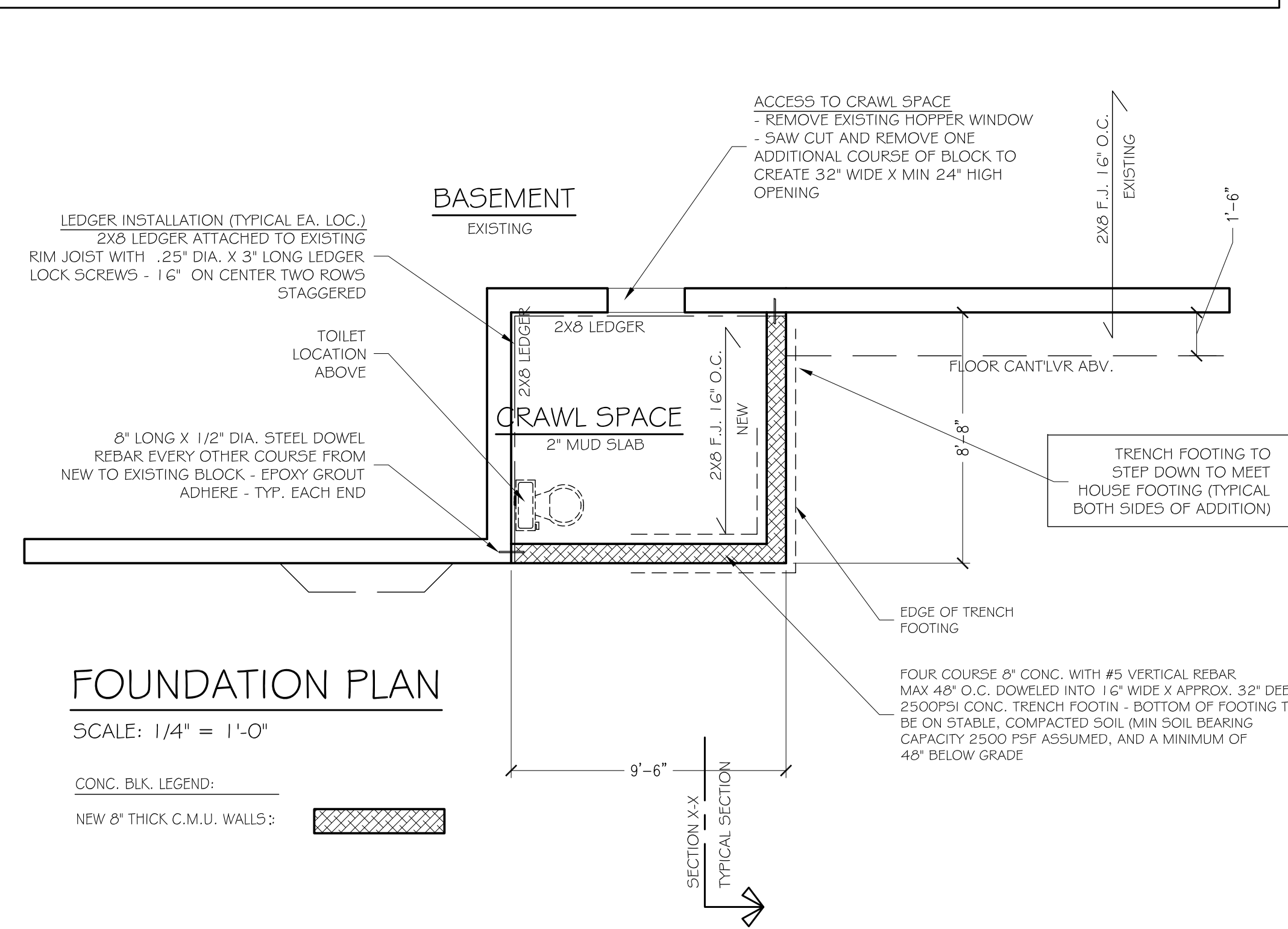


TABLE N1102.1.2 (INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT) (THIS TABLE HAS BEEN ABBREVIATED TO FIT THIS PROJECT)

CLIMATE ZONE	PENETRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENETRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	BASEMENT WALL R-VALUE	CRAWL SPACE WALL R-VALUE
5	0.30	0.55	NR	R-49	20 OR 13+5	R-15/18	R-15/19

GENERAL NOTE: AIR BARRIER AND INSULATION CRITERIA SHALL BE PROVIDED IN INSTALLED IN ACCORDANCE WITH NYS RES CODE TABLE N1102.4.1.1. (SEE SHEET A-1)

GENERAL NOTE: AIR BARRIER AND INSULATION CRITERIA SHALL BE PROVIDED IN INSTALLED IN ACCORDANCE WITH NYS RES CODE TABLE N1102.4.1.1. (SEE SHEET A-1)

NOTE: DOORS AND WINDOWS - NEW DOORS AND WINDOWS SHALL HAVE A 0.28 U-VALUE OR LESS

THIS IS A PORTION OF AN ARCHITECTURAL DRAWING. ANY REVISIONS TO THIS DOCUMENT SHALL BE MADE TO THE ORIGINAL DRAWING. ANY CHANGES TO THIS DOCUMENT SHALL BE MADE TO THE ORIGINAL DRAWING. ANY CHANGES TO THIS DOCUMENT SHALL BE MADE TO THE ORIGINAL DRAWING.

TO THE BEST OF MY KNOWLEDGE BELIEF AND PROFESSIONAL JUDGEMENT, THE DRAWINGS CONVEYED ON THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE CURRENT EDITION

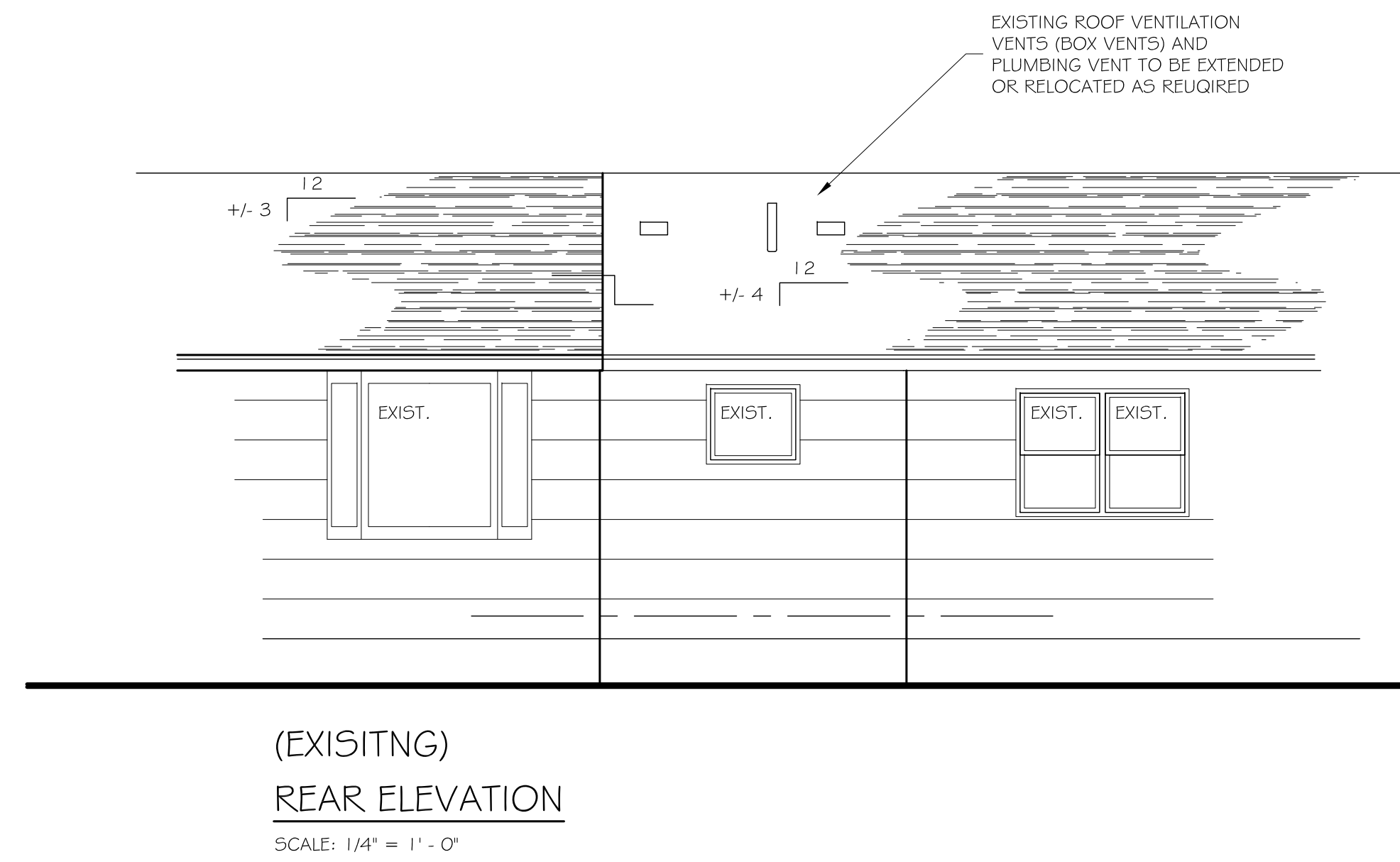
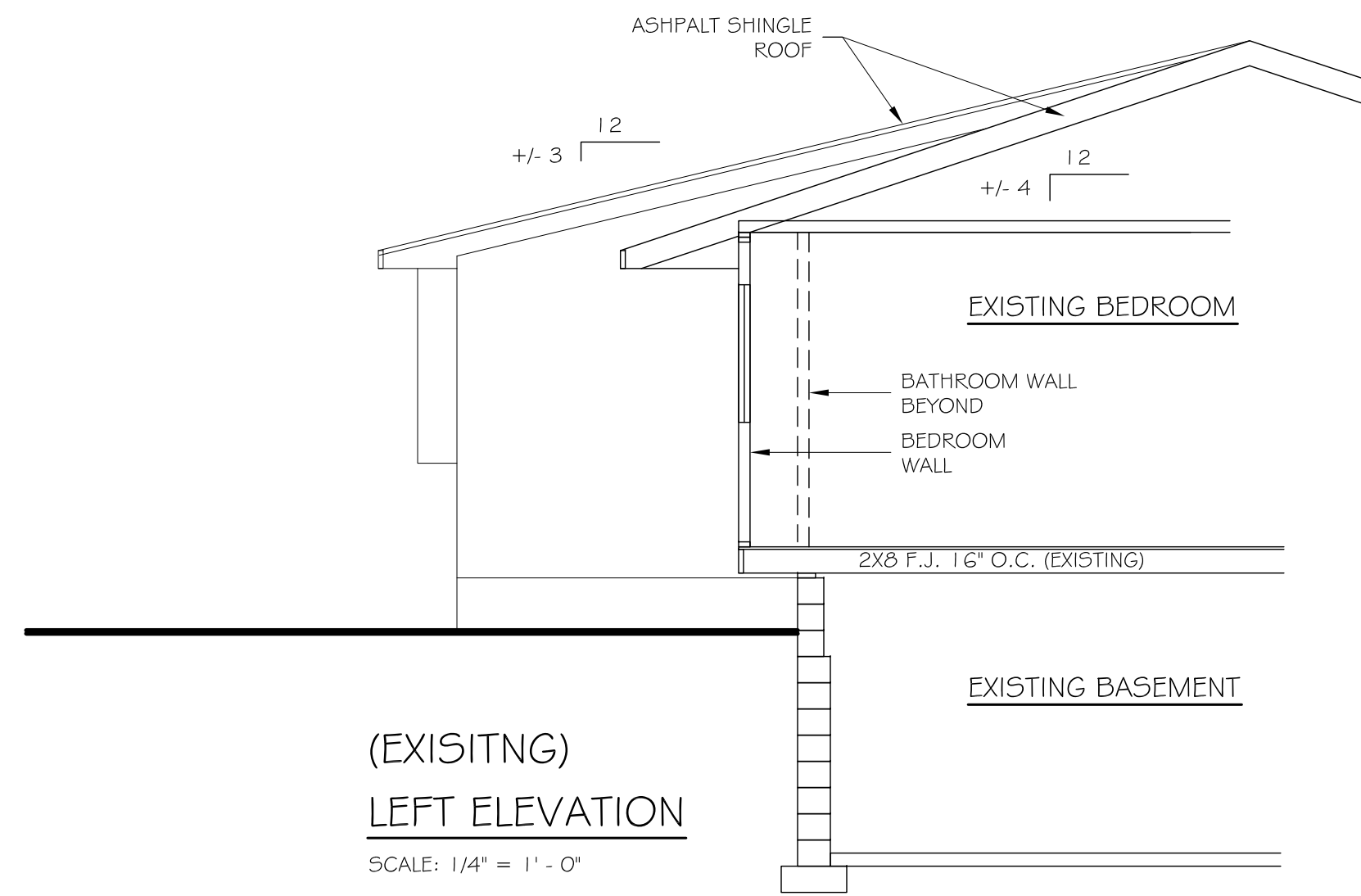
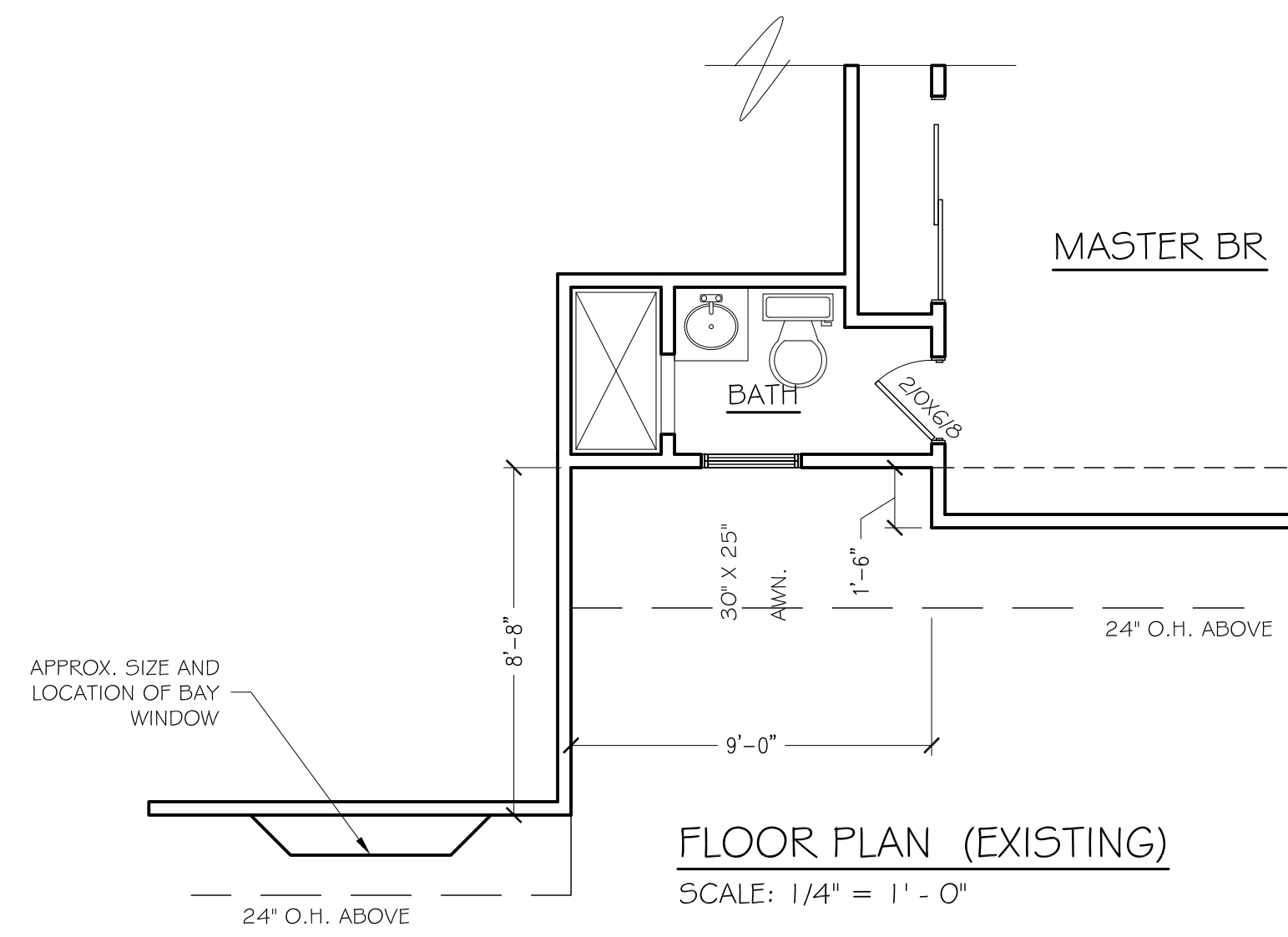
HUNT JGL Architecture PLLC
45 Coral Way, Rochester, NY 14616
505-424-3020
Fax: 505-424-3023
Email: RHM@HUNTSJGL.COM

