

**Design Review & Historic Preservation Board
Agenda
January 26, 2023**

HISTORIC PRESERVATION DISCUSSION

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATION FOR REVIEW

- **24 Beech Road**
The Applicant is requesting design review for the construction of an approximately 700 SF garage/mudroom addition off the side of the house.

- **8 Arbor Creek Drive**
The Applicant is requesting design review for the addition of an oversized accessory structure/pavilion.

COMMERICAL APPLICATION FOR REVIEW - NEW

- **3025 Monroe Avenue – Ellie Mental Health**
The Applicant has requested design review for the addition of a business identification sign. The sign will identify the business "Ellie Mental Health".

RESIDENTIAL DEMOLITION APPLICATION – PRELIMINARY REVIEW

- **114 Sunset Boulevard**

Design Review and Historic Preservation Board
Minutes
January 12, 2023

PRESENT

Dirk Schneider, Chairman; Bonnie Salem, Paul Whitbeck, John Mitchell, Jim Vekasy

ALSO PRESENT

Cathy Koshykar, Town Board liaison; Robert Koegel, Town Attorney; Anthony Caruso, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

David Wigg, Vice Chairman; Kathleen Cristman

HISTORIC PRESERVATION DISCUSSION

Bonnie Salem discussed the reception for homeowners of inventoried properties. She has spoken to the Spiegel Center scheduler about reserving a date of May 4th. A letter that was prepared for a previous reception which was cancelled due to the pandemic will be revised and sent to homeowners. Dirk Schneider will speak to his contact at the Landmark Society about speaking. Homeowners of designated properties will also be asked to speak.

RESIDENTIAL APPLICATION FOR REVIEW

- **354 Canfield Road**

The Applicant is returning to request design review for the construction of a 1472 SF oversized over height accessory structure/Garage.

The homeowner, Dean Smith, was present.

Mr. Smith indicated that the structure cannot be seen from the road due to the heavily treed lot. More windows and an additional column have been added. The garage doors will be residential style with stepped in panels.

Paul Whitbeck moved to accept the application as resubmitted.

Dirk Schneider seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW - NEW

- **3340 Monroe Avenue – Scott Miller**

The Applicant has requested design review for the addition of 2 business identification signs. The building signs will be approximately 160 square feet. The signs meet zoning and will identify the businesses "MAC" & "Scott Miller".

Jim Columbo of Skylight Signs was present.

Mr. Columbo indicated the "MAC" sign will be smaller than the original. They have worked with the Town staff to ensure the total signage meets code.

John Mitchell moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.

- **3349 Monroe Avenue – Stretch Lab**

The Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 31 square feet. The sign will identify the business "Stretch Lab".

Paul Nardosi, a representative for Stretch Lab, was present.

The application request is for a branded identification sign above the store front and adhesive sign on the entrance door.

The overhead sign will be illuminated at night.

Bonnie Salem moved to accept the sign plan for two signs as submitted.

John Mitchell seconded.

All Ayes.

REVIEW OF MINUTES OF DECEMBER 8, 2022, MEETING

Bonnie Salem moved to accept the minutes of the December 8, 2022 meeting as written.

John Mitchell seconded.

All Ayes.

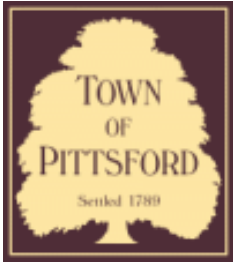
ADJOURNMENT

Dirk Schneider moved to close the meeting at 6:25 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B23-000006

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 24 Beech Road PITTSFORD, NY 14534

Tax ID Number: 150.20-2-49

Zoning District: RN Residential Neighborhood

Owner: Olsen, Katherine A

Applicant: Jennifer Raynor

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of approximately a 700SF garage/mudroom addition off the side of the house.

Meeting Date: January 26, 2023

Pittsford, New York

Google

Street View - Jun 2022



Google

Pittsford, New York
Google
Street View - Jun 2022

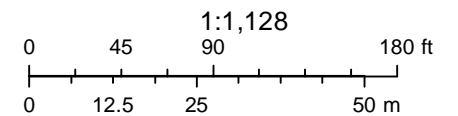


Google

RN Residential Neighborhood Zoning



Printed January 18, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



4

10

12

23

14

16

NOTES

- (1) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.
- (2) THE 2020 CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (3) THE 2020 ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.
- (4) BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.
- (5) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER. (MFR)
- (6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- (7) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS IF ANY, ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.
- (8) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.
- (9) ALLOWABLE STRESSES OF MATERIALS: (THE WEATHERING POTENTIAL FOR CONCRETE IS ASSUMED TO BE SEVERE. SEE FIGURE R301.2(4))
 - A) CONCRETE (R402.2) - MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI =
 - FOOTINGS: 2500 PSI
 - BASEMENT SLABS: 2800 PSI (W/ FIBER REIN. ADDITIVE, OPTIONAL)
 - GARAGE & PORCH SLABS: 3500 PSI (AIR-ENTRAINED)
 - BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED) WHERE EXPOSED TO WEATHER
 - B) POURED CONC. SHALL BE PROTECTED FROM FREEZE/THAW DURING CONSTRUCTION, OR AIR ENTRAINED CONC. MUST BE USED. (TABLE R402.2, NOTE 2)
 - C) STRUCTURAL STEEL TO BE ASTM - A36
 - D) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FB) WITH REPETITIVE MEMBER USE OF 1150 P.S.I. (HEM FIR #2 OR BETTER).
- (10) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT, DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R101-R106 AS APPLICABLE.
- (11) SETTINGS THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R403.1.1.3 OF THE CODE.
- (12) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS. (SEE SECTION R314)
- (13) GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R303.4 OF THE 2020 CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R 303.9. DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELIGHTS (SEE SECTION R303.4 FOR ADDITIONAL HAZARDOUS LOCATIONS).
- (14) DESIGN CRITERIA:
 - A) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
 - B) SLEEPING ROOMS = 30 PSF LIVE LOAD
 - C) GROUND SNOW LOAD = 40 PSF (FIG R501.2(6))
 - D) WIND SPEED - 40 MPH EXPOSURE B
 - E) SEISMIC DESIGN CATEGORY - A OR B - R301.2(2)
 - F) WEATHERING - SEVERE
 - G) FROST LINE DEPTH - 42"
 - H) TERMITES DAMAGE - CONTACT LOCAL JURISDICTION
 - I) DECAY DAMAGE - NONE TO SLIGHT
 - J) WINTER DESIGN TEMPERATURE - (-) DEGREE
 - K) ICE BARRIER IS REQUIRED
 - L) ROOF TIE-DOWN REQUIREMENTS - R302.11 (BASED UPON SPECIFIC ROOF DESIGN)
 - M) ENERGY COMPLIANCE DETAILS AND PATH - N101.13
- (15) FOOTINGS TO BEAR ON FIRM LEVEL, UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL.
- (16) DRAWING ALTERATION: THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 145, SECTION 1204 AND APPLIES TO THESE DRAWINGS. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS/HER SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."
- (17) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M107 OF THE CODE.
- (18) "CODE" SHALL MEAN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, "ENERGY CONSERVATION CODE" OR "ENERGY CODE" SHALL MEAN CHAPTER II OF THE CODE.
- (19) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.

ENERGY CONSERVATION, CHAPTER II, ENERGY EFFICIENCY

- 1. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION N104
- 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERINGS TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION N102.4.5
- 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION N105.1.1
- 4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION N103.3.2.
- 5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-3. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION N103.5
- 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION N102.2.4
- 7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURER'S INSTRUCTIONS AND CRITERIA LISTED IN SECTIONS N102.4.1 THROUGH N102.4.6.
- 8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR, CONDUCT TEST ACCORDING TO ASTM E1191 OR ASTM E1821 OR NET/ICC 560 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. COMPLY WITH N102.4.1.2.
- 9. THE CONTRACTORS AND SUB-CONTRACTORS SHALL BE FAMILIAR WITH THE ENERGY CODE AND EXPERIENCED IN PERFORMING WORK THAT COMPLIES WITH ALL ASPECTS OF THE ENERGY CODE. THESE NOTES ARE NOT INTENDED TO BE ALL INCLUSIVE.

RAYNOR RESIDENCE
24 BEECH ROAD PITTSFORD, NEW YORK

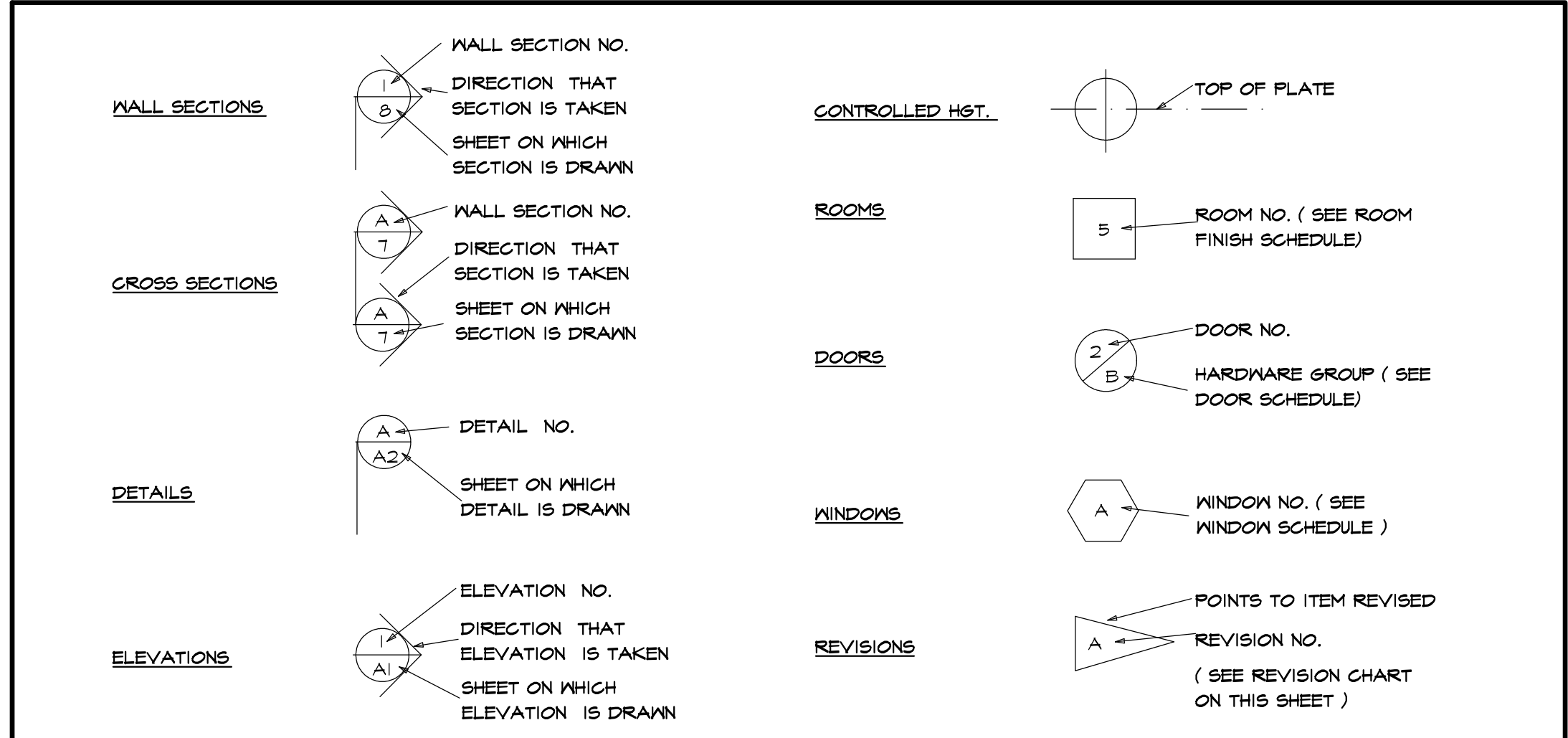


CARINI
ENGINEERING
DESIGNS, P.C.
STEVEN L. CARINI, P.E.
1387 FAIRPORT ROAD
SUITE #560
FAIRPORT, NY 14450-2002
PH. (585) 223-6420
www.carinidesigns.com

Also doing business as
DWELL
@theFingerLakes
LIVE WELL. DO WELL.
61 NORTH MAIN STREET
CANANDAIGUA, NY 14424
PH. 585-223-5687

Use of this plan indicates understanding and agreement with the following:
Carini Engineering Designs, P.C. has not been retained for construction observation or administration and assumes no responsibility for field changes, contractor methods, material selections, product performance or warranty, code or document compliance or safety during construction.
It is a violation of Section 7209 (2) of the Education Law for any person, unless acting under the direction of a licensed Engineer to alter any item in these documents in any way. Any licensee who alters these documents is required by law to affix his/her seal and signature and date with notification "altered by" followed by a specific description of changes made.
The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any added notes by others. Our liability is limited to the amount of the fee paid.
These plans are instruments of service for the construction of one building only and are not to be copied in any form without the express written permission of Carini Engineering Designs, P.C. The plans & ideas represented on this sheet are copyrighted and violators of this copyright will be prosecuted.
The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.
These plans comply with the 2020 code.
© COPYRIGHT 2023

