

**Design Review & Historic Preservation Board
Agenda
September 22, 2022**

HISTORIC PRESERVATION DISCUSSION

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

- **4 San Rafael Drive**
The Applicant is requesting design review for the construction of a new single-family home. The home will be approximately 6703 SF of livable space and will be located on a vacant lot in the San Rafael Drive neighborhood.

RESIDENTIAL APPLICATION FOR REVIEW

- **25 Trotters Field Run**
The Applicant is requesting design review for the construction of an approximately 154 SF screen room addition off the front of the house.
- **27 Whitestone Lane**
The Applicant is requesting design review for an approximate 70 SF covered porch over the front main entry of the home.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **7 Black Wood Circle**
The Applicant is requesting design review for the construction of a one-story single-family home. The home will be approximately 2013 SF and will be located in the Wilshire Hills Subdivision.
- **3 Stable View**
The Applicant is requesting design review for the construction of a two-story single-family home. The home will be approximately 3256 SF.
- **45 & 47 Skylight Trail**
The Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 26 (47 Skylight Trail) will be approximately 2023 SF. and Lot 25 (45 Skylight Trail) will be SF. The town homes will be in the Alpine Ridge development.

COMMERCIAL APPLICATION FOR REVIEW – SIGNAGE

- **3660 Monroe Avenue**
The Applicant is requesting design review to replace existing ground sign with a new 25 SF sign that is same size and same setback as existing sign.

Design Review and Historic Preservation Board
Minutes
September 8, 2022

PRESENT

David Wigg, Acting Chairman; Jim Vekasy, Paul Whitbeck, Bonnie Salem, Kathleen Cristman, John Mitchell

ALSO PRESENT

Bill Zink, Building Inspector; Susan Donnelly, Secretary to the Board

ABSENT

Dirk Schneider, Chairman

HISTORIC PRESERVATION DISCUSSION

Bonnie Salem and Dave Wigg discussed meeting at the East Street Burying Ground to determine where the signage currently located within the fencing should be relocated.

Bonnie Salem also discussed that she is talking to Shelley O'Brien, Town Communications Director, to determine what the goals are for highlighting historically designated homes on the Town website.

RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

- **22 Evergreen Lane**

The Applicant is requesting design review for the construction of an approximately 160 SF 3 season room addition off the back of the house.

Tom Romono of Patio Enclosures was present to discuss the questions posed by the Board at the previous meeting.

The Board indicated their preference for the roof to match the current roof on the home.

The room will be all screened but have the option for all glass panels in the future. The upper roof panel will be a single glass pane.

David Wigg moved to approve the application as submitted with the condition that the shingles of the roof match the existing.

Paul Whitbeck seconded.

All Ayes.

RESIDENTIAL APPLICATION FOR REVIEW

- **91 Knollwood Drive**

The Applicant is requesting design review for the demolish of an existing covered patio and construct a new 1122 SF covered outdoor entertainment space per plans and specs.

The homeowner, Anthony Cotroneo, and Brian Warren were present to discuss this application with the Board.

The proposed covered patio is designed to replicate a similar style of the existing but will be larger and will complement the home. The shingles will match those on the home and will feature the same trim detail. A copper cupola will be a featured.

John Mitchell moved to accept the application for the demolition of the existing patio and construction of a new covered patio with the condition that the shingles will be asphalt and the cupola will be copper clad.

Bonnie Salem seconded.

All Ayes.

97 Country Club Road

The Applicant is returning to requesting design review for changes to a previously approved addition of an approximately 795 SF addition/renovation of the existing house as well as the addition of an approximately 500 SF garage.

The homeowners, Mark and Lisa Stein, were present.

The change will involve the addition of another gable to the front elevation over the living room and proposed dining room. The new roof will be shingled to match the existing. The 2 garage doors will remain the same. It was noted that the rendering of the garage doors reflects a single door in error. The 3-season room will also remain.

Paul Whitbeck moved to accept the application as submitted as reviewed on September 8, 2022, which supersedes any previous approval.

David Wigg seconded.

Ayes – Wigg, Whitbeck, Cristman, Vekasy, Mitchell

Nays – Salem

The application received approval.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOME

- **2721 Clover Street**

The Applicant is requesting design review for the construction of a two-story single-family home. The home will be approximately 2321 square feet.

The contractor, Mike Grasta, was present.

The design features a side load garage and stone returns of 2 ft. at the corners. There are three materials on the front elevation, but the shakes and vinyl will be the same color blue with complementary colored stone and white trim. The columns on the porch will be square. The windows will be Anderson 200 series with mullions in between the glass.

The Board debated the use of three materials but in the end determined it was acceptable if the colors are monochromatic. Also, the Board discussed the need for shutters on the front elevation and discussed that the corner boards should be wood.

David Wigg moved to accept the application as submitted with the following conditions:

1. Removal of the shutters from the front elevation.
2. Stone returns wrap two feet from the front to the side elevations.

Jim Vekasy seconded.

All Ayes.

CERTIFICATE OF APPROPRIATENESS - RETURNING

- **315 Thornell Road**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the rear addition on a designated historic home. This property is zoned RN - Residential Neighborhood.

This hearing remains open, but no action was taken as no new information has been presented to the Town and the applicant was not present.

CERTIFICATE OF APPROPRIATENESS – NEW

- **2590 Clover Street**

The Applicant is requesting a Certificate of Appropriateness, pursuant to Code Section 185-196, for the rear addition on a designated historic home. This property is zoned RN - Residential Neighborhood.

David Wigg opened the public hearing.

There were no members of the public present for his hearing.

The homeowner, Katherine Walker, was present.

Architect Scott Fiske reviewed the project with the Board. He indicated the materials to be used on the new additions will be “sympathetic” to what is on the original structures including the house and nearby barn. The window sashes will be replaced on the original house. The windows will be one over one with no mullions. All windows will remain the same size and shape. Roof materials will be asphalt like the shingles on the original home. The proposed barn/garage will be painted a similar color to an existing barn that was originally on the (now subdivided) property. The neighbor across the street at 2585 Clover Street, Warren Waldow, reviewed the plans, reviewed of the design and submitted a letter of approval to the Town. The Board expressed no objections to the plan.

David Wigg moved to close the Public Hearing.

Kathleen Cristman seconded.

All Ayes.

A resolution to grant a Certificate of Appropriateness was moved by Board member David Wigg, seconded by Board member Kathleen Cristman, and was voted upon by members of the Board as follows:

Dirk Schneider voted	Absent
Bonnie Salem voted	Aye
Paul Whitbeck voted	Aye
Kathleen Cristman voted	Aye
David Wigg voted	Aye
John Mitchell voted	Aye
Jim Vekasy voted	Aye

The granting of the Certificate of Appropriateness is made subject to the following specific conditions:

- (a) Replacement windows in the existing home will retain the same size and shape as existing. Replacement sash in the existing home and new windows in the addition and garage will be wood or fiberglass windows, double hung, one over one, with no mullions.
- (b) The addition and existing house will be painted white; the garage will be painted barn red.
- (c) The roof on the addition and garage will match the existing house in material and color.
- (d) All work is to be completed by December 31, 2023.

REVIEW OF MINUTES OF AUGUST 28, 2022, MEETING

David Wigg moved to accept the minutes of the August 28, 2022, meeting with a correction.

Bonnie Salem seconded.

All Ayes.

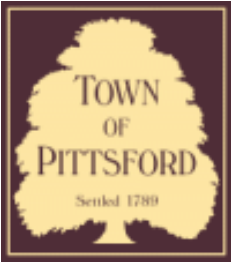
ADJOURNMENT

David Wigg moved to close the meeting at 7:35 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000143

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 4 San Rafael Drive ROCHESTER, NY 14618

Tax ID Number: 151.06-1-17

Zoning District: RN Residential Neighborhood

Owner: Krapf, Christian

Applicant: Krapf, Christian

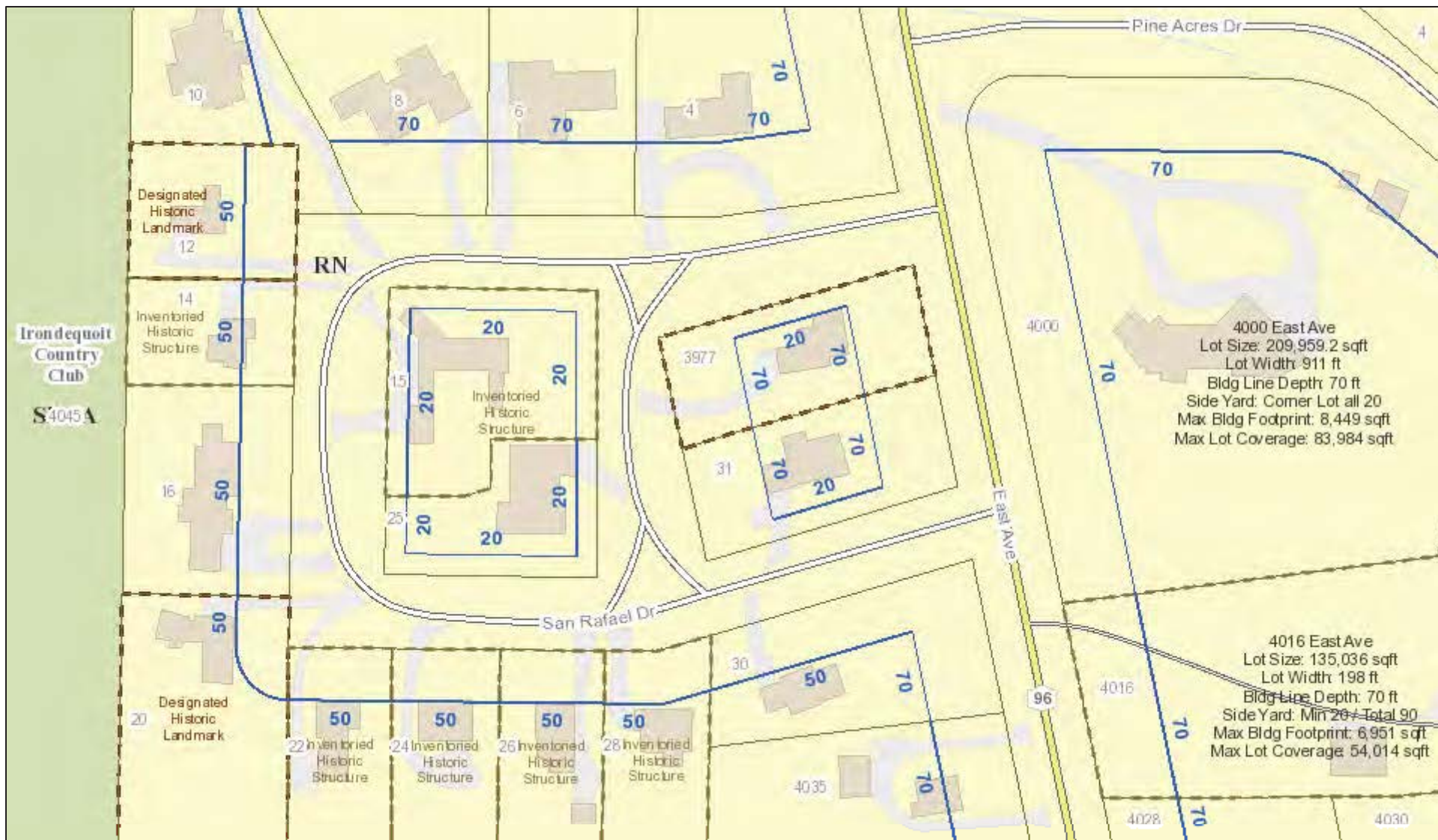
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

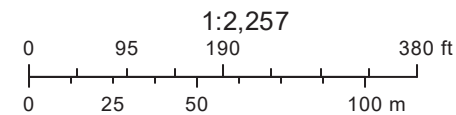
Project Description: Applicant is requesting design and review for the construction of a new single family home. The home will be approximately 6703 sq. ft. of livable space and will be located on a vacant lot in the San Rafael Drive neighborhood.

Meeting Date: September 22, 2022

RN Residential Neighborhood Zoning

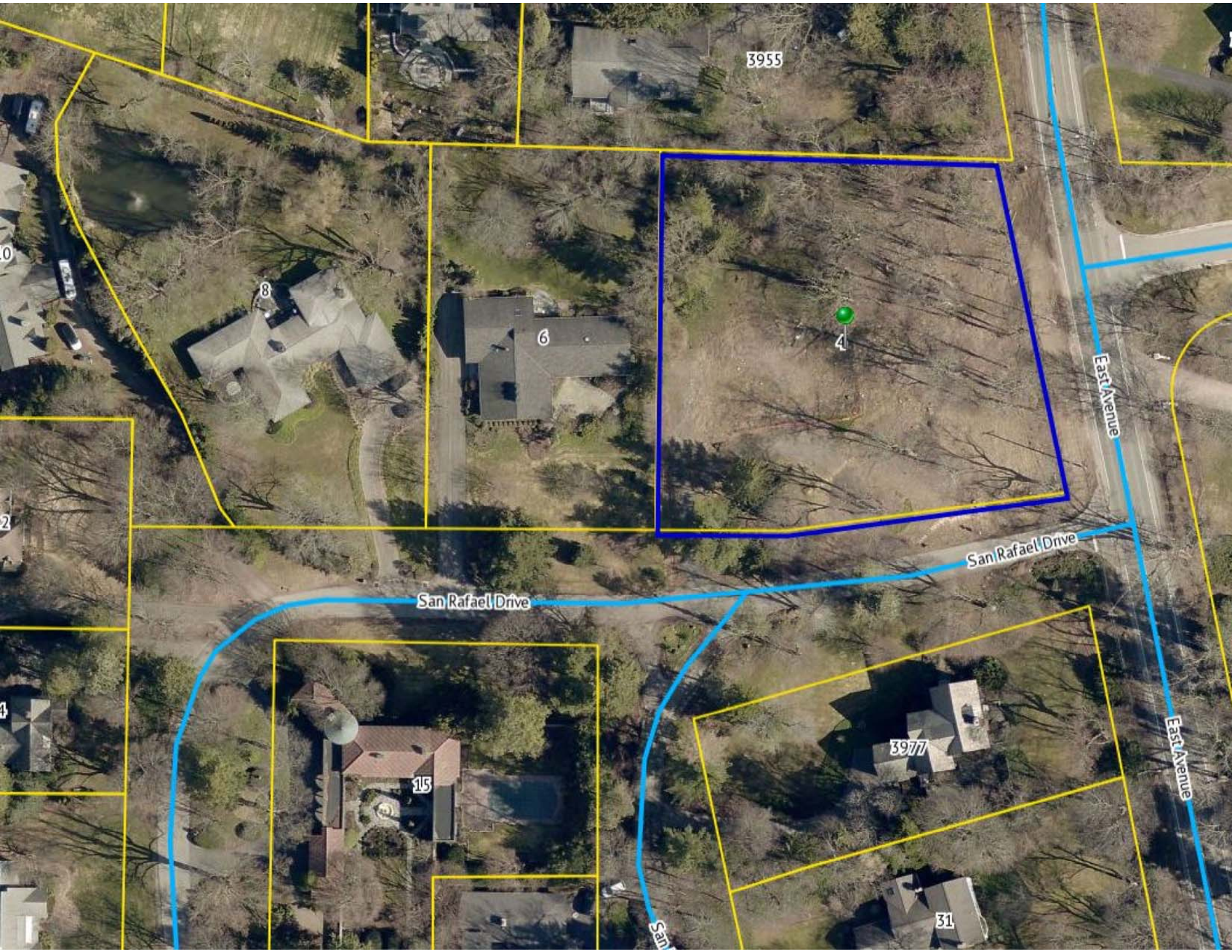


Printed July 30, 2019



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



3955

8

6

4

East Avenue

San Rafael Drive

San Rafael Drive

East Avenue

3977

15

31



VIEW FROM SOUTH EASTERN CORNER

KRAPF RESIDENCE



VIEW FROM NORTH EASTERN CORNER

KRAPF RESIDENCE



VIEW FROM SOUTH WESTERN CORNER

KRAPF RESIDENCE



VIEW DOWN SAN RAFAEL DRIVE

KRAPF RESIDENCE



VIEW DOWN EAST AVENUE

KRAPF RESIDENCE









Krapf Residence

Design Review and Historic Preservation Set

Issue: 09/14/2022

19014

4 San Rafael Drive
Rochester, NY 14618

Drawing Index

ARCHITECTURE	
A0.0	COVER SHEET
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A4.1	SECTIONS
CIVIL	
A1.0	SITE PLAN

Project Information

OWNER:

Christian G. Christina Krapf
1598 Highland Ave.
Rochester, NY 14618

ARCHITECT:

Christopher Architecture & Interiors
Chris Reebals & Ria Neill
2601 Highland Ave
Birmingham, AL 35205
p: 205.413.8531

INTERIOR DESIGN:

Christopher Architecture & Interiors
Whitney Tingle & Leigh Ann Harris
2601 Highland Ave
Birmingham, AL 35205
p: 205.413.8531

STRUCTURAL ENGINEER:

TSE 123
Carmine Torchia & Nick Amorim & Dorothy Hanrahan
625 Panorama Trail, Suite 2210
Rochester, NY 14625
p: 585.385.7630

LANDSCAPE ARCHITECT:

RPK Landscape Architecture, PC
Ryan Kelly & Andrew Murphy
50 University Avenue
Rochester, NY 14605
p: 585.683.5315

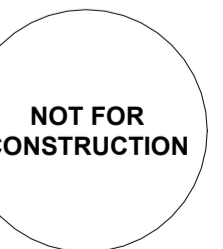
GENERAL CONTRACTOR:

DVC, Incorporated
Dominick Caroselli
64 Stonington Drive
Pittsford, NY 14534
p: 585.353.3307

SQUARE FOOTAGES:

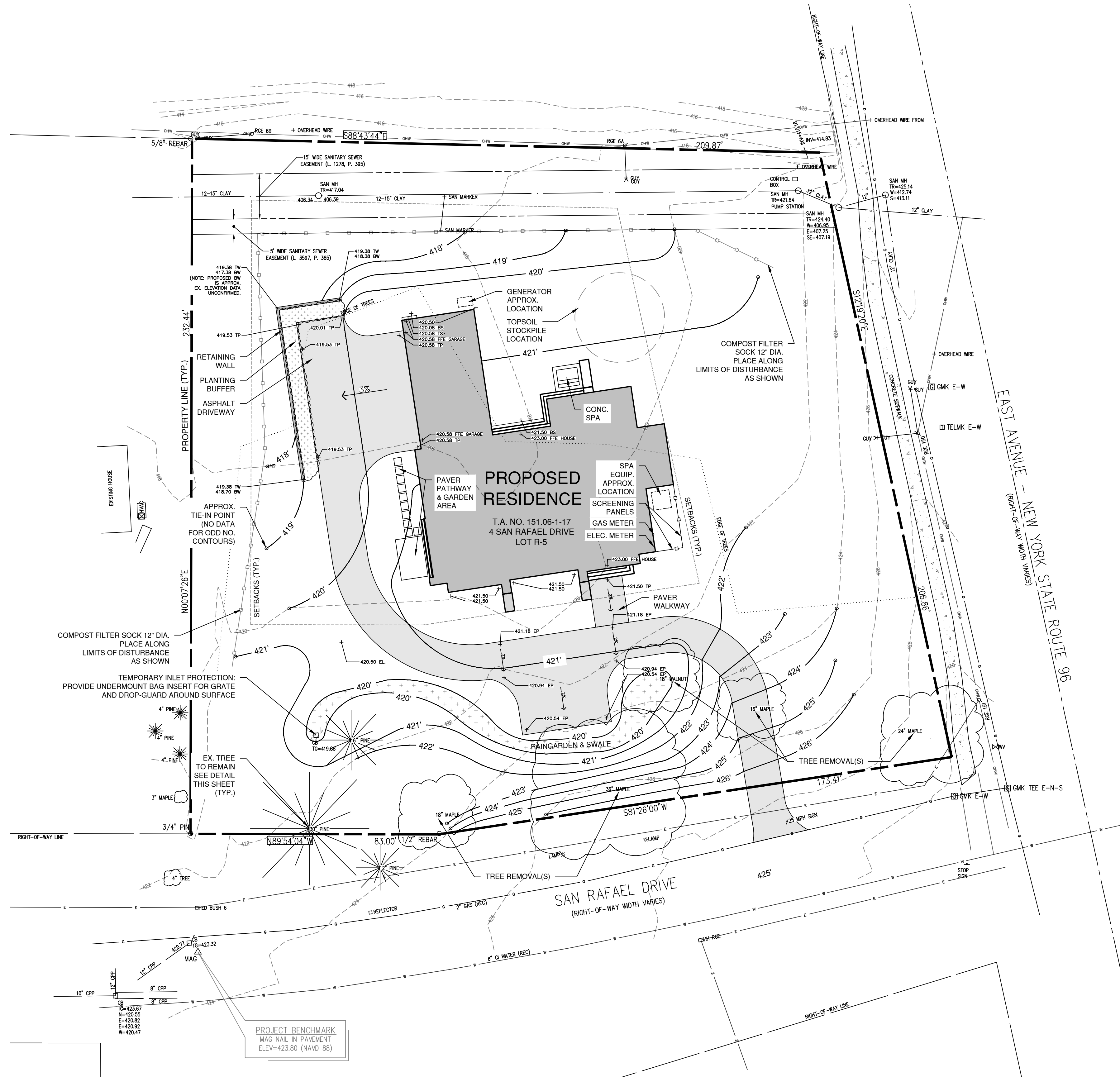
Heated & Cooled Total: 5,410sf
First Floor: 2,994sf
Second Floor: 1,438sf
Garage: 978sf
Unconditioned Total: 1,718sf
Porches/Patios: 1,175sf
Spa: 118sf
Attic: 425sf

Applicable Codes:
2017 International Residential Code
Code of the Town of Pittsford
New York State Energy Conservation Construction Code
New York State Uniform Fire Prevention and Building Code





C
CHRISTOPHER
ARCHITECTURE & INTERIORS



GENERAL NOTES:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL AREAS WITHIN SCOPE OF WORK PRIOR TO START OF LANDSCAPE CONSTRUCTION. CONTACT THE LANDSCAPE ARCHITECT, THE OWNER, OR OWNER'S REPRESENTATIVE IMMEDIATELY TO REVIEW AND APPROVE ANY FIELD ISSUES DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND CONSTRUCTION QUALITY ASSURANCES AND WARRANTIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. ANY DAMAGE OCCURRING TO UTILITIES OR PROPERTY DURING EXCAVATION AND CONSTRUCTION WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR WILL SUBMIT PRODUCT DATA AND SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS FROM THE MUNICIPALITY AS NECESSARY. TO ALSO INCLUDE ANY NECESSARY PERMITTING FOR TRAFFIC REDIRECTION AND DISRUPTION.
6. THE CONTRACTOR SHALL MAINTAIN SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES THROUGHOUT THE CONSTRUCTION PROCESS.
7. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND CHECKED AFTER EACH RAIN EVENT.

PROPERTY NOTES:

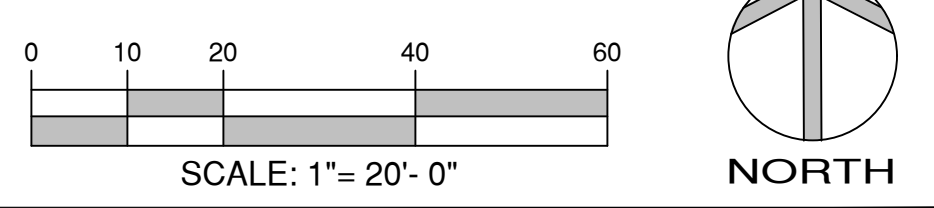
SURVEY DATA:	EXISTING BASE INFORMATION DERIVED FROM FIELD SURVEY DATED JULY 2019 PERFORMED BY BME ASSOCIATES.
TAX ID NO:	151.06-1-17
ADDRESS:	4 SAN RAFAEL DRIVE, ROCHESTER, NY 14618
COMMUNITY:	TOWN OF PITTSFORD
ZONING:	RN RESIDENTIAL NEIGHBORHOOD
LOT AREA:	1.188 AC
MAX. LOT COVERAGE:	40%
EX. IMPERVIOUS:	APPROX. 3,800 SQ. FT. (GRAVEL DRIVEWAY, TO BE REMOVED)
FIRE DISTRICT:	
FUEL:	(PROPOSED) NATURAL GAS / ELECTRIC
WATER:	(PROPOSED) PUBLIC
SEWER:	(PROPOSED) SANITARY
HOA:	NO
100-YR FLOODPLAIN:	NO
NRCS SOILS:	Ub - URBAN LAND, Ca - CANANDAIGUA SILT LOAM, Asd - ARKPORT-DUNKIRK VERY FINE SANDY LOAMS 12-25% SLOPES
WATERSHED:	ALLEN CREEK / IRONDEQUOIT CREEK
USDA PLANT ZONE:	6b

SUMMARY OF PROPOSED SCOPE:

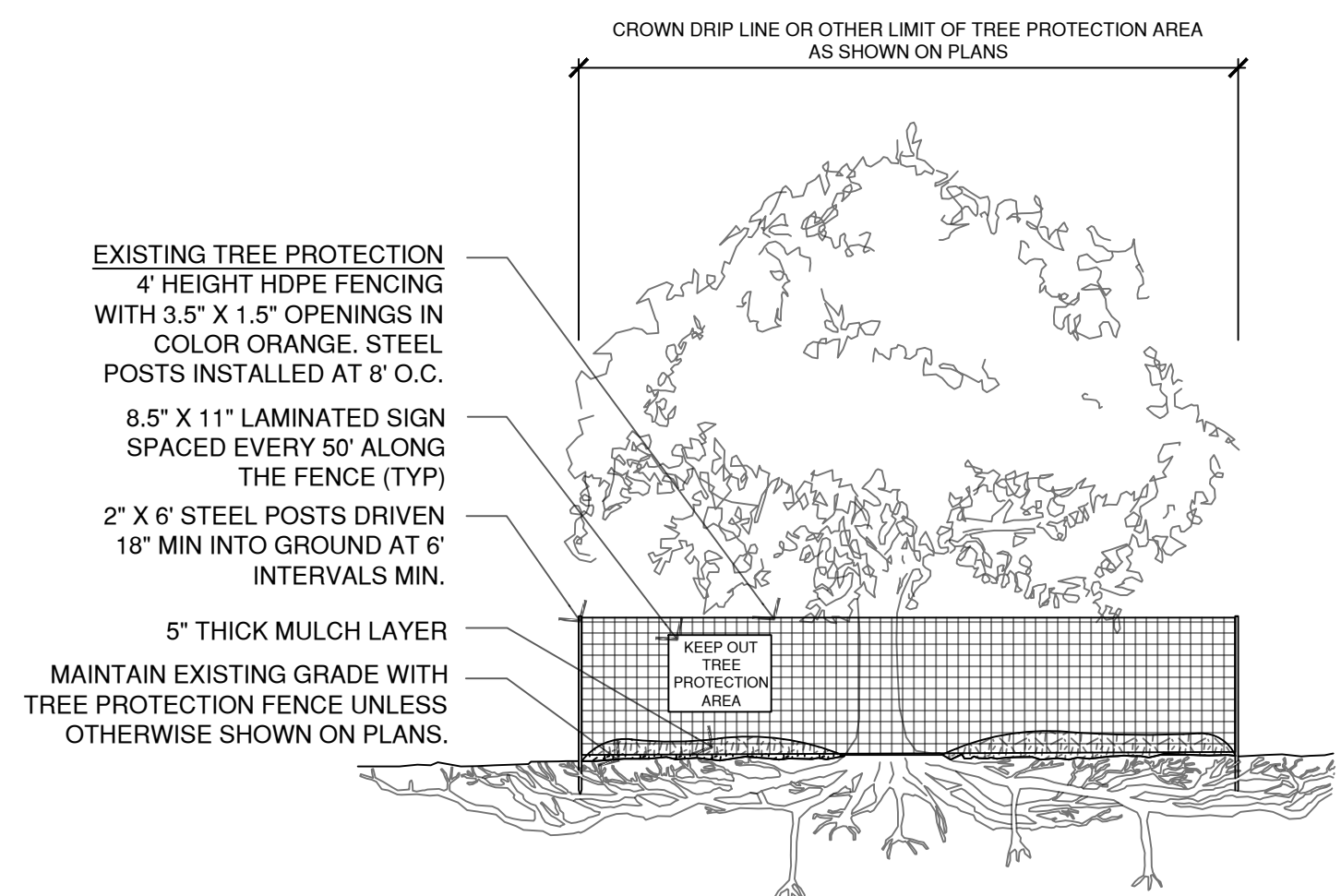
1. RESIDENCE APPROX. 5,175 SQ. FT. AS SHOWN
2. ASPHALT DRIVEWAY APPROX. 5,315 SQ. FT. AS SHOWN. (1) CURB CUT @ NEW LOCATION.
3. RETAINING WALL APPROX. 90 LF AS SHOWN, AVERAGE HEIGHT OF 28 INCHES ABOVE GRADE. REINFORCED CONCRETE.
4. SPA APPROX. 9'X9' AS SHOWN. REINFORCED CONCRETE.
5. MISC. IMPERVIOUS APPROX. 200 SQ. FT. WALKWAYS TO CONNECT DRIVEWAY WITH HOUSE. CONC. OR PAVER.

VARIANCES REQUESTED: NONE

1. SITE PLAN



CALL DIG SAFE BEFORE YOU DIG IN NEW YORK '81



2. EXISTING TREES: PROTECTION DETAIL

N.T.S.

NOT FOR CONSTRUCTION

REVISION SCHEDULE

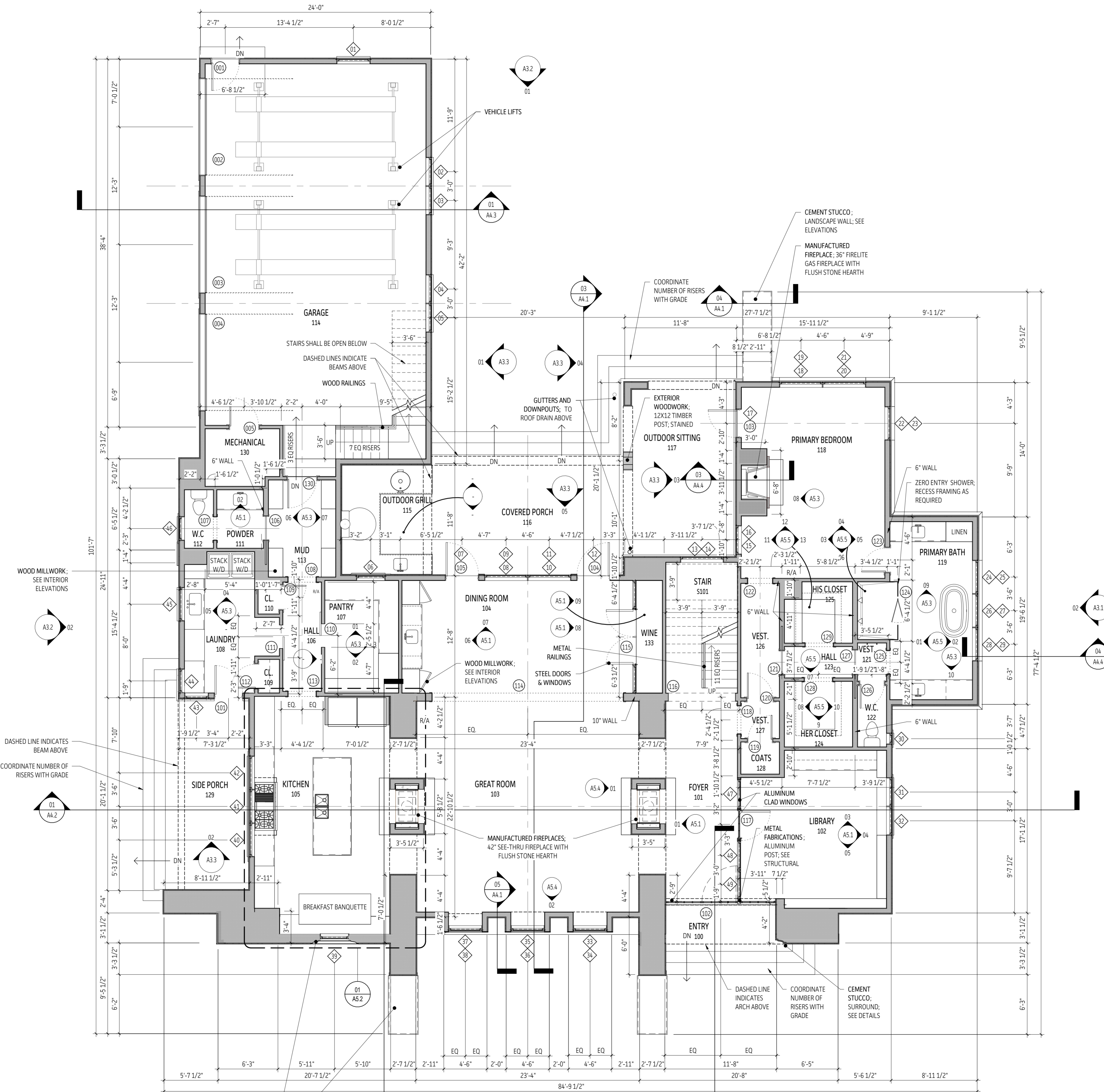
Krapf Residence	
4 San Rafael Drive Rochester, NY 14618	
DATE	DRAWN BY
9/14/2022	AJM
JOB NO.	CHECKED BY
19014	RPK
SHEET TITLE	
SITE PLAN	



- GENERAL PLAN NOTES**
1. Do not scale drawings. Any dimension in question should be brought to the design team's attention for clarification.
 2. Notes with bolded text and a leader ending in a dot indicate that additional information is to be found in the specifications. See the referenced specification division on sheets A.D1-A.D5.
 3. Dimensions are laid out as follows:
 - EXTERIOR WALLS: Outside face of stud
 - INTERIOR WALLS: Center of wall
 - WINDOWS & DOORS: Center of openings in stud walls.
 - MASONRY WALLS: Face to Face
 - MASONRY OPENINGS: Edge to Edge
 4. Exterior walls should be 2x6 framing unless noted otherwise, typical.
 5. Interior walls should be 2x4 framing unless noted otherwise, typical.
 6. Walls containing pocket doors should be 2x6 stud framing, typical.
 7. Walls containing "thickened opening" to be 10" thick unless noted otherwise, typical.

SPECIFICATION INDEX
Locations are called out on drawings. Refer to sheets A01 - A05. All notes may not be used on every sheet.

- 03 00 00 - CONCRETE
- 04 22 00 - CONCRETE UNIT MASONRY
- 04 40 00 - STONE ASSEMBLIES
- 05 00 00 - METALS
- 05 50 00 - METAL FABRICATIONS
- 05 52 00 - METAL RAILINGS
- 06 10 00 - ROUGH CARPENTRY
- 06 11 13 - ENGINEERED WOOD PRODUCTS
- 06 16 00 - SHEATHING
- 06 40 13 - EXTERIOR WOODWORK
- 06 40 23 - INTERIOR WOODWORK
- 06 41 00 - WOOD MILLWORK
- 06 43 16 - WOOD RAILINGS
- 06 46 00 - WOOD TRIM
- 06 49 00 - WOOD SHUTTERS
- 06 65 00 - PLASTIC TRIM
- 07 05 10 - HANSCHEN DRAINAGE MAT
- 07 14 00 - FLUID APPLIED WATER PROOFING
- 07 21 29 - SPRAYED INSULATION
- 07 25 00 - WEATHER BARRIER
- 07 30 10 - UNDERLAMENT
- 07 32 00 - SYNTHETIC SLATE SHINGLES
- 07 54 00 - MEMBRANE ROOFING
- 07 60 00 - FLASHING & SHEET METAL
- 08 46 00 - WOOD TRIM
- 07 71 00 - ROOF SPECIALTIES
- 07 71 23 - GUTTERS & DOWNSPOUTS
- 07 72 85 - SNOW GUARDS
- 07 90 00 - JOINT SEALERS
- 08 11 13 - STEEL DOORS
- 08 11 16 - ALUMINUM CLAD DOORS
- 08 14 00 - WOOD DOORS
- 08 36 13 - SECTIONAL DOORS
- 08 52 13 - ALUMINUM CLAD WINDOWS
- 08 70 00 - HARDWARE
- 09 21 16 - EPSUM BOARD
- 09 24 23 - CEMENT STUCCO
- 09 27 10 - EPSUM BOARD ACCESSORIES
- 09 28 00 - BACKER BOARD & UNDERLAY.
- 09 30 00 - TILING
- 09 63 00 - BRICK & STONE FLOORING
- 09 64 00 - WOOD FLOORING
- 09 65 10 - ATHLETIC FLOORING
- 09 72 00 - WALL COVERINGS
- 09 75 00 - STONE FACING
- 09 90 00 - PAINTING AND COATING
- 10 28 19 - GLASS SHOWER DOORS
- 10 31 00 - MANUFACTURED FIREPLACES
- 10 32 00 - FIREPLACE SPECIALTIES
- 10 80 01 - TOILET & BATH ACCESSORIES
- 10 84 00 - GAS LIGHTING
- 11 45 10 - RESIDENTIAL APPLIANCES
- 12 20 00 - WINDOW TREATMENTS
- 12 36 00 - COUNTERTOPS
- 13 11 00 - SWIMMING POOLS
- 14 45 00 - VEHICLE LIFTS
- 22 01 00 - PLUMBING
- 22 14 26 - ROOF DRAINS
- 23 00 00 - HEATING, VENTILATION, & A/C
- 23 37 13 - DIFFUSERS, REGISTERS, & GRILLES
- 23 83 00 - RADIANT HEATING UNITS
- 26 00 00 - ELECTRICAL
- 26 51 00 - DECORATIVE LIGHTING
- 28 40 00 - LIFE SAFETY
- 31 22 00 - GRADING
- 31 23 00 - EXCAVATION & FILL
- 31 31 16 - TERRACE CONTROL
- 32 32 00 - RETAINING WALLS



01 | First Floor Plan
3/16" = 1'-0"

Krapf Residence

4 San Rafael Drive
Rochester, NY 14618

DATE: 09/14/2022
DRAWN BY: RN/EL/WT
JOB NO.: 19014
CHECKED BY: CR

SHEET TITLE
FIRST FLOOR PLAN

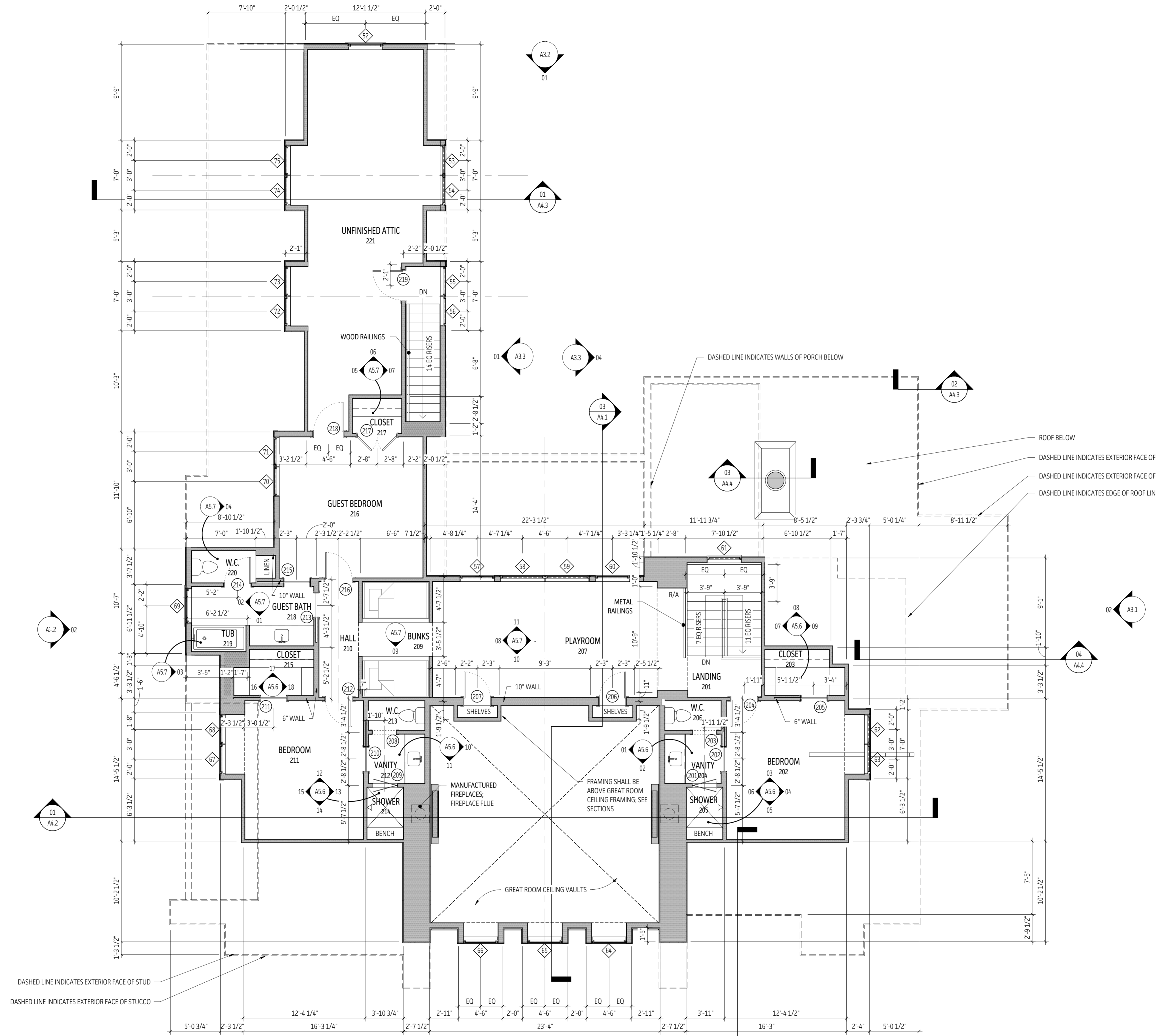
A2.1



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 5. Interior walls should be 2x4 framing unless noted otherwise, typical.
 6. Walls containing pocket doors should be 2x5 stud framing, typical.
 7. Walls containing "thickened opening" to be 10" thick unless noted otherwise, typical.

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- 03 00 00 - CONCRETE**
04 21 13 - BRICK MASONRY
04 22 00 - CONCRETE UNIT MASONRY
04 40 00 - STONE ASSEMBLIES
05 00 00 - METALS
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07 30 10 - UNDERLAYMENT
07 32 00 - SYNTHETIC SLATE SHINGLES
07 54 00 - MEMBRANE ROOFING
07 60 00 - FLASHING & SHEET METAL
07 61 00 - SHEET METAL ROOFING
07 71 00 - ROOF SPECIALTIES
07 71 23 - GUTTERS & DOWNSPOUTS
07 72 85 - SNOW GUARDS
07 90 00 - JOINT SEALERS
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08 11 16 - ALUMINUM CLAD DOORS
08 14 00 - WOOD DOORS
08 36 13 - SECTIONAL DOORS
08 52 13 - ALUMINUM CLAD WINDOWS
08 70 00 - HARDWARE
09 21 16 - GYPSUM BOARD
09 24 23 - CEMENT STUCCO
09 27 10 - GYPSUM BOARD ACCESSORIES
09 28 00 - BACKER BOARD & UNDERLAY.
09 30 00 - TILING
09 63 00 - BRICK & STONE FLOORING
09 64 00 - WOOD FLOORING
09 65 10 - ATHLETIC FLOORING
09 72 00 - WALL COVERINGS
09 75 00 - STONE FACING
09 90 00 - PAINTING AND COATING
10 28 19 - GLASS SHOWER DOORS
10 31 00 - MANUFACTURED FIREPLACES
10 32 00 - FIREPLACE SPECIALTIES
10 80 01 - TOILET & BATH ACCESSORIES
10 84 00 - GAS LIGHTING
11 45 10 - RESIDENTIAL APPLIANCES
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12 36 00 - COUNTERTOP
13 11 00 - SWIMMING POOLS
14 45 00 - VEHICLE LIFTS
22 01 00 - PLUMBING
22 14 26 - ROOF DRAINS
23 00 00 - HEATING, VENTILATION, & AC
23 37 13 - DIFFUSERS, REGISTERS, & GRILLES
23 83 00 - RADIANT HEATING UNITS
25 00 00 - ELECTRICAL
26 51 00 - DECORATIVE LIGHTING
28 40 00 - LIFE SAFETY
31 22 00 - GRADING
31 23 00 - EXCAVATION & FILL
31 31 16 - TERMITE CONTROL
32 32 00 - RETAINING WALLS



01 | Second Floor Plan
3/16" = 1'-0"

Krapf Residence

4 San Rafael Drive
Rochester, NY 14618

DATE: 09/14/2022
JOB NO.: 19014
DRAWN BY: RN/EL/WT
CHECKED BY: CR

SHEET TITLE
SECOND FLOOR PLAN

A2.2

9/14/2022 3:45:17 PM

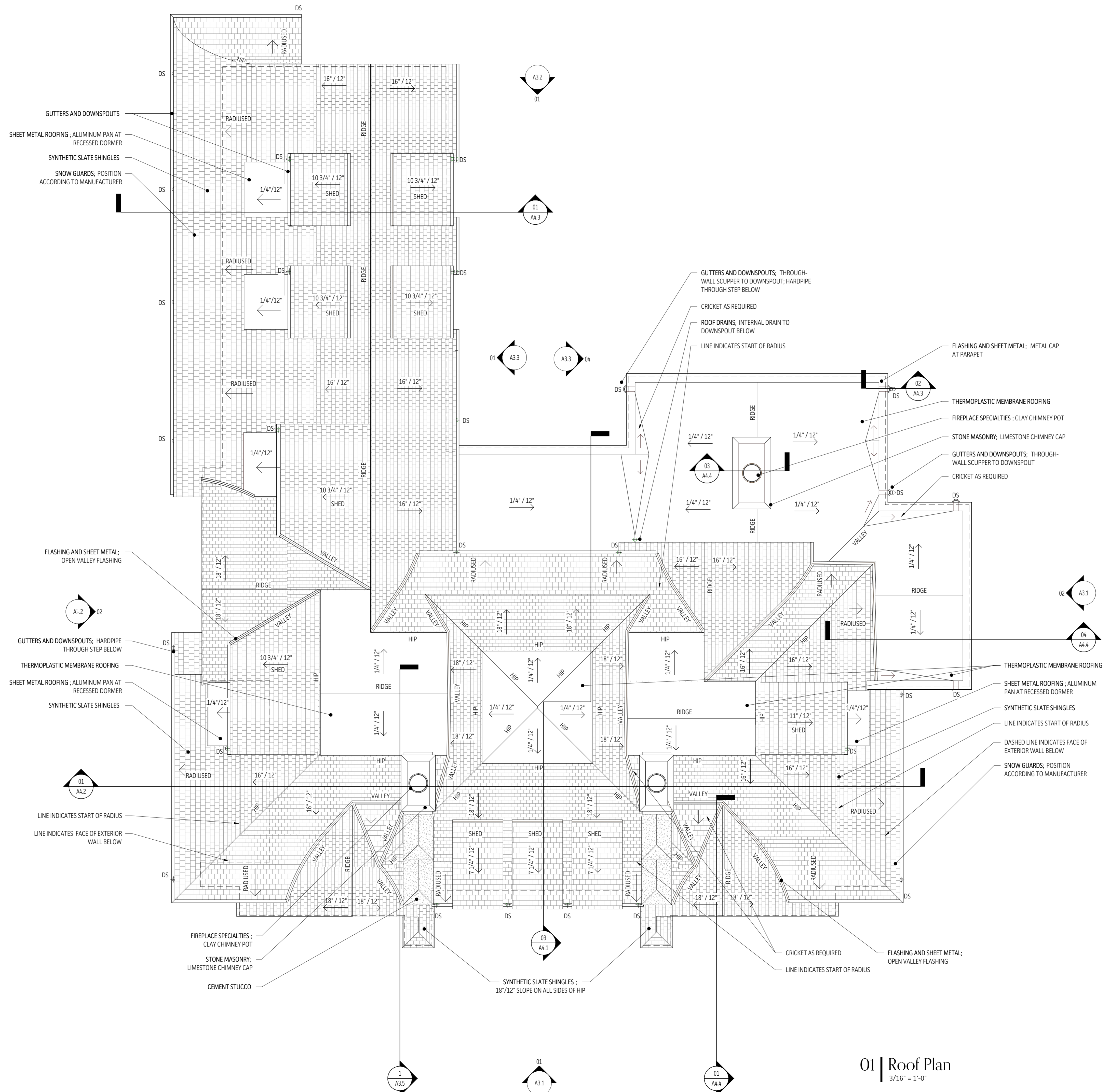


GENERAL ROOF PLAN NOTES

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- 06 41 00 - WOOD MILLWORK
- 06 43 16 - WOOD RAILINGS
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- 06 48 00 - WOOD SHUTTERS
- 06 65 00 - PLASTIC TRIM
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- 07 30 10 - UNDERLAYMENT
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GUTTERS AND DOWNSPOUTS
SHEET METAL ROOFING ; ALUMINUM PAN AT RECESSED DORMER
SYNTHETIC SLATE SHINGLES
SNOW GUARDS, POSITION ACCORDING TO MANUFACTURER

FLASHING AND SHEET METAL; OPEN VALLEY FLASHING
GUTTERS AND DOWNSPOUTS; HARDPIPE THROUGH STEP BELOW
THERMOPLASTIC MEMBRANE ROOFING
SHEET METAL ROOFING ; ALLUMINUM PAN AT RECESSED DORMER
SYNTHETIC SLATE SHINGLES

LINE INDICATES START OF RADIUS
LINE INDICATES FACE OF EXTERIOR WALL BELOW

FIREPLACE SPECIALTIES ; CLAY CHIMNEY POT
STONE MASONRY; LIMESTONE CHIMNEY CAP
CEMENT STUCCO

GUTTERS AND DOWNSPOUTS; THROUGH-WALL SCUPPER TO DOWNSPOUT; HARDPIPE THROUGH STEP BELOW
CRICKET AS REQUIRED
ROOF DRAINS; INTERNAL DRAIN TO DOWNSPOUT BELOW
LINE INDICATES START OF RADIUS

FLASHING AND SHEET METAL; METAL CAP AT PARAPET
THERMOPLASTIC MEMBRANE ROOFING
FIREPLACE SPECIALTIES ; CLAY CHIMNEY POT
STONE MASONRY; LIMESTONE CHIMNEY CAP
GUTTERS AND DOWNSPOUTS; THROUGH-WALL SCUPPER TO DOWNSPOUT
CRICKET AS REQUIRED

THERMOPLASTIC MEMBRANE ROOFING
SHEET METAL ROOFING ; ALUMINUM PAN AT RECESSED DORMER
SYNTHETIC SLATE SHINGLES
LINE INDICATES START OF RADIUS
DASHED LINE INDICATES FACE OF EXTERIOR WALL BELOW
SNOW GUARDS, POSITION ACCORDING TO MANUFACTURER

CRICKET AS REQUIRED
FLASHING AND SHEET METAL; OPEN VALLEY FLASHING
LINE INDICATES START OF RADIUS

01 | Roof Plan
3/16" = 1'-0"

9/14/2022 3:45:18 PM

Krapf Residence

4 San Rafael Drive
Rochester, NY 14618

DATE 09/14/2022	DRAWN BY RN/EL
JOB NO. 19014	CHECKED BY CR

SHEET TITLE
ROOF PLAN

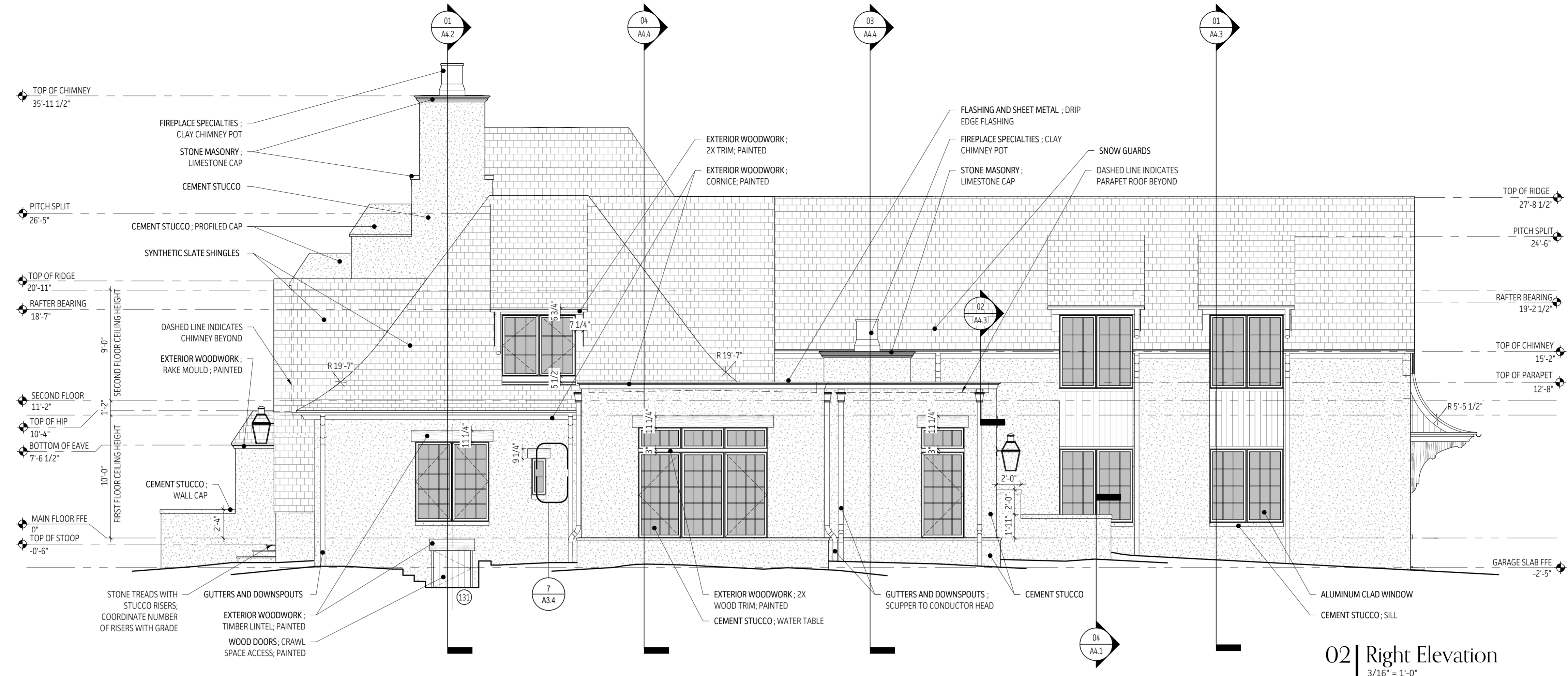
A2.3

GENERAL ELEVATION NOTES

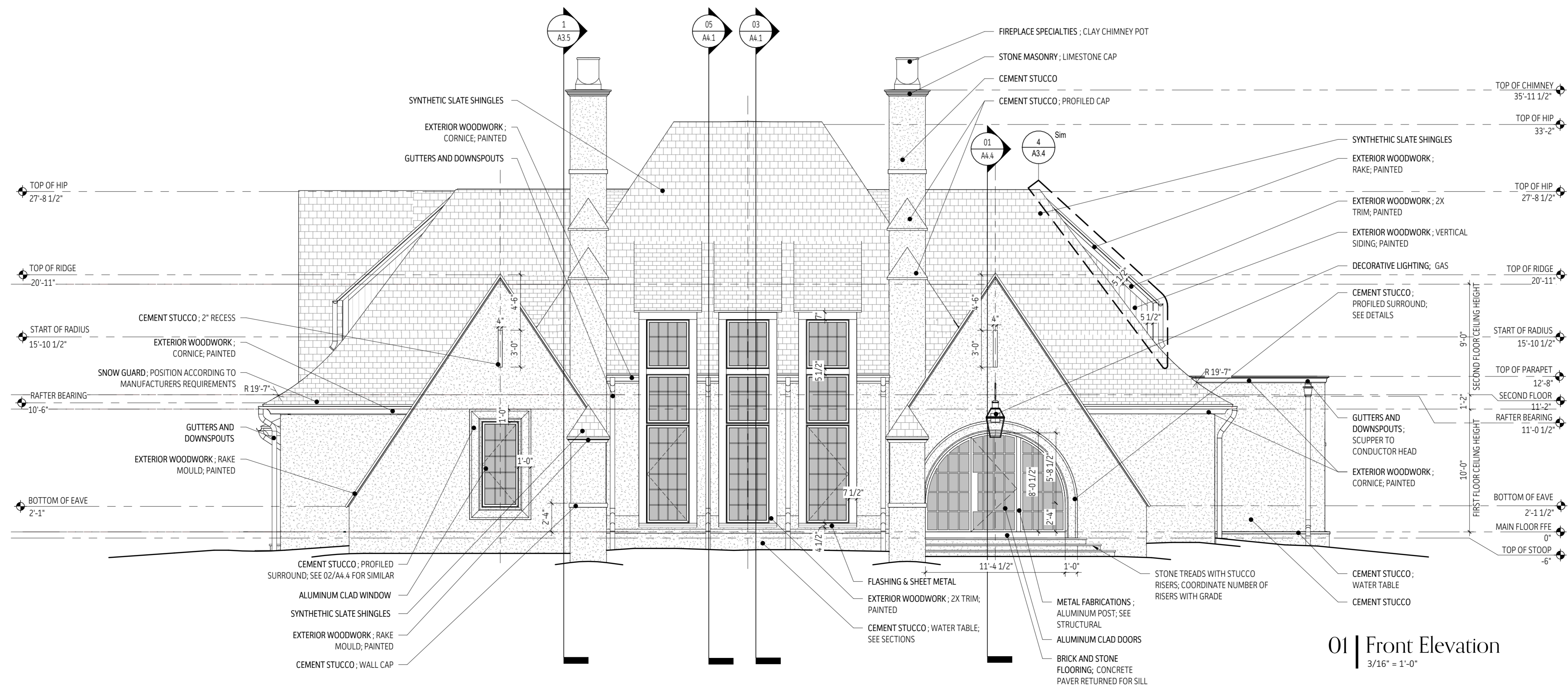
- Do not scale drawings. Any dimension in question should be brought to the design team's attention for clarification.
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02 | Right Elevation
3/16" = 1'-0"



