Design Review & Historic Preservation Board
Agenda
July 14, 2022

HISTORIC PRESERVATION DISCUSSION

BUILDING INSPECTOR REMARKS

RESIDENTIAL APPLICATION FOR REVIEW

- **71 Reitz Parkway**
  The Applicant is requesting design review for an addition of a 446sf master bedroom addition, renovation of their 3 season room to a 4 season room, and addition of a roof over the front porch.

- **17 Northfield Gate**
  The Applicant is requesting design review for an addition of a 150 sf addition off the southwest corner of the existing house.

- **57 Shire Oaks**
  The applicant is requesting design review for an addition of a 255 sf front porch deck on the front entry way of the property.

- **81 Knickerbocker Road**
  The applicant is requesting design review for an addition of a 683 sf worth of additions including, Phase 1: second floor renovations including new roof line for master bedroom and bath. Remodel 2 existing baths and relocate laundry. Phase 2: including front bump out/entry way and moving kitchen, rebuilding and adding to sunroom in back.

- **111 Mill Road**
  The applicant is requesting design review for an addition of a 436 sf addition off the back of the existing house.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **54 Coventry Ridge**
  Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 4342 square feet of livable area and is located in the Coventry Ridge Subdivision.

COMMERCIAL APPLICATION FOR REVIEW – COMMERCIAL

- **3500 East Ave - Garages**
  Applicant is requesting design review for the construction of 2 detached garages, 2490 sq ft per garage, that will be located on the Kilbourne Place on East property.

DEMOLITION AND RESIDENTIAL APPLICATION FOR REVIEW - RETURNING

- **93 Kilbourn Road**
  In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 93 Kilbourn Road is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 2,220 +/- square foot home at 93 Kilbourn Road and rebuild a new 5,400 +/- square foot single family home on the property. Tax Parcel No. 138.13-3-8. This property is Zoned Residential Neighborhood (RN).

Design Review and Historic Preservation Board
Minutes
June 23, 2022

PRESENT
Dirk Schneider, Chairman; David Wigg, Vice Chairman; Jim Vekasy, Kathleen Cristman, Bonnie Salem, John Mitchell, Paul Whitbeck

ALSO PRESENT
Robert Koegel, Town Attorney; Bill Zink, Building Inspector; Anthony Caruso, Building Inspector; Susan Donnelly, Secretary to the Board

HISTORIC PRESERVATION DISCUSSION

The Board discussed historical marker will be installed once the paint is procured for the pole to match the sign.

The Board requested that the Board Secretary communicate with the Town Communications Director about pursuing the website project regarding posting information on Historic Designated homes and report back at a future meeting.

BUILDING INSPECTOR REMARKS

Bill Zink addressed the audience regarding protocol for approaching the Board and information on the next steps regarding approved applications.

RESIDENTIAL APPLICATION FOR REVIEW – NEW HOMES

- **2 Rockdale Meadows (Lot 21)**
  The Applicant is requesting design review for the construction of a one story single family home. The home will be approximately 2866 square feet.

  Austin Miller of Rockdale Meadows Construction Corporation was present to discuss the application with the Board.

  This is the last patio home in the development. It will feature an end load garage and a walkout basement. This home features 3 materials on the front elevations but is similar to others in the area. There will be no stone return on the front elevation as there are corner boards detailed in the design.

  Paul Whitbeck moved to approve the application as submitted.

  John Mitchell seconded.

  All Ayes.

- **52 Nature View**
  The Applicant is requesting design review for the construction of a two story single family home. The home will be approximately 2023 square feet.

  George Masi of Mascot Builders was in attendance.

  This home will feature vinyl siding with decorative brick veneer or cultured stone on the front elevation.

The Board drew attention to the cantilevered fireplace and the massing of the left side of the rear elevation. They would like to see a window added to match the other small window closest to the left side of that elevation.

Dirk Schneider moved to approve the application as submitted with the following conditions:
1. Two brackets to be added below the fireplace if the grade is lower than 24".
2. A double hung window to be added at the garage rear elevation.

COMMERCIAL APPLICATION FOR REVIEW – SIGNAGE

- **3349 Monroe Avenue - Asurion**
  The Applicant is requesting design review for the addition of an approximately 14.94 SF sign for a tech repair shop.

  Kirk Wright was present to represent Sign and Lighting Services.

  The sign which will feature illuminated channel letters was reviewed by the Board and determined to be in keeping with the Plaza.

  Bonnie Salem moved to approve the application as submitted.

  David Wigg seconded.

  All Ayes.

DEMOLITION AND RESIDENTIAL APPLICATION FOR REVIEW

- **4000 East Avenue**
  In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 4000 East Avenue is requesting approval from the Design Review and Historic Preservation Board to demolish the existing "Caretaker home" and rebuild a new guest house on the same footprint. Tax Parcel No. 151.06-2-45. This property is Zoned Residential Neighborhood (RN).

  Dirk Schneider opened the Public Hearing.

  Chuck Smith of Design Works Architecture was in attendance.

  The proposal is to demolish a guest house and build a similar structure on this property. The guest house that is proposed to be demolished is on the site of a home which was built in 1972. The foundation is unstable and the structure is in poor condition and not adequate to for use as a renovated structure. The Board asked for documentation of this in order to approve a demolition.

  Documents submitted show that this structure may have been part of a hotel compound which was built prior to 1936 and has since been demolished. Bonnie Salem noted it would be important to archive these documents. Mr. Smith indicated that old stone walks have been discovered on the property and are proposed to be restored.

  The new guest house is proposed to be of the same footprint of the old structure with the intent to match the current height. A new garage/garden shed and courtyard is also proposed to be constructed in conjunction with the new guest house. A variance per Town Code will be required from the Zoning Board of Appeals for a structure exceeding 180 sq. ft.

  Bonnie Salem requested documentation of the on the property to see if the proposed design is compatible with the current structure.

Robert Koegel reminded the Board that any demolition approval must go hand in hand with the approval of a proposed structure, therefore the demolition approval should not be voted on until the Board can review and deliberate on all the requested documentation.

There was no public comment.

This hearing remains open pending the submission of further information.

- **93 Kilbourn Road**
  In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 93 Kilbourn Road is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 2,220 +/- square foot home at 93 Kilbourn Road and rebuild a new 5,400 +/- square foot single family home on the property. Tax Parcel No. 138.13-3-8. This property is Zoned Residential Neighborhood (RN).

  Dirk Schneider opened the Public Hearing.

  Dan DeLaus, attorney for the homeowners, discussed with the Board that his clients had not uncovered any information that the structure at 93 Kilbourn has any historical significance. Mr. Delaus referenced the Town Code regarding Design Review in regards to excessive similarity or dissimilarity and detriment to the neighborhood caused by any new structure. He shared with the Board that a previous two-story design had been withdrawn by the homeowner in an effort to develop a structure more compatible with the Kilbourn neighborhood. A discussion ensued about what the definition of this particular neighborhood is. Mr. DeLaus expressed his opinion that this design would enhance this neighborhood and it would not prove detrimental.

  Robert Koegel, attorney for the Town of Pittsford, reviewed the standards of the recently enacted demolition code stating that the new construction must meet the standards of that for demolition and the Board's role is to determine what impact the new home would have on the neighborhood. Furthermore, the Board has the discretion to determine what the definition of the neighborhood is.

  Al Arilotta, architect for the homeowners, discussed his opinion that from the road the house will blend in with the height of the homes in the neighborhood. Mr. Arilotta referred an illustration presented to the Board (A-4) during the meeting demonstrating the current and proposed front elevations of the new structure.

  Christine Giangreco, homeowner and designer, described the proposed structure as a one-story white stucco home with a 3 car courtyard style garage featuring dark wood carriage doors. Russ Giangreco described their justification for the three-car garage including their desire not to have multiple cars in the driveway. An email from a neighbor residing at 113 Kilbourn Road was provided to the Board from the Giangreco's indicating he had no objection to the project. An updated plot map was also provided from the homeowners to the Board at this meeting indicating there is no need for a variance for a side setback. Ms. Giangreco discussed the potential for planting arbor vitae to buffer the neighbor's view of the new home.

  Kathleen Cristman asked to review the reason for the demolition. It was discussed how the current home does not meet the homeowner's need for 4 bedrooms when they are hosting company. The need for asbestos abatement was also discussed.

  The Board discussed the plans and facts presented to them. Dirk Schneider discussed that the new plan more than doubles the current footprint. He stated that the garage in front, despite the courtyard design, points to dissimilarity in the neighborhood. He felt the siding is a departure from the neighborhood but held some interest as a material. Bonnie Salem indicated that she would like to review a comparison of the sizes of other homes in the neighborhood. A discussion of sizes and square footage of other homes in the neighborhood was then held. It was noted that this property at 93 Kilbourn Road has more acreage than some and lot sizes vary on the street.

Dirk Schneider called for public comment.

Ray Siefert of 103 Kilbourn Road, the immediate next door neighbor, referred to photographs submitted to the Board of his backyard and discussed the impact this new larger structure would have on his property. He feels the length of the home will block his view and would be detrimental to his property.

Richard Morton of 50 Kilbourn Road spoke regarding traffic concerns during construction and the upcoming PGA Tournament in May of 2023.

Bonnie Salem indicated that her opinion is that the Board needs time to consider what they have heard. Robert Koegel indicated that the Board should consider providing a list of concerns to the applicants to give them an opportunity to consider any changes based on feedback from the Board.

While the Board appreciated the effort of the one story design, further discussion of concerns by the Board included the following:

1. The home will be a disruption of the view for the neighbors.
2. The character of the neighborhood is being chipped away in favor of newer, larger homes.
3. The home is too large for this neighborhood; the homeowner should consider decreasing the size of the footprint.
4. A two-car garage could be a consideration to decrease the size.

The Board referenced another home demolition prior to the new demolition law being enacted where the homeowners considered and complied with the Board's input and felt that some revision is also appropriate in this case.

It was determined that this hearing should be left open to give the applicant some time to consider their submission given the Board's remarks before it is put to a vote.

REVIEW OF MINUTES OF JUNE 9, 2022 MEETING

Bonnie Salem moved to accept the minutes of the June 9, 2022 meeting as written.

Kathleen Cristman seconded.

All Ayes.

ADJOURNMENT

Dirk Schneider moved to close the meeting at 8:26 pm.

All Ayes.

Respectfully submitted,

Susan Donnelly
Secretary to the Design Review and Historic Preservation Board

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000102

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 71 Reitz PITTSFORD, NY 14534
Tax ID Number: 164.11-2-60
Zoning District: RN Residential Neighborhood
Owner: Chin, Kenneth T
Applicant: Chin, Kenneth T

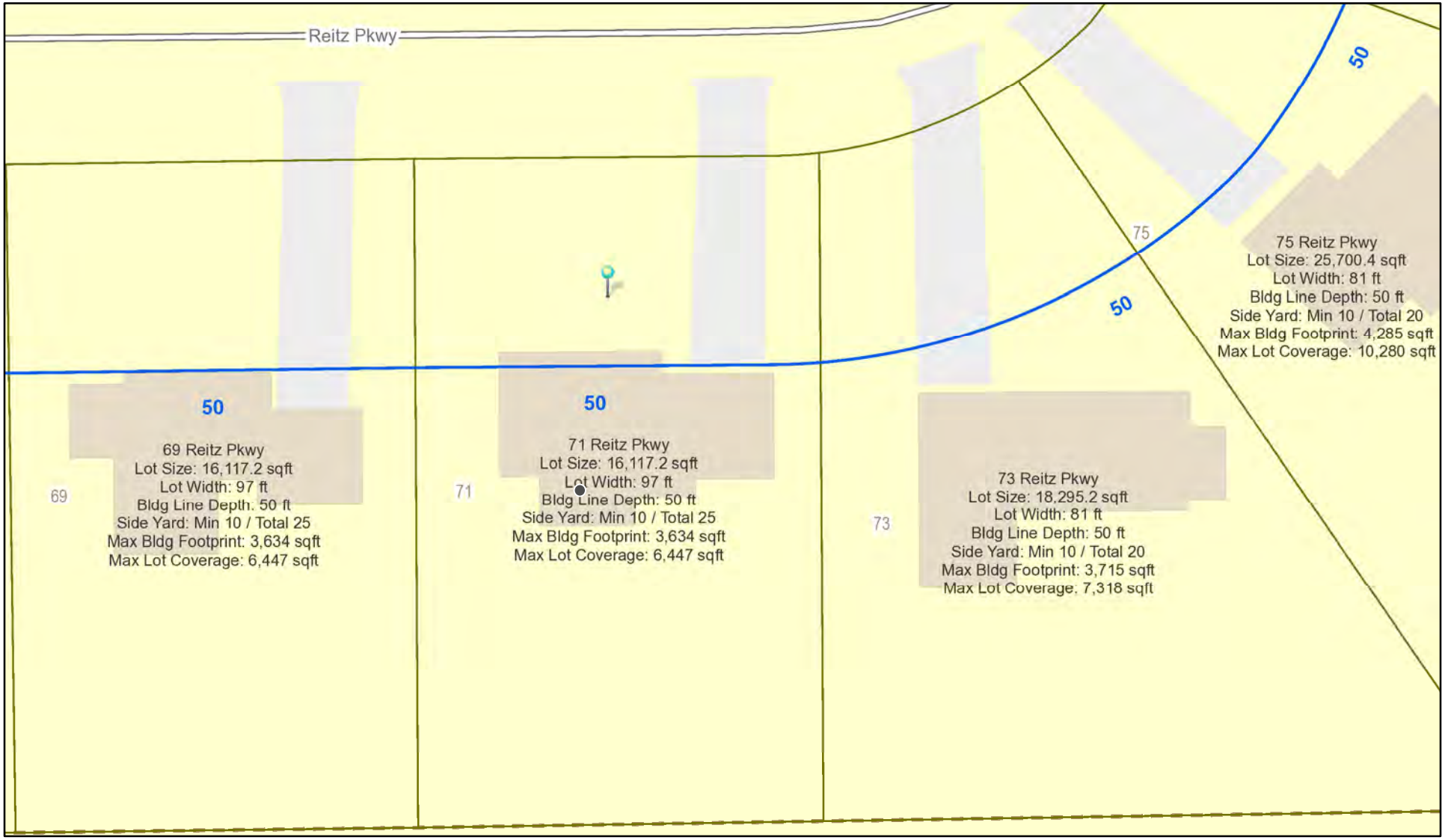
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The applicant is requesting design review for an addition of a 446sf master bedroom addition, renovation of their 3 season room to a 4 season room, and addition of a roof over the front porch.

Meeting Date: July 14, 2022

RN Residential Neighborhood Zoning



Printed June 28, 2022

1:564

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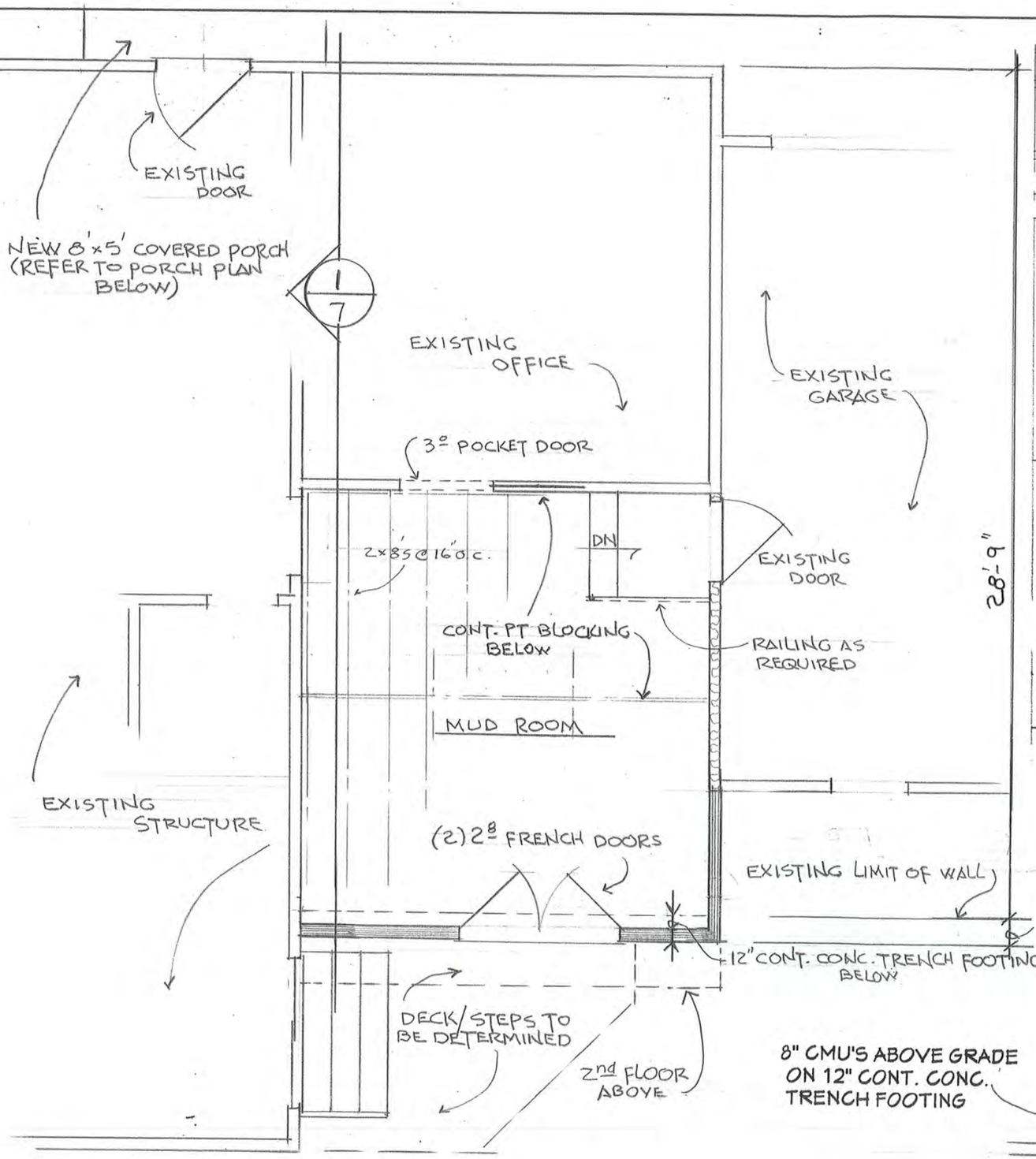
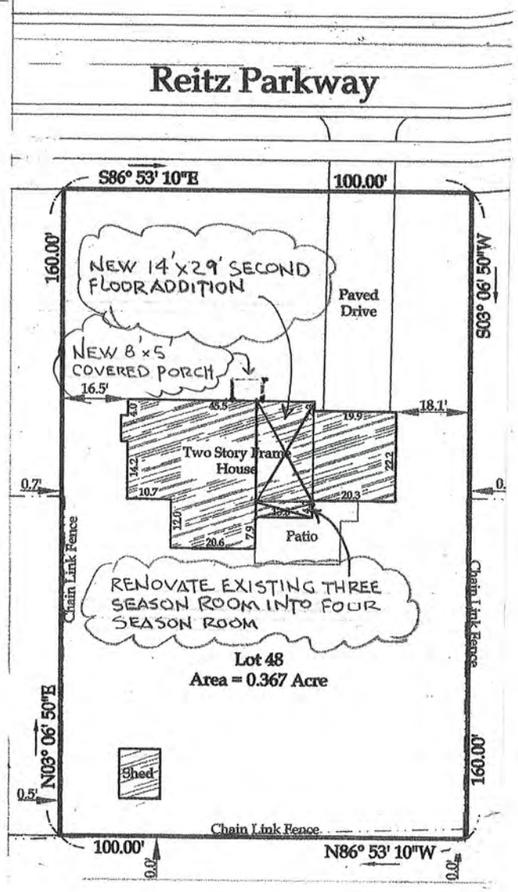
0 5 10 20 m

Town of Pittsford GIS

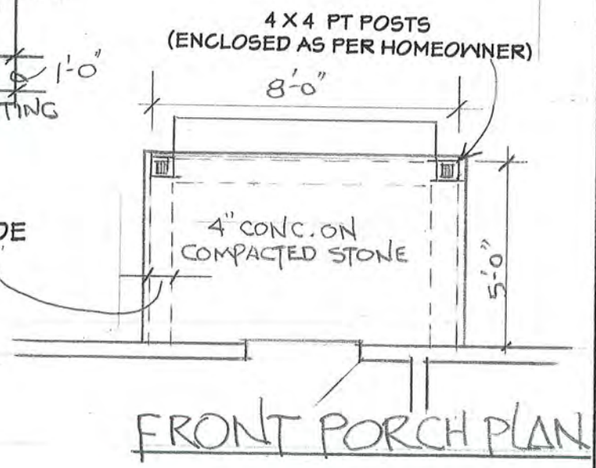

N
Reitz Pkwy
04/03/2021
© All Pictometry



FIRST FLOOR PLAN 1/4"=1'-0"



SITE PLAN



FRONT PORCH PLAN

THOMAS R. DOUGHTY
ARCHITECT, P.C.

4 WOODBRIAR LANE
ROCHESTER, NY 14624

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REGISTERED ARCHITECT
THOMAS R. DOUGHTY
016935
STATE OF NEW YORK

DATE: 12-17-2020

SCALE:

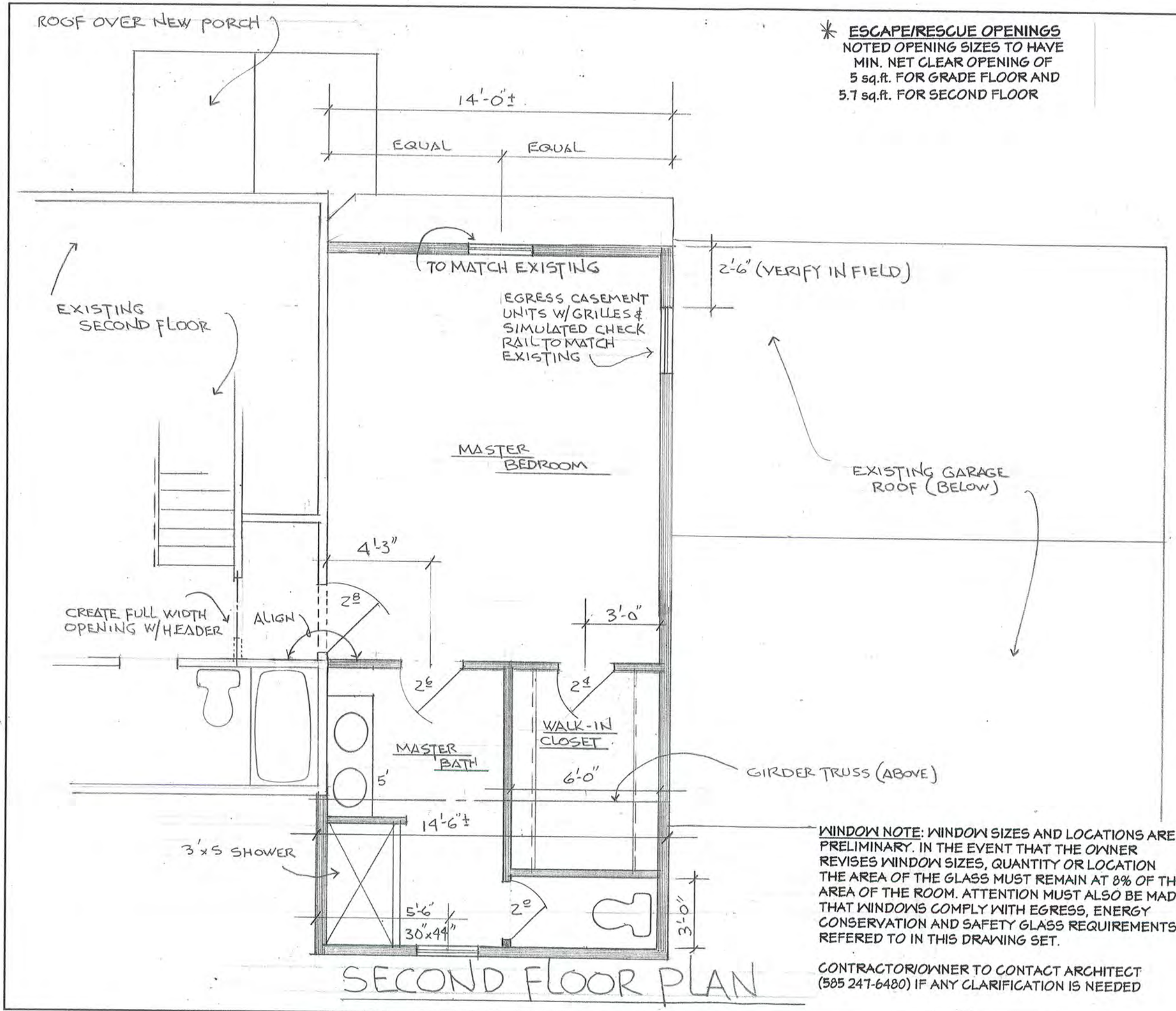
REVISIONS
1/20/2021
5/19/2022
6/10/2022

PROJECT
Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE
SITE PLAN & FIRST FLOOR PLAN

SHEET NUMBER
1 OF 7



SECOND FLOOR PLAN

✳ **ESCAPE/RESCUE OPENINGS**
NOTED OPENING SIZES TO HAVE MIN. NET CLEAR OPENING OF 5 sq.ft. FOR GRADE FLOOR AND 5.7 sq.ft. FOR SECOND FLOOR

WINDOW NOTE: WINDOW SIZES AND LOCATIONS ARE PRELIMINARY. IN THE EVENT THAT THE OWNER REVISES WINDOW SIZES, QUANTITY OR LOCATION THE AREA OF THE GLASS MUST REMAIN AT 8% OF THE AREA OF THE ROOM. ATTENTION MUST ALSO BE MADE THAT WINDOWS COMPLY WITH EGRESS, ENERGY CONSERVATION AND SAFETY GLASS REQUIREMENTS REFERED TO IN THIS DRAWING SET.

CONTRACTOR/OWNER TO CONTACT ARCHITECT (585 247-6480) IF ANY CLARIFICATION IS NEEDED

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REGISTERED ARCHITECT
THOMAS R. DOUGHTY
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STATE OF NEW YORK

DATE: 12-17-2020

SCALE: 1/4"=1'-0"

REVISIONS
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6/10/2022

PROJECT

Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE

SECOND FLOOR PLAN

SHEET NUMBER

2 OF 7

EXISTING CONDITIONS

THESE DRAWINGS HAVE BEEN DEVELOPED FROM OWNER INPUT AND READILY VISIBLE EXISTING CONDITIONS. EXISTING CONDITIONS THAT WERE NOT VERIFIED SUCH AS FOUNDATIONS, ROOF STRUCTURE, HEADERS, ETC. HAVE BEEN ASSUMED TO BE DESIGNED AND INSTALLED AS PER BUILDING CODES AT THE TIME OF INSTALLATION AND AS PER COMMON CONSTRUCTION PRACTICES.

VALUE ENGINEERING

ARCHITECT WELCOMES INPUT FROM CONTRACTOR (S) ON OPPORTUNITIES FOR *VALUE ENGINEERING* (ANALYZING *COST VS VALUE* AND ALTERNATIVE MATERIALS / METHODS). ALL CONTRACTOR INPUT SHALL BE IN WRITING AND APPROVED BY ARCHITECT BEFORE REVISION MAY BE IMPLIMENTED

SMOKE DETECTORS

SMOKE DETECTORS SHALL BE INSTALLED IN THE ADDITION AS WELL AS IN THE EXISTING STRUCTURE AS FOLLOWS: IN EACH BEDROOM, OUTSIDE THE BEDROOM AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN THE BASEMENT AND ADDITIONAL AREAS AS REQUIRED SO EACH STORY SHALL HAVE AT LEAST ONE SMOKE DETECTOR. IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT.

CARBON MONOXIDE ALARMS

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE EXISTING STRUCTURE AS FOLLOWS: IN EVERY STORY (INCLUDING BASEMENT). IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT. ALARMS SHALL NOT BE LOCATED IN OR NEAR LOCATIONS SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

FRONT ELEVATION

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1/20/2021 REVISIONS
6/10/2022

PROJECT

Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE

FRONT ELEVATION

SHEET NUMBER

3 OF 7

MISC. NOTES

Owner to specify interiors as required (floor covering, wall covering, moldings, interior doors, etc.)

All penetrations in the building envelope shall be sealed (caulked, weather-stripped, etc.)

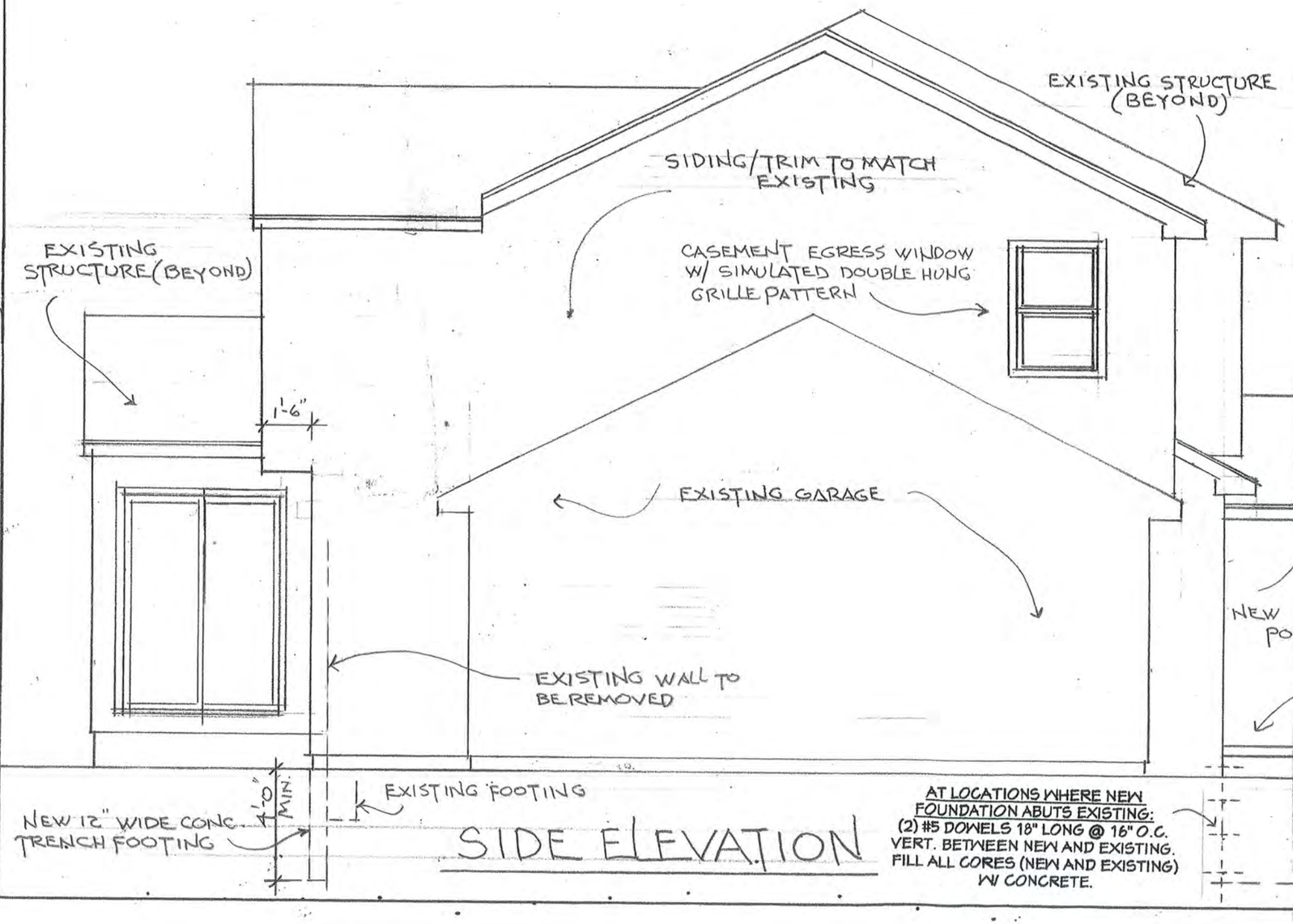
Seamless aluminum gutters and downspouts to be provided for positive drainage away from foundation

Provide required flashing to meet or exceed acceptable common building practice where required and at roof changes, horizontal abutments, projections, valleys, openings...etc.

All glass located within 18" of floor, 24" of door swing or located within 60" off floor at bathtubs, whirpools, showers, saunas, steam rooms, or hot tubs shall be tempered

All exposed insulation shall have a flame spread rating less than 25 and a smoke density rating less than 450

Contractor to coordinate all closet shelving and cabinetry requirements



SIDE ELEVATION

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REVISIONS
1|21|2021
6|10|2022

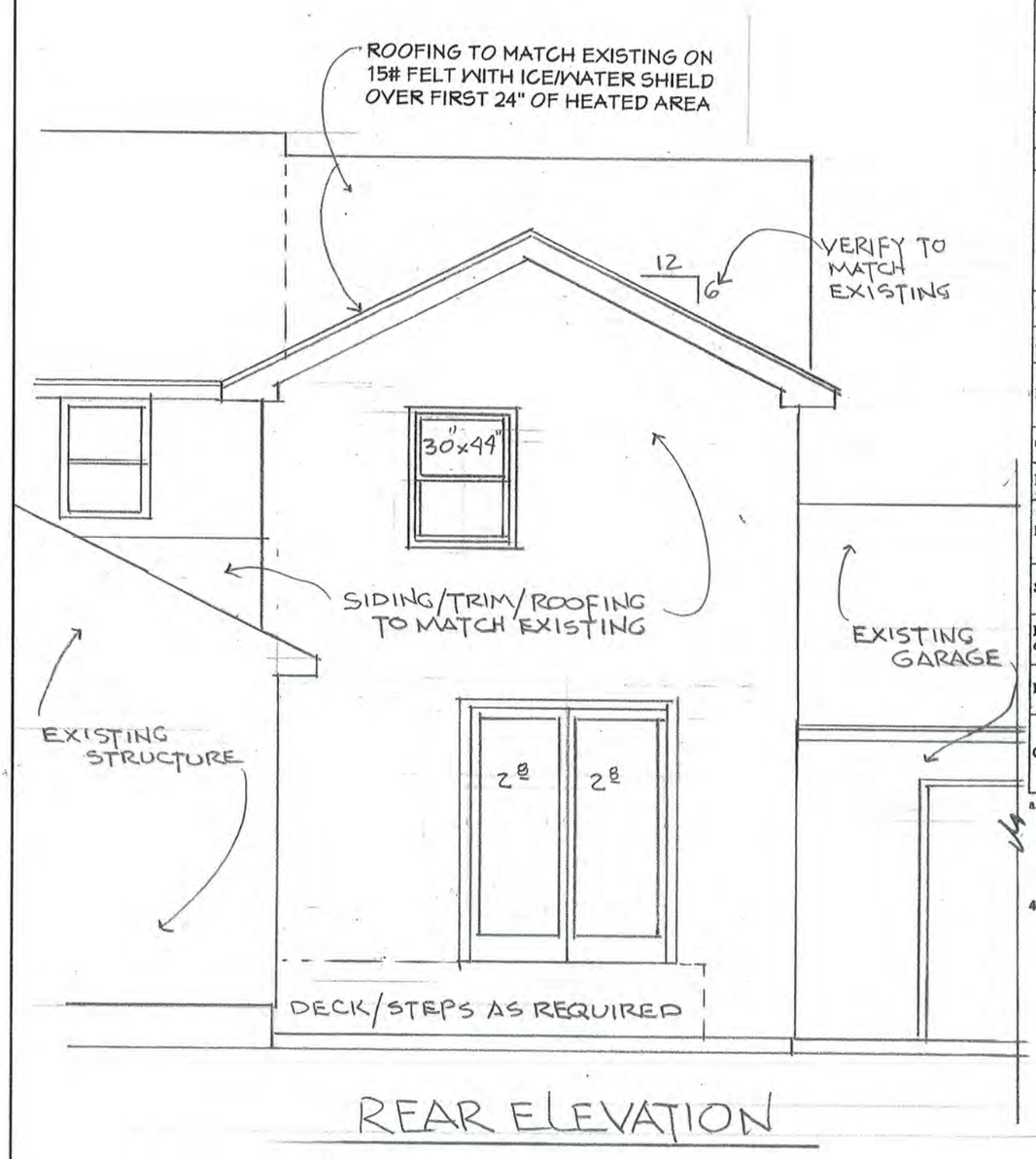
PROJECT

Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE
SIDE ELEVATION & NOTES

SHEET NUMBER
4 OF 7



REAR ELEVATION

TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION[a]

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of not less than R-3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and in continuous alignment with the air barrier.
Windows, skylights and doors	The space between framing and skylights, and the jambs of windows and doors, shall be sealed.	—
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors including cantilevered floors and floors above garages.	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing or continuous insulation installed on the underside of floor framing; and extending from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Crawl space insulation, where provided instead of floor insulation, shall be permanently attached to the walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	—
Narrow cavities	—	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	—
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be airtight and IC rated.
Plumbing and wiring	—	In exterior walls, batt insulation shall be cut neatly to fit around wiring and plumbing or insulation that on installation, readily conforms to available space, shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical and communication boxes. Alternatively, air-sealed boxes shall be installed.	—
HVAC register boots	HVAC supply and return register boots that penetrate building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot.	—
Concealed sprinklers	Where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	—

a. Inspection of log walls shall be in accordance with the provisions of ICC 400.

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6/10/2022

PROJECT
Residential Addition/Renovation for:

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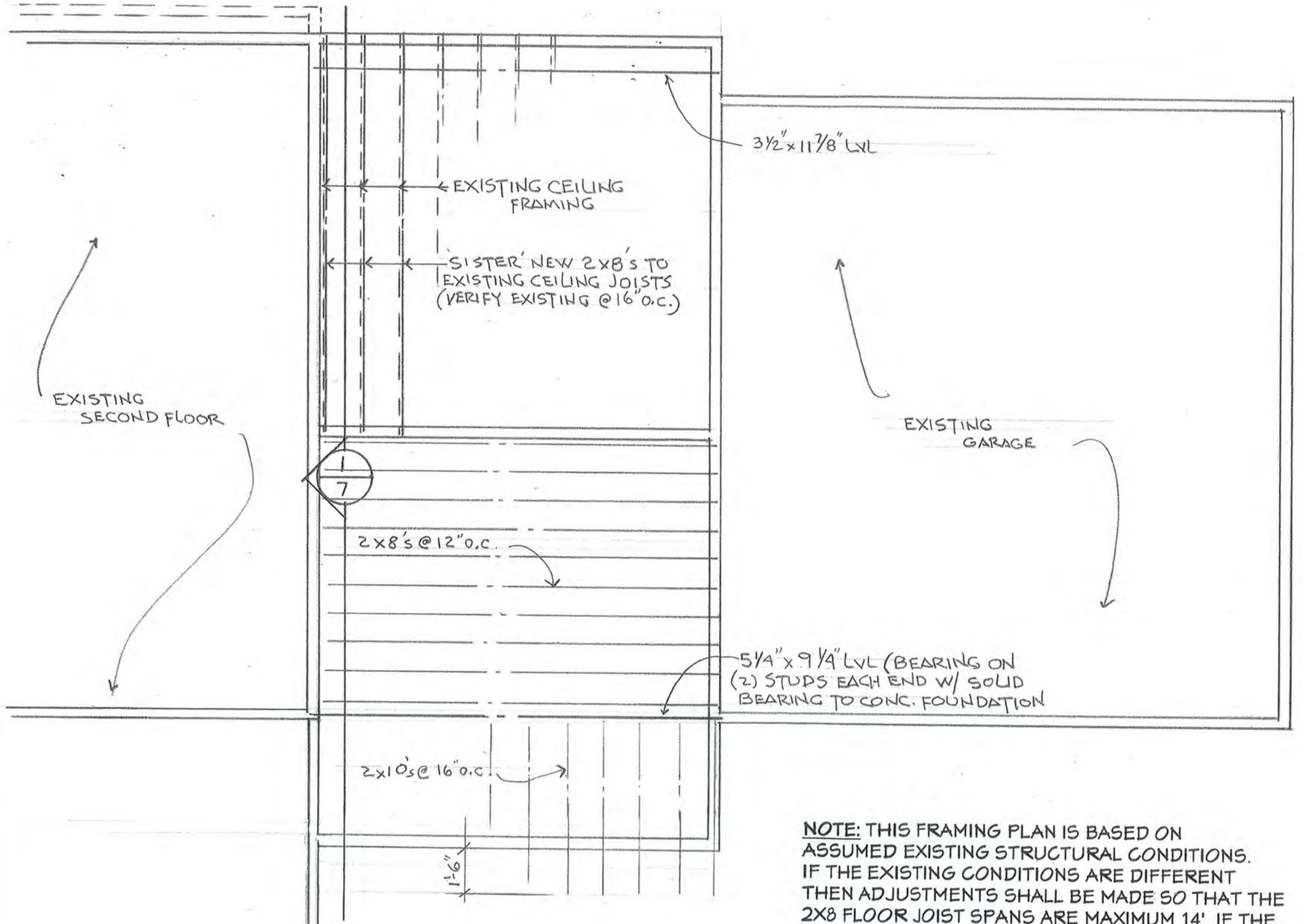
DRAWING TITLE
REAR ELEVATION

SHEET NUMBER
5 OF 7



NOTE: THIS FRAMING PLAN IS BASED ON ASSUMED EXISTING STRUCTURAL CONDITIONS. IF THE EXISTING CONDITIONS ARE DIFFERENT THEN ADJUSTMENTS SHALL BE MADE SO THAT THE 2X8 FLOOR JOIST SPANS ARE MAXIMUM 14'. IF THE SPAN IS 12' OR LESS, THE SPACING SHALL BE 16" O.C.. WITH A SPAN OVER 12' BUT 14' OR LESS THE SPACING SHALL BE 12" O.C.

SECOND FLOOR FRAMING PLAN

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REGISTERED ARCHITECT
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STATE OF NEW YORK

DATE: 12-17-2020

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6/10/2022 REVISIONS

PROJECT

Residential Addition/Renovation for:

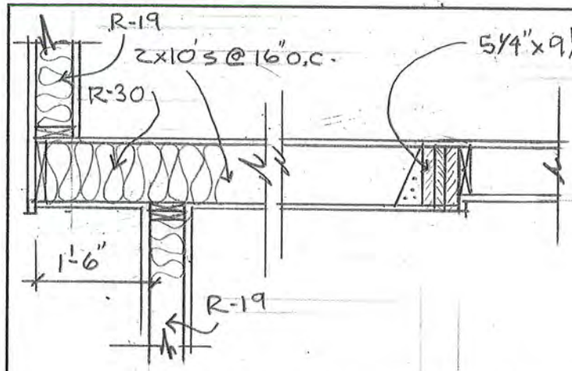
71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE

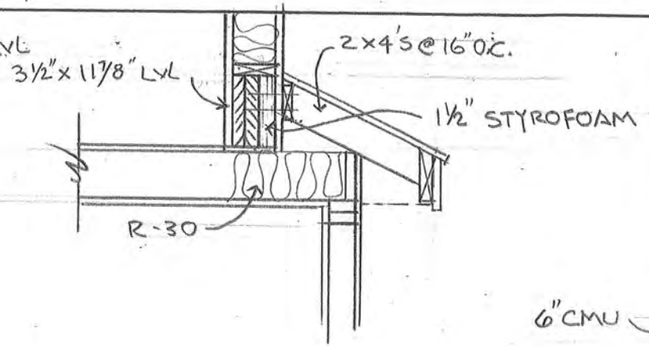
SECOND FLOOR FRAMING PLAN

SHEET NUMBER

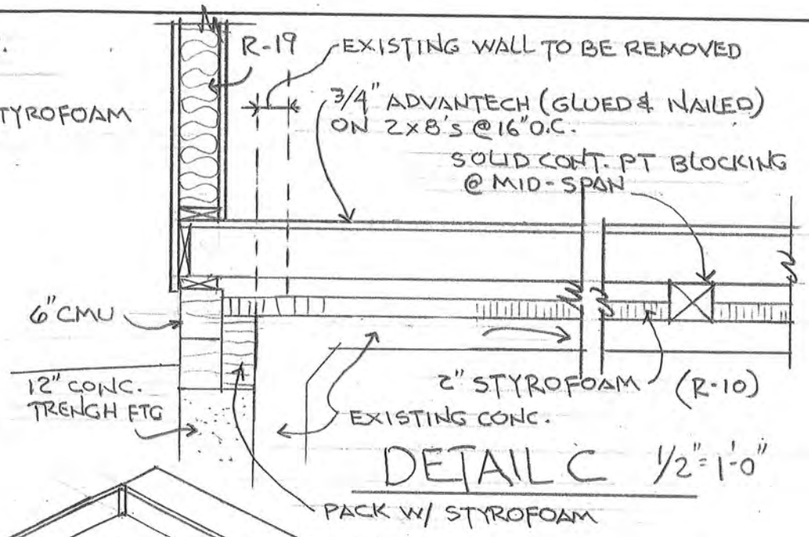
6 OF 7



DETAIL A ½"=1'-0"

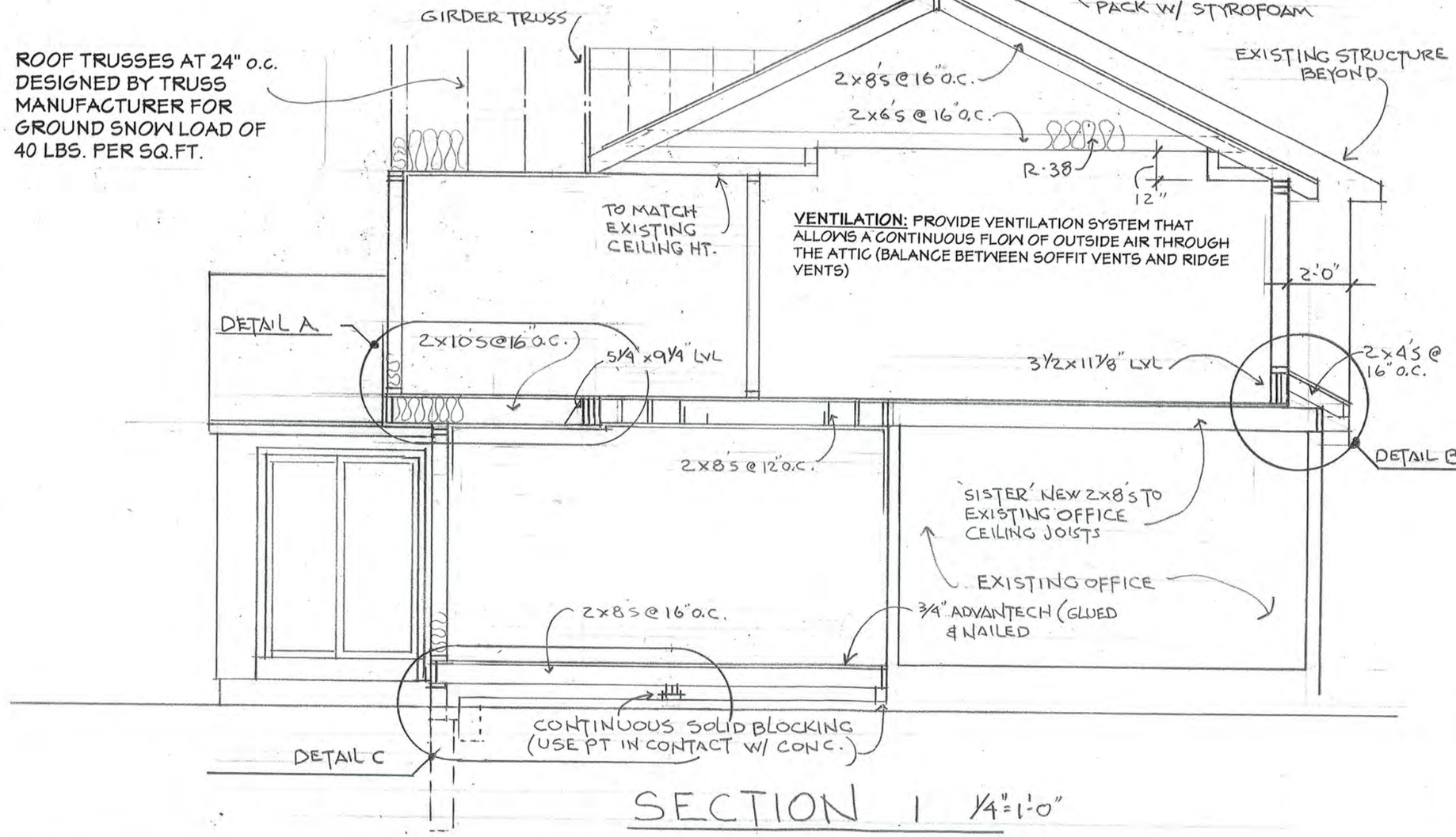


DETAIL B ½"=1'-0"



DETAIL C ½"=1'-0"

ROOF TRUSSES AT 24" o.c. DESIGNED BY TRUSS MANUFACTURER FOR GROUND SNOW LOAD OF 40 LBS. PER SQ.FT.



SECTION 1 ¼"=1'-0"

VENTILATION: PROVIDE VENTILATION SYSTEM THAT ALLOWS A CONTINUOUS FLOW OF OUTSIDE AIR THROUGH THE ATTIC (BALANCE BETWEEN SOFFIT VENTS AND RIDGE VENTS)

THOMAS R. DOUGHTY ARCHITECT, P.C.

4 WOODBRIAR LANE
ROCHESTER, NY 14624

(585) 247-6480
doughty.t@gmail.com

REGISTERED ARCHITECT · THOMAS R. DOUGHTY · 016900 · STATE OF NEW YORK

DATE: 12-17-2020

SCALE:

REVISIONS
1/20/2021
6/10/2022

PROJECT
Residential Addition/Renovation for:

71 Reitz Parkway
Pittsford, New York 14534

DRAWING TITLE
SECTIONS

SHEET NUMBER
7 OF 7

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000103

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 17 Northfield Gate PITTSFORD, NY 14534
Tax ID Number: 178.05-1-34
Zoning District: RN Residential Neighborhood
Owner: Barker, William H
Applicant: Barker, William H

Application Type:

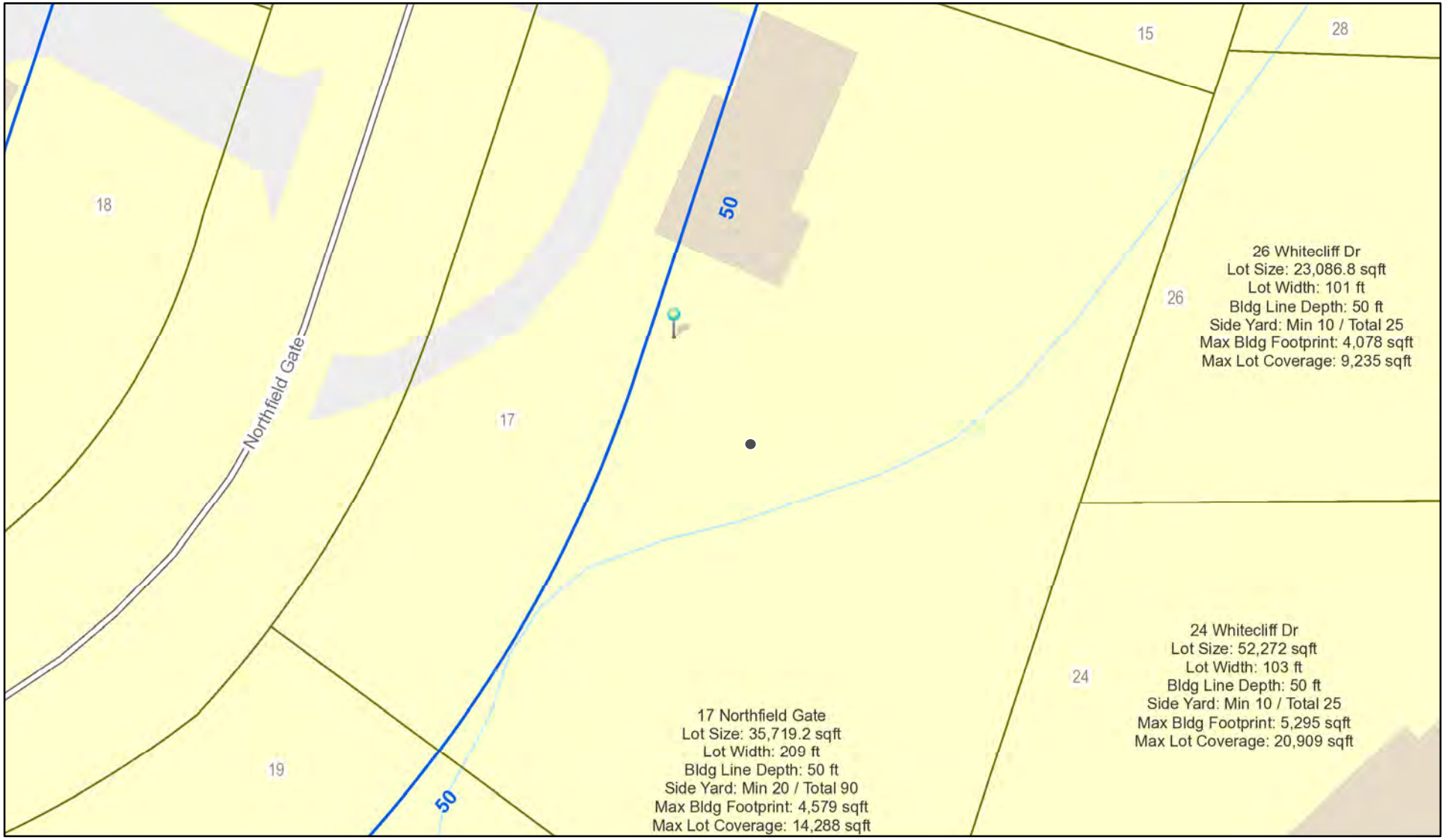
- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The applicant is requesting design review for an addition of a 150 sf addition off the southwest corner of the existing house.

Meeting Date: July 14, 2022


15
17

RN Residential Neighborhood Zoning



Printed June 28, 2022

1:564

0 20 40 80 ft

0 5 10 20 m

Town of Pittsford GIS


Northfield Gate
04/03/2021
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FITCH
CONSTRUCTION, INC.
Fresh Ideas for the Good Life

Fitch Construction, Inc.
7278 Rt. 31 Fairport, New York 14450
Office (585) 377-3330 Fax: (585) 377-6319
E-Mail Dan @Fitchconstruction.com

Project Name: Bauch-Barker Sunroom Addition.

Home phone: (585) 267-7356
Cell phone: (716) 940-8757
E-Mail address: Dorothy.bauch@gmail.com

Agreement

Dorothy and Will Bauch-Barker
17 Northfield Gate
Pittsford, New York
14534

PROPOSAL INFORMATION
Issue Date: 4/11/22
Status: **Proposal**

Build a Sunroom Addition

Overview:

Build a 15' x 10' (150SF) addition off southwest corner of existing house. Fitch Construction will provide all materials and labor, following specifications and design in construction drawings provided by homeowner. All specifications are described in the stamped drawings by Carini Engineering Designs. Building and Electrical permits through the Town of Pittsford will be obtained by Fitch Construction. A Fitch Construction representative will schedule and be present at all rough and final inspections, as necessary. Any specifications not expressed, selected and/or finalized in job drawings are listed below.

Scope of Work:

1. Specifications:

a. Excavation/Foundation: Any excess soil from foundation trenching not used in backfilling, to be left on site. Homeowner may have some low spots on property where excess soils can be piled. Removal/hauling of excess soils off property, will be charged as an additional expense. Moving geo-thermal pipes or running geo-thermal pipes through a sleeve at time of trenching for foundation will be assessed when/if these pipes are exposed. Costs for moving or altering geo-thermal lines are NOT factored into the proposal.

b. HVAC: Supply and Install "Ditra-Heat" electric radiant floor heating system. Includes: membrane sheet/roll, wiring cable, thermostat and panel connection.

c. Doors: Supply and install _one_(_1_) entry door from main house living area into new addition. Includes all demolition of interior and exterior wall coverings, relocation of electrical wiring/receptacles, rough framing of opening, finish trim on both sides, door hardware (for barn-style door) and 3-0 x 6-8 door. Final door style TBD. Door, door opening and threshold to meet ADA standards. Final door selection could change price +or-.

d. Windows: Supply and install seven (7) Andersen 100 series horizontal gliding windows in new openings. Unit size 4-0 width x 5-0 height. Dark Bronze exterior; white interior. Low-E Sun Smart insulated glass. One sash active/one sash fixed (final slide pattern TBD); full fiberglass screen; white locking hardware.

e. Electric: All electric to Code; includes four (4) receptacles, ceiling fan/light unit with dimmer switch sets, smoke and CO detector(s)

Scope of Work (Cont'd)

f. Skylights: (listed as optional on drawings) Supply and Install two (2) Velux MO8 FS (deck mount, fixed) skylights.

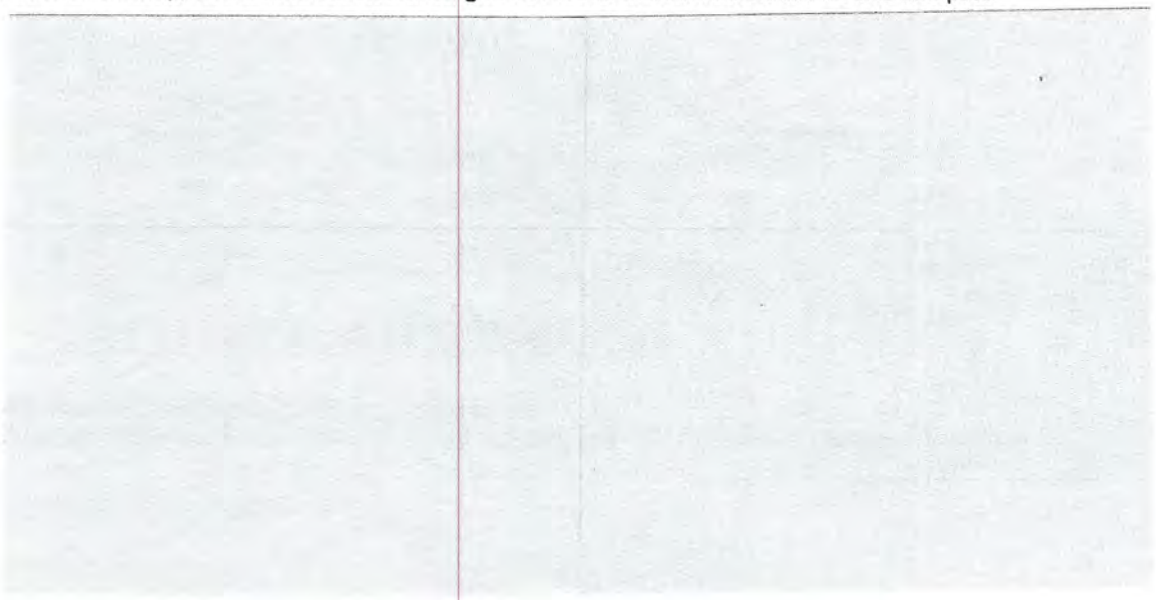
g. Flooring: Supply and install 150SF of ceramic tile, grout and sealer. Tile budgeted at $6/Sf. Tile cost subject to change +or- depending on final selection.

h. Building & Electrical Permit: We have included _1_ Building permit for the Town and _1_ Electrical permit. Both permits include necessary rough and final inspections, as well as a Final Certificate of Occupancy which will be delivered to you by the Town.

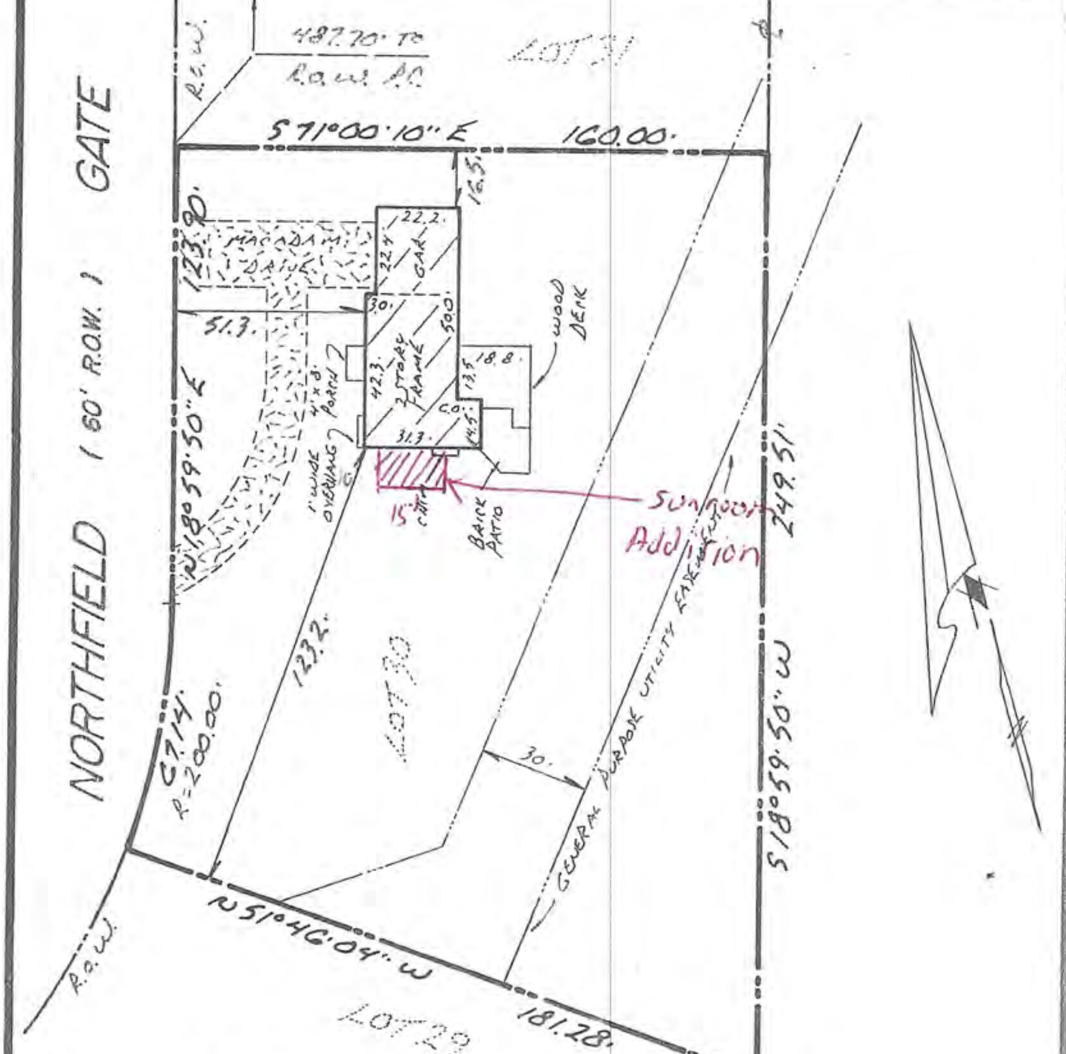
i. Trim Interior: Supply and install window/door casing and baseboard molding to closely match existing house trim package (as close as possible).

j. Painting/Staining: Supply and apply paint/stain: Includes interior and exterior paint prep, exterior siding/trim paint/stain; interior ceiling/wall paint, interior trim/door paint. Interior paint colors TBD; Exterior paint/stain colors to match existing.

k. Cleanup/hauling: Includes all cleanup, waste removal and hauling of construction debris. Includes on-site dumpster



1. Upgrade skylights to
2. Upgrade skylights to



REFERENCES: 1) ABSTRACT OF TITLE NOT PROVIDED
2) LIBER 190 OF MAPS, PAGE 79 - NORTHFIELD HILLS SUBD. SECTION 2
3) LIBER 8802 OF DEEDS, PAGE 34

CERTIFICATION:
I hereby certify to: *CNB MORTGAGE COMPANY, ITS SUCCESSORS AND/OR ASSIGNS*
WILLIAM H. BARKER & DOROTHY G. BAUCH
GALLO & IACOVANGELO, LLP
THE TITLE INSURANCE COMPANY INSURING THE MORTGAGE

that this map was made JUNE 6 2008 from notes of an Instrument Survey completed JUNE 3, 2008 and from references listed hereon.