SYMBOLS



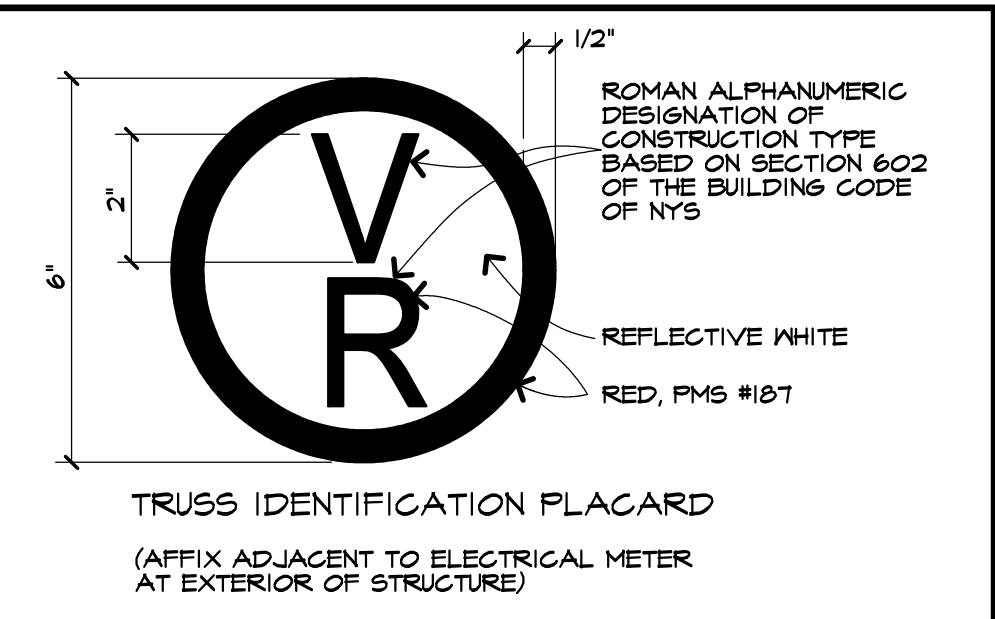
ABBREVIATIONS

APPROX	-APPROXIMATE	FT (')	-FOOT	OPNG	-OPENING
@	-AND	FTG	-FOOTING	O/A	-OVERALL
BM	-BEAM	FDN	-FOUNDATION	O.H.D	-OVERHEAD DOOR
BLK	-BLOCK	GYP	-GYPSUM	O/ HANG	-OVERHANG
BD	-BOARD	HND'CP	-HANDICAP	O/	-OVER
BLDS	-BUILDING	HST	-HEIGHT	O.P.T	-OPTIONAL
BTR	-BUTTER	HN	-HOT WATER	P.D.R	-POWDER ROOM
CLS	-CELLING	HDR	-HEADER	PSF	-POUNDS PER SQ. FT.
CL	-CENTERLINE	IN (")	-INCH	PSI	-POUNDS PER SQ. IN.
COL	-COLUMN	INCL	-INCLUDE	P.T.	-PRESSURE TREATED
CONC	-CONCRETE	INFO	-INFORMATION	PLY'WD	-PLYWOOD
CONT	-CONTINUOUS	ID	-INSIDE DIAMETER	REQD	-REQUIRED
COMM	-COMMERCIAL	INSUL	-INSULATION	RM	-ROOM
CRS	-COURSES	INT	-INTERIOR	RES	-RESIDENTIAL
DL	-DEAD LOAD	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	R/S	-RISERS
DIA	-DIAMETER	JT	-JOINT	RD & SH	-ROD & SHELF
DBL	-DOUBLE	JSTS	-JOISTS	S	-SOUTH
DN	-DOWN	LT	-LIGHT	SKY'LT	-SKYLIGHT
DWS	-DRAWING	LL	-LIVE LOAD	SH	-SHELF
DIM	-DIMENSION	MFR	-MANUFACTURER	SHS	-SHELVES
ELEC	-ELECTRIC	MAX	-MAXIMUM	STOR	-STORAGE
EXP	-EXPANSION	MECH	-MECHANICAL	STL	-STEEL
EXT	-EXTERIOR	MTL	-METAL	SUSP	-SUSPENDED
FT (')	-FEET	MTL	-METAL	SYN	-SYNTHETIC
FIN	-FINISH	MIN	-MINIMUM	T/S	-TREADS
FLR	-FLOOR	MISC	-MISCELLANEOUS	(TYP)	-TYPICAL
I ST	-FIRST	N	-NORTH	T&G	-TONGUE & GROOVE
FLUOR	-FLUORESCENT	NTS	-NOT TO SCALE	W	-WITH
		NO	-NUMBER	W/O	-WITHOUT

TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC 400.



ENERGY CODE COMPLIANCE PATH:

THIS PROJECT IS DESIGNED TO COMPLY WITH THE "PRESCRIPTIVE" ENERGY CODE COMPLIANCE REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND COMPONENTS, NECESSARY AND IN A MANNER TO COMPLY WITH THE "PRESCRIPTIVE" REQUIREMENTS SECTION N102 OF THE 2020 ENERGY CODE.

CLIMATE ZONE 5A	MINIMUM R -	MAXIMUM U VALUES FROM TABLE N102.1.2
FENESTRATION	MAX U VALUE = 0.30	
SKYLIGHTS	MAX U VALUE = 0.35	
CEILING	MIN R VALUE = 44	
WOOD FRAMED WALLS	MIN R VALUE = 20	
FLOOR	MIN R VALUE = 30	
BASEMENT WALLS	MIN R VALUE = 15 (CONTINUOUS)	

CLIMATE ZONE 5A	EQUIVALENT U-FACTORS FROM TABLE N102.1.4
CEILING	U-FACTOR = .026 OR MIN R VALUE = 38
U-VALUE & R-VALUE CONVERSION (U=1/R) AND (R=1/U)	

N102.2.1 CEILING WITH ATTIC SPACES. WHERE SECTION N102.1.2 WOULD REQUIRE R-44 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-44 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION N102.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION N102.1.5.

REVIEW COPY
NOT FOR
CONSTRUCTION

Revisions

Project
RAYNOR ADDITION

Client
Ken Jones design & remodeling

Job Location
24 BEECH ROAD
PITTSFORD, NEW YORK

Drawing Title
COVER SHEET & NOTES

Drawn TJM | **Checked By**

Date NOVEMBER, 2022

Job No. 38691

Sheet
1 of 6

Use of this plan indicates understanding and agreement with the following:
Carini Engineering Designs, P.C. has not been retained for construction observation or administration and assumes no responsibility for field changes, contractor methods, material selections, product performance or warranty, code or document compliance or safety during construction.

It is a violation of Section 7209 (2) of the Education Law for any person, unless acting under the direction of a licensed Engineer to alter any item in these documents in any way. Any licensee who alters these documents is required by law to affix his/her seal and signature and site with notification "altered by" followed by a specific description of changes made.

The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any added notes by others. Our liability is limited to the amount of the fee paid.

These plans are instruments of service for the construction of one building only and are not to be copied in any form without the express written permission of Carini Engineering Designs, P.C. The plans & ideas represented on this sheet are copyrighted and violators of this copyright will be prosecuted.

The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.

These plans comply with the 2020 code.

© COPYRIGHT 2023

REVIEW COPY
NOT FOR
CONSTRUCTION

Revisions

Project

RAYNOR ADDITION

Client

Ken Jones™
design & remodeling

Job Location

24 BEECH ROAD
PITTSFORD, NEW YORK

Drawing Title

ELEVATIONS

Drawn

TJM

Checked By

Date

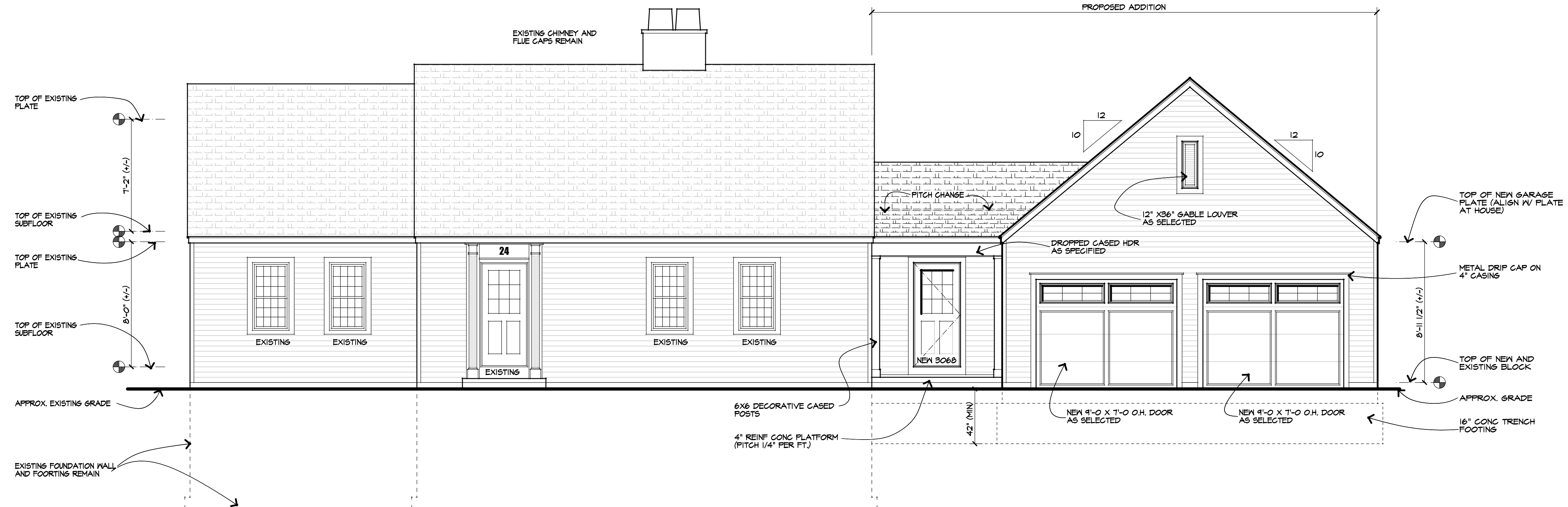
NOVEMBER, 2022

Job No.

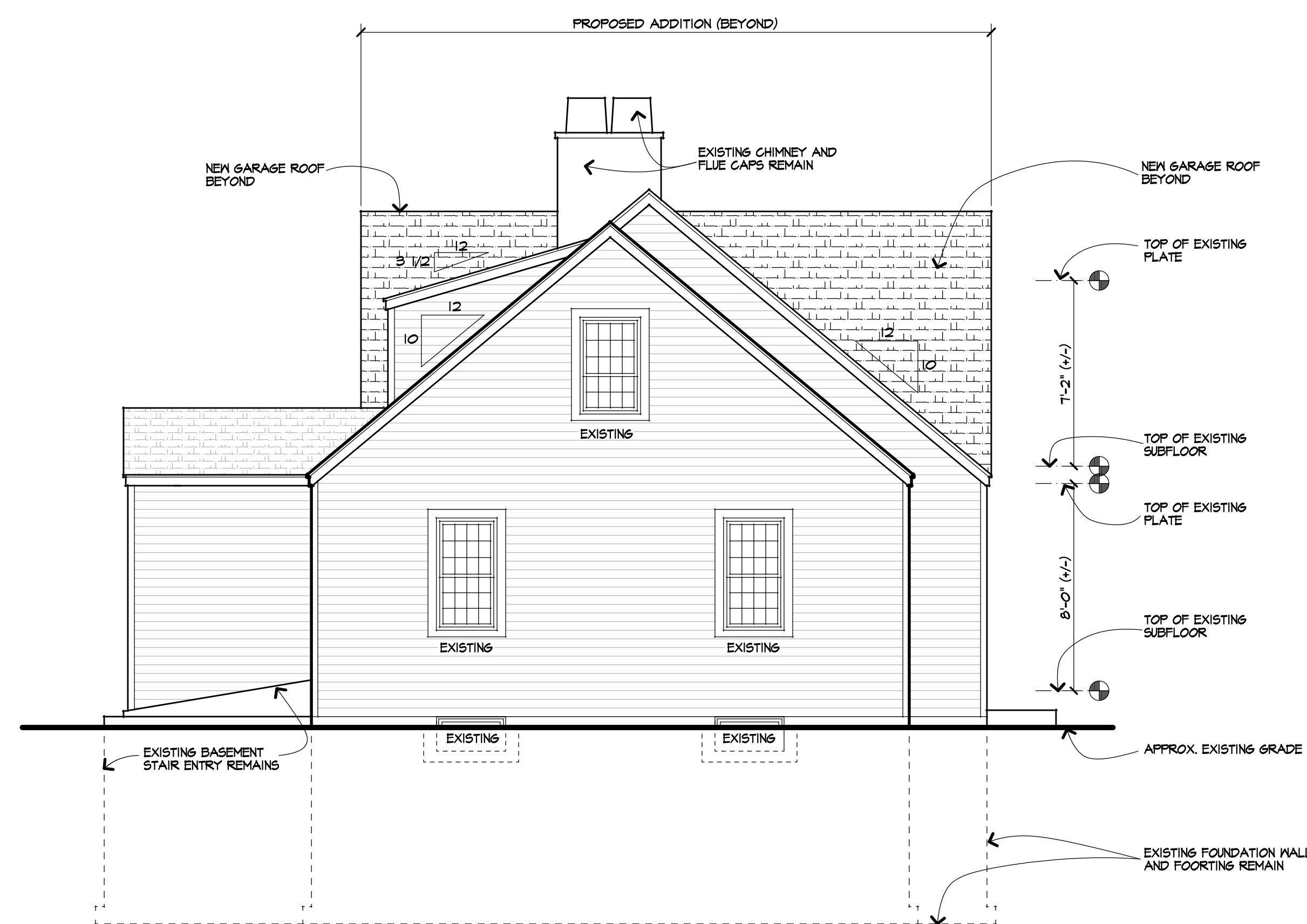
38691

Sheet

2 of 6



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

UNLESS OTHERWISE NOTED	
ROOFING: ASPHALT / FIBERGLASS SHINGLES AS SELTD	
ROOF VENTING: ONE SQ.FT NET PER 300 SQ. FT. ATTIC SPACE (PER EXCEPTION IN R806.2 OF THE CODE.)	
FACIA: MATCH EXISTING	
FRIEZEBOARDS: MATCH EXISTING	
CORNERBOARDS: MATCH EXISTING	
CASINGS: MATCH EXISTING	
SIDING: MATCH EXISTING	
EAVE O/HANGS: NO EAVE OVERHANG	
RAKE O/HANGS: NO RAKE OVERHANG	
FOOTING DEPTH: 3'-6" BELOW GRADE	
PLATE HEIGHT:	
FIRST FLOOR: 8'-0" (+/-)	
SECOND FLOOR: 7'-2" (+/-)	
WINDOW R.O. HEIGHT:	
FIRST FLOOR: 6'-10 1/2"	
SECOND FLOOR: 6'-10 1/2"	
WINDOW MFR: "ANDERSEN 400" LOW E	

Use of this plan indicates understanding and agreement with the following:
Carini Engineering Designs, P.C. has not been retained for construction observation or administration and assumes no responsibility for field changes, contractor methods, material selections, product performance or warranty, code or document compliance or safety during construction.

