

**Design Review & Historic Preservation Board  
Agenda  
December 8, 2022**

**HISTORIC PRESERVATION DISCUSSION**

**BUILDING INSPECTOR REMARKS**

**RESIDENTIAL APPLICATION FOR REVIEW**

- **41 Arlington Drive**  
The Applicant is requesting design review for a kitchen and first floor remodel to enclose a 30 sf front porch.
- **29 Kirklees Road**  
The Applicant is returning to design review for the addition of a front entry porch to an approved mudroom and garage renovation.
- **105 Mill Road**  
The Applicant is requesting design review for the construction of approximately a 400 sf addition off the side of the house.
- **9 Arrowhead Road**  
The Applicant is requesting design review of a 244 sf addition and a 37 sf porch.

**RESIDENTIAL APPLICATION FOR REVIEW - NEW**

- **61 & 63 Skylight Trail**  
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. 61 Skylight Trail will be approximately 2014 sq. ft. and 63 Skylight Trail will be 2001 sf. The town homes will be located in the new Alpine Ridge development.

**COMMERCIAL APPLICATION FOR REVIEW**

- **3349 Monroe Avenue – The Paper Store**  
The Applicant is requesting design review for the addition of a business identification sign. The building sign will be approximately 106.25 sf. The sign meet zoning and will identify the business "Gifts & More at the Paper Store".

**CERTIFICATE OF APPROPRIATENESS – RETURNING**

- **465 Marsh Road**  
The Applicant is returning for a Certificate of Appropriateness, pursuant to Code Section 185-196, for renovations as well as demolition and rebuild of side structure. This property is zoned (RN) Residential Neighborhood and is designated historic.

**Design Review and Historic Preservation Board**  
**Minutes**  
**November 10, 2022**

**PRESENT**

Jim Vekasy, Bonnie Salem, Paul Whitbeck, John Mitchell

**ALSO PRESENT**

Doug DeRue, Director of Planning and Zoning; Anthony Caruso, Building Inspector; Susan Donnelly, Secretary to the Board

**ABSENT**

Dirk Schneider, Chairman; David Wigg, Vice Chairman; Kathleen Cristman

**HISTORIC PRESERVATION DISCUSSION**

- **77 West Bloomfield Road – Verizon Wireless Stealth Tree Cellular Facility**

Doug DeRue, Director of Planning and Zoning for the Town of Pittsford, opened a discussion regarding a stealth monopine cellular facility proposed to be installed on a lot behind 77 West Bloomfield Road, an inventoried property. Part of the approval for this tower is any potential impact it might have on any property that is eligible for the National Register of Historic Places. This is a legal step in the approval process. It was discussed that this home, while inventoried, has undergone many changes over the years and is an undetermined candidate for this listing. Mr. DeRue reviewed with the Board the reasons for the choice of this particular site. The tower will be located deep into the site some 250' from the closest corner of the home. After discussion, the Board determined that this tower will have no negative impact.

John Mitchell moved to take no action due to no comment or concern compliant to the plans presented to the Board on 11/10/22 as referenced in the packet.

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – RETURNING**

- **315 Thornell Road**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for replacement windows. This property is zoned (RN) Residential Neighborhood and is designated historic.

This hearing is still open.

Tom Garman of Wonder Windows and the property owner Jordan Morgenstern were present.

Samples of the composite and wood windows were shown to the Board. Mr. Garman discussed the composite window as superior to the window in the sense of longevity and energy conservation. In addition, the wood windows are significantly more expensive than the composite. The windows proposed will be a muted white with 6/6 divided lites to replicate what is currently on the building.

Bonnie Salem indicated that wood windows are preferred and expressed concern about preserving the historic integrity of the property which is very visible from two main roads.

A discussion of the storm windows was held. There is room to put the storms back on the home, but they and the windows are distressed. The Board requested that these storms not be discarded but did not necessarily have to go back on.

There were no public comments.

John Mitchell moved to close the public hearing.

Jim Vekasy seconded.

A resolution was moved to grant a Certificate of Appropriateness by Board member Bonnie Salem, seconded by Board member John Mitchell, and was voted upon by members of the Board as follows:

Bonnie Salem	Aye
Paul Whitbeck	Aye
Kathleen Cristman	Absent
John Mitchell	Aye
David Wigg	Absent
Jim Vekasy	Aye
Dirk Schneider	Absent

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

- a. All work is to be completed by December 12, 2023.
- b. All work will be performed by an expert window installer.
- c. All windows will be 6 over 6 with divided lites.
- d. The existing storm windows will be removed and retained for future use.

## **RESIDENTIAL APPLICATION FOR REVIEW**

- **37 Devonwood Lane**

The Applicant is requesting design review for 544 SF oversized accessory structure next to the pool.

Mike Volpe of Josh Landscape was in attendance.

Mr. Volpe discussed the pool house accessory structure. He indicated the materials including siding, trim and doors would be the same as on the home. The roof shingles and aluminum gutters will also match existing on home. The indoor ceiling will be tongue and groove.

The height was altered to 12 ft. and will not be taller than the addition on the home. This was done to minimize the impact of the structure to Tobey Road. Bonnie Salem indicated this will be near a designated home, but she has no issue with it.

John Mitchell moved to accept the application as submitted provided all materials match the existing.

Bonnie Salem seconded.

All Ayes.

- **809 Roosevelt Road**

The Applicant is requesting design review for the construction of an approximately 232 SF sunroom addition off the back of the house.

No representative was present to discuss this application with the Board, however the Board felt they had enough information to proceed with a review.

The plans indicated that the siding, trim, fascia and soffits would match the existing on the home.

John Mitchell moved to accept the application as submitted with the condition that all materials match the existing on the home.

Bonnie Salem seconded.

All Ayes.

## **RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES**

- **78 Coventry Ridge**

The Applicant is request design review for the construction of a two-story single family home approximately 3135 square feet that is located in the Coventry Ridge Subdivision.

Austin Miller representing Coventry Ridge Building Corporation was present.

A short discussion of the flat panel on the front elevation was held.

Bonnie Salem moved to accept the application as submitted.

John Mitchell seconded.

All Ayes.

- **6 Aden Hill**

The Applicant is requesting design review for the construction of a one-story single-family home. The home will be approximately 1756 square feet and will be located in the Wilshire Hill Subdivision.

Bill Arieno representing Pride Mark Homes was present to discuss this application with the Board.

Mr. Arieno described the placement of the home on the pie shaped corner lot. He indicated that this lot is similar to another lot in the Wilshire Hills subdivision.

Paul Whitbeck moved to approve the application as submitted.

Bonnie Salem seconded.

All Ayes.

## **DISCUSSION ON MATERIALS - ALPINE RIDGE SUBDIVISION**

Bill Arieno and Keith Barker of Morrell Builders were present to submit samples of new building materials proposed to be utilized on Section two of the Alpine Ridge subdivision. It was reported that the Board's concerns with the materials on the corner boards on the new section have been mitigated. Mr. Arieno and Mr. Barker presented samples for the board and batten and the cedar shakes. They report the vinyl materials are the same manufacturer except for the cedar shakes but are all in the same color palette. Only two more units will have cedar shakes in the gables.

The Board expressed that they are pleased to see the corner board corrections and are generally satisfied with the new product although there are lingering concerns about how the products will age in comparison to the products in section one.

After further discussion, John Mitchell moved to accept the products as presented on November 10, 2022, for lots 29 and 30, section two as approved on the condition that the materials are matching colors despite being a slightly different material.

Paul Whitbeck seconded.

All Ayes.

**REVIEW OF MINUTES OF OCTOBER 27, 2022, MEETING**

John Mitchell moved to accept the minutes of the October 27, 2022, meeting.

Bonnie Salem seconded.

All Ayes.

**ADJOURNMENT**

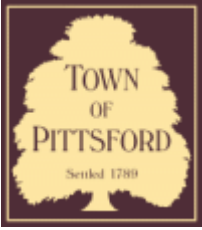
John Mitchell moved to close the meeting at 7:40 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly  
Secretary to the Design Review and Historic Preservation Board

DRAFT



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B22-000176

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 41 Arlington Drive PITTSFORD, NY 14534

**Tax ID Number:** 164.08-1-3

**Zoning District:** RN Residential Neighborhood

**Owner:** Chad Lovelady

**Applicant:** Chad Lovelady

#### Application Type:

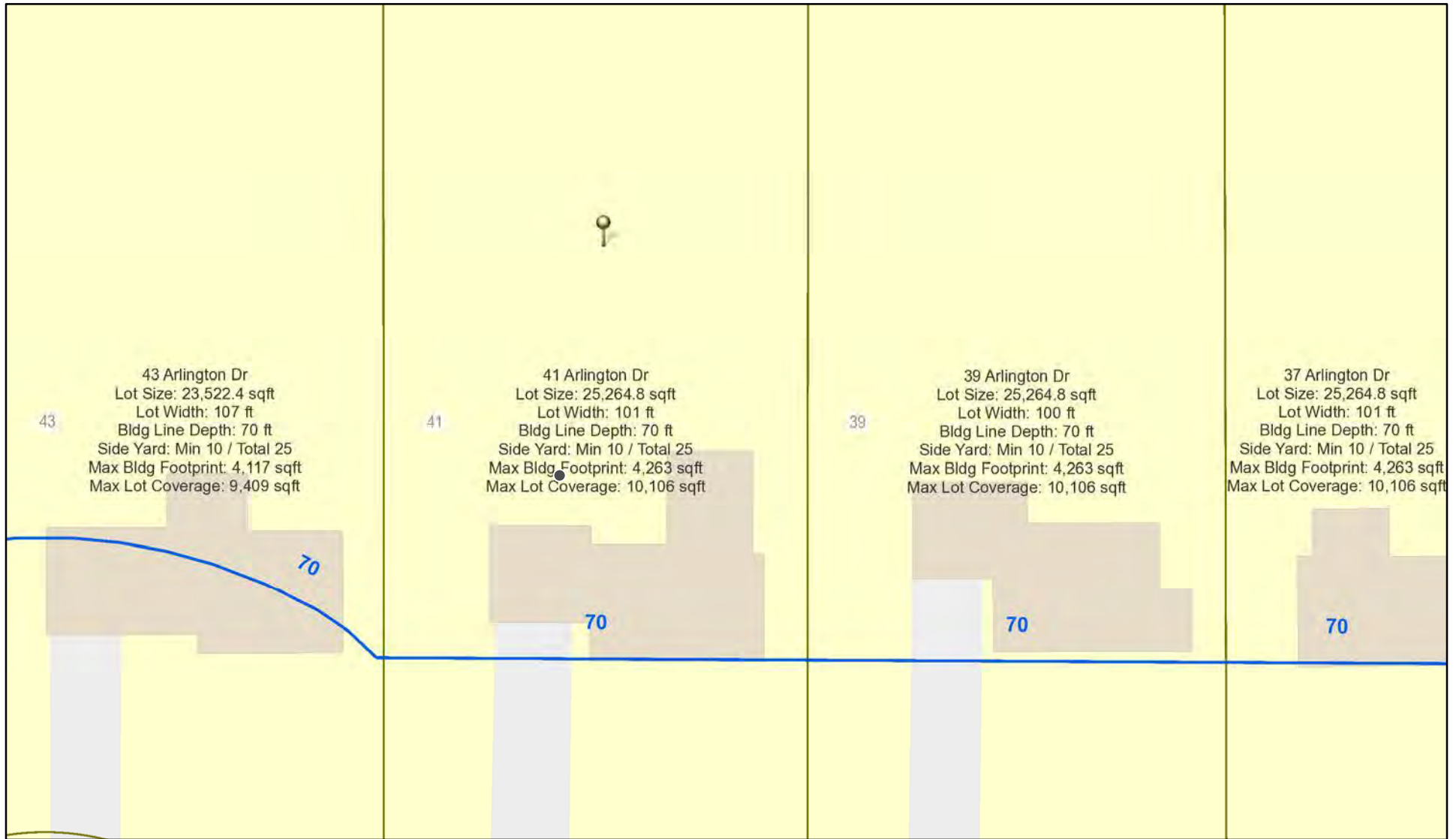
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|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The applicant is requesting design review for a kitchen and first floor remodel to enclose a 30 sf front porch.

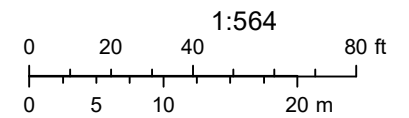
**Meeting Date:** December 08, 2022



# RN Residential Neighborhood Zoning



Printed December 1, 2022



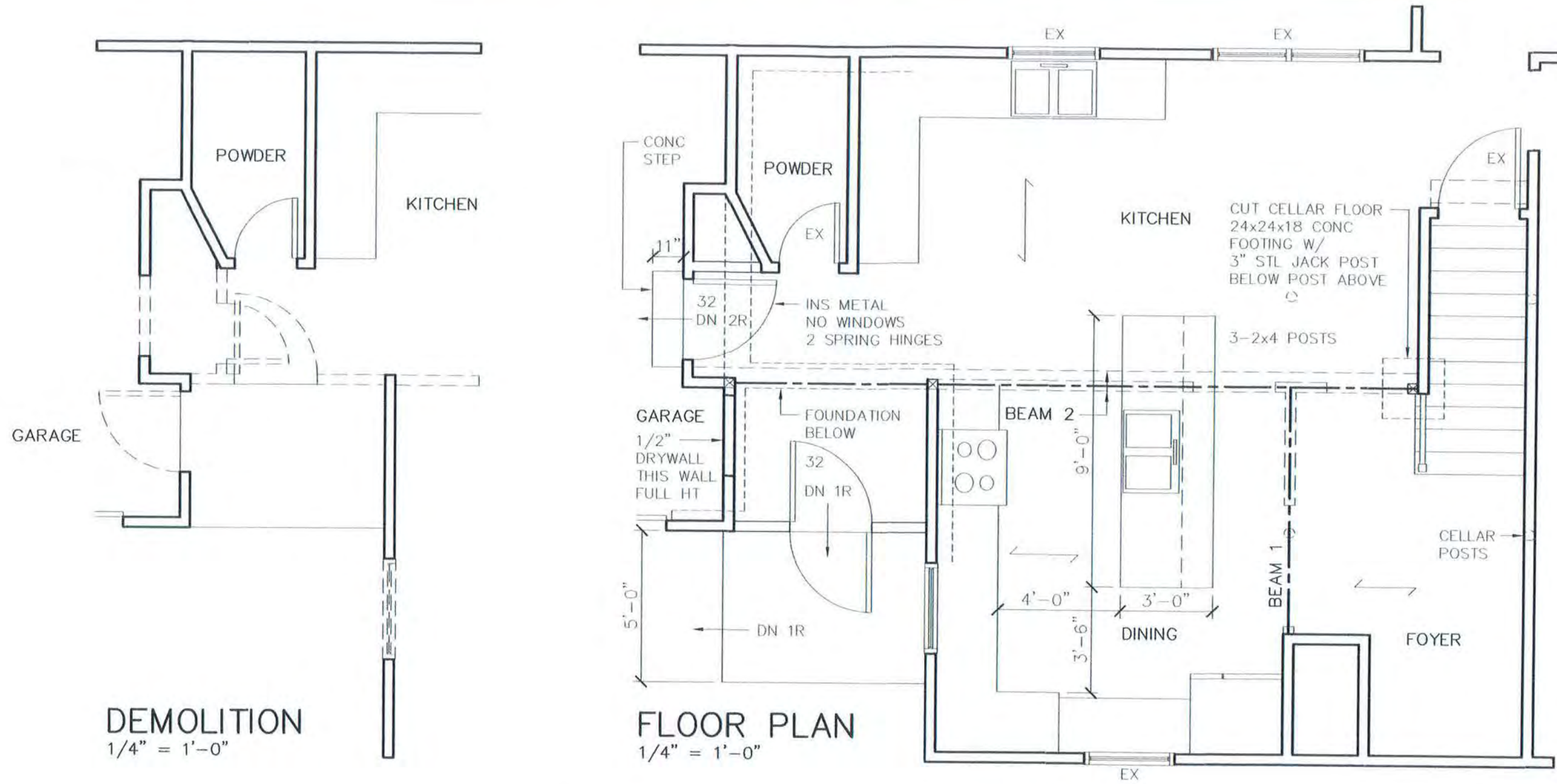
Town of Pittsford GIS

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Arlington Dr



HOUSE PLANS  
FOR  
41 ARLINGTON DRIVE  
PITTSFORD, NEW YORK

LOSON ARCHITECTURE PLLC 284 THORNTON ROAD ROCHESTER NY 14617 585-406-4757	
DATE 10/25/22	DW'G NO. A-1



R-49 KRAFT BATT INS  
W/ BAFFLE @ EAVE  
1 BOX VENT  
CONTINUOUS VENT

2x4 CEILING 16"OC  
HANG FROM LEDGER  
ALIGN W/ BEAM BOTTOM

REMOVE WALL REF A-1  
FOR BEAM DETAIL

2x6 STUD WALL 16"OC  
R-21 KRAFT BATT INS

2x6 JOISTS 16"OC  
HANG EACH END ON  
10 MIL POLY VAPOR FILM W/  
R-30C UNFACED BATT INS  
3/4" T&G PLYWD SUBFLOOR  
OVER EXIST CONC STOOP

1/2 HEIGHT  
AWNING

BRICK  
LANDING

### WEST ELEVATION

1/4" = 1'-0"



### SOUTH ELEVATION

1/4" = 1'-0"

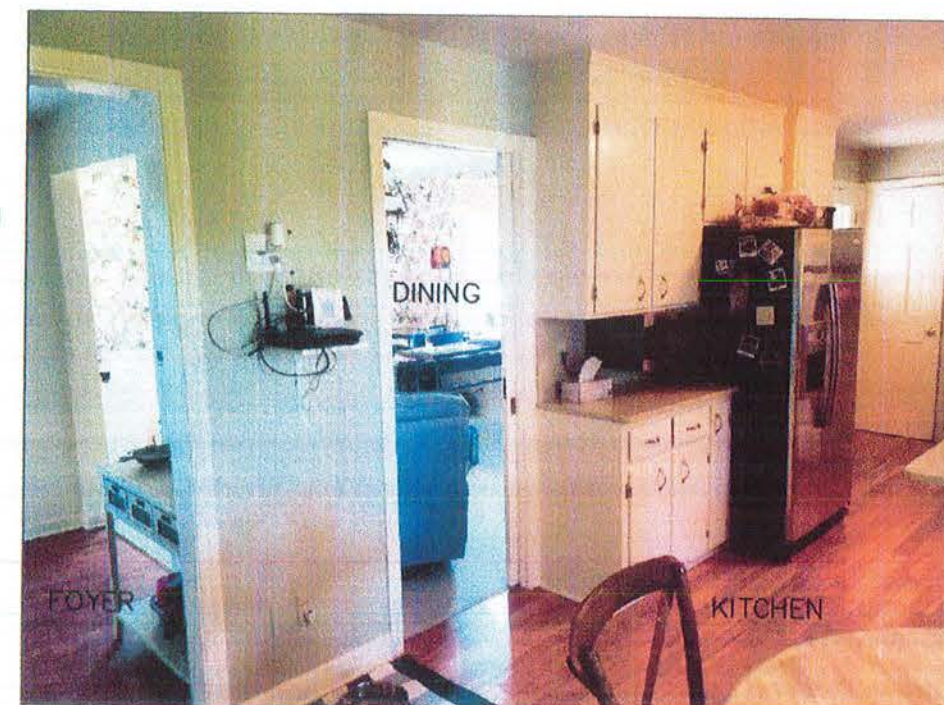
HOUSE PLANS  
FOR  
41 ARLINGTON DRIVE  
PITTSFORD, NEW YORK



1. ANDERSEN WINDOW MODEL NOTED  
U=.29 W/ LOW E GLAZING.

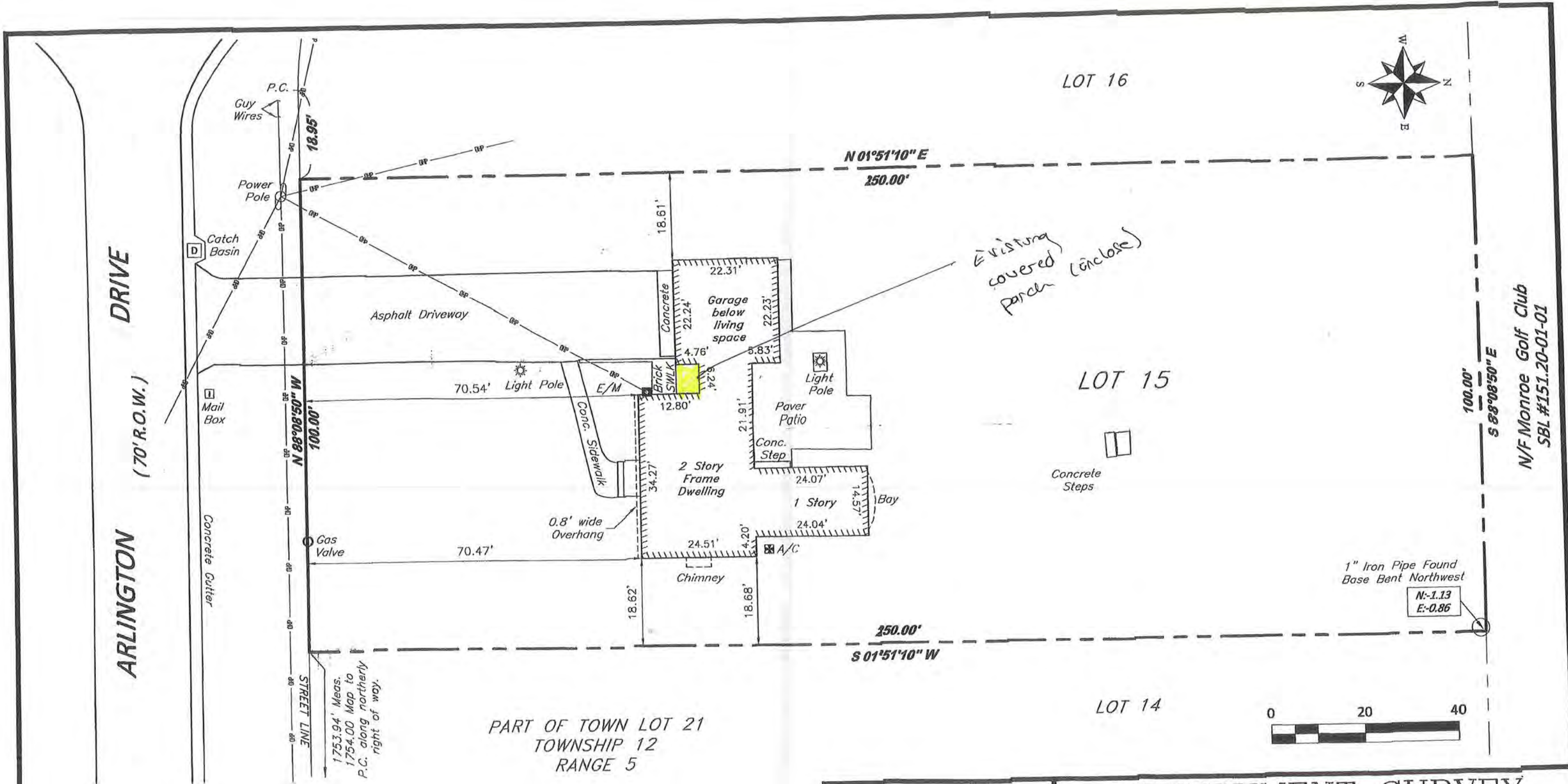
2. THESE PLANS COMPLY WITH THE 2020  
IRC OF NYS FOR RESIDENTIAL ENERGY  
EFFICIENCY CHAPTER 11 TABLE N1102.1.2  
WITH THE FOLLOWING MINIMUM INSULATION  
VALUES FOR NEW CONSTRUCTION:

WINDOWS U-.30  
CEILINGS R-49  
WALLS R-20  
FLOOR R-30



LOSON ARCHITECTURE PLLC  
284 THORNTON ROAD  
ROCHESTER NY 14617  
585-406-4757

DATE	DW'G NO.
10/25/22	A-2



I hereby certify to the parties listed hereunder that this map was made using the reference material listed hereon and the notes of an instrument survey performed in accordance with the current standards of the New York State Association of Professional Land Surveyors completed on April 28th, 2022.

TRACEY R. LOVELADY  
 CHAD A. LOVELADY  
 BROWN, GRUTTADARO AND PRATO, PLLC  
 PREMIUM MORTGAGE CORPORATION c/o LOANCARE, LLC  
 its successors and/or assigns as their interests may appear  
 PETER J. TUMMINELLI, ESQ.  
 WEBTITLE AGENCY

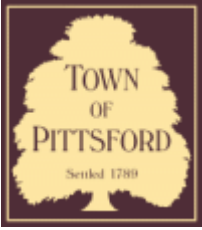
*[Signature]*  
 Alfred I LaRue, N.Y.S.P.L.S # 046558

**Note:** Ties are not taken to foundation unless specified  
 Field work to obtain ties was performed at a 1: 10000 or better precision  
 This is not a true valid copy without the land surveyors inked signature and embossed seal.

**McMahon LaRue Associates, P. C.**  
 ENGINEERS AND SURVEYORS

822 HOLT ROAD  
 WEBSTER, NY 14580  
 (585)-436-1080  
 WWW.MCMAHON-LARUE.COM

INSTRUMENT SURVEY	
Address	41 ARLINGTON DRIVE TOWN OF PITTSFORD
Lot No.	15 Subdivision GOLFSIDE ACRES
Reference Data	Liber 128 of Maps Page 17 Liber 3476 of Deeds Page 354
Client	ANNE DYRING RILEY, ESQ.
Abstract By	
By	ADB Date 5/2/22 Scale 1"= 20' No. 164.08-1-3



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B22-000112

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 29 Kirklees Road PITTSFORD, NY 14534

**Tax ID Number:** 151.16-1-28.2

**Zoning District:** RN Residential Neighborhood

**Owner:** Crumb, Timothy

**Applicant:** Crumb, Timothy

#### Application Type:

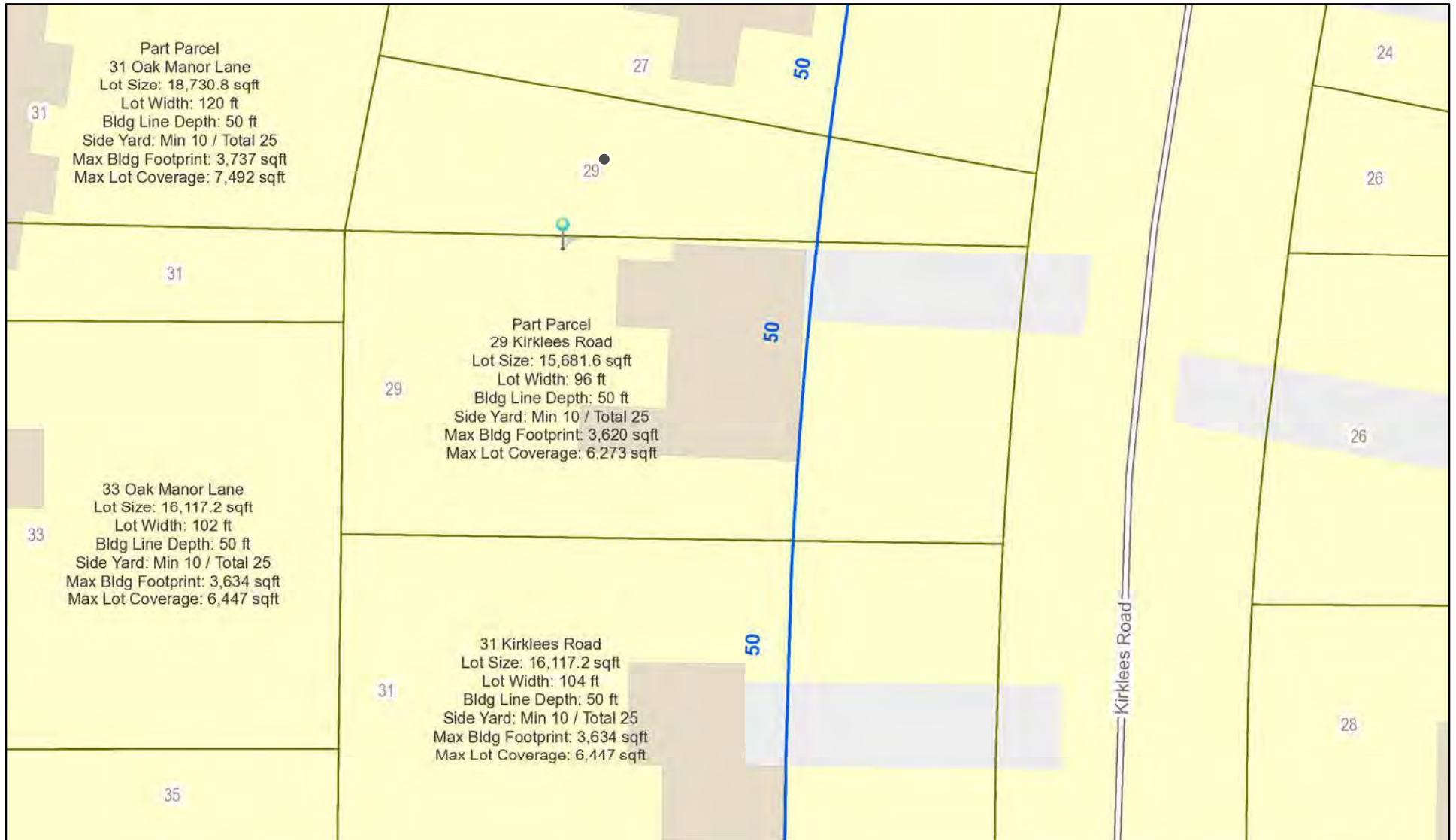
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**Project Description:** The applicant is returning to design review for the addition of a front entry porch to an approved mudroom and garage renovation.