James M. Leoni
JAMES M. LEONI, N.Y.S.L.S. #49225

NOTE: Property corners should only be set by a licensed, registered land surveyor. ~~Snow cover has impeded ability to locate ground features~~

STATE OF NEW YORK · JAMES MICHAEL LEONI · LICENSED PROFESSIONAL LAND SURVEYOR · Lic. No. 49225

Tax Account No. 178.050-01-034

TITLE: INSTRUMENT SURVEY MAP

#17 NORTHFIELD GATE

LOT 30 - NORTHFIELD HILLS SUBDIVISION, SECTION 2

TOWN OF PITTSFORD, MONROE COUNTY, NEW YORK

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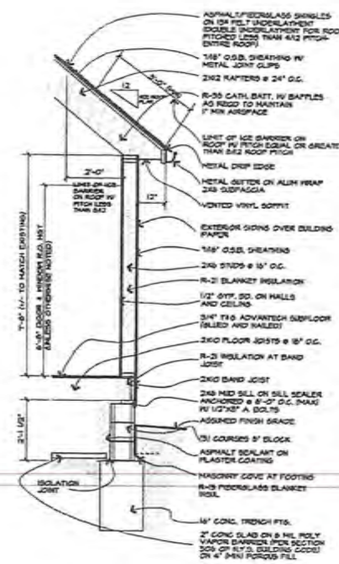
BILESCHI LAND SURVEYING
435 REYNOLDS ARCADE
ROCHESTER, NEW YORK 14614
(585) 454-6010 (phone)
(585) 454-6015 (fax)
JAMES M. LEONI, L.S. OF CONSULT

DATE:	JUNE 6, 2008
FILE No.	
OWNER:	Roach
SCALE:	1 inch = 40 FEET

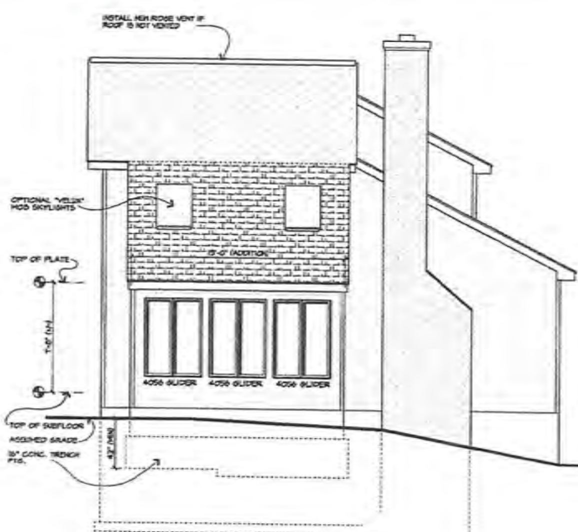
FRONT ELEVATION

SCALE: 1/4" = 1'-0"
ADDITION AREA = 150 SQ. FEET


ASPHALT/FIBERGLASS SHINGLES ON 15# FELT UNDERLAYMENT (DOUBLE UNDERLAYMENT FOR ROOF PITCHED LESS THAN 4/12 PITCH- ENTIRE ROOF)
7/16" O.S.B. SHEATHING W/ METAL JOINT CLIPS
2X12 RAFTERS @ 24" O.C.
R-38 CATH. BATT. W/ BAFFLES AS REQ'D TO MAINTAIN 1" MIN AIRSPACE
LIMIT OF ICE BARRIER ON ROOF W/ PITCH EQUAL OR GREATER THAN 8:12 ROOF PITCH
METAL DRIP EDGE
METAL GUTTER ON ALUM WRAP 2X8 SUBFACCIA
VENTED VINYL SOFFIT
EXTERIOR SIDING OVER BUILDING PAPER
7/16" O.S.B. SHEATHING
2X6 STUDS @ 16" O.C.
R-21 BLANKET INSULATION
1/2" GYP. BD. ON WALLS AND CEILING
3/4" T&G ADVANTECH SUBFLOOR (GLUED AND NAILED)
2X10 FLOOR JOISTS @ 16" O.C.
R-21 INSULATION AT BAND JOIST
2X10 BAND JOIST
2X6 MID SILL ON SILL SEALER ANCHORED @ 6'-0" O.C. (MAX) W/ 1/2"X8" A BOLTS
ASSUMED FINISH GRADE
(3) COURSES 8" BLOCK
ASPHALT SEALANT ON PLASTER COATING
MASONRY COVE AT FOOTING
R-13 FIBERGLASS BLANKET INSUL.
16" CONC. TRENCH FTG.
2" CONC. SLAB ON 6 MIL POLY VAPOR BARRIER (PER SECTION 506 OF R.Y.S. BUILDING CODE) ON 4" (MIN) POROUS FILL
ISOLATION JOINT
2'-0"
12"

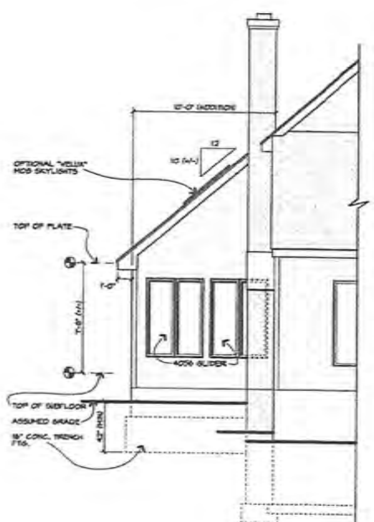
TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PARTIAL

REAR ELEVATION

SCALE: 1/4" = 1'-0"

UNLESS OTHERWISE NOTED	
ROOFING:	ASPHALT / FIBERGLASS SHINGLES AS SEL'TD
ROOF VENTING:	ONE SQ.FT NET PER 300 SQ. FT. ATTIC SPACE (PER EXCEPTION IN R806.2 OF THE CODE)
FACIA:	MATCH EXISTING
FREIZEBOARDS:	↓
CORNERBOARDS:	↓
CASINGS:	↓
SIDING:	↓
EAVE O/HANGS:	↓
RAKE O/HANGS:	↓
FOOTING DEPTH:	3'-6" BELOW GRADE
PLATE HEIGHT:	
FIRST FLOOR:	7'-8" (+/-)
SECOND FLOOR:	N.A.
WINDOW R.O. HEIGHT:	
FIRST FLOOR:	6'-8"
WINDOW MFR.	"ANDERSON" 100 GLIDER WINDOWS WITH W/ LOW E

CARINI ENGINEERING DESIGNS, P.C.
STEVEN L. CARINI, P.E.
1387 FAIRPORT ROAD SUITE #940 FAIRPORT, NY 14450-2002
PH. (585) 223-6435
www.carinidesigns.com

Also doing business as
DWELL

Project: RESIDENTIAL ADDITION

Client: BILL & DOROTHY BAUCH-BARKER

Job Location: 17 NORTHFIELD GATE PITTSFORD, NY

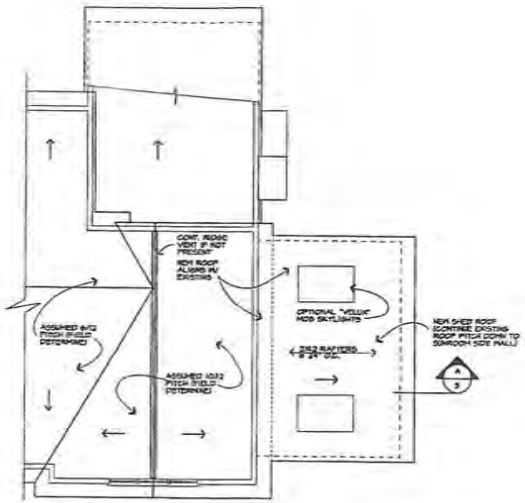
Drawing Title: ELEVATIONS

Drawn: TDD | Checked by: SLC

Date: JANUARY, 2022

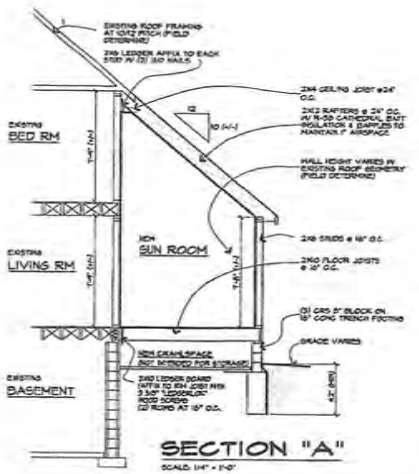
Job No. 38498

Sheet: 2 of 3



ROOF PLAN

SCALE: 1/4" = 1'-0"



SECTION "A"

SCALE: 1/4" = 1'-0"

HEADER SCHEDULE UNLESS OTHERWISE NOTED		
OPENING	2X6 WALL	2X8 WALL
UP TO 3'-0"	(2) 2X8	(2) 2X10
4'-0"	(3) 2X8	(2) 2X10
5'-0"	(3) 2X10	(2) 2X10
6'-0"	(3) 2X12	(3) 2X12

NOTE: PROVIDE (2) 1/2" PLYWD WEBSTR - 2X6 WALL; PROVIDE (1) 1/2" PLYWD WEBSTR-2X8 WALL

WALL LEGEND
- =2X6 STUDS AT 16" O.C.
- =2X8 STUDS AT 16" O.C.
- = PROVIDE (2) STUDS SOLID WHERE SHOWN

- CONTRACTOR SHALL INSTALL SMOKE, HEAT & CARBON MONOXIDE ALARM / DETECTOR TO COMPLY WITH SECTIONS R314 & R315 OF THE CODE AND 93 OF THE FIRE CODE.
- (S) = SMOKE DETECTOR
- (H) = HEAT DETECTOR
- (CO) = CARBON MONOXIDE DETECTOR

R314.3 HEAT DETECTOR SHALL BE LOCATED CENTRALLY IN THE ATTACHED GARAGE.

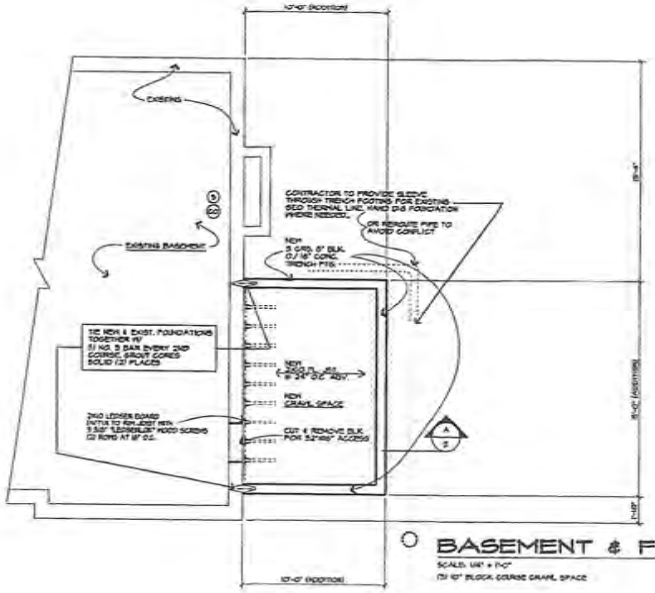
R314.3 SMOKE DETECTOR LOCATION
SMOKE DETECTORS REQUIRED IN EVERY BEDROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA AND AT LEAST ONE ON EACH STORY INCLUDING THE BASEMENT.

R314.4 INTERCONNECTION - EXCEPTION:
INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.

R315.3 CARBON MONOXIDE ALARM LOCATIONS
OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM

R324.4 & 324.4.1 COMBINATION ALARMS-COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE OR CARBON MONOXIDE ALARMS.

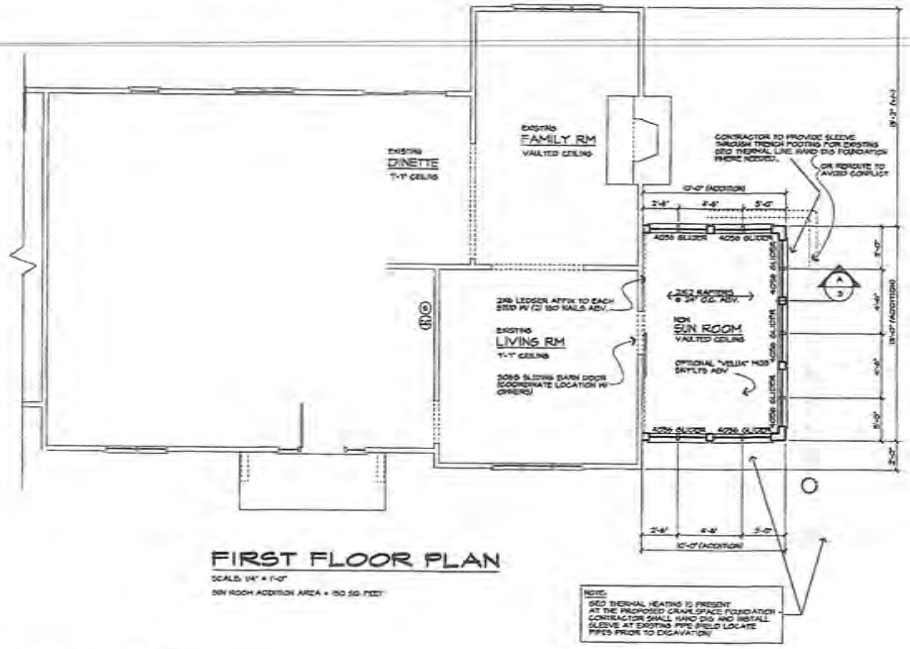
- UNLESS OTHERWISE NOTED ON PLAN, FIRST FLOOR PLATE HEIGHT SHALL BE 9'-0" (N.) ABOVE TOP OF SUBFLOOR.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 10" OR LONGER
- CONTRACTOR SHALL INSTALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO COMPLY WITH CURRENT NYS CODES
- ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" EXPOSURE 1 APA RATED SHEATHING AT UNDERSIDE, FULL DEPTH RIM JOIST, AND SOLID BLOCKING AT SUPPORT WALL.
- INSTALL MID-SPAN CROSS BRIDGING AT FLOOR JOIST SPANS UP TO 14'-0" & INSTALL CROSS BRIDGING AT 1/3 POINTS FOR SPANS OVER 14'-0"
- INSTALL HANDRAIL & GUARDS AT STAIR PER SECTIONS R311.7.8-R311.7.8.2 AND R-323 OF THE CODE.
- LVL AND TJI PRODUCTS, ACCESSORIES, AND CONNECTION DETAILS SHALL CONFORM TO MFR SPECIFICATIONS, AND PRODUCT LITERATURE. (DESIGN "E" = 2,000,000)
- 8 3/4" MAX STEP AT SWING DOORS(S) ON THE EXTERIOR SIDE FROM THE THRESHOLD TO THE LANDING OR FLOOR PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR PER EXCEPTION SECTION R311.3.1 OF THE SEC 6 1 3/4" MAX STEP FROM THRESHOLD TO THE LANDING OR FLOOR ON ALL OTHER EXTERIOR DOORS PER SECTION R311.3.2 OF THE CODE
- PER R312 WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE PER SECTIONS R312.2.1 AND R312.2.2. WINDOW MANUFACTURER/SUPPLIER & CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMITY



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

(3) 10" BLOCK COURSE CRAWL SPACE



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SUN ROOM ADDITION AREA = 150 SQ. FEET

NOTE: GEO THERMAL HEATING IS PRESENT AT THE PROPOSED CRAWLSPACE FOUNDATION. CONTRACTOR SHALL HAND DIG AND INSTALL SLEEVE AT EXISTING PIPE (FIELD LOCATE PIPES PRIOR TO EXCAVATION)

CARINI ENGINEERING DESIGNS, P.C.
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1389 FAIRPORT ROAD
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The seal affixed to these documents is for the work performed by Carini Engineering Designs, P.C. on the original documents and does not relate to any related data or plans. Our liability is limited to the amount of the fee paid.

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The contractor is responsible for checking dimensions and site conditions and is to report any errors or omissions to the office before the start of construction. Written dimensions always take precedence over scaled dimensions. All materials, products, fixtures, and equipment shall be installed in accordance with manufacturer's installation instructions and all applicable codes.

These plans comply with the 2020 code

(C) Carini 2022

Revisions

Project: RESIDENTIAL ADDITION

Client: BILL & DOROTHY DAUCH-BARKER

Job Location: 17 NORTHFIELD GATE PITTSFORD, NY

Drawing Title: FLOOR PLAN, ROOF PLAN, FNDN. PLAN, SECTION

Drawn: TDO | Checked By: SLC

Date: JANUARY, 2022

Job No: 38498

Sheet: 3 of 3

NOTES

(GENERAL NOTES TO BE APPLIED AS NEEDED TO THIS REMODELING PROJECT)

(1.) BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING.

(2.) THE 2020 CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.

(3.) THE 2020 ENERGY CONSERVATION CODE SHALL PREVAIL AND BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES ON THE DRAWINGS.

(4.) BUILDING CONTRACTOR AND HIS SUBCONTRACTORS SHALL CONFORM TO LOCAL CONSTRUCTION ORDINANCES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.

(5.) ROOF TRUSS ENGINEERING AND SIZES DETERMINED BY AND ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER (MFR)

(6.) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

(7.) THESE DRAWINGS HAVE BEEN PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS IF ANY, ARE TO BE PREPARED BY AND ARE THE RESPONSIBILITY OF OTHERS.

(8.) BEARING CAPACITY OF SOIL IS ASSUMED AT 2000 P.S.F. AND CONTRACTOR SHALL VERIFY PRIOR TO PLACEMENT OF FOOTINGS.

(9.) ALLOWABLE STRESSES OF MATERIALS. (THE WEATHERING POTENTIAL FOR CONCRETE IS ASSUMED TO BE SEVERE. SEE FIGURE R301.2(4))
- A.) CONCRETE (R402.2) - MIN. COMPRESSIVE STRENGTH @ 28 DAYS PSI =
  - FOOTINGS: 2500 PSI
  - BASEMENT SLABS: 2500 PSI (W/ FIBER REINF. ADDITIVE OPTIONAL)
  - GARAGE & PORCH SLABS: 3500 PSI (AIR-ENTRAINED)
  - BASEMENT WALLS: 3000 PSI (AIR-ENTRAINED WHERE EXPOSED TO WEATHER)

  POURED CONC. SHALL BE PROTECTED FROM FREEZE/THAW DURING CONSTRUCTION OR AIR ENTRAINED CONC. MUST BE USED. (TABLE R402.2, NOTE 3)
- B.) STRUCTURAL STEEL TO BE ASTM - A36
- C.) WOOD JOISTS, BEAMS, HEADERS, AND RAFTERS SHALL HAVE AN EXTREME FIBER STRESS IN BENDING (FB) WITH REPETITIVE MEMBER USE OF 1150 P.S.I. (HEM FIR #2 OR BETTER)

(10.) FIREPLACES SHALL HAVE AN OUTSIDE AIR SOURCE FOR COMBUSTION WITH A DUCT, DAMPER ETC. & SHALL COMPLY WITH CODE SECTION R1001-R1006 AS APPLICABLE.

(11.) SETTING THE BUILDING ELEVATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH R401.13 OF THE CODE.

(12.) THE CONTRACTOR SHALL INSTALL 4" HIGH NUMBERS ON THE FRONT OF THIS BUILDING TO IDENTIFY THE SITE ADDRESS. (SEE SECTION R319.1)

(13.) GLAZING IN DOORS, STORM DOORS, SIDELIGHTS, SHOWER SPACES, AND TUB ENCLOSURES IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE 2020 CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R 308.1. DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELIGHTS (SEE SECTION R308.4 FOR ADDITIONAL HAZARDOUS LOCATIONS)

(14.) DESIGN CRITERIA:
- A.) ROOMS OTHER THAN SLEEPING = 40 PSF LIVE LOAD
- B.) SLEEPING ROOMS = 30 PSF LIVE LOAD
- C.) GROUND SNOW LOAD = 40 PSF (FIG R301.2(6))
- D.) WIND SPEED - 90 MPH, EXPOSURE B
- E.) SEISMIC DESIGN CATEGORY - A OR B - R301.2(2)
- F.) WEATHERING - SEVERE
- G.) FROST LINE DEPTH - 42"
- H.) TERMITE DAMAGE - CONTACT LOCAL JURISDICTION
- I.) DECAY DAMAGE - NONE TO SLIGHT
- J.) WINTER DESIGN TEMPERATURE - 1/2 DEGREE
- K.) ICE BARRIER IS REQUIRED
- L.) ROOF TIE-DOWN REQUIREMENTS - R802.11 (BASED UPON SPECIFIC ROOF DESIGN)
- M.) ENERGY COMPLIANCE DETAILS AND PATH - N1101.5

(15.) FOOTINGS TO BEAR ON FIRM, LEVEL, UNDISTURBED NATURAL SOIL, FREE FROM FROST OR LOOSE MATERIAL.

(16.) DRAWING ALTERATION. THE FOLLOWING IS AN EXCERPT FROM THE N.Y.S. EDUCATION LAW ARTICLE 145, SECTION 7209 AND APPLIES TO THESE DRAWINGS. "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR ARCHITECT IS ALTERED, THE ALTERING ENGINEER OR ARCHITECT SHALL AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

(17.) WHERE LOCAL EXHAUST OR WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M1507 OF THE CODE.

(18.) "CODE" SHALL MEAN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. "ENERGY CONSERVATION CODE" OR "ENERGY CODE" SHALL MEAN CHAPTER 11 OF THE CODE.

(19.) TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.

ENERGY CONSERVATION, CHAPTER 11, ENERGY EFFICIENCY

1. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER SECTION N1104
2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES PER SECTION N1102.4.5
3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION N1103.1
4. ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED PER SECTION N1103.3.2.
5. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-3. CIRCULATING HOT WATER SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE, PER SECTION N1103.5
6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER-STRIPPED AND LATCHED PER SECTION N1102.2.4
7. AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND CRITERIA LISTED IN SECTIONS N1102.4.1 THROUGH N1102.4.5.
8. THE STRUCTURE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. CONDUCT TEST ACCORDING TO ASTM E779 OR ASTM E1827 OR RESNET/ICC 380 AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. COMPLY WITH N1102.4.1.2.
9. THE CONTRACTORS AND SUB-CONTRACTORS SHALL BE FAMILIAR WITH THE ENERGY CODE AND EXPERIENCED IN PERFORMING WORK THAT COMPLIES WITH ALL ASPECTS OF THE ENERGY CODE. THESE NOTES ARE NOT INTENDED TO BE ALL INCLUSIVE.

SYMBOLS

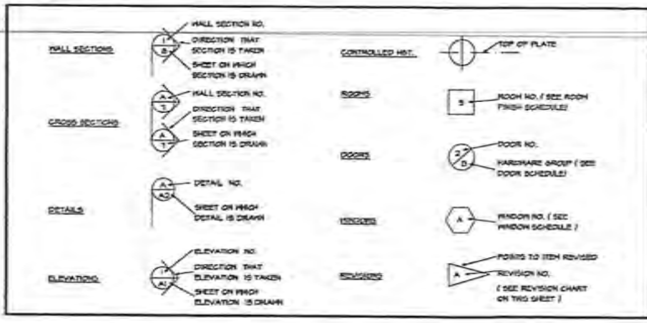


TABLE N1102.4.1.1 (402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION

[illegible]

ABBREVIATIONS

APPROX	-APPROXIMATE	FT (')	-FOOT	OPNG	-OPENING
&	-AND	FTG	-FOOTING	O/A	-OVERALL
@	-AT	FDN	-FOUNDATION	OHD	-OVERHEAD DOOR
BM	-BEAM	GYP	-GYPSUM	O/ HANG	-OVERHANG
BLK	-BLOCK	HNDCP	-HANDICAP	OV	-OVEN
BD	-BOARD	HGT	-HEIGHT	OPT	-OPTIONAL
BLDG	-BUILDING	HW	-HOT WATER	P.DR	-POWDER ROOM
BTR	-BETTER	HDR	-HEADER	PSF	-POUNDS PER SQ. FT.
CLG	-CEILING	IN (")	-INCH	PSI	-POUNDS PER SQ. IN.
CL	-CENTERLINE	INCL	-INCLUDE	P.T.	-PRESSURE TREATED
COL	-COLUMN	INFO	-INFORMATION	PLYWD	-PLYWOOD
CONC	-CONCRETE	ID	-INSIDE DIAMETER	REQ'D	-REQUIRED
CONT	-CONTINUOUS	INSUL	-INSULATION	RM	-ROOM
COMM	-COMMERCIAL	INT	-INTERIOR	RES	-RESIDENTIAL
CRS	-COURSES	IECC	-INTERNATIONAL ENERGY CONSERVATION CODE	R'S	-RISERS
DL	-DEAD LOAD	JT	-JOINT	RD & SH	-ROD & SHELF
DIA	-DIAMETER	JSTS	-JOISTS	S	-SOUTH
DBL	-DOUBLE	LT	-LIGHT	SKYLT	-SKYLIGHT
DN	-DOWN	LL	-LIVE LOAD	SH	-SHELF
DWG	-DRAWING	MFR	-MANUFACTURER	SHS	-SHELVES
DIM	-DIMENSION	MAX	-MAXIMUM	STOR	-STORAGE
ELEC	-ELECTRIC	MECH	-MECHANICAL	STL	-STEEL
EXP	-EXPANSION	MTL	-METAL	SUSP	-SUSPENDED
EXT	-EXTERIOR	MIN	-MINIMUM	SYN	-SYNTHETIC
FT (')	-FEET	MISC	-MISCELLANEOUS	T'S	-TREADS
FIN	-FINISH	N	-NORTH	(TYP)	-TYPICAL
FLR	-FLOOR	NTS	-NOT TO SCALE	T&G	-TONGUE & GROOVE
1 ST	-FIRST	NO	-NUMBER	W/	-WITH
FLUOR	-FLUORESCENT			W/O	-WITHOUT

RESIDENTIAL ADDITION

17 NORTHFIELD GATE, PITTSFORD, NY

WILL & DOROTHY BAUCH-BARKER, HOMEOWNERS

ENERGY CODE COMPLIANCE PATH:

THIS PROJECT IS DESIGNED TO COMPLY WITH THE "PRESCRIPTIVE" ENERGY CODE COMPLIANCE REQUIREMENTS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS AND COMPONENTS, NECESSARY AND IN A MANNER TO COMPLY WITH THE "PRESCRIPTIVE" REQUIREMENTS SECTION N1102 OF THE 2020 ENERGY CODE.

CLIMATE ZONE 5A MINIMUM R - MAXIMUM U VALUES FROM TABLE N1102.1.2

FENESTRATION	MAX U VALUE = 0.30
SKYLIGHTS	MAX U VALUE = 0.55
CEILING	MIN R VALUE = 49
WOOD FRAMED WALLS	MIN R VALUE = 20
FLOOR	MIN R VALUE = 30
CRAWL SPACE WALLS	MIN R VALUE = 15 (CONTINUOUS)

CLIMATE ZONE 5A EQUIVALENT U-FACTORS FROM TABLE N1102.1.4

CEILING U-FACTOR = .026 OR MIN R VALUE = 38

U-VALUE & R-VALUE CONVERSION (U=1/R) AND (R=1/U)

N1102.2.1 CEILINGS WITH ATTIC SPACES.
WHERE SECTION N1102.1.2 WOULD REQUIRE R-44 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-44 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION N1102.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION N1102.1.5.

CARINI ENGINEERING DESIGNS, P.C.
STEVEN L. CARINI, P.E.
1357 FAIRPORT ROAD SUITE 4080
FAIRPORT, NY 14450-2062
PH. (585) 223-8420
www.cariniDesigns.com

Also doing business as
DWELL
unified approach plans
48 NORTH MAIN STREET
CANANDAIGUA, NY 14424
PH. 585-[illegible]

Revisions

Project: RESIDENTIAL ADDITION

Client: WILL & DOROTHY BAUCH-BARKER

Job Location: 17 NORTHFIELD GATE PITTSFORD, NY

Drawing Title: COVER SHEET & NOTES

Drawn: TDO | Checked By: SLC

Date: JANUARY, 2022

Job No.: 38498

Sheet: 1 of 3

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000107

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 57 Shire Oaks Drive PITTSFORD, NY 14534
Tax ID Number: 151.12-3-9
Zoning District: RN Residential Neighborhood
Owner: Lloyd, Kevin
Applicant: Lloyd, Kevin

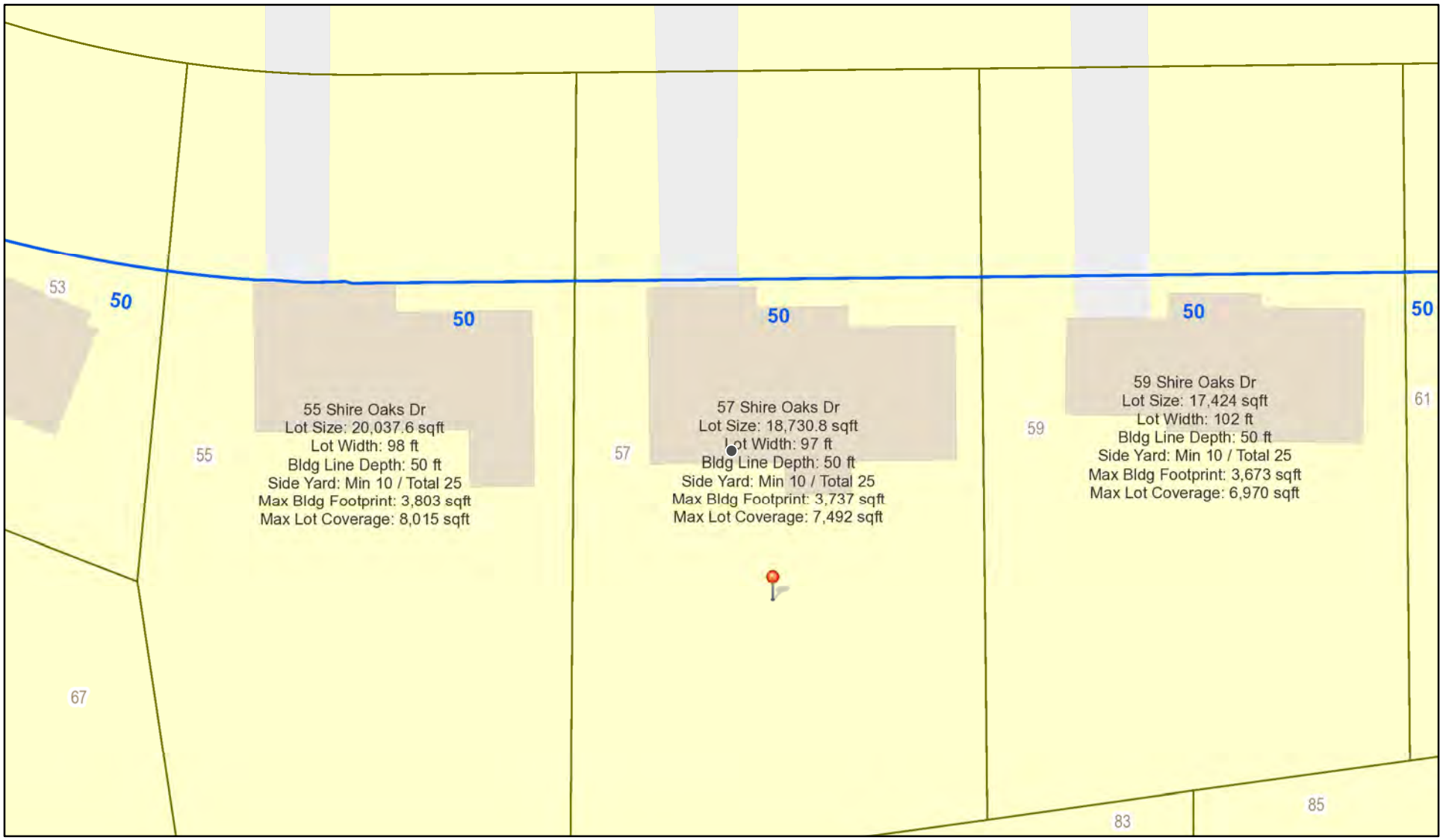
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The applicant is requesting design review for an addition of a 255 sf front porch deck on the front entry way of the property

Meeting Date: July 14, 2022

RN Residential Neighborhood Zoning



Printed July 6, 2022

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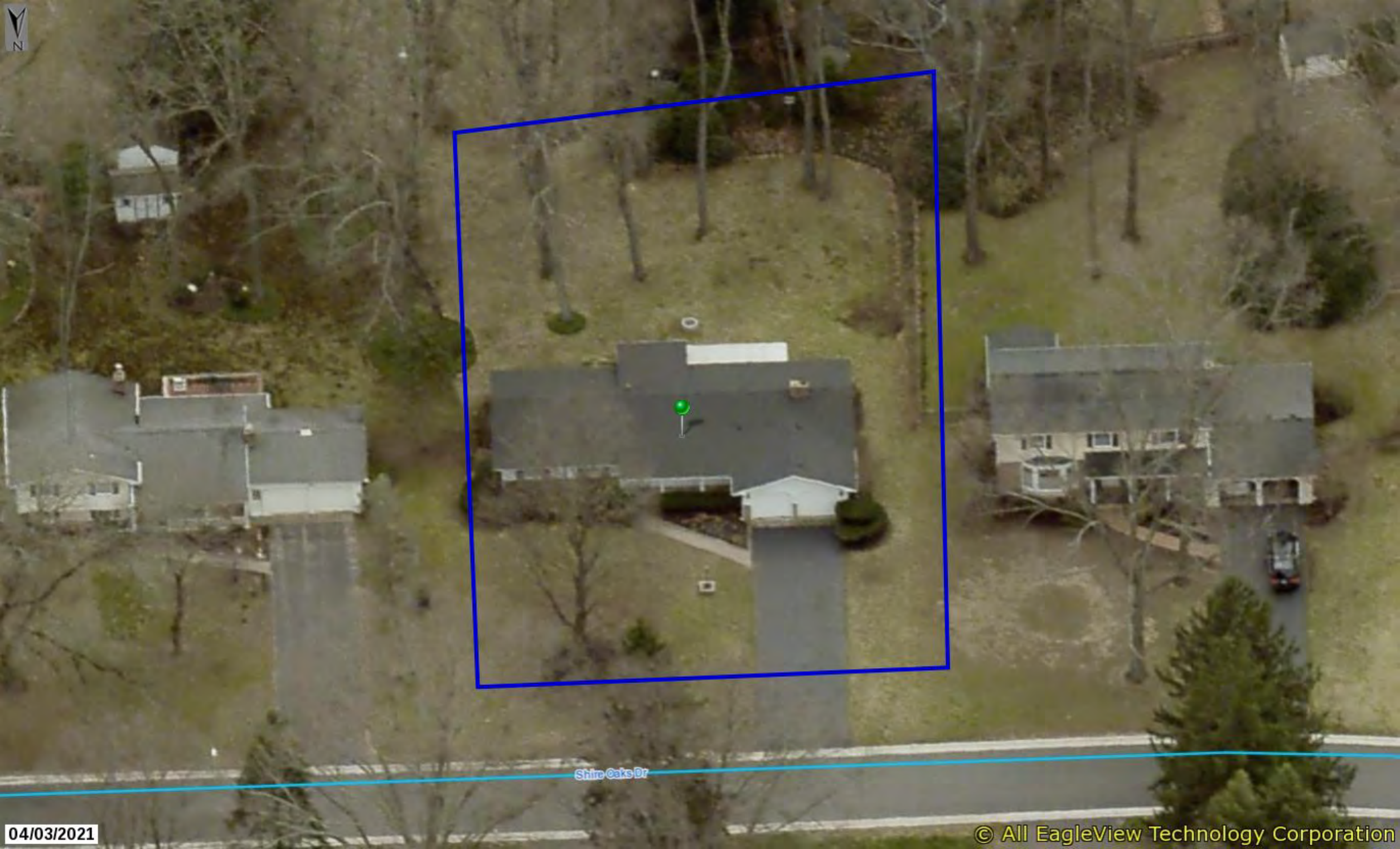
Town of Pittsford GIS


N
Shire Oaks Dr
04/03/2021
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COPY

O'NEILL-RODAK
LAND SURVEYING ASSOCIATES, P.C.

LAND SURVEYORS - PLANNERS
BOUNDARY CONSULTANTS
FEMA ELEVATION CERTIFICATES
ALTA/NSPS SURVEYS

5 SOUTH FITZHUGH STREET
ROCHESTER, NY
14614
PHONE (585) 325-7520 FAX (585) 325-1708
e-mail surveyors@oneillrodak.com

MAP OF A SURVEY

LOT 110
EAST PITTSFORD MANOR, SECTION 1

TOWN OF PITTSFORD

MONROE COUNTY, NEW YORK

CLIENT	JOHN E. BERNACKI, JR., P.C	
SCALE	DATE	PROJECT NO.
1" = 30'	07/09/2019	2019-0945

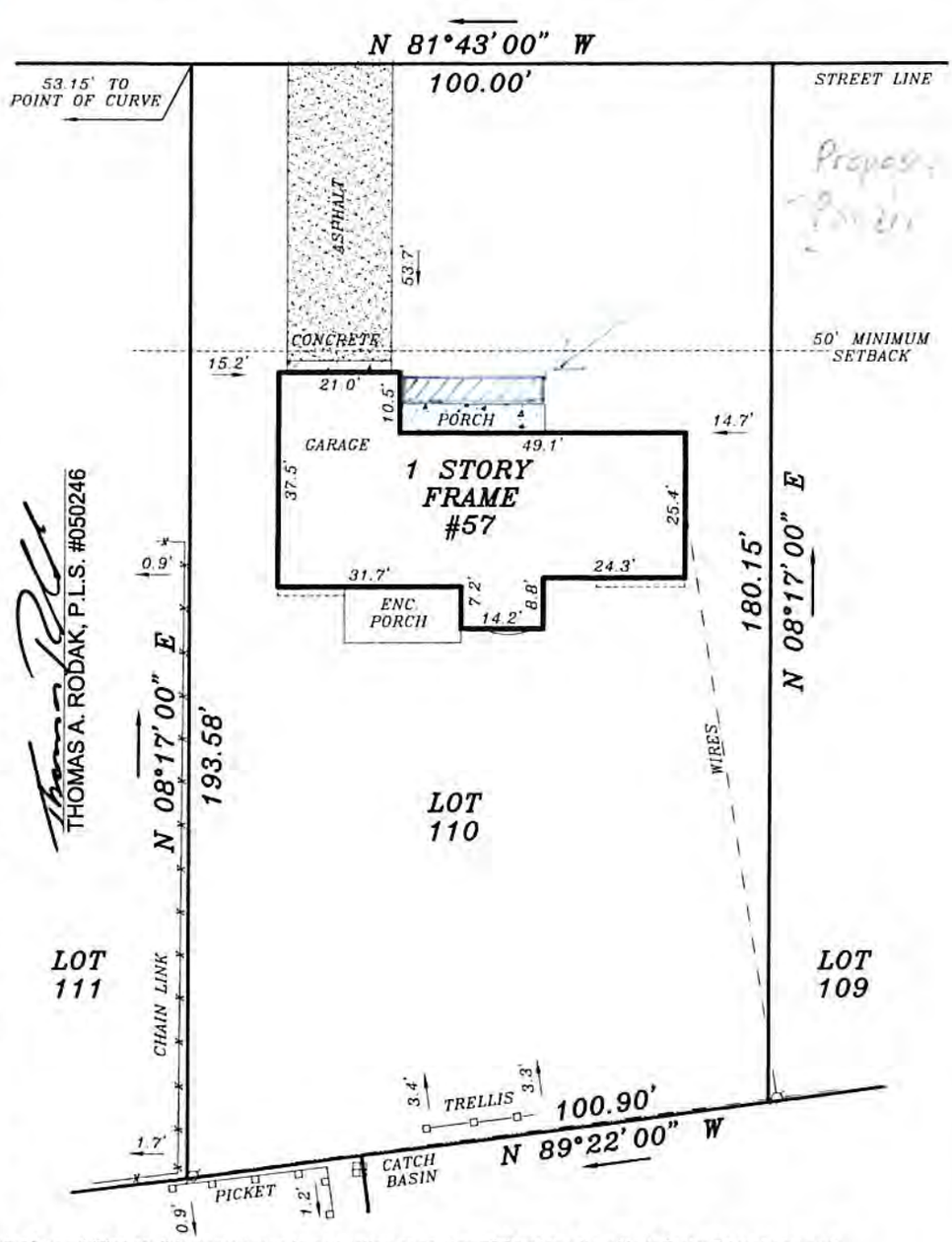
NOTES:

PARCEL IS SUBJECT TO AN EASEMENT GRANTED TO ROCH. GAS & ELEC. CORP. AND ROCH. TELEPHONE CORP. FOR FIXTURES AS SET FORTH IN LIBER 3446 OF DEEDS, PAGE 334.

REFERENCE IS MADE TO A GAS MAIN EASEMENT GRANTED TO ROCH. GAS & ELEC. CORP. AS SET FORTH IN LIBER 3446 OF DEEDS, PAGE 335.

PARCEL TAX ID #151.12-3-9

STATE OF NEW YORK
THOMAS ALAN RODAK
050246
LICENSED LAND SURVEYOR



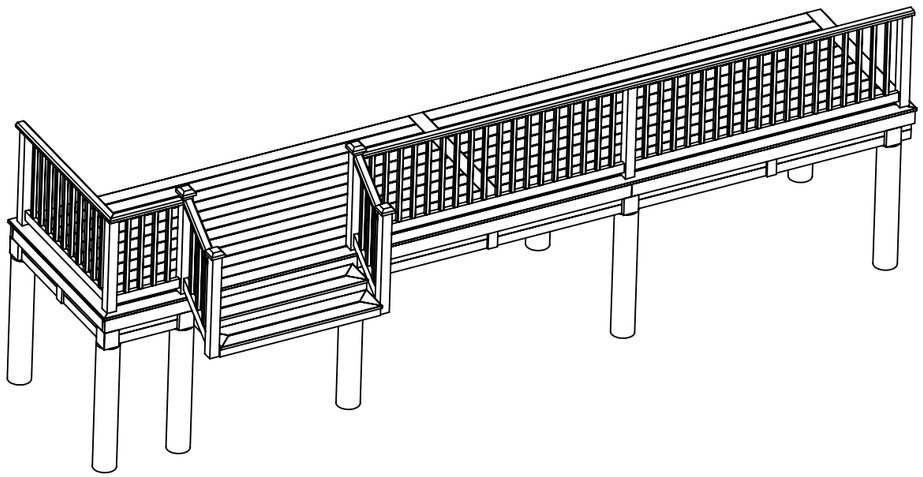
THOMAS A. RODAK, P.L.S. #050246

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO PREMIUM MORTGAGE CORP., ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTEREST MAY APPEAR; DOLLINGER ASSOCIATES, P.C.; KEVIN LLOYD; JOHANNA C. PATASHNICK; STEFANO LAW FIRM, PLLC AND NETWORK TITLE AGENCY OF NEW YORK THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED JULY 8, 2019.

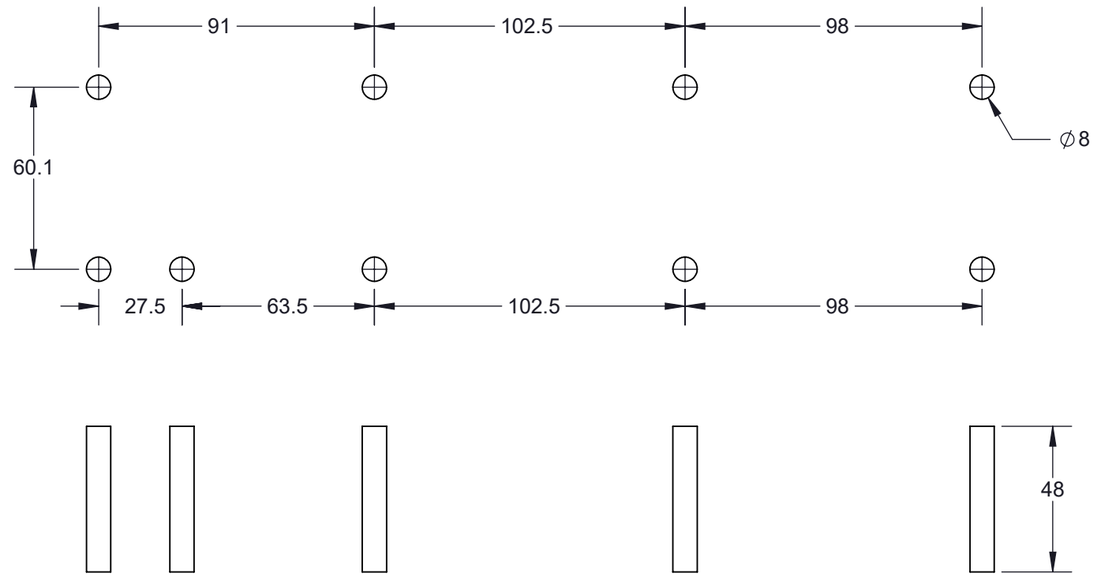
REFERENCES:

CROSSROADS ABSTRACT #441540 DATED JUNE 12, 2019
LIBER 11470 OF DEEDS, PAGE 118
LIBER 156 OF MAPS, PAGE 59

REV	ECO	REVISION DESCRIPTION	NAME	DATE
X1	N/A	ORIGINAL RELEASE	K. LLOYD	01-Jul-2022

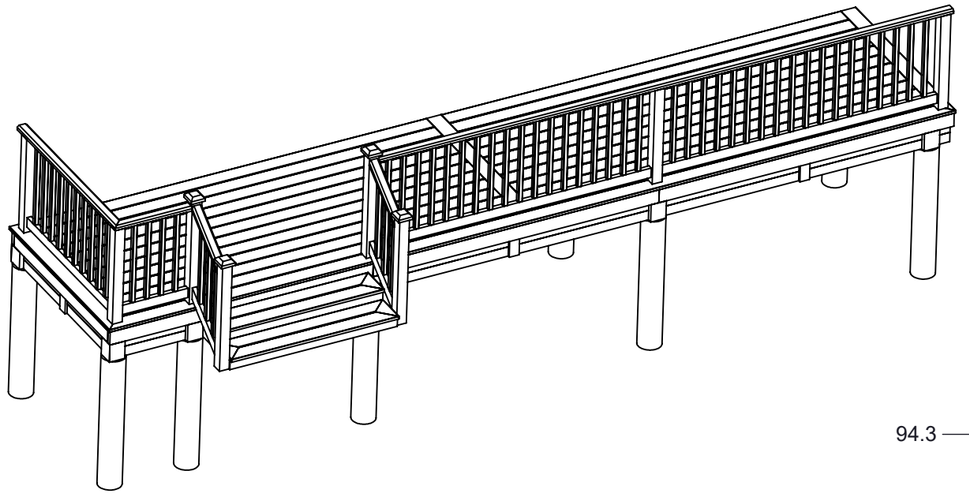


FOOTERS

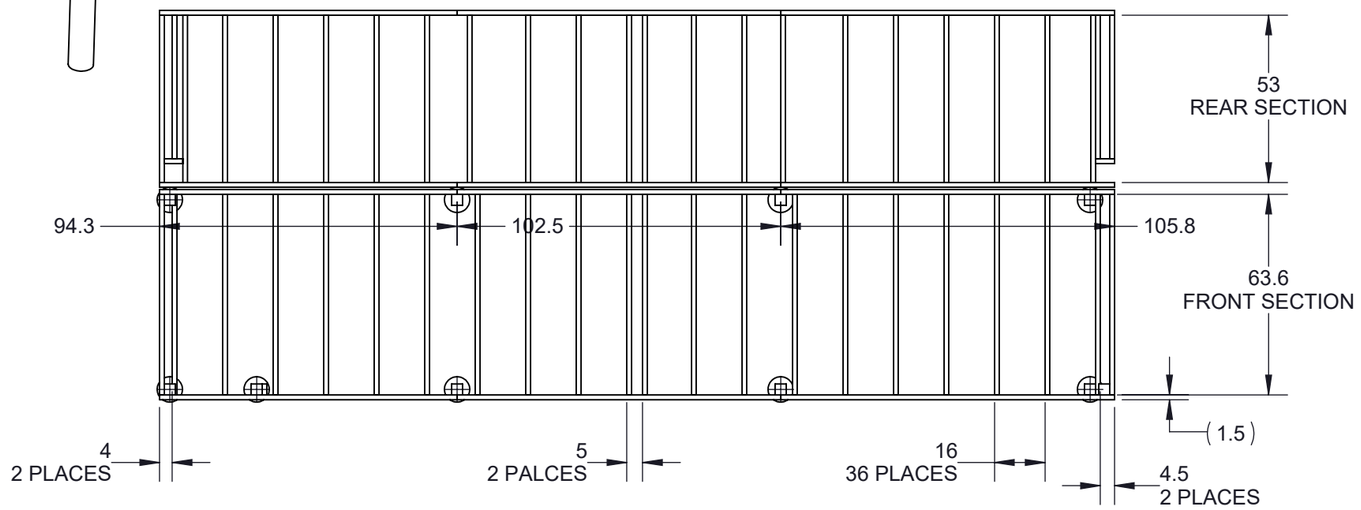


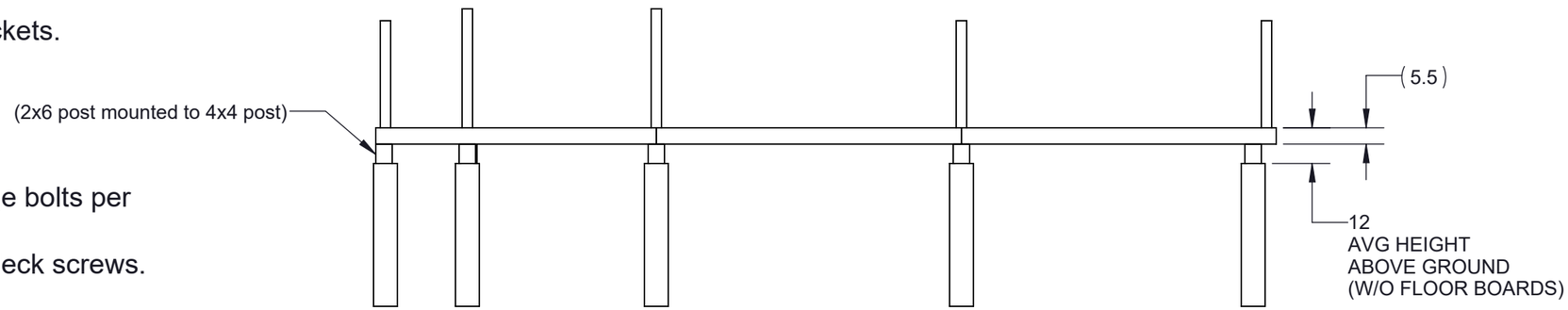
FRONT SECTION NOT ATTACHED TO HOUSE.
SECURED TO FOOTERS WITH BRACKETS.

DRAWN BY HOMEOWNER: Kevin Lloyd				
UNITS INCHES	SIZE B		ADDRESS 57 Shire Oaks Dr	REV. X1
SHEET 1 OF 3				



Beams & Joists





SPECIFICATIONS

REAR SECTION (Rests on existing concrete porch)

- BEAMS: 2x6's
  Rest on existing concrete porch and
  secure to concrete floor by brackets.
- JOISTS: 2x4's
  Attached with face mount joist hanger brackets.

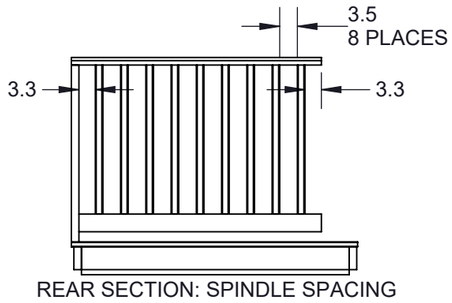
FRONT SECTION (w/ Footers)

- BEAMS: 2x6's
  Attached to 4x4 posts with two 1/2" carriage bolts per
  and reinforced by 2x6 post.
  2x6 posts attach to 4x4 with 2.5" outdoor deck screws.

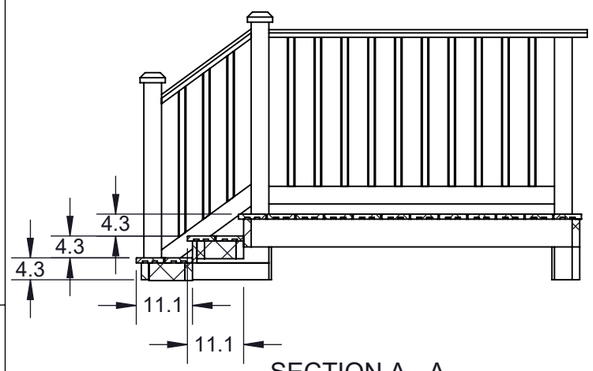
- JOISTS: 2x6's
  Attached with face mount joist hanger brackets.

DRAWN BY HOMEOWNER: Kevin Lloyd				
UNITS: INCHES	SIZE: B		ADDRESS: 57 Shire Oaks Dr	REV.: X1
SHEET: 2 OF 5				

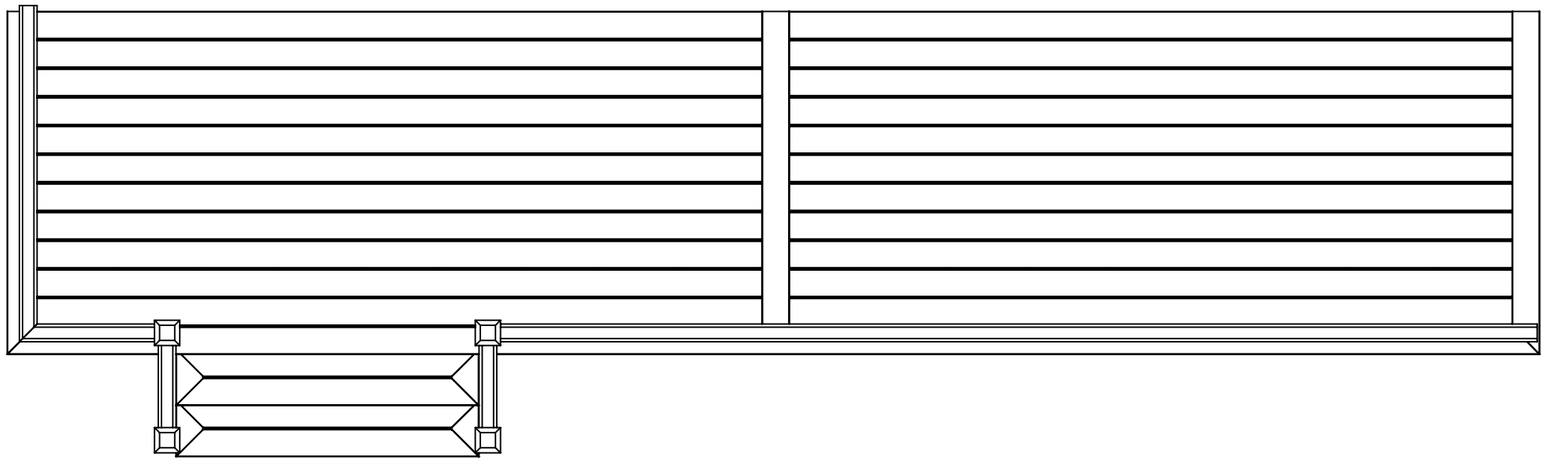
Railings & Stairs

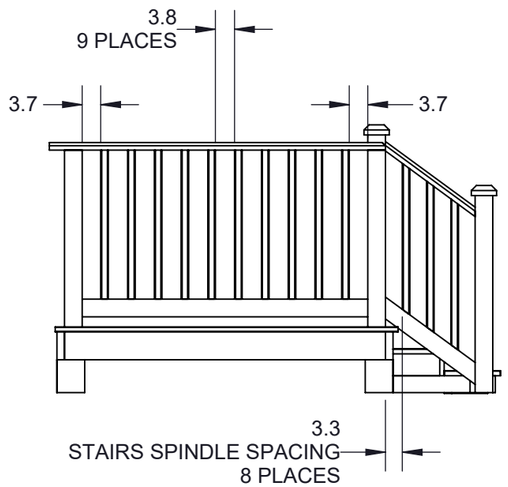


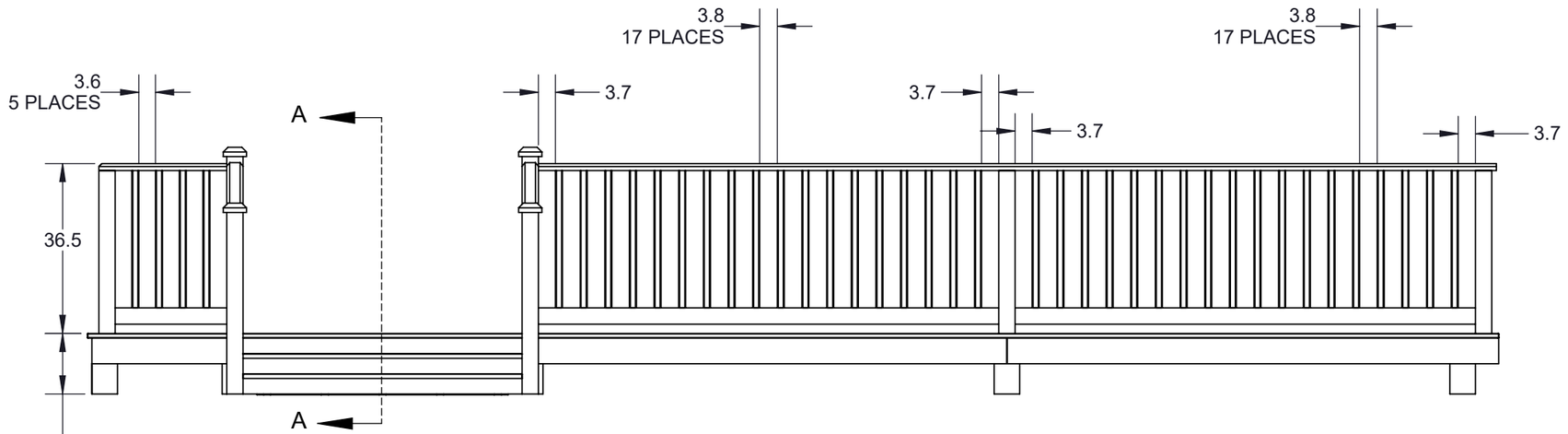
REAR SECTION: SPINDLE SPACING



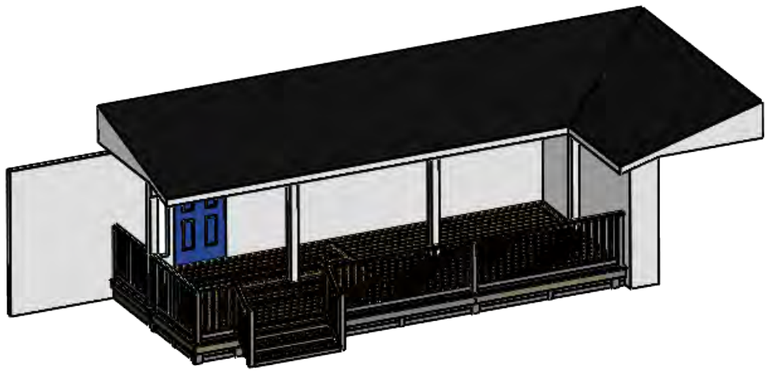
SECTION A - A

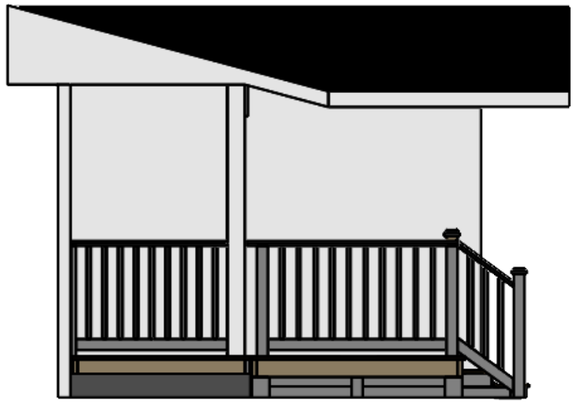




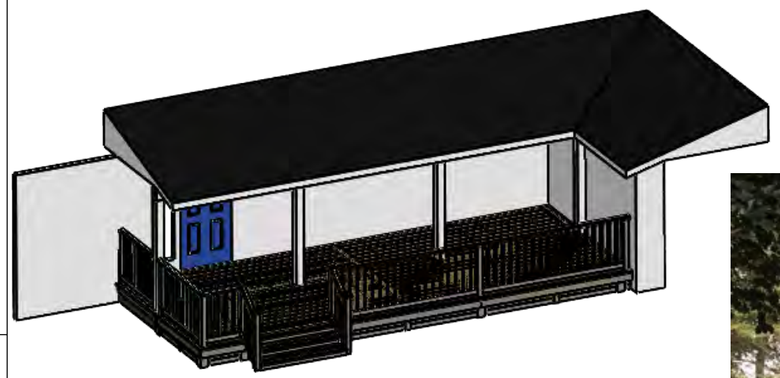


DRAWN BY HOMEOWNER: Kevin Lloyd				
UNITS INCHES	SIZE B		ADDRESS 57 Shire Oaks Dr	REV. X1
SHEET 3 OF 5				





DRAWN BY HOMEOWNER: Kevin Lloyd				
UNITS INCHES	SIZE B		ADDRESS 57 Shire Oaks Dr	REV. X1
SHEET 4 OF 5				



DRAWN BY HOMEOWNER: Kevin Lloyd				
UNITS INCHES	SIZE B		ADDRESS 57 Shire Oaks Dr	REV. X1
SHEET 5 OF 5				

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000105

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 81 Knickerbocker Road PITTSFORD, NY 14534
Tax ID Number: 164.19-1-4.2
Zoning District: RN Residential Neighborhood
Owner: Reavey, Patrick
Applicant: Reavey, Patrick

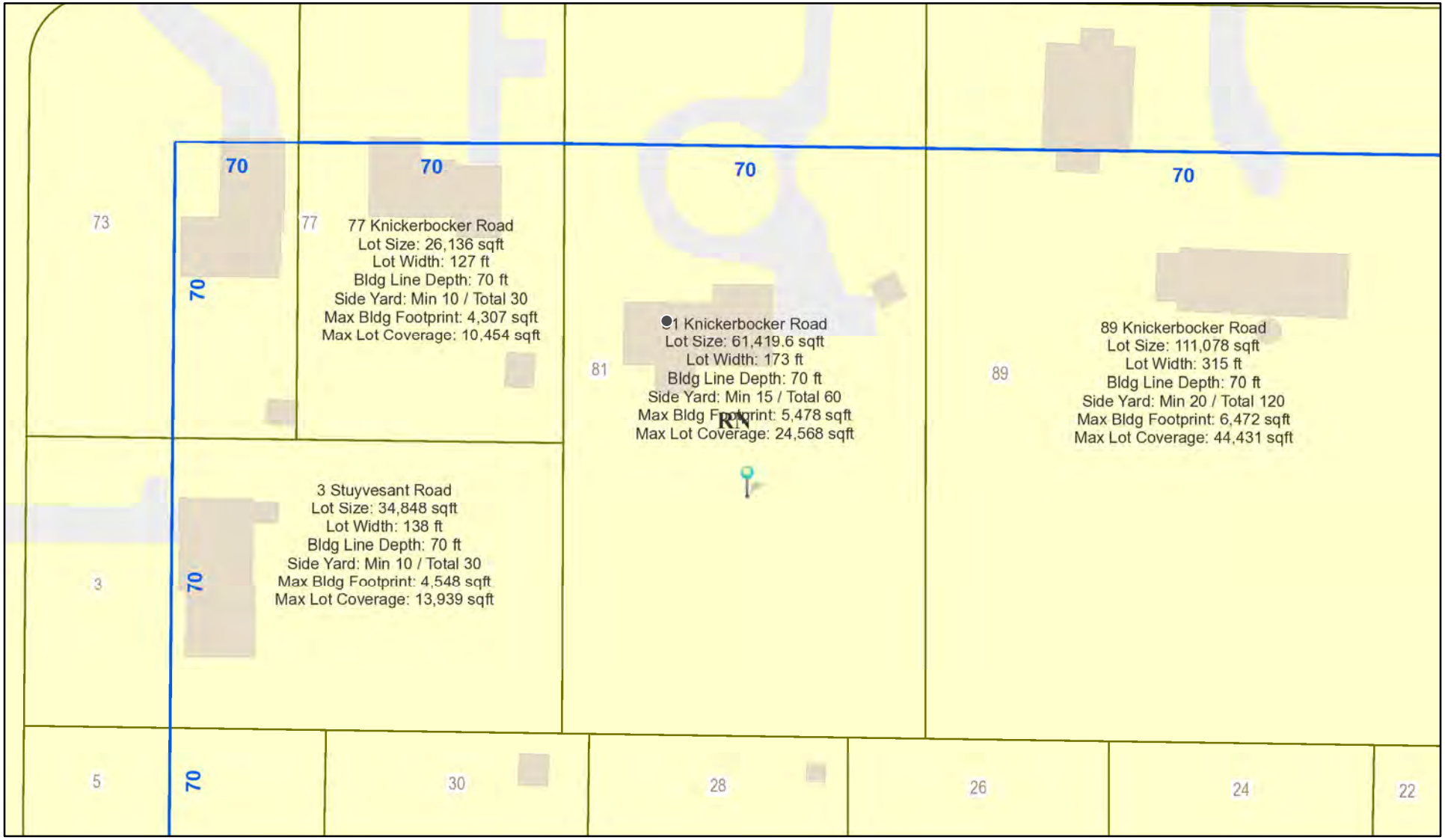
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The applicant is requesting design review for an addition of a 683 sf worth of additions including, Phase 1: second floor renovations including new roof line for master bedroom and bath. Remodel 2 existing baths and relocate laundry. Phase 2: including front bump out/entry way and moving kitchen, rebuilding and adding to sunroom in back.

Meeting Date: July 14, 2022

RN Residential Neighborhood Zoning



Printed June 30, 2022

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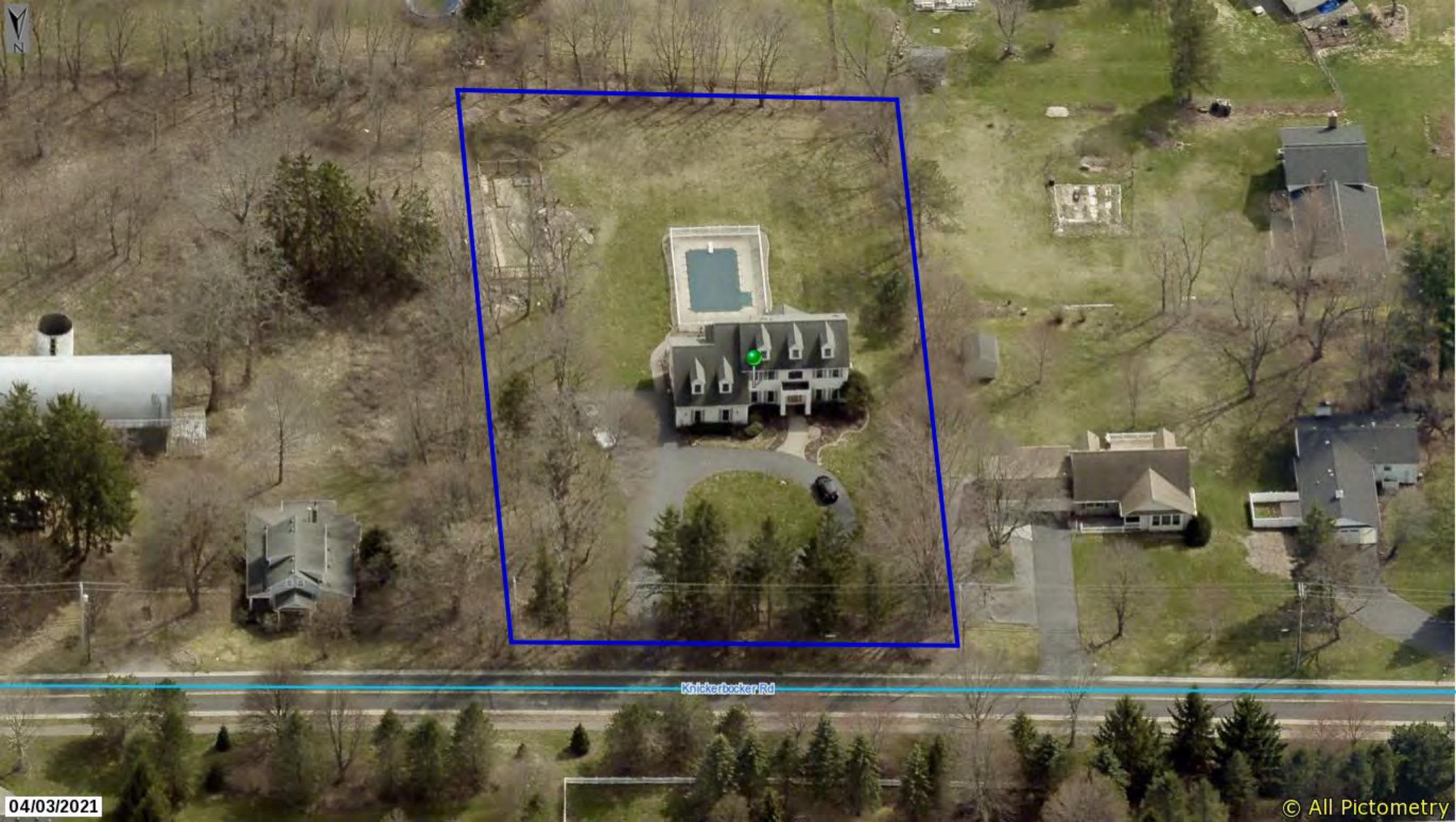
Town of Pittsford GIS


Knickerbocker Rd
04/03/2021
© All Pictometry

REAVEY-CANNON RESIDENCE

81 KNICKERBOCKER ROAD, PITTSFORD, NY

OUTLINE SPECIFICATIONS

GENERAL CONDITIONS

PERMITS & APPROVALS: CONTRACTOR SHALL APPLY AND PAY FOR THE PERMITS FOR THEIR PORTION OF THE WORK ON THE ADDITIONS AND ALTERATIONS; THE CONTRACTOR SHALL ALSO OBTAIN OTHER REQ'D CONSTRUCTION INSPECTIONS AND APPROVALS FOR PORTIONS OF THE WORK SUCH AS THE ELECTRICAL, PLUMBING, & HVAC SYSTEMS, AND CERTIFICATE OF OCCUPANCY; PROVIDE COPIES OF SUCH APPROVALS TO THE OWNER

WORK SCHEDULE: CONSTRUCTION WORK SHALL BEGIN UPON OWNER'S APPROVAL OF A CONSTRUCTION CONTRACT; CONTRACTOR SHALL DETERMINE WORK SCHEDULE WITH OWNER.