It is a violation of Section 7209 (2) of the Education Law for any person, unless acting under the direction of a licensed Engineer to alter any item in these documents in any way. Any licensee who alters these documents is required by law to affix his/her seal and signature and date with notification "altered by" followed by a specific description of changes made.

The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any added seals by others. Our liability is limited to the amount of the fee paid.

These plans are instruments of service for the construction of one building only and are not to be copied in any form without the express written permission of Carini Engineering Designs, P.C. The plans & ideas represented on this sheet are copyrighted and violators of this copyright will be prosecuted.

The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.

These plans comply with the 2020 code.

© COPYRIGHT 2023

REVIEW COPY
NOT FOR
CONSTRUCTION

Revisions

Project

RAYNOR ADDITION

Client

Ken Jones™
design & remodeling

Job Location

24 BEECH ROAD
PITTSFORD, NEW YORK

Drawing Title

ELEVATIONS

Drawn

TJM

Checked By

Date

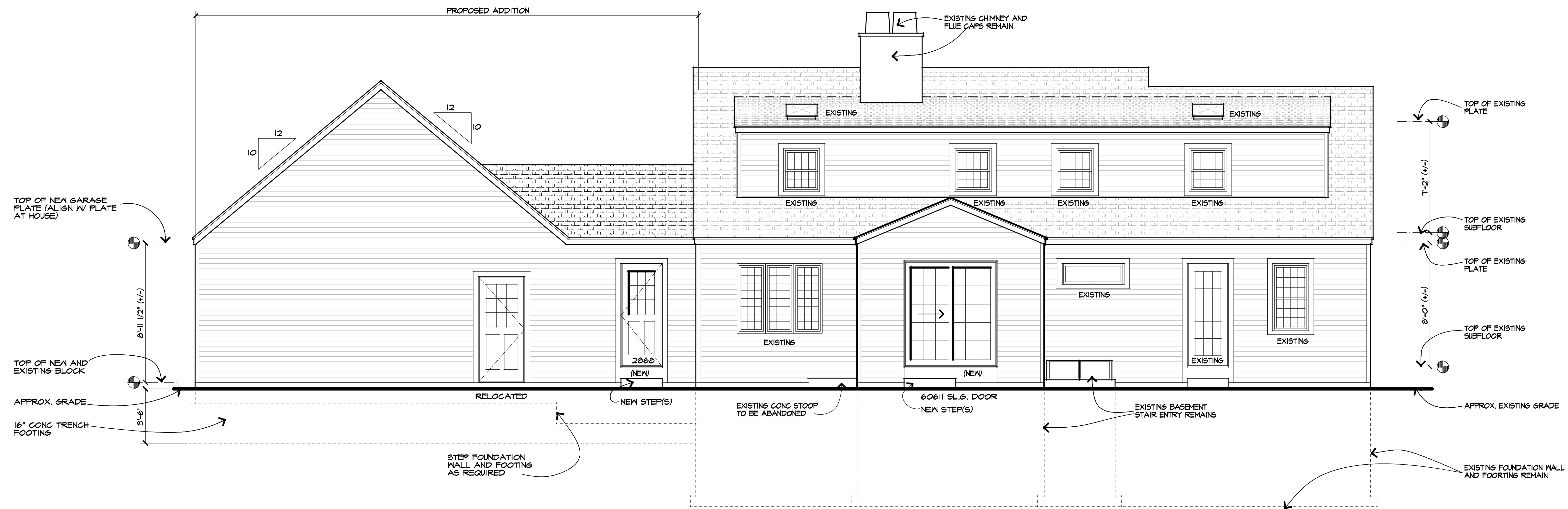
NOVEMBER, 2022

Job No.

38691

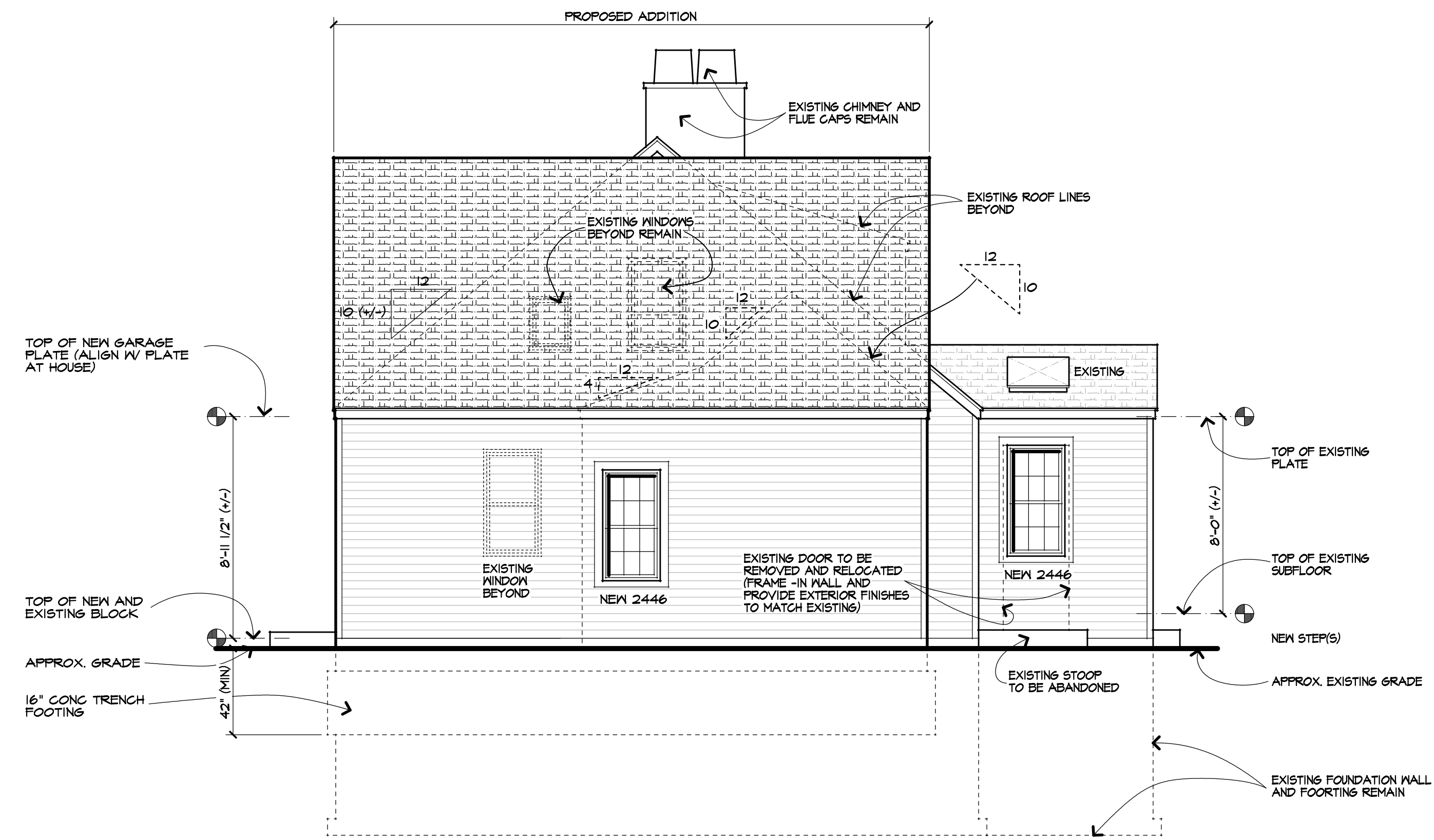
Sheet

3 of 6



PROPOSED
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

UNLESS OTHERWISE NOTED	
ROOFING:	ASPHALT / FIBERGLASS SHINGLES AS SELTD
ROOF VENTING:	ONE SQ.FT NET PER 300 SQ. FT. ATTIC SPACE (PER EXCEPTION IN R806.2 OF THE CODE)
FACIA:	MATCH EXISTING
FRIZEBOARDS:	
CORNERBOARDS:	
CASINGS:	
SIDING:	
EAVE O/HANGS:	NO EAVE OVERHANG
RAKE O/HANGS:	NO RAKE OVERHANG
FOOTING DEPTH:	3'-6" BELOW GRADE
PLATE HEIGHT:	
FIRST FLOOR:	8'-0" (+/-)
SECOND FLOOR:	7'-2" (+/-)
WINDOW R.O. HEIGHT:	
FIRST FLOOR:	6'-10 1/2"
SECOND FLOOR:	6'-10 1/2"
WINDOW MFR.	" ANDERSEN 400" LOW E



PROPOSED
EAST ELEVATION
SCALE: 1/4" = 1'-0"

Use of this plan indicates understanding and agreement with the following:

Carini Engineering Designs, P.C. has not been retained for construction observation or administration and assumes no responsibility for field changes, contractor methods, material selections, product performance or warranty, code or document compliance or safety during construction.

It is a violation of Section 7209 (2) of the Education Law for any person, unless acting under the direction of a licensed Engineer to alter any item in these documents in any way. Any licensee who alters these documents is required by law to affix his/her seal and signature and date with notification "altered by" followed by a specific description of changes made.

The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any added notes by others. Our liability is limited to the amount of the fee paid.

These plans are instruments of service for the construction of one building only and are not to be copied in any form without the express written permission of Carini Engineering Designs, P.C. The plans & ideas represented on this sheet are copyrighted and violators of this copyright will be prosecuted.

The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes. These plans comply with the 2020 code.

© COPYRIGHT 2023

REVIEW COPY
NOT FOR
CONSTRUCTION

Revisions

Project

RAYNOR ADDITION

Client

Ken Jones™
design & remodeling

Job Location

24 BEECH ROAD
PITTSFORD, NEW YORK

Drawing Title

FIRST FLOOR PLAN

Drawn

TJM

Checked By

Date

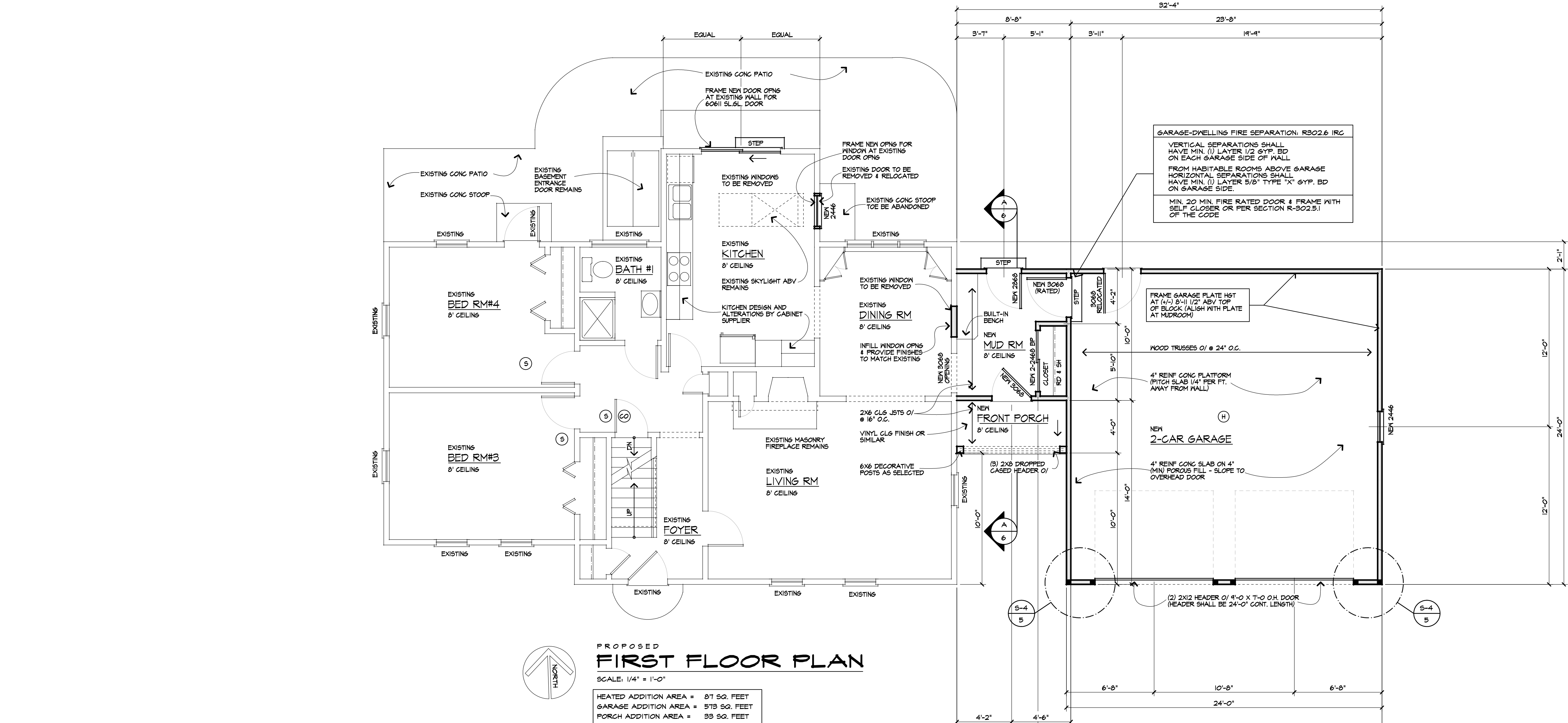
NOVEMBER, 2022

Job No.