01 | Front Elevation
3/16" = 1'-0"

Krapf Residence

4 San Rafael Drive
Rochester, NY 14608

DATE: 09/14/2022
JOB NO: 19014

DRAWN BY: RN/EL
CHECKED BY: CR

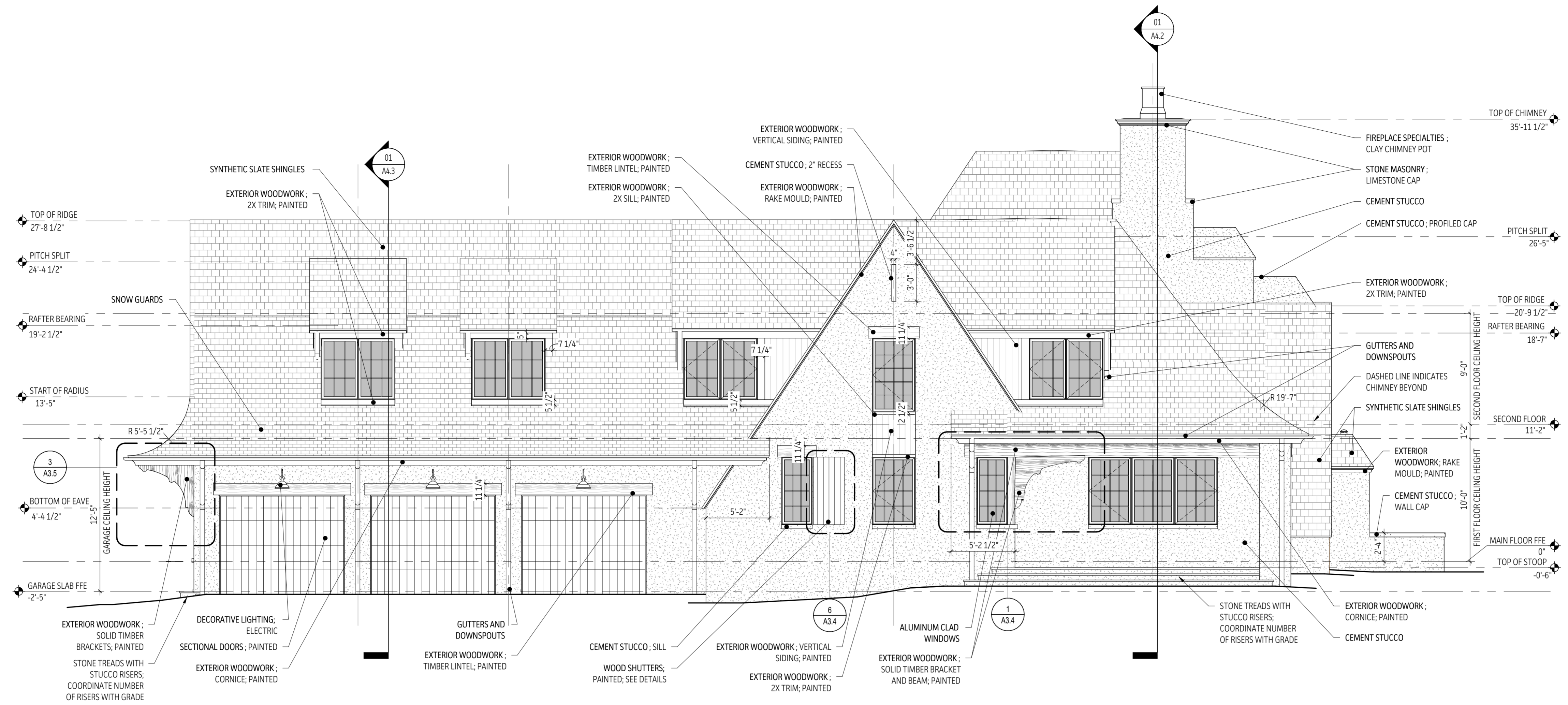
SHEET TITLE: EXTERIOR ELEVATIONS

GENERAL ELEVATION NOTES

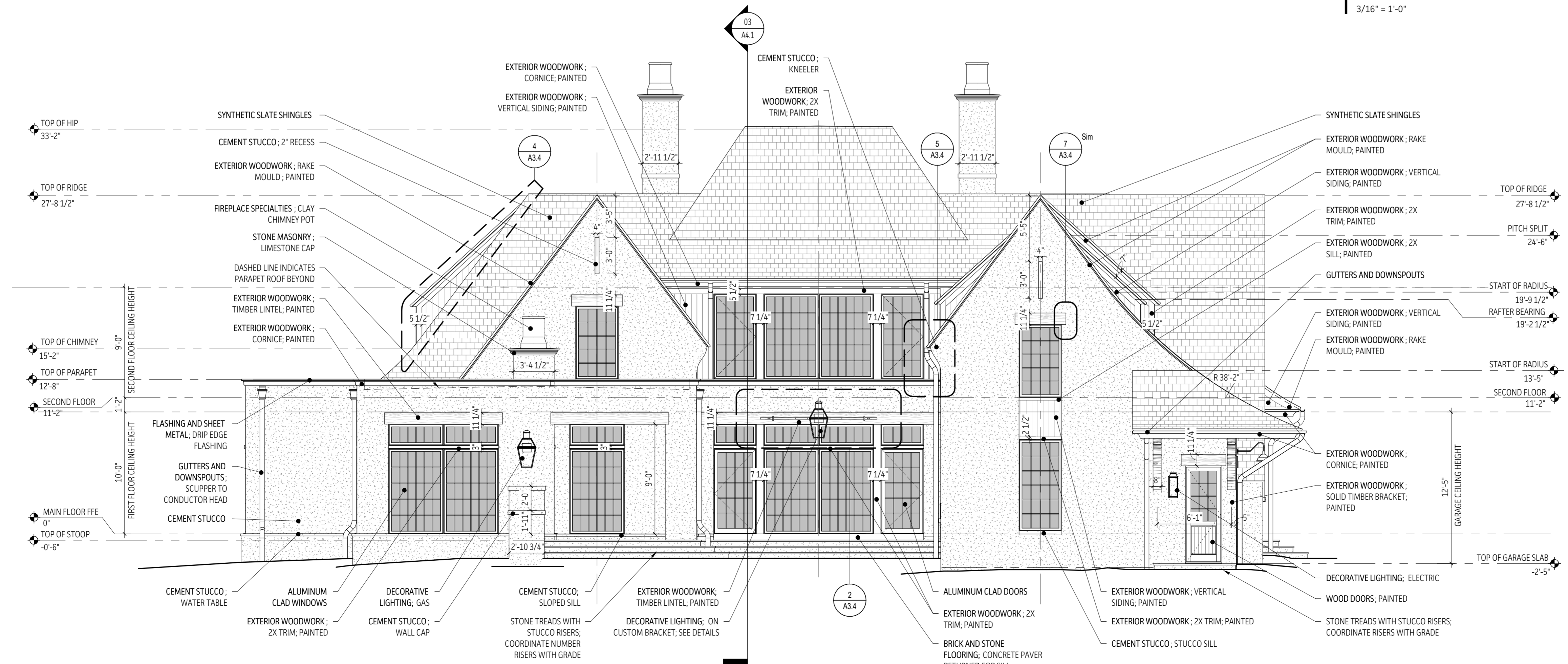
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02 | Left Elevation
3/16" = 1'-0"



01 | Rear Elevation
3/16" = 1'-0"

Krapf Residence

4 San Rafael Drive
Rochester, NY 14618

DATE: 09/14/2022
JOB NO: 19014

DRAWN BY: RN/EL
CHECKED BY: CR

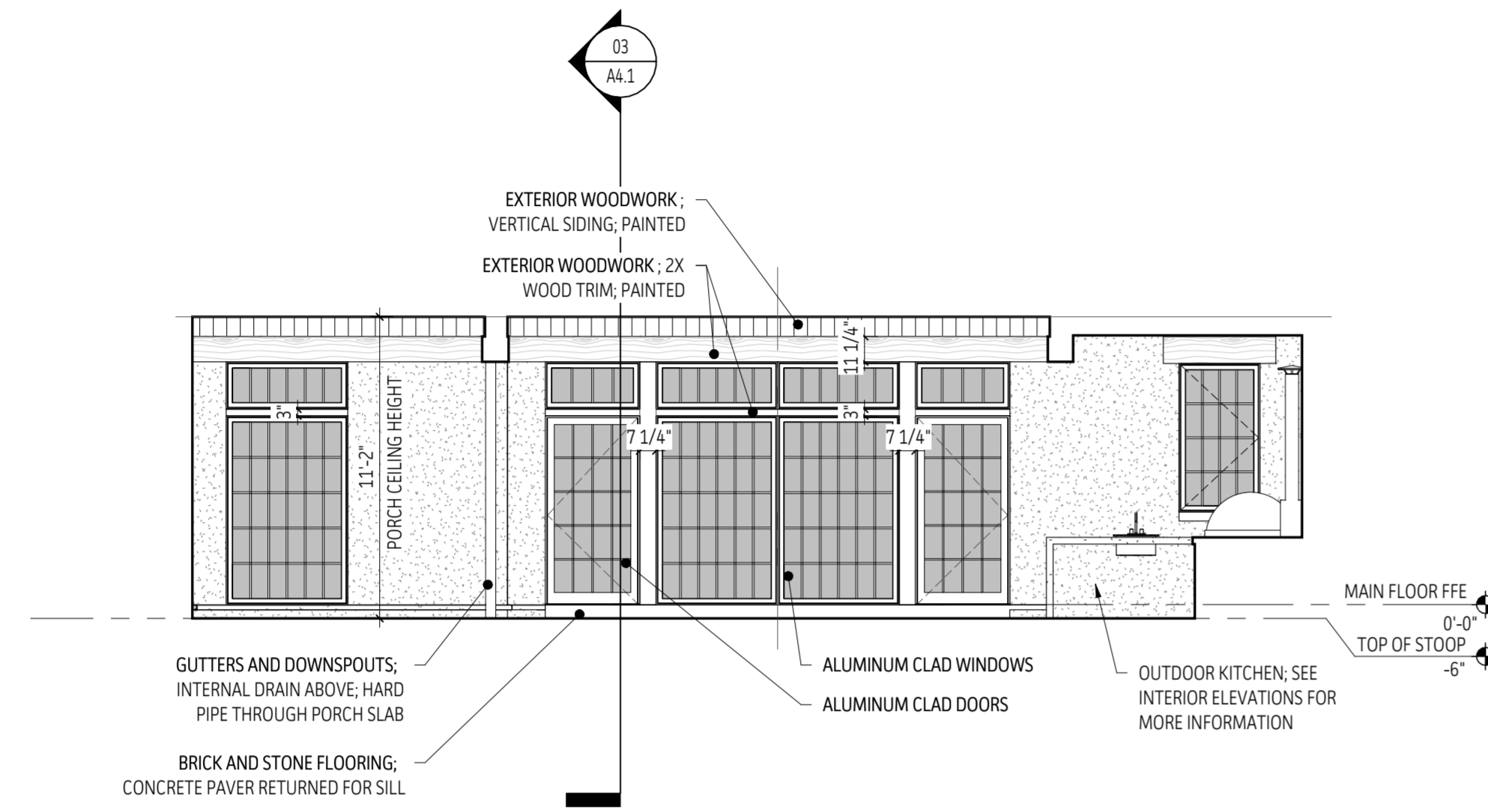
SHEET TITLE: EXTERIOR ELEVATIONS

GENERAL ELEVATION NOTES

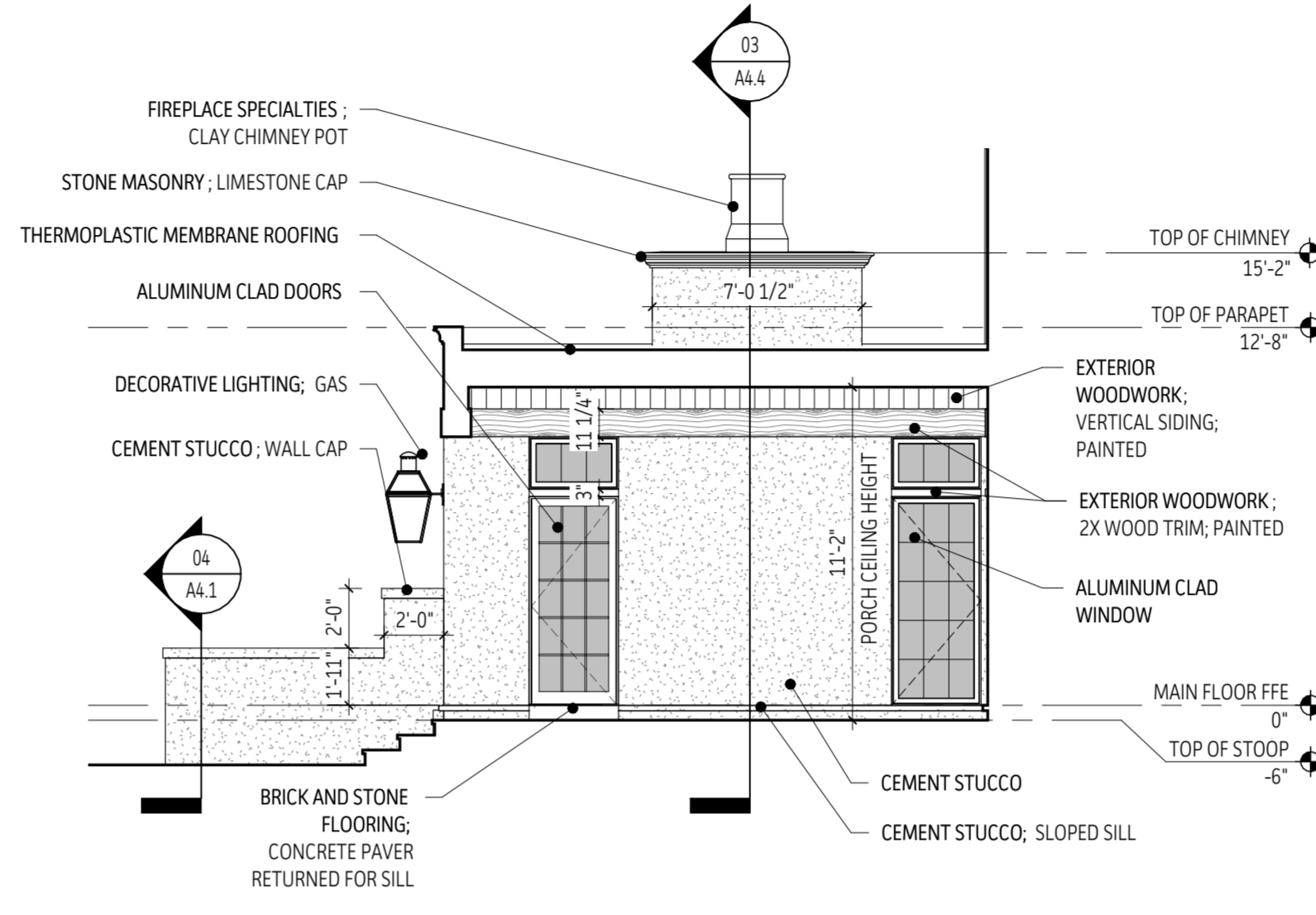
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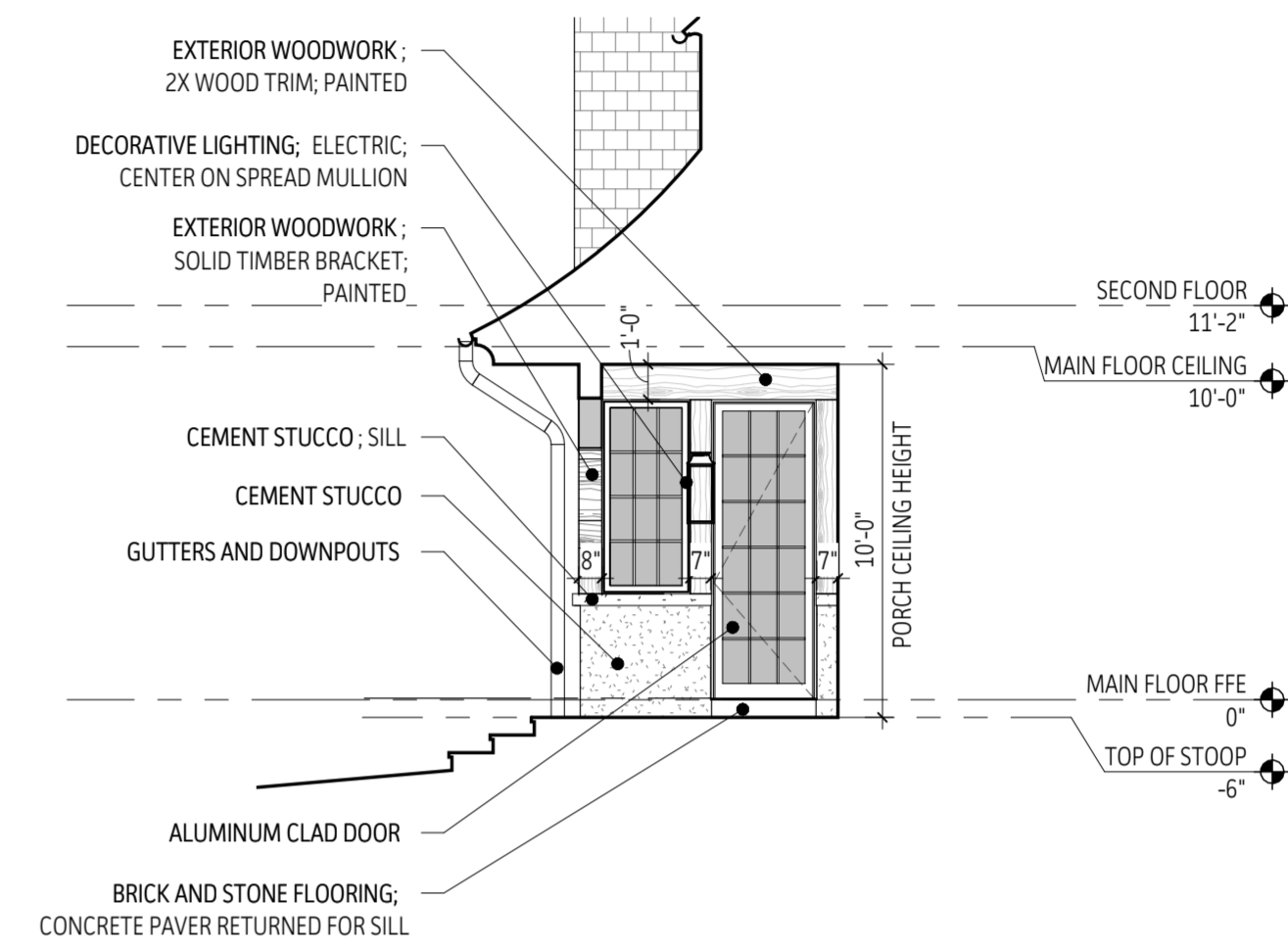
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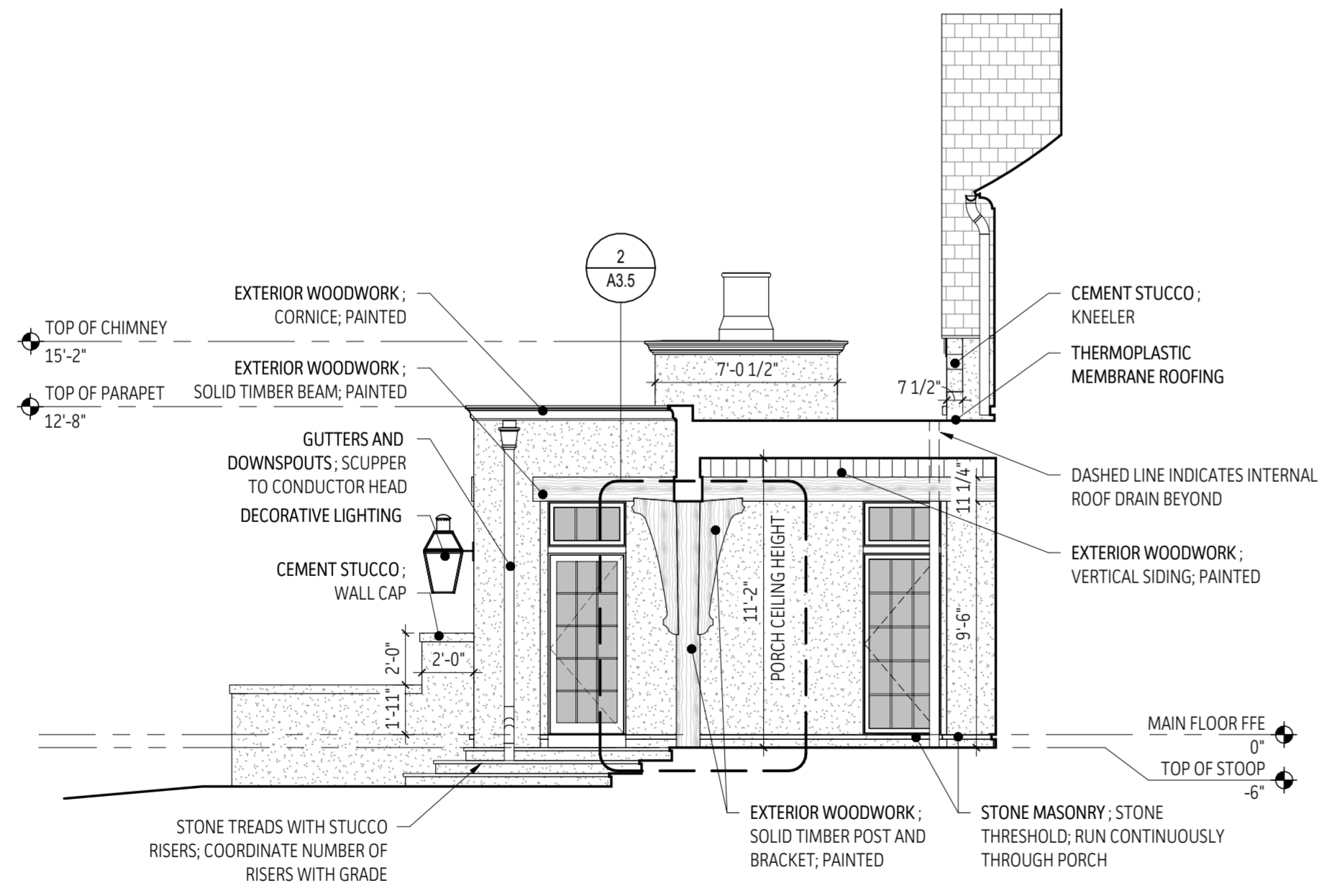
05 | Rear Porch Elevation
3/16" = 1'-0"



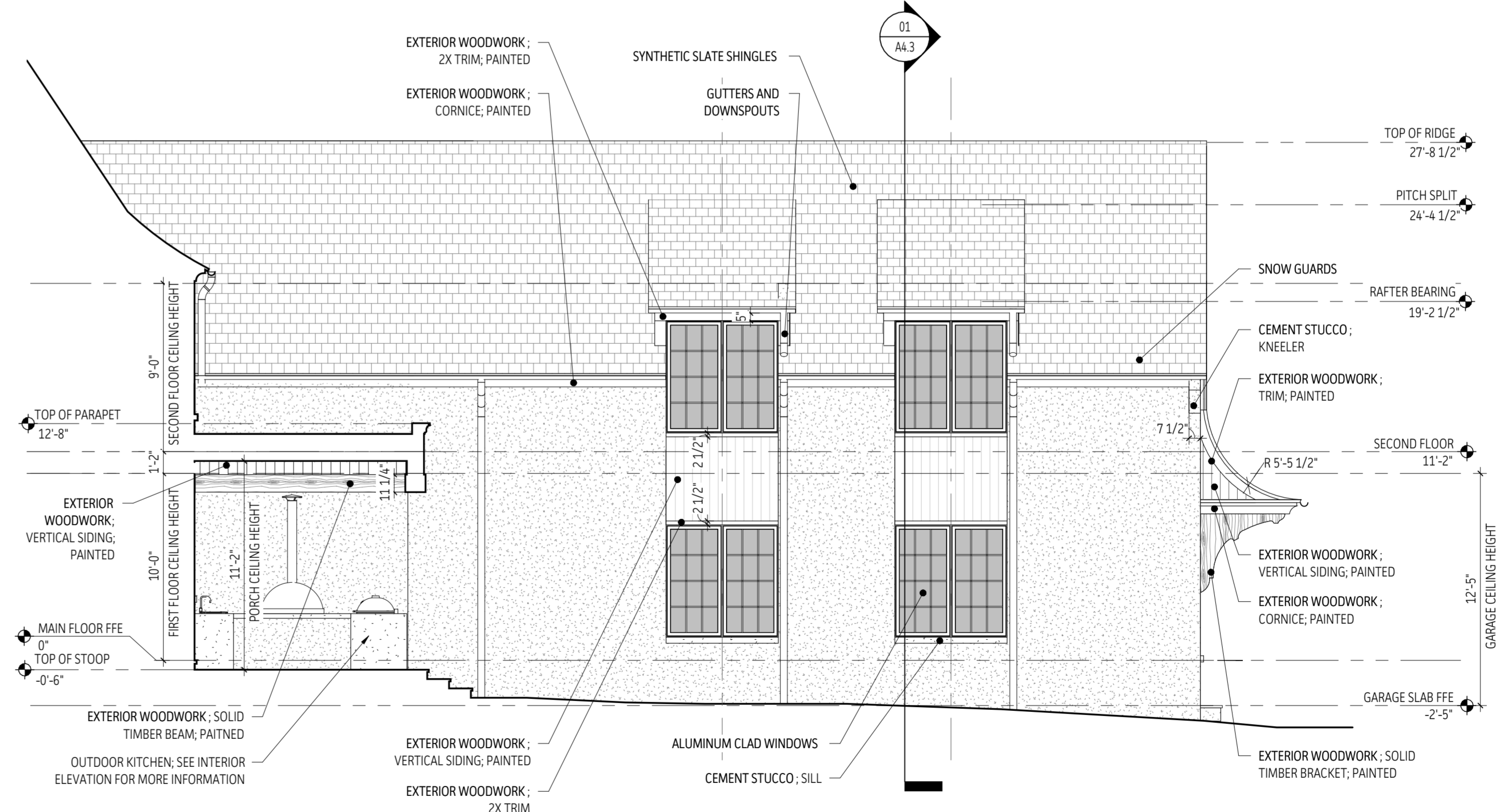
03 | Right Porch Elevation
3/16" = 1'-0"



02 | Left Side Porch Elevation
3/16" = 1'-0"



04 | Left Courtyard Elevation
3/16" = 1'-0"



01 | Right Courtyard Elevation
3/16" = 1'-0"

Krapf Residence

4 San Rafael Drive
Rochester, NY 14618

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SHEET TITLE: EXTERIOR ELEVATIONS

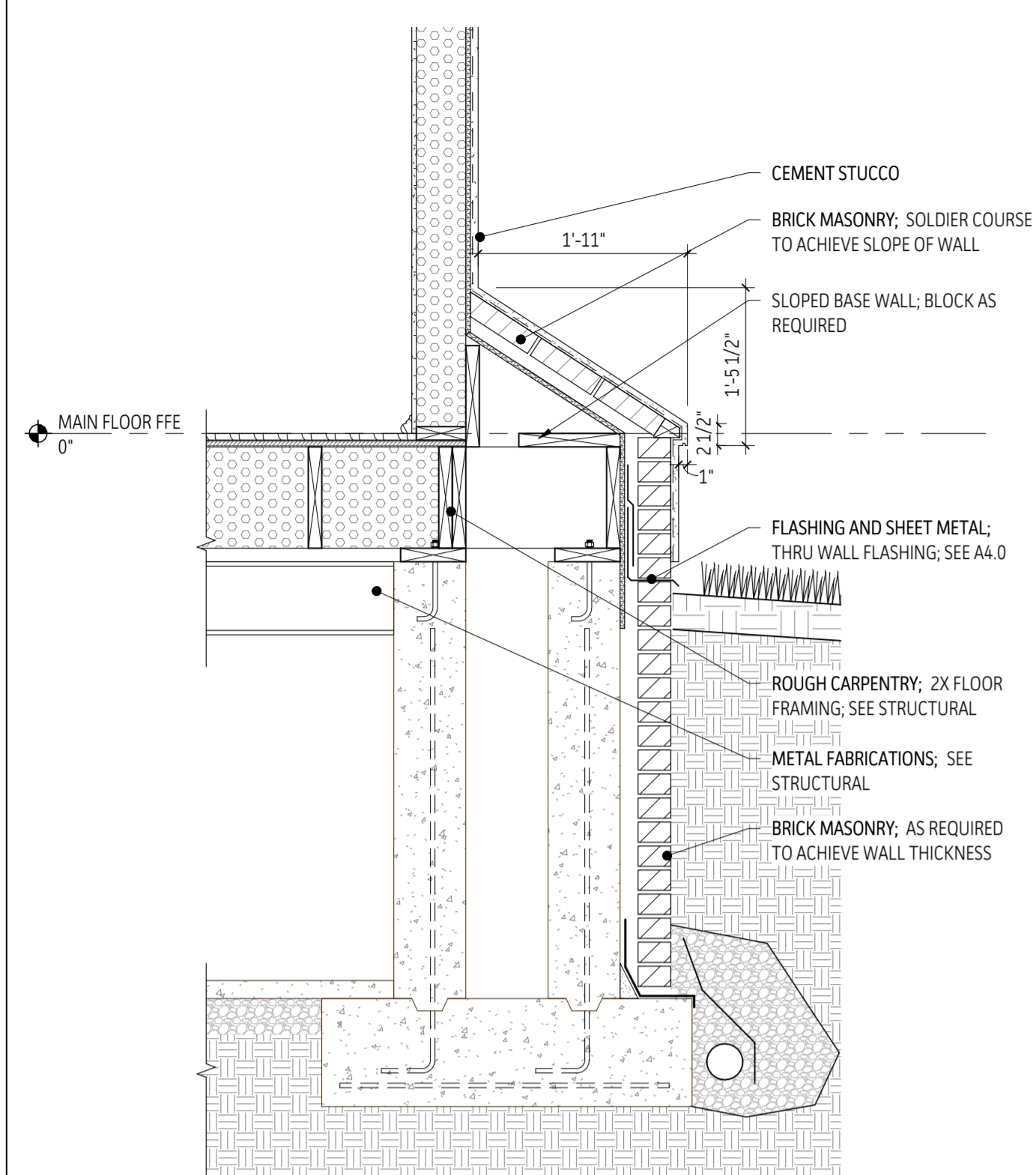
A3.3

GENERAL SECTION NOTES

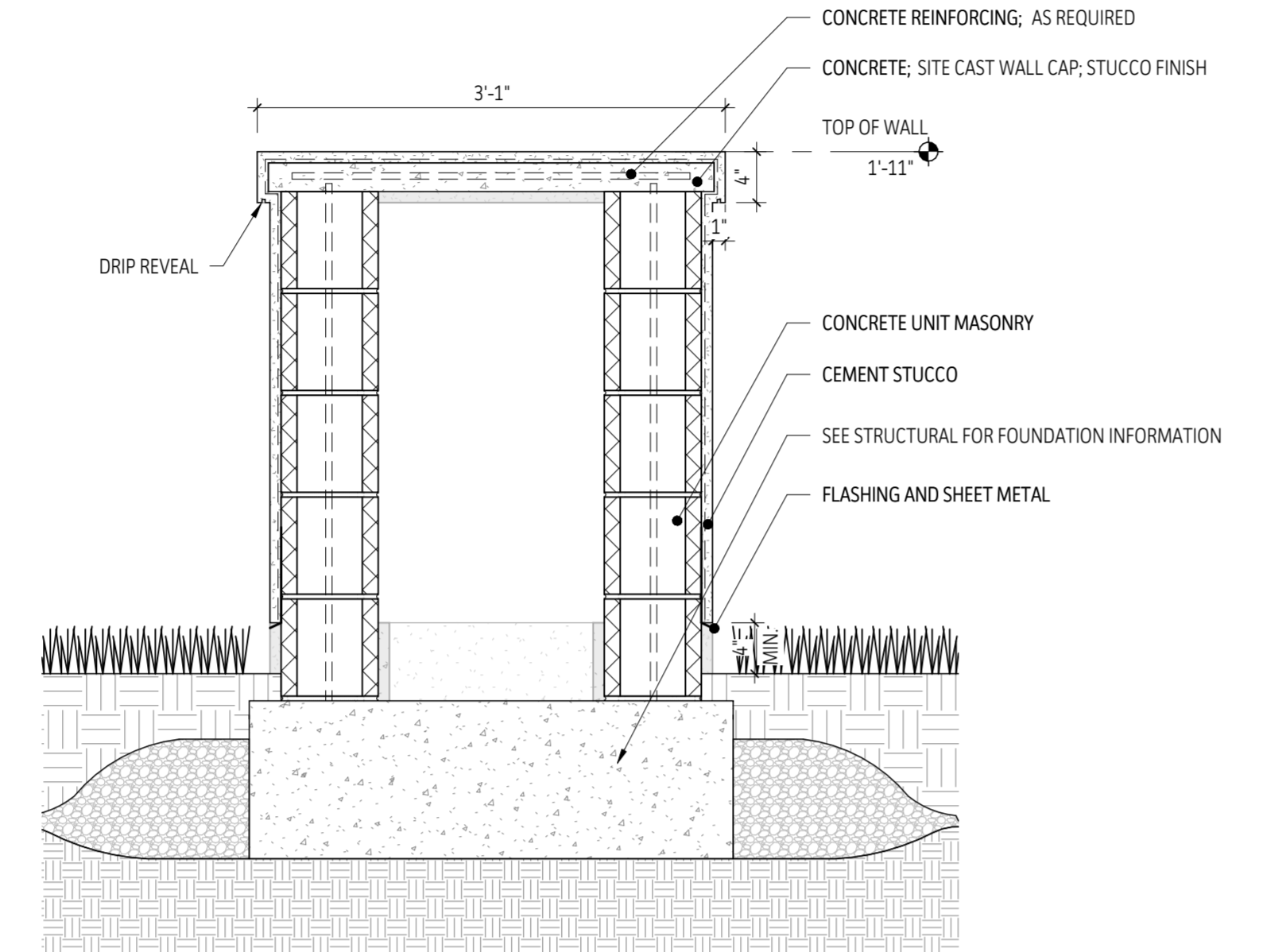
- Sections are intended to be graphic representation of architectural design intent. Final design of all structural systems should be provided by a licensed engineer and is not the responsibility of the architect.
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- Mock ups of all materials to be provided by installers doing the work for Design Team's approval.
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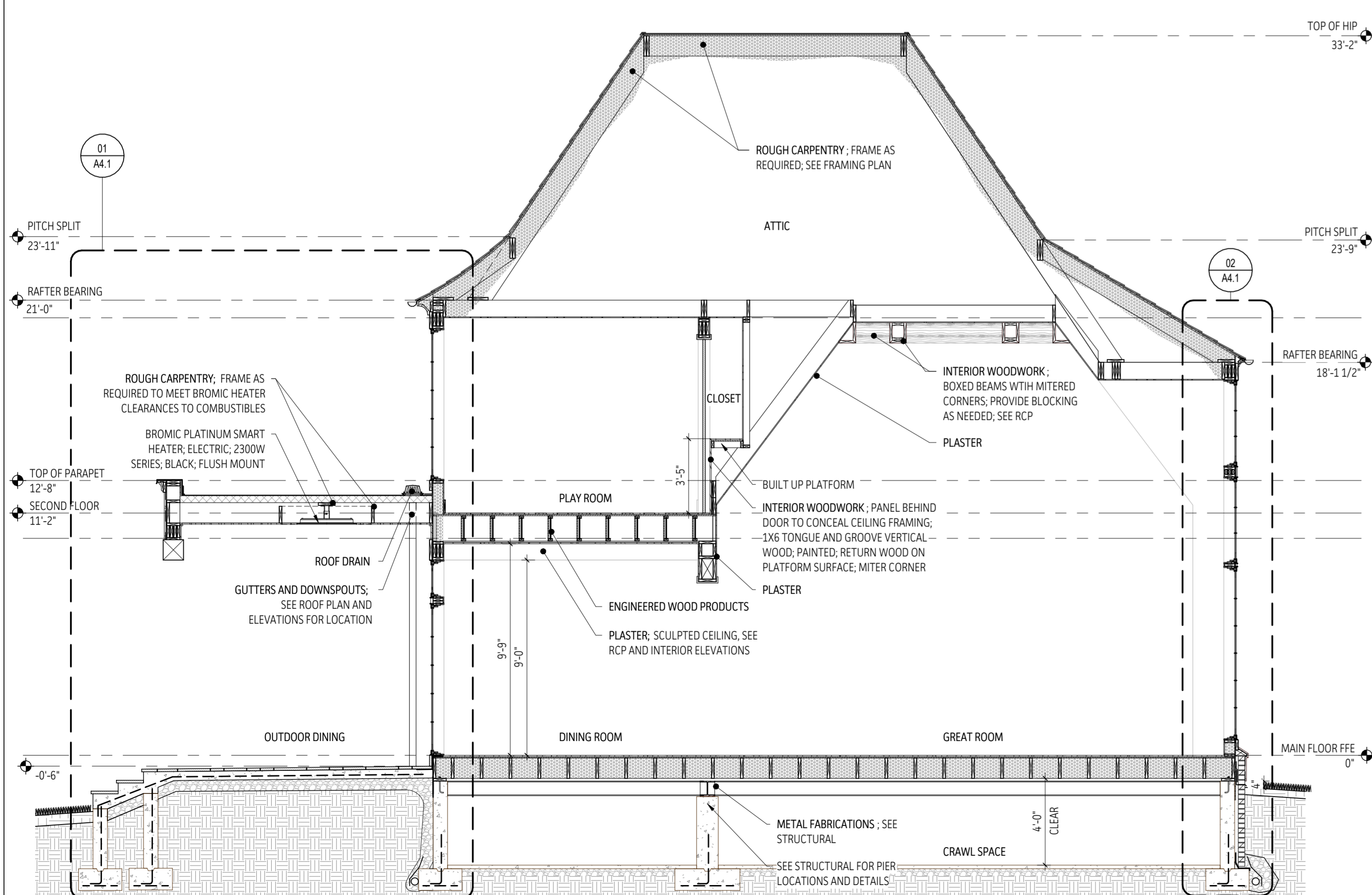
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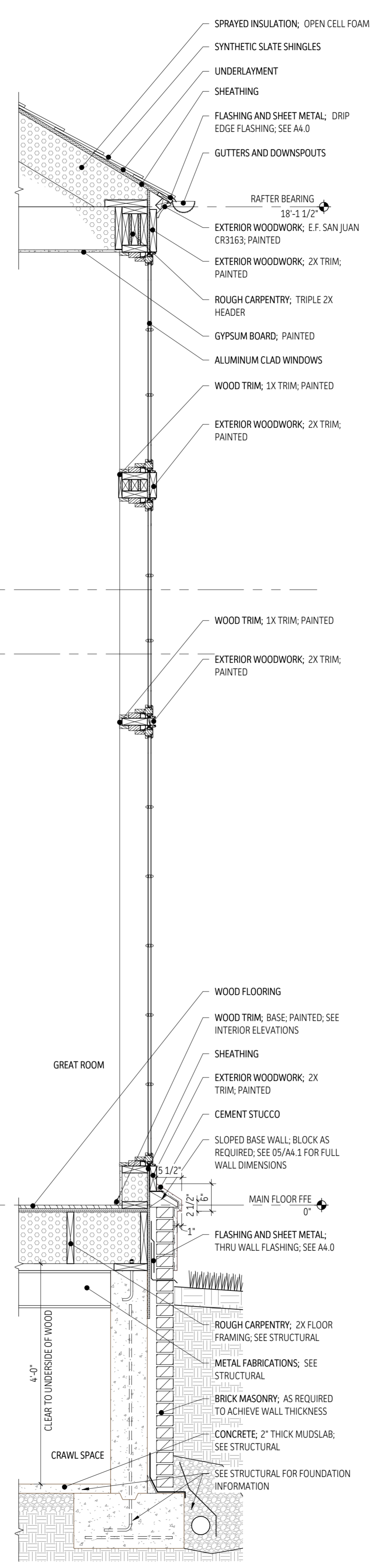
05 | Sloped Wall Detail
3/4" = 1'-0"



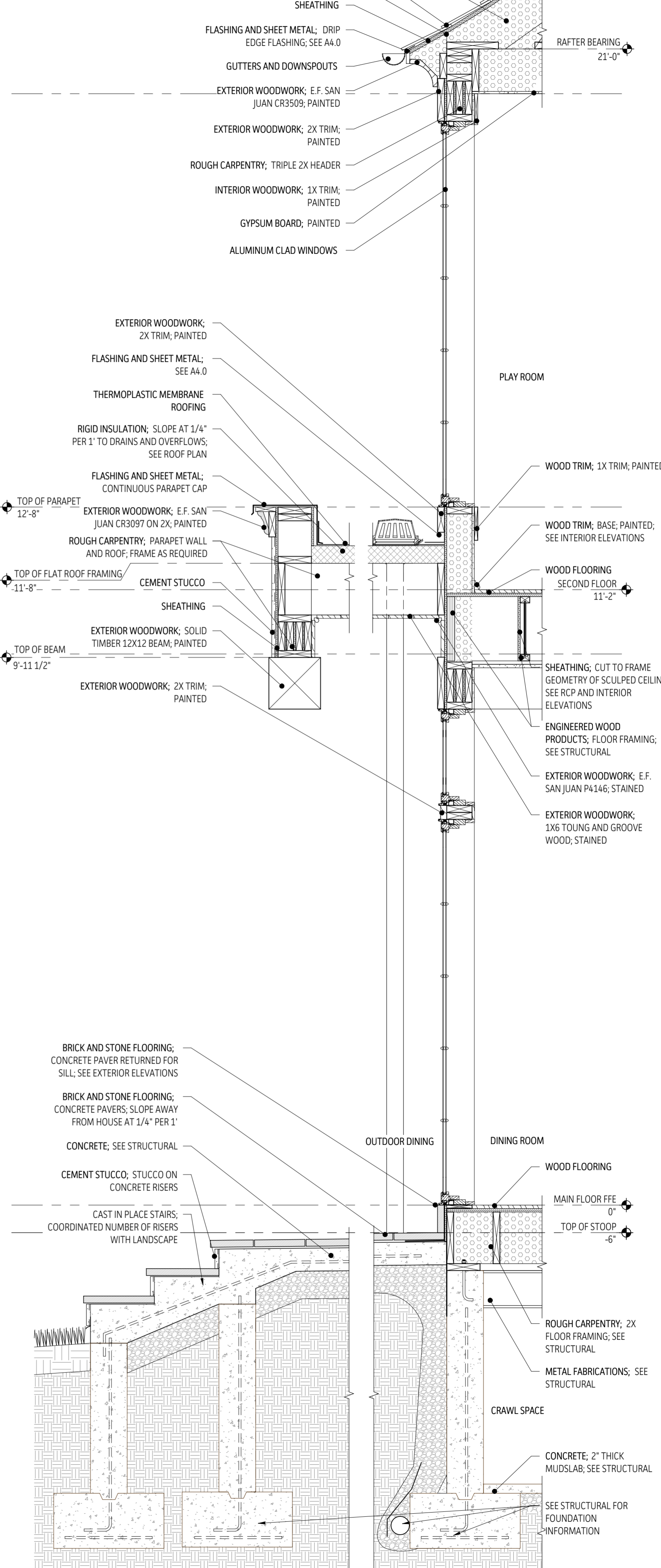
04 | Landscape Wall Section
1" = 1'-0"



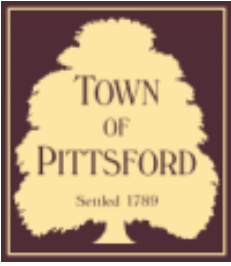
03 | House Section
1/4" = 1'-0"



02 | Wall Section
3/4" = 1'-0"



01 | Porch Section
3/4" = 1'-0"



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000134

Phone: 585-248-6250

FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 25 Trotters Field PITTSFORD, NY 14534

Tax ID Number: 164.17-1-42

Zoning District: RN Residential Neighborhood

Owner: Peplin, Joseph E

Applicant: Patio Solutions DBA Unlimited Enclosures Hart Inc.

Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

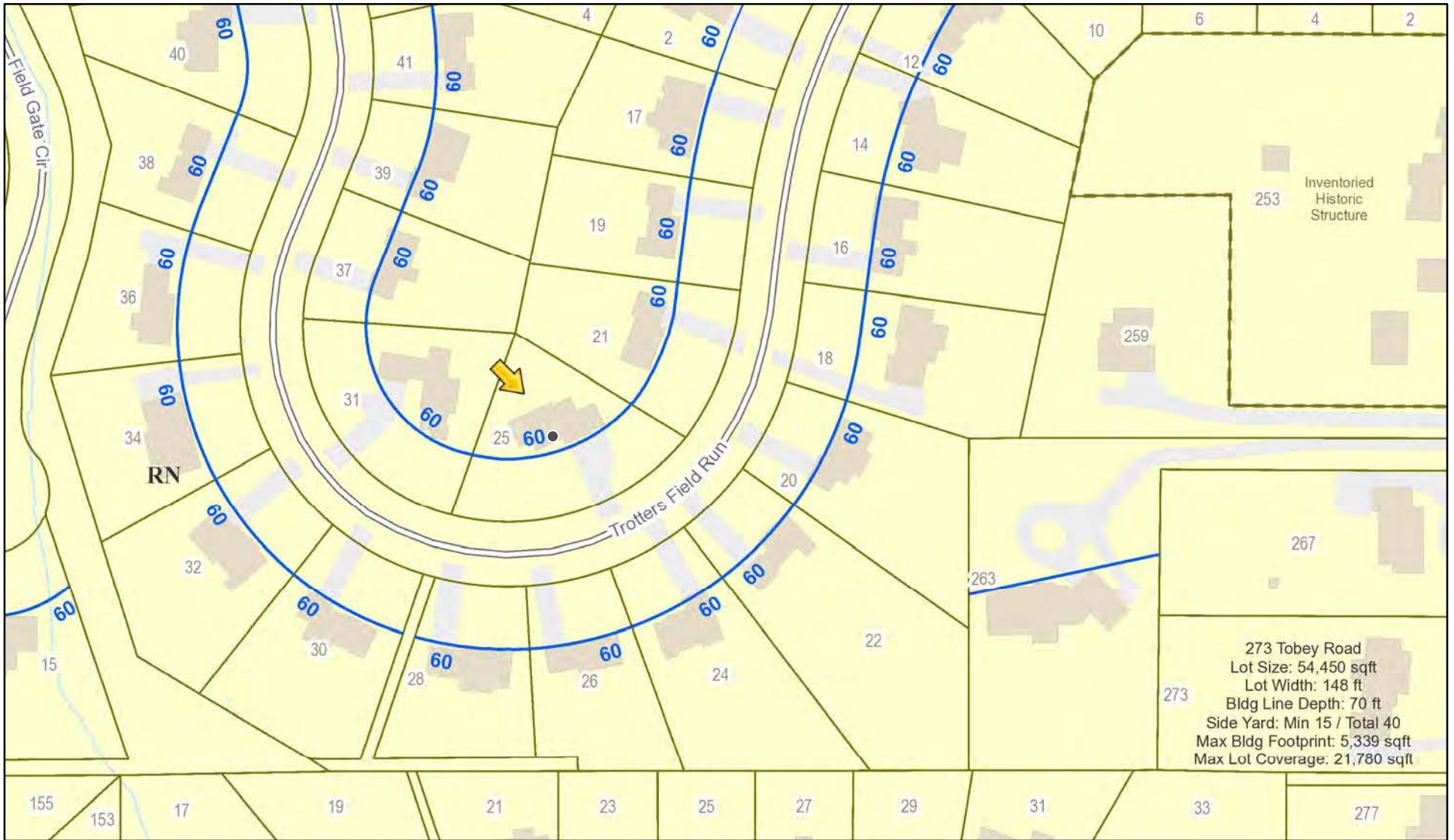
Project Description: Applicant is requesting design review for the construction of an approximately 154 SF screen room addition off the front of the house.

