

**Design Review & Historic Preservation Board
Agenda
March 9, 2023**

HISTORIC PRESERVATION DISCUSSION

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATION FOR REVIEW

- **2490 Lehigh Station Road**
The Applicant is requesting design review for the addition of a 100 SF front entry porch.
- **2490 Lehigh Station Road**
The Applicant is requesting design review for an addition of a 2650 sf garage addition off the side of the existing house.
- **32 Rosewood Drive**
The Applicant is requesting design review for the construction of a covered porch off the front of the house.
- **91 Caversham Woods**
The Applicant is requesting design review for the construction of approximately a 520 SF addition off the rear of the house.
- **56 and 58 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. 56 Skylight Trail will be approximately 1884 sq. ft. and 58 Skylight Trail will be 2023 sq. ft. The town homes will be located in the new Alpine Ridge development.

DEMOLITION OF STRUCTURE AND CONSTRUCTION OF NEW RESIDENCE

- **114 Sunset Boulevard**
In accordance with Chapter 64 Article VIII, Â§64-43 of the Pittsford Town Code, the owner of 114 Sunset Boulevard is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 1,872 square foot home at 114 Sunset Boulevard and rebuild a new 3,180 +/- square foot single family home on the property. Tax Parcel No. 164.10-4-23. This property is Zoned Residential Neighborhood (RN).

Design Review and Historic Preservation Board
Minutes
February 23, 2023

PRESENT

David Wigg, Vice Chairman; Paul Whitbeck, John Mitchell, Kathleen Cristman

ALSO PRESENT

Cathy Koshykar, Town Board liaison; Anthony Caruso, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Dirk Schneider, Chairman; Bonnie Salem, Jim Vekasy

HISTORIC PRESERVATION DISCUSSION

There was no historic preservation discussion.

RESIDENTIAL APPLICATION FOR REVIEW

- **220 Kilbourn Road**

The Applicant is requesting design review for an addition of a 435 SF addition off the back of the house.

Jonathan Spoleta of Spoleta Construction and homeowner Laurence Giangreco were present.

Mr. Spoleta discussed the project of an enclosed porch on the rear of the structure. The finishes will match the existing stucco and the asphalt roofing will match the existing. A crawl space will be underneath.

David Wigg moved to accept the application with the condition that ice and water shield be installed underneath the shingles on the new addition.

Paul Whitbeck seconded.

All Ayes.

- **7 Grey Fawn**

The Applicant is requesting design review for the construction of a 120 SF deck platform and sunroom addition of the back of existing dining room.

Dave Cerrone of Fitch Construction was present. A proposed unheated enclosed porch was discussed. This application will require an area variance for exceeding the allowed impervious coverage. The colors are described as earth tones that will blend with the original color scheme of the home.

Kathleen Cristman moved to accept the application as submitted.

David Wigg seconded.

All Ayes.

- **108 Stoneleigh Court**

The Applicant is requesting design review for the construction of 332 SF mudroom and 691 SF garage addition off the rear of the home.

Patrick Morabito was present to discuss the application with the Board. An area variance has been approved by the Zoning Board of Appeals for a side setback to allow the construction of the garage. The materials will match the existing on the home.

The Board reviewed the project and approved of the proposed construction.

Kathleen Cristman moved to approve the application as submitted.

John Mitchell seconded.

All Ayes.

- **42 French Road**

The Applicant is returning to design review for the demo of an existing single car garage and addition of an approximate 809 SF 2 car garage with mudroom at the rear.

Patrick Morabito discussed this application with the Board.

This application is returning from a previous submission. This addition will now be under 6 ft. forward of the residence. The ridge lines will line up and the siding and roofing will match the existing.

Paul Whitbeck moved to approve the application with the condition that the overhang of the addition will match that of the residence.

Kathleen Cristman seconded.

All Ayes.

- **5637 Palmyra Road**

The Applicant is requesting design review for the construction of an oversized (288 SF) over height (17') accessory structure, shed.

The property owner, James Donsbach, was in attendance. Mr. Donsbach presented the board with a new drawing of the proposed structure. He indicated the exterior would be the same color as the residence on the property. One gable end elevation will feature a hinged double door and both gable ends will feature an upper double hung window which will match windows on the residence. The possibility of shutters was discussed. The foundation materials were recommended to be crushed stone.

John Mitchell moved to accept the application as discussed at the meeting on 2/23/23 with the following conditions:

1. The shed will be 12 ft. wide model with a building height of 15 ft.
2. The fenestration of one gable end will feature a double door and both gable ends will feature upper double hung windows which will match that of the residence.
3. The gutters and roofing will match the existing residence.

4. The foundation will be a minimum of 4-6" of compacted crushed stone.
5. Only one side elevation will feature windows that will match the residence and a man door, the other will be sided.
6. The vertical siding color will match the residence.

David Wigg seconded.

All Ayes.

- **500 Canfield Road**

The Applicant is requesting design review for the construction of a two-story single-family home. The home will have approximately 4459 square feet.

The homeowner, Osiris Georgi was present.

Mr. Georgi described the proposed new home construction as a residence with a 3-car garage located on 5 acres approximately 200 ft. from Canfield Road. He described the proposed materials including varying textures, materials and colors on the front elevation. The front door will be a double door as opposed to the single door depicted on the construction plans presented.

The Board expressed their concerns regarding the following:

1. Different proposed colors for the main residence and attached garage.
2. Many colors and textures on the front elevation.
3. The blank massing on the back of the garage.

The suggestion was made the expanse on the rear elevation should be broken up with transom windows.

Following discussion with the applicant, David Wigg moved to accept the application as submitted with the following conditions:

1. The front entry will be a double door as discussed on 2/23/23.
2. The shakes in the garage gable and above the front entry will be the same color.
3. The shakes will be the same color as the siding.
4. White aluminum trim will surround the white garage door.
5. The stone will be grey with blue fleck and will return 3 ft. to the side at the water table.
6. Support brackets will be installed under the fireplace.
7. Roofing will be gray architectural shingles with plum-colored flecks.
8. The man door on the rear elevation will be centered underneath the upper gable window on the back wall of the garage.

Paul Whitbeck seconded.

All Ayes.

COMMERICAL APPLICATION FOR REVIEW

- **3690 East Avenue – Dugan Training Facility**

The Applicant is requesting design review for the construction of an approximately

6900 SF practice facility next to the existing baseball field.

George Stooks of St. John Fisher University and Steve Fernaays of SWBR Architecture were Present.

This structure will be an indoor practice facility located along the first base dugout field. The structure will feature the beige/brown brick reflected in other architecture on the campus. A row of clear windows will be featured. The pitch of the building will be 25 ft. at its highest and slope to a height of 16 ft. Material samples were presented to the Board for examination.

David Wigg moved to approve the application as submitted with the materials that were submitted to the Board on 2/23/23.

John Mitchell seconded.

All Ayes.

REVIEW OF MINUTES OF JANUARY 26, 2023 MEETING

David Wigg moved to accept the minutes of the January 26, 2023, meeting as written.

Kathleen Cristman seconded.

All Ayes.

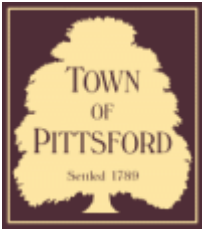
ADJOURNMENT

David Wigg moved to close the meeting at 8:00 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000007

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 2490 Lehigh Station Road PITTSFORD, NY 14534

Tax ID Number: 177.01-2-8.1

Zoning District: RN Residential Neighborhood

Owner: Morgan, Marcella Juanice

Applicant: Kody Young

Application Type:

- | | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: The applicant is requesting design review for the addition of a 100 SF front entry porch

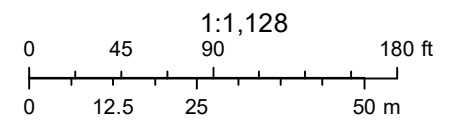
Meeting Date: March 09, 2023



RN Residential Neighborhood Zoning



Printed February 3, 2023



Town of Pittsford GIS

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Driveway

Pittsford-Henrietta Town Line Rd

Pittsford-Henrietta Town Line Rd

Lehigh Station Rd

Pittsford-Henrietta Town Line Rd

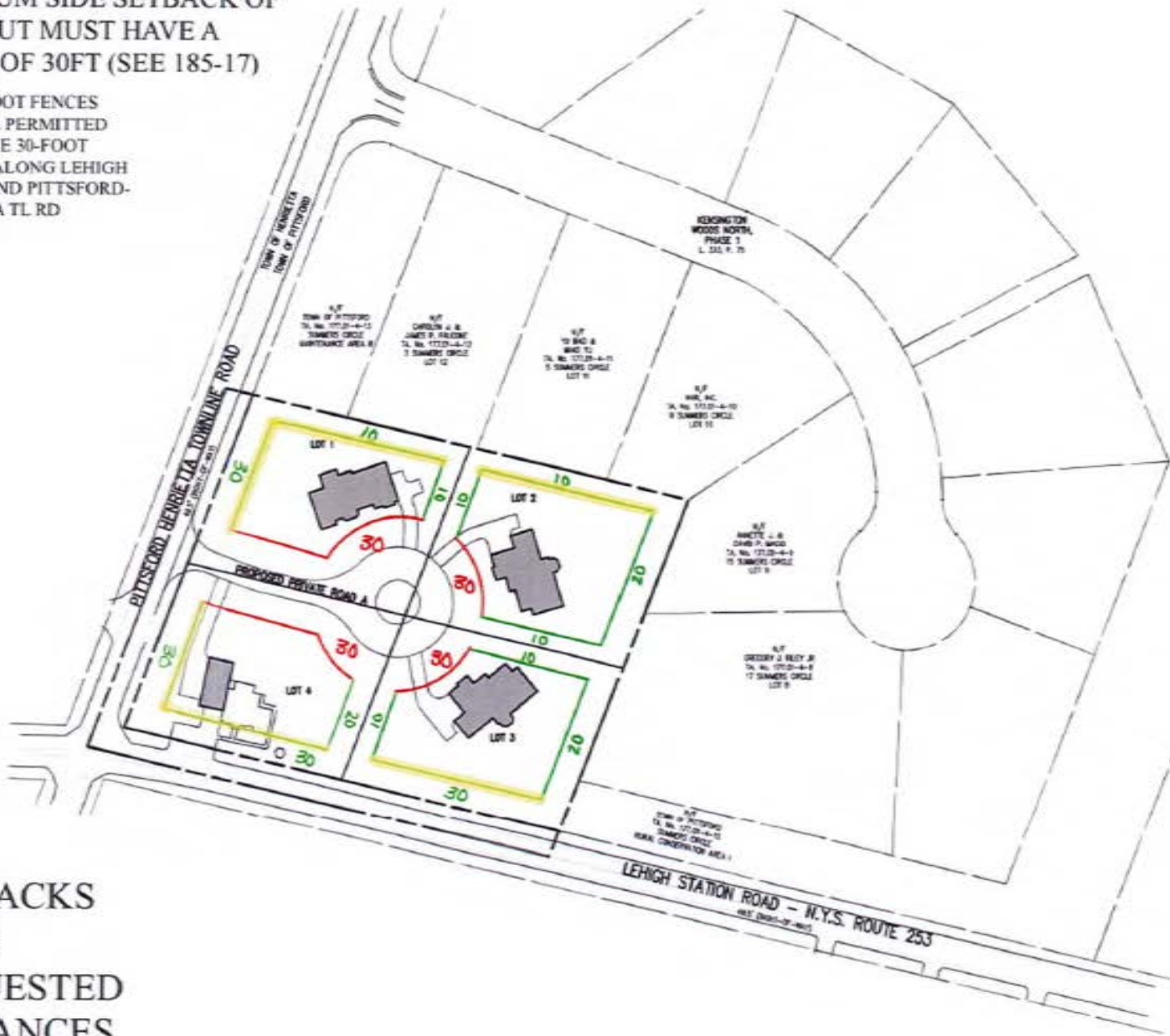
Lehigh Station Rd

04/05/2021

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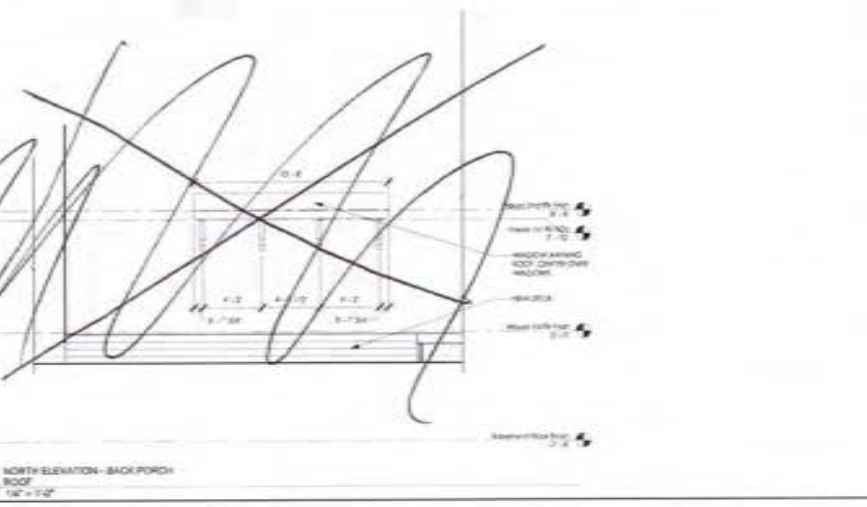
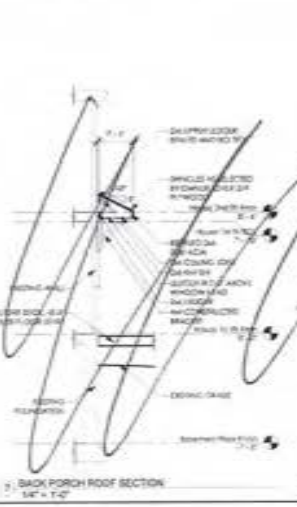
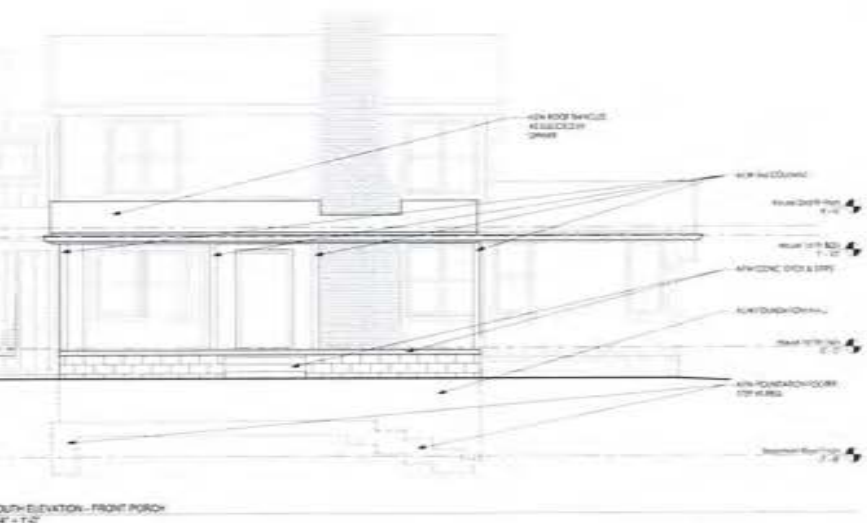
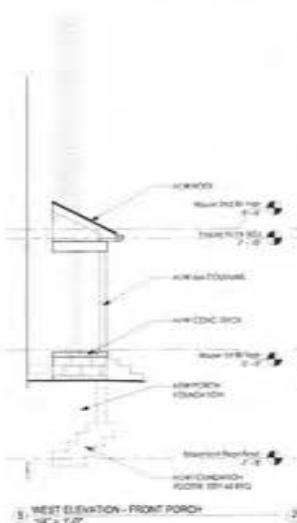
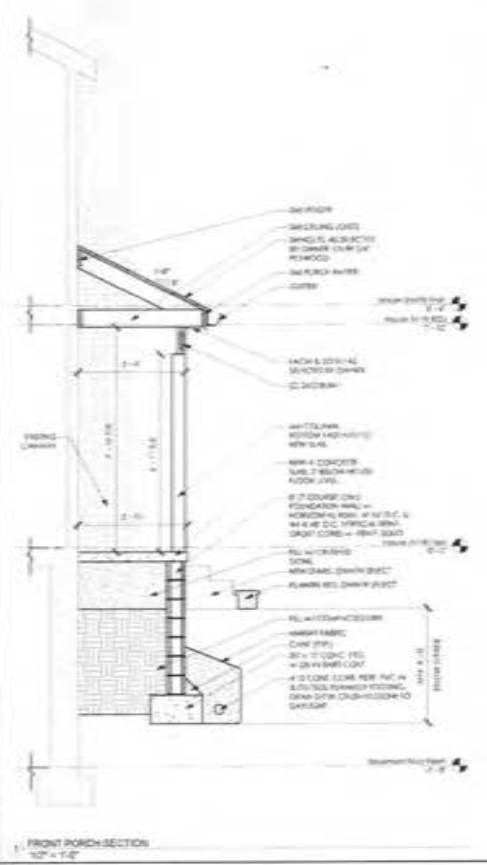
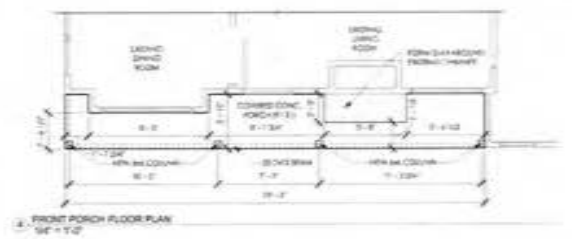
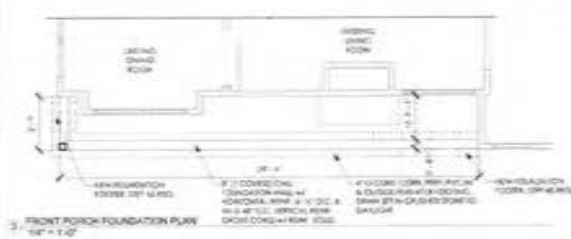
NOTE: LOTS 2 & 3 SHOW A
MINIMUM SIDE SETBACK OF
10FT, BUT MUST HAVE A
TOTAL OF 30FT (SEE 185-17)

NOTE: 4-FOOT FENCES
WOULD BE PERMITTED
WITHIN THE 30-FOOT
SETBACK ALONG LEHIGH
STATION AND PITTSFORD-
HENRIETTA TL RD



SETBACKS
WITH
REQUESTED
VARIANCES





Issued	Date
A. Issued for Client Review	02/11/22
B. Issued for Client Review	11/02/22
C. Issued for Client Review	12/06/22
D. Issued for Client Review	01/09/23
E. Issued for Client Review	02/09/23
F. Issued for Client Review	02/23/23

Revision	Date

100% CONTRACT DOCUMENTS SHALL BE PROVIDED TO THE CLIENT BY THE DATE OF THE PERMITS. ALL CONTRACT DOCUMENTS SHALL BE PROVIDED TO THE CLIENT BY THE DATE OF THE PERMITS. ALL CONTRACT DOCUMENTS SHALL BE PROVIDED TO THE CLIENT BY THE DATE OF THE PERMITS. ALL CONTRACT DOCUMENTS SHALL BE PROVIDED TO THE CLIENT BY THE DATE OF THE PERMITS.

Project Architect/Designer	Date
APD Engineering Architecture	02/23/23

Project Lead	Date
APD Engineering Architecture	02/23/23

Project Designer	Date
APD Engineering Architecture	02/23/23

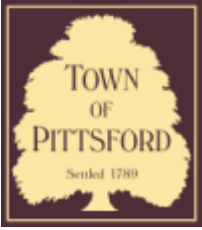


Young Residence
2490 Lehigh Station Rd
Pittsford, NY 14834
Madison County

PROJECT Name & Location:
FRONT PORCH PLANS, &
BACK PORCH ROOF
Drawing Name:

Date: 08/15/22	Project No.: 21-0511
Type: Residential	
Drawn By: NMH	SK-100
Scale: As Noted	Drawing No.:

FILED: 01/15/2023 11:47:03 AM



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000008

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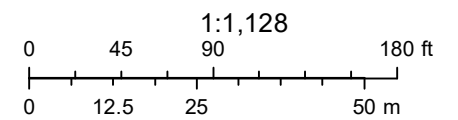
Meeting Date: March 09, 2023



RN Residential Neighborhood Zoning



Printed February 3, 2023



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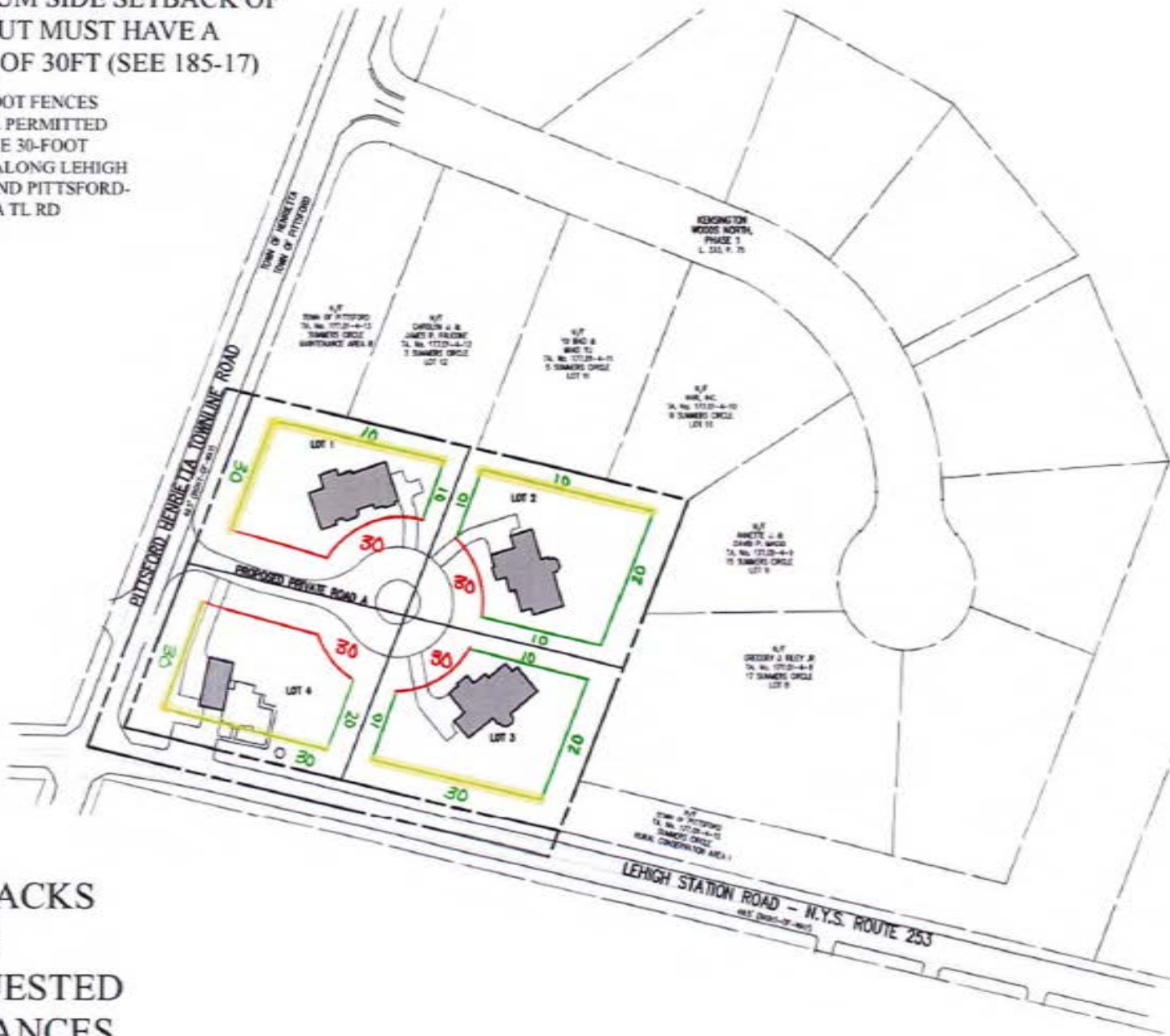
Lehigh Station Rd

