

Design Review & Historic Preservation Board
AGENDA
July 13, 2023

This agenda is subject to change

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, July 13, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

Geoca Subdivision

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATIONS – NEW

5 Pepperwood Court

Applicant is requesting design review for the addition of a 672 square foot garage and mudroom on the northwest side of the house.

80 North Country Club Drive

Applicant is requesting design review for a 103 square foot addition to the back of the house.

4 Pine Acres Drive

Applicant is requesting design review for the addition of a covered patio.

96 Coventry Ridge

Applicant is requesting design review for the addition of a covered patio on the southeast side of the house.

COMMERCIAL APPLICATIONS – NEW

4045 East Avenue – Irondequoit Country Club

Applicant is requesting design review for the addition of a covered patio on the northwest side of the building.

**TOWN OF PITTSFORD
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
JUNE 22, 2023**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on June 22, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Jim Vekasy, Bonnie Salem, Dirk Schneider, Paul Whitbeck, John Mitchell

ABSENT: Kathleen Cristman, Dave Wigg

ALSO PRESENT: Bill Zink, Building Inspector; Doug DeRue, Director of Planning, Zoning, and Development; Meghan Brooks, Building Department Assistant

ATTENDANCE: There were 17 members of the public present.

Design Review and Historic Preservation Board Chairman Dirk Schneider called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION:

Geoca Subdivision – 215 Mendon Road

Doug DeRue, the Director of Planning, Zoning, and Development, stated that while the timing between meetings has not allowed the Design Review and Historic Preservation Board's comments from the June 8th meeting to be brought to the Planning Board, the Planning Board would like DRHPB's thoughts on the number of lots that would be preferable in the Geoca Subdivision.

DRHPB Member Bonnie Salem stated for the record that in the last day there has been a change in procedure upon follow up from the Town Attorney, and that no Certificate of Appropriateness will be issued for the subdivision as a whole. DRHPB Chairman Dirk Schneider asked if there is any chance of adding something to the code in the future that would allow the Board to have more say in the development in historic districts. Mr. DeRue said that while he concurs with the sentiment of the question, the Town Attorney is correct by the letter of the current code.

DRHPB Member Paul Whitbeck inquired as to the cost associated with moving the road and noted his surprise that a historic district can be so altered. Mr. DeRue answered that the cost would be dependent on timing on the road being built, and that it would be borne by New York State. He noted that while he understands the surprise and concern, he must follow planning that has happened in the past. The right-of-way is not only intended to change the intersection but preserve the historic district from potential future expansion of the existing intersection. The right-of-way plan has existed for twenty-five years and the Planning Board has an obligation to respect the comprehensive plan for the right-of-way. There would need to be a strong catalyst

for this road to be built that would lead the State to take action, similar to other road improvements in Town over the last twenty years.

DRHPB Member Jim Vekasy asked whether the owner could still subdivide, regardless of whether the road was built; Mr. DeRue confirmed that they could. On this point, Board Member Salem said that the key would be to orient future houses in such a way that they would align aesthetically with both the current road and a potential new road.

Board Chairman Schneider asked about the possibility of realigning the right-of-way to be further south so that the subdivided parcels would be north of the right-of-way. Mr. DeRue answered that moving the road would infringe upon the neighboring property and, even if some of said property was bought to accommodate it, the resulting lot sizes would be diminished.

Board Member Whitbeck noted that the road would end up going behind the historic Lusk House in this plan and should be taken into consideration. Mr. DeRue stated that the Lusk House is some distance from the right-of-way, and that the house is also canted slightly so it would not truly back any road built on the right-of-way.

Board Chairman Schneider stated that four lots would certainly be too many for the subdivision, and asked if houses could be built in the right-of-way. Following a discussion on parcels, the Board agreed that any lots should be appropriate in scale and size for the district. Mr. DeRue noted that, in order to preserve it for the potential road, nothing can be built in the right-of-way, but that the Planning Board had said that three lots would provide flexibility for housing development appropriate for the district.

DRHPB Member John Mitchell pointed out that the project had been on hiatus for over twenty-five years, and it could take another twenty-five years for the road to be built. He reiterated Board Member Salem's earlier point that it would be important to plan for current and future infrastructure, and asked about the construction of driveways for the subdivided parcels. Mr. DeRue stated that he and the Town Attorney had had a discussion on the best way to do it, and suggested that an option could be that, in the example of a subdivision of three parcels, two houses could share a common driveway to one current road while the third could have a driveway to the other; upon the construction of the road through the right-of-way, the driveways could then be reoriented if need be.

Board Chairman Schneider noted that current setback requirements did not necessarily align with the historic nature of any subdivided parcels, and asked if the Planning Board would be able to change them. Mr. DeRue stated that, in this case, the Planning Board would only have the flexibility to alter front setbacks, such as in the case of a private drive. Board Member Vekasy asked if the Planning Board has the ability to define which setback is the front setback and if it could switch upon the construction of the new road. Mr. DeRue answered that the trick, in that sense, would be to find an angle that works for both.

Following this discussion, Board Chairman Schneider inquired of the Board what notes they would like to send to the Planning Board. The following feedback was approved by the DRHPB and provided to the Planning Board for their meeting on June 26, 2023:

TOWN OF PITTSFORD

SETTLED 1789

11 SOUTH MAIN STREET, PITTSFORD, NY 14534
TEL. 585-248-6200 FAX 585-248-6247

DRHPB COMMENTARY ON PARCEL DIVISION OF GEOCA SUBDIVISION

On Thursday, June 22, 2023, the Design Review & Historic Preservation Board (DRHPB) gave the following feedback:

- The DRHPB supports no new development, of a road or any additional residential development, in order to retain the historic integrity of the district. It is the Town's only historic district and is a 19th century settlement area unduplicated in Pittsford. Unlike many historic sites, it is important that the actual terrain is to be preserved, not just one building. The intersection is the heart of this historic district, supplemented by the several buildings and cemetery. The meeting of several old roads is key.
- If new development is necessary, the DRHPB strongly recommends dividing the existing property into three total lots, one existing home and two new lots, with the setbacks of new lots orienting towards existing streets in such a way that would allow for the possibility of the Stone Road realignment should it be constructed.
- The DRHPB agrees that modern front setback standards are "out-of-character" for this historic district and recommends that historical context is taken into consideration when establishing the front setback.
- The DRHPB recognized that historic homes still need to function as homes and the key to a successful district is to be respectful of the historic nature of the district even as it changes.
- Regarding future homes, the DRHPB advises that modest homes, subservient in size to the existing homes and of appropriate style with detached garages, would be most likely to be successful in the Mile Post/Stonetown Historic District.

Full meeting minutes for the June 22, 2023, Design Review & Historic Preservation Board will be available following its approval at the next DRHPB meeting.

Respectfully,

Meghan Brooks
Building Department Assistant

RESIDENTIAL APPLICATIONS – RETURNING:

15 Knobb Hill

The applicant is requesting design review for the construction of a 225 square foot three season addition off the back of the home.

Vitalisha Bhargava, son of the homeowner, introduced the application. He stated that all drawings and technical requirements have been submitted. Board Member Mitchell confirmed that the new drawings have provided further insight into the project. Board Member Salem asked the other board members if satisfied with rooflines. Board Chairman Schneider noted that there is a vent in the existing roofline that does not appear on the drawings, and to take that into account with building. Board Member Whitbeck confirmed that all the roofs will be of the same material. Board Member Salem confirmed that French doors will be used.

DRHPB Board Member Paul Whitbeck motioned to approve the construction of a 225 square foot three season addition off the back of the home as submitted, seconded by DRHPB Chairman Dirk Schneider. Following a unanimous voice vote, the application was approved.

215 West Brook Road

The applicant is requesting design review for the addition of a 960 square foot garage connected to the side of the house.

Ken Horan of Ken Horan Remodeling introduced the application. Following stipulations made by the Board at the June 8, 2023, DRHPB meeting, he returned with updated plans that included lengthening of soffits on the addition, offsetting the breezeway and garage by two feet, and changing the breezeway windows to full-length. Board Member Salem stated that the three-car garage was still on the plans and expressed that it is not in-keeping with the neighborhood to have an attached three-car garage. Mr. Horan said that the homeowners are adamant about having a three-car garage and that due to floodplain, the garage could not be put behind the house.

Board Chairman Schneider asked whether there is a current garage. Mr. Horan stated that there was an old one under the home but that it no longer functions as a garage. Board Chairman Schneider also confirmed that the main entrance to the home would stay where it is, and noted that he liked that Mr. Horan is respecting the shape of the roof by mimicking the soffits even though the slope will be brought to current code requirements.

Board Chairman Schneider inquired about the make of the garage doors. Mr. Horan stated that they will be flat panels in order to maintain the style of the home, and Board Chairman Schneider agreed that that is in keeping with the Hershey's designs. He also stated that the hierarchy still seems to be preserved by the garage being lower than the house. Board Members Mitchell and Vekasy stated that they were okay with the new plans, and Board Member Vekasy added that he feels that the newest changes brought the addition into alignment, stylistically, with the existing structure even with its large size. Board Member Whitbeck stated that he liked that the garage is subordinate to the house in its position.

Board Member Salem stated that, in past meetings during which three car garages were brought to the DRHPB, not all passed unanimously. She expressed concern that this could create unwelcome precedent for front-facing three-car garages in the neighborhood. In the

neighborhood, most garages are detached and set back or facing away. She suggested moving the addition back, but Mr. Horan said that there is a floodplain and that would not be possible.

DRHPB Chairman Dirk Schneider motioned to approve the construction of the addition of a 960 square foot garage connected to the side of the house as submitted, with the condition that the garage doors are flat-paneled doors, seconded by DRHPB Member Jim Vekasy. DRHPB Member Bonnie Salem opposed. Following a voice vote of 4-1, the application was approved.

RESIDENTIAL APPLICATIONS – NEW:

2 Charter Oaks

The applicant is requesting design review for a 124 square foot front porch addition and a 284 square foot garage addition to the east side of the house.

Board Member Salem noted that this application has been through the Zoning Board and does meet requirements set forth.

Warren Waldo introduced the application for Bridgewood Design and Consulting. He stated that the reason for the additions is that the homeowners are looking to bring it out of the 1970's and into the 2020's. Board Chairman Schneider asked what would be changed. Mr. Waldo answered that the garage would be brought forward, windows would be changed, the doorway area would be balanced out in design, stonework would be added to the bottom, and lights would frame the doorway. Board Chairman Schneider asked if all windows would be casement windows and if they would match proportionally; Mr. Waldo confirmed. Board Chairman Schneider asked if the garage door would look like the plan provided; Mr. Warren stated that the windows and garage door will all have angled mullions and match stylistically.

Board Member Salem shared that she had originally been concerned about moving the garage forward, but upon touring the neighborhood had noticed that many of the houses have garages of a similar style and it wouldn't be out of character. Board Member Schneider added that the 14 feet forward increase also would not be a significant change.

DRHPB Member John Mitchell motioned to approve the construction of the addition of a 124 square foot front porch addition and a 284 square foot garage addition as submitted, seconded by DRHPB Member Jim Vekasy. Following a unanimous voice vote, the application was approved.

4035 East Avenue

The applicant is requesting design review to reconstruct the front wall of the garage to include three garage doors and cement board siding and trim.

Tom Lawler, contractor, introduced the application on behalf of the homeowners. Mr. Lawler stated that they want to remove the two existing doors and change the building to a three-door garage. Board Member Salem expressed that it would be a huge improvement on the current design and noted that it is an inventoried historic structure. Board Chairman Schneider stated that renovations would make the house look as historic as it ever did. Board Member Salem concurred and said that proposed changes make a lot of sense.

DRHPB Member Bonnie Salem motioned to approve the reconstruction of the front wall of the garage to include three garage doors as submitted, seconded by DRHPB Chairman Dirk Schneider. Following a unanimous voice vote, the application was approved.

101 Stoneleigh Court

The applicant is requesting design review for the addition of a 241 square foot garage and mudroom.

Mary Strassburg of 101 Stoneleigh Court introduced the application. She stated rooflines and details to match the existing home and that it would meet setback requirements. Board Chairman Schneider asked what the old garage would be, and she said it would likely become a tasteful garden shed or similar. The old driveway would be removed. Board Member Vekasy asked what color the board and batten would be. Ms. Strasbourg stated that they would model the garage color on the house. Board Chairman Schneider inquired as to whether there would be second floor access from the house to the garage; Ms. Strassburg stated no. Board Member Mitchell stated that he liked how the details from the original structure are reflected in the design.

DRHPB Chairman Dirk Schneider motioned to approve the addition of a 241 square foot garage and mudroom with the condition that the board and batten be matched as closely as possible to current house color, seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved.

COMMERCIAL APPLICATIONS – PAINTING:

3300 Monroe Avenue

The applicant is requesting design review for repainting the exterior of the Pittsford Place Mall.

Frank Opett and Jennifer Ross of Pittsford Place Mall introduced the application. They stated that they would like to introduce new love and light to the building, and this painting project is their first phase of that plan. They want to create a simple, basic, clean, and light aesthetic. Ms. Ross noted that the fan on top and the exterior devices would be painted the same color as the wall to make it blend. All signs and awnings would remain the same for now. Board Member Whitbeck asked if the building is two stories. Ms. Ross stated that it is three stories, and that the first floor had already had some renovations done inside.

DRHPB Member Paul Whitbeck motioned to approve the repainting of the exterior of the Pittsford Place Mall as submitted, seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved.

COMMERCIAL APPLICATIONS – SIGNAGE:

3349 Monroe Avenue

The applicant is requesting design review for the addition of a 19.83 square foot sign for a tech repair shop.

No representative was present to introduce this application. Board Member Mitchell confirmed that it was the Pittsford Plaza location near the old Stein Mart. Ms. Brooks confirmed that the smaller lettering shown on the second page was a temporary signage banner and should not have been in file.

DRHPB Chairman Dirk Schneider motioned to approve the addition of a 19.83 square foot sign as submitted and reflected on page 2, seconded by DRHPB Member Bonnie Salem. Following a unanimous voice vote, the application was approved.

920 Linden Avenue

The applicant is requesting design review for the addition of a 11.22 square foot sign.

Steve Stanley of Vital Signs introduced the application. Mr. Stanley stated that the business currently has no sign, and proposed a sign just under 12 feet consisting of channel letters and mounted to the awning. He stated that the business owner wants to do it in this manner to reduce penetration into the buildings as much as possible. Board Chairman Schneider confirmed that the building was just built. Board Member Whitbeck asked if signs would be lit through the night; Mr. DeRue confirmed that lights have to follow commercial signage code, which requires that businesses turn off illumination within thirty minutes of the store closing.

DRHPB Chairman Dirk Schneider motioned to approve the addition of a 11.22 square foot sign as submitted, seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved.

OTHER DISCUSSION:

The minutes of June 8, 2023, were approved following a motion by DRHPB Member Mitchell, seconded by DRHPB Member Salem. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Chairman Dirk Schneider closed the meeting at 8:23PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT



July 9, 2023

To: Members of the Town of Pittsford Planning Board

From: Members of the Board of Directors, Historic Pittsford

Subject: Proposed subdivision in the Milepost/Stonetown Historic District

This memorandum expresses our concerns with the proposed subdivision of a parcel within Pittsford's only historic district. As board members of Historic Pittsford, we oppose subdivision and new construction on the property at 215 Mendon Road.

The three-acre property and those around the historic intersection comprise a rural area characterized by 1800's farmhouses, outbuildings, and open land. This area is recognized as a relatively unchanged early 19th century settlement –the only historic district in Pittsford.

Designated by the then Town of Pittsford Historic Preservation Commission in 1991, the Milepost/Stonetown Historic District encompasses an intact collection of properties, some representing the town's early settlement period. These include:: the Pioneer Cemetery (1797), Milepost School (site of Northfield's first school), the Stephen Lusk house (1857), 196 South Main Street (1840) and the oldest house in Pittsford at 784 Stone Road (c1800). Built in 1880, two other 19th century farmsteads, 14 Mendon Center Road and 215 Mendon Road, complete the district, especially 215 with its open space and viewshed from the south.

Town policy in regard to historic preservation, as noted on page 46 of the current 2019 Comprehensive Plan Update (www.townofpittsford.org/comp_plan_info_page), is to “affirm and strengthen the town’s commitment to historic preservation”. Sustaining the important elements of the town’s history is a benefit of historic preservation and a source of community pride as clearly noted on page 47 of the Comprehensive Plan. In light of the Plan, careful consideration of the impacts of this subdivision proposal must be undertaken by the Planning Board.