Meeting Date: September 22, 2022

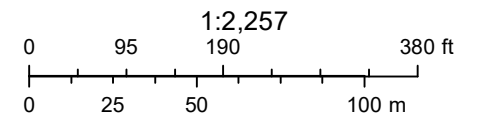




RN Residential Neighborhood Zoning



Printed September 13, 2022



Town of Pittsford GIS

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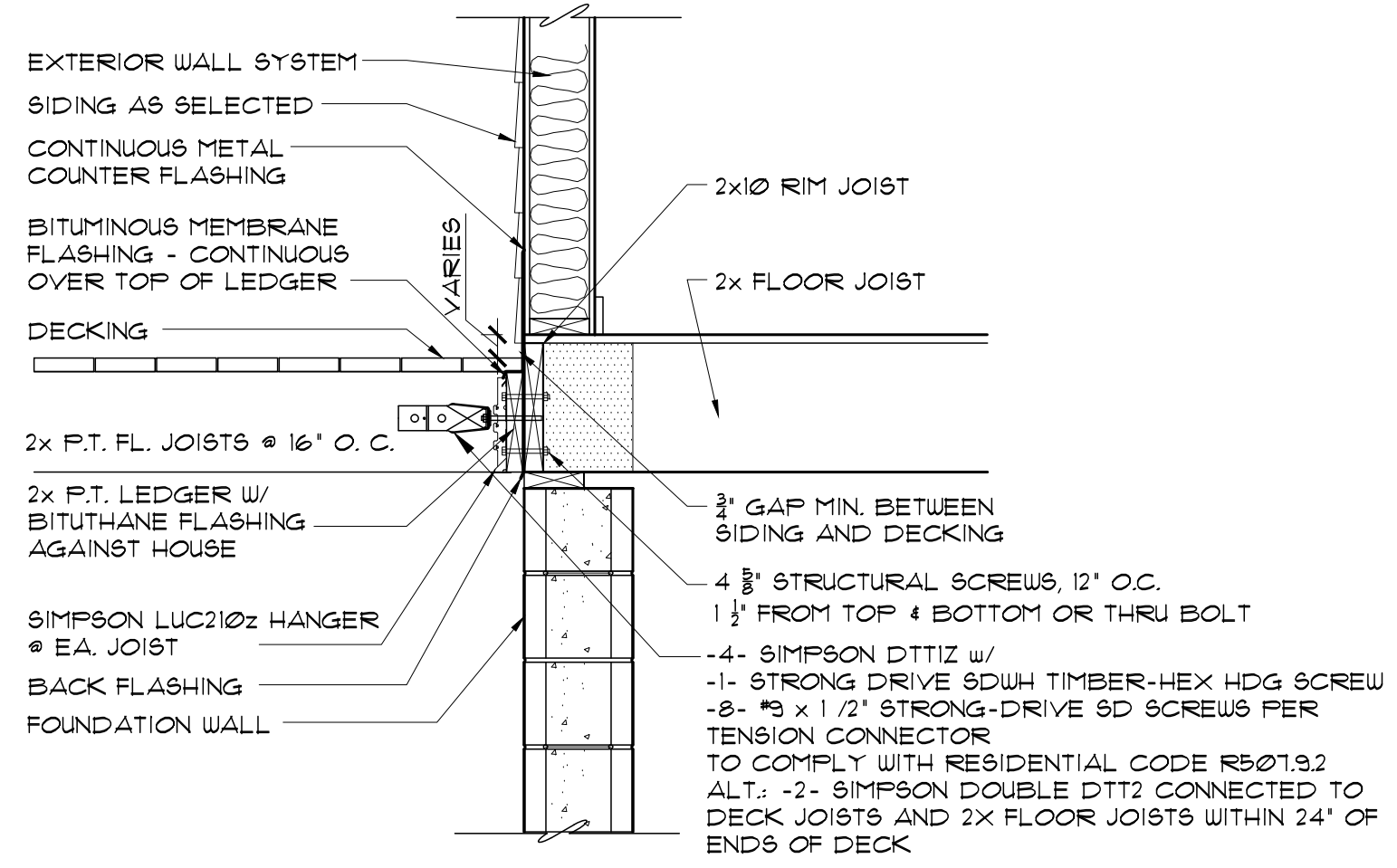
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25

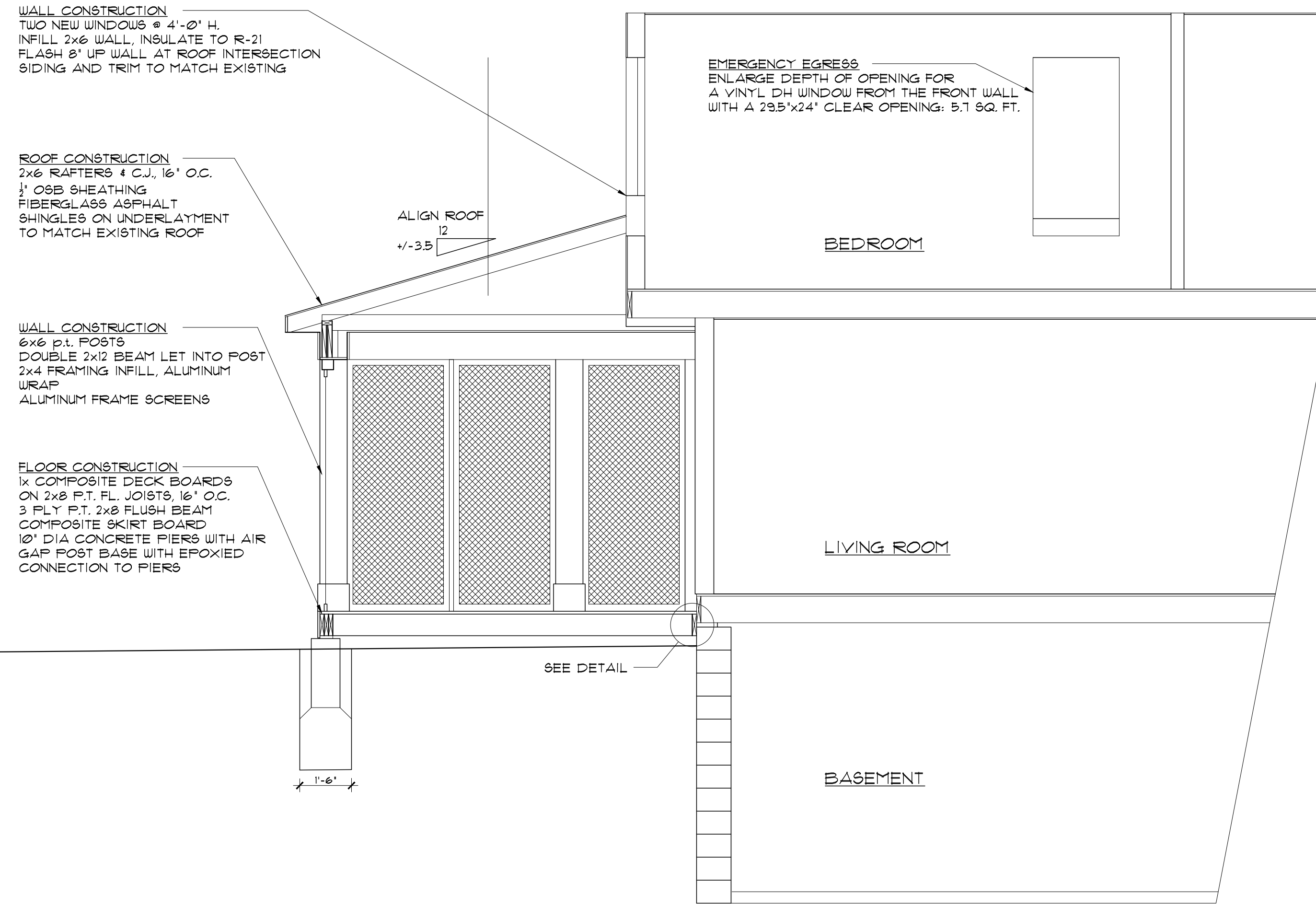
24

26

28



1 LEDGER DETAIL
A-2 3/4" = 1'-0"



3 CROSS SECTION
A-2 3/8" = 1'-0"



2 ELEVATION
A-2 1/4" = 1'-0"

PERMIT SET

No.	Date	Description

DESIGN WORKS ARCHITECTURE

6 North Main St. :: Suite 104 :: Fairport, New York 14450
 Phone: 585-377-9001 :: www.newdesignworks.com
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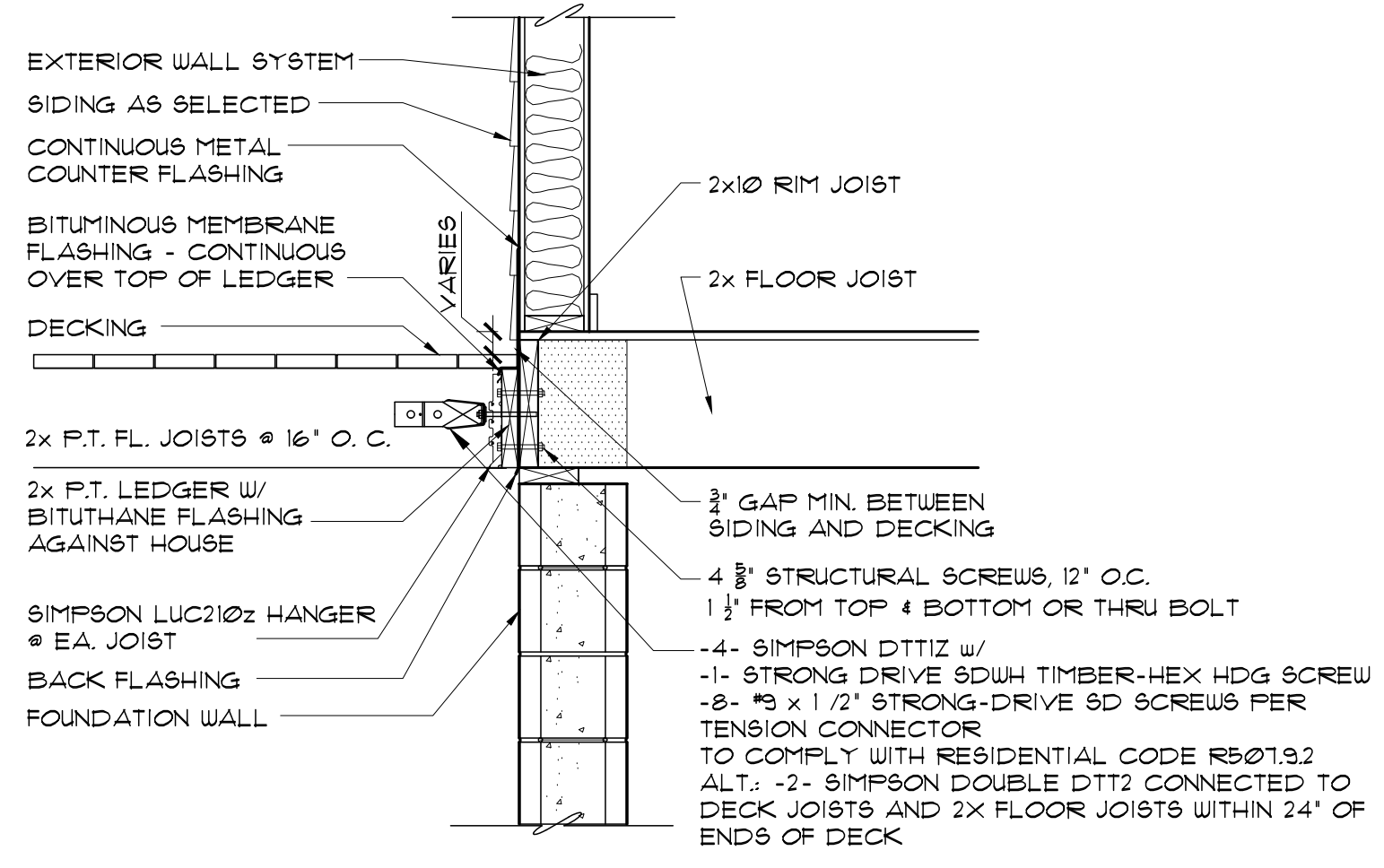
PEPLIN RESIDENCE

25 Trotters Field Run
Town of Pittsford
Monroe County

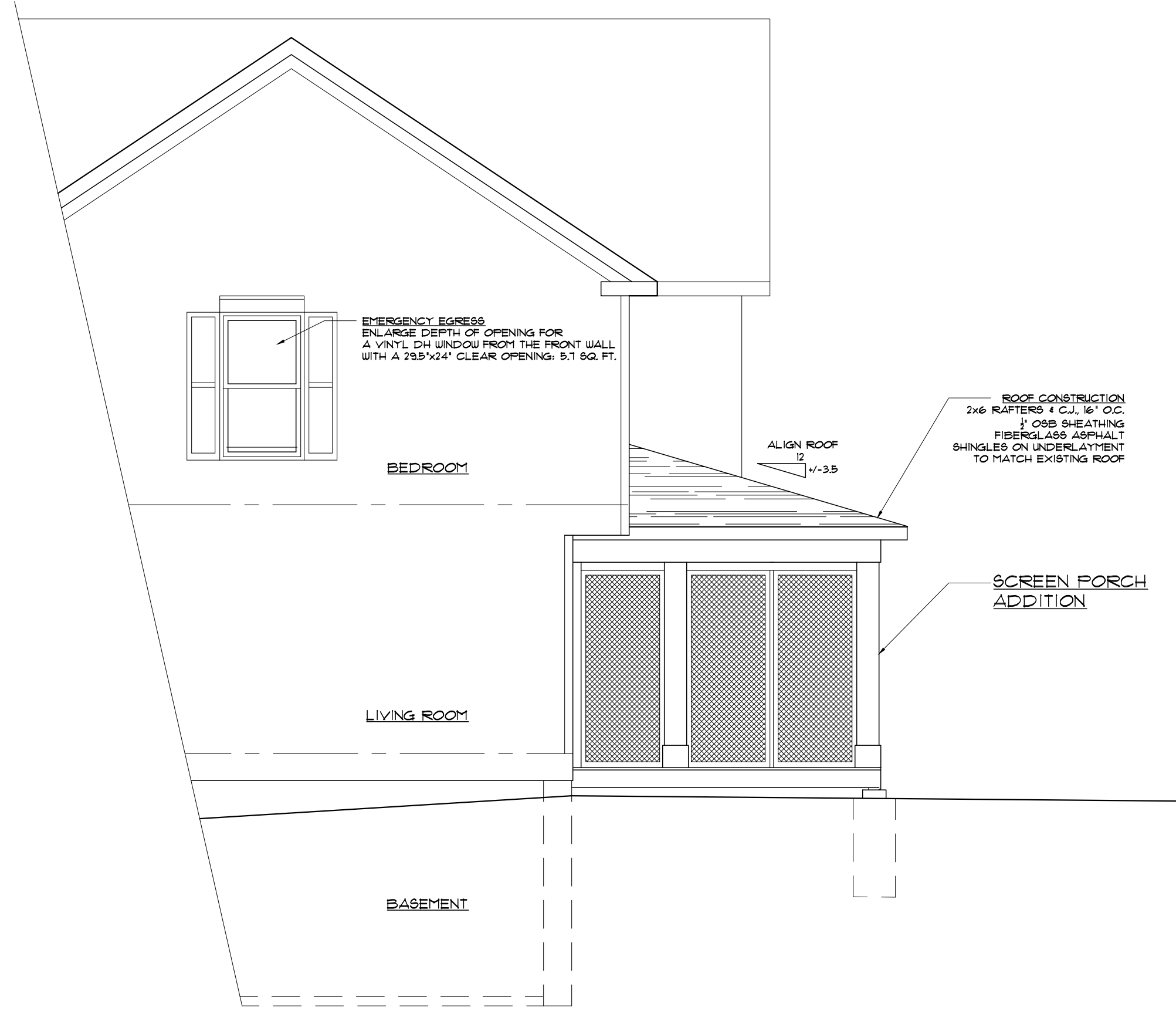
Project No.	2200
Date:	06-17-22
Scale:	AS NOTED
Drawn by:	CBS
Checked by:	CBS

Title: Construction Documents SECTION AND ELEVATION

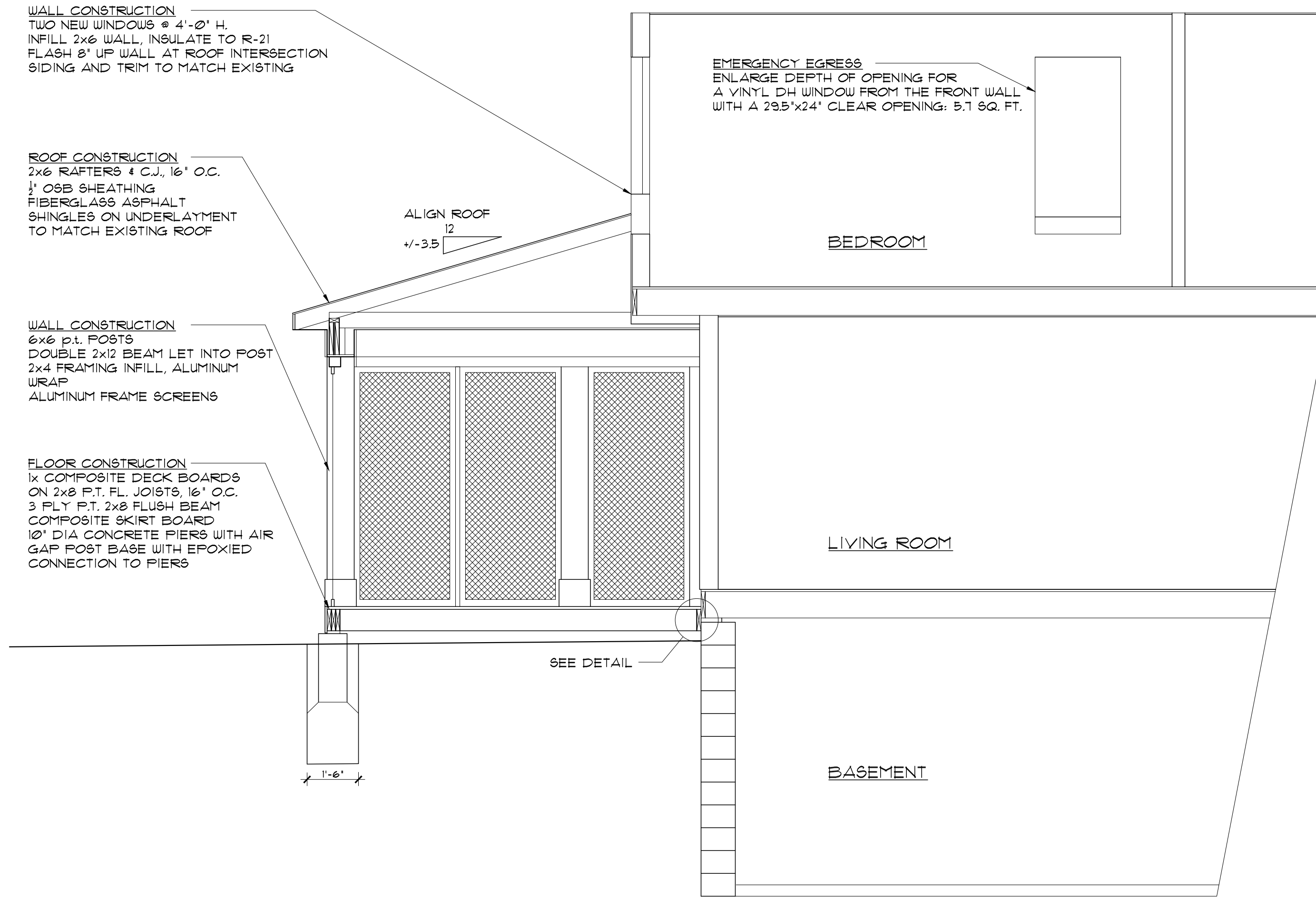
2 of 2



1 LEDGER DETAIL
A-2 3/4" = 1'-0"



2 PARTIAL SIDE ELEVATION
A-2 1/4" = 1'-0"



4 CROSS SECTION
A-2 3/8" = 1'-0"



3 ELEVATION
A-2 1/4" = 1'-0"

No.	Date	Description

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 Phone: 585-377-9001 :: www.newdesignworks.com
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PEPLIN RESIDENCE
 25 Trotters Field Run
 Town of Pittsford
 Monroe County

Project No. 2200
 Date: 06-17-22
 Scale: AS NOTED
 Drawn by: [Signature]
 Checked by: CBS

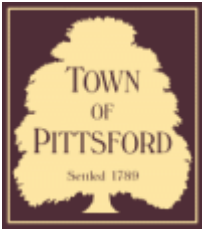
PERMIT SET

Title: Construction Documents SECTION AND ELEVATION
 2 of 2









Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000142

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 27 Whitestone Lane ROCHESTER, NY 14618

Tax ID Number: 137.20-2-26

Zoning District: RN Residential Neighborhood

Owner: Shanahan, Anne C

Applicant: Shanahan, Anne C

Application Type:

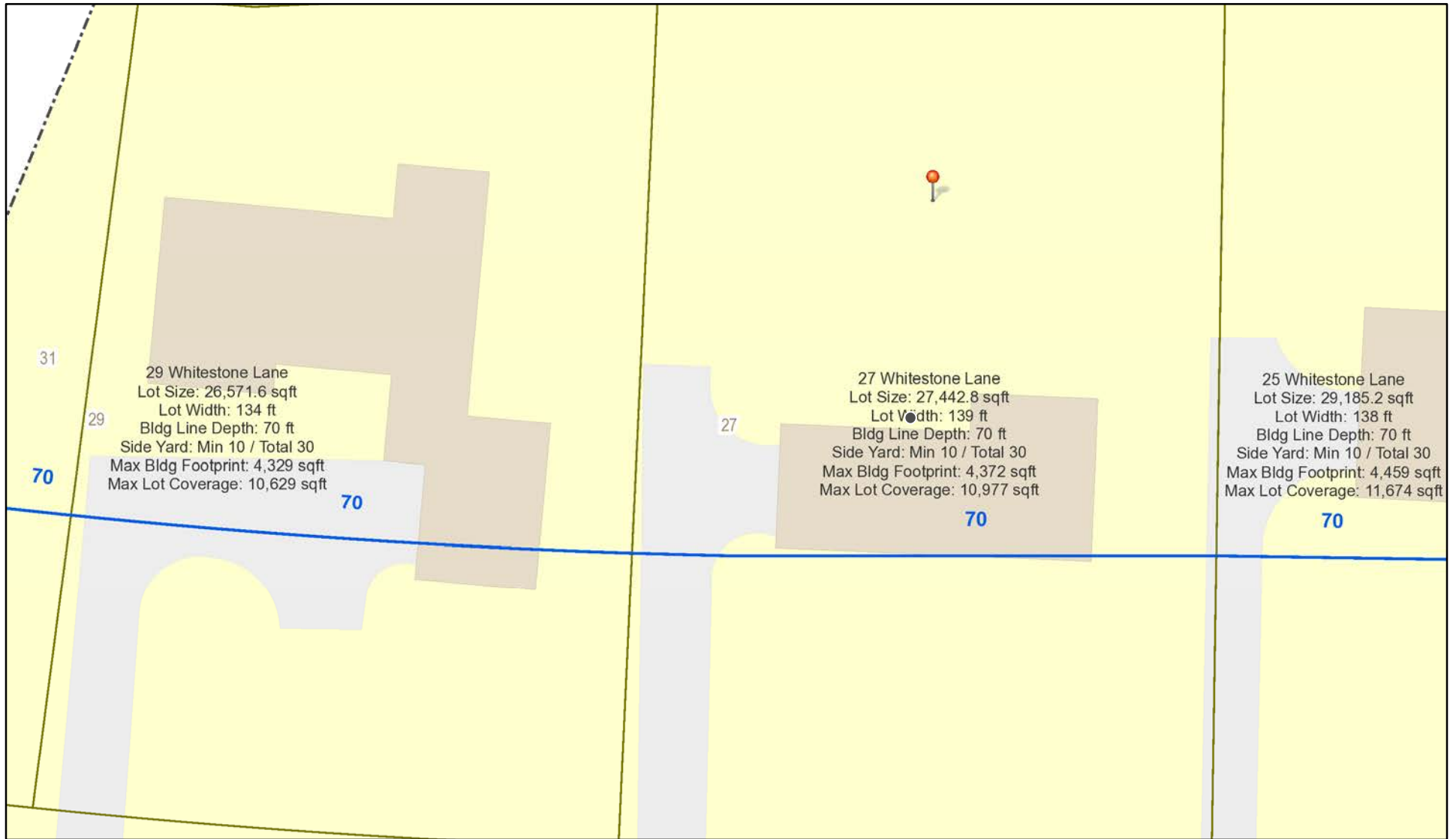
- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: The applicant is requesting design review for an approximate 70 SF covered porch over the front main entry of the home.

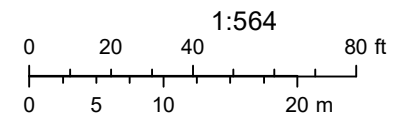
Meeting Date: September 22, 2022



RN Residential Neighborhood Zoning

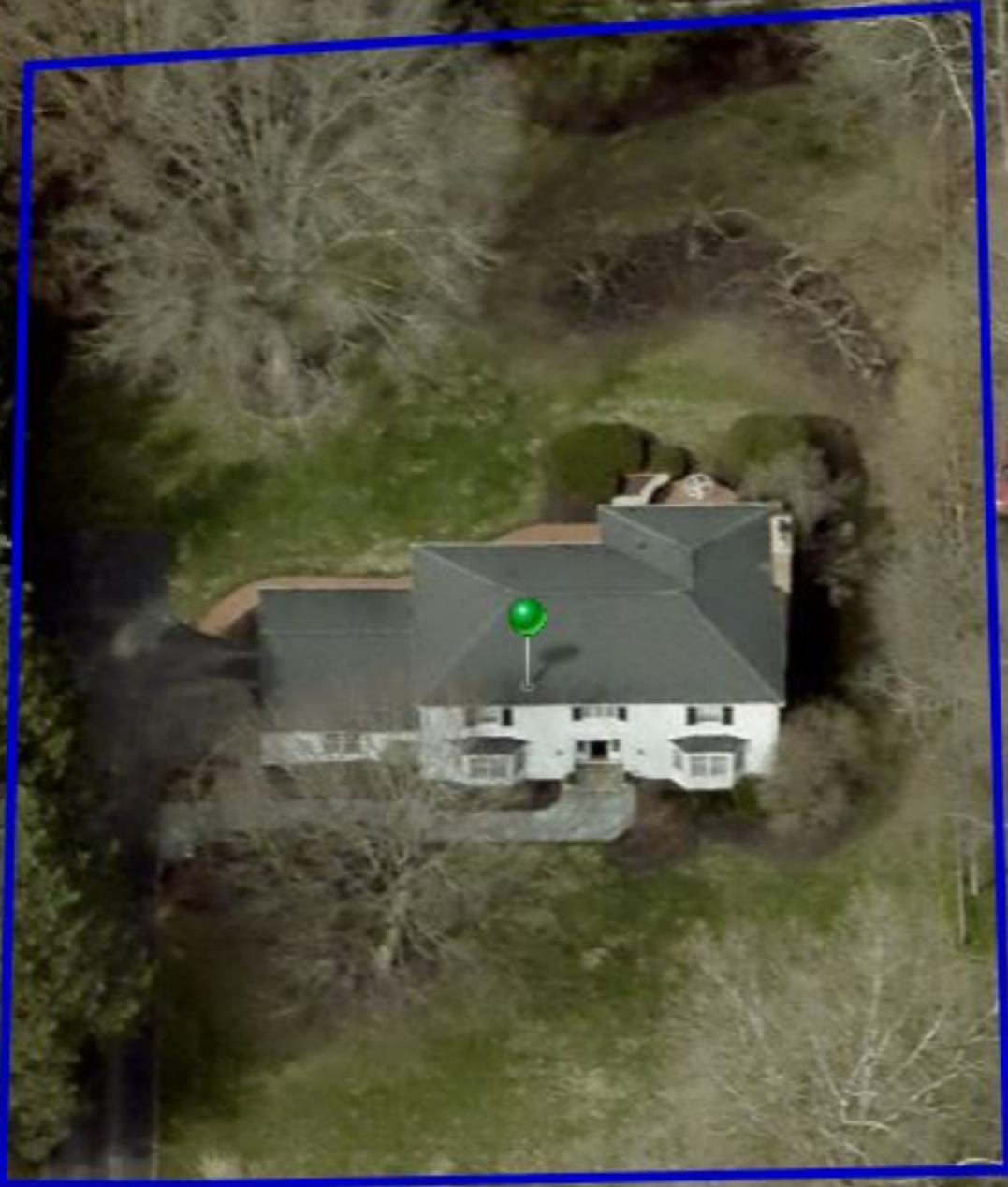


Printed September 15, 2022



Town of Pittsford GIS

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Whitstone Ln

Whitstone Ln

Malm Ln

04/03/2021

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LOT 16

S.B.L. #137.20-2-25
N/F HAROLD S. &
JOAN L. FEINBLOOM
#29 WHITESTONE LANE
L. 8935 D.P.G. 15

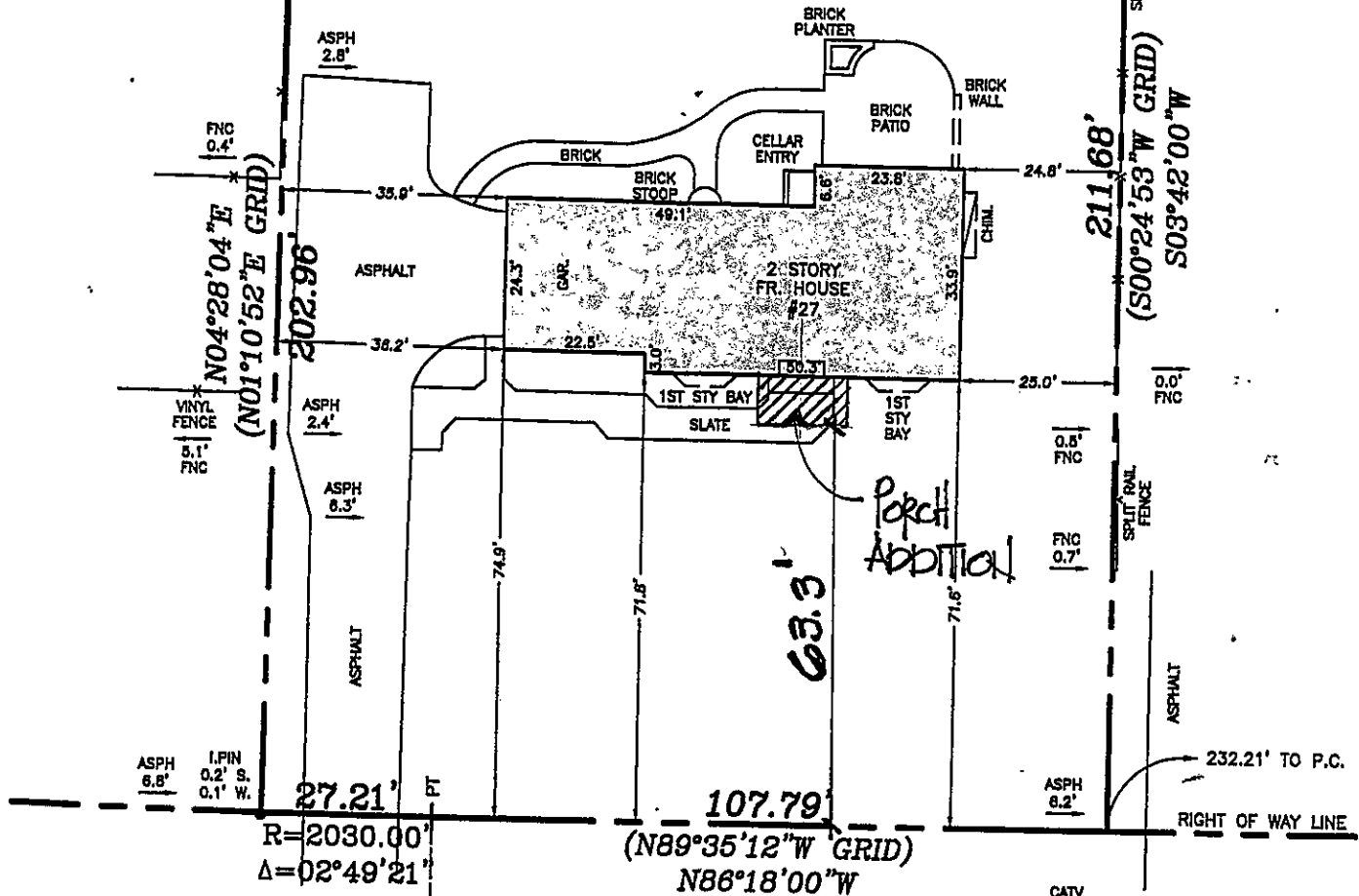
LOT 17

S.B.L. #137.20-2-26
#27 WHITESTONE LANE

AREA:
27,707.71± SQ.FT.
=0.836± ACRES

LOT R-18

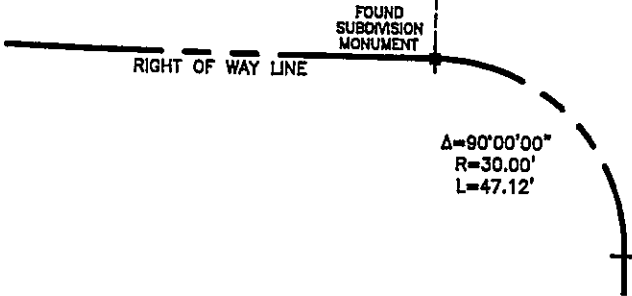
S.B.L. #137.20-2-27
N/F JULIAN W. ATWATER
#25 WHITESTONE LANE
L. 12185 D.P.G. 684



WHITESTONE LANE

(60.00' WIDE R.O.W.)

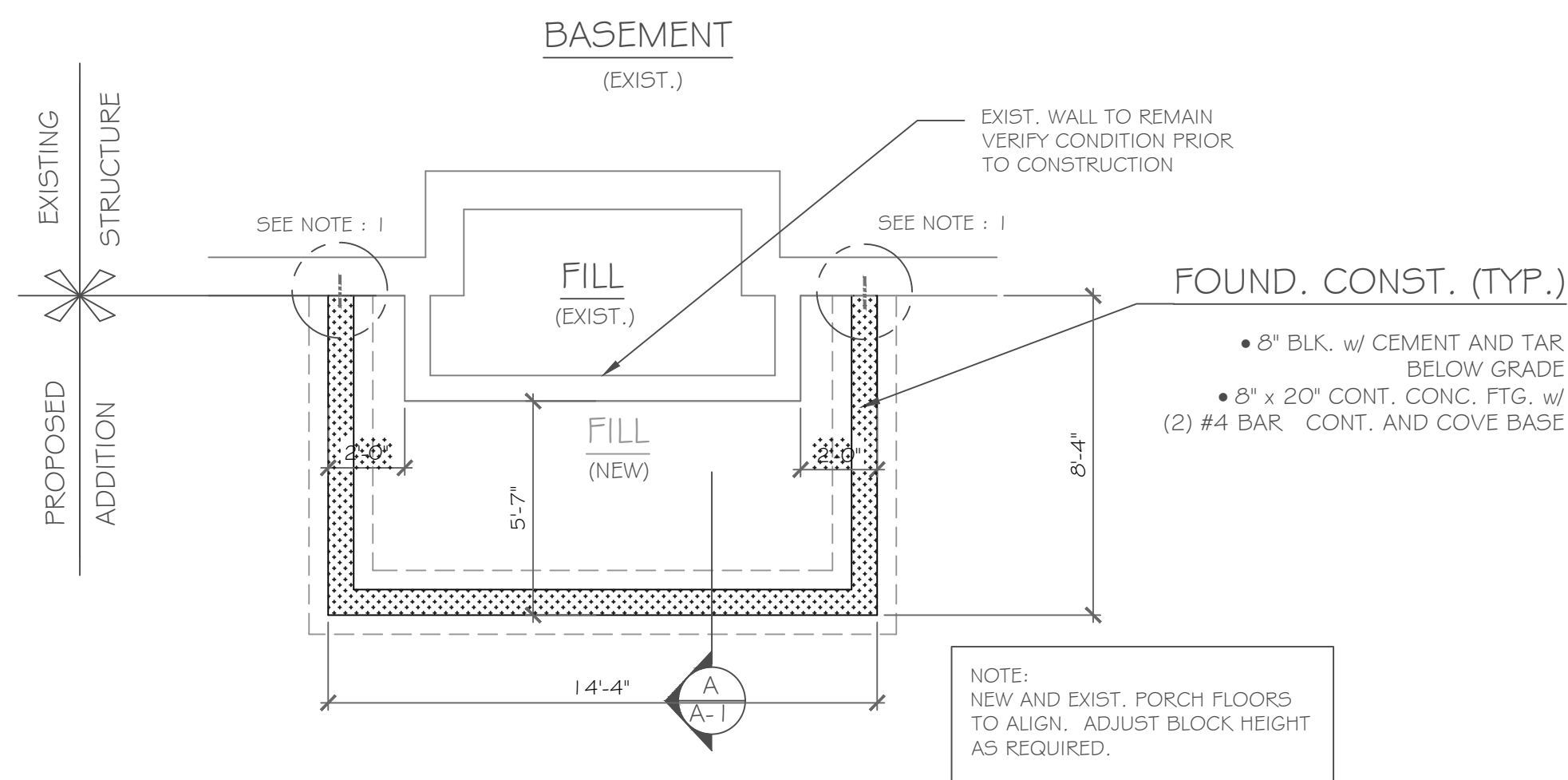
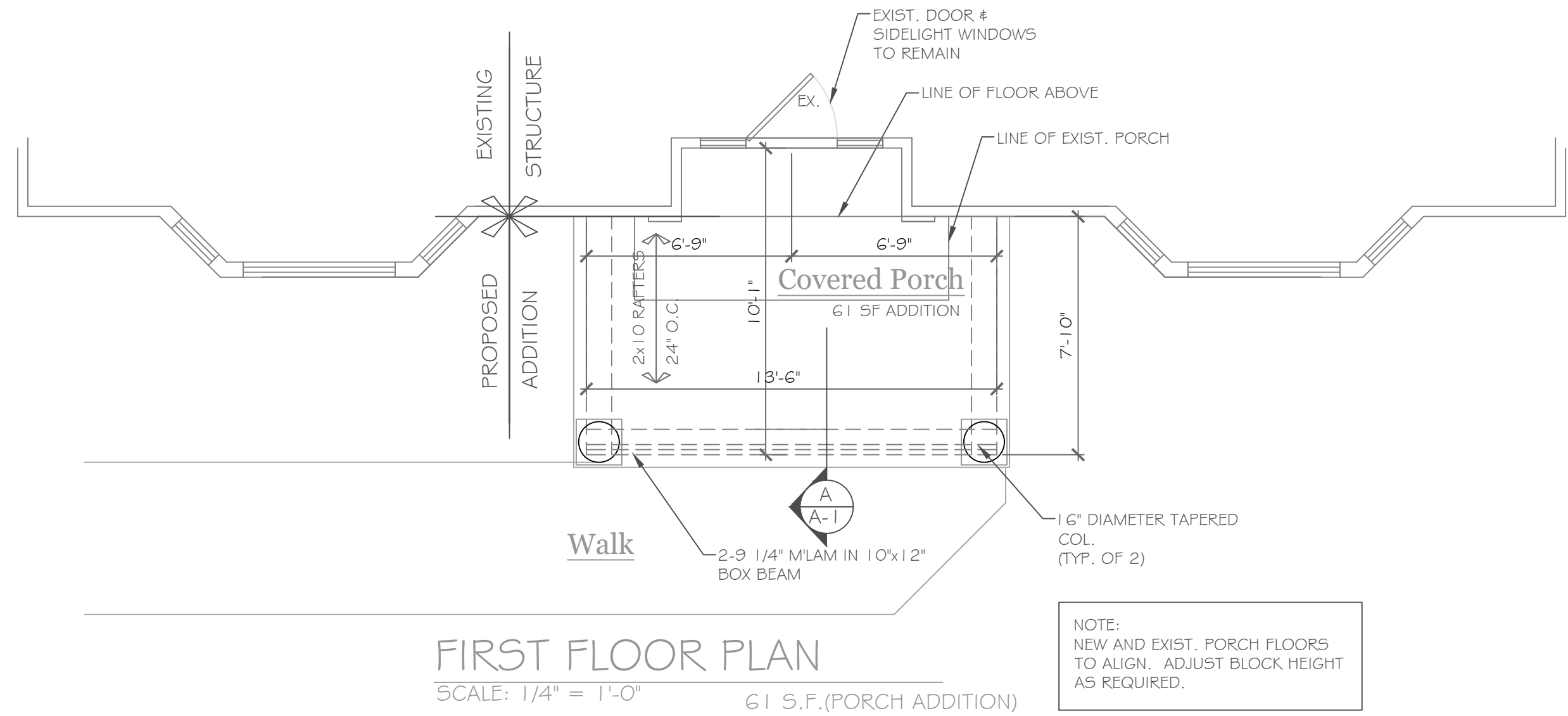
MALM LANE
(60.00' WIDE R.O.W.)



AND SURVEYORS CERTIFY TO THE PARTIES LISTED BELOW THAT THIS D USING THE REFERENCE MATERIALS LISTED HEREON AND THE NOTES SURVEY, PERFORMED IN ACCORDANCE WITH THE CURRENT NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, 16, 2022.

CERTIFICATIONS ON THIS BOUNDARY SURVEY SIGNIFY THAT THE MAP WA PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRA LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PR LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON

by eta & Fazio, LLP
page, Inc., its successors and/or assigns as their interests may appear



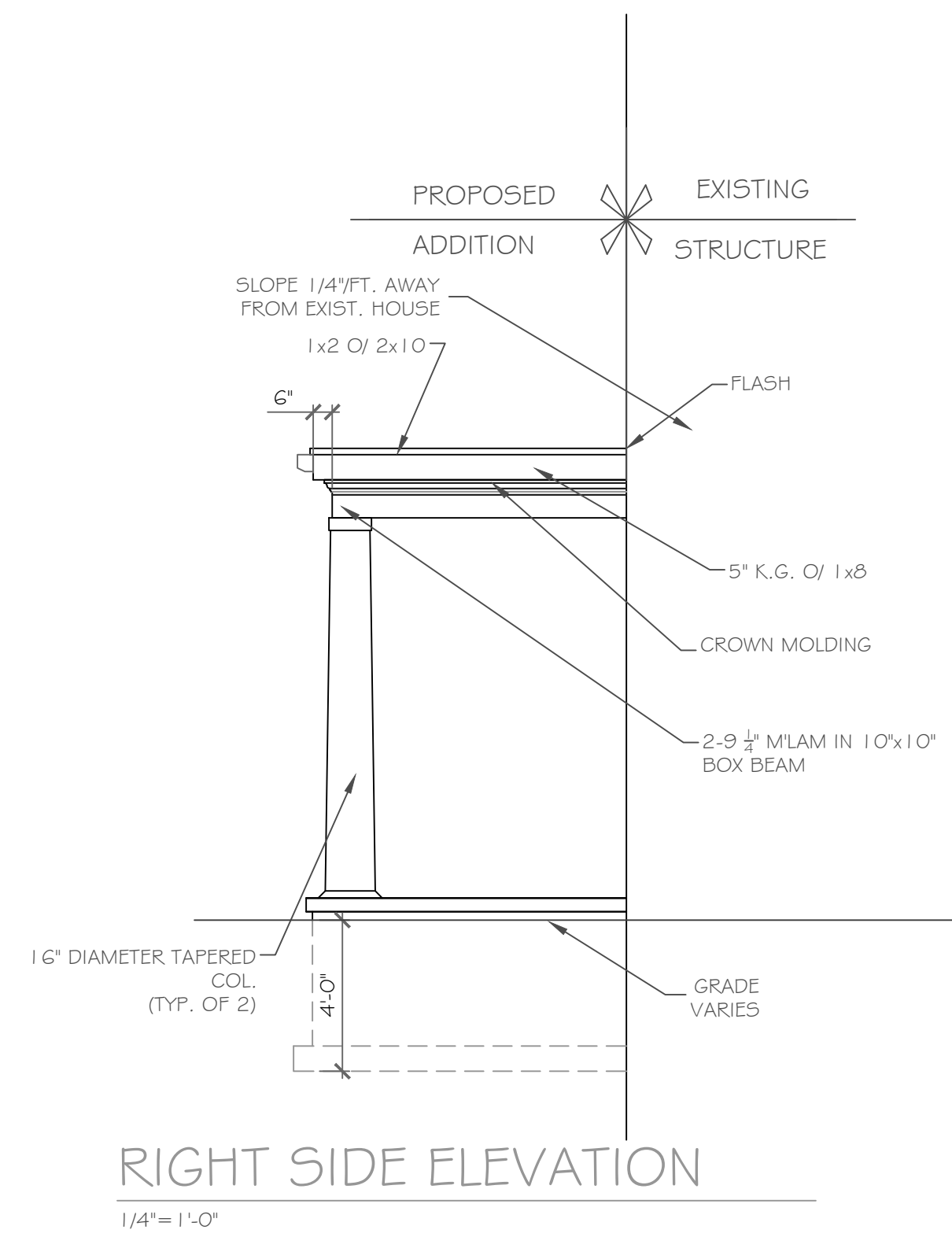
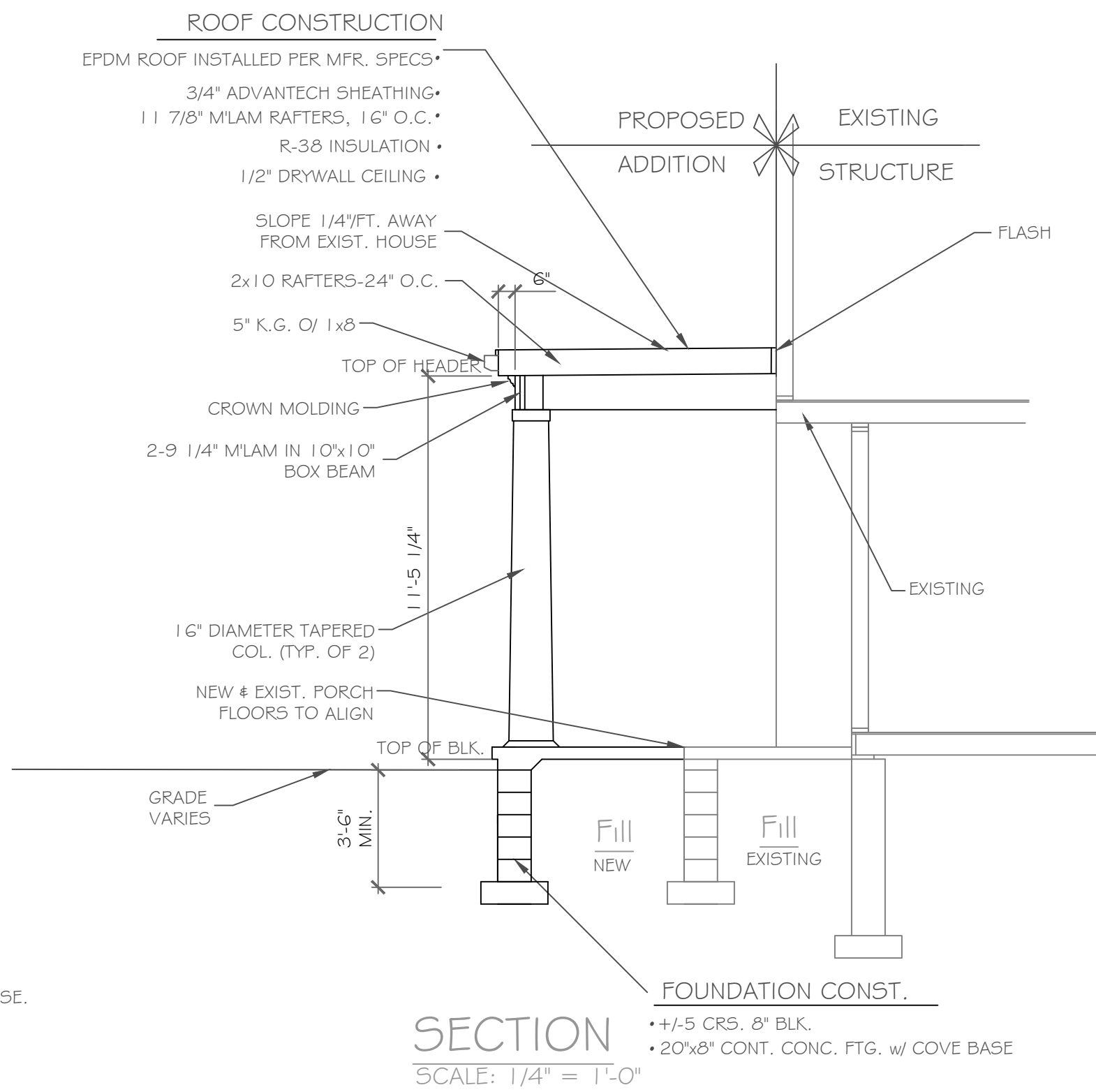
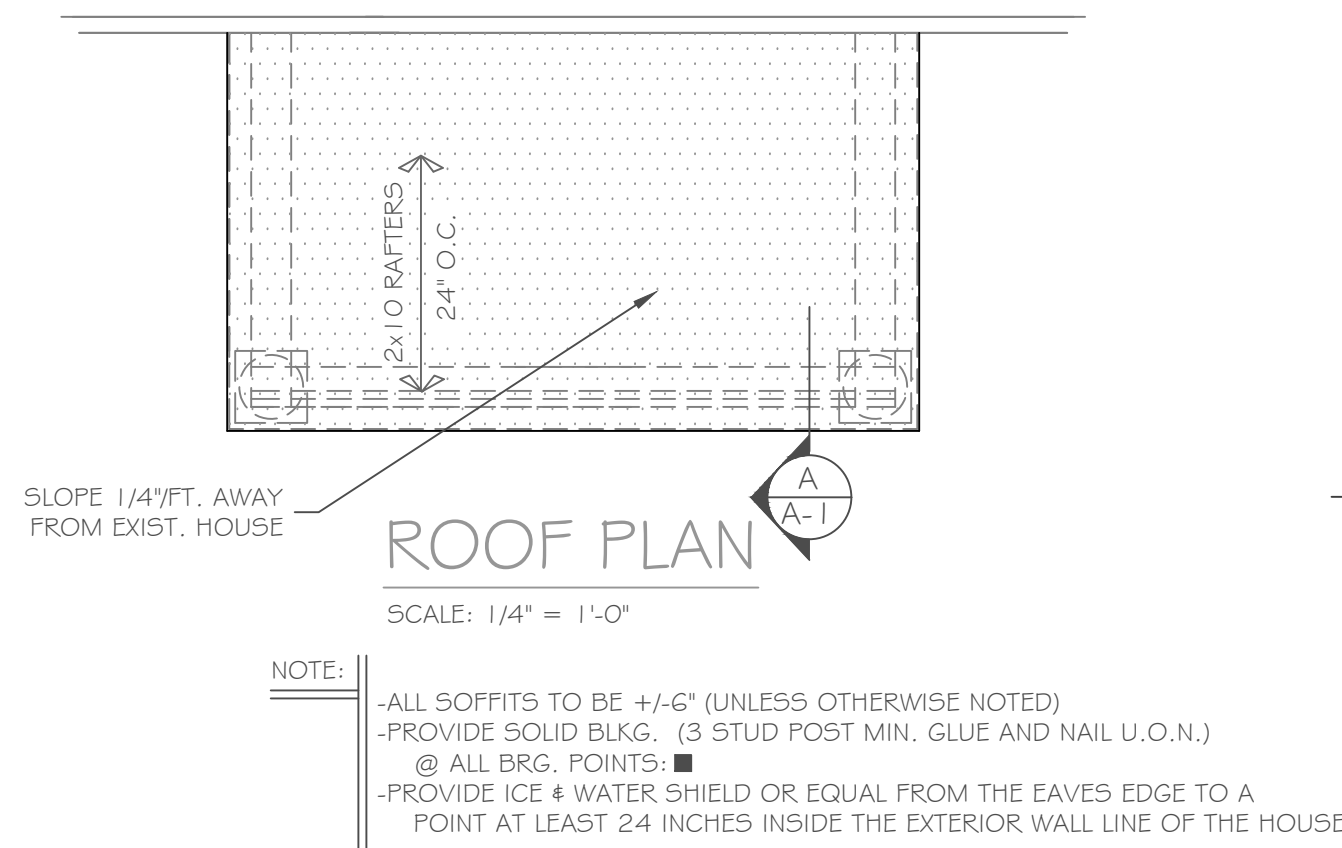
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE:

1. PROVIDE 1 2" LONG NO. 5 BAR EVERY 2ND CRS. @ NEW AND EXISTING BLK. JOINT GROUT CORES SOLID FULL HEIGHT.
2. GROUT CORES SOLID FULL HEIGHT AT ALL BEAM BEARING LOCATIONS
3. USE SIMPSON (OR EQUAL) JOIST HANGERS AT ALL HEADER CONNECTIONS.
4. NEW FOUNDATIONS NOT TO UNDERMINE EXISTING FOUNDATIONS
5. NEW 4 EXIST. FIRST FLOORS TO ALIGN
6. VERIFY DEPTH OF EXIST. FL. JST. IN FIELD PRIOR TO CONSTRUCTION

CONC. BLK. LEGEND:

- NEW 8" C.M.U.-ELEV. = 0"
EXIST. FOUND. WALL-ELEV. = 0"
BRG. POINT ABV. W/ FULL SUPPORT TO SOLID BEARING OR MASONRY (GROUT SOLID)



DEMOLITION NOTES:

1. It is the contractor's responsibility to familiarize themselves with all details involved in selective demolition. Specific instructions on each item will not be given.
2. All plumbing, electrical and HVAC fixtures, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
3. Contractor to remove all existing walls, doors, trim and any other items which the owner indicates they want to save shall be removed by the contractor, stored and maintained in good condition per the owner's directions for future reuse. The owner shall provide the contractor with the list of all such items.
4. Remove all existing lighting, wiring, and devices as required to complete work. Remove all abandoned conduit and wire. Terminate at nearest active panel.
5. Remove all existing water, sewer, storm and vent piping as required to complete work. Remove all abandoned piping, cap at nearest active main or riser.
6. Remove all existing ductwork, piping and related HVAC systems as required to complete work. Cap all ductwork and piping at nearest active main riser. Coordinate removal of all associate power and plumbing services with other trades.
7. On items, D, E, and F, contractor may be required to go beyond the contract area to reach the first shutoff valve, main or electrical panel. When this happens, the contractor shall remove and repair existing finish surfaces as required.
8. All existing floor, wall and ceiling finishes in areas to be renovated shall be removed down to subfloor/rough framing as required. Prepare existing surfaces to receive new finish materials.
9. The contractor shall be responsible for the salvage of existing materials as required for patching existing areas to remain. Wherever removals occur, disturbed surfaces should be patched to match adjacent existing.
10. The contractor shall coordinate the demolition work with the owner's use of the premises. All work to be scheduled and coordinated with owner.
11. The contractor shall provide fireproof and dustproof partitions around the construction area during all demolition and construction work.
12. The contractor shall maintain safe access to all designated exits for the building occupants during construction.
13. Storage for contractor's equipment and debris must be kept inside the contract area.
14. Dumpsters for construction debris are to be provided by contractor. All debris to be hauled off site upon removal by contractor.
15. If materials are suspected to contain asbestos, contractor is to immediately inform owner and architect. All existing materials known to contain asbestos that are to be removed should be done so in accordance with established A.H.E.R.A. regulations.

CONSTRUCTION NOTES:

1. Construction shall conform to the residential code of New York State.
2. Comply with all local, state and federal codes and regulations.
3. General Contractor is responsible for all materials, construction methods and craftsmanship.
4. General Contractor to verify all existing conditions, requirements, notes and dimensions prior to start of construction. Notify the Architect if conditions vary from those shown on the documents.
5. General Contractor to provide adequate support of existing foundation walls, load bearing walls and partitions during demolition and construction.
6. Contractor's are responsible for coordinating work with other trades wherever they overlap.
7. When materials and / or finishes are found to be absent, or when existing construction is removed, disturbed, damaged, replaced or renovated in any way, contractor shall provide patching, painting and materials of same type and quality as to match adjacent existing surfaces unless otherwise noted.
8. Provide all blocking, furring and shimming as necessary for installation and completion of the work.
9. All new work shall be plumb, level and square. Scribe and make fit all new work to existing.
10. All details are subject to change due to existing field conditions. Contractor must notify owner and architect of same.
11. All dimensions are face of wall to face of wall (rough).
12. Exterior stud wall framing shall be 2 x 6 @ 16" o.c. and interior stud wall framing shall be 2 x 4 @ 16" o.c. (unless otherwise noted).
13. No site visits will be made by this Architect. contractor shall consult with Architect with any changes to these drawings.
14. Coordinate interior doors/hardware, wood trim and finishes, and exterior finish materials (siding, roofing etc.) to match existing. Final selection by owner and general contractor unless otherwise specified.
15. Call UFPO before you dig. 1-800-962-7962
16. All exterior below-grade walls to receive one (1) coat foundation coat and two (2) coats of tar
17. Coordinate the installation of continuous aluminum gutters and downspouts to match existing. Downspouts are to be located in field and approved by owner. All downspouts are to run to precast concrete splashblocks, or to underground conductors per local code.
18. Design and coordination of all sitework, including finish grading and hydroseeding, by contractor.
19. Design and coordination of electric, plumbing, and HVAC system installation by contractor. Verify capacity and location of existing utilities/services prior to construction.
20. To the best of our knowledge, belief and professional judgment, these plans are in compliance with the State of New York Energy Code.
21. These documents do not purport to show all items and procedures required for a complete installation. The intent is to indicate the general scope for the project, in terms of the architectural design concept, the location/dimensions of the construction and major architectural elements of construction.

