

**Design Review & Historic Preservation Board
Agenda
January 12, 2023**

HISTORIC PRESERVATION DISCUSSION

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATION FOR REVIEW – RETURNING

- **365 Canfield Road**
The Applicant is returning to request design review for the construction of a 1472 SF oversized over height accessory structure/Garage.

COMMERICAL APPLICATION FOR REVIEW - NEW

- **3340 Monroe Avenue – Scott Miller**
The Applicant has requested design review for the addition of 2 business identification signs. The building signs will be approximately 160 square feet. The signs meet zoning and will identify the businesses "MAC" & "Scott Miller".
- **3349 Monroe Avenue – Stretch Lab**
The Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 31 square feet. The sign will identify the business "Stretch Lab".

Design Review and Historic Preservation Board
Minutes
December 8, 2022

PRESENT

Dirk Schneider, Chairman; Bonnie Salem, Paul Whitbeck, John Mitchell, Paul Whitbeck

ALSO PRESENT

Robert Koegel, Town Attorney; Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Jim Vekasy, David Wigg, Vice Chairman

HISTORIC PRESERVATION DISCUSSION

Bonnie Salem reported there is no update on the website project.

Discussion was held regarding hosting another reception for the owners of inventoried homes next spring.

RESIDENTIAL APPLICATION FOR REVIEW

- **41 Arlington Drive**

The Applicant is requesting design review for a kitchen and first floor remodel to enclose a 30 sf front porch.

The contractor, Todd Jones, was present to discuss the application with the Board.

The porch area will be enclosed to provide more living space. Materials including the door and siding will be reused. A new window will be installed in the kitchen.

John Mitchell moved to accept the application as submitted.

Kathleen Cristman seconded.

All Ayes.

- **29 Kirklees Road**

The Applicant is returning to design review for the addition of a front entry porch.

The homeowner, Timothy Crumb, was present.

The project is a covered porch upgrade. Two choices for columns were presented to the Board for approval (drawing A-1).

The Board preferred the second choice (bottom drawing) with the straight columns. The preference is for the stone to be omitted as to avoid multiple textures on the front elevation.

Dirk Schneider moved to accept the application as submitted with the condition that the construction reflect the bottom drawing on the submitted plans labeled A-1 with the recommendation that the stone be left off the bottom of the columns.

Paul Whitbeck seconded.

All Ayes.

- **105 Mill Road**

The Applicant is requesting design review for the construction of approximately a 400-sf addition off the side of the house.

The homeowners, Christopher and Heather Frank were present.

Mr. Frank presented the Board with updated plans dated December 4, 2022, at the meeting. The new elevation will shift the location of the fireplace and windows in the room. John Mitchell suggested moving the fireplace into the room instead of having a bump out.

Bonnie Salem asked if the windows would match the existing. Mr. Frank indicated that new vinyl windows with divided lites as on the home will be utilized in the renovation.

Bonnie Salem moved to accept the application as submitted in the drawings dated December 4, 2022 and reviewed by the Board on December 8, 2022 and with the condition that the bump out fireplace have a foundation.

Kathleen Cristman seconded.

All Ayes.

- **9 Arrowhead Road**

The Applicant is requesting design review of a 244 sf addition and a 37 sf porch.

The homeowner Michelle Hanson was present.

The Board reviewed the plans for the addition and an enlarged porch. They were in favor of the addition of the brick on the lower level that matches the brick of the working fireplace.

Dirk Schneider moved to approve the application as submitted with the condition that the brick on the chimney match the brick on the front of the home.

Kathleen Cristman seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW - NEW

- **61 & 63 Skylight Trail**

The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. 61 Skylight Trail will be approximately 2014 sq. ft. and 63 Skylight Trail will be 2001 sf. The town homes will be located in the new Alpine Ridge development.

Bill Arieno of Morrell Builders was present.

The Board reviewed the colors of the new proposed townhomes but otherwise had not other questions.

The drawing reflected stone on the water table however the development plan did not. The Board prefers that the original plan be upheld and the stone as depicted on the submitted plans not be installed for the front elevation of lot 22.

Kathleen Cristman moved to accept the plans as submitted with the condition of the removal of the stone water table on the front elevation.

Dirk Schneider seconded.

All Ayes.

COMMERCIAL APPLICATION FOR REVIEW

- **3349 Monroe Avenue – The Paper Store**

The Applicant is requesting design review for the addition of a business identification sign. The building sign will be approximately 106.25 sf. The sign meet zoning and will identify the business "Gifts & More at the Paper Store".

Pat English, Head of Construction for The Paper Store, was present.

New drawings were submitted to the Board for the signage for the store front.

The signage will now read "The Paper Store" and will feature decorative scones above the lettering. The lettering will be back lit and illumination will be on a timer in accordance with the plaza sign code.

John Mitchell moved to accept the application as submitted in the new drawings reviewed on December 8, 2022.

Dirk Schneider seconded.

All Ayes.

CERTIFICATE OF APPROPRIATENESS – RETURNING

- **465 Marsh Road**

The Applicant is returning for a Certificate of Appropriateness, pursuant to Code Section 185-196, for renovations as well as demolition and rebuild of side structure. This property is zoned (RN) Residential Neighborhood and is designated historic.

The public hearing is still open.

The property owner, Robert Marshall was present.

Mr. Marshall reviewed his revised plans which call for the attached shed that is not original to the property to be removed and the proposed side addition be abandoned and a door with a transom window above installed. The original front door has been recovered and will be refurbished and a second door for the side elevation will be built to replicate the front door. Color samples for the exterior, trim and door were presented. Material samples of proposed gutters and downspouts were also presented and reviewed. A simplified site plan depicting the location of the refurbished stoop, sidewalk to the front door and driveway were presented.

There was no public comment.

Dirk Schneider moved to close the public hearing.

Bonnie Salem seconded.

All Ayes.

A resolution to grant a Certificate of Appropriateness was moved by Board member Dirk Schneider, seconded by Board member Kathleen Cristman, and was voted upon by members of the Board as follows:

Bonnie Salem	Aye
Paul Whitbeck	Aye
Kathleen Cristman	Aye
John Mitchell	Aye
Jim Vekasy	Absent
David Wigg	Absent
Dirk Schneider	Aye

The resolution was made subject to the following condition:

1. All work is to be completed by December 31, 2023.

REVIEW OF MINUTES OF NOVEMBER 10, 2022, MEETING

Paul Whitbeck moved to accept the minutes of the November 10, 2022 meeting as written.

John Mitchell seconded.

All Ayes.

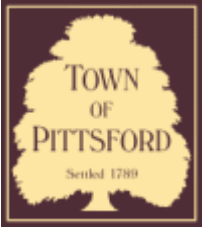
ADJOURNMENT

Dirk Schneider moved to close the meeting at 7:40 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
RA22-000168

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 354 Canfield Road PITTSFORD, NY 14534

Tax ID Number: 191.04-2-1

Zoning District: RRSP Rural Residential South Pittsford

Owner: Dean Smith

Applicant: Dean Smith

Application Type:

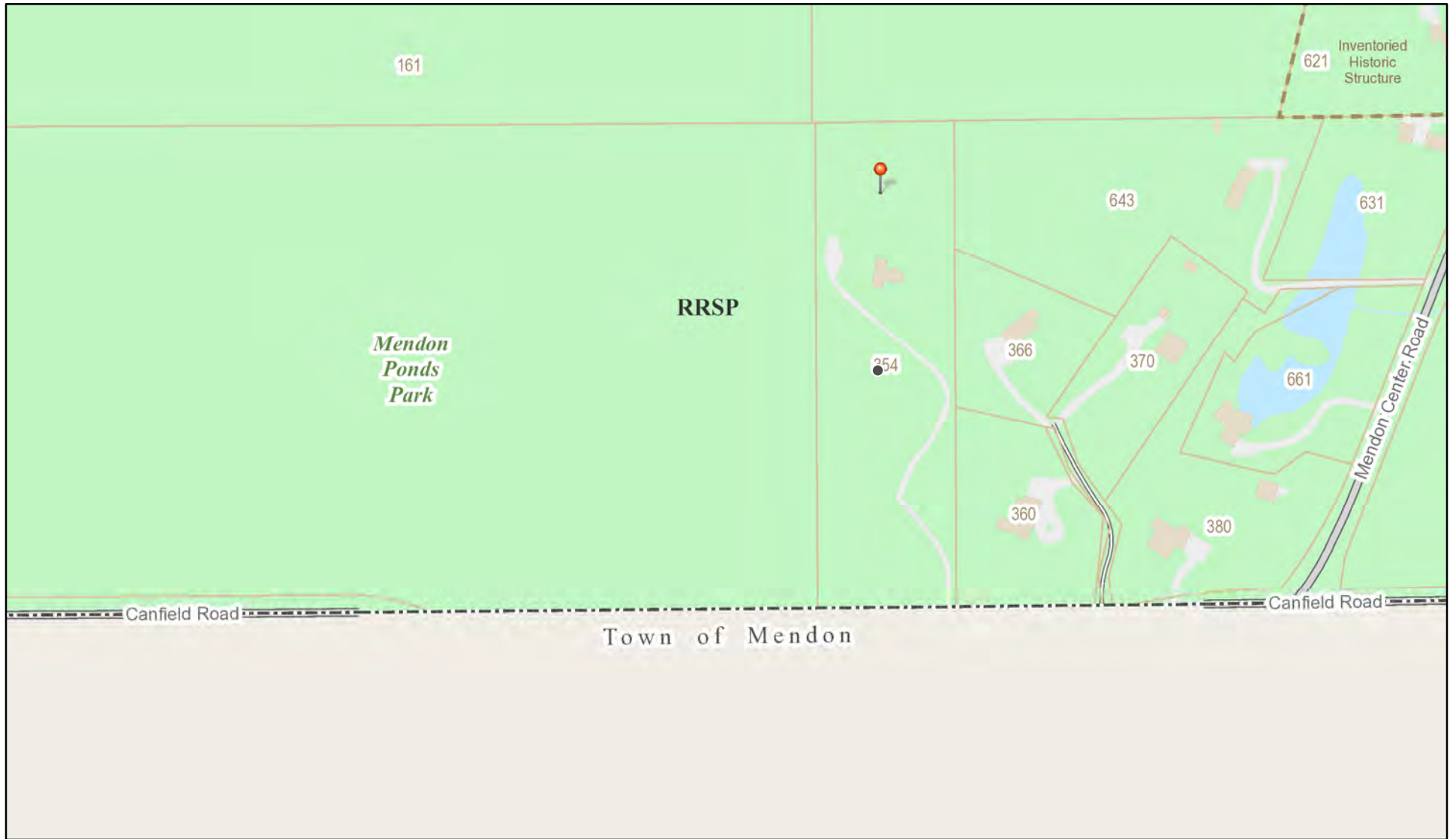
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is returning to request design review for the construction of a 1472 SF oversized overheight accessory structure/Garage.

