

**Design Review & Historic Preservation Board  
Agenda  
March 23, 2023**

**HISTORIC PRESERVATION DISCUSSION**

**BUILDING INSPECTOR REMARKS**

**COMMERCIAL APPLICATION FOR REVIEW - SIGNAGE**

- **789 Linden Avenue**  
The Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 16 square feet. The sign will identify the business "McLaud Law P.C."

**RESIDENTIAL APPLICATION FOR REVIEW**

- **82 Reitz Parkway**  
The Applicant is requesting design review for the construction of a covered entryway off the front of the house.
- **180 Alpine Drive**  
The Applicant is requesting design review for the removal of two windows as part of their kitchen and bath remodel project.

**RESIDENTIAL APPLICATION FOR REVIEW – NEW**

- **6 Black Wood Circle**  
The Applicant is requesting design review for the construction of an approximately 2036 SF new single story family home in the Wilshire Hill subdivision.
- **10 Aden Hill**  
The Applicant is requesting design review for the construction of an approximately 2040 SF new single story family home in the Wilshire Hill subdivision.

**RESIDENTIAL APPLICATION FOR REVIEW - RETURNING**

- **2490 Lehigh Station Road**  
The Applicant is requesting design review for an addition of a 2650 SF garage addition off the side of the existing house.

**DEMOLITION OF STRUCTURE AND CONSTRUCTION OF NEW RESIDENCE**

- **114 Sunset Boulevard**  
In accordance with Chapter 64 Article VIII, Â§64-43 of the Pittsford Town Code, the owner of 114 Sunset Boulevard is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 1,872 square foot home at 114 Sunset Boulevard and rebuild a new 3,180 +/- square foot single family home on the property. Tax Parcel No. 164.10-4-23. This property is Zoned Residential Neighborhood (RN).

**Design Review and Historic Preservation Board**  
**Minutes**  
**March 9, 2023**

**PRESENT**

David Wigg, Vice Chairman; Paul Whitbeck, Jim Vekasy, Kathleen Cristman

**ALSO PRESENT**

Cathy Koshykar, Town Board liaison; Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman; Bonnie Salem, John Mitchell

**HISTORIC PRESERVATION DISCUSSION**

There was no historic preservation discussion.

**RESIDENTIAL APPLICATION FOR REVIEW**

- **2490 Lehigh Station Road**

The Applicant is requesting design review for the addition of a 100 SF front entry porch.

The homeowner, Kody Young, was present.

The applicant is requesting design approval for a porch that is already under construction. The porch is proposed to have metal roofing. The siding will be white board and batten. Brick has been removed and replaced with stone. The building inspectors will check to see if the height of the porch will require a railing by code. The Board approved of the design of the porch.

David Wigg move to approve the design for a front porch entry as submitted.

Paul Whitbeck seconded.

All Ayes.

- **2490 Lehigh Station Road**

The Applicant is requesting design review for an addition of a 2650 sf garage addition off the side of the existing house.

The homeowner, Kody Young, was present.

Mr. Young is proposing to demolish a current one car garage and replace with a 4-bay garage addition. The garage addition will be stepped back from the main structure and turned perpendicular to it facing Pittsford Henrietta Town Line Road. Living space is proposed above the garage bays. One of the bays is proposed to have a larger door to accommodate potential future boat storage. Mr. Young indicated that the windows and roofing materials will match the existing on the home. The style of garage doors has not been determined.

The Board raised concerns that the proposed garage addition is too large in relation to the existing home. They asked if the current trees would remain, and Mr. Young indicated that one will need to be removed to achieve the construction of the garage and one is currently blocking the view of the road.

David Wigg suggested a breezeway between the garage and home, but the homeowner preferred not to pursue that option.

Kathleen Cristman suggested making a smaller garage or having a detached garage design to break up the massing of the garage.

The elimination of one of the ridges was also suggested.

After discussion, Jim Vekasy moved to accept the application for a 4-bay garage addition as submitted.

David Wigg seconded.

Ayes – Wigg, Cristman, Vekasy  
Nay – Whitbeck

The motion failed to carry.

The applicant asked for further direction. The Board suggested that the applicant consider the comments and return to the Board at a future meeting.

- **32 Rosewood Drive**

The Applicant is requesting design review for the construction of a covered porch off the front of the house.

The homeowner, Mike Madden, was present.

The porch will feature a hip roof design and the shingles will match the existing asphalt shingles currently on the home. The columns will be wrapped white 6" x 6" Azek to match the white trim on the home.

David Wigg move to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **91 Caversham Woods**

The Applicant is requesting design review for the construction of approximately a 520 SF addition off the rear of the house.

Tom Taglitanto of Tri-State Construction was present to represent the homeowner.

He indicated that the siding from the original house will be reused on the new addition. All other materials will match the existing.

Kathleen Cristman moved to accept the application as submitted.

David Wigg seconded.

All Ayes.

- **56 and 58 Skylight Trail**

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. 56 Skylight Trail will be approximately 1884 sq. ft. and 58 Skylight Trail will be 2023 sq. ft. The town homes will be located in the new Alpine Ridge development.

Bill Arieno of Morrell Builders was present,

This new model in section 2 of Alpine Ridge will feature one side load and one front load garage. There will be no stone materials on this model.

David Wigg moved to accept the application as submitted.

Paul Whitbeck seconded.

All Ayes.

## **DEMOLITION OF STRUCTURE AND CONSTRUCTION OF NEW RESIDENCE**

- **114 Sunset Boulevard**

In accordance with Chapter 64 Article VIII, § 64-43 of the Pittsford Town Code, the owner of 114 Sunset Boulevard is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 1,872 square foot home at 114 Sunset Boulevard and rebuild a new 3,180 +/- square foot single family home on the property. Tax Parcel No. 164.10-4-23. This property is Zoned Residential Neighborhood (RN).

Vice Chairman David Wigg opened the public hearing.

The homeowner, Verdana Saralijic, was present.

Ms. Saralijic is requesting approval to demolish the current structure and build a new home on the footprint of the former. She cited foundational and insulation issues with the current home. She stated the home is poorly constructed, not energy efficient and does not meet their family needs. She indicated the new home plan will feature a basement and second floor. She also stated she is working with the Town Engineer to resolve drainage issues on the property.

Vice Chairman David Wigg called for public comment and there was none. No correspondence to date has been received by the Town regarding this application.

David Wigg moved to close the public hearing.

Kathleen Cristman seconded.

All Ayes.



The Board discussed that it has been determined that the home has no historical or architectural significance and noted that the proposed design is a vast improvement over the existing structure.

No vote of decision was taken at this meeting.

### **REVIEW OF MINUTES OF FEBRUARY 23, 2023 MEETING**

David Wigg moved to accept the minutes of the February 23, 2023, meeting as written.

Kathleen Cristman seconded.

All Ayes.

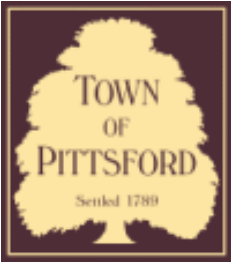
### **ADJOURNMENT**

David Wigg moved to close the meeting at 7:35 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S23-000004**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 789 Linden Avenue ROCHESTER, NY 14625

**Tax ID Number:** 138.15-1-43

**Zoning District:** LI Light Industrial

**Owner:** Gino D'Agostino Family, LLC

**Applicant:** 789 Linden Avenue LLC

### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
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| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
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| <input type="checkbox"/> Informal Review                            |   |

**Project Description:** Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 16 square feet. The sign will identify the business "McLaud Law P.C.".

**Meeting Date:** March 23, 2023

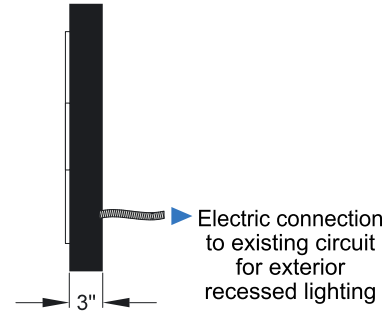
# Proposed 2' x 8' sign illuminated sign for 789 Linden Ave

24" x 96" x 3" deep fabricated aluminum pill box sign with routed aluminum face and push through acrylic box and letters. Vinyl copy on box by Gupp

Face and returns painted black, white acrylic, LED internal illumination



## Profile



2' x 8' sign centered in 44" x 160" recessed sign area



Existing tenant sign on East elevation at 789 Linden Ave  
 $42" \times 96" = 28$  sf internally illuminated pill box sign similar to proposed one for McLaud Law

May 2022 See more dates



Proposed second tenant sign on North elevation 789 Linden Ave.



Tenant occupied frontage of building 52 lineal feet  
proposed sign  $2' \times 8' = 16$  sf

**Design Review & Historic Preservation Board  
Agenda  
March 23, 2023**

**HISTORIC PRESERVATION DISCUSSION**

**BUILDING INSPECTOR REMARKS**

**COMMERCIAL APPLICATION FOR REVIEW - SIGNAGE**

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- **10 Aden Hill**  
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**DEMOLITION OF STRUCTURE AND CONSTRUCTION OF NEW RESIDENCE**

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**Design Review and Historic Preservation Board**  
**Minutes**  
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**PRESENT**

David Wigg, Vice Chairman; Paul Whitbeck, Jim Vekasy, Kathleen Cristman

**ALSO PRESENT**

Cathy Koshykar, Town Board liaison; Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman; Bonnie Salem, John Mitchell

**HISTORIC PRESERVATION DISCUSSION**

There was no historic preservation discussion.

**RESIDENTIAL APPLICATION FOR REVIEW**

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The homeowner, Kody Young, was present.

The applicant is requesting design approval for a porch that is already under construction. The porch is proposed to have metal roofing. The siding will be white board and batten. Brick has been removed and replaced with stone. The building inspectors will check to see if the height of the porch will require a railing by code. The Board approved of the design of the porch.

David Wigg move to approve the design for a front porch entry as submitted.

Paul Whitbeck seconded.

All Ayes.

- **2490 Lehigh Station Road**

The Applicant is requesting design review for an addition of a 2650 sf garage addition off the side of the existing house.

The homeowner, Kody Young, was present.

Mr. Young is proposing to demolish a current one car garage and replace with a 4-bay garage addition. The garage addition will be stepped back from the main structure and turned perpendicular to it facing Pittsford Henrietta Town Line Road. Living space is proposed above the garage bays. One of the bays is proposed to have a larger door to accommodate potential future boat storage. Mr. Young indicated that the windows and roofing materials will match the existing on the home. The style of garage doors has not been determined.

The Board raised concerns that the proposed garage addition is too large in relation to the existing home. They asked if the current trees would remain, and Mr. Young indicated that one will need to be removed to achieve the construction of the garage and one is currently blocking the view of the road.

David Wigg suggested a breezeway between the garage and home, but the homeowner preferred not to pursue that option.

Kathleen Cristman suggested making a smaller garage or having a detached garage design to break up the massing of the garage.

The elimination of one of the ridges was also suggested.

After discussion, Jim Vekasy moved to accept the application for a 4-bay garage addition as submitted.

David Wigg seconded.

Ayes – Wigg, Cristman, Vekasy  
Nay – Whitbeck

The motion failed to carry.

The applicant asked for further direction. The Board suggested that the applicant consider the comments and return to the Board at a future meeting.

- **32 Rosewood Drive**

The Applicant is requesting design review for the construction of a covered porch off the front of the house.

The homeowner, Mike Madden, was present.

The porch will feature a hip roof design and the shingles will match the existing asphalt shingles currently on the home. The columns will be wrapped white 6" x 6" Azek to match the white trim on the home.

David Wigg move to approve the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **91 Caversham Woods**

The Applicant is requesting design review for the construction of approximately a 520 SF addition off the rear of the house.

Tom Taglitanto of Tri-State Construction was present to represent the homeowner.

He indicated that the siding from the original house will be reused on the new addition. All other materials will match the existing.



Kathleen Cristman moved to accept the application as submitted.

David Wigg seconded.

All Ayes.

- **56 and 58 Skylight Trail**

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. 56 Skylight Trail will be approximately 1884 sq. ft. and 58 Skylight Trail will be 2023 sq. ft. The town homes will be located in the new Alpine Ridge development.

Bill Arieno of Morrell Builders was present,

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Vice Chairman David Wigg called for public comment and there was none. No correspondence to date has been received by the Town regarding this application.

David Wigg moved to close the public hearing.

Kathleen Cristman seconded.

All Ayes.



The Board discussed that it has been determined that the home has no historical or architectural significance and noted that the proposed design is a vast improvement over the existing structure.

No vote of decision was taken at this meeting.

### **REVIEW OF MINUTES OF FEBRUARY 23, 2023 MEETING**

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Kathleen Cristman seconded.

All Ayes.

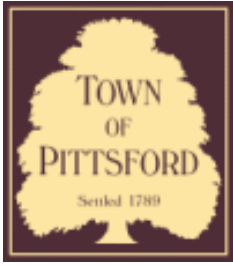
### **ADJOURNMENT**

David Wigg moved to close the meeting at 7:35 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**S23-000004**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 789 Linden Avenue ROCHESTER, NY 14625

**Tax ID Number:** 138.15-1-43

**Zoning District:** LI Light Industrial

**Owner:** Gino D'Agostino Family, LLC

**Applicant:** 789 Linden Avenue LLC

### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

**Project Description:** Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 16 square feet. The sign will identify the business "McLaud Law P.C.".

**Meeting Date:** March 23, 2023

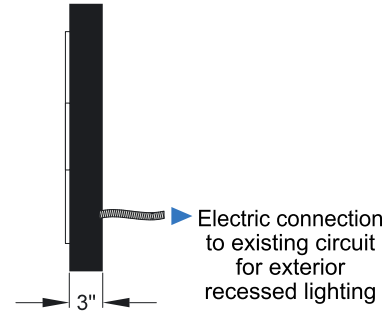
# Proposed 2' x 8' sign illuminated sign for 789 Linden Ave

24" x 96" x 3" deep fabricated aluminum pill box sign with routed aluminum face and push through acrylic box and letters. Vinyl copy on box by Gupp

Face and returns painted black, white acrylic, LED internal illumination



## Profile



2' x 8' sign centered in 44" x 160" recessed sign area



Existing tenant sign on East elevation at 789 Linden Ave  
 $42" \times 96" = 28$  sf internally illuminated pill box sign similar to proposed one for McLaud Law

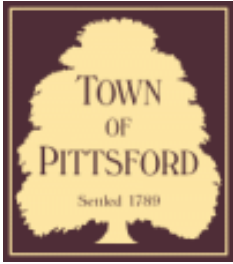
May 2022 See more dates



Proposed second tenant sign on North elevation 789 Linden Ave.



Tenant occupied frontage of building 52 lineal feet  
proposed sign  $2' \times 8' = 16$  sf



# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000029**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 82 Reitz PITTSFORD, NY 14534

**Tax ID Number:** 164.11-2-5

**Zoning District:** RN Residential Neighborhood

**Owner:** Boyce, Martha Cushman

**Applicant:** Stagliano Builders

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a covered entryway off the front of the house.

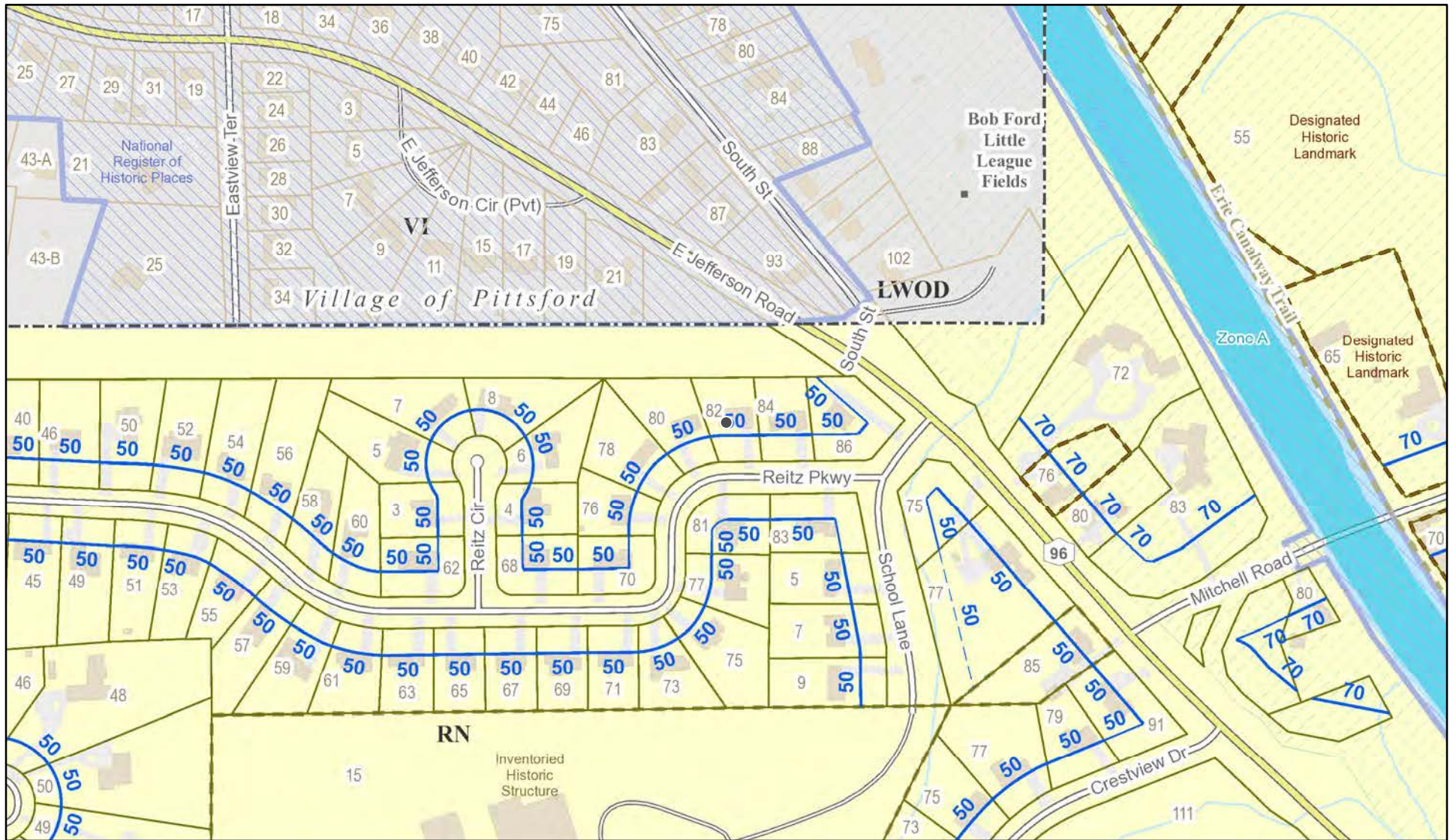
**Meeting Date:** March 23, 2023



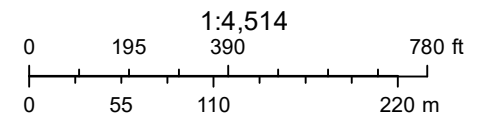




# RN Residential Neighborhood Zoning



Printed March 7, 2023



Town of Pittsford GIS

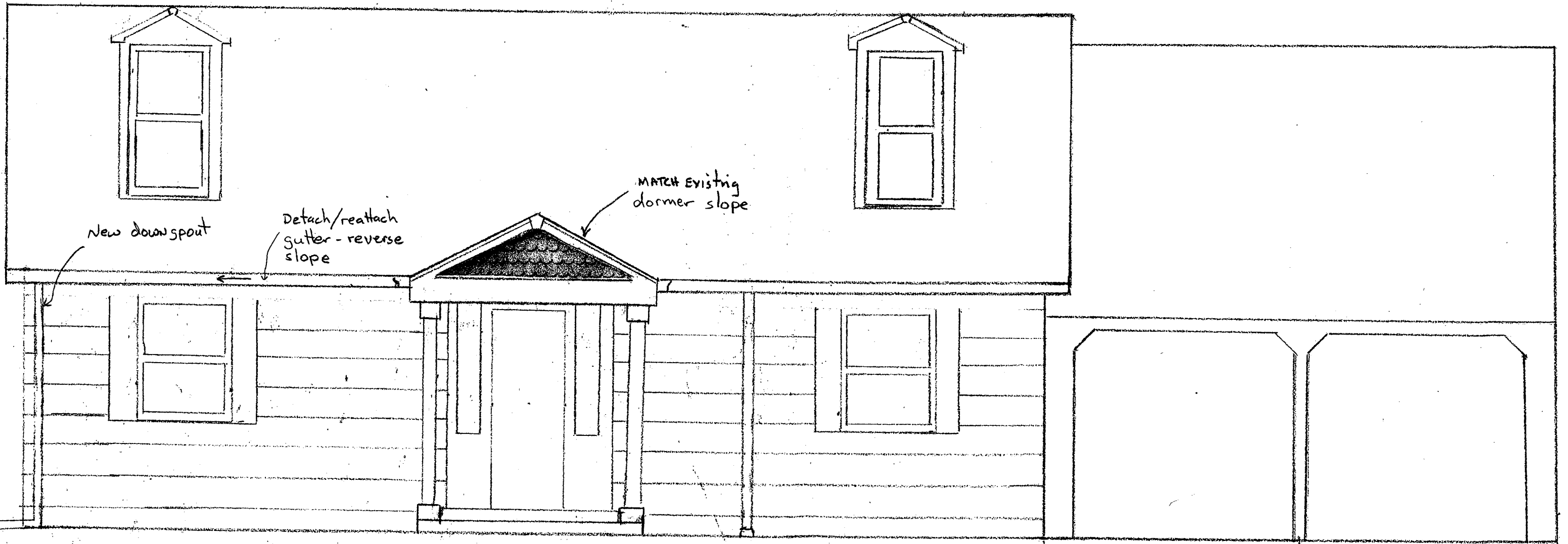
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





04/03/2021 - 04/06/2021





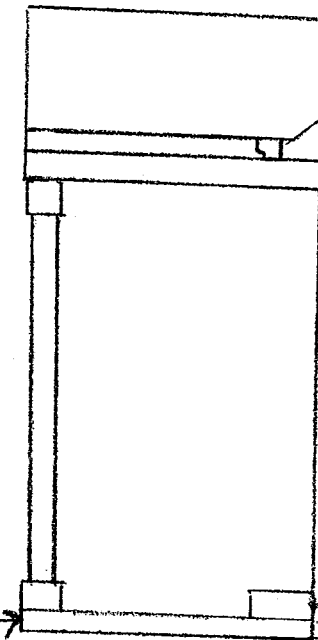
Construction Notes:

Columns - 6"x6" wood with  
 Vinyl column covers - see exhibit  
 Front face siding - 6" vinyl round  
 siding - see exhibit  
 vaulted ceiling underside - beadboard finish  
 match existing roofing

Front View

Boyce Home 82 Reitz Parkway Pittsford, NY 14534		DRAWN BY <b>JLB</b>
SCALE: 1/4" = 1'-0"	APPROVED BY:	REVISED
DATE: 1-6-2023	Proposed front entrance addition	
		DRAWING NUMBER

Existing front  
entrance steps



Existing House

# Boyce Home END VIEW

SCALE:  $\frac{1}{4}'' = 1'-0''$

APPROVED BY:

DRAWN BY

JLB

DATE: 1-6-2023

REVISED

DRAWING NUMBER

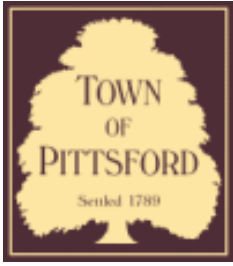












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000031**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 180 Alpine Drive ROCHESTER, NY 14618

**Tax ID Number:** 151.06-2-28

**Zoning District:** RN Residential Neighborhood

**Owner:** Cottrell, Brandon

**Applicant:** Rochester Bath and Kitchen

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
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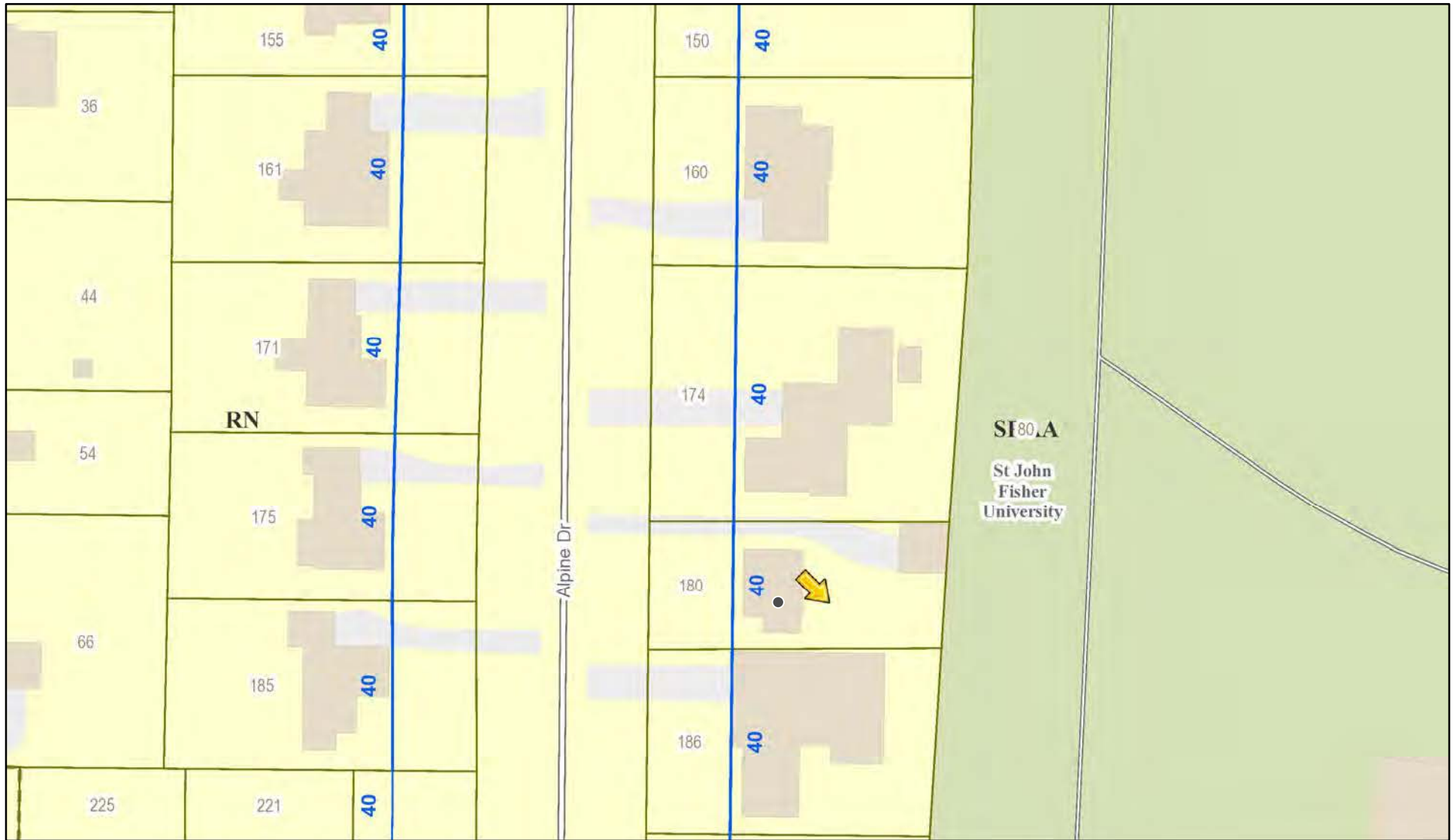
**Project Description:** Applicant is requesting design review for the removal of two windows as part of their kitchen and bath remodel project.

**Meeting Date:** March 23, 2023

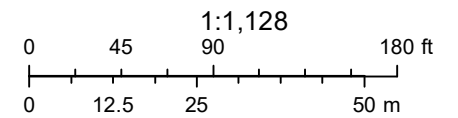


180

# RN Residential Neighborhood Zoning



Printed March 16, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





80

450 Ft

150

160

174

180

186

200

202

208

145

155

161

171

175

185

221

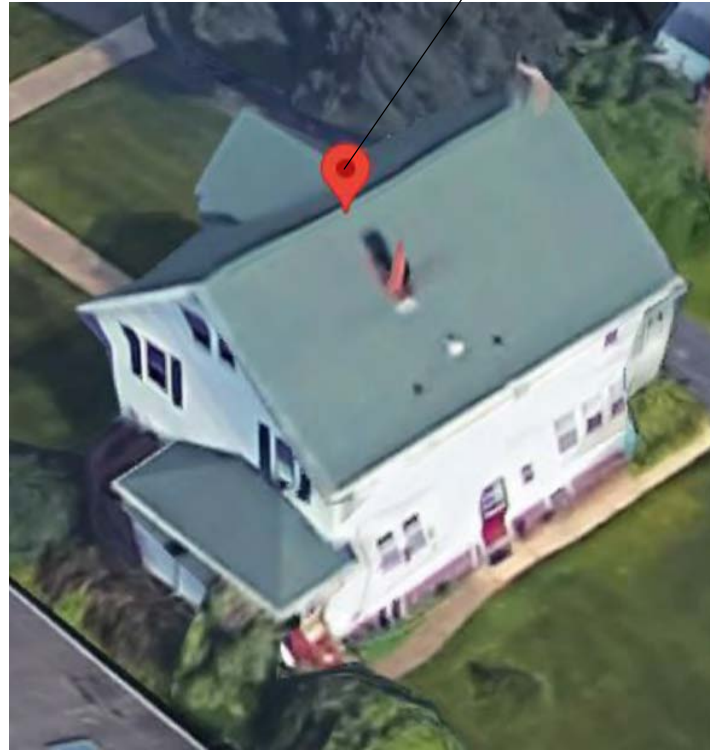
222

04/03/2021

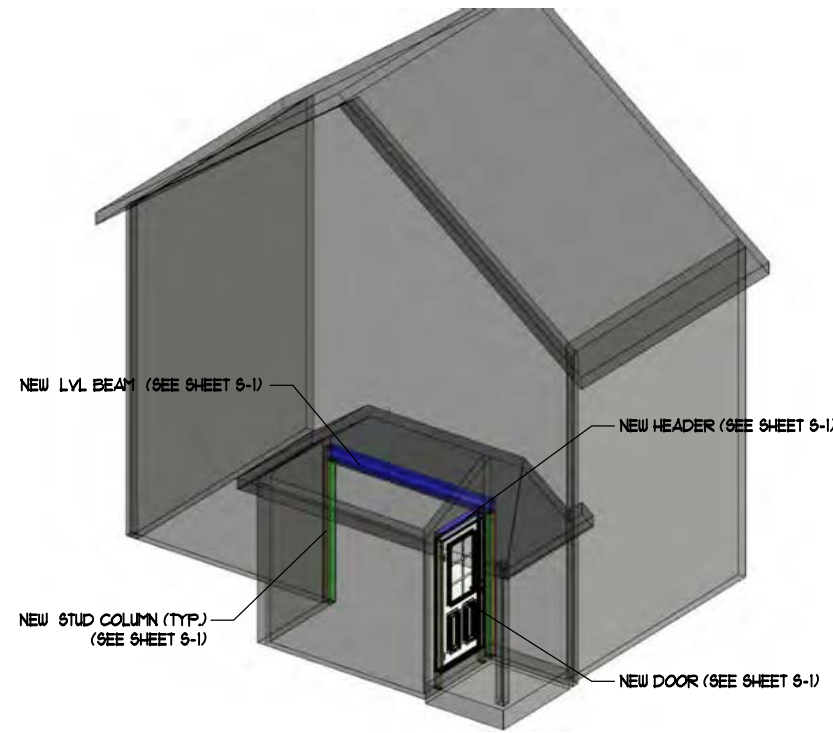
© All EagleView Technology Corporation



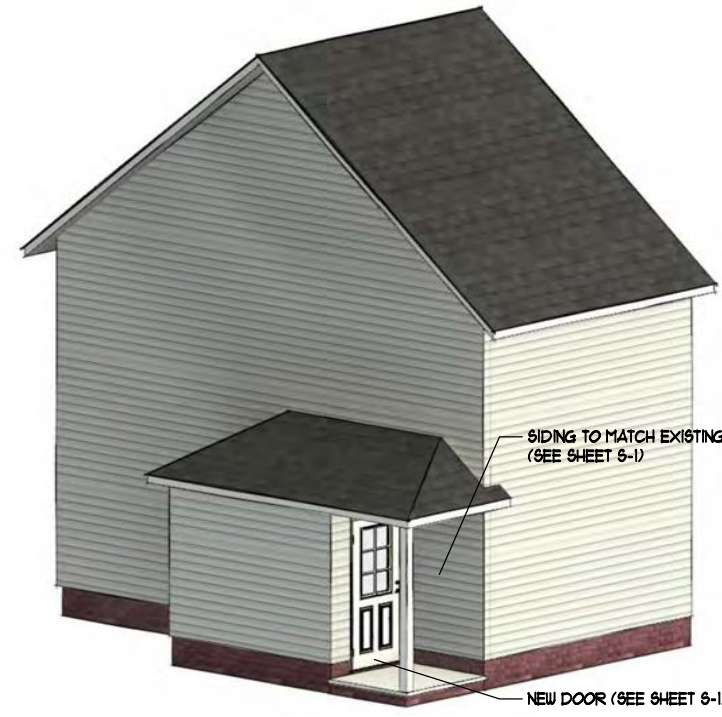
PROJECT LOCATION:  
180 ALPINE DRIVE  
ROCHESTER, NY 14618  
(IMAGE SOURCE: GOOGLE MAPS)



1 **AERIAL PERSPECTIVE**  
SCALE: N.T.S.



2 **STRUCTURAL PERSPECTIVE**  
SCALE: N.T.S.



3 **RENDERED PERSPECTIVE**  
SCALE: N.T.S.



4 **ELEVATION AT NEW DOOR**  
SCALE: N.T.S.



**Torchia Structural Engineering  
& Design P.C.**

625 Panorama Trail Phone: 585-385-7630  
Suite #2210 Fax: 585-385-6386  
Rochester, NY 14625 www.TSE123.com

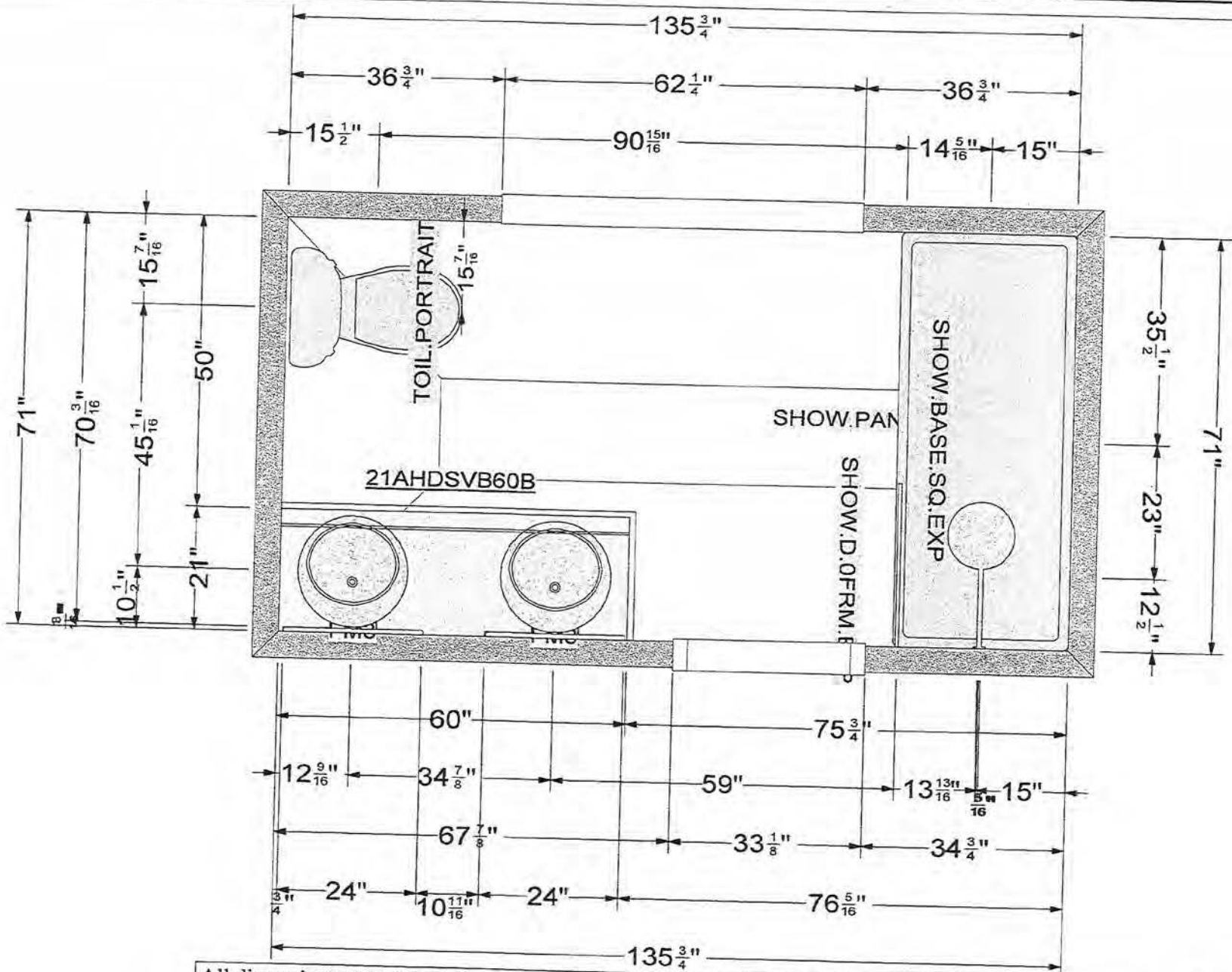
## Interior Alterations to: The Cottrell Residence

180 ALPINE DRIVE  
ROCHESTER, NY 14618

# S-2

03/13/2022  
TSE Project # 22-08-13





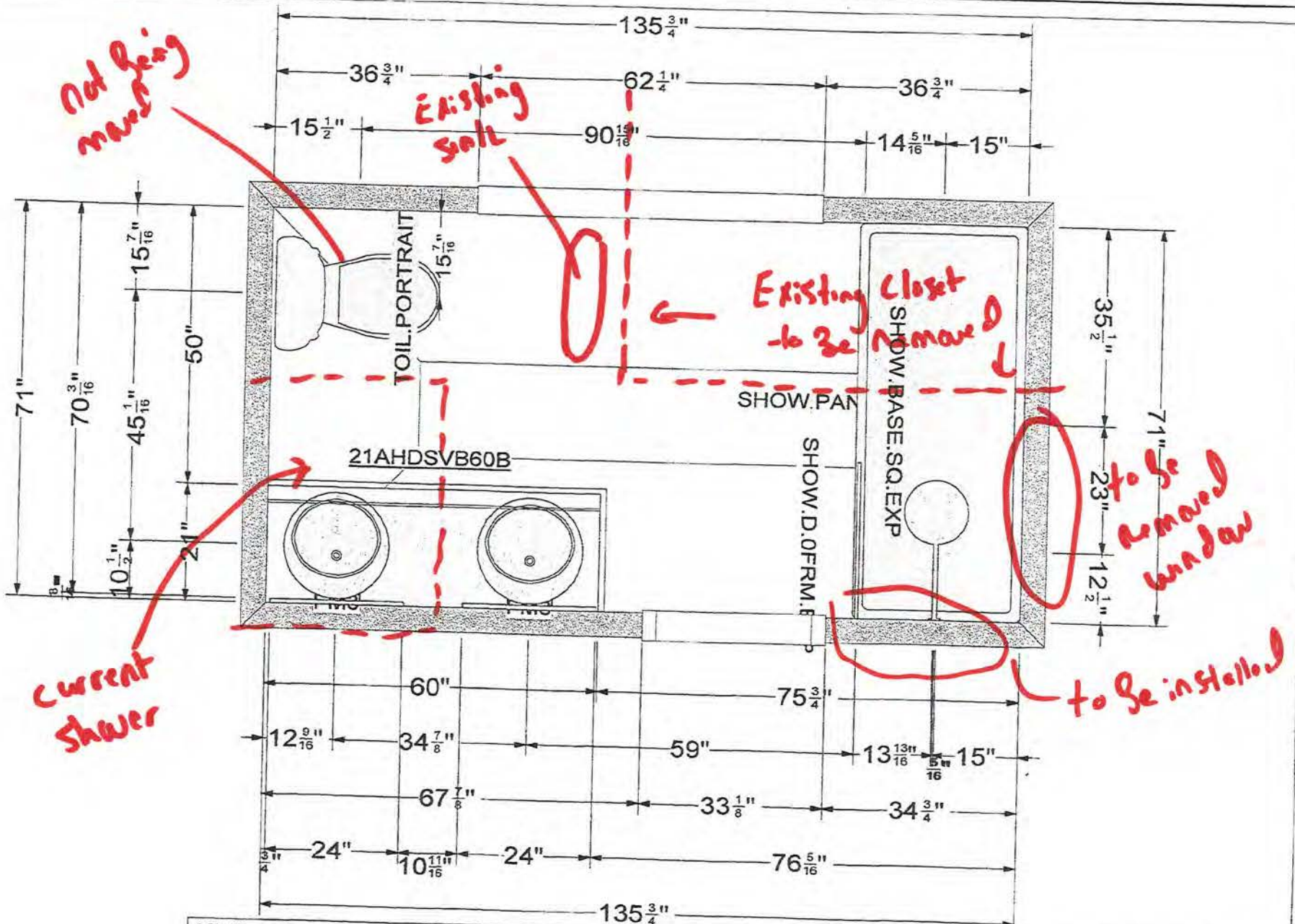
All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 7/11/2022  
Printed: 3/2/2023





*Not being manded*

*Existing sink*

*Existing closet to be removed*

*Current shower*

*to be removed window*

*to be installed*

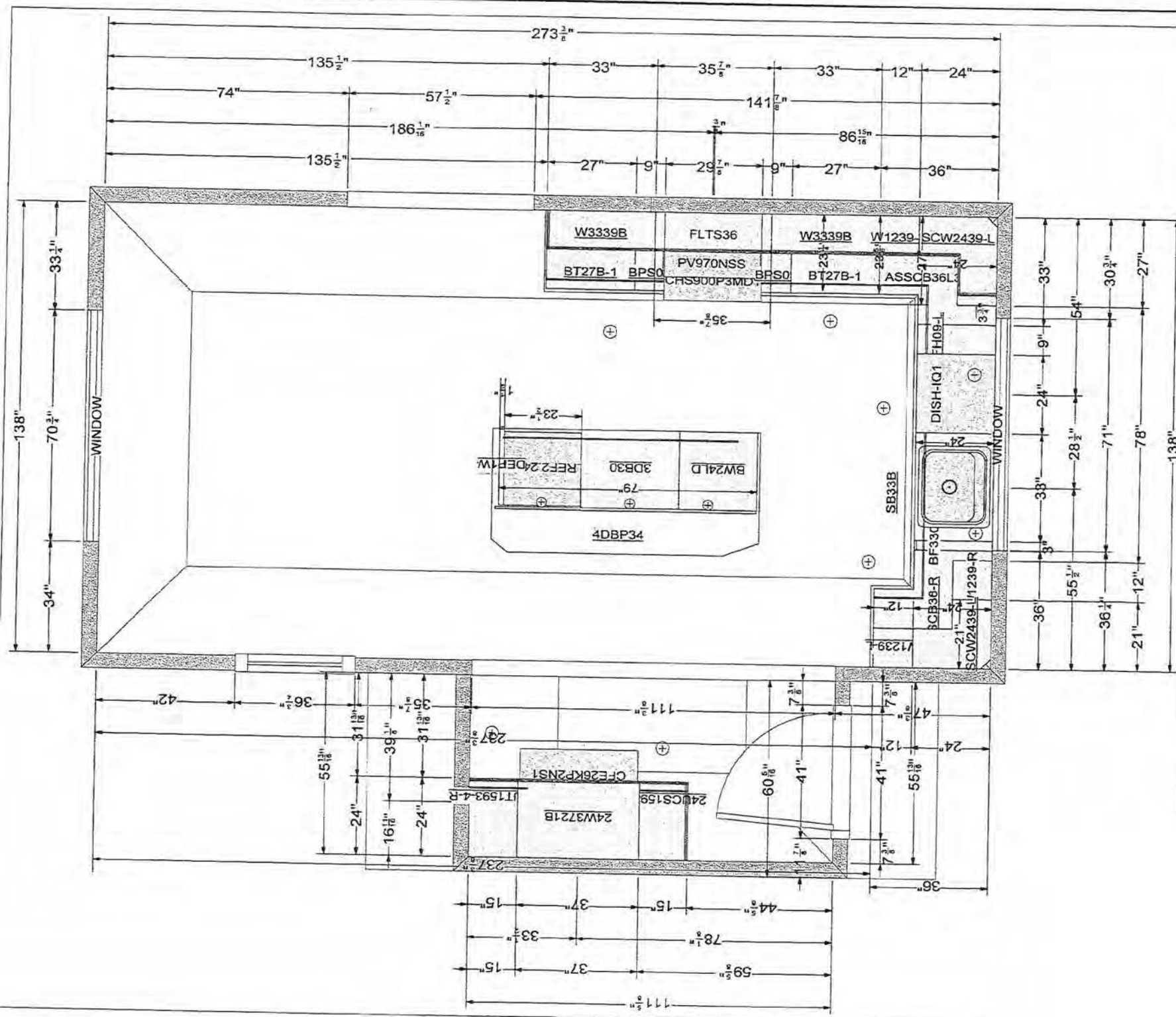
All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 7/11/2022  
Printed: 3/2/2023

Master bath



All dimensions - size designations given are subject to verification on job site and adjustment to fit job conditions.

**2020**

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 8/26/2022  
 Printed: 3/2/2023

Cottrell Kitchen YT walls removed v2 SOLD with final changes

All

Drawing #: I No Scale.





this window to be removed and filled, exterior to match existing cedar-shake

to be replaced with one window of same size as existing side by side window

new door to be installed here

to be replaced with "Bump-out" window, will be slightly wider and slightly shorter

this door to be removed and filled in, exterior to match existing cedar-shake



to be removed



new door location

to be removed



to be removed







interior of  
to be replaced w/ "bumpout" window  
that is slightly wider and slightly shorter

existing side by side to  
be replaced w/ one window  
that is same total size  
as existing

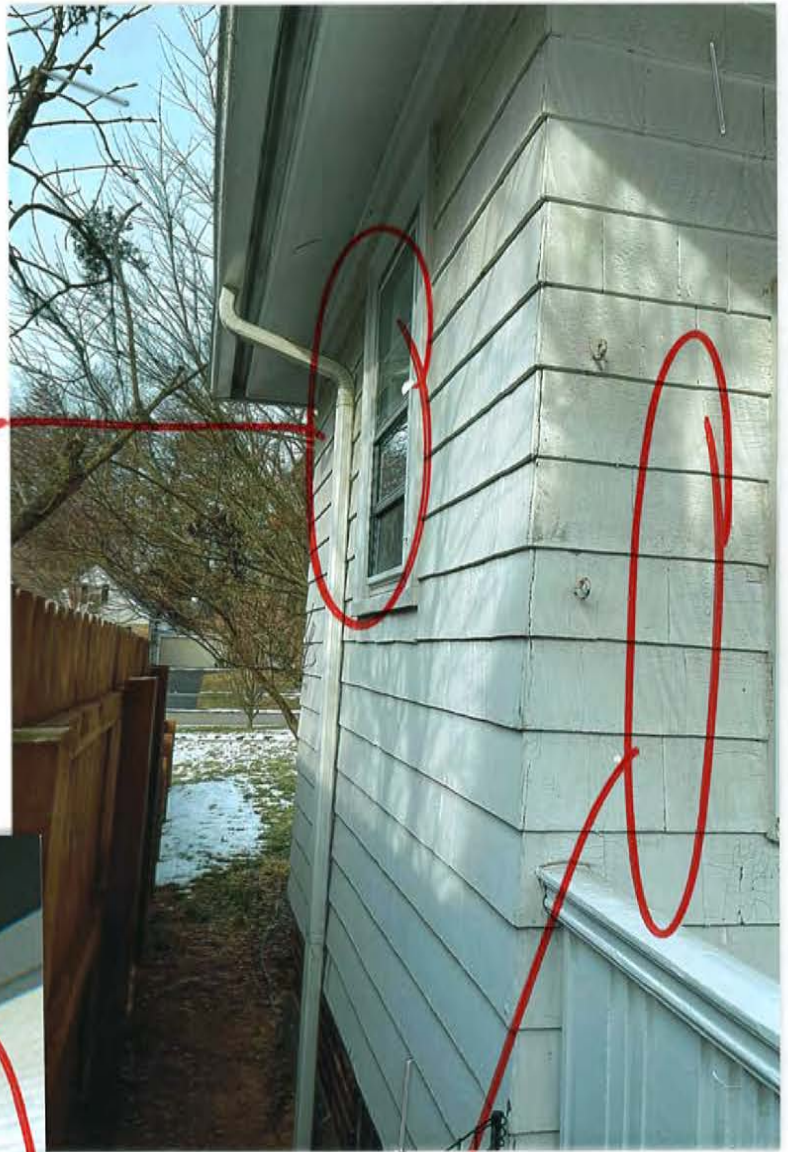


location of new  
door

exterior of existing  
window being replaced  
w/ bumpout detailed  
above



to be removed  
window



location of new door





Alternate view of windows to  
 be removed, filled in w/  
 cedar shake siding to match

to be removed window,  
 to be filled in, with  
 cedar shake siding  
 to match



to be removed windows,  
 to be filled in, with  
 cedar-shake siding to  
 match existing

Note: with new fence and when tree is  
 in bloom, neither of these windows  
 are visible from the street





to remove and be filled in

side by side window

non-load bearing wall to be removed

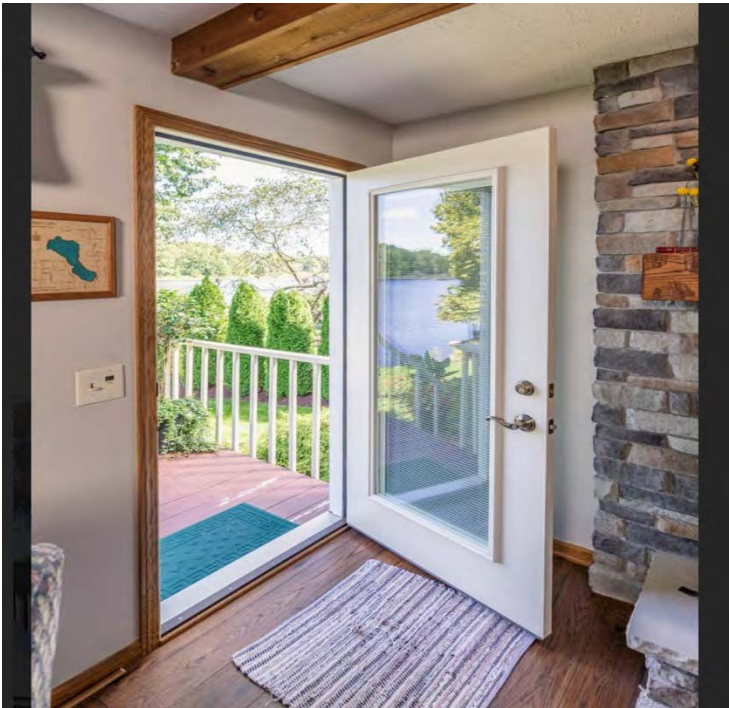
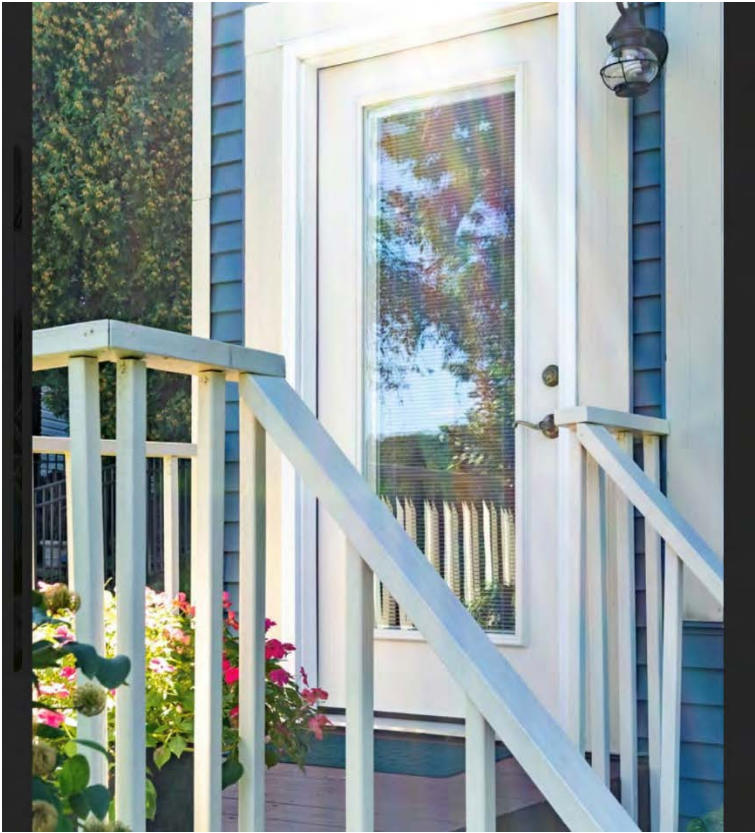
wall to be built here in enlarge master bathroom

Note: "side by side" window to be replaced w/ one window the same size of existing side by side



to be replaced w/ window of same size

Examples of New Door Style:









This is the style window that we are installing in the kitchen, except that the “lattice” or “grids” shown on this photo will not be on our window.



This is the style window that we are installing in the master/upstairs bathroom.



# Casement and Awning



## A better view for optimal performance

The Infinity Casement and Infinity Awning offer unlimited views with a slim profile and a sash that smoothly cranks open to invite the outdoors in. Our engineers optimized the design to tightly seal out wind and water for energy-efficient performance. Choose the Infinity Awning when you want to maximize light in a space that requires you to reach to open a window – especially over a kitchen sink.

Designed with Ultrex® fiberglass, the Infinity Casement and Awning feature multi-point locking systems and folding handles that tuck conveniently out of the way of most window treatments for a clean, finished look.



CASEMENT



AWNING

EASY WASH HINGE



CLEAR VIEW HINGE<sup>1</sup>



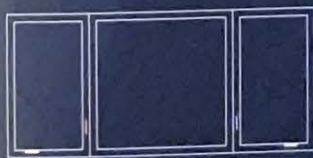
## Casement hinges

The standard Easy Wash® hinge is just that – a design that lets you easily clean the window both inside and out. The optional Clear View® hinge provides for an expanded viewing area.

## Multiple assembly & style options<sup>2</sup>



TWO-WIDE  
MULL



PICTURE UNIT  
MULL



PICTURE UNIT  
MULL



ROUND TOP  
MULL



SIMULATED  
CHECKRAIL

<sup>1</sup> Clear View hinge availability is based on window width.

<sup>2</sup> Available with matching picture window. Ask about additional assembly options for your home.

# Colors and Finishes



## Exterior

We use a proprietary acrylic finish on our Ultrex® fiberglass that's virtually impermeable to help protect your investment from wind, weather and color fading.



STONE WHITE



SIERRA



CASHMERE



PEBBLE GRAY



BRONZE



BAHAMA BROWN



EBONY



## Interior

We use the same acrylic finish on our interior as on our exterior for superior performance. Or choose our EverWood® option for the classic appeal of wood.



STONE WHITE



SIERRA <sup>1</sup>



EVERWOOD



BRONZE <sup>2</sup>



EBONY <sup>3</sup>

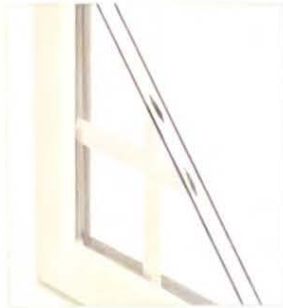
<sup>1</sup> Sierra interior is not available with Ebony exterior.  
<sup>2</sup> Bronze interior is only available with Bronze exterior.  
<sup>3</sup> Ebony interior is only available with Ebony exterior.

# Grilles and Divided Lites

SIMULATED  
DIVIDED LITES



GRILLES  
BETWEEN THE GLASS



## Simulated Divided Lites<sup>1</sup>

Our Simulated-Divided-Lite (SDL) bars are built with Ultrex® fiberglass. Permanently adhered in our factory to the outside surfaces of the glass, SDLs have a spacer bar between the panes of glass to offer the traditional look of divided lites.

## Grilles Between the Glass<sup>2</sup>

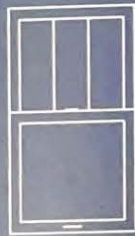
Located between the panes of insulating glass, Grilles-Between-the-Glass (GBG) combine easy cleaning with the timeless detail of a grille pattern.

## Patterns

We offer various divided lite patterns so you can replicate the look of your original windows and doors – or add new architectural interest to your home.<sup>3</sup>



STANDARD  
RECTANGULAR



RECTANGULAR  
ONE-HIGH



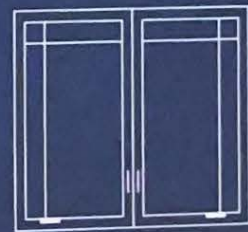
PRAIRIE  
SIX-LITE



PRAIRIE  
NINE-LITE



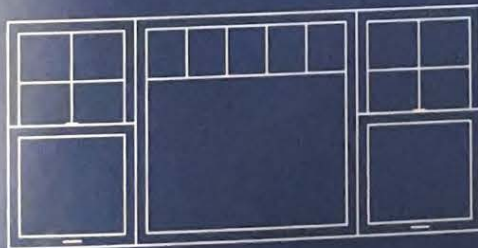
COTTAGE  
ONE-HIGH



PRAIRIE FOUR-LITE  
ONE-HIGH



PRAIRIE  
SIX-LITE



STANDARD  
RECTANGULAR

COTTAGE  
ONE-HIGH

STANDARD  
RECTANGULAR



OPEN  
HUB SUNBURST



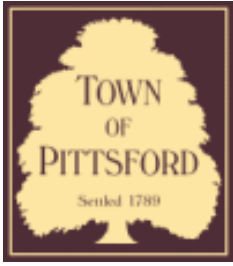
CLOSED  
HUB SUNBURST

<sup>1</sup> Infinity SDL bars are color-matched to your window or door's interior and exterior.

<sup>2</sup> Infinity GBGs are color-matched to your window or door's interior and exterior. EverWood® interior finish is paired with Satin Taupe GBGs.

<sup>3</sup> Ask about additional patterns and style options.





