

Design Review & Historic Preservation Board
AGENDA
June 22, 2023

This agenda is subject to change

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, June 22, 2023, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

Geoca Subdivision

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATIONS – RETURNING

15 Knobb Hill

Applicant is requesting design review for the construction of a 225 SF three season addition off the back of the home.

215 West Brook Road

Applicant is requesting design review for the addition of a 960 SF garage connected to the side of house.

RESIDENTIAL APPLICATIONS – NEW

2 Charter Oaks Drive

Applicant is requesting design review for a 124 square foot front porch addition and a 284 square foot garage addition to the east side of the house.

4035 East Avenue

Applicant is requesting design review to reconstruct the front wall of garage to include three garage doors and cement board siding and trim.

101 Stoneleigh Court

Applicant is requesting design review for the addition of a 241 square foot garage and mudroom.

COMMERCIAL APPLICATIONS – PAINTING

3300 Monroe Avenue

Applicant is requesting design review for repainting the exterior of the Pittsford Place Mall.

COMMERCIAL APPLICATIONS – SIGNAGE

3349 Monroe Avenue

Applicant is requesting design review for the addition of a 19.83 square foot sign for a tech repair shop.

920 Linden Avenue

Applicant is requesting design review for the addition of a 11.22 square foot sign.

**TOWN OF PITTSFORD
DESIGN REVIEW & HISTORIC PRESERVATION BOARD
JUNE 8, 2023**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on June 8, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Kathleen Cristman, Dave Wigg, Jim Vekasy, Bonnie Salem, John Mitchell

ABSENT: Dirk Schneider, Paul Whitbeck

ALSO PRESENT: Cathy Koshykar, Town Board Liaison; Bill Zink, Building Inspector; April Zurowski, Planning Assistant; Meghan Brooks, Building Department Assistant

ATTENDANCE: There were 27 members of the public present.

Design Review and Historic Preservation Board Vice Chairman Dave Wigg called the meeting to order at 6:00PM.

HISTORIC PRESERVATION DISCUSSION:

Geoca Subdivision – 215 Mendon Road

April Zurowski, the Town's Planning Assistant, introduced this application. The Geoca Subdivision is currently in front of the Planning Board for Concept Subdivision approval, but falls within the Town's only historic district: Mile Post/Stonetown Historic District. The property, 215 Mendon Road, is zoned Residential Neighborhood (RN) and therefore subdivision is based on adjacent lot sizes. To meet the zoning requirements, the applicant is proposing three total lots: two new building lots and one lot with the existing home. In the 1995 Comprehensive Plan Update, the intersection where Mendon Road, Mendon Center Road, South Main Street, and Stone Road meet was identified as one of seven intersections for realignment to improve traffic congestion and safety. Since 1995, all intersections have been adjusted except for this one. During the Stonetown Hamlet subdivision in the late 1990s, the Town Board required a right-of-way (ROW) through the parcel to further the planning for the intersection realignment. 215 Mendon Road is now the last piece to the puzzle. Through the Town's subdivision requirements, creation of a new road, or ROW in this case, allows the Planning Board to set lot sizes. Therefore, this subdivision could be changed to allow for smaller lots or more than three lots when the ROW is preserved. The Planning Board has determined that the ROW will be required, so flexibility in the lots is now available. Because the Design Review and Historic Preservation Board (DRHPB) will need to grant a Certificate of Appropriateness for this concept subdivision within the Mile Post/Stonetown Historic District, the Planning Board is requesting comments on the number of lots and lot sizes that seem feasible for the property.

DRHPB Member Bonnie Salem stated that she is not in favor of the preservation of the ROW. 215 Mendon Road is part of the 19th century settlement area within the Town of Pittsford. She stated that the grouping of residences around the intersection is key to the area's history. The area is currently rural, so smaller village-type lots would not be desirable. Board Member Salem stated that she does not agree with the Planning Board's decision to preserve the ROW. Ms. Zurowski explained that the ROW will be preserved as open space until the time that the road is constructed, if ever constructed. Board Member Salem stated that the Planning Board should

focus on limiting the number of lots, focusing on smaller scale housing and the orientation of homes. She stated her favor for small homes, detached garages, and small outbuildings on the site. Ms. Zurowski stated that the Planning Board is simply asking for comments on the number of lots and lot sizes. Housing size and orientation will be available for DRHPB comment during the Certificate of Appropriateness application for the concept subdivision and with each home that is constructed.

DRHPB Vice Chairman Dave Wigg agreed with Board Member Salem that the current configuration of lots does not include much creativity. DRHPB Member Kathleen Cristman stated that subdivision of the property will decrease the integrity of the historic district. DRHPB Member Jim Vekasy stated that the homes drawn on the subdivision plat are too large. Ms. Zurowski stated that the homes on the subdivision plat are not what is proposed. The homes are a placeholder to show what could be built on the lots. Board Member Vekasy agrees that this area is rural and that this feel should be preserved. Board Member Salem stated that she feels the intersection realignment plan is outdated. Board Member Cristman stated that three lots may even be too many for the site. DRHPB Member John Mitchell requested a meeting with the Planning Board to discuss the number of lots appropriate for the site. Ms. Zurowski stated that she will speak with the Town Attorney regarding the feasibility of a dual-board meeting. Vice Chairman Wigg stated that the Board would like to see no more than three total lots but would prefer no more than two. Board Member Salem stated that she would like to see large lots with small houses. Board Member Vekasy agreed.

NEW RESIDENTIAL APPLICATIONS:

10 Black Wood Circle

The applicant is requesting design review for the construction of an approximately 1762 square-foot single-story single-family home in the Wilshire Hill Subdivision.

Bill Arieno, of Pride Mark Homes, introduced the application. This home is slightly different from what is in the cul-de-sac of Black Wood Circle now. He stated that this is the fourth or fifth home of this type within the neighborhood of ninety-two homes. Board Member Salem asked if the home would be fit with two materials as shown. Mr. Arieno confirmed, stone and siding will be used. Board Member Cristman liked the simplicity of the design.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of an approximately 1762 square-foot single-story single-family as submitted, seconded by DRHPB Board Member John Mitchell. Following a unanimous voice vote, the application was approved.

16 Cedarwood Circle

The applicant is requesting design review for an approximately 300 square-foot addition on the front of the house.

Lynn Timineri, of 16 Cedarwood Circle, introduced her application. An addition is proposed that will bring the garage forward. Board Member Cristman asked if the garage addition will bring the garage to the same plane as the home. Ms. Timineri confirmed that the garage will no longer be recessed and will now be even with the rest of the home. Vice Chairman Wigg asked about the roof. Ms. Timineri stated that a portion of the roof will be replaced and the roof on the addition will match that of the existing home. Board Member Cristman asked if the stonework would remain. Ms. Timineri stated that the stone will remain, but no additional stone is being added. Board Member Cristman stated her understanding that the Board cannot approve house color, but asked what color is proposed for the repainting of the home. Ms. Timineri stated that the

home will be painted a dark forest green. Vice Chairman Wigg asked if the skylights on are existing or proposed. Ms. Timineri stated that the skylights are proposed. Board Member Vekasy stated that he favors the three skylights shown.

DRHPB Member John Mitchell motioned to approve the construction of an approximately 300 square-foot addition as submitted, in addition to the drawings (C1, A1, A2, and A4) dated June 4, 2023, seconded by DRHPB Vice Chairman Dave Wigg. Following a unanimous voice vote, the application was approved.

28 Whitestone Lane

The applicant is requesting design review for a three-car garage addition (unknown square footage) on the east side of the house.

Building Inspector Bill Zink stated that this application must go through the Zoning Board of Appeals prior to Design Review and Historic Preservation Board approval.

Kim Bailey, of Stahl Properties, and Annemarie Rizzo, of 36 Whitestone Lane, introduced the application. Ms. Bailey and Ms. Rizzo attended the May 25, 2023, DRHPB meeting for an informal discussion in which the Board made preliminary comments. Ms. Rizzo stated that the facade along Malm Lane will be changed and increased. Ms. Bailey stated that this lot is considered a corner lot, so the property has two front setbacks: 50 feet along Malm Lane and 70 feet along Whitestone Lane. The applicant will be proposing a 6-foot variance within the 50-foot front setback, a shallow front setback in comparison to other areas in town. The addition and facade changes will be fit with brick, to match the existing, siding, and a new asphalt shingle roof. At the Board request during informal review, the cupola was relocated to the garage. Vice Chairman Wigg asked about the proposed material for the three garage doors. Ms. Bailey stated that the garage doors will be painted wood. Board Member Mitchell asked if the addition and overall project could be scaled down. Ms. Bailey stated that the applicant could consider downsizing. Board Member Cristman asked if the front dormers are proposed to be enlarged. Ms. Bailey confirmed. Board Member Salem stated that the facade is largely changed along the Malm Lane frontage. Ms. Bailey believes that the increased facade area will improve the look when driving down Malm Lane. She stated that the strip of green space along Malm Lane will be preserved, and that Ms. Rizzo does not plan to subdivide. Board Member Salem asked if both elevations will be seen at once. Ms. Bailey stated that there may be a location, but most locations only one or the other will be seen. This application will return after review from the Zoning Board of Appeals.

45 Skylight Trail

The applicant is requesting design review to enclose an approximately 225 square-foot existing covered deck on the back of the house.

Ed Drexler, of 45 Skylight Trail, introduced his application. The covered deck was approved during the original design review for the construction of the new home. The applicant is now looking to enclose the deck into a sunroom. Vice Chairman Wigg asked if the sunroom will be enclosed with glass. Mr. Drexler confirmed; some metal will be added along the base of the glass. Board Member Salem asked if the size of the existing roof and deck will remain the same. Mr. Drexler confirmed. The glass will make the enclosure slightly larger than the existing deck square footage.

DRHPB Vice Chairman Dave Wigg motioned to approve the enclosure of an approximately 225 square-foot existing covered deck on the back of the house as submitted, seconded by DRHPB Board Member Bonnie Salem. Following a unanimous voice vote, the application was approved.

12 Skytop Lane

The applicant is requesting design review to relocate the garage door and garage windows to the east side of the existing garage.

DRHPB Member John Mitchell recused himself of this application.

Michael Phillips, of 12 Skytop Lane, introduced the application. He is proposing to relocate the existing garage door from the south to the east of the garage. He plans to remove the existing horseshoe driveway and replace it with grass and landscaping. The garage will be restored with the exact brick to match the existing house. The applicant also plans to use semipervious pavement to reduce impervious coverage further. Board Member Salem stated that the garage will become very visual when turned to face the street but acknowledged the mitigating factor that the house is located at the end of the cul-de-sac and does not face down the street. Board Member Vekasy stated that the current configuration is very visual due to the home's angle and location at the end of the cul-de-sac. Vice Chairman Wigg and the Board agreed that either side of the garage is acceptable for the placement of the man door.

DRHPB Vice Chairman Dave Wigg motioned to approve the relocation of the garage door and garage windows to the east side of the existing garage as submitted, seconded by DRHPB Board Member Kathleen Cristman. Following a unanimous voice vote, the application was approved.

15 Knobb Hill

The applicant is requesting design review for the construction of an approximately 225 square-foot enclosed porch addition off the back of the house.

Chad Desarkus, as agent for the homeowner, introduced the application. Vice Chairman Wigg asked the agent to return with the applicant or architect to discuss windows, siding, and other construction elements. Board Member Vekasy asked that elevations are submitted for review. This application was held over until the June 22, 2023, meeting.

168 Caversham Woods

The applicant is requesting design review for the construction of an approximately 1116 square-foot addition off the back of the house and front facade changes.

Pat Morabito, of Morabito Architects, introduced the application. The applicant is requesting an addition to increase the size of the home and add a covered porch. Board Member Salem asked if the addition would affect the second floor. Mr. Morabito stated that there are no additions proposed to the second floor. Board Member Salem asked if the cupola is existing or proposed. Mr. Morabito stated that the cupola is existing. Vice Chairman Wigg asked if the roof would be replaced. Mr. Morabito stated that the roof is planned to be replaced in its entirety. Board Member Vekasy asked about proposed windows. Mr. Morabito stated that windows are proposed to be black, and the home is proposed for white siding and a neutral stone. Board Member Mitchell asked if there will be a curve at the entryway. Mr. Morabito confirmed.

DRHPB Member Bonnie Salem motioned to approve the construction of an approximately 1116 square-foot addition off the back of the house and front facade changes as submitted, seconded

by DRHPB Board Member John Mitchell. Following a unanimous voice vote, the application was approved.

215 W Brook Road

The applicant is requesting design review for the construction of an approximately 960 square-foot garage addition off the west side of the house.

Ken Horan, of Ken Horan Remodeling, introduced the application. The applicant is proposing a three-car garage addition and breezeway. Mr. Horan stated that the addition will match the existing home. Vice Chairman Wigg asked if board and batten siding is proposed. Mr. Horan stated that the addition will be sided with cedar tongue and groove boards stained black to match the existing home. Windows will mimic the other existing windows. Board Member Salem stated that this home is a 1949 Long Meadow Subdivision home built by Don Hershey and is in the Town's most recent historic properties inventory. She stated that she believes that a three-car garage addition is not fitting to the neighborhood. She stated that a smaller garage or different orientation would be more fitting for the property. Mr. Horan stated that the lot is four acres, and the backyard is within the flood zone. Vice Chairman Wigg asked Board Member Salem if she believes the addition is too large for a four-acre lot. Board Member Salem confirmed that as an inventoried home, this addition is too large. The Board discussed changing the roof pitch and pushing the addition two feet closer to the road.

With these suggestions, the DRHPB asked Mr. Horan to return with a revised plan in time for the June 22, 2023, meeting.

12 Millwood Court

The applicant is requesting design review for an approximately 288 square-foot screened porch on the back of the house.

Dave Bechle, of 12 Millwood Court, introduced his application. The screened porch will include a railing on the interior of the screen. The enclosure will include a floor to ceiling screen with four 4X4s separating the screen sections and will be covered with a metal roof. The applicant is replacing the existing upper deck and is proposing to add a lower deck. Board Member Mitchell asked if the wood will be pressure treated. Mr. Bechle confirmed.

DRHPB Vice Chairman Dave Wigg motioned to approve the construction of an approximately 300 square-foot addition screened porch with four vertical posts and metal roof, seconded by DRHPB Board Member Bonnie Salem. Following a unanimous voice vote, the application was approved.

OTHER DISCUSSION:

The minutes of May 11, 2023, were approved following a motion by DRHPB Vice Chairman Dave Wigg, seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the minutes were approved, none opposed.

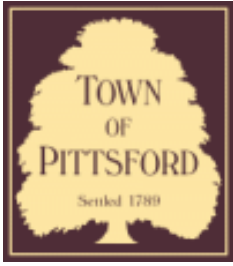
Design Review and Historic Preservation Board Vice Chairman Dave Wigg closed the meeting at 8:41PM.

Respectfully submitted,

April Zurowski
Planning Assistant

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING
DEPARTMENT

DRAFT



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000069

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 15 Knobb Hill Drive PITTSFORD, NY 14534

Tax ID Number: 164.14-2-16.2

Zoning District: RN Residential Neighborhood

Owner: Bhargava, Shashikanth

Applicant: Bhargava, Shashikanth

Application Type:

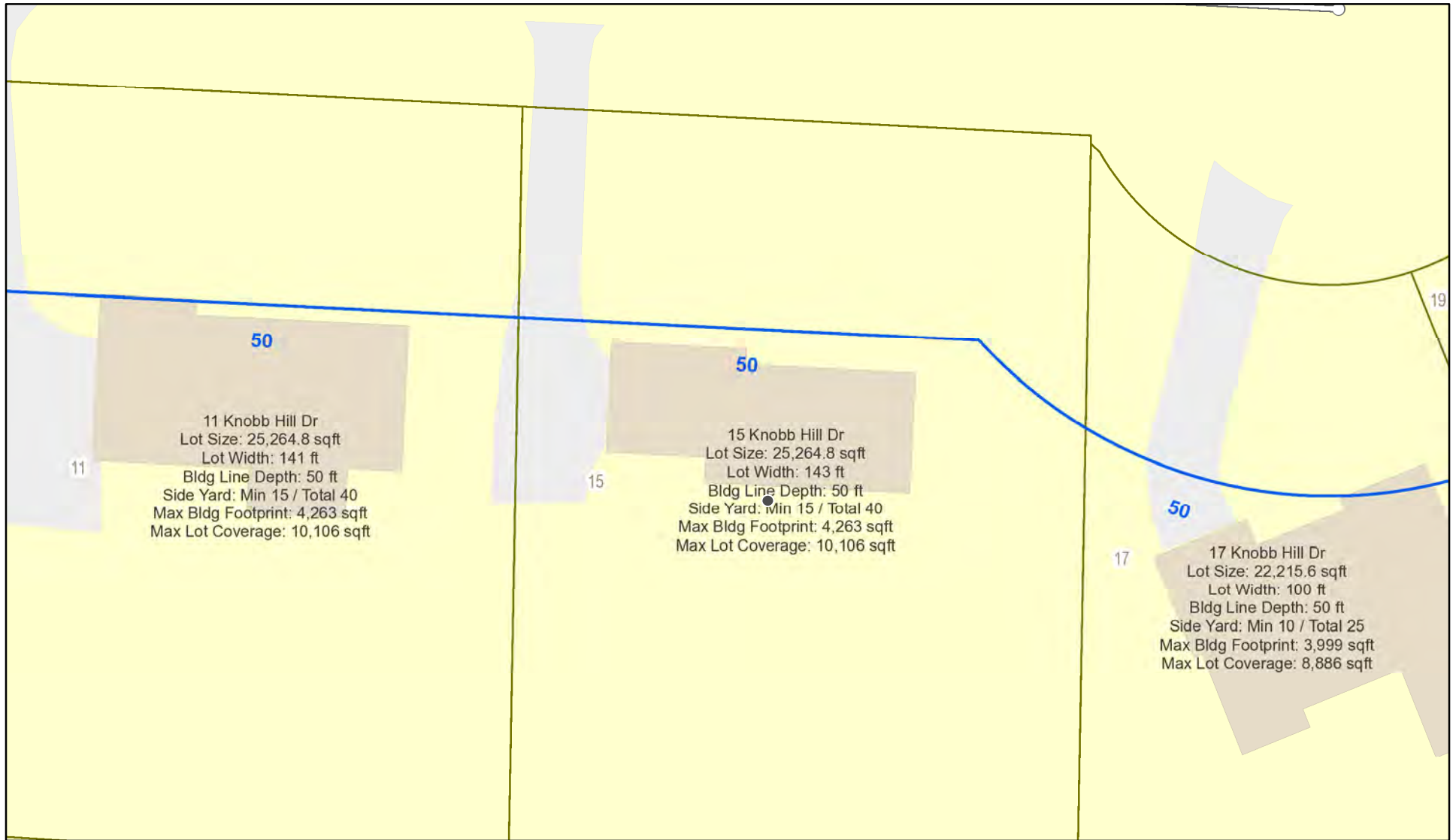
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting a returning design review for the construction of a 225 SF three season addition off the back of the home.

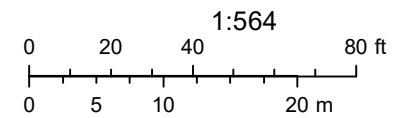
Meeting Date: June 22, 2023



RN Residential Neighborhood Zoning



Printed May 31, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Knobb Hill Dr



04/03/2021

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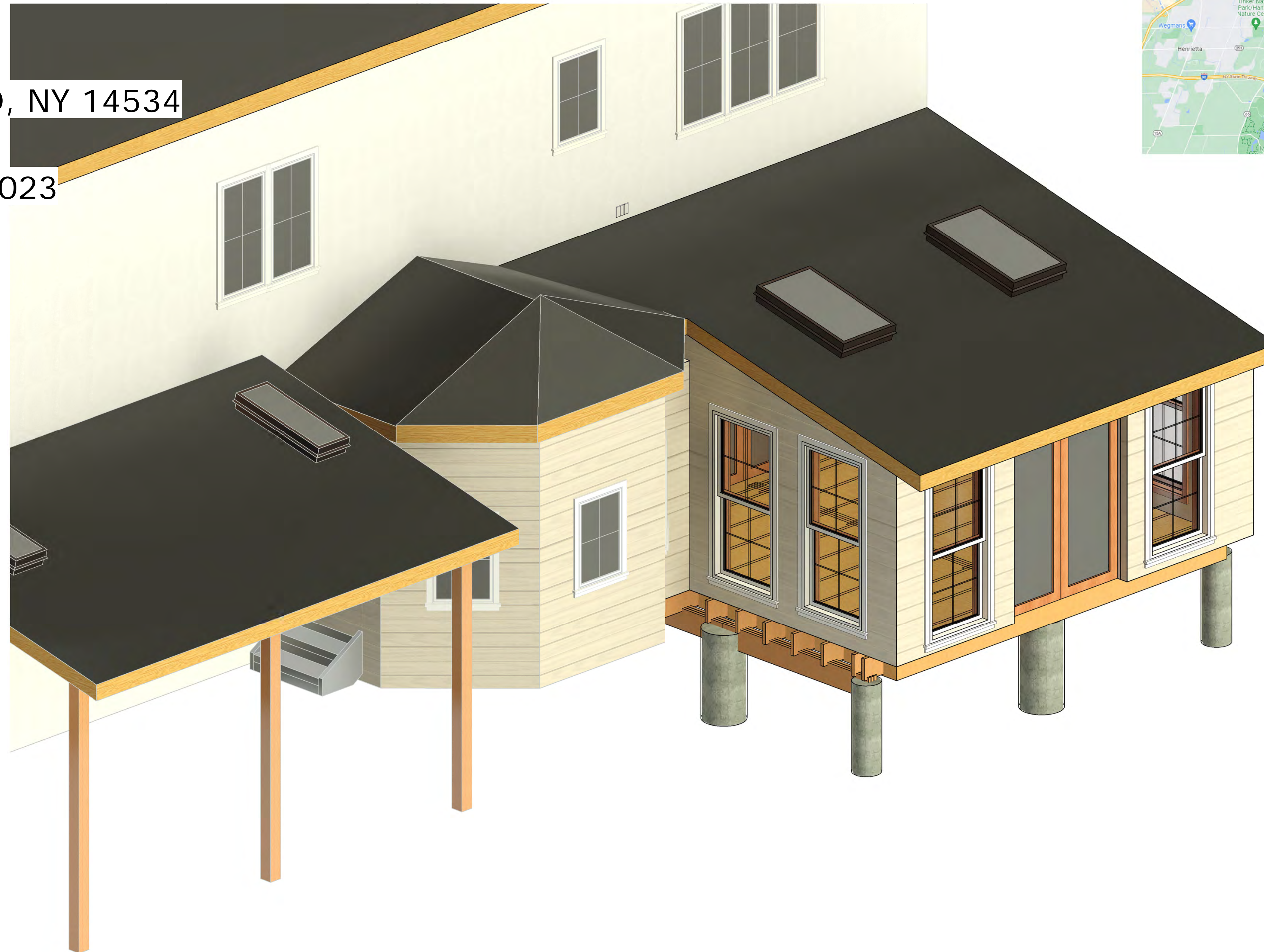
CONTRACT DOCUMENTS FOR:

15 KNOBB HILL

1013100421

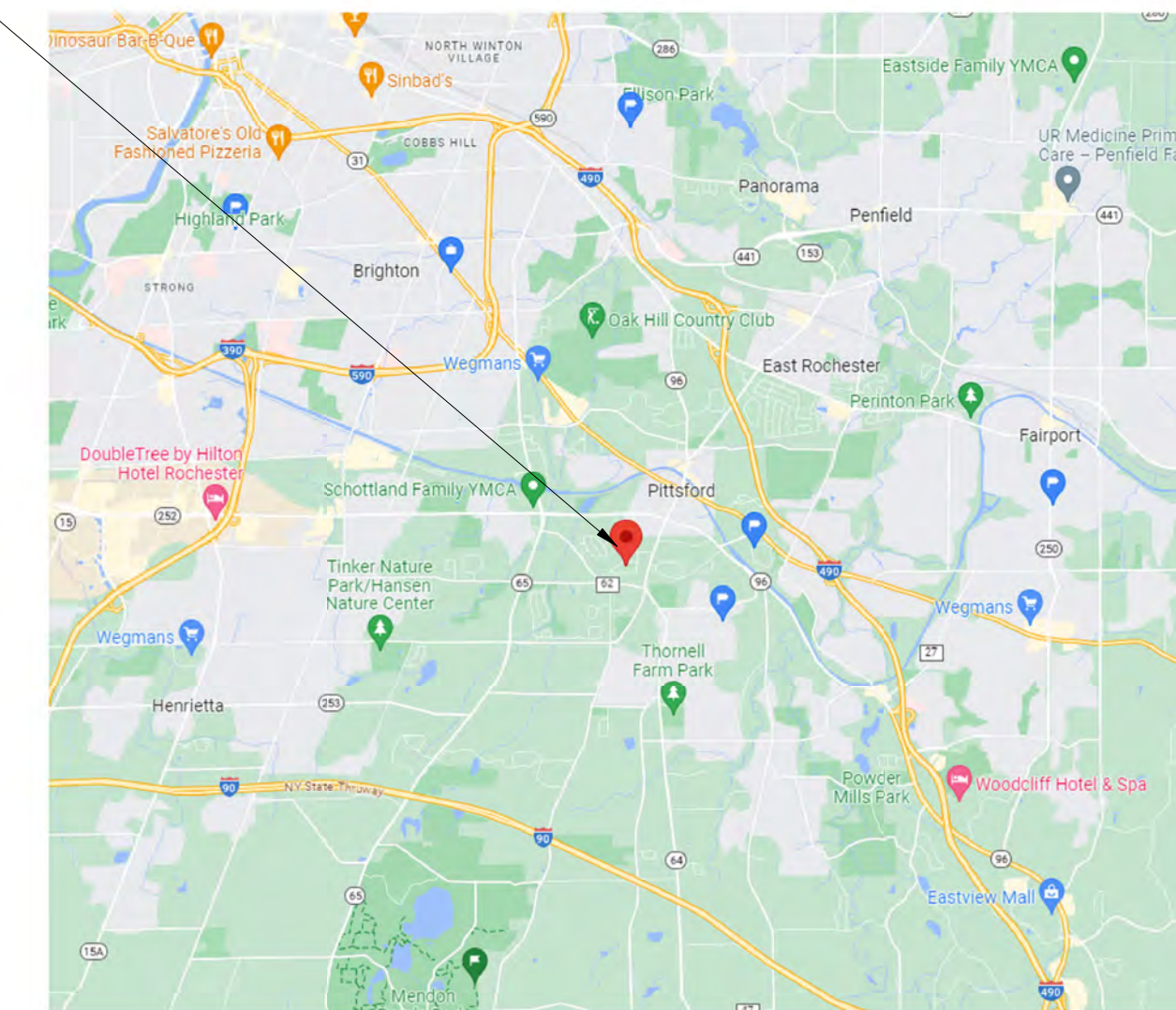
PITTSFORD, NY 14534

JUNE 12, 2023



PROJECT LOCATION

LOCATION MAP:



CLIENT:

**Shashi Bhargava
15 KNOBB HILL DRIVE
PITTSFORD, NY 14534**

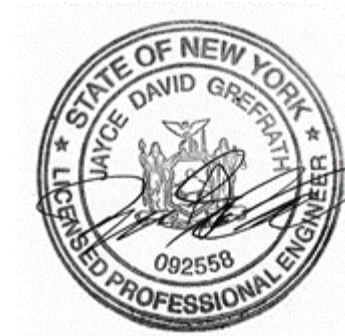


1 REAR ELEVATION VIEW

0' 1' 2' 4' 8'
3/8" = 1'-0"

FOR PERMIT

Stamp:



Client:

Shashi Bhargava

15 KNOBB HILL DRIVE
PITTSFORD, NY 14534

No.	Date	By	Description

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 7209 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED. ©

REAR ELEVATION VIEW

15 KNOBB HILL

Town/City: PITTSFORD

County: MONROE State: NEW YORK

Project No.:

1013100421

Drawing No.:

S-200

Date:

JUNE 12, 2023

1. GENERAL NOTES:

- A. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC., IN FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION OR SHOP DRAWINGS.
- B. THE DRAWINGS ARE INTENDED TO REQUIRE AND TO INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT PROPER FOR THE WORK.
- C. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES AND REQUIREMENTS.
- D. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PROCEDURES. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- E. OBSERVE ALL OSHA AND OTHER APPLICABLE SAFETY REQUIREMENTS INCLUDING THE USE OF SAFETY GLASSES, HARD HATS, AND PROTECTION OF AREA WHEN WORKING OVERHEAD. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CONSTRUCTION SAFETY AT ALL TIMES.
- F. COORDINATE WORK OF ALL DISCIPLINES (STRUCT., MECH., ELECT., ETC.) WITH EXISTING CONDITIONS, SPECIAL REQUIREMENTS, CONSTRUCTION SCHEDULE AND OTHER CONTRACTORS PERFORMING WORK AT THE SITE.
- G. THE CONTRACTOR SHALL DESIGN AND PROVIDE ANY TEMPORARY SHORING, BRACING, ETC., AS NEEDED FOR THE WORK SO AS NOT TO ENDANGER THE STRUCTURAL INTEGRITY OF ANY EXISTING FEATURE.
- H. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE DONE TO EXISTING FEATURES AS A RESULT OF THIS WORK. DAMAGED ITEMS SHALL BE REPLACED IN KIND AND AT NO ADDITIONAL COST TO THE OWNER.
- I. SEE SPECIFICATIONS FOR FULL SCOPE OF REQUIREMENTS APPLICABLE TO THIS PROJECT.
- J. SHOP DRAWINGS: REPRODUCTION OF DESIGN DRAWINGS SHALL NOT BE PERMITTED FOR SHOP DRAWING SUBMISSIONS. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL REVIEW AND PROVIDE REVIEW STAMP ON SHOP DRAWING SUBMISSIONS PRIOR TO SUBMITTAL TO ARCHITECT/ENGINEER INDICATING UNDERSTANDING AND ACCEPTANCE OF SUBMITTAL AND CONFIRMING CONFORMANCE TO PROJECT PLANS/SPECIFICATIONS.
- K. THE INFORMATION SHOWN ON THESE DOCUMENTS IS THE BEST REPRESENTATION OF EXISTING CONDITIONS AVAILABLE TO THE ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THOSE FEATURES WHICH WILL AFFECT THE BID PRICE AND MAKE ALLOWANCES FOR THEM IN THEIR BID.