38691

Sheet

5 of 6



CONTRACTOR SHALL INSTALL SMOKE, HEAT & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 915 OF THE FIRE CODE.

(S) : SMOKE DETECTOR
(H) : HEAT DETECTOR
(CO) : CARBON MONOXIDE DETECTOR

R314.2 HEAT DETECTOR SHALL BE LOCATED CENTRALLY IN THE ATTACHED GARAGE.

R314.3 SMOKE DETECTOR LOCATION SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

R314.4 INTERCONNECTION - EXCEPTION: INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.

R315.3 CARBON MONOXIDE ALARM LOCATIONS OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

R315.4 & R315.6.4 COMBINATION ALARMS, COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.

HEADER SCHEDULE
UNLESS OTHERWISE NOTED

OPENINGS	2X6 WALL	2X4 WALL
UP TO 5'-0"	(3) 2X6	(2) 2X6
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X10
8'-0"	(3) 2X12	(2) 2X12

NOTE:
PROVIDE (2) 1/2" PLYWD GUSSETS - 2X6 WALL
PROVIDE (1) 1/2" PLYWD GUSSET-2X4 WALL

WALL LEGEND

- 2X4 STUDS AT 16" O.C.
- 2X6 STUDS AT 16" O.C.
- EXISTING WALL TO REMAIN
- PROVIDE (3) STUDS SOLID WHERE SHOWN

UNLESS OTHERWISE NOTED ON PLAN, FIRST FLOOR PLATE HEIGHT SHALL BE 8'-0" (1/2" MATCH EXISTING) ABOVE TOP OF SUBFLOOR.

DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER.

CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES.

ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DURAPLY (OR EQUAL) FINISH

AT UNDERSIDE, FULL DEPTH RIN JOIST, AND SOLID BLOCKING AT SUPPORT WALL.

INSTALL MID-SPAN CROSS BRIDGINGS AT FLOOR JOIST SPANS UP TO 14'-0" & INSTALL CROSS BRIDGINGS AT 1/3 POINTS FOR SPANS OVER 14'-0"

INSTALL HANDRAIL & GUARDS

AT STAIR PER SECTIONS R311.1.8-R311.2.2 AND R-912 OF THE CODE

LVL AND TJI PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN 'E' = 2,000,000)

3/4" MAX STEP AT EGRESS DOOR(S) ON THE EXTERIOR SIDE FROM THE THRESHOLD TO THE LANDING OR FLOOR PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR PER EXCEPTION SECTION R311.3.1 OF THE IRC & 7 3/4" MAX STEP FROM THRESHOLD TO THE LANDING OR FLOOR ON ALL OTHER EXTERIOR DOORS PER SECTION R311.3.2 OF THE CODE

PER R312 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2. WINDOW MANUFACTURER/SUPPLIER & CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMITY

Use of this plan indicates understanding and agreement with the following:

Carini Engineering Designs, P.C. has not been retained for construction observation or administration and assumes no responsibility for field changes, contractor methods, material selections, product performance or warranty, code or document compliance or safety during construction.

It is a violation of Section 7209 (2) of the Education Law for any person, unless acting under the direction of a licensed Engineer to alter any item in these documents in any way. Any licensee who alters these documents is required by law to affix his/her seal and signature and date with notification "altered by" followed by a specific description of changes made.

The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any added notes by others. Our liability is limited to the amount of the fee paid.

These plans are instruments of service for the construction of one building only and are not to be copied in any form without the express written permission of Carini Engineering Designs, P.C. The plans & ideas represented on this sheet are copyrighted and violators of this copyright will be prosecuted.

The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to this office before the start of construction. Written dimensions always have precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.

These plans comply with the 2020 code.

© COPYRIGHT 2023

REVIEW COPY
NOT FOR
CONSTRUCTION

Revisions

Project

RAYNOR ADDITION

Client

Ken Jones™
design & remodeling

Job Location

24 BEECH ROAD
PITTSFORD, NEW YORK

Drawing Title

SECOND FLOOR & ROOF PLAN

Drawn

TJM

Checked By

Date

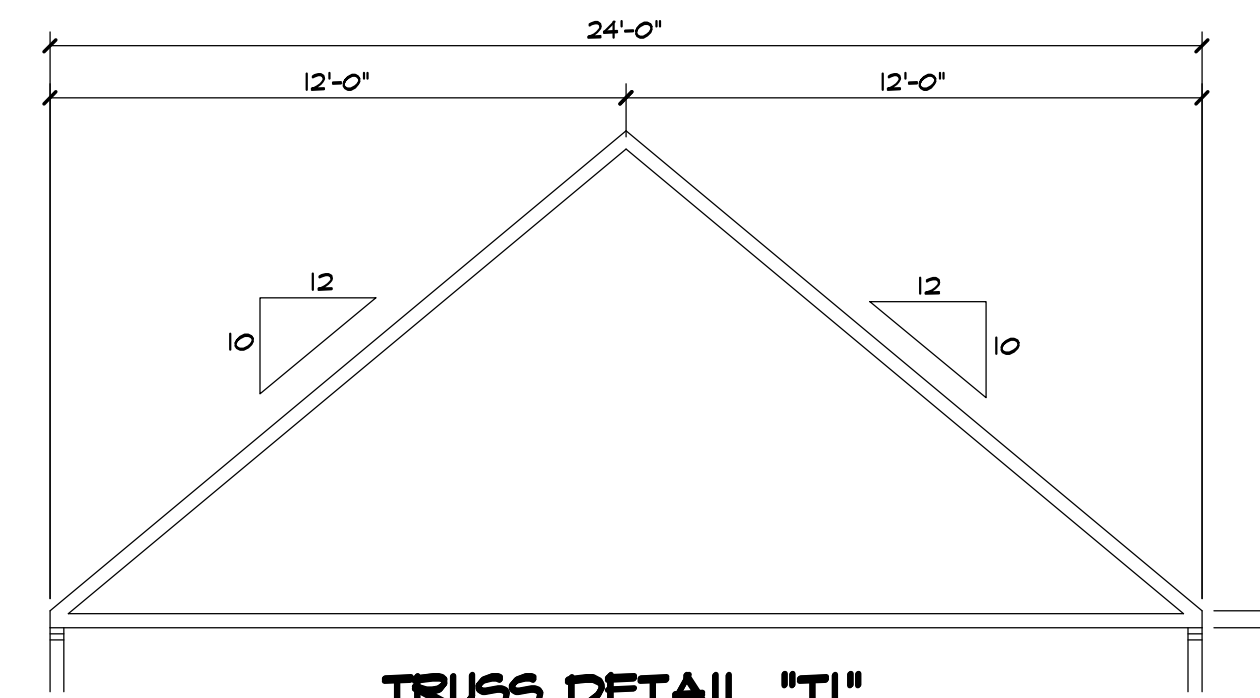
NOVEMBER, 2022

Job No.

38691

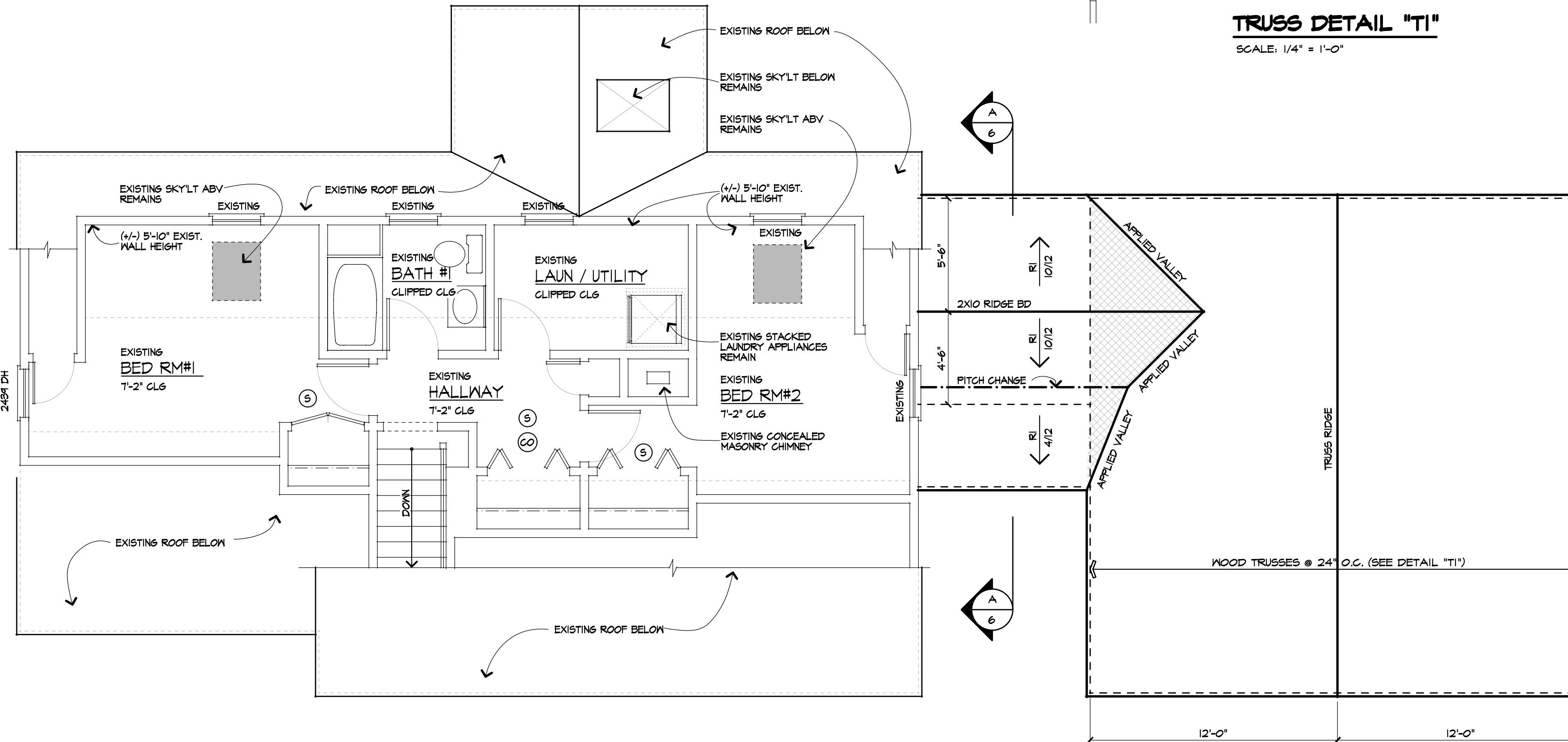
Sheet

6 of 6



TRUSS DETAIL "T1"