PROJECT: 57 SHIRE OAKS DRIVE
PITTSFORD NY 14534

CLIENT: KEVIN LLOYD
57 SHIRE OAKS DRIVE
PITTSFORD NY 14534

DRAWING TITLE: GENERAL NOTES
FOUNDATION PLAN
TYPICAL SECTION

Scale: AS NOTED
PROJ. #: XXXX
DATE: JULY 12, 2023



EXISTING

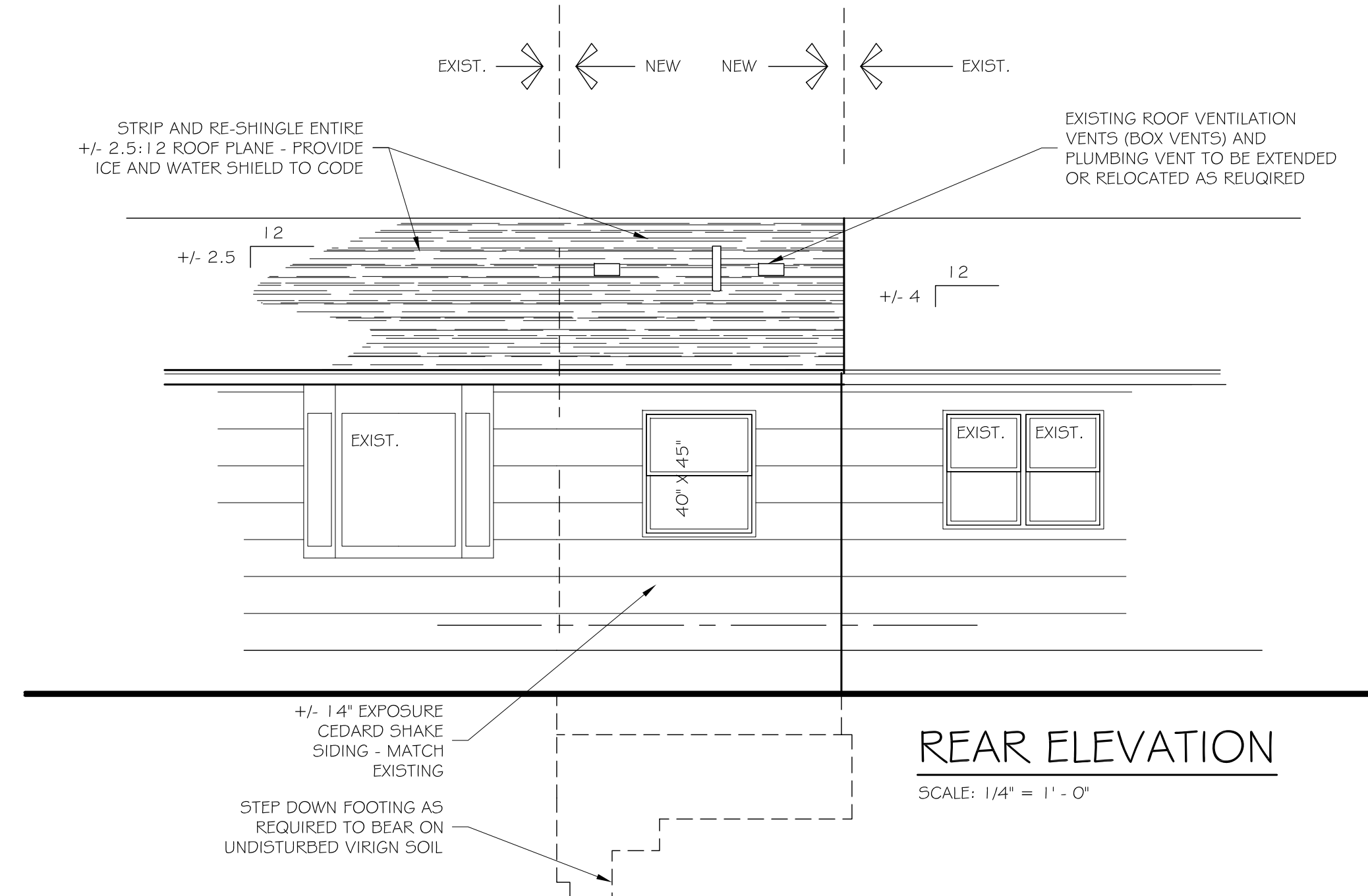
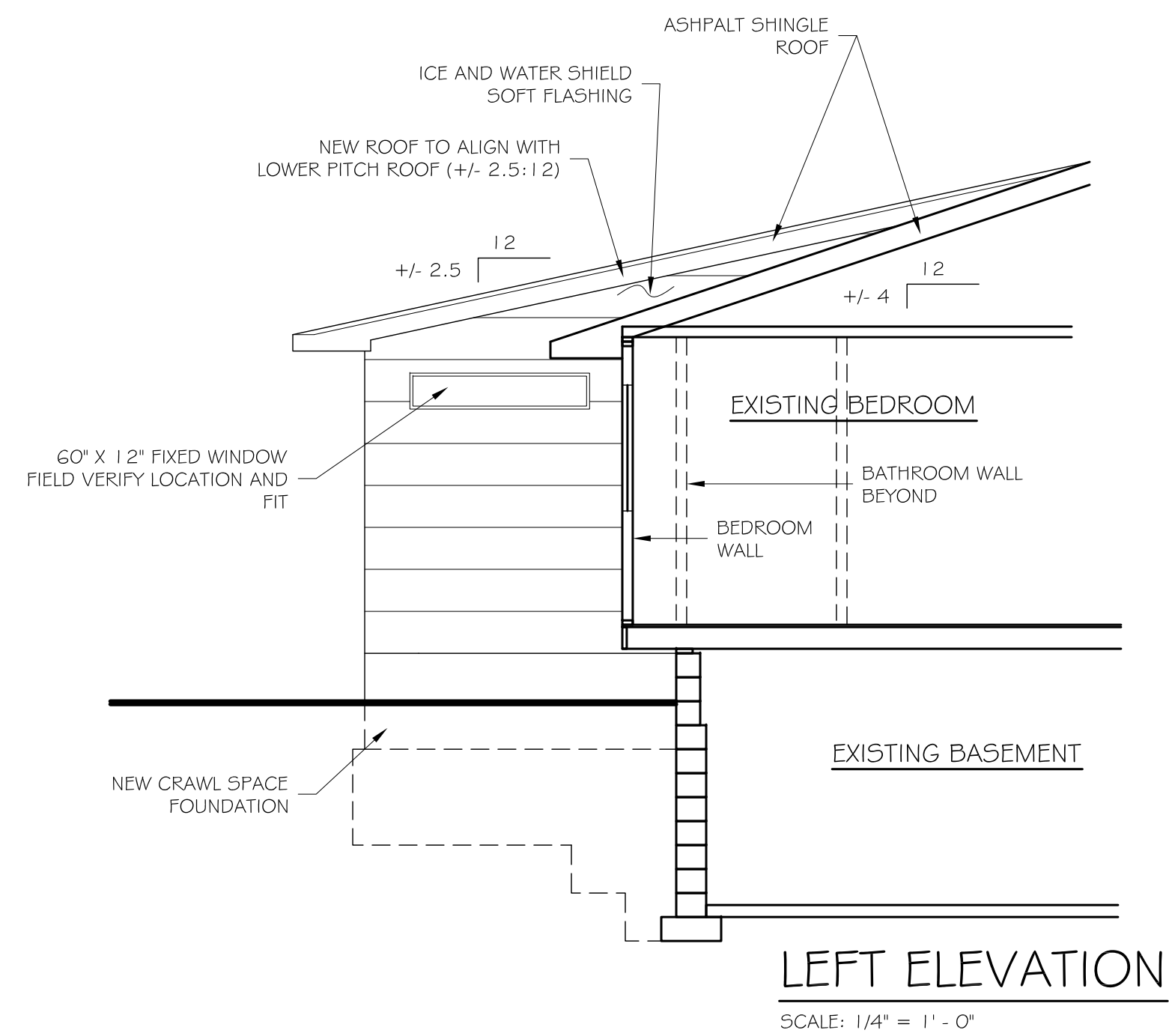
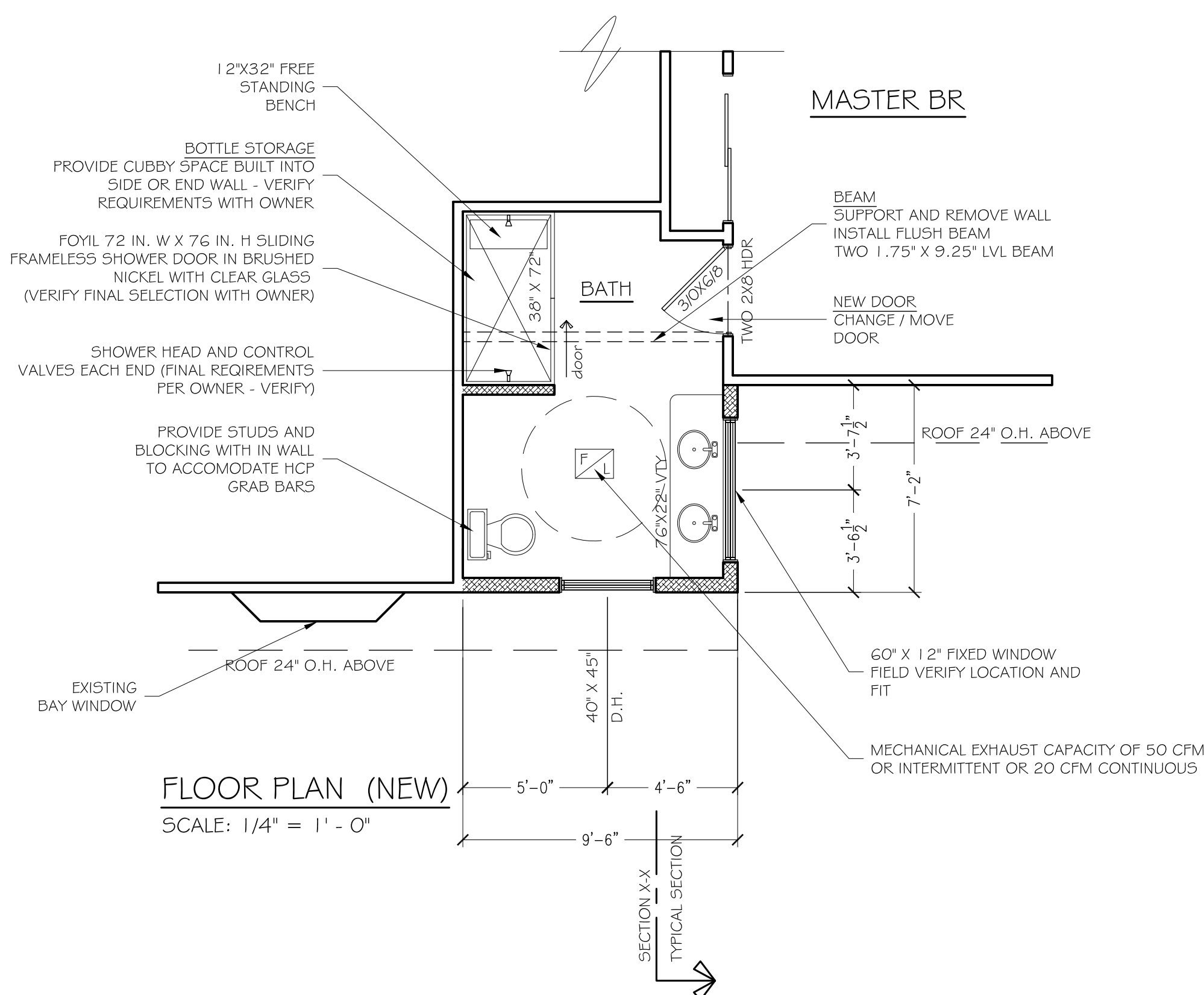
EXISTING

EXISTING

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NEW

NEW



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ANY LICENSEE WHO USES THIS DOCUMENT IS REQUIRED BY LAW TO BE IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND A LEGAL DESCRIPTION OF THE ALTERNATIONS THESE DRAWINGS ARE COMPILED AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. COPYRIGHT © 2023 HUNT JGL Architecture PLLC

TO THE BEST OF MY KNOWLEDGE BELIEF AND PROFESSIONAL JUDGEMENT, THE DRAWINGS CONVEYED ON THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE CURRENT EDITION

HUNT JGL Architecture PLLC
45 Coral Way, Rochester, NY 14616
505-424-3020
Fax: 505-424-3023
Email: RM@HJGL.COM

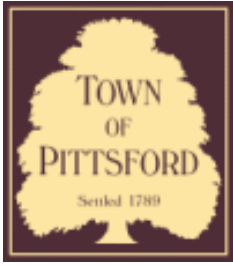
PROJECT:
57 SHIRE OAKS DRIVE
PITTSFORD NY 14534

CLIENT:
KEVIN LLOYD
57 SHIRE OAKS DRIVE
PITTSFORD NY 14534

DRAWING TITLE:
EXISTING PLANS
PROPOSED PLANS

Scale:
AS NOTED
PROJ. #:
XXXX
DATE:
JULY 12, 2023

A-2



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000105

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 32 Stoneleigh Court ROCHESTER, NY 14618

Tax ID Number: 138.18-1-4

Zoning District: RN Residential Neighborhood

Owner: Rooney, Adam J

Applicant: Rooney, Adam J

Application Type:

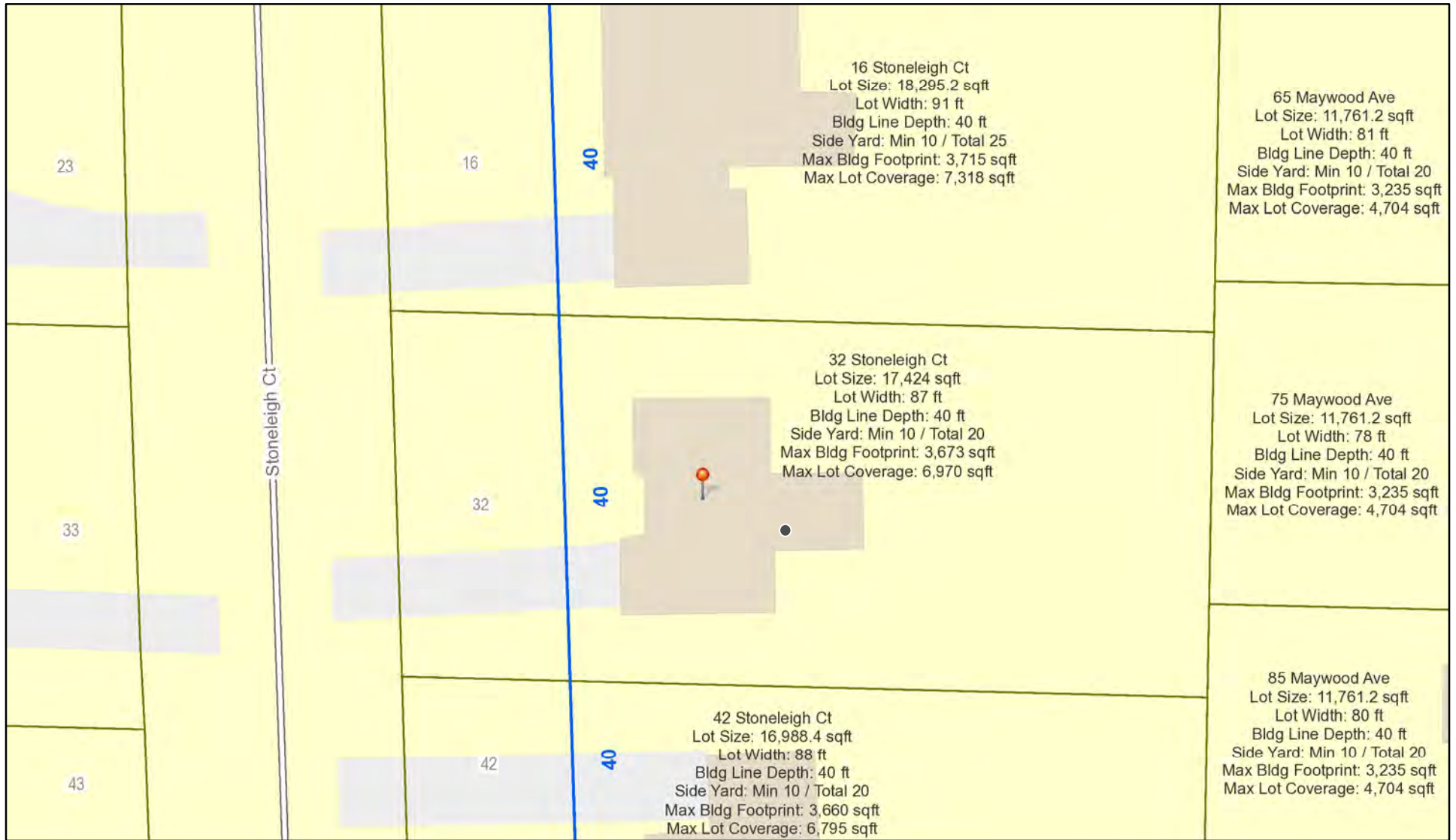
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§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review to convert a front stoop to a covered porch.

