

**Design Review & Historic Preservation Board  
Agenda  
June 8, 2023**

**HISTORIC PRESERVATION DISCUSSION**

**BUILDING INSPECTOR REMARKS**

**RESIDENTIAL APPLICATIONS FOR REVIEW – NEW HOMES**

- **10 Blackwood Circle**  
Applicant is requesting design review for the construction of an approximately 1762 SF new single story family home in the Wilshire Hill subdivision.

**RESIDENTIAL APPLICATIONS FOR REVIEW**

- **16 Cedarwood Circle**  
Applicant is requesting design review for an approximately 300 SF addition on the front of the house.
- **12 Millwood Court**  
The applicant is requesting design review for a screen room off the back of the house.
- **28 Whitestone Lane**  
The applicant is requesting design review for a proposed new three car garage.
- **45 Skylight Trail**  
The applicant is requesting design review for to enclose their back deck.
- **12 Skytop Lane**  
Applicant is requesting to relocate garage door to the East side of the house.
- **15 Knobb Hill**  
Applicant is requesting design review for the construction of a 225 SF three season addition off the back of the home.
- **168 Caversham Woods**  
Applicant is requesting design review for an approximately 2200 square foot addition to the back of the home with front facade changes.
- **215 W Brook Road**  
Applicant is requesting design review for the addition of a 960 SF garage connected to the side of house.

**TOWN OF PITTSFORD  
DESIGN REVIEW & HISTORIC PRESERVATION BOARD  
May 11, 2023**

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on May 11, 2023, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

**PRESENT:** Kathleen Cristman, Dave Wigg, John Mitchell, Paul Whitbeck

**ABSENT:** Dirk Schneider, Jim Vekasy, Bonnie Salem

**ALSO PRESENT:** Cathy Koshykar, Town Board Liaison; Anthony Caruso, Building Inspector; April Zurowski, Planning Assistant; Doug DeRue, Director of Planning, Zoning, and Development

**ATTENDANCE:** There were 13 members of the public present.

Design Review and Historic Preservation Board Vice Chairman Dave Wigg called the meeting to order at 6:05PM.

Mr. DeRue stated that the Planning Board is currently reviewing a Concept Subdivision for 215 Mendon Road, a property within the Mile Post Historic District. Because of this, the Design Review and Historic Preservation Board (DRHPB) will need to resolve a Certificate of Appropriateness for the subdivision. In order to conduct a coordinated SEQRA review, the DRHPB will need to determine if it would like to be the Lead Agency for SEQRA review or would allow the Planning Board to serve as Lead Agency. DPHPB Member Kathleen Cristman motioned to allow the Planning Board to serve as Lead Agency for SEQRA review of the Geoca Subdivision at 215 Mendon Road, seconded by DRHPB Member John Mitchell.

**NEW COMMERCIAL APPLICATIONS:**

**3349 Monroe Avenue – Dick’s Warehouse**

The Applicant is requesting design review for the addition of approximately 225 SF between 2 signs for Dick’s Warehouse.

Kirk Wright, of Sign & Lighting Services, LLC, introduced the application. Dick’s Sporting Goods is requesting two externally illuminated signs for a suite in Pittsford Plaza, formerly Stein Mart. The signs will be flat panels with down-lighting. Vice Chairman Dave Wigg asked if the signs will have any backlighting? Mr. Wright stated that there is no backlighting proposed for these signs.

Board Member Cristman motioned to approve the application as submitted, seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved.

**3130 Monroe Avenue – Magic Smoke Shop**

The Applicant is returning to design review for the addition of an approximately 36 SF sign for a smoke shop and painting of the building.

Kevin Downey, of Monroe Oaks, LLC, introduced the application. The applicant is proposing to paint the entire building white for both the Nailscape and Magic Smoke Shop suites. The southeast tenant, Magic Smoke Shop, is proposing to paint the window trim black, while the northwest tenant, Nailscape, would not have black window trim. The current awning on the Nailscape side would be replaced with a similar awning to be squared off at the end, where the current awning is rounded, and to match the trim color of the other tenant side. White vinyl is proposed for the underside of the awning. The Board discussed their preference for a lighter color for the Magic Smoke Shop window trim, possibly gray. The applicant also offered two options for Magic Smoke Shop's sign. The Board showed preference for the sign that was all green, seen below.



Vice Chairman Wigg motioned to approve the green sign for Magic Smoke Shop, the white paint for the complete building, the gray squared-off replacement awning for Nailscape, and the gray window trim for Magic Smoke Shop, second by Kathleen Cristman. Following a unanimous voice vote, the application was approved.

**361 North Washington Street – Schiller Corp.**

The Applicant is requesting design review for the addition of an approximately 28 SF sign for Schiller Corp.

The applicant was not present. The Board agreed to hold this application over to the next DRHPB meeting on June 8, 2023.

**RETURNING RESIDENTIAL APPLICATIONS:**

**15 Whitestone Lane**

The Applicant is returning for design review to enclose existing front porch with new entryway overhang and add new shed dormer over main floor addition.

Lindsay Fox, of TPG Architecture, introduced the application. Ms. Fox stated that the revised plans include porch projections, revised trim around windows on the upper level, added sidelights, and removal of the arched windows. Vice Chairman Wigg asked Ms. Fox if the windows will be simulated divided lites (SDLs). Ms. Fox stated that SDLs are anticipated, but the applicant may mix and match. Vice Chairman Wigg and Board Member Cristman showed favor for the entryway's updated rounded ceiling. Ms. Fox stated that white 4" horizontal siding will be added to match the existing home.

Board Member Mitchell motioned to approve the enclosure of the existing front porch with a new entryway overhang and addition of a new shed dormer over the main floor addition, including squared windows, a barrel ceiling on the entryway overhang, with all materials to match the

existing home, seconded by Board Member Cristman. Following a unanimous voice vote, the revised application was approved.

**NEW RESIDENTIAL APPLICATIONS:**

**39 Knollwood Drive**

The Applicant is requesting design review for the construction of an approximately 540 SF garage addition.

Jack Sigrist, of Architectural Innovations, PC, introduced the application. The applicant is proposing a garage addition to turn the existing garage into a side-load garage and allow for living space on the second floor. The applicant has received an area variance from the Zoning Board of Appeals on April 17, 2023 for the addition to extend into the side setback. The proposed roof, new arched windows, and siding will match the existing home frontage. Vice Chairman Wigg asked if the roof will be asphalt shingles. Mr. Sigrist confirmed that asphalt roof shingles will be used to match the existing home. Board Member Cristman asked if the new garage doors will face the side. Mr. Sigrist confirmed.

DRHPB Member Paul Whitbeck motioned to approve the construction of an approximately 540 square-foot garage addition as submitted, seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved.

**80 North Country Club Drive**

The Applicant is requesting design review for renovations to the front elevation of the home.

Lindsay Fox, of TPG Architecture, introduced the application. The applicant is proposing window reconfigurations, a front door replacement, and addition of cultured stone at the base of the home. The existing garage doors will also be replaced and squared off. Board Member Cristman asked Ms. Fox to provide the color of the proposed stone. Ms. Fox stated that the stone is a light gray cobble. Ms. Fox asked the Board to include the option of a metal roof in their approval. The Board determined that either an asphalt shingles roof or metal roof would be approved, not both.

Vice Chairman Wigg motioned to approve the front facade renovations as submitted, seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved.

**12 Kalleston Drive**

The Applicant is requesting design review for the construction of a 100 SF attached shed.

Zach Podkaminer, of 12 Kalleston Drive, introduced the application. The applicant is proposing to replace the existing storage shed with an attached shed that will tie into the house. The proposed roof and siding will match the existing home, which since the photos included in the packet, has been painted gray. Vice Chairman Wigg asked if the attached shed will be constructed on a poured concrete slab. Mr. Podkaminer confirmed.

Board member Cristman motioned to approve the 100 square-foot attached shed as submitted seconded by Vice Chairman Wigg. Following a unanimous voice vote, the application was approved.

**57 Coventry Ridge**



The Applicant is requesting design review for the construction of an approximately 3860 SF two-story single-family home located in the Coventry Ridge Subdivision.

Jim Connaughton, of Spall Homes, introduced the application. Mr. Connaughton showed similar homes in the subdivision that have been constructed. Board Member Whitbeck asked if a window could be added above the garage. Mr. Connaughton stated that a window is not desired in that location as the room inside is a bathroom.

Vice Chairman Wigg motioned to approve the approximately 3860 square-foot two-story single-family home as submitted, seconded by Board Member Mitchell. Following a unanimous voice vote, the application was approved.

### **76 Coventry Ridge**

The Applicant is requesting design review for the construction of an approximately 3720 SF two-story single-family home located in the Coventry Ridge Subdivision.

Jim Connaughton, of Spall Homes, introduced the application. Mr. Connaughton showed similar homes in the subdivision that have been constructed.

Board Member Whitbeck motioned to approve the approximately 3720 square-foot two-story single-family home as submitted, seconded by Vice Chairman Wigg. Following a unanimous voice vote, the application was approved.

### **OTHER DISCUSSION:**

#### **28 Whitestone Lane**

The Applicant is requesting informal design review for the additions and renovations to the property.

Kim Bailey, of Stahl Property Associates, and Emily Rizzo, of 36 Whitestone Lane, introduced the informal presentation. The applicant is proposing a conversion of the existing garage to living space, a two-story 3-car garage addition to the east, a one-story addition off the back of the home, a second-story addition on the west side of the home, and two-story addition with a covered patio to accompany the new pool deck, pool, and hot tub. Ms. Bailey stated that the additions will match the existing brick and double-shingle asphalt roof, and siding will be proposed in some areas. Vice Chairman Wigg asked if the home was constructed with terracotta brick. Ms. Bailey was unsure of the material of the brick. She stated it was handmade when the home was constructed. Vice Chairman Wigg asked if the ridgeline of the addition will be taller than the original home. Ms. Bailey stated the ridgeline will match the existing home. Board Member Cristman stated she was not in favor of the cupola proposed on the main area of the home or the archway at the front door entrance. Board Member Mitchell was also not in favor of the cupola. Vice Chairman Wigg asked about materials for the garage doors. Ms. Bailey stated that the garage doors and front doors are planned to be mahogany. Board Member Mitchell asked if the balcony would be usable. Ms. Bailey stated that the balcony will not be accessible. Ms. Bailey thanked the Board for their comments and stated that a formal review should be anticipated at an upcoming meeting.

The minutes of April 27, 2023, were approved following a motion by Vice Chairman Wigg, seconded by Board Member Cristman. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Vice Chairman Dave Wigg closed the meeting at 7:37PM.

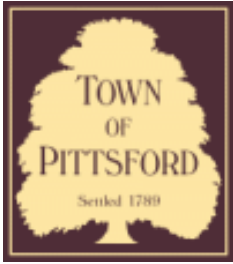
Respectfully submitted,

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April Zurowski  
Planning Assistant  
Acting Secretary to the Design Review and Historic Preservation Board

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING  
DEPARTMENT

DRAFT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000073**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 10 Black Wood Circle PITTSFORD, NY 14534

**Tax ID Number:** 178.03-5-30

**Zoning District:** IZ Incentive Zoning

**Owner:** Wilshire Hill LLC

**Applicant:** Wilshire Hill LLC

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

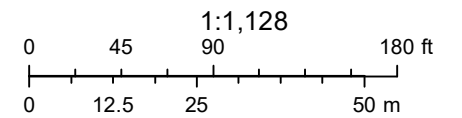
**Project Description:** Applicant is requesting design review for the construction of an approximately 1762 SF new single story family home in the Wilshire Hill subdivision.

**Meeting Date:** June 08, 2023

# RN Residential Neighborhood Zoning



Printed June 1, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

04/03/2021

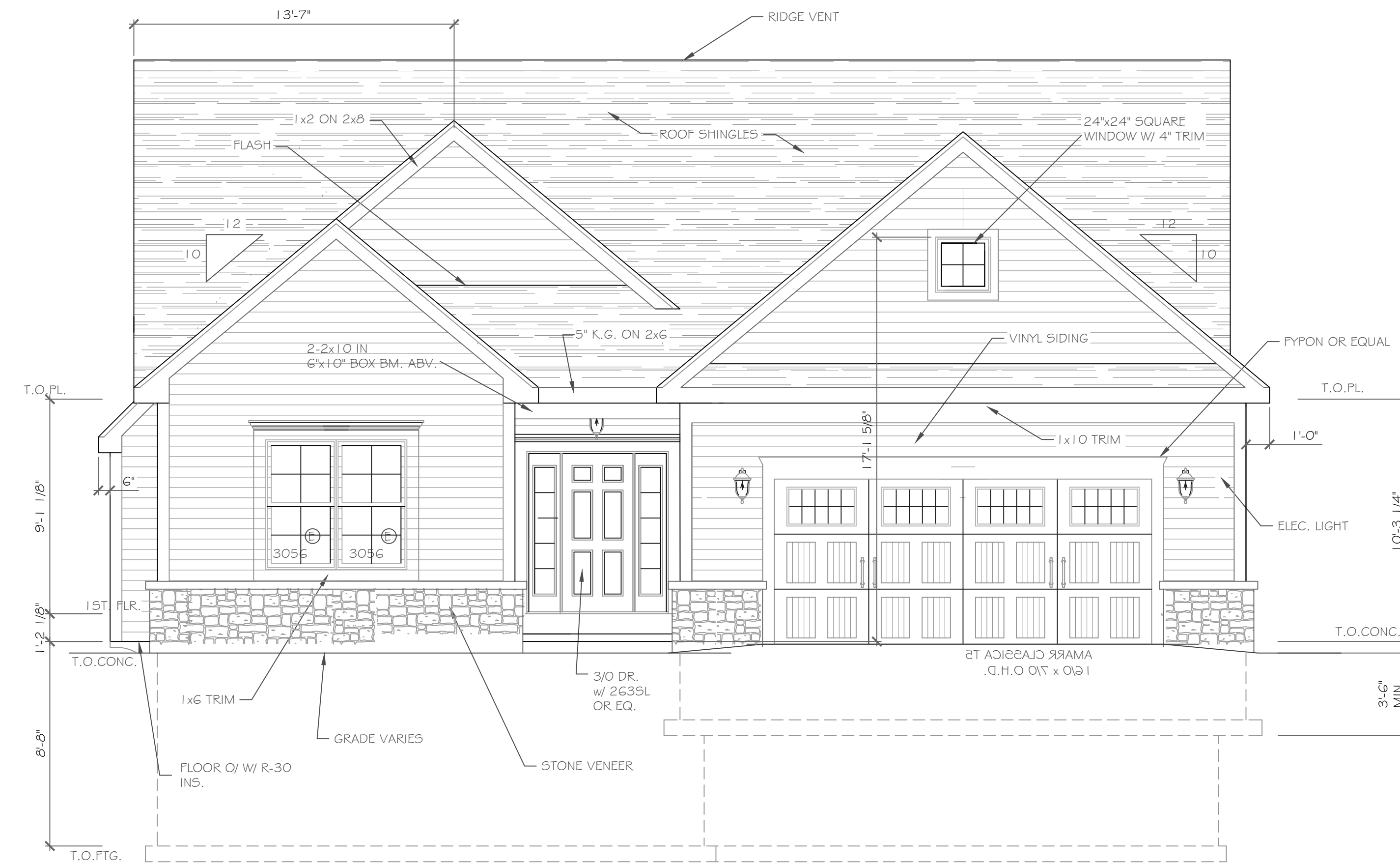
© All EagleView Technology Corporation



# DESIGN CRITERIA:

-For Greater Rochester Area and surrounding counties.

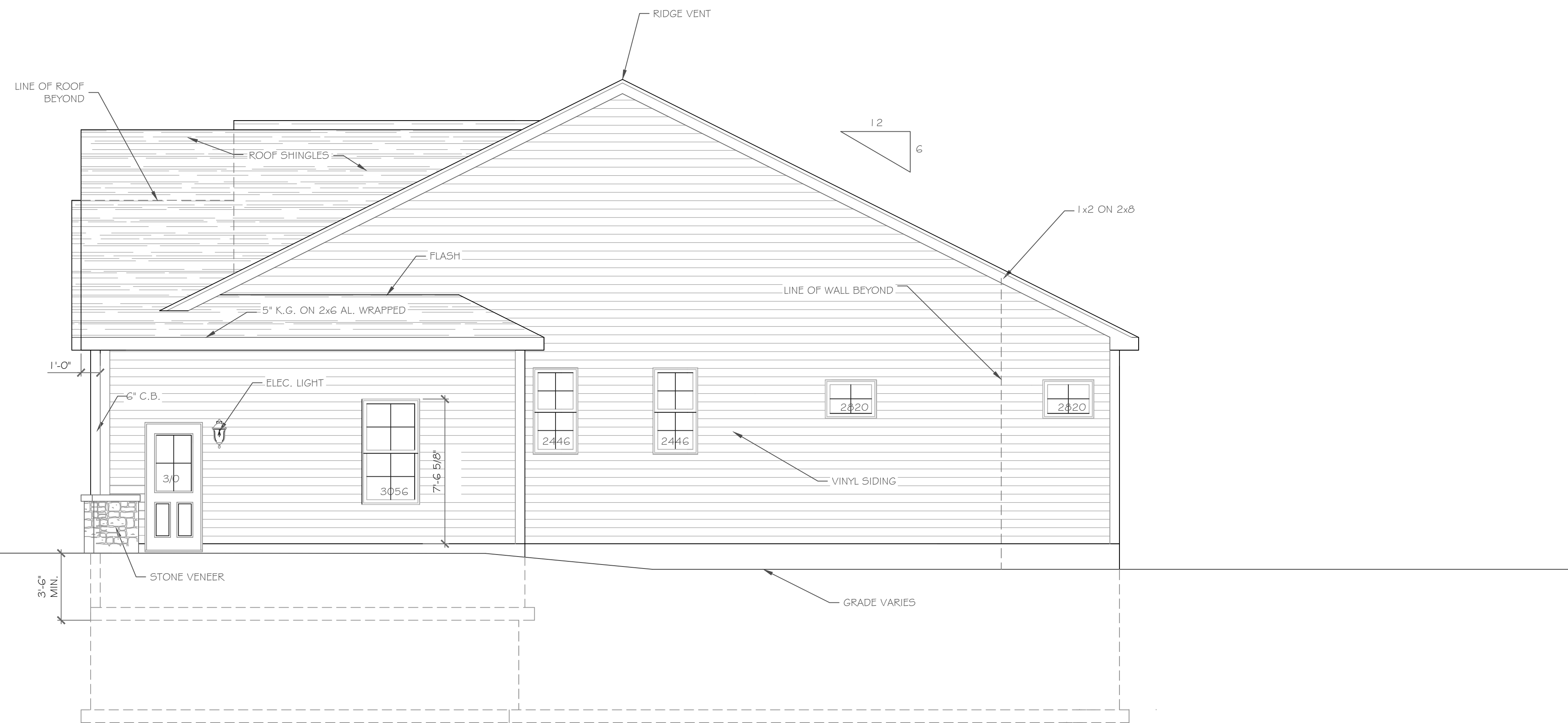
1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 1762 S.F.

1/4" = 1'-0"

- NOTE:
- WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL
  - DOORS TO BE "THERMA-TRU" OR EQ.
  - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
  - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
  - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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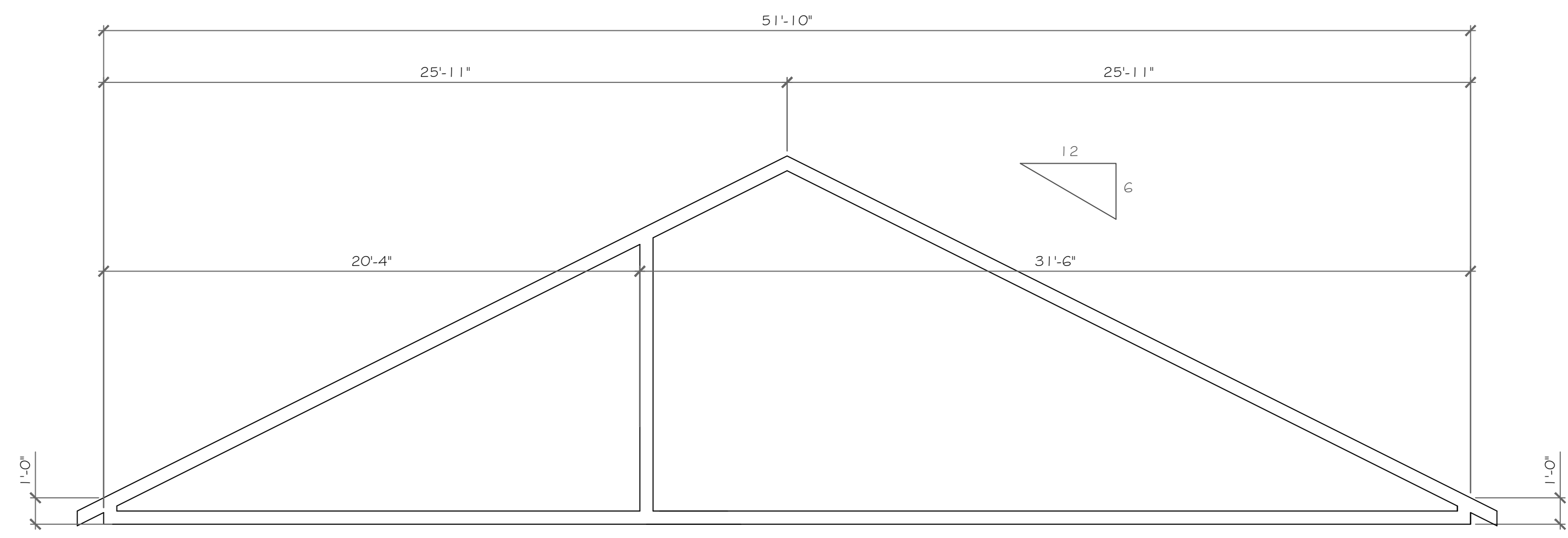
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:	Elevations
PHASE:	Construction Documents

PROJECT:	Lot 29C, Wishire Hill Pittsford, N.Y.
CLIENT:	Pride Mark Homes, Inc.
JOB NO.:	A23-022
DATE:	May 1, 2023

**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHmessey@frontiernet.net

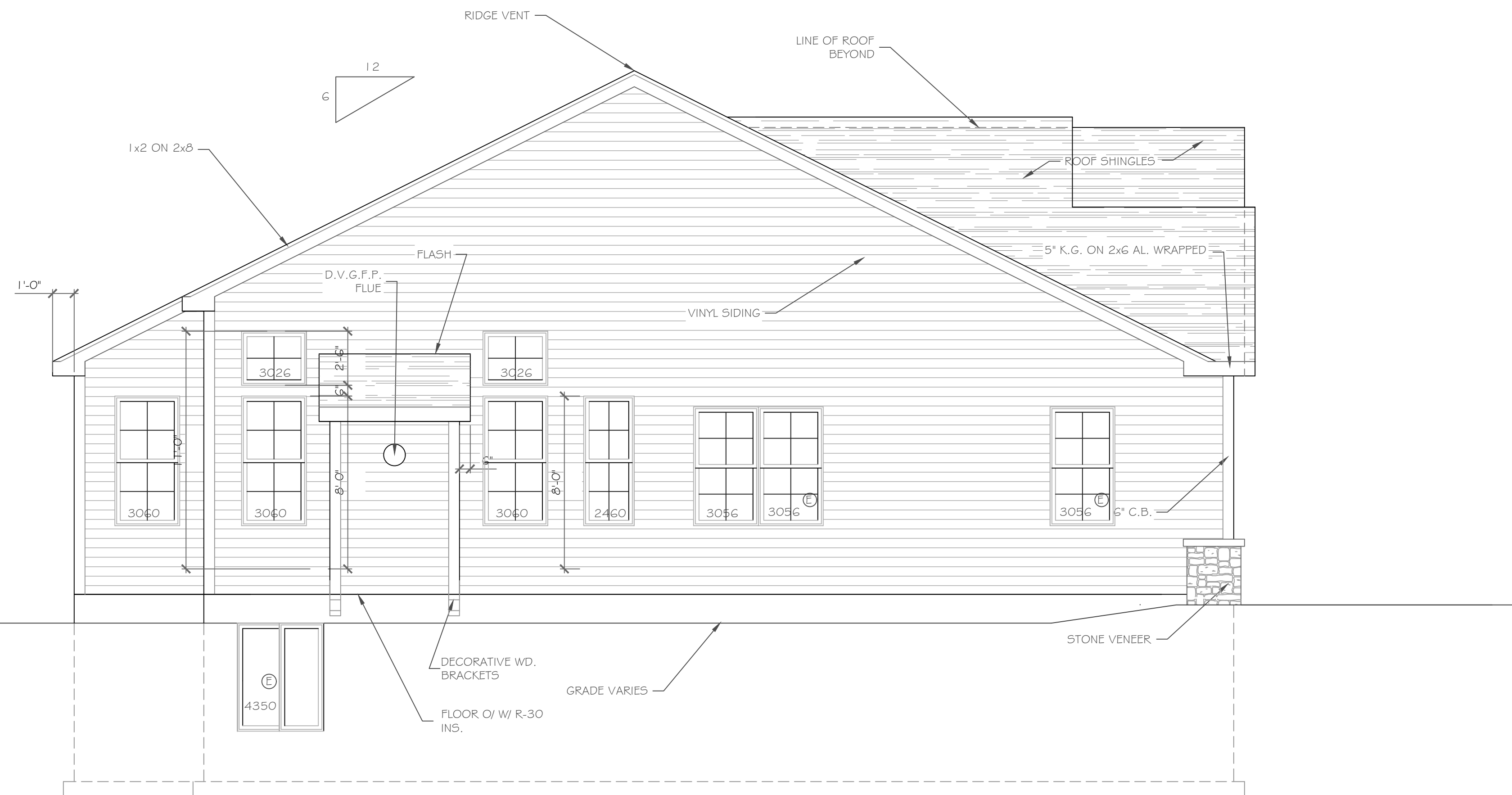
DRAWING NO. -  
**A-1**



TRUSS TYPE 'G'  
1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"




LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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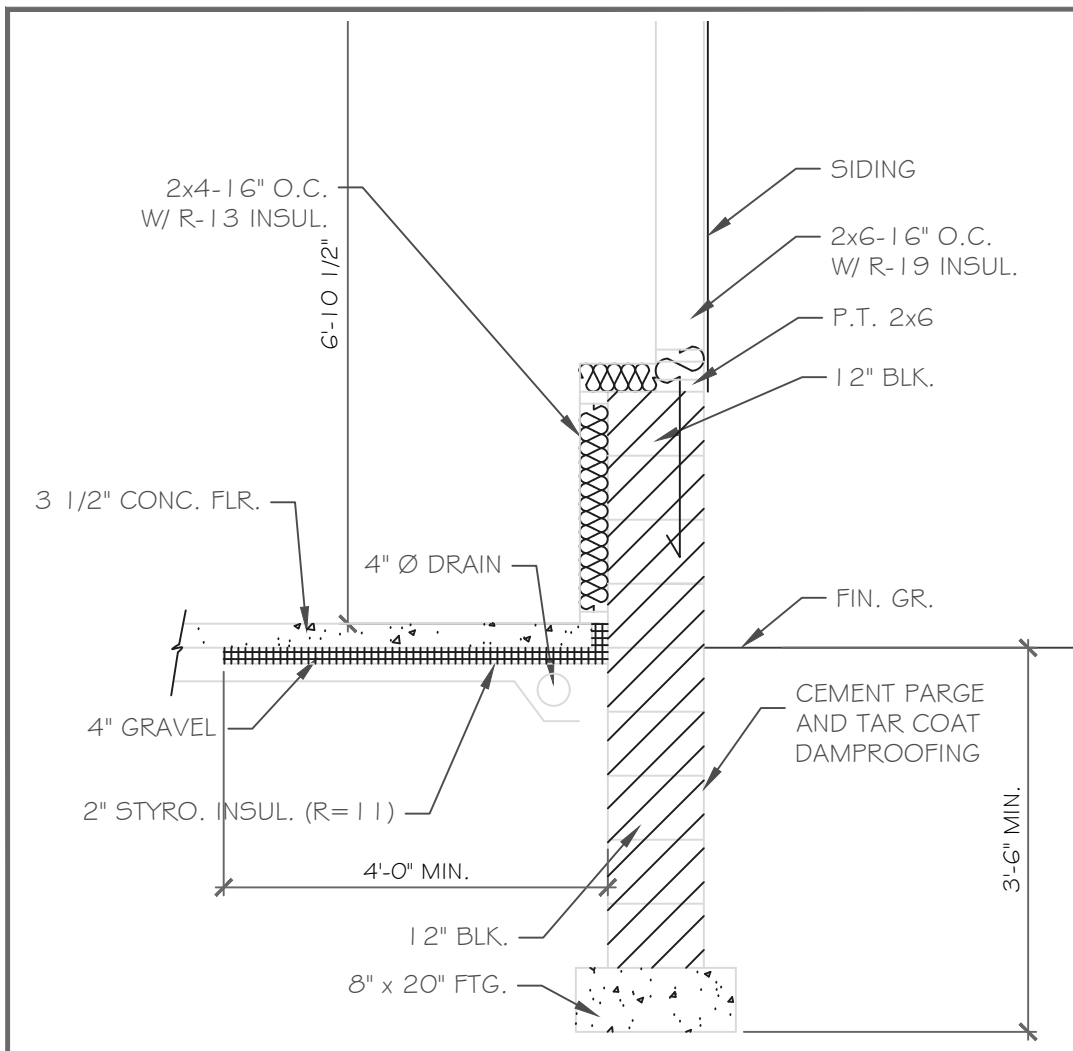
REVISIONS- NO.	DATE	DESCRIPTION

PROJECT- Lot 29C, Wishire Hill Pittsford, N.Y.	DRAWING TITLE- Elevations	PHASE- Construction Documents
CLIENT- Pride Mark Homes, Inc.	DATE- May 1, 2023	
JOB NO.- A23-022		

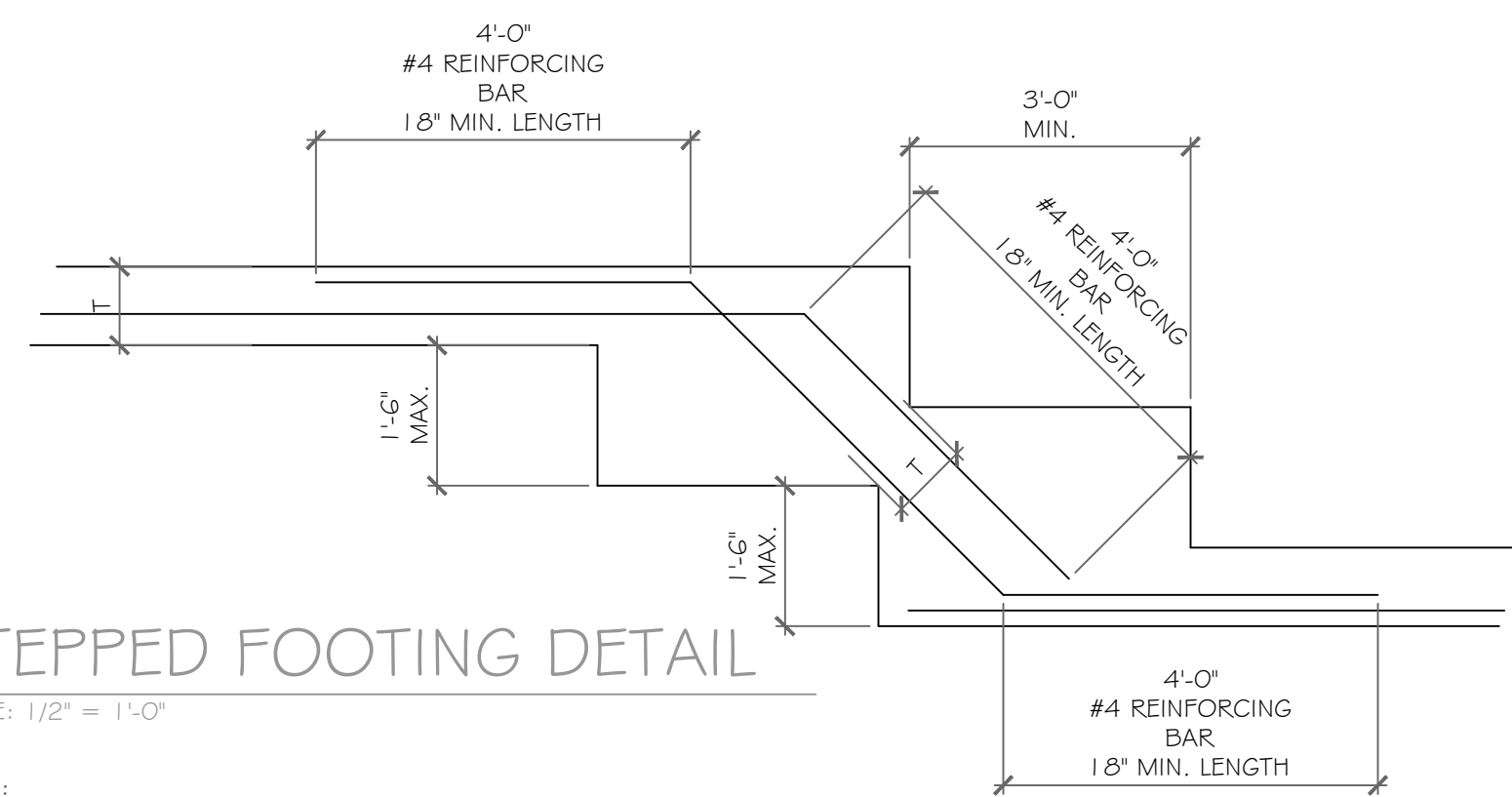
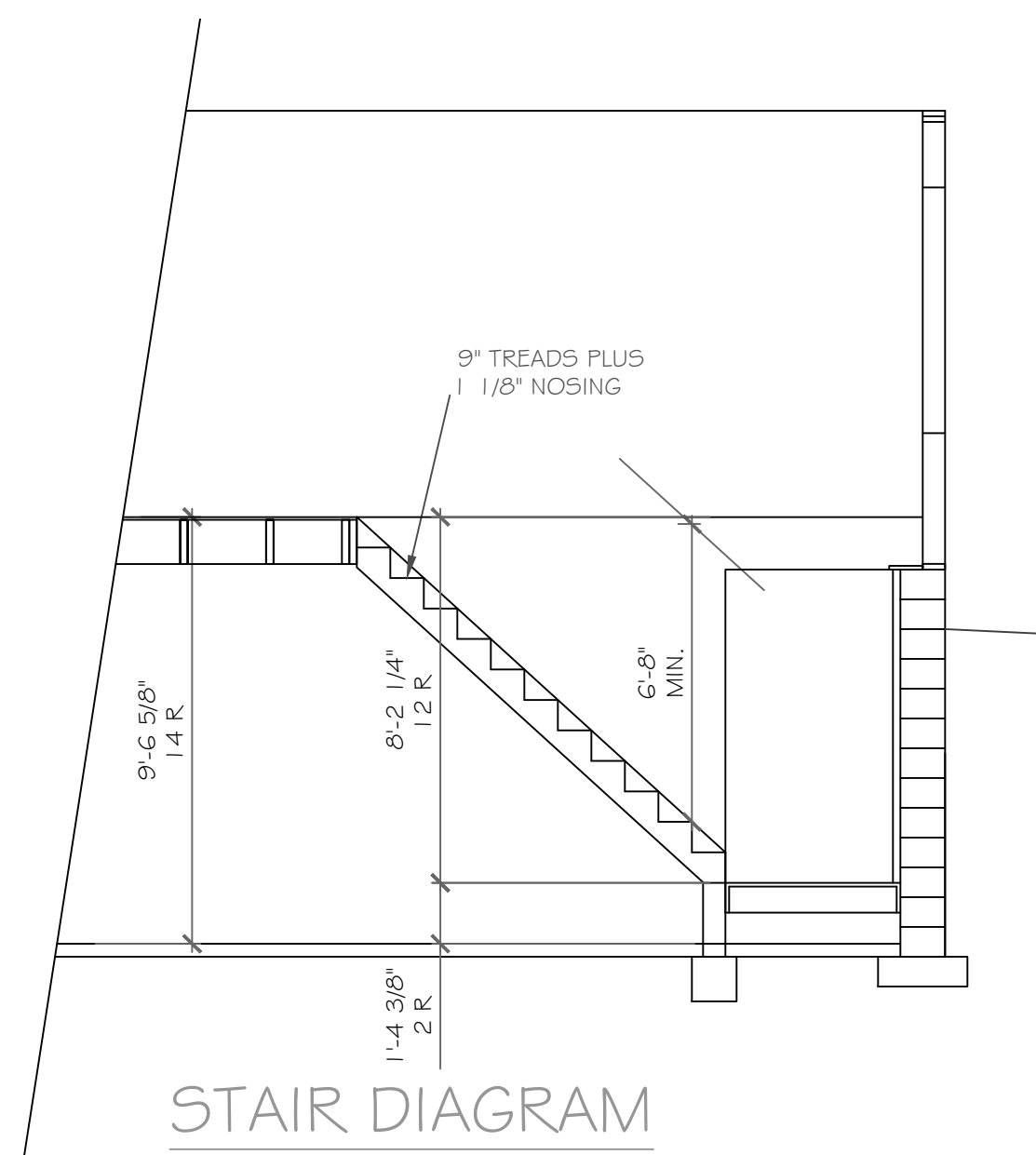
 <p>1501 Pittsford Victor Road Suite 100 Victor, New York 14564 phone: (585) 249-1334 e-mail: CKHennessey@frontier.net</p>
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DRAWING NO.- <b>A-5</b>
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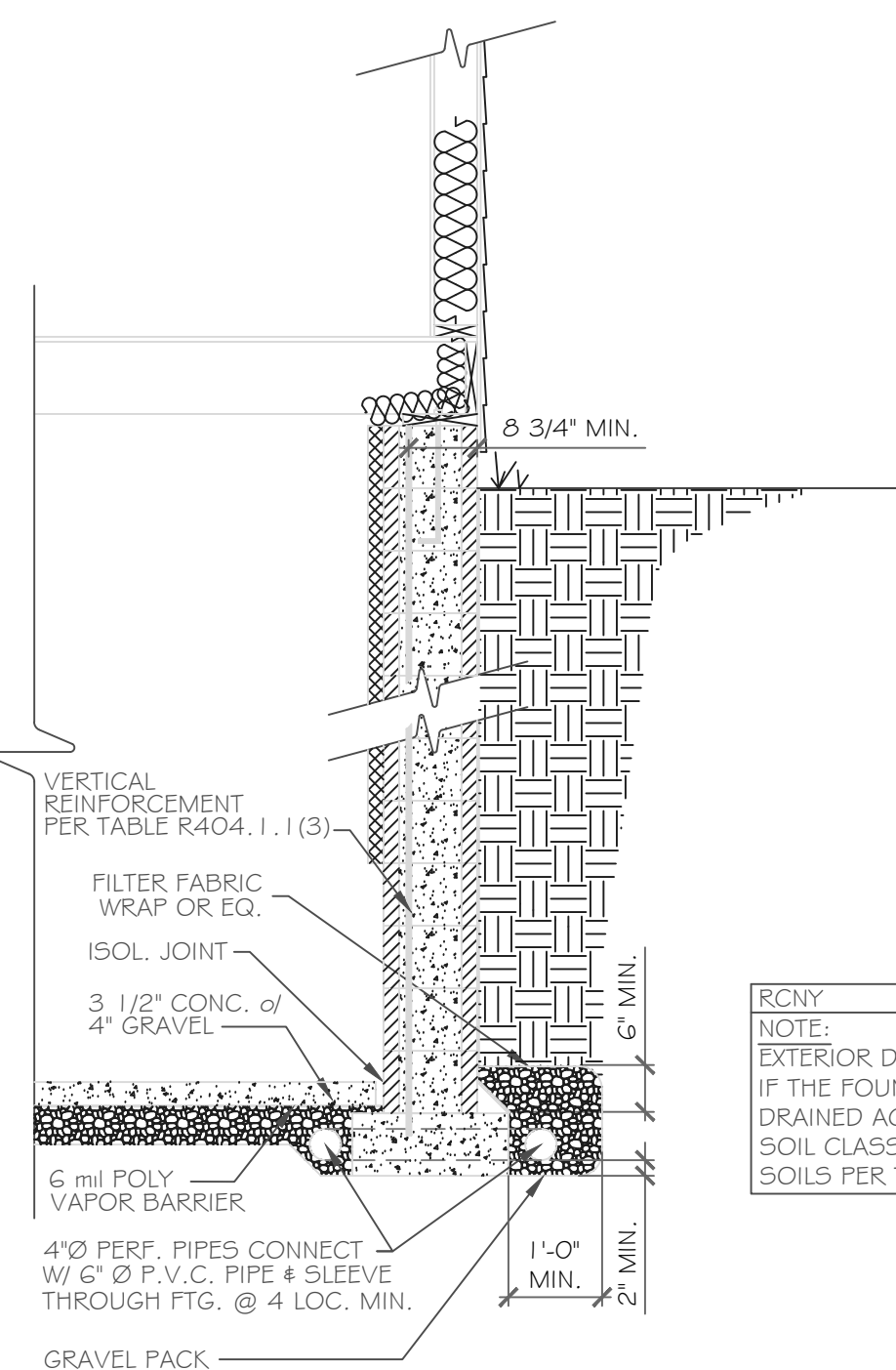


**DETAIL 1**  
SCALE: 1/2" = 1'-0"



**STEPPED FOOTING DETAIL**  
SCALE: 1/2" = 1'-0"

**NOTE:**  
T = FOOTING THICKNESS  
-THE MINIMUM FOOTING THICKNESS, T, IN STEPPED AREAS SHALL EQUAL THE FOOTING THICKNESS IN THOSE UNSTEPPED AREAS.  
-THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN THOSE UNSTEPPED AREAS.  
-A MINIMUM OF 3" OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.



**RCNY NOTE:**  
EXTERIOR DRAIN TILE IS OPTIONAL IF THE FOUNDATION SOILS ARE WELL DRAINED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS PER TABLE, R405.1

PARTIAL TABLE R404.1.1(3)  
REINFORCED CONCRETE AND MASONRY(a) FOUNDATION WALLS

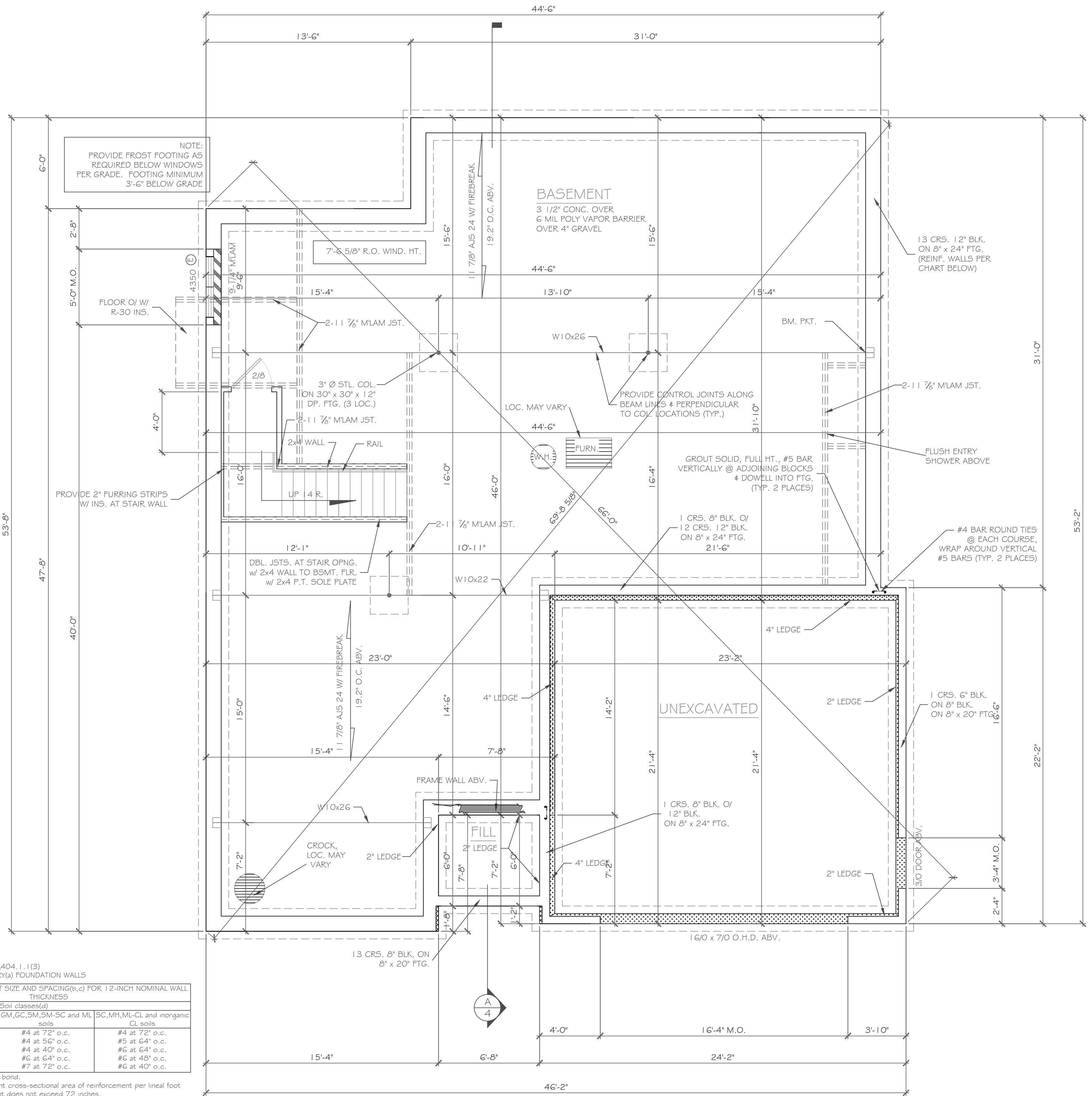
MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	VERTICAL REINFORCEMENT SIZE AND SPACING(b,c) FOR 12-INCH NOMINAL WALL THICKNESS			
		Soil classes(d)	Soil classes(d)	Soil classes(d)	Soil classes(d)
9	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.
	6	#4 at 72" o.c.	#4 at 56" o.c.	#5 at 64" o.c.	#4 at 72" o.c.
	7	#4 at 56" o.c.	#4 at 40" o.c.	#6 at 64" o.c.	#4 at 72" o.c.
	8	#5 at 64" o.c.	#6 at 64" o.c.	#6 at 48" o.c.	#6 at 40" o.c.

a. Mortar shall be Type M or S and masonry shall be laid in running bond.  
b. Alternative reinforcing bar sizes and spacings having an equivalent cross-sectional area of reinforcement per linear foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches.  
c. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 8.75 inches.  
d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.  
e. Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

**BASEMENT & FOUNDATION PLAN**  
1/4" = 1'-0"

**NOTE:**  
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING & GROUT BLOCK CORES SOLID FULL HEIGHT AT ALL BEAM BEARINGS  
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. LEGEND:**  
ELEV. = 0' : [Pattern] -1 CRS.  
ELEV. = 0 - 8' : [Pattern] -2 CRS.  
ELEV. = (-) 1'-4" : [Pattern] -3 CRS.  
ELEV. = (-) 6'-0" : [Pattern] -9 CRS.