2. DESIGN CRITERIA:

- A. LIVE LOADS
FINISHED FLOOR - 100 PSF
ROOF LIVE LOAD - 20 PSF
- B. SNOW LOADS
GROUND SNOW LOAD - (P_g) - 40 PSF
FLAT ROOF SNOW LOAD - (P_f) - 35 PSF
SNOW EXPOSURE FACTOR - (C_e) - 1.0
SNOW THERMAL FACTOR (C_t) - 1.1
SNOW LOAD IMPORTANCE FACTOR - (I_s) - 1.0
MAX SNOW DRIFT LOAD - (P_d) - 76.8 PSF
- C. WIND LOADS
BASIC WIND SPEED - 115 MPH
WIND EXPOSURE - B
CGP - ± 0.18
WIND UPLIFT (ROOFS)
INTERIOR - 21.2 PSF
EDGE (a = 7'-3") - 23.0 PSF
CORNERS (a = 7'-3") - 53.4 PSF
- D. SEISMIC LOADS
SITE LOCATION (14534)
SHORT SPECTRAL RESPONSE (S_s) - 0.161g
1.0 SEC SPECTRAL RESPONSE (S₁) - 0.060g
SEISMIC IMPORTANCE FACTOR (I_s) - 1.0
SPECTRAL RESPONSE COEFFICIENT (S_{DS}) - 0.172g
SPECTRAL RESPONSE COEFFICIENT (S_{1D}) - 0.095g
SEISMIC SITE CLASS - D
SEISMIC DESIGN CATEGORY - B
BASIC SEISMIC-FORCE RESISTING SYSTEM - WOOD FRAMED PLYWOOD SHEAR WALLS SYSTEM (NOT DETAILED)
ANALYSIS PROCEDURE - EQUIVALENT LATERAL FORCE ANALYSIS
RESPONSE MODIFICATION FACTOR (R) - 3
SEISMIC RESPONSE COEFFICIENT (C_s) - 0.052
TOTAL BASE SHEAR - 19.7 kips

BUILDING IS DESIGNED USING 2020 IBC.

3. STRUCTURAL STEEL:

- A. STRUCTURAL STEEL WORK INCLUDES ALL STRUCTURAL STEEL TO BE FURNISHED AND ERECTED, BEAMS, COLUMNS, CHANNELS, ANGLES, JOISTS, LINTELS, BEARING PLATES, ETC., AS INDICATED ON THE DRAWINGS.
- B. COMPLY WITH THE FOLLOWING CODES AND STANDARDS:
 1. AISC STEEL CONSTRUCTION MANUAL, ASD, 14TH EDITION
 2. AMERICAN WELDING SOCIETY (AWS) D1.1 "STRUCTURAL WELDING CODE STEEL", 2015
 3. CURRENT OSHA ERECTION AND FABRICATION REQUIREMENTS.
- C. MATERIALS:
 1. BEAMS, GIRDERS AND COLUMNS: ASTM A992
 2. ANGLES, BARS AND PLATES: ASTM A-36.
 3. TUBE STEEL: ASTM A500, GRADE B F_y=42 KSI
 4. PIPE: SCHEDULE 40 CONFORMING TO ASTM A53, GRADE B. U.N.O.
 5. HIGH STRENGTH BOLTS: ASTM A 325.
 6. WELDS: E70XX ELECTRODES.
- D. ALL STRUCTURAL STEEL SHOP CONNECTIONS SHALL BE WELDED AND ALL FIELD CONNECTIONS SHALL BE HIGH-STRENGTH BOLTED UNLESS SHOWN OTHERWISE.
- E. ALL BOLTS SHALL BE TIGHTENED TO THE SNUG TIGHT CONDITION UNLESS NOTED OTHERWISE. SLIP CRITICAL BOLTS SHALL BE USED AT ALL MOMENT CONNECTIONS.
- F. PROVIDE ANCHORS AND OTHER DEVICES TO BE BUILT INTO CONCRETE WORK.
- G. ALL STEEL SHALL RECEIVE ONE COAT OF PRIMER PAINT, U.N.O.
- H. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED.
- I. SHOP DRAWINGS: SUBMIT SHOP DRAWINGS INCLUDING COMPLETE DETAILS AND SCHEDULES FOR FABRICATION AND ASSEMBLY OF STRUCTURAL STEEL MEMBERS, PROCEDURES AND DIAGRAMS.

4. CONCRETE WORK:

- A. COMPLY WITH THE FOLLOWING CODES AND STANDARDS:
 1. ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
 2. ACI 305, ACI 306, ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
 3. ACI DETAILING MANUAL, LATEST EDITION.
 4. ACI 347 "RECOMMENDED PRACTICE FOR CONCRETE FORM WORK".
 5. CONCRETE REINFORCING STEEL INSTITUTE (CRSI), "MANUAL OF STANDARD PRACTICE".
 6. ACI 304 "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE".
- B. MATERIALS:
 1. REINFORCING BARS - ASTM A615, GRADE 60, DEFORMED.
 2. WELDED WIRE FABRIC (WWF) - ASTM A185, FLAT SHEETS.
 3. SUPPORTS FOR REINFORCEMENT:
 - (A) FOR SLABS-ON-GRADE USE CONCRETE BRICKS OR CHAIRS TO SUPPORT AND MAINTAIN PROPER LOCATION OF WWF AND REINFORCING BARS.
 - (B) BOLSTERS, CHAIRS, SPACERS, ETC. SHALL BE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI SPECS. FOR EXPOSED TO VIEW SURFACES WHERE SUPPORTS ARE IN CONTACT WITH FORMS, PROVIDE SUPPORTS WITH LEGS WHICH ARE PROTECTED BY PLASTIC OR STAINLESS STEEL.
 4. PORTLAND CEMENT-ASTM C150, TYPE II.
 5. AGGREGATES-ASTM C33.
 6. AIR ENTRAINING ADMIXTURE-ASTM C260, CERTIFIED BY MANUFACTURER TO BE COMPATIBLE WITH OTHER REQUIRED ADMIXTURES.
 7. PROHIBITED ADMIXTURES-CALCIUM CHLORIDE THYOCYANATES OR ADMIXTURES CONTAINING MORE THAN 0.1% CHLORIDE IONS ARE NOT PERMITTED.
- C. PROPORTIONING AND DESIGN OF MIXES:
 1. PREPARE DESIGN MIXES FOR EACH TYPE, AND STRENGTH OF CONCRETE BY EITHER LABORATORY TRIAL BATCH OR FIELD EXPERIENCE METHODS AS SPECIFIED IN ACI 318.
 2. NORMAL WEIGHT CONCRETE-MINIMUM 28 COMPRESSIVE STRENGTH:
 - A. SLAB ON GRADE - 3000 PSI
 - B. FOUNDATION WALLS, PIERS, FOOTINGS - 4000 PSI
- D. FORM WORK:
 1. PROVIDE OPENINGS IN CONCRETE FORM WORK TO ACCOMMODATE WORK OF OTHER TRADES.
- E. CONCRETE SHALL BE READY MIXED PER ASTM C94. JOB SITE MIXING SHALL NOT BE PERMITTED.
- F. CONCRETE PLACEMENT:
 1. THE ADDITION OF WATER TO THE CONCRETE MIX AT THE JOB SITE IS NOT PERMITTED UNLESS SPECIFICALLY ALLOWED BY THE OWNER'S REPRESENTATIVE.
 2. PROTECT CONCRETE WORK FROM THE DETRIMENTAL EFFECTS OF COLD TEMPERATURES IN COMPLIANCE WITH ACI 306.
 3. PROTECT CONCRETE WORK FROM THE DETRIMENTAL EFFECTS OF HOT WEATHER OR WINDY CONDITIONS IN COMPLIANCE WITH ACI 305.
 4. PLACE FLOOR SLABS TO SURFACE LEVEL TOLERANCES OF FF20-FL17.
- G. CONCRETE FINISHES:
 1. FORMED SURFACES EXPOSED TO VIEW - SMOOTH RUBBED FINISH.
 2. SLAB FINISH - PROVIDE TROWEL FINISH.
- H. PROVIDE MOISTURE CURE TO SLAB SURFACES FOR 7 DAYS BY EITHER COVERING THE CONCRETE WITH WATER, APPLYING A CONTINUOUS WATER-FOG SPRAY, OR COVERING WITH AN ABSORPTIVE COVER. CHEMICAL CURING COMPOUNDS WILL NOT BE ALLOWED ON FLOOR SLABS.
- I. SPECIFIED COVER FOR REINFORCEMENT SHALL NOT BE LESS THAN THE FOLLOWING:
 1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 2. CONCRETE EXPOSED TO EARTH OR WEATHER: 1-1/2"
 3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
 - SLABS, WALLS: 3/4"
 - PIERS' PRIMARY REINFORCEMENT, TIES, STIRRUPS: 1-1/2"

5. FOUNDATIONS:

- A. ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE = 1,500 PSF.
- B. ALL NEW FOUNDATION CONSTRUCTION SHALL BEAR ON APPROVED, UNDISTURBED NATIVE SOILS.
- C. ALL EXTERIOR FOOTINGS ELEVATIONS SHALL NOT BE HIGHER THAN THE FROST DEPTH OF -4'-0" (BELOW GRADE).

6. WOOD CONSTRUCTION:

- A. WOOD CONSTRUCTION SHALL CONFORM TO THE AMERICAN FOREST AND PAPER ASSOCIATIONS (AF&PA) NATIONAL DESIGN SPECIFICATIONS. LUMBER SHALL BE #2 HEM-FIR FOR BETTER WITH F_b = 850 PSI, F_v = 150 PSI, AND E = 1,300,000 PSI.
- B. WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH, OR WITHIN 1 FT OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE PRESERVATIVE TREATED.
- C. MICRO-LAM LUMBER AND TRUS-JOISTS SHALL BE AS MANUFACTURED BY "TRUS-JOIST." BEAMS SHALL BE PROPERLY FASTENED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS PER FOOT. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- D. FRAMING ACHORS AND MISCELLANEOUS METAL DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 16 GAGE THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUFACTURER.
- E. ROOF TRUSSES, INCLUDING DESIGN, CONNECTIONS, BRACING, ERECTION, AND QUALITY SHALL CONFORM TO THE SPECIFICATIONS AND RECOMMENDATIONS OF NFPA AND THE TRUSS PLATE INSTITUTE (TPI). TEMPORARY AND PERMANENT BRACING SHALL BE IN STRICT ACCORDANCE WITH TPI BWT-76. BRACING WOOD TRUSSES. TRUSS MANUFACTURER'S REPRESENTATIVE SHALL BE ON SITE AS NECESSARY TO ENSURE THAT TRUSSES AND BRACING ARE INSTALLED PER MANUFACTURER'S SHOP DRAWINGS.
- F. SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR ROOF TRUSSES, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK, TO THE ARCHITECT FOR REVIEW BEFORE BEGINNING FABRICATION.

GENERAL ARCHITECTURAL/ENERGY/CONSTRUCTION NOTES:

1. SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED THROUGHOUT THE EXISTING HOUSE IN ALL LOCATIONS REQUIRED BY APPENDIX J OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. LISTED COMBINATION SMOKE/CARBON MONOXIDE ALARM MAY BE USED IN LIEU OF SEPARATE ALARMS. ALL NEW SMOKE AND CARBON MONOXIDE DETECTORS MUST BE INTERCONNECTED (BY WIRE OR BLUETOOTH) SO THAT WHEN ONE GOES OFF, THEY ALL DO. IF NOT POSSIBLE, THEY MUST BE OF THE 10-YEAR SEALED LITHIUM BATTERY TYPE.
2. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM AS PER THE REQUIREMENTS OF SECTION 303.3 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
3. GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, AND WITHIN 6 FEET OF THE APPLIANCE. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED AND SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G2420 OF THE RESIDENTIAL CODE AND SHALL COMPLY WITH REQUIRED STANDARDS AS INDICATED IN SECTION G2420.1.1.
4. THE SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM OF SIX FEET ON CENTER. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12" FROM EACH END. BOLTS SHALL BE AT LEAST 1/2" IN DIAMETER AND EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE.
5. ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENERS, JOIST HANGERS AND FLASHINGS SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL OR APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.
6. PROVIDE HEADERS OVER ALL FRAMED OPENINGS, INCLUDING WINDOW AND DOOR OPENINGS. MINIMUM HEADER SIZE, AND NUMBER OF JACK STUDS TO MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
7. PROVIDE ICE AND WATER SHIELD EXTENDING FROM THE EAVE EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING AS REQUIRED BY SECTION R905.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
8. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL AND ROOF INTERSECTIONS AND PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS; SKYLIGHTS; CHIMNEYS; UNDER AND AT ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS; AND WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. FLASHINGS SHALL BE PROVIDED AS REQUIRED TO COMPLY WITH ALL OF SECTION R703.4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
9. ALL LEDGERS THAT ARE SUPPORTED BY THE EXISTING STRUCTURE SHALL BE POSITIVELY ANCHORED TO THE EXTERIOR WALL, FOUNDATION WALL OR THE BAND JOIST, AND CANNOT BE ATTACHED BY NAILS ALONE. AN APPROPRIATE NUMBER OF LAG SCREWS OR BOLTS MUST BE USED.
10. PROVIDE A MINIMUM OF 1/2" GYP. BD. TO THE GARAGE SIDE OF WALLS SEPARATING THE DWELLING FROM THE GARAGE, AND CEILINGS SEPARATING THE GARAGE FROM ATTIC SPACE ABOVE.
11. ALTERATIONS, RENOVATIONS OR REPAIRS TO EXISTING ROOF/CEILING, WALL OR FLOOR CAVITIES SHALL BE INSULATED TO FULL DEPTH WITH INSULATION HAVING A MINIMAL NOMINAL VALUE OF R-3.0/INCH.
12. TO PROVIDE COMPLIANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, THE MAXIMUM ALLOWABLE U-FACTOR FOR NEW EXTERIOR DOORS AND WINDOWS (FENESTRATION) SHALL BE 0.32 AS REQUIRED BY TABLE N1102.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. PROVIDE DOCUMENTATION SHOWING COMPLIANCE TO THE TOWN PRIOR TO INSTALLATION.

Stamp:



Client:

Shashi Bhargava

15 KNOBB HILL DRIVE
PITTSFORD, NY 14534

No.	Date	By	Description

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STRUCTURAL NOTES

15 KNOBB HILL

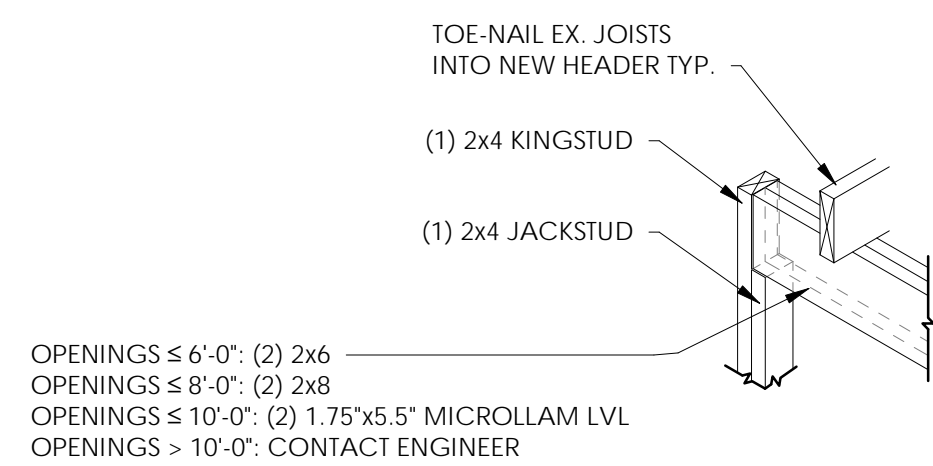
Town/City: PITTSFORD
County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-000

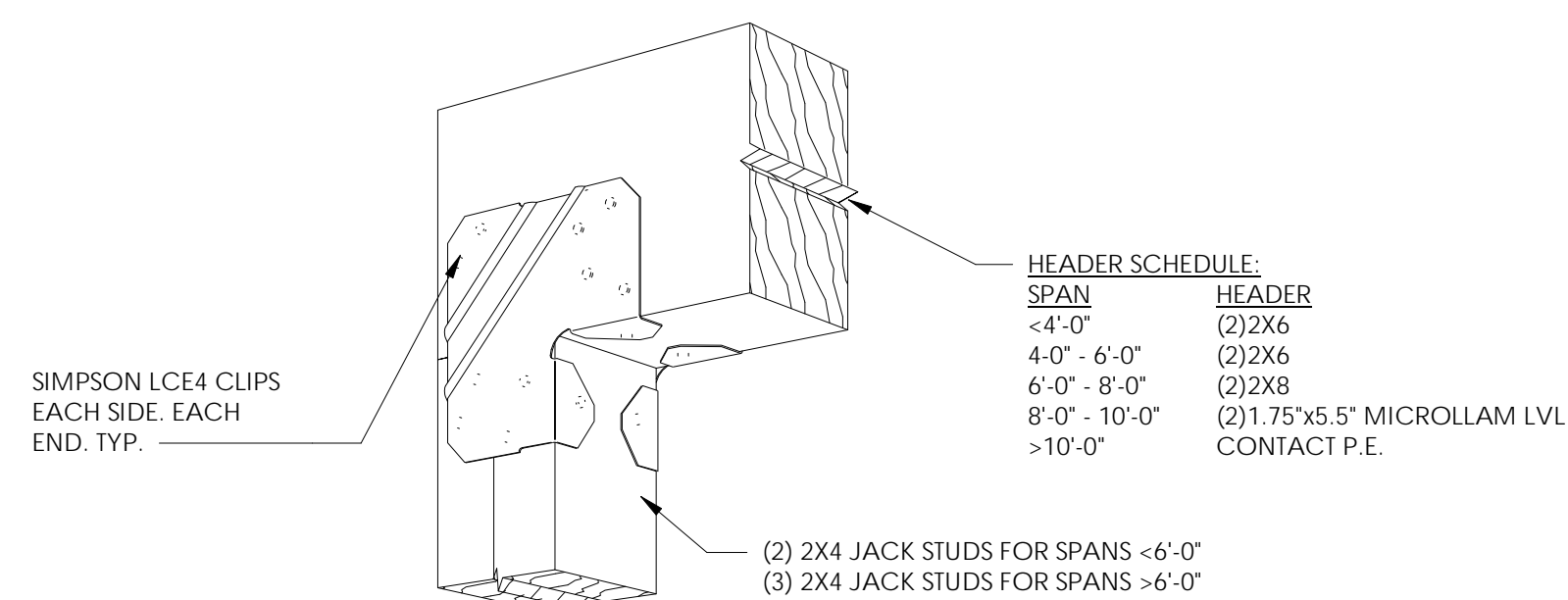
Date: JUNE 12, 2023

FOR PERMIT

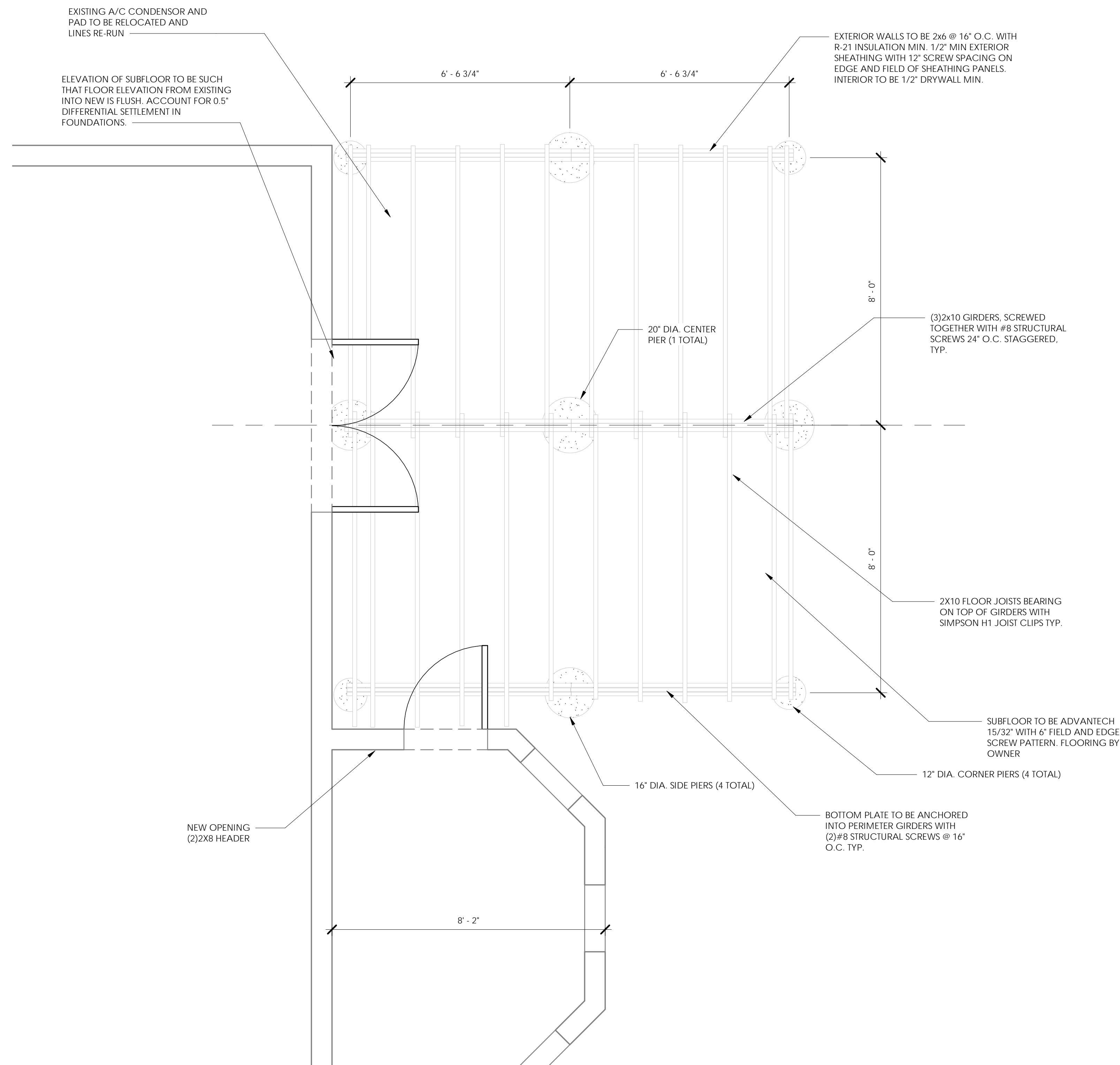


NOTE:
ADEQUATELY SCREW ALL JOINING TIMBER MEMBERS WITH MINIMUM NUMBER OF #8 STRUCTURAL SCREWS

2 HEADER CONNECTION DETAIL



3 HEADER TOP CONNECTION DETAIL



1 FOUNDATION PLAN



Stamp:



Client:

Shashi Bhargava

15 KNOBB HILL DRIVE
PITTSFORD, NY 14534

No.	Date	By	Description

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FOUNDATION PLAN

15 KNOBB HILL

Town/City: PITTSFORD
County: MONROE State: NEW YORK

Project No.:

1013100421

Drawing No.:

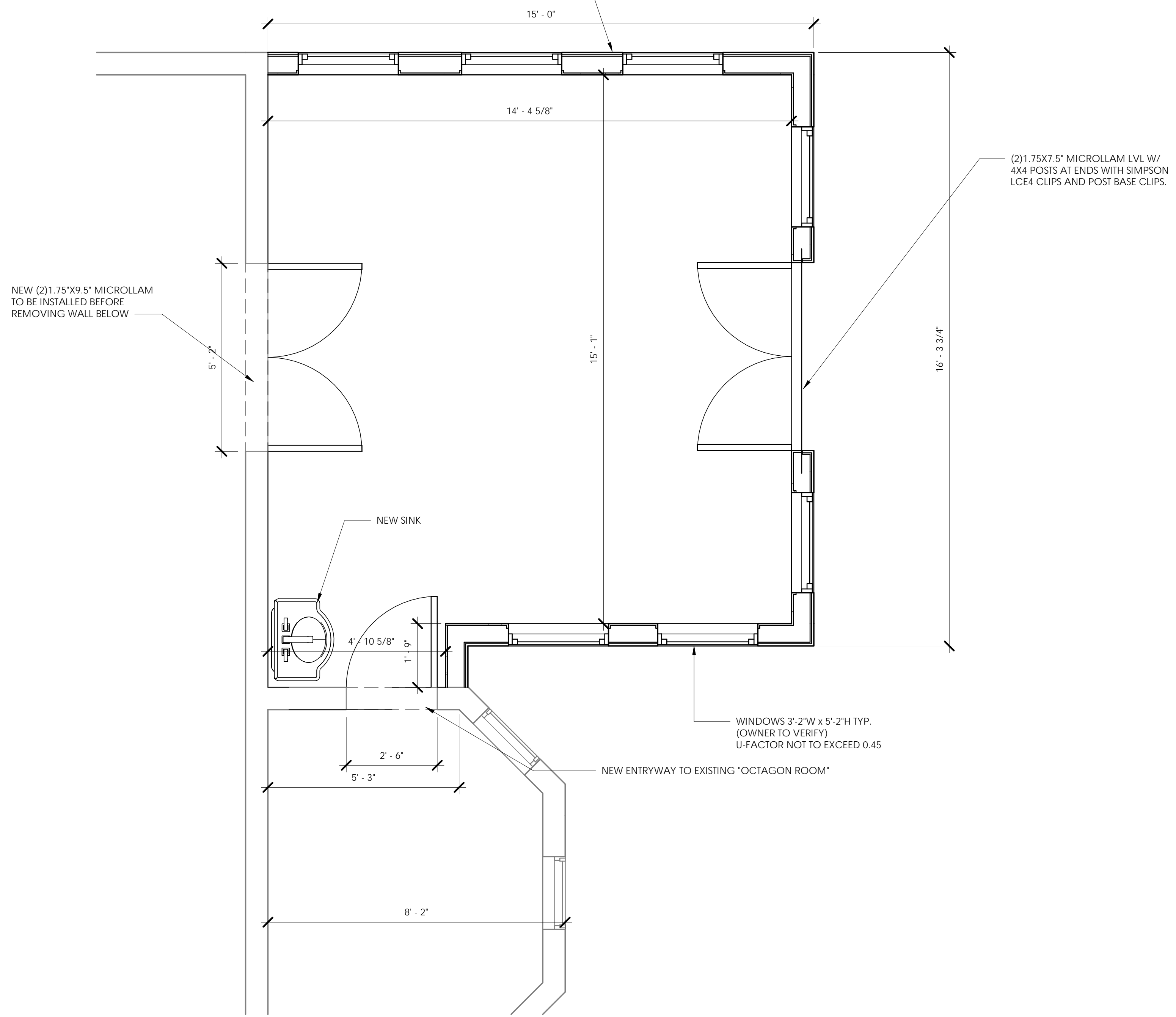
S-101

Date:

JUNE 12, 2023

FOR PERMIT

EXTERIOR WALLS TO BE 2x6 @ 16" O.C. WITH R-21 INSULATION MIN. 1/2" MIN EXTERIOR SHEATHING WITH 12" SCREW SPACING ON EDGE AND FIELD OF SHEATHING PANELS. INTERIOR TO BE 1/2" DRYWALL MIN. EXTERIOR TO BE VINYL TO MATCH EXISTING. TYP.



1 FIRST FLOOR PLAN
 0" 6" 1" 2" 4"
 1/2" = 1'-0"

FOR PERMIT



Client:
Shashi Bhargava
 15 KNOBB HILL DRIVE
 PITTSFORD, NY 14534

No.	Date	By	Description

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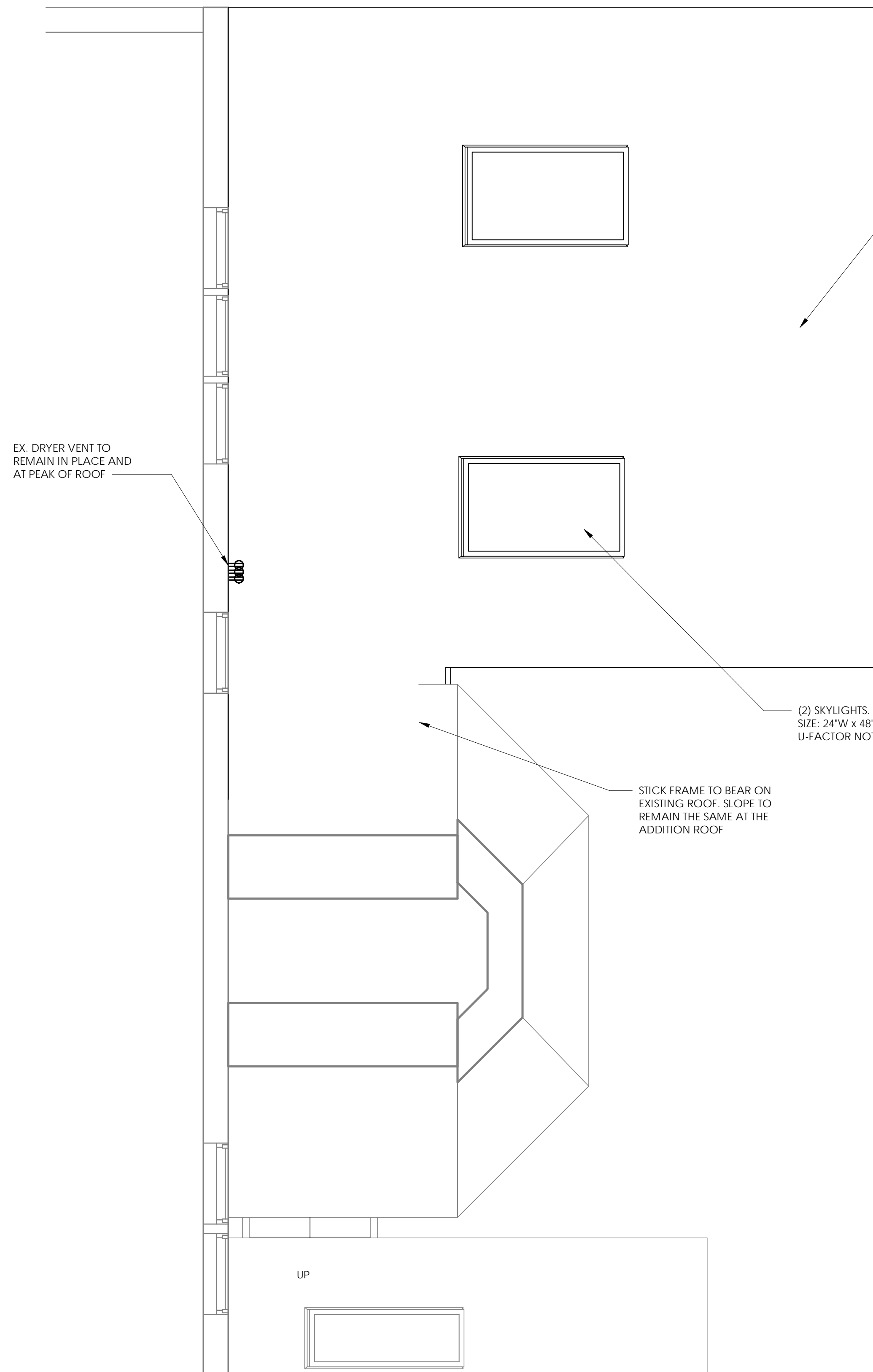
FIRST FLOOR PLAN

15 KNOBB HILL
 Town/City: PITTSFORD
 County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-102

Date: JUNE 12, 2023



ROOF FRAMING TO BE 2X10 @ 24" O.C.
 SLOPE TO MATCH ROOF SLOPE OF PATIO
 ROOF (2.75:12, V.I.F.) END BEARING ON
 EXTERIOR WALLS. NO INTERIOR LOAD
 BEARING WALLS. BLOCKING AND
 BRACING BETWEEN JOISTS TO DISTRIBUTE
 LATERAL LOADS PER ANSI/TPI 1-2014.
 SIMPSON H1 OR H2.5A CLIPS AT ALL
 JOIST END CONNECTIONS. TYP. 3/4"
 SHEATHING WITH WEATHERSEILD AND
 SHINGLES TO MATCH EXISTING.
 COORDINATE WITH OWNER.