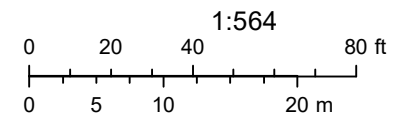
**Meeting Date:** December 8, 2022



# RN Residential Neighborhood Zoning



Printed July 20, 2022



Town of Pittsford GIS

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Oak Manor Ln



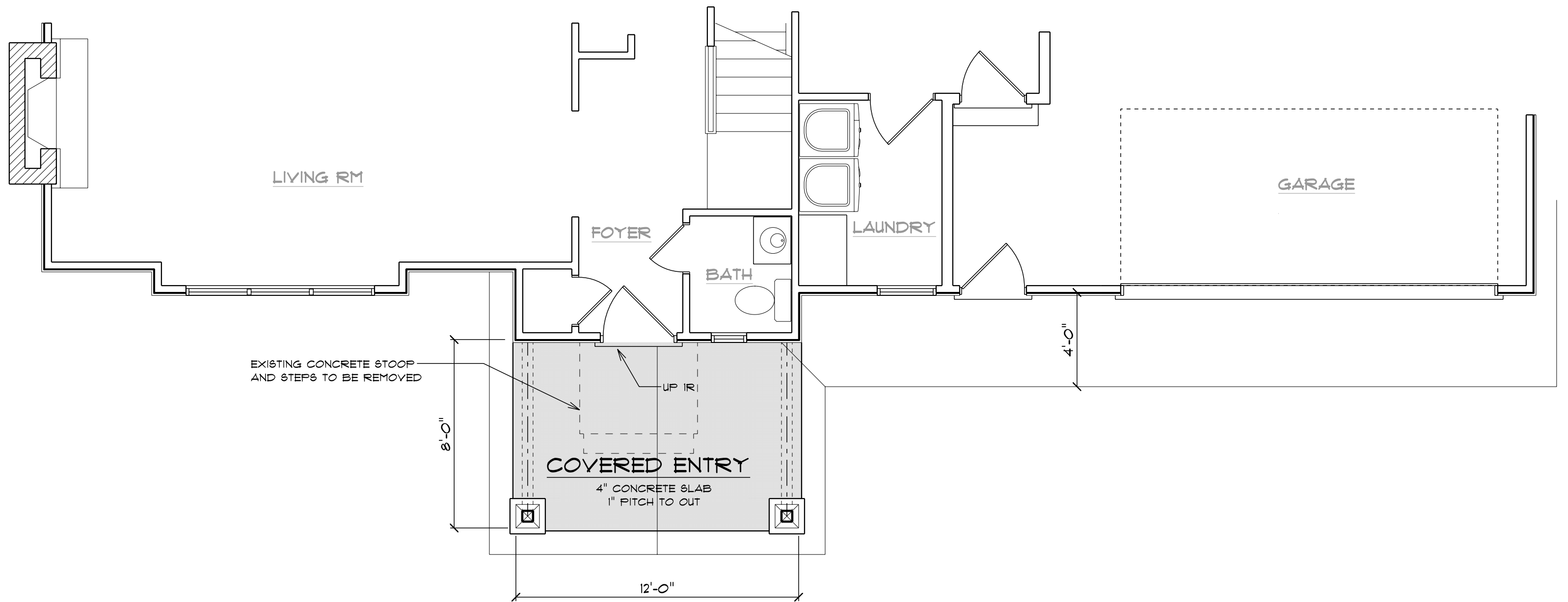
Kirklees Rd

Kirklees Rd

04/03/2021

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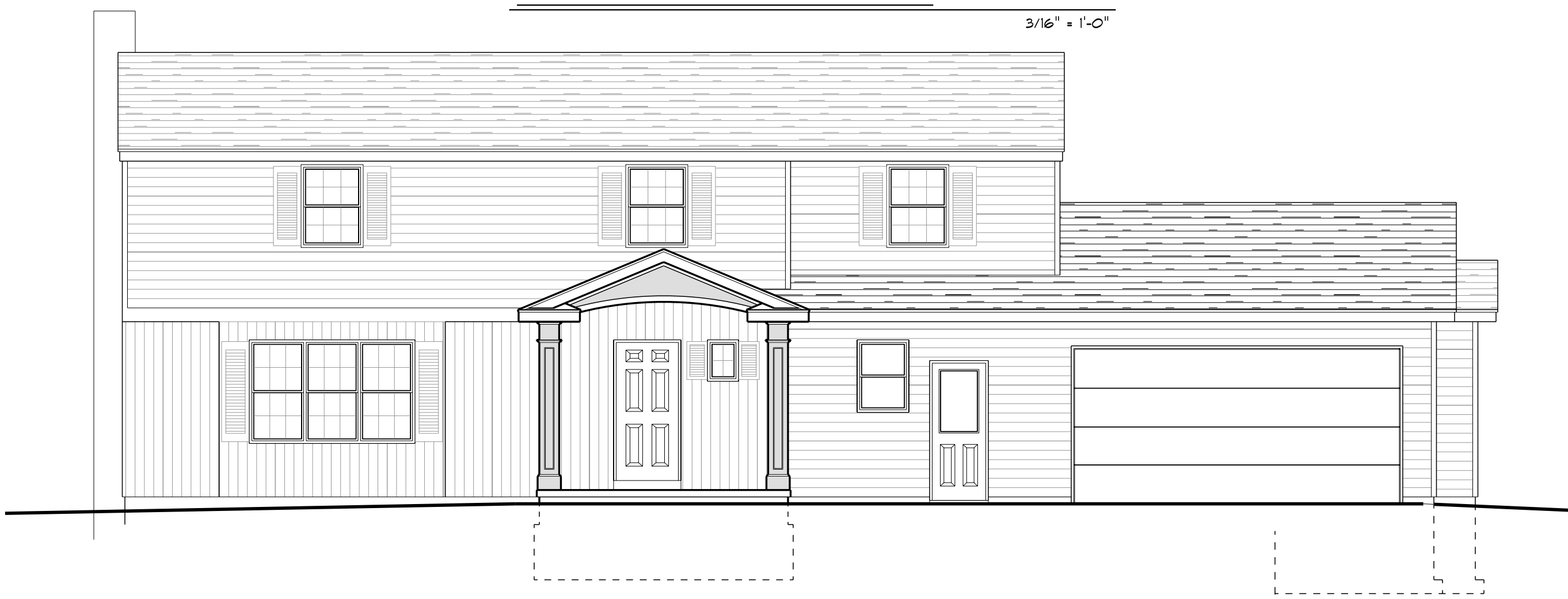
**FIRST FLOOR PLAN**

1/4" = 1'-0"



**FRONT ELEVATION**

3/16" = 1'-0"



**FRONT ELEVATION**

3/16" = 1'-0"

<p>A COVERED ENTRY PORCH ADDITION TO THE:</p> <p><b>CRUMB RESIDENCE</b></p> <p>29 KIRKLEES RD. PITTSFORD, NEW YORK</p> <p>DRAFTING SERVICES AND CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED AND PROVIDED BY:</p> <p><b>MIKE GULLACE</b> 585-261-2596</p>	DATE	11/21/2022
	DRAWN BY	MGG
	CHECKED BY	AKH
	REV.	9/23/2022
	REV.	
	SHEET No.	A-1 OF 1

### DESIGN DATA

SECTION R301

SEISMIC DESIGN CATEGORY 'B'  
 WEATHERING PROBABILITY FOR CONCRETE - SEVERE  
 FROST DESIGN DEPTH 42"  
 TERMITE INFESTATION - SLIGHT TO MODERATE  
 WINTER DESIGN TEMPERATURE 1 degrees F  
 ICE BARRIER UNDERLAYMENT REQUIRED

#### FLOOR DESIGN LOADS      ROOF DESIGN LOADS

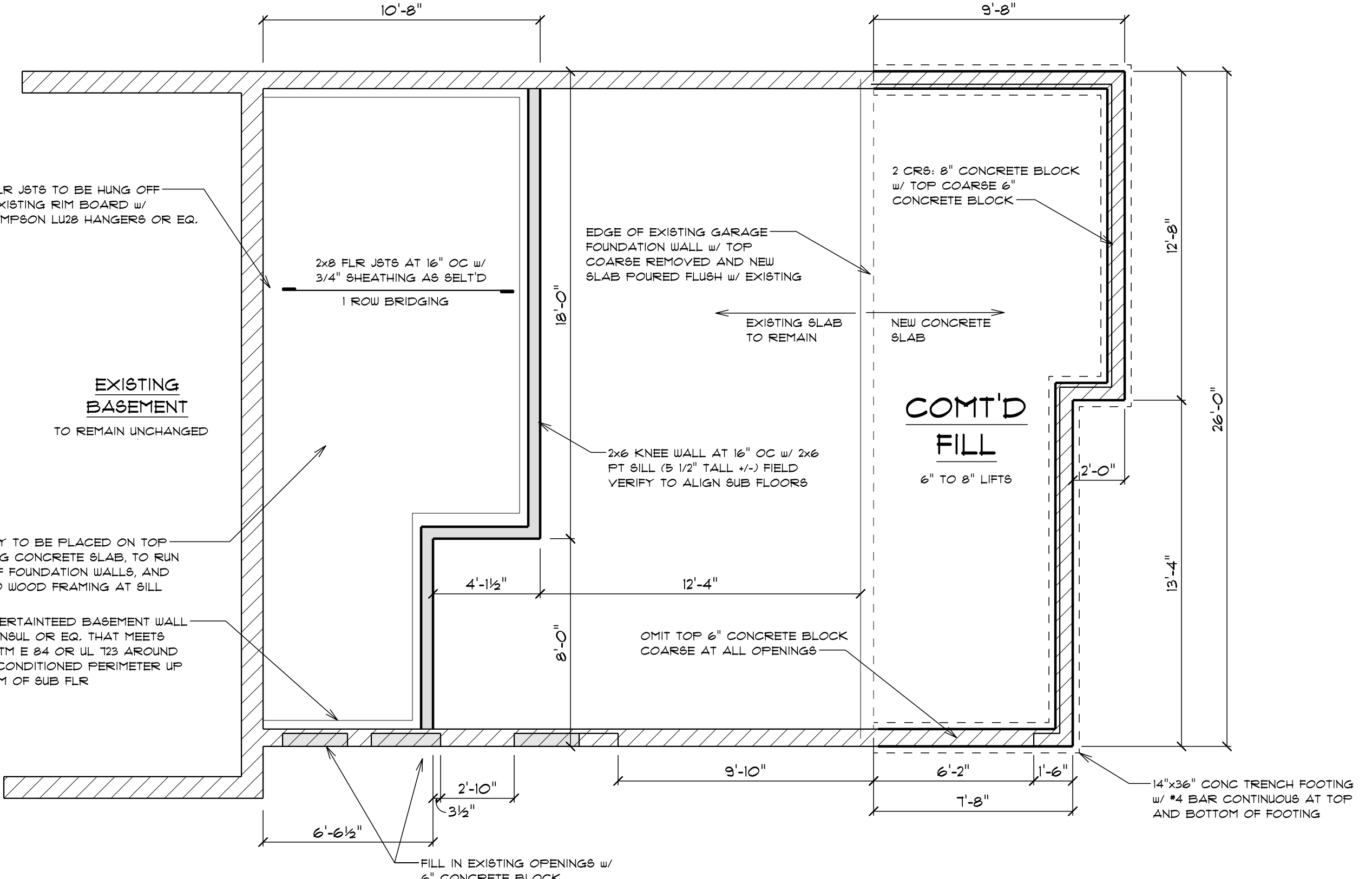
<b>LIVE LOADS</b>		<b>SUPERIMPOSED LOADS</b>	
FIRST FLOOR	40 P&F	GROUND SNOW	40 P&F
SECOND FLOOR	30 P&F	WIND EXPOSURE 'B'	115 MPH
<b>DEAD LOADS</b>		<b>DEAD LOADS</b>	
STRUCTURE	10 P&F	STRUCTURE	10 P&F
FLOOR MAT'L	2 P&F	SHINGLES	3 P&F
CEILING MAT'L	2 P&F	CEILING MAT'L	2 P&F
MISC.	1 P&F	MISC.	1 P&F



**FRONT ELEVATION**  
3/16" = 1'-0"

### GENERAL NOTES

- CONSTRUCTION SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL REQUIREMENTS, NOTES, AND DIMENSIONS PRIOR TO CONSTRUCTION.
- FINISH MATERIALS TO BE SELECTED BY OWNER / CONTRACTOR.
- DO NOT SCALE DRAWINGS.
- ALL EXISTING FOUNDATION WALLS AND FOOTINGS ASSUMED TO HAVE BEEN DESIGNED FOR 2000 P&F BEARING EXTENDING A MINIMUM OF 42 INCHES BELOW FINISH GRADE. FOOTINGS ASSUMED TO BEAR ON SOIL THAT IS FIRM, UNDISTURBED, FREE OF FROST, AND LOOSE MATERIALS. IF ANY OF THESE ASSUMPTIONS ARE FOUND TO BE INCORRECT, A PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE NOTIFIED AND REMEDIAL WORK SPECIFIED IF DEEMED NECESSARY BASED ON ACTUAL SITE CONDITIONS.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR VERIFICATION OF SAFE SOIL BEARING.
- BASEMENT, CRAWL SPACE, AND FOOTING DESIGN ASSUMES PARTIALLY SATURATED SOIL TO FULL WALL DEPTH. IF SATURATED SOIL CONDITIONS ARE FOUND, A LICENSED ENGINEER SHOULD IMMEDIATELY REVIEW AND REVISE LAYOUT AS REQUIRED.
- POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS AND FOOTINGS.
- CONCRETE STRENGTH      ACI 301-12 W/ TYPE 2 CEMENT 28 DAY STRENGTH
- FOOTING      2500 P&F
- ALL OTHERS      3500 P&F
- MASONRY SPECIFICATIONS      ASTM C90, GRADE N-1, Fm=3500 P&F
- MORTAR SPECIFICATIONS      ASTM C270, TYPE S
- GROUT SPECIFICATIONS      ASTM C476, Fc=2000 P&F
- STEEL SPECIFICATIONS
- STRUCTURAL STEEL      ASTM A-36, Fy= 36 K&F
- REINFORCING STEEL      ASTM A-615, Fy= 40 K&F
- WIRE MESH      ASTM A-185, 6x6 10/10 WWM REINFORCING
- BOLTS      ASTM A-307, Fy= 33 K&F
- WOOD CONSTRUCTION
- FRAMING LUMBER      HEM-FIR #2 Fb= 1150 P&F E= 1,400,000 P&F
- SHEATHING - EXTERIOR GRADE      APA RATED
- MICROLAM&S AND GANGLAM&S      Fb= 2800 P&F E=2,000,000 P&F
- WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH SHALL BE AN APPROVED PRESSURE PRESERVATIVELY TREATED WOOD SUITABLE FOR GROUND CONTACT.
- ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH THE AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH LUMBER PIECE SHALL HAVE A GRADE STAMP OF AN AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM THE EFFECTS OF WEATHERING, HANDLING, STORAGE, RE-SAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.
- BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES.
- DOUBLE JOISTS UNDER ALL LOAD BEARING PARALLEL PARTITIONS AND AT ALL FLOOR OPENINGS.
- TRIPLE STUDS AT JAMBS UNDER BEAMS WITH SPANS GREATER THAN 6' (3" BEARING), DOUBLE STUDS UNDER ALL OTHERS UNLESS OTHERWISE NOTED.
- ALL HEADERS TO BE (2) 2x8 MIN. UNLESS OTHERWISE NOTED.
- ALL FRAMED CONNECTIONS SHALL BE MADE WITH AWC NDS APPROVED CONNECTIONS ON EACH SIDE AND/OR WOOD CONNECTORS BY SIMPSON OR EQ. WITH CURRENT AWC NDS APPROVAL. FOR NAILING LAYOUT SEE 2020 RCNY'S TABLES R602.3(1-4).
- DESIGN OF ELECTRICAL, HVAC, AND SEWER/SEPTIC SHALL BE BY OTHERS.
- SMOKE ALARMS SHALL BE INSTALLED, PER CODE REQUIREMENTS, IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA, AND ON EACH STORY OF THE DWELLING, INCLUDING THE BASEMENT OR CRAWL SPACE AREA.
- ALL SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED, PER CODE REQUIREMENTS, ON EACH FLOOR W/ SLEEPING ROOMS, WITHIN 15 FEET OF EACH SLEEPING AREA, AND ON EACH STORY OF THE DWELLING, INCLUDING THE BASEMENT OR CRAWL SPACE AREA CONTAINING A CARBON MONOXIDE SOURCE.
- ALL HABITABLE SPACES SHALL HAVE AT LEAST ONE EMERGENCY ESCAPE AND RESCUE OPENING WITH A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, A MINIMUM NET CLEAR HEIGHT OF 24", AND A MINIMUM NET CLEAR WIDTH OF 20".



**FOUNDATION PLAN**  
1/4" = 1'-0"

TO THE BEST OF MY PROFESSIONAL EVALUATION, THESE DRAWINGS MEET OR EXCEED THE 2020 ENERGY CONSERVATION CONSTRUCTION OF NEW YORK STATE CODE REQUIREMENTS WITH NYS AMENDMENTS AS OF MAY 2020.

AN ADDITION AND RENOVATION WORK TO THE:

## CRUMB RESIDENCE

29 KIRKLEES RD.    PITTSFORD, NEW YORK

DRAFTING SERVICES AND CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED AND PROVIDED BY:

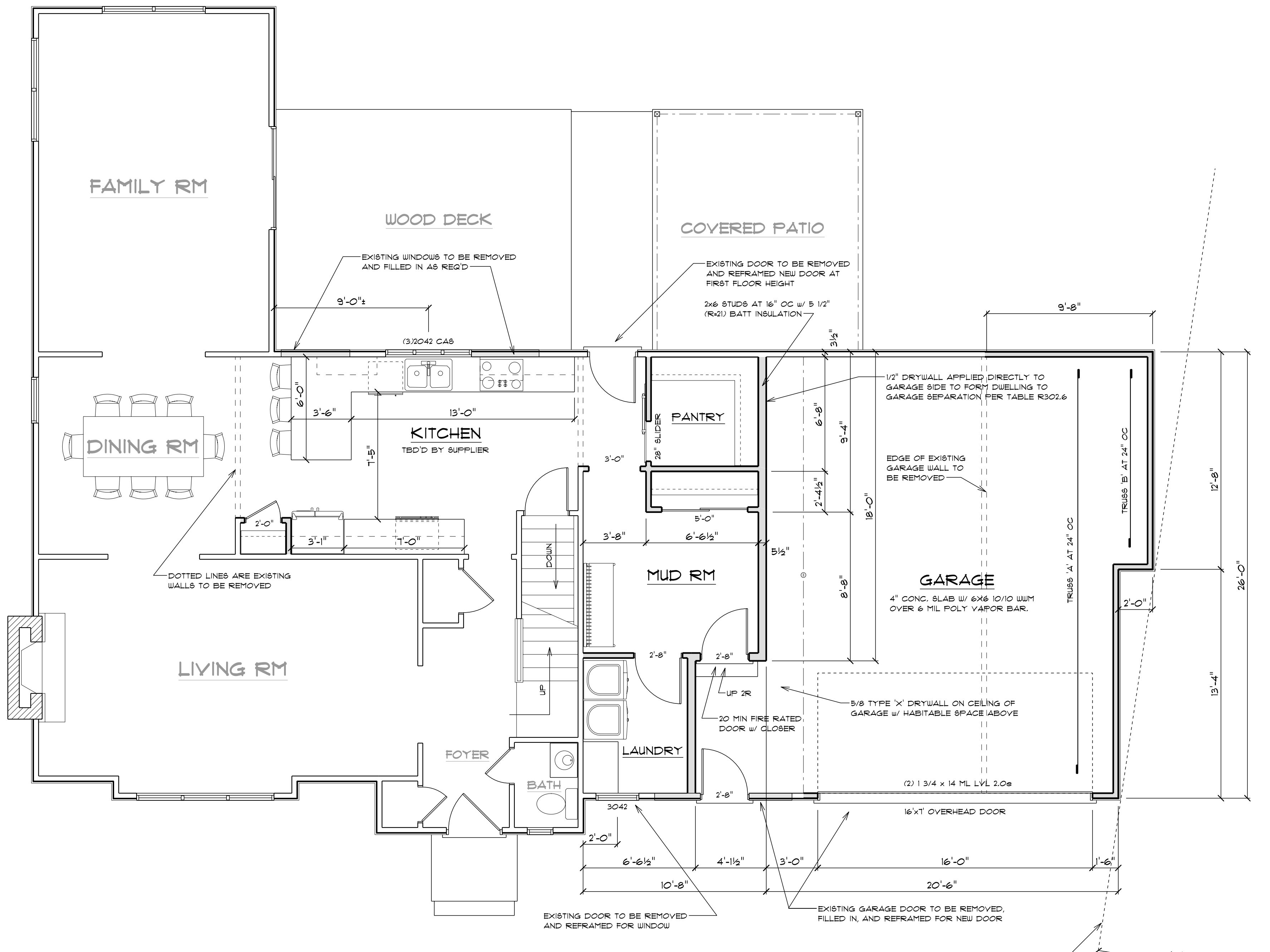
**MIKE GULLACE**    585-261-2596

DATE	4/22/2022
DRAWN BY	MGG
CHECKED BY	AKH
REV.	
REV.	
SHEET No.	A-1 OF 3

**BID SET ONLY**  
**NOT FOR CONSTRUCTION**

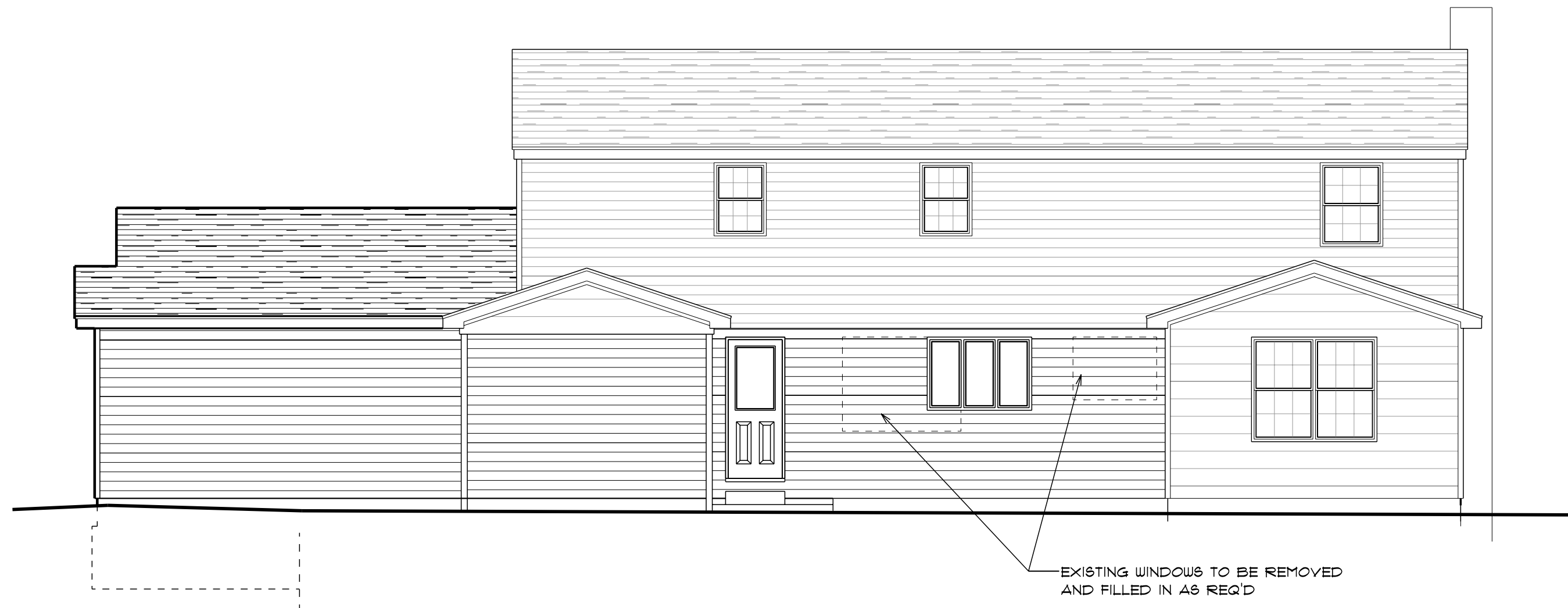
DATE	4/22/2022
DRAWN BY	MGG
CHECKED BY	AKH
REV.	
REV.	
SHEET No.	A-2 OF 3

AN ADDITION AND RENOVATION WORK TO THE:  
**CRUMB RESIDENCE**  
 29 KIRKLEES RD. PITTSFORD, NEW YORK  
 DRAFTING SERVICES AND CONSTRUCTION DOCUMENTS  
 HAVE BEEN PREPARED AND PROVIDED BY:  
**MIKE GULLACE** 585-261-2596



ALL WINDOWS LISTED ON DRAWINGS TO BE ALSIDE DOUBLE HUNG VINYL WINDOWS OR EQ. UNLESS OTHERWISE NOTED. NUMBERS LISTED AT UNIT LOCATION ARE ROUGH OPENING SIZES IN INCHES ONLY (3662 IS 36"x62") ALL WINDOWS w/ THE EGRESS LABEL TO HAVE MAXIMUM CLEARANCE HARDWARE INSTALLED IN ORDER TO REACH 5.7 SF (MIN.) CLEAR OPENING. WINDOWS FROM DIFFERENT MANUFACTURERS OF COMPARABLE SIZE AND THERMAL RATING MAY BE SUBSTITUTED. LOW-E 210/LAMI (.60) ARGON FILLED (TOTAL U VALUE 0.29, SHGC 0.30)