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**REVISIONS:**

NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
Basement & Foundation Plan

**PHASE:**  
Construction Documents

**PROJECT:**  
Lot 29C, Wishire Hill  
Pittsford, N.Y.

**CLIENT:**  
Pride Mark Homes, Inc.

**JOB NO.:**  
A23-022

**DATE:**  
May 1, 2023

**CKH architecture**  
1501 Pittsford Victor Road  
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**DRAWING NO.:**  
A-2

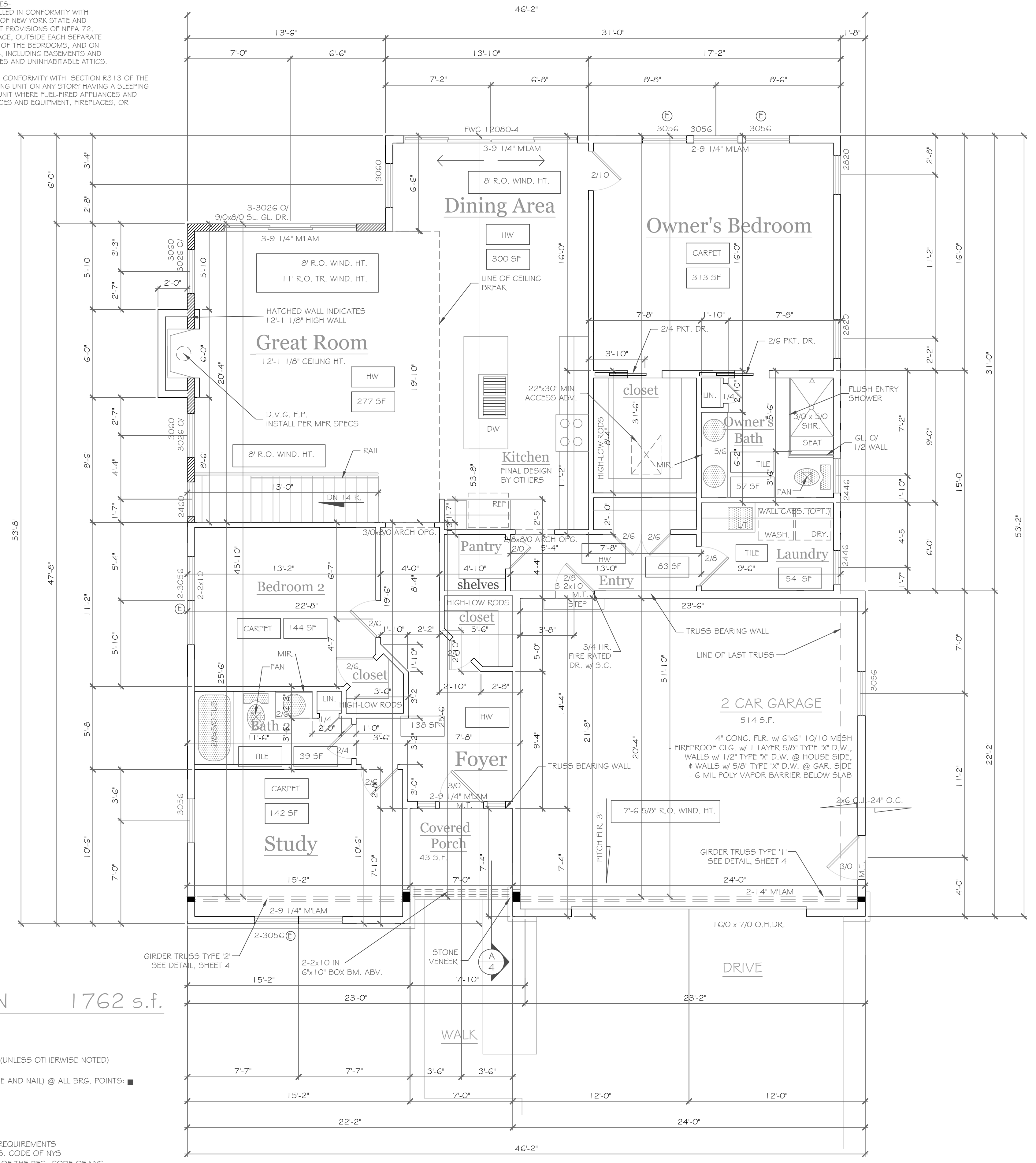


NOTES: SMOKE DETECTION & ALARM DEVICES:  
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RES. CODE OF NYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

FIRST FLOOR PLAN 1762 s.f.

1/4" = 1'-0"  
NOTES:  
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)  
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.  
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS. ■  
APPLIANCES PER CONTRACT  
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.  
CEILING HTS. TO BE 9'-1 1/8" U.O.N.  
ANGLES TO BE 1/2" U.O.N.  
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.  
Ⓢ: WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
\* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS  
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG



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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:  
**First Floor Plan**

PHASE:  
Construction Documents

PROJECT:  
Lot 29C, Wilshire Hill  
Pittsford, N.Y.

CLIENT:  
Pride Mark Homes, Inc.

JOB NO.:  
A23-022

DATE:  
May 1, 2023

**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York, 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frommet.net

DRAWING NO.:  
**A-3**



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**ZB23-000016**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 16 Cedarwood Circle PITTSFORD, NY 14534

**Tax ID Number:** 178.11-2-26

**Zoning District:** RN Residential Neighborhood

**Owner:** Timineri, Lynn

**Applicant:** Timineri, Lynn

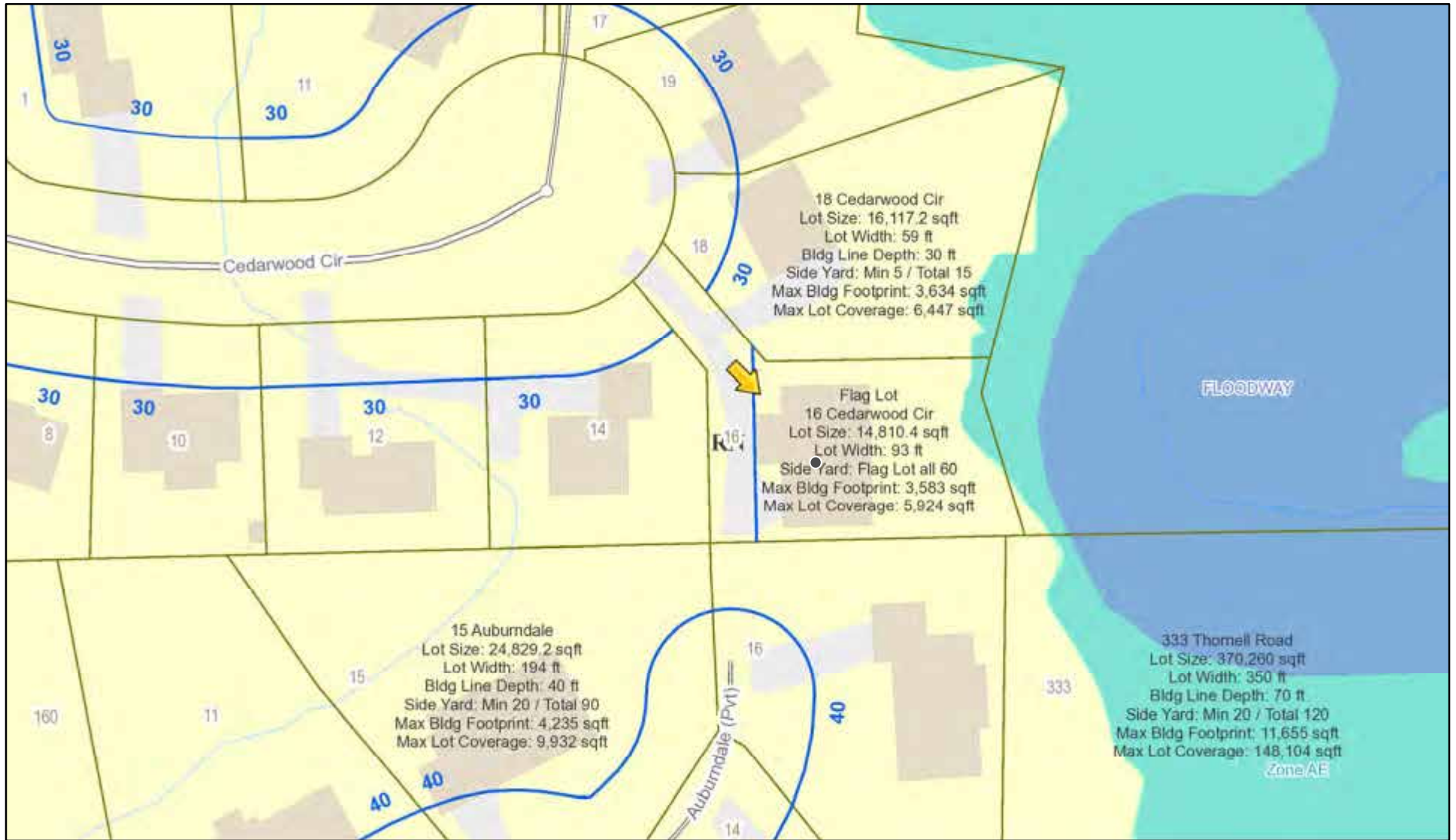
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

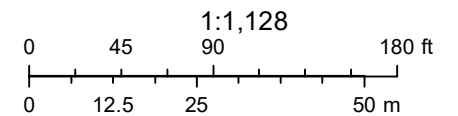
**Project Description:** Applicant is requesting design review for an approximately 300 SF addition on the front of the house.

**Meeting Date:** June 08, 2023

# RN Residential Neighborhood Zoning



Printed May 30, 2023



Town of Pittsford GIS

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18

12

14

16

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16

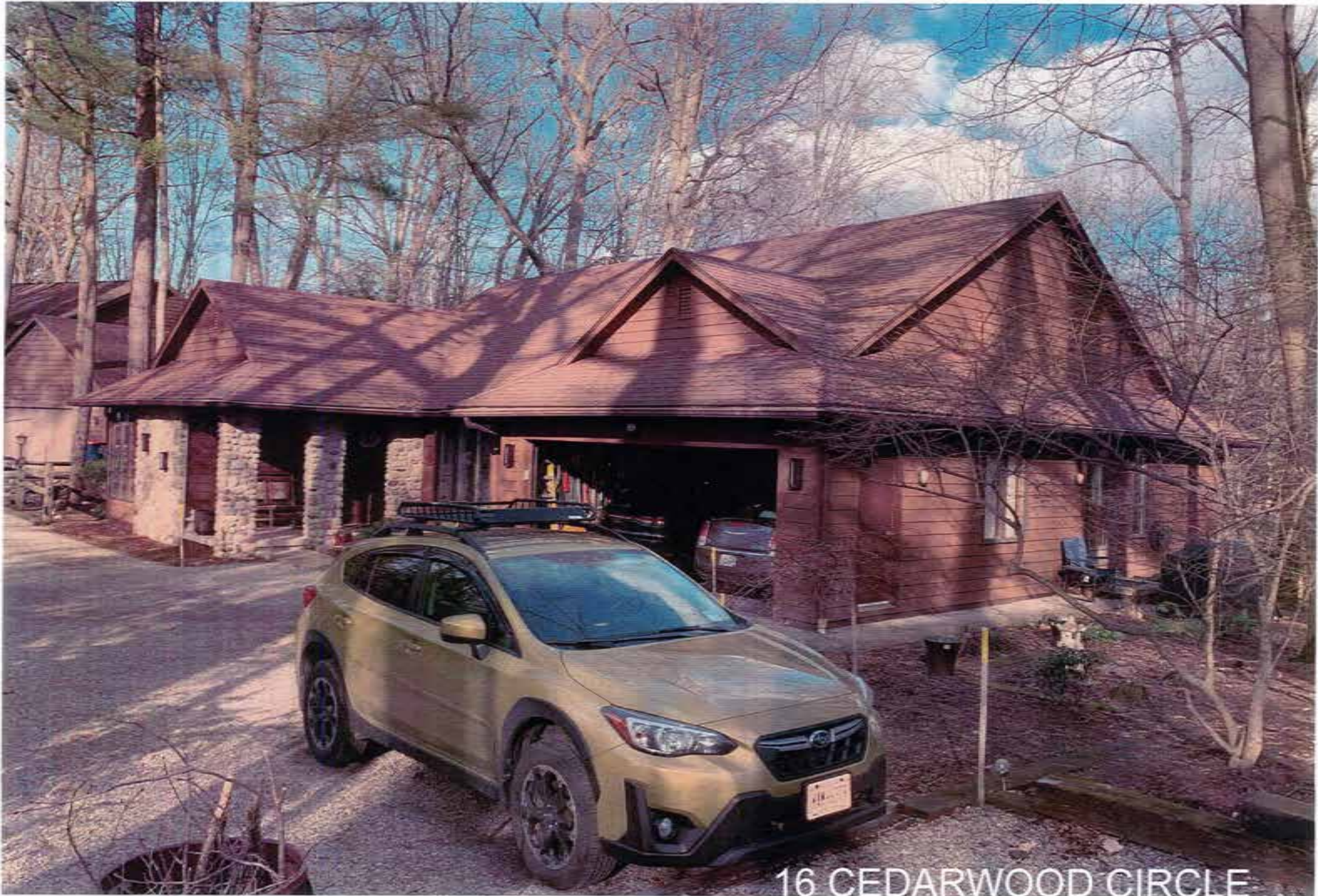
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AE

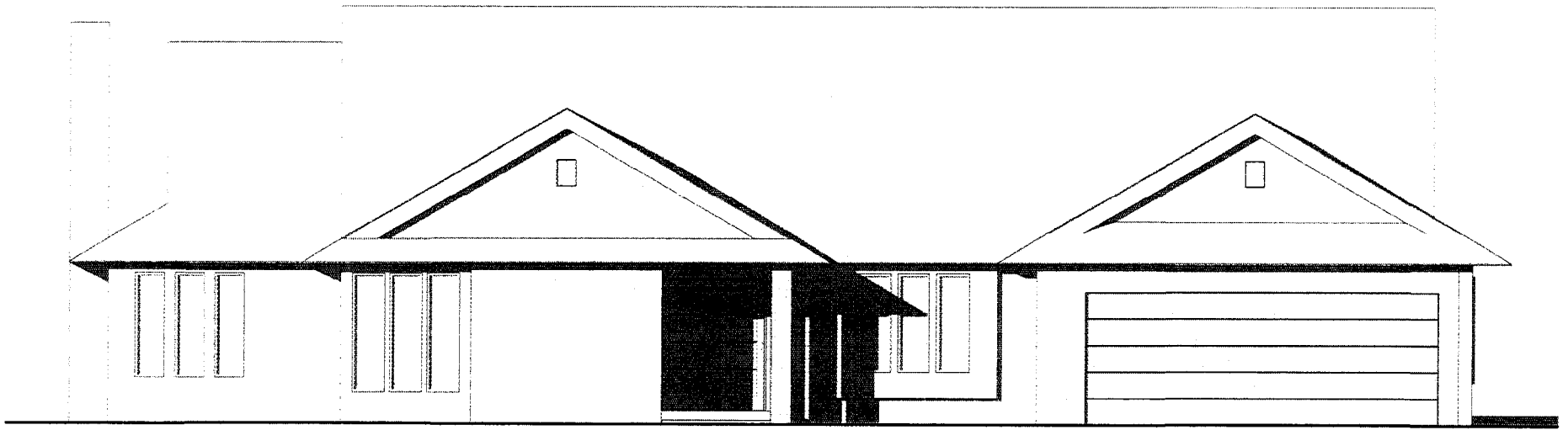
418.9

333





16 CEDARWOOD CIRCLE



① WEST EXTERIOR ELEVATION - EXISTING CONDITIONS  
1/8" = 1'-0"

16 CEDARWOOD CIRCLE

04/10/2023



BITA ARCHITECTURE + DESIGN  
65 Meadow Cove Road  
Pittsford New York 14534  
(773) 827-9654

ASK-04 - WEST EXTERIOR ELEVATION  
EXISTING CONDITIONS

© 2023 BITA





1 WEST EXTERIOR ELEVATION - PROPOSED DESIGN  
1/8" = 1'-0"

NEW FINISHES TO MATCH EXISTING

16 CEDARWOOD CIRCLE

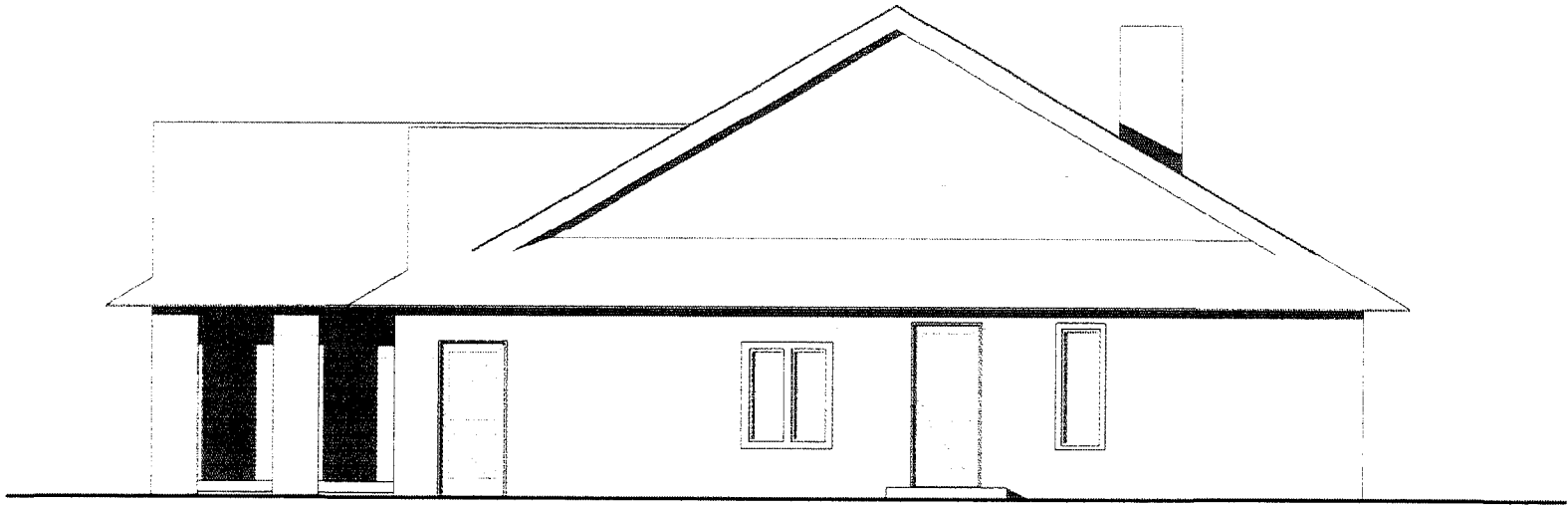
04/10/2023



BITA ARCHITECTURE + DESIGN  
65 Meadow Cove Road  
Pittsford New York 14534  
(773) 827-9654

ASK-05 - WEST EXTERIOR ELEVATION  
PROPOSED DESIGN

© 2023 BITA



① SOUTH EXTERIOR ELEVATION - EXISTING CONDITIONS  
1/8" = 1'-0"

16 CEDARWOOD CIRCLE

04/10/2023

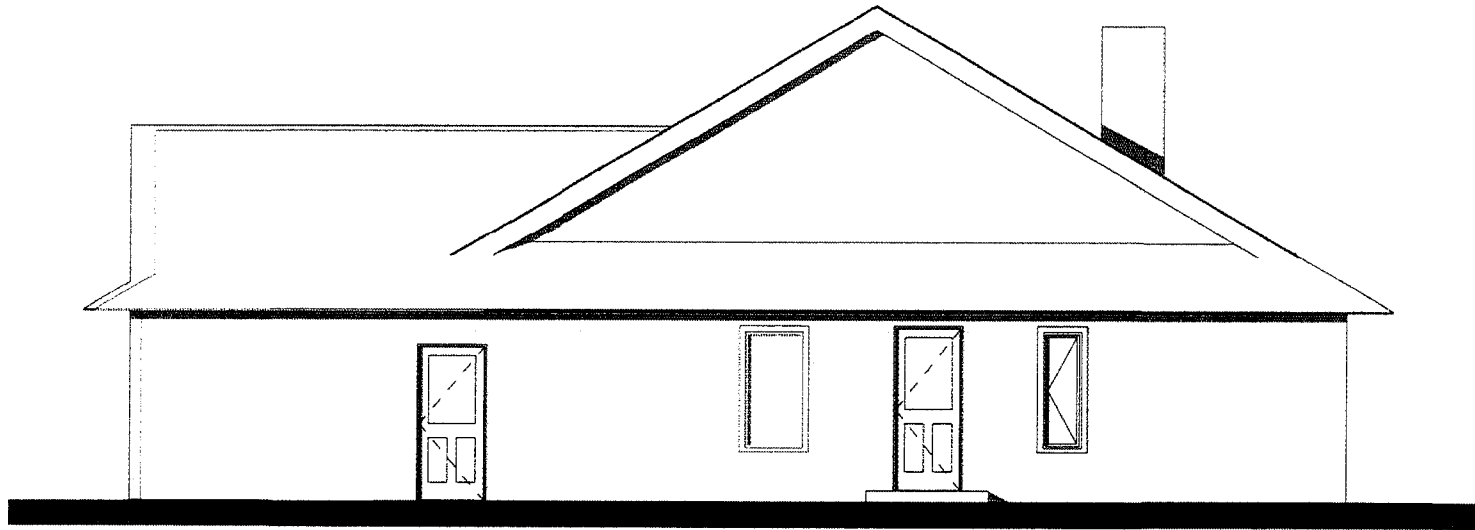


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65 Meadow Cove Road  
Pittsford New York 14534  
(773) 827-9654

ASK-06 - SOUTH EXTERIOR ELEVATION  
EXISTING CONDITIONS

© 2023 BITA





NEW FINISHES TO MATCH EXISTING

1 SOUTH EXTERIOR ELEVATION - PROPOSED DESIGN  
1/8" = 1'-0"

16 CEDARWOOD CIRCLE

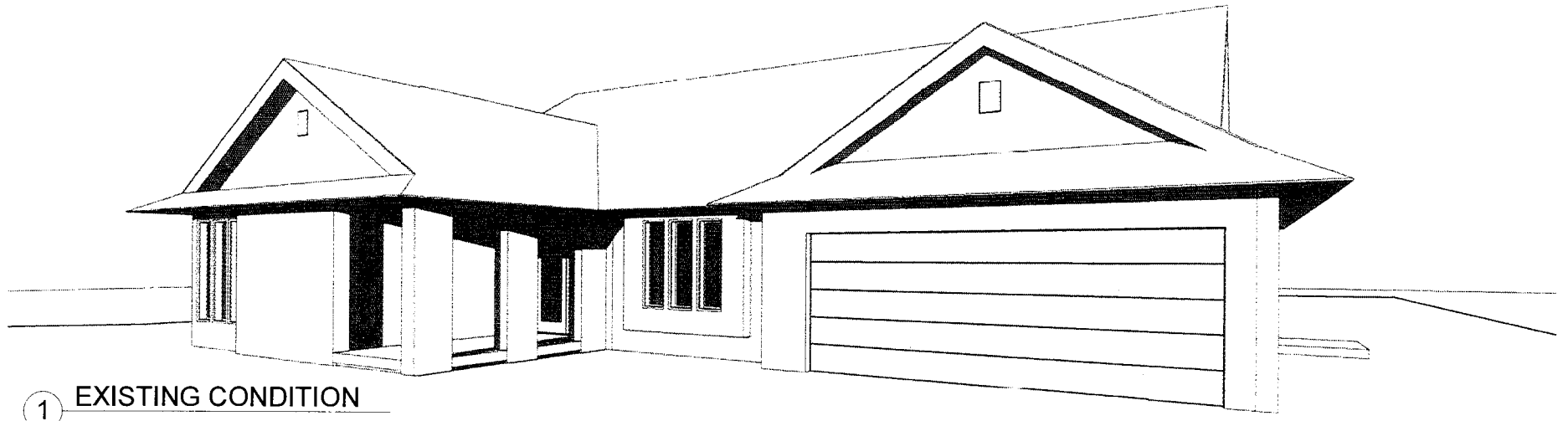
04/10/2023



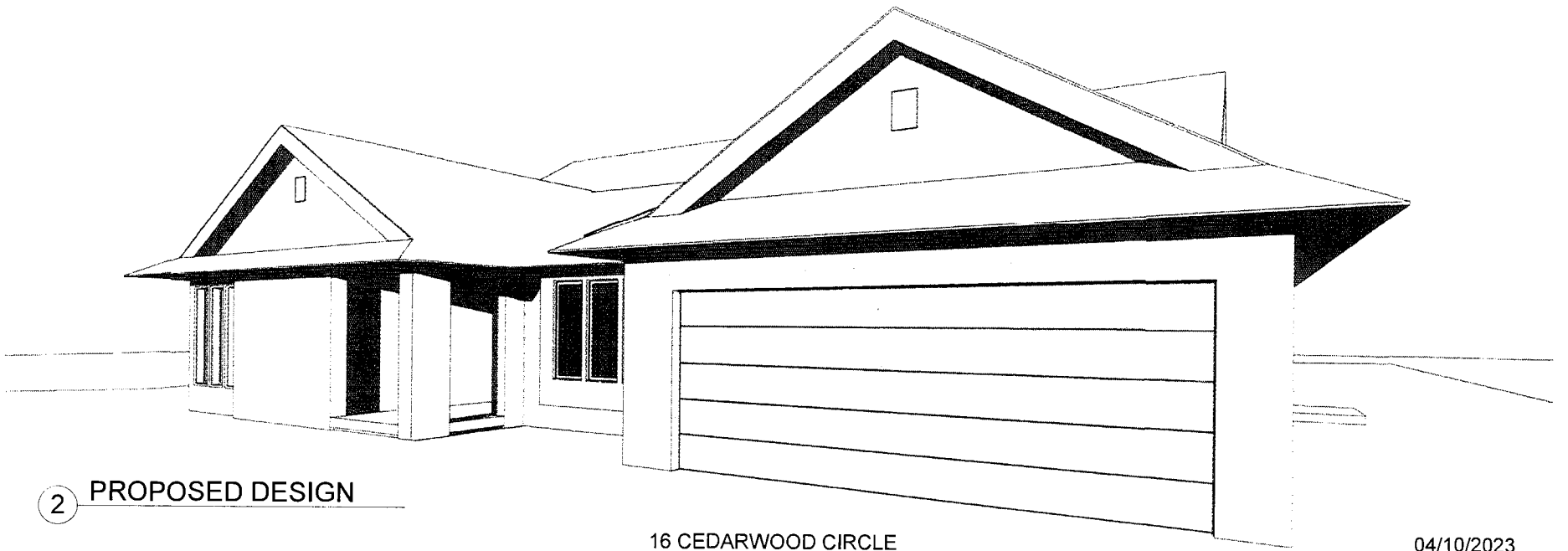
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65 Meadow Cove Road  
Pittsford New York 14534  
(773) 827-9654

ASK-07 - SOUTH EXTERIOR ELEVATION  
PROPOSED DESIGN

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1 EXISTING CONDITION



2 PROPOSED DESIGN

16 CEDARWOOD CIRCLE

04/10/2023

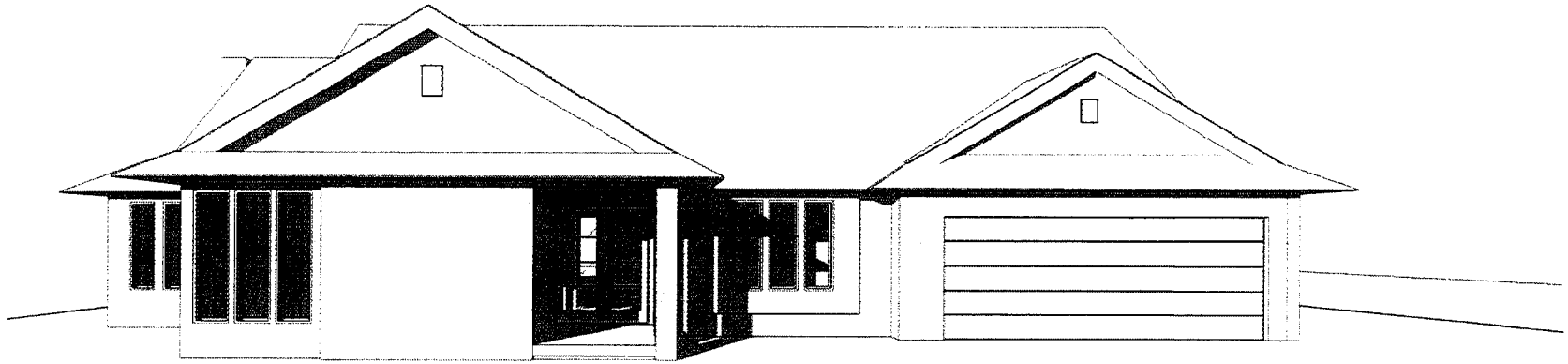
ASK-08 - EXTERIOR PERSPECTIVES

SCALE:

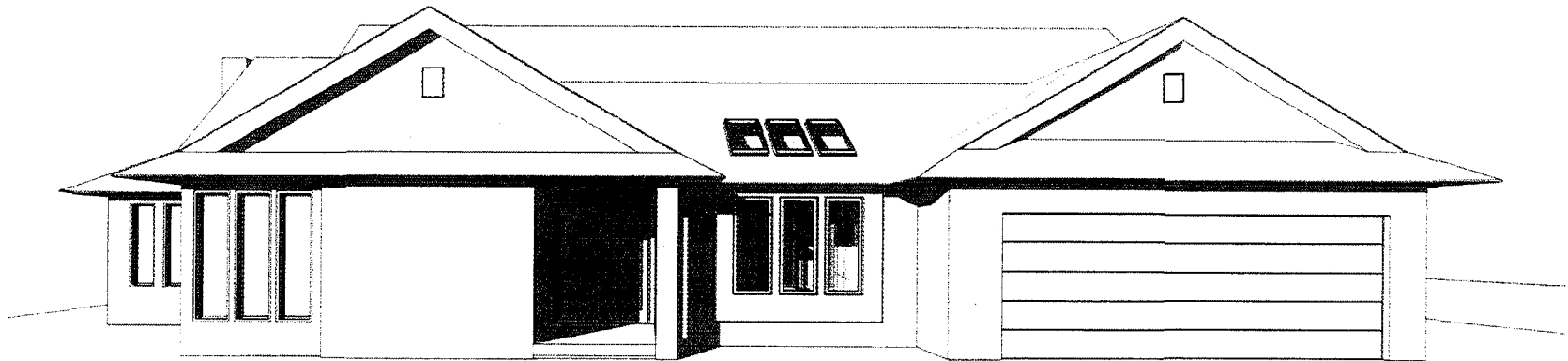
© 2023 BITA



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65 Meadow Cove Road  
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① EXISTING CONDITION



② PROPOSED DESIGN

16 CEDARWOOD CIRCLE

04/10/2023

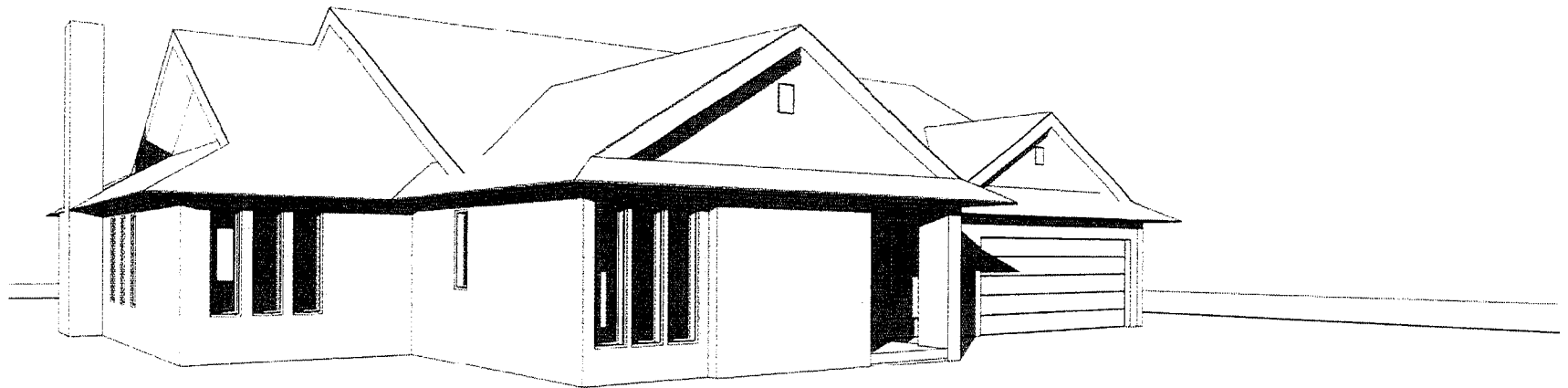
ASK-09 - EXTERIOR PERSPECTIVES

SCALE:

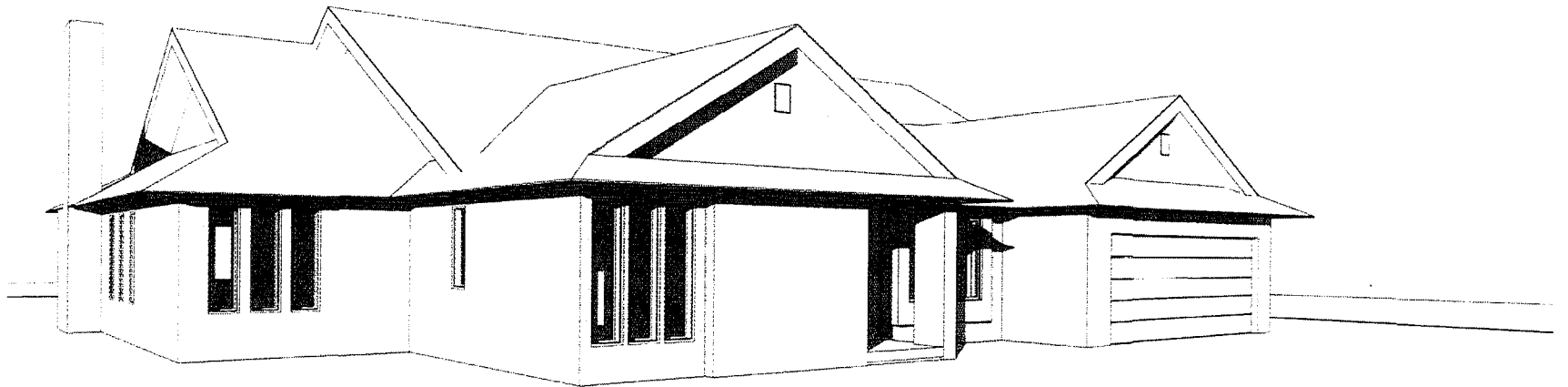
© 2023 BITA



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65 Meadow Cove Road  
Pittsford New York 14534  
(773) 827-9654



1 EXISTING CONDITION



2 PROPOSED DESIGN

16 CEDARWOOD CIRCLE

04/10/2023

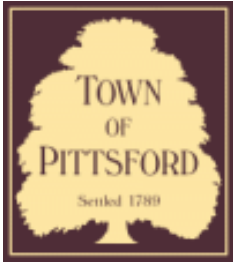
ASK-10 - EXTERIOR PERSPECTIVES

SCALE:

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Pittsford New York 14534  
(773) 827-9654



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**RA23-000083**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 12 Millwood Court PITTSFORD, NY 14534

**Tax ID Number:** 178.11-2-9

**Zoning District:** RN Residential Neighborhood

**Owner:** Kashyap, Pankaj Kumar

**Applicant:** David Bechle

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The applicant is requesting design review for a screen room off the back of the house.

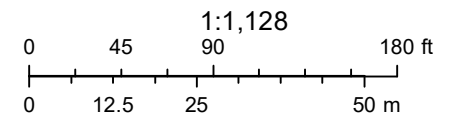
**Meeting Date:** June 08, 2023



# RN Residential Neighborhood Zoning



Printed May 31, 2023



Town of Pittsford GIS

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AE

A15  
AE

15M

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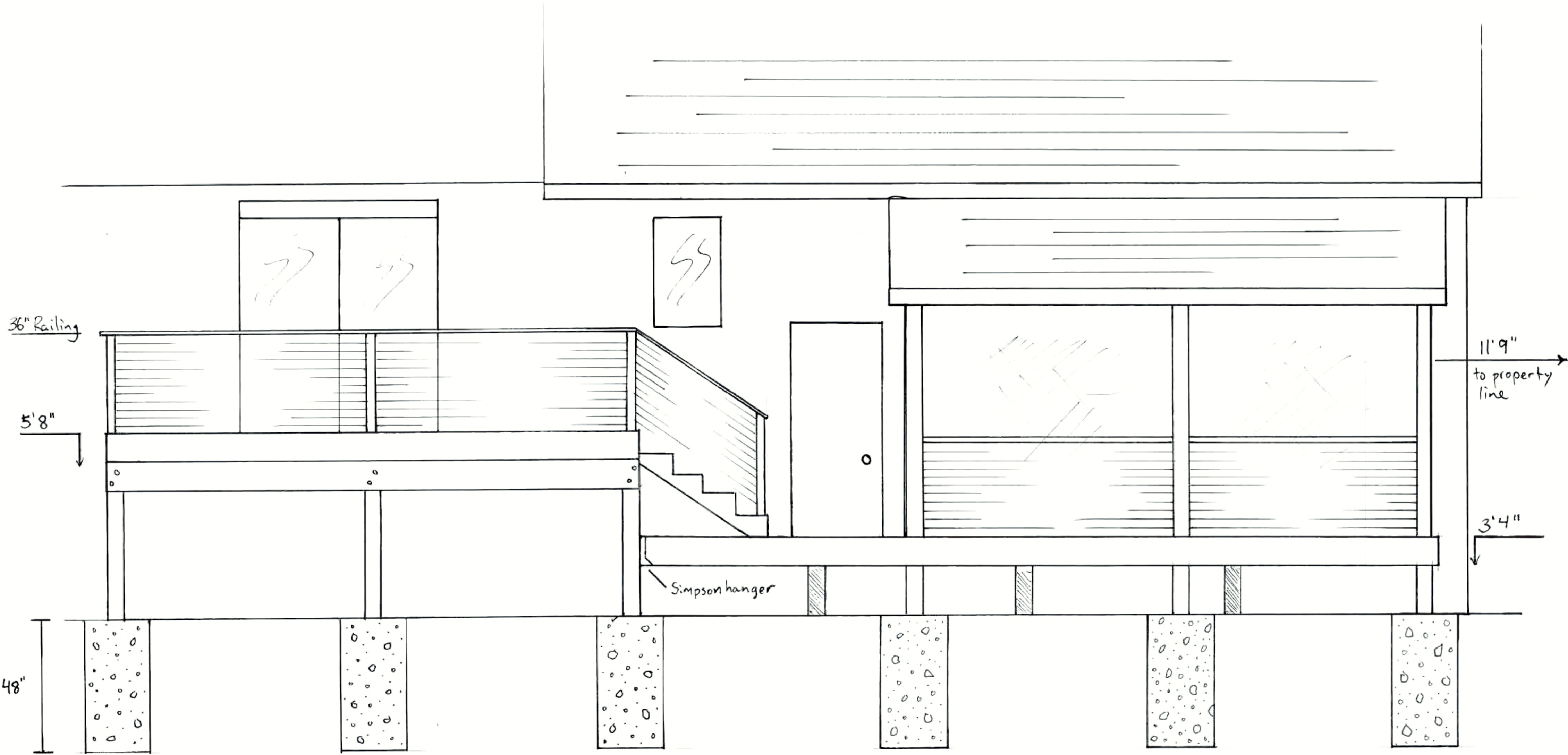
4

2

04/03/2021

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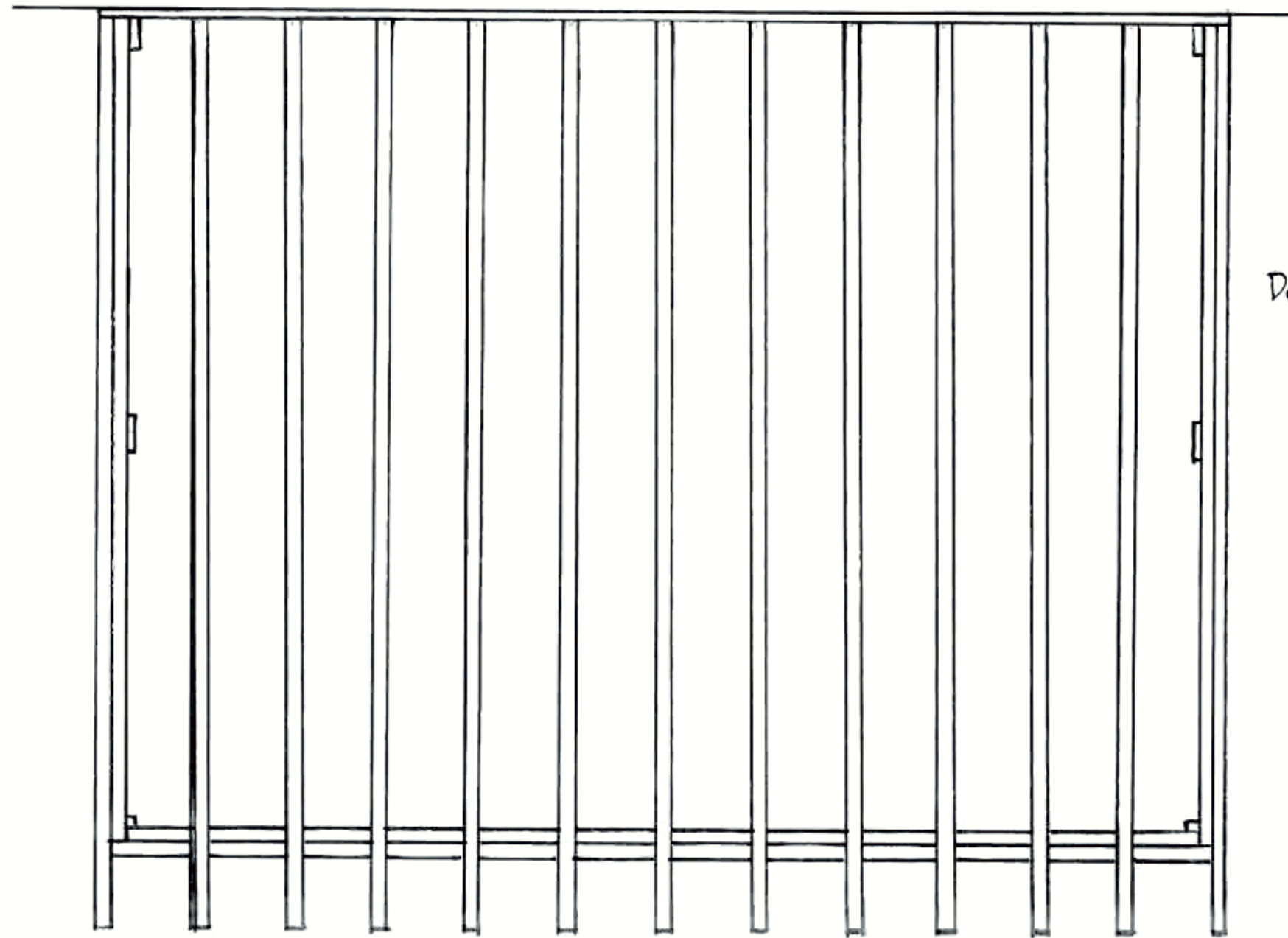
1/2 inch = 1 foot

11.25"  
 Steps have  
 6.5" rise and  
 the treads are 11.25"  
 deep 6.5"

12 MILLWOOD CT.  
 DAVID BECHLE

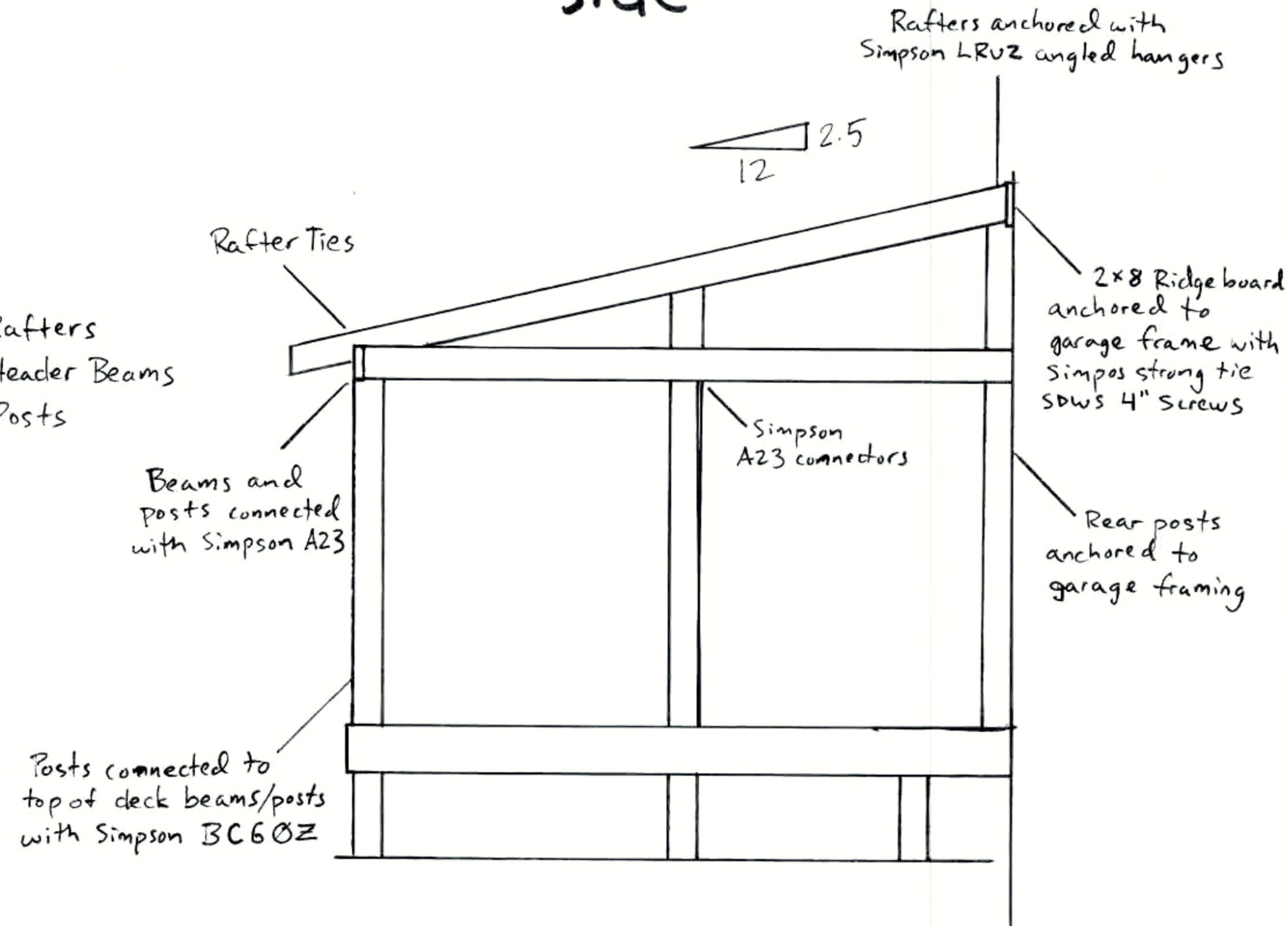
# Screened Enclosure

Top



2x6 Rafters  
Double 2x8 Header Beams  
6x6 Posts

Side



12 MILLWOOD CT.

DAVID BECHLE



House ← Garage →

# Upper Deck

# Lower Deck

Tension ties at each end of upper deck with 1/2" threaded rod anchored to house joist.