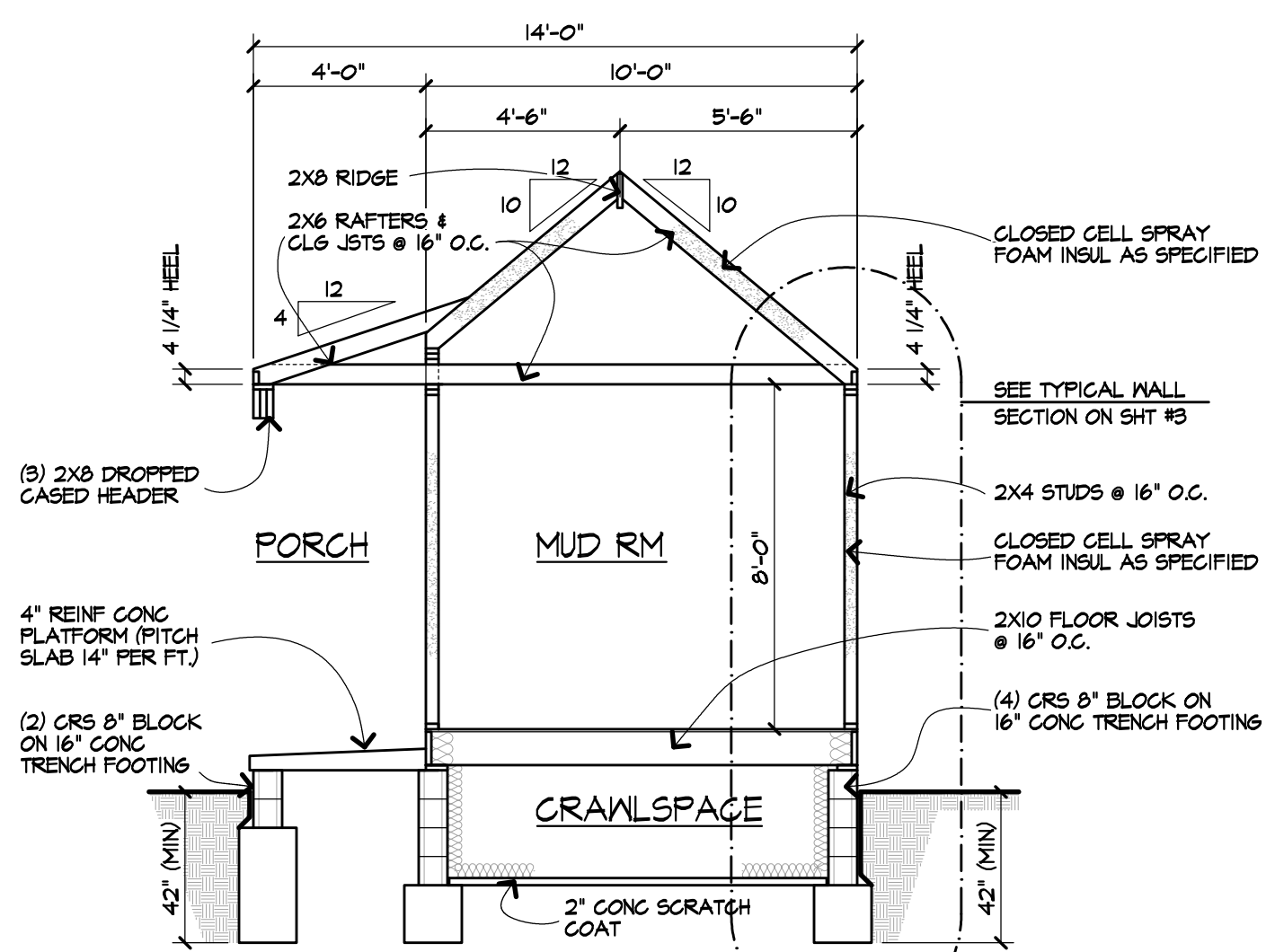
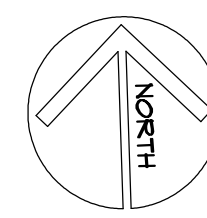
SCALE: 1/4" = 1'-0"



**PROPOSED
SECOND FLOOR & ROOF PLAN**

SCALE: 1/4" = 1'-0"

HEATED ADDITION AREA = 308 SQ. FEET



TYPICAL WALL SECTION

SCALE: 1/4" = 1'-0"

- CONTRACTOR SHALL INSTALL SMOKE, HEAT & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 915 OF THE FIRE CODE.
- (S) : SMOKE DETECTOR
- (CO) : CARBON MONOXIDE DETECTOR

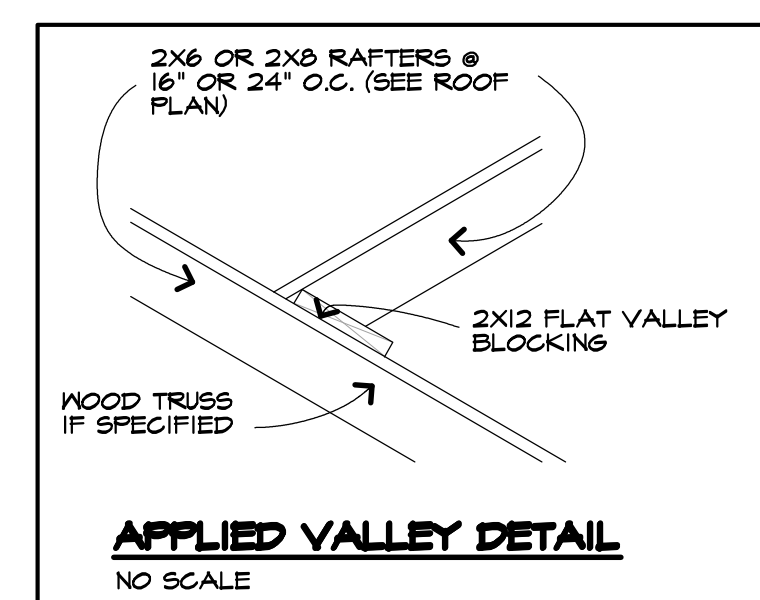
R314.2 HEAT DETECTOR SHALL BE LOCATED CENTRALLY IN THE ATTACHED GARAGE.

R314.3 SMOKE DETECTOR LOCATION
SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

R314.4 INTERCONNECTION - EXCEPTION
INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.

R315.3 CARBON MONOXIDE ALARM LOCATIONS
OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

R315.4 & 915.6.4 COMBINATION ALARMS, COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.



APPLIED VALLEY DETAIL
NO SCALE

UNLESS NOTED OTHERWISE

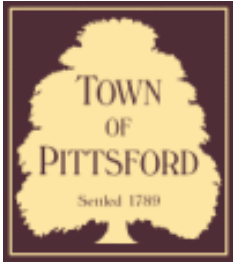
RI → 2X6 RAFTERS AT 24" O.C. WITH PITCH NOTED

THERE ARE NO EAVE OR RAKE OVERHANGS
CONTRACTOR SHALL MATCH EXISTING

TRUSS LAYOUT, DESIGN, AND ENGINEERING TO BE PROVIDED BY TRUSS MFR

WOOD TRUSSES SHALL CONFORM TO R202.10 OF THE CODE

INSTALL ICE BARRIER ON ROOF TO COMPLY WITH SECTION R405.1.2 OF THE CODE



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA22-000286

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 8 arbor creek ,
Tax ID Number:
Zoning District:
Owner:
Applicant: Josh Lawn Care & Landscaping Co.

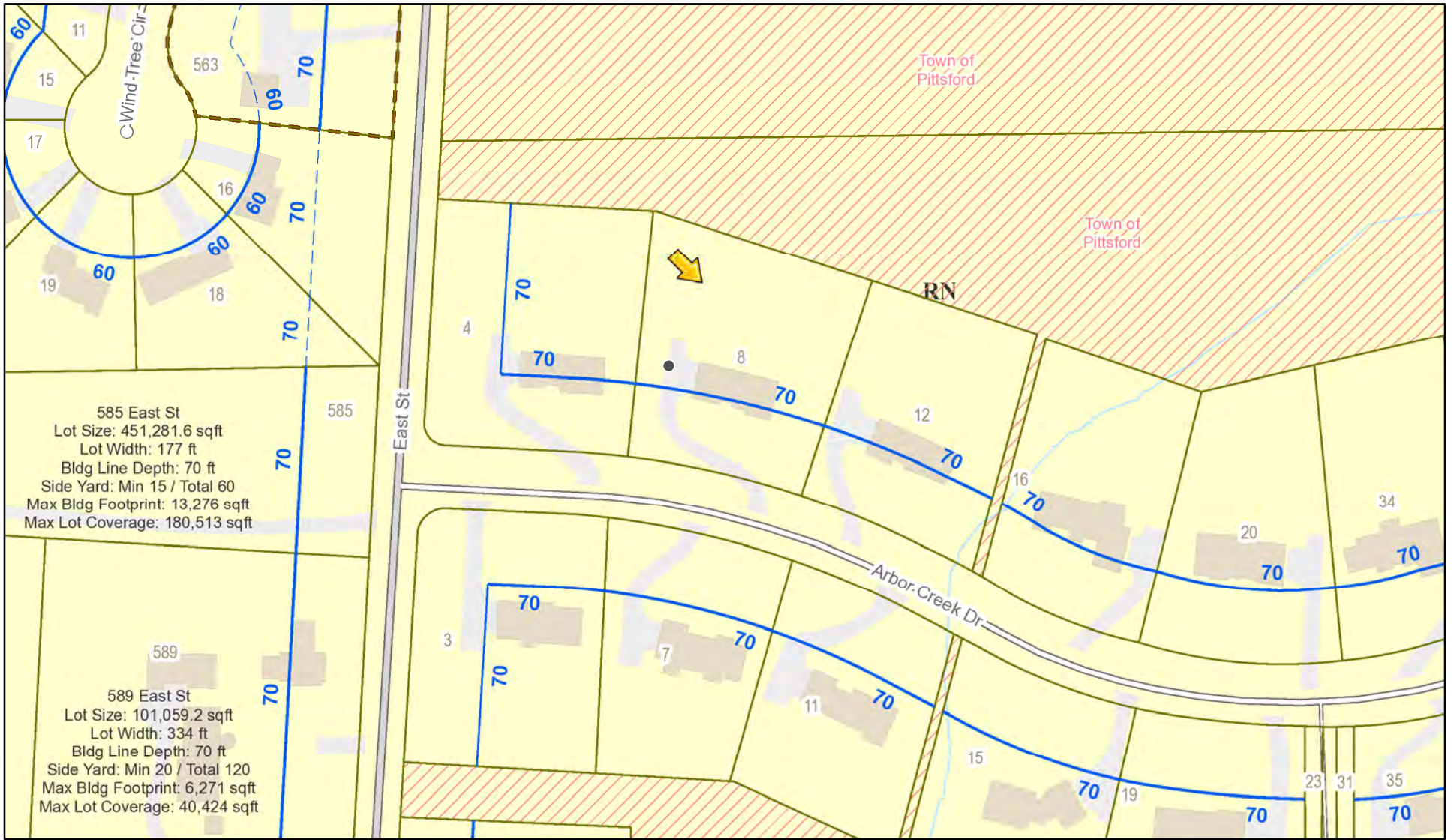
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

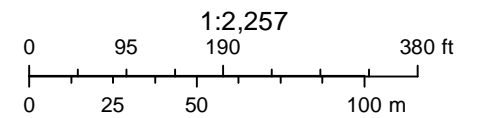
Project Description: Applicant is requesting design review for the addition of an oversized accessory structure/pavilion.

Meeting Date: January 26, 2023

RN Residential Neighborhood Zoning



Printed January 13, 2023



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



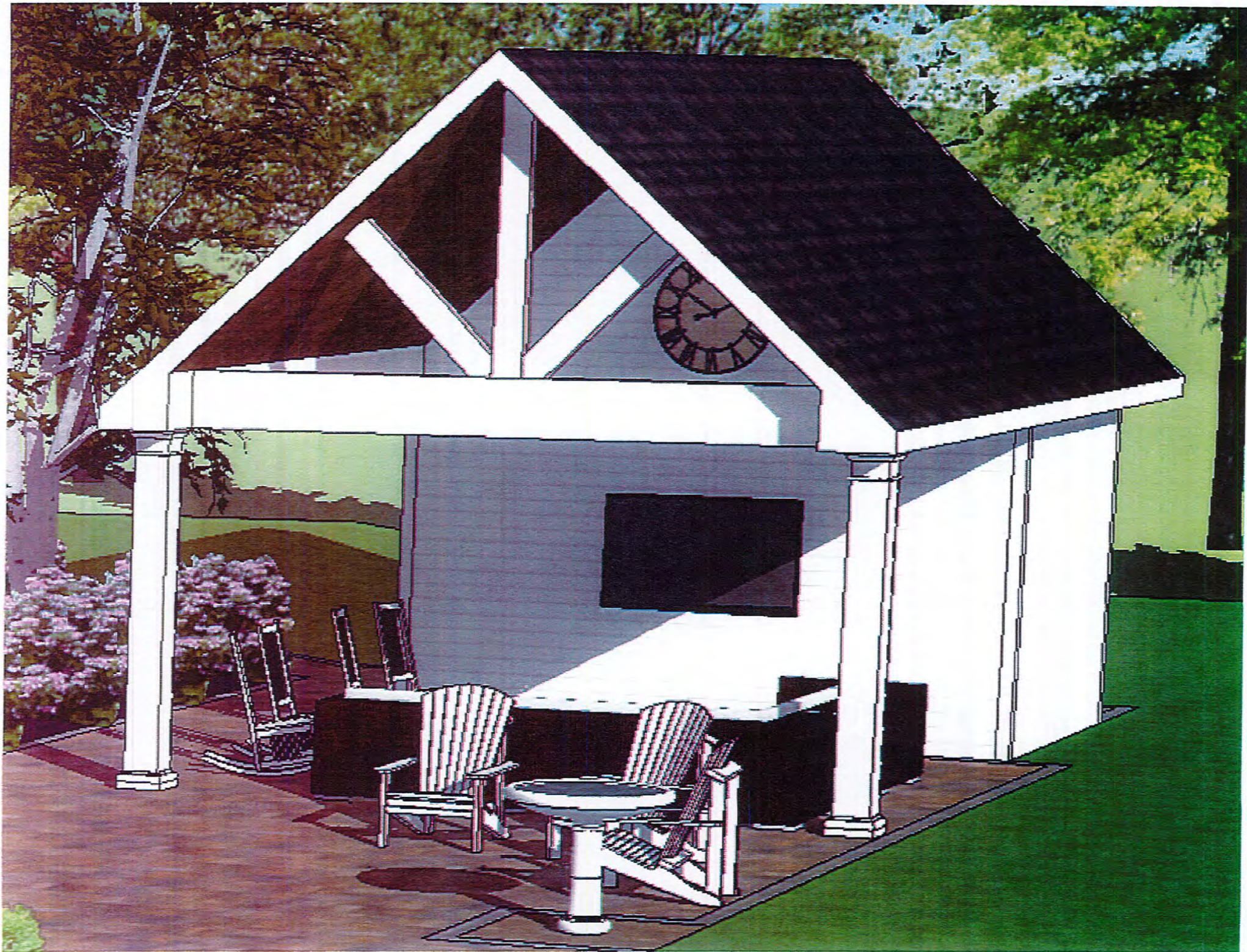
4

8

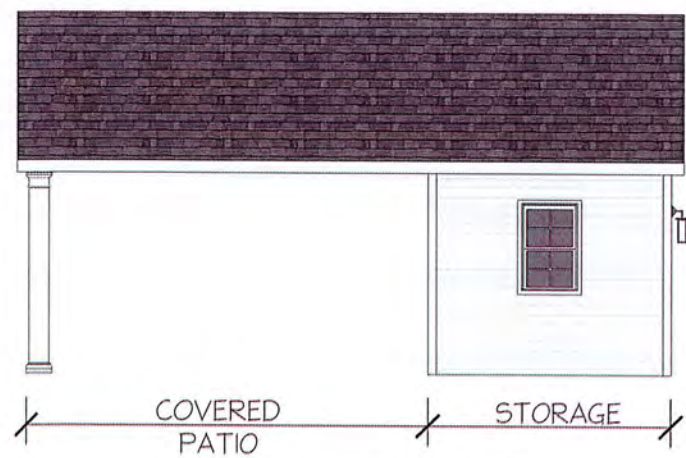
12

7

11

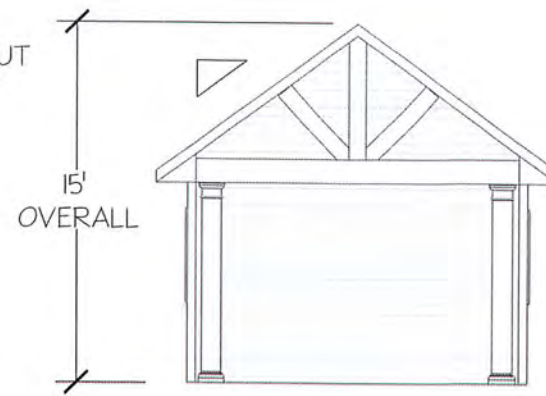






SOUTH ELEVATION
SCALE: 1/8" = 1'-00"