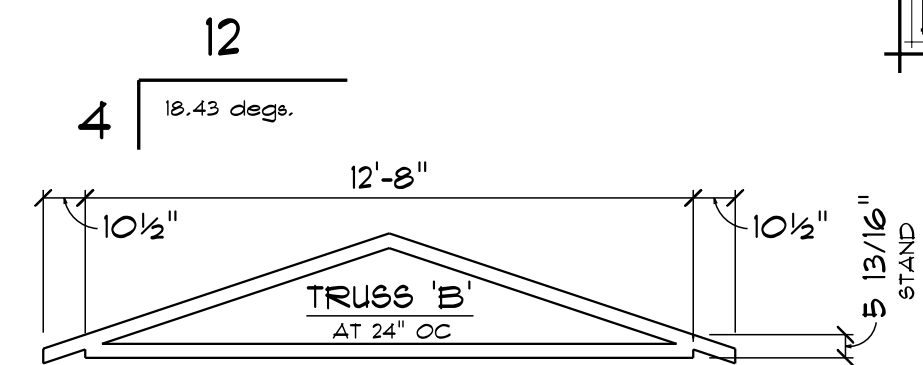
BID SET ONLY  
 NOT FOR CONSTRUCTION



EXISTING WINDOWS TO BE REMOVED AND FILLED IN AS REQ'D

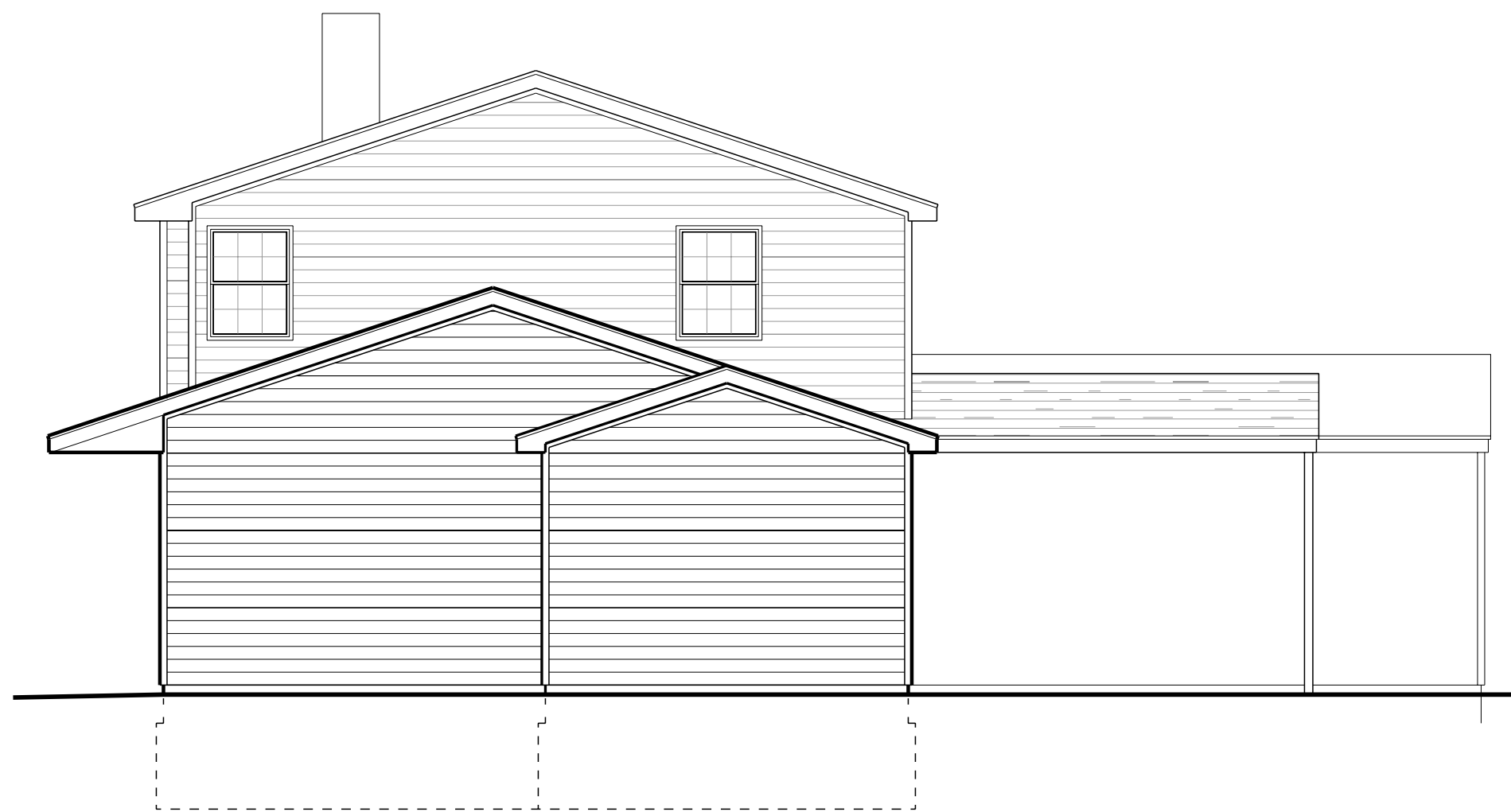
**REAR ELEVATION**

3/16" = 1'-0"



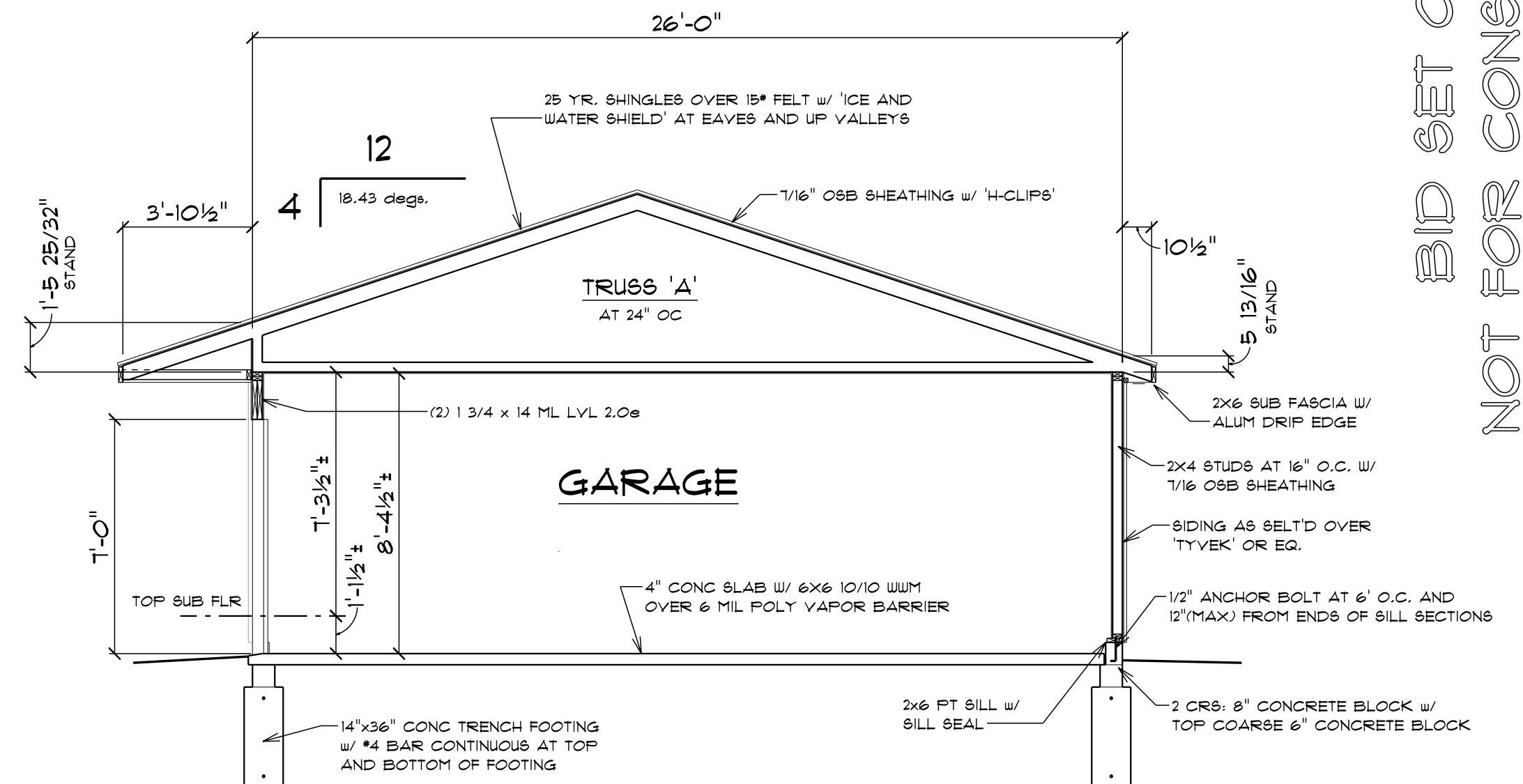
TRUSS DESIGN AND ENGINEERING BY MANUFACTURER. SEE MANUFACTURER FOR TRUSS SPECIFICATIONS, BRACING REQUIREMENTS, AND HOLD DOWN DETAILS.

FIELD VERIFY ALL TRUSS DIMENSIONS PRIOR TO FABRICATION OF TRUSSES



**RIGHT ELEVATION**

3/16" = 1'-0"



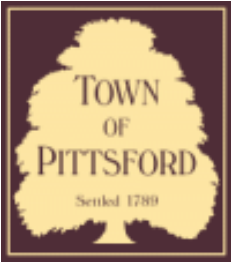
**GARAGE SECTION**

1/4" = 1'-0"

DATE	4/22/2022
DRAWN BY	MGG
CHECKED BY	AKH
REV.	
REV.	
SHEET No.	A-3 OF 3

AN ADDITION AND RENOVATION WORK TO THE:  
**CRUMB RESIDENCE**  
 29 KIRKLEES RD. PITTSFORD, NEW YORK  
 DRAFTING SERVICES AND CONSTRUCTION DOCUMENTS  
 HAVE BEEN PREPARED AND PROVIDED BY:  
**MIKE GULLACE** 585-261-2596

**BID SET ONLY**  
**NOT FOR CONSTRUCTION**



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B22-000179**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 105 Mill Road PITTSFORD, NY 14534

**Tax ID Number:** 178.11-3-2

**Zoning District:** RN Residential Neighborhood

**Owner:** Christopher Frank

**Applicant:** Christopher Frank

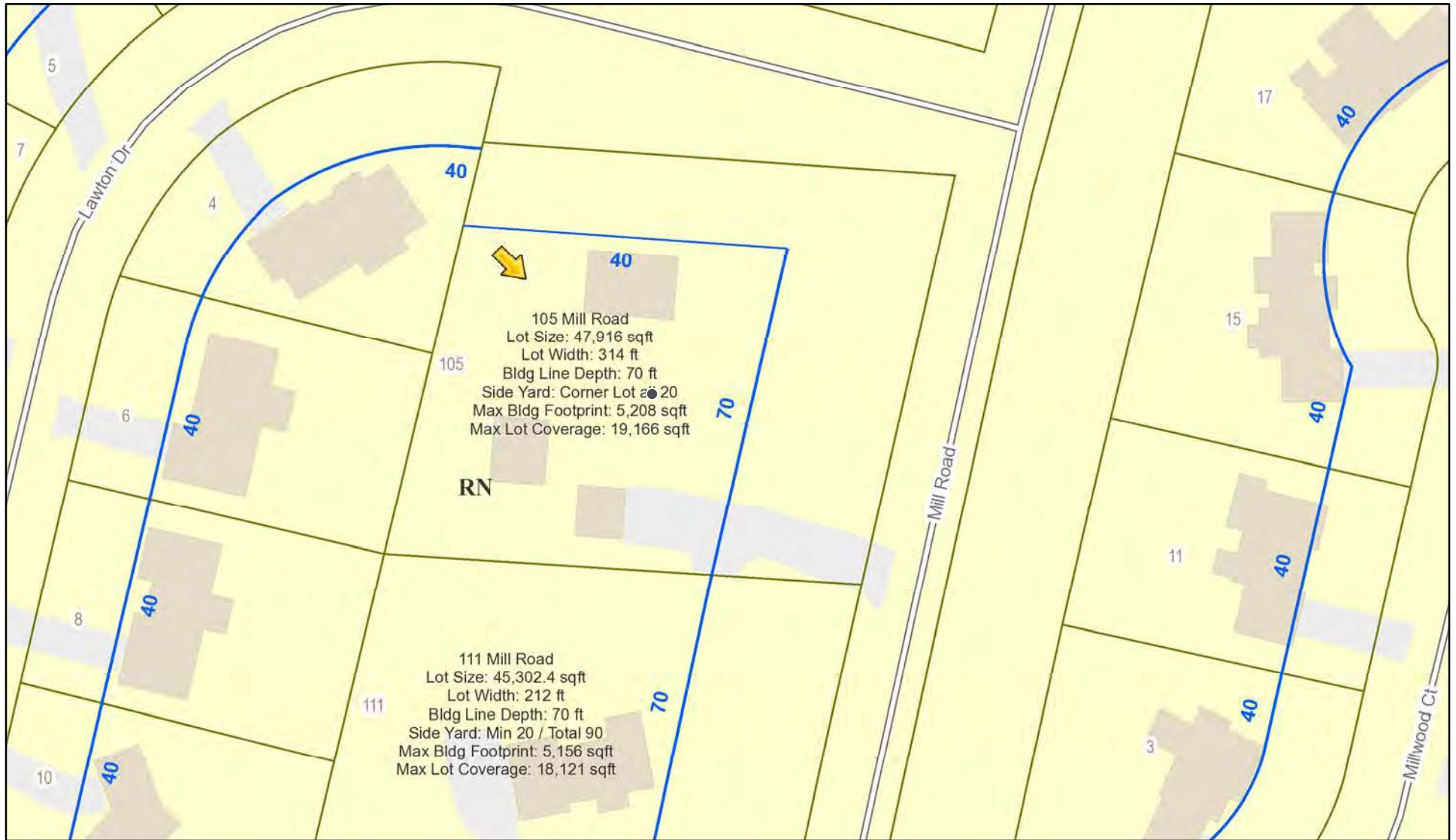
#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

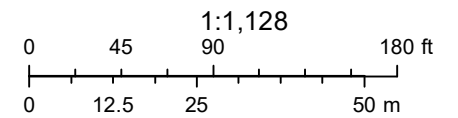
**Project Description:** Applicant is requesting design review for the construction of approximately a 400 SF addition off the side of the house.

**Meeting Date:** December 08, 2022

# RN Residential Neighborhood Zoning



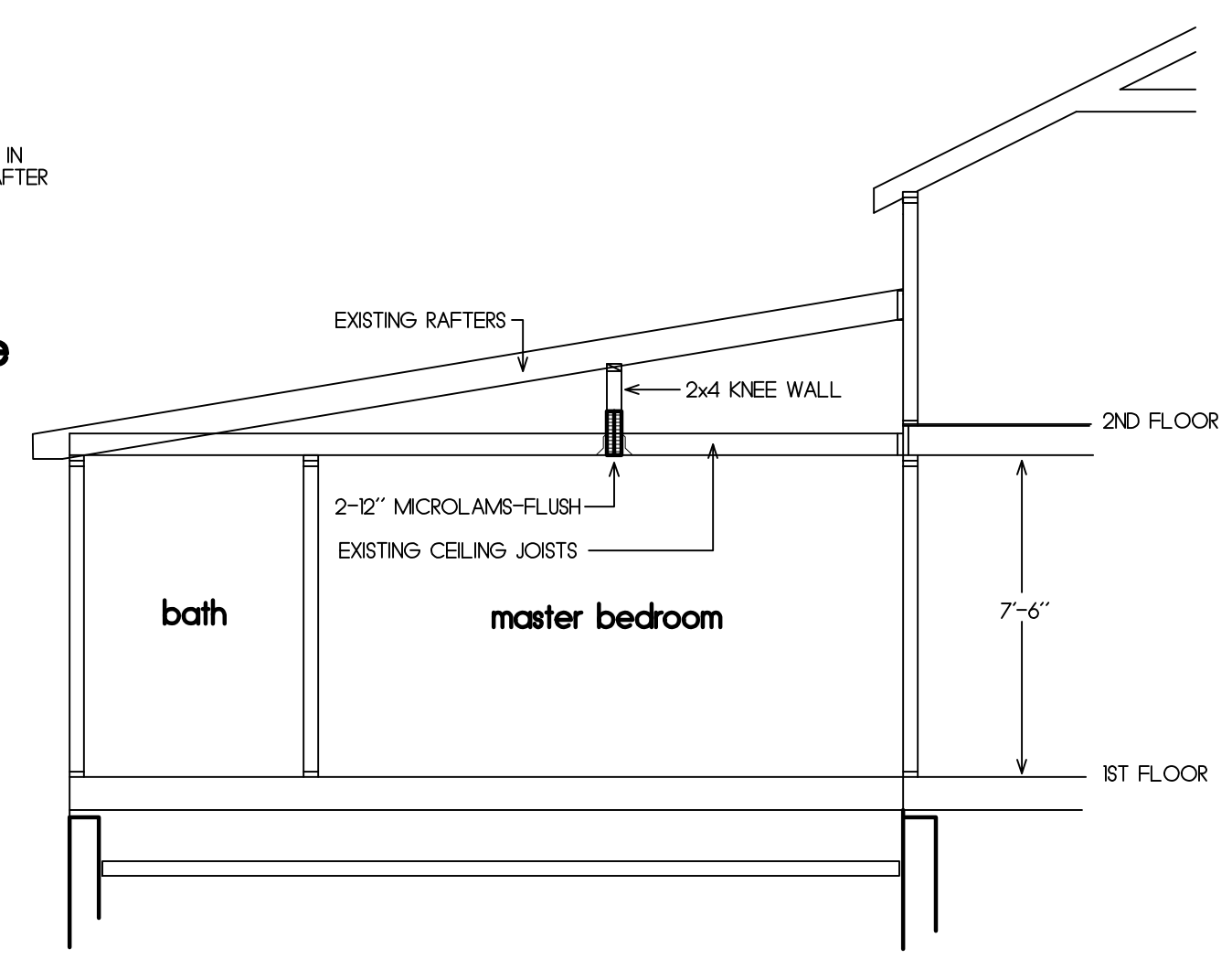
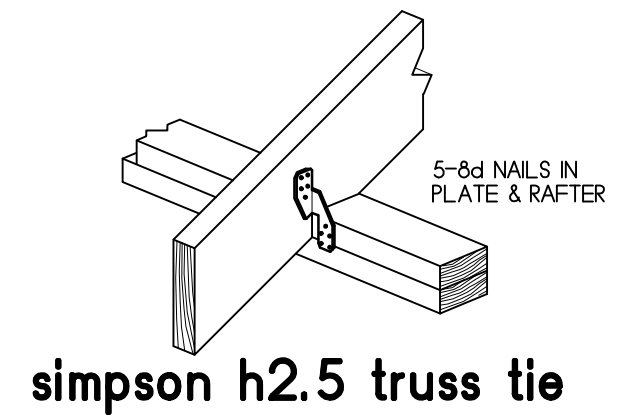
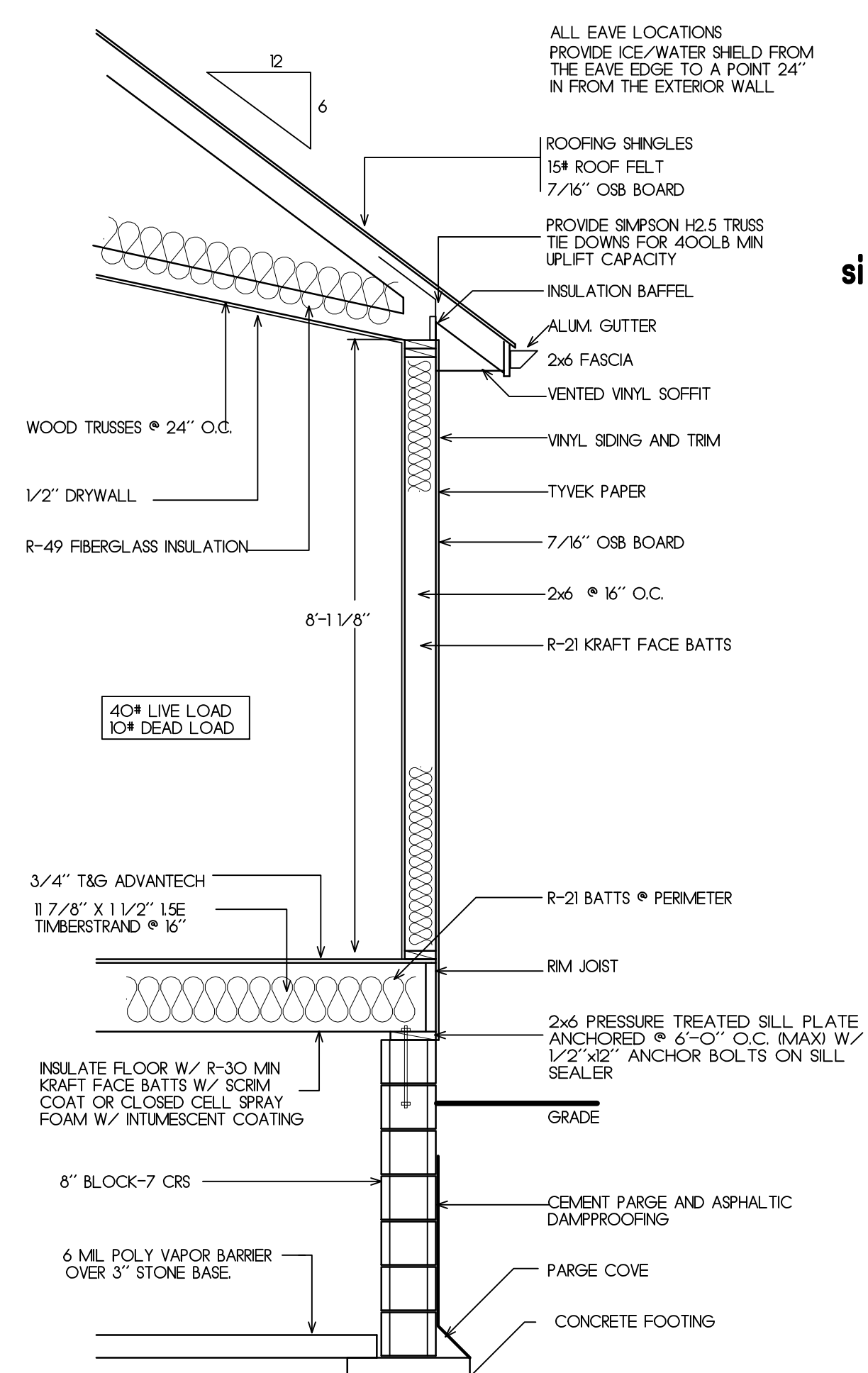
Printed December 1, 2022



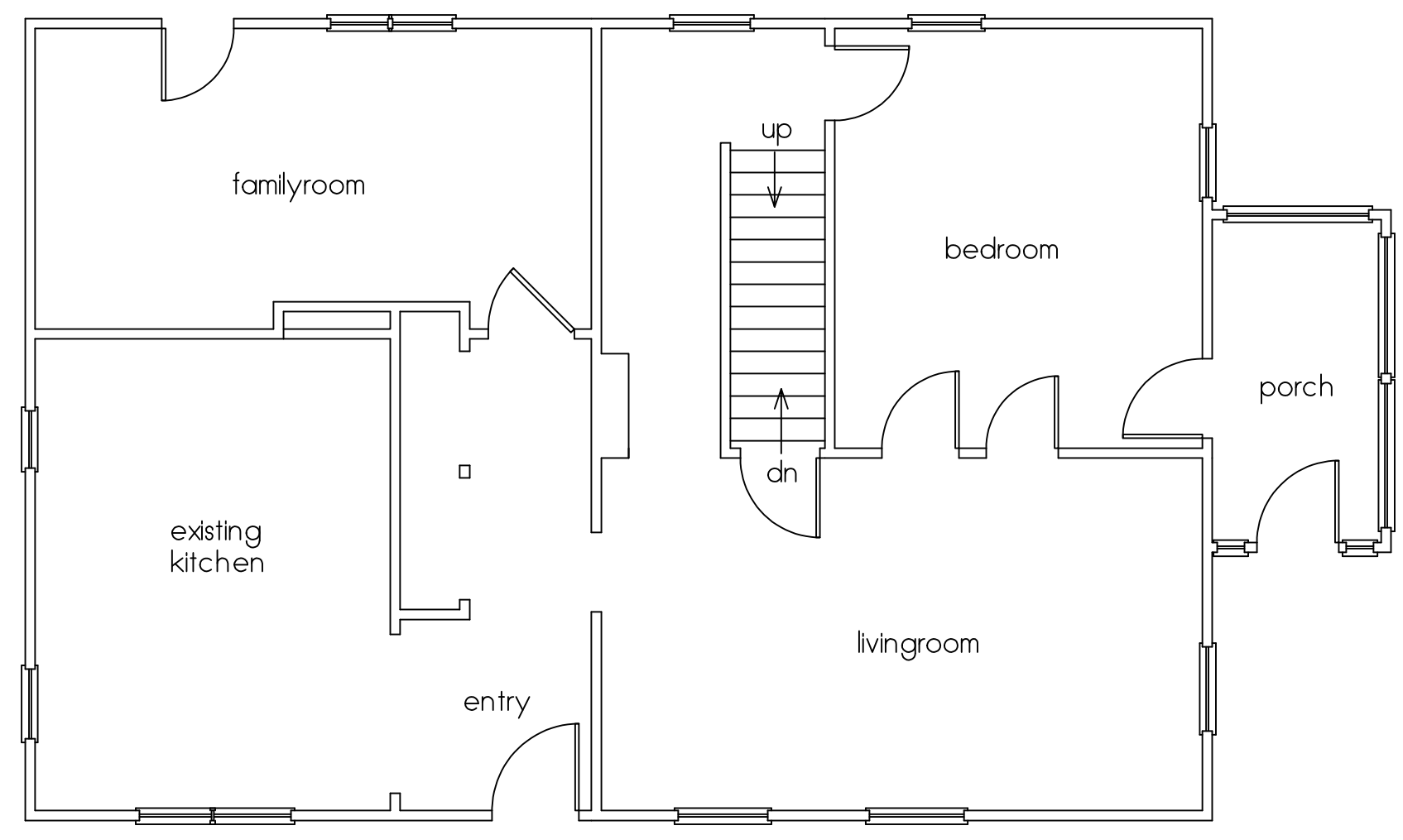
Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