EX. DRYER VENT TO
 REMAIN IN PLACE AND
 AT PEAK OF ROOF

(2) SKYLIGHTS. COORDINATE LOCATION WITH OWNER.
 SIZE: 24"W x 48"H TYP.
 U-FACTOR NOT TO EXCEED 0.70

STICK FRAME TO BEAR ON
 EXISTING ROOF. SLOPE TO
 REMAIN THE SAME AT THE
 ADDITION ROOF

UP

1 ROOF PLAN
 0" 6" 1" 2" 4"
 1/2" = 1'-0"

SEE S-101 FOR GENERAL NOTES

FOR PERMIT

Stamp:



Client:
Shashi Bhargava

15 KNOBB HILL DRIVE
 PITTSFORD, NY 14534

No.	Date	By	Description

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ROOF PLAN

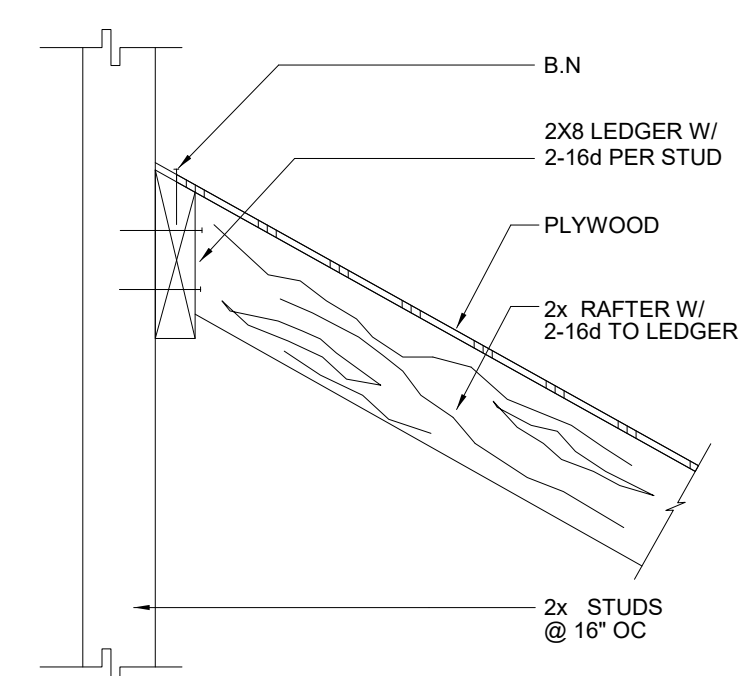
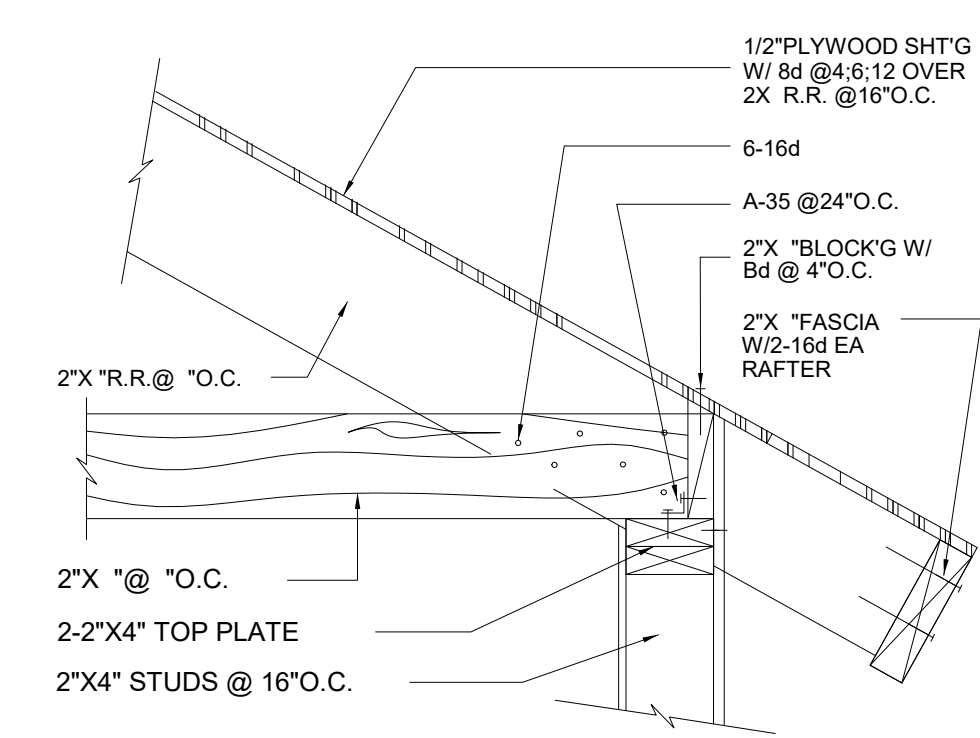
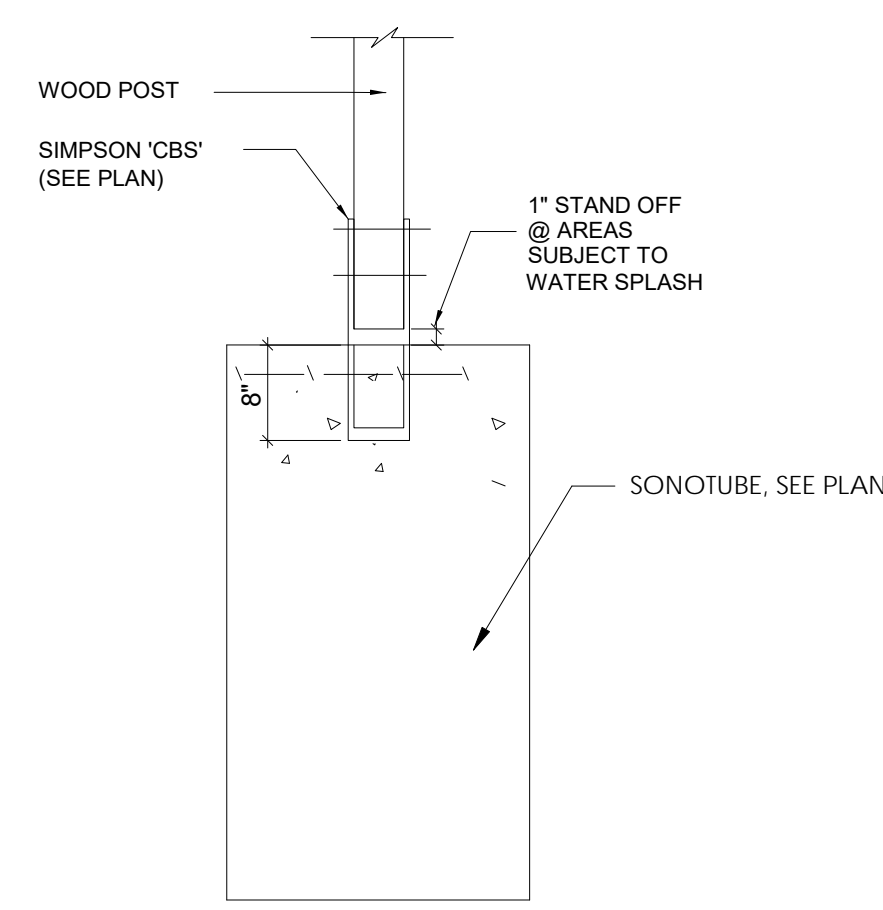
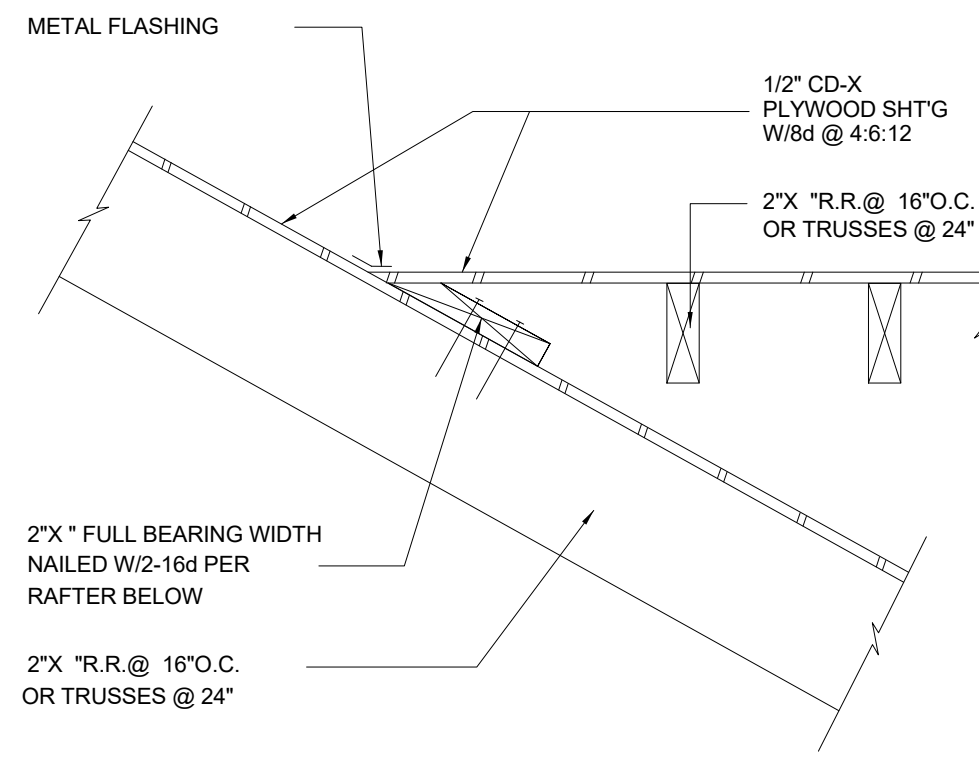
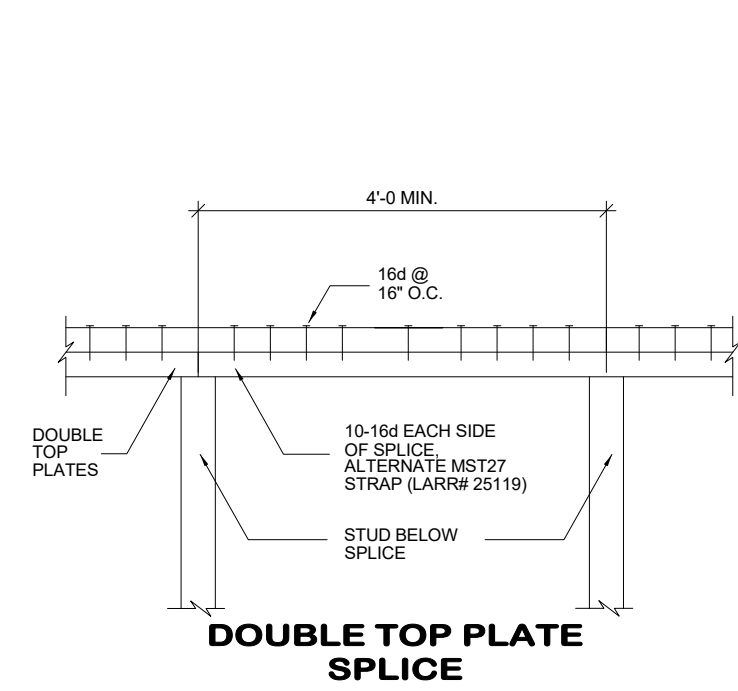
15 KNOBB HILL

Town/City: PITTSFORD
 County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-103

Date: JUNE 12, 2023



1 WOOD ROOF TYPICAL DETAILS
 0' 1' 2' 4' 8'
 1/4" = 1'-0"

Stamp:



Client:
Shashi Bhargava

15 KNOBB HILL DRIVE
 PITTSFORD, NY 14534

No.	Date	By	Description

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TYPICAL DETAILS

15 KNOBB HILL
 Town/City: PITTSFORD State: NEW YORK
 County: MONROE

Project No.:
 1013100421

Drawing No.:
 S-105

Date:
 JUNE 12, 2023

FOR PERMIT



1 SIDE ELEVATION VIEW
 0' 1' 2' 4' 8'
 3/4" = 1'-0"

Stamp:

Client:
Shashi Bhargava
 15 KNOBB HILL DRIVE
 PITTSFORD, NY 14534

No.	Date	By	Description

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SIDE ELEVATION VIEW

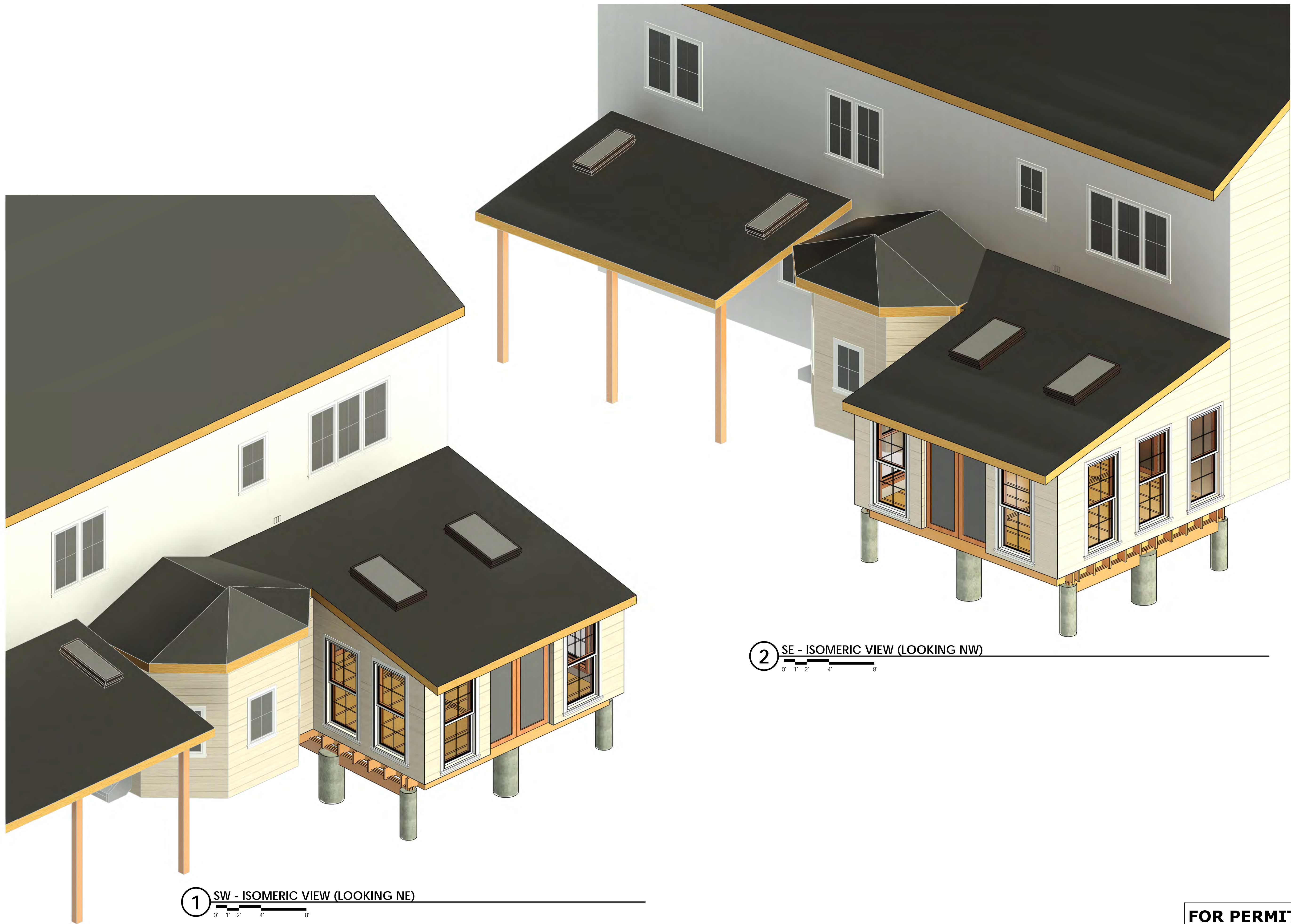
15 KNOBB HILL
 Town/City: PITTSFORD
 County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-201

Date: JUNE 14, 2023

FOR PERMIT



1 SW - ISOMERIC VIEW (LOOKING NE)



2 SE - ISOMERIC VIEW (LOOKING NW)



Stamp:

Client:
Shashi Bhargava
 15 KNOBB HILL DRIVE
 PITTSFORD, NY 14534

No.	Date	By	Description

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ISOMETRIC VIEWS

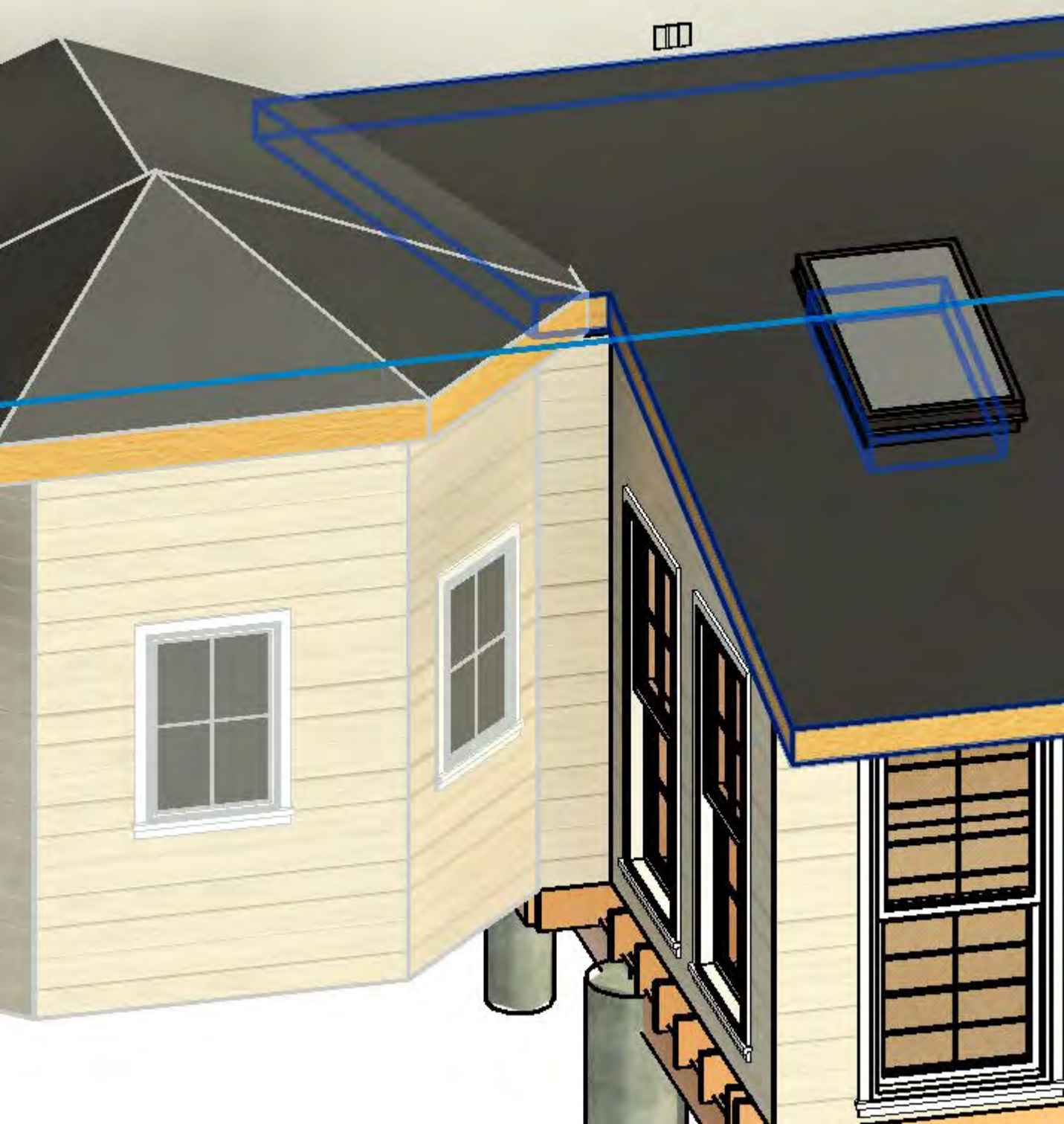
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 Town/City: PITTSFORD
 County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-ISO

Date: JUNE 14, 2023

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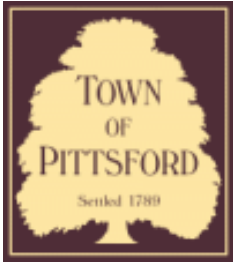












Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000071

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 215 West Brook Road PITTSFORD, NY 14534

Tax ID Number: 150.20-2-11

Zoning District: RN Residential Neighborhood

Owner: Vinci, David J

Applicant: Ken Horan Remodeling

Application Type:

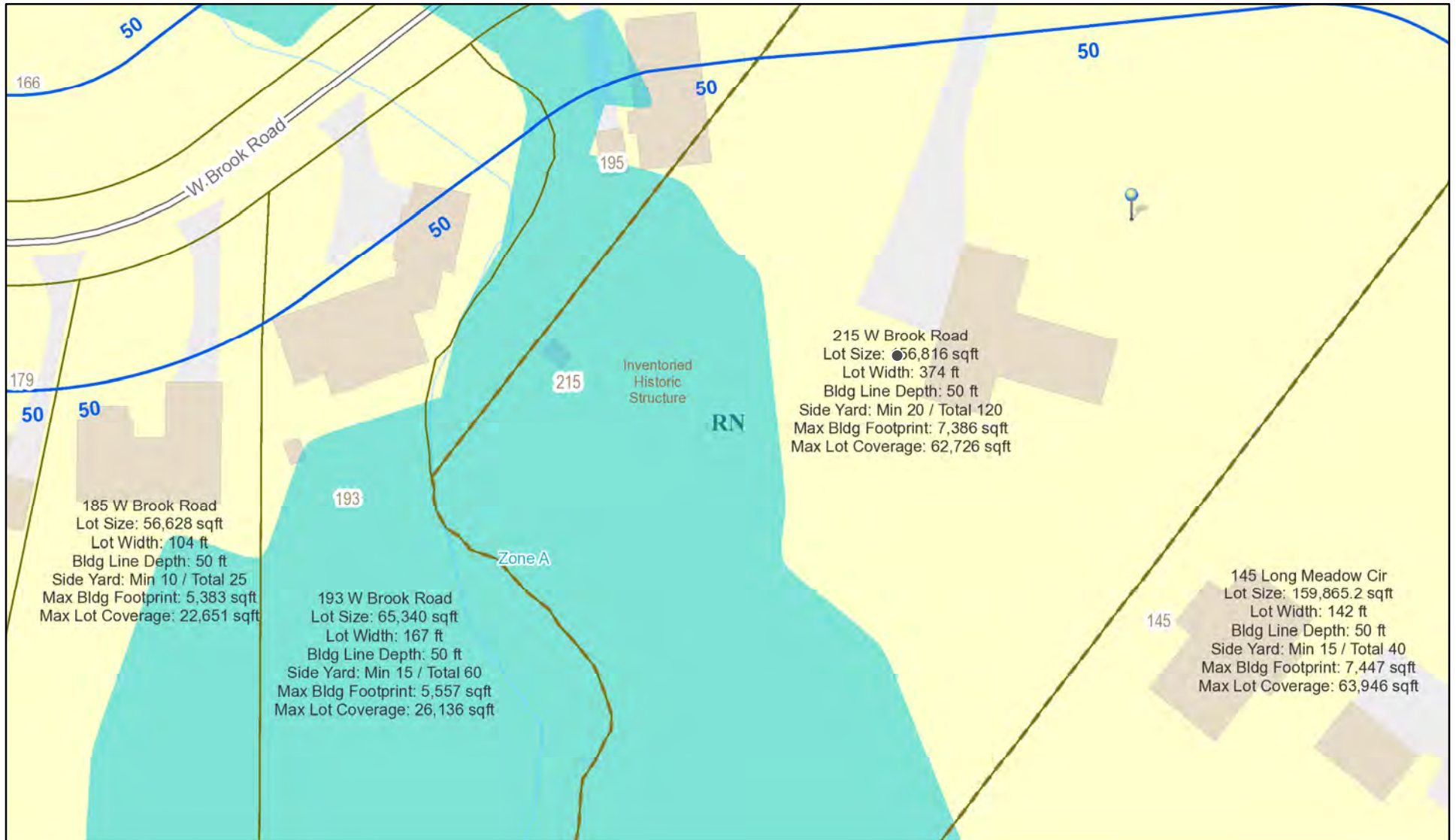
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting a returning design review for the addition of a 960 SF garage connected to side of house.

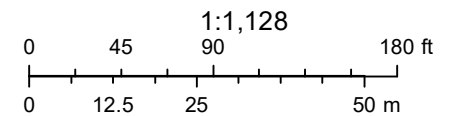
Meeting Date: June 22, 2023



RN Residential Neighborhood Zoning



Printed June 1, 2023



Town of Pittsford GIS

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04/03/2021

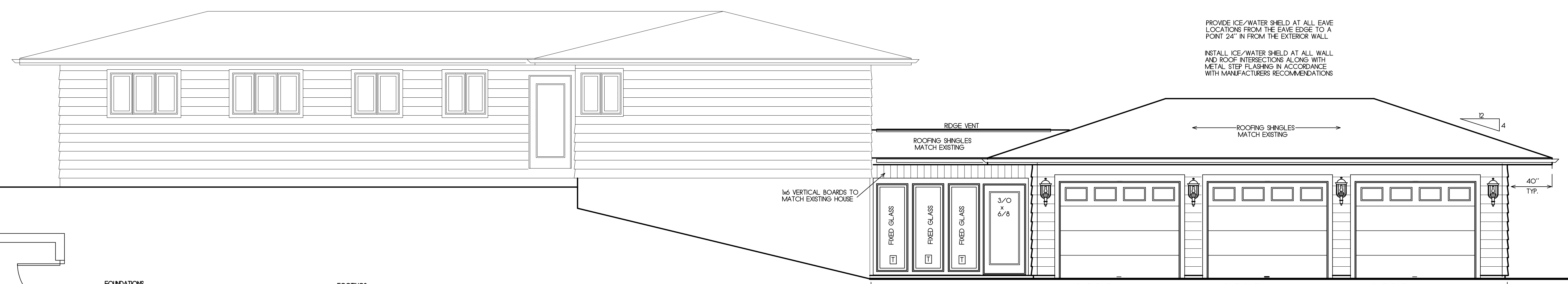
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REVISIONS	No.	DATE	DESCRIPTION

JOB NO. # 215

A-1

JUNE 5, 2023



PROVIDE ICE/WATER SHIELD AT ALL EAVE LOCATIONS FROM THE EAVE EDGE TO A POINT 24" IN FROM THE EXTERIOR WALL.
 INSTALL ICE/WATER SHIELD AT ALL WALL AND ROOF INTERSECTIONS ALONG WITH METAL STEP FLASHING IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS

Breezeway Addition 12'-0"
Garage Addition 35'-4"

Front Elevation
 1/4"=1'-0"

□ DENOTES TEMPERED GLASS PER R308 OF THE NEW YORK STATE CODE

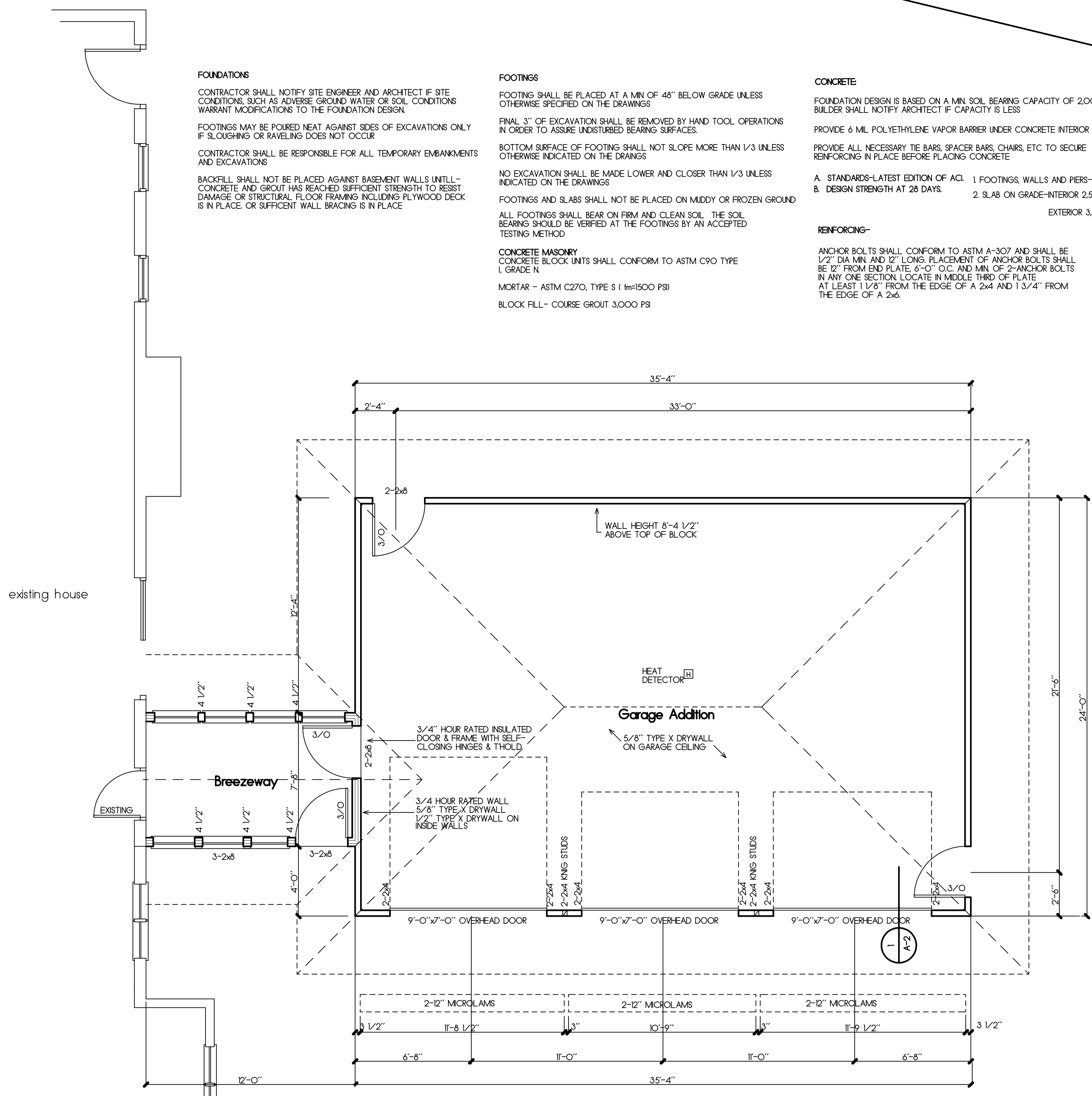
FOUNDATIONS
 CONTRACTOR SHALL NOTIFY SITE ENGINEER AND ARCHITECT IF SITE CONDITIONS SUCH AS ADVERSE GROUND WATER OR SOIL CONDITIONS WARRANT MODIFICATIONS TO THE FOUNDATION DESIGN.
 FOOTINGS MAY BE POURED NEAT AGAINST SIDES OF EXCAVATIONS ONLY IF SLOUGHING OR RAVELING DOES NOT OCCUR.
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
 BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL CONCRETE AND GROUT HAS REACHED SUFFICIENT STRENGTH TO RESIST DAMAGE OR STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD DECK IS IN PLACE. OR SUFFICIENT WALL BRACING IS IN PLACE.