Despite the fact that this application is being reviewed under the RN neighborhood code not tailored to review of properties in historic districts, – a situation that must be remedied as soon as possible - we ask that you follow the guidance of the Comprehensive Plan and consider the historic significance of the site within the historic district:

- Discourage new construction on this property
- Respect the rural nature of the area by preserving the large area of open land present on this site and a key component
- Consider the negative impact new construction would have on the area surrounding the historic intersection
- Preserve the natural buffering of mature trees

- Recognize that by adopting the 2020 Active Transportation Plan (www.townofpittsford.org/active-transportation-plan), the town officially changed its goals regarding traffic. While an outdated 1995 Comprehensive Plan proposed a road through the historic district, this approach to traffic is no longer compatible with current goals and objectives for traffic, walking, biking and hiking
- The Historic Pittsford Board of Directors concurs with the Design Review and Historic Preservation Board's support for no new development on this site to retain the historic integrity of the district. (DRHPB Commentary of June 22, 2023)

Like you, we care about our community and its future as a desirable and beautiful place to live. Our historic and cultural resources, including the Milepost/Stonetown Historic District, currently the town's only historic district, contribute to the sense of place that draws us to live in Pittsford.

Like you, we are stewards of historic and cultural resources; and we are counting on you to make the appropriate call in this significant application. This is not a small decision.

Thank you

Executive Directors: Margaret Caraberis Brizee, President; Bonnie Salem, Vice President; Thomas Cummings, Treasurer; JoAnne Shannon, Secretary

Directors: Peter Brizee, Robert Corby, Megan DeFries, Mark Greene, Tom Helfrich, Karen Hultz, Audrey Johnson, Lori Leitgeb, Shelley O'Brien, Dave Peck (incoming), Deborah Resch, JoAnne Shannon, Suzanne Shaw (incoming), Paul Whitbeck

Cc: William Smith, Supervisor, Town of Pittsford

Doug DeRue, Director of Planning, Zoning and Development, Town of Pittsford

Wayne Goodman, Executive Director, Landmark Society

Virginia Bartos, SHPO, Survey and National Register Unit

April Zurowski

From: [REDACTED]
Sent: Friday, July 7, 2023 2:03 PM
To: Doug DeRue; April Zurowski; Meghan Brooks
Subject: Questions pertaining to the June 22 commentary by the DRHPB

[EXTERNAL]

To the DRHPB, Meghan Brooks, April Zurowski and Doug DeRue,

In response to the DRHPB COMMENTARY ON PARCEL DIVISION OF GEOCA SUBDIVISION, we respectively ask for the following clarifications:

1. What is your definition of a modest home?
2. What is your definition of a home that is subservient in size to the existing homes?

The closest and most prominent historic home is 1 Mendon Center Road, which is the Lusk Farm, built in 1812 and is 3,488 square feet. The Founder's Green Subdivision, built between 1998-2001, and located across the street from the proposed Geoca Subdivision, was allowed to build houses ranging in size from 2,198 to 2,686 square feet with the average size around 2400 square feet. The lot sizes for the Founder's Green Subdivision range between 0.17 and 0.34 acres with the average lot size .20 acres.

Are you looking for the Geoca Subdivision to mimic homes that are like the Lusk Farm or those in the Founder's Green subdivision which seem to average a bit over 2400 square feet in size? Or are we targeting homes between the sizes of 3,400 to 2,400 square feet?

3. What is your definition of a modern front setback? Would the setback that you are referencing be to the existing roads or to the future road? I would think that we would really want to work together to make sure that the homes look appropriate to the new road once built.

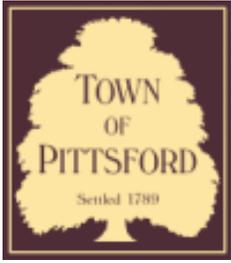
4. We very much appreciate your statement that "historic homes still need to function as homes". regarding "detached garages" what are you envisioning? The reality of our climate is such that for most home buyers the concept of a detached garage is not very functional. Perhaps we make sure that the garages of the homes are behind the front of the home so as to not be prominent features. Maybe we eliminate all garage forward designs?

Thank you for your commentary and we are looking forward to receiving your clarifications.

Eric Geoca

 Geoca Homes LLC

[REDACTED]
[REDACTED]



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000081

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 5 Pepperwood Court PITTSFORD, NY 14534

Tax ID Number: 177.04-2-62

Zoning District: RN Residential Neighborhood

Owner: Pitcher, Donald

Applicant: James L. Garrett Co. Inc.

Application Type:

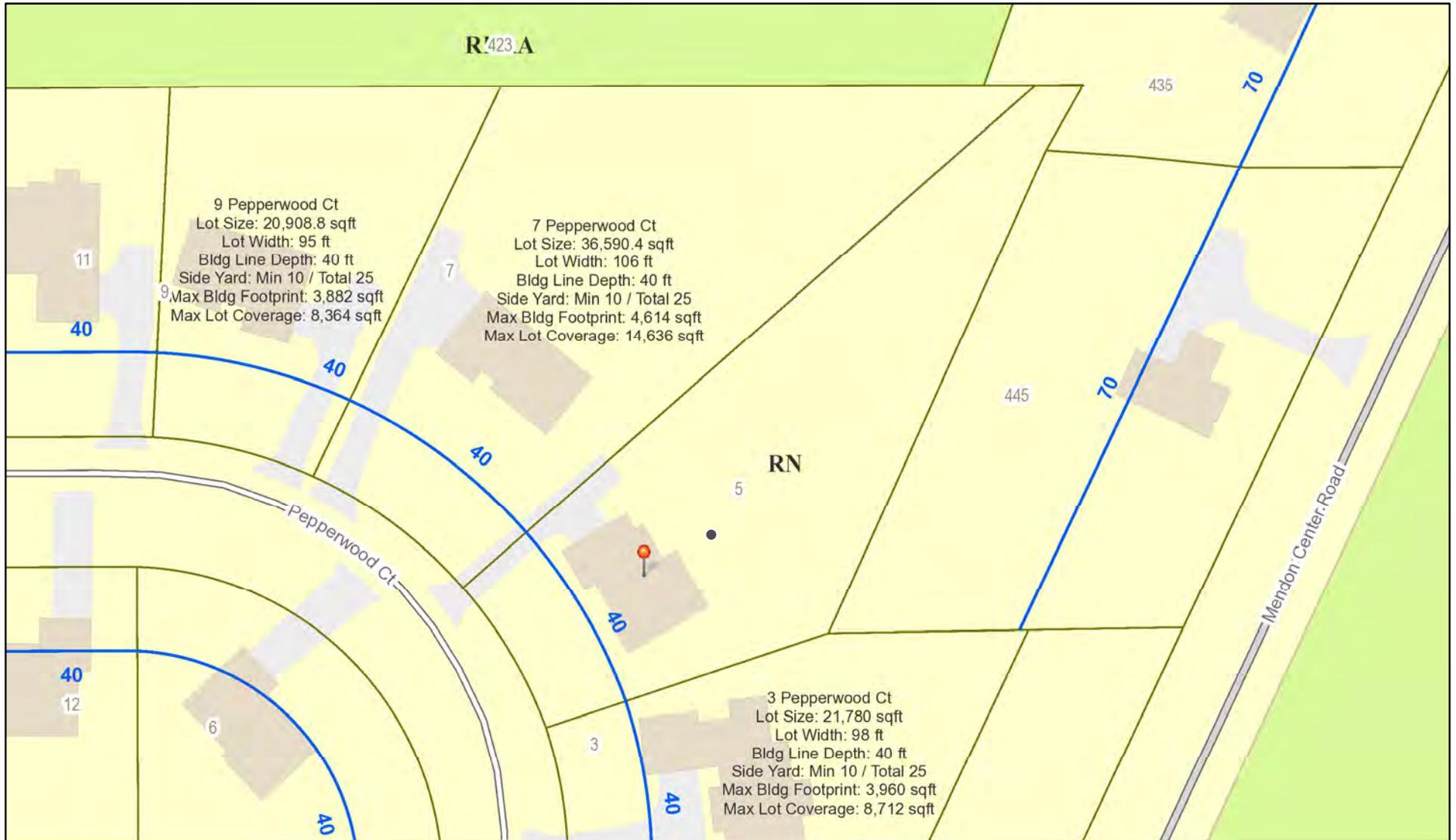
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a 672 square foot garage and mudroom on the northwest side of the house.

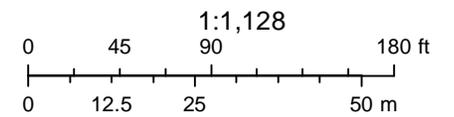
Meeting Date: July 13, 2023



RN Residential Neighborhood Zoning



Printed July 5, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



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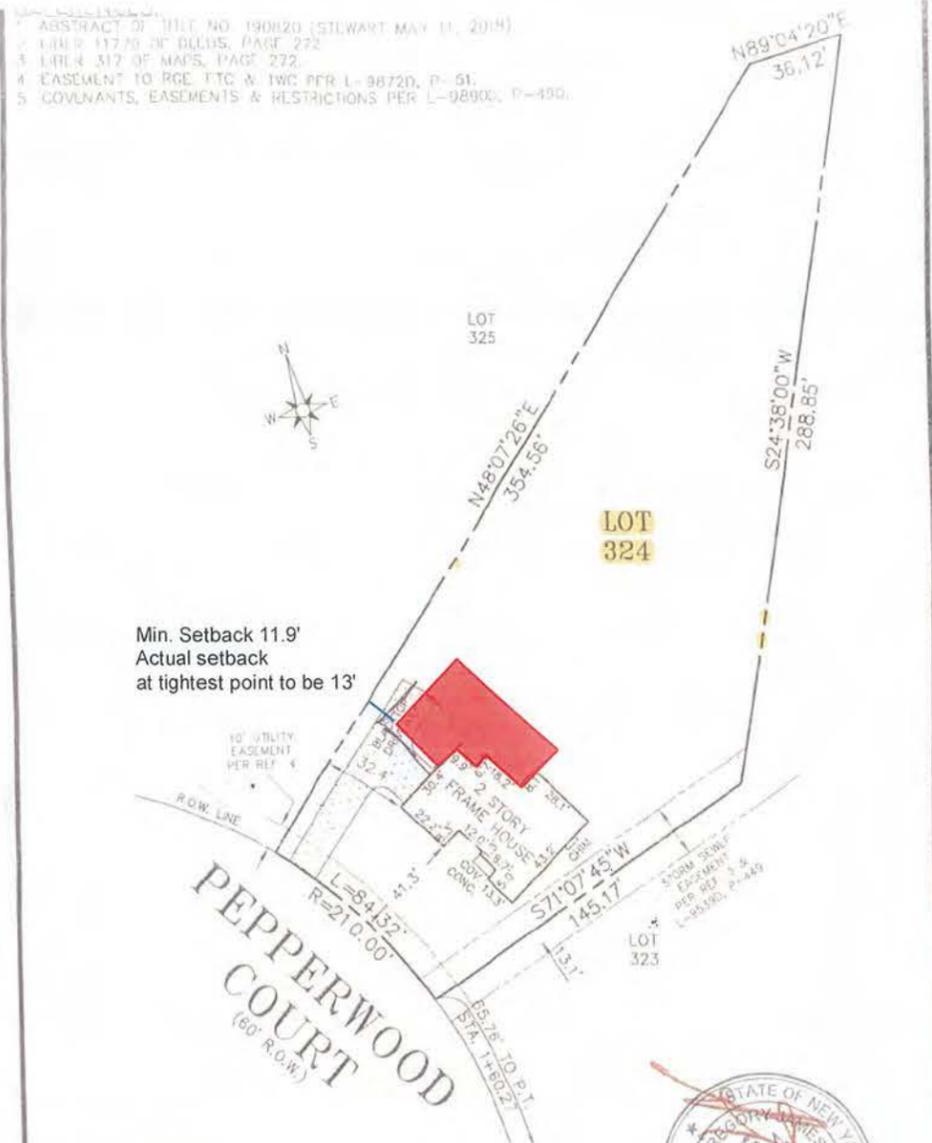
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04/03/2021

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1. ABSTRACT OF TITLE NO. 190820 (STEWART MAY 11, 2018)
2. LIR 11770 OF D.L.S., PAGE 272
3. LIR 4312 OF MAPS, PAGE 272
4. EASEMENT TO RGE, TTC & IWC PFR L-98720, P-51.
5. COVENANTS, EASEMENTS & RESTRICTIONS PER L-98900, P-490.

CERTIFICATION:
 I hereby certify to:
 DONALD AND LAUREN FITCHER;
 TREVETT CRISTO P.C.;
 CNB MORTGAGE COMPANY, ITS SUCCESSORS AND/OR ASSIGNS;
 ALBERT KUSAK, ESQ.;
 THE TITLE COMPANY INSURING THE MORTGAGE;
 that this map was made JUN. 29, 2018 from notes of an instrument
 Survey completed JUN. 21, 2018 and from references listed hereon.

Gregory J. Bileschi
 GREGORY J. BILESCHI, N.Y.S.L.S. # 50342
NOTE: Property corners should only be set by a licensed, registered land surveyor.



TITLE: INSTRUMENT SURVEY MAP
 5 PEPPERWOOD COURT
 BEING LOT 324 OF THE AUTUMN WOODS
 SUBDIVISION, SECTION 3, SITUATE IN
 THE TOWN OF PITTSFORD, COUNTY OF
 MONROE, STATE OF NEW YORK

GR BILESCHI LAND SURVEYING
 435 REYNOLDS ARCADE
 ROCHESTER, NEW YORK 14614
 (585) 454-6010 (phone)
 (585) 454-6015 (fax)

DATE: JUN. 29, 2018
 FILE No. 180232JK
 OWNER: HERMAN

Tax Account No.
 177.040-02-062

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209 Subsection 2, of the New York State Education Law.
 "Only copies from the original of this survey marked with an original land surveyor's seal shall be considered to be valid true copies."
 Certifications must run only for the person for whom the survey is prepared, and on behalf of the title company insuring the fee, the governmental agency and lending institution listed hereon, and to the delight of all the parties mentioned. Certifications are not transferable to additional institutions or subsequent owners." This map is subject to any assessments and/or encumbrances that abstract of title may show. The word "certify" or "certification" as shown and used herein means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee expressed or implied. Location of substantial

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- Drawing Number 7: Left End Elevation
- Drawing Number 8: Building Sections
- Drawing Number 9: Deck Section

James L. Garrett Company, Inc.
 585-442-6640
 boehlerj@garrett.com

PROJECT NO. 1000
 DATE 06/30/2023
 DRAWN BY: LewB

PITCHER RESIDENCE
 5 PEPPERWOOD
 PITTSFORD, NEW YORK 14534

Structural Engineer:
 Ronald Anthony Samsel P.E.
 13 Florence Lane
 Jamaica, New York 11467



Revisions

Title Page

Drawing #
 1

PITCHER RESIDENCE

5 PEPPERWOOD
PITTSFORD, NEW YORK 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Floretin Lane
Henrietta, New York 14467