Ledger anchored with Simpson Strong tie SDWS 4" screws into house rim

slider

clean out

steps

steps

Corners Simpson L70Z

Dropped Beam

Dropped Beam

Dropped Beam

Dropped Beam

11'9" to Property line

Flush Beam

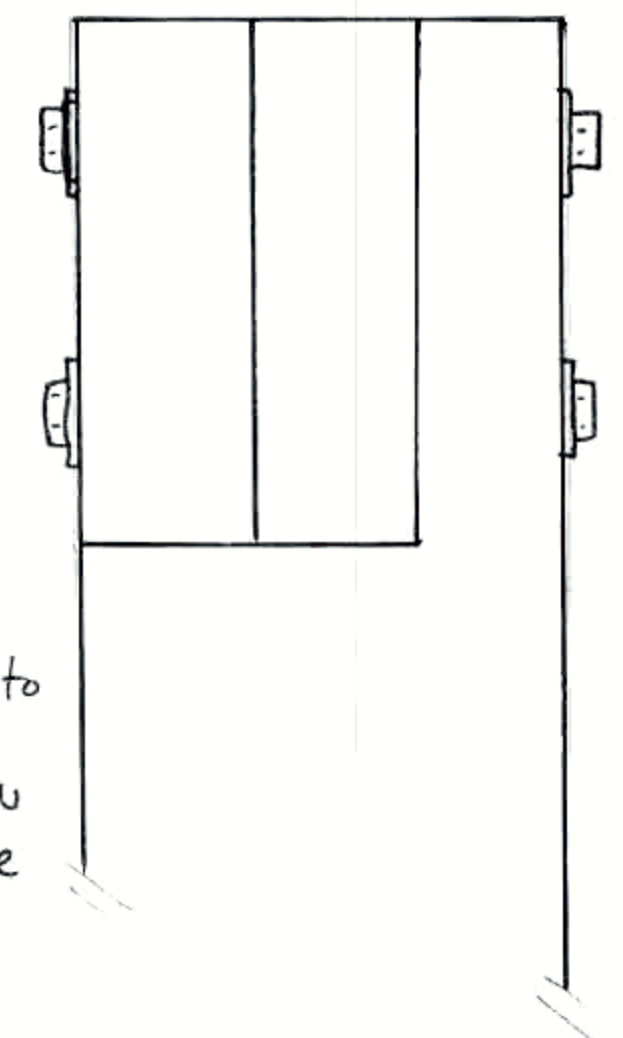
Beams sit in notch on 6x6 posts with 1/2" bolts, nuts and washers

Beams anchored to concrete footings with Simpson ABU stand off post base

- 1/2 inch = 1 foot
- Beams are doubled 2x10 - Joists are 2x8
- //// - Tile Drainage System
- - 6x6 Post
- - Screened Enclosure
- - Beam anchored to post with Simpson Hanger HUC210-2Z

## 12 MILLWOOD CT.

DAVID BECHLE





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000059**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 28 Whitestone Lane ROCHESTER, NY 14618

**Tax ID Number:** 137.20-2-35

**Zoning District:** RN Residential Neighborhood

**Owner:** Balderston, William III

**Applicant:** Stahl Property Associates

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

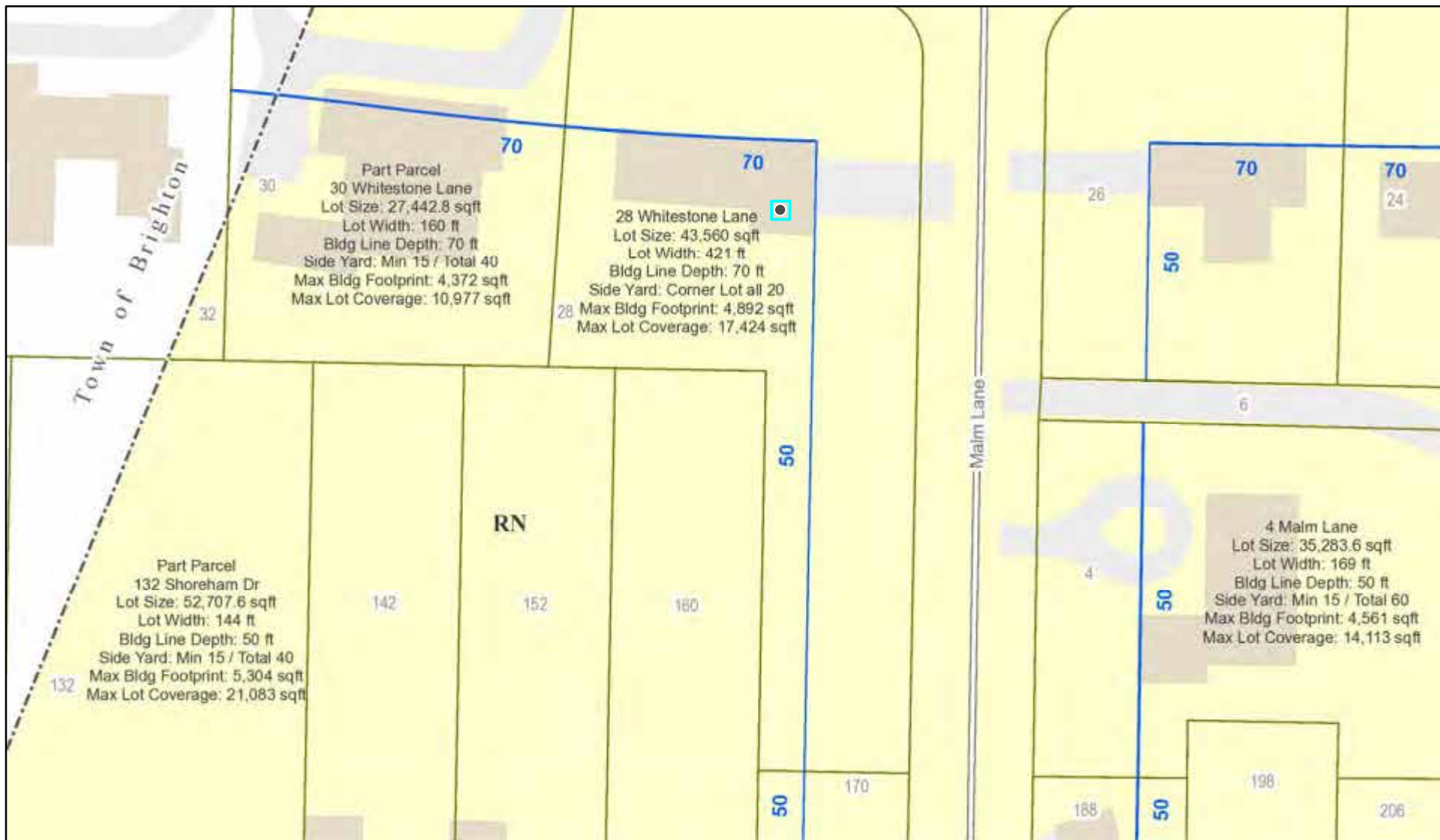
**Project Description:** The applicant is requesting design review for a proposed new three car garage.

**Meeting Date:** June 08, 2023

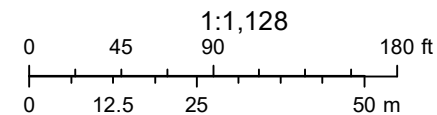




# RN Residential Neighborhood Zoning



Printed May 4, 2023



Town of Pittsford GIS

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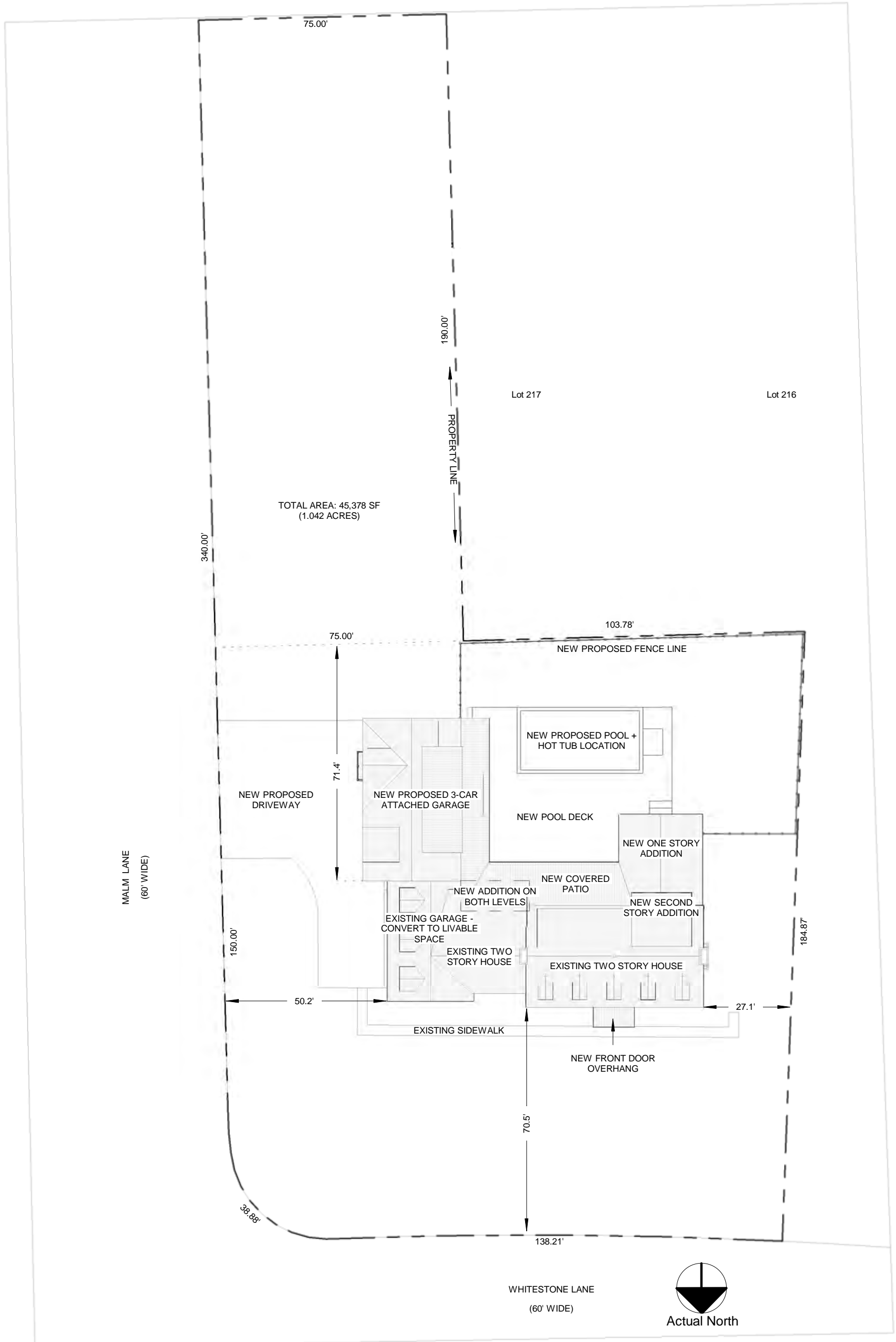
Whitestone Ln

Whitestone Ln

Whitestone Ln

Maimin Ln





1 SCHEMATIC SITE PLAN - NEW  
1" = 30'-0"

design  
plan  
live

28KBW

28 Whitestone Ln  
Rochester, NY 14618

STAHL PROPERTY ASSOCIATES



DEVELOPER



Digital Design + Construction

DESIGN REVIEW

DR04

**Schematic Site Plan**

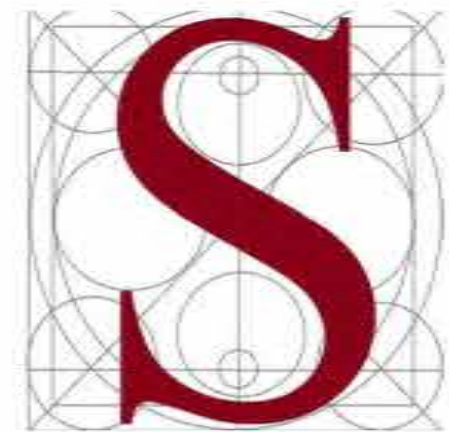


design  
plan  
live

28KBW

28 Whitestone Ln  
Rochester, NY 14618

STAHL PROPERTY  
ASSOCIATES



DEVELOPER



**buildhappy**

Design • Plan • Live.

Digital Design + Construction

DESIGN REVIEW

DR01

**Front Elevation  
(Whitestone Ln)**



1

FRONT ELEVATION EXISTING - DESIGN REVIEW

1" = 10'-0"



2

FRONT ELEVATION - NEW - DESIGN REVIEW

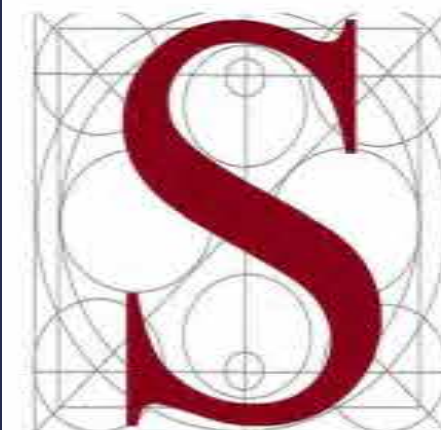
1" = 10'-0"

design  
plan  
live

28KBW

28 Whitestone Ln  
Rochester, NY 14618

STAHL PROPERTY  
ASSOCIATES



DEVELOPER



buildhappy

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DESIGN REVIEW

DR02

Left Elevation (Malm Ln)



3

LEFT ELEVATION EXISTING - DESIGN REVIEW  
1" = 10'-0"



4

LEFT ELEVATION - NEW - DESIGN REVIEW  
1" = 10'-0"

design  
plan  
live

28KBW

28 Whitestone Ln  
Rochester, NY 14618

STAHL PROPERTY  
ASSOCIATES



DEVELOPER

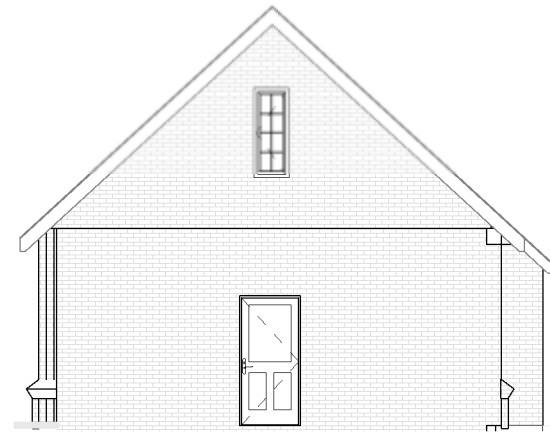


Digital Design + Construction

DESIGN REVIEW

DR03  
Garage Side Elevation  
(Malm Ln)

EXISTING IMAGES FROM MALM LN:

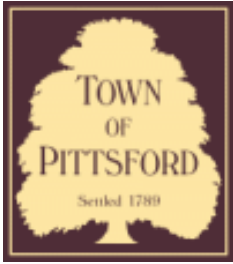


1 GARAGE SIDE ELEVATION EXISTING - DESIGN REVIEW  
1" = 10'-0"



2 GARAGE SIDE ELEVATION - NEW - DESIGN REVIEW  
1" = 10'-0"





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000068**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 45 Skylight Trail,

**Tax ID Number:**

**Zoning District:**

**Owner:** Edward Drexler

**Applicant:** Edward Drexler

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

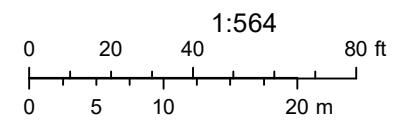
**Project Description:** The applicant is requesting design review for to enclose their back deck.

**Meeting Date:** June 08, 2023

# RN Residential Neighborhood Zoning



Printed September 15, 2022



Town of Pittsford GIS

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04/05/2021

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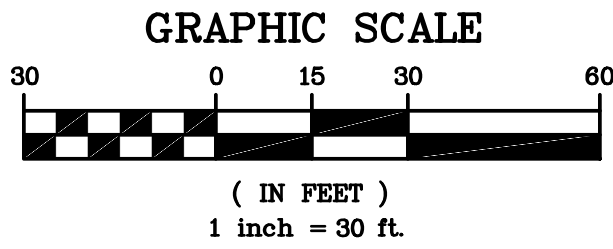
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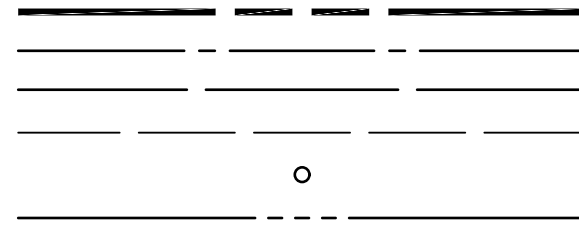
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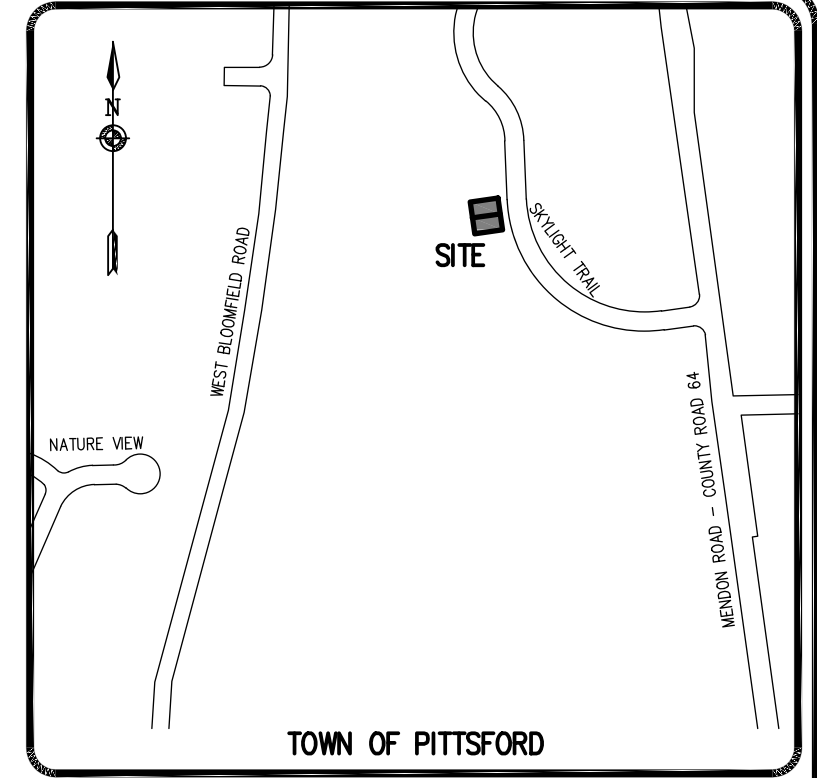
"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."



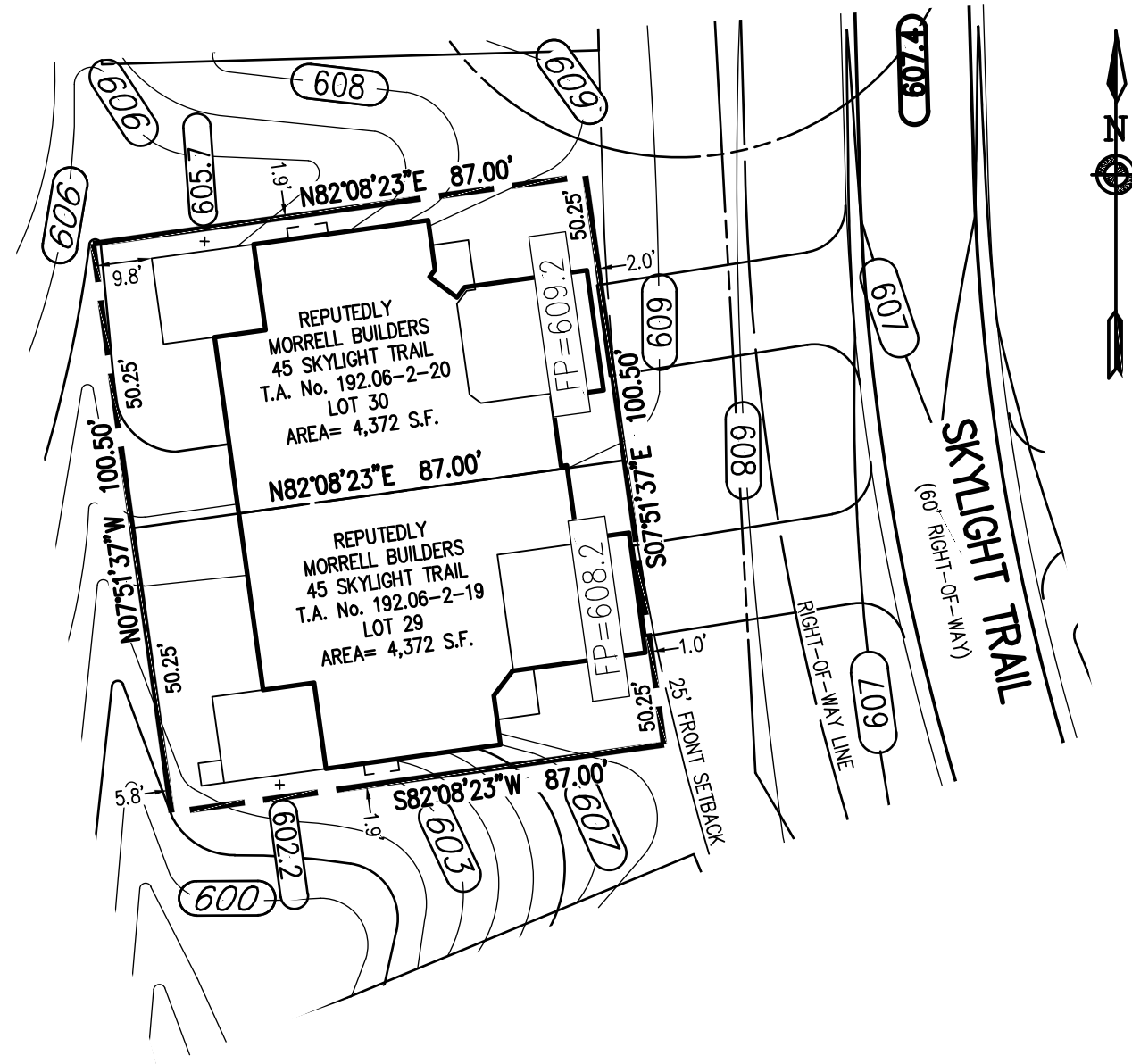
**LEGEND**



- BOUNDARY LINE
- CENTERLINE
- ADJOINER/R.O.W. LINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EXISTING EASEMENT LINE



**LOCATION MAP**  
NOT TO SCALE



**REFERENCES:**

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
2. A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN," PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED SEPTEMBER 17, 2021
3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

**NOTES:**

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:  
FRONT 0' (LOT) 25' (R.O.W.)  
SIDE 0'  
REAR 0'
3. GRADING SHOW HEREON WAS TAKEN FROM REFERENCE 2.

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 6, TAX ACCOUNT No.'S 192.06-2-20 & 192.06-2-19

P:\2688\Instrument Surveys\2688 Lot 29-30 Plot Plan.dwg

PROJECT MANAGER	GD BELL
PROJECT SUPERVISOR	GD BELL
DRAWN BY	JT GILMORE
DATE ISSUED	SEPTEMBER 13, 2022
SCALE	1"=30'
PROJECT NO.	2688
DRAWING NO.	36

PROJECT	ALPINE RIDGE SUBDIVISION SECTION 2
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD-VICTOR ROAD VICTOR, NEW YORK, 14564
DRAWING TITLE	PLOT PLAN OF LOTS 29 & 30



**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

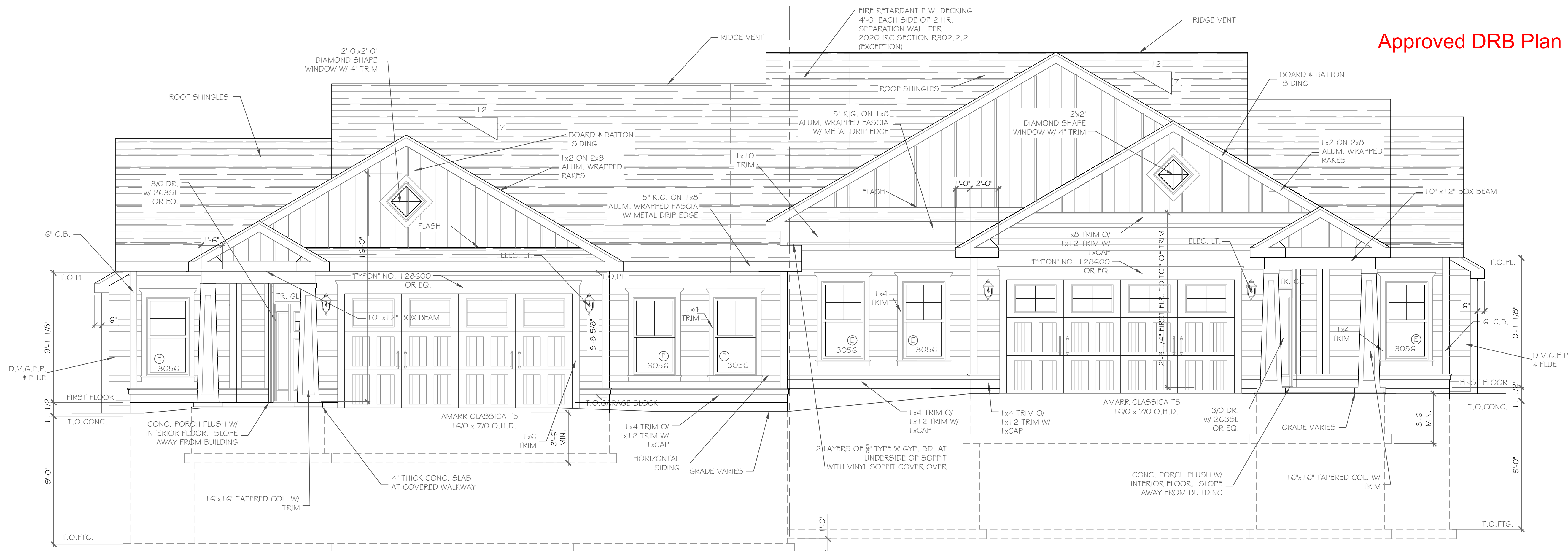
10 LIFTBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
WWW.BMEPC.COM

PHONE 585-377-7360  
FAX 585-377-7309

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

Drawing Attention  
The following is an excerpt from the New York State Education Law Article 146 Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any drawing or map prepared by him without the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation altered by followed by his signature and the date of such alteration and the specific description of the alteration."

Approved DRB Plan



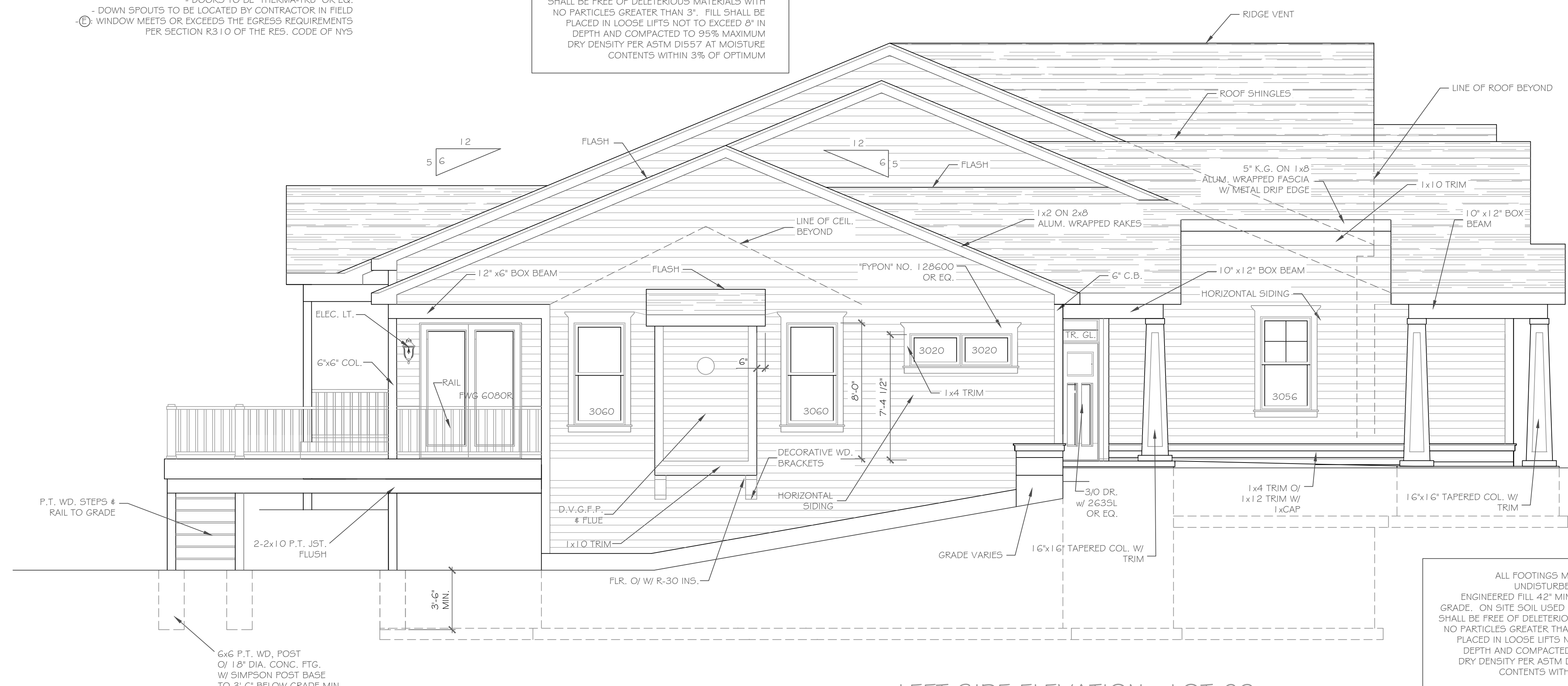
FRONT ELEVATION - LOT 29 2023 S.F.

FRONT ELEVATION - LOT 30 2010 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION - LOT 29

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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NO.	DATE	DESCRIPTION

PROJECT:	Alpine Ridge - Units 29 & 30
DRAWING TITLE:	Front Elevation Units 29 & 30
CLIENT:	Morrell Builders
PHASE:	Construction Documents
DATE:	September 14, 2022
JOB NO.:	A22-043

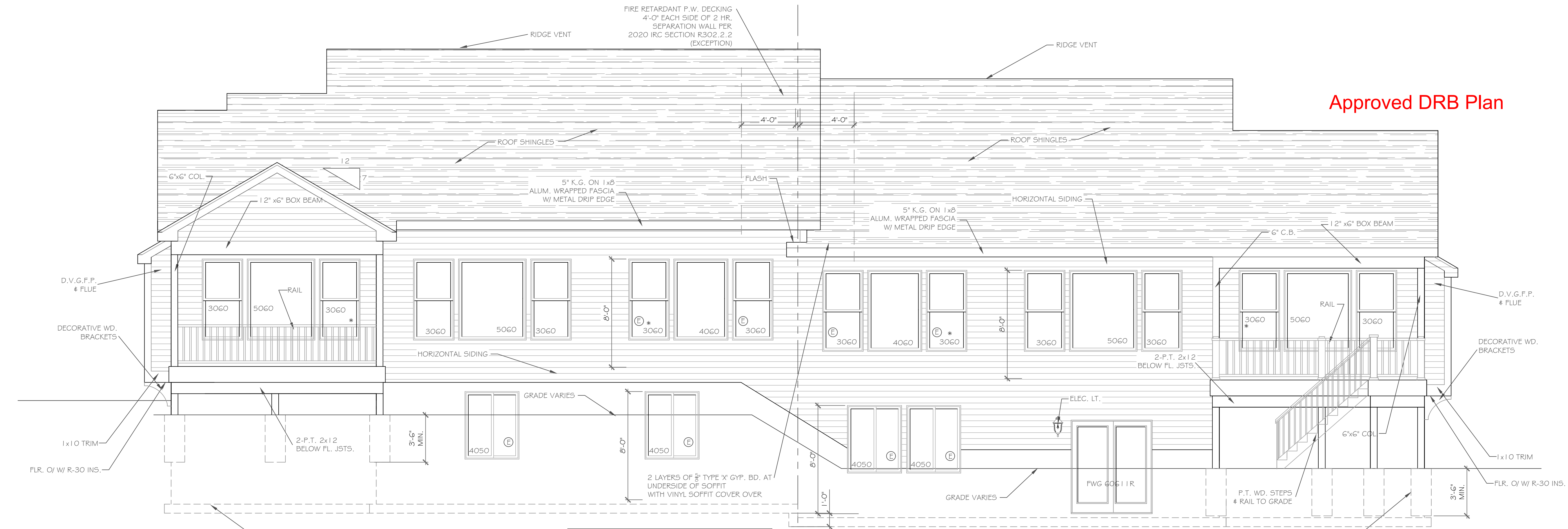
PROJECT:	Alpine Ridge - Units 29 & 30
DRAWING TITLE:	Front Elevation Units 29 & 30
CLIENT:	Morrell Builders
PHASE:	Construction Documents
DATE:	September 14, 2022
JOB NO.:	A22-043

**CKH** architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. -  
**A-1**



Approved DRB Plan



REAR ELEVATION - LOT 29  
1/4" = 1'-0"

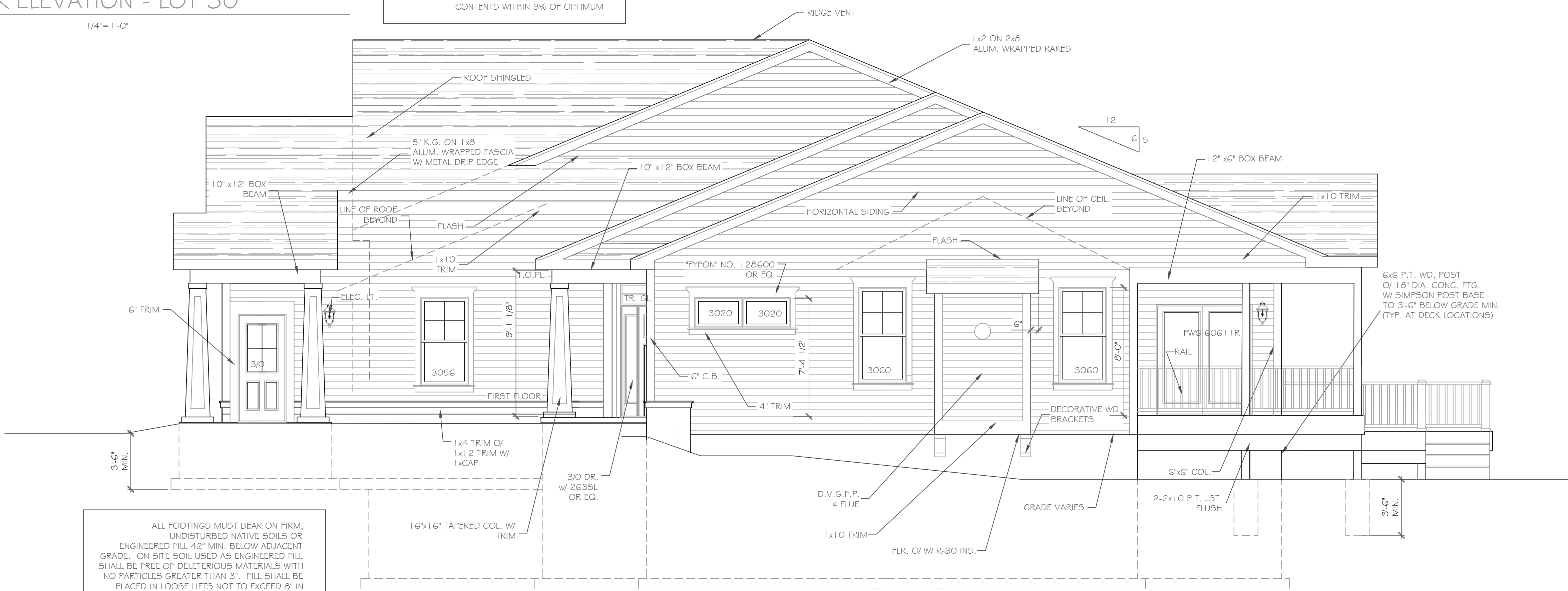
**REAR ELEVATION - LOT 30**  
1/4" = 1'-0"

**HANDRAIL NOTES:**  
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST @ 18" DIA. CONC. FTG. W/ SIMPSON POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

6x6 P.T. WD. POST @ 18" DIA. CONC. FTG. W/ SIMPSON POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)



RIGHT SIDE ELEVATION - LOT 30  
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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REVISIONS-	NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
Rear Elevation  
Lots 29 & 30

**PHASE:**  
Construction Documents

**PROJECT:**  
Alpine Ridge - Lots 29 & 30  
Pittsford, N.Y.

**CLIENT:**  
Morrell Builders

**JOB NO.:**  
A22-043

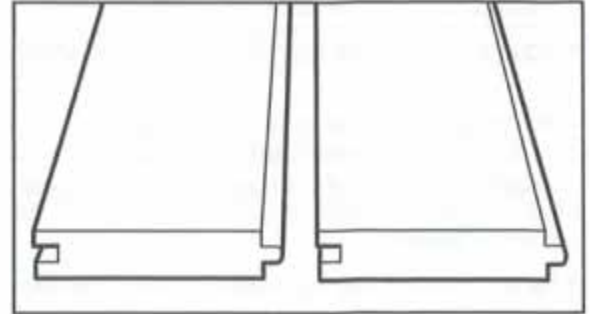
**DATE:**  
September 14, 2022

**CKH architecture**  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frontier.net

**DRAWING NO.:**  
A-2

**Tools and Items Needed**

- Safety glasses
- Pencil or pen
- Tape measure
- Utility knife
- Jigsaw
- Carpenter's square (speed square)
- Power screw gun or drill
- Flooring nailer
- Soft mallet
- Portable power saw
- Fine-tooth saw blades (40-tooth minimum, sharp carbide-tipped wood or finish/trim blades)
- Large file or medium-grit sandpaper
- Chalk line
- Spacing tools
- Fastener-specific tools recommended by manufacturer



DecoDecorators® porch flooring has a unique appearance and should be arranged according to the end user's preference. Prior to construction, check with your local regulatory agency's code requirements. For best results, follow all installation instructions, paying close attention to gapping, spacing and fastener requirements.

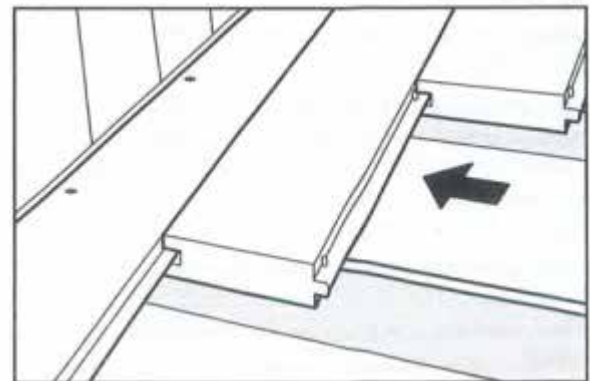
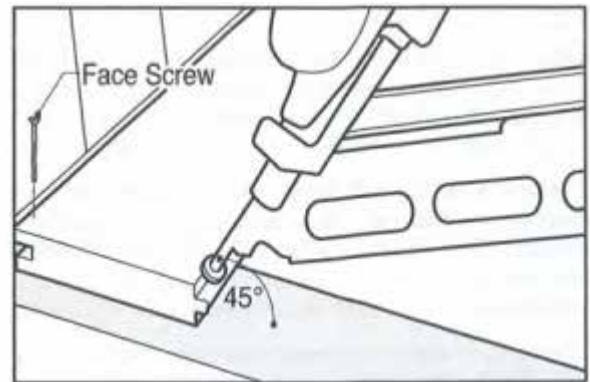
DecoDecorators porch flooring is a one-sided product and must be installed with the embossed surface up. DecoDecorators porch flooring must be installed over a code-compliant substructure and is not intended to support structural columns or porch posts. Structural support for columns and porch posts must be incorporated into the substructure design. DecoDecorators porch flooring is not intended to be used in applications that require a watertight surface. Caulk and adhesives should not be used in the tongue and groove. Painting is not recommended.

**Joist Spacing Requirements**

Standard	Picture Frame	Diagonal (45°)
16"	16"	12"

**Gapping Requirements**

	Above 32°F (0°C)	Below 32°F (0°C)
End-to-End	1/8"	3/16"
End-to-Side	1/8"	3/16"
Abutting Solid Objects	1/8"	1/4"



*Note: Always follow best workmanship practices. Including, and not limited to, square cutting both board ends prior to installation.*

**Cutting**

- 10" 40T, 80T circular blade.
- 12" 40T, 72T, 80T circular blade.
- Upcut with a clean/smooth jigsaw blade.
- Cut porch flooring with the leading edge of the saw blade, cutting into the exposed face. Use a sharp utility knife or jigsaw to finish cuts where a circular saw cannot fully complete cut.
- Use a jigsaw to cut openings to protrusions.
- If necessary, use a large file or medium-grit sandpaper to clean cut edges.
- Use a utility knife to cut any fibers or strands. (In the rare even that a strand or fiber protrudes from the board, do not pull it.)

**Fastener Requirements**

- For best results, use a 2" SS "L" or "T" shape cleat nails.
- Where face fasteners are used, use corrosion-resistant, galvanized or stainless steel fasteners.
- #8x2" SS trim head screws.
- Reverse thread composite screws.
- Set power driver such that screws are slightly counter sunk. Do not overdrive.



- If using a hidden fastener system, use the manufacturer's recommended fastener and follow the manufacturer's instructions.
- One fastener per joist minimum.
- Ends of each board must fall on a joist.
- Double joist or use blocking where two board ends meet.
- 1" maximum cantilever.
- Install entire porch at same temperature.
- Square the first board to the house, paying attention to gapping requirements, and secure in place using face screws on the groove side.
- The tongue side is fastened using cleat nails with a flooring nailer, or screws. *If using screws, insert the screw just above the tongue at a 45° angle and counter sink the screw 1/6" into the material to allow for the next board. If using a flooring nailer, ensure the nailer is properly seated on the tongue side of board and drive cleat into the board, following the proper nailer instructions. If the nailer is not properly seated it could cause difficulty installing the next board and in some instances, even cause blemishes on the surface of the porch flooring.*
- Install the porch flooring starting from the outside edge of the platform and work toward anchor wall so that ripped pieces abut the wall.
- Start installing from one end of the board and work toward the other end of the board. **OR:** Start installing from the center of the board and work out toward the ends of the board. Do not install by fastening each end first and working toward the middle.
- Continue installing porch flooring, adhering to the gapping requirements. *Note: **ONLY** Deckorators Frontier and Vault decking material and porch flooring, manufactured with Eovations™ technology, may be installed in contact with the ground or incidental submersion in water when a project design requires those conditions.*

Like most composites, Deckorators porch flooring will have color variations from piece to piece. This is due to naturally occurring variations in polymers. Purchasing all required porch flooring material at one time is recommended, as manufacturing runs can produce slightly different colors. Do not install if color variation is not acceptable.

Mold and mildew can be a nuisance on any exterior building surface, regardless of the material. If the conditions are right, they will grow on wood, plastic, concrete, metal and other surfaces. Mold formation is most prevalent in consistently wet, shaded areas. Spores from the natural environment are carried by the wind and commonly land on porch surfaces. It is important to note that the appearance of mold/mildew is a function of nature, not necessarily a deficiency with any of the material on which it grows.

Periodic washing with soap/mild detergent and water will help remove surface dirt. This will also help prevent the buildup of pollen, debris and spores that can cause and accelerate mold/mildew growth. *Caution: A pressure washer should not be used to "blast" mold/mildew or soils from a porch surface. The abrasive nature of the water stream can potentially cause damage by driving the spores deeper into the material, which may create a more challenging problem to remedy. The water stream can also cut into the surface of the board if it is too intense. A pressure washer with a fan-tipped nozzle should be used only to lightly wet or rinse wood or composite porch surfaces.*

There are many deck/porch wash and exterior cleaning products available at retail. It is important to make sure you use a cleaner specifically intended for your application. After selecting a product, be certain to read, understand and follow all instructions supplied by the manufacturer. Some cleaning products and inhibitors may be more effective than others, depending on the environmental conditions your porch is subjected to. Additionally, it is always a good idea to test the cleaner in a small, inconspicuous area prior to applying it to the entire porch ([www.deckorators.com](http://www.deckorators.com)).

As with deck/porch washes, there are several mold-inhibitor products available from paint stores, hardware stores, online outlets and home centers to help prevent long-term mold/mildew growth. For any product selected, be certain to read, understand and follow all instructions provided by the manufacturer. Depending upon the environmental factors affecting your porch, some preventive cleaning products may be more effective than others. It may be necessary to try more than one product. For ongoing preventive maintenance, follow the manufacturer's recommendation.

*Note: Deckorators is not suitable to structural use. It should not be used for primary load-bearing members such as posts, joists, beams or stringers. The same commonsense precautions should be taken when handling Deckorators as with wood or other building materials. Dust masks and eye protection devices are recommended to avoid possible irritation from sawdust and chips. Gloves will help protect hands. Hands should be washed after construction work.*

THE DIAGRAMS AND INSTRUCTIONS IN THIS BROCHURE ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT MEANT TO REPLACE A LICENSED PROFESSIONAL. ANY CONSTRUCTION OR USE OF THE PRODUCT MUST BE IN ACCORDANCE WITH ALL LOCAL ZONING AND/OR BUILDING CODES. THE CONSUMER ASSUMES ALL RISKS AND LIABILITY ASSOCIATED WITH THE CONSTRUCTION OR USE OF THIS PRODUCT. THE CONSUMER OR CONTRACTOR SHOULD TAKE ALL NECESSARY STEPS TO ENSURE THE SAFETY OF EVERYONE INVOLVED IN THE PROJECT, INCLUDING, BUT NOT LIMITED TO, WEARING THE APPROPRIATE SAFETY EQUIPMENT. EXCEPT AS CONTAINED IN THE WRITTEN LIMITED WARRANTY, [UNIVERSAL CONSUMER PRODUCTS, INC.] DOES NOT PROVIDE ANY OTHER WARRANTY, EITHER EXPRESS OR IMPLIED, AND SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES.