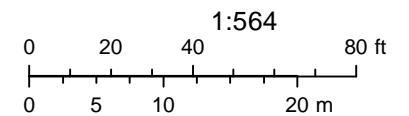
Meeting Date: August 24, 2023



RN Residential Neighborhood Zoning

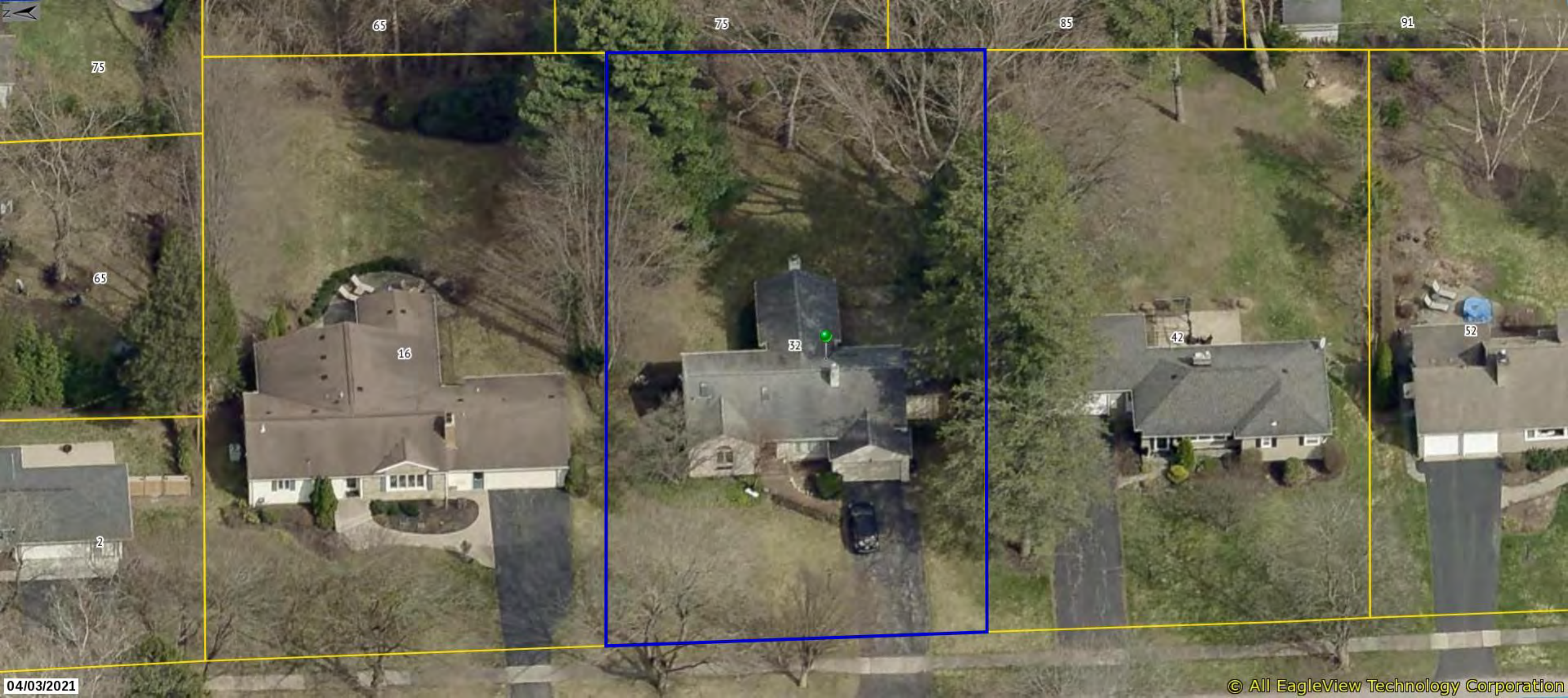


Printed July 20, 2023



Town of Pittsford GIS

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65

75

85

91

75

65

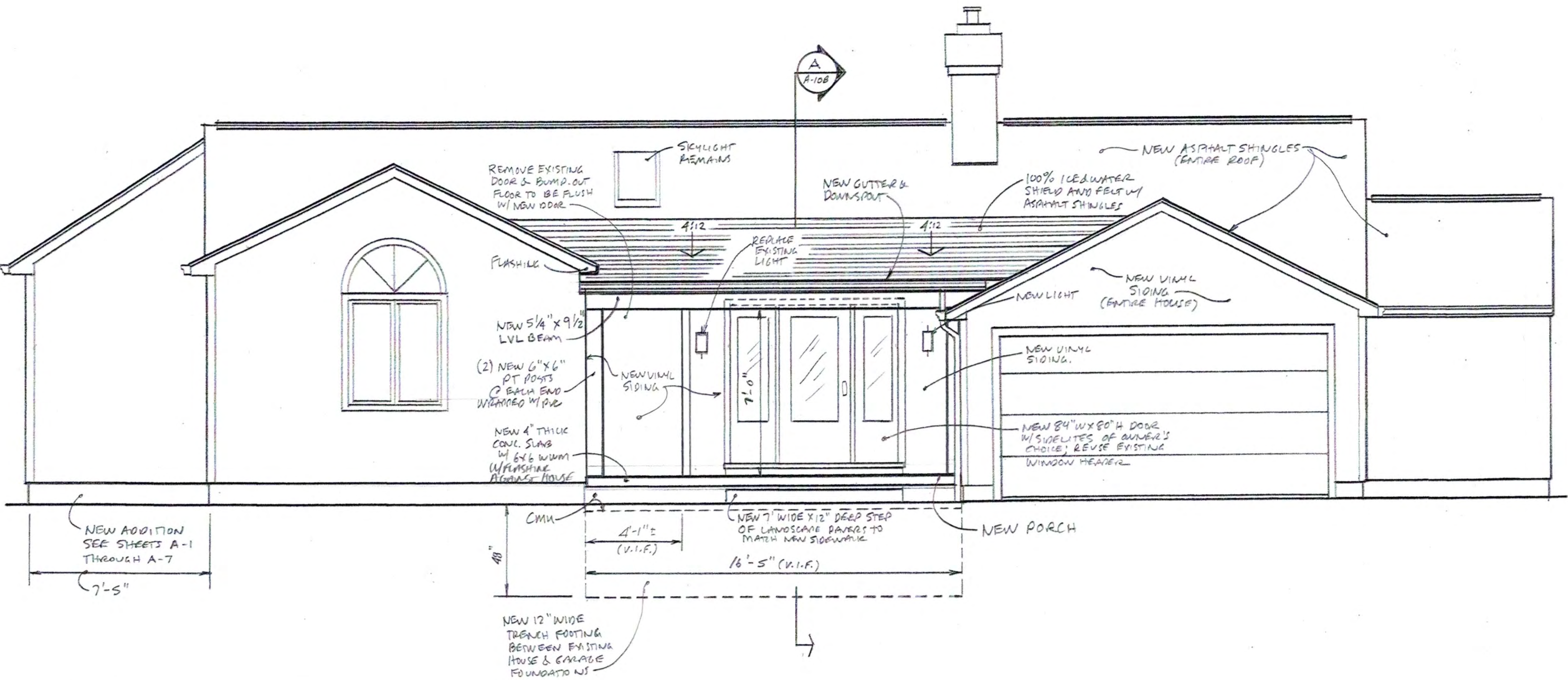
16

32

42

52

2



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

Kip Finley, PE
 d.b.a Victory Hill Land Company
 868 Winslow Road
 Churchville, NY 14428
kip.finley@gmail.com
 (585) 451-6538

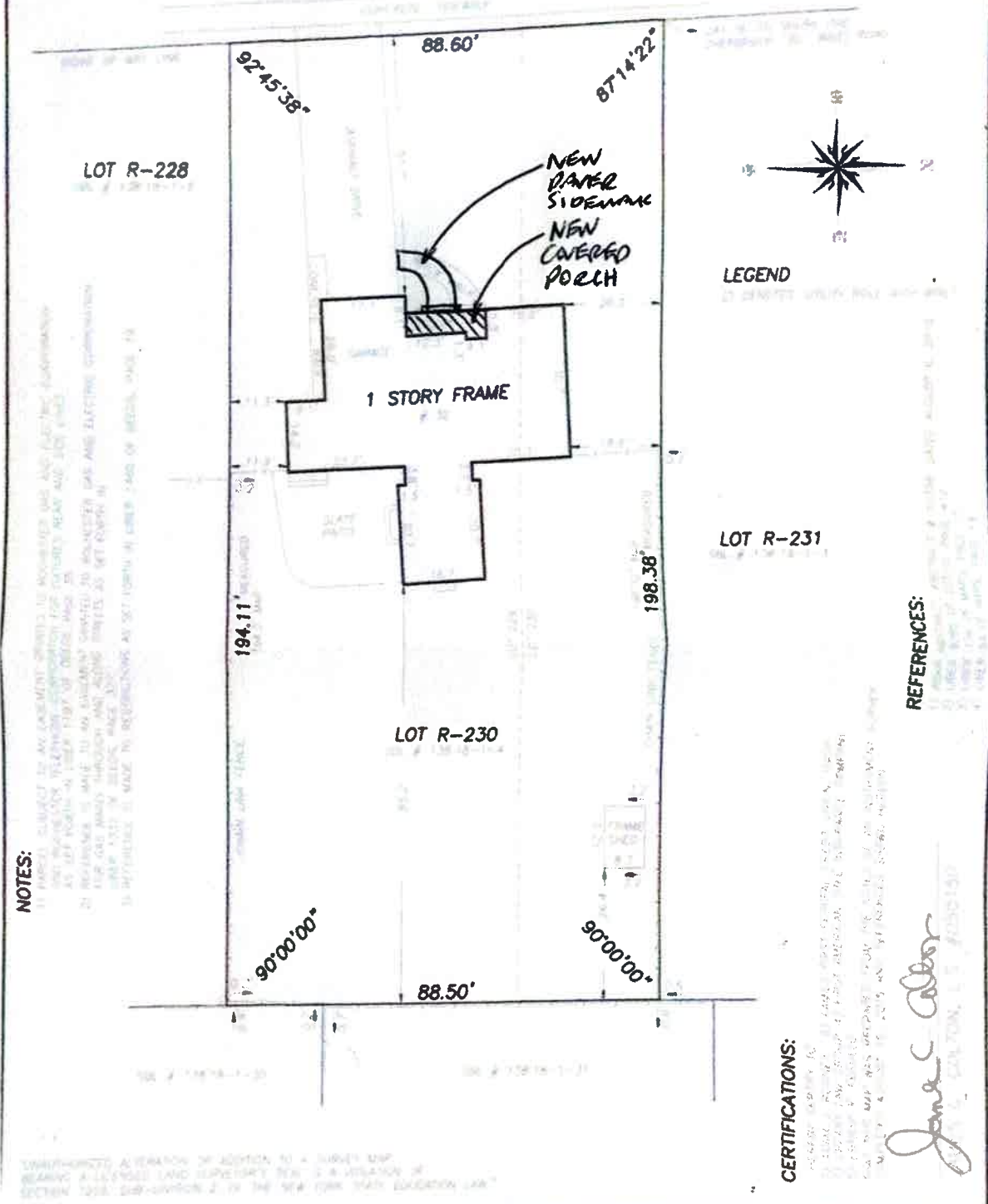
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ADDITIONS & ALTERATIONS FOR:
 ROONEY RESIDENCE
 32 STONELEIGH COURT
 TOWN OF PITTSFORD, NEW YORK

SHEET A-10A

STONELEIGH COURT



MAP OF A SURVEY
 LOT R-230
 EAST AVENUE ESTATES WARD 12
 COUNTY OF BROOKLYN
 STATE OF NEW YORK

COLTON LAND SURVEYING
 108 WINDY BLVD
 BROOKLYN, NY 11210
 PHONE: 718-224-2388
 FAX: 718-224-2389

DATE OF SURVEY	
SCALE	
PROJECT NO.	

Best Seller

3.2k

Steves & Sons

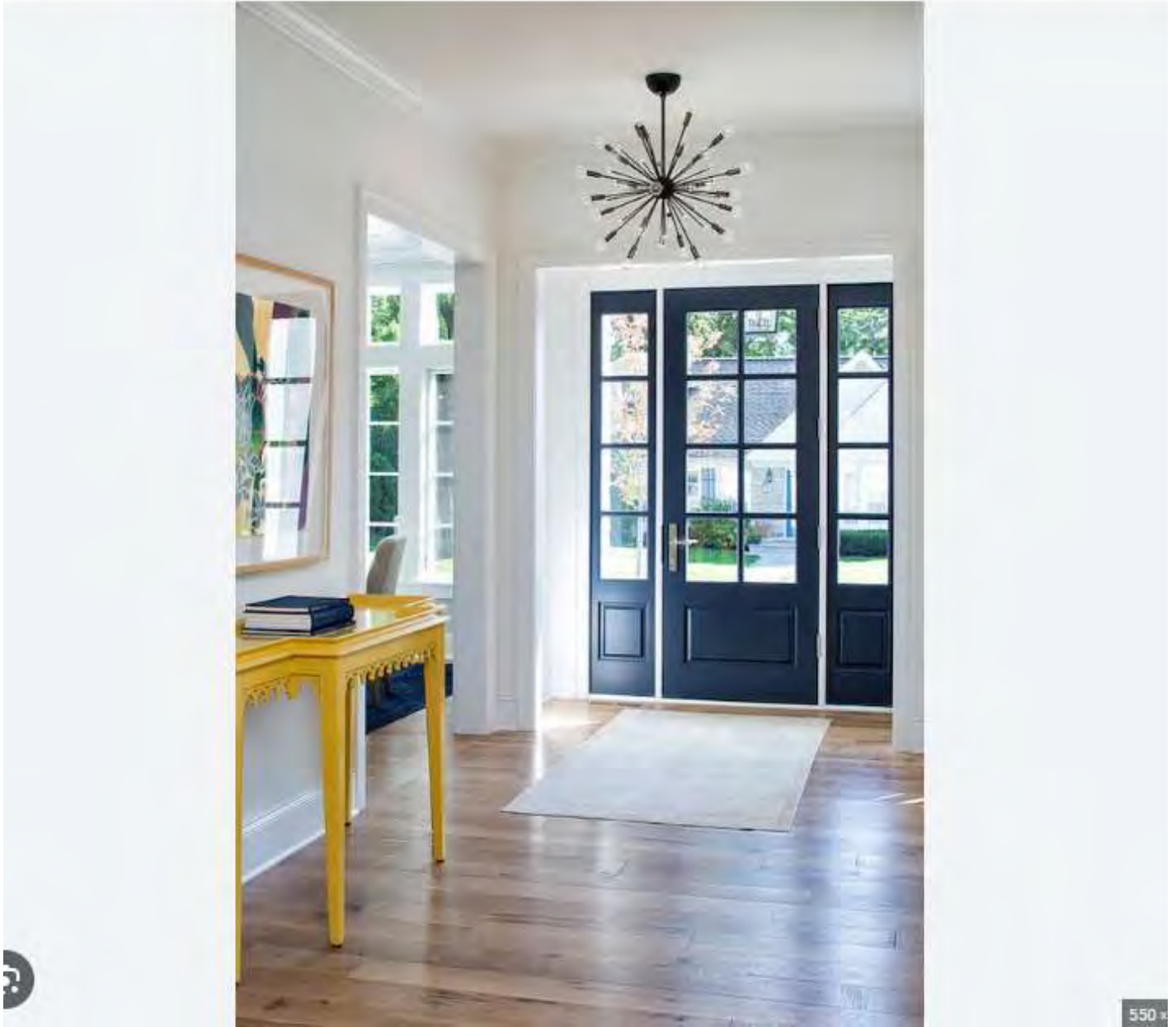
Legacy Collection Customizable Fiberglass Prehung Front Door

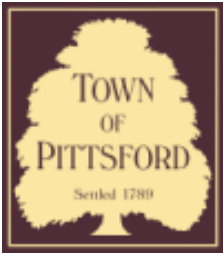
★★★★★ (143) Questions & Answers (346)



Hover Image to Zoom

 Share  Print





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000059

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 28 Whitestone Lane ROCHESTER, NY 14618

Tax ID Number: 137.20-2-35

Zoning District: RN Residential Neighborhood

Owner: Balderston, William III

Applicant: Stahl Property Associates

Application Type:

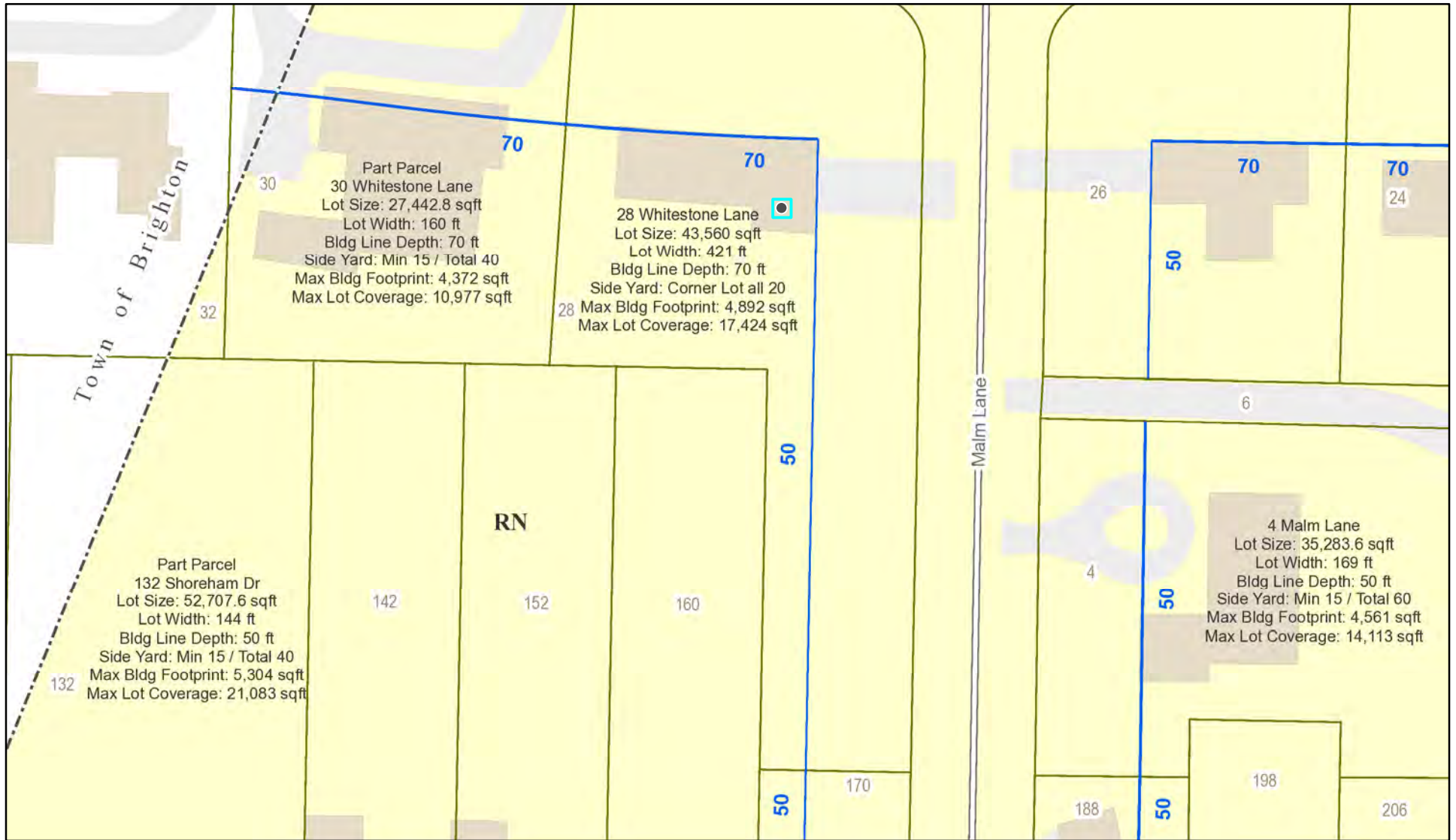
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The applicant is requesting design review for a proposed new three car garage.