04/05/2021

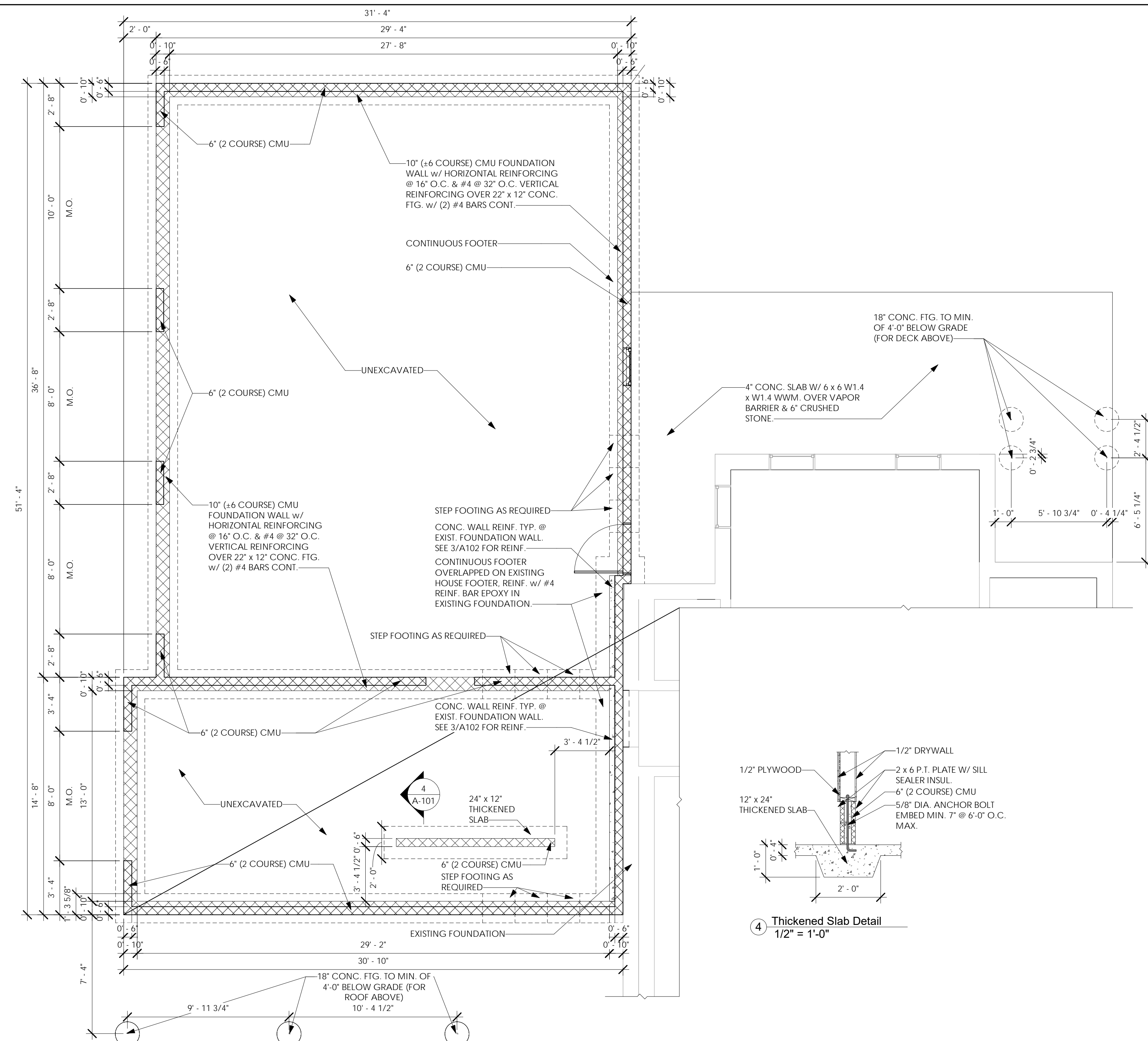
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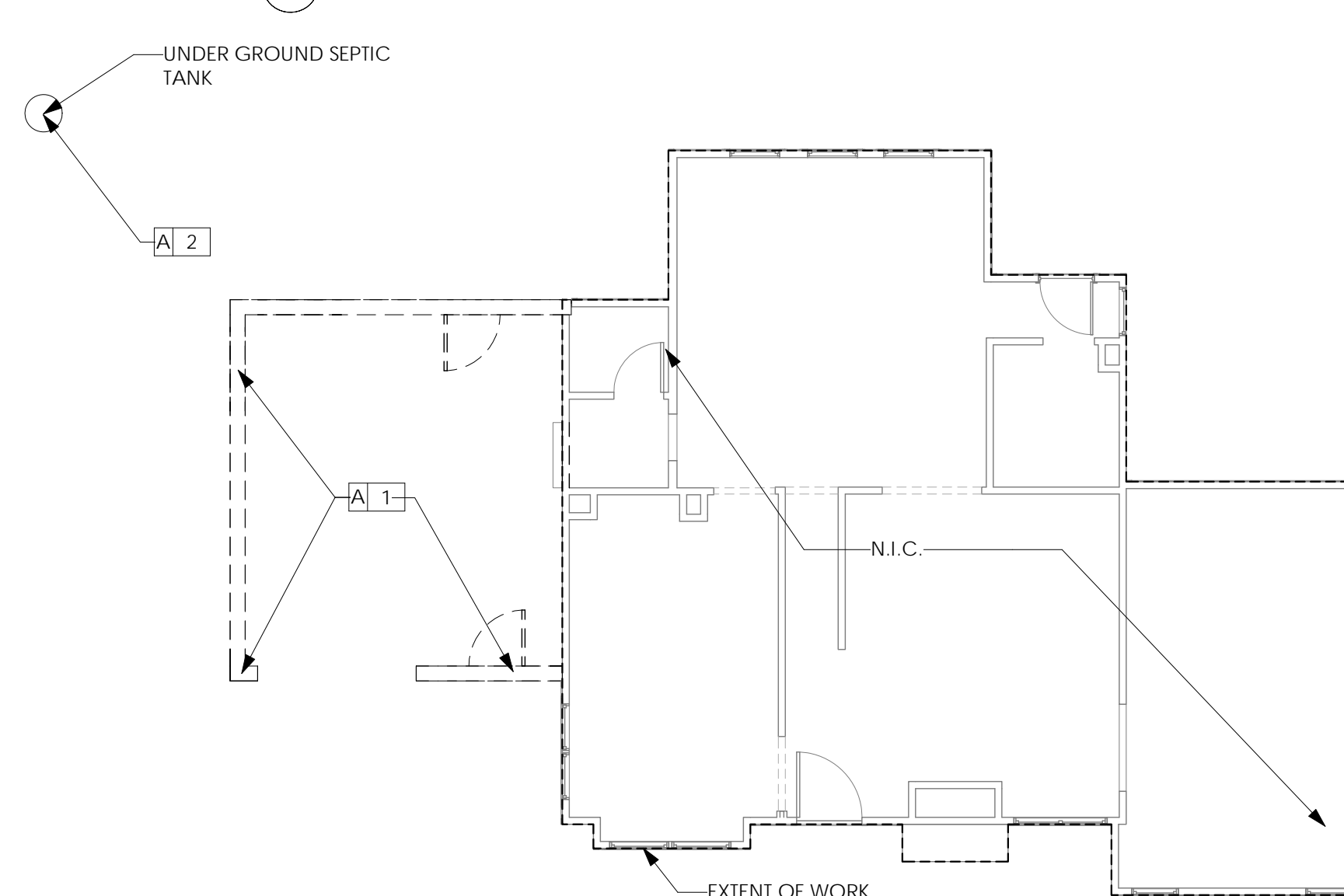
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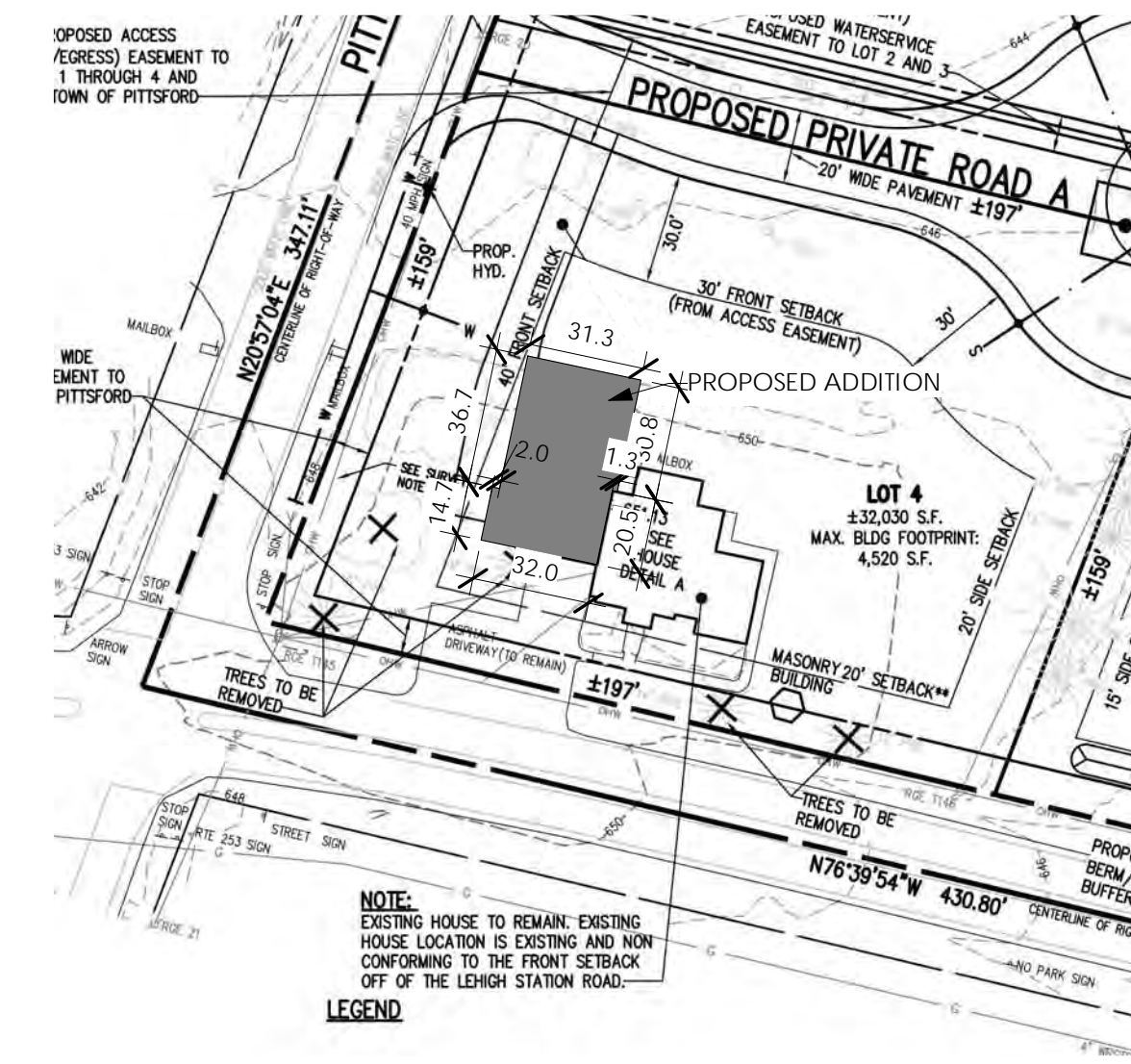
SETBACKS
WITH
REQUESTED
VARIANCES



1 Foundation Plan
1/4" = 1'-0"



2 Demo Plan
1/8" = 1'-0"



3 Site Plan
1" = 50'-0"

GENERAL NOTES:

- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITY OR OTHER AGENCIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF NORTH CHILI STANDARDS UNLESS SPECIFICALLY NOTED ON THE PLANS, AND SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE TOWN OF PITTSFORD
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND REPAIRS TO ALL UTILITIES, PUBLIC AND PRIVATE ROADWAYS, SIDEWALKS, AND STRUCTURES INCLUDING SIGNS, RESULTING FROM HIS OPERATIONS. SIDEWALKS, DRIVEWAYS, GUTTERS, CURBS AND FENCES SHALL BE REPLACED IN KIND.
- EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
- ALL EXISTING SERVICES TO REMAIN. CONTRACTOR SHALL MODIFY AS REQUIRED WHERE AFFECTED BY ADDITION

GENERAL DEMOLITION NOTES:

- FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
- COORDINATE DEMOLITION WITH PROPOSED WORK
- SEE MECHANICAL & ELECTRICAL PLANS FOR DEMOLITION AND COORDINATION
- ALL NOTED ELECTRICAL WIRING AND FIXTURES TO BE DISCONNECTED AND REMOVED PRIOR TO COMMENCING WORK.
- CONSTRUCT NEW WALLS WHERE NEEDED PRIOR TO REMOVING EXISTING WALLS
- PROVIDE TEMPORARY SHORING PRIOR TO REMOVING WALLS & PARTITIONS
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO PROTECT AREAS OF BUILDING TO REMAIN.
- ALL ITEMS SHOWN TO BE REMOVED ARE TO BE DISPOSED OF LEGALLY UNLESS OTHERWISE NOTED

DEMOLITION KEY NOTES:

- A 1 DEMOLISH ENTIRE EXISTING GARAGE & ALL ELEMENTS WITHIN, LEAVE EXISTING HOUSE WALL
- A 2 REMOVE EXISTING UNDERGROUND SEPTIC TANK

GENERAL NOTES:

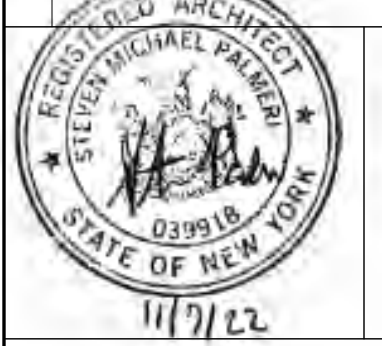
- CONSTRUCTION SHALL CONFORM TO THE RESIDENTIAL CODE OF THE NEW YORK STATE, AND REGULATIONS OF THE TOWN OF PITTSFORD
- CONTRACTOR IS TO OBTAIN BUILDING PERMITS, PAY FEES, COORDINATE THE SCHEDULE OF INSPECTIONS AS REQUIRED BY THE TOWN OF PITTSFORD
- LUMBER DESIGN BASED ON MINIMUM DESIGN PROPERTIES FOR NO. 2 GRADE LUMBER OF DOUGLAS FIR
- WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH, OR WITHIN 1'-0" OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESURE PRESERVATIVE TREATED.
- FRAMING ANCHORS, JOIST HANGERS, AND MISCELLANEOUS METAL CONNECTING DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 16 GAGE THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUF.
- DOUBLE ALL JOIST UNDER PARALLEL WALLS, AND AT FLOOR OPENINGS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
- CONSTRUCTION METHODS AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
- ALL NEW WALL INFILLS & EXTENSIONS SHALL BE FLUSH WITH BOTH SIDES OF EXIST. WALL
- PROVIDE SHELVING IN CLOSETS. COORDINATE SHELVING DESIGN WITH OWNER
- PATCH & REPAIR DAMAGED EXISTING DRYWALL
- ALL NEW INTERIOR DOOR HEADERS TO BE (2) 2 x 8 UNLESS OTHERWISE NOTED.
- ALL NEW WINDOW HEADERS TO BE (3) 2 x 8 UNLESS OTHERWISE NOTED.
- ALL DOORS OPENING AND WINDOWS FRAMING SHALL BE 1 KING STUD & 2 JACK STUDS. (TYP)
- PROVIDE 3 1/2" SOUND ATTENUATION BATTS AT ALL PARTITIONS BETWEEN BATHROOMS AND OTHER ROOMS
- PROVIDE 1/2" MOISTURE RESISTANT DRYWALL AT ALL BATHROOMS
- NEW FIXTURES TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR
- NEW APPLIANCES (AS REQ'D) TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
- CONTRACTOR TO COORDINATE ELECTRICAL, HVAC AND PLUMBING NEEDS & CONNECTIONS WITH OWNER AND INCLUDE REQUIRED WORK IN BID PRICING
- CONTRACTOR TO INSTALL AT LEAST (1) SMOKE DETECTOR IN EACH BEDROOM & (1) OUTSIDE EACH SLEEPING AREA IN THE VICINITY OF THE BEDROOM, & (1) IN EACH SEPARATE STORY INCLUDING THE BASEMENT. ALL SMOKE DETECTORS SHALL BE WIRED INTO 120V WITHOUT DISCONNECTING SWITCH OTHER THAN CIRCUIT BREAKER & SHALL BE INTERCONNECTED SUCH THAT WHEN ONE ALARMS, ALL SHALL ALARM. (1) CARBON MONOXIDE DETECTOR IN DINING ROOM, NEAR KITCHEN. INSTALLATION OF SMOKE & CARBON MONOXIDE DETECTORS SHALL BE IN ACCORDANCE WITH ALL STATE & LOCAL CODES & THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. ALL DETECTORS SHALL BE EQUIPPED WITH BATTERY BACKUP.

GENERAL CONCRETE & FOUNDATION NOTES:

- ALLOWABLE SOIL BEARING ASSUMED AS 2500 P.S.F.
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 P.S.I. AT 28 DAYS, UNLESS NOTED OTHERWISE.
- BOTTOM OF ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
- STEPS IN ALL FOOTINGS NOT TO EXCEED 1'-0" VERTICAL FOR EACH 2'-0" HORIZONTAL.
- ALL CONCRETE SLABS ON GRADE TO REST ON 6" COMPACTED POROUS FILL. (CRUSHED STONE)
- ALL SLABS ON GRADE TO BE REINFORCED WITH 6 x 6 - W1.4 x W1.4 WWM. UNLESS NOTED OTHERWISE. SPLICES PER CRSI LATEST EDITION.
- FILL COLUMN AND BEAM POCKETS WITH CONCRETE AFTER ALL COLUMNS AND BEAMS ARE IN PLACE, UNLESS NOTED OTHERWISE.
- BACKFILL BOTH SIDES OF FOUNDATION WALLS SIMULTANEOUSLY. WALLS WITH FILL ON ONE SIDE ONLY, MUST NOT BE BACKFILLED UNTIL DECK AT TOP AND SLAB BOTTOM OF WALL ARE IN PLACE.
- SLEEVE FOUNDATION WALLS WHERE REQUIRED TO ACCOMMODATE DUCTS AND UTILITIES.
- REINFORCING BARS TO CONFORM TO ASTM A-615 GRADE 60. EXCEPT REINFORCING FOR DOWELS TO SLABS TO BE GRADE 40.
- STEEL MESH REINFORCING TO CONFORM TO ASTM A-185
- REINFORCING BAR SPLICES & EMBEDMENT LENGTHS TO CONFORM TO LATEST CRSI HANDBOOK COMPLYING WITH ACI 318-CODE OF LATEST ISSUE, UNLESS NOTED OTHERWISE.
- ALL SPLICES IN REINFORCING ARE TO BE CLASS "B". UNLESS NOTED OTHERWISE. CONSIDER ALL HORIZONTAL WALL BARS AS "TOP BARS".
- TERMINATE ALL BARS IN ACCORDANCE WITH ACI-318 CODE OF LATEST ISSUE, WITH A HOOK IF THE REQUIRED EMBEDMENT LENGTH CANNOT BE OBTAINED.
- PROVIDE #4 VERTICAL REINFORCING @ 32" O.C. - GROUT CORES WITH REINFORCING SOLID, PER TABLE R 404.1.1(3) OF THE RESIDENTIAL CODE OF N.Y.S.

Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:

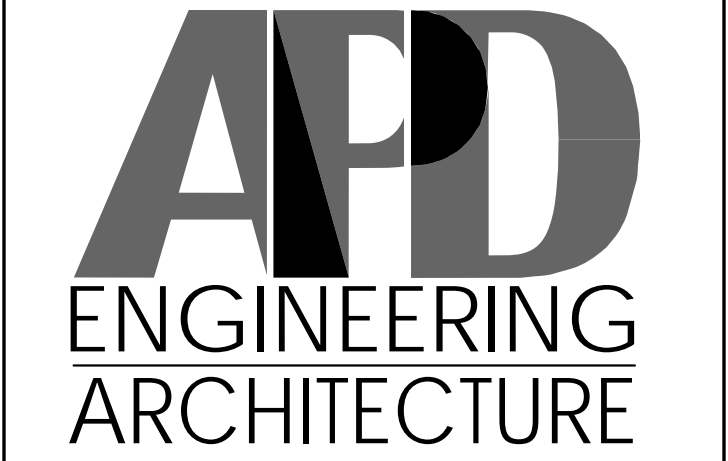


Project Architect/Engineer	Date:
Architect/Engineer Name	
Project Lead	Date:
Lead Name	
Project Designer	Date:
Designer Name	

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11/07/22
Drawing Alteration
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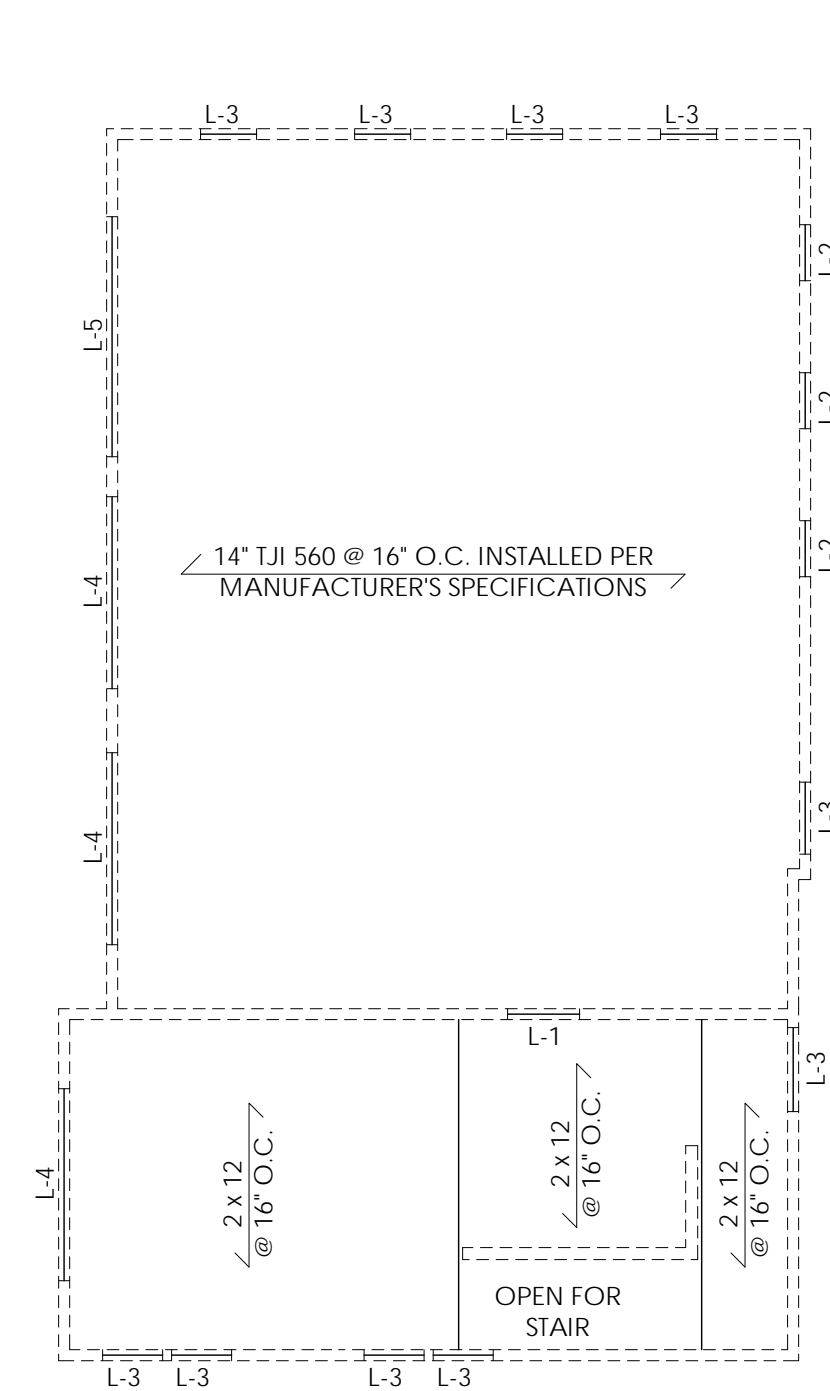
585.742.2222 - www.apd.com

Young Residence Addition
2490 Lehigh Station Rd
Pittsford, NY 14534
Monroe County