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
First Floor, Foundation & Roof Plans
Elevations & Section

PROJECT:
Additions & Renovations to:
27 Whitestone Lane
Rochester, New York

CLIENT:
Patrick & Caroline Coakley

PHASE:
Construction Documents

DATE:
September 12, 2022

JOB NO.:
A1G-064

PROJECT:
Additions & Renovations to:
27 Whitestone Lane
Rochester, New York

CLIENT:
Patrick & Caroline Coakley

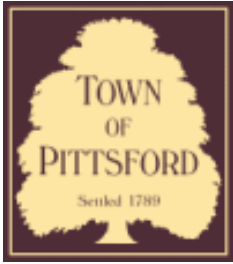
PHASE:
Construction Documents

DATE:
September 12, 2022

JOB NO.:
A1G-064

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14554
phone: (855) 249-1334
e-mail: CKHemessey@frontnet.net

DRAWING NO.:
A-1



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000136

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 7 Black Wood Circle PITTSFORD, NY 14534

Tax ID Number: 178.03-5-40

Zoning District: IZ Incentive Zoning

Owner: Wilshire Hill LLC

Applicant: Pride Mark Homes

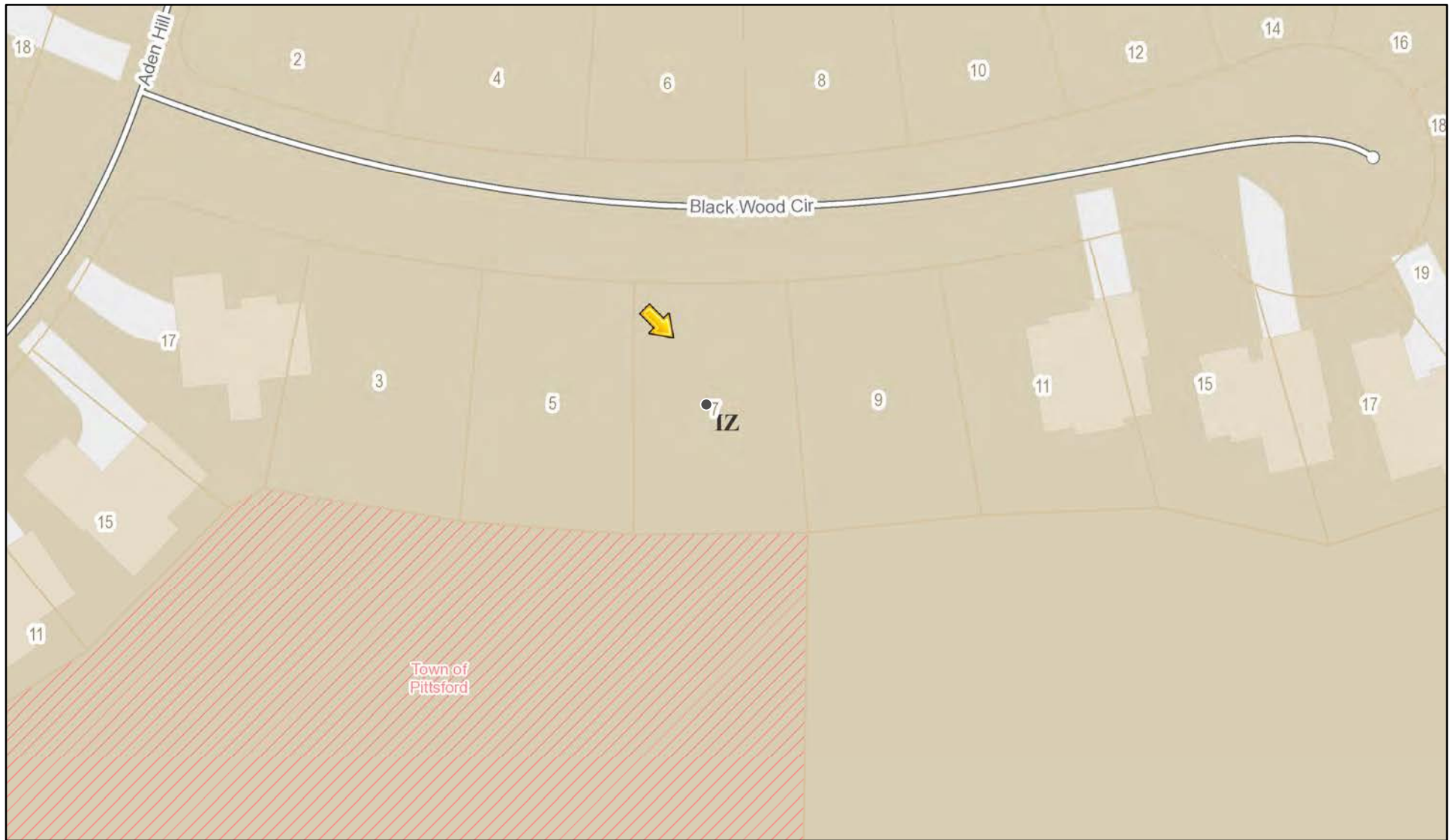
Application Type:

- Residential Design Review §185-205 (B)
- Commercial Design Review §185-205 (B)
- Signage §185-205 (C)
- Certificate of Appropriateness §185-197
- Landmark Designation §185-195 (2)
- Informal Review
- Build to Line Adjustment §185-17 (B) (2)
- Building Height Above 30 Feet §185-17 (M)
- Corner Lot Orientation §185-17 (K) (3)
- Flag Lot Building Line Location §185-17 (L) (1) (c)
- Undeveloped Flag Lot Requirements §185-17 (L) (2)

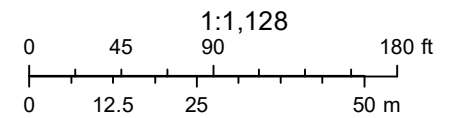
Project Description: Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2013 square feet and will be located in the Whilshire Hills Subdivison.

Meeting Date: September 22, 2022

RN Residential Neighborhood Zoning



Printed September 13, 2022



Town of Pittsford GIS

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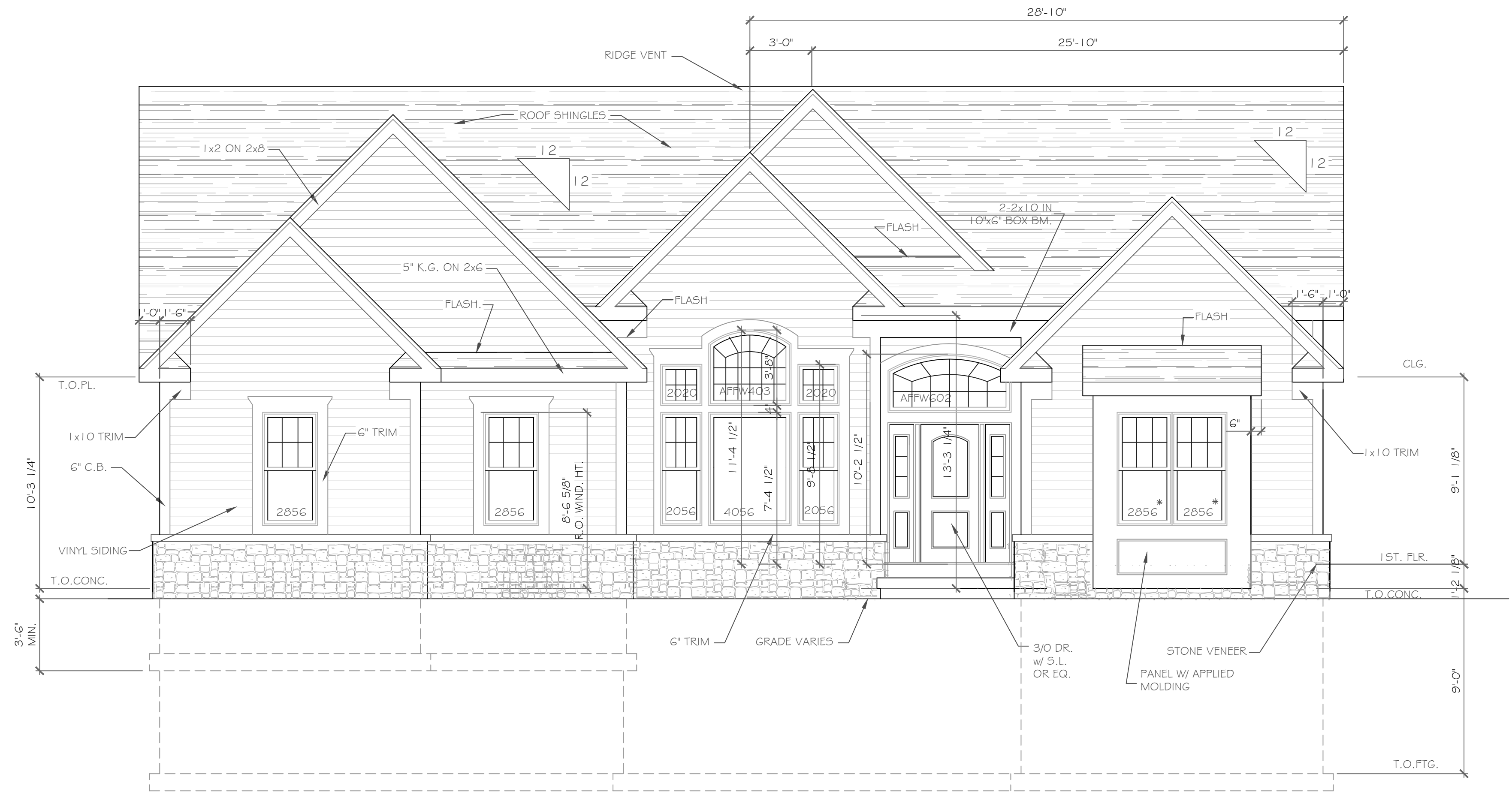


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DESIGN CRITERIA:

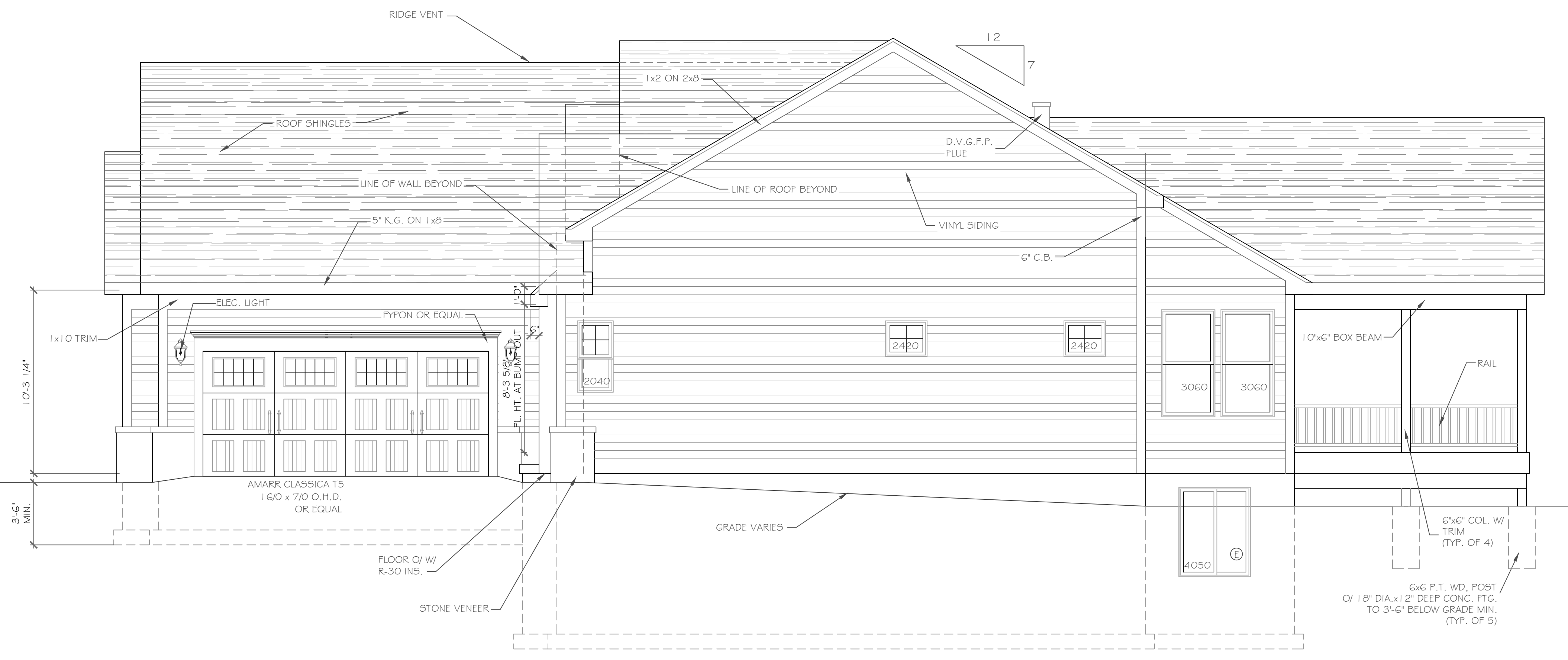
-For Greater Rochester Area and surrounding counties.

1 ST & 2ND FLOOR LIVING AREA LIVE LOAD	40 PSF
SLEEPING AND ATTIC AREA LIVE LOAD	30 PSF
FLOOR DEAD LOAD	15 PSF
GROUND SNOW LOAD	40 PSF
ROOF DEAD LOAD	10 PSF
ALLOWABLE SOIL BEARING	2500 PSF AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST DEPTH LINE	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 1992
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN



FRONT ELEVATION 2013 S.F.
1/4" = 1'-0"

NOTE: - WINDOWS TO BE "GREAT LAKES" DOUBLE-HUNG
- DOORS TO BE "THERMA-TRU" OR EQ.
- DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
- WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS
- * : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS



RIGHT SIDE ELEVATION
1/4" = 1'-0"

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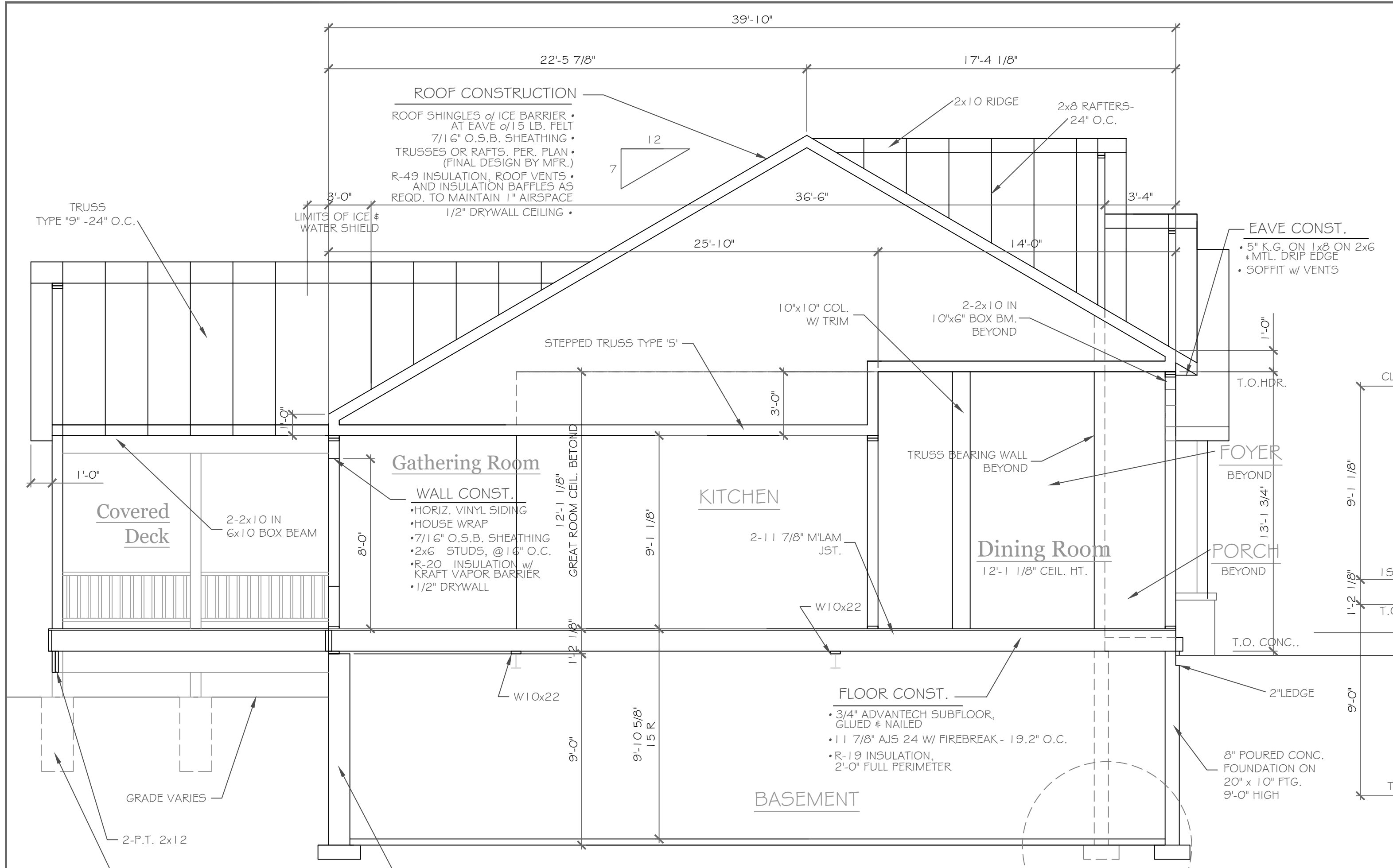
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE: Elevations & Notes
PROJECT: Lot 39C, Wilshire Hill, Pittsford, N.Y.
CLIENT: Pride Mark Homes
JOB NO.: A22-034
DATE: August 12, 2022
PHASE: Construction Documents

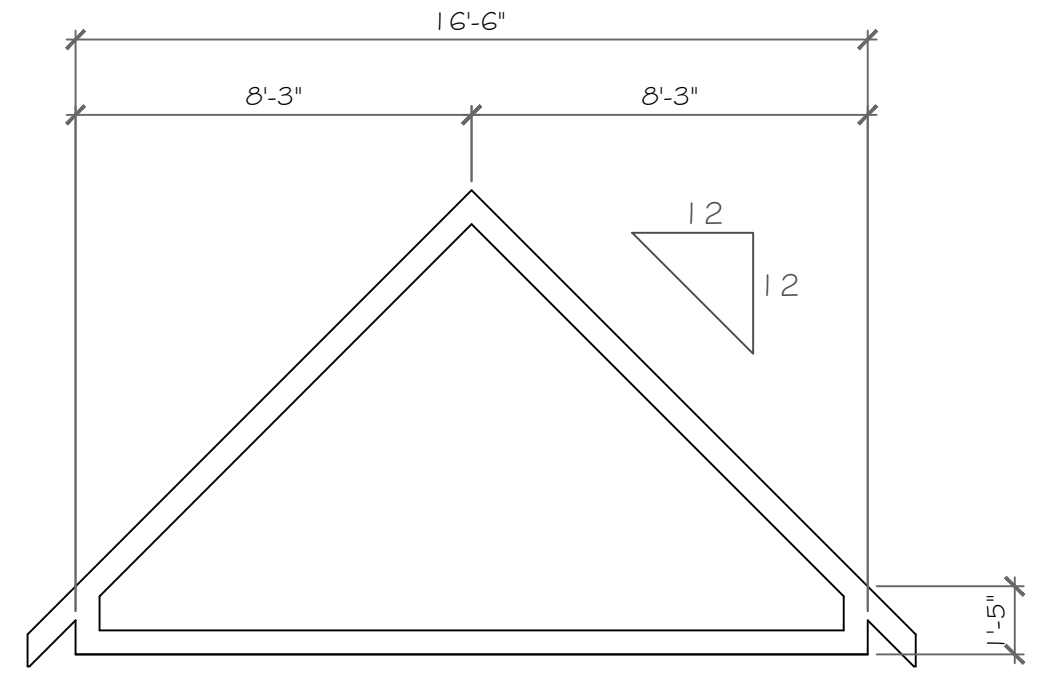
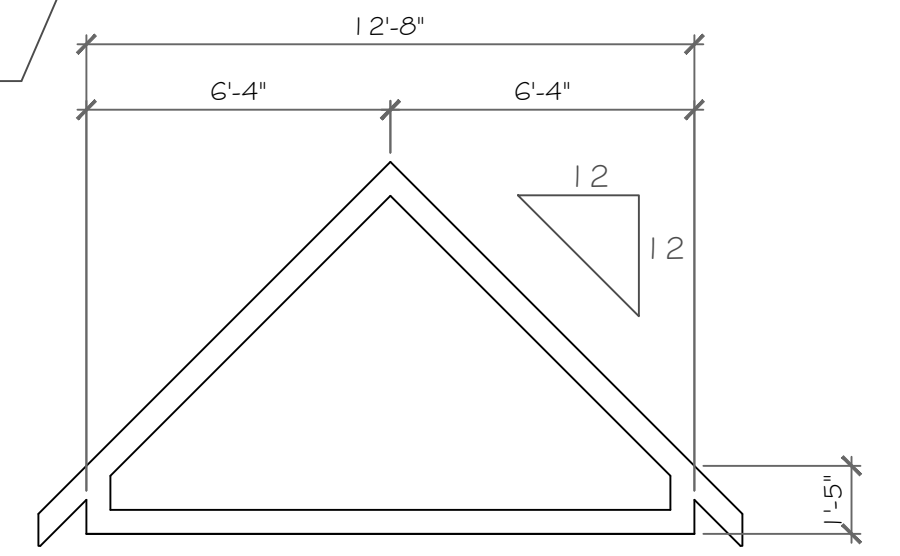
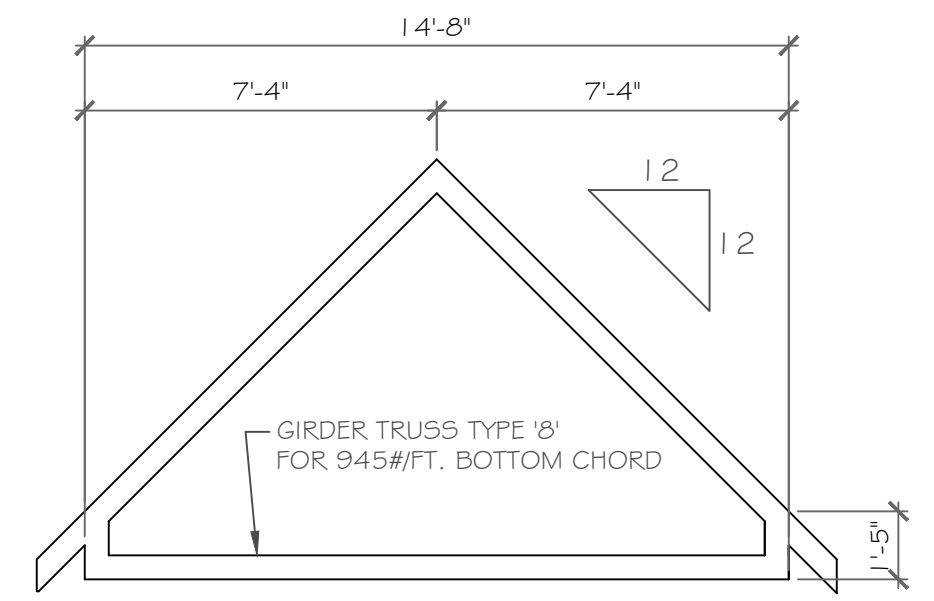
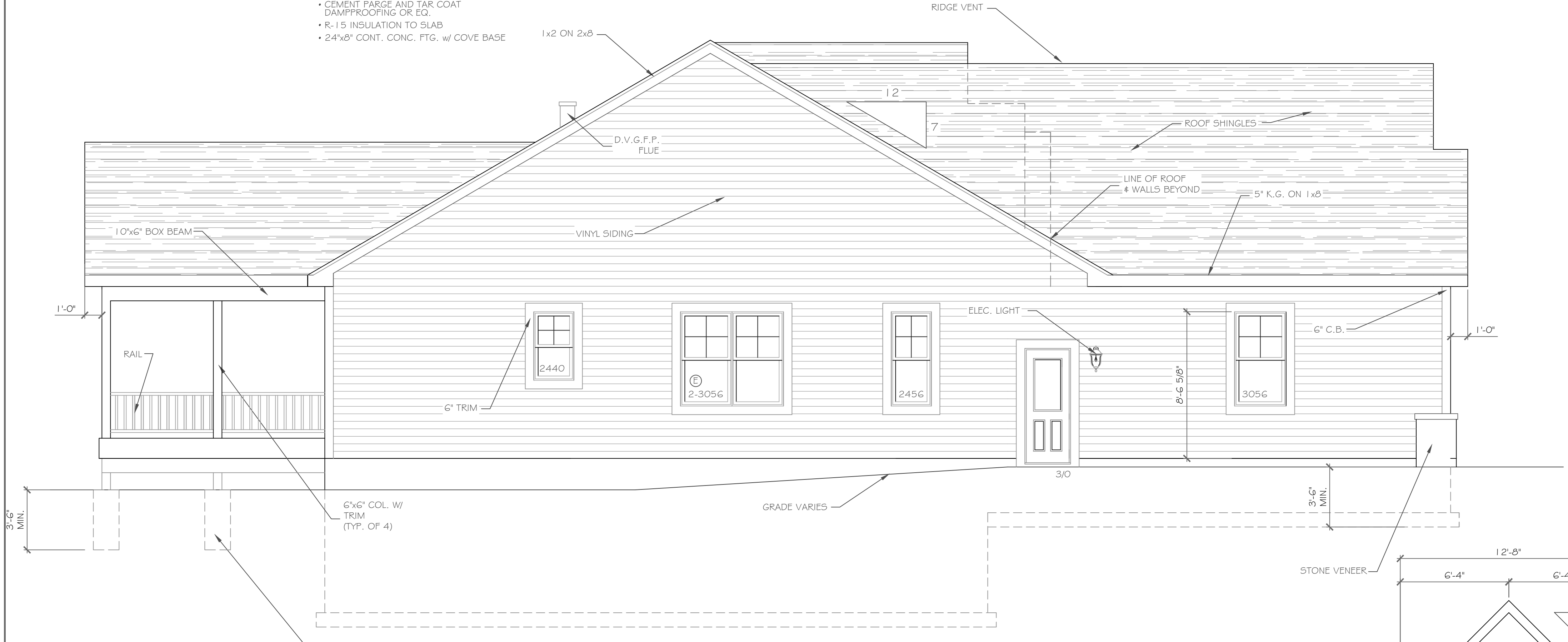
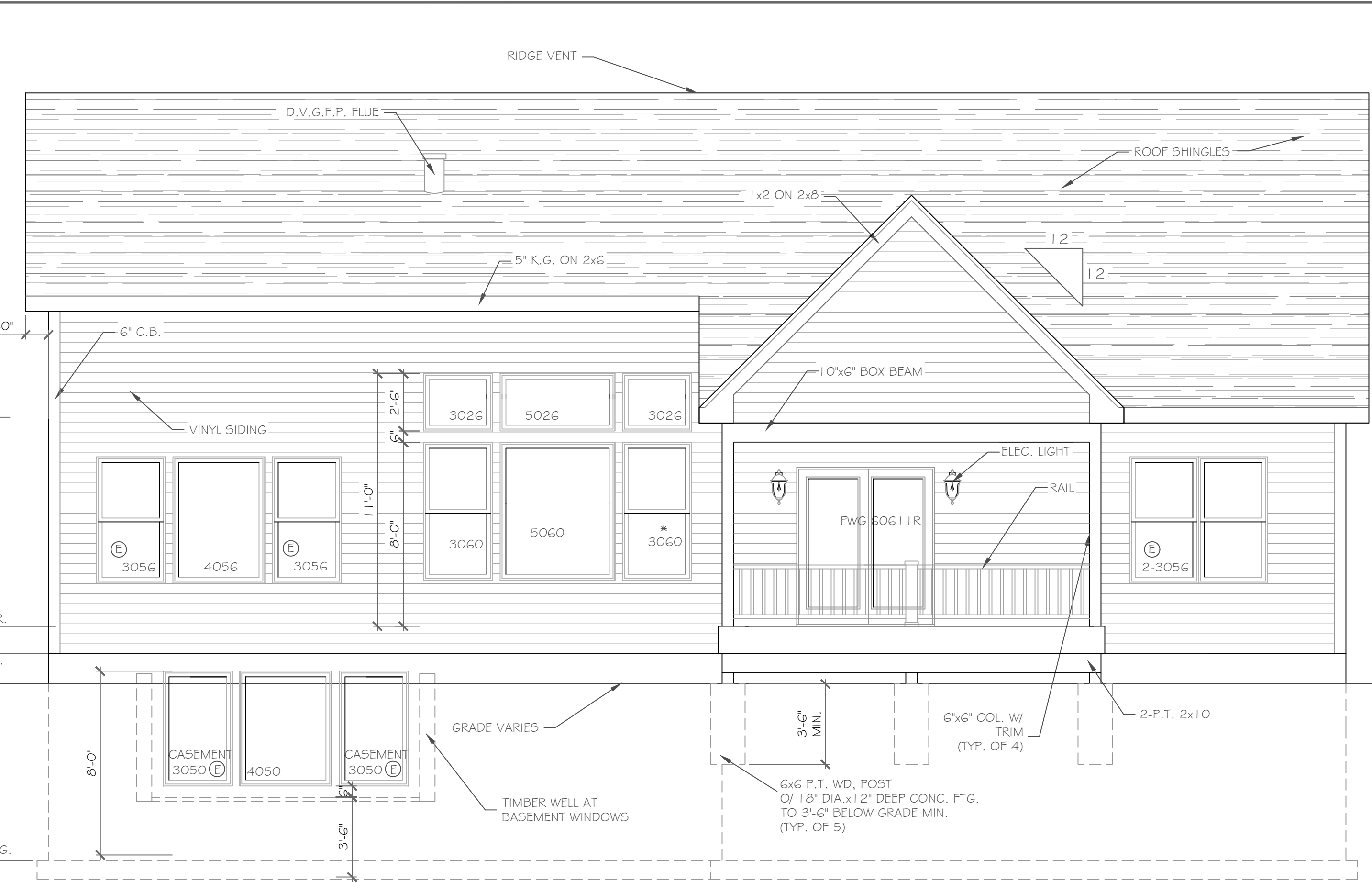
PROJECT: Lot 39C, Wilshire Hill, Pittsford, N.Y.
CLIENT: Pride Mark Homes
JOB NO.: A22-034
DATE: August 12, 2022
PHASE: Construction Documents

CKH architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontiernet.net

DRAWING NO.: A-1



A CROSS SECTION
 1/4" = 1'-0"



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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE
 Elevations & Section

PHASE
 Construction Documents

PROJECT
 Lot 39C
 Wilshire Hill, Pittsford, N.Y.

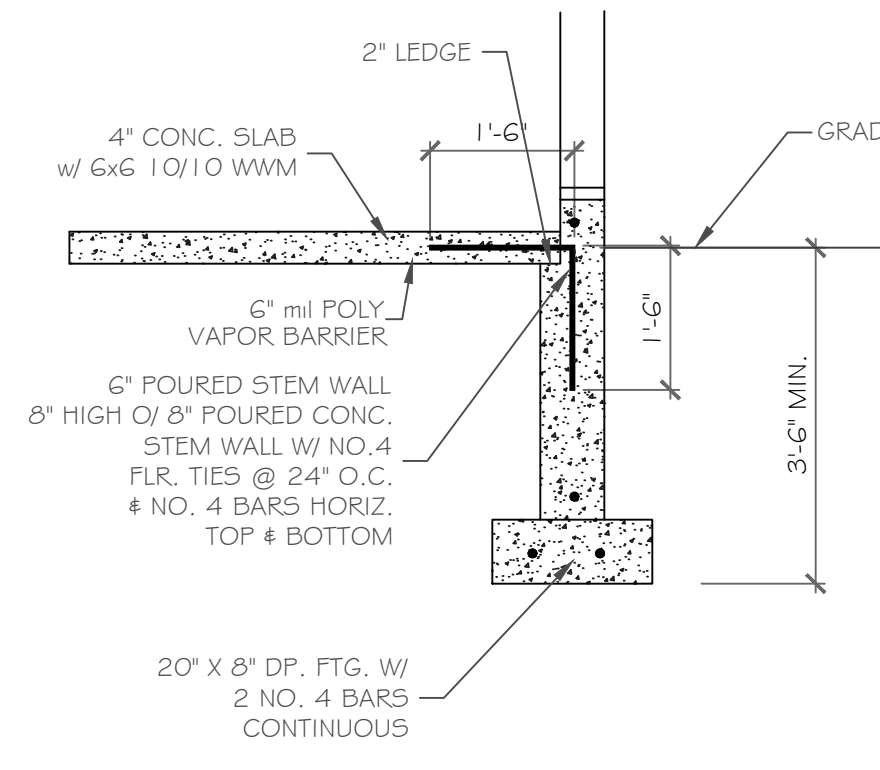
CLIENT
 Pride Mark Homes, Inc.

JOB NO.
 A22-034

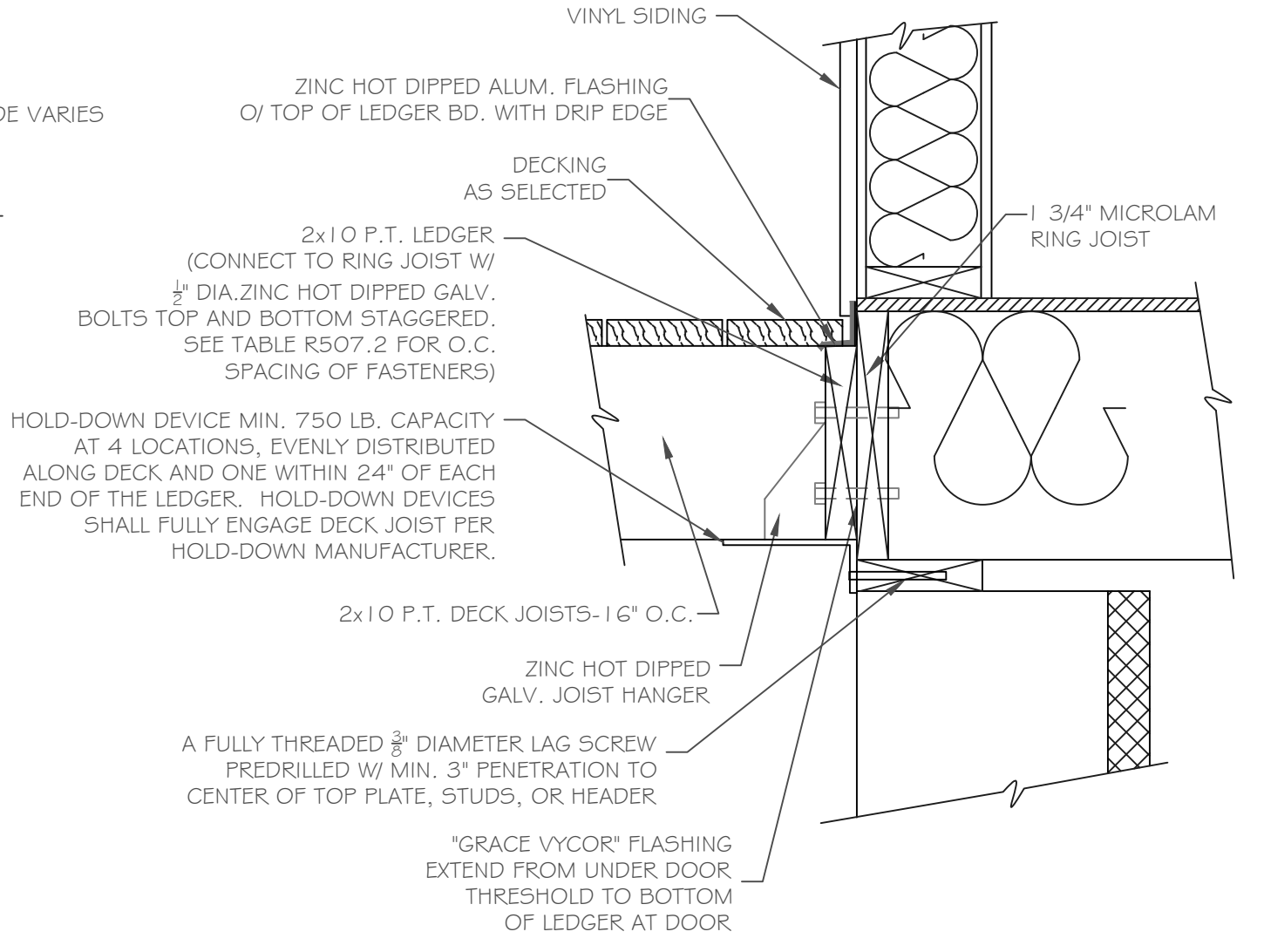
DATE
 August 12, 2022

CKH
 architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

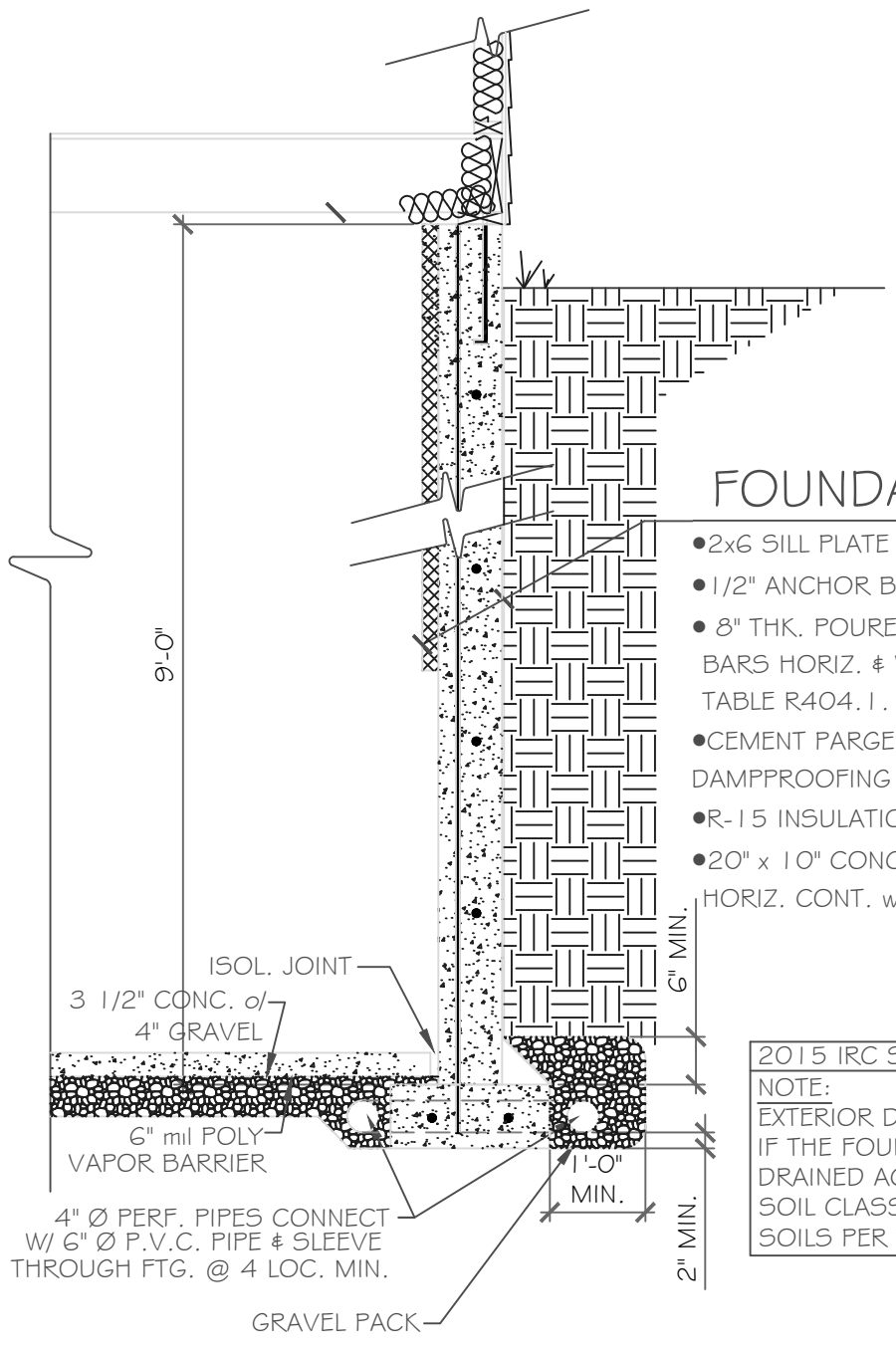
DRAWING NO.
 A-5



GARAGE WALL DETAIL
SCALE: 1/2" = 1'-0"



DECK CONNECTION TO DWELLING
SCALE: 1 1/2" = 1'-0"



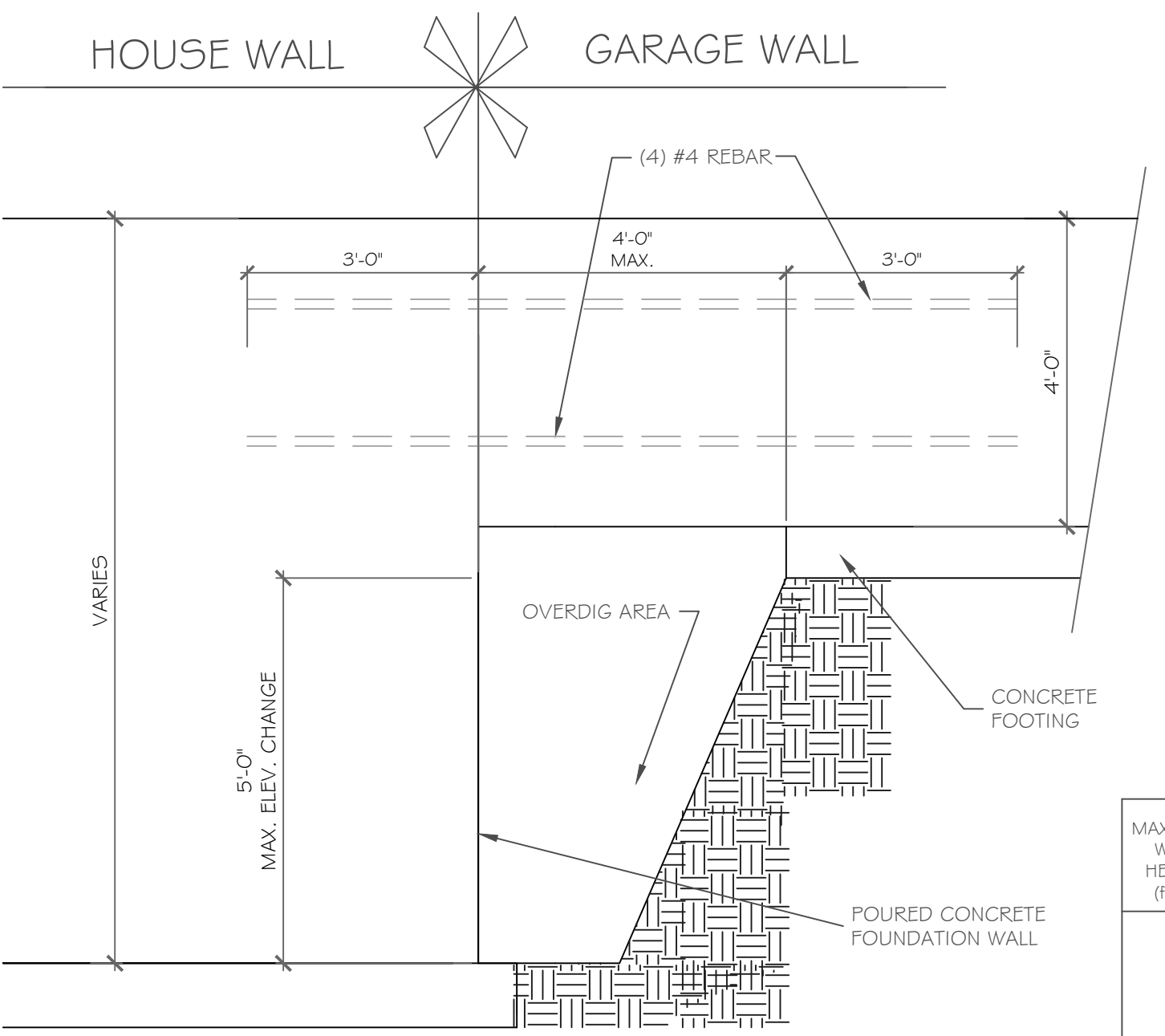
TYPICAL POURED WALL DETAILS
SCALE: 1/2" = 1'-0"

- FOUNDATION CONST.**
- 2x6 SILL PLATE w/ SILL SEALER
 - 1/2" ANCHOR BOLTS @ 6'-0" O.C. MIN.
 - 8" THK. POURED CONC. WALL w/ 4 NO. 4 BARS HORIZ. & VERTICAL REINFORCING PER TABLE R404.1.1(4) ON SHT. 2
 - CEMENT FARGE AND TAR COAT DAMPPROOFING
 - R-15 INSULATION TO SLAB
 - 20" x 10" CONC. FTG. w/ 2 NO. 4 BARS HORIZ. CONT. w/ COVE BASE

NOTE: THE MIN. DISTANCE FROM BOTTOM ROW OF LAG SCREWS OR BOLTS TO THE EDGE OF THE LEDGER SHALL BE IN ACCORDANCE WITH FIGURE R507.2.1 IN THE 2015 IRC

NOTE: DECK BEAMS SHALL BE ATTACHED TO DECK POSTS IN ACCORDANCE WITH R507.7.1 OF THE 2015 IRC

NOTE: EXTERIOR DRAIN TILE IS OPTIONAL IF THE FOUNDATION SOILS ARE WELL DRAINED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS PER TABLE. R405.1



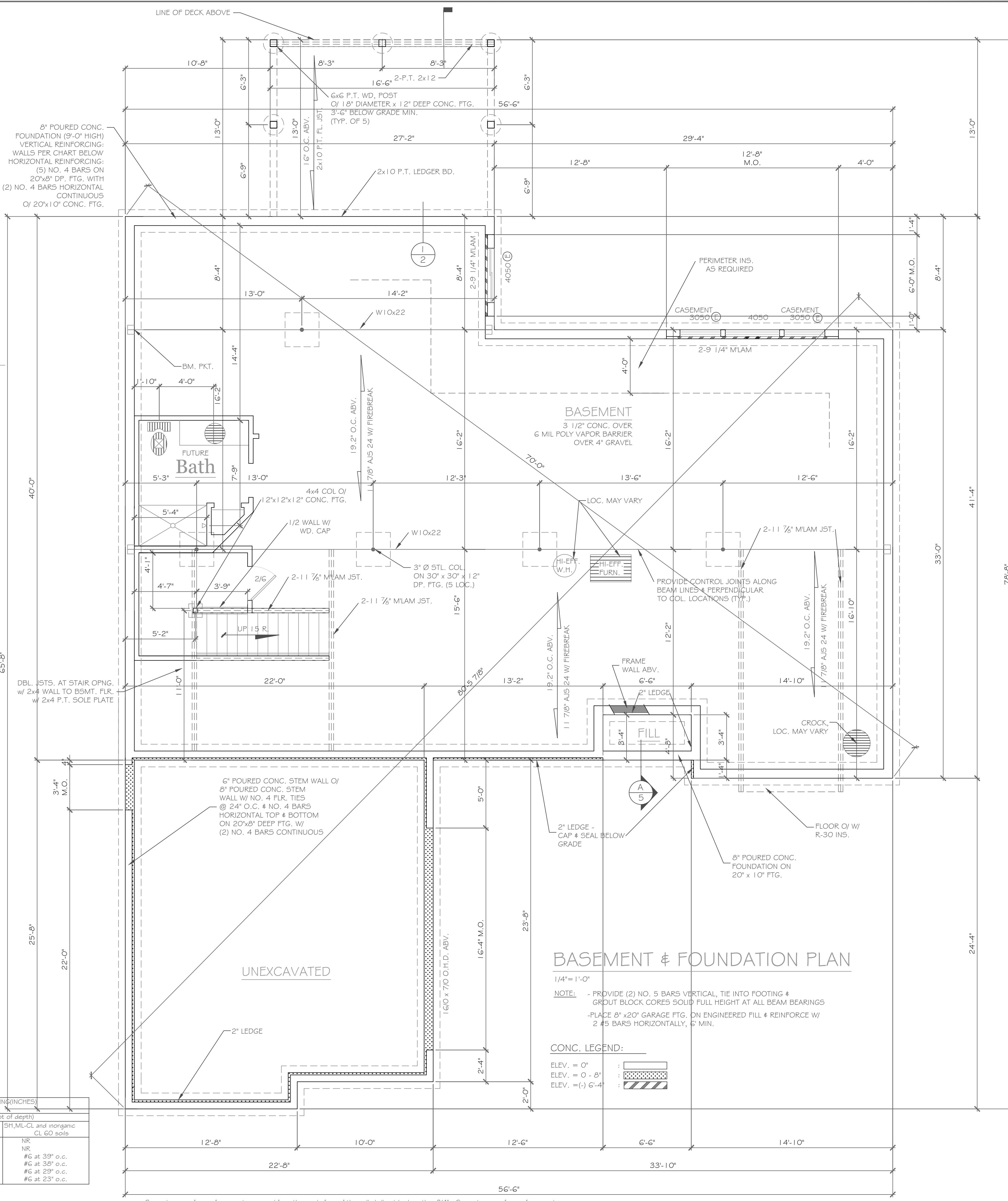
POURED WALL JUMP FOOTING DETAIL
SCALE: 1/2" = 1'-0"

DECK BEAM TO DECK POST DETAIL
SCALE: 1 1/2" = 1'-0"

PARTIAL TABLE R404.1.2(B)
NOMINAL FLAT BASEMENT WALLS (p,c,d,e,f,h,i,k,n,o)

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT(z) (feet)	MINIMUM VERTICAL REINFORCEMENT BAR SIZE AND SPACING(INCHES)			
		Soil classes(a) & design lateral soil (psf per foot of depth)			
		GM, GP, SW and SP 30' soils	GM, GC, SM, SM-SC and ML 45 soils	SH, ML-CL and inorganic CL 60 soils	
9	4	NR	NR	NR	
	5	NR	NR	NR	
	6	NR (l)	NR	#6 at 39" o.c.	
	7	NR	#3 at 37" o.c.	#6 at 39" o.c.	
	8	#5 at 41" o.c.	#6 at 38" o.c.	#6 at 29" o.c.	
	9	#6 at 46" o.c.	#6 at 30" o.c.	#6 at 23" o.c.	

b. Table values are based on reinforcing bars with a min. yield strength of 60,000 psi
 c. Vertical reinforcement w/ a yield strength of less than 60,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.3, 3.7.6 and Table R404.1.2(f).
 d. NR indicates no vertical reinforcement is required, except for 6" nominal walls formed w/ stay in place forming systems in which case vertical reinforcement shall be No. 4@48" o.c.
 e. Allowable deflection criterion is 1/240, where L is the unsupported height of the basement wall in inches.
 f. Interpolation is not permitted.
 g. Vertical reinforcement shall be located to provide a cover of 1 1/4" measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than the greater of 10 percent of the wall thickness or 3/8".



BASEMENT & FOUNDATION PLAN
1/4" = 1'-0"

NOTE: - PROVIDE (2) NO. 5 BARS VERTICAL, TIE INTO FOOTING & GROUT BLOCK CORES SOLID FULL HEIGHT AT ALL BEAM BEARINGS
 - PLACE 8" x 20" GARAGE FTG. ON ENGINEERED FILL & REINFORCE W/ 2 #5 BARS HORIZONTALLY, 6" MIN.

CONC. LEGEND:
 ELEV. = 0"
 ELEV. = 0 - 8"
 ELEV. = (-) 6'-4"

i. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4". Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2" for No. 5 bars and smaller, and not less than 2" for larger bars.
 k. Concrete shall have a specified compressive strength of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote l or m.
 l. The minimum thickness is permitted to be reduced 2", provided the minimum specified compressive strength of concrete is 4,000 psi.
 n. See Table R608.3 for tolerance from nominal thickness permitted for flat walls.
 o. The use of this Table shall be prohibited for soil classifications not shown.

REVISIONS:

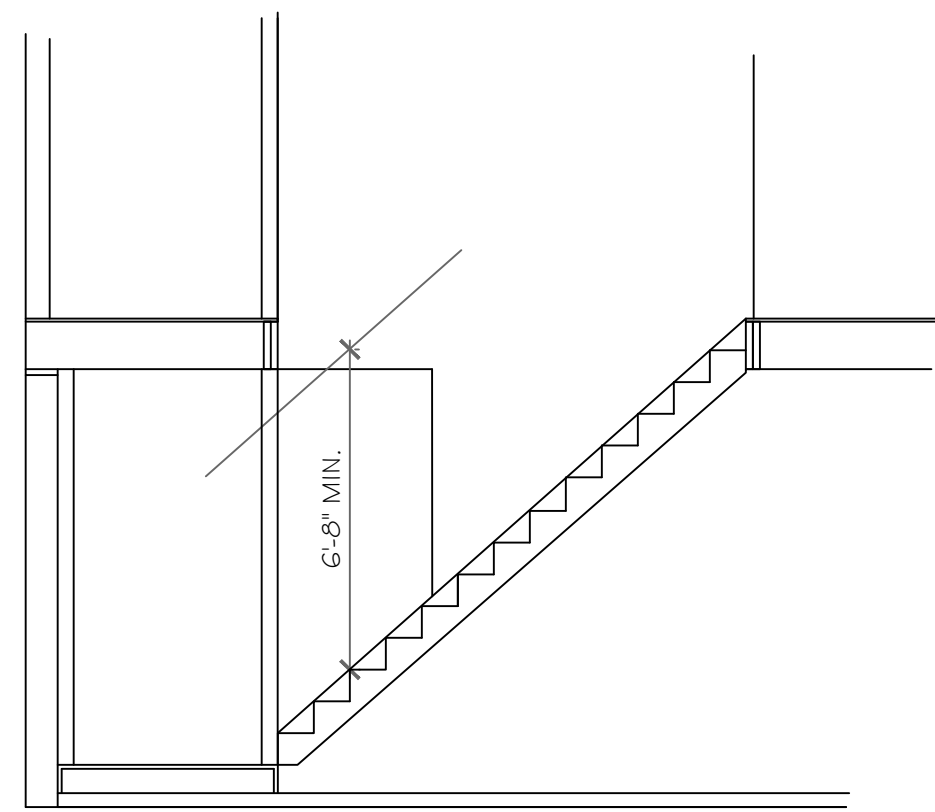
NO.	DATE	DESCRIPTION

PROJECT: Lot 39C Wilshire Hill, Pittsford, N.Y.
CLIENT: Prnde Mark Homes, Inc.
DRAWING TITLE: Basement & Foundation Plan
PHASE: Construction Documents
DATE: August 12, 2022
JOB NO.: A22-034

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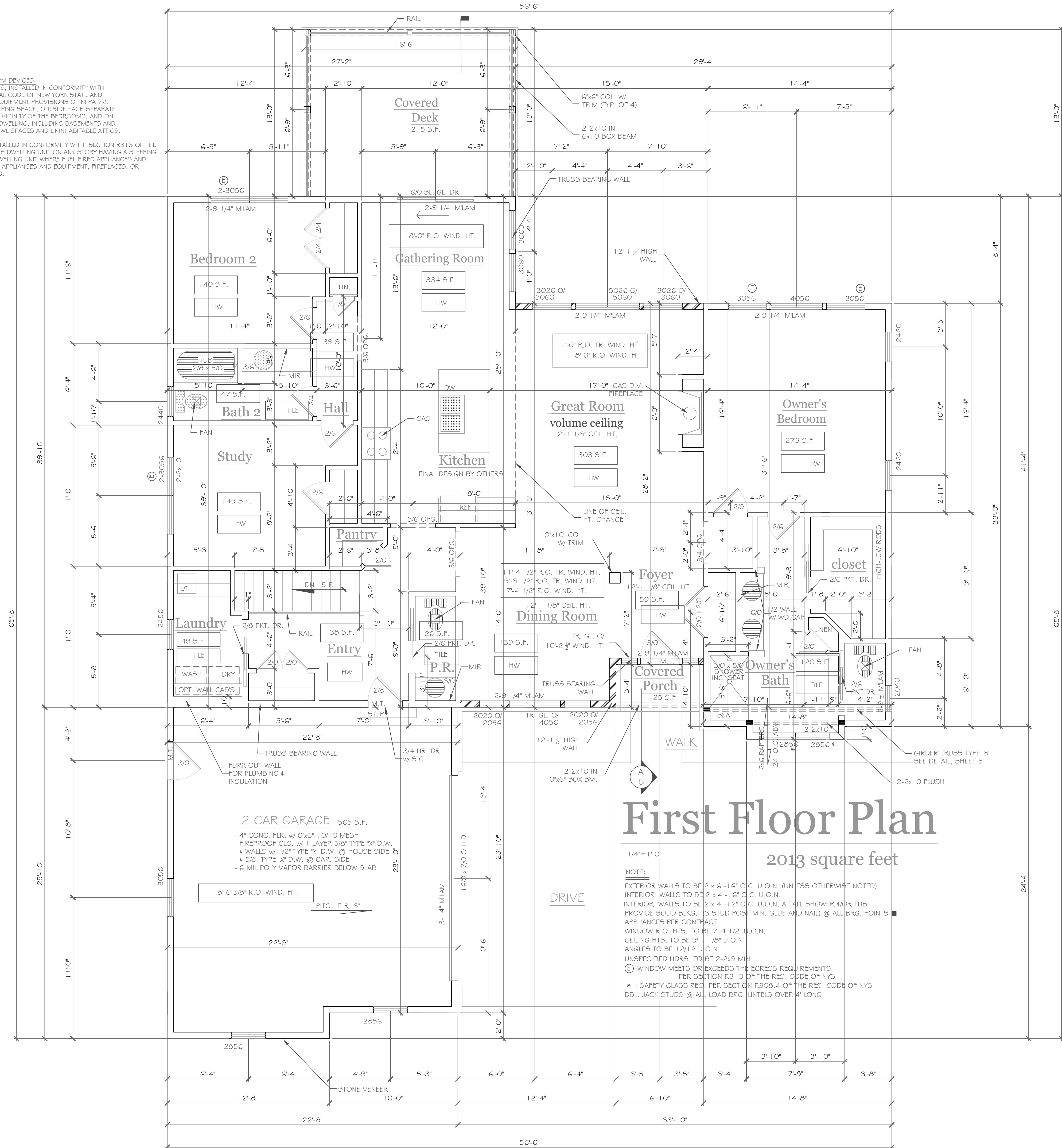
DRAWING NO.:
A-2



STAIR DIAGRAM
1/4" = 1'-0"

NOTES: SMOKE DETECTION & ALARM DEVICES:
SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.