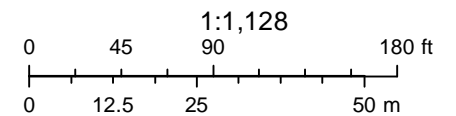
Meeting Date: August 24, 2023



RN Residential Neighborhood Zoning



Printed May 4, 2023



Town of Pittsford GIS

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Whitestone Ln

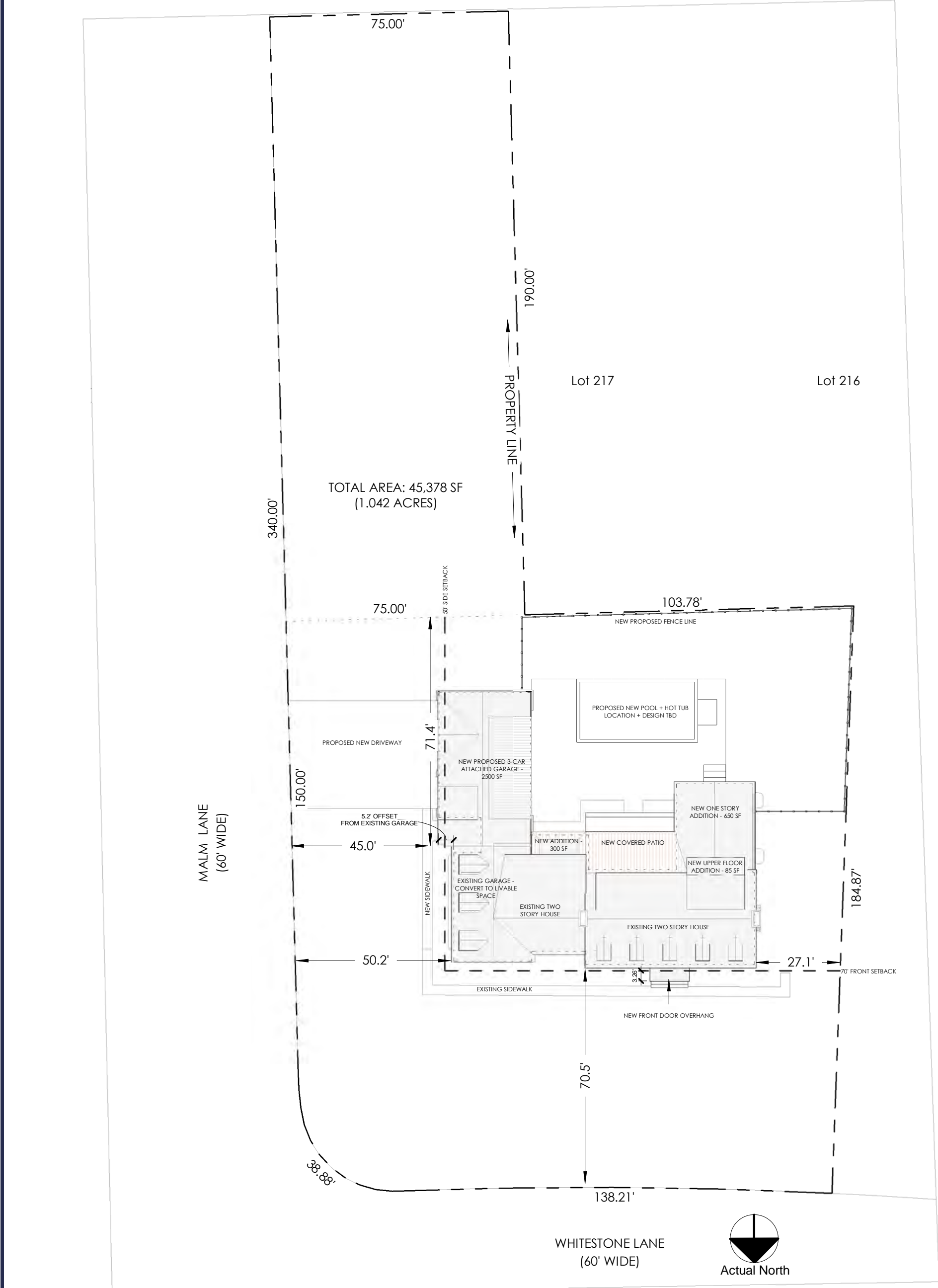
Whitestone Ln

Whitestone Ln

Maimi Ln

04/03/2021

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- NOTES:
1. SITE PLAN IS SCHEMATIC AS SHOWN TO DEMONSTRATE HOUSE LOCATION AND REQUIRED SETBACKS ON LOT FOR PLANNING PURPOSE ONLY.
 2. SITE PLAN IS DERIVED FROM SURVEY MAP BY MARQUES & ASSOCIATES, P.C, LICENSED SURVEYING & ENGINEERING; PROJECT #2022042, DATED 12/16/2022.
 3. COPY OF ORIGINAL SURVEY SHALL BE SUBMITTED BY STAHL PROPERTY ASSOCIATES UPON REQUEST BY ANY AHJ.

1 | SCHEMATIC SITE PLAN - NEW
1" = 30'-0"

design
plan
live

28KBW

28 Whitestone Ln
Rochester, NY 14618

STAHL PROPERTY ASSOCIATES

DEVELOPER

buildhappy
Design • Plan • Live.
Digital Design + Construction

PRE DESIGN

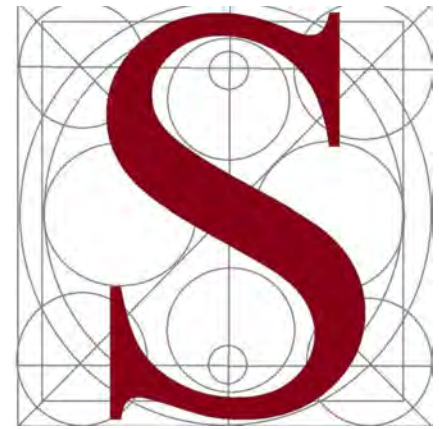
DR01-100
Schematic Site Plan

design
plan
live

28KBW

28 Whitestone Ln
Rochester, NY 14618

STAHL PROPERTY
ASSOCIATES



DEVELOPER



buildhappy
SM

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PRE DESIGN

DR02-100

**North Elevation
(Whitestone Ln)**



1 | NORTH ELEVATION EXISTING - DESIGN REVIEW
1" = 10'-0"

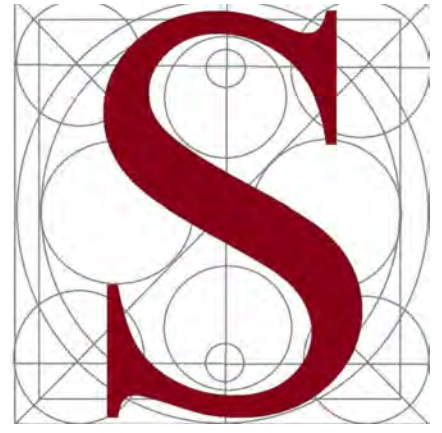


2 | NORTH ELEVATION - NEW - DESIGN REVIEW
1" = 10'-0"

design
plan
live

28KBW
28 Whitestone Ln
Rochester, NY 14618

STAHL PROPERTY
ASSOCIATES



DEVELOPER

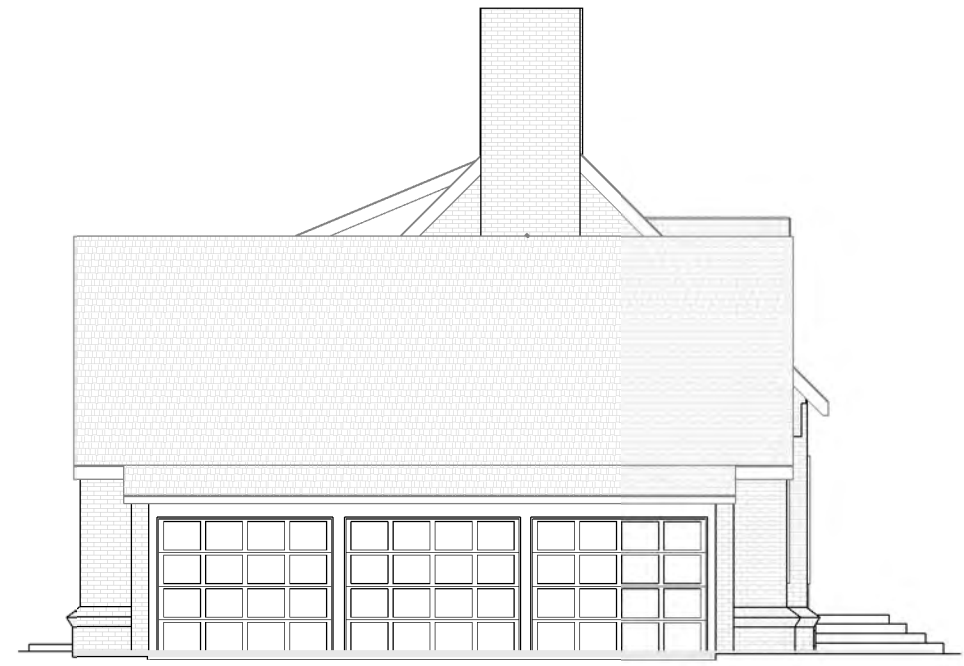


Design • Plan • Live.
Digital Design + Construction

PRE DESIGN

DR02-101
East Elevation (Malm Ln)

EXISTING IMAGES FROM
MALM LN:



1 | EAST ELEVATION EXISTING - DESIGN REVIEW
1" = 10'-0"



2 | EAST ELEVATION - NEW - DESIGN REVIEW
1" = 10'-0"

design
plan
live

28KBW

28 Whitestone Ln
Rochester, NY 14618

STAHL PROPERTY
ASSOCIATES



DEVELOPER



Digital Design + Construction

PRE DESIGN

DR02-102

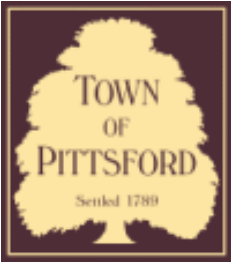
South Elevation



1 | SOUTH ELEVATION EXISTING - DESIGN REVIEW
1" = 10'-0"



2 | SOUTH ELEVATION - NEW - DESIGN REVIEW
1" = 10'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
CA23-000003

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 55 Mitchell Road PITTSFORD, NY 14534

Tax ID Number: 164.11-2-12.11

Zoning District: RN Residential Neighborhood

Owner: Sands, Mackenzie

Applicant: Sands, Mackenzie

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting a Certificate of Appropriateness to repair the front porch foundation and replace the floor.

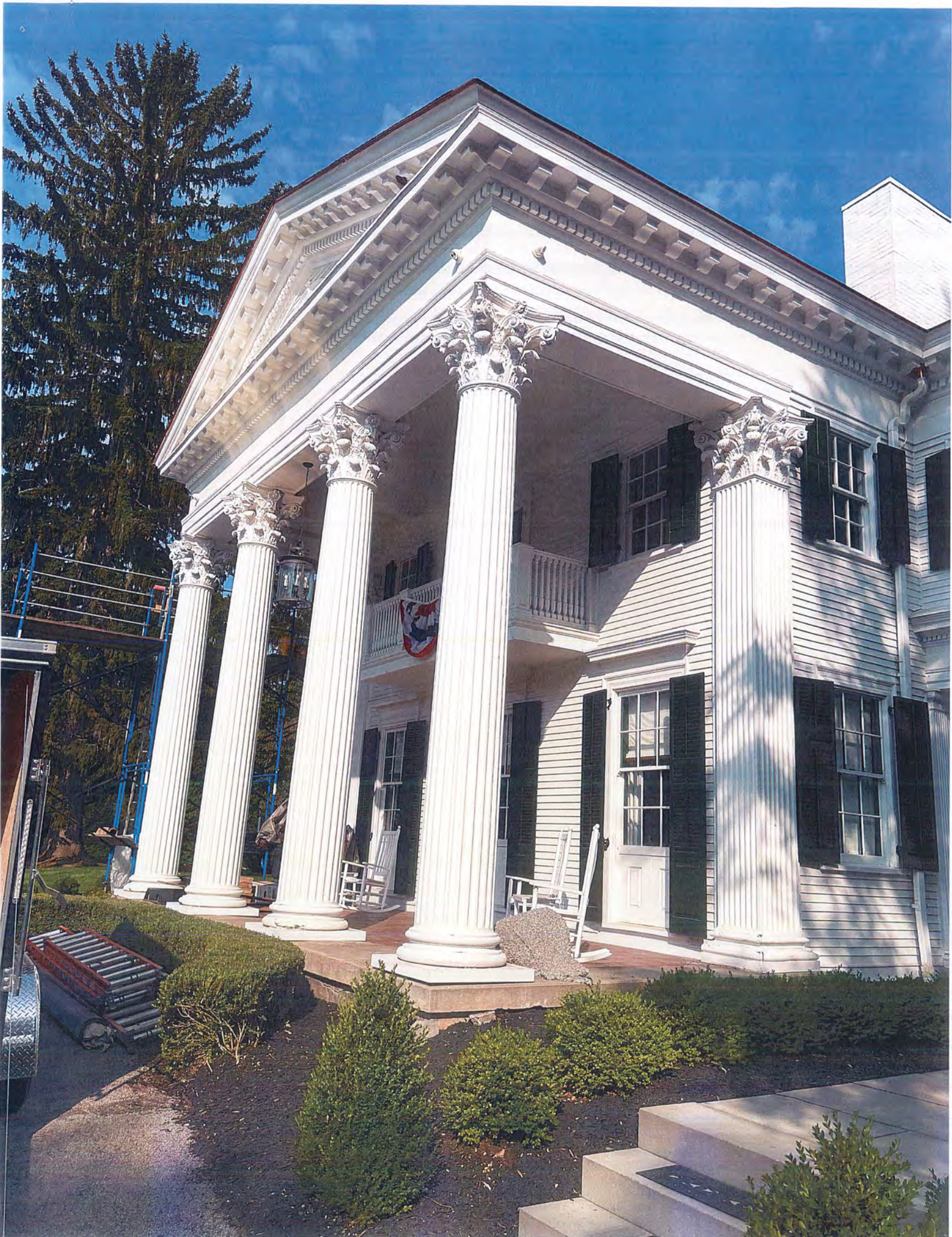
Meeting Date: August 24, 2023

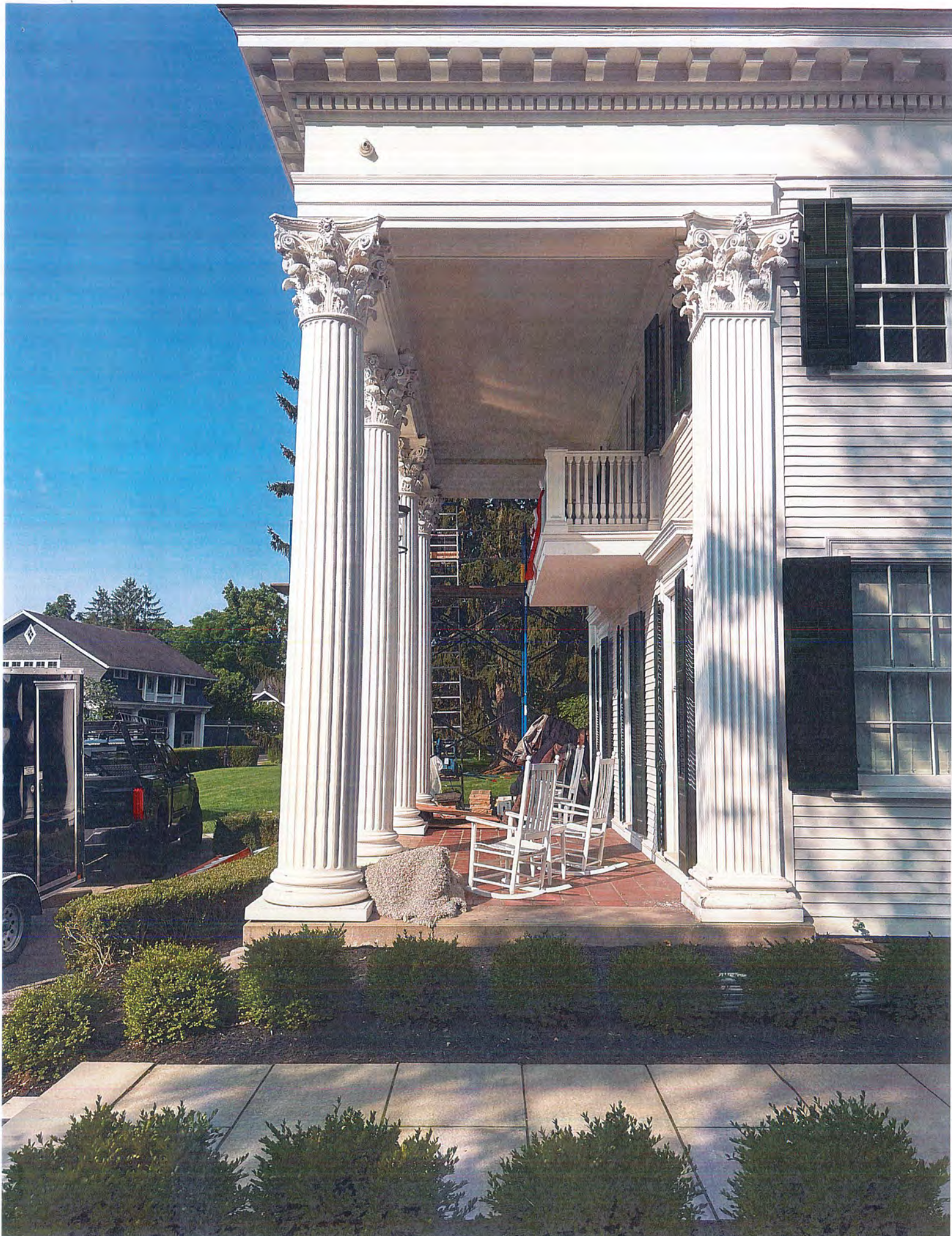




04/03/2021

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8. Project Contractor (if Available): KMD Construction & Restoration, Inc.
Address: 1559 State Street Phone: _____
Street
Webster NY 14580 E-mail: _____
City State Zip Code

9. Present use of Property: Residence

10. Zoning District of Property: RN

11. Is the property located in a Town Designated Historic District?
Yes No

12. Is the property listed on the National Registry of Historic Places?
Yes No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?
Yes No

If Yes, please explain:

14. Proposed Exterior Improvements:

A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

The scope of work includes the replacement of the failing front porch concrete slab and tile floor with a new concrete foundation, new bluestone border and new bluestone paver floor. Existing columns to be shored during construction. New column bases will be cnc'd with rot resistant wood to match existing columns and will be painted white to match.