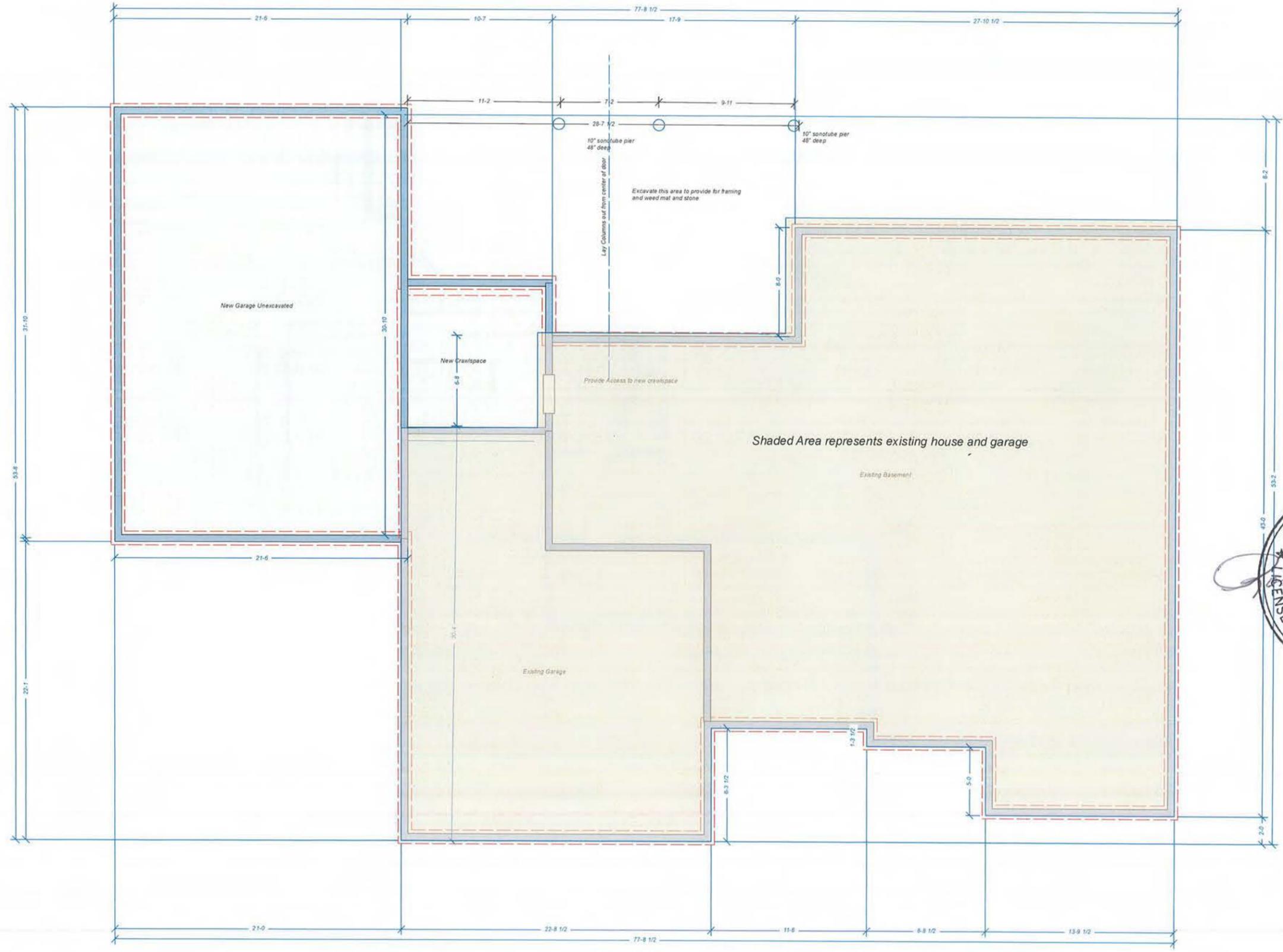


Revisions

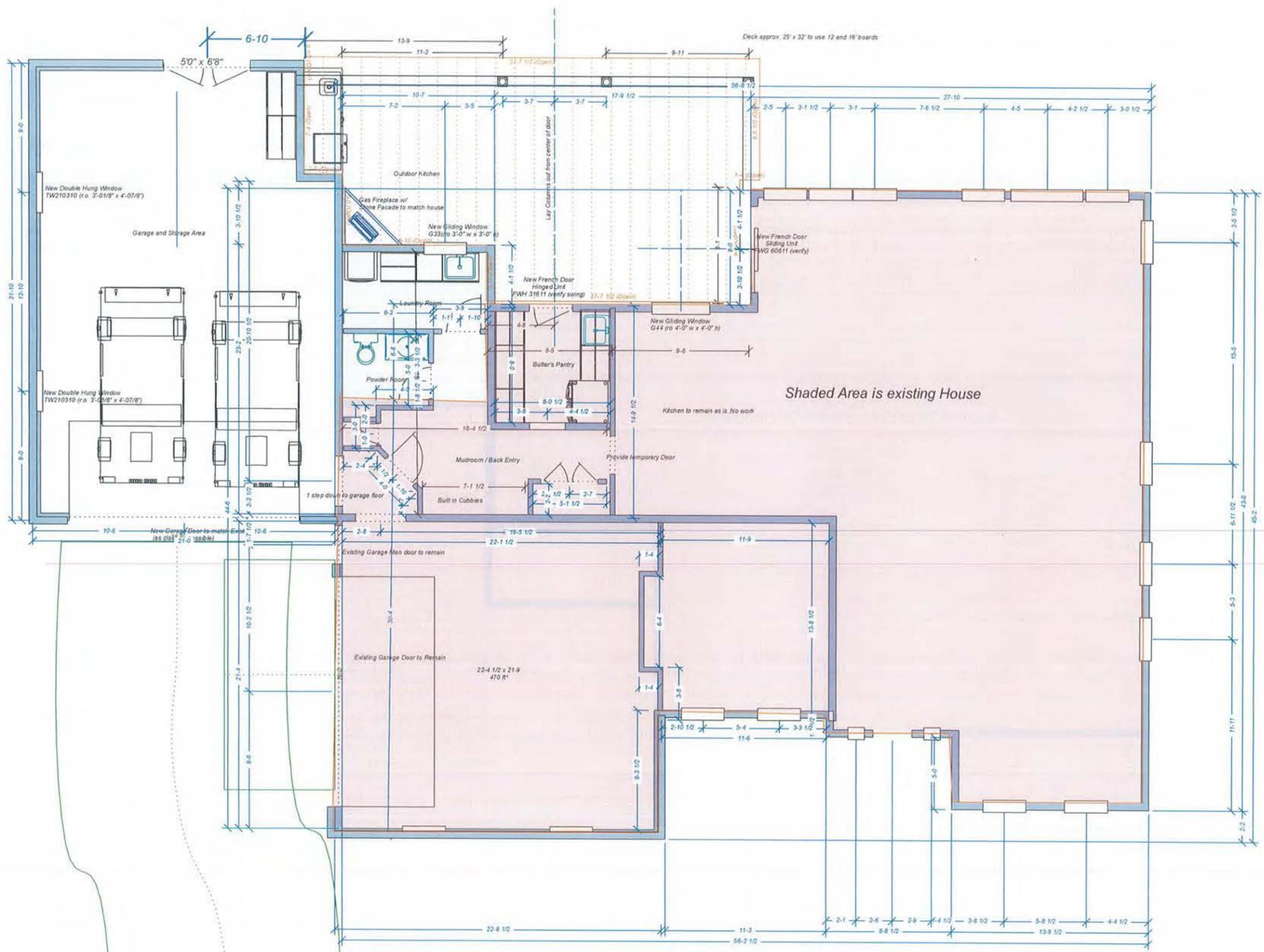
Foundation Plan
Scale: 1/8" = 1'-0"

Drawing #

2



Foundation Plan
Scale: 1/8" = 1'-0"



1st Floor Plan
Scale: 1/8" = 1'-0"

James L. Garrett
 Company, Inc.

585-442-6640

boehlerj@garrett.com

PROJECT NO. 1000

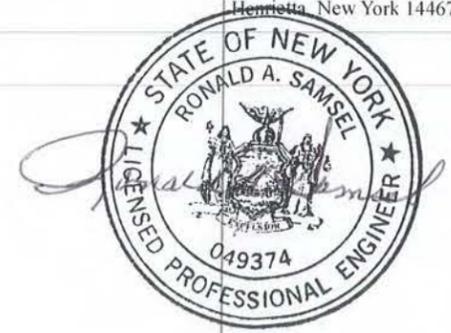
DATE 06/30/2023

DRAWN BY: LewB

PITCHER RESIDENCE

5 PEPPERWOOD
 PITTSFORD, NEW YORK 14534

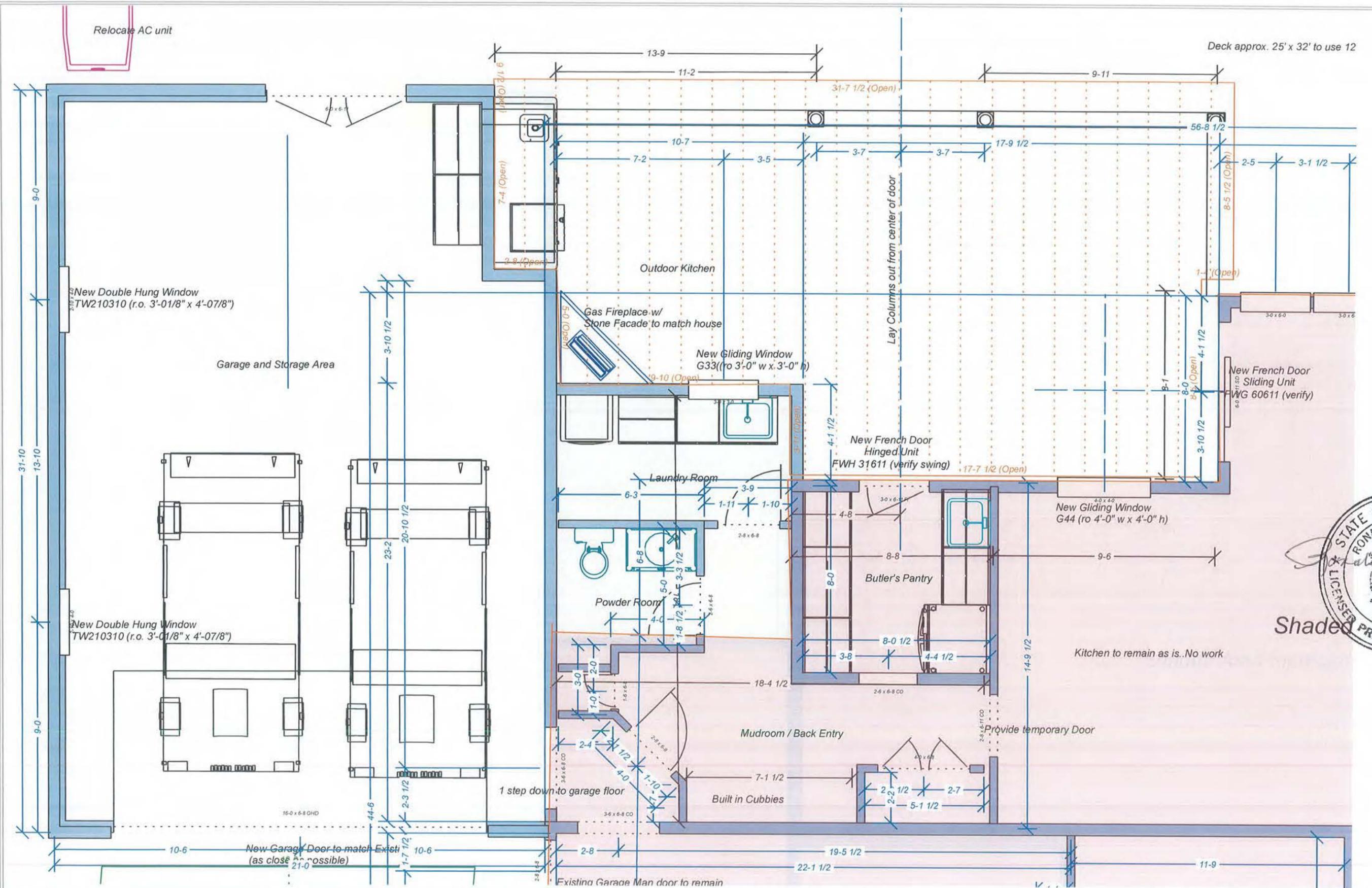
Structural Engineer:
 Ronald Anthony Samsel P.E.
 43 Floretin Lane
 Henrietta, New York 14467



Revisions

1st Floor Plan
 Scale: 1/8" = 1'-0"

Drawing #
 3



James L. Garrett
Company, Inc.
585-442-6640
boehertj@jgarrett.com
PROJECT NO. 1000
DATE 06/30/2023
DRAWN BY: LewB

PITCHER RESIDENCE
5 PEPPERWOOD
PITTSFORD, NEW YORK 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Floretin Lane
Henrietta, New York 14467



Revisions

Addition Floor Plan
Scale: 1/4" = 1'0"

Drawing #
5

Addition Floor Plan
Scale: 1/4" = 1'0"



Front Elevation



Existing House @ 5 Pepperwood Lane



Rear Elevation



Existing Back Elevation

PITCHER RESIDENCE

5 PEPPERWOOD
PITTSFORD, NEW YORK 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Floretin Lane
Henrietta, New York 14467



Revisions

Front and
Rear Elevations

Drawing #

6

James L. Garrett
Company, Inc.

585-442-6640

boehlerj@garrett.com

PROJECT NO. 1000

DATE 06/30/2023

DRAWN BY: LewB



Left Side Elevation



Left Side Existing

PITCHER RESIDENCE

5 PEPPERWOOD
PITTSFORD, NEW YORK 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
43 Floretin Lane
Henrietta, New York 14467



Revisions

Left End Elevation

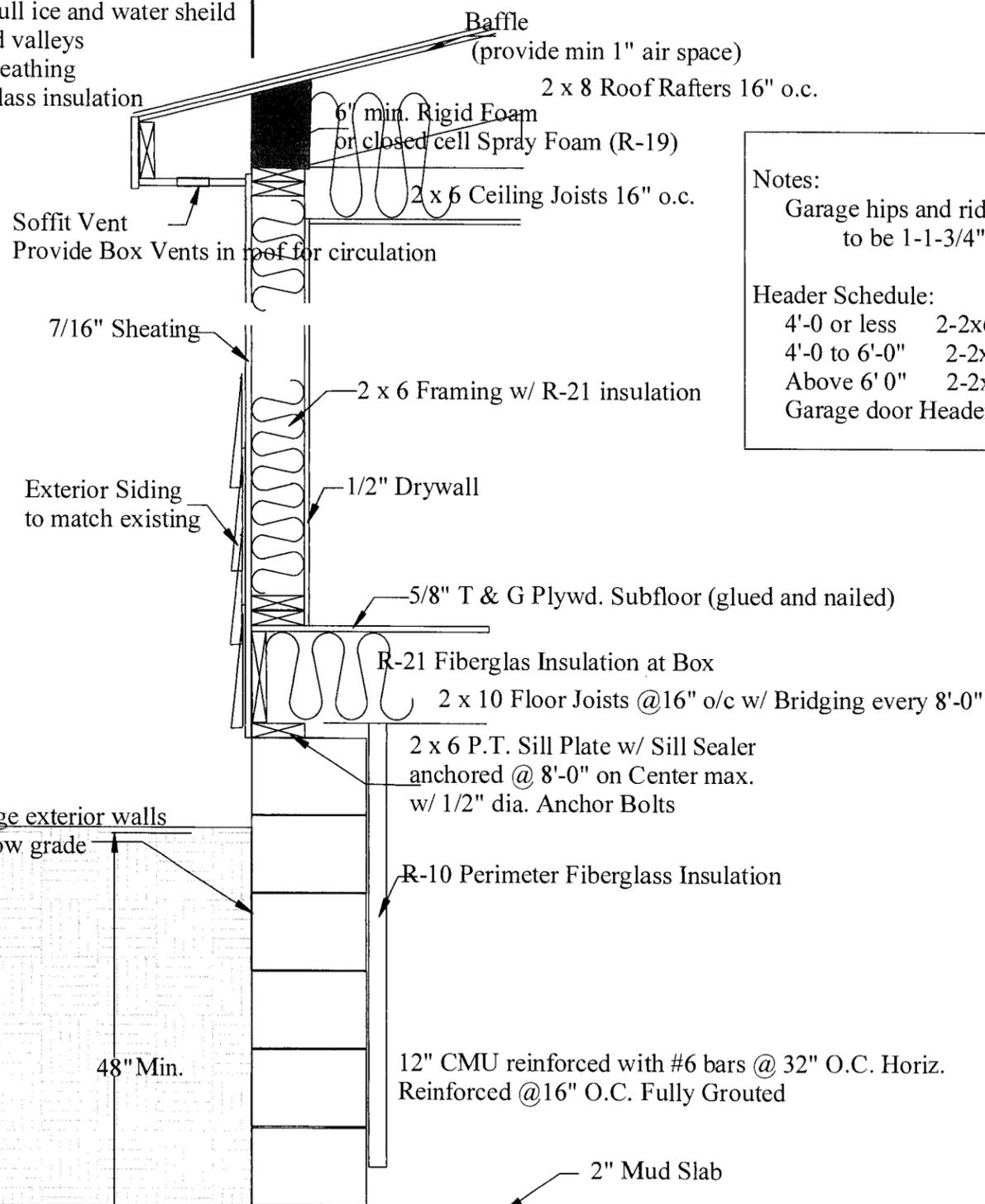
Drawing #

7

Insulated Roof Construction

- Asphalt Shingles
- #15 Felt w/ full ice and water shield at eaves and valleys
- 7/16" roof sheathing
- R-49 Fiberglass insulation