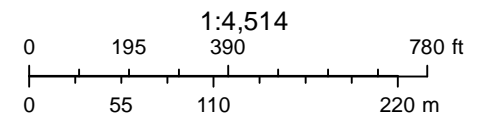
Meeting Date: January 5, 2023



RN Residential Neighborhood Zoning



Printed July 20, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Canfield Rd

Canfield Rd

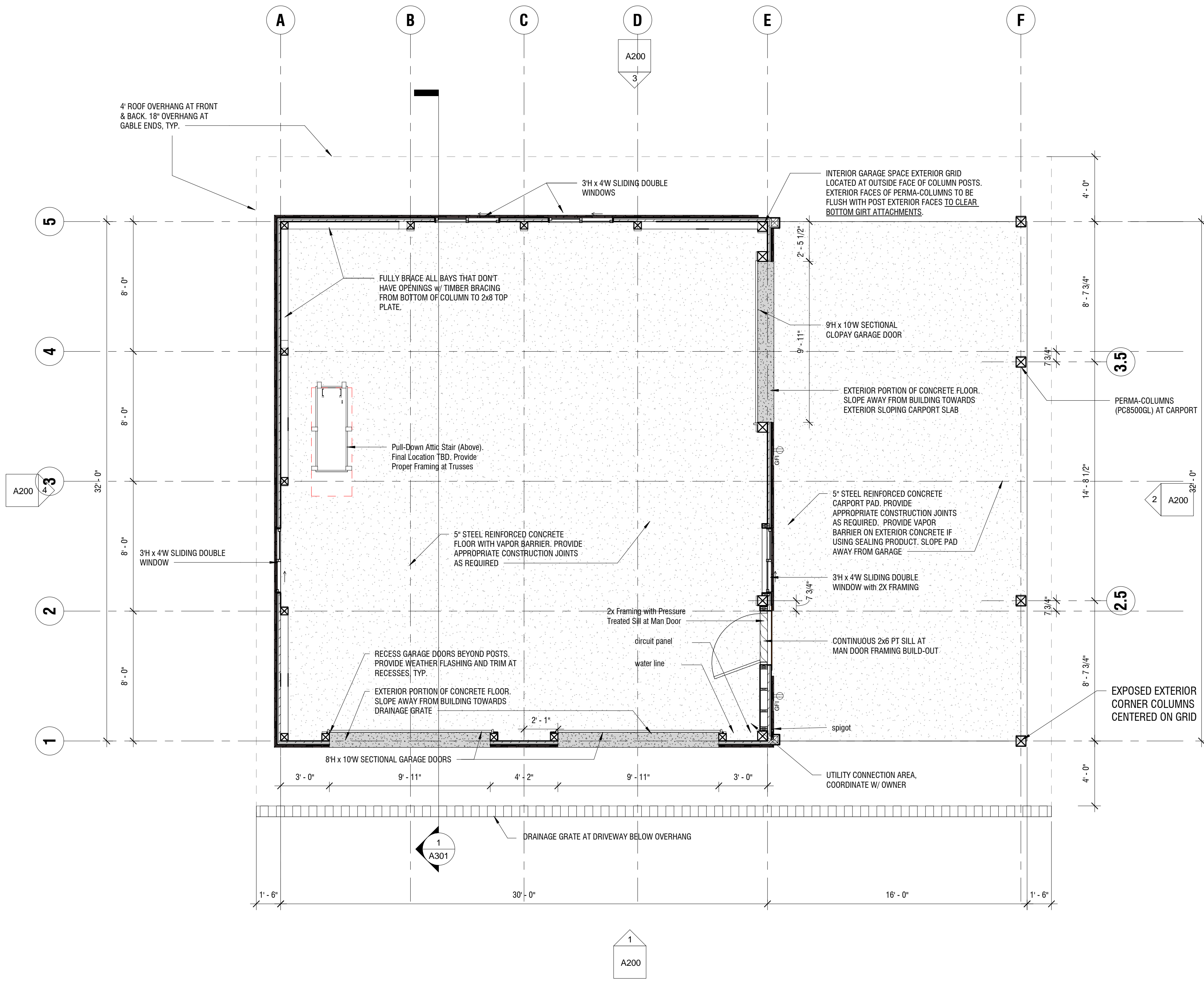
Canfield Rd

Canfield Rd

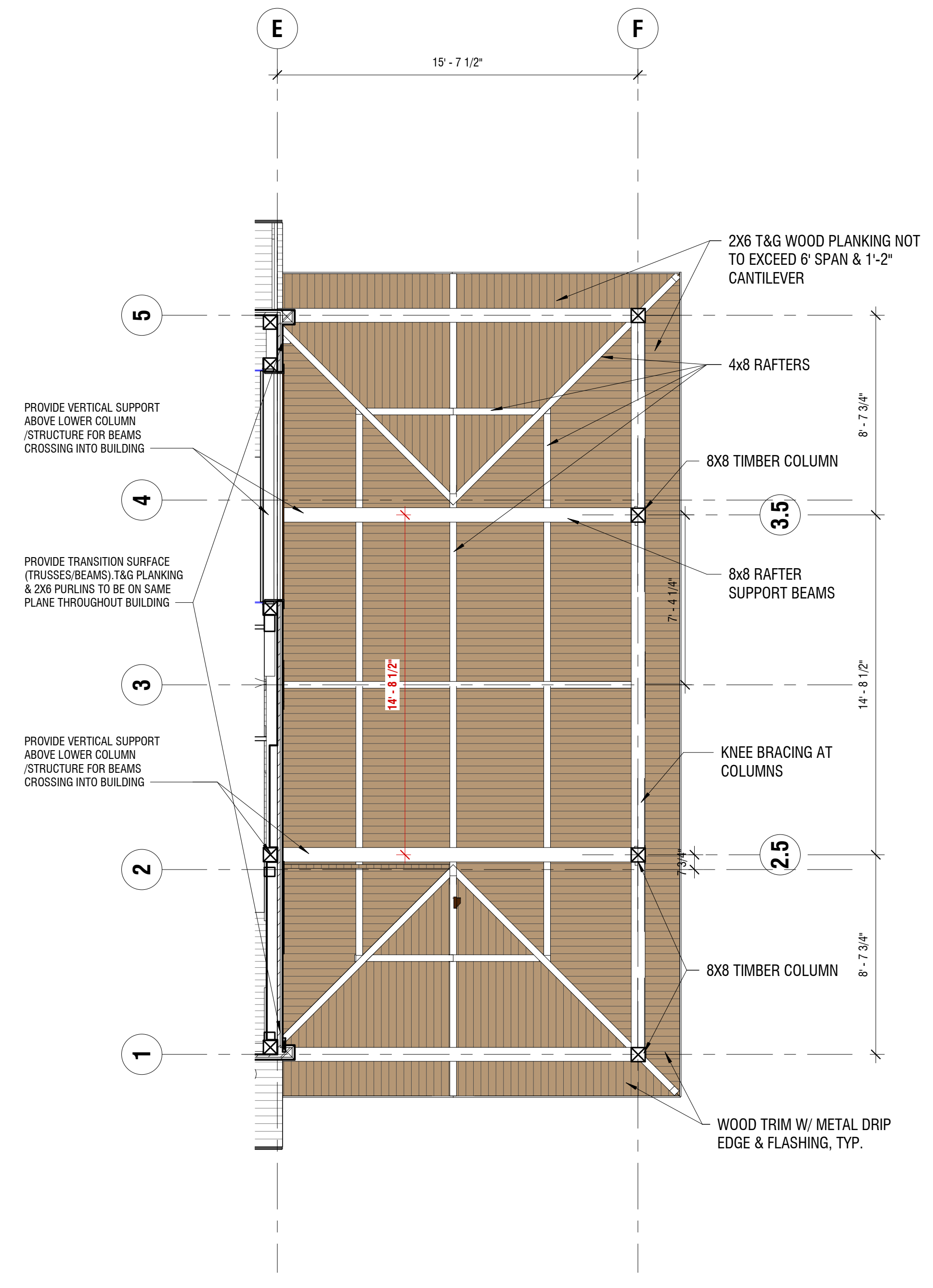
Canfield Rd

London Center Rd

Mendenhall Rd



1 FLOOR PLAN - NEW WORK
A101 1/4" = 1'-0"



2 RCP Timber layout
A101 1/4" = 1'-0"

KEYED NOTES - NEW WORK

GENERAL NOTES - FLOOR PLAN

LEGEND - FLOOR PLAN

- BUILDING LINE (\square) IS OUTSIDE FACE OF 2X6 WOOD GIRTS.
- All construction, plumbing, electrical and mechanical will comply with the IRC One and two Family Dwelling Code and State, County and Municipal Codes.
- Construction Shall Comply with All Covenants, Conditions & Restrictions Recorded Against the Land.
- General Contractor and All Subcontractors Will Review Plans For Accuracy and Verify All Dimensions and Compliance with Above Codes Prior to the Start of Construction. Bids Submitted Will Be According to Such Review.
- Safety, Care of Adjacent Properties During Construction, and Compliance With All Applicable Safety Regulations is, and shall be, the Contractors and Subcontractors Responsibility.
- All Trees To Be Protected From Damage of Construction Process and Machines Unless Approved for Removal by Owner.
- Storm Water Drains (Within 5' of Foundations & Exterior Walls) Shall Be of Approved Material as Per Plumbing Contractor.