FOOTINGS
 FOOTING SHALL BE PLACED AT A MIN OF 48" BELOW GRADE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
 FINAL 3" OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACES.
 BOTTOM SURFACE OF FOOTING SHALL NOT SLOPE MORE THAN 1/3 UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 NO EXCAVATION SHALL BE MADE LOWER AND CLOSER THAN 1/3 UNLESS INDICATED ON THE DRAWINGS.
 FOOTINGS AND SLABS SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND.
 ALL FOOTINGS SHALL BEAR ON FIRM AND CLEAN SOIL. THE SOIL BEARING SHOULD BE VERIFIED AT THE FOOTINGS BY AN ACCEPTED TESTING METHOD.

CONCRETE
 FOUNDATION DESIGN IS BASED ON A MIN. SOIL BEARING CAPACITY OF 2,000 PSF. BUILDER SHALL NOTIFY ARCHITECT IF CAPACITY IS LESS.
 PROVIDE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER CONCRETE INTERIOR SLABS.
 PROVIDE ALL NECESSARY TIE BARS, SPACER BARS, CHAIRS, ETC TO SECURE REINFORCING IN PLACE BEFORE PLACING CONCRETE.
 A. STANDARDS-LATEST EDITION OF ACI. 1. FOOTINGS, WALLS AND PIERS-3,000 PSI
 B. DESIGN STRENGTH AT 28 DAYS. 2. SLAB ON GRADE-INTERIOR 2,500 PSI EXTERIOR 3,500 PSI

REINFORCING-
 ANCHOR BOLTS SHALL CONFORM TO ASTM A-307 AND SHALL BE 1/2" DIA MIN AND 12" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM END PLATE, 6'-0" O.C. AND MIN. OF 2-ANCHOR BOLTS IN ANY ONE SECTION LOCATE IN MIDDLE THIRD OF PLATE AT LEAST 1 1/4" FROM THE EDGE OF A 2x4 AND 1 3/4" FROM THE EDGE OF A 2x6.

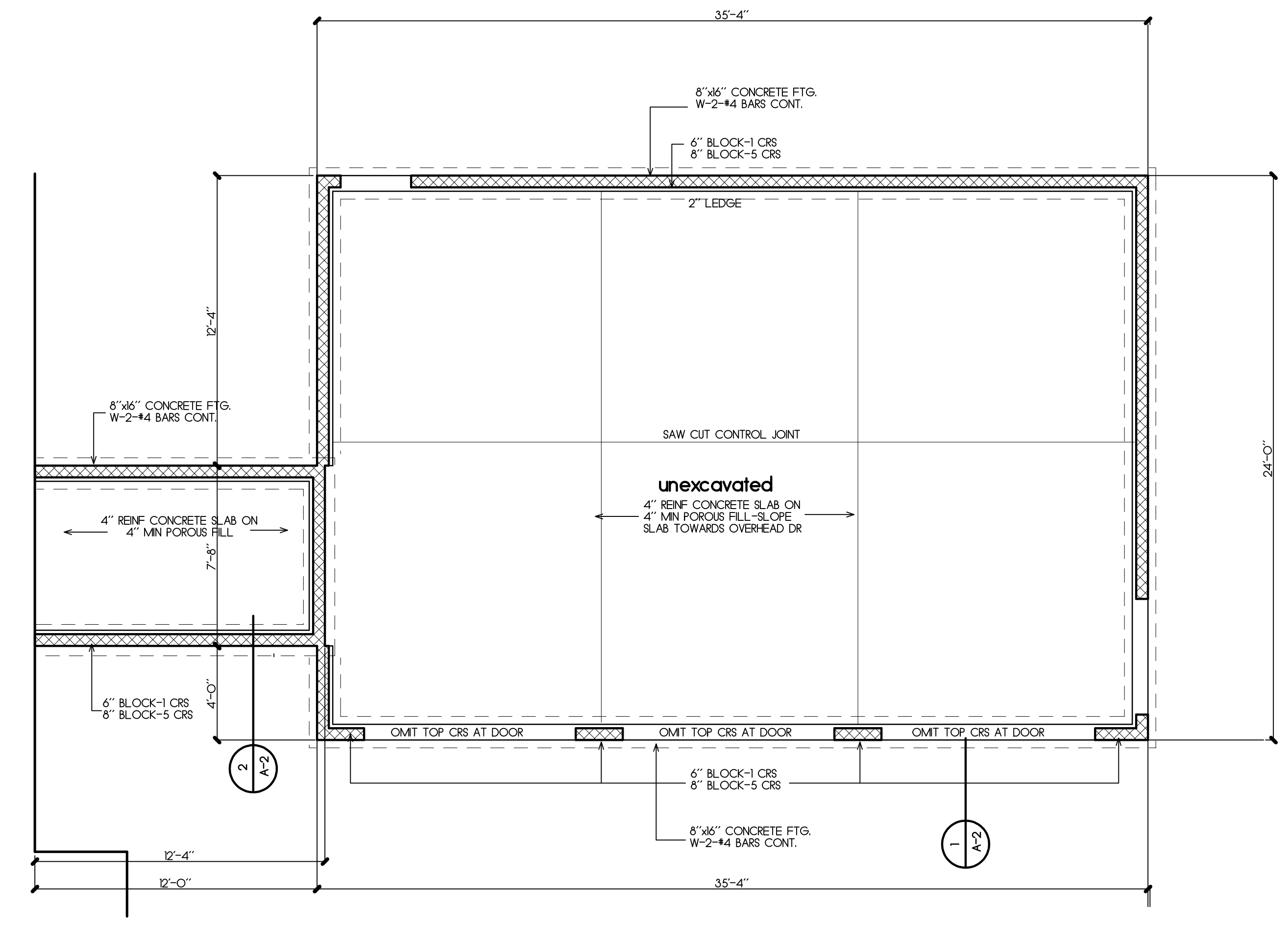
CONCRETE MASONRY
 CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90 TYPE I, GRADE N.
 MORTAR - ASTM C270, TYPE S (fm=1500 PSI)
 BLOCK FILL - COURSE GROUT 3,000 PSI



First Floor Plan
 1/4"=1'-0"

WALL LEGEND
 2x6 FRAMING @ 16" O.C.
 2x4 FRAMING @ 16" O.C.

ALL NEW ELECTRICAL WORK SHALL COMPLY WITH PART VIII OF THE RESIDENTIAL CODE OF NEW YORK STATE. PROVIDE TOWN OFFICE WITH FINAL ELECTRICAL INSPECTION APPROVAL.

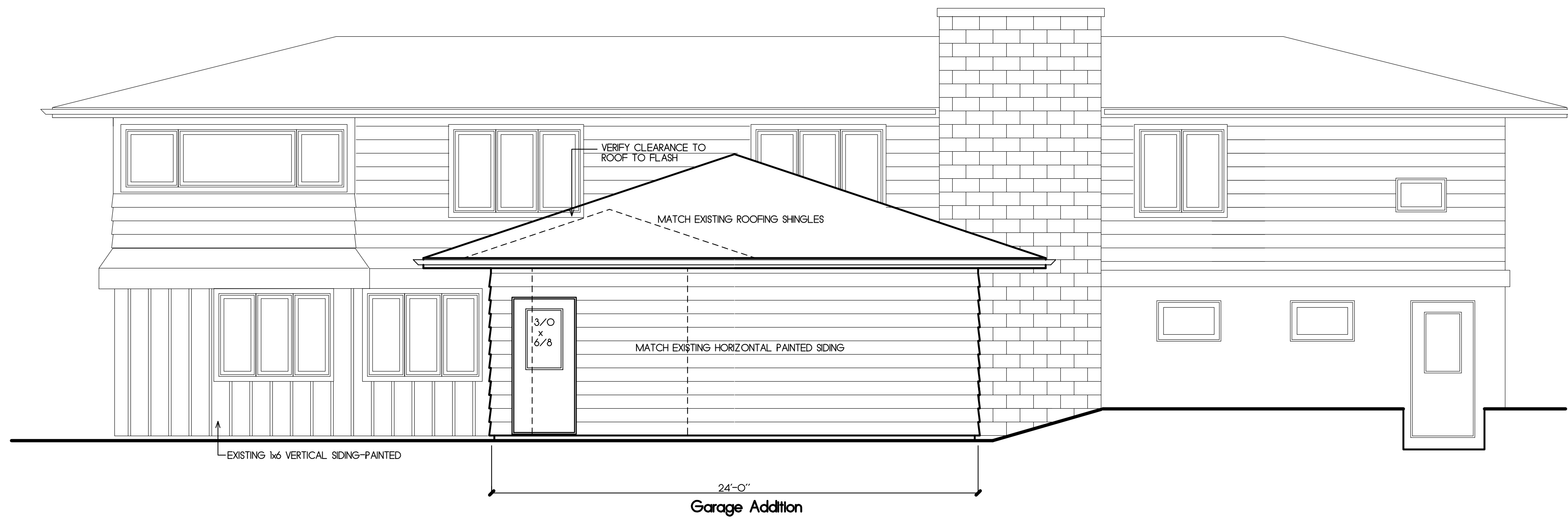


Foundation Plan
 1/4"=1'-0"

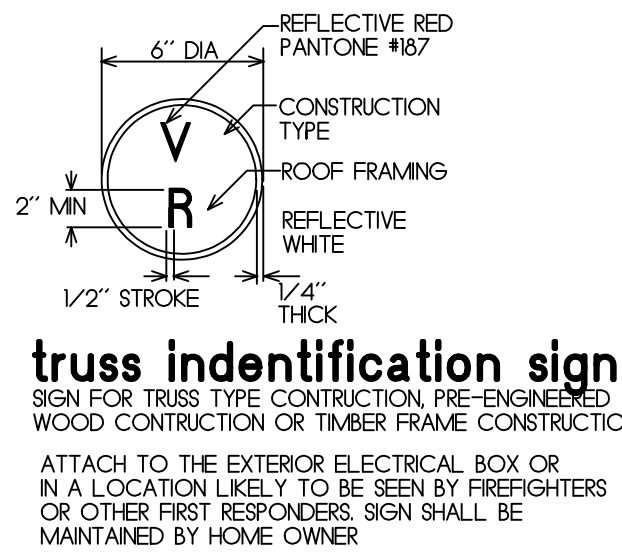
ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE APPROVED PRESSURE TREATED WOOD SUITABLE FOR GROUND CONTACT USE

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

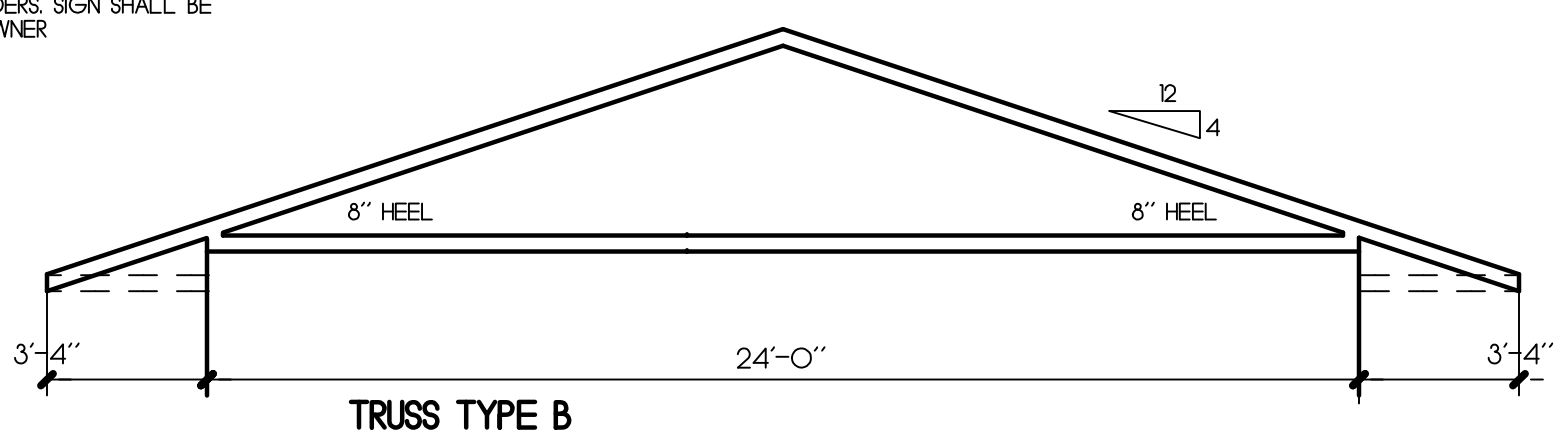
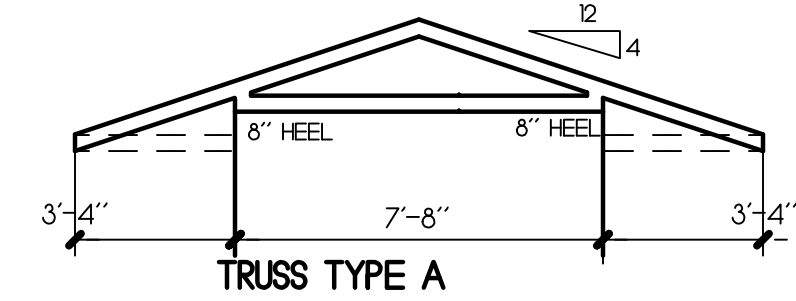
GROUND SNOW LOAD	WIND SPEED MPH	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	SSS/MC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQD.	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
						WEATHERING	FROST LINE DEPTH	TERMITES	DECAY					
40	115				B	SEVERE	48"	NONE-SLIGHT	NONE-SLIGHT	1	YES			



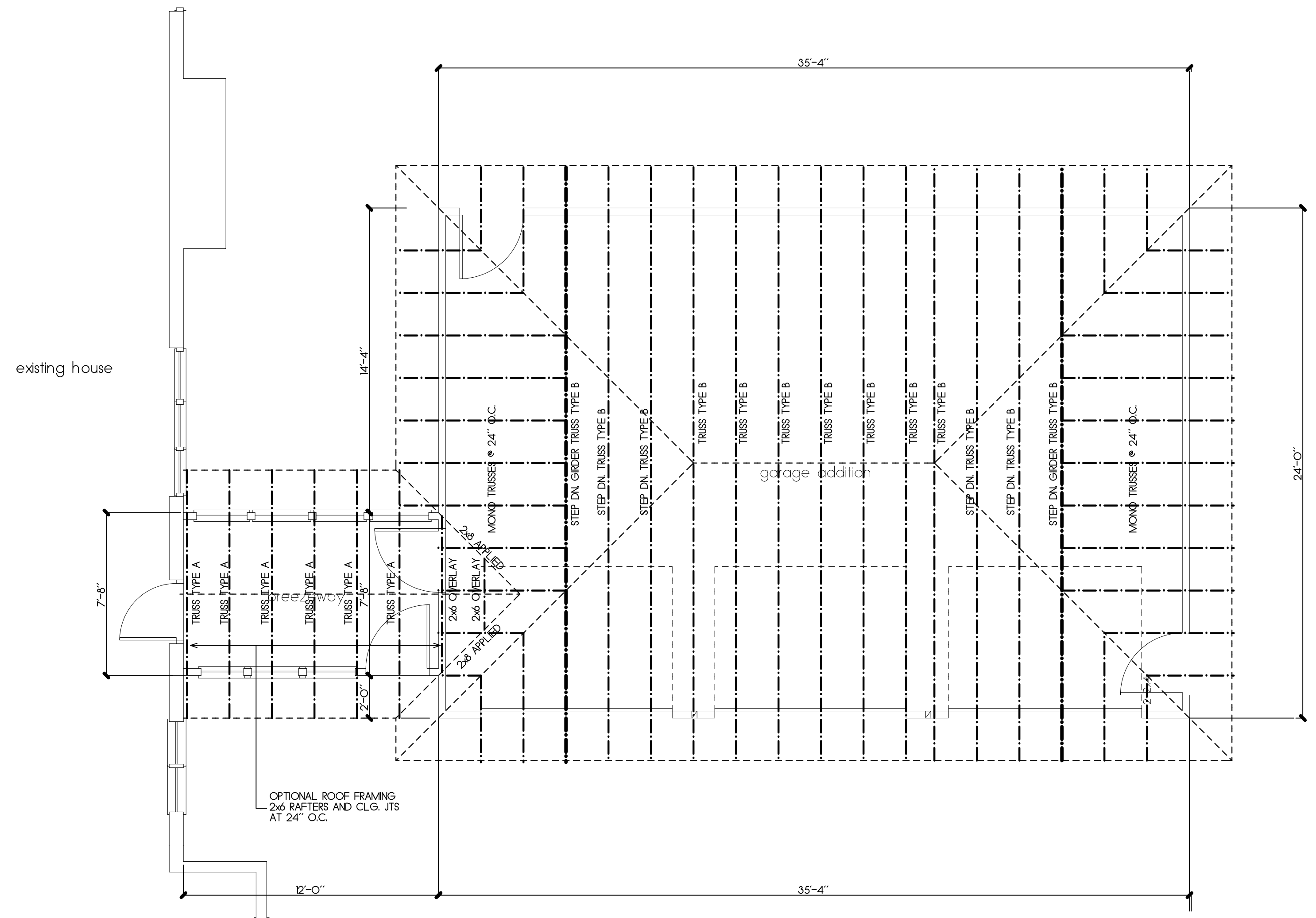
Side Elevation-R
1/4"=1'-0"



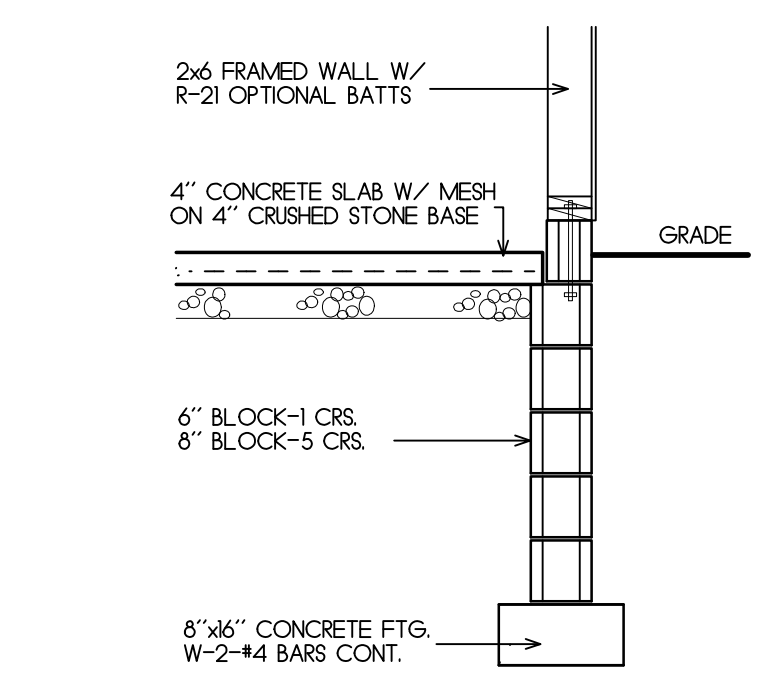
truss identification sign
SIGN FOR TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION OR TIMBER FRAME CONSTRUCTION
ATTACH TO THE EXTERIOR ELECTRICAL BOX OR IN A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS. SIGN SHALL BE MAINTAINED BY HOME OWNER



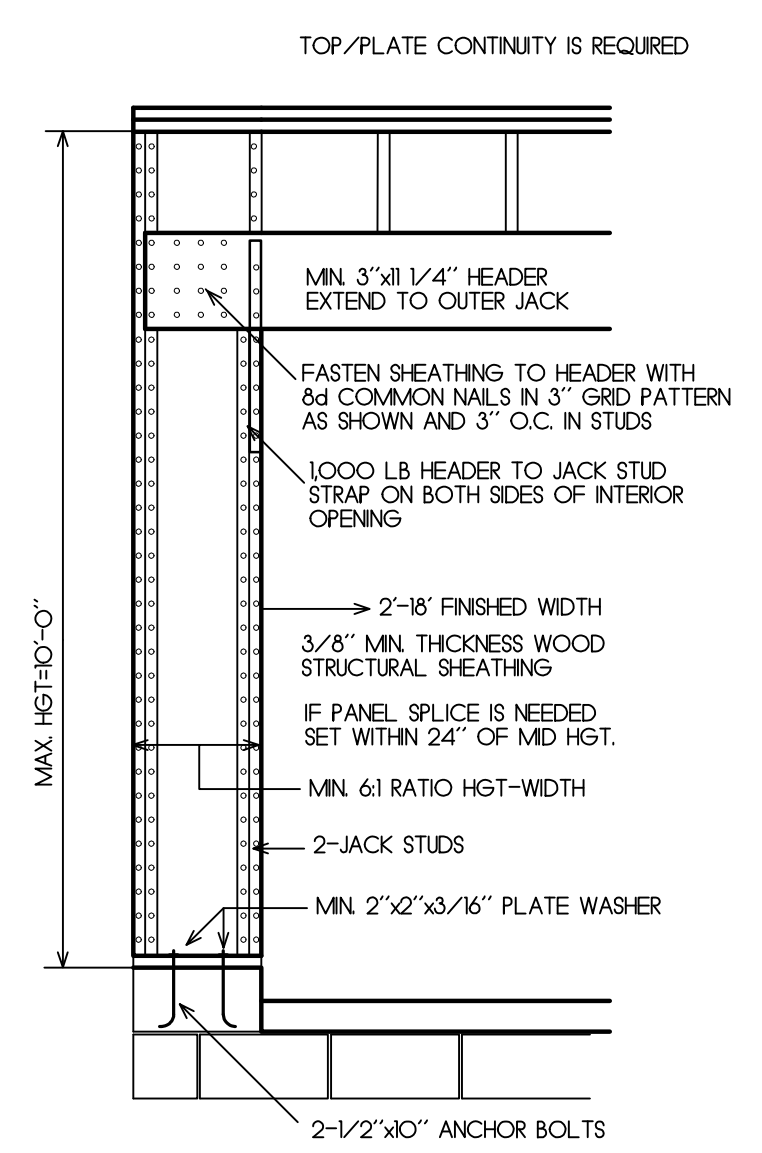
MANUFACTURER STAMPED TRUSS DRAWINGS SHALL BE SUBMITTED TO THE BLDG. DEPARTMENT
PROVIDE SIMPSON H2.5 TRUSS TIE DOWNS FOR 400 LB MIN UPLIFT CAPACITY



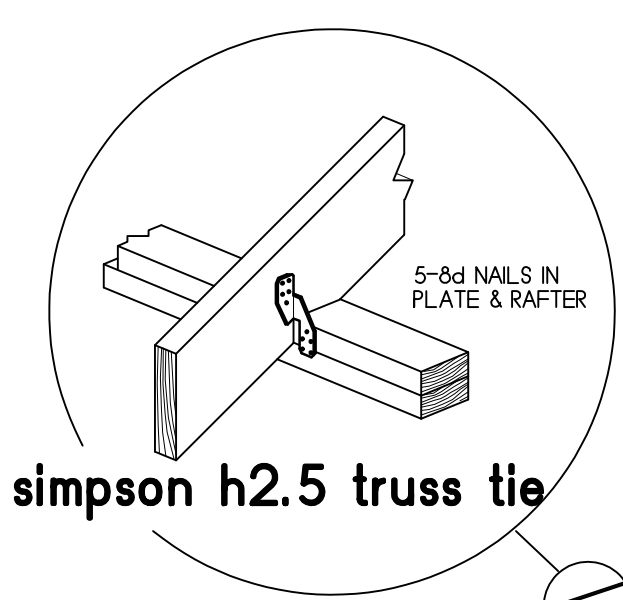
Roof Framing Plan
1/4"=1'-0"



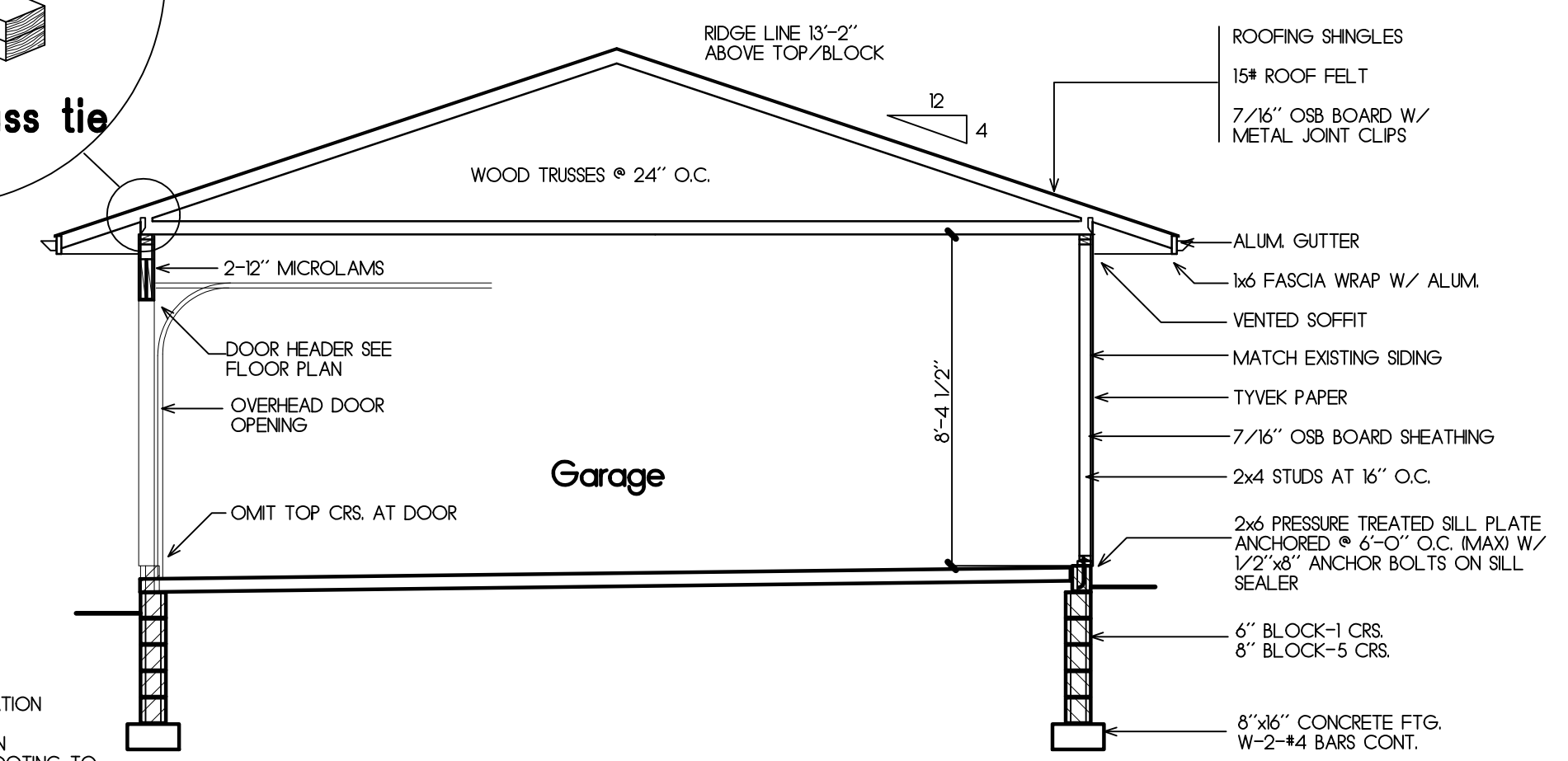
Section 2
1/2"=1'-0"



garage portal wall
INTERIOR VIEW



simpson h2.5 truss tie



Cross Section 1
1/4"=1'-0"

ALTERNATE FOUNDATION
6" BLOCK-1 CRS.
8" BLOCK-5 CRS. ON
12" WIDE TRENCH FOOTING TO
48" BELOW GRADE MIN.

REVISIONS	DATE	DESCRIPTION
No.		