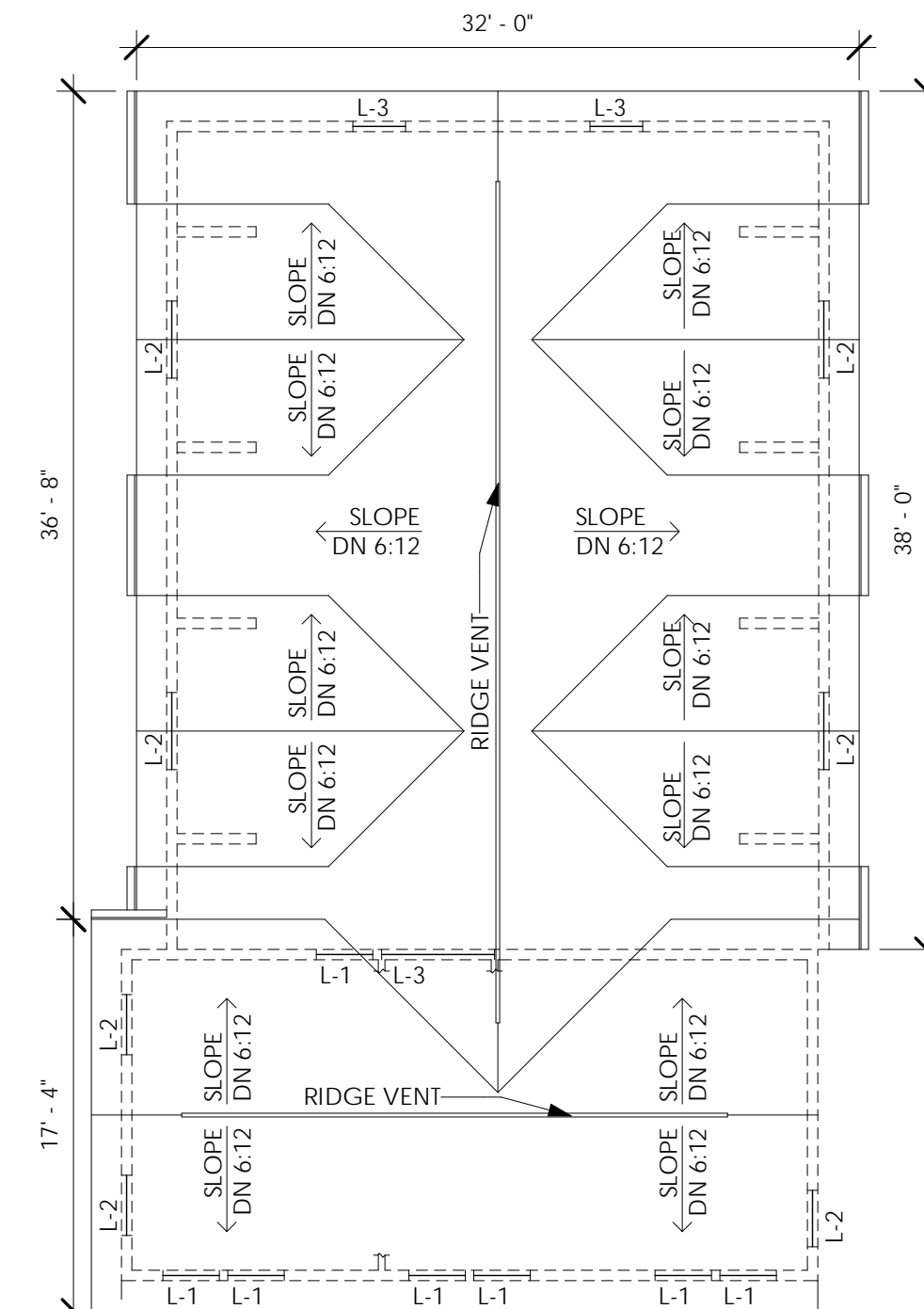
Project Name & Location:

Site Plan, Existing/Demo Plan, Foundation Plan
Drawing Name:

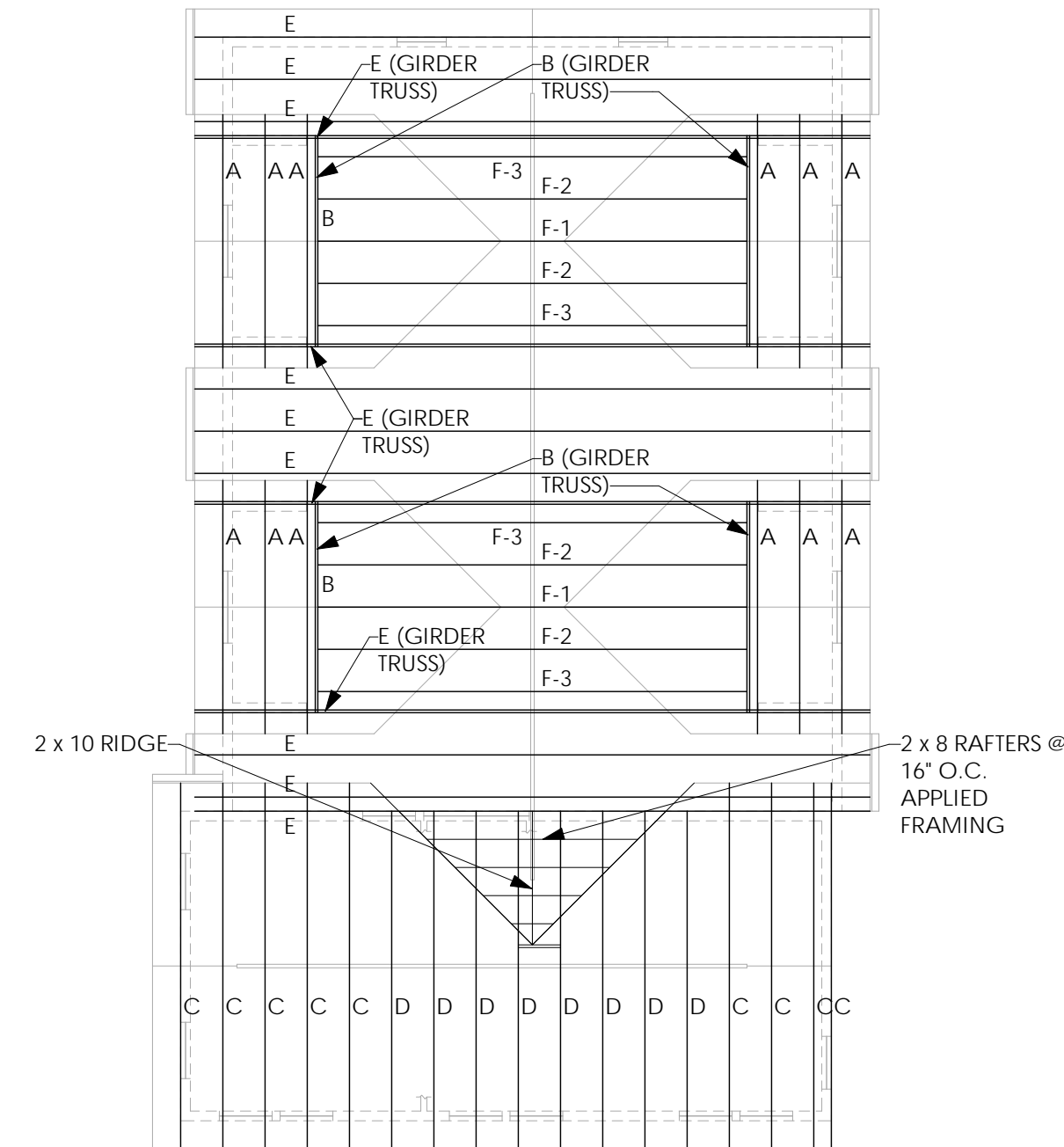
Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-101
Scale: As Noted	Drawing No.



1 Second Floor Header & Framing Plan
1/8" = 1'-0"



2 Roof Plan
1/8" = 1'-0"



3 Roof Framing Plan
1/8" = 1'-0"

ROOF NOTES:

- PROVIDE MINIMUM 5'-0" WIDE ICE & WATER SHIELD UNDERLAYMENT ALONG EAVES AND AT VALLEYS
- PROVIDE ASPHALT SATURATED FELT UNDERLAYMENT ALL REMAINING AREAS
- PROVIDE ALUMINUM FASCIA, DRIP EDGE, VENTED SOFFITS, GUTTERS AND DOWNSPOUTS AT NEW ROOF AREAS, TO MATCH EXISTING.
- REMOVE EXISTING ROOF SHINGLES & UNDERLAYMENT. FURNISH AND INSTALL ICE & WATER UNDERLAYMENT & NEW ARCHITECTURAL SHINGLES AS REQ'D
- VERIFY IN FIELD EXISTING ROOF OVERHANGS. NEW OVERHANGS TO MATCH EXIST.

LINTEL & HEADER SCHEDULE:

- L-1 - (3) 2 x 4 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-2 - (3) 2 x 6 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-3 - (3) 2 x 8 WITH (2) 1/2" PLYWOOD GUSSET (2 x 6 EXTERIOR WALLS)
- L-4 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 9 1/4" (8'-0" WIDE GARAGE DOOR)
- L-5 - 2.0E MICROLAM LVL 5 1/4" WIDE (3 PLY) x 11 1/4" (10'-0" WIDE GARAGE DOOR)

NOTE:

NOTE:

PRE-ENGINEERED WOOD TRUSS SYSTEM SHALL BE DESIGNED BY A N.Y.S. LICENSED ARCHITECT OR ENGINEER FOR THE FOLLOWING LOADS:

TOP CHORD DEAD LOAD: 10#
TOP CHORD SNOW LOAD: 50# GROUND
BOTTOM CHORD DEAD LOAD: 10#

NOTE:

- ALL TRUSSES TO BE 2'-0" O.C.
- ALL STICK FRAMING SHALL BE:
2x10 RIDGE & HIP MEMBERS
2x8 RAFTERS @ 16" O.C.
UNLESS OTHERWISE NOTED
- VERIFY PITCH OF EXISTING ROOF PRIOR TO ORDERING TRUSS
- CONTRACTOR SHALL FURNISH TRUSS SHOP DRAWINGS WITH ENGINEER OR ARCHITECT SEAL & SIGNATURE
- TRUSS MANUFACTURER TO PROVIDE RECOMMENDED ROOF TRUSS SYSTEM BRACING DIAGRAM
- ROOF TRUSS SHALL BE INSTALLED USING SIMPSON HURRICANE TIES H8 OR APPROVED EQUAL.

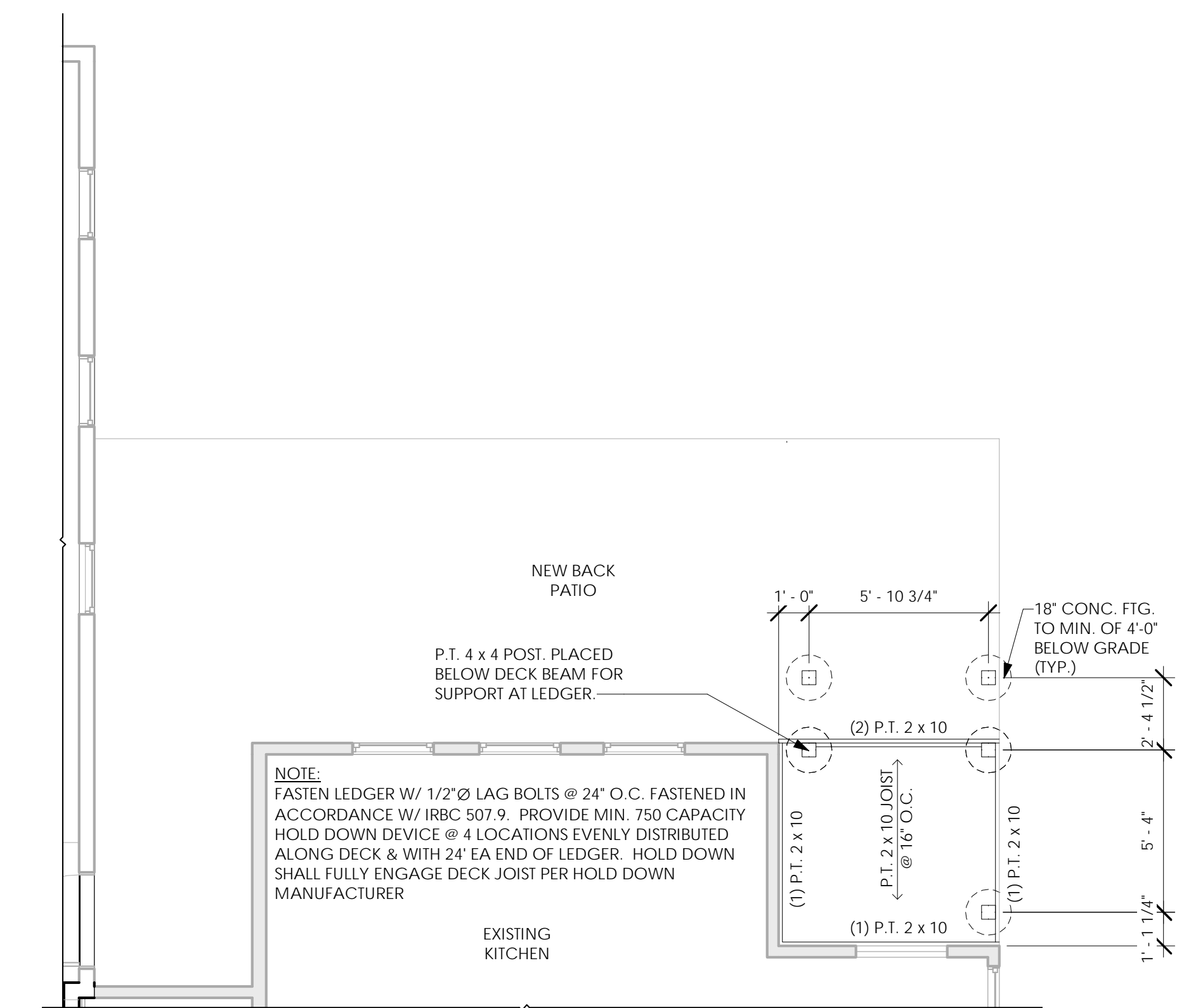
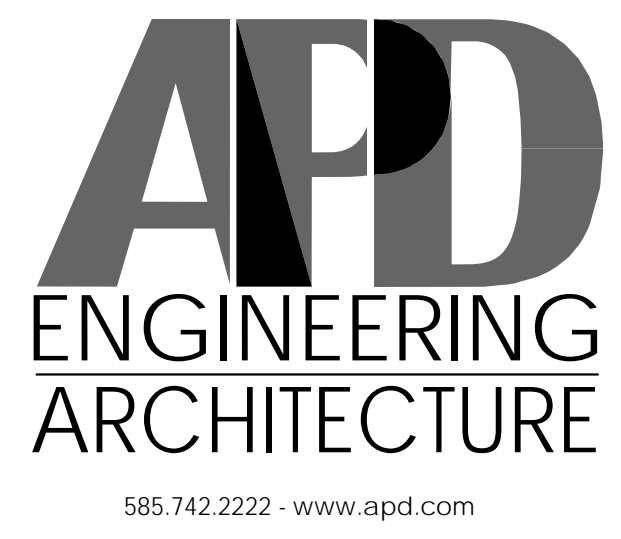


Project Architect/Engineer Date:
Architect/Engineer Name
Project Lead Date:
Lead Name
Project Designer Date:
Designer Name

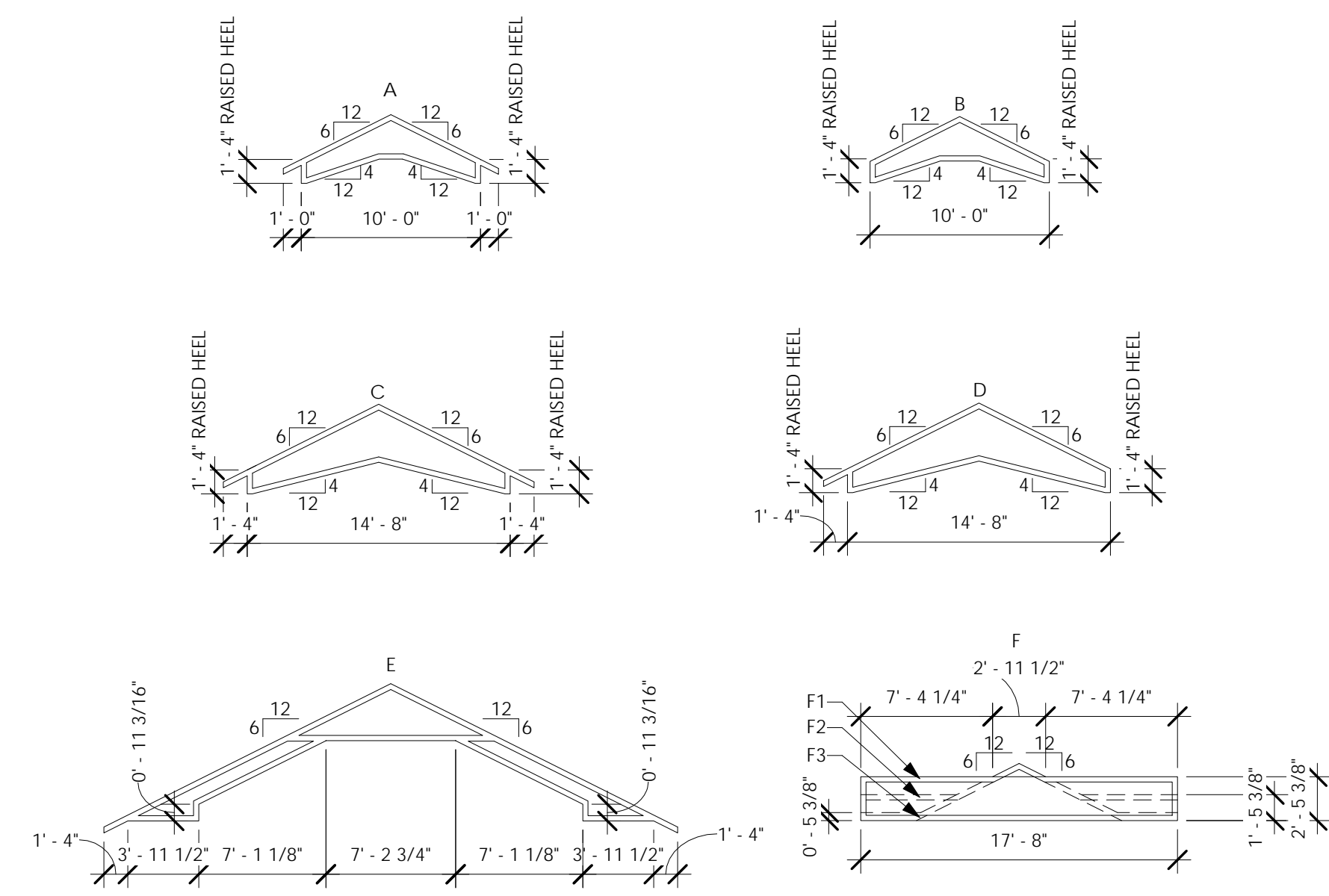
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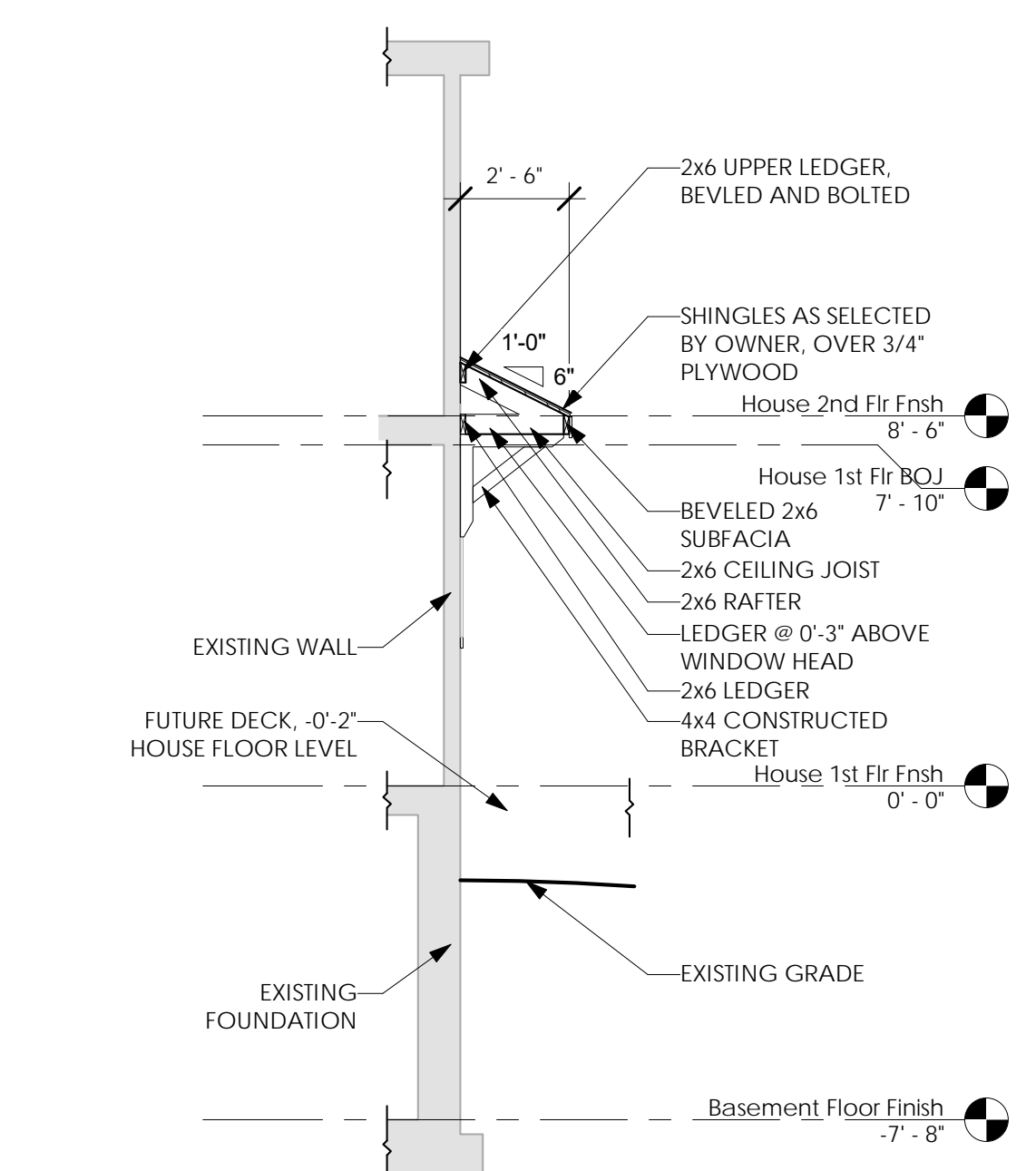
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11 Back Deck Framing Plan
1/4" = 1'-0"



9 Truss Diagrams
1/8" = 1'-0"



10 Window Awning Detail
1/4" = 1'-0"

Young Residence Addition
2490 Lehigh Station Rd
Pittsford, NY 14534
Monroe County

Project Name & Location:

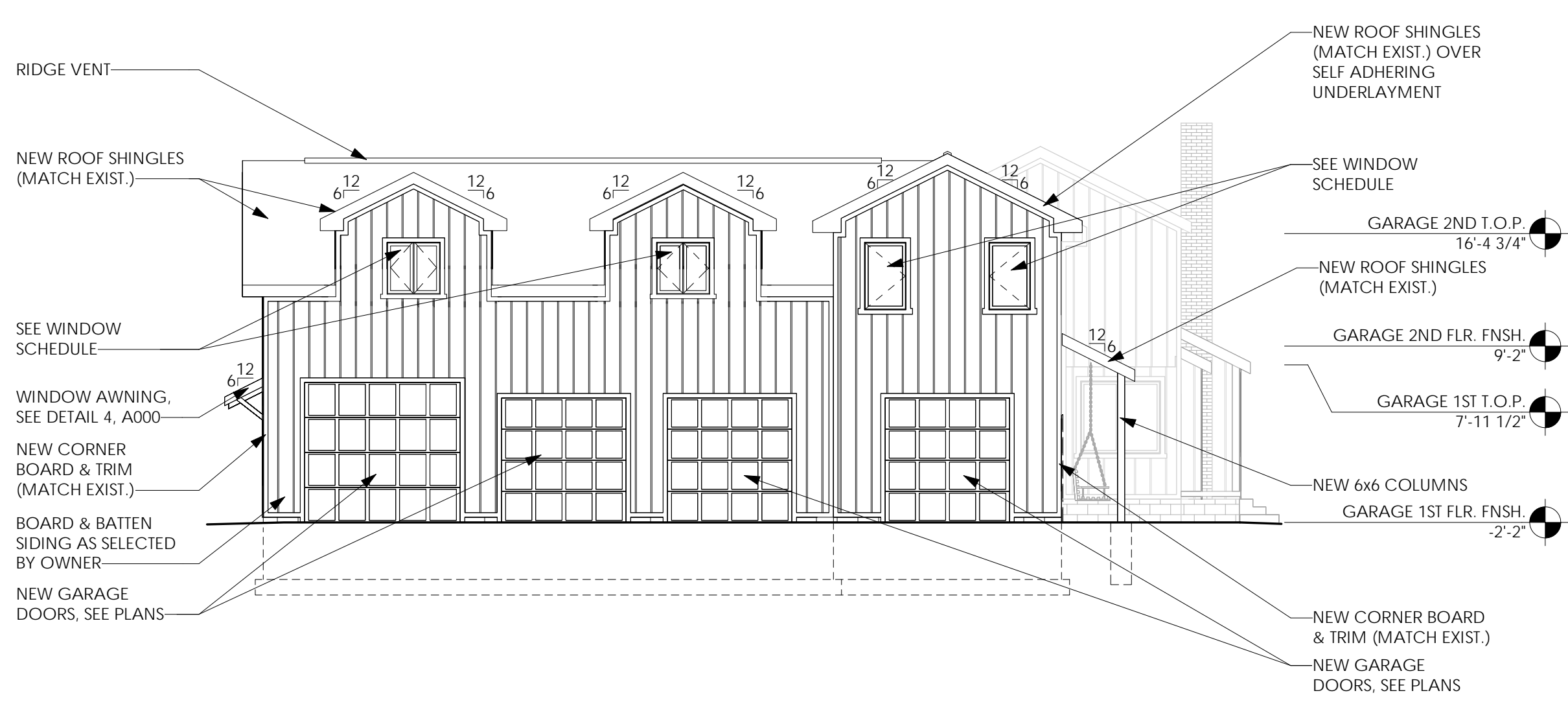
Roof Framing, Plan & Truss Diagram

Drawing Name:

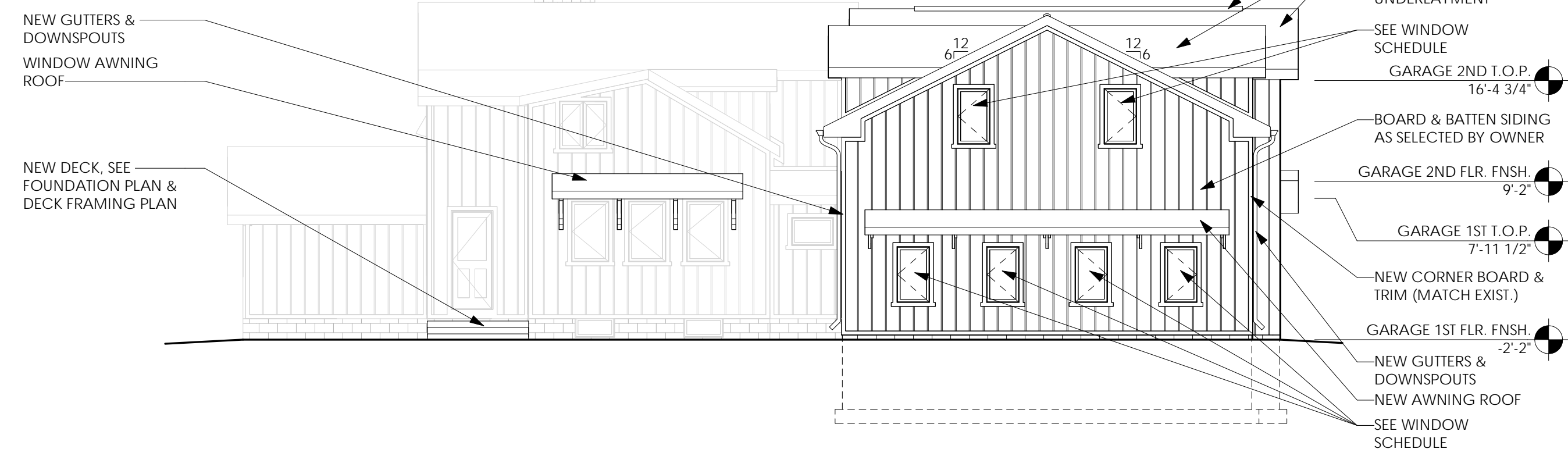
Date: 11/07/22	Project No.
Type: Residential	21-0511
Drawn By: NMH	A-103
Scale: As Noted	Drawing No.