- CONCRETE**
- CONCRETE SHALL BE 5-7% AIR ENTRAINED W/ A MAXIMUM COMPRESSIVE STRENGTH OF:
 - 2500 PSI FOR BASEMENT WALLS AND FOUNDATIONS NOT EXPOSED TO WEATHER AND FOR BASEMENT SLABS ON A GRADE.
 - 3000PSI FOR BASEMENT FOUNDATION AND EXTERIOR WALLS AND OTHER VERTICAL WORK EXPOSED TO WEATHER.
 - 3500 PSI FOR CARPORT AND GARAGE FLOOR SLABS FOR PORCHES AND STEPS EXPOSED TO WEATHER.
 - All CONCRETE FORM WORK TO BE ADEQUATELY TIED TOGETHER AND BRACED TO FORM A TRUE LINE, SQUARE CORNERS AND PLUMB WALLS
 - All REINFORCING BARS SHALL CONFORM TO ASTM SPEC. (A625 DEFORMED BARS WITH MINIMUM YIELD STRESS OF 60,000 PSI [TABLE R404.L.2.L.3.I]), WELDED WIRE FABRIC. TO BE 6X6, 10/10, CONFORMING TO ASTM SPEC. 185.
 - POURED FOOTING TO BE POURED ON LEVEL, (LESS THE 1" IN 10'-0" SLOPE), UNDISTURBED SOIL.
- METAL-**
 1/4" FLASHING TO BE 24 GA. G.I. METAL. GRAVEL STOPS AND BEAM CAPS TO BE 22 GA. G.I. METAL.
 24" FRAMING CONNECTIONS TO BE SIMPSON COMPANY, OR APPROVED EQUIVALENT. SIMPSON HIT TO BE USED AT EACH TRUSS TO TOP PLATE CONNECTION

- FRAMING-**
- EXPOSED PLYWOOD TO BE EXTERIOR GRADE CCX, NAIL 6" ON EDGE 12" IN FIELD.
 - All DIMENSION LUMBER TO BE DOUGLAS FIR-LARCH, 2X4 STANDARD OR BETTER ALL OTHER #2 OR BETTER UNLESS NOTED OTHERWISE.
 - LEVEL CHANGES AT ENTRIES TO BE MINIMUM 1/2" MAXIMUM 1 1/2".
 - EXTERIOR BEARING WALL HEADERS TO BE AS PER FRAMING PLANS.
 - INTERIOR BEARING WALL HEADERS TO BE 4X6 1/2 DF-1 UNLESS NOTED.
 - All PRE-WIRING FOR TELEPHONE, TV, STEREO, ETC., TO BE COORDINATED WITH OWNER.
 - All TRUSSES TO BE PER MANUFACTURERS ENGINEERING SPECIFICATIONS. TRUSS DETAILS TO BE PROVIDED UPON FRAMING INSPECTION. TRUSS MANUFACTURER TO VERIFY ALL SPANS AND CONFIGURATIONS PRIOR TO TRUSS FABRICATION.
 - TRUSSES SHALL NOT BEAR ON INTERIOR PARTITIONS UNLESS SO DESIGNED.
 - TIMBER FRAMING TO BE MECHANICALLY FASTENED W/ SIMPSON STRONG-TIE ORNAMENTAL FASTENERS. MODELS AND QUANTITY TO BE DETERMINED. ANY OTHER FASTENING SYSTEM TO BE APPROVED BY OWNER.
 - TIMBERS WILL BE GREEN ROUGH SAWN HEMLOCK WITH NO SHAKE.

Constant

DesignworX
ARCHITECTS

250 East Main Street // Suite 31
Rochester, New York 14604
PH: 585.442.7400 // www.dwxpa.com

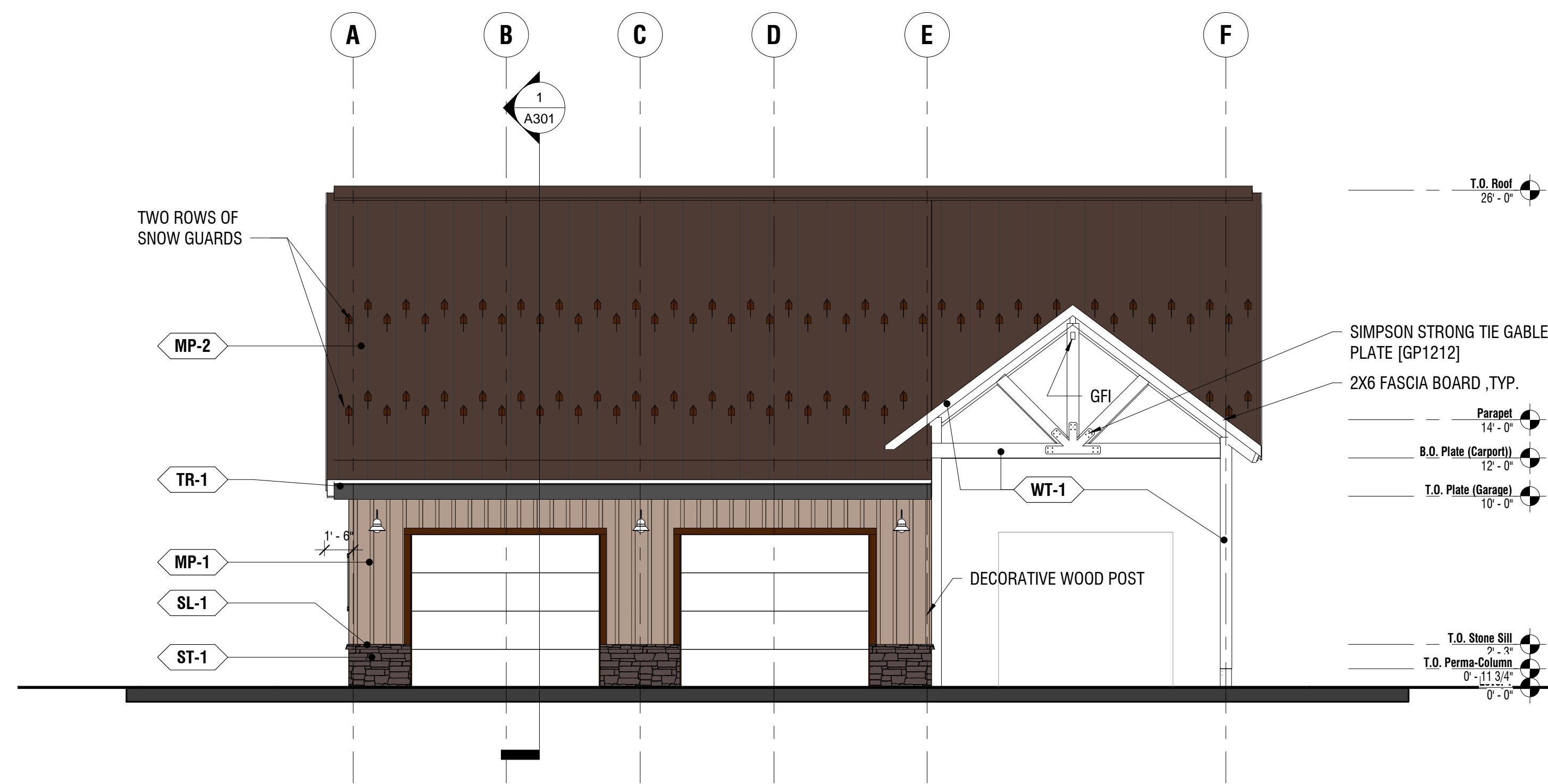
Architect

FLOOR PLAN - NEW WORK
DEAN SMITH CARRIAGE HOUSE
354 CANFIELD RD.
PITTSFORD, NY

Date	12/26/2022	Project Manager	DS
Drawn by	GH	Checked by	DS
Project number	22024.00	Scale	AS NOTED
Sheet	A101	Rev.	1