Sliding glass door







Current home

Paneling will be instead of bottom windows



No bottom window

Similar

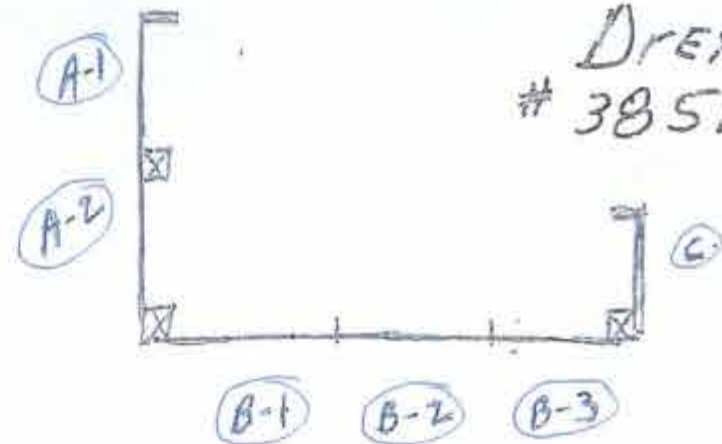
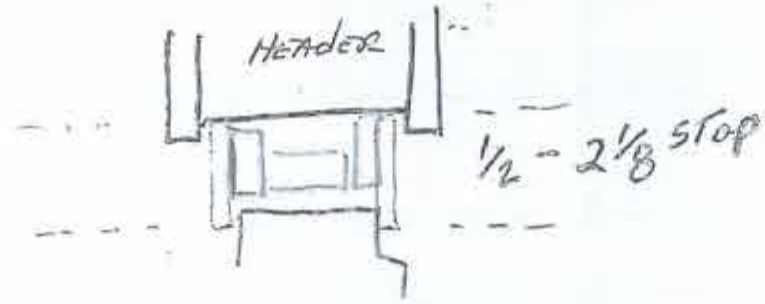


Rochester Colonial

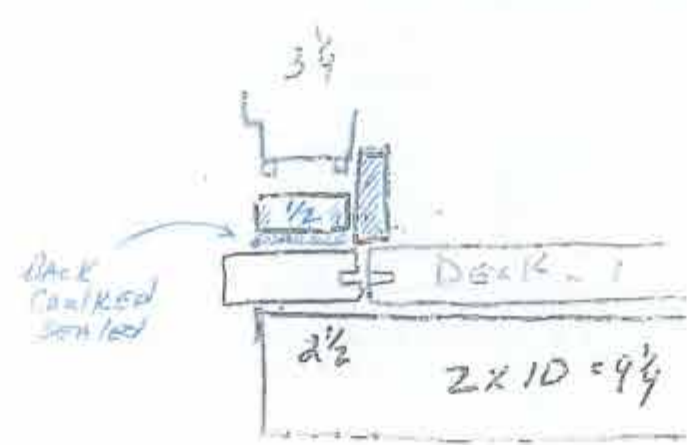
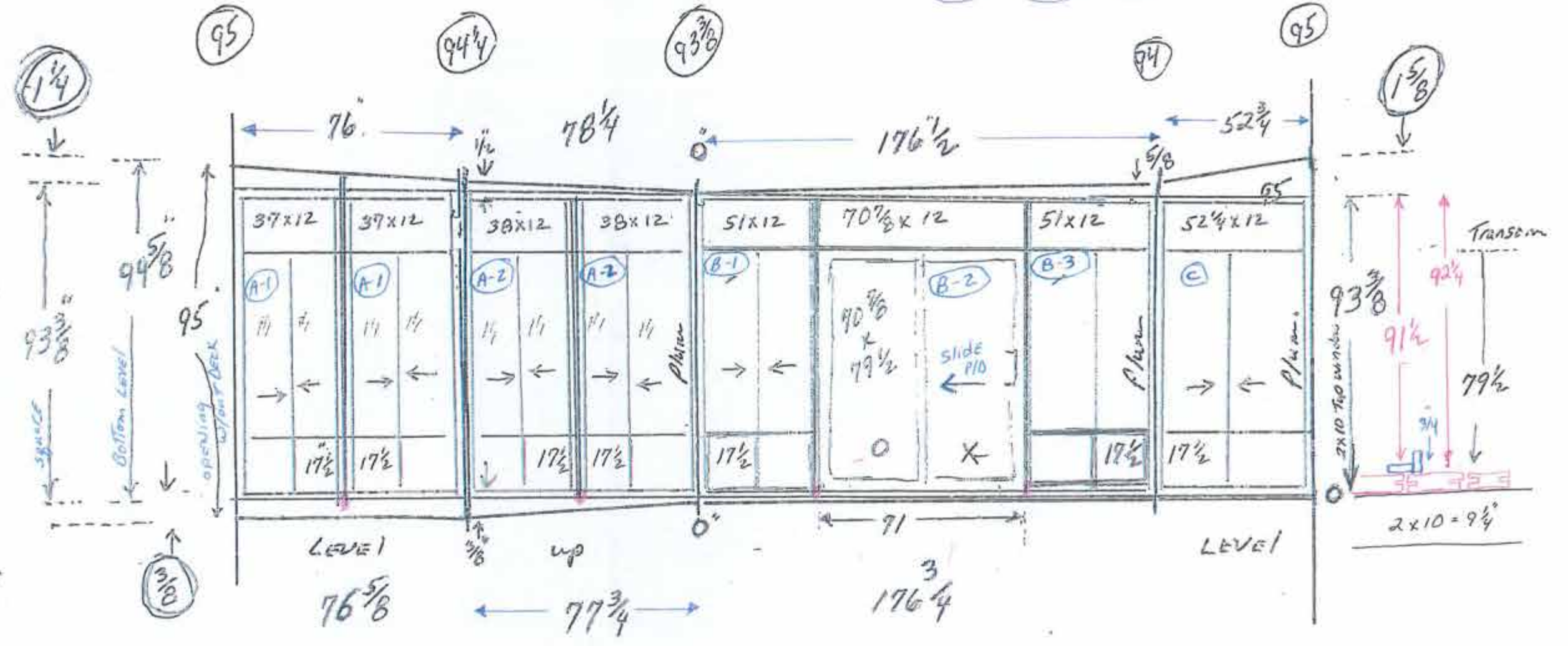
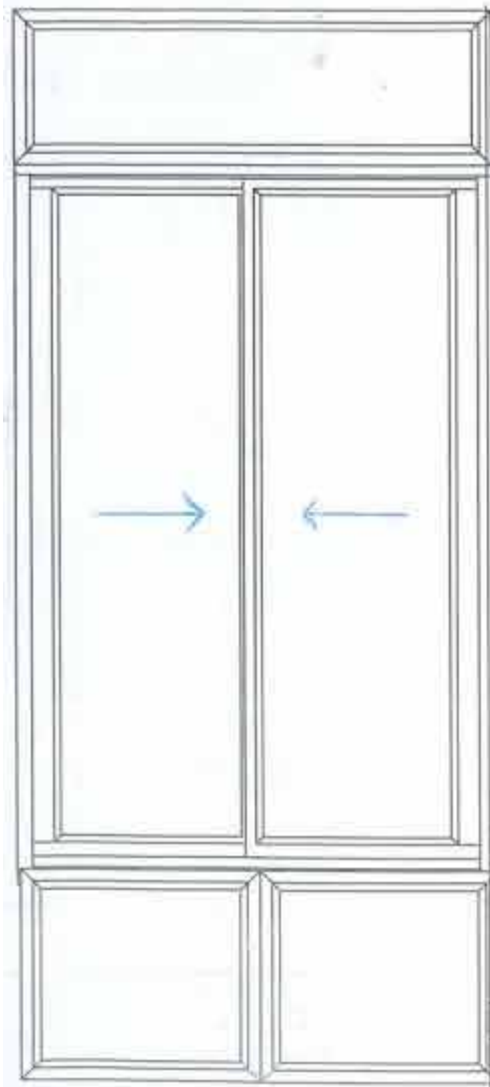
Drexler  
#385127

Address: 45 SkyLight Trail  
Pittsford N.Y. 14534

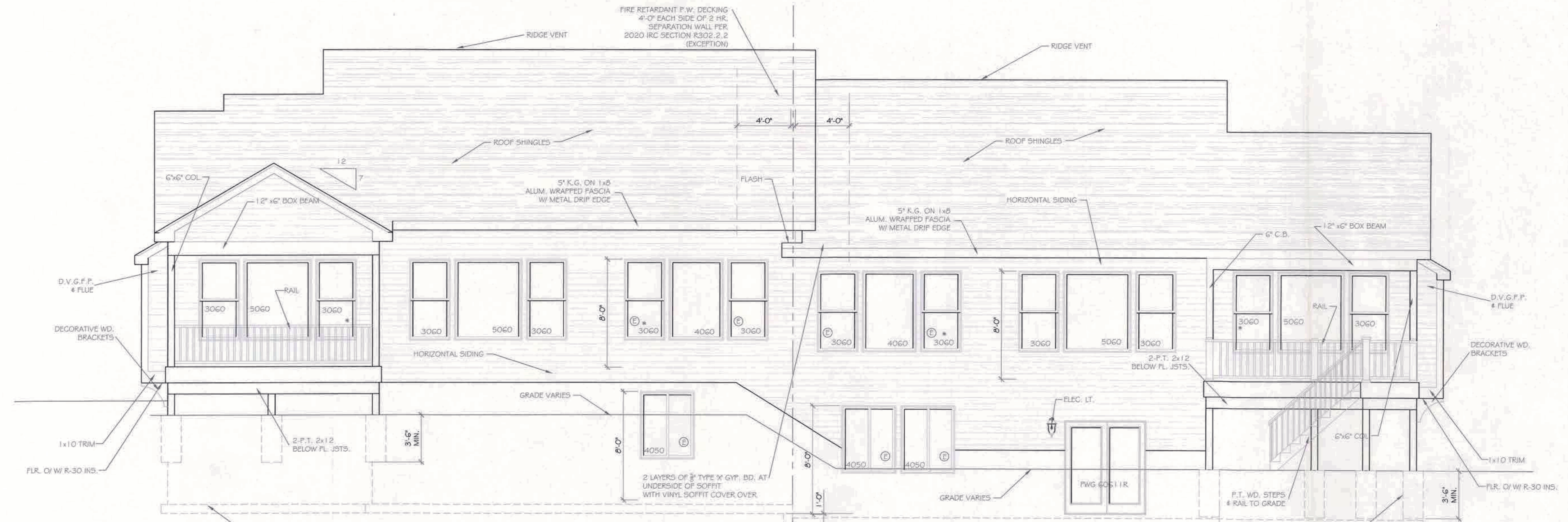
Drexler  
#385127



SIZE VARIES -  
37-52  
(show - 40" wide)







REAR ELEVATION - LOT 29  
1/4" = 1'-0"

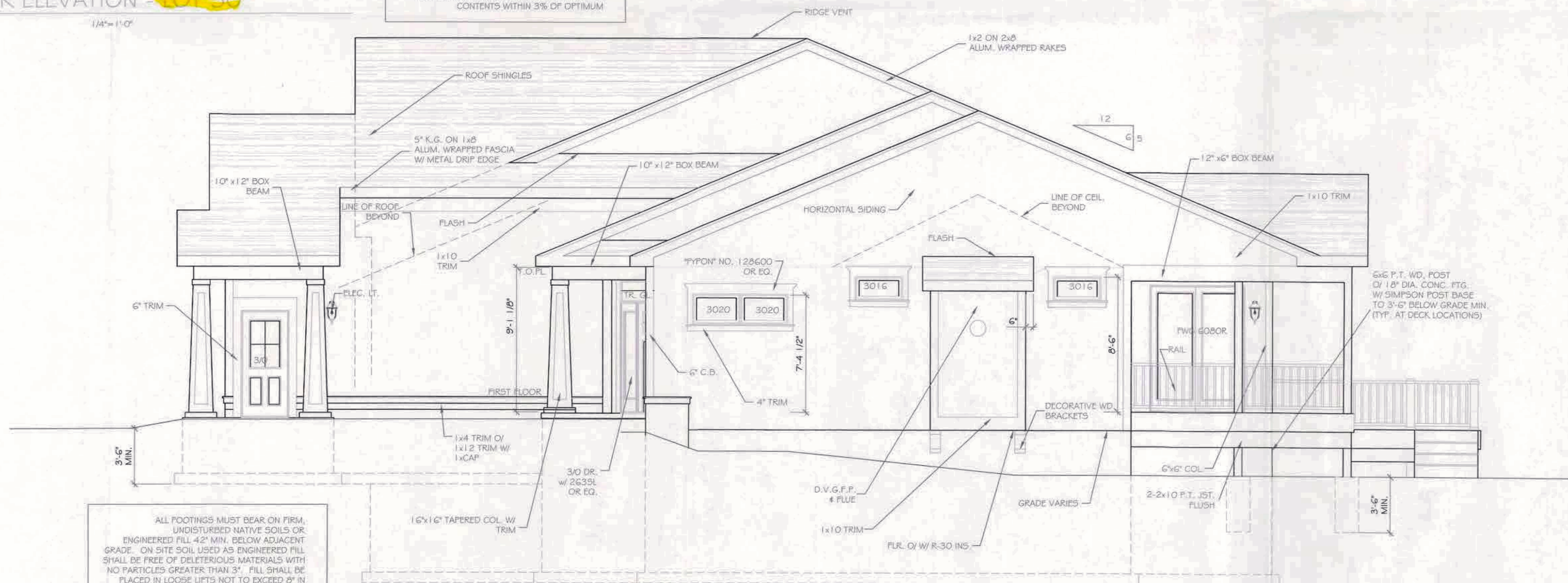
**REAR ELEVATION**  
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6x6 P.T. WD. POST  
OV 1 1/2" DIA. CONC. FTG.  
W/ SIMPSON POST BASE  
TO 3'-6" BELOW GRADE MIN.  
(TYP. AT DECK LOCATIONS)

2 LAYERS OF 3" TYPE 'M' GYP. BD. AT  
UNDERSIDE OF SOFFIT  
WITH VINYL SOFFIT COVER OVER.

ALL FOOTINGS MUST BEAR ON FIRM,  
UNDISTURBED NATIVE SOILS OR  
ENGINEERED FILL 42" MIN. BELOW ADJACENT  
GRADE. ON SITE SOIL USED AS ENGINEERED FILL  
SHALL BE FREE OF DELETERIOUS MATERIALS WITH  
NO PARTICLES GREATER THAN 3". FILL SHALL BE  
PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN  
DEPTH AND COMPACTED TO 95% MAXIMUM  
DRY DENSITY PER ASTM D1557 AT MOISTURE  
CONTENTS WITHIN 3% OF OPTIMUM



RIGHT SIDE ELEVATION - LOT 30  
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM,  
UNDISTURBED NATIVE SOILS OR  
ENGINEERED FILL 42" MIN. BELOW ADJACENT  
GRADE. ON SITE SOIL USED AS ENGINEERED FILL  
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REVISIONS	NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
Rear Elevation  
Lots 29 & 30

**PROJECT:**  
Alpine Ridge - Lots 29 & 30  
Pittsford, N.Y.

**CLIENT:**  
Morrell Builders

**DATE:**  
September 14, 2022

**PHASE:**  
Construction Documents

**JOB NO.:**  
A22-043

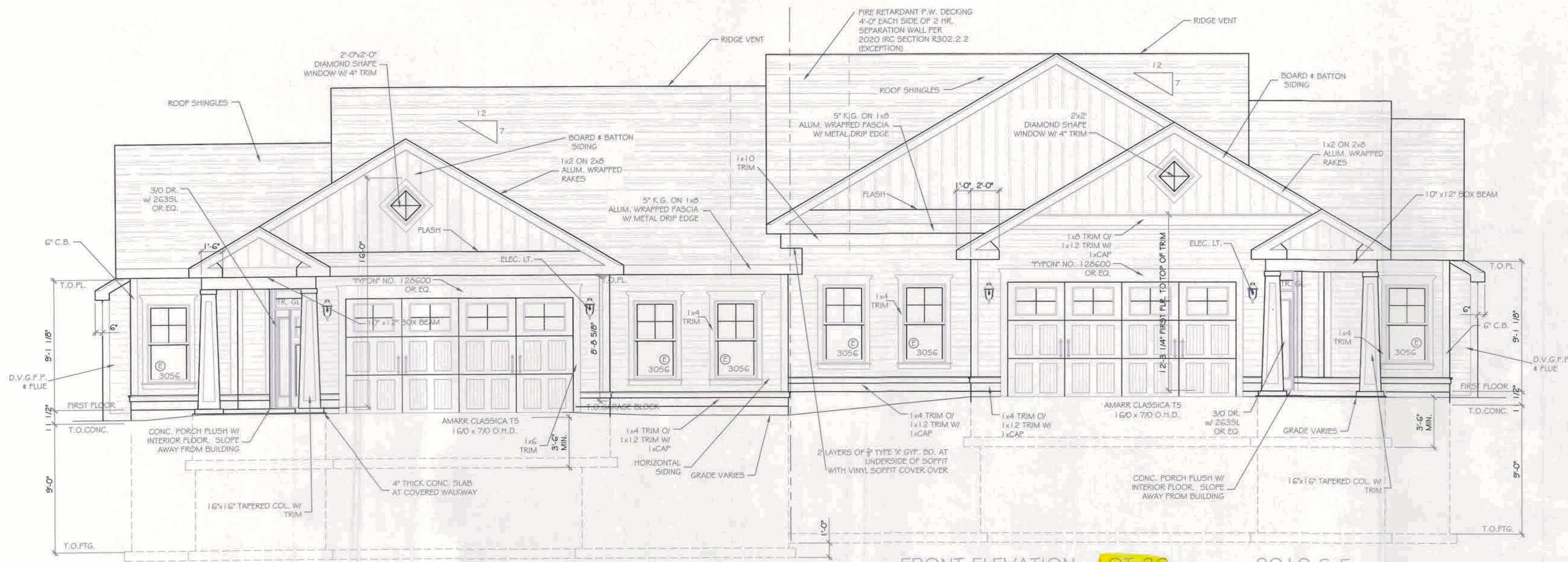
**CKH architecture**  
301 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennsey@frontier.net

**RECEIVED**  
By Morrell Builders at 12:17 pm, Oct 13, 2022

**FINAL**

**DRAWING NO.:**  
A-2





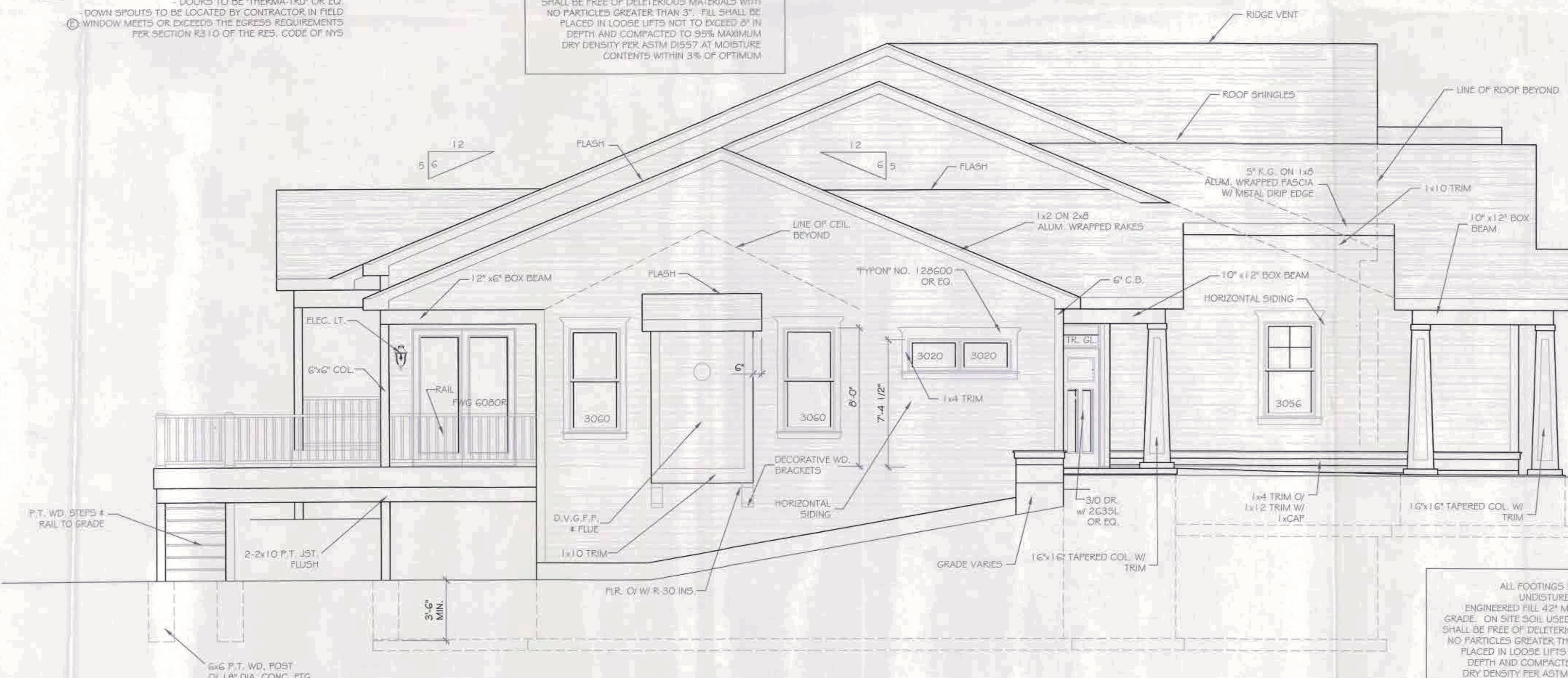
FRONT ELEVATION - LOT 29 2023 S.F.

FRONT ELEVATION - LOT 30 2010 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION - LOT 29

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REVISIONS:	NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
 Front Elevation  
 Units 29 & 30

**PROJECT:**  
 Alpine Ridge - Units 29 & 30  
 Pittsford, N.Y.

**CLIENT:**  
 Monrell Builders

**PHASE:**  
 Construction Documents

**DATE:**  
 September 14, 2022

**JOB NO.:**  
 A22-043

**PROJECT:**  
 Alpine Ridge - Units 29 & 30  
 Pittsford, N.Y.

**CLIENT:**  
 Monrell Builders

**PHASE:**  
 Construction Documents

**DATE:**  
 September 14, 2022

**JOB NO.:**  
 A22-043

**CKH**  
 architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 Phone: (585) 226-1334  
 e-mail: CKHteam@monrell.net

**DRAWING NO.:**  
 A-1





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000072**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 12 Skytop Lane PITTSFORD, NY 14534

**Tax ID Number:** 164.09-2-15

**Zoning District:** RN Residential Neighborhood

**Owner:** Phillips, Michael M

**Applicant:** Phillips, Michael M

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

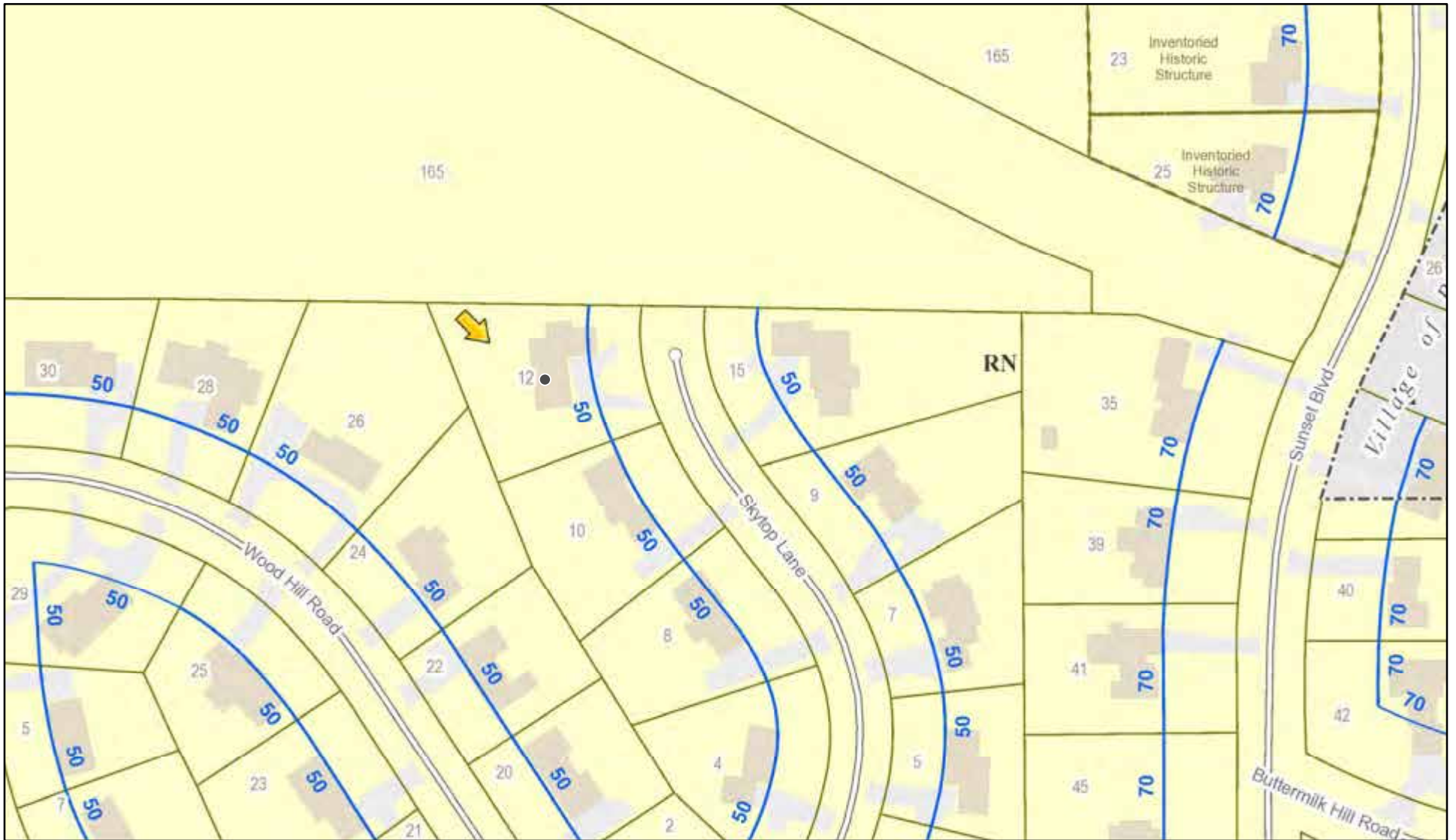
**Project Description:** Applicant is requesting to relocate garage door to the East side of the house.

**Meeting Date:** June 08, 2023

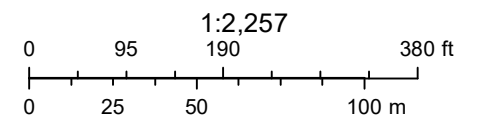




# RN Residential Neighborhood Zoning



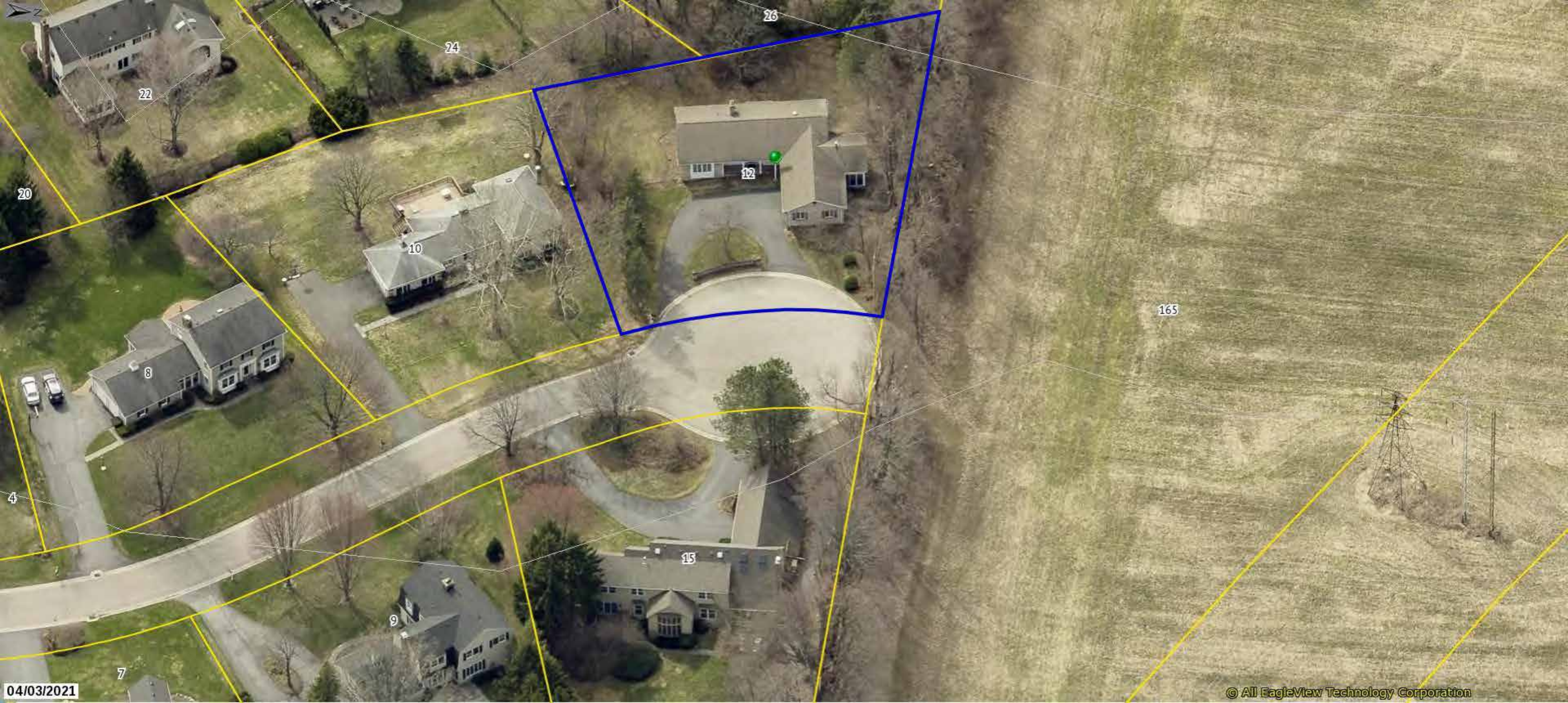
Printed June 1, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





22

24

26

20

10

12

165

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4

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7

04/03/2021

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**NOTES**

- (1) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- (2) THE 2020 CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (3) THE 2020 ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (4) BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.
- (5) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER. (MFR)
- (6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- (7) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS IF ANY ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.
- (8) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.
- (9) ALLOWABLE STRESSES OF MATERIALS. (THE WEATHERING POTENTIAL FOR CONCRETE IS ASSUMED TO BE SEVERE. SEE FIGURE R301.2(4))
  - A) CONCRETE (R402.2) - MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI =
    - FOOTINGS: 2500 PSI
    - BASEMENT SLAB: 2500 PSI (W/ FIBER REINF. ADDITIVE, OPTIONAL)
    - GARAGE & PORCH SLABS: 3000 PSI (AIR-ENTRAINED)
    - BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED WHERE EXPOSED TO WEATHER)
 FOUNDED CONC. SHALL BE PROTECTED FROM FREEZE/THAW DURING CONSTRUCTION OR AIR ENTRAINMENT CONC. MUST BE USED. (TABLE R402.2, NOTE 2)
  - B) STRUCTURAL STEEL TO BE ASTM - A36
  - C) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FB) WITH REPETITIVE MEMBER USE OF 1150 P.S.I. (MEM FIR #2 OR BETTER)
- (10) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT, DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R1001-R1066 AS APPLICABLE.
- (11) SETTING THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R403.1.7.3 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE
- (12) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS. (SEE SECTION R319.4)
- (13) GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE 2020 CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R 308.1. DECORATIVE GLASS IS EXEMPT IN SHOWN DOORS AND SIDELIGHTS (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS).
- (14) DESIGN CRITERIA:
  - A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
  - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
  - C) GROUND SNOW LOAD = 40 PSF (FIG R301.2(6))
  - D) WIND SPEED = 90 MPH EXPOSURE B
  - E) SEISMIC DESIGN CATEGORY - A OR B - R301.2(2)
  - F) WEATHERING - SEVERE
  - G) FROST LINE DEPTH = 42"
  - H) TERMITE DAMAGE - CONTACT LOCAL JURISDICTION
  - I) DECAY DAMAGE - NONE TO SLIGHT
  - J) WINTER DESIGN TEMPERATURE - (-1) DEGREE
  - K) ICE BARRIER IS REQUIRED
  - L) ROOF TIE-DOWN REQUIREMENTS - R302.11 (BASED UPON SPECIFIC ROOF DESIGN)
  - M) ENERGY COMPLIANCE DETAILS AND PATH - N1101B
- (15) FOOTINGS TO BEAR ON FIRM LEVEL, UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL.
- (16) DRAWING ALTERATION: THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 149, SECTION 1209 AND APPLIES TO THESE DRAWINGS. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."
- (17) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M107 OF THE CODE.
- (18) "CODE" SHALL MEAN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, "ENERGY CONSERVATION CODE" OR "ENERGY CODE" SHALL MEAN CHAPTER II OF THE CODE.
- (19) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.

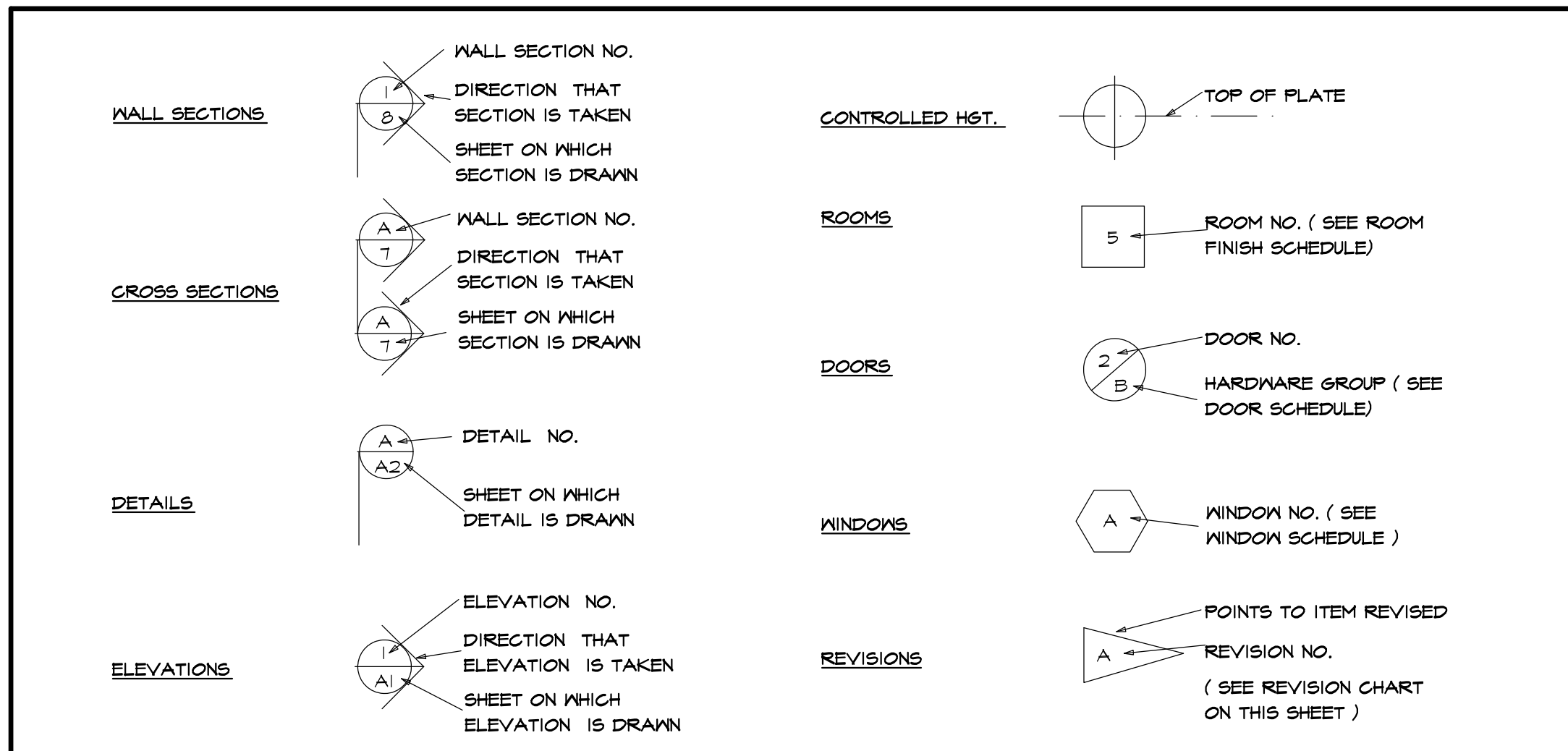
- ENERGY CONSERVATION, CHAPTER II, ENERGY EFFICIENCY**
- 1. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION N1104
  - 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION N1102.4.5
  - 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION N1103.1.1
  - 4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION N1103.3.2.
  - 5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-3. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION N1103.5
  - 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION N1102.2.4
  - 7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND CRITERIA LISTED IN SECTIONS N1102.4.1 THROUGH N1102.4.6.
  - 8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR, CONDUCT TEST ACCORDING TO ASTM E1174 OR ASTM E1821 OR NET/ICC 380 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. COMPLY WITH N1102.4.1.2.
  - 9. THE CONTRACTORS AND SUB-CONTRACTORS SHALL BE FAMILIAR WITH THE ENERGY CODE AND EXPERIENCED IN PERFORMING WORK THAT COMPLIES WITH ALL ASPECTS OF THE ENERGY CODE. THESE NOTES ARE NOT INTENDED TO BE ALL INCLUSIVE.

**REMODEL / DECK ADDITION**  
12 SKYTOP LANE, PITTSFORD, NEW YORK

**MR. MICHAEL PHILLIPS, HOMEOWNER**

**ENERGY CODE COMPLIANCE PATH:**  
SEE ATTACHED RES CHECK COMPLIANCE CERTIFICATE

**SYMBOLS**



**ABBREVIATIONS**

APPROX	-APPROXIMATE	FT (')	-FOOT	OPNG	-OPENING
±	-AND	FTG	-FOOTING	O/A	-OVERALL
⊙	-AT	FDN	-FOUNDATION	O.H.D	-OVERHEAD DOOR
BM	-BEAM	GYP	-GYPSUM	O/ HANG	-OVERHANG
BLK	-BLOCK	HND'CP	-HANDICAP	O/	-OVER
BD	-BOARD	HST	-HEIGHT	OPT	-OPTIONAL
BLDG	-BUILDING	HW	-HOT WATER	P.D.R	-POWDER ROOM
BTR	-BETTER	HDR	-HEADER	PSF	-POUNDS PER SQ. FT.
CLG	-CEILING	IN (')	-INCH	PSI	-POUNDS PER SQ. IN.
CL	-CENTERLINE	INCL	-INCLUDE	P.T.	-PRESSURE TREATED
COL	-COLUMN	INFO	-INFORMATION	PLYWD	-PLYWOOD
CONC	-CONCRETE	ID	-INSIDE DIAMETER	REQ'D	-REQUIRED
CONT	-CONTINUOUS	INSUL	-INSULATION	RM	-ROOM
COMM	-COMMERCIAL	INT	-INTERIOR	RES	-RESIDENTIAL
CRS	-COURSES	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	RS	-RISERS
DL	-DEAD LOAD	IRC	-INTERNATIONAL RESIDENTIAL CODE	RD & SH	-ROD & SHELF
DIA	-DIAMETER	JT	-JOINT	S	-SOUTH
DBL	-DOUBLE	JSTS	-JOISTS	SKY'LT	-SKYLIGHT
DN	-DOWN	LT	-LIGHT	SH	-SHELF
DWS	-DRAWING	LL	-LIVE LOAD	SHS	-SHELVES
DIM	-DIMENSION	MFR	-MANUFACTURER	STOR	-STORAGE
ELEC	-ELECTRIC	MAX	-MAXIMUM	STL	-STEEL
EXP	-EXPANSION	MECH	-MECHANICAL	SUSP	-SUSPENDED
EXT	-EXTERIOR	MTL	-METAL	SYN	-SYNTHETIC
FT (')	-FEET	MIN	-MINIMUM	TS	-TREADS
FIN	-FINISH	MISC	-MISCELLANEOUS	(TYP)	-TYPICAL
FLR	-FLOOR	N	-NORTH	T&G	-TONGUE & GROOVE
1ST	-FIRST	NTS	-NOT TO SCALE	W	-WITH
FLUOR	-FLUORESCENT	NO	-NUMBER	W/O	-WITHOUT

**TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed. Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Narrow cavities	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall. When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC 400.

**GENERAL NOTES**

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES WHICH PERTAIN TO THE CONSTRUCTION OF THIS STRUCTURE
- CONTRACTOR SHALL VERIFY EXISTING STRUCTURAL CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION AND / OR CONSTRUCTION
- CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACING, TEMPORARY FRAMING SUPPORTS (SHORING), AND UNDERPINNING OF EXISTING STRUCTURE AS REQUIRED
- CONTRACTOR SHALL (WHERE POSSIBLE) MATCH PLATE HEIGHTS, SUBLFLOORS, AND WINDOW ROUGH OPENING HEIGHTS TO MAINTAIN CONTINUITY
- WHERE POSSIBLE - MATCH CONCRETE BLOCK COURSES AT NEW AND EXISTING FOUNDATION WALLS
- MINIMUM GRADE COVER AT ALL CONCRETE FOOTINGS SHALL BE 3'-6"
- INFILL EXISTING EXPOSED EXTERIOR FRAMING CAVITIES FULL WITH INSULATION

MINIMUM R - MAXIMUM U VALUES  
FENESTRATION MAX U VALUE = 0.30



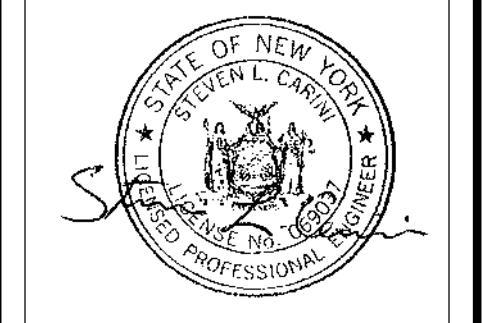
1387 FAIRPORT ROAD  
SUITE #560  
FAIRPORT, NY 14450-2002  
PH. (585) 223-8420  
www.carinidesigns.com

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**Revisions:**  
RELOCATE GARAGE DOOR  
5/10/23 - TLM

**Project:**  
RESIDENTIAL REMODEL

**Client:**  
MICHAEL PHILLIPS

**Job Location:**  
12 SKYTOP LANE  
PITTSFORD, NEW YORK

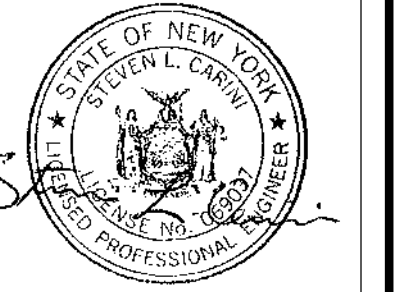
**Drawing Title:**  
COVER SHEET & NOTES

Drawn	SMK	Checked By	SLC
Date	APRIL, 2021		
Job No.	38300		
Sheet	1 of 4		



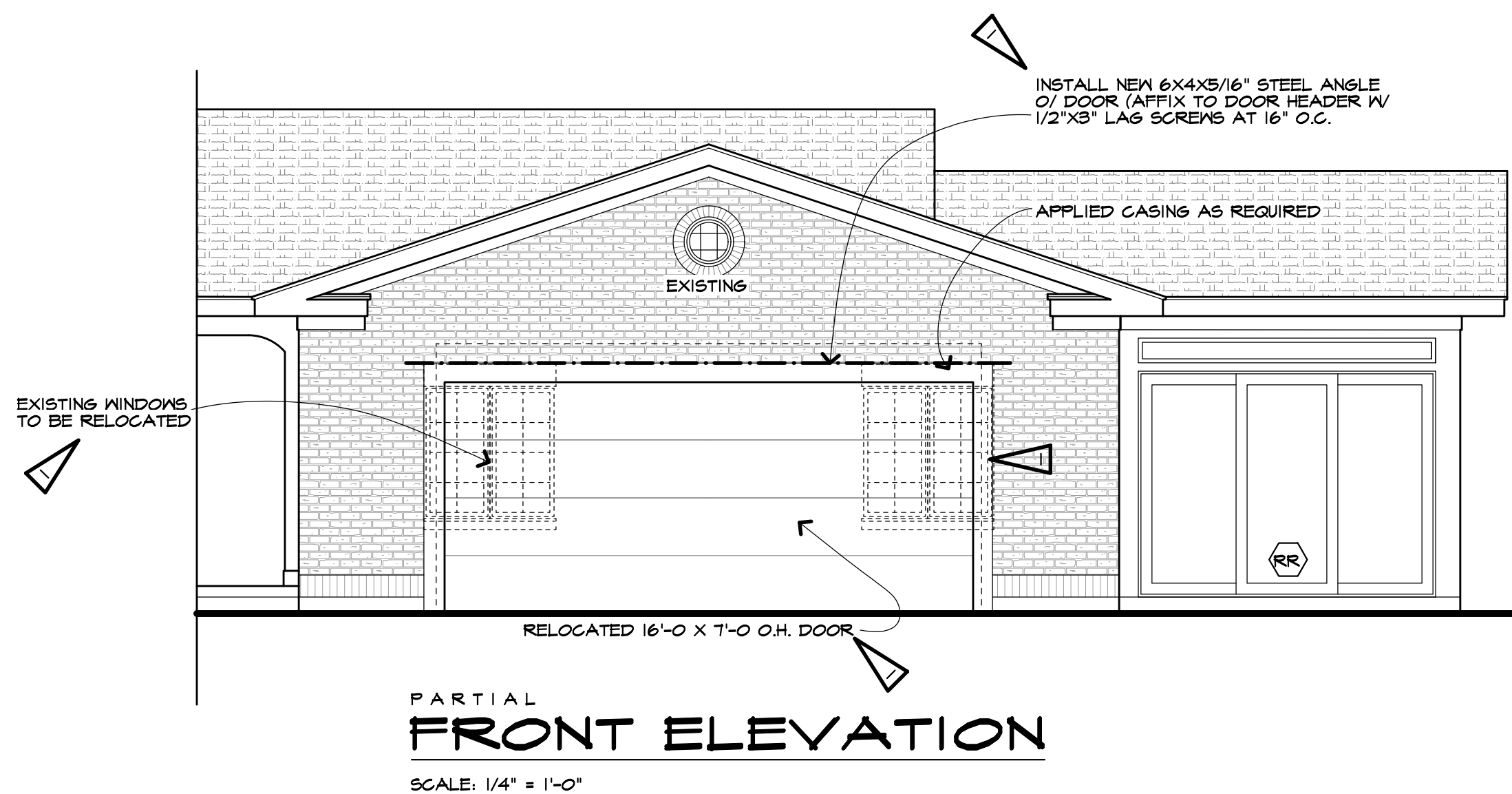
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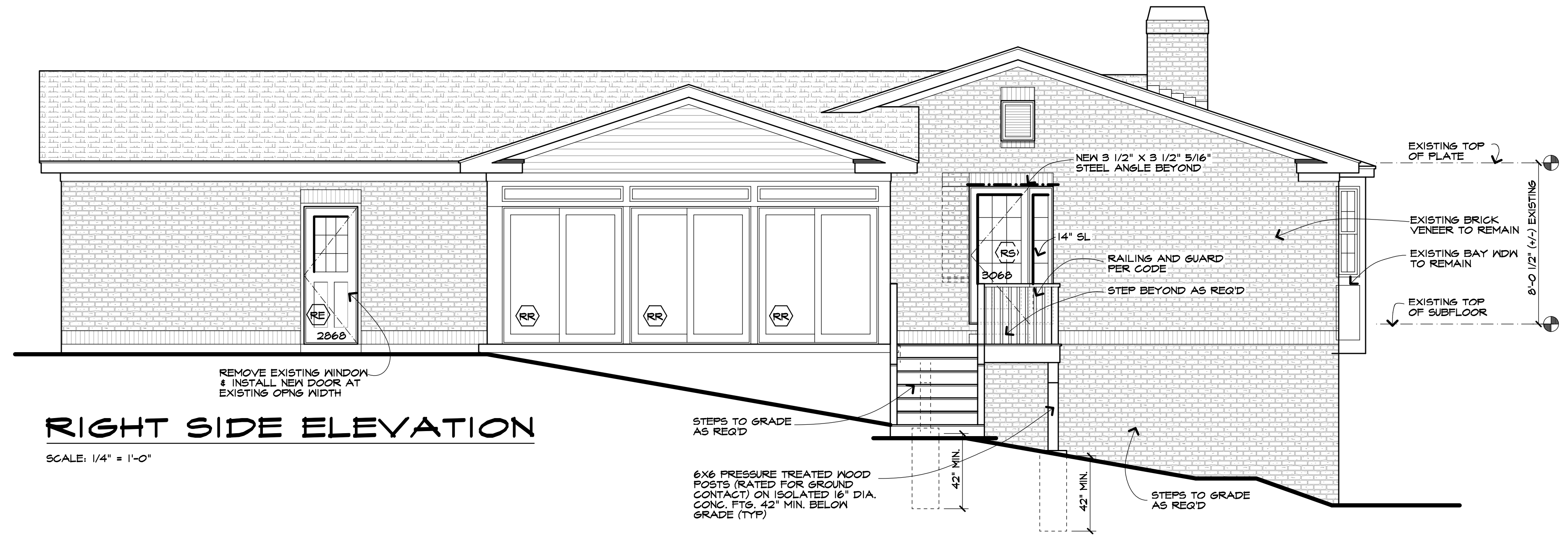


Revisions:  
1 RELOCATE GARAGE DOOR 5/10/23 - TLM

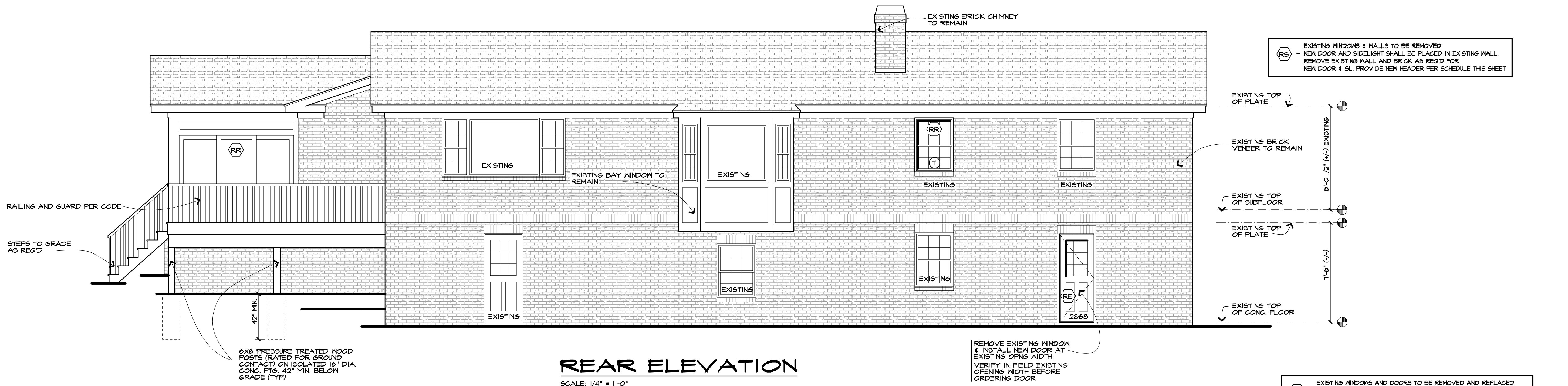
Project:  
RESIDENTIAL REMODEL  
Client:  
MICHAEL PHILLIPS  
Job Location:  
12 SKYTOP LANE  
PITTSFORD, NEW YORK  
Drawing Title:  
ELEVATIONS  
Drawn: SMK Checked By: SLC  
Date: APRIL, 2021  
Job No.: 38300  
Sheet: 2 of 4



**PARTIAL FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

(RS) - EXISTING WINDOWS & WALLS TO BE REMOVED. NEW DOOR AND SIDELIGHT SHALL BE PLACED IN EXISTING WALL. REMOVE EXISTING WALL AND BRICK AS REQ'D FOR NEW DOOR & SL. PROVIDE NEW HEADER PER SCHEDULE THIS SHEET

(RR) - EXISTING WINDOWS AND DOORS TO BE REMOVED AND REPLACED. NEW WINDOWS AND DOORS SHALL FIT IN EXISTING OPENINGS. VERIFY IN FIELD EXISTING CONDITIONS BEFORE ORDERING WINDOWS AND DOORS. EXISTING HEADER AND JACK STUDS REMAIN

(RE) - EXISTING WINDOWS TO BE REMOVED AND REPLACED. NEW DOOR SHALL FIT IN EXISTING OPENING. REMOVE EXISTING WALL AND BRICK AS REQ'D FOR NEW DOOR. EXISTING HEADER AND JACK STUDS REMAIN



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Revisions: RELOCATE GARAGE DOOR 5/10/23 - TJM

Project: RESIDENTIAL REMODEL

Client: MICHAEL PHILLIPS

Job Location: 12 SKYTOP LANE  
PITTSFORD, NEW YORK

Drawing Title: FIRST FLOOR PLAN

Drawn: SMK Checked By: SLC

Date: APRIL, 2021

Job No: 38300

Sheet: 3 of 4

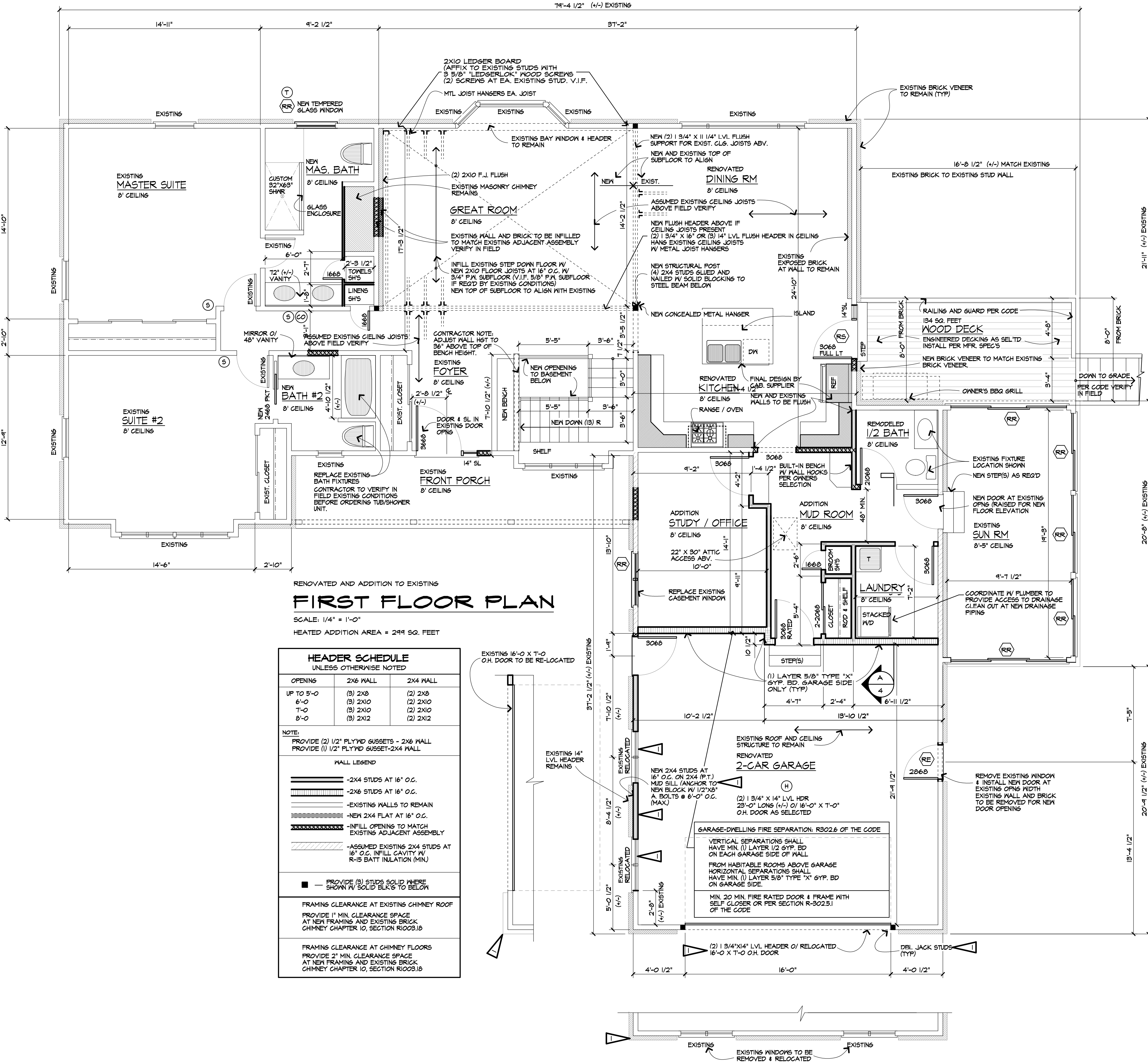
- UNLESS OTHERWISE NOTED ON PLAN, FIRST FLOOR PLATE HEIGHT SHALL BE 8'-0" 1/2" (+/-) ABOVE TOP OF SUBFLOOR. (MATCH EXISTING)
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER
- CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES
- ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DURAPLY (OR EQUAL) FINISH
- AT UNDERSIDE, FULL DEPTH RIM JOIST, AND SOLID BLOCKING AT SUPPORT WALL.
- INSTALL MID-SPAN CROSS BRIDGING AT FLOOR JOIST SPANS UP TO 14'-0" & INSTALL CROSS BRIDGING AT 1/3 POINTS FOR SPANS OVER 14'-0"
- INSTALL HANDRAIL & GUARDS AT STAIR PER SECTIONS R311.7.8-R311.2.2 AND R-312 OF THE CODE
- LVL AND TJI PRODUCTS, ACCESSORIES AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2,000,000)
- 8 1/4" MAX STEP AT EGRESS DOOR(S) ON THE EXTERIOR SIDE FROM THE THRESHOLD TO THE LANDING OR FLOOR PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR PER EXCEPTION SECTION R311.1 OF THE IRC & 7 3/4" MAX STEP FROM THRESHOLD TO THE LANDING OR FLOOR ON ALL OTHER EXTERIOR DOORS PER SECTION R311.3.2 OF THE CODE
- PER R312 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2. WINDOW MANUFACTURER/SUPPLIER & CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMITY

- CONTRACTOR SHALL INSTALL SMOKE, HEAT & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 415 OF THE FIRE CODE.
  - (S) : SMOKE DETECTOR
  - (H) : HEAT DETECTOR
  - (CO) : CARBON MONOXIDE DETECTOR
- R314.2 HEAT DETECTOR SHALL BE LOCATED CENTRALLY IN THE ATTACHED GARAGE.
- R314.3 SMOKE DETECTOR LOCATION SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.
- R314.4 INTERCONNECTION - EXCEPT: INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES
- R315.3 CARBON MONOXIDE ALARM LOCATIONS OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM
- R315.4 & R315.4.4 COMBINATION ALARMS; COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.