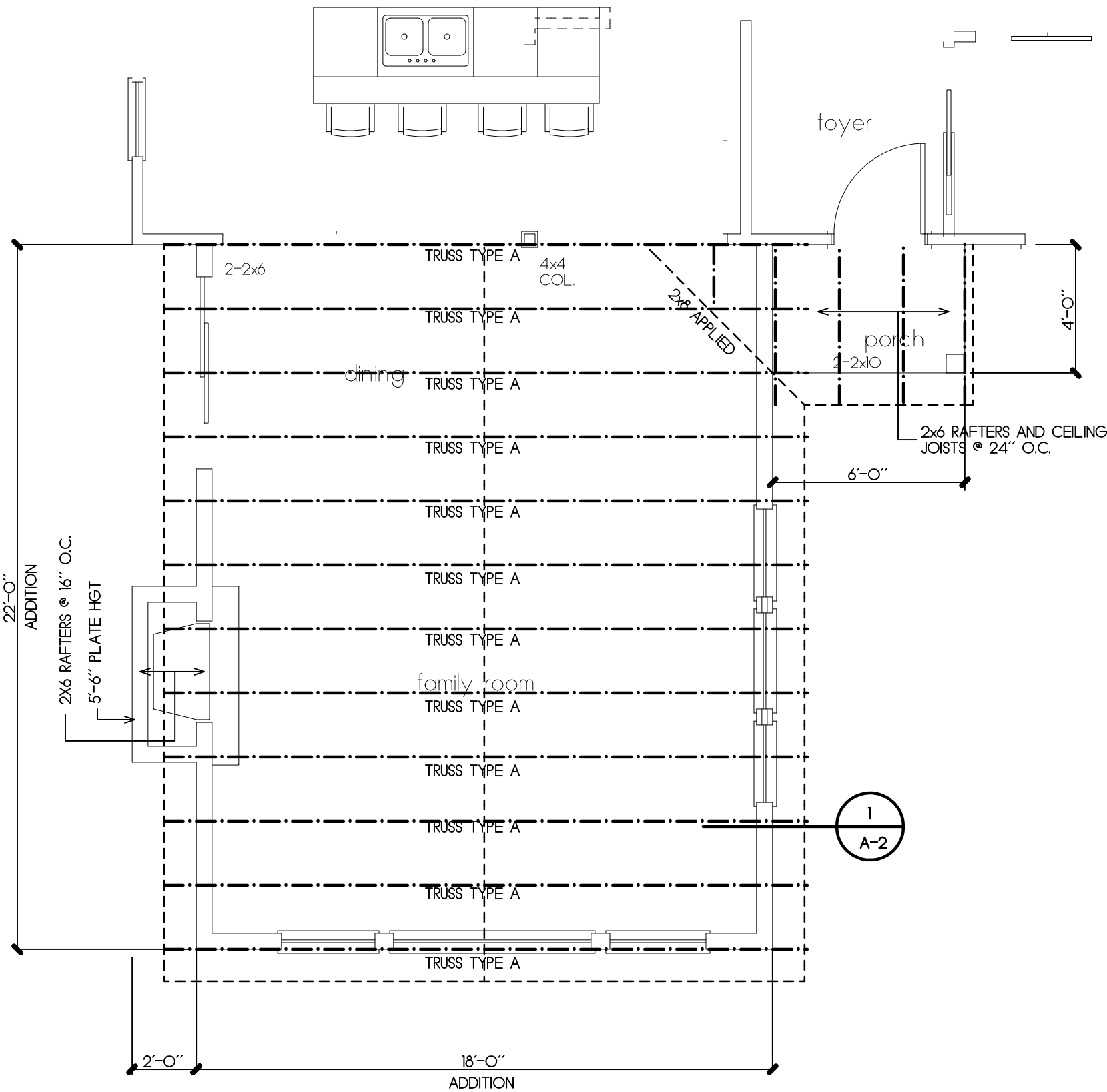




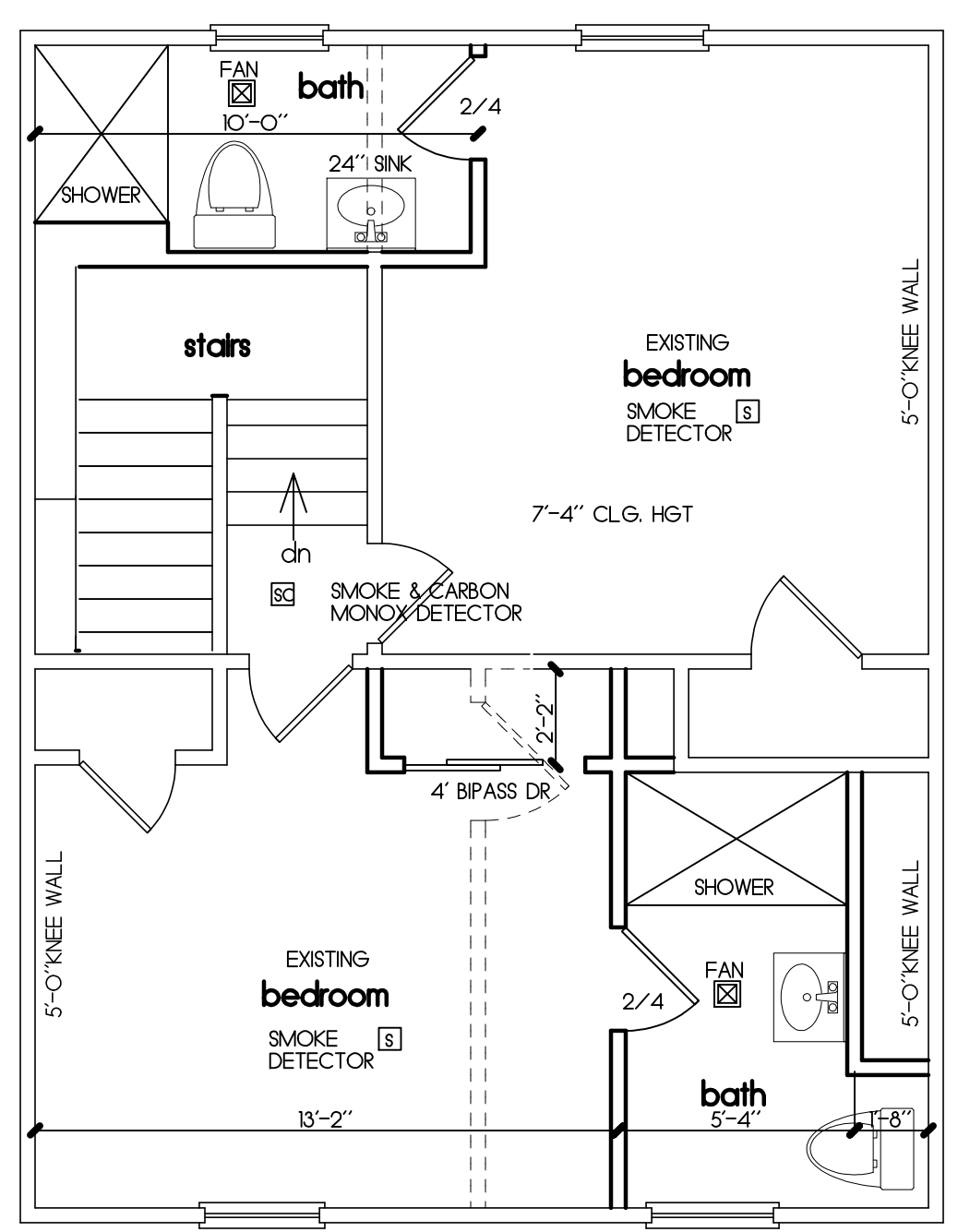
**section 2**  
1/4"=1'-0" A-2



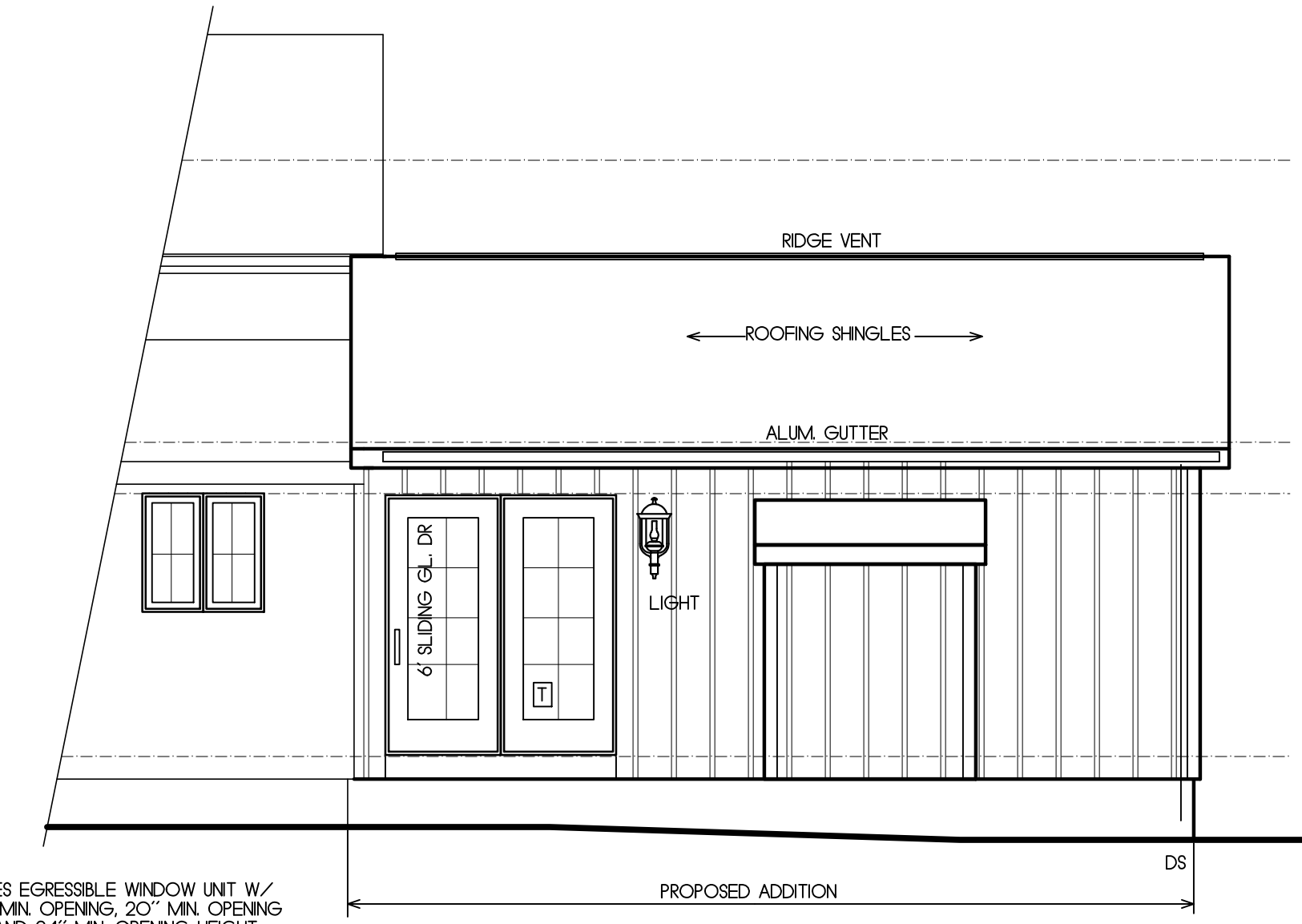
**existing 1st floor plan**  
3/16"=1'-0"



**roof framing plan**  
1/4"=1'-0"

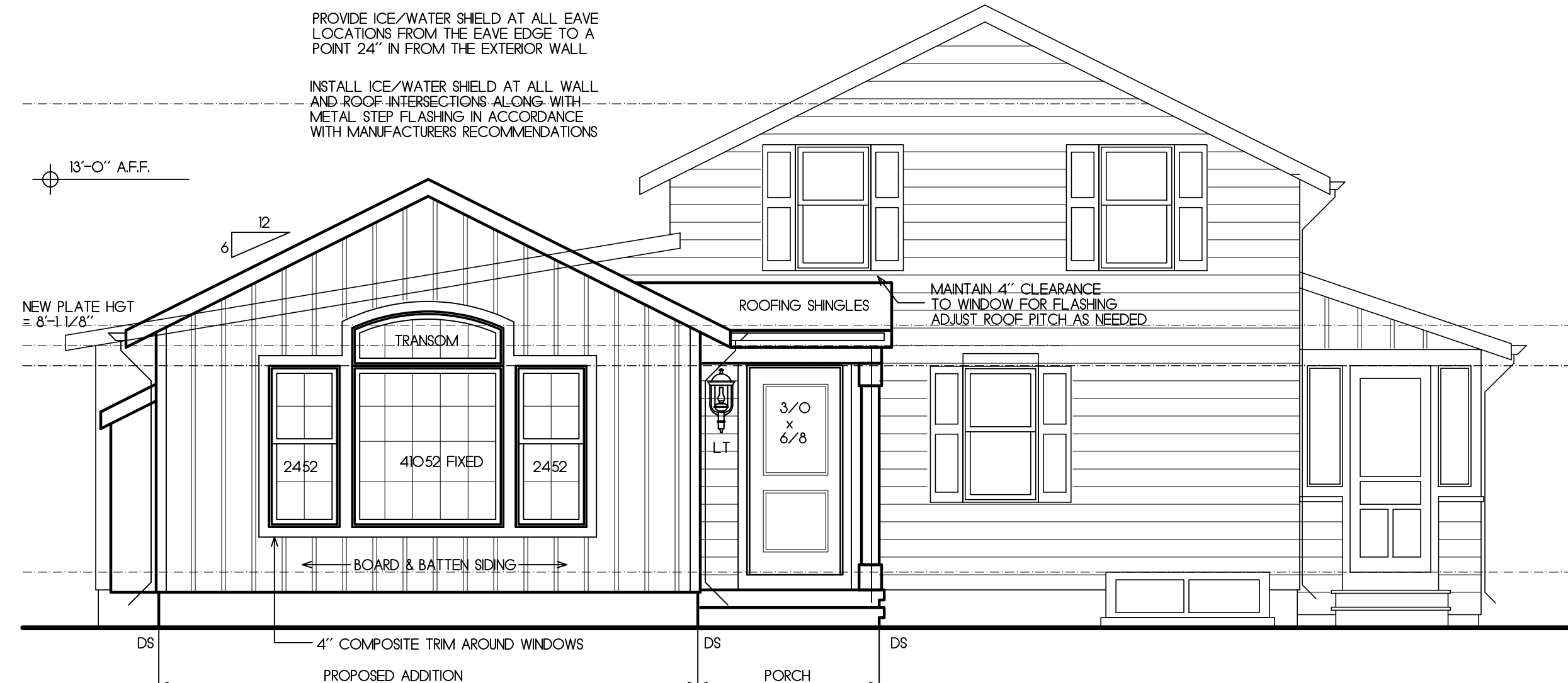


**2nd floor plan**  
1/4"=1'-0"

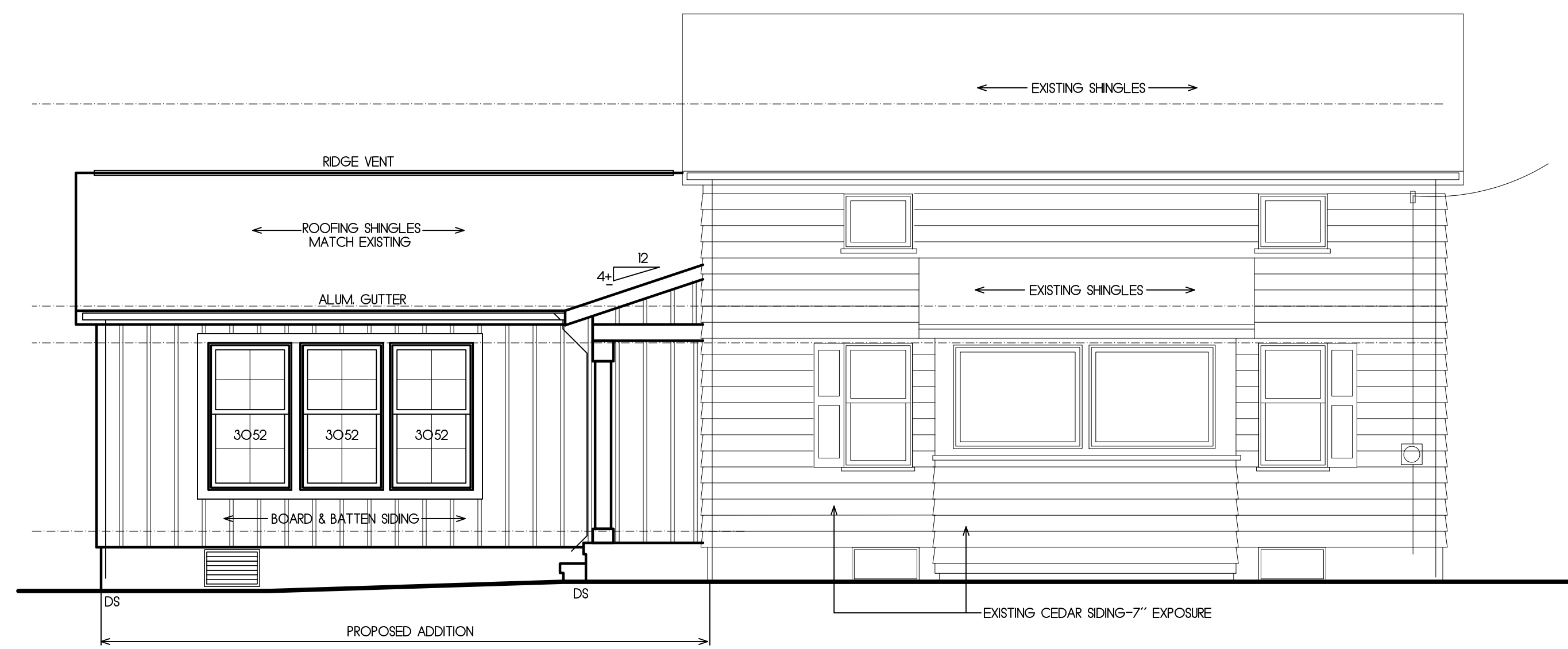


**rear elevation**  
1/4"=1'-0"

- Ⓔ DENOTES EGRESSIBLE WINDOW UNIT W/ 5.7 SF. MIN. OPENING, 20" MIN. OPENING WIDTH AND 24" MIN. OPENING HEIGHT
- Ⓕ DENOTES TEMPERED GLASS PER R308 OF THE NEW YORK STATE CODE



**side elevation-1**  
1/4"=1'-0"



**front elevation**  
1/4"=1'-0"

REVISIONS	DATE	DESCRIPTION

JOB NO. # IOR

**A-2**

NOV. 26, 2022



**FOUNDATIONS**

CONTRACTOR SHALL NOTIFY SITE ENGINEER AND ARCHITECT IF SITE CONDITIONS, SUCH AS ADVERSE GROUND WATER OR SOIL CONDITIONS WARRANT MODIFICATIONS TO THE FOUNDATION DESIGN.

FOOTINGS MAY BE POURED NEAT AGAINST SIDES OF EXCAVATIONS ONLY IF SLOUGHING OR RAVELING DOES NOT OCCUR.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.

BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL CONCRETE AND GROUT HAS REACHED SUFFICIENT STRENGTH TO RESIST DAMAGE OR STRUCTURAL FLOOR FRAMING INCLUDING PLWOOD DECK IS IN PLACE OR SUFFICIENT WALL BRACING IS IN PLACE.

**STRUCTURAL BACKFILL**

STRUCTURAL BACKFILL OF WELL GRADED SAND AND GRAVEL OR CRUSHER RUN STONE SHALL BE PLACED IN 6" MAX. LIFTS AND COMPACTED TO A MIN. DENSITY OF 95% UNDER SLABS AND BUILDINGS AND 90% ELSEWHERE OF MAX. DENSITY AT OPTIMUM MOISTURE CONTENT PER ASTM D698.

BACKFILL SHALL BE FREE OF EXCESSIVE VEGETATION DEBRIS OR OTHER DELETERIOUS MATERIALS AND CONTAIN NO PARTICLES LARGER THAN 3" IN DIA. AND NO MORE THAN 10% PASSING THE #200 SIEVE.

**FOOTINGS**

FOOTING SHALL BE PLACED AT A MIN OF 48" BELOW GRADE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

FINAL 3" OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACES.

BOTTOM SURFACE OF FOOTING SHALL NOT SLOPE MORE THAN 1/3 UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

NO EXCAVATION SHALL BE MADE LOWER AND CLOSER THAN 1/3 UNLESS INDICATED ON THE DRAWINGS.

FOOTINGS AND SLABS SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND.

ALL FOOTINGS SHALL BEAR ON FIRM AND CLEAN SOIL. THE SOIL BEARING SHOULD BE VERIFIED AT THE FOOTINGS BY AN ACCEPTED TESTING METHOD.

CONCRETE MASONRY CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90 TYPE I, GRADE N.

MORTAR - ASTM C270, TYPE S (1hr=1500 PSI)

BLOCK FILL - COURSE GROUT 3,000 PSI

**CONCRETE**

FOUNDATION DESIGN IS BASED ON A MIN. SOIL BEARING CAPACITY OF 2,000 PSF. BUILDER SHALL NOTIFY ARCHITECT IF CAPACITY IS LESS.

PROVIDE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER CONCRETE INTERIOR SLABS.

PROVIDE ALL NECESSARY REINFORCING BARS, SPACER BARS, CHAIRS, ETC. TO SECURE REINFORCING IN PLACE BEFORE PLACING CONCRETE.

A. STANDARDS-LATEST EDITION OF ACI.  
B. DESIGN STRENGTH AT 28 DAYS.

1. FOOTINGS, WALLS AND PERS-3,000 PSI  
2. SLAB ON GRADE-INTERIOR 2,500 PSI  
EXTERIOR 3,500 PSI

**REINFORCING-**

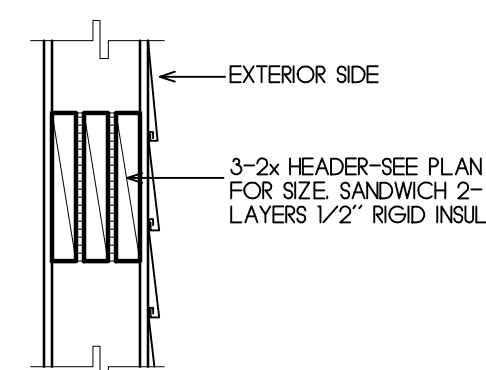
BARS- ASTM A615, GRADE 60  
TRUSSED MASONRY JOINT REINFORCING ASTM A82  
NOT LESS THAN 24"

LAP SPICES OF REINFORCING BARS SHALL BE 40 BAR DIA BUT NOT LESS THAN 24"

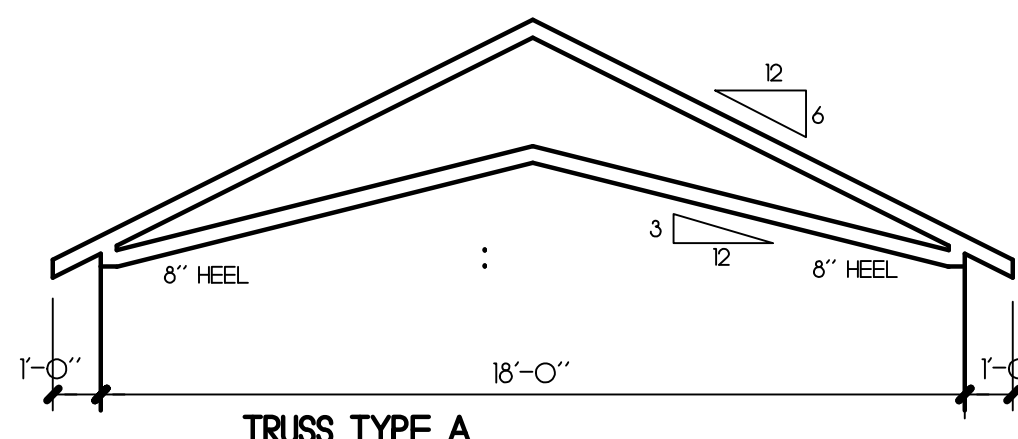
FILL BLOCK CORSE SOLID UNDER LINTELS, BEAM POCKETS, AND ALL BEARING PLATES WITH 3,000 PSI GROUT

KEEP CORES OF REINFORCED MASONRY FREE OF MORTAR DROPPINGS

ANCHOR BOLTS SHALL CONFORM TO ASTM A-307 AND SHALL BE 1/2" DIA MIN. AND 12" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM END PLATE, 6"-0" O.C. AND MIN. OF 2-ANCHOR BOLTS IN ANY ONE SECTION LOCATE IN MIDDLE THIRD OF PLATE AT LEAST 1 1/4" FROM THE EDGE OF A 2x4 AND 1 3/4" FROM THE EDGE OF A 2x6.



**header detail**  
2x6 FRAME WALL

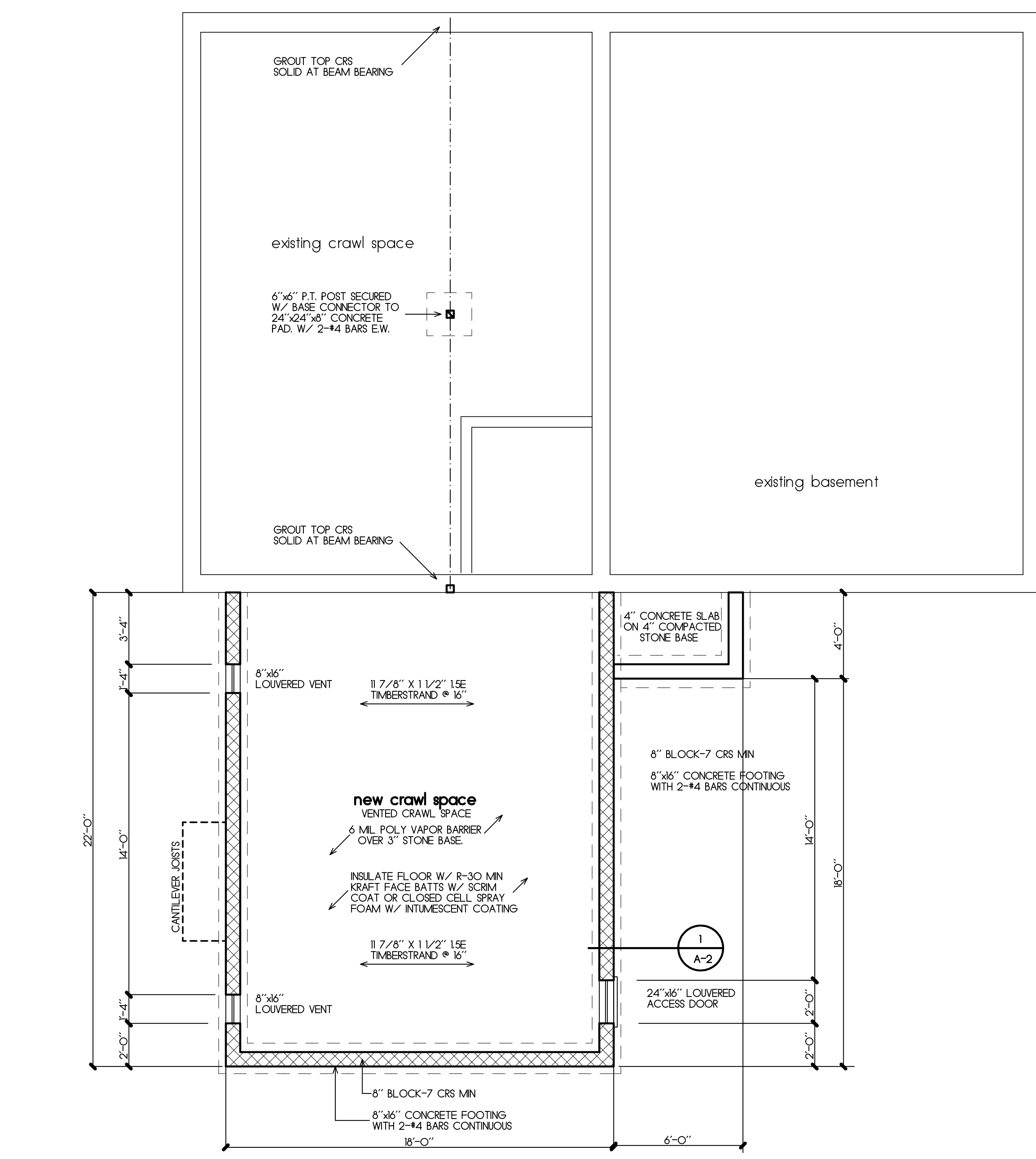


**TRUSS TYPE A**

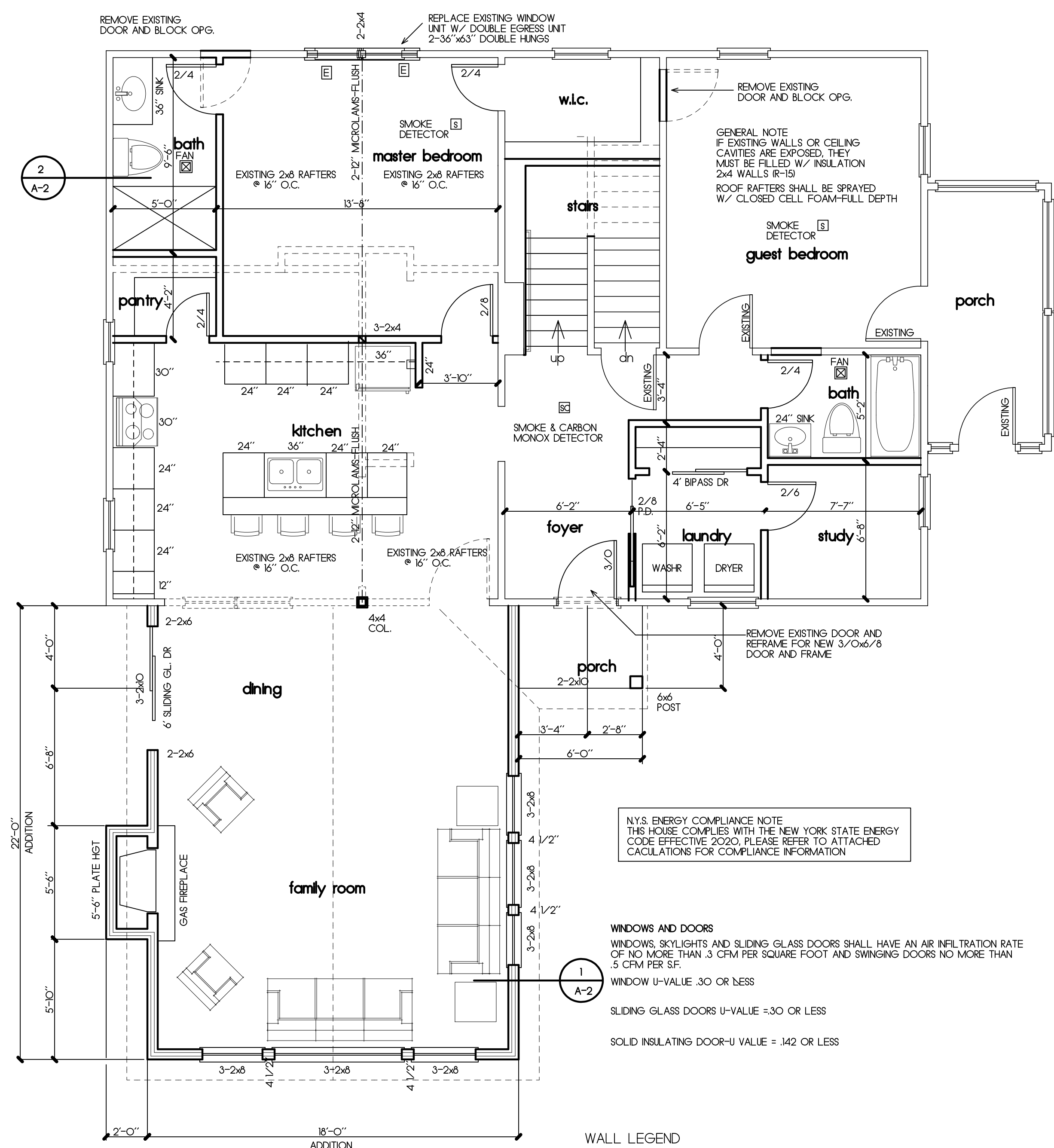
MANUFACTURER STAMPED TRUSS DRAWINGS SHALL BE SUBMITTED TO THE BLDG. DEPARTMENT. PROVIDE SIMPSON H2.5 TRUSS TIE DOWNS FOR 400 LB MIN LIFT CAPACITY