AGREEMENT & GENERAL CONDITIONS: CONTRACTOR SHALL PROVIDE A STANDARD CONSTRUCTION CONTRACT FOR OWNER'S APPROVAL.

PROJECT MEETINGS: CONTRACTORS SHALL MEET WITH THE OWNER ON A PERIODIC BASIS AND AS OTHERWISE NEEDED TO COORDINATE DETAILS OF THE CONSTRUCTION ACTIVITY.

SUBMITTALS & SHOP DRAWINGS: CONTRACTORS SHALL PROVIDE SUBMITTALS, SAMPLES, CATALOG EXCERPTS AND SHOP DRAWINGS FOR OWNER REVIEW PRIOR TO PERFORMING GIVEN ASPECTS OF THE WORK. THESE ASPECTS INCLUDE MILLWORK, DOORS & DOOR HARDWARE, WINDOWS, FLOOR & WALL FINISHES, PLUMBING FIXTURES, HVAC EQUIPMENT, ELECTRICAL LIGHTING & POWER FIXTURES, AND ANY OTHER ITEMS REQUESTED BY THE OWNER..

TEMPORARY BARRIERS: CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS AS NEEDED TO KEEP THE PUBLIC FROM ACCESS TO THE WORK AREA.

REMOVALS: REMOVE EXISTING CONSTRUCTION AS NEEDED TO CONSTRUCT THE ADDITION & ALTERATIONS SHOWN ON THESE DRAWINGS. REMOVAL INCLUDES DEMOLITION AND REMOVAL FROM SITE. DISPOSE OF IN A LEGAL MANNER. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM WEATHER DURING CONSTRUCTION.

SECURITY: LIMIT ACCESS TO THE WORK AREA TO PERSONS INVOLVED IN THE WORK. PROVIDE SECURE STORAGE FOR CONSTRUCTION MATERIALS AND EQUIPMENT. SAFETY AT WORK AREA IS THE CONTRACTOR'S RESPONSIBILITY.

ON-SITE TEMPORARY FACILITIES: CONTRACTORS MAY TEMPORARILY PLACE ITEMS SUCH AS DUMPSTER, TOILET FACILITY, AND SECURE STORAGE CONTAINER ON SITE. CONTRACTOR SHALL OBTAIN MUNICIPAL APPROVALS FOR SUCH ITEMS AS NEEDED.

CLEANING: CONTRACTORS SHALL MAINTAIN THE RENOVATION AREA AND SITE IN AN ORDERLY CONDITION. FOR FINAL CLEANING, CONTRACTOR SHALL PROVIDE THE RENOVATION AREA AND SITE IN COMPLETED AND CLEAN CONDITION READY FOR OCCUPANCY BY THE OWNER.

SITE

SITE UTILITIES: LOCATE EXISTING SITE UTILITIES AS NEEDED TO CONSTRUCT ADDITIONS, SUCH AS ELECTRIC, GAS & WATER SERVICE. AVOID DAMAGE TO EXISTING SITE UTILITIES WHEN PERFORMING THE CONSTRUCTION WORK. CONTRACTORS SHALL REPAIR DAMAGE TO SITE UTILITIES CAUSED BY THEIR CONSTRUCTION ACTIVITY.

LAWNS & PLANTINGS: RE-GRADE & RETURN DISTURBED AREAS TO MEET EXISTING ADJACENT CONTOURS. FINISH GRADE TO SLOPE AWAY FROM THE FOUNDATION WALL. EXISTING TREES AND PLANTINGS TO REMAIN TO EXTENT CONSTRUCTION WORK ALLOWS. NEW PLANTINGS SHALL BE PROVIDED BY THE OWNER SEPARATELY.

DRIVEWAY & WALKS: REPAIR EXISTING PAVEMENT AS NEEDED DUE TO DAMAGE OR REMOVAL FOR CONSTRUCTION ACTIVITIES.

SOILS BEARING: THE ASSUMED SOIL BEARING CAPACITY IS 2,500 P.S.F. IF UNSUITABLE SOILS ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER & ARCHITECT FOR POSSIBLE FOUNDATION RE-DESIGN. SOILS TESTING, IF NEEDED, SHALL BE OWNER'S RESPONSIBILITY.

CONCRETE

CONC. FOOTINGS. NEW CONC. FOOTINGS, PROVIDE 3,000 TO 3,500 PSI CONCRETE DESIGN COMPRESSIVE STRENGTH @ 28 DAYS, WITH RE-BARS.

CONCRETE FLOORS: PROVIDE NEW CONCRETE FLOOR AT ADDITIONS PER NOTES AT PLANS & WALL SECTIONS. BASIS OF DESIGN IS TO CAREFULLY SAW-CUT EXISTING CONCRETE SLAB TO ALLOW FOR NEW FOUNDATION CONSTRUCTION. EXISTING PATIO SLAB TO REMIAN TO THE FULLEST EXTENT.

FILL: WHERE SOILS ARE UNSUITABLE FOR BEARING OF CONCRETE FOOTINGS & SLABS, EXCAVATE TO UNDISTURBED SUITABLE FIRM SOILS; PROVIDE ENGINEERED FILL; FILL INTENDED FOR BEARING SHALL BE INSTALLED IN 8" LIFTS & COMPACTED TO 95% COMPACTION, AS MEASURED BY MODIFIED PROCTOR TESTS.

METAL

STEEL: ASTM A-36 STRUCTURAL STEEL FOR NEW COLUMNS AND BEAMS. REINFORCING BARS SHALL BE GRADE 60 OR BETTER. RED OXIDE PRIMER.

WOOD AND PLASTICS

ROUGH CARPENTRY:
ROOF SHEATHING: APA CDX PLYWOOD OR OSB SHEATHING W/ 'H' CLIPS... 1/2" MIN. THK. SHEATHING @ 16" O.C. ROOF FRAMING, 5/8" THK. @ 24" O.C.
EXTERIOR WALLS: 1/2" APA EXTERIOR GRADE PLYWOOD OR OSB SHEATHING; FLOOR SHEATHING: 3/4" THK. OSB SHEATHING, "ADVANTECH" OR EQUAL;
2X6 WOOD STUDS AT 16" O.C. AT NEW EXTERIOR WALLS;
2X4 WOOD STUDS AT 16" O.C. INTERIOR WALLS, UNLESS INDICATED OTHERWISE

FRAMING LUMBER. FRAMING MEMBERS SHALL BE #2 HEM-FIR OR BETTER. FLOOR JOISTS MAY ALSO BE DOUGLAS FIR, OR TJI PLYWOOD JOISTS.
BEAMS, HEADERS, JOISTS, AND RAFTERS AS NOTED ON THE DRAWINGS;
PROVIDE WOOD BLOCKING BELOW CONCENTRATED LOADS SUCH AS POSTS;
PROVIDE X-BRACING AT MIDSPAN OF WOOD FLOOR JOISTS.
PROVIDE BLOCKING OR X-BRACING AT TJI JOISTS PER MANUF. RECOMMEND'S.
PROVIDE PRESERVATIVE PRESSURE TREATED WOOD WHEN IN CONTACT WITH MASONRY, CONCRETE OR WHEN EXPOSED TO THE WEATHER.

BEARING NOTE: IT'S THE INTENTION ON THESE DRAWINGS THAT CONCENTRATED LOADS, SUCH AS POSTS AND HEADERS, HAVE ADEQUATE BEARING TO THE FOUNDATION. IF THIS DOES NOT APPEAR TO BE THE CASE IN ANY INSTANCE DURING CONSTRUCTION, NOTIFY THE ARCHITECT PRIOR TO PROCEEDING.

ROOF TRUSSES: TRUSSES, IF ANY, SHALL BE DESIGNED BY THE SUPPLIER'S ENGINEER FOR ALL APPLICABLE LOADS PER THE BUILDING CODES OF NEW YORK. ROOF TRUSS DRAWINGS SHALL BEAR THE SEAL & SIGNATURE OF A N.Y.S LICENSED ENGINEER. TRUSSES SHALL BE INSTALLED WITH TIE-DOWN CLIPS AT EACH TRUSS TO TOP OF WALL, TYP. TRUSSES SHALL BE RAISED HEEL TYPE TO ALLOW FULL INSULATION THICKNESS AT TOP OF WALLS. TRUSS DESIGN, CONNECTIONS, BRACING, ERECTION AND QUALITY SHALL CONFORM TO THE SPEC'S & RECOMMENDATIONS OF THE N.F.P.A. AND THE TRUSS PLATE INSTITUTE (T.P.I.) INCLUDING TEMPORARY AND PERMANENT BRACING.

INTERIOR TRIM: MATERIAL, SIZE, PROFILE AND FINISH OF NEW INTERIOR TRIM AT THE ADDITION AND ALTERATIONS SHALL GENERALLY MATCH TYPICAL EXISTING TRIM AT THE FIRST FLOOR OF THE RESIDENCE, INCLUDING WINDOW TRIM, DOOR TRIM, AND WALL BASE, OR SHALL BE AS DETERMINED WITH THE OWNER.

CLOSET SHELVING. PROVIDE RODS & SHELVES IN NEW CLOSETS AS DETERMINED WITH THE OWNER.

CABINETRY. PROVIDE NEW CABINETRY AND COUNTERS AS GENERALLY SHOWN ON THE DRAWINGS; PROVIDE SHOP DRAWINGS FOR OWNER APPROVAL.

THERMAL AND MOISTURE PROTECTION

AIR INFILTRATION BARRIER: TYVEK© OR EQUAL HOUSE WRAP ON ALL NEW & RENOVATED EXTERIOR WALLS; INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

INSULATION AT EXISTING BUILDING:
EXISTING BUILDING EXTERIOR WALLS AND ROOF INSULATION TO REMAIN, UNLESS OTHERWISE NOTED; VERIFY EXISTING IS INTACT AND FILL IN WHERE IT IS NOT. AT NEW ATTIC INSULATION AREAS, INCLUDE VENT BAFFLES AT RAFTER SPACES AT EAVES TO ALLOW VENTILATION OF ATTIC AIR ABOVE INSULATION.

INSULATION AT ADDITIONS & FORMER GARAGE AREA:
SILL SEALER INSULATION UNDER WOOD PLATES ON FOUNDATION WALLS;
GASKET TYPE SEALANTS AROUND OUTSIDE ELECTRICAL AND OTHER OUTLETS;
CAULK PERIMETER OF NEW DOORS, WINDOWS, & PIPE PENETRATIONS AT EXTERIOR;
R-21 MIN. FIBERGLASS FOIL FACE INSUL. AT NEW EXTERIOR 2X6 WOOD STUD WALLS;
R-44 FIBERGLASS INSULATION ROLL OR BLOWN-IN AT NEW CEILING JOISTS;
R-30 FIGERGLASS INSULATION ROLL OR BLOWN-IN AT EXISTING CEILING JOISTS;
SPRAY FOAM INSULATION IS AN ACCEPTABLE ALTERNATIVE TO FIBERGLASS BATT;
SOUND ATTENUATING BATTS FULL HEIGHT IN NEW INTERIOR WALLS.

ROOF SHINGLES: REMOVE ROOFING AND FELT UNDER-LAYMENT TO PLYWOOD SHEATHING AT EXISTING ROOF WORK AREAS; PROVIDE NEW ASPHALT ROOF SHINGLES ON 15# MIN. REINFORCED ROOFING FELT; PROVIDE UNDER-LAYMENT OF GRACE'S 'ICE & WATER SHIELD' OR EQUAL AT ALL EAVES AND VALLEYS AS REQUIRED BY BUILDING CODE.

ROOF GUTTERS & DOWNSPOUTS: REMOVE EXISTING GUTTERS & DOWNSPOUTS AS NECESSARY TO ALLOW FOR NEW CONSTRUCTION; PROVIDE HEAVY DUTY SEAMLESS PRE-FINISHED ALUMINUM GUTTERS; GENERALLY LOCATE DOWNSPOUTS AT OUTSIDE CORNERS, OR PROVIDE NEW DOWNSPOUT AT EXISTING LOCATIONS.

EXTERIOR SIDING: MATCH EXISTING SIDING & TRIM; FINAL SELECTION OF TYPE AND COLORS AS SELECTED WITH OWNER.

EXTERIOR TRIM: TRIM AS SHOWN ON EXTERIOR ELEVATIONS, INCLUDING AT EAVES, WINDOWS, DOORS, INSIDE & OUTSIDE BUILDING CORNERS, AND TOP OF WALL

CAULKING & SEALANTS: CAULKING & SEALANTS... SILICONE BASED ACRYLIC IN COLOR TO MATCH ADJACENT MATERIALS.

DOORS, WINDOWS, AND GLAZING:

WINDOWS. NEW EXTERIOR WINDOWS SHALL BE LOW-E, ARGON GAS FILLED, INSULATED GLASS BY ANDERSEN OR APPROVED EQUAL; PROVIDE SCREENS FOR ALL OPERABLE WINDOWS; PROVIDE EXTENSION JAMBS TO SUIT WALL THICKNESS; HARDWARE AND INTERIOR & EXTERIOR FINISH ON SASH AND FRAMES TO MATCH EXISTING.

EXTERIOR DOORS: 1-3/4" FIBERGLASS INSULATED DOOR; COORDINATE FINAL SELECTION OF NEW DOORS WITH OWNER; HEAVY-DUTY WEATHER STRIPPING AT ALL EXTERIOR DOORS; HARDWARE SHALL BE HANDICAPPED USABLE MODELS INCLUDING LEVER TYPE DOOR HANDLE AND ALUMINUM DOOR SILL.

INTERIOR DOORS: INTERIOR WOOD DOORS TO MATCH EXISTING; FINAL SELECTION OF STYLE, MATERIAL AND FINISH AS SELECTED BY OWNER. SALVAGE & REUSE WHEN DETERMINED TO BE IN GOOD-EXCELLENT CONDITION.

DOOR HARDWARE: DOOR HARDWARE FINISH & STYLE TO MATCH EXISTING.

INTERIOR FINISHES

GYPSUM WALL BOARD. PROVIDE 5/8" THICK TYPE 'X' FOR ALL NEW GYPSUM WALL BOARD, EXCEPT WHERE WALLS OR CEILINGS ARE BEING PATCHED PROVIDE GYPSUM WALL BOARD TO MATCH EXISTING ADJACENT; MOISTURE RESISTANT TYPE IN ALL 'WET' LOCATIONS; TYPICAL APPLICATION: GLUE & SCREW TO FRAMING.

CEMENT BOARD. PROVIDE 1/2" THICK CEMENT BOARD SHEATHING AT WALLS & FLOORS TO RECEIVE TILE FINISH.

PAINTING: PAINT COLORS TO BE SELECTED BY OWNER; PRIMER PLUS (2) TWO COATS LATEX AT ALL CEILINGS & INTERIOR WALLS, U.N.O.; EGGSHELL FINISH AT WALLS; SEMI-GLOSS FINISH AT INTERIOR DOOR & WINDOW FRAMES.

FINISHES PLAN: SEE FINISHES SCHEDULE FOR FURTHER FINISHES INFO..

MECHANICAL:

CODE COMPLIANCE: PLUMBING & HVAC WORK SHALL BE PROVIDED IN COMPLIANCE WITH THE CURRENT INTERNATIONAL BUILDING CODES WITH THE APPLICABLE NEW YORK STATE AMENDMENTS, AND OTHER APPLICABLE BUILDING CODES.

SPECIALTIES:

BATH ROOM ACCESSORIES: PROVIDE ACCESSORIES AT NEW BATH ROOMS AS INDICATED ON THE DRAWINGS & OUTLINE SPECS; COORD. W/ OWNER FOR SELECTION; PROVIDE WOOD BLOCKING IN WALLS WHERE NEEDED TO SUPPORT ACCESSORIES; EACH BATHROOM SHALL INCLUDE THE FOLLOWING ACCESSORIES
1. 24" WIDE X 36" HT. MIRROR AT EACH VANITY SINK.
2. 1 TOILET PAPER DISPENSER
3. 1 1/4" DIA. STAINLESS STEEL SHOWER CURTAIN ROD
4. GRAB BARS AS INDICATED ON THE FLOOR PLAN

WATER SUPPLY SYSTEM: 1/2" BRANCH LINES COPPER PIPING WITH SWEATED FITTINGS; ALL PLUMBING FIXTURES TO HAVE SHUT-OFFS; PROVIDE TWO NEW EXTERIOR HOSE BIBS AND ASSOCIATED SUPPLY WATER PIPING; HOSE BIBS SHALL BE FROST FREE TYP; ONE AT DECK, ONE AT SHOP.

WASTE WATER SYSTEM: PIPING MATERIALS & TIE-IN OF ALL PLUMBING LINES TO BE PER CODE. CONNECT NEW DRAINS TO EXISTING SANITARY DRAIN SYSTEM.

SITE SANITARY SYSTEM: CHECK FOR PROPER FUNCTIONING OF EXISTING SANITARY DRAIN SYSTEM; CLEAR LINES AS NEEDED WITH PLUMBER'S TOOLS; REPLACEMENT OF EXISTING SANITARY DRAIN SYSTEM OUTSIDE THE FOUNDATION WALLS IS NOT ANTICIPATED AS PART OF THIS CONSTRUCTION CONTRACT.

HVAC SYSTEMS: COORDINATE WITH HVAC CONTRACTOR TO VERIFY ADEQUACY OF EXISTING HVAC SYSTEM TO INCLUDE THE ADDITION; IF SO, EXTEND EXISTING HVAC SYSTEM INTO THE ADDITION; OTHERWISE PROVIDE NEW HVAC SYSTEMS FOR ADDITION; PROVIDE BALANCED SYSTEMS WITH SUPPLY AND RETURN DUCTWORK TO NEW ROOMS.

WATER HEATERS: REMOVE EXISTING HOT WATER HEATER; REPLACE WITH A 75 GALLON HOT WATER HEATER, EQUAL TO A RHEEM PERFORMANCE PLATINUM 12 YEAR WARRANTY 76,000 BTU NATURAL GAS UPRIGHT TANK TYPE WATER HEATER; CONNECT NEW PLUMBING FIXTURES TO WATER SUPPLY SYSTEMS.

ELECTRICAL

CODE COMPLIANCE: ELECTRICAL WORK SHALL BE PROVIDED IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODES WITH THE APPLICABLE NEW YORK STATE AMENDMENTS, AND ANY OTHER APPLICABLE CODES, SUCH AS THE NATIONAL ELECTRIC CODE.

ELECTRICAL SERVICE AND PANEL: A NEW ELECTRICAL SERVICE IS NOT ANTICIPATED TO BE NEEDED AS PART OF THIS CONSTRUCTION CONTRACT; IF NEEDED, PROVIDE A NEW ELECTRICAL PANEL OR SUBPANEL WITH ENOUGH CIRCUITS TO ACCOMMODATE THE ELECTRICAL REQUIREMENTS OF THE ADDITION

REMOVALS: REMOVE AND DISPOSE OF EXISTING ELECTRICAL WIRING, JUNCTION BOXES AND OTHER DEVICES WHICH WILL NO LONGER BE NEEDED DUE TO THE RENOVATIONS BEING DONE.

TYPICAL POWER OUTLETS: EXISTING POWER OUTLETS MAY REMAIN WHEN THEY ARE IN EXCELLENT CONDITION AND IN APPROPRIATE LOCATIONS; PROVIDE NEW POWER OUTLETS PER CODES AND AS DETERMINED WITH OWNER.

ELECTRICAL FIXTURES: COORDINATE WITH OWNER FOR STYLE & LOCATION, AT BOTH INTERIOR AND EXTERIOR THE ADDITION; RUN WIRING & INSTALL APPROVED METAL WORK BOXES AT ALL LOCATIONS.

LIGHT SWITCHES. PROVIDE LIGHT SWITCHES WHERE DIRECTED BY OWNER, INCLUDING THREE-WAY SWITCHING.

TELEPHONE & DATA SYSTEMS: WIRING FOR TELEPHONE AND DATA OUTLETS SHALL BE PROVIDED BY OTHERS; COORDINATE WITH OWNER TO ALLOW OTHERS TO INSTALL TELEPHONE & DATA WIRING AND OUTLETS AT APPROPRIATE TIME DURING CONSTRUCTION.

ALLOWANCES

(NOT USED)

ALTERNATES

(NOT USED)

BASIC DESCRIPTION OF WORK

-RESIDENCE ADDITION & ALTERATIONS:

THE PROJECT IS ADDTIONS AND ALTERATIONS TO THE EXISTING RESIDENCE INCLUDING A NEW KITCHEN, ENTRANCE, AND MASTER BEDROOM EXPANSION OVER GARAGE. SUN ROOM DEMOLITION AND NEW CONSTRUCTION AT FUTURE DATE.

-REMOVALS:

REMOVE EXISTING CONSTRUCTION AS INDICATED ON THE DRAWINGS AND AS OTHERWIDE NEEDED TO CONSTRUCT THE ADDITIONS AND ALTERATIONS.

-GENERAL CONSTRUCTION:

WORK OF THIS CONTRACT IS GENERAL CONSTRUCTION, INCLUDING INTERIOR AND EXTERIOR WORK, HVAC, PLUMBING, ELECTRICAL, POWER & LIGHTING.

BUILDING DATA

BUILDING OCCUPANCY TYPE :	R-1
CONSTRUCTION CLASSIFICATION:	TYPE V-B
BUILDING HEIGHT:	38'-7" +/- AT WALKOUT BASEMENT
AREA OF EXISTING BUILDING TO REMAIN:	4,797 S.F.
AREA OF ADDITIONS:	683 S.F.
BUILDING AREA WITH ADDITIONS:	5,480 S.F.

MATERIAL LEGEND

EARTH
ROCK
GRAVEL
CONCRETE
CONCRETE MASONRY UNITS
BRICK
STONE
STEEL (LARGE & SMALL SCALE)
WOOD FRAMING, WOOD BLOCKING
WOOD TRIM, FINISHED MILLWORK
PLYWOOD
PLASTER OR GYPSUM WALLBOARD
FIBERGLASS BATT INSULATION
RIGID INSULATION BOARD
WOOD FRAME PARTITIONS
METAL STUD PARTIONS (LARGE & SMALL SCALE)

ENERGY CONSERVATION NOTICE:

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY UNDER THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE BUILDING CODE OF NEW YORK STATE, THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, INDUSTRIAL CODE RULE 56 AND CONSTRUCTION STANDARDS OF THE EDUCATION DEPARTMENT.

Jennifer R. Takatch 11-5-2021 **Revised 06-30-22**

SIGNED DATE

SYMBOL LEGEND

EXISTING SPOT ELEVATION
FINISHED SPOT ELEVATION
EXISTING CONTOUR TO BE REMOVED
FINISHED CONTOUR
PROPERTY LINE
FENCE
EXISTING TREE TO BE PROTECTED
EXISTING TREE TO BE REMOVED
BENCHMARK, FLOOR ELEV. OR OTHER VERT. EL.
SANITARY SEWER
STORM SEWER
WATER LINE
GAS LINE
ELECTRIC LINE
DETAIL SECTION #A ON SHEET A-1
BUILDING SECTION #A ON SHEET A-1
WALL OR DETAIL SECTION #B ON SHEET A-2
EXISTING CONSTRUCTION TO REMAIN
EXISTING CONSTRUCTION TO BE REMOVED
NEW PARTITION CONSTRUCTION
NEW MASONRY CONSTRUCTION

ROOM # 06 - RM. ELEV. IS DETAIL # 5 ON SHEET A-7
DOOR NUMBER
COLUMN GRID LINES
REVISION NUMBER
CHANGE IN AREA OR FINISH
DIMENSION TO CENTER LINE OF GRID, PARTITION, OR MULLION
DIMENSION TO ROUGH WALL OR FACE OF STUD
DIMENSION TO FINISH WALL SURFACE
WINDOW WALL SYMBOL
CEILING HEIGHT
LIGHTING FIXTURES (TYPE AS SCHEDULED)
EXISTING DOOR AND FRAME TO BE REMOVED
EXISTING DOOR AND FRAME TO REMAIN
NEW DOOR AND FRAME
DOOR SIZE: 2 FOOT 6 INCH WIDE BY 6 FOOT 8 INCH HIGH

ABBREVIATIONS

A.C.	AIR CONDITIONING	DN.	DOWN	I.P.	IRON PIPE	R.O.B.	RUN OF BANK
A.C.T.	ACOUSTICAL CEILING TILE	DO	DITTO, REPEAT, SAME			R=	R VALUE EQUALS
ACOUST.	ACOUSTIC	DR	DOOR	L.	LENGTH, LONG	SAN.	SANITARY (SEWER)
ADJ.	ADJACENT	D.S.	DOWNSPOUT	LDR.	LEADER	SCHED.	SCHEDULE
A.F.F.	ABOVE FINISHED FLOOR	DWG.	DRAWING	LAV.	LAVATORY	SECT.	SECTION
ALT.	ALTERNATE			L.L.V.	LONG LEG VERTICAL	SEP.	SEPARATE
ALUM.	ALUMINUM	EA.	EACH			S.G.T.	STRUCTURAL GLAZED TILE
∠	ANGLE	ELEC.	ELECTRIC	MAX.	MAXIMUM		
APPD. EQ	APPROVED EQUAL	E.C.	ELECTRICAL CONTRACTOR	MECH.	MECHANICAL	SHT.	SHEET
APPROX.	APPROXIMATE	ELEV.	ELEVATION	MTL.	METAL	SIM.	SIMILAR TO
ARCH.	ARCHITECT	EQ.	EQUAL	MANUF.	MANUFACTURER	SPEC.	SPECIFICATION
ASB.	ASBESTOS	EQUIP.	EQUIPMENT	M.H.	MANHOLE	SPR.	SPRINKLER
A.A.C.	ASBESTOS ABATEMENT CONTR.	EXIST.	EXISTING	MIN.	MINIMUM	S.C.	SOLID CORE
		EXH.	EXHAUST	MISC.	MISCELLANEOUS	S.F.	SQUARE FEET
ASPH.	ASPHALT	EXP.	EXPOSED	M.O.	MASONRY OPENING	S.S.	STAINLESS STEEL
AUTO.	AUTOMATIC	EIFS	EXTERIOR INSULATION & FINISH SYSTEM	MTD.	MOUNTED	STL.	STEEL
AVG.	AVERAGE					STOR.	STORAGE
		E.J.	EXPANSION JOINT	N.A.	NOT APPLICABLE	STORM	STORM (SEWER)
BD.	BOARD	EXT.	EXTERIOR	N.I.C.	NOT IN CONTRACT	STR.	STRUCTURAL
BLDG.	BUILDING	E.F.	EACH FACE	NO., #	NUMBER	SUSP.	SUSPENDED
BLK.	BLOCK	E.W.	EACH WAY	N.T.S.	NOT TO SCALE	STRUC.	STRUCTURAL
BLKG.	BLOCKING					S.L.V.	SHORT LEG VERTICAL
BOT.	BOTTOM	F.D.	FLOOR DRAIN	O.C.	ON CENTER		
BRK.	BRICK	F.E.C.	FIRE EXTINGUISHER CABINET	O.D.	OUTSIDE DIAMETER		
BSMT.	BASEMENT	F.F.	FINISHED FLOOR	OPNG.	OPENING		
B.P.	BEARING PLATE	FIN.	FINISH	OPP.	OPPOSITE		
		FIX.	FIXTURE	O.H.	OVERHEAD		
C.	COURSE	FL./FLR.	FLOOR				
CAB.	CABINET	F.P.	FIREPROOF	PART.	PARTITION		
CARP.	CARPET	F.R.P.	FIBERGLASS REINFORCED POLYESTER	P.C.	PLUMBING CONTRACTOR		
C.B.	CHALKBOARD			PL.	PLATE		
CEM.	CEMENT	FT	FOOT, FEET	PLAS.	PLASTER		
C.M.T.	CERAMIC MOSAIC TILE	FTG.	FOOTING	PLAS.LAM.	PLASTIC LAMINATE		
C.W.T.	CERAMIC WALL TILE			PLMB.	PLUMBING		
C.I.	CAST IRON	GA.	GUAGE, GAGE	PLYWD.	PLYWOOD		
C.J.	CONTROL JOINT	GALV.	GALVANIZED	POLY.	POLYETHYLENE		
CLG.	CEILING	G.C.	GENERAL CONTRACTOR	PRE-FAB.	PREFABRICATED		
CL.	CLOSET	G.F.I.	GROUND FAULT INTERRUPTER	PREP.	PREPARATION		
C.	CENTER LINE	GL.	GLASS	P.S.I.	POUNDS PER SQUARE INCH		
C.	CHANNEL	G.B.	GRAB BAR	P.S.F.	POUNDS OER SQUARE FOOT		
C.O.	CLEAN-OUT	GR.	GRADE				
COL.	COLUMN	GYP BD. / G.W.B.	GYPSUM WALLBOARD	PTD.	PAINTED		
CONC.	CONCRETE			PVC	POLYVINYL CHLORIDE		
C.M.U.	CONCRETE MASONRY UNIT	H.C.	HVAC CONTRACTOR				
CONN.	CONNECTION	HDWD.	HARDWOOD	R.	RISER		
CONST.	CONSTRUCTION	HDWR.	HARDWARE	RAD.	RADIUS		
CONT.	CONTINUOUS	H.M.	HOLLOW METAL	R.D.	ROOF DRAIN		
CONTR.	CONTRACTOR	HORIZ.	HORIZONTAL	RD.	ROUND		
C.W.	COLD WATER	HR.	HOUR	REF.	REFER TO		
CORR.	CORRIDOR	HT.	HEIGHT	REF.	REFRIGERATOR		
CTOP	COUNTER TOP	HVAC	HEATING, VENTILATION & AIR CONDITIONING	REG.	REGISTER		
CRS.	COURSES	H.W.	HOT WATER	REINF.	REINFORCE		
				REQ'D.	REQUIRED		
DET.	DETAIL			RES.	RESILIENT		
D.F.	DRINKING FOUNTAIN	IN.	INCH	RET.	RETURN		
DIA. ø	DIAMETER	I.D.	INSIDE DIAMETER	RFG.	ROOFING		
DIM.	DIMENSION	INSUL.	INSULATION	RM.	ROOM		
DISP.	DISPENSER	INT.	INTERIOR				

DRAWING INDEX

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REGISTERED ARCHITECT JENNIFER R. TAKATCH 029051 STATE OF NEW YORK

REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	SBT/KAS
DATE:	08-12-2021

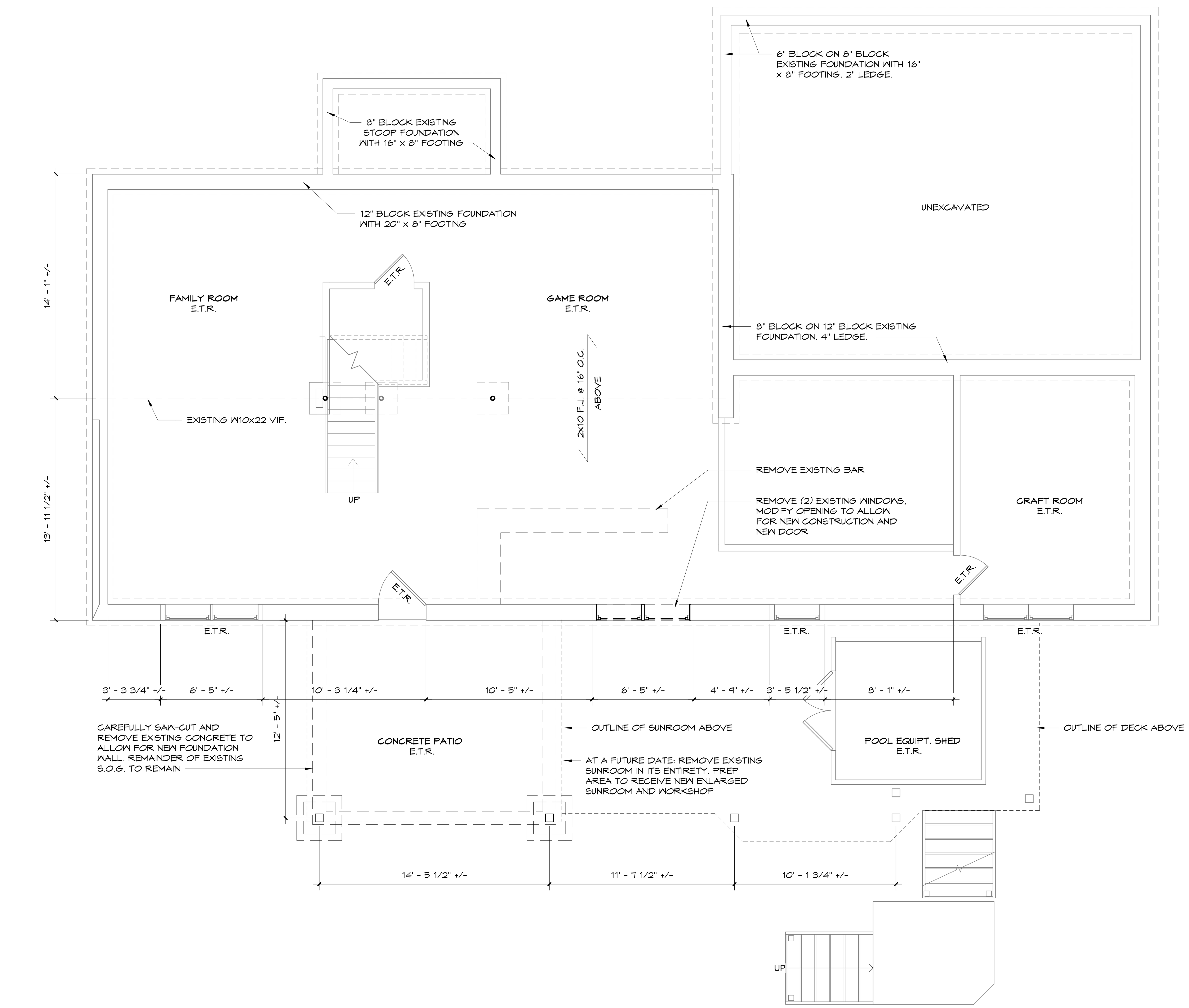
REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

SHEET NAME:
TITLE SHEET

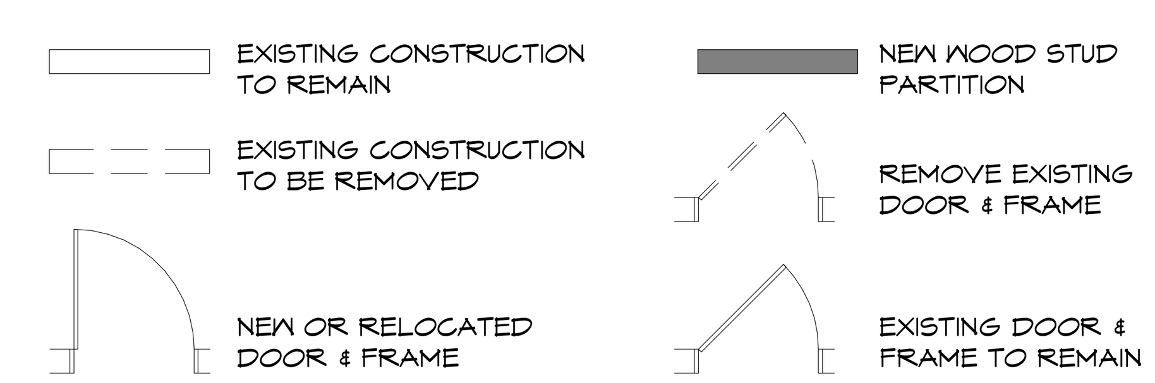
SHEET NUMBER
A001



1 BASEMENT DEMOLITION PLAN

1/4" = 1'-0"

PLAN LEGEND



DEMOLITION GENERAL NOTES

1. DEMOLITION: CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS AND AS OTHERWISE NEEDED TO PROVIDE THE ALTERATIONS AND ADDITIONS.

2. REMOVE DEMOLISHED MATERIALS FROM THE WORK SITE, EXCEPT ITEMS TO BE REUSED OR TURNED OVER TO THE OWNER; DISPOSE OF REMOVED MATERIALS IN A LEGAL MANNER; KEEP THE WORK SITE AND SURROUNDING AREAS CLEANED ON A REGULAR BASIS.

3. PROVIDE SHORING AND BRACING FOR ADEQUATE SUPPORT OF EXISTING CONSTRUCTION TO REMAIN PRIOR TO REMOVALS OF ANY STRUCTURE.

4. PROVIDE TEMPORARY FENCING OR BARRIERS TO PREVENT THE PUBLIC FROM ACCESS TO THE WORK AREAS AND PROTECT EXISTING CONSTRUCTION. CONTRACTORS SHALL STORE TOOLS AND CONSTRUCTION MATERIALS IN LOCKED AREAS WHEN UNATTENDED BY CONSTRUCTION PERSONNEL.

5. PATCH EXISTING FLOORS, CEILINGS AND WALLS IN AREAS WHERE REMOVALS ABUT EXISTING CONSTRUCTION TO REMAIN; PATCHING SHALL BE DONE WITH MATERIALS TO MATCH EXISTING ADJACENT.

6. REMOVE EXISTING PLUMBING, HVAC AND ELECTRICAL ITEMS WHERE EXISTING CONSTRUCTION IS BEING REMOVED; REMOVE PORTIONS OF SUCH SYSTEMS WHICH WILL NO LONGER BE IN USE.

7. MAINTAIN PROTECTION FROM WEATHER DURING DEMOLITION AND CONSTRUCTION TO AVOID DAMAGE TO EXISTING CONSTRUCTION.

8. COORDINATION: DEMOLITION WORK WHICH PRODUCES NOISE, DUST, VAPORS, OR DISRUPTION OF UTILITIES, COORDINATE WITH THE OWNER.

9. CONFORM TO APPLICABLE STATE AND LOCAL LAWS FOR DISPOSAL OF MATERIALS BEING REMOVED FROM THE SITE.

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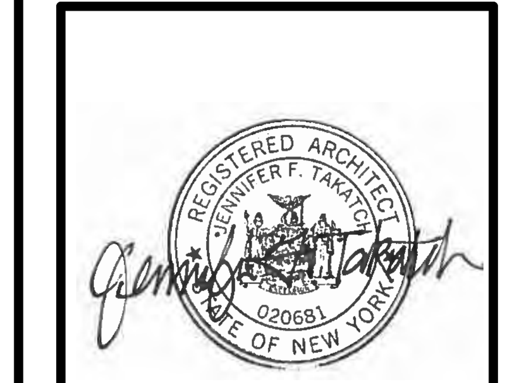

REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

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DATE:	08-12-2021

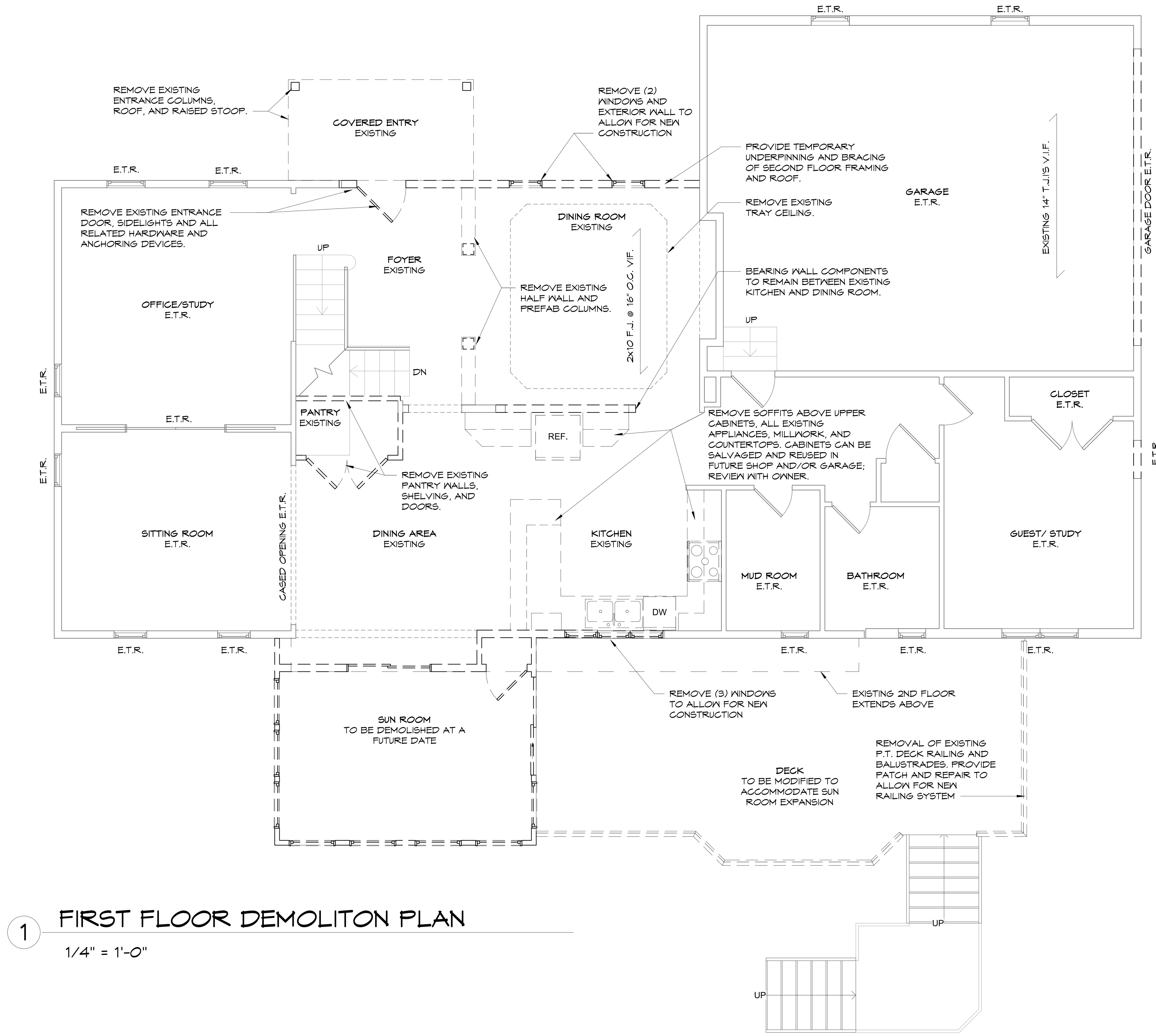
REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

SHEET NAME:
BASEMENT DEMO PLAN

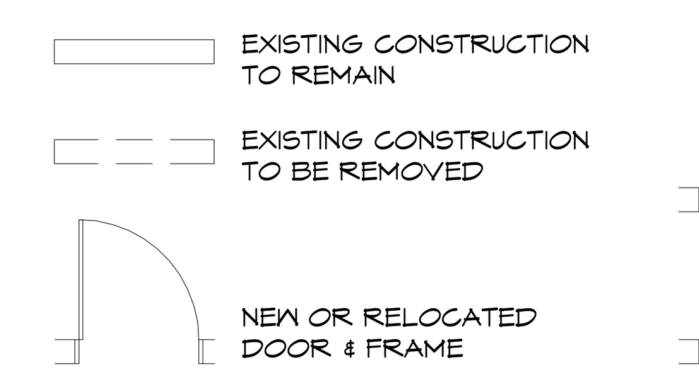
SHEET No
A100



1 FIRST FLOOR DEMOLITON PLAN

1/4" = 1'-0"

PLAN LEGEND



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3. PROVIDE SHORING AND BRACING FOR ADEQUATE SUPPORT OF EXISTING CONSTRUCTION TO REMAIN PRIOR TO REMOVALS OF ANY STRUCTURE.

4. PROVIDE TEMPORARY FENCING OR BARRIERS TO PREVENT THE PUBLIC FROM ACCESS TO THE WORK AREAS AND PROTECT EXISTING CONSTRUCTION. CONTRACTORS SHALL STORE TOOLS AND CONSTRUCTION MATERIALS IN LOCKED AREAS WHEN UNATTENDED BY CONSTRUCTION PERSONNEL.

5. PATCH EXISTING FLOORS, CEILINGS AND WALLS IN AREAS WHERE REMOVALS ABUT EXISTING CONSTRUCTION TO REMAIN; PATCHING SHALL BE DONE WITH MATERIALS TO MATCH EXISTING ADJACENT.

6. REMOVE EXISTING PLUMBING, HVAC AND ELECTRICAL ITEMS WHERE EXISTING CONSTRUCTION IS BEING REMOVED; REMOVE PORTIONS OF SUCH SYSTEMS WHICH WILL NO LONGER BE IN USE.

7. MAINTAIN PROTECTION FROM WEATHER DURING DEMOLITION AND CONSTRUCTION TO AVOID DAMAGE TO EXISTING CONSTRUCTION.

8. COORDINATION: DEMOLITION WORK WHICH PRODUCES NOISE, DUST, VAPORS, OR DISRUPTION OF UTILITIES, COORDINATE WITH THE OWNER; SUCH WORK SHALL BE SCHEDULED DURING DAYTIME HOURS, PER LOCAL NOISE ORDINANCES.

9. CONFORM TO APPLICABLE STATE AND LOCAL LAWS FOR DISPOSAL OF MATERIALS BEING REMOVED FROM THE SITE.

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REAVEY-CANNON RESIDENCE

81 KNICKERBOCKER ROAD, PITTSFORD, NY

FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	SBT/KAS
DATE:	08-12-2021

REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

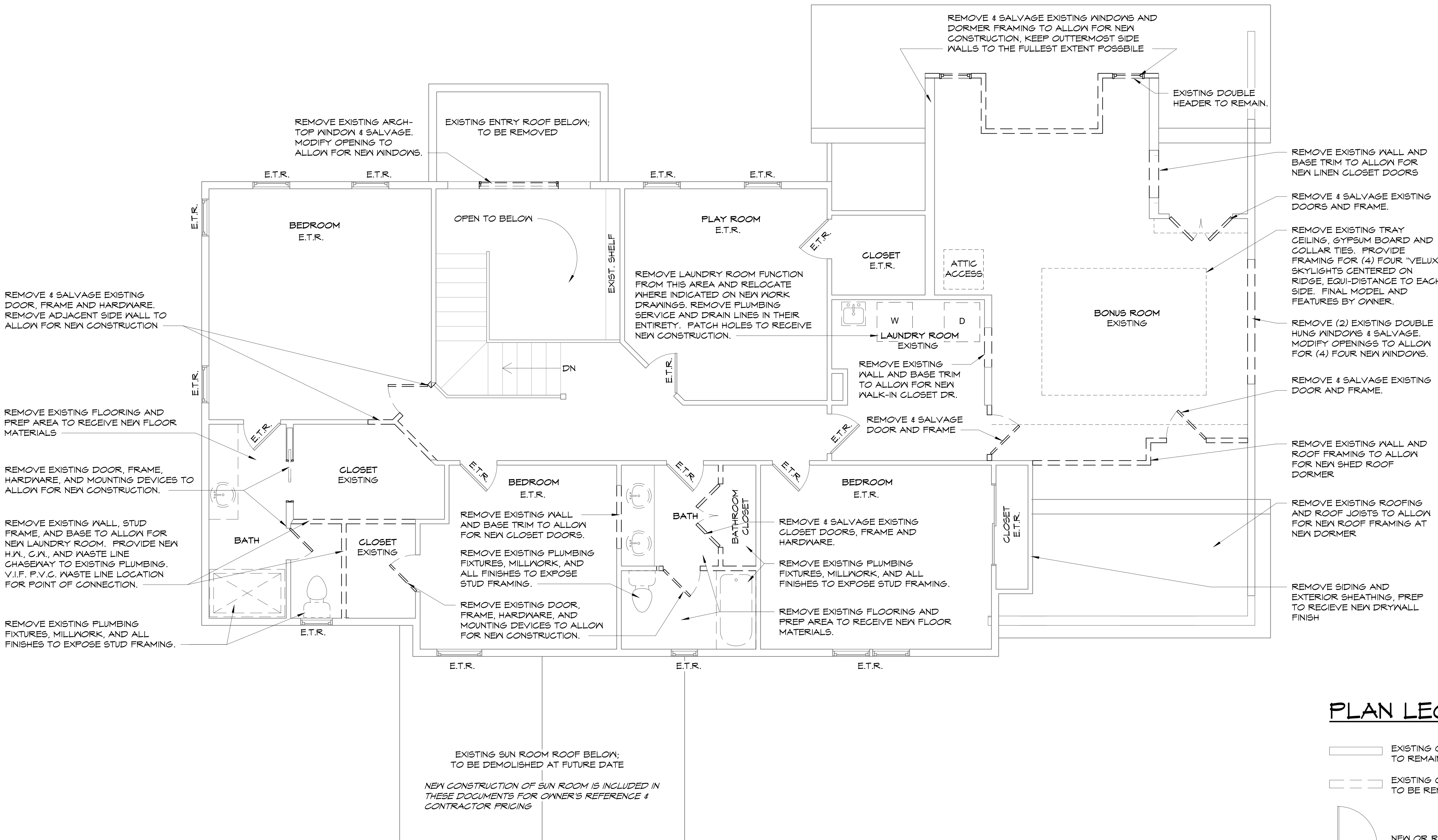
ISSUED FOR CONSTRUCTION

SHEET NAME:

FIRST FLOOR DEMO PLAN

SHEET No

A101



PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW WOOD STUD PARTITION
- EXISTING CONSTRUCTION TO BE REMOVED
- REMOVE EXISTING DOOR & FRAME
- NEW OR RELOCATED DOOR & FRAME
- EXISTING DOOR & FRAME TO REMAIN

1 SECOND FLOOR DEMOLITION PLAN

1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. DEMOLITION: CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS AND AS OTHERWISE NEEDED TO PROVIDE THE ALTERATIONS AND ADDITIONS.

2. REMOVE DEMOLISHED MATERIALS FROM THE WORK SITE, EXCEPT ITEMS TO BE REUSED OR TURNED OVER TO THE OWNER; DISPOSE OF REMOVED MATERIALS IN A LEGAL MANNER; KEEP THE WORK SITE AND SURROUNDING AREAS CLEANED ON A REGULAR BASIS.

3. PROVIDE SHORING AND BRACING FOR ADEQUATE SUPPORT OF EXISTING CONSTRUCTION TO REMAIN PRIOR TO REMOVALS OF ANY STRUCTURE.

4. PROVIDE TEMPORARY FENCING OR BARRIERS TO PREVENT THE PUBLIC FROM ACCESS TO THE WORK AREAS AND PROTECT EXISTING CONSTRUCTION. CONTRACTORS SHALL STORE TOOLS AND CONSTRUCTION MATERIALS IN LOCKED AREAS WHEN UNATTENDED BY CONSTRUCTION PERSONNEL.

5. PATCH EXISTING FLOORS, CEILINGS AND WALLS IN AREAS WHERE REMOVALS ABUT EXISTING CONSTRUCTION TO REMAIN; PATCHING SHALL BE DONE WITH MATERIALS TO MATCH EXISTING ADJACENT.

6. REMOVE EXISTING PLUMBING, HVAC AND ELECTRICAL ITEMS WHERE EXISTING CONSTRUCTION IS BEING REMOVED; REMOVE PORTIONS OF SUCH SYSTEMS WHICH WILL NO LONGER BE IN USE.

7. MAINTAIN PROTECTION FROM WEATHER DURING DEMOLITION AND CONSTRUCTION TO AVOID DAMAGE TO EXISTING CONSTRUCTION.

8. COORDINATION: DEMOLITION WORK WHICH PRODUCES NOISE, DUST, VAPORS, OR DISRUPTION OF UTILITIES, COORDINATE WITH THE OWNER; SUCH WORK SHALL BE SCHEDULED DURING DAYTIME HOURS, PER LOCAL NOISE ORDINANCES.

9. CONFORM TO APPLICABLE STATE AND LOCAL LAWS FOR DISPOSAL OF MATERIALS BEING REMOVED FROM THE SITE.

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REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	SBT/KAS
DATE:	08-12-2021

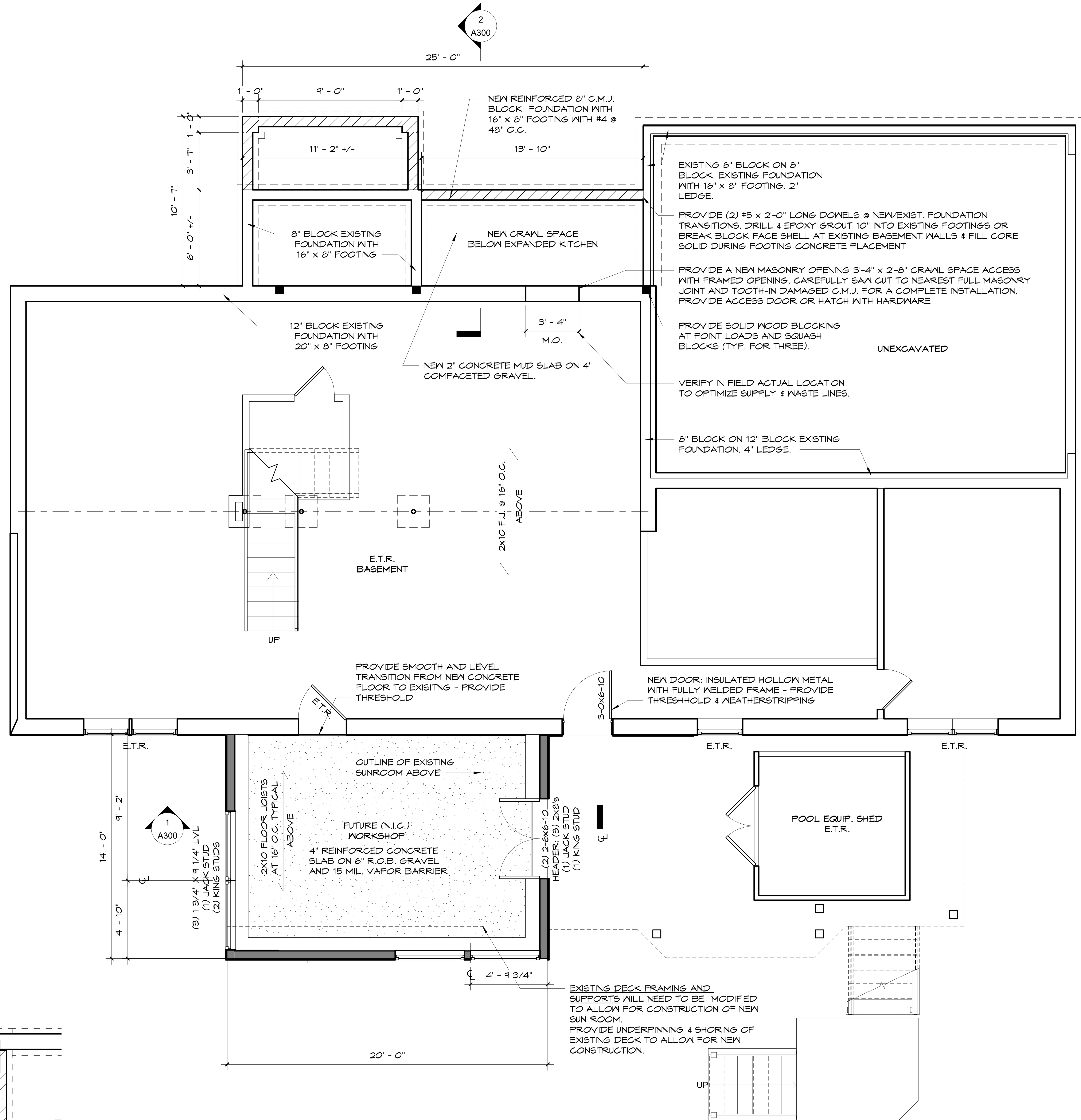
REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

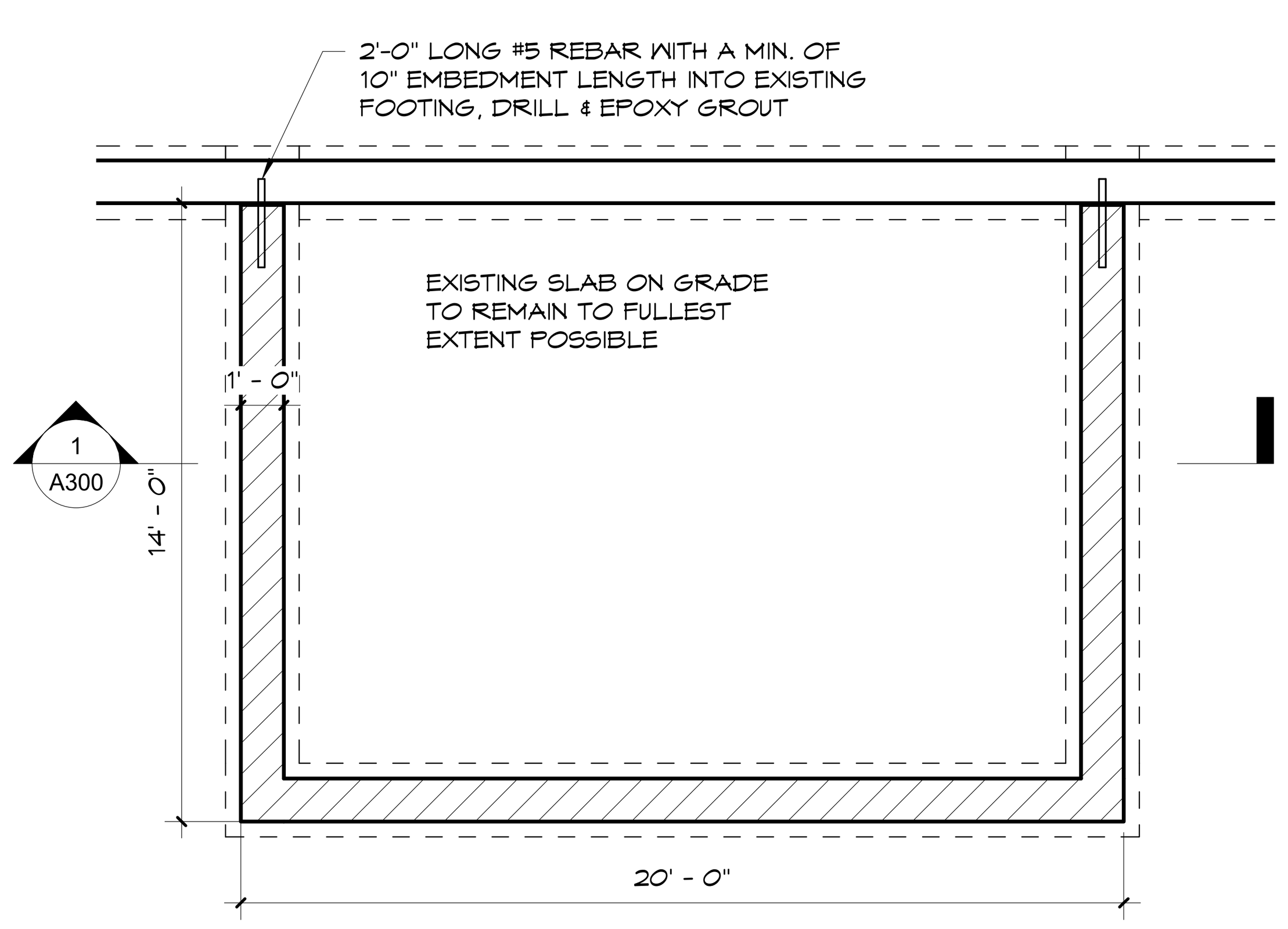
SHEET NAME:
SECOND FLOOR DEMO PLAN

SHEET No
A102



1 BASEMENT PLAN

1/4" = 1'-0"



2 FOUNDATION PLAN - WORKSHOP

1/4" = 1'-0"

FINISHES GENERAL NOTES

1. NEW WALLS TO BE PAINTED WITH ONE COAT PRIMER TWO COATS PAINT FULL HEIGHT; WALL PAINT SHALL BE EGGSHELL FINISH, EXCEPT SATIN FINISH AT BATHROOM WALLS.

2. NEW DOOR & WINDOW INTERIOR TRIM SHALL MATCH TYP. EXISTING.

3. PROVIDE 1 LAYER OF 5/8" TYPE 'X' THICK GYPSUM BOARD AT ALL NEW CEILINGS AND WALLS; AT PATCHED AREAS OF CEILINGS AND WALLS, PROVIDE GYPSUM BOARD TO MATCH ADJACENT; PAINT ALL CEILINGS WITH ONE COAT PRIMER AND TWO COATS PAINT; CEILINGS SHALL BE PAINTED WITH CEILING WHITE PAINT.

4. THE FLOOR, CEILING & WALL FINISHES AT CLOSETS SHALL BE THE SAME AS THE ROOM WHERE THE CLOSETS ARE LOCATED.

FOUNDATION GENERAL NOTES

1. CLEAR AND STRIP THE TOPSOIL AT THE BUILDING ADDITION AREA. STOCKPILE TOPSOIL NEEDED FOR LANDSCAPING. REMOVE EXCESS SOILS FROM THE SITE. REWORK AREAS THAT RUT, WEAVE, ROLL, OR ARE OTHERWISE DEEMED UNSUITABLE. EXCAVATION FOR THE FOUNDATIONS SHALL BE DONE BY A SHOVEL EQUIPPED WITH A DITCHING BUCKET TO LIMIT DISTURBANCE OF THE SOILS BEARING SURFACE.

2. ONLY SITE SOIL THAT IS FREE OF ORGANIC DEBRIS CAN BE USED FOR STRUCTURAL FILL IF APPROVED BY THE ARCHITECT. OTHERWISE, USE IMPORTED GRANULAR MATERIAL SIMILAR IN GRADATION TO N.Y.S.D.O.T. ITEM 304.12 (CRUSHER RUN STONE) FOR STRUCTURAL FILL. PLACE FILL IN 8" MAXIMUM LIFTS COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR METHOD, ASTM D-1557. STRUCTURAL FILL IS DEFINED AS ALL NEW FILL UNDER AND AROUND FOUNDATIONS, CONCRETE FLOOR SLABS, AND SIDEWALKS.

3. FOOTINGS SHALL BEAR ON UNDISTURBED FIRM EARTH OR NEW COMPACTED STRUCTURAL FILL. THE EXISTING SOILS ARE CALCULATED TO BE MINIMUM 2,500 PSF BEARING CAPACITY. BOTTOM OF FOOTINGS SHALL BE AT 48" MINIMUM BELOW FINISH GRADE. CONTINUOUS CONCRETE FOOTINGS SHALL INCLUDE TWO #5 RE-BAR. LAP BARS 24" MIN. AND PROVIDE CORNER BARS.

4. PROVIDE 6" OF GRANULAR MATERIAL, NYSDOT ITEM 304.2 (CRUSHER-RUN STONE), AND 11 MIL VAPOR BARRIER UNDER THE NEW CONCRETE SLAB; THE 11 MIL VAPOR BARRIER SHALL BE "BARRIER-BAC" OR "VAPORBLOCK" OR 'STRATA VB-250' VAPOR BARRIER.

5. PERFORM TRENCHING AND EXCAVATION IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.) REQUIREMENTS AND NEW YORK STATE BUILDING CODE STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEASURES REQUIRED IN MEETING THESE STANDARDS. CUT UNSUPPORTED TEMPORARY EXCAVATIONS TO A STABLE SLOPE, REMOVE WATER THAT ACCUMULATES IN OPEN EXCAVATIONS USING PUMPS PRIOR TO PROCEEDING WITH FURTHER EXCAVATION OR FOUNDATION CONSTRUCTION WORK.

GENERAL NOTES

1. DIMENSIONS ON THE FOUNDATION PLANS ARE GENERALLY TO FACE OF CONCRETE MASONRY; DIMENSIONS ON OTHER FLOOR PLANS ARE TO FACE OF GYPSUM WALL BOARD OR MILLWORK, UNLESS INDICATED OTHERWISE.

2. CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS; REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO CONTINUING WITH ASSOCIATED PORTIONS OF THE WORK.

3. ALL PENETRATIONS, OPENINGS & JOINTS IN SMOKE BARRIERS TO BE IN ACCORDANCE WITH BUILDING CODE OF NEW YORK STATE REQUIREMENTS REGARDING PENETRATIONS THROUGH SMOKE BARRIERS.

4. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS AS DESIGNATED BY SECTION 308.4 OF THE RESIDENTIAL CODE OF NYS, INCLUDING GLAZING IN DOORS AND AT THE WINDOWS IN THE NEW BATHROOM; COORDINATE WITH WINDOW AND DOOR SUPPLIERS REGARDING SAFETY GLAZING REQUIREMENTS.

5. EACH NEW BEDROOM CLOSET SHALL INCLUDE A ROD & SHELF; VERIFY WITH OWNER FOR THE HEIGHT ABOVE FLOOR TO INSTALL THE ROD & SHELF.