(RR) - EXISTING WINDOWS AND DOORS TO BE REMOVED AND REPLACED. NEW WINDOWS AND DOORS SHALL FIT IN EXISTING OPENINGS. VERIFY IN FIELD EXISTING CONDITIONS BEFORE ORDERING WINDOWS AND DOORS. EXISTING HEADER AND JACK STUDS REMAIN

(RE) - EXISTING WINDOWS TO BE REMOVED AND REPLACED. NEW DOOR SHALL FIT IN EXISTING OPENINGS. REMOVE EXISTING MALL AND BRICK AS REQ'D FOR NEW DOOR. EXISTING HEADER AND JACK STUDS REMAIN

(RS) - EXISTING WINDOWS & WALLS TO BE REMOVED. NEW DOOR AND SIDELIGHT SHALL BE PLACED IN EXISTING WALL. REMOVE EXISTING WALL AND BRICK AS REQ'D FOR NEW DOOR & SL. PROVIDE NEW HEADER PER SCHEDULE THIS SHEET



RENOVATED AND ADDITION TO EXISTING  
**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
HEATED ADDITION AREA = 299 SQ. FEET

HEADER SCHEDULE UNLESS OTHERWISE NOTED		
OPENING	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

NOTE:  
PROVIDE (2) 1/2" PLYWOOD GUSSETS - 2X6 WALL  
PROVIDE (1) 1/2" PLYWOOD GUSSET-2X4 WALL

WALL LEGEND

- 2X4 STUDS AT 16" O.C.
- 2X6 STUDS AT 16" O.C.
- EXISTING WALLS TO REMAIN
- NEW 2X4 FLAT AT 16" O.C.
- INFILL OPENING TO MATCH EXISTING ADJACENT ASSEMBLY
- ASSUMED EXISTING 2X4 STUDS AT 16" O.C. INFILL CAVITY W/ R-15 BATT INSULATION (MIN.)
- PROVIDE (3) STUDS SOLID WHERE SHOWN W/ SOLID BLOCKS TO BELOW

FRAMING CLEARANCE AT EXISTING CHIMNEY ROOF  
PROVIDE 1" MIN. CLEARANCE SPACE AT NEW FRAMING AND EXISTING BRICK CHIMNEY CHAPTER 10, SECTION R1003.10

FRAMING CLEARANCE AT CHIMNEY FLOORS  
PROVIDE 2" MIN. CLEARANCE SPACE AT NEW FRAMING AND EXISTING BRICK CHIMNEY CHAPTER 10, SECTION R1003.10





















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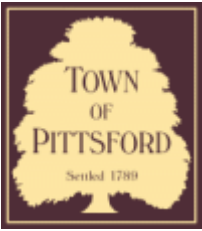
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## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000069

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 15 Knobb Hill Drive PITTSFORD, NY 14534

**Tax ID Number:** 164.14-2-16.2

**Zoning District:** RN Residential Neighborhood

**Owner:** Bhargava, Shashikanth

**Applicant:** Bhargava, Shashikanth

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

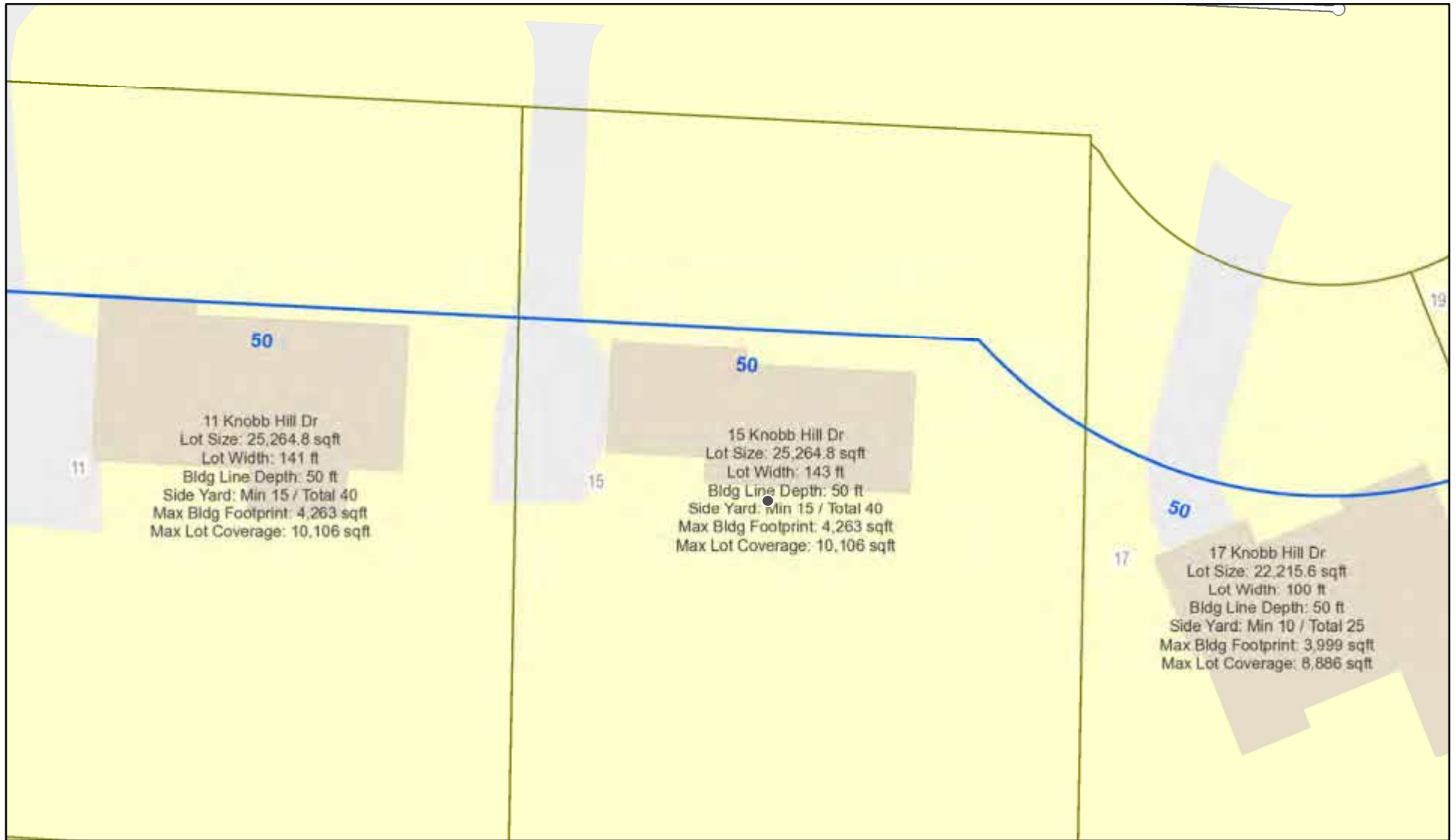
**Project Description:** Applicant is requesting design review for the construction of a 225 SF three season addition off the back of the home.

**Meeting Date:** June 08, 2023

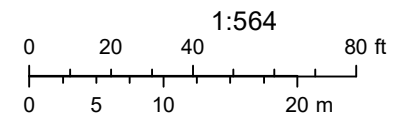




# RN Residential Neighborhood Zoning



Printed May 31, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





Knob Hill Dr



CONTRACT DOCUMENTS FOR:

# 15 KNOBB HILL

1013100421

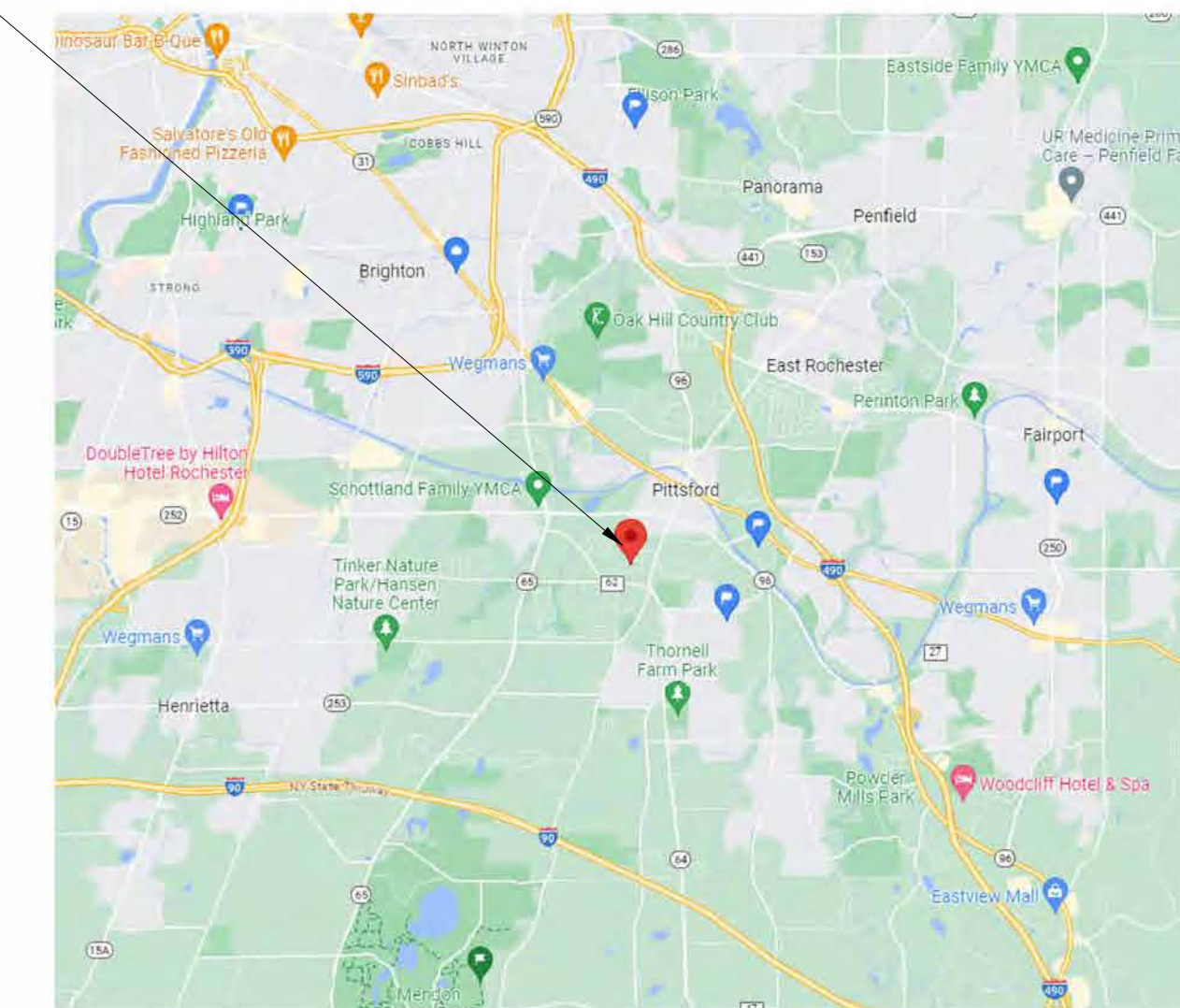
PITTSFORD, NY 14534

MAY 29, 2023



PROJECT LOCATION

LOCATION MAP:



**CLIENT:**

Shashi Bhargava  
15 KNOBB HILL DRIVE  
PITTSFORD, NY 14534



1. GENERAL NOTES:

- A. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC., IN FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION OR SHOP DRAWINGS.
- B. THE DRAWINGS ARE INTENDED TO REQUIRE AND TO INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT PROPER FOR THE WORK.
- C. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES AND REQUIREMENTS.
- D. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PROCEDURES. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
- E. OBSERVE ALL OSHA AND OTHER APPLICABLE SAFETY REQUIREMENTS INCLUDING THE USE OF SAFETY GLASSES, HARD HATS, AND PROTECTION OF AREA WHEN WORKING OVERHEAD. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CONSTRUCTION SAFETY AT ALL TIMES.
- F. COORDINATE WORK OF ALL DISCIPLINES (STRUCT., MECH., ELECT., ETC.) WITH EXISTING CONDITIONS, SPECIAL REQUIREMENTS, CONSTRUCTION SCHEDULE AND OTHER CONTRACTORS PERFORMING WORK AT THE SITE.
- G. THE CONTRACTOR SHALL DESIGN AND PROVIDE ANY TEMPORARY SHORING, BRACING, ETC., AS NEEDED FOR THE WORK SO AS NOT TO ENDANGER THE STRUCTURAL INTEGRITY OF ANY EXISTING FEATURE.
- H. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE DONE TO EXISTING FEATURES AS A RESULT OF THIS WORK. DAMAGED ITEMS SHALL BE REPLACED IN KIND AND AT NO ADDITIONAL COST TO THE OWNER.
- I. SEE SPECIFICATIONS FOR FULL SCOPE OF REQUIREMENTS APPLICABLE TO THIS PROJECT.
- J. SHOP DRAWINGS: REPRODUCTION OF DESIGN DRAWINGS SHALL NOT BE PERMITTED FOR SHOP DRAWING SUBMISSIONS. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL REVIEW AND PROVIDE REVIEW STAMP ON SHOP DRAWING SUBMISSIONS PRIOR TO SUBMITTAL TO ARCHITECT/ENGINEER INDICATING UNDERSTANDING AND ACCEPTANCE OF SUBMITTAL AND CONFIRMING CONFORMANCE TO PROJECT PLANS/SPECIFICATIONS.
- K. THE INFORMATION SHOWN ON THESE DOCUMENTS IS THE BEST REPRESENTATION OF EXISTING CONDITIONS AVAILABLE TO THE ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THOSE FEATURES WHICH WILL AFFECT THE BID PRICE AND MAKE ALLOWANCES FOR THEM IN THEIR BID.

2. DESIGN CRITERIA:

- A. LIVE LOADS  
FINISHED FLOOR - 100 PSF  
ROOF LIVE LOAD - 20 PSF
- B. SNOW LOADS  
GROUND SNOW LOAD - (P<sub>s</sub>) - 40 PSF  
FLAT ROOF SNOW LOAD - (P<sub>f</sub>) - 35 PSF  
SNOW EXPOSURE FACTOR - (C<sub>e</sub>) - 1.0  
SNOW THERMAL FACTOR (C<sub>t</sub>) - 1.1  
SNOW LOAD IMPORTANCE FACTOR - (I<sub>s</sub>) - 1.0  
MAX SNOW DRIFT LOAD - (P<sub>d</sub>) - 76.8 PSF
- C. WIND LOADS  
BASIC WIND SPEED - 115 MPH  
WIND EXPOSURE - B  
CGP - ± 0.18  
WIND UPLIFT (ROOFS)  
INTERIOR - 21.2 PSF  
EDGE (a = 7'-3") - 23.0 PSF  
CORNERS (a = 7'-3") - 53.4 PSF
- D. SEISMIC LOADS  
SITE LOCATION (14534)  
SHORT SPECTRAL RESPONSE (S<sub>s</sub>) - 0.161g  
1.0 SEC SPECTRAL RESPONSE (S<sub>1</sub>) - 0.060g  
SEISMIC IMPORTANCE FACTOR (I<sub>s</sub>) - 1.0  
SPECTRAL RESPONSE COEFFICIENT (S<sub>DS</sub>) - 0.172g  
SPECTRAL RESPONSE COEFFICIENT (S<sub>1</sub>) - 0.095g  
SEISMIC SITE CLASS - D  
SEISMIC DESIGN CATEGORY - B  
BASIC SEISMIC-FORCE RESISTING SYSTEM - WOOD FRAMED PLYWOOD SHEAR WALLS SYSTEM (NOT DETAILED)  
ANALYSIS PROCEDURE - EQUIVALENT LATERAL FORCE ANALYSIS  
RESPONSE MODIFICATION FACTOR (R) - 3  
SEISMIC RESPONSE COEFFICIENT (C<sub>s</sub>) - 0.052  
TOTAL BASE SHEAR - 19.7 kips

BUILDING IS DESIGNED USING 2020 IBC.

3. STRUCTURAL STEEL:

- A. STRUCTURAL STEEL WORK INCLUDES ALL STRUCTURAL STEEL TO BE FURNISHED AND ERECTED, BEAMS, COLUMNS, CHANNELS, ANGLES, JOISTS, LINTELS, BEARING PLATES, ETC., AS INDICATED ON THE DRAWINGS.
- B. COMPLY WITH THE FOLLOWING CODES AND STANDARDS:
  1. AISC STEEL CONSTRUCTION MANUAL, ASD, 14TH EDITION
  2. AMERICAN WELDING SOCIETY (AWS) D1.1 "STRUCTURAL WELDING CODE STEEL", 2015
  3. CURRENT OSHA ERECTION AND FABRICATION REQUIREMENTS.
- C. MATERIALS:
  1. BEAMS, GIRDERS AND COLUMNS: ASTM A992
  2. ANGLES, BARS AND PLATES: ASTM A-36.
  3. TUBE STEEL: ASTM A500, GRADE B F<sub>y</sub>=42 KSI
  4. PIPE: SCHEDULE 40 CONFORMING TO ASTM A53, GRADE B. U.N.O.
  5. HIGH STRENGTH BOLTS: ASTM A 325.
  6. WELDS: E70XX ELECTRODES.
- D. ALL STRUCTURAL STEEL SHOP CONNECTIONS SHALL BE WELDED AND ALL FIELD CONNECTIONS SHALL BE HIGH-STRENGTH BOLTED UNLESS SHOWN OTHERWISE.
- E. ALL BOLTS SHALL BE TIGHTENED TO THE SNUG TIGHT CONDITION UNLESS NOTED OTHERWISE. SLIP CRITICAL BOLTS SHALL BE USED AT ALL MOMENT CONNECTIONS.
- F. PROVIDE ANCHORS AND OTHER DEVICES TO BE BUILT INTO CONCRETE WORK.
- G. ALL STEEL SHALL RECEIVE ONE COAT OF PRIMER PAINT, U.N.O.
- H. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED.
- I. SHOP DRAWINGS: SUBMIT SHOP DRAWINGS INCLUDING COMPLETE DETAILS AND SCHEDULES FOR FABRICATION AND ASSEMBLY OF STRUCTURAL STEEL MEMBERS, PROCEDURES AND DIAGRAMS.

4. CONCRETE WORK:

- A. COMPLY WITH THE FOLLOWING CODES AND STANDARDS:
  1. ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
  2. ACI 305, ACI 306, ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
  3. ACI DETAILING MANUAL, LATEST EDITION.
  4. ACI 347 "RECOMMENDED PRACTICE FOR CONCRETE FORM WORK".
  5. CONCRETE REINFORCING STEEL INSTITUTE (CRSI), "MANUAL OF STANDARD PRACTICE".
  6. ACI 304 "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE".
- B. MATERIALS:
  1. REINFORCING BARS - ASTM A615, GRADE 60, DEFORMED.
  2. WELDED WIRE FABRIC (WWF) - ASTM A185, FLAT SHEETS.
  3. SUPPORTS FOR REINFORCEMENT:
    - (A) FOR SLABS-ON-GRADE USE CONCRETE BRICKS OR CHAIRS TO SUPPORT AND MAINTAIN PROPER LOCATION OF WWF AND REINFORCING BARS.
    - (B) BOLSTERS, CHAIRS, SPACERS, ETC. SHALL BE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI SPECS. FOR EXPOSED TO VIEW SURFACES WHERE SUPPORTS ARE IN CONTACT WITH FORMS, PROVIDE SUPPORTS WITH LEGS WHICH ARE PROTECTED BY PLASTIC OR STAINLESS STEEL.
  4. PORTLAND CEMENT-ASTM C150, TYPE II.
  5. AGGREGATES-ASTM C33.
  6. AIR ENTRAINING ADMIXTURE-ASTM C260, CERTIFIED BY MANUFACTURER TO BE COMPATIBLE WITH OTHER REQUIRED ADMIXTURES.
  7. PROHIBITED ADMIXTURES-CALCIUM CHLORIDE THYOCYANATES OR ADMIXTURES CONTAINING MORE THAN 0.1% CHLORIDE IONS ARE NOT PERMITTED.
- C. PROPORTIONING AND DESIGN OF MIXES:
  1. PREPARE DESIGN MIXES FOR EACH TYPE, AND STRENGTH OF CONCRETE BY EITHER LABORATORY TRIAL BATCH OR FIELD EXPERIENCE METHODS AS SPECIFIED IN ACI 318.
  2. NORMAL WEIGHT CONCRETE-MINIMUM 28 COMPRESSIVE STRENGTH:
    - A. SLAB ON GRADE - 3000 PSI
    - B. FOUNDATION WALLS, PIERS, FOOTINGS - 4000 PSI
- D. FORM WORK:
  1. PROVIDE OPENINGS IN CONCRETE FORM WORK TO ACCOMMODATE WORK OF OTHER TRADES.
- E. CONCRETE SHALL BE READY MIXED PER ASTM C94. JOB SITE MIXING SHALL NOT BE PERMITTED.
- F. CONCRETE PLACEMENT:
  1. THE ADDITION OF WATER TO THE CONCRETE MIX AT THE JOB SITE IS NOT PERMITTED UNLESS SPECIFICALLY ALLOWED BY THE OWNER'S REPRESENTATIVE.
  2. PROTECT CONCRETE WORK FROM THE DETRIMENTAL EFFECTS OF COLD TEMPERATURES IN COMPLIANCE WITH ACI 306.
  3. PROTECT CONCRETE WORK FROM THE DETRIMENTAL EFFECTS OF HOT WEATHER OR WINDY CONDITIONS IN COMPLIANCE WITH ACI 305.
  4. PLACE FLOOR SLABS TO SURFACE LEVEL TOLERANCES OF FF20-FL17.
- G. CONCRETE FINISHES:
  1. FORMED SURFACES EXPOSED TO VIEW - SMOOTH RUBBED FINISH.
  2. SLAB FINISH - PROVIDE TROWEL FINISH.
- H. PROVIDE MOISTURE CURE TO SLAB SURFACES FOR 7 DAYS BY EITHER COVERING THE CONCRETE WITH WATER, APPLYING A CONTINUOUS WATER-FOG SPRAY, OR COVERING WITH AN ABSORPTIVE COVER. CHEMICAL CURING COMPOUNDS WILL NOT BE ALLOWED ON FLOOR SLABS.
- I. SPECIFIED COVER FOR REINFORCEMENT SHALL NOT BE LESS THAN THE FOLLOWING:
  1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
  2. CONCRETE EXPOSED TO EARTH OR WEATHER: 1-1/2"
  3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
    - SLABS, WALLS: 3/4"
    - PIERS' PRIMARY REINFORCEMENT, TIES, STIRRUPS: 1-1/2"

5. FOUNDATIONS:

- A. ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE = 1,500 PSF.
- B. ALL NEW FOUNDATION CONSTRUCTION SHALL BEAR ON APPROVED, UNDISTURBED NATIVE SOILS.
- C. ALL EXTERIOR FOOTINGS ELEVATIONS SHALL NOT BE HIGHER THAN THE FROST DEPTH OF -4'-0" (BELOW GRADE).

6. WOOD CONSTRUCTION:

- A. WOOD CONSTRUCTION SHALL CONFORM TO THE AMERICAN FOREST AND PAPER ASSOCIATIONS (AF&PA) NATIONAL DESIGN SPECIFICATIONS. LUMBER SHALL BE #2 HEM-FIR FOR BETTER WITH F<sub>b</sub> = 850 PSI, F<sub>v</sub> = 150 PSI, AND E = 1,300,000 PSI.
- B. WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH, OR WITHIN 1 FT OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE PRESERVATIVE TREATED.
- C. MICRO-LAM LUMBER AND TRUS-JOISTS SHALL BE AS MANUFACTURED BY "TRUS-JOIST." BEAMS SHALL BE PROPERLY FASTENED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS PER FOOT. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- D. FRAMING ACHORS AND MISCELLANEOUS METAL DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 16 GAGE THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUFACTURER.
- E. ROOF TRUSSES, INCLUDING DESIGN, CONNECTIONS, BRACING, ERECTION, AND QUALITY SHALL CONFORM TO THE SPECIFICATIONS AND RECOMMENDATIONS OF NFPA AND THE TRUSS PLATE INSTITUTE (TPI). TEMPORARY AND PERMANENT BRACING SHALL BE IN STRICT ACCORDANCE WITH TPI BWT-76. BRACING WOOD TRUSSES. TRUSS MANUFACTURER'S REPRESENTATIVE SHALL BE ON SITE AS NECESSARY TO ENSURE THAT TRUSSES AND BRACING ARE INSTALLED PER MANUFACTURER'S SHOP DRAWINGS.
- F. SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR ROOF TRUSSES, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK, TO THE ARCHITECT FOR REVIEW BEFORE BEGINNING FABRICATION.

GENERAL ARCHITECTURAL/ENERGY/CONSTRUCTION NOTES:

1. SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED THROUGHOUT THE EXISTING HOUSE IN ALL LOCATIONS REQUIRED BY APPENDIX J OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. LISTED COMBINATION SMOKE/CARBON MONOXIDE ALARM MAY BE USED IN LIEU OF SEPARATE ALARMS. ALL NEW SMOKE AND CARBON MONOXIDE DETECTORS MUST BE INTERCONNECTED (BY WIRE OR BLUETOOTH) SO THAT WHEN ONE GOES OFF, THEY ALL DO. IF NOT POSSIBLE, THEY MUST BE OF THE 10-YEAR SEALED LITHIUM BATTERY TYPE.
2. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM AS PER THE REQUIREMENTS OF SECTION 303.3 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
3. GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, AND WITHIN 6 FEET OF THE APPLIANCE. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED AND SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION G2420 OF THE RESIDENTIAL CODE AND SHALL COMPLY WITH REQUIRED STANDARDS AS INDICATED IN SECTION G2420.1.1.
4. THE SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM OF SIX FEET ON CENTER. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12" FROM EACH END. BOLTS SHALL BE AT LEAST 1/2" IN DIAMETER AND EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE.
5. ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENERS, JOIST HANGERS AND FLASHINGS SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL OR APPROVED BY THE MANUFACTURER FOR USE WITH PRESSURE TREATED WOOD.
6. PROVIDE HEADERS OVER ALL FRAMED OPENINGS, INCLUDING WINDOW AND DOOR OPENINGS. MINIMUM HEADER SIZE, AND NUMBER OF JACK STUDS TO MEET THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
7. PROVIDE ICE AND WATER SHIELD EXTENDING FROM THE EAVE EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING AS REQUIRED BY SECTION R905.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
8. FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL AND ROOF INTERSECTIONS AND PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS; SKYLIGHTS; CHIMNEYS; UNDER AND AT ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS; AND WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION. FLASHINGS SHALL BE PROVIDED AS REQUIRED TO COMPLY WITH ALL OF SECTION R703.4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
9. ALL LEDGERS THAT ARE SUPPORTED BY THE EXISTING STRUCTURE SHALL BE POSITIVELY ANCHORED TO THE EXTERIOR WALL, FOUNDATION WALL OR THE BAND JOIST, AND CANNOT BE ATTACHED BY NAILS ALONE. AN APPROPRIATE NUMBER OF LAG SCREWS OR BOLTS MUST BE USED.
10. PROVIDE A MINIMUM OF 1/2" GYP. BD. TO THE GARAGE SIDE OF WALLS SEPARATING THE DWELLING FROM THE GARAGE, AND CEILINGS SEPARATING THE GARAGE FROM ATTIC SPACE ABOVE.
11. ALTERATIONS, RENOVATIONS OR REPAIRS TO EXISTING ROOF/CEILING, WALL OR FLOOR CAVITIES SHALL BE INSULATED TO FULL DEPTH WITH INSULATION HAVING A MINIMAL NOMINAL VALUE OF R-3.0/INCH.
12. TO PROVIDE COMPLIANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, THE MAXIMUM ALLOWABLE U-FACTOR FOR NEW EXTERIOR DOORS AND WINDOWS (FENESTRATION) SHALL BE 0.32 AS REQUIRED BY TABLE N1102.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. PROVIDE DOCUMENTATION SHOWING COMPLIANCE TO THE TOWN PRIOR TO INSTALLATION.

Stamp:

Client:

**Shashi Bhargava**

15 KNOBB HILL DRIVE  
PITTSFORD, NY 14534

No.	Date	By	Description

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**STRUCTURAL NOTES**

15 KNOBB HILL

Town/City: PITTSFORD  
County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-000

Date: MAY 29, 2023

**FOR PERMIT**

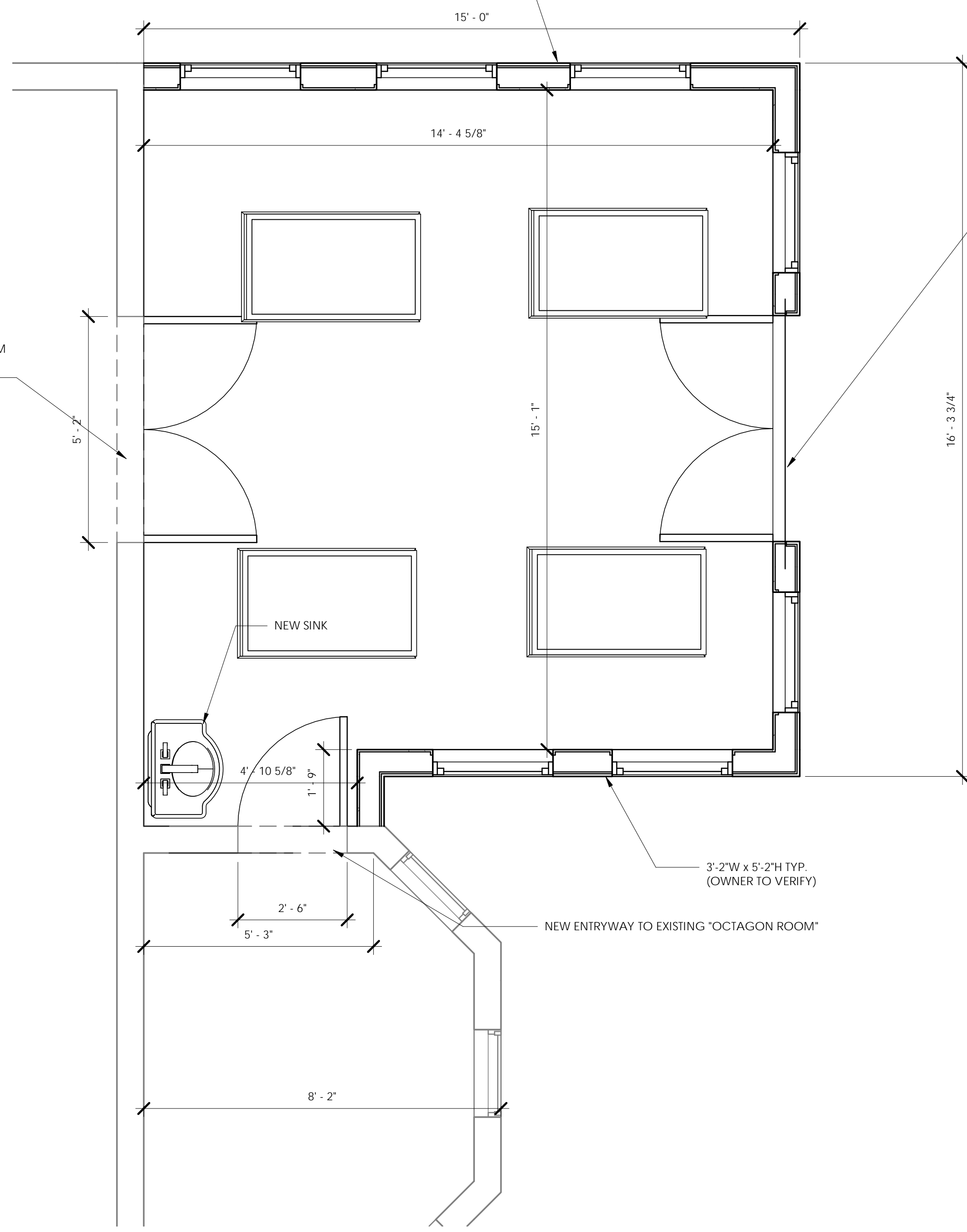




EXTERIOR WALLS TO BE 2x6 @ 16" O.C. WITH R-21 INSULATION MIN. 1/2" MIN EXTERIOR SHEATHING WITH 12" SCREW SPACING ON EDGE AND FIELD OF SHEATHING PANELS. INTERIOR TO BE 1/2" DRYWALL MIN.

NEW (2) 1.75"x9.5" MICROLLAM TO BE INSTALLED BEFORE REMOVING WALL BELOW

(2) 1.75x7.5" MICROLLAM LVL W/ 4X4 POSTS AT ENDS WITH SIMPSON LCE4 CLIPS AND POST BASE CLIPS.



**1** FIRST FLOOR PLAN  
 0" 6" 1" 2" 4"  
 1/2" = 1'-0"

Stamp:

Client:  
**Shashi Bhargava**

15 KNOBB HILL DRIVE  
 PITTSFORD, NY 14534

No.	Date	By	Description

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**FIRST FLOOR PLAN**

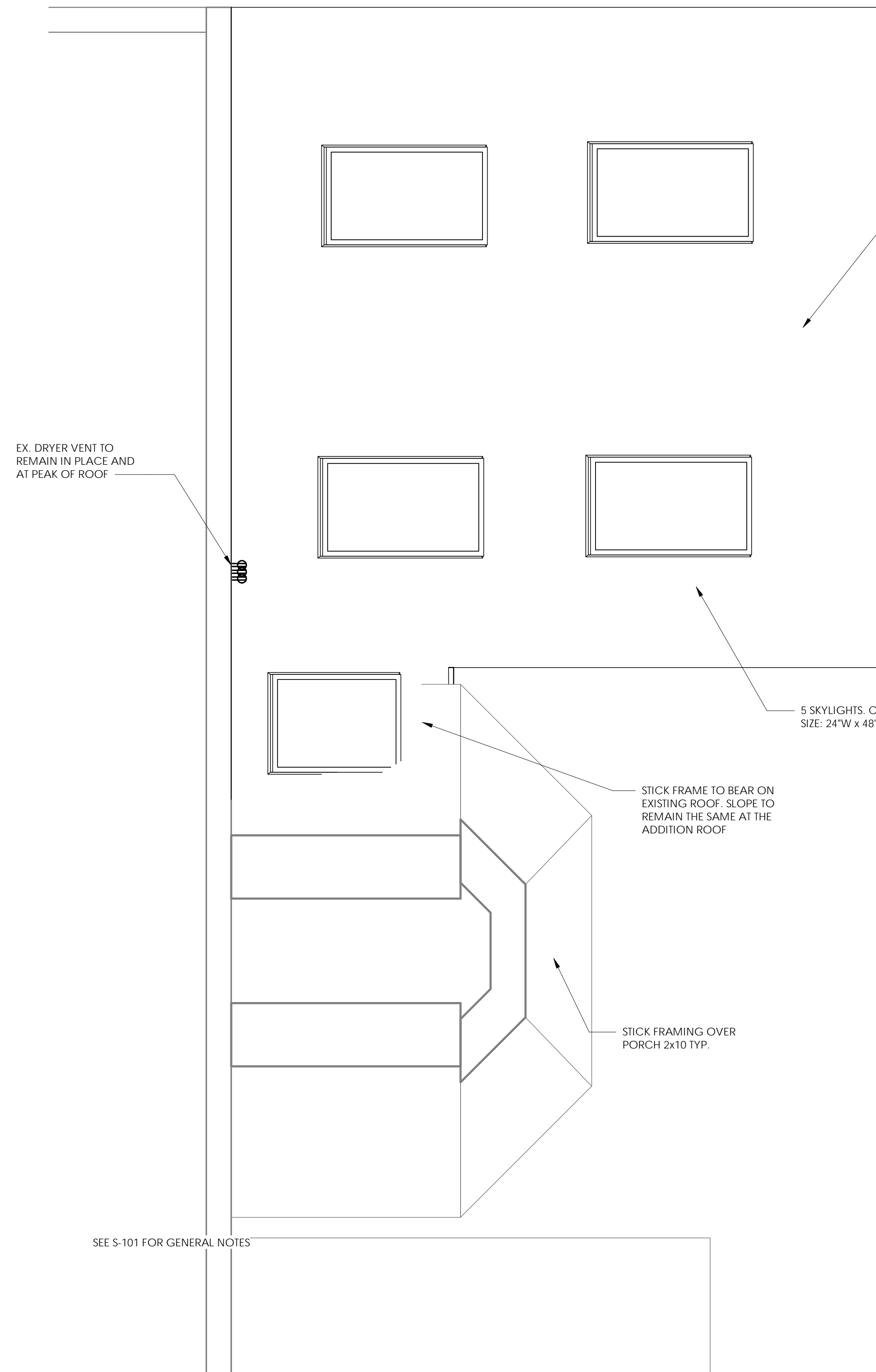
15 KNOBB HILL  
 Town/City: PITTSFORD  
 County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-102

Date: MAY 29, 2023

**FOR PERMIT**



ROOF FRAMING TO BE 2X10 @ 24" O.C.  
 SLOPE TO MATCH ROOF SLOPE OF PATIO  
 ROOF (2.75:12, V.I.F.) END BEARING ON  
 EXTERIOR WALLS. NO INTERIOR LOAD  
 BEARING WALLS. BLOCKING AND  
 BRACING BETWEEN JOISTS TO DISTRIBUTE  
 LATERAL LOADS PER ANSI/TPI 1-2014.  
 SIMPSON H1 OR H2.5A CLIPS AT ALL  
 JOIST END CONNECTIONS. TYP. 3/4"  
 SHEATHING WITH WEATHERSHIELD AND  
 SHINGLES TO MATCH EXISTING.  
 COORDINATE WITH OWNER.

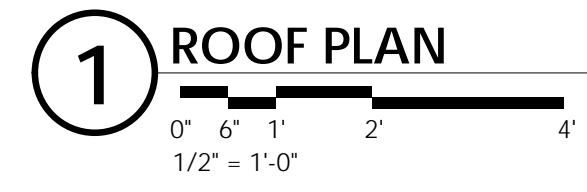
EX. DRYER VENT TO  
 REMAIN IN PLACE AND  
 AT PEAK OF ROOF

5 SKYLIGHTS, COORDINATE LOCATION WITH OWNER.  
 SIZE: 24"W x 48"H TYP.

STICK FRAME TO BEAR ON  
 EXISTING ROOF. SLOPE TO  
 REMAIN THE SAME AT THE  
 ADDITION ROOF

STICK FRAMING OVER  
 PORCH 2x10 TYP.