**CLIMATE AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD	WIND SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQD.	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
						WEATHERING	FROST LINE DEPTH	TERMINATE	DECAY					
40	15				8	SEVERE	48"	NONE-SLIGHT	NONE-SLIGHT	1	YES			



**foundation plan**  
1/4"=1'-0"



**1st floor plan**  
1/4"=1'-0" 396 S.F.

AIR BARRIER INSPECTION LIST	
AIR BARRIER & THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER. BREAK JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED. AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL. AIR PERMEABLE INSULATION IS INSIDE OF AIR BARRIER.
CEILING ATTIC	AIR BARRIER IN ANY DROPPED CEILING/SOFTIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND GAPS ARE SEALED. ATTIC ACCESS (EXCEPT UNVENTED ATTIC, KNEE WALL, OR STAIR ACCESS) IS SEALED.
WALLS	CORNERS AND HEADERS ARE INSULATED. JUNCTIONS OF FOUNDATION AND SILL PLATE ARE SEALED.
WINDOWS AND DOORS	SPACE BETWEEN JAMBS AND FRAMING AREA SEALED. RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER.
FLOORS INCLUDING ABOVE GARAGES AND CANTILEVER FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECK. AIR BARRIER IS INSTALLED AT AND EXPOSED EDGE OF INSULATION.
CRAWL SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS. EXPOSED EARTH IN UNVENTED CRAWL COVERED WITH CLASS 1 VAPOR BARRIER OVERLAP JOINTS & TAPE.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLUE SHAFTS ARE SEALED.
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR FILLED WITH SPRAY-BLOWN-IN.
RECESSED LIGHTING	RECESSED LIGHTS ARE AIR TIGHT, IC RATED AND SEALED TO DRYWALL, UNLESS IN CONDITIONED SPACE.
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES.
SHOWER/TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL.
ELECTRICAL/PHONE BOX ON EXT. WALL	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED TYPE BOXES ARE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL.
PREPLACE	PREPLACE WALLS INCLUDE AN AIR BARRIER.

**GENERAL NOTES:**

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY W/ MORE THAN 2 RISERS. HANDRAIL HGT. SHALL BE MEASURED ABOVE STIR TREAD NOSING AND SHALL BE BETWEEN 34"-38" HIGH HANDRAILS ADJACENT TO THE WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL. HANDRAIL SHALL BE CONTINUOUS. GUARDS AT OPENINGS OF STAIRWAYS SHALL BE 36" HIGH WITH VERTICAL RAILS THAT DO NOT ALLOW PASSAGE OF A 4" SPHERE.  
GAS ZERO CLEARANCE MANUFACTURERS SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT.  
STAIRWAYS SHALL HAVE A CONTINUOUS RAILING 36" HIGH AND TERMINATE AT A WALL OR NEWEL POST.

THE CONTRACTOR SHALL INSTALL 5" HIGH NUMBERS ON THE FRONT OF THE BUILDING TO IDENTIFY THE SITE ADDRESS.

EXTERIOR BEARING WALL OPENINGS GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

INTERIOR BEARING WALL OPENINGS GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

ALL FRAMING ANGLES SHALL BE 45 DEG. UNLESS NOTED.

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL.

ALL WINDOW R.O. SHALL BE 6'-0 1/2" UNLESS NOTED.

PROVIDE A MIN. OF R-5 RIGID INSULATION WITHIN ALL EXTERIOR WINDOW AND DOOR HEADERS.

ALL NEW ELECTRICAL WORK SHALL COMPLY WITH PART VIII OF THE RESIDENTIAL CODE OF NEW YORK STATE PROTECT TOWN OFFICE WITH FINAL ELECTRICAL INSPECTION APPROVAL.

IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILING COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION.

SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING AREAS IN EACH SLEEPING ROOM IN HALLWAYS ADJACENT TO SLEEPING ROOMS AND AT LEAST ONE ON EACH STORY INCLUDING BASEMENT. ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED. ALARMS CAN BE INTERCONNECTED WIRELESSLY. LOCATE NOT LESS THAN 3" HORIZONTALLY FROM BATHROOMS WITH SHOWERS OR FROM CEILING FAN, CANNOT BE CLOSER THAN 20" (IONIZATION) OR 6" (PHOTOELECTRIC) TO COOKING APPLIANCES.

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS ON ANY STORY HAVING A SLEEPING AREA, ON ANY STORY WHERE FUEL-FIRED OR SOLID FUEL BURNING APPLIANCES, EQUIPMENT, FIREPLACES OR ATTACHED GARAGES ARE LOCATED. ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED.

ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE APPROVED PRESSURE TREATED WOOD SUITABLE FOR GROUND CONTACT USE.

STAIRS  
WIDTH 36" WIDE IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HGT. THE CLEAR WIDTH AT OR BELOW THE HANDRAIL HGT SHALL BE NOT LESS THAN 31 1/2" WHERE A RAILING IS ON ONE SIDE AND 27" WHERE RAILINGS ARE ON BOTH SIDES.  
HEADROOM SHALL BE NOT LESS THAN 6'-8"  
RISERS: THE RISER HGT. SHALL BE A MAX. OF 8 1/4". AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30" ABOVE GRADE, OR THE FLOOR BELOW SHALL NOT PERMIT THE PASSAGE OF A 4" INCH DIAMETER SPHERE.  
TREADS: THE TREAD DEPTH SHALL NOT BE LESS THAN 9"  
NOSINGS: NOSINGS PROJECTIONS SHALL BE 3/4"-1 1/4" MAX. NOT REQUIRED ON TREAD DEPTH GREATER THAN 1"  
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACES OF HANDRAILS AND RAILINGS SHALL BE BETWEEN 34" AND 38" ABOVE TREAD NOSINGS.

WINDOW FALL PROTECTION  
PROVIDE WINDOW OPENING CONTROL DEVICE TO PROHIBIT THE PASSAGE OF A 4" SPHERE ON WINDOWS IN WHICH THE SILL IS LESS THAN 24" FROM THE FLOOR AND THE EXTERIOR GRADE IS GREATER THAN 72" BELOW.

THE WINDOW CONTROL DEVICE AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING OF THE WINDOW TO LESS THAN WHATS REQUIRED IN SECTION 3102.1.  
5.7 SF CLEAR OPENING (5 SF. AT GRADE OR BELOW GRADE OPENINGS)  
NET CLEAR HEIGHT OF 24"  
NET CLEAR WIDTH OF 20"

- WINDOWS AND DOORS**  
WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN .3 CFM PER SQUARE FOOT AND SWINGING DOORS NO MORE THAN .5 CFM PER SF.  
WINDOW U-VALUE .30 OR LESS  
SLIDING GLASS DOORS U-VALUE +.30 OR LESS  
SOLID INSULATING DOOR-U VALUE = .142 OR LESS

- WALL LEGEND**  
2x6 FRAMING @ 16" O.C.  
2x4 FRAMING @ 16" O.C.  
WALLS TO BE REMOVED

NO.	DATE	DESCRIPTION

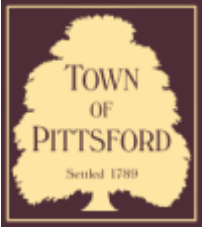
JOB NO. # 10R

**A-1**

NOV. 26, 2022

# 105 Mill Road





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
B22-000174

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 9 Arrowhead Road PITTSFORD, NY 14534

**Tax ID Number:** 193.05-1-21

**Zoning District:** RN Residential Neighborhood

**Owner:** Hanson, Kurt W

**Applicant:** Hanson, Kurt W

#### Application Type:

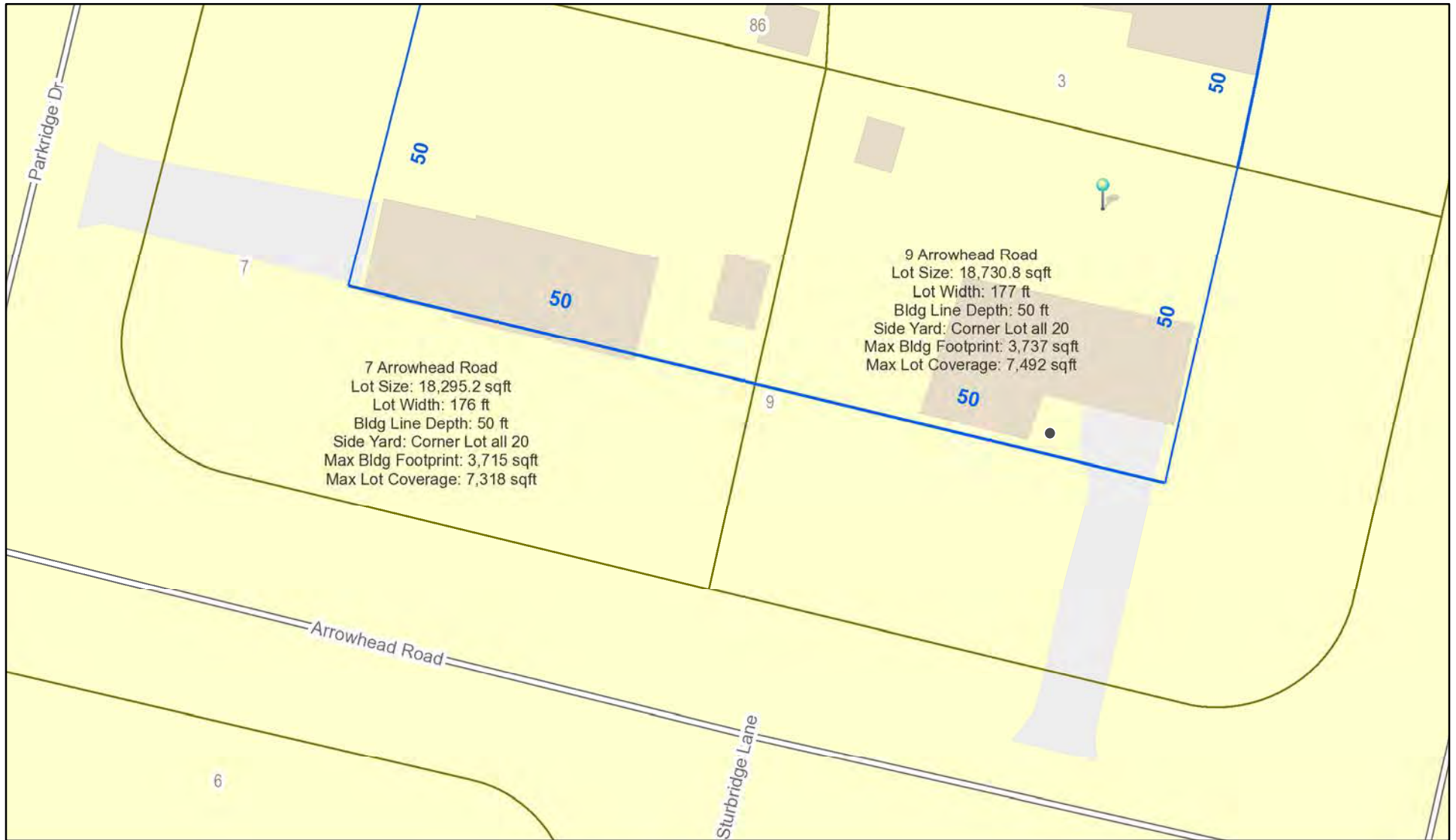
- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** The applicant is requesting design review of a 244 sf addition and a 37 sf porch.

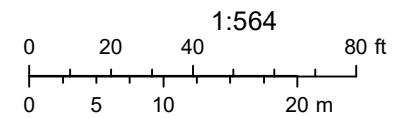
**Meeting Date:** December 08, 2022



# RN Residential Neighborhood Zoning



Printed December 1, 2022



Town of Pittsford GIS

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Parkridge Dr

Cross Ridge Rd

Parkridge Dr

Arrowhead Rd

Cross Ridge Rd

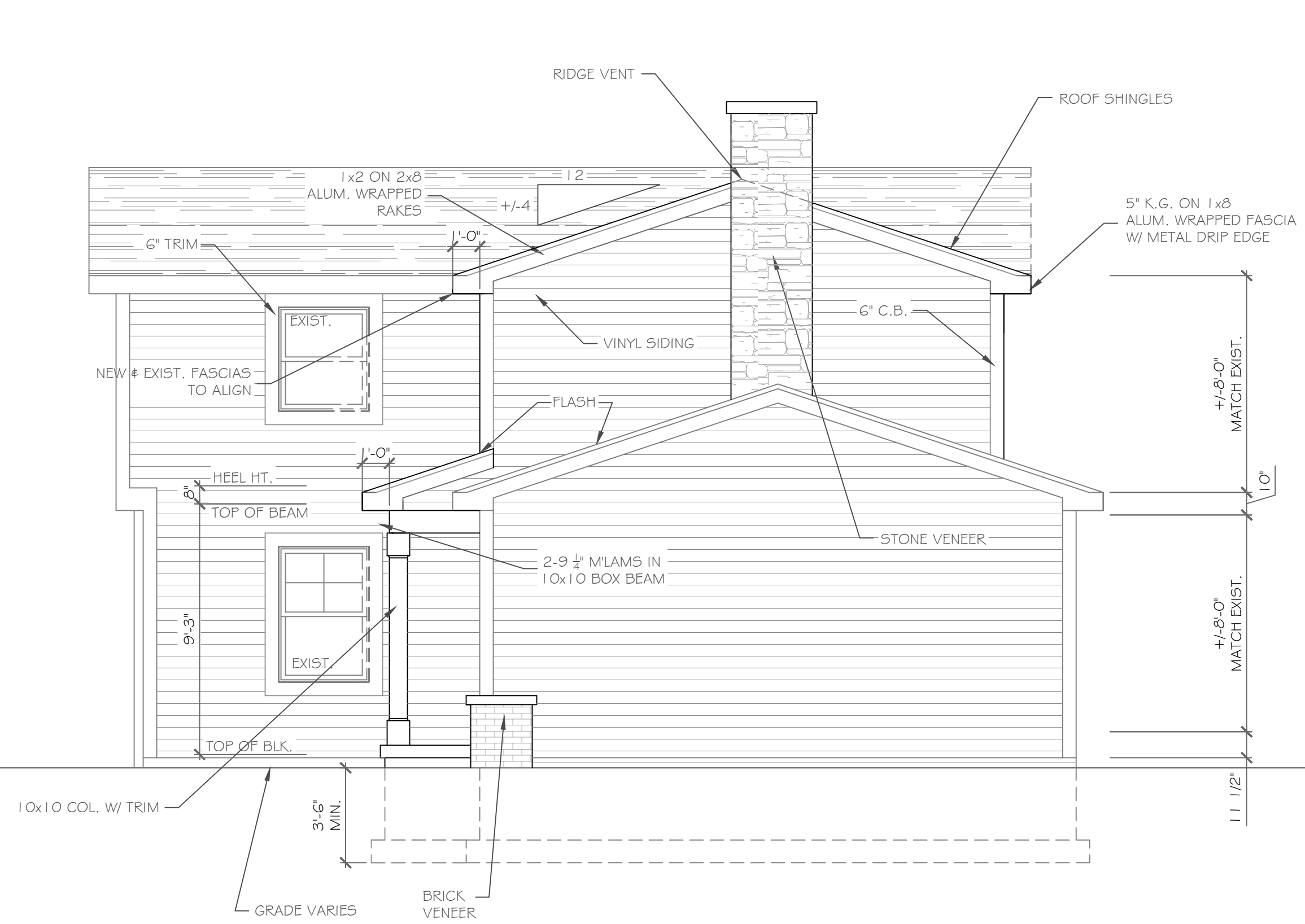
Arrowhead Rd

Sturbridge Ln

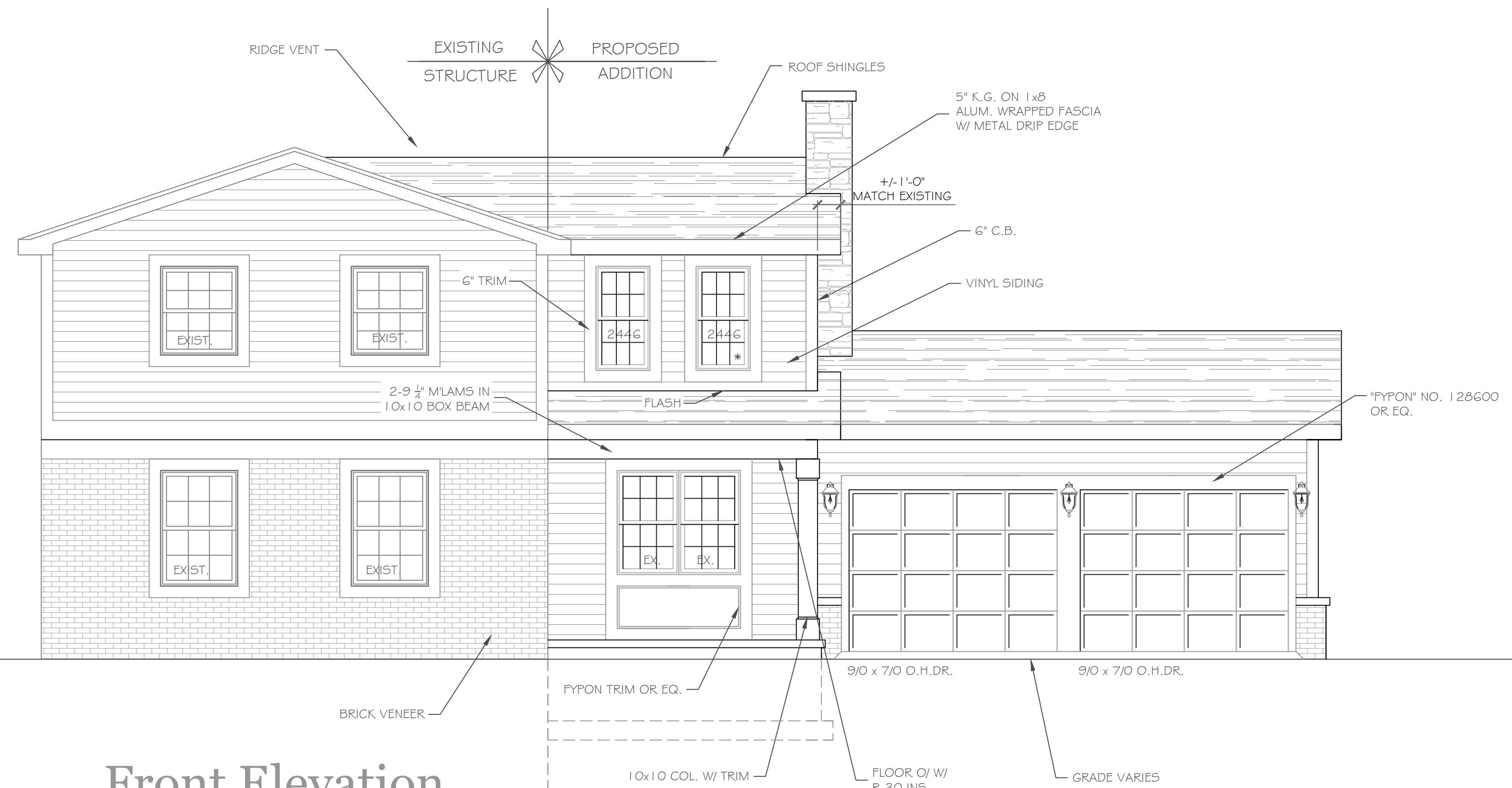
Arrowhead Rd

04/05/2021

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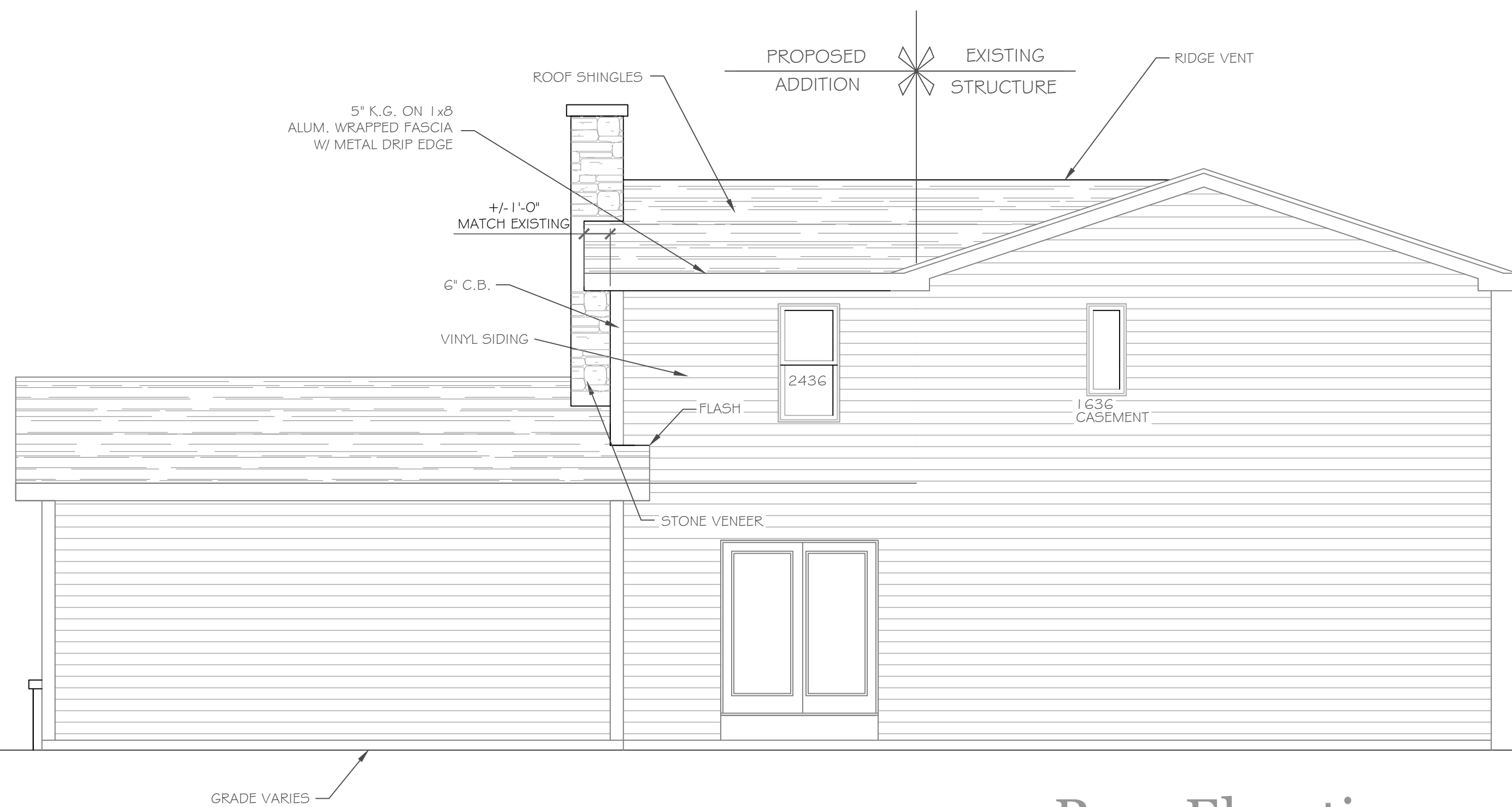
Right Side Elevation



Front Elevation

1/4" = 1'-0"  
 NOTE: - WINDOWS TO BE "WD 210 SERIES" DOUBLE-HUNG, LOW-E  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

226 sf Addition  
 37 sf Porch Addition



Rear Elevation

1/4" = 1'-0"