PLAN LEGEND

EXISTING CONSTRUCTION TO REMAIN

NEW WOOD STUD PARTITION

EXISTING CONSTRUCTION TO BE REMOVED

REMOVE EXISTING DOOR & FRAME

NEW OR RELOCATED DOOR & FRAME

EXISTING DOOR & FRAME TO REMAIN

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REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	KAS/SBT
DATE:	08-12-2021

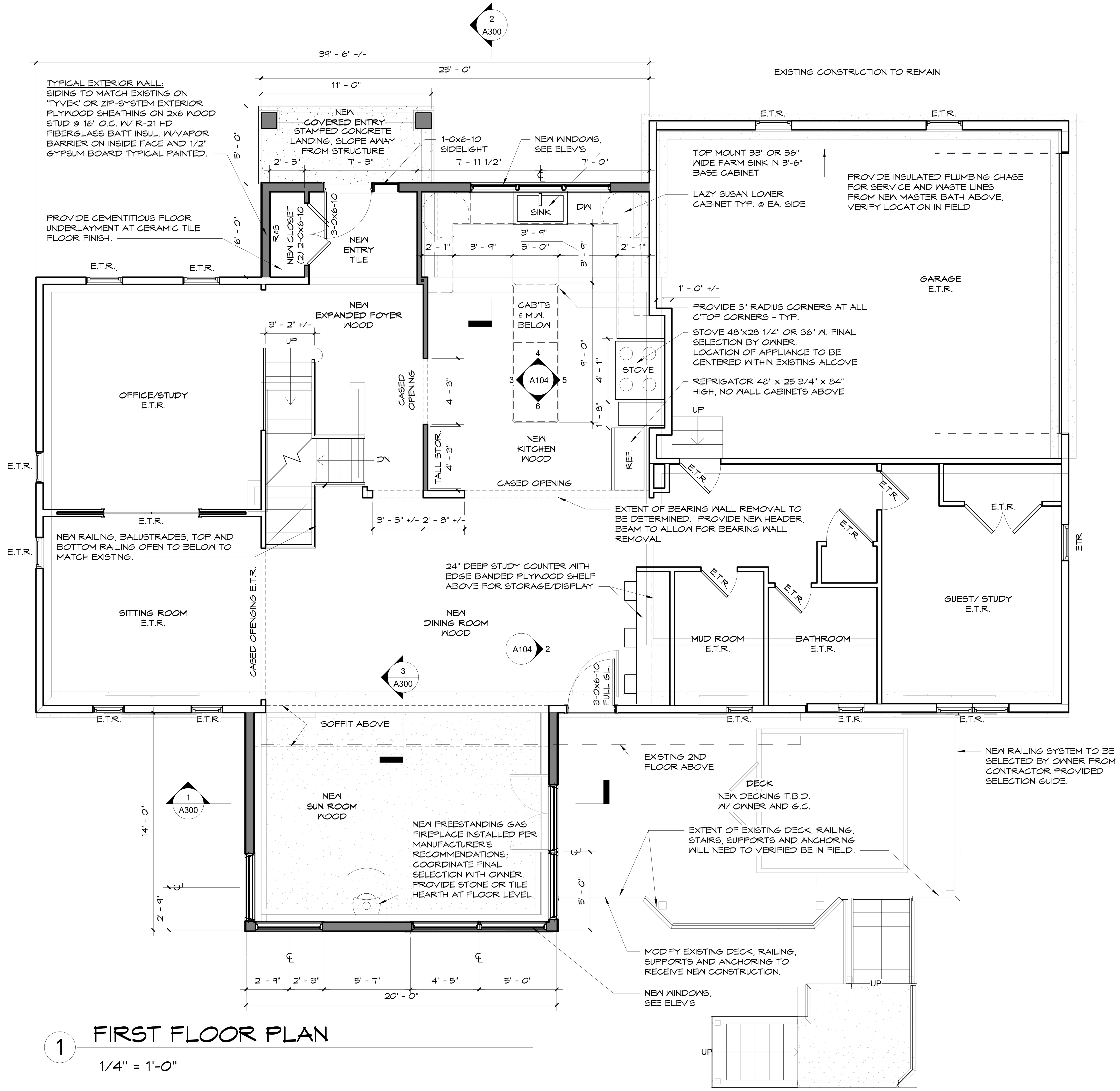
REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

SHEET NAME:
BASEMENT/FOUNDATION PLAN

SHEET No
A103



1 FIRST FLOOR PLAN
1/4" = 1'-0"

FINISHES GENERAL NOTES

1. NEW WALLS TO BE PAINTED WITH ONE COAT PRIMER TWO COATS PAINT FULL HEIGHT; WALL PAINT SHALL BE EGGSHELL FINISH, EXCEPT SATIN FINISH AT BATHROOM WALLS.

2. NEW DOOR & WINDOW INTERIOR TRIM SHALL MATCH TYP. EXISTING - U.N.O.

3. PROVIDE 1 LAYER OF 5/8" TYPE 'X' THICK GYPSUM BOARD AT ALL NEW CEILINGS AND WALLS; AT PATCHED AREAS OF CEILINGS AND WALLS, PROVIDE GYPSUM BOARD TO MATCH ADJACENT; PAINT ALL CEILINGS WITH ONE COAT PRIMER AND TWO COATS PAINT; CEILINGS SHALL BE PAINTED WITH CEILING WHITE PAINT.

4. THE FLOOR, CEILING & WALL FINISHES AT CLOSETS SHALL BE THE SAME AS THE ROOM WHERE THE CLOSETS ARE LOCATED.

GENERAL NOTES

1. DIMENSIONS ON THE FOUNDATION PLANS ARE GENERALLY TO FACE OF CONCRETE MASONRY; DIMENSIONS ON OTHER FLOOR PLANS ARE TO FACE OF GYPSUM WALL BOARD OR MILLWORK, UNLESS INDICATED OTHERWISE.

2. CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS; REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO CONTINUING WITH ASSOCIATED PORTIONS OF THE WORK.

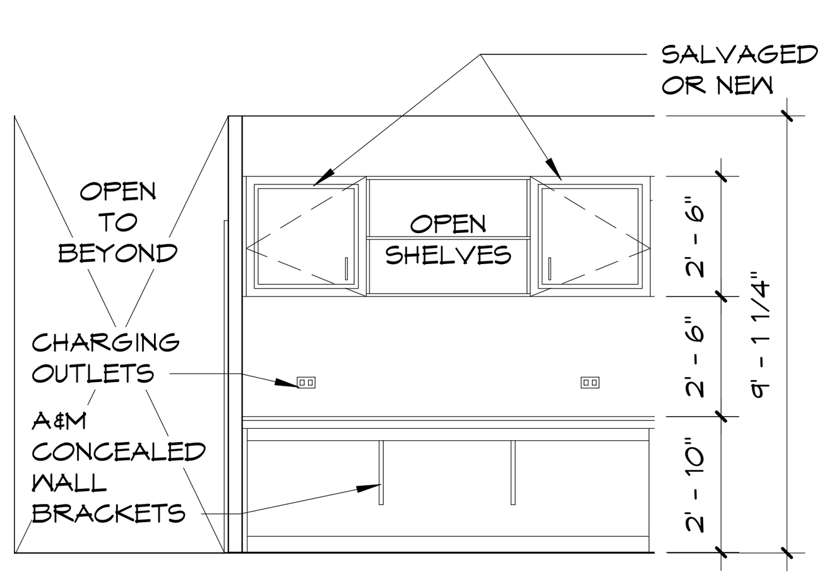
3. ALL PENETRATIONS, OPENINGS & JOINTS IN SMOKE BARRIERS TO BE IN ACCORDANCE WITH BUILDING CODE OF NEW YORK STATE REQUIREMENTS REGARDING PENETRATIONS THROUGH SMOKE BARRIERS.

4. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS AS DESIGNATED BY SECTION 308.4 OF THE RESIDENTIAL CODE OF NYS, INCLUDING GLAZING IN DOORS AND AT THE WINDOWS IN THE NEW BATHROOM; COORDINATE WITH WINDOW AND DOOR SUPPLIERS REGARDING SAFETY GLAZING REQUIREMENTS.

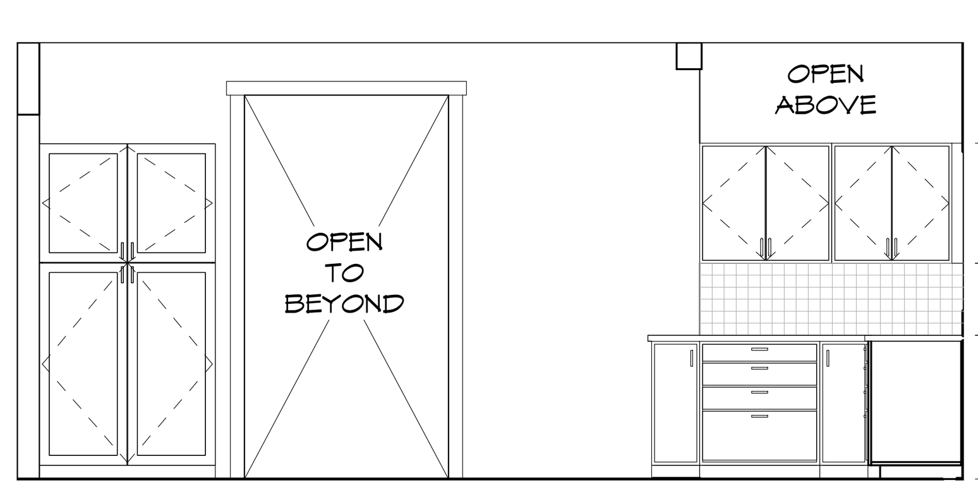
5. EACH NEW BEDROOM CLOSET SHALL INCLUDE A ROD & SHELF; VERIFY WITH OWNER FOR THE HEIGHT ABOVE FLOOR TO INSTALL THE ROD & SHELF.

PLAN LEGEND

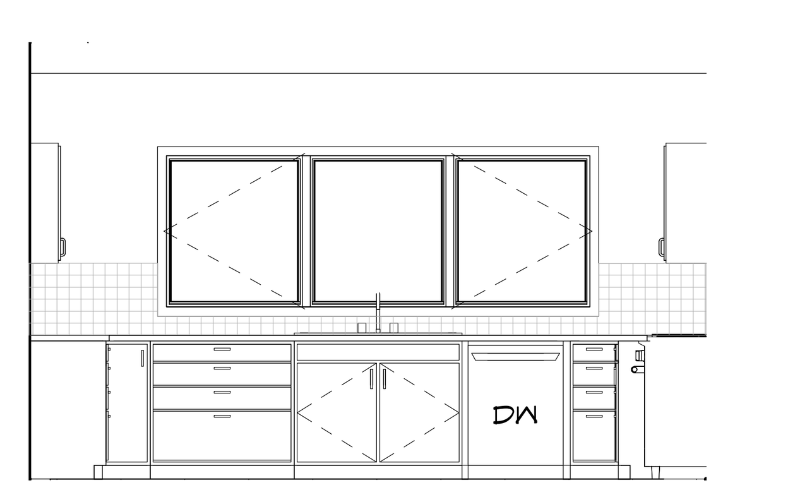
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW OR RELOCATED DOOR & FRAME
- NEW WOOD STUD PARTITION
- REMOVE EXISTING DOOR & FRAME
- EXISTING DOOR & FRAME TO REMAIN



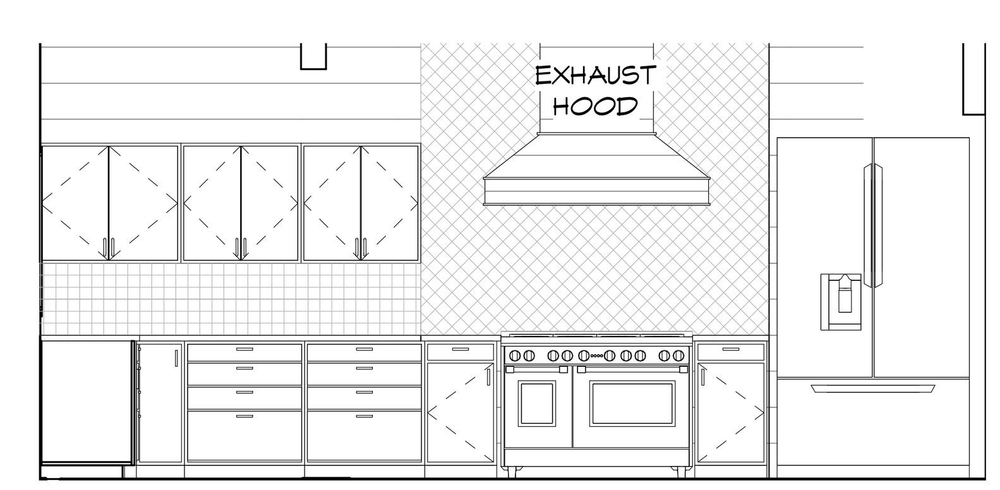
2 STUDY ELEV. 2
1/4" = 1'-0"



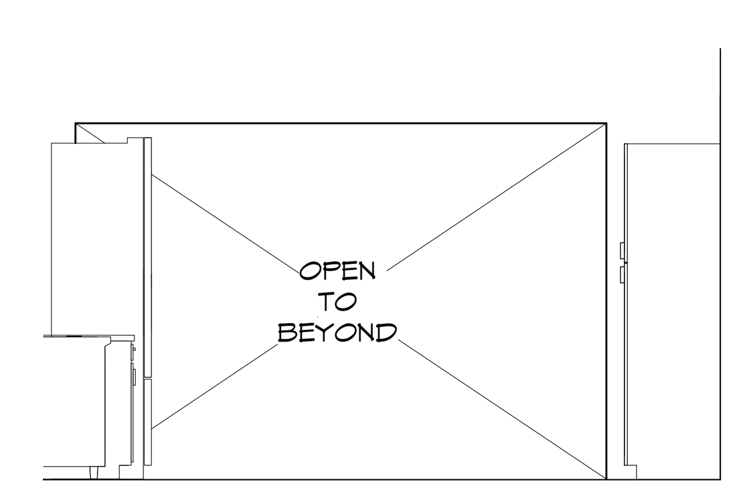
3 KITCH. ELEV. 3
1/4" = 1'-0"



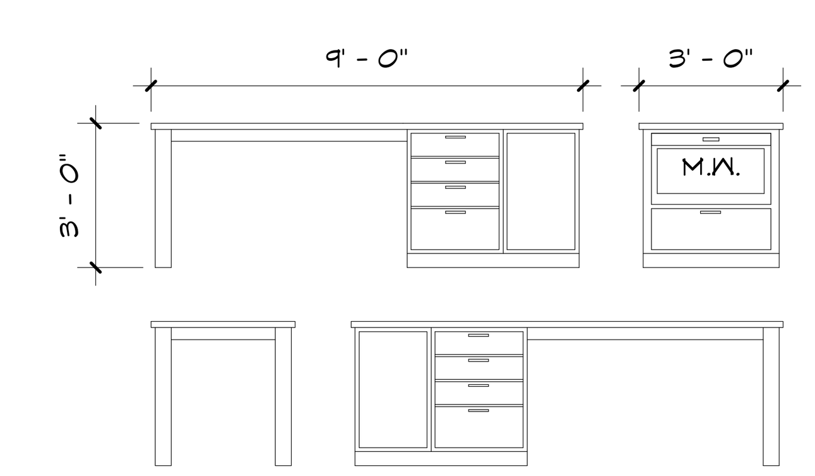
4 KITCH. ELEV. 4
1/4" = 1'-0"



5 KITCH. ELEV. 5
1/4" = 1'-0"



6 KITCH. ELEV. 6
1/4" = 1'-0"



7 KITCHEN ISLAND
1/4" = 1'-0"

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REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	SBT/KAS
DATE:	08-12-2021

REVISIONS
JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

SHEET NAME:
FIRST FLOOR PLAN

SHEET No
A104

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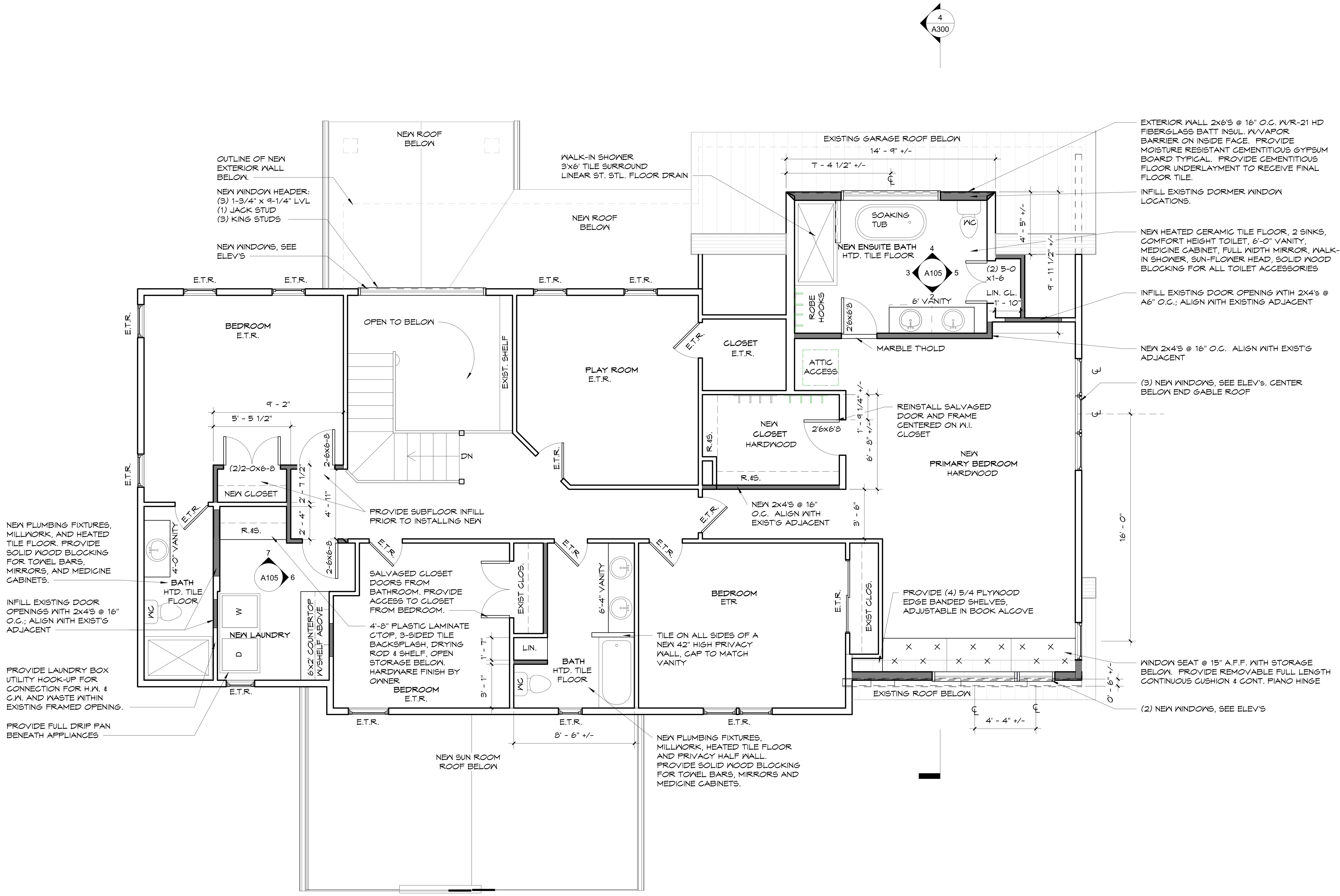


1 SECOND FLOOR PLAN

1/4" = 1'-0"

FINISHES GENERAL NOTES

1. NEW WALLS TO BE PAINTED WITH ONE COAT PRIMER TWO COATS PAINT FULL HEIGHT; WALL PAINT SHALL BE EGGSHELL FINISH, EXCEPT SATIN FINISH AT BATHROOM WALLS.

2. NEW DOOR & WINDOW INTERIOR TRIM SHALL MATCH TYP. EXISTING.

3. PROVIDE 1 LAYER OF 5/8" TYPE 'X' THICK GYPSUM BOARD AT ALL NEW CEILINGS AND WALLS; AT PATCHED AREAS OF CEILINGS AND WALLS, PROVIDE GYPSUM BOARD TO MATCH ADJACENT; PAINT ALL CEILINGS WITH ONE COAT PRIMER AND TWO COATS PAINT; CEILINGS SHALL BE PAINTED WITH CEILING WHITE PAINT.

4. THE FLOOR, CEILING & WALL FINISHES AT CLOSETS SHALL BE THE SAME AS THE ROOM WHERE THE CLOSETS ARE LOCATED.

GENERAL NOTES

1. DIMENSIONS ON THE FOUNDATION PLANS ARE GENERALLY TO FACE OF CONCRETE MASONRY; DIMENSIONS ON OTHER FLOOR PLANS ARE TO FACE OF GYPSUM WALL BOARD OR MILLWORK, UNLESS INDICATED OTHERWISE.

2. CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS; REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO CONTINUING WITH ASSOCIATED PORTIONS OF THE WORK.

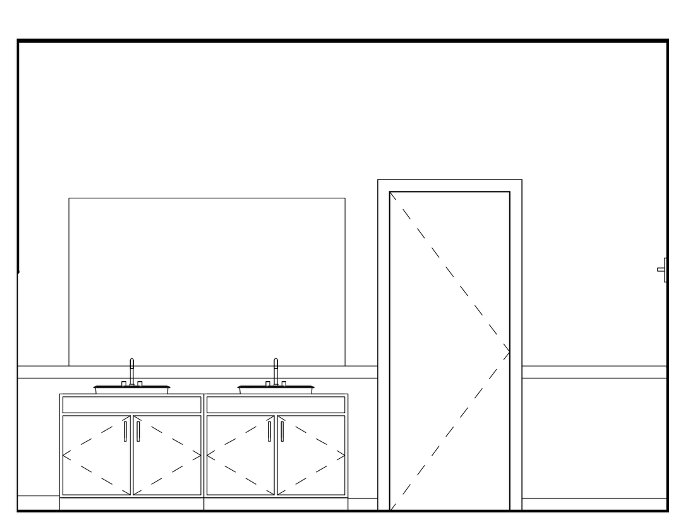
3. ALL PENETRATIONS, OPENINGS & JOINTS IN SMOKE BARRIERS TO BE IN ACCORDANCE WITH BUILDING CODE OF NEW YORK STATE REQUIREMENTS REGARDING PENETRATIONS THROUGH SMOKE BARRIERS.

4. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS AS DESIGNATED BY SECTION 308.4 OF THE RESIDENTIAL CODE OF NYS, INCLUDING GLAZING IN DOORS AND AT THE WINDOWS IN THE NEW BATHROOM; COORDINATE WITH WINDOW AND DOOR SUPPLIERS REGARDING SAFETY GLAZING REQUIREMENTS.

5. EACH NEW BEDROOM CLOSET SHALL INCLUDE A ROD & SHELF; VERIFY WITH OWNER FOR THE HEIGHT ABOVE FLOOR TO INSTALL THE ROD & SHELF.

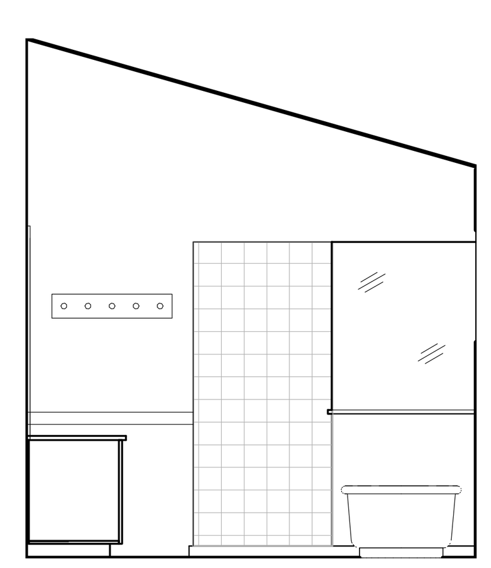
PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW WOOD STUD PARTITION
- EXISTING CONSTRUCTION TO BE REMOVED
- REMOVE EXISTING DOOR & FRAME
- NEW OR RELOCATED DOOR & FRAME
- EXISTING DOOR & FRAME TO REMAIN



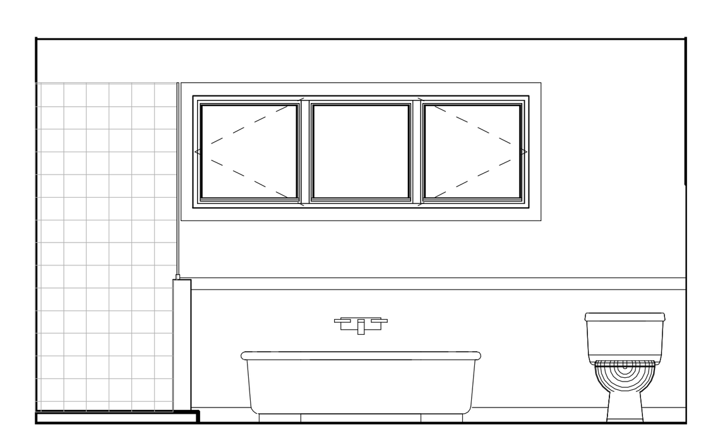
2 ENSUITE ELEV. 2

1/4" = 1'-0"



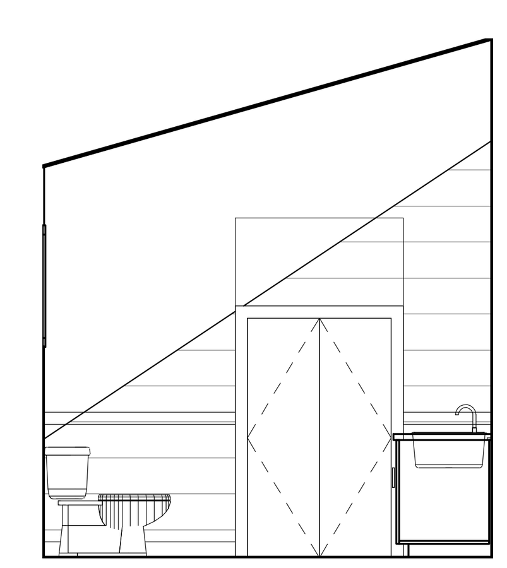
3 ENSUITE ELEV. 3

1/4" = 1'-0"



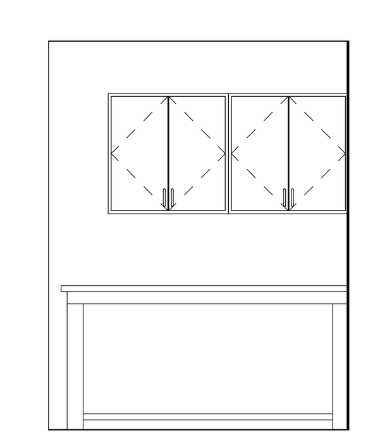
4 ENSUITE ELEV. 4

1/4" = 1'-0"



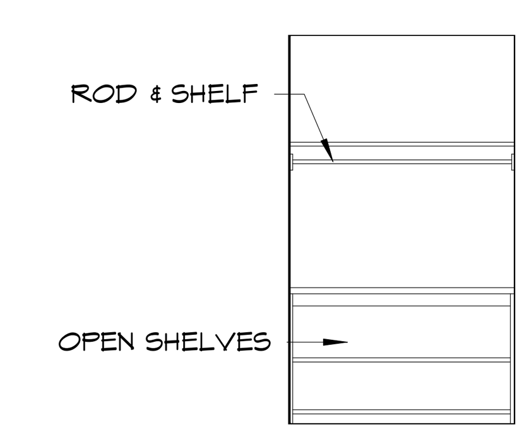
5 ENSUITE ELEV. 5

1/4" = 1'-0"



6 LAUND. ELEV. 6

1/4" = 1'-0"



7 LAUND. ELEV. 7

1/4" = 1'-0"

REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
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DRAWN BY:	SBT/KAS
DATE:	08-12-2021

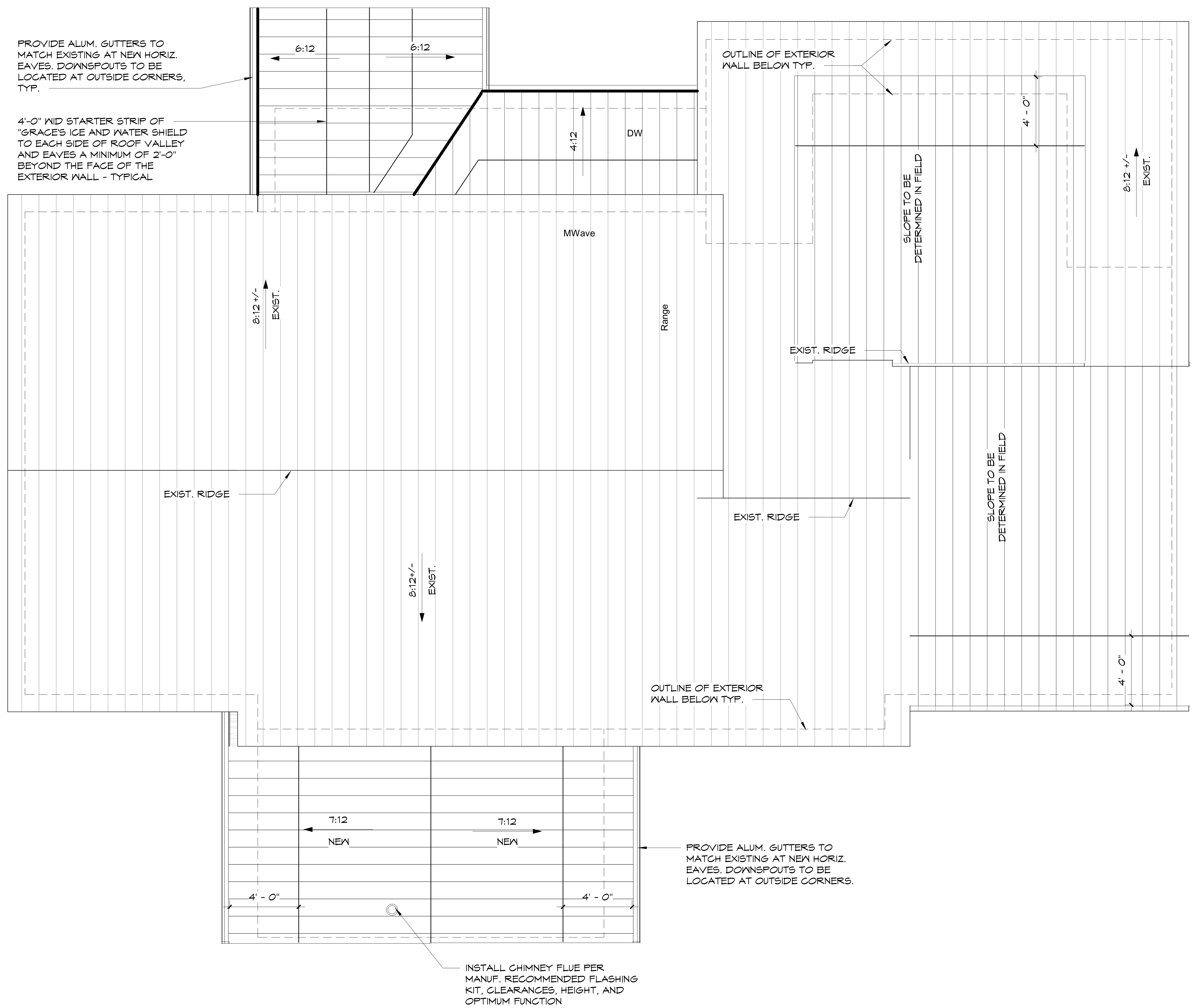
REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

SHEET NAME:
SECOND FLOOR PLAN

SHEET No
A105



1 ROOF PLAN

1/4" = 1'-0"

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REAVEY-CANNON RESIDENCE

81 KNICKERBOCKER ROAD, PITTSFORD, NY

FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	KAS
DATE:	08-12-2021

REVISIONS

1 JUNE 30, 2022

STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

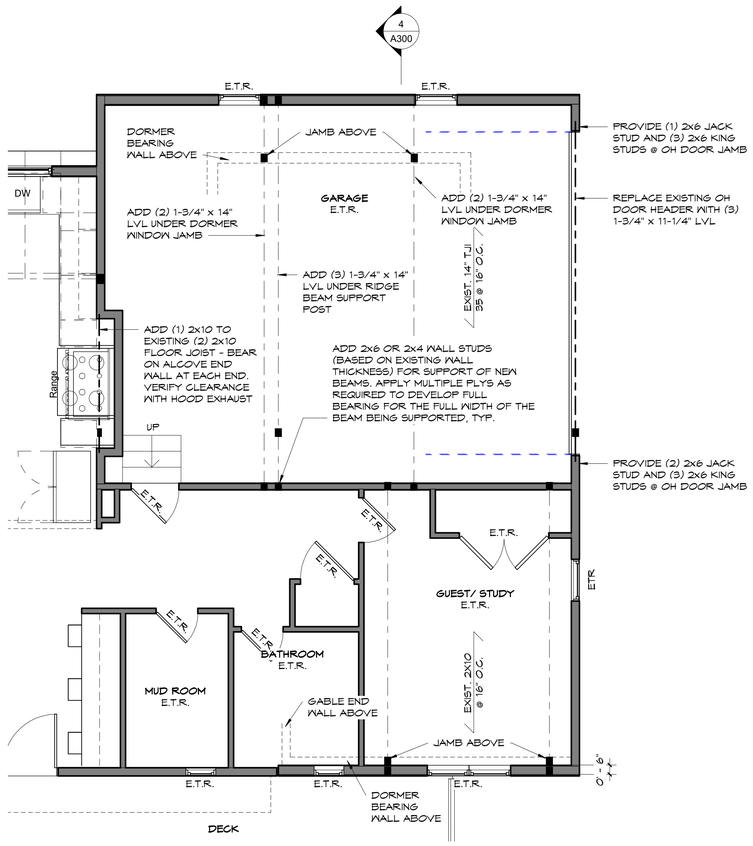
ISSUED FOR CONSTRUCTION

SHEET NAME:

ROOF PLAN

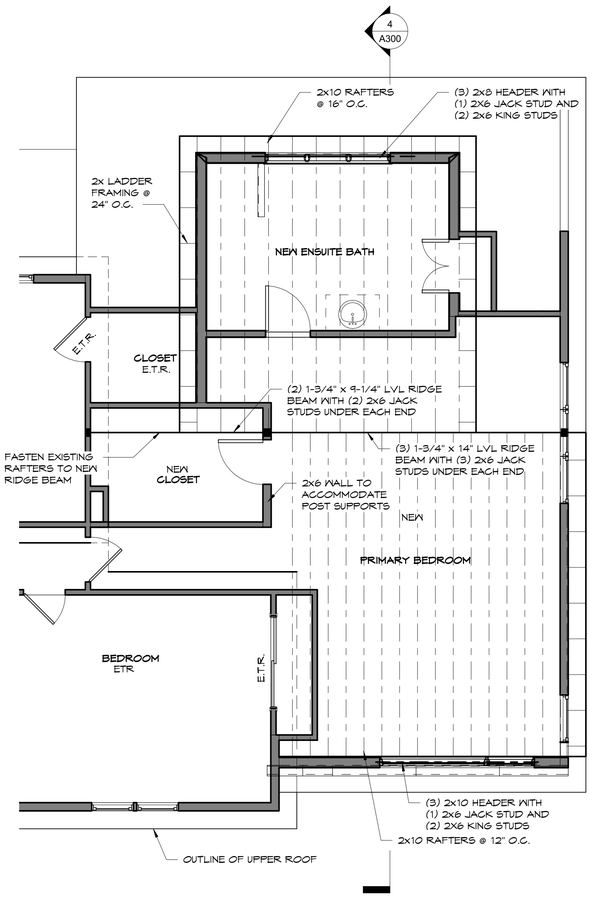
SHEET No

A106



4 SECOND FLOOR FRAMING PLAN AT MASTER BEDROOM

1/4" = 1'-0"



3 ROOF FRAMING PLAN AT MASTER BEDROOM

1/4" = 1'-0"

FRAMING GENERAL NOTES

1. PROVIDE WOOD STUDS SUPPORT POSTS IN WALLS DIRECTLY BELOW HEADERS & WOOD BEAMS; POSTS SHALL BE AT LEAST AS WIDE AS HEADER OR WOOD BEAM.

2. PROVIDE WOOD BLOCKING BELOW SUPPORT POSTS TO TRANSFER LOADS TO WOOD STUD WALLS, MASONRY FOUNDATION WALLS, OR STEEL BEAMS BELOW.

3. PROVIDE GALV. JOIST HANGERS OR FRAMING ANCHORS TO SECURELY CONNECT ABUTTING HEADERS OR WOOD BEAMS, AND TO CONNECT HEADERS AND WOOD BEAMS TO SUPPORT POSTS.

4. PROVIDE WOOD BLOCKING OR CROSS BRIDGING AT MIDSPAN OF WOOD FLOOR JOISTS. PROVIDE SAME AT TJI PLYWOOD JOISTS AT MIDSPAN, OR MORE OFTEN IF RECOMMENDED BY JOIST MANUFACTURER.

HEADER SCHEDULE

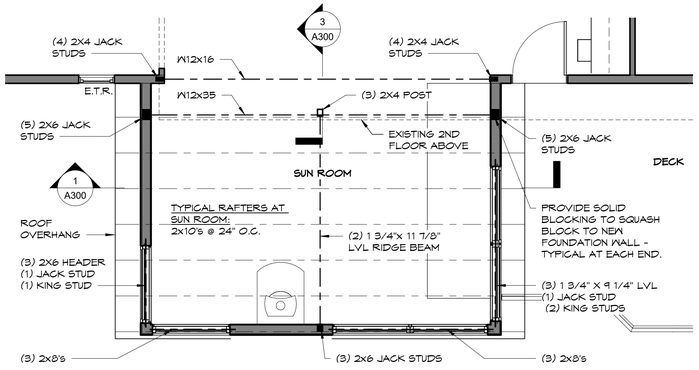
ROUGH OPENING WIDTH	HEADER SIZE	
	@ 2X4 WALL	@ 2X6 WALL
UP TO 3'-4"	(2) 2X6'S	(3) 2X6'S
UP TO 5'-4"	(2) 2X8'S	(3) 2X6'S
UP TO 7'-4"	(2) 2X10'S	(3) 2X8'S
UP TO 9'-4"	(2) 2X12'S	(3) 2X10'S

HEADER NOTES:

1. PROVIDE HEADERS PER THIS HEADER SCHEDULE, UNLESS NOTED OTHERWISE ON PLANS.

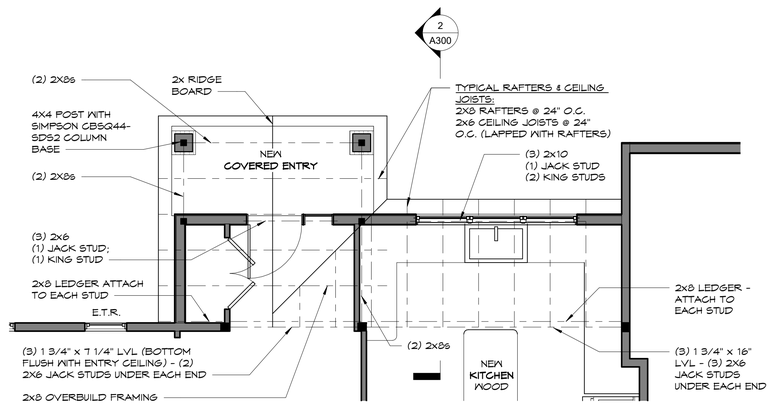
2. PROVIDE 1/2" THICK CONT. PLYWOOD LAYER BETWEEN 2X'S AT HEADERS AS NEEDED TO SUIT WALL THICKNESS.

3. AT HEADERS GREATER THAN 8'-0" WIDTH, PROVIDE 2 CRIPPLE STUDS AT EACH END.



2 ROOF FRAMING PLAN AT SUN ROOM

1/4" = 1'-0"



1 ROOF FRAMING PLAN AT ENTRY & KITCHEN ADDITIONS

1/4" = 1'-0"

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REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	KAS
DATE:	08-12-2021

REVISIONS

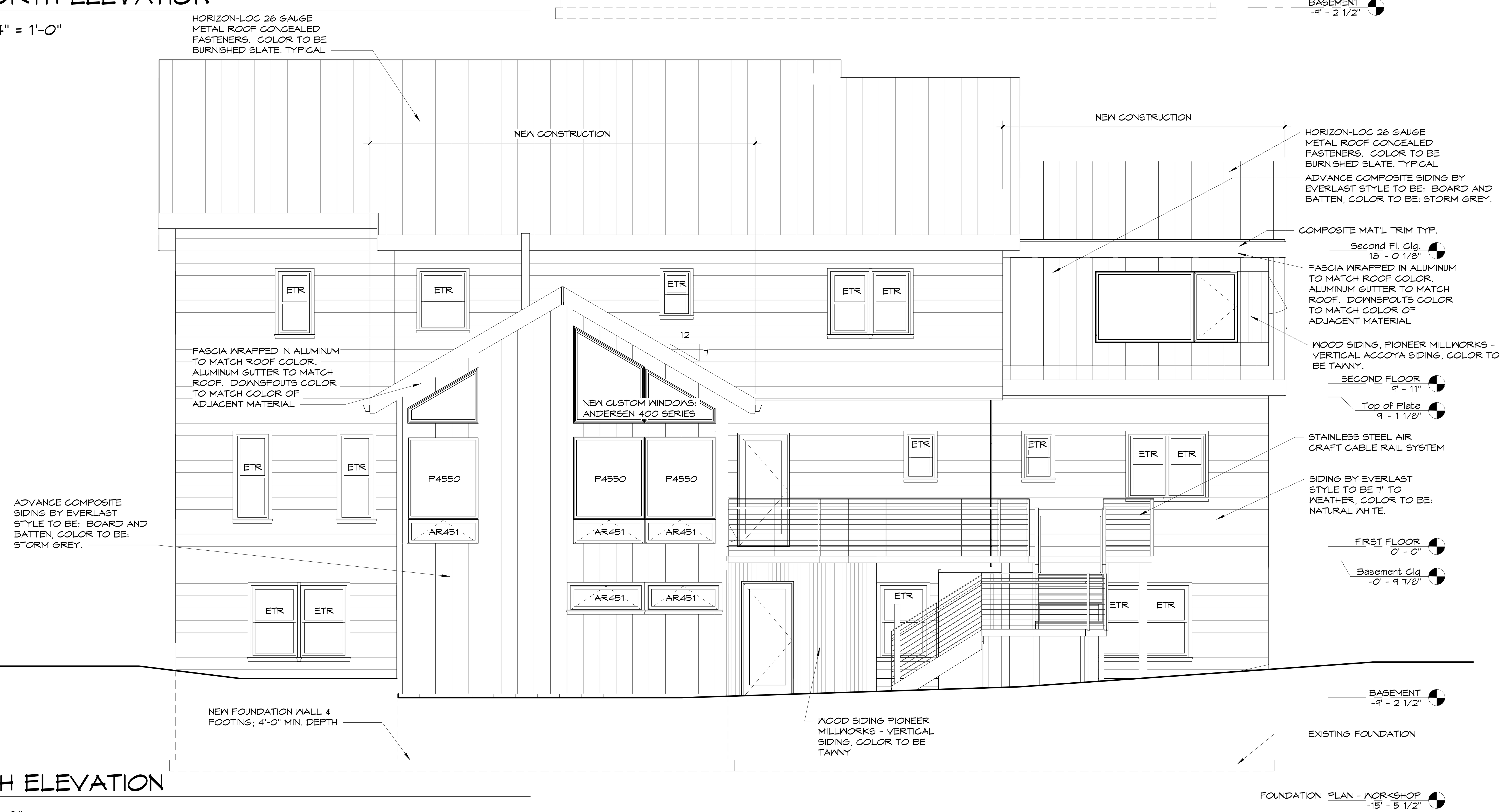
1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

SHEET NAME:
FRAMING PLANS

SHEET No
A107

1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

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REGISTERED ARCHITECT JENNIFER T. TAKATCH 020681 STATE OF NEW YORK

REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	KAS
DATE:	08-12-2021

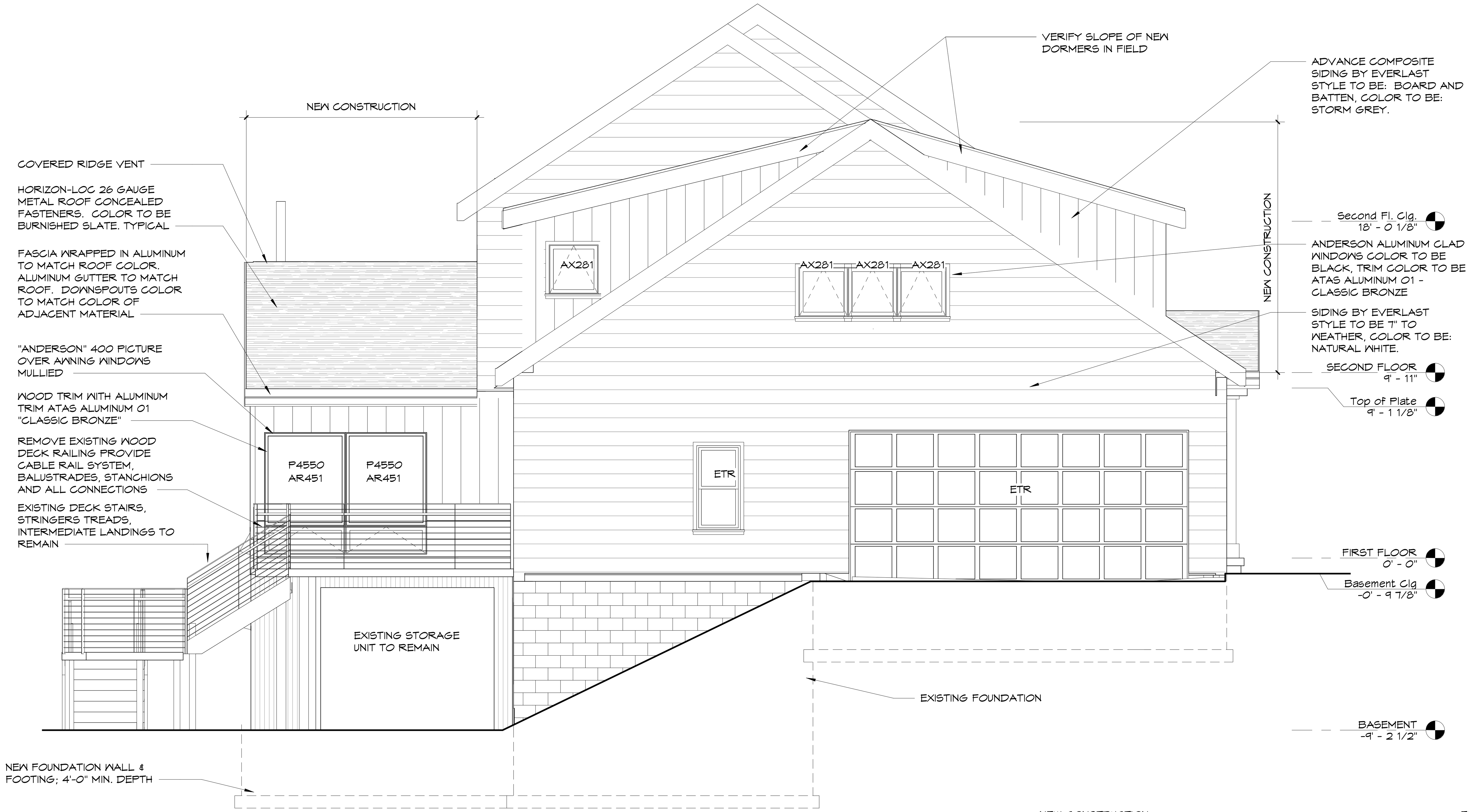
REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

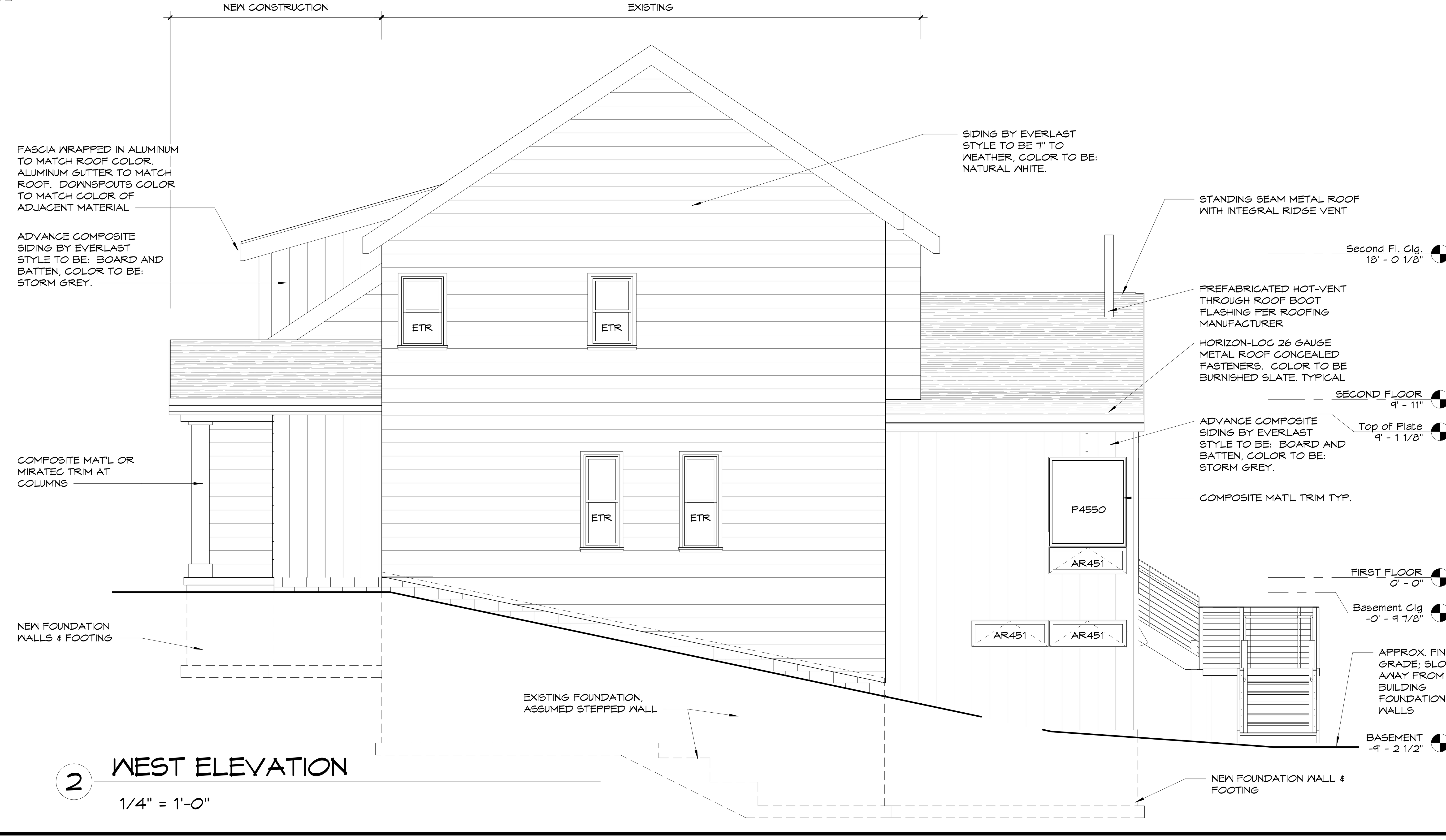
SHEET NAME:
EXTERIOR ELEVATIONS

SHEET No
A200



1 EAST ELEVATION

1/4" = 1'-0"



2 WEST ELEVATION

1/4" = 1'-0"

FOUNDATION_PLAN - WORKSHOP -15' - 5 1/2"

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REGISTERED ARCHITECT · STATE OF NEW YORK · 020681

REAVEY-CANNON RESIDENCE
81 KNICKERBOCKER ROAD, PITTSFORD, NY
FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	KAS
DATE:	08-12-2021

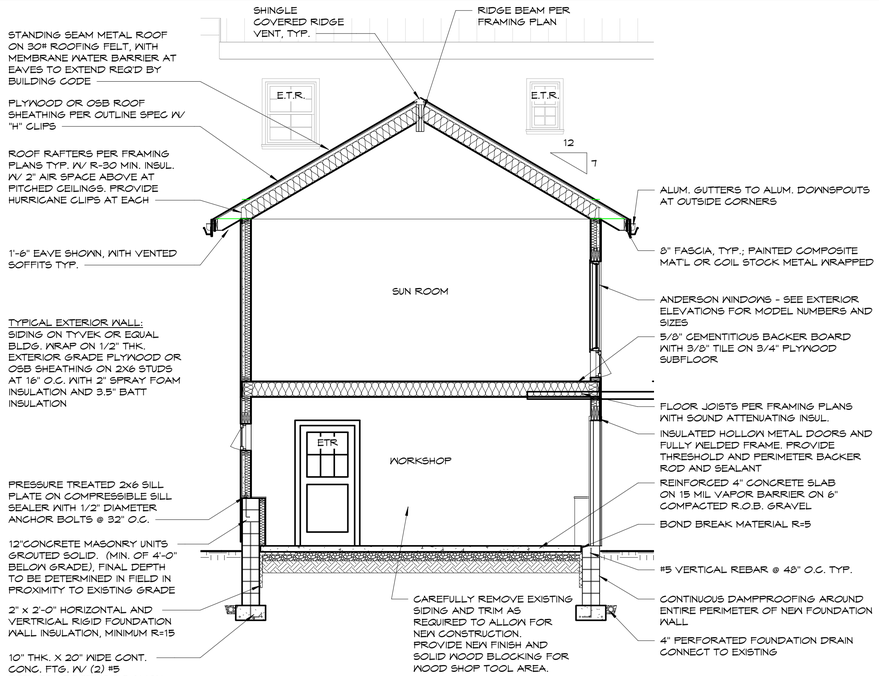
REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

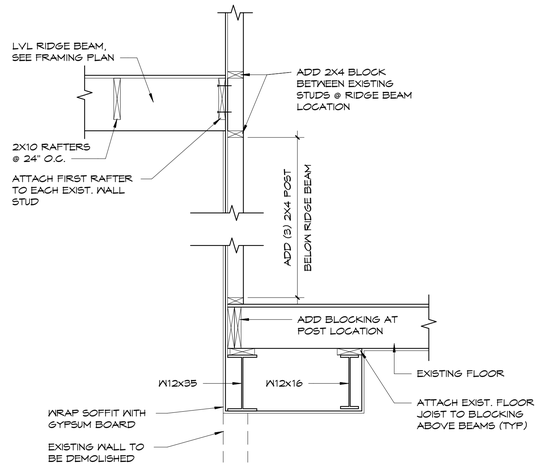
SHEET NAME:
EXTERIOR ELEVATIONS

SHEET No
A201



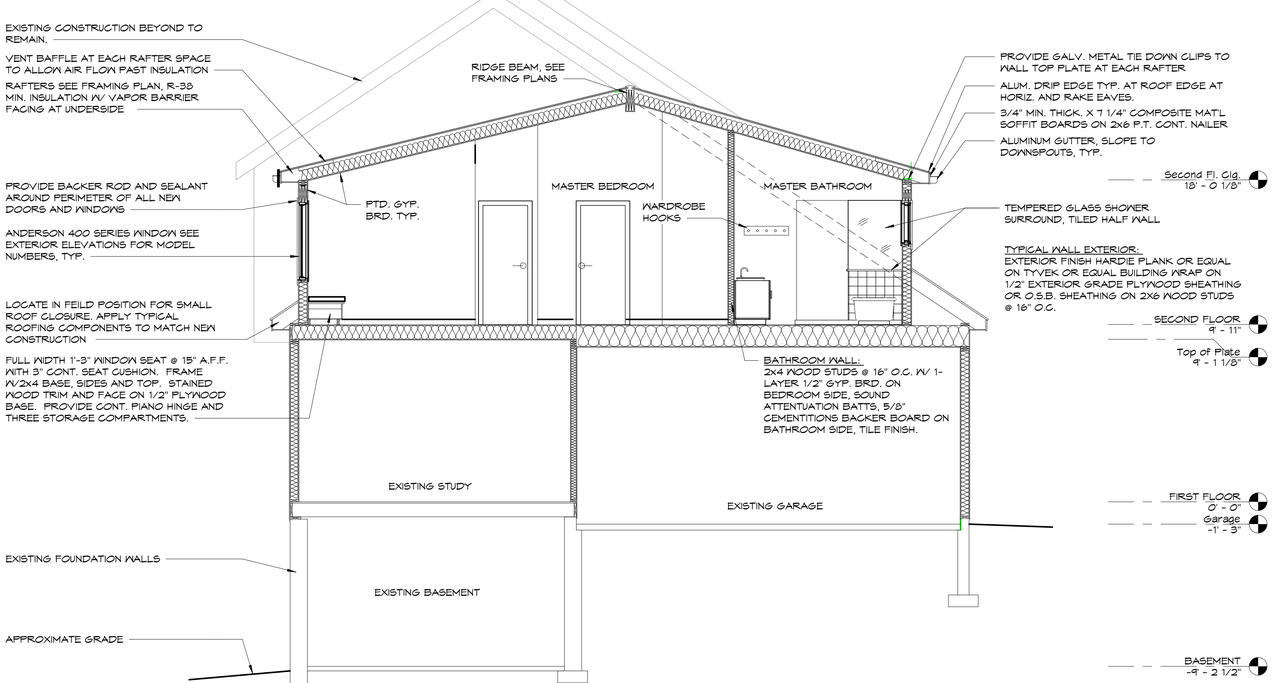
1 Sun Room Section

1/4" = 1'-0"



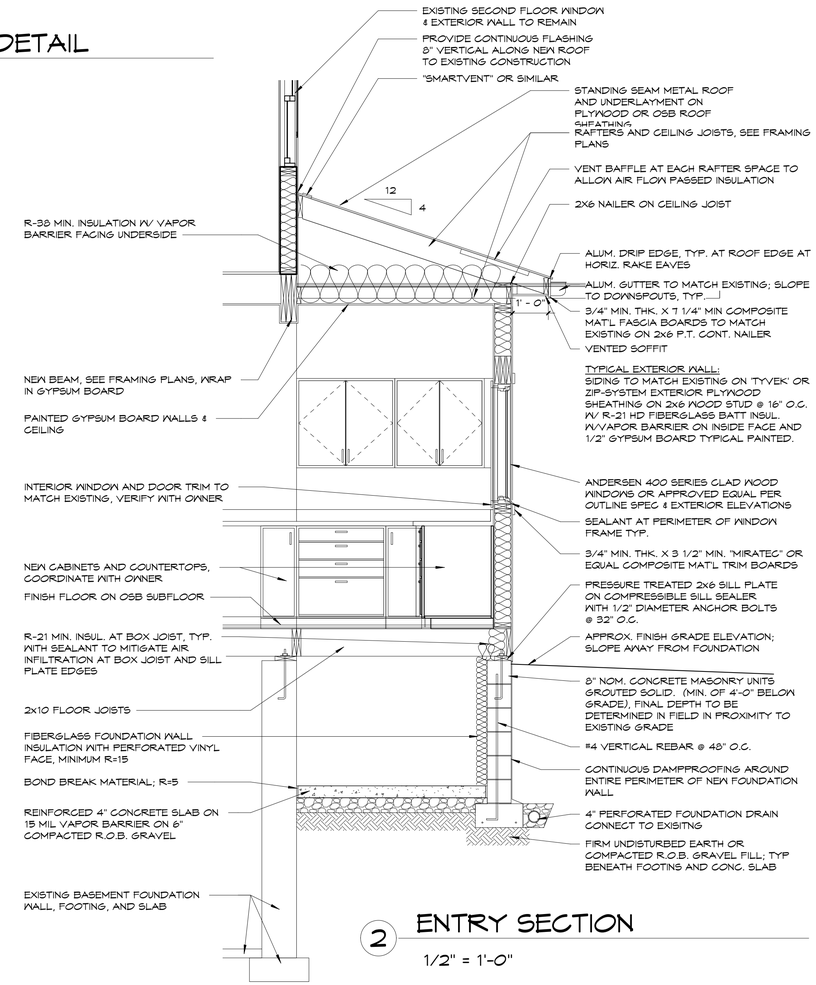
3 SUN ROOM FRAMING DETAIL

3/4" = 1'-0"



4 Master Bedroom Section

1/4" = 1'-0"



2 ENTRY SECTION

1/2" = 1'-0"

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FOR: PATRICK REAVEY & LISA CANNON

PROJECT NO.:	186201
CHECKED BY:	SBT
DRAWN BY:	KAS
DATE:	08-12-2021

REVISIONS

1 JUNE 30, 2022
STANDING SEAM METAL ROOF, COLORS OF SIDING AND TRIM

ISSUED FOR CONSTRUCTION

SHEET NAME:
SECTIONS

SHEET No
A300

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000108

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 111 Mill Road PITTSFORD, NY 14534
Tax ID Number: 178.11-3-45
Zoning District: RN Residential Neighborhood
Owner: Franco, Philip
Applicant: Franco, Philip

Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: The applicant is requesting design review for an addition of a 436 sf addition off the back of the existing house.

Meeting Date: July 14, 2022

RN Residential Neighborhood Zoning

Printed July 7, 2022

1:564

0 20 40 80 ft

0 5 10 20 m

Town of Pittsford GIS


Mill Rd
Millwood Ct
Mill Rd
Mill Rd
04/03/2021
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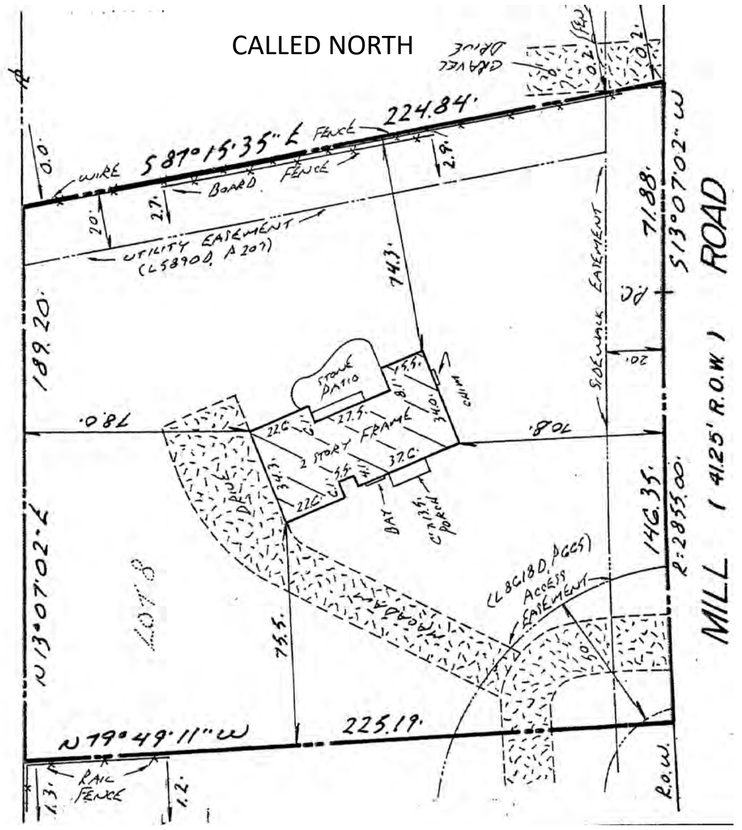
SOUTH ELEVATION

WEST-NW ELEVATION

WEST ELEVATION



SITE PLAN

EAST ELEVATION. (from Mill Rd)

ESB Architecture
41 Oak Meadow Trail Pittsford New York 14534
585-385-6463 429-0878 tbutcher@rochester.rr.com
Architecture Planning Design

Addition to Home

111 Mill Road

Town of Pittsford

County of Monroe

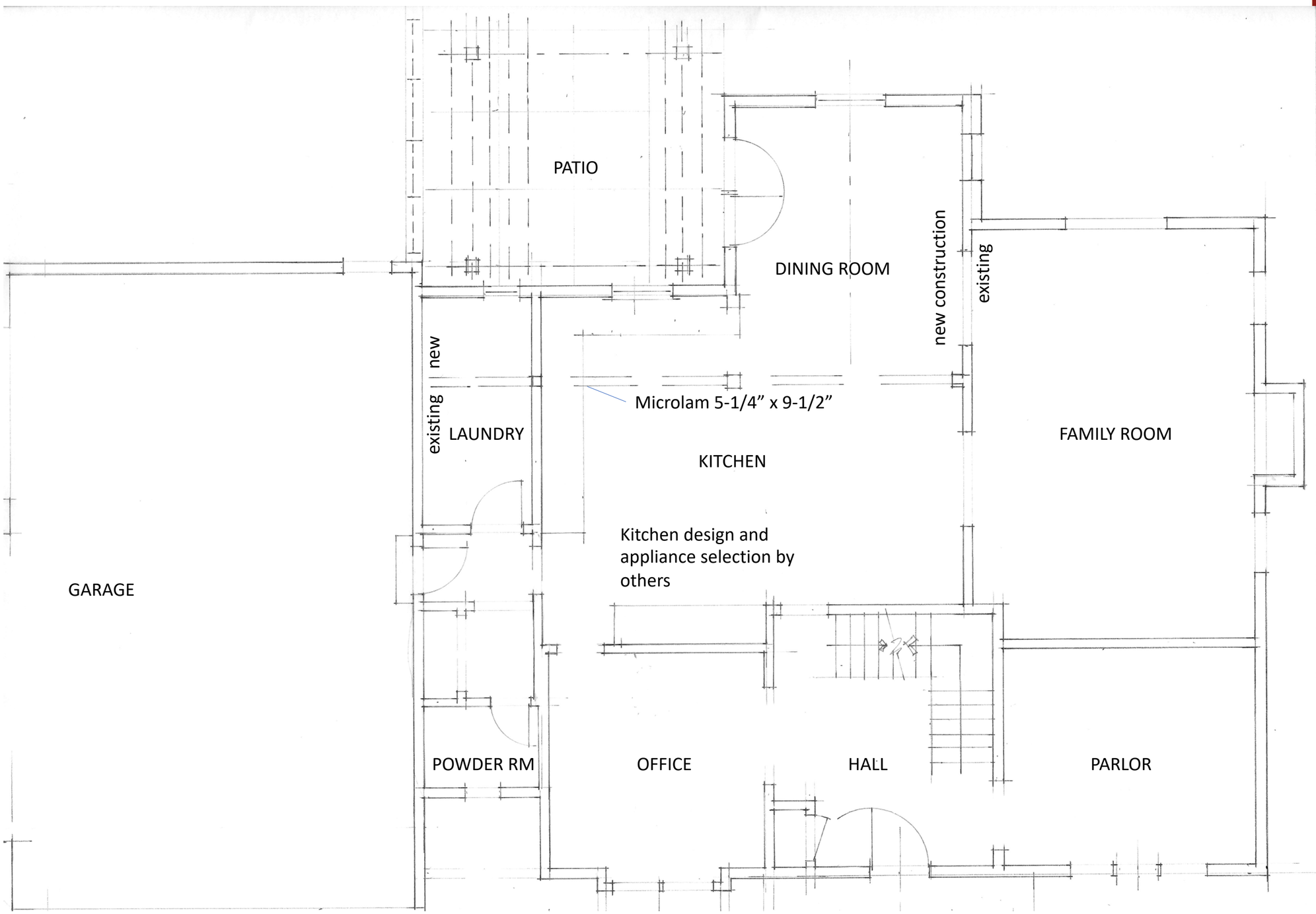
Owners:
Phillip and Jill Franco

A-1

EXISTING CONTEXT

JULY 6, 2022

CALLED NORTH



GROUND FLOOR PLAN

ESB Architecture
41 Oak Meadow Trail Pittsford New York 14534
585-385-6463 429-0878 tbutcher@rochester.rr.com
Architecture Planning Design

Addition to Home

111 Mill Road

Town of Pittsford

County of Monroe

Owners:
Phillip and Jill Franco

A-2

PLANS

JULY 6, 2022

ESB Architecture
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585-385-6463 429-0878 tbutcher@rochester.rr.com
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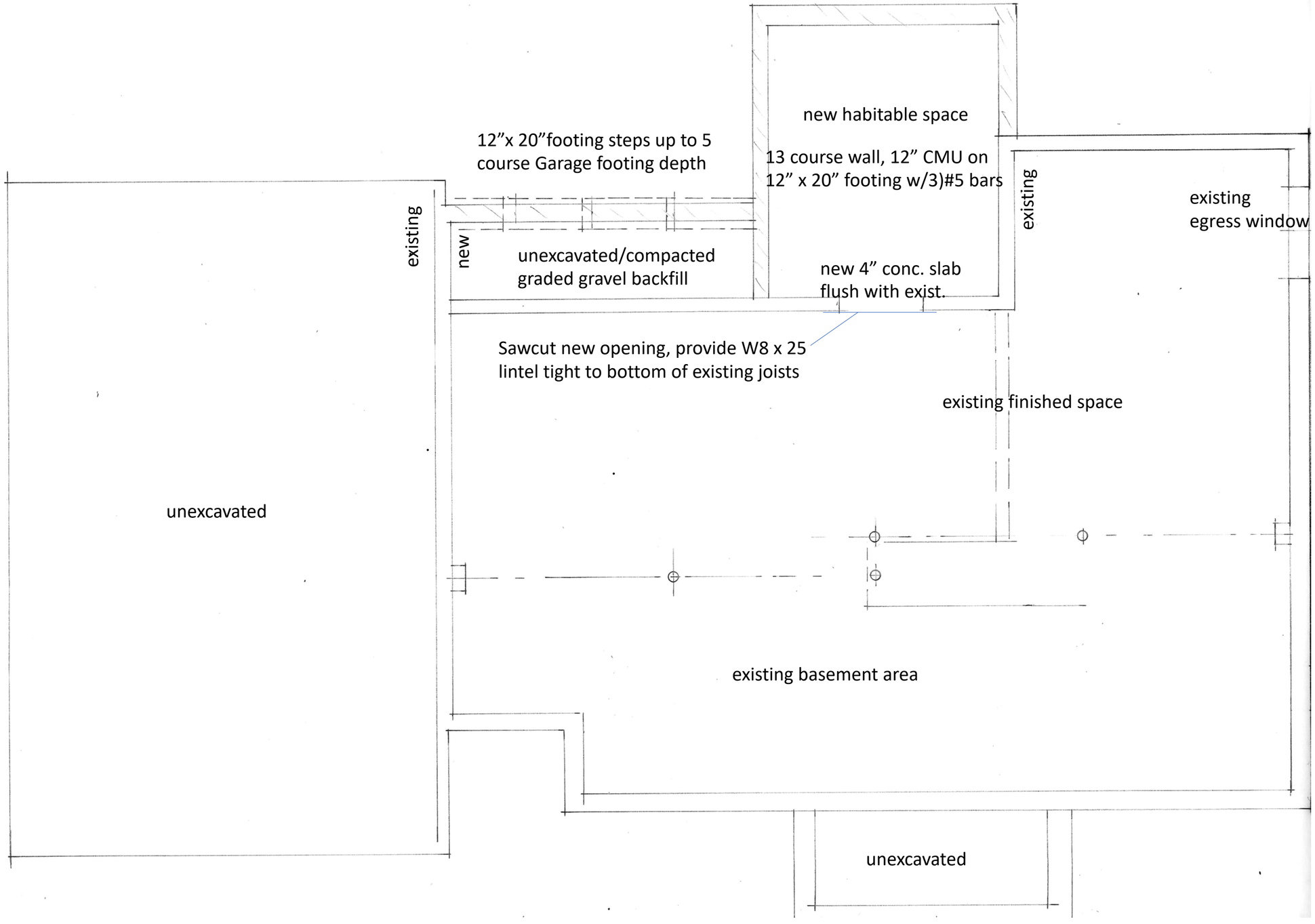


LOWER LEVEL PLAN

Addition to Home

111 Mill Road

Town of Pittsford

County of Monroe

Owners:
Phillip and Jill Franco

A-3

PLANS

JULY 6, 2022

ESB Architecture
41 Oak Meadow Trail Pittsford New York 14534
585-385-6463 429-0878 tbutcher@rochester.rr.com
Architecture Planning Design

NORTH ELEVATION

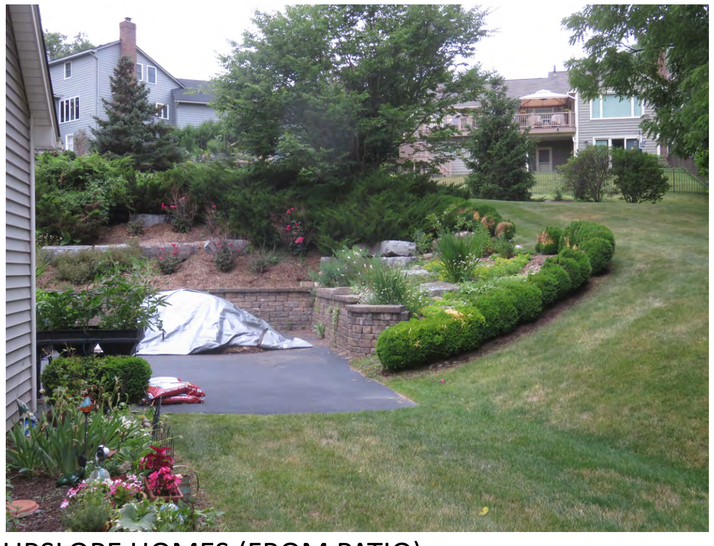
Addition to Home

111 Mill Road

Town of Pittsford

County of Monroe

Owners:
Phillip and Jill Franco



UPSLOPE HOMES (FROM PATIO)

NORTH ELEVATION- EXISTING

A-4

ELEVATIONS

JULY 6, 2022

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 54 Coventry Ridge ,
Tax ID Number:
Zoning District:
Owner: Clover St. Development Corp.
Applicant: Clover St. Development Corp.