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

REPLACE PORCH.

15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

NA

16. Additional materials submitted with this application (if available):

- Parcel map
- Architectural elevations
- Photographs
- Architectural plans
- Other materials

Applicant Certification:

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

Signature of applicant

08/04/2023

Date

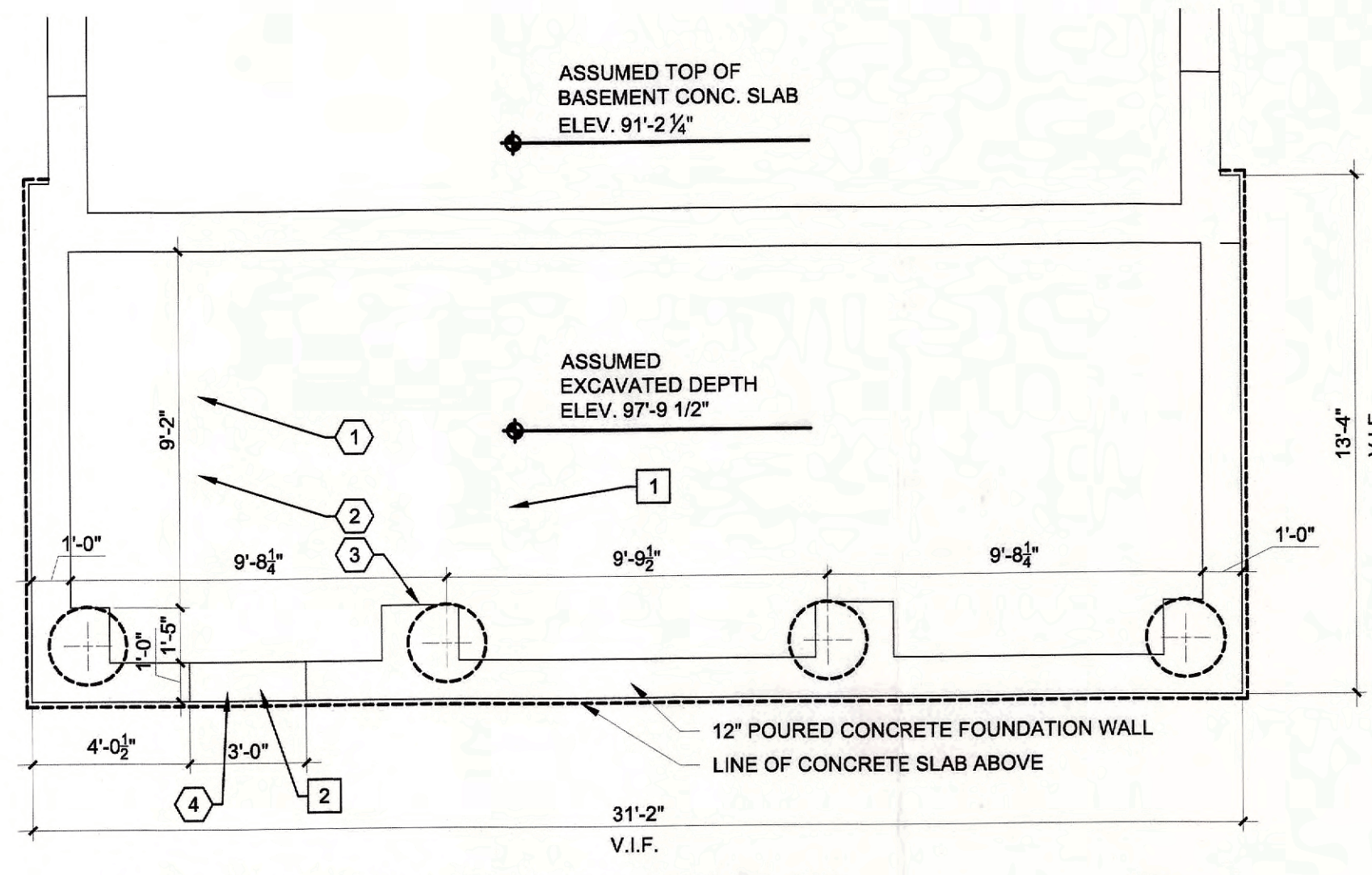
Owner Consent:

If the applicant is other than the owner, does the owner concur with this application?

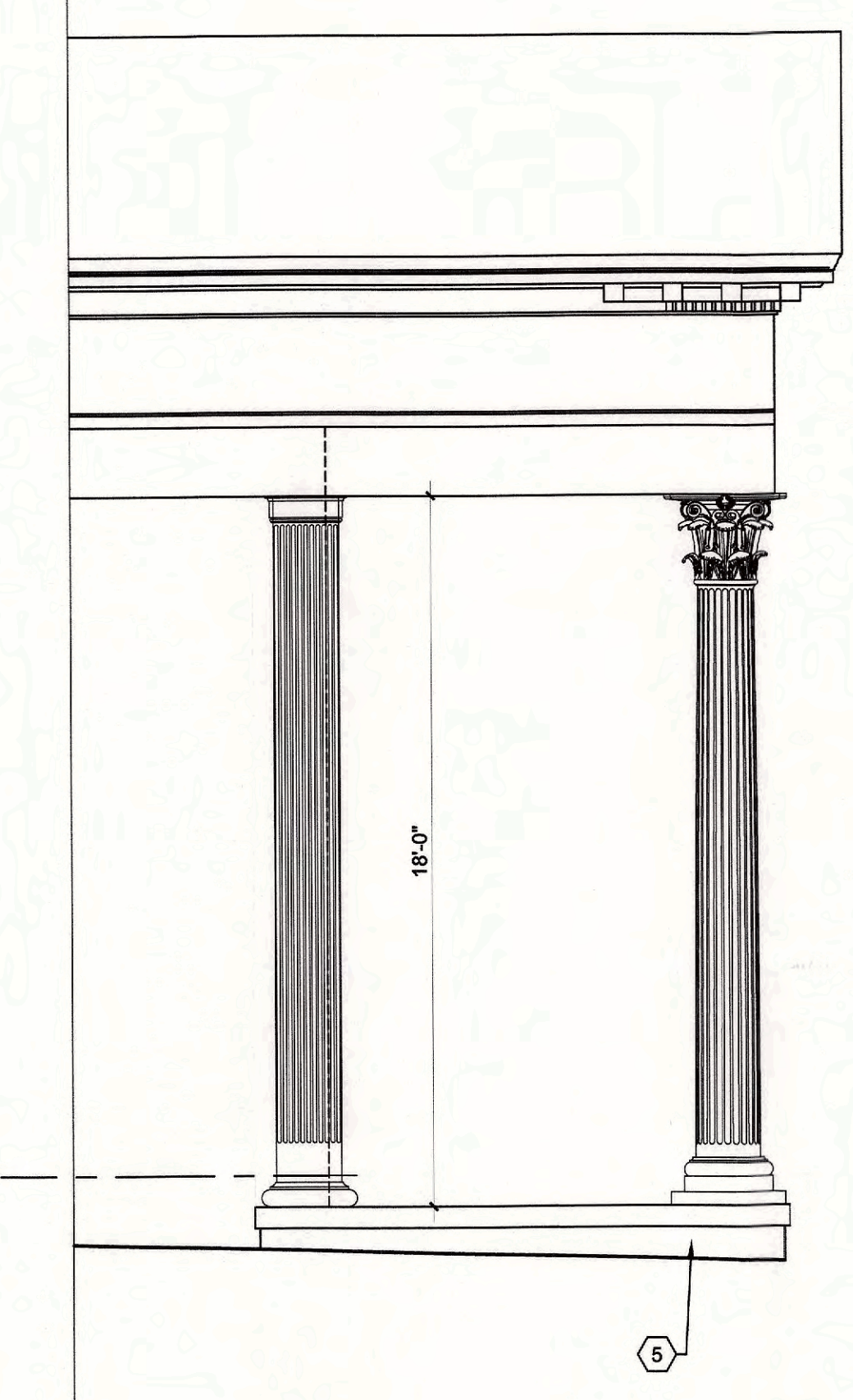
Yes No

If Yes, owner's signature: _____

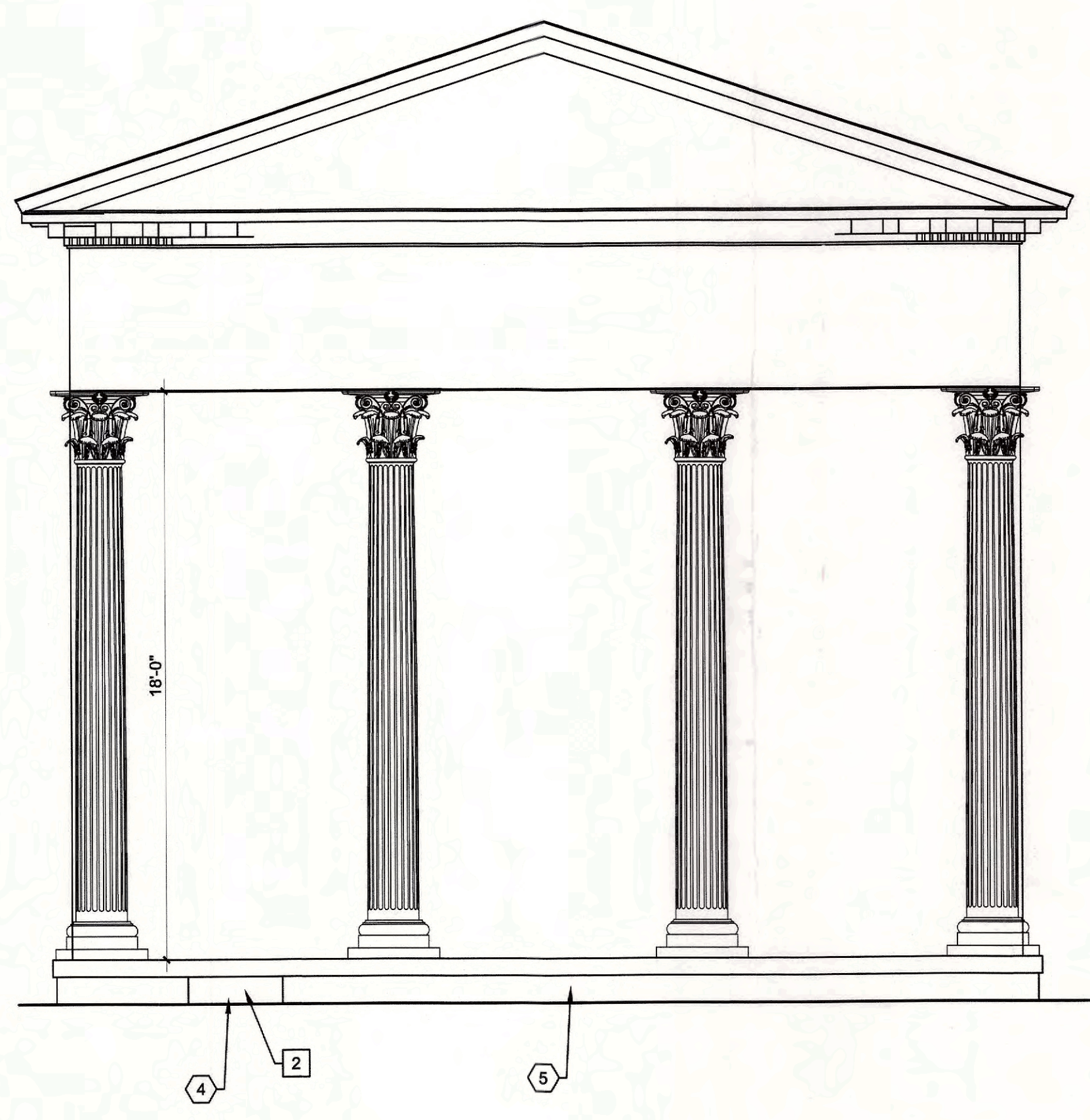




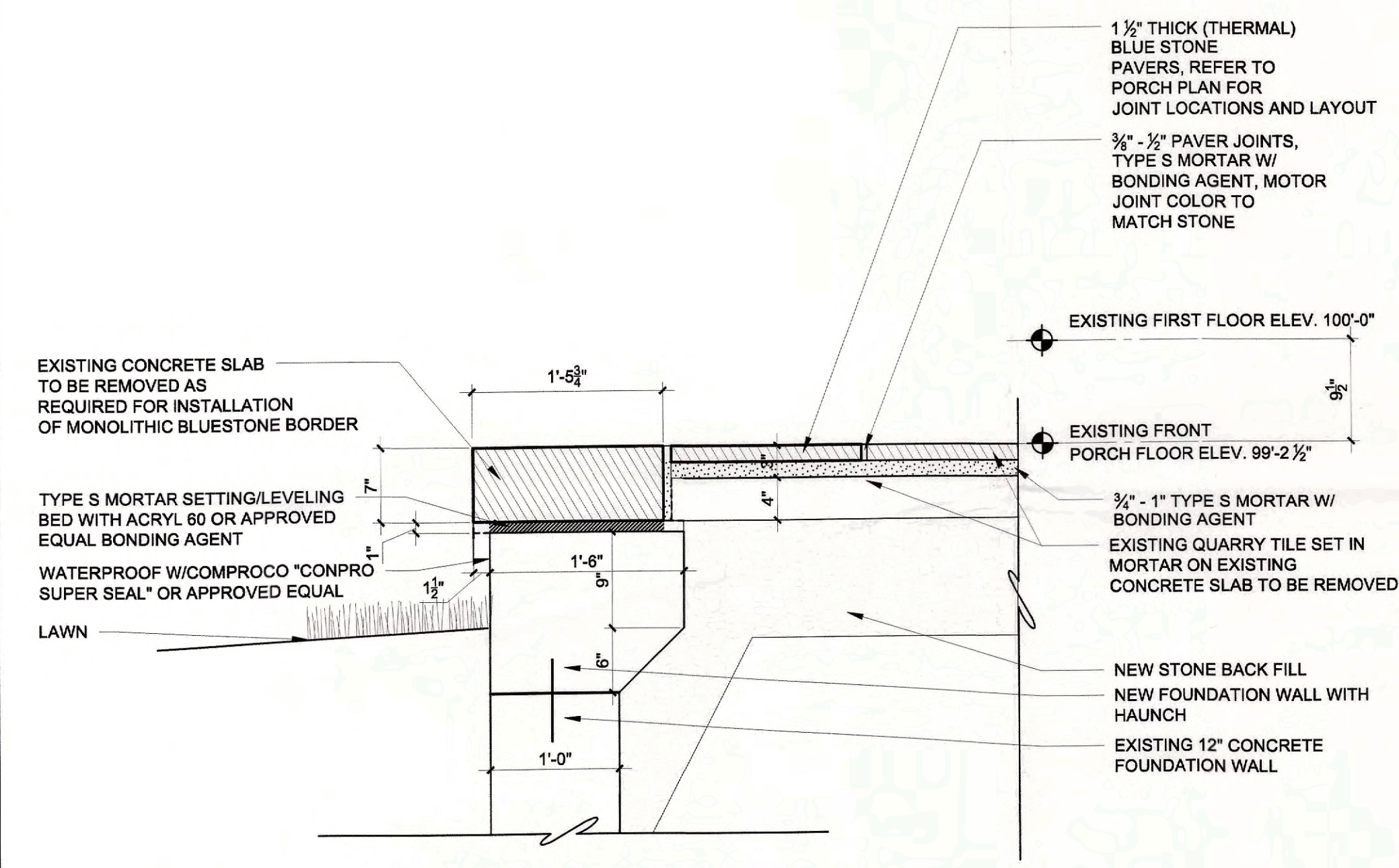
2 FRONT PORCH FOUNDATION PLAN
A130 / 1/4"=1'-0"



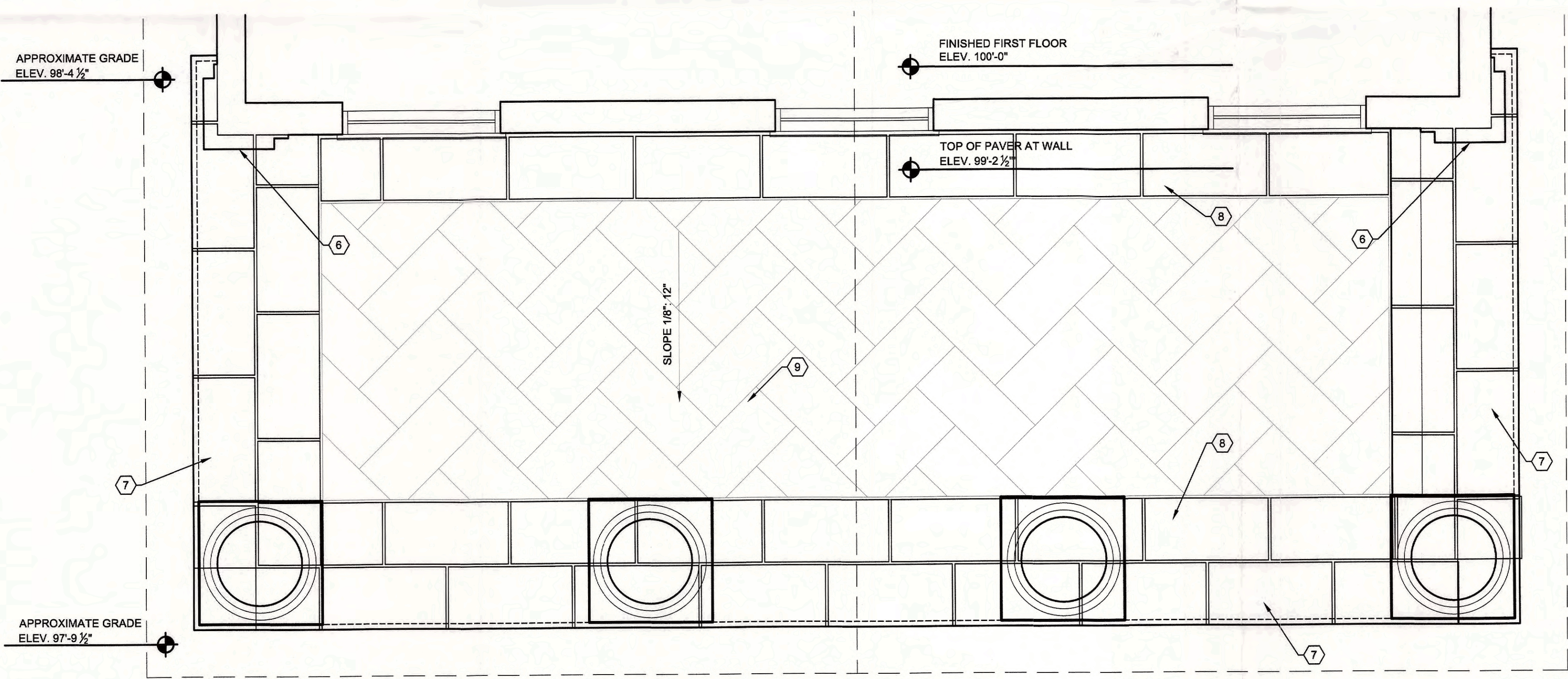
3 WEST ELEVATION
A140 / 1/4"=1'-0"