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000026**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 6 Black Wood Circle PITTSFORD, NY 14534

**Tax ID Number:** 178.03-5-28

**Zoning District:** IZ Incentive Zoning

**Owner:** Wilshire Hill LLC

**Applicant:** Pride Mark Homes

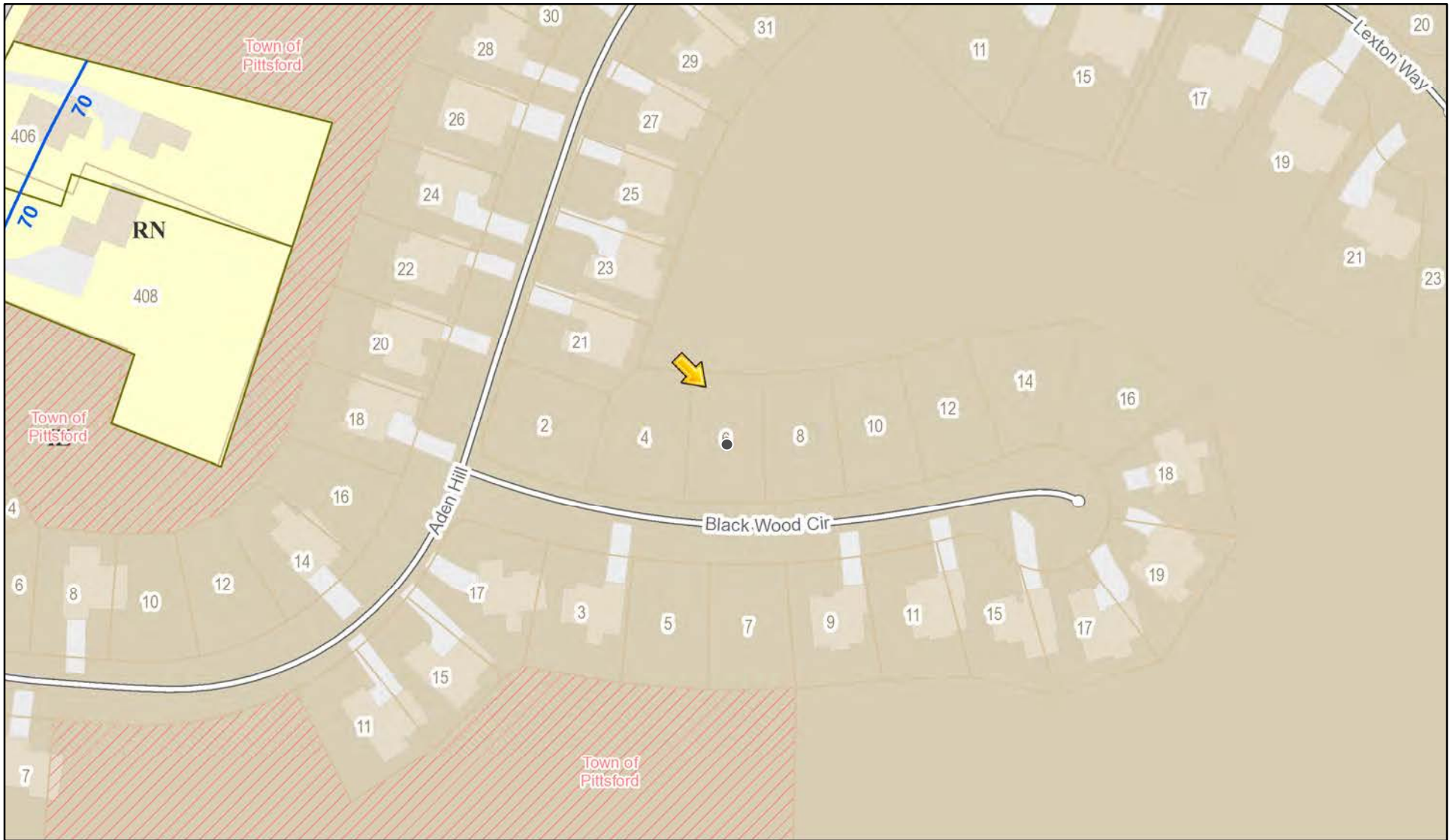
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

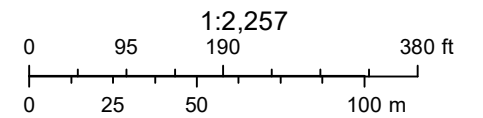
**Project Description:** Applicant is requesting design review for the construction of an approximately 2036 SF new single story family home in the Wilshire Hill subdivision

**Meeting Date:** March 23, 2023

# RN Residential Neighborhood Zoning



Printed March 7, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

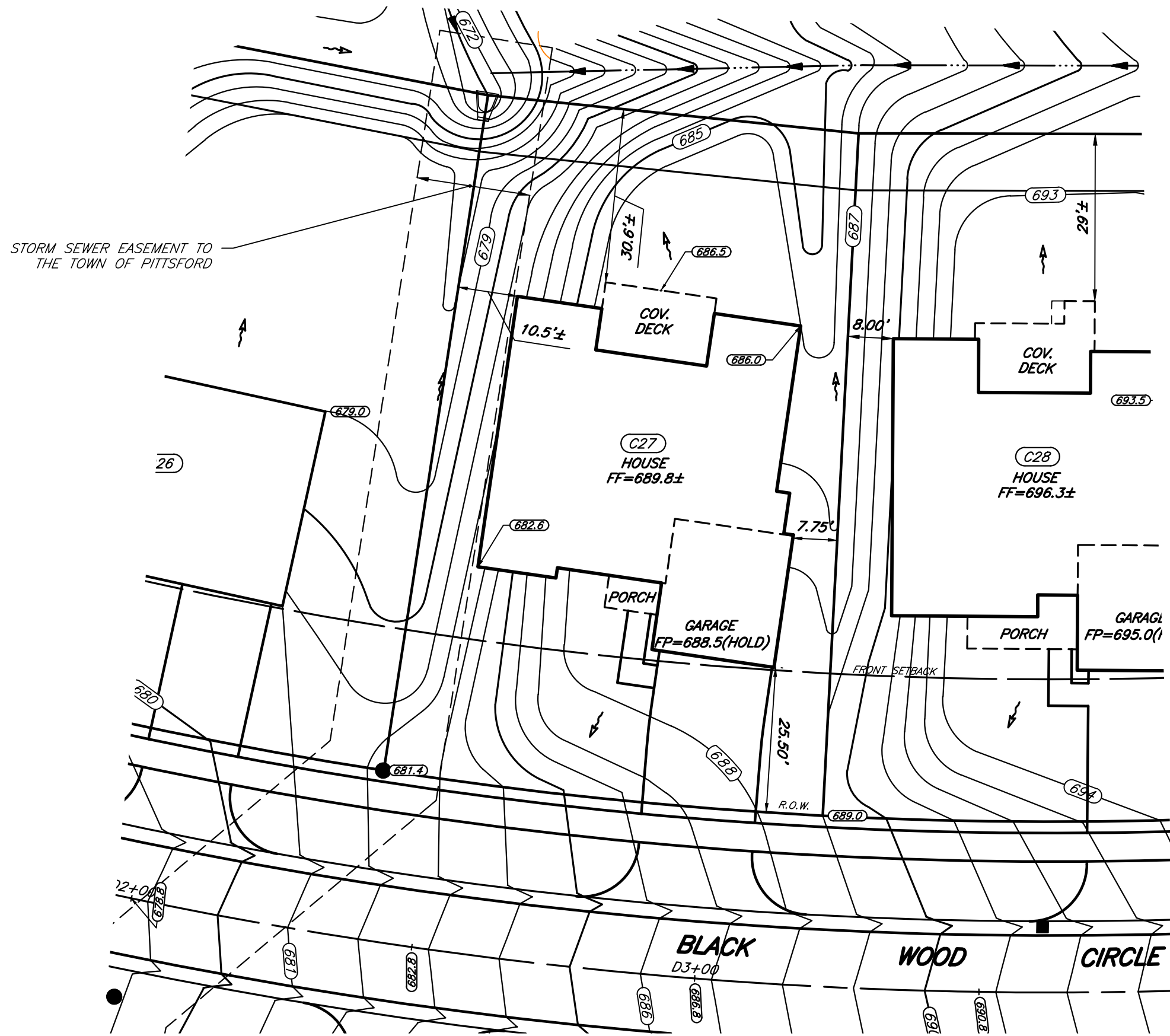




04/03/2021 - 04/06/2021



File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C27\LOT C27.dwg, Plot Date: 2/27/2023, By: RICHARD TIEDE



TITLE:

**PLOT PLAN - LOT C27**

**WILSHIRE HILL - SECTION 3**

TOWN OF PITTSFORD MONROE COUNTY NEW YORK



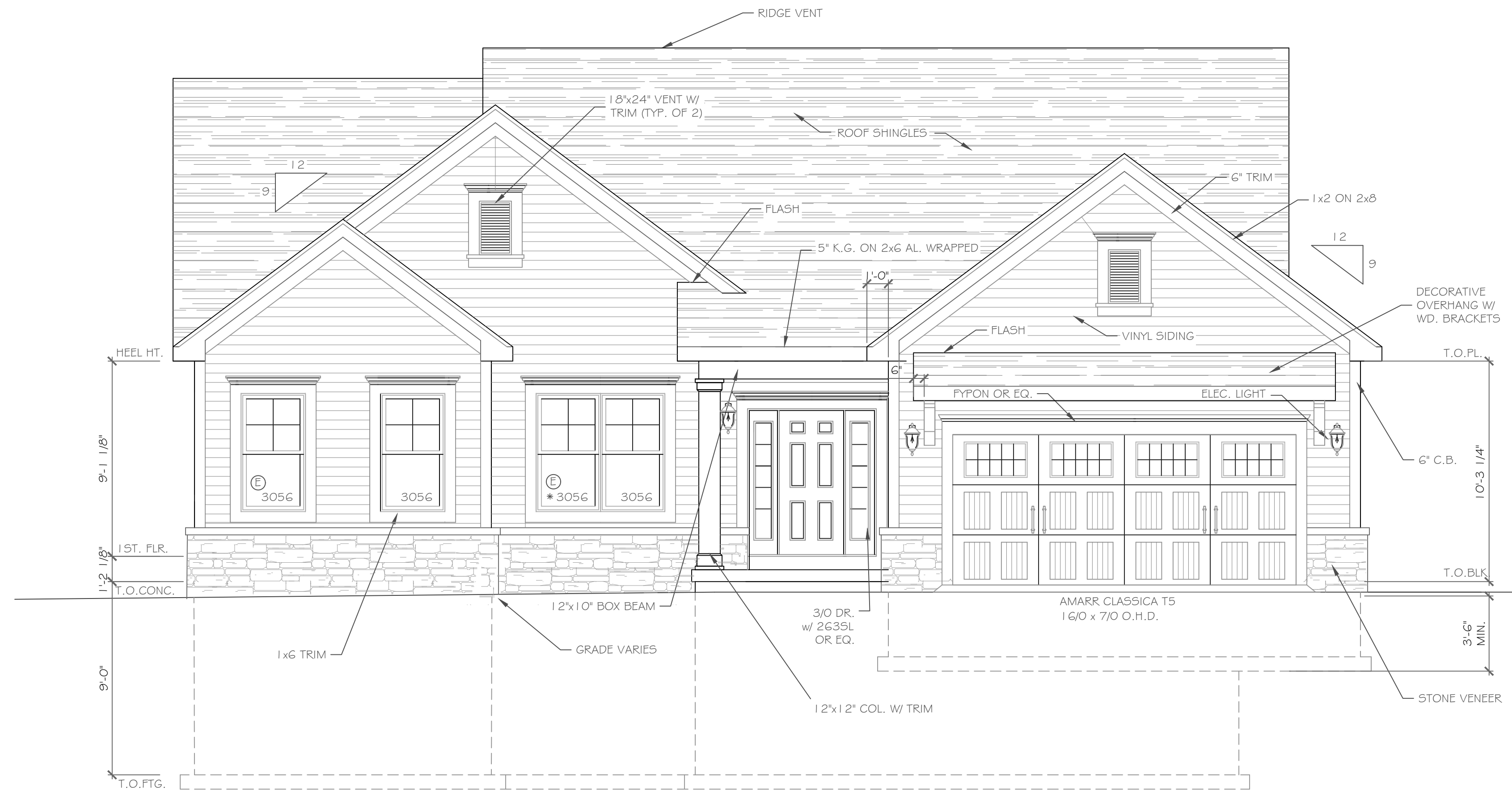
JOB NO: 0423-17  
 SCALE: 1" = 20'  
 DRAWN: RJT  
 DESIGNED: RJT  
 DATE: 2/27/23

SETBACK	REQUIRED	PROVIDED
FRONT	25'	25.50'
SIDE	7.5'	7.75'
REAR	10'	30.6'±

# DESIGN CRITERIA:

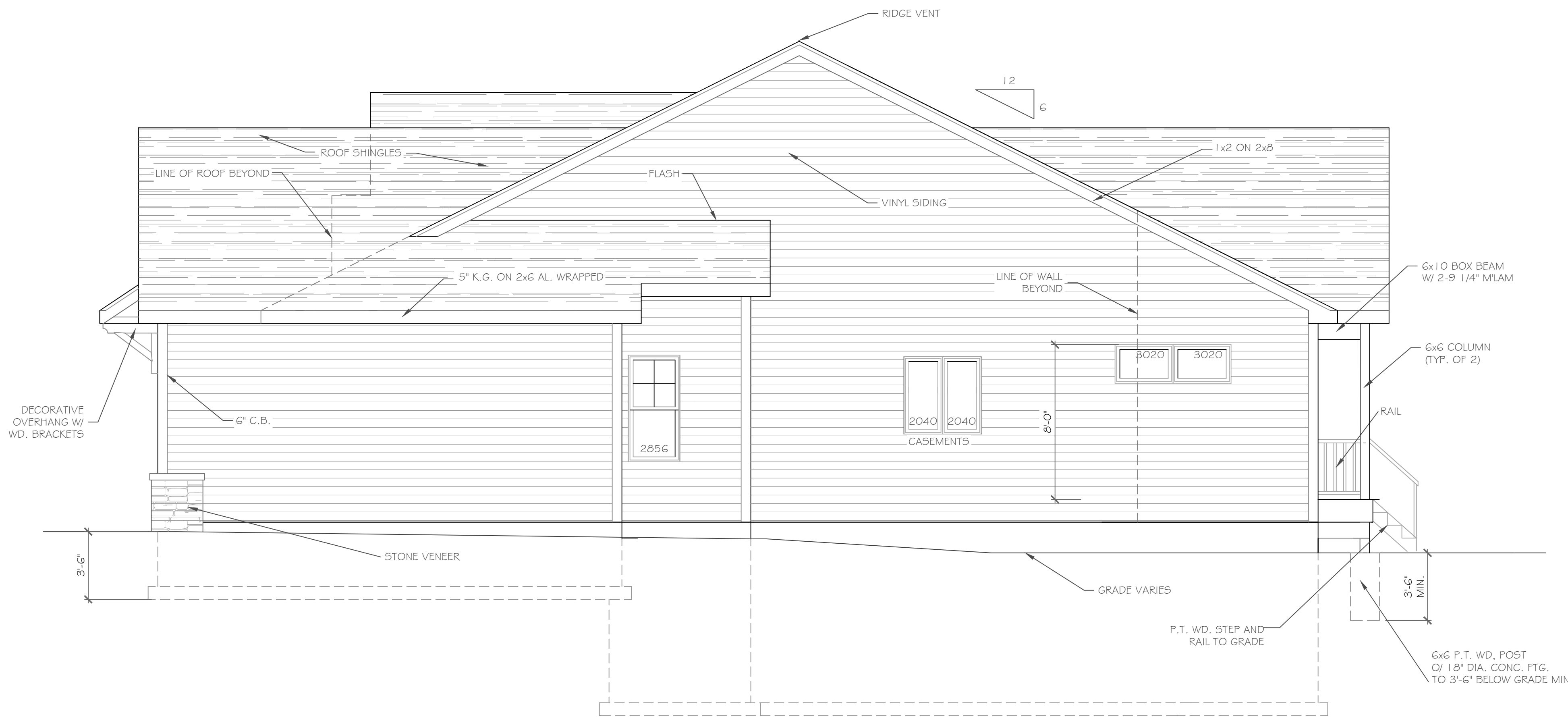
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2036 S.F.

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
 - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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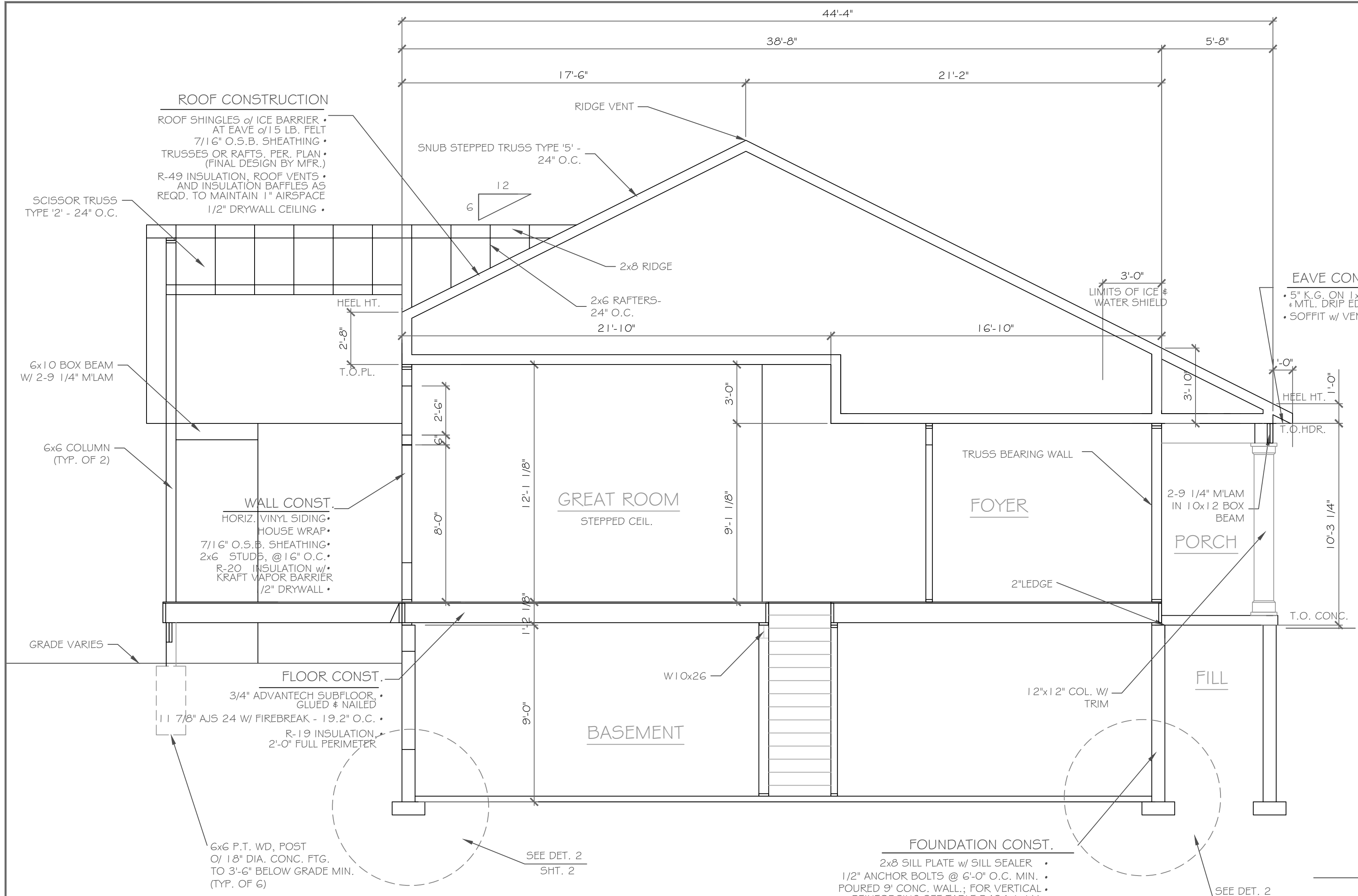
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: <b>Elevations</b>	PHASE: Construction Documents
	DATE: February 27, 2023

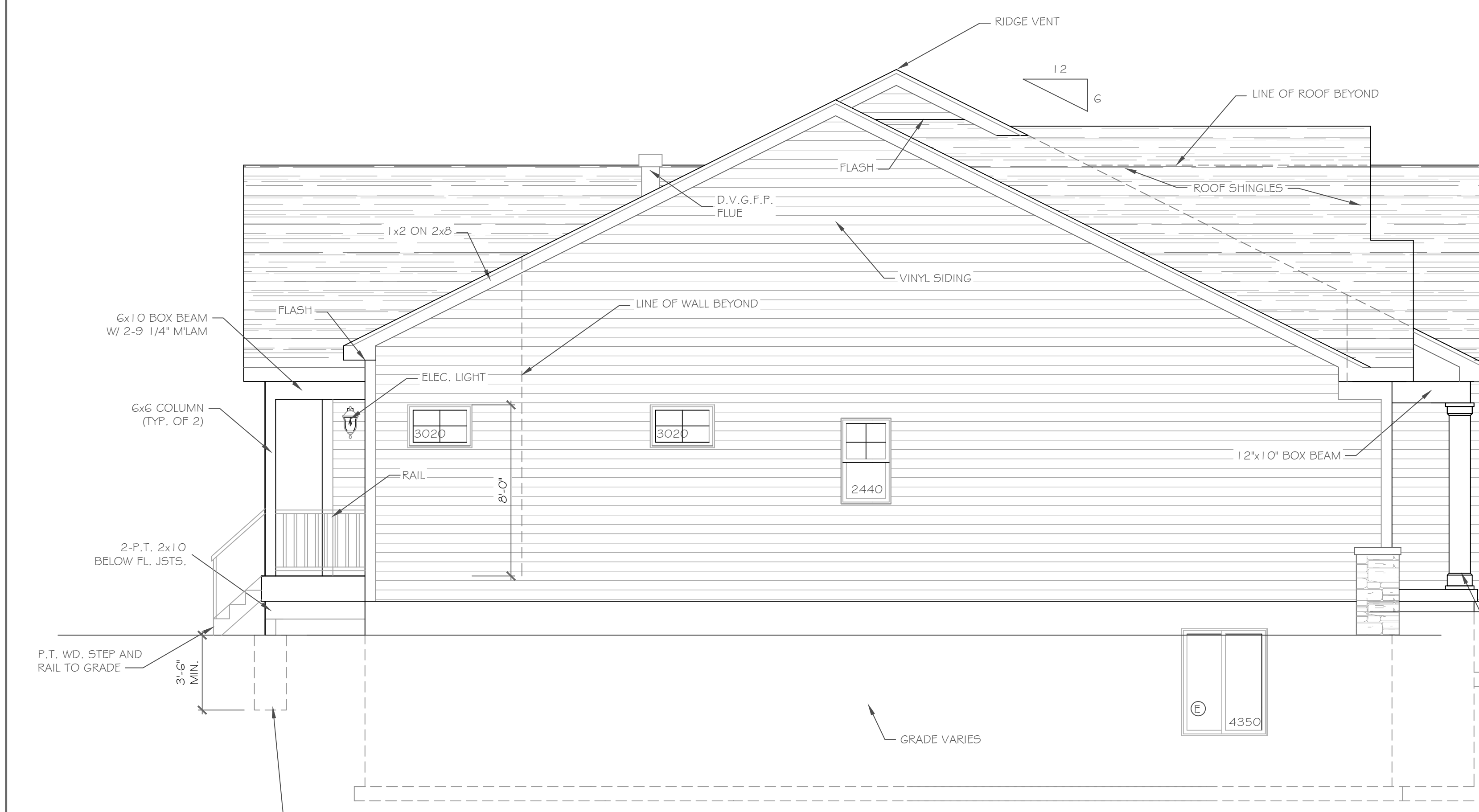
PROJECT: Lot 27C Wishire Hill Pittsford, New York	CLIENT: Pride Mark Homes, Inc.
JOB NO. - A23-007	DATE: February 27, 2023

**CKH**  
 architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontier.net

DRAWING NO. -  
**A-1**



**A CROSS SECTION**  
1/4" = 1'-0"



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**REVISIONS-**

NO.	DATE	DESCRIPTION

**DRAWING TITLE-**  
Elevations

**PHASE-**  
Construction Documents

**PROJECT-**  
Lot 27C Wishire Hill  
Pittsford, New York

**CLIENT-**  
Pride Mark Homes, Inc.

**DATE-**  
February 27, 2023

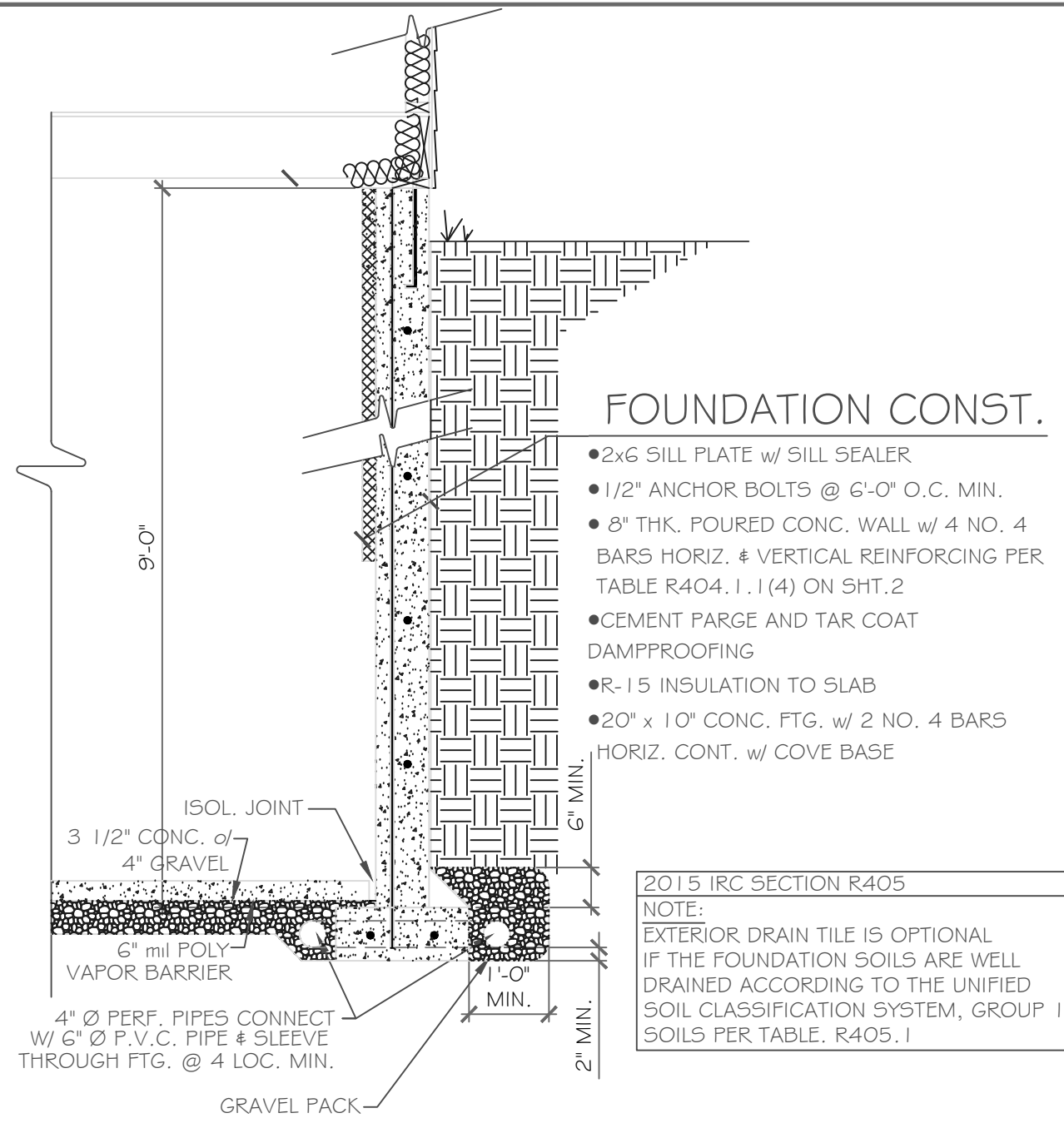
**JOB NO. -**  
A23-007

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architecture

1501 Pittsford Victor Road  
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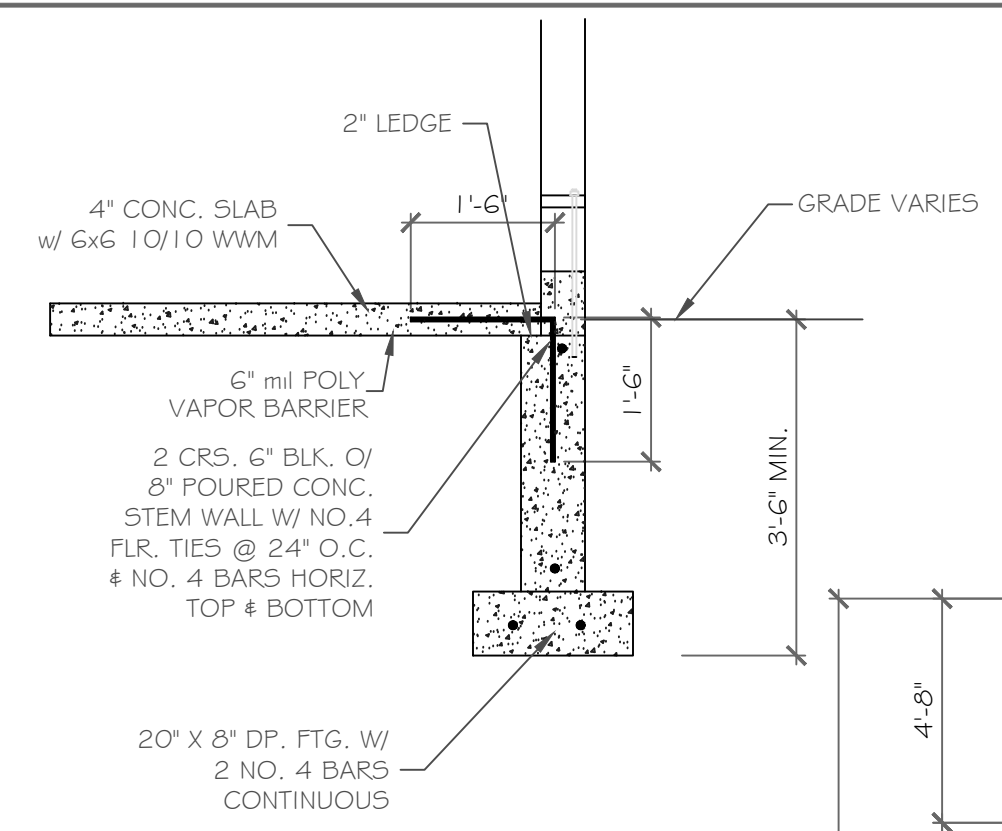
**DRAWING NO. -**  
A-5





**FOUNDATION CONST.**

- 2x6 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- 8" THK. POURED CONC. WALL w/ 4 NO. 4 BARS HORIZ. & VERTICAL REINFORCING PER TABLE R404.1.1 (4) ON SHT. 2
- CEMENT FARGE AND TAR COAT DAMPPROOFING
- R-15 INSULATION TO SLAB
- 20" x 10" CONC. FTG. w/ 2 NO. 4 BARS HORIZ. CONT. w/ COVE BASE

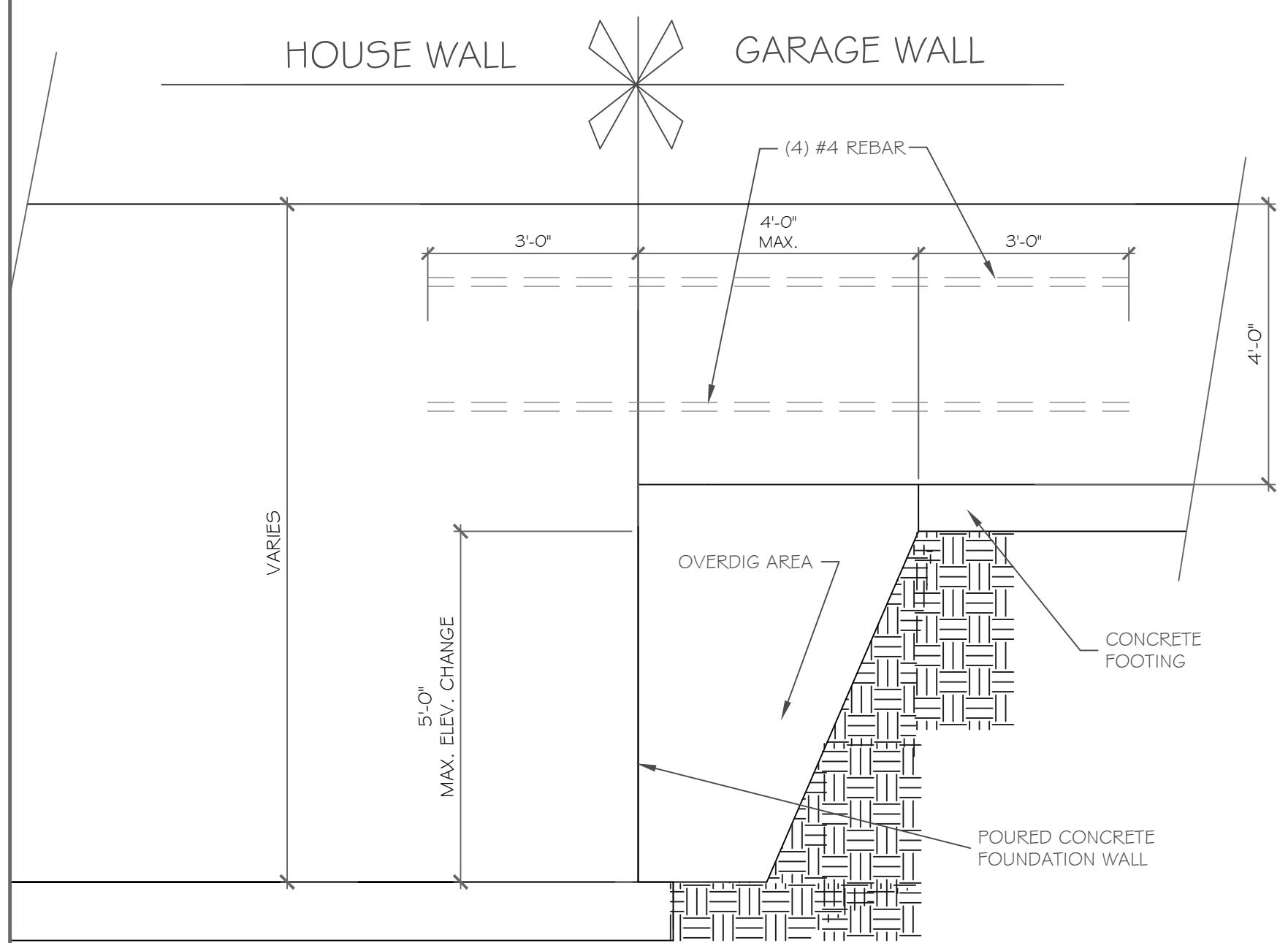


**GARAGE WALL DETAIL**

SCALE: 1/2" = 1'-0"

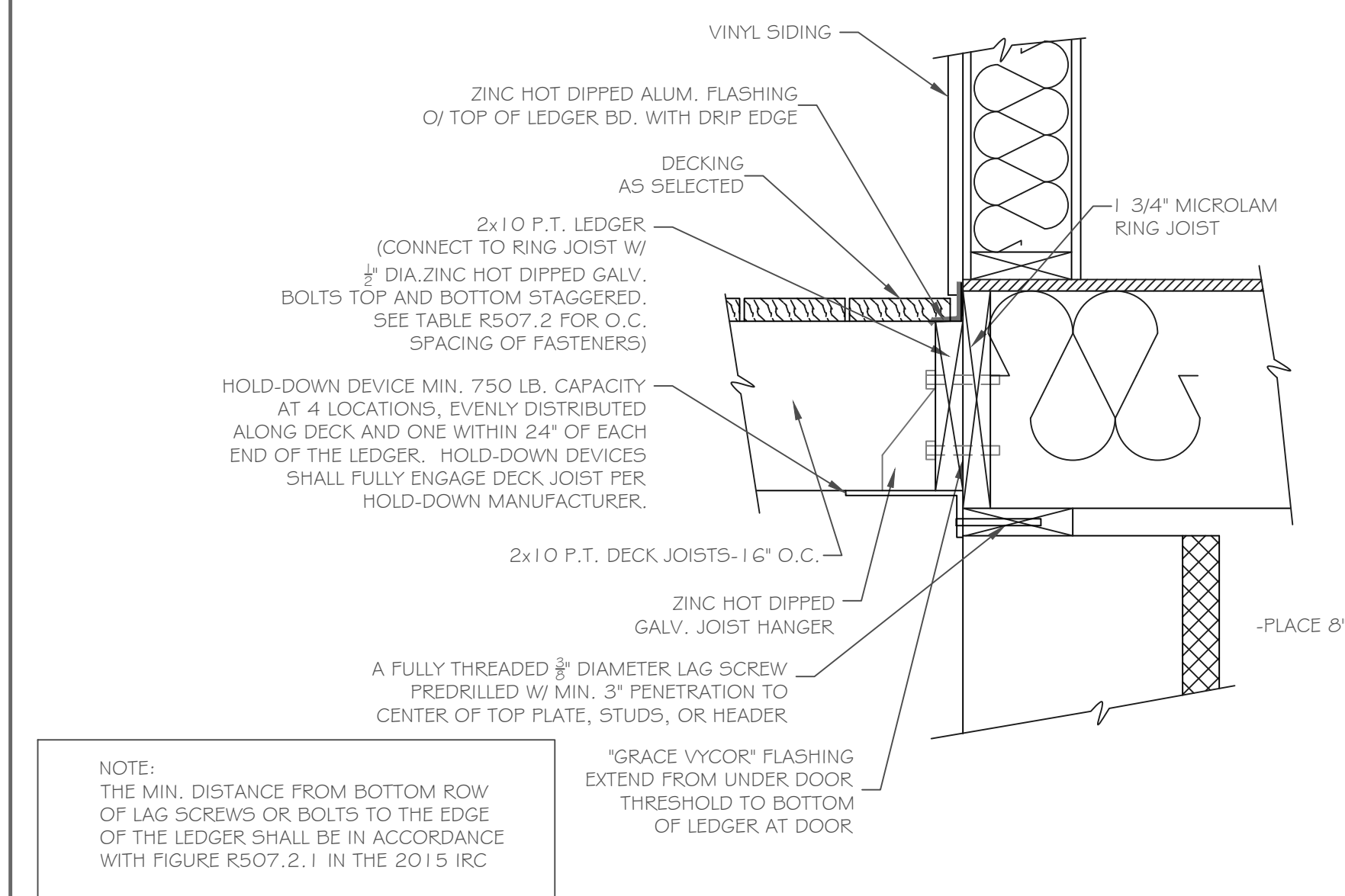
**TYPICAL POURED WALL DETAILS**

SCALE: 1/2" = 1'-0"



**POURED WALL JUMP FOOTING DETAIL**

SCALE: 1/2" = 1'-0"



**DECK CONNECTION TO DWELLING**

SCALE: 1/2" = 1'-0"

**BASEMENT & FOUNDATION PLAN**

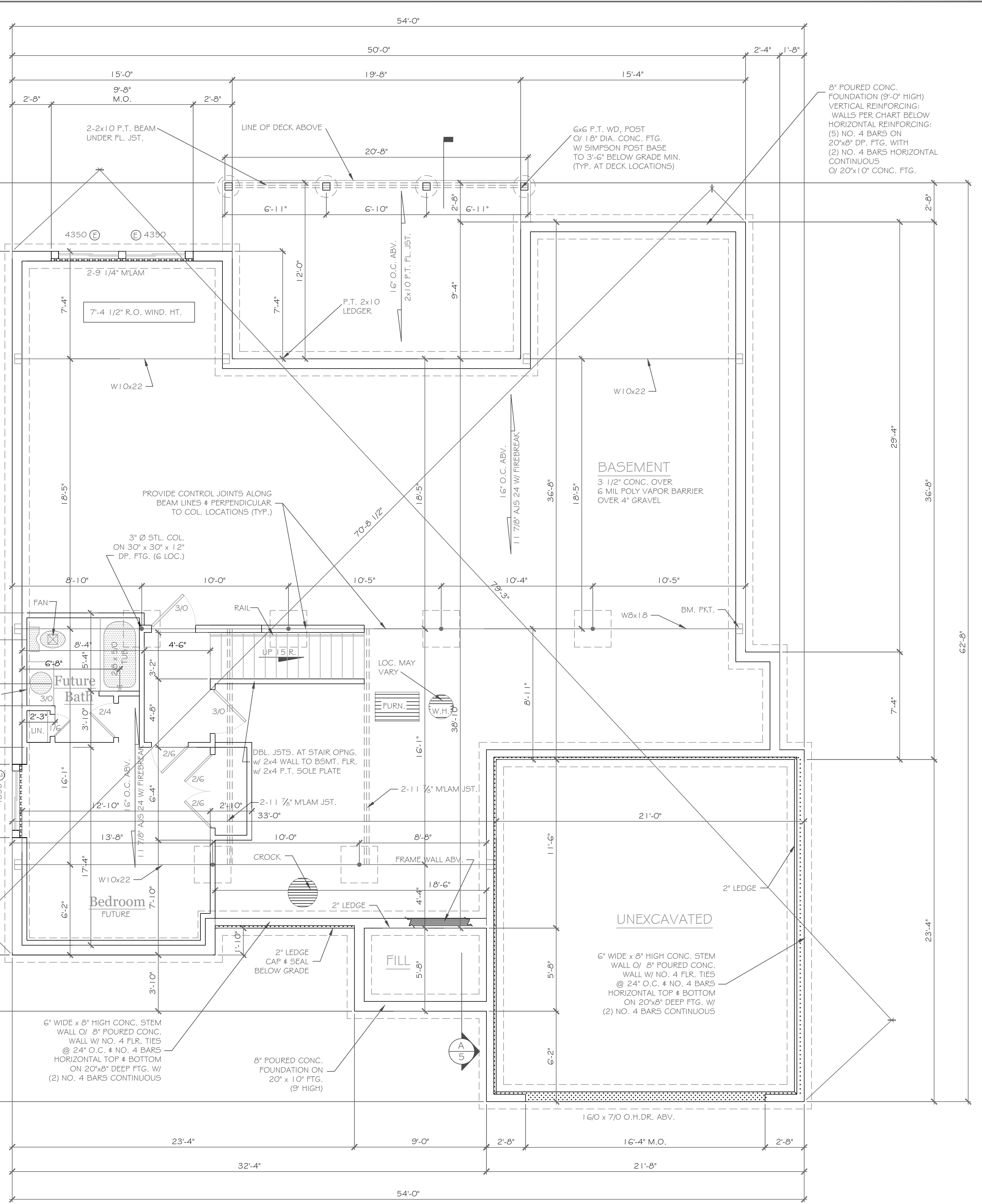
1/4" = 1'-0"

NOTE: PROVIDE FROST FTG. BELOW DOORS AND WINDOWS

PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. BLK. LEGEND:**

[Symbol]	ELEV. = 0"
[Symbol]	ELEV. = (-) 8"
[Symbol]	ELEV. = (-) 6'-8"



**PARTIAL TABLE R404.1.2(b)**  
NOMINAL FLAT BASEMENT WALLS (p,c,d,e,f,h,i,k,n,o.)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(a) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING(INCHES)			
		Soil classes(g) & design lateral soil (psf per foot of depth)	Soil classes(g) & design lateral soil (psf per foot of depth)	Soil classes(g) & design lateral soil (psf per foot of depth)	Soil classes(g) & design lateral soil (psf per foot of depth)
9	4	GW, GP, SW and SP 30 soils	GM, GC, SM, SM-5C and ML 45 soils	SH, ML, CL and inorganic CL 60 soils	NR
	5	NR	NR	NR	NR
	6	NR (i)	NR	NR	#6 at 39" o.c.
	7	NR	#5 at 37" o.c.	#6 at 38" o.c.	#6 at 38" o.c.
8	8	#5 at 41" o.c.	#6 at 38" o.c.	#6 at 29" o.c.	#6 at 29" o.c.
	9	#6 at 46" o.c.	#6 at 30" o.c.	#6 at 23" o.c.	#6 at 23" o.c.

- b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi
- c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(9).
- d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
- e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
- f. Interpolation is not permitted.
- g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 1.0 percent of the wall thickness or 3/8".
- h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
- i. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote l or m.
- l. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
- n. See Table R603.3 for tolerance from nominal thickness permitted for flat walls.
- o. The use of this Table shall be prohibited for soil classifications not shown.

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**REVISIONS:**

NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
Basement & Foundation Plan

**PROJECT:**  
Lot 27C Wishire Hill  
Pittsford, New York

**CLIENT:**  
Pride Mark Homes, Inc.

**PHASE:**  
Construction Documents

**DATE:**  
February 27, 2023

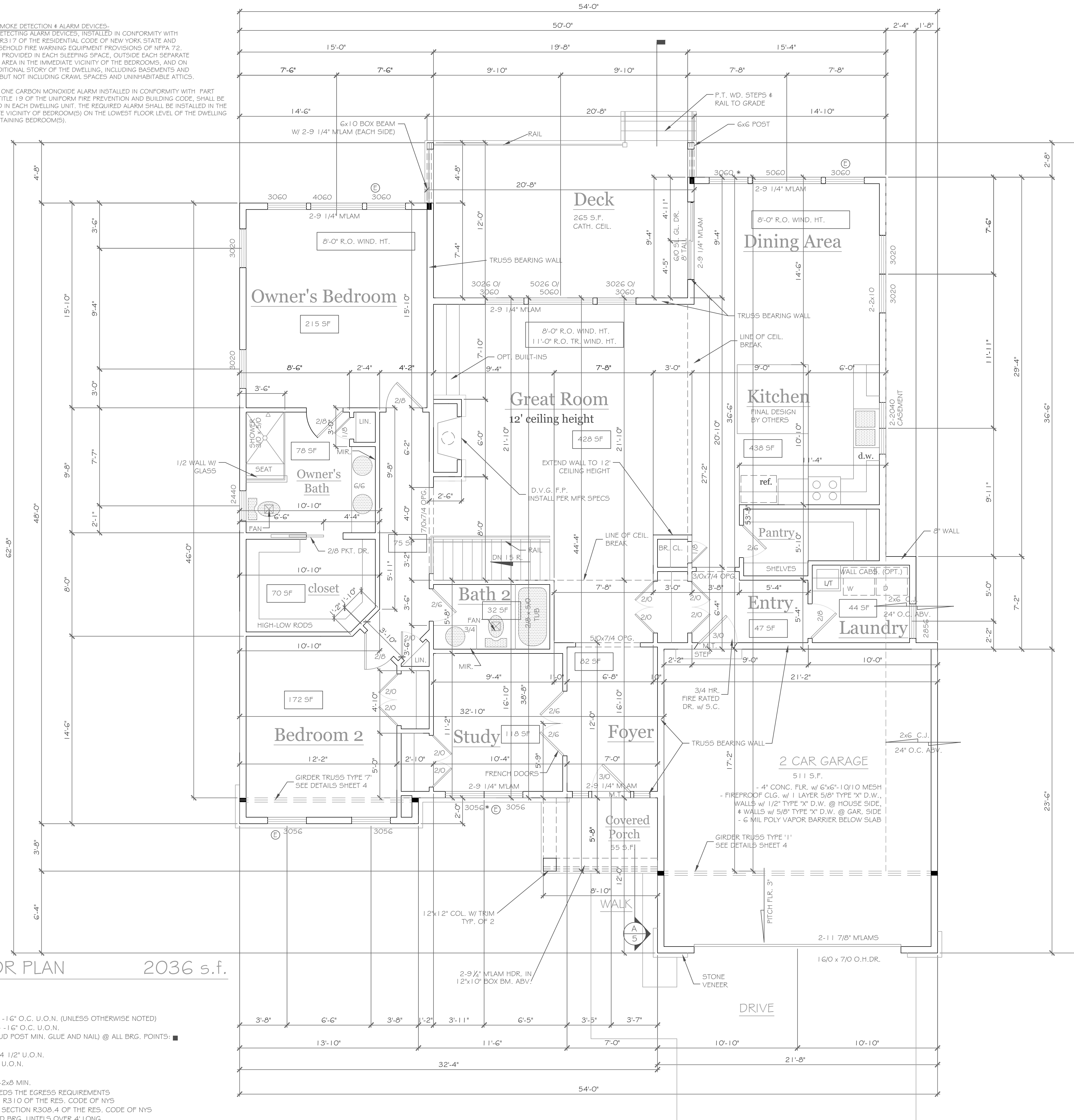
**JOB NO.:**  
A23-007

**CKH architecture**  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frontiernet.net

**DRAWING NO.:**  
A-2

NOTES: SMOKE DETECTION & ALARM DEVICES-  
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).



FIRST FLOOR PLAN 2036 s.f.

1/4" = 1'-0"

NOTES:  
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)  
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.  
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS:  
APPLIANCES PER CONTRACT  
WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.  
CEILING HTS. TO BE 9'-1" 1/8" U.O.N.  
ANGLES TO BE 12/12 U.O.N.  
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.  
Ⓢ - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
\* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS  
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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REVISIONS- NO.	DATE	DESCRIPTION

DRAWING TITLE-  
**First Floor Plan**

PHASE-  
Construction Documents

PROJECT-  
Lot 27C Wlshire Hill  
Pittsford, New York

CLIENT-  
Pride Mark Homes, Inc.

JOB NO.-  
A23-007

DATE-  
February 27, 2023

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phone: (585) 249-1334  
e-mail: CKHennessey@frontier.net

DRAWING NO.-  
**A-3**

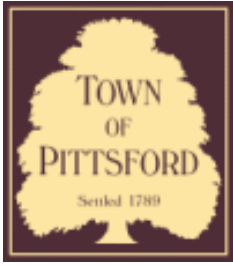




15 BLACKWOOD CIRCLE







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000037**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 10 Aden Hill PITTSFORD, NY 14534

**Tax ID Number:** 178.03-4-56

**Zoning District:** IZ Incentive Zoning

**Owner:** Wilshire Hill LLC

**Applicant:** Pride Mark Homes

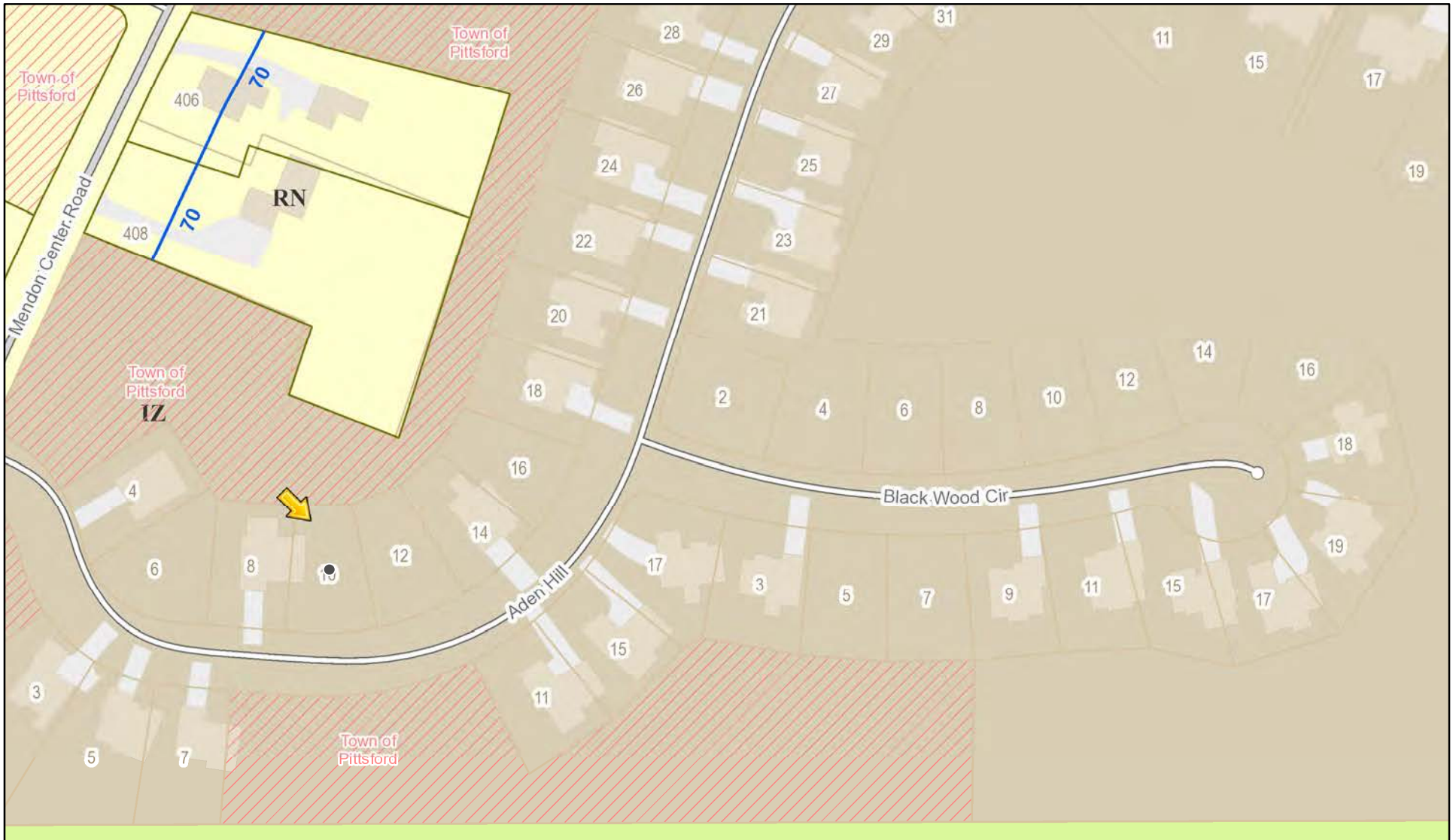
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

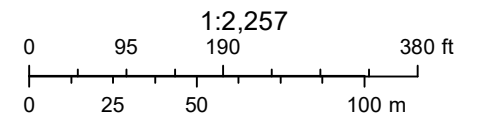
**Project Description:** Applicant is requesting design review for the construction of an approximately 2040 SF new single story family home in the Wilshire Hill subdivision

**Meeting Date:** March 23, 2023

# RN Residential Neighborhood Zoning



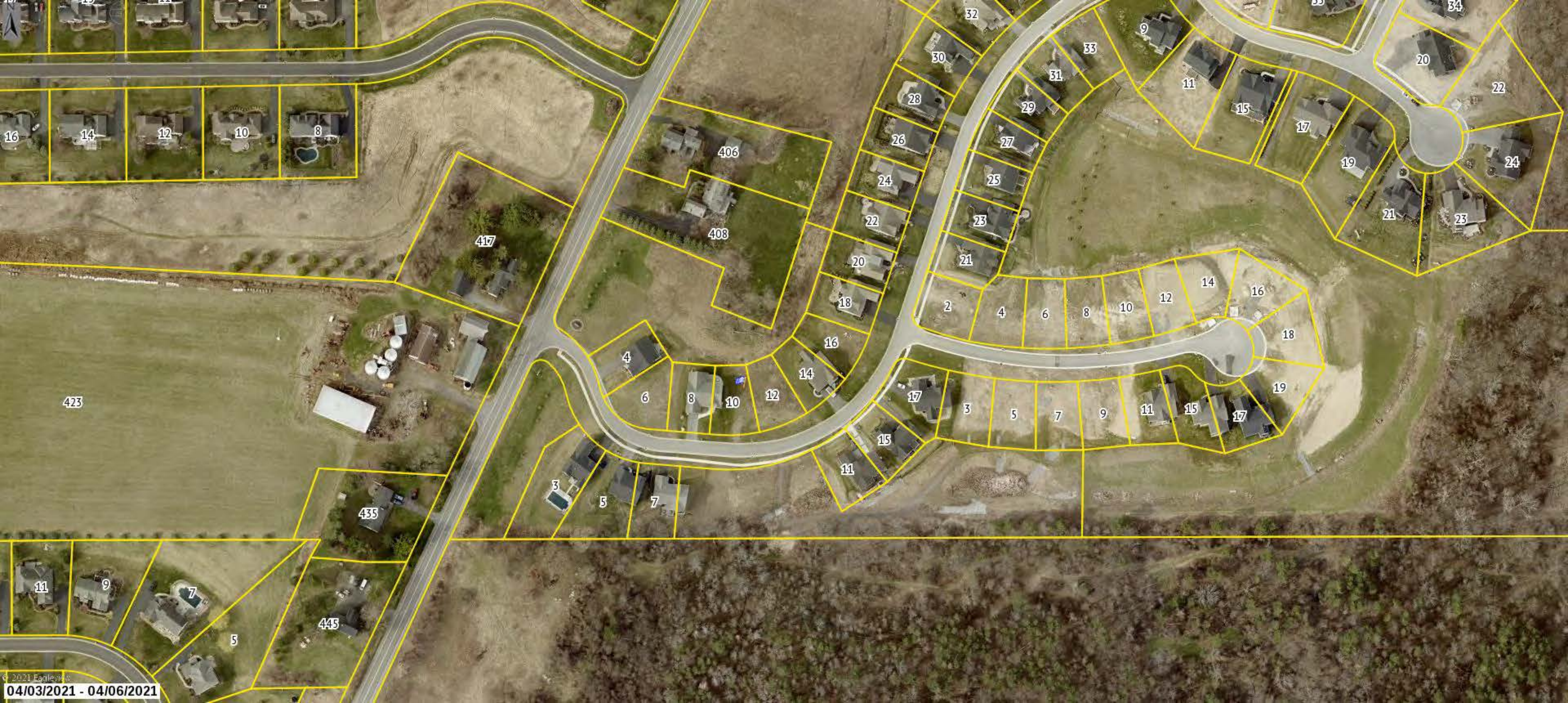
Printed March 16, 2023



Town of Pittsford GIS

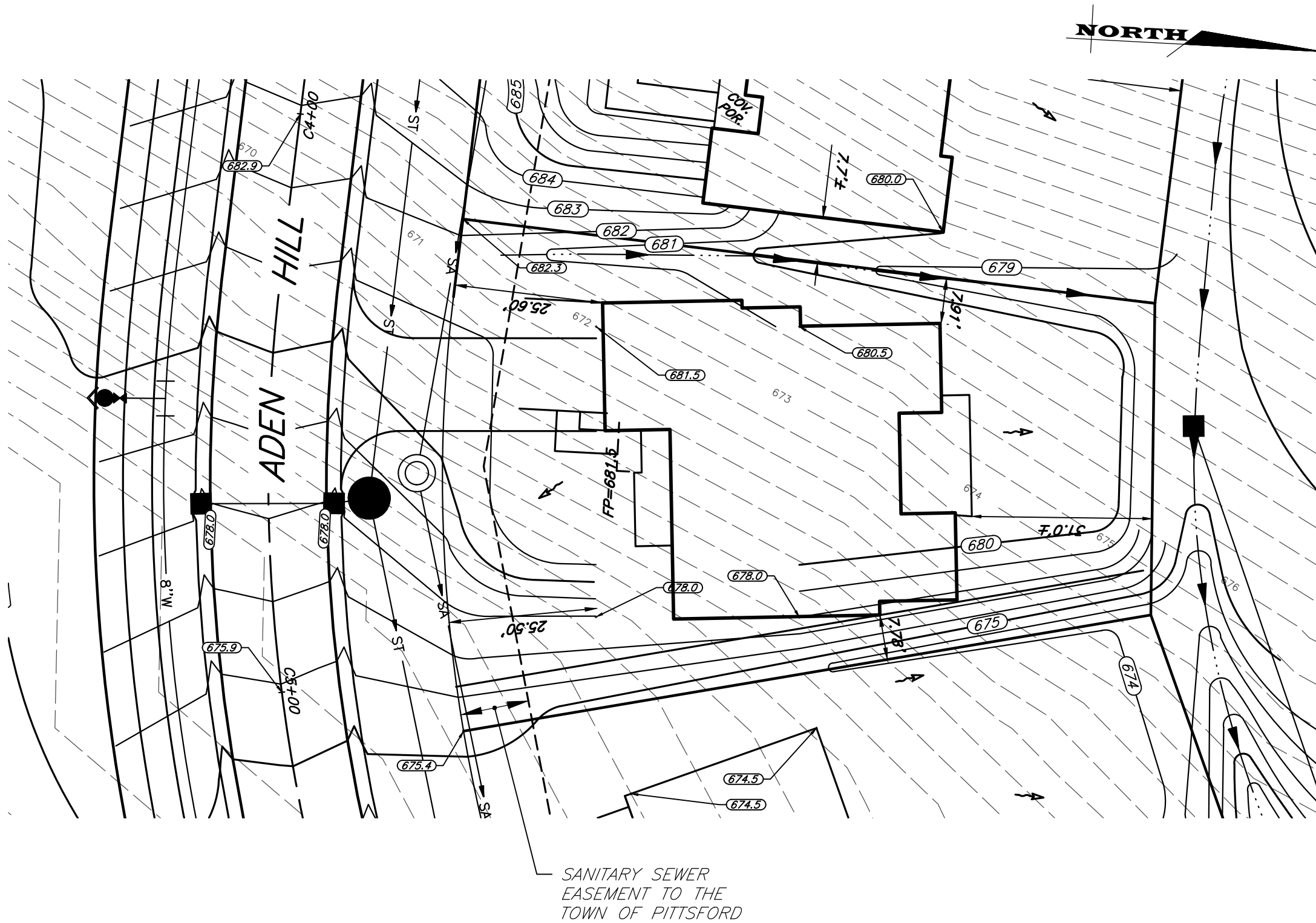
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File: Z:\Engineering\Job Files\0423-12\Drawings\Section 2\Plot plans\Lot C4\LOT C4.dwg, Plot Date: 3/2/2023, By: RTEDE



JOB NO: 0423-13  
SCALE: 1" = 20'  
DRAWN: RJT  
DESIGNED: RJT  
DATE: 4/26/22  
REVISED:

SETBACK	REQUIRED	PROVIDED
FRONT	25'	TBD
SIDE	7.5'	TBD
REAR	20'	TBD

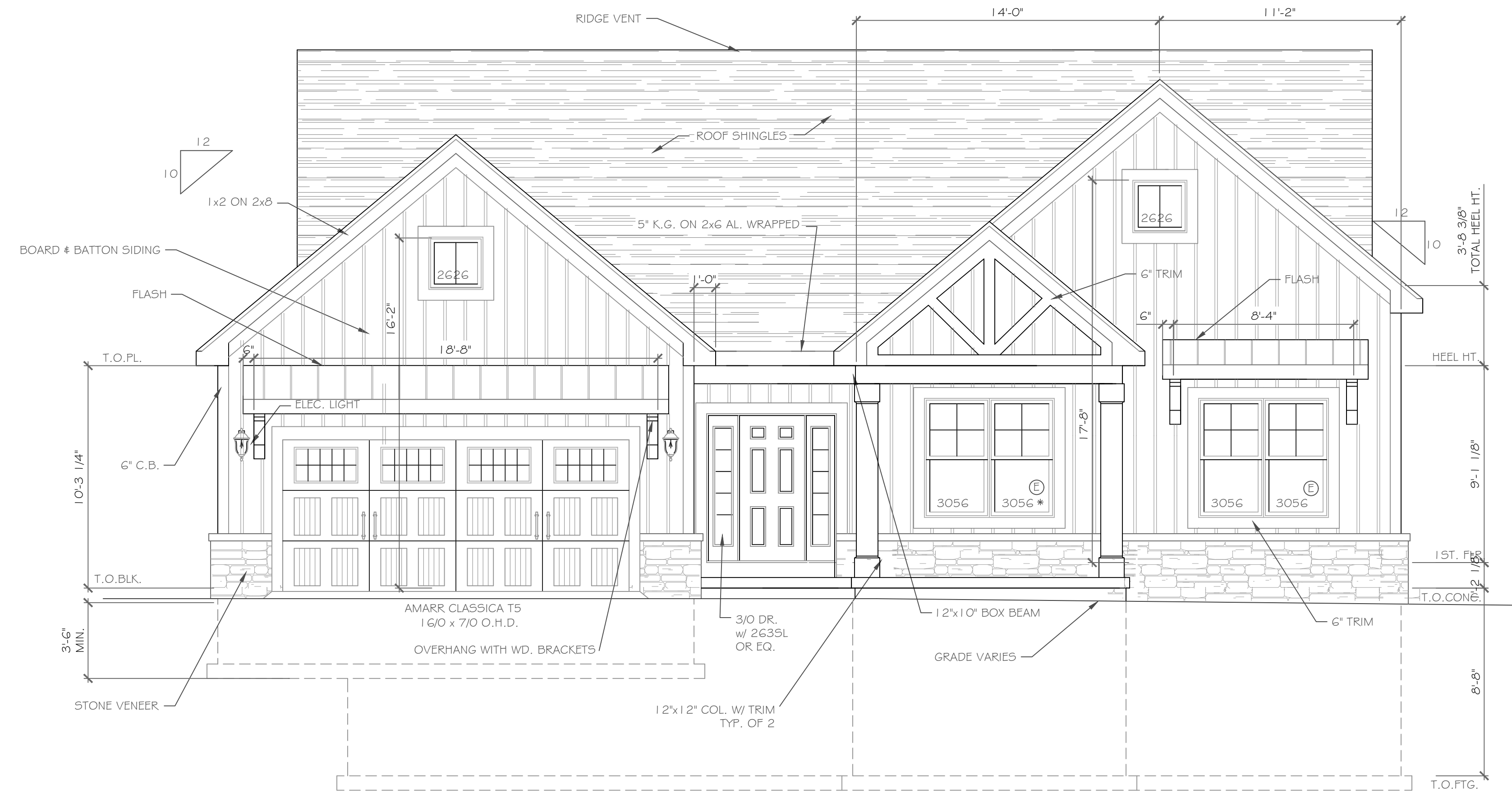
TITLE:

**PLOT PLAN - LOT C4  
WILSHIRE HILL - SECTION 2**

# DESIGN CRITERIA:

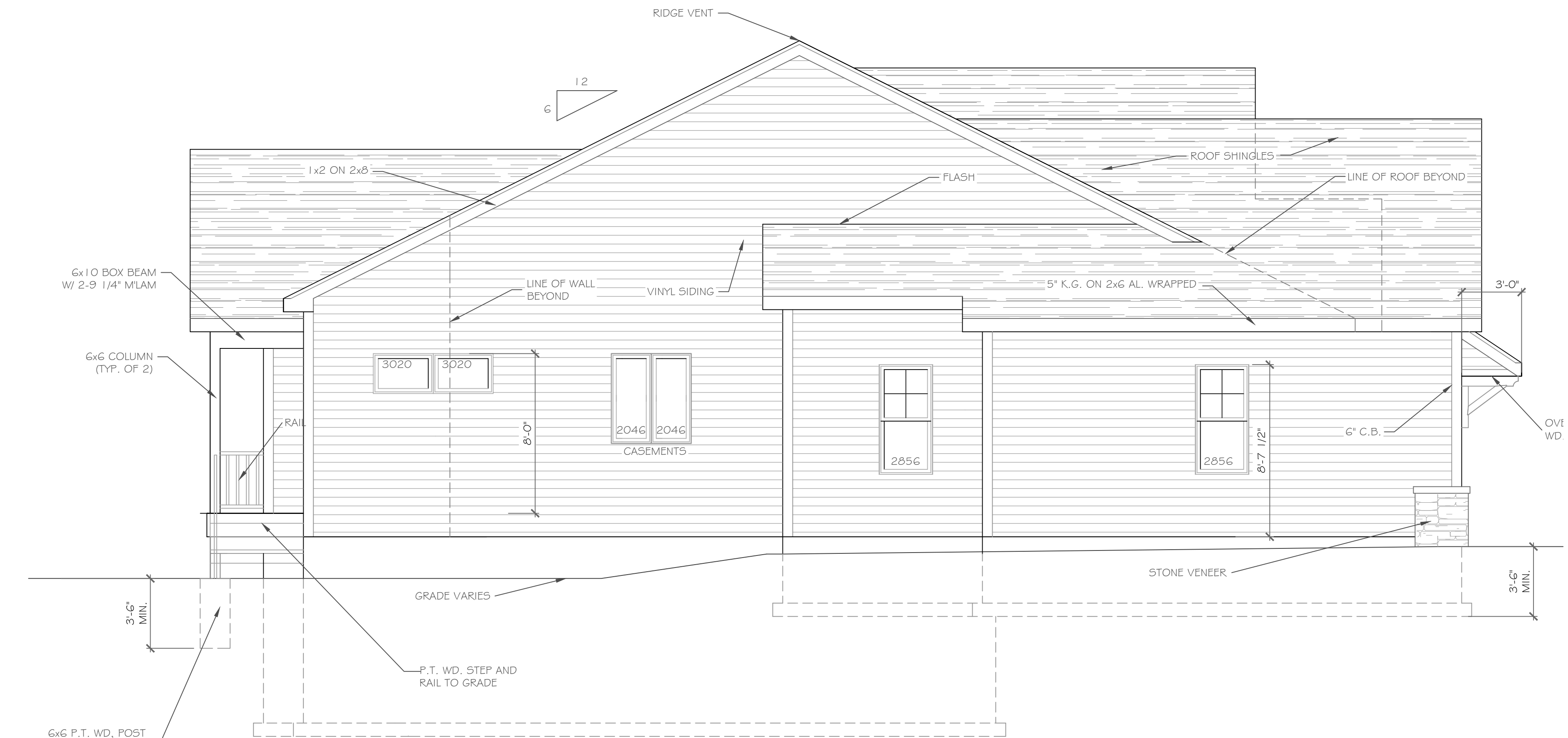
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2040 S.F.