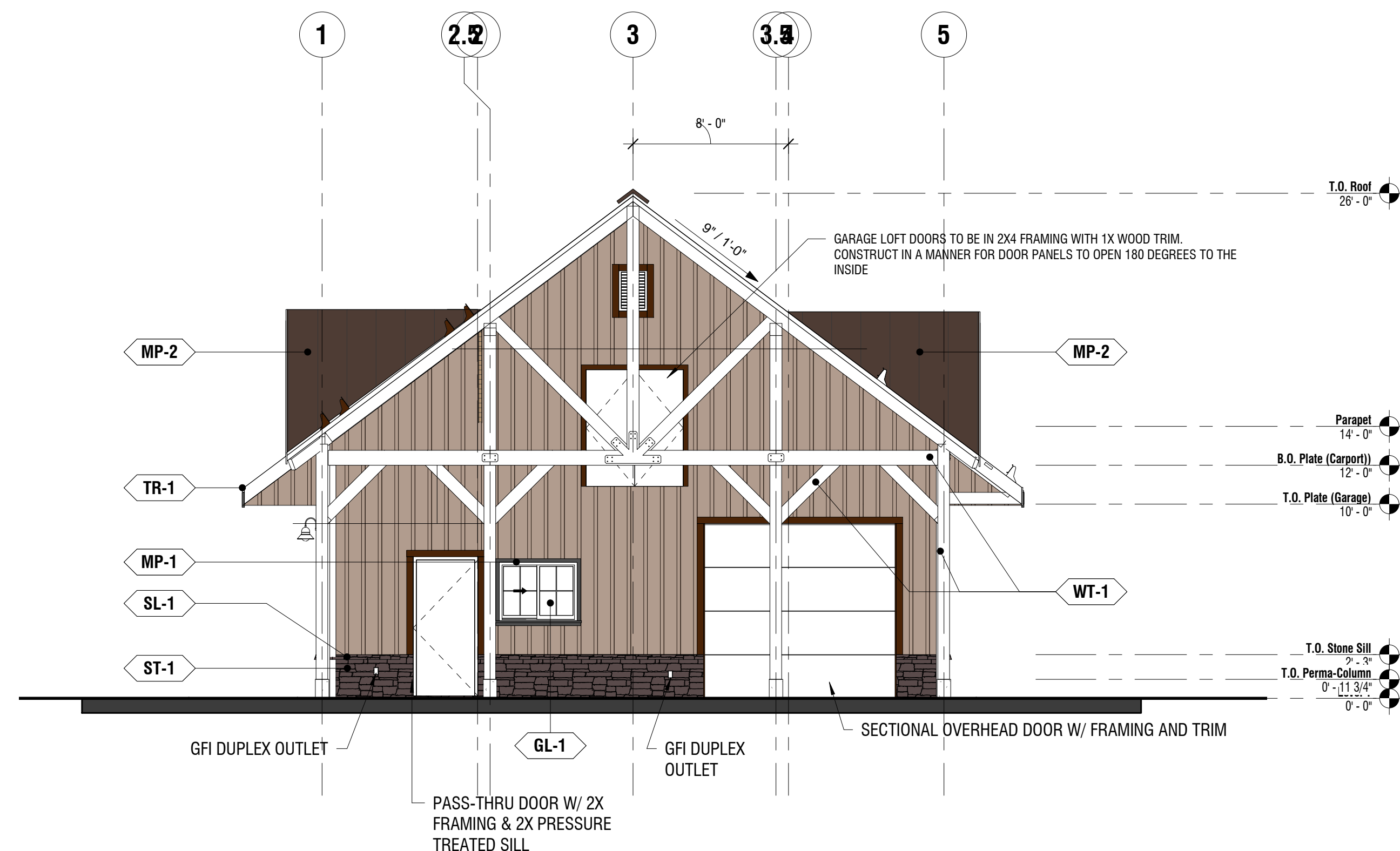
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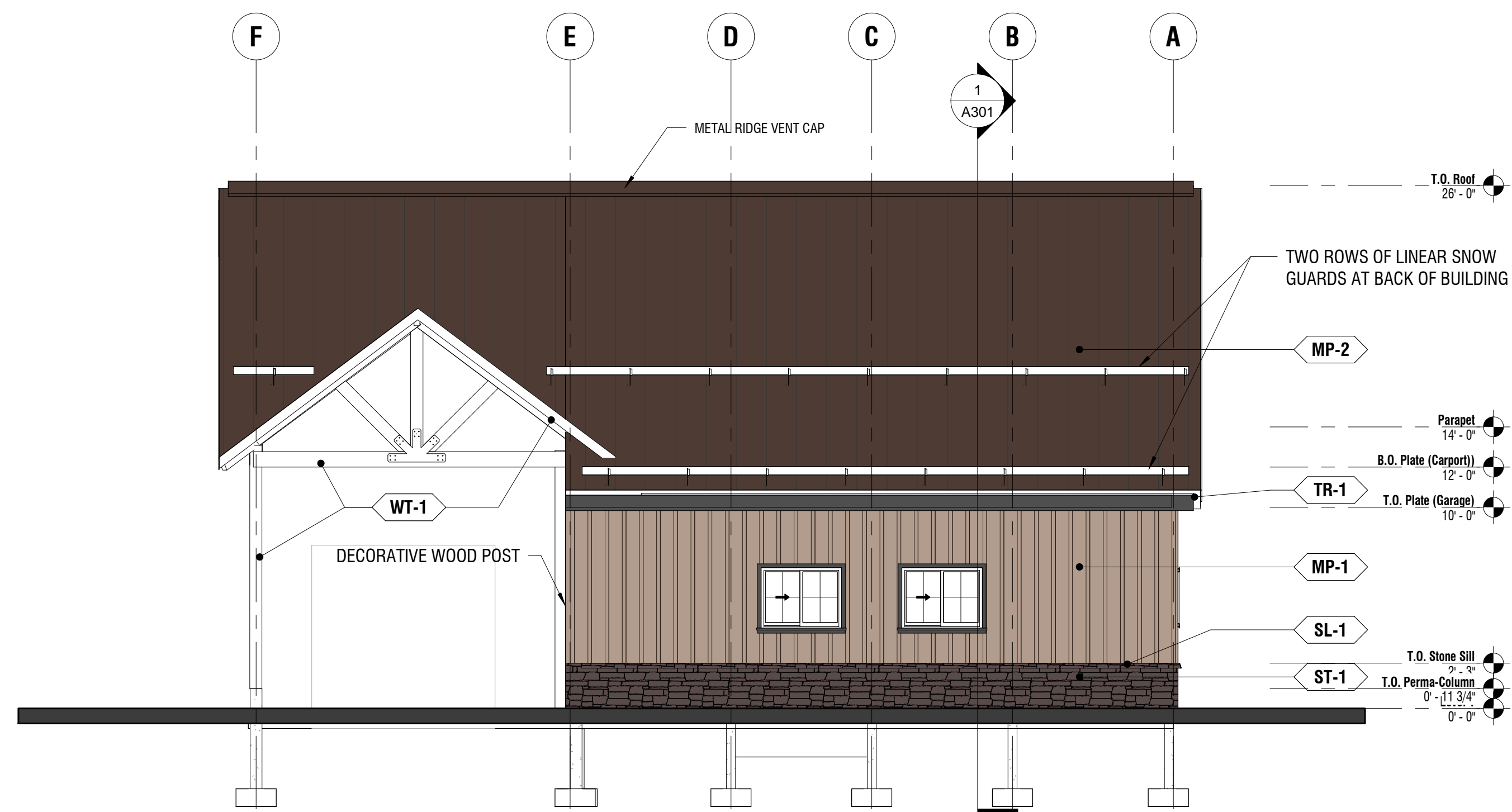
1 Elevation - Front

A200 3/16" = 1'-0"