SEE S-101 FOR GENERAL NOTES



**FOR PERMIT**

Stamp:

Client:  
**Shashi Bhargava**

15 KNOBB HILL DRIVE  
 PITTSFORD, NY 14534

No.	Date	By	Description

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**ROOF PLAN**

15 KNOBB HILL

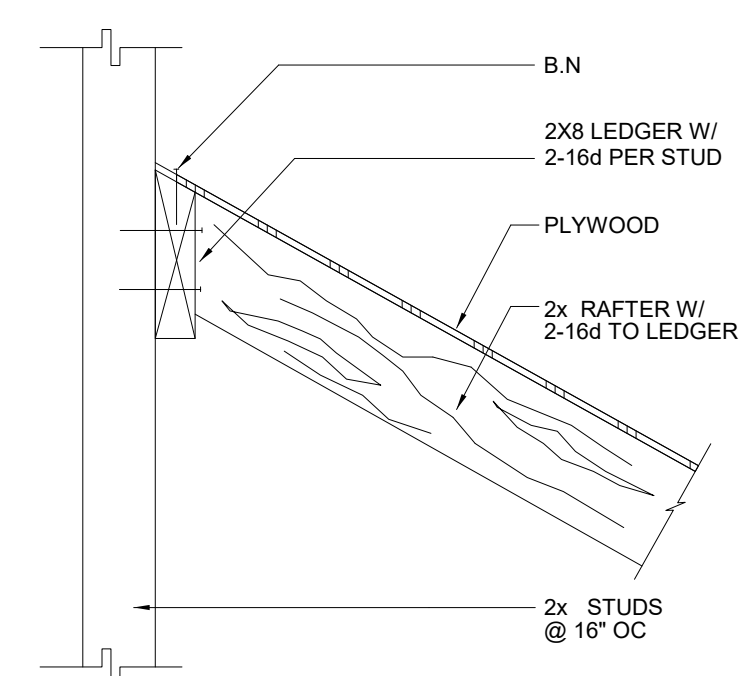
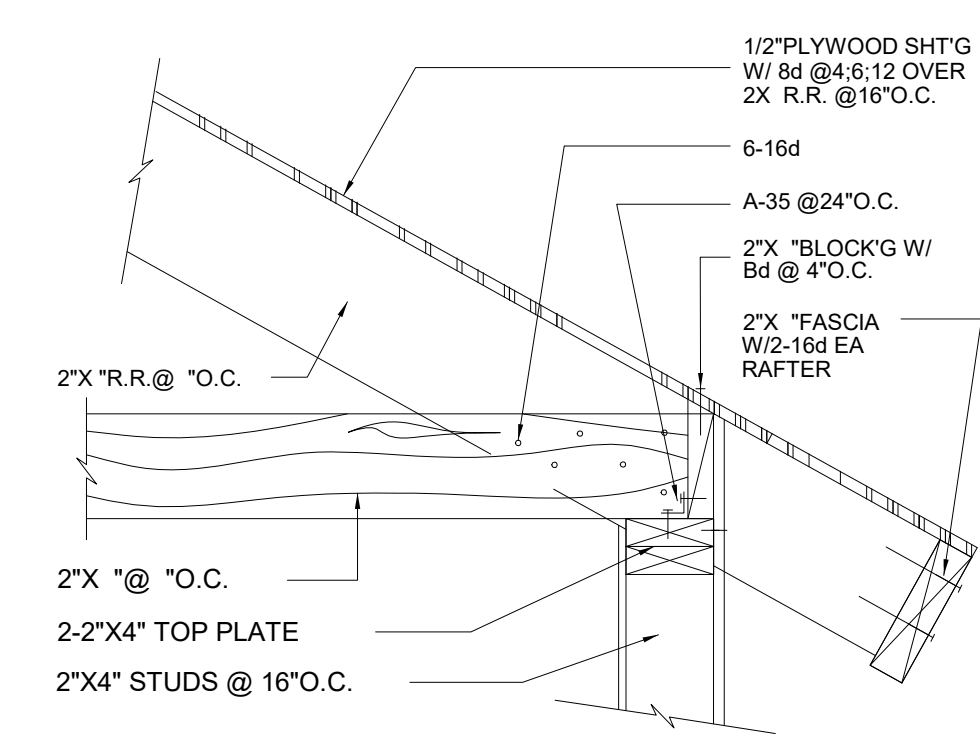
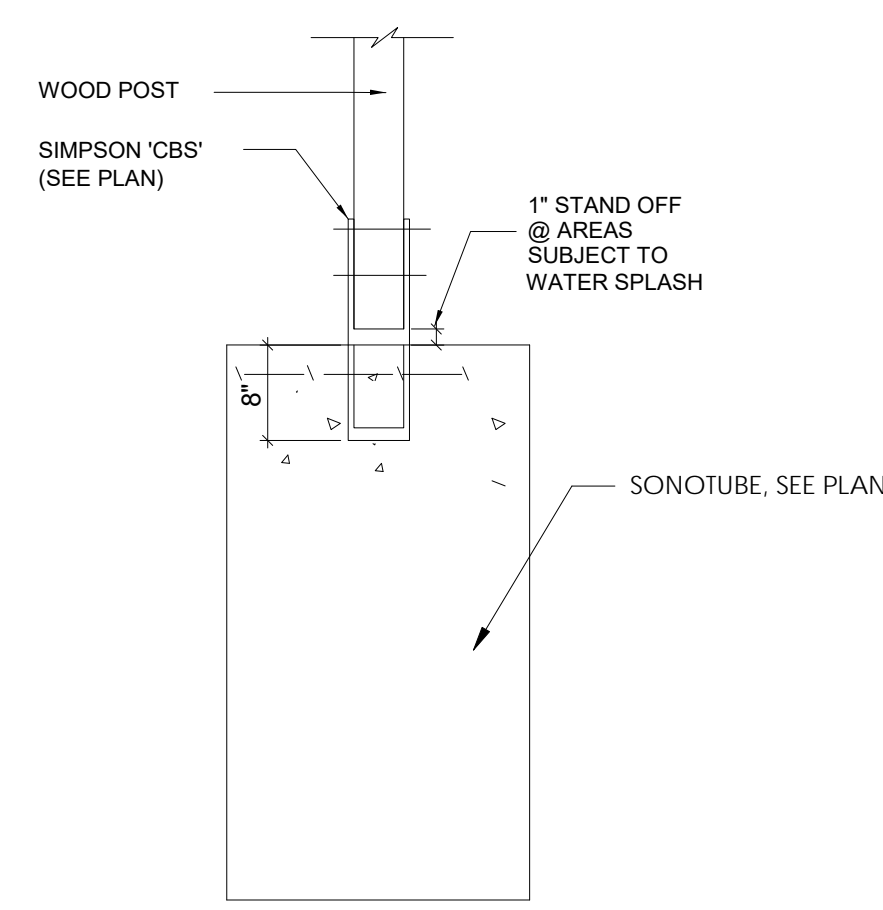
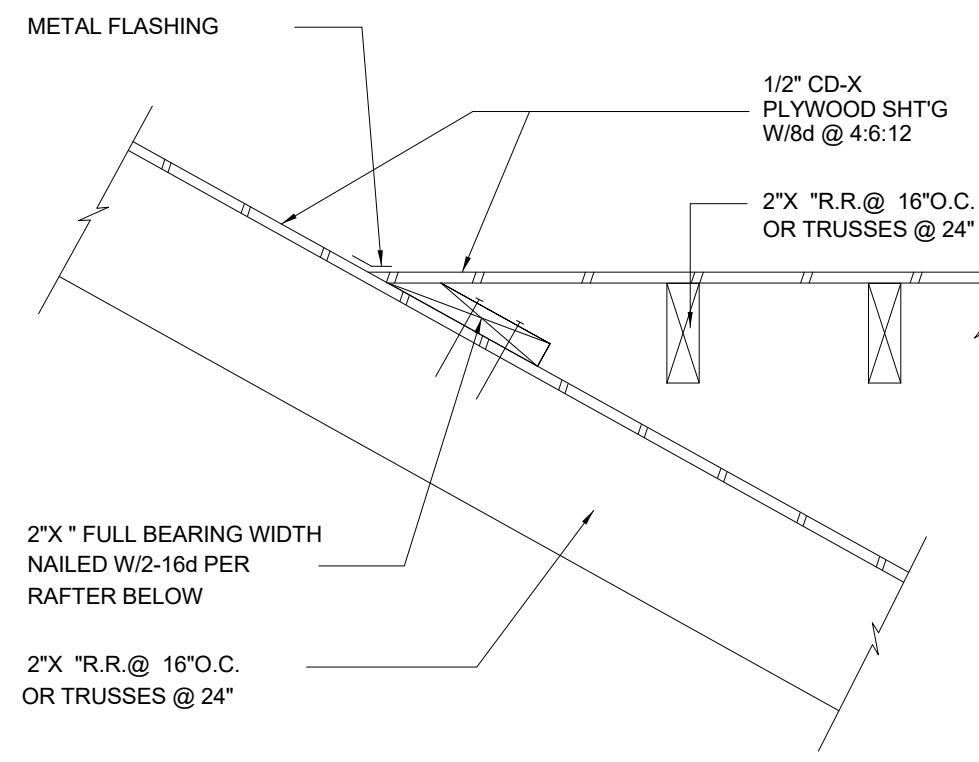
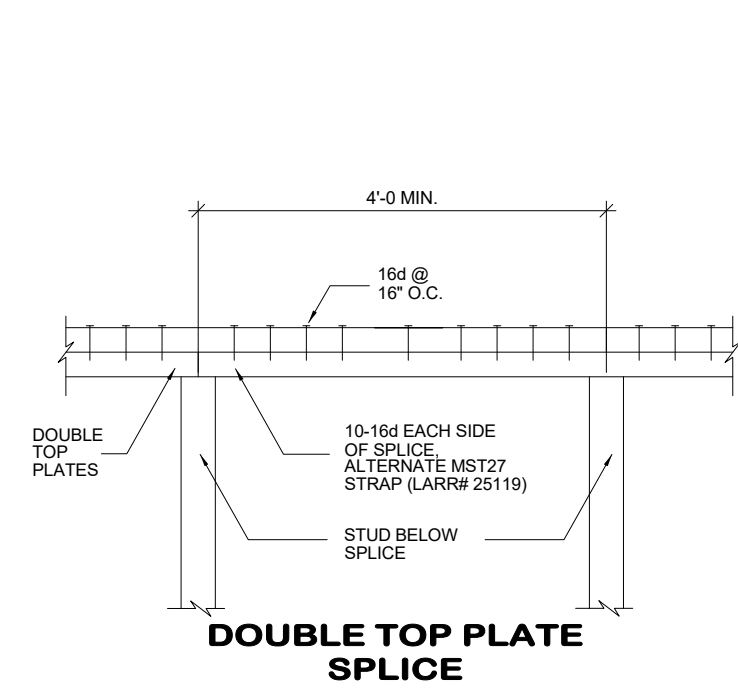
Town/City: PITTSFORD  
 County: MONROE State: NEW YORK

Project No.:  
 1013100421

Drawing No.:  
 S-103

Date:  
 MAY 29, 2023





**1 WOOD ROOF TYPICAL DETAILS**  
 0' 1' 2' 4' 8'  
 1/4" = 1'-0"

Stamp:

Client:  
**Shashi Bhargava**

15 KNOBB HILL DRIVE  
 PITTSFORD, NY 14534

No.	Date	By	Description

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**TYPICAL DETAILS AND WALL SECTION**

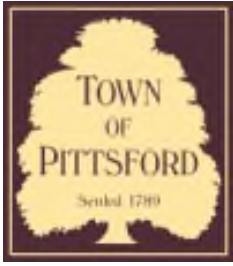
15 KNOBB HILL  
 Town/City: PITTSFORD  
 County: MONROE State: NEW YORK

Project No.: 1013100421

Drawing No.: S-105

Date: MAY 29, 2023

**FOR PERMIT**



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**B23-000070**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 168 Caversham Woods PITTSFORD, NY 14534

**Tax ID Number:** 163.20-2-20

**Zoning District:** RN Residential Neighborhood

**Owner:** Grower, Mason

**Applicant:** Grower, Mason

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

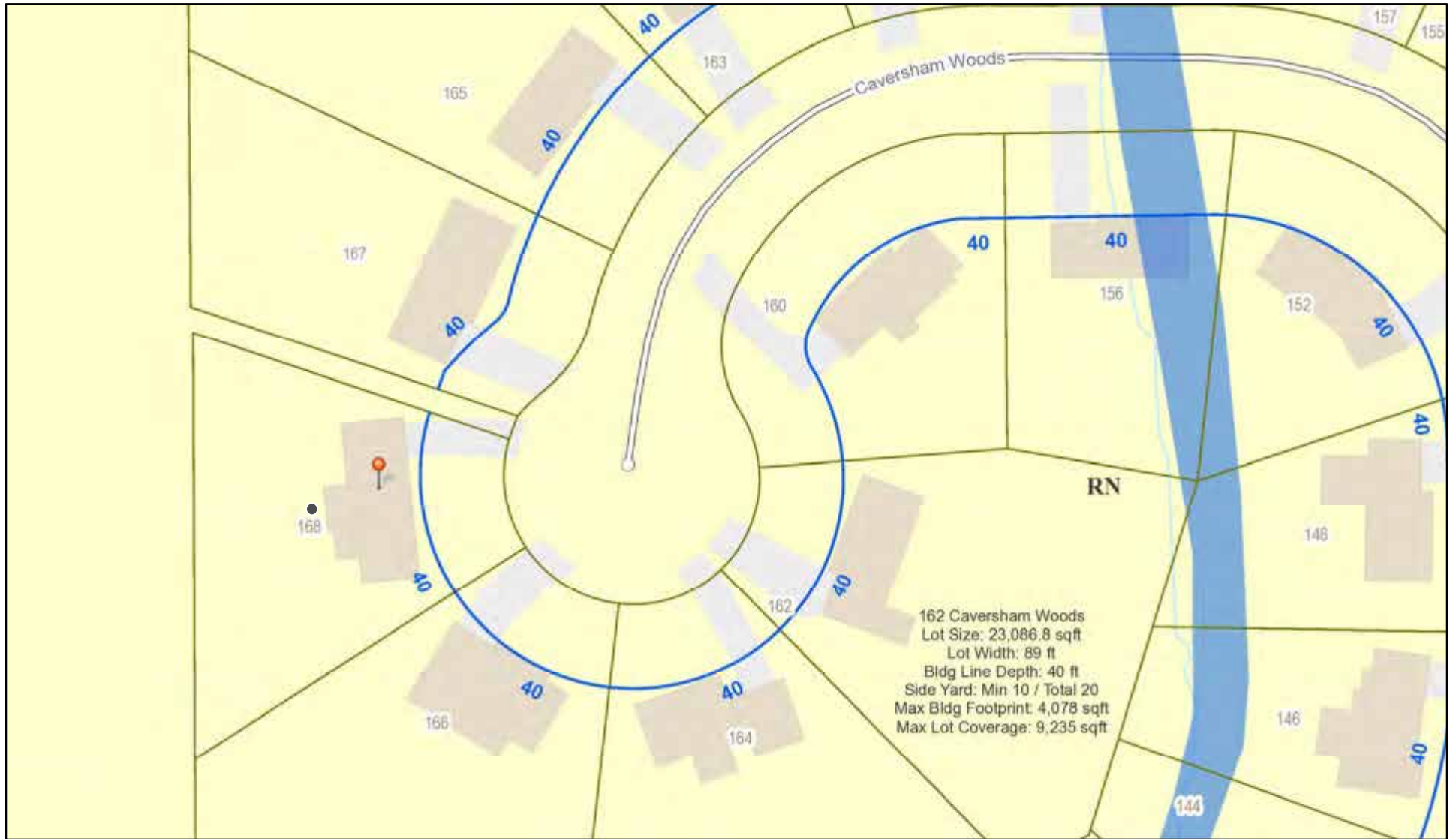
**Project Description:** Applicant is requesting design review for an approximately 2200 square foot addition to the back of the home with front facade changes.

**Meeting Date:** June 08, 2023

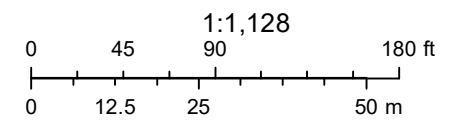




# RN Residential Neighborhood Zoning



Printed May 31, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

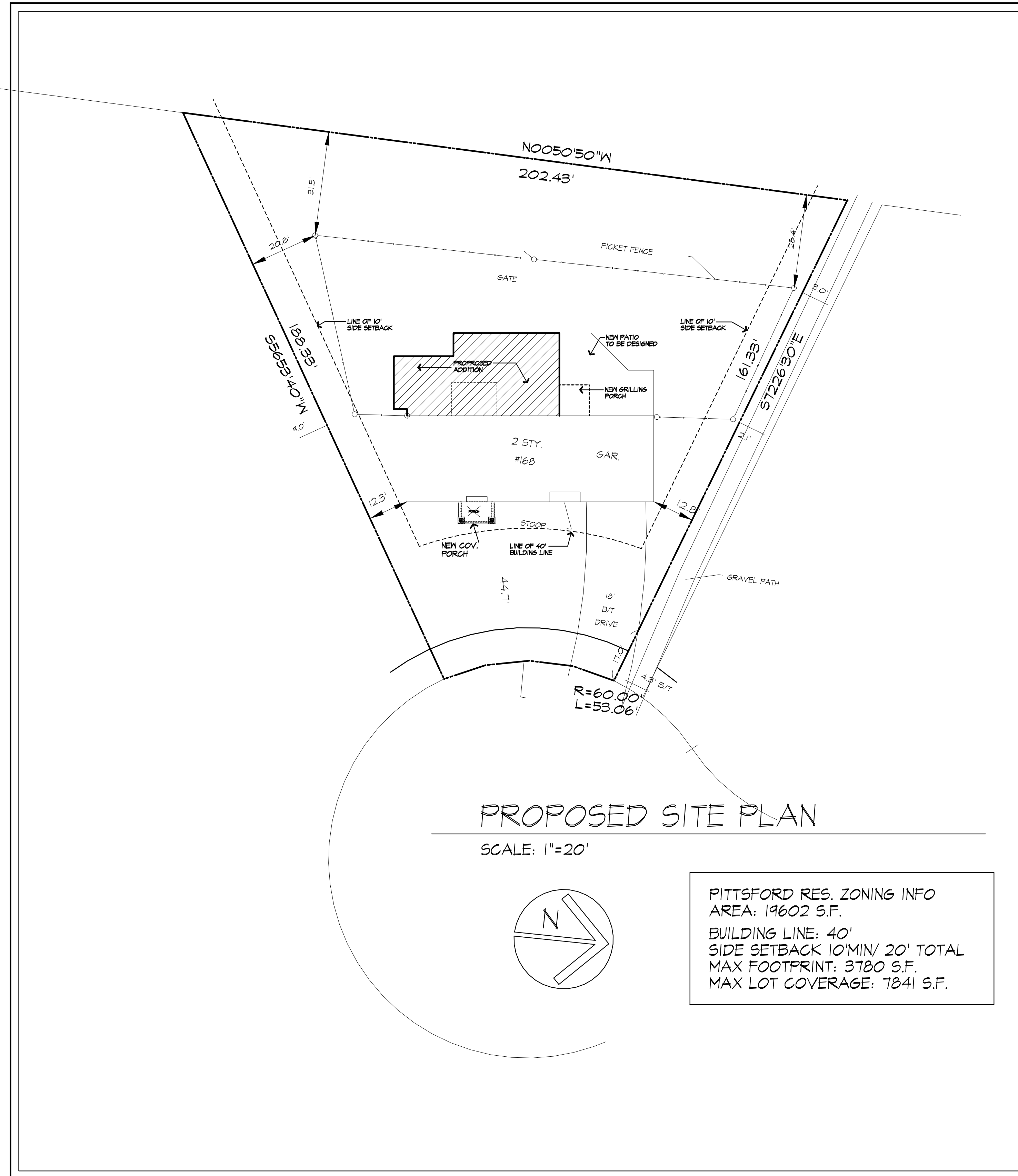






# GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE, PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTINGS/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED.
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:  
2500 PSI FOOTINGS  
3000 PSI FLOOR SLABS  
3500 PSI PORCH  
3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-1, WALL REINFORCING - ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - 1 PART PORTLAND CEMENT, 1/4 PART LIME, 3 PARTS SAND.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-31G, TT-P-36. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN SAME DIRECTION.
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS.
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS AND REQUIRED BRIDGINGS/BRACINGS.
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS - 1, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-1, NAILING AND SPACINGS PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).  
FLOOR LOADS (LIVING AREAS-1ST FLOOR) 40 PSF  
SLEEPING AREAS (2ND FLOOR) 30 PSF  
EXTERIOR DECKS 40 PSF
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S MET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020)
- CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R319.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R304.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



**PROPOSED RENOVATION/ ADDITION**  
**MASON AND AMY GROWER**  
**168 CAVERSHAM WOODS, PITTSFORD NY**

# DRAWING INDEX

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**ENERGY COMPLIANCE DETAILS & PATH**  
MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS  
R402.1.2 (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR SKYLIGHT U-FACTOR	.30 .55	.30 .55 MAX
2. CEILING R-FACTOR	49	49
3. WOOD FRAME WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JST5
4. FLOOR R-FACTOR	R-30	R-30
5. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT
6. SLAB R-FACTOR	R-10@24" R-5 SLAB EDGE	R-10@24" R-5 SLAB EDGE

**2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH**

- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103.11
- ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC. WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.9
- DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINIMUM OF R-6 PER 1103.2.1
- MECHANICAL VENTILATION PER SECTION 1103.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION 1103.7.3 REQUIREMENT.
- MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION 1103.6.1.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION 1103.7 REQUIREMENTS.

# BASIC DESIGN CRITERIA

- GROUND SNOW LOAD - 40 PSF R301.2 (5)
- WIND SPEED - 115 MPH, EXPOSURE B R301.2.1
- SEISMIC DESIGN CATEGORY - A R301.2 (2)
- WEATHERING - SEVERE
- FROST LINE DEPTH - 48"
- TERMITE DAMAGE - NONE TO SLIGHT
- DECAY DAMAGE - NONE TO SLIGHT
- WINTER DESIGN TEMPERATURE - - 1
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOD HAZARD - FIRM - 1992
- ROOF TIE DOWN REQUIREMENTS R302.1.1

**MORABITO ARCHITECTS**  
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Pittsford, NY 14534

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REVISED 2/7/2023 P.J.MAIA  
REVISED 10/6/2022 P.J.MAIA

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5/8/23 CONSTRUCTION DOCS P.J.MAIA

---

**PROJECT:**  
PROPOSED RENOVATION/ ADDITION  
168 CAVERSHAM WOODS  
TOWN OF PITTSFORD, NY

---

**CLIENT:**  
MASON AND AMY GROWER  
168 CAVERSHAM WOODS  
TOWN OF PITTSFORD, NY

---

**DRAWING:**  
TITLE PAGE

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<b>DRAWN:</b> P.J.MAIA/MSM	<b>CHECKED:</b> P.J.MAIA
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**DATE:** 7/4/22

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**SCALE:** 1/4"=1'-0", OR AS NOTED

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**JOB NO.:** 2244286

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**SHEET:**

**1**

OF 15 SHEETS



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 REVISED 10/6/2022 P.J.MAIA

5/8/23 CONSTRUCTION DOCS P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION/ ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 ELEVATIONS - EXISTING  
 WITH REMOVALS SHOWN

**DRAWN:** P.J.MAIA/MSM  
**CHECKED:** P.J.MAIA

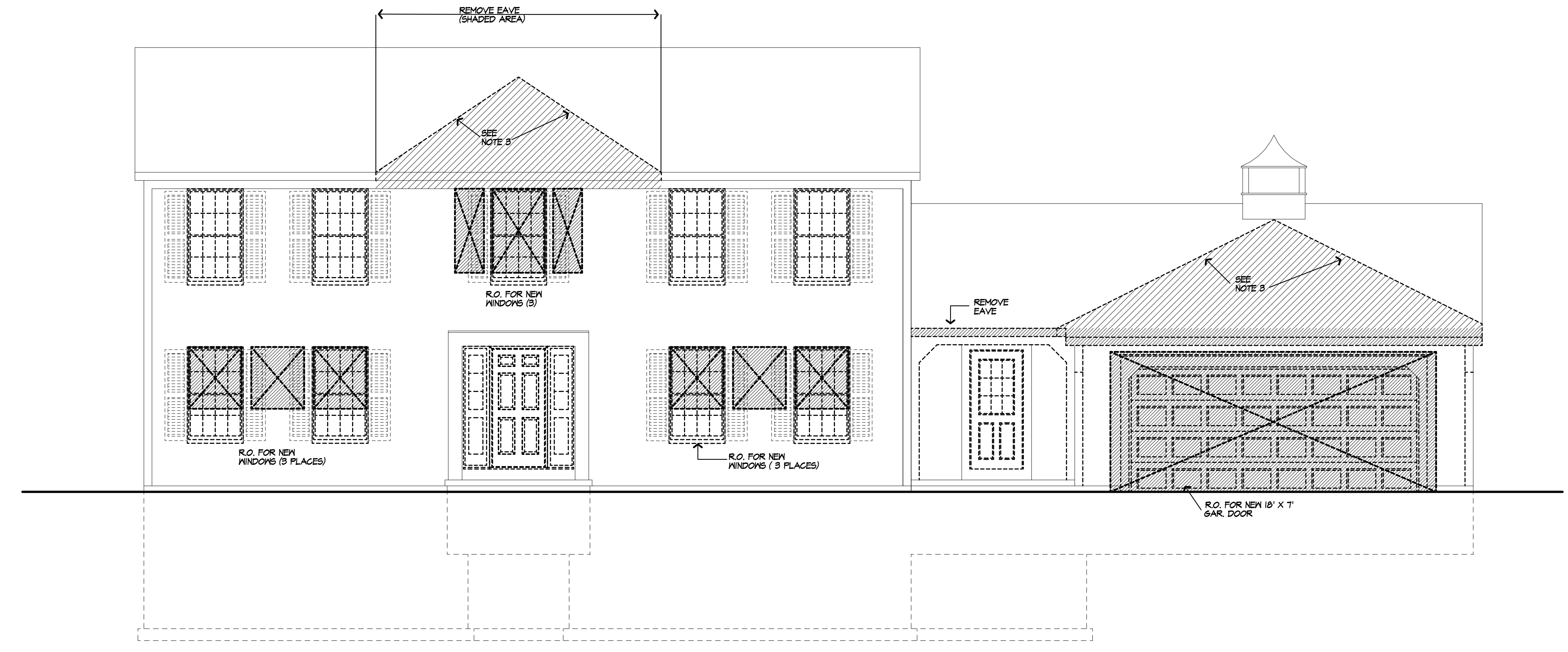
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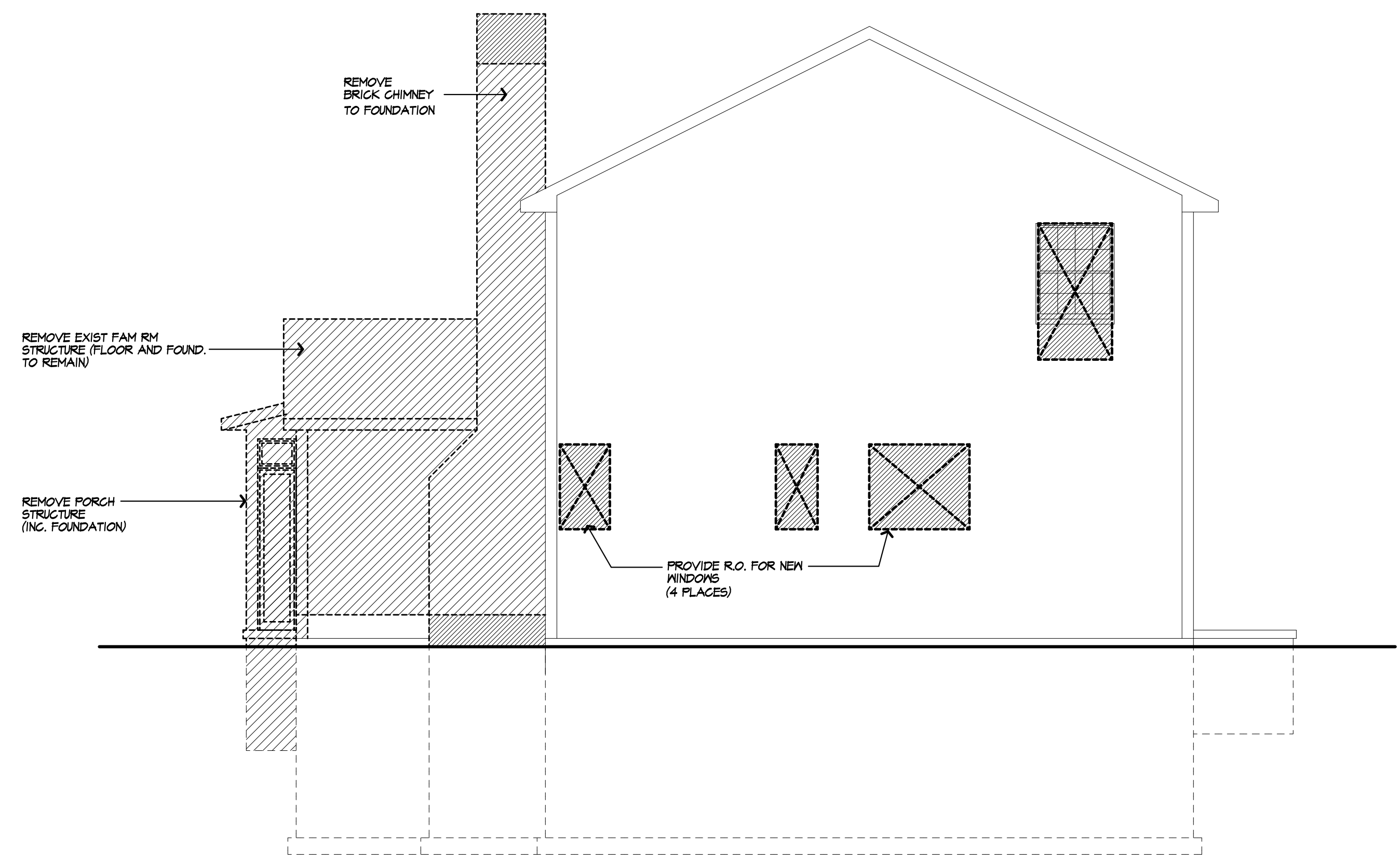
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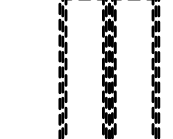
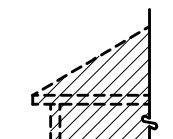
**2**  
 OF 15 SHEETS



FRONT ELEVATION/ EXISTING  
 WITH REMOVALS SHOWN



LEFT SIDE ELEVATION/ EXISTING  
 WITH REMOVALS SHOWN

REMOVAL LEGEND	
	R.O. FOR NEW WINDOWS/ DOORS
	EXISTING WINDOW TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED

- REMOVAL NOTES**
1. REMOVE ALL EXISTING WINDOWS/ EXT. DOORS
  2. REMOVE EXTERIOR SIDING, CORNER TRIM AND WINDOW/ DOOR TRIM
  3. REMOVE ROOFING SHINGLES TO EXPOSE ROOF SHEATHING

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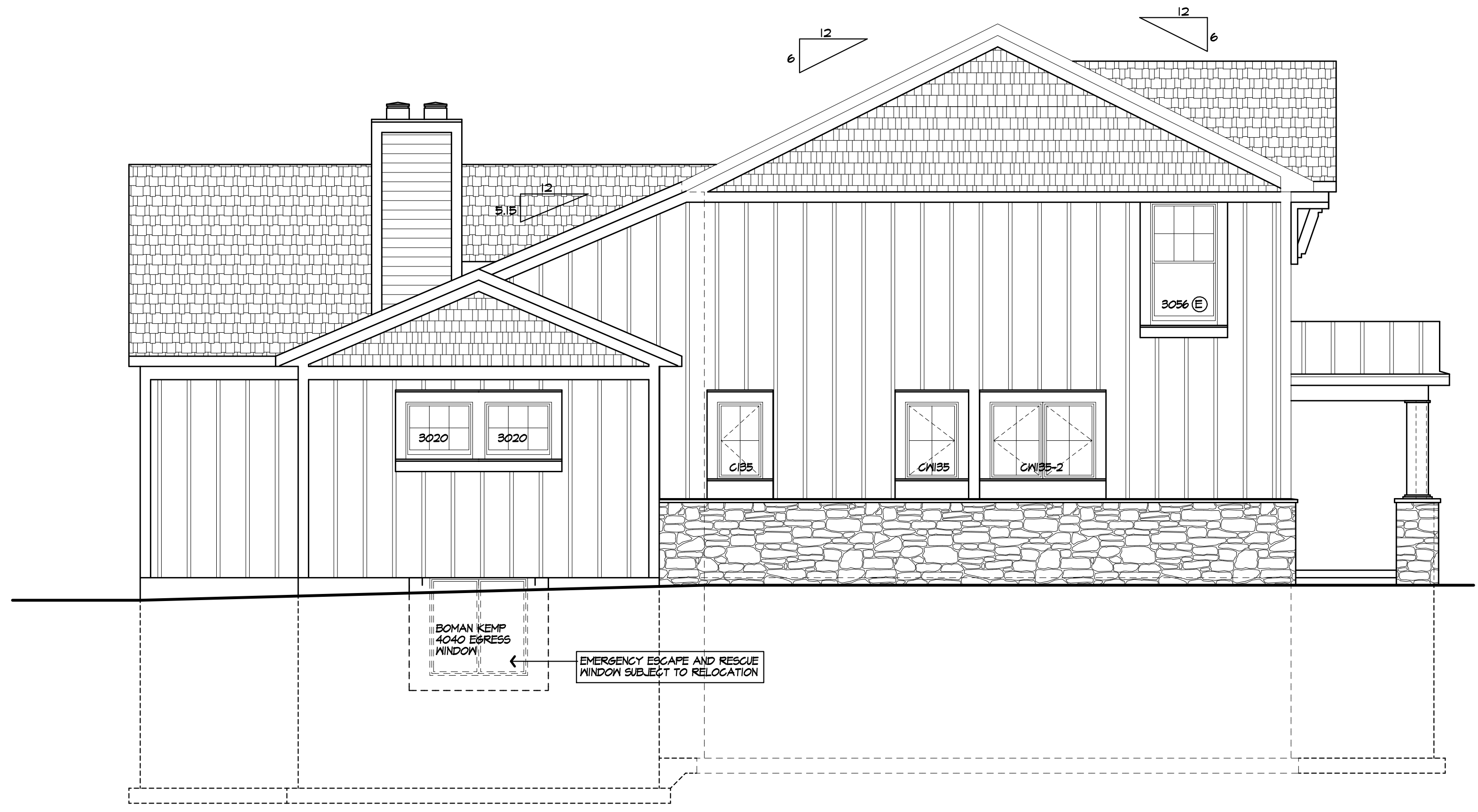
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**FRONT ELEVATION/ PROPOSED**

AREA OF EXISTING HOUSE: 2600 S.F.  
 AREA OF ADDITION: 1116 S.F.

(E) DENOTES EMERGENCY EGRESS AND RESCUE OPENINGS TO COMPLY WITH 2020 RCOPY SECTION R308.4



**LEFT SIDE ELEVATION/ PROPOSED**

**UNLESS OTHERWISE NOTED**

ROOFING: NEW 30 YR ARCHITECTURAL SHINGLE (ENTIRE HOUSE)

ROOF VENTING: CONTINUOUS RIDGE VENT

FASCIAS: MATCH EXISTING

FRIEZEBDS: 1X 6 AZEK

CORNICEBDS: 1X 6 MIRATECH OR EQUAL

CASINGS: 1X 4 AND 1X 6 MIRATECH OR EQUAL SIDING

HORIZONTAL: HARDIE SHINGLES AT 7" EXPOSURE

VERTICAL: HARDIE OR EQUAL BOARD AND BATTEN AT 16" O.C.

VENEER STONE: CULTURED STONE IN STYLE/ COLOR SELECTED

OVERHANGS: MATCH EXISTING

RAKE OVERHANGS: MATCH EXISTING

MIN FTG. DEPTH: 4'-0"

CLG HT:  
 1ST FLOOR: REFER TO BUILDING SECTIONS  
 2ND FLOOR: REFER TO BUILDING SECTIONS

WINDOW R.O. HT.  
 1ST FLOOR: 6'-10 1/2"  
 2ND FLOOR: 6'-10 1/2"

WINDOW MFR: AS SELECTED (PROVIDE SAFETY GLAZING PER R.308.4)

REVISED 2/1/2023 P.J.MAIA  
 REVISED 2/7/2023 P.J.MAIA  
 REVISED 10/6/2022 P.J.MAIA

5/8/23 CONSTRUCTION DOGS P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 ELEVATIONS - PROPOSED

<b>DRAWN:</b> P.J.MAIA/MSM	<b>CHECKED:</b> P.J.MAIA
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**DATE:** 7/4/22

**SCALE:** 1/4"=1'-0", OR AS NOTED

**JOB NO.:** 2214286

**SHEET:**

**7**

OF 15 SHEETS





**NOTICE:**

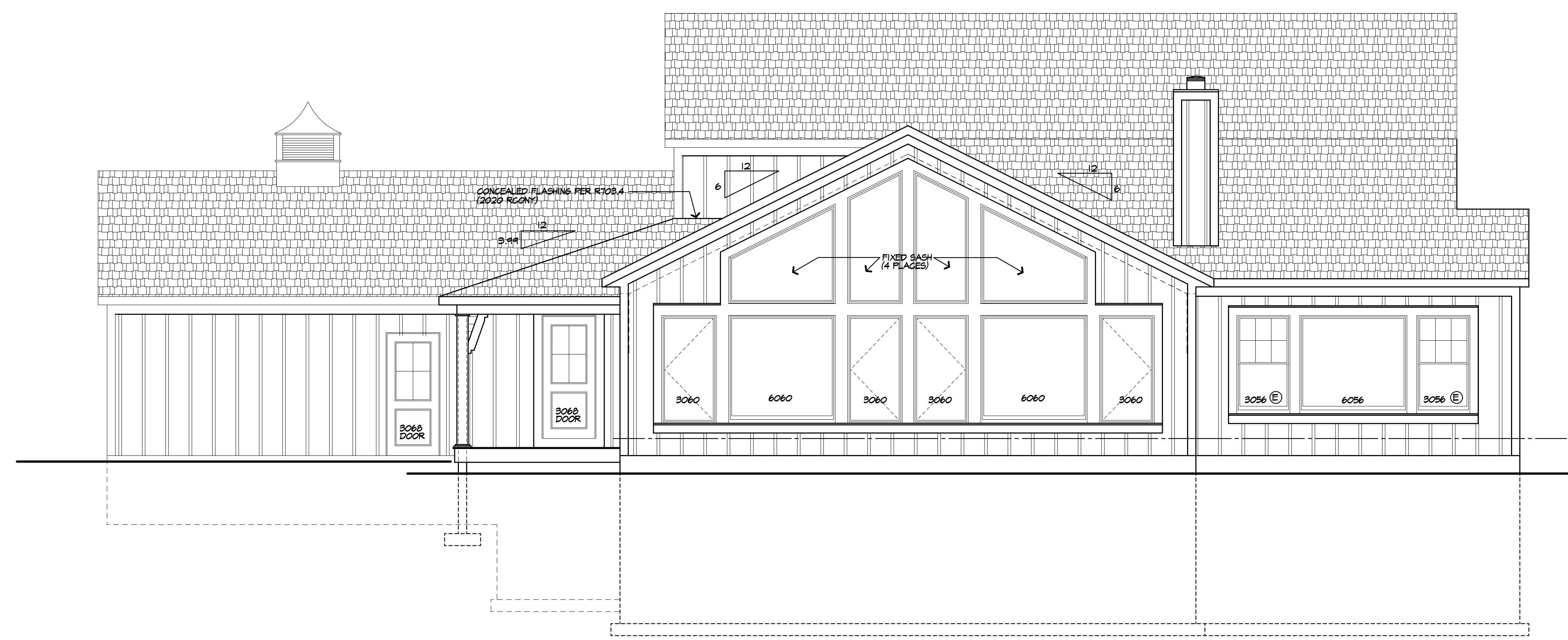
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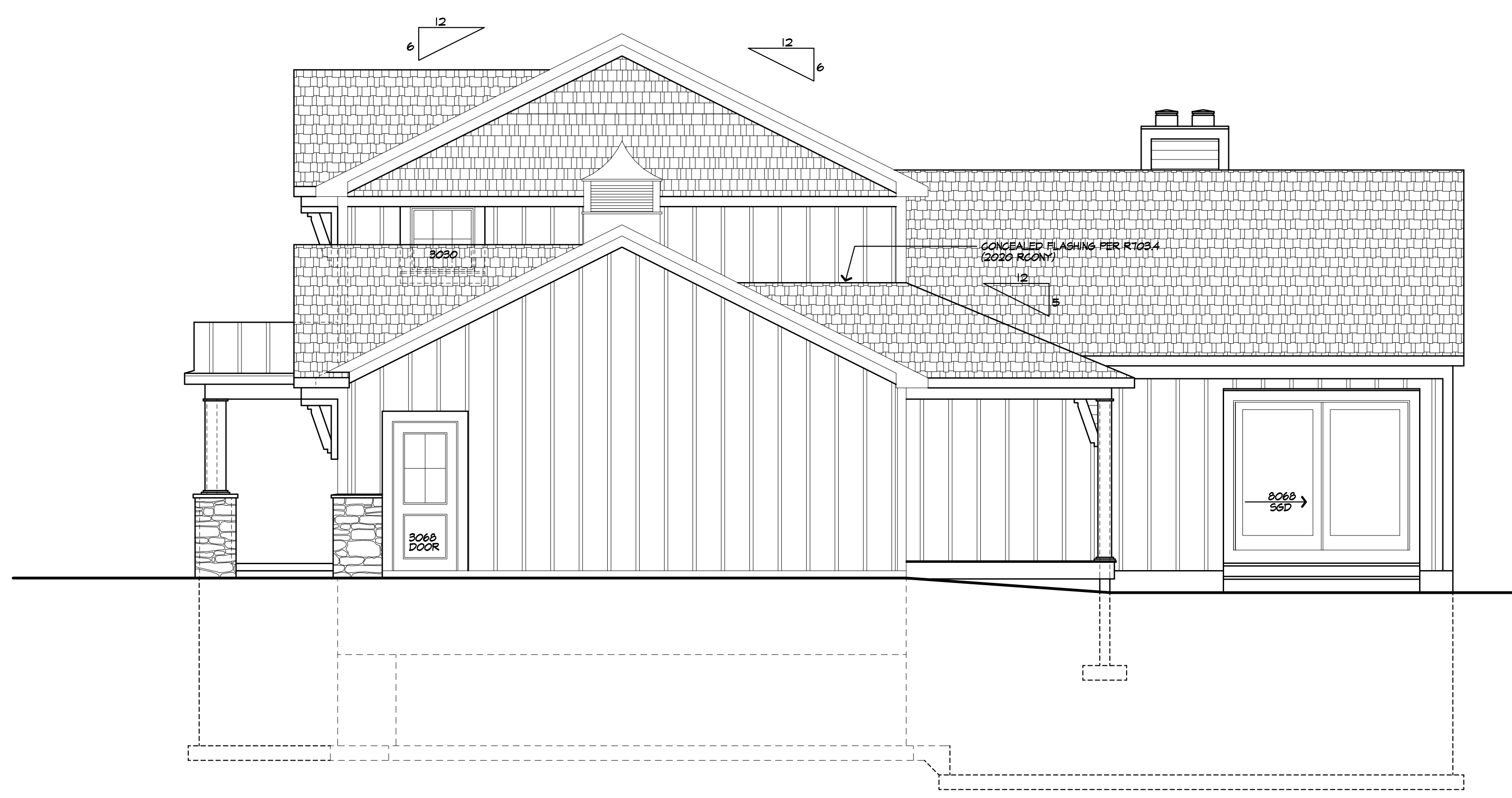


REAR ELEVATION/ PROPOSED

ⓔ DENOTES EMERGENCY EGRESS AND RESCUE OPENINGS TO COMPLY WITH 2020 RCOPY SECTION R310

**UNLESS OTHERWISE NOTED**

ROOFING: NEW 30 YR ARCHITECTURAL SHINGLE (ENTIRE HOUSE)  
 ROOF VENTING: CONTINUOUS RIDGE VENT  
 FASCIAS: MATCH EXISTING  
 FRIEZEBELDS: 1X 6 AZEK  
 CORNERBELDS: 1X 6 MIRATECH OR EQUAL  
 CASINGS: 1X 4 AND 1X 6 MIRATECH OR EQUAL SIDING  
 HORIZONTAL: HARDIE SHINGLES AT 7" EXPOSURE  
 VERTICAL: HARDIE OR EQUAL BOARD AND BATTEN AT 16" O.C.  
 VENEER STONE: CULTURED STONE IN STYLE/COLOR SELECTED  
 OVERHANGS: MATCH EXISTING  
 RAKE OVERHANGS: MATCH EXISTING  
 MIN FTG. DEPTH: 4'-0"  
 CL6 HT:  
 1ST FLOOR: REFER TO BUILDING SECTIONS  
 2ND FLOOR: REFER TO BUILDING SECTIONS  
 WINDOW R.O. HT.  
 1ST FLOOR: 6'-10 1/2"  
 2ND FLOOR: 6'-10 1/2"  
 WINDOW MFR: AS SELECTED (PROVIDE SAFETY GLAZING PER R308.4)



RIGHT SIDE ELEVATION/ PROPOSED

REVISED 2/1/2023 P.J.MAIA  
 REVISED 2/7/2023 P.J.MAIA  
 REVISED 10/6/2022 P.J.MAIA

5/8/23 CONSTRUCTION DOCS P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION/ ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 ELEVATIONS - PROPOSED

<b>DRAWN:</b> P.J.MAIA/MSM	<b>CHECKED:</b> P.J.MAIA
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**DATE:** 7/4/22

**SCALE:** 1/4"=1'-0", OR AS NOTED

**JOB NO.:** 22-4286

**SHEET:**

**8**

OF 15 SHEETS



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**PROJECT:**  
 PROPOSED RENOVATION/ ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 FIRST FLOOR PLAN/ EXISTING  
 WITH REMOVALS SHOWN

**DRAWN:** P.J.M/AIA/MSM  
**CHECKED:** P.J.M/AIA

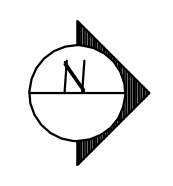
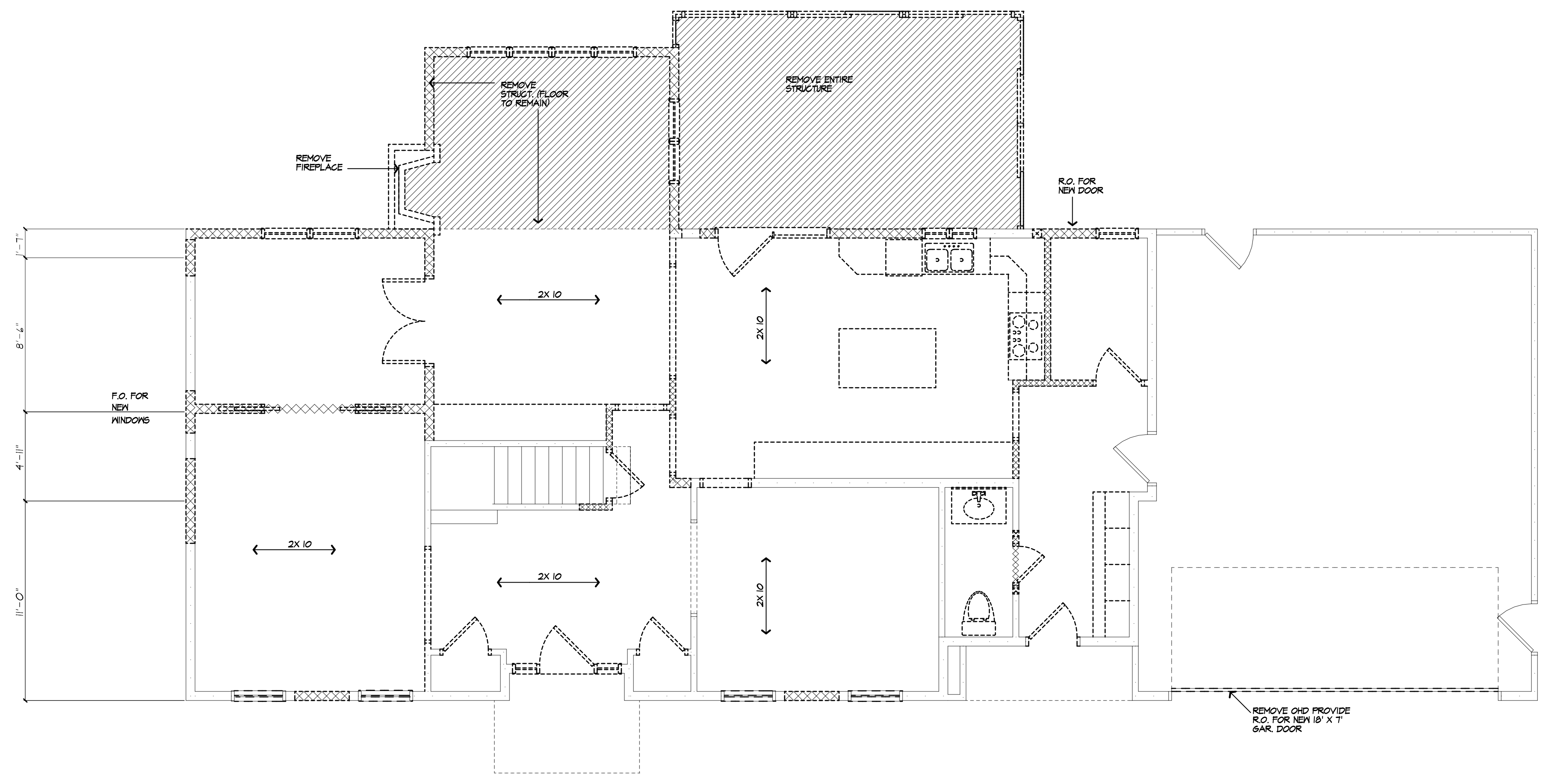
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**SHEET:**

**4**  
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**FIRST FLOOR PLAN/ EXISTING**

WITH REMOVALS SHOWN

AREA OF EXISTING HOUSE: 1482 S.F.  
 AREA OF EXISTING SUN ROOM: 229 S.F.

← → DENOTES EXISTING FLOOR JOISTS (2X 10 AT 16" O.C.)