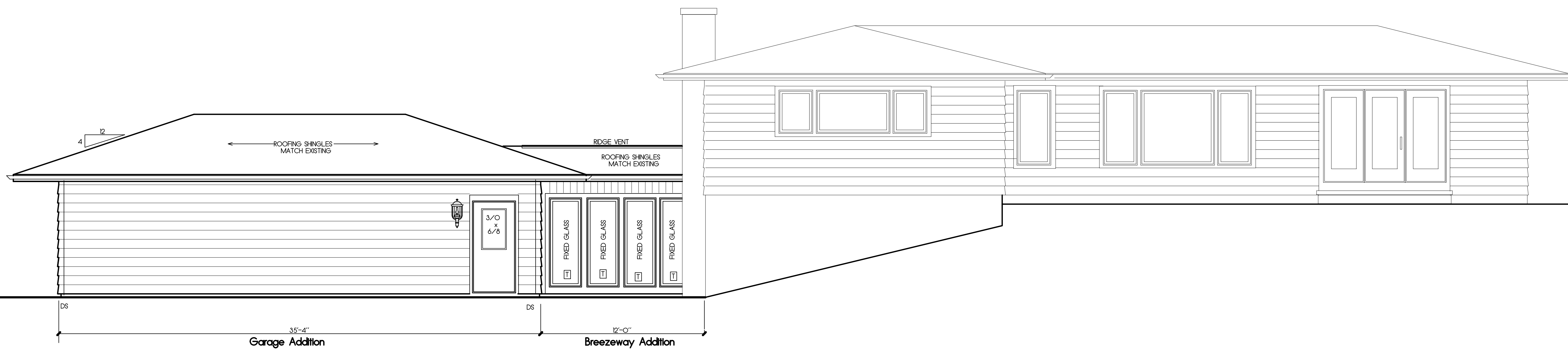
JOB NO. # 215

A-2

JUNE 5, 2023

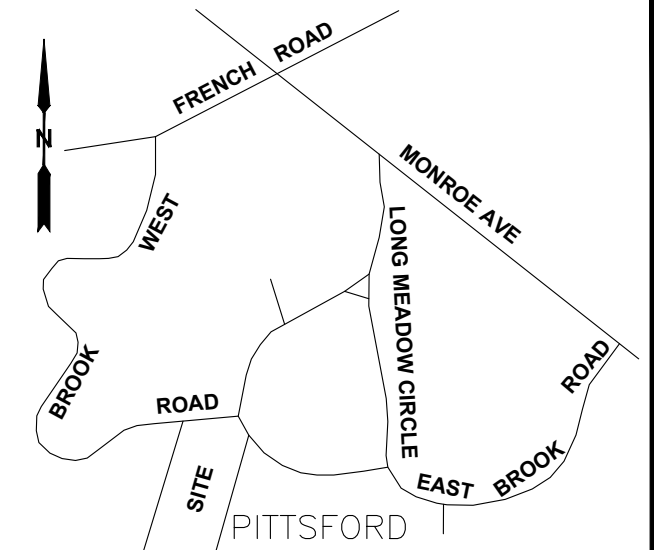
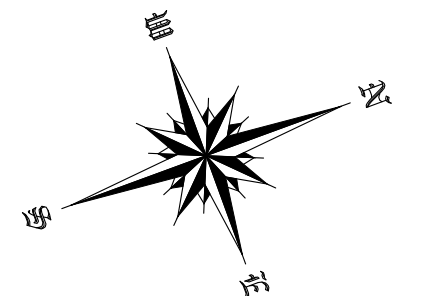
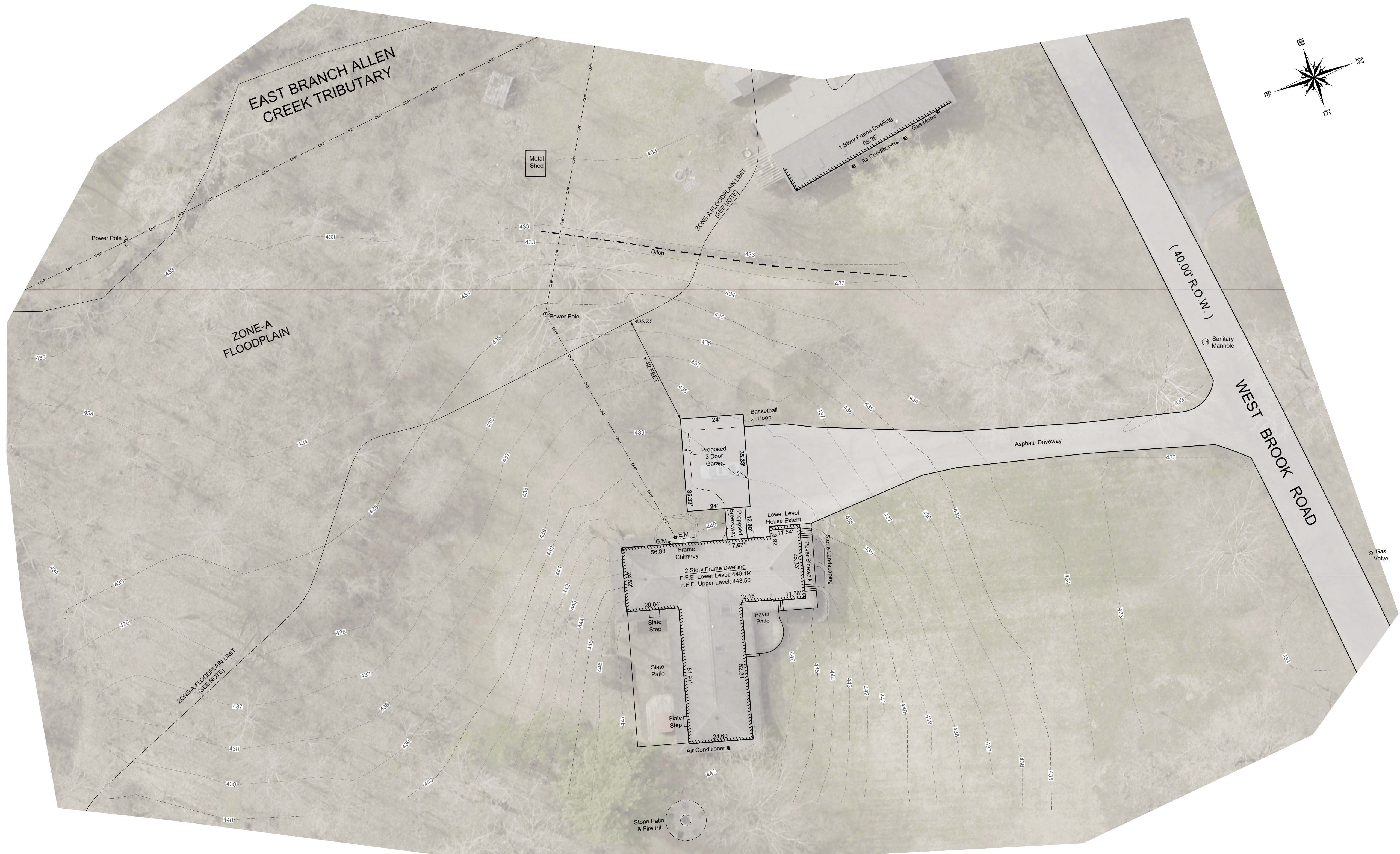


Side Elevation-L
1/4"=1'-0"



Rear Elevation
1/4"=1'-0"

REVISIONS	DATE	DESCRIPTION
No.		



DATE: _____ REVISIONS: _____ BY: _____



DRAWING ALTERATION
 THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING:
 "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED. THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE WORDING "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

McMahon LaRue Associates, P. C.
 ENGINEERS AND SURVEYORS

822 HOLT ROAD
 WEBSTER, NY 14580
 (585)-436-1080
 WWW.MCMAHON-LARUE.COM

CLIENT:
 KEN HORAN REMODELING
 275 EAST STREET
 PITTSFORD, NY 14534

PROJECT:
215 WEST BROOK ROAD
 PITTSFORD, NEW YORK

DRAWING:
FLOODPLAIN LIMIT TOPOGRAPHIC SURVEY

PART OF TOWN LOT 61
 TOWNSHIP 12 - RANGE 5
 PHELPS AND GORHAM PURCHASE
 TOWN OF PITTSFORD, MONROE COUNTY
 STATE OF NEW YORK

DESIGNED BY:	ADB
DRAWN BY:	ADB
CHECKED BY:	BJW
SBL #:	150.20-2-11
PROJ. NO.:	2023-057
DATE:	JUNE 15, 2023
SCALE:	1 INCH = 20 FEET
SHEET OF	1 OF 1
CADD FILE:	2023-057Base

SURVEY CONTROL NOTES:
 -ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988, GEOID MODEL 2018. (U.S. SURVEY FEET)
 -DISTANCES ARE SHOWN AT GROUND
 -NORTH ARROW REFERENCED TO GRID NORTH
 ELEVATIONS WERE OBTAINED FROM GNSS RECEIVERS CONNECTED TO THE NYS-CORS NETWORK AND VERIFIED THROUGH O.P.U.S. POST-PROCESSED STATIC OBSERVATIONS.

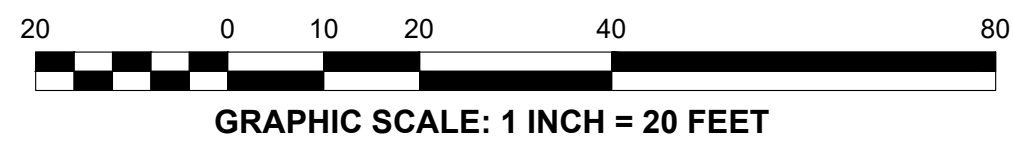
FLOODPLAIN:
 A PORTION OF THE SURVEYED LANDS FALL WITHIN A REGULATED SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 36055C0356G, COMMUNITY NO. 360429, HAVING AN EFFECTIVE DATE OF AUGUST 28, 2008. THIS FLOODPLAIN IS DESIGNATED AS ZONE "A".
 FLOODING SOURCE: EAST BRANCH ALLEN CREEK TRIBUTARY
 FLOODING ELEVATION: UNDETERMINED (ZONE-A)
 THE FLOODPLAIN LIMIT LINE WAS ESTABLISHED FROM GIS DATA PROVIDED THROUGH THE FEMA MAP SERVICE CENTER. THE DATA WAS PROJECTED ONTO THE NAD 1983 DATUM AND CHECKED AGAINST AERIAL PHOTOGRAPHY FOR ACCURACY. WE FOUND NO DISCREPANCIES BETWEEN THE DATA SETS FOR THIS AREA.

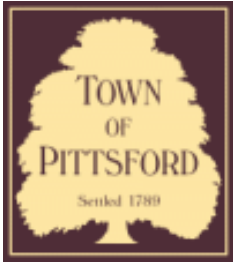
ABSTRACT OF TITLE:
 THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED ABSTRACT OF TITLE MAY SHOW.

MAP INTENT:
 THE INTENT OF THIS MAP IS TO DEPICT THE GRAPHICAL RELATIONSHIP BETWEEN THE MAPPED ZONE-A FLOODPLAIN AND PROPOSED ADDITION. NO PROPERTY LINE DETERMINATIONS WERE MADE AS A PART OF THIS SURVEY.

CERTIFICATION:
 I HEREBY CERTIFY TO THE PARTIES LISTED HERE UNDER THAT THIS MAP WAS MADE USING THE REFERENCE MATERIAL LISTED HEREON AND THE NOTES OF AN INSTRUMENT SURVEY PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS COMPLETED ON JUNE 8, 2023.
 - KEN HORAN

Bryan J. White
 Bryan J. White, N.Y.S.P.L.S. #051139





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000075

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2 Charter Oaks Drive PITTSFORD, NY 14534

Tax ID Number: 178.06-3-60

Zoning District: RN Residential Neighborhood

Owner: Wong, Grace C RevTrus

Applicant: Bridgewood Design & Consulting

Application Type:

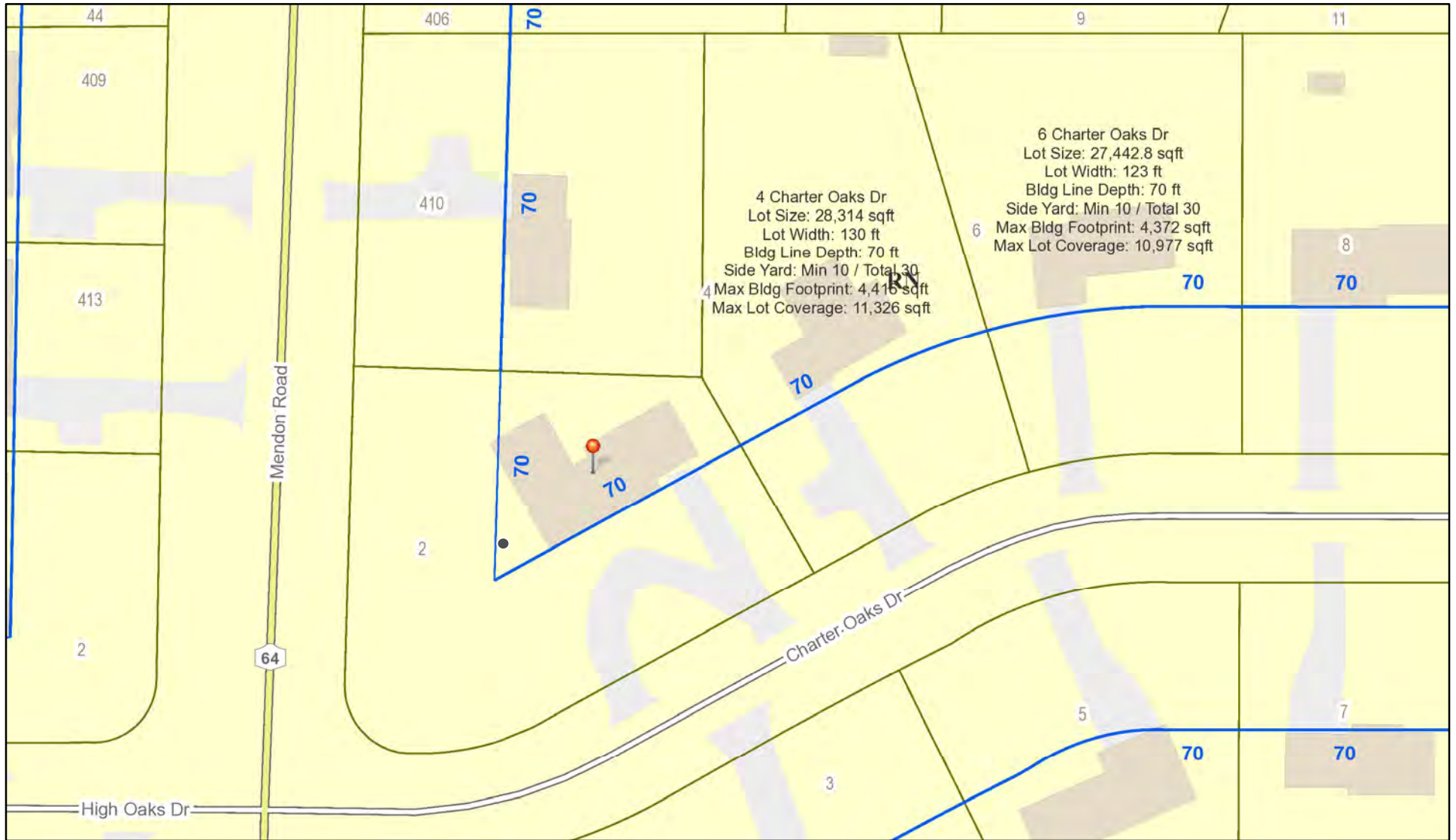
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for a 124 square foot front porch addition and a 284 square foot garage addition to the east side of the house.

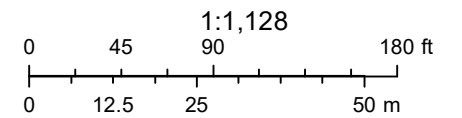
Meeting Date: June 22, 2023



RN Residential Neighborhood Zoning



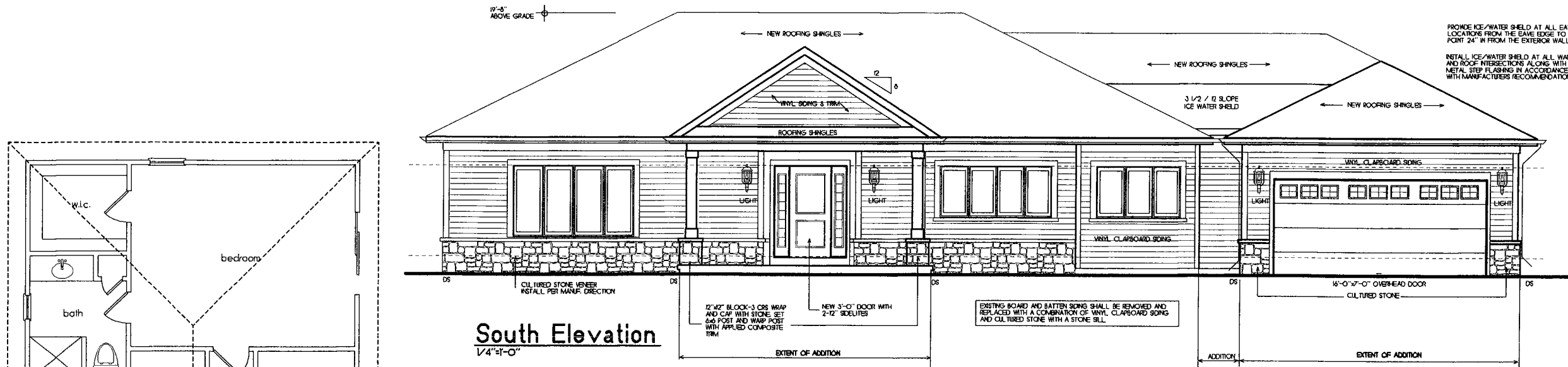
Printed June 12, 2023



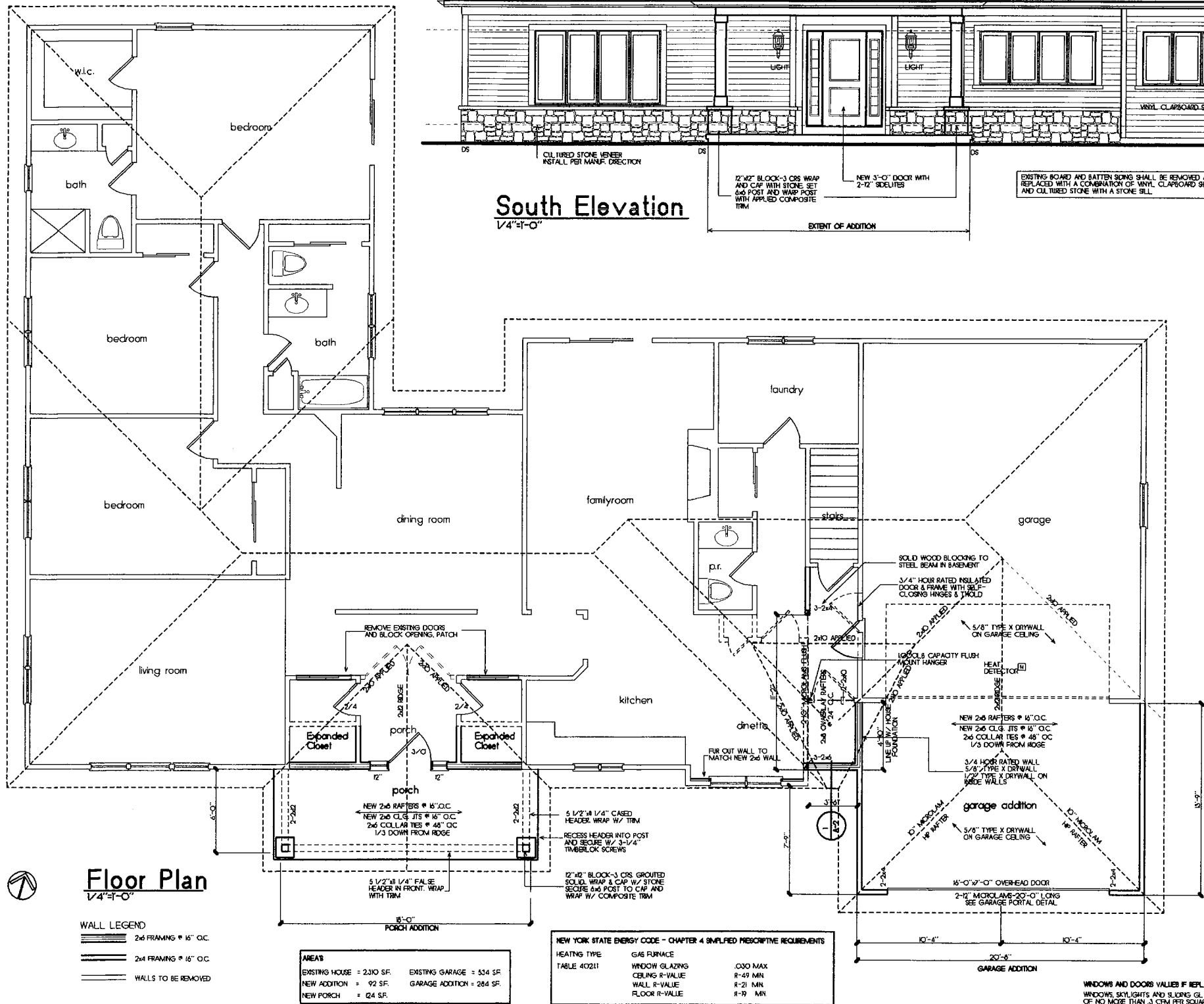
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





South Elevation
1/4"=1'-0"



Floor Plan
1/4"=1'-0"

WALL LEGEND

(Line style)	2x4 FRAMING @ 16" O.C.
(Line style)	2x4 FRAMING @ 16" O.C.
(Line style)	WALLS TO BE REMOVED

AREAS

EXISTING HOUSE	= 2,130 SF.	EXISTING GARAGE	= 534 SF.
NEW ADDITION	= 92 SF.	GARAGE ADDITION	= 284 SF.
NEW PORCH	= 24 SF.		

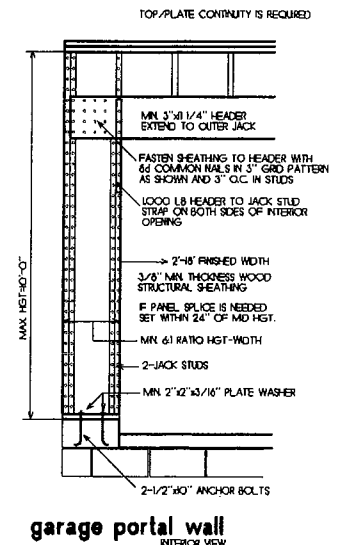
NEW YORK STATE ENERGY CODE - CHAPTER 4 SIMPLIFIED PRESCRIPTIVE REQUIREMENTS

HEATING TYPE	GAS FURNACE		
TABLE 402.11	WINDOW GLAZING	U-0.30 MAX	
	CEILING R-VALUE	R-49 MIN	
	WALL R-VALUE	R-21 MIN	
	FLOOR R-VALUE	R-19 MIN	

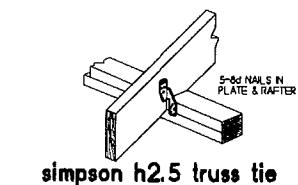
CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED MPH	WIND TOPO EFFECTS	SPECIAL WIND REGION	WIND Borne DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHELD (RESULY- NENT REQD.)	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
						WEATHERING	FRONT LINE DEPTH	TERMIT	DECAY					
40	15				5	SEVERE	45"	NOX- 3.5(1)	SLIGHT	1	YES			

NYS ENERGY COMPLIANCE NOTE
THIS HOUSE COMPLIES WITH THE NEW YORK STATE ENERGY CODE EFFECTIVE 2020. PLEASE REFER TO ATTACHED CALCULATIONS FOR COMPLIANCE INFORMATION.



garage portal wall
INTERIOR VIEW



simpson h2.5 truss tie

GENERAL NOTES

- ALL NEW ELECTRICAL WORK SHALL COMPLY WITH PART VII OF THE RESIDENTIAL CODE OF NEW YORK STATE PRIOR TO TOWN OFFICE WITH FINAL ELECTRICAL INSPECTION APPROVAL.
- IN ALL FRAMED WALLS FLOORS AND ROOF/CEILING COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION.
- INSULATION ON CRAWL WALLS SHALL BE COVERED WITH GYPSUM BOARD OR HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450.
- FLASHING SHALL BE INSTALLED IN THE FOLLOWING AREAS: TOP OF EXTERIOR WINDOWS AND DOORS, CHIMNEYS UNDER AND AT END OF MASONRY, WOOD, METAL, COPINGS AND SILLS, AND WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL ASSEMBLY.
- VINYL SIDING UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER'S INSTRUCTIONS SHALL BE FASTENED TO A MIN 1 1/2" NAILABLE SUBSTRATE WITH A 120-MESH SHANK DA WITH A 3/8" HEAD OR A 16-GAUGE STAPLE WITH A 3/8"-1/2" CROWN SPACING SHALL BE 16".
- PROMOTE INTERCONNECTED HEAT DETECTOR IN GARAGE PER SECTION R314.2.3 OF THE NEW YORK STATE BLDG CODE 2020.
- ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE APPROVED PRESSURE TREATED WOOD SUITABLE FOR GROUND CONTACT USE.

ALA architects
ROOSEVELT UNIVERSITY
ALABAMA ARCHITECTURE
245 EAST AVENUE
1989 704-7937

PROPOSED RENOVATION FOR
#2 CHARTER OAKS DR
TOWN OF PITTSFORD, NEW YORK

REVISIONS

NO.	DATE	DESCRIPTION

JOB NO. 52 CCD
A-1
MAR 20, 2023

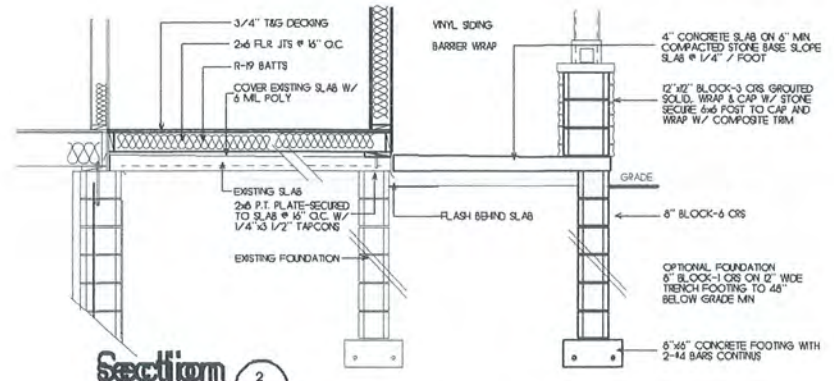


West Elevation

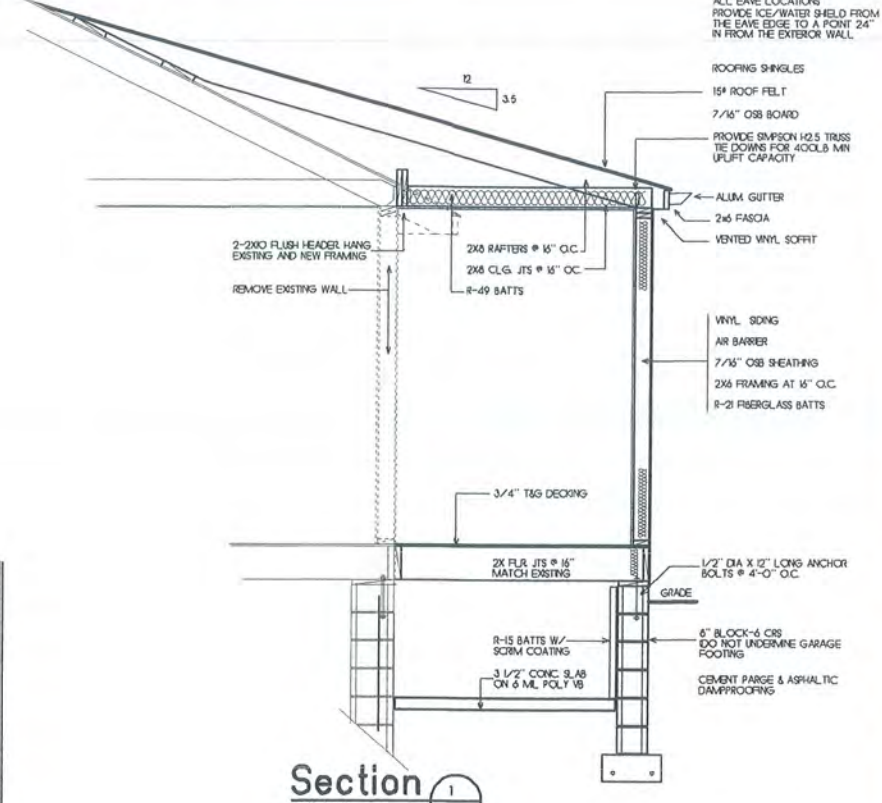
1/4"=1'-0"

THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITH THE FIRST 10' FROM THE HOUSE

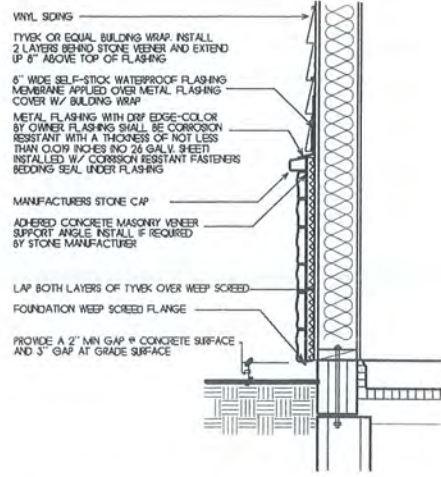
- Ⓔ DENOTES EGRESSIBLE WINDOW UNIT W/ 57 SF. MIN. OPENING, 20" MIN. OPENING WIDTH AND 24" MIN. OPENING HEIGHT
- Ⓕ DENOTES TEMPERED GLASS PER R308 OF THE NEW YORK STATE CODE



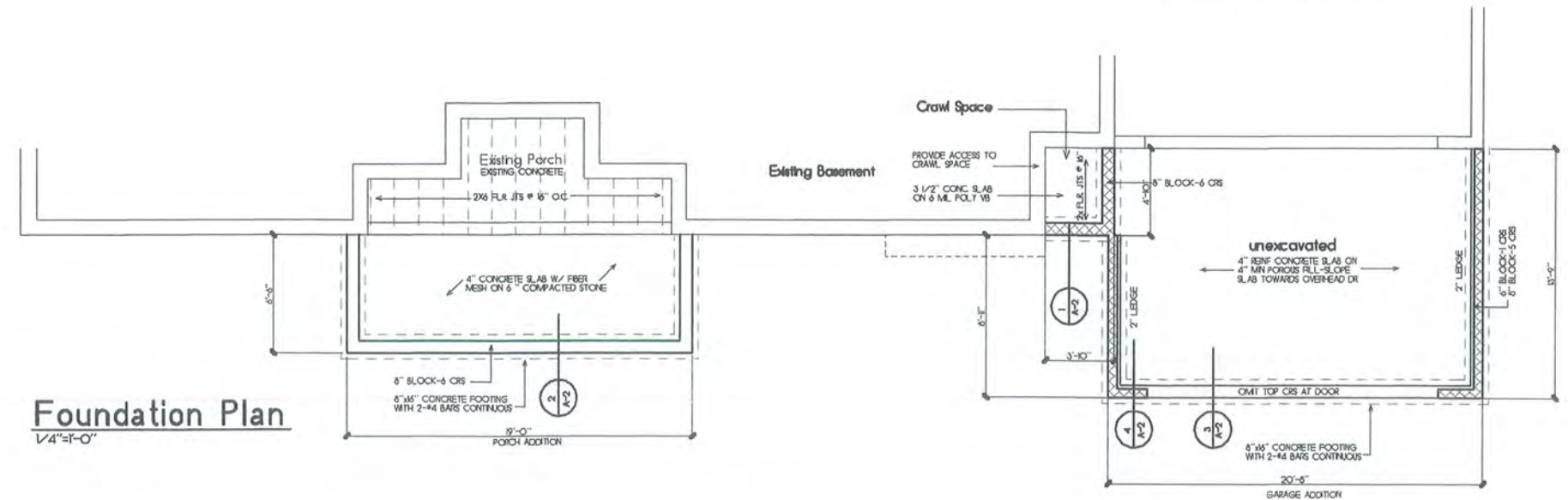
Section 2
1/2"=1'-0" A-2



Section 1
1/2"=1'-0" A-2



Stone Installation Detail



Foundation Plan
1/4"=1'-0"

FOUNDATIONS

CONTRACTOR SHALL NOTIFY SITE ENGINEER AND ARCHITECT IF SITE CONDITIONS SUCH AS ADVERSE GROUND WATER OR SOIL CONDITIONS WARRANT MODIFICATIONS TO THE FOUNDATION DESIGN.
FOOTINGS MAY BE POURED NEAR AGAINST SIDES OF EXCAVATIONS ONLY IF SLOSHING OR RAVELING DOES NOT OCCUR.
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL CONCRETE AND GROUT HAS REACHED SUFFICIENT STRENGTH TO RESIST DAMAGE OR STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD DECK S IN PLACE OR SUFFICIENT WALL BRACING IS IN PLACE.