Roof Pitches vary

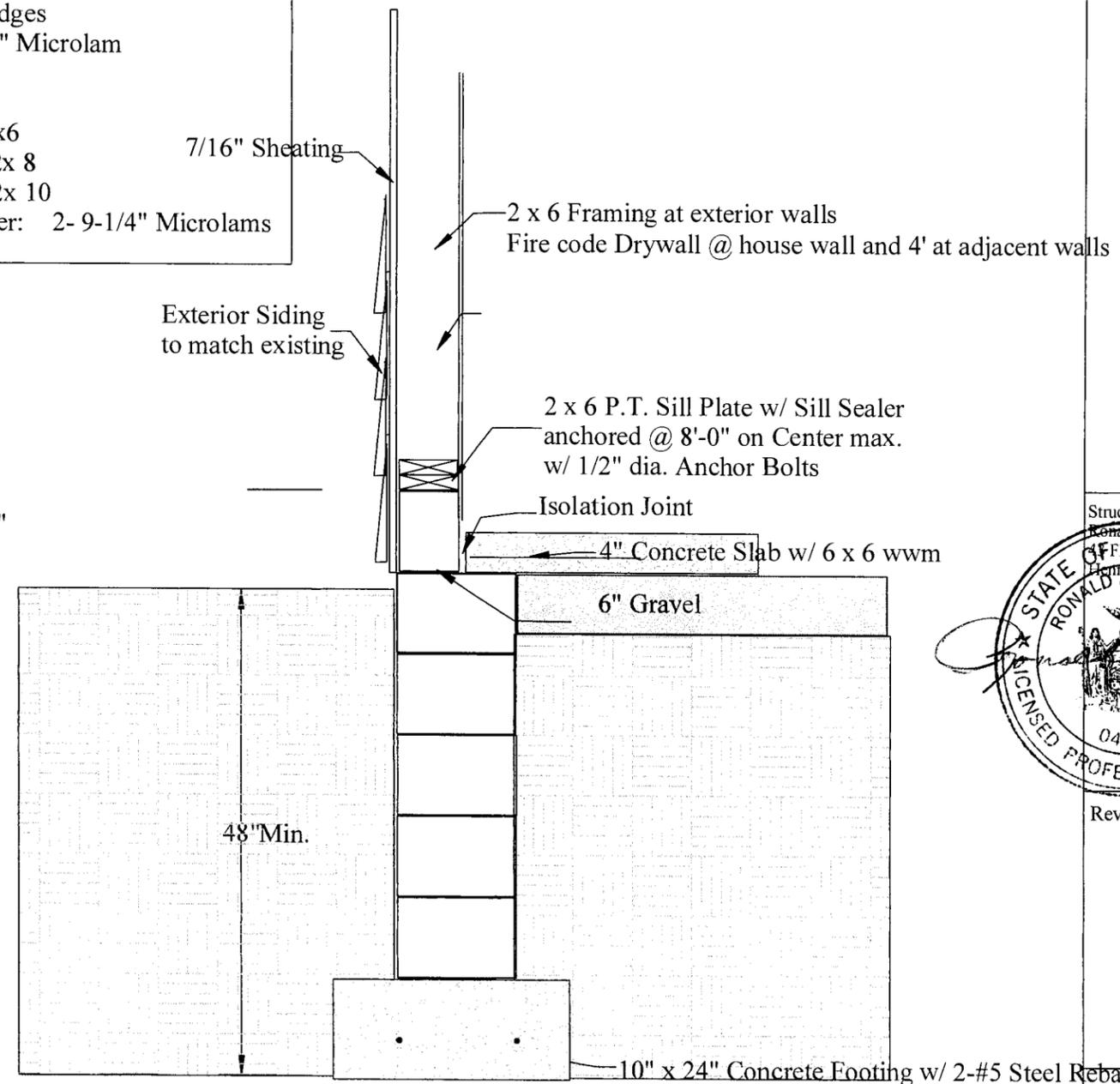


Notes:
Garage hips and ridges to be 1-1-3/4" Microlam

Header Schedule:
4'-0 or less 2-2x6
4'-0 to 6'-0" 2-2x 8
Above 6' 0" 2-2x 10
Garage door Header: 2- 9-1/4" Microlams

10" x 24" Concrete Footing w/ 2-#5 Steel Rebars

Section @ Crawl Space
Scale: 3/4" = 1' 0"



Section @ Garage
Scale: 3/4" = 1' 0"

James L. Garrett Company, Inc.

585-442-6640
lboehler@jlgarrett.com

PROJECT NO. 100
DATE 06/30/2023
DRAWN BY: LewB

PITCHER RESIDENCE

5 PEPPERWOOD
PITTSFORD, NEW YORK 14534

Structural Engineer:
Ronald Anthony Samsel P.E.
New York State License No. 14467



Revisions:

Building Sections
Scale: 3/4" = 1' 0"

Drawing #
8

James L. Garrett
Company, Inc.

585-442-6640
lboehler@jlgarrett.com

PROJECT NO. 100
DATE 06/30/2023
DRAWN BY: LewB

PITCHER RESIDENCE
5 PEPPERWOOD
PITTSFORD, NEW YORK 14534

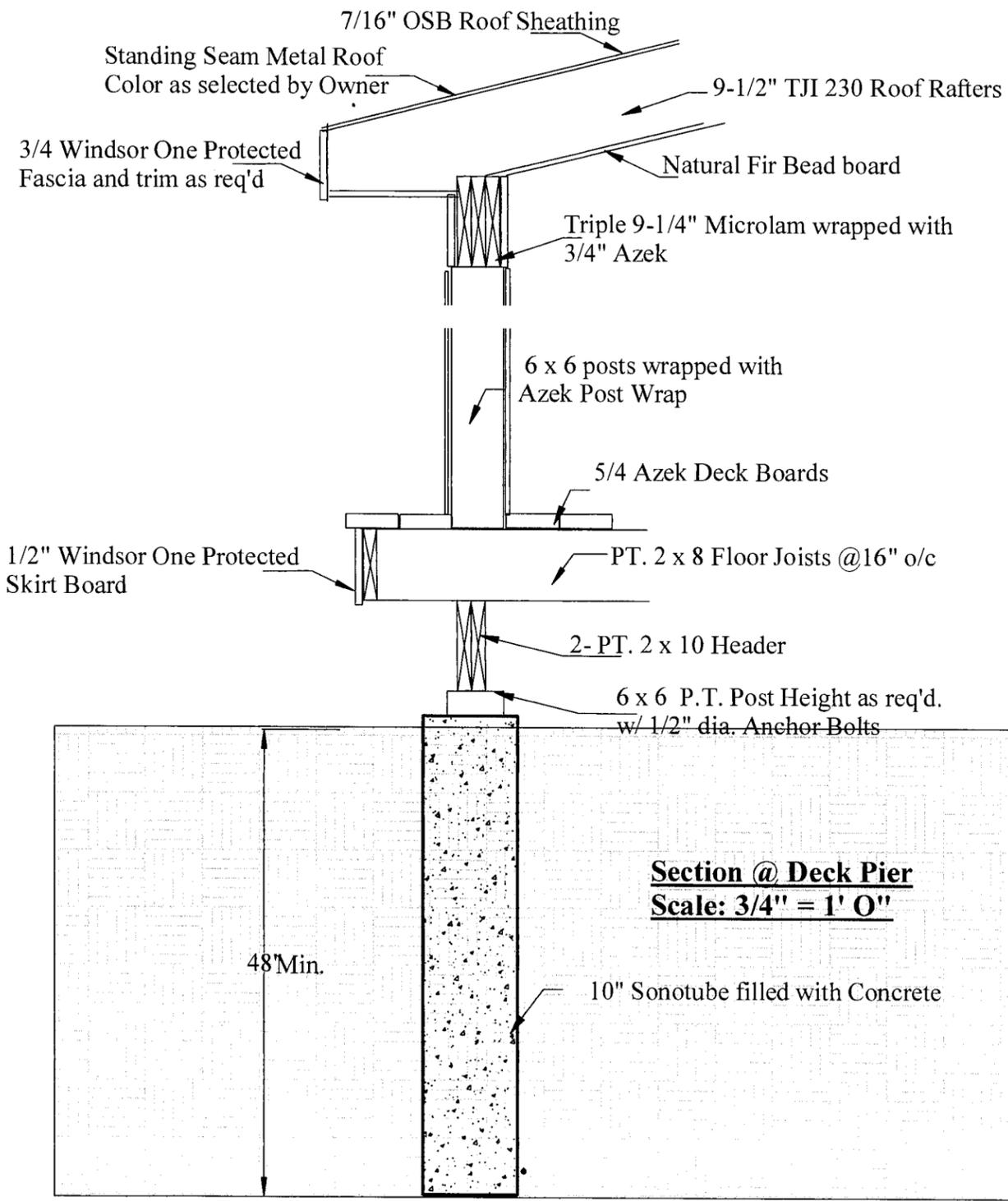
Structural Engineer:
Ronald Anthony Samsel P.E.
Pittsford, New York 14467



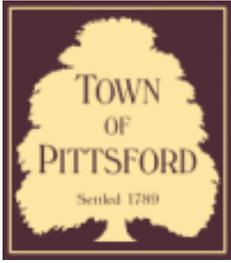
Revisions:

Deck Section
Scale: 3/4" = 1' 0"

Drawing #
9



- Material List:
- Sonotubes
 - Concrete
 - Pressure treated lumber
 - Fasteners req'd for PT material
 - Azek Decking
 - Windor One Protected Trim Material
 - Vinyl Siding and Trim boards



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000084

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 80 North Country Club Drive ROCHESTER, NY 14618

Tax ID Number: 151.05-1-11

Zoning District: RN Residential Neighborhood

Owner: Clifford, Daniel K

Applicant: Stagliano Builders

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 103 square foot addition to the back of the house.

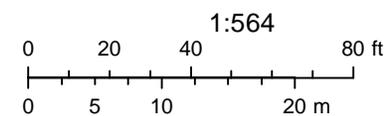
Meeting Date: July 13, 2023



RN Residential Neighborhood Zoning



Printed July 6, 2023



Town of Pittsford GIS

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71

74

79

83

87

90

N Country Club Dr



68

72

76

80

84

88

92

X

AE

AE

145

04/03/2021

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1 BACK ELEVATION NEW - DESIGN REVIEW (P3)
1/8" = 1'-0"



2 BACK ELEVATION EXISTING - DESIGN REVIEW (P3)
1/8" = 1'-0"

80DMC
Scale 1/8" = 1'-0"



1

RIGHT ELEVATION NEW - DESIGN REVIEW (P4)

1/8" = 1'-0"



2

RIGHT ELEVATION EXISTING - DESIGN REVIEW (P4)

1/8" = 1'-0"

80DMC

Scale 1/8" = 1'-0"

OAK HILL COUNTRY CLUB

EXISTING COVERED PATIO

NEW BACK ADDITION

EXISTING 2-STORY HOUSE

EXISTING 1-STORY HOUSE

EXISTING GARAGE

PROPERTY LINE

NORTH COUNTRY CLUB DRIVE

1 SITE PLAN - NEW

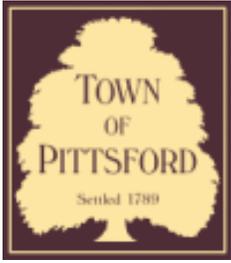
1" = 20'-0"



Actual North

80DMC

Scale 1" = 20'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000082

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4 Pine Acres Drive ROCHESTER, NY 14618

Tax ID Number: 151.06-2-42.8

Zoning District: RN Residential Neighborhood

Owner: Longwell, Beverly R

Applicant: Louis J. Grossi

Application Type:

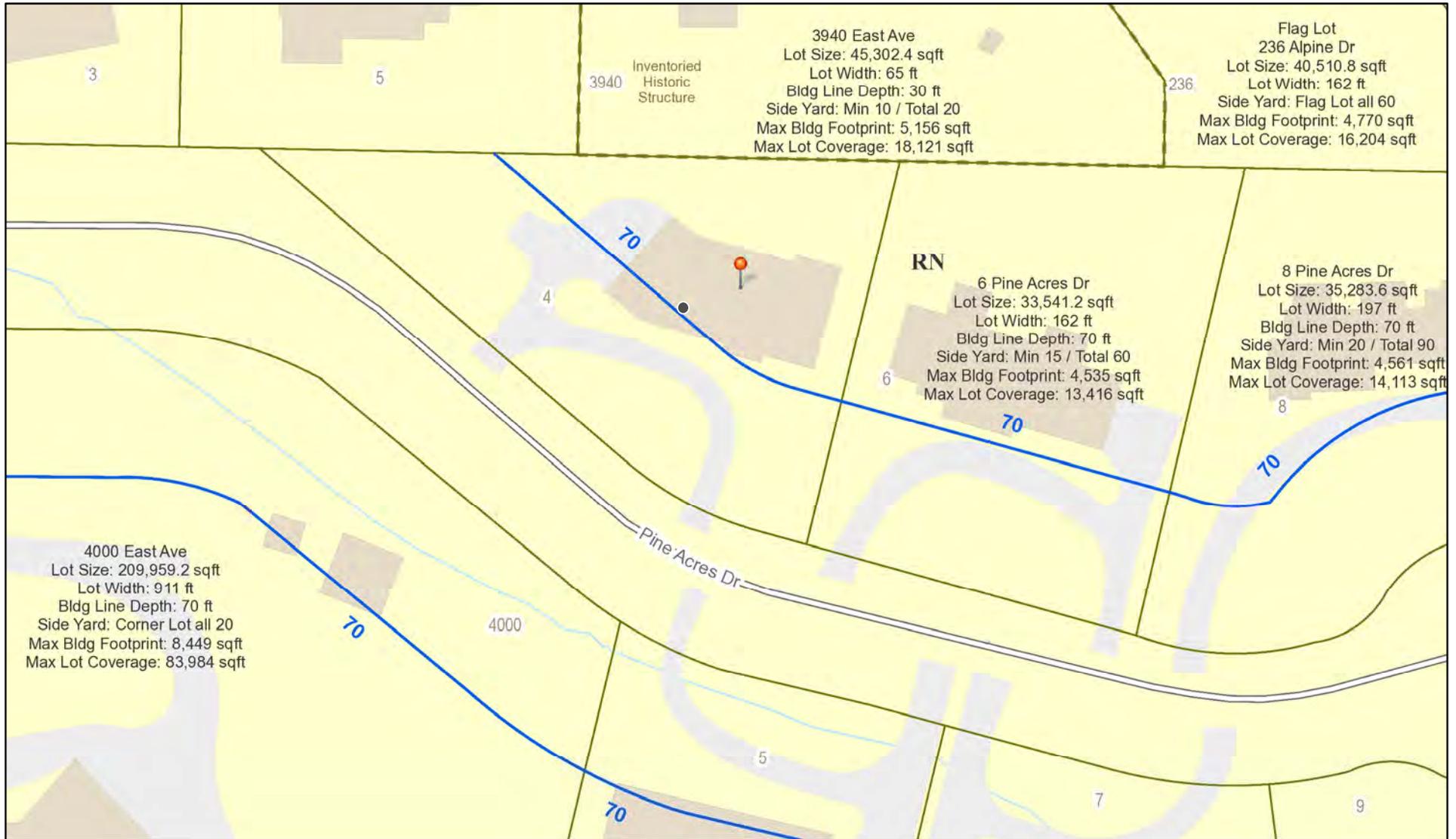
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
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- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a covered patio.