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

**GENERAL REMOVAL NOTES**

- THE FOLLOWING ITEMS ARE TO BE REMOVED
1. ALL WINDOWS/ EXT. DOORS
  2. ALL INTERIOR DOORS (INCLUDES FRAME AND CASINGS)
  3. ALL CABS/ COUNTERS/ FIXTURES

**REMOVAL LEGEND**

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED





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**PROJECT:**  
PROPOSED RENOVATION/ ADDITION  
168 CAVERSHAM WOODS  
TOWN OF PITTSFORD, NY

**CLIENT:**  
MASON AND AMY GROVER  
168 CAVERSHAM WOODS  
TOWN OF PITTSFORD, NY

**DRAWING:**  
SECOND FLOOR PLAN/EXISTING  
WITH REMOVALS SHOWN

**DRAWN:** P.J.MAIA/MSM  
**CHECKED:** P.J.MAIA

**DATE:** 7/4/22

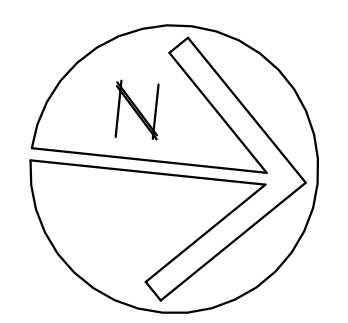
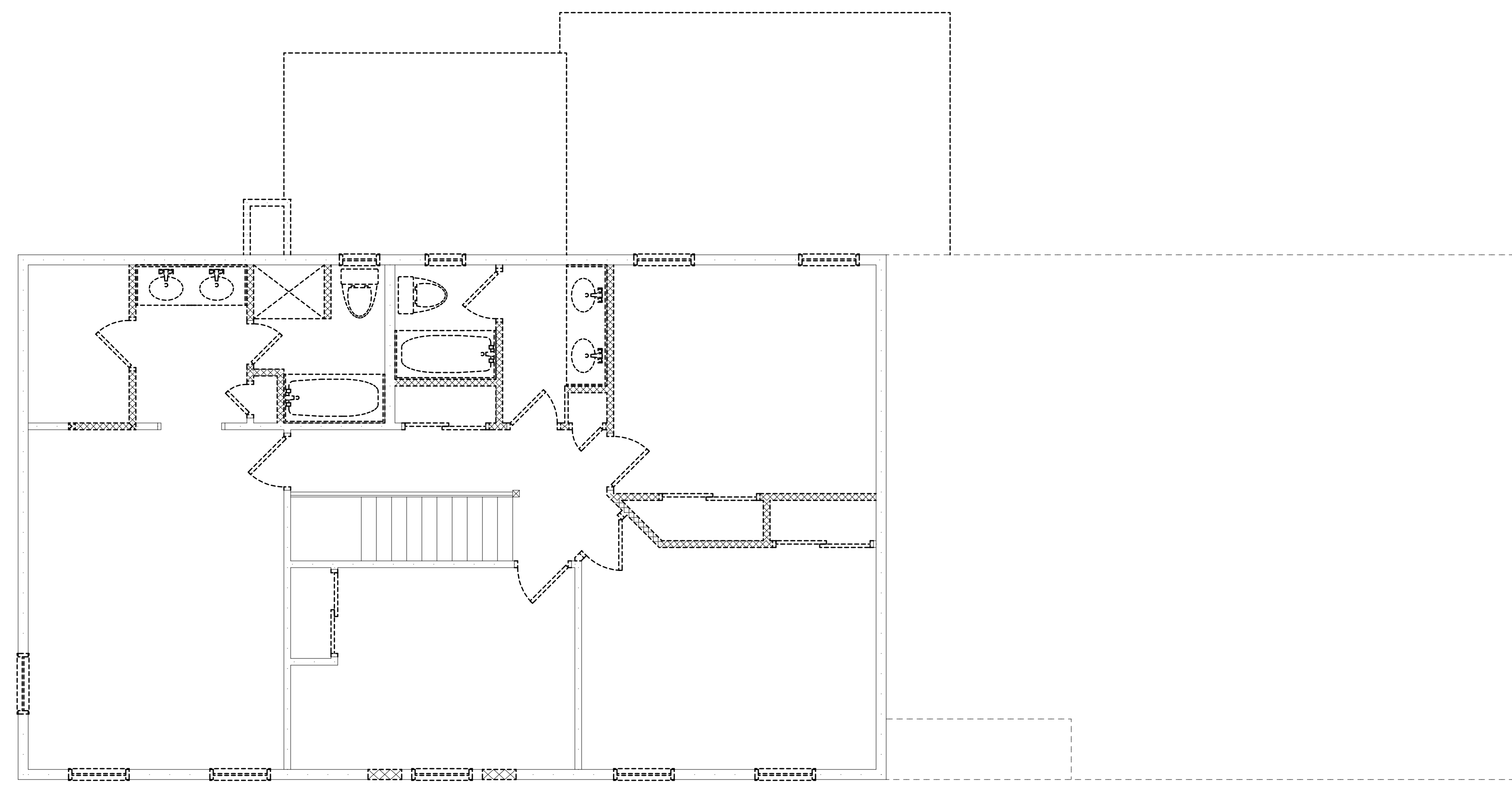
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**5**

OF **15** SHEETS



**SECOND FLOOR PLAN/ EXISTING**

WITH REMOVALS SHOWN  
EXISTING AREA: 1118 SQ FT

\*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

**GENERAL REMOVAL NOTES**

- THE FOLLOWING ITEMS ARE TO BE REMOVED
1. ALL WINDOWS/ EXT. DOORS
  2. ALL INTERIOR DOORS (INCLUDES FRAME AND CASINGS)
  3. ALL CABS/ COUNTERS/ FIXTURES

**REMOVAL LEGEND**

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED



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5/8/23 CONSTRUCTION DOCS P.J.MAIA

**PROJECT:**  
PROPOSED RENOVATION/ADDITION  
168 CAVERSHAM WOODS  
TOWN OF PITTSFORD, NY

**CLIENT:**  
MASON AND AMY GROVER  
168 CAVERSHAM WOODS  
TOWN OF PITTSFORD, NY

**DRAWING:**  
ROOF PLAN - EXISTING  
WITH REMOVALS SHOWN

**DRAWN:** P.J.MAIA/MSM  
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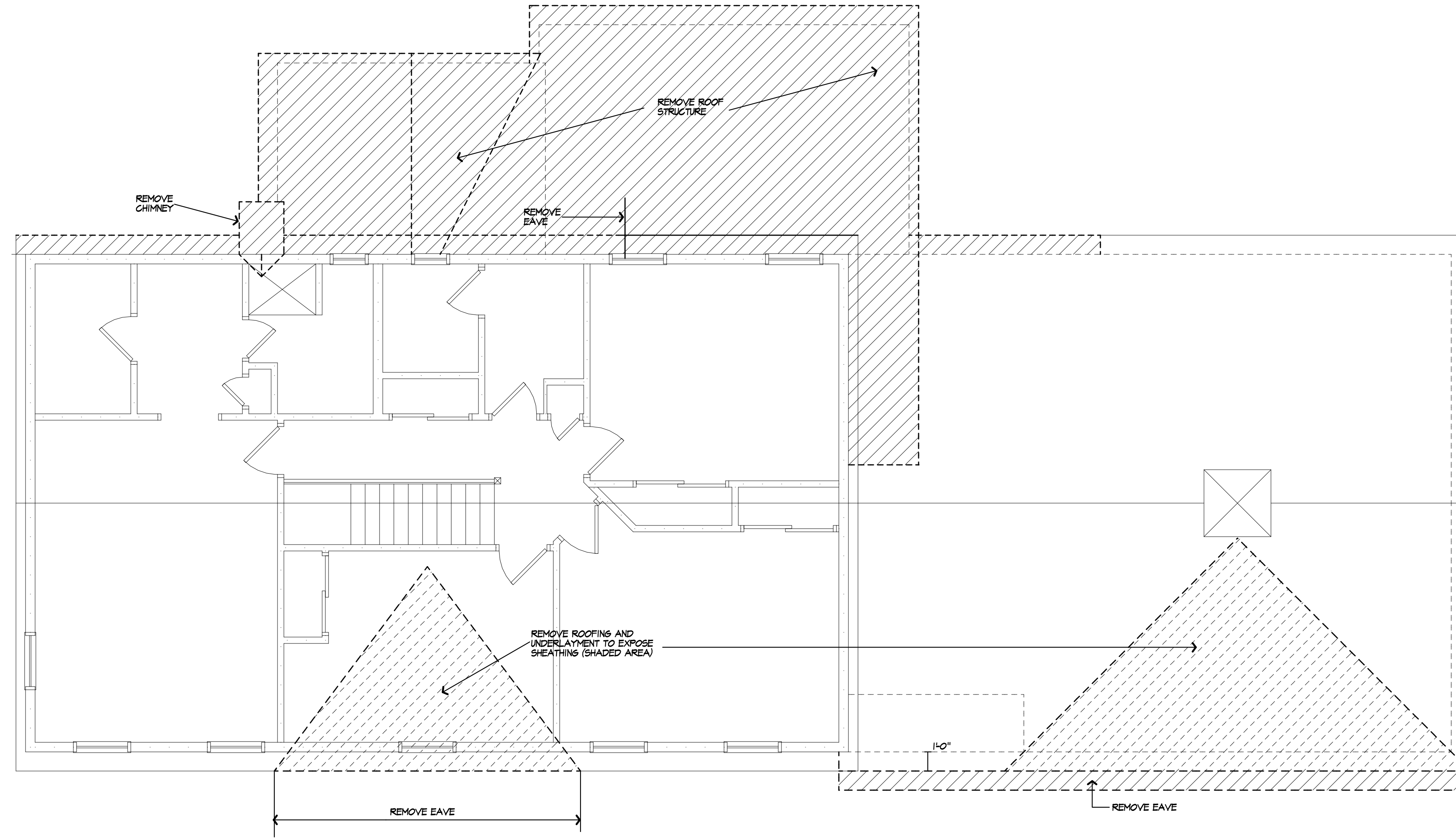
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**ROOF PLAN/ EXISTING**

WITH REMOVALS SHOWN



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**PROJECT:**  
 PROPOSED RENOVATION/ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 BASEMENT / FOUNDATION PLAN  
 PROPOSED

**DRAWN:** P.J.MAIA/MSM  
**CHECKED:** P.J.MAIA

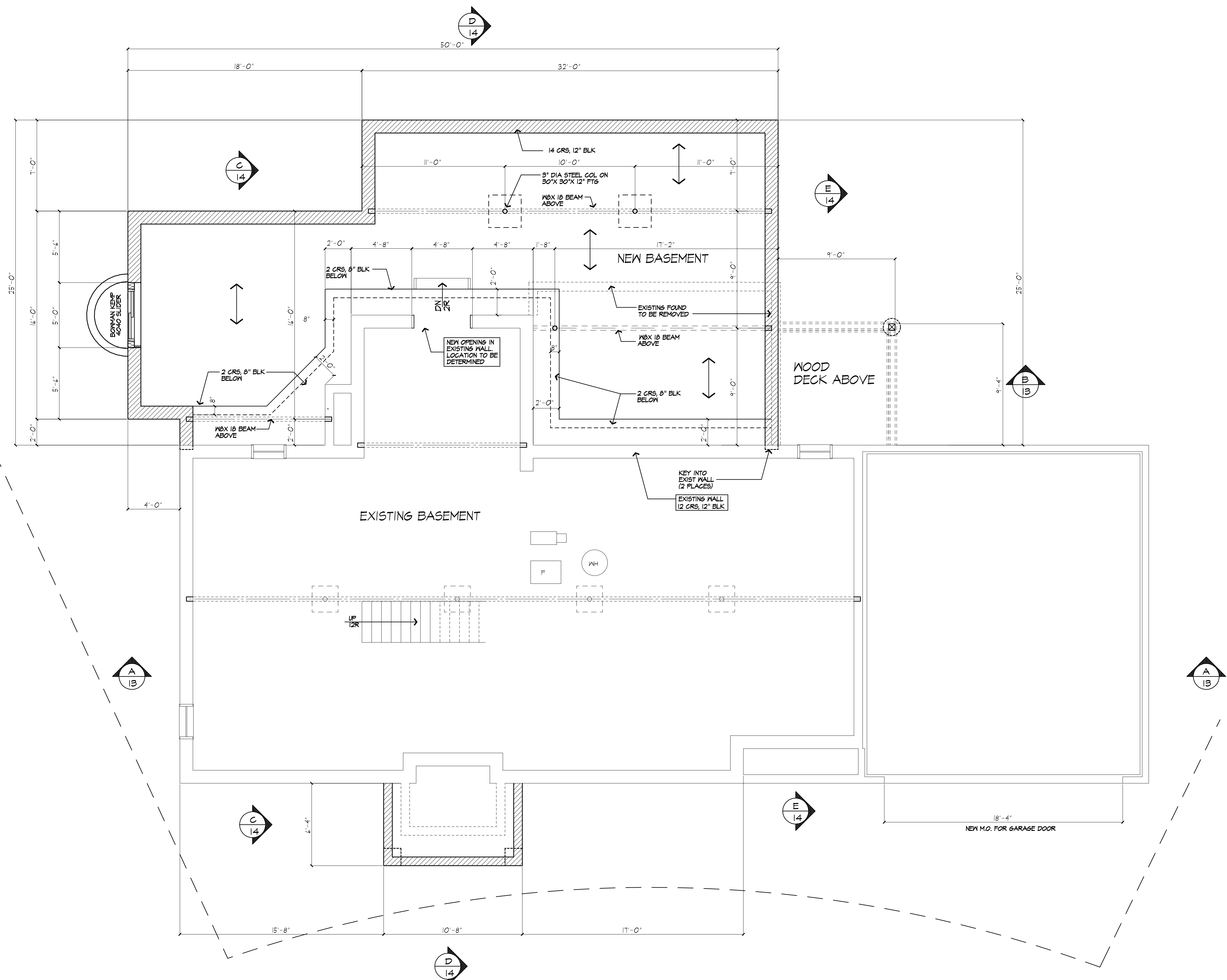
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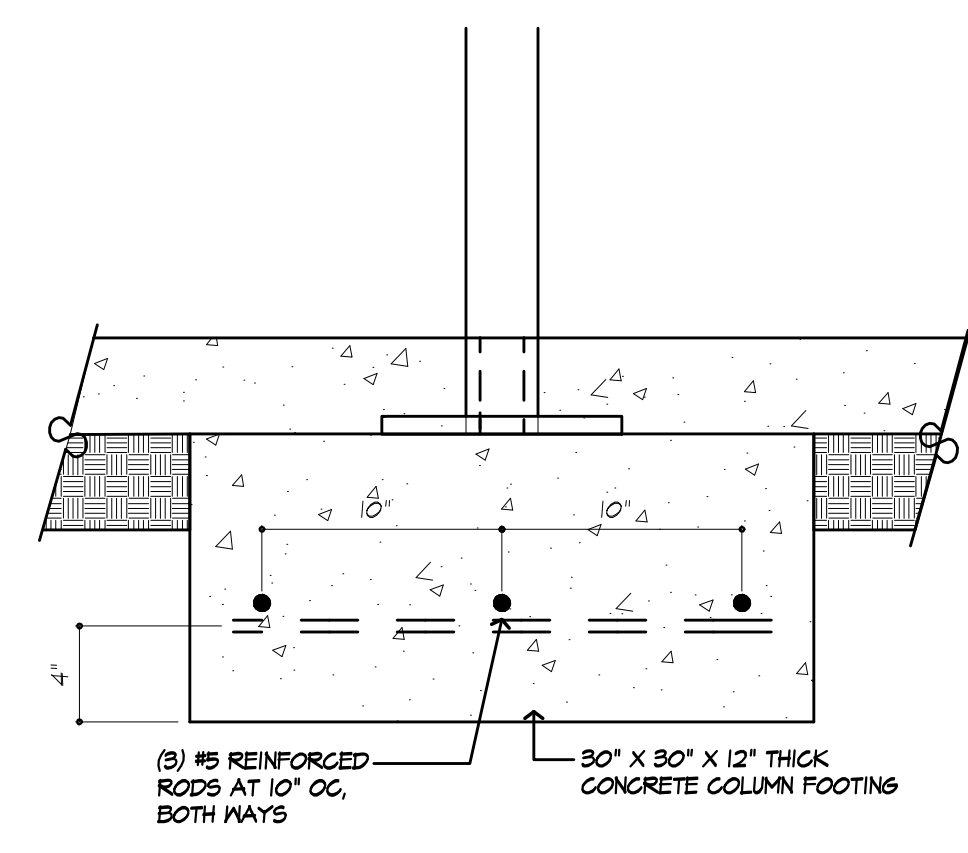
**9**  
 OF 15 SHEETS



**BASEMENT AND FOUNDATION PLAN**  
 NEW BASEMENT WALL: 13 CRS, 12" BLOCK

← 2 X 10 FLOOR JOISTS AT 16" OC. (MATCH EXISTING)

- NOTES:**
- FOOTINGS TO BE PLACED ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2000 P.S.F.  
 SIZES: 12" BLK.- 24" WIDE X 8" THK.
  - MIN. CONC. COMPRESSIVE STRENGTH IN 28 DAYS:  
 FOOTINGS: 2800 P.S.I.  
 FLOOR SLABS: 3500 P.S.I.  
 PORCH: 3500 P.S.I.  
 GARAGE: 3500 P.S.I.
  - PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOIST DIRECTION
  - PROVIDE CROSS BRIDGING AT MID SPAN OF FLOOR FRAMING
  - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
  - REINFORCE BLOCK WALL PER SECTION R404 NY'S RC 2020



**COL. FOOTING**  
 SCALE: 1/2" = 1'-0"

**FIRE PROTECTION REQUIREMENTS PER R302.13**

FLOOR ASSEMBLIES THAT ARE NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-INCH (12.7 MM) GYPSUM WALL-BOARD MEMBRANE 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER, PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

**EXCEPTIONS:**

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2404, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
- PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLYING WITH THE FOLLOWING:
  - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS DOES NOT EXCEED 80 SQUARE FEET (7.4 M2) PER STORY.
  - FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
- WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH (50.8 MM BY 254 MM) NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

TABLE R404.1.1(4) 12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE D ≥ 0.75 INCHES (A)

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	MINIMUM VERTICAL REINFORCEMENT (B, C)		
		SOIL CLASSES AND LATERAL SOIL LOAD (D) (PSF PER FOOT BELOW GRADE)		
		SM, GP, SN AND SP SOILS 30	SM, SC, SM, SH-SC AND ML SOILS 45	SC, ML-CL AND INORGANIC CL SOILS 60
4'-4"	4'-0" OR LESS	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	5'-0"	#4 AT 12" O.C.	#4 AT 12" O.C.	#4 AT 12" O.C.
	6'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#5 AT 12" O.C.
	7'-0"	#4 AT 12" O.C.	#5 AT 12" O.C.	#6 AT 12" O.C.
	8'-0"	#5 AT 12" O.C.	#6 AT 12" O.C.	#6 AT 12" O.C.
	9'-4"	#6 AT 12" O.C.	#6 AT 12" O.C.	#6 AT 12" O.C.

FOR SH: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT PER FOOT = 0.157 KPA/MM

A. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

B. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS HAVING AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 12 INCHES.

C. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE AT LEAST 0.75 INCHES.

D. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R402.1.

E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTINGS THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVELS. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

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 REVISED 2/7/2023 P.J.M/AIA  
 REVISED 10/6/2022 P.J.M/AIA

5/8/23 CONSTRUCTION DOCS P.J.M/AIA

**PROJECT:**  
 PROPOSED RENOVATION ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 1ST FLOOR PLAN  
 PROPOSED

**DRAWN:** P.J.M/AIA/MSM  
**CHECKED:** P.J.M/AIA

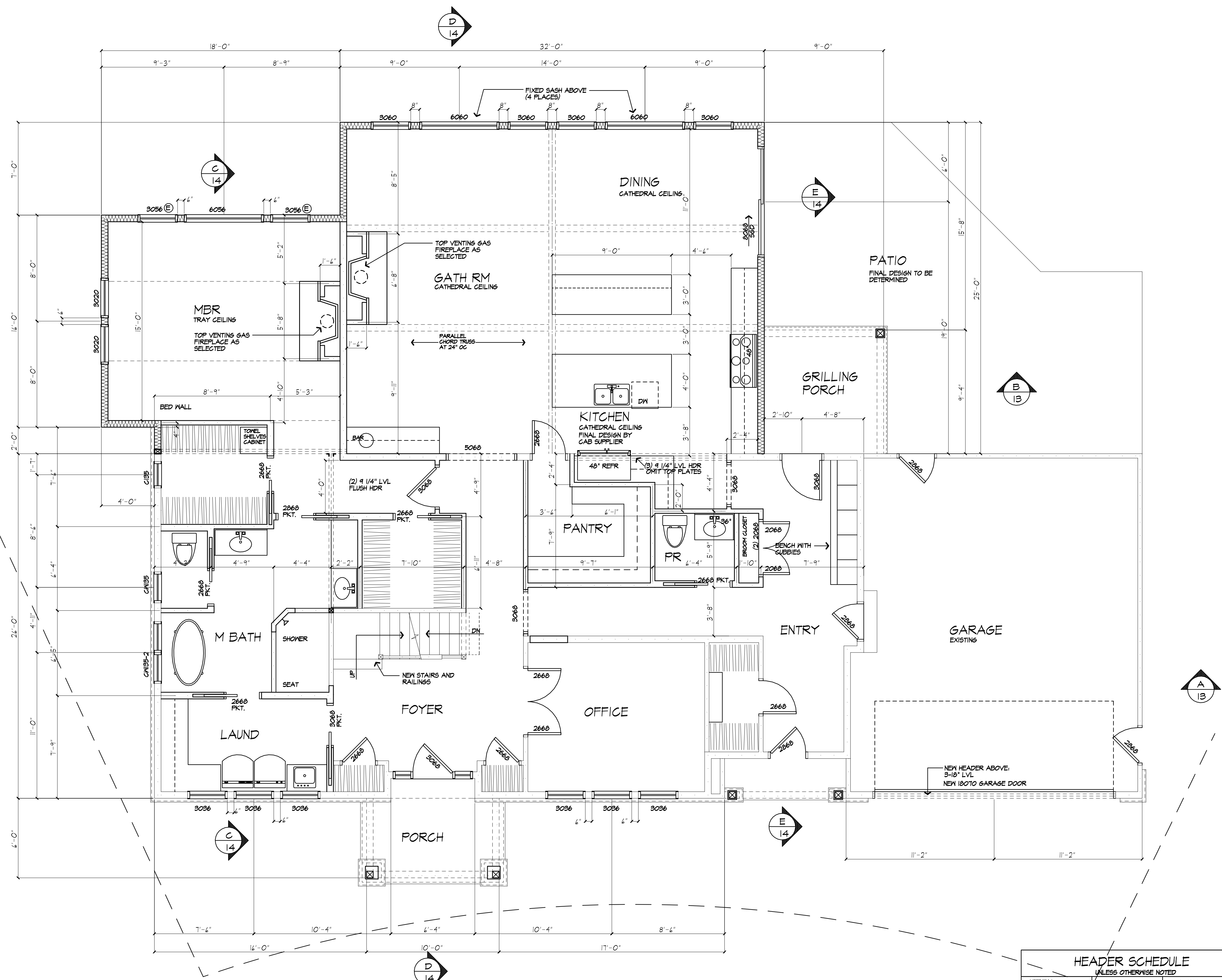
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**SCALE:** 1/4"=1'-0", OR AS NOTED

**JOB NO.:** 2244286

**SHEET:**

**10**  
 OF 15 SHEETS



# FIRST FLOOR PLAN/ PROPOSED

AREA OF EXISTING HOUSE: 1482 S.F.  
 AREA OF ADDITION: 1116 S.F.

Ⓢ DENOTES EMERGENCY EGRESS AND RESCUE OPENING TO COMPLY WITH 2020 RCMNY SECTION R310

**GAS F.P. NOTE:**  
 TIGHT FITTING NONCOMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS - FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK

**PLUMBING NOTE:**  
 THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

HEADER SCHEDULE (UNLESS OTHERWISE NOTED)		
OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" PLY. MD. GUSSETS - 2X6 WALL PROVIDE (1) 1/2" PLY. MD. GUSSETS - 2X4 WALL GLUE AND NAIL ALL HEADERS

WALL LEGEND		
	2X6 STUDS AT 16" OC WITH SOLID BEARING	(3) STUDS 6LUE AND NAIL WITH SOLID BEARING BELOW - OMIT TOP PLTS
	2X6 STUDS AT 16" OC (NO INSULATION)	PROVIDE DOUBLE JACK STUDS AT OPENINGS LARGER THAN 4'-0"
	2X4 STUDS @ 16" OC	
	EXISTING WALL TO REMAIN	

PROVIDE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS OF ROOF FRAMING

**EXHAUST DUCTS AND EXHAUST OPENINGS**

M 1504.2 DUCT LENGTH  
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1504.2  
 EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

TABLE M 1504.2 - DUCT LENGTH

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	50	80	100	125	150	200	250	300	350	500	50	80	100	125	150	200	250	300	350	500
FAN AIRFLOW RATINGS CFM @ 0.25 INCH WC	50	80	100	125	150	200	250	300	350	500	50	80	100	125	150	200	250	300	350	500
DIAMETER " (INCHES)	3	4	5	6	7	8	9	10	12	15	3	4	5	6	7	8	9	10	12	15
MAXIMUM LENGTH " (FEET)	10	15	20	25	30	40	50	60	75	100	10	15	20	25	30	40	50	60	75	100

FOR SI: 1 FOOT = 304.8 MM  
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/HVCA 30-MEASUREMENT B  
 B. FOR NONRECTANGULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER  
 C. THE TABLE APPLIES TO FLEXIBLE DUCTS THAT ARE NOT USED. FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DESIGNATED FOR EACH ELBOW INSTALLED IN THE DUCT RUN  
 D. N. = NO LIMIT ON DUCT LENGTH OF THIS SIZE  
 E. X. = NOT ALLOWED. ANY LENGTH OF DUCT OF THIS SIZE WITH ASSIGNED TURN AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP

**WINDOW GLAZING**  
 R308  
 WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS  
 GLAZING IN FIXED AND OPERABLE PANELS OF SWINGS, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.  
 EXCEPTIONS:  
 1. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS  
 2. DECORATIVE GLAZING

R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDINGS  
 GLAZING ADJACENT TO THE LANDINGS AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDINGS AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.  
 EXCEPTIONS:  
 1. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 36" ABOVE THE WALKING SURFACE  
 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**  
 R314/R315

R314.9 LOCATION SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

**FIRE SEPARATION REQUIREMENTS**

WHERE PARTITIONS ARE USED TO SEPARATE AN ATTACHED GARAGE FROM A LIVING SPACE OR ITS ATTIC, THE PARTITION ASSEMBLY SHALL HAVE A 3/4-HOUR FIRE-RESISTANCE RATINGS.

IN LIEU OF PROVIDING PARTITIONS THAT HAVE A 3/4-HOUR FIRE-RESISTANCE RATINGS, ONE LAYER OF 5/8-INCH THICK, TYPE-X GYPSUM BOARD MAY BE INSTALLED ON THE GARAGE SIDE AND ONE LAYER OF 1/2-INCH, TYPE-X GYPSUM BOARD MAY BE INSTALLED ON THE OPPOSITE SIDE. WHERE HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM THE LIVING SPACE OR ITS ATTIC, SUCH CONSTRUCTION SHALL BE PROTECTED WITH ONE LAYER OF 5/8-INCH THICK, TYPE X GYPSUM BOARD, INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R803.1. OPENINGS IN HORIZONTAL SEPARATIONS SHALL NOT BE PERMITTED EXCEPT WHERE THE RESIDENCE IS OTHERWISE PROTECTED BY VERTICAL SEPARATIONS. WHERE THE HORIZONTAL SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8-INCH (15.87 MM) TYPE X GYPSUM BOARD OR EQUIVALENT.



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 REVISED 2/7/2023 P.J.MAIA  
 REVISED 10/6/2022 P.J.MAIA

5/8/23 CONSTRUCTION DOGS P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 2ND FLOOR PLAN  
 PROPOSED

**DRAWN:** P.J.MAIA/MSM  
**CHECKED:** P.J.MAIA

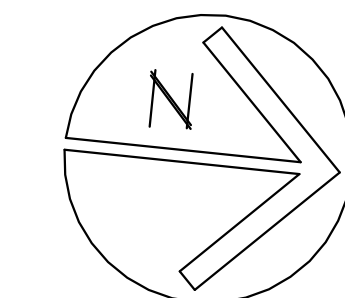
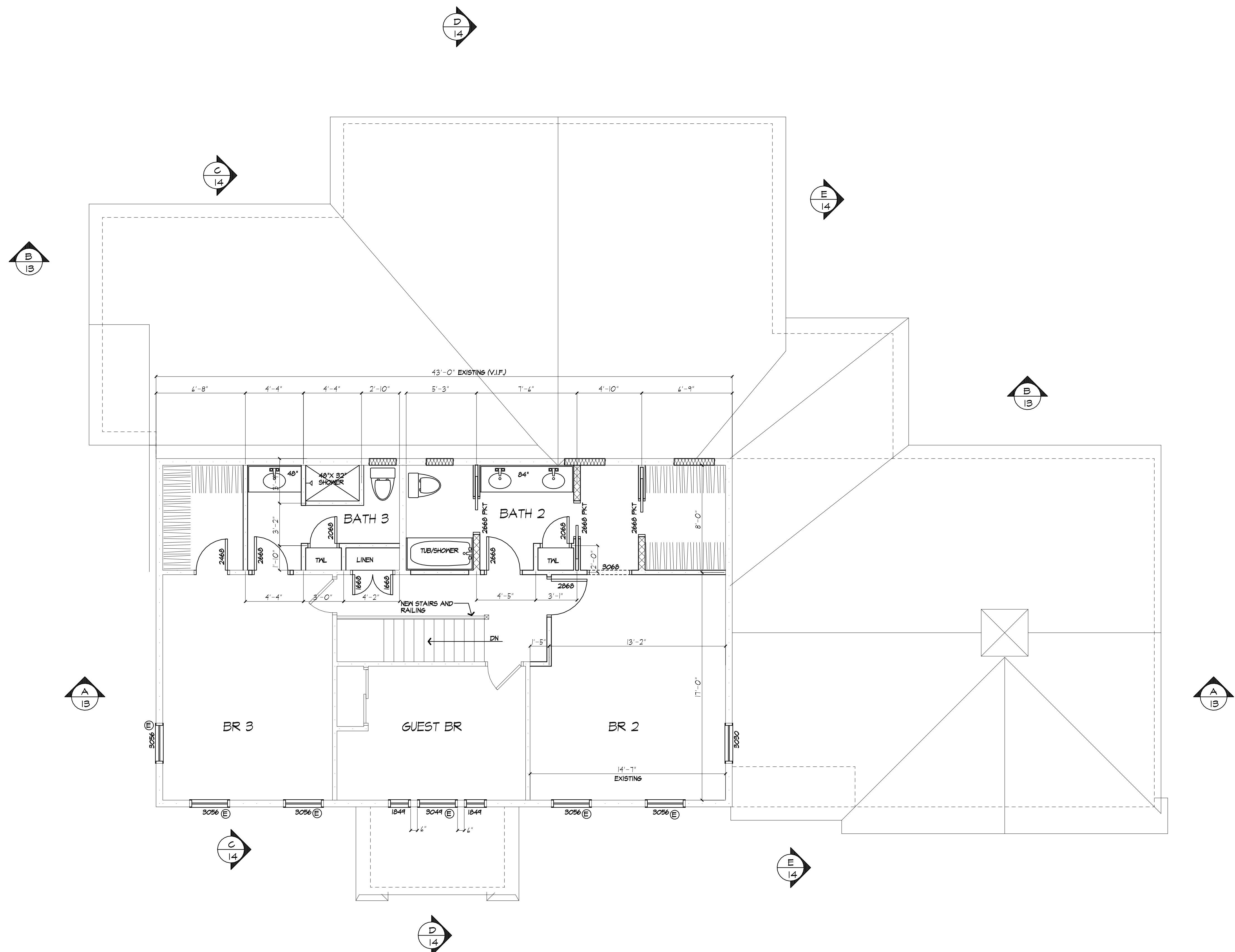
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**SCALE:** 1/4"=1'-0", OR AS NOTED

**JOB NO.:** 2214286

**SHEET:**

**11**  
 OF 15 SHEETS



## SECOND FLOOR PLAN/ PROPOSED

EXISTING AREA: 1118 SQ FT

(E) DENOTES EMERGENCY EGRESS AND RESCUE OPENING TO COMPLY WITH 2020 RCOPY SECTION R310

PROVIDE ATTIC ACCESS (MIN 22" X 30") TO COMPLY WITH SECTION R307 OF THE 2020 RCOPY. LOCATIONS TO BE DETERMINED BY OWNER AND CONTRACTOR.

**WINDOW FALL PROTECTION**  
 R312.2  
 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2  
 R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.  
 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.  
 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.  
 R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

**SMOKE & CARBON MONOXIDE ALARM LOCATIONS**  
 R314/R315  
 R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.  
 R315.3 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 10 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

HEADER SCHEDULE		
UNLESS OTHERWISE NOTED		
OPENING	2X6 WALL	2X4 WALL
UP TO 4'-0"	(3) 2X6	(2) 2X6
5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE: PROVIDE (2) 1/2" PLY. MD. GUSSETS -2X4 WALL PROVIDE (1) 1/2" PLY. MD. GUSSETS -2X4 WALL GLUE AND NAIL ALL HEADERS

WALL LEGEND		
	2X6 STUDS AT 16" OC W/ INSULATION	
	2X6 STUDS AT 16" OC (NO INSULATION)	
	2X4 STUDS @ 16" O.C.	
	EXISTING WALL TO REMAIN	

PROVIDE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS OF WOOD FRAMING

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5/8/23 CONSTRUCTION DOGS P.J.MAIA

**PROJECT:**  
 PROPOSED RENOVATION/ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 ROOF PLAN - PROPOSED

**DRAWN:** P.J.MAIA/MSM  
**CHECKED:** P.J.MAIA

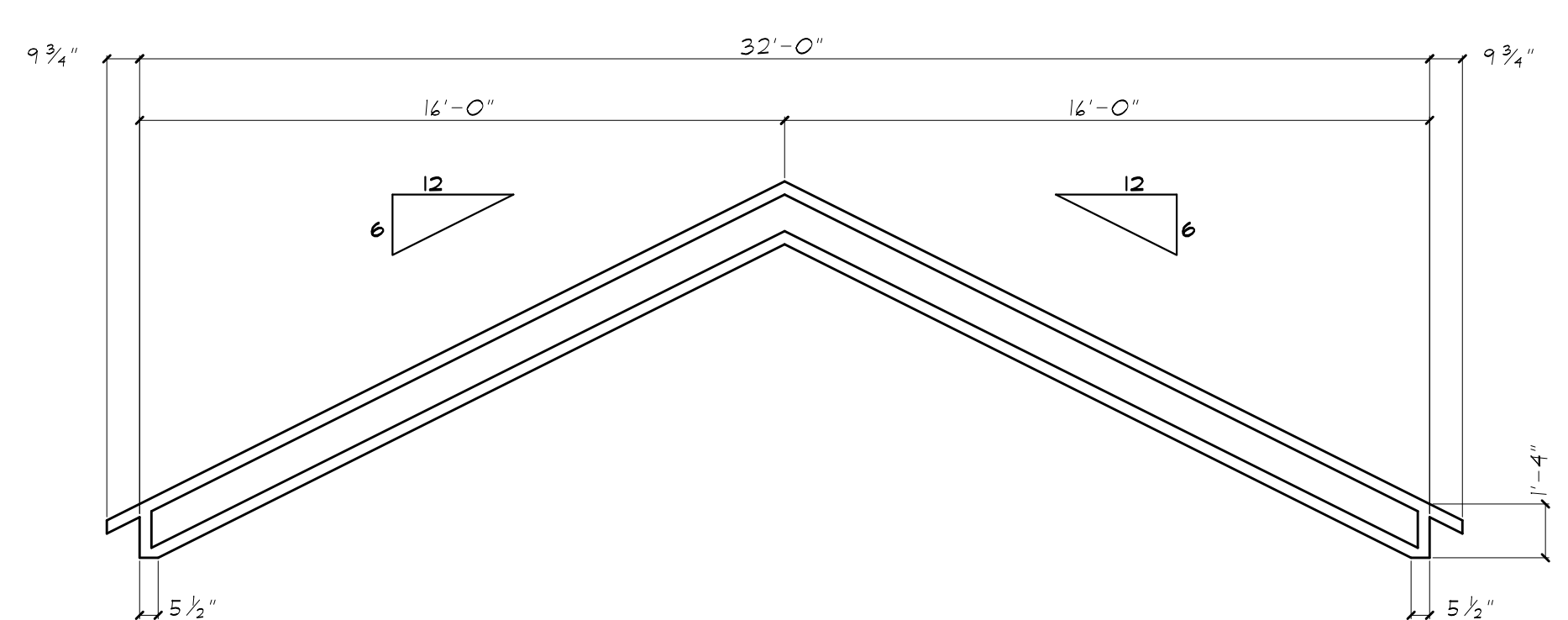
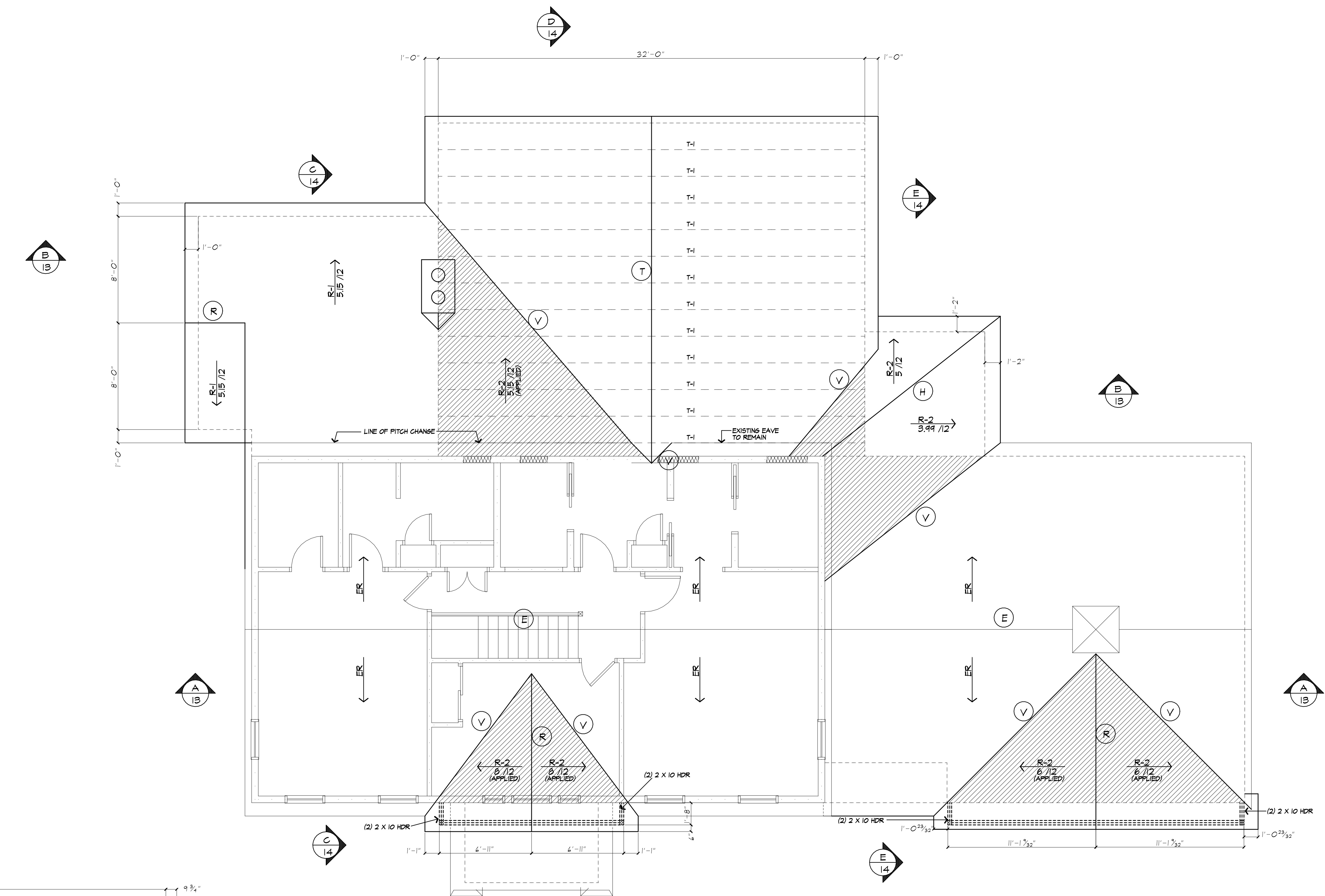
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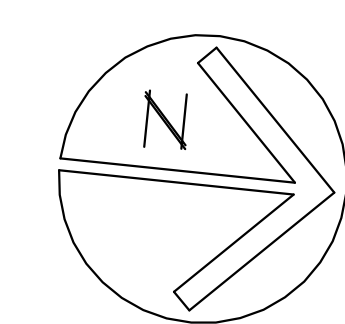
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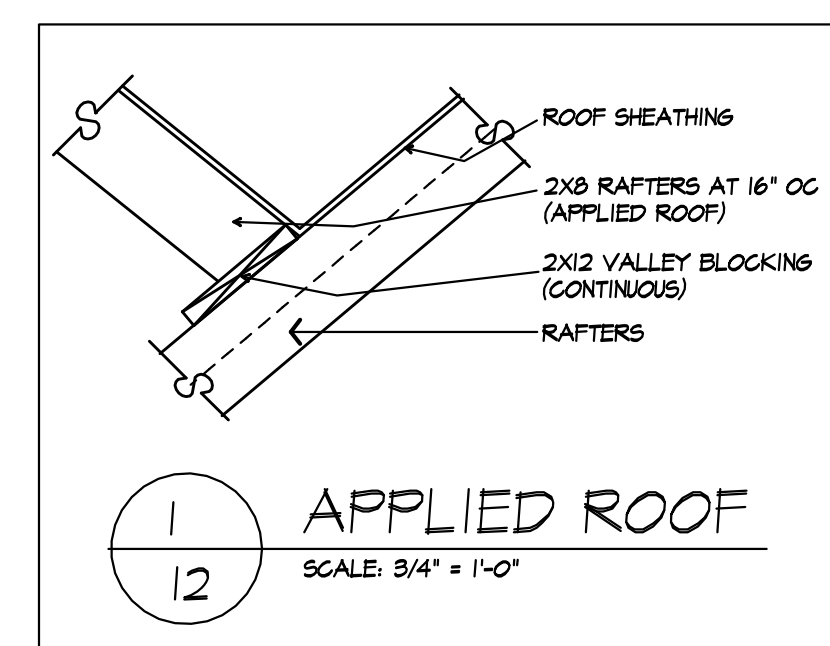
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**TRUSS DIAGRAM 'T-1'**  
 FINAL DESIGN BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO START OF CONSTRUCTION



**ROOF FRAMING PLAN/ PROPOSED**



ROOF LEGEND	
R-1 * /12	2X 8 RAFTERS AT 16' O.C. 1/4" PITCH NOTED
R-2 * /12	2X 6 RAFTERS AT 16' O.C. 1/4" PITCH NOTED
ER	EXISTING ROOF SLOPE DIRECTION NOTED
E	EXISTING RIDGE BOARD
T	TRUSS RIDGE
R	2X 10 RIDGE BOARD
H	2X 10 HIP RAFTER
V	APPLIED VALLEY - SEE DETAIL 1/12

\*NOTE:  
 PROVIDE ICE PROTECTION UNDERLAYMENT ON PERIMETER OF ROOF TO 24" INSIDE INTERIOR WALLS PER RIB07.1.2.2020 RESIDENTIAL CODE OF NEW YORK STATE









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REVISED 3/11/2023 P.J.M.A.I.A.  
 REVISED 2/7/2023 P.J.M.A.I.A.  
 REVISED 10/6/2022 P.J.M.A.I.A.

5/8/23 CONSTRUCTION DOCS P.J.M.A.I.A.