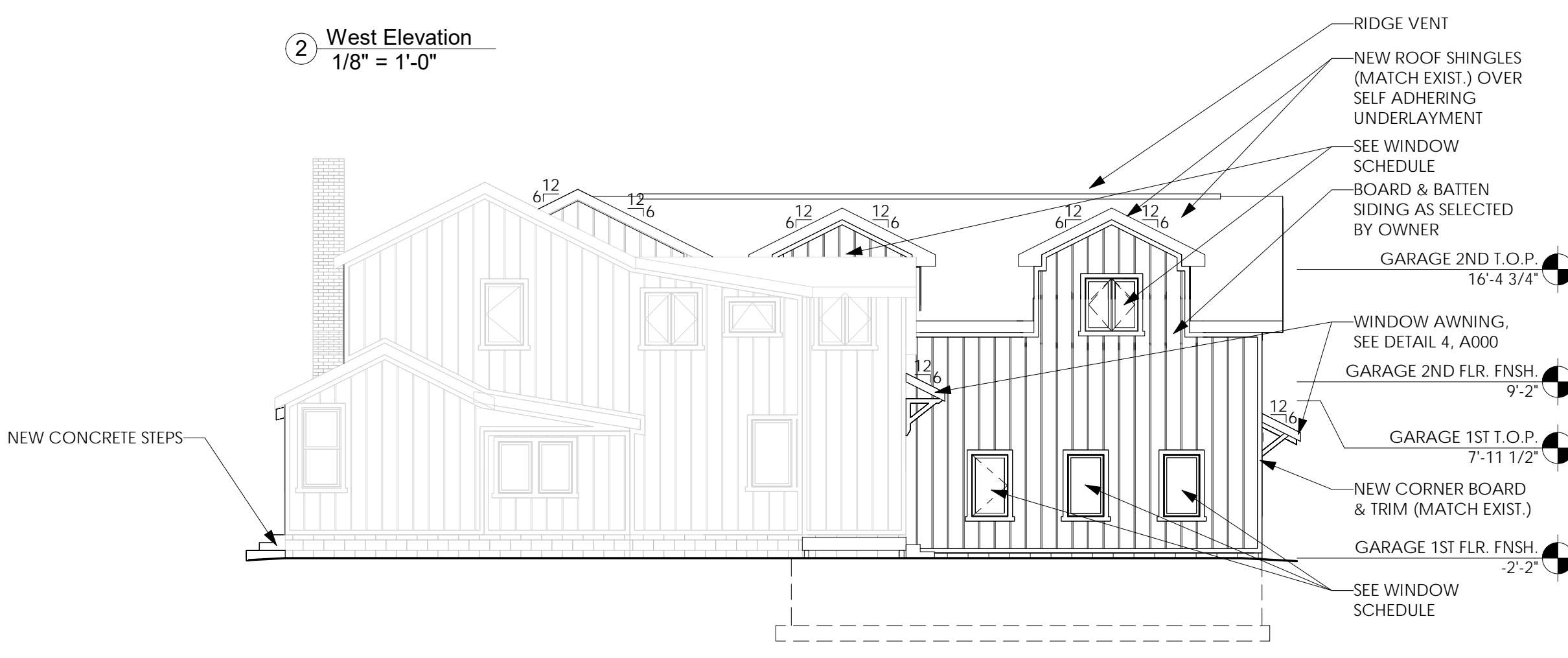
1 South Elevation
1/8" = 1'-0"



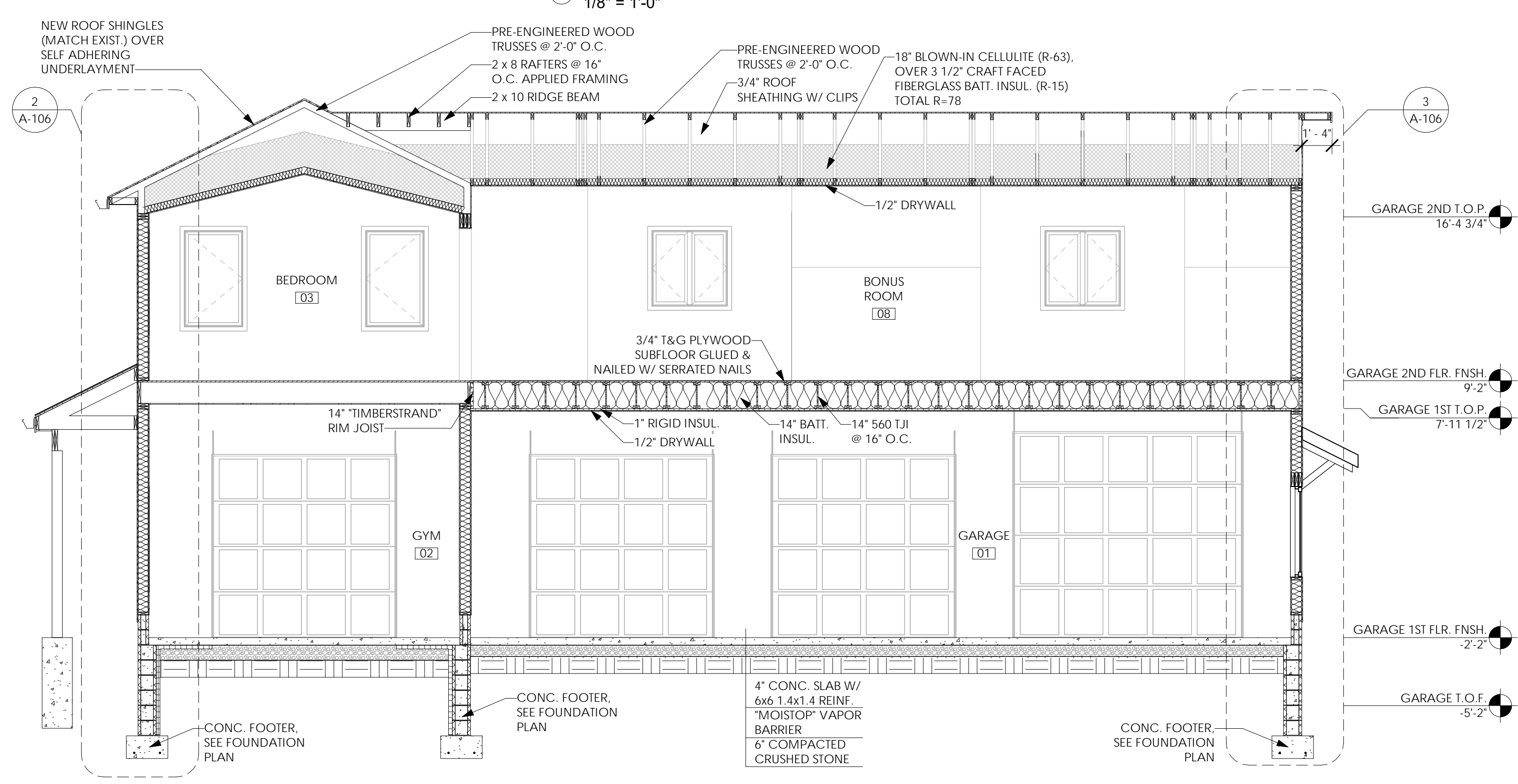
2 West Elevation
1/8" = 1'-0"



3 North Elevation
1/8" = 1'-0"



4 East Elevation
1/8" = 1'-0"



5 Building Section
1/4" = 1'-0"

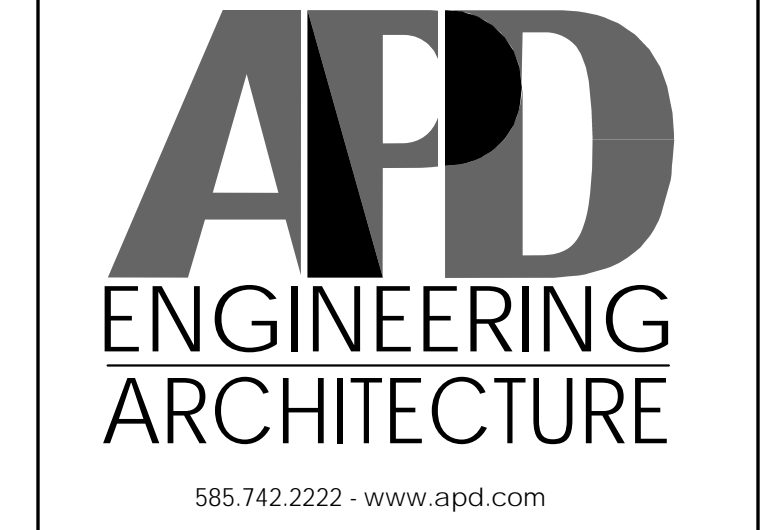
Issued:	Date:
A Issued for Client Review	11/04/22
B Issued for Client Review	11/07/22
C Issued for Bid Permit	11/07/22

Revisions:	Date:



Project Architect/Engineer Date:
Architect/Engineer Name
Project Lead Date:
Lead Name
Project Designer Date:
Designer Name

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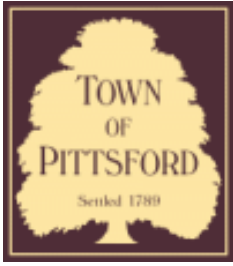
Young Residence Addition
2490 Lehigh Station Rd
Pittsford, NY 14534
Monroe County

Project Name & Location:

Exterior Elevations & Building Sections

Drawing Name:

Date: 11/07/22	Project No. 21-0511
Type: Residential	
Drawn By: NMH	A-104
Scale: As Noted	Drawing No.



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000076

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 32 Rosewood Drive PITTSFORD, NY 14534

Tax ID Number: 178.20-2-20

Zoning District: RN Residential Neighborhood

Owner: Madden, Michael R

Applicant: Madden, Michael R

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The Applicant is requesting design review for the construction of a covered porch off the front of the house.

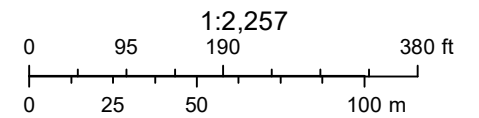
Meeting Date: March 9, 2023



RN Residential Neighborhood Zoning



Printed May 3, 2022



Town of Pittsford GIS

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16

14

12

10

28

30

32

34

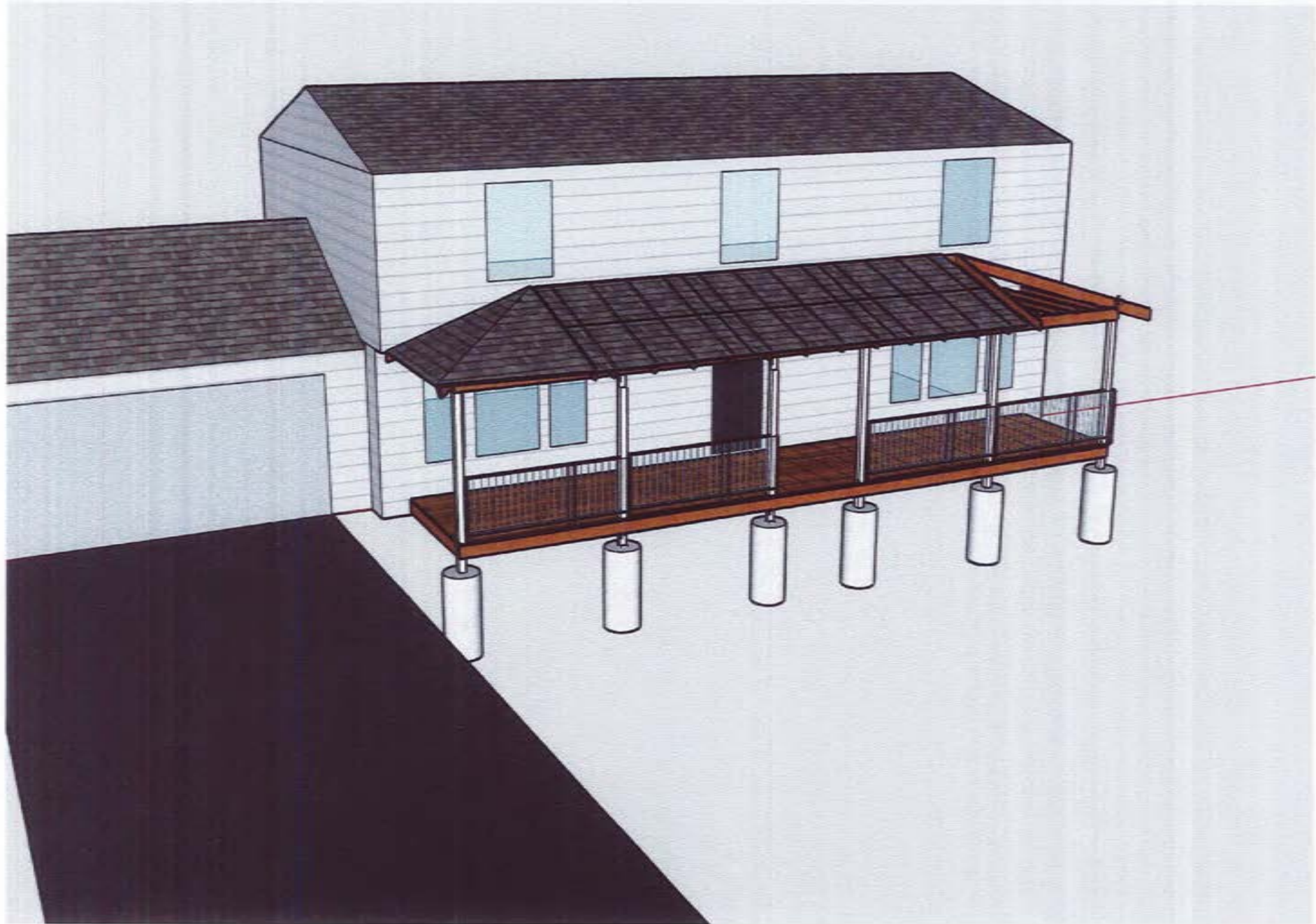
36

29

31

33

7





29.25 ft²

8' 2"

3 1/2"

12" footers 48" deep

37' 3"

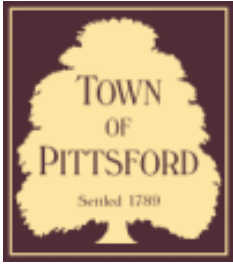
Enter text











Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000019

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 91 Caversham Woods PITTSFORD, NY 14534

Tax ID Number: 163.20-1-47

Zoning District: RN Residential Neighborhood

Owner: Ali, Omar E

Applicant: Ali, Omar E

Application Type:

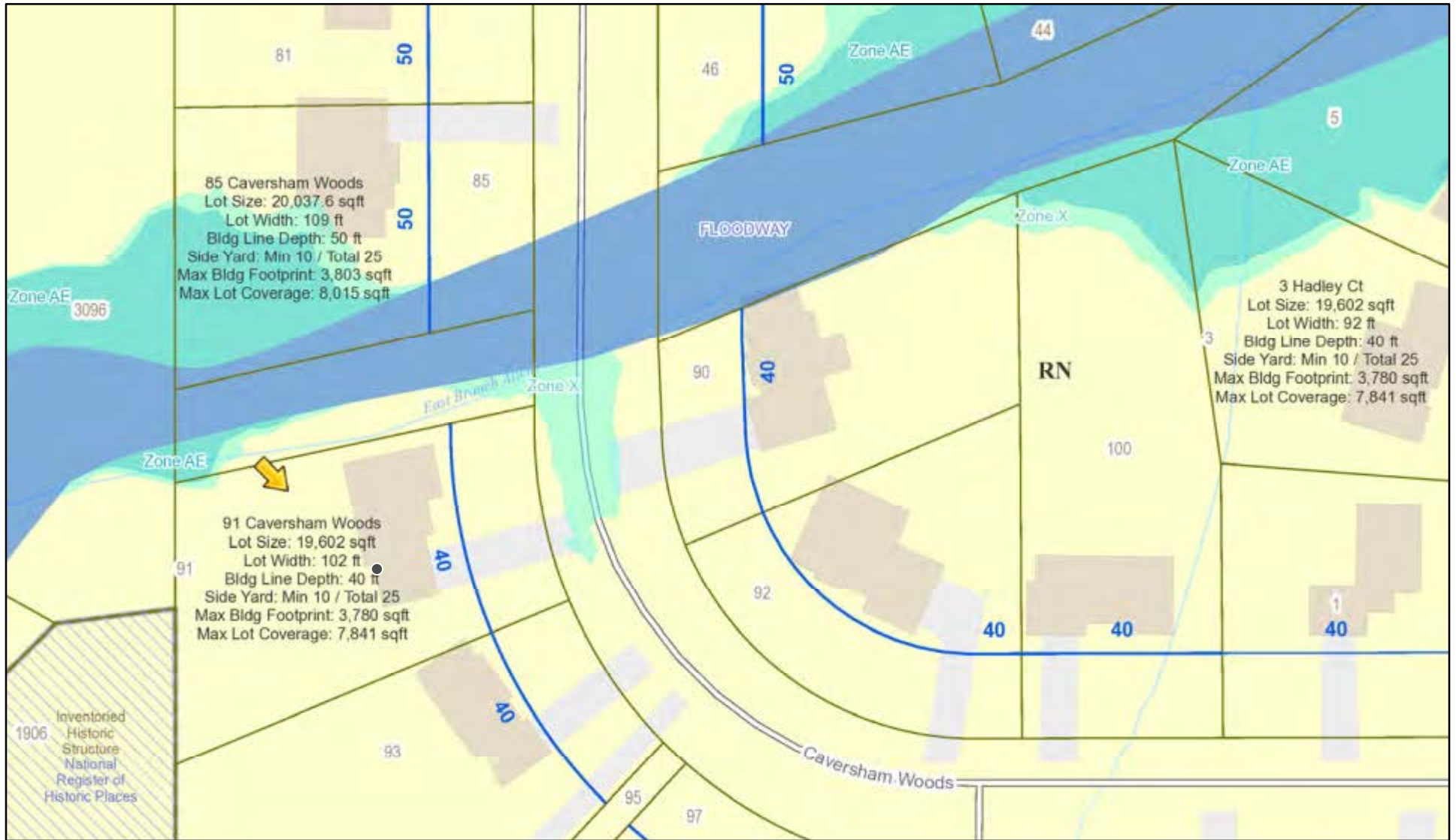
- | | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the construction of approximately a 520 SF addition off the rear of the house.

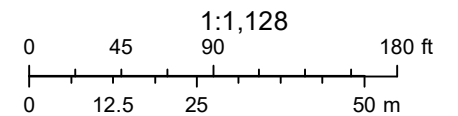
Meeting Date: March 09, 2023



RN Residential Neighborhood Zoning



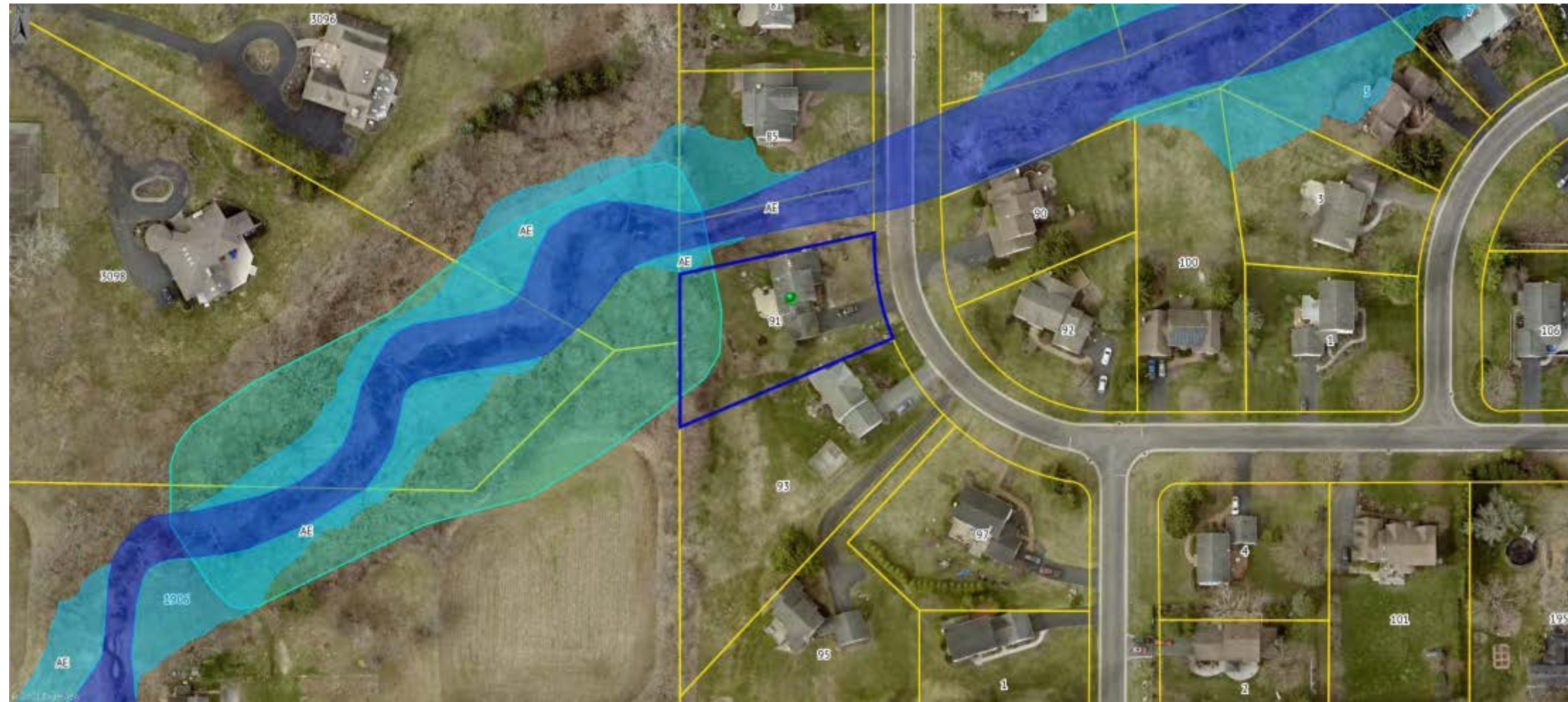
Printed March 1, 2023



Town of Pittsford GIS

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pic



04/03/2021 - 04/06/2021

NOTES (GENERAL NOTES TO BE APPLIED AS NEEDED TO THIS PROJECT)

- (1) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- (2) THE 2020 CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (3) THE 2020 ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (4) BUILDING CONTRACTOR AND HIS SUB-CONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.
- (5) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER. (MFR)
- (6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- (7) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS IF ANY, ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.
- (8) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.
- (9) ALLOWABLE STRESSES OF MATERIALS:
(THE WEATHERING POTENTIAL FOR CONCRETE IS ASSUMED TO BE SEVERE. SEE FIGURE R301.2(4))
 - A) CONCRETE (R402.2) - MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI =
 - FOOTINGS: 2500 PSI
 - BASEMENT SLABS: 2500 PSI (W/ FIBER REIN. ADDITIVE, OPTIONAL)
 - GARAGE & PORCH SLABS: 3500 PSI (AIR-ENTRAINED)
 - BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED WHERE EXPOSED TO WEATHER)
 POURED CONC. SHALL BE PROTECTED FROM FREEZE/THAW DURING CONSTRUCTION OR AIR ENTRAINMENT CONC. MUST BE USED. (TABLE R402.2, NOTE 2)
 - B) STRUCTURAL STEEL TO BE ASTM - A36
 - C) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FtS) WITH REPETITIVE MEMBER USE OF 150 P.S.I. (HEM FIR #2 OR BETTER)
- (10) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT, DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R101-R106 AS APPLICABLE.
- (11) SETTING THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R403.1.3 OF THE CODE.
- (12) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS. (SEE SECTION R314)
- (13) GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE 2020 CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R 308.1. DECORATIVE GLASS IS EXEMPT IN SINGLING DOORS AND SIDELIGHTS (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS).
- (14) DESIGN CRITERIA:
 - A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
 - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
 - C) GROUND SNOW LOAD = 40 PSF (FIG R301.2(6))
 - D) WIND SPEED - 40 MPH, EXPOSURE B
 - E) SEISMIC DESIGN CATEGORY - A OR B - R301.2(2)
 - F) WEATHERING - SEVERE
 - G) FROST LINE DEPTH - 42"
 - H) TERMITES - CONTACT LOCAL JURISDICTION
 - I) DECAY DAMAGE - NONE TO SLIGHT
 - J) WINTER DESIGN TEMPERATURE - (1) DEGREE
 - K) ICE BARRIER IS REQUIRED
 - L) ROOF TIE-DOWN REQUIREMENTS - R302.11 (BASED UPON SPECIFIC ROOF DESIGN)
 - M) ENERGY COMPLIANCE DETAILS AND PATH - N101.13
- (15) FOOTINGS TO BEAR ON FIRM, LEVEL, UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL
- (16) DRAWING ALTERATION:
THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 145, SECTION 1204 AND APPLIES TO THESE DRAWINGS: "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."
- (17) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M1507 OF THE CODE.
- (18) "CODE" SHALL MEAN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, "ENERGY CONSERVATION CODE" OR "ENERGY CODE" SHALL MEAN CHAPTER II OF THE CODE.
- (19) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.