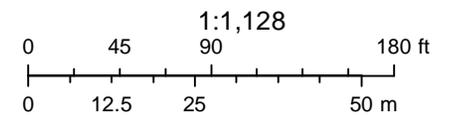
Meeting Date: July 13, 2023



RN Residential Neighborhood Zoning

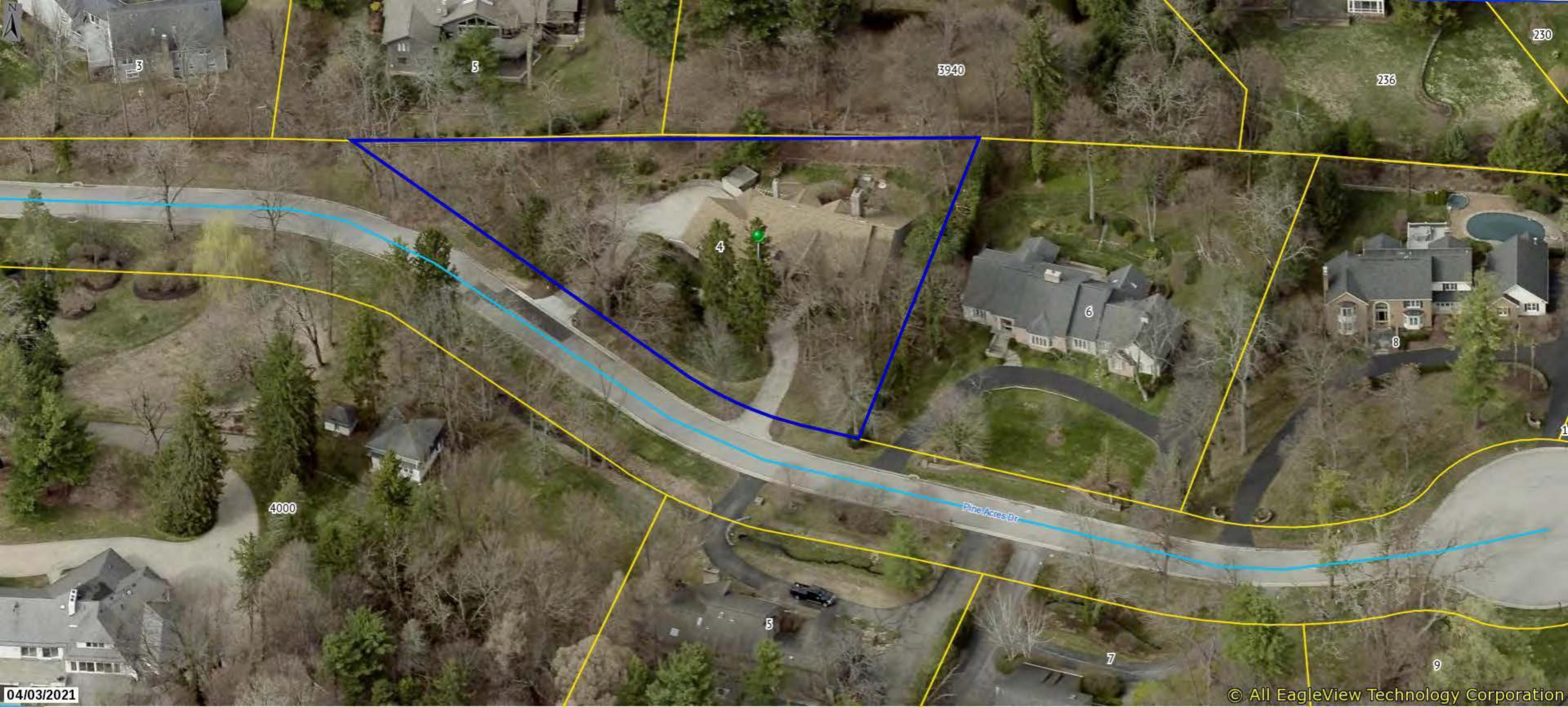


Printed July 5, 2023



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3

5

3940

236

230

4

6

8

4000

5

7

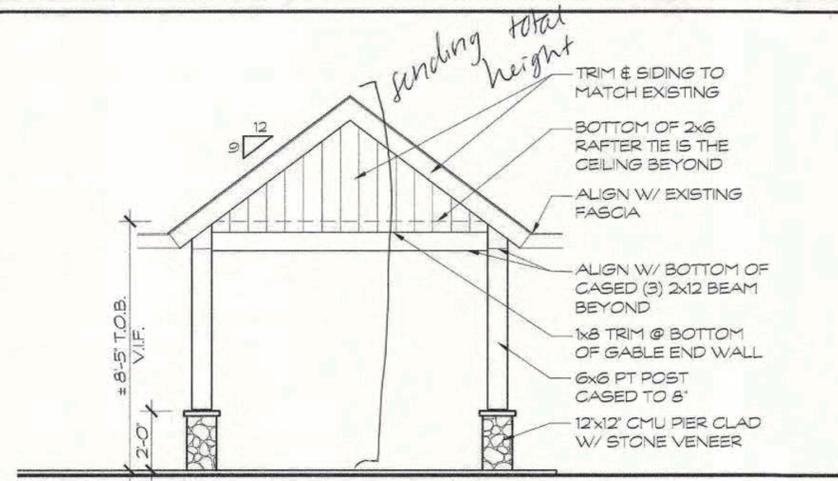
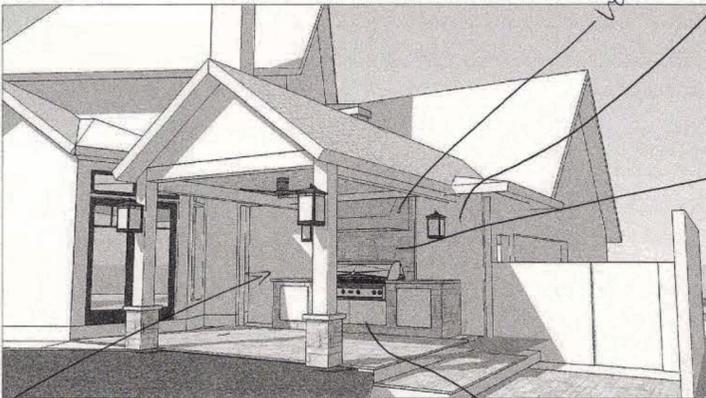
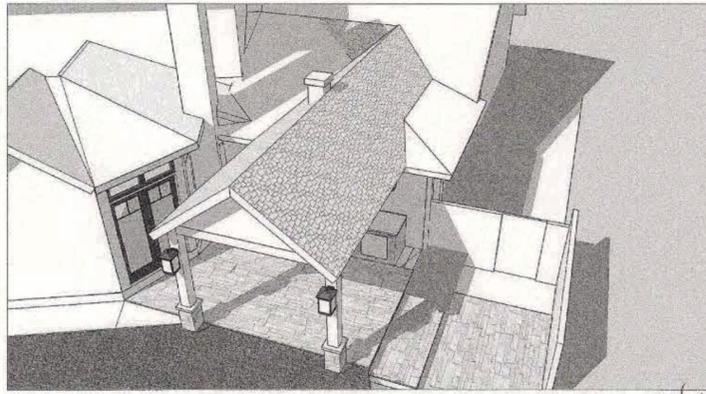
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Pine Acres Dr

04/03/2021

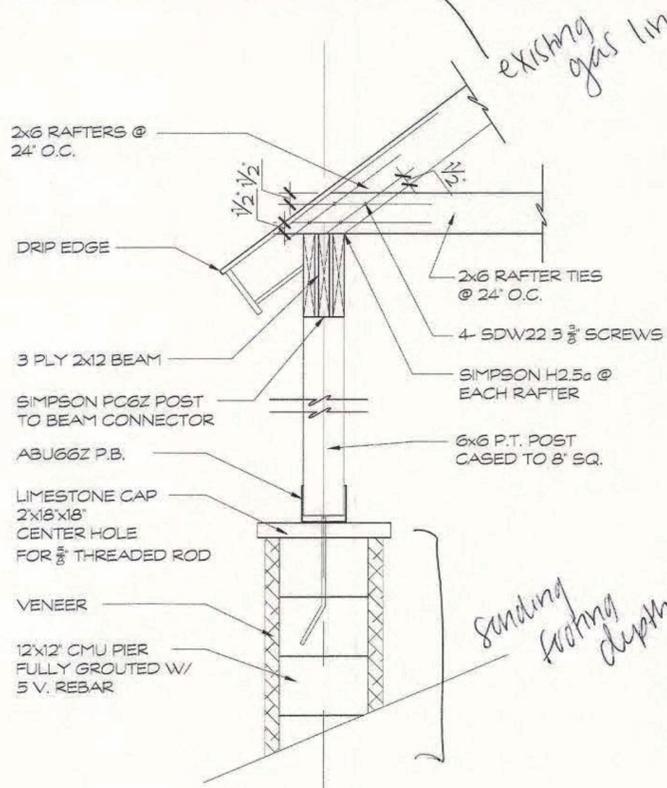
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DRB 7/13

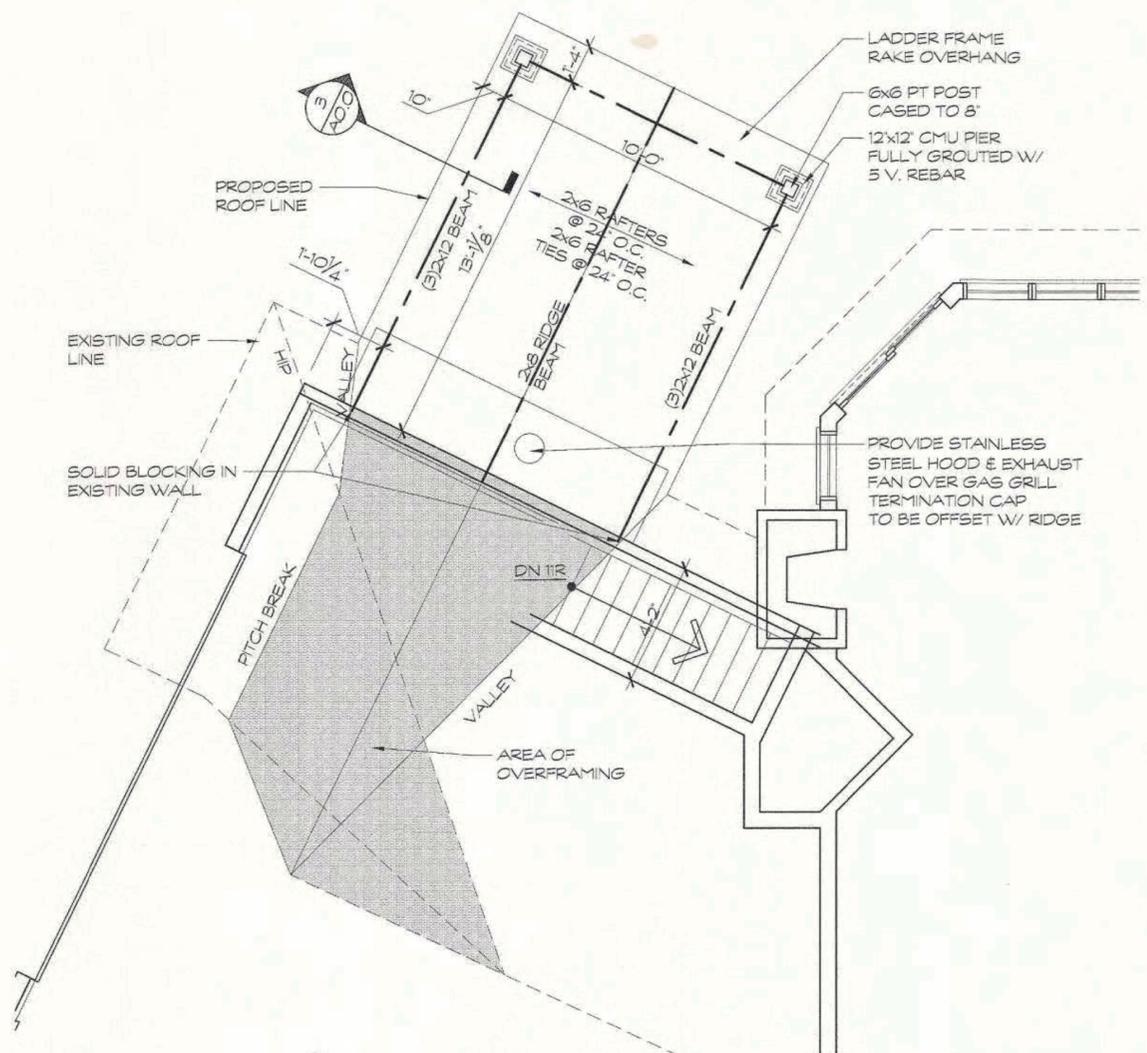


2 ELEVATION
 A-0.0 1/4" = 1'-0"

vent for grill
 running electric for lights + ceiling fan
 fireproof backspace
 existing gas line
 garage behind



3 SECTION
 A-0.0 1/4" = 1'-0"



1 FLOOR PLAN
 A-0.0 1/4" = 1'-0"

DESIGN WORKS ARCHITECTURE

6 North Main Street, Suite 104, Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com



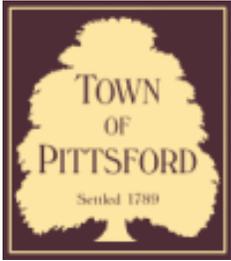
Alicia and Chad Buchta
 Pavilion

4 Pine Acres Drive
 Town of Pittsford
 Monroe County, New York

Project No. 2218
 Date: 05/23/23
 Scale:
 Drawn by: ST
 Checked by: CBS

Title: Construction Documents
 Outdoor Kitchen Pavilion

A-0.0



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000083

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 96 Coventry Ridge PITTSFORD, NY 14534

Tax ID Number: 177.04-3-50

Zoning District: IZ Incentive Zoning

Owner: Coventry Ridge Building Corp

Applicant: Bubba's Landscape Inc

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a covered patio on the southeast side of the house.

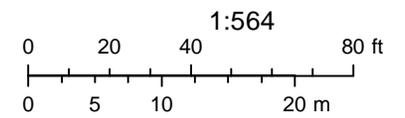
Meeting Date: July 13, 2023



RN Residential Neighborhood Zoning



Printed July 6, 2023



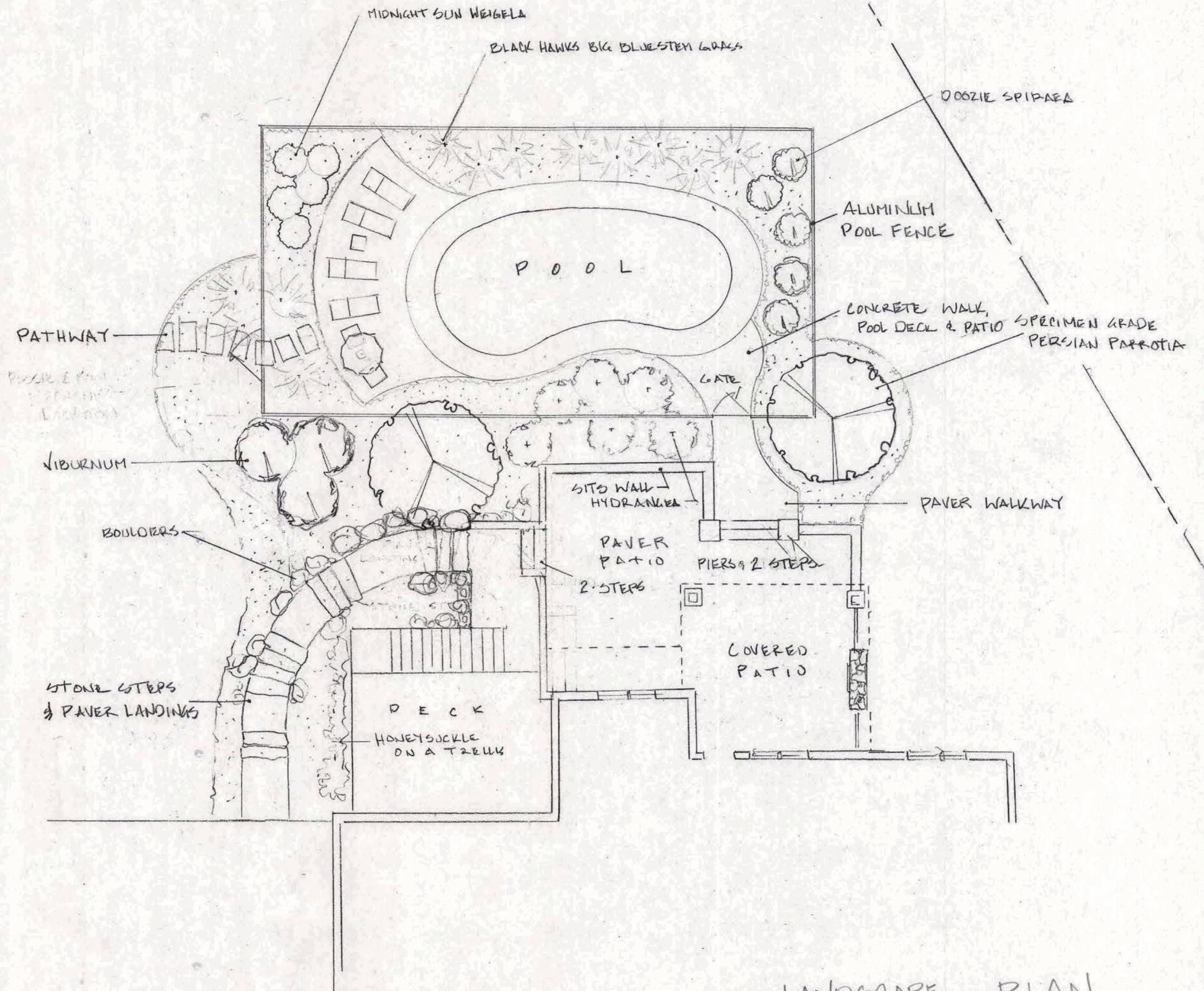
Town of Pittsford GIS

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DRAWING SCALE 1/8" = 1'-0"