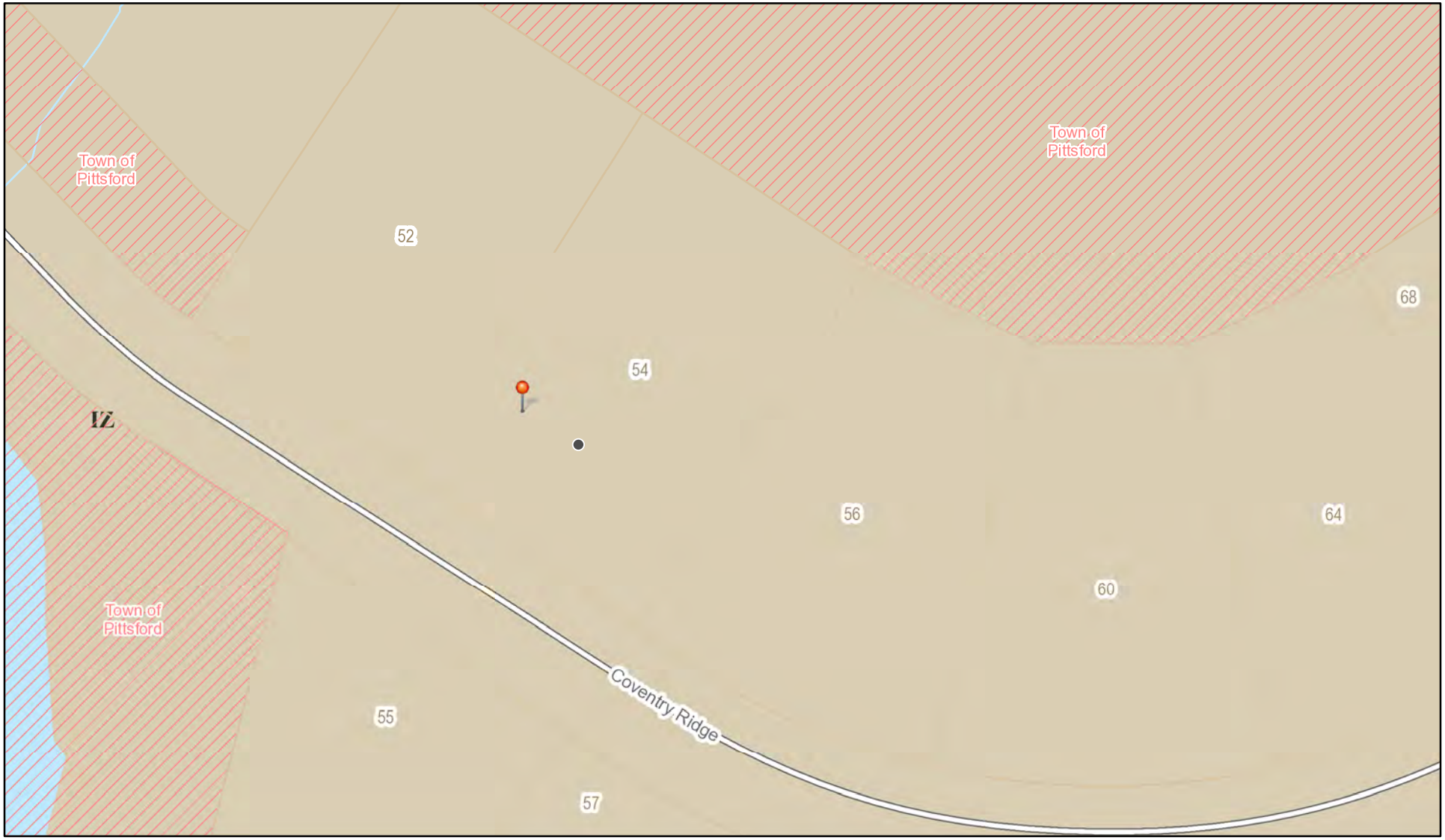
Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of a two story single family home. The home will have approximately 4342 square feet of livable area and is located in the Coventry Ridge Subdivision.

Meeting Date: July 14, 2022

RN Residential Neighborhood Zoning



Printed July 6, 2022

1:1,128

0 45 90 180 ft

0 12.5 25 50 m

Town of Pittsford GIS

04/03/2021

SPEC HOME

LOT 48 COVENTRY RIDGE
PITTSFORD, NY
COVENTRY RIDGE BUILDING CORP.

PLAN 3566 / PROJECT 15346 E

SHEET INDEX

GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE OR PRESCRIPTIVE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE $\frac{1}{150}$ OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G2420.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE . THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION.

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTING:

1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.
6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).
THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5 OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8. WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).
HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE APPLIED TO THE FOLLOWING:

1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
5. PIPING LOCATED UNDER A FLOOR SLAB.
6. BURIED IN PIPING.
7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY.
MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/ OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F.
CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2" UNDER THE TILE.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMING:

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE . GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS.

STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL	ASTM A-36, Fy = 36 ksi
REINFORCED STEEL	ASTM A-615, Fy = 40 ksi
WIRE MESH	ASTM A-185, 6 x 6 - 10/10 W.W.M.
LUMBER	ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC. TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR) WITH A MIN. FIBER STRESS OF 850 P.S.I. UNLESS NOTED OTHERWISE
PLYWOOD	CDX, PANEL INDEX
LVL, PSL, LSL	Fb = 2600 Fv = 285 E x 10^6 - 1.9 $Fc^{\perp}$ = 750
MASONRY	ASTM C90, GRADE N-1, Fm = 1350 PSI
MORTAR	ASTM C270, TYPE S
GROUT	Fc = 2000 PSI ASTM C476
CONCRETE	Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB) Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, & POURED FOUNDATION WALLS)
BOLTS	ASTM A307, Fy - 33 KSI

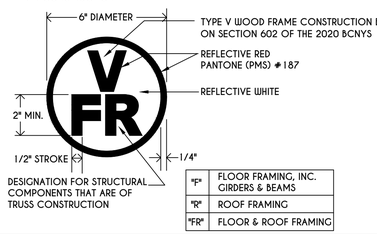
DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
2ND FLOOR LIVING AREA LIVE LOAD	30 P.S.F.
1ST & 2ND FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	40 P.S.F.
ROOF DEAD LOAD	10 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	115 MPH, EXPOSURE B
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	42 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHEILD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.



DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS CONSTRUCTION

"F"	FLOOR FRAMING, INC. GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

COVER PAGE

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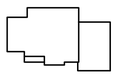
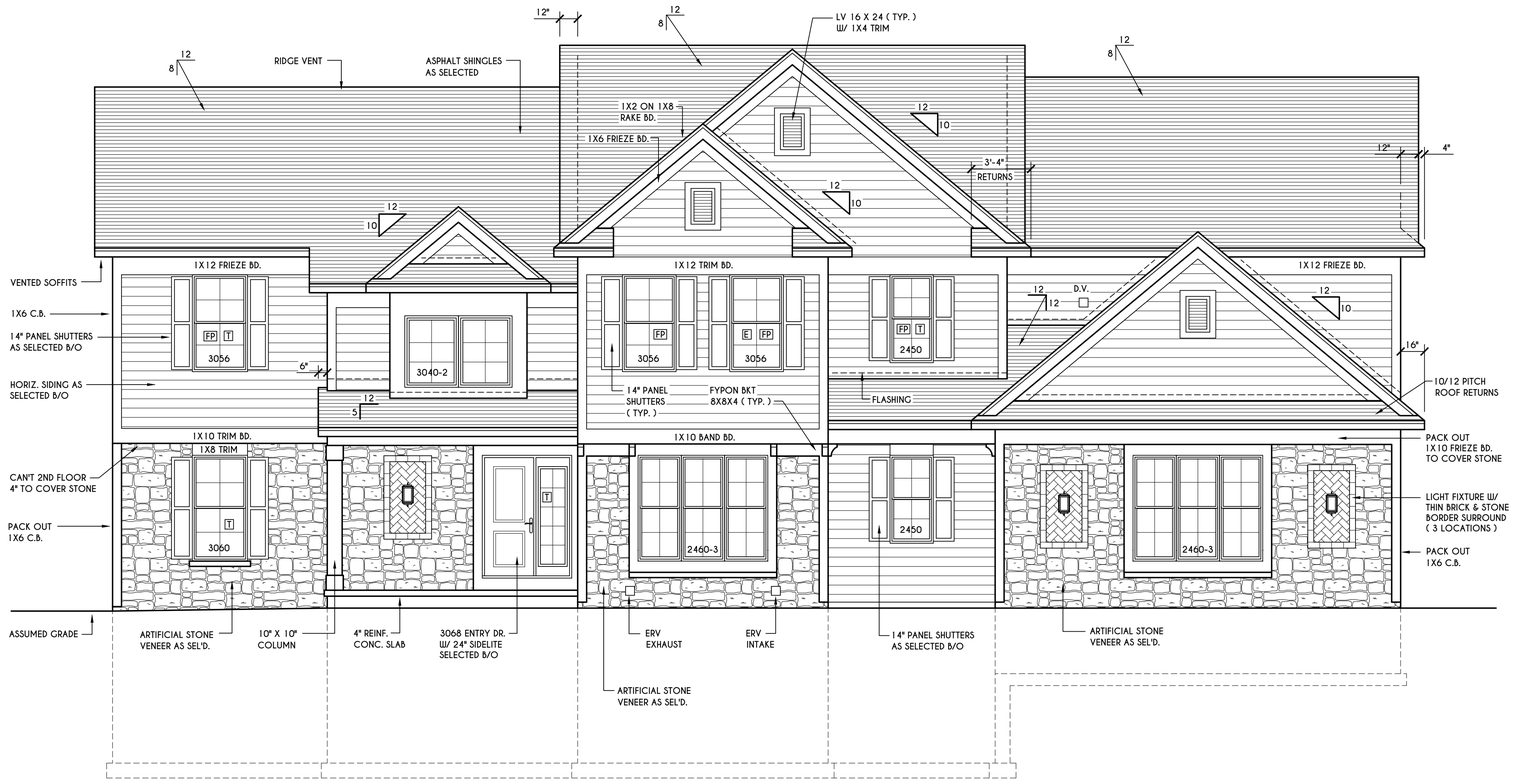


HOUSE FOOTPRINT

SCALE: 1" = 50'-0"

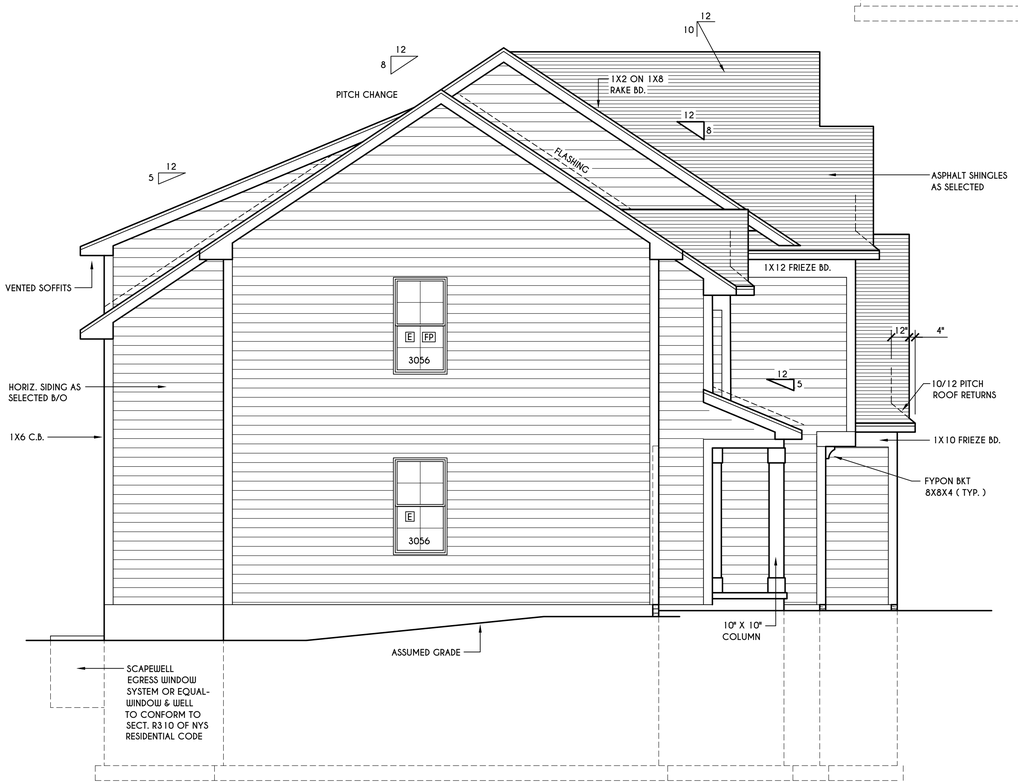


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIVING AREA = 1701 SQ.FT.
SECOND FLOOR LIVING AREA = 1865 SQ.FT.
TOTAL LIVING AREA = 3566 SQ.FT.

TOTAL CONDITIONED VOLUME = 51,036 CU.FT.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: VUD SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30
SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"

PER SECT. R310.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

ALL RAKES ARE 12" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE

4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

TABLE M1505.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS [a,b]

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR [a]	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given,the factors are permitted to be determined by interpolation.
b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.4
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

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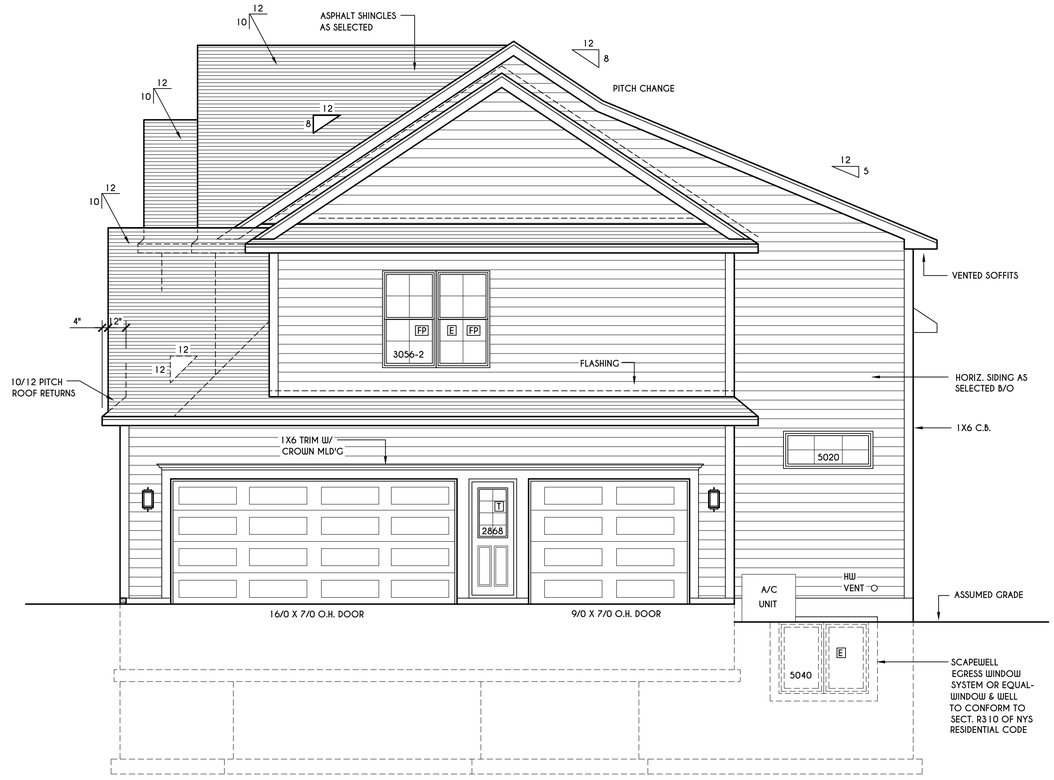
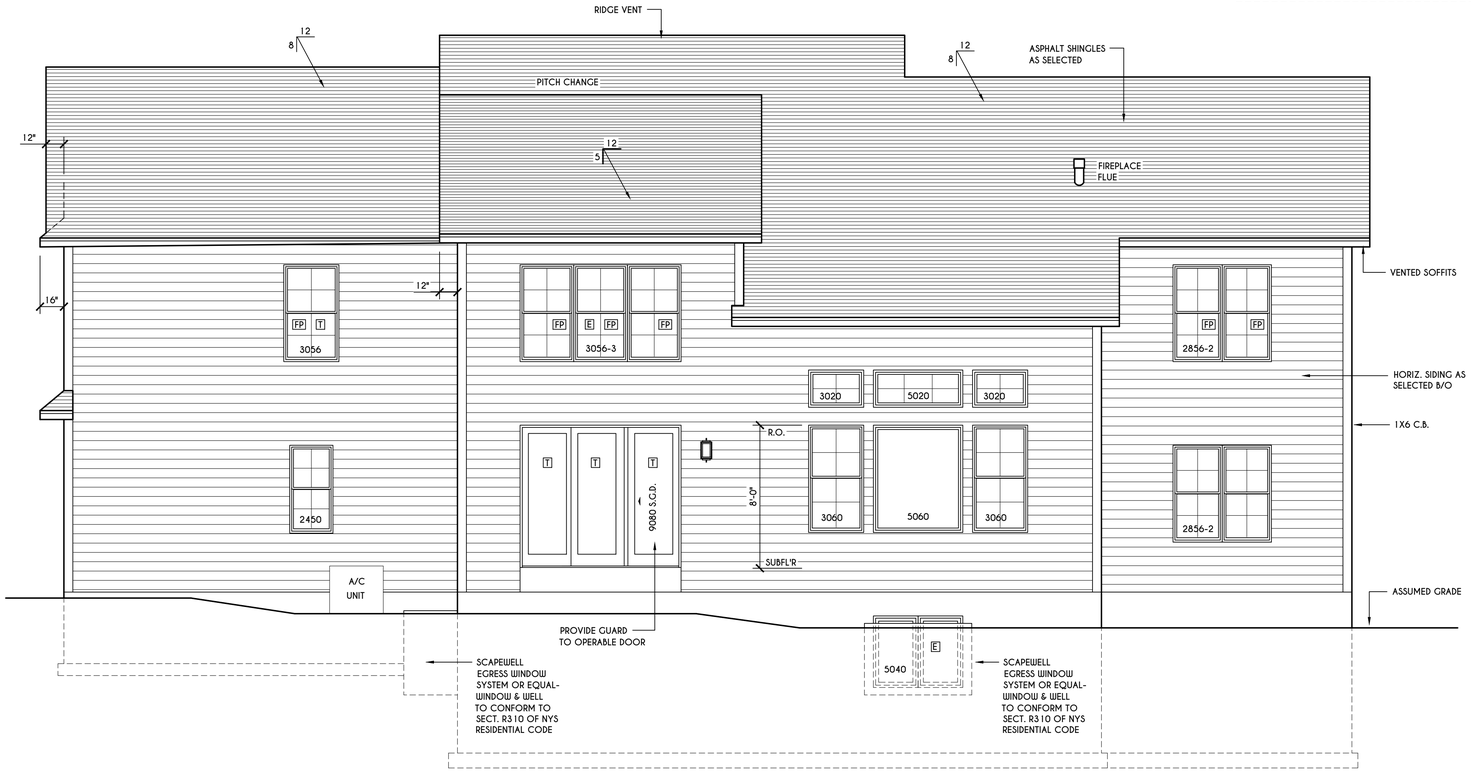


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

WINDOWS: VWD SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30
SHGC 0.54

DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SLIING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

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- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

GENERAL NOTES:

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BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2) & M1505.4.4 (PAGE 1)

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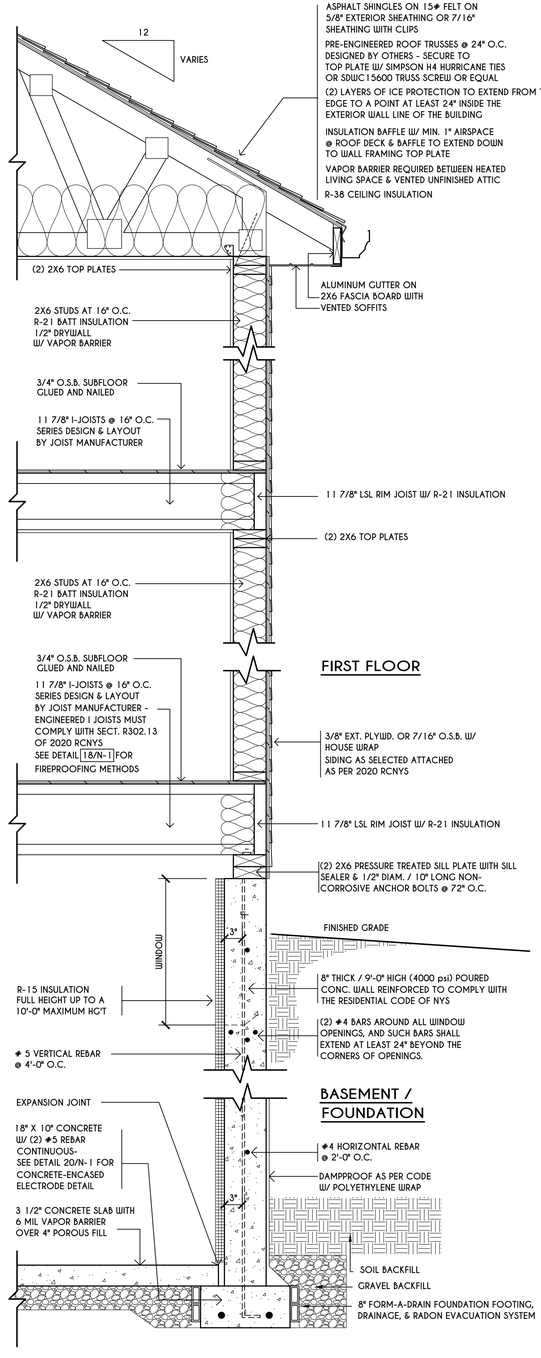
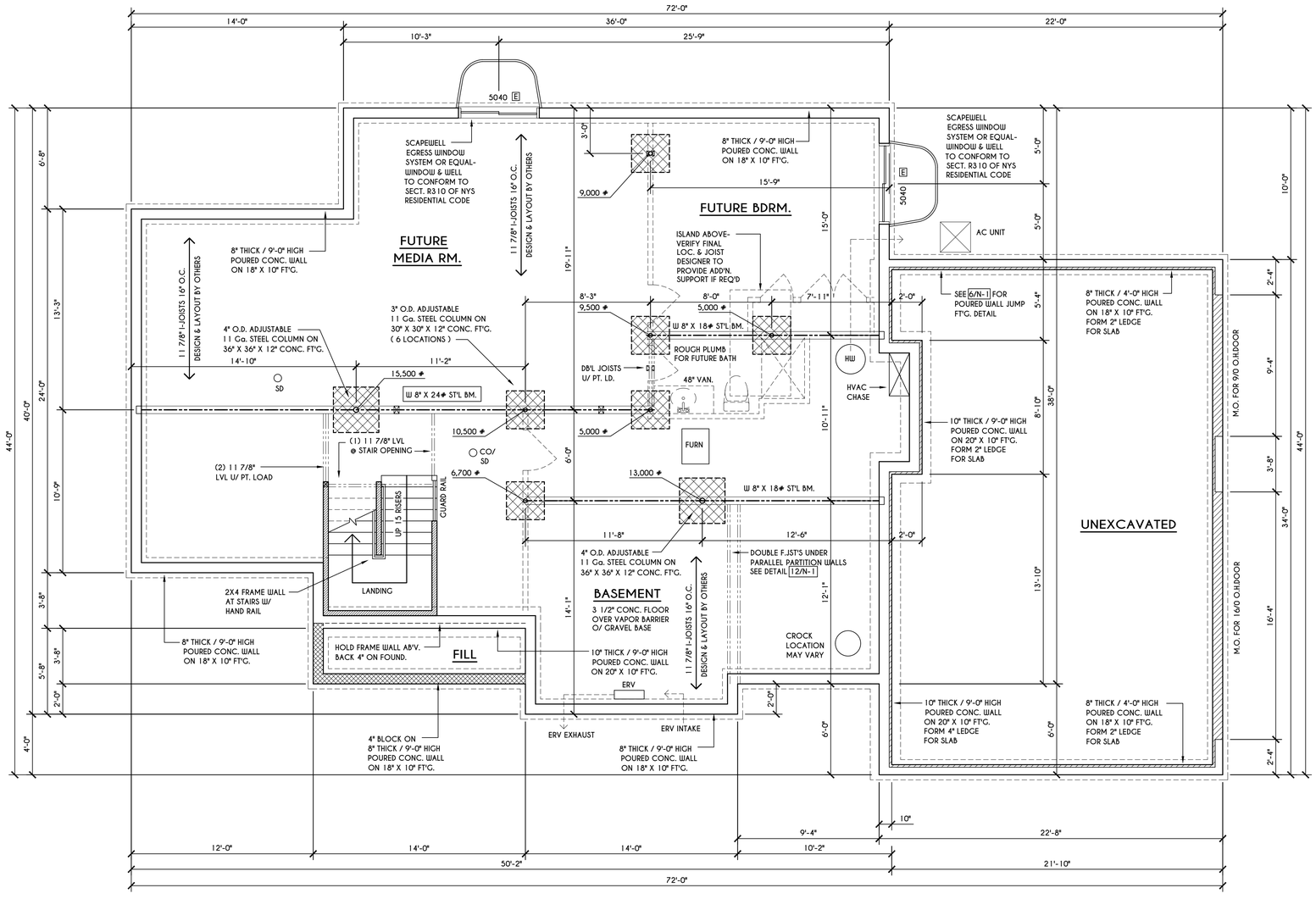


TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ENGINEERED FL'R JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW:

ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

ENGINEERED I JOISTS MUST COMPLY WITH SECT. R302.13 OF 2020 RCNYS SEE DETAIL 18/N-1 FOR FIREPROOFING METHODS

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL FOUNDATION / BASEMENT NOTES:

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE FOUNDATION DESIGN AND /OR STRUCTURE NOTED
ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.
WHERE EMERGENCY ESCAPE & RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR. THE MIN. HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION & WIDTH OF 36"
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL AND / OR BEAMS
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
REINFORCE FOUNDATION WALLS AS PER 2020 RCNYS. SEE PG. N-2 FOR REINFORCING CHARTS
SEE CONCRETE-ENCASED ELECTRODE DETAIL 19/N-1

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

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FOUNDATION PLAN

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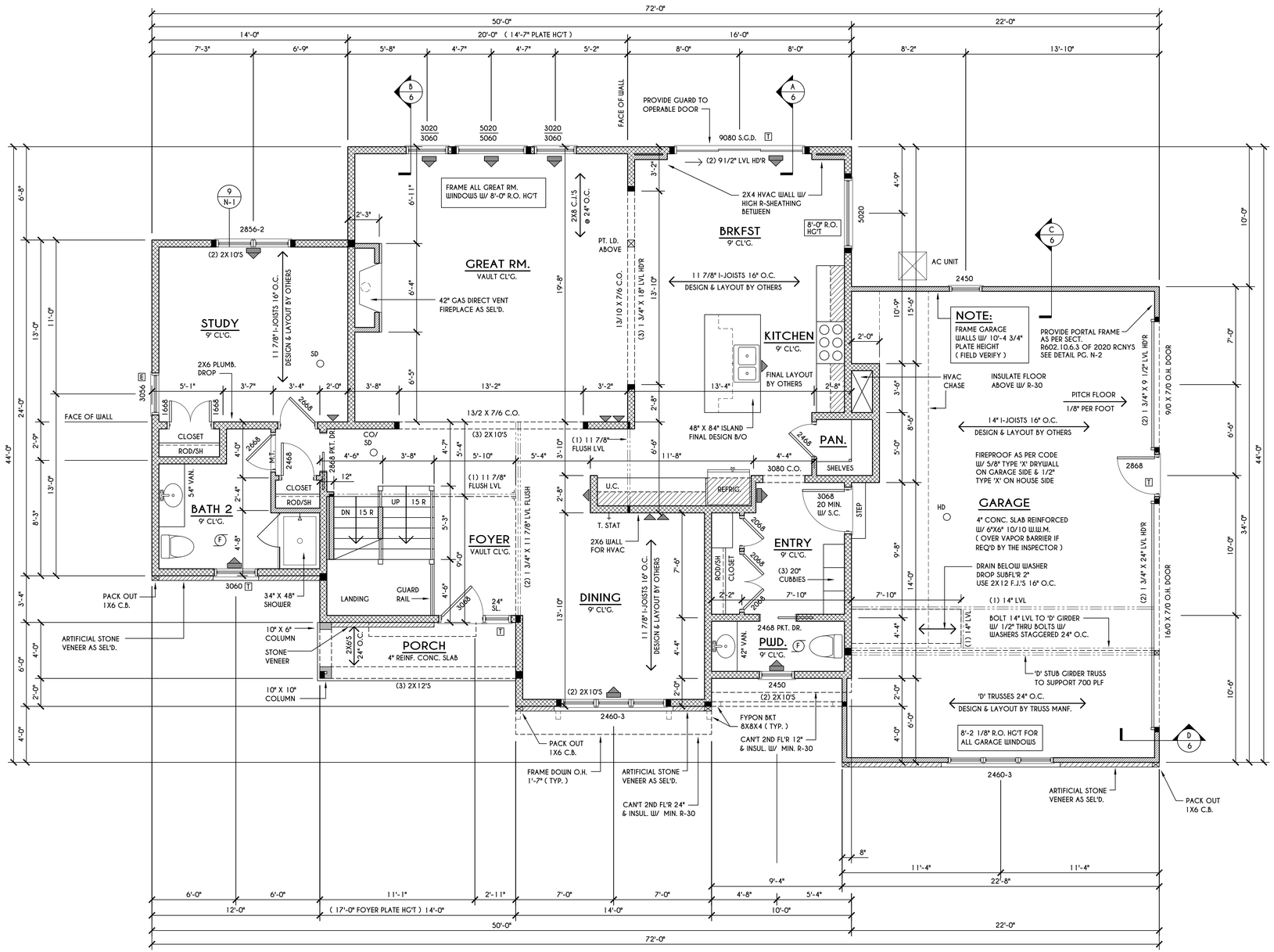

FIRST FLOOR PLAN

1701 SQ. FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL FIRST FLOOR PLAN NOTES:

FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 7'-4" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R314 OF 2020 RCNYS
CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS
IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

[E] = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.
- CLEAR OPENING WIDTH OF 20"
- CLEAR OPENING HEIGHT OF 24"
PER SECT. R310.2.1 OF 2020 RCNYS

[T] = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

[FP] = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPEC'S BELOW:
ALL LIVING AREA JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD
ALL SLEEPING AREA JOISTS TO BE DESIGNED FOR 45 P.S.F. TOTAL LOAD

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PITTSFORD, NY

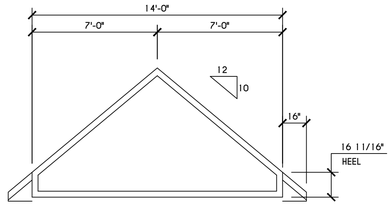
BUILDER:

COVENTRY RIDGE BUILDING CORP.

FIRST FLOOR PLAN

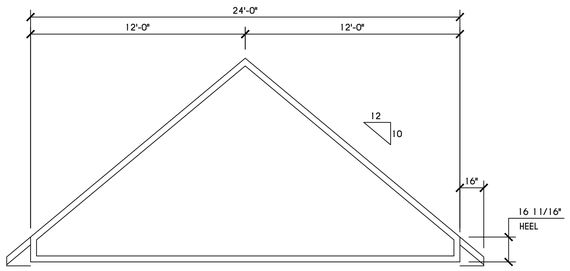
GLA PLAN 3566

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	6 / 22
PROJECT:	sheet:
15346E	4 / 6



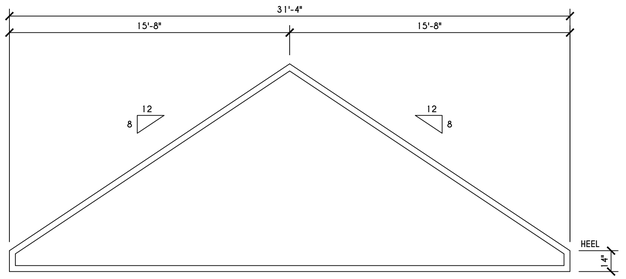
'G' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



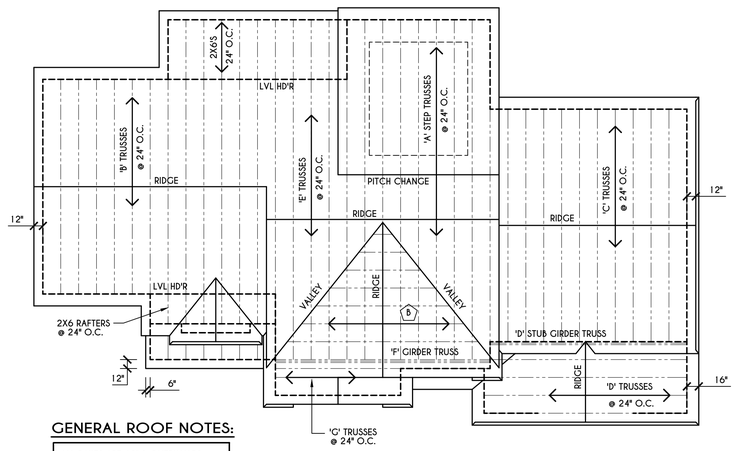
'F' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



'E' TRUSS PROFILE

SCALE: 1/4" = 1'-0"



GENERAL ROOF NOTES:

ALL RAKES ARE 12" & OVERHANGS ARE 16" UNLESS NOTED OTHERWISE

ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING

THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS

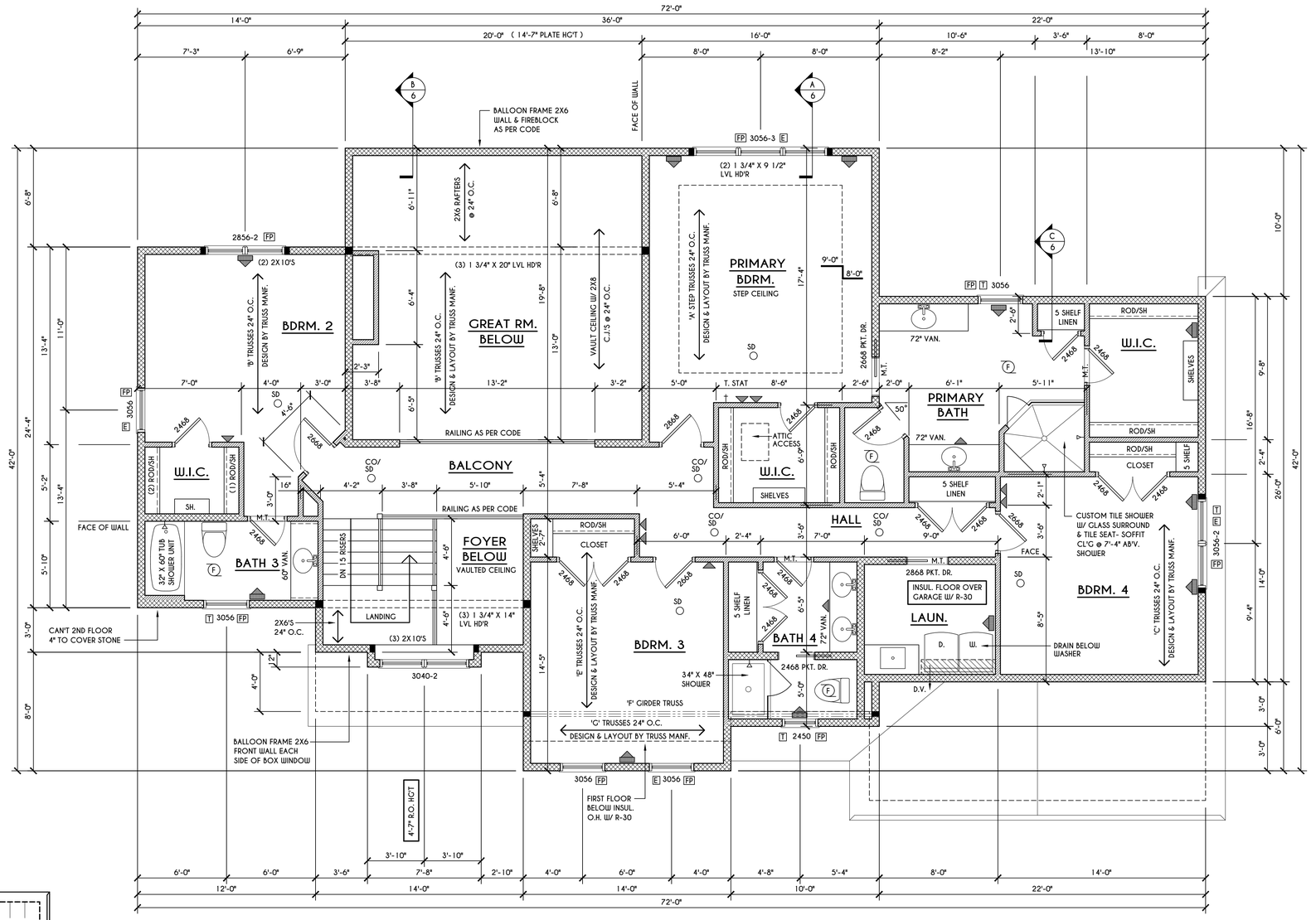
4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

ROOF PLAN

SCALE: 1/8" = 1'-0"

(A) – 2X6 LAYOVER RAFTERS 24" O.C.

(B) – 2X8 LAYOVER RAFTERS 24" O.C.



SECOND FLOOR PLAN

1865 SQ.FT.

SCALE: 1/4" = 1'-0"

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE
- DROPPED HEADER
- FLUSH HEADER
- 2X4 STUDS @ 16" O.C.
- 2X6 STUDS @ 16" O.C.

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HGT TO BE 8'- 1 1/8" (UNLESS NOTED OTHERWISE)
ALL WINDOW R.O. HGT'S TO BE 6'- 10 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
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PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

SECOND FLOOR PLAN

GLA PLAN 3566

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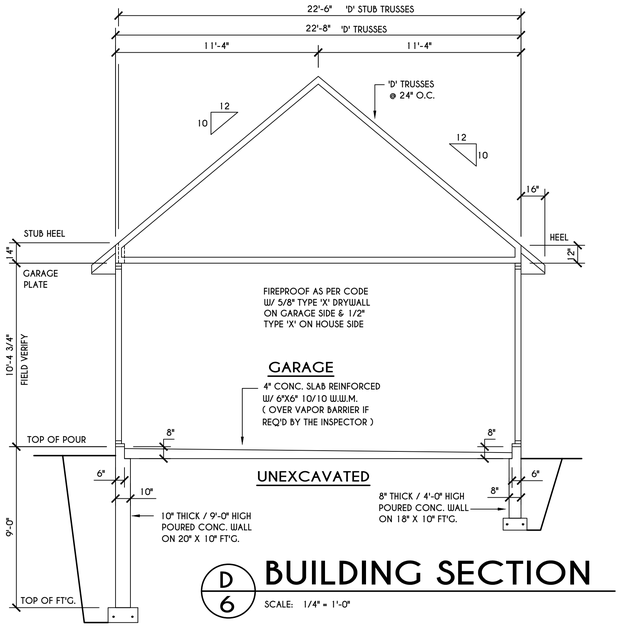
scale:	date:
AS NOTED	6 / 22
PROJECT:	sheet:
15346E	5 / 6

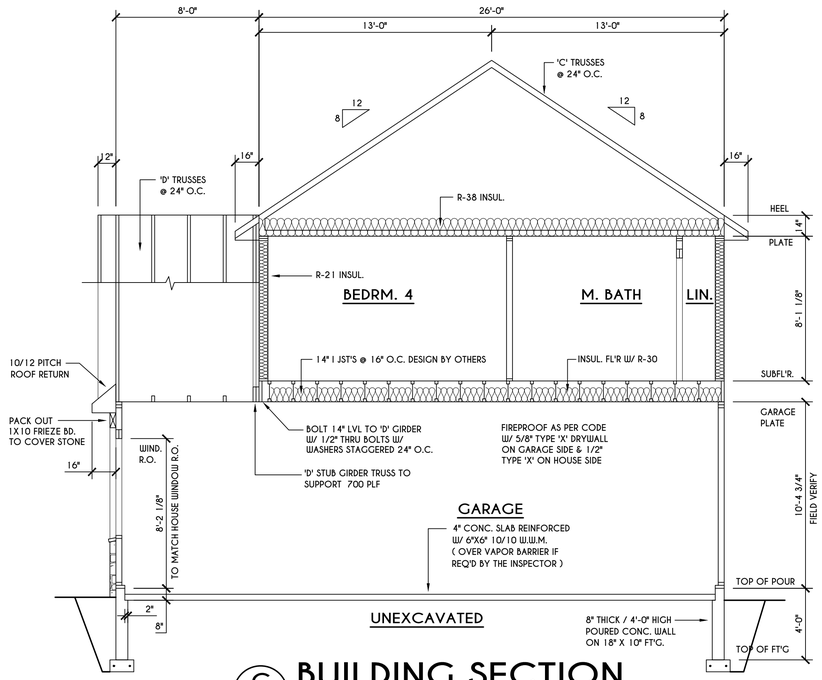


D/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"

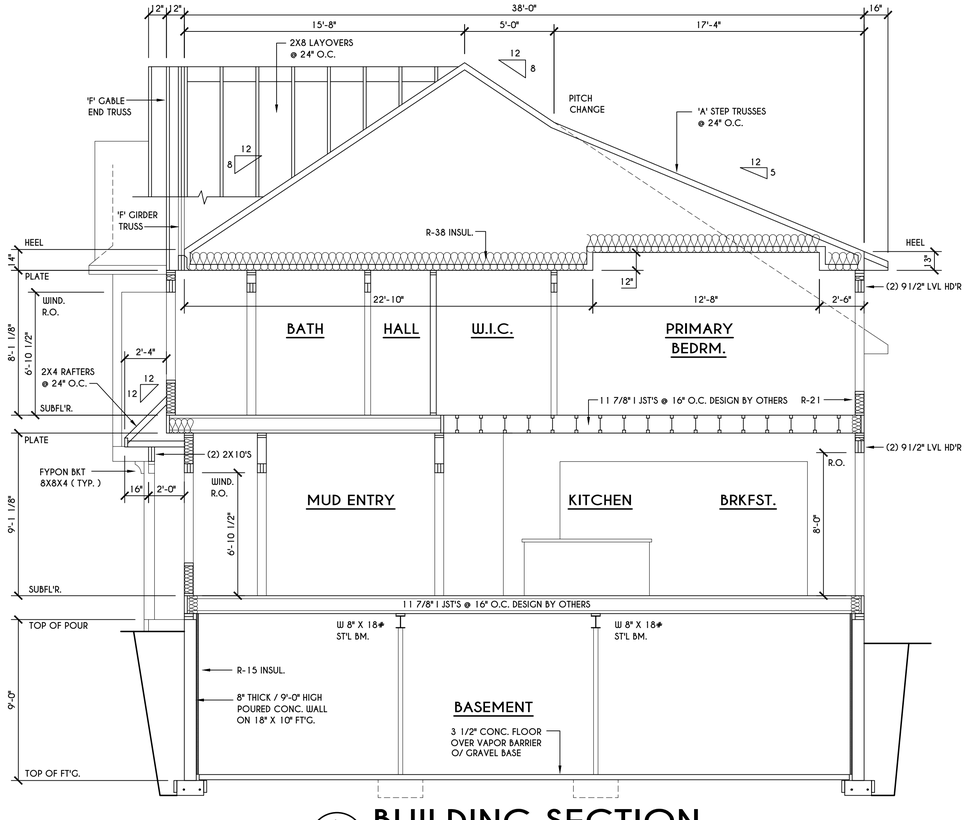
TRUSS NOTES:

TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONSIBLE FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD
TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD
PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER



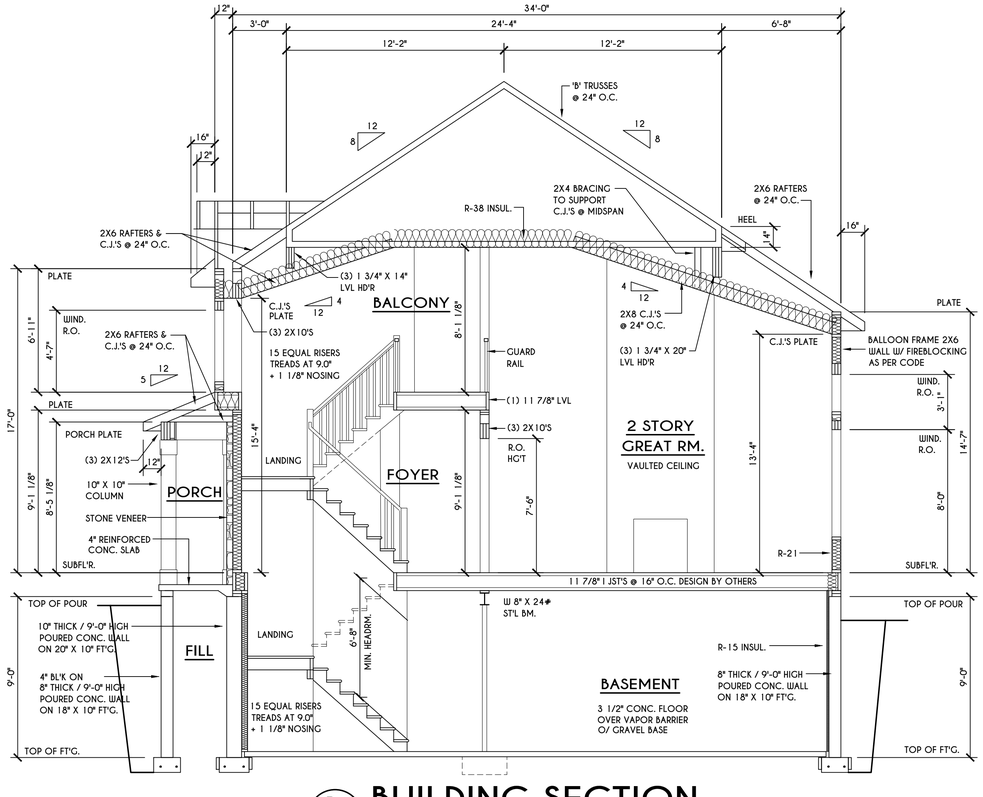
C/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"



A/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"



B/6 BUILDING SECTION

SCALE: 1/4" = 1'-0"

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BUILDING CORP.

SECTIONS

GLA PLAN 3566

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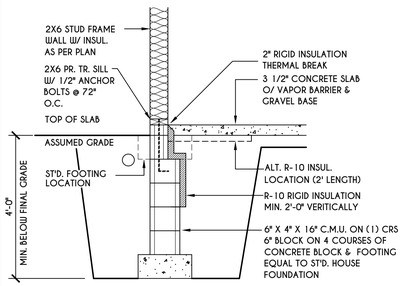
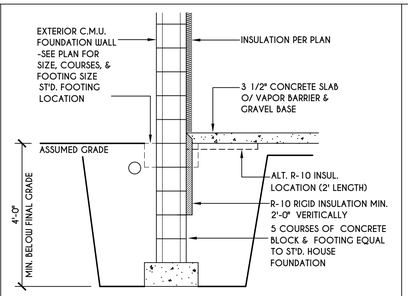
PROJECT:	sheet:
15346E	6 / 6



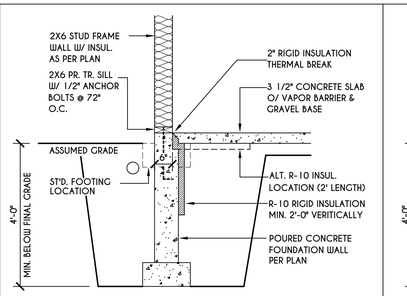
1 N-1 **2X6 FRAME WALL ON C.M.U. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



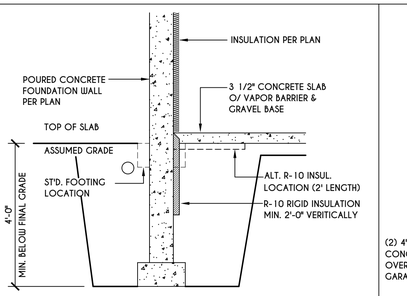
2 N-1 **C.M.U. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



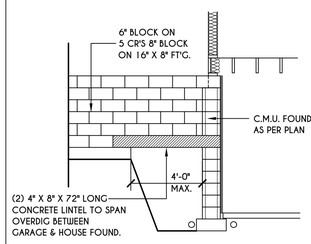
3 N-1 **2X6 FRAME WALL ON POURED CONC. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



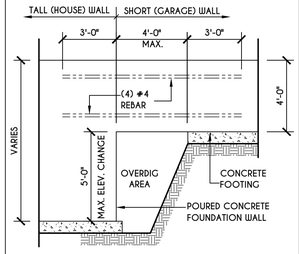
4 N-1 **POURED CONC. WALK OUT DETAIL**

SCALE: 1/2" = 1'-0"



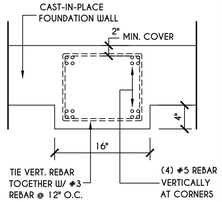
5 N-1 **C.M.U. JUMP FOOTING DETAIL**

SCALE: 1/4" = 1'-0"



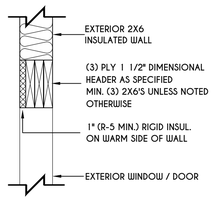
6 N-1 **POURED WALL JUMP FOOTING DETAIL**

SCALE: 1/4" = 1'-0"



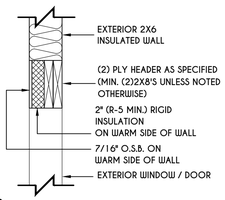
7 N-1 **POURED WALL PILASTER DETAIL**

SCALE: 1" = 1'-0"



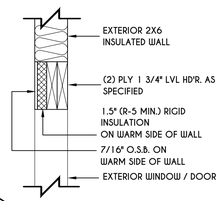
8 N-1 **EXTERIOR INSULATED 3 PLY HEADER DETAIL**

SCALE: 1" = 1'-0"



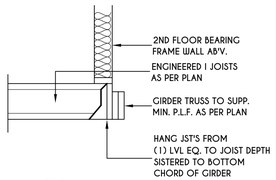
9 N-1 **EXTERIOR INSULATED 2 PLY HEADER DETAIL**

SCALE: 1" = 1'-0"



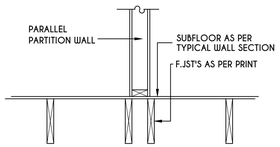
10 N-1 **EXTERIOR INSULATED 2 PLY LVL HEADER DETAIL**

SCALE: 1" = 1'-0"



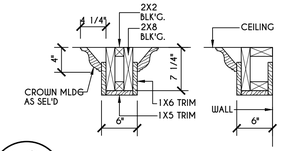
11 N-1 **I JST / GIRDER DETAIL**

SCALE: 1/2" = 1'-0"



12 N-1 **DOUBLE FLOOR JST'S UNDER PARALLEL PARTITION WALL DETAIL**

N.T.S.



13 N-1 **COFFERED BEAM DETAIL**

N.T.S.

14 N-1 **TYPICAL GUARD RAIL DETAIL**

SCALE: 1" = 1'-0"

GUARD REQUIREMENT AS PER R312 OF 2020 RCNYS

15 N-1 **GENERAL ATTACHMENT OF DECK TO LEDGER BD & BAND BD.**

SCALE: 1/2" = 1'-0"

16 N-1 **PLACEMENT OF LAG SCREWS & BOLTS IN LEDGERS**

FIGURE R507.9.1.3 (1) OF RCNYS
N.T.S.

TABLE R507.9.1.3 (1)
DECK LEDGER CONNECTION TO BAND JOIST

CONNECTION DETAILS	JOIST SPAN						
	6' & LESS	6'-1" - 8'	8'-1"- 10'	10'- 1"- 12'	12'- 1"- 14'	14'- 1"- 16'	16'- 1"- 18'
	ON-CENTER SPACING OF FASTENERS (IN.)						
1/2" DIAM. LAG SCREW W/ 1/2" MAX. SHEATHING	30	23	18	15	13	11	10
1/2" DIAM. BOLT W/ 1/2" MAX. SHEATHING	36	36	34	29	24	21	19
1/2" DIAM. BOLT W/ 1" MAX. SHEATHING	36	36	29	24	21	18	16

FIGURE R507.5.1 (1) 2020 RCNYS

TABLE R507.4
DECK POST HEIGHT [a]

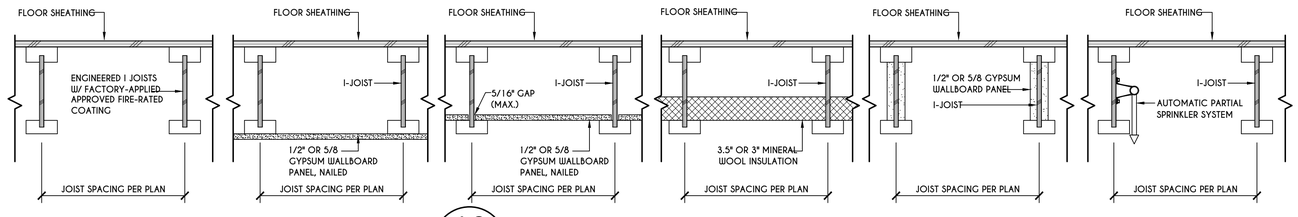
DECK POST SIZE	MAX. HEIGHT [a,b] (feet-inches)
4 X 4	6-9 [c]
4 X 6	8'
6 X 6	14'
8 X 8	14'

a. MEASURED TO UNDERSIDE OF BEAM
b. BASED ON 40 psf LIVE LOAD
c. THE MAXIMUM PERMITTED HEIGHT IS 8' FOR ONE-PLY & TWO-PLY BEAMS. THE MAXIMUM PERMITTED HEIGHT FOR THREE-PLY BEAMS ON POST CAP IS 6'-9"

FIGURE R507.5.1 (2) 2020 RCNYS

17 N-1 **DECK BEAM TO DECK POST & NOTCHED POST-TO-BEAM CONNECTION**

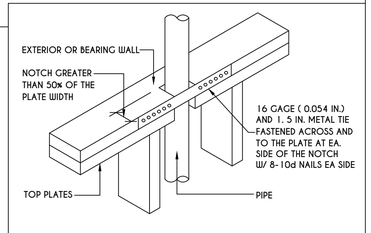
N.T.S.



18 N-1 **I-JOIST FLOOR SYSTEMS FIRE RATED FLOOR ASSEMBLY**

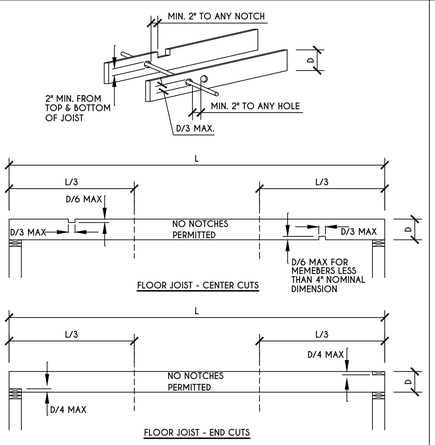
DETAILS AS PER APA FIRE PROTECTION OF FLOORS (FP-01) FOR COMPLIANCE WITH SECTION R302.13 OF RCNYS

19 N-1



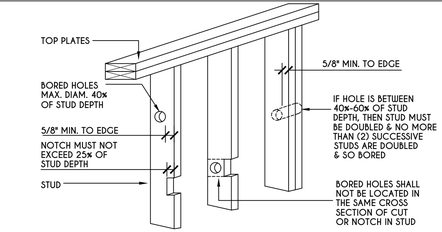
TOP PLATE FRAMING TO ACCOMMODATE PIPING

FIGURE R602.6.1
N.T.S.



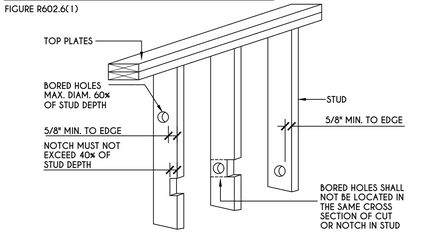
CUTTING, NOTCHING, & DRILLING OF JOISTS

FIGURE R502.8 FOR ENGINEERED WOOD PRODUCTS, PLEASE REFER TO MANUFACTURER'S RECOMMENDATIONS



NOTCHING & BORED HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS

FIGURE R602.6(1)



NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS

FIGURE R602.6(2)

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BUILDER:

COVENTRY RIDGE
BUILDING CORP.

DETAILS

GLA PLAN 3566

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scale:	date:
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PROJECT:	sheet:
15346E	N 1

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] — SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'-8"	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'-4"	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
8'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#5 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8'-8"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'-8"	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9'-4"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	8'	#6 @ 48" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	9'-4"	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
10'-0"	4' (OR LESS)	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 48" O.C.
	5'	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
	6'	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
	7'	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
	8'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
	9'	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.
	10'	#6 @ 32" O.C.	#6 @ 16" O.C.	#6 @ 16" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

10-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 6.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] — SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
10'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.
	7'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.
	8'	#5 @ 56" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
	9'	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.
	10'	#6 @ 48" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES [a, c, f]

WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [e]	MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) [b, c] — SOIL CLASSES AND LATERAL SOIL LOAD [d] (psf PER FOOT BELOW GRADE): GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'-8"	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
7'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#4 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 56" O.C.
	9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	4' (OR LESS)	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	5'	#4 @ 72" O.C.	#4 @ 72" O.C.	#4 @ 72" O.C.
	6'	#4 @ 72" O.C.	#5 @ 72" O.C.	#5 @ 72" O.C.
	7'	#4 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 72" O.C.
	8'	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 48" O.C.
	9'	#6 @ 72" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.
	10'	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES D0, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

MINIMUM VERTICAL REINFORCEMENT FOR 6-, 8-, 10- AND 12-INCH NOMINAL FLAT BASEMENT WALLS [b, c, d, e, f, h, i, k, n, o]

MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches); SOIL CLASSES [a] AND DESIGN LATERAL SOIL (psf PER FOOT OF DEPTH); MIMIMUM WALL THICKNESS (INCHES)

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT [g] (FEET)	GW, GP, SW, AND SP 30: 6	8	10	12	GM, GS, SM-SC AND ML 45: 6	8	10	12	SC, MH, ML-CL AND INORGANIC CL 60: 6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR [l]	NR	NR	#4 @ 35"	NR [l]	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR [l]	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR [l]	NR	#6 @ 34"	#6 @ 48"	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 38"	NR [l]	NR	NR	#5 @ 43"	NR	NR	NR
	6	#4 @ 37"	NR [l]	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR [l]	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	#5 @ 41"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR [l]	NR	#6 @ 34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 35"	NR [l]	NR	NR	#5 @ 40"	NR	NR	NR
	6	#4 @ 34"	NR [l]	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR [l]	NR
	7	#5 @ 36"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"	#6 @ 38"	#5 @ 37"	NR [l]	#6 @ 24"	#6 @ 29"	#6 @ 39"	#4 @ 48" [m]
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6 @ 41"	NR	#6 @ 19"	#6 @ 23"	#6 @ 30"	#6 @ 39"
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4 @ 33"	NR [l]	NR	NR	#5 @ 38"	NR	NR	NR
	6	#5 @ 48"	NR [l]	NR	NR	#6 @ 45"	NR	NR	NR	#6 @ 34"	#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6 @ 34"	#6 @ 48"	NR	NR	#6 @ 30"	#6 @ 35"	#6 @ 48"	NR [l]
	8	#6 @ 34"	#5 @ 38"	NR	NR	#6 @ 30"	#6 @ 34"	#6 @ 47"	NR [l]	#6 @ 22"	#6 @ 26"	#6 @ 35"	#6 @ 45" [m]
	9	#6 @ 34"	#6 @ 41"	#4 @ 48"	NR [l]	#6 @ 23"	#6 @ 27"	#6 @ 35"	#4 @ 48" [m]	DR	#6 @ 22"	#6 @ 27"	#6 @ 34"
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR [j]	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6 @ 28"

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI

c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. CONCRETE COVER FOR THE REINFORCEMENT MEASURE FROM THE INSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 3/4 INCH. CONCRETE COVER FOR REINFORCEMENT MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE l OR m.

l. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 4,000 PSI.

m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, fc IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.

o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION.

IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1 SHALL BE ASSUMED.