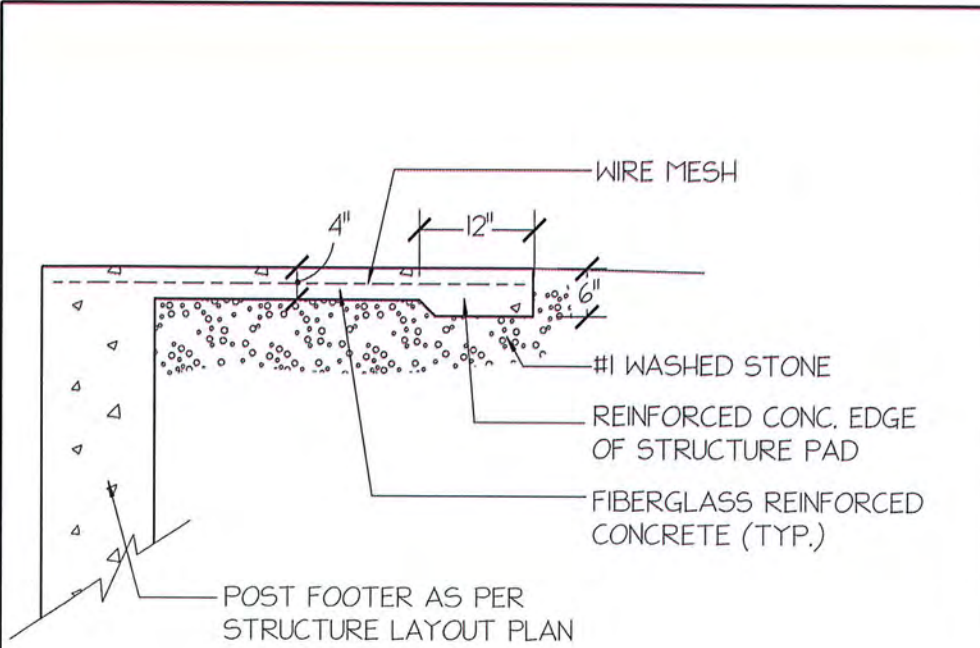
NOTE: NORTH ELEVATION MIRRORS SOUTH.



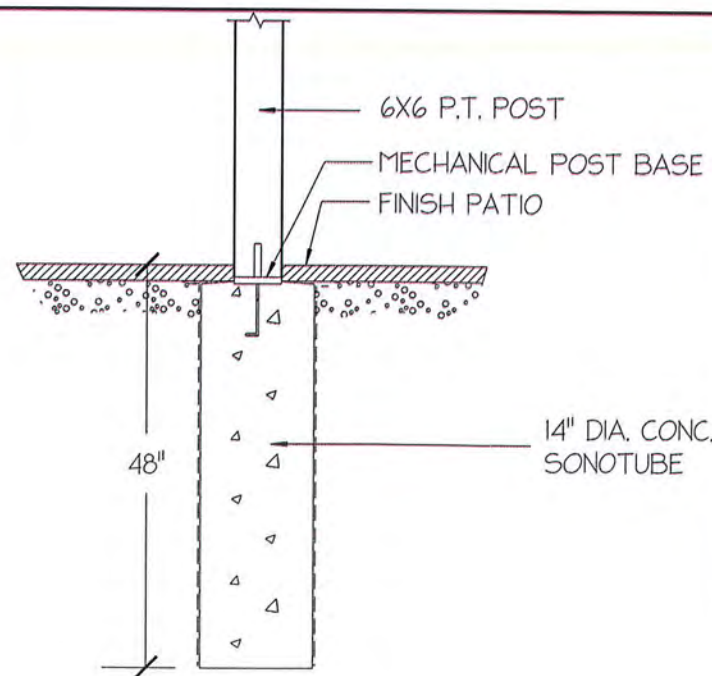
WEST ELEVATION
SCALE: 1/8" = 1'-00"



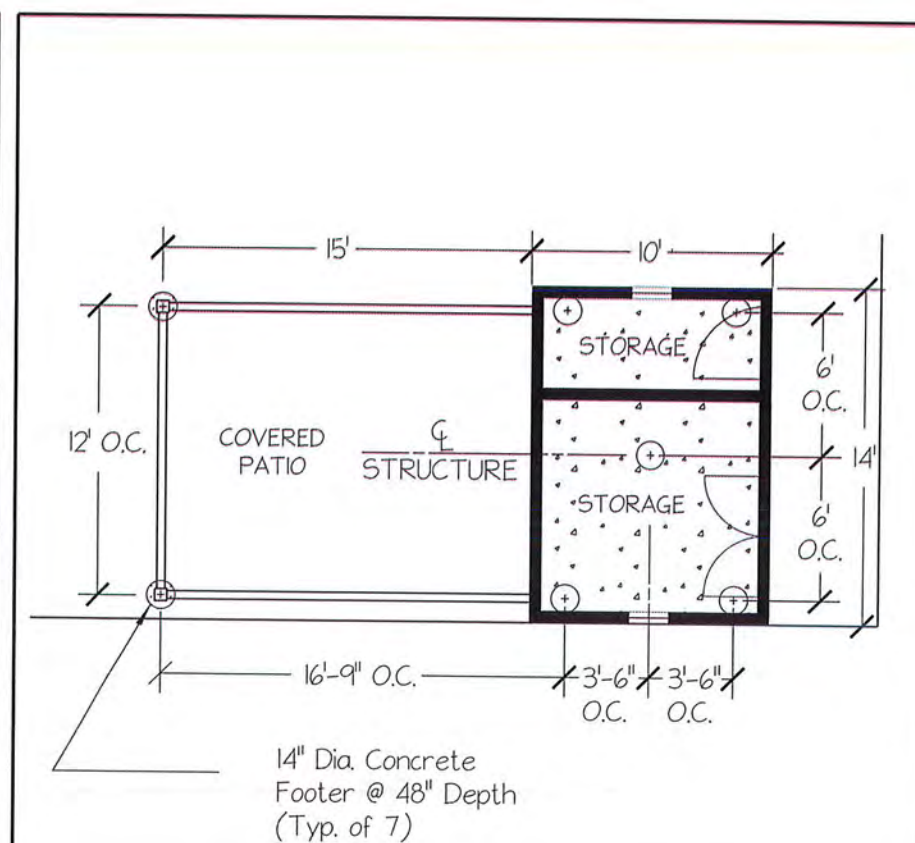
EAST ELEVATION
SCALE: 1/8" = 1'-00"



SLAB FOOTER DETAIL
SCALE: 1/2" = 1'-00"



POST FOOTER DETAIL
SCALE: 1/2" = 1'-00"



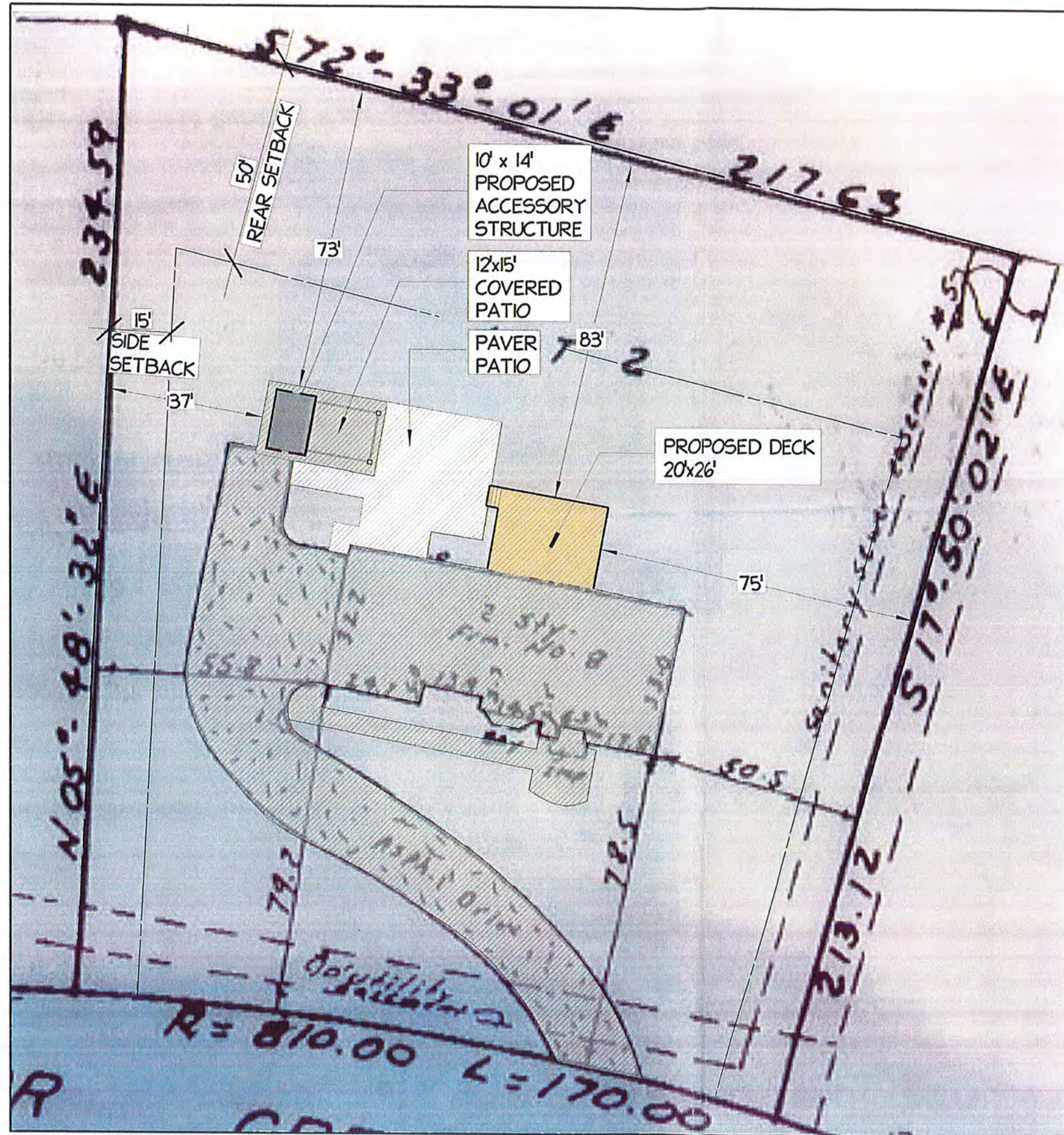
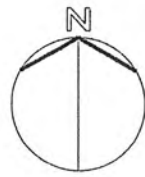
STRUCTURE LAYOUT PLAN
SCALE: 1/8" = 1'-00"

CLIENT: _____
SCALE: AS SHOWN
ISSUE DATE: 12/16/2022
DRAWN BY: DBC
CHECKED BY: MV

NORTH: _____

STRUCTURE PLAN

DRAWING NAME: _____



LOT COVERAGE PLAN	
TOTAL LOT SIZE:	43,281 SF
IMPERVIOUS COVER:	9,384 SF
	21.68% IMP. COVER



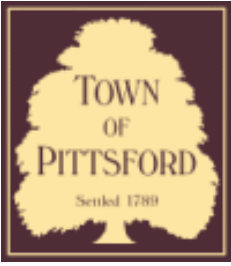
JOSH LANDSCAPE CO.
106 WEST MAIN STREET
HONEOYE FALLS, NY
OFFICE: 585.582.1212
WWW.JOSHLANDSCAPE.COM

SHEFFIELD
8 ARBOR CREEK DR.
PITTSFORD NY

CLIENT:
SCALE: 1" = 30'
ISSUE DATE: 12/07/2022
DRAWN BY: DEC
CHECKED BY: MV

**SETBACK
&
LOT COVERAGE**

DRAWING NAME:



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S23-000002

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3001 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.08-1-71.1