4 SOUTH ELEVATION
A140 / 1/4"=1'-0"



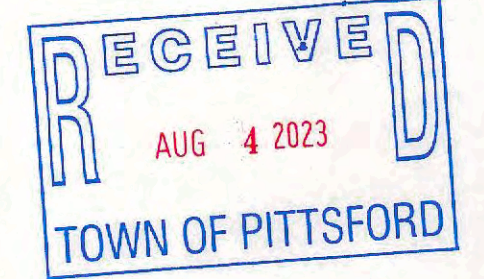
A BLUESTONE MONOLITHIC EDGE SECTION
A140 / 1"=1'-0"



1 FRONT PORCH FLOOR PLAN
A140 / 1/2"=1'-0"

- DEMOLITION KEY NOTES:**
- EXISTING CONCRETE SLAB AND TILE FLOORING TO BE REMOVED.
 - EXISTING WOOD FRAME AND METAL SCREENING TO BE REMOVED AT EXISTING VENTILATION OPENING.
 - EXISTING FOUNDATION WALL TO BE REMOVED WHERE IT REQUIRES REMOVAL AND RE-BUILDING. CONDITION OF EXISTING WILL BE REVIEWED AFTER CONCRETE SLAB IS REMOVED TO DETERMINE / DEFINE EXTENT OF SCOPE OF WORK REQUIRED.
- CONSTRUCTION KEY NOTES:**
- INFILL EXISTING UNEXCAVATED PORCH FOUNDATION WITH COMPACTED STONE.
 - NEW 4" CONCRETE SLAB.
 - CONTRACTOR TO VERIFY COLUMN LOCATIONS WITH EXIST FOUNDATION PIER SIZES.
 - IN FILL EXISTING OPENING WITH NEW MASONRY WALL CONSTRUCTION.
 - SKIM COAT AND REPAIR EXISTING CONCRETE FOUNDATION WALL. APPLY WATER PROOF W/ COMPROCO "CONPRO SUPER SEAL" OR APPROVED EQUAL. PAINT - COLOR AS SELECTED BY ARCHITECT.
 - EXISTING SQUARE COLUMNS ON FACE OF EXTERIOR WALLS TO REMAIN IN PLACE. MODIFICATIONS TO THE COLUMN BASE TO ACCOMMODATE NEW BLUESTONE PAVEMENT IS REQUIRED. COORDINATE PROPOSED WORK WITH ARCHITECT PRIOR TO MAKING ADJUSTMENTS TO COLUMNS.
 - EXISTING EDGE OF PORCH FOUNDATION WALL TO BE REMOVED AS REQUIRED FOR THE INSTALLATION OF A MONOLITHIC BLUESTONE BORDER. REFER TO WALL SECTION ON A/A140.
 - NEW 2" THICK BLUESTONE THERMAL FINISH AT PERIMETER MORTAR SETTING BED ON NEW CONCRETE SLAB. REFER TO SECTION ON A/A140.
 - NEW 16" x 32" x 1 1/2" THICK BLUESTONE THERMAL FINISH PAVERS WITH 1" SETTING BED ON EXISTING CONCRETE SLAB.

Private Residence
55 Mitchell Road
Pittsford, NY 14534



Project Name

No.	Revisions/Submissions	Date
	Issued for Permit	8/3/23



HB CORNERSTONE
99 Garsney Road, Suite 100
Pittsford, NY 14534
585.419.8800 P + 585.419.8814 F

DJC ARCHITECTURE
99 Garsney Road, Suite 101
Pittsford, NY 14534
585.419.8800 P + 585.419.8814 F

Drawing Title
FRONT PORCH PLAN AND DETAILS

Project No:
Scale: **AS NOTED**
Date: **8-4-21** Drawn By:

Drawing No.
A140

Sheet # of #

PRINT DATE: Aug 3, 2023 10:44 AM USER: MSTEINME FILE NAME: S:\55 Mitchell Road\Drawings\CAD\HBC 55 Mitchell - Front Porch Sheet.dwg



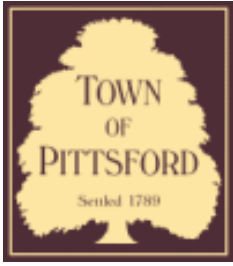






55





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C23-000034

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3350 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.16-2-1

Zoning District: C Commercial

Owner: Graceland Properties LLC

Applicant: DiMarco Constructors LLC

Application Type:

- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

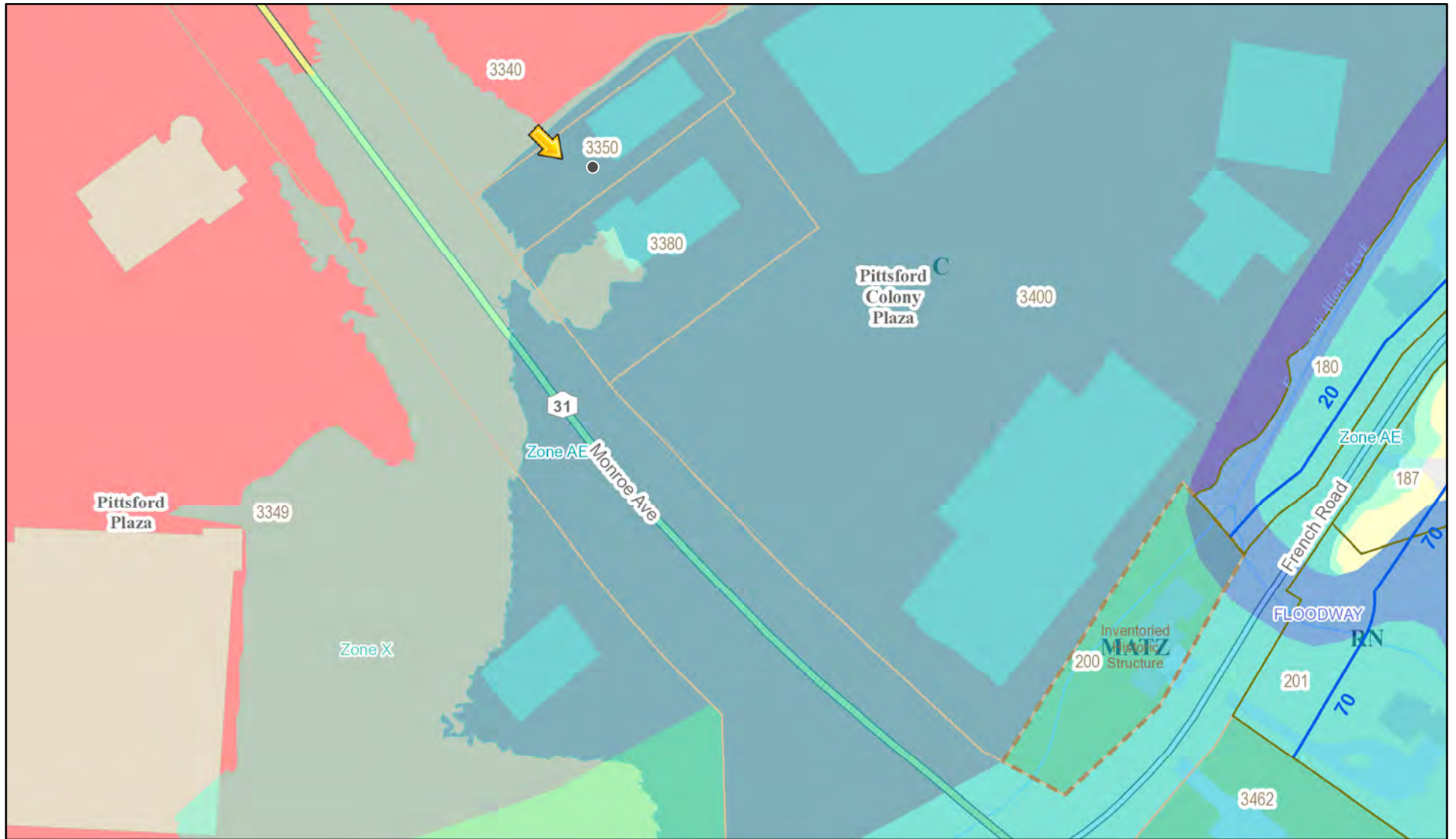
Project Description: Applicant is requesting design review to add windows to the building.

Meeting Date: August 24, 2023

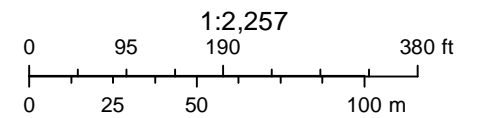


blue
/ A GOODWILL BOUTIQUE /

RN Residential Neighborhood Zoning

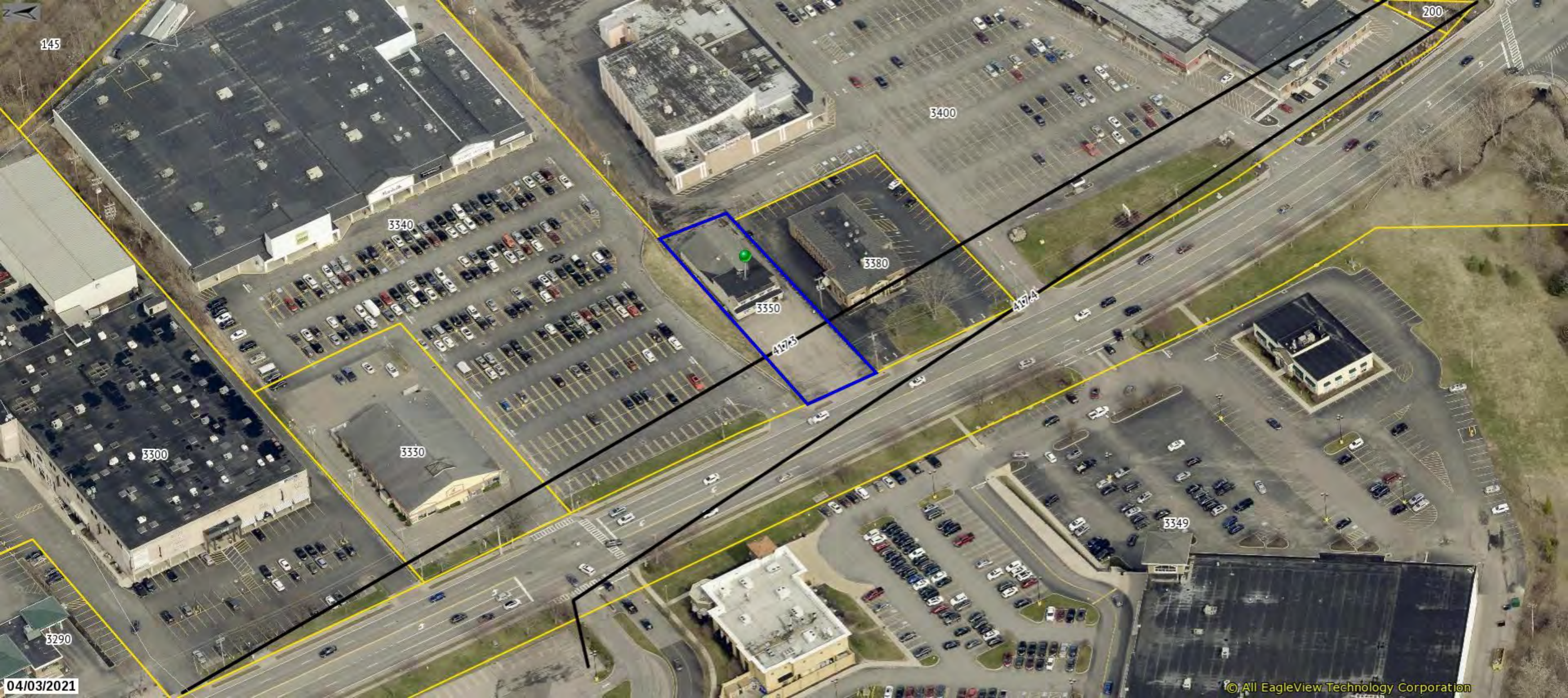


Printed August 16, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



145

200

3400

3340

3380

3350

4173

4174

3300

3330

3349

3290

04/03/2021

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SERCU LAW

CLIENT:
MARILEE SERCU

AUGUST 8, 2023

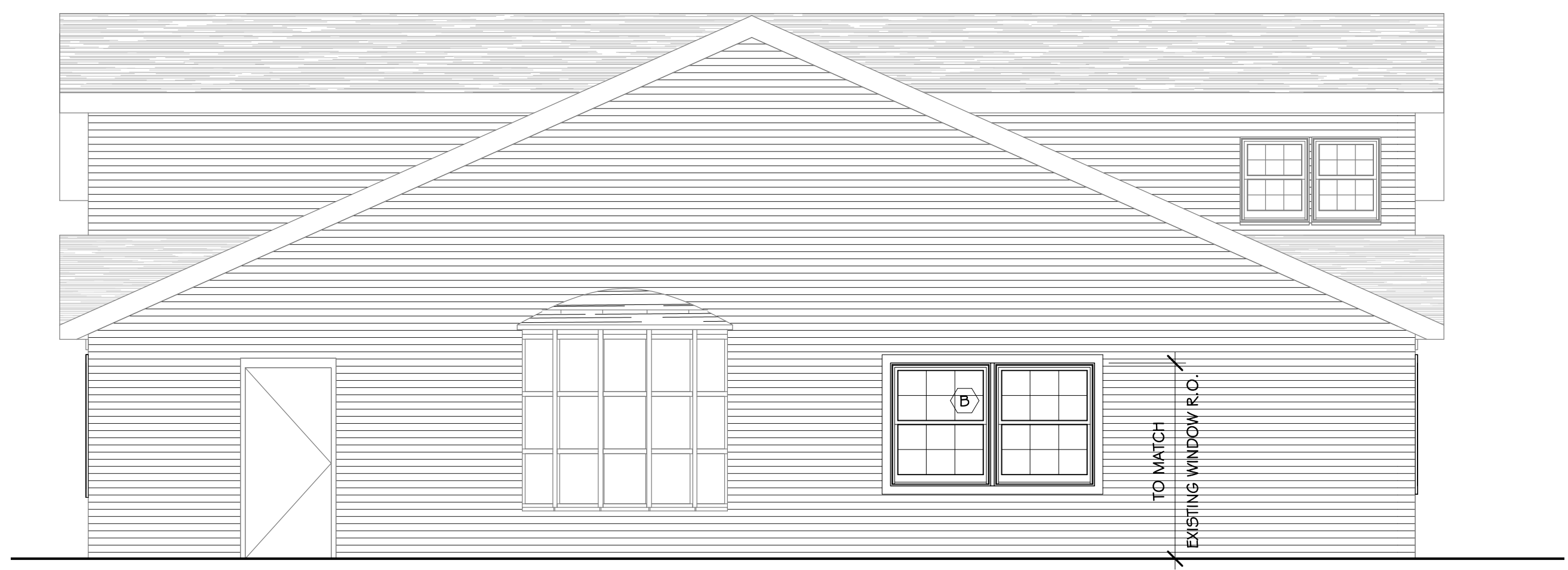


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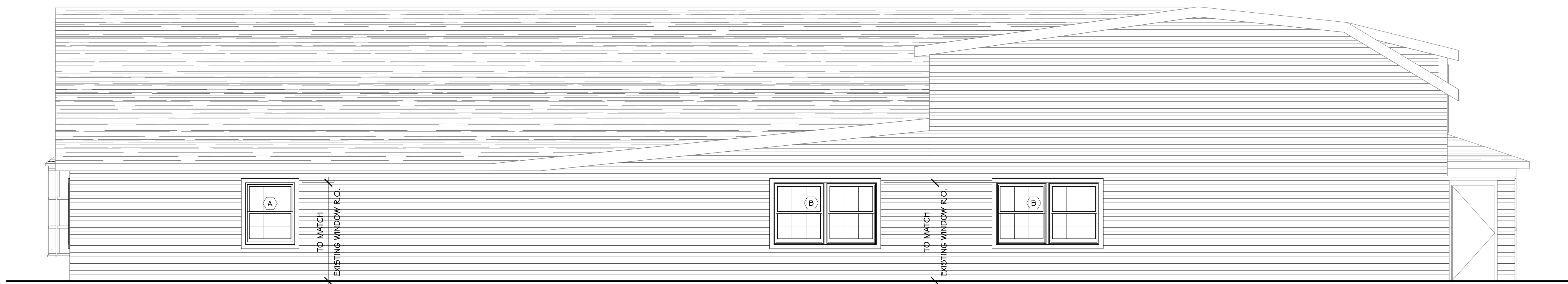
GENERAL	
C1	COVER PAGE
G1.0	TECHNICAL DATA
G2.0	ADA INFORMATION
ARCHITECTURAL	
LS1.0	LIFE SAFETY PLAN
D1.0	FIRST FLOOR DEMOLITION PLAN
A1.1	FIRST FLOOR PLAN
A1.2	FIRST FLOOR DIMENSION PLAN
A1.3	FIRST FLOOR REFLECTED CEILING PLAN
A1.4	INTERIOR ELEVATIONS
A2.0	EXTERIOR ELEVATIONS
A3.0	SCHEDULES