- ENERGY CONSERVATION, CHAPTER II, ENERGY EFFICIENCY**
1. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION N104.
 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION N102.4.5
 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION N103.1.1
 4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION N103.3.2.
 5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-5. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION N103.5
 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION N102.2.4
 7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND CRITERIA LISTED IN SECTIONS N102.4.1 THROUGH N102.4.6.
 8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. CONDUCT TEST ACCORDING TO ASTM E119 OR ASTM E1827 OR NET/ICC 380 AND REPORTED AT A PRESSURE OF 0.2 INCH A.G. COMPLY WITH N102.4.1.2.
 9. THE CONTRACTORS AND SUB-CONTRACTORS SHALL BE FAMILIAR WITH THE ENERGY CODE AND EXPERIENCED IN PERFORMING WORK THAT COMPLIES WITH ALL ASPECTS OF THE ENERGY CODE. THESE NOTES ARE NOT INTENDED TO BE ALL INCLUSIVE.

RESIDENTIAL ADDITION
91 CAVERSHAM WOODS PITTSFORD, NY

OMAR AND LINDSAY ALI - OWNERS

ENERGY CODE COMPLIANCE PATH:

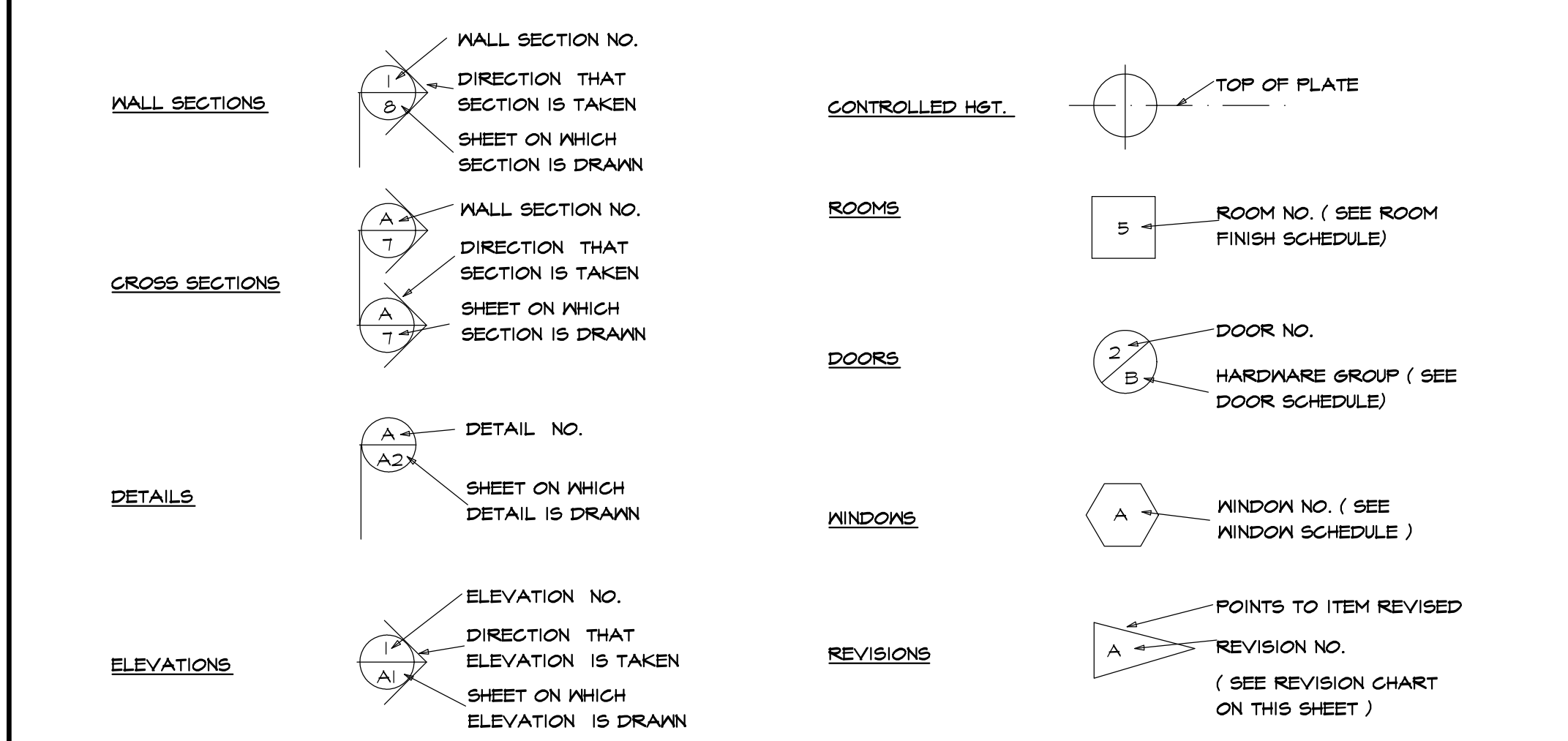
THIS PROJECT IS DESIGNED TO COMPLY WITH THE "PRESCRIPTIVE" ENERGY CODE COMPLIANCE REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND COMPONENTS, NECESSARY AND IN A MANNER TO COMPLY WITH THE "PRESCRIPTIVE" REQUIREMENTS SECTION N102 OF THE 2020 ENERGY CODE.

CLIMATE ZONE 5A	MINIMUM R - MAXIMUM U VALUES FROM TABLE N102.1.2
FENESTRATION	MAX U VALUE = 0.30
SKYLIGHTS	MAX U VALUE = 0.35
CEILING	MIN R VALUE = 44
WOOD FRAMED WALLS	MIN R VALUE = 20
FLOOR	MIN R VALUE = 30
BASEMENT WALLS	MIN R VALUE = 15 (CONTINUOUS)
CLIMATE ZONE 5A	EQUIVALENT U-FACTORS FROM TABLE N102.1.4
CEILING	U-FACTOR = 0.26 OR MIN R VALUE = 38
U-VALUE # R-VALUE CONVERSION (U=1/R) AND (R=1/U)	

N102.2.1 CEILING WITH ATTIC SPACES.
WHERE SECTION N102.1.2 WOULD REQUIRE R-44 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-44 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION N102.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION N102.1.5.

- GENERAL NOTES**
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES WHICH PERTAIN TO THE CONSTRUCTION OF THIS STRUCTURE
 - CONTRACTOR SHALL VERIFY EXISTING STRUCTURAL CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION AND / OR CONSTRUCTION
 - CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACING, TEMPORARY FRAMING SUPPORTS (SHORING), AND UNDERPINNING OF EXISTING STRUCTURE AS REQUIRED
 - CONTRACTOR SHALL CO-ORDINATE THE INSTALLATION OF NEW AND / OR USE OF RELOCATED DOORS, AND WINDOWS WITH HOMEOWNER
 - CONTRACTOR SHALL (WHERE POSSIBLE) MATCH PLATE HEIGHTS, SUBFLOORS, AND WINDOW ROUGH OPENING HEIGHTS TO MAINTAIN CONTINUITY
 - WHERE POSSIBLE - MATCH CONCRETE BLOCK COURSES AT NEW AND EXISTING FOUNDATION WALLS
 - MINIMUM GRADE COVER AT ALL CONCRETE FOOTINGS SHALL BE 3'-6"
 - INFILL EXISTING EXPOSED EXTERIOR FRAMING CAVITIES FULL WITH INSULATION
 - CONTRACTOR NOTE: IF EXISTING CONDITIONS DIFFER FROM PLANS CONTRACTOR IS TO CONTACT GARINI ENGINEERING DESIGNS, P.C.

SYMBOLS



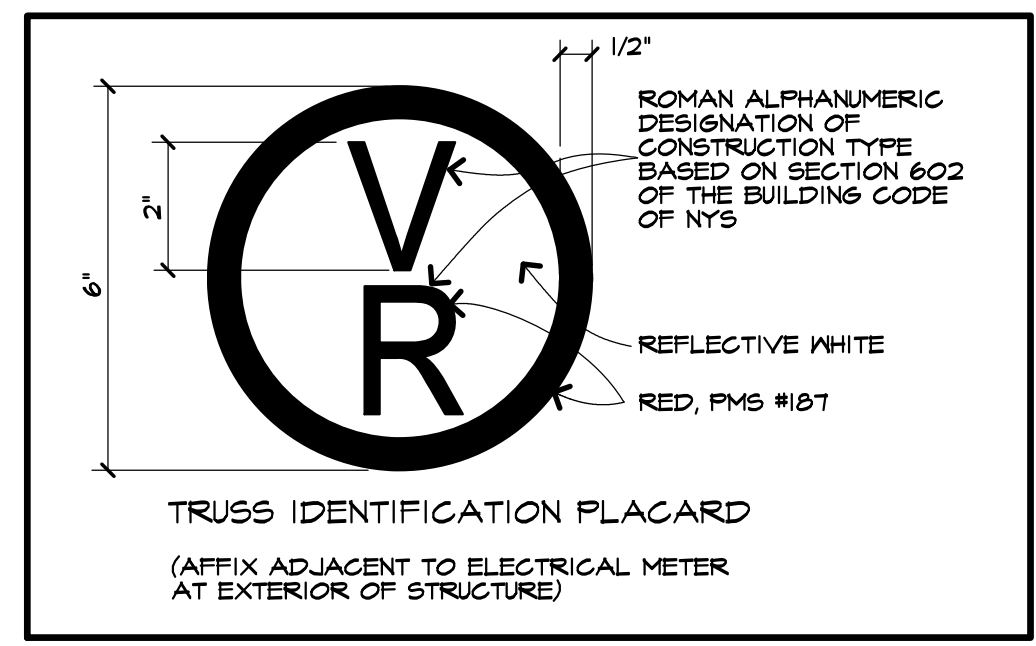
ABBREVIATIONS

APPROX	-APPROXIMATE	FT (?)	-FOOT	OPNG	-OPENING
#	-AND	FT6	-FOOTING	O/A	-OVERALL
@	-AT	FDN	-FOUNDATION	O.H.D	-OVERHEAD DOOR
BM	-BEAM	GYP	-GYPSUM	O/HANG	-OVERHANGS
BLK	-BLOCK	HND'CP	-HANDICAP	O/	-OVER
BD	-BOARD	HST	-HEIGHT	OPT	-OPTIONAL
BLDS	-BUILDING	HW	-HOT WATER	P.D.R	-POWDER ROOM
BTR	-BETTER	HDR	-HEADER	PSF	-POUNDS PER SQ. FT.
CL6	-CEILING	IN (?)	-INCH	PSI	-POUNDS PER SQ. IN.
CL	-CENTERLINE	INCL	-INCLUDE	P.F.T	-PRESSURE TREATED
COL	-COLUMN	INFO	-INFORMATION	REG'D	-REQUIRED
CONC	-CONCRETE	ID	-INSIDE DIAMETER	RM	-ROOM
CONT	-CONTINUOUS	INSUL	-INSULATION	RES	-RESIDENTIAL
COMM	-COMMERCIAL	INT	-INTERIOR	RES	-RISERS
CRS	-COURSES	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	RD # SH	-ROOF # SHELF
DL	-DEAD LOAD	JO	-JOINT	S	-SOUTH
DIA	-DIAMETER	JSTS	-JOISTS	SKYL'T	-SKYLIGHT
DBL	-DOUBLE	LT	-LIGHT	SH	-SHELF
DN	-DOWN	LL	-LIVE LOAD	SH'S	-SHELVES
DWS	-DRAWINGS	MFR	-MANUFACTURER	STOR	-STORAGE
DIM	-DIMENSION	MAX	-MAXIMUM	STL	-STEEL
ELEC	-ELECTRIC	MEGH	-MECHANICAL	SUSP	-SUSPENDED
EXP	-EXPANSION	MTL	-METAL	SYN	-SYNTHETIC
EXT	-EXTERIOR	MIN	-MINIMUM	TS	-TREADS
FT (?)	-FEET	MISC	-MISCELLANEOUS	(TYP)	-TYPICAL
FIN	-FINISH	N	-NORTH	T#6	-TONGUE & GROOVE
FLR	-FLOOR	NTS	-NOT TO SCALE	W	-WITH
I ST	-FIRST	NO	-NUMBER	W/O	-WITHOUT
FLUOR	-FLUORESCENT				

TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/split shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/split shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	Rim joists shall be insulated.
Rim joists	Rim joists shall include the air barrier.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extends from the bottom to the top of all perimeter floor framing members.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edges of insulation.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	
Shafts, penetrations	Duct shafts, utility penetrations, and fuel shafts opening to exterior or unconditioned space shall be sealed.	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Narrow cavities		
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and C rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be sealed.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of lug walls shall be in accordance with the provisions of ICC 406.



CARINI ENGINEERING DESIGNS, P.C.
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Also doing business as **DWELL @theFingerLakes**
LIVE WELL. DO WELL.
61 NORTH MAIN STREET CANANDAIGUA, NY 14424 PH. 585-223-5887

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Revisions:

Project: RESIDENTIAL ADDITION

Client: OMAR & LINDSAY ALI

Job Location: 91 CAVERSHAM WOODS PITTSFORD, NEW YORK

Drawing Title: COVER SHEET & NOTES

Drawn: TJM / SMK Checked By:

Date: JANUARY 2023

Job No: 38107

Sheet: 1 of 7

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Revisions:

Project:
RESIDENTIAL ADDITION

Client:
OMAR & LINDSAY ALI

Job Location:
41 CAVERSHAM WOODS
PITTSFORD, NEW YORK

Drawing Title:
ELEVATIONS

Drawn:
TJM / SMK

Checked By:

Date:
JANUARY 2023

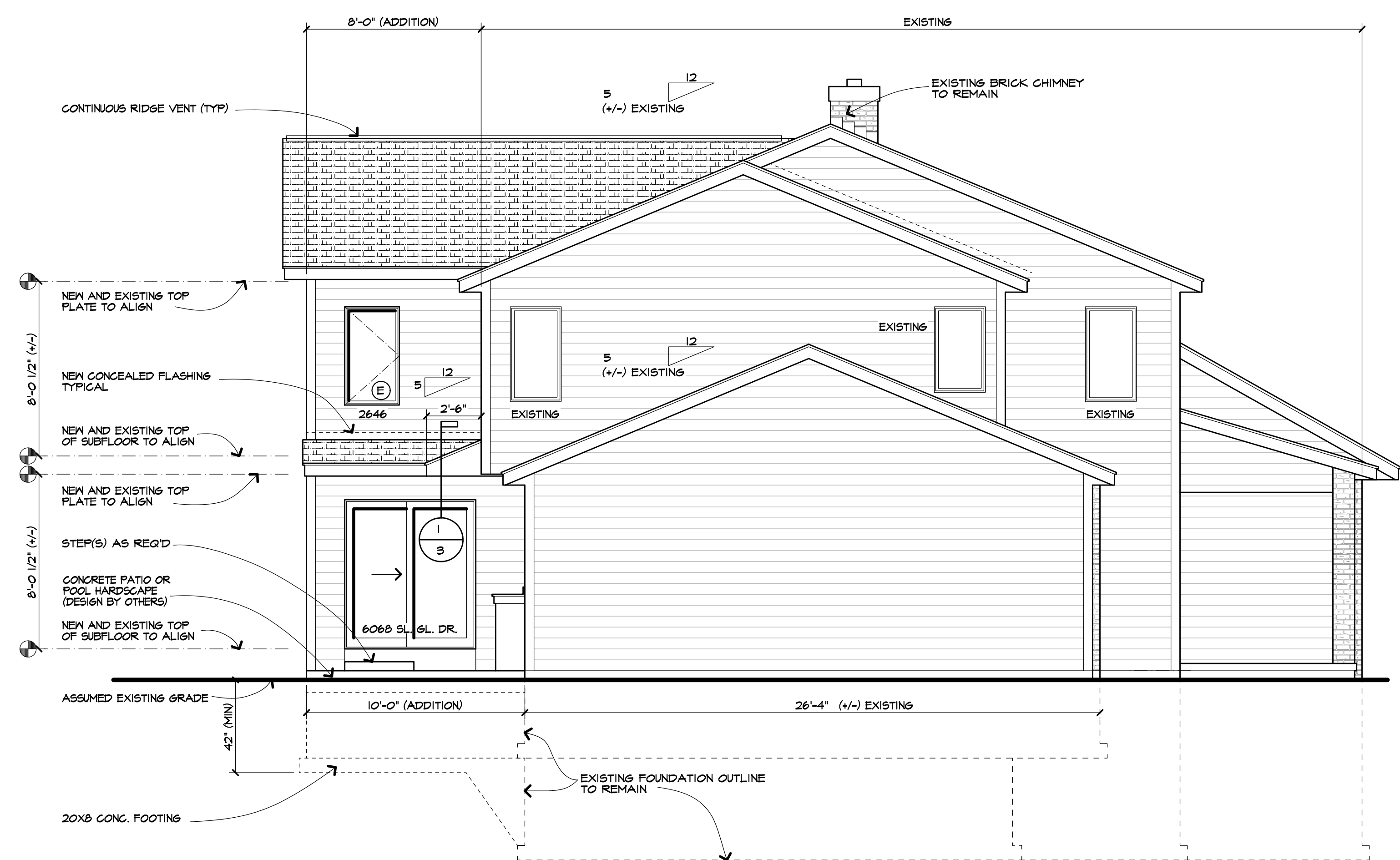
Job No.:
38707

Sheet:
2 of 7



FRONT ELEVATION

SCALE: 1/4" = 1'-0"
NO CHANGES ARE PROPOSED FOR THIS ELEVATION

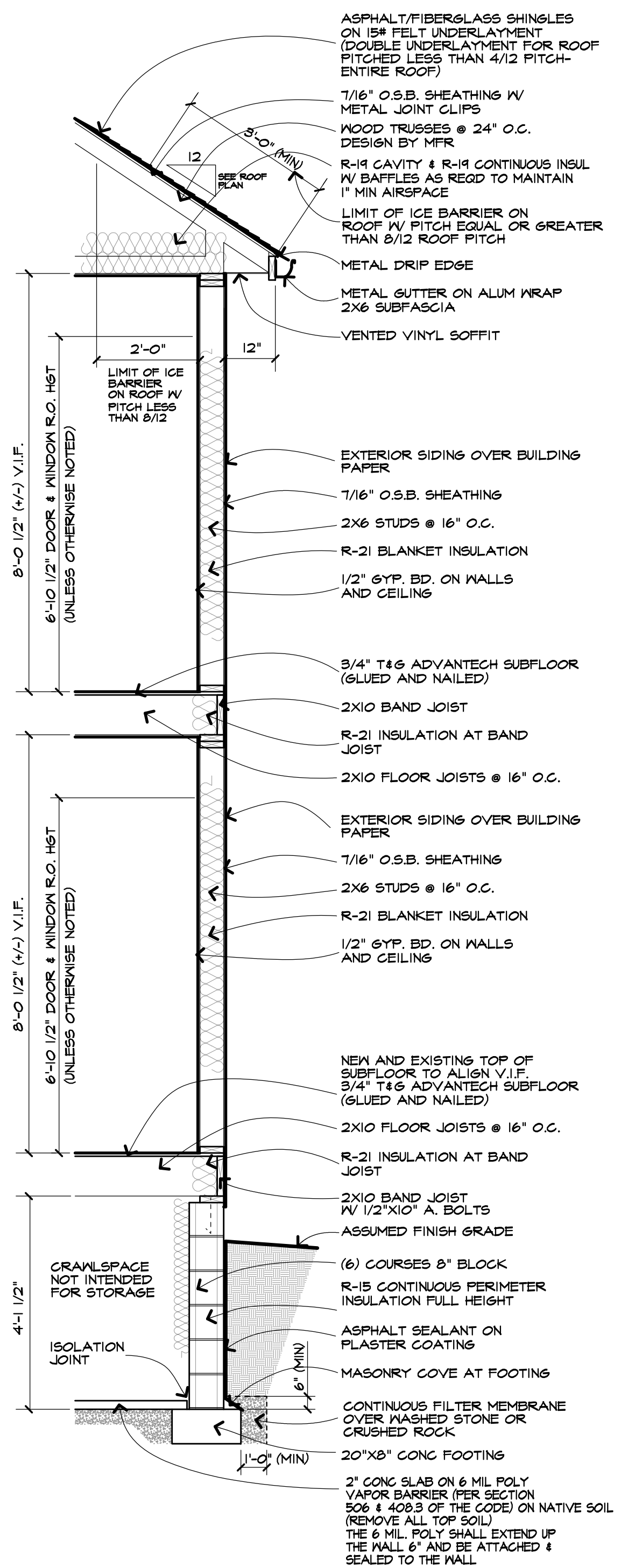


ADDITION AND EXISTING
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

UNLESS OTHERWISE NOTED	
ROOFING:	ASPHALT / FIBERGLASS SHINGLES AS SELTD
ROOF VENTING:	ONE SQ.FT NET PER 300 SQ. FT. ATTIC SPACE (PER EXCEPTION IN R206.2 OF THE CODE)
FACIA:	ALUM WRAP 2X6
FRIEZEBOARDS:	
CORNERBOARDS:	
CASINGS:	
SIDING:	
EAVE O/HANGS:	1'-0"
RAKE O/HANGS:	1'-0"
FOOTING DEPTH:	3'-6" BELOW GRADE
PLATE HEIGHT:	
FIRST FLOOR:	8'-0 1/2" (+/-) MATCH EXIST.
SECOND FLOOR:	8'-0 1/2" (+/-) MATCH EXIST.
WINDOW R.O. HEIGHT:	
FIRST FLOOR:	6'-10 1/2"
SECOND FLOOR:	6'-10 1/2"
WINDOW MFR:	* ANDERSEN 100 " W/ LOW E

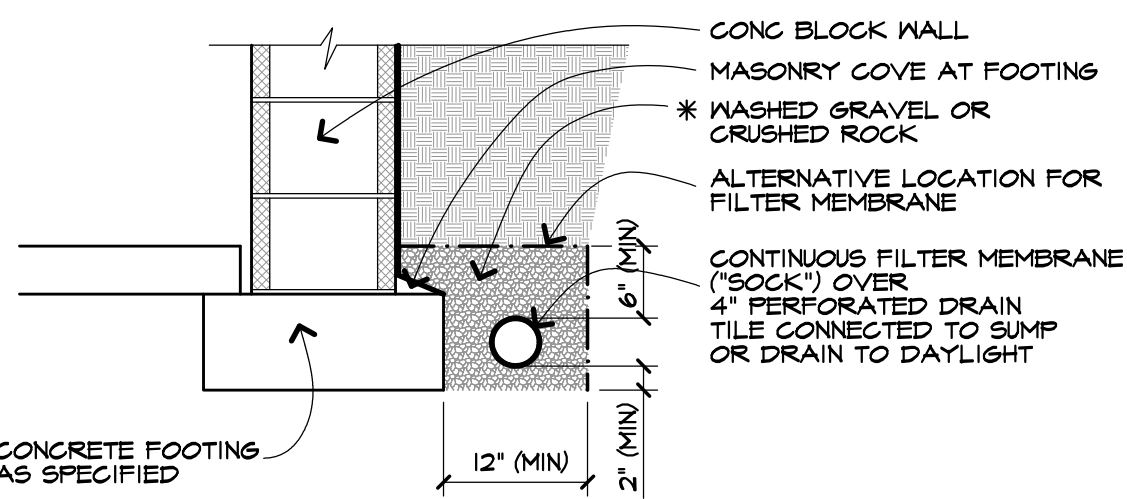
WINDOW SUPPLIER TO VERIFY WINDOW WILL MEET THE FOLLOWING CRITERIA:
E CLEAR OPENING WIDTH SHALL BE 20" OR GREATER, CLEAR OPENING HEIGHT SHALL BE 24" OR GREATER, AND NET CLEAR OPENING SHALL BE 5.7 SQ. FT OR GREATER.
THE BOTTOM EDGE OF THE CLEAR OPENING SHALL BE NOT GREATER THAN 44" MEASURED FROM THE FLOOR.



TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"

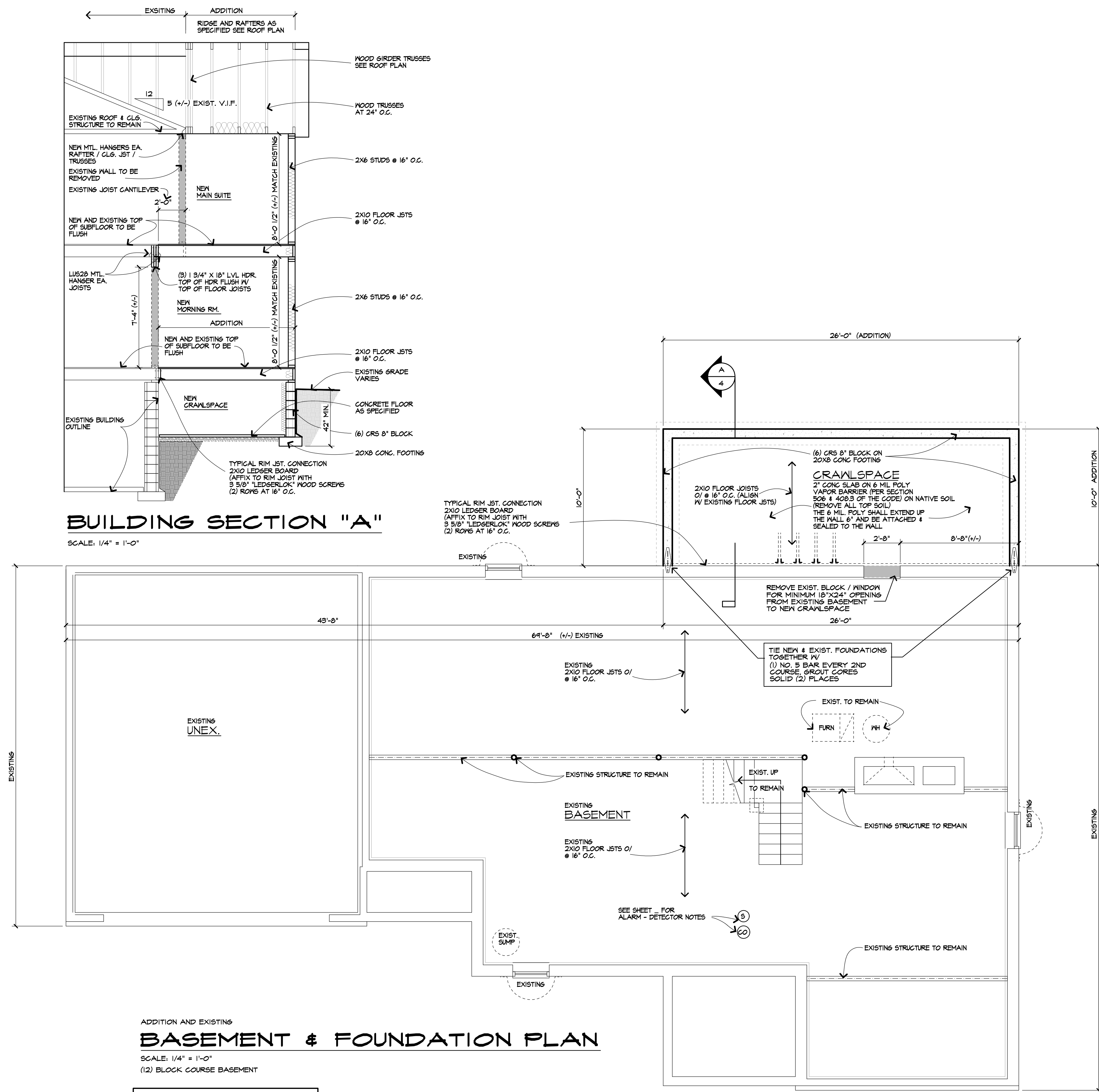
- *SIMPSON® H2.5A AT EVERY TRUSS / TOP PLATE CONNECTION
- *SIMPSON® L6T 2, OR 3 OR 4 FOR 2 OR 3 OR 4 FLY GIRDER TRUSSES



DRAIN TILE DETAIL

SCALE: 3/4" = 1'-0"

* WASHED GRAVEL OR CRUSHED ROCK SHALL NOT BE LESS THAN ONE SIEVE SIZE LARGER THAN THE TILE JOINT OPENING OR PERFORATION.



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

(12) BLOCK COURSE BASEMENT

WALL LEGEND UNLESS OTHERWISE NOTED	
	-EXISTING WALLS TO REMAIN
	-NEW CMU AS SPECIFIED
	-EXIST. CMU TO BE REMOVED

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Revisions:

Project:
RESIDENTIAL ADDITION

Client:
OMAR & LINDSAY ALI

Job Location:
41 CAVERSHAM WOODS
PITTSFORD, NEW YORK

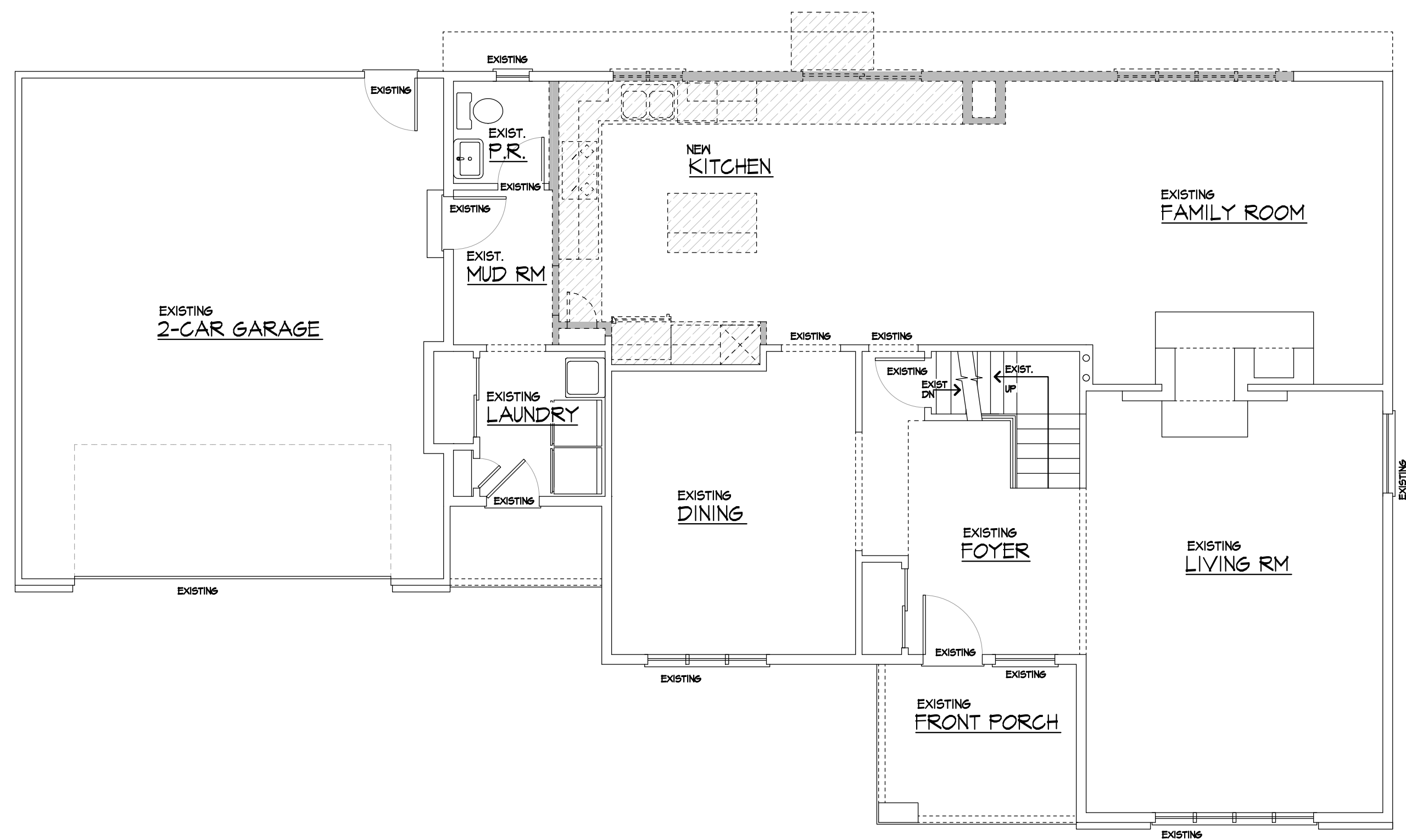
Drawing Title:
BASEMENT PLAN
SECTIONS

Drawn:
TJM / SMK

Checked By:
Date:
JANUARY 2023

Job No:
38707

Sheet:
4 of 7



DEMOLITION
FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

WALL LEGEND
UNLESS OTHERWISE NOTED

	-EXISTING FIXTURES TO BE REMOVED
	-EXISTING WALLS TO REMAIN
	-EXISTING WALLS TO BE REMOVED

CONTRACTOR SHALL INSTALL SMOKE & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 915 OF THE FIRE CODE.

(S) : SMOKE DETECTOR
(CO) : CARBON MONOXIDE DETECTOR

R314.3 SMOKE DETECTOR LOCATION:
SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

R314.4 INTERCONNECTION - EXCEPTION:
INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.

R315.3 CARBON MONOXIDE ALARM LOCATIONS:
OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

R315.4 & 315.6.4 COMBINATION ALARMS:
COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.

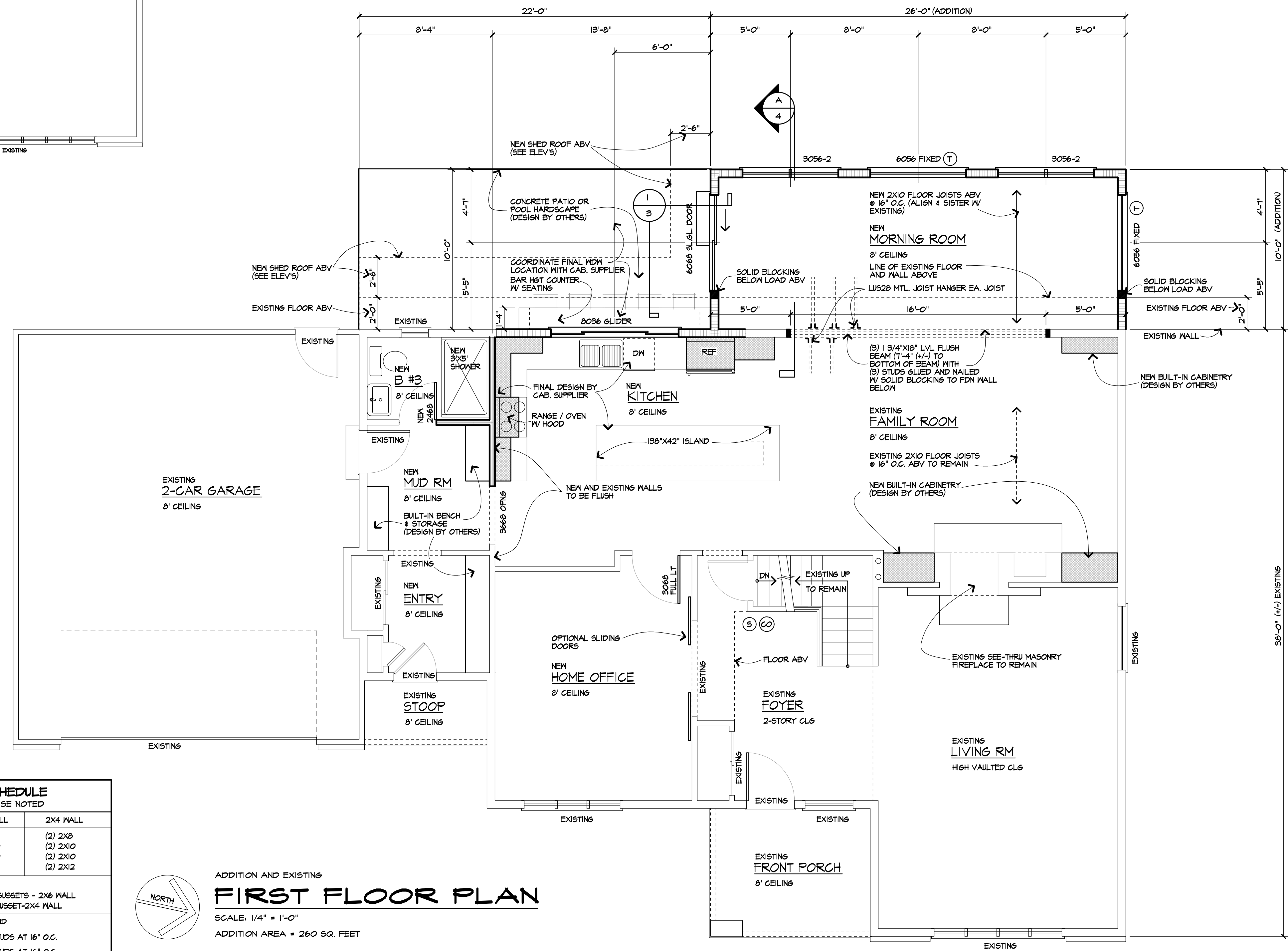
HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENING	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

NOTE:
PROVIDE (2) 1/2" PLYWOOD GUSSETS - 2X6 WALL
PROVIDE (1) 1/2" PLYWOOD GUSSET-2X4 WALL

WALL LEGEND

	-2X4 STUDS AT 16" O.C.
	-2X6 STUDS AT 16" O.C.
	-EXISTING WALLS TO REMAIN
	-INT'L. OPENINGS TO MATCH EXISTING ADJACENT ASSEMBLY
	■ PROVIDE (3) STUDS SOLID WHERE SHOWN IN SOLID BLK'S TO BELOW



ADDITION AND EXISTING
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ADDITION AREA = 260 SQ. FEET

CARINI
ENGINEERING
DESIGNS, P.C.

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Revisions

Project: RESIDENTIAL ADDITION

Client: CHAR & LINDSAY ALI

Job Location: 41 CAVERSHAM WOODS
PITTSFORD, NEW YORK

Drawing Title: FIRST FLOOR PLAN

Drawn: TJM / SMK
Checked By:

Date: JANUARY 2023

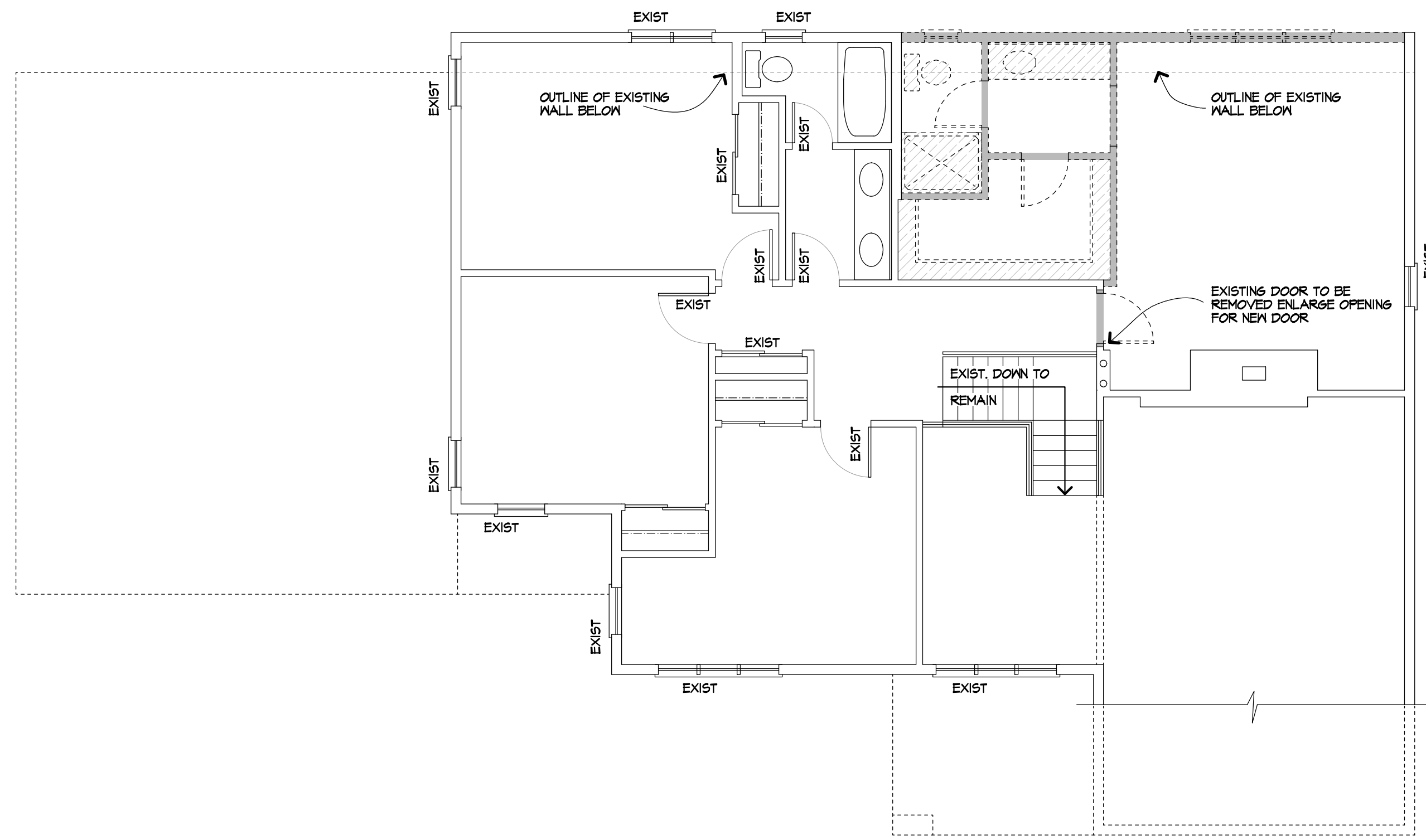
Job No.: 38107

Sheet: 5 of 7

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Revisions:	
Project:	RESIDENTIAL ADDITION
Client:	OMAR & LINDSAY ALI
Job Location:	41 CAVERSHAM WOODS PITTSFORD, NEW YORK
Drawing Title:	SECOND FLOOR PLAN
Drawn:	TJM / SMK
Checked By:	
Date:	JANUARY 2023
Job No.:	38107
Sheet:	6 of 7



DEMOLITION PLAN
SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

WALL LEGEND
UNLESS OTHERWISE NOTED

	-EXISTING FIXTURES TO BE REMOVED
	-EXISTING WALLS TO REMAIN
	-EXISTING WALLS TO BE REMOVED

CONTRACTOR SHALL INSTALL SMOKE & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS RS14 & RS15 OF THE CODE AND 415 OF THE FIRE CODE.

Ⓢ : SMOKE DETECTOR
Ⓞ : CARBON MONOXIDE DETECTOR

RS14.3 SMOKE DETECTOR LOCATION:
SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

RS14.4 INTERCONNECTION - EXCEPTION:
INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR MALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.

RS15.3 CARBON MONOXIDE ALARM LOCATIONS:
OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

RS15.4 & 315.6.4 COMBINATION ALARMS:
COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.

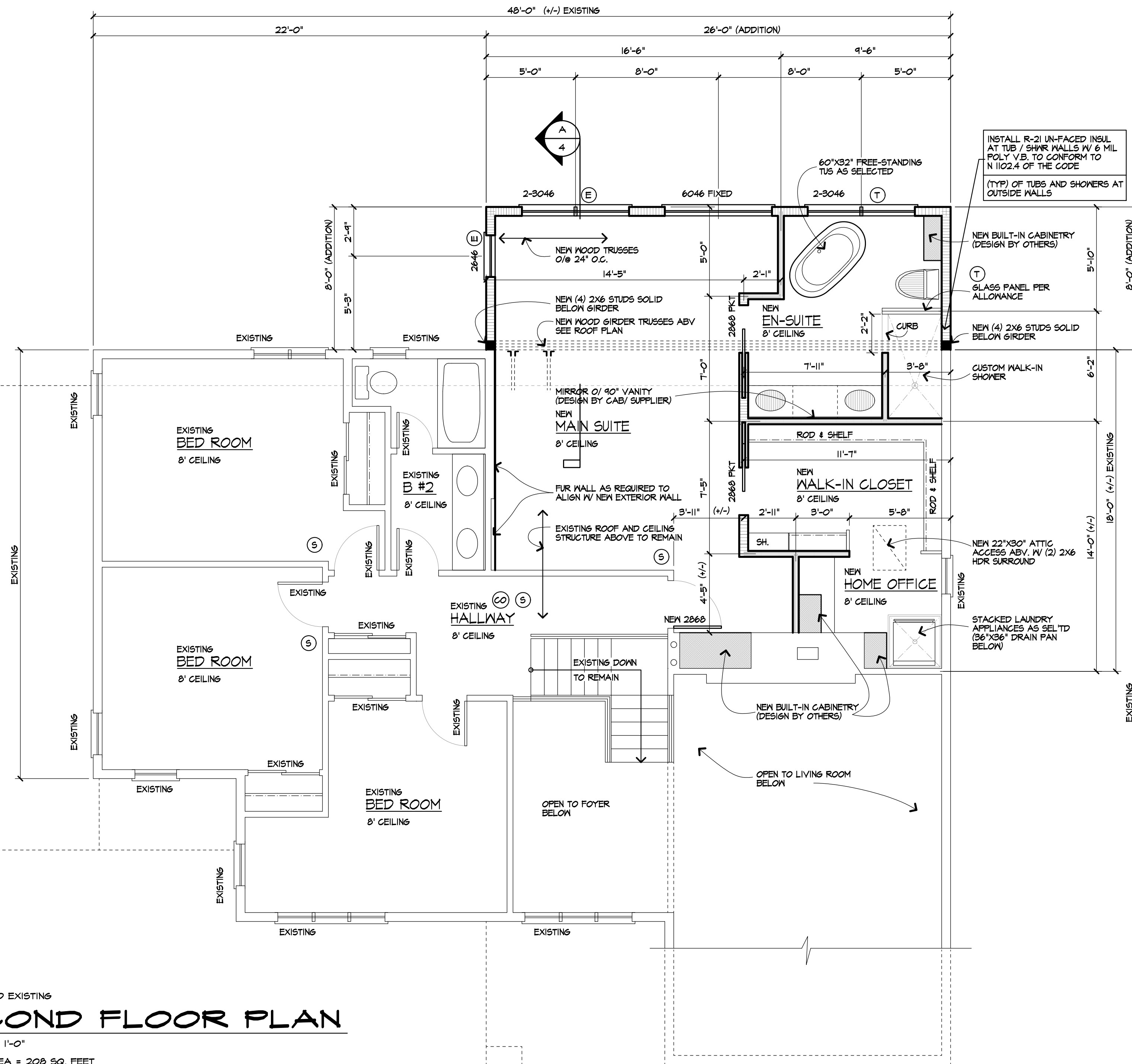
HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENING	2X6 MALL	2X4 MALL
UP TO 5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

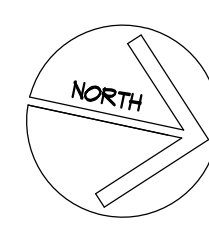
NOTE:
PROVIDE (2) 1/2" PLYMD GUSSETS - 2X6 MALL
PROVIDE (1) 1/2" PLYMD GUSSET-2X4 MALL

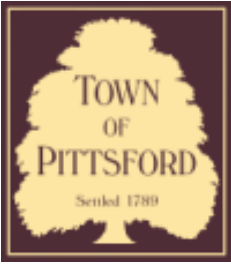
WALL LEGEND

	-2X4 STUDS AT 16" O.C.
	-2X6 STUDS AT 16" O.C.
	-EXISTING WALLS TO REMAIN
	- PROVIDE (3) STUDS SOLID WHERE SHOWN IN SOLID BLK'S TO BELOW



ADDITION AND EXISTING
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ADDITION AREA = 208 SQ. FEET





Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000023

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 56 & 58 Skylight ,

Tax ID Number:

Zoning District:

Owner:

Applicant: S & J Morrell

Application Type:

- | | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. 56 Skylight Trail will be approximately 1884 sq. ft. and 58 Skylight Trail will be 2023 sq. ft. The town homes will be located in the new Alpine Ridge development.