BUBBAS LANDSCAPE INC.
81 LAKE ST LEWIS NY.
585-768-6578 DR: J. Ehrmentaut



LANDSCAPE PLAN
FOR THE
CARPIZO RESIDENCE
96 COUNTRY RIDGE PITTSFORD

EXTERIOR MATERIALS AND FINISHES

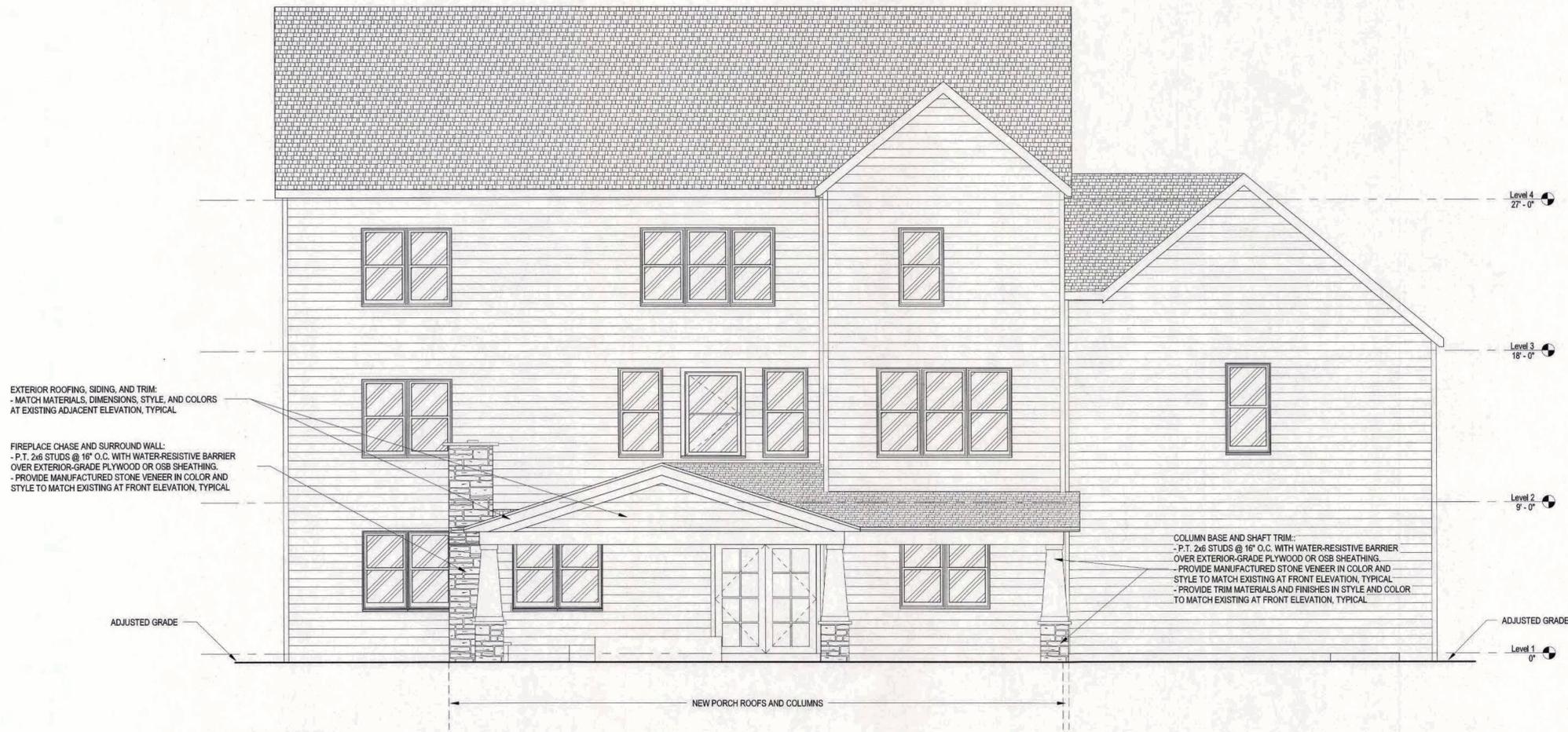
EXTERIOR SIDING AND TRIM: FASCIA, RAKE, FRIEZE, WINDOW AND DOOR	MATCH EXISTING AT HOUSE: -MATERIALS, DIMENSIONS, STYLE, AND FINISH COLORS, TYPICAL
COLUMNS - BASE, SHAFT, CAPITAL	MATCH EXISTING AT FRONT PORCH: - MATERIALS, DIMENSIONS, STYLE, AND FINISH COLORS, TYPICAL
ROOFING	MATCH EXISTING AT HOUSE
PORCH CEILING	1x6 TONGUE AND GROOVE PINE BOARDS - EXTERIOR STAIN/SEALER IN COLOR AS SELECTED
HARDSCAPING	PLANS AND SPECIFICATIONS BY OTHERS
LANDSCAPING	PLANS AND SPECIFICATIONS BY OTHERS
IN-GROUND POOL AND POOL DECK	PLANS AND SPECIFICATIONS BY OTHERS

GENERAL NOTES

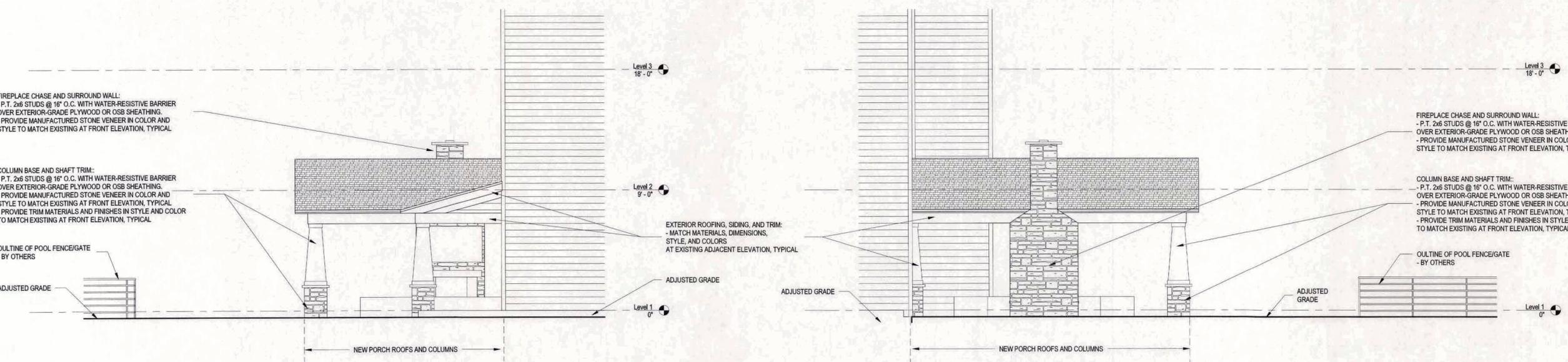
- NEW BUILDING DIMENSIONS ARE FROM EXTERIOR FACE OF EXISTING FRAMING OR FOUNDATION TO CENTERLINE OF NEW SUPPORT BEAM OR SUPPORT POST.
- ROOF DIMENSIONS ARE FROM OUTSIDE FACE OF FRAMING TO OUTSIDE FACE OF FRAMING.
- ALL EXTERIOR FRAMED WALLS TO BE PRESSURE-TREATED 2x6 WOOD STUDS @ 16" O.C.
- CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING FOR ALL CABINETS, COUNTERS, SHELVING, ETC.
- EXTERIOR CHIMNEY CHASE AND SURROUND DIMENSIONS MAY BE MODIFIED TO ACCOMMODATE FINAL SELECTION OF EXTERIOR GAS FIREPLACE APPLIANCE AND MANUFACTURER'S FRAMING DIMENSION REQUIREMENTS.
- EXTERIOR FIREPLACE UNIT SHALL BE INSTALLED TO COMPLY WITH THE MANUFACTURER'S INSTRUCTIONS, AND ALL APPLICABLE CODES.
- ALL ELECTRICAL POWER OUTLETS AND LIGHT FIXTURES SHALL BE RATED FOR EXTERIOR USE AND SHALL COMPLY WITH ALL APPLICABLE CODES.
- CONTRACTOR SHALL COORDINATE LOCATION OF GAS AND ELECTRIC POWER SUPPLY AND SHUT-OFF WITH THE OWNERS.

POST AND BEAM NOTES

- BEARING:** PROVIDE MINIMUM (3) 2X6 BUILT-UP POST SOLID CONTINUOUS BEARING AT ALL MICROLLAM BEAM ENDS IN EXISTING FRAME WALLS. PROVIDE SOLID PRESSURE-TREATED 6x6 SUPPORT POST AT ALL MICROLLAM BEAM ENDS INDEPENDENT OF THE EXISTING HOUSE FOOTPRINT AND FOUNDATION.
- ALL VERTICAL SUPPORT MUST BE CONTINUOUS TO THE EXISTING OR NEW FOUNDATION BELOW. PROVIDE SOLID BEARING AT EXISTING FOUNDATION WITH CMU BLOCK CORES FILLED SOLID GROUT FULL HEIGHT MINIMUM 2'-8" WIDTH ((2) CMU UNITS WIDE).
- CONNECTIONS:** PROVIDE METAL CONNECTORS AS REQUIRED: POST-TO-BEAM; RAFTER-TO-SUPPORT BEAM; ETC. (SIMPSON STRONG-TIE OR EQUAL).
- SPECIFICATIONS:** MICROLLAM LVL BEAMS ARE SPECIFIED. THE CONTRACTOR SHALL VERIFY AND FINALIZE THE BEAM LAYOUT AND SPECIFICATIONS WITH THE MANUFACTURER/SUPPLIER (WEYERHAEUSER) BEFORE CONSTRUCTION. NO SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND WRITTEN CALCULATIONS AND SPECIFICATIONS BY THE ALTERNATE MANUFACTURER.



REAR ELEVATION



RIGHT SIDE ELEVATION

LEFT SIDE ELEVATION

> design team

> site / hardscaping / landscaping consultant:
BUBBA'S LANDSCAPING
81 LAKE STREET
LE ROY, NEW YORK 14482
585-768-6578

> structural consultant:

> MEP consultant:

> project information

> owner agency
DARREN AND STEPHANIE CARPIZO
95 COVENTRY RIDGE
PITTSFORD, NEW YORK 14534

CARPIZO RESIDENCE
95 COVENTRY RIDGE
PITTSFORD, NEW YORK 14534

**APPROVALS
DRAWINGS
- NOT FOR
CONSTRUCTION**

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revision schedule		
no.	description	date

> drawing information

project #: 22-020
date: 07/03/2023
drawn by: TEA
checked by: EES
scale: 1/4" = 1'-0"

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> sheet name

**EXTERIOR
ELEVATIONS**

> design team

> site / hardscaping / landscaping consultant:
BUBBA'S LANDSCAPING
81 LAKE STREET
LE ROY, NEW YORK 14482
585-788-6578

> structural consultant:

> MEP consultant:

> project information

> owner agency
DARREN AND STEPHANIE CARPIZO
98 COVENTRY RIDGE
PITTSFORD, NEW YORK 14534

CARPIZO RESIDENCE
95 COVENTRY RIDGE
PITTSFORD, NEW YORK 14534

> project

**APPROVALS
DRAWINGS
- NOT FOR
CONSTRUCTION**

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no.	description	date

> drawing information

project #: 22-020
date: 07/03/2023
drawn by: TEA
checked by: EES
scale: As indicated

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> sheet name

GROUND FLOOR PLAN

A104
sheet number

EXTERIOR MATERIALS AND FINISHES	
EXTERIOR SIDING AND TRIM: FASCIA, RAKE, FRIEZE, WINDOW AND DOOR	MATCH EXISTING AT HOUSE: - MATERIALS, DIMENSIONS, STYLE, AND FINISH COLORS, TYPICAL
COLUMNS - BASE, SHAFT, CAPITAL	MATCH EXISTING AT FRONT PORCH: - MATERIALS, DIMENSIONS, STYLE, AND FINISH COLORS, TYPICAL
ROOFING	MATCH EXISTING AT HOUSE
PORCH CEILING	1x6 TONGUE AND GROOVE PINE BOARDS - EXTERIOR STAINSEALER IN COLOR AS SELECTED
HARDSCAPING	PLANS AND SPECIFICATIONS BY OTHERS
LANDSCAPING	PLANS AND SPECIFICATIONS BY OTHERS
IN-GROUND POOL AND POOL DECK	PLANS AND SPECIFICATIONS BY OTHERS

GENERAL NOTES

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- CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING FOR ALL CABINETS, COUNTERTOPS, SHELVS, ETC.
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- CONTRACTOR SHALL COORDINATE LOCATION OF GAS AND ELECTRIC POWER SUPPLY AND SHUT-OFF WITH THE OWNERS.

POST AND BEAM NOTES

- BEARING: PROVIDE MINIMUM (3) 2x6 BUILT-UP POST SOLID CONTINUOUS BEARING AT ALL MICROLAM BEAM ENDS IN EXISTING FRAME WALLS. PROVIDE SOLID PRESSURE-TREATED 6x6 SUPPORT POST AT ALL MICROLAM BEAM ENDS INDEPENDENT OF THE EXISTING HOUSE FOOTPRINT AND FOUNDATION.
- ALL VERTICAL SUPPORT MUST BE CONTINUOUS TO THE EXISTING OR NEW FOUNDATION BELOW. PROVIDE SOLID BEARING AT EXISTING FOUNDATION WITH CMU BLOCK CORES FILLED SOLID GROUT FULL HEIGHT MINIMUM 2-8" WIDTH ((2) CMU UNITS WIDE).
- CONNECTIONS: PROVIDE METAL CONNECTORS AS REQUIRED: POST-TO-BEAM; RAFTER-TO-SUPPORT BEAM; ETC. (SIMPSON STRONG-TIE OR EQUAL).
- SPECIFICATIONS: MICROLAM LVL BEAMS ARE SPECIFIED. THE CONTRACTOR SHALL VERIFY AND FINALIZE THE BEAM LAYOUT AND SPECIFICATIONS WITH THE MANUFACTURER/SUPPLIER (WEYERHAEUSER) BEFORE CONSTRUCTION. NO SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND WRITTEN CALCULATIONS AND SPECIFICATIONS BY THE ALTERNATE MANUFACTURER.

TYPICAL HEADER SCHEDULE

UNLESS OTHERWISE NOTED		
OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE:
- PROVIDE (2) 1/2" PLY. WD. GUSSETS-2X6 WALL
- PROVIDE (1) 1/2" PLY. WD. GUSSETS-2X4 WALL
- GLUE AND NAIL ALL HEADERS

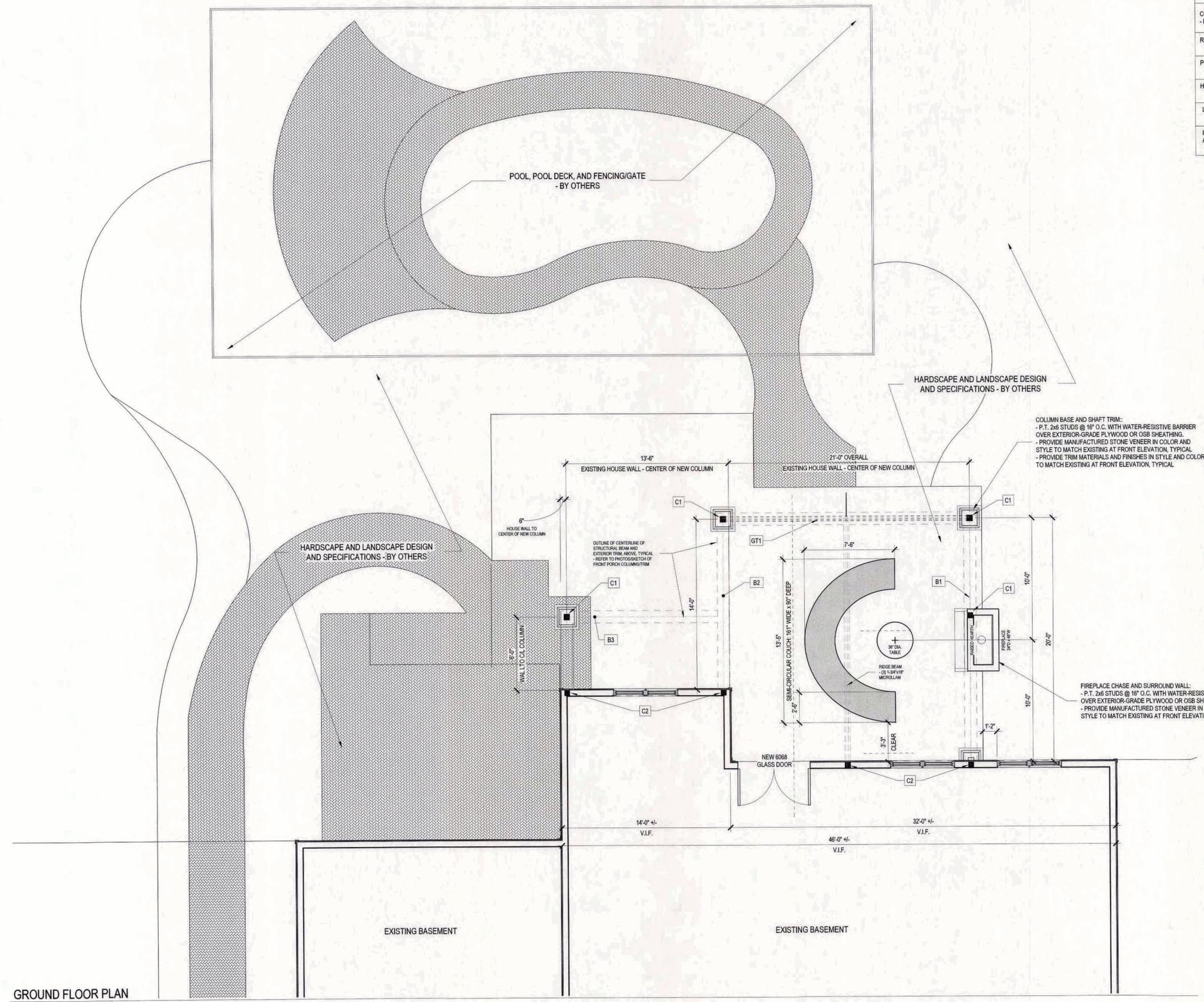
BEAM SCHEDULE

BEAM #	BEAM DESCRIPTION	BEAM LOCATION
B1	(2) 1-3/4" x 11-7/8" MICROLAM	PORCH - GABLE ROOF SUPPORT
B2	(3) 1-3/4" x 11-7/8" MICROLAM	PORCH - GABLE ROOF SUPPORT
B3	(2) 1-3/4" x 9-1/4" MICROLAM	PORCH - SHED ROOF SUPPORT
GT1	GIRDER TRUSS "A" (SEE ROOF PLAN, TRUSS DIAGRAMS)	PORCH - GABLE AND RIDGE SUPPORT