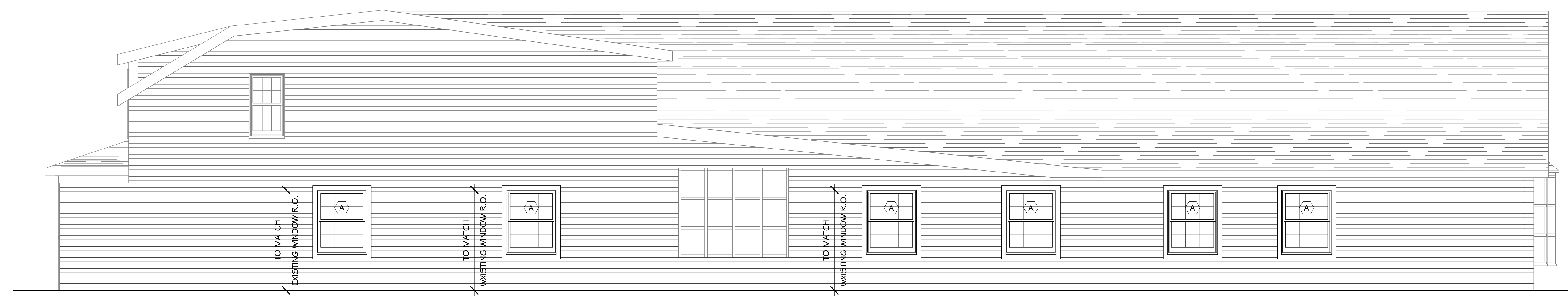
1 SOUTH ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

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 ROCHESTER, NY 14623
 CALL: (585) 272-9170
 FAX: (585) 292-1262
 www.greaterviving.com

CONSULTANT:
 Received by DIMarco 08/04/23

CLIENT/LOCATION:
 MARILEE SERCU
 3350 MONROE AVE.,
 PITTSFORD, NY 14618

REVISIONS:

#	DATE	BY	DESCRIPTION

EXTERIOR ELEVATIONS

DRAWN: DOR DATE: 8/4/2023

PROJECT: 23163 SHEET: A2.0

DEMOLITION LEGEND

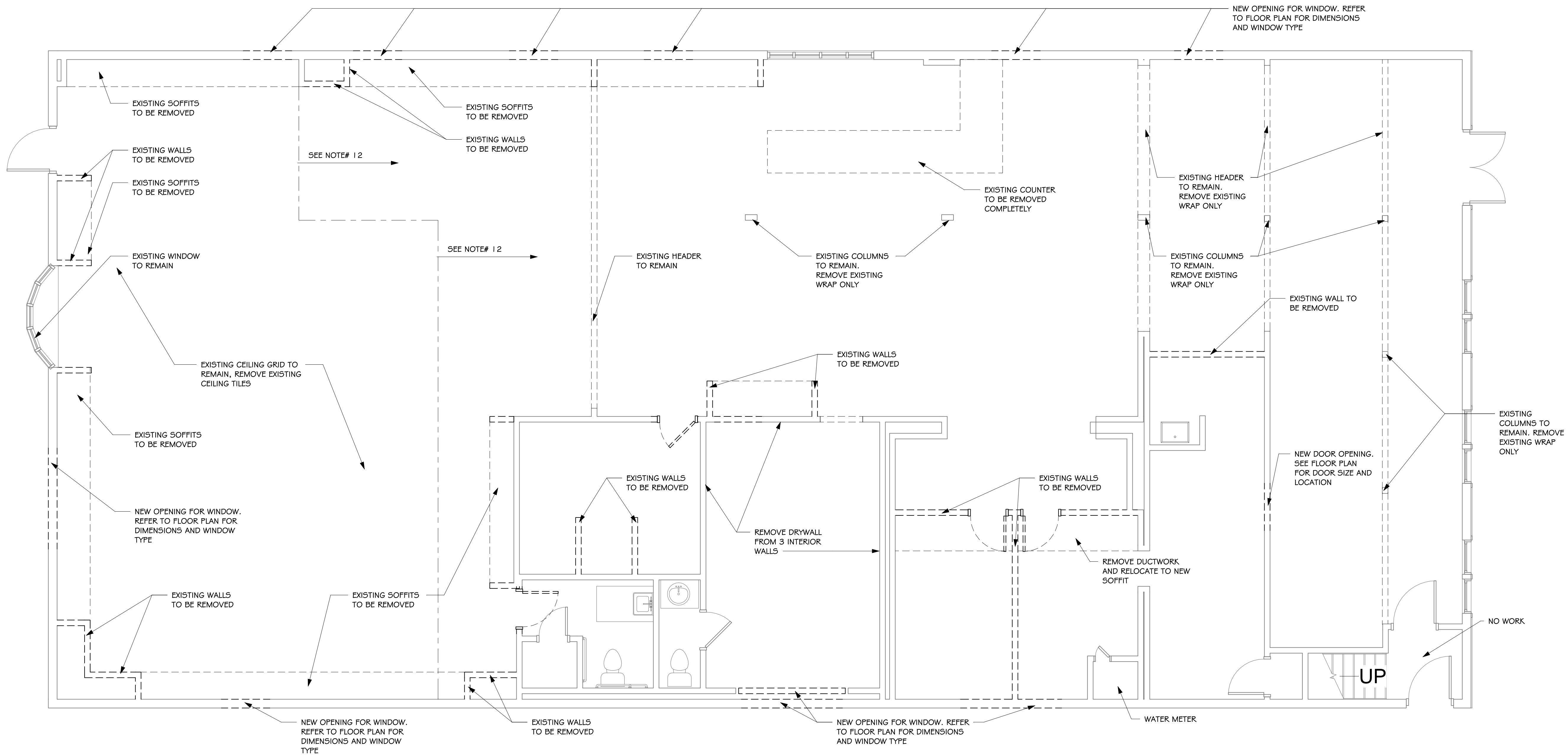
- == == == EXISTING WALL TO BE DEMOLISHED
- ==== EXISTING WALL TO REMAIN
- ⌒ EXISTING DOOR TO BE DEMOLISHED
- ⌒ EXISTING DOOR TO REMAIN

GENERAL DEMOLITION PLAN NOTES

- 1 VERIFY BEARING CONDITIONS PRIOR TO REMOVAL OF ANY WALL SCHEDULED FOR DEMOLITION.
- 2 THE CONTRACTOR IS TO REMOVE AND LEGALLY DISPOSE OF ALL MATERIALS INDICATED FOR REMOVAL. THE OWNER HAS THE RIGHT TO RETAIN ANY EXISTING MATERIALS TO BE REMOVED. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVALS.
- 3 IN ALL AREAS OF DEMOLITION, WORK INCLUDES ALL PREPARATION NECESSARY FOR INSTALLATION OF NEW WORK.
- 4 ALL PERIMETERS OF DEMOLITION WORK ARE TO BE PATCHED TO MATCH EXISTING ADJACENT FINISHES. PROTECT EXISTING SURFACES FROM DAMAGE DURING DEMOLITION.
- 4 IF ANY BEARING WALLS ARE SCHEDULED FOR DEMOLITION, REVIEW NEW FRAMING REQUIREMENTS WITH THE ARCHITECT PRIOR TO REMOVAL.
- 5 TEMPORARILY BRACE STRUCTURE TO REMAIN WHEN BEARING WALLS ARE SCHEDULED FOR DEMOLITION.
- 6 CAREFULLY REMOVE AND STORE ANY AND ALL ITEMS TO BE REUSED OR RELOCATED. ITEMS SHALL BE STORED IN AN AGREED UPON LOCATION APPROVED BY THE OWNER.
- 7 IF EXCESSIVE DEMOLITION OCCURS REPAIR TO "LIKE NEW" CONDITION AT NO COST TO THE OWNER.
- 8 IF EQUIPMENT/ WIRING OR DUCT WORK PASSES THROUGH WALLS SCHEDULED FOR DEMOLITION, REMOVE AND RELOCATE IN WALLS TO REMAIN OR NEW WALLS.
- 9 IF LUGS/ ANCHORS OR FASTENERS REMAIN AFTER WALL REMOVAL CUT THEM OFF FLUSH WITH ADJACENT SURFACES.
- 10 IF EQUIPMENT/ FIXTURES OR DUCT WORK IS SCHEDULED TO BE REMOVED AND NOT REPLACED, REMOVE IT AND ITS RELATED COMPONENTS IN THEIR ENTIRETY AND CAP OFF PER CODE REQUIREMENTS.
- 11 COORDINATE THE EXTENT OF ALL REMOVALS WITH ALL NEW WORK AS SHOWN ON THE DRAWINGS, INCLUDING THOSE OF OTHER DISCIPLINES AND/OR TRADES.
- 12 CEILING TILES AND GRID TO BE REMOVED FROM PRIVATE OFFICES, CONFERENCE ROOM AND SUPPLY ROOM, REFER TO RCP A1.3

WALL PLAN LEGEND:

- ▬ EXISTING STUD WALL TO REMAIN
- ▬ NEW STUD WALL TO UNDERSIDE OF CEILING FRAMING
- - - EXISTING TO BE DEMOLISHED



1 DEMOLITION PLAN
1/4" = 1'-0"
4,467 SQ.FT.

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11/30/2023

Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWAINE ROAD
ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greatliving.com

CONSULTANT:
Received by DIMarco 08/04/23

CLIENT/LOCATION:
MARILEE SERCU
3350 MONROE AVE.,
PITTSFORD, NY 14618

REVISIONS:

#	DATE	BY	DESCRIPTION

FIRST FLOOR DEMOLITION PLAN

DRAWN: DOR	DATE: 8/4/2023
PROJECT: 23163	SHEET: D1.0

FLOOR PLAN LEGEND

- # CONSTRUCTION KEYNOTE
- EXISTING WALL TO REMAIN
- PROVIDE WALL
- EXISTING DOOR TO REMAIN
- PROVIDE DOOR

WALL PLAN LEGEND:

- EXISTING STUD WALL TO REMAIN
- NEW STUD WALL TO UNDERSIDE OF CEILING FRAMING
- EXISTING TO BE DEMOLISHED

GENERAL FLOOR PLAN NOTES

- 1 REFER TO FLOOR PLAN WALL LEGEND FOR NEW VS. OLD WALLS.
- 2 CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND ORDERING.
- 3 ALL DIMENSIONS OF INTERIOR PARTITIONS SHOWN ARE DRAWN TO THE CENTERLINE OF WALL. ALL DIMENSIONS OF EXTERIOR WALLS ARE DRAWN TO FINISH FACE (EXTERIOR OR INTERIOR) OF ASSEMBLY, U.N.D.
- 4 DIMENSIONS NOTED "CLEAR" ARE BETWEEN FINISHED FACES OF WALL AND ARE CRITICAL MINIMUM DIMENSIONS FOR ADA ACCESSIBILITY OR CASEWORK, EQUIPMENT, FURNITURE ETC.
- 5 ENERGY COMPLIANCE BASED ON THE PRESCRIPTIVE METHOD, REFER TO SECTIONS FOR INSULATION VALUES.
- 6 CONSULT ARCHITECT FOR ANY MAJOR DIMENSIONAL DISCREPANCIES FOUND IN THE FIELD.
- 7 PROVIDE OUTLETS AND SWITCHES PER CLIENT.

HEADER SCHEDULE

EXTERIOR WALLS - FIRST FLOOR		
< 4'-0"	(2) 2x6's	G4N w/ (2) JACK STUDS
< 5'-0"	(2) 2x8's	G4N w/ (2) JACK STUDS
< 6'-2"	(2) 2x10's	G4N w/ (2) JACK STUDS
< 7'-1"	(2) 2x12's OR (3) 2x10's	G4N w/ (2) JACK STUDS
EXTERIOR WALLS - SECOND FLOOR		
< 3'-2"	(2) 2x4's	G4N w/ (2) JACK STUDS
< 4'-8"	(2) 2x6's	G4N w/ (2) JACK STUDS
< 5'-11"	(2) 2x8's	G4N w/ (2) JACK STUDS
< 7'-3"	(2) 2x10's OR (3) 2x8's	G4N w/ (2) JACK STUDS

NOTE: ALL HEADERS TO BE GLUED & NAILED, TYP.

INTERIOR BEARING WALLS

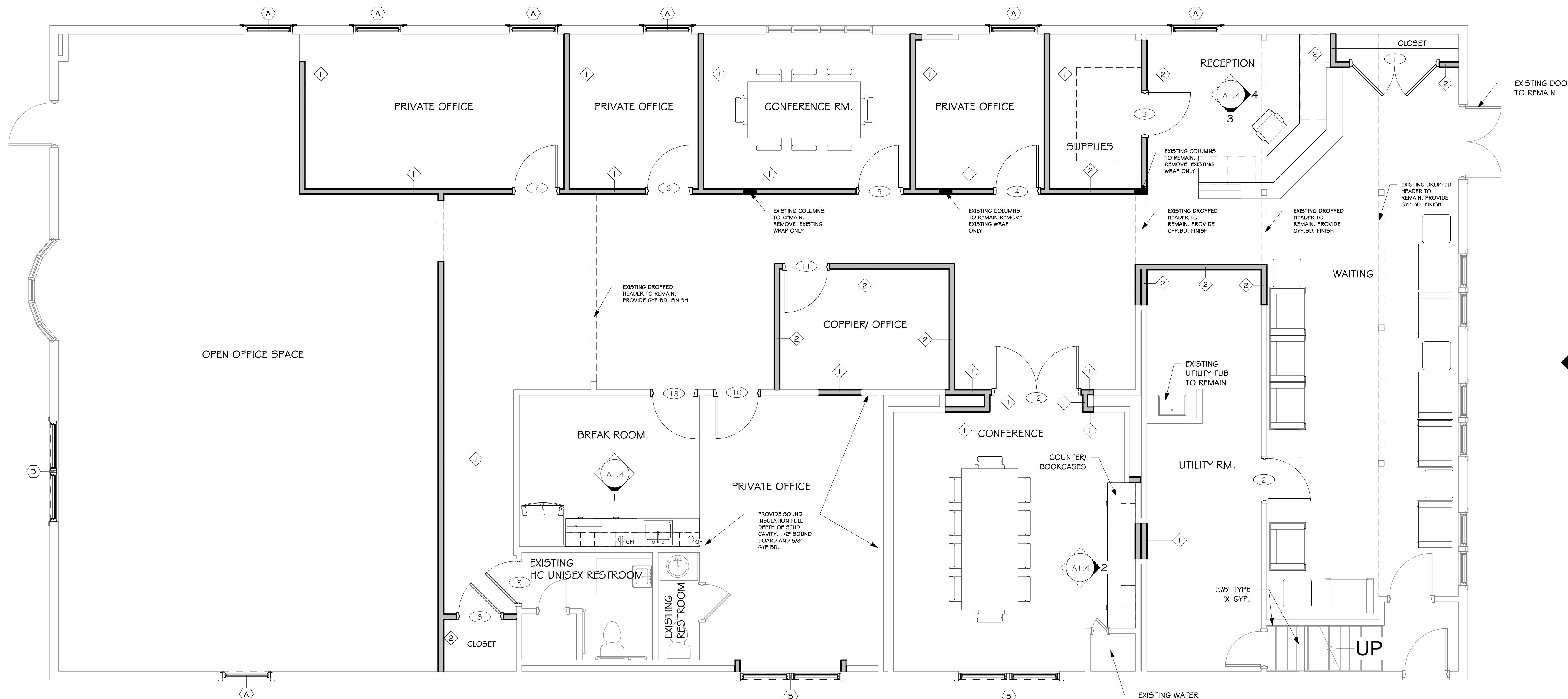
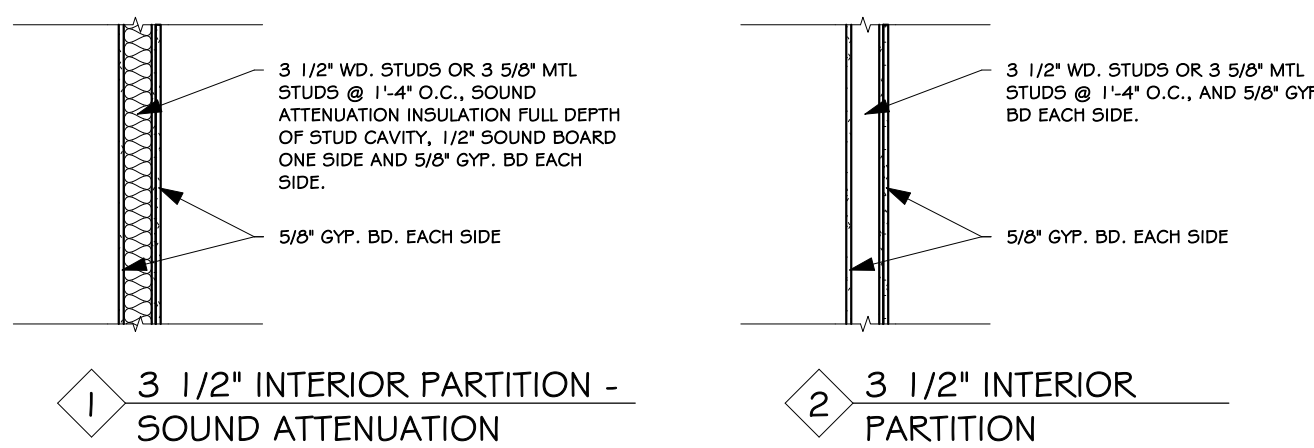
INTERIOR WALLS - FIRST FLOOR & SECOND FLOOR		
< 4'-6"	(2) 2x8's OR (3) 2x6's	G4N w/ (2) JACK STUDS
< 6'-6"	(2) 2x10's OR (3) 2x8's	G4N w/ (2) JACK STUDS
< 7'-6"	(2) 2x12's OR (3) 2x10's	G4N w/ (2) JACK STUDS
< 8'-6"	(3) 2x12's	G4N w/ (2) JACK STUDS

NOTE: ALL HEADERS TO BE GLUED & NAILED, TYP.