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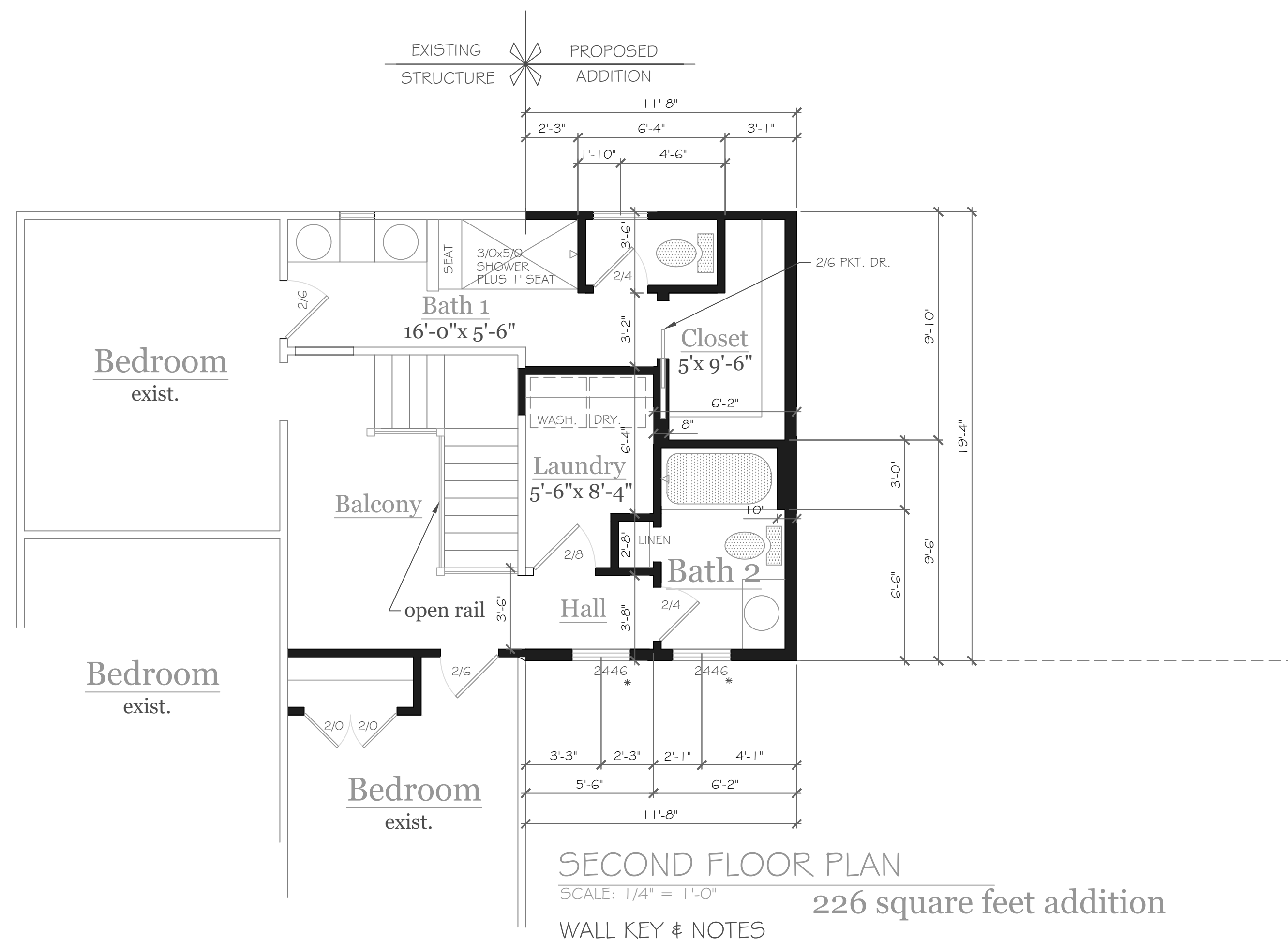
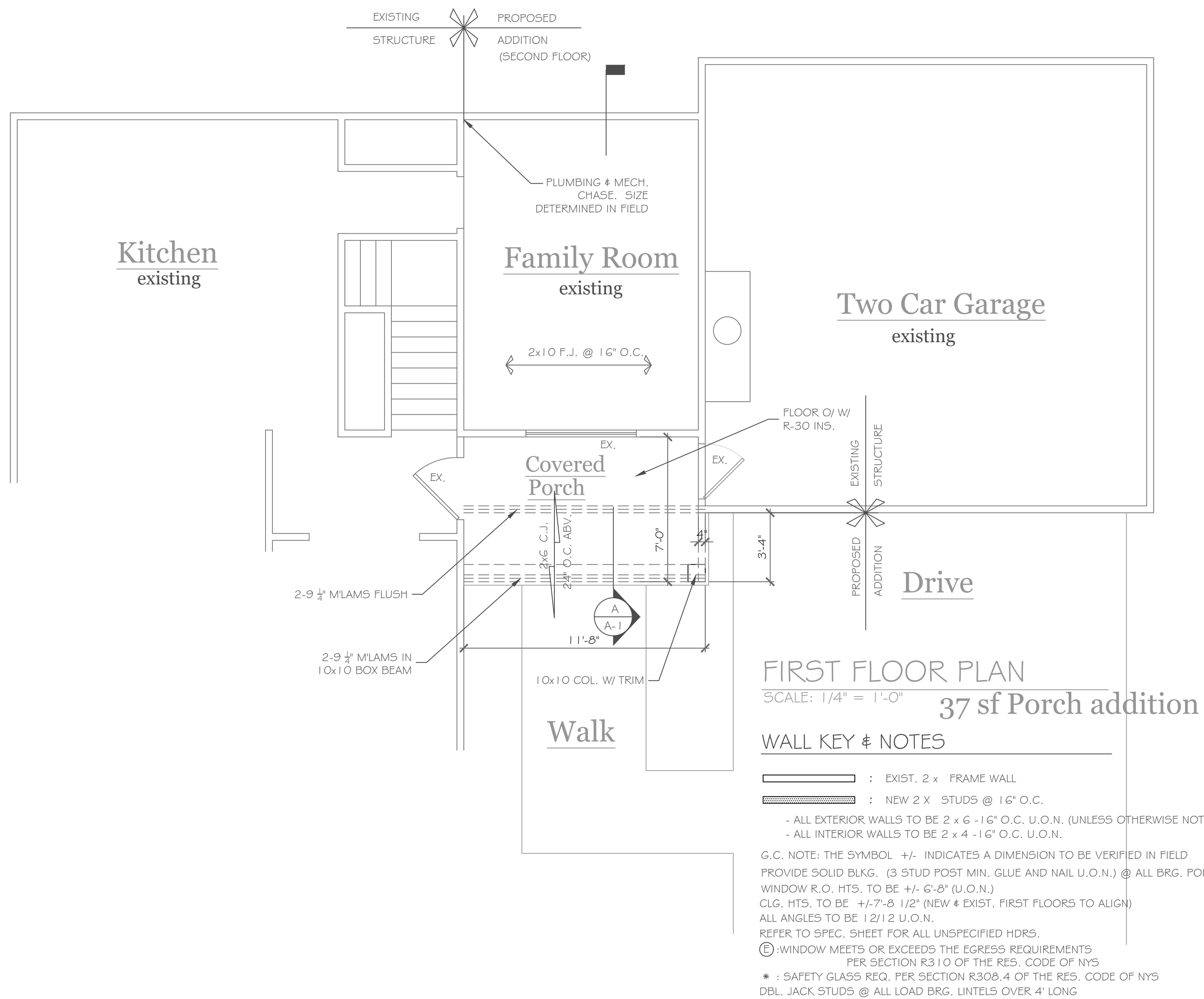
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:	Proposed Elevations
PROJECT:	Additions & Renovations to: 9 Arrowhead Road Pittsford, New York
CLIENT:	Kurt & Michele Hanson
DATE:	November 2022
PHASE:	Preliminary Design

JOB NO.:	A20-036
----------	---------

**CKH**  
 architecture  
 1501 Pittsford Victor Rd.  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontier.net

DRAWING NO. -  
**A-1**



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REVISIONS-	NO.	DATE	DESCRIPTION

**DRAWING TITLE:**  
**Proposed First & Second Floor Plans**

**PHASE:**  
 Preliminary Design

**PROJECT - Additions & Renovations to:**  
 9 Arrowhead Road  
 Pittsford, New York

**CLIENT:**  
 Kurt & Michele Hanson

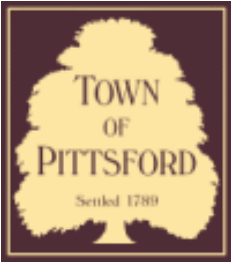
**JOB NO.:**  
 A20-036

**DATE:**  
 November 2022

**CKH**  
**architecture**  
 1501 Pittsford Victor Rd.  
 Suite 100  
 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net

**DRAWING NO.:**  
**A-1**





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**B22-000180**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 63 Skylight Trail ,

**Tax ID Number:**

**Zoning District:**

**Owner:** Morrell Builders

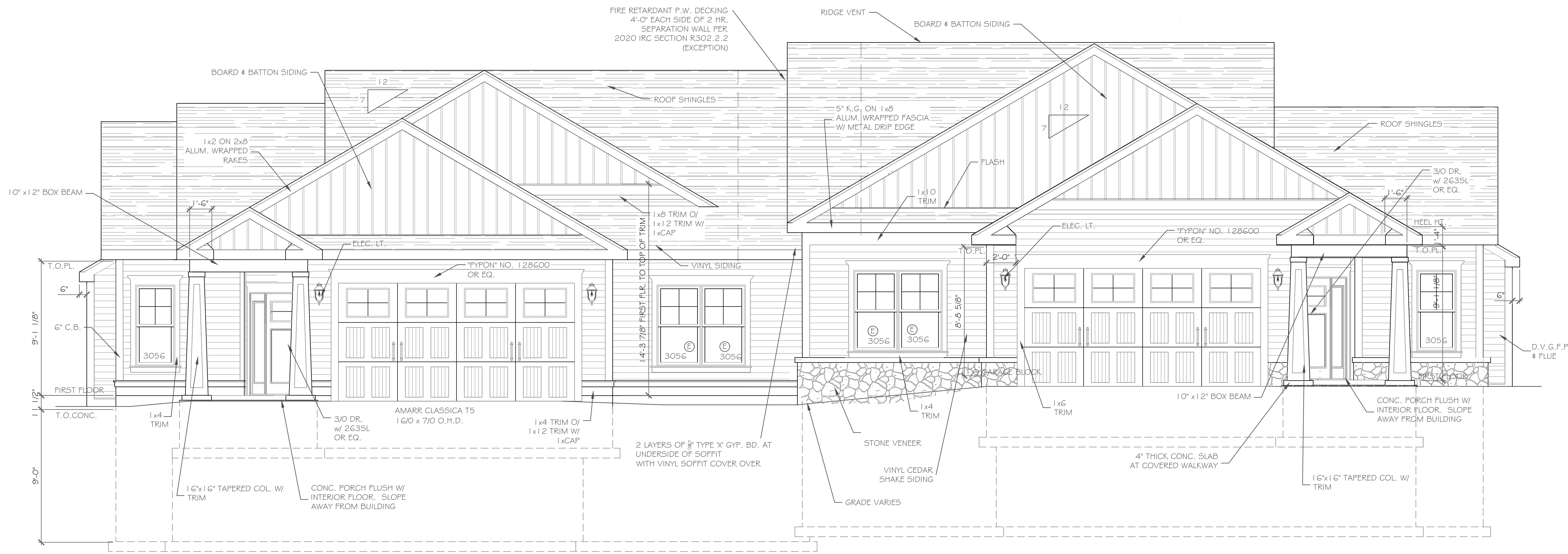
**Applicant:** Morrell Builders

#### Application Type:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review<br>§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)             | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                              | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197           | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                 | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                      |   |

**Project Description:** Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. 61 Skylight Trail will be approximately 2014 sq. ft. and 63 Skylight Trail will be 2001 sq. ft. The town homes will be located in the new Alpine Ridge development.

**Meeting Date:** December 08, 2022



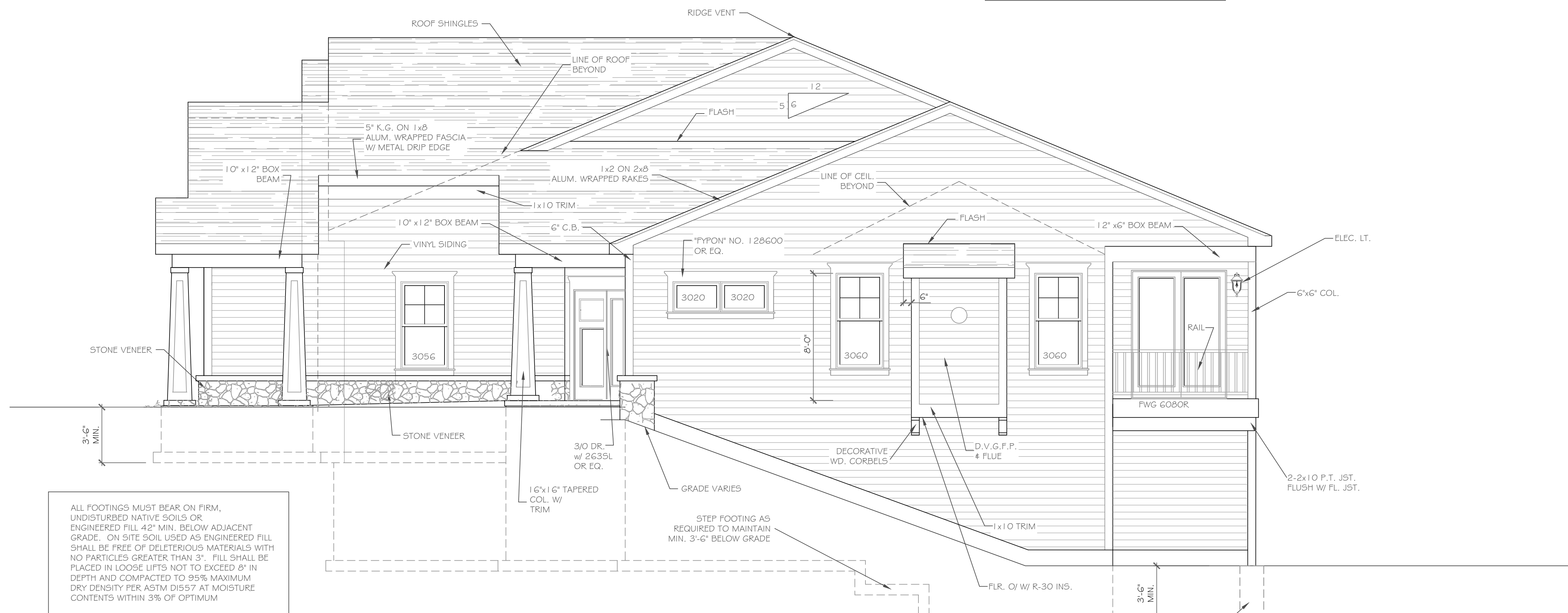
FRONT ELEVATION - LOT 21 2001 S.F.

FRONT ELEVATION - LOT 22 2014 S.F.

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E  
 - DOORS TO BE "THERMA-TRU" OR EQ.  
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION - LOT 22

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

6x6 P.T. WD. POST O/ 18" DIA. CONC. FTG. W/ SIMPSON POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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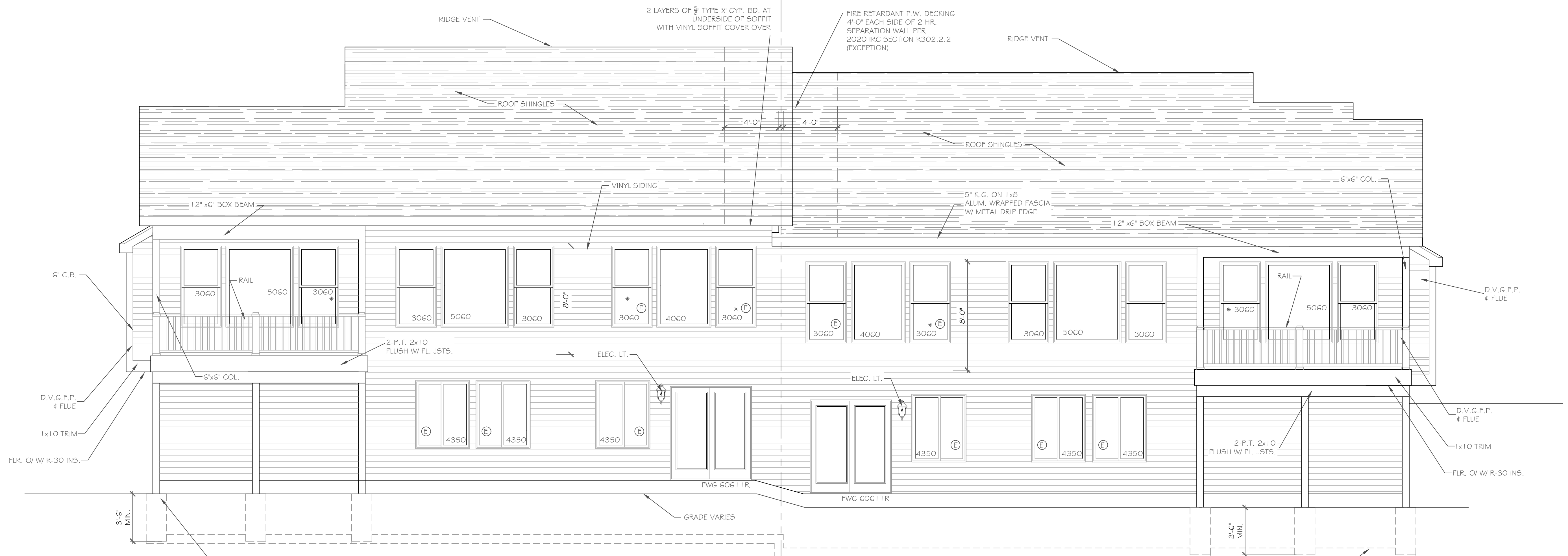
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: <b>Elevations</b>	PHASE: Construction Documents
	DATE: October 15, 2022

PROJECT: <b>Alpine Ridge - Units 21 &amp; 22 Pittsford, New York</b>	CLIENT: <b>Morrell Builders</b>
JOB NO. - A22-055	DATE: October 15, 2022

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DRAWING NO. - <b>A-1</b>
-----------------------------



REAR ELEVATION - LOT 22

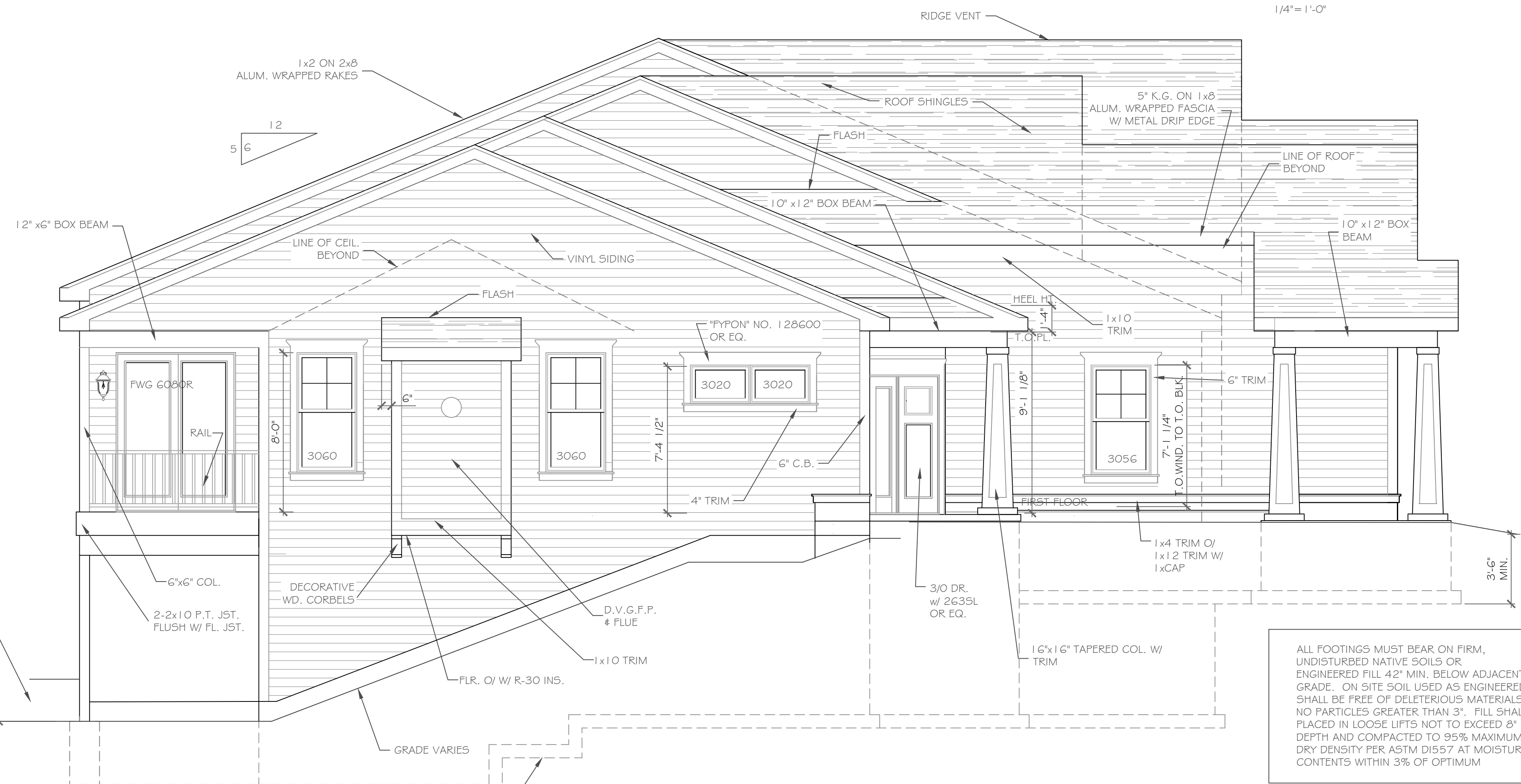
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

REAR ELEVATION - LOT 21

1/4" = 1'-0"

HANDRAIL NOTES:  
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1



LEFT SIDE ELEVATION - LOT 21

1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:  
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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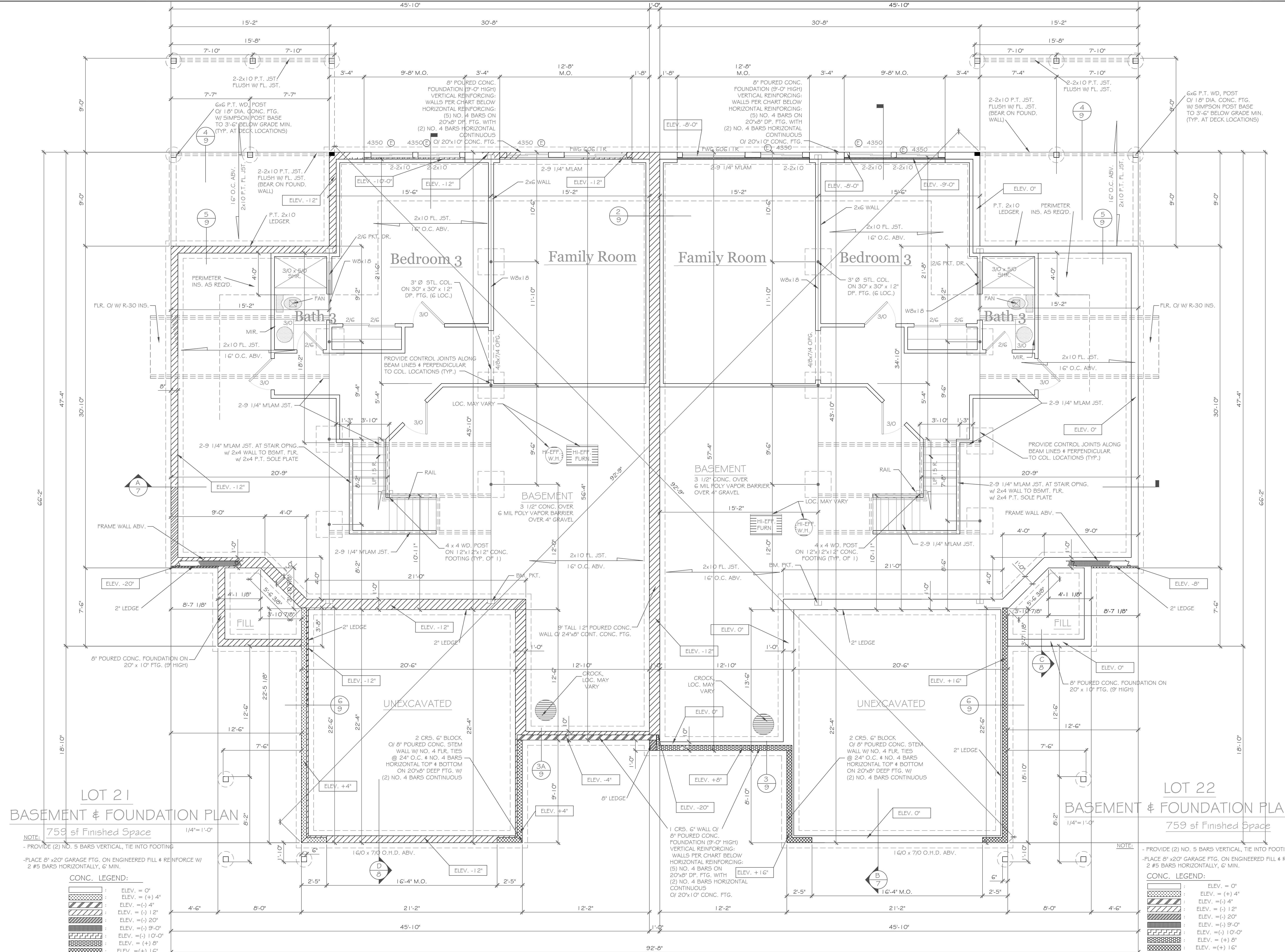
REVISIONS-	NO.	DATE	DESCRIPTION

PROJECT - <b>Alpine Ridge - Units 21 &amp; 22</b> Pittsford, New York	CLIENT - <b>Morrell Builders</b>	PHASE -	Construction Documents
		DATE -	October 15, 2022

DRAWING TITLE - <b>Elevations</b>	JOB NO. - A22-055
--------------------------------------	----------------------

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phone: (585) 249-1334  
e-mail: CKHennessey@frontier.net

DRAWING NO. - <b>A-2</b>
-----------------------------



**LOT 21**  
**BASEMENT & FOUNDATION PLAN**

NOTE: 759 sf Finished Space  
 1/4" = 1'-0"

- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING  
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. LEGEND:**

[Symbol]	ELEV. = 0"
[Symbol]	ELEV. = (+) 4"
[Symbol]	ELEV. = (-) 4"
[Symbol]	ELEV. = (-) 12"
[Symbol]	ELEV. = (-) 20"
[Symbol]	ELEV. = (-) 9'-0"
[Symbol]	ELEV. = (-) 10'-0"
[Symbol]	ELEV. = (+) 8"
[Symbol]	ELEV. = (+) 16"

**LOT 22**  
**BASEMENT & FOUNDATION PLAN**

NOTE: 759 sf Finished Space  
 1/4" = 1'-0"

- PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING  
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

**CONC. LEGEND:**

[Symbol]	ELEV. = 0"
[Symbol]	ELEV. = (+) 4"
[Symbol]	ELEV. = (-) 4"
[Symbol]	ELEV. = (-) 12"
[Symbol]	ELEV. = (-) 20"
[Symbol]	ELEV. = (-) 9'-0"
[Symbol]	ELEV. = (-) 10'-0"
[Symbol]	ELEV. = (+) 8"
[Symbol]	ELEV. = (+) 16"

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REVISIONS-

NO.	DATE	DESCRIPTION

DRAWING TITLE:  
**Basement & Foundation Plan**

PHASE:  
 Construction Documents

PROJECT:  
**Alpine Ridge - Units 21 & 22**  
 Pittsford, New York

CLIENT:  
**Morrell Builders**

JOB NO. -  
 A22-055

DATE:  
 October 15, 2022

**CKH**  
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 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontier.net

DRAWING NO. -  
**A-3**

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES: SMOKE DETECTION & ALARM DEVICES:  
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:  
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.  
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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NO.	DATE	DESCRIPTION

DRAWING TITLE:  
**First Floor Plan**

PHASE:  
 Construction Documents

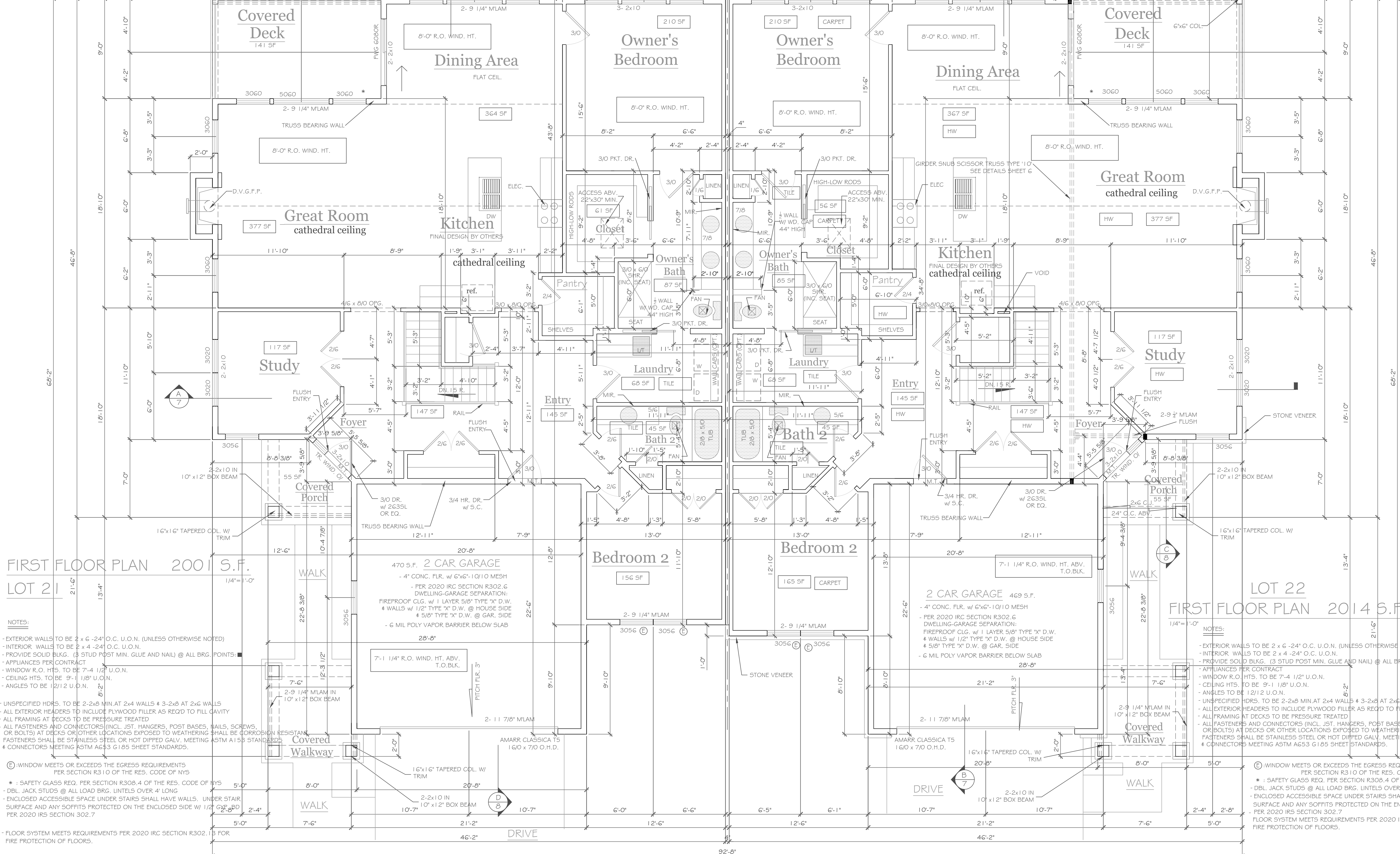
PROJECT:  
**Alpine Ridge - Units 21 & 22**  
 Pittsford, New York

CLIENT:  
 Morrell Builders

DATE:  
 October 15, 2022

JOB NO. -  
 A22-055

CKH architecture  
 1501 Pittsford Victor Rd.  
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 Victor, New York 14564  
 phone: (585) 249-1334  
 e-mail: CKHennessey@frontiernet.net



FIRST FLOOR PLAN 2001 S.F.  
 LOT 21

FIRST FLOOR PLAN 2014 S.F.  
 LOT 22

NOTES:  
 - EXTERIOR WALLS TO BE 2 x 6 - 24\"/>

NOTES:  
 - EXTERIOR WALLS TO BE 2 x 6 - 24\"/>

UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS  
 ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY  
 ALL FRAMING AT DECKS TO BE PRESSURE TREATED  
 ALL FASTENERS AND CONNECTORS (INCL. JST, HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT  
 FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS  
 CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS  
 ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY  
 ALL FRAMING AT DECKS TO BE PRESSURE TREATED  
 ALL FASTENERS AND CONNECTORS (INCL. JST, HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT  
 FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS  
 CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.

FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.1.3 FOR FIRE PROTECTION OF FLOORS.

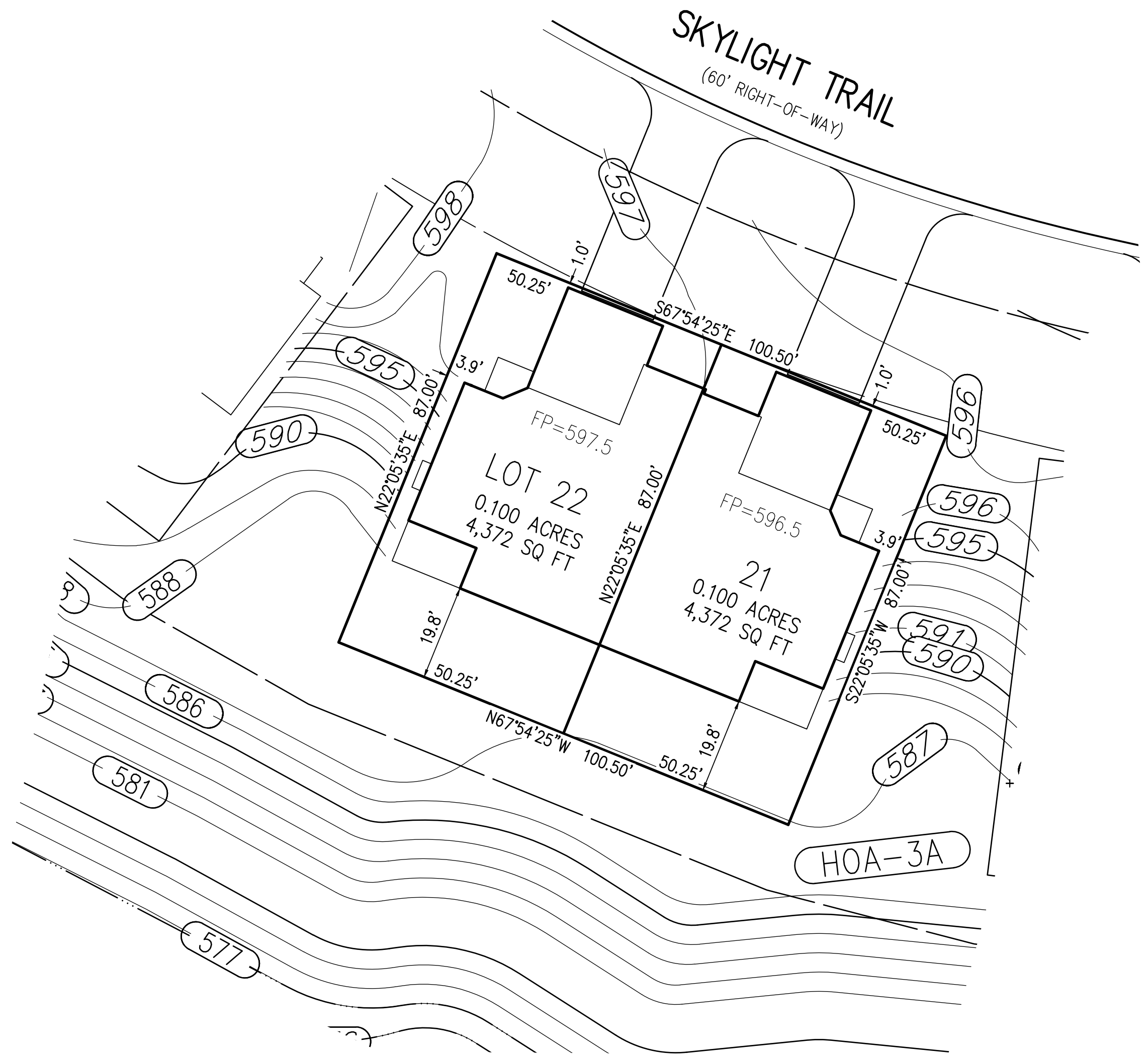
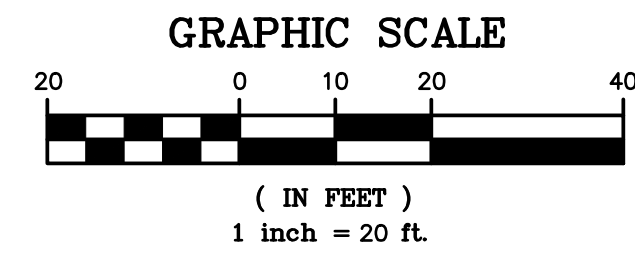
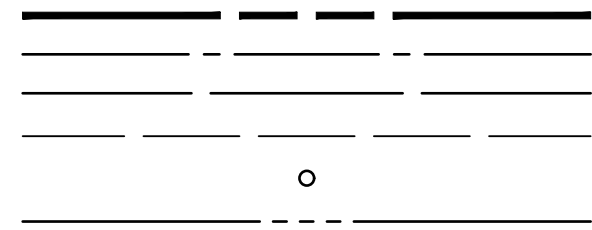
"CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

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**LEGEND**



**REFERENCES:**

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
2. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

**NOTES:**

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:  
FRONT 0' (LOT) 25' (R.O.W.)  
SIDE 0'  
REAR 0'
3. UTILITY EASEMENT TO THE TOWN OF PITTSFORD PER REFERENCE 1.
4. GRADING SHOW HEREON WAS TAKEN FROM A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, JOB DRAWING FINISH GRADING PLAN", PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER JD-4.0-1 AND LAST REVISED SEPTEMBER 27, 2021.

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 6

P:\2688\Instrument Surveys\2688 Lot 21-22 plot plan.dwg

PROJECT	ALPINE RIDGE SUBDIVISION
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD VICTOR ROAD VICTOR, NY 14564
DRAWING TITLE	LOTS 21 & 22 PLOT PLAN
PROJECT NO.	2688
DATE ISSUED	NOVEMBER 29, 2022
DRAWING NO.	38

PROJECT MANAGER	GD BELL
PROJECT SURVEYOR	GD BELL
DRAWN BY	GD BELL
SCALE	1"=20'



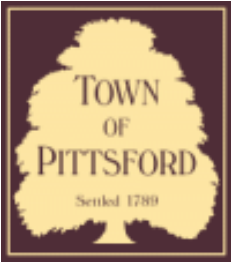
**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFTBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
WWW.BMEPC.COM

PHONE 585-377-7360  
FAX 585-377-7309

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

Drawing Attention  
The following is an excerpt from the New York State Education Law Article 1403, Section 7209 and applies to this drawing:  
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any drawing or plan prepared by him in his seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file to the firm his seal and the notation altered by followed by his signature and the date of such alteration, and a specific description of the alteration."



## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
**C22-000062**

Phone: 585-248-6250

FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 3349 Monroe Avenue ROCHESTER, NY 14618

**Tax ID Number:** 150.12-1-18

**Zoning District:** C Commercial / MATZ Monroe Avenue Transitional Zone

**Owner:** Pittsford Plaza SPE, LLC

**Applicant:** Pittsford Plaza SPE, LLC

#### Application Type:

- |   |   |
|---|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)  | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)   | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input checked="" type="checkbox"/> Signage<br>§185-205 (C)         | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)       | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                            |   |

**Project Description:** Applicant has requested design review for the addition of a business identification sign. The building sign will be approximately 106.25 square feet. The sign meet zoning and will identify the business "Gifts & More at the Paper Store".

**Meeting Date:** December 08, 2022

147.5 sq ft

354"  
50" gifts & more  
AT THE PAPER STORE 

black





**LETTERS**  
Matte Black fabricated 2" deep halo lit pin mount Letters

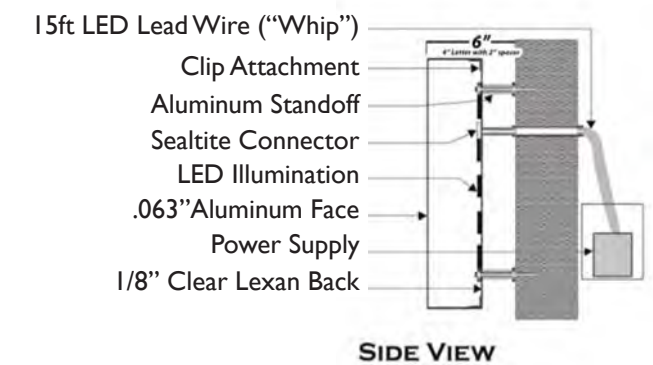
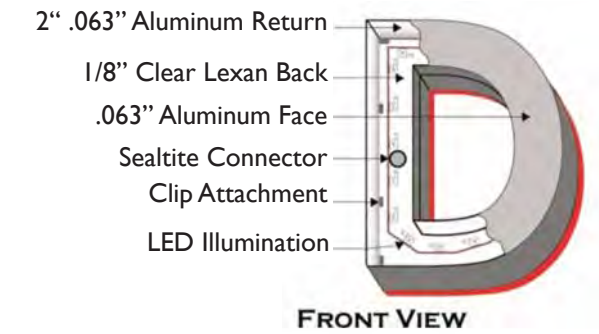
LEDs: WHITE

**PACKAGE**  
Matte Black fabricated 2" deep halo lite gift box

LEDs: WHITE



**Reverse Lit Channel Letters**



**SIGN DISPOSITION**

- Store for     Leave @ Site     Dispose
- Store for Customer     Chargeable     N/A

**MANUFACTURING INFORMATION**

ILL. Non-ILL	Interior Exterior
Face-Lit Back-Lit	Drain Holes: Y N

[3] Internally illuminated or back lit signs shall not exceed fifteen (15) watts of output power for every square foot of signage [rev. 12/1/13; added 11/18/99].  
Data sheets must be provided with application.

ITEMA - (I)

**106.25 SF Boxed**

Returns Mat: Matte Black Alum Depth: 2"

Black Mat: Mill Wht BEA Lexan Th: .063
Mylar Size: 1" 2" Metal:
UL Sticker Loc: Stnd Top
LED Manufacturer: SLOAN WHITE LONG
Rows of LED: Footage: TBD BY MANUFACTURER
Power Supply: Manufacturer: L12V60UNV-Q
Self Cont. Remote Raceway Wireway
Voltage: Current:

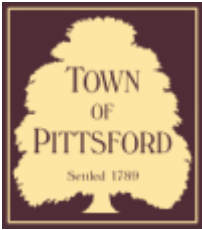
ELECTRIC	Existing	Required
Circuits		
Amp		
Voltage		
U.L.		
Suitable Location: <input checked="" type="checkbox"/> WET <input type="checkbox"/> Damp <input type="checkbox"/> Dry		
Notes:		
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.		

LETTER STROKE GUIDE  
SCALE: 1/2" = 1' - 0"

PROJECT APPROVAL - PRESALE	
Design:	Date:
Sales:	Date:
PROJECT APPROVAL - PROD.	
Design:	Date:
Estimating:	Date:
Engineering:	Date:
Sales:	Date:
Production:	Date:
Installation:	Date:

Job Name: The Paper Store  
Location: Rochester NY  
DESIGN SPECIFICATIONS ACCEPTED BY: \_\_\_\_\_ Drawn By: Danielle G  
Client: \_\_\_\_\_ Sales Rep: \_\_\_\_\_  
Landlord: \_\_\_\_\_ Date: 12/1/2022





## Town of Pittsford

Department of Public Works  
11 South Main Street  
Pittsford, New York 14534

Permit #  
CA22-000004

Phone: 585-248-6250  
FAX: 585-248-6262

### DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

**Property Address:** 465 Marsh Road PITTSFORD, NY 14534

**Tax ID Number:** 164.12-1-4

**Zoning District:** RN Residential Neighborhood

**Owner:** Robert Marshall

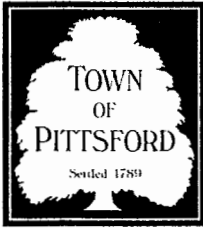
**Applicant:** Robert Marshall

#### Application Type:

- |  |   |
|--|---|
| <input type="checkbox"/> Residential Design Review<br>§185-205 (B)             | <input type="checkbox"/> Build to Line Adjustment<br>§185-17 (B) (2)            |
| <input type="checkbox"/> Commercial Design Review<br>§185-205 (B)              | <input type="checkbox"/> Building Height Above 30 Feet<br>§185-17 (M)           |
| <input type="checkbox"/> Signage<br>§185-205 (C)                               | <input type="checkbox"/> Corner Lot Orientation<br>§185-17 (K) (3)              |
| <input checked="" type="checkbox"/> Certificate of Appropriateness<br>§185-197 | <input type="checkbox"/> Flag Lot Building Line Location<br>§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation<br>§185-195 (2)                  | <input type="checkbox"/> Undeveloped Flag Lot Requirements<br>§185-17 (L) (2)   |
| <input type="checkbox"/> Informal Review                                       |   |

**Project Description:** Applicant is returning for a Certificate of Appropriateness, pursuant to Code Section 185-196, for renovations as well as demolition and rebuild of side structure. This property is zoned (RN) Residential Neighborhood and is designated historic.

**Meeting Date:** December 8, 2022



# TOWN OF PITTSFORD

## Design Review & Historic Preservation Board

### Application for Certificate of Appropriateness

Case # \_\_\_\_\_

1. Property Address: 465 MARSH ROAD

2. Tax Account Number: \_\_\_\_\_

3. Applicant's Name: ROBERT J. MARSHALL

Address: 225 PINE VALLEY DRIVE Phone: 585-259-9796  
Street  
ROCHESTER NY 14626 E-mail: INVEST@ROCHESTER  
City State Zip Code @YAHOO.COM

4. Applicant's Interest in Property:

Owner:  Lessee:  Holding Purchase Offer:

Other (explain): \_\_\_\_\_

5. Owner (if other than above): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

Has the Owner been contacted by the Applicant? Yes  No

6. Application prepared by: ADDLEBERT

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

7. Project Design Professional (if Available): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Street  
\_\_\_\_\_ E-mail: \_\_\_\_\_  
City State Zip Code

8. Project Contractor (if Available): None  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
*Street*  
\_\_\_\_\_  
*City State Zip Code* E-mail: \_\_\_\_\_

9. Present use of Property: SINGLE FAMILY HOME

10. Zoning District of Property: \_\_\_\_\_

11. Is the property located in a Town Designated Historic District?  
Yes  No

12. Is the property listed on the National Registry of Historic Places?  
Yes  No

13. Will State or Federal Funding be used in this project, or will the project result in an application for Tax Credits or other State and Federal benefits?  
Yes  No

If Yes, please explain:

14. Proposed Exterior Improvements:  
A. Describe all exterior architectural improvements proposed with this project (include project materials and finishes; attach additional sheets if necessary):

- Paint. All paint colors and shades to remain the same. Brick to be red. All trim, exterior window parts, and all stone lintels over windows and doors are to remain white. The unpainted dedication plaque over the front door to remain unpainted.
- Doors to be reposition back to the original opening within the brick exterior wall. 2 panel 6 light craftsman style. Storm doors to be replaced with white steel security storm/screen door.
- Remove enclosed entry/porch. Rebuild transom window above door to match original front transom window.
- Relocate and restore horse stable from at house to North west part of property near well pump.

B. Describe all significant site improvements proposed with this project (include proposed changes in landscaping, significant plant material alterations, and other improvements associated with hardscape materials such as driveways and retaining walls; attach additional sheets if necessary):

- Front stoop to be removed, front and side entries to have 60" wide x 42" deep concrete stoops.
- Driveway to have black asphalt millings graded smooth with matching paths/sidewalks to entry stoops at front and side doors.
- Stone bordered planting area to be reclaimed, built up to grade level, mulched river rock stone, planted with wild flowers found at north section of property.
- Grade around entire house to be brought up and pitched away from house with topsoil and lawn.

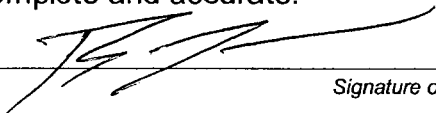
15. If the structure is a Commercial Property open to the Public, please describe all interior improvements proposed at the project site (attach additional sheets if necessary).

16. Additional materials submitted with this application (if available):

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Parcel map  | <input type="checkbox"/> Architectural elevations |
| <input checked="" type="checkbox"/> Photographs | <input type="checkbox"/> Architectural plans      |
| <input type="checkbox"/> Other materials        |   |
- 

**Applicant Certification:**

I certify to the best of my knowledge that the information supplied on this application is complete and accurate.

  
\_\_\_\_\_  
Signature of applicant

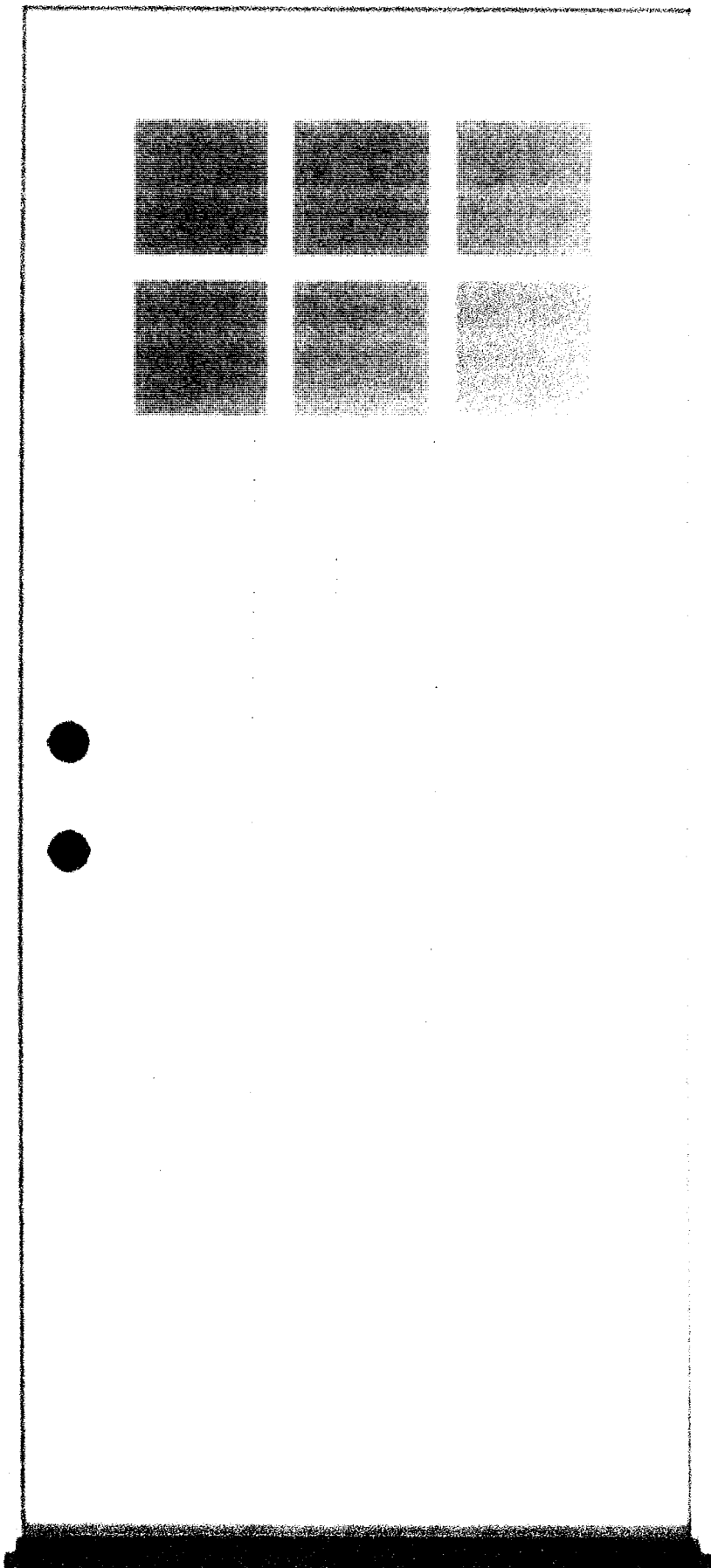
9/22/2022  
Date

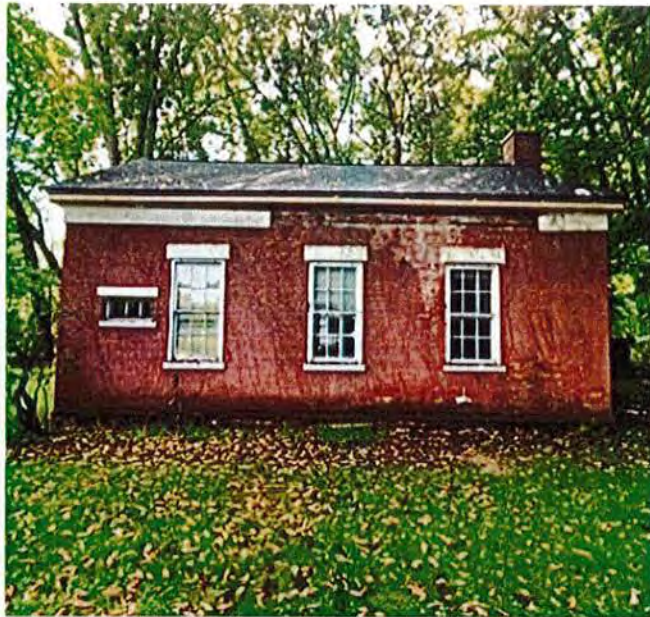
**Owner Consent:**

If the applicant is other than the owner, does the owner concur with this application?