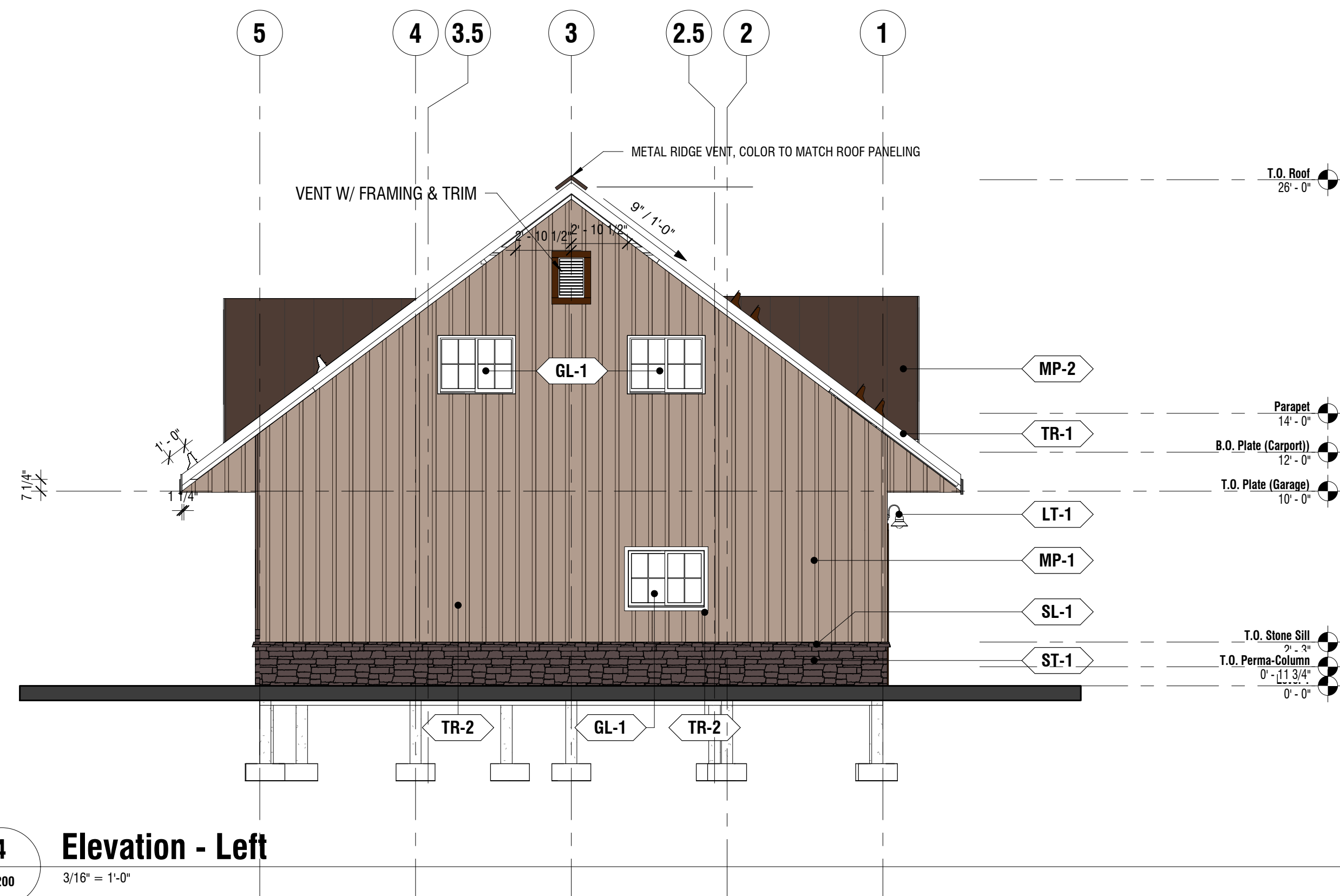
2 Elevation - Right

A200 3/16" = 1'-0"



3 Elevation - Rear

A200 3/16" = 1'-0"



4 Elevation - Left

A200 3/16" = 1'-0"

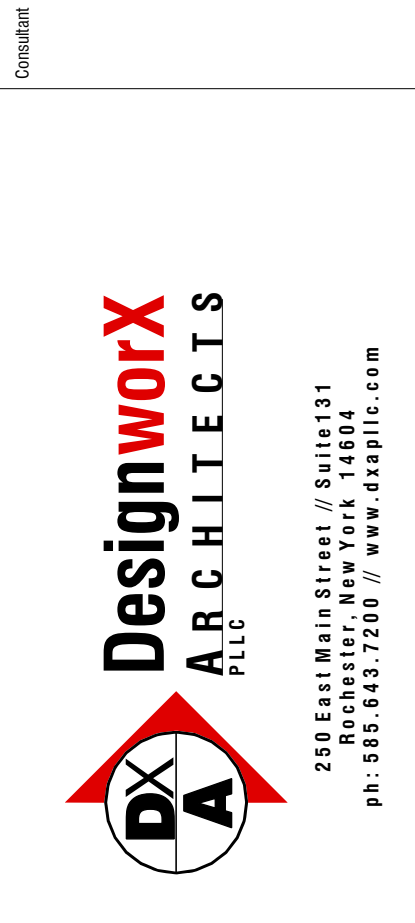
TIMBER NOTE:

- A. TIMBER LAG SCREW COUNTER SUNK CONNECTIONS. BRACES WILL ALSO BE COUNTERSUNK & LAG SCREWED LAG SCREWS TO BE PREFINIED BLACK AT AVANT PLATES
- B.
- C.

SIMPSON STRONT TIE AVANT COLLECTION MODELS:
 APVGP1212
 APVST610
 APVA6
 APVT6

EXTERIOR MATERIALS

SYMB.	MATERIAL	ITEM	DESCRIPTION	SYMB.	MATERIAL	ITEM	DESCRIPTION	SYMB.	MATERIAL	ITEM	DESCRIPTION
MP-1	METAL BUILDING TRIM	MANUFACTURER: - STYLE: - MATERIAL: METAL COLOR: PREFINISHED - SIZE: - CONTACT: -		MP-1	METAL WALL PANEL	MANUFACTURER: - STYLE: VERTICAL BOARD AND BATTEN STYLE (APPROX 1" PANELS) MATERIAL: METAL COLOR: PREFINISHED - SIERRA TAN (EVERLAST METALS OR EQUIVALENT) SIZE: - CONTACT: -		WP-1	WOOD PLANKING	MANUFACTURER: - STYLE: 2x6 WOOD PLANKING W/ TONGUE & GROOVE MATERIAL: WOOD - EASTERN WHITE PINE COLOR: BLACK SIZE: 2x6 NOMINAL CONTACT: -	
LT-1	DECORATIVE UTILITY WALL SCONCE LIGHT	MANUFACTURER: - STYLE: - MATERIAL: - COLOR: - SIZE: - NOTES: -		MP-2	METAL ROOF PANEL	MANUFACTURER: EVERLAST METALS STYLE: CORRUGATED METAL ROOF PANEL MATERIAL: 28ga STRUCTURAL STEEL COLOR: PREFINISHED - BURNISHED SLATE (EVERLAST METALS OR EQUIVALENT) SIZE: - NOTES: -		ST-1	STONE PANEL SYSTEM	MANUFACTURER: BEONSTONE STYLE: CLASSIC MATERIAL: MONOTALESS STONE PANEL SYSTEM COLOR: PORTO SIZE: 24"W x 12"H PANELS NOTES: -	
WT-1	WOOD TRIMMER	MANUFACTURER: TBD STYLE: PER MFG. MATERIAL: ROUGH SAWN HEMLOCK TIMBERS w/ NO SHAKE [4X8,8X8, 8X10] - NON KILN DRIED GREEN COLOR: NO FINISH SIZE: PER DESIGN		GL-1	WINDOW UNIT	MANUFACTURER: KASSON & KELLER - MASTERVIEW WINDOWS OR EQ. STYLE: HORIZONTAL ROLLING WINDOWS MATERIAL: PVC COLOR: FELDSTONE SIZE: 48"W x 36"H		SL-1	STONE SILL	MANUFACTURER: BEONSTONE STYLE: ENGINEERED STONE TRANSITION SILL MATERIAL: PVC COLOR: BROWN SIZE: 32"W x 31" x 4"D	