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS [a]

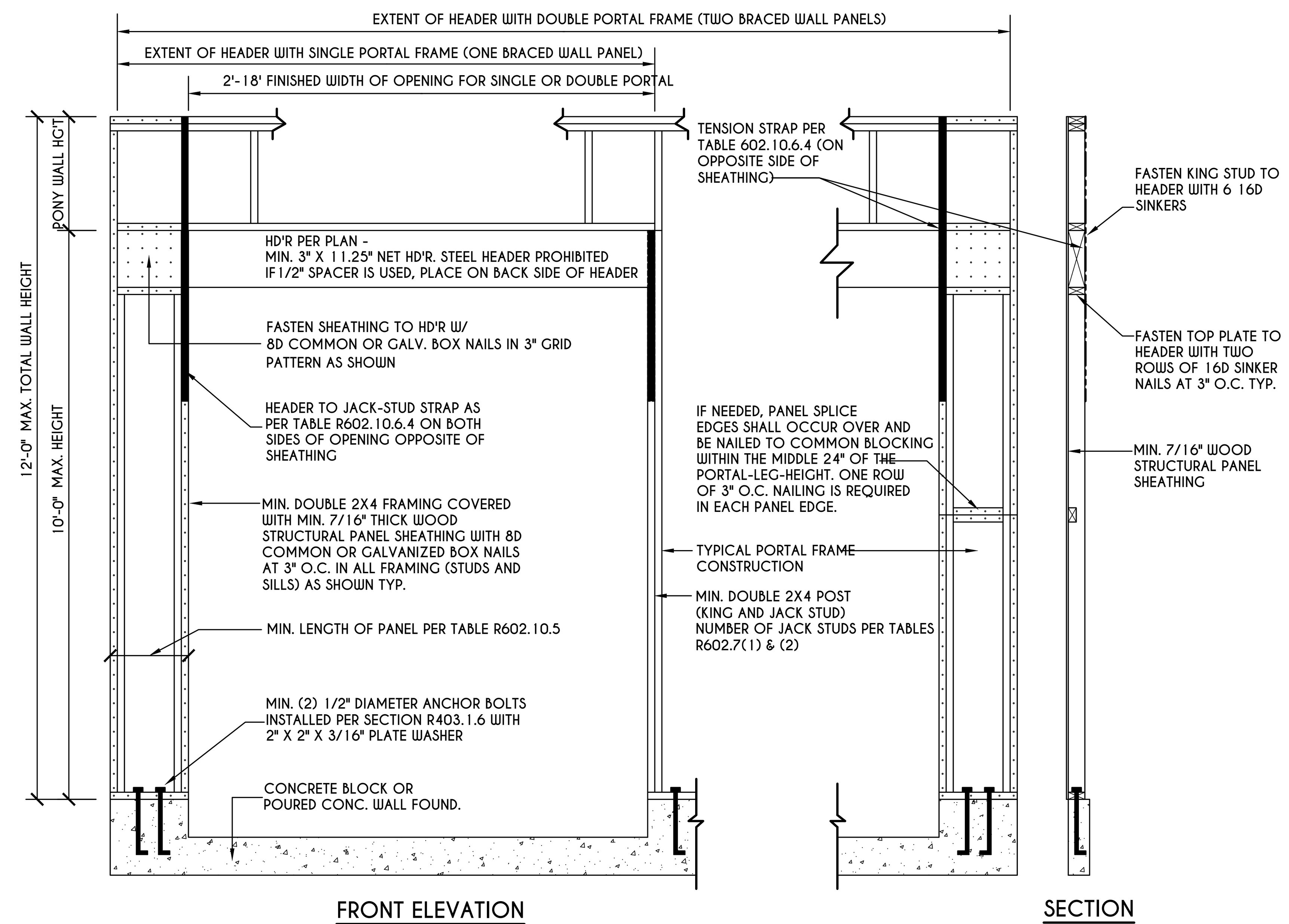
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 [b]

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

UNIFIED SOIL CLASSIFICATION SYSTEM

UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	SOIL DESCRIPTION
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
SC	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C

SCALE: N.T.S. FIGURE R602.10.6.3

Greater Living Architecture, P.C.

3033 BRIGHTON-HENRIETTA TOWNLINE RD
ROCHESTER, NY 14623
CALL:(585) 272-9170
FAX: (585) 292-1262
www.greaterliving.com

REVISIONS:		
DATE	BY	DESCRIPTION

CLIENT/LOCATION:

SPEC HOME
LOT 49 COVENTRY RIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE
BUILDING CORP.

REINFORCING NOTES

GLA PLAN 3566

drawn: CDK	checked: CSB
scale: AS NOTED	date: 6 / 22
PROJECT: 15346E	sheet: N 2

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
C22-000038

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 3500 East Avenue ROCHESTER, NY 14618
Tax ID Number: 138.14-1-13.1
Zoning District: RN Residential Neighborhood
Owner: 3500 East Avenue, LLC
Applicant: 3500 East Avenue, LLC

Application Type:

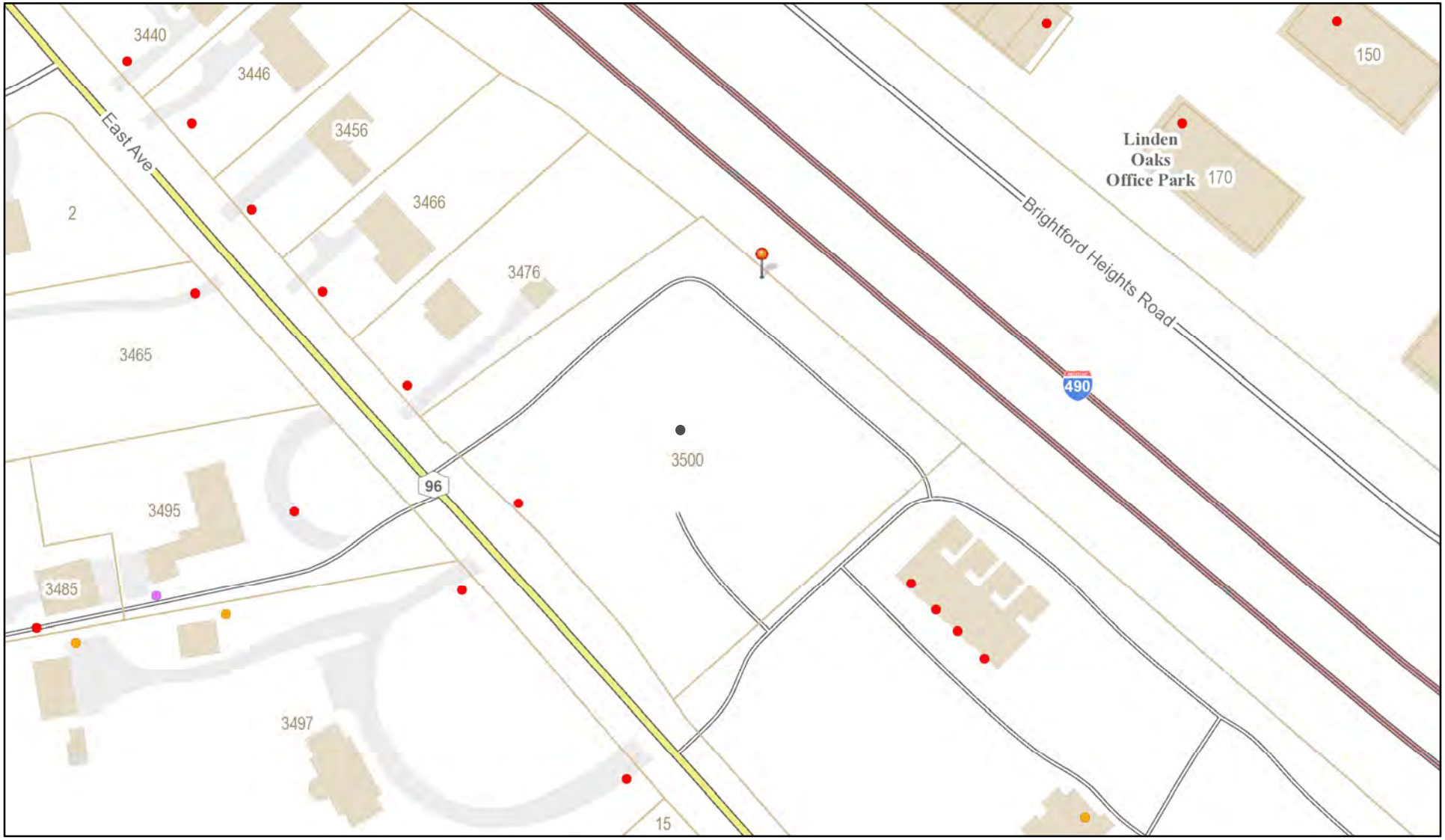
- ☐ Residential Design Review §185-205 (B)
- ☑ Commercial Design Review §185-205 (B)
- ☐ Signage §185-205 (C)
- ☐ Certificate of Appropriateness §185-197
- ☐ Landmark Designation §185-195 (2)
- ☐ Informal Review
- ☐ Build to Line Adjustment §185-17 (B) (2)
- ☐ Building Height Above 30 Feet §185-17 (M)
- ☐ Corner Lot Orientation §185-17 (K) (3)
- ☐ Flag Lot Building Line Location §185-17 (L) (1) (c)
- ☐ Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: Applicant is requesting design review for the construction of 2 detached garages, 2490 sq ft per garage, that will be located on the Kilbourne Place on East property.

Meeting Date: July 14, 2022


HNA
Kilbourn Place on East

Property Pictures



Printed July 6, 2022

1:2,257

0 95 190 380 ft

0 25 50 100 m

Town of Pittsford GIS


Brightford Heights Rd
Interstate 490 Westbound
Interstate 490 Westbound
Interstate 490 Eastbound
East Ave
Driveway
East Ave
04/03/2021
© All EagleView Technology Corporation

ABBREVIATIONS

AB	ANCHOR BOLT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ALT	ALTERNATE
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECTURAL
ASPH	ASPHALT
AVG	AVERAGE
BET	BETWEEN
BIT	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM (BENCHMARK)
BOT (B)	BOTTOM
BRK	BRICK
BSMT	BASEMENT
BUR	BUILT-UP-ROOF
CB	CATCH BASIN
CEM	CEMENT
CF	CUBIC FOOT (FEET)
CI	CAST IRON
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT (COMPANY)
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS)
CONTR	CONTRACTOR
CORR	CORRIDOR (CORRUGATED)
CTR	CENTER
CY	CUBIC YARD'S)
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DN	DOWN
DS	DOWN SPOUT
DWG	DRAWING
DWL	DOWEL
E	EAST
EA	EACH
EC	EPOXY COATED
EF	EACH FACE
EL	ELEVATION
ELEC	ELECTRICAL)
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATED)
ETR	EXISTING TO REMAIN
EW	EACH WAY
EXIST	EXISTING
EXP	EXPANSION (EXPAND)
EXT	EXTERIOR
FDN	FOUNDATION
FF	FINISHED FLOOR
FIN	FINISHED)
FL	FLANGE
FLASH	FLASHING
FLEX	FLEXIBLE
FLR	FLOOR(ING)
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FOW	FACE OF WALL
FP	FIRE PROTECTION
FT	FOOT OR FEET
FTG	FOOTING
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR)
GEN	GENERAL
GWB	GYPSUM WALL BOARD
HB	HOSE BIB
HC	HOLLOW CORE
HDCP	HANDICAPPED
HDR	HEADER
HGT	HEIGHT
HM	HOLLOW METAL
HOR	HORIZONTAL
HVAC	HEATING/VENTILATING/ AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH OR INCHES
INSUL	INSULATE(D),(ION)
INT	INTERIOR
INV	INVERT
J	JOIST
JT	JOINT
L	LENGTH/LONG
LIN	LINEAR
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONG	LONGITUDINAL
LOUV	LOUVER
LT	LIGHT
MAS	MASONRY
MAX	MAXIMUM
MECH.	MECHANICAL
MED	MEDIUM
MEM	MEMBER
MEMB	MEMBRANE
MET	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC.	MISCELLANEOUS
MO	MASONRY OPENING
N	NORTH
NF	NEAR FACE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NORM	NORMAL
NTS	NOT TO SCALE
OC	ON CENTER(S)
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
PART	PARTITION
PAVMT	PAVEMENT
PCC	PRE CAST CONCRETE
PERF	PERFORATED
PERM	PERMANENT
PL	PLATE
PLBG	PLUMBING
PLWD	PLYWOOD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
RAD	RADIUS
RD	ROOF DRAIN
REF	REFERENCE
REINF	REINFORCE(D), (ING)
REQ	REQUIRED
REV	REVISION(S), REVISED
RO	ROUGH OPENING
ROW	RIGHT-OF-WAY
S	SOUTH
S/S	STAINLESS STEEL
SAN	SANITARY
SCH	SCHEDULE
SEC	SECTION
SF	SQUARE FOOT (FEET)
SIM	SIMILAR
SPEC	SPECIFICATION(S)
SQ	SQUARE
ST	STREET
STD	STANDARD
STL	STEEL
STR	STRUCTURE(AL)
SY	SQUARE YARD
SYM	SYMMETRY(ICAL)
T	TREAD (TOP)
T&G	TONGUE AND GROOVE
TEMP	TEMPORARY
THK	THICK
TRANS	TRANSVERSE
TYP	TYPICAL
UNEX	UNEXCAVATED
UNO	UNLESS NOTED OTHERWISE
VAR	VARIES(ABLE)
VERT	VERTICAL
W	WEST (WIDE)
W/	WITH
W/O	WITHOUT
WD	WOOD
WP	WATERPROOFED(ING)
WT	WEIGHT
WWF	WELDED WIRE FABRIC
&	AND
@	AT
Ø	DIAMETER OR ROUND
%	PERCENT
∠	ANGLE
℄	CENTERLINE
#/#	NUMBER (BEFORE), POUND (AFTER)
℗	PROPERTY LINE

GENERAL NOTES:

1. THE CONTRACTOR SHALL CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND INFORM THE PROJECT ARCHITECT OF ANY INCONSISTENCIES OR INADEQUATE DESCRIPTIONS OF WORK PRIOR TO THE SUBMITTAL OF BIDS.
2. ALL WORK OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE STATE ENERGY CONSERVATION CODE, AND ALL OTHER APPLICABLE STATE AND FEDERAL CODES AND REGULATIONS.
3. CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO LAYING OUT NEW WORK.
4. NOTIFY PROJECT ARCHITECT IMMEDIATELY IF EXISTING CONDITIONS, DIMENSIONS, ETC... VARY FROM THOSE SHOWN ON THE DRAWINGS.
5. MATERIALS, DETAILS, AND WORK PRACTICES INDICATED ON ONE PORTION OF CONTRACT DOCUMENTS SHALL BE OF THE SAME NATURE AT SAME OR SIMILAR SITUATIONS SHOWN ON THE DRAWINGS, EXCEPT AS OTHERWISE NOTED.
6. WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING, PAINTING AND MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH EXISTING ADJACENT SURFACES. REFINISH SURFACES AS NECESSARY TO PROVIDE AN EVEN CONTIGUOUS FINISH.
7. DURING CUTTING, PATCHING AND REMOVAL OF WORK, CLEAN AND PROTECT WORK IN PROGRESS, ADJOINING WORK, AND EXISTING CONSTRUCTION ON A BASIS OF CONTINUOUS MAINTENANCE.
8. ALL SALVAGEABLE ITEMS NOTED ON DRAWINGS SHALL BE DELIVERED TO THE FACILITIES AREA, EXCEPT AS OTHERWISE DIRECTED BY OWNER. ITEMS THAT ARE NOTED ON THE DRAWINGS FOR REUSE SHALL BE PROTECTED, HANDLED, STORED, AND REINSTALLED IN LOCATIONS INDICATED AND OPERATE CONSISTENT WITH THAT PRIOR TO WORK.
9. REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER WASTE MATERIALS RESULTING FROM WORK OF THIS PROJECT.
10. PROVIDE ALL BLOCKING, FURRING, AND SHIMMING NECESSARY FOR INSTALLATION AND COMPLETION OF WORK.
11. ALL NEW WORK SHALL BE PLUMB, LEVEL, AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING.
12. THE CONTRACTOR SHALL INFORM THE PROJECT ARCHITECT, PRIOR TO THE SUBMISSION OF BID, OF ANY ITEMS OR QUANTITY OF ITEMS NOT SPECIFIED OR REFERENCED ON THE DRAWINGS BUT REQUIRED FOR THE COMPLETION OF THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL WORK AS REQUIRED TO COMPLETE PROJECT REQUIREMENTS.

BUILDING CODE INFORMATION

DESCRIPTION OF WORK: THE OBJECTIVE IS TO PROVIDE A WOOD FRAMED PRIVATE GARAGE BUILDING ADJACENT TO NEW APARTMENT COMPLEX. APARTMENT COMPLEX PREVIOUSLY APPROVED UNDER SEPARATED PERMIT APPLICATION

STANDARDS: 2020 BUILDING CODE OF NEW YORK STATE.

ANSI A117.1-2009

COMPLIANCE NOTE:
To the best of my knowledge, information, and belief, the plans and specifications are in accordance with the applicable requirements of the IBC w/ NYS supplements and the IECC.

David J. Hanlon

OCCUPANCY CLASSIFICATION: (302) GROUP U - UTILITY AND MISCELLANEOUS (PRIVATE GARAGE)

BUILDING HEIGHT: (504)

TABULAR (504.3 & 504.4): 40'- 0" / 1 stories

PROPOSED HEIGHT: 18'- 7" / 1 stories

BUILDING AREA: (506)

ALLOWABLE AREA (TABLE 506.2): 9,000 SQ. FT. (NON-SPRINKLEERED)

PROPOSED BUILDING AREA: 1,245 SQ. FT (OVERALL BUILDING)

CONSTRUCTION TYPE CLASSIFICATION: (602) VB CONSTRUCTION

FIRE ALARMS: (901) AUTOMATIC SMOKE OR AUTOMATIC HEAT DETECTION SHALL BE REQUIRED PER CODE SECTION. (NYSBC) 907.2 FINAL DRAWINGS SHALL BE PROVIDED UNDER SEPARATE COVER, AND PRIOR TO COMMENCEMENT OF SCOPE OF WORK.

KILBOURN PLACE GARAGES

PITTSFORD, NY

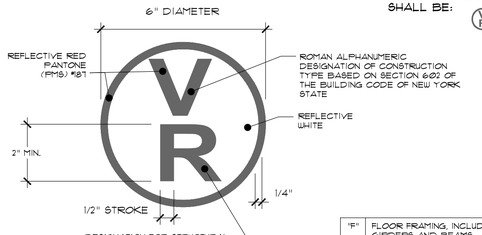
ENERGY CODE COMPLIANCE:

THE ENERGY CODE COMPLIANCE FOR THE GARAGE BUILDING @ KILBOURN PLACE APARTMENTS IS NOT APPLICABLE BECAUSE IT IS AN UNCONDITIONED SPACE

LIST OF DRAWINGS:

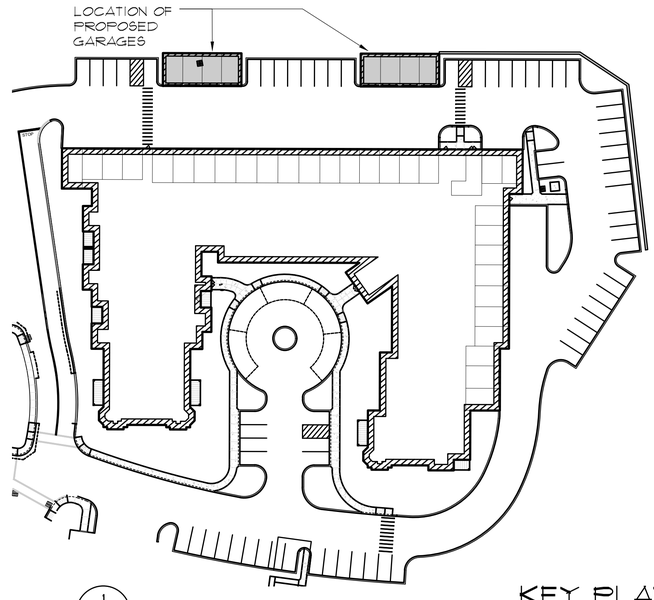
TRUSS IDENTIFICATION SIGNAGE:

REQUIRED SIGNAGE FOR THIS PROJECT SHALL BE: (V R)



"F"	FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR AND ROOF FRAMING

SIGN LOCATION	SIGN PLACEMENT
EXTERIOR BUILDING ENTRANCE DOORS, EXTERIOR EXIT DISCHARGE DOORS, AND EXTERIOR ROOF ACCESS DOORS TO A STAIRWAY	ATTACHED TO THE DOOR OR ATTACHED TO A SIDELIGHT OR THE FACE OF THE BUILDING, NOT MORE THAN 12 INCHES (305 MM) HORIZONTALLY FROM THE LATCH SIDE OF THE DOOR JAMB, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE.
MULTIPLE CONTIGUOUS EXTERIOR BUILDING ENTRANCE OR EXIT DISCHARGE DOORS	ATTACHED AT EACH END OF THE ROW OF DOORS AND AT A MAXIMUM HORIZONTAL DISTANCE OF 12 FEET (3657M) BETWEEN SIGNS, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE
FIRE DEPARTMENT HOSE CONNECTIONS	ATTACHED TO THE FACE OF THE BUILDING, NOT MORE THAN 12 INCHES (305 MM) HORIZONTALLY FROM THE CENTER LINE OF THE FIRE DEPARTMENT HOSE CONNECTION, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE



1 KEY PLAN
SCALE: 1/8"=1'-0"

PROJECT NORTH

HANLON ARCHITECTS
1300 UNIVERSITY AVENUE
ROCHESTER, NY 14607
WWW.HANLONARCHITECTS.COM
T: 585.223.6440
F: 585.563.8371

KILBOURN PLACE APARTMENTS
BUILD 1 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 6-10-22

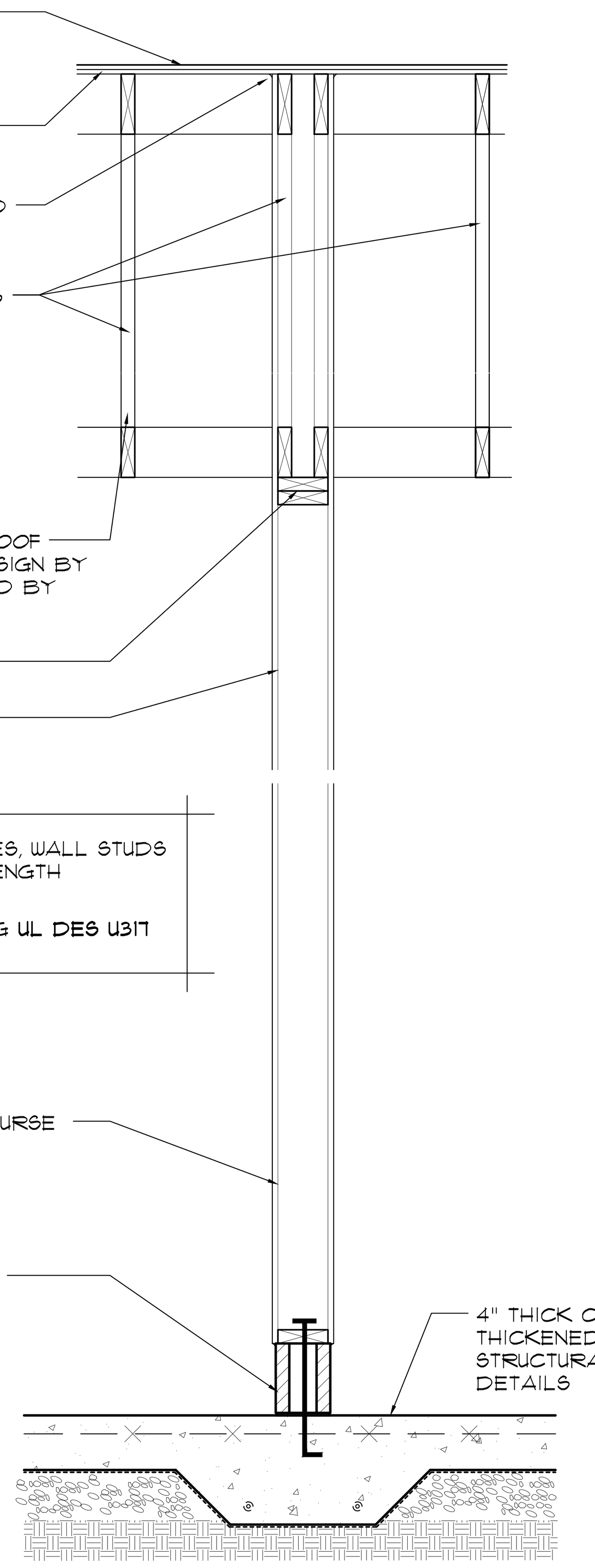
COVER SHEET

DRAWING TITLE:

C1

SHEET NO:

PROJECT NO: 21-226



3 WALL TYPE 'A'
SCALE: 3/4"=1'-0"

UNLESS NOTED OTHERWISE:

UNLESS NOTED OTHERWISE, ROOF FRAMING SHALL BE ENGINEERED WOOD ROOF TRUSSES. COORDINATE w/ STRUCTURAL ENGINEER & TRUSS SUPPLIER ALL FINAL TRUSS DETAILS, SHAPES, AND DESIGN LOAD REQUIREMENTS.

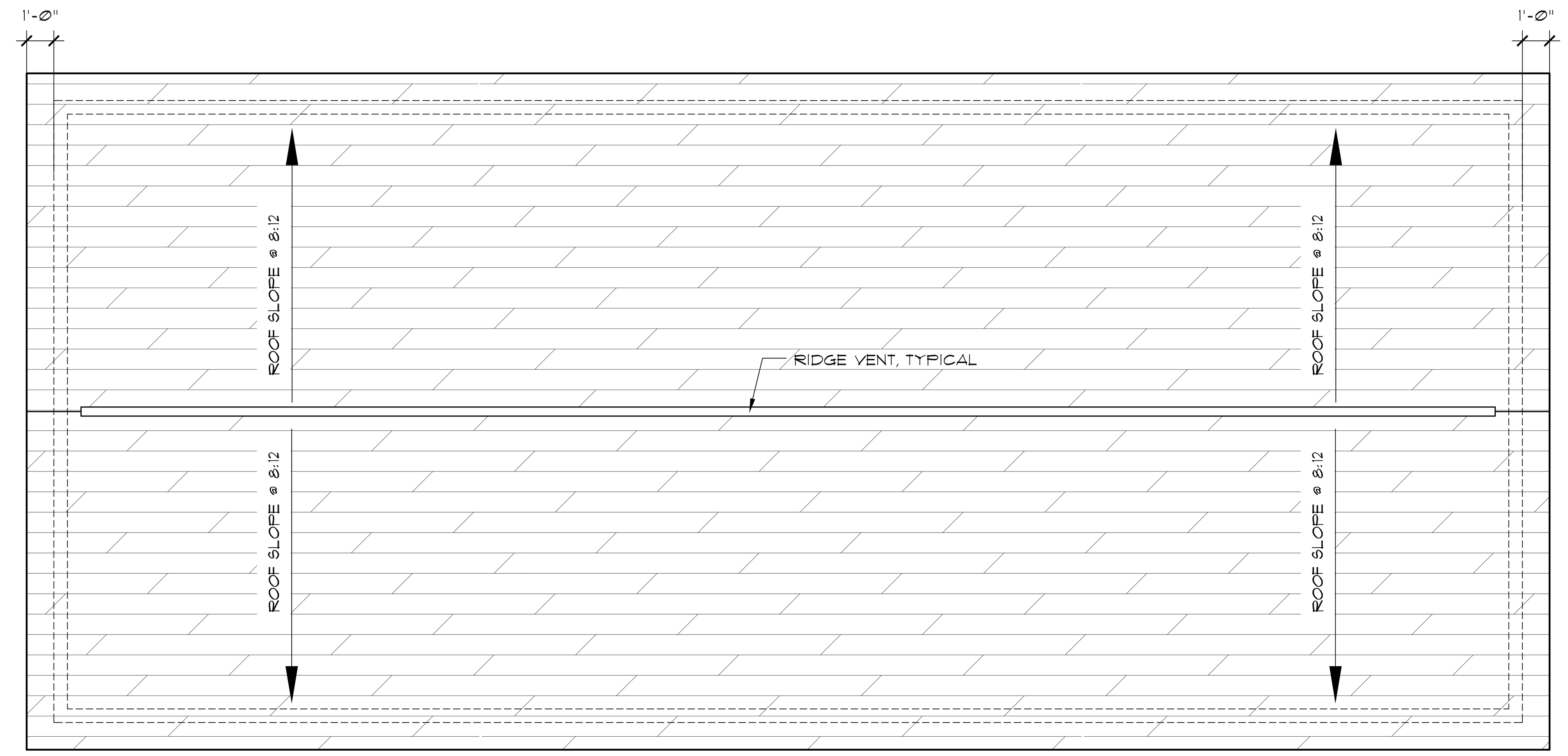
FINAL GUTTER AND DOWN SPOUT LOCATIONS TO BE VERIFIED IN FIELD- COORD w/ GC, OWNER, & ARCHITECT.

TYP. ROOF DETAILS

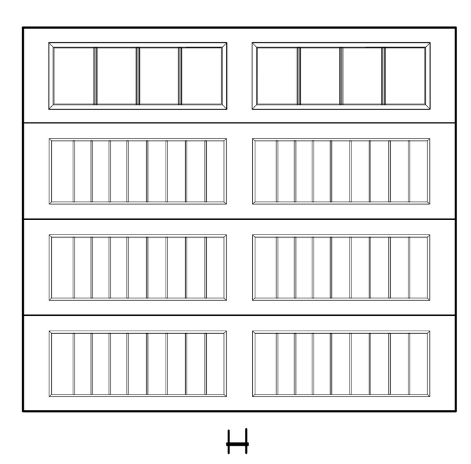
ARCH. ROOF SHINGLES W/ SYNTHETIC UNDER LAYMENT

5/8" PLYWOOD ROOF SHEATHING

ENGINEERED WOOD TRUSS @ 24" O.C. SEE WOOD STRUCTURAL NOTES AND LOAD CRITERIA



2 ROOF PLAN
SCALE: 1/4"=1'-0"

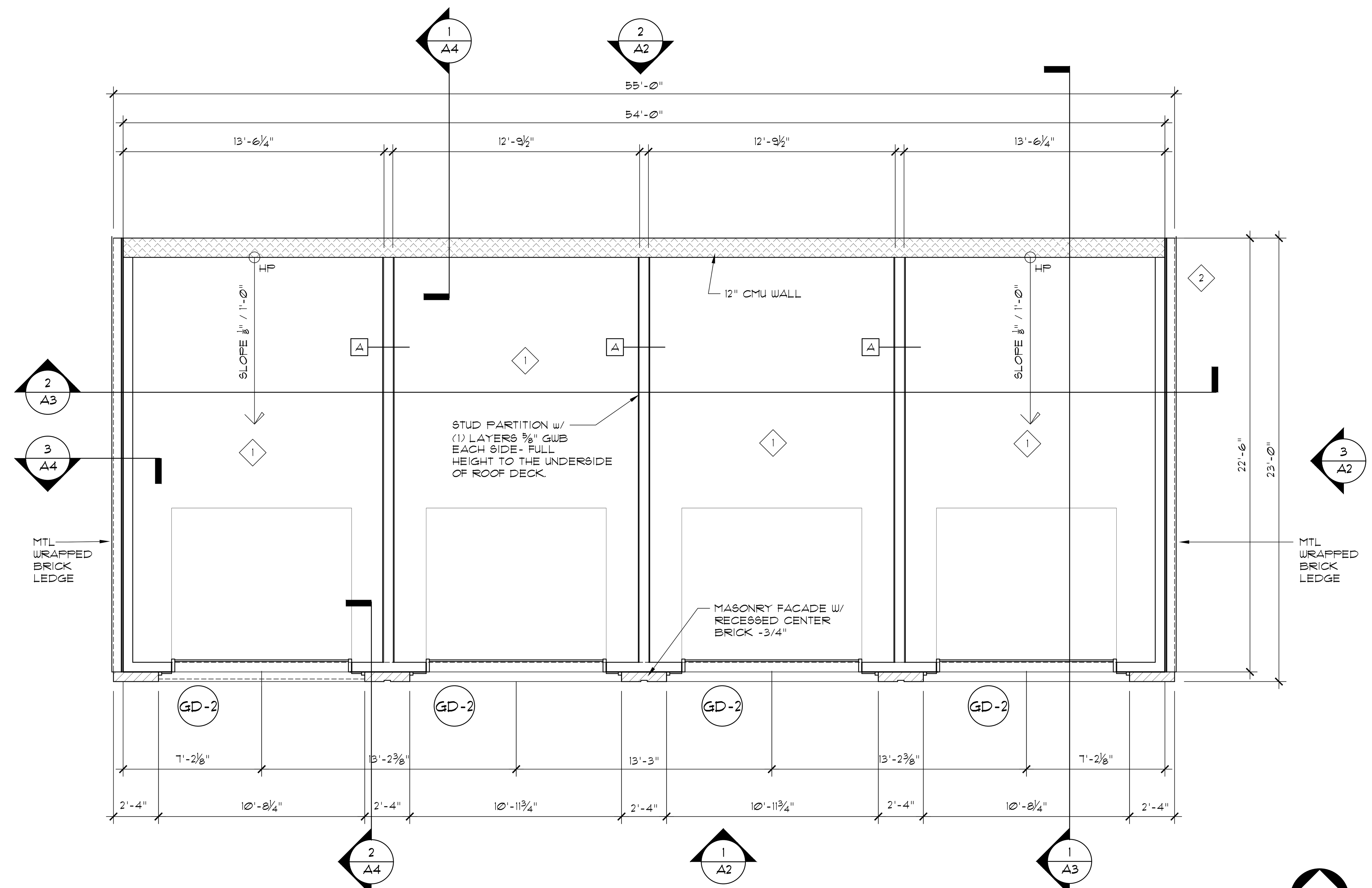


GARAGE DOORS

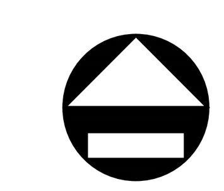
9' W x 7' H
9510 RIDGEFIELD
4 SECTION / 2 PANEL STOCKTON
8-PANEL TOP SECTION SHOWN
CONSISTS OF (4) 23.8" SECTIONS

DOOR SCHEDULE

NO.	SIZE	DOOR MAT.	DOOR ELEV.	FRAME MAT.	HRDWRE FUNCTION SEE NOTE 4.	LABEL	REMARKS
GD-2	9'-0"x7'-0"		H				OVERHEAD DOOR, PROVIDE OPENER



1 FLOOR PLAN
SCALE: 1/4"=1'-0"



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FLOOR PLAN GENERAL NOTES:

1. F.E.C. : FIRE EXTINGUISHER CABINET (OR WALL HUNG EXTINGUISHER) LOCATION. MOUNTING HEIGHT TO THE TOP OF THE CABINET SHALL BE APPROX. 40"AFF.- COORDINATED WITH SELECTED UNIT. GC SHALL REVIEW FINAL LOCATIONS WITH FIRE MARSHAL PRIOR TO EXTINGUISHER MOUNTING INSTALLATION.
2. REFER TO ELECTRICAL DRAWINGS (PROVIDED BY OTHERS) FOR ALL FIRE ALARM TYPES AND LOCATIONS, EXIT SIGNAGE AND EMERGENCY LIGHTING LAYOUTS.
3. FIRE ALARM SYSTEM SHALL BE INSTALLED PER NYSBC.
4. ALL DIMENSIONS TO BE TAKEN FROM FACE OF WALL. REFER TO PARTITION TYPES FOR ACTUAL DIMENSIONS
5. CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR ALL EQPT. INSTALLATION.

FIRST FLOOR PLAN KEY NOTES:

1. SEALED CONCRETE TREATMENT ON EXISTING CONCRETE FLOOR TO BE COORDINATED B/W LANDLORD & TENANT
2. TRUSS PLACARD TO BE SHOWN ON ELECTRICAL BOX. FINAL LOCATION OF ELECTRICAL BOX T.B.D.

HANLON ARCHITECTS
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KILBOURN PLACE APARTMENTS
BUILDING 1 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 6-10-22

FLOOR & ROOF PLAN
DRAWING TITLE:

A1
SHEET NO:

PROJECT NO: 21-226

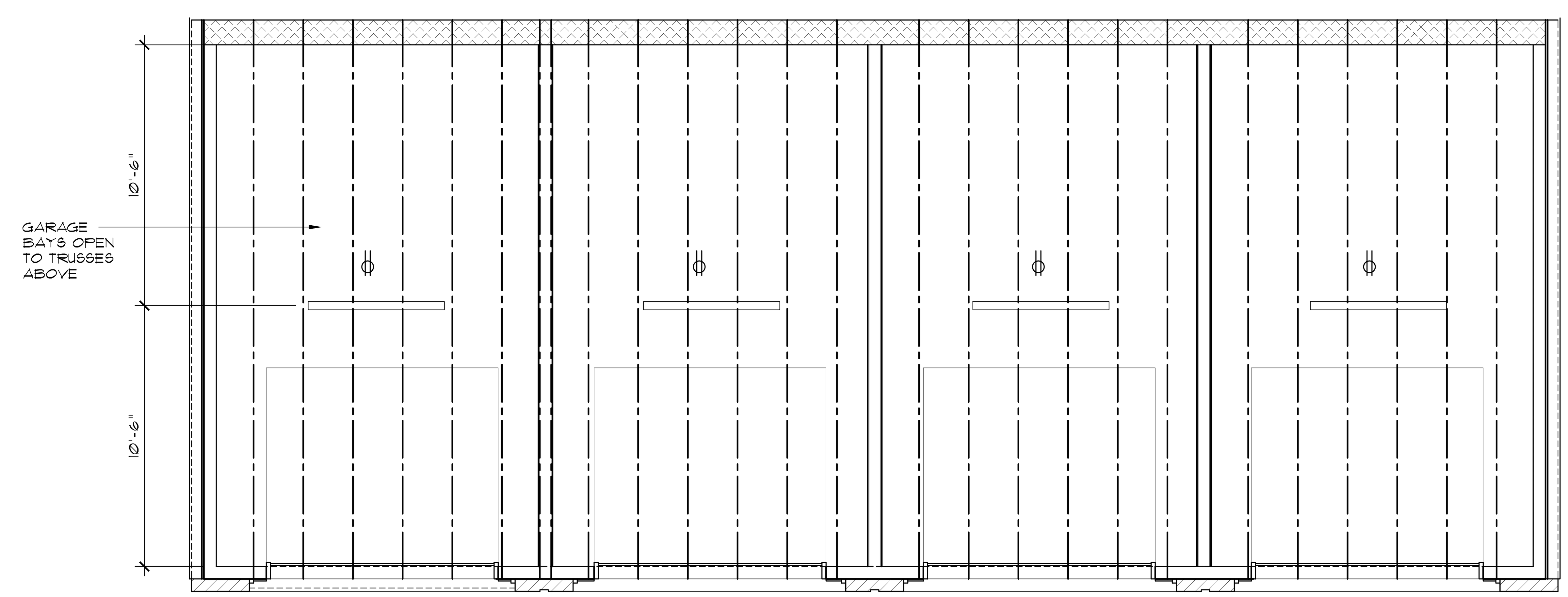
CEILING / LIGHT FIXTURE LEGEND:

(symbol: linear fixture)	4' LED LINEAR TUBE LIGHT FIXTURES. FINAL PLACEMENT & TYPE PER OWNER
(symbol: ceiling receptacle)	RECEPTACLES @ CEILINGS - G.C. TO COORDINATE FINAL LOCATIONS & QUANTITIES

FINAL FIRE ALARM COMPONENTS & DESIGN LAYOUT TO BE VERIFIED BY OTHERS. THE INFORMATION SHOWN IS FOR REFERENCE ONLY AND SHALL BE REVIEWED BY OWNER AND GC PRIOR TO FINAL PLACEMENT.

REFLECTED CEILING PLAN NOTES:

1. ALL LIGHTING TEMPERATURE TO BE 3,500K U.N.O
2. OMITTED
3. ALL OUTLET PLATES AND SWITCHES TO BE WHITE U.N.O
4. ALL FIXTURE HEIGHTS TO BE CONFIRMED BEFORE INSTALLATION
5. THIS DRAWING DEPICTS LIGHTING LAYOUTS FOR DESIGN PURPOSES & DECORATIVE FIXTURES. CONTRACTOR TO EVALUATE & PROVIDE LIGHT LEVELS IN ALL PUBLIC AREAS. REFER TO PAINT SCHEDULE FOR LIGHT REFLECTANCIES OR REFER TO ELECTRICAL ENGINEER.
6. ALIGN LIGHTS WHEREVER POSSIBLE.
7. COORDINATE TRADES TO ASSURE ALL DEVICES ALIGN EITHER VERTICALLY OR HORIZONTALLY. KEEP DEVICES CLOSE TO DOOR FRAMES OR CORNERS & AWAY FROM CENTER OF WALLS.
9. VERIFY ALL OUTLET HEIGHTS AND LOCATIONS WITH OWNERS.
10. REFER TO HVAC/ MECHANICAL, ELECTRICAL & FIRE PROTECTION DRAWINGS FOR ASSOCIATED WORK.
11. PROVIDE OCCUPANCY SENSORS PER ENERGY CODE C405.2.1.
12. EXTERIOR LIGHTING OR POWER REQUIREMENTS TO BE DETERMINED BY OTHERS.



1 REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

PROJECT NORTH

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KILBOURN PLACE APARTMENTS
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REVISED:

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REFLECTED CEILING PLAN
DRAWING TITLE:

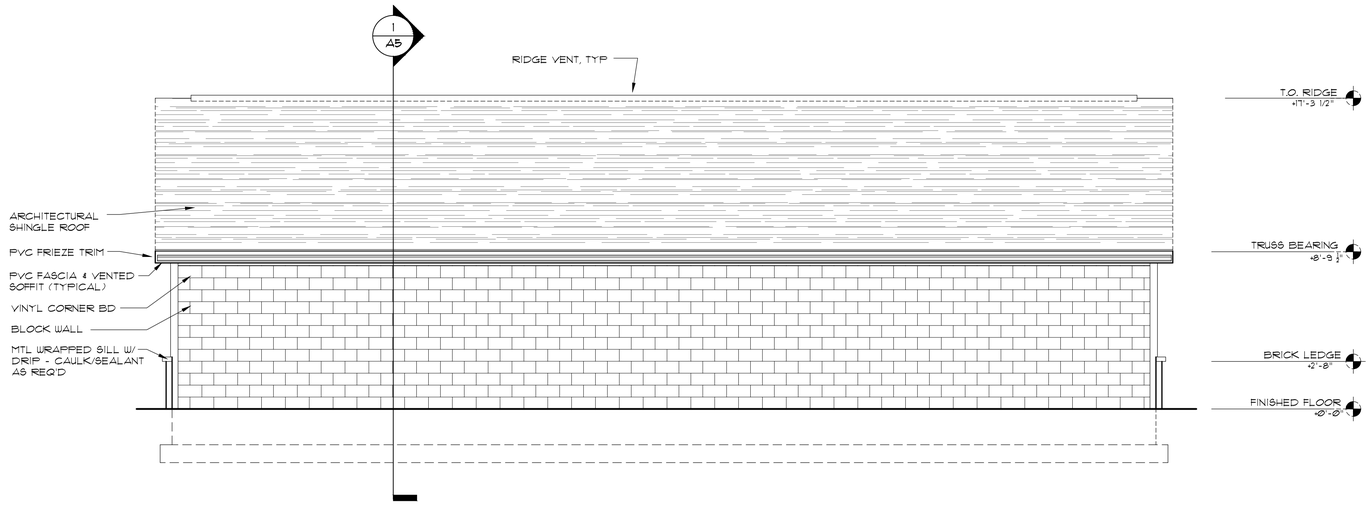
A2
SHEET NO:

PROJECT NO: 21-226

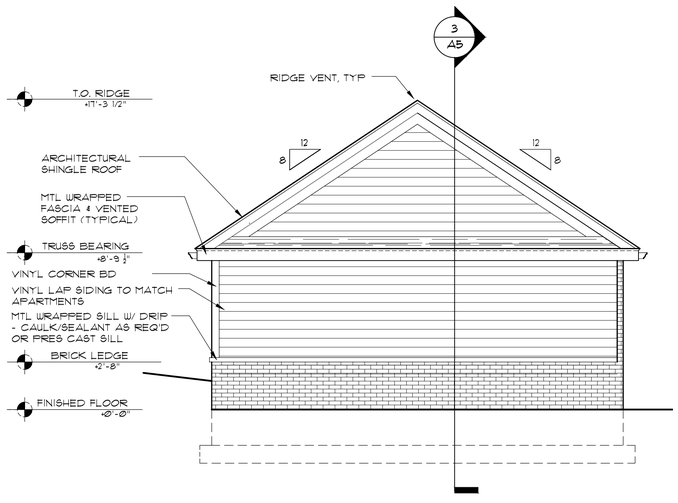
EXTERIOR FINISH LEGEND:

B-B	BRICK B- FULL BED MASONRY VENEER- WATSONTOWN BRICK COMPANY IRON SPOT FRIT SERIES- BELVIDERE
FC-A	FIBER CEMENT LAP SIDING COLOR: 'NIGHT GRAY'
FC-B	FIBER CEMENT LAP SIDING COLOR: 'COBBLESTONE'
R-A	ARCHITECTURAL ROOF SHINGLES

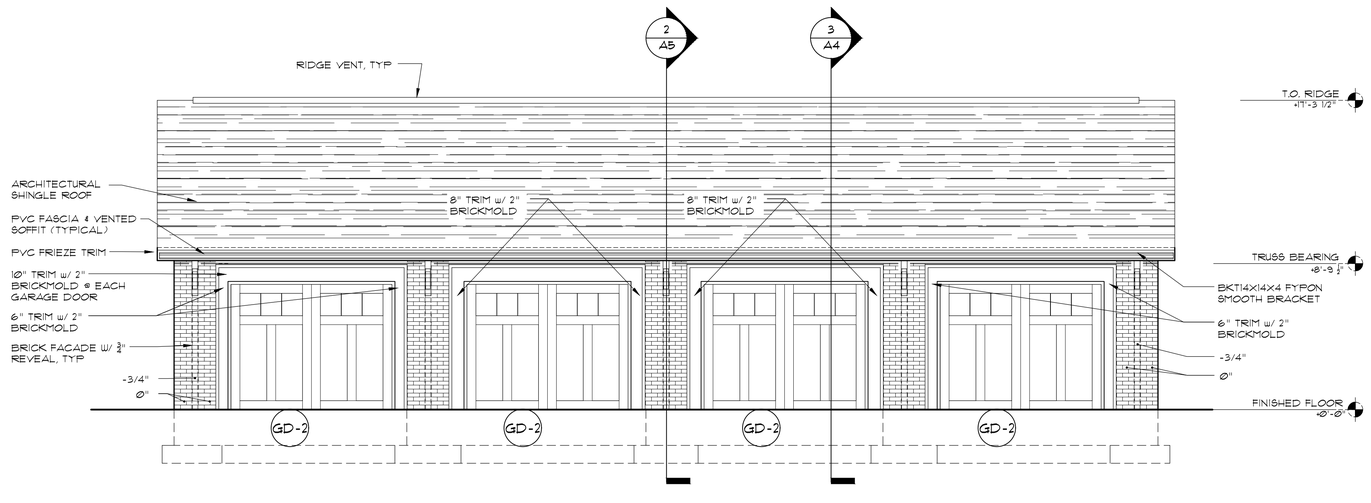
ALL TRIM, FASCIAS, & SOFFITS TO BE PAINTED PVC TRIM BOARDS & PANELS, UNLESS NOTED OTHERWISE.



2 REAR ELEVATION
SCALE: 1/4"=1'-0"



3 SIDE ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

HLN
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KILBOURN PLACE APARTMENTS
BUILDING 1 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 6-10-22

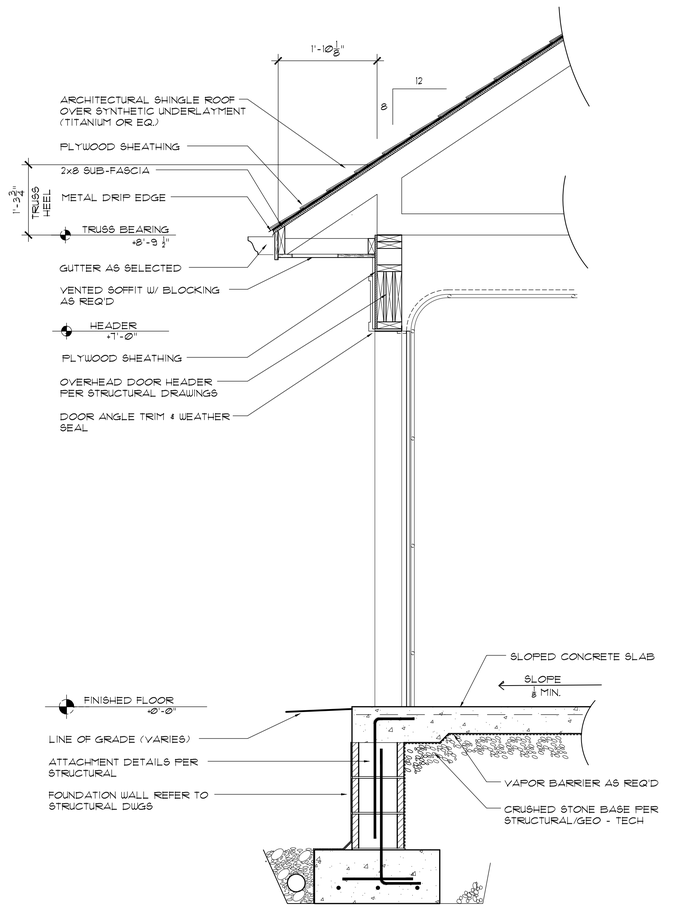
GARAGE ELEVAITONS

DRAWING TITLE:

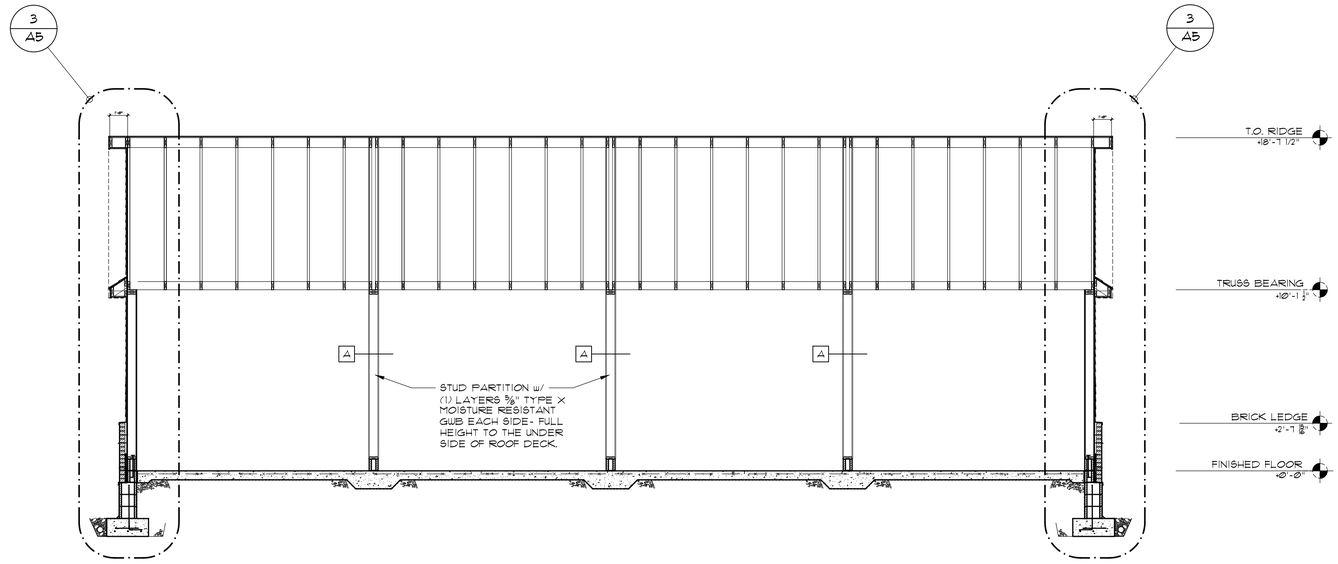
A3

SHEET NO:

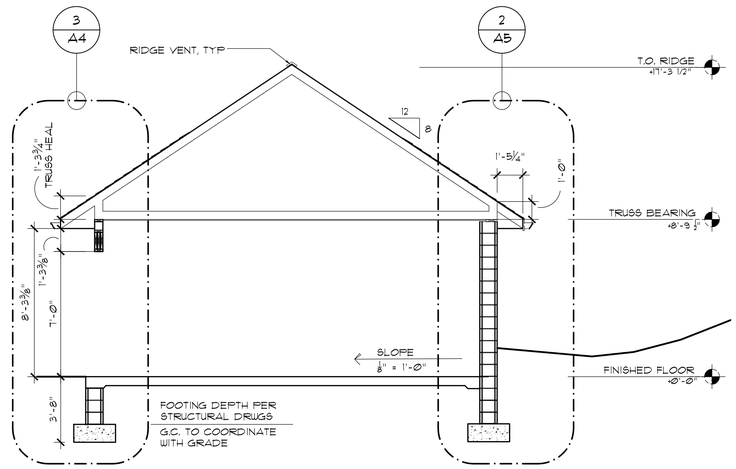
PROJECT NO: 21-226



3 WALL SECTION
SCALE: 3/4"=1'-Ø"



2 BUILDING SECTION
SCALE: 1/4"=1'-Ø"



1 BUILDING SECTION
SCALE: 1/4"=1'-Ø"

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KILBOURN PLACE APARTMENTS
BUILDING 1 - GARAGE
PITTSFORD, NEW YORK

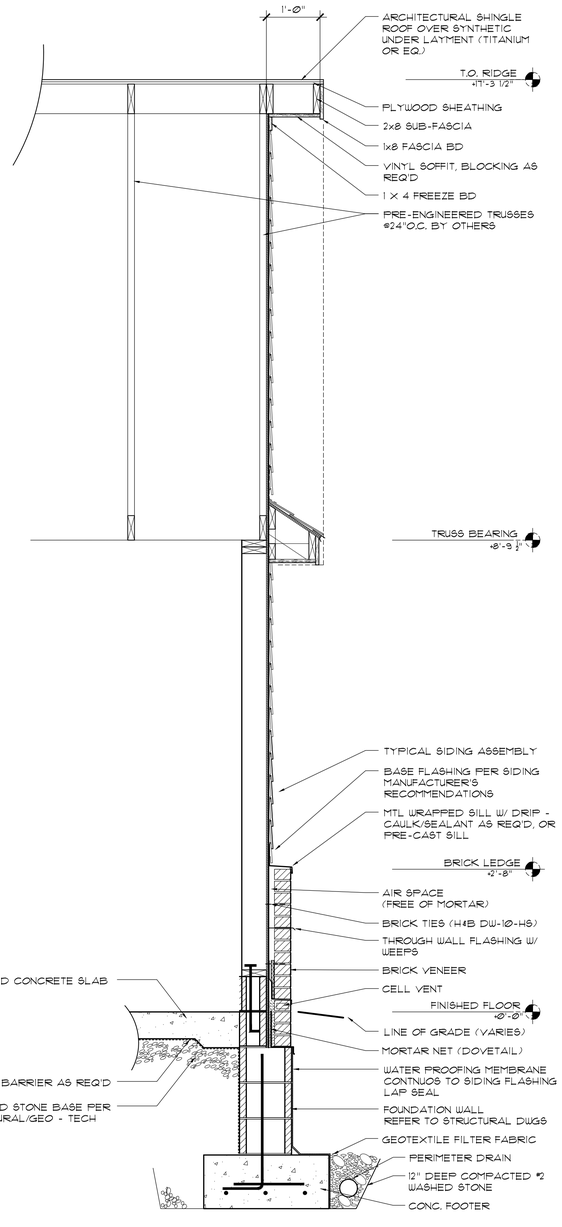
REVISED:

ISSUED FOR PERMIT
DATE: 6-10-22

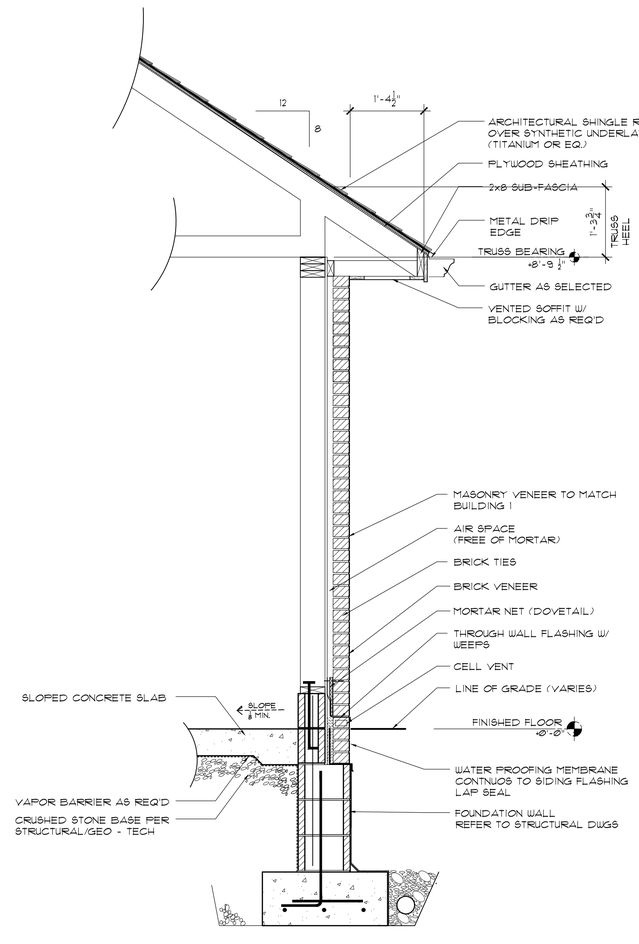
BUILDING SECTIONS
DRAWING TITLE:

A4
SHEET NO:

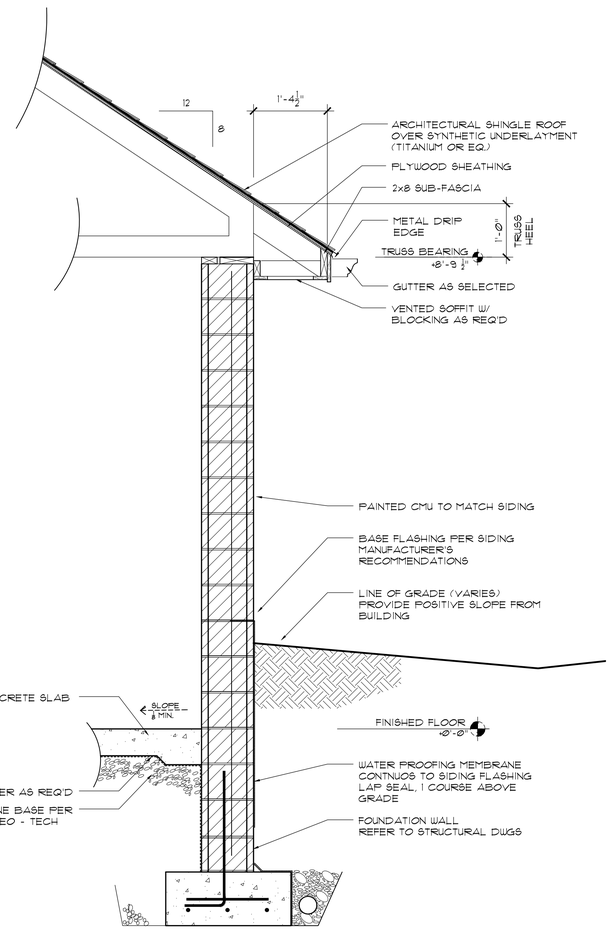
PROJECT NO: 21-226



3 WALL SECTION
SCALE: 3/4"=1'-0"



2 WALL SECTION
SCALE: 3/4"=1'-0"



1 WALL SECTION
SCALE: 3/4"=1'-0"

REGISTERED ARCHITECT
STATE OF NEW YORK
022078

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KILBOURN PLACE APARTMENTS
BUILDING 1 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 6-10-22

WALL SECTIONS
DRAWING TITLE:

A5
SHEET NO:

PROJECT NO: 21-226

ABBREVIATIONS

AB	ANCHOR BOLT	L	LENGTH/LONG
ADJ	ADJACENT	LIN	LINEAR
AFF	ABOVE FINISHED FLOOR	LLH	LONG LEG HORIZONTAL
ALUM	ALUMINUM	LLV	LONG LEG VERTICAL
ALT	ALTERNATE	LONG	LONGITUDINAL
APPROX	APPROXIMATELY)	LOUV	LOUVER
ARCH	ARCHITECTURAL	LT	LIGHT
ASPH	ASPHALT		
AVG	AVERAGE		
		MAS	MASONRY
BET	BETWEEN	MAX	MAXIMUM
BIT	BITUMINOUS	MECH.	MECHANICAL
BLDG	BUILDING	MED	MEDIUM
BLK	BLOCK	MEM	MEMBER
BLKG	BLOCKING	MEMB	MEMBRANE
BM	BEAM (BENCHMARK)	MET	METAL
BOT (B)	BOTTOM	MFR	MANUFACTURER
BRK	BRICK	MH	MANHOLE
BSMT	BASEMENT	MIN	MINIMUM
BUR	BUILT-UP-ROOF	MISC.	MISCELLANEOUS
		MO	MASONRY OPENING
CB	CATCH BASIN		
CEM	CEMENT	N	NORTH
CF	CUBIC FOOT (FEET)	NF	NEAR FACE
CI	CAST IRON	NIC	NOT IN CONTRACT
CLG	CEILING	NO	NUMBER
CLR	CLEAR	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NORM	NORMAL
CO	CLEAN OUT (COMPANY)	NTS	NOT TO SCALE
COL	COLUMN		
CONC	CONCRETE	OC	ON CENTER(S)
CONN	CONNECTION	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OFF	OFFICE
CONT	CONTINUOUS)	OH	OVERHEAD
CONTR	CONTRACTOR	OPNG	OPENING
CORR	CORRIDOR (CORRUGATED)	OPP	OPPOSITE
CTR	CENTER		
CY	CUBIC YARD'S)	PART	PARTITION
		PAVMT	PAVEMENT
DET	DETAIL	PCC	PRE CAST CONCRETE
DF	DRINKING FOUNTAIN	PERF	PERFORATED
DIA	DIAMETER	PERM	PERMANENT
DIAG	DIAGONAL	PL	PLATE
DIM	DIMENSION	PLBG	PLUMBING
DN	DOWN	PLWD	PLYWOOD
DS	DOWN SPOUT	PSF	POUNDS PER SQUARE FOOT
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
DWL	DOWEL	PVC	POLYVINYL CHLORIDE
E	EAST	RAD	RADIUS
EA	EACH	RD	ROOF DRAIN
EC	EPOXY COATED	REF	REFERENCE
EF	EACH FACE	REINF	REINFORCE(D), (ING)
EL	ELEVATION	REQ	REQUIRED
ELEC	ELECTRICAL)	REV	REVISION(S), REVISED
ELEV	ELEVATOR	RO	ROUGH OPENING
EQ	EQUAL	ROW	RIGHT-OF-WAY
EQUIP	EQUIPMENT		
EST	ESTIMATED)	S	SOUTH
ETR	EXISTING TO REMAIN	S/S	STAINLESS STEEL
EW	EACH WAY	SAN	SANITARY
EXIST	EXISTING	SCH	SCHEDULE
EXP	EXPANSION (EXPAND)	SEC	SECTION
EXT	EXTERIOR	SF	SQUARE FOOT (FEET)
		SIM	SIMILAR
FDN	FOUNDATION	SPEC	SPECIFICATION(S)
FF	FINISHED FLOOR	SQ	SQUARE
FIN	FINISHED)	ST	STREET
FL	FLANGE	STD	STANDARD
FLASH	FLASHING	STL	STEEL
FLEX	FLEXIBLE	STR	STRUCTURE(AL)
FLR	FLOOR(ING)	SY	SQUARE YARD
FOC	FACE OF CONCRETE	SYM	SYMMETRY(ICAL)
FOM	FACE OF MASONRY		
FOW	FACE OF WALL	T	TREAD (TOP)
FP	FIRE PROTECTION	T&G	TONGUE AND GROOVE
FT	FOOT OR FEET	TEMP	TEMPORARY
FTG	FOOTING	THK	THICK
FUT	FUTURE	TRANS	TRANSVERSE
		TYP	TYPICAL
GA	GAUGE		
GALV	GALVANIZED	UNEX	UNEXCAVATED
GC	GENERAL CONTRACTOR)	UNO	UNLESS NOTED OTHERWISE
GEN	GENERAL		
GWB	GYPSUM WALL BOARD	VAR	VARIES(ABLE)
		VERT	VERTICAL
HB	HOSE BIB		
HC	HOLLOW CORE	W	WEST (WIDE)
HDCP	HANDICAPPED	W/	WITH
HDR	HEADER	W/O	WITHOUT
HGT	HEIGHT	WD	WOOD
HM	HOLLOW METAL	WP	WATERPROOFED(ING)
HOR	HORIZONTAL	WT	WEIGHT
HVAC	HEATING/VENTILATING/ AIR CONDITIONING	WWF	WELDED WIRE FABRIC
		&	AND
ID	INSIDE DIAMETER	@	AT
IN	INCH OR INCHES	Ø	DIAMETER OR ROUND
INSUL	INSULATE(D),(ION)	%	PERCENT
INT	INTERIOR	∠	ANGLE
INV	INVERT	℄	CENTERLINE
		#	NUMBER (BEFORE), POUND (AFTER)
J	JOIST	℄	PROPERTY LINE
JT	JOINT		

GENERAL NOTES:

1. THE CONTRACTOR SHALL CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND INFORM THE PROJECT ARCHITECT OF ANY INCONSISTENCIES OR INADEQUATE DESCRIPTIONS OF WORK PRIOR TO THE SUBMITTAL OF BIDS.
2. ALL WORK OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE STATE ENERGY CONSERVATION CODE, AND ALL OTHER APPLICABLE STATE AND FEDERAL CODES AND REGULATIONS.
3. CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO LAYING OUT NEW WORK.
4. NOTIFY PROJECT ARCHITECT IMMEDIATELY IF EXISTING CONDITIONS, DIMENSIONS, ETC... VARY FROM THOSE SHOWN ON THE DRAWINGS.
5. MATERIALS, DETAILS, AND WORK PRACTICES INDICATED ON ONE PORTION OF CONTRACT DOCUMENTS SHALL BE OF THE SAME NATURE AT SAME OR SIMILAR SITUATIONS SHOWN ON THE DRAWINGS, EXCEPT AS OTHERWISE NOTED.
6. WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTOR SHALL PROVIDE PATCHING, PAINTING AND MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH EXISTING ADJACENT SURFACES. REFINISH SURFACES AS NECESSARY TO PROVIDE AN EVEN CONTIGUOUS FINISH.
7. DURING CUTTING, PATCHING AND REMOVAL OF WORK, CLEAN AND PROTECT WORK IN PROGRESS, ADJOINING WORK, AND EXISTING CONSTRUCTION ON A BASIS OF CONTINUOUS MAINTENANCE.
8. ALL SALVAGEABLE ITEMS NOTED ON DRAWINGS SHALL BE DELIVERED TO THE FACILITIES AREA, EXCEPT AS OTHERWISE DIRECTED BY OWNER. ITEMS THAT ARE NOTED ON THE DRAWINGS FOR REUSE SHALL BE PROTECTED, HANDLED, STORED, AND REINSTALLED IN LOCATIONS INDICATED AND OPERATE CONSISTENT WITH THAT PRIOR TO WORK.
9. REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER WASTE MATERIALS RESULTING FROM WORK OF THIS PROJECT.
10. PROVIDE ALL BLOCKING, FURRING, AND SHIMMING NECESSARY FOR INSTALLATION AND COMPLETION OF WORK.
11. ALL NEW WORK SHALL BE PLUMB, LEVEL, AND SQUARE. SCRIBE AND MAKE FIT ALL NEW WORK TO EXISTING.
12. THE CONTRACTOR SHALL INFORM THE PROJECT ARCHITECT, PRIOR TO THE SUBMISSION OF BID, OF ANY ITEMS OR QUANTITY OF ITEMS NOT SPECIFIED OR REFERENCED ON THE DRAWINGS BUT REQUIRED FOR THE COMPLETION OF THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM PROVIDING ALL WORK AS REQUIRED TO COMPLETE PROJECT REQUIREMENTS.