First Floor Plan

2013 square feet

NOTE:
EXTERIOR WALLS TO BE 2 x 6 - 16" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
INTERIOR WALLS TO BE 2 x 4 - 16" O.C. U.O.N.
INTERIOR WALLS TO BE 2 x 4 - 12" O.C. U.O.N. AT ALL SHOWER & OR TUB
PROVIDE SOLID BLKG. (3 STUD POS. MIN. GLUE AND NAIL) @ ALL BRG. POINTS
APPLIANCES PER CONTRACT
WINDOW R.O. HTS. TO BE 7'-4 1/2" U.O.N.
CEILING HTS. TO BE 9'-1 1/8" U.O.N.
ANGLES TO BE 1/2 1/2 U.O.N.
UNSPECIFIED HDRS. TO BE 2-2x8 MIN.
Ⓢ WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS
PER SECTION R310 OF THE RES. CODE OF NYS
* : SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
DBL. JACK STUDS @ ALL LOAD BRG. LINTELS OVER 4' LONG

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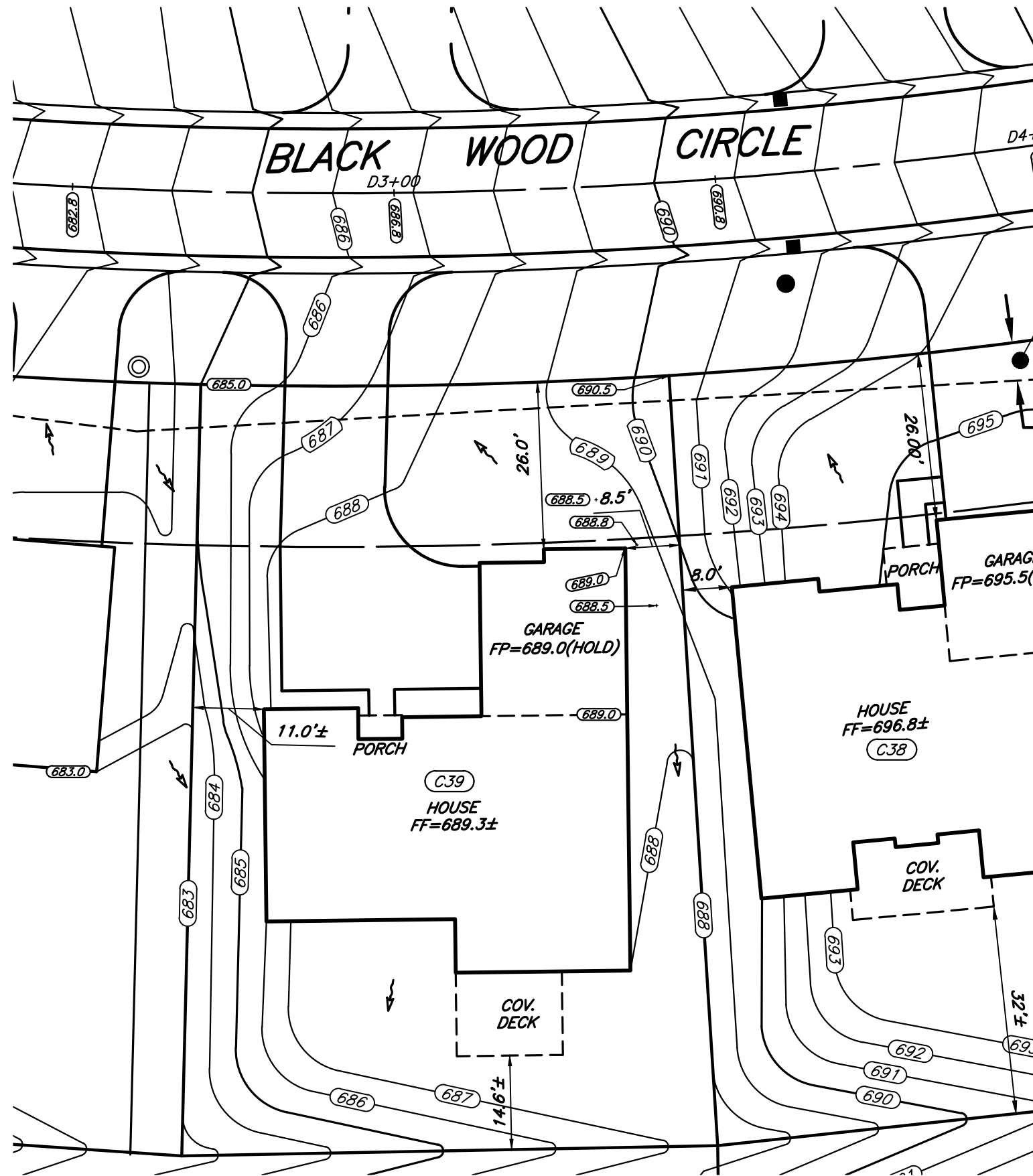
REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE-	First Floor Plan
PROJECT-	Lot 39C Wilshire Hill, Pittsford, N.Y.
CLIENT-	Pride Mark Homes
PHASE-	Construction Documents
DATE-	August 12, 2022
JOB NO. -	A22-034

PROJECT-	Lot 39C Wilshire Hill, Pittsford, N.Y.
CLIENT-	Pride Mark Homes
PHASE-	Construction Documents
DATE-	August 12, 2022
JOB NO. -	A22-034

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File: Z:\Engineering\Job Files\0423-12\Drawings\Section 3\Plot Plans\Lot C39\LOT C39.dwg, Plot Date: 8/2/2022, By: RTI/DE



SANITARY SEWER
EASEMENT TO THE
TOWN OF PITTSFORD

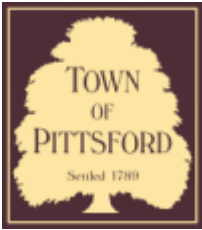


JOB NO: 0423-17
 SCALE: 1" = 20'
 DRAWN: RJT
 DESIGNED: RJT
 DATE: 8/2/22

SETBACK	REQUIRED	PROVIDED
FRONT	25'	26.0'
SIDE	7.5'	8.5'
REAR	10'	14.6' ±

TITLE: **PLOT PLAN - LOT C39**
WILSHIRE HILL - SECTION 3

TOWN OF PITTSFORD MONROE COUNTY NEW YORK



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000138

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3 Stable View PITTSFORD, NY 14534

Tax ID Number: 192.01-3-31

Zoning District: RN Residential Neighborhood

Owner: Masi Enterprises Inc.

Applicant: Masi Enterprises Inc.

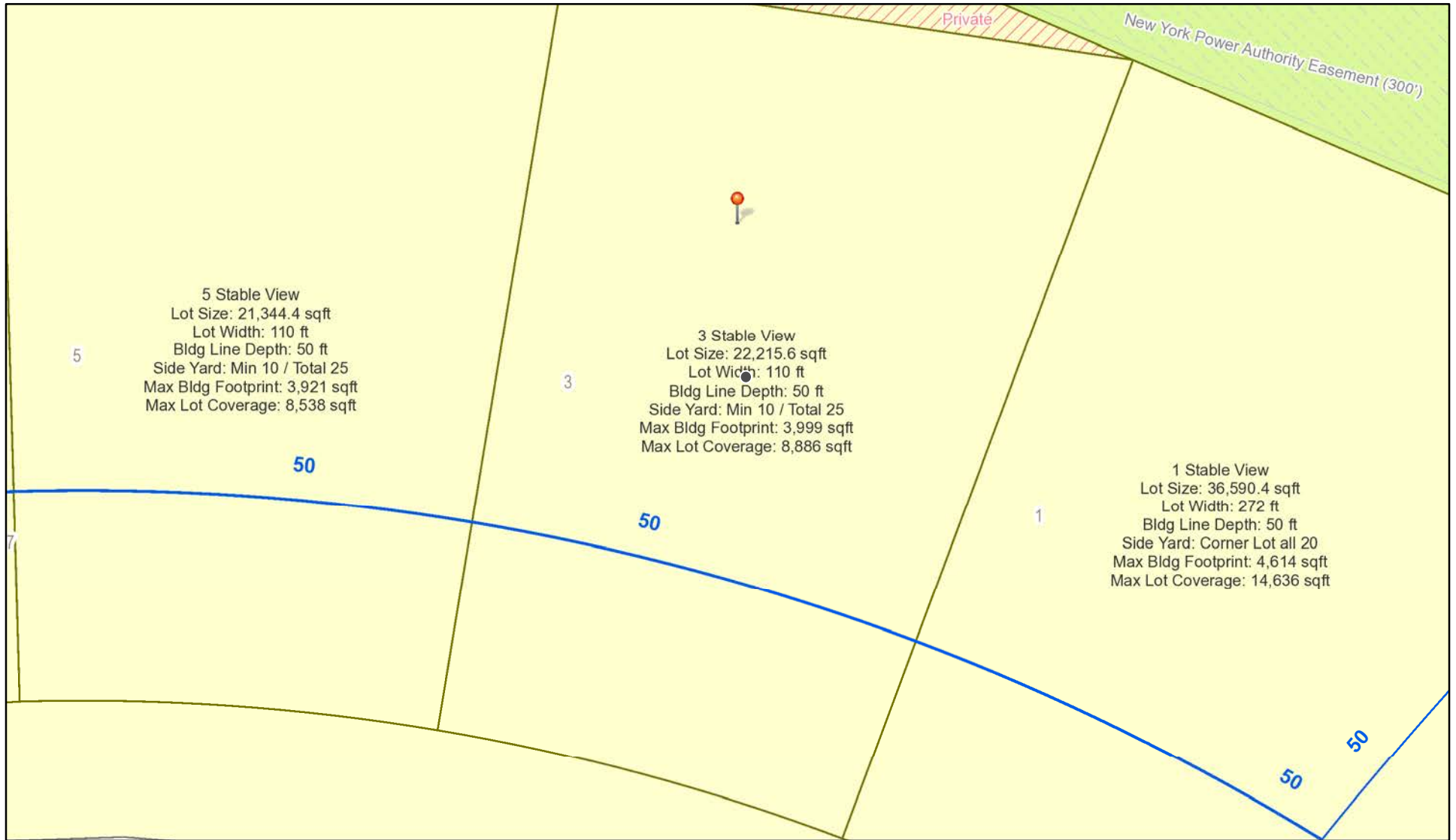
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

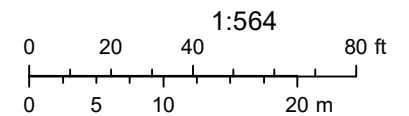
Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 3256 square feet.

Meeting Date: September 22, 2022

RN Residential Neighborhood Zoning



Printed September 15, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Stable Vw

Nature Vw

Nature Vw

04/03/2021

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BAJWA RESIDENCE

LOT 31 COUNTRY POINTE
PITTSFORD, NY
MASCOT, INC.

PLAN 2562 / PROJECT 15307 D

SHEET INDEX

- C-1 COVER SHEET
- 1/5 ELEVATIONS
- 2/5 FOUNDATION PLAN
- 3/5 FIRST FLOOR PLAN
- 4/5 SECOND FLOOR & ROOF PLAN
- 5/5 SECTIONS
- N-1 DETAILS
- N-2 REINFORCING NOTES

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNY S).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{30}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE. EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G242.0.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GAUGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1 BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION, WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ACC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH $w.g.$ (50 PASICALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:
1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 $c.f.m$ (0.944 l/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 $p.s.f.$ (75 Pa.). RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY). THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCRIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH $w.g.$ (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH $w.g.$ (25 Pa) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY). HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DUELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 (ECCC) MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT COMPLIES WITH THE REQUIREMENTS OF THE RCNYS OR MCONYS, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 (ECCC) WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY AFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS. CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT-FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RE-SAUING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQD. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

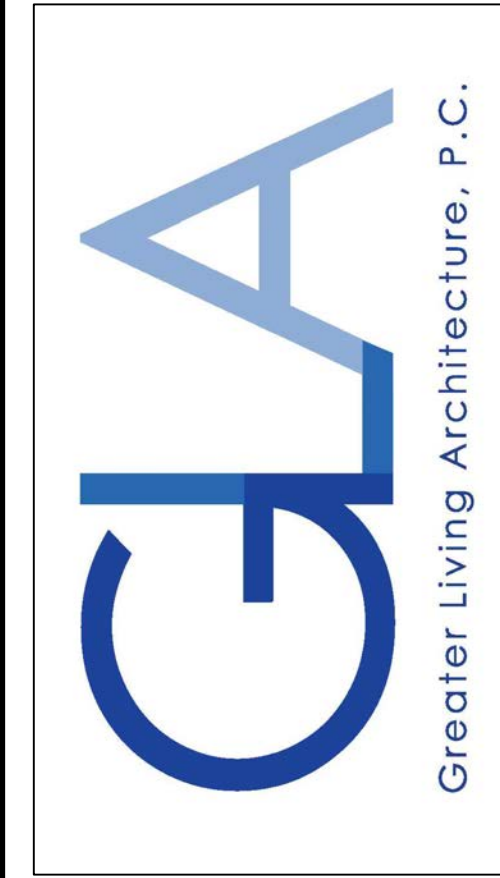
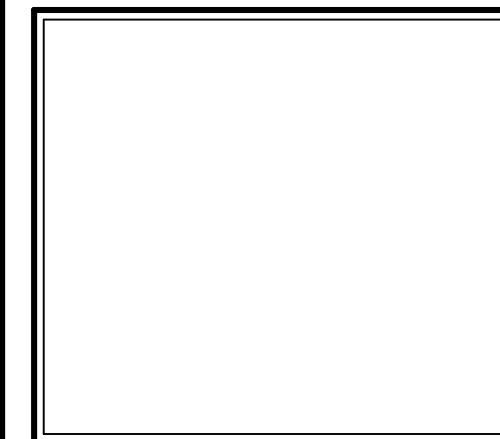
IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED, WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 5/8" TYPE X DRYWALL.

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COVER PAGE

GLA PLAN 2562

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STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STRUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10 ³ = 1.9 Fc' = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy = 33 KSI

DESIGN CRITERIA:

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOU LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.1.1, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

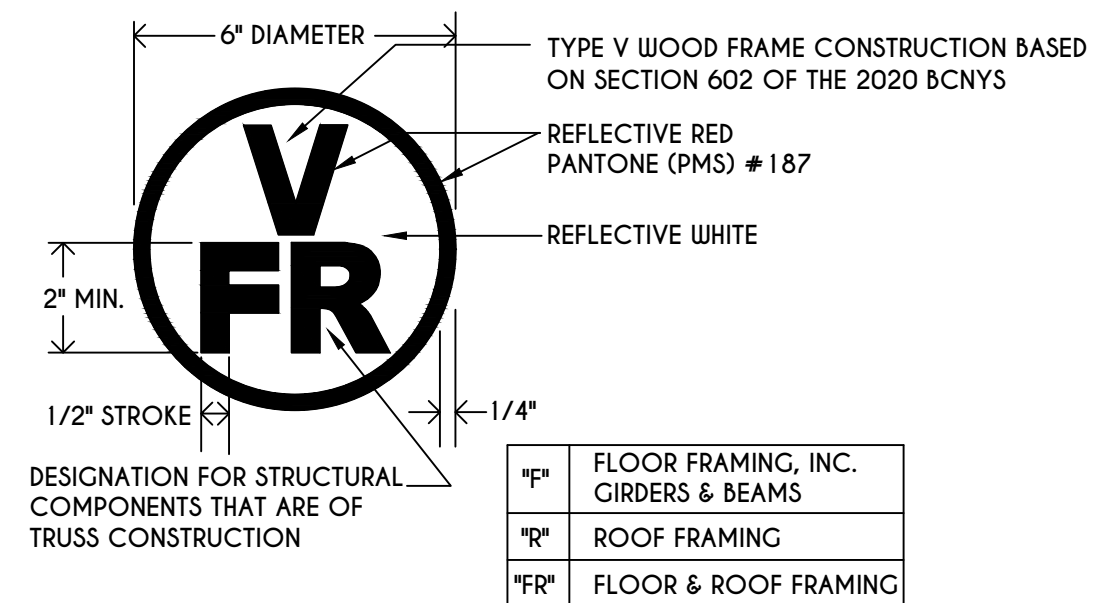


TABLE M 1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m², 1 cubic foot per min=0.0004719 m³/s

TABLE M 1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS^{a,b}

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

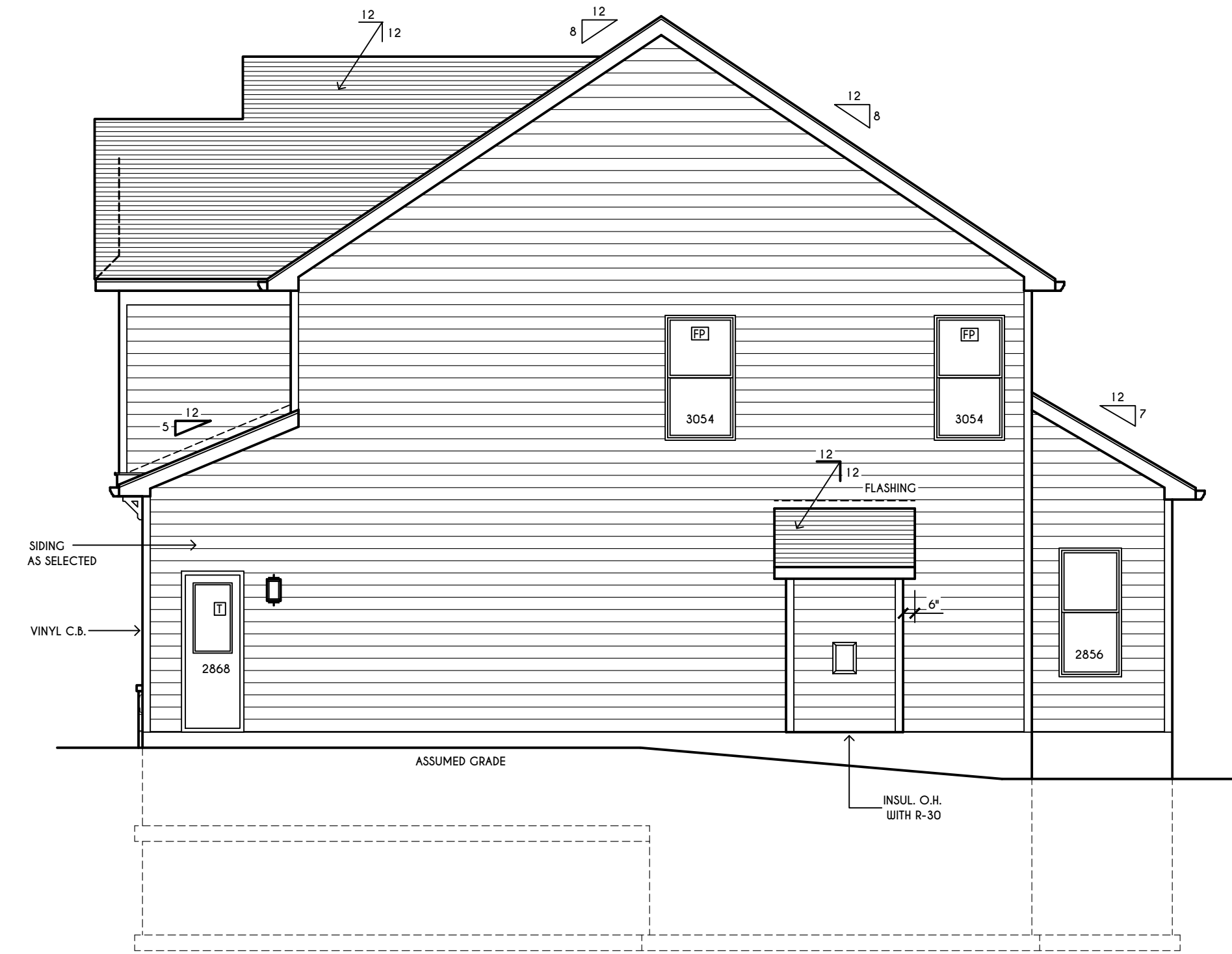
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

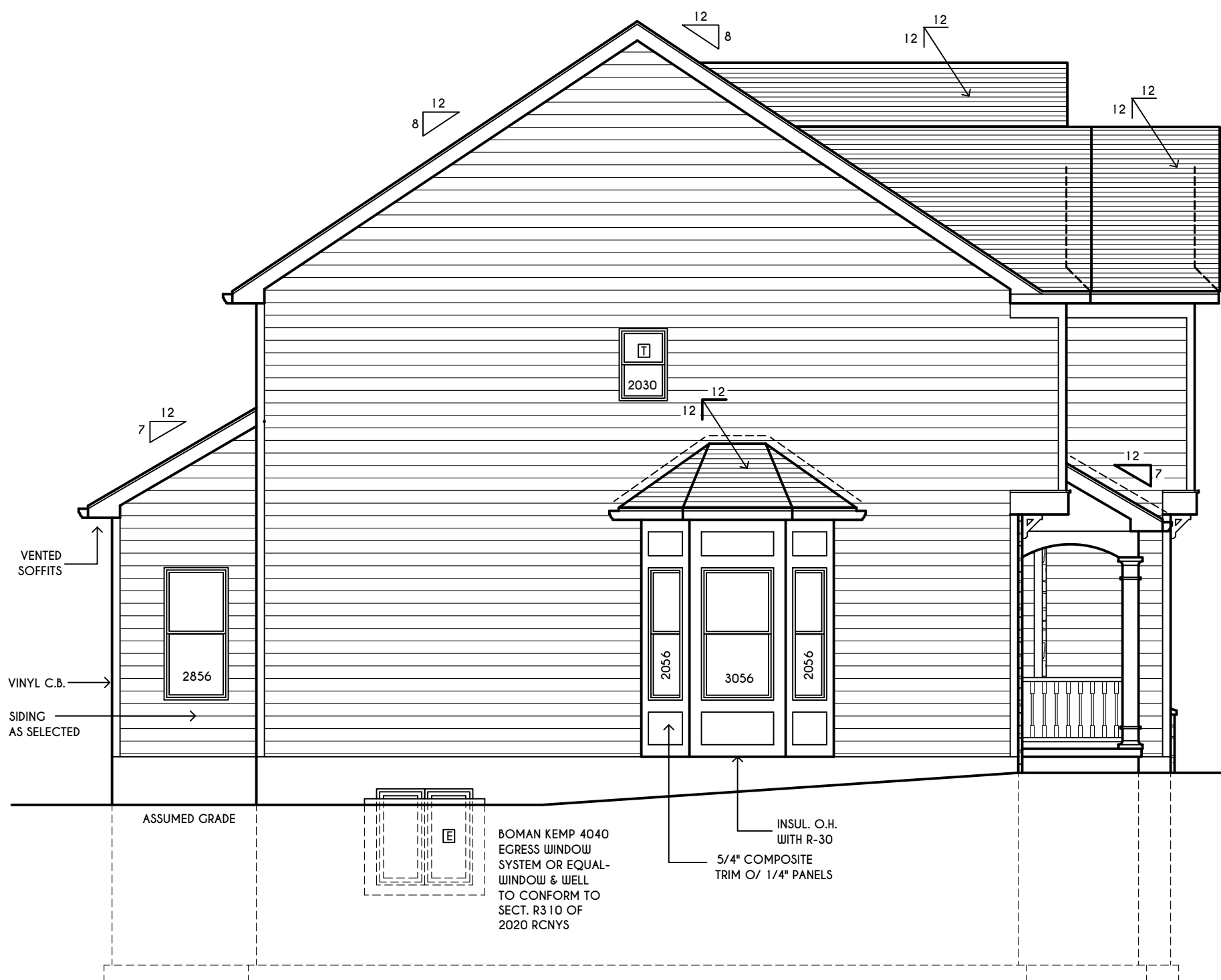
AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m³/s.



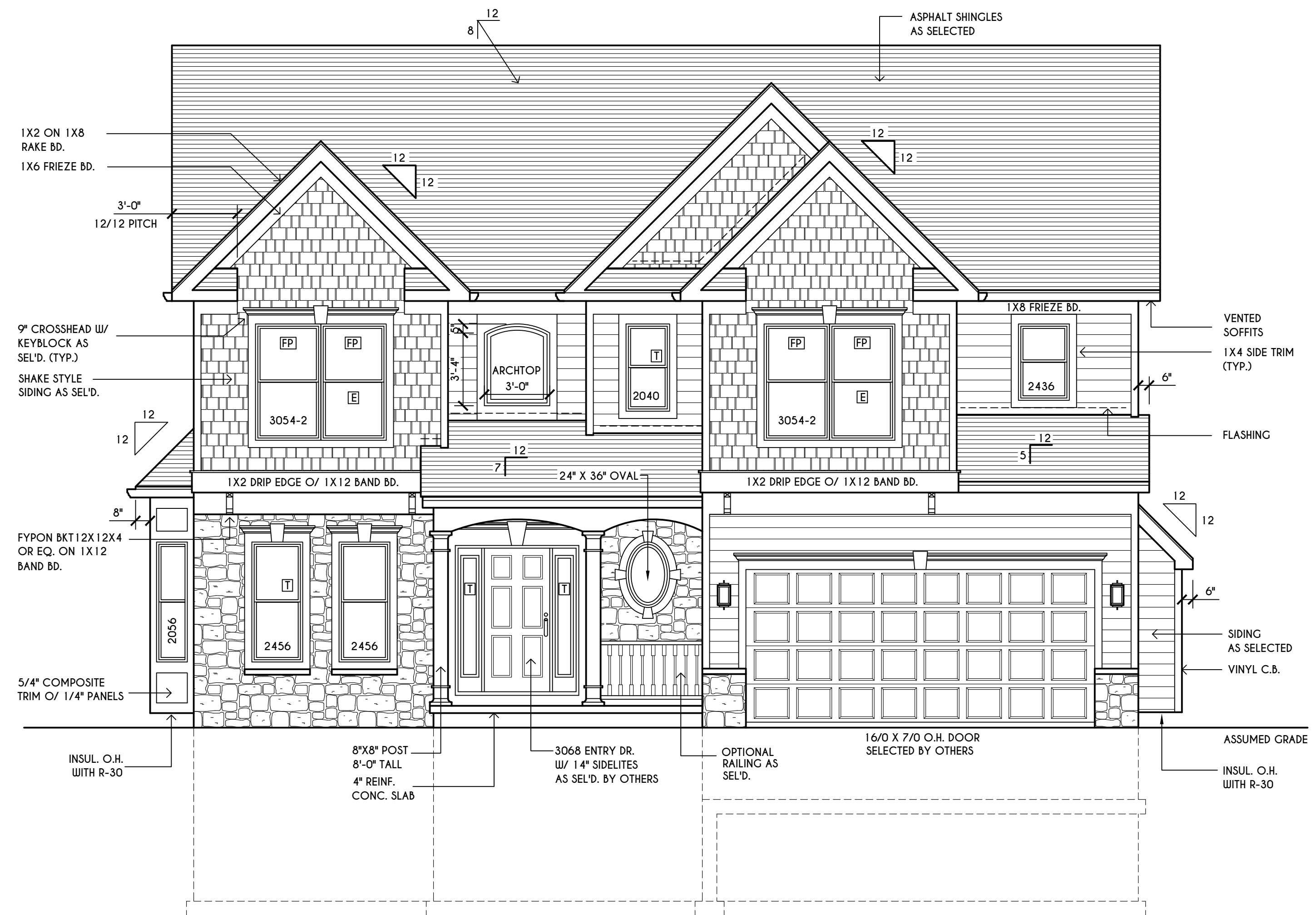
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

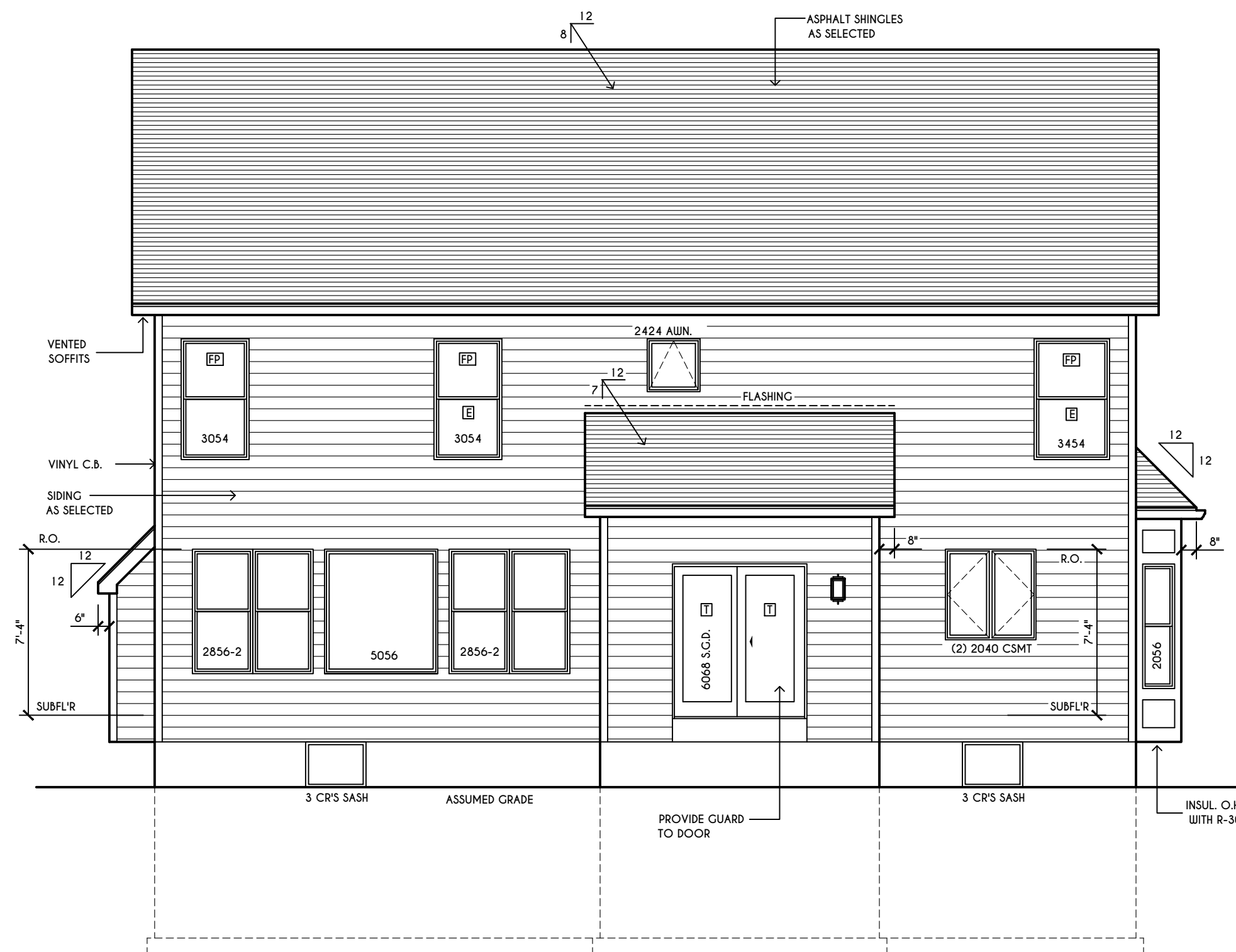
SCALE: 3/16" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1155 SQ.FT.
SECOND FLOOR LIVING AREA = 1407 SQ.FT.
TOTAL LIVING AREA = 2562 SQ.FT.
OPT. FINISHED BASEMENT AREA = 694 SQ.FT.
TOTAL CONDITIONED VOLUME = 32,405 CU.FT.



REAR ELEVATION

SCALE: 3/16" = 1'-0"

WINDOWS: U-FACTOR 0.30
SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf & SLIDING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCNYS

WINDOW / DOOR LEGEND:

- [E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24" PER SECT. R310.1 OF 2020 RCNYS
- [T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- [FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

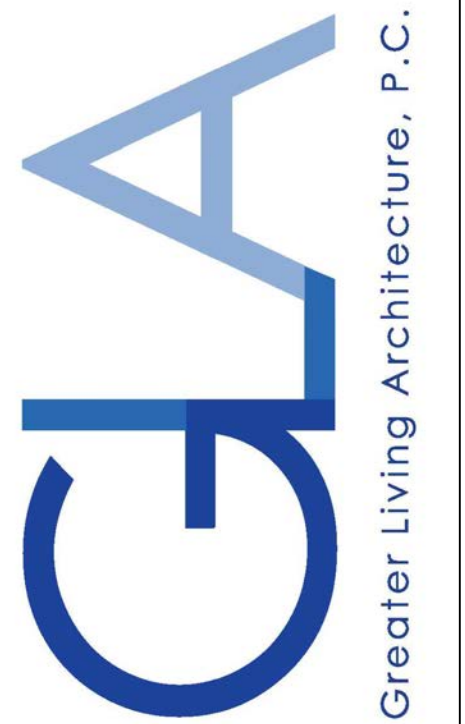
MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 60 cfm WITH A MANUAL OVERRIDE SWITCH AS PER SECTION M 1505.4.2 OF 2020 RCNYS SEE TABLES M 1505.4.3(1) & M 1505.4.3(2) & M 1505.4.4 (PAGE 1)

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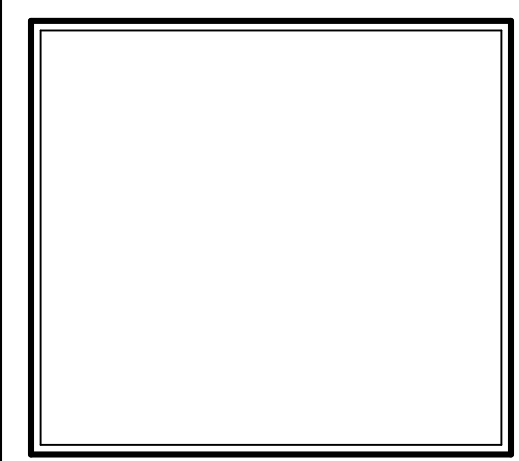
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ELEVATIONS

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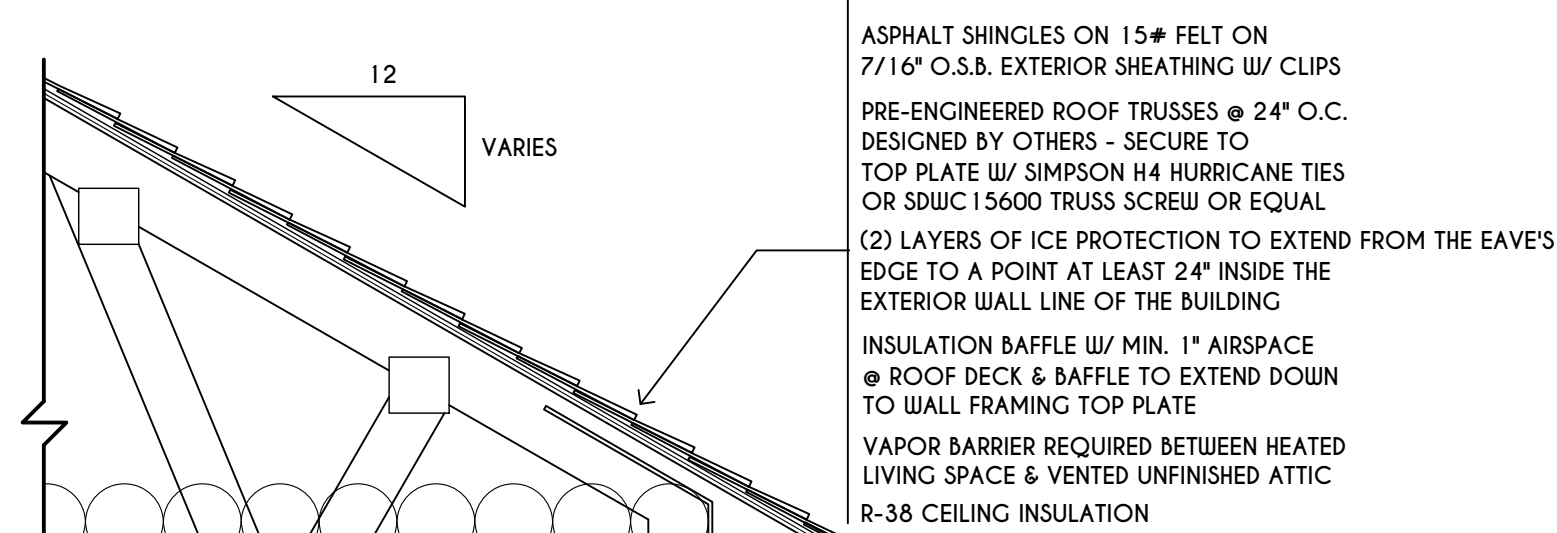
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FOUNDATION PLAN

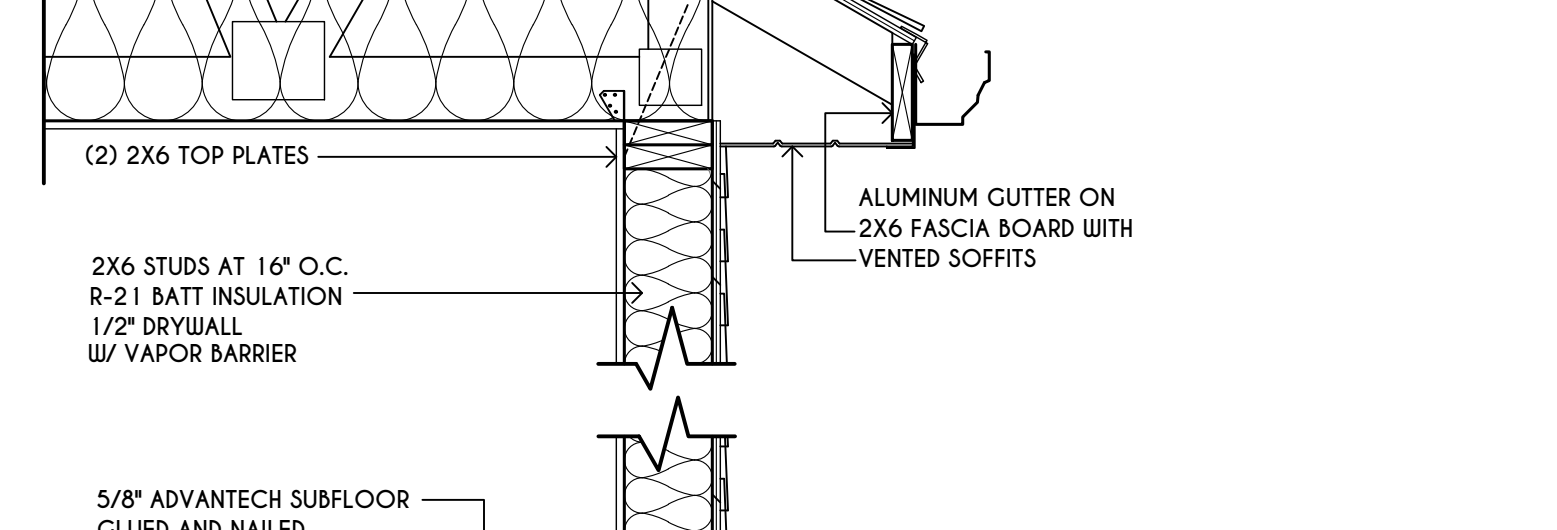
GLA PLAN 2562

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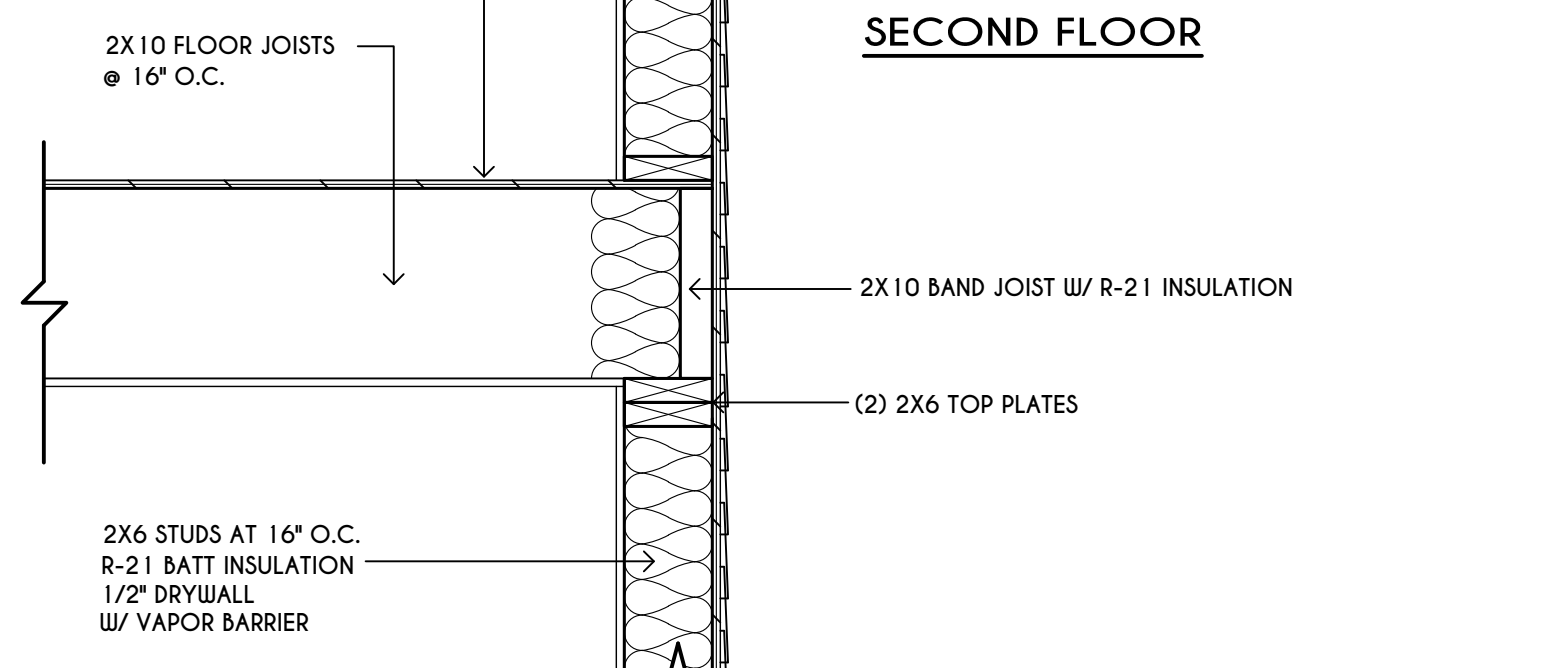
TRUSS EAVE CONSTRUCTION



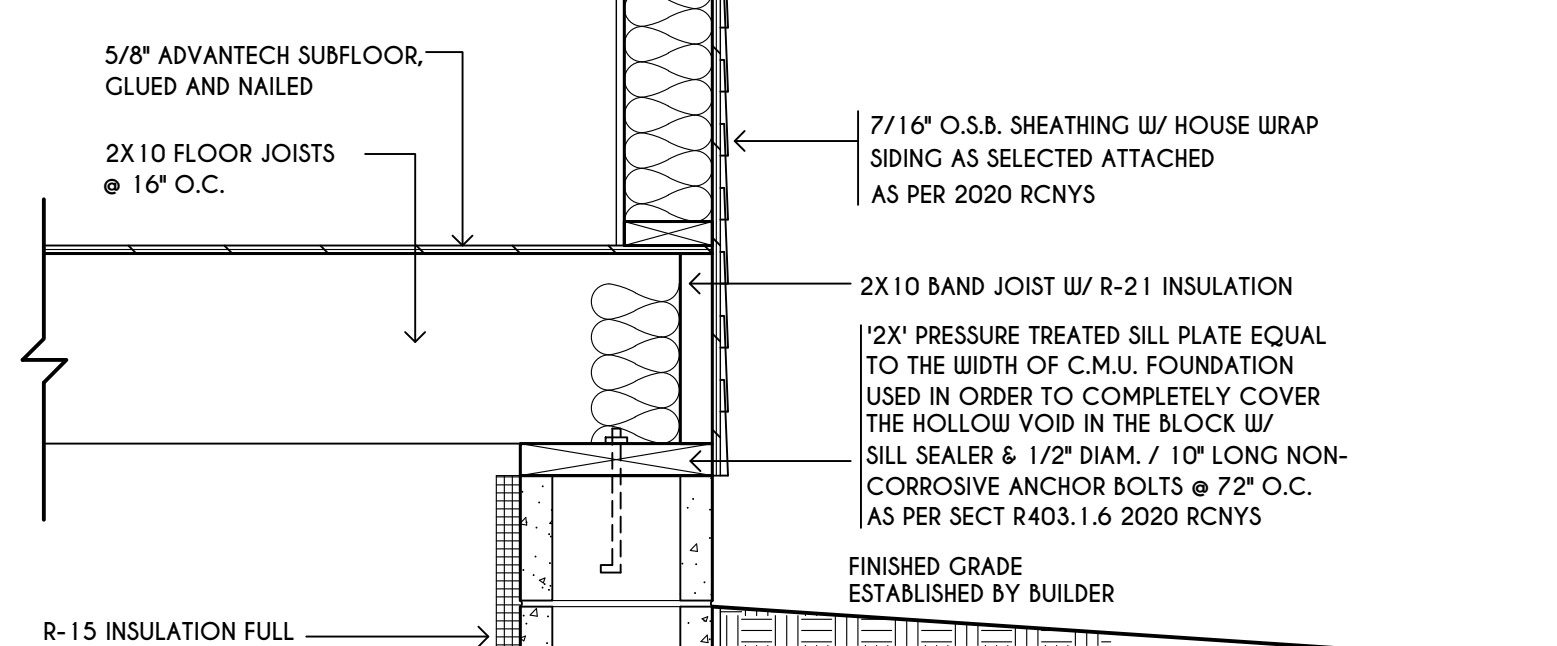
ASPHALT SHINGLES ON 15# FELT ON 7/16" O.S.B. EXTERIOR SHEATHING W/ CLIPS
 PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. DESIGNED BY OTHERS - SECURE TO TOP PLATE W/ SIMPSON H4 HURRICANE TIES OR SDJUC 15600 TRUSS SCREW OR EQUAL
 (2) LAYERS OF ICE PROTECTION TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING
 INSULATION BAFFLE W/ MIN. 1" AIRSPACE @ ROOF DECK & DAFFLE TO EXTEND DOWN TO WALL FRAMING TOP PLATE
 VAPOR BARRIER REQUIRED BETWEEN HEATED LIVING SPACE & VENTED UNFINISHED ATTIC
 R-38 CEILING INSULATION



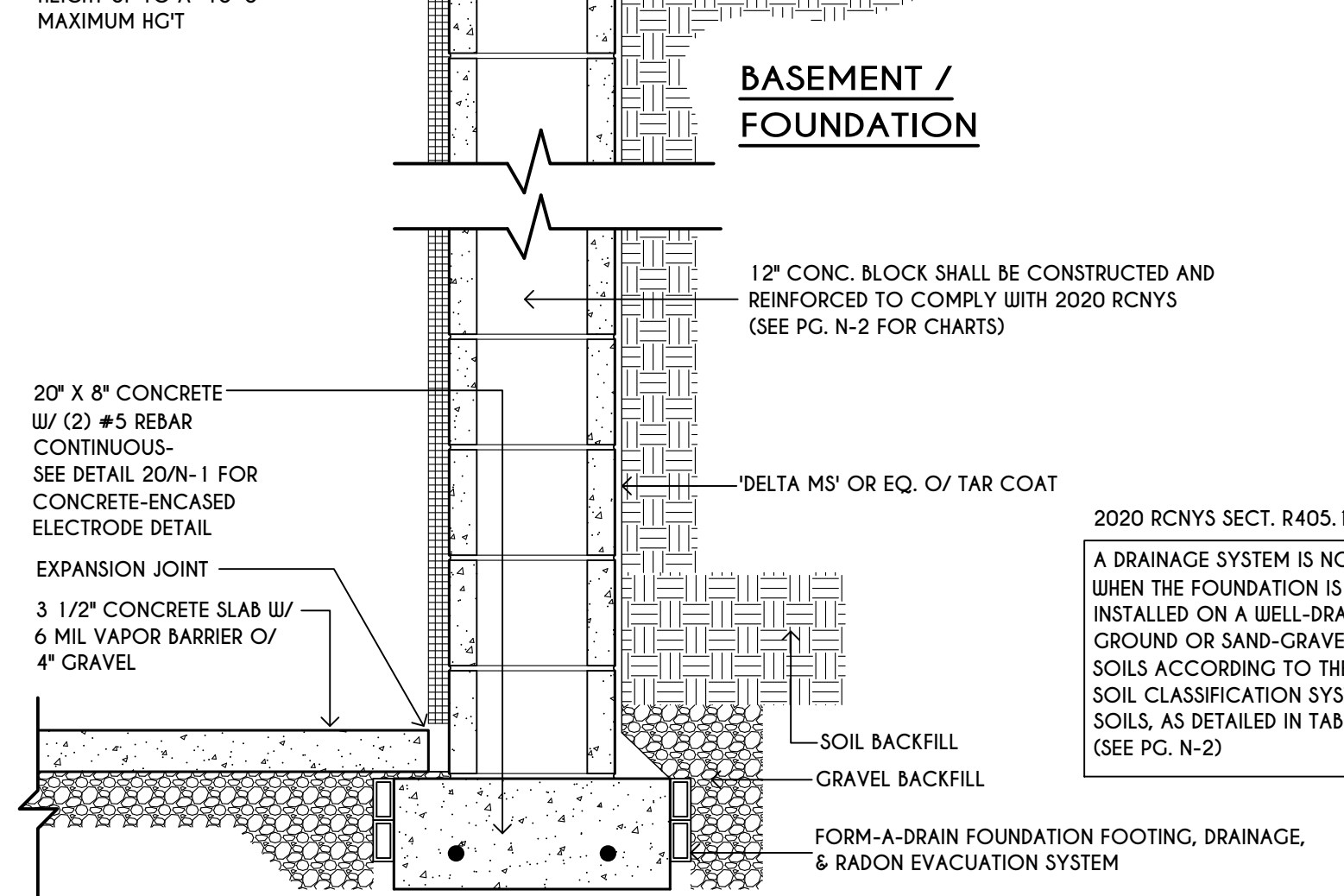
SECOND FLOOR



FIRST FLOOR



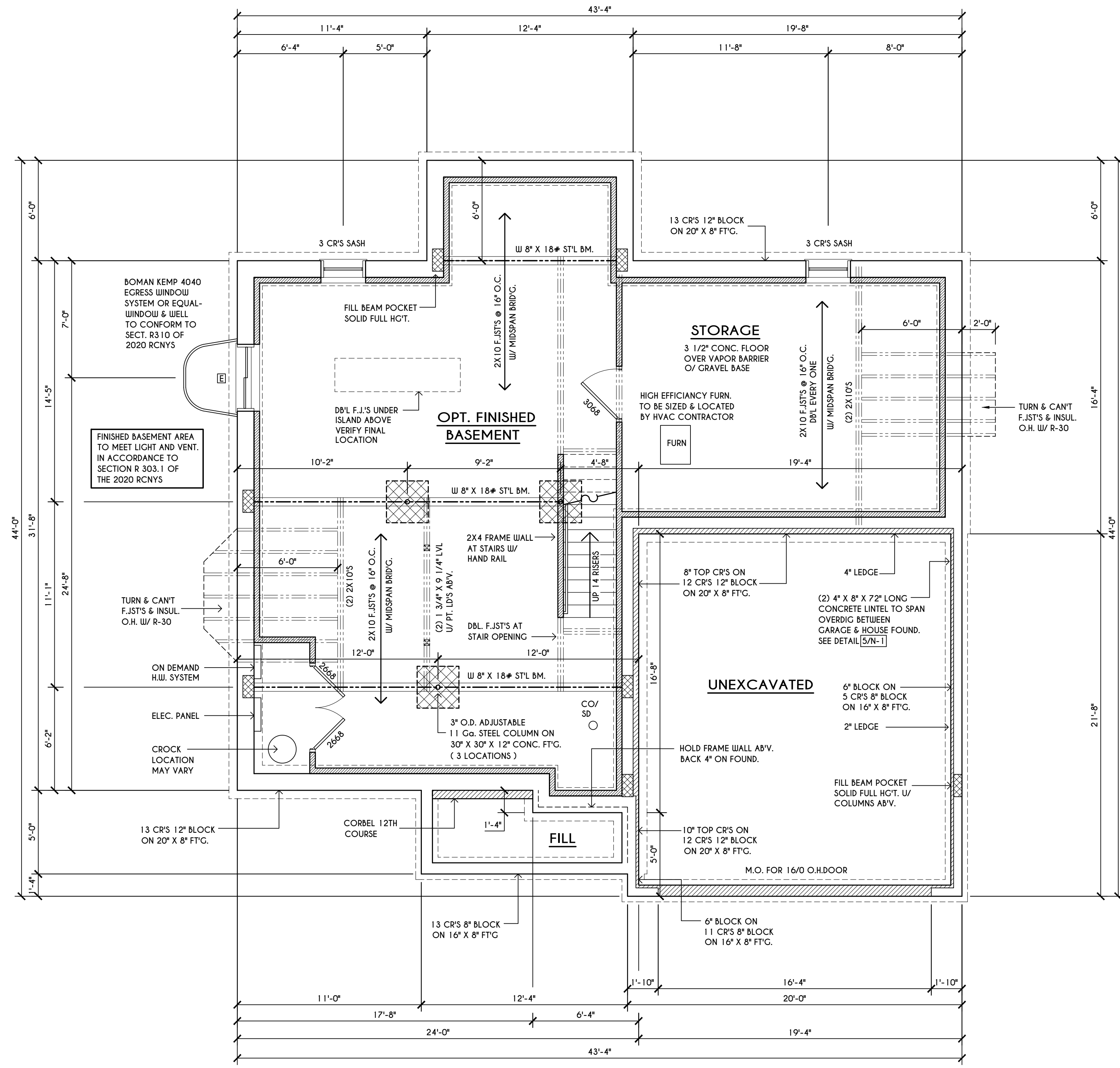
BASEMENT / FOUNDATION



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

2020 RCNYS SECT. R405.1, EXCEPTION
 A DRAINAGE SYSTEM IS NOT REQ'D. WHEN THE FOUNDATION IS INSTALLED ON A WELL-DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP 1 SOILS, AS DETAILED IN TABLE R405.1. (SEE PG. N-2)



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

OPT. FINISHED LIVING AREA = 694 SQ.FT.