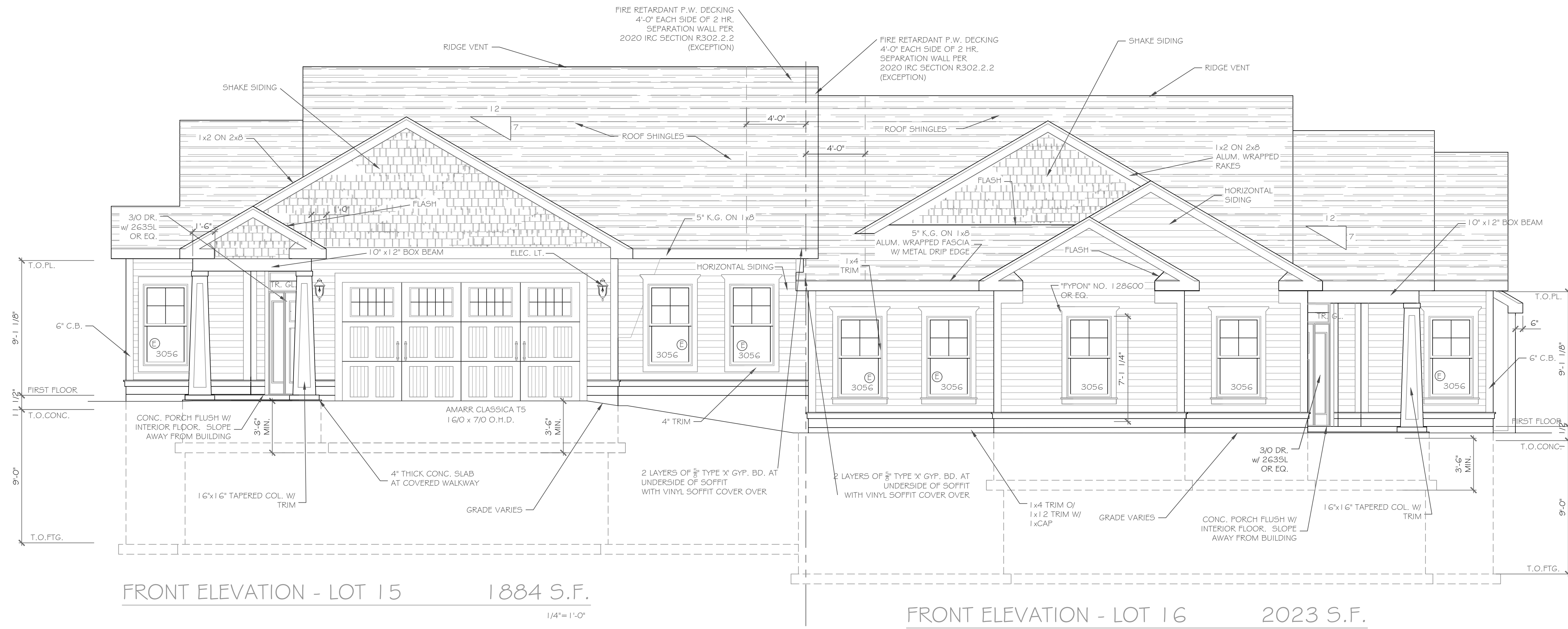
Meeting Date: March 09, 2023



● = Side Load Garage

X = Stone Siding

	Cobblestone (CS)	Light Mist (LM)	Navajo Beige (NB)	Khaki Brown (KB)	Boothbay Blue (BB)
Color					
Denotes Buildign Step					
Garage Door	Dark Oak (DO)	Walnut (EW)	Mahogany (MA)	Dark Oak (DO)	Mahogany (MA)



FRONT ELEVATION - LOT 15 1884 S.F.

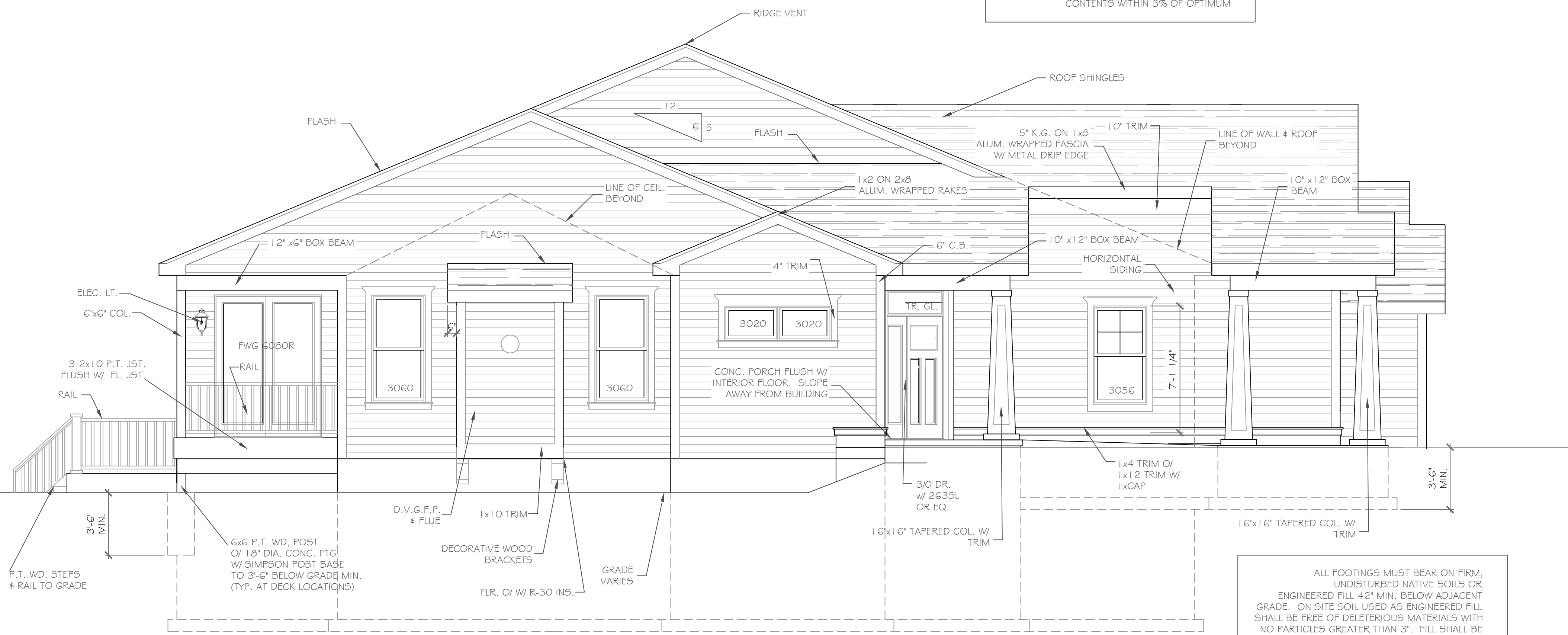
FRONT ELEVATION - LOT 16 2023 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E
 - DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM



LEFT SIDE ELEVATION

LOT 15 1/4" = 1'-0"

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Elevations
Units 15 & 16

PROJECT:
Alpine Ridge - Units 15 & 16
Pittsford, N.Y.

CLIENT:
Morrell Builders

DATE:
February 27, 2023

JOB NO. -
A23-011

PHASE:
Construction Documents

CKH
 architecture

1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontnet.net

DRAWING NO. -
A-1

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NO.	DATE	DESCRIPTION

REVISIONS:

DRAWING TITLE:
 Elevations
 Units 15 & 16

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 15 & 16
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

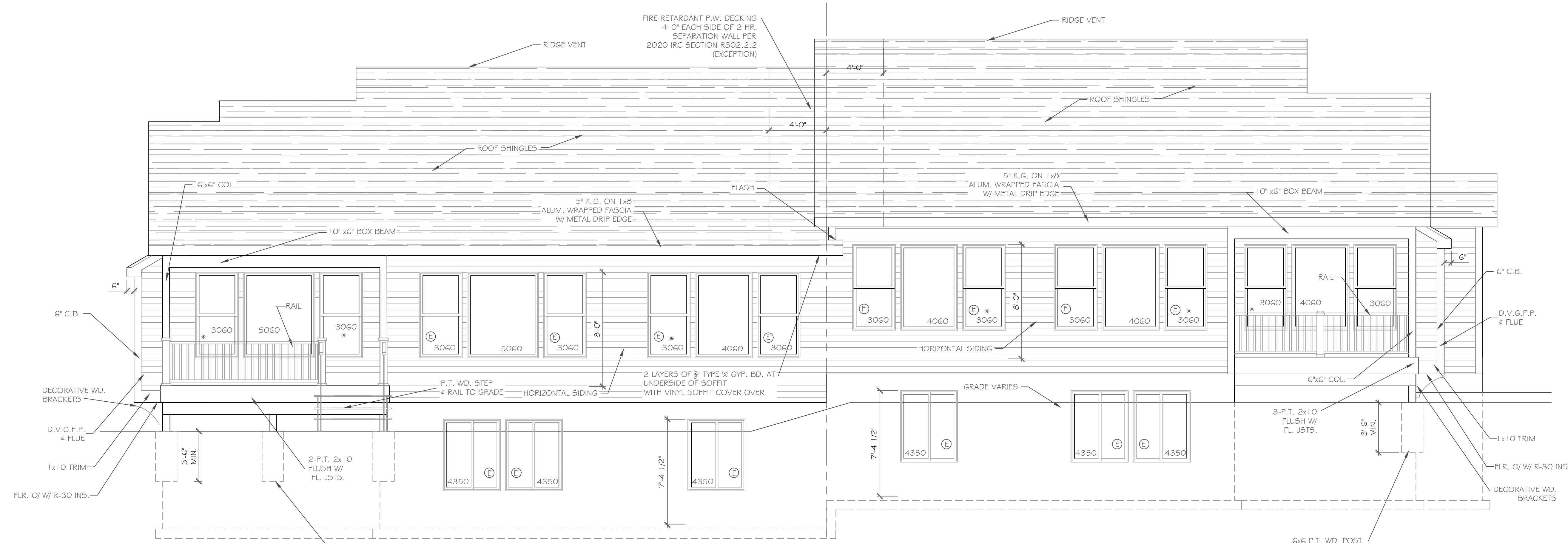
DATE:
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 architecture
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 phone: (585) 249-1334
 e-mail: CKHennessey@frontier.net

DRAWING NO.:
 A-2

A-2



REAR ELEVATION

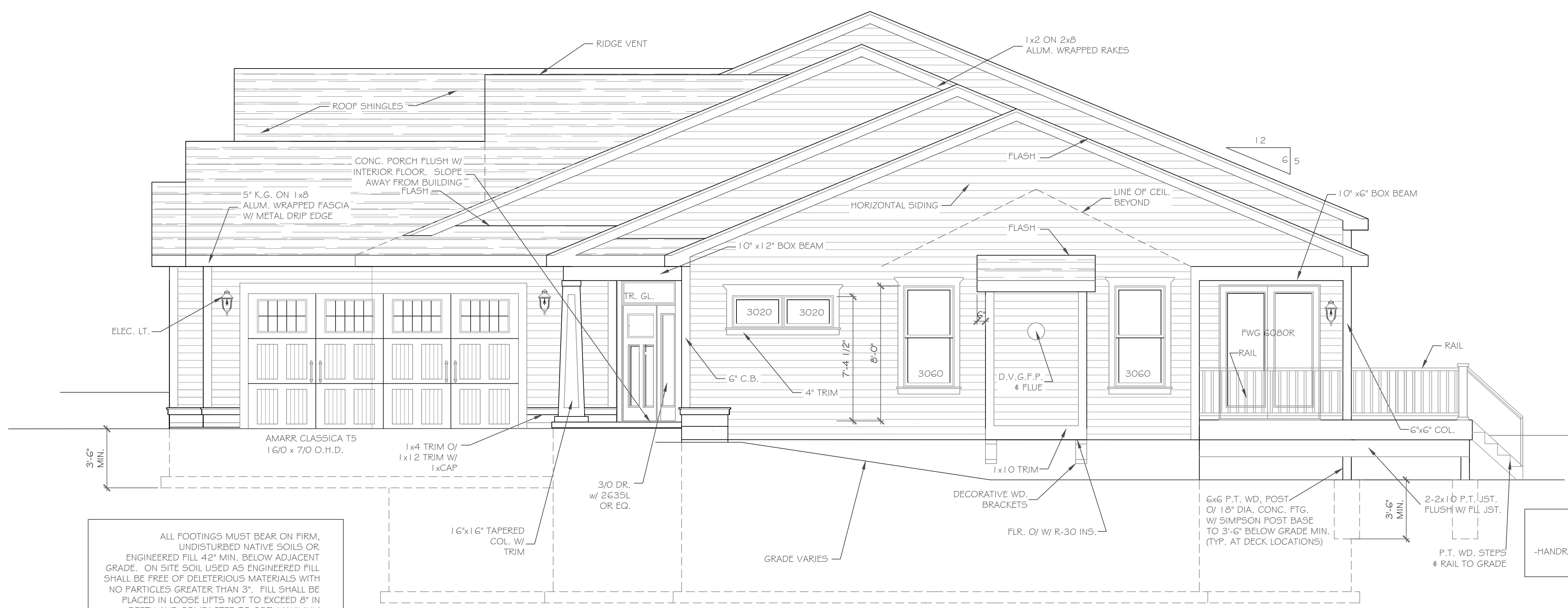
1/4" = 1'-0"

LOT 15

HANDRAIL NOTES:
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 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

LOT 16

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM



RIGHT SIDE ELEVATION

1/4" = 1'-0"

LOT 16

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
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PARTIAL TABLE R404.1.2(6)
NOMINAL FLAT BASEMENT WALLS (p,c,d,e,f,h,i,j,k,n,o)

Soil classes(a) & design lateral soil (psf per foot of depth)			MAXIMUM UNBALANCED BACKFILL HEIGHT(e) (feet)	MAXIMUM WALL HEIGHT (feet)
SH,ML-CL and inorganic CL GO soils	GM,GC,SM,SM-SC and ML 4 soils	GW, GP, SW and SP 30 soils		
NR	NR	NR	4	9
NR	NR(I)	NR(I)	5	9
#6 at 39" o.c.	#5 at 37" o.c.	#5 at 41" o.c.	6	9
#6 at 30" o.c.	#6 at 30" o.c.	#6 at 40" o.c.	7	9
#6 at 29" o.c.	#6 at 30" o.c.	#6 at 40" o.c.	8	9
#6 at 23" o.c.	#6 at 30" o.c.	#6 at 40" o.c.	9	9

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi.
c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3.3.7.6 and Table R404.1.2(9).
d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4@48" o.c.
e. Allowable deflection criterion is $L/240$, where L is the unsupported height of the basement wall in inches.
f. Interpolation is not permitted.
g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 1.0 percent of the wall thickness or 3/8".
h. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
i. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
n. See Table R603.3 for tolerance from nominal thickness permitted for flat walls.
o. The use of the Table shall be prohibited for soil classifications not shown.

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
Basement & Foundation Plan
Units 15 & 16

PHASE:
Construction Documents

PROJECT:
Alpine Ridge - Units 15 & 16
Pittsford, N.Y.

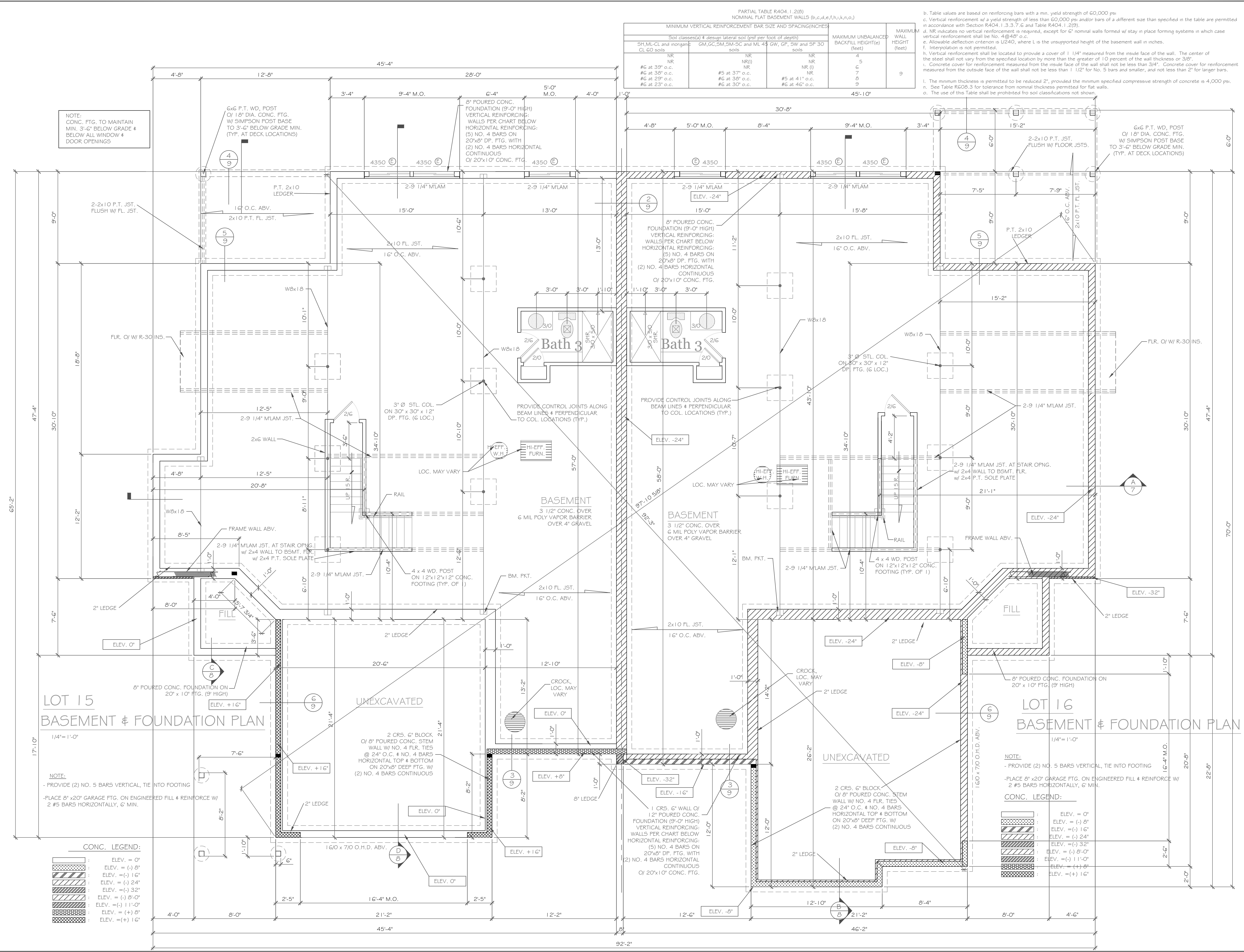
CLIENT:
Morrell Builders

DATE:
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JOB NO. -
A23-011

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-3



NOTE:
CONC. FTG. TO MAINTAIN MIN. 3'-6" BELOW GRADE & BELOW ALL WINDOW & DOOR OPENINGS

6x6 P.T. WD. POST
O/ 18" DIA. CONC. FTG.
W/ SIMPSON POST BASE
TO 3'-6" BELOW GRADE MIN.
(TYP. AT DECK LOCATIONS)

8" POURED CONC.
FOUNDATION (9'-0" HIGH)
VERTICAL REINFORCING:
WALLS PER CHART BELOW
HORIZONTAL REINFORCING:
(5) NO. 4 BARS ON
20"x8" DP. FTG. WITH
(2) NO. 4 BARS HORIZONTAL
CONTINUOUS
O/ 20"x10" CONC. FTG.

8" POURED CONC.
FOUNDATION (9'-0" HIGH)
VERTICAL REINFORCING:
WALLS PER CHART BELOW
HORIZONTAL REINFORCING:
(5) NO. 4 BARS ON
20"x8" DP. FTG. WITH
(2) NO. 4 BARS HORIZONTAL
CONTINUOUS
O/ 20"x10" CONC. FTG.

BASEMENT
3 1/2" CONC. OVER
6 MIL POLY VAPOR BARRIER
OVER 4" GRAVEL

BASEMENT
3 1/2" CONC. OVER
6 MIL POLY VAPOR BARRIER
OVER 4" GRAVEL

LOT 15
BASEMENT & FOUNDATION PLAN

LOT 16
BASEMENT & FOUNDATION PLAN

NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

NOTE:
- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING
- PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:

[Pattern]	ELEV. = 0'
[Pattern]	ELEV. = (-) 8'
[Pattern]	ELEV. = (-) 16'
[Pattern]	ELEV. = (-) 24'
[Pattern]	ELEV. = (-) 32'
[Pattern]	ELEV. = (-) 8'-0"
[Pattern]	ELEV. = (-) 11'-0"
[Pattern]	ELEV. = (+) 8'
[Pattern]	ELEV. = (+) 16'

CONC. LEGEND:

[Pattern]	ELEV. = 0'
[Pattern]	ELEV. = (-) 8'
[Pattern]	ELEV. = (-) 16'
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HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R314.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

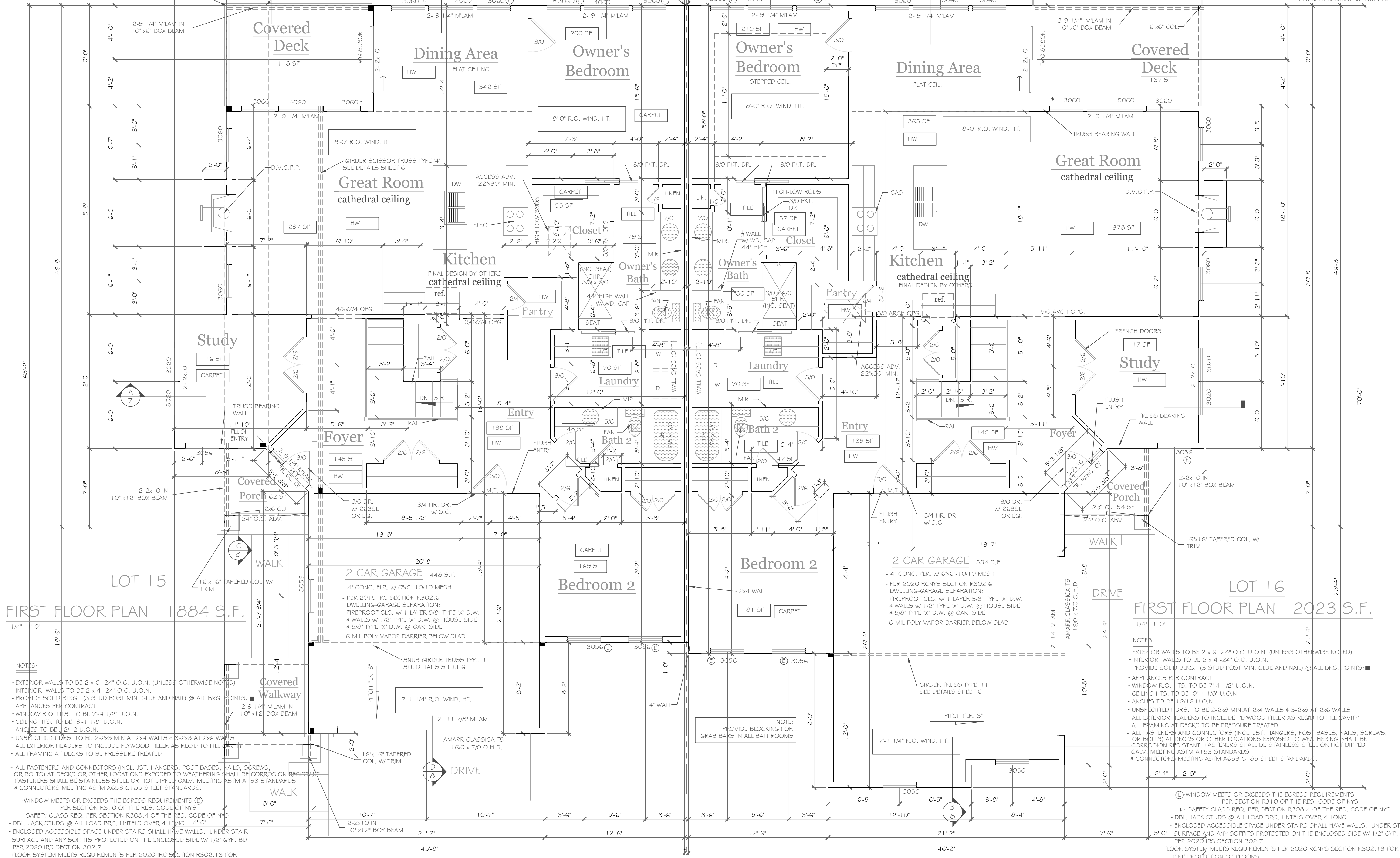
CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION 915 OF THE FIRE CODE OF NYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HEAT DETECTORS SHALL BE INSTALLED IN ATTACHED GARAGES PER SECTION R314.2.3 OF THE 2020 EBCONS

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 RCNYS SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNYS, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



FIRST FLOOR PLAN 1884 S.F.