BUILDING CODE INFORMATION

DESCRIPTION OF WORK: THE OBJECTIVE IS TO PROVIDE A WOOD FRAMED PRIVATE GARAGE BUILDING ADJACENT TO NEW APARTMENT COMPLEX. APARTMENT COMPLEX PREVIOUSLY APPROVED UNDER SEPARATED PERMIT APPLICATION

STANDARDS: 2020 BUILDING CODE OF NEW YORK STATE.

ANSI A117.1-2003

COMPLIANCE NOTE:
To the best of my knowledge, information, and belief, the plans and specifications are in accordance with the applicable requirements of the NYSBC

David J. Hanlon

OCCUPANCY CLASSIFICATION: (302) GROUP U - UTILITY AND MISCELLANEOUS (PRIVATE GARAGE)

BUILDING HEIGHT: (504)

TABULAR (504.3 & 504.4): 40'- 0" / 1 stories

PROPOSED HEIGHT: 18'- 7" / 1 stories

BUILDING AREA: (506)

ALLOWABLE AREA (TABLE 506.2): 9,000 SQ. FT. (NON-SPRINKLERED)

PROPOSED BUILDING AREA: 1,840 SQ. FT (OVERALL BUILDING)

CONSTRUCTION TYPE CLASSIFICATION: (602) VB CONSTRUCTION

FIRE ALARMS: (907) AUTOMATIC SMOKE OR AUTOMATIC HEAT DETECTION SHALL BE REQUIRED PER CODE SECTION. (NYSBC) 907.2 FINAL DRAWINGS SHALL BE PROVIDED UNDER SEPARATE COVER, AND PRIOR TO COMMENCEMENT OF SCOPE OF WORK.

KILBOURN PLACE 6-BAY GARAGES

PITTSFORD, NY

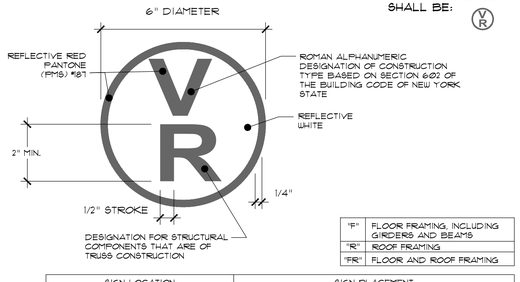
ENERGY CODE COMPLIANCE:

THE ENERGY CODE COMPLIANCE FOR THE GARAGE BUILDING @ KILBOURN PLACE APARTMENTS IS NOT APPLICABLE BECAUSE IT IS AN UNCONDITIONED SPACE

LIST OF DRAWINGS:

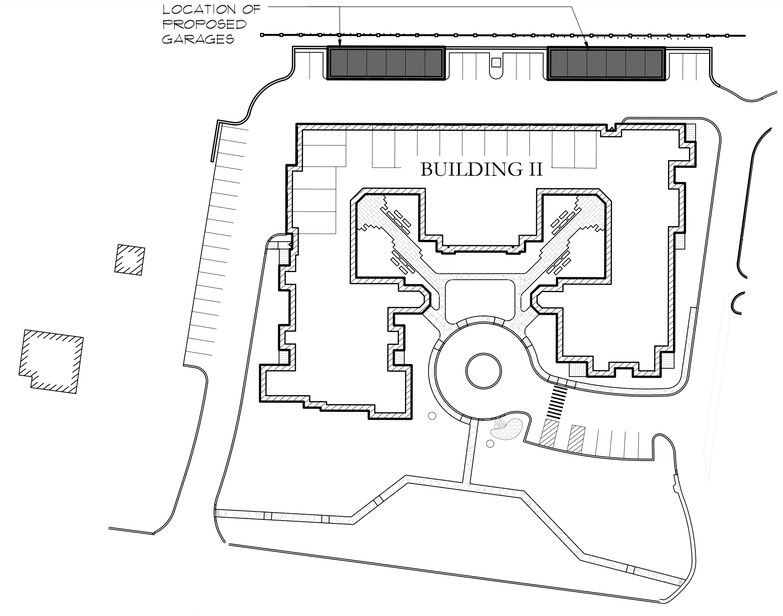
TRUSS IDENTIFICATION SIGNAGE:

REQUIRED SIGNAGE FOR THIS PROJECT SHALL BE: (VR)



"F"	FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR AND ROOF FRAMING

SIGN LOCATION	SIGN PLACEMENT
EXTERIOR BUILDING ENTRANCE DOORS, EXTERIOR EXIT DISCHARGE DOORS, AND EXTERIOR ROOF ACCESS DOORS TO A STAIRWAY	ATTACHED TO THE DOOR, OR ATTACHED TO A SIDELIGHT OR THE FACE OF THE BUILDING, NOT MORE THAN 12 INCHES (305 MM) HORIZONTALLY FROM THE LATCH SIDE OF THE DOOR JAMB, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE.
MULTIPLE CONTIGUOUS EXTERIOR BUILDING ENTRANCE OR EXIT DISCHARGE DOORS	ATTACHED AT EACH END OF THE ROW OF DOORS AND AT A MAXIMUM HORIZONTAL DISTANCE OF 12 FEET (3.65M) BETWEEN SIGNS, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE
FIRE DEPARTMENT HOSE CONNECTIONS	ATTACHED TO THE FACE OF THE BUILDING, NOT MORE THAN 12 INCHES (305 MM) HORIZONTALLY FROM THE CENTER LINE OF THE FIRE DEPARTMENT HOSE CONNECTION, AND NOT LESS THAN 42 INCHES (1067 MM) NOR MORE THAN 60 INCHES (1524 MM) ABOVE THE ADJOINING WALKING SURFACE



1 KEY PLAN
SCALE: 1/8"=1'-0"

PROJECT NORTH

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KILBOURN PLACE APARTMENTS
BUILDING 2 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 6-17-22

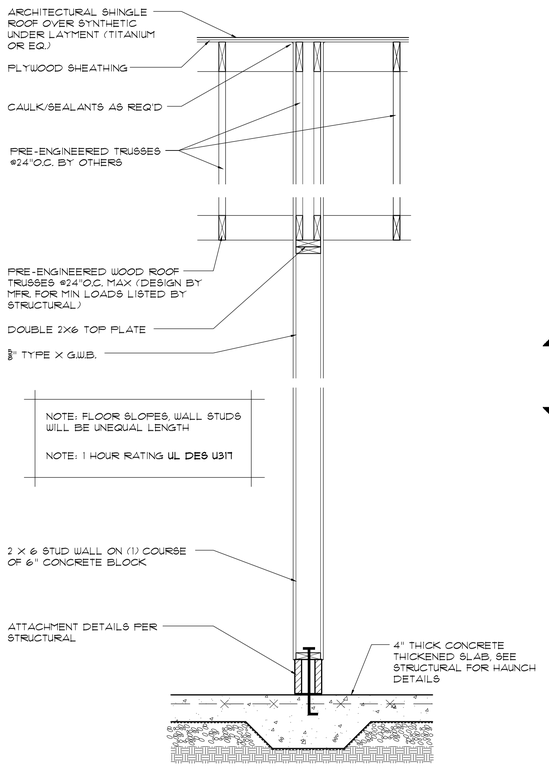
COVER SHEET

DRAWING TITLE:

C1

SHEET NO:

PROJECT NO: 21-226

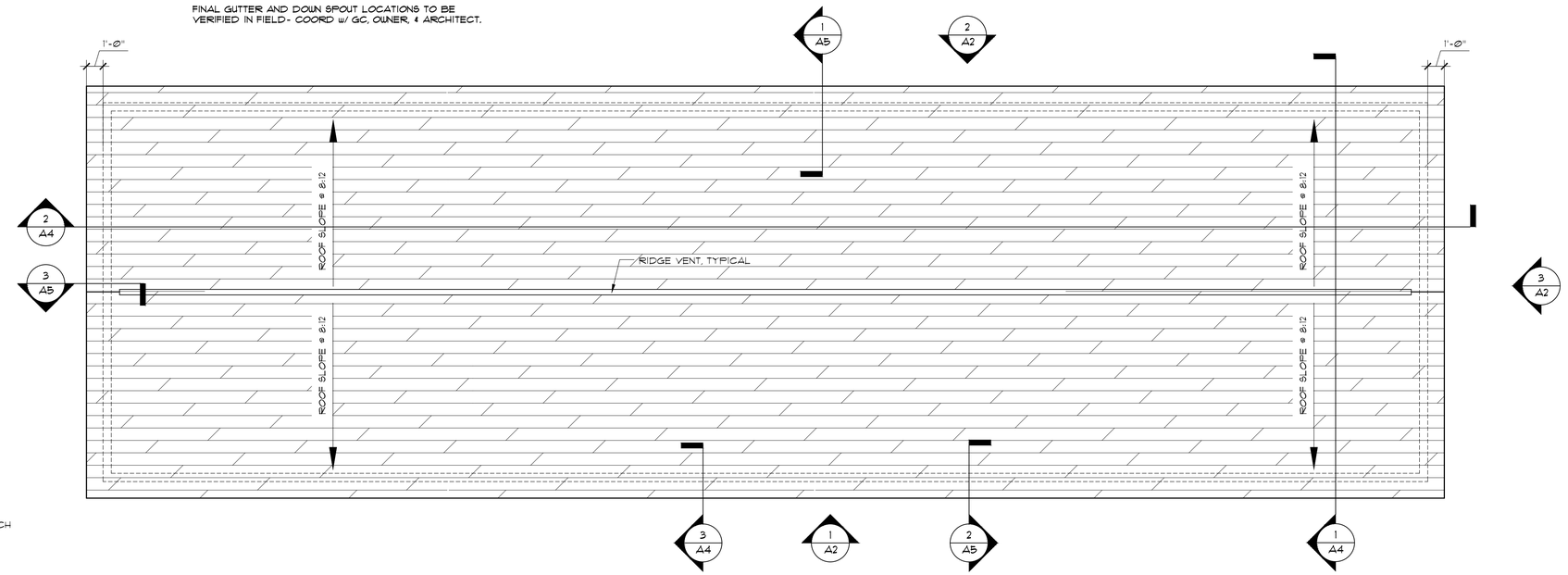


3 WALL TYPE 'A'
SCALE: 3/4"=1'-0"

UNLESS NOTED OTHERWISE:

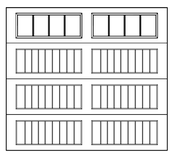
UNLESS NOTED OTHERWISE, ROOF FRAMING SHALL BE ENGINEERED WOOD ROOF TRUSSES. COORDINATE w/ STRUCTURAL ENGINEER & TRUSS SUPPLIER ALL FINAL TRUSS DETAILS, SHAPES, AND DESIGN LOAD REQUIREMENTS.

FINAL GUTTER AND DOWN SPOUT LOCATIONS TO BE VERIFIED IN FIELD- COORD w/ GC, OWNER, & ARCHITECT.



2 ROOF PLAN
SCALE: 1/4"=1'-0"

DOOR SCHEDULE							
NO.	SIZE	DOOR MAT.	DOOR ELEV.	FRAME MAT.	HRDWRE FUNCTION SEE NOTE 4	LABEL	REMARKS
GD-2	9'-0"x7'-0"		H				OVHD, PROVIDE OPENER



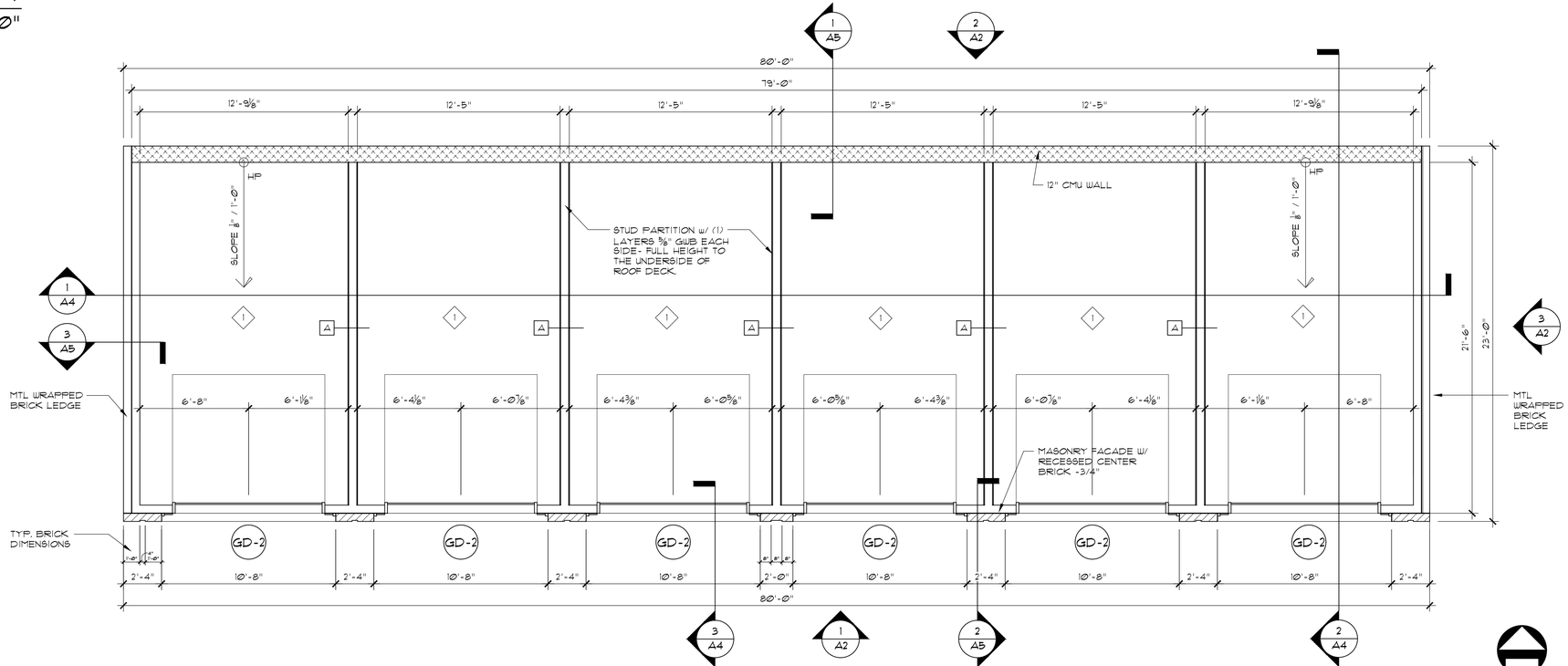
9' W x 7' H
9510 RIDGEFIELD
4 SECTION / 2 PANEL STOCKTON
8-PANEL TOP SECTION SHOWN
CONSISTS OF (4) 23.8" SECTIONS

FLOOR PLAN GENERAL NOTES:

1. F.E.C. : FIRE EXTINGUISHER CABINET (OR WALL HUNG EXTINGUISHER) LOCATION. MOUNTING HEIGHT TO THE TOP OF THE CABINET SHALL BE APPROX. 40" AFF.- COORDINATED WITH SELECTED UNIT. GC SHALL REVIEW FINAL LOCATIONS WITH FIRE MARSHAL PRIOR TO EXTINGUISHER MOUNTING INSTALLATION.
2. REFER TO ELECTRICAL DRAWINGS (PROVIDED BY OTHERS) FOR ALL FIRE ALARM TYPES AND LOCATIONS, EXIT SIGNAGE AND EMERGENCY LIGHTING LAYOUTS.
3. FIRE ALARM SYSTEM SHALL BE INSTALLED PER NYSBC.
4. ALL DIMENSIONS TO BE TAKEN FROM FACE OF WALL, REFER TO PARTITION TYPES FOR ACTUAL DIMENSIONS
5. CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR ALL EQPT. INSTALLATION.

FIRST FLOOR PLAN KEY NOTES:

1. SEALED CONCRETE TREATMENT ON EXISTING CONCRETE FLOOR TO BE COORDINATED B/W LANDLORD & TENANT
2. TRUSS PLACARD TO BE SHOWN ON ELECTRICAL BOX. FINAL LOCATION OF ELECTRICAL BOX T.B.D.



1 FLOOR PLAN
SCALE: 1/4"=1'-0"

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KILBOURN PLACE APARTMENTS
BUILDING 2 - GARAGE
PITTSFORD, NEW YORK

REVISED:

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DATE: 6-17-22

FLOOR & ROOF PLAN

DRAWING TITLE:

A1

SHEET NO:

PROJECT NO: 21-226

CEILING / LIGHT FIXTURE LEGEND:

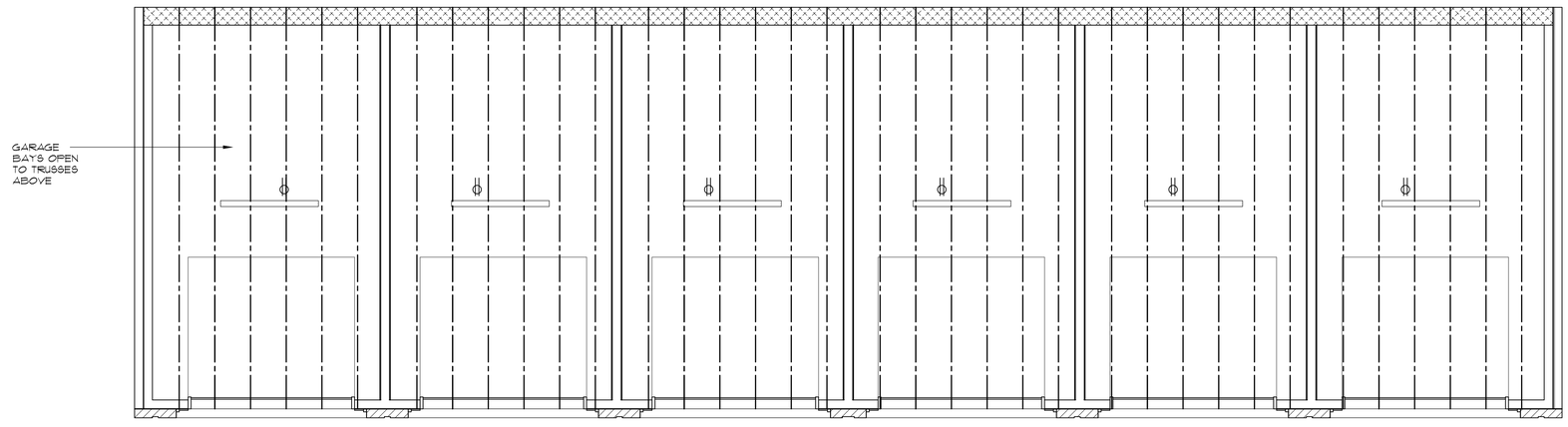
4' LED LINEAR TUBE LIGHT FIXTURES. FINAL PLACEMENT & TYPE PER OWNER

RECEPTACLES @ CEILINGS - G.C. TO COORDINATE FINAL LOCATIONS & QUANTITIES

FINAL FIRE ALARM COMPONENTS & DESIGN LAYOUT TO BE VERIFIED BY OTHERS. THE INFORMATION SHOWN IS FOR REFERENCE ONLY AND SHALL BE REVIEWED BY OWNER AND GC PRIOR TO FINAL PLACEMENT.

REFLECTED CEILING PLAN NOTES:

1. ALL LIGHTING TEMPERATURE TO BE 3,500K U.N.O
2. OMITTED
3. ALL OUTLET PLATES AND SWITCHES TO BE WHITE U.N.O
4. ALL FIXTURE HEIGHTS TO BE CONFIRMED BEFORE INSTALLATION
5. THIS DRAWING DEPICTS LIGHTING LAYOUTS FOR DESIGN PURPOSES & DECORATIVE FIXTURES. CONTRACTOR TO EVALUATE & PROVIDE LIGHT LEVELS IN ALL PUBLIC AREAS. REFER TO PAINT SCHEDULE FOR LIGHT REFLECTANCIES OR REFER TO ELECTRICAL ENGINEER.
6. ALIGN LIGHTS WHEREVER POSSIBLE.
7. COORDINATE TRADES TO ASSURE ALL DEVICES ALIGN EITHER VERTICALLY OR HORIZONTALLY. KEEP DEVICES CLOSE TO DOOR FRAMES OR CORNERS & AWAY FROM CENTER OF WALLS.
9. VERIFY ALL OUTLET HEIGHTS AND LOCATIONS WITH OWNERS.
10. REFER TO HVAC/ MECHANICAL, ELECTRICAL & FIRE PROTECTION DRAWINGS FOR ASSOCIATED WORK.
11. PROVIDE OCCUPANCY SENSORS PER ENERGY CODE C405.2.1.
12. EXTERIOR LIGHTING OR POWER REQUIREMENTS TO BE DETERMINED BY OTHERS.



1 REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

PROJECT NORTH

REGISTERED ARCHITECT
STATE OF NEW YORK

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KILBOURN PLACE APARTMENTS
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PITTSFORD, NEW YORK

REVISED:

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DATE: 6-17-22

DRAWING TITLE: REFLECTED CEILING PLAN

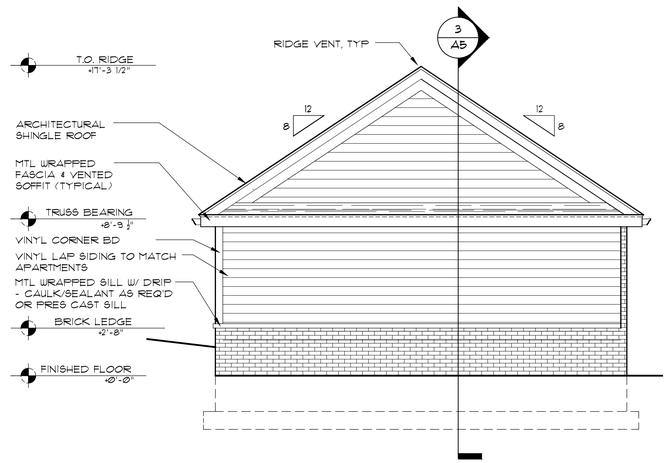
SHEET NO: A2

PROJECT NO: 21-226

EXTERIOR FINISH LEGEND:

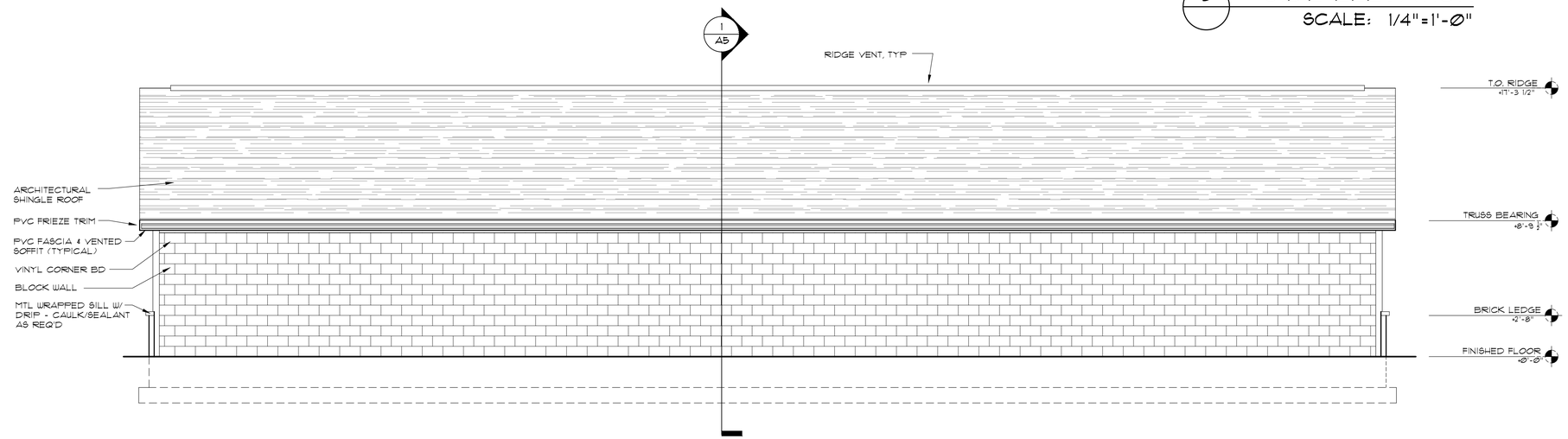
B-B	BRICK B- FULL BED MASONRY VENEER- WATSONTOWN BRICK COMPANY IRON SPOT FRIT SERIES- BELVIDERE
FC-A	FIBER CEMENT LAP SIDING COLOR: 'NIGHT GRAY'
FC-B	FIBER CEMENT LAP SIDING COLOR: 'COBBLESTONE'
R-A	ARCHITECTURAL ROOF SHINGLES

ALL TRIM, FASCIAS, & SOFFITS TO BE PAINTED PVC TRIM BOARDS & PANELS, UNLESS NOTED OTHERWISE.



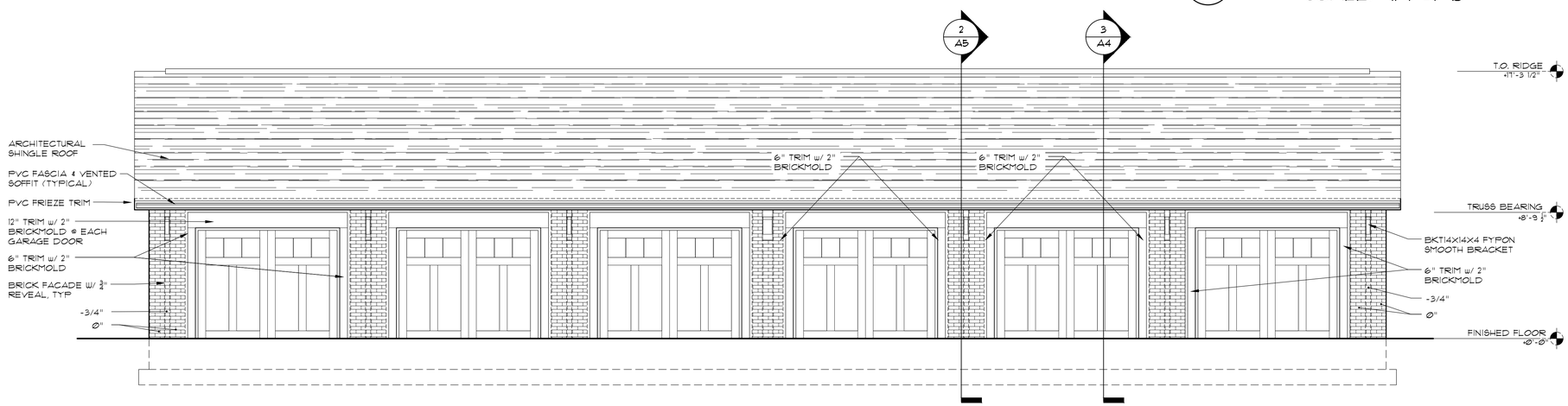
3 SIDE ELEVATION

SCALE: 1/4"=1'-0"



2 REAR ELEVATION

SCALE: 1/4"=1'-0"



1 FRONT ELEVATION

SCALE: 1/4"=1'-0"

HANLON ARCHITECTS
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KILBOURN PLACE APARTMENTS
BUILDING 2 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 6-17-22

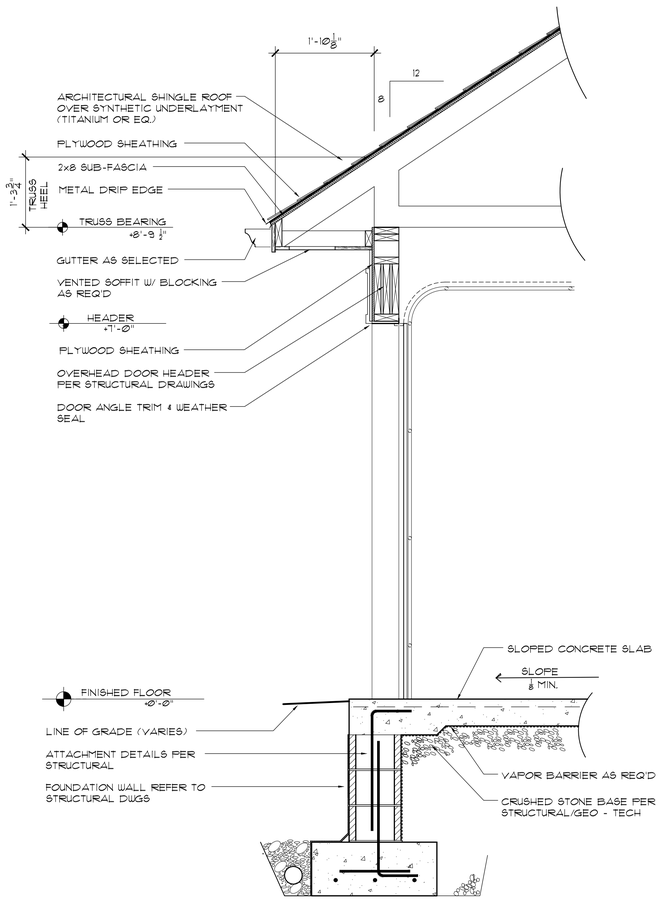
GARAGE ELEVAITONS

DRAWING TITLE:

A3

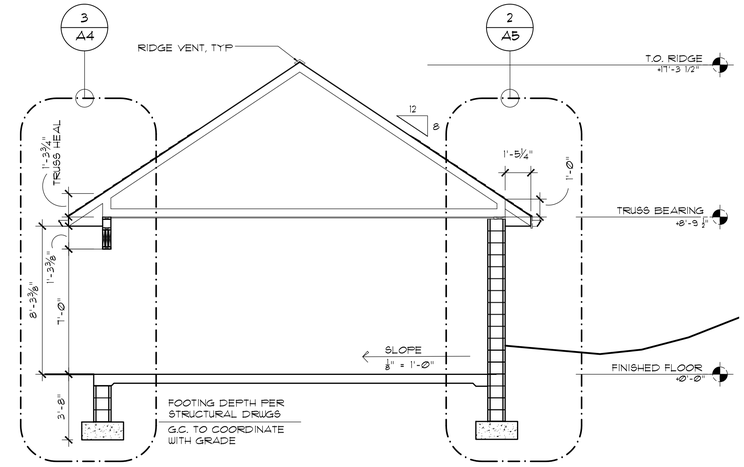
SHEET NO:

PROJECT NO: 21-226



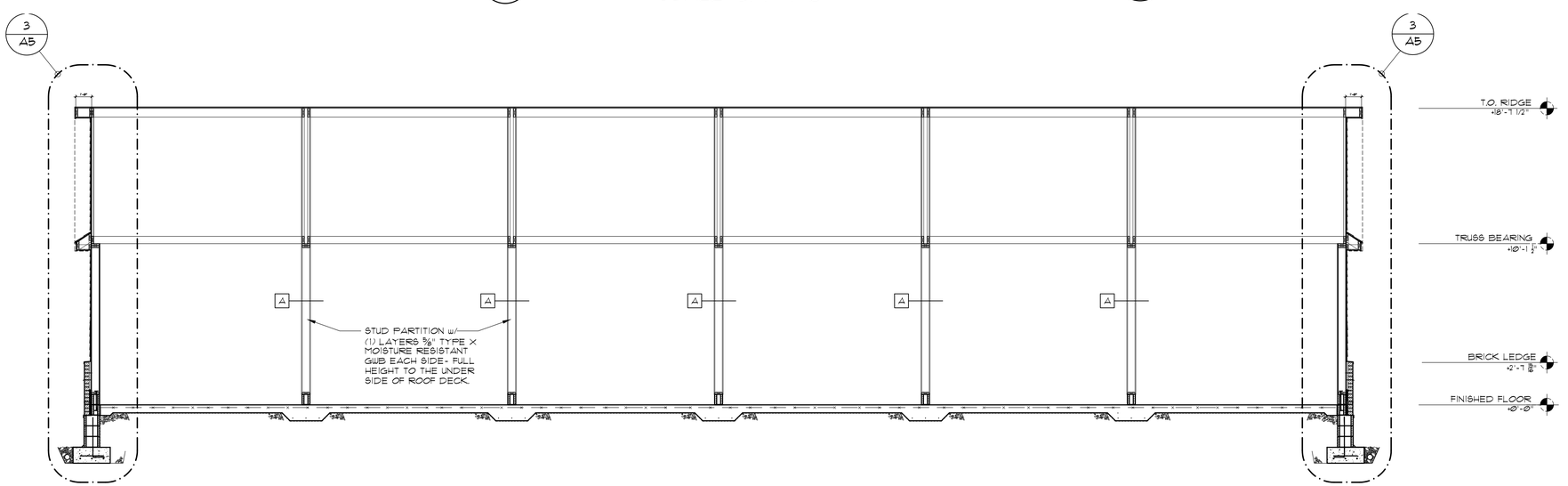
3 — WALL SECTION

SCALE: 3/4"=1'-Ø"



2 — BUILDING SECTION

SCALE: 1/4"=1'-Ø"



1 — BUILDING SECTION

SCALE: 1/4"=1'-Ø"

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KILBOURN PLACE APARTMENTS
BUILDING 2 - GARAGE

PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 6-17-22

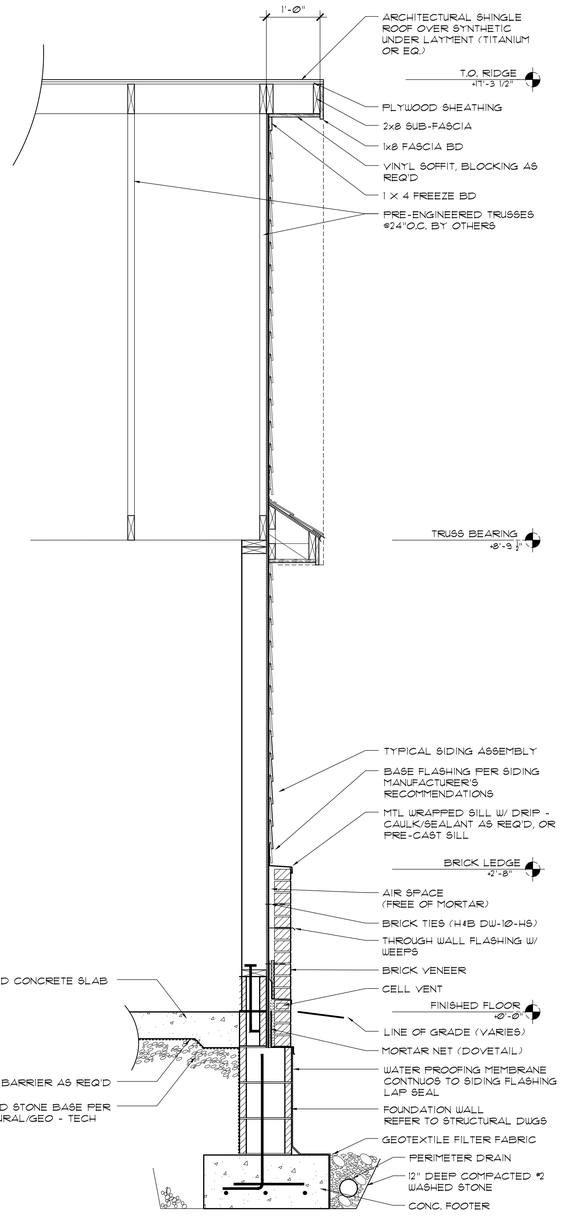
BUILDING SECTIONS

DRAWING TITLE:

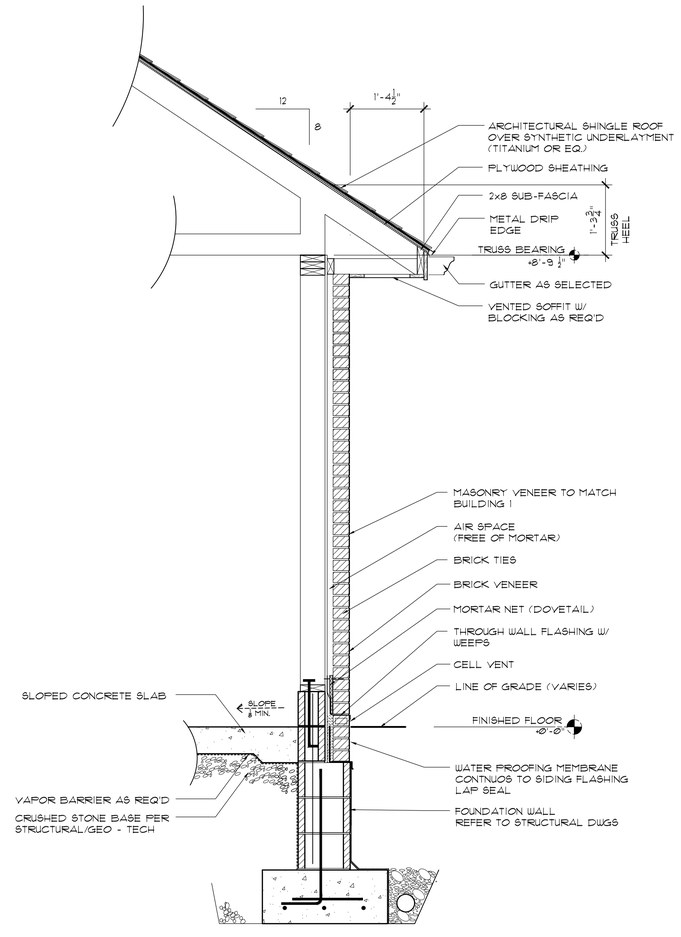
A4

SHEET NO:

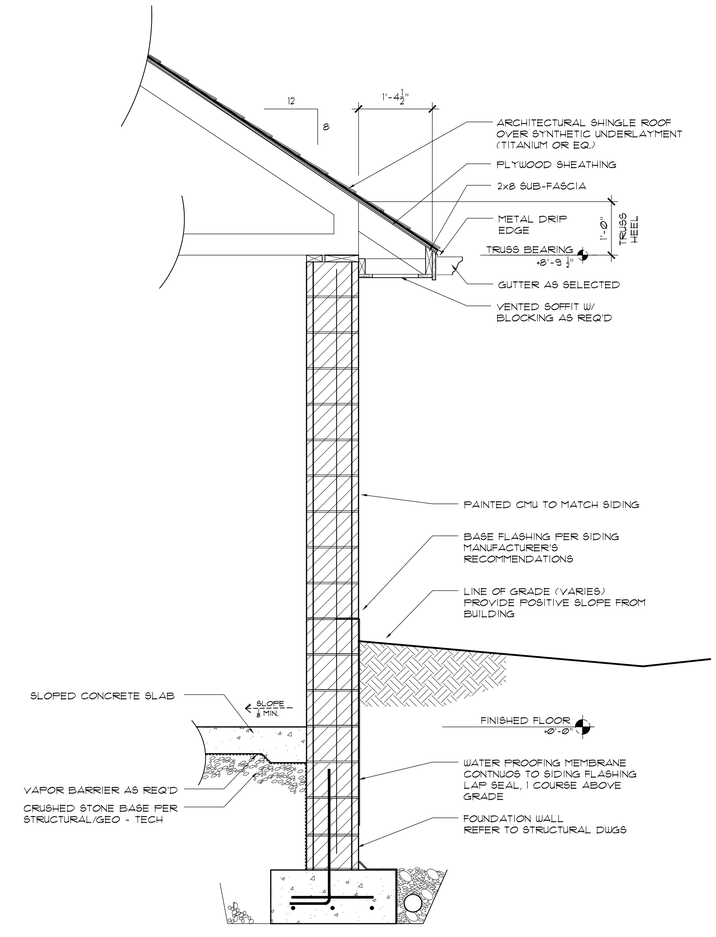
PROJECT NO: 21-226



3 WALL SECTION
SCALE: 3/4"=1'-0"



2 WALL SECTION
SCALE: 3/4"=1'-0"



1 WALL SECTION
SCALE: 3/4"=1'-0"

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KILBOURN PLACE APARTMENTS
BUILDING 2 - GARAGE
PITTSFORD, NEW YORK

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WALL SECTIONS

DRAWING TITLE:

A5

SHEET NO:

PROJECT NO: 21-226

BASIC TENSION LAP SPLICES–CLASS B&C
(GRADE 60 BARS – NORMAL WEIGHT CONCRETE – BARS OTHER THAN TOP BARS)

BAR SIZE	f'_C =3000psi SPLICE	f'_C =4000psi SPLICE	f'_C =5000psi SPLICE
#3	1'-4"	1'-4"	1'-4"
#4	1'-5"	1'-4"	1'-4"
#5	1'-9"	1'-8"	1'-8"
#6	2'-1"	2'-0"	2'-0"
#7	2'-10"	2'-6"	2'-4"
#8	3'-9"	3'-3"	3'-0"
#9	4'-9"	4'-2"	3'-8"
#10	6'-4"	5'-2"	4'-8"
#11	7'-5"	6'-5"	5'-4"

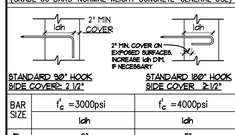
TENSION LAP SPLICES– CLASS B&C FOR TOP BARS
(GRADE 60 BARS – NORMAL WEIGHT CONCRETE)

BAR SIZE	f'_C =3000psi SPLICE	f'_C =4000psi SPLICE	f'_C =5000psi SPLICE
#3	1'-4"	1'-4"	1'-4"
#4	1'-10"	1'-10"	1'-10"
#5	2'-3"	2'-3"	2'-3"
#6	2'-11"	2'-9"	2'-9"
#7	4'-0"	3'-5"	3'-2"
#8	5'-3"	4'-7"	4'-1"
#9	6'-8"	5'-9"	5'-2"
#10	8'-6"	7'-4"	6'-6"
#11	10'-4"	9'-0"	8'-0"

"ld" TENSION DEVELOPMENT LENGTH
(GRADE 60 BARS – NORMAL WEIGHT CONCRETE)

BAR SIZE	f'_C =3000psi		f'_C =4000psi		f'_C 5000psi	
	ld TOP	ld BOT	ld TOP	ld BOT	ld TOP	ld BOT
#3	1'-1"	1'-0"	1'-1"	1'-0"	1'-1"	1'-0"
#4	1'-5"	1'-0"	1'-5"	1'-0"	1'-5"	1'-0"
#5	1'-9"	1'-3"	1'-9"	1'-3"	1'-9"	1'-3"
#6	2'-3"	1'-7"	2'-1"	1'-6"	2'-1"	1'-6"
#7	3'-1"	2'-2"	2'-8"	1'-11"	2'-6"	1'-9"
#8	4'-0"	2'-11"	3'-6"	2'-6"	3'-2"	2'-4"
#9	5'-2"	3'-8	4'-5"	3'-2"	4'-0"	2'-10"
#10	6'-6"	4'-8"	5'-8"	4'-0"	5'-0"	3'-7"
#11	8'-0"	5'-8"	7'-0"	4'-11"	6'-2"	4'-5

"ldh" TENSION DEVELOPMENT (EMBEDMENT) LENGTH FOR STANDARD END HOOKS
(GRADE 60 BARS–NORMAL WEIGHT CONCRETE–GENERAL USE)



STANDARD 90° HOOK SIDE COVER= 2 1/2"

STANDARD 180° HOOK SIDE COVER ≥1/2"

BAR SIZE	f'_C =3000psi ldh	f'_C =4000psi ldh	f'_C =5000psi ldh
#3	8"	7"	6 1/2"
#4	11"	9 1/2"	8 1/2"
#5	14"	12"	10 1/2"
#6	1'-5"	1'-3"	12 1/2"
#7	1'-7"	1'-5"	1'-3"
#8	1'-10"	1'-7"	1'-5"
#9	2'-1"	1'-10"	1'-7"
#10	2'-4"	2'-0"	1'-10"
#11	2'-7"	2'-3"	2'-0"

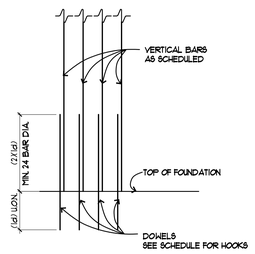
TOLERANCES IN PLACEMENT OF REINFORCEMENT

REINFORCED CONCRETE

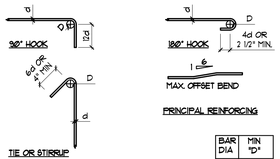
EFFECTIVE DEPTH d, (INCHES)	TOLERANCE ON d, (INCHES)	TOLERANCE ON MINIMUM COVER ON REINFORCEMENTS,(INCHES)
d ≤ 8	± 3/8	–3/8
d > 8	± 1/2	–1/2

REINFORCED MASONRY

EFFECTIVE DEPTH d, (INCHES)	TOLERANCE ON d, (INCHES)	TOLERANCE ON MINIMUM COVER ON REINFORCEMENTS,(INCHES)
d ≤ 8	± 1/2	–3/8
8 < d ≤ 24	± 1	–1/2
d > 24	± 1 1/4	–1/2



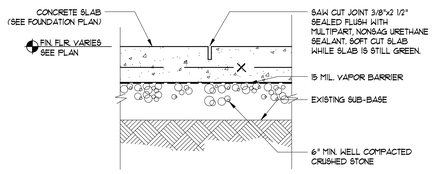
1 BAR SPLICE @ FOUNDATION
N.T.S. FILE:



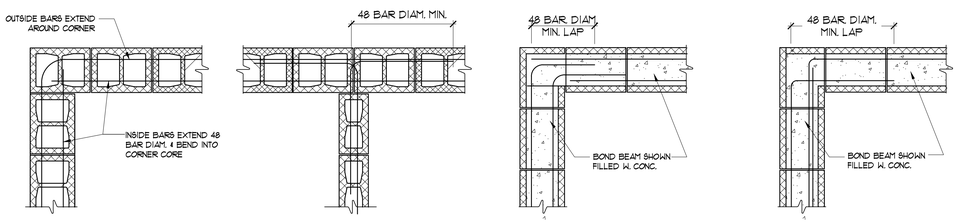
NOTE:
1. ALL BENDS SHALL BE MADE COLD
2. FOR "D" ETC. SEE CRSI HANDBOOK GOVERNING EDITION

BAR DIA	MIN "D"
#3	1 1/2"
#4	2"
#5	2 1/2"
#6	3"
#7	3 1/2"
#8	4"
#9	4 1/2"
#10	5"
#11	5 1/2"

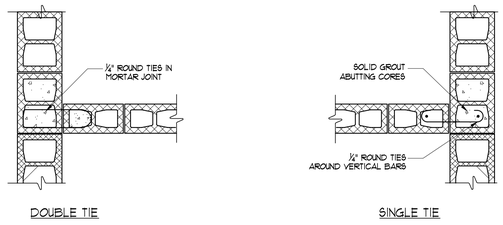
2 BAR BENDS
N.T.S. FILE:



3 SLAB CONTROL JOINT DETAIL
N.T.S. FILE:



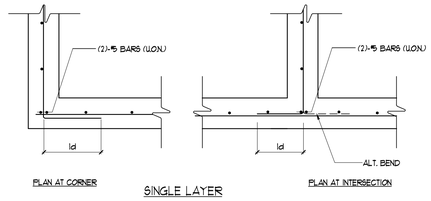
EXTERIOR BOND BEAM | INTERIOR BOND BEAM | EXTERIOR BOND BEAMS, ALTERNATE DETAILS



DOUBLE TIE | SINGLE TIE

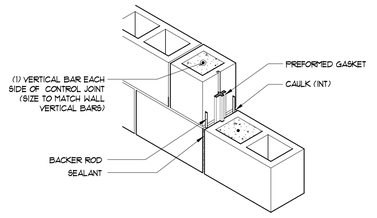
INTERSECTING WALLS

7 TYP. MASONRY DETAILS
N.T.S. FILE:

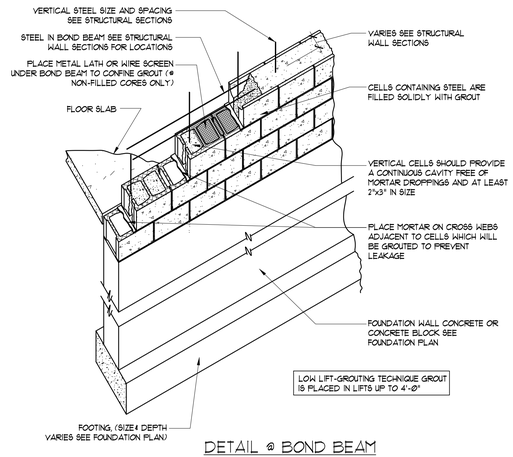


SINGLE LAYER

4 TYP. WALL OR BEAM CORNER BAR PLACING DETAIL
N.T.S. FILE:

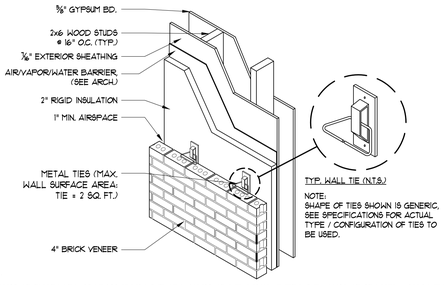


5 WALL CONTROL JOINT DETAIL
N.T.S. FILE:



DETAIL @ BOND BEAM

6 TYP. WALL & BOND BEAM REINFORCING DETAIL
N.T.S. FILE:



BRICK WORK NOTES:

A. TIES: ALL TIES MUST BE EMBEDDED AT LEAST 2" INTO THE BED JOINTS OF THE BRICK VENEER. THEY MUST BE SECURELY ATTACHED TO THE STUDS THROUGH THE SHEATHING, AND NOT THE SHEATHING ALONE. ADDITIONAL TIES SHALL BE INSTALLED AT APPROXIMATELY 8' O.C. AT JAMBS AND NEAR EDGES. TIES SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM C 153, CLASS B-3. IN ADDITION, TIES SHOULD NOT HAVE MECHANICAL PLAY IN EXCESS OF Ø.05" AND SHALL NOT DEFORM OVER Ø.05" FOR A 1Ø # LOAD IN EITHER TENSION OR COMPRESSION. TWO SQUARE FEET MAXIMUM WALL SURFACE AREA PER TIE.

B. MORTAR: USE PORTLAND CEMENT - LIME MORTARS, CONFORMING TO ASTM C 270Ø OR BIA M1-'12, TYPE B.

C. FLASHING: FLASHING MUST BE PLACED AT ALL POINTS WHERE THE WALL IS INTERRUPTED (WINDOW AND DOOR HEADS, SILLS, SHELF ANGLES ETC.) ALSO, IT SHOULD BE INSTALLED AT THE TOP AND BOTTOM OF THE WALL.

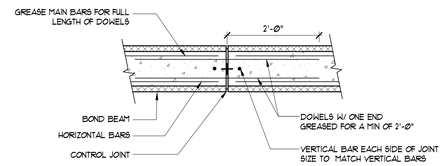
D. WEEPHOLES: WEEPHOLES SHALL BE PLACED AT ALL FLASHING LOCATIONS, SPACING SHALL NOT EXCEED 24" O.C.

E. "TYVEK" BUILDING WRAP: LAP ENDS AND EDGES 6" MIN. TAPE ALL SEAMS.

F. FILLING OF MORTAR JOINTS: ALL MORTAR JOINTS SHOULD BE COMPLETELY FILLED EXCEPT FOR AIR SPACES, EXPANSION JOINTS, ETC. THEY SHALL BE KEPT CLEAN AND FREE OF MORTAR AND/OR MORTAR DROPPINGS.

G. HORIZONTAL EXPANSION JOINTS: JOINTS SHALL BE PLACED BENEATH EACH ANGLE. (WITH COMPRESSIBLE MATERIAL BELOW SHELF ANGLES.)

8 TYP. BRICK VENEER DETAIL & NOTES
N.T.S. FILE:



9 CMU CONTROL JOINT @ BOND BEAM
N.T.S. FILE:

STRUCTURAL NOTES:

I. GENERAL NOTES

1. The building code used is the 2020 Residential Code of New York State (2020 RCNYS). All editions of applicable codes and standards shall be those referenced within the 2020 RCNYS.
2. The General Contractor shall coordinate all Civil, Architectural, Structural, Mechanical, Electrical and Plumbing drawings and report any discrepancies to the engineer prior to construction.
3. The contractor shall verify all dimensions and conditions in the field prior to commencing work. If any discrepancies are found within the Structural Drawings and/or Structural Notes, the strictest shall govern and the engineer shall be notified of any discrepancies which may exist.
4. See architectural drawings for floor elevations, slopes and the location of depressed floor areas. The contractor shall compare the structural sections with the architectural sections and report any discrepancy to the Architect prior to building.
5. The General Contractor shall provide all necessary temporary shoring and/or bracing during construction to maintain the safety and integrity of all building elements until construction is complete.
6. Furring over concrete or conc. masonry is often not shown on structural plans: composite walls are often shown as if they are all CMU or concrete. Do not scale block thickness from structural drawings. See architectural drawings for thickness of block where not dimensioned and for location of masonry within composite walls.

II. CONCRETE

A. MATERIAL PROPERTIES
1. Concrete minimum strength in 28 days to be 4,000 psi for slabs and footings.
2. Bar reinforcing ASTM A615, Grade 60
   Welded wire fabric ASTM A185.

B. INSTALLATION
1. Unless otherwise shown, all reinforcing shall be detailed in accordance with ACI 318.
2. Unless otherwise noted, reinforcing shall have the following minimum concrete covers: 3" cover where unformed and against earth, 2" where formed and against earth, and 1" where formed and not against earth. See ACI Code.
3. Unless otherwise shown, reinforcing splices shall be minimum 36 bar diameters.
4. Provide 3/4" chamfer at all exposed concrete corners & edges.
5. Provide corner bars at all intersections and corners, e.g.: bond beams, grade beams, footings, etc.
6. Concrete exposed to freeze-thaw cycles (including but not limited to exterior slabs) shall have 4% - 6% entrained air.
7. Special attention shall be given to concrete placed during hot or cold weather. All special practices prescribed by ACI shall be followed during the placement of concrete during special weather conditions.
8. Provide curing of concrete slabs immediately after finishing using a sprayed on dissipating-resin liquid curing compound conforming to ASTM C309. All scuffs or abrasions to the curing membrane shall be recoated daily. Other curing methods may be used with approval by the Structural Engineer.

III. CONCRETE MASONRY

A. MATERIAL PROPERTIES
1. Concrete block units shall conform to ASTM C90, Type I, Grade N.
2. Mortar - ASTM C270, Type S (fm=1500 psi)
3. Block fill - ASTM C476, course grout (fc=3000 psi)
4. Reinforcing:
   Bars . . . ASTM A615, Grade 60
   Ladder type masonry joint reinforcing ASTM A82

B. INSTALLATION
1. All concrete block work to have "DUR-O-WAL" (ladder type) or equal every 2nd course, or, as indicated on drawings.
2. Provide control joints in masonry wall at maximum 32 feet on center, or, as noted on the drawings.
3. Keep cores of reinforced masonry free of mortar droppings, provide cleanouts at base of every core.
4. Fill block cores solid under lintels, beam pockets, and all bearing plates with 3000 psi grout.
5. Fill block cores solid around all rebar with 3000 psi grout.
6. Concrete block masonry shall be set in full mortar bedding.
7. Lap splices of reinforcing bars shall be 40 bar diameters but not less than 24".

IV. WOOD

1. Wood dimensional lumber to be Hem-Fir #2 (or equal), with minimum NDS reference design values equal to:
   Bending (F_b) = 850 psi
   Compression Parallel to Grain (F_c) = 1,300 psi
   Modulus of Elasticity (E) = 1,300,000 psi
   Min. Modulus of Elasticity (E_{min}) = 470,000 psi
   Shear Parallel to Grain (F_v) = 150 psi
2. Microllan / LVL beams to meet minimum reference design values equal to:
   Bending (F_b) = 2,600 psi
   Compression Parallel to Grain (F_c) = 2,500 psi
   Modulus of Elasticity (E) = 2,000,000 psi
   Min. Modulus of Elasticity (E_{min}) = 1,016,305 psi
   Shear Parallel to Grain (F_v) = 285 psi
3. All interior, covered framing lumber to be kiln dried, with a maximum moisture content (MC) of 19%.
4. The General Contractor shall reject all poor quality lumber that is not suitable for its intended purpose, regardless of grade.
5. Continuously glue and connect all headers with 2 rows of 16d common nails at 12" o.c. max.
6. All interior headers at non-load bearing walls to be 2-2x6's with 1/2" plywood in between--unless otherwise noted.
7. Provide solid blocking under all header supports down to masonry wall or beams.
8. Double studs under each end of headers--unless otherwise noted.
9. Wood in contact with masonry, conc. or earth or within 1'-0" of grade & exposed shall be pressure treated.
10. Wood joists and rafters to have a minimum bearing length of 1-1/2" on wood or metal, and not less than 3" on masonry or concrete.
11. A metal joist/rafter hanger, etc. shall always be provided at face-mounted members.
12. Framing anchors, joist hanger, etc. shall be galvanized steel (16 ga. min.) Install in strict accordance with mfr's instructions, including mfr's specified fasteners. Provide products by "Simpson Co." or approved proposed substitute.
13. For exterior walls see framing plan, provide and install 2x6 blocking @ 4'-0" o.c. or at plywood panel edges.
14. Wall sheathing at exterior walls: 7/16" exterior grade APA rated CDX plywood.
15. Roof sheathing: 1/16" exterior grade APA rated CDX plywood (w/ edge support) w/ 10d nails @ 12" o.c. (min.) into all supports.
16. Pre-engineered wood roof trusses @ 24" o.c., design by manufacturer: Trusses shall be designed by a NYS licensed engineer & designed to withstand a 30 psf flat roof snow load, 10 psf dead load for top chord, and 10 psf dead load for bottom chord. Trusses must also be designed for snow drift loads at lower roof conditions and valley locations.

V. MISCELLANEOUS

1. Provide shop drawings for pre-engineered wood roof trusses, wood framing, and reinforcing for approval before fabrication.
2. Submit concrete mix design to arch/eng. for review prior to start of construction.

STATE OF NEW YORK — CHRISTINE TORCHIA — 072130 — LICENSED PROFESSIONAL ENGINEER

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Rochester, NY 14625 — www.TSE123.com
TSE 22-02-12HA

KILBOURN PLACE APARTMENTS
BUILDING 1 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 05-12-2022

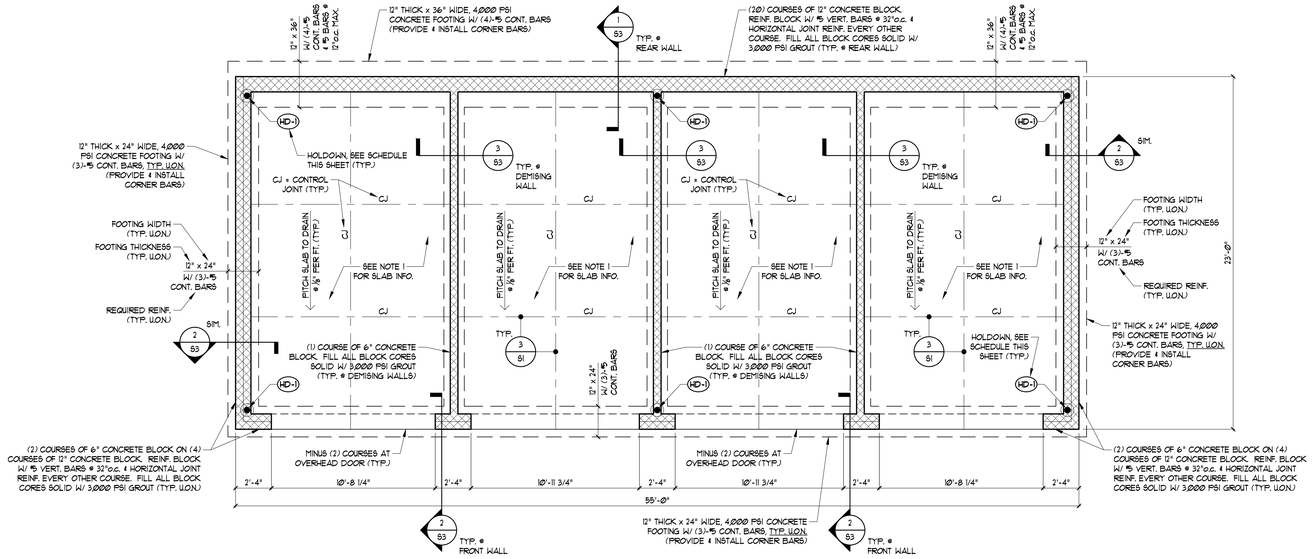
STRUCTURAL GENERAL NOTES, REINF. REQUIREMENTS, & TYP. STRUCTURAL DETAILS

DRAWING TITLE:

S1

SHEET NO:

PROJECT NO:



1 FOUNDATION PLAN

SCALE: 1/4"=1'-0" FILE:

FOUNDATION PLAN NOTES:

1. GARAGE SLAB TO BE 4" THICK, 4000 PSI CONCRETE W/ 6x6 #0 MESH @ MIDPOINT OF SLAB, OVER 15 MIL. VAPOR BARRIER AND 6" MIN. 95% WELL-COMPACTED CRUSHED STONE (TYP.)
2. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN HERE. (TYP.)

LEGEND

SW1	WOOD SHEAR WALL MARK SEE SCHEDULE THIS SHEET
	WOOD SHEAR WALL
HD-1	HOLDOWN MARK SEE SCHEDULE THIS SHEET
	HOLDOWN LOCATION SYMBOL SEE FOUNDATION PLAN THIS SHEET

SHEAR WALL SCHEDULE SW1

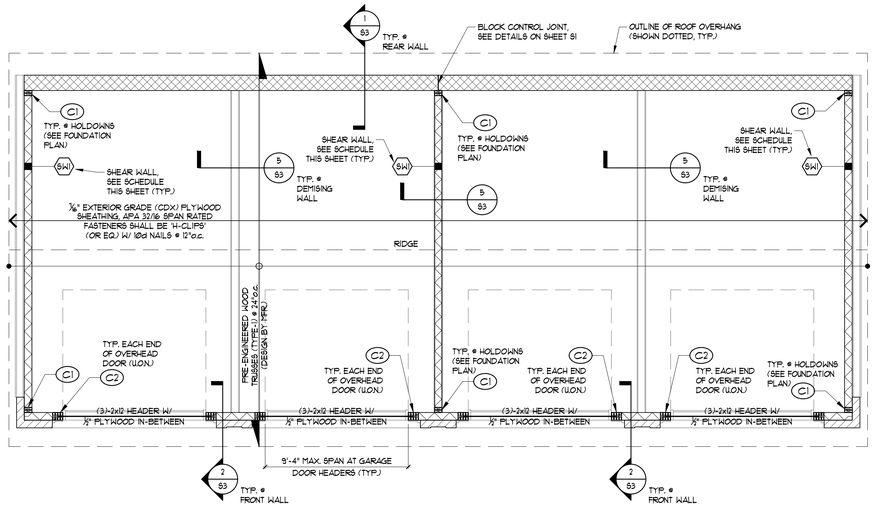
MARK	SHEATHING	NAILING		BLOCKING	HOLDOWN
		AT PANEL EDGE	AT FIELD		
SW1	7/16" APA-RATED, EXPOSURE 1 SHEATHING	8d @ 6" O.C.	8d @ 12" O.C.	SOLID 2x BLOCKING @ ALL PANEL EDGES	SEE FND. PLAN THIS SHEET

NOTES:
1. 8d NAILS SHALL BE Ø.131"# x 2-1/2" (COMMON).
2. FOR STUD INFORMATION AT HOLDOWNS, SEE ROOF FRAMING PLAN AND SCHEDULE THIS SHEET.
3. SHEATHING TO BE TIGHT TO 2x6 WOOD STUDS (ONE SIDE).

HOLDOWN SCHEDULE HD-1

MARK	HOLDOWN TYPE	MANUFACTURER	MODEL No.	ANCHOR BOLT DIA.	WOOD FASTENER SIZE & ATTACHMENT	MIN. TENSION CAPACITY	STUD PACK AT HOLDOWN
HD-1	FREE-DEFLECTED HOLDOWN	SIMPSON STRONG-TIE	HDU5-SDS2.5	5/8"#	(14)-1/4"# x 2-1/2" SIMPSON SDS SCREWS	4,340#	(2)-2x6 MIN.

NOTES:
1. FOLLOW ALL MFR. INSTRUCTIONS FOR ATTACHMENT AND INSTALLATION OF HOLDOWNS.
2. USE SIMPSON STRONG-ROD (OR EQ.) THREADED ROD FOR HOLDOWN ANCHOR:
   AT DEMISING WALLS: EMBED ANCHOR ROD 8" INTO THICKENED SLAB (W/ A SIMPSON 2½"x2½"x¼ WASHER PLATE & DOUBLE NUT EMBEDDED WITHIN SLAB)
   AT EXTERIOR WALLS: EMBED ANCHOR ROD 16" INTO CMU WALL & LOCATE (1)-#5 VERT. BAR IN AN ADJACENT BLOCK CORE

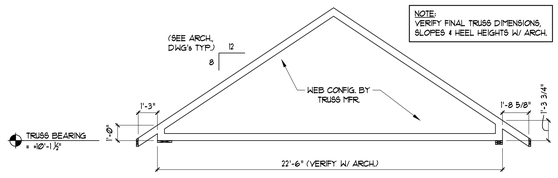


2 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" FILE:

ROOF FRAMING PLAN NOTES:

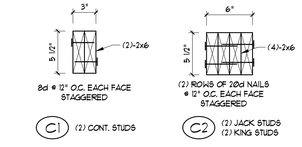
1. TRUSS MANUFACTURER TO DESIGN PRE-ENGINEERED WOOD TRUSSES FOR THOSE LOADS GIVEN ON SHEET S1, AND SHALL BE SIGNED AND STAMPED BY A PROFESSIONAL ENGINEER, CURRENTLY REGISTERED IN THE STATE OF NEW YORK.
2. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN HERE. (TYP.)