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS  
 PER SECTION R310 OF THE RES. CODE OF NYS  
 - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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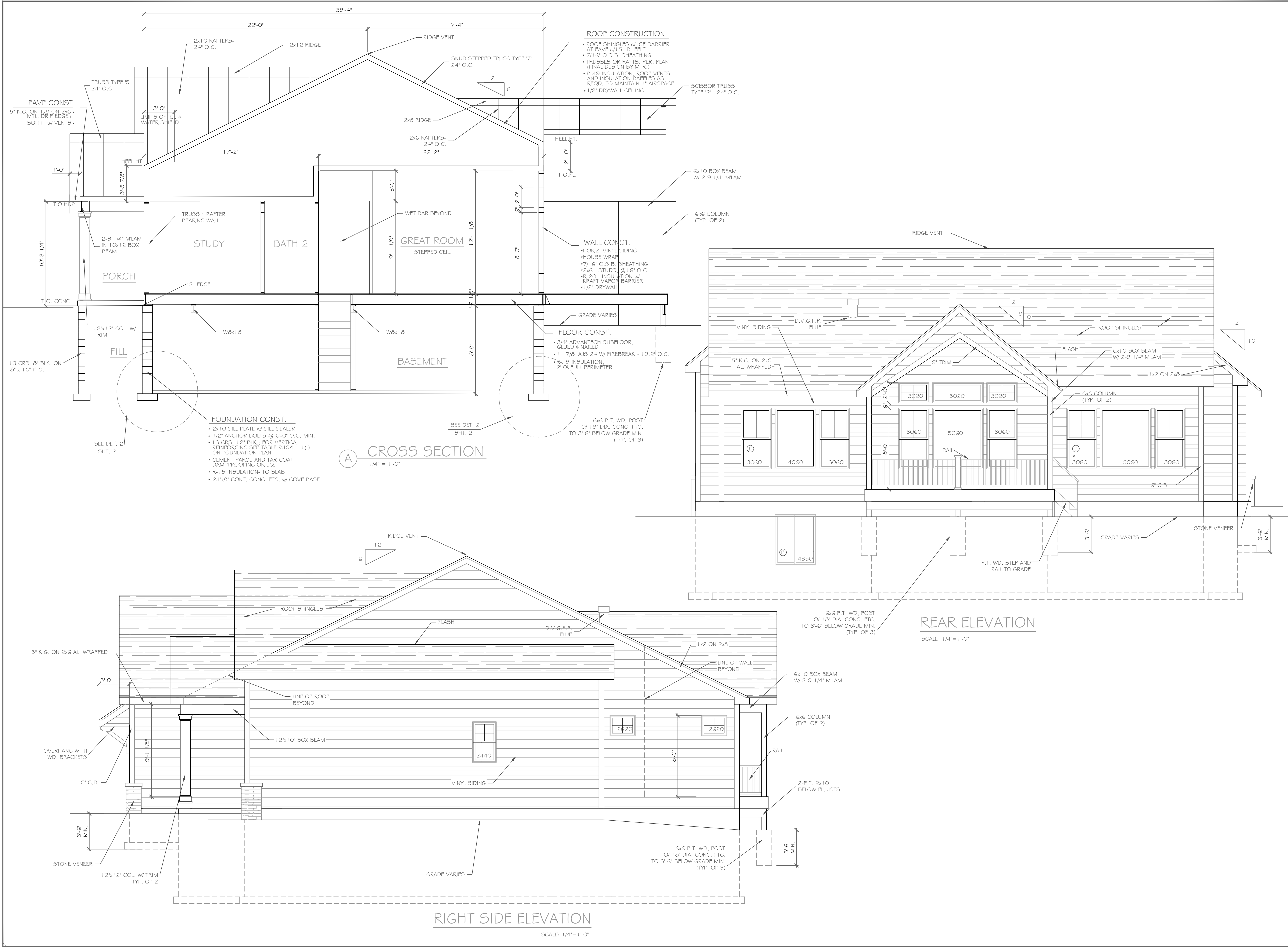
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:	Elevations
PROJECT:	Lot 4C Wishire Hill Pittsford, New York
CLIENT:	Pride Mark Homes, Inc.
JOB NO.:	A22-030
DATE:	March 8, 2023
PHASE:	Construction Documents

**CKH**  
 architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net

DRAWING NO. -  
**A-1**





**ROOF CONSTRUCTION**

- ROOF SHINGLES w/ ICE BARRIER AT EAVE @ 1/5 LB. FELT
- 7/16" O.S.B. SHEATHING
- TRUSSES OR RAFTS, PER. PLAN (FINAL DESIGN BY MFR.)
- R-49 INSULATION, ROOF VENTS AND INSULATION BATTLES AS REQD. TO MAINTAIN 1" AIRSPACE
- 1/2" DRYWALL CEILING

**WALL CONST.**

- HORIZ. VINYL SIDING
- HOUSE WRAP
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS @ 16" O.C.
- R-20 INSULATION w/ KRAFT VAPOR BARRIER
- 1/2" DRYWALL

**FLOOR CONST.**

- 3/4" ADVANTECH SUBFLOOR, GLUED & NAILED
- 1 1/2" 7/8" AIS 24 W/ FIREBREAK - 19.2" O.C.
- R-19 INSULATION 2" FULL PERIMETER

**FOUNDATION CONST.**

- 2x10 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- 13 CRS. 1/2" BLK. FOR VERTICAL REINFORCING SEE TABLE R404.1.1() ON FOUNDATION PLAN
- CEMENT FARGE AND TAR COAT DAMPROOFING OR EQ.
- R-15 INSULATION- TO SLAB
- 24"x8" CONT. CONC. FTG. w/ COVE BASE

**(A) CROSS SECTION**  
1/4" = 1'-0"

**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: **Elevations**

PHASE: **Construction Documents**

PROJECT: **Lot 4C Wishire Hill  
Pittsford, New York**

CLIENT: **Pride Mark Homes, Inc.**

JOB NO.: **A22-030**

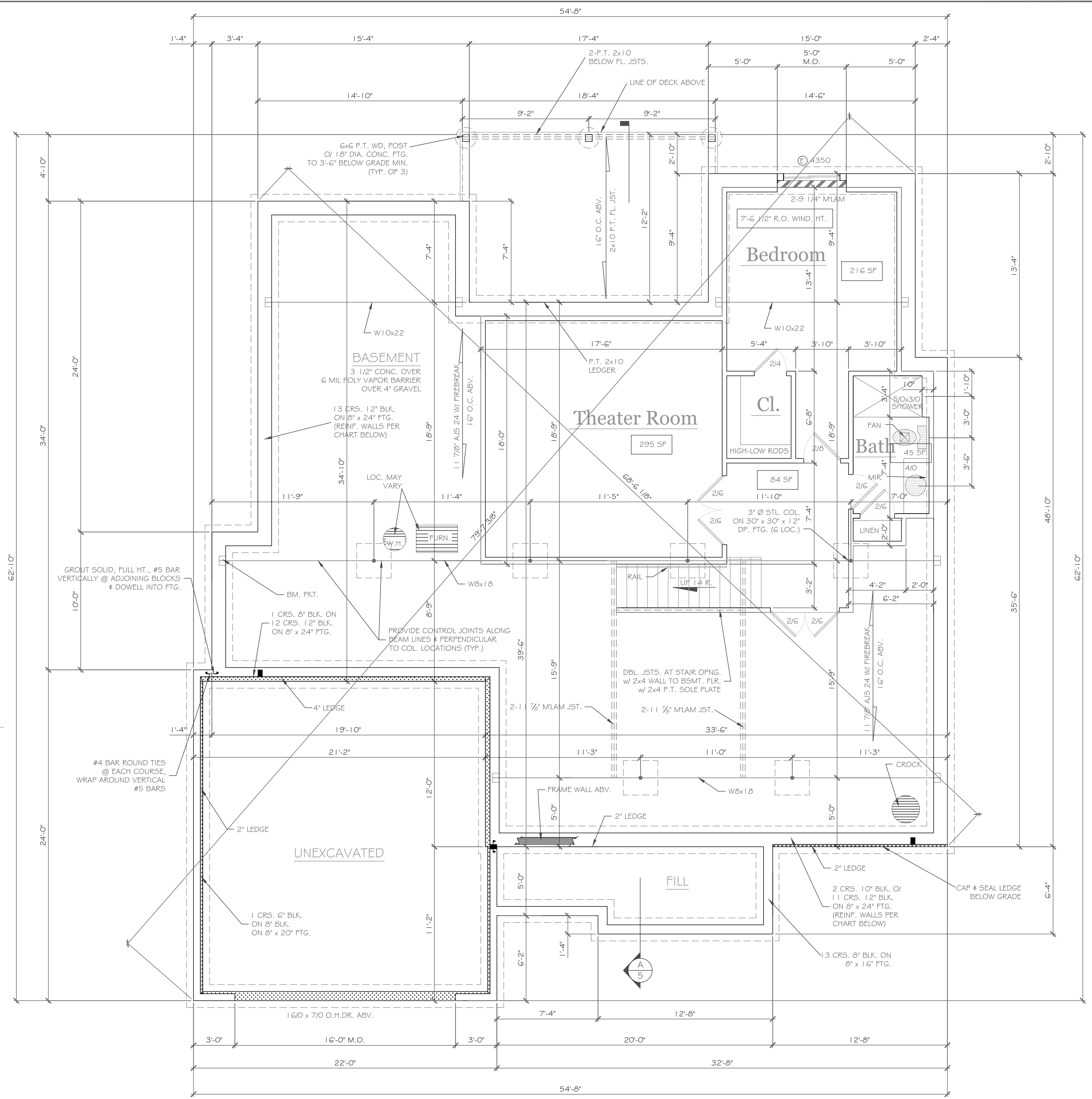
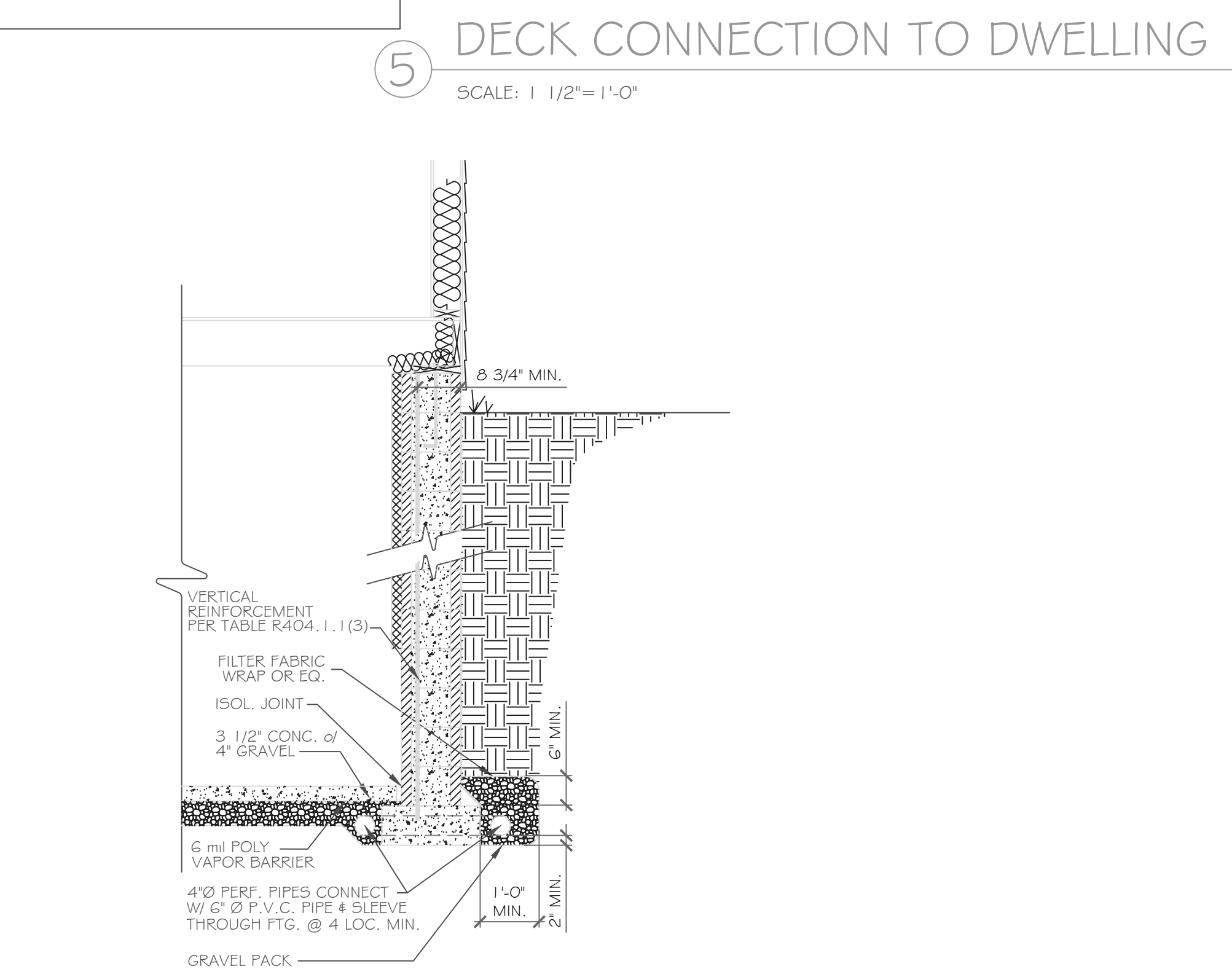
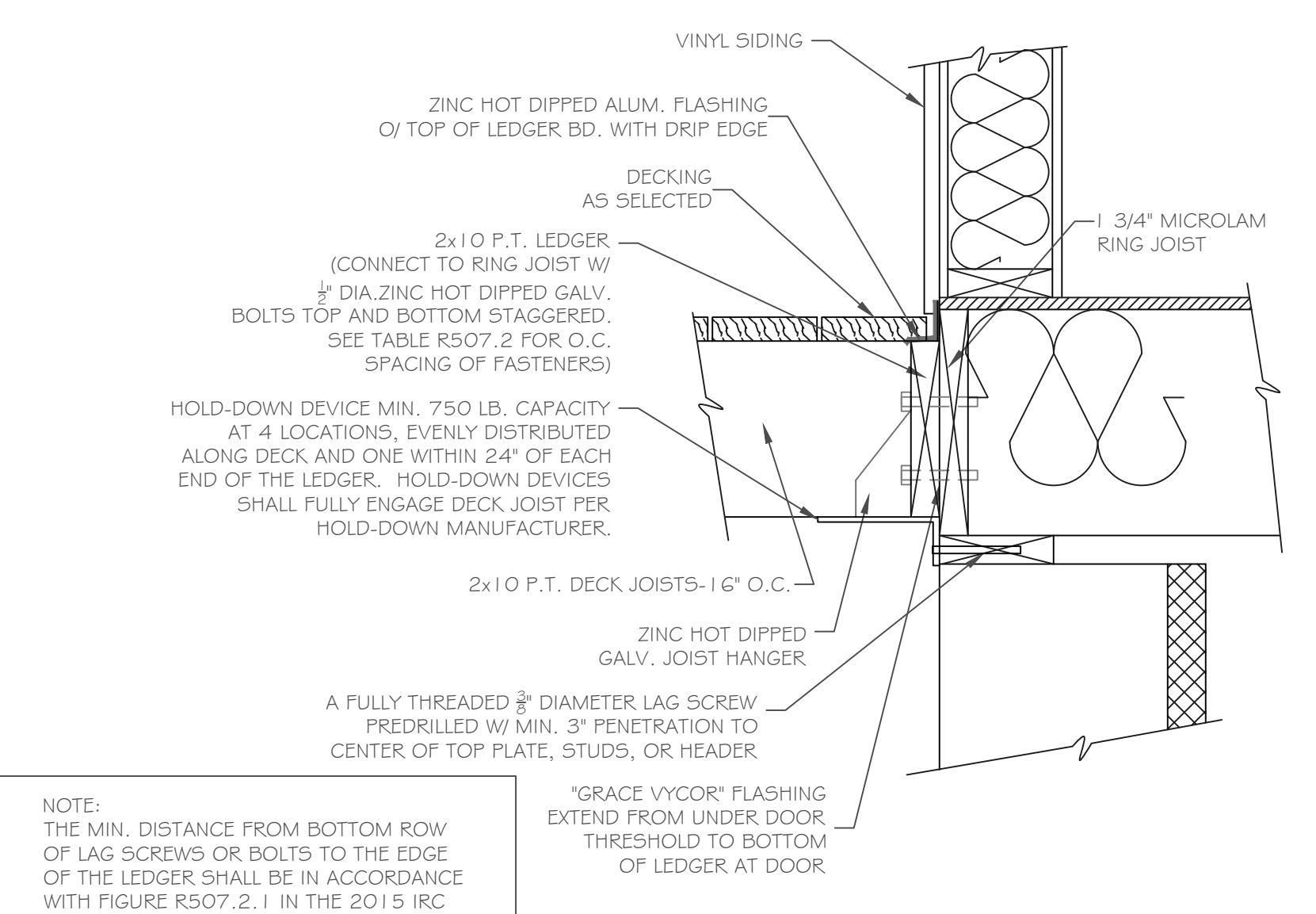
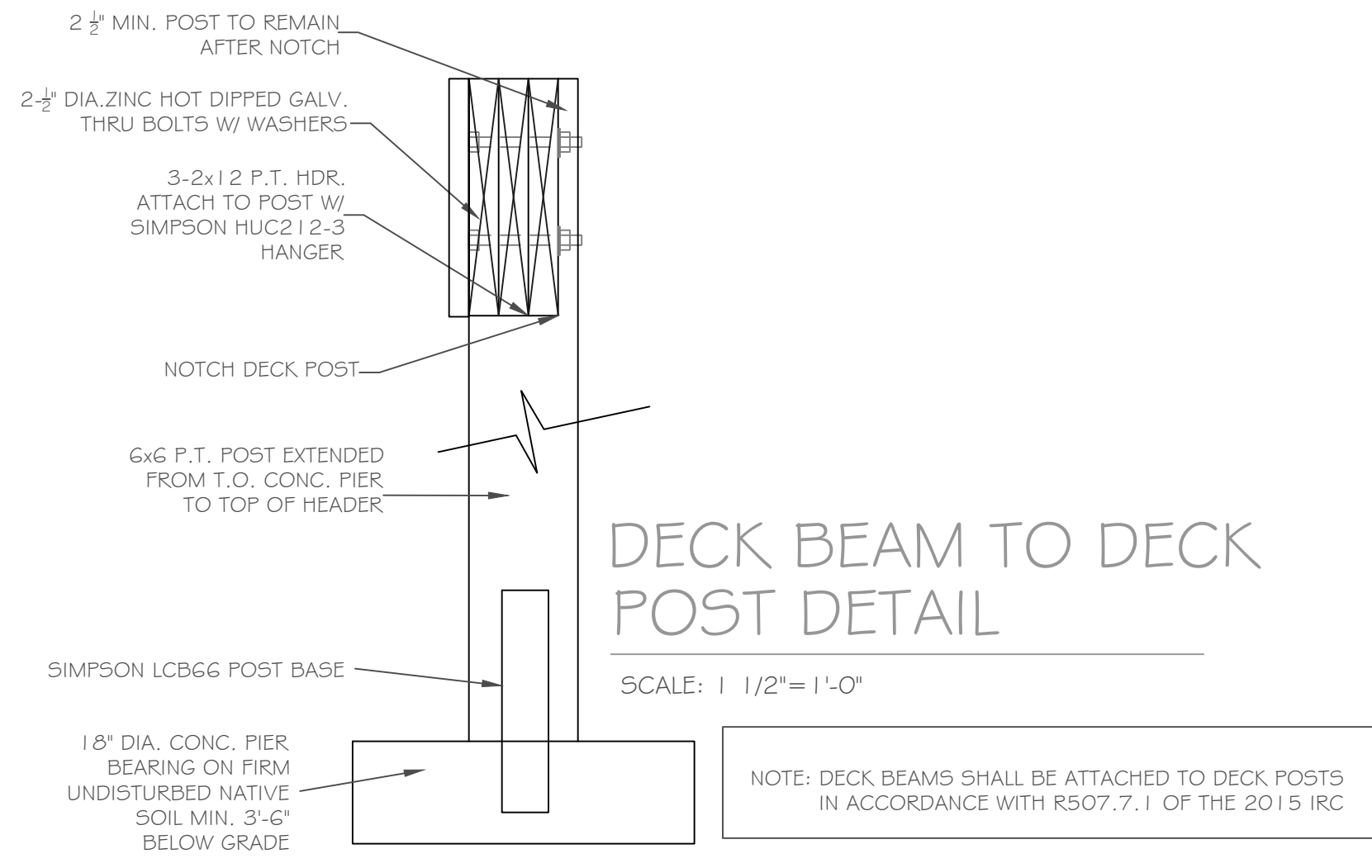
DATE: **March 8, 2023**

**CKH**  
architecture

1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564

phone: (585) 249-1334  
e-mail: CKHennessey@frontier.net

DRAWING NO. - **A-5**



**BASEMENT & FOUNDATION PLAN**

1/4" = 1'-0" LOWER LEVEL PLAN 750 s.f.

**NOTE:** - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING & GROUT BLOCK CORES SOLID FULL HEIGHT AT ALL BEAM BEARINGS  
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. BLK. LEGEND:**

ELEV. = 0"		-1 CRS.
ELEV. = (-) 8"		-2 CRS.
ELEV. = (-) 1'-4"		-3 CRS.
ELEV. = (-) 6'-0"		-9 CRS.

PARTIAL TABLE R404.1.1(3)  
 REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	VERTICAL REINFORCEMENT SIZE AND SPACING(b,c) FOR 12-INCH NOMINAL WALL THICKNESS			
		GW, GP, SW and SP soils	GM, GC, SM, SM-SC and ML soils	SC, MH, ML-CL and inorganic CL soils	CL soils
9	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.
	6	#4 at 72" o.c.	#4 at 56" o.c.	#4 at 56" o.c.	#5 at 64" o.c.
	7	#4 at 56" o.c.	#4 at 40" o.c.	#4 at 40" o.c.	#6 at 64" o.c.
	8	#5 at 64" o.c.	#6 at 64" o.c.	#6 at 64" o.c.	#6 at 48" o.c.

a. Mortar shall be Type M or S and masonry shall be laid in running bond.  
 b. Alternative reinforcing bar sizes and spacings having an equivalent cross-sectional area of reinforcement per linear foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches.  
 c. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 0.75 inches.  
 d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.  
 e. Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

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**REVISIONS:**

NO.	DATE	DESCRIPTION

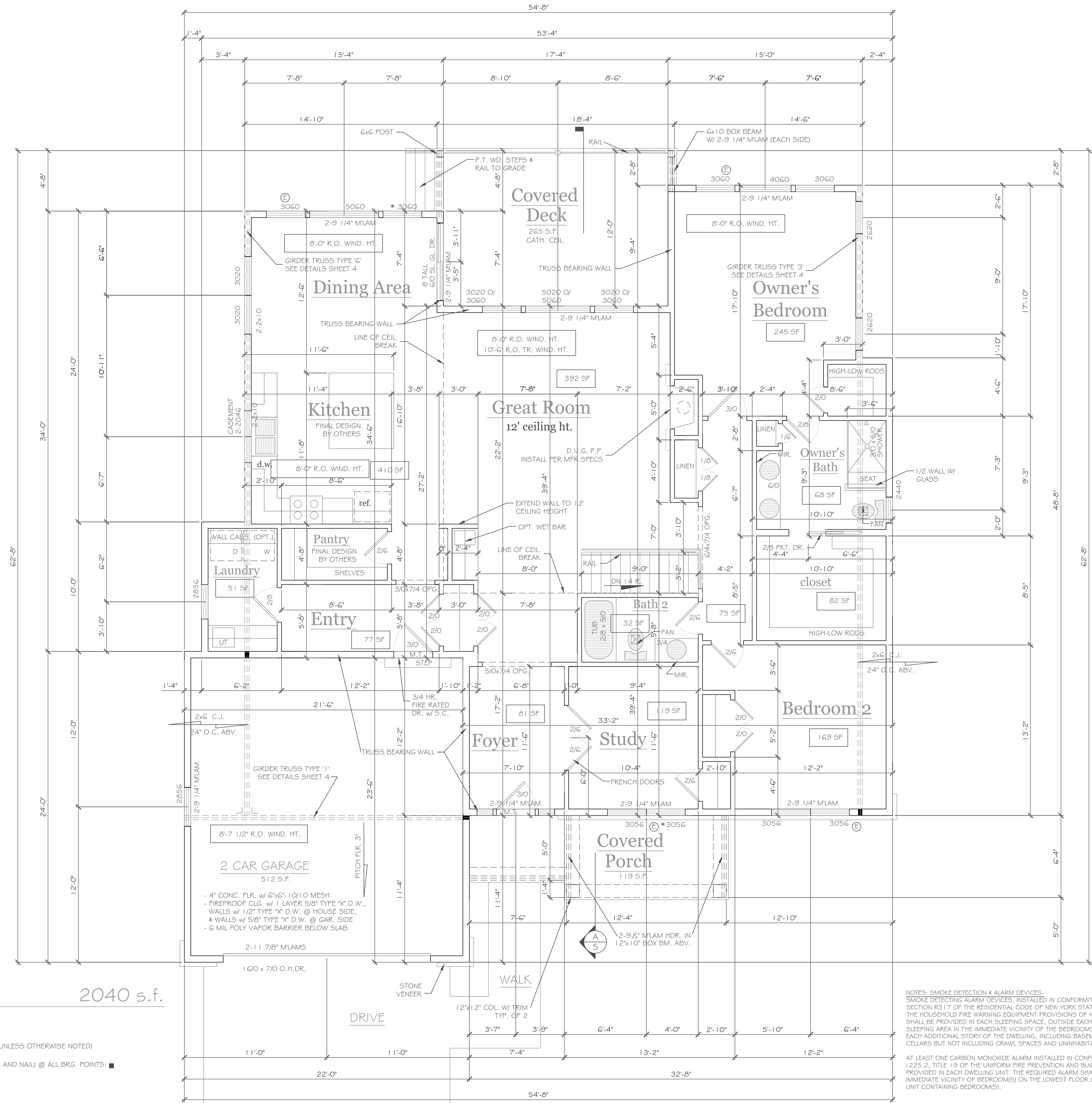
**DRAWING TITLE:** Basement & Foundation Plan  
**PROJECT:** Lot 4C Wishire Hill Pittsford, New York  
**CLIENT:** Pride Mark Homes, Inc.  
**PHASE:** Construction Documents

**DATE:** March 8, 2023  
**JOB NO.:** A22-030

**CKH architecture**  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontier.net

**DRAWING NO.:** A-2





**FIRST FLOOR PLAN** 2040 s.f.

1/4" = 1'-0"

**NOTES:**

- EXTERIOR WALLS TO BE 2 x 6 -16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS TO BE 2 x 4 -16" O.C. U.O.N.
- PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
- APPLIANCES PER CONTRACT
- WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
- CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
- ANGLES TO BE 12 1/2 U.O.N.
- UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
- ⊙ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- \* SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

NOTES: SMOKE DETECTION & ALARM DEVICES. SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:  
**First Floor Plan**

PHASE:  
Construction Documents

PROJECT:  
Lot 4C Wishire Hill  
Pittsford, New York

CLIENT:  
Pride Mark Homes, Inc.

JOB NO. -  
A22-030

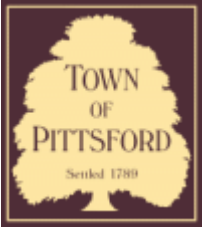
DATE:  
March 8, 2023

**CKH**  
architecture

1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564

phone: (585) 249-1334  
e-mail: CKHennessey@frontier.net

DRAWING NO. -  
**A-3**



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000008

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 2490 Lehigh Station Road PITTSFORD, NY 14534

**Tax ID Number:** 177.01-2-8.1

**Zoning District:** RN Residential Neighborhood

**Owner:** Kody Young

**Applicant:** Kody Young

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The applicant is requesting design review for an addition of a 2650 sf garage addition off the side of the existing house.

**Meeting Date:** March 23, 2023

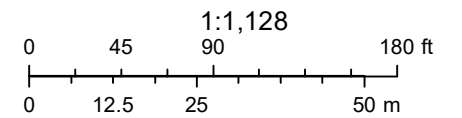




# RN Residential Neighborhood Zoning



Printed February 3, 2023



Town of Pittsford GIS

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Driveway

Pittsford-Henrietta Town Line Rd

Pittsford-Henrietta Town Line Rd

Lehigh Station Rd

Pittsford-Henrietta Town Line Rd

Lehigh Station Rd

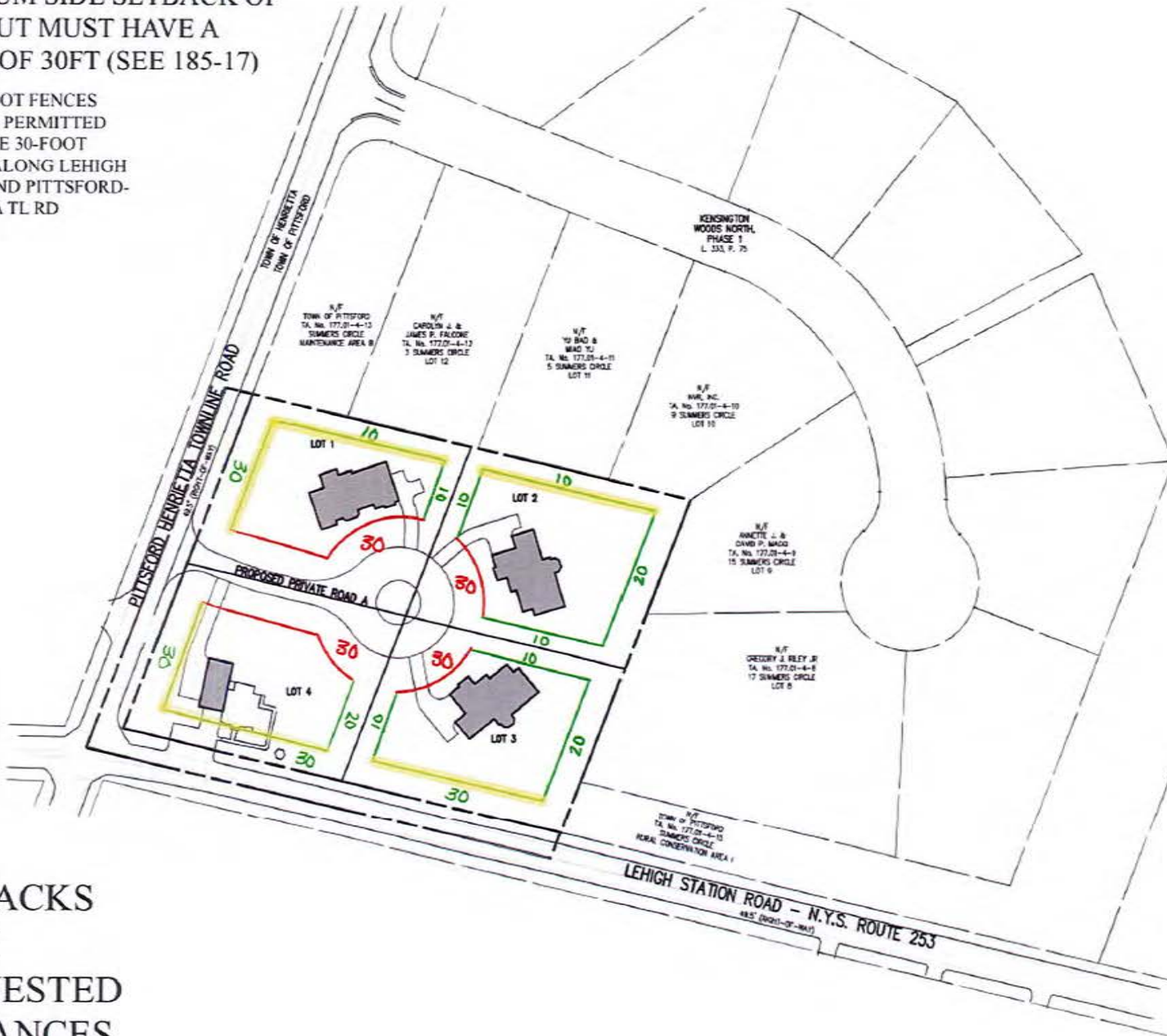
04/05/2021

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NOTE: LOTS 2 & 3 SHOW A  
MINIMUM SIDE SETBACK OF  
10FT, BUT MUST HAVE A  
TOTAL OF 30FT (SEE 185-17)

NOTE: 4-FOOT FENCES  
WOULD BE PERMITTED  
WITHIN THE 30-FOOT  
SETBACK ALONG LEHIGH  
STATION AND PITTSFORD-  
HENRIETTA TL RD



SETBACKS  
WITH  
REQUESTED  
VARIANCES





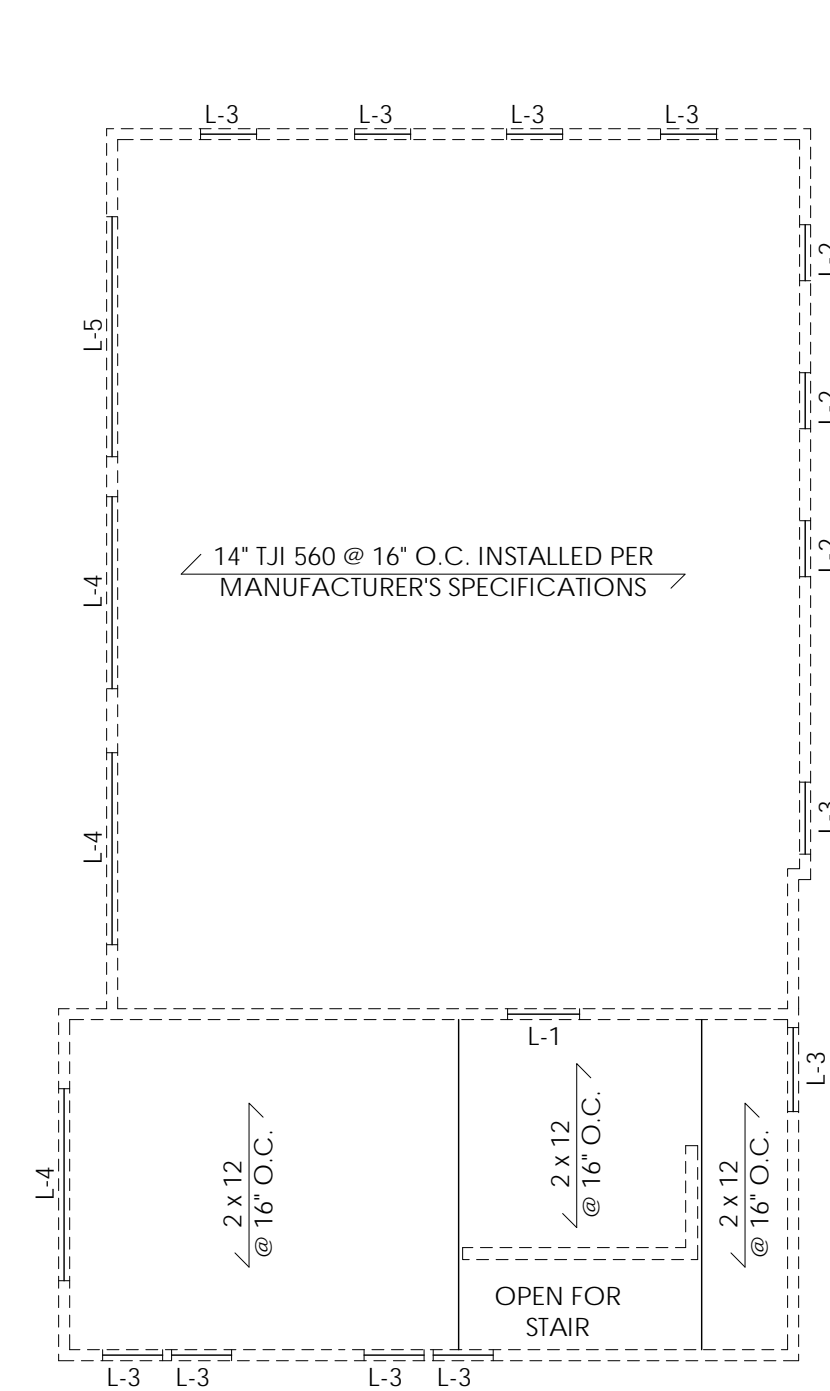




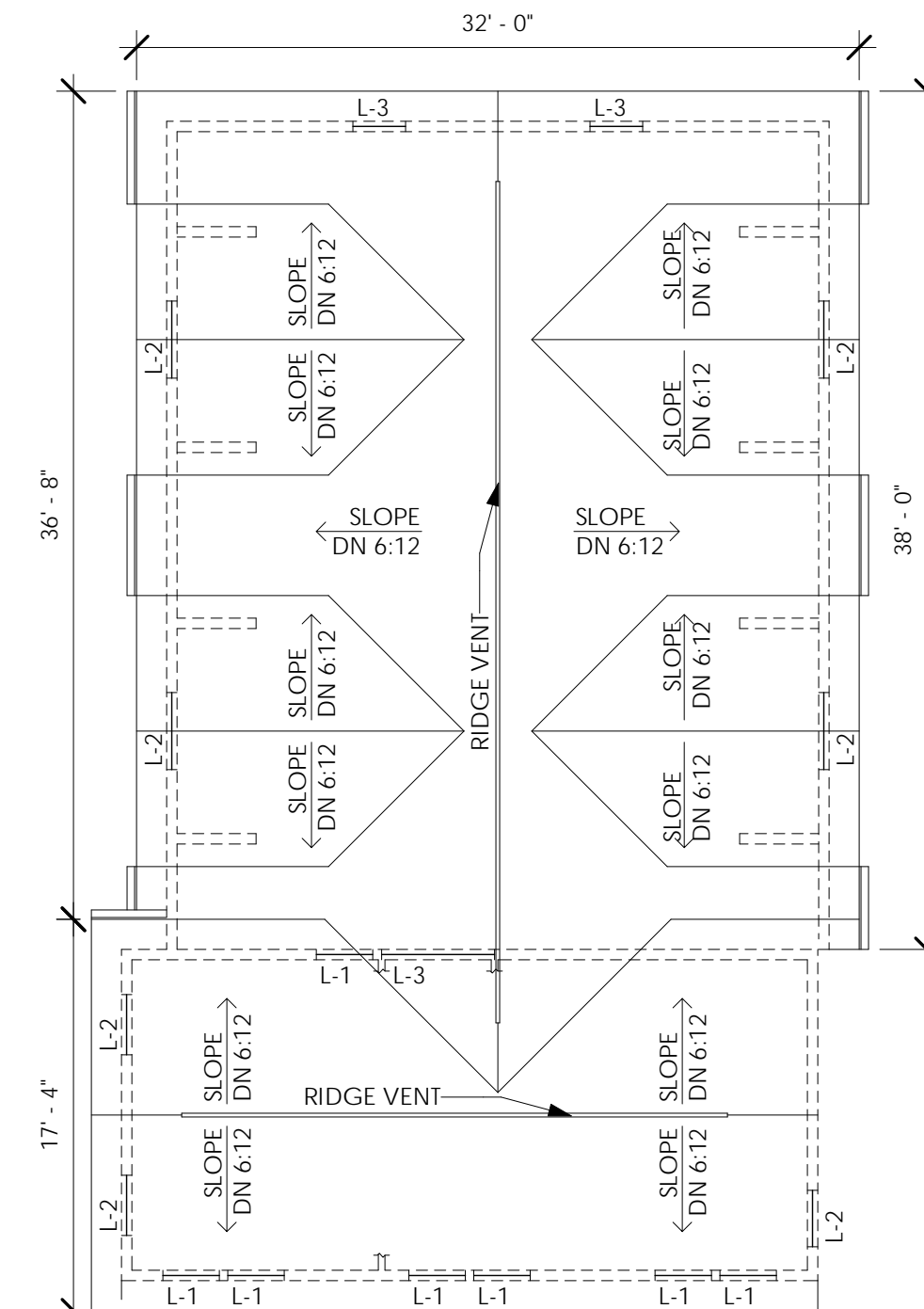




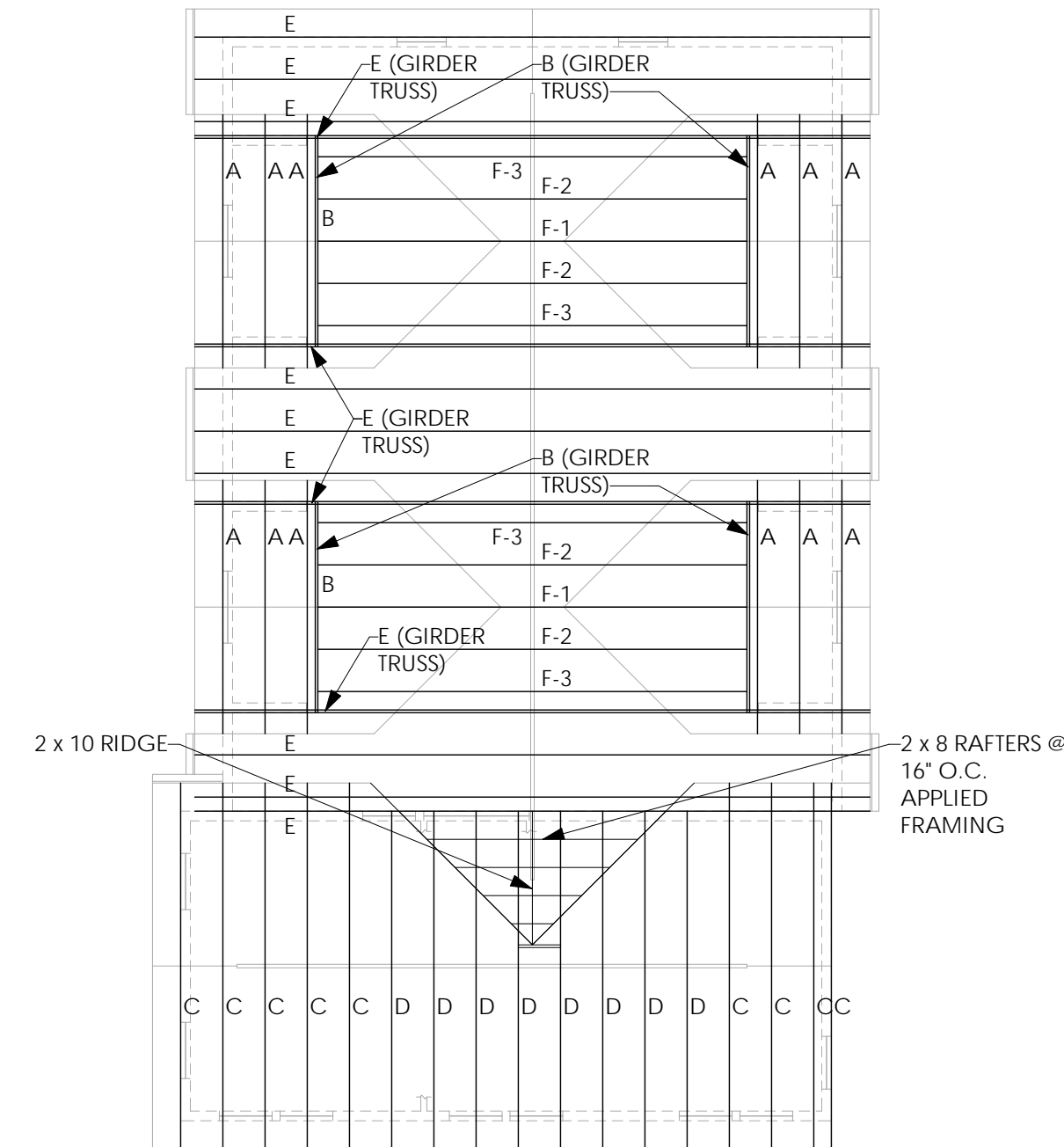




1 Second Floor Header & Framing Plan  
1/8" = 1'-0"



2 Roof Plan  
1/8" = 1'-0"



3 Roof Framing Plan  
1/8" = 1'-0"

**ROOF NOTES:**

- PROVIDE MINIMUM 5'-0" WIDE ICE & WATER SHIELD UNDERLAYMENT ALONG EAVES AND AT VALLEYS
- PROVIDE ASPHALT SATURATED FELT UNDERLAYMENT ALL REMAINING AREAS
- PROVIDE ALUMINUM FASCIA, DRIP EDGE, VENTED SOFFITS, GUTTERS AND DOWNSPOUTS AT NEW ROOF AREAS, TO MATCH EXISTING.
- REMOVE EXISTING ROOF SHINGLES & UNDERLAYMENT. FURNISH AND INSTALL ICE & WATER UNDERLAYMENT & NEW ARCHITECTURAL SHINGLES AS REQ'D
- VERIFY IN FIELD EXISTING ROOF OVERHANGS. NEW OVERHANGS TO MATCH EXIST.

**LINTEL & HEADER SCHEDULE:**

- L-1 - (3) 2 x 4 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-2 - (3) 2 x 6 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-3 - (3) 2 x 8 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-4 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 9 1/4" (8'-0" WIDE GARAGE DOOR)
- L-5 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 11 1/4" (10'-0" WIDE GARAGE DOOR)

**NOTE:**

**NOTE:**

PRE-ENGINEERED WOOD TRUSS SYSTEM SHALL BE DESIGNED BY A N.Y.S. LICENSED ARCHITECT OR ENGINEER FOR THE FOLLOWING LOADS:

TOP CHORD DEAD LOAD: 10#  
SNOW LOAD: 50# GROUND  
BOTTOM CHORD DEAD LOAD: 10#

**NOTE:**

- ALL TRUSSES TO BE 2'-0" O.C.
- ALL STICK FRAMING SHALL BE:  
2x10 RIDGE & HIP MEMBERS  
2x8 RAFTERS @ 16" O.C.  
UNLESS OTHERWISE NOTED
- VERIFY PITCH OF EXISTING ROOF PRIOR TO ORDERING TRUSS
- CONTRACTOR SHALL FURNISH TRUSS SHOP DRAWINGS WITH ENGINEER OR ARCHITECT SEAL & SIGNATURE
- TRUSS MANUFACTURER TO PROVIDE RECOMMENDED ROOF TRUSS SYSTEM BRACING DIAGRAM
- ROOF TRUSS SHALL BE INSTALLED USING SIMPSON HURRICANE TIES H8 OR APPROVED EQUAL.