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

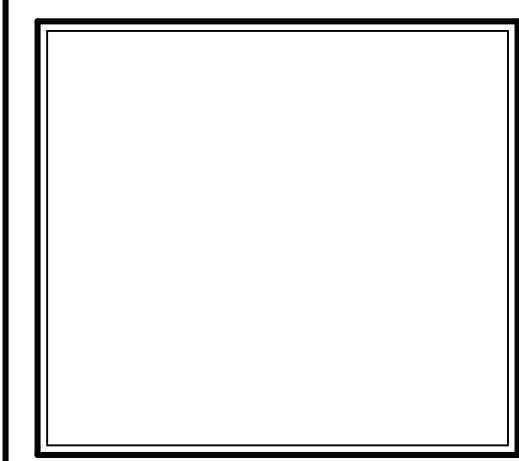
GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.
 WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS PROVIDE DBL. JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
 SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:

- MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 20"
 PER SECT. R310.2.1 OF 2020 RCNYS
- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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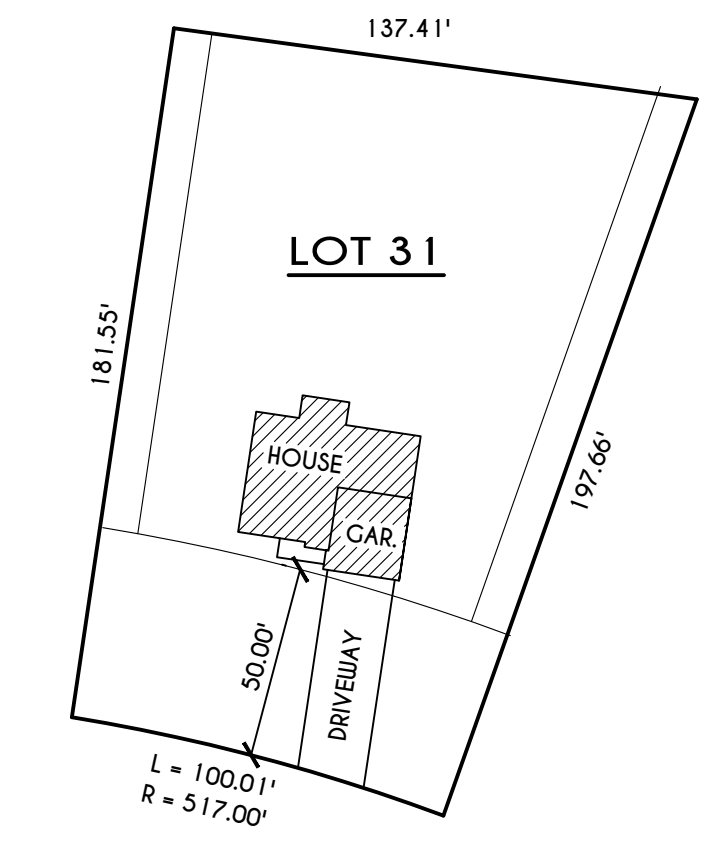
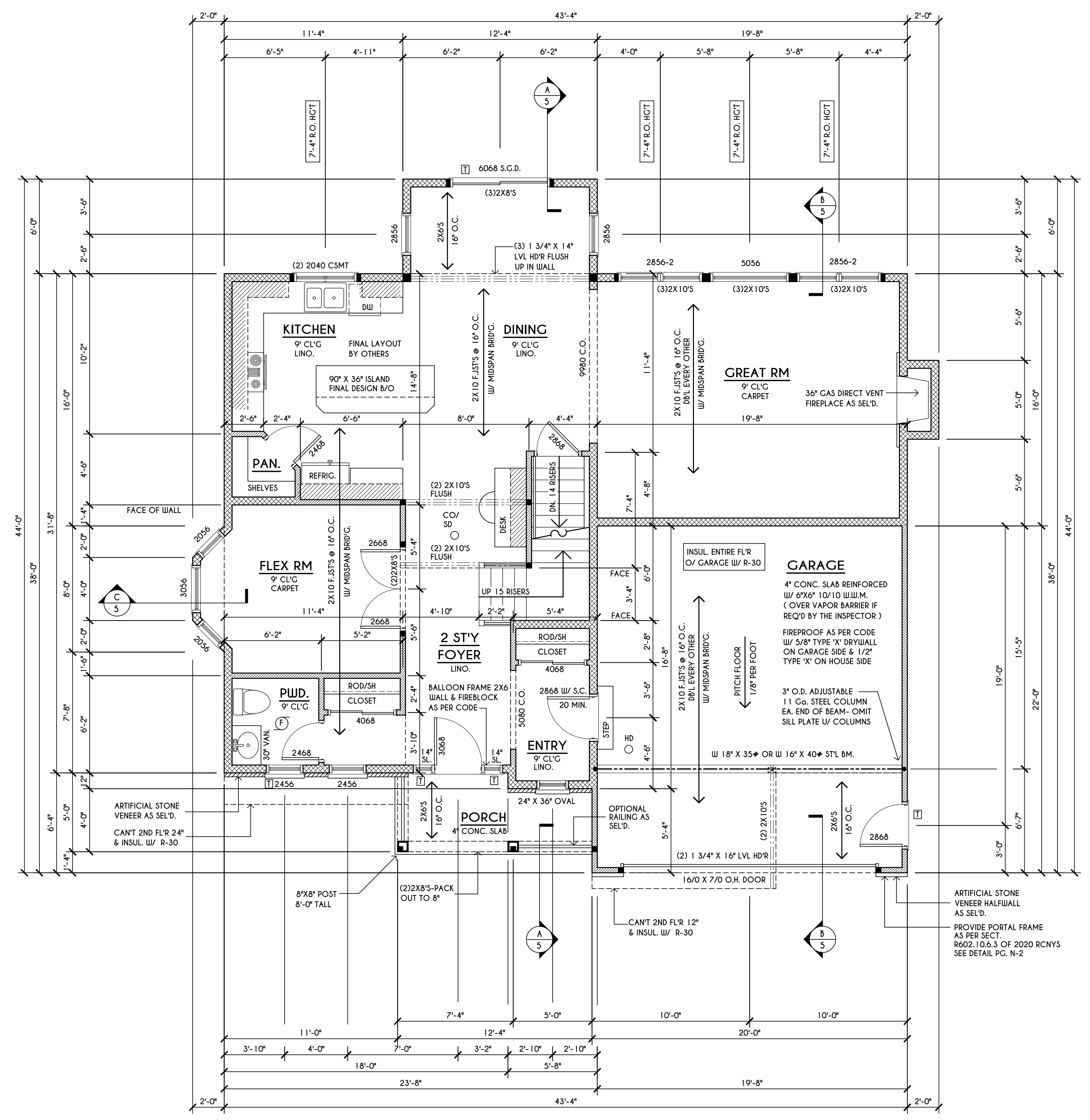
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FIRST FLOOR PLAN

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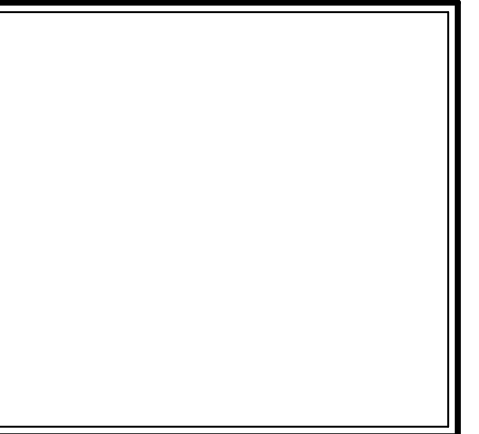
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PLOT PLAN
 SCALE: 1" = 50'
 LOT 31 COUNTRY POINT

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1155 SQ. FT.

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DATE	BY	DESCRIPTION

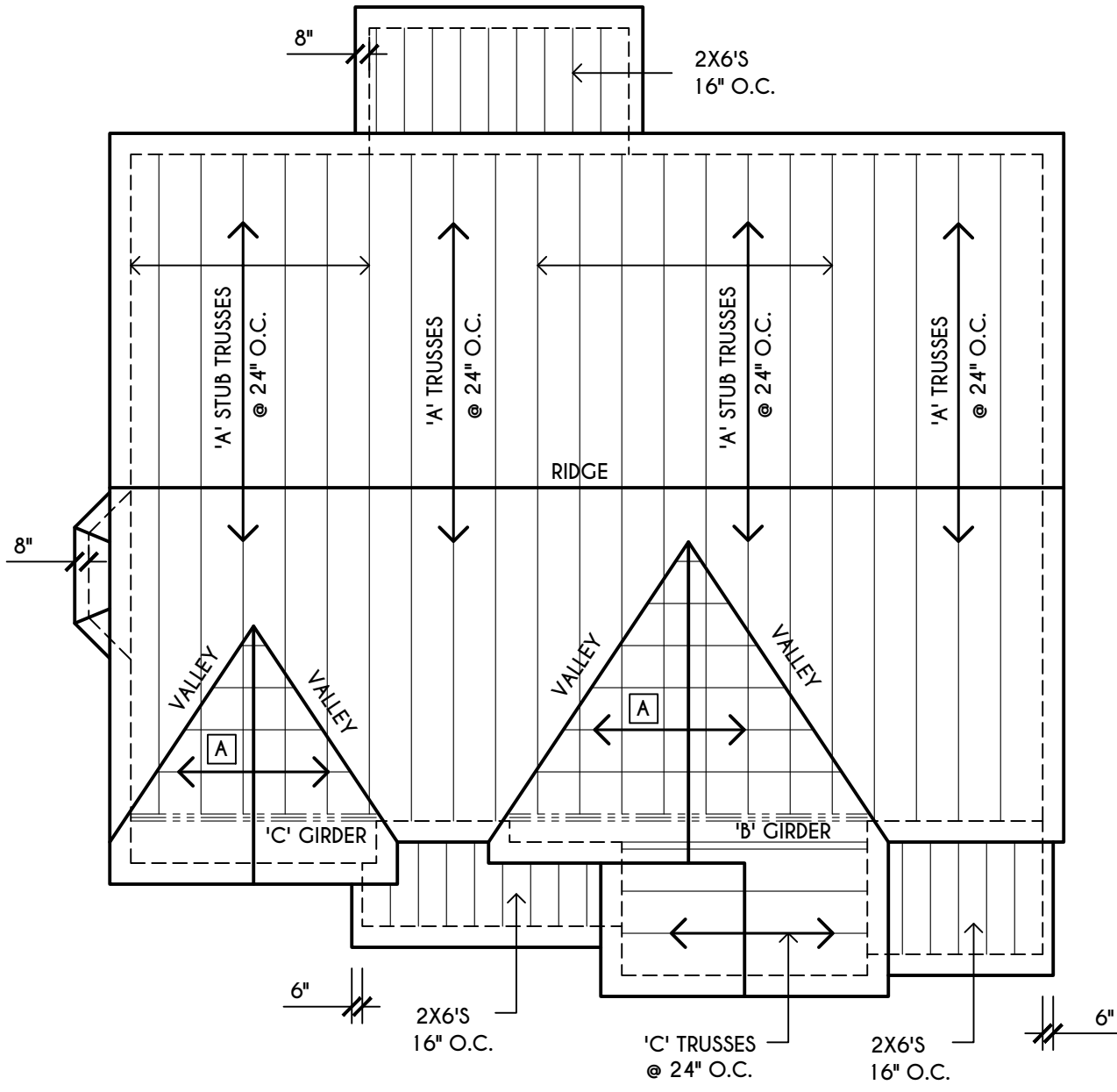
CLIENT/LOCATION:
 BAJWA RESIDENCE
 LOT 31 COUNTRY POINTE
 PITTSFORD, NY

BUILDER:
 MASCOT, INC.

SECOND FLOOR PLAN

GLA PLAN 2562

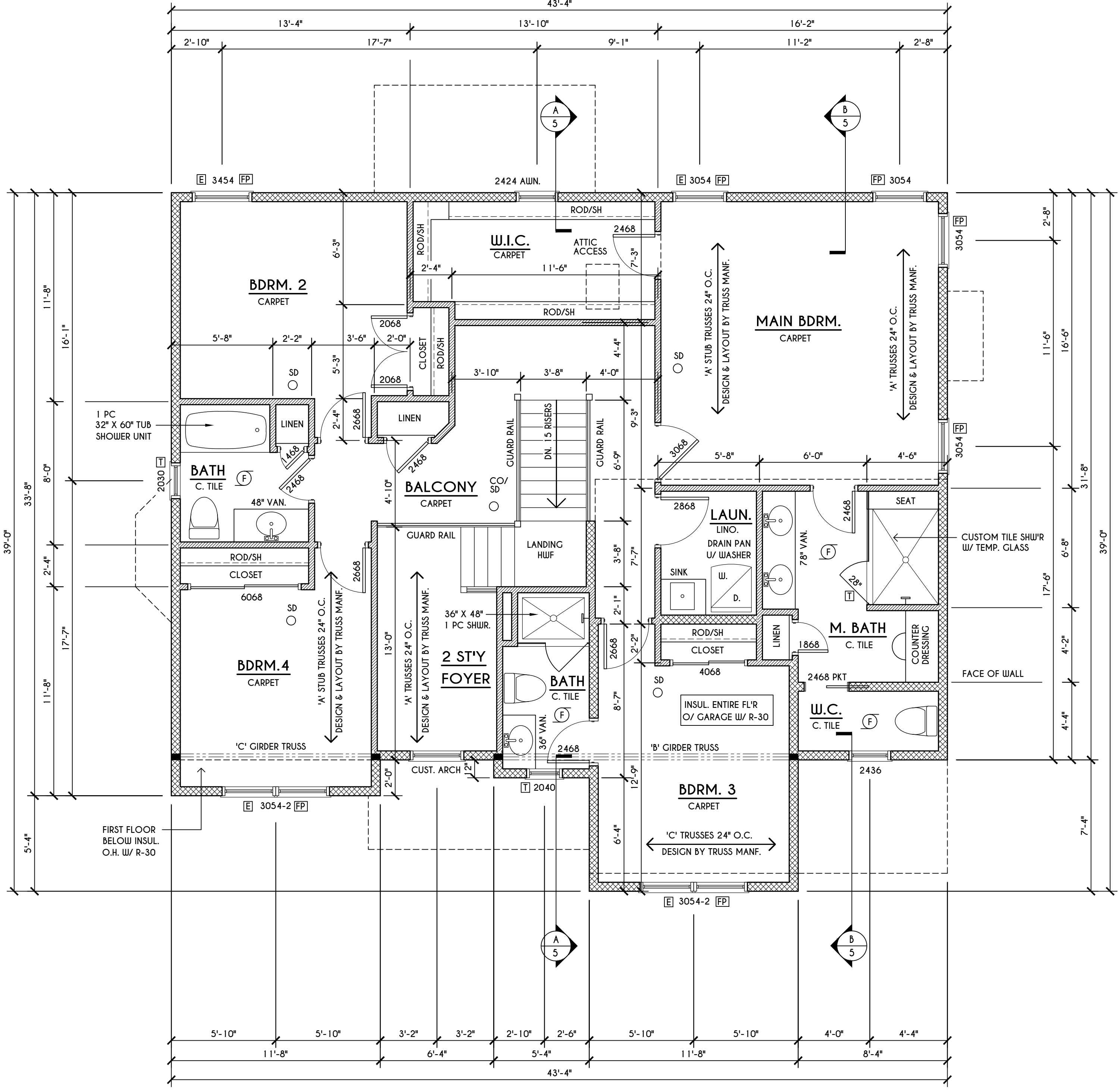
drawn: CDK	checked: CSB
scale: AS NOTED	date: 8 / 22
PROJECT: 15307D	sheet: 4 5



GENERAL ROOF NOTES:
 ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
 ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO RLYWOOD ROOF SHEATHING
 THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS
 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

ROOF PLAN

SCALE: 1/8" = 1'-0"
 [A] - 2X6 LAYOVER RAFTERS 24" O.C.



SECOND FLOOR PLAN

1407 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

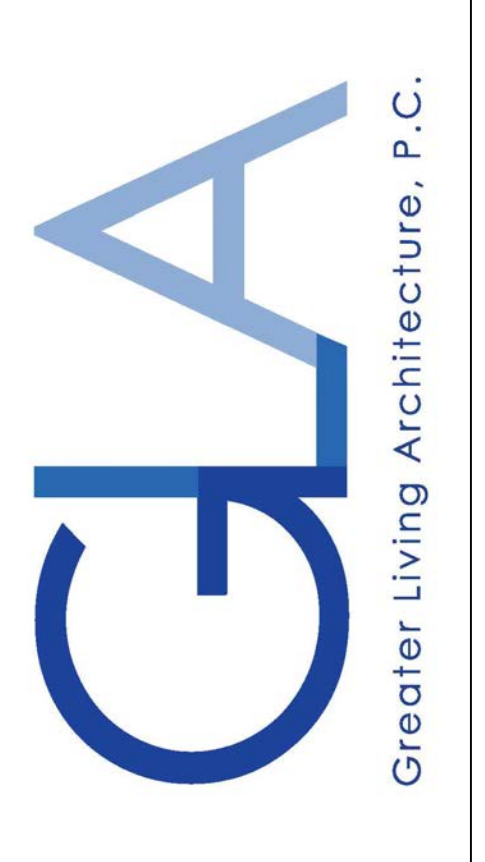
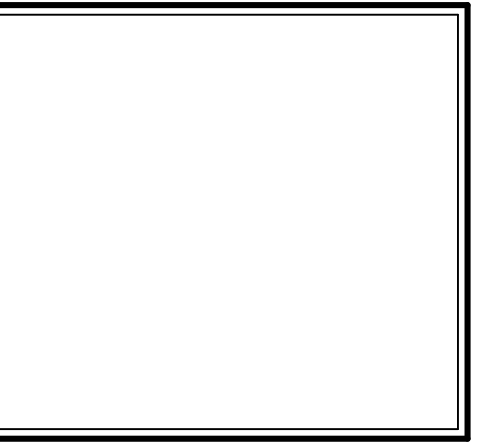
[Symbol]	- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
[Symbol]	- DROPPED HEADER
[Symbol]	- FLUSH HEADER
[Symbol]	- 2X4 STUDS @ 16" O.C.
[Symbol]	- 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:
 SECOND FLOOR PLATE NOT TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE)
 ALL WINDOW R.O. HGTS TO BE 6'-10 1/2" U.N.O.
 PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
 PROVIDE DBL JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS - / = 4'-0"
 ALL ANGLES TO BE 45 DEG. U.N.O.
 ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL & TO BE MIN. (2)2X8'S OR (3)2X6'S (U.N.O.)
 ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
 SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.3.3 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

[E]	- MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS
[T]	- SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS
[FP]	- SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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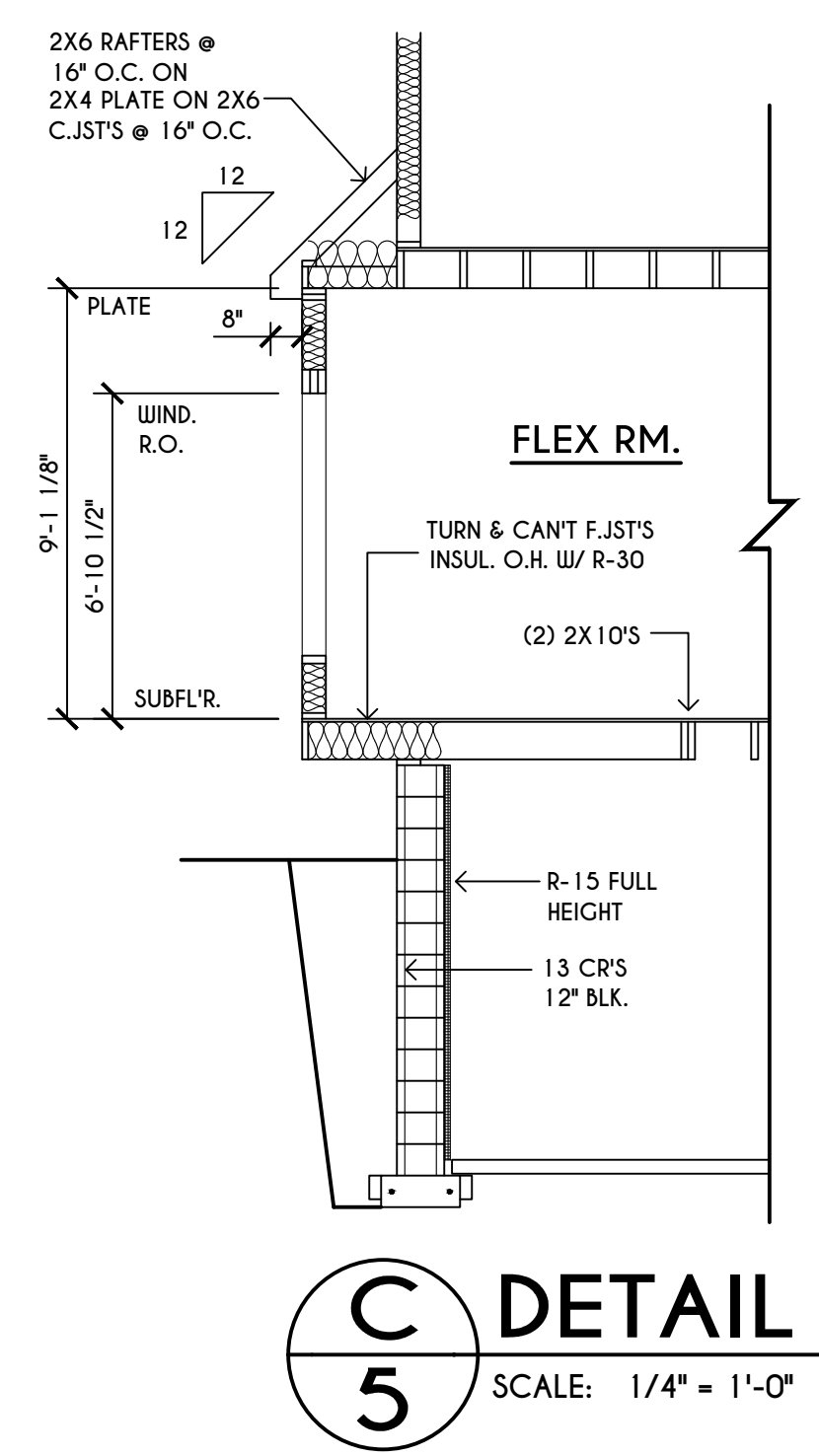
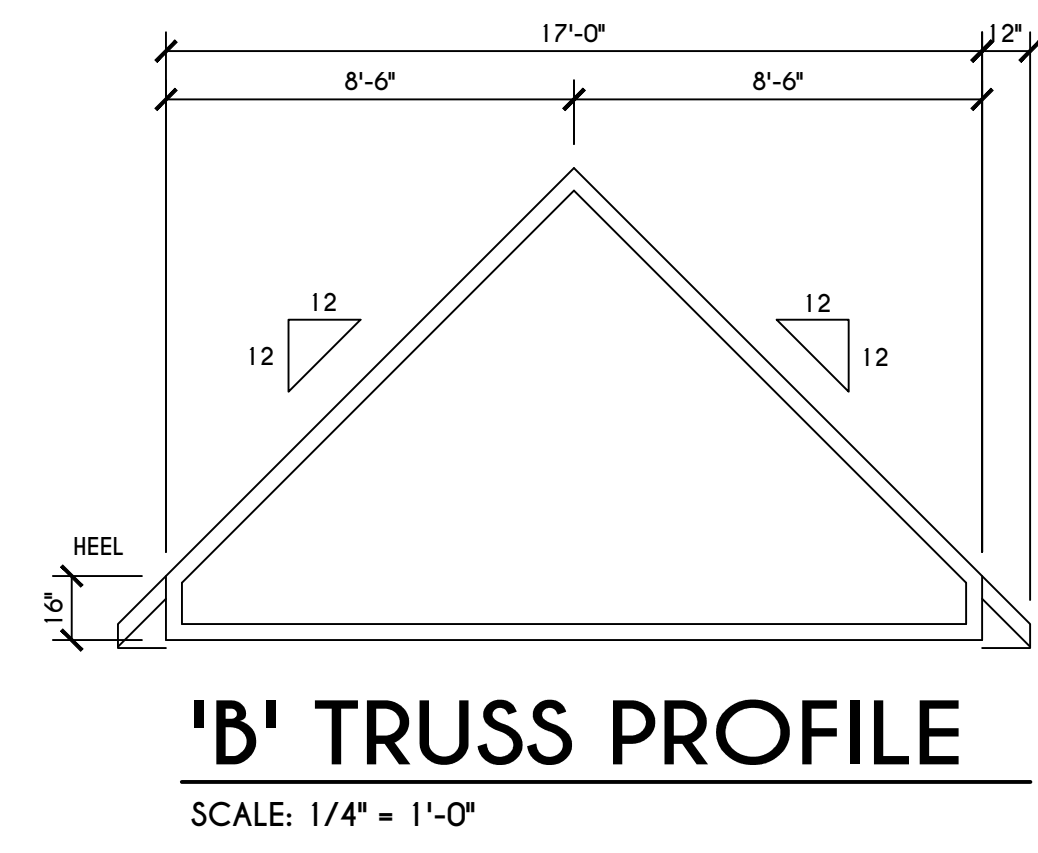
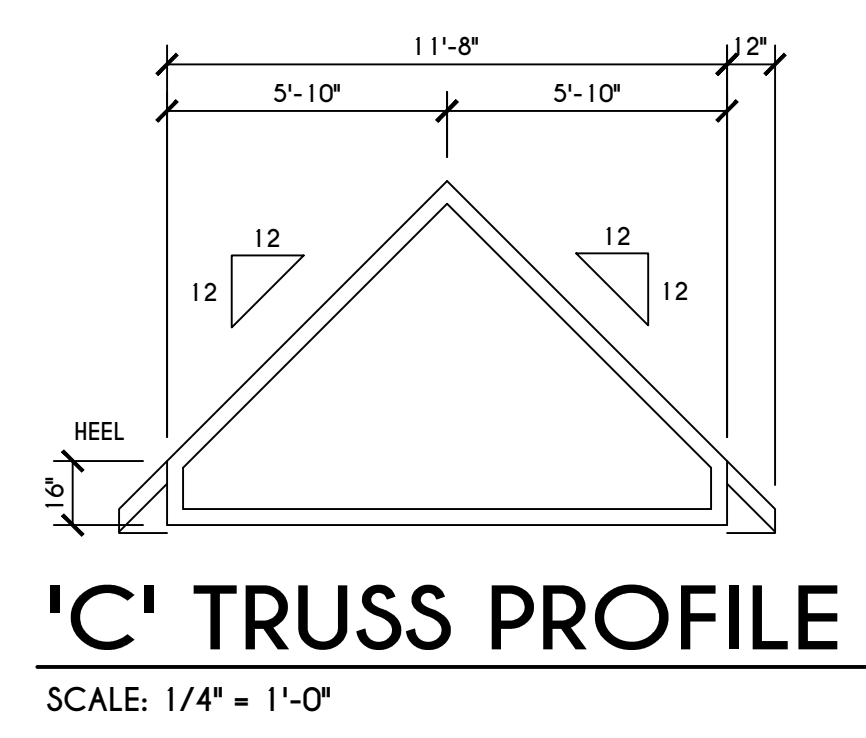
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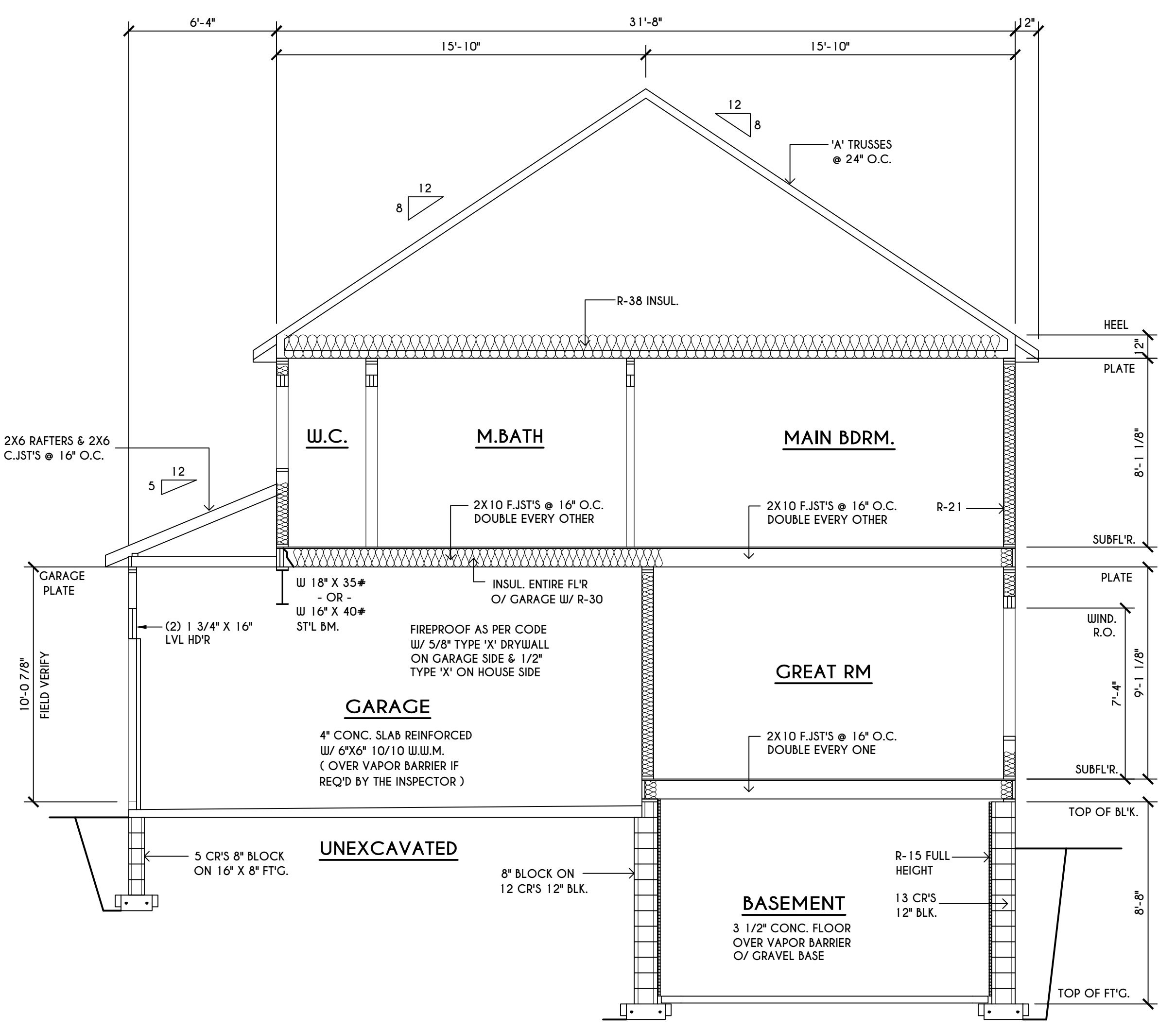
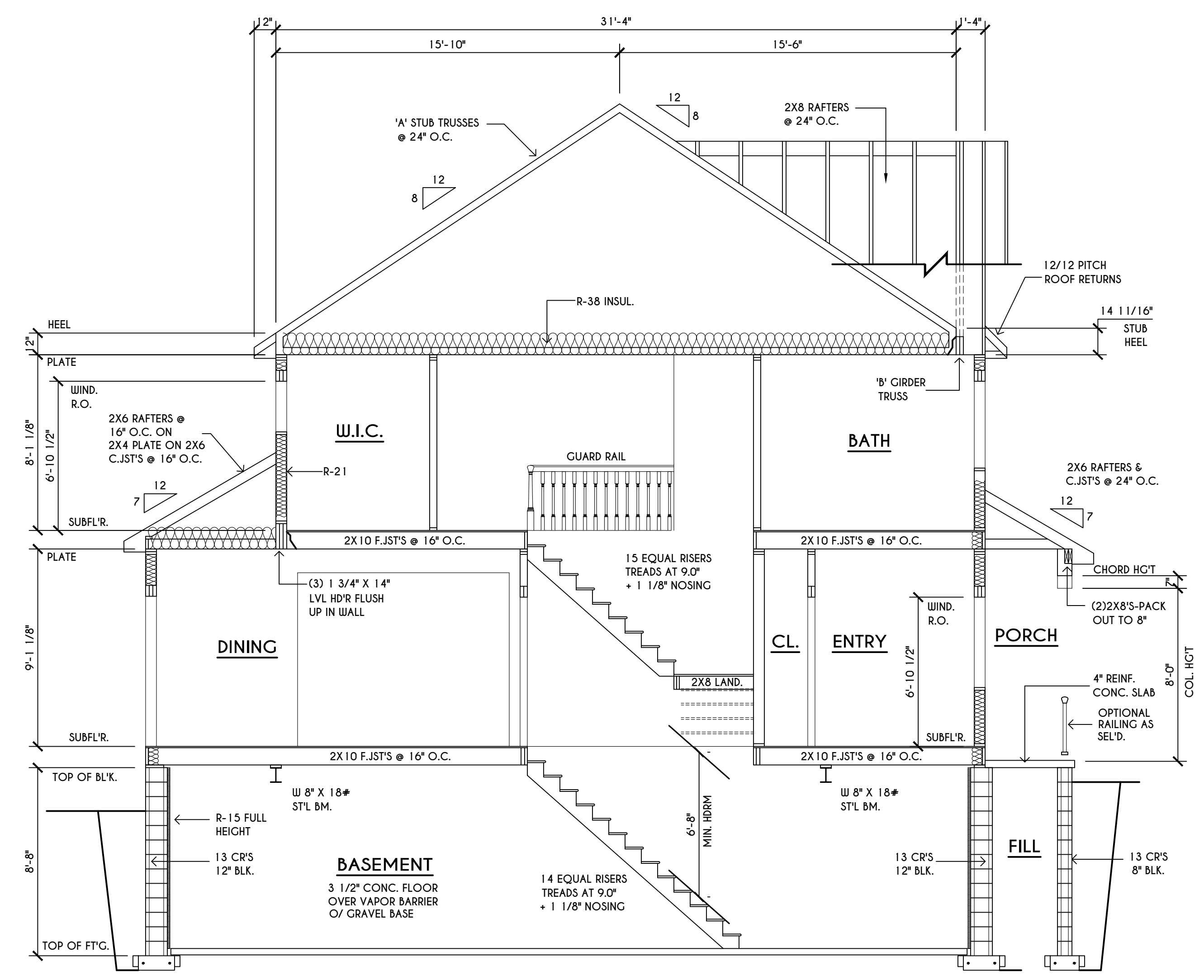
SECTIONS

GLA PLAN 2562

drawn: CDK	checked: CSB
scale: AS NOTED	date: 8 / 22
PROJECT: 15307D	sheet: 5

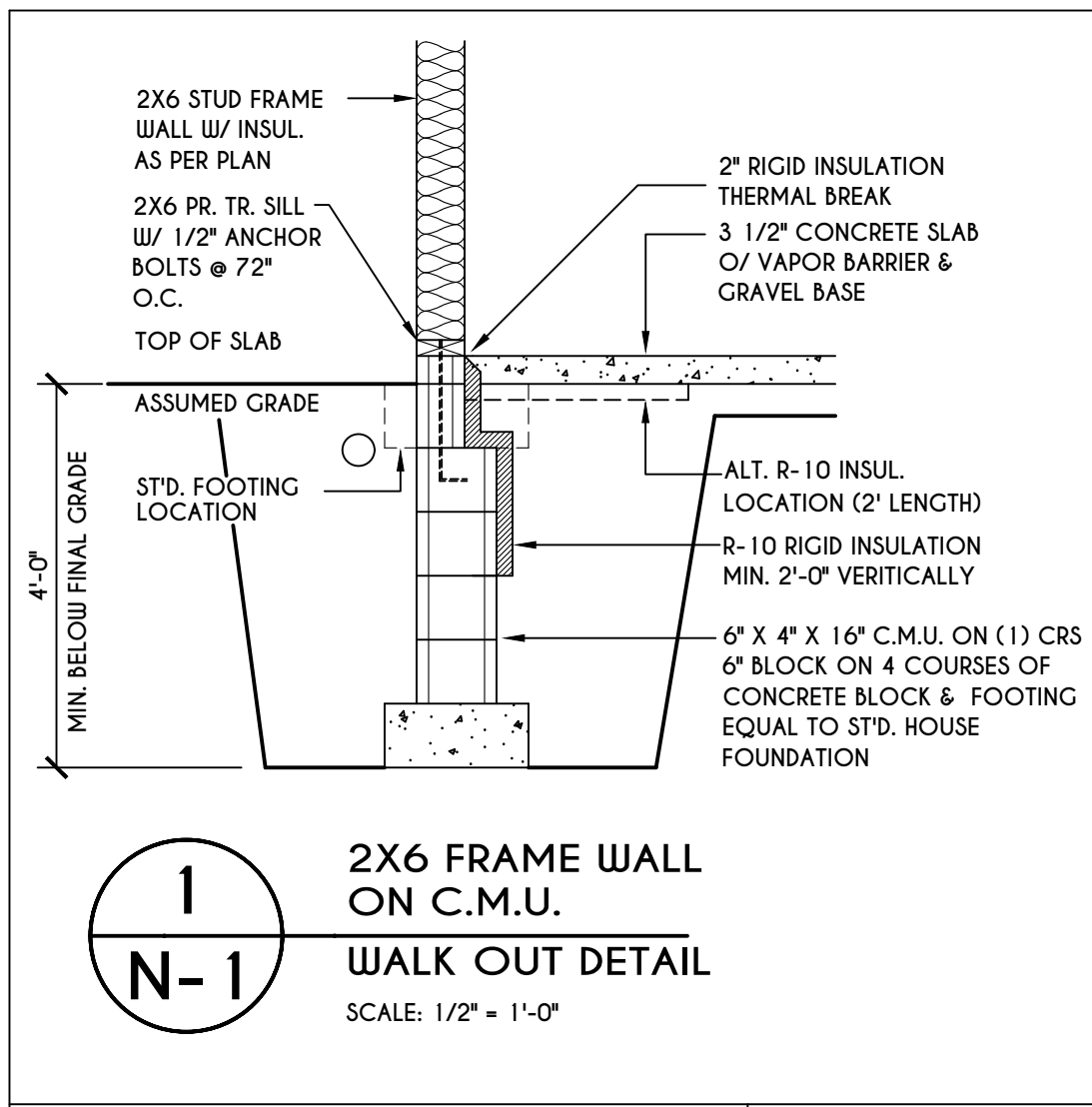


TRUSS NOTES:
 TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
 TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MINI METAL HANGER TO SUPP. THAT LOAD
 PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER

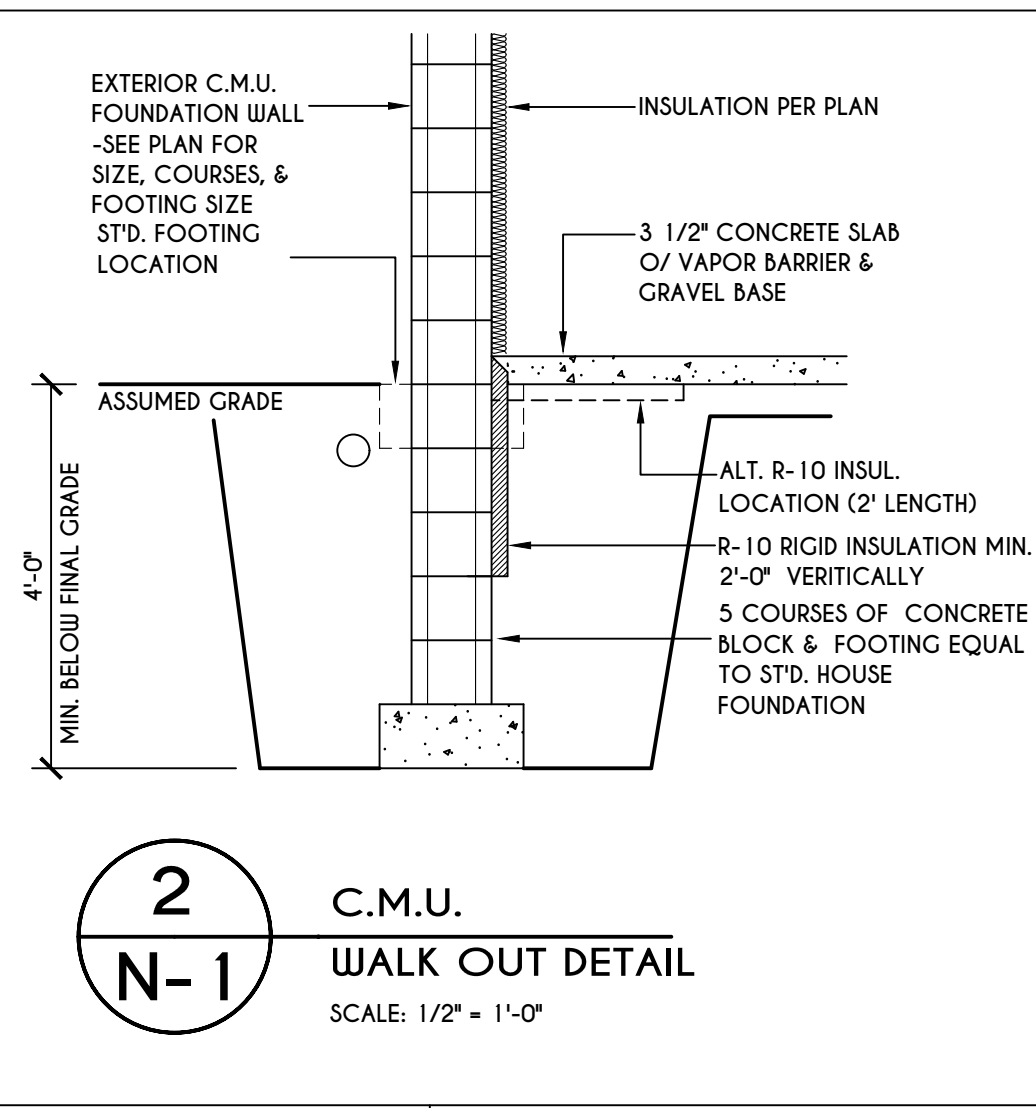


A BUILDING SECTION
 SCALE: 1/4" = 1'-0"

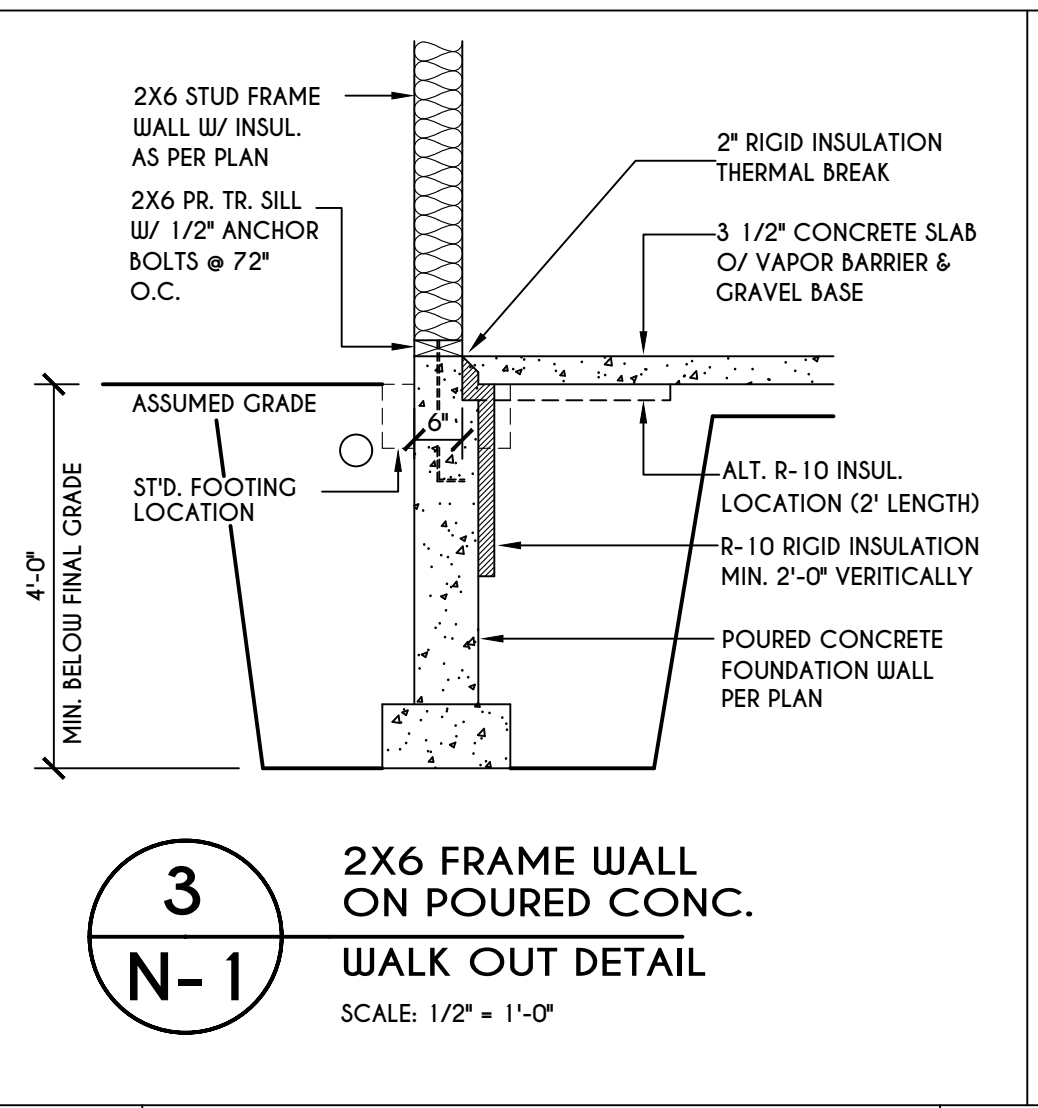
B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



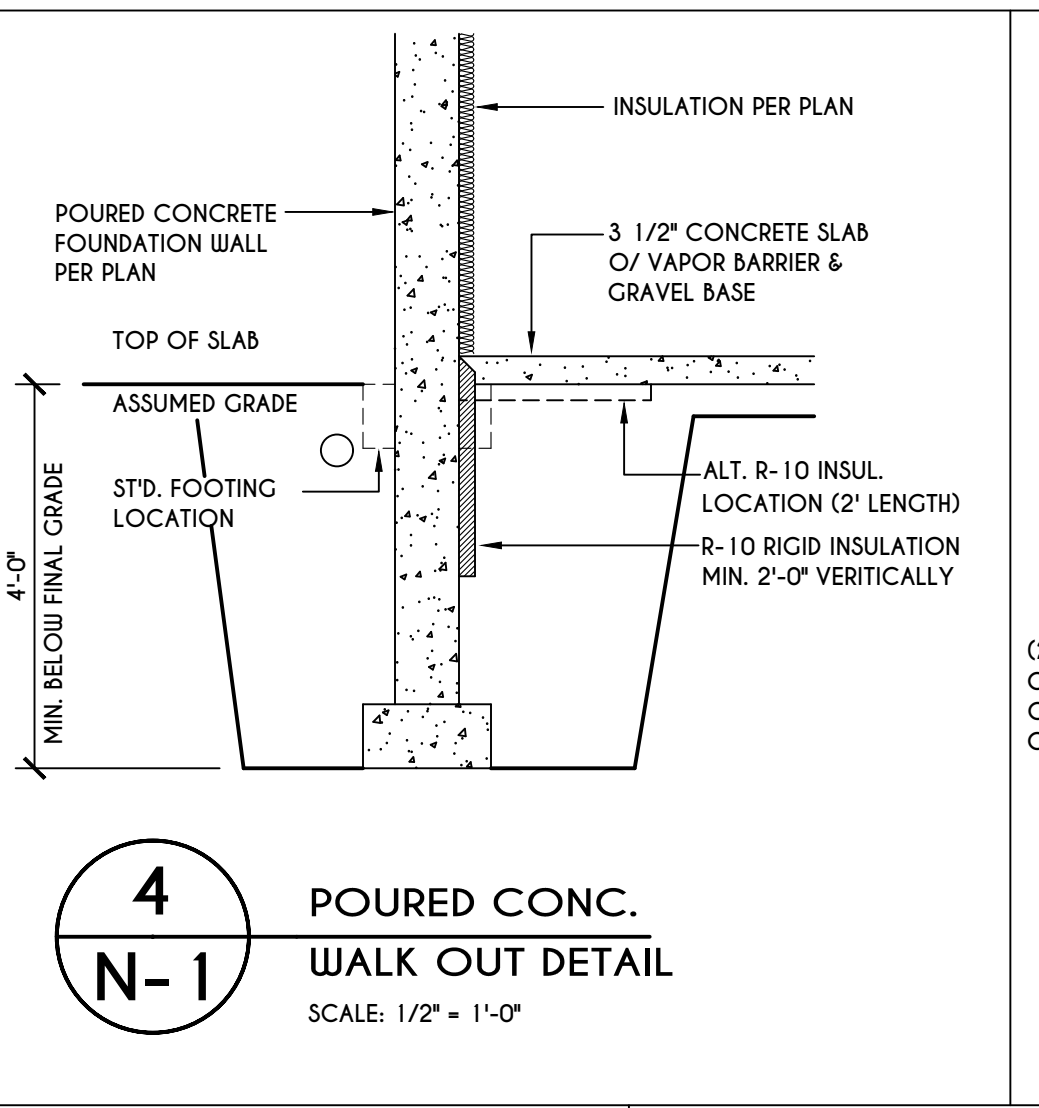
1
N-1
2X6 FRAME WALL ON C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



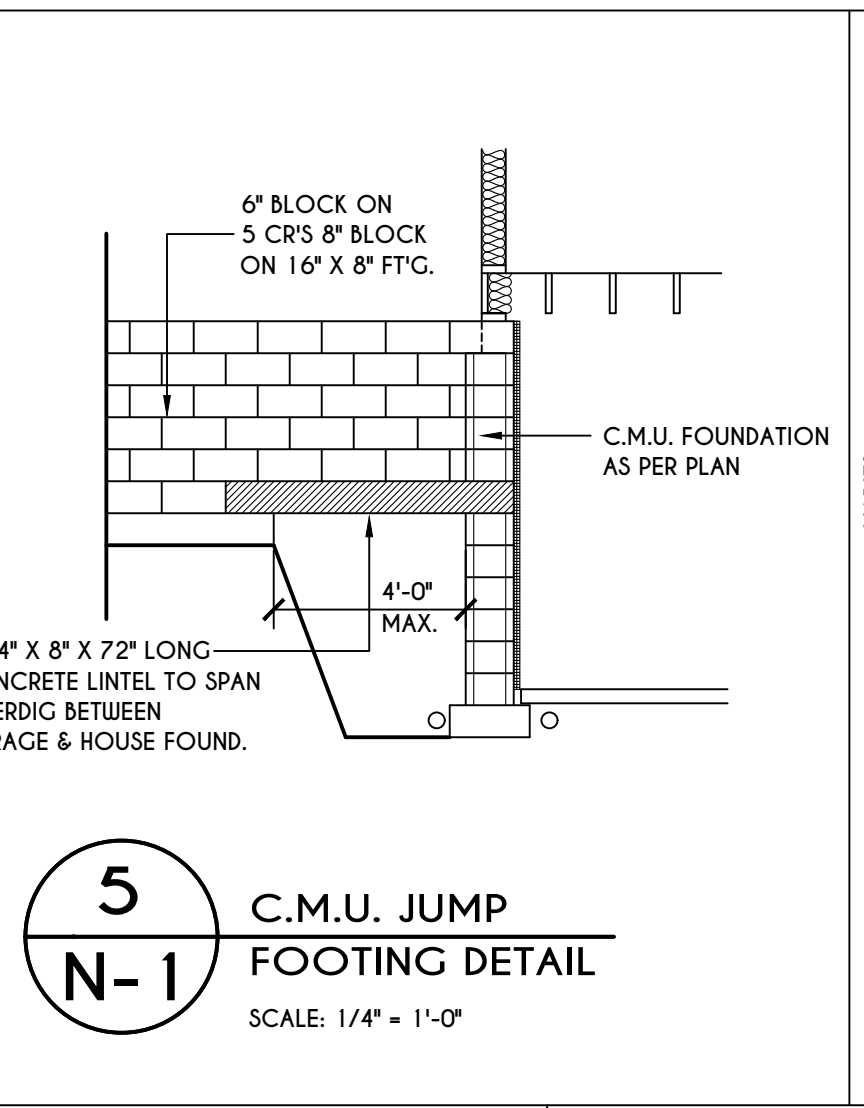
2
N-1
C.M.U.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



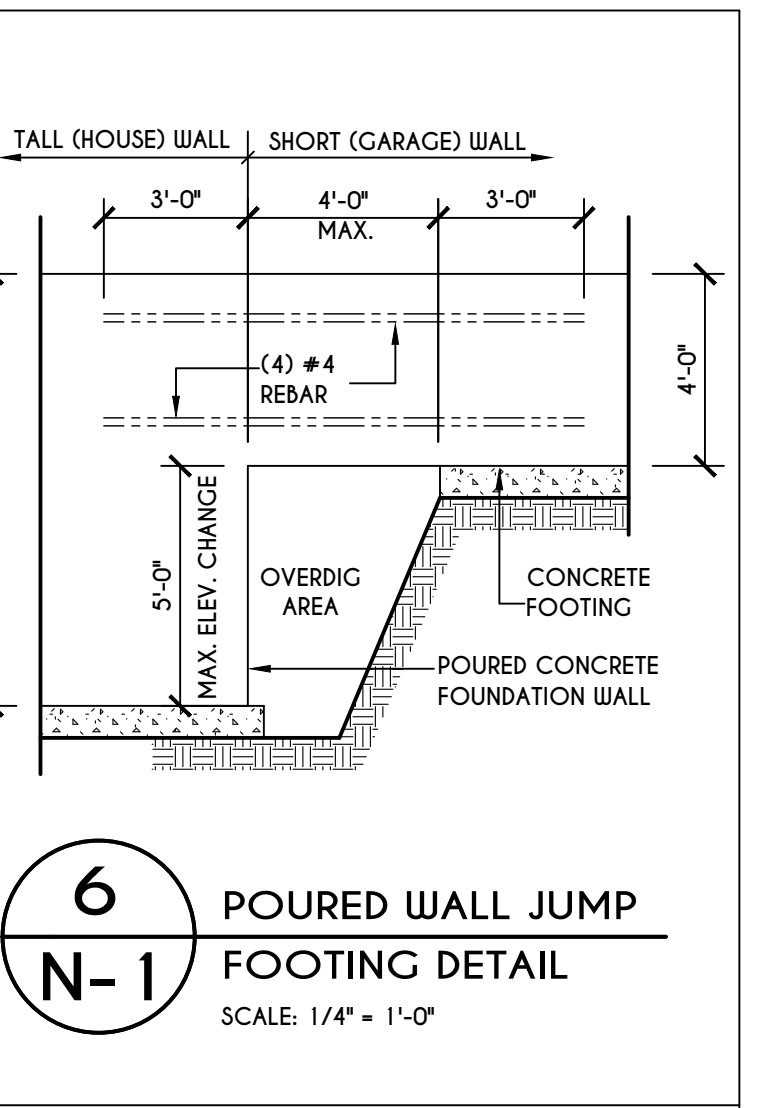
3
N-1
2X6 FRAME WALL ON POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