Yes  No

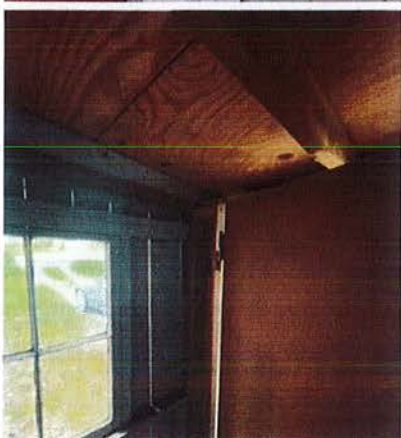
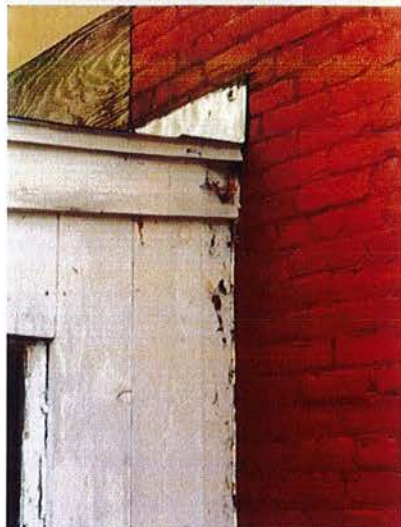
If Yes, owner's signature: \_\_\_\_\_

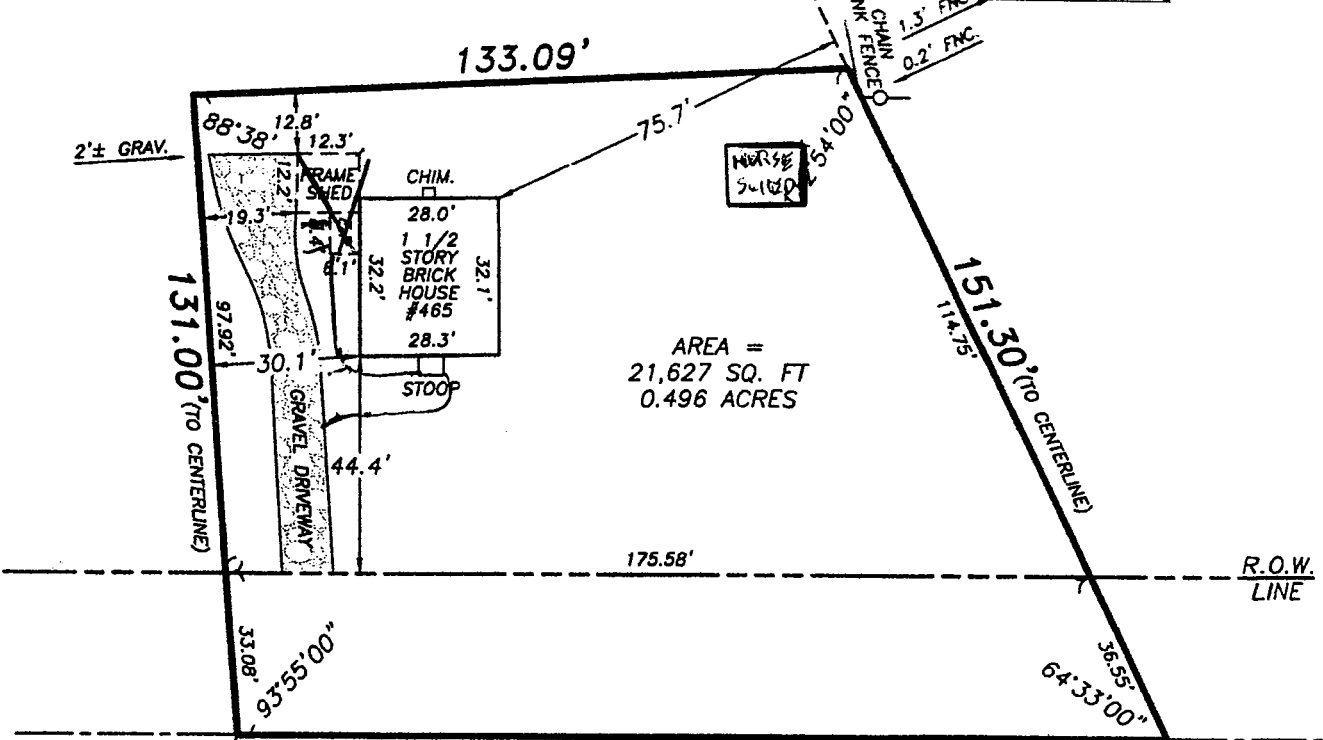
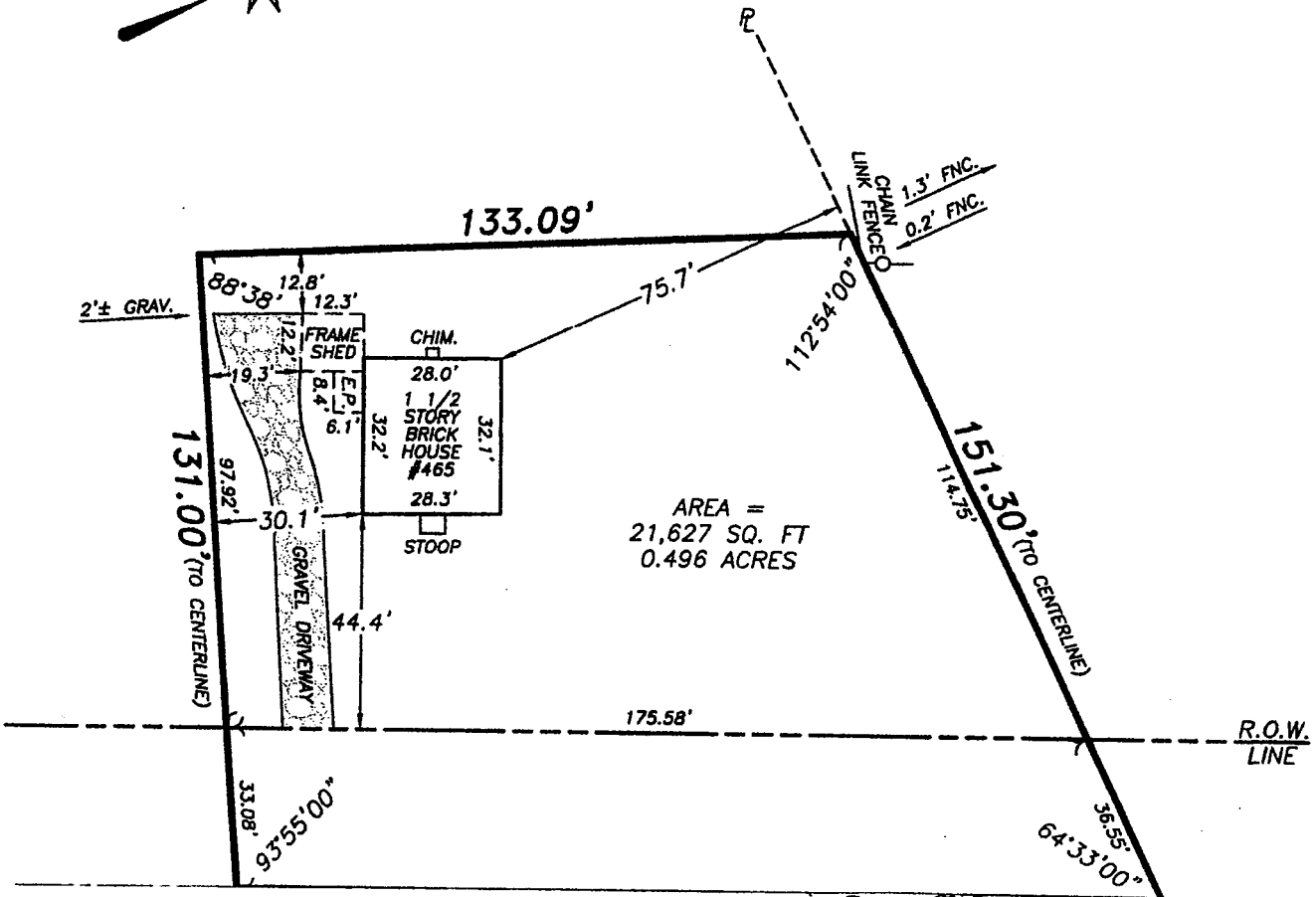
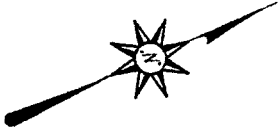












618.3' TO THE CENTERLINE OF PITTSFORD - PALMYRA ROAD

189.02' (66' WIDE R.O.W.) MARSH ROAD

CENTERLINE



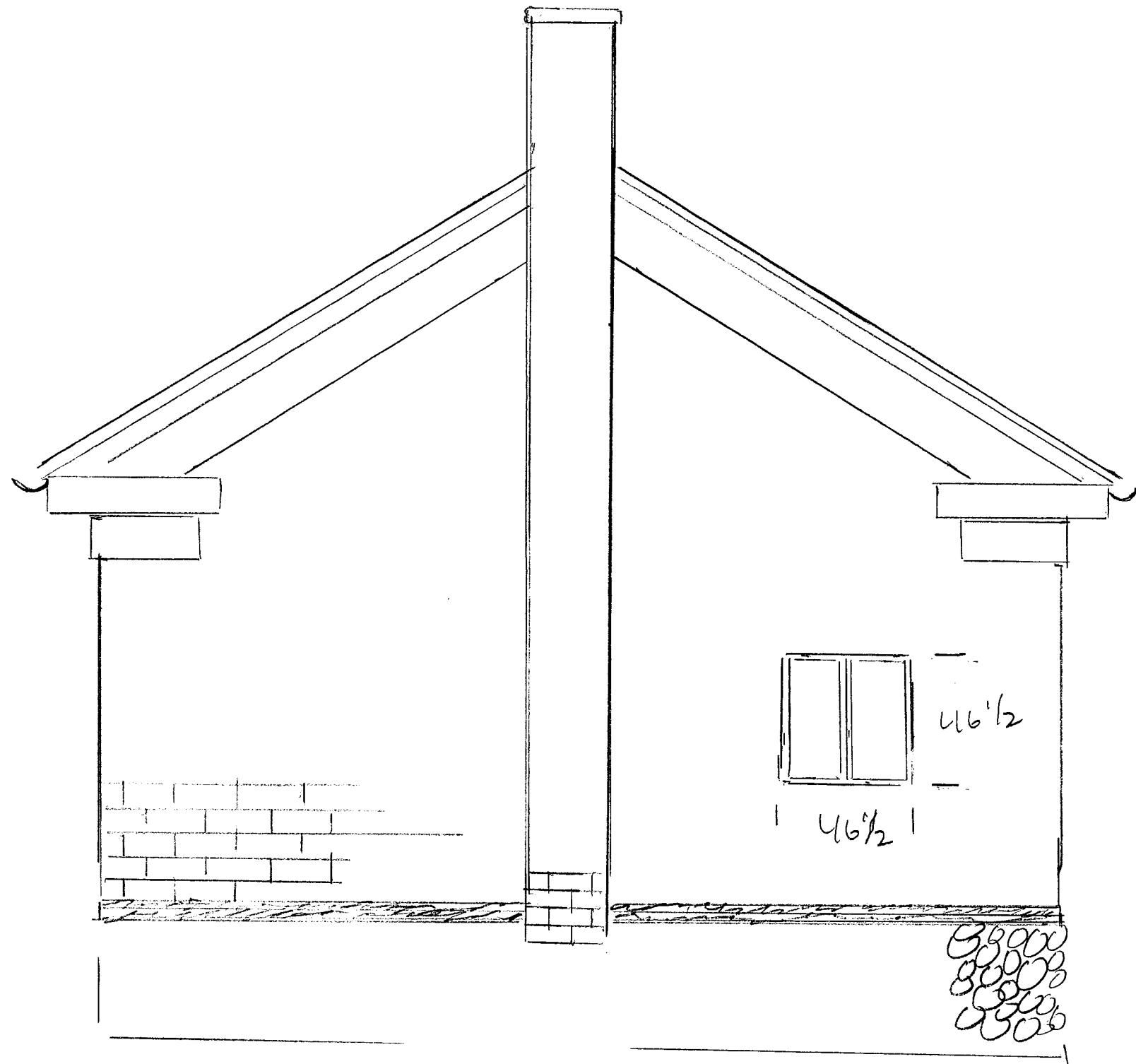
- ALL EXTERIOR WALL SURFACES TO BE PAINTED BRICK
- ALL EXTERIOR TRIM SURFACES TO BE PAINTED WHITE
- DOORS TO BE PAINTED LEAD WINDOWS TO BE PAINT WHITE

DISTRICT  
NO 12  
SELECT 1854

BRICK DRIP EDGE

465 MARSH RD  
FRONT SIDE

29' 2"



465 MARSH RD.  
BACK SIDE

10/21



4'  
3'

32  
40

10  
73"  
4  
39  
42

6"  
3'

32'

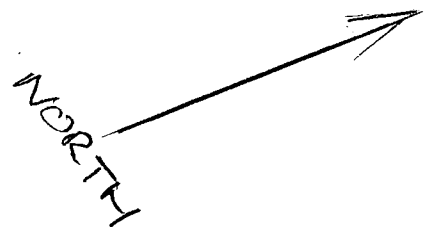
465 MARSH RD.  
RIGHT SIDE



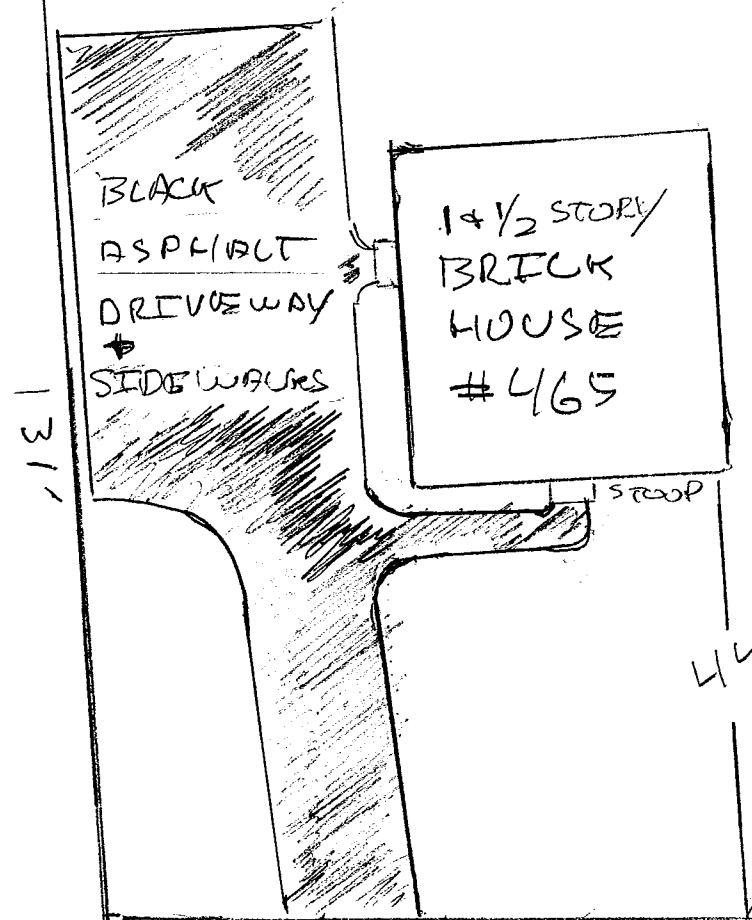
32'

36"  
|  
—

465 MARSH RD.  
WEST SIDE



133.09'



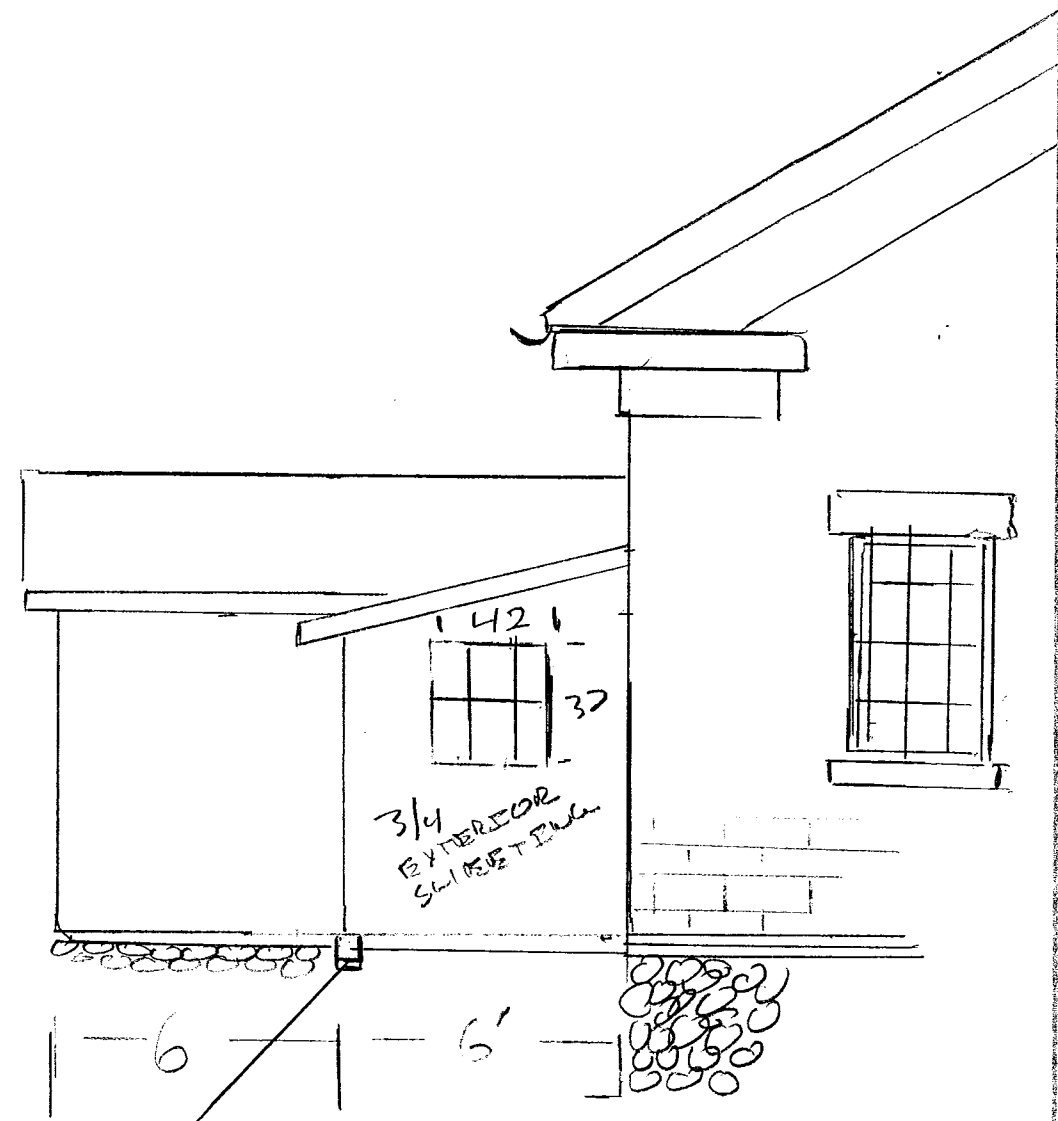
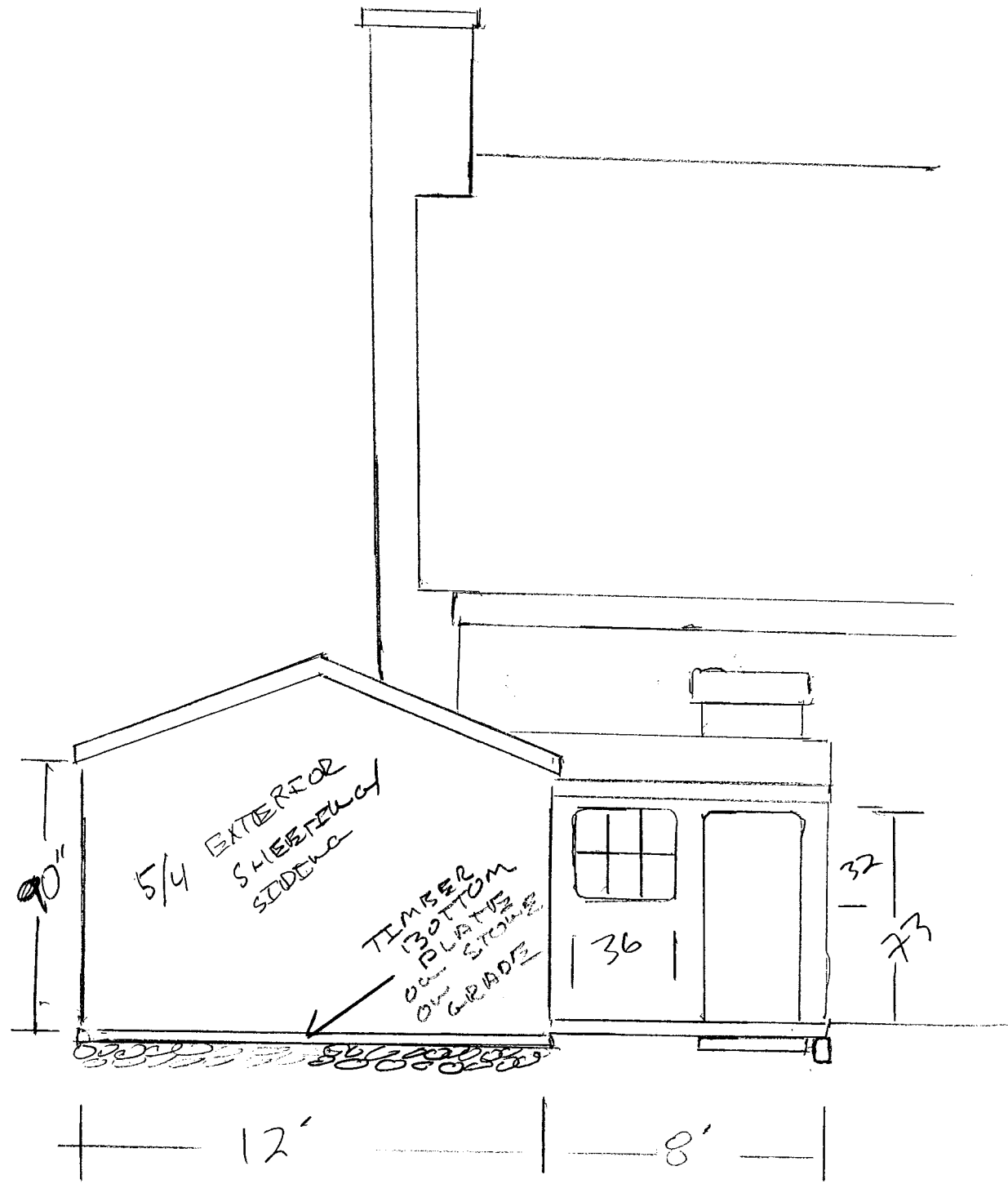
175.58'

ROW  
LINE

189.02'

MARSH ROAD CENTER LINE

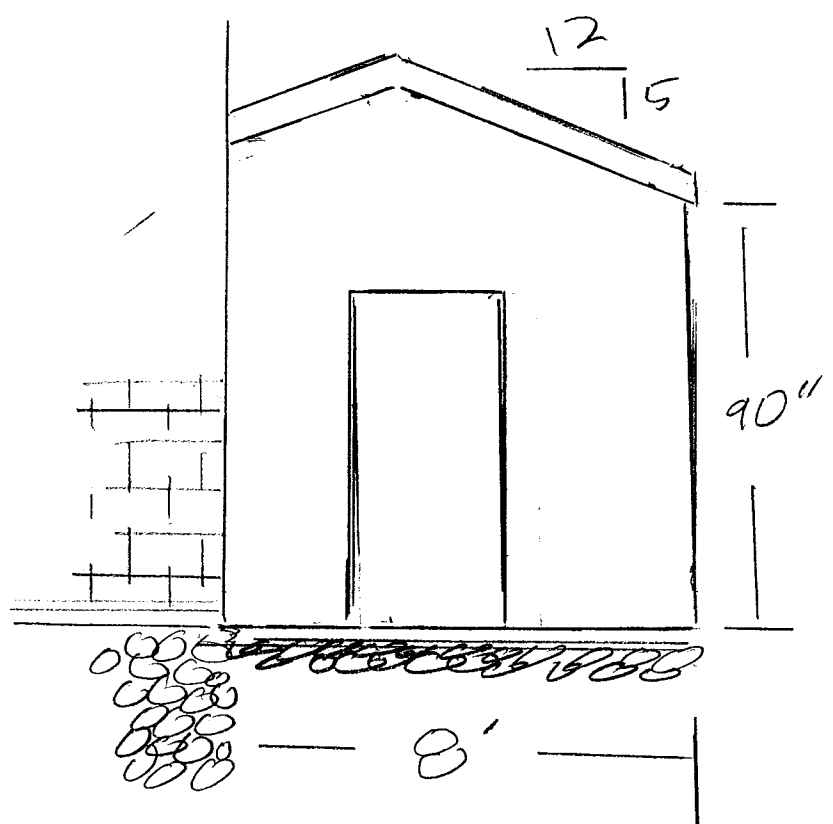
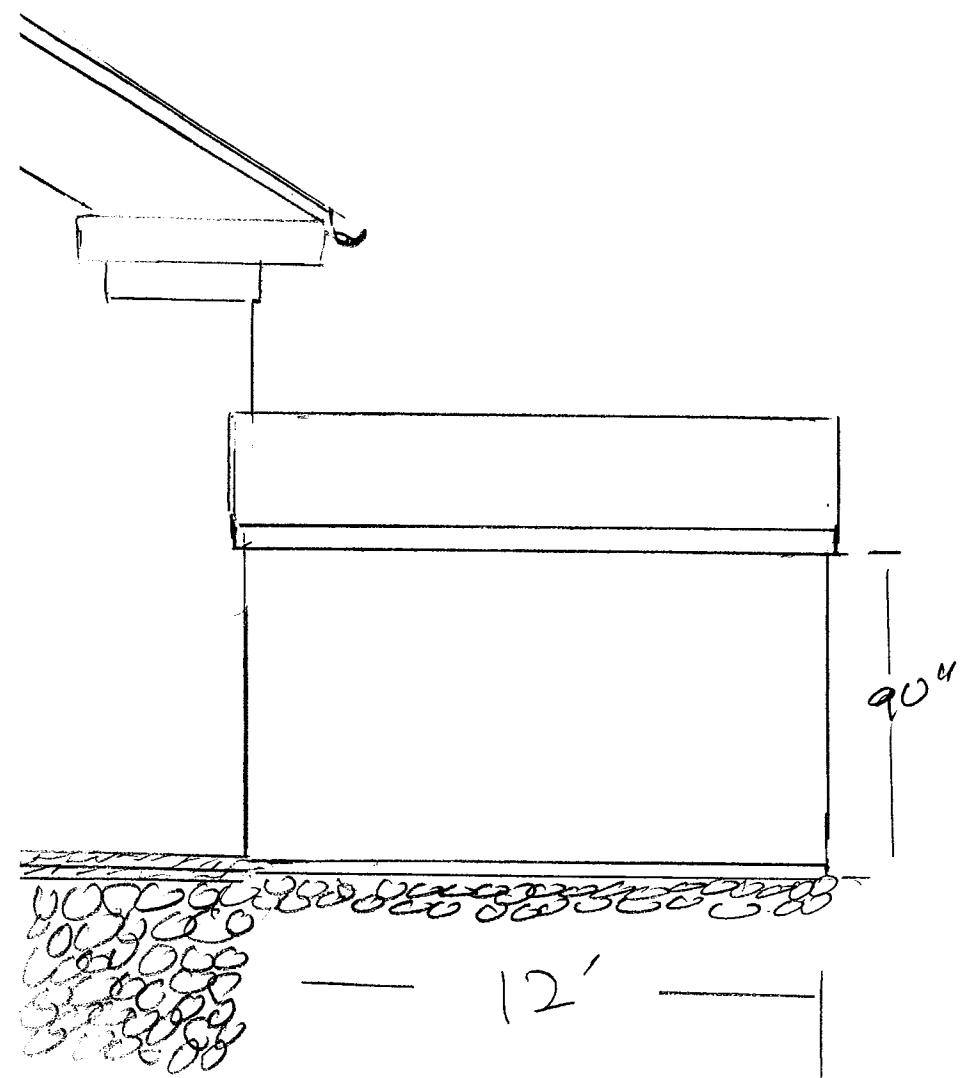
465 MARSH RD  
CITY OF...



2 X 6 JOIST  
ON RE...

465 MARSH RD





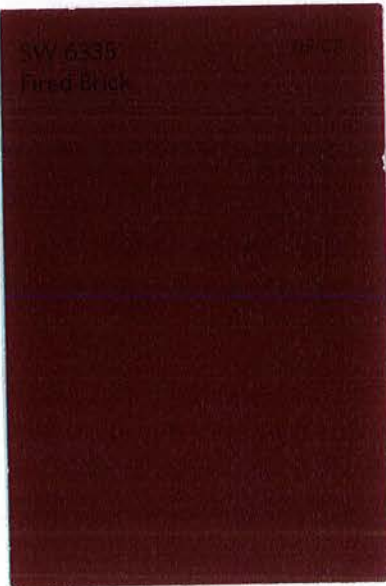
1465 Market RD  
ROCKY HILL

**Trim color**

SW 7006  
Extra White

257-C1

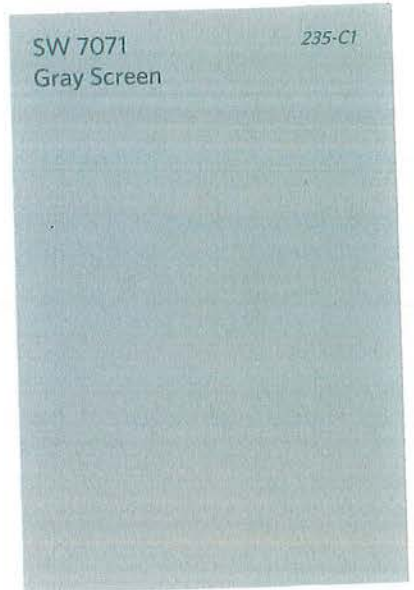
**Brick color**



**Door color**

SW 7071  
Gray Screen

235-C1



Reevaluation of submitted request to allow changes/improvements currently before the Pittsford board concerning 465 Marsh Road.

-Approval of provided 3 paint color samples. Red on all brick, white on all millwork/trim/window frames/window storms/window screens, and gray on both exterior doors.

-Approval of provided 6" round aluminum gutter and bracket samples.

-Approve the removal and dismantling of side entry porch and horse barn/stable.

-Approval of provided site plan with driveway, sidewalks, and stoops displayed. (no plantings at this time only lawn to building and corrected grade)

-Approval of provided building drawing's/elevations. (thought to be as originally constructed)

-Front entry door has been located on property and will be rehung in original location. Side door to be custom build and matching front door as per drawing.

-Approval of replacement of front and side stoop.

-There will be no effort to replace any windows, interduce and landscaping, or relocation of barn/stable.

**TOWN OF PITTSFORD  
DESIGN REVIEW & HISTORIC PRESERVATION BOARD MEETING  
LEGAL NOTICE**

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following Public Hearing on Thursday, October 13, 2022 in the Town Hall lower level meeting room, 11 South Main Street, beginning at 6:00 P.M. local time.

**PUBLIC HEARING**

- 465 Marsh Rd, Tax # 164.12-1-4 Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for renovations as well as demolition and rebuild of side structure. This property is zoned (RN) Residential Neighborhood and is designated historic.

Anthony Caruso  
Building Inspector