COLUMN SCHEDULE

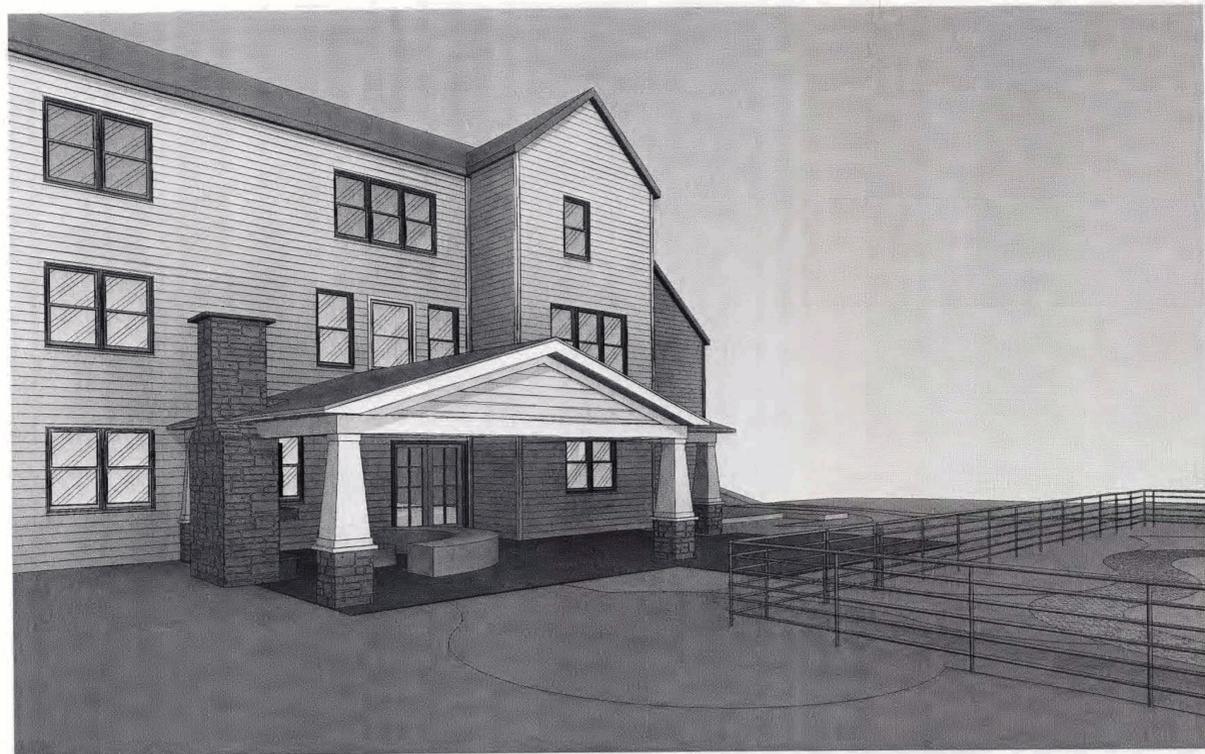
COL. #	COL. DESCRIPTION	COL. LOCATION
C1	P.T. WOOD 6x6 ON 16" DIAMETER ISOLATED CONCRETE PIER FOUNDATION	PORCH - GABLE AND SHED ROOF SUPPORT
C2	(3) 2x6 BUILT-UP COLUMN	CONCEALED IN EXISTING FRAME WALL

Grand total: 6



GROUND FLOOR PLAN

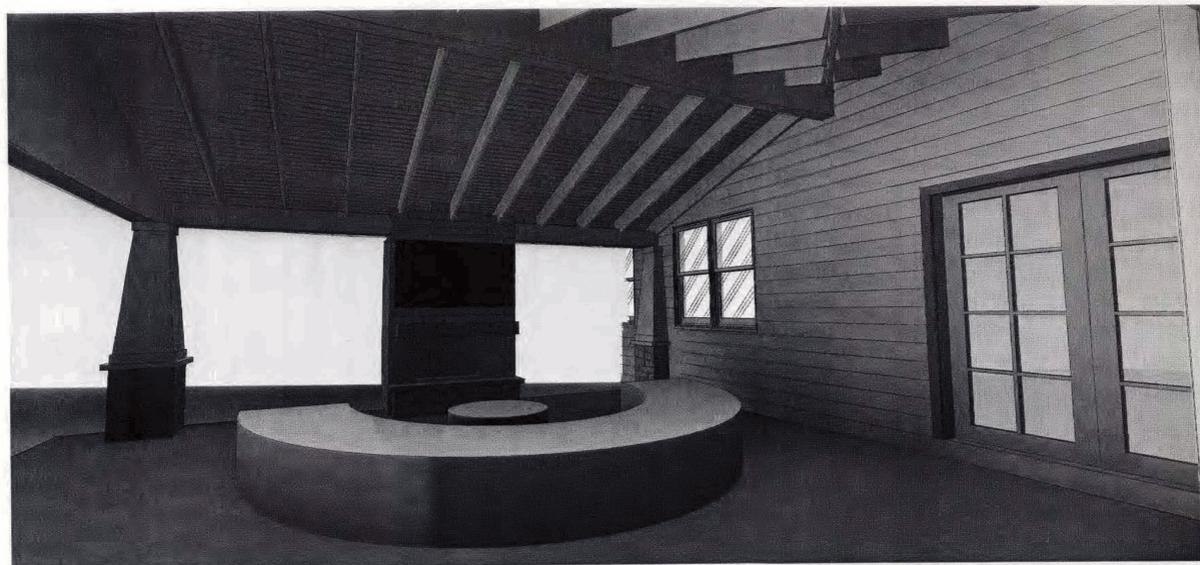
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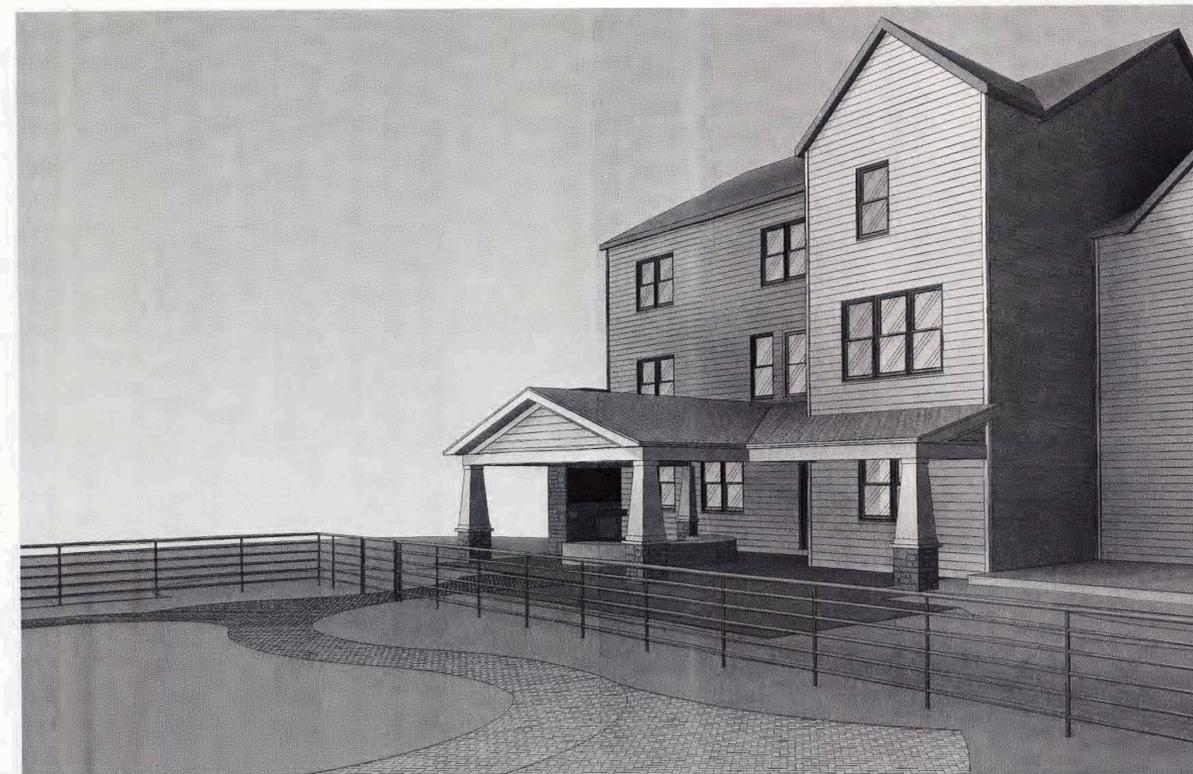
3D PERSPECTIVE - VIEW #1



3D PERSPECTIVE - VIEW #3



3D PERSPECTIVE - VIEW #4



3D PERSPECTIVE - VIEW #2

> design team

> site / landscaping / landscaping consultant:

BUBBA'S LANDSCAPING
81 LAKE STREET
LE ROY, NEW YORK 14482
585-768-6578

> structural consultant:

> MEP consultant:

> project information

> owner agency

DARREN AND STEPHANIE CARPIZO
95 COVENTRY RIDGE
PITTSFORD, NEW YORK 14534

CARPIZO RESIDENCE
95 COVENTRY RIDGE
PITTSFORD, NEW YORK 14534

> project

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revision schedule

no.	description	date

> drawing information

project #: 22-020
date: 07/03/2023
drawn by: TEA
checked by: EES
scale:

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> sheet name

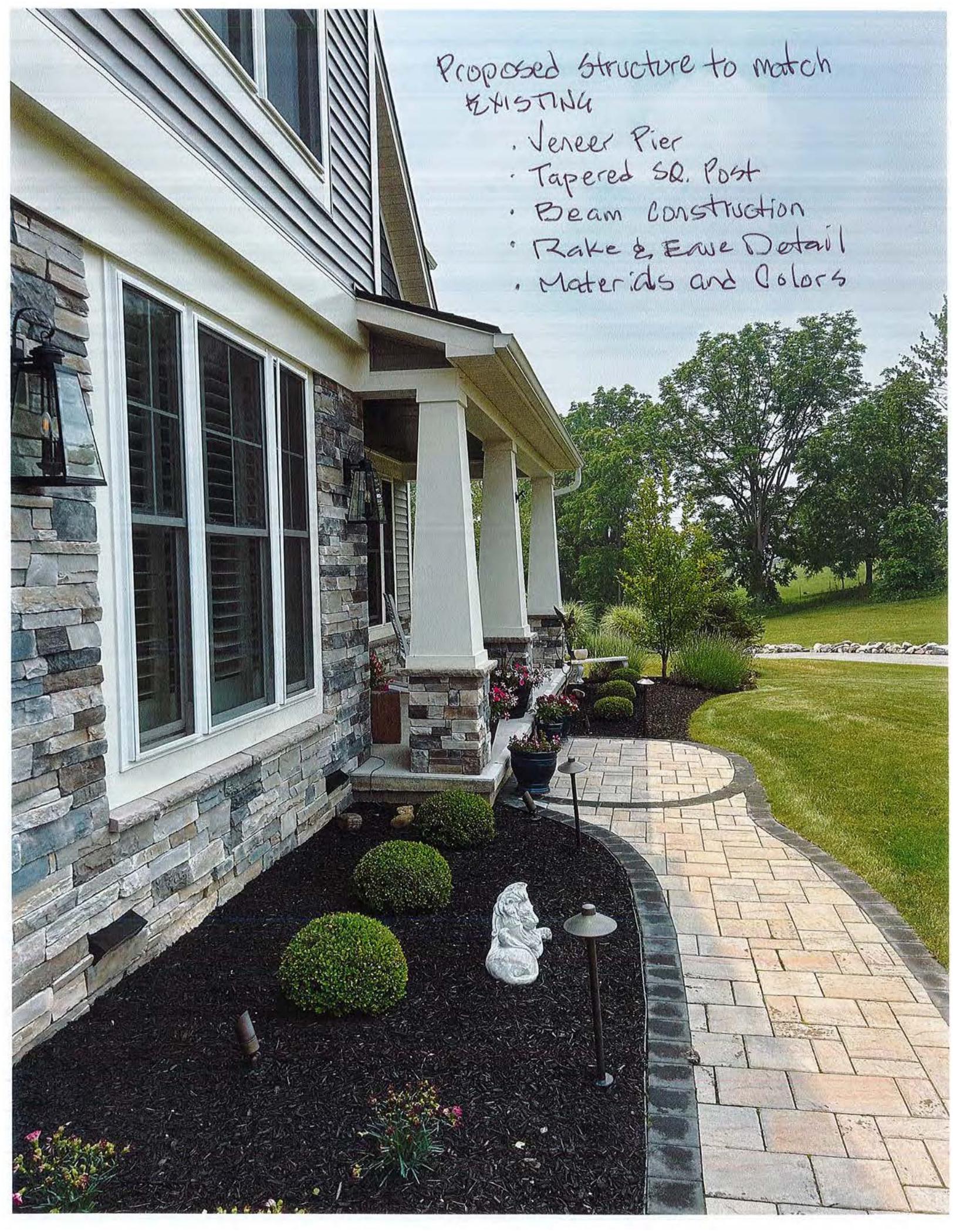
PERSPECTIVE VIEWS

A-202

sheet number

Proposed structure to match
EXISTING

- Veneer Pier
- Tapered sq. Post
- Beam Construction
- Rake & Eave Detail
- Materials and Colors





Fire place inspiration photo

← Seneer to match existing on the home
UL Listed, exterior, N.G. Vent Free unit

Limestone mantel



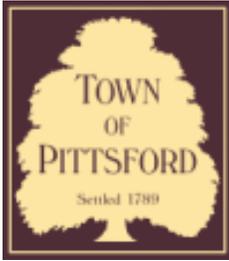


TECHO-BLOC 'BRANDON' WALL
USED FOR RAISED PATIO, PIERS, STEP RISERS



TECHO-BLOC BLU 60 3pc PAVEMENT SYSTEM





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C23-000028

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4045 East Avenue ROCHESTER, NY 14618

Tax ID Number: 151.05-1-56.1

Zoning District: SRAA Suburban Residential

Owner: Irondequoit Country Club

Applicant: Irondequoit Country Club

Application Type:

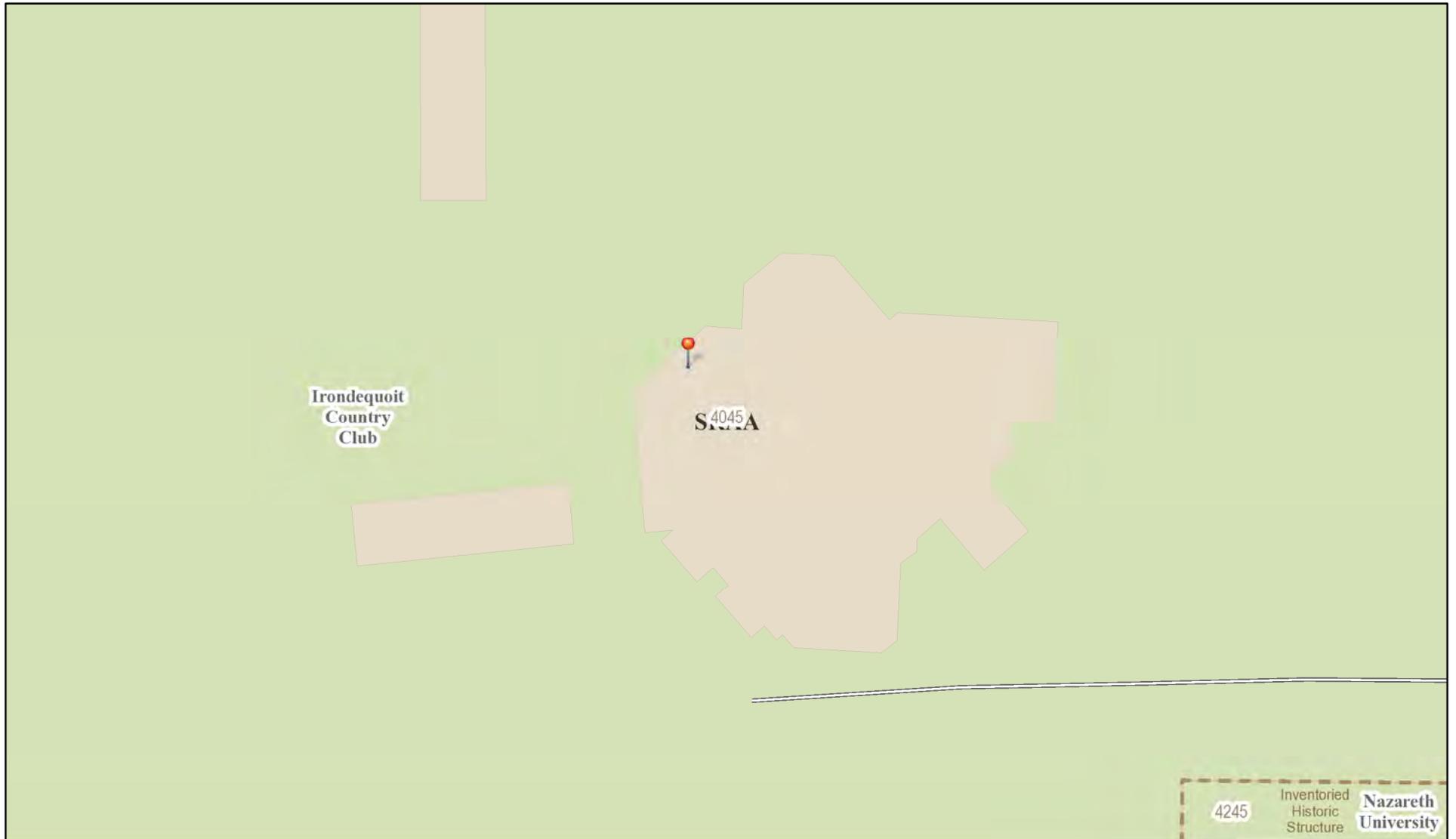
- | | |
|--|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input checked="" type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the addition of a covered patio on the northwest side of the building.