WOOD TRUSS TYPE-1

3 TRUSS PROFILE

SCALE: 1/4"=1'-0" FILE:



4 WOOD STUD COLUMN DETAIL

SCALE: 1-1/2"=1'-0" FILE:

HANLON ARCHITECTS
1300 UNIVERSITY AVENUE
ROCKESTER, NY 14607
WWW.HANLONARCHITECTS.COM
T: 585.223.6440
F: 585.563.6087

Torchia Structural Engineering & Design P.C.
625 Panorama Trail Phone: 585-385-7630
Suite #2210 Fax: 585-385-6386
Rochester, NY 14625 www.TSE123.com
TSE 22-02-12HA

KILBOURN PLACE APARTMENTS
BUILDING 1 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 05-12-2022

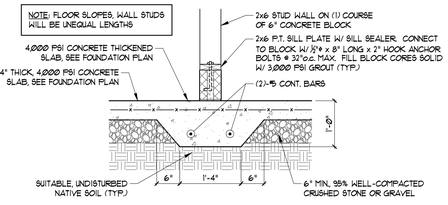
FOUNDATION PLAN

DRAWING TITLE:

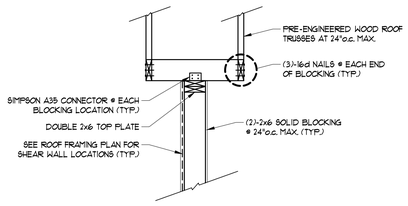
S2

SHEET NO:

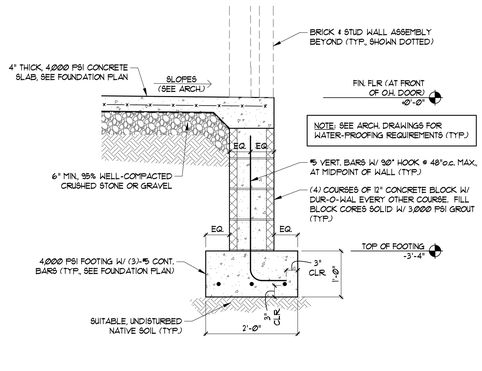
PROJECT NO:



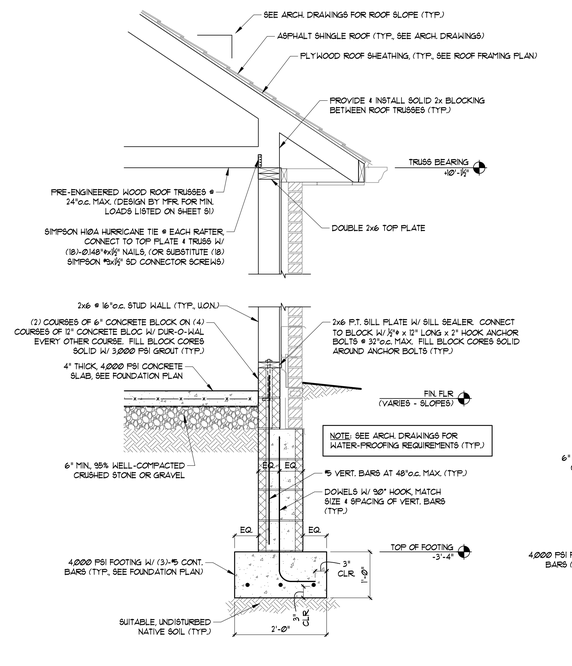
3 THICKENED SLAB DETAIL
SCALE: 3/4"=1'-0" FILE:



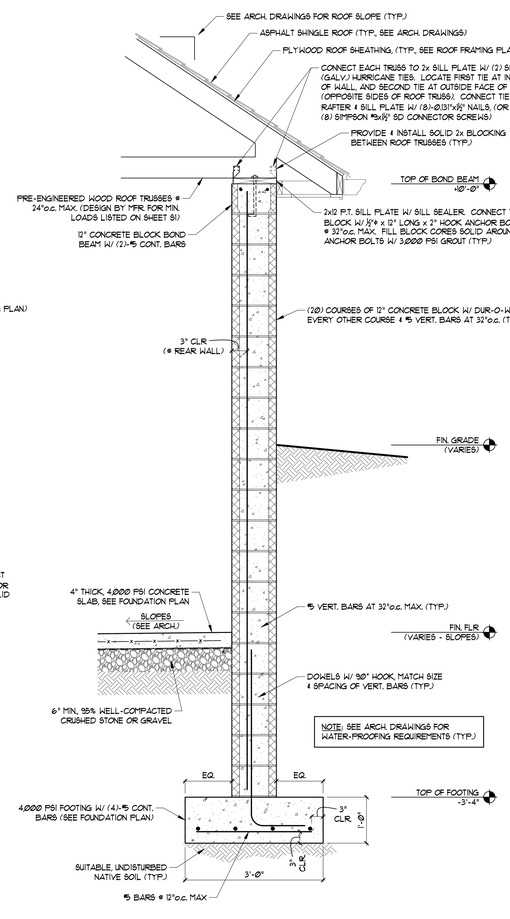
5 DEMISING WALL-TO-TRUSS CONNECTION DETAIL
N.T.S. FILE:



4 WALL SECTION
SCALE: 3/4"=1'-0" FILE:



2 WALL SECTION
SCALE: 3/4"=1'-0" FILE:



1 WALL SECTION
SCALE: 3/4"=1'-0" FILE:

STATE OF NEW YORK
CHRISTINE TORCHIA
07035
LICENSED PROFESSIONAL ENGINEER

HLN
HANLON ARCHITECTS
1300 UNIVERSITY AVENUE
ROCHESTER, NY 14607
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TSE 22-02-12HA

KILBOURN PLACE APARTMENTS
BUILDING 1 - GARAGE
PITTSFORD, NEW YORK

REVISED:

ISSUED FOR PERMIT
DATE: 05-12-2022

DETAILS AND SECTIONS
DRAWING TITLE:

S3
SHEET NO:

PROJECT NO:

Town of Pittsford

Department of Public Works
11 South Main Street
Pittsford, New York 14534

Phone: 585-248-6250
FAX: 585-248-6262

Permit #
B22-000084

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD
REFERRAL OF APPLICATION

Property Address: 93 Kilbourn Road ROCHESTER, NY 14618
Tax ID Number: 138.13-3-8
Zoning District: RN Residential Neighborhood
Owner: Christine Giangreco
Applicant: Christine Giangreco

Application Type:

- [x] Residential Design Review §185-205 (B)
- [ ] Commercial Design Review §185-205 (B)
- [ ] Signage §185-205 (C)
- [ ] Certificate of Appropriateness §185-197
- [ ] Landmark Designation §185-195 (2)
- [ ] Informal Review
- [ ] Build to Line Adjustment §185-17 (B) (2)
- [ ] Building Height Above 30 Feet §185-17 (M)
- [ ] Corner Lot Orientation §185-17 (K) (3)
- [ ] Flag Lot Building Line Location §185-17 (L) (1) (c)
- [ ] Undeveloped Flag Lot Requirements §185-17 (L) (2)

Project Description: • In accordance with Chapter 64 Article VIII, §64-43 of the Pittsford Town Code, the owner of 93 Kilbourn Road is requesting approval from the Design Review and Historic Preservation Board to demolish the existing 2,220 +/- square foot home at 93 Kilbourn Road and rebuild a new 4210 +/- square foot single family home on the property. Tax Parcel No. 138.13-3-8. This property is Zoned Residential Neighborhood (RN).

Meeting Date: July 14, 2022

Current front

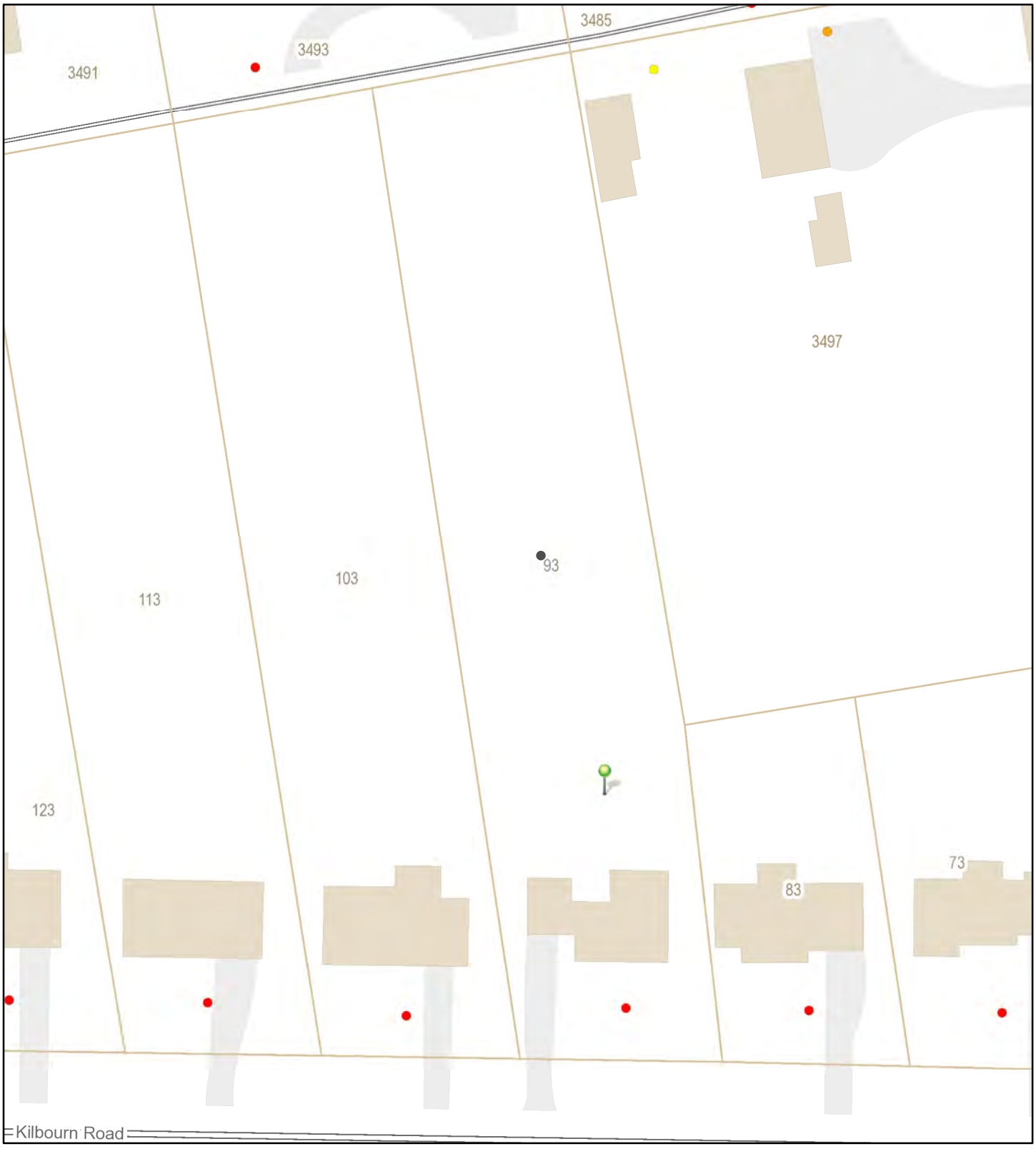
Front wide view

Left side

Right side

Opposite side of road

Property Pictures



Printed May 18, 2022

1:1,128

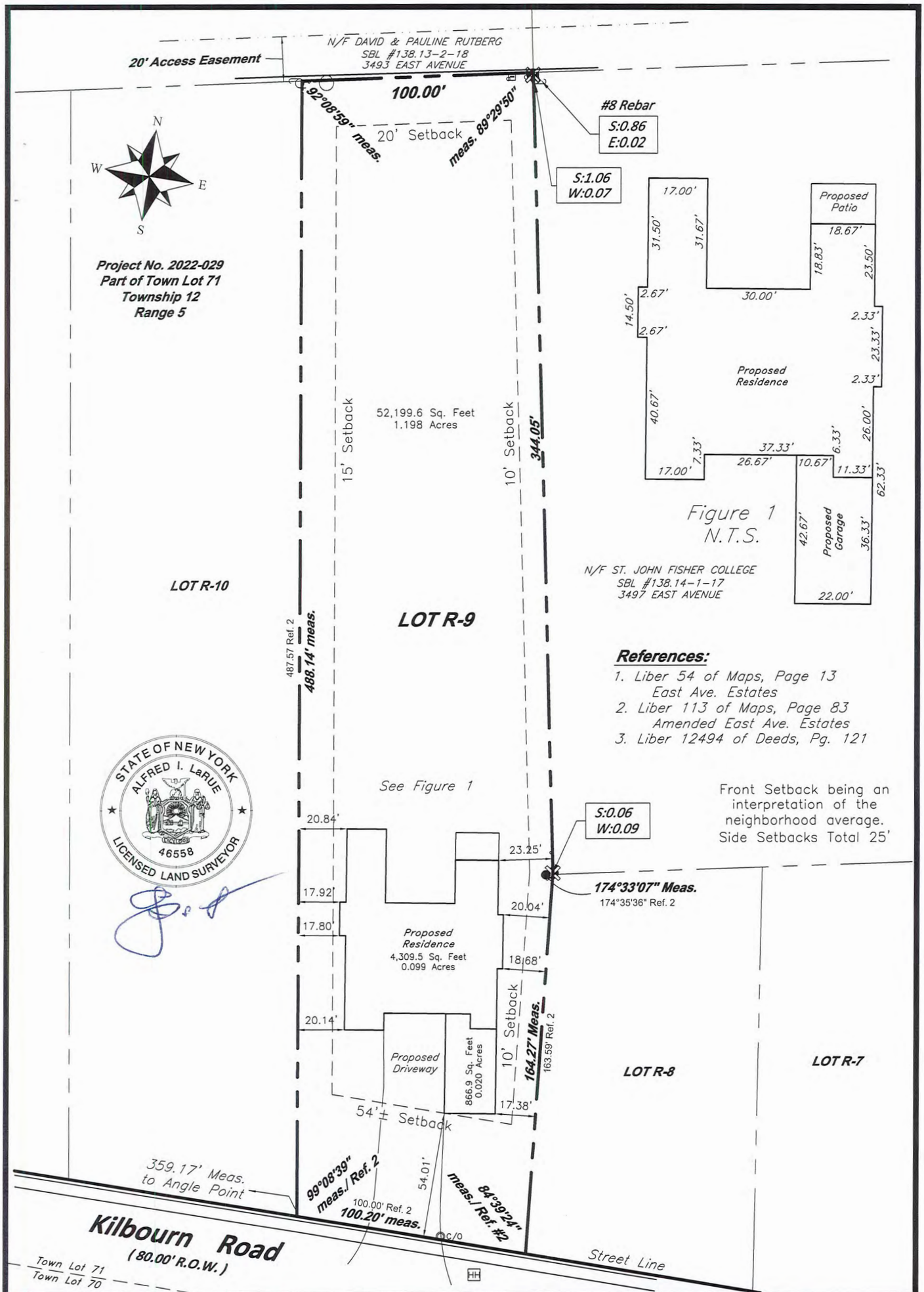
0 45 90 180 ft

0 12.5 25 50 m

Town of Pittsford GIS


N
East Ave
East Ave
Driveway
Kilbourn Rd
Chapin Way
Kilbourn Rd
© All Pictometry

04/03/2021



PLOT PLAN

McMahon LaRue Associates, P. C.
Engineers & Surveyors
822 Holt Road
Webster, NY 14580
(585) 436-1080
www.McMahon-LaRue.com

PLOT PLAN

Address 93 KILBOURN ROAD TOWN OF PITTSFORD

Lot No. R-9 Subdivision AMENDED MAP OF EAST AVE ESTATES

Reference Data
Liber 113 of Maps Page 83 Liber 12494 of Deeds Page 121

Client CHRISTINE GIANGRECO

By ADB Date 5/2/22 Scale 1"= 50' No. 138.130-03-03

STANDARD ENERGY NOTES:

CONTRACTOR SHALL POST THE ENERGY EFFICIENCY CERTIFICATE (FROM REZ CHECK) ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION BY THE BUILDING INSPECTOR

RECESSED LIGHTING
A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER SECTION R404.1 OF THE 2020 NY RESIDENTIAL CODE

RECESSED LUMINARES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.
ALL RECESSED LUMINARES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 1.57PSF (7.5PA) PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0CFM OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY

PROGRAMABLE THERMOSTAT
CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION R403.1 OF THE 2020 NY. RESIDENTIAL CODE.
EACH DWELLING UNIT SHALL HAVE AT LEAST ONE PROGRAMABLE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST HEATING OR COOLING ZONE AND CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILEY SCHEDULE TO MAINTAIN DIFFERENT TEMP. SET POINTS A DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OT TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMP. DOWN TO 55F OR UP TO 85F. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMP NO HIGHER THAN 70 F AND A COOLING SET POINT NO LOWER THAN 78 F.

DUCTS
SUPPLY DUCTS IN ATTIC SHALL BE INSULATED TO A MIN. OF R-8, ALL OTHER DUCTS SHALL BE INSULATED TO A MIN. OF R-6, UNLESS LOCATED INSIDE THE BUILDING ENVELOPE

AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE VERIFIED BY VISUAL INSPECTION PER SECTION R402.4.3.2 OF THE 2020 N.Y. RESIDENTIAL CODE.

IF ANY DUCT WORK IS WITHIN AN EXTERIOR WALL, THE SYSTEM SHALL BE PRESSURE TESTED DURING CONTRUCTION.
WITH AIR HANDLER INSTALLED: MAX 4CFM/100 S.F. OF OCCUPIED SPACE
WITHOUT AIR HANDLER: MAX 3CFM/100 SF. OF OCCUPIED SPACE

ALL JOINTS AND SEAMS OF AIR DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED TAPES AND MASTICS MUST BE LISTED TO UL 181B

BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS

AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ANY OUTDOOR AIR INTAKES OR EXHAUST SYSTEMS

BLOWER DOOR TEST
THE HOME SHALL BE BLOWER DOOR TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE (3) AIR CHANGES PER HOUR. TESTING BY THIRD PARTY ONLY

VAPOR RETARDERS
CLASS 1 OR II (SHEET POLYETHEYENE, KRAFT FACE BATTS, OR LOW PERM PAINT)
VAPOR RETARDERS ARE REQUIRED ON THE INSIDE OF FRAMED WALLS AND CEILINGS ABOVE GRADE WHERE THE CAVITY IS NOT VENTILATED TO ALLOW MOISTURE TO ESCAPE, (THIS DOES NOT INCLUDE BASEMENT WALLS)

GAS FURNACE
GOODMAN OR EQUAL SINGLE STAGE GAS FIRED FURNACE 92% WITH STAINLESS STEEL HEAT EXCHANGER, SINGLE STAGE GAS VALVE,DIRECT VENT (2 PIPE) 1/2HP MOTOR 15 AMP
IF THE FURNACE IS A OPEN COMBUSTION UNIT THE FURNACE ROOM MUST BE SEALED FROM THE REST OF THE HOUSE AND HAVE MAKEUP AIR TO IT.
CONTRACTOR SHALL SUBMITT MANUFACTURERS FURNACE SUBMITTAL TO TOWN

HOT WATER HEATER
RHEEM OR EQUAL 40 GALLON, .68 EFF. MIN RECOVERY: 36 GPH AT A 90 DEGREE RISE DIRECT VENT 2 PIPE SYSTEM. PROVIDE HEAT TRAP AND INSULATING BLANKET. ENERGY STAR RATED. CONTRACTOR SHALL SUBMITT MANUFACTURERS H.W. HEATER SUBMITTAL TO TOWN

WINDOWS AND DOORS
WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN .3 CFM PER SQUARE FOOT AND SWINGING DOORS NO MORE THAN .5 CFM PER S.F.

WINDOW U-VALUE .30 OR LESS

SLIDING GLASS DOORS U-VALUE =.30 OR LESS

SOLID INSULATING DOOR-U VALUE = .142 OR LESS

KITCHEN EXHAUST HOODS

EXHAUST HOODS WITH CAPACITY GREATER THAN 400 CFM SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH AN EQUAL AMOUNT OF FRESH MAKE UP AIR SYSTEMS SHALL BE PROVIDED WITH AT LEAST 1 DAMPER. DAMPERS SHALL BE GRAVITY DAMPERS OR ELECTRICALLY OPERATED DAMPERS THAT AUTOMATICALLY OPENS WHEN THE SYSTEM OPERATES.

MECHANICAL VENTILATION

WHOLE HOUSE MECHANICAL VENTILATION SHALL BE REQUIRED BY PROVIDING A METHOD OF SUPPLY AIR AND RETURN OR EXHAUST AIR. THE AMOUNT OF SUPPLY AIR SHOULD BE APPROX EQUAL TO THE EXHAUST RATE. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION. A LOCAL EXHAUST FAN, SUCH AS A BATHROOM FAN MAY BE CONSIDERED AS EXHAUST
MECHANICAL VENTILATION CAN ALSO BE PROVIDED BY THE INSTALLATION OF A HEAT RECOVERY MAKE UP AIR UNIT, INSTALLED PER CODE AND BY THE MANUFACTURES DIRECTION

BATH AND POWDER ROOM EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR AND BE INSTALLED WITH A PROGRAMMABLE DIGITAL CONTROL SWITCH PROVIDING A RUN TIME OF 15 MIN PER HOUR AT A MIN. OF 50 CFM PER POWDER ROOM AND BATHROOM

BATHROOMS AND POWDER ROOMS SHALL HAVE A MIN. EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

CONTINUOUS WHOLE HOUSE MECHANICAL VENTILATION RATES				
DWELLING UNIT FLOOR AREA SF	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7
	AIRFLOW IN CFM			
< 1,500	30	45	60	75
1,501-3,000	45	60	75	90
3,000-4,500	60	75	90	105

NOTE:
IF RUN TIME IS INTERMITENT AT 25% OF EACH 4-HOUR SEGMENT THE VENTILATION RATE ABOVE SHALL BE MULTIPLIED BY A FACTOR OF 4

TABLE R403.6.1	WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY		
FAN LOCATION	AIR FLOW RATE MIN. (CFM)	MIN. EFFICACY CFM / WATT	AIR FLOW RATE MAX.
HRV OR ERV	ANY	1.2 CFM/WATT	ANY
RANGE HOODS	ANY	2.8 CFM/WATT	ANY
IN-LINE FANS	ANY	2.8 CFM/WATT	ANY
BATHROOM, UTILITY	10	1.4 CFM/WATT	<90
BATHROOM, UTILITY	90	2.8 CFM/WATT	ANY

GENERAL NOTES:

DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS 48" OR LONGER

IF FLUE LOCATION IS NOT SHOWN ON PLANS CONTR. SHALL PROVIDE A 90 AFUE FURNACE TO COMPLY WITH N.Y.S. ENERGY CODE

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY W/ MORE THAN 2 RISERS. HANDRAIL HGT. SHALL BE MEASURED ABOVE STIR TREAD NOSING AND SHALL BE BETWEEN 34"-38" HIGH. HANDRAILS ADJACENT TO THE WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL. HANDRAIL SHALL BE CONTINUOUS. GUARDS AT OPENSIDES OF STAIRWAYS SHALL BE 36" HIGH WITH VERTICAL RAILS THAT DO NOT ALLOW PASSAGE OF A 4" SPHERE.

GAS ZERO CLEARANCE MANUFACTURERS SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT

STAIRWAYS SHALL HAVE A CONTINUOUS RAILING 36" HIGH AND TERMINATE AT A WALL OR NEWEL POST.

SETTING THE BUILDING ELEVATION IS THE RESPONSIBILTY OF THE GENERAL CONTRACTOR AND SHALL COMPLY WITH MUNICIPAL APPROVED SITE PLAN OR SURVEY

THE CONTRACTOR SHALL INSTALL 5" HIGH NUMBERS ON THE FRONT OF THE BUILDING TO IDENTIFY THE SITE ADDRESS.

GLAZING IN DOORS, STORM DOORS AND SIDELIGHTS IS DEEMED TO BE HAZARDOUS PER SECTION R308.4 OF THE NEW YORK STATE CODE AND SHALL BE IDENTIFIED AS SUCH IN COMPLIANCE WITH SECTION R308.1. DECORATIVE GLASS IS EXEMPT IN SWINGING DOORS AND SIDELIGHTS.

T.J. INSTALLATION SHALL CONFORM TO ALL DETAILS AND SPECIFICATIONS OF THE MANUFACTURER. INSTALL ALL RECOMMENDED BAND JOISTS, SQUASH BLOCKS, SOLID BLOCKING ETC. IF NOT KNOWN CONTACT ARCHITECT.

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER WITH LICENSED N.Y.S. ENGINEER

ALL EXTERIOR FLOOR CANTILEVERS SHALL RECEIVE 1/2" DRAFLY I (OR EQUAL) FINISH AT UNDERSIDE, FILL DEPTH RIM JOIST AND SOLID BLOCKING AT SUPPORT WALL INSTALL MIN. R-30 KRAFT FACE BATTS UNLESS NOTED

BUILDER SHALL VERIFY WITH HOME OWNER ON LOCATION OF 24"x30" ATTIC ACCESS LOCATION

PROVIDE SLOTTED ROOF TRUSS CLIPS AT ALL INTERIOR PARTITIONS EQUAL TO SIMPSON STC CLIPS

INSTALL DRYWALL ON CEILINGS PER THE WOOD TRUSS COUNCIL OF AMERICA FOR PREVENTING PARTITION SEPARATION. REQUEST DETAILS FROM ARCHITECT IF NEEDED.

EXTERIOR BEARING WALL OPENING GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

INTERIOR BEARING WALL OPENINGS GREATER THAN 48" REQUIRE 2 JACK STUDS PER SIDE.

ALL FRAMING ANGLES SHALL BE 45 DEG. UNLESS NOTED

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL

ALL WINDOW R.O. SHALL BE 6'-10 1/2" UNLESS NOTED

PROVIDE A MIN. OF R-5 RIGID INSULATION WITHIN ALL EXTERIOR WINDOW AND DOOR HEADERS

ALL NEW ELECTRICAL WORK SHALL COMPLY WITH PART VIII OF THE RESIDENTIAL CODE OF NEW YORK STATE. PRODE TOWN OFFICE WITH FINAL ELECTRICAL INSPECTION APPROVAL.

IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILING COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION

INSULATION ON BASEMENT WALLS SHALL BE COVERED WITH GYPSUM BOARD OR HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450

FLASHING SHALL BE INSTALLED IN THE FOLLOWING AREA'S: TOP OF EXTERIOR WINDOWS AND DOORS, CHIMNEYS, UNDER AND AT END OF MASONRY, WOOD, METAL COPINGS AND SILLS; AND WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL ASSEMBLY.

SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING AREA'S IN EACH SLEEPING ROOM, IN HALLWAYS ADJACENT TO SLEEPING ROOMS AND AT LEAST ONE ON EACH STORY INCLUDING BASEMENT
ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED
ALARMS CAN BE INTERCONNECTED WIRELESSLY
LOCATE NOT LESS THAN 3' HORIZONTALLY FROM BATROOMS WITH SHOWERS OR FROM CEILING FANS. CANNOT BE CLOSER THAN 20' (IONIZATION) OR 6' (PHOTOELECTRIC) TO COOKING APPLIANCES.

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: ON ANY STORY HAVING A SLEEPING AREA, ON ANY STORY WHERE FUEL-FIRED OR SOLID FUEL BURNING APPLIANCES, EQUIPMENT, FIREPLACES OR ATTACHED GARAGES ARE LOCATED.
ALL DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED

VINYL SIDING UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER'S INSTRUCTIONS SHALL BE FASTENED TO A MIN 1 1/4" NAILABLE SUBSTRATE WITH A .120-INCH SHANK DIA WITH A .313 HEAD OR A 16-GAGE STAPLE WITH A 3/8"-1/2" CROWN. SPACING SHALL BE 16"

PROVIDE INTERCONNECTED HEAT DETECTOR IN GARAGE PER SECTION R314.2.3 OF THE NEW YORK STATE BLDG CODE 2020

ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND SHALL BE APPROVED PRESSURE TREATED WOOD SUITABLE FOR GROUND CONTACT USE

STAIRS
WIDTH 36" WIDE IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HGT. THE CLEAR WIDTH AT OR BELOW THE HANDRAIL HGT SHALL BE NOT LESS THAN 31 1/2" WHERE A RAILING IS ON ONE SIDE AND 27" WHERE RAILINGS ARE ON BOTH SIDES

HEADROOM SHALL BE NOT LESS THAN 6'-8"

RISERS: THE RISER HGT. SHALL BE A MAX. OF 8 1/4". AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30" ABOVE GRADE OR THE FLOOR BELOW SHALL NOT PERMIT THE PASSAGE OF A 4" INCH DIAMETER SPHERE.

TREADS: THE TREAD DEPTH SHALL NOT BE LESS THAN 9"

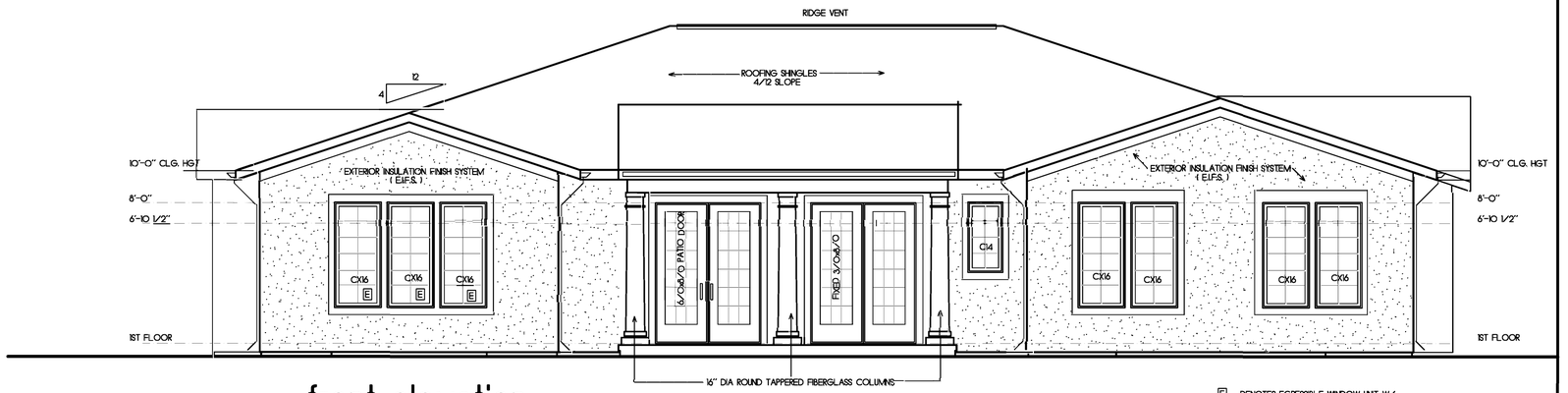
NOSINGS: NOSINGS PROJECTIONS SHALL BE 3/4"- 1 1/4" MAX. NOT REQUIRED ON TREAD DEPTH GREATER THAN 11"

HANDRAILS: SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACES OF HANDRAILS AND RAILINS SHALL BE BETWEEN 34" AND 38" ABOVE TREAD NOSINGS

WINDOW FALL PROTECTION

PROVIDE WINDOW OPENING CONTROL DEVICE TO PROHIBIT THE PASSAGE OF A 4" SPHERE ON WINDOWS IN WHICH THE SILL IS LESS THAN 24" FROM THE FLOOR AND THE EXTERIOR GRADE IS GREATER THAN 72" BELOW

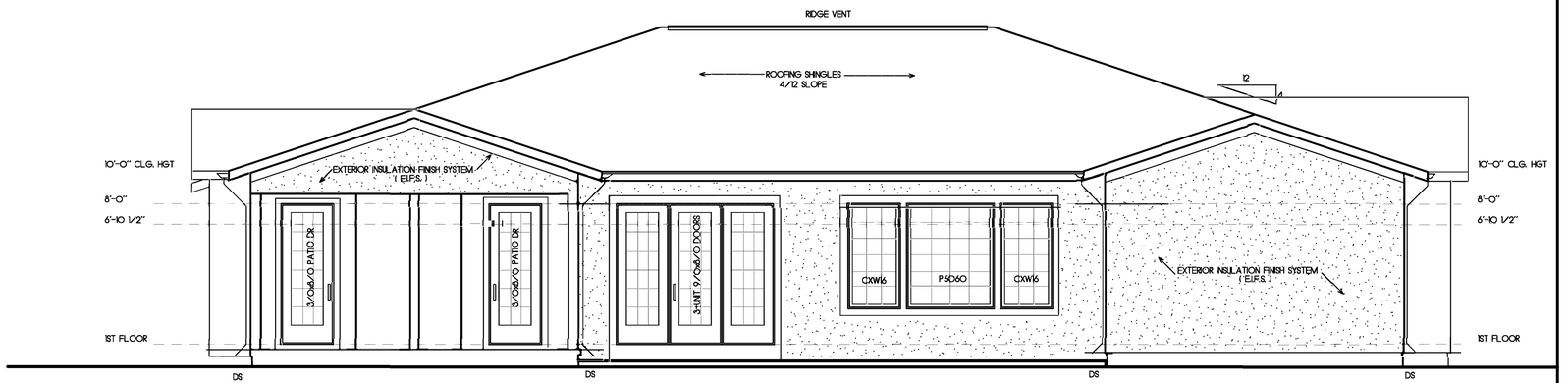
THE WINDOW CONTROL DEVICE AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN SHALL NOT REDUCE THE NET CLEAR OPENING OF THE WINDOW TO LESS THAN WHATS REQUIRED IN SECTION 310.2.1.
5.7 SF. CLEAR OPENING IS S.F. AT GRADE OR BELOW GRADE OPENINGS)
NET CLEAR HEIGHT OF 24"
NET CLEAR WIDTH OF 20"



front elevation
1/4"=1'-0"

E DENOTES EGRESSIBLE WINDOW UNIT W/ 5.7 S.F. MIN. OPENING, 20" MIN. OPENING WIDTH AND 24" MIN. OPENING HEIGHT

T DENOTES TEMPERED GLASS PER R308 OF THE NEW YORK STATE CODE



rear elevation
1/4"=1'-0"

AIR BARRIER INSPECTION LIST

AIR BARRIER & THERMAL BARRIER	EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS IS INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT WITH BUILDING ENVELOPE AIR BARRIER
	BREAK JOINTS IN THE AIR BARRIER ARE FILLED OR REPAIRED
	AIR PERMEABLE INSULATION IS NOT USED AS A SEALING MATERIAL
	AIR PERMEABLE INSULATION IS INSIDE OF AIR BARRIER
CEILING ATTIC	AIR BARRIER IN ANY DROPPED CEILING/SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND GAPS ARE SEALED
	ATTIC ACCESS (EXCEPT UNVENTED ATTIC), KNEE WALL OR STAIR ACCESS IS SEALED
WALLS	CORNERS AND HEADERS ARE INSULATED
	JUNCTIONS OF FOUNDATION AND SILL PLATE ARE SEALED
WINDOWS AND DOORS	SPACE BETWEEN JAMBS AND FRAMING AREA SEALED
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER
FLOORS (INCLUDING ABOVE GARAGES AND CANTILEVER FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECK
	AIR BARRIER IS INSTALLED AT AND EXPOSED EDGE OF INSULATION
CRAWL SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS
	EXPOSED EARTH IN UNVENTED CRAWL, COVERED WITH CLASS 1 VAPOR BARRIEER. OVERLAP JOINTS & TAPE
SHAFTS, PENATRATIONS	DUCT SHAFTS, UTILITY PENATRATIONS, KNEE WALLS AND FLUE SHAFTS ARE SEALED
NARROW CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT OR FILLED WITH SPRAY/BLOWN-IN
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES
RECESSED LIGHTING	RECESSED LIGHTS ARE AIR TIGHT, IC RATED AND SEALED TO DRYWALL, UNLESS IN CONDITIONED SPACE
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES
SHOWER/TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL
ELECTRICAL/PHONE BOX ON EXT. WALL	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED TYPE BOXES ARE INSTALLED
COMMON WALL	AIR BARRIER IS INSTALLED IN COMMON WALL BETWEEN UNITS
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENATRATE ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWAL
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER

GIANGRECO RESIDENCE

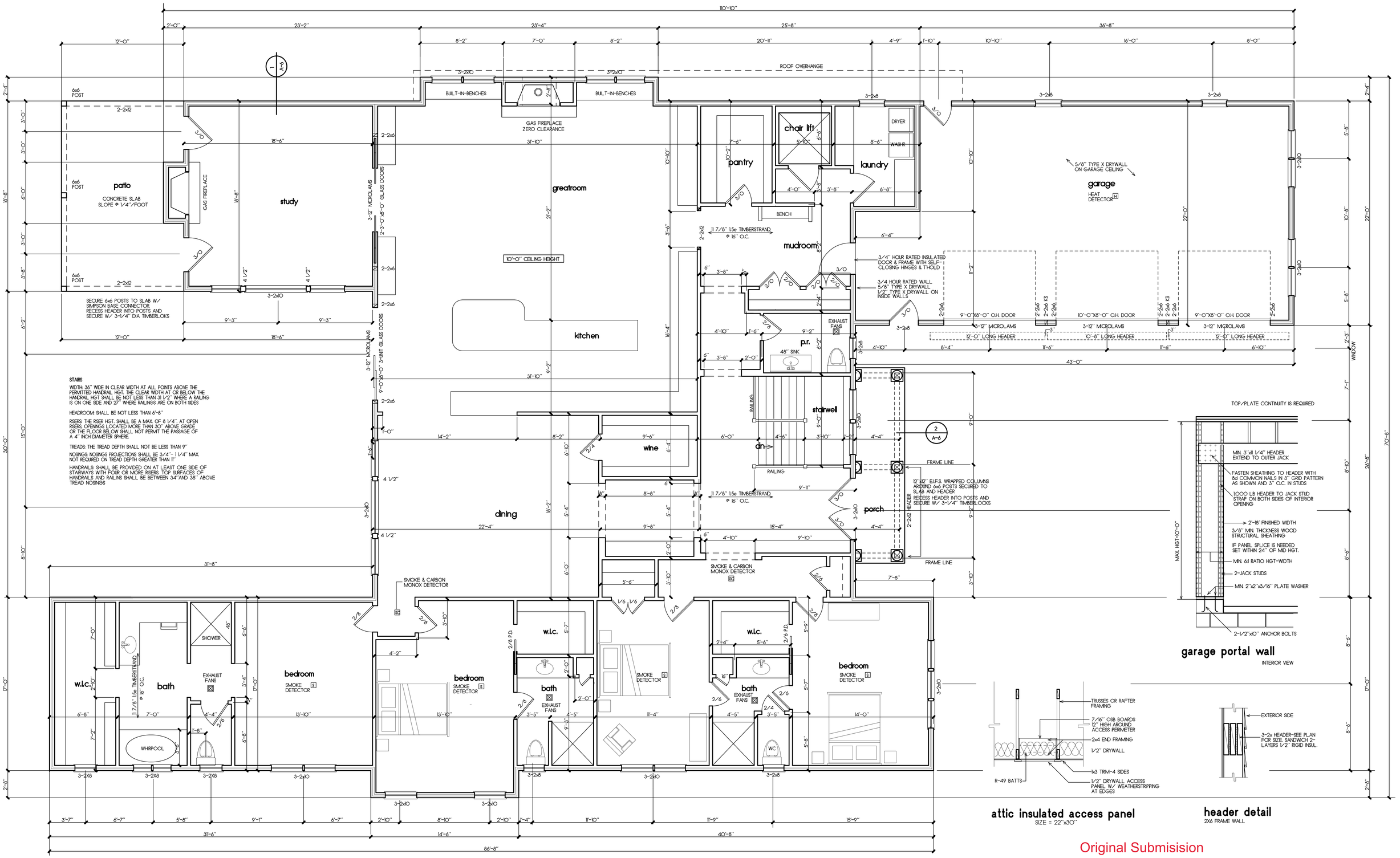
ALA architects
255 EAST AVENUE ROCHESTER, NEW YORK 14604
(585) 704-7347 ALAARC@ FRONTIERNET.NET

PROPOSED RESIDENCE
FOR
MR. & MRS. GIANGRECO
#93 KILBOURN ROAD TOWN OF PITTSFORD, NEW YORK

REVISIONS		
No.	DATE	DESCRIPTION

A-4

APRIL 2022



STAIRS

WIDTH: 36" WIDE IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HGT. THE CLEAR WIDTH AT OR BELOW THE HANDRAIL HGT SHALL BE NOT LESS THAN 31 1/2" WHERE A RAILING IS ON ONE SIDE AND 27" WHERE RAILINGS ARE ON BOTH SIDES

HEADROOM: SHALL BE NOT LESS THAN 6'-8"

RISERS: THE RISER HGT. SHALL BE A MAX. OF 8 1/4", AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30" ABOVE GRADE OR THE FLOOR BELOW SHALL NOT PERMIT THE PASSAGE OF A 4" INCH DIAMETER SPHERE.

TREADS: THE TREAD DEPTH SHALL NOT BE LESS THAN 9"

NOSINGS: NOSINGS PROJECTIONS SHALL BE 3/4"- 1 1/4" MAX. NOT REQUIRED ON TREAD DEPTH GREATER THAN 11"

HANDRAILS: SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACES OF HANDRAILS AND RAILINS SHALL BE BETWEEN 34"AND 38" ABOVE TREAD NOSINGS

1st floor plan

1/4"=1'-0" 4,210 s.f.

302 Lt.

WALL LEGEND

2x6 FRAMING @ 16" O.C.

2x4 FRAMING @ 16" O.C.

N.Y.S. ENERGY COMPLIANCE NOTE
THIS HOUSE COMPLIES WITH THE NEW YORK STATE ENERGY CODE EFFECTIVE 2020, PLEASE REFER TO ATTACHED CACULATIONS FOR COMPLIANCE INFORMATION

Original Submisision

GIANGRECO RESIDENCE

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PROPOSED RESIDENCE FOR
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REVISIONS

No.	DATE	DESCRIPTION

A-1

APRIL 2022

ROOF OVERHANG
BUILT-IN-BENCHES
GAS FIREPLACE
ZERO CLEARANCE
6x6 POST
patio
CONCRETE SLAB
SLOPE @ 1/4"/FOOT
GAS FIREPLACE
study
greatroom
10'-0" CEILING HEIGHT
kitchen
SECURE 6x6 POSTS TO SLAB W/ SIMPSON BASE CONNECTOR RECESS HEADER INTO POSTS AND SECURE W/ 3-1/4" DIA TIMBERLOKS
pantry
chair lift
laundry
DRYER
WASHR
COUNTER
BENCH
mudroom
11 7/8" 1.5e TIMBERSTRAND @ 16" O.C.
3/4" HOUR RATED INSULATED DOOR & FRAME WITH SELF-CLOSING HINGES & THOLD
3/4 HOUR RATED WALL 5/8" TYPE X DRYWALL 1/2" TYPE X DRYWALL ON INSIDE WALLS
ZERO ENTRY
garage
5/8" TYPE X DRYWALL ON GARAGE CEILING
HEAT DETECTOR
9'-0"X8'-0" O.H. DOOR
3-1/2" MICROLAMS
12'-0" LONG HEADER
EXHAUST FANS
p.r.
48" SINK
stairwell
RAILING
15 RISERS
dn
wine
dining
porch
16" DIA FIBERGLASS COLUMNS (3)
RECESS HEADER INTO POSTS AND SECURE W/ 3-1/4" TIMBERLOCKS
FRAME LINE
SMOKE & CARBON MONOX DETECTOR
STAIRS
WIDTH 36" WIDE IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HGT. THE CLEAR WIDTH AT OR BELOW THE HANDRAIL HGT SHALL BE NOT LESS THAN 31 1/2" WHERE A RAILING IS ON ONE SIDE AND 27" WHERE RAILINGS ARE ON BOTH SIDES
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HANDRAILS: SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACES OF HANDRAILS AND RAILINGS SHALL BE BETWEEN 34" AND 38" ABOVE TREAD NOSINGS
w.i.c.
bath
SHOWER
WHIRPOOL
bedroom
SMOKE DETECTOR
22"x30" ATTIC ACCESS PANEL
WC
TOP/PLATE CONTINUITY IS REQUIRED
MIN. 3"x11 1/4" HEADER EXTEND TO OUTER JACK
FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN STUDS
1,000 LB HEADER TO JACK STUD STRAP ON BOTH SIDES OF INTERIOR OPENING
2'-18' FINISHED WIDTH
3/8" MIN. THICKNESS WOOD STRUCTURAL SHEATHING
IF PANEL SPLICE IS NEEDED SET WITHIN 24" OF MID HGT.
MIN. 6:1 RATIO HGT-WIDTH
2-JACK STUDS
MIN. 2"x2"x3/16" PLATE WASHER
2-1/2"x10" ANCHOR BOLTS
MAX. HGT=10'-0"
garage portal wall
INTERIOR VIEW
TRUSSES OR RAFTER FRAMING
7/16" OSB BOARDS 12" HIGH AROUND ACCESS PERIMETER
2x4 END FRAMING
1/2" DRYWALL
1x3 TRIM-4 SIDES
1/2" DRYWALL ACCESS PANEL W/ WEATHERSTRIPPING AT EDGES
R-49 BATTS
attic insulated access panel
SIZE = 22"x30"
EXTERIOR SIDE
3-2x HEADER-SEE PLAN FOR SIZE. SANDWICH 2-LAYERS 1/2" RIGID INSUL.
header detail
2X6 FRAME WALL
GIANGRECO RESIDENCE

Revised Submission

1st floor plan

1/4"=1'-0" 4,210 s.f.

302 l.f.

WALL LEGEND

2x6 FRAMING @ 16" O.C.

2x4 FRAMING @ 16" O.C.

N.Y.S. ENERGY COMPLIANCE NOTE
THIS HOUSE COMPLIES WITH THE NEW YORK STATE ENERGY CODE EFFECTIVE 2020. PLEASE REFER TO ATTACHED CACULATIONS FOR COMPLIANCE INFORMATION

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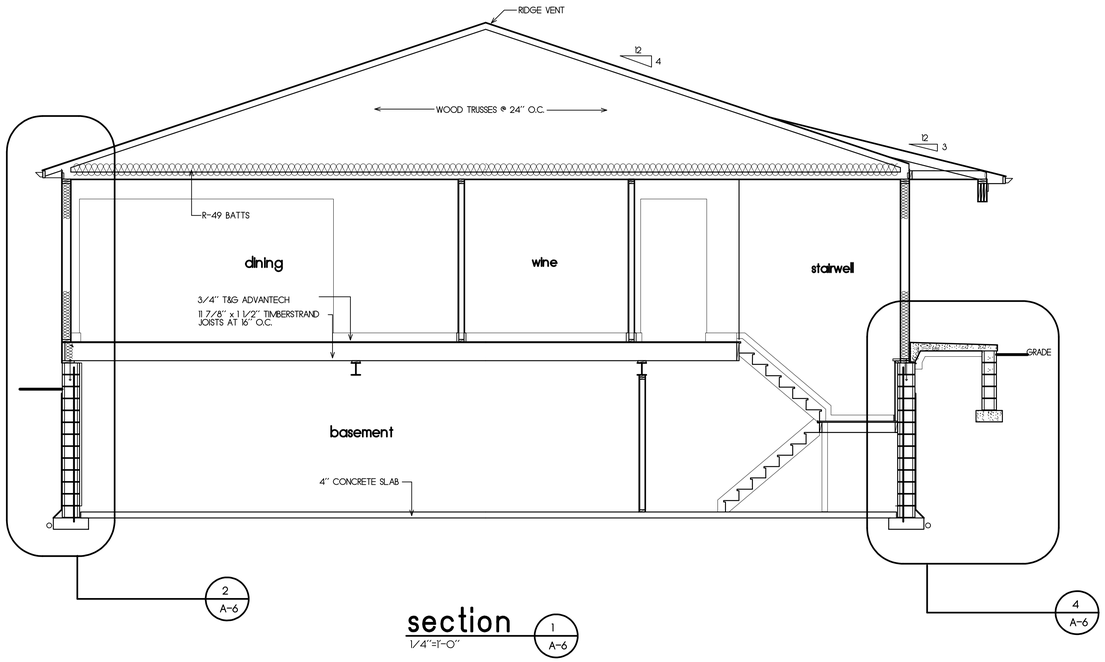
PROPOSED RESIDENCE
FOR
MR. & MRS. GIANGRECO
#93 KILBOURN ROAD TOWN OF PITTSFORD, NEW YORK

REVISIONS	
No.	DATE DESCRIPTION

A-1

APRIL 2022



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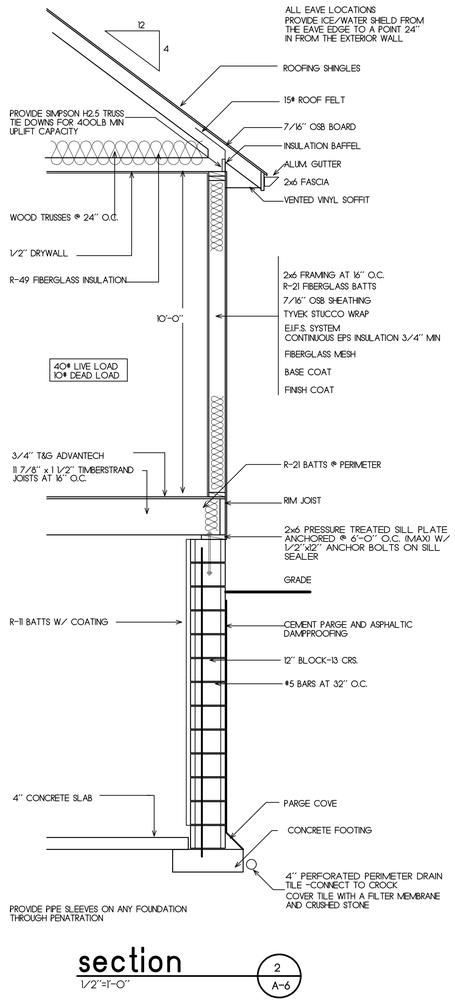
1/4"=1'-0"
1
A-6



section
1/2"=1'-0"
2
A-6

FOUNDATIONS

CONTRACTOR SHALL NOTIFY SITE ENGINEER AND ARCHITECT IF SITE CONDITIONS, SUCH AS ADVERSE GROUND WATER OR SOIL CONDITIONS WARRANT MODIFICATIONS TO THE FOUNDATION DESIGN.

FOOTINGS MAY BE POURED NEAT AGAINST SIDES OF EXCAVATIONS ONLY IF SLOUGHING OR RAVELING DOES NOT OCCUR

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS

BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTILL- CONCRETE AND GROUT HAS REACHED SUFFICIENT STRENGTH TO RESIST DAMAGE OR STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD DECK IS IN PLACE. OR SUFFICENT WALL BRACING IS IN PLACE

STRUCTURAL BACKFILL

STRUCTURAL BACKFILL OF WELL GRADED SAND AND GRAVEL OR CRUSHER RUN STONE SHALL BE PLACED IN 6" MAX. LIFTS AND COMPACTED TO A MIN. DENSITY OF 95% (UNDER SLABS AND BUILDINGS) AND 90% (ELSEWHERE) OF MAX. DENSITY AT OPTIMUM MOISTURE CONTENT PER ASTM D698

BACKFILL SHALL BE FREE OF EXCESIVE VEGATATION, DEBRIS OR OTHER DELETERIOUS MATERIALS AND CONTAIN NO PARTICLES LARGER THAN 3" IN DIA. AND NO MORE THAN 10% PASSING THE #200 SIEVE

FOUNDATION DRAINAGE

DRAINAGE TILE SHALL SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY TO AN INTERIOR SUMP CROCK OR TO DAYLIGHT. DRAINAGE TILE SHALL BE PLACED ON A MIN. OF 2" OF WASHED GRAVEL. THE DRAINS SHALL BE SURROUNDED BY AN APPROVED FILTER MEMBRANE OR THE FILTER MEMBRANE SHALL COVER THE WASHED GRAVEL OR CRUSHED ROCK COVERING THE DRAIN. THE TILES SHALL BE PLACED ON A MIN. OF 2" OF WASHED GRAVEL OR CRUSHED ROCK NOT LESS THAN ONE SIEVE SIZE LARGER THAN THE TILE JOINT OPENINGS AND COVERED WITH 6" MIN OF THE SAME MATERIAL.

FOOTINGS

FOOTING SHALL BE PLACED AT A MIN OF 48" BELOW GRADE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS

FINAL 3" OF EXCAVATION SHALL BE REMOVED BY HAND TOOL OPERATIONS IN ORDER TO ASSURE UNDISTURBED BEARING SURFACES.

BOTTOM SURFACE OF FOOTING SHALL NOT SLOPE MORE THAN 1/3 UNLESS OTHERWISE INDICATED ON THE DRAINGS

NO EXCAVATION SHALL BE MADE LOWER AND CLOSER THAN 1/3 UNLESS INDICATED ON THE DRAWINGS

FOOTINGS AND SLABS SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND

ALL FOOTINGS SHALL BEAR ON FIRM AND CLEAN SOIL. THE SOIL BEARING SHOULD BE VERIFIED AT THE FOOTINGS BY AN ACCEPTED TESTING METHOD

CONCRETE MASONRY

CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90 TYPE I, GRADE N

MORTAR - ASTM C270, TYPE S (fm=1500 PSI)

BLOCK FILL- COURSE GROUT 3,000 PSI

FOUNDATION DRAINAGE

BASEMENT AND CRAWL SPACE WALLS SHALL BE WATERPROOFED FROM THE TOP OF THE FOOTING TO FINISH GRADE. WALLS SHALL BE WATER PROOFED WITH ONE OF THE FOLLOWING:
1. TWO PLY HOT MOPPED FELTS
2. 55 LB ROLL ROOFING
3. 6 MIL POLYVINYL CHLORIDE
4. 6 MIL POLYETHYLENE
5. 40 MIL POLYMER MODIFIED ASPHALT
6. 60 MIL FLEXIBLE POLYMER CEMENT
7. 1/8" CEMENT BASED FIBER REINFORCED WATER PROOFING
8. 60 MIL SOLVENT FREE LIQUID APPLIED SYNTHETIC RUBBER

CONCRETE

FOUNDATION DESIGN IS BASED ON A MIN. SOIL BEARING CAPACITY OF 2,000 PSF. BUILDER SHALL NOTIFY ARCHITECT IF CAPACITY IS LESS

PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIER UNDER CONCRETE INTERIOR SLABS.

PROVIDE ALL NECESSARY TIE BARS, SPACER BARS, CHAIRS, ETC TO SECURE REINFORCING IN PLACE BEFORE PLACING CONCRETE

A. STANDARDS-LATEST EDITION OF ACI.
B. DESIGN STRENGTH AT 28 DAYS.

1. FOOTINGS, WALLS AND PIERS-3,000 PSI
2. SLAB ON GRADE-INTERIOR 2,500 PSI
   EXTERIOR 3,500 PSI

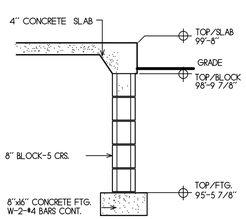
REINFORCING-
BARS- ASTM A615, GRADE 60
TRUSSED MASONRY JOINT REINFORCING ASTM A82

LAP SPLICES OF REINFORCING BARS SHALL BE 40 BAR DIA BUT NOT LESS THAN 24"

FILL BLOCK CORSE SOLID UNDER LINTELS, BEAM POCKETS, AND ALL BEARING PLATES WITH 3,000 PSI GROUT

KEEP CORES OF REINFORCED MASONRY FREE OF MORTAR DROPPINGS

ANCHOR BOLTS SHALL CONFORM TO ASTM A-307 AND SHALL BE 1/2" DIA MIN. AND 12" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM END PLATE, 6'-0" O.C. AND MIN. OF 2-ANCHOR BOLTS IN ANY ONE SECTION. LOCATE IN MIDDLE THIRD OF PLATE AT LEAST 1 1/8" FROM THE EDGE OF A 2x4 AND 1 3/4" FROM THE EDGE OF A 2x6.



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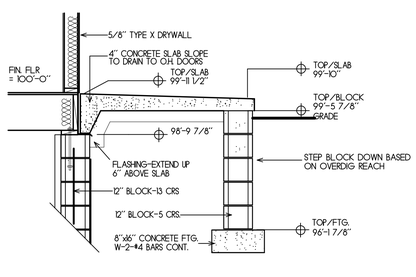
3
A-6



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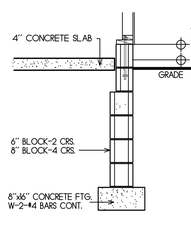
A-6



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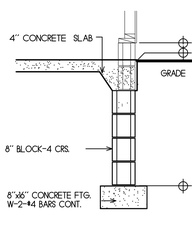
A-6



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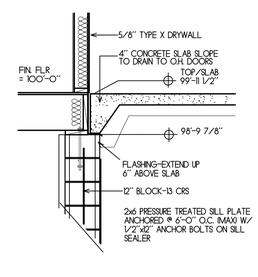
6
A-6



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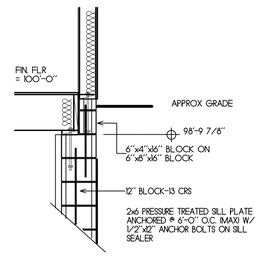
A-6



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1/2"=1'-0"
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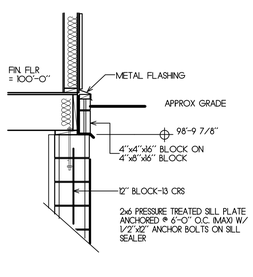
A-6



section
1/2"=1'-0"
9
A-7

ALA architects
255 EAST AVENUE ROCHESTER, NEW YORK 14604
(585) 704-7347 ALAARC@FRONTIERNET.NET

PROPOSED RESIDENCE
FOR
MR. & MRS. GIANGRECO
#93 KILBOURN ROAD TOWN OF PITTSFORD, NEW YORK

REVISIONS		
No.	DATE	DESCRIPTION

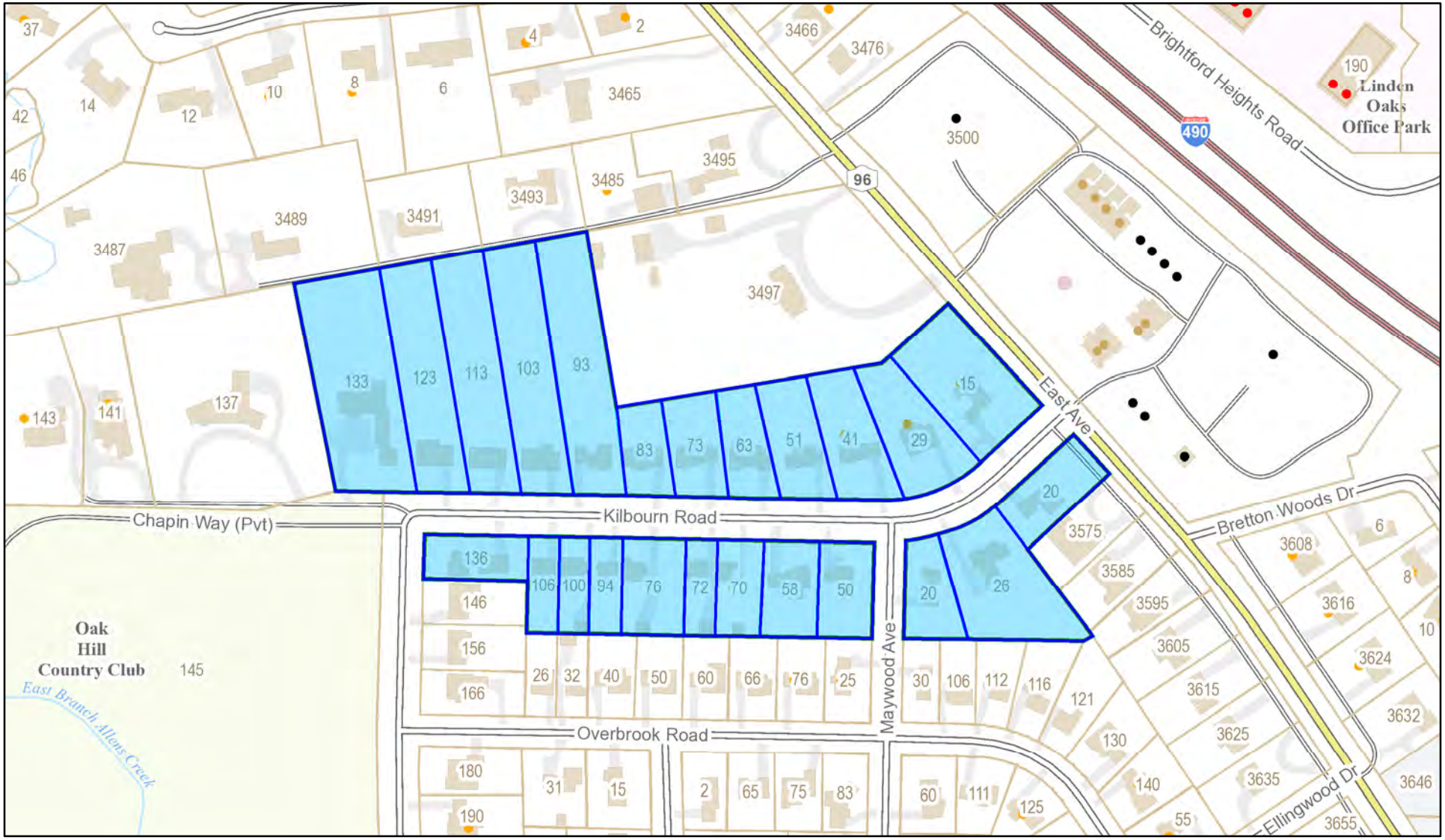
JOB NO. GIANGRECO

A-6

FEB. 22, 2022


N
3497
133
123
113
103
93
Proposed Residence
4,309.5 Sq. Feet
0.099 Acres
Proposed Driveway
866.9 Sq. Feet
0.020 Acres
54.01'
20' meas.
83
73
63
51
41
Kilbourn Rd
136
106
100
94
76
72
70
58
50
© 2021 EagleView
04/03/2021 - 04/06/2021

Public Notification



Printed June 7, 2022

1:4,514

0 195 390 780 ft

0 55 110 220 m

Town of Pittsford GIS

APPLICATION FOR PERMIT

No. 98
Fee $ 20.00

To THE TOWN BOARD OF THE TOWN OF PITTSFORD, N. Y.

GENTLEMEN:

The undersigned respectfully petition for a permit to ~~alter~~ erect a Erect (frame, brick, concrete block) building on Lot No. R 9 House No. ~~123~~ 93 on the North side of Kilbourn Rd ~~Street,~~ in the East Ave Estates Tract of TOWN OF PITTSFORD, N. Y. This lot is 100 ft. wide in the front and 95 feet wide in the rear and 500 feet deep.

Classified as Res. Zone Class A

NOTICE: A Plan, in duplicate, size 4½" x 7", must be furnished showing the shape of the lot and all dimensions, with the proposed building set in, with all dimensions of same and showing the set back distances from all sides.

The Main Building of 1 stories to be used as a 1 Family Dwelling is to be erected of the following dimensions, pursuant to the plans herewith submitted:

Width 48 feet Wing on ______ Side Width ______ feet
Depth 25 feet Wing on ______ Side Depth ______ feet
Width ______ feet
Depth ______ feet

SET BACK
50 ft.
10+ side East ft.
10+ side West ft.

The whole occupying a total area of 1155 square feet.

PORCH: Open ______ side, ______ feet wide, ______ feet deep.

GARAGE: An attached (separate, attached) garage is to be erected on the West side of the dwelling Frame (concrete block, frame) construction, of the following dimensions:

1 Stories, Width 21 feet, Depth 25 feet, Capacity 2 cars.

Located 10+ feet from the West Lot line.
Located ______ feet from the ______ Lot line.

ESTIMATED COST:
Dwelling $
Garage $
Total: $10,000.00

The undersigned hereby guarantees that said buildings will be constructed and used in accordance with all ordinances of the TOWN OF PITTSFORD and statutes of the State of New York, and the plans annexed hereto are the PLANS RELATING TO THE BUILDINGS HEREIN DESCRIBED AND NO OTHER, and that this property is owned by the undersigned.

All work is to be done in accordance with this application and plans, and no material change therein or in any part of said buildings shall be made without the written consent of the Town Board through its authorized agent.

NOTICE: Construction must be started within 20 days from date of permit. All construction must be completed within 6 months from date of permit. No building to be used until an occupancy permit has been issued.

Architect: Jerome Wood

Builder: A. M. Windsor

Yours respecfully,

A. M. Windsor
Owner

230 Kilbourn
Address

STATE OF NEW YORK, } ss:
County of Monroe }

A. M. Windsor being duly sworn, deposes and says that he is the owner of the above described premises; that he has read the foregoing application for a permit and knows the contents thereof; that the same is true to his own knowledge. That if said application is approved he will comply with all the terms and conditions respecting the issuance of said permit and that said buildings will be erected in accordance with the plans attached to this application; that it will cost not less than the amount set forth herein and that he will comply with all ordinances of the Town of Pittsford and all the statutes of the State of New York in connection with the construction, erection, alterations or use of said buildings.

A. M. Windsor

SWORN to before me, this
day of JUL 23 1951 19

L. G. Curtiss
Notary Public, Commissioner of Deeds

NOTICE: Before any excavation is made within Highway Lines, Check Location of Public Utility Lines and secure permission of Superintendent of Highways. Avoid violating possible Deed or Tract restrictions.

REPORT OF PLANNING BOARD

TO THE TOWN BOARD OF THE TOWN OF PITTSFORD:

The Planning Board of the Town of Pittsford, Monroe County, N. Y., to which was referred the application of

.....to erect / alter buildings together with the proper fees and plans therefor, does hereby approve / disapprove said application and recommends that a permit be granted therefor upon the following terms and conditions:

1. That the Town Board, its agents and employees, may at any time enter upon said premises and inspect said buildings to determine whether the same are being erected or have been erected in accordance with the plans submitted with said application for a permit.

2. That the Town Board may at any time upon notice, revoke said permit for failure to execute the plans.

3. That the said buildings shall be set back and built upon the building line established by the Town Board for the district where such property is located and where such building is to be erected or altered.

4. That the buildings mentioned in said application and plans shall be erected in accordance therewith and shall be used for no other purposes than those specified in said application and plans.

5. That any garage erected upon the premises shall be used solely for private garage purposes and shall not at any time be used for a residence or any other purpose upon said lot.

6. Reasons for disapproval are as follows:

PITTSFORD PLANNING BOARD

By.....
Secretary

PERMIT NUMBER 98

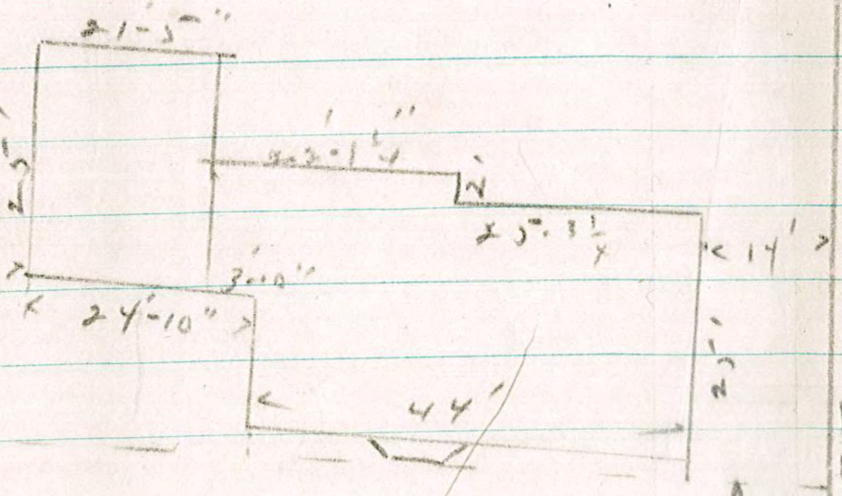
Permission is hereby ~~denied~~ granted to A. M. Thaden

owner to Erect the structures described in the application herein referred to and no other upon the terms and conditions set forth in the recommendation of the Planning Board of the Town of Pittsford, N. Y., and the Zoning Ordinance.

JUL 27 1951

L E Curtiss
Town Clerk

House area 1207
garage 525
total area 1732 sq ft



Lot 9 Kilbourn Rd
Re-Sub
100 ft