FIRST FLOOR PLAN 2023 S.F.

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N.
 - PROVIDE SOLID BLDG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS.
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
 - ANGLES TO BE 1/2" U.O.N.
 - UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
 - SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
 - DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYP. BD PER 2020 IRS SECTION 302.7
 - FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.13 FOR FIRE PROTECTION OF FLOORS.
 - SMOOTH FINISH ON ALL CEILINGS UNIT 1

NOTES:
 - EXTERIOR WALLS TO BE 2 x 6 -24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 -24" O.C. U.O.N.
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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
**First Floor Plans
 Units 15 & 16**

PROJECT:
**Alpine Ridge - Units 15 & 16
 Pittsford, N.Y.**

CLIENT:
Morrell Builders

DATE:
 February 27, 2023

PHASE:
 Construction Documents

CKH
 architecture

1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

SUBJECT Lot 15- 56 Skylight Trail and Lot 16- 58 Skylight Trail

Siding: Almond

Front Door: New Earth

Garage Door: Mahogany



Mahogany

LEFT OF SUBJECT Lot 13- 50 Skylight Trail and Lot 14- 52 Skylight Trail

Siding: Cape Cod Gray

Front Door: Dark Maple

Garage Door: Walnut



Dark Maple



Walnut

RIGHT OF SUBJECT Lot 17- 62 Skylight Trail and Lot 18- 64 Skylight Trail

Siding: Pebble

Front Door: Driftwood

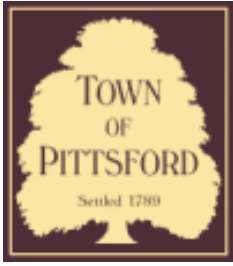
Garage Door: Dark Oak



Driftwood



Dark Oak



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
D23-000001

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 114 Sunset Boulevard PITTSFORD, NY 14534

Tax ID Number: 164.10-4-23

Zoning District: RN Residential Neighborhood

Owner: Sarajlic, Vedrana

Applicant: Sarajlic, Vedrana

Application Type:

- | | |
|-------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

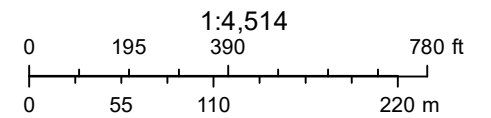
Project Description: In accordance with Chapter 64 Article VIII, Â§64-43 of the Pittsford Town Code, the owner of 114 Sunset Boulevard is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 1,872 square foot home at 114 Sunset Boulevard and rebuild a new 3,180 +/- square foot single family home on the property. Tax Parcel No. 164.10-4-23. This property is Zoned Residential Neighborhood (RN).

Meeting Date: March 09, 2023

RN Residential Neighborhood Zoning



Printed March 1, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

Proposed Residence

114 Sunset Boulevard
Pittsford, NY 14534



Design Review & Historic Preservation Board
Meeting: January 26, 2023

DEAN
ARCHITECT



114 Sunset Blvd
Pittsford, NY 14534

Pittsford United
Nursery School

United Church
of Pittsford

Sunset Blvd

Sunset Blvd

Sunset Blvd

S Main St

Sunset Blvd

114 Sunset Boulevard
Pittsford, NY 14534

33

APPLICATION FOR BUILDING PERMIT

INSTRUCTIONS

- A. This application must be filled in by typewriter or in ink and submitted to the Superintendent of Buildings.
- B. Two plot plans showing location of lot and of proposed and existing buildings on premises, relationship to adjoining premises, public streets or areas, and giving a detailed description of layout of property, with ALL measurements shown, must be submitted with this application.
- C. This application must be accompanied by TWO complete set of plans showing proposed construction. Plans shall describe the nature of the work to be performed, the materials and equipment to be used and installed and details of structure, mechanical, electrical and plumbing installations, sewage disposal and water drainage system.
- D. The work covered by this application cannot be commenced before the issuance of a Building Permit.
- E. Upon approval of this application, the Building Superintendent will issue a Building Permit to the applicant, together with approved set of plans. Such permit and approved plans shall be kept on the premises, available for inspection throughout the progress of the work.

APPLICATION IS HEREBY MADE for the issuance of a BUILDING PERMIT pursuant to the rules and regulations, that have been adopted by the Town of Pittsford, for the construction of buildings, additions or alterations, or removal, or demolition, as herein described. The OWNER will be held responsible for compliance with all applicable laws, ordinances and regulations.

LOCATION OF PREMISES:

Tract JEFFERSON HEIGHTS Lot No. R 4... Street SUNSET BLVD... House No. 114... Zoned A..

LOT SIZE: Front 100...ft. Rear 100...ft. Depth 200 APPROX... Area Sq. Feet.....

BUILDING: New X... Addition..... Alteration Repair..... Demolition.....

OWNER AND PRESENT ADDRESS ELMER J. PARENT, INC., E. ROCHESTER, N.Y...

NAME AND ADDRESS OF APPLICANT SAME.....

DWELLING X.. MULTIPLE DWELLING..... GARAGE 2.... CARS, COMMERCIAL.....

INDUSTRIAL.....

ESTIMATED COST \$ 18,000.00...

FEE \$ 33.60.....

COMPLETED COST \$.....

DIMENSIONS OF NEW CONSTRUCTION: (As Per Plans Submitted)

Ground Floor Area 1120 sq. ft.

Type of Building Type III.....

Number of Stories 2.....

FOR ALTERATIONS AND ADDITIONS:

Dimensions of existing structures:

Front Rear..... Depth Height Number of Stories

Dimension of proposed additions:

Front Rear..... Depth..... Height Number of Stories

STATE OF NEW YORK }
COUNTY OF MONROE } ss:
TOWN OF PITTSFORD }

Subject to the provisions of the Town Building Code. All lot and set-back stakes must be set and protected before construction is started.

E. J. Parent being duly sworn and says that he is the applicant above named. He is the owner, contractor, agent, and is duly authorized to perform the said work and to make and file this application; that all statements contained in this application are true to the best of his knowledge and belief, and that the work will be performed in the manner set forth in the application and in the plans filed herewith.

Sworn to before me
this 6 day of DEC, 1955.

ELMER J. PARENT, INC.

Elmer J. Parent, Inc.
(Signature of Applicant)

a. R. Kassel
Notary Public - Inspector.

BUILDING INSPECTOR'S REPORT

12/12/55

Building Permit No. 243 Owner Elmer J PARENT Agent E. J. PARENT
 Lot No. R-4 Tract Jefferson HGTS House No. 114 Street SUNSET Blvd.
 Bedrooms 4 Bathrooms _____ Laundry Sink Fire Place
 Interior _____ Outside _____ Roof Drainage, Dry Wall Well _____
 Storm Water Sewer _____ Surface _____
 Public Water System Well _____ Public Sewage System _____
 Storm Water System _____ Individual Sewage System
 Sump Pump _____ Basement Drainage _____ Inside Tile _____
 Outside Tile _____ Drainage to _____
 Building set back. Front 52' near _____ Side 19W, 19E

LOCATION

ZONE A

SETBACKS OK

G.F.A 1120^{sq}

1/10/56

400' 24" Trench

1 - 900 GAL Tank

1 - 500 " "

INSPECT & WATER TEST

Plumbing Inspection Date. (1) 2/13/56 (2) _____ (3) _____
 Sewage System " " (1) 6/8/56 (2) _____ (3) _____
 Plumbing and Sewage Systems Complete Date. 6/8/56
 Plumber BENGE Sewer System Installed by N. HIRSCH

REMARKS

Inspector A. R. Kassel

114 Sunset Boulevard

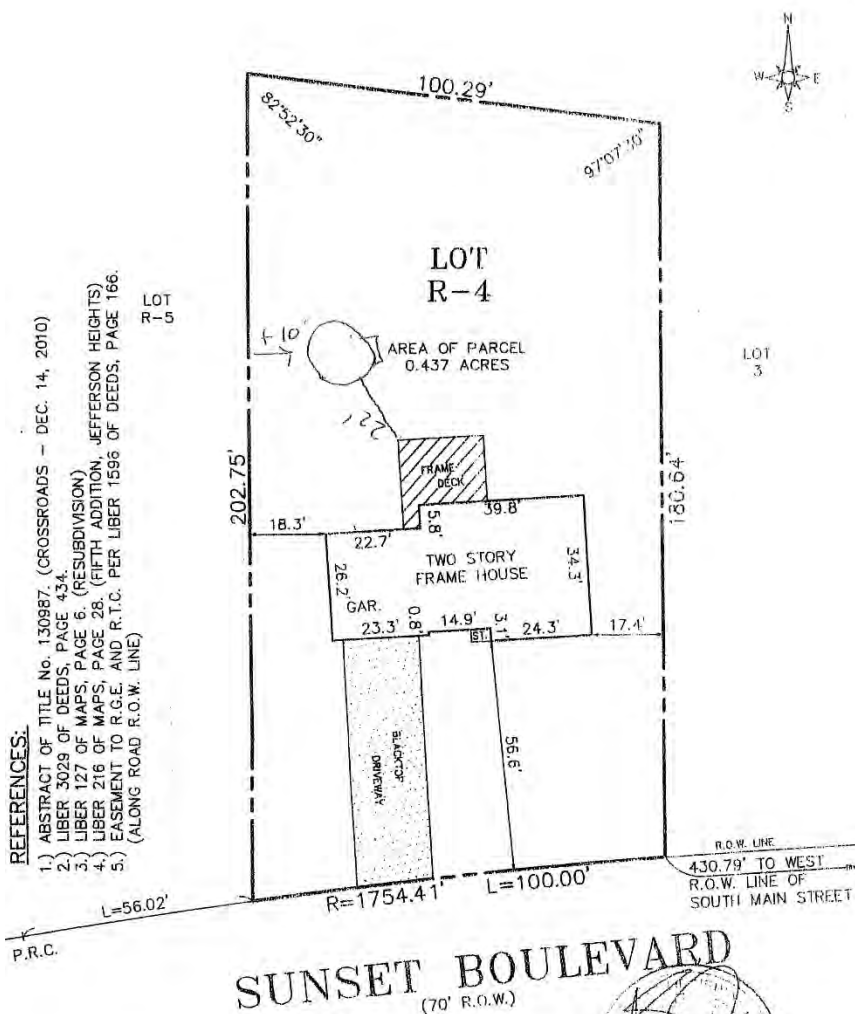
Minimum Requirements and Current Condition

Client: Vedrana Sarajlic and John Bell





- REFERENCES:**
- 1.) ABSTRACT OF TITLE No. 130987, (CROSSROADS - DEC. 14, 2010)
 - 2.) LIBER 3029 OF DEEDS, PAGE 434.
 - 3.) LIBER 127 OF MAPS, PAGE 6. (RESUBDIVISION)
 - 4.) LIBER 216 OF MAPS, PAGE 28. (FIFTH ADDITION, JEFFERSON HEIGHTS)
 - 5.) EASEMENT TO R.G.E. AND R.T.C. PER LIBER 1596 OF DEEDS, PAGE 166. (ALONG ROAD R.O.W. LINE)



P.R.C.

SUNSET BOULEVARD
(70' R.O.W.)

CERTIFICATION:

I hereby certify to:
 PAMELA SCHERER
 MARK S. GUNTHER, P.C.
 STEWART TITLE INSURANCE CO.
 ALBERT S. KUSAK, ESQ.

CNB MORTGAGE CO. ITS SUCCESSORS AND/OR ASSIGNS

that this map was made JAN. 10, 2011 from notes of an instrument Survey completed JAN. 05, 2011 and from references listed hereon.

Gregory J. Bileschi

NOTE: Property corners should only be set by a licensed, registered land surveyor.

GREGORY J. BILESCHI, N.Y.S.L.S. # 50342

Tax Account No. 164.100-04-023

TITLE: INSTRUMENT SURVEY MAP



Demolition of Structures

Minimum Requirements:

- Tax Account No.: 164.100-04-023
- Age of Structure: 67 (Built 1956)
- Square Footage: 1,872
- Height: +/- 25'-0"
- Style: Vernacular
- Architect: Unknown
- Historical Interest: None

* Note: No existing drawings were found by the Building Department staff.

Demolition of Structures

Current Condition:

- Basement water retention in the gap between floor and wall forming black mold. Frequent spraying prolongs exposure to chemicals in addition to mold.
- Basement walls have holes drilled in them because of water retention issue and pressure on the walls.
- Basement plumbing poorly configured.
- Exterior wall insulation very thin, damaged, and inadequate all through the house.

Demolition of Structures

Current Condition: (cont.)

- Garage wall next to the house poorly constructed and not properly insulated.
- Grading is uneven, driveway and front of the house sloping toward the house instead of the other way.
- Five acres of adjacent church property has water flowing toward the existing house. Overall, water retention on the property is a major issue.
- Sump pump runs non-stop and already failed once last fall causing basement to flood. Damage caused to water heater and other items requiring costly repairs.

Demolition of Structures

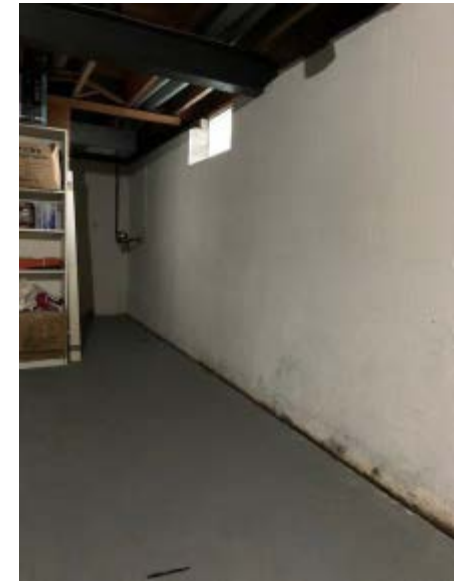
Current Condition: (cont.)

- Roof will need to be replaced in the near future.
- Interior floor plan is not functional for modern living with a small kitchen and dining area.
- The existing house does not appear to fit in with the diverse architectural characteristics of the surrounding neighborhood.

Overall, the existing house is poorly constructed, uncomfortable, and not efficient in terms of energy use.

Demolition of Structures

Current Condition: (cont.)



Existing Condition
of Basement Walls
and Floor

Adjacent Buildings

South Main Street and Sunset Boulevard















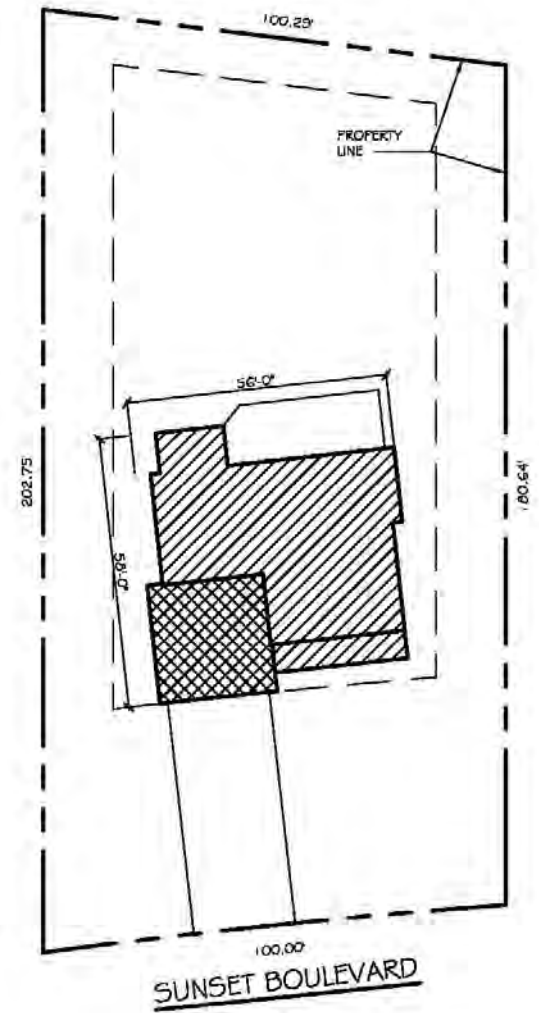
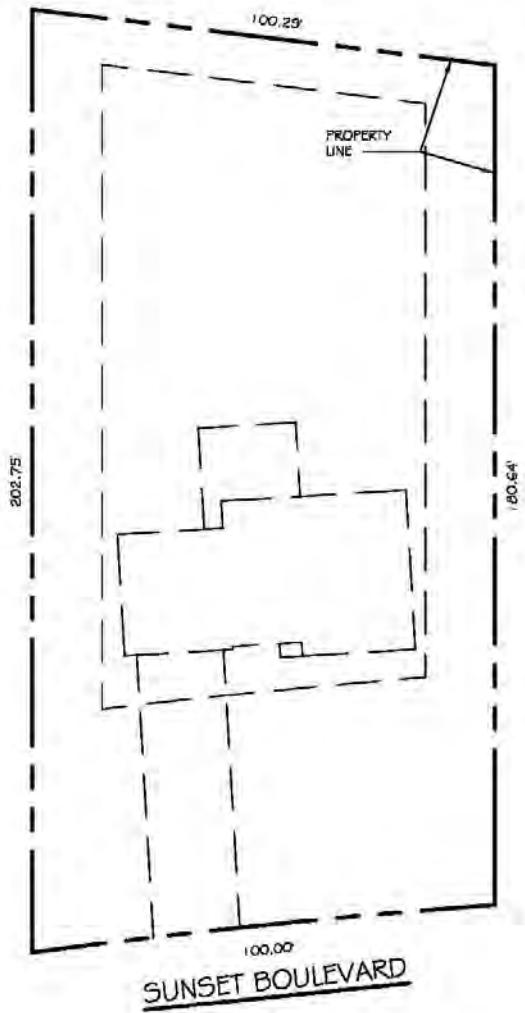




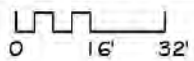


Proposed Residence

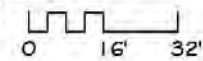
114 Sunset Boulevard



① SITE PLAN - EXISTING



② SITE PLAN - PROPOSED



36

102

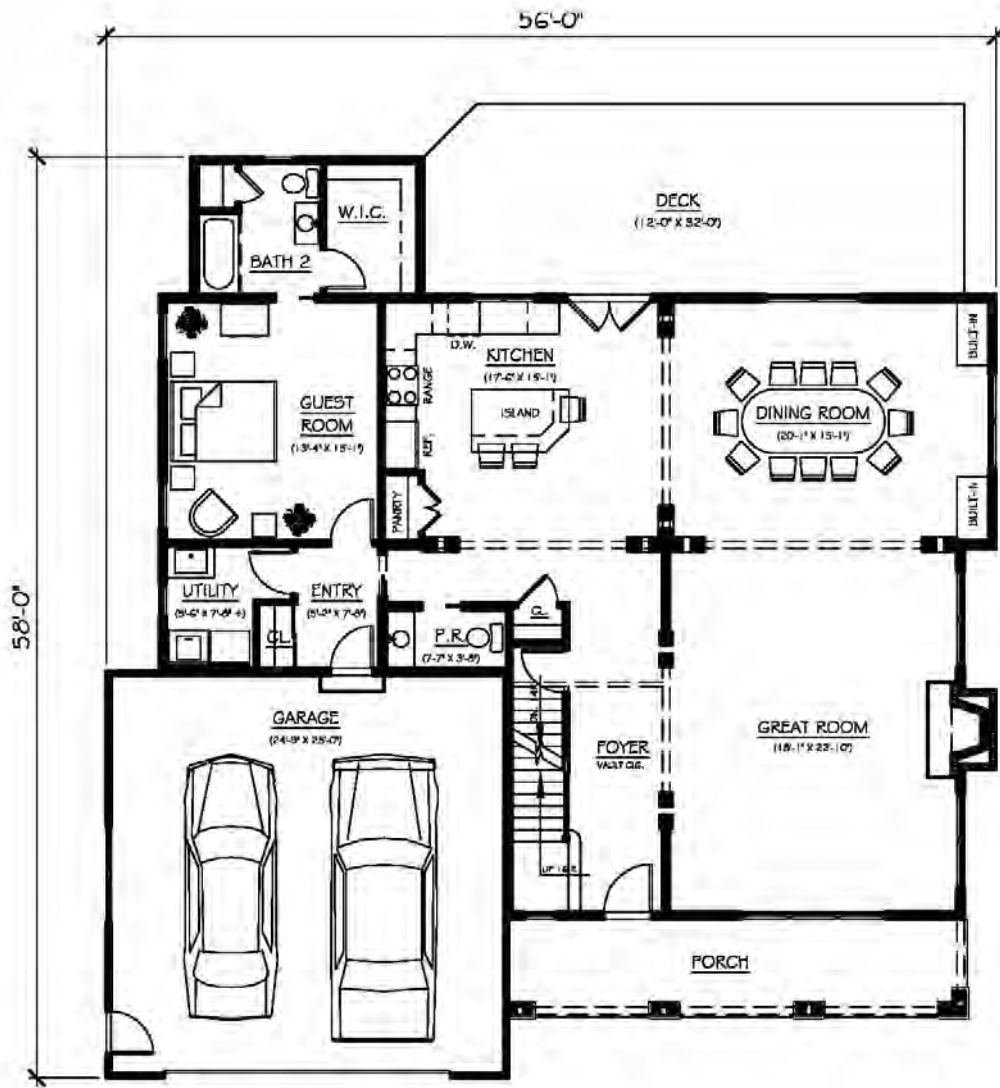
106

110

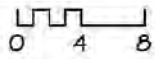
114

119

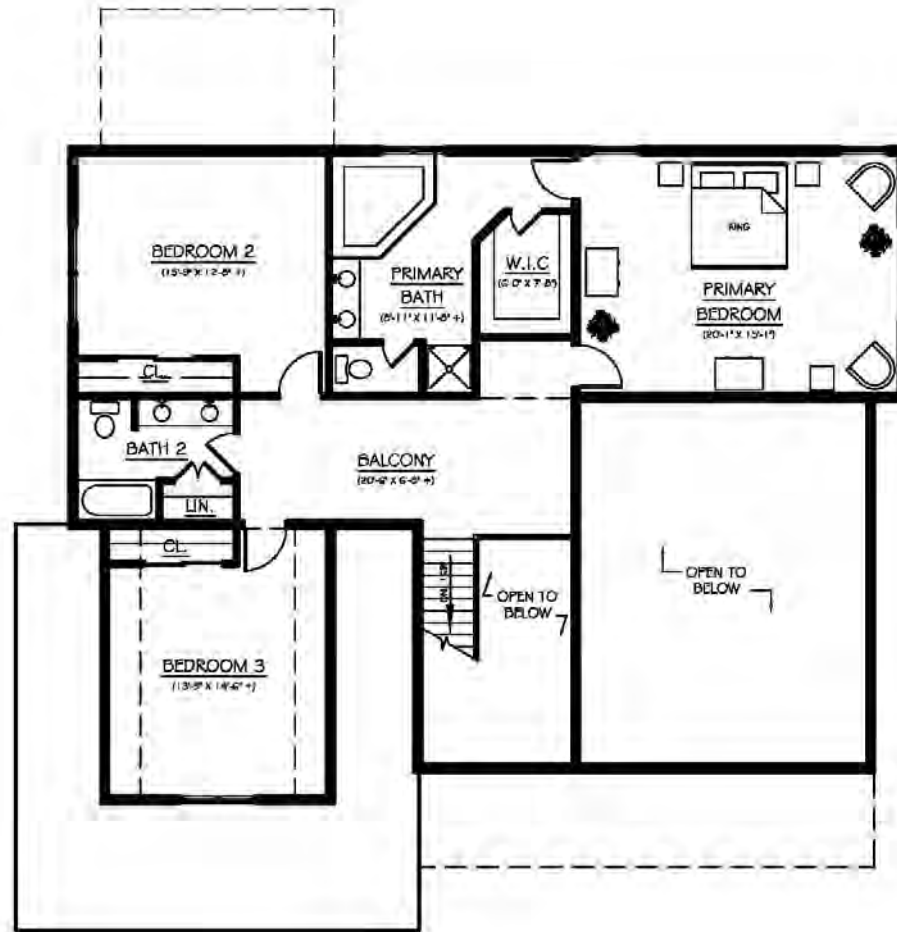




FIRST FLOOR PLAN

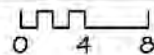


1,819 S.F.

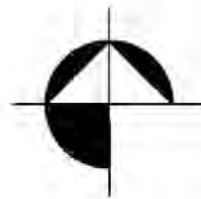


2

SECOND FLOOR PLAN

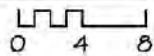


1,361 S.F.





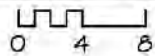
SOUTH ELEVATION



3,180 S.F.

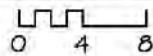


② EAST ELEVATION



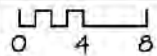


3 NORTH ELEVATION





④ WEST ELEVATION









Stormwater Control

Scope of Work:

Control stormwater runoff on site to prevent soil saturation around the foundation and damage to the proposed foundation.

- Slope surface to grade away from the house.
- If space is available on the site, install swales to capture, control, and filter stormwater runoff, allowing it to percolate into the soil on site. Swales should have a 3-to-1 width-to-height ratio, a slope along the longitudinal channel of 2% to 4%, and be large enough to accommodate the volume of runoff from a 6-month, 24-hour storm event.
- If space on site is found to be limited, install drains to collect and direct water via underground French drains to drywells.