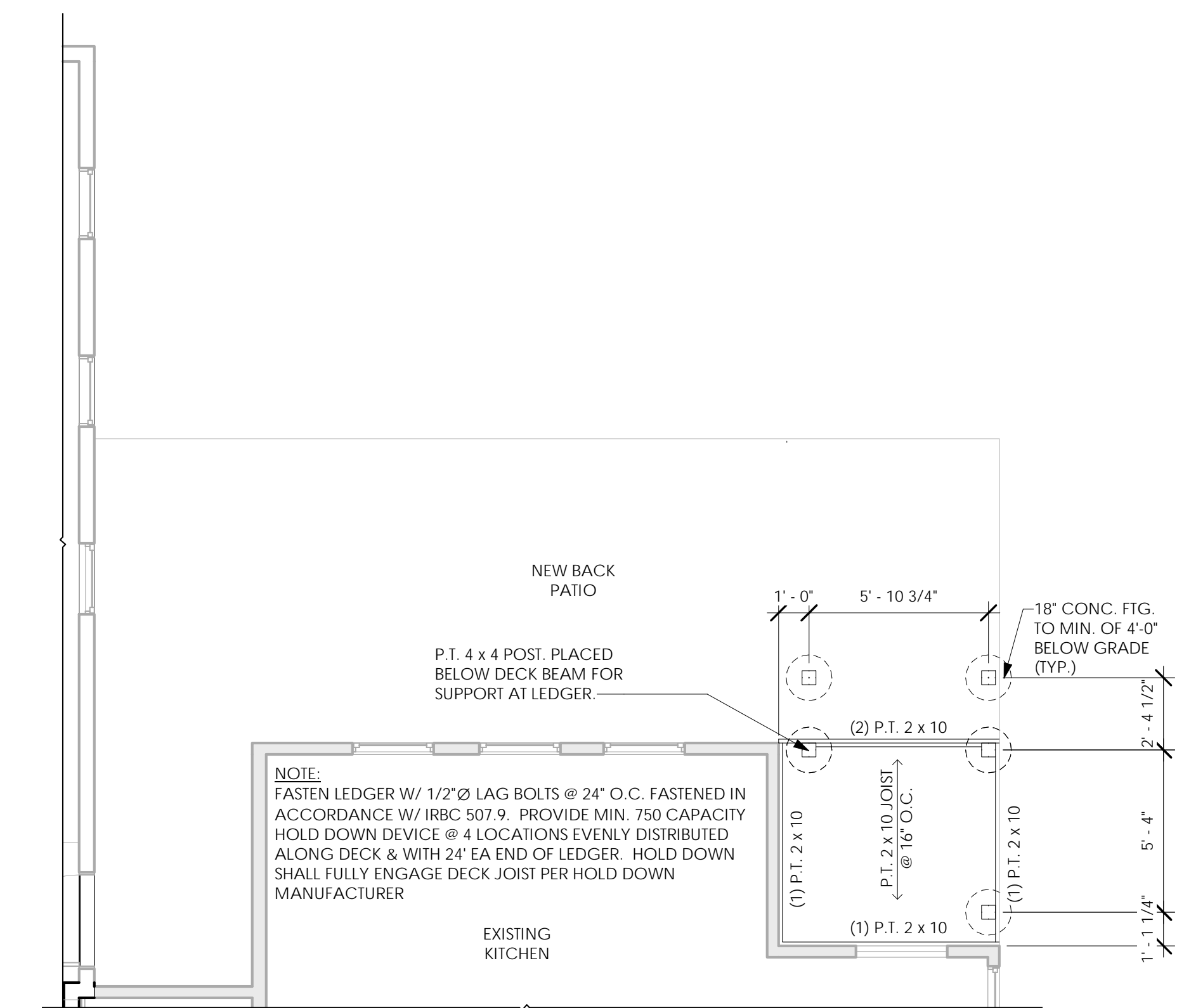
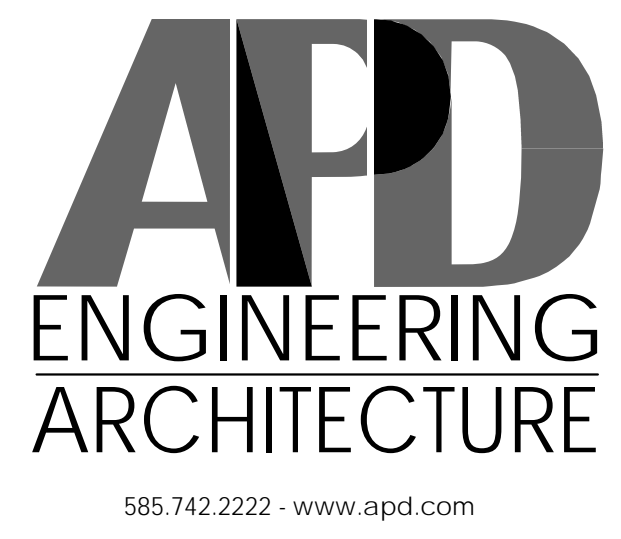


Project Architect/Engineer Date:  
Architect/Engineer Name  
Project Lead Date:  
Lead Name  
Project Designer Date:  
Designer Name

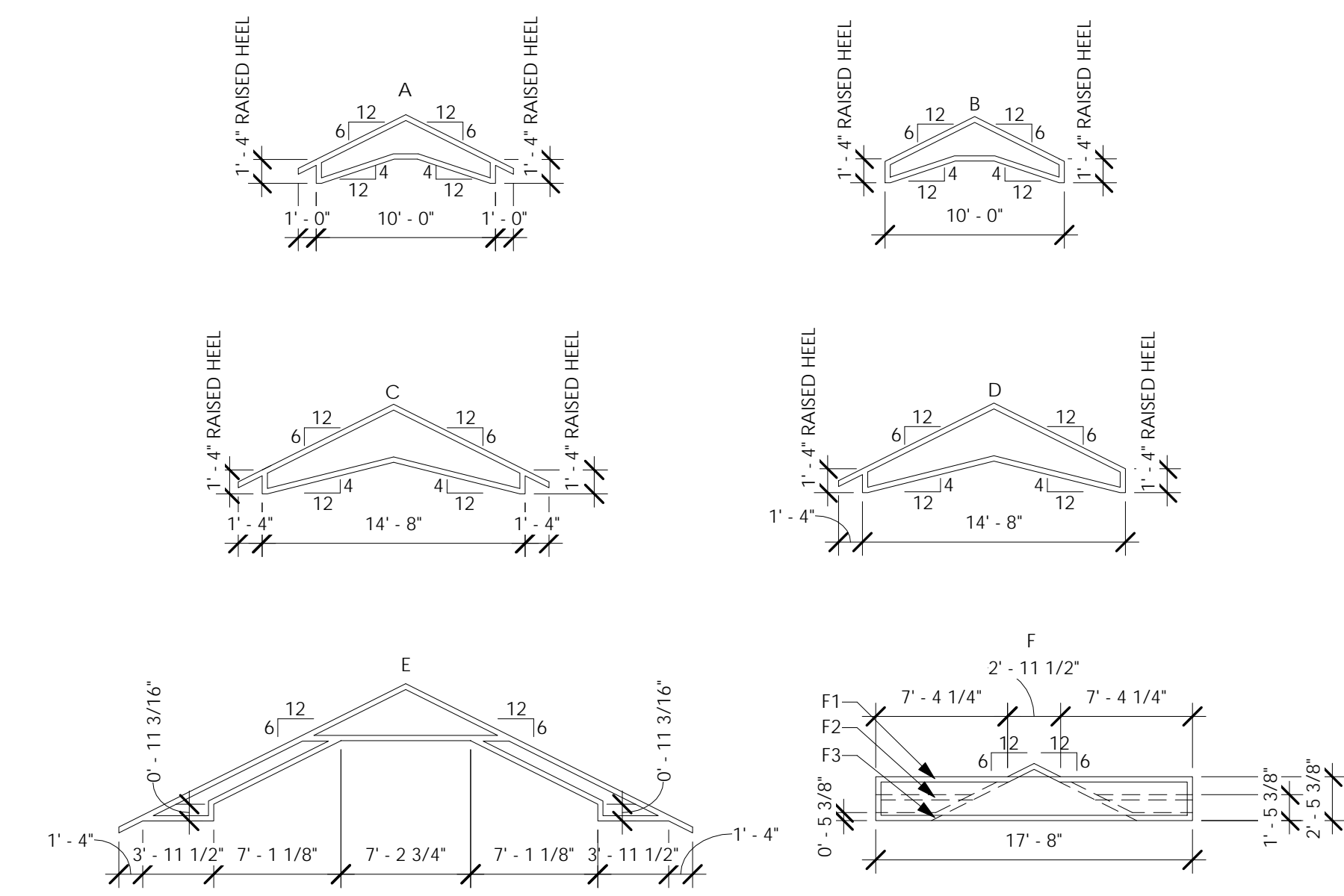
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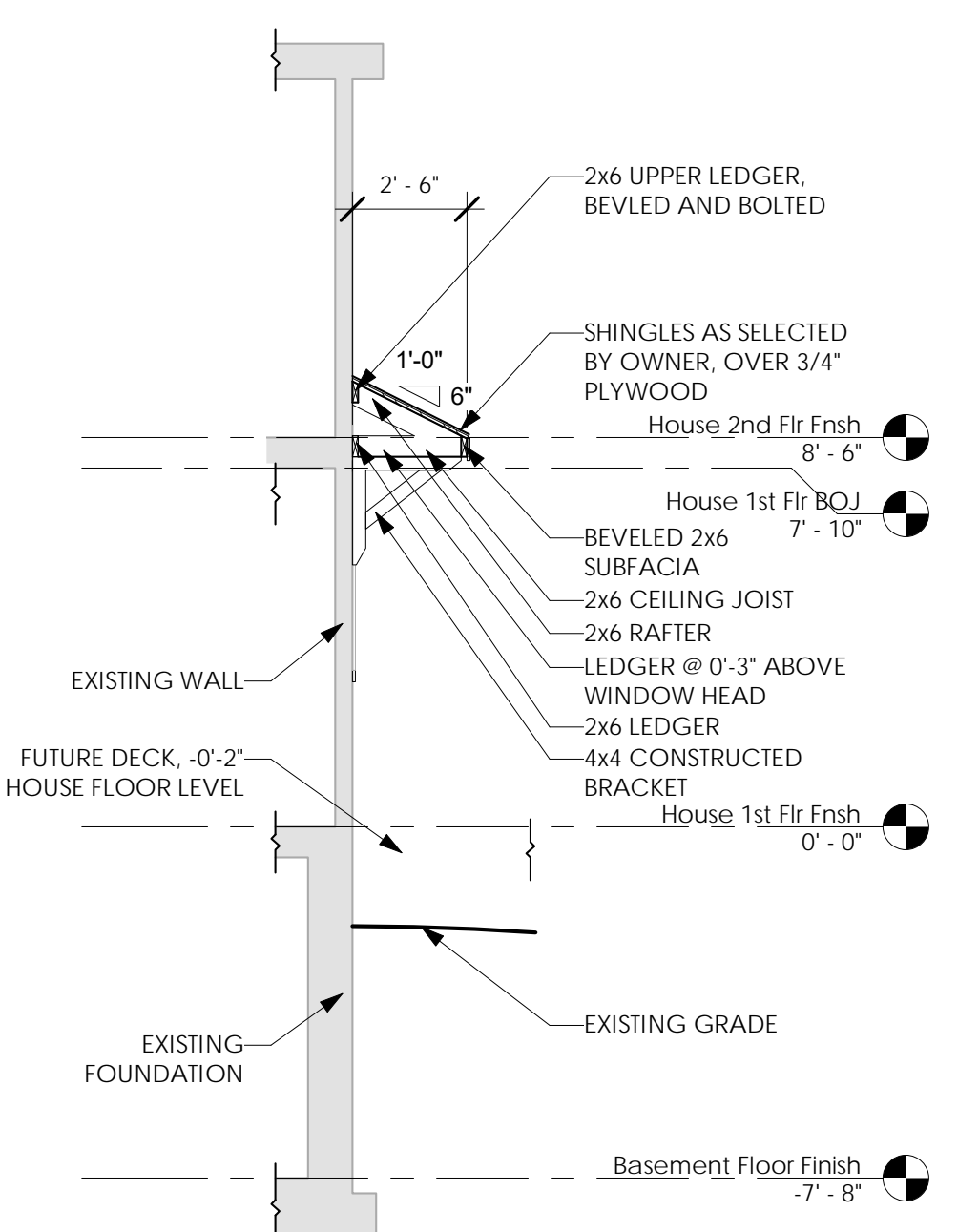
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11 Back Deck Framing Plan  
1/4" = 1'-0"



9 Truss Diagrams  
1/8" = 1'-0"



10 Window Awning Detail  
1/4" = 1'-0"

Young Residence Addition  
2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:

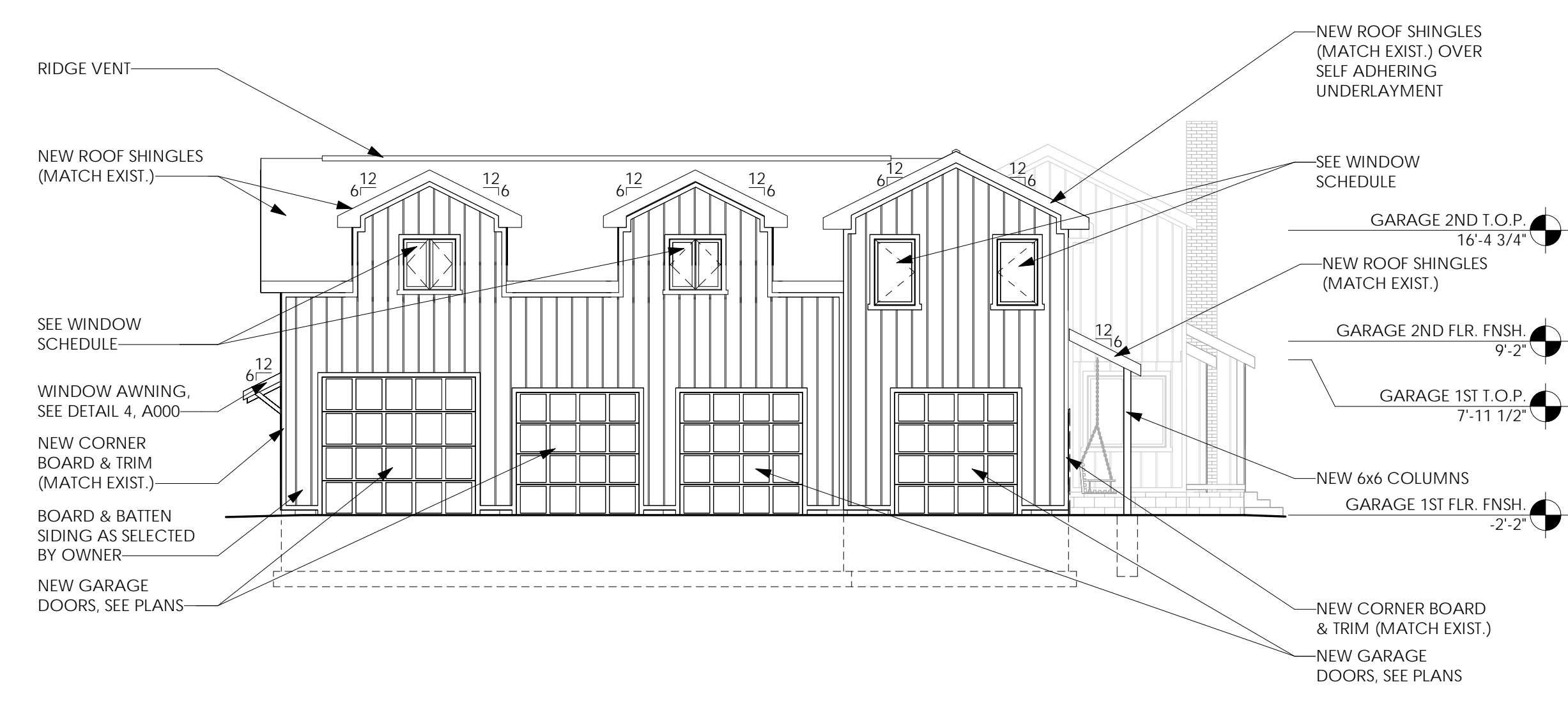
Roof Framing, Plan & Truss Diagram

Drawing Name:

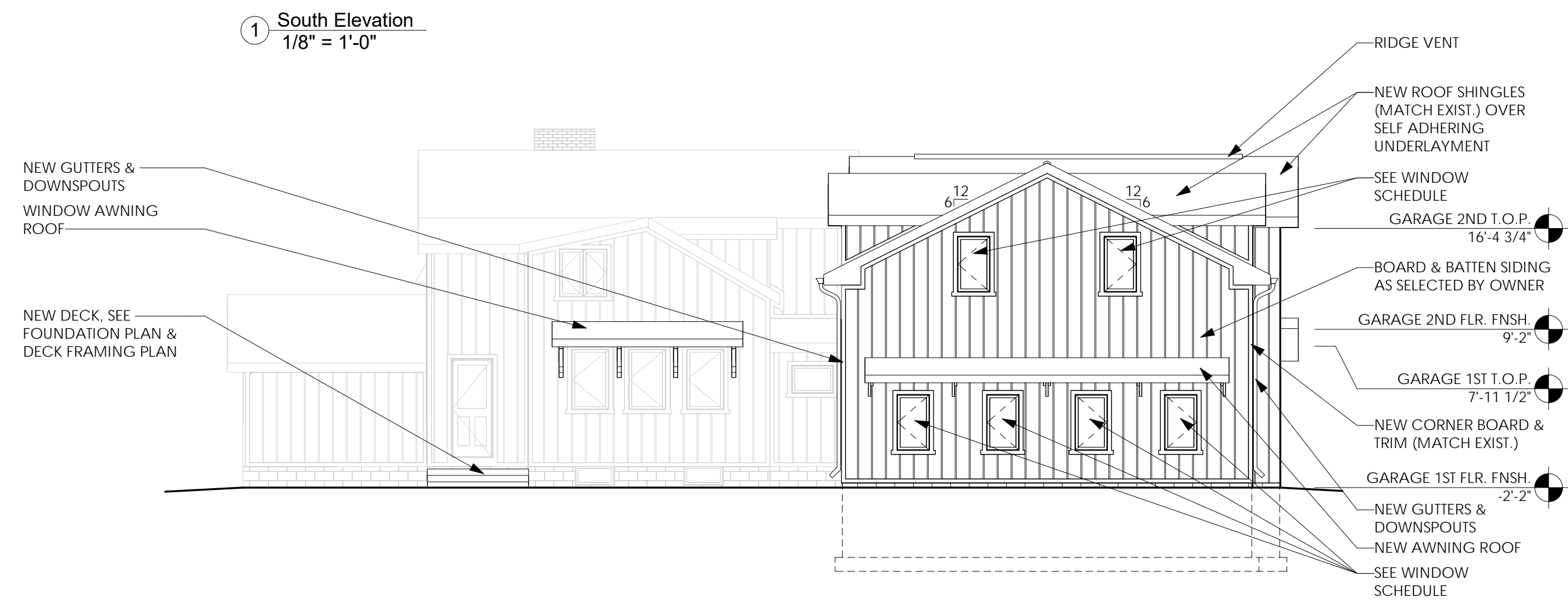
Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-103
Scale: As Noted	Drawing No.



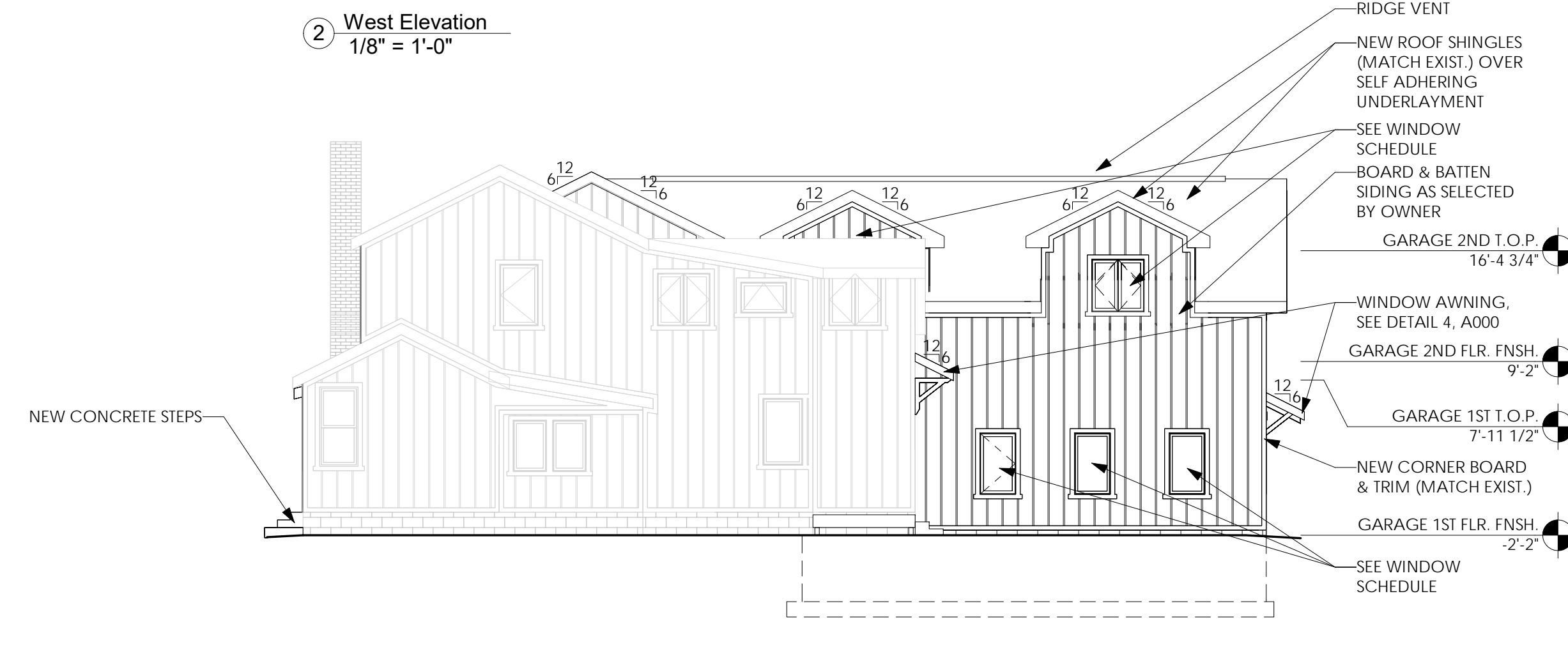
1 South Elevation  
1/8" = 1'-0"



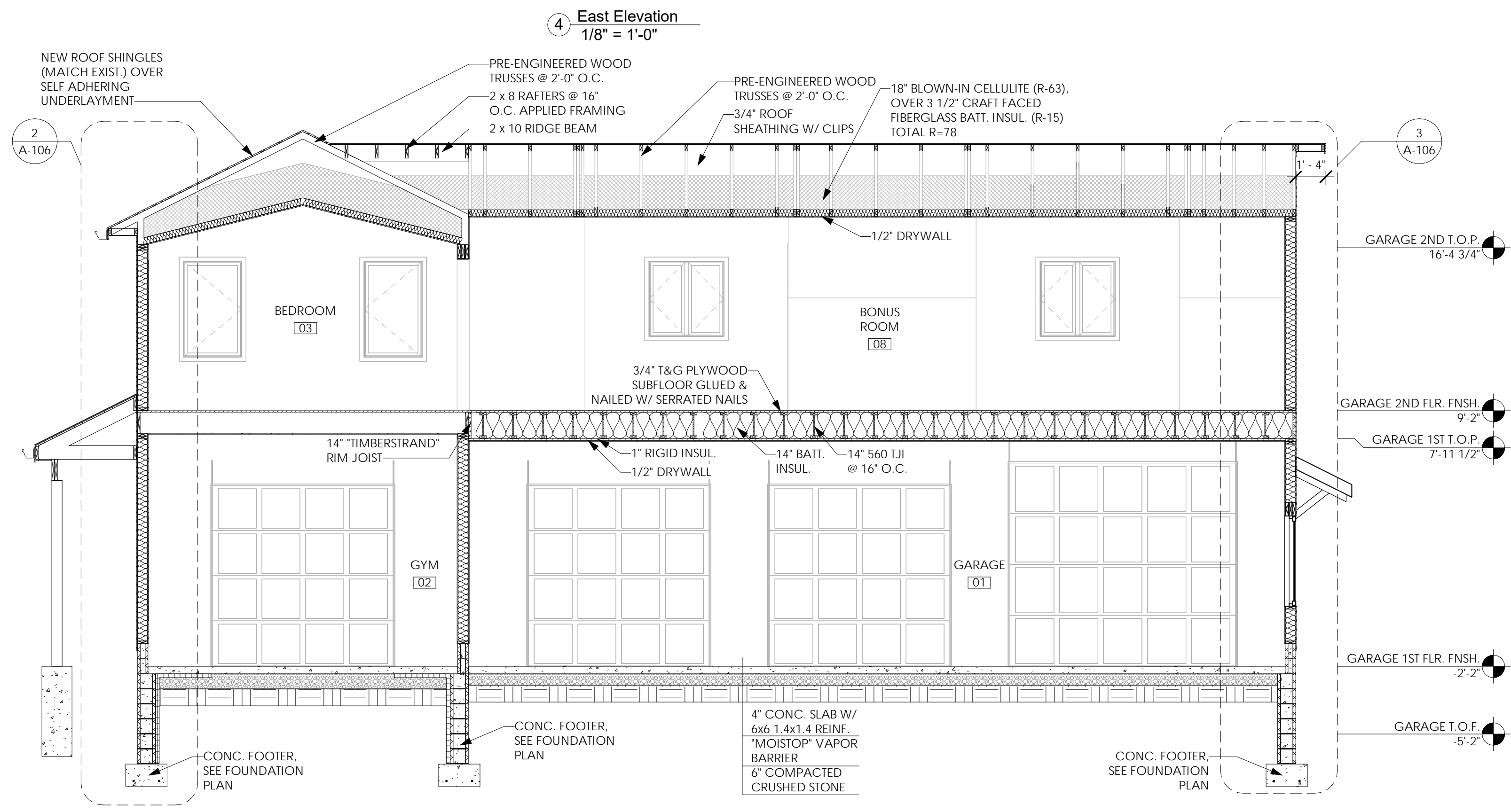
2 West Elevation  
1/8" = 1'-0"



3 North Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



5 Building Section  
1/4" = 1'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:



Project Architect/Engineer	Date:
Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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APD Engineering & Architecture, L.L.C.  
111 West 17th Street  
New York, NY 10011  
www.apd.com

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**Young Residence Addition**  
2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:

**Exterior Elevations & Building Sections**

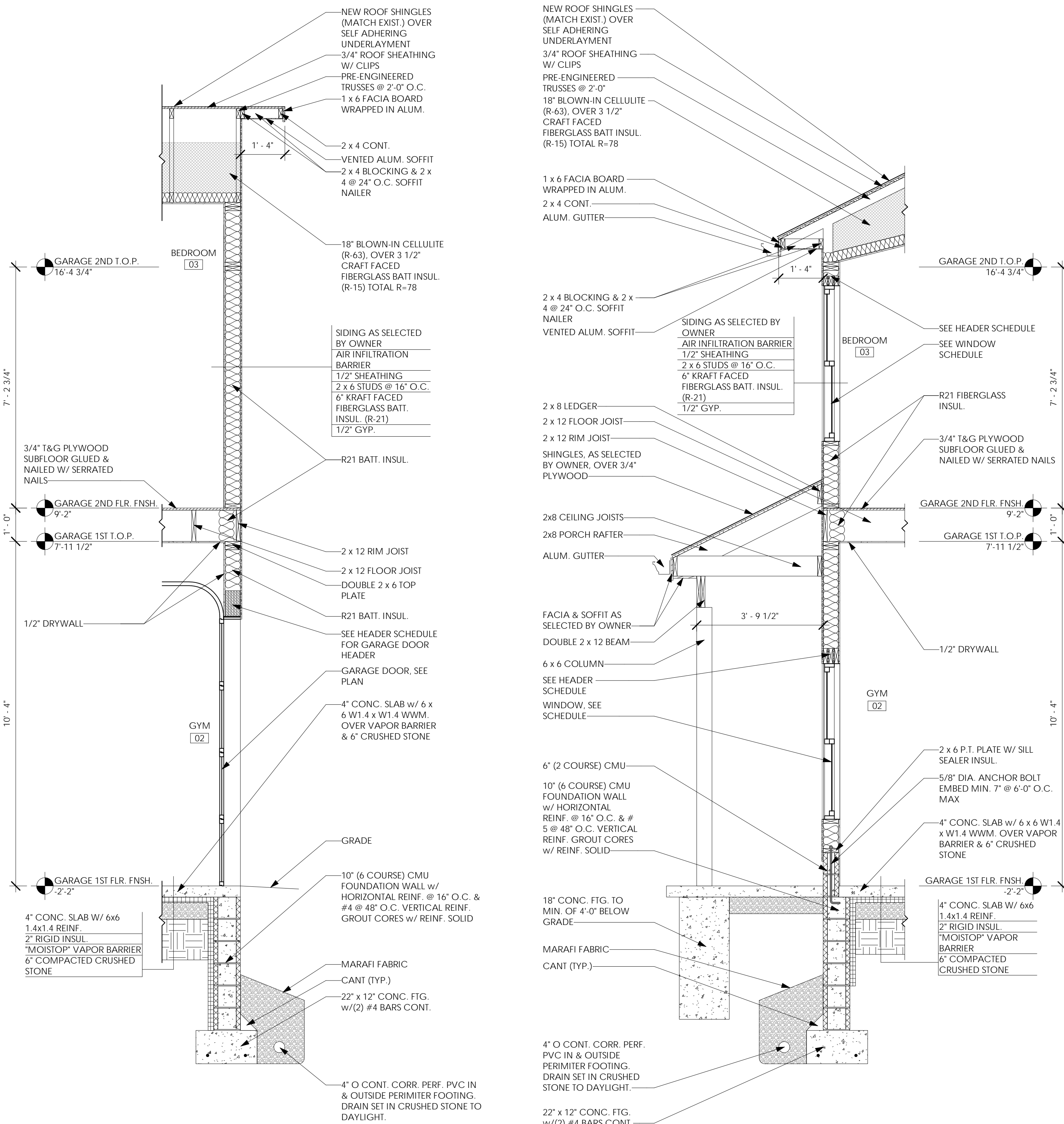
Drawing Name:

Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-104
Scale: As Noted	Drawing No.



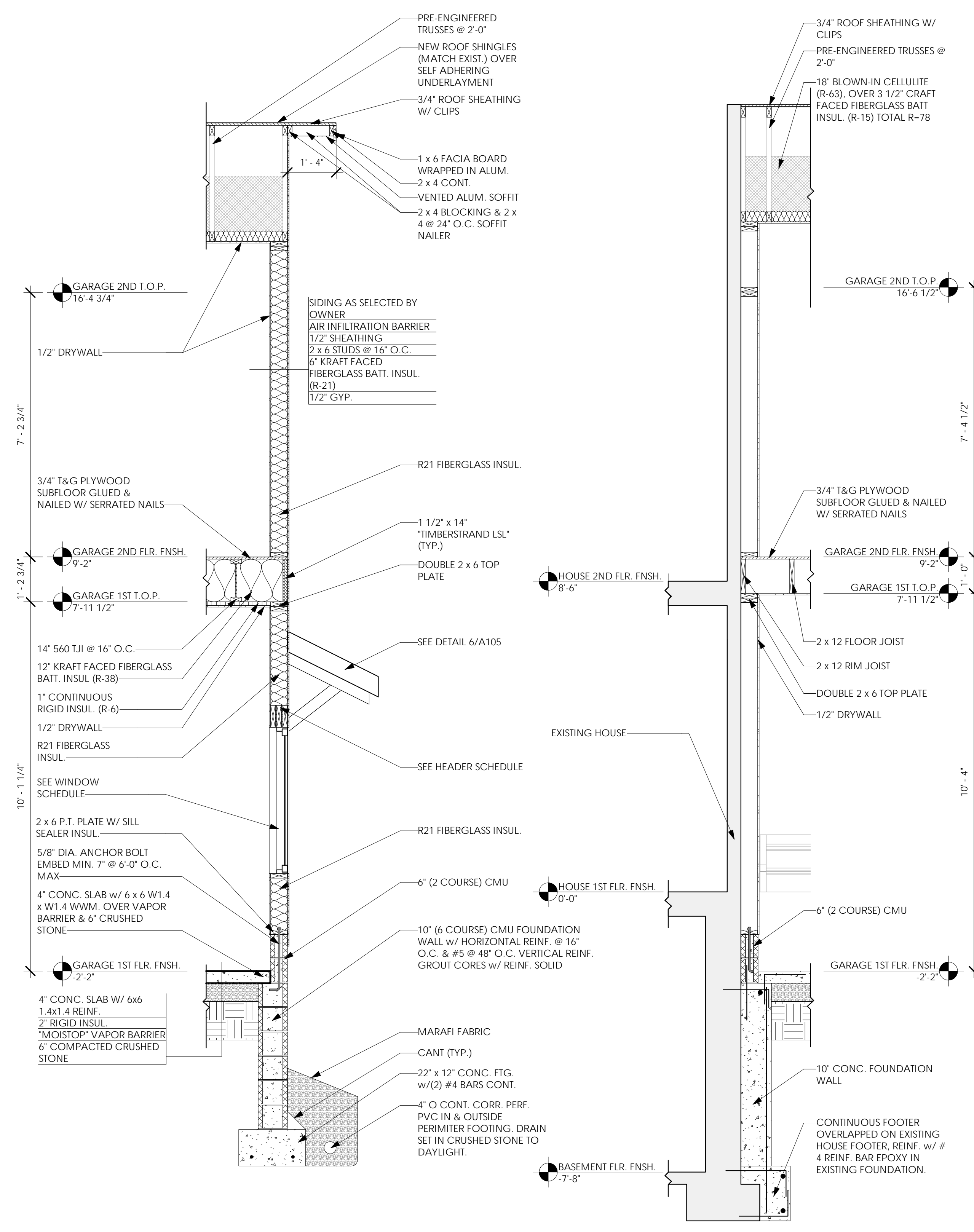


PLOTTED: 2/2/2023 8:46:23 AM



1 Wall Section @ Bedroom  
1/2" = 1'-0"

2 Wall Section @ Gym  
1/2" = 1'-0"



3 Wall Section @ Boat Bay  
1/2" = 1'-0"

4 Wall Section @ House  
1/2" = 1'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

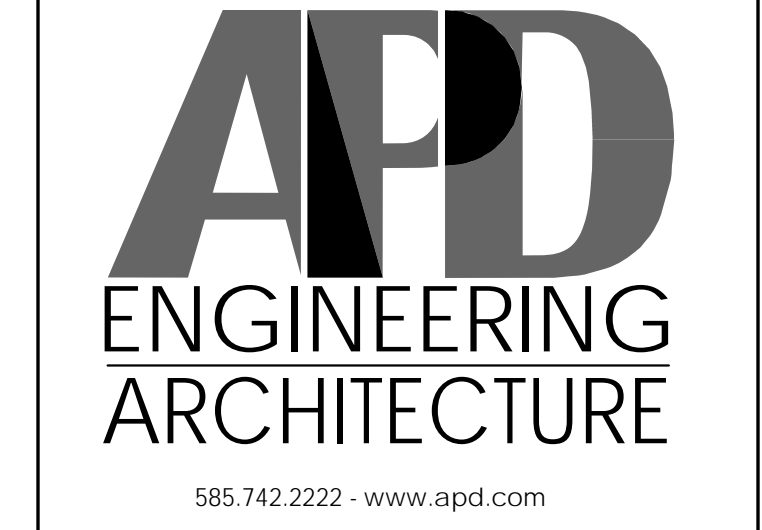
Revisions:	Date:



Project Architect/Engineer Date:  
 Architect/Engineer Name  
 Project Lead Date:  
 Lead Name  
 Project Designer Date:  
 Designer Name

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Young Residence Addition  
 2490 Lehigh Station Rd  
 Pittsford, NY 14534  
 Monroe County

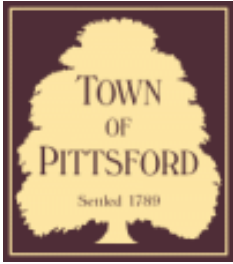
Project Name & Location:

Wall Sections

Drawing Name:

Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-106
Scale: As Noted	Drawing No.





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**D23-000001**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 114 Sunset Boulevard PITTSFORD, NY 14534

**Tax ID Number:** 164.10-4-23

**Zoning District:** RN Residential Neighborhood

**Owner:** Sarajlic, Vedrana

**Applicant:** Sarajlic, Vedrana

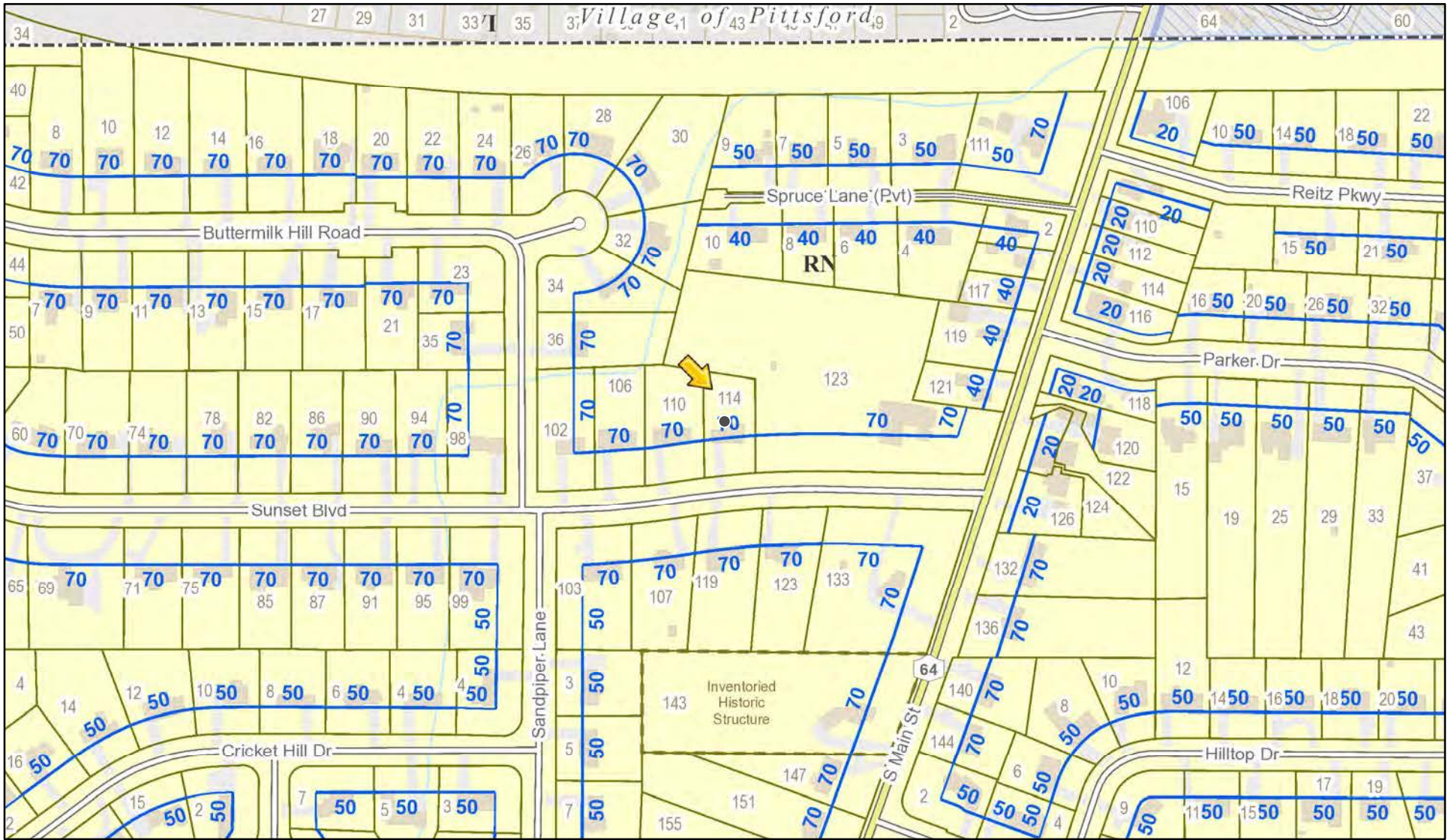
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

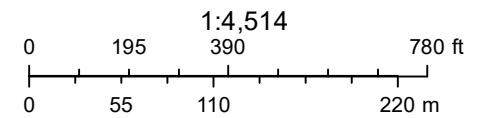
**Project Description:** In accordance with Chapter 64 Article VIII, Â§64-43 of the Pittsford Town Code, the owner of 114 Sunset Boulevard is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 1,872 square foot home at 114 Sunset Boulevard and rebuild a new 3,180 +/- square foot single family home on the property. Tax Parcel No. 164.10-4-23. This property is Zoned Residential Neighborhood (RN).

**Meeting Date:** March 09, 2023

# RN Residential Neighborhood Zoning



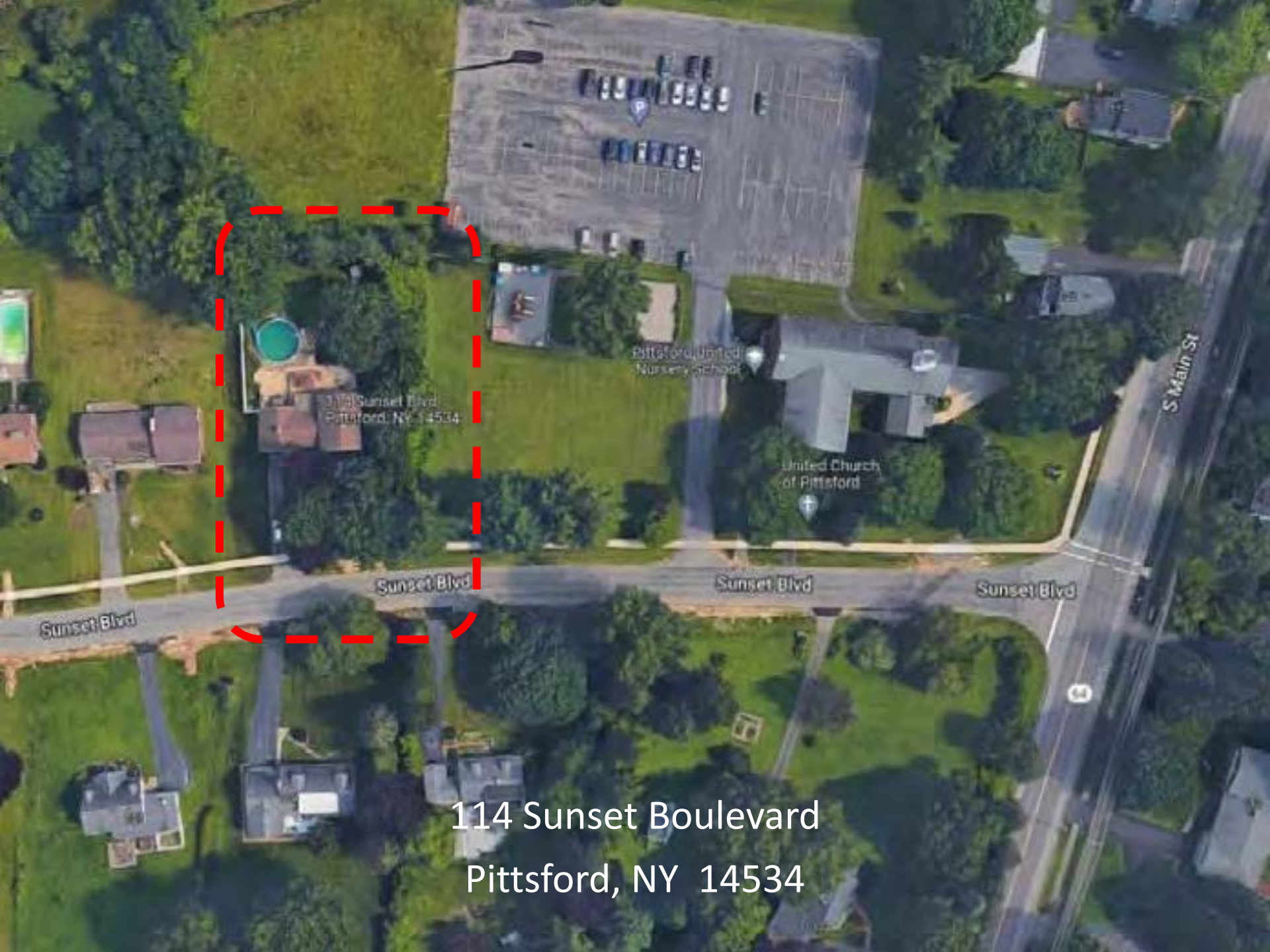
Printed March 1, 2023



Town of Pittsford GIS

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114 Sunset Blvd  
Pittsford, NY 14534

114 Sunset Boulevard  
Pittsford, NY 14534



36

102

106

110

114

119













- REFERENCES:**
- 1.) ABSTRACT OF TITLE No. 130987, (CROSSROADS - DEC. 14, 2010)
  - 2.) LIBER 3029 OF DEEDS, PAGE 434.
  - 3.) LIBER 127 OF MAPS, PAGE 6. (RESUBDIVISION)
  - 4.) LIBER 216 OF MAPS, PAGE 28. (FIFTH ADDITION, JEFFERSON HEIGHTS)
  - 5.) EASEMENT TO R.G.E. AND R.T.C. PER LIBER 1596 OF DEEDS, PAGE 166. (ALONG ROAD R.O.W. LINE)



**SUNSET BOULEVARD**  
(70' R.O.W.)

**CERTIFICATION:**

I hereby certify to: **CNB MORTGAGE CO. ITS SUCCESSORS AND/OR ASSIGNS**  
**PAMELA SCHERRER**  
**MARK S. GUNTHER, P.C.**  
**STEWART TITLE INSURANCE CO.**  
**ALBERT S. KUSAK, ESQ.**

that this map was made JAN. 10, 2011 from notes of an instrument  
 Survey completed JAN. 05, 2011 and from references listed hereon.

*Gregory J. Bileschi*

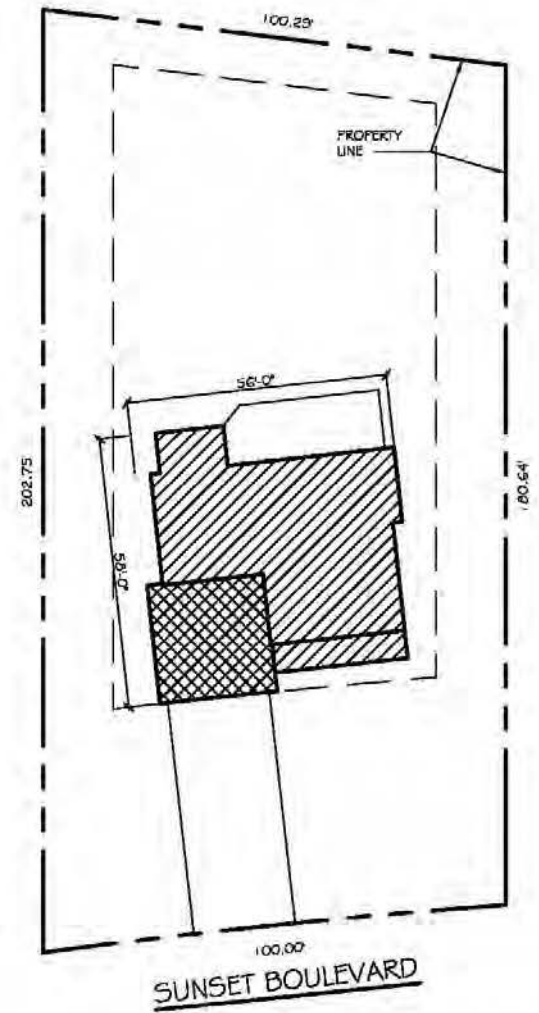
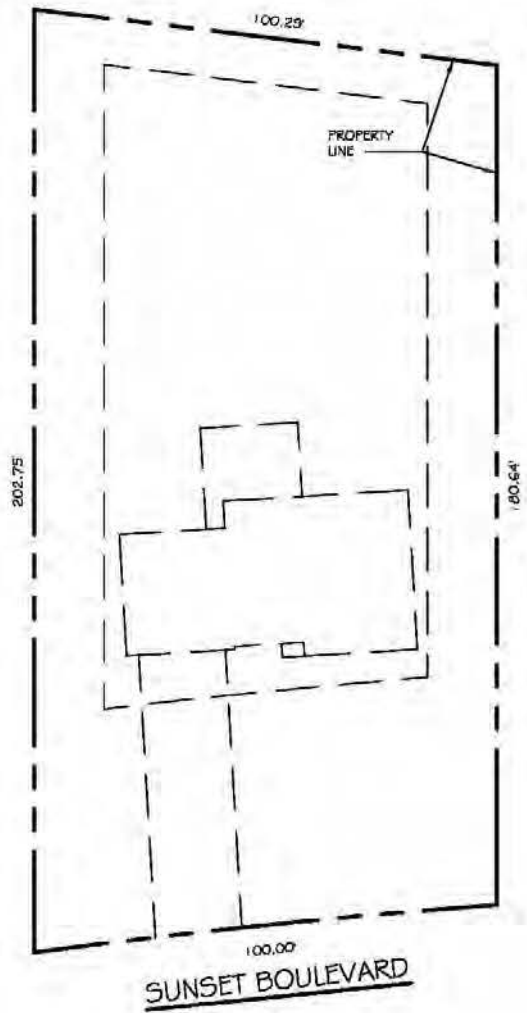
NOTE: Property corners should only be set by a licensed, registered land surveyor.

GREGORY J. BILESCHI, N.Y.S.L.S. # 50342

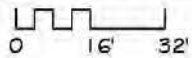
Tax Account No.  
164.100-04-023

TITLE: INSTRUMENT SURVEY MAP





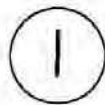
① SITE PLAN - EXISTING



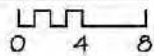
② SITE PLAN - PROPOSED







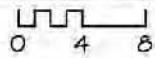
SOUTH ELEVATION



3,180 S.F.



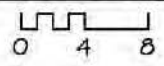
② EAST ELEVATION





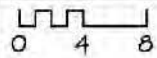


3 NORTH ELEVATION





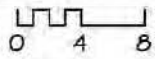
④ WEST ELEVATION



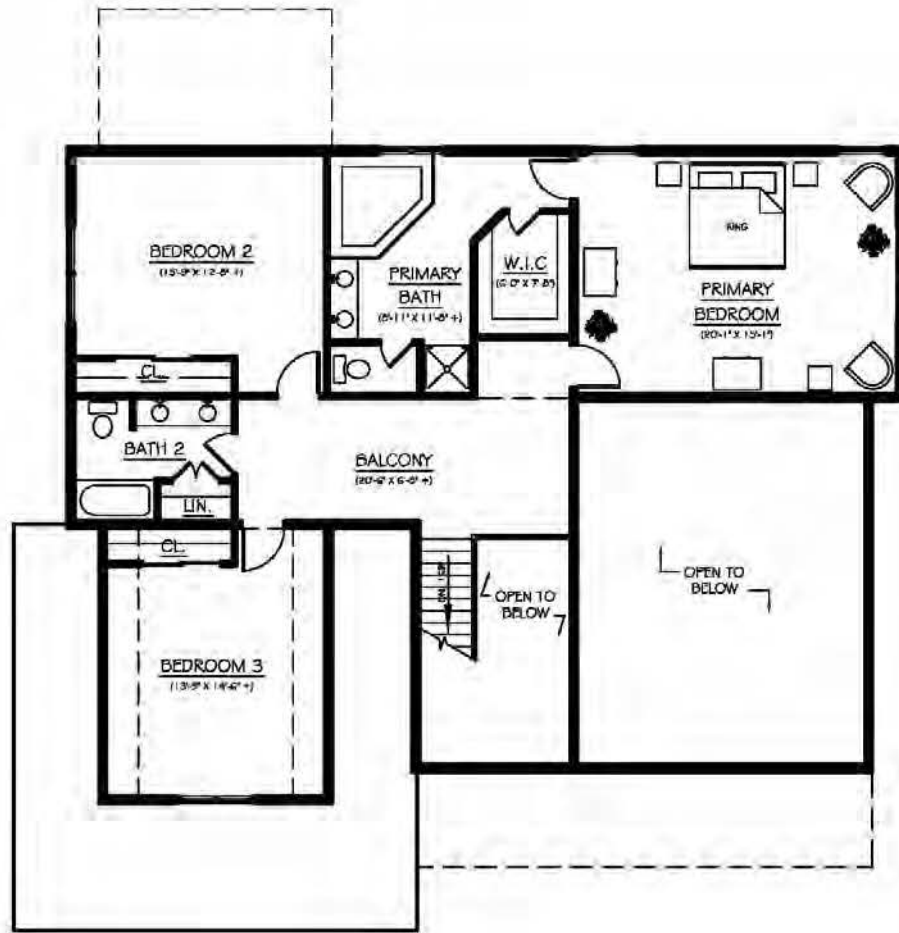




FIRST FLOOR PLAN

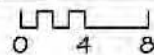


1,819 S.F.

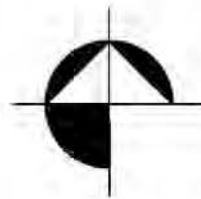


2

SECOND FLOOR PLAN



1,361 S.F.



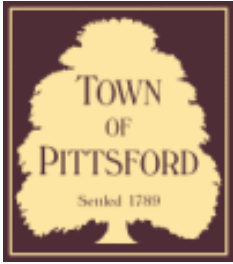












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000029**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 82 Reitz PITTSFORD, NY 14534

**Tax ID Number:** 164.11-2-5

**Zoning District:** RN Residential Neighborhood

**Owner:** Boyce, Martha Cushman

**Applicant:** Stagliano Builders

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of a covered entryway off the front of the house.

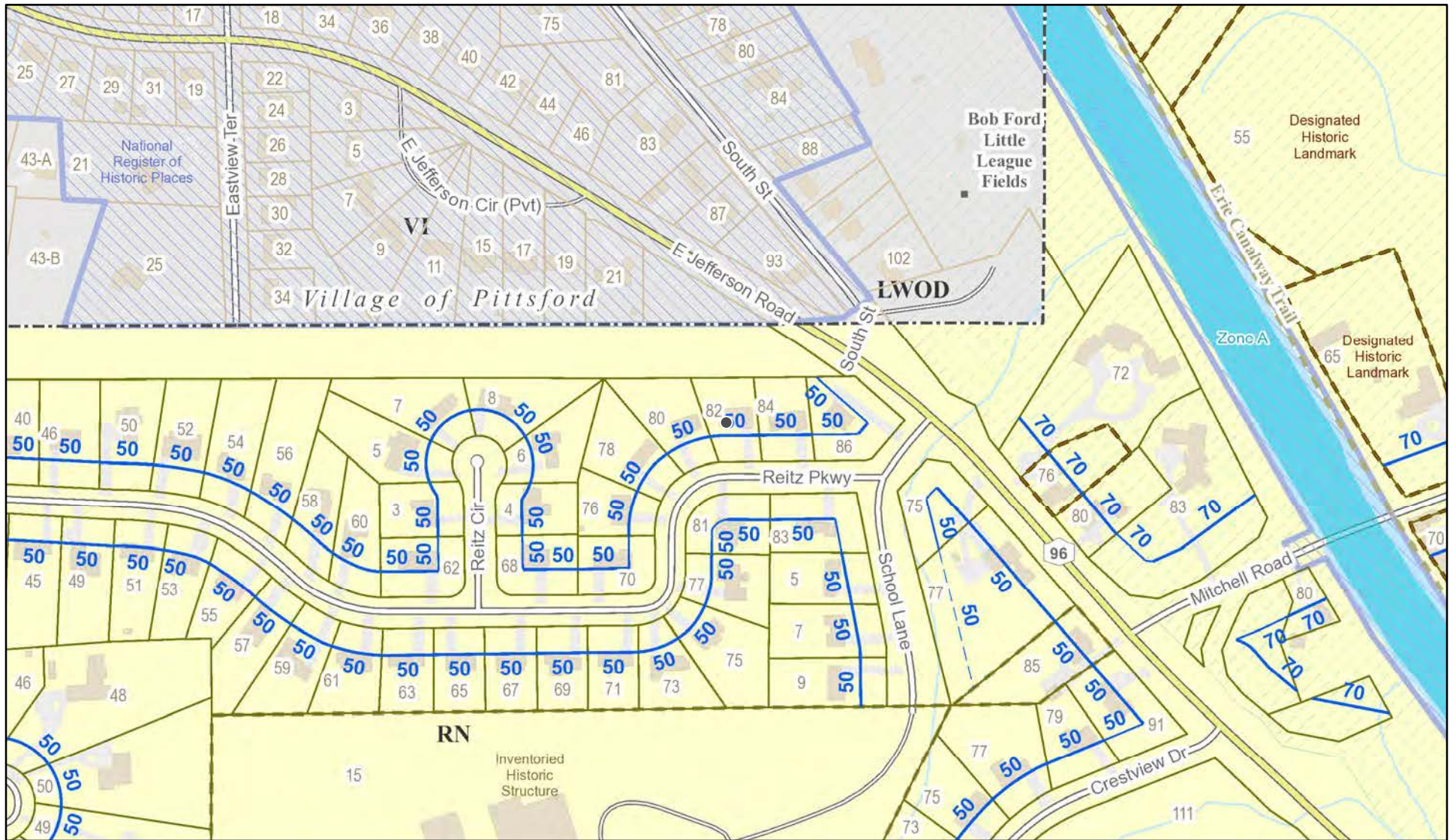
**Meeting Date:** March 23, 2023



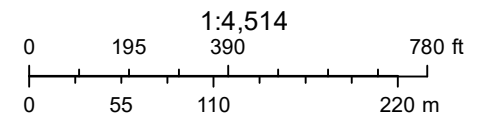




# RN Residential Neighborhood Zoning



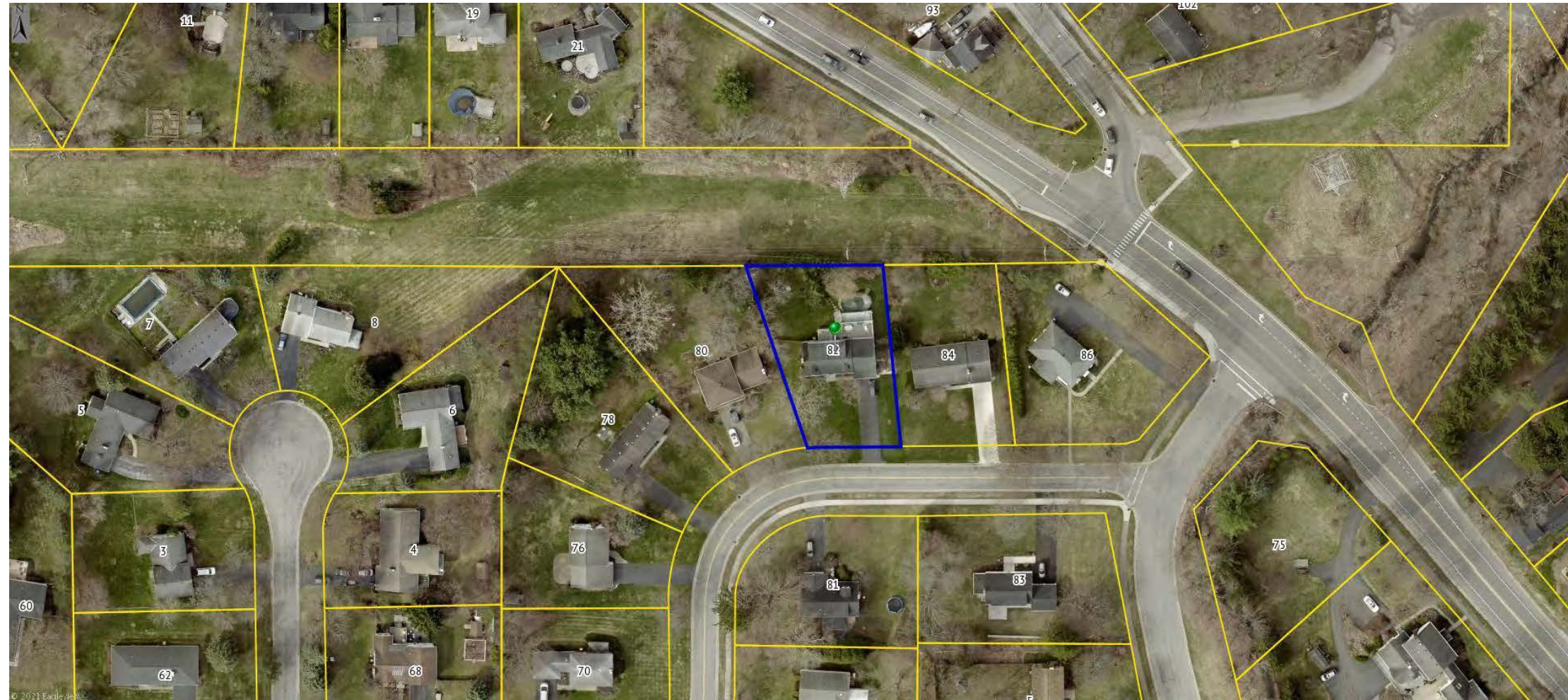
Printed March 7, 2023



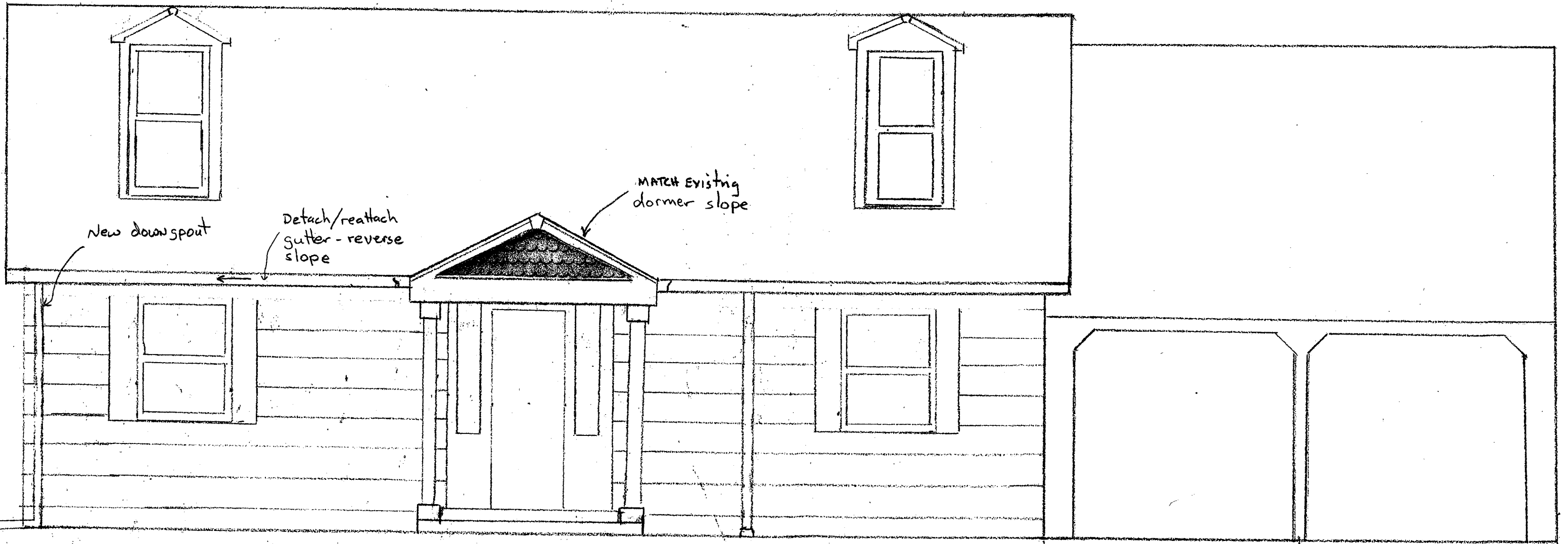
Town of Pittsford GIS

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04/03/2021 - 04/06/2021



Construction Notes:

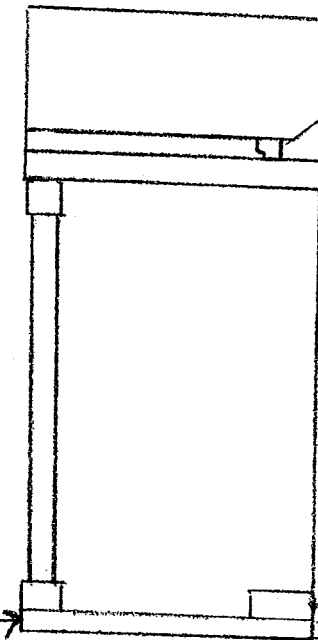
Columns - 6"x6" wood with  
 Vinyl column covers - see exhibit  
 Front face siding - 6" vinyl round  
 siding - see exhibit  
 vaulted ceiling underside - beadboard finish  
 match existing roofing

Front View

Boyce Home 82 Reitz Parkway Pittsford, NY 14534		DRAWN BY <b>JLB</b>
SCALE: 1/4" = 1'-0"	APPROVED BY:	REVISED
DATE: 1-6-2023	Proposed front entrance addition	
		DRAWING NUMBER



Existing front  
entrance steps



Existing House

Boyce Home  
END VIEW

SCALE:  $\frac{1}{4}'' = 1'-0''$

APPROVED BY:

DRAWN BY

JLB

DATE: 1-6-2023

REVISED

DRAWING NUMBER

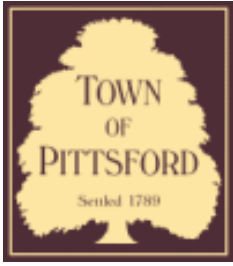












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000031**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 180 Alpine Drive ROCHESTER, NY 14618

**Tax ID Number:** 151.06-2-28

**Zoning District:** RN Residential Neighborhood

**Owner:** Cottrell, Brandon

**Applicant:** Rochester Bath and Kitchen

### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the removal of two windows as part of their kitchen and bath remodel project.