FOOTINGS

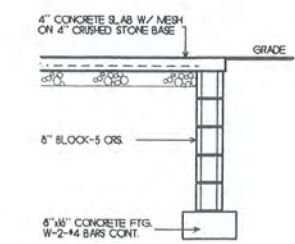
FOOTING SHALL BE PLACED AT A MIN OF 48" BELOW GRADE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
FINAL 3" OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACES.
NO EXCAVATION SHALL BE MADE LOWER AND CLOSER THAN 1/3 UNLESS INDICATED ON THE DRAWINGS.
FOOTINGS AND SLABS SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND.
ALL FOOTINGS SHALL BEAR ON FIRM AND CLEAN SOL. THE SOL BEARING SHOULD BE VERIFIED AT THE FOOTINGS BY AN ACCEPTED TESTING METHOD.

CONCRETE

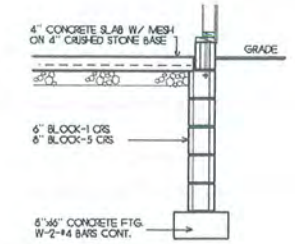
FOUNDATION DESIGN IS BASED ON A MIN. SOL. BEARING CAPACITY OF 2000 PSF. BULDER SHALL NOTIFY ARCHITECT IF CAPACITY IS LESS.
PROVIDE 6 ML. POLYETHYLENE VAPOR BARRIER UNDER CONCRETE INTERIOR SLABS.
PROVIDE ALL NECESSARY RE BARS, SPACER BARS, CHAIRS, ETC TO SECURE REINFORCING IN PLACE BEFORE PLACING CONCRETE.
1. STANDARDS-LATEST EDITION OF ACI 1. FOOTINGS, WALLS AND PERS-3000 PS
2. SLAB ON GRADE-INTERIOR 2500 PS EXTERIOR 3,500 PS

CONCRETE MASONRY

CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90 TYPE 1 GRADE N.
MORTAR - ASTM C270, TYPE S 1 @ 1500 PSI
BLOCK FILL - COURSE GROUT 3,000 PS
REINFORCING-
ANCHOR BOLTS SHALL CONFORM TO ASTM A-307 AND SHALL BE 1/2" DIA MIN AND 2" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM END PLATE 6'-0" O.C. AND MIN. OF 2-ANCHOR BOLTS IN ANY ONE SECTION. LOCATE IN MIDDLE THIRD OF PLATE AT LEAST 1 1/2" FROM THE EDGE OF A 2x4 AND 1 3/4" FROM THE EDGE OF A 2x6.



Section 3
1/2"=1'-0" A-2



Section 4
1/2"=1'-0" A-2

ALA architects
ROCHESTER, NEW YORK 14604
255 EAST AVENUE
1585 704-7347
ALAMIC@FRONTIERNET

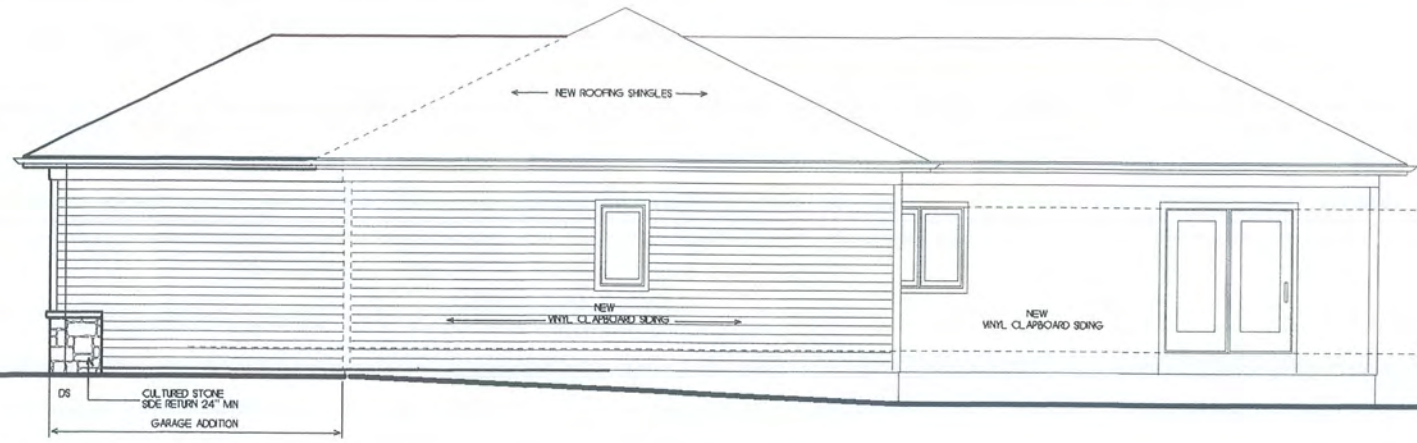
PROPOSED RENOVATION FOR
#2 CHARTER OAKS DR
TOWN OF PITTSFORD, NEW YORK

NO.	DATE	DESCRIPTION

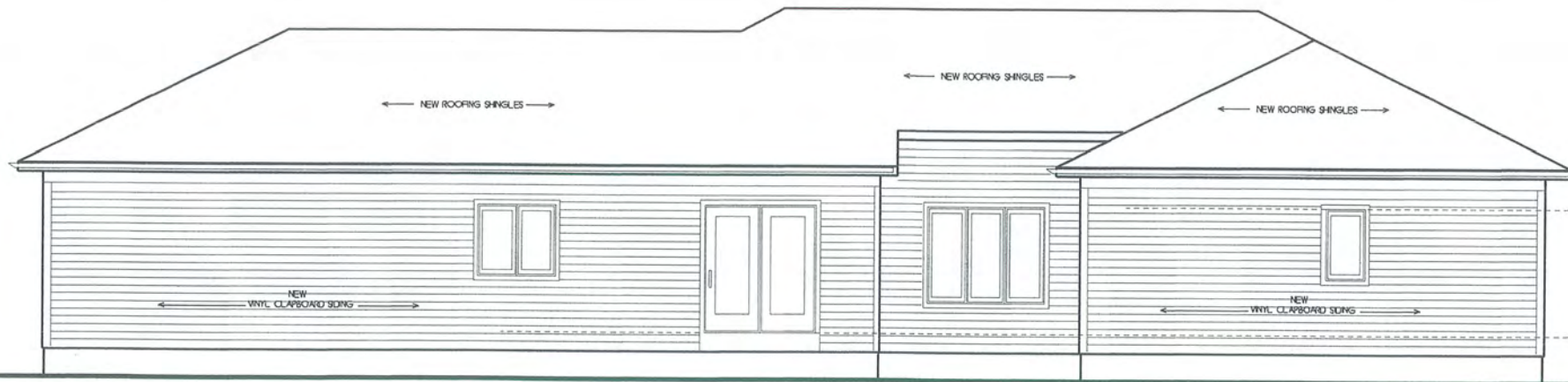
JOB NO. 52 CCD

A-2

MAR 20, 2023



East Elevation
1/4"=1'-0"



North Elevation
1/4"=1'-0"

REVISIONS No.	DATE	DESCRIPTION

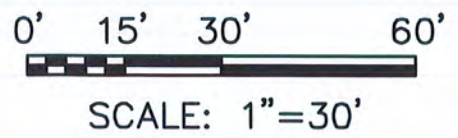


GENERAL NOTES

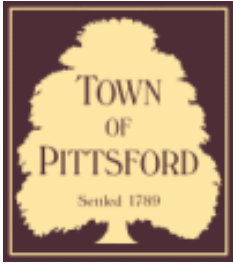
- 1) MAP BEARINGS AND HORIZONTAL ORIENTATION IS GRID.
- 2) EXISTING FEATURES AND TIE DISTANCES SHOWN BY LINEWORK ARE REFERENCED TO AN INSTRUMENT SURVEY BY LAND TECH ENTITLED "LOT 2 OF THE CHARTER OAKS SUBDIVISION, SECTION 1", DATED OCTOBER 12, 2022.

LEGEND

- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED BUILDING ADDITION



SITE PLAN FOR VARIANCE					
2 CHARTER OAKS DRIVE					
TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE					
PROFESSIONAL ENGINEERING GROUP				CLIENT:	
7171 VICTOR - PITTSFORD ROAD VICTOR, NEW YORK 14564 TEL. (585) 924-1860 EMAIL: PROENGINEER1@PRODIGY.NET				CYNTHIA WONG 923 HEAD OF POND RD. WATER MILL, NY 11976	
DATE:	ENGINEER:	DRAWN BY:	SCALE:	SHEET NO.:	DRAWING NO.:
MAR 2023	S.A.H	A.A.L	1" = 30'	1 of 1	230324SP1



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000076

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4035 East Avenue ROCHESTER, NY 14618

Tax ID Number: 151.06-1-21

Zoning District: RN Residential Neighborhood

Owner: Atwood, Eileen L

Applicant: Tom Lawler

Application Type:

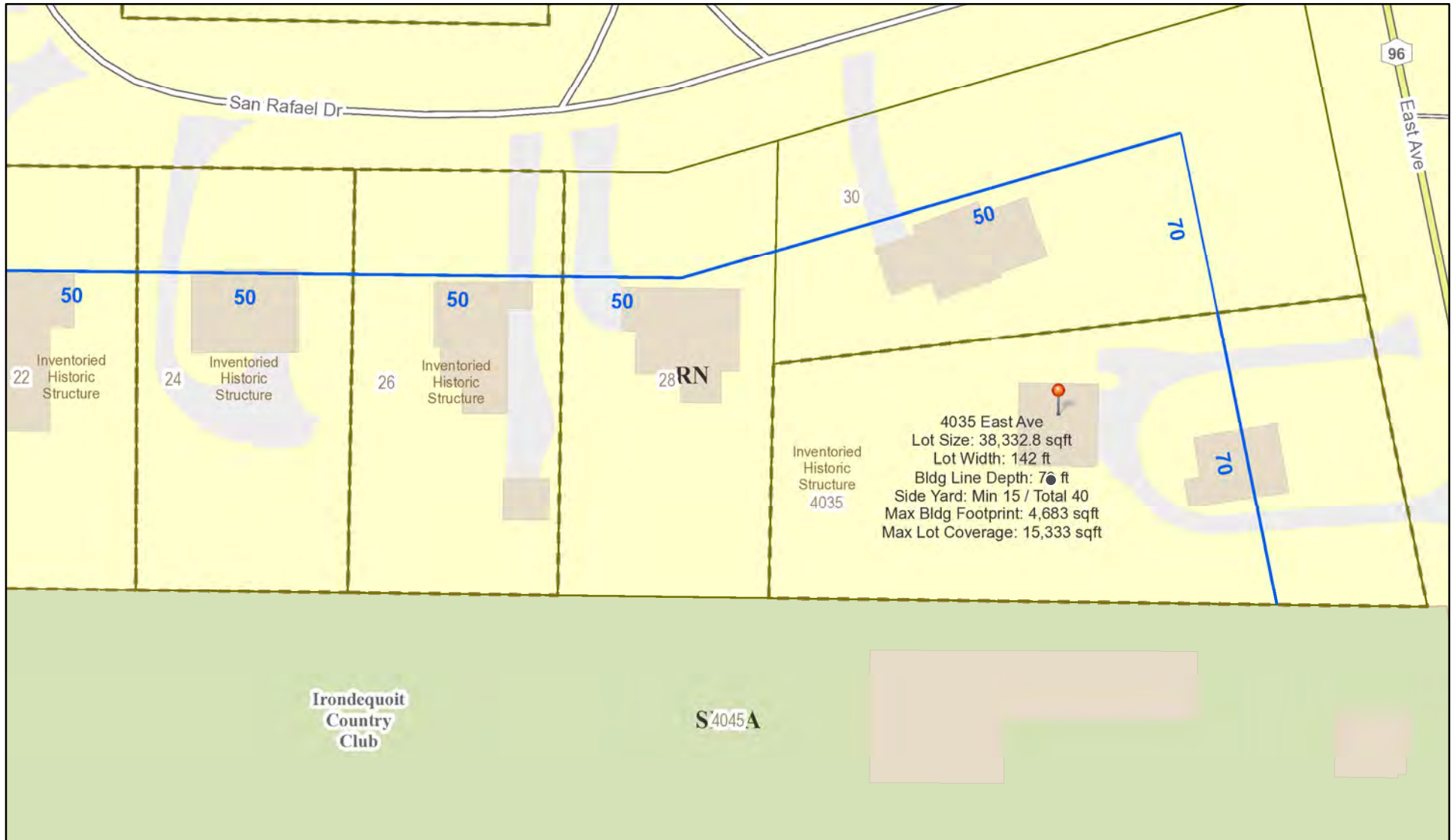
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review to reconstruct the front wall of garage to include three garage doors with cement board siding and trim.

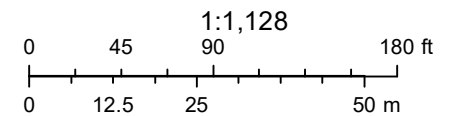
Meeting Date: June 22, 2023



RN Residential Neighborhood Zoning



Printed June 12, 2023



Town of Pittsford GIS

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04/03/2021

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EAST ELEVATION
1/4" = 1'-0"

MARK P. MULLER
ARCHITECT

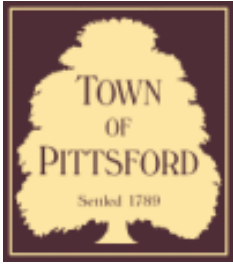
3509 Taft Road
Bloomfield, NY 14469

Tel 657-6905

GARAGE REMODEL
DEVINE RESIDENCE
4035 EAST AVE.
PITTSFORD, NY

6-7-23





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000077

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 101 Stoneleigh Court ROCHESTER, NY 14618

Tax ID Number: 138.17-1-38

Zoning District: RN Residential Neighborhood

Owner: Totterman, Saara

Applicant: Morbito Architects

Application Type:

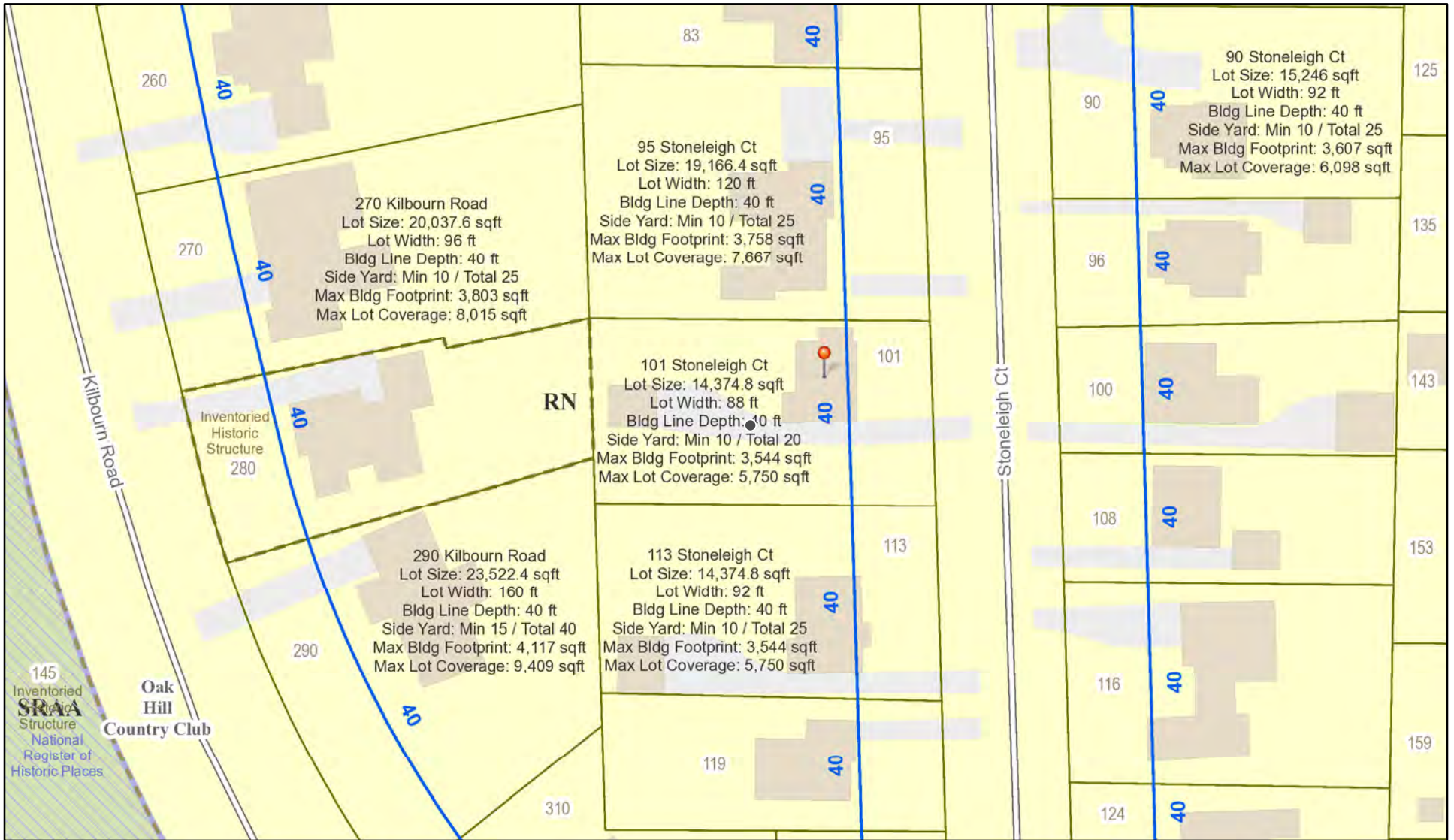
- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a 241 square foot garage and mudroom.

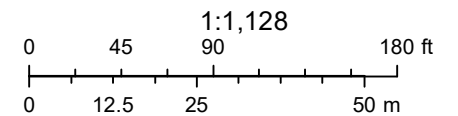
Meeting Date: June 22, 2023



RN Residential Neighborhood Zoning

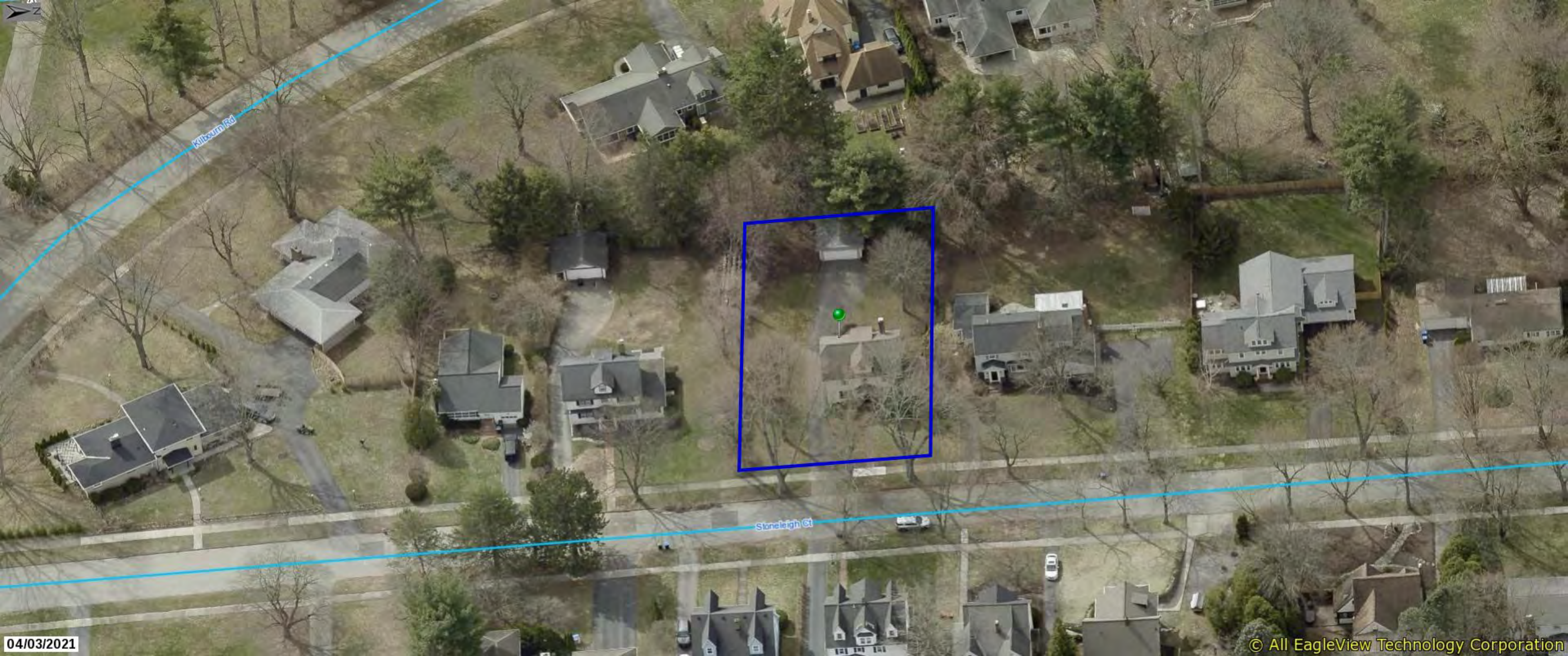


Printed June 14, 2023



Town of Pittsford GIS

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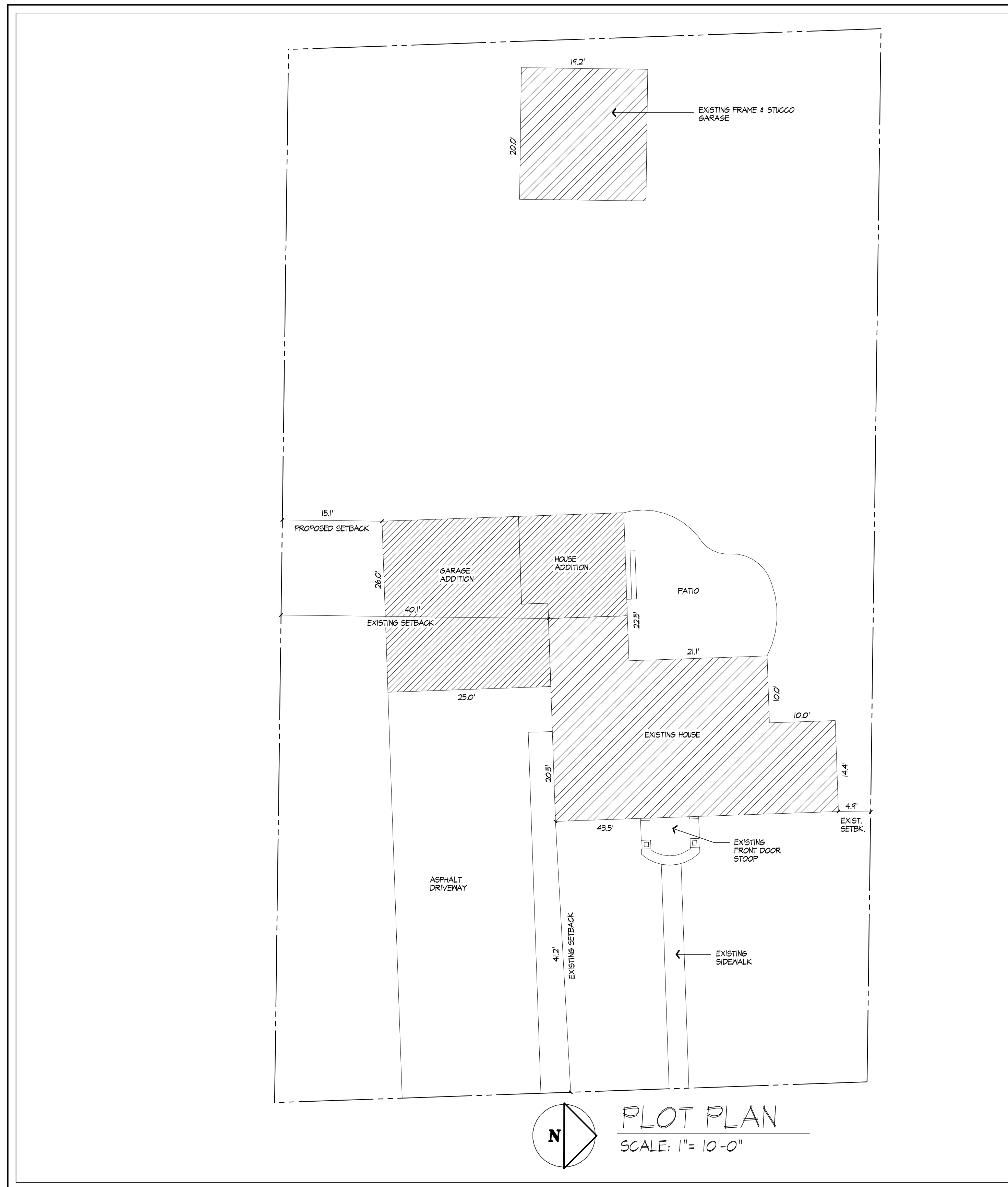


Kilbourn Rd

Stoneleigh Ct

04/03/2021

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STRASSBURG RESIDENCE ADDITION

101 STONELEIGH COURT

PITTSFORD, NY

DRAWING INDEX

- | | |
|---|---|
| 1 | TITLE PAGE |
| 2 | FRONT ELEVATION - proposed and existing |
| 3 | LEFT SIDE ELEVATION - proposed and existing |
| 4 | FIRST FLOOR PLAN - proposed and existing |
| 5 | ROOF PLAN - proposed and existing |



MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
LICENSED IN CO, MA, ME, NV, NY, PA, SC

121 Sully's Trail
Pittsford, NY 14534

(585) 264-1330
(585) 264-1333 Fax

www.MorabitoArchitects.com

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PROJECT:
STRASSBURG ADDITION
101 STONELEIGH COURT
PITTSFORD, NY

CLIENT:
M/M STRASSBURG

DRAWING:
TITLE PAGE

DRAWN:
JL/PM

DATE: JUNE 2023

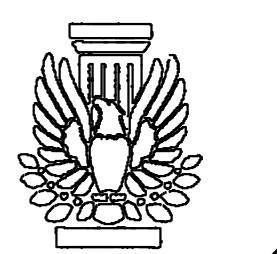
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JOB NO.: 23-4363

SHEET:

1

OF 5 SHEETS





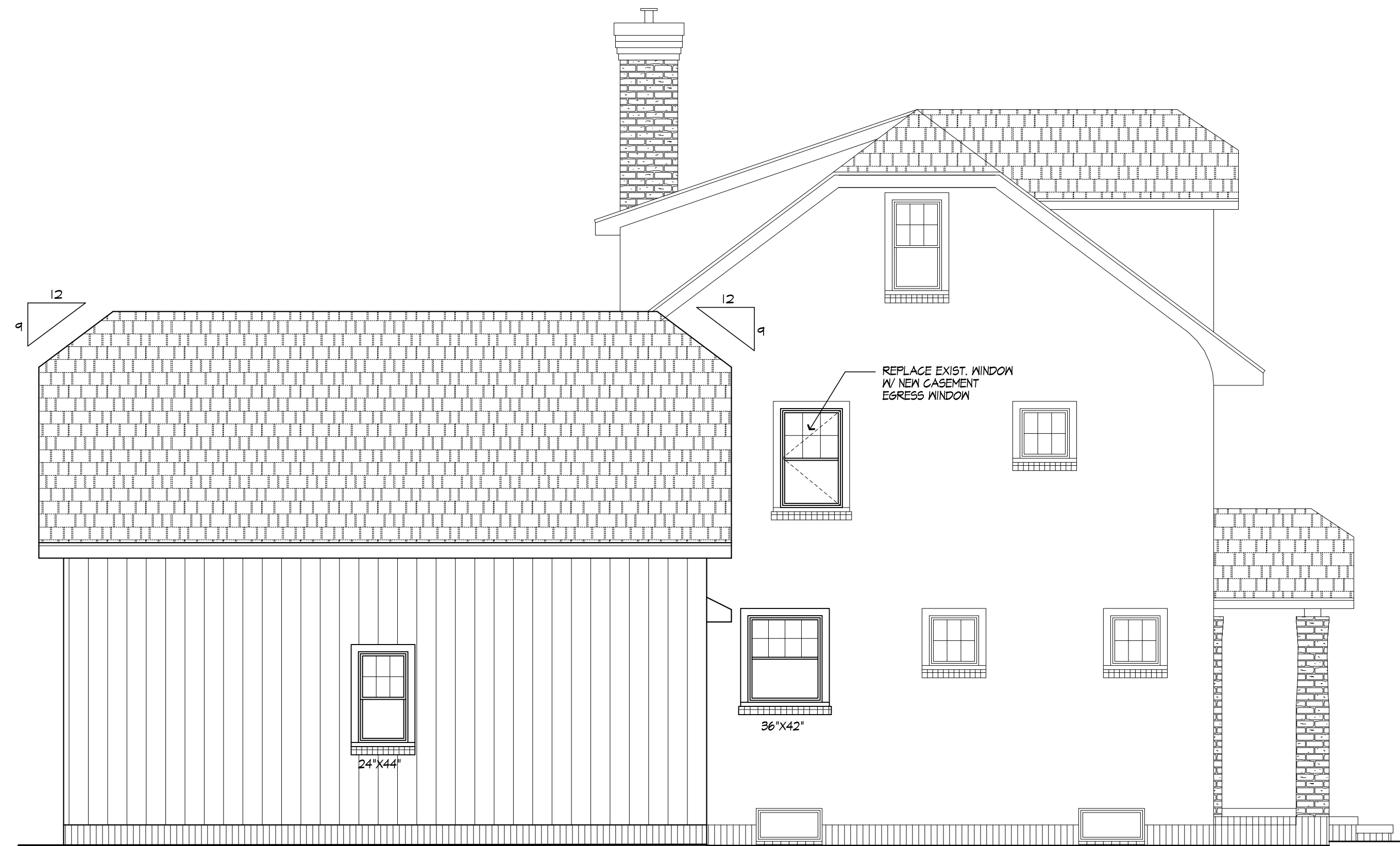
EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION



EXISTING LEFT SIDE ELEVATION



PROPOSED LEFT SIDE ELEVATION



MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A., ARCHITECT, P.C.
LICENSED IN CO., MA., ME., NV., NY., PA., SC.