Zoning District: C Commercial

Owner: Monroe Clover Plaza LLC

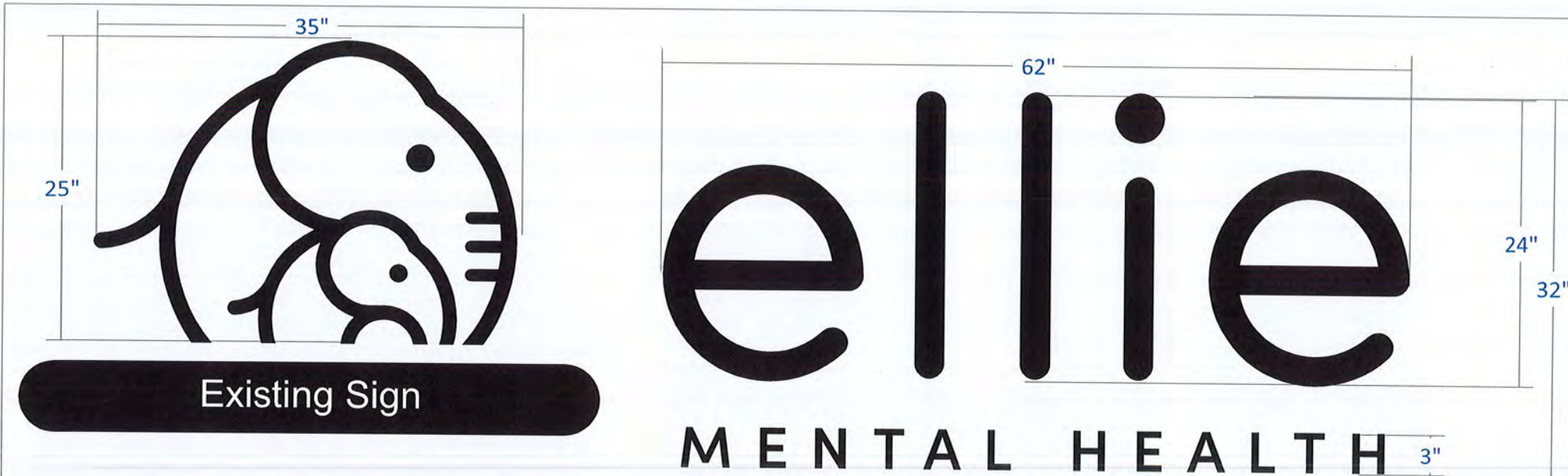
Applicant: Skylight Signs

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant has requested design review for the addition of a business identification sign. The sign will identify the business "Ellie Mental Health".

Meeting Date: January 26, 2023



Type of sign/s	Flat cut out letters
Date	12/19/2022
Customer Name	Ellie Mental Health
Address	SpringHouse Commons Monroe Ave.
Sign Location	Rochester, NY

This original, conceptual, and or shop drawing has been created by SKYLIGHT SIGNS INC.

It is submitted for use within the above stated organization ONLY and/or other parties necessary to make signage decisions.

This drawing is not to be shown, e-mailed or transmitted in anyway to anyone outside of your organization, nor is it to be used, reproduced or exhibited in any way, without expressed written consent.

This custom artwork is for representational purposes only. Colors will not exactly match the paint or materials to be used.

ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC. UNLESS OTHERWISE STATED

skylight signs inc.
 60 Industrial Park Circle
 Rochester NY 14624
 Phone 585 594-2500
 Fax 585 594-2525

I have reviewed this drawing and accept it as shown. Any changes made to this drawing at any time will affect the contract price. Any and all changes to this drawing must be accompanied by written explanation and approved by both parties prior to production.

Customer Signature: _____

Date: _____

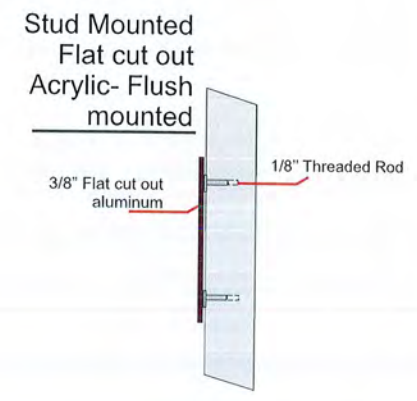
Landlord Signature: _____

Date: _____



Logo: 6.1 sq ft
 Text: 13.8 sq ft
 Total: 19.9 sq ft

Description:
 (1) set of Individual flat cut out 3/8" acrylic logo and letters to be stud mounted flush to existing panel.



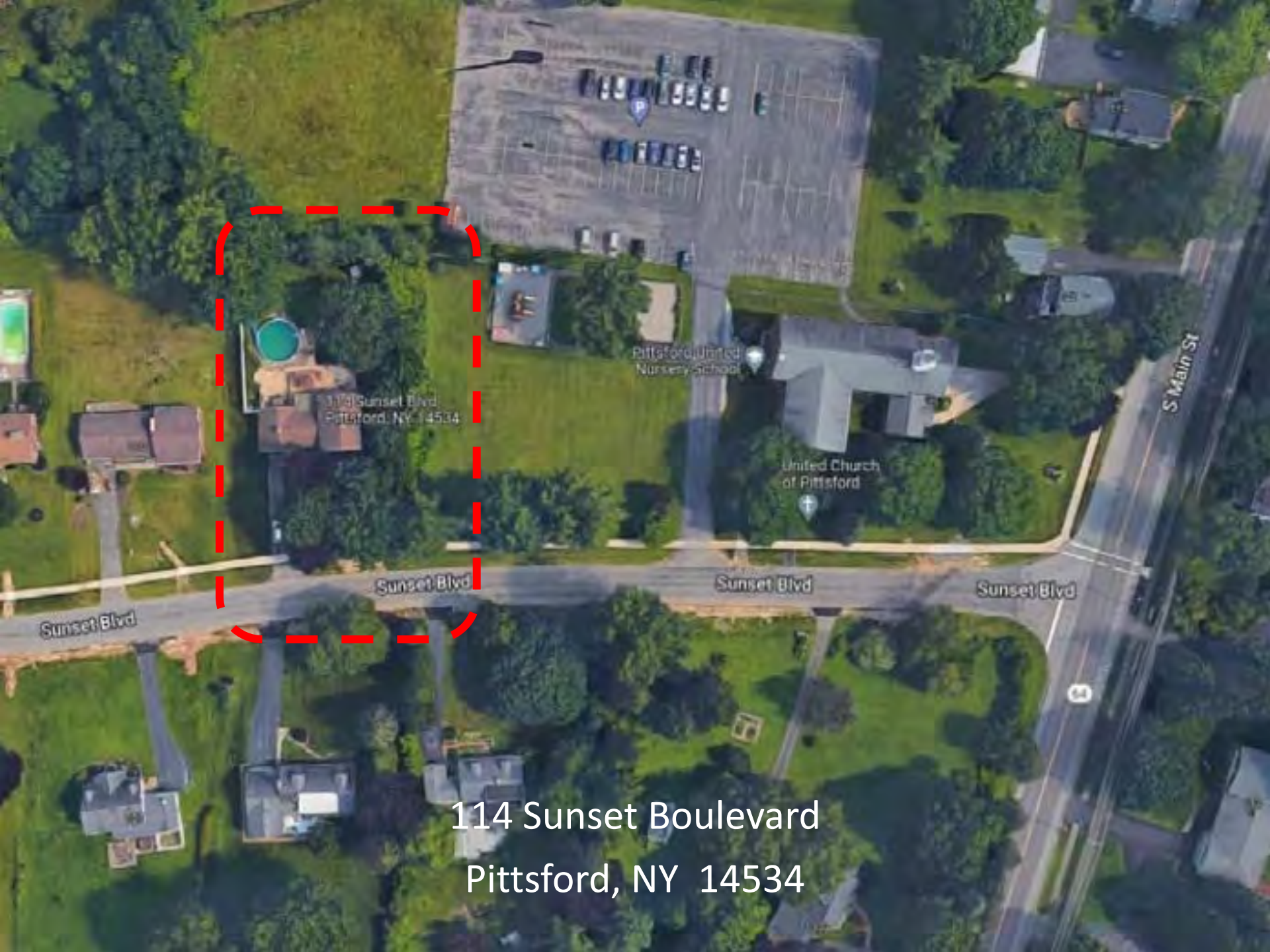
Proposed Residence

114 Sunset Boulevard
Pittsford, NY 14534



Design Review & Historic Preservation Board
Meeting: January 26, 2023

DEAN
ARCHITECT



114 Sunset Blvd
Pittsford, NY 14534

Pittsford United
Nursery School

United Church
of Pittsford

S Main St

Sunset Blvd

Sunset Blvd

Sunset Blvd

Sunset Blvd

114 Sunset Boulevard
Pittsford, NY 14534

APPLICATION FOR BUILDING PERMIT

INSTRUCTIONS

- A. This application must be filled in by typewriter or in ink and submitted to the Superintendent of Buildings.
- B. Two plot plans showing location of lot and of proposed and existing buildings on premises, relationship to adjoining premises, public streets or areas, and giving a detailed description of layout of property, with ALL measurements shown, must be submitted with this application.
- C. This application must be accompanied by TWO complete set of plans showing proposed construction. Plans shall describe the nature of the work to be performed, the materials and equipment to be used and installed and details of structure, mechanical, electrical and plumbing installations, sewage disposal and water drainage system.
- D. The work covered by this application cannot be commenced before the issuance of a Building Permit.
- E. Upon approval of this application, the Building Superintendent will issue a Building Permit to the applicant, together with approved set of plans. Such permit and approved plans shall be kept on the premises, available for inspection throughout the progress of the work.

APPLICATION IS HEREBY MADE for the issuance of a BUILDING PERMIT pursuant to the rules and regulations, that have been adopted by the Town of Pittsford, for the construction of buildings, additions or alterations, or removal, or demolition, as herein described. The OWNER will be held responsible for compliance with all applicable laws, ordinances and regulations.

LOCATION OF PREMISES:

Tract JEFFERSON HEIGHTS Lot No. R 4... Street SUNSET BLVD... House No. 114... Zoned A..

LOT SIZE: Front 100... ft. Rear 100... ft. Depth 200 APPROX... Area Sq. Feet.....

BUILDING: New ... Addition..... Alteration Repair..... Demolition.....

OWNER AND PRESENT ADDRESS ELMER J. PARENT, INC., E. ROCHESTER, N.Y...

NAME AND ADDRESS OF APPLICANT SAME.....

DWELLING .. MULTIPLE DWELLING..... GARAGE 2.... CARS, COMMERCIAL.....

INDUSTRIAL.....

ESTIMATED COST \$ 18,000.00...

FEE \$ 33.60.....

COMPLETED COST \$.....

DIMENSIONS OF NEW CONSTRUCTION: (As Per Plans Submitted)

Ground Floor Area 1120 sq. ft.

Type of Building Type III.....

Number of Stories 2.....

FOR ALTERATIONS AND ADDITIONS:

Dimensions of existing structures:

Front Rear..... Depth Height Number of Stories

Dimension of proposed additions:

Front Rear..... Depth..... Height Number of Stories

STATE OF NEW YORK }
COUNTY OF MONROE } ss:
TOWN OF PITTSFORD }

Subject to the provisions of the Town Building Code. All lot and setback stakes must be set and protected before construction is started.

E. J. Parent being duly sworn and says that he is the applicant above named. He is the owner, contractor, agent, and is duly authorized to perform the said work and to make and file this application; that all statements contained in this application are true to the best of his knowledge and belief, and that the work will be performed in the manner set forth in the application and in the plans filed herewith.

Sworn to before me
this 6 day of DEC, 1955.

ELMER J. PARENT, INC.

Elmer J. Parent, Jr.
.....
(Signature of Applicant)

a. R. Kassel
.....
Notary Public - Inspector.

BUILDING INSPECTOR'S REPORT

12/12/55

Building Permit No. 243 Owner Elmer J PARENT Agent E. J. PARENT
 Lot No. R-4 Tract Jefferson HGTS House No. 114 Street SUNSET Blvd.
 Bedrooms 4 Bathrooms _____ Laundry Sink Fire Place
 Interior _____ Outside _____ Roof Drainage, Dry Wall Well _____
 Storm Water Sewer _____ Surface _____
 Public Water System Well _____ Public Sewage System _____
 Storm Water System _____ Individual Sewage System
 Sump Pump _____ Basement Drainage _____ Inside Tile _____
 Outside Tile _____ Drainage to _____
 Building set back. Front 52' Rear _____ Side 19W, 19E

LOCATION

ZONE A

Setbacks OK

G.F.A 1120

1/10/56

400' 24" Trench

1 - 900 GAL TANK

1 - 500 " "

INSPECT & WATER TEST

Plumbing Inspection Date. (1) 2/13/56 (2) _____ (3) _____
 Sewage System " " (1) 6/8/56 (2) _____ (3) _____
 Plumbing and Sewage Systems Complete Date. 6/8/56
 Plumber BENGE Sewer System Installed by N. HIRSCH

REMARKS

Inspector A. R. Kassel

114 Sunset Boulevard

Minimum Requirements and Current Condition

Client: Vedrana Sarajlic and John Bell



A white garage with two doors, each featuring a transom window. The garage is attached to a larger house and has a gabled roof. A stack of logs is visible to the left of the garage.

A grey house with a brick chimney and a green door. The house has several windows with white shutters and is partially obscured by a large tree.

A blue truck, specifically a Nissan Titan, parked on the right side of the image. The text "TITAN V8" is visible on the side of the vehicle.