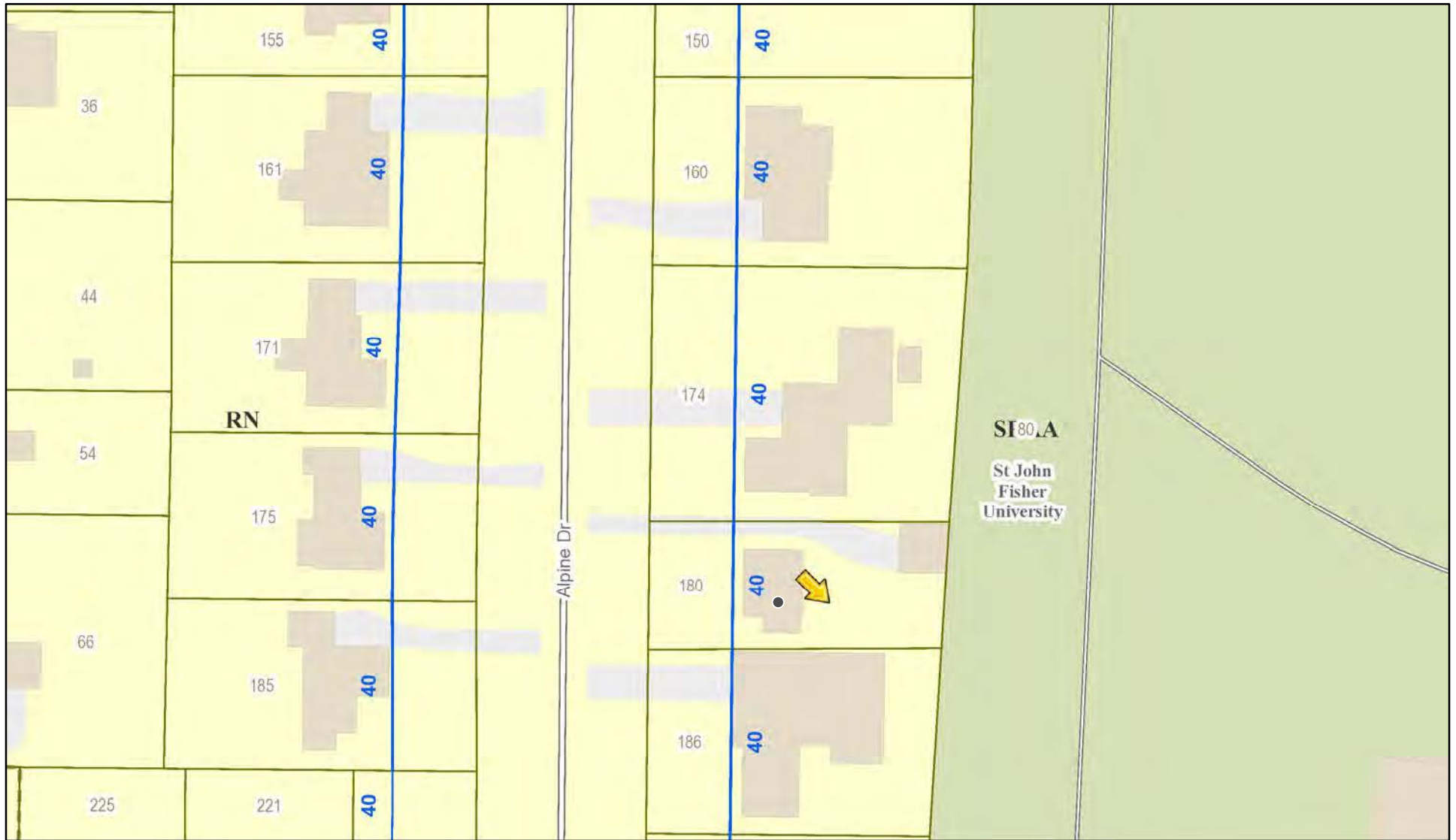
**Meeting Date:** March 23, 2023



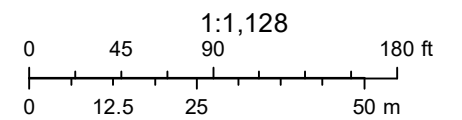
180



# RN Residential Neighborhood Zoning



Printed March 16, 2023



Town of Pittsford GIS

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80

450 Ft.

150

160

174

180

186

200

202

208

145

155

161

171

175

185

221

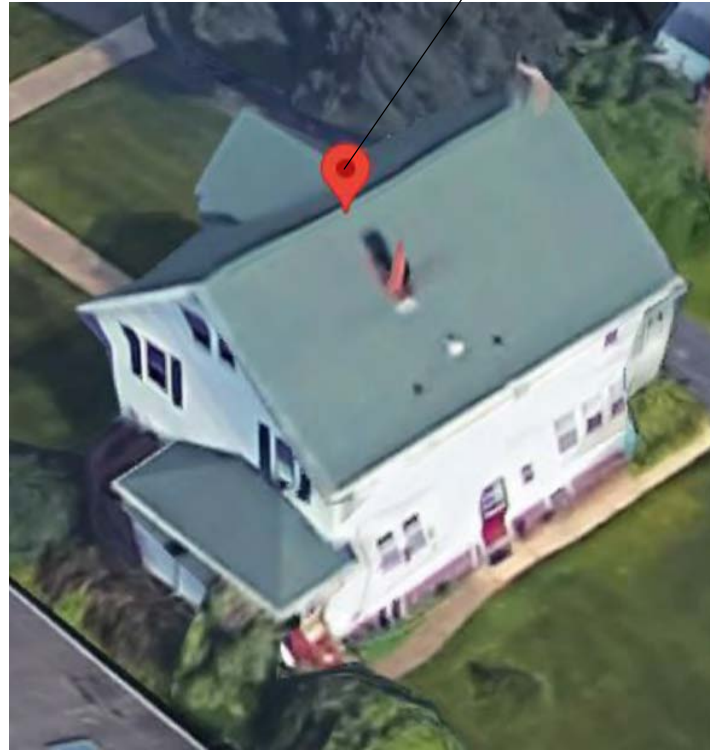
222

04/03/2021

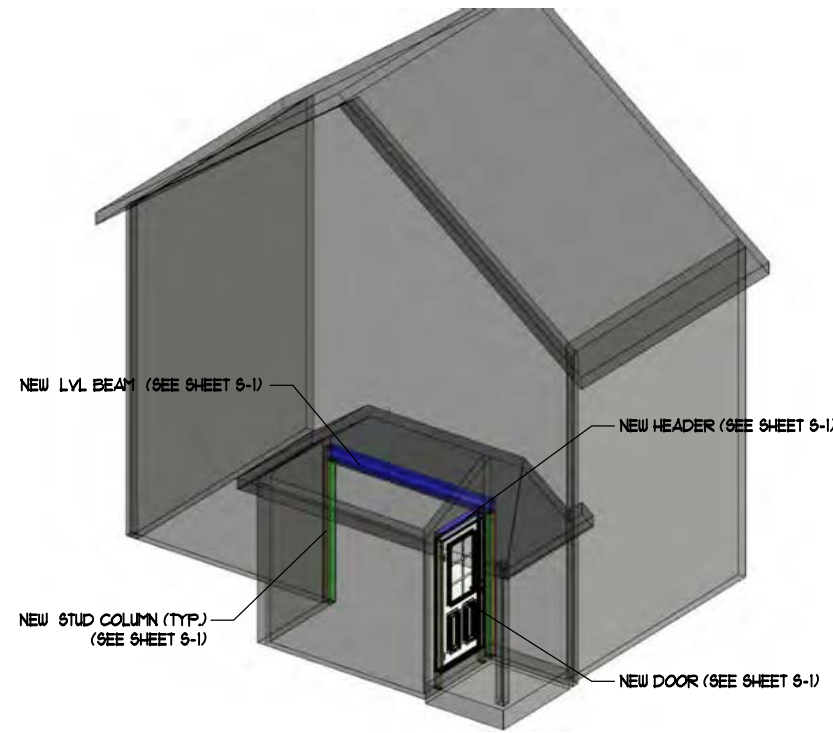
© All EagleView Technology Corporation



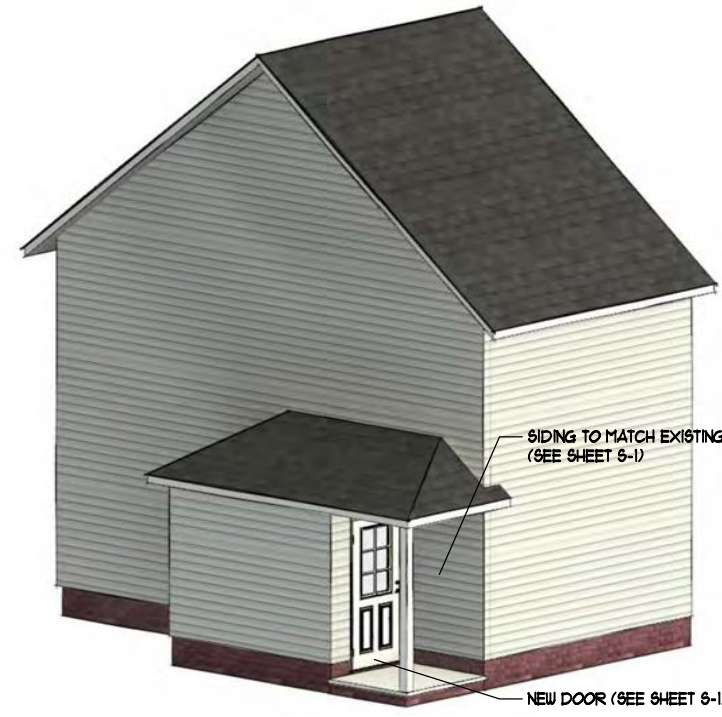
PROJECT LOCATION:  
180 ALPINE DRIVE  
ROCHESTER, NY 14618  
(IMAGE SOURCE: GOOGLE MAPS)



1 **AERIAL PERSPECTIVE**  
SCALE: N.T.S.



2 **STRUCTURAL PERSPECTIVE**  
SCALE: N.T.S.



3 **RENDERED PERSPECTIVE**  
SCALE: N.T.S.



4 **ELEVATION AT NEW DOOR**  
SCALE: N.T.S.



**Torchia Structural Engineering  
& Design P.C.**

625 Panorama Trail Phone: 585-385-7630  
Suite #2210 Fax: 585-385-6386  
Rochester, NY 14625 www.TSE123.com

## Interior Alterations to: The Cottrell Residence

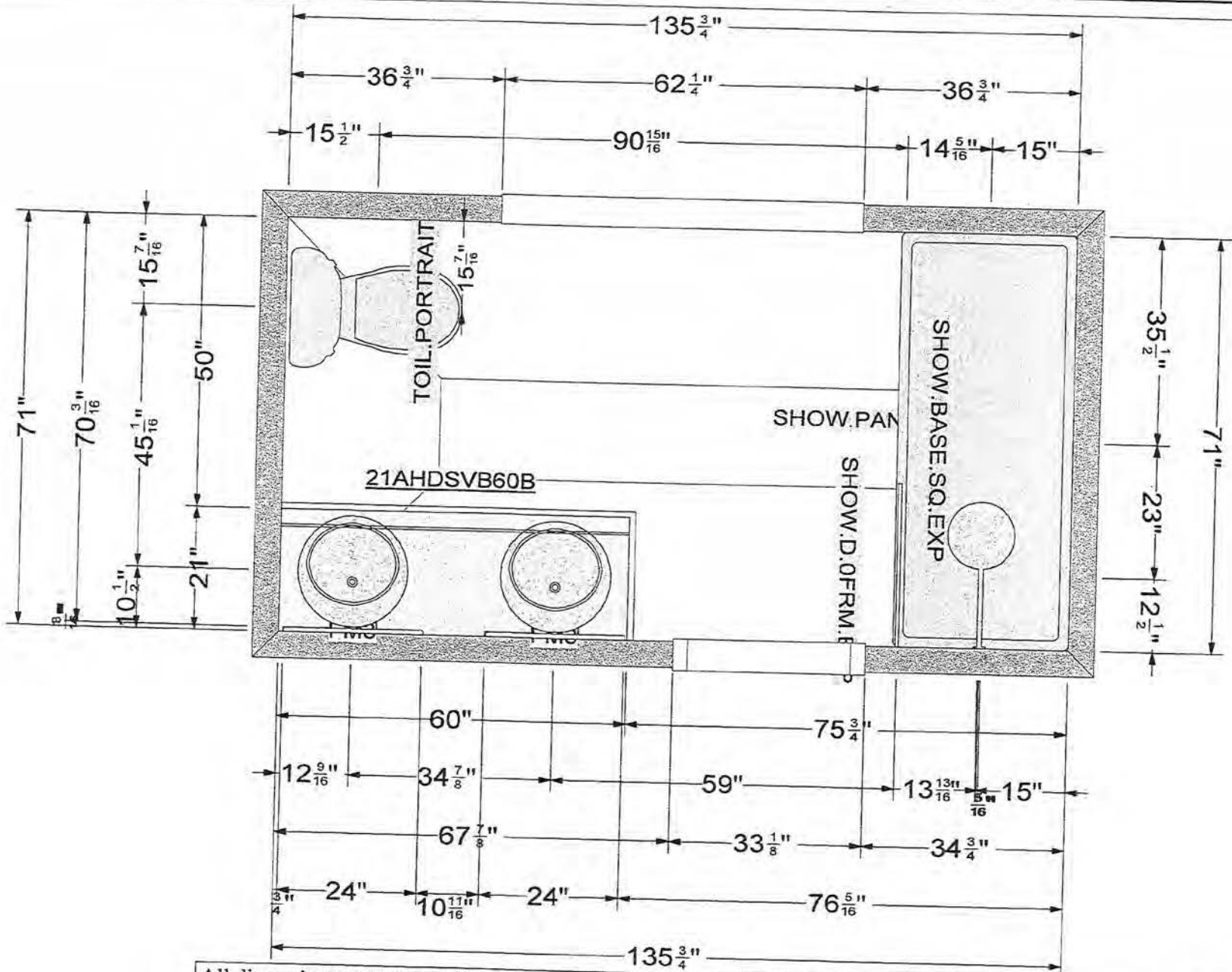
180 ALPINE DRIVE  
ROCHESTER, NY 14618

# S-2

03/13/2022  
TSE Project # 22-08-13





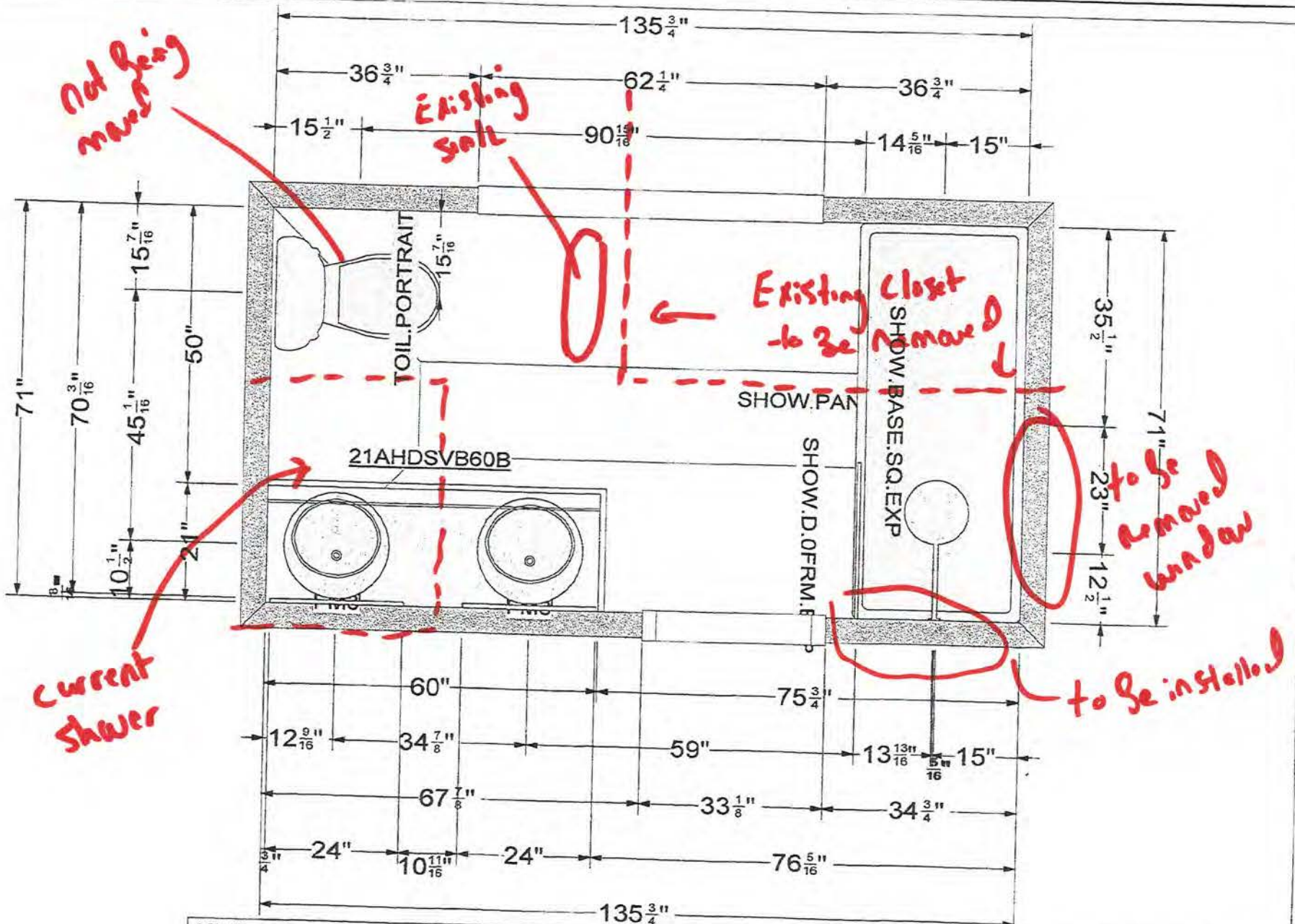


All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 7/11/2022  
Printed: 3/2/2023



All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

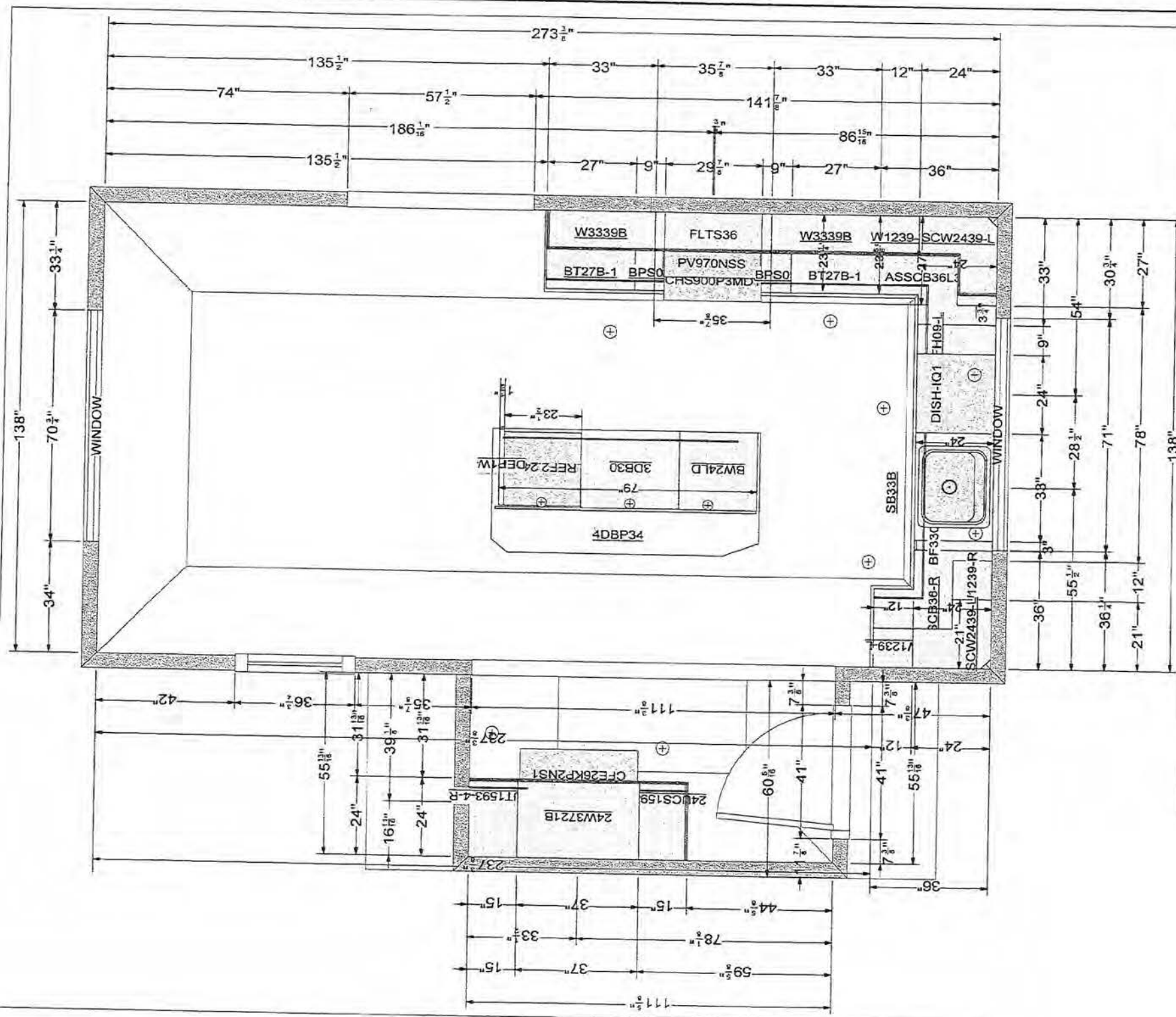
2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 7/11/2022  
Printed: 3/2/2023

Master bath





All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 8/26/2022  
Printed: 3/2/2023

Cottrell Kitchen YT walls removed v2 SOLD with final changes

All

Drawing #: I No Scale.



this window to be removed and filled, exterior to match existing cedar-shake

to be replaced with one window of same size as existing side by side window

new door to be installed here

to be replaced with "Bump-out" window, will be slightly wider and slightly shorter

this door to be removed and filled in, exterior to match existing cedar-shake





to be removed



new door location

to be removed



to be removed







interior of  
to be replaced w/ "bumpout" window  
that is slightly wider and slightly shorter

existing side by side to  
be replaced w/ one window  
that is same total size  
as existing

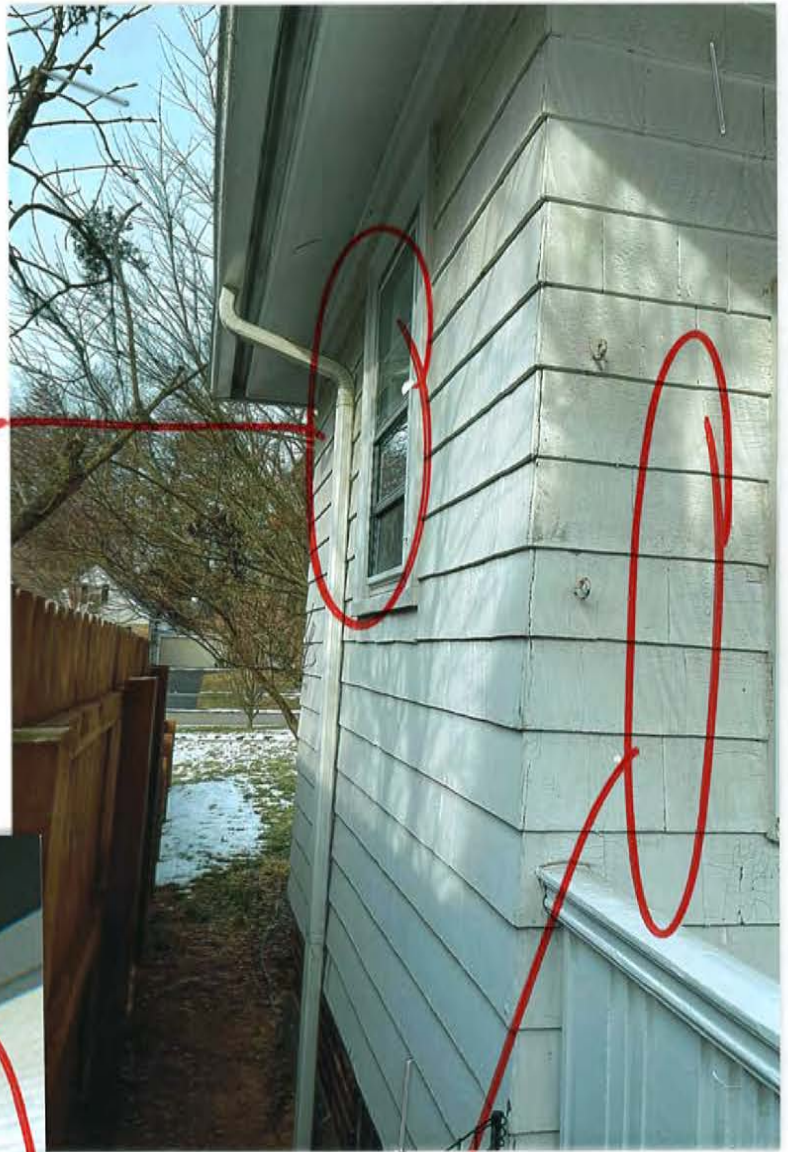


location of new  
door

exterior of existing  
window being replaced  
w/ bumpout detailed  
above



to be removed  
window



location of new door





Alternate view of windows to  
 be removed, filled in w/  
 cedar shake siding to match

to be removed window,  
 to be filled in, with  
 cedar shake siding  
 to match



to be removed windows,  
 to be filled in, with  
 cedar-shake siding to  
 match existing

Note: with new fence and when tree is  
 in bloom, neither of these windows  
 are visible from the street





side by side window



to remove and be filled in



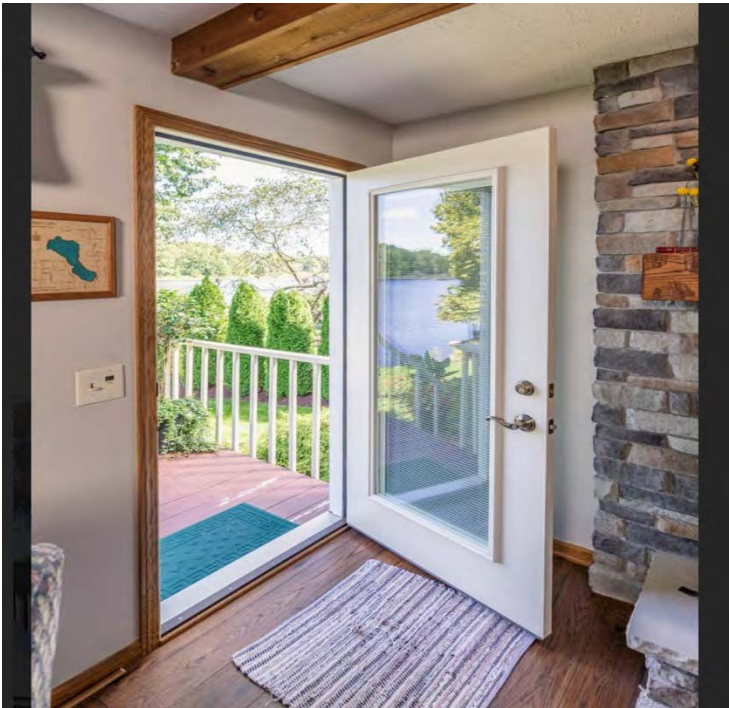
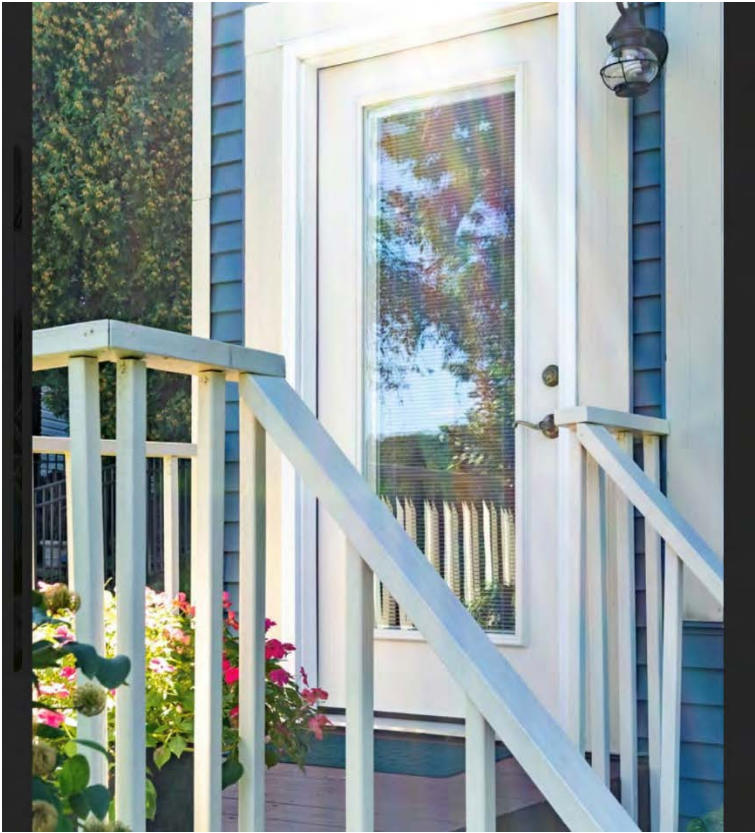
to be replaced w/ window of same size

non-load bearing wall to be removed

wall to be built here in enlarge master bathroom

Note: "side by side" window to be replaced w/ one window the same size of existing side by side

Examples of New Door Style:









This is the style window that we are installing in the kitchen, except that the “lattice” or “grids” shown on this photo will not be on our window.





This is the style window that we are installing in the master/upstairs bathroom.

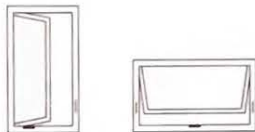
# Casement and Awning



## A better view for optimal performance

The Infinity Casement and Infinity Awning offer unlimited views with a slim profile and a sash that smoothly cranks open to invite the outdoors in. Our engineers optimized the design to tightly seal out wind and water for energy-efficient performance. Choose the Infinity Awning when you want to maximize light in a space that requires you to reach to open a window – especially over a kitchen sink.

Designed with Ultrex® fiberglass, the Infinity Casement and Awning feature multi-point locking systems and folding handles that tuck conveniently out of the way of most window treatments for a clean, finished look.



CASEMENT

AWNING

EASY WASH HINGE



CLEAR VIEW HINGE<sup>1</sup>



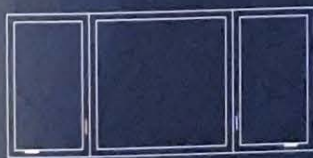
## Casement hinges

The standard Easy Wash® hinge is just that – a design that lets you easily clean the window both inside and out. The optional Clear View® hinge provides for an expanded viewing area.

## Multiple assembly & style options<sup>2</sup>



TWO-WIDE  
MULL



PICTURE UNIT  
MULL



PICTURE UNIT  
MULL



ROUND TOP  
MULL



SIMULATED  
CHECKRAIL

<sup>1</sup> Clear View hinge availability is based on window width.

<sup>2</sup> Available with matching picture window. Ask about additional assembly options for your home.



# Colors and Finishes



## Exterior

We use a proprietary acrylic finish on our Ultrex® fiberglass that's virtually impermeable to help protect your investment from wind, weather and color fading.



STONE WHITE



SIERRA



CASHMERE



PEBBLE GRAY



BRONZE



BAHAMA BROWN



EBONY



## Interior

We use the same acrylic finish on our interior as on our exterior for superior performance. Or choose our EverWood® option for the classic appeal of wood.



STONE WHITE



SIERRA <sup>1</sup>



EVERWOOD



BRONZE <sup>2</sup>



EBONY <sup>3</sup>

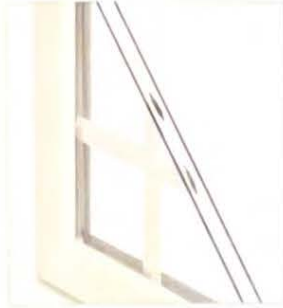
<sup>1</sup> Sierra interior is not available with Ebony exterior.  
<sup>2</sup> Bronze interior is only available with Bronze exterior.  
<sup>3</sup> Ebony interior is only available with Ebony exterior.

# Grilles and Divided Lites

SIMULATED  
DIVIDED LITES



GRILLES  
BETWEEN THE GLASS



## Simulated Divided Lites<sup>1</sup>

Our Simulated-Divided-Lite (SDL) bars are built with Ultrex® fiberglass. Permanently adhered in our factory to the outside surfaces of the glass, SDLs have a spacer bar between the panes of glass to offer the traditional look of divided lites.

## Grilles Between the Glass<sup>2</sup>

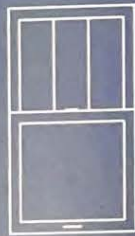
Located between the panes of insulating glass, Grilles-Between-the-Glass (GBG) combine easy cleaning with the timeless detail of a grille pattern.

## Patterns

We offer various divided lite patterns so you can replicate the look of your original windows and doors – or add new architectural interest to your home.<sup>3</sup>



STANDARD  
RECTANGULAR



RECTANGULAR  
ONE-HIGH



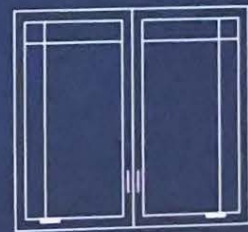
PRAIRIE  
SIX-LITE



PRAIRIE  
NINE-LITE



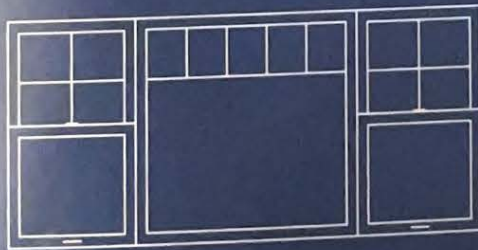
COTTAGE  
ONE-HIGH



PRAIRIE FOUR-LITE  
ONE-HIGH



PRAIRIE  
SIX-LITE



STANDARD  
RECTANGULAR

COTTAGE  
ONE-HIGH

STANDARD  
RECTANGULAR



OPEN  
HUB SUNBURST



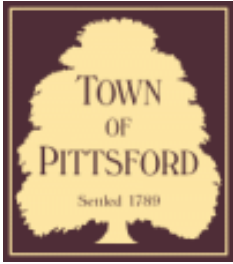
CLOSED  
HUB SUNBURST

<sup>1</sup> Infinity SDL bars are color-matched to your window or door's interior and exterior.

<sup>2</sup> Infinity GBGs are color-matched to your window or door's interior and exterior. EverWood® interior finish is paired with Satin Taupe GBGs.

<sup>3</sup> Ask about additional patterns and style options.





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000026**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 6 Black Wood Circle PITTSFORD, NY 14534

**Tax ID Number:** 178.03-5-28

**Zoning District:** IZ Incentive Zoning

**Owner:** Wilshire Hill LLC

**Applicant:** Pride Mark Homes

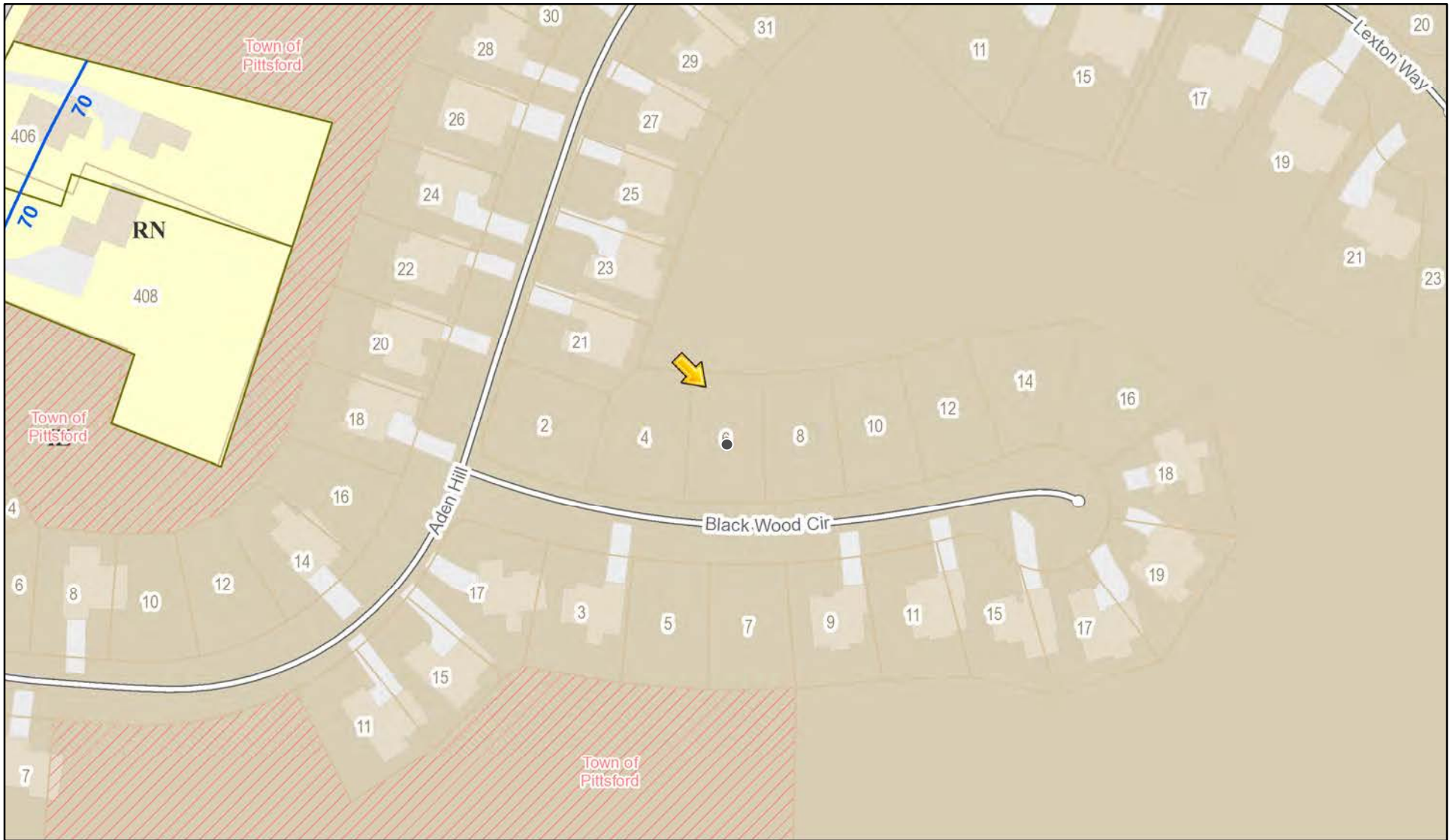
### Application Type:

- |   |   |
|---|---|
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| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

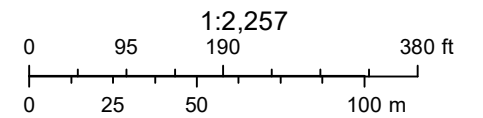
**Project Description:** Applicant is requesting design review for the construction of an approximately 2036 SF new single story family home in the Wilshire Hill subdivision

**Meeting Date:** March 23, 2023

# RN Residential Neighborhood Zoning



Printed March 7, 2023



Town of Pittsford GIS

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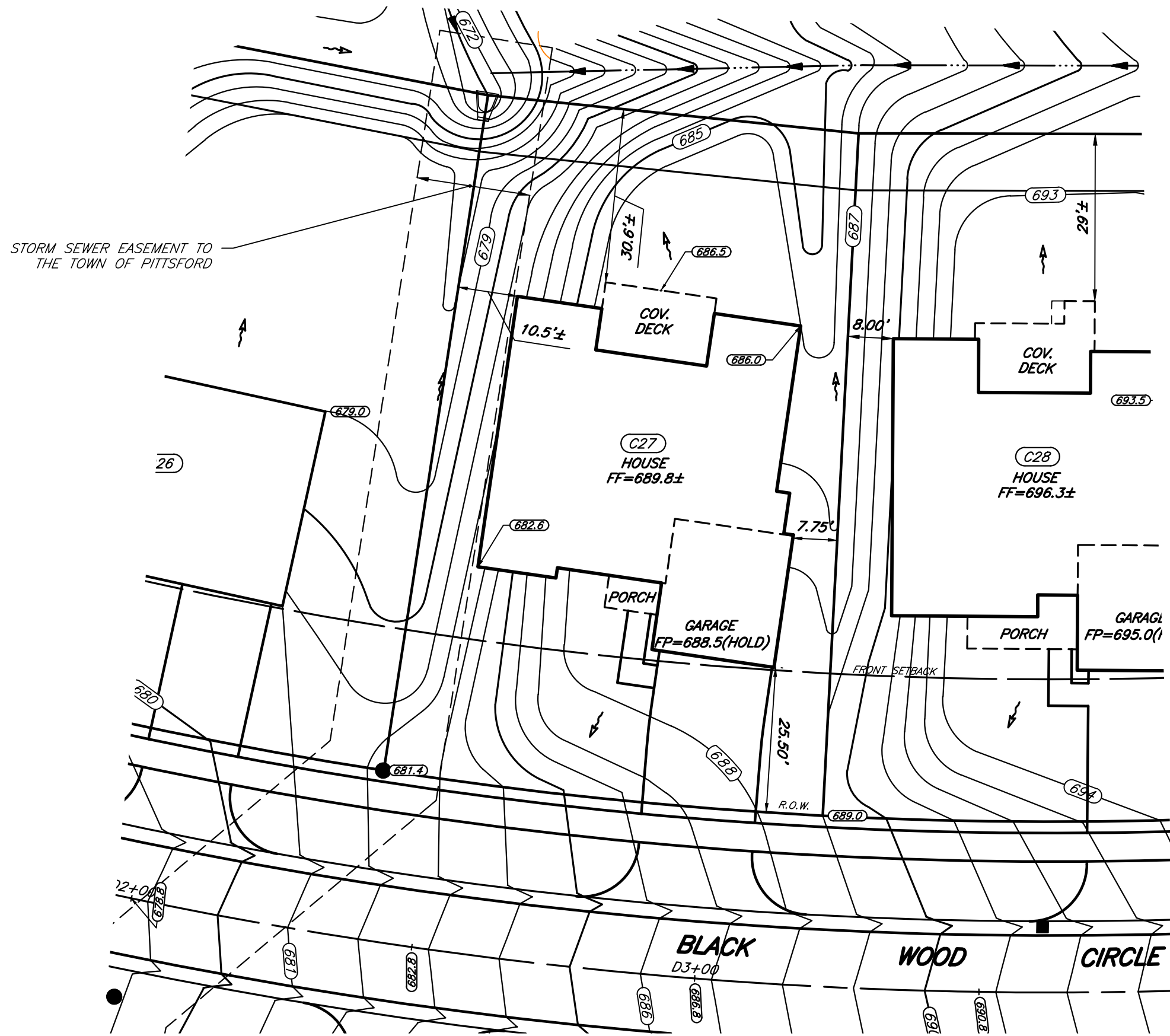




04/03/2021 - 04/06/2021



File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C27\LOT C27.dwg, Plot Date: 2/27/2023, By: RICHARD TIEDE



TITLE:

**PLOT PLAN - LOT C27**

**WILSHIRE HILL - SECTION 3**

TOWN OF PITTSFORD MONROE COUNTY NEW YORK



JOB NO: 0423-17  
 SCALE: 1" = 20'  
 DRAWN: RJT  
 DESIGNED: RJT  
 DATE: 2/27/23

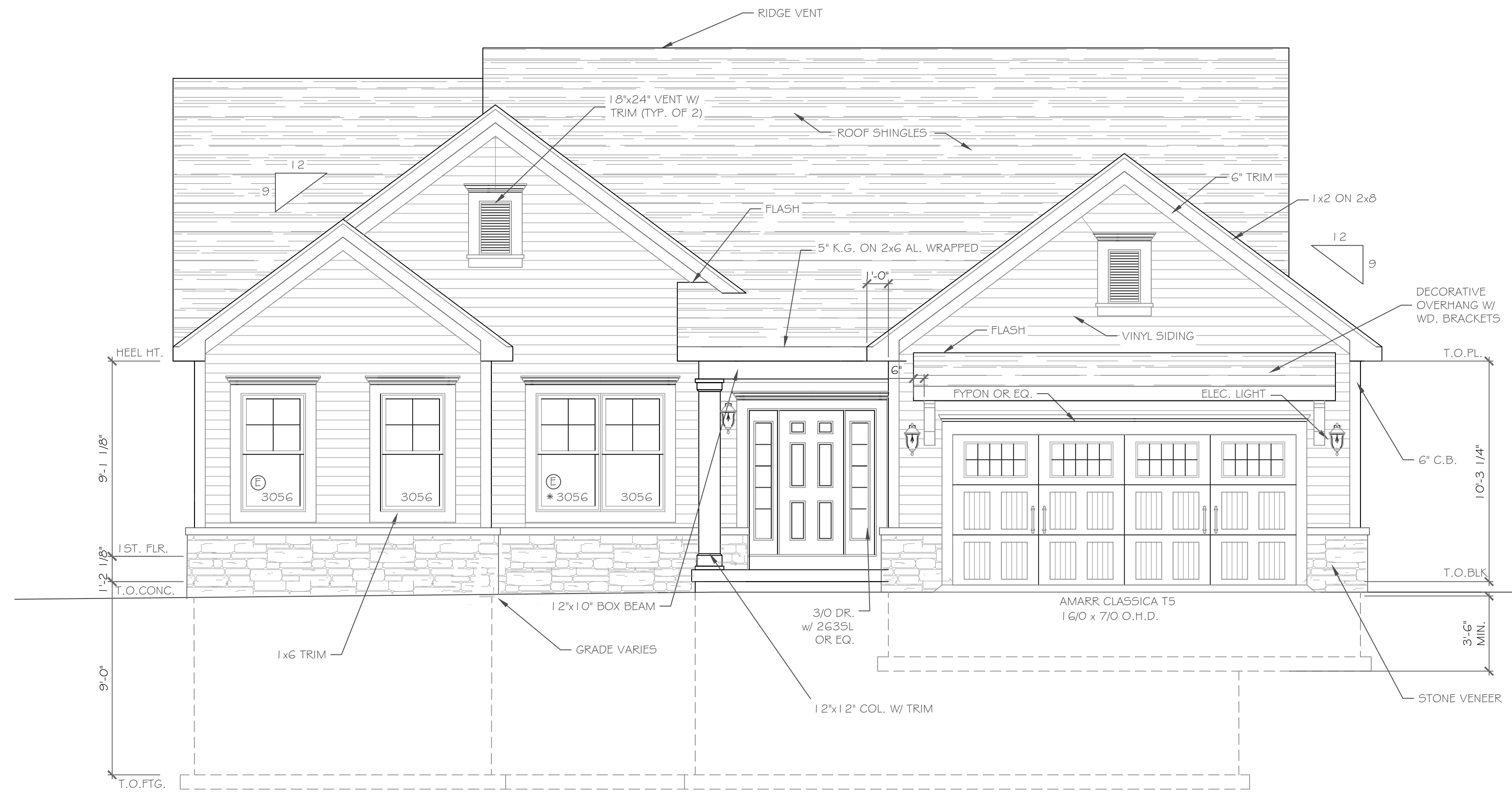
SETBACK	REQUIRED	PROVIDED
FRONT	25'	25.50'
SIDE	7.5'	7.75'
REAR	10'	30.6'±



# DESIGN CRITERIA:

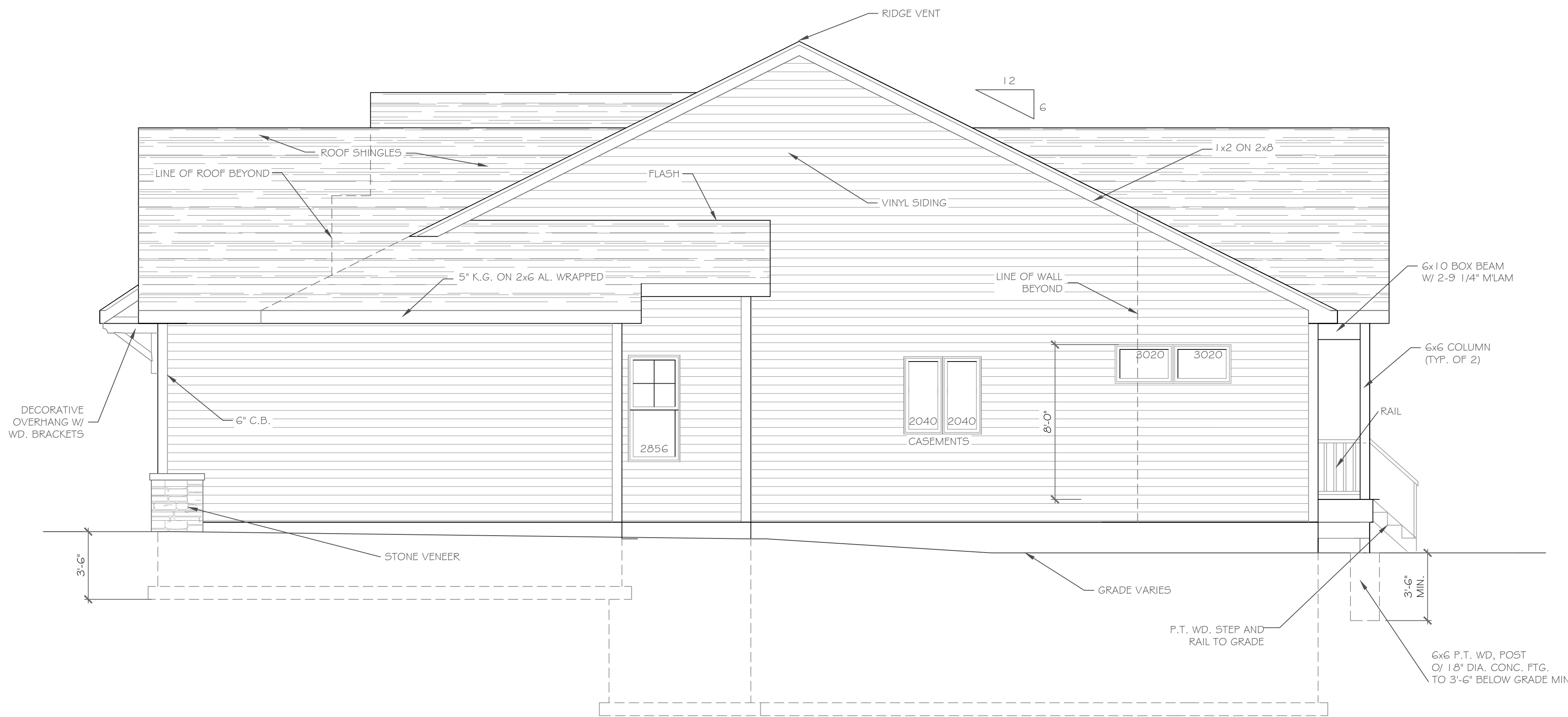
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2036 S.F.

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
 - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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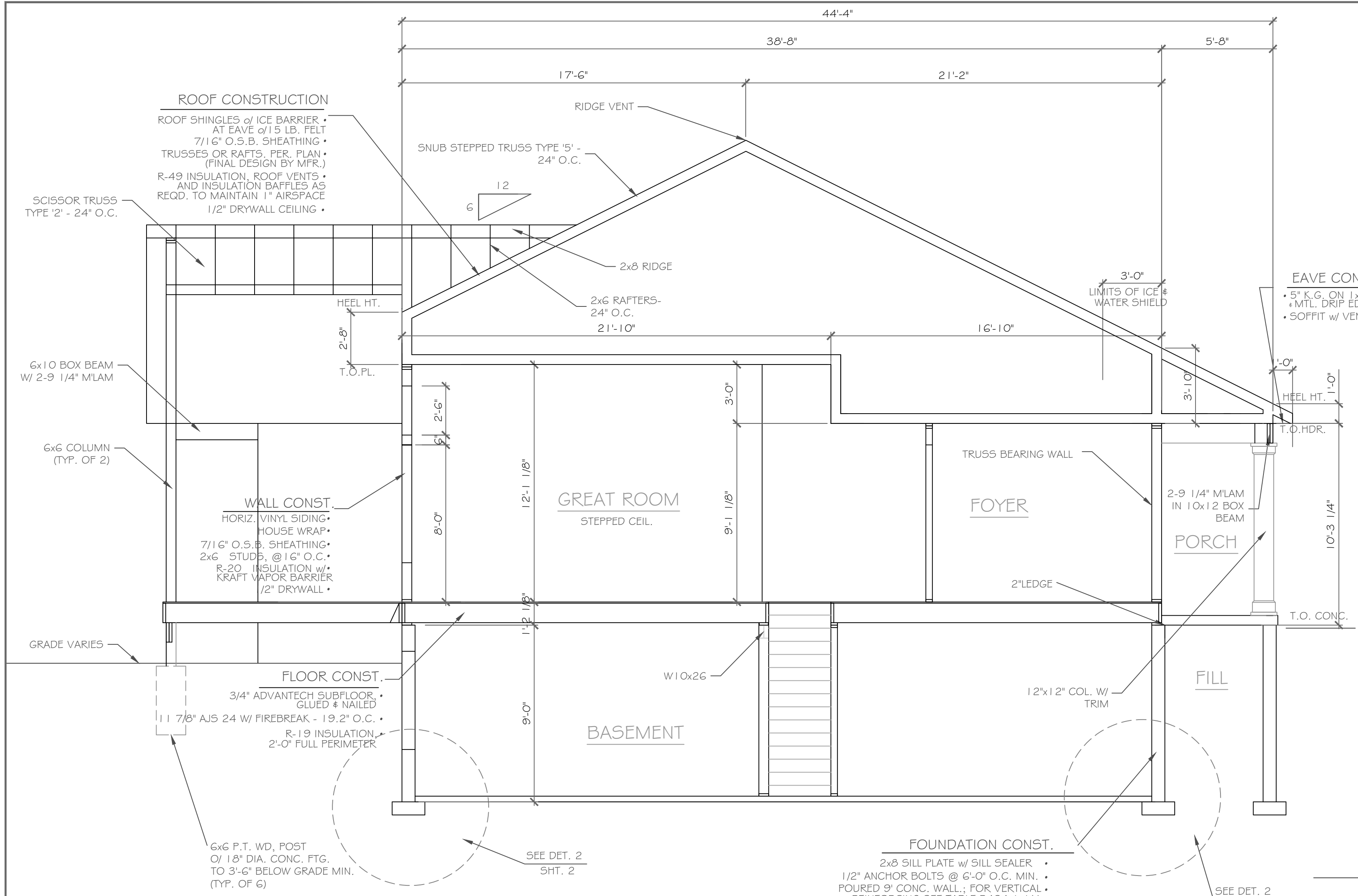
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations	PHASE: Construction Documents
	DATE: February 27, 2023

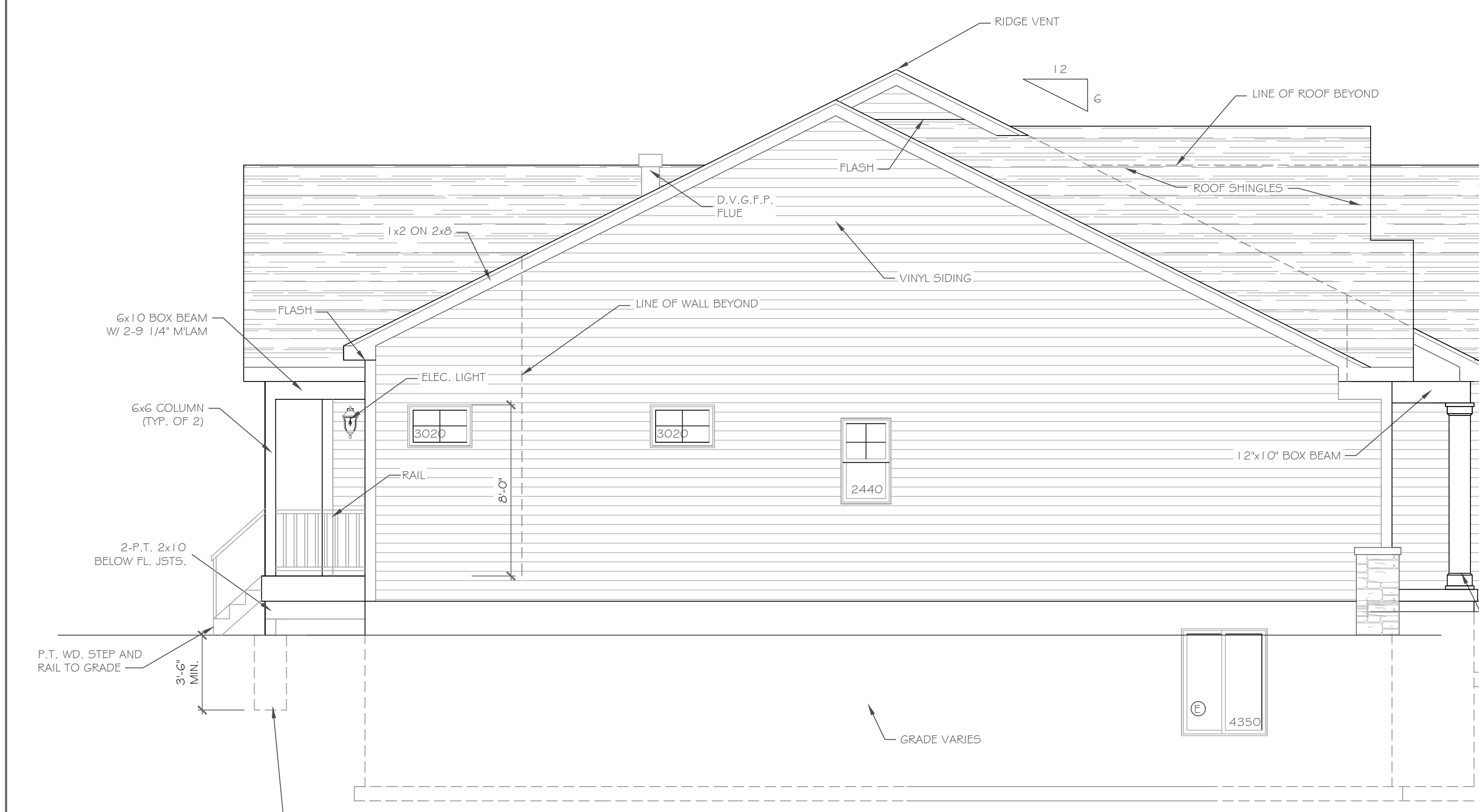
PROJECT: Lot 27C Wishire Hill Pittsford, New York	CLIENT: Pride Mark Homes, Inc.
JOB NO. - A23-007	DATE: February 27, 2023

**CKH**  
 architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontier.net

DRAWING NO. -  
**A-1**



**A CROSS SECTION**  
 1/4" = 1'-0"



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REVISIONS-	NO.	DATE	DESCRIPTION

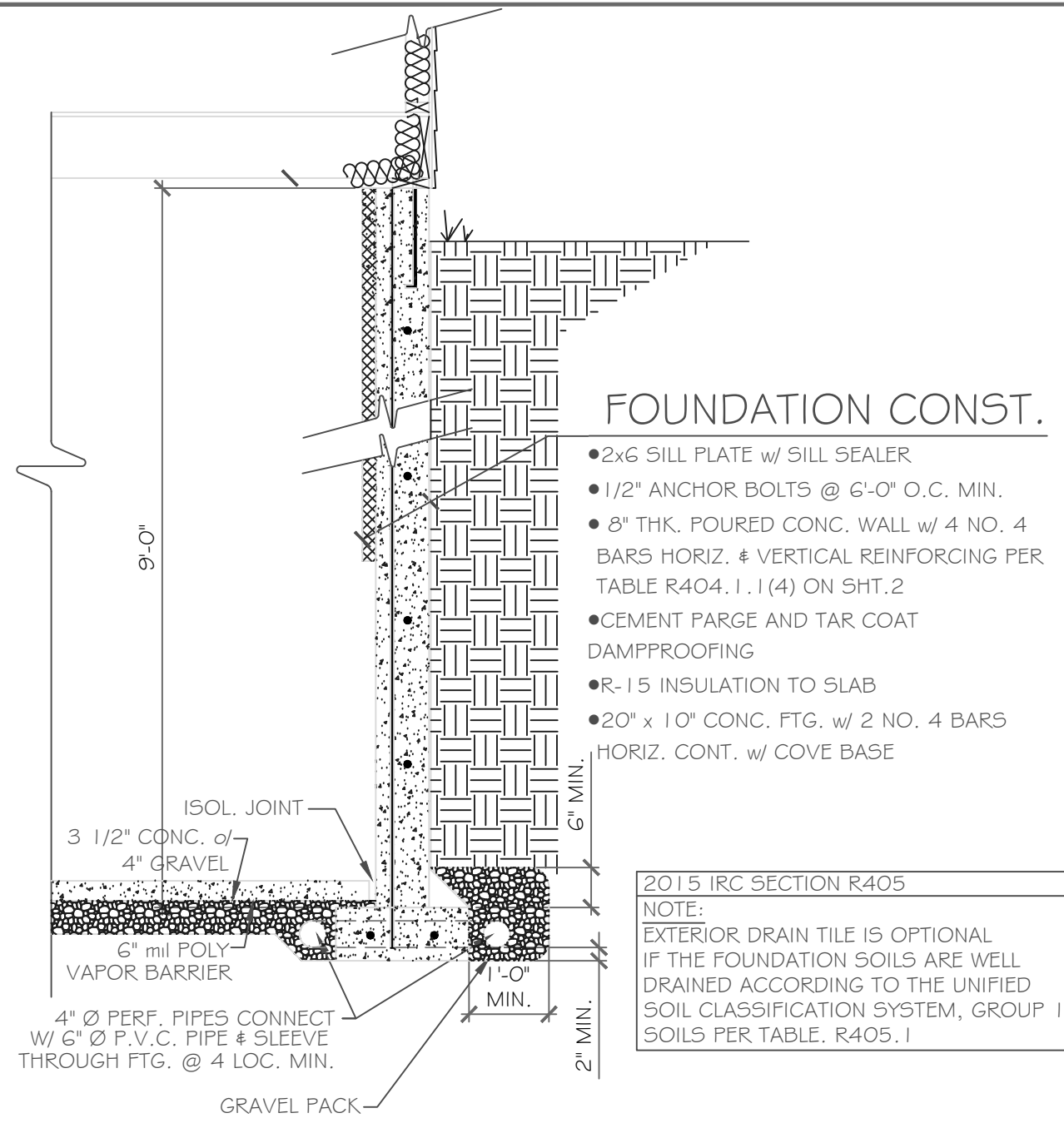
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**PHASE:** Construction Documents

**PROJECT:** Lot 27C Wishire Hill  
 Pittsford, New York  
**CLIENT:** Pride Mark Homes, Inc.  
**DATE:** February 27, 2023  
**JOB NO.:** A23-007