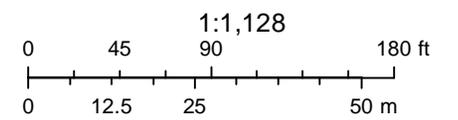
Meeting Date: July 13, 2023



RN Residential Neighborhood Zoning



Printed July 7, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



4245

4045

GENERAL NOTES:

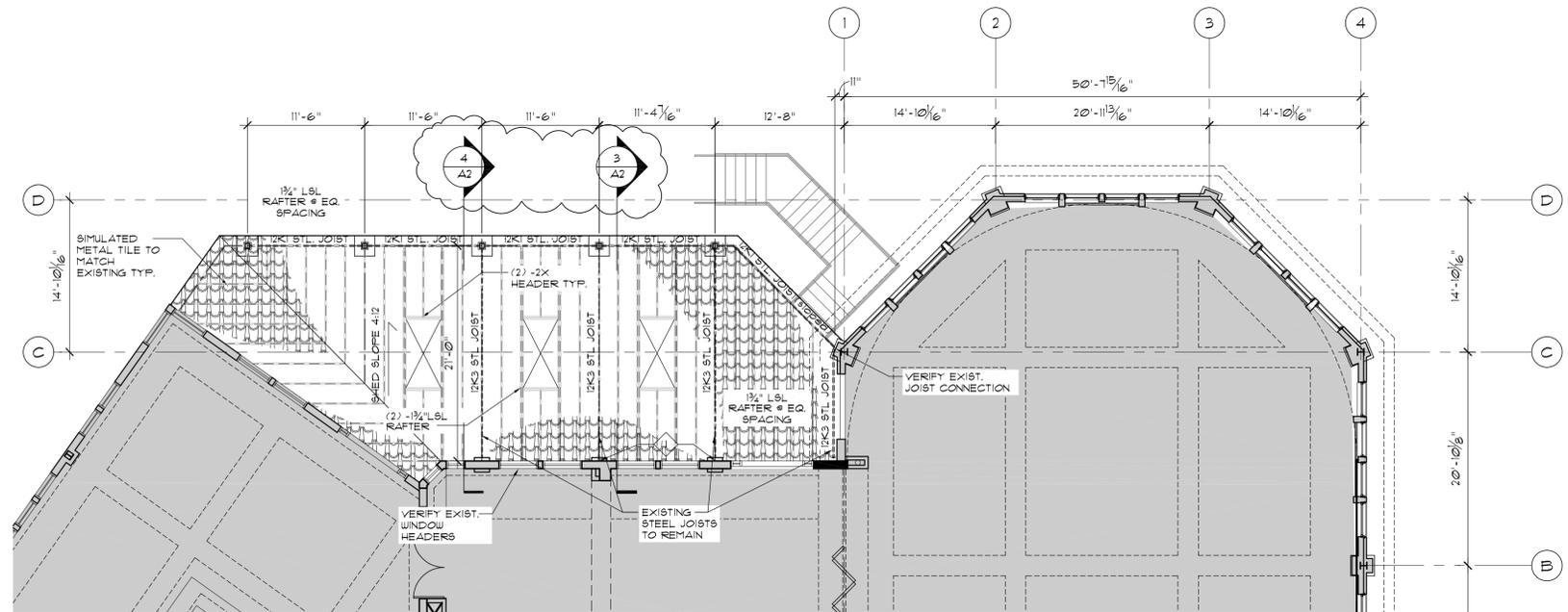
1. THE CONTRACTOR SHALL VERIFY THE NATURE OF THE EXISTING CONSTRUCTION AND STRUCTURAL SYSTEMS PRIOR TO COMMENCING WITH ANY WORK.
2. SCOPE OF DEMO WORK AT EXISTING ROOF CORNICE SHALL BE DETERMINED AND COORDINATED BY LL, GC AND STRUCTURAL ENGINEER.
3. AT EXTERIOR WALLS TO REMAIN, EXISTING FINISHES, WINDOWS AND DOORS ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE. EXISTING FINISHES, WINDOWS AND DOORS SHALL BE PROTECTED.

ROOF PLAN KEY NOTES:

- 1 GC TO DETERMINE EXTENT OF DEMO AT ROOF CORNICE FRAMING TO ACCOMMODATE NEW ROOF ADDITION.



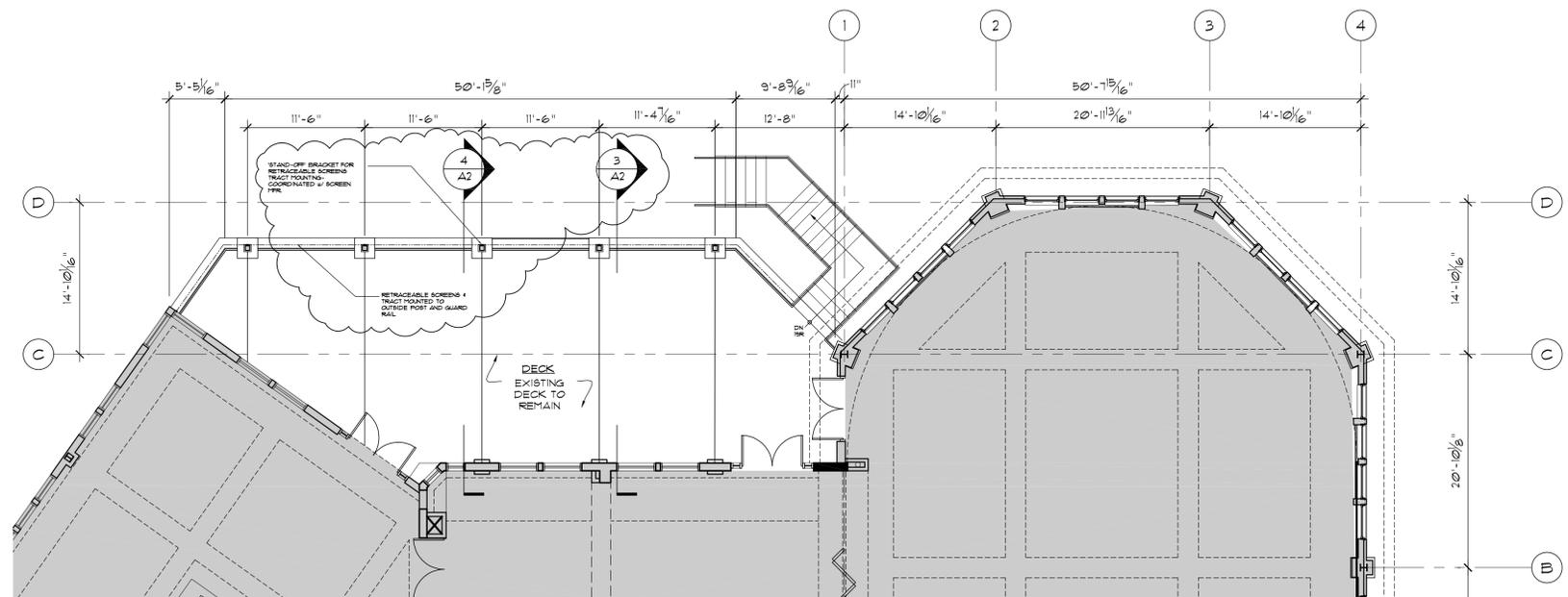
PROPOSED ROOF VIEW
SCALE: N.T.S.



PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"



EXISTING ROOF VIEW
SCALE: N.T.S.

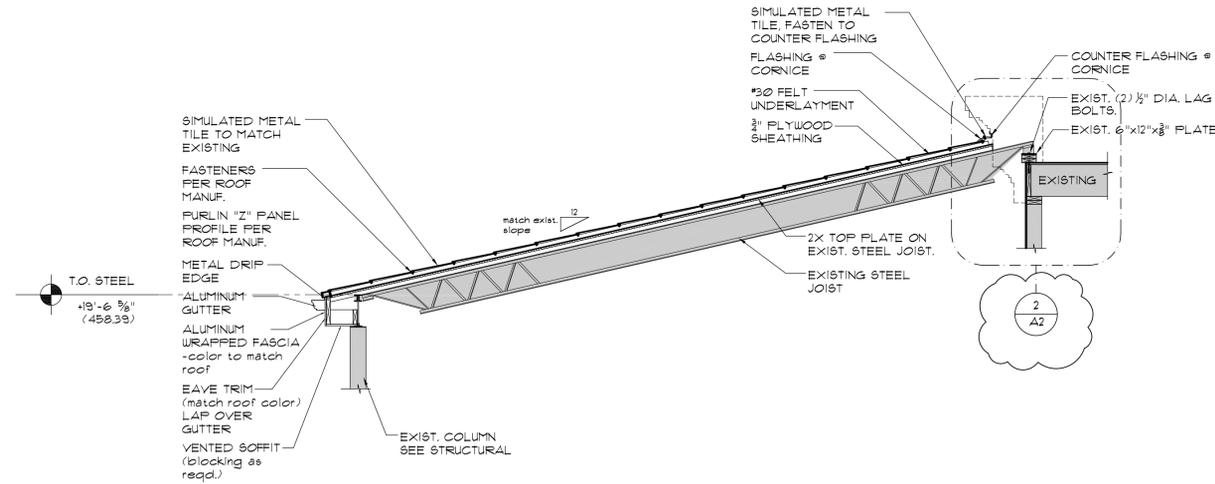


EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"

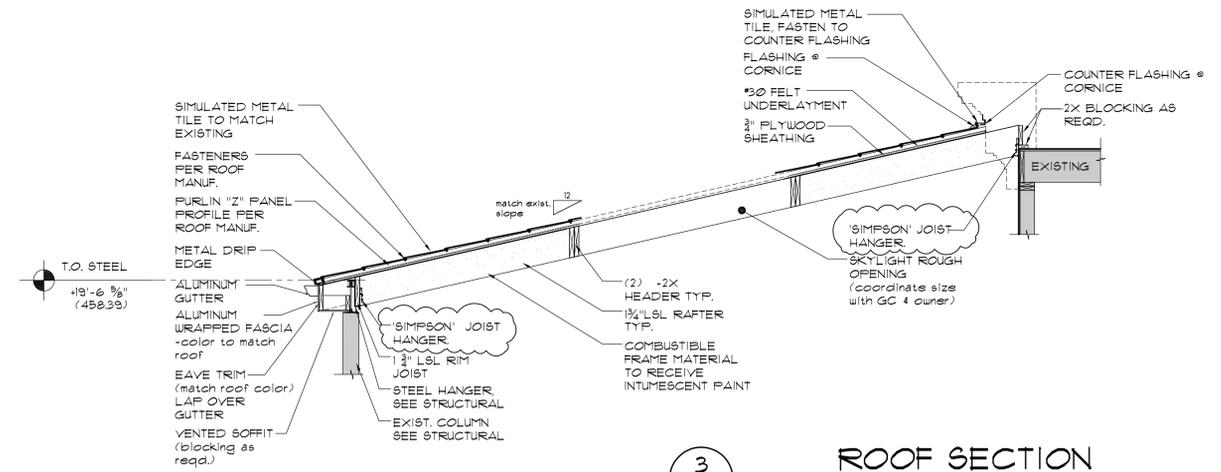


ELEVATION GENERAL NOTES:

1. GC TO VERIFY IN FIELD EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK
2. PROTECT ALL EXISTING TO REMAIN FROM DAMAGE DURING CONSTRUCTION
3. AT EXTERIOR WALLS TO REMAIN, EXISTING FINISHES, WINDOWS AND DOORS ARE TO REMAIN THROUGHOUT UNLESS NOTED OTHERWISE. EXISTING FINISHES, WINDOWS AND DOORS SHALL BE PROTECTED



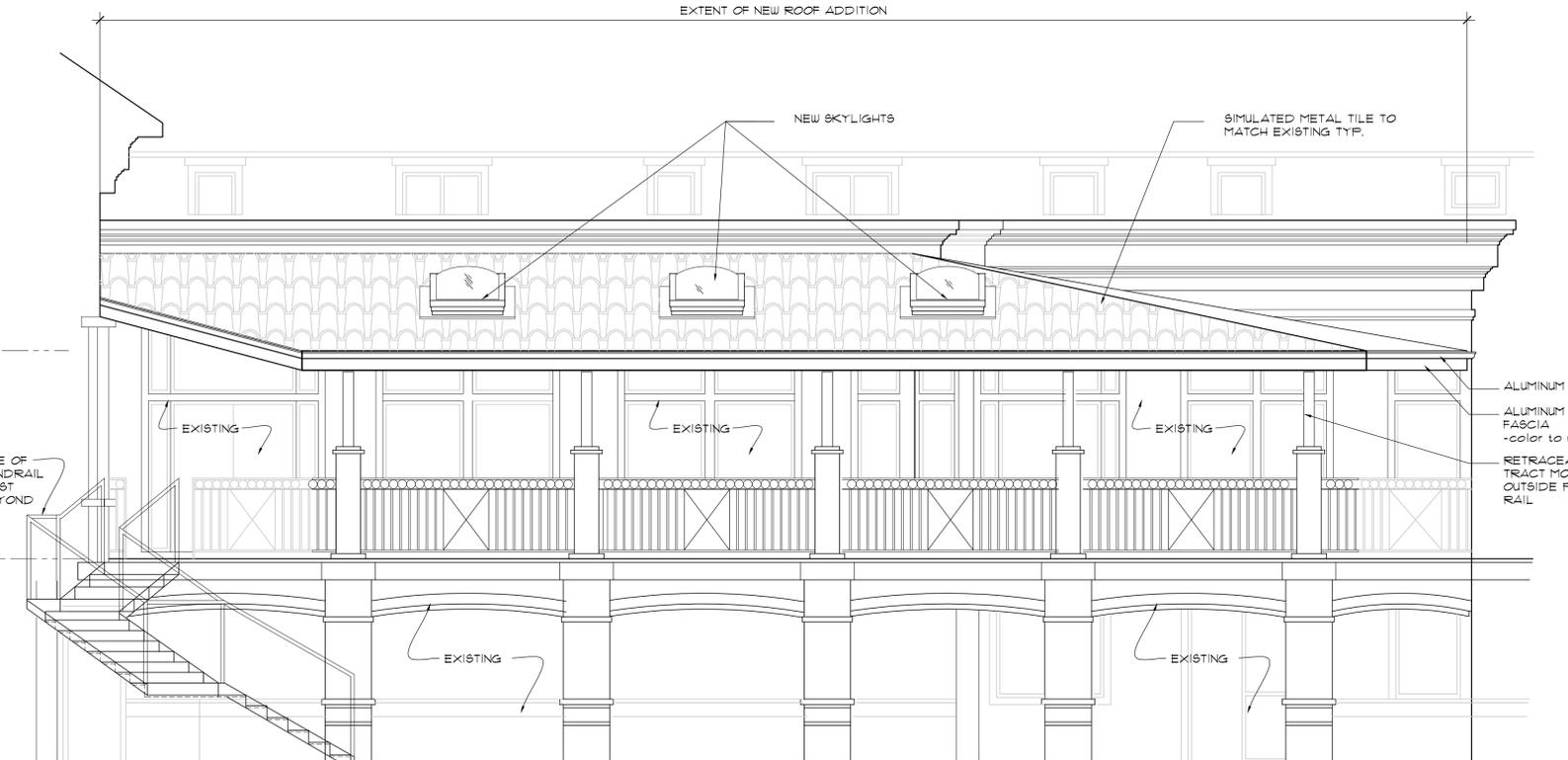
4
A2
ROOF SECTION
SCALE: 3/8"=1'-0"



3
A2
ROOF SECTION
SCALE: 3/8"=1'-0"



2
A2
SECTION DETAIL
SCALE: 3/4"=1'-0"



1
A2
PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