121 Sully's Trail
Pittsford, NY 14534

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PROJECT:
STRASSEBURG ADDITION
101 STONELEIGH COURT
PITTSFORD, NY

CLIENT:
M/M STRASSEBURG

DRAWING:
PROPOSED FRONT ELEVATION
EXISTING FRONT ELEVATION
PROPOSED LEFT SIDE ELEVATION
EXISTING LEFT SIDE ELEVATION

DRAWN:
J.L.P.M.

DATE: JUNE 2023

SCALE: 1/4" = 1'-0"

JOB NO.: 23-4363

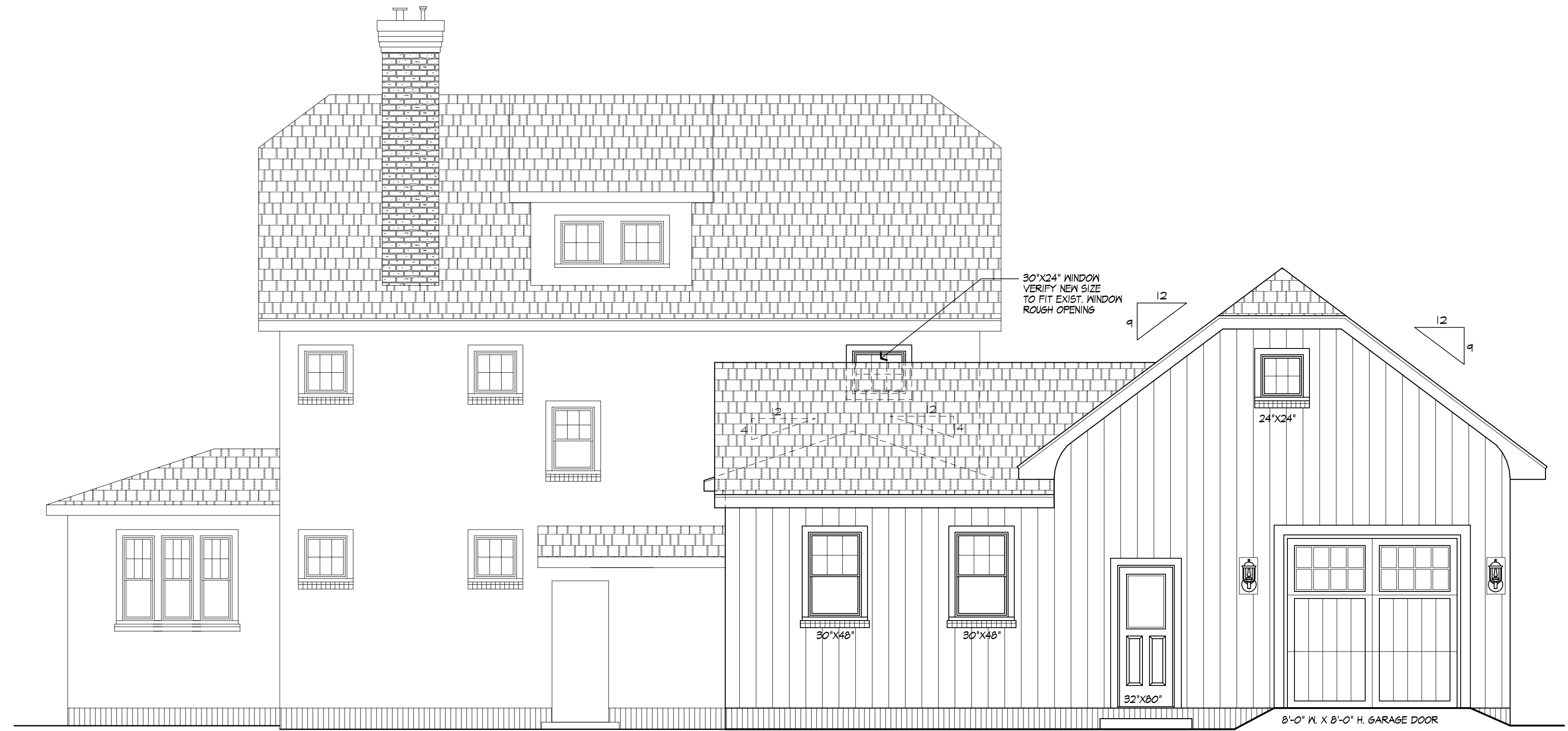
SHEET:

2
OF 5 SHEETS





PROPOSED REAR ELEVATION



PROPOSED REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION



**MORABITO
ARCHITECTS**

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PROJECT:
STRASSEBURG ADDITION
101 STONELEIGH COURT
PITTSFORD, NY

CLIENT:
MM STRASSEBURG

DRAWING:
REAR / RIGHT SIDE ELEVATIONS

DRAWN:
JL/PM

DATE: JUNE 2023

SCALE: 1/4" = 1'-0"

JOB NO.: 23-4363

SHEET:

3
OF 5 SHEETS





MORABITO ARCHITECTS

PATRICK J. MORABITO, A.I.A. ARCHITECT, P.C.
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121 Sully's Trail
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PROJECT:
STRASSEBURG ADDITION
101 STONELEIGH COURT
PITTSFORD, NY

CLIENT:
MM STRASSEBURG

DRAWING:
EXISTING AND PROPOSED
FIRST FLOOR PLAN

DRAWN:
J.L.P.M.

DATE: JUNE 2023

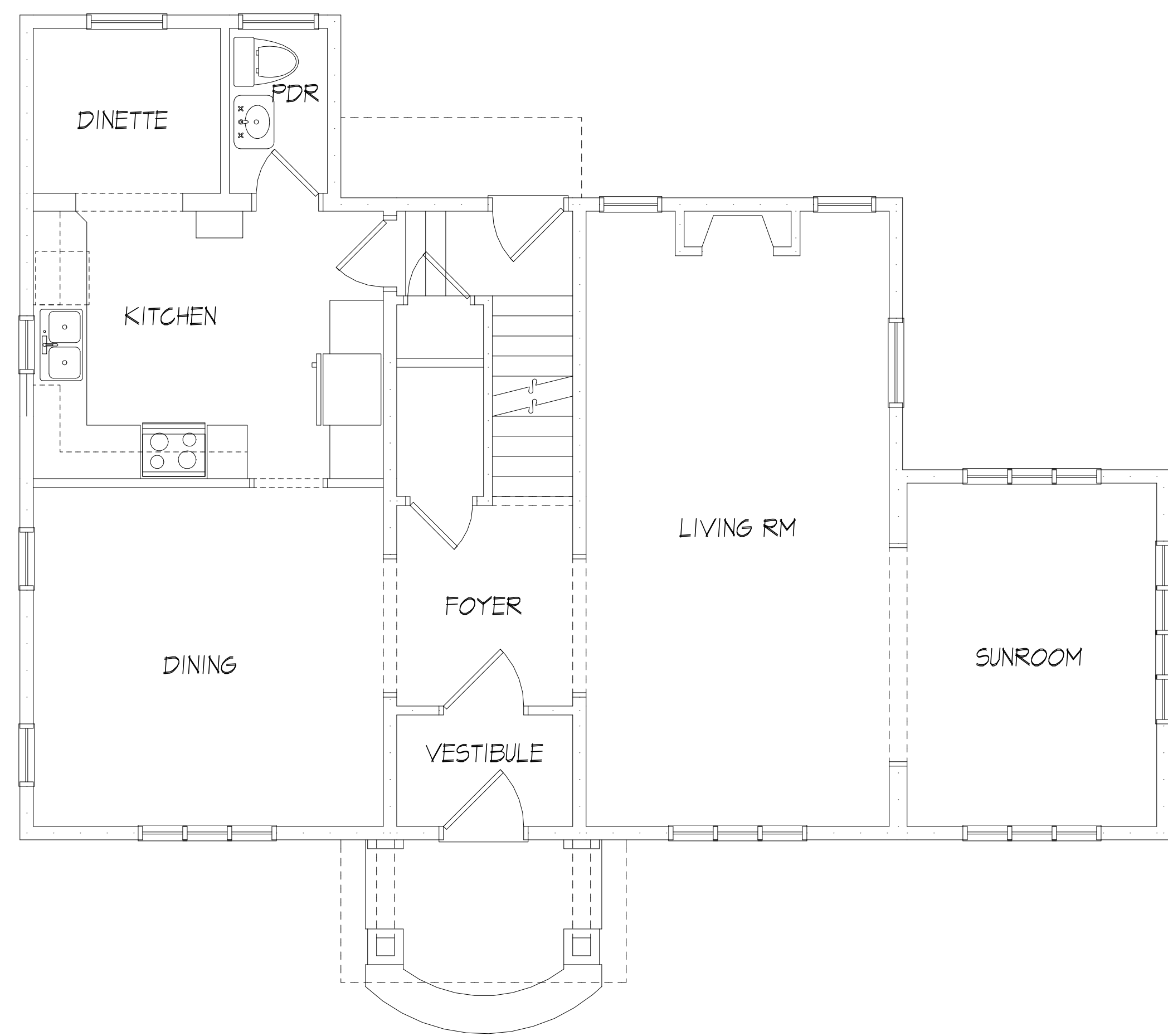
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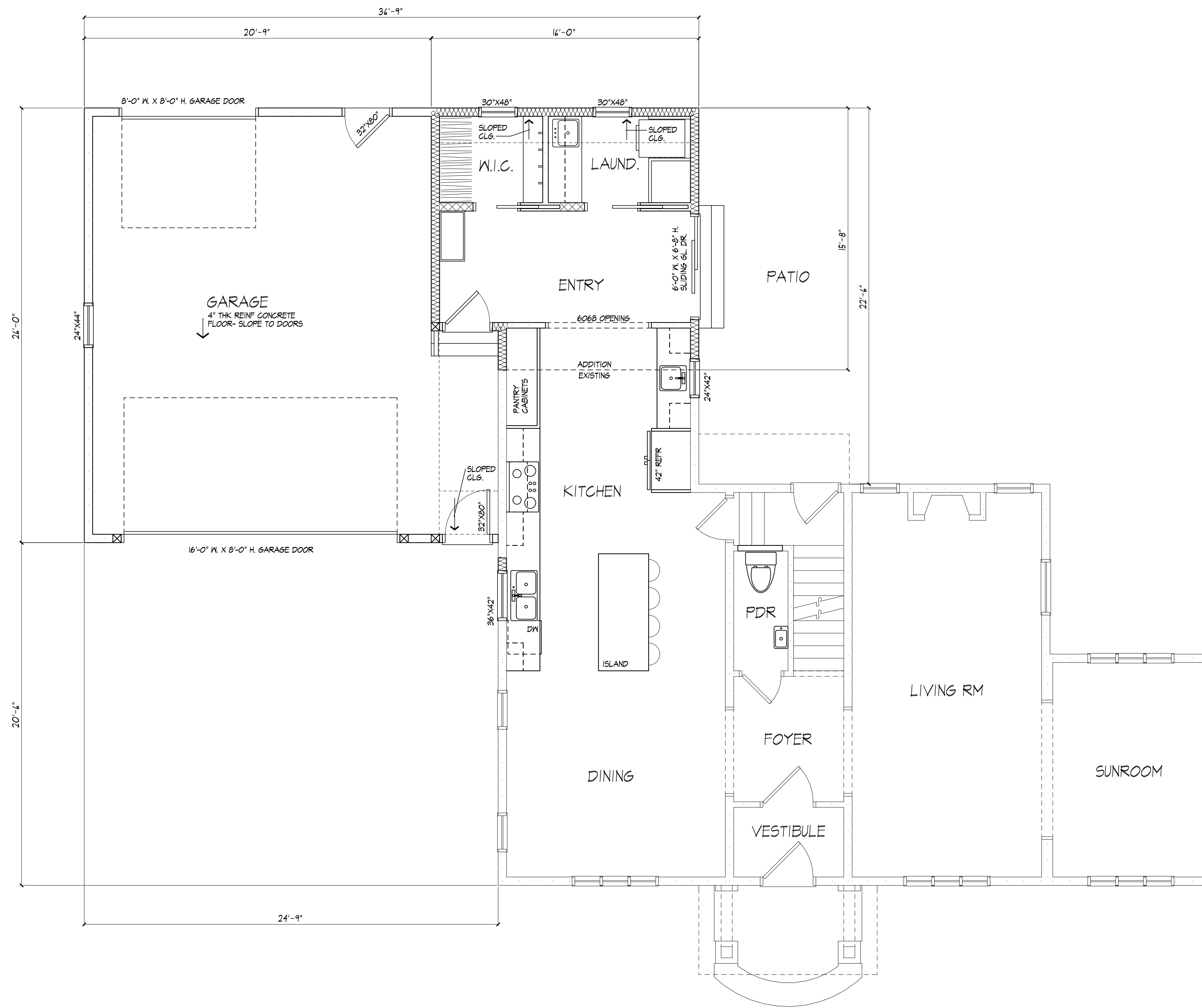
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OF **5** SHEETS

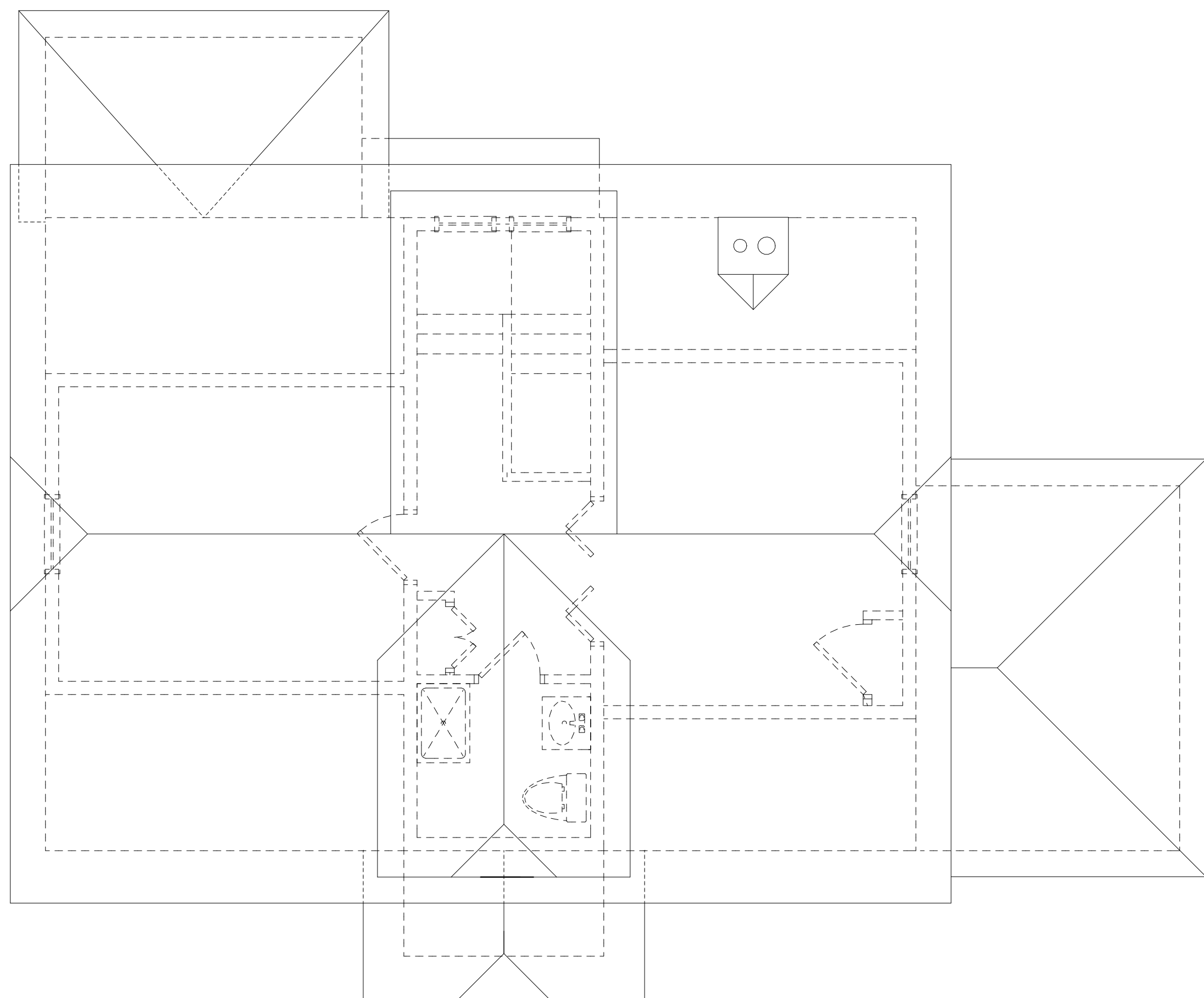


FIRST FLOOR PLAN- EXISTING

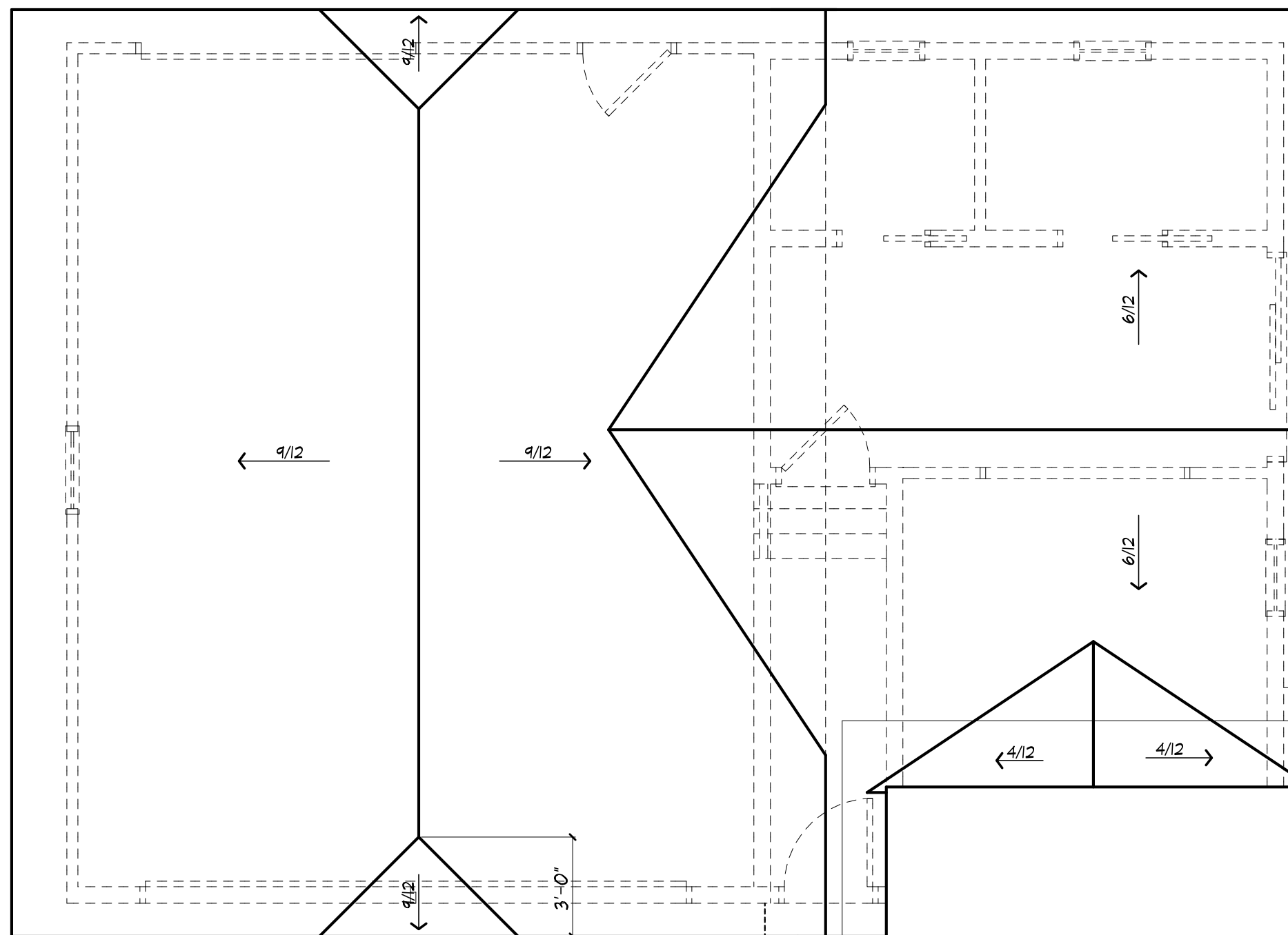


FIRST FLOOR PLAN- PROPOSED

AREA: 1012 SQ FT EXISTING
241 SQ FT ADDITION



ROOF PLAN- EXISTING



ROOF PLAN- PROPOSED



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PROJECT:
STRASSEBURG ADDITION
101 STONELEIGH COURT
PITTSFORD, NY

CLIENT:
M/M STRASSEBURG

DRAWING:
ROOF PLAN

DRAWN:
JLPM

DATE: JUNE 2023

SCALE: 1/4" = 1'-0"

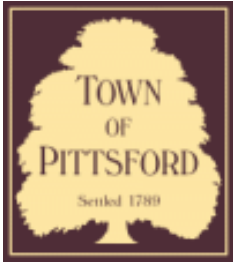
JOB NO.: 23-4363

SHEET:

5

OF 5 SHEETS





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
C23-000024

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3300 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-15.11

Zoning District: C Commercial

Owner: Pittsford Place Assoc

Applicant: Graywood Properties

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for repainting the exterior of the Pittsford Place Mall.

Meeting Date:



THE SOURCE JEWELERS
INTERNATIONAL ART ACQUISITIONS
HUNT-ERA COLUMBUS-DIV.

THE SOURCE JEWELERS
INTERNATIONAL ART ACQUISITIONS
HUNT-ERA COLUMBUS-DIV.

S C

ARTHUR MURRAY

corner bakery cafe

SYLVAN LEARNING
PREMIER KITCHENS & BATHS

A MONROE WHEELCHAIR



BAILEY SLIPPER SHOP
GULLUGAL MARKETING LLC
BREAKOUT
KAPPA SIGMA & KAPPA DELTA
SUPPORT WOMEN'S POLARIS 100 OF CHANGES
ACCTG & TAX FOR SMALL BUSINESS
FOR SPACE CALL 585.734.6000
+1 585 784 3638

THE SOURCE
JEWELERS
INTERNATIONAL
ART
ACQUISITIONS
HUNT-ERA
COLUMBUS-DIV.

3300

SULLIVAN
VIOLINS

tareki
BUBBLE TEA, ROKU BOWL,
RAMEN, SUSHI BURRITO



3300
Alex Fashion & Bridal
Glow Sunless Tanning
Breakout

Martin, Harding & Mazzotti, LLP
Norman Andrew Palmiere, Esq. of Counsel
New Genesis Med Spa

For Space Call 585.734.6000

BAILEY SLIPPER SHOP
GULUGAL MARKETING LLC

BREAKOUT

MARTIN, HARDING & MAZZOTTI, LLP
NORMAN ANDREW PALMIERE, ESQ. OF COUNSEL
ACCTG & TAX FOR SMALL BUSINESS

FOR SPACE CALL 585.734.6000

THE SOURCE
JEWELERS

INTERNATIONAL
ART
ACQUISITIONS

HUNT ERA
COLUMBUS DIV.



IFDC

NO PARKING

NO PARKING



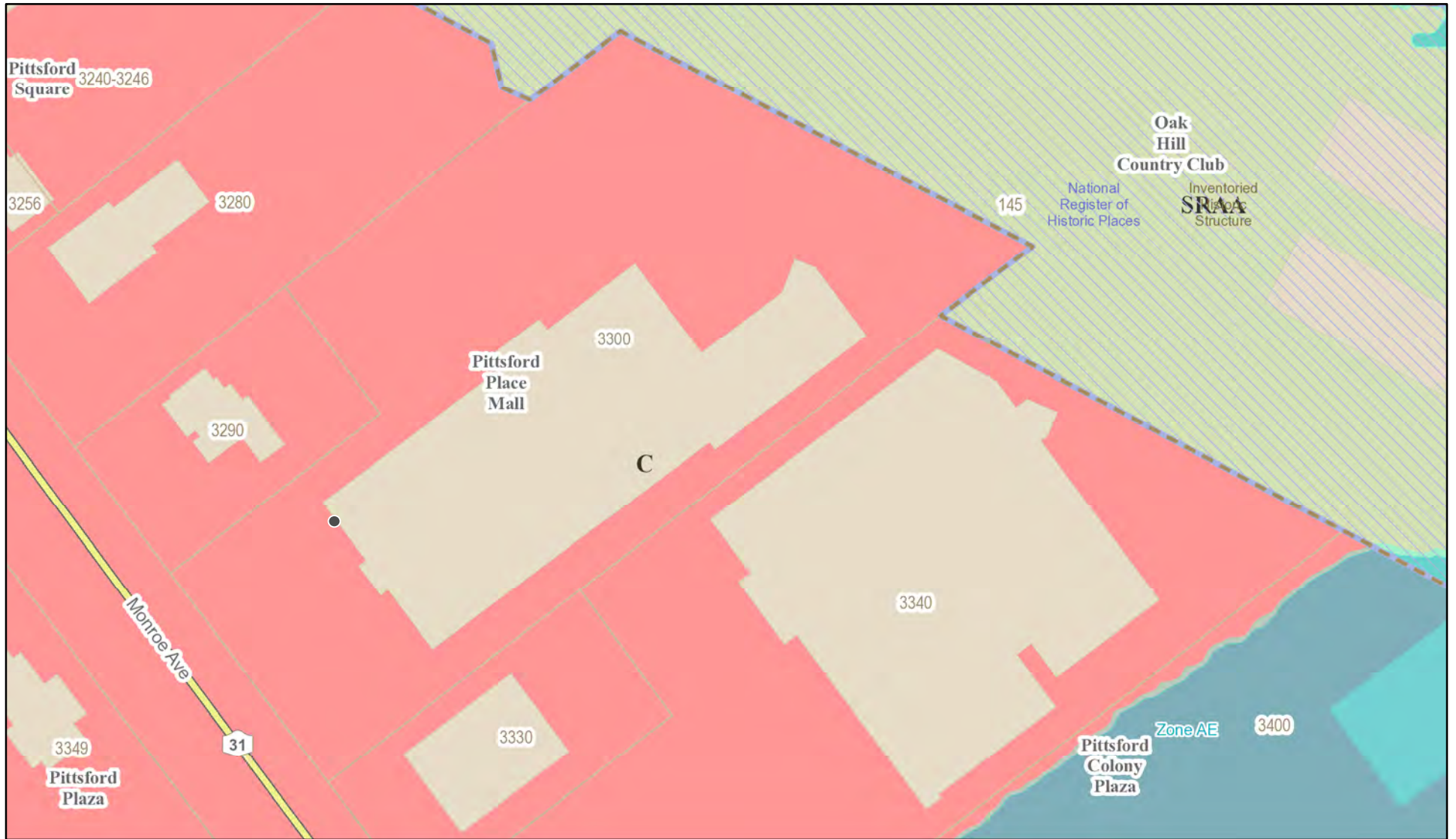
3300
Alex Fashion & Bridal
Glow Sunless Tanning
Breakout

Martin, Harding & Mazzotti, LLP
Norman Andrew Palmiere, Esq. of Counsel
New Genesis Med Spa

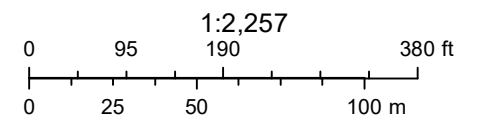
For Space Call 585.734.6000



RN Residential Neighborhood Zoning



Printed June 13, 2023



Town of Pittsford GIS

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3300

TEEN

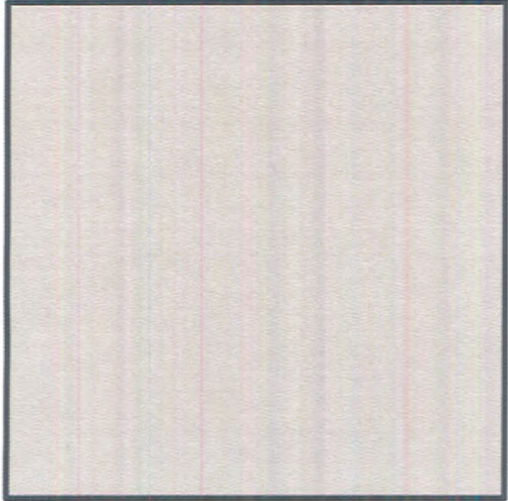
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Alex Fashion & Bridal
Breakout
North, Nancy & Associates, LLP
NORMAN ANDREW PALMERE, ESQ., OF COUNSEL
New Genesis Med Spa
For Space Call 585.734.6000

BAILEY SLIPPER SHOP
GULUGAL MARKETING LLC
BREAKOUT
MARTIN, HARDING & NAZZOFTI, LLP
NORMAN ANDREW PALMERE, ESQ., OF COUNSEL
ACCTG & TAX FOR SMALL BUSINESS
FOR SPACE CALL 585.734.6000

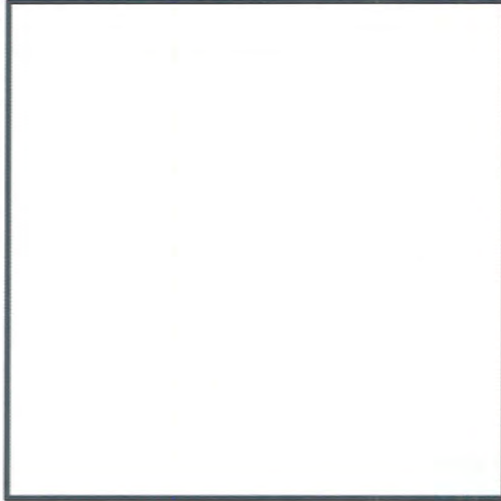
THE SOURCE
JEWELERS
INTERNATIONAL
ART
ACQUISITIONS
HUNTERA
COLUMBUS DV.