GENERAL CONSTRUCTION NOTES

- 1 ALL WORK IS TO CONFORM TO FEDERAL, STATE, AND LOCAL CODES AS INDICATED BY THE AUTHORITY HAVING JURISDICTION.
- 2 CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS, DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- 3 GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING INSIDE OF FRAMED WALLS AS REQUIRED FOR ALL WALL MOUNTED MILLWORK AND CASEWORK, PLUMBING ACCESSORIES, TACK BOARDS AND MARKER BOARDS.
- 4 ALL DIMENSIONS OF GYPSUM BOARD AND METAL STUD PARTITIONS SHOWN ARE DRAWN TO FINISH FACE OF WALL. ALL DIMENSIONS OF MASONRY PARTITIONS AND MASONRY OPENINGS ARE TO THE FACE OF MASONRY.
- 5 DIMENSIONS NOTED "CLEAR" ARE BETWEEN FINISHED FACES OF WALL AND ARE CRITICAL MINIMUM DIMENSIONS FOR ADA ACCESSIBILITY OR CASEWORK, EQUIPMENT, FURNITURE ETC.
- 6 REFER TO FLOOR PLANS FOR PARTITION TYPE LOCATIONS AND ADDITIONAL DIMENSIONS, REFER TO PARTITION TYPES LEGEND FOR APPROPRIATE PARTITION TYPE.
- 7 REFER TO MECHANICAL & STRUCTURAL DRAWINGS FOR EXACT SIZE AND LOCATION OF MECHANICAL OPENINGS.
- 8 REFER TO SCHEDULE ON STRUCTURAL DRAWINGS FOR ALL MASONRY UNTELS.
- 9 FILL AND SEAL ALL VOIDS AT TOP OF ALL PARTITIONS (CMU, GYPSUM BD., ETC.) TO UNDERSIDE OF DECK. COMPRESSIBLE FIRE STOPPING TO BE USED AT ALL FIRE RATED PARTITIONS AND SMOKE PARTITIONS.
- 10 FLOOR FINISH PARTITIONS TO OCCUR UNDER DOORS, TYP.

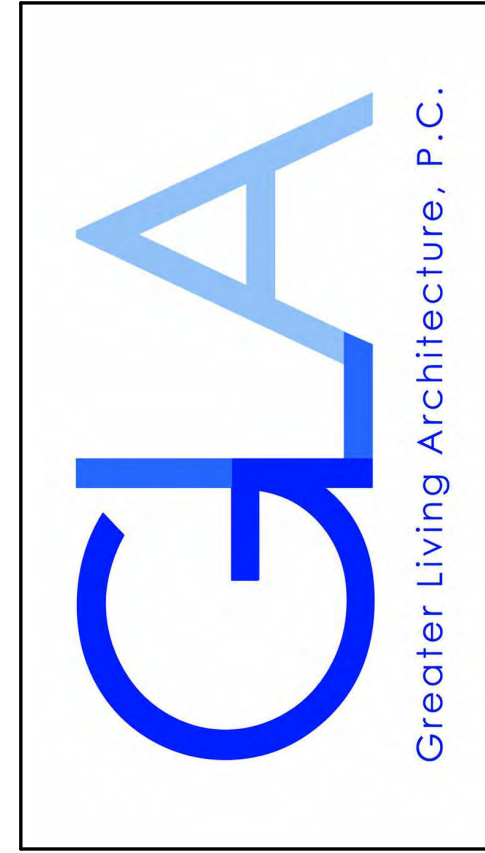
WALL TYPES:



1 01-FIRST FLOOR PLAN
1/4" = 1'-0"
4,467 SQ.FT.

NOTE: FURNITURE FOR REFERENCE ONLY

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ROCHESTER, NY 14623
CALL: (585) 272-9170
FAX: (585) 292-1262
www.greterliving.com

CONSULTANT:
Received by DIMarco 08/04/23

CLIENT/LOCATION:
MARILEE SERCU
3350 MONROE AVE.,
PITTSFORD, NY 14618

REVISIONS:

#	DATE	BY	DESCRIPTION

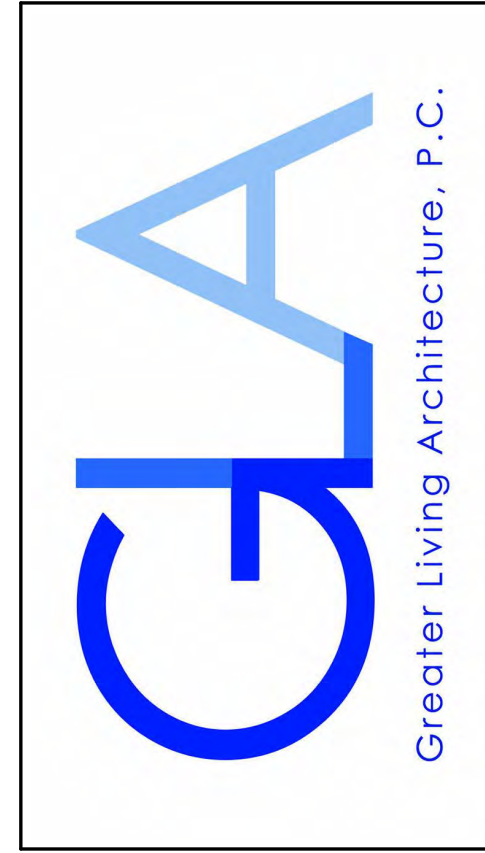
FIRST FLOOR PLAN

DRAWN: DOR	DATE: 8/4/2023
PROJECT: 23163	SHEET: A1.1

GENERAL FLOOR PLAN NOTES

- 1 REFER TO FLOOR PLAN WALL LEGEND FOR NEW VS. OLD WALLS.
- 2 CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND ORDERING.
- 3 ALL DIMENSIONS OF INTERIOR PARTITIONS SHOWN ARE DRAWN TO THE CENTERLINE OF WALL. ALL DIMENSIONS OF EXTERIOR WALLS ARE DRAWN TO FINISH FACE (EXTERIOR OR INTERIOR) OF ASSEMBLY, U.N.O.
- 4 DIMENSIONS NOTED "CLEAR" ARE BETWEEN FINISHED FACES OF WALL AND ARE CRITICAL MINIMUM DIMENSIONS FOR ADA ACCESSIBILITY OR CASEWORK, EQUIPMENT, FURNITURE ETC.
- 5 ENERGY COMPLIANCE BASED ON THE PRESCRIPTIVE METHOD, REFER TO SECTIONS FOR INSULATION VALUES.
- 6 CONSULT ARCHITECT FOR ANY MAJOR DIMENSIONAL DISCREPANCIES FOUND IN THE FIELD.
- 7 PROVIDE OUTLETS AND SWITCHES PER CLIENT.

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 3350 MONROE AVE.,
 PITTSFORD, NY 14618

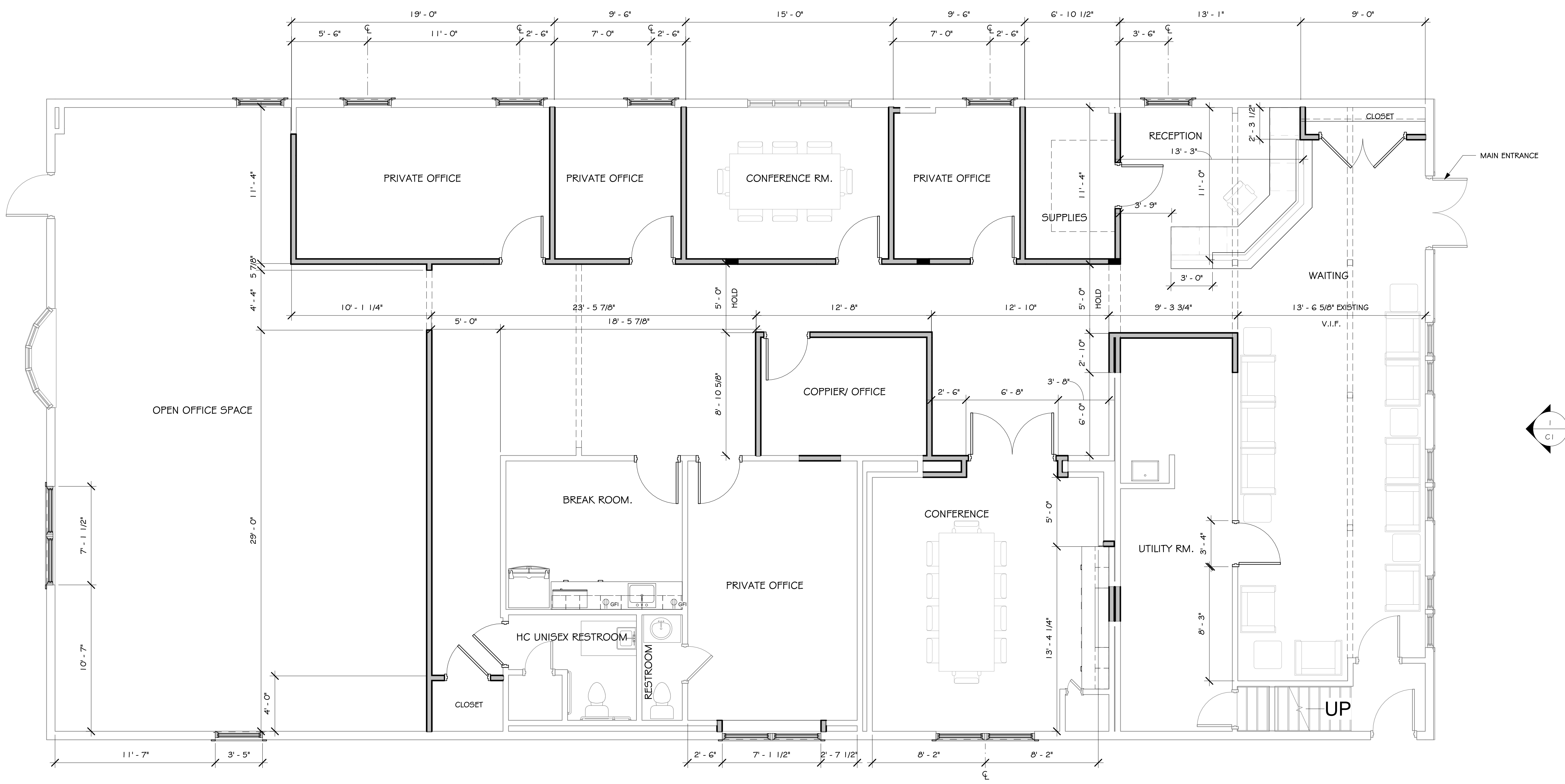
REVISIONS:

#	DATE	BY	DESCRIPTION

FIRST FLOOR DIMENSION PLAN

DRAWN: DOR **DATE:** 8/4/2023

PROJECT: 23163 **SHEET:** A1.2



FIRST FLOOR DIMENSION PLAN
 1/4" = 1'-0"
 4,467 SQ.FT.

LIGHTING LEGEND			
TYPE	DESCRIPTION:	MANUFACTURER:	PRODUCT:
A	24" x 24" (2x2) RECESSED MOUNTED LED		
B	DECORATIVE PENDANT LIGHT		
C	4" RECESSED CAN LIGHT		

GENERAL NOTES:

- 1) ALL NEW LIGHT FIXTURES TO BE FLICKER FREE 0-10V DIMMING CAPABLE & 4000K.
- 2) ALL NEW LIGHT SWITCHES TO BE LED DIMMER SWITCHES.
- 3) ALL INDIVIDUAL ROOMS TO HAVE MOTION DETECTOR SWITCH.
- 4) ALL BATHROOMS TO HAVE ONE MOTION SWITCH CONNECTED TO ALL FIXTURES.
- 5) ALL CEILING TO BE 2X2 ACT SYSTEM SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHT.

FIRE PROTECTION SYMBOL LIST	
△	STROBE UNIT
RAP	REMOTE ANNUCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
CD	CARBON MONOXIDE DETECTOR
M	MANUAL PULL STATION
SD	SMOKE DETECTOR
HT	HEAT DETECTOR
HORN	HORN/STROBE UNIT
EXIT	EXIT SIGN W/ BATTERY BACKUP
EL	EMERGENCY LIGHT W/ BATTERY BACKUP
EXIT EL	EMERGENCY LIGHT W/ BATTERY BACKUP W/ EXIT SIGN COMBO
FE	FIRE EXTINGUISHER
CS	SMOKE & CO DETECTOR COMBO

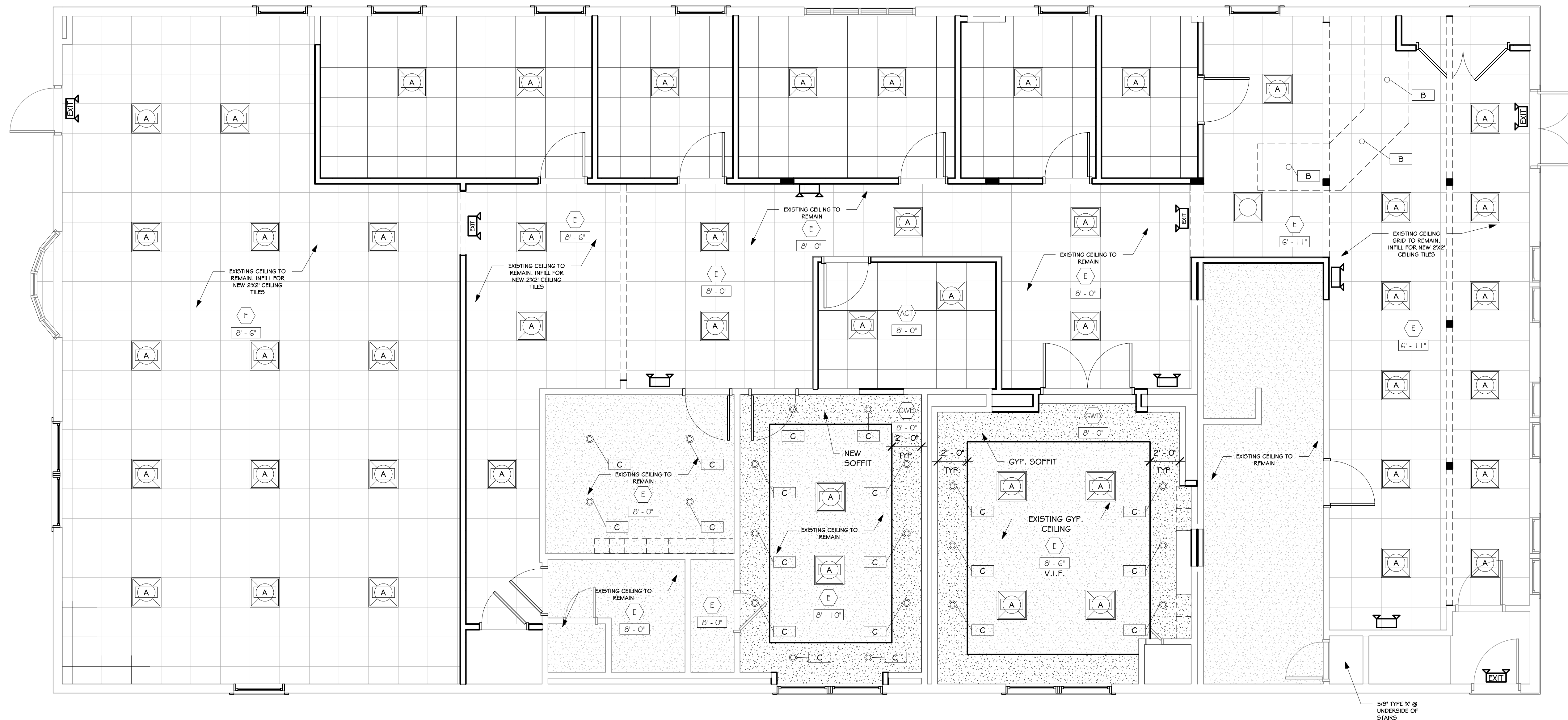
GENERAL REFLECTED CEILING NOTES

- 1 CEILING GRIDS TO BE CENTERED ON ROOM WITH EQUAL BORDERS AT WALLS UNLESS OTHERWISE NOTED. MINIMUM CEILING TILE BORDER CUT SHALL BE 6".
- 2 SEE MECHANICAL, ELECTRICAL & PLUMBING DRAWINGS FOR A COMPLETE DESCRIPTION OF ALL CEILING MOUNTED FIXTURES & DEVICES.
- 3 IN AREAS WHERE NEW CEILING TILES ARE INSTALLED IN EXISTING GRID, COORDINATE WITH E.C. REGARDING REINSTALLATION OF EXISTING ELECTRICAL LIGHTS AND DEVICES.
- 4 REFER TO REFLECTED CEILING LEGEND FOR CEILING & SOFFIT MATERIAL.
- 5 ALL GYP. BD. CEILINGS & SOFFITS TO BE PAINTED - REFER TO FINISH PLANS FOR CEILINGS & SOFFIT FINISHES.

REFLECTED CEILING LEGEND:

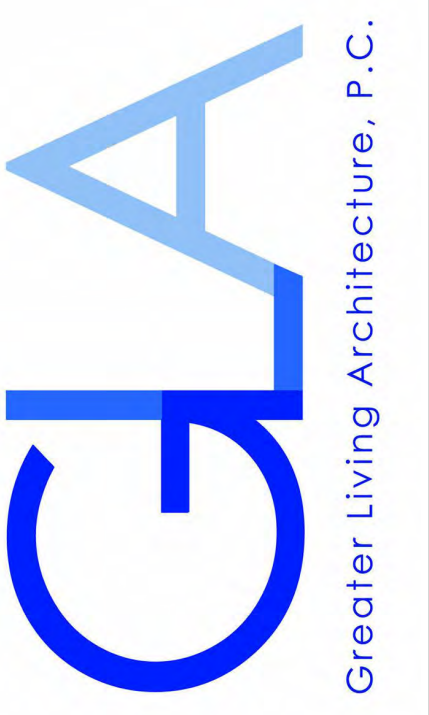
NOTE: SYMBOLS ARE GRAPHIC REPRESENTATIONS - ALL SYMBOLS AS SHOWN MAY NOT APPEAR ON ALL DRAWINGS.

- 2' x 2' SUSPENDED CEILING ASSEMBLY
- GYP. BOARD SOFFIT / CEILING
- INDICATES CEILING HEIGHT ABOVE FINISHED FLOOR REFER TO GENERAL REFLECTED CEILING NOTE 3)



01-FIRST FLOOR RCP
1/4" = 1'-0"
4,467 SQ.FT.

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CLIENT/LOCATION:
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REVISIONS:

#	DATE	BY	DESCRIPTION

FIRST FLOOR REFLECTED CEILING PLAN

DRAWN: DOR	DATE: 8/4/2023
PROJECT: 23163	SHEET: A1.3