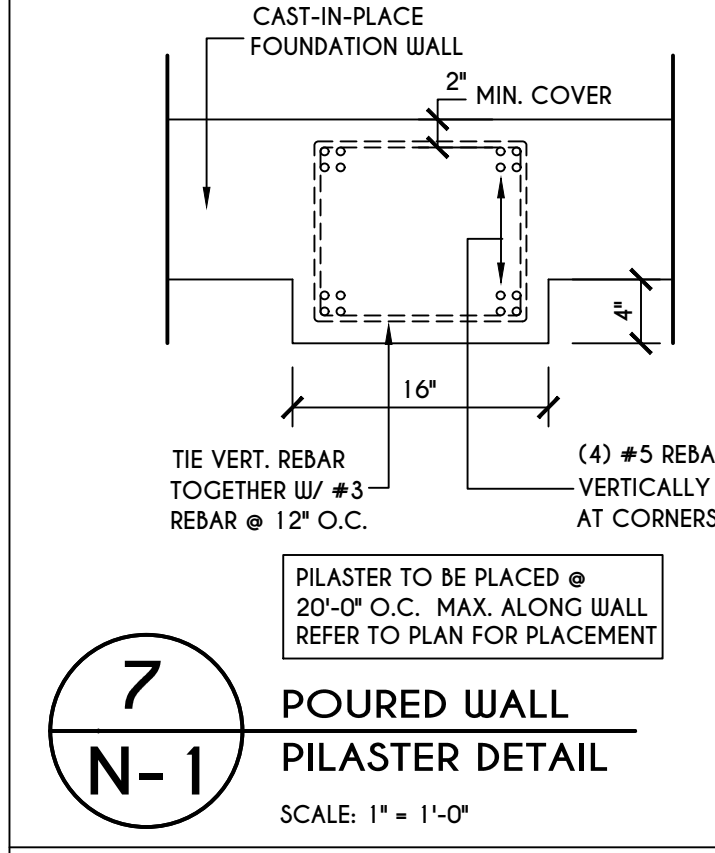
4
N-1
POURED CONC.
WALK OUT DETAIL
SCALE: 1/2" = 1'-0"



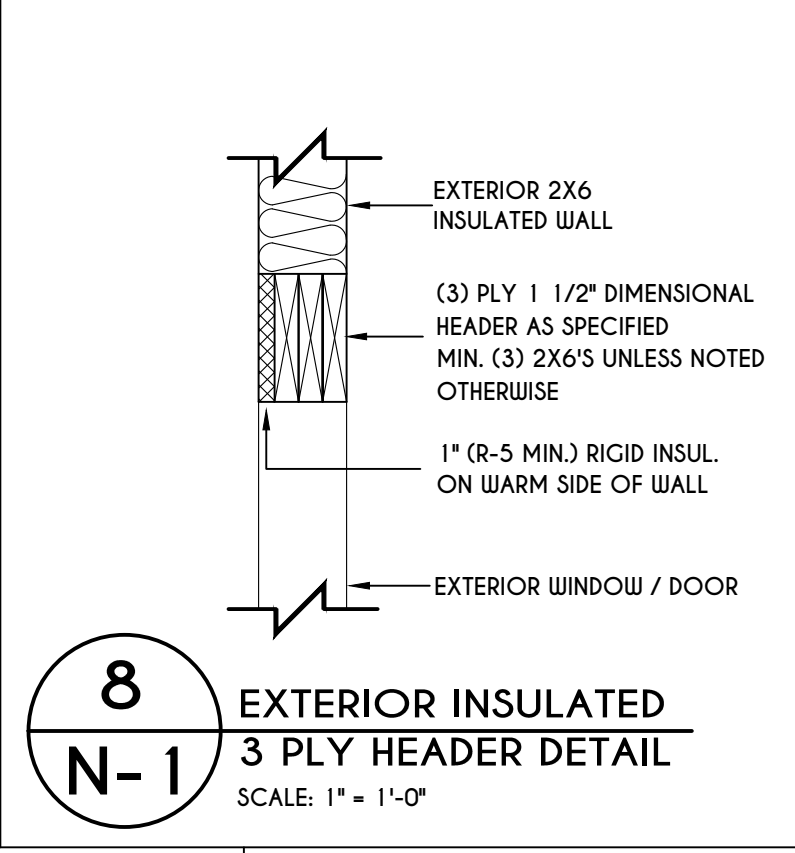
5
N-1
C.M.U. JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



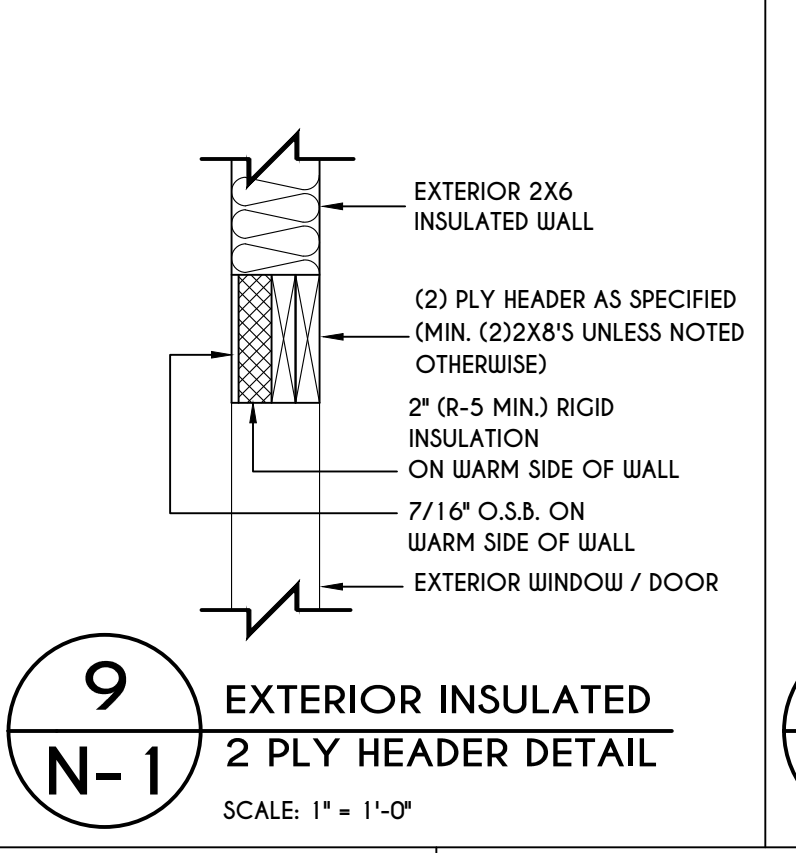
6
N-1
POURED WALL JUMP
FOOTING DETAIL
SCALE: 1/4" = 1'-0"



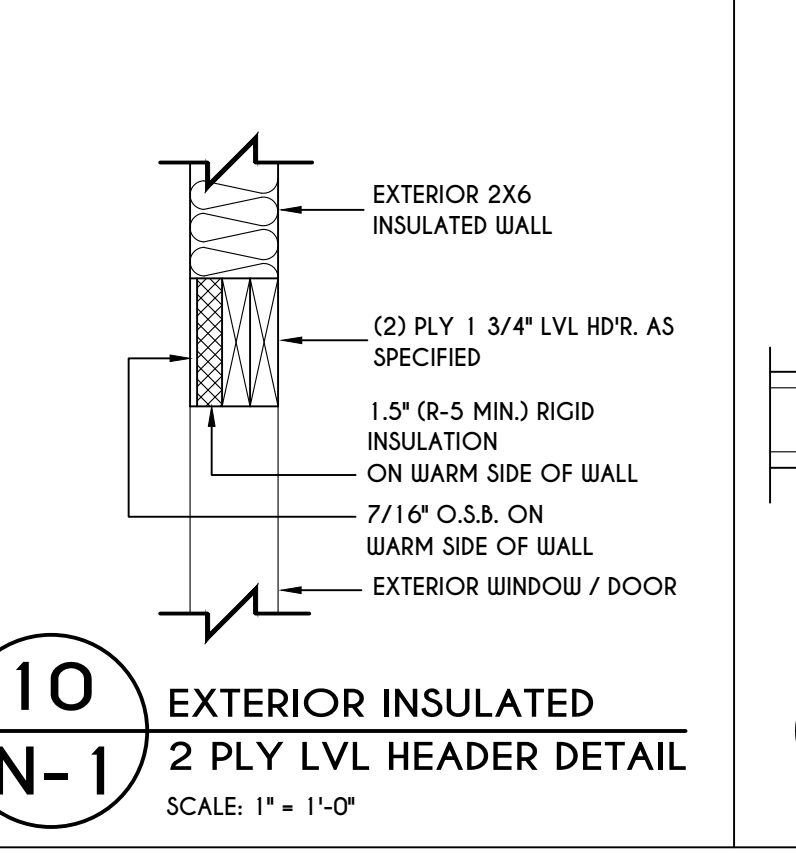
7
N-1
POURED WALL
PILASTER DETAIL
SCALE: 1" = 1'-0"



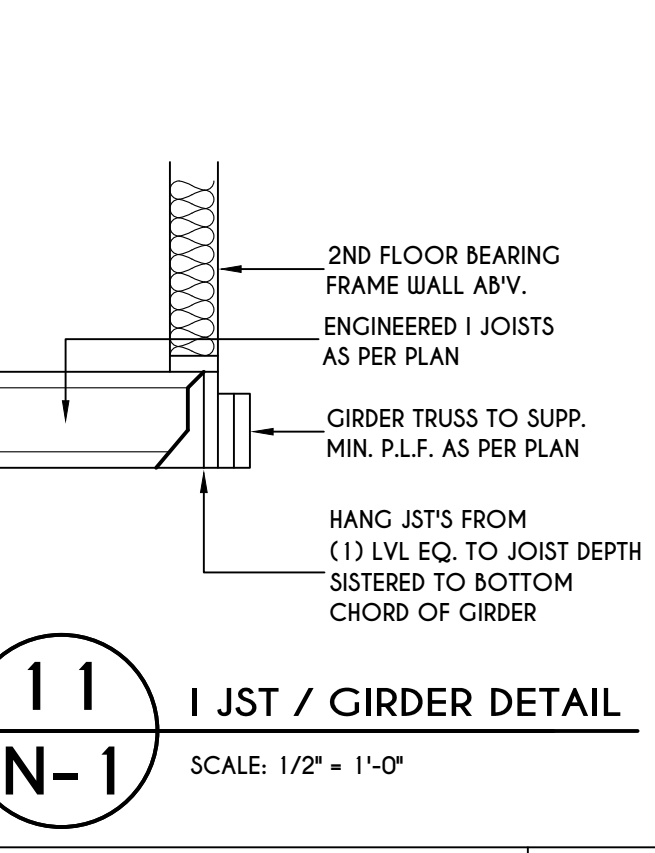
8
N-1
EXTERIOR INSULATED
3 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



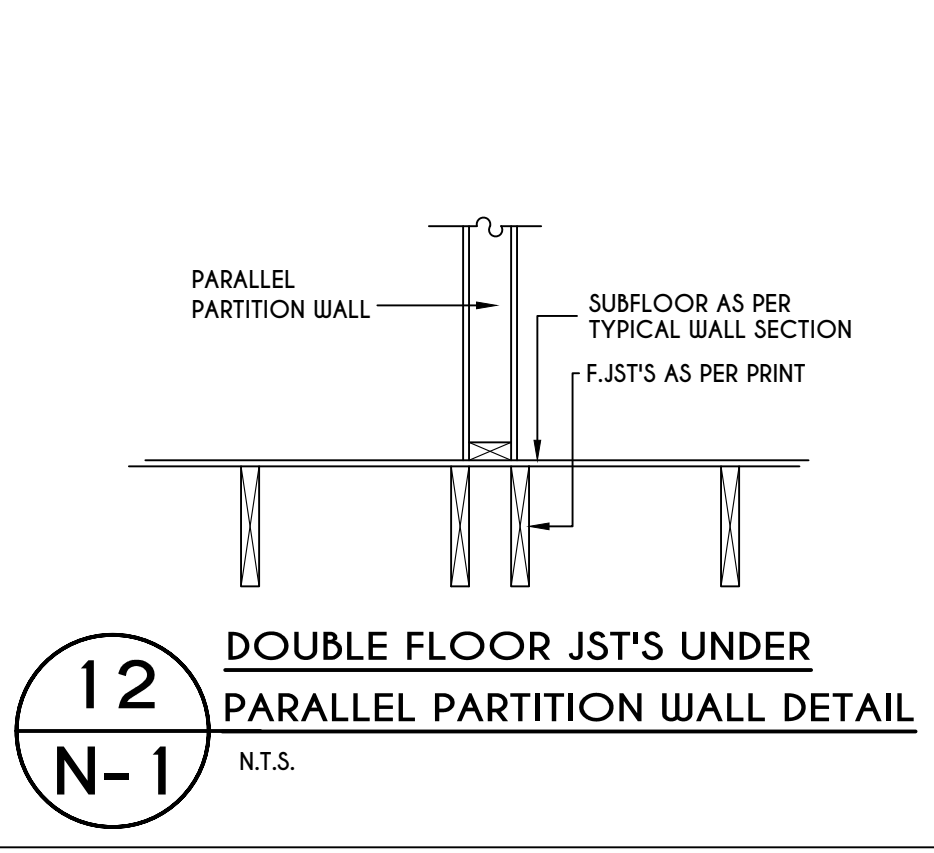
9
N-1
EXTERIOR INSULATED
2 PLY HEADER DETAIL
SCALE: 1" = 1'-0"



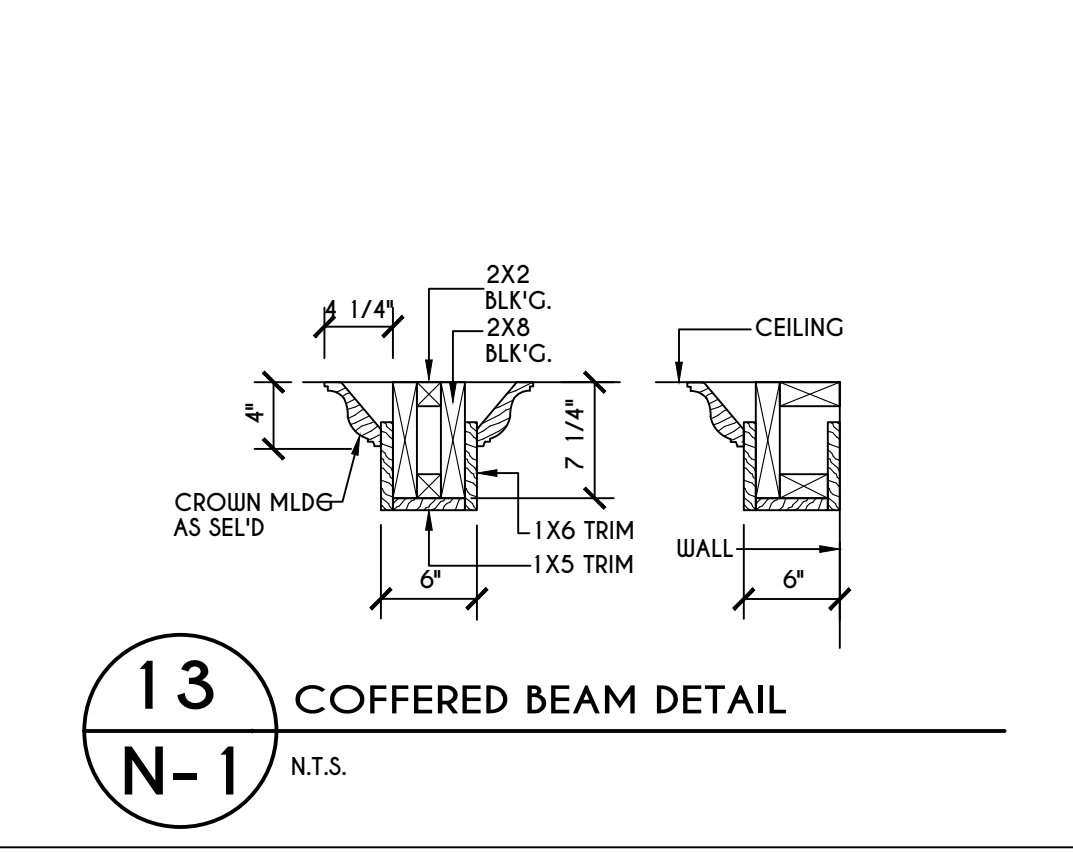
10
N-1
EXTERIOR INSULATED
2 PLY LVL HEADER DETAIL
SCALE: 1" = 1'-0"



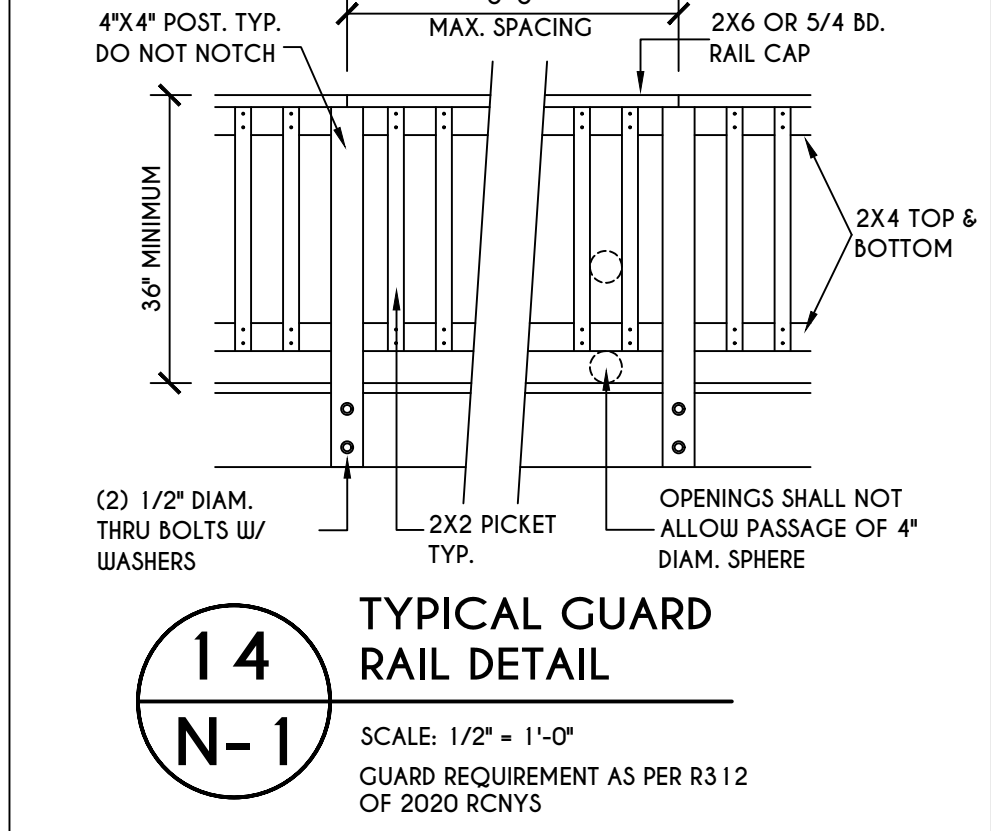
11
N-1
I JST / GIRDER DETAIL
SCALE: 1/2" = 1'-0"



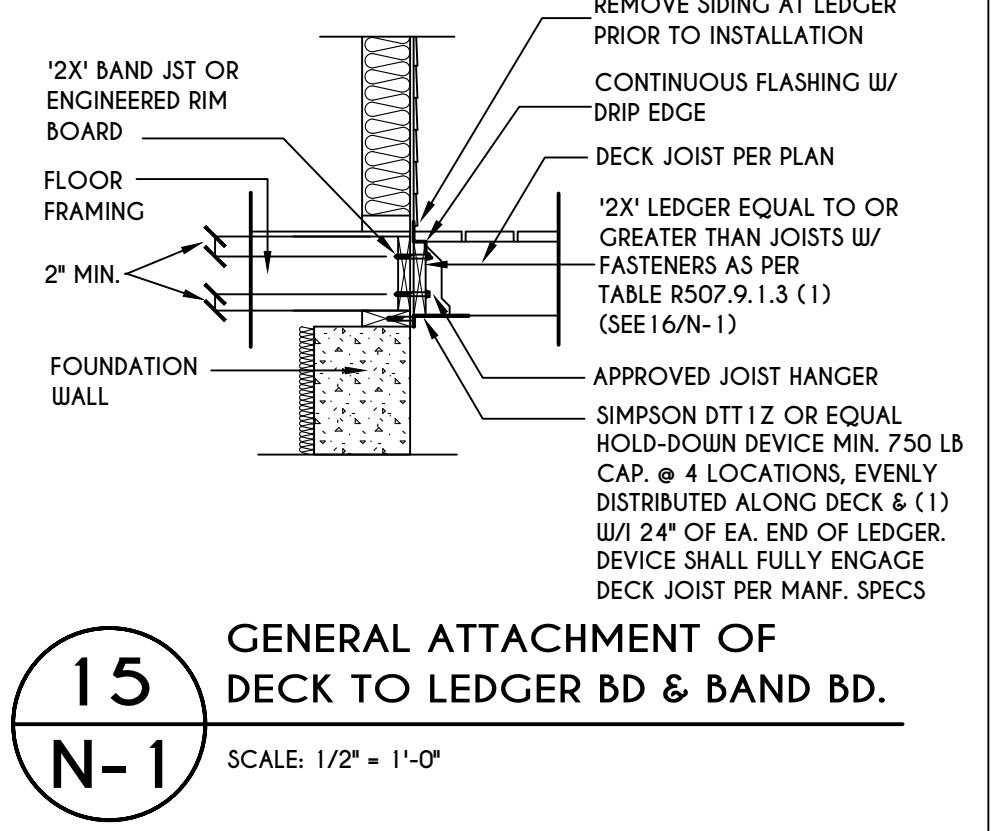
12
N-1
DOUBLE FLOOR JST'S UNDER
PARALLEL PARTITION WALL DETAIL
N.T.S.



13
N-1
COFFERED BEAM DETAIL
N.T.S.



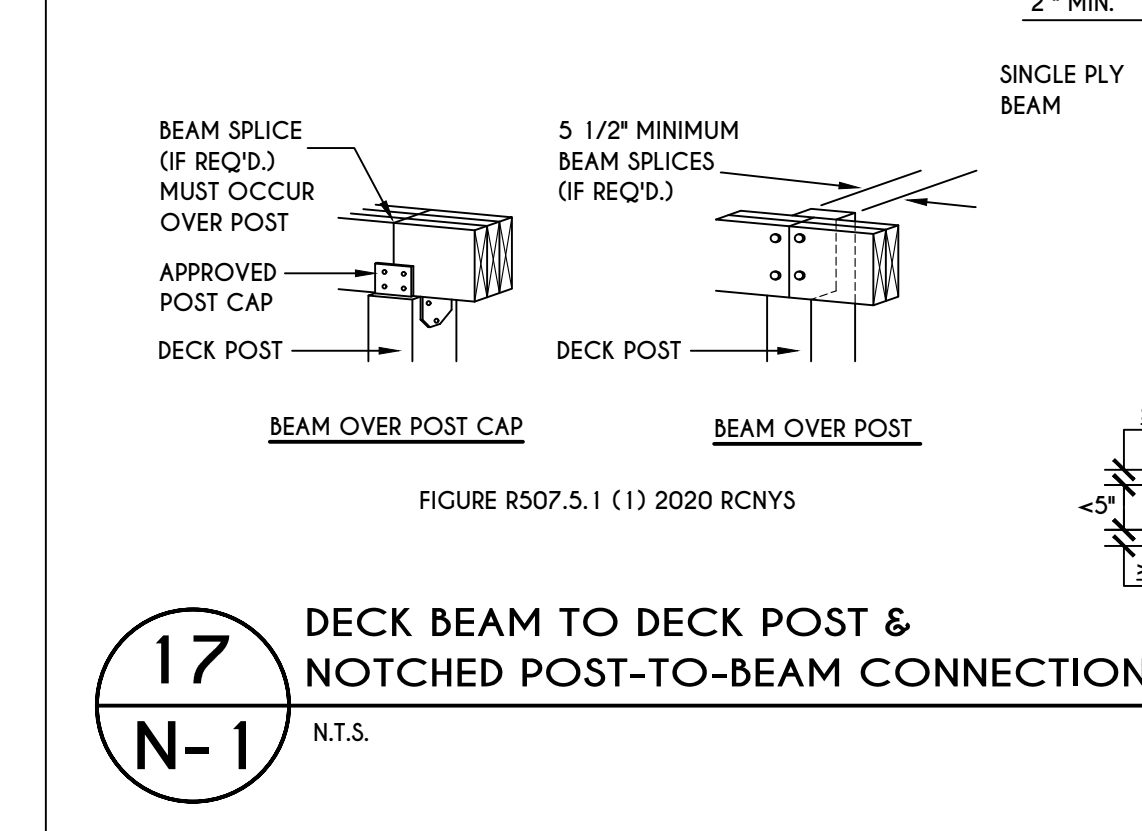
14
N-1
TYPICAL GUARD
RAIL DETAIL
SCALE: 1/2" = 1'-0"



15
N-1
GENERAL ATTACHMENT OF
DECK TO LEDGER BD & BAND BD.
SCALE: 1/2" = 1'-0"

16
N-1
PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS
FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1" - 10'	10'-1" - 12'	12'-1" - 14'	14'-1" - 16'	16'-1" - 18'
1/2" DIAM. LAG SCREWS W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

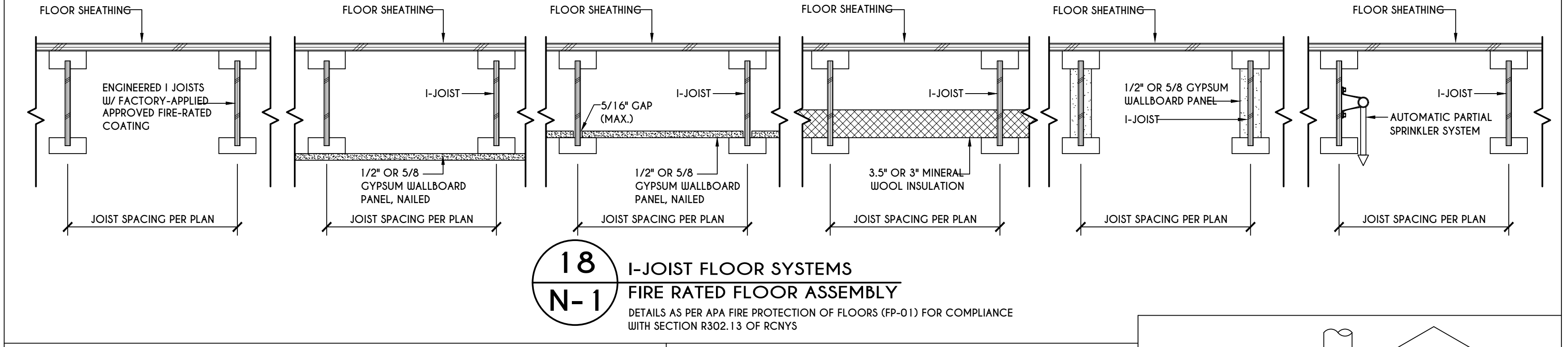


17
N-1
DECK BEAM TO DECK POST &
NOTCHED POST-TO-BEAM CONNECTION
N.T.S.

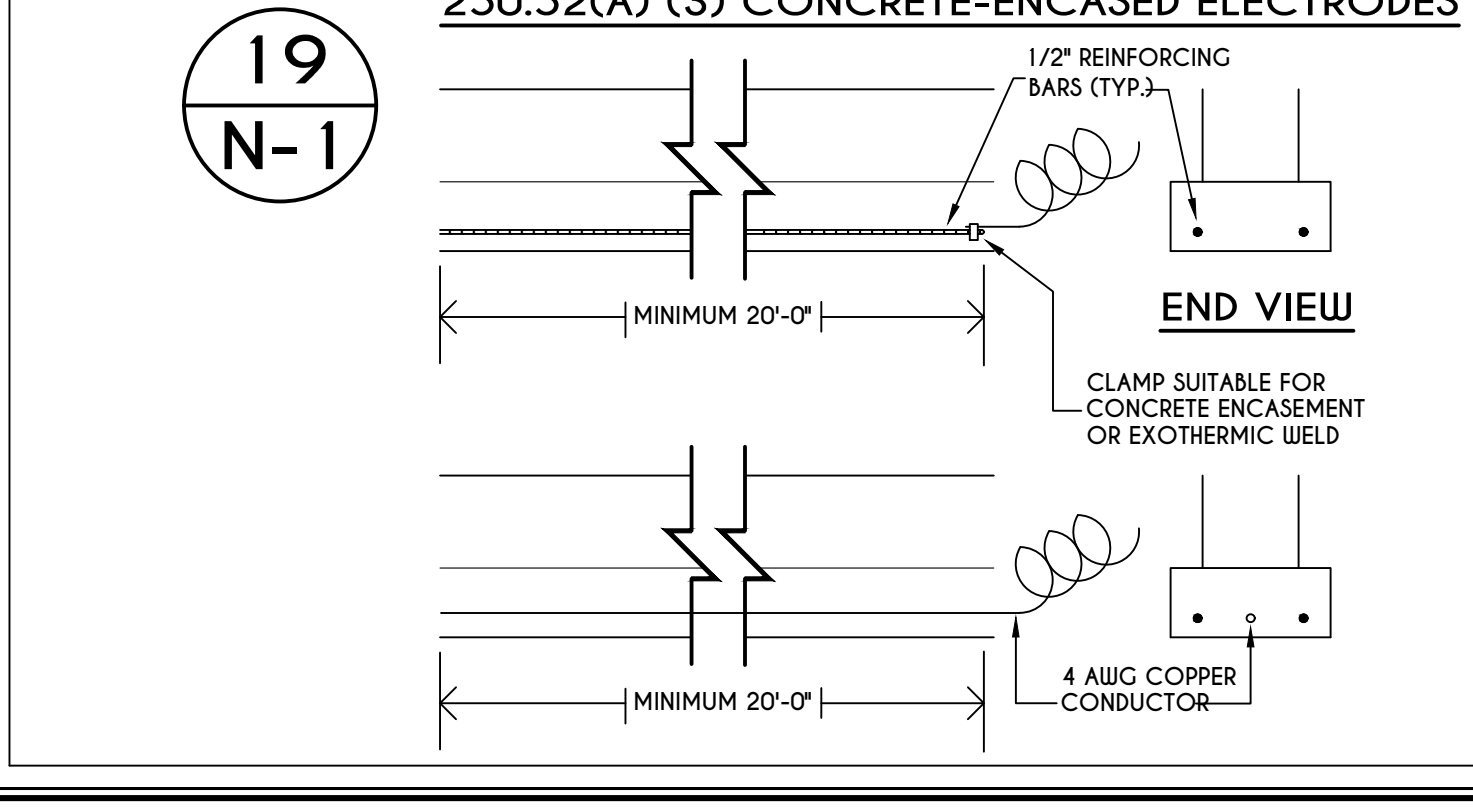
TABLE R507.4
DECK POST HEIGHT

DECK POST SIZE	MAX. HEIGHT ^{a,b} (feet-inches)
4 x 4	6'-9"
4 x 6	8'
6 x 6	14'
8 x 8	14'

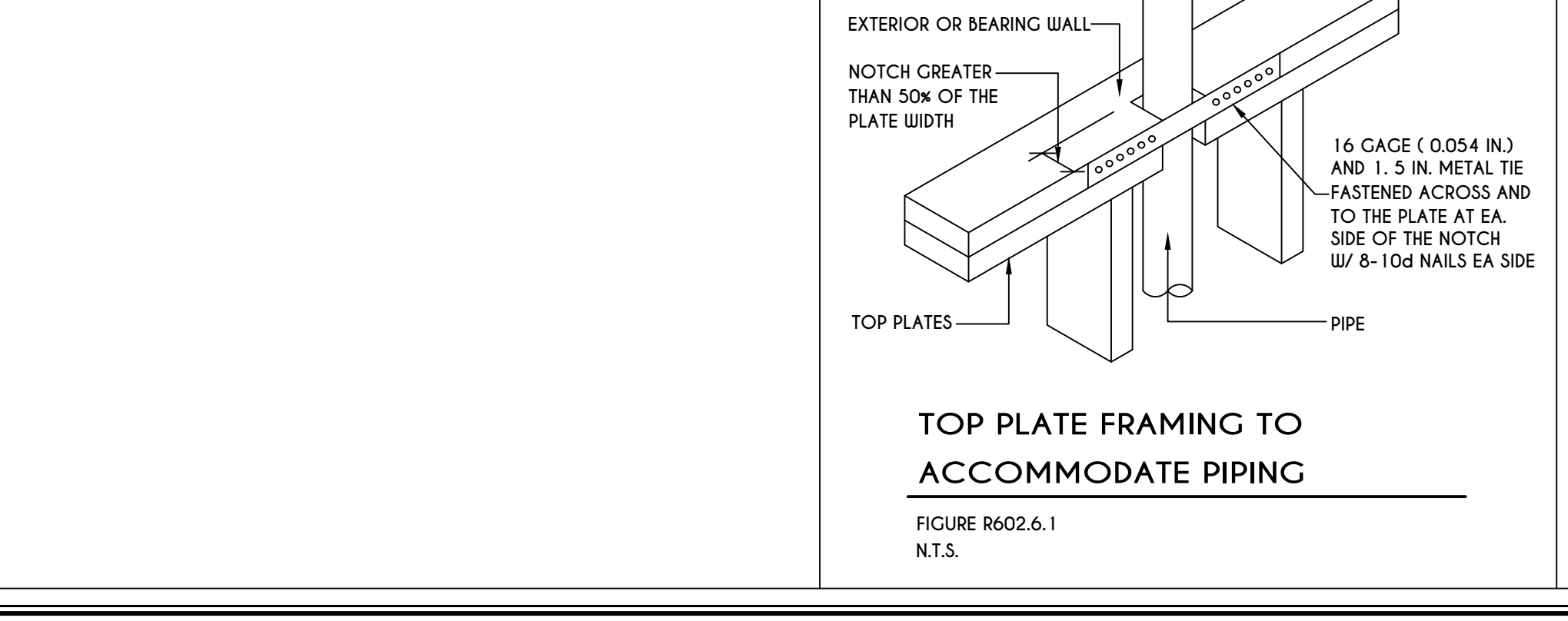
a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"



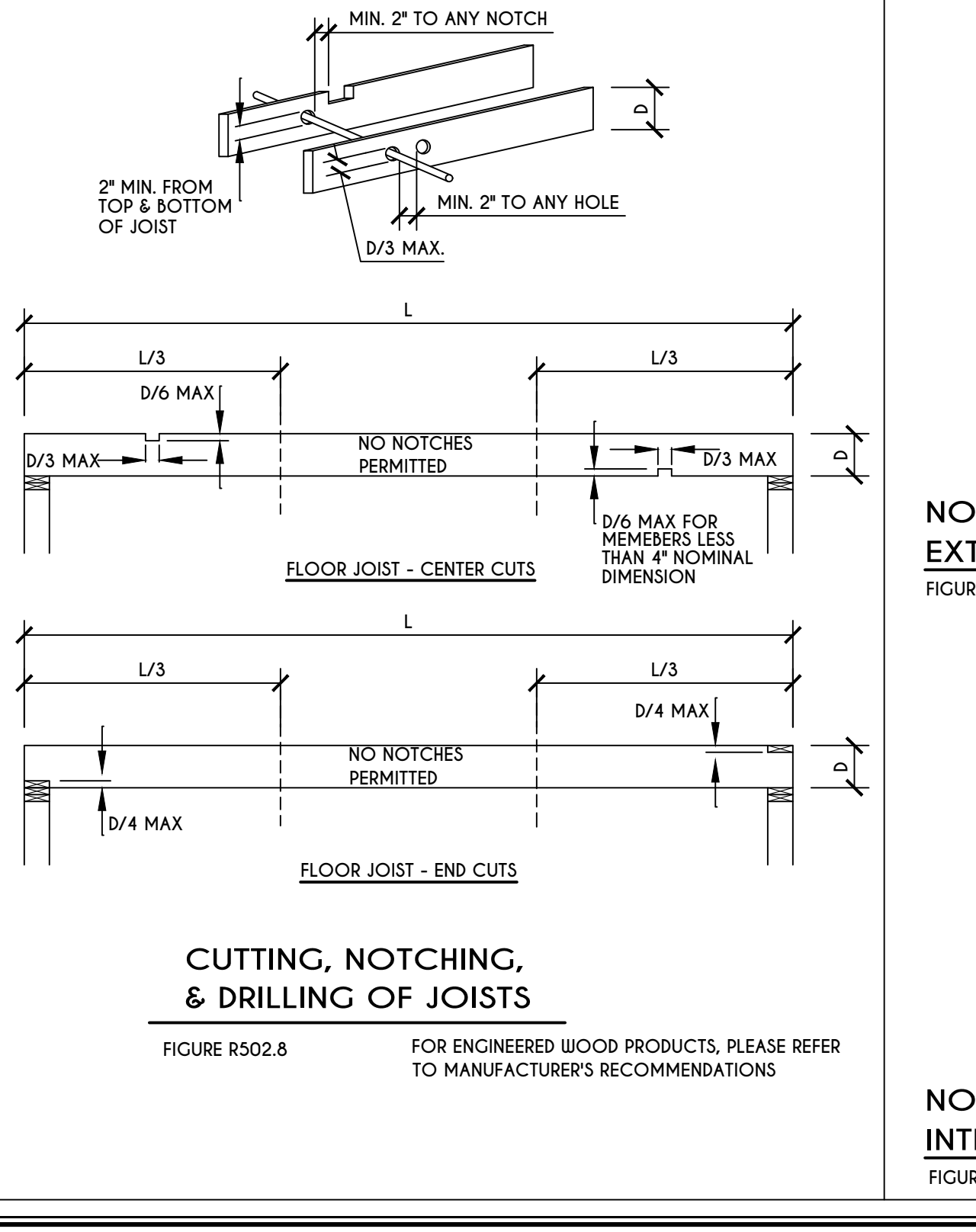
18
N-1
I-JOIST FLOOR SYSTEMS
FIRE RATED FLOOR ASSEMBLY
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS



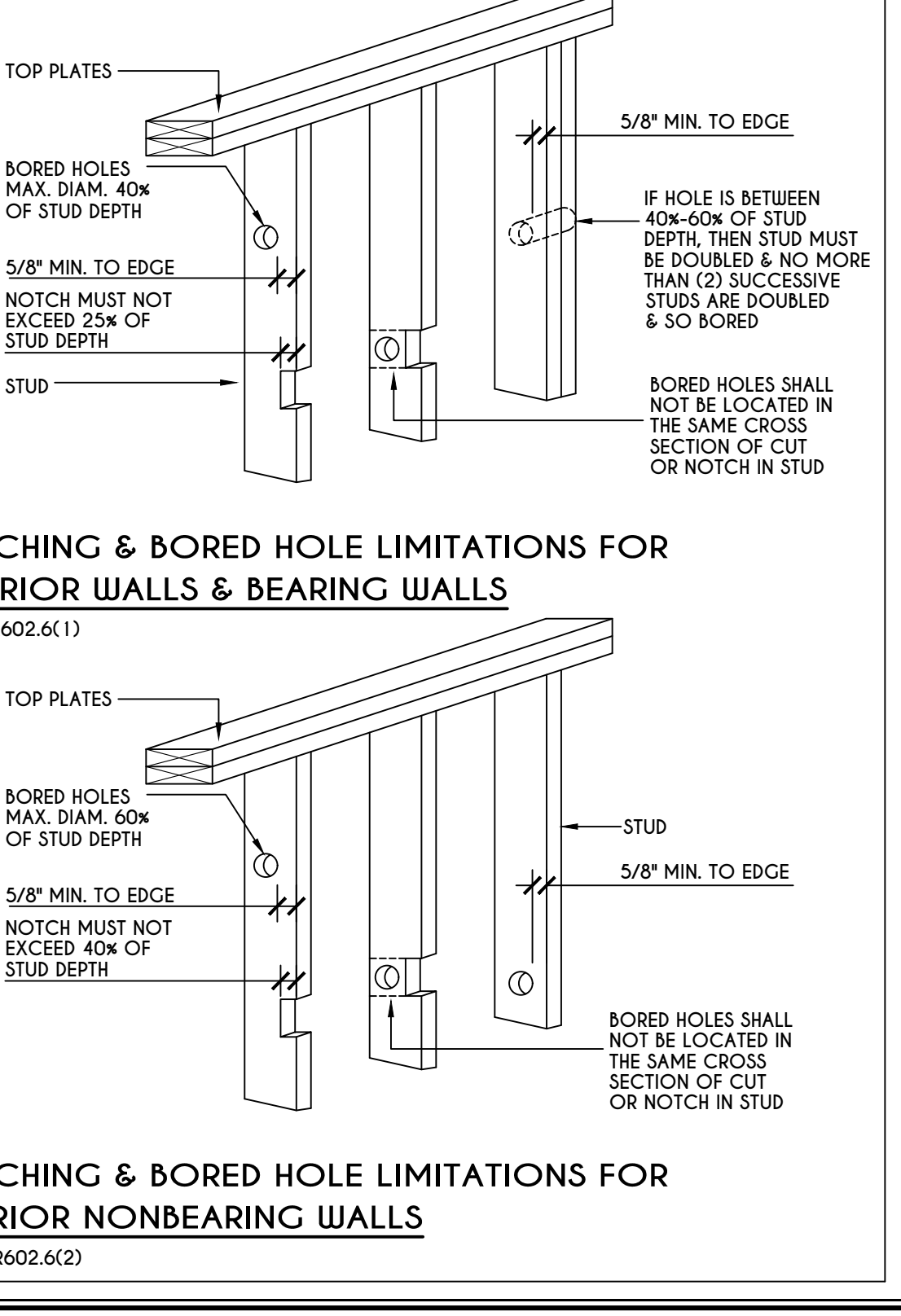
19
N-1
250.52(A) (3) CONCRETE-ENCASED ELECTRODES
SCALE: 1/2" = 1'-0"



TOP PLATE FRAMING TO ACCOMMODATE PIPING
FIGURE R602.6.1
N.T.S.

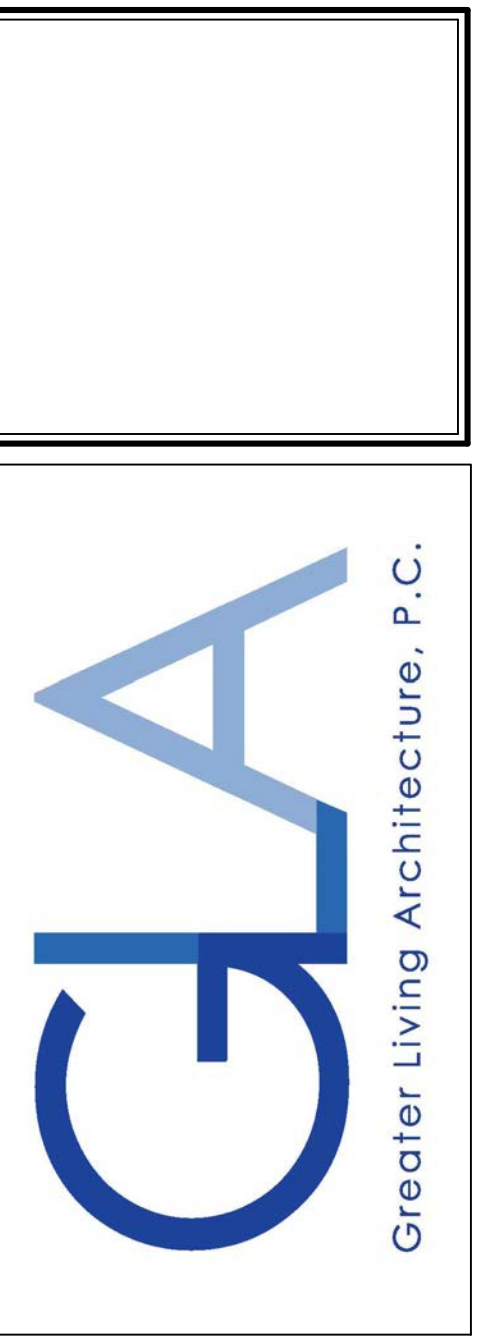


CUTTING, NOTCHING, & DRILLING OF JOISTS
FIGURE R502.8
FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
FIGURE R602.6(1)
NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS
FIGURE R602.6(2)

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BUILDER:
MASCOT, INC.

DETAILS
GLA PLAN 2562

drawn: CDK	checked: CSB
scale: AS NOTED	date: 8 / 22
PROJECT: 15307D	sheet: N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 5$ INCHES ^{a,c,f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b,c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	8'-8"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	9'-4"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	10'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 6.75$ INCHES ^{a,c,f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b,c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	7'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	9'-4"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	10'-0"	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE $d > 8.75$ INCHES ^{a,c,f}

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL ^g	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b,c}			
		SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)			
		GM, GP, SU, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MK, ML-CL AND INORGANIC CL SOILS 60	SC, MK, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	7'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	9'-4"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	10'-0"	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS ^{b,c,d,e,f,h,k,n,o}

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (INCHES)											
		SOIL CLASSES ^a AND DESIGN LATERAL SOIL LOAD ^d (psf PER FOOT OF DEPTH)											
		GM, GP, SU, AND SP SOILS 30				GM, GS, SM-SC AND ML SOILS 45				SC, MK, ML-CL AND INORGANIC CL SOILS 60			
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	7	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	#4 @ 37"	NR	NR	#5 @ 37"	NR	NR	#5 @ 37"	NR	NR	#5 @ 37"	NR	NR
	7	#5 @ 40"	NR	NR	#5 @ 37"	#5 @ 41"	NR	#5 @ 37"	#5 @ 43"	NR	#5 @ 37"	#5 @ 43"	NR
	8	#5 @ 43"	#5 @ 47"	NR	#5 @ 37"	#5 @ 43"	NR	#5 @ 37"	#5 @ 43"	NR	#5 @ 37"	#5 @ 43"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	#4 @ 34"	NR	NR	#5 @ 34"	NR	NR	#5 @ 34"	NR	NR	#5 @ 34"	NR	NR
	7	#5 @ 36"	NR	NR	#5 @ 34"	#5 @ 37"	NR	#5 @ 34"	#5 @ 37"	NR	#5 @ 34"	#5 @ 37"	NR
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	#5 @ 47"	NR	NR	#5 @ 34"	#5 @ 48"	NR	#5 @ 34"	#5 @ 48"	NR	#5 @ 34"	#5 @ 48"	NR
	7	#5 @ 34"	#5 @ 38"	NR	#5 @ 30"	#5 @ 41"	NR	#5 @ 30"	#5 @ 41"	NR	#5 @ 30"	#5 @ 41"	NR
	8	#5 @ 34"	#5 @ 40"	NR	#5 @ 26"	#5 @ 30"	#5 @ 41"	NR	#5 @ 26"	#5 @ 30"	#5 @ 41"	NR	NR

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E, F AND G.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

a. MORTAR SHALL BE TYPE F OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E, F AND G.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL. SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D, E, F AND G.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R404.1.
e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL, WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL. MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.
f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R404.1.
b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.
c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.
d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.
e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.
f. INTERPOLATION IS NOT PERMITTED.
g. WHERE WALLS WILL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.
h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.
i. CONCRETE COVER FOR THE REINFORCEMENT MEASURED FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.
j. DR. MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.
k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, f_c OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE I OR m.
l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 4,000 PSI.
m. A PLAN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, f_c IS 3,500 PSI.
n. SEE TABLE R602.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

**TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	AIR-FERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL. THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
CEILING / ATTIC	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSTALLED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAIL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAIL SPACES SHALL BE COVERED WITH A CLASS I VAPOR BARRIER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAILSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
NARROW CAVITIES		
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILING.	

a. IN ADDITION, INSPECTION OF LOC WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-403.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST IS DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

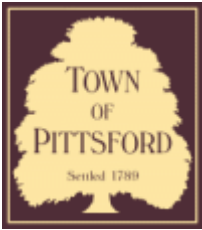
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GU & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SU, SP, SM, SC, GM & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SU	WELL-GRADED SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CL



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
B22-000140

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 47 Skylight Trail ,

Tax ID Number:

Zoning District:

Owner: Morrell Builders

Applicant: Morrell Builders

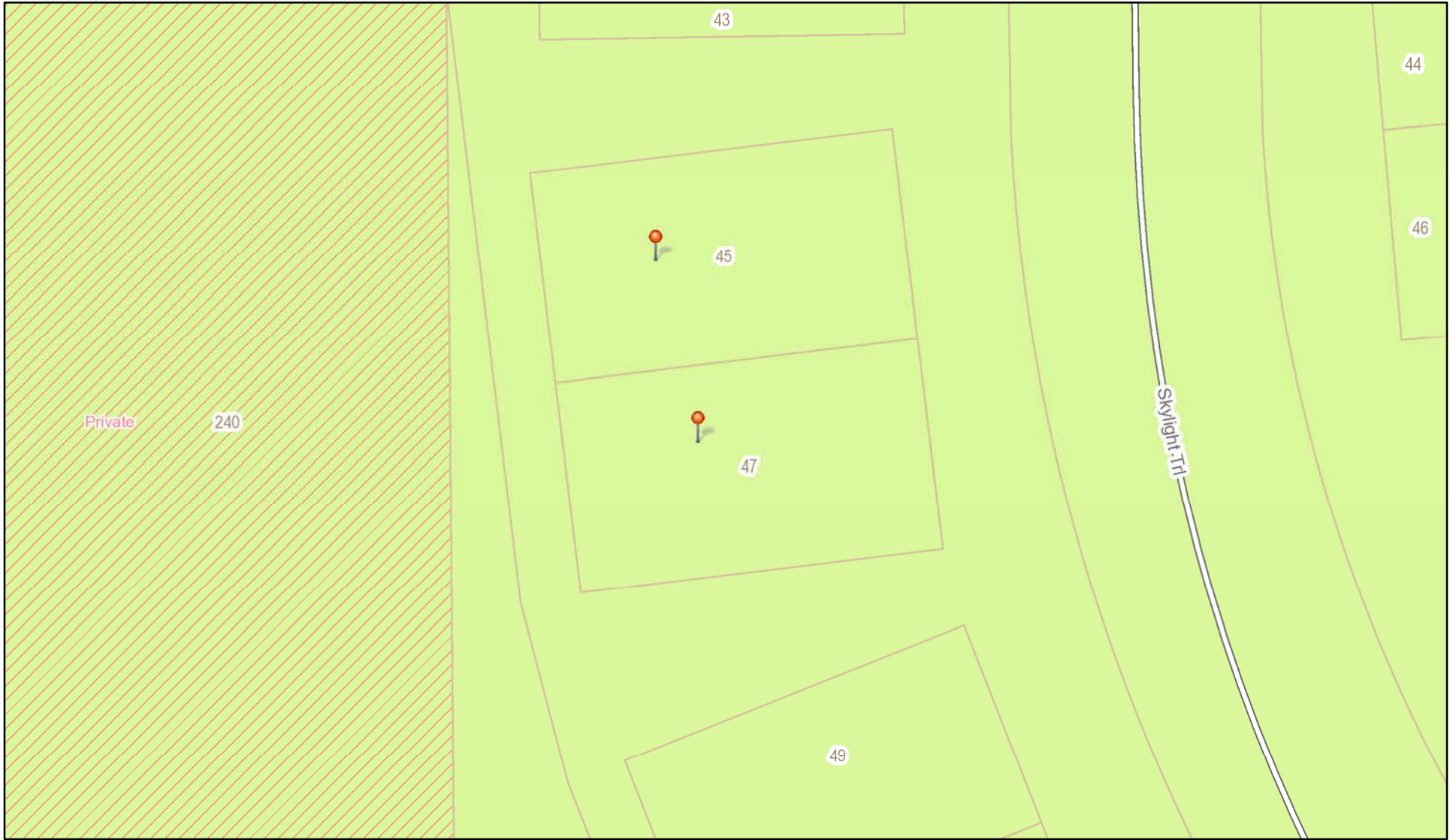
Application Type:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

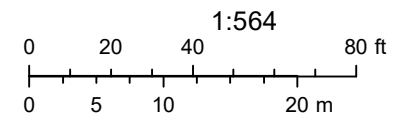
Project Description: Applicant is requesting design review for the proposed construction of a new town home dwelling. The proposed building will consist of 2 attached single family dwellings sharing a common wall. Lot 26 (47 Skylight Trail) will be approximately 2023 sq. ft. and Lot 25 (45 Skylight Trail) will be 2010 sq. ft. The town homes will be located in the new Alpine Ridge development.

Meeting Date: September 22, 2022

RN Residential Neighborhood Zoning



Printed September 15, 2022



Town of Pittsford GIS

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04/05/2021

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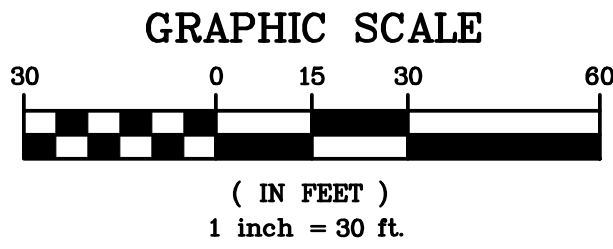
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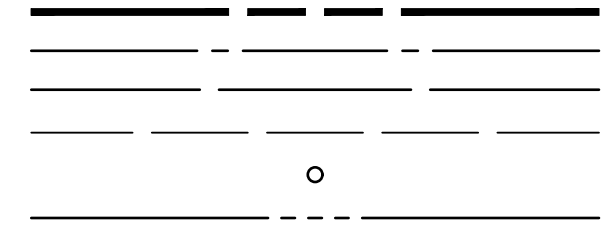
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COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

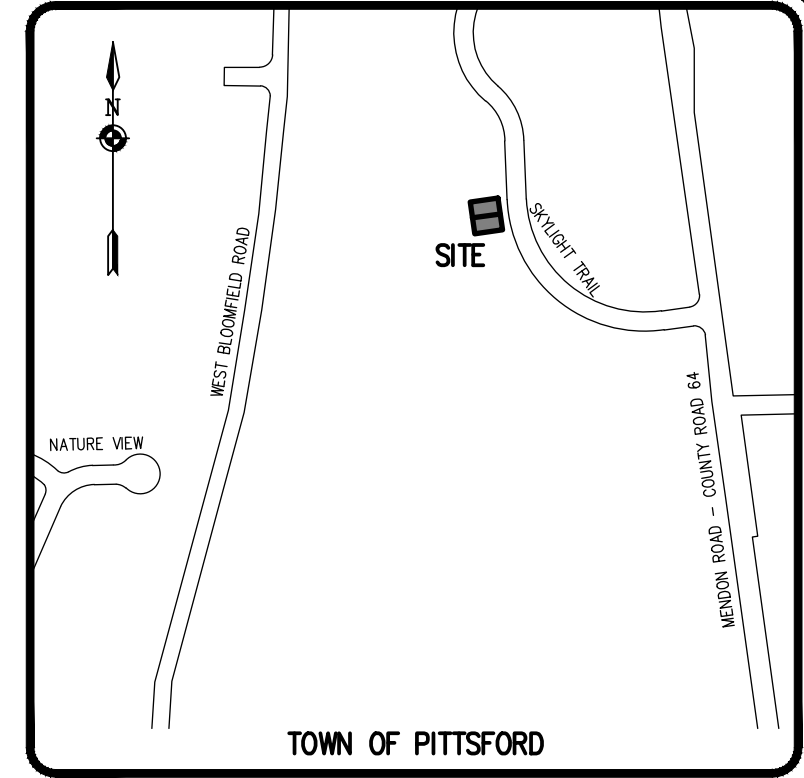
"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."