ELEVATIONS
DEAN SMITH CARRIAGE HOUSE
 354 CANFIELD RD.
 PITTSFORD, NY

Date:	12/26/2022
Drawn by:	GH
Project number:	22024.00
Sheet:	A200

NOT ISSUED FOR CONSTRUCTION



1 01 - 3D VIEW - Front Left
A201



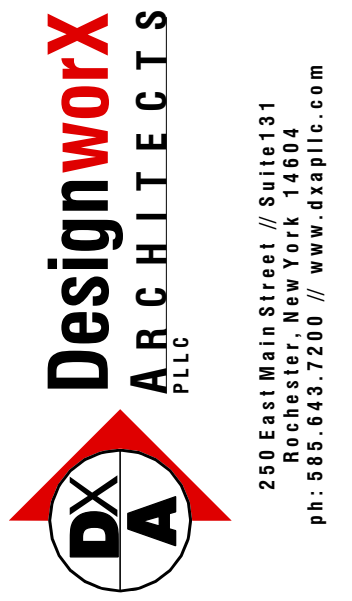
2 01_3D View - Front Right
A201



3 01 - 3D View Front
A201



4 01_3D VIEW - Back Left
A201

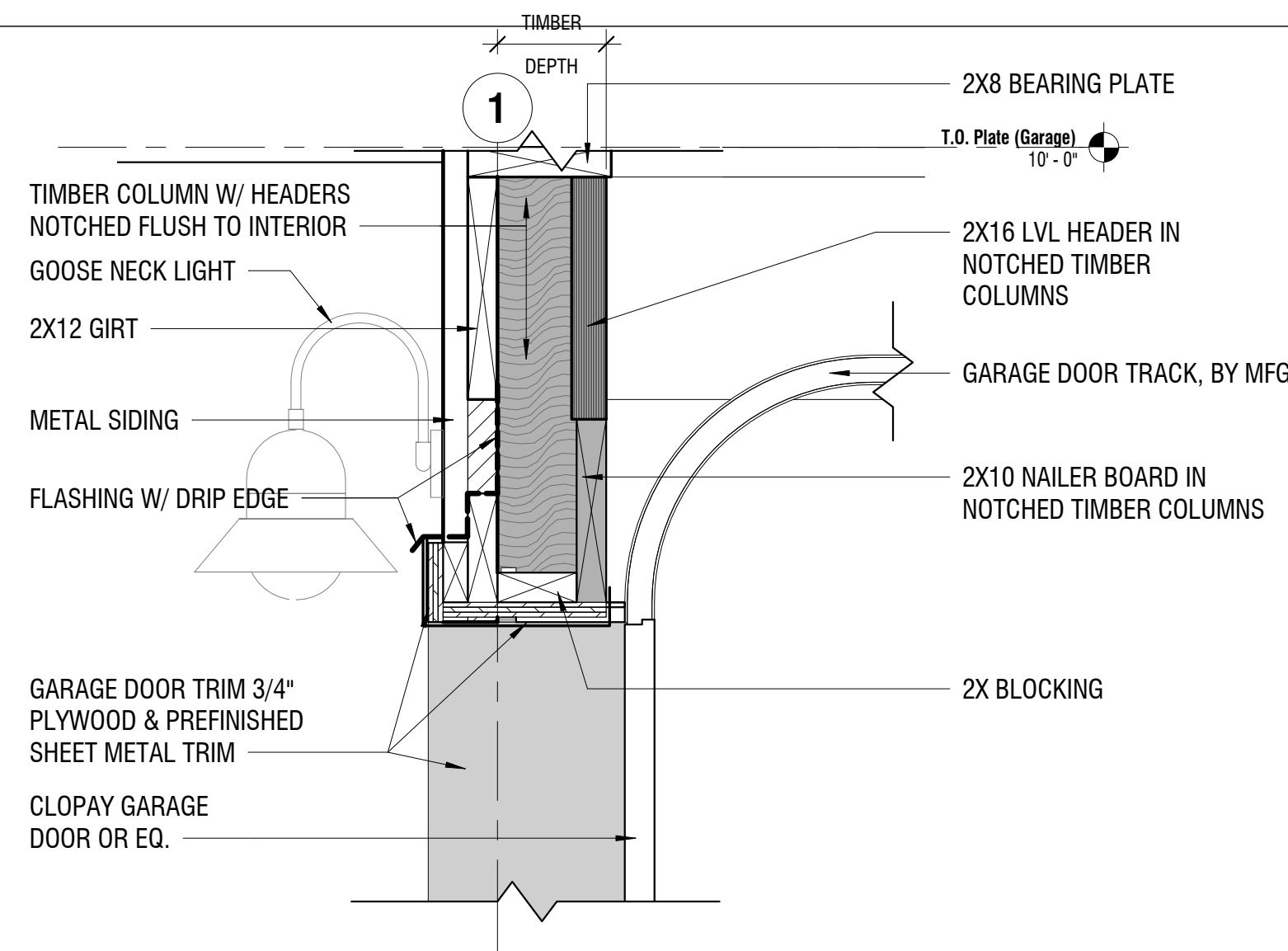


250 East Main Street // Suite 31
Rochester, New York 14604
PH: 800.849.7400 // www.daworx.com

EXTERIOR PERSPECTIVE VIEWS
DEAN SMITH CARRIAGE HOUSE
354 CANFIELD RD.
PITTSFORD, NY

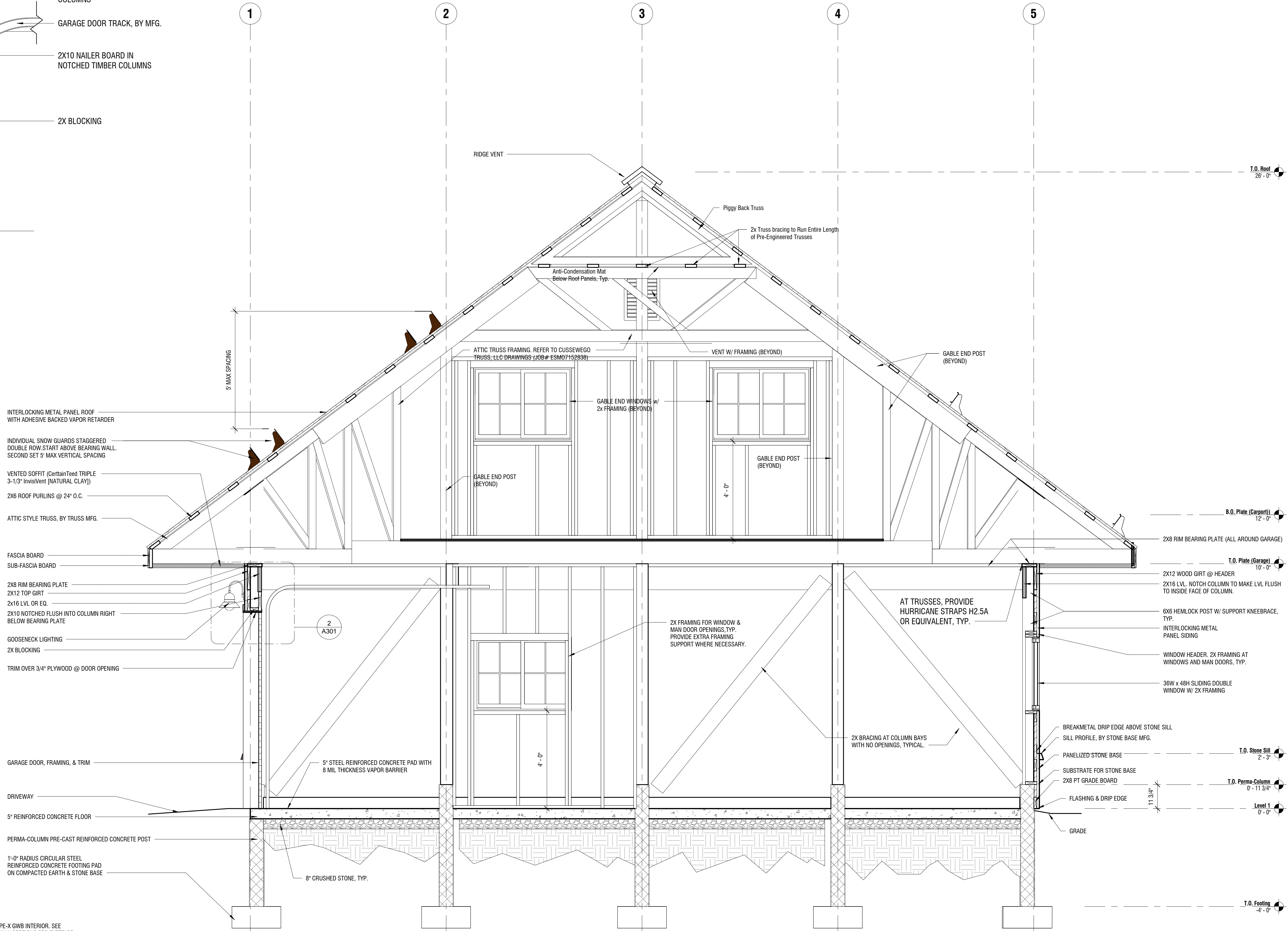
Date	Project Manager	SCALE: AS NOTED	Rev.	Rev. Date	Description
12/26/2022	DS		1		
	Created by				
	GH				
	Project number	22024.00			
	Sheet	A201			

NOT ISSUED FOR CONSTRUCTION
Print Date: 12/27/2022 4:23:15 PM C



2 GARAGE DOOR HEADER

A301 1/2" = 1'-0"



EXTERIOR WALLS 5/8" TYPE-X GWB INTERIOR. SEE STRUCTURAL DRAWINGS OR WALL SECTIONS FOR EXTERIOR

1 Section 1

A301 1/2" = 1'-0"



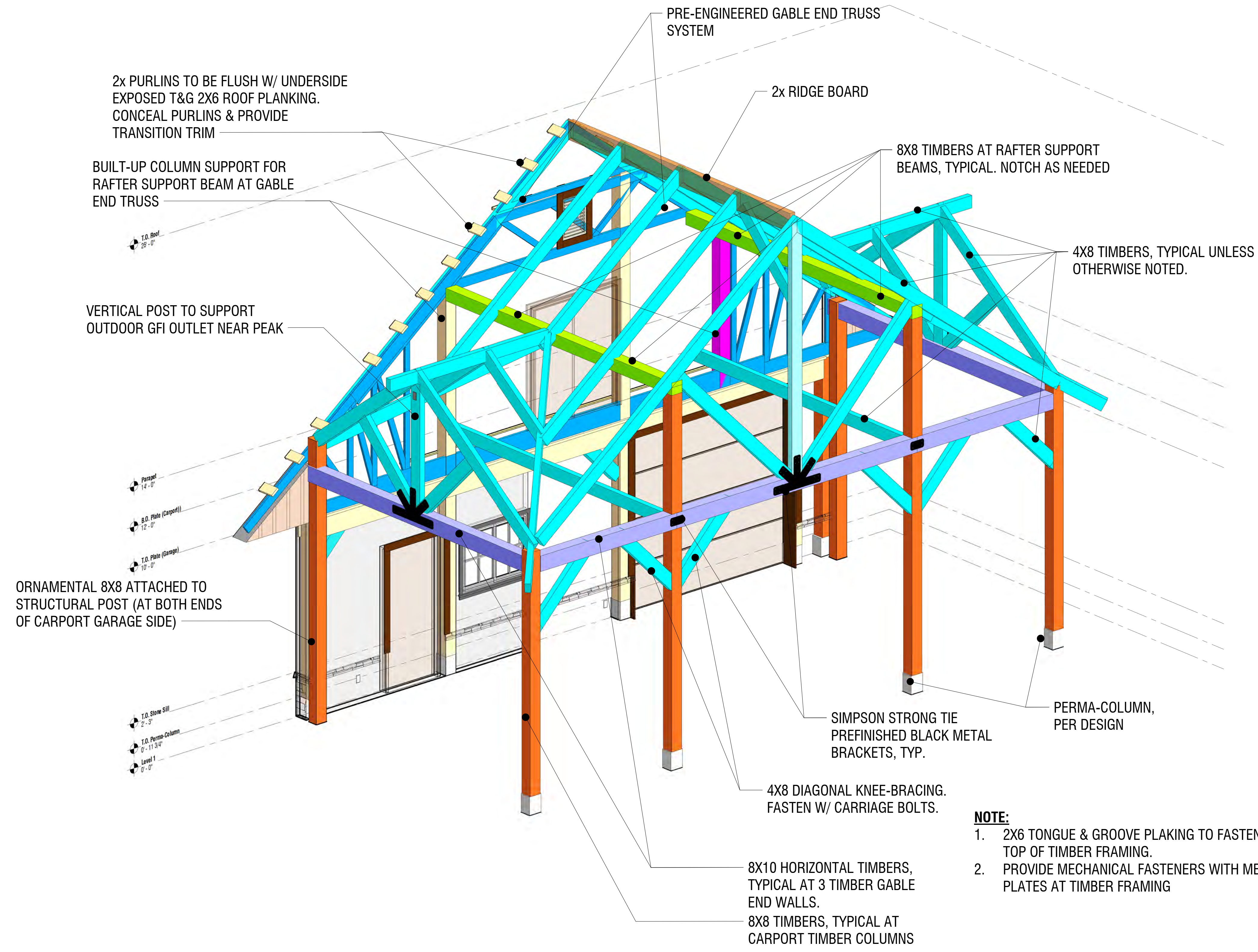
250 East Main Street // Suite 31
 Rochester, New York 14604
 PH: 585.549.7400 // WWW.DXAPL.COM