**PROJECT:**  
 PROPOSED RENOVATION ADDITION  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**CLIENT:**  
 MASON AND AMY GROVER  
 168 CAVERSHAM WOODS  
 TOWN OF PITTSFORD, NY

**DRAWING:**  
 WALL SECTIONS

**DRAWN:** P.J.M.A.I.A./MSM  
**CHECKED:** P.J.M.A.I.A.

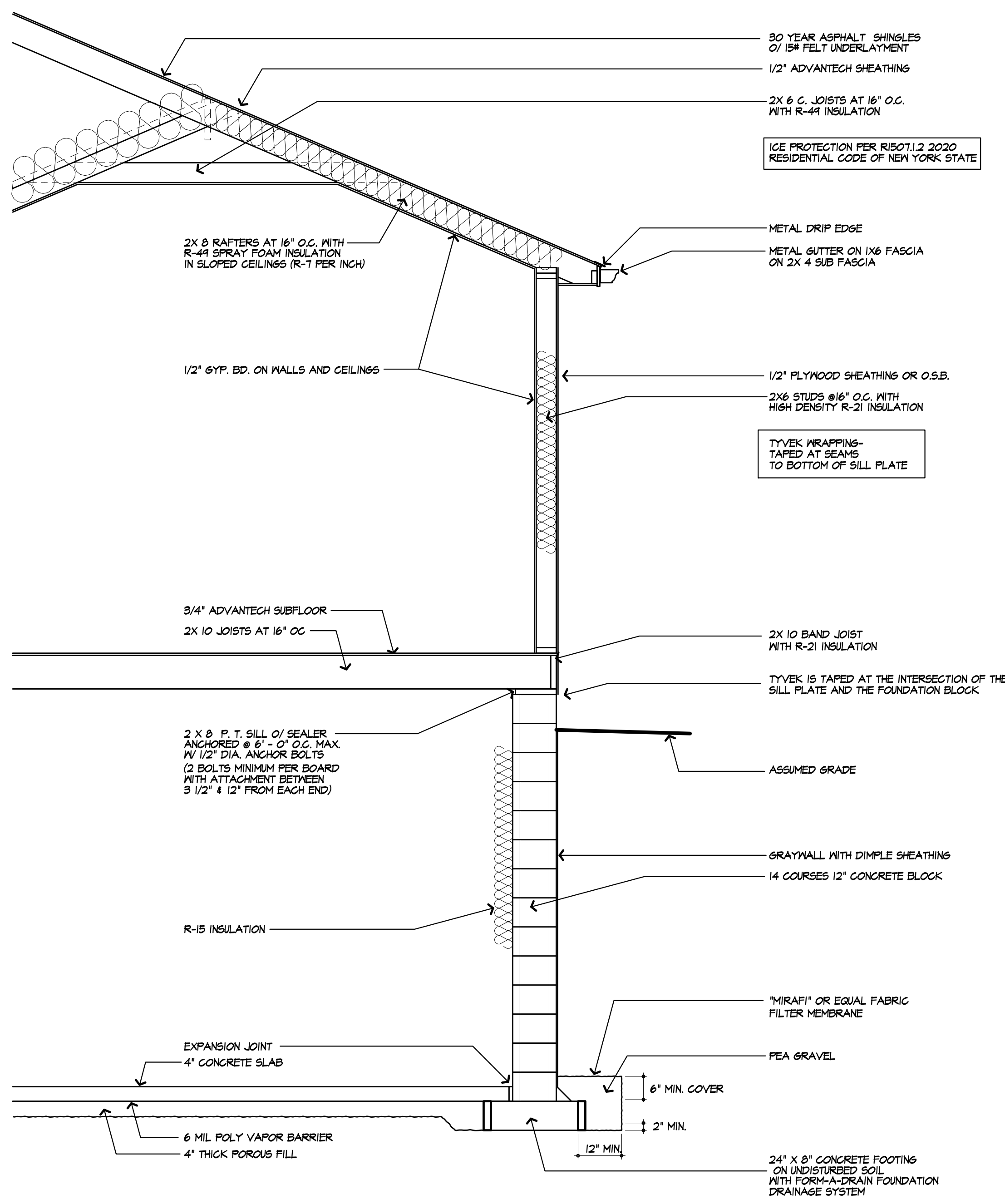
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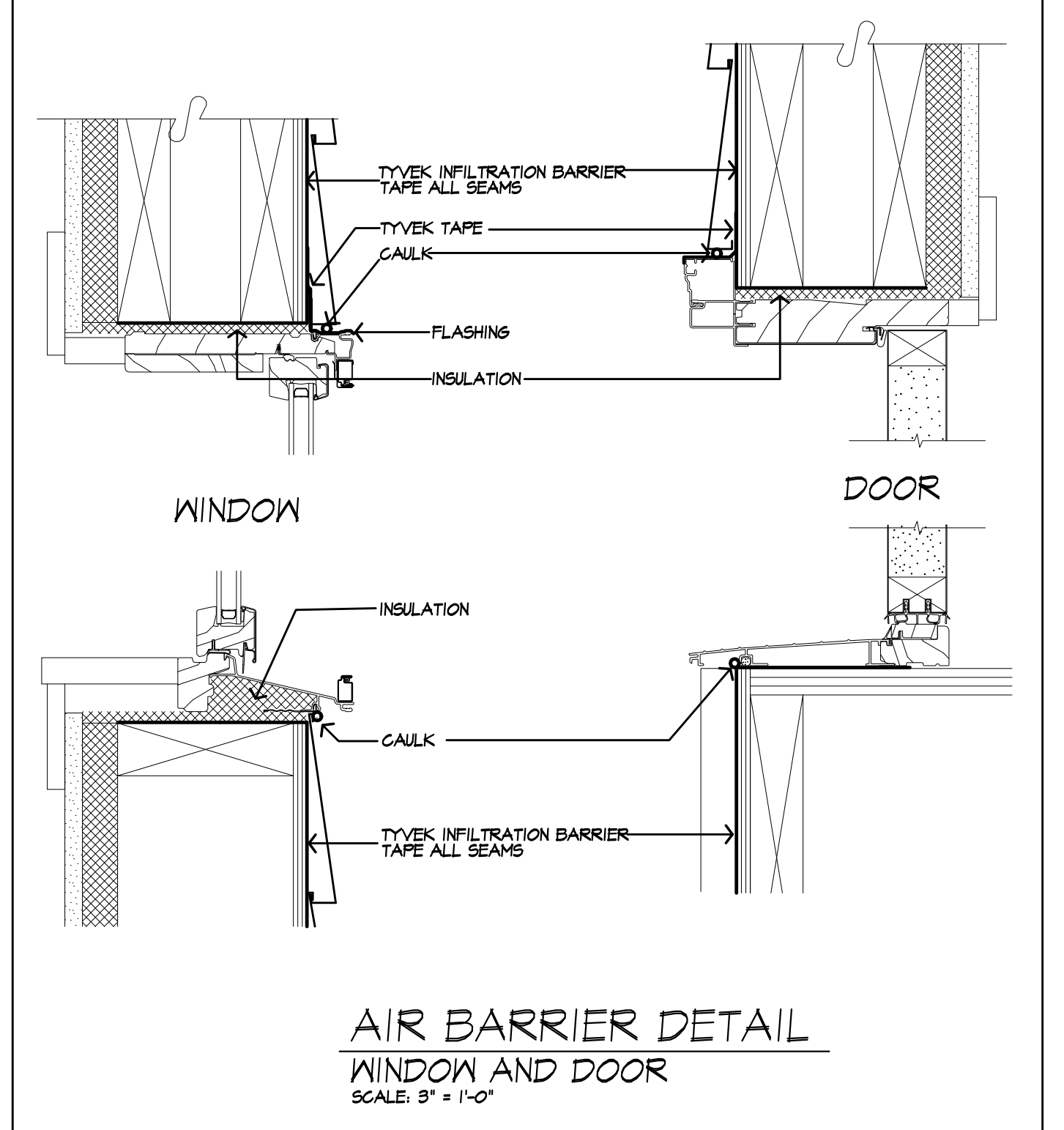
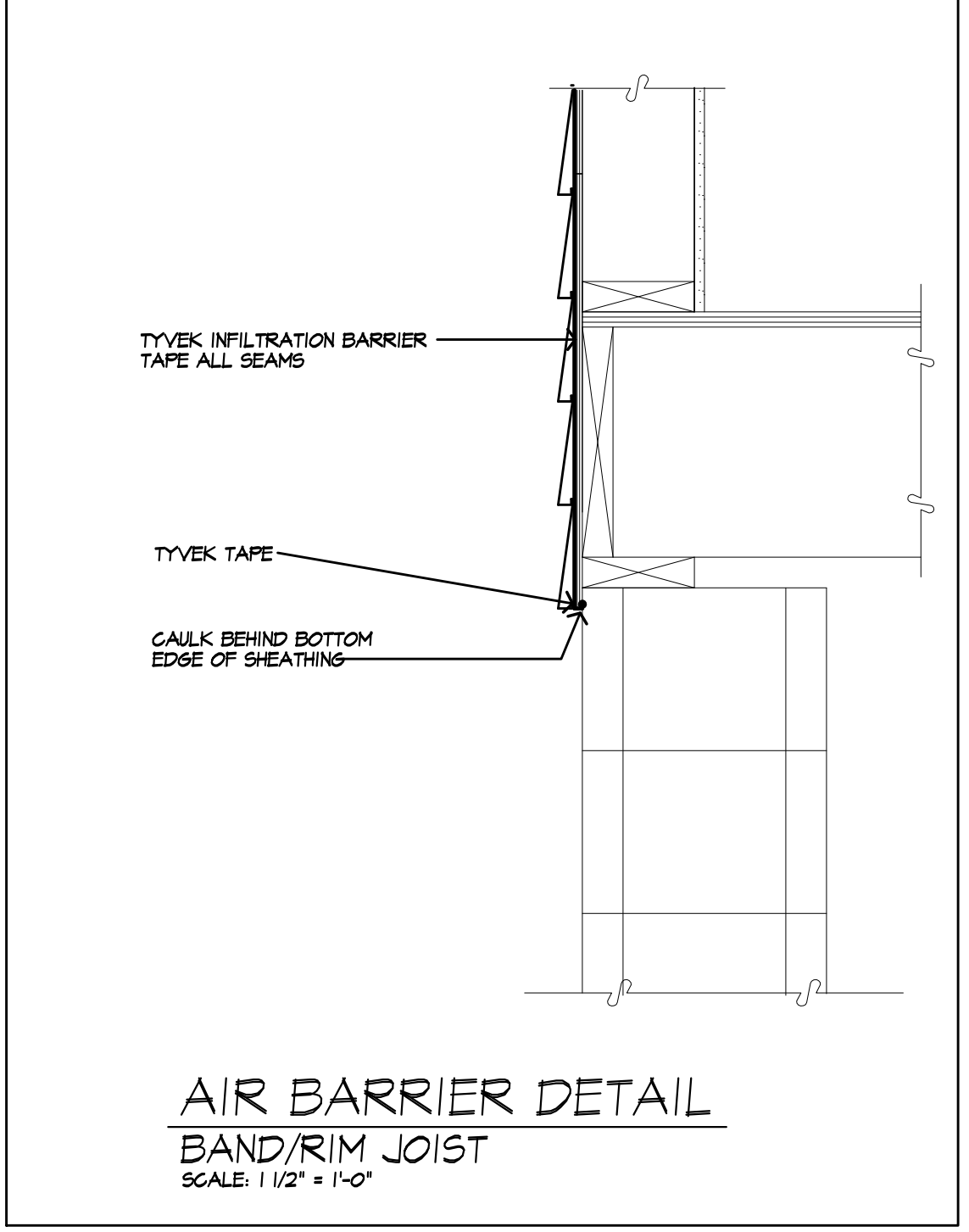
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**TYPICAL WALL SECTION**  
 SCALE: 1/2"=1'-0"



**LIGHTING FIXTURE SCHEDULE**

OUTDOOR EGRESS DOORS (EACH) MINIMUM (1) 60 WATT FIXTURE  
 BASEMENT MINIMUM (5) 60 WATT FIXTURES  
 STAIRWAYS MINIMUM (1) 60 WATT FIXTURE  
 HALLWAYS MINIMUM (1) 120 WATT FIXTURE  
 GARAGE ENTRY MINIMUM (1) 120 WATT FIXTURE  
 LAUNDRY ROOM MINIMUM (1) 120 WATT FIXTURE  
 WALK-IN CLOSETS MINIMUM (1) 60 WATT FIXTURE  
 POWDER ROOM MINIMUM (1) 120 WATT FIXTURE  
 BATHROOM (EACH) MINIMUM (1) 120 WATT FIXTURE  
 DINETTE MINIMUM (1) 120 WATT FIXTURE  
 KITCHEN MINIMUM (1) 120 WATT FIXTURE  
 DINING ROOM MINIMUM (1) 120 WATT FIXTURE  
 ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE  
 ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (1) 120 WATT FIXTURE  
 ATTIC SPACE MINIMUM (1) 60 WATT FIXTURE  
 GARAGE MINIMUM (2) 60 WATT FIXTURES

**LIGHTING FIXTURE CONTROL NARRATIVE**

AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER, WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THESE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

- TYPICAL NOTES**
- 1) DOOR MANUFACTURER: PELLA ENCOMPASS  
 SLIDING 0.10 CFM  
 IN-SWING HINGED 0.15 CFM  
 PELLA ENTRY DOORS: 0.30 CFM OR LESS
  - 2) WINDOW AIR INFILTRATION  
 PELLA 250 SERIES/PELLA ENCOMPASS  
 DOUBLE HING 0.50 CFM  
 CASEMENT, AWNING, FIXED 0.05 CFM
  - 3) GAS FIREPLACES: HEAT-N-GLO SLIMLINE  
 750 NS (SL-150TR)  
 • TIGHT FITTING NON-COMBUSTIBLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE
  - 4) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.
  - 5) CLASS I VAPOR RETARDER ON INTERIOR OF 2X4 FRAMED WALLS; RIGID POLYISOCYANURATE FOAM-FOIL BOARD CLASS II VAPOR RETARDER ON INTERIOR OF CEILING AND 2X6 FRAMED WALLS; KRAFT BATTS
  - 6) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-8.
  - 7) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
  - 8) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.
  - 9) THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 409.2.2 OF THE 2018 ENERGY CONSERVATION CODE.
  - 10) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6.
  - 11) THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

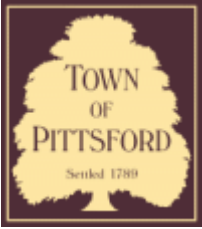
**EXHAUST DUCTS AND EXHAUST OPENINGS**

M 1504.2 DUCT LENGTH  
 THE LENGTH OF EXHAUST AND SUPPLY DUCTS USED WITH VENTILATING EQUIPMENT SHALL NOT EXCEED THE LENGTHS DETERMINED IN ACCORDANCE WITH TABLE M1504.2  
 EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTILATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THIRD PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE

**TABLE M1504.2 - DUCT LENGTH**

DUCT TYPE	FLEX DUCT										SMOOTH WALL DUCT									
	30	80	100	125	150	200	250	300	50	100	125	150	200	250	300					
FAN AIRFLOW RATINGS CFM @ 0.25 INCH WG A																				
DIAMETER D (INCHES)	MAXIMUM LENGTH D (FEET)																			
3	X	X	X	X	X	X	X	X	5	X	X	X	X	X	X					
4	56	4	X	X	X	X	X	X	54	51	10	X	X	X	X					
5	NL	61	42	16	2	X	X	NL	102	61	51	28	4	X	X					
6	NL	NL	150	61	55	15	7	X	NL	NL	NL	168	12	55	25	4				
7	NL	NL	NL	NL	161	75	40	11	NL	NL	NL	NL	NL	148	85	54				
8 AND ABOVE	NL	NL	NL	NL	NL	174	81	44	NL	NL	NL	NL	NL	NL	175	105				

FOR 30, 1-FEET X 20-1/2-INCH  
 A. FAN AIRFLOW SHALL BE IN ACCORDANCE WITH ANSI/HVAC A 30-AN/AMCA 30  
 B. FOR IRREGULAR DUCTS CALCULATE THE DIAMETER AS FROM THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER  
 C. THE TABLE APPLIES TO FLEXIBLE AND NOT RIGID SYSTEMS OF ALUMINUM DUCT LENGTH SHALL BE DETERMINED FOR EACH FLOOR RECALCULATED IN THE DUCT RUN  
 D. NL = NOT LIMITED BY DUCT LENGTH OF THIS SIZE  
 E. X = NOT ALLOWED; ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000071

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 215 West Brook Road PITTSFORD, NY 14534

**Tax ID Number:** 150.20-2-11

**Zoning District:** RN Residential Neighborhood

**Owner:** Vinci, David J

**Applicant:** Vinci, David J

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

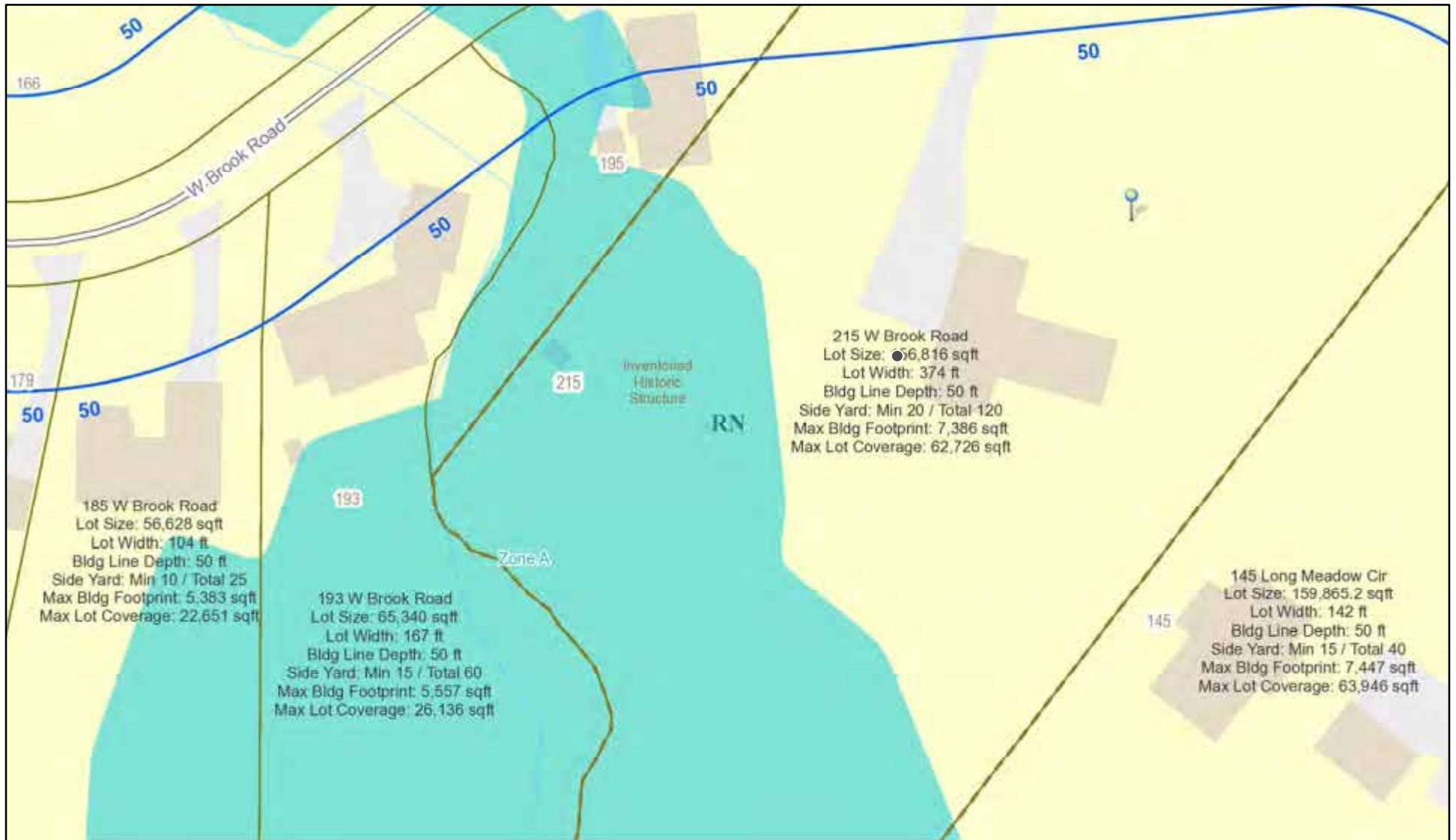
**Project Description:** Applicant is requesting design review for the addition of a 960 SF garage connected to the side of house.

**Meeting Date:** June 08, 2023

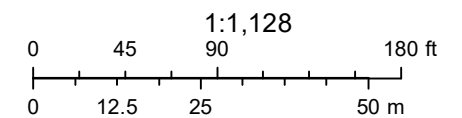




# RN Residential Neighborhood Zoning



Printed June 1, 2023



Town of Pittsford GIS

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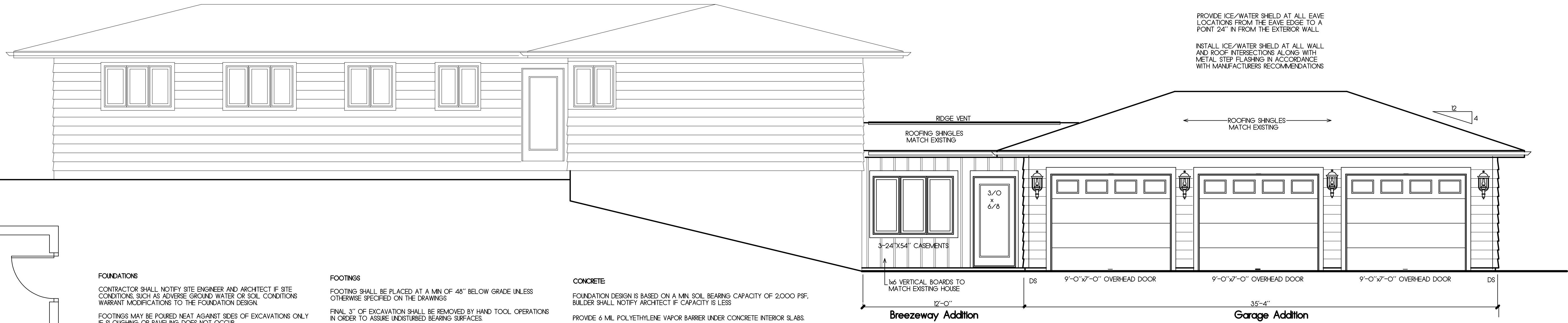




04/03/2021

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**Front Elevation**  
 1/4"=1'-0"

**FOUNDATIONS**

CONTRACTOR SHALL NOTIFY SITE ENGINEER AND ARCHITECT IF SITE CONDITIONS, SUCH AS ADVERSE GROUND WATER OR SOIL CONDITIONS, WARRANT MODIFICATIONS TO THE FOUNDATION DESIGN.  
 FOOTINGS MAY BE POURED NEAT AGAINST SIDES OF EXCAVATIONS ONLY IF SLOUGHING OR RAVELING DOES NOT OCCUR.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.  
 BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL CONCRETE AND GROUT HAS REACHED SUFFICIENT STRENGTH TO RESIST DAMAGE OR STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD DECK IS IN PLACE. OR SUFFICIENT WALL BRACING IS IN PLACE.

**FOOTINGS**

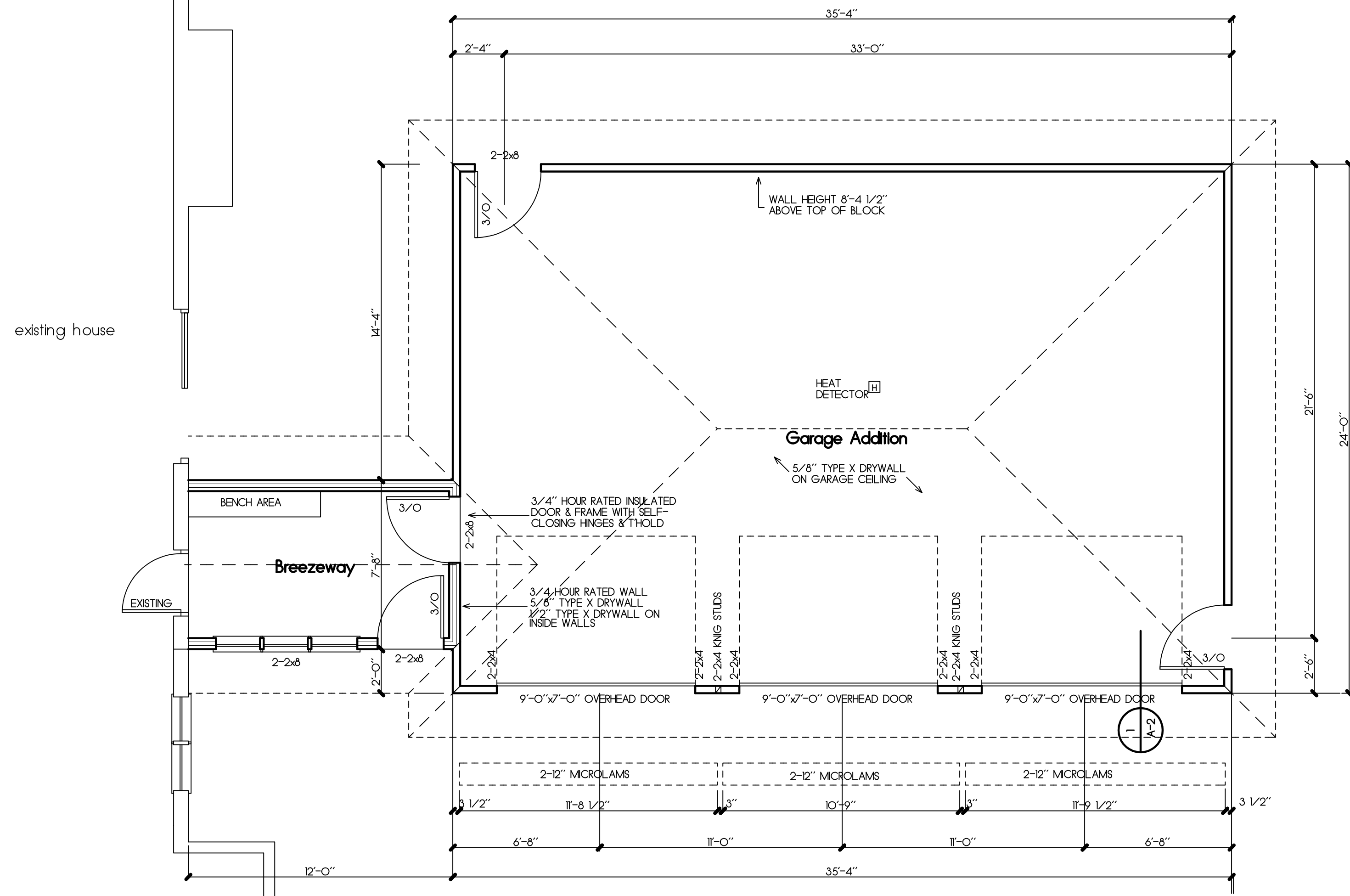
FOOTING SHALL BE PLACED AT A MIN. OF 48" BELOW GRADE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.  
 FINAL 3" OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACES.  
 BOTTOM SURFACE OF FOOTING SHALL NOT SLOPE MORE THAN 1/3 UNLESS OTHERWISE INDICATED ON THE DRAWINGS.  
 NO EXCAVATION SHALL BE MADE LOWER AND CLOSER THAN 1/3 UNLESS INDICATED ON THE DRAWINGS.  
 FOOTINGS AND SLABS SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND.  
 ALL FOOTINGS SHALL BEAR ON FIRM AND CLEAN SOIL. THE SOIL BEARING SHOULD BE VERIFIED AT THE FOOTINGS BY AN ACCEPTED TESTING METHOD.  
**CONCRETE MASONRY**  
 CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90 TYPE 1 GRADE N.  
 MORTAR - ASTM C270, TYPE S (1 in/1500 PSI)  
 BLOCK FILL - COURSE GROUT 3,000 PSI

**CONCRETE**

FOUNDATION DESIGN IS BASED ON A MIN. SOIL BEARING CAPACITY OF 2,000 PSF. BUILDER SHALL NOTIFY ARCHITECT IF CAPACITY IS LESS.  
 PROVIDE 6 ML. POLYETHYLENE VAPOR BARRIER UNDER CONCRETE INTERIOR SLABS.  
 PROVIDE ALL NECESSARY TIE BARS, SPACER BARS, CHAIRS, ETC. TO SECURE REINFORCING IN PLACE BEFORE PLACING CONCRETE.  
 A. STANDARDS-LATEST EDITION OF ACI: 1. FOOTINGS, WALLS AND PIERS-3,000 PSI  
 B. DESIGN STRENGTH AT 28 DAYS. 2. SLAB ON GRADE-INTERIOR 2,500 PSI  
 EXTERIOR 3,500 PSI

**REINFORCING-**

ANCHOR BOLTS SHALL CONFORM TO ASTM A-307 AND SHALL BE 1/2" DIA MIN AND 27" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM END PLATE, 6" O.C. AND MIN. OF 2" ANCHOR BOLTS IN ANY ONE SECTION. LOCATE IN MIDDLE THIRD OF PLATE AT LEAST 1 1/8" FROM THE EDGE OF A 2x4 AND 1 3/4" FROM THE EDGE OF A 2x6.

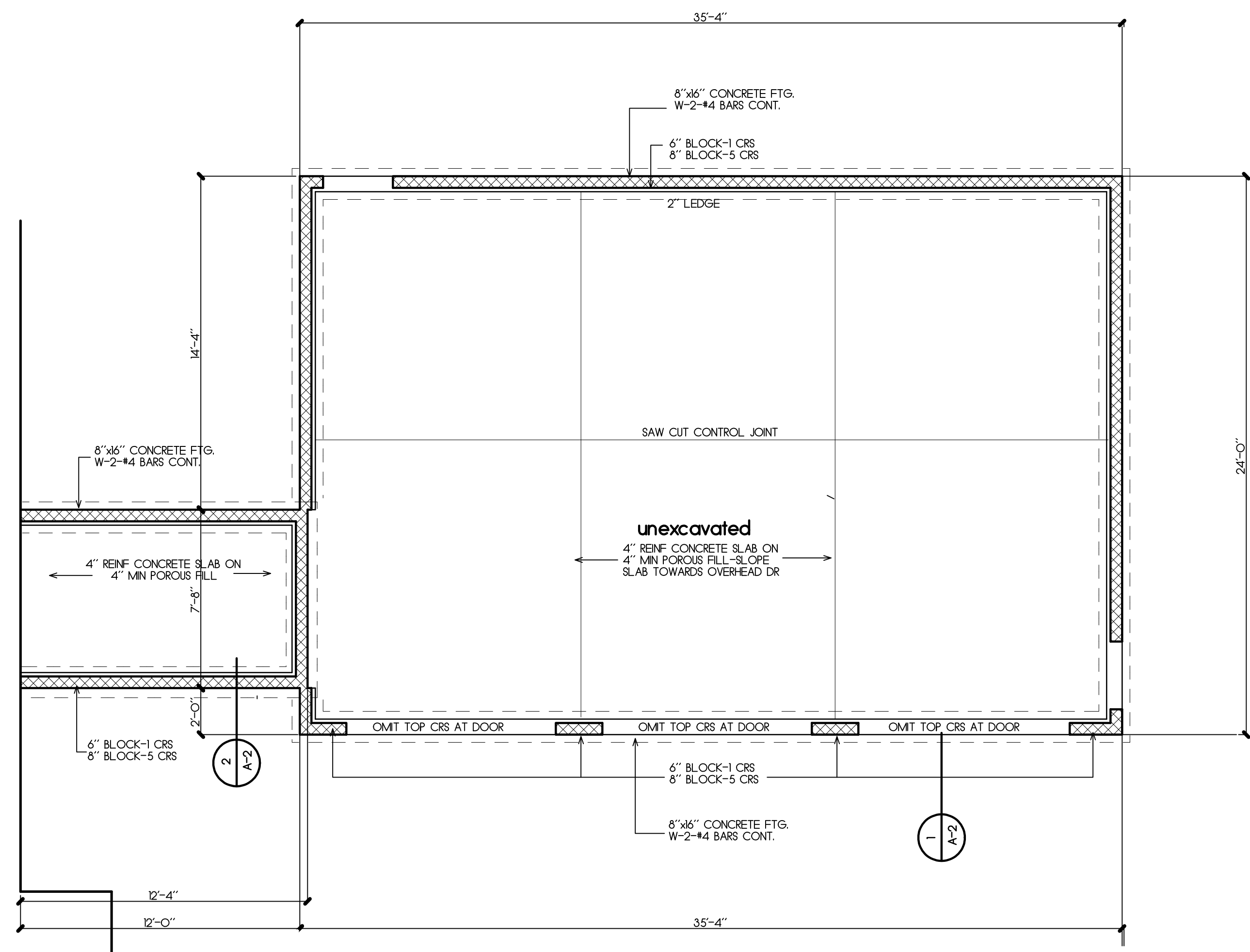


**First Floor Plan**  
 1/4"=1'-0"

ALL NEW ELECTRICAL WORK SHALL COMPLY WITH PART VIII OF THE RESIDENTIAL CODE OF NEW YORK STATE PROVIDE TOWN OFFICE WITH FINAL ELECTRICAL INSPECTION APPROVAL

**WALL LEGEND**

- 2x6 FRAMING @ 16" O.C.
- 2x4 FRAMING @ 16" O.C.



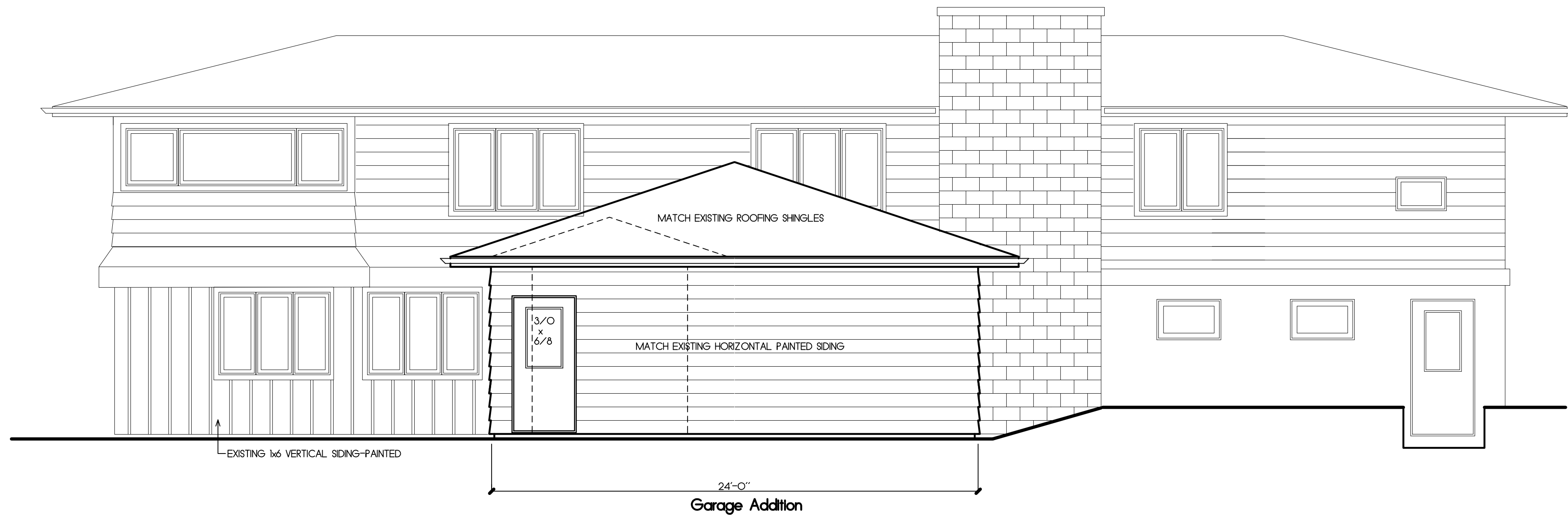
**Foundation Plan**  
 1/4"=1'-0"

ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE APPROVED PRESSURE TREATED WOOD SUITABLE FOR GROUND CONTACT USE

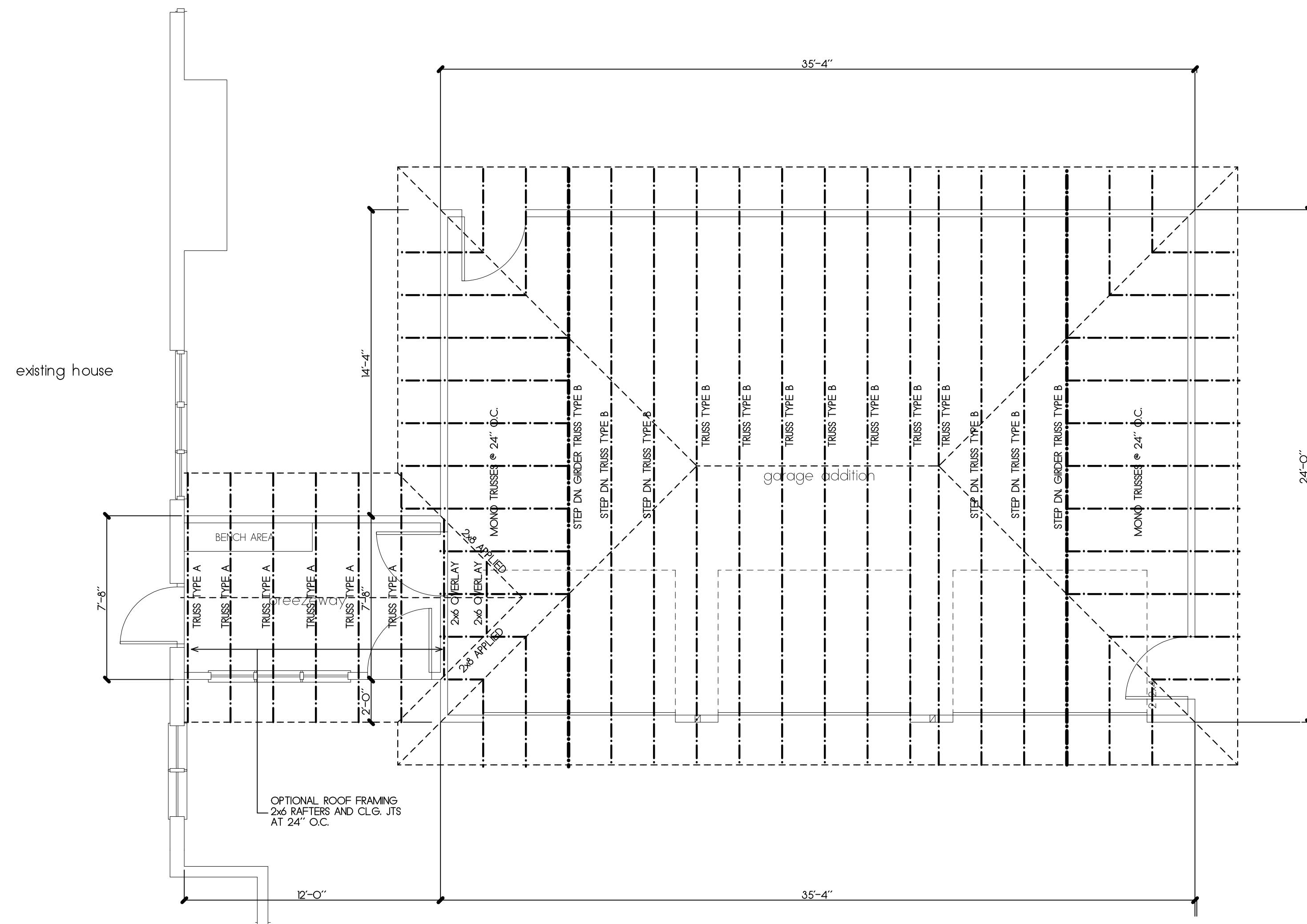
**CLIMATE AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD	WIND SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQD.	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
						WEATHERING	FROST LINE DEPTH	TERMITE	DECAY					
40	15				B	SEVERE	48"	NONE-SLIGHT	NONE-SLIGHT	1	YES			

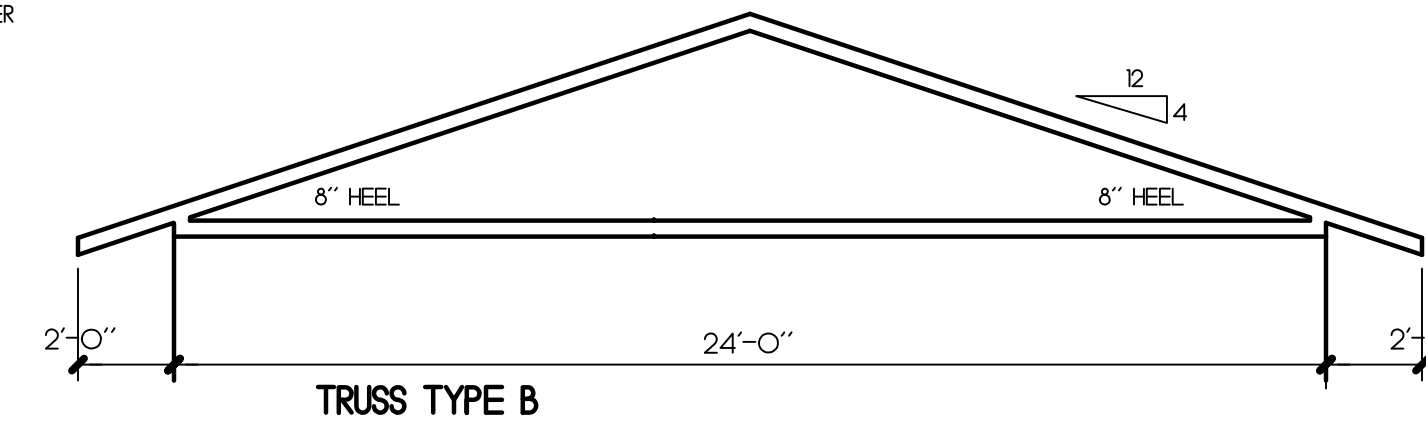
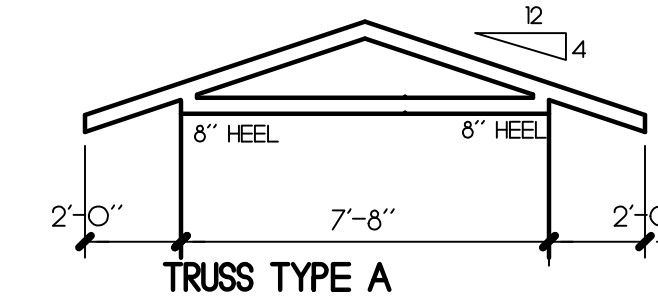
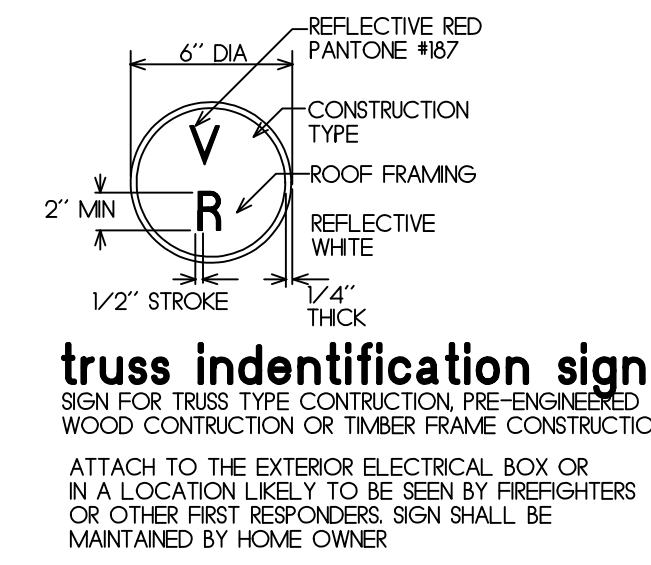




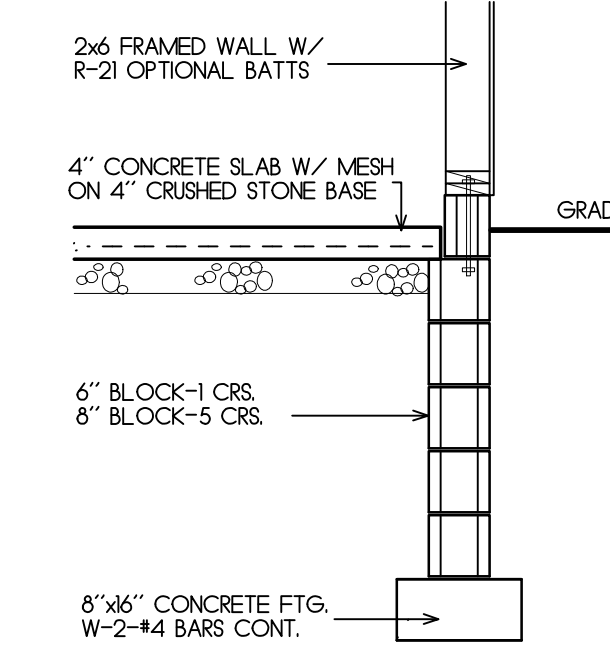
**Side Elevation-R**  
1/4"=1'-0"



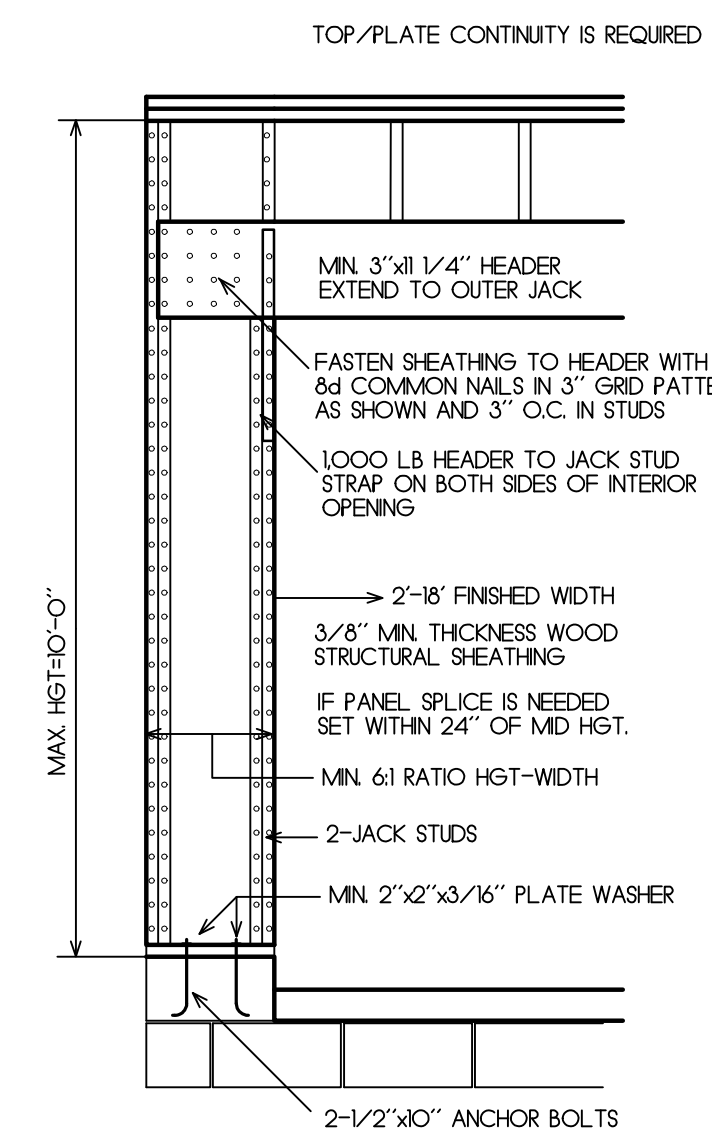
**Roof Framing Plan**  
1/4"=1'-0"



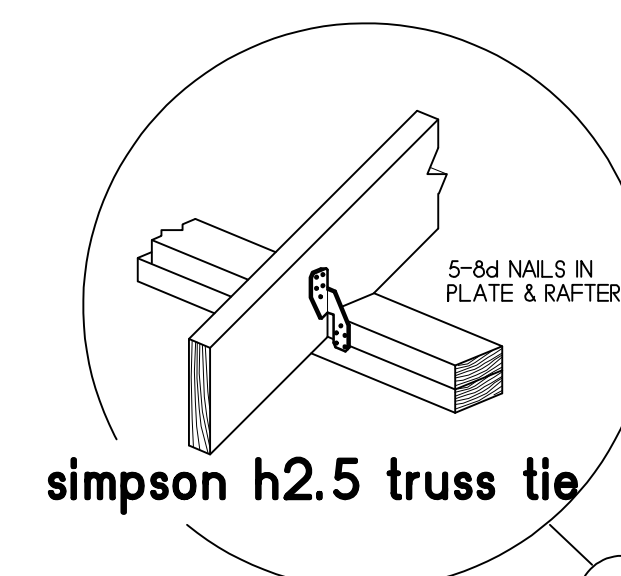
MANUFACTURER STAMPED TRUSS DRAWINGS SHALL BE SUBMITTED TO THE BLDG. DEPARTMENT PROVIDE SIMPSON H2.5 TRUSS TIE DOWNS FOR 400 LB MIN UPLIFT CAPACITY



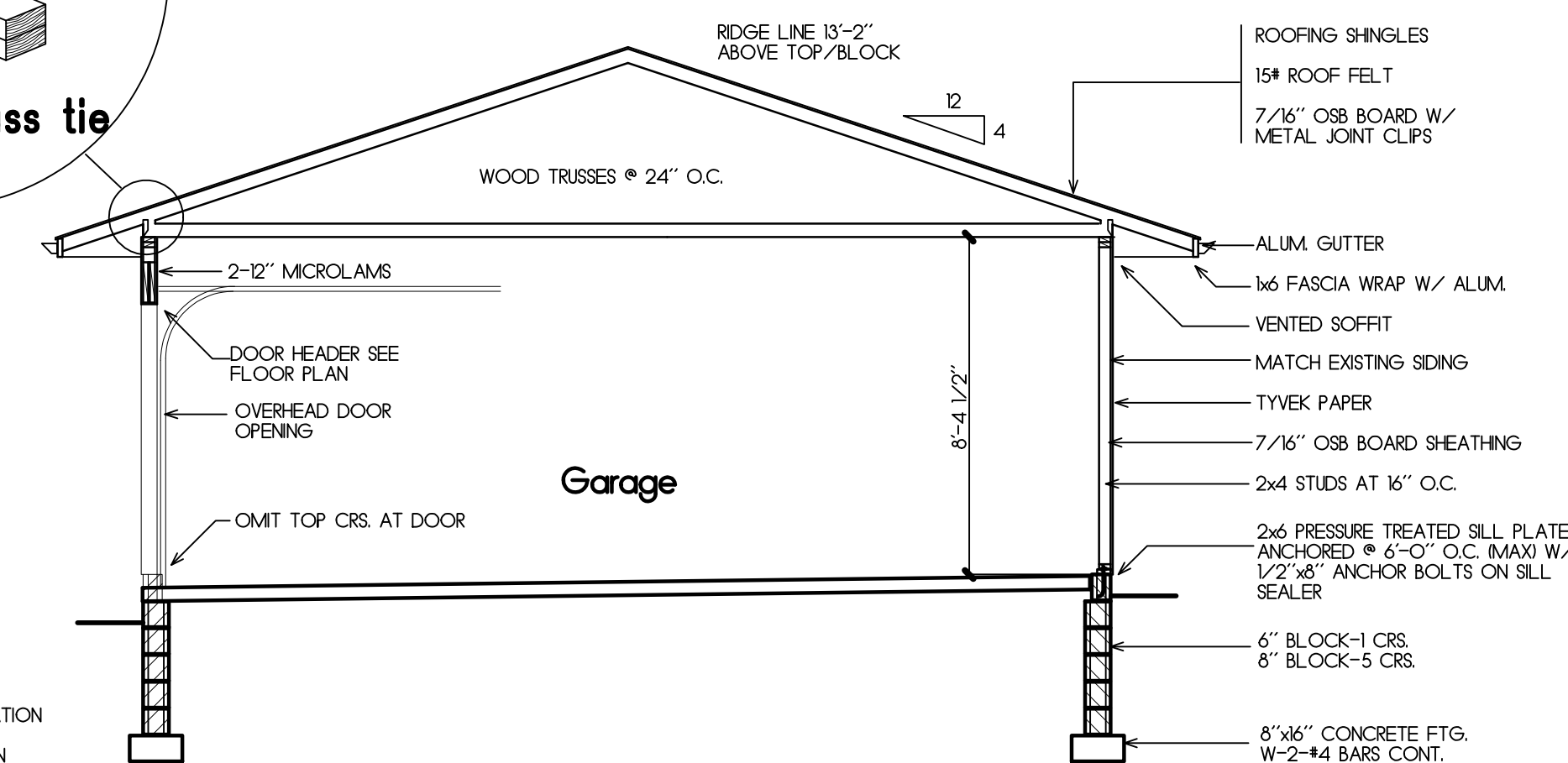
**Section 2**  
1/2"=1'-0"



**garage portal wall**  
INTERIOR VIEW



**simpson h2.5 truss tie**



**Cross Section 1**  
1/4"=1'-0"

ALTERNATE FOUNDATION  
6" BLOCK-1 CRS.  
8" BLOCK-1 CRS. ON  
12" WIDE TRENCH FOOTING TO  
48" BELOW GRADE MIN.

REVISIONS	DATE	DESCRIPTION
No.		

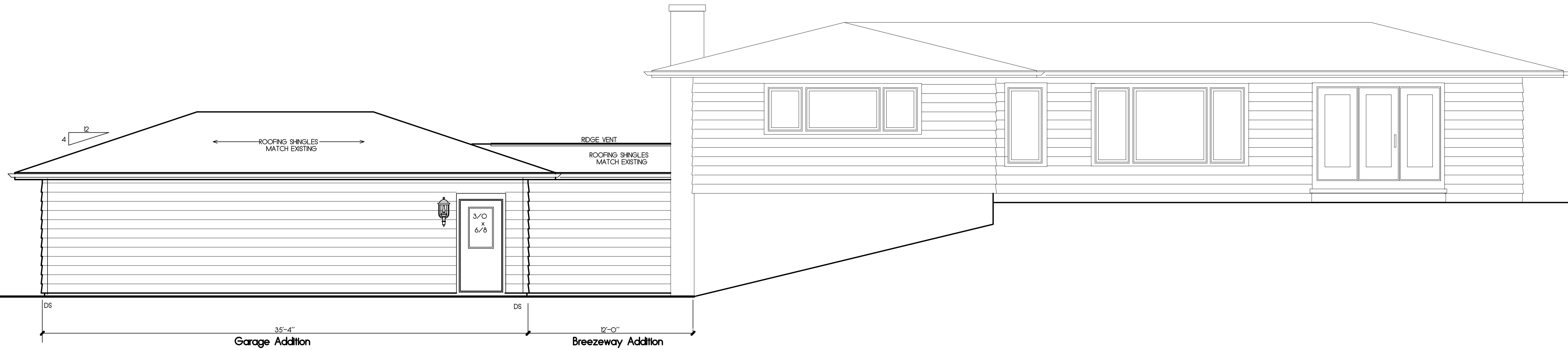
JOB NO. # 215

**A-2**

MAY 20, 2023



**Side Elevation-L**  
1/4"=1'-0"



**Rear Elevation**  
1/4"=1'-0"

REVISIONS  
No. DATE DESCRIPTION

JOB NO. # 215

**A-3**

MAY 20, 2023