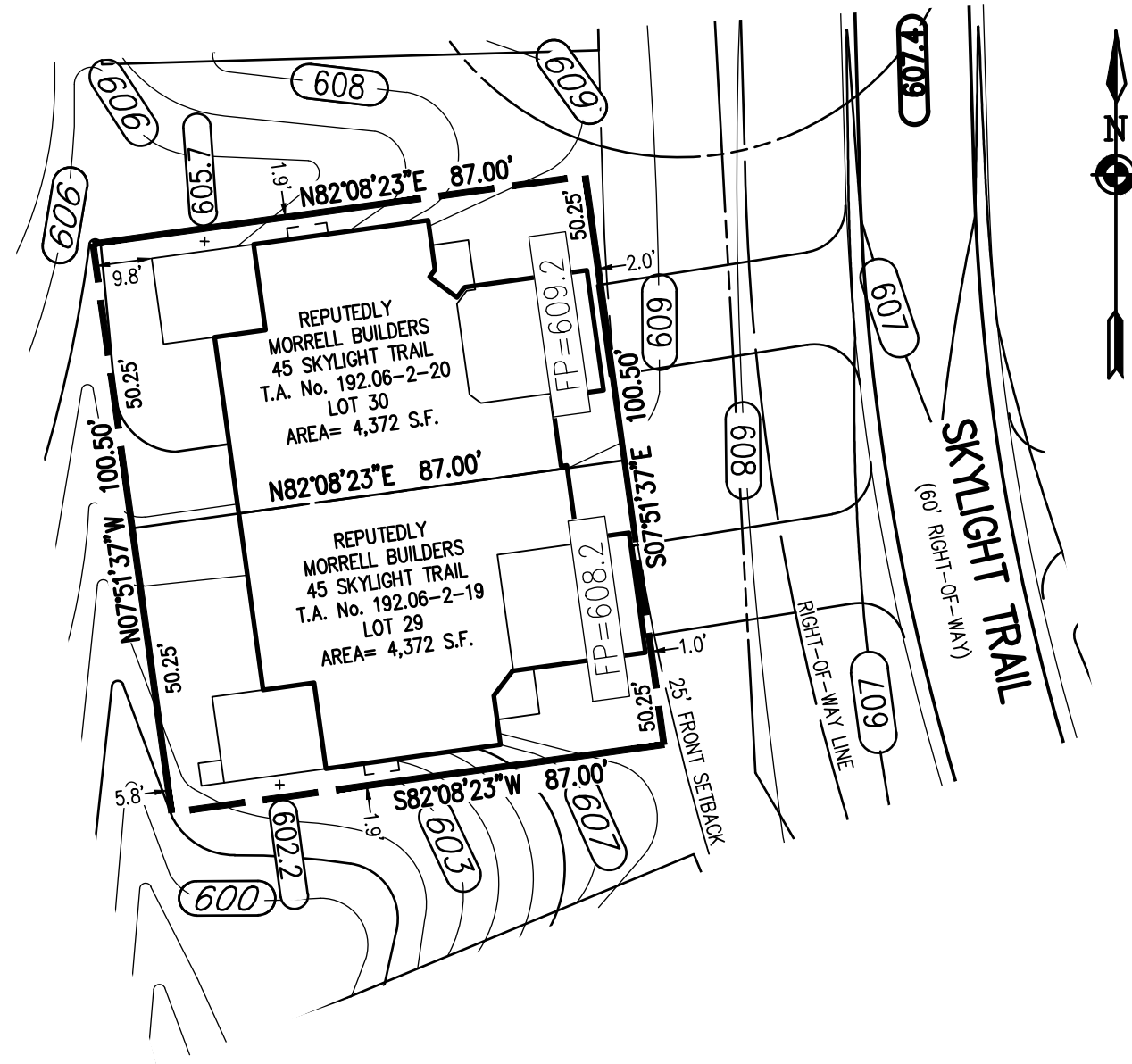
LEGEND



- BOUNDARY LINE
- CENTERLINE
- ADJOINER/R.O.W. LINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EXISTING EASEMENT LINE



LOCATION MAP
NOT TO SCALE



REFERENCES:

1. A PLAN ENTITLED "ALPINE RIDGE SUBDIVISION, SECTION 2", AS FILED IN THE MONROE COUNTY CLERK'S OFFICE AT LIBER 364 OF MAPS, PAGE 2.
2. A PLAN ENTITLED "FINAL SECTION 2 PLANS FOR ALPINE RIDGE SUBDIVISION, GRADING PLAN," PREPARED BY MARATHON ENGINEERING, HAVING JOB NUMBER 0891-17, DRAWING NUMBER C4.0 AND LAST REVISED SEPTEMBER 17, 2021
3. AN ABSTRACT OF TITLE WAS NOT PROVIDED FOR THE COMPLETION OF THIS SURVEY.

NOTES:

1. THE BEARING BASE SHOWN HEREON WAS TAKEN FROM REFERENCE 1.
2. SETBACK REQUIREMENTS:
FRONT 0' (LOT) 25' (R.O.W.)
SIDE 0'
REAR 0'
3. GRADING SHOW HEREON WAS TAKEN FROM REFERENCE 2.

PHELPS & GORHAM PURCHASE, TOWNSHIP 12, RANGE 5, TOWN LOT 6, TAX ACCOUNT No.'S 192.06-2-20 & 192.06-2-19

P:\2688\Instrument Surveys\2688 Lot 29-30 Plot Plan.dwg

PROJECT MANAGER	GD BELL
PROJECT SURVEYOR	GD BELL
DRAWN BY	JT GILMORE
DATE ISSUED	SEPTEMBER 13, 2022
SCALE	1"=30'
PROJECT NO.	2688
DRAWING NO.	36

PROJECT	ALPINE RIDGE SUBDIVISION SECTION 2
LOCATION	TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK STATE
CLIENT	MORRELL BUILDERS 1501 PITTSFORD-VICTOR ROAD VICTOR, NEW YORK, 14564
DRAWING TITLE	PLOT PLAN OF LOTS 29 & 30



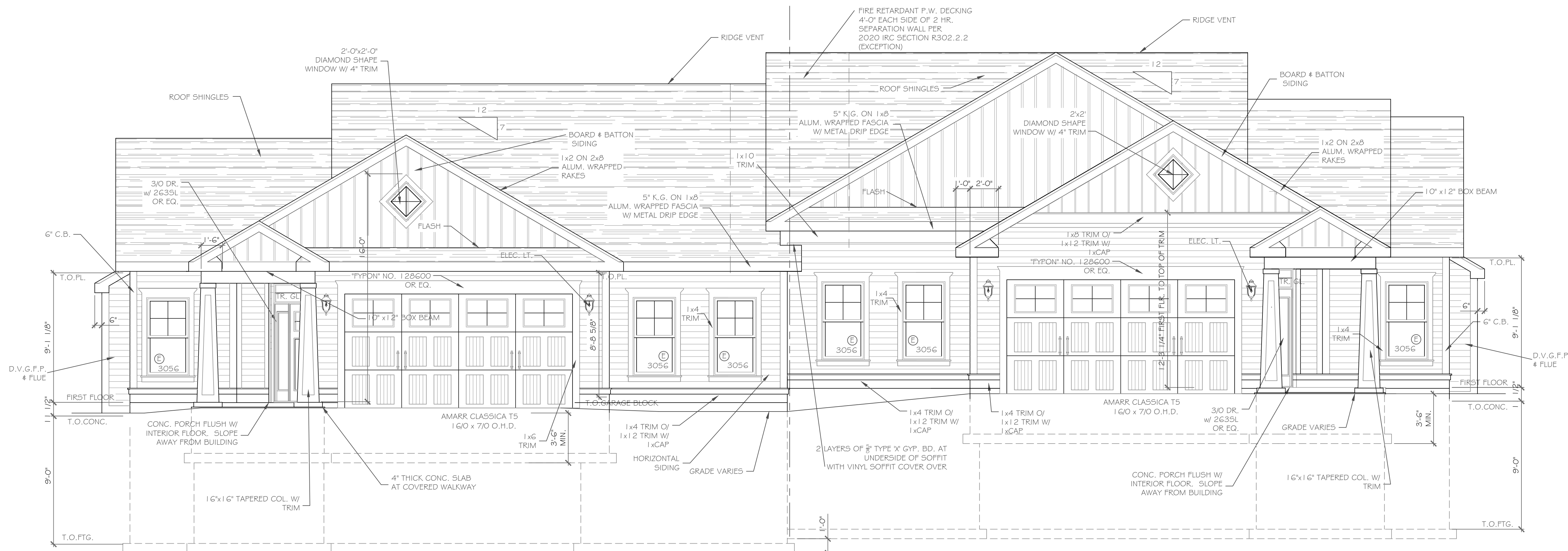
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFTBRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM

PHONE 585-377-7360
FAX 585-377-7309

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

Drawing Attention
The following is an excerpt from the New York State Education Law Article 146 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any drawing or map prepared by him without the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation altered by followed by his signature and the date of such alteration and the specific description of the alteration."



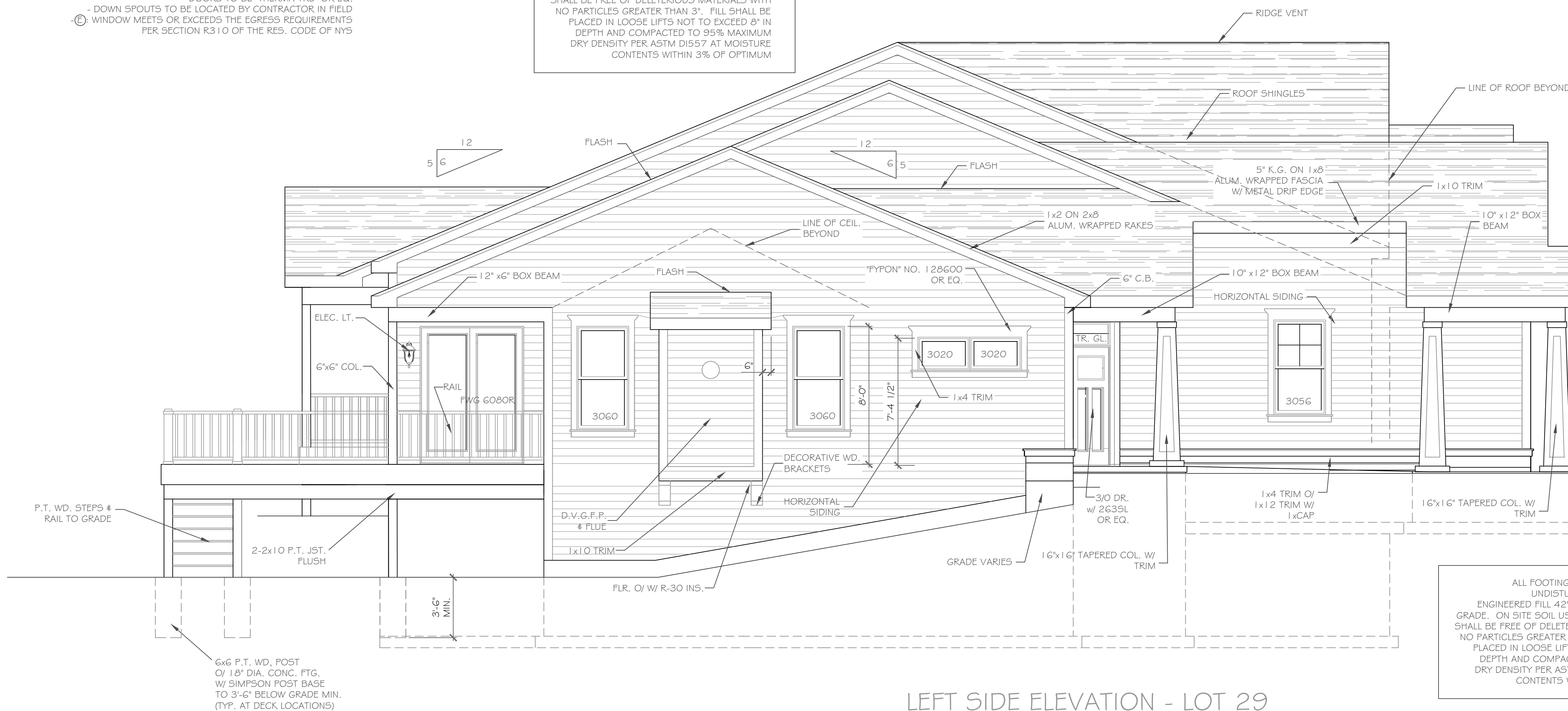
FRONT ELEVATION - LOT 29 2023 S.F.

1/4" = 1'-0"

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

NOTE: - WINDOWS TO BE "VWD 210 SERIES" DOUBLE-HUNG, LOW-E DOORS TO BE "THERMA-TRU" OR EQ.
 - DOWN SPOUTS TO BE LOCATED BY CONTRACTOR IN FIELD
 - WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS



LEFT SIDE ELEVATION - LOT 29

1/4" = 1'-0"

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

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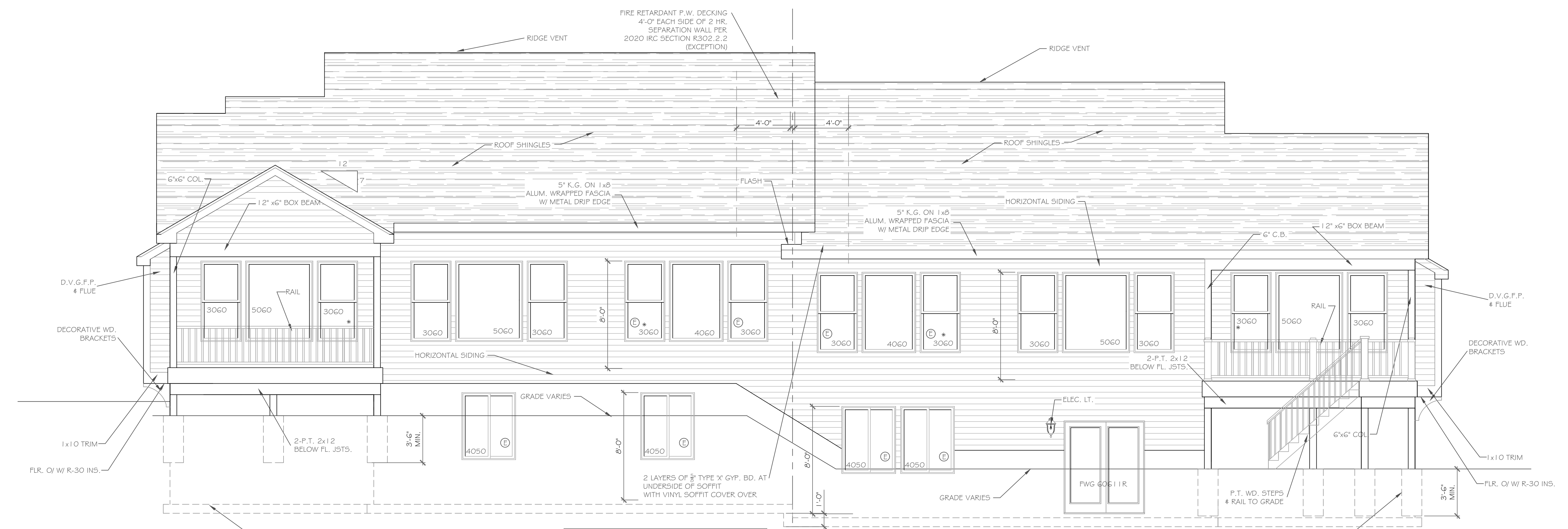
NO.	DATE	DESCRIPTION

PROJECT: Alpine Ridge - Units 29 & 30
 PITTSFORD, N.Y.
 CLIENT: Morrell Builders
 DRAWING TITLE: Front Elevation Units 29 & 30
 PHASE: Construction Documents
 DATE: September 14, 2022
 JOB NO.: A22-043

PROJECT: Alpine Ridge - Units 29 & 30
 PITTSFORD, N.Y.
 CLIENT: Morrell Builders
 DRAWING TITLE: Front Elevation Units 29 & 30
 PHASE: Construction Documents
 DATE: September 14, 2022
 JOB NO.: A22-043

CKH architecture
 1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontstreet.net

DRAWING NO. - A-1



REAR ELEVATION - LOT 29
1/4" = 1'-0"

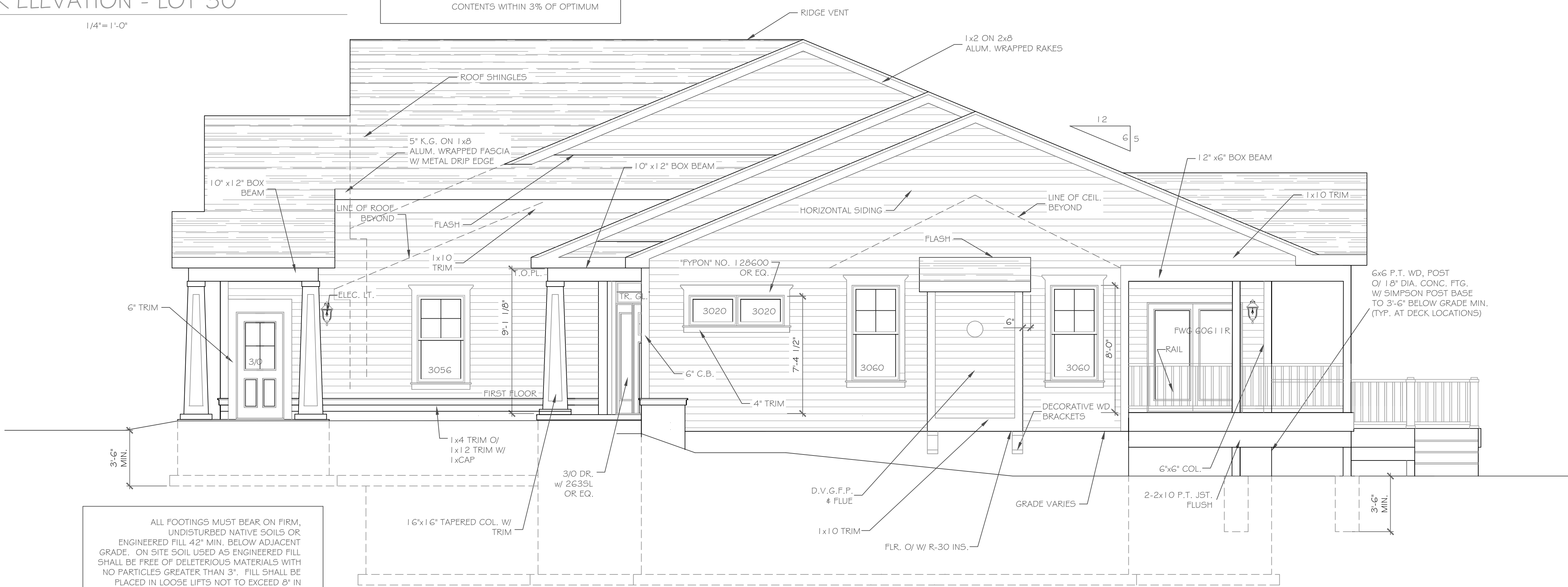
REAR ELEVATION - LOT 30
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
-HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

6x6 P.T. WD. POST @ 18" DIA. CONC. FTG. W/ SIMPSON POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)

6x6 P.T. WD. POST @ 18" DIA. CONC. FTG. W/ SIMPSON POST BASE TO 3'-6" BELOW GRADE MIN. (TYP. AT DECK LOCATIONS)



RIGHT SIDE ELEVATION - LOT 30
1/4" = 1'-0"

ALL FOOTINGS MUST BEAR ON FIRM, UNDISTURBED NATIVE SOILS OR ENGINEERED FILL 42" MIN. BELOW ADJACENT GRADE. ON SITE SOIL USED AS ENGINEERED FILL SHALL BE FREE OF DELETERIOUS MATERIALS WITH NO PARTICLES GREATER THAN 3". FILL SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8" IN DEPTH AND COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENTS WITHIN 3% OF OPTIMUM

HANDRAIL NOTES:
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-HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
**Rear Elevation
Lots 29 & 30**

PHASE:
Construction Documents

PROJECT:
**Alpine Ridge - Lots 29 & 30
Pittsford, N.Y.**

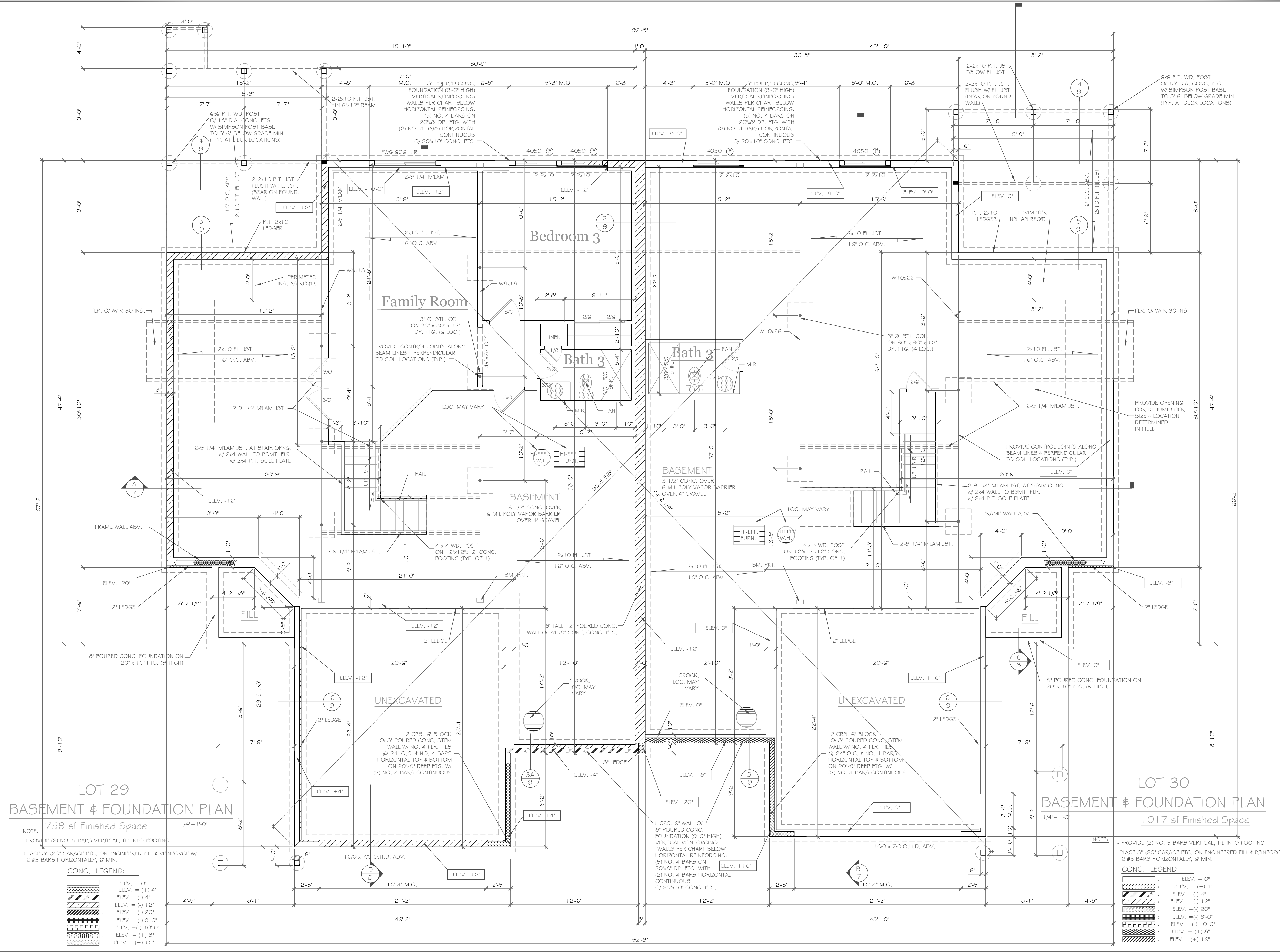
CLIENT:
Morrell Builders

JOB NO. -
A22-043

DATE:
September 14, 2022

CKH
architecture
1501 Pittsford Victor Road
Suite 100
Victor, New York 14564
phone: (585) 249-1334
e-mail: CKHennessey@frontier.net

DRAWING NO. -
A-2



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REVISIONS-	NO.	DATE	DESCRIPTION

DRAWING TITLE:
 Basement & Foundation Plan

PHASE:
 Construction Documents

PROJECT:
 Alpine Ridge - Units 29 & 30
 Pittsford, New York

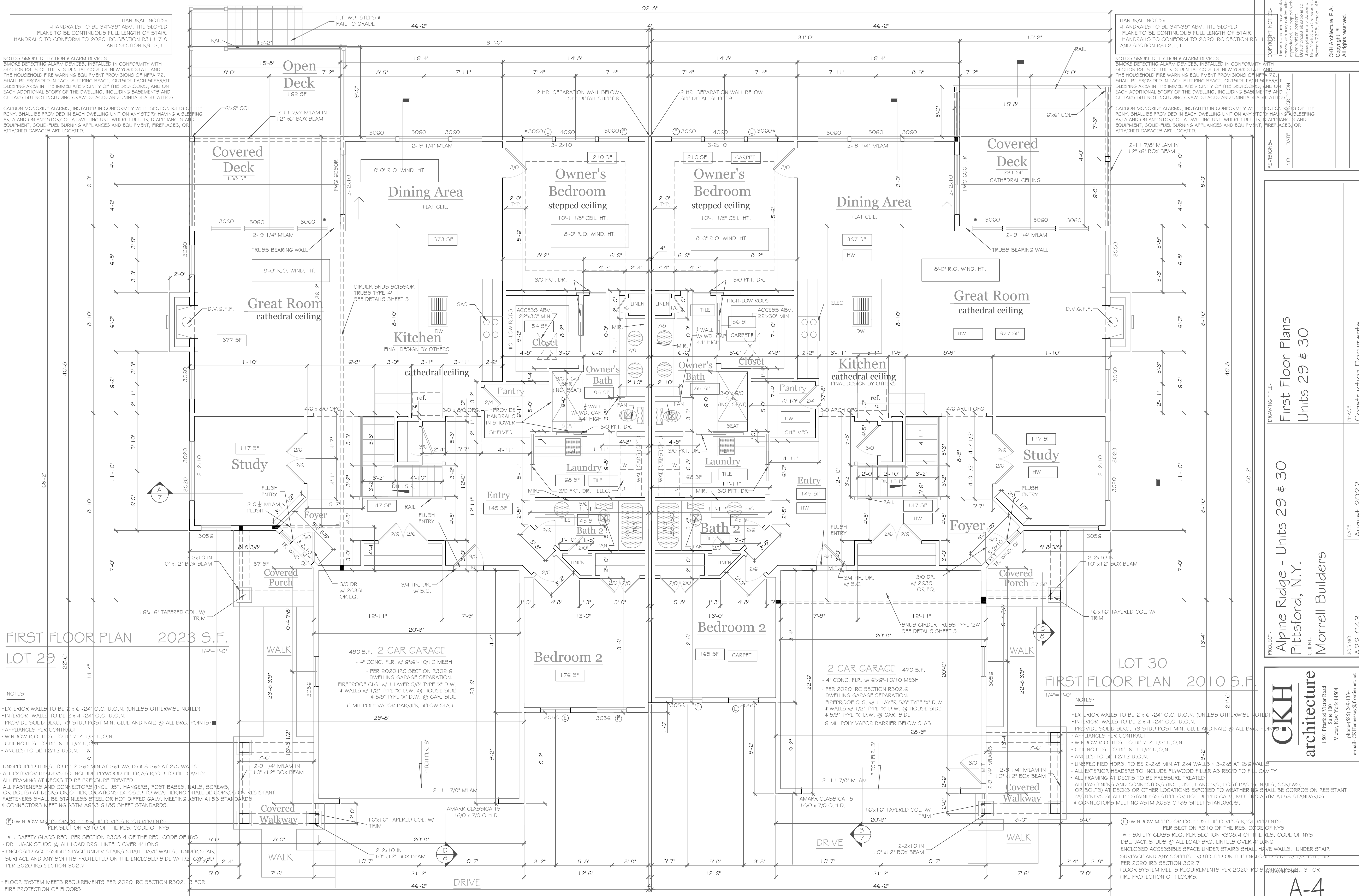
CLIENT:
 Morrell Builders

JOB NO.:
 A22-043

DATE:
 August 2022

CKH
 architecture
 1501 Pittsford Victor Rd.
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

DRAWING NO.:
 A-3



HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES- SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

HANDRAIL NOTES:
 -HANDRAILS TO BE 34"-38" ABV. THE SLOPED PLANE TO BE CONTINUOUS FULL LENGTH OF STAIR.
 -HANDRAILS TO CONFORM TO 2020 IRC SECTION R311.7.8 AND SECTION R312.1.1

NOTES- SMOKE DETECTION & ALARM DEVICES:
 SMOKE DETECTING ALARM DEVICES, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72, SHALL BE PROVIDED IN EACH SLEEPING SPACE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS, INSTALLED IN CONFORMITY WITH SECTION R313 OF THE RCNY, SHALL BE PROVIDED IN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA AND ON ANY STORY OF A DWELLING UNIT WHERE FUEL-FIRED APPLIANCES AND EQUIPMENT, SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES, OR ATTACHED GARAGES ARE LOCATED.

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REVISIONS:	NO.	DATE	DESCRIPTION

FIRST FLOOR PLAN 2023 S.F.
LOT 29

FIRST FLOOR PLAN 2010 S.F.
LOT 30

- NOTES:**
- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
 - ANGLES TO BE 12/12 U.O.N.
 - UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

- NOTES:**
- EXTERIOR WALLS TO BE 2 x 6 - 24" O.C. U.O.N. (UNLESS OTHERWISE NOTED)
 - INTERIOR WALLS TO BE 2 x 4 - 24" O.C. U.O.N.
 - PROVIDE SOLID BLKG. (3 STUD POST MIN. GLUE AND NAIL) @ ALL BRG. POINTS
 - APPLIANCES PER CONTRACT
 - WINDOW R.O. HTS. TO BE 7'-4" 1/2" U.O.N.
 - CEILING HTS. TO BE 9'-1" 1/8" U.O.N.
 - ANGLES TO BE 12/12 U.O.N.
 - UNSPECIFIED HDRS. TO BE 2-2x8 MIN. AT 2x4 WALLS & 3-2x8 AT 2x6 WALLS
 - ALL EXTERIOR HEADERS TO INCLUDE PLYWOOD FILLER AS REQ'D TO FILL CAVITY
 - ALL FRAMING AT DECKS TO BE PRESSURE TREATED
 - ALL FASTENERS AND CONNECTORS (INCL. JST. HANGERS, POST BASES, NAILS, SCREWS, OR BOLTS) AT DECKS OR OTHER LOCATIONS EXPOSED TO WEATHERING SHALL BE CORROSION RESISTANT. FASTENERS SHALL BE STAINLESS STEEL OR HOT DIPPED GALV. MEETING ASTM A153 STANDARDS & CONNECTORS MEETING ASTM A653 G185 SHEET STANDARDS.

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

© WINDOW MEETS OR EXCEEDS THE EGRESS REQUIREMENTS PER SECTION R310 OF THE RES. CODE OF NYS

- * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LITELS OVER 4' LONG
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" CSP, BD PER 2020 IRS SECTION 302.7

- * SAFETY GLASS REQ. PER SECTION R308.4 OF THE RES. CODE OF NYS
- DBL. JACK STUDS @ ALL LOAD BRG. LITELS OVER 4' LONG
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE W/ 1/2" CSP, BD PER 2020 IRS SECTION 302.7

* FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.18 FOR FIRE PROTECTION OF FLOORS.

* FLOOR SYSTEM MEETS REQUIREMENTS PER 2020 IRC SECTION R302.18 FOR FIRE PROTECTION OF FLOORS.

DRAWING TITLE:
First Floor Plans
Units 29 & 30

PROJECT:
 Alpine Ridge - Units 29 & 30
 Pittsford, N.Y.

CLIENT:
 Morrell Builders

DATE:
 August 2022

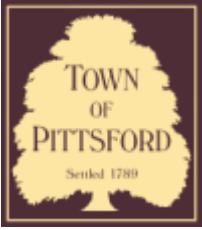
PHASE:
 Construction Documents

JOB NO.:
 A22-043

CKH
 architecture

1501 Pittsford Victor Road
 Suite 100
 Victor, New York 14564
 phone: (585) 249-1334
 e-mail: CKHennessey@frontiernet.net

A-4



Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Permit #
S22-000009

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 3660 Monroe Avenue PITTSFORD, NY 14534

Tax ID Number: 151.13-1-23

Zoning District: B Residential

Owner: Pittsford Garden, LLC

Applicant: Pittsford Garden, LLC

Application Type:

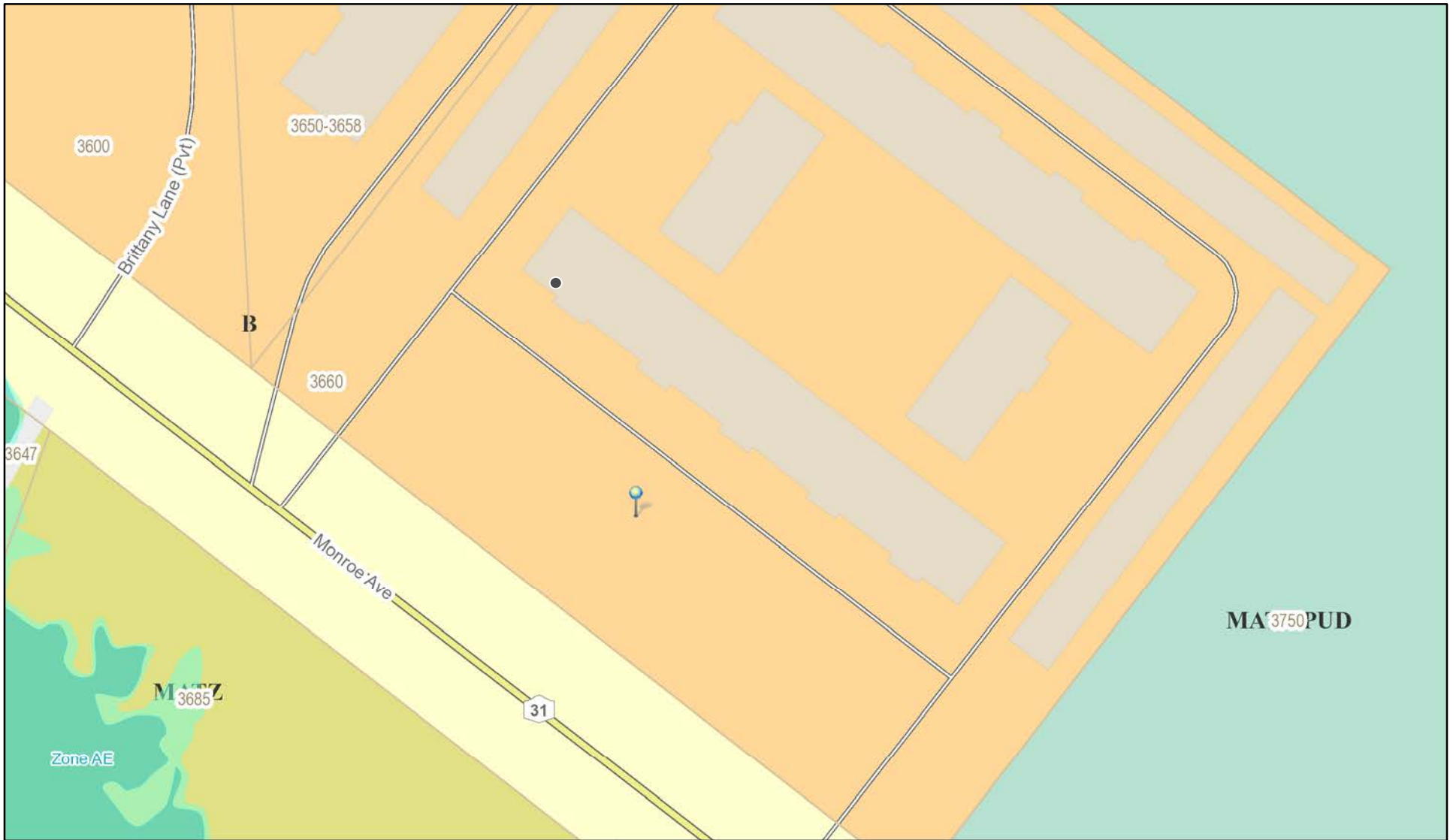
- | | |
|---|---|
| <input type="checkbox"/> Residential Design Review
§185-205 (B) | <input type="checkbox"/> Build to Line Adjustment
§185-17 (B) (2) |
| <input type="checkbox"/> Commercial Design Review
§185-205 (B) | <input type="checkbox"/> Building Height Above 30 Feet
§185-17 (M) |
| <input checked="" type="checkbox"/> Signage
§185-205 (C) | <input type="checkbox"/> Corner Lot Orientation
§185-17 (K) (3) |
| <input type="checkbox"/> Certificate of Appropriateness
§185-197 | <input type="checkbox"/> Flag Lot Building Line Location
§185-17 (L) (1) (c) |
| <input type="checkbox"/> Landmark Designation
§185-195 (2) | <input type="checkbox"/> Undeveloped Flag Lot Requirements
§185-17 (L) (2) |
| <input type="checkbox"/> Informal Review | |

Project Description: Applicant is requesting design review to replace existing ground sign with a new 25 SF sign that is same size and same setback as existing sign.

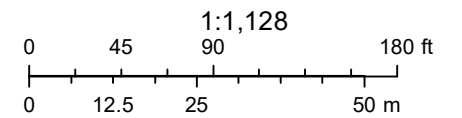
Meeting Date: September 22, 2022



RN Residential Neighborhood Zoning



Printed August 31, 2022



Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.



Britany Ln

Monroe Ave

Parking lot

Monroe Ave

AE

AE

04/03/2021

AE

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MORGAN PROPERTIES MC CONVERSION: PITTSFORD GARDEN



SIGN SUMMARY

- 1 MAIN ID SIGN
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10

Bartush Signs
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311
E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

MAIN ID SIGN

QUANTITY (1)



SIGN ZONING RECAP:

EXISTING SIGN:
5'-9" OVERALL HEIGHT
SIGN AREA: 24.5 SF
EXTERNAL ILLUMINATION

REPLACEMENT SIGN:
6'-0" OVERALL HEIGHT
SIGN AREA: 24.5 SF
INTERNAL ILLUMINATION

NO CHANGE TO: SIGN LOCATION OR
SIGN SETBACKS

Client:

MORGAN PROPERTIES
PITTSFORD GARDEN
APARTMENT HOMES

Location:

3660 MONROE AVENUE
PITTSFORD NY 14534

Date:

07-18-22 09-02-22
08-08-22

Dwg. By:

RBC

Dwg No:

PGAH0718224112

DWG# 2 OF 5

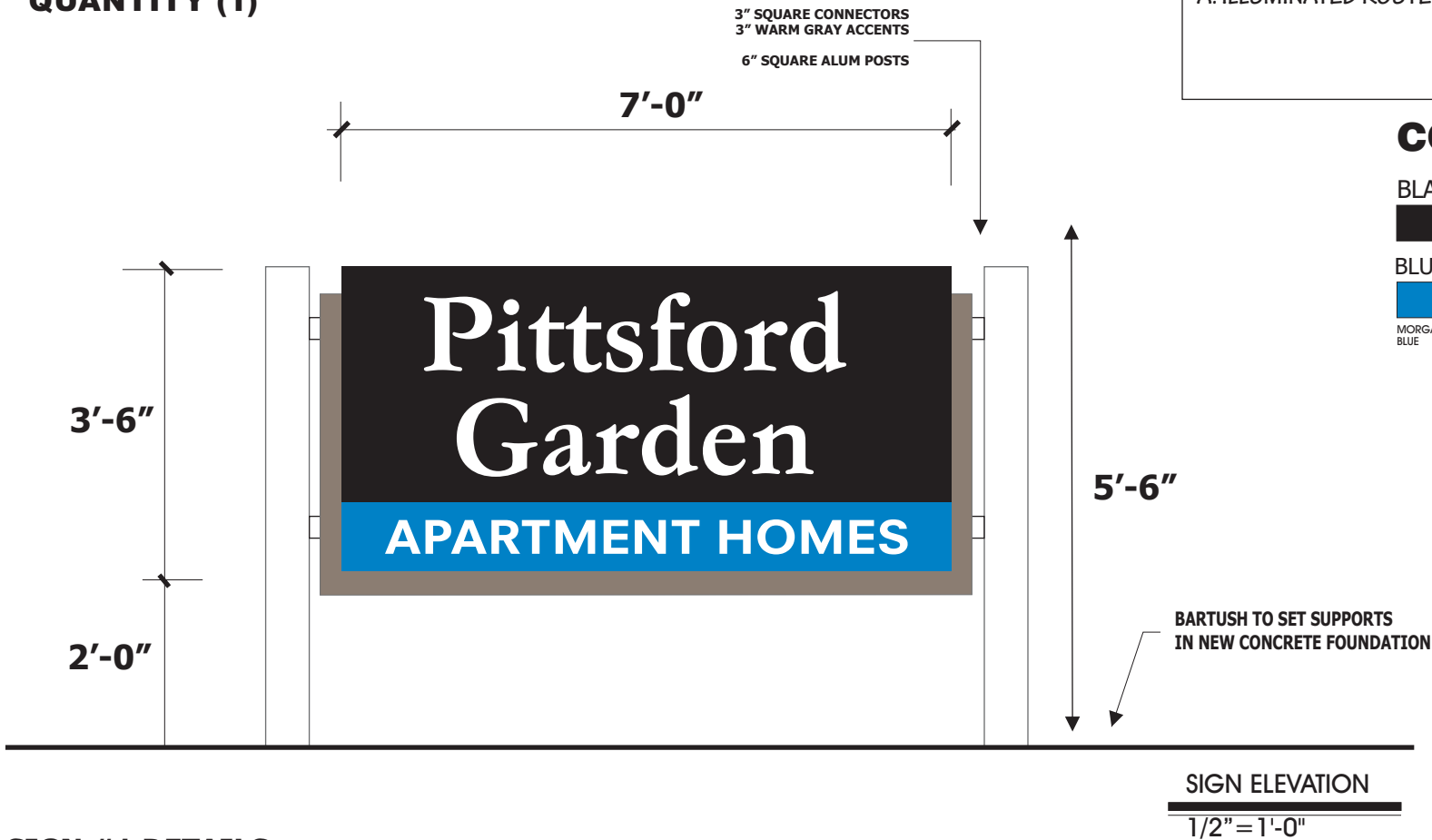
Bartush
Signs
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

MAIN ID SIGN

QUANTITY (1)



SIGN CABINET OPTIONS

A. ILLUMINATED ROUTED PUSHED THRU

COLORS FOR SIGN

BLACK



WHITE



GRAY



PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES
BLUE

SILVER/ALUMINUM



SIGN #1 DETAILS -

FABRICATE & INSTALL (1) NEW REPLACEMENT DF FS FREESTANDING ID SIGN; MAINTAIN SAME LOCATION + ORIENTATION;

REMOVE THE EXISTING POST & PANEL SIGN & DISPOSE OF SAME;

REPLACEMENT SIGN TO BE FABRICATED ALUMINUM; TO BE DOUBLE SIDED; SIGN FACE OPTIONS: SEE BOX IN UPPER RIGHT;

ELECTRICAL WORK BY CUSTOMER;

DISPOSAL OF ANY EXCAVATED EARTH TO BE ON CUSTOMER'S SITE;

Client:

MORGAN PROPERTIES
PITTSFORD GARDEN
APARTMENT HOMES

Location:

3660 MONROE AVENUE
PITTSFORD NY 14534

Date:

07-18-22 09-02-22
08-08-22

Dwg. By:

RBC

Dwg No:

PGAH0718224112

DWG# 3 OF 5

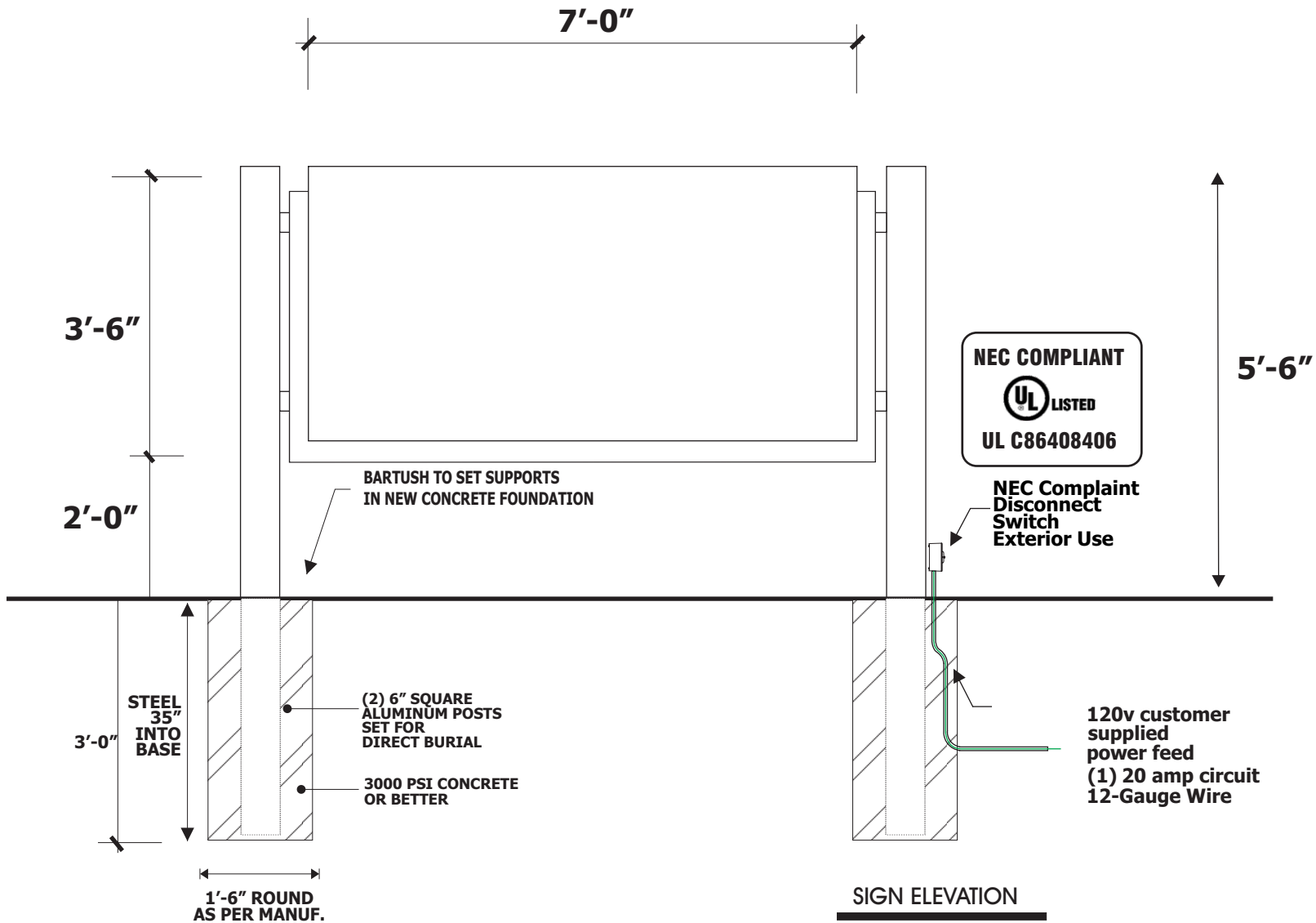
Bartush
Signs
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

MAIN ID SIGN

QUANTITY (1)



Client: MORGAN PROPERTIES
PITTSFORD GARDEN
APARTMENT HOMES

Location: 3660 MONROE AVENUE
PITTSFORD NY 14534

Date: 07-18-22 09-02-22
08-08-22

Dwg. By: RBC

Dwg No: PGAH0718224112

DWG# 4 OF 5

Bartush Signs
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

MAIN ID SIGN

QUANTITY (1)



Client:
MORGAN PROPERTIES
PITTSFORD GARDEN
APARTMENT HOMES

Location:
3660 MONROE AVENUE
PITTSFORD NY 14534

Date:
07-18-22 09-02-22
08-08-22

Dwg. By:
RBC

Dwg No:
PGAH0718224112

DWG# 5 OF 5

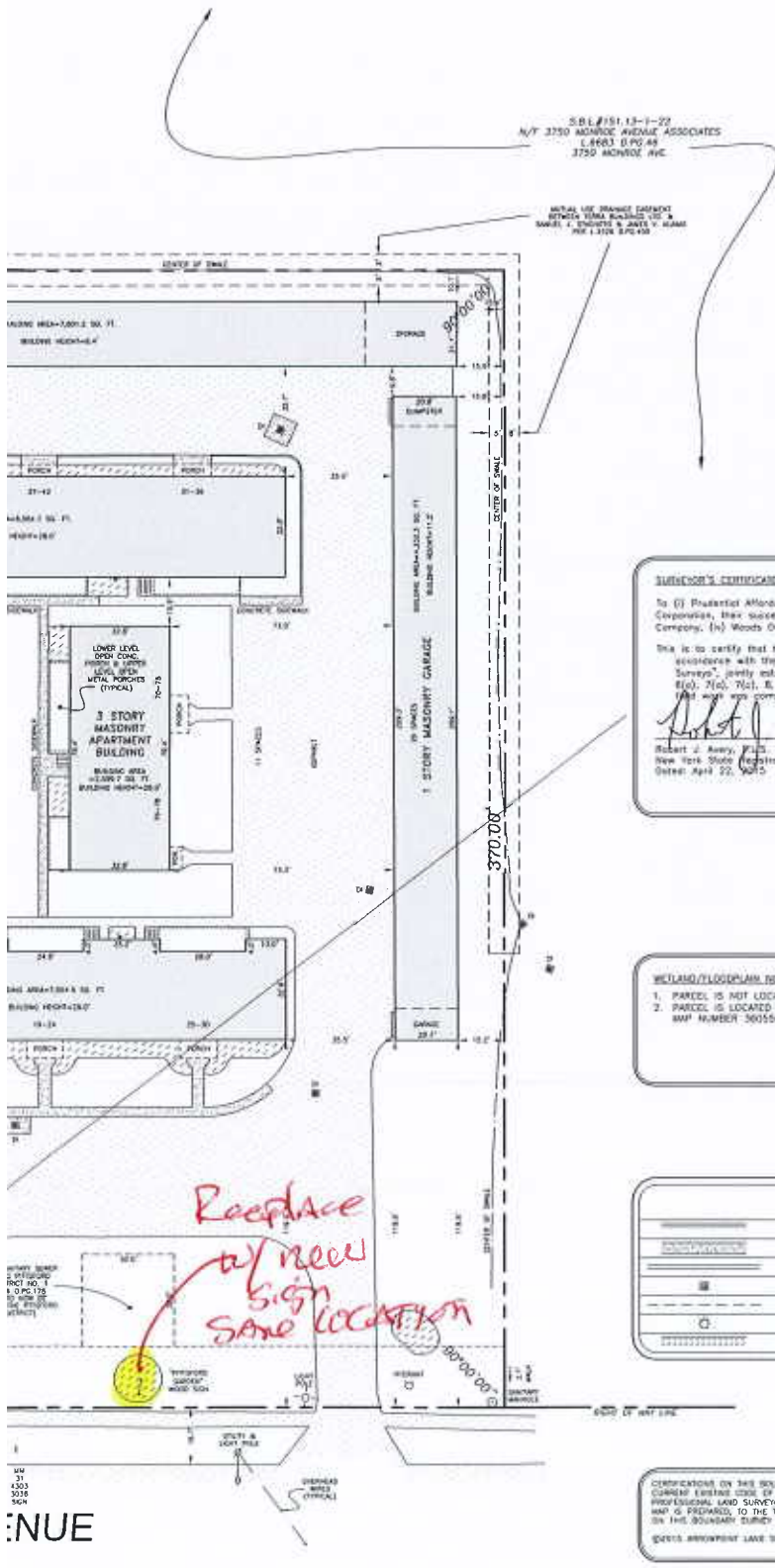
**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

5.
 OWN LOT BE
 DATED
 SURTANTS,

00213
 1. PROPERTY IS SUBJECT TO A 120' FEET BUILDING SETBACK RESTRICTION AS SET FORTH IN USER 2000
 OF DECDS. PAGE 518



SURVEYOR'S CERTIFICATE
 To (1) Prudential Affordable Mortgage Company, LLC, and Federal Home Loan Mortgage Corporation, their successors and assigns, (2) Pittsford Garden LLC, (3) Stewart Title Insurance Company, (4) Woods Grant Gilman LLP.
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM (and Title Surveys), jointly established and adopted by the ALTA and NSPS, and includes Items 2, 3, 4, 8(a), 7(c), 7(d), 8, 9 (parking striping need not be shown), 10(c), 11(a), 18 and 20(a). The map was completed on April 8, 2015.
Robert J. Avery
 Robert J. Avery, PLS
 New York State Registration No. 043743
 Dated: April 22, 2015

WETLAND/FLOODPLAIN NOTES
 1. PARCEL IS NOT LOCATED IN FEDERAL WETLANDS OR NEW YORK STATE WETLANDS.
 2. PARCEL IS LOCATED IN ZONE X (AREA OF ANIMAL FLOODING) PER FLOOD INSURANCE RATE MAP, MAP NUMBER 3005500357D, EFFECTIVE DATE AUGUST 29, 2008.

LINE & SYMBOL LEGEND

	ASPHALT		LOW WALL
	CONCRETE		OVERHEAD WIRES
	CLAYING		PROPERTY BOUNDARY LINE
	DRAIN TIE		MANHOLE
	EASEMENT LINE		SEAM
	HYDRANT		UTILITY POLE
	LANDSCAPING AREA		WATER VALVE

CERTIFICATION ON THIS BOUNDARY SURVEY MAP THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT ETHICS CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THE BOUNDARY SURVEY MAP. THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.
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ALTA/ACSM LAND TITLE SURVEY
 PROJECT
 "PITTSFORD GARDEN APARTMENTS"
 LANDS OF PITTSFORD GARDEN APARTMENTS, LLC
 BEING PART OF TOWN LOTS 24 & 62 IN TOWNSHIP 12, RANGE 5, PHELPS AND CORHAM PURCHASE, SITUATE IN THE TOWNSHIP OF PITTSFORD, COUNTY OF MONROE, STATE OF NEW YORK
 LOCATION
 3750 MONROE AVENUE, PITTSFORD, NEW YORK 14534
 CURVE
 PLOT 0401 CURVE L.L.# 200 CROSSROADS B.L.C., 1 STATE ST. ROCHESTER, NY 14614



NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			

GRAPHIC SCALE: 1" = 30'

DRAWING ALTERATION NOTICE
 THE FOLLOWING IS A SUMMARY OF ALL ALTERATIONS TO THIS DRAWING SINCE THE DATE OF THE ORIGINAL SURVEY. IF YOU ARE A PARTY TO THIS SURVEY AND YOU HAVE MADE ANY ALTERATIONS TO THIS DRAWING SINCE THE DATE OF THE ORIGINAL SURVEY, YOU SHOULD CHECK THE DATE OF THE ORIGINAL SURVEY AND THE DATE OF THE ALTERATION. IF YOU HAVE MADE ANY ALTERATIONS TO THIS DRAWING SINCE THE DATE OF THE ORIGINAL SURVEY, YOU SHOULD CHECK THE DATE OF THE ORIGINAL SURVEY AND THE DATE OF THE ALTERATION. IF YOU HAVE MADE ANY ALTERATIONS TO THIS DRAWING SINCE THE DATE OF THE ORIGINAL SURVEY, YOU SHOULD CHECK THE DATE OF THE ORIGINAL SURVEY AND THE DATE OF THE ALTERATION.

SCALE	1" = 30'
DATE	04/08/15
SHEET	1 of 1
PROJECT NO.	07-0970
FILE NAME	ALTA/ACSM/0401/0401.dwg
DRAWN BY	SAC
CHECKED BY	RLA

INUE