BUILDING SECTIONS
DEAN SMITH CARRIAGE HOUSE
 354 CANFIELD RD.
 PITTSFORD, NY

Date	12/26/2022	Project Manager	DS
Drawn by	GH	Checked by	DS
Project number	22024.00	Scale	AS SHOWN
Sheet	A301	Rev.	1

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- NOTE:**
1. 2X6 TONGUE & GROOVE PLANKING TO FASTEN ON TOP OF TIMBER FRAMING.
 2. PROVIDE MECHANICAL FASTENERS WITH METAL PLATES AT TIMBER FRAMING

1 Timber Connections
A302

Constant

DesignworX
ARCHITECTS
250 East Main Street // Suite 31
Rochester, New York 14604
PH: 800.549.7400 // www.dxa.com

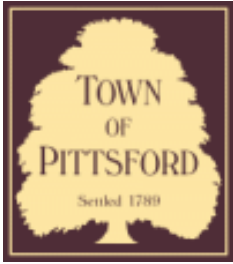
Architect

CONNECTION DETAIL
DEAN SMITH CARRIAGE HOUSE
354 CANFIELD RD.
PITTSFORD, NY

Date	12/26/2022	Project Manager	DS
Drawn by	GH	Checked by	DS
Project number	22024.00	Scale	AS NOTED
Sheet	A302	Rev.	1

NOT ISSUED FOR CONSTRUCTION

Print Date: 12/27/2022 4:23:20 PM C



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S23-000001

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3340 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-17

Zoning District: C Commercial

Owner: 3340 Monroe Ave Assoc LLC

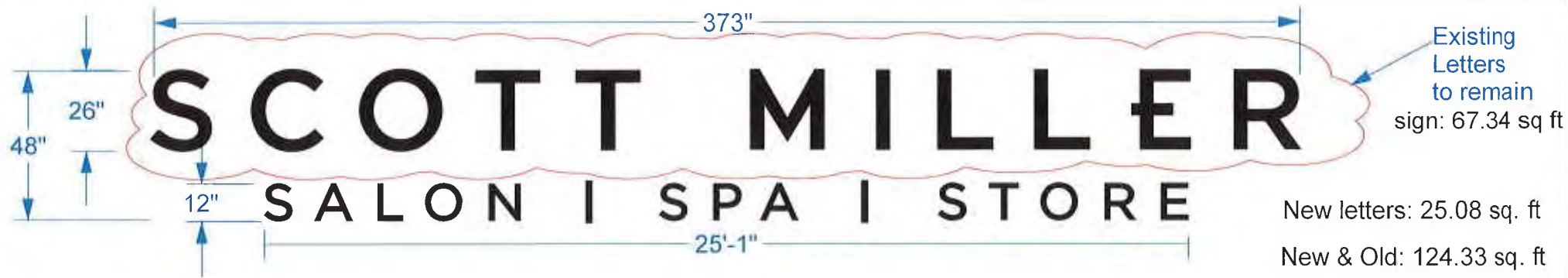
Applicant: Skylight Signs

Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant has requested design review for the addition of 2 business identification signs. The building signs will be approximately 160 square feet. The signs meet zoning and will identify the businesses "MAC" & "Scot Miller".

Meeting Date: January 12, 2023



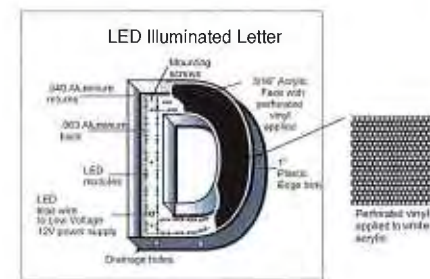
Description: (1) set of individual Face lit LED letters with black perforated vinyl applied to faces. Letters to light up white at night.

Stroke of letter has been bolded for production.

New sign:
32" x 13'-0"
34.66 sq ft

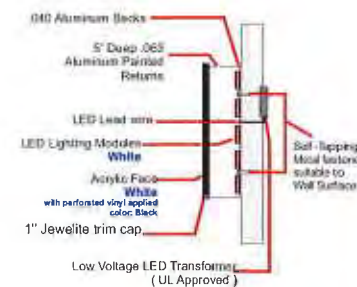
New letters:
25.08 sq ft

Existing & New:
New & Old: 124.33 sq. ft
34.66 sq ft
Total: 158.99. sq ft



Color:
Returns: White
Trim Cap: Black
Acrylic: White
LED: White

LED Flush Mount



SCOTT MILLER
SALON | SPA | STORE



Type of sign	Channel letters
Date	11/29/2022
Customer Name	Scott Miller
Address	3340 Monroe Ave. Pittsford NY
Sign Location	

This original, conceptual, and or shop drawing has been created by SKYLIGHT SIGNS INC

It is submitted for use within the above stated organization ONLY and/or other parties necessary to make signage decisions.

This drawing is not to be shown, e-mailed or transmitted in anyway to anyone outside of your organization, nor is it to be used, reproduced or exhibited in any way, without expressed written consent.

This custom artwork is for representational purposes only. Colors will not exactly match the paint or materials to be used.

ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC, UNLESS OTHERWISE STATED

skylight signs inc.

60 Industrial Park Circle
Rochester NY 14624
Phone 585 594-2500
Fax 585 594-2525

I have reviewed this drawing and accept it as shown. Any changes made to this drawing at any time will affect the contract price. Any and all changes to this drawing must be accompanied by written explanation and approved by both parties prior to production.

Customer Signature: _____

Date: _____

Landlord Signature: _____

Date: _____



sign: 34.66 sq ft

SINGLE-FACED REPLACEMENT CABINET SIGN
6 in. DEEP EXTRUDED ALUMINUM CABINET & RETAINERS - BLACK
FLAT LEXAN FACE WITH BLACK OPAQUE BACKGROUND - WHITE TRANS. COPY

Existing sign: 56" x 20'
 93.3 sq ft

New sign: 32" x 13'-0"
 34.66 sq ft



Type of sign/s	LED CABINET SIGN
Date	11-29-22
Customer Name	SCOTT MILLER
Address	MONROE AVE PITTSFORD
Sign Location	

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ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC, UNLESS OTHERWISE STATED

skylight signs inc.
 60 Industrial Park Circle
 Rochester NY 14624
 Phone 585 594-2500
 Fax 585 594-2525

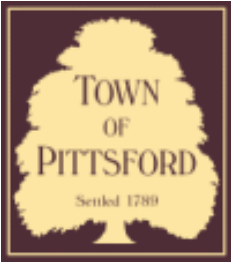
I have reviewed this drawing and accept it as shown. Any changes made to this drawing at any time will affect the contract price. Any and all changes to this drawing must be accompanied by written explanation and approved by both parties prior to production.

Customer Signature: _____

Date: _____

Landlord Signature: _____

Date: _____



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S22-000011

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3349 Monroe Avenue ROCHESTER, NY 14618

Tax ID Number: 150.12-1-18

Zoning District: C Commercial / MATZ Monroe Avenue Transitional Zone

Owner: Pittsford Plaza SPE, LLC

Applicant: Premier Signs Systems, LLC

Application Type:

- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 31 square feet. The sign will identify the business "Stretch Lab".

Meeting Date: January 12, 2023

STRETCH LAB

3349 MONROE AVE. ROCHESTER, NY



BY  **PREMIER SIGN SYSTEMS, LLC**
A FULL SERVICE SIGN & AWNING COMPANY



NIGHT TIME

PHOTO ELEVATION NOT TO SCALE

DESCRIPTION:

MANUFACTURE AND INSTALL (1) SET OF LED FACE LIT CHANNEL LETTERS FLUSH MOUNTED.

"STRETCH" 2" HIGH CHANNEL LETTERS TO HAVE TRANSLUCENT DIGITAL PRINTED PERFORATED VINYL ON FACES.

"LAB" 2'-5 7/8" HIGH TO BE FACE LIT WITH TRANSLUCENT DIGITAL PRINTED VINYL ON FACES.

COLORS:

"STRETCH":

FACES: 3/16" #7328 WHITE ACRYLIC FACES W/ APPLIED DIGITAL PRINT PERFORATED VINYL - PMS 2189C

TRIMCAP: WHITE

RETURNS: WHITE

"LAB":

FACES: 3/16" #7328 WHITE ACRYLIC FACES WITH APPLIED DIGITAL PRINT TRANSLUCENT VINYL.