**CKH architecture**  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontier.net

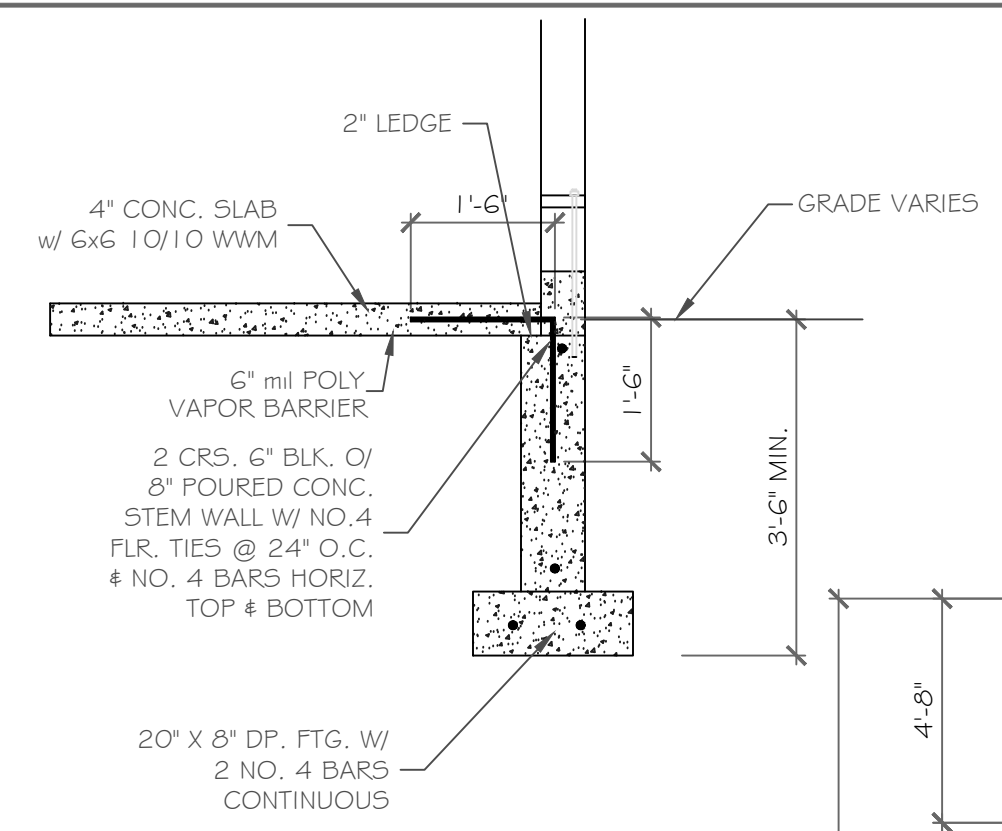
**DRAWING NO.:** A-5





**FOUNDATION CONST.**

- 2x6 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- 8" THK. POURED CONC. WALL w/ 4 NO. 4 BARS HORIZ. & VERTICAL REINFORCING PER TABLE R404.1.1 (4) ON SHT. 2
- CEMENT FARGE AND TAR COAT DAMPPROOFING
- R-15 INSULATION TO SLAB
- 20" x 10" CONC. FTG. w/ 2 NO. 4 BARS HORIZ. CONT. w/ COVE BASE

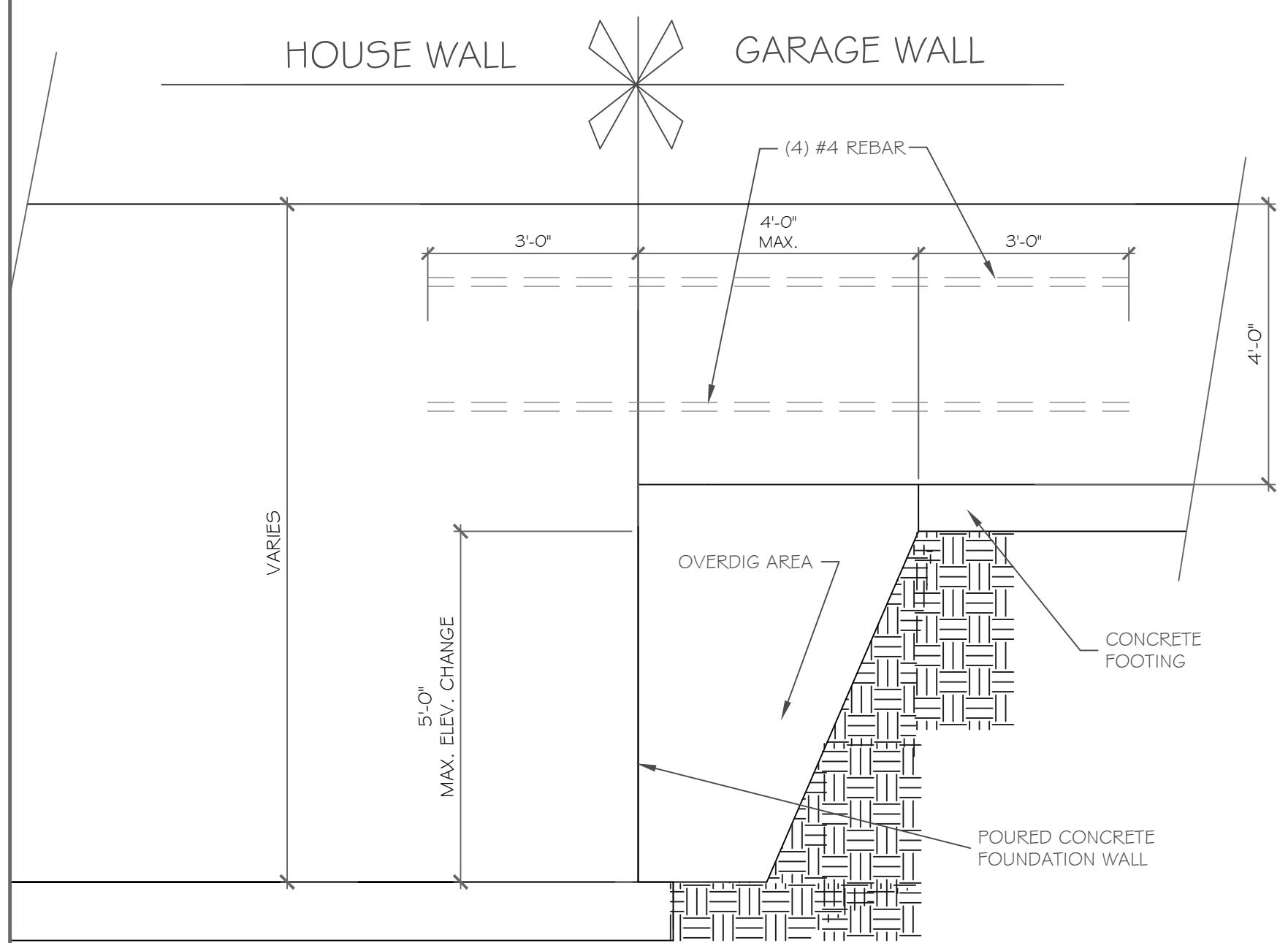


**GARAGE WALL DETAIL**

SCALE: 1/2" = 1'-0"

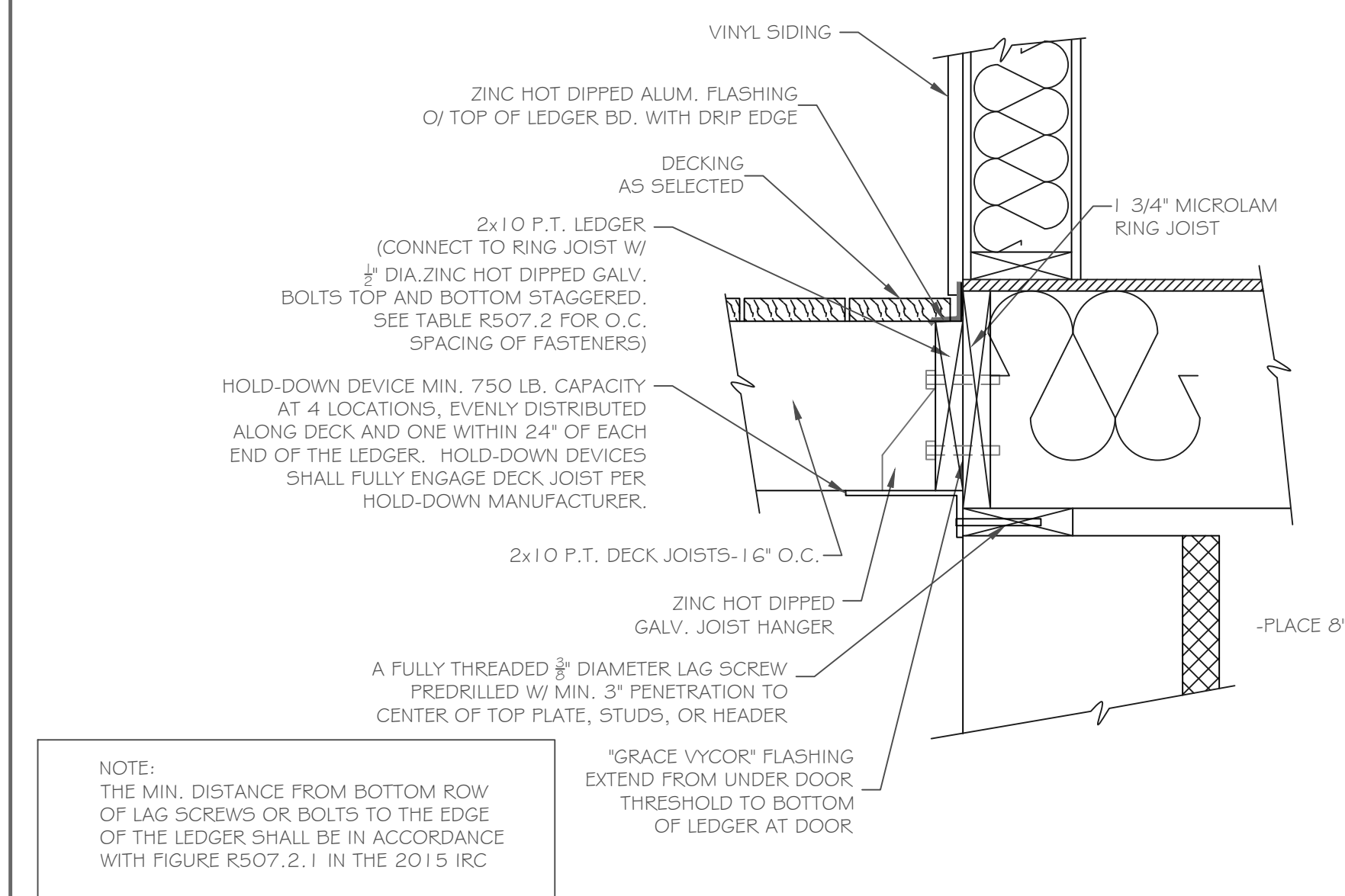
**TYPICAL POURED WALL DETAILS**

SCALE: 1/2" = 1'-0"



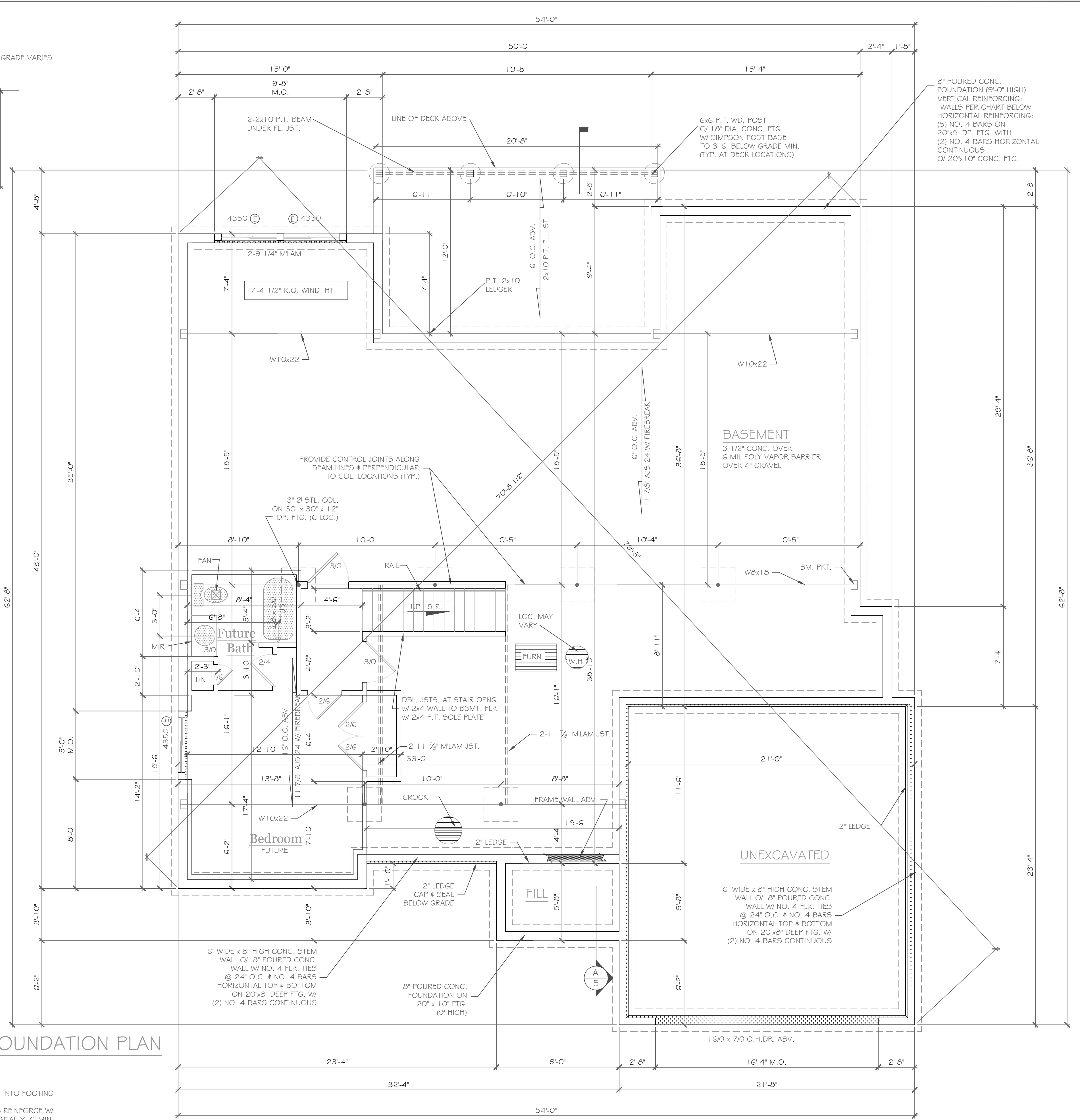
**POURED WALL JUMP FOOTING DETAIL**

SCALE: 1/2" = 1'-0"



**DECK CONNECTION TO DWELLING**

SCALE: 1/2" = 1'-0"



**BASEMENT & FOUNDATION PLAN**

1/4" = 1'-0"

NOTE: PROVIDE FROST FTG. BELOW DOORS AND WINDOWS

NOTE: PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING

PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. BLK. LEGEND:**

[Symbol]	ELEV. = 0'
[Symbol]	ELEV. = (-) 8"
[Symbol]	ELEV. = (-) 6'-8"

**PARTIAL TABLE R404.1.2(b)**  
NOMINAL FLAT BASEMENT WALLS (p,c,d,e,f,h,i,k,n,o.)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(a) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING(INCHES)			
		Soil classes(g) & design lateral soil (psf per foot of depth)			
		GW, GP, SW and SP 30 soils	GM, GC, SM, SM-SC and ML 45 soils	SH, ML, CL and inorganic CL 60 soils	NR
4	4	NR	NR	NR	NR
5	5	NR (i)	NR	NR	NR
6	6	NR	#5 at 37" o.c.	#6 at 38" o.c.	#6 at 39" o.c.
8	8	#5 at 41" o.c.	#6 at 38" o.c.	#6 at 29" o.c.	#6 at 38" o.c.
9	9	#6 at 46" o.c.	#6 at 30" o.c.	#6 at 23" o.c.	#6 at 38" o.c.

- a. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi
- b. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(9).
- c. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4 @ 48" o.c.
- d. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.
- e. Interpolation is not permitted.
- f. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 1.0 percent of the wall thickness or 3/8".
- g. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
- h. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote l or m.
- i. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
- j. See Table R603.3 for tolerance from nominal thickness permitted for flat walls.
- k. The use of this Table shall be prohibited for soil classifications not shown.

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**REVISIONS:**

NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
Basement & Foundation Plan

**PROJECT:**  
Lot 27C Wishire Hill  
Pittsford, New York

**CLIENT:**  
Pride Mark Homes, Inc.

**PHASE:**  
Construction Documents

**DATE:**  
February 27, 2023

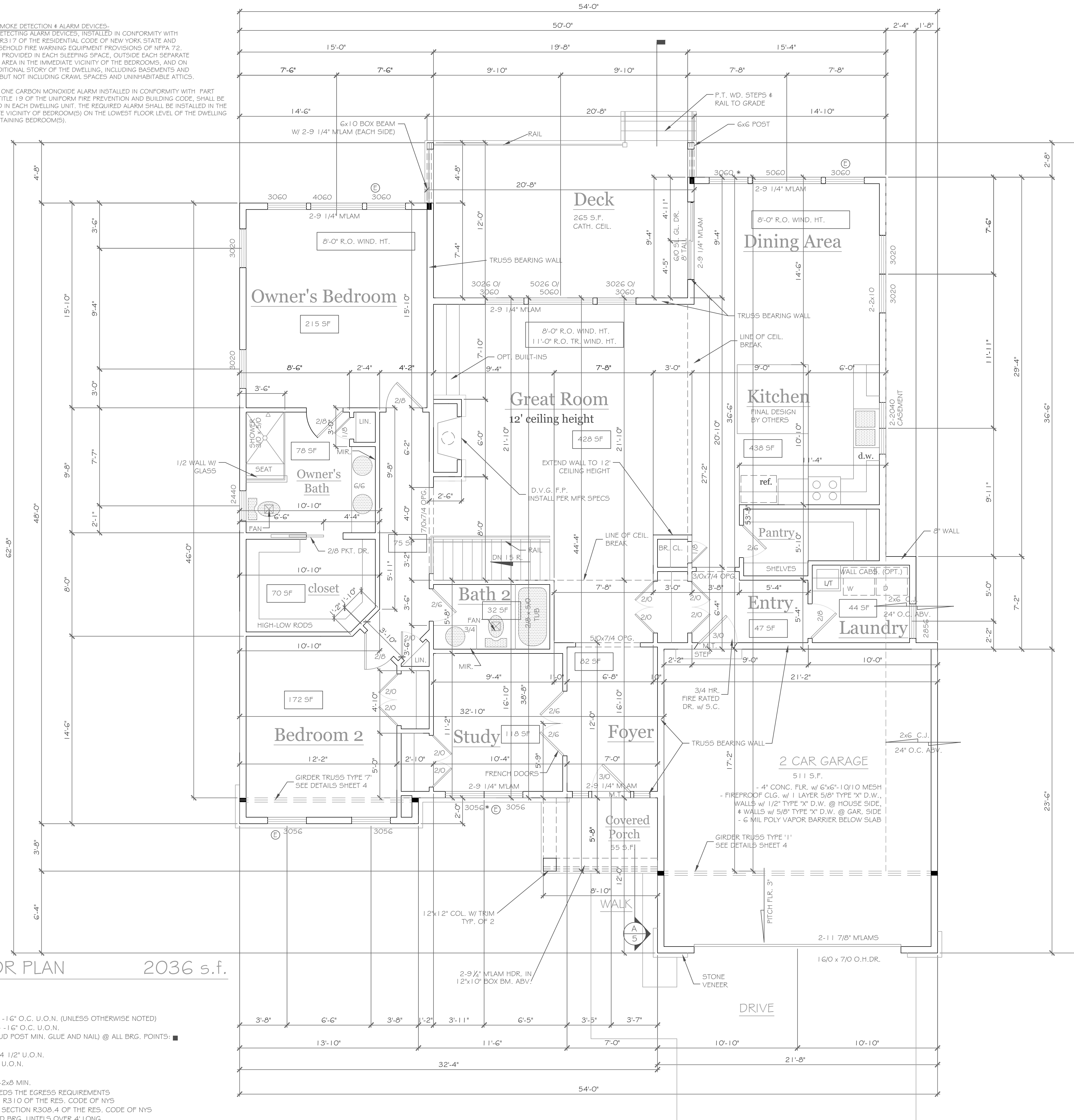
**JOB NO.:**  
A23-007

**CKH architecture**  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frontiernet.net

**DRAWING NO.:**  
A-2

NOTES: SMOKE DETECTION & ALARM DEVICES-  
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

AT LEAST ONE CARBON MONOXIDE ALARM INSTALLED IN CONFORMITY WITH PART 1225.2, TITLE 19 OF THE UNIFORM FIRE PREVENTION AND BUILDING CODE, SHALL BE PROVIDED IN EACH DWELLING UNIT. THE REQUIRED ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOM(S) ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT CONTAINING BEDROOM(S).



FIRST FLOOR PLAN 2036 s.f.

1/4" = 1'-0"

NOTES:  
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)  
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.  
PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS:  
APPLIANCES PER CONTRACT  
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.  
CEILING HTS. TO BE 9'-1 1/8" U.O.N.  
ANGLES TO BE 12/12 U.O.N.  
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.  
Ⓢ - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS  
\* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS  
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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Copyright ©  
All rights reserved.

REVISIONS- NO.	DATE	DESCRIPTION

DRAWING TITLE-  
**First Floor Plan**

PHASE-  
Construction Documents

PROJECT-  
Lot 27C Wlshire Hill  
Pittsford, New York

CLIENT-  
Pride Mark Homes, Inc.

JOB NO.-  
A23-007

DATE-  
February 27, 2023

**CKH**  
architecture  
1501 Pittsford Victor Road  
Suite 100  
Victor, New York 14564  
phone: (585) 249-1334  
e-mail: CKHennessey@frontier.net

DRAWING NO.-  
**A-3**



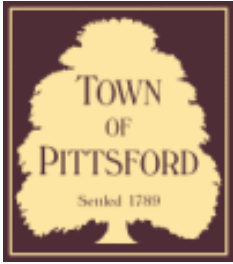




15 BLACKWOOD CIRCLE







# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B23-000037**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 10 Aden Hill PITTSFORD, NY 14534

**Tax ID Number:** 178.03-4-56

**Zoning District:** IZ Incentive Zoning

**Owner:** Wilshire Hill LLC

**Applicant:** Pride Mark Homes

### Application Type:

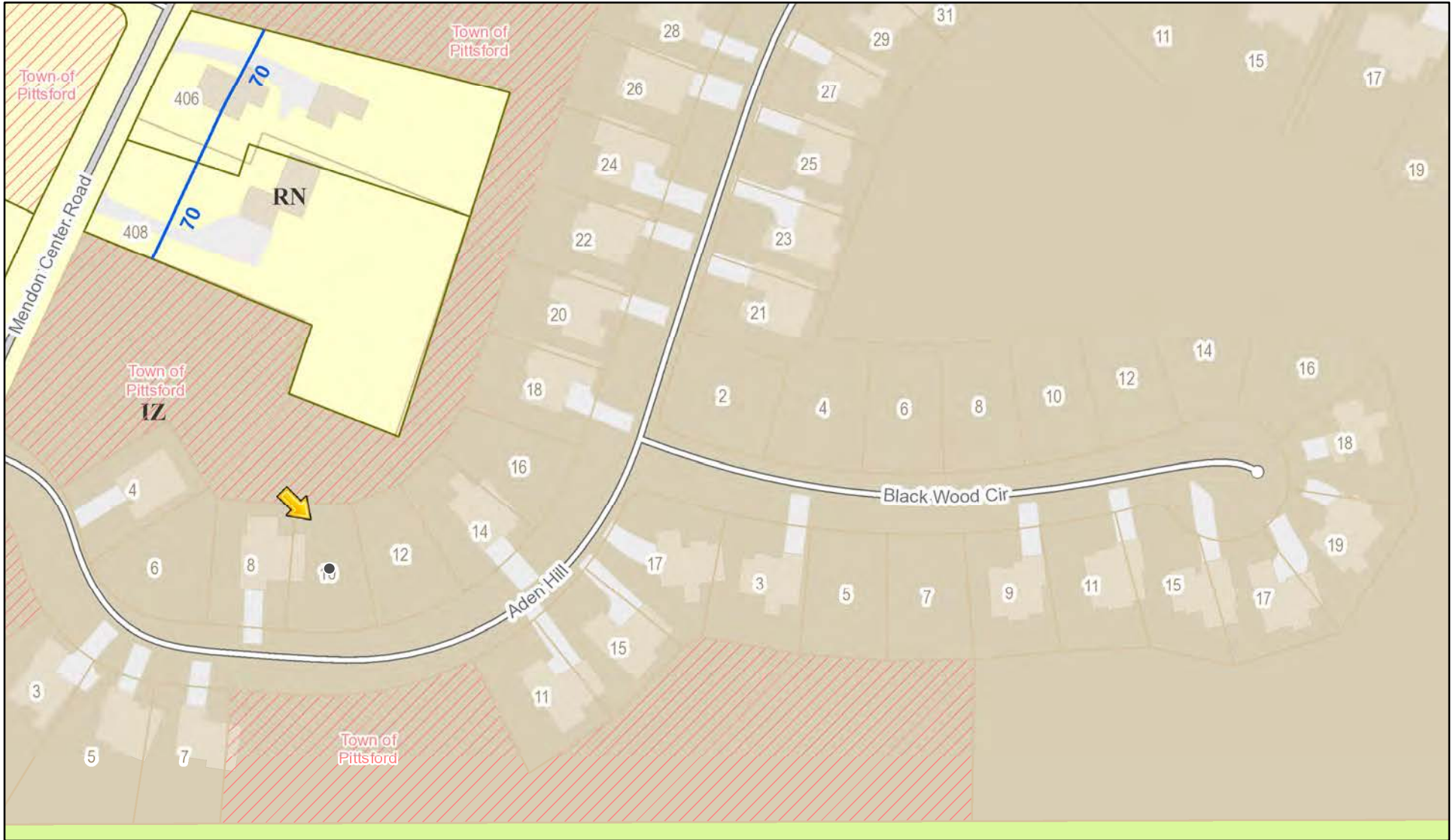
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the construction of an approximately 2040 SF new single story family home in the Wilshire Hill subdivision

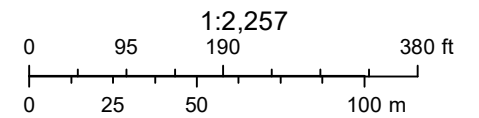
**Meeting Date:** March 23, 2023



# RN Residential Neighborhood Zoning



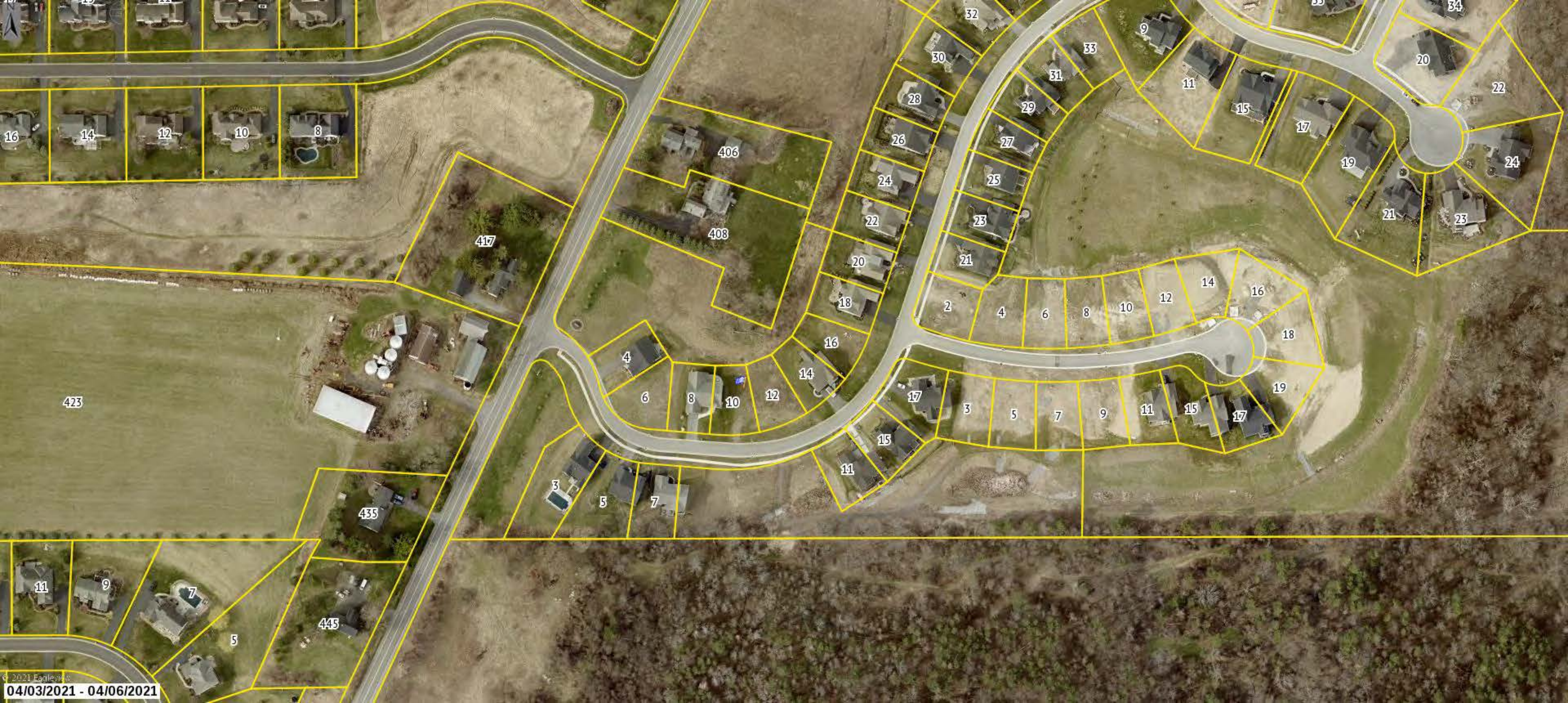
Printed March 16, 2023



Town of Pittsford GIS

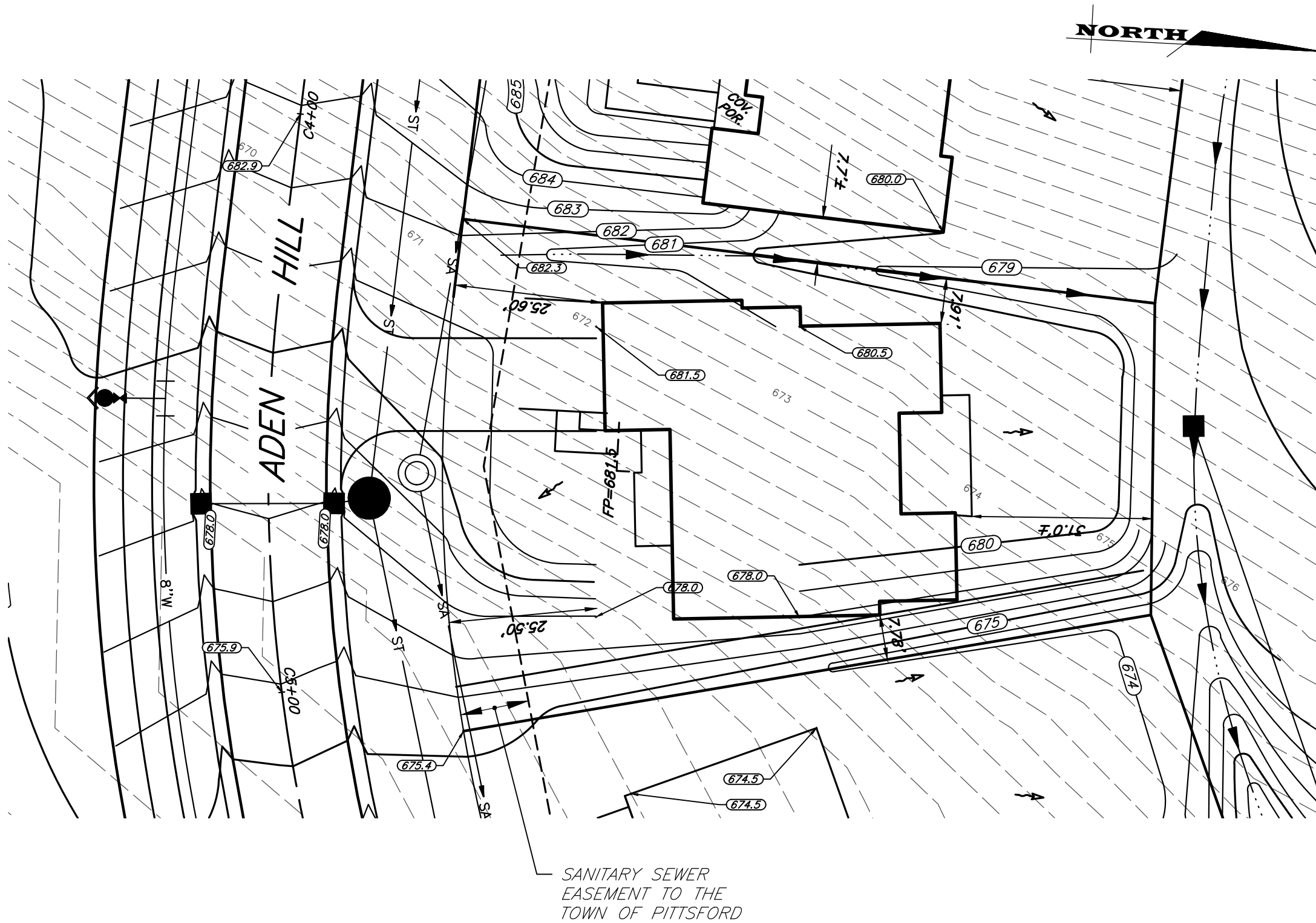
The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.







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JOB NO: 0423-13  
SCALE: 1" = 20'  
DRAWN: RJT  
DESIGNED: RJT  
DATE: 4/26/22  
REVISED:

SETBACK	REQUIRED	PROVIDED
FRONT	25'	TBD
SIDE	7.5'	TBD
REAR	20'	TBD

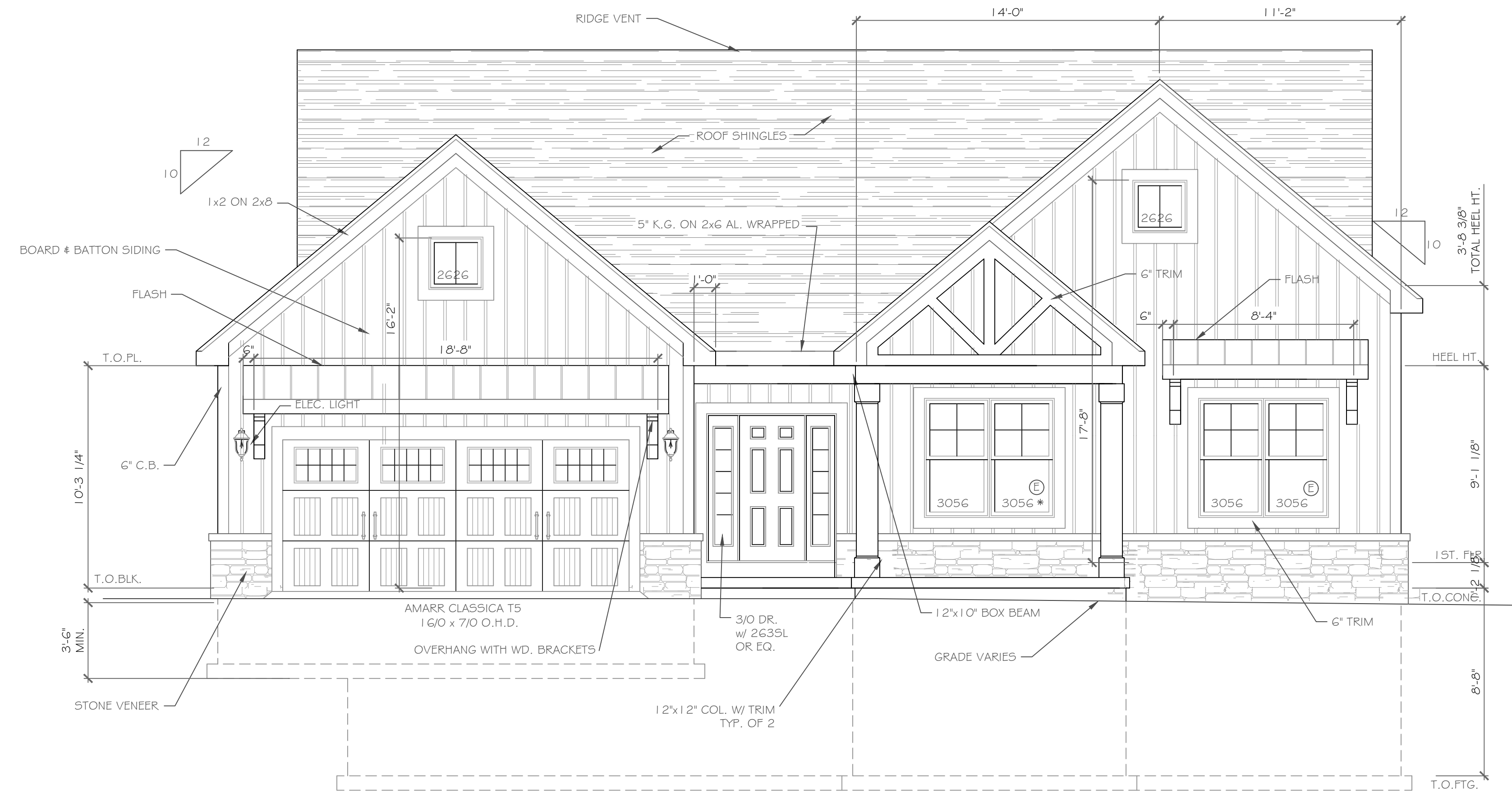
TITLE:

**PLOT PLAN - LOT C4  
WILSHIRE HILL - SECTION 2**

# DESIGN CRITERIA:

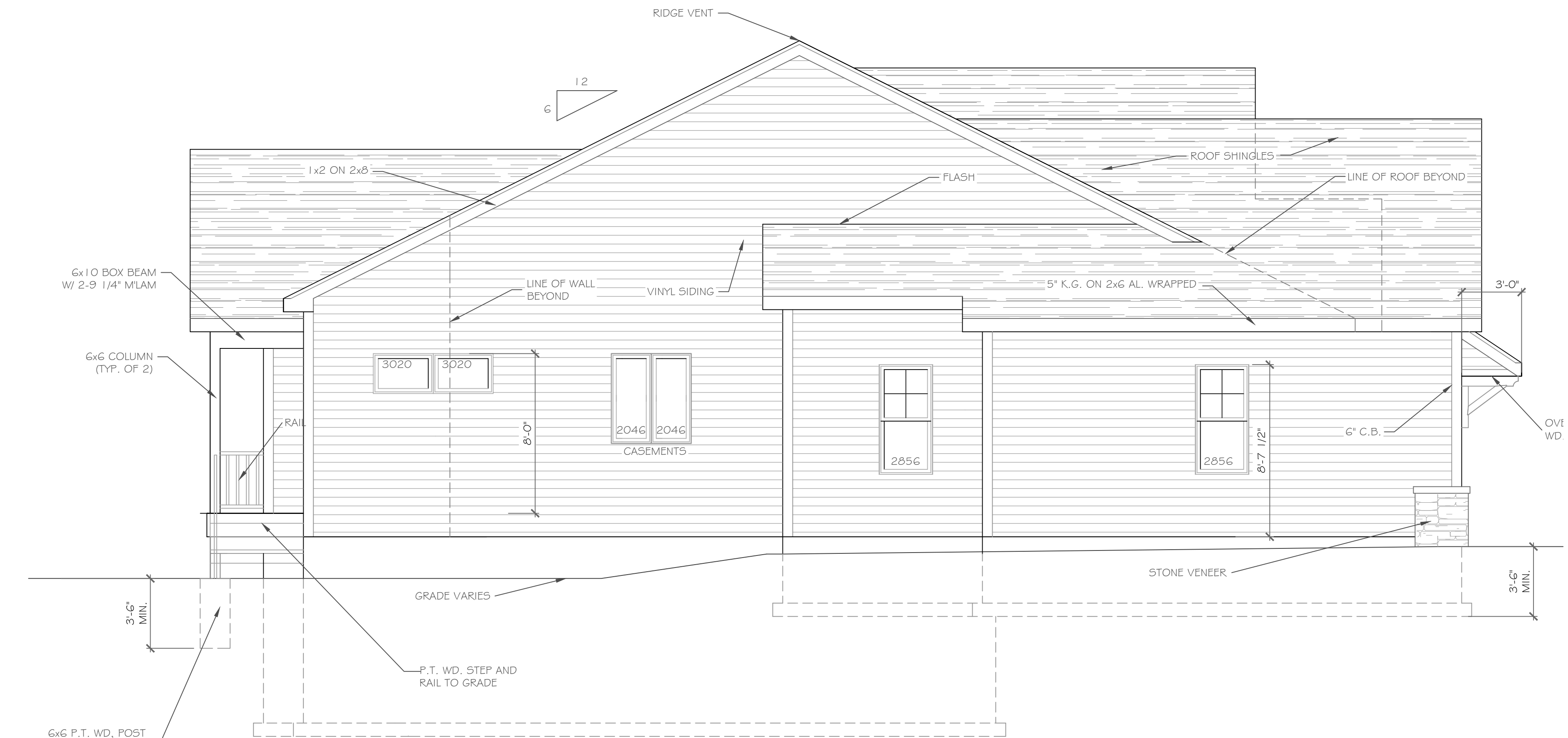
-For Greater Rochester Area and surrounding counties.

1ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2040 S.F.

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG OR EQUAL  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - (E) WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS  
 PER SECTION R310 OF THE RES. CODE OF NYS  
 - \* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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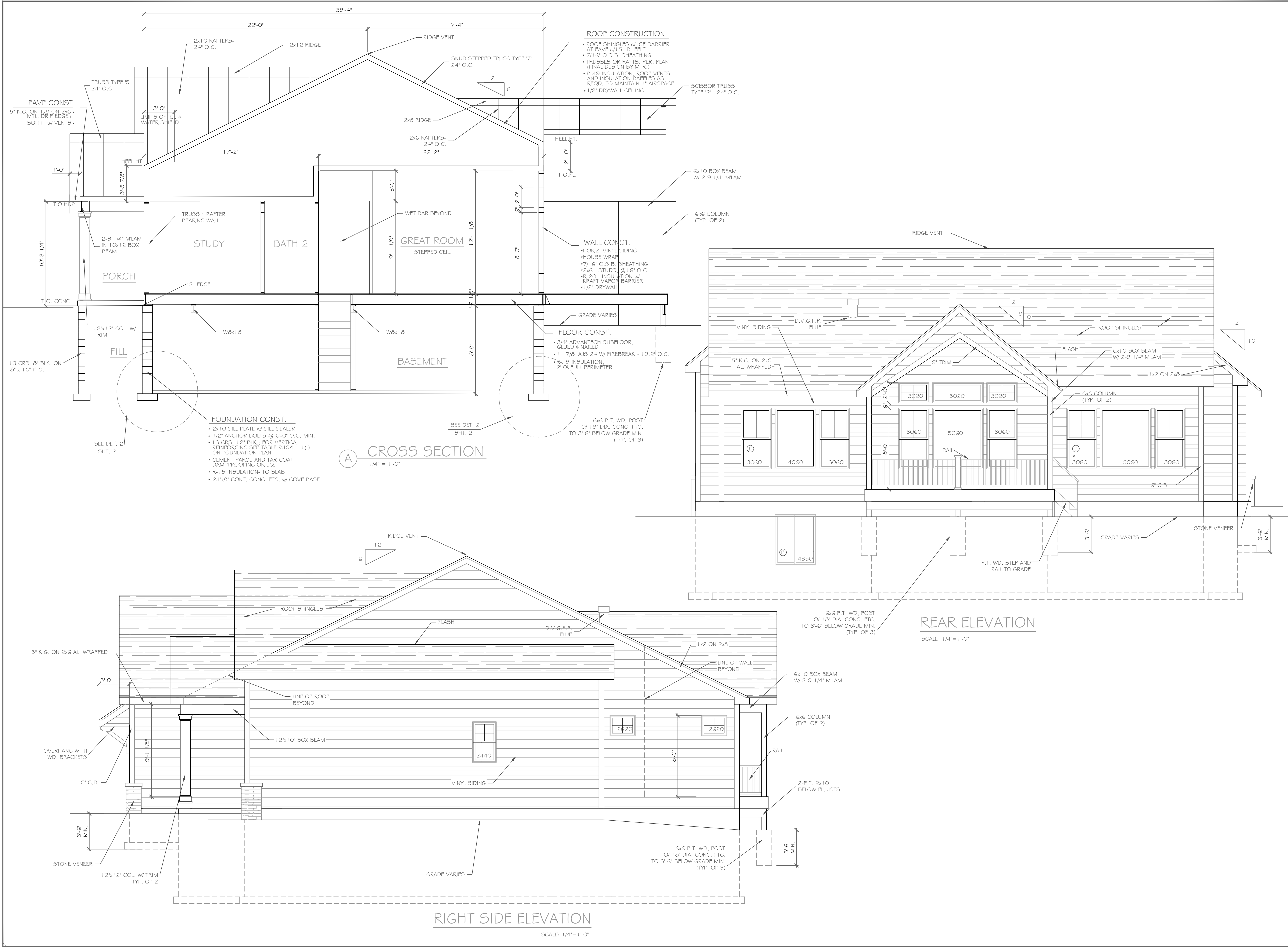
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: <b>Elevations</b>	PHASE: Construction Documents
-------------------------------------	----------------------------------

PROJECT: Lot 4C Wishire Hill Pittsford, New York	CLIENT: Pride Mark Homes, Inc.
JOB NO. - A22-030	DATE - March 8, 2023

**CKH**  
 architecture  
 1501 Pittsford Victor Road  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net





**ROOF CONSTRUCTION**

- ROOF SHINGLES w/ ICE BARRIER AT EAVE @ 1/5 LB. FELT
- 7/16" O.S.B. SHEATHING
- TRUSSES OR RAFTS, PER. PLAN (FINAL DESIGN BY MFR.)
- R-49 INSULATION, ROOF VENTS AND INSULATION BATTLES AS REQD. TO MAINTAIN 1" AIRSPACE
- 1/2" DRYWALL CEILING

**WALL CONST.**

- HORIZ. VINYL SIDING
- HOUSE WRAP
- 7/16" O.S.B. SHEATHING
- 2x6 STUDS @ 16" O.C.
- R-20 INSULATION w/ KRAFT VAPOR BARRIER
- 1/2" DRYWALL

**FLOOR CONST.**

- 3/4" ADVANTECH SUBFLOOR, GLUED & NAILED
- 1 1/2" 7/8" AIS 24 W/ FIREBREAK - 19.2" O.C.
- R-19 INSULATION 2" FULL PERIMETER

**FOUNDATION CONST.**

- 2x10 SILL PLATE w/ SILL SEALER
- 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
- 13 CRS. 1/2" BLK. FOR VERTICAL REINFORCING SEE TABLE R404.1.1() ON FOUNDATION PLAN
- CEMENT FARGE AND TAR COAT DAMPROOFING OR EQ.
- R-15 INSULATION- TO SLAB
- 24"x8" CONT. CONC. FTG. w/ COVE BASE

**(A) CROSS SECTION**  
1/4" = 1'-0"

**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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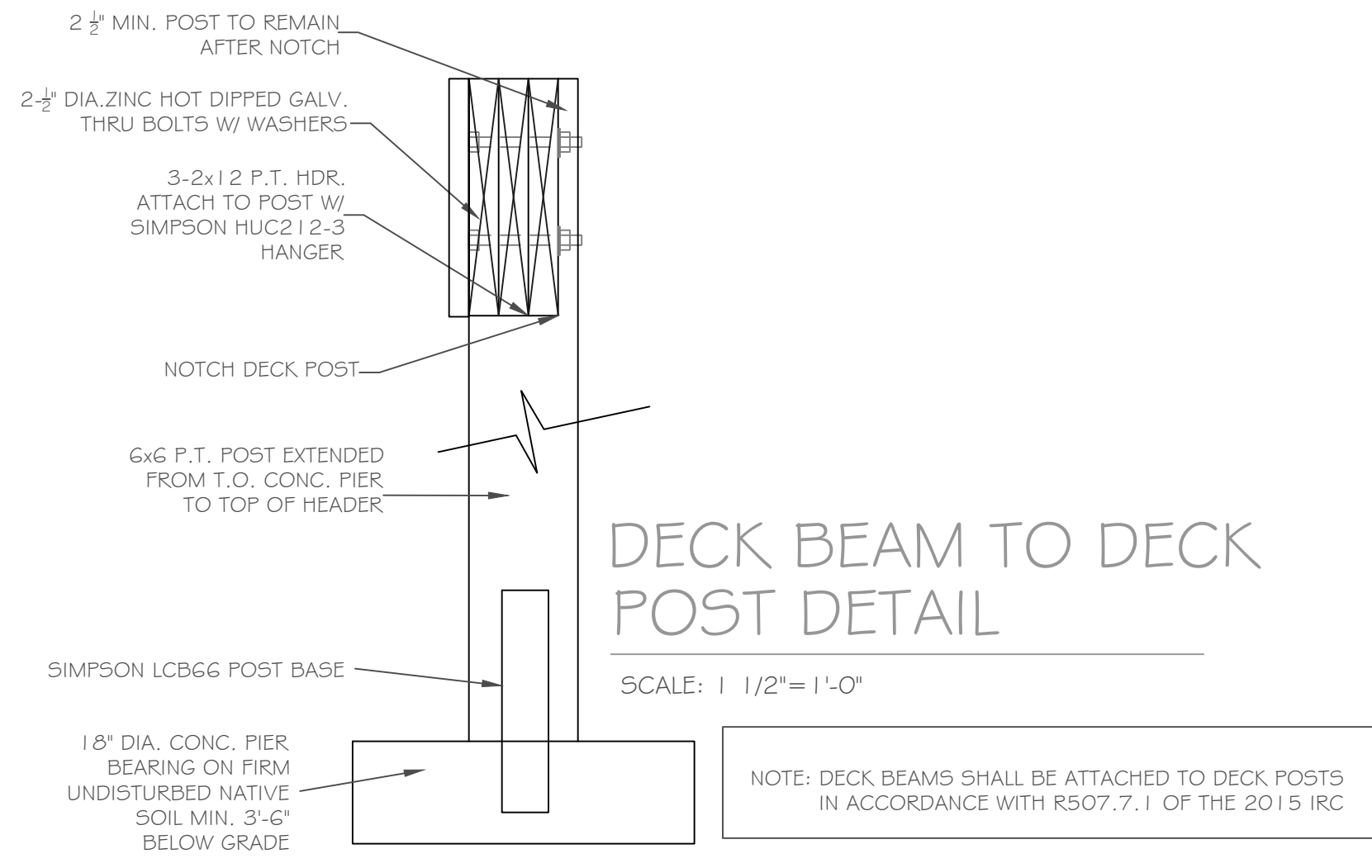
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: **Elevations**  
PHASE: Construction Documents

PROJECT: Lot 4C Wishire Hill  
Pittsford, New York  
CLIENT: Pride Mark Homes, Inc.  
JOB NO.: A22-030  
DATE: March 8, 2023

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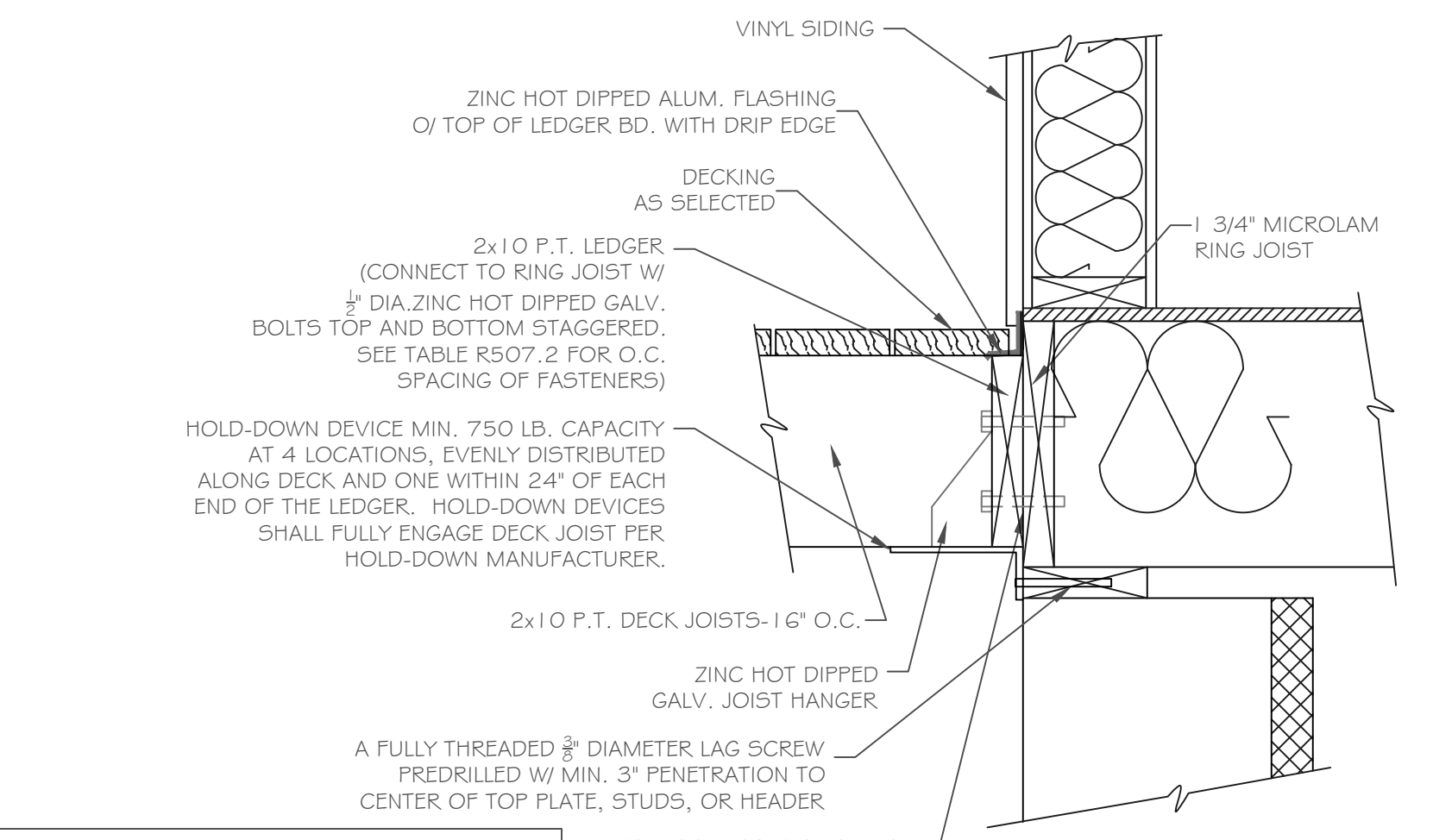
DRAWING NO.: **A-5**



**DECK BEAM TO DECK POST DETAIL**

SCALE: 1/2" = 1'-0"

NOTE: DECK BEAMS SHALL BE ATTACHED TO DECK POSTS IN ACCORDANCE WITH R507.7.1 OF THE 2015 IRC

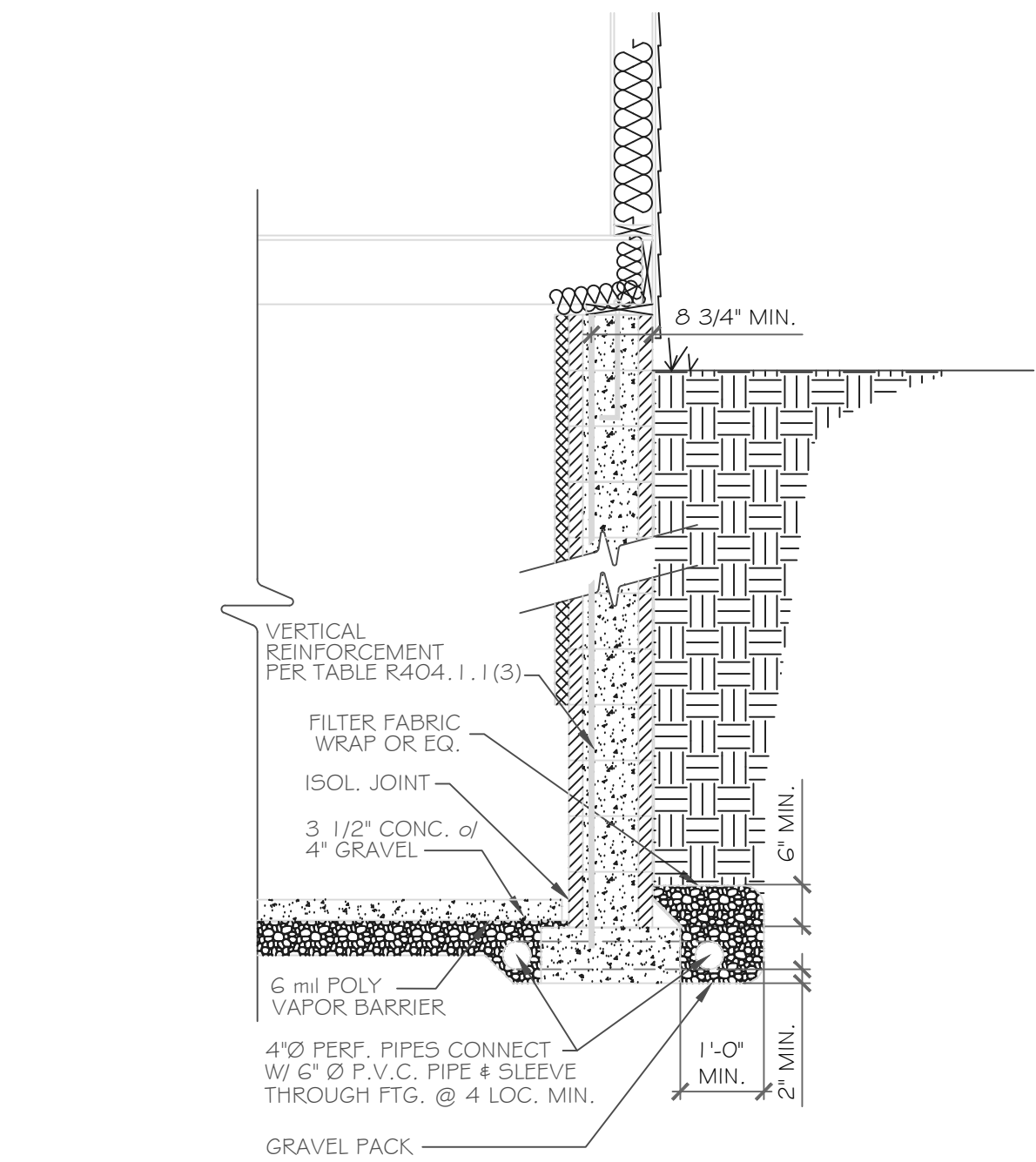


**5 DECK CONNECTION TO DWELLING**

SCALE: 1/2" = 1'-0"

NOTE: THE MIN. DISTANCE FROM BOTTOM ROW OF LAG SCREWS OR BOLTS TO THE EDGE OF THE LEDGER SHALL BE IN ACCORDANCE WITH FIGURE R507.2.1 IN THE 2015 IRC

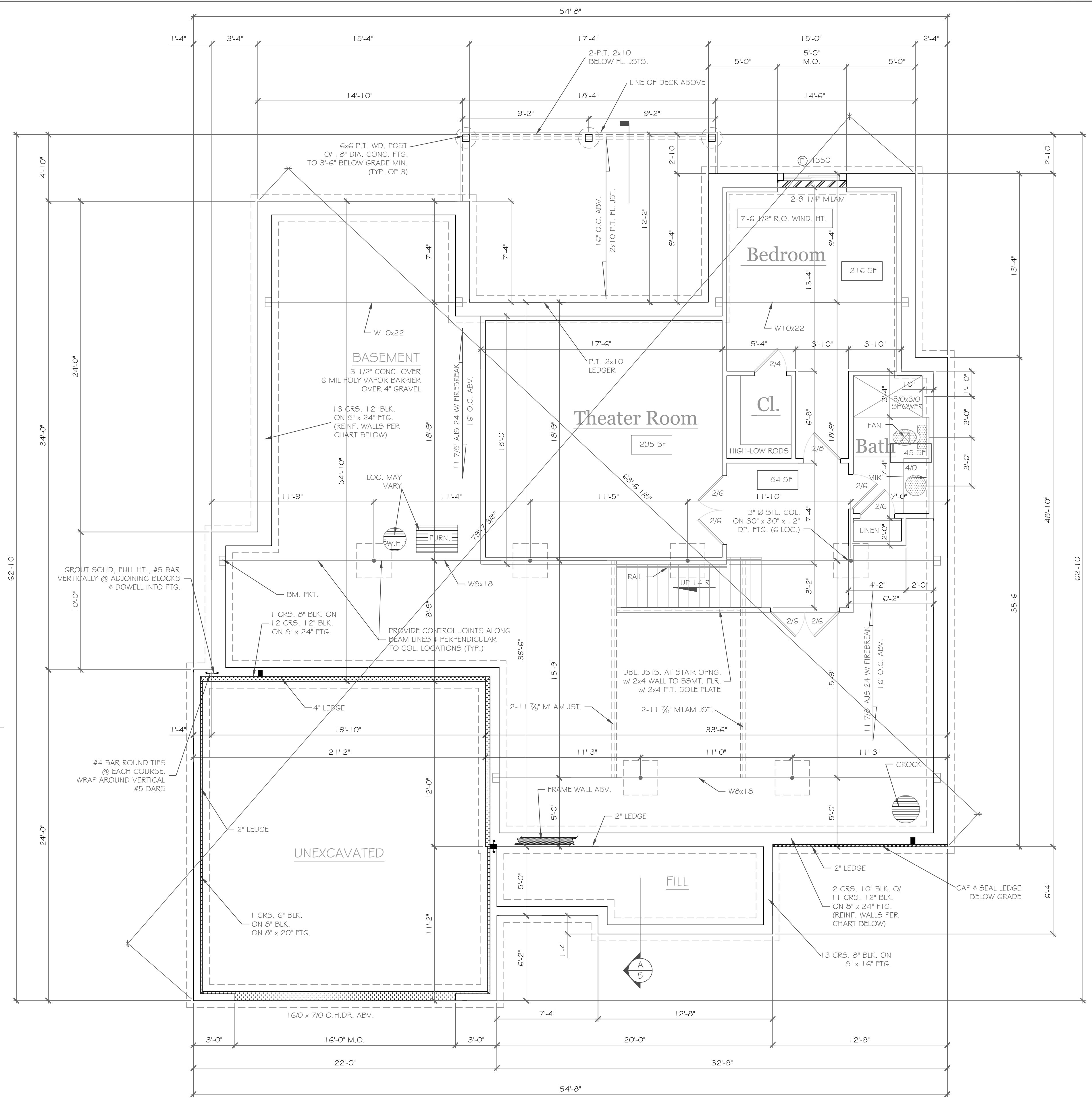
\*GRACE VYCOR® FLASHING EXTEND FROM UNDER DOOR THRESHOLD TO BOTTOM OF LEDGER AT DOOR



**1 FOUNDATION WALL DETAIL**

SCALE: 1/2" = 1'-0"

RCNY NOTE: EXTERIOR DRAIN TILE IS OPTIONAL IF THE FOUNDATION SOILS ARE WELL DRAINED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS PER TABLE, R405.1



**BASEMENT & FOUNDATION PLAN**

1/4" = 1'-0" LOWER LEVEL PLAN 750 s.f.