Demolition of Structures

Minimum Requirements:

- Tax Account No.: 164.100-04-023
- Age of Structure: 67 (Built 1956)
- Square Footage: 1,872
- Height: +/- 25'-0"
- Style: Vernacular
- Architect: Unknown
- Historical Interest: None

* Note: No existing drawings were found by the Building Department staff.

Demolition of Structures

Current Condition:

- Basement water retention in the gap between floor and wall forming black mold. Frequent spraying prolongs exposure to chemicals in addition to mold.
- Basement walls have holes drilled in them because of water retention issue and pressure on the walls.
- Basement plumbing poorly configured.
- Exterior wall insulation very thin, damaged, and inadequate all through the house.

Demolition of Structures

Current Condition: (cont.)

- Garage wall next to the house poorly constructed and not properly insulated.
- Grading is uneven, driveway and front of the house sloping toward the house instead of the other way.
- Five acres of adjacent church property has water flowing toward the existing house. Overall, water retention on the property is a major issue.
- Sump pump runs non-stop and already failed once last fall causing basement to flood. Damage caused to water heater and other items requiring costly repairs.

Demolition of Structures

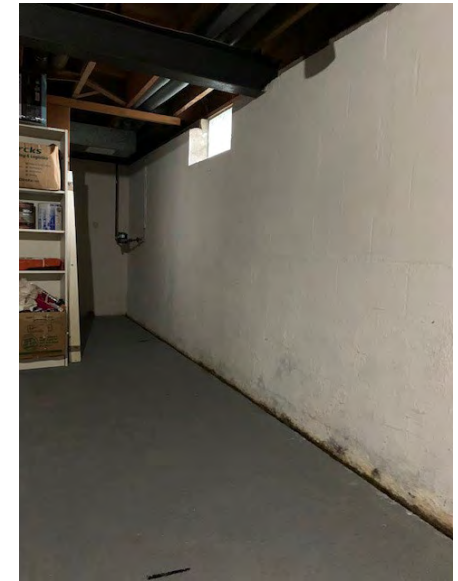
Current Condition: (cont.)

- Roof will need to be replaced in the near future.
- Interior floor plan is not functional for modern living with a small kitchen and dining area.
- The existing house does not appear to fit in with the diverse architectural characteristics of the surrounding neighborhood.

Overall, the existing house is poorly constructed, uncomfortable, and not efficient in terms of energy use.

Demolition of Structures

Current Condition: (cont.)



Existing Condition
of Basement Walls
and Floor

Adjacent Buildings

South Main Street and Sunset Boulevard















103

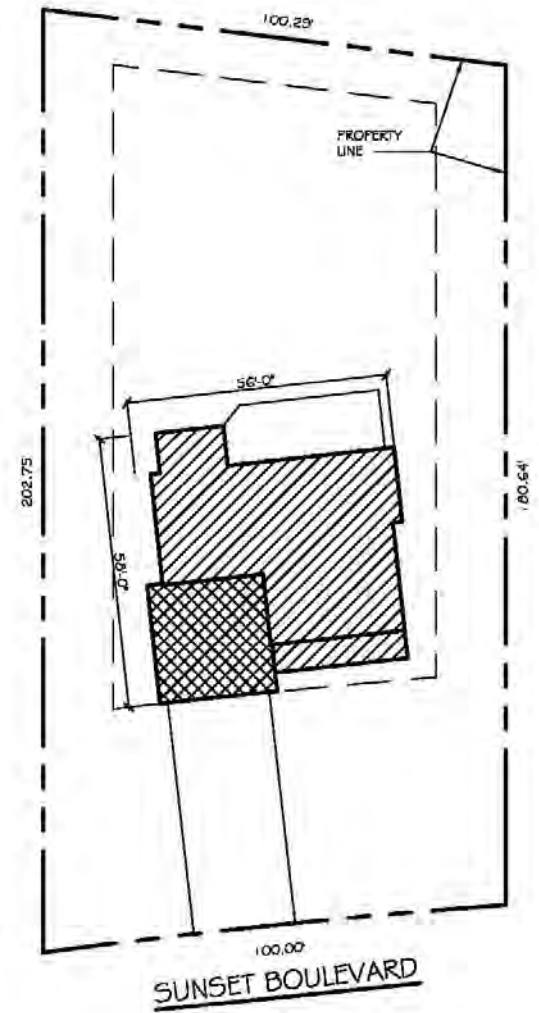
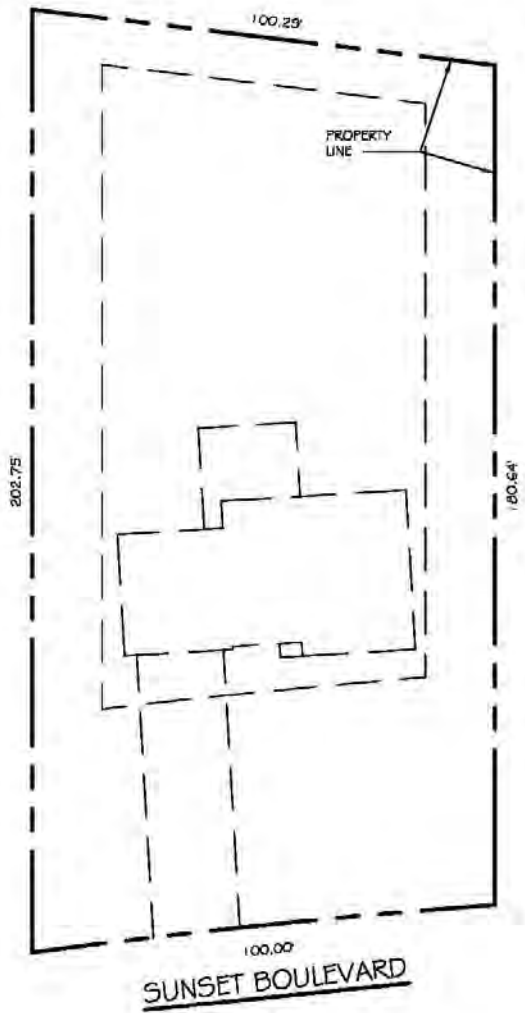




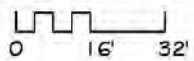


Proposed Residence

114 Sunset Boulevard



① SITE PLAN - EXISTING



② SITE PLAN - PROPOSED



36

102

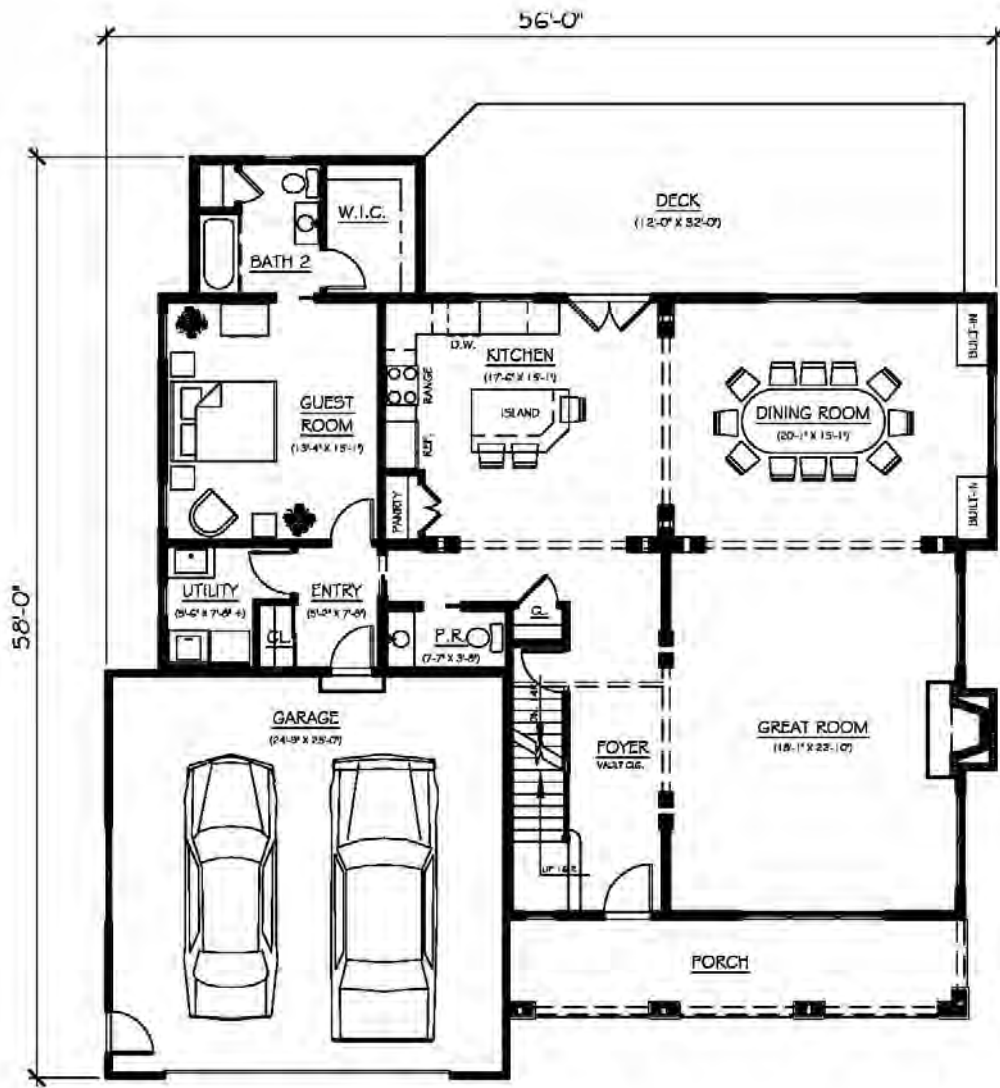
106

110

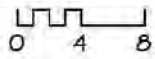
114

119

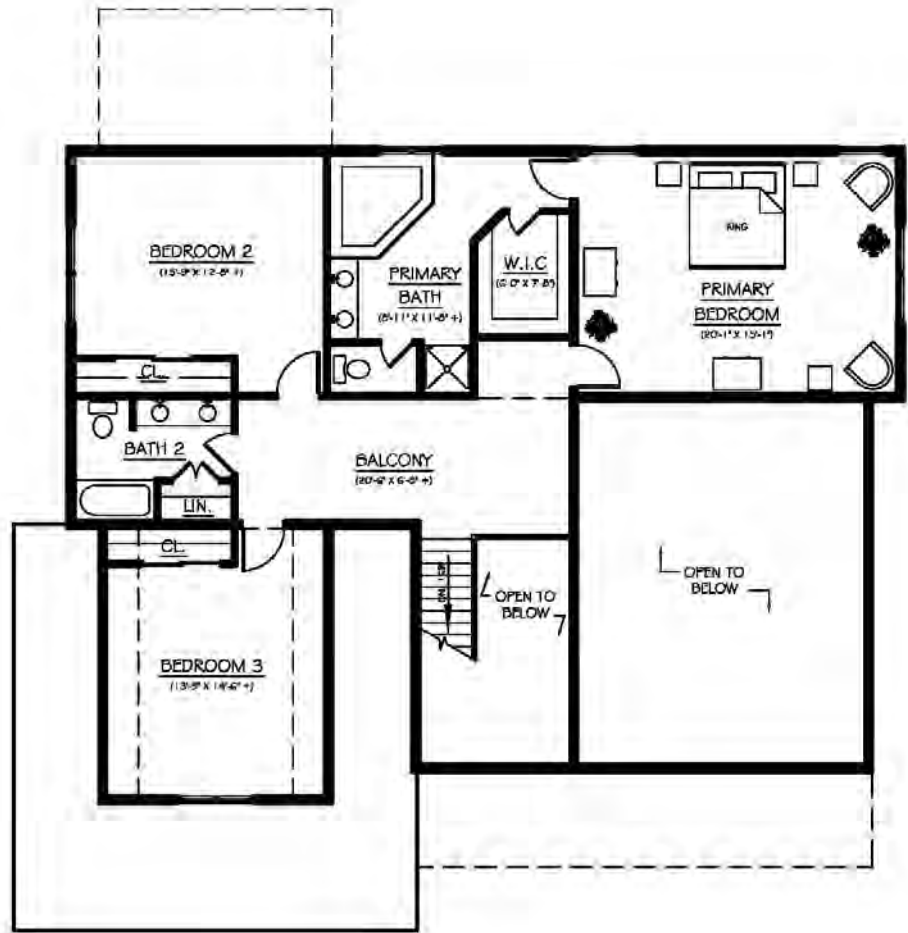




FIRST FLOOR PLAN

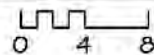


1,819 S.F.

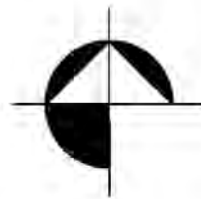


2

SECOND FLOOR PLAN

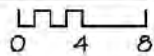


1,361 S.F.





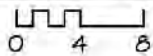
SOUTH ELEVATION



3,180 S.F.

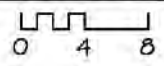


② EAST ELEVATION



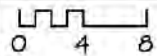


3 NORTH ELEVATION





④ WEST ELEVATION









Stormwater Control

Scope of Work:

Control stormwater runoff on site to prevent soil saturation around the foundation and damage to the proposed foundation.

- Slope surface to grade away from the house.
- If space is available on the site, install swales to capture, control, and filter stormwater runoff, allowing it to percolate into the soil on site. Swales should have a 3-to-1 width-to-height ratio, a slope along the longitudinal channel of 2% to 4%, and be large enough to accommodate the volume of runoff from a 6-month, 24-hour storm event.
- If space on site is found to be limited, install drains to collect and direct water via underground French drains to drywells.

Thank You!

We appreciate your time and attention to our proposal and are happy to answer any questions you may have.