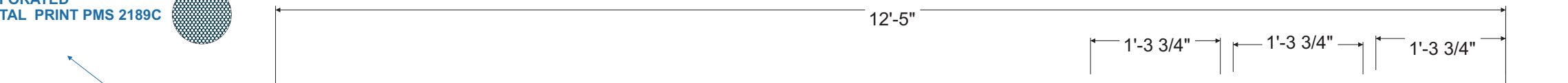
NOTE: SURVEY REQUIRED.



LOGO COLORS:

- Digitally printed to match PMS 631C Teal
- Digitally printed to match PMS 2189C Navy
- Digitally printed to match PMS 198C Red

PERFORATED DIGITAL PRINT PMS 2189C



SCALE" 3/4" = 1'-0"

SIDE VIEW

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: _____

Date _____

THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

ALL ELECTRICAL SIGNS REQUIRE 120V ELECTRIC SUPPLIED BY CUSTOMER UNLESS OTHERWISE STATED.

ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC

PRODUCTION READY ART WORK YES NO

REVISIONS		
DATE	DESCRIPTION	INIT.
XXX		



A FULL SERVICE SIGN & AWNING COMPANY
 10 Excel Drive Rochester, NY 14621
 P: 585-235-0390 F: 585-235-0392

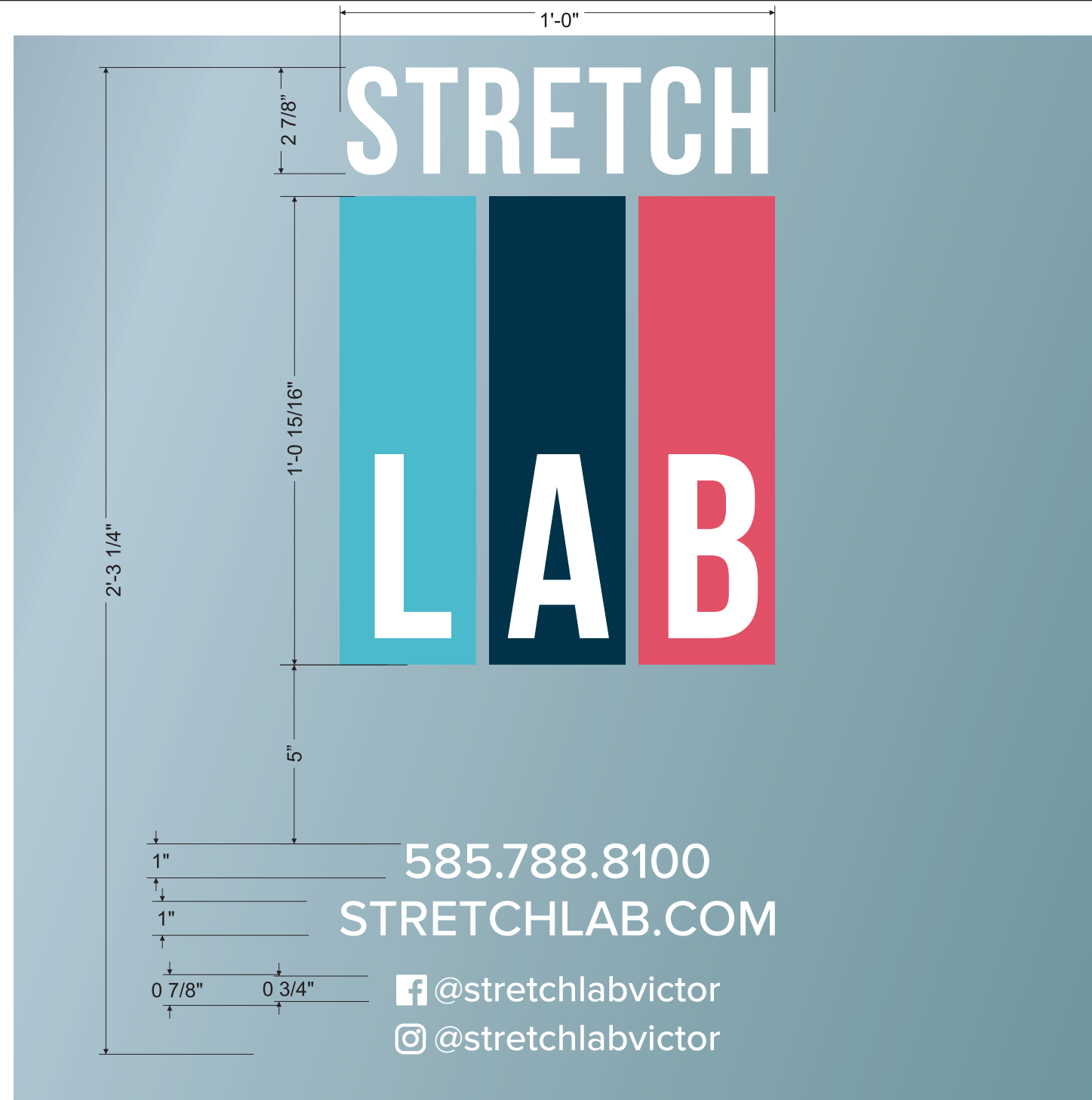
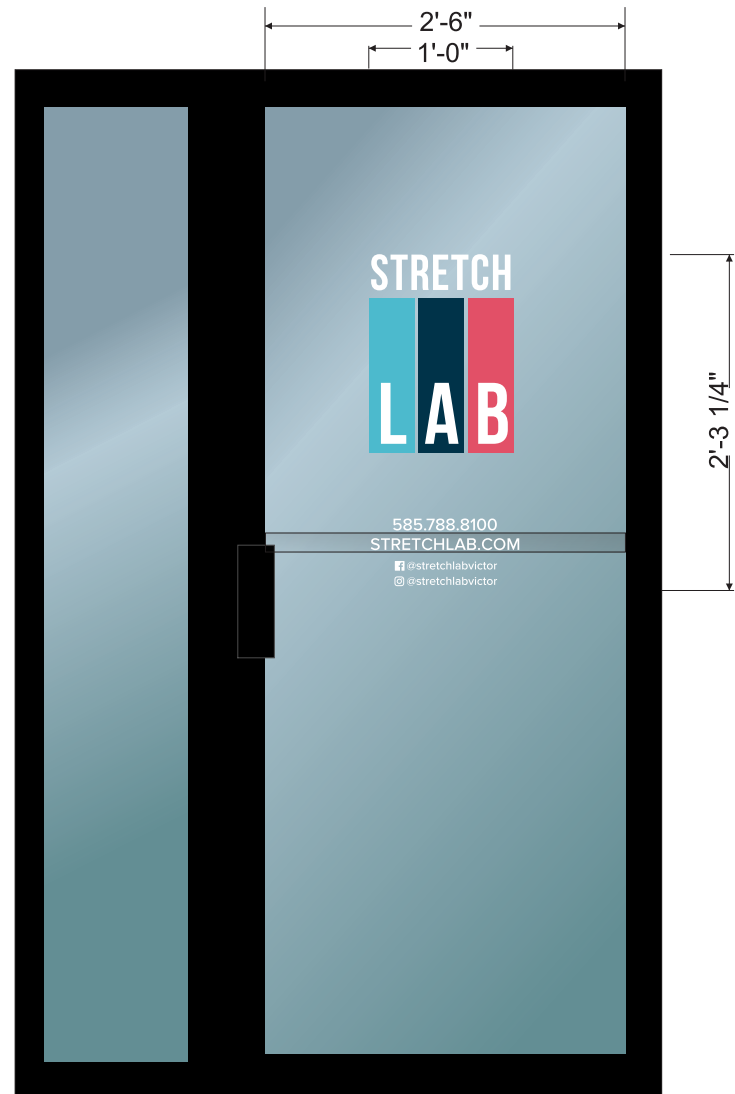
www.premiersignsystems.com

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SIGN TYPE	CHANNEL LETTERS		
CUSTOMER	STRETCH FIT		
LOCATION	3349 MONROE AVE ROCHESTER, NY		
SALES PERSON	JP	DESIGNER	MR
DATE PREPARED	09/26/22		
SCALE	AS NOTED		
SQUARE FOOTAGE	31.2		
DRAWING #	10027	PAGE #	01
		REVISION #	



PHOTO ELEVATION NOT TO SCALE



DESCRIPTION:

MANUFACTURE AND INSTALL FIRST SURFACE WINDOW VINYL GRAPHICS AND DIGITAL PRINTS

- 3M #7725-20 Matte White
- Digitally printed to match PMS 631C Teal
- Digitally printed to match PMS 2189C Navy
- Digitally printed to match PMS 198C Red

SCALE: 3/4" = 1'

SCALE: 3" = 1'

I have carefully reviewed and hereby accept the drawing(s) as shown. I realize that any changes to these designs made before or after production may alter the contract price. All changes must be in writing and approved by both parties prior to production.

Signature: _____

Date _____
 THE CUSTOM ARTWORK DEPICTED HEREIN IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROPOSED.

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ALL ELECTRICAL SIGNS MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH ARTICLE 600 NEC

PRODUCTION READY ART WORK YES NO

REVISIONS		
DATE	DESCRIPTION	INIT.



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SIGN TYPE	VINYL GRAPHICS/DIGITAL PRINT		
CUSTOMER	STRETCH FIT		
LOCATION	3349 MONROE AVE		
	ROCHESTER, NY		
SALES PERSON	JP	DESIGNER	MR
DATE PREPARED	09/26/22		
SCALE	AS NOTED		
SQUARE FOOTAGE			
DRAWING #	10027	PAGE #	02
		REVISION #	