NOTE: - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING & GROUT BLOCK CORES SOLID FULL HEIGHT AT ALL BEAM BEARINGS  
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. BLK. LEGEND:**

- ELEV. = 0" : [Pattern] -1 CRS.
- ELEV. = (-) 8" : [Pattern] -2 CRS.
- ELEV. = (-) 1'-4" : [Pattern] -3 CRS.
- ELEV. = (-) 6'-0" : [Pattern] -9 CRS.

PARTIAL TABLE R404.1.1(3)  
REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	VERTICAL REINFORCEMENT SIZE AND SPACING(b,c) FOR 12-INCH NOMINAL WALL THICKNESS			
		GW, GP, SW and SP soils	GM, GC, SM, SM-SC and ML soils	SC, MH, ML-CL and inorganic CL soils	CL soils
9	5	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.	#4 at 72" o.c.
	6	#4 at 72" o.c.	#4 at 56" o.c.	#4 at 56" o.c.	#5 at 64" o.c.
	7	#4 at 56" o.c.	#4 at 40" o.c.	#4 at 40" o.c.	#6 at 64" o.c.
	8	#5 at 64" o.c.	#6 at 64" o.c.	#6 at 64" o.c.	#6 at 48" o.c.

a. Mortar shall be Type M or S and masonry shall be laid in running bond.  
b. Alternative reinforcing bar sizes and spacings having an equivalent cross-sectional area of reinforcement per linear foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches.  
c. Vertical reinforcement shall be Grade 60 minimum. The distance from the face of the soil side of the wall to the center of vertical reinforcement shall be at least 0.75 inches.  
d. Soil classes are in accordance with the Unified Soil Classification System. Refer to Table R405.1.  
e. Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

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REVISIONS:

NO.	DATE	DESCRIPTION

DRAWING TITLE: **Basement & Foundation Plan**

PROJECT: **Lot 4C Wishire Hill Pittsford, New York**

CLIENT: **Pride Mark Homes, Inc.**

DATE: **March 8, 2023**

PHASE: **Construction Documents**

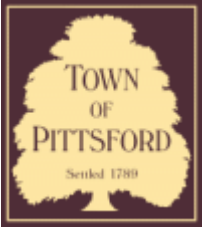
JOB NO.: **A22-030**

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1501 Pittsford Victor Road  
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phone: (585) 249-1334  
e-mail: CKHennessey@frontiernet.net

DRAWING NO. **A-2**







## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B23-000008

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 2490 Lehigh Station Road PITTSFORD, NY 14534

**Tax ID Number:** 177.01-2-8.1

**Zoning District:** RN Residential Neighborhood

**Owner:** Kody Young

**Applicant:** Kody Young

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The applicant is requesting design review for an addition of a 2650 sf garage addition off the side of the existing house.

**Meeting Date:** March 23, 2023

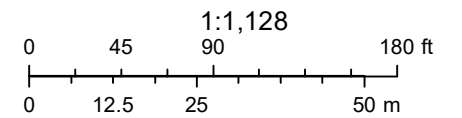




# RN Residential Neighborhood Zoning



Printed February 3, 2023



Town of Pittsford GIS

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Driveway

Pittsford-Henrietta Town Line Rd

Pittsford-Henrietta Town Line Rd

Lehigh Station Rd

Pittsford-Henrietta Town Line Rd

Lehigh Station Rd

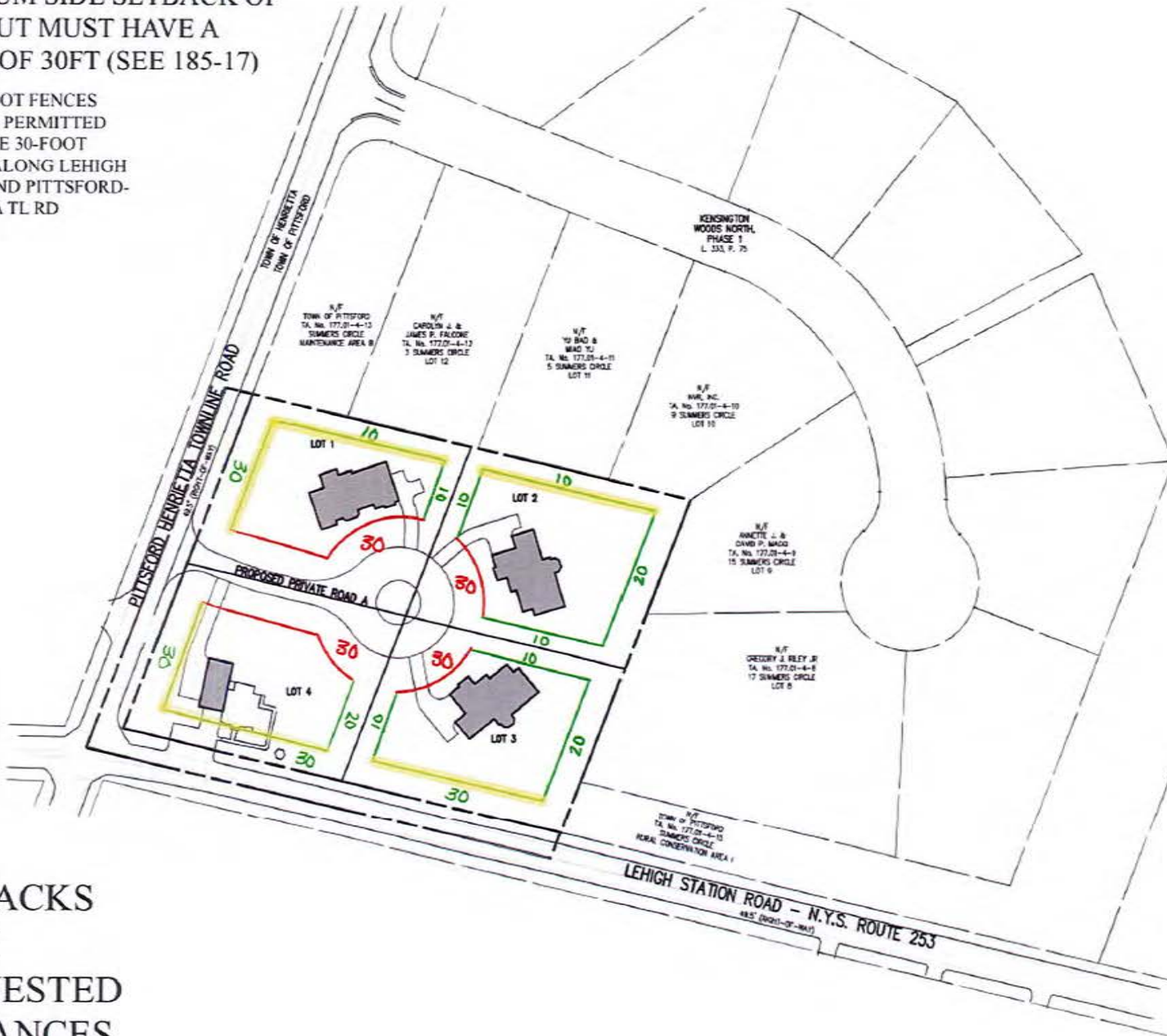
04/05/2021

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NOTE: LOTS 2 & 3 SHOW A  
MINIMUM SIDE SETBACK OF  
10FT, BUT MUST HAVE A  
TOTAL OF 30FT (SEE 185-17)

NOTE: 4-FOOT FENCES  
WOULD BE PERMITTED  
WITHIN THE 30-FOOT  
SETBACK ALONG LEHIGH  
STATION AND PITTSFORD-  
HENRIETTA TL RD



SETBACKS  
WITH  
REQUESTED  
VARIANCES





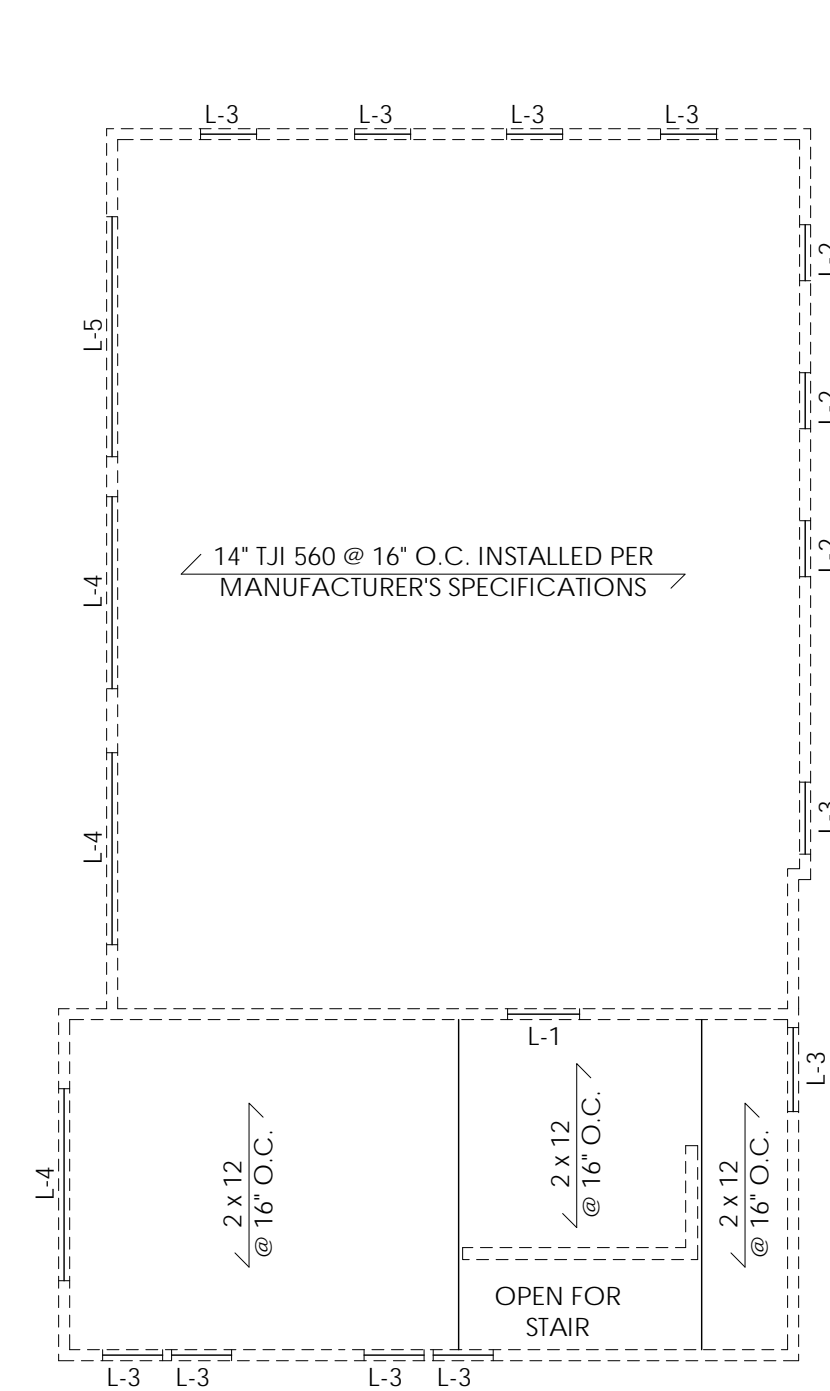




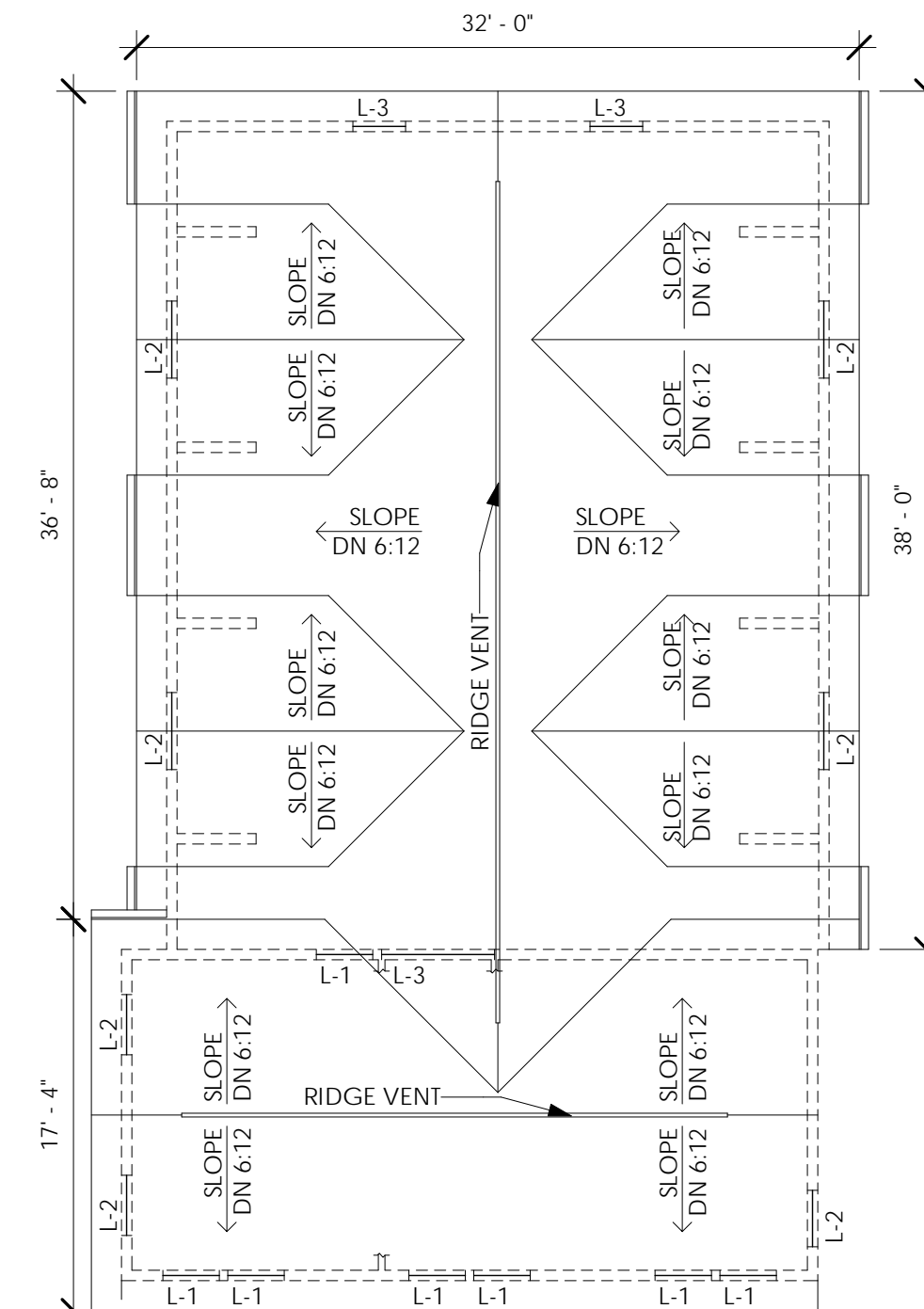




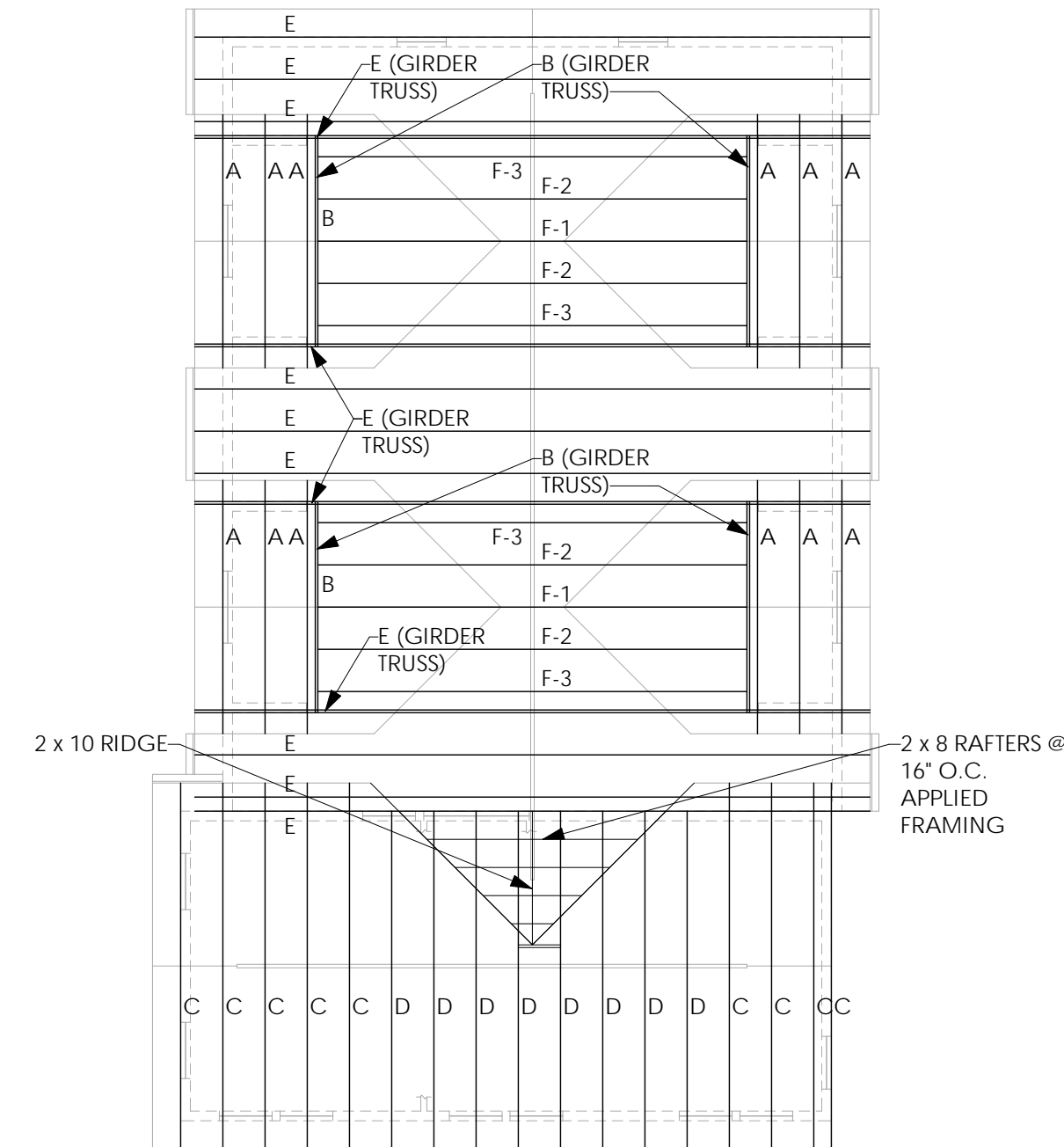




① Second Floor Header & Framing Plan  
1/8" = 1'-0"



② Roof Plan  
1/8" = 1'-0"



③ Roof Framing Plan  
1/8" = 1'-0"

- ROOF NOTES:**
- PROVIDE MINIMUM 5'-0" WIDE ICE & WATER SHIELD UNDERLAYMENT ALONG EAVES AND AT VALLEYS
  - PROVIDE ASPHALT SATURATED FELT UNDERLAYMENT ALL REMAINING AREAS
  - PROVIDE ALUMINUM FASCIA, DRIP EDGE, VENTED SOFFITS, GUTTERS AND DOWNSPOUTS AT NEW ROOF AREAS, TO MATCH EXISTING.
  - REMOVE EXISTING ROOF SHINGLES & UNDERLAYMENT. FURNISH AND INSTALL ICE & WATER UNDERLAYMENT & NEW ARCHITECTURAL SHINGLES AS REQ'D
  - VERIFY IN FIELD EXISTING ROOF OVERHANGS. NEW OVERHANGS TO MATCH EXIST.

- LINTEL & HEADER SCHEDULE:**
- L-1 - (3) 2 x 4 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
  - L-2 - (3) 2 x 6 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
  - L-3 - (3) 2 x 8 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
  - L-4 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 9 1/4" (8'-0" WIDE GARAGE DOOR)
  - L-5 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 11 1/4" (10'-0" WIDE GARAGE DOOR)

- NOTE:**
- PRE-ENGINEERED WOOD TRUSS SYSTEM SHALL BE DESIGNED BY A N.Y.S. LICENSED ARCHITECT OR ENGINEER FOR THE FOLLOWING LOADS:
- TOP CHORD DEAD LOAD: 10#  
TOP CHORD SNOW LOAD: 50# GROUND  
BOTTOM CHORD DEAD LOAD: 10#

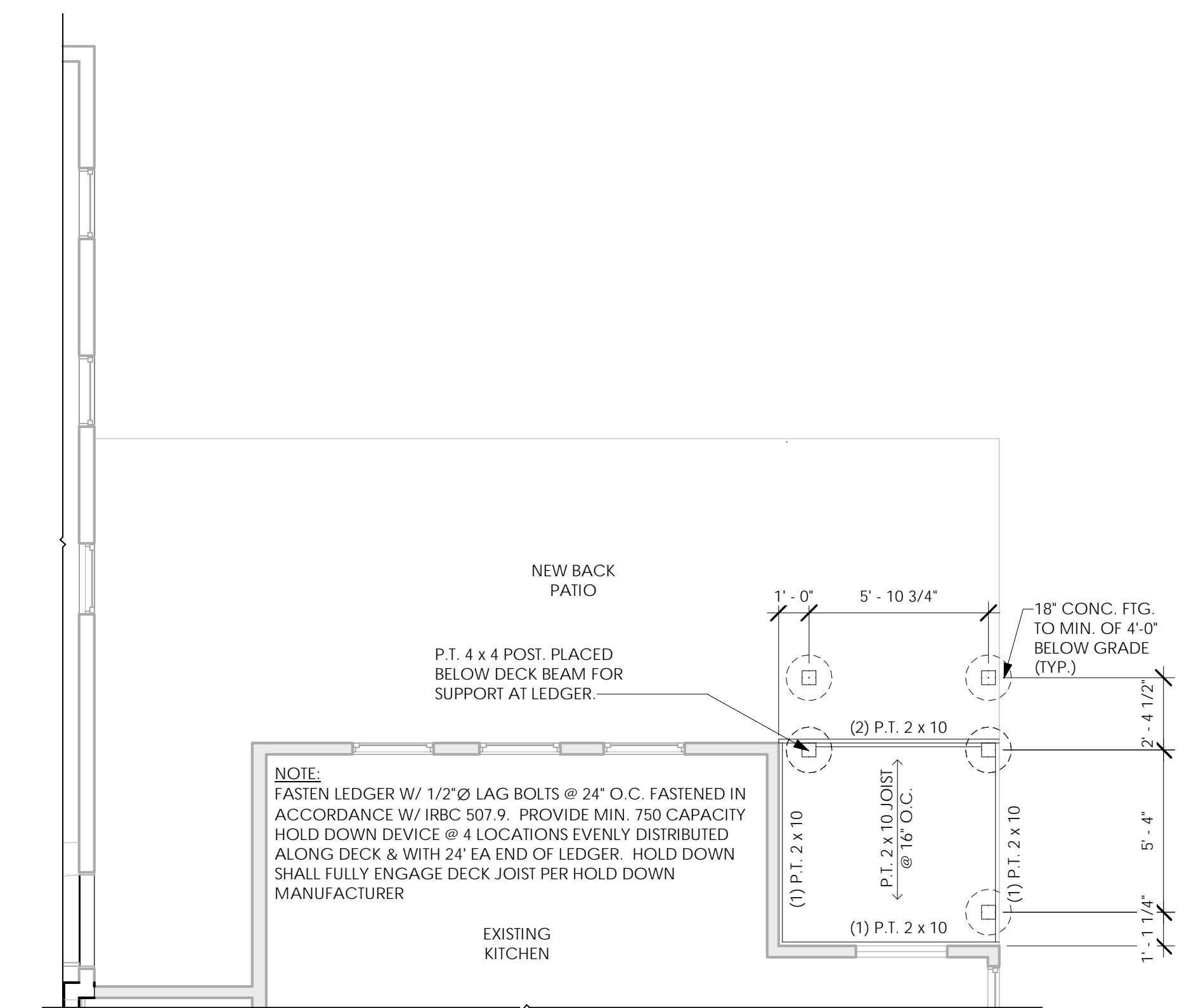
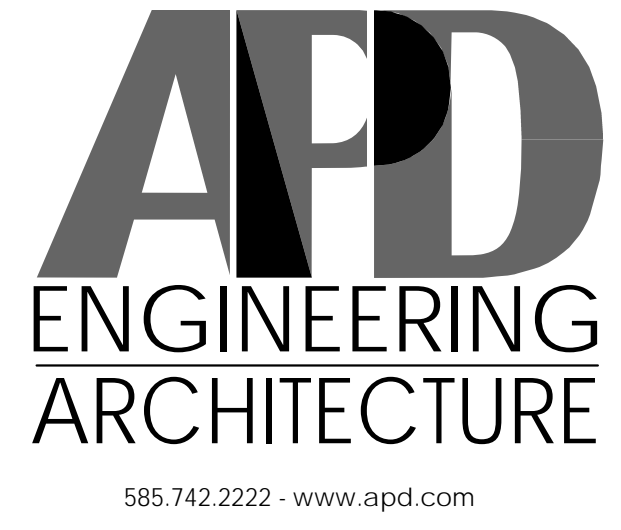
- NOTE:**
- ALL TRUSSES TO BE 2'-0" O.C.
  - ALL STICK FRAMING SHALL BE:  
2x10 RIDGE & HIP MEMBERS  
2x8 RAFTERS @ 16" O.C.  
UNLESS OTHERWISE NOTED
  - VERIFY PITCH OF EXISTING ROOF PRIOR TO ORDERING TRUSS
  - CONTRACTOR SHALL FURNISH TRUSS SHOP DRAWINGS WITH ENGINEER OR ARCHITECT SEAL & SIGNATURE
  - TRUSS MANUFACTURER TO PROVIDE RECOMMENDED ROOF TRUSS SYSTEM BRACING DIAGRAM
  - ROOF TRUSS SHALL BE INSTALLED USING SIMPSON HURRICANE TIES H8 OR APPROVED EQUAL.



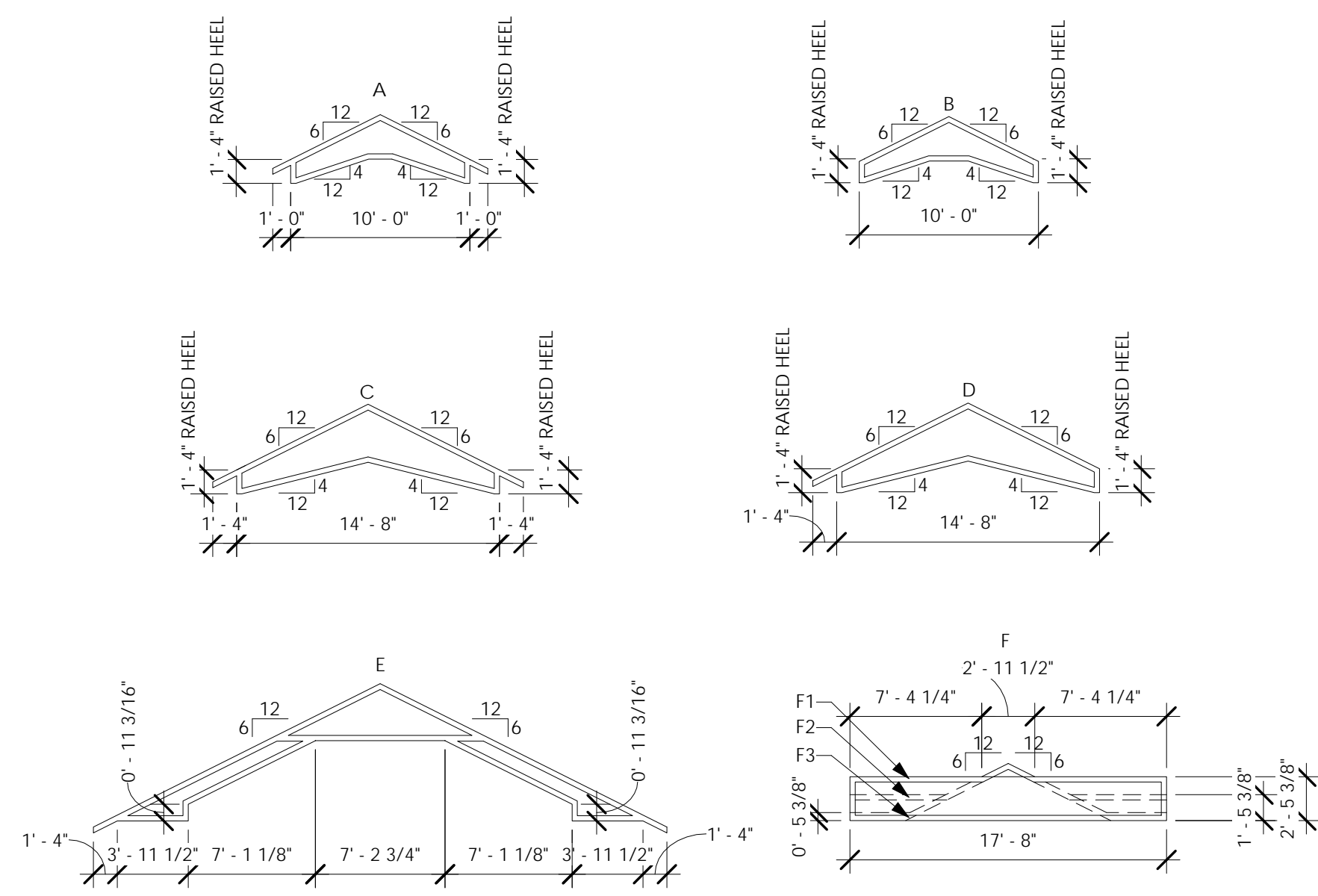
Project Architect/Engineer Date:  
Architect/Engineer Name  
Project Lead Date:  
Lead Name  
Project Designer Date:  
Designer Name

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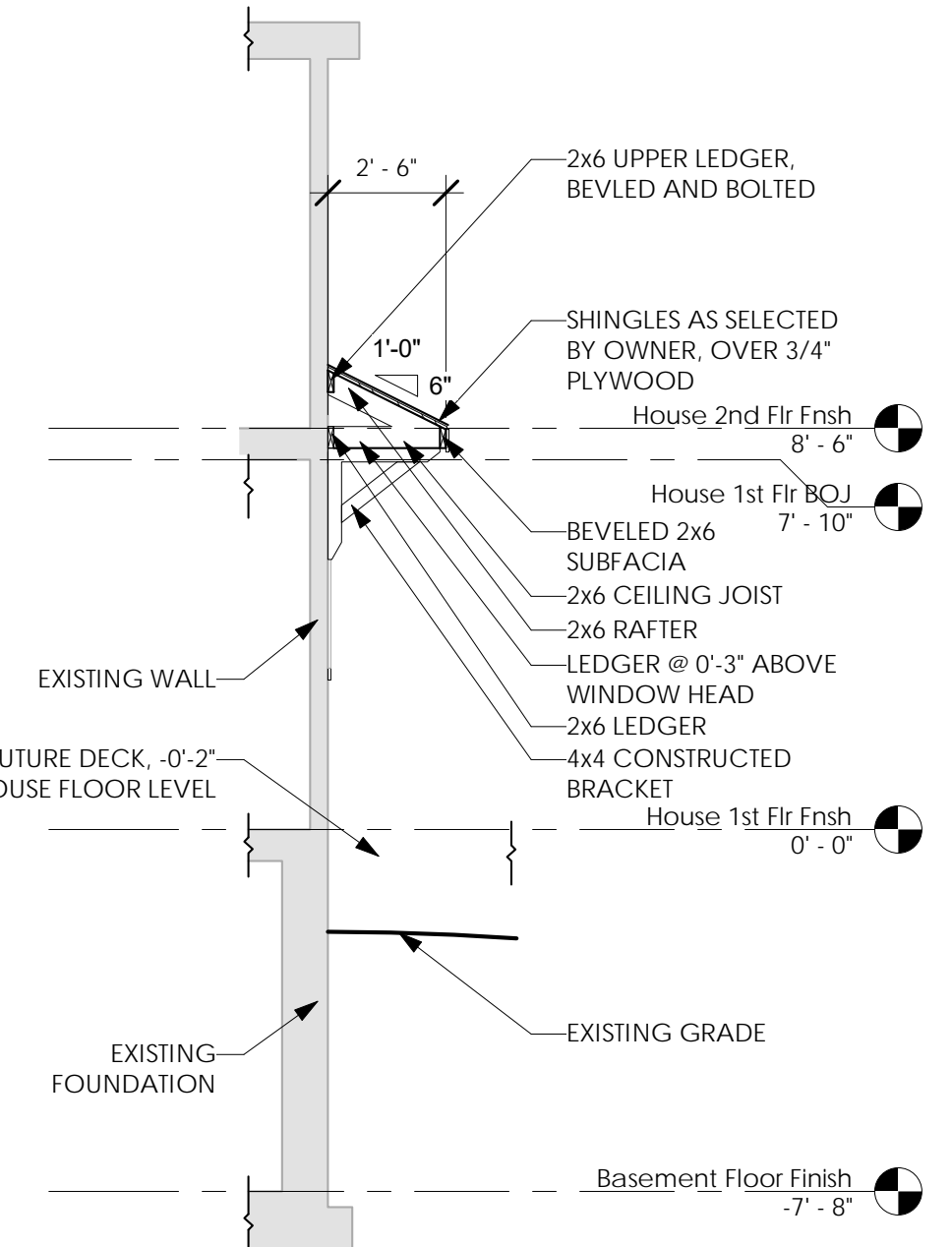
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⑪ Back Deck Framing Plan  
1/4" = 1'-0"



⑨ Truss Diagrams  
1/8" = 1'-0"



⑩ Window Awning Detail  
1/4" = 1'-0"

Young Residence Addition  
2490 Lehigh Station Rd  
Pittsford, NY 14534  
Monroe County

Project Name & Location:

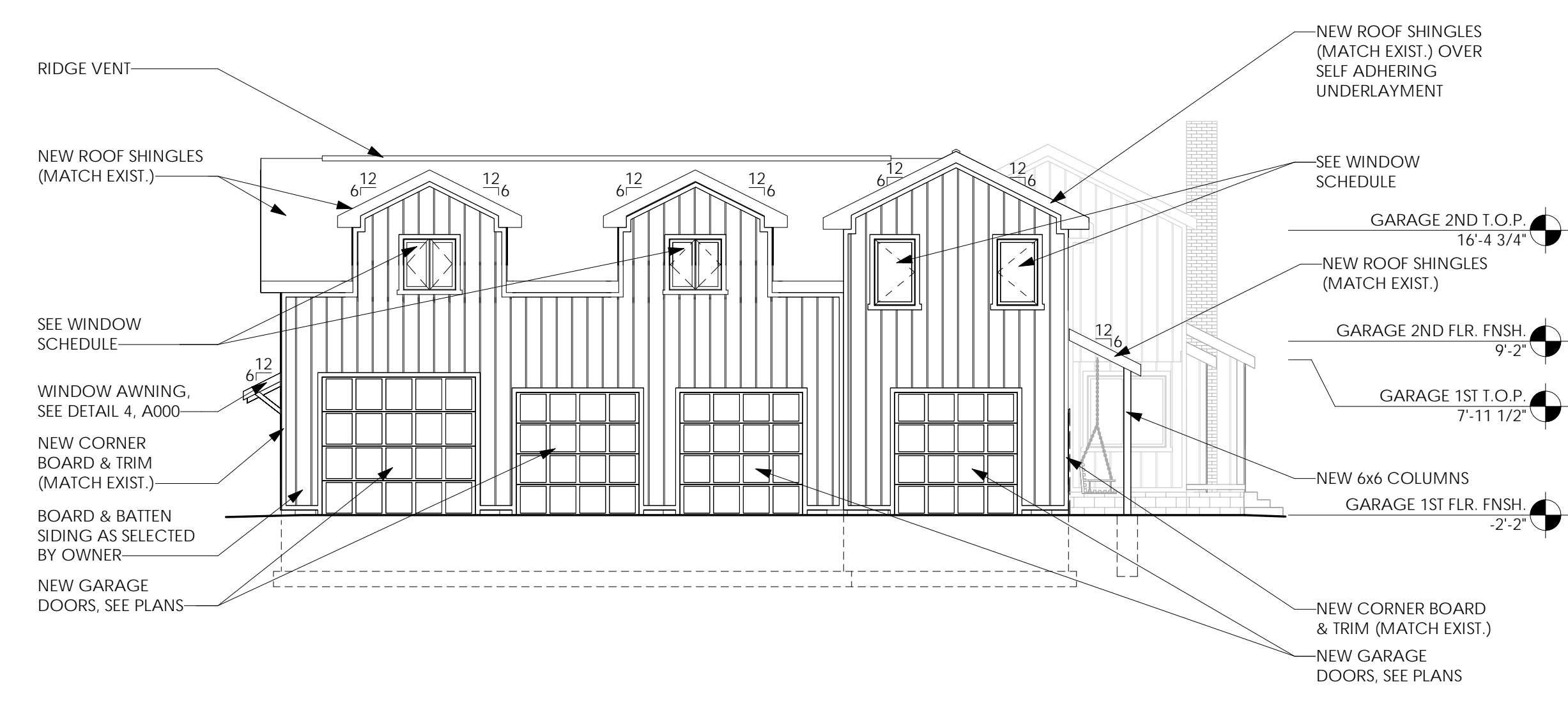
Roof Framing, Plan & Truss Diagram

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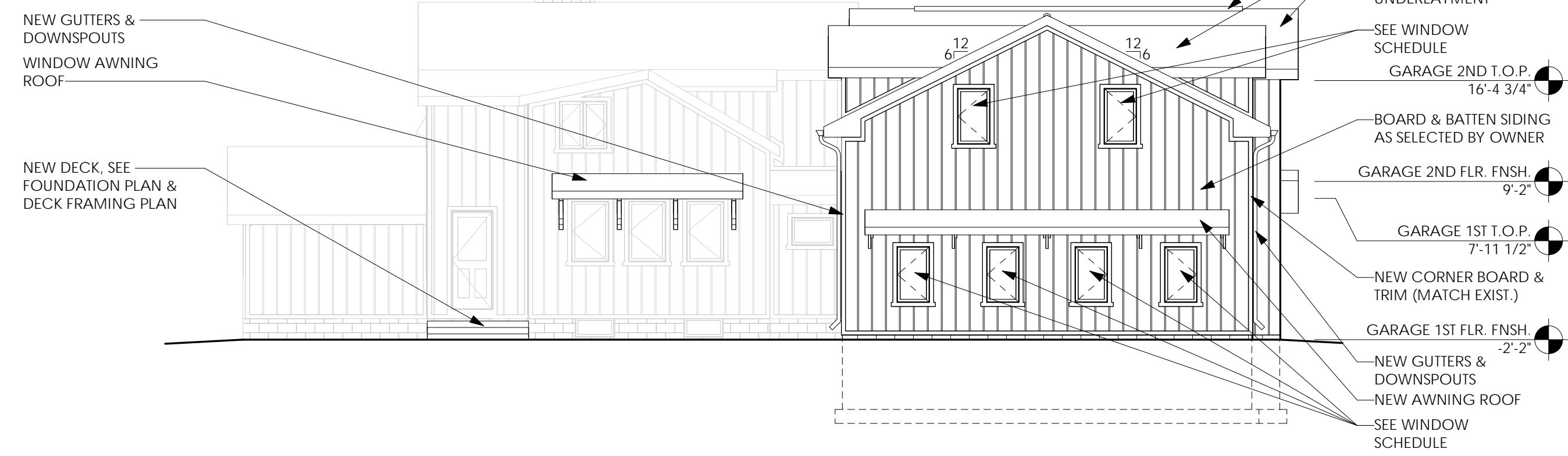
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Type: Residential	21-0511
Drawn By: NMH	A-103
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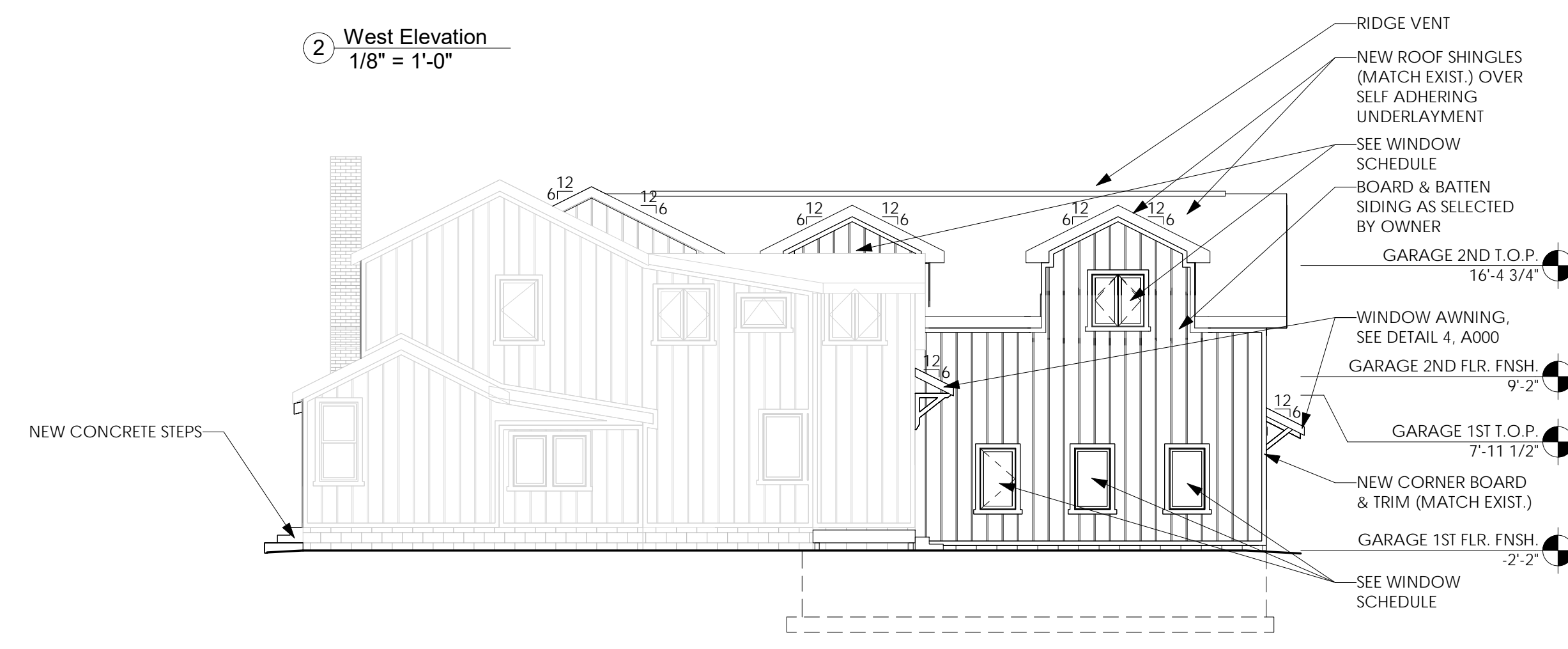
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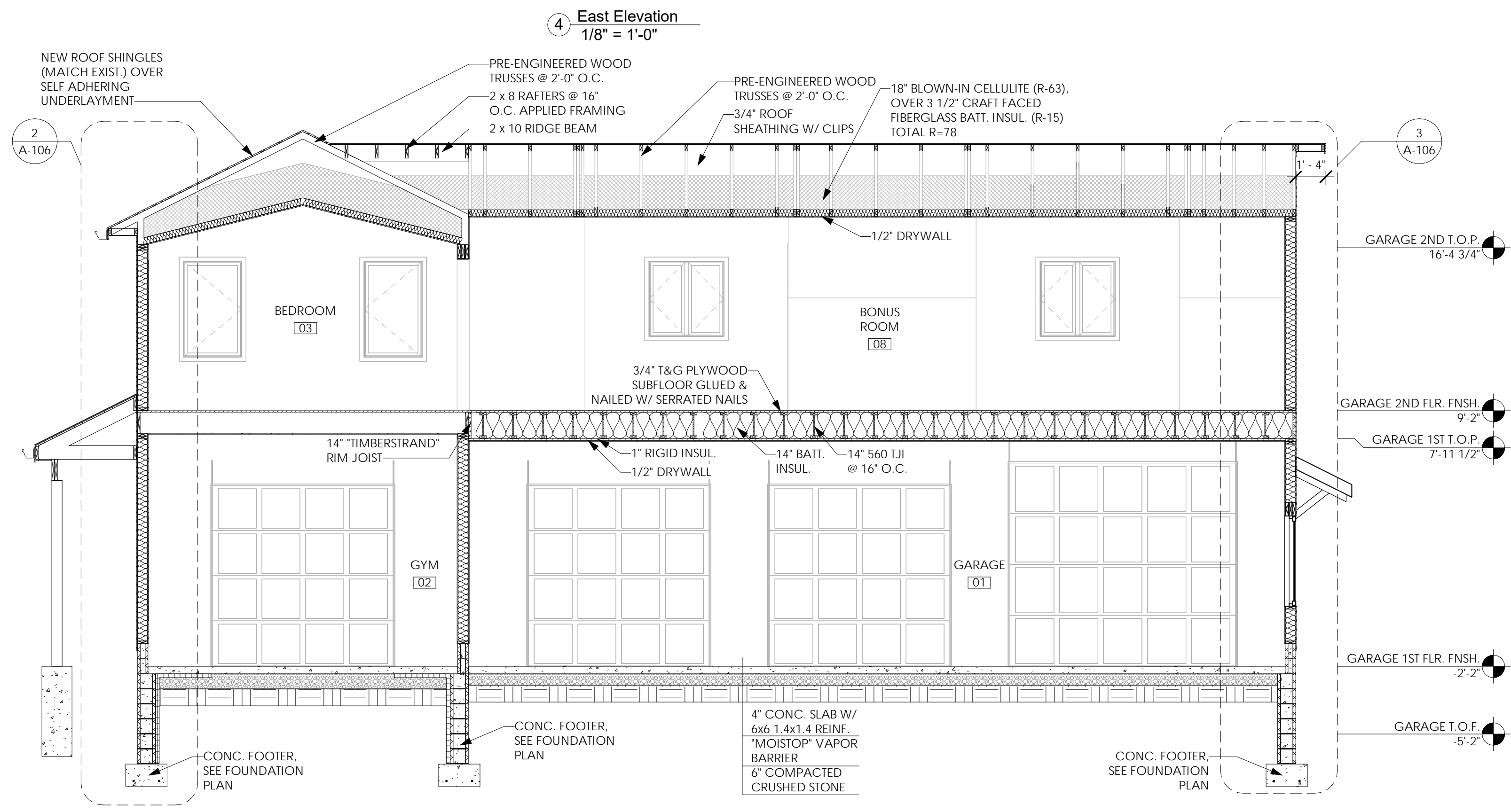
2 West Elevation  
1/8" = 1'-0"



3 North Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



5 Building Section  
1/4" = 1'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:



Project Architect/Engineer Date:  
Architect/Engineer Name  
Project Lead Date:  
Lead Name  
Project Designer Date:  
Designer Name

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Young Residence Addition  
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Monroe County

Project Name & Location:

Exterior Elevations & Building Sections

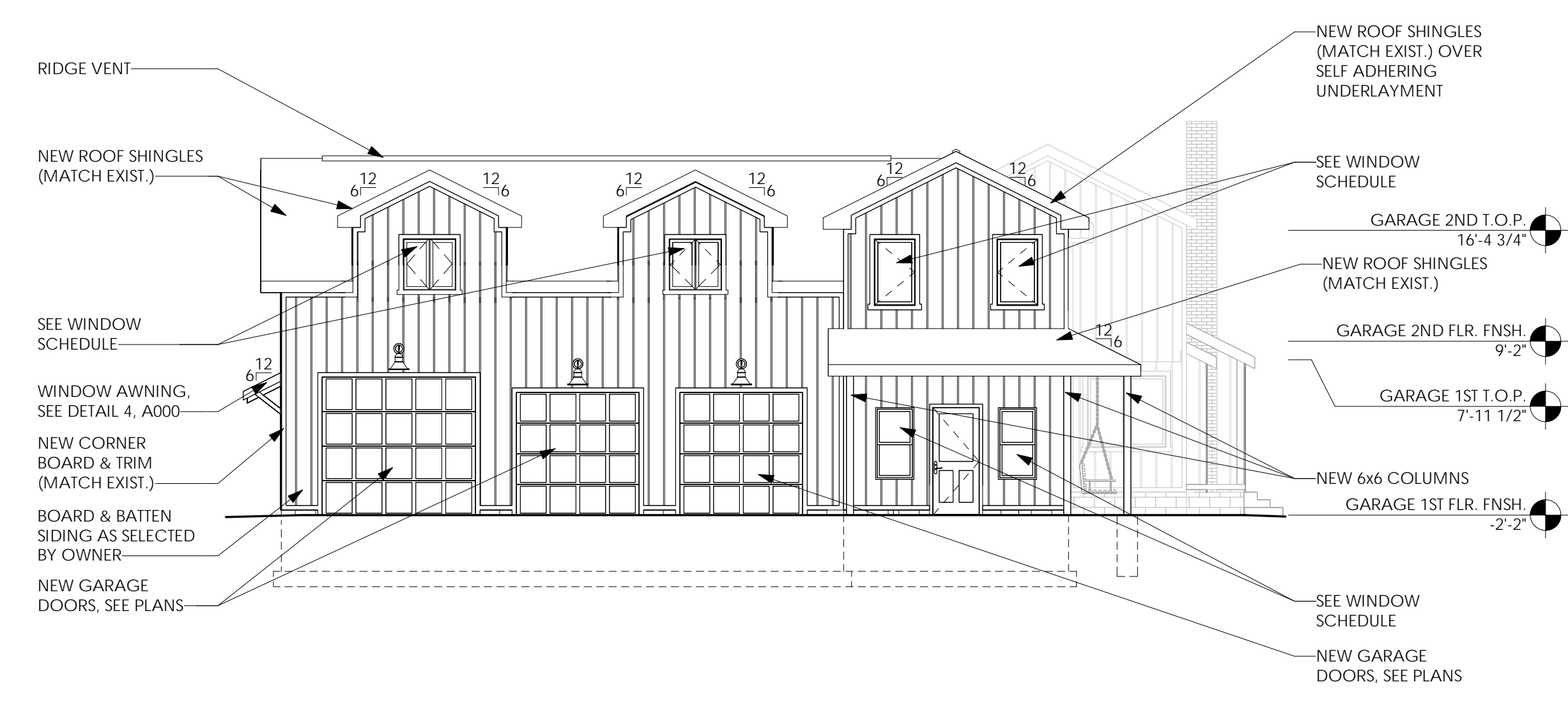
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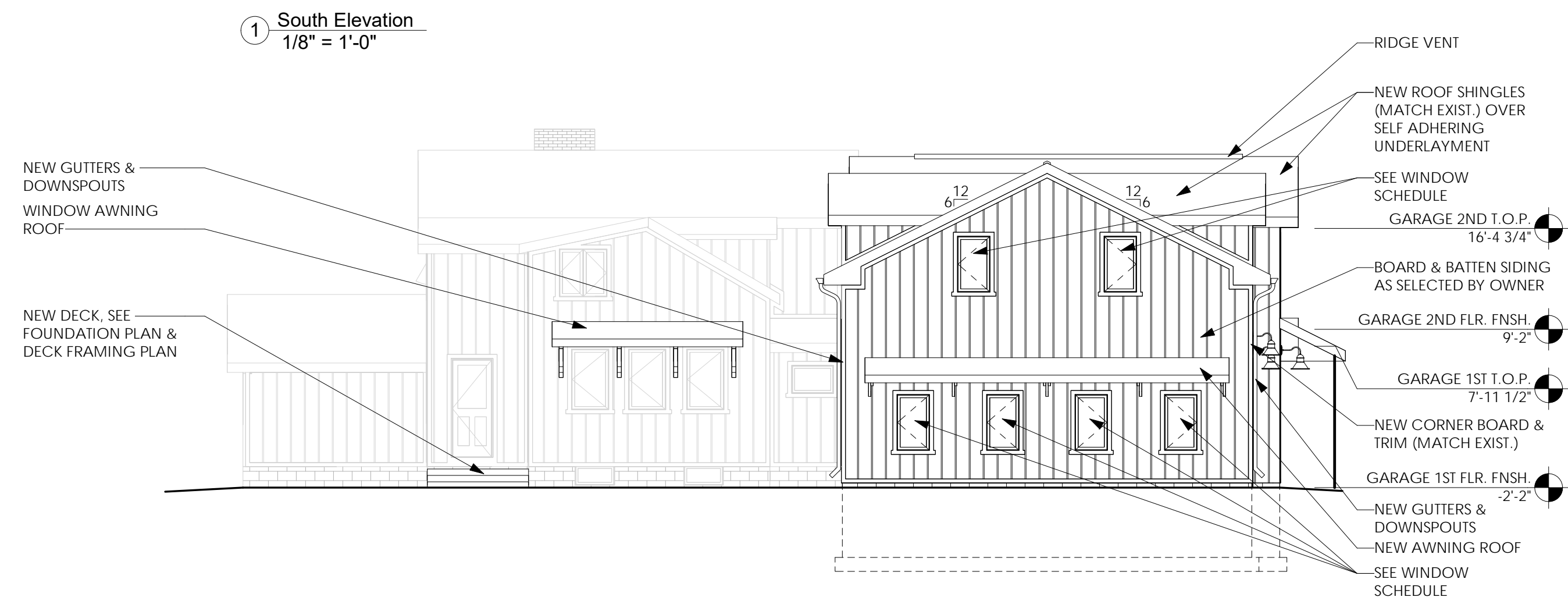




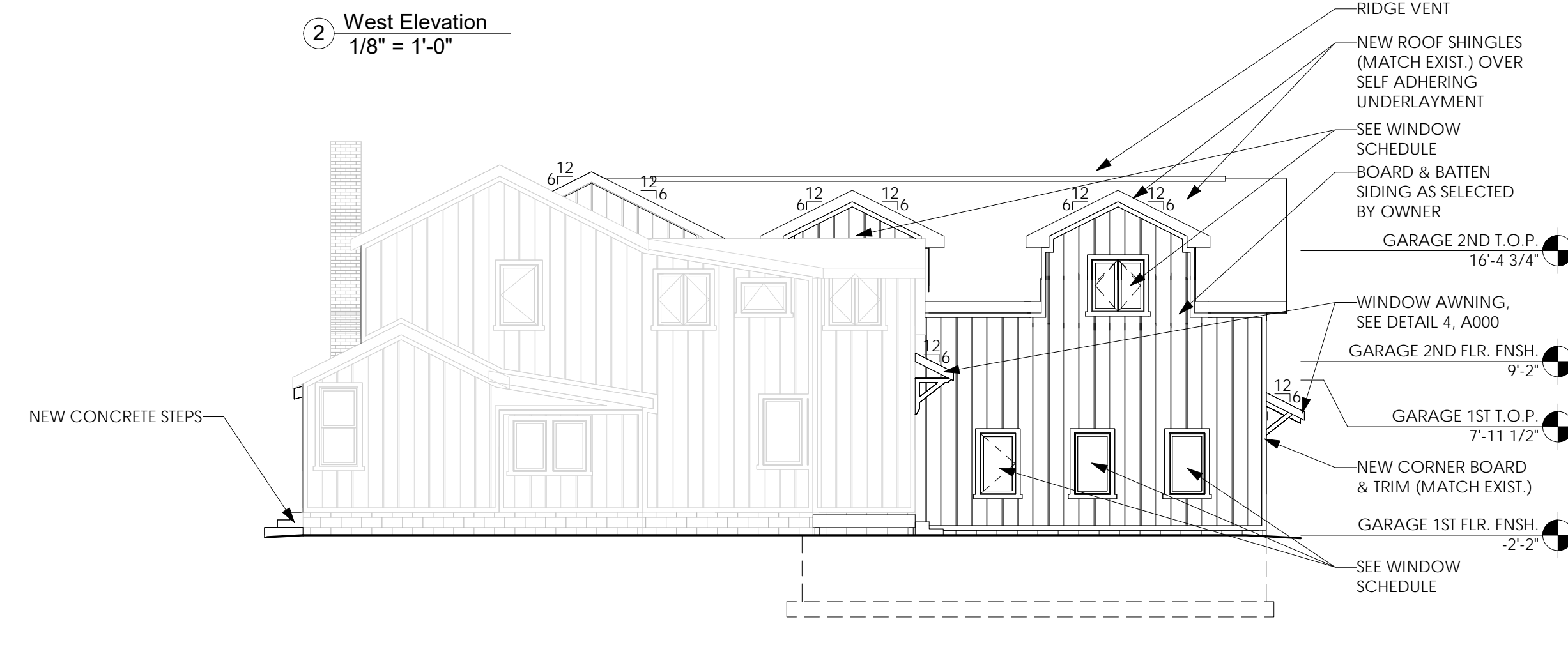
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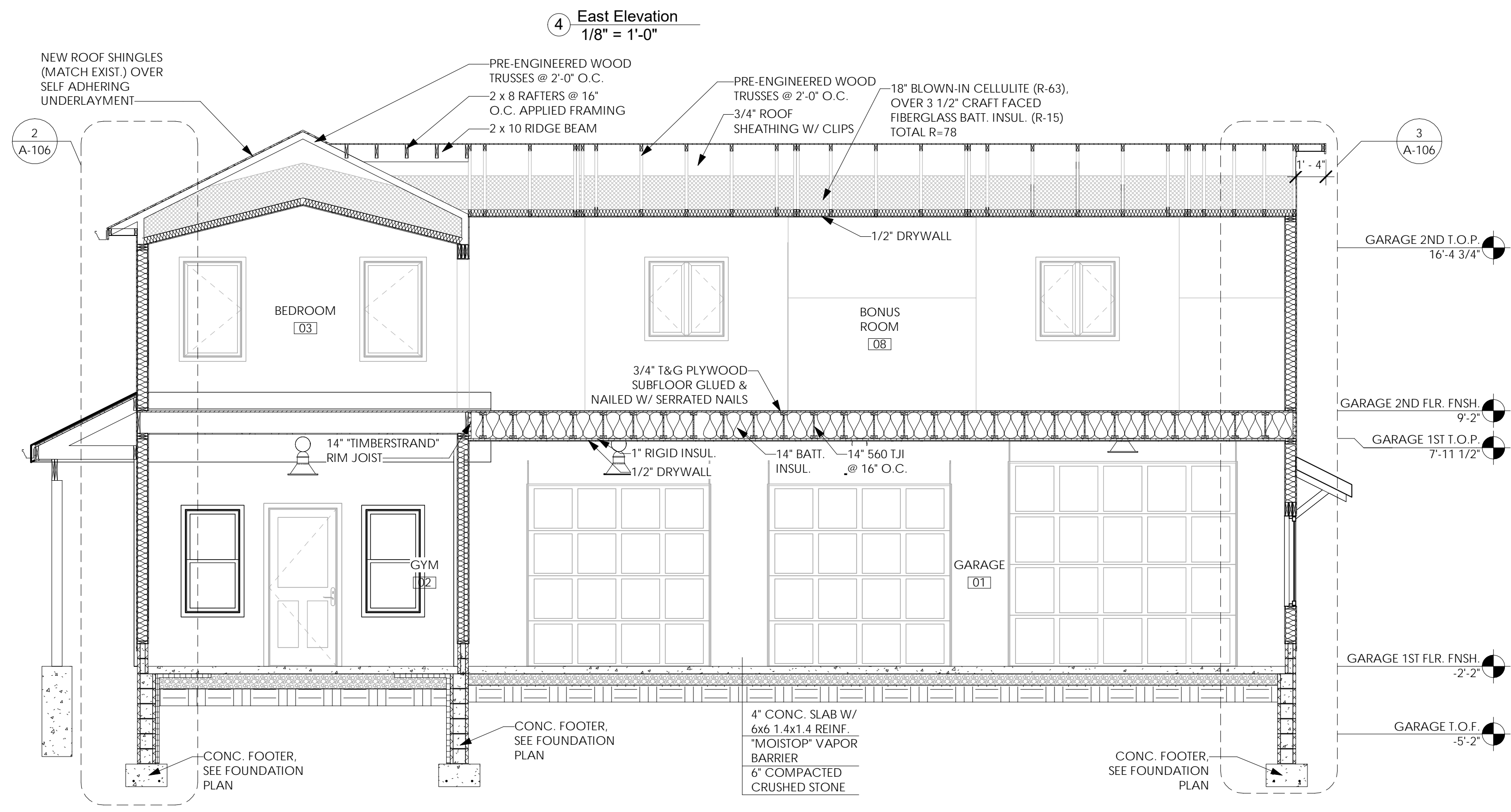
2 West Elevation  
1/8" = 1'-0"



3 North Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



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1/4" = 1'-0"

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Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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Young Residence Addition  
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Monroe County

Project Name & Location:

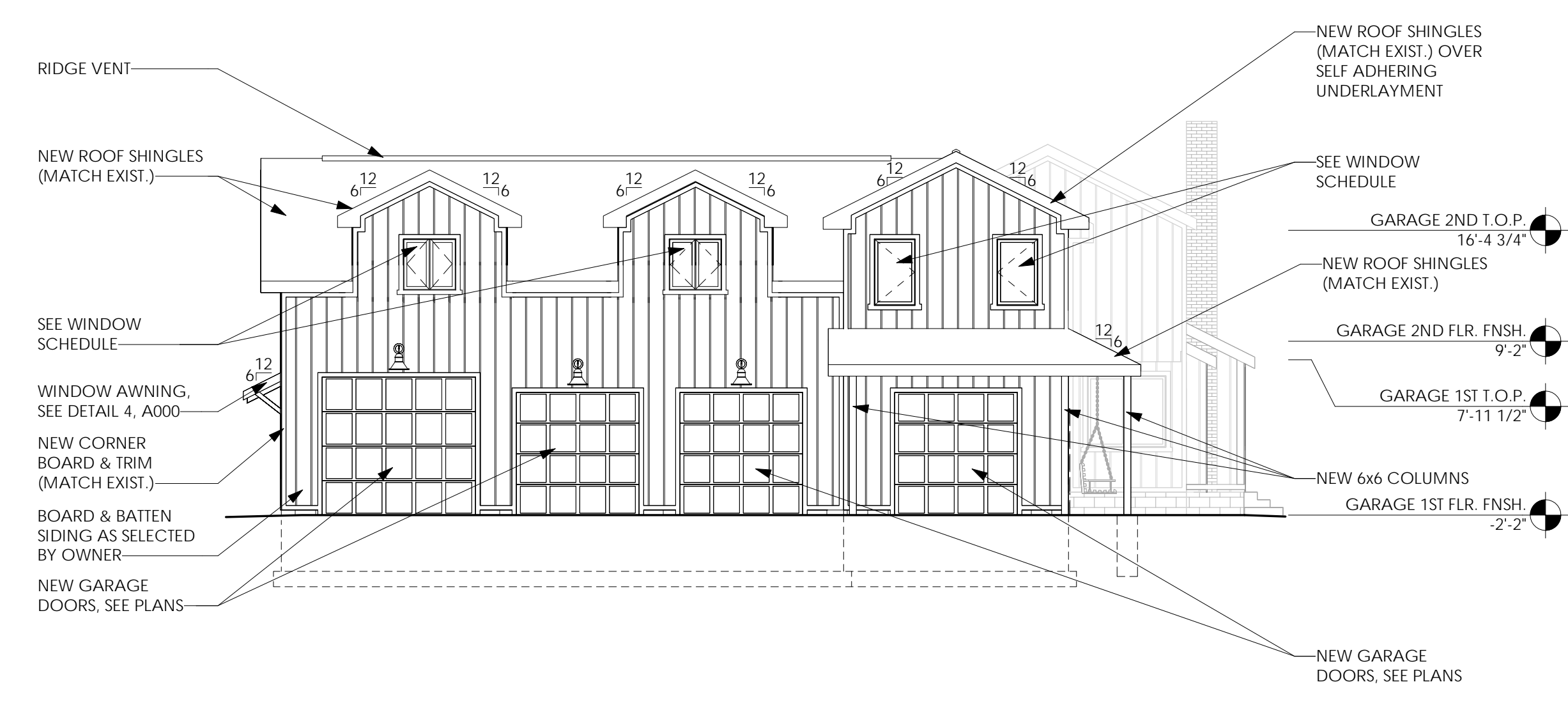
Exterior Elevations & Building Sections

Drawing Name:

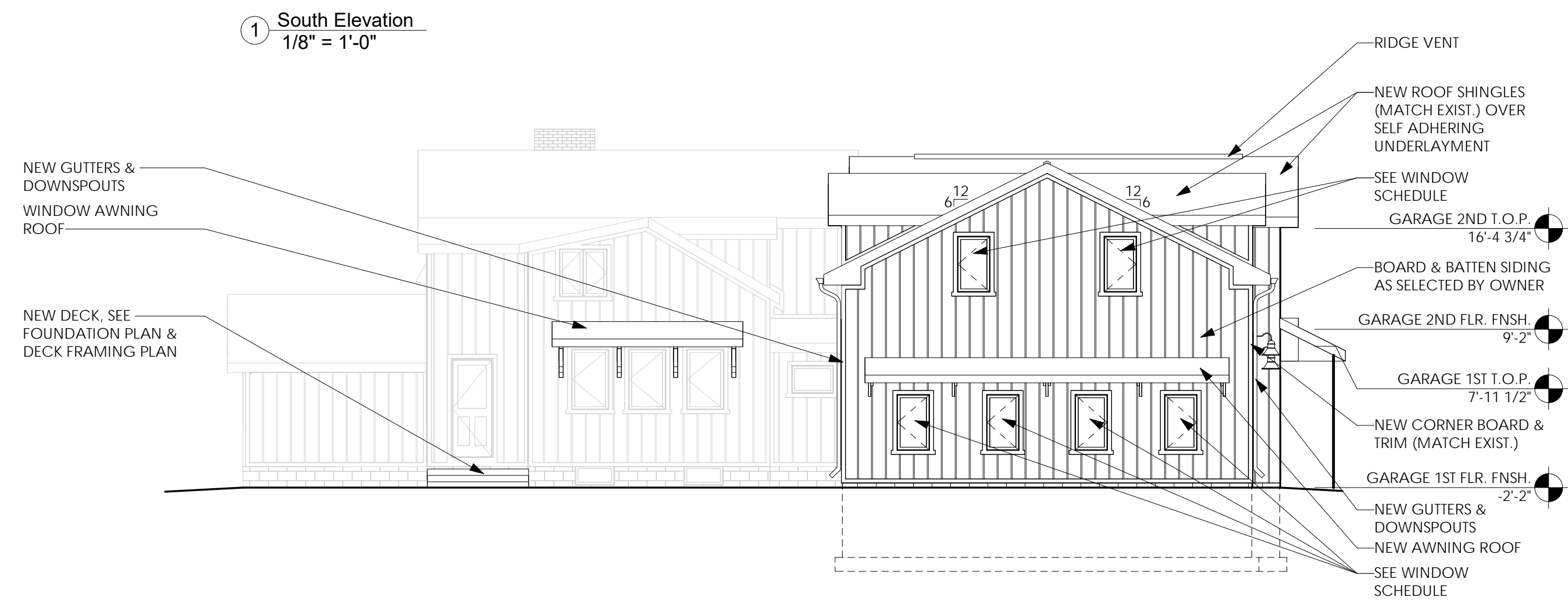
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Type: Residential	21-0511
Drawn By: NMH	A-104
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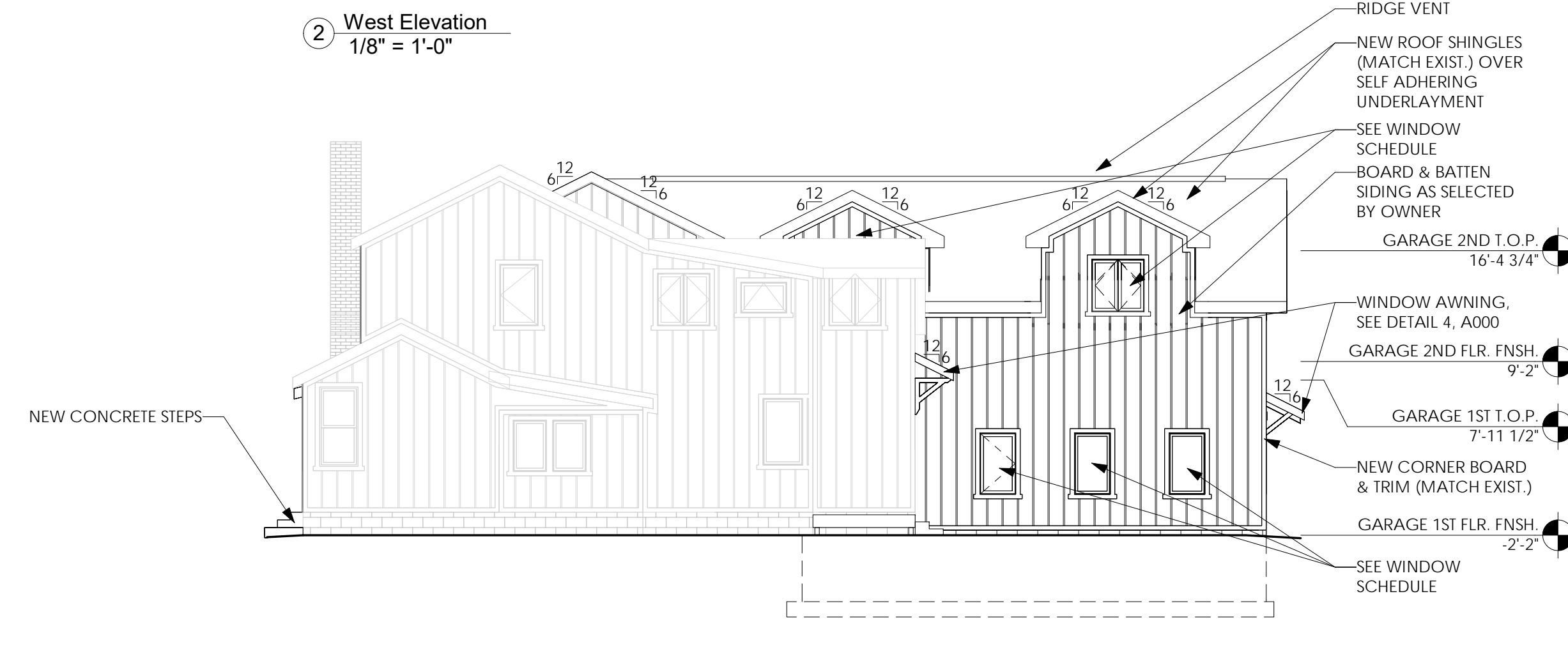
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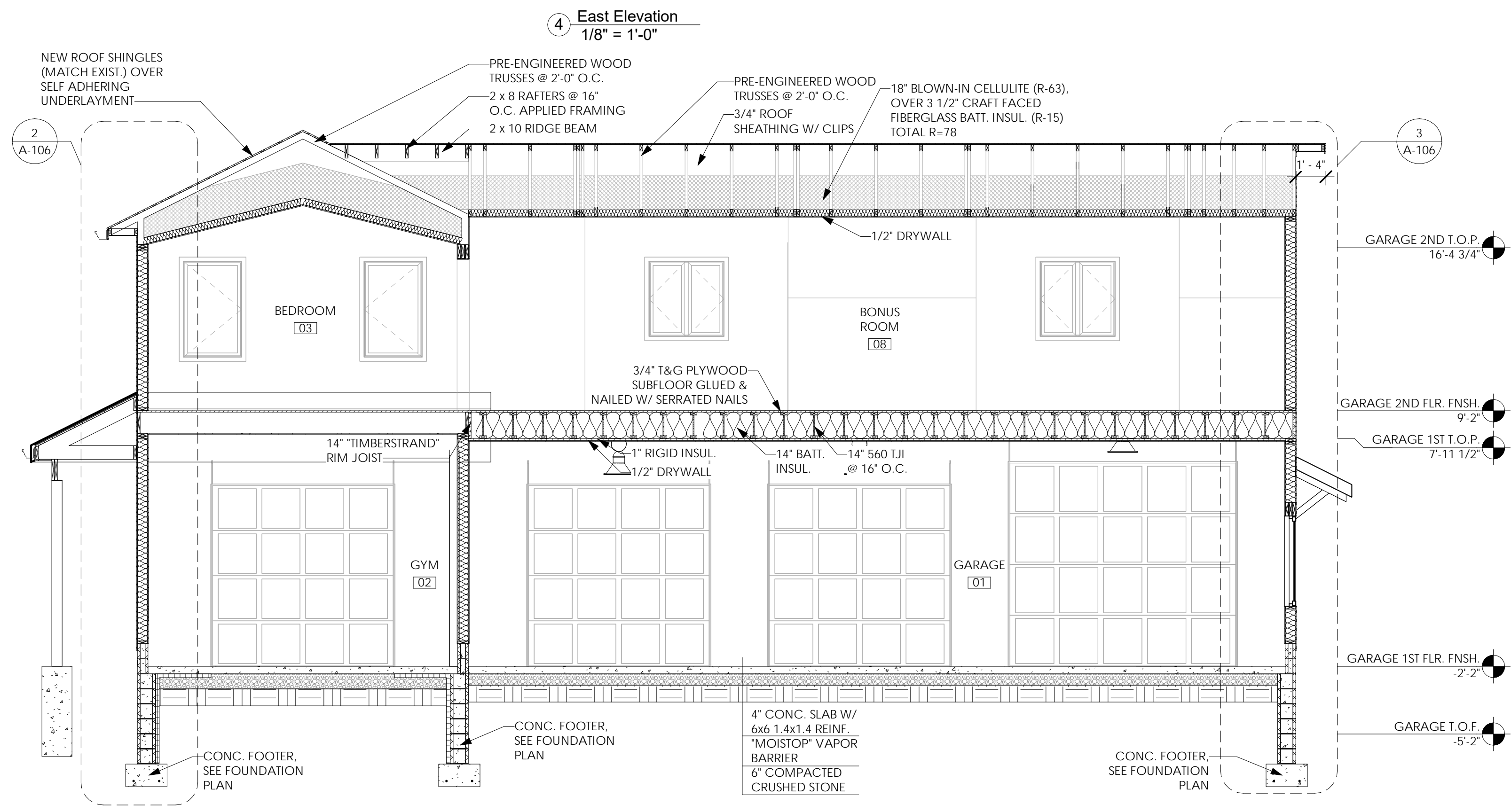
2 West Elevation  
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3 North Elevation  
1/8" = 1'-0"



4 East Elevation  
1/8" = 1'-0"



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A Issued for Client Review	11/04/22
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Revisions:	Date:

Project Architect/Engineer	Date:
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Project Lead	Date:
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**Young Residence Addition**  
2490 Lehigh Station Rd  
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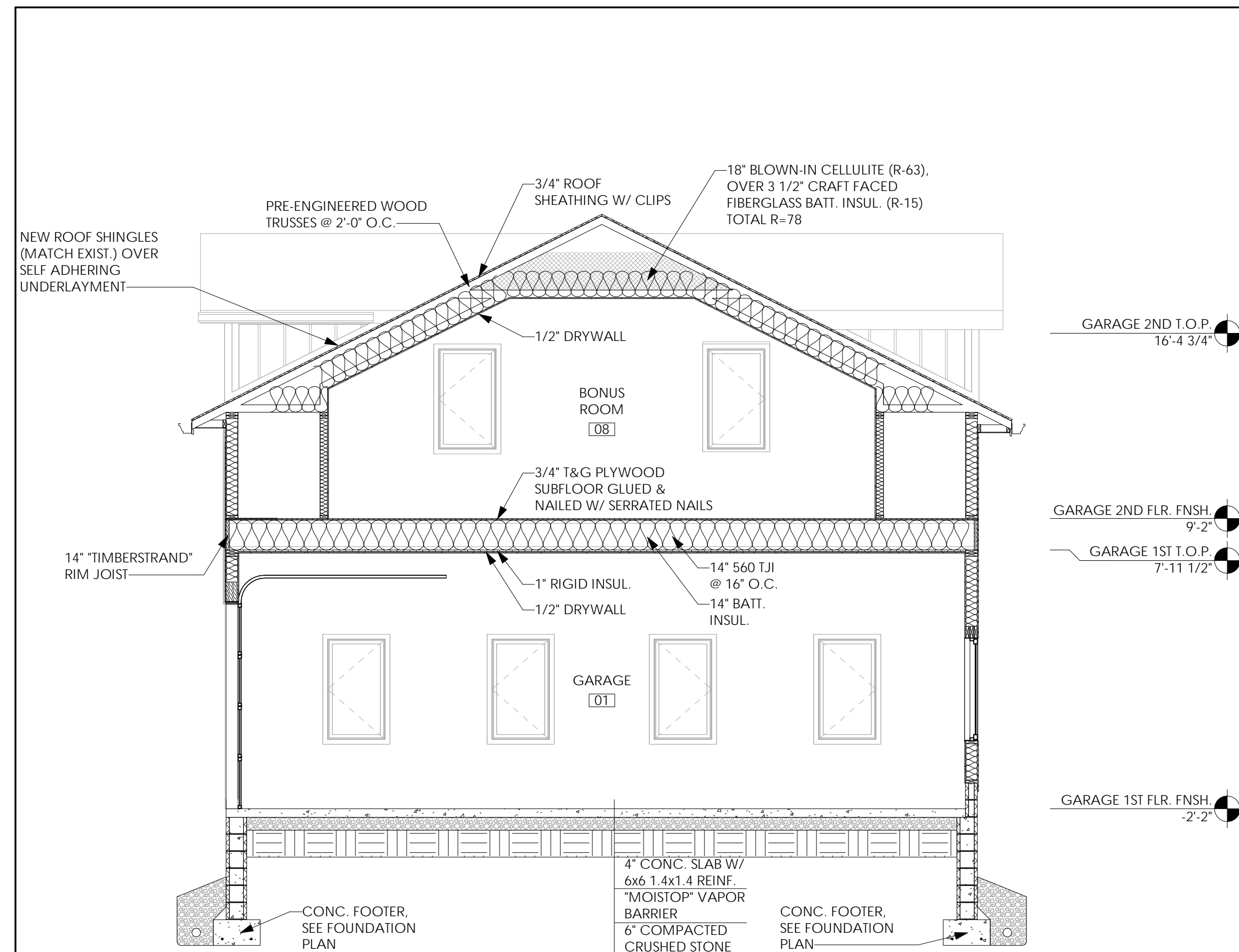
Project Name & Location:

**Exterior Elevations & Building Sections**

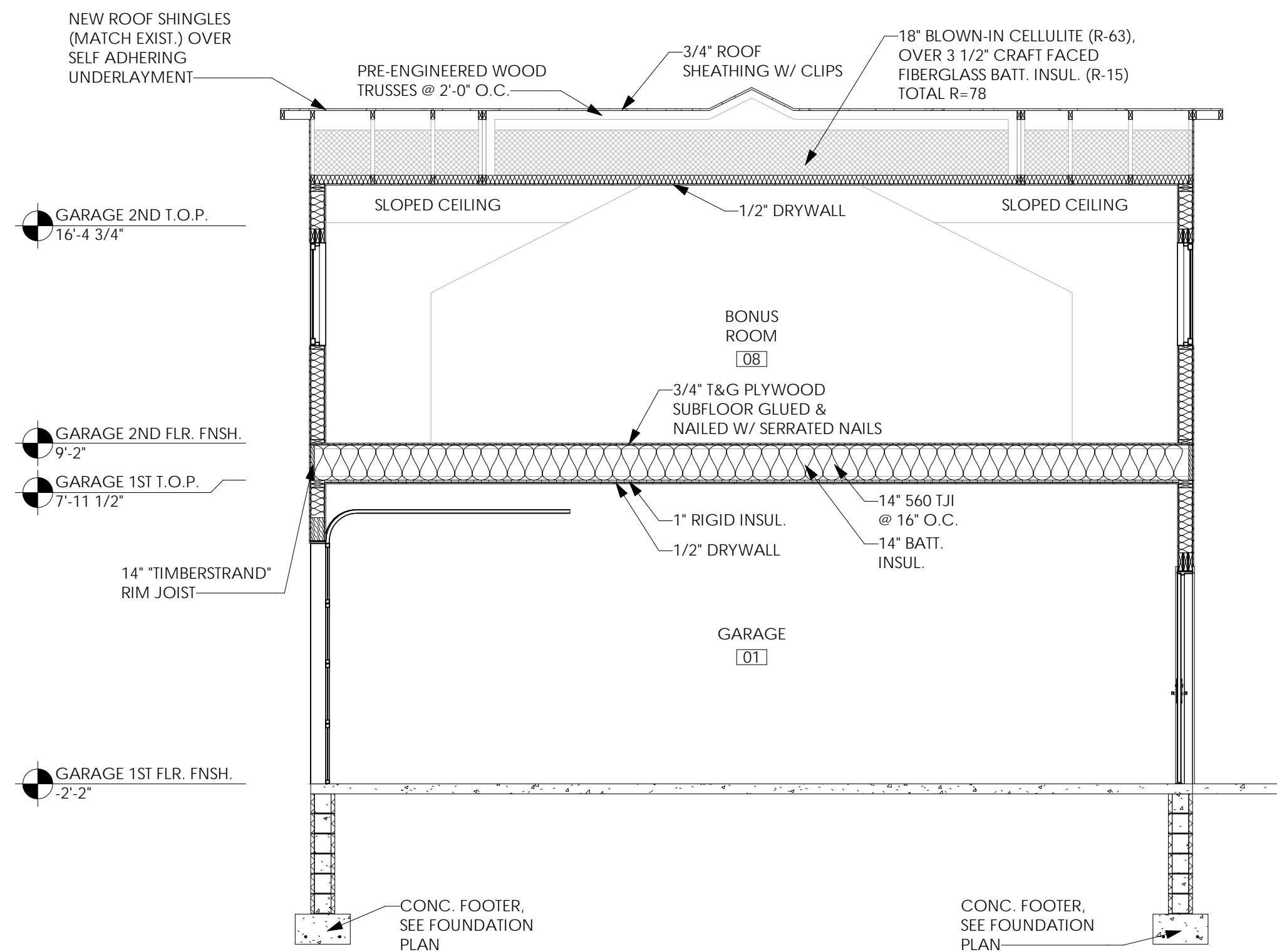
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Type: Residential	21-0511
Drawn By: NMH	A-104
Scale: As Noted	Drawing No.

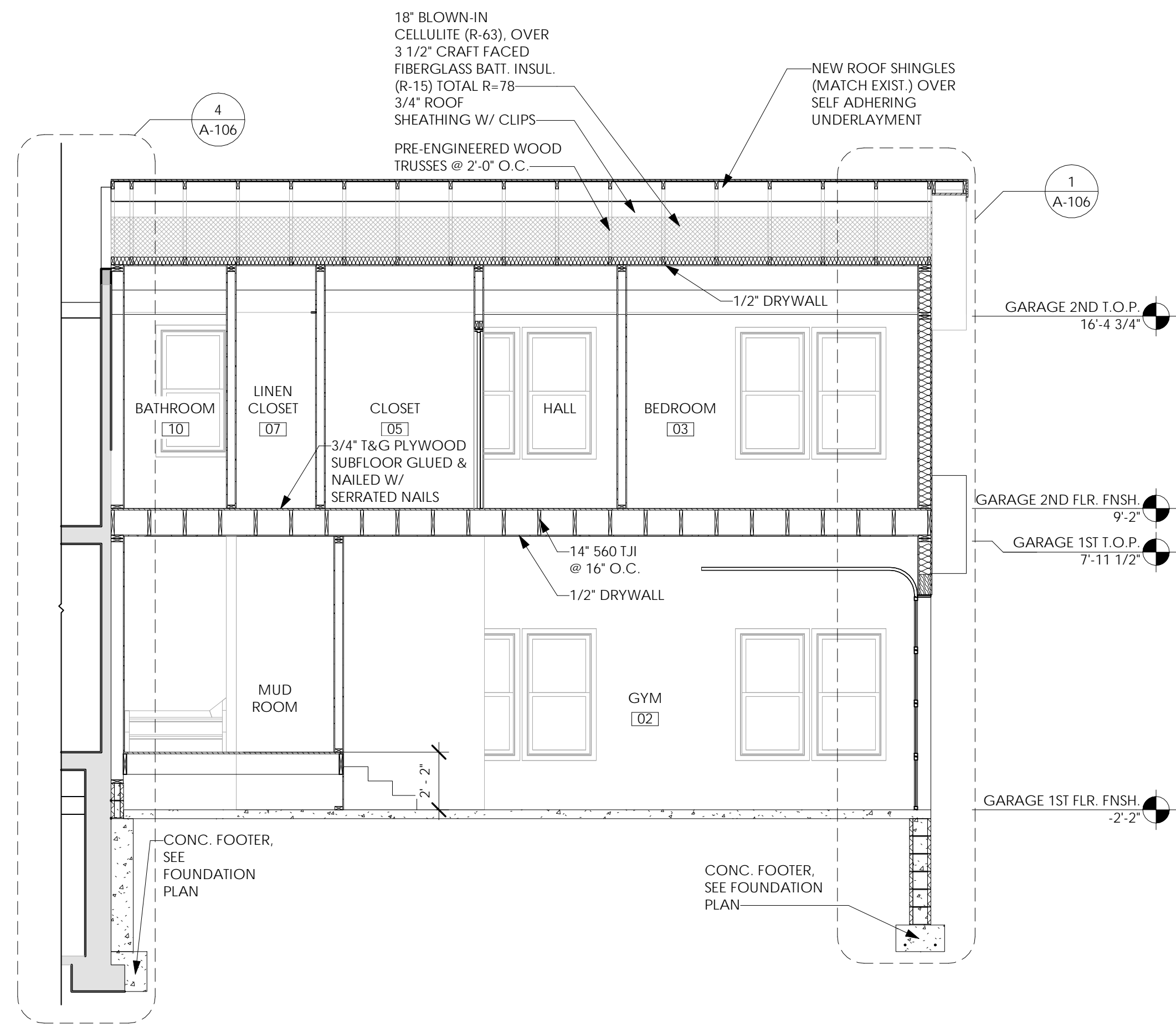




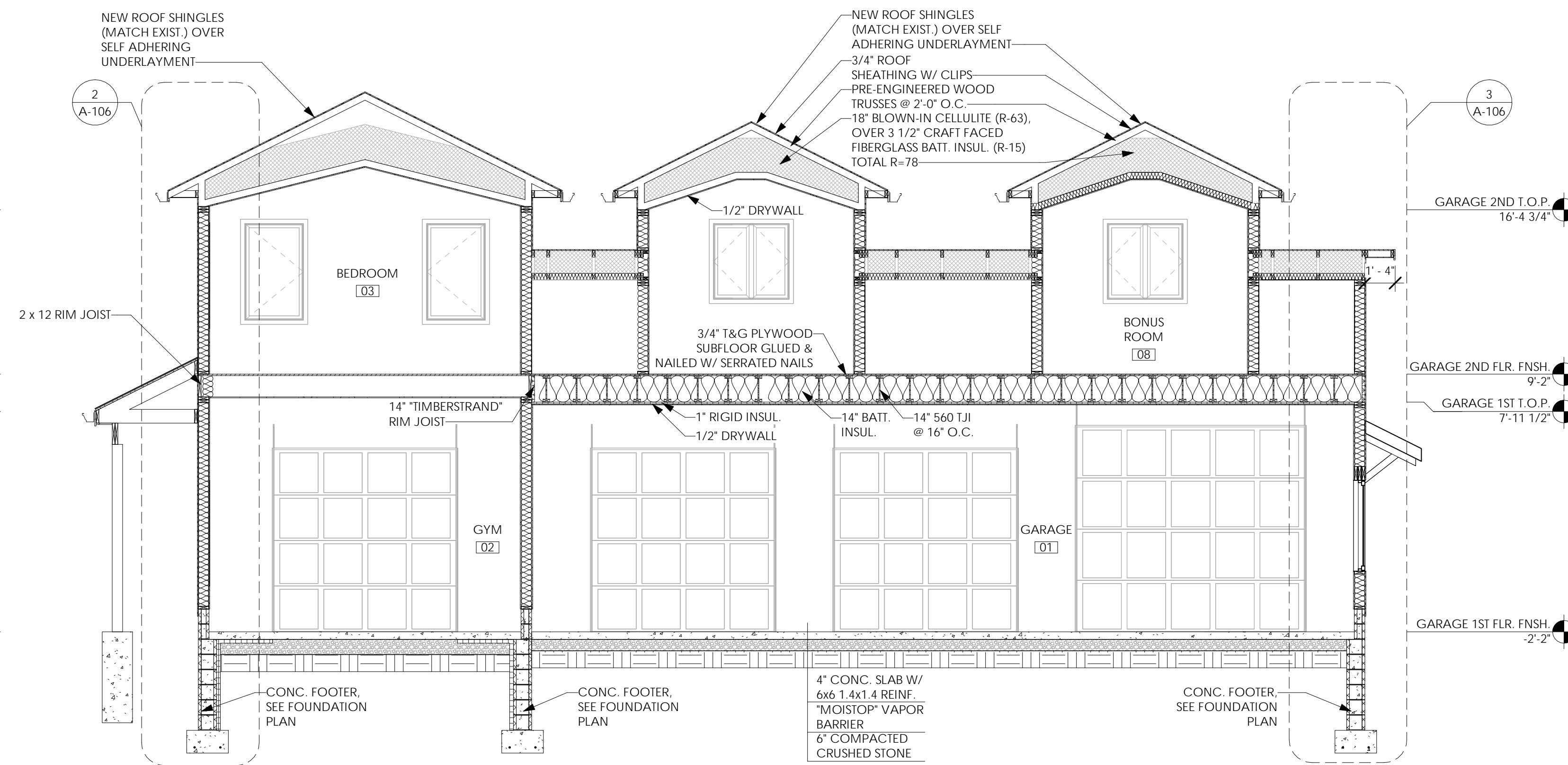
1 Building Section @ Bonus Room  
1/4" = 1'-0"



2 Building Section @ Dormer  
1/4" = 1'-0"



3 Building Section @ Gym  
1/4" = 1'-0"



4 Building Section @ Dormer Face  
1/4" = 1'-0"

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

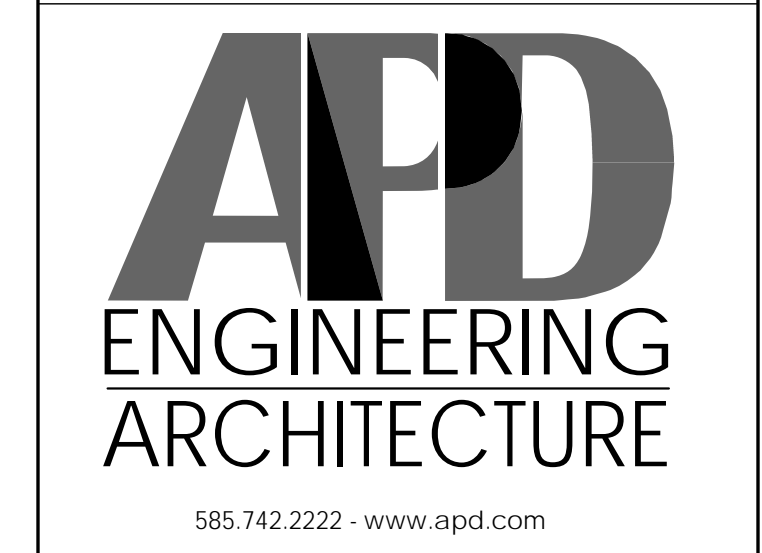
Revisions:	Date:



Project Architect/Engineer Date:  
 Architect/Engineer Name  
 Project Lead Date:  
 Lead Name  
 Project Designer Date:  
 Designer Name

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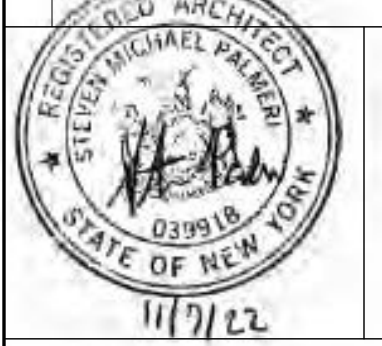


Young Residence Addition  
 2490 Lehigh Station Rd  
 Pittsford, NY 14534  
 Monroe County  
 Project Name & Location:

Building Sections	
Drawing Name:	
Date: 11/07/22	Project No. 21-0511
Type: Residential	
Drawn By: NMH	A-105
Scale: As Noted	Drawing No.

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:



Project Architect/Engineer Date:  
 Architect/Engineer Name  
 Project Lead Date:  
 Lead Name  
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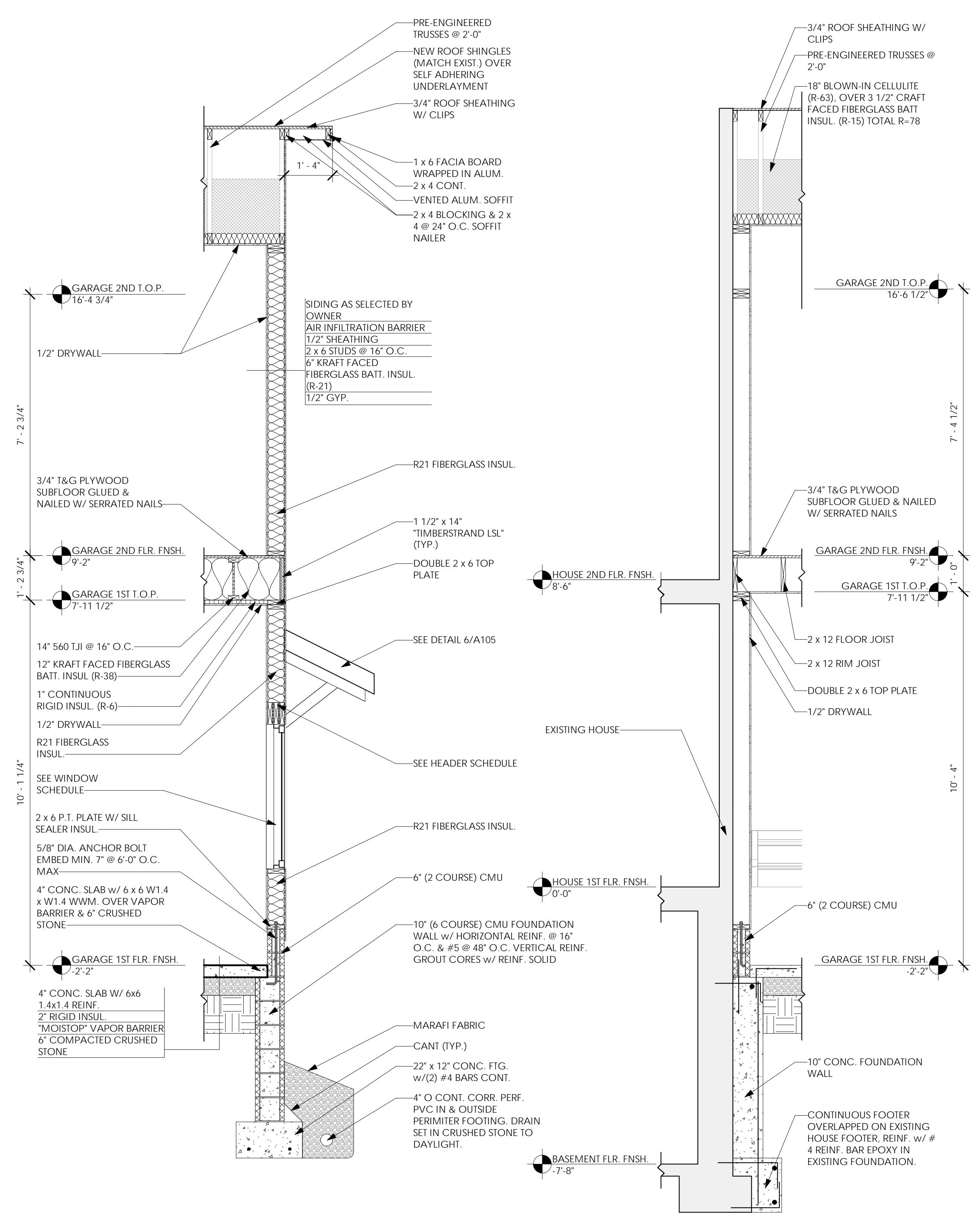
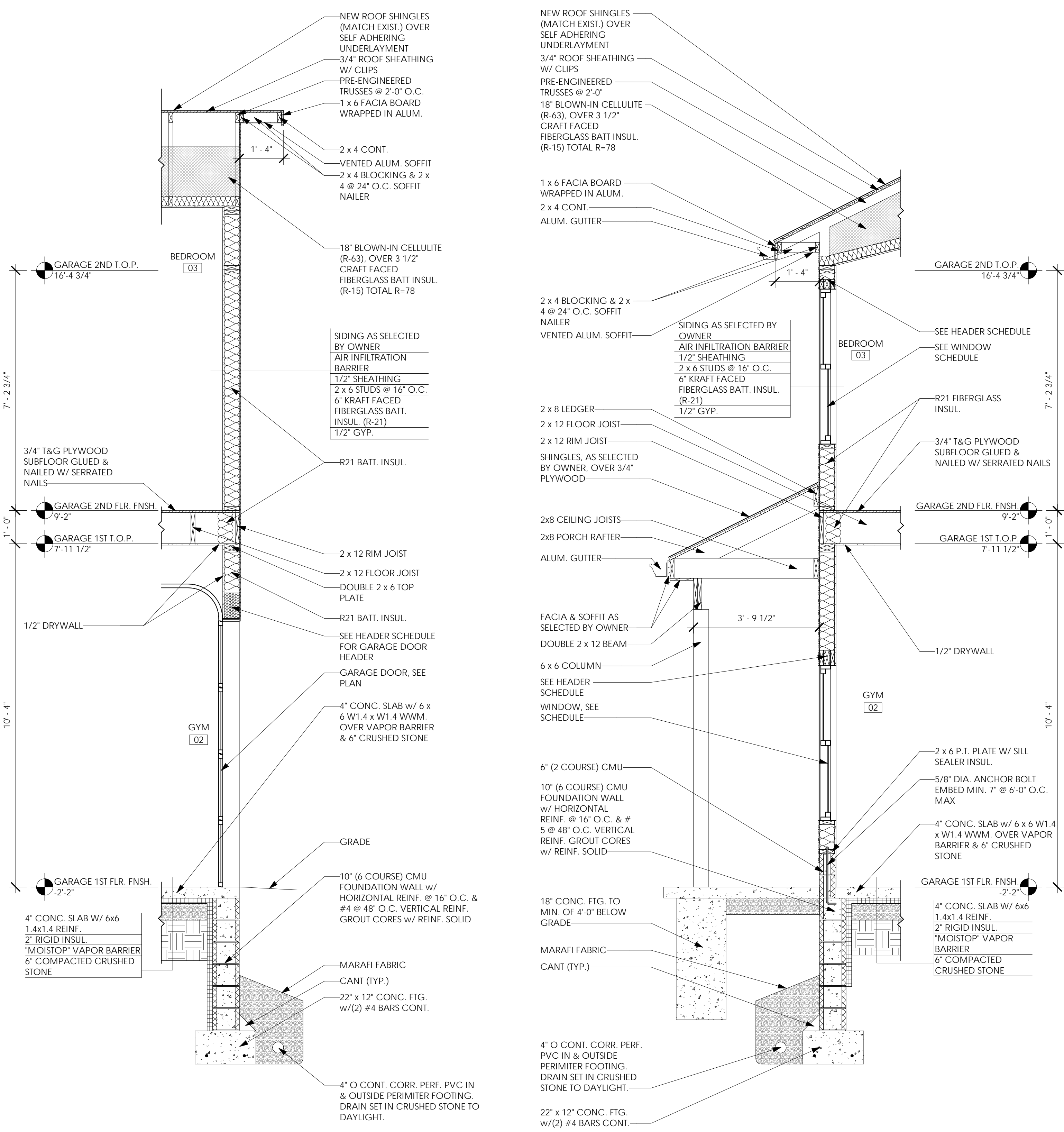


Young Residence Addition  
 2490 Lehigh Station Rd  
 Pittsford, NY 14534  
 Monroe County

Project Name & Location:

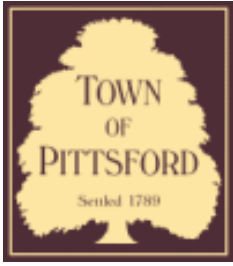
Wall Sections

Drawing Name:	Project No.
Date: 11/07/22	21-0511
Type: Residential	A-106
Drawn By: NMH	Drawing No.
Scale: As Noted	



PLOTTED: 2/2/2023 8:46:23 AM





# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**D23-000001**

Phone: 585-248-6250

FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 114 Sunset Boulevard PITTSFORD, NY 14534

**Tax ID Number:** 164.10-4-23

**Zoning District:** RN Residential Neighborhood

**Owner:** Sarajlic, Vedrana

**Applicant:** Sarajlic, Vedrana

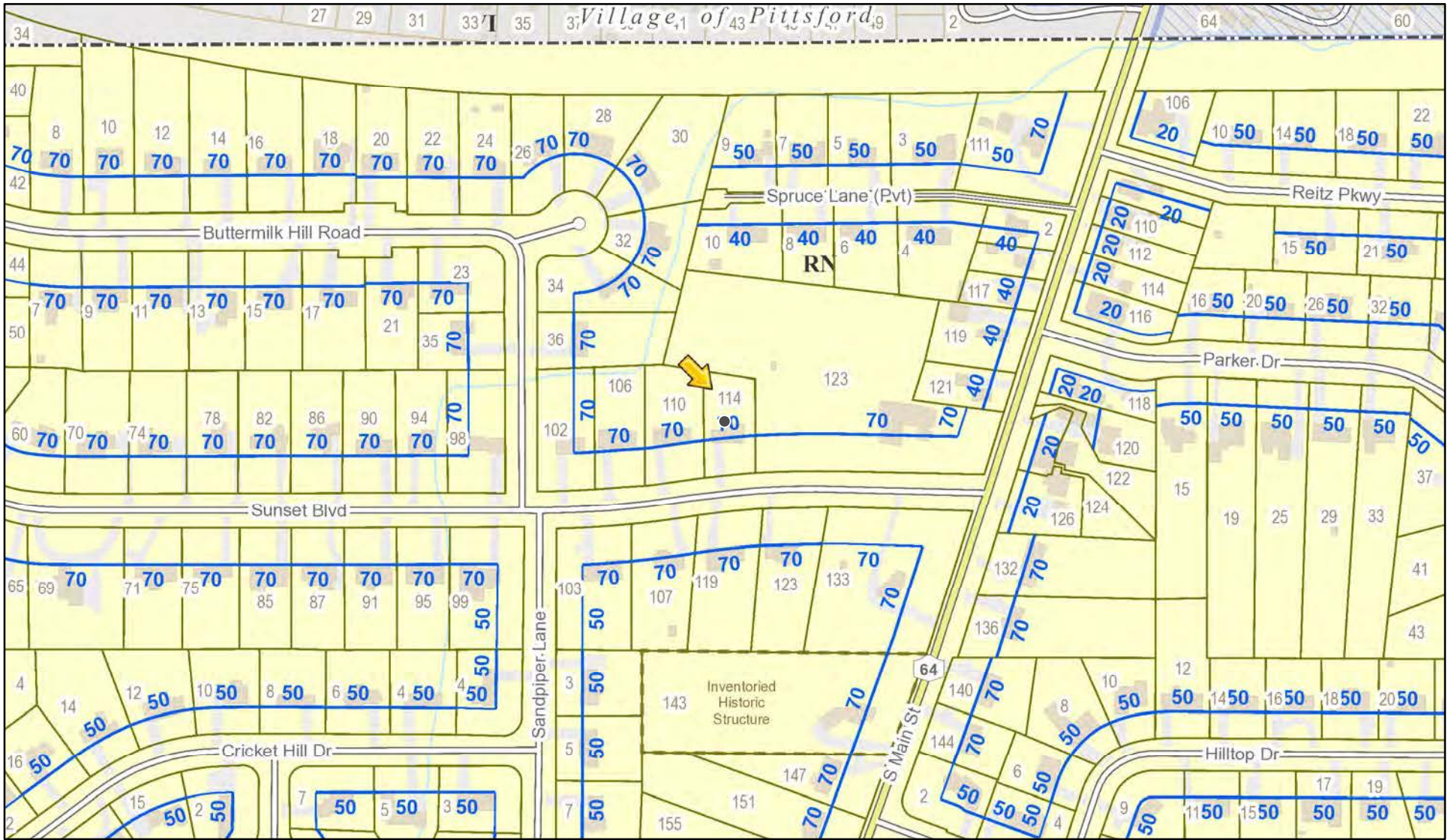
### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

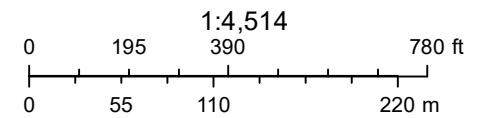
**Project Description:** In accordance with Chapter 64 Article VIII, Â§64-43 of the Pittsford Town Code, the owner of 114 Sunset Boulevard is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 1,872 square foot home at 114 Sunset Boulevard and rebuild a new 3,180 +/- square foot single family home on the property. Tax Parcel No. 164.10-4-23. This property is Zoned Residential Neighborhood (RN).

**Meeting Date:** March 09, 2023

# RN Residential Neighborhood Zoning



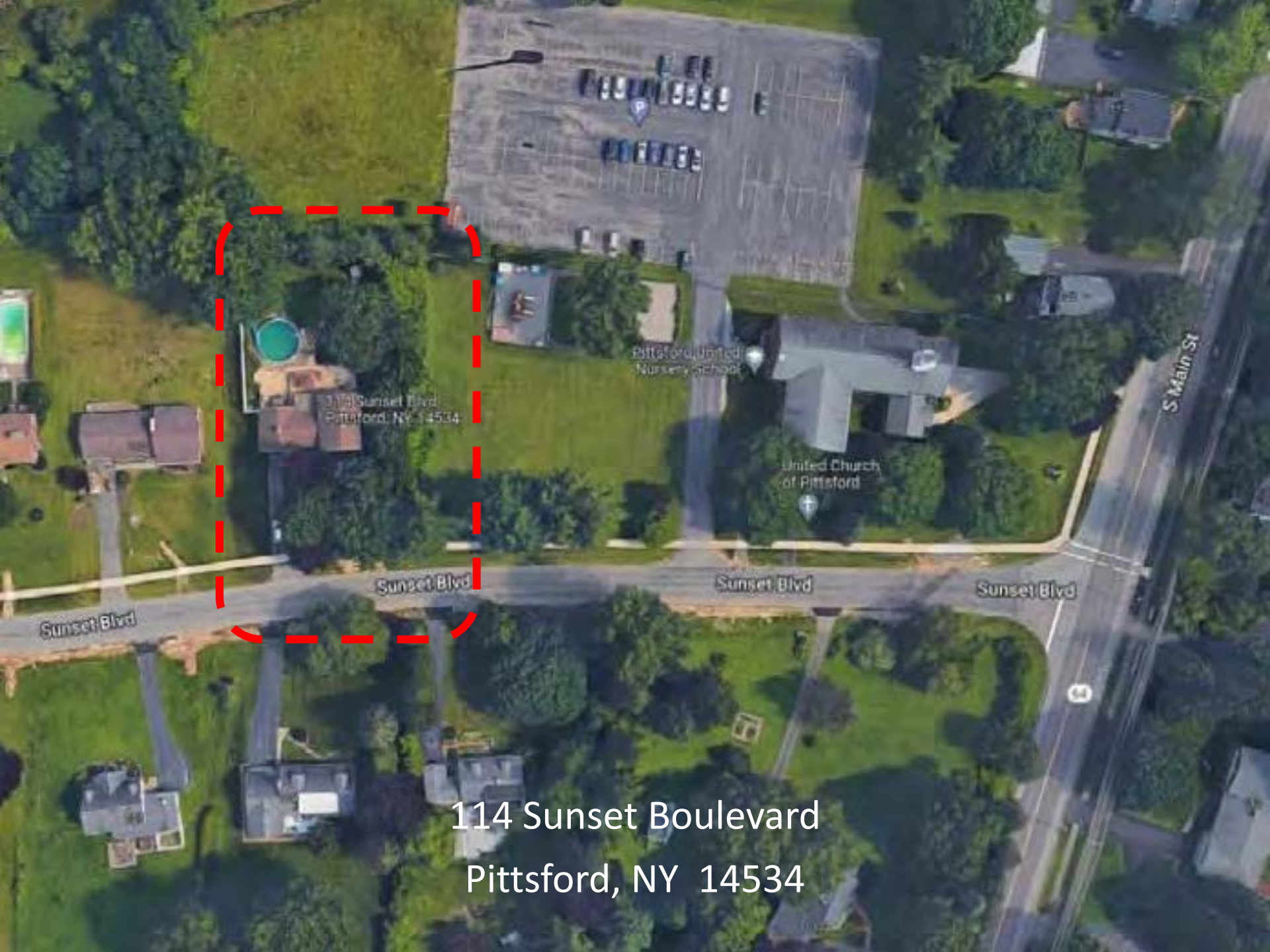
Printed March 1, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.





114 Sunset Blvd  
Pittsford, NY 14534

114 Sunset Boulevard  
Pittsford, NY 14534



36

102

106

110

114

119













- REFERENCES:**
- 1.) ABSTRACT OF TITLE No. 130987, (CROSSROADS - DEC. 14, 2010)
  - 2.) LIBER 3029 OF DEEDS, PAGE 434.
  - 3.) LIBER 127 OF MAPS, PAGE 6. (RESUBDIVISION)
  - 4.) LIBER 216 OF MAPS, PAGE 28. (FIFTH ADDITION, JEFFERSON HEIGHTS)
  - 5.) EASEMENT TO R.G.E. AND R.T.C. PER LIBER 1596 OF DEEDS, PAGE 166. (ALONG ROAD R.O.W. LINE)



**SUNSET BOULEVARD**  
(70' R.O.W.)

**CERTIFICATION:**

I hereby certify to: **CNB MORTGAGE CO. ITS SUCCESSORS AND/OR ASSIGNS**  
**PAMELA SCHERRER**  
**MARK S. GUNTHER, P.C.**  
**STEWART TITLE INSURANCE CO.**  
**ALBERT S. KUSAK, ESQ.**

that this map was made JAN. 10, 2011 from notes of an instrument Survey completed JAN. 05, 2011 and from references listed hereon.

*Gregory J. Bileschi*

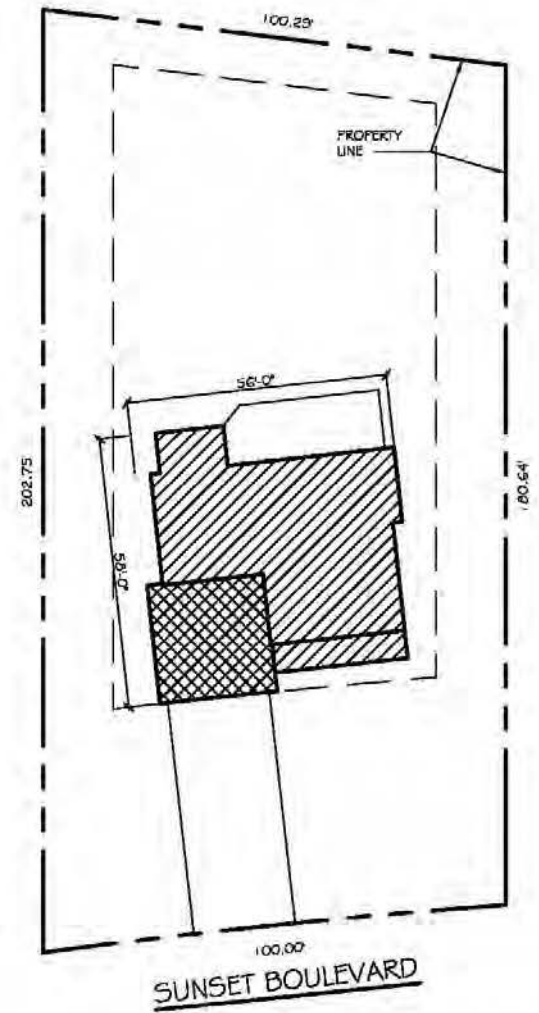
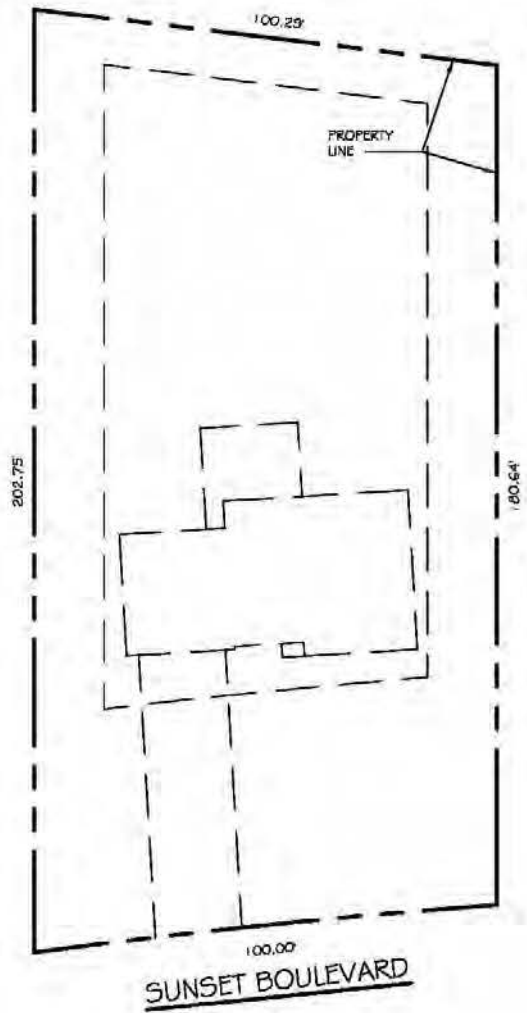
NOTE: Property corners should only be set by a licensed, registered land surveyor.

GREGORY J. BILESCHI, N.Y.S.L.S. # 50342

Tax Account No. 164.100-04-023

TITLE: INSTRUMENT SURVEY MAP





① SITE PLAN - EXISTING

0 16' 32'



② SITE PLAN - PROPOSED

0 16' 32'





H. 30'-7"

CEILING

9'-1 1/8"

SECOND FLR.

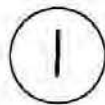
9'-1 1/8"

FIRST FLR.

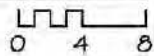
9'-9 1/2"

TOP OF FTG.

13 CDS. BELOW



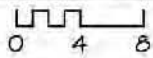
SOUTH ELEVATION



3,180 S.F.



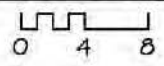
② EAST ELEVATION





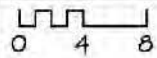


3 NORTH ELEVATION





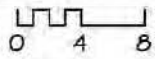
④ WEST ELEVATION



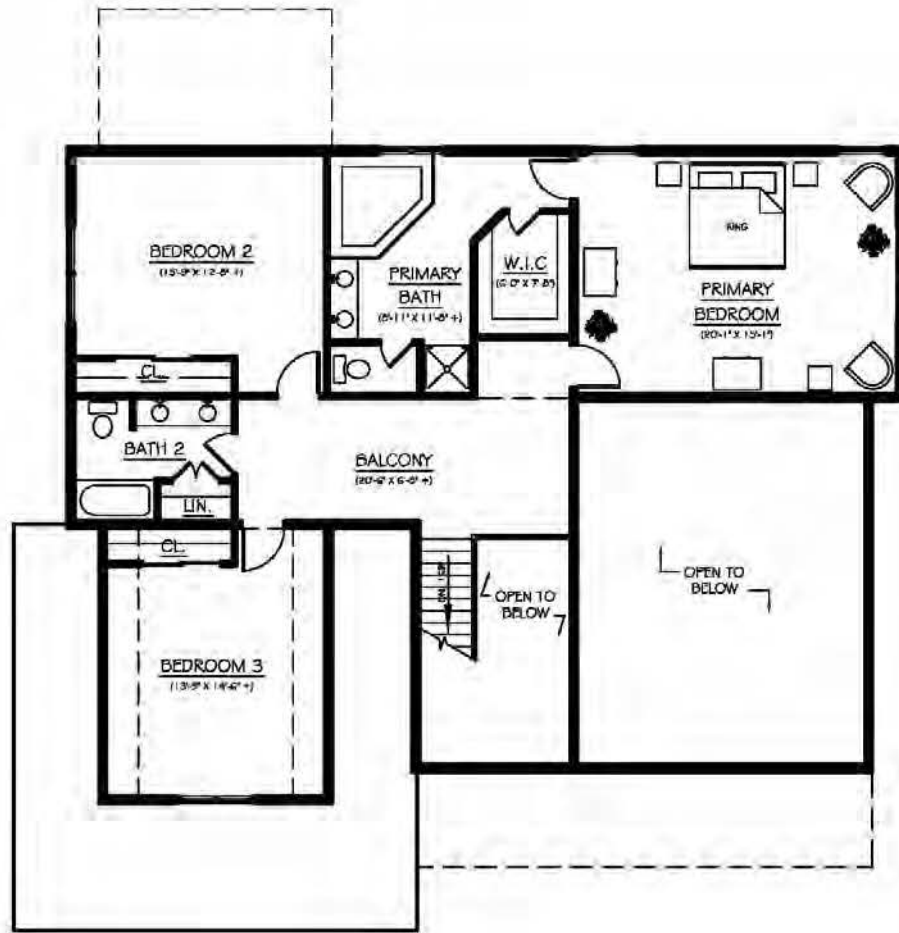




FIRST FLOOR PLAN

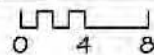


1,819 S.F.

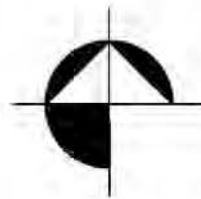


2

SECOND FLOOR PLAN



1,361 S.F.



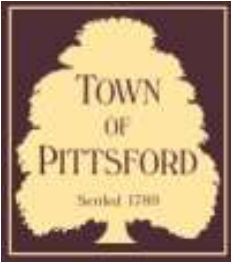












# Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

**Permit #**  
**C22-000062**

Phone: 585-248-6250  
FAX: 585-248-6262

## DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3349 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-18

**Zoning District:** C Commercial / MATZ Monroe Avenue Transitional Zone

**Owner:** Pittsford Plaza SPE, LLC

**Applicant:** Pittsford Plaza SPE, LLC

### Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

**Project Description:** Applicant has requested design review to change the color on the front of the Paper Store.

**Meeting Date:** March 23, 2023









VAN  
ACCESSIBLE


LANE

STOP



106.2 sq ft

paint color - Navajo White

the paper  store