3300

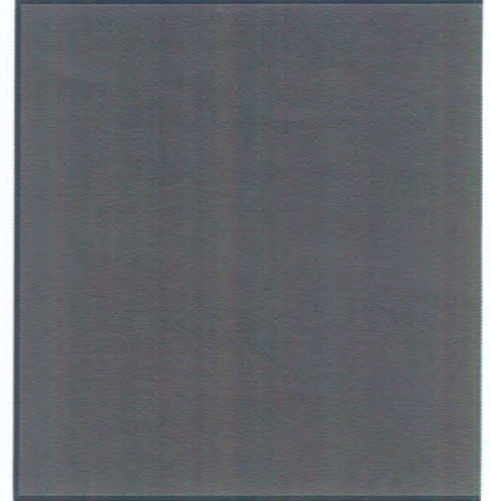
SULLIVAN
VOLUME
TWO
THREE
FOUR
FIVE



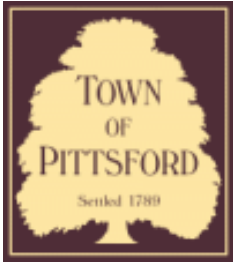
FIELD COLOR
SW7022 ALPACA



ACCENT COLOR
SW7008 ALABASTER



ACCENT COLOR
SW7062 ROCK BOTTO



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S23-000010

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Buffalo Erie Sign & Lighting,LLC DBA Flexlume

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a 19.83 square foot sign for a tech repair shop.

Meeting Date: June 22, 2023



Stater Mart

Carter's
clothes and more

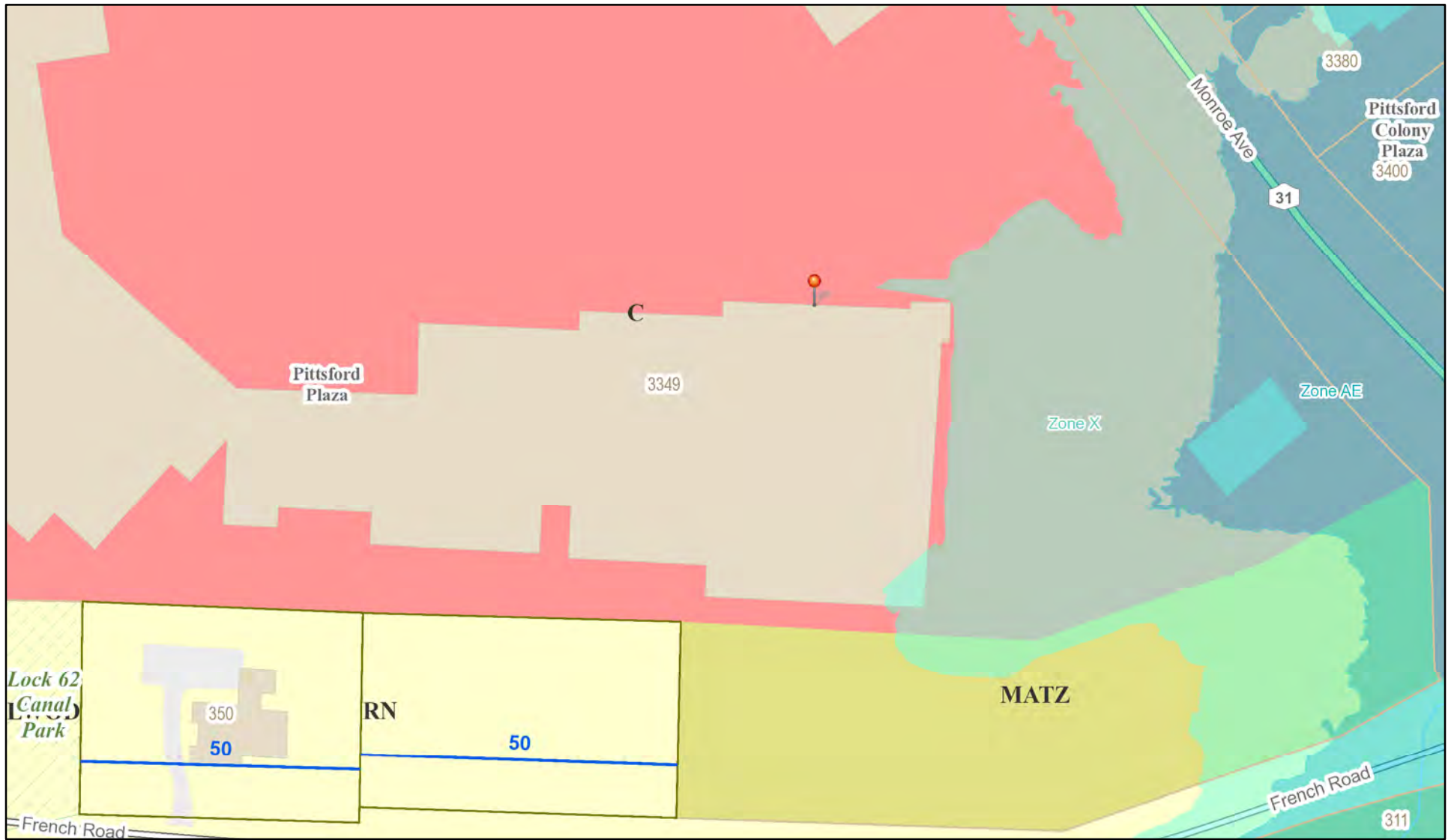
chick-fil-e

Dixie Hardware

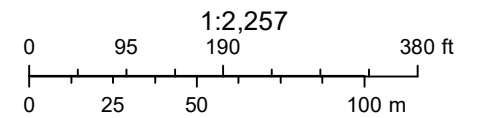
CAROL'S

Stater Mart

RN Residential Neighborhood Zoning



Printed June 13, 2023



Town of Pittsford GIS

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French Rd

Unnamed Street

Unnamed Street

Unnamed Street

Unnamed Street

Unnamed Street

Unnamed Street

Unnamed Street

Unnamed Street

Unnamed Street

Monroe Ave

417-A

417-B

X



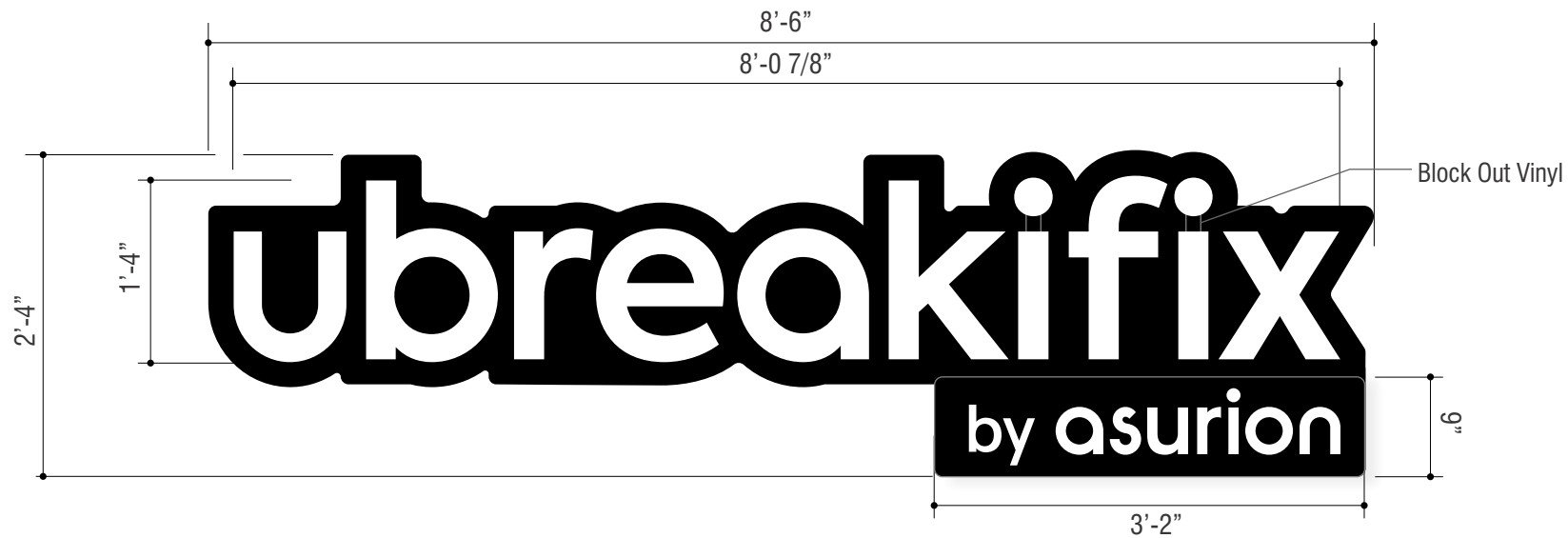
Existing Condition

Front Elevation Scope:

- Fabricate & Install new signage per specifications shown on detail sheets and elevations



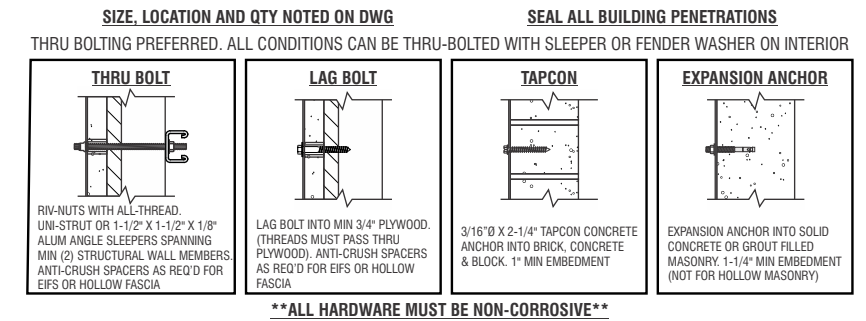
Proposed Rendering



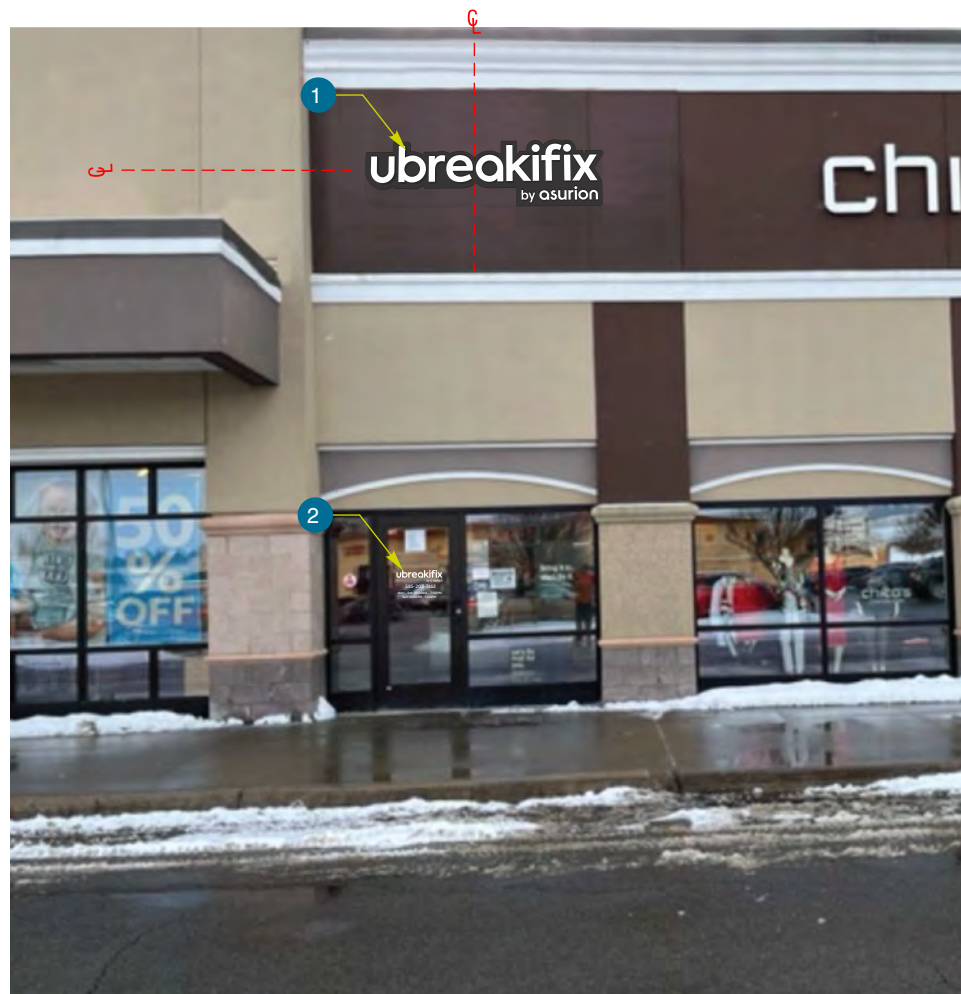
COLORS & FINISHES:

- PAINT:** Black
- VINYL:** 3M 7725-12 Black Opaque

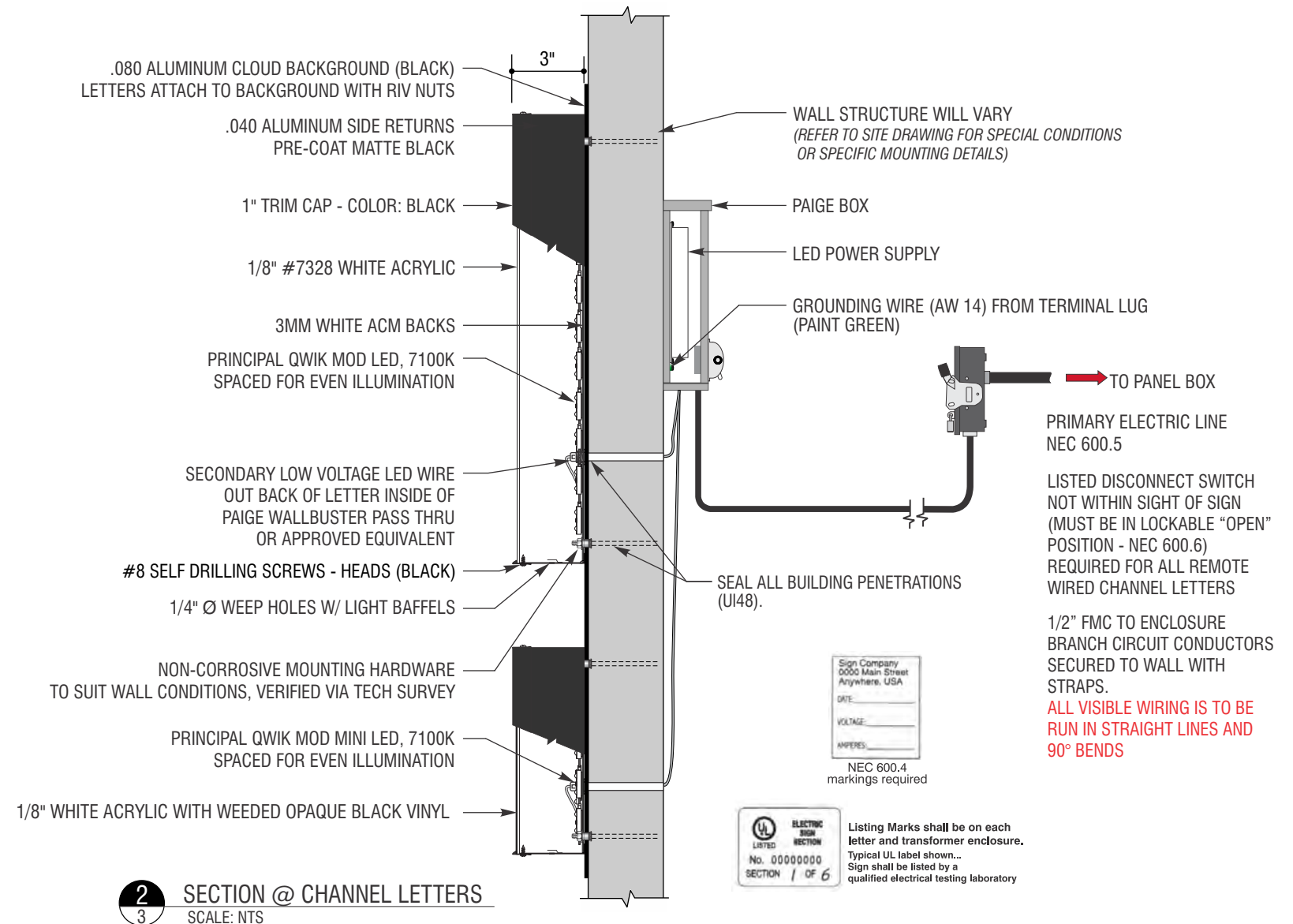
TYPICAL APPROVED MOUNTING OPTIONS PER WALL CONDITION



1 CHANNEL LETTER ON CLOUD BACKER WITH PILL BOX CABINET (FLUSH MOUNT) **19.83 sf**
SCALE: 1/2" = 1' 0"



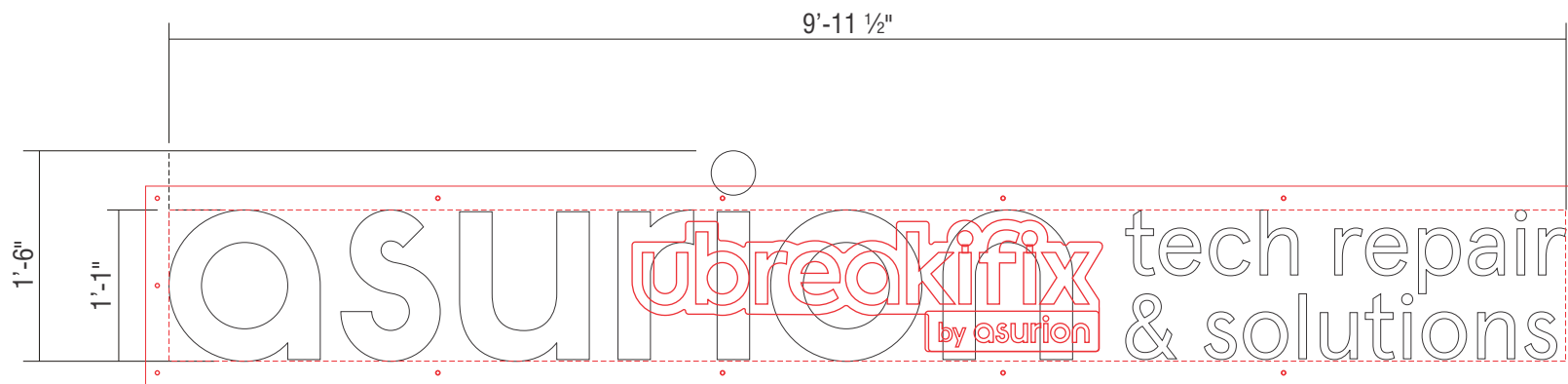
Proposed Rendering



2 SECTION @ CHANNEL LETTERS
SCALE: NTS



1
6 TEMPORARY BANNER LAYOUT
SCALE: 1/2" = 1'-0" **20.0 sf**



1
6 EXISTING CHANNEL LETTER LAYOUT W/ BANNER OVERLAY
SCALE: 1/2" = 1'-0"



Existing Condition



Proposed Rendering

BANNER SPECIFICATIONS

BANNER CONSTRUCTION
1. **BANNER:** Black 13oz Briteline banner Hemmed & Grommets all sides, with digitally printed graphics as follows:



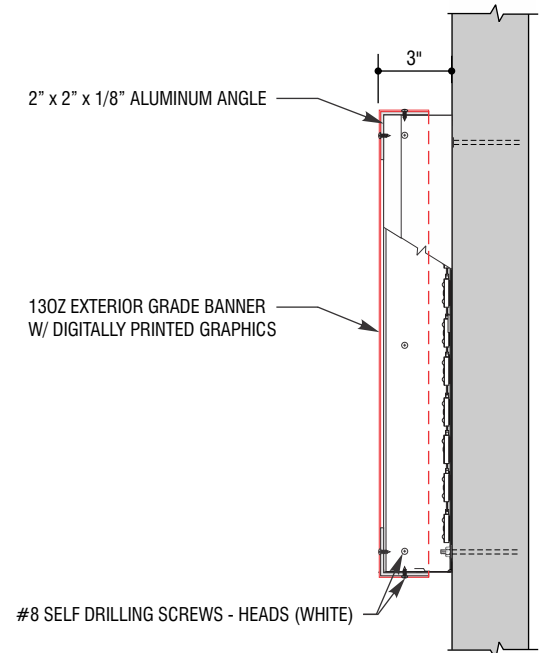
White

INSTALLATION HARDWARE
2. **TYPICAL HARDWARE:** See notes below

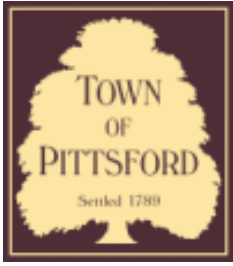
BUILDING & FASCIA CONDITIONS
3. **WALL SURFACE:** TBD

INSTALLATION NOTES:

GC is responsible for installing banner. We DO NOT penetrate the building. Banner to be mounted to existing channel letters using an aluminum angle.



2
6 SECTION @ BANNER/CHANNEL LETTERS
SCALE: 1 1/2" = 1'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S23-000012

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 920 Linden Avenue EAST ROCHESTER, NY 14445

Tax ID Number: 138.16-1-13.1

Zoning District: LI Light Industrial

Owner: West Linden Properties LLC

Applicant: Palmer Graphic Solutions DBA Vital Signs & Graphics

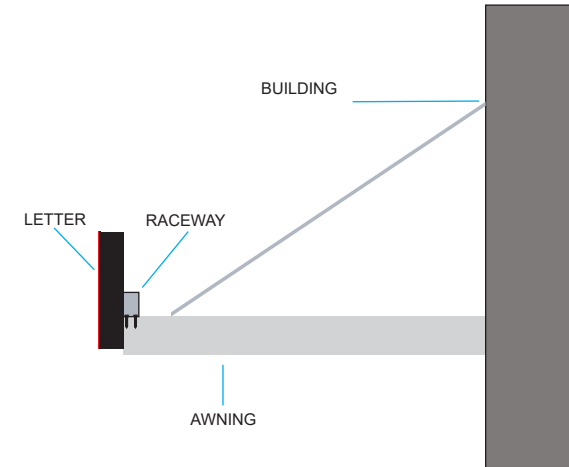
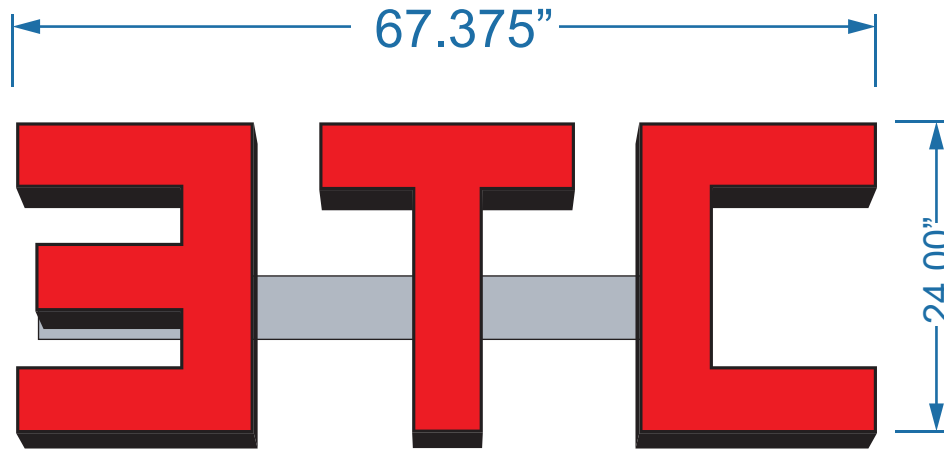
Application Type:

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- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the addition of a 11.22 square foot sign.

Meeting Date: June 22, 2023

Front-Lit Plex-Face Channel Letters • Raceway Mounted



780 Ridge Rd • Webster, NY 14580
 P: 585.787.4256 F: 585.347.4290
 E: Info@vitalsignsroc.com
 W: www.vitalsignsroc.com

Client Name:
 Craig Demmin

Location:
 920 Linden Ave.
 East Rochester

Start Date: 5/23
Last Revision: 5/23/23
Job#:
Drawing#: V.3
Page: 2 Of 2

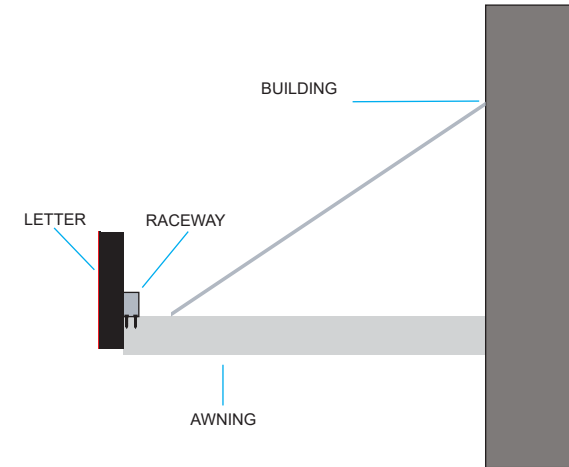
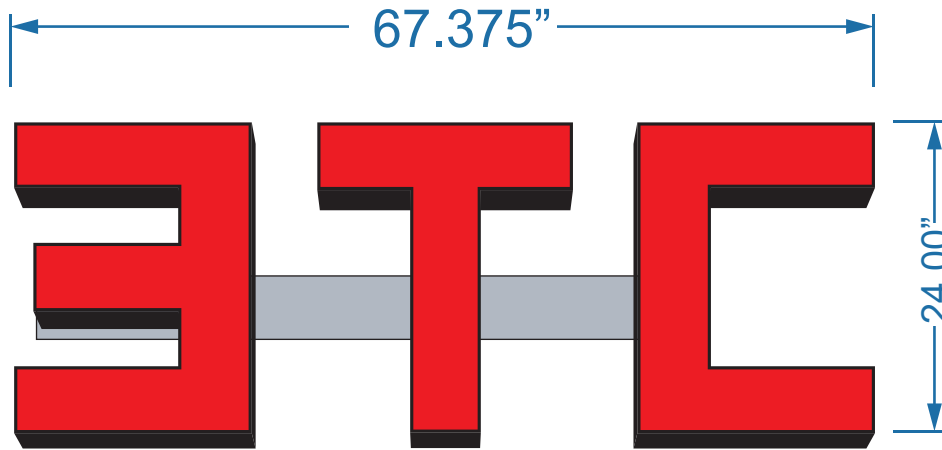
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 Client Approval

Sales Rep: SS
Designer: RD



Front-Lit Plex-Face Channel Letters • Raceway Mounted



A Front-Lit, Plex-Face Channel Letters, Raceway Mounted • Front View
SCALE: 0/0" = 1' 0" • For Production / For Presentation

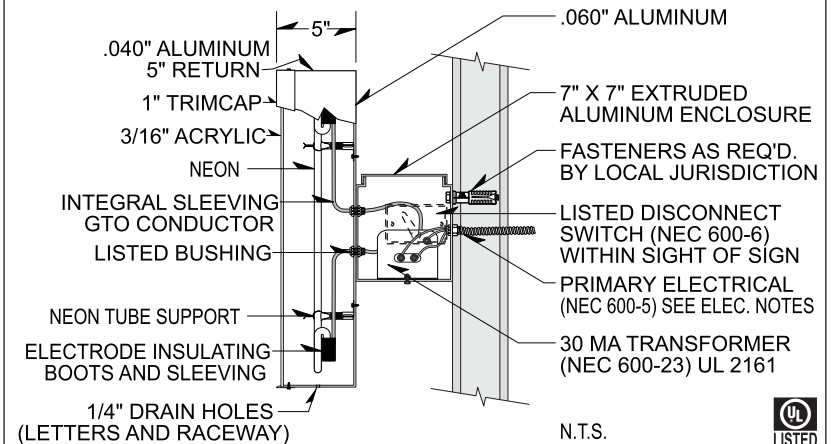
INTERNALLY ILLUMINATED PLASTIC FACE CHANNEL LETTERS

- QUANTITY:** 1
Overall Height: 24.00"
Overall Length: 67.375"
Total Sq.Ft.: 11.2
Returns: BLACK
Backs: .060 ALUMINUM
Trimcap: BLACK
Face: white ACRYLIC
First-surface translucent vinyl: RED TRANSLUCENT VINYL
Raceway: SILVER
Illumination: LED

NOTES:

- WHITE interiors for increased illumination
- All paint two-stage automotive acrylic

CHANNEL LETTER - TYPICAL SECTION - FRONT-LIT PLASTIC FACE



ELECTRICAL NOTES

Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



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 W: www.vitalsignsroc.com

Client Name:
 Craig Demmin

Location:
 920 Linden Ave.
 East Rochester

Start Date: 5/23
Last Revision: 5/23/23
Job#:
Drawing#: V.3
Page: 